



Town of Hilton Head Island  
**Design Review Board Meeting**  
**Tuesday, December 8, 2020 – 1:15 p.m.**  
**AGENDA**

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In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call**

**4. Approval of Agenda**

**5. Approval of Minutes**

a. Meeting of November 10, 2020

**6. Citizen Comments**

**7. Unfinished Business**

a. *Alteration/Addition*

i. T. Dalton Clothing, DRB-000452-2020

**8. New Business**

a. *Alteration/Addition*

i. Ella's Reroof, DRB-002197-2020

ii. Grayco Addition, DRB-002371-2020

iii. Piggly Wiggly Addition, DRB-002374-2020

b. *New Development – Conceptual*

i. Airport Terminal Renovation, DRB-002368-2020

ii. 85 Capital Drive, DRB-002373-2020

**9. Board Business**

- a. Review and Approval of Letter to Town Council regarding Building Height Limits and Setback Standards

## **10. Staff Report**

- a. Minor Corridor Report

## **11. Adjournment**

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m. on December 7, 2020. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Secretary at 843-341-4684 no later than 12:00 p.m. on December 7, 2020.

**Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.**





Town of Hilton Head Island  
**Design Review Board Meeting**  
November 10, 2020 at 1:15 p.m. Virtual Meeting  
**MEETING MINUTES**

**Present from the Board:** Chairman Michael Gentemann, Vice Chair Cathy Foss, David McAllister, Judd Carstens, Annette Lippert, John Moleski, Debbie Remke

**Absent from the Board:** None

**Present from Town Council:** Glenn Stanford

**Present from Town Staff:** Chris Darnell, Urban Designer; Shea Farrar, Landscape/Urban Design Associate; Jeff Buckalew, Town Engineer; Cindaia Ervin, Finance Assistant; Eileen Wilson, Senior Administrative Assistant

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**1. Call to Order**

Chairman Gentemann called the meeting to order at 1:15 p.m.

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call** – See as noted above.

**4. Approval of Agenda**

Chairman Gentemann asked for a motion to approve the agenda. Mr. McAllister moved to approve. Vice Chair Foss seconded. By way of roll call, the motion passed with a vote of 7-0-0.

**5. Approval of Minutes**

a. Meeting of October 27, 2020

Chairman Gentemann asked for a motion to approve the minutes of the October 27, 2020 meeting. Ms. Remke moved to approve. Vice Chair Foss seconded. By way of roll call, the motion passed with a vote of 7-0-0.

**6. Citizen Comments**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. All comments received were provided to the Board for review and made part of the official record. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

**7. Unfinished Business** – None

**8. New Business**

a. *Alteration/Addition*

i. 28 Shelter Cove Lane, DRB-002198-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends denial for the following reasons:

1. Given the narrow width of the proposed brick planter, Staff suggests the box planters, from the October 27th application be reconsidered.
2. The proposed bar covers the window that balances the building exterior. Staff suggests the bar be detailed to look more like shutters when closed eliminating any glass.
3. If the current sign is not going to be replaced in its location, the height / slope of the awning should be reconsidered to mitigate that void.
4. Staff recommends approval of the fans and light fixtures provided:
  - a. The light fixture will not exceed color temp and brightness allowed.
  - b. A note is added to the plan that no conduit will be visible on the columns to the light fixtures.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant stated he had nothing further to add. Following a lengthy discussion, Chairman Gentemann asked for a motion.

Ms. Lippert made a motion to approve DRB-002198-2020 with the following conditions:

- The louvers on the bar side are approved as submitted.
- The brick infill between brick piers shall include the following modifications to be reviewed and approved by two DRB members:
  - Provide detail of the brick wall (solid or pierced),
  - Detail should provide for drainage of the patio,
  - Provide a 16" wide planting area in ground between the wall and sidewalk.
- Light fixtures are approved with following conditions:
  - The two proposed light fixtures on each side of the bar shall be the proposed box fixture,
  - Three box fixtures are approved on the wall on the dining patio,
  - The fixtures at entrance doors shall be replaced with the box fixtures,
  - All box fixtures shall have frosted glazing.
- The proposed fans shall have the black finish.
- Provide drawings for review by two DRB members to:
  - Raise the awning above the transom,
  - Increase the pitch of the awning.
- Bar mill work is approved as submitted.

Vice Chair Foss seconded. By way of roll call, the motion passed with a vote of 7-0-0.

**b. Sign**

**i. Harris Teeter Fuel Center Signs, DRB-002144-2020**

Ms. Farrar presented the application as described in the Board's agenda package. Staff recommends approval with the following conditions:

1. Change the sign face material from aluminum with applied copy and graphics to sandblasted 1" Cedar panels with 1 ½ inch border in Nebulous White to match the adjacent Harris Teeter sign. Leave surface directly behind changeable copy and tracks smooth.
2. Change all copy to Sherwin Williams Iron Ore. Logo to remain as proposed.

3. Reconfigure the sign face to move the address to the top and add a 1 ½ inch vertical line between the business name/logo and the pricing information to create the look of separate panels. Reduce copy size and adjust spacing on pricing side as needed. Address must be a minimum of 4" copy.
4. Change the up lighting to down lighting with recessed linear fixtures mounted underneath the roof element.
5. A landscape plan utilizing evergreen planting would be prepared by staff with the sign permit.

The proposal also includes a request for aluminum channel logos to be located on three sides of the kiosk, however, staff is not recommending approval for these. Should the DRB approve these, the size would need to be reduced to meet the sign ordinance at the time of the sign permit. The proposed pump numbers would be located on the canopy columns and match the colors on the freestanding sign also. Staff has already worked with the applicant to remove background logos and modify colors and does not have additional changes to request on these. Staff is recommending approval of the application with the previously mentioned modifications to the proposal.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant had nothing to add. The Board and the applicant discussed the application in depth.

Following the discussion, Chairman Gentemann made a motion to approve DRB-002144-2020 with the following conditions:

- Include Staff's comments and conditions;
- Down light preferred, no exposed conduit;
- Final permit coordinate with Staff;
- Brackets consistent in size and should not overhang from roof.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

## **9. Board Business**

### **a. Discussion of Overhead Lighting Installation at US 278/Yacht Cove Crosswalk**

For the record, Mr. Darnell read the one public comment submitted to the Town's Open Town Hall portal: "We do not want any overhead lighting added anywhere on the island. One reason we chose to move here was because of the preservation of the night sky and the natural elements." Mr. Darnell and the Board discussed:

1. Have you seen the new lights on at night?
2. What is your general opinion of the new overhead street lights installed at the US 278 crosswalk at Yacht Cove Drive?
3. Do you think the lights are in keeping with the Island's character?
4. Do you think lighting additional intersections on Hwy 278, using the same parameters, is in keeping with Island Character?
5. What is your general opinion of the pole height?
6. Do you find the poles and fixtures visually acceptable?

At the conclusion of discussion, the Board agreed overhead lighting, the poles and fixtures are not in keeping with island character.

## **10. Staff Report**

a. Minor Corridor Report – Mr. Darnell read the Minor Corridor Report.

**11. Adjournment**

The meeting was adjourned at 3:40 p.m.

**Submitted by:** Eileen Wilson, Secretary

**Approved:** [DATE]

DRAFT





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: T. THOMAS E. DALTON Company: T. DALTON  
 Mailing Address: 2472 MAIN ST City: LAKE POND State: VA Zip: 12906  
 Telephone: 578-837-5102 Fax: NONE E-mail: tdaltonclothing@gmail.com  
 Project Name: SHEPHERD COVE TOWNE CENTER Project Address: RETAIL SPACE SHEPHERD COVE  
 Parcel Number [PIN]: R52001200B0026000 TOWNE CENTER  
 Zoning District: SHEPHERD COVE TOWN CENTER Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

NO TREE  A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

NONE  A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

SEE ATTACH  A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

NO NEW STRUCTURE  Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- yes*  All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- no*  A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- yes*  Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
  - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

*Thomas Dalton*

SIGNATURE

*2/23/20*

DATE



October 13, 2020

Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island SC 29928

re: **T. Dalton Clothier**  
**Unit #112A Town Center @ Shelter Cove**

### Project Narrative

It is our pleasure to re-submit for the boards consideration minor exterior changes to the storefront of unit 112A @ shelter cove center.

We are proposing to implement the following which reflects the branding & style of the new store:

1. Paint the columns, fascia and beams of the entry portico Sherwin Williams SW6195 Rock Garden green. This is the same as the dark green used on the Jewelry and coastal stores. The Ceiling panels will remain the lighter green color.
2. Add mahogany stained Bahama shutters over all the doors and windows. The shutters will align w/ the corresponding doors & widows below in an authentic way.
3. Replace the lights with solid brass (bronze finish) bulkhead lights as manufactured by Shiplights Inc. They will have an e26 base 900 lumen (75 watt equivalent) 2700K LED.

This project has received Shelter Cove Center approval. The signage will be submitted under separate cover.

Thank you for your time and consideration,

*W. Thomas Parker Jr.*

W. Thomas Parker Jr. AIA LEED pa  
PDG|Architects



# SHELTER COVE

November 4, 2020

Roni Allbritton  
Shelter Cove Towne Centre  
40 Shelter Cove Lane, Box 180  
Hilton Head, SC 29928

RE: T. Dalton Clothier  
Unit #112A Towne Center @ Shelter Cove

Dear Roni,

The Shelter Cove Company's ARB is in receipt of your proposal package for exterior changes to the storefront of unit #112A per your email and package dated October 23, 2021.

The ARB has reviewed and approved the requested exterior storefront change package as submitted with the following **exception**.

- T. Dalton Clothier and Shelter Cove Towne Centre meets any TOHHI permits, if required.

Please notify the SCC office at (843) 310-0431 or by email at [ddominguez@sheltercovehc.org](mailto:ddominguez@sheltercovehc.org) should you have any questions.

With Kindest Regards,

*Denise Dominguez*

Denise Dominguez  
Manager

Cc: SCCARB File



# TOWN OF HILTON HEAD ISLAND

One Town Center Court, Hilton Head Island, S.C. 29928

(843) 341-4600 Fax (843) 842-7728

[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

John J. McCann  
Mayor

William D. Harkins  
Mayor ProTem

\_\_\_\_\_  
Council Members

David Ames  
Tamara Becker  
Marc A. Grant  
Thomas W. Lennox  
Glenn Stanford

\_\_\_\_\_  
Stephen G. Riley  
Town Manager

March 12, 2020

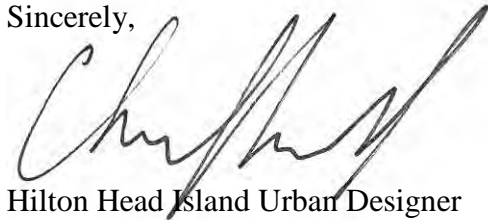
Thomas E. Dalton  
T. Dalton  
2472 Main Street  
Lake Placid, NY 12946

Re: DRB 000452-2020 T Dalton Shelter Cove Towne Center

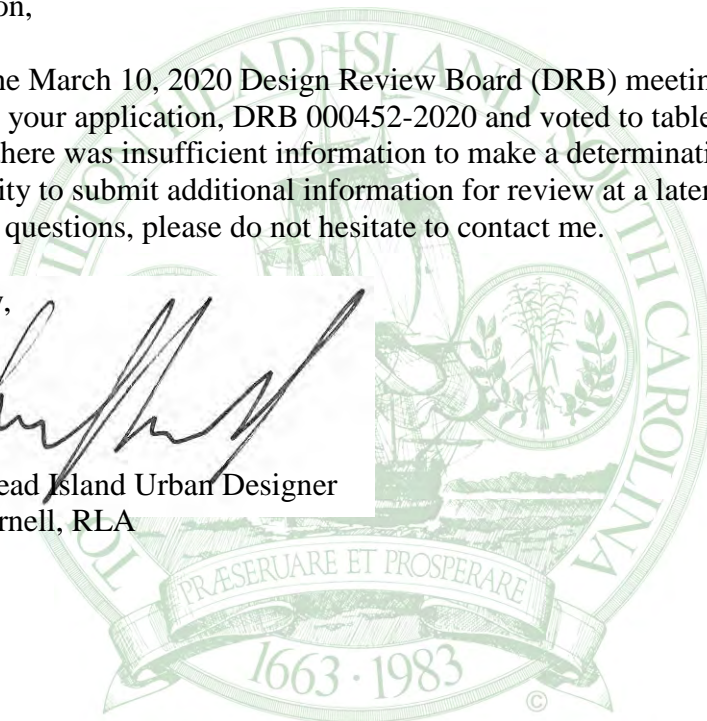
Mr. Dalton,

During the March 10, 2020 Design Review Board (DRB) meeting, the DRB reviewed your application, DRB 000452-2020 and voted to table the application because there was insufficient information to make a determination. This preserved your ability to submit additional information for review at a later meeting. If you have any questions, please do not hesitate to contact me.

Sincerely,



Hilton Head Island Urban Designer  
Chris Darnell, RLA





SKU: B-1

Categories: Exterior, Interior, Light Fixtures, Nautical, Semi-Flush, Traditional, Wall

Tag: AD Show 1



## Bulkhead Light w/ Cage

**\$315.00 – \$485.00**

Our iconic nautical scone pays homage to the original passage-way lights used for centuries aboard vessels traveling the world.



Interior / Exterior  
Residential & Commercial Use

Wattage: 100w LED; 75w Incandescent

Finishes: Standard: Unlacquered Brass (\$315), Custom Finishes: \$435 (additional details below)

Spec Sheet: [B-1: BULKHEAD LIGHT w/ CAGE](#)

CLEAR

Finishes	Oil Rubbed Bronze	▼
Placement	Exterior Fixture (Wet Location)	▼
Glass	Frosted \$25	▼

**\$460.00**

Attaching to Standard US Junction Box

Yes (+\$35.00)



SW 6195  
Rock Garden











LOVE

NO CAN DO

Mia's Flowers  
GIFT & BOUTIQUE



# HERITAGE

FINE JEWELRY

28  
STE 114

CLOSED

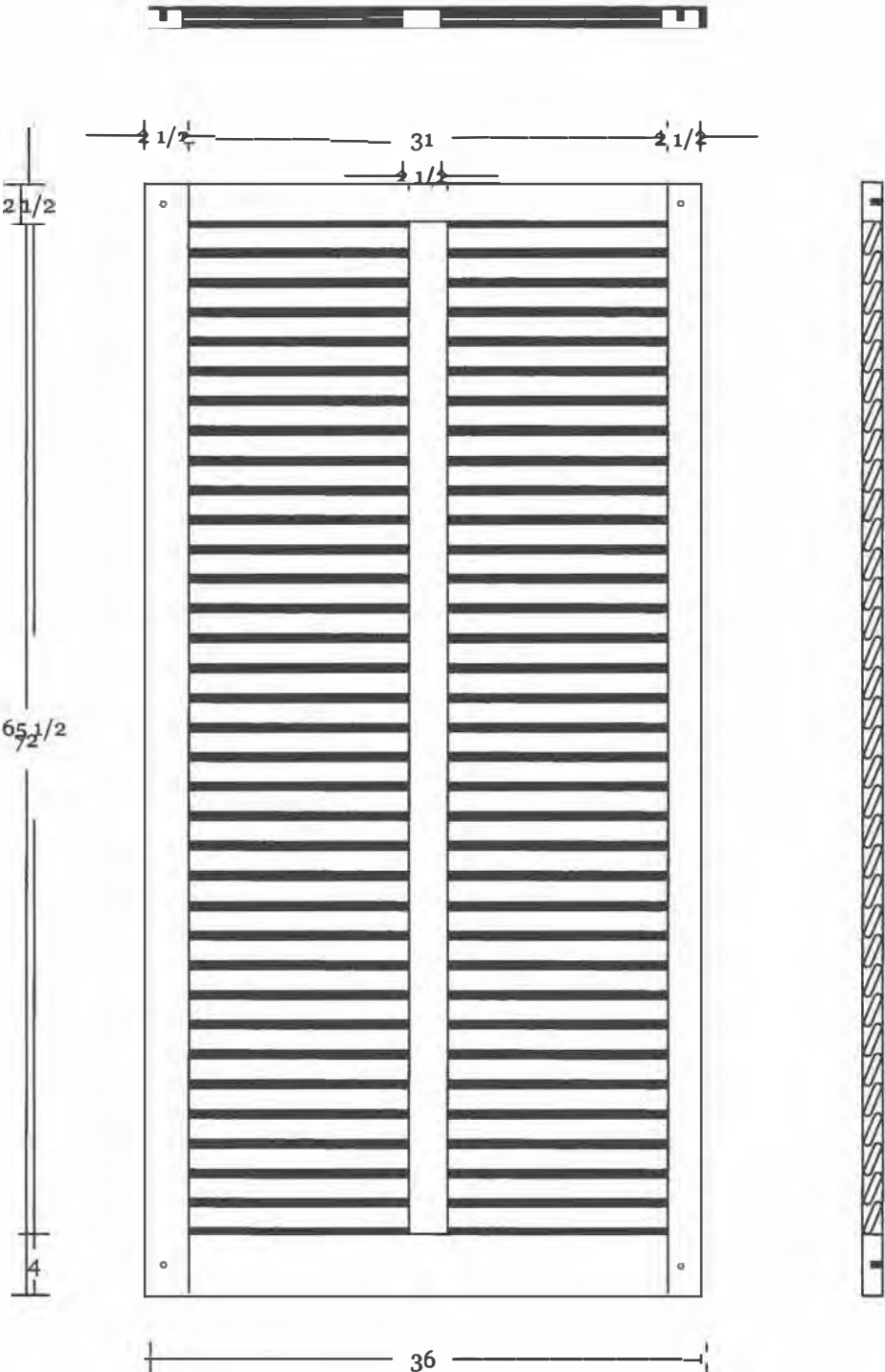
HERITAGE











## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: T Dalton Clothing @ Shelter Cove Towne Center

DRB#: DRB-000452-2020

DATE: 02/27/20 03/03/20 10/14/20 10/16/20 11/29/20

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

Staff recommends approval pending ARB approval.

Staff has no recommendation for reversing the stained bench.

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a color board with physical samples of the proposed paint colors and wood finishes. <del>A color board will need to be provided with actual samples of the paint color and stain (not photos or printouts) for review by the DRB.</del> Staff recommends SW 6195 Rock Garden based on the Shelter Cove color board to match the existing dark green trim at Shelter Cove. Please provide color and stain samples.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a detail or manufacturer's cut sheet for the functional shutters that includes finish. <del>Please provide detail of how the shutters are constructed, dimensions and attached to the building.</del> Staff is concerned that the installed Bermuda shutter width will be adequate for the windows. consider adding a note to the illustrations indicating the installed edge of the shutter in relation to the store front.
Decorative lighting is limited and low wattage and adds	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<del>1. Provide a manufacturer's cut sheet for the</del>

to the visual character				<p><del>proposed wall sconces that includes: fixture finish, light source foot candles and kelvin temperature.</del></p> <p><del>2. The narrative mentions sign lighting but no information or location is indicated for new fixtures. Please specify location of the fixture and provide a manufacturer's cut sheet that includes finish, light source foot candles and kelvin temperature.</del></p>
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<b>MISC COMMENTS/QUESTIONS</b>	
1.	Provide approval from the local ARB. <del>ARB approval must be submitted prior to the DRB meeting to maintain place on the Agenda. Please provide arb approval.</del>
2.	<del>Per the Design Guide page 16, "Consideration must be given to the compatibility of colors with those existing in the vicinity. The proposed Navy 19-3953 TCX is not compatible with the adjacent tower element or the shopping center as a whole. The proposed "bone" color is unclear from the revised application. It is unclear which color you are proposing (Mayonnaise or White Blush or Capri Coast or Indian White) and exactly where it would go and most importantly where it would end. Previous DRB approval of a color on one building (Talbot's) does not set a precedent and or guarantee approval of the color on another building.</del>
3.	<del>Signs are approved under a separate permit. Please note the gold lettering and navy background do not appear to meet the Shelter Cove Towne Center sign system.</del>
4.	<del>How will the store front window and doors be finished? The plans appear to indicate they will be painted, if so the application should specify the color. Please provide manufacturer cut sheets of the storefront doors and windows with the "mahogany wood finish". Staff is concerned how this storefront will relate to the surrounding storefronts. Storefront doors and windows should match the other storefronts in Shelter Cove. Staff recommends not painting them the proposed dark green.</del>
5.	<del>Tenants have in the past been allowed to depart from the selected light fixtures specified in the development plans. The polished brass finish of the light fixtures is contrary to what is preferred by the Design Guide and what exist in Shelter Cove Town Center. Staff suggest a less reflective finish and addition of a note to the illustration that any damage to the stucco under the existing fixture is repaired to match.</del>
6.	Staff is concerned that the bench, in front of the storefront, has been stained and now does not match the rest of the benches in Shelter Cove. Benches represent a key element of the Shelter Cove Town Center streetscape that was carefully planned. Benches throughout the development should be maintained together. This becomes more important for the overall cohesive feel of the development as tenants are allowed to depart from the planned light fixtures.



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 Community Development Department  
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[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Jerry Parker Company: JJP Co LLC  
 Mailing Address: 199 All Jay Rd City: Bluffton State: SC Zip: 29910  
 Telephone: 843-757-7663 Fax: \_\_\_\_\_ E-mail: roof@hargray.com  
 Project Name: Roof Replacement Project Address: 1 Shelter cove Ln.  
 Parcel Number [PIN]: R  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Additional Submittal Requirements:  
**Final Approval – Proposed Development**  
 \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.  
 \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.  
 \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.  
 \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.  
 \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.  
 \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:  
**Alterations/Additions**  
 \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.  
 \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:  
**Signs**  
 \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.  
  
 For freestanding signs:  
 \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.  
 \_\_\_\_\_ Proposed landscaping plan.  
  
 For wall signs:  
 \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.  
 \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
 \_\_\_\_\_  
 SIGNATURE

10/29/2020  
 \_\_\_\_\_  
 DATE



# SHELTER COVE

November 11, 2020

Laurie Sell  
Palmetto Dunes Oceanfront Resort  
4 Queens Folly Road, PO Box 5628  
Hilton Head Island, SC 29938

Delivered via email

RE: Harbourmaster Roof Replacement

Dear Laurie,

The Shelter Cove Company's ARB is in receipt of your proposal package for roof replacement for the HarbourMaster Ship Store as outlined per your plans from Luna Roofing dated December 5, 2019.

The ARB has reviewed and approved the plan package received on November 9, 2020 as submitted with the following conditions:

1. Standing seam material and color has to match that which was used for the Harbourside I roofing project as outlined in your package.
2. All common surface areas where equipment will be placed or traversed shall utilize weight protection methods in order to eliminate damage to said areas.
3. All Shelter Cove property that will have construction activity occurring on it, if damaged shall be restored to the pre-construction condition at the contractor's sole expense.
4. Finally, a \$100 application fee is due ASAP. Please make your check payable to, Shelter Cove Company.

Please notify the SCC office at (843) 310-0431 or by email at [ddominguez@sheltercovehc.org](mailto:ddominguez@sheltercovehc.org) upon completion so that final review for compliance can be conducted.

With Kindest Regards,

*Denise Dominguez*

Denise Dominguez  
Manager

Cc: SCCARB Committee























































## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Ella's Reroof

DRB#: DRB-002197-2020

DATE: 11/29/2020

RECOMMENDATION: Approval  Approval with Conditions  Denial   
RECOMMENDED CONDITIONS:

### ***MISC COMMENTS/QUESTIONS***

Replacement of the concrete roof tiles with standing seam metal roofs in a terra cotta color in Shelter Cove has historically been approved by the DRB.




Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects  
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928  
 Telephone: 843-785-5171 Fax: \_\_\_\_\_ E-mail: Tim@PDG-Architects.com  
 Project Name: Grayco Project Address: Lot 30 Archter Rd.  
 Parcel Number [PIN]: R 5 5 2 0 1 4 0 0 0 0 7 7 0 0 0 0 0  
 Zoning District: Community Commercial Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_  All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_  A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_  Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11.23.20

DATE





November 23, 2020

Town of Hilton Head Island Design Review Board  
One Town Center Court  
Hilton Head Island, SC 29928

**Project Narrative for Grayco**

The attached project is for the addition of a lumber rack on the back side of the Grayco building on Palmetto Bay Road.

This is a pre-engineered structure that will go on top of the existing paved parking lot and will have a chain link fence to match the structure that encloses this space. We are also providing a landscaping elevation to show supplemental landscaping along the side.

Thank you for your time and consideration of this project

A handwritten signature in blue ink, appearing to read 'Timothy C. Probst', with a long horizontal stroke extending to the right.

