



The Town of Hilton Head Island
Design Review Board Special Meeting
Wednesday, May 27, 2020 – 9:00 a.m.
AGENDA

This meeting is being held virtually in accordance with Town Council Emergency Ordinance 2020-11. This meeting is being conducted electronically and recorded. The video record of this meeting will be available on the Town's website (<https://hiltonheadislandsc.gov/>) within 24 hours of occurring.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes – Meeting of March 10, 2020

6. Citizen Comments

7. Unfinished Business

a. Alteration/Addition

- i. The Oaks Villas, DRB-000413-2020

8. New Business

a. Alteration/Addition

- i. Executive Center, DRB-000224-2020
- ii. Charlie's Restaurant, DRB-000434-2020
- iii. Darling Eye Center, DRB-000773-2020
- iv. Scott's Fish Market, DRB-000784-2020
- v. Sunset Pavilion at Skull Creek Boathouse, DRB-000959-2020

b. New Development – Conceptual

- i. Parker's, DRB-000610-2020

9. Adjournment

Public comments concerning agenda items can be submitted electronically via the Town's Virtual Town Hall portal (<https://hiltonheadislandsc.gov/opentownhall/>). Citizens may also call 843-341-4684 to sign up for public comment participation during the meeting by phone. The public comment period will close at **Noon** the day before the scheduled meeting. All comments will be provided to the Board for review and made a part of the official record.



Town of Hilton Head Island
Design Review Board
March 10, 2020 at 1:15 p.m. Regular Meeting
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, John Moleski, Debbie Remke, Brian Witmer

Absent from the Board: David McAllister (excused)

Present from Town Council: Glenn Stanford

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teri Lewis, Deputy Director of Community Development; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – Meeting of February 25, 2020

Ms. Foss moved to approve the minutes of the February 25, 2020 regular meeting. Vice Chairman Gentemann seconded. The motion passed with a vote of 6-0-0.

6. Unfinished Business – None

7. New Business

a. Alteration/Addition

i. Wild Wing Café Exterior Renovations, DRB-002646-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. Provide a clear specification of the lighting under the awning that meets LMO and DRB requirements for staff review and approval.
2. Submit a revised planting plan to staff and one DRB member for review and approval.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board.

The Board discussed the project in depth with the applicant. The Board made comments and inquiries regarding: clarification on the existing and proposed colors and their locations; metal

panels were added without DRB approval and should be removed; awnings on the windows were removed without DRB approval; lighting at the wood awnings need to be 3000K or less and specified; the free standing posts serve no purpose and should be removed; fans that will be added back need to be reviewed; the underside of the soffit at the porches and overhangs should be painted to match the trim color; general agreement with the submitted colors and locations; the fence that runs along Pope Avenue is in disrepair exposing the dumpster; the color of the existing fence at Pope Avenue does not coordinate with the proposed colors; the service yard fence needs to be painted; the service yard columns needs to be painted and match the color of the split face CMU on the building; a bicycle rack is required to be added to the site; the area around the lifeguard chair needs to be cleaned up; steel edging should be added at the sand areas in order to contain the sand; landscaping around the dumpster fence on the Pope Avenue side needs to be added; a landscaped buffer between the pedestrian path and the sand picnic area needs to be provided; the foundation plantings need to be replaced entirely; the Sago Palms should be replaced with Saw Palmettos; approval from the Forest Beach Owners' Association is required.

Chairman Strecker asked for public comments and received the following: concern for the plantings next to the pathway being tall enough to provide a barrier between it and the picnic area; the Forest Beach Owners' Association will be reviewing the project.

Vice Chairman Gentemann made a motion to approve DRB-002646-2019 with the following conditions:

1. Remove the corrugated metal panels.
2. Provide a 5' landscaped buffer between the pedestrian path and the sand picnic area.
3. Remove the 6x6 free standing posts along the perimeter of the handrail.
4. Any and all fans to be added back shall be submitted to Staff for review and approval.
5. Repair and fill in the blank spots of the existing service yard fencing so that the dumpster is not visible.
6. Paint the service yard fence SW 6074 Spalding Gray.
7. Paint the service yard columns to match the split face CMU color on the building.
8. Provide landscaping around the dumpster fence on the Pope Avenue side for Staff review and approval. Plant material shall be Dahoon Holly or Carolina Cherry Laurel with a 6' minimum height and a double staggered row.
9. The soffit undersides at the various porches and overhangs shall be SW 9085 Touch of Sand.
10. A bicycle rack shall be added to the site and submitted for Staff review and approval.
11. The area around the lifeguard chair shall be cleaned, the parking edge shall be saw cut as part of the landscape plan.
12. Provide steel edging at the sand areas to contain the sand and prevent its migration.
13. The colors as submitted are approved and as follows:
 - a. SW 6079 Diverse Beige – parapet, exterior stucco, split face CMU.
 - b. SW 9085 Touch of Sand (option to select one shade darker on the stick) – soffits, window and door trim.
 - c. Dark Bronze – roof, awning, handrail.
 - d. SW 6074 Spalding Gray – building base.
14. Specify the under-light at the wood awnings are 3000K or less.
15. Replace the Sago Palms with Saw Palmettos.
16. The revised landscape plan shall be submitted for review and approval of Staff and one DRB member.
17. The DRB approval is pending final approval from the Forest Beach Owners' Association.

Ms. Foss seconded. The motion passed with a vote of 6-0-0.

ii. The Oaks Villas Repaint, DRB-000413-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board.

Chairman Strecker asked for public comments and none were received.

The Board discussed the project in depth with the applicant. Following the discussion, the Board determined that more information is needed to make a favorable decision on the application.

Vice Chairman Gentemann made a motion to table the application to the next DRB meeting pending the applicant provide the following:

1. Photos of the rear balconies.
2. Photos of the clubhouse and pool area and indication of what elements are proposed to be painted. The pool fence was referenced during the discussion.
3. A physical example of the current balcony color for comparison to the proposed trim color.
4. A brief narrative explaining what will be painted as part of the POA's responsibility and what will be painted in a separate agreement with the owners.
5. A physical sample of the current roof shingle. Staff has the shingle sample provided by the applicant and will make it available for review by the DRB.
6. A physical sample of the proposed trim color. Staff has the sample provided by the applicant and will make it available for review by the DRB.

Ms. Remke seconded. The motion passed with a vote of 6-0-0.

iii. T. Dalton Clothing, DRB-000452-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends denial as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant was not in attendance.

Chairman Strecker asked for public comments and none were received.

The Board indicated that the submittal is insufficient as there is not enough information or an accurate representation of what is being requested. The Board decided to table the project in an effort not to deny it and prevent the applicant from coming back for a year.

Ms. Foss made a motion to table the application due to it being an insufficient submittal. Mr. Witmer seconded. The motion passed with a vote of 6-0-0.

8. Appearance by Citizens – None

9. Board Business

- a. Discussion related to the RD and CR zoning district design standards

The Board discussed the LMO Committee's request for recommendations related to the RD and CR zoning district design standards. Upon the conclusion of the discussion, the Board recommended the following:

- Require foundation planting around the perimeter of the building.
- Eliminate the narrower buffer option for buildings over 35' in height.
- Require an additional buffer width for buildings over 50' in height.
- When a building is 35'-50' in height, require a minimum of 4-inch caliper trees in the buffer.
- When a building is over 50' in height, require a minimum of 6-inch caliper trees in the buffer.
- Require more conservative setback angles.
- Explore building height reduction in RD district and other zoning districts.
- Explore creating different RD districts based on surrounding community characteristics.

As requested by the LMO Committee, the Board identified projects of concern for the LMO Committee's consideration:

- 15 Wimbledon
- 55 Gardner Drive
- Bayshore
- Boathouse storage on Squire Pope Road
- Ocean Oak Resort by Hilton
- Shelter Cove Waterwalk Apartments

Chairman Strecker asked for public comments and received the following: an agreement was made to widen the sidewalk at the Courtyard Marriott in Coligny; reduce the maximum building height in the North and South Forest Beach areas; consider maximum building height be 70' above sea level; take into consideration the Comprehensive Plan rewrite basic principles; allow a maximum of 5 stories including parking; consider restrictions to address gross square footage; reduce density units allowed.