Timothy C. Probst, AIA NCARB













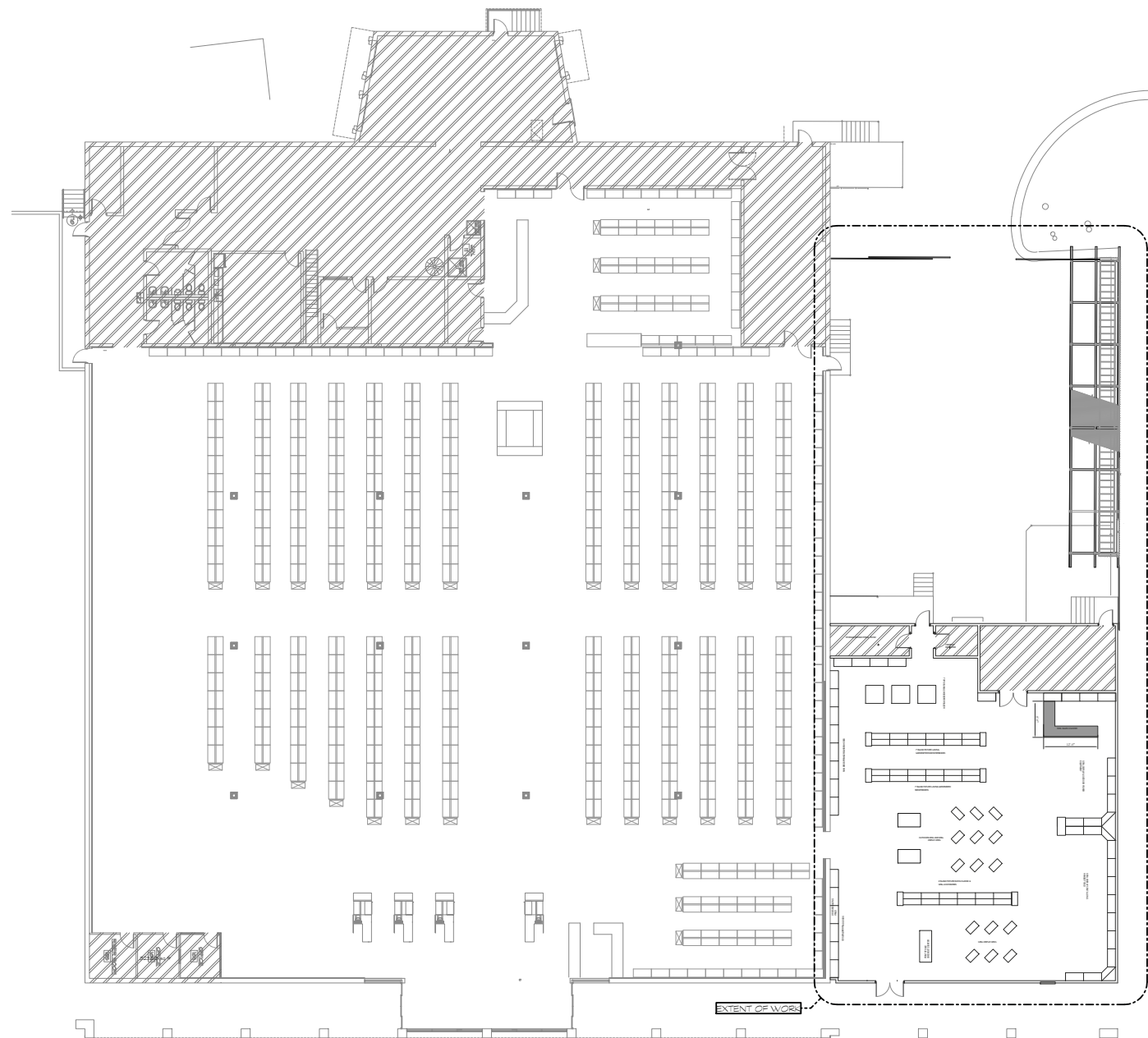












**FLOOR PLAN**

SCALE: 1/16"=1'-0"

1  
C-0

**INDEX OF DRAWINGS:**

**ARCHITECTURAL:**

C0 COVER SHEET

S.1 SITE PLAN

A.1 FLOOR PLAN

A2 BATHROOM PLANS

A3 ELEVATIONS

**PROJECT TEAM**

**ARCHITECT:**

PARKER DESIGN GROUP/ ARCHITECTS  
10 PALMETTO BUSINESS PARK SUITE 201  
HILTON HEAD, SC 29928  
843-785-5171  
EMAIL: TIM@PDG-ARCHITECTS.COM

**MEP:**

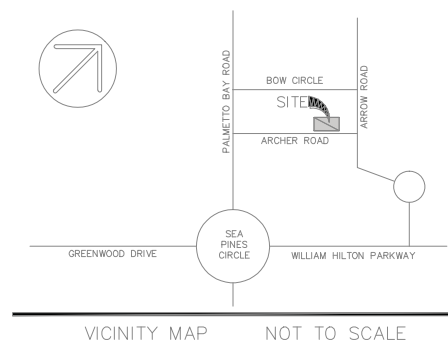
DALON ENGINEERING LLC (CLAY DALON)  
2611 SOUTHSIDE BLVD.  
BEAUFORT, SC 29902  
843-271-6011  
EMAIL: CDALON@DALONENGINEERING.COM

parkerdesigngrouparchitects  
843-785-5171 POST OFFICE BOX 3010 HILTON HEAD ISLAND SC 29928



A Tenant Upfit For:  
**Grayco**  
Lot #30 Archer Road  
Hilton Head Island, S.C.

**VICINITY PLAN**



VICINITY MAP NOT TO SCALE

**CODE ANALYSIS:**

**SCOPE OF WORK:**

THIS PROJECT CONSISTS OF COMBINING (2) MERCANTILE SPACES, (1) THAT IS SPRINKLED AND (1) THAT IS NOT WITH AN OPENING AND 3 HR SHUTTER. ADDING A FENCED IN YARD IN THE REAR OVER EXISTING PARKING LOT.

**DESCRIPTON:**

1 STORY PRE MANUF. METAL BUILDING WITH WOOD STUD WALLS. PORTION OF THE BUILDING HAS WOOD WALLS AND ROOF STRUCTURE

Design Criteria for Code Compliance as of: IBC 2018

Occupancy: **MERCANTILE**

Type of Construction: 2B

Sprinkler: NO/ YES

**OCCUPANCY KEY**

S-1

MERCANTILE

**TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE**

OCCUPANCY	WITHOUT SPRINKLER	WITH SPRINKLER
STORAGE	200 FEET	250 FEET
MERCANTILE	200 FEET	300 FEET

**TABLE 803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY**

GROUP	SPRINKLED		
	INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP	ROOMS AND ENCLOSED SPACES
S-1	C	C	C
M	B	C	C
NON SPRINKLED			
S-1	B	B	C
M	A	B	C

**OCCUPANCY CALCULATIONS**

USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
<b>SPRINKLED</b>			
STORAGE S-1	300 GROSS	6,930	23
MERCANTILE	60 GROSS	25,080	418
<b>TOTAL</b>			<b>441</b>
<b>NON SPRINKLED</b>			
STORAGE S-1	300 GROSS	690	2
MERCANTILE	60 GROSS	5,295	88
<b>TOTAL</b>			<b>90</b>
<b>BUILDING TOTAL</b>			<b>528</b>

**PLUMBING CALCULATION**

OCCUPANCY	TOTAL	MALE WATERCLOSET REQUIRED	MALE WATERCLOSET PROVIDED	FEMALE WATERCLOSET REQUIRED	FEMALE WATERCLOSET PROVIDED	MALE LAV. REQUIRED	MALE LAV. PROVIDED	FEMALE LAV. REQUIRED	FEMALE LAV. PROVIDED	MOP SINK REQ.	MOP SINK PROVIDED	D.F. REQ.	D.F. PROVIDED
<b>BUILDING PORTION 1</b>													
STORAGE S-1	25	.25		.25		.25		.25					
MERCANTILE	506	5		5		.65		.65					
<b>TOTAL</b>		.75	3	.75	3	.90	2	.90	2	1	1	1	1

**ALLOWABLE BUILDING AREAS (Table 506.2):**

Building Floor Areas:	Actual	Allowed
<b>BUILDING PORTION 1</b>		
STORAGE S-1 (SPRINKLED)	6,930 sqft	70,000 sqft
MERCANTILE (SPRINKLED)	25,080 sqft	50,000 sqft
<b>TOTAL</b>	<b>32,010 sqft</b>	<b>50,000 sqft</b>
STORAGE S-1 (NON SPRINKLED)	690 sqft	17,500 sqft
MERCANTILE (NON SPRINKLED)	4,605 sqft	12,500 sqft
<b>TOTAL</b>	<b>5,295 sqft</b>	<b>12,500 sqft</b>

REVISIONS DATE

**DRAWN BY**  
11  
**CHECKED BY**

**DATE**  
10/29/20  
**SCALE**

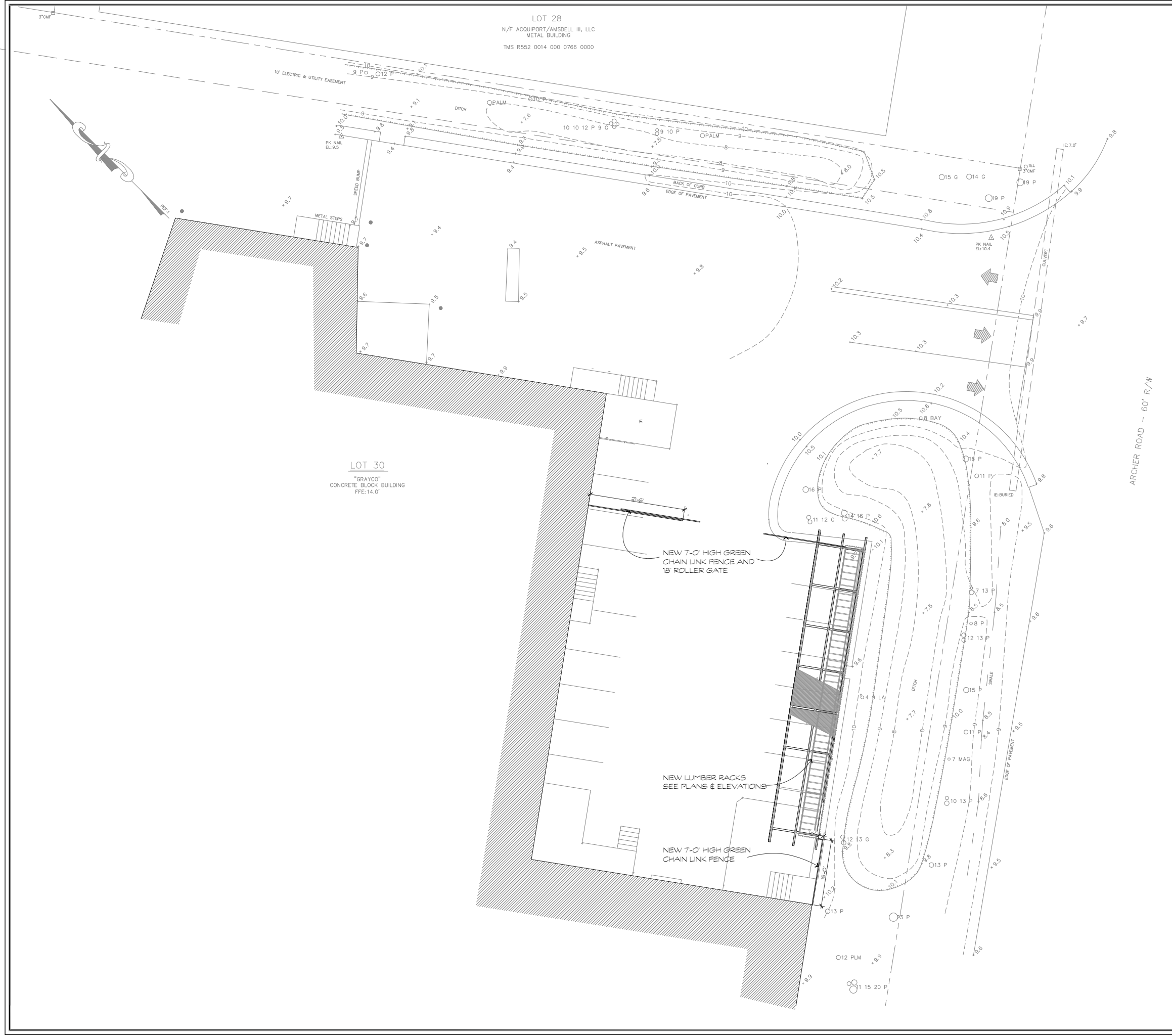
**JOB NO.**

**SHEET**

**C.0**

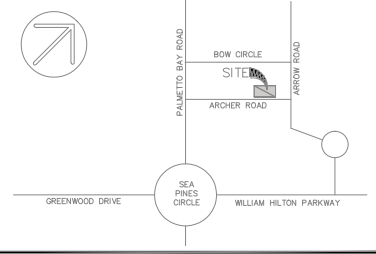
OF SHEETS





LOT 28  
N/F ACQUIPORT/AMSDRELL III, LLC  
METAL BUILDING  
TMS R552 0014 000 0766 0000

LOT 30  
"GRAYCO"  
CONCRETE BLOCK BUILDING  
FFE:14.0'

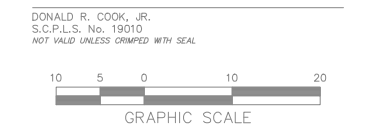


VICINITY MAP NOT TO SCALE

- NOTES:
1. THIS LOT APPEARS TO LIE IN FLOOD ZONE A7(14'), PER FIRM PANEL No. 13-D, COMMUNITY No. 450250, DATED 9/29/86.
  2. ELEVATIONS SHOWN ARE BASED ON NGVD 29 DATUM. TREE SIZES ARE IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT.
  3. PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

REFERENCE(S):  
1. PLAT BOOK 24, PAGE 29

- LEGEND:
- CMF CONCRETE MONUMENT FOUND
  - TEL TELEPHONE PEDESTAL
  - X- FENCE LINE
  - P FINE
  - G GUM
  - LA LAUREL OAK
  - LO LIVE OAK
  - PLM PALMETTO
  - MAG MAGNOLIA
  - x10.0 SPOT ELEVATION
  - 10- CONTOUR



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A PARTIAL, ASBUILT, TREE & TOPOGRAPHIC SURVEY OF  
**LOT 30**  
ARCHER ROAD  
  
TMS R552 014 000 0770 0000  
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY,  
SOUTH CAROLINA  
  
PREPARED FOR:  
**HC GRAY PROPERTIES, LLC**



PROJECT No.: 20090017  
DRAWN BY: DRC PROJECT NAME: 20090017  
DATE: 09.26.20 FILE: 20090017PAT 092620.dwg  
SCALE: 1" = 10'  
SHEET 1 OF 1

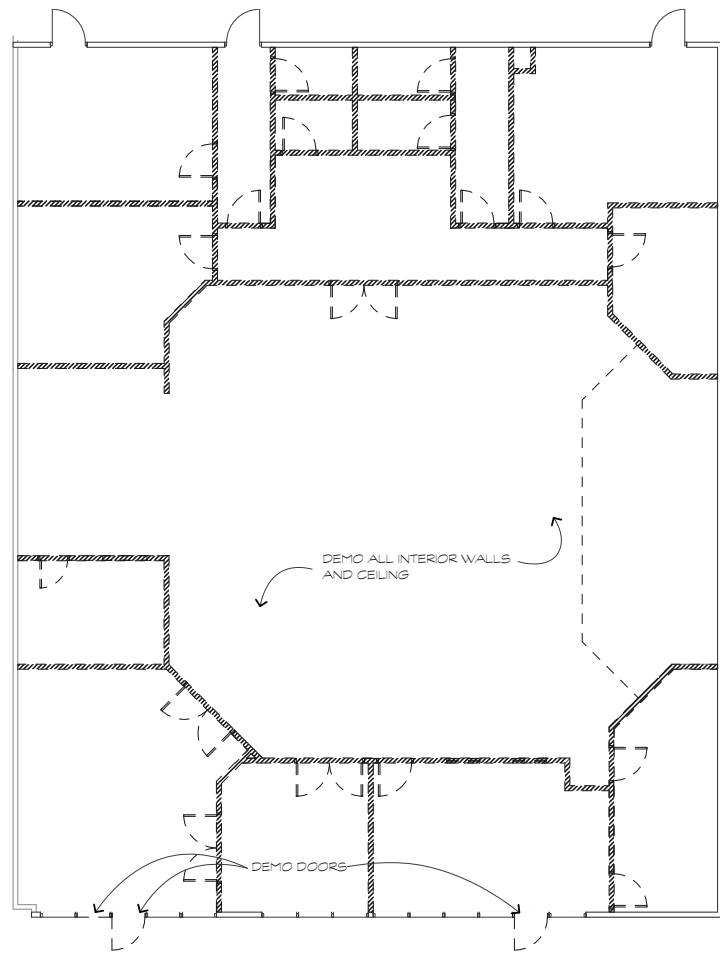
parkdesigngrouparchitects  
 843 785.5171 POST OFFICE BOX 3010 HILTON HEAD ISLAND SC 29928  
**pdg**  
 ARCHITECTS

A Tenant Upfit For:  
**Grayco**  
 Lot #30 Archer Road  
 Hilton Head Island, S.C.

REVISIONS	DATE

**DRAWN BY**  
 TO  
**CHECKED BY**  
**DATE**  
 10/29/20  
**SCALE**  
**JOB NO.**  
**SHEET**  
**S.1**  
 OF SHEETS





**DEMO PLAN**

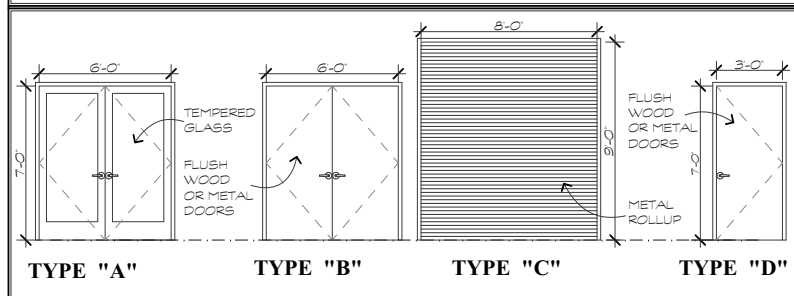
SCALE: 1/4"=1'-0"

2  
A-1

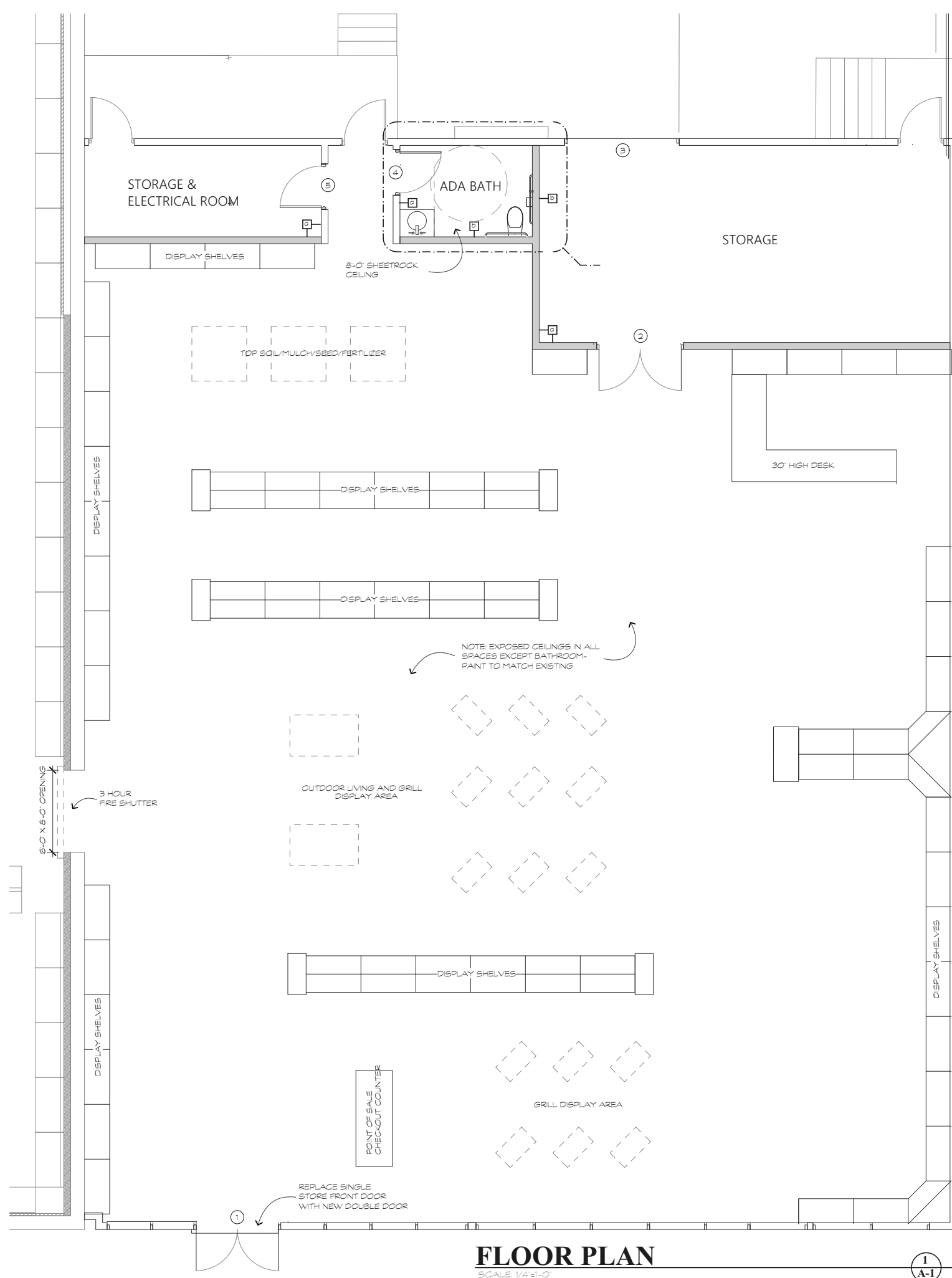
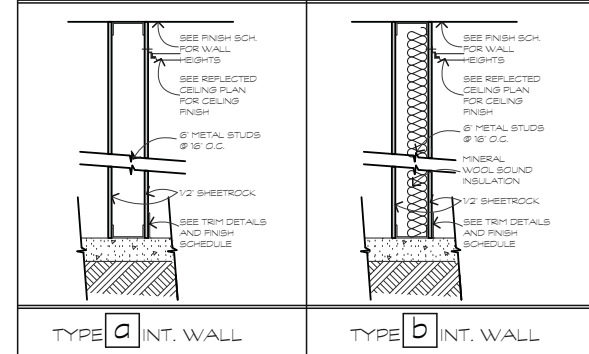
**DOOR & FRAME SCHEDULE**

MARK	DOOR			Material / Finish	DOOR TYPE	FRAME		FIRE RATING	REMARKS
	Size	W	H			Mat.	Jamb depth		
1	6'-0"	7'-0"		ALUM	A	METAL		NA	
2	6'-0"	7'-0"	1 3/4"	WOOD	B	METAL		NA	
3	8'-0"	9'-0"		METAL	C	METAL		NA	
4	3'-0"	7'-0"	1 3/4"	WOOD	D	METAL		NA	
5	3'-0"	7'-0"	1 3/4"	WOOD	D	METAL		NA	

**DOOR & FRAME ELEVATIONS**



**WALL KEY AND DETAILS**



**FLOOR PLAN**

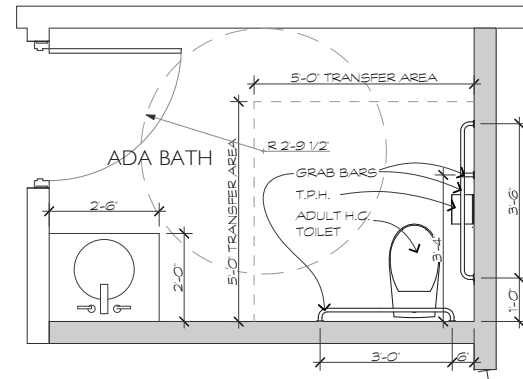
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1  
A-1

REVISIONS	DATE

<b>DRAWN BY</b>	11
<b>CHECKED BY</b>	
<b>DATE</b>	10/29/20
<b>SCALE</b>	
<b>JOB NO.</b>	
<b>SHEET</b>	
<b>A-1</b>	
OF	SHEETS

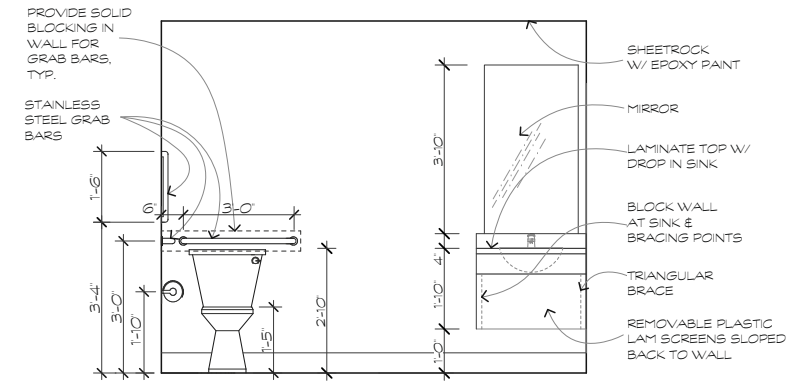




**BATH PLAN**

SCALE: 1/2"=1'-0"

1  
A-2



**BATH ELEVATION**

SCALE: 1/2"=1'-0"

2  
A-2

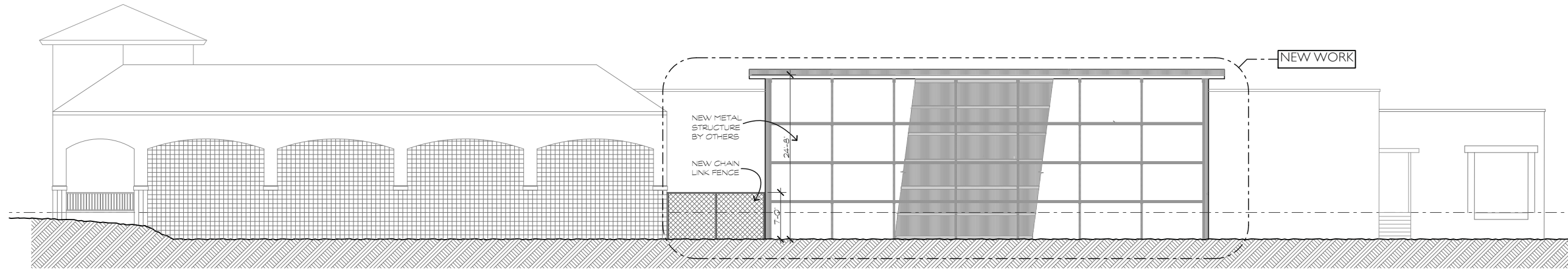
A Tenant Upfit For:  
**Grayco**  
 Lot #30 Archer Road  
 Hilton Head Island, S.C.

**pdg**  
 ARCHITECTS  
 parkdesigngrouparchitects  
 843 785-5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928

REVISIONS	DATE

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**CHECKED BY**  
**DATE**  
 10/29/20  
**SCALE**  
**JOB NO.**  
**SHEET**  
**A-2**  
 OF SHEETS

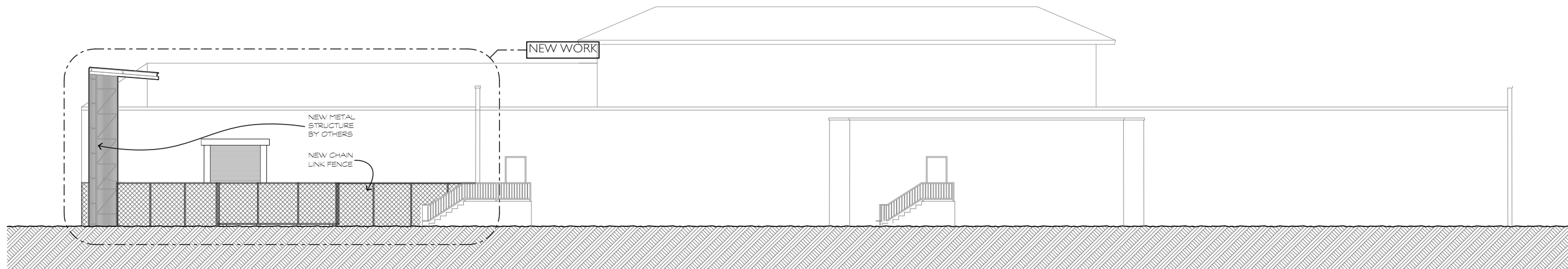




**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"

1  
A-3



**REAR ELEVATION**

SCALE: 1/8"=1'-0"

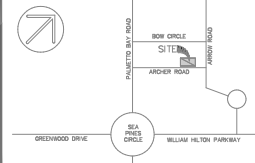
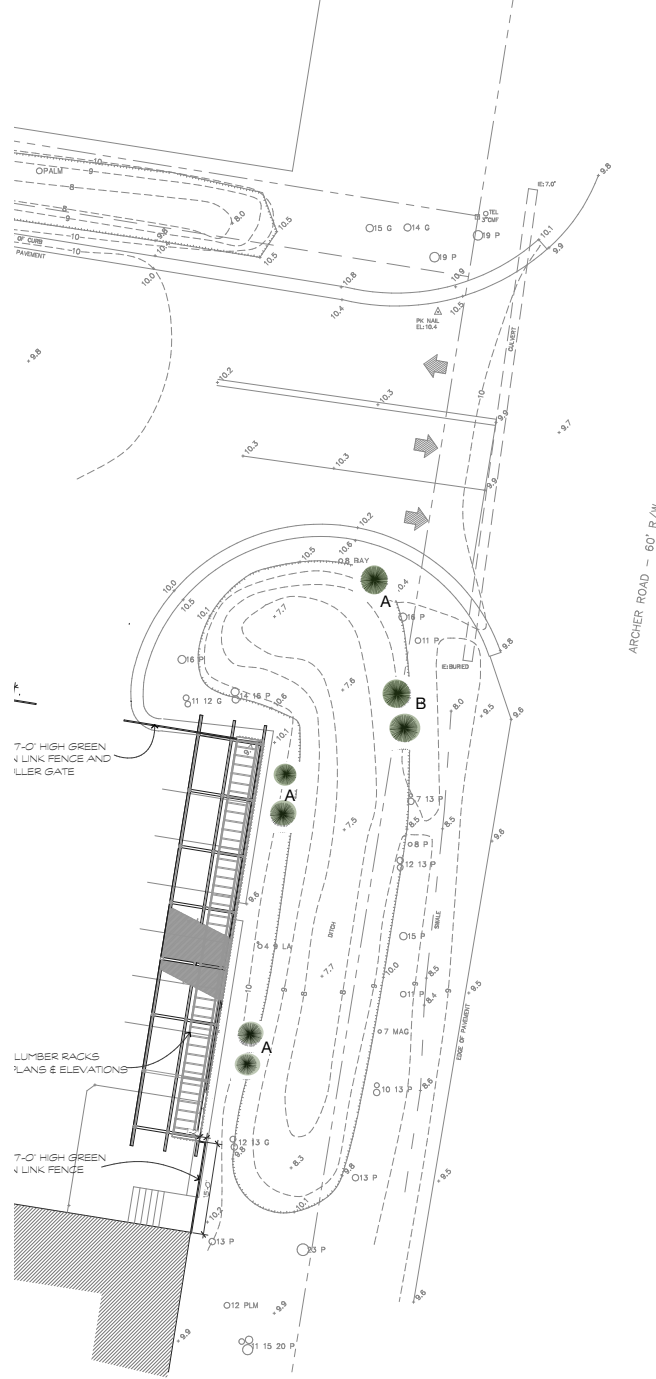
2  
A-3

REVISIONS	DATE





Grayco - Lot 30 - Archer Road  
Landscape Plan and Plant Schedule  
11/30/20



VICINITY MAP NOT TO SCALE

- NOTES:
1. THIS LOT APPEARS TO LIE IN FLOOD ZONE AY(14'), PER FIRM PANEL No. 13-D, COMMUNITY No. 450230, DATED 9/29/86.
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REFERENCE(S):

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- LEGEND:
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  - x- FENCE LINE
  - P PINE
  - Q QUIN
  - LA LAUREL OAK
  - LO LIVE OAK
  - PLM PALMETTO
  - MAG MAGNOLIA
  - +10.0 SPOT ELEVATION
  - 10- CONTOUR

DONALD R. COOK, JR.  
S.C.L.S. No. 19010  
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A PARTIAL, AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF  
**LOT 30**  
ARCHER ROAD  
  
TMS R552 014 000 0770 0000  
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY,  
SOUTH CAROLINA  
  
PREPARED FOR:  
**HC GRAY PROPERTIES, LLC**



PROJECT No. 20090017  
DRAWN BY: DRC PROJECT NAME: 20090017  
DATE: 09.28.20 FILE: 20090017PAT\_092820.dwg  
SCALE: 1"= 10'



A. Tenant Uplift For:  
**Grayco**  
Lot #30 Archer Road  
Hilton Head Island, S.C.

REVISIONS	DATE

**DRAWN BY**  
**CHECKED BY**  
**DATE**  
10/29/20  
**SCALE**  
**JOB NO.**  
**SHEET**  
**S.1**





### Plant Schedule

Key	Common Name	Botanical Name	Size	Qty
A	Southern Red Cedar	<i>Juniperus silicicola</i>	8' Tall 2'-3' Span	5
B	Southern Red Cedar	<i>Juniperus silicicola</i>	12' Tall 4' Span	2

The following changes were made from the original landscaping proposal:

- Eliminating Sabal Palms, Azaleas and cypress due to area size constraints and width of area along curbing.

- Use 7 mature Southern Red Cedar to provide more coverage in less space. Without effecting surrounding trees branches or root system.





## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Grayco Shed

DRB#: DRB-002371-2020

DATE: 11/30/2020

RECOMMENDATION:    Approval                Approval with Conditions                Denial      
RECOMMENDED CONDITIONS:

<b><i>ARCHITECTURAL DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	While there are metal sided building in the immediate area, per the Design Guide, page 15, "Single material facades are generally not appropriate."
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per the Design Guide, page 15, "Single material facades are generally not appropriate."
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the Design Guide, page 15, "Form". "Roof form is also a key element to achieve Island Character."
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The addition of an overhand on the Archer Road elevation with a stepper slope on the roof toward Archer Road would give the structure more "Island Character". Per the Design Guide, page 13, "Overhangs of sufficient depth and in proportion to the façade height can also be important to roof form and for shadow play."
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the Design Guide, page 15, "Details", "Architectural details must be given significant consideration."
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the Design Guide, page 15, "Materials".
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per the Design Guide, page 15, "The use of wood or



				wood simulating material is strongly encouraged.”
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate on the plans, “No additional lighting is proposed.”
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed structure does not relate to the existing building.

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The existing buffer is in good condition. On the Site Plan, show the location of tree protection fence and note that the existing trees are not to be limbed up (i.e. magnolia).

***MISC COMMENTS/QUESTIONS***






Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Steven G. Stowers, AIA Company: Architecture 101  
 Mailing Address: 21B Market, Suite 1 City: Beaufort State: SC Zip: 29906  
 Telephone: 843.790.4101 Fax: N/A E-mail: Steve@A101.Design  
 Project Name: Piggly Wiggly Facade Improvements Project Address: 1 N. Forest Beach Dr.  
 Parcel Number [PIN]: R\_552 018 000 0009 0000  
 Zoning District: NC Overlay District(s): Forest Beach

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Additional Submittal Requirements:

**Final Approval – Proposed Development**

- ✓ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- ✓ Final site development plan meeting the requirements of Appendix D: D-6.F.
- ✓ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- ✓ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ✓ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- ✓ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- ✓ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- ✓ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- ✓ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

\_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

\_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

\_\_\_\_\_ Proposed landscaping plan.

For wall signs:

\_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.

\_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11/24/2020

DATE



November 24, 2020

Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island, South Carolina 29928



**Project: Piggly Wiggly Façade Improvements**

To Whom It May Concern,

Please accept this design information for the Façade Improvements to the existing Piggly Wiggly supermarket at Coligny Plaza.

## PROJECT DESCRIPTION

---

This project will upgrade the existing canopy on the east façade of the Piggly Wiggly supermarket with a new entrance canopy and enhanced landscaping. The entrance canopy will be wood framed with open rafters, typical of the Coligny Plaza canopy style. All new canopy roofs will have green asphalt shingles matching the Coligny style.

Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink that reads "Steven G. Stowers". The signature is stylized and cursive.

Steven G. Stowers, AIA, LEED AP



## One-Light Outdoor

 Ceiling flush mounted • Damp location listed 

### Description:

6" flush mount cylinder. The P5741 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

### Specifications:

- Black (-31) (powder coat paint)
- Die cast and extruded aluminum Construction
- Ideal for a wide variety of interior and exterior applications.
- Die-cast aluminum construction with durable powder coated finish
- 1295 lumens 44 lumens/watt
- 3000K color temperature, 90+ CRI
- Dimmable to 10% brightness (See Dimming Notes)
- Unit covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- Meets California Title 24 high efficacy requirements for outdoor use only

### Performance:

Number of Modules	1
Input Power	28.9w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Delivered)	874/30.2 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60,000 (L70/TM-21)
FCC	FCC Title 47, Part 15, Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	cCSAus Damp location listed Meets California Title 24 high efficacy requirements for outdoor use only

## P5741-31/30K

### Images:



### Dimensions:

Diameter: 6"

Height: 12"





GRAND HOME

STOP  
NO PARKING  
7:00 AM - 11:00 PM

11





NO BEACH PARKING

SULLY'S CAFE

SULLY'S CAFE





FRESH LOCAL SEAFOOD

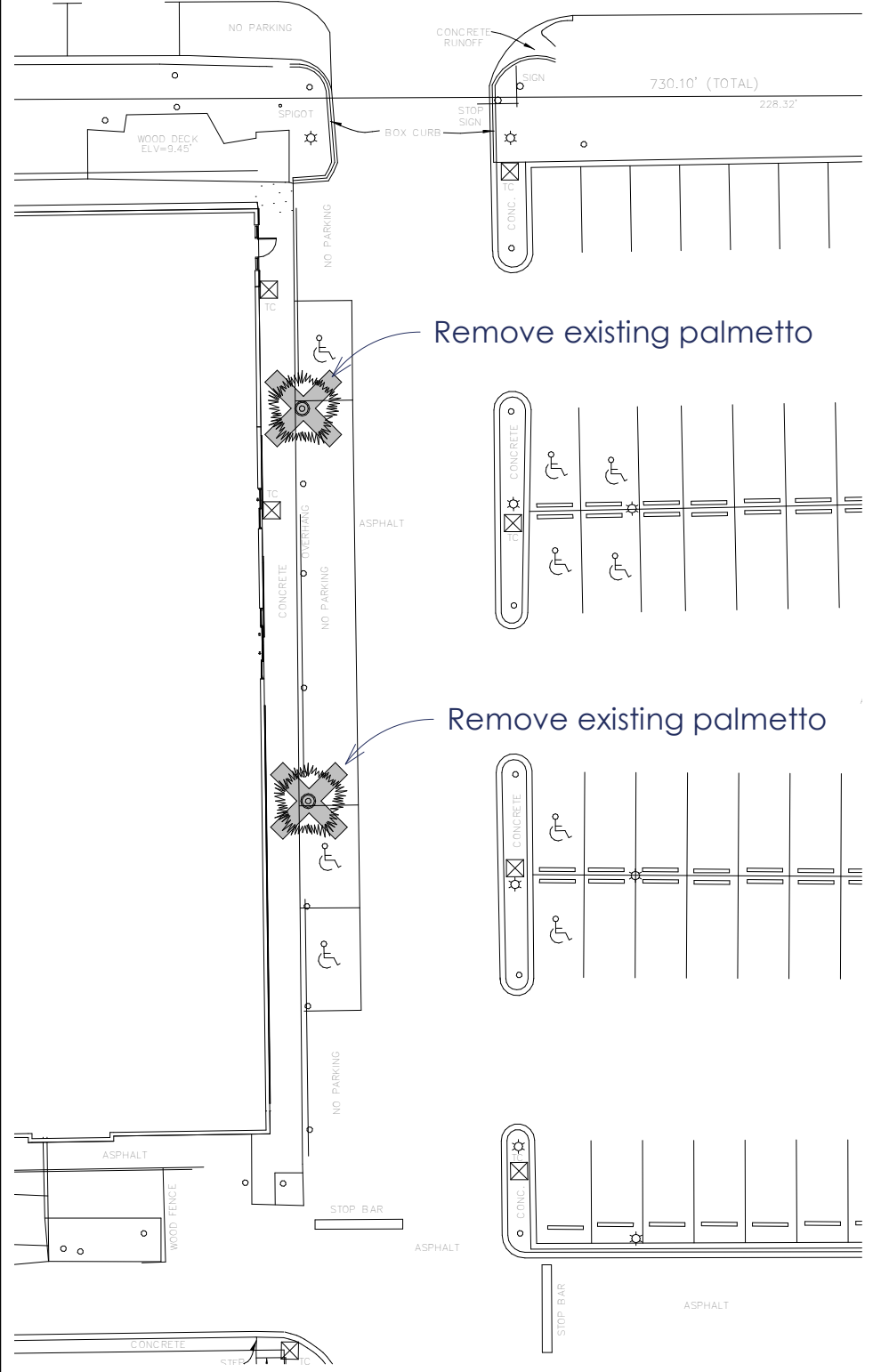
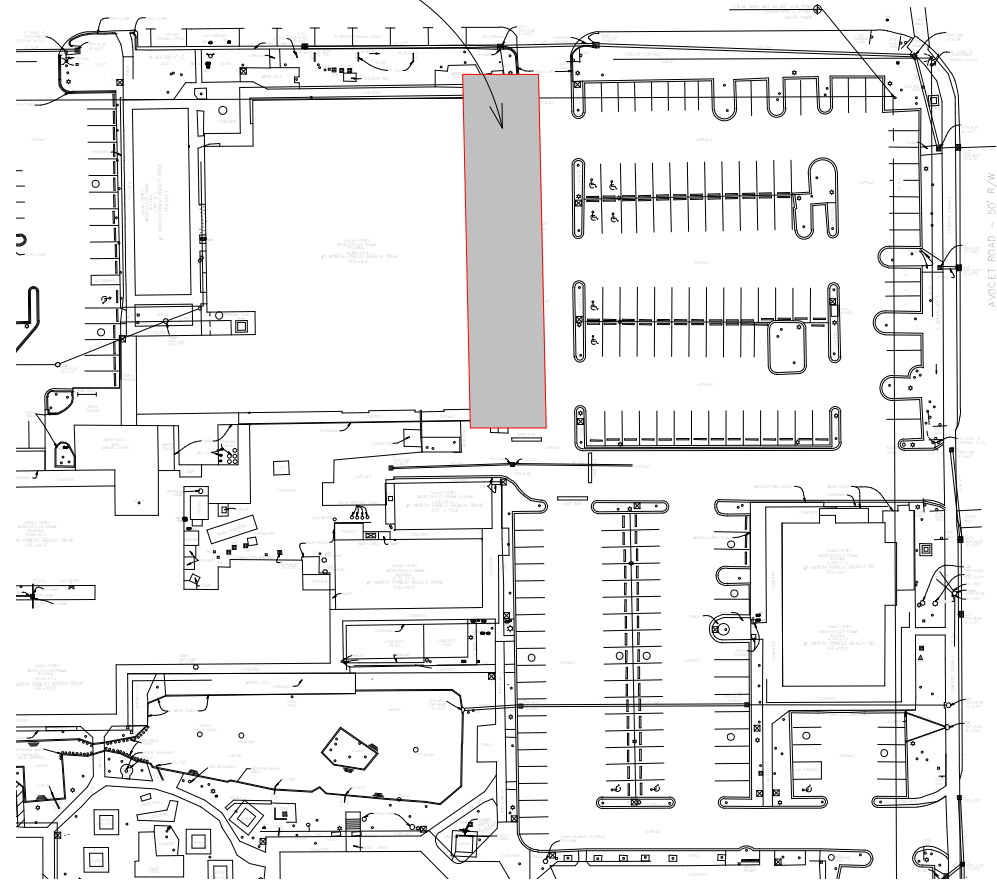
WALMART  
Grocery



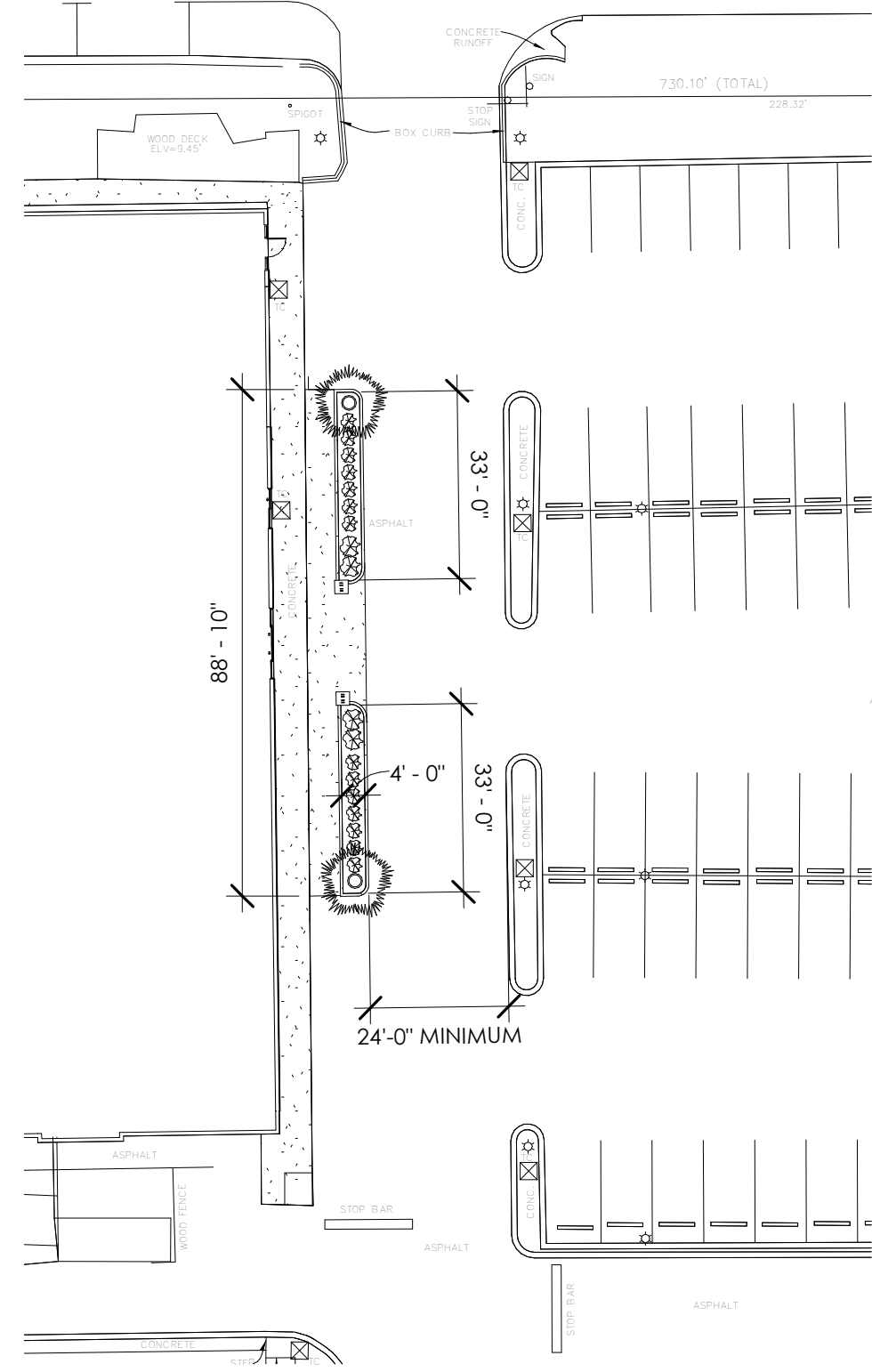
Scale: 1/30" = 1'-0"



PROJECT LOCATION



EXISTING SITE PLAN



PROPOSED SITE PLAN



# PROPOSED SITE PLAN

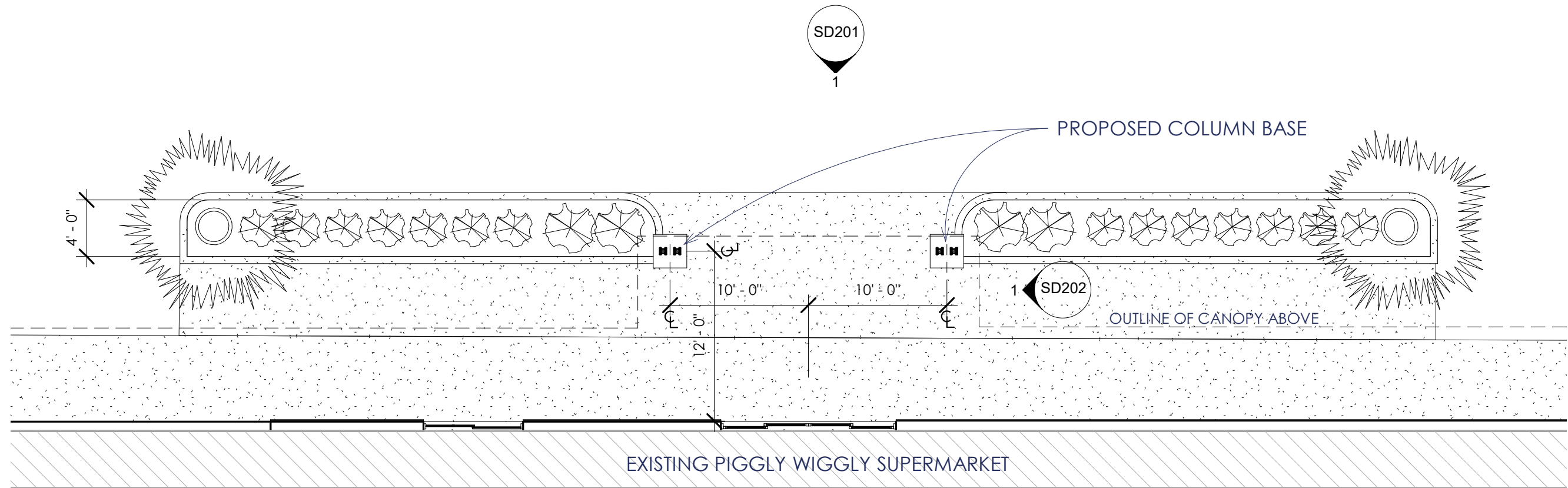
## PIGGLY WIGGLY FACADE IMPROVEMENTS

2020.55

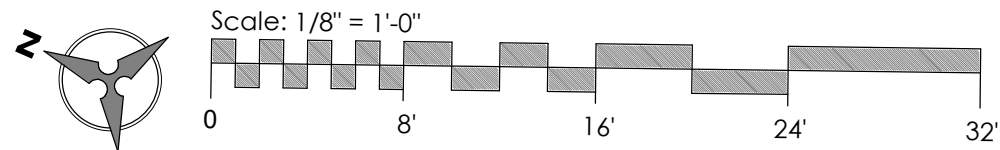
11/24/2020

**SD101**

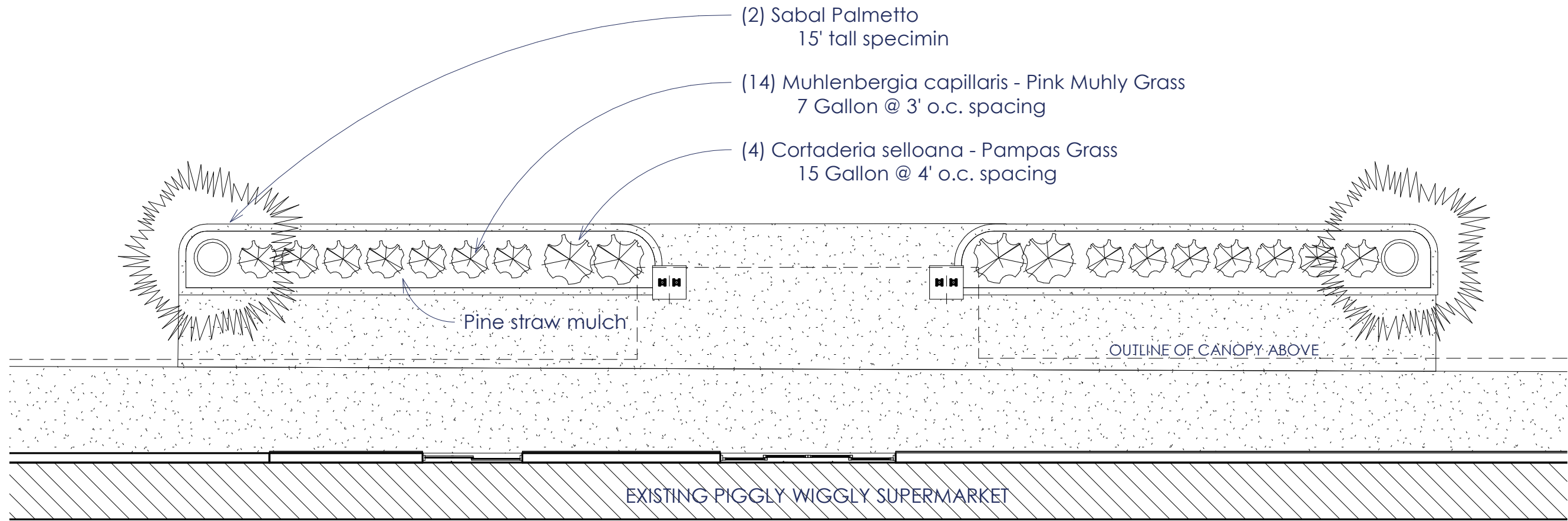




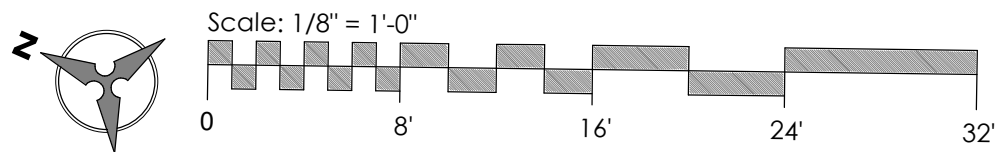
PROPOSED FLOOR PLAN







**PROPOSED LANDSCAPE PLAN**







**PROPOSED EAST ELEVATION (SCALE: 3/32" = 1'-0")**

- Piggly Wiggly Logo (non-illuminated)
- Hanging downlight with emergency battery backup (two total)
- New Hardieboard siding (Coligny beige)