10. Staff Report

- a. Minor Corridor Report – Mr. Darnell reported there were no Minor Corridor approvals since the previous meeting.

11. Adjournment

The meeting was adjourned at 3:47 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 2-24-2020
 Accepted by: SARAH W
 DRB #: 060413-2020
 Meeting Date: PD

Applicant/Agent Name: MICHAEL HAWANCAZAK Company: DIAMOND MANAGEMENT, INC.
 Mailing Address: P.O. BOX 1836 City: BLUFINGTON State: SC Zip: 29910
 Telephone: 843-815-6540 Fax: 843-815-6541 E-mail: DIAMONDMANAGEMENT@HARGREY.COM
 Project Name: THE OAKS VILLAS Project Address: 400 WILSON HILTON PKWY
 Parcel Number [PIN]: R510 008 000 098C 0000
 Zoning District: RM 12 Overlay District(s): CEOD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development
- Final Approval – Proposed Development

- Alteration/Addition
- Sign

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials. *SINGLE + COLOR SAMPLES*
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches. *SITE PLAN*
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

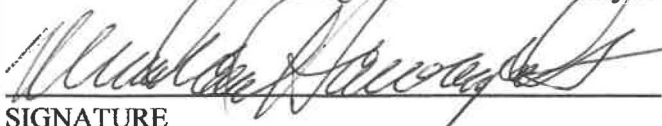
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

DATE

THE OAK'S VILLAS

PAINTING PROJECT DESCRIPTION

The project scope is to paint all the building roof, balcony, and front door overhangs and rafter tails. In addition, all entry front doors and trim will be painted. This involves a change in color from the existing red/maroon to a different color called Tea Green for the overhangs and rafter tails and Brainstorm Bronze for the entry doors. These colors have been previously approved and are used at the Sea Turtle Commercial complex located next door to The Oaks. This project does not include or make any changes to the stucco surfaces of the buildings. The stucco is to be left the natural tabby.

The applicant has requested SW 6159 "High Tea" be approved for the overhangs, rafter tails and entry doors. 03/03/20

In addition to the painting, we will be removing the inoperative fake shutters from all the buildings. No replacement planned.

Samples of the existing shingle color (CertainTeed-Landmark Pro-Weathered Wood) and proposed paint colors are included with the application.

All 15 buildings shown on site-plan included in project (14 residential buildings and the clubhouse/pool building).

February 28, 2020

Town of Hilton Head Island

Design Review Board

One Town Center Court

Hilton Head Island, South Carolina, 29928

RE: The Oaks Villas

I am writing in reference to a painting and maintenance project we wish to perform at our property. Discussions have taken place over the past year culminating in our Annual Homeowners meeting this past December. In that meeting it was decided that the Oaks was going to move forward with a painting project that involves a change in the existing color scheme. The members wish to move away from the old existing red/maroon color scheme to a slightly more modern look. The colors used in the project next door, the Sea Turtle Commercial Development, was chosen. In addition to the painting, the old inoperable shutters are to be removed from the buildings. Given the age and maintenance cost of these shutters, the owners were not in favor of spending any more money on repairs and the added expense of painting the shutters for the new color scheme. The measure to approve the painting and remove the shutters was passed unanimously by the members present at the meeting.

We respectfully ask that the DRB take into consideration the desires of our owners and approve our request for painting and maintenance at The Oaks Villas.

Sincerely,

A handwritten signature in black ink, appearing to read "Jim Neubauer", with a long horizontal flourish extending to the right.

Jim Neubauer – President

The Oaks Villas HOA/HPR

From: [Michael Hawanczak](#)
To: [Darnell Chris](#)
Subject: RE: The Oaks Villas Colors
Date: Friday, February 28, 2020 12:01:54 PM
Attachments: [Signed President ltr.pdf](#)

Chris:

Here is the letter we discussed from the President of The Oaks. Also, the quick discussions I have been able to have with a few of the Board, they would rather go with one color for the doors and overhangs if that makes it easier to approve and that one color would be the Hight Tea which I think I may have incorrectly called Tea Green in our application. Can we discuss when you have a chance?