- New wood framed entrance canopy with asphalt shingle roofing matching Coligny green shingles.
- Replace metal roofing with new asphalt shingles matching Coligny green shingles
- 1x4 edge trim (white)
- 1x8 fascia (white)

1x10 trim board (white)

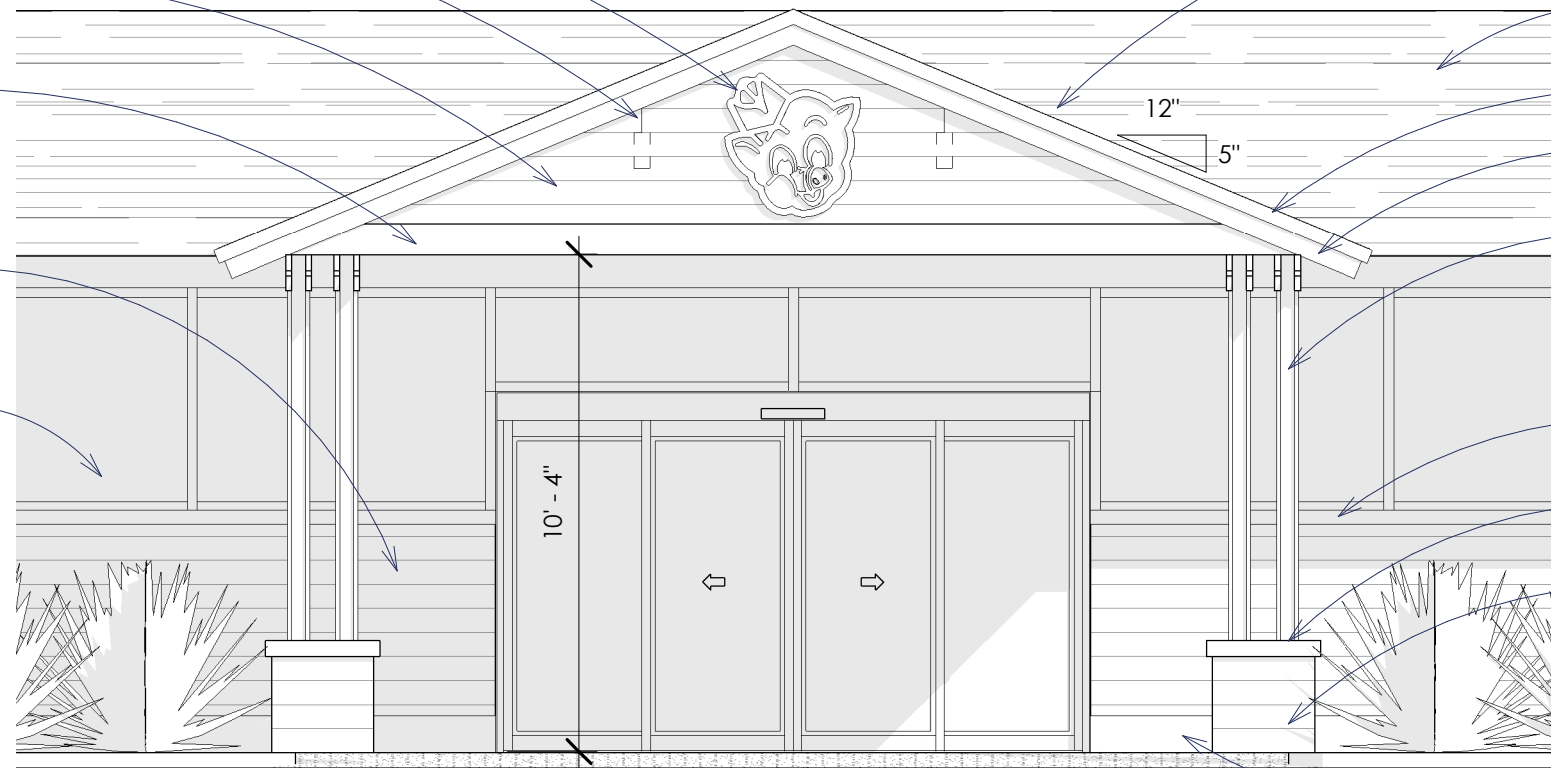
- Remove existing siding and trim and replace with new Hardieboard siding (Coligny beige)
- Remove coverings from existing glass windows

4x4 box column matching typical Coligny style (white sides with beige interior)

1x4 trim board (Coligny green)

4" metal base cap, slope to drain on each side (Coligny green)

New Hardieboard siding (Coligny beige)



**ENLARGED CANOPY ELEVATION DETAIL (SCALE 1/4" = 1'-0")**

1x12 base board (Coligny green)



21B Market, Suite 1 - Beaufort, SC - www.A101.Design

**PROPOSED ELEVATION**

**PIGGLY WIGGLY FACADE IMPROVEMENTS**

2020.55

11/24/2020

**SD201**

11/24/2020 5:14:07 PM



New canopy matches height of existing canopy

Existing canopy

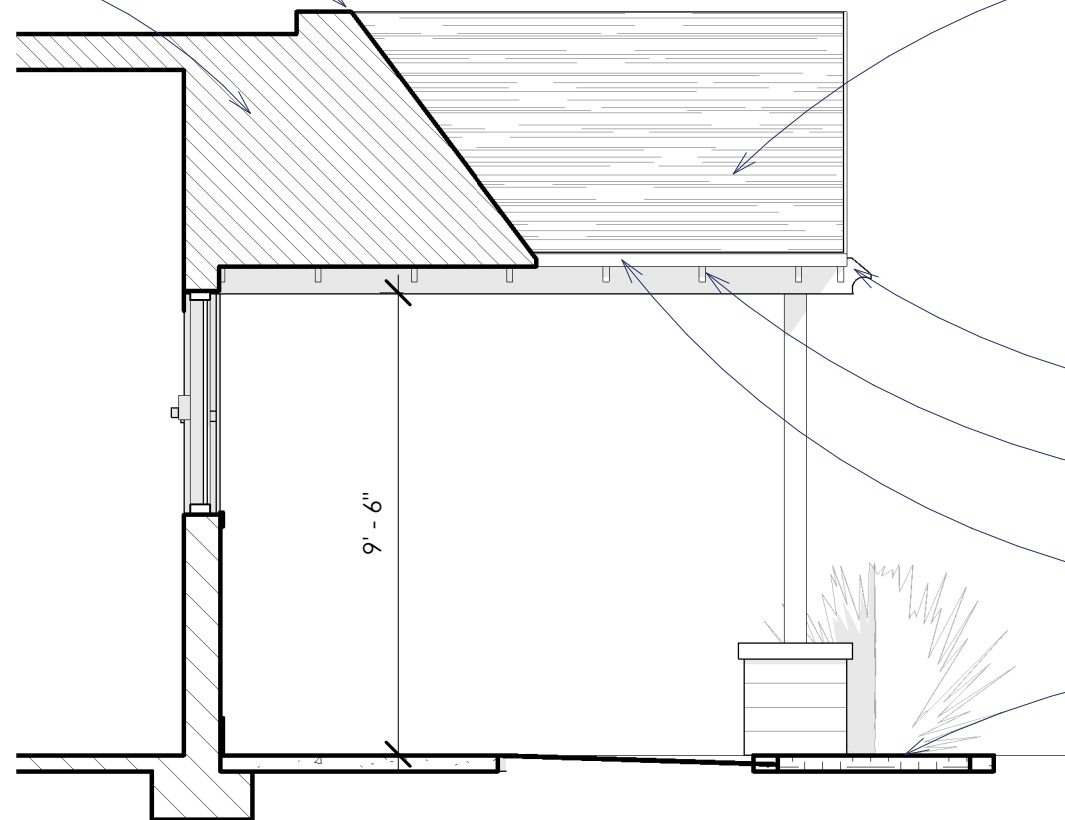
New wood framed entrance canopy with asphalt shingle roofing matching Coligny green shingles. Underside of canopy to be open exposed rafters with (white painted) beadboard finish under roof deck.

New 2x10 rafter with custom detail

2x8 rafters, typical with rafter tails exposed (white)

1x4 fascia (white)

New planting bed



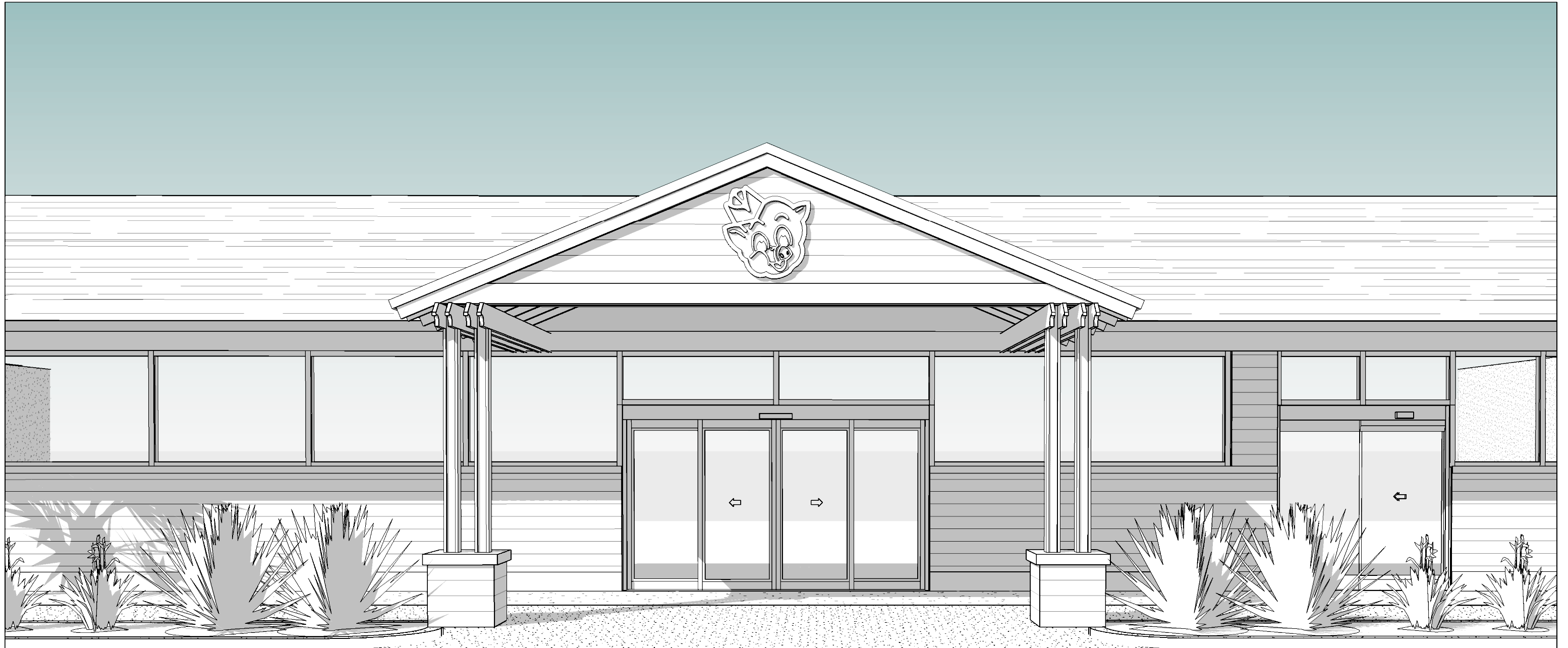
ENLARGED CANOPY ELEVATION SIDE DETAIL (SCALE 1/4" = 1'-0")





**FRONT FACADE PERSPECTIVE**

**PIGGLY WIGGLY FACADE IMPROVEMENTS**



**FRONT FACADE**

**PIGGLY WIGGLY FACADE IMPROVEMENTS**



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Piggly Wiggly Façade Improvements

DRB#: DRB-002374-2020

DATE: November 30, 2020

RECOMMENDATION:    Approval                Approval with Conditions                Denial      
RECOMMENDED CONDITIONS:

<b><i>APPLICATION MATERIAL</i></b>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<b><i>LANDSCAPE DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<b><i>MISC COMMENTS/QUESTIONS</i></b>
The awning is proposed over one door only, which currently functions as the exit. Will the other entrance be abandoned? Consideration should be given to a different style of entry feature that could extend over both doors, with a planting island in between. Gutters should be considered.
Clarification is needed on the proposed connection to the building. The drawings indicate a header above the windows, but this could not be confirmed in the field. The ceiling appears to meet the top of the windows.
The existing metal roof wraps around on both sides of the building. This should all be replaced or additional information should be provided on the location and transition between materials.
All locations proposed for white paint should be changed to Coligny beige.

The typical Coligny style column is green on the sides with a beige recess.

The landscape plan should be revised to show a double staggered row of Pink Muhly Grass. Staff suggests replacing both the Pink Muhly Grass and the Pampas Grass with Fakahatchee Grass or mixture of other evergreen plants.





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Travis Pence Company: The Wilson Group Architects  
 Mailing Address: PO Box 5510 City: Charlotte State: NC Zip: 28299  
 Telephone: 704-331-9747 Fax: \_\_\_\_\_ E-mail: travis@twgarchitects.com  
 Project Name: HXD Terminal Improvements Project Address: 120 Beach City Road  
 Parcel Number [PIN]: R 510 004 000 0375 0000 \_\_\_\_\_  
 Zoning District: IL Light Industrial Overlay District(s): Corridor Overlay - Airport Overlay

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 Concept Approval – Proposed Development \_\_\_\_\_ Alteration/Addition  
 Final Approval – Proposed Development \_\_\_\_\_ Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\$175 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**  
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 \_\_\_\_\_ Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
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- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
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Additional Submittal Requirements:

**Alterations/Additions**

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- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

*Trans Walter Bura*

11/4/20

SIGNATURE

DATE



# TALBERT, BRIGHT & ELLINGTON

*Engineering & Planning Consultants*

## **CIVIL NARRATIVE**

### **Hilton Head Airport Terminal Expansion (Project No. 100266J)**

Owner: Beaufort County  
Engineer: J. Andrew Shook, PE, Inc.  
Date: October 6, 2020

#### **Project Description**

The existing Hilton Head Airport commercial terminal is located at 120 Beach City Road, Hilton Head, SC, and has had ongoing expansions and improvements over many years. The approximately 193-acre property is located in Light Industrial zoning and consists of facilities and infrastructure needed to support a small commercial airport. The current scope of the proposed improvements includes expansion of the terminal building (towards the existing main vehicle parking lot to increase passenger circulation and queuing, and to the south of the existing terminal building) to accommodate three new passenger/aircraft gate positions and new TSA/baggage handling facilities, expansion to the associated vehicle parking lot, and improvements to the passenger drop-off loop and ingress/egress lanes. Impacts to the existing terminal roadway/curbside will occur from the proposed terminal building expansion. Additionally, impacts to the existing main vehicle parking area will occur from the new terminal roadway/curbside that replaces the existing terminal roadway/curbside.

#### **Terminal Roadway/Vehicle Parking Geometric Layouts**

Layout of the proposed inbound terminal roadway will consist of relocating the four (4) lanes of vehicular traffic in front of the expanded front of the terminal building. The two lanes closest to the proposed terminal building expansion will be used for passenger drop off and pickup. The third lane from the proposed terminal building expansion will be used as a transition lane from the two inner drop off and pick up lanes to the outer through traffic lane (fourth lane).

The proposed inbound terminal roadway geometry will include additional footage along the proposed terminal curbside to increase the available length of passenger drop off and pick up areas, which will be needed during periods of heavy passenger loads when more than one aircraft is on the ground at one time.

The existing employee parking lot near the existing terminal building will be impacted by the proposed construction, as well as approximately half of the existing cell phone lot. As mentioned above, the main vehicle parking lot is being impacted by the proposed terminal building/terminal roadway improvements, and will require some reconfigurations as shown on the preliminary proposed parking layout plan submitted with the Pre-application.

With vehicle parking demand exceeding the available parking expansion/reconfiguration areas, it is of utmost importance that as many new parking spaces be created as possible to meet the very strong demand for parking during heavy passenger times throughout the year. Accordingly, the proposed vehicle parking expansion will meet the Town of Hilton Head LMO requirements to the maximum extent possible. A tree risk assessment study is underway to determine if there are any viable specimen and significant trees within the proposed limits of disturbance. Any viable specimen and significant trees within the proposed limits of disturbance will be protected to the maximum extent possible. If one or more specimen trees are unable to be protected and need to be removed to provide the maximum number of vehicle parking spaces, a variance will be requested from the Town/DRB.

### **Roadway/Parking Lot Signage**

It is anticipated that new signage will be installed along the completed inbound terminal roadway, vehicle parking areas directing passengers/customers to the various destinations (e.g., terminal building, vehicle parking, airport exit, etc.) within the terminal area. The signage will be consistent with the signage at the terminal building curbside, and will be in accordance with Town of Hilton Head requirements.

### **Area Lighting**

Area lighting for nighttime operations will be provided for the expanded vehicle parking areas and the reconfigured main vehicle parking areas. It is anticipated that the area lighting will be designed by and provided by Palmetto Electric, consistent with the existing parking lot area lighting.

### **Utilities**

Existing water and sanitary sewer service to the current terminal building is provided by Hilton Head PSD. New service lines will be designed/constructed from the main PSD lines to serve the expanded terminal building. Electric service for the proposed terminal building expansion will be provided by Palmetto Electric.

### **Maintenance Responsibilities**

Beaufort County Airports will be responsible for maintaining the terminal roadway and parking areas after construction in accordance with all Town of Hilton Head requirements and guidelines.



## **STORMWATER & EROSION CONTROL NARRATIVE**

### **Hilton Head Airport Terminal Expansion (Project No. 100266J)**

Owner: Beaufort County  
Engineer: Paul R. Moore, PE, Ward Edwards, Inc.  
Date: October 6, 2020

#### **Project Description**

The existing Hilton Head Airport commercial terminal is located at 120 Beach City Road, Hilton Head, SC, and has had ongoing expansions and improvements over many years. The approximately 193 acre property is located in Light Industrial zoning and consists of facilities and infrastructure needed to support a small commercial airport. The current scope of the proposed improvements includes expansion of the terminal building, expansion to the associated parking lot, and improvements to the passenger drop-off loop and ingress/egress lanes. The site improvements will require filling a 0.41 acre onsite wetlands and impacts to the existing stormwater treatment system.

#### **Stormwater**

Stormwater runoff from the existing terminal building and paved surfaces drain to low spots within the parking lot landscape islands and to the wooded areas around the exterior of the parking lot. Runoff from smaller, more frequent rainfall events infiltrate into the shallow groundwater within the low areas and within the existing onsite wetland. Excess runoff from more significant storms drains to ditches located near the airport property lines, which in turn drain southeast toward the runway. The stormwater management for the entire airport property has been master planned and a series of water quantity and quality BMPs are in place to treat the runoff prior to discharge from the airport property. A dry detention basin will be constructed just southeast of the terminal apron, between the expanded apron and the taxiway. New recessed landscaped areas will be constructed as part of the proposed parking lot expansion to handle the runoff from the new impervious areas. The recessed areas will provide surface detention and infiltration to aid in water quality treatment. Permeable pavement will be used where feasible to reduce the amount of impervious surfaces and the respective runoff. Shallow swales will convey runoff to the existing ditches at the property perimeter, while also provide stormwater treatment through filtering and infiltration. The proposed recessed landscaped areas will provide the first inch retention required by the Town for water quality treatment.

Downstream of the terminal, parking, and apron areas, the Stormwater Master Plan also includes an underground detention system previously constructed in the grassed islands located between Taxiway F and the runway; which provide the majority of the stormwater attenuation and treatment for the airport. The underground detention system provides interaction between the surface storage, underground storage, and the shallow groundwater, which enhances the stormwater quality treatment and peak runoff reduction.

**Construction Sediment and Erosion Control**

Sediment and erosion control during construction will include a construction entrance, perimeter silt fence, inlet protection, and sediment check dams. Temporary and permanent seeding will be utilized to stabilize disturbed areas.

**Maintenance Responsibilities**

Beaufort County Airports will be responsible for maintaining the permanent stormwater BMPs after construction in accordance with all Town of Hilton Head requirements and guidelines.





## **LANDSCAPE NARRATIVE**

### **Hilton Head Airport Terminal Expansion (Project No. 202005-01)**

Owner: Beaufort County  
Designer: Kathleen Duncan, J.K. Tiller Associates, Inc.  
Date: November 23, 2020

### **Project Description**

The existing Hilton Head Airport commercial terminal is located at 120 Beach City Road, Hilton Head Island, SC. The planting plan will address the proposed terminal expansion, drop-off improvements, and parking lot expansion.

### **Existing Conditions**

The existing plants and landscape are currently receiving minimal maintenance. Due to current parking limitations, the landscape has been utilized for additional parking spaces. The parking area contains mature trees consisting of live oaks and crape myrtles as well as ornamental shrubs. The terminal entrance and parking bed areas contain ornamental shrubs and sabal palms. The buffer areas include overstory canopy with oaks, loblolly pines, maples, tupelos, and sweet gums as well as relatively thick underbrush. The entrance has recently been redone and includes ornamental trees, shrubs, groundcover, and turf.

Significant and Specimen trees are have been identified. See civil narrative regarding waivers for significant trees. All trees to remain will be protected during construction as noted on civil plans.

It should be noted that the survey indicates bay trees. These are incorrectly labeled and have been confirmed by a certified arborist as tupelo trees. Additionally, the certified arborist confirmed pine trees are loblolly pines.

### **Planting Design Intent**

The planting design goals include:

- Meet LMO and Town of Hilton Head Comprehensive Plan requirements
- Save and protect existing high-quality trees where possible
- Select and site plants to minimize maintenance requirements
- Blend character of planting between the existing landscape in parking areas and buffer and the newly installed entrance
- Cast a vision of the Hilton Head Island experience for arriving guests
- Address the arrival and departure experience travelers
- Utilize plantings suitable for stormwater BMPs

### **Maintenance Responsibilities**

Beaufort County Airports will be responsible for maintaining the landscape (planting and irrigation) installation after construction is completed.

181 Bluffton Road  
Voice: 843.815.4800

Suite F203  
jktiller@jktiller.com

Bluffton, South Carolina 29910  
Fax: 843.815.4802



ARCHITECTURE  
PLANNING  
INTERIORS

## THE WILSON GROUP

### ARCHITECTURAL NARRATIVE – DRB CONCEPTUAL APPROVAL

#### Hilton Head Island Terminal Improvements

Owner: Beaufort County, SC  
Architect: The Wilson Group Architects  
Date: November 23, 2020

#### Project Description

Originally constructed in 1993, the existing Hilton Head Island Airport Terminal Building provides Commercial Airport Terminal Services for 3 major carriers (American Airlines, Delta Airlines and United Airlines). In the wake of recently completed airfield improvements, the facility can serve larger aircraft with greater enplanements, and has witnessed significantly increased passenger growth. This has put extreme strain on the pre-9/11 Terminal design and its parking lot.

With the financial assistance of Beaufort County, the FAA, and the SC Airport Administration, the Terminal is undertaking a substantial renovation and expansion project to right-size the facility for its current and future demands. Additional goals include updating the look, feel and functionality of the Terminal with an architectural vocabulary of scale, massing and materials that reflect the building's Low-Country setting.

The existing building is approximately 18,500 SF on a single level. Primary materials include a teal-colored standing seam metal roof, exposed tongue and groove wood decking, white structural steel roof trusses, painted steel tube window framing, clear window glazing, and two-toned split-faced concrete masonry unit exterior. The existing building has a compromised thermal envelope design, resulting in a significant amount of exterior rusted steel. In addition, many of the existing exterior materials are not suitable for the hot-humid marine environment and the Airport lacks the staffing and financial resources to provide any regular maintenance program to mitigate buildup of exterior mildew.

The proposed design adds approximately 42,000 SF on a single level, about half of which consists of an elevated holdroom serving aircraft with passenger boarding bridges. The other half of the new SF consists of a new circulation corridor organizing the spine of the building along its landside, presenting the opportunity to update and recreate the exterior look of the building. Flanking this circulation element is a new passenger vehicular drop-off & pick up area with two transaction lanes (one covered), a by-pass lane, and a through lane. Special attention was paid in the design of this area to ensure visual passenger safety and security.

Proposed exterior materials include a new grey-colored standing seam metal roof (non-reflective), painted fiber cement fascia & soffit, painted fiber cement panels (concealed fastener rain screen system), pre-finished fiber cement panels (concealed fastener rain screen system), marine grade aluminum clad wood windows, impact debris resistant glazing, cast-in-place concrete columns with heavily textured waterproof coating, primary entrance/exit areas with heavily textured waterproof



## Architectural Narrative – Hilton Head Island Airport Terminal Improvements

coating, and oyster shell concrete exterior sidewalks in public areas. Colors are muted with no use of white or black.

The scale and massing of the building were carefully considered to thematically reflect its Low Country setting. A vocabulary of hip, gable & shed dormer roofs was developed to break down the overall massing of the building and use the forms to highlight particular functions for each area.

On the landside, the building is well integrated with its heavily landscaped setting. Native plants are arranged in layers that were specifically selected based on both their inside and outside perceptions, seasonal interest, and lack of maintenance. Special attention was paid to the landscaping visible from within the holdroom for deplaning passengers to establish a strong sense of place upon their arrival.

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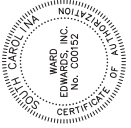
NAVD 88



# Hilton Head Island Airport Terminal Improvements

120 Beach City Rd  
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REVISIONS

DATE 11/11/2020  
PROJECT NUMBER 9221-000  
SHEET TITLE

EXISTING  
CONDITIONS  
PLAN

SHEET NUMBER

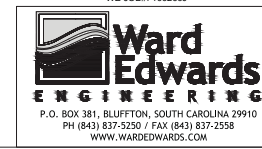
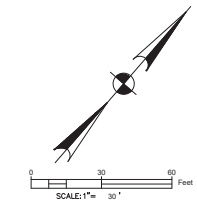
**C101**

N/F  
HILLBILLY HOLDING CORP/  
AVIS RENT A CAR SYSTEM INC  
TMS R510 004 000 0325 0000

EXISTING WETLAND 1"  
0.49 ACRES

N/F  
FRASER FISHBURNE P/S  
TMS R510 004 000 0323 0000

N/F  
RUNWAY ENTERPRISES  
OF HILTON HEAD LLC  
TMS R510 004 000 0338 0000



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PROJECT NUMBER 9221-000  
SHEET TITLE

**INITIAL EROSION  
CONTROL PLAN**

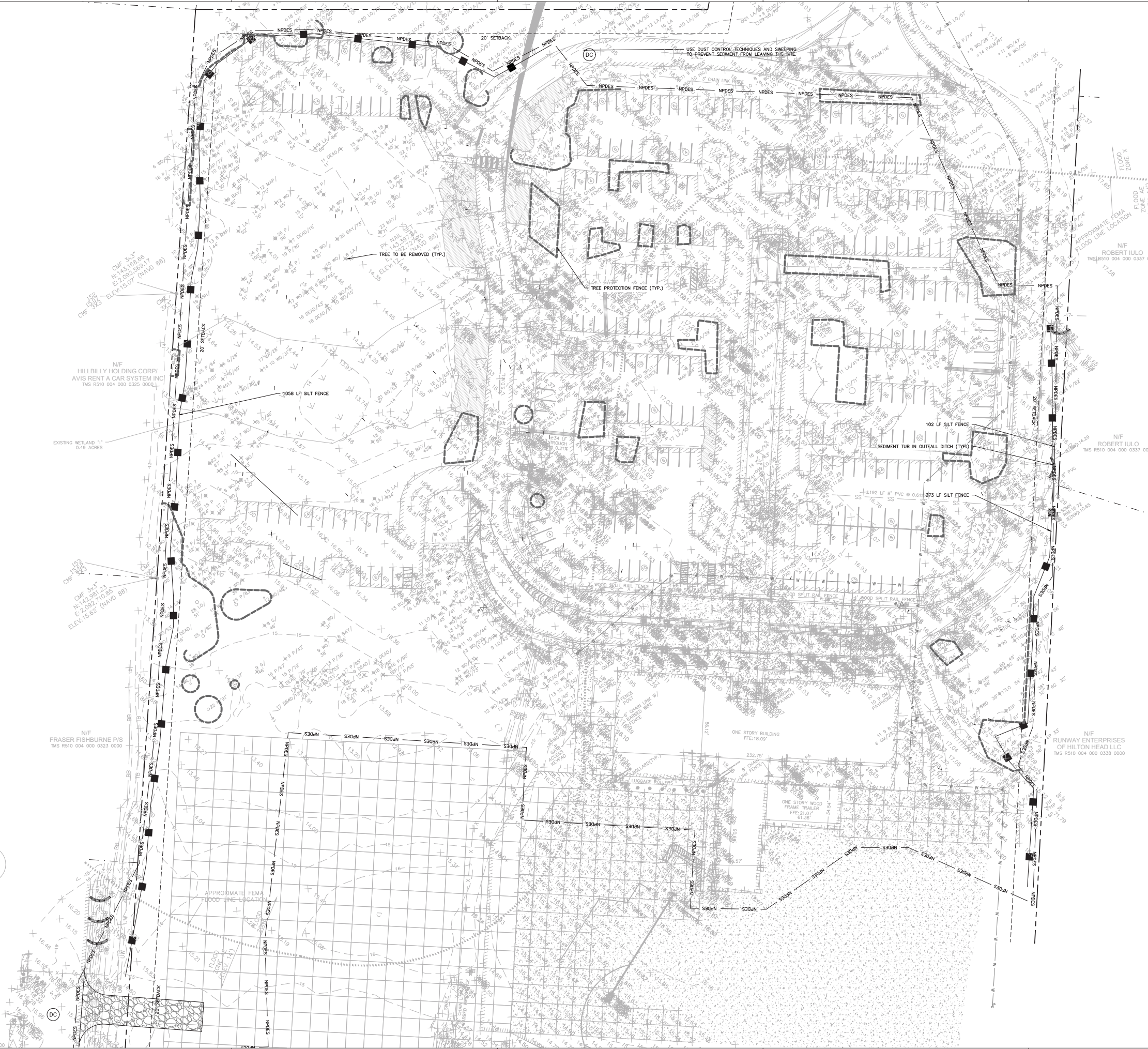
SHEET NUMBER  
**C201**

LIMITS OF DISTURBANCE: NPDES	
<b>EROSION PREVENTION</b>	
LAND GRADING:	LE OR LB
SURFACE ROUGHENING:	SR
TOPSOILING:	TS
TEMPORARY SEEDING:	TS
MULCHING:	M
EOB OR TRM:	EB OR TR
FGM:	FG
BFM:	BF
PERMANENT SEEDING:	PS
SODDING:	SO
RIPRAP:	RIP
OUTLET PROTECTION:	RIPRAP EOB OR TRM
DUST CONTROL:	DC
POLYACRYLAMIDE (PAM):	PAM
<b>SEDIMENT CONTROL</b>	
SEDIMENT BASIN:	SB
TEMPORARY SEDIMENT TRAP:	ST
ROCK SEDIMENT DIKE:	RSD
ROCK CHECK DAM:	RD
SEDIMENT TUBE:	ST
SILT FENCE:	SF
REINFORCED SILT FENCE:	RSF
TYPE A - FABRIC INLET PROTECTION:	IA
TYPE A - SEDIMENT TUBE INLET PROTECTION:	IA-ST
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	IB
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	IC
TYPE D - RIGID INLET FILTERS:	ID
TYPE E - SURFACE COURSE CURB INLET FILTER:	IE
TYPE F - INLET TUBE:	IF
TYPE FC - FILTER BAG CURB INLET PROTECTION:	IFC
TYPE FB - FILTER BAG CURB INLET PROTECTION:	IFB
CONCRETE WASHOUT:	CW
<b>RUNOFF CONVEYANCE MEASURES</b>	
VEGETATED CHANNELS:	VC
RIPRAP-LINED CHANNELS:	RLC
EOB OR TRM-LINED CHANNELS:	ELC
PAVED CHANNELS:	PC
PIPE SLOPE DRAINS:	PSD
TEMPORARY STREAM CROSSING:	TSX
TEMPORARY DIVERSION DITCH OR SWALE:	TD
PERMANENT DIVERSION DITCH:	PD
DIVERSION DIKE OR BERM:	DD
LEVEL SPREADER:	LS
SUBSURFACE DRAIN:	SD

WE JOB#: 100266J

SCALE: 1" = 30'

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GERSUK  
ALL LLC  
000-0307 0000



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CLEARING / DEMOLITION LEGEND	
DEMOLITION	
MILLING	
TREE TO BE REMOVED	
TREE PROTECTION	



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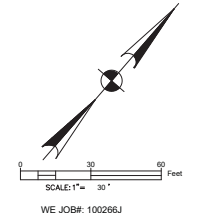
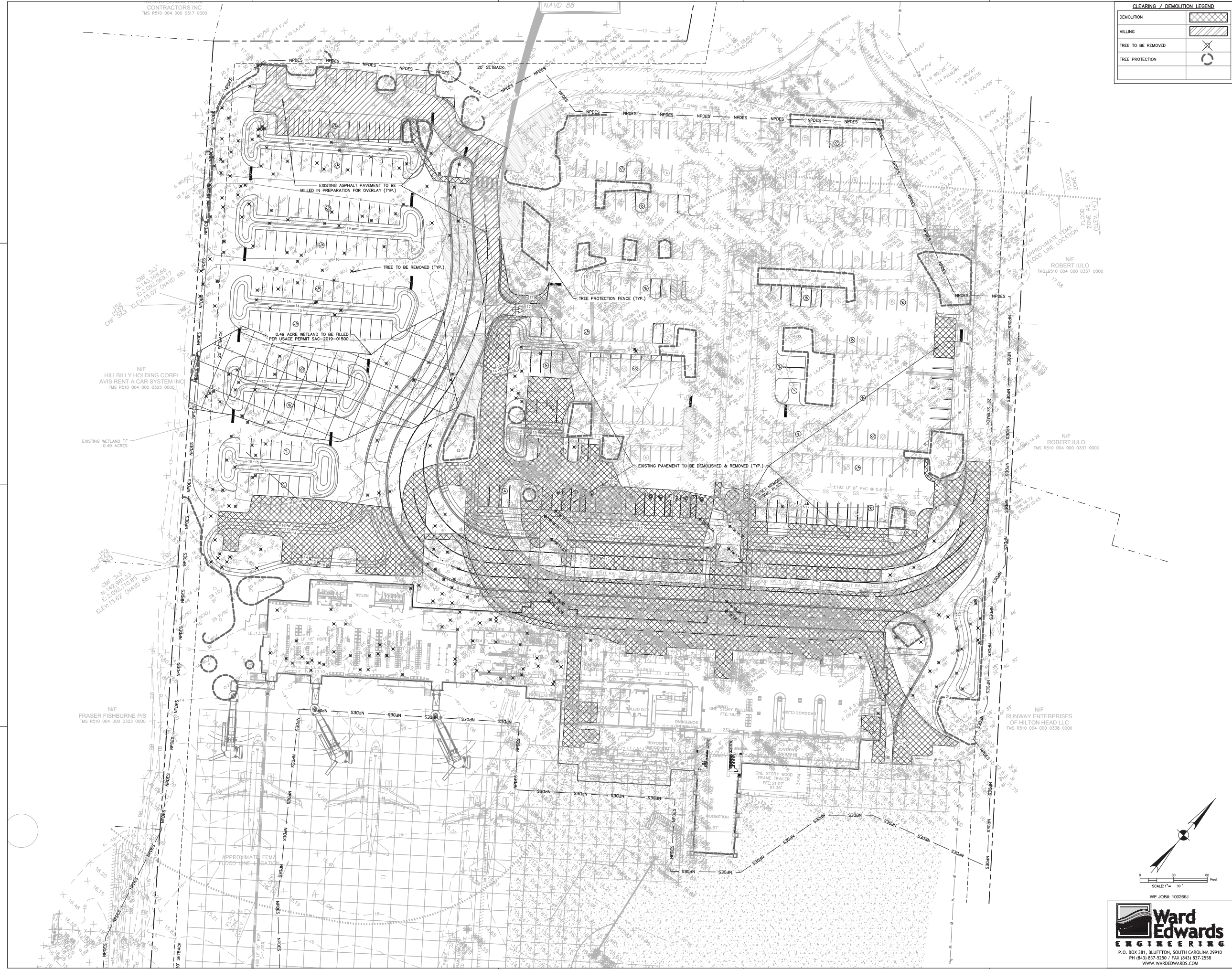
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SHEET TITLE

### CLEARING & DEMOLITION PLAN

SHEET NUMBER  
**C301**



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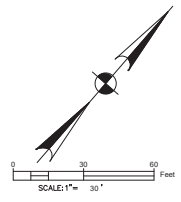
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PROJECT NUMBER 9221-000  
SHEET TITLE

### SITE LAYOUT PLAN

SHEET NUMBER  
**C401**





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NAVD 88

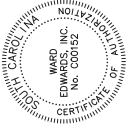
STORM SEWER/DRAINAGE LEGEND	
	PROPOSED
DRIP INLET	DI-A1
CURB INLET (WITH GRATE)	CI-A1
TYPE 16 CURB INLET	CI-A1
VALLEY GUTTER INLET	VI-A1
TRENCH DRAIN	TD-A1
WEIR INLET	WE-A1
YARD INLET	YI-A1
JUNCTION BOX	JB-A1
CLEANOUT	CO
DOWNSPOUT	DS
STORM DRAIN	SD
UNDERDRAIN	UD
ROOF DRAIN COLLECTOR	RD
FLARED END SECTION	FE
HEADWALL	HW
HEADWALL WITH WINGS	HW
OUTLET CONTROL STRUCTURE	OCS
DITCH CENTERLINE	DC
DIRECTION OF FLOW	DF



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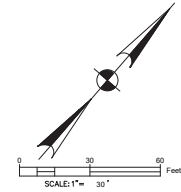
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SHEET TITLE

**DRAINAGE PLAN**

SHEET NUMBER  
**C601**



WE JOB#: 100266J

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PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS FIRE LANE	
PROPOSED AGGREGATE/ STONES	
PROPOSED ASPHALT (NORMAL DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED CONCRETE PAVERS	



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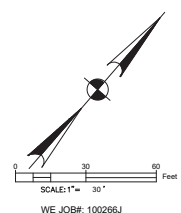
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DATE 11/11/2020  
PROJECT NUMBER 9221-000  
SHEET TITLE PAVING PLAN

SHEET NUMBER  
**C901**





ISLAND CONTRACTORS  
TMS 8510 004 000 000



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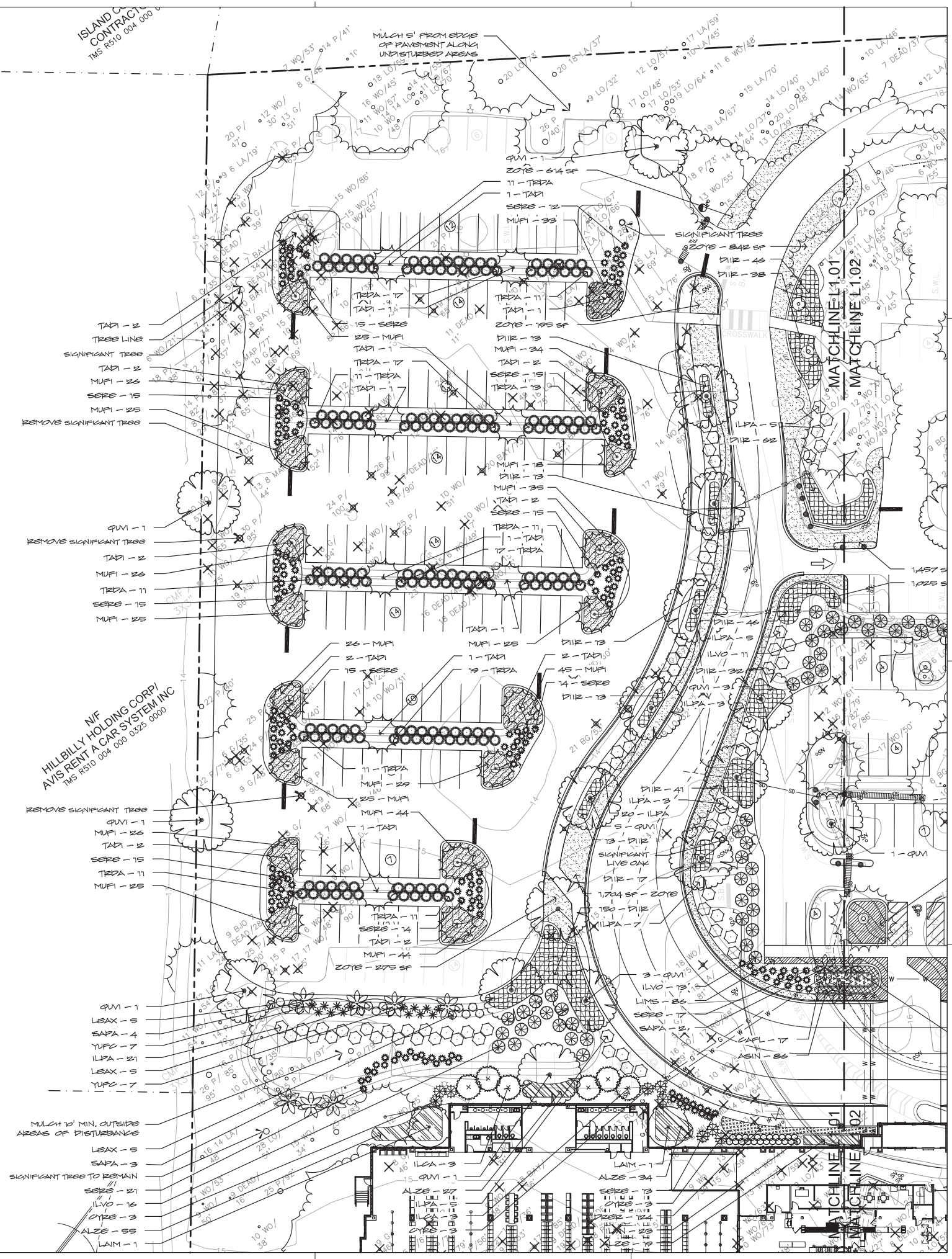
REVISIONS

DATE 11/23/2020  
PROJECT NUMBER 202005-01  
SHEET TITLE

LANDSCAPE  
PLAN

SHEET NUMBER

L1.01



- TAD1 - 2
- TREE LINE
- SIGNIFICANT TREE
- TAD1 - 2
- MUPI - 26
- SERE - 15
- MUPI - 25
- REMOVE SIGNIFICANT TREE

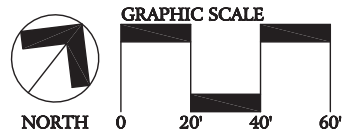
- QUM - 1
- REMOVE SIGNIFICANT TREE
- TAD1 - 2
- MUPI - 26
- TEDA - 11
- SERE - 15
- MUPI - 25

HILLBILLY HOLDING CORP/  
N/F  
AVIS RENT A CAR SYSTEM INC  
TMS 8510 004 000 0325 0000

- REMOVE SIGNIFICANT TREE
- QUM - 1
- MUPI - 26
- TAD1 - 2
- SERE - 15
- TEDA - 11
- MUPI - 25

- QUM - 1
- LEAX - 5
- SAPA - 4
- YUPC - 7
- ILPA - 21
- LEAX - 5
- YUPC - 7

- MULCH 10' MIN. OUTSIDE  
AREAS OF DISTURBANCE
- LEAX - 5
- SAPA - 3
- SERE - 21
- ILVO - 16
- OTRE - 3
- ALZE - 55
- LAIM - 1



SHEET 2





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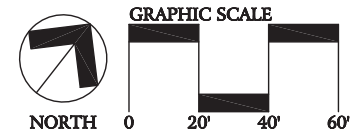
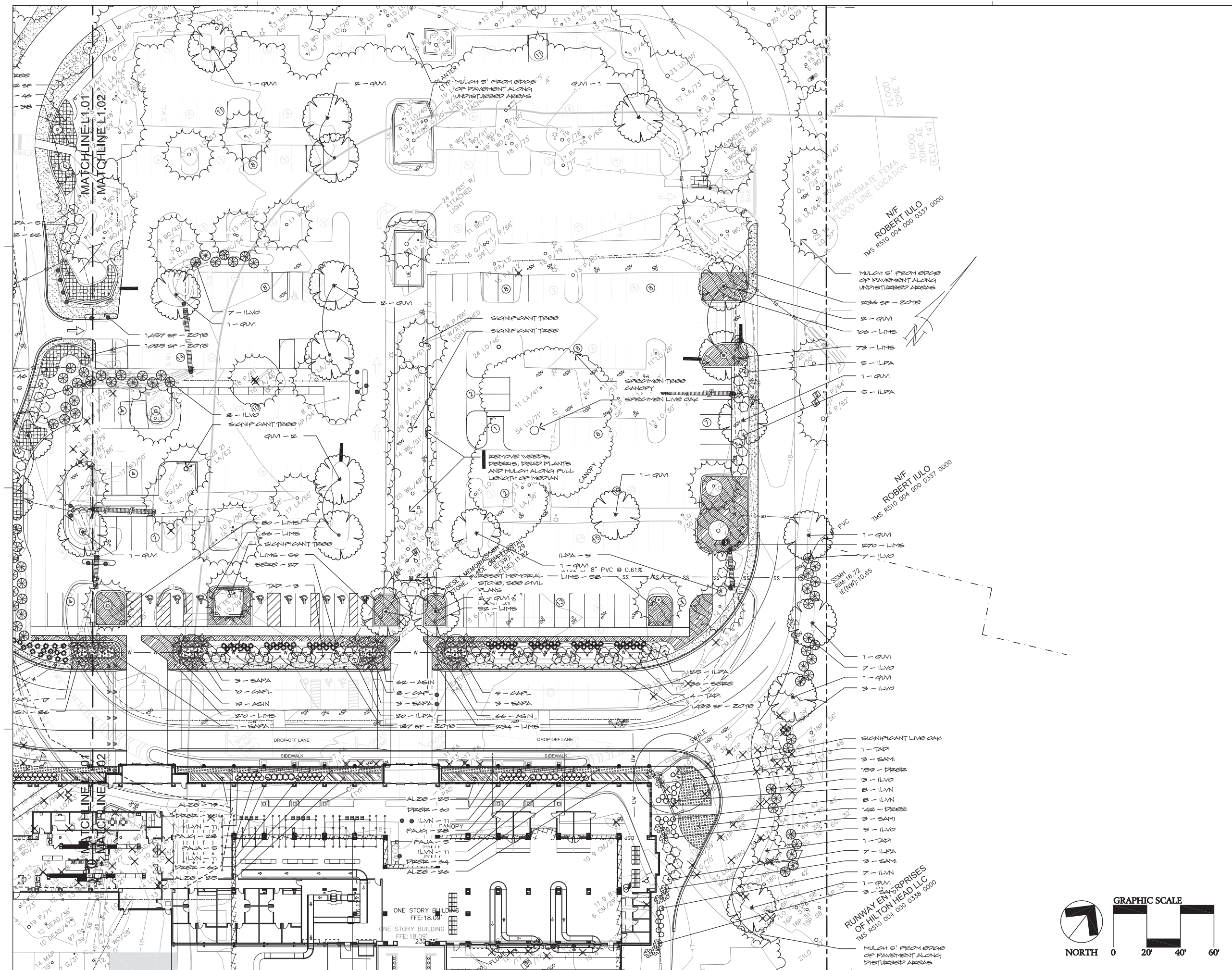
REVISIONS