Michael Hawanczak CMCA

Diamond Management, Inc.
P.O. Box 1836
Bluffton, SC 29910

Physical location: 10 C Johnston Way, Bluffton, SC 29910
Office phone: (843) 815-6540 Fax: (843) 815-6541

From: Darnell Chris <chrisda@hiltonheadislandsc.gov>
Sent: Thursday, February 27, 2020 4:54 PM
To: Michael Hawanczak <diamondmanagement@hargray.com>
Subject: The Oaks Villas Colors

If I could offer a suggestion not a requirement... make rafters, etc SW 7032 Warm Stone and the doors SW 7034 Status Bronze. They are on either side of Brainstorm Bronze in the color deck.

Chris Darnell, PLA
Urban Designer
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, South Carolina, 29928
O: (843) 341-4676
chrisda@hiltonheadislandsc.gov
www.hiltonheadislandsc.gov



Disclaimer

From: [Michael Hawanczak](#)
To: [Darnell Chris](#)
Subject: RE: DRB 000413-2020 The Oaks Repaint
Date: Tuesday, May 12, 2020 8:30:37 AM

Chris:

Sorry it has taken me so long to get these photos to you that you have requested. All the wood components of the pool house and pool fence which are the current maroon color we intend to paint the new color.

Again, we plan to move forward with painting all areas that have the maroon/red color with the new color and not do the project in phases.

Michael Hawanczak CMCA

Diamond Management, Inc.
P.O. Box 1836
Bluffton, SC 29910

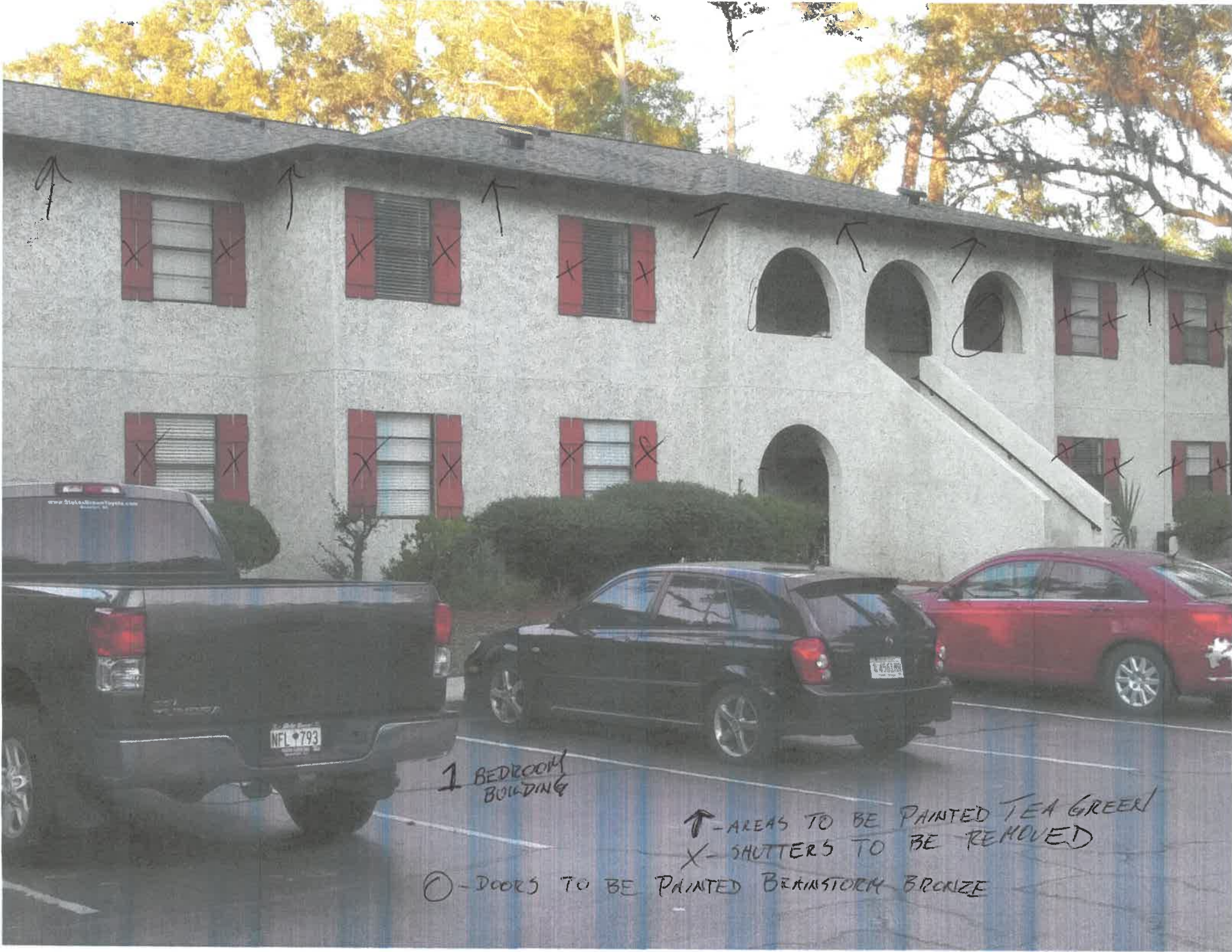
Physical location: 10 C Johnston Way, Bluffton, SC 29910
Office phone: (843) 815-6540 Fax: (843) 815-6541