DATE 11/23/2020  
PROJECT NUMBER 202005-01  
SHEET TITLE

LANDSCAPE  
PLAN

SHEET NUMBER

L1.02



MULCH 5' FROM EDGE OF PAVEMENT ALONG UNDISTURBED AREAS

MULCH 5' FROM EDGE OF PAVEMENT ALONG UNDISTURBED AREAS

MULCH 5' FROM EDGE OF PAVEMENT ALONG UNDISTURBED AREAS

MULCH 5' FROM EDGE OF PAVEMENT ALONG UNDISTURBED AREAS

MULCH 5' FROM EDGE OF PAVEMENT ALONG UNDISTURBED AREAS

NIF ROBERT IULO  
TMS R510 004 000 0337 0000

NIF ROBERT IULO  
TMS R510 004 000 0337 0000

RUNWAY ENHANCEMENTS  
OF HILTON HEAD LLC  
TMS R510 004 000 0338 0000

ONE STORY BUILDING  
FFE: 18.09

ONE STORY BUILDING  
FFE: 18.09

ONE STORY BUILDING  
FFE: 18.09





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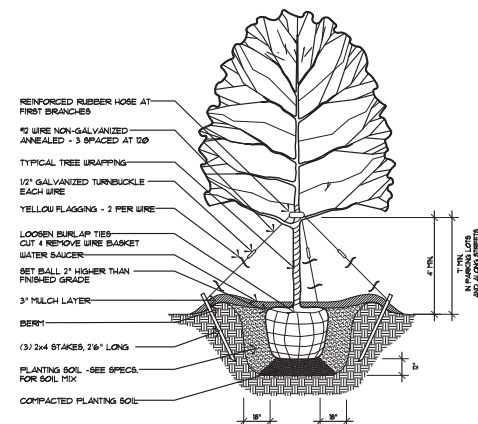
REVISIONS

DATE 11/23/2020  
PROJECT NUMBER 202005-01  
SHEET TITLE

PLANT  
SCHEDULE AND  
DETAILS

SHEET NUMBER

L1.03

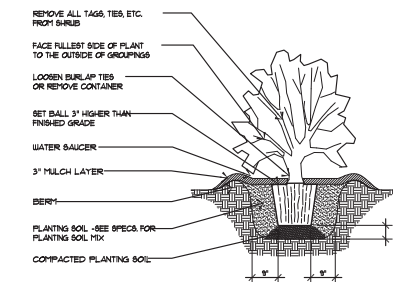


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED
- ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
- REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING OR CROSSING OTHER BRANCHES.
- NEVER CUT A CENTRAL LEADER.
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNERS REP.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

1 Tree Planting

L1.03 Not to Scale

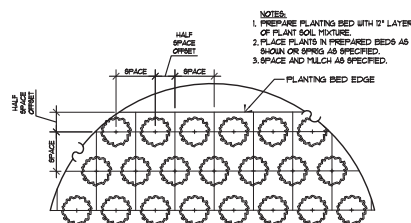


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTBED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNERS REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

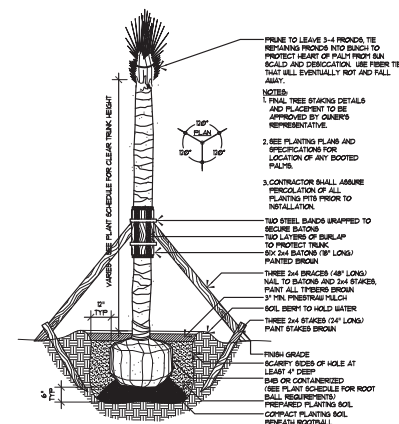
3 Shrub Planting

L1.03 Not to Scale



6 Ground Covers & Perennials

L1.03 Not to Scale

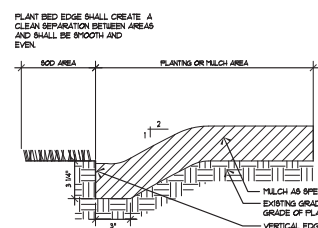


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
- SABAL PALMETTOS SHOULD BE DEFOLIATED, PROTECT CABPAGE HEAD FROM DAMAGE. ALL OTHER PALM SPECIES MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP OR TWINE.
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNERS REP.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

2 Palmetto Tree Planting

L1.03 Not to Scale



NOTES:

- TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS.

5 Sod / Plant Bed Edge Detail

L1.03 Not to Scale

PLANTING NOTES

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL PLANT BEDS WITHIN LIMIT OF DISTURBANCE TO RECEIVE 3" DEEP LONGLEAF PINE STRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL PLANT BEDS WITHIN LIMIT OF DISTURBANCE, OR AS NOTED ON PLAN ARE SHALL HAVE HERBICIDE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION AND SHALL BE KEPT WEED FREE DURING CONSTRUCTION AND DURING PLANT ESTABLISHMENT PERIOD.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PERFORM A PERCOLATION TEST TO VERIFY SOIL INFILTRATION AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONDITIONS THAT WOULD BE DELETERIOUS TO LONG TERM PLANT CONDITION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.
- THE PLANT BED AREAS LABELED AS "AN" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- SPECIMEN AND SIGNIFICANT TREES ARE TO BE PROTECTED IN ACCORDANCE WITH THE TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE AND PER PLANS PROVIDED BY TALBERT, BRIGHT & ELLINGTON.

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CAL.	HEIGHT	SPREAD	CONT.
ILCA	6	ILEX ASSINIS / COMMON HOLLY	2"	8'-10'	3'-4'	CONT.
LAIN	2	LACHNOSTROCHIA INDIKA 'MUSCOCOE' / MUSCOCOE CHAPE MYRTLE	3"	10'-12'	4'-6'	
QVM	37	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	4" MIN.	15'-16'	6'-8'	CONT.
SAPA	79	SABAL PALMETTO / CABPAGE PALMETTO	-	15'-16'		5#43
TAP1	36	TAXODIUM DISTICHUM / BALD CYPRESS	4" MIN.	12'-14'	6'-8'	CONT.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	
OTRE	9	STYMAS REVOLUTA / JAPANESE SAGO PALM	7 GAL.	24"-30"	24"-30"	
PAJA	10	PATSKIA JAPONICA / JAPANESE PATSKIA	7 GAL.	2'-3'	2'-3'	
ILVO	80	ILEX VOMITORIA / YAUPOIN HOLLY	7 GAL.	3'-4'	2' MIN.	
ILVN	90	ILEX VOMITORIA 'NANA' / DWARF YAUPOIN	3 GAL.	12"-18"	12"-18"	
ILPA	136	ILLEGUM PARVIFLORUM / ANISE TREE	7 GAL.	24"-30"	24"-30"	
LEAX	15	LEUCOTHOS AXILLARIS / COASTAL LEUCOTHOS	3 GAL.	15"-18"	15"-18"	
SAMI	12	SABAL MINOR / DWARF PALMETTO	7 GAL.	18"-24"	18"-24"	
SEPE	259	SERENGA REPENS / SAW PALMETTO	3 GAL.	18"-24"	18"-24"	
TEDA	17	TRIPSACUM DACTYLOIDES / PANHANDLE GRASS	3 GAL.	18"-24"	18"-24"	
YUP2	14	YUSSA FILAMENTOSA 'COLOR CHANG' / JAPAN'S NEEDLE	3 GAL.	15"-18"	12"-18"	
GROUNDCOVERS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
ALZO	230	ALPINA ZEBRINIBIT 'VARIEGATA' / VARIEGATED SHELL CINCQUE	3 GAL.	18"-24"	18"-24"	30" O.C.
ASIN	233	ASCLEPIAS INCARNATA / SWAMP MILKWEED	1 GAL.	6"-12"	6"-12"	18" O.C.
CAPL	44	CANNA FLACCIDA / YELLOW CANNA	1 GAL.	6"-12"	6"-12"	36" O.C.
DIIE	497	DIETES IRETODIDES / FORENIGHT LILY	1 GAL.	12"-18"	8"-12"	30" O.C.
DEER	669	DEYOPTERIS BERTHOESORA 'BELLUNGO' / AUTUMN FERN	1 GAL.	12"-18"	12"-18"	18" O.C.
PAJ1	56	PANFALIGUM JAPONICUM 'GIGANTEUM' / GIANT LEOPARD PLANT	3 GAL.	12"-18"	12"-18"	24" O.C.
LIMS	1,294	LIRIOPE MUSCARI 'SUPER BLUE' / SUPER BLUE LIRIOPE	1 GAL.	12"-18"	8"-12"	24" O.C.
MUP1	536	MULLENBERGIA FLIPES / MULLY	1 GAL.	18"-24"	12"-18"	30" O.C.
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
ZOTB	7,967 SF	ZOTSA JAPONICA 'ZEON' / KOREAN GRASS	SOD			





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120 Beach City Rd  
Hilton Head Island, SC 29926

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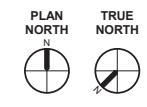
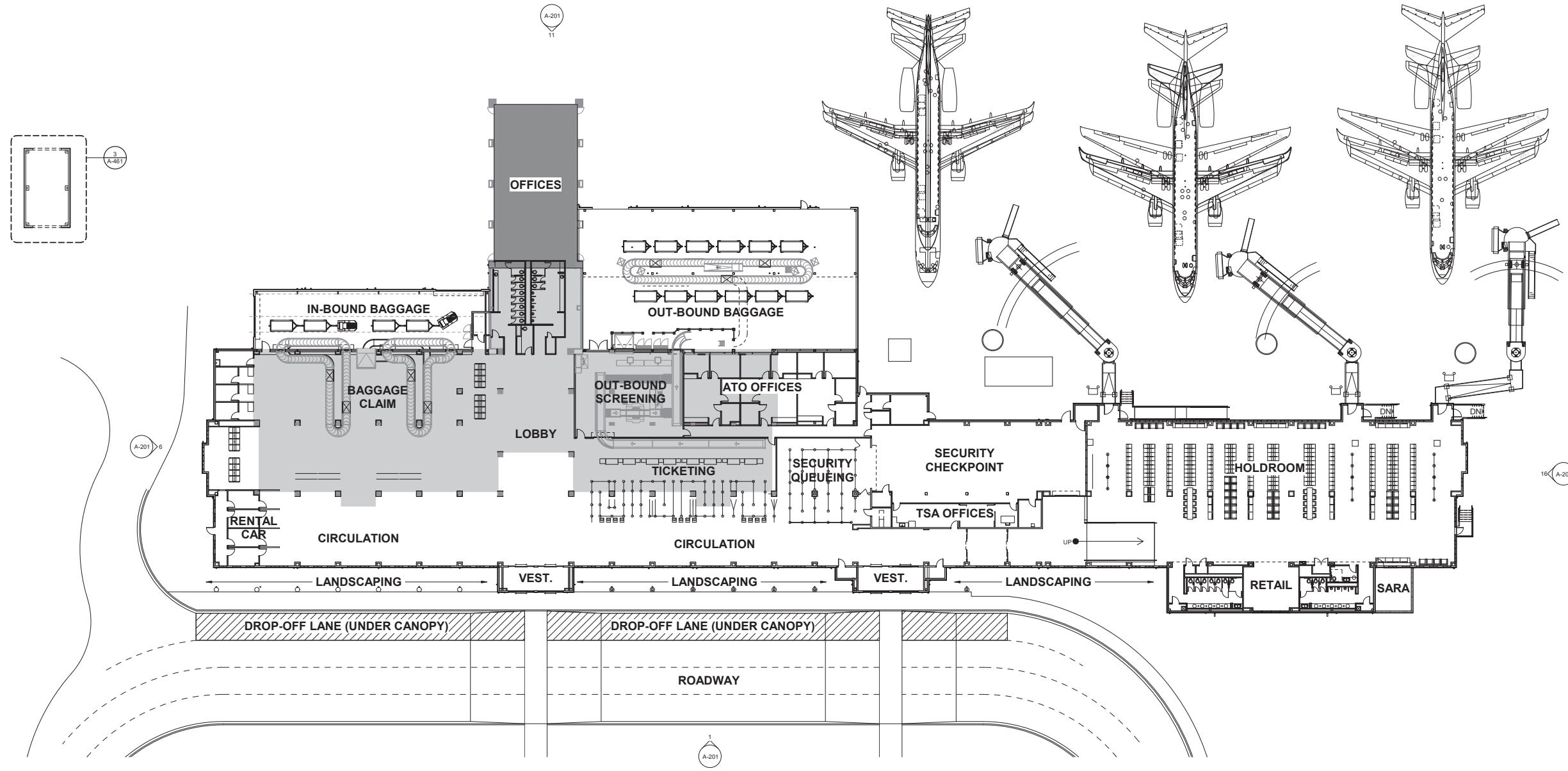
DATE 11/23/2020  
PROJECT NUMBER 9221-000  
SHEET TITLE

**FIRST LEVEL  
OVERALL FLOOR  
PLAN**

SHEET NUMBER

**A-001**

AREA LEGEND	
	EXISTING ENCLOSED AREA
	RENOVATED ENCLOSED AREA
	NEW ENCLOSED AREA



**1** FIRST LEVEL FLOOR PLAN  
1" = 20'-0"



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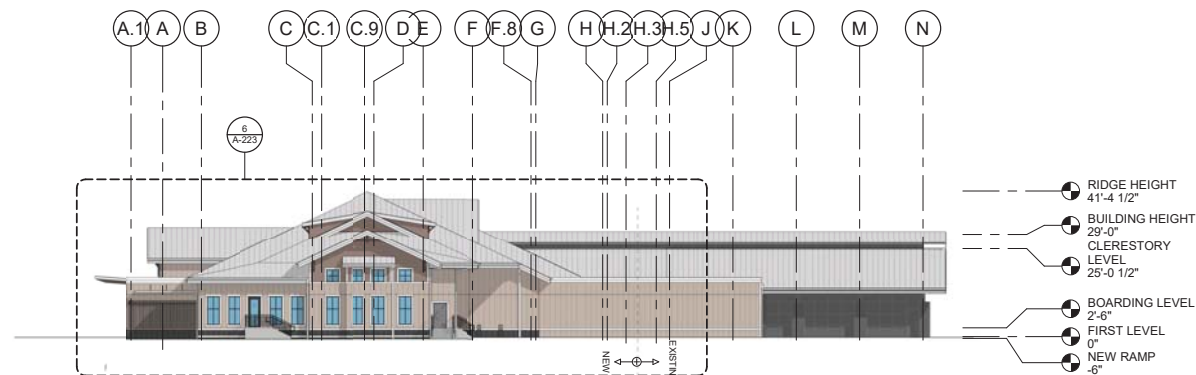
**EXTERIOR ELEVATIONS**

SHEET NUMBER

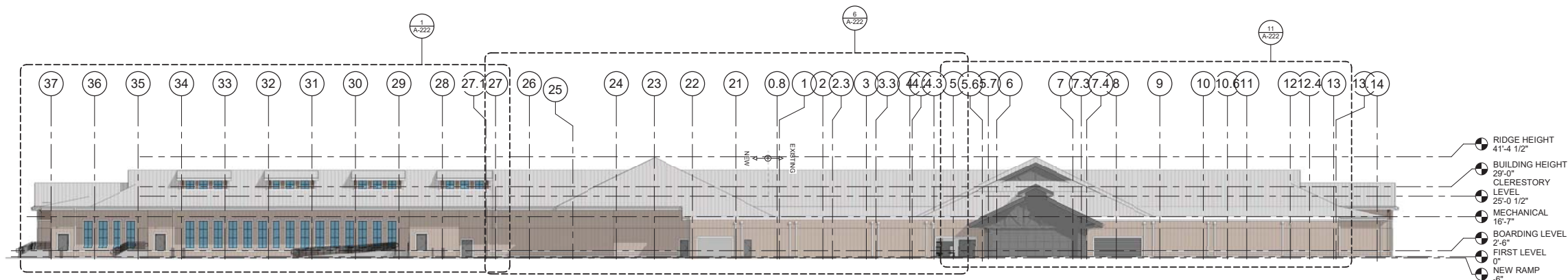
**A-201**

**ELEVATION LEGEND**

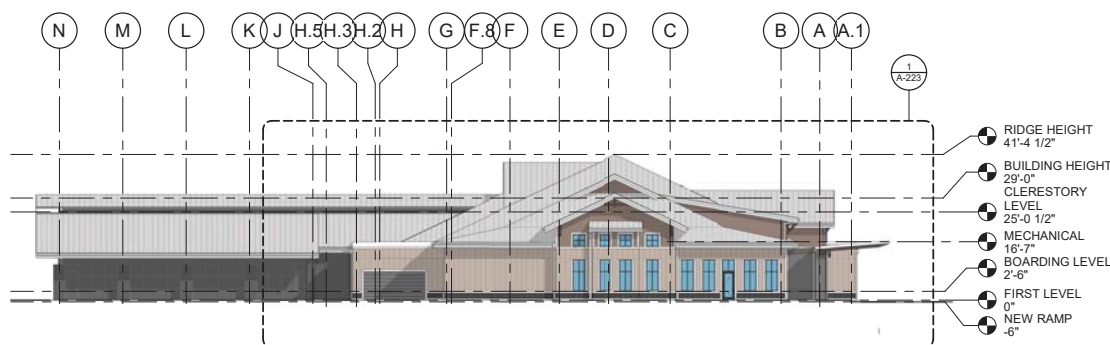
- EXISTING AREA
- CONTRACT WORK AREA



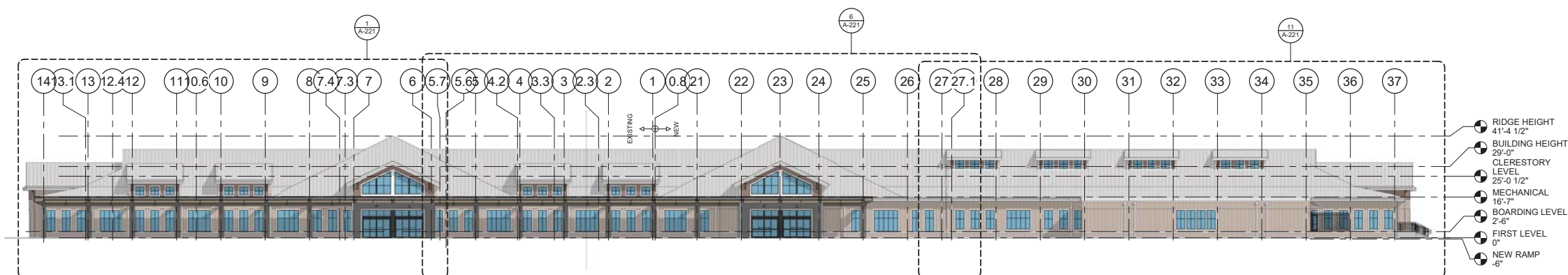
16 PLAN EAST ELEVATION  
1" = 20'-0"



11 PLAN NORTH (AIRSIDE) ELEVATION  
1" = 20'-0"



6 PLAN WEST ELEVATION  
1" = 20'-0"



1 PLAN SOUTH (LANDSIDE) ELEVATION  
1" = 20'-0"





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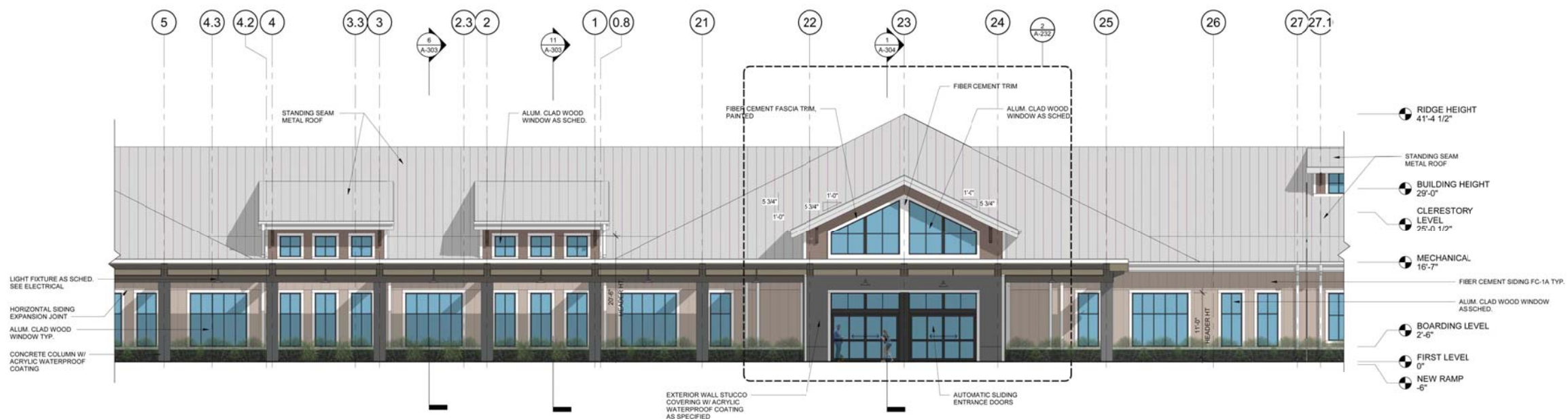
ENLARGED  
ELEVATIONS

SHEET NUMBER

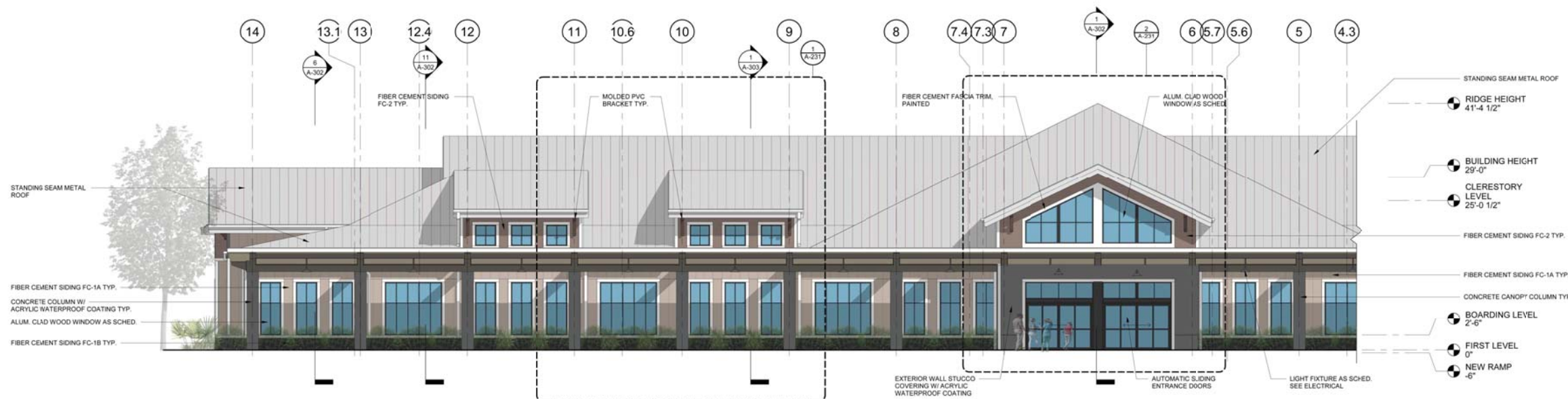
**A-221**



11 ENLARGED LANDSIDE ELEVATION - ZONE 3 PLAN SOUTH  
1/8" = 1'-0"



6 ENLARGED LANDSIDE ELEVATION - ZONE 2 PLAN SOUTH  
1/8" = 1'-0"



1 ENLARGED LANDSIDE ELEVATION - ZONE 1 PLAN SOUTH  
1/8" = 1'-0"





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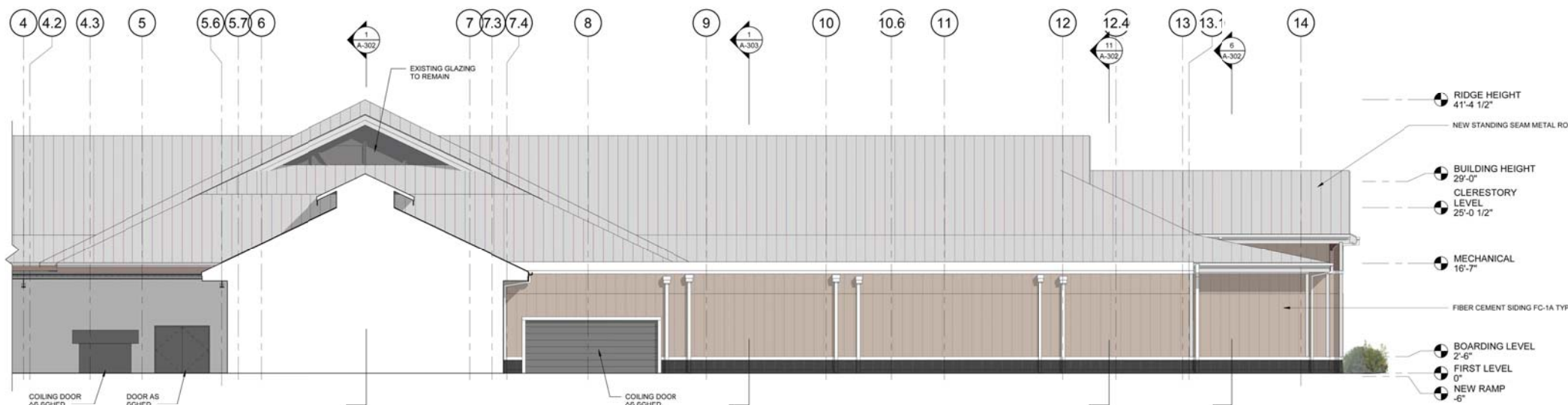
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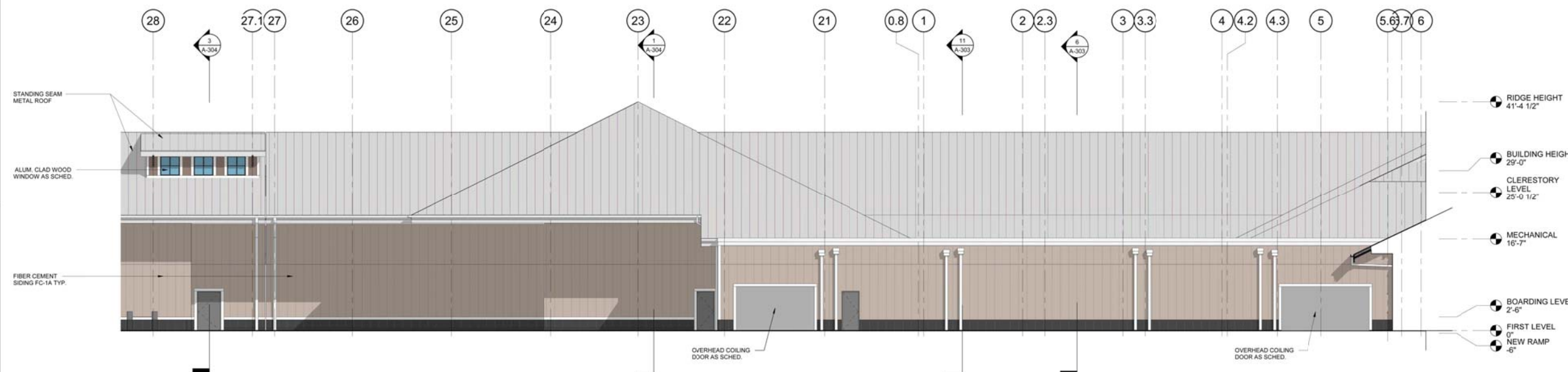
### ENLARGED ELEVATIONS

SHEET NUMBER

# A-222



**11** ENLARGED AIRSIDE ELEVATION - ZONE 1 PLAN NORTH  
1/8" = 1'-0"



**6** ENLARGED AIRSIDE ELEVATION - ZONE 2 PLAN NORTH  
1/8" = 1'-0"



**1** ENLARGED AIRSIDE ELEVATION - ZONE 3 NORTH  
1/8" = 1'-0"





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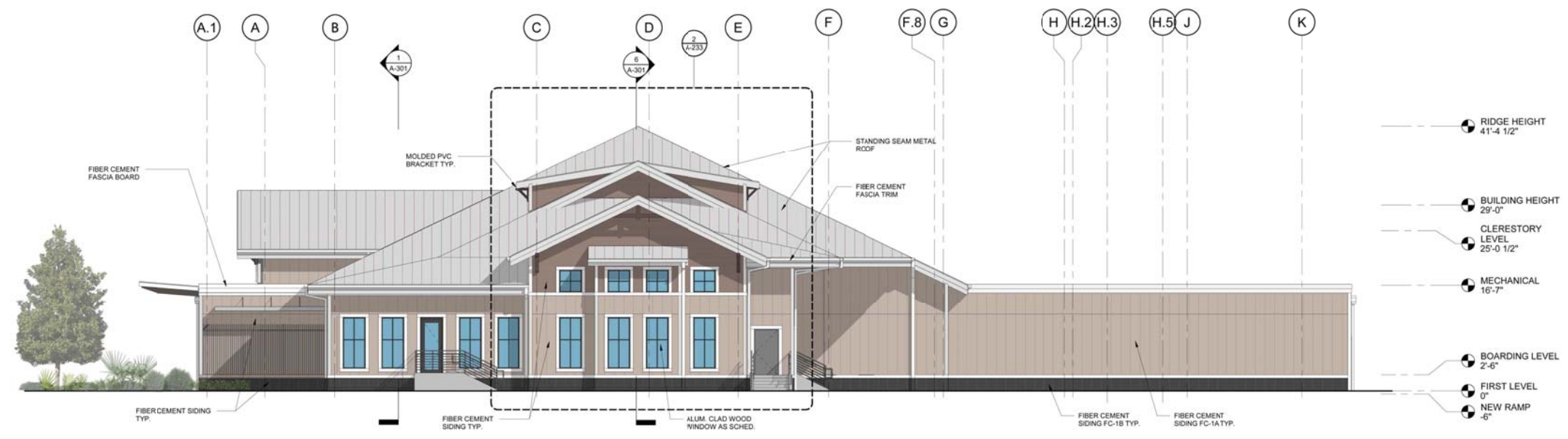
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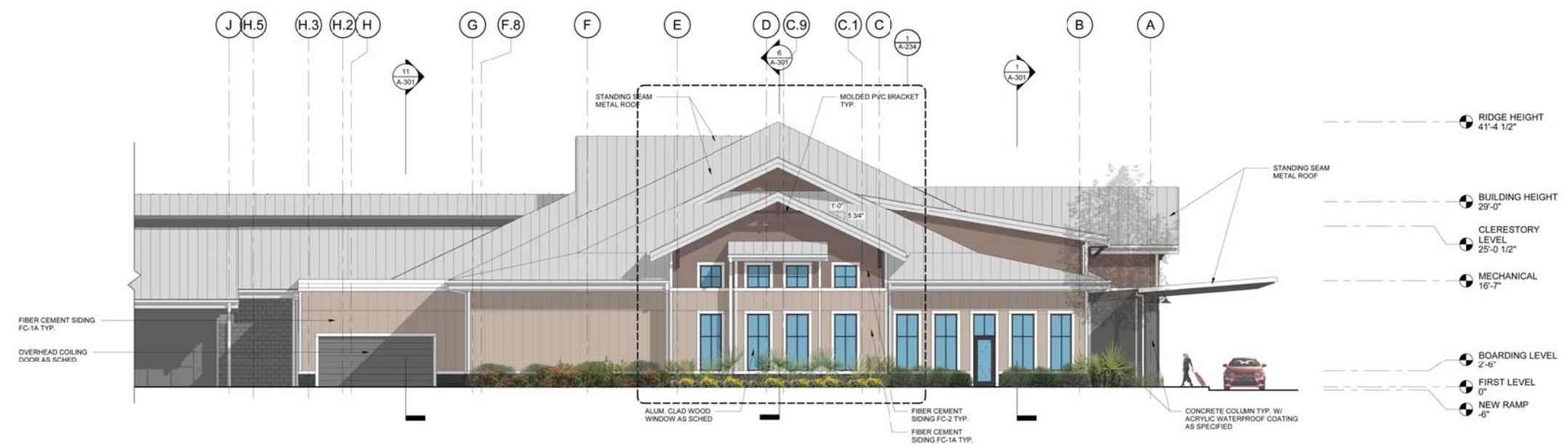
DATE 11/23/2020  
PROJECT NUMBER 9221-000  
SHEET TITLE

**ENLARGED ELEVATIONS**

SHEET NUMBER  
**A-223**



**6** ENLARGED ELEV. ZONE 3 PLAN EAST  
1/8" = 1'-0"



**1** ENLARGED ELEV. ZONE 1 PLAN WEST  
1/8" = 1'-0"



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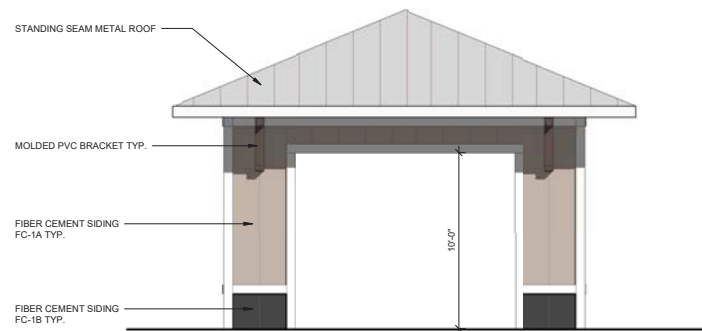
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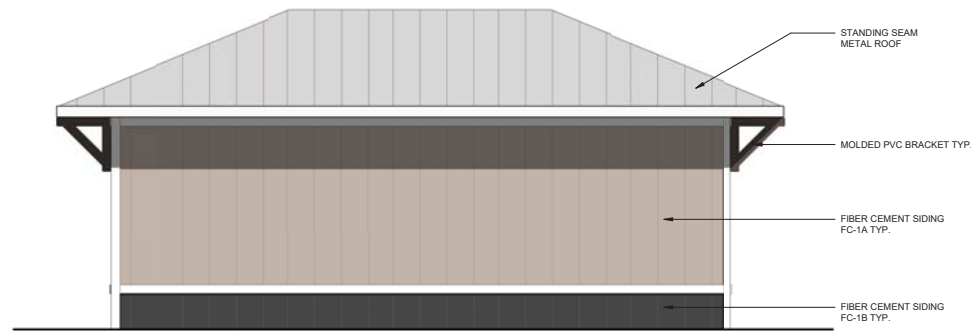
ENLARGED FLOOR PLANS AND ELEVATIONS

SHEET NUMBER

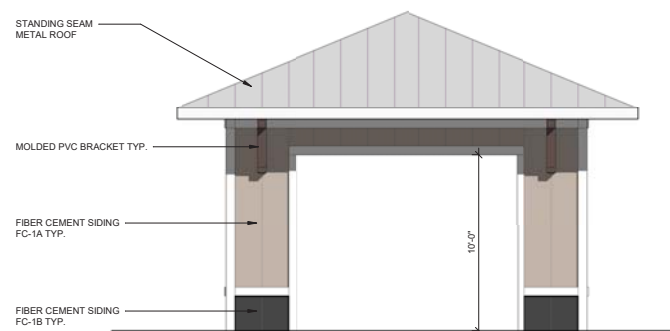
A-461



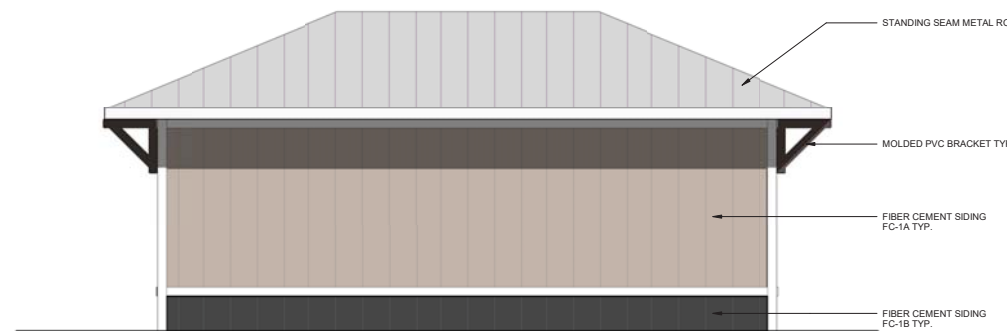
17 ELEVATION  
1/4" = 1'-0"



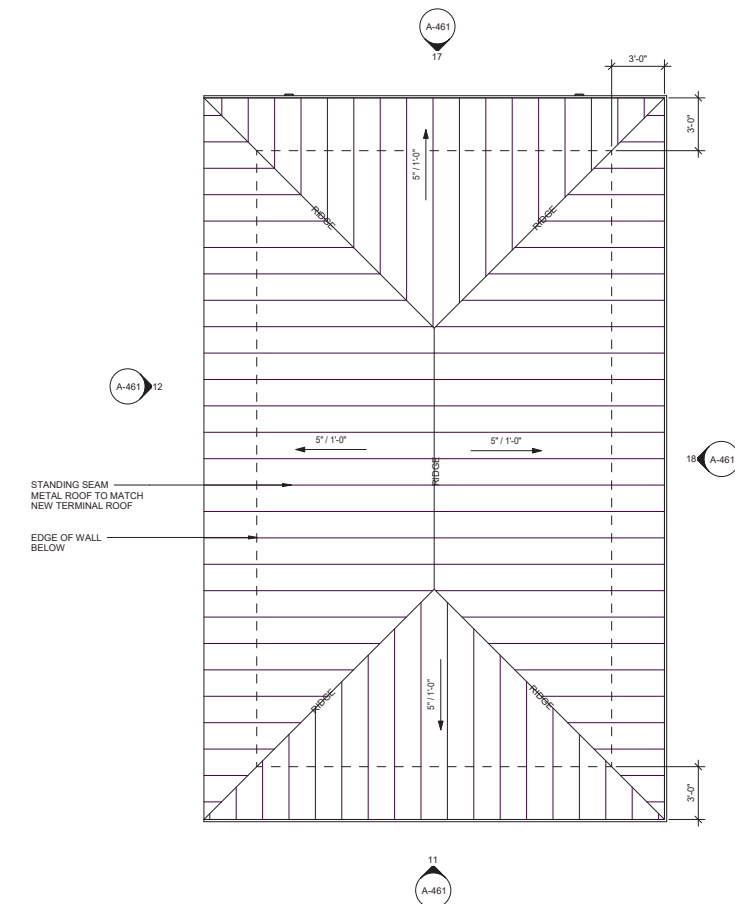
18 ELEVATION  
1/4" = 1'-0"



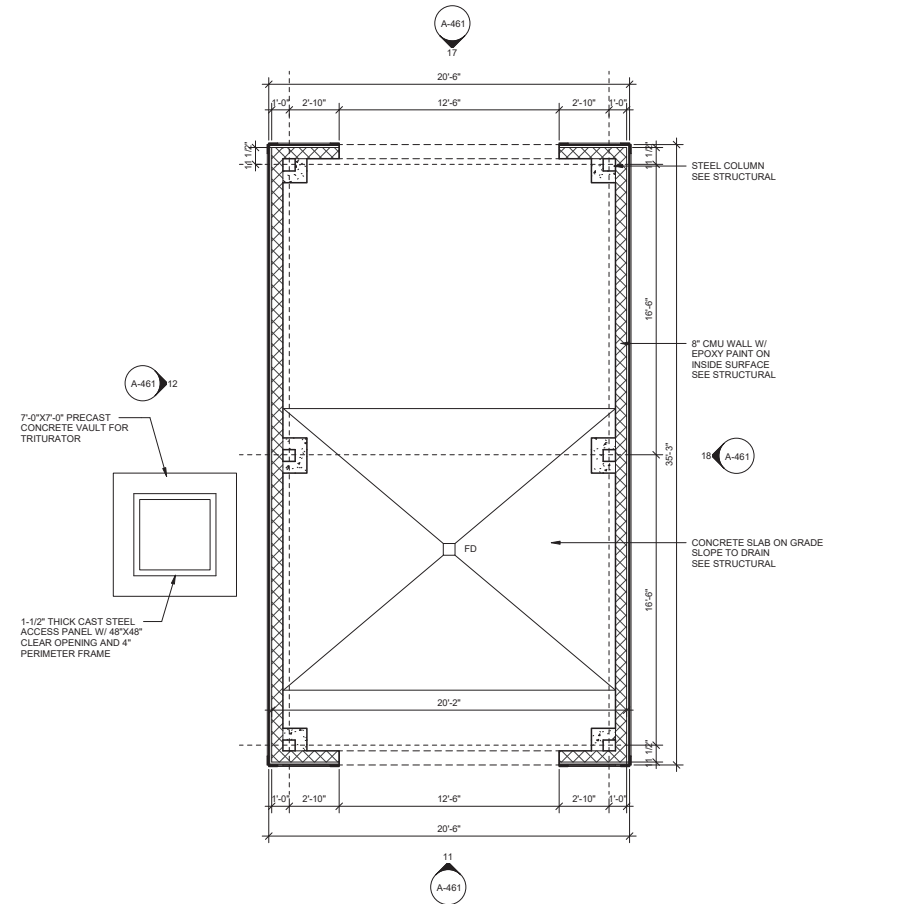
11 ELEVATION  
1/4" = 1'-0"



12 ELEVATION  
1/4" = 1'-0"



2 ENLARGED ROOF PLAN  
1/4" = 1'-0"



3 ENLARGED FLOOR PLAN  
1/4" = 1'-0"





LANDSIDE PERSPECTIVE AT APPROACH



VIEW AT TICKETING ENTRANCE



LANDSIDE PERSPECTIVE AT MAIN ENTRANCE



VIEW AT CURBSIDE PICK UP & DROP OFF



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REVISIONS

DATE 11/23/2020

PROJECT NUMBER 9221-000

SHEET TITLE

**PERSPECTIVES**

SHEET NUMBER

**G-101**





VIEW AT CURBSIDE PICK UP & DROP OFF



LANDSIDE PERSPECTIVE AT FRONT ENTRY VESTIBULE



VIEW AT BAG CLAIM END OF TERMINAL



VIEW AT BAG CLAIM END OF TERMINAL



*Hilton Head  
Island Airport  
Terminal  
Improvements*

120 Beach City Rd  
Hilton Head Island, SC 29926

60% REVIEW SET  
NOT FOR  
CONSTRUCTION



**THE WILSON GROUP**  
- ARCHITECTS -

PO Box 5510 Charlotte, NC 28299  
704-331-9747 • www.twgarchitects.com

PROJECT MANAGER & CIVIL ENGINEER

**TALBERT, BRIGHT &  
ELLINGTON**

LANDSCAPE ARCHITECT

**J.K. TILLER ASSOC., INC.**

STRUCTURAL ENGINEER

**STEWART**

FIRE PROTECTION, PLUMBING,  
MECHANICAL & ELECTRICAL ENGINEERS

**SABER ENGINEERING**

BAGGAGE HANDLING SYSTEMS

**BNP ASSOCIATES, INC.**

IT / SECURITY

**VERTEX TECHNOLOGY  
CONSULTANTS**

AIRCRAFT SUPPORT SYSTEMS

**DK CONSULTANTS**

SPECIALTY LIGHTING CONSULTANT

**HARTRANFT LIGHTING  
DESIGN**

SIGNAGE & WAYFINDING

**TAKEFORM**

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REVISIONS

DATE 11/23/2020  
PROJECT NUMBER 9221-000  
SHEET TITLE

**PERSPECTIVES**

SHEET NUMBER

**G-102**





*Hilton Head  
Island Airport  
Terminal  
Improvements*

120 Beach City Rd  
Hilton Head Island, SC 29926

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REVISIONS

DATE 11/23/2020  
PROJECT NUMBER 9221-000  
SHEET TITLE

**PERSPECTIVES**

SHEET NUMBER  
**G-103**



AERIAL VIEW AT LANDSIDE



AERIAL PERSPECTIVE

**Location Plan**

FILE NAME:	HILO036_91082_LOC_Exterior
PLANNER:	CDW
DATE:	10/21/2020
REVISIONS:	

**Hilton Head  
 Island Airport  
 Exterior**



**LEGEND**

	SIGN #
	SIGN TYPE
	SIDE A SIDE B
	BUILDING ID SIGN
	VEHICULAR SIGN
	PEDESTRIAN SIGN
	STANDARD TRAFFIC SIGN
	GRAPHIC SIGN

**PROJECT TOTALS**

Signage Qty	Window Backer Qty
2	21
7	5
EV	15
HC	8
HCV	2
OW	5
PC	6
SF	5
SP	10
ST	12
ST.2	3
YD	3

**LOCATION TO BE DETERMINED**

	x8		x2
	x5		x1

**Site Plan**



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Airport Terminal Renovation

DRB#: DRB-002368-2020

DATE: 11/30/2020

RECOMMENDATION: Approval  Approval with Conditions  Denial   
RECOMMENDED CONDITIONS:

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Why narrow the crosswalk on the parking lots side of the drop-off?
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A lighting plan is required at final. It should include all exterior lights. Consider using light bollards in the parking lot along pedestrian paths where possible.

### ***LANDSCAPE DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Natural Resource Protection comment below.

### ***NATURAL RESOURCE PROTECTION***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. The removed trees are difficult to read on the Demo Plan. This plan must be more legible.

				<ol style="list-style-type: none"> <li>2. No effort has been made to preserve existing trees in the new parking lot on the west side.</li> <li>3. The three new parking spaces near the 54" LO shall be removed.</li> <li>4. Specify on the demo and landscape plans that all Significant and Specimen trees within the limit of work, should receive a pre and post construction fertilization and mycor treatment by a master arborist.</li> </ol>
--	--	--	--	--

<b><i>MISC COMMENTS/QUESTIONS</i></b>			





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: LEONARDO V. MARTEN Company: MARTEN ARCHITECTS, LLC  
 Mailing Address: 30 PERSUMMON STREET City: BURTON State: SC Zip: 29910  
 Telephone: 843-757-5776 Fax: 843-501-2309 E-mail: LMARTEN@MARTENARCHITECTS.COM  
 Project Name: LOT 10 CAPITAL BUS PARK Project Address: 85 CAPITAL DRIVE  
 Parcel Number [PIN]: R 511 008 000 0440 0000  
 Zoning District: L-1 Overlay District(s): ORB

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

11/24/2020  
\_\_\_\_\_  
DATE



**PROJECT NARRATIVE  
FOR LOT 10 CAPITAL BUSINESS PARK  
85 CAPITAL DRIVE  
TOWN OF HILTON HEAD  
JOB NO. 2285**

The proposed project will consist of constructing a 5,760 SF building with paved parking for Dyess Air (an HVAC contractor). The property is a 1.16 acre site located at 85 Capital Drive in the Capital Business Park. It is currently undeveloped and is zoned IL (light industrial).

The site plan shows a 20' adjacent street setback/buffer from Capital Drive, a 40' adjacent street setback/15' buffer from Leg-of-Mutton Road and a 20' adjacent use setback/20' buffer on the east and southern property lines. The zoning standards allow 65% impervious on the site and the site plan shows 51%. The owner is proposing to install twenty-seven (27) parking spaces due to his business's requirements:

**Parking**

2,000 SF of office space x 1 space/350 GFA office	= 6 spaces
3,760 SF of indoor storage x 1 space/1,300 GFA of storage	= 3 spaces
Fleet Vehicles	= <u>18 spaces</u>

Total = 27 Spaces

His fleet of service trucks are parked on site each night and that many parking spaces are required for his employee's personal vehicles and his company trucks; nine (9) of the spaces are shown to be pervious.

The sides and rear of the building will have overhead doors for his trucks to load and unload out of daily, so paving will be required up to the foundation on both sides and the building. We have shown minimum drive aisle widths of 24' for two way traffic (and where parking abuts) and 30' in the rear to accommodate his delivery trucks. There is also a 15' x 40' Loading Zone shown at the rear of the building. The site will take access off of Capital Drive with two (2) full movement accesses shown to accommodate his delivery trucks.

One specimen tree (a 40" live oak) is located at the rear of the site. No paving or soil compaction is shown to occur within 15' of the trunk of the tree and low impact brick pavers will be placed at or above grade under the canopy of the tree as needed to allow traffic circulation at the rear of the site.

Drainage for the project will be provided by the Capital Business Park master planned storm water detention system.

Electrical and telephone service will be provided by Palmetto Electric and Hargray respectively. Water and sewer service will be provided by the Hilton Head Public Service District. Fire protection and emergency services are provided by the Town of Hilton Head Fire Department.