From: Darnell Chris <chrisda@hiltonheadislandsc.gov>
Sent: Monday, April 20, 2020 12:10 PM
To: Michael Hawanczak <diamondmanagement@hargray.com>
Subject: RE: DRB 000413-2020 The Oaks Repaint

Can you send me the photos the DRB requested (items 1 and 2) to satisfy the request?

Chris Darnell, PLA
Urban Designer
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, South Carolina, 29928
O: (843) 341-4676
chrisda@hiltonheadislandsc.gov
www.hiltonheadislandsc.gov

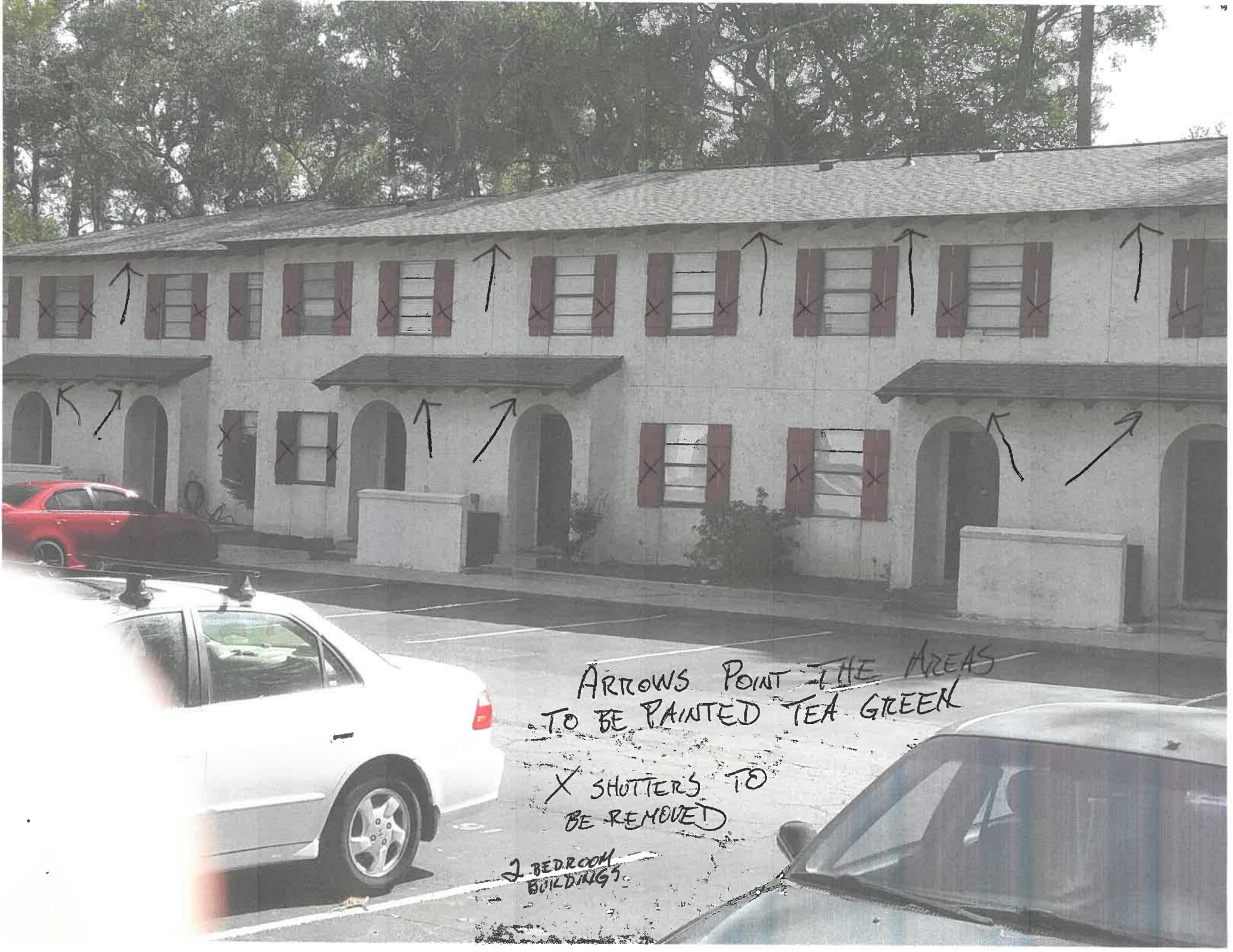




1 BEDROOM BUILDING

↑ - AREAS TO BE PAINTED TEA GREEN
X - SHUTTERS TO BE REMOVED

○ - DOORS TO BE PAINTED BEAMSTORM BRONZE



ARROWS POINT THE AREAS
TO BE PAINTED TEA GREEN

X SHUTTERS TO
BE REMOVED

2 BEDROOM
BUILDINGS



DOORS ARE TO BE PAINTED
BRASS STORM BRONZE

X SHUTTERS TO BE REMOVED

2 BEDROOM BLDG



↑ - AREAS TO BE PAINTED TEA GREEN
○ - DOORS TO BE PAINTED BRASS/STAINLESS BRONZE
X - SHUTTERS TO BE REMOVED

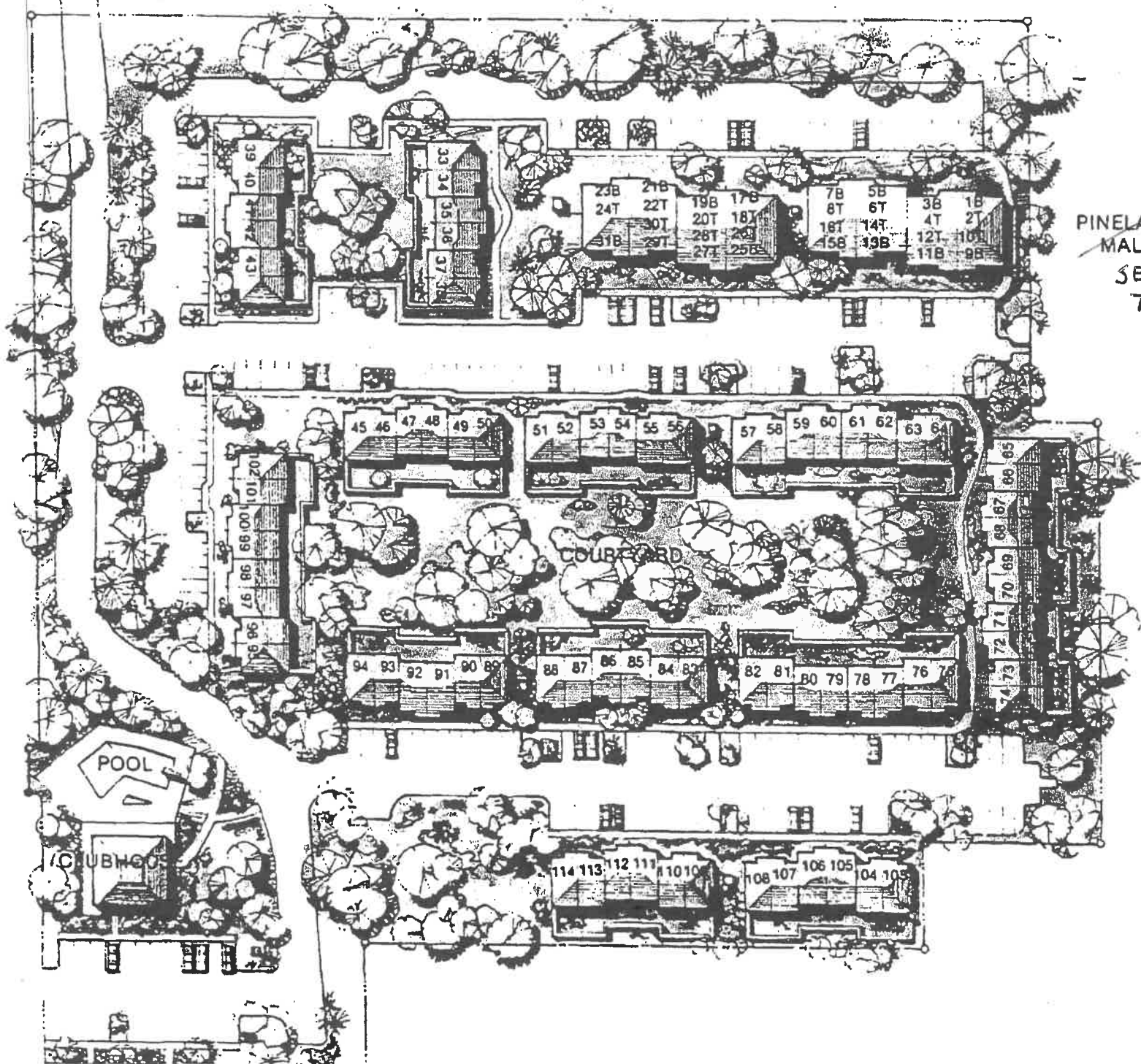
3 BEDROOM BUILDINGS







HIGHWAY 278



PINELAND
MALL
SEA
TURTLE

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Oaks Villas

DRB#: DRB-000413-2020

DATE: 02/27/2020 03/03/20 05/14/20