Site Photos





Shadow Oaks



Project Deep well





City Electric Supply

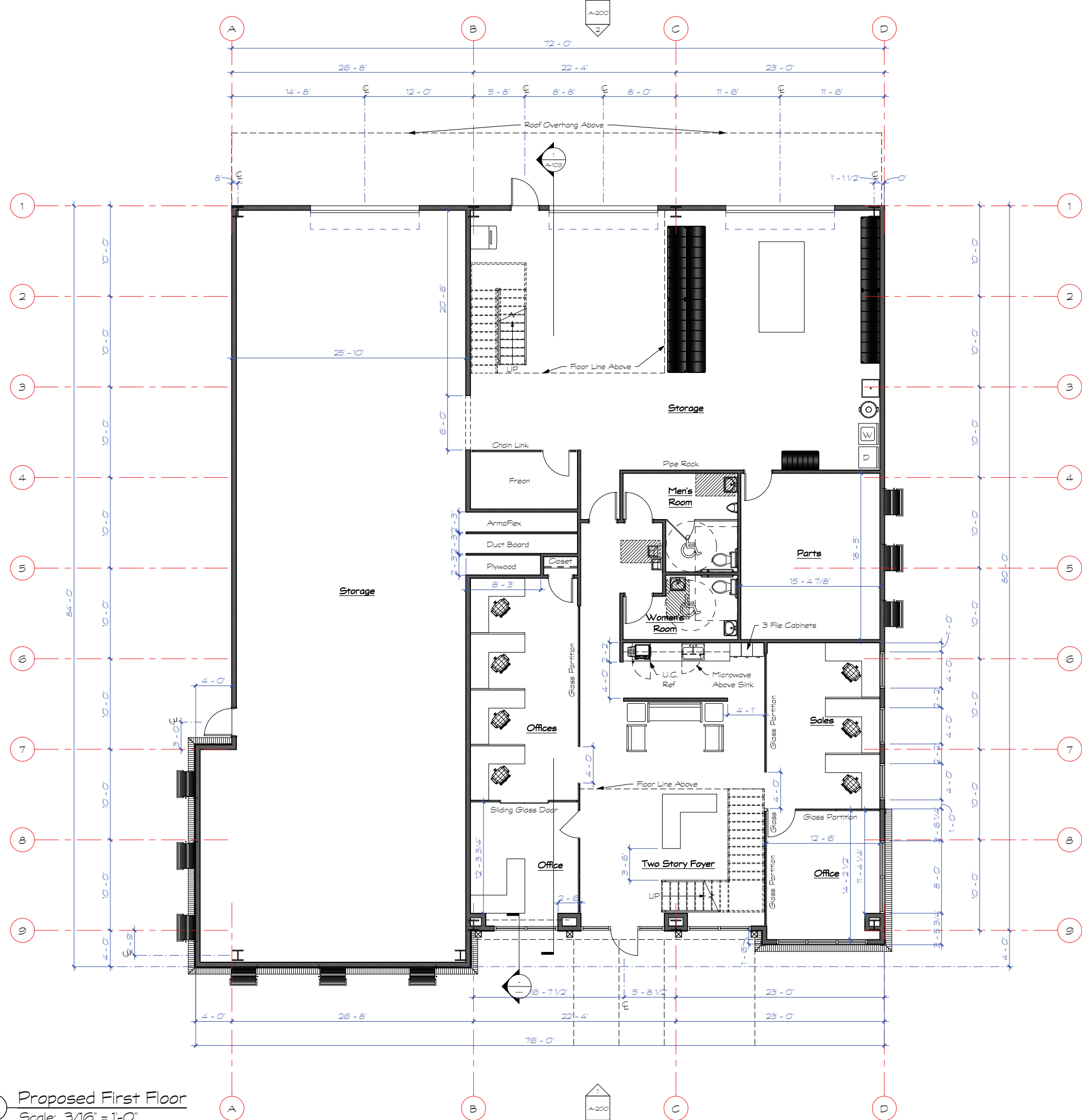


A-1 Pool



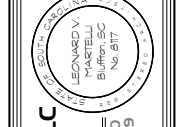


1 Proposed First Floor  
Scale: 3/16" = 1'-0"



Issue Date: 11-24-2020	ARB Review	Description
Drawn By: KJM	Checked By: LVM	
Dates	Rev'd By/Rev #:	

Proposed new Office for:  
**Farmer's Air**  
Capital Business Drive



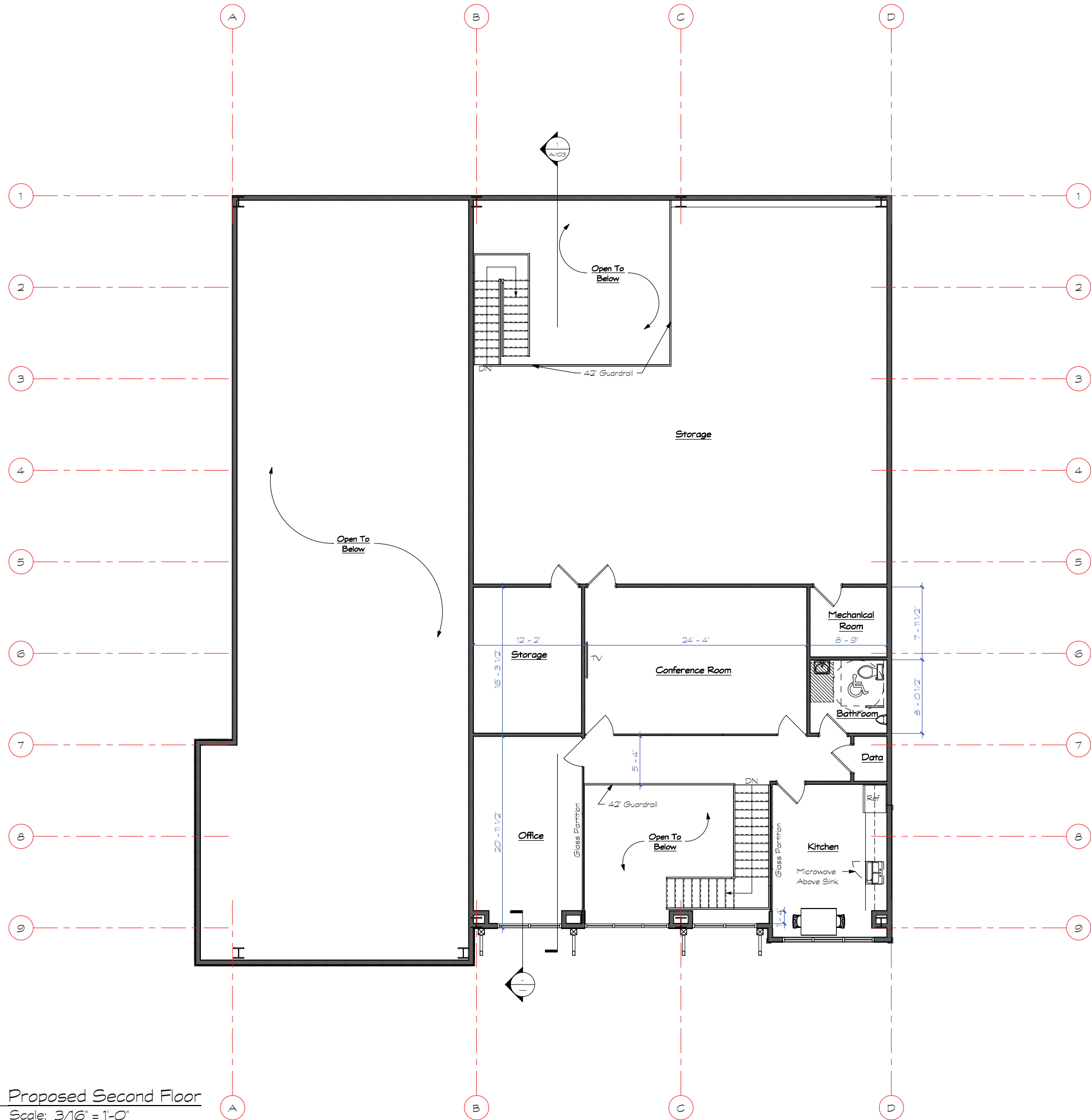
**MARTELLI ARCHITECTS, LLC**  
39 Parklawn St., #601 (FFTON), SC 29910  
P. 803/757-5776 FAX (843) 501-2305



COMM: 20.2B  
**A-100**  
DWG 1 OF 4



1 Proposed Second Floor  
Scale: 3/16" = 1'-0"



DRAWINGS NOT FOR MULTIPLE OR PROTOTYPE DEVELOPMENTS.

**MARTELLI ARCHITECTS, LLC**

39 Parklawn St., #601  
P. 803/757-5776

BOBARDY  
MARTELLI  
ARCHITECTS, LLC  
Bluffton, SC  
No. 617

BOBARDY  
MARTELLI  
ARCHITECTS, LLC  
Bluffton, SC  
No. 12367

Proposed new Office for:  
**Farmer's Air**  
Capital Business Drive

Drawn By: KJM  
Checked By: LVM

Date: \_\_\_\_\_  
Rev'd By/Rev #:

Issue Date: 11/24/2020  
ARB Review

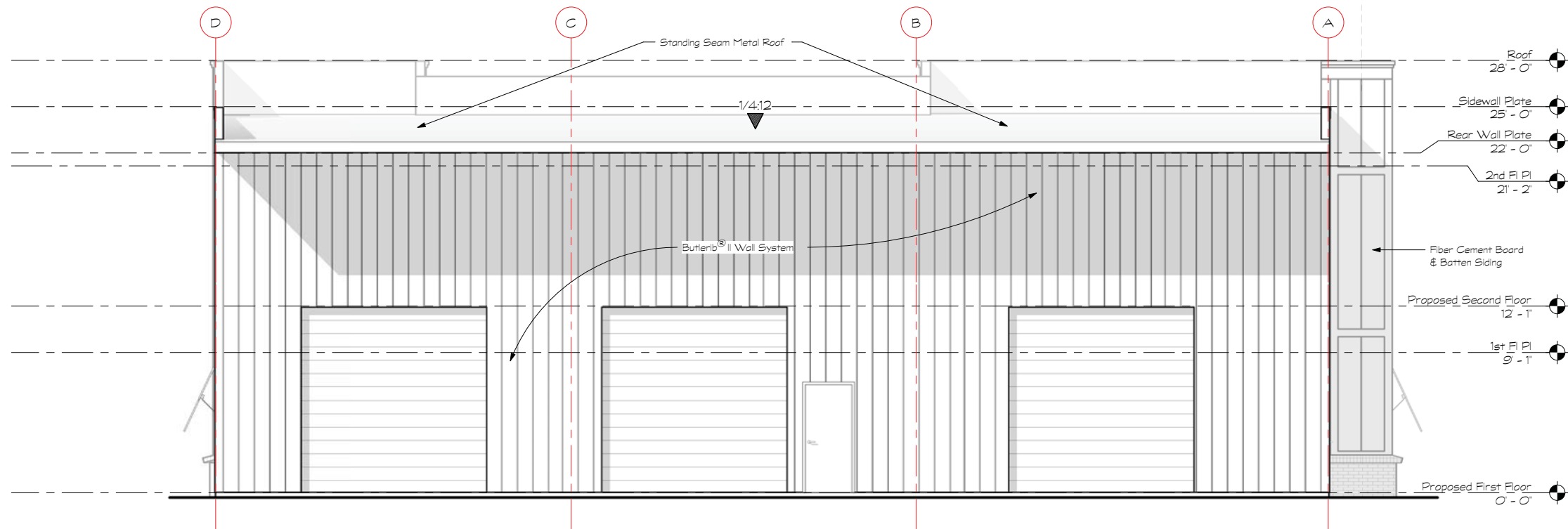
Description

COMM: 20.2B

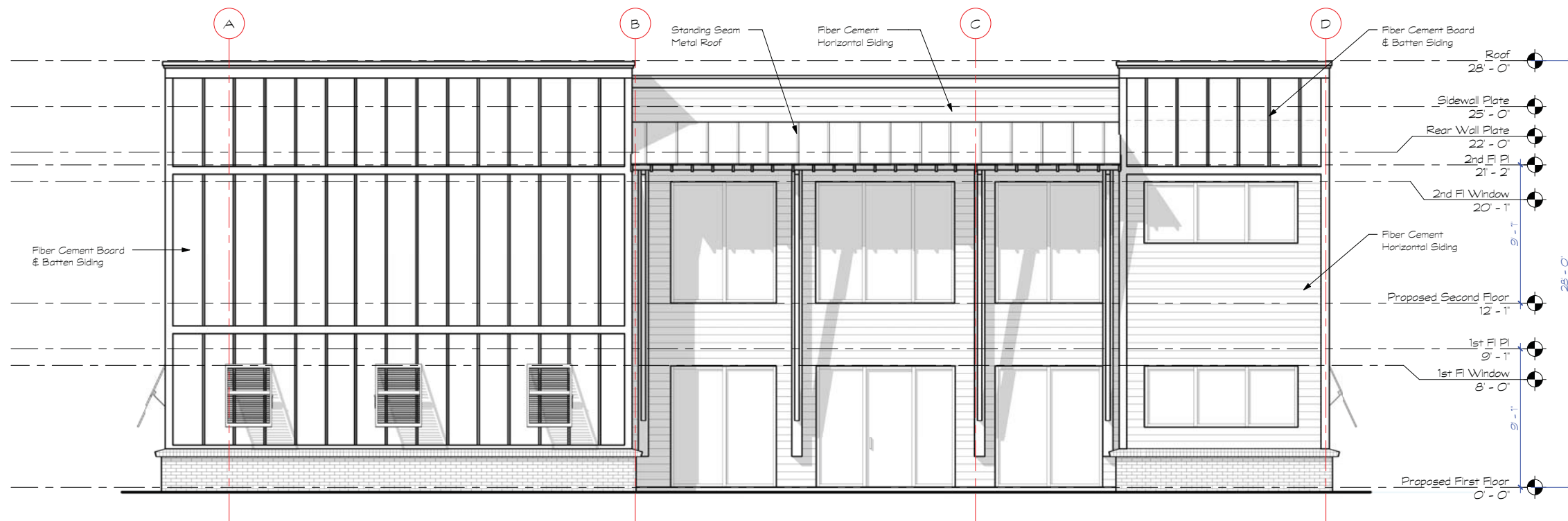
**A-101**

DWG 2 OF 4

11/24/2020 4:31:49 PM



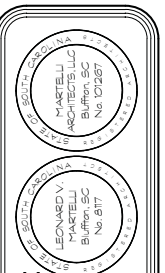
② Proposed Rear Elevation  
Scale: 1/4" = 1'-0"



① Proposed Front Elevation  
Scale: 1/4" = 1'-0"

Issue Date: 11.24.2020	ARB Review	Description
Drawn By: KJM	Checked By: LVM	
Dates	Rev'd By/Rev #:	

Proposed new Office for:  
**Farmer's Air**  
Capital Business Drive



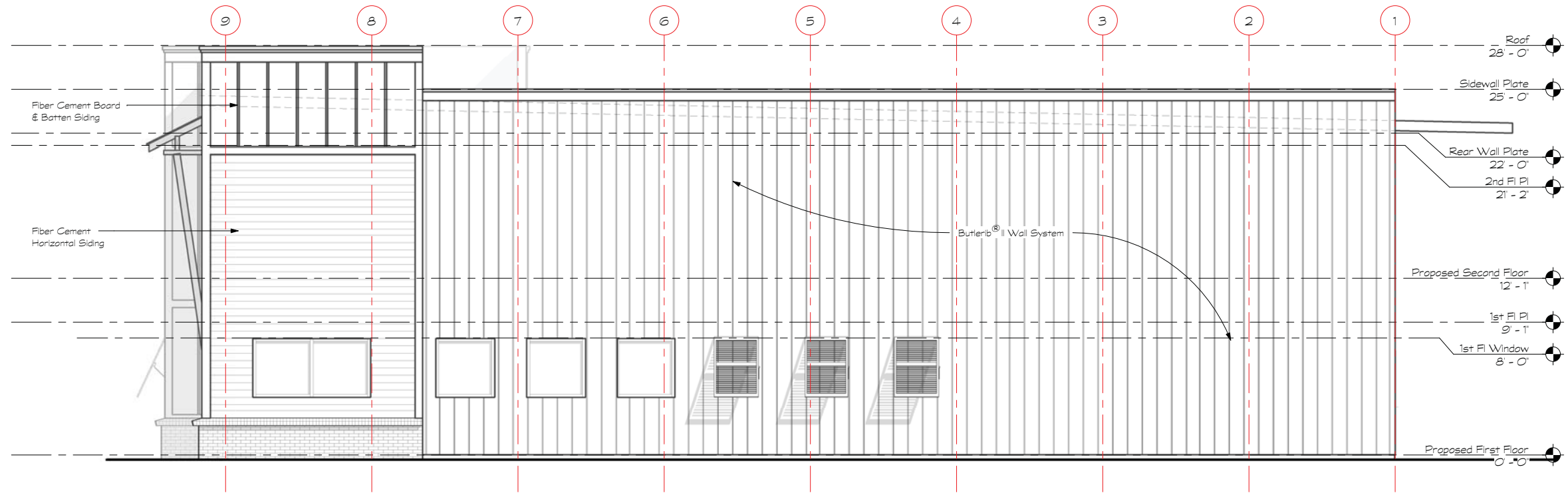
**MARTELLI ARCHITECTS, LLC**  
39 Parklawn St., #601 Bluffton, SC 29910  
P: 853/757-5776 FAX: (843) 501-2305



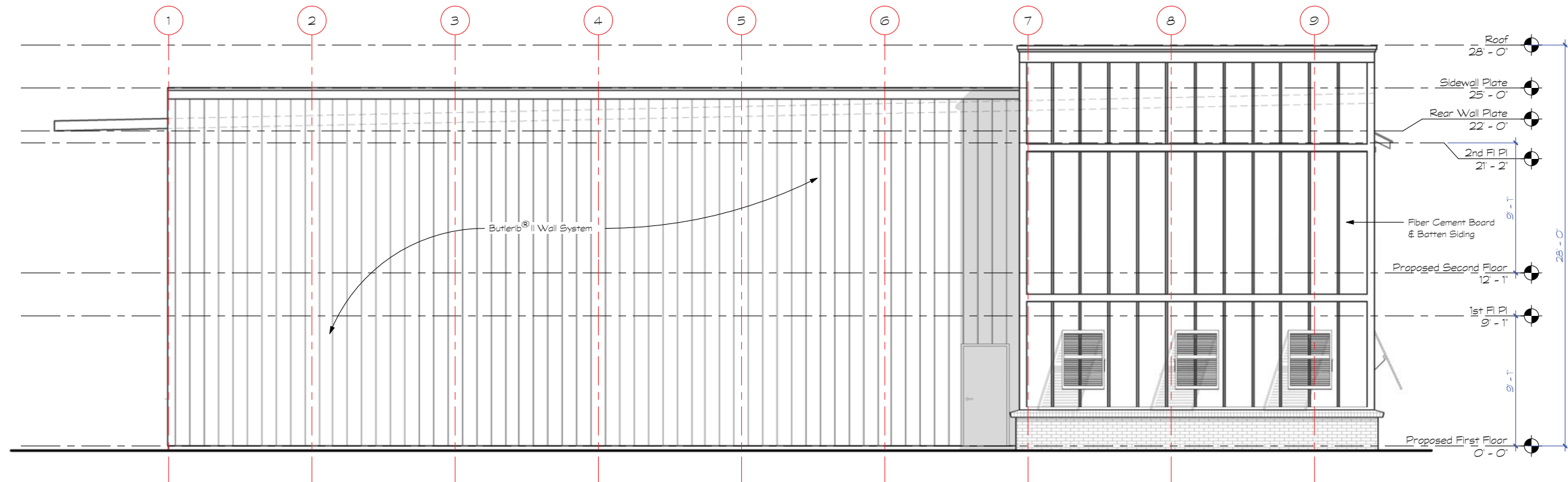
COMM: 20.2B  
**A-200**  
DWG 3 OF 4

DRAWINGS NOT FOR MULTIPLE OR PROTOTYPE DEVELOPMENTS.





② Proposed Right Side Elevation  
 Scale: 1/4" = 1'-0"



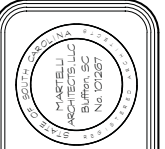
① Proposed Left Side Elevation  
 Scale: 1/4" = 1'-0"

Issue Date: 11/24/2020  
ARB Review

Date	Revised by/Rev #	Description

Drawn By: KJM  
 Checked By: LVM

Proposed new Office for:  
**Farmer's Air**  
 Capitol Business Drive

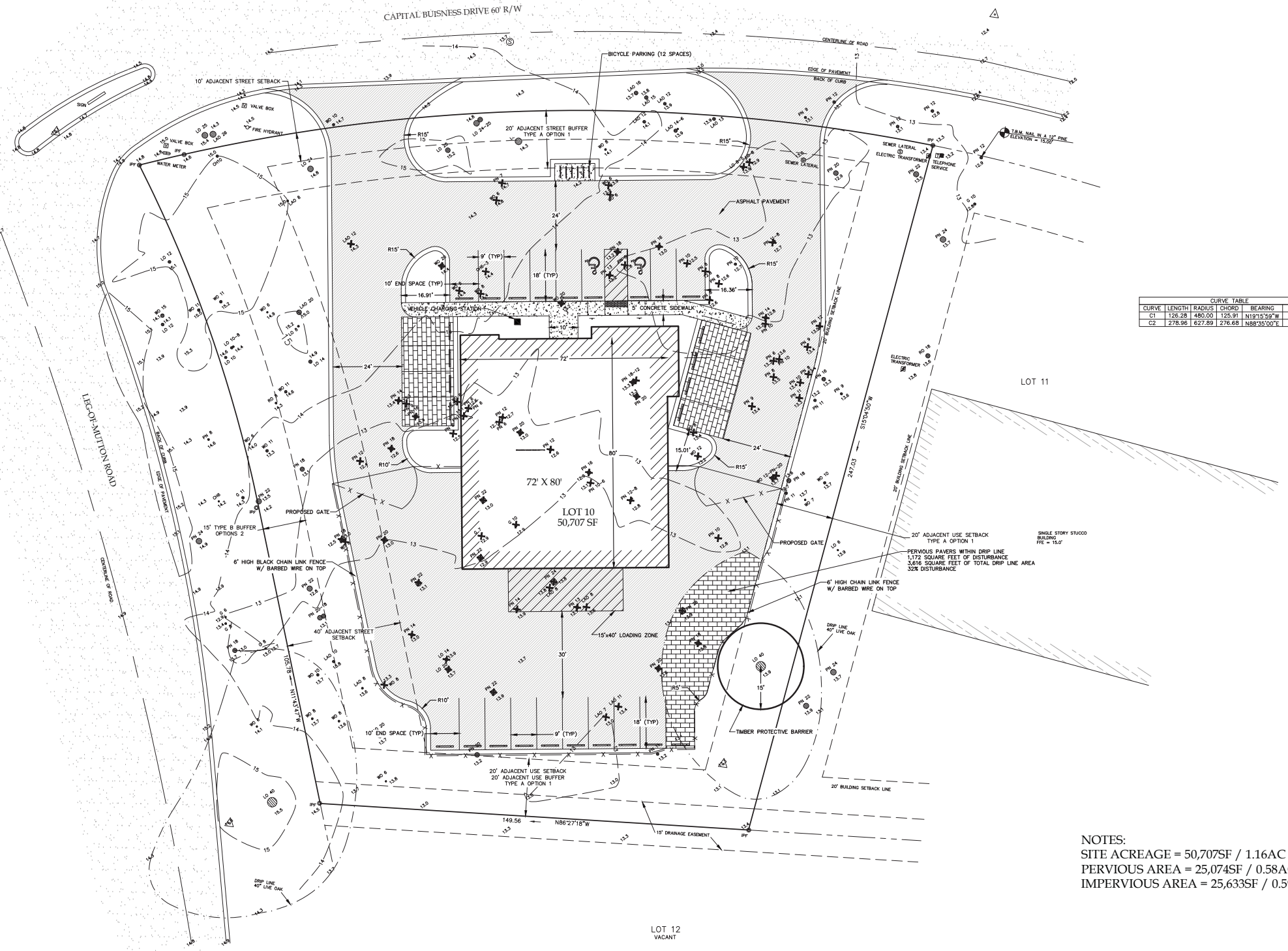


**MARTELLI ARCHITECTS, LLC**  
 39 Parklawn St., #601  
 Columbia, SC 29910  
 P: 803/757-5776 FAX: (843) 501-2305



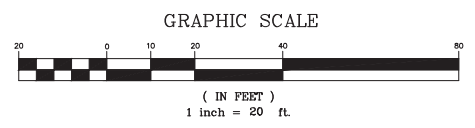
COMM: 20.2B  
**A-201**  
 DWG 4 OF 4

DRAWINGS NOT FOR MULTIPLE OR PROTOTYPE DEVELOPMENTS.



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	126.28	480.00	125.91	N19°12'50"W	15°04'24"
C2	278.96	627.89	276.68	N88°35'00"E	25°27'21"

NOTES:  
 SITE ACREAGE = 50,707SF / 1.16AC  
 PERVIOUS AREA = 25,074SF / 0.58AC OR 49%  
 IMPERVIOUS AREA = 25,633SF / 0.59AC OR 51%



PLAN REVISIONS	
NO.	DATE
1	-
2	-
3	-
4	-
5	-
6	-
7	-
8	-

**LOT 10 CAPITAL BUSINESS PARK**  
 TOWN OF HILTON HEAD  
 BEAUFORT COUNTY, SC

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 843/322-0553  
 WWW.CAROLINAENGINEERING.COM  
 843/322-0556 (FAX)

PROJECT: 2285  
 DATE: 10/14/20  
 REVISED: 11/24/20  
 DRAWN BY: FLB  
 ENGINEER: DRK  
 SCALE: 1"=20'

**SITE PLAN**  
**1**  
 OF 1

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CAROLINA ENGINEERING CONSULTANTS, INC.  
 No. 022324  
 BEAUFORT COUNTY, SC



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 85 Capital Drive

DRB#: DRB-002373-2020

DATE: 11/30/2020

RECOMMENDATION:    Approval                Approval with Conditions                Denial      
RECOMMENDED CONDITIONS:

### ***APPLICATION MATERIAL***

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wall sections shall be submitted at final.

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per the Design Guide, page 14, "The context of the structure must also be taken into account and consideration shall be given to compatibility with other development in the area." While in a light industrial zone (IL), the site is adjacent to Victoria Square (single family detached) and Magnolia Place (townhomes).
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The bike racks should be located adjacent to the building not across the parking lot.
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Submit color board at final.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per the Design Guide, page 13, "The form or shape of structures should avoid monotonous unbroken

				planes...” The side elevation facing Leg-O-Mutton is of particular concern. Consider adding architectural detail at the top of the structure.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It appears the rear of the building will be visible from Leg-O-Mutton. Repeat the front sloped roof detail over the rear loading area.
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. The addition of more windows is needed to help break up the large expanse of walls.</li> <li>2. The Bahama shutters appear to be smaller than the windows they are adjacent to. The Bahama shutters should match the size of the windows on the building and the windows under the shutters should be framed out.</li> </ol>
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Any exterior equipment should be shown on the site plan and screened (structure or landscape).
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Light plan will need to be submitted at final.

***LANDSCAPE DESIGN***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape plan at final.

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify and specify on the clearing and landscape plans that all Significant and Specimen trees within the limit of work, should receive a pre and post construction fertilization and mycor treatment by a master arborist.

***MISC COMMENTS/QUESTIONS***

1. The fence along Leg-O-Mutton can only be 4’ tall if it is outside the setback and cannot be in the buffer.
2. The fence along adjacent property lines must be behind the setback or along the property line.
3. Provide planted area between the building and parking at the sides of the building.



4. Reconsider the parking and sidewalk relation to the east side of the building to eliminate the “difficult” angles and area between the building and parking.

5. The site plan must be reconsidered for function and compliance with the Design Guide and LMO.