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff is concerned that the removal of the wood shutters will eliminate a detail that breaks up an otherwise monotonous façade. Staff suggest but not require the shutters be repaired and kept. See letter from POA.
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See comment above.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed colors are nature blending and in-keeping with the Design Guide but too similar. Staff would suggest there be a greater difference in the colors to add more interest to the buildings. The application has been altered to eliminate “Brainstorm Bronze” and replace with “High Tea”

MISC COMMENTS/QUESTIONS
To clarify the narrative, SW 6159 High Tea is the proposed trim color and SW 7033 Brainstorm Bronze is the proposed door color. These proposed colors do not scan well but physical color samples are available at Town Hall if you would like to view them. Photos of the balcony, pool fence and clubhouse have been added. Scope and project timing clarified in email dated May 12th (see Documents)



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Melissa Carpenter Company: R and M Painting Pros
 Mailing Address: 10 Devon Wood City: Bluffton State: SC Zip: 29910
 Telephone: 843-227-8201 Fax: _____ E-mail: Randmpaintingpros@outlook.com
 Project Name: Executive Center Project Address: 1 Corpus Christi
 Parcel Number [PIN]: R55201500C 00570000
 Zoning District: SPC Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

- Additional Submittal Requirements:
- Concept Approval – Proposed Development**
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 - _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 - _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 - _____ Context photographs of neighboring uses and architectural styles.
 - _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 - _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval - Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Melissa Co

SIGNATURE

1/30/2020

DATE

From: Darnell Chris
To: ["R and M Painting"](#)
Subject: RE: Executive Center Colors
Date: Thursday, February 27, 2020 8:52:00 AM

Melissa, the deadline for the DRB meeting on March 10th was last Tuesday, Feb. 25th. I did not have anything from you ask to be on that agenda.

The next deadline is March 10th for the March 24th meeting. I will put you on that agenda.

Chris Darnell, PLA
Urban Designer
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, South Carolina, 29928
O: (843) 341-4676
chrisda@hiltonheadislandsc.gov
www.hiltonheadislandsc.gov



From: R and M Painting [<mailto:RandMpaintingpros@outlook.com>]
Sent: Thursday, February 27, 2020 8:37 AM
To: Darnell Chris <chrisda@hiltonheadislandsc.gov>
Subject: Executive Center Colors

Hey Chris, here is a revised proposal for the Executive Center:

I am here to propose a Color Change to the Exterior of the buildings at 1 Corpus Christi, The Executive Center. The colors will be a slight change but nothing drastic. We are going for a more modern look. They will be changing from a tan/beige to a neutral gray look. The buildings will have an array of 3 different colors, arranged in a 1,2,3 pattern from Unit to Unit in a Clock Wise Formation. The colors will begin at Unit 112 with SW0077 Classic French Gray, Unit 113 SW7650 Ellie Gray, Unit 114 SW7057 Silverstand, and Unit 115 back to SW0077 Classic French Gray, and continue on from there. The Doors and Windows will be SW769 Iron Ore, and the Soffit will be SW7052 Gray Area.

Thank you

Melissa Carpentieri



101





INNOVA

100

WWW.KLEIN.COM
913.766.3333

SALES - OFFICE
1000 WEST 10TH AVENUE
KANSAS CITY, MO 64108



Property Management Pros
Vacation Ready Services





BERRY & ARIC, P.C.
ATTORNEYS AT LAW
843-686-5432

1000
1000
1000
1000
1000





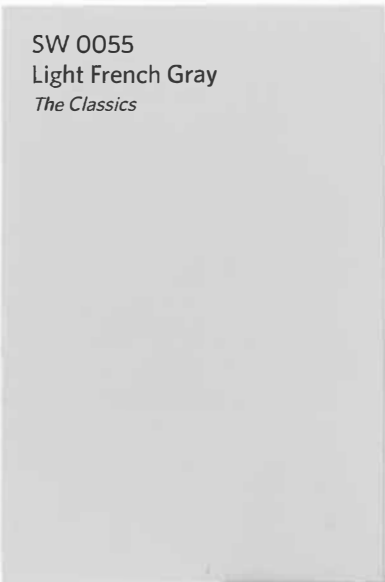


N.B. Criminal Chamber
Available
444 837 4960

116
LGCOA







SW 0055
Light French Gray
The Classics



SW 7057
Silver Strand
237-C1



SW 7035
Aesthetic White
259-C4



SW 7052
Gray Area
246-C3



SW 7069
Iron Ore
251-C7

2 of 2



Executive **SATELLITE** REGIONAL units for Sale



[+]
[-]
[Map icon]
Map



DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Executive Center

DRB#: DRB-000224-2020

DATE: 01/31/2020 04/15/2020

RECOMMENDATION: Approval Approval with Conditions Denial
 RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed main building colors (SW: Light French Grey, Aesthetic White and Silver Strand) are too light and will bleach out to white in the Sun. Per the Design Guide, page 16; "Earth tones must be chosen as the predominant colors." Staff suggest colors that are 2 or 3 shades darker.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The applicant should consider introducing a different hue (maybe lighter) on the flat roof window bays and or stucco base of the balconies that project out from the main buildings. Design Guide, page 16, "A small areas of brighter color may be appropriate to emphasize an architectural detail but would not be approved for a larger area."

<i>MISC COMMENTS/QUESTIONS</i>
1. It is not clear what color is proposed for which units. Color schemes need to be identified on a plan so it is clear what building base colors are going where.
2. Please provide an updated color board. It is easier to see how the colors relate to each other side by side.

3. Gray Area SW7052 sees out of place (pulling green) as the soffit color. Consider painting the soffit to match the building color.



TOWN OF HILTON HEAD ISLAND
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Andy H. Manuel Architect Company: Manuel Studio, LLC
 Mailing Address: 104 Pritchard Street City: Bluffton State: SC Zip: 29910
 Telephone: 843.330.8932 Fax: NONE E-mail: manuel.studio@aol.com
 Project Name: Charlie's L'Etoile Verte Project Address: 8 New Orleans Road HHI, SC 29928
 Parcel Number [PIN]: R552 015 000 0082 0000
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development

Alteration/Addition
 Sign

Submittal Requirements for All projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

- Additional Submittal Requirements:**
- Concept Approval – Proposed Development**
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 - A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 - A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 - Context photographs of neighboring uses and architectural styles.
 - Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 - Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

21 February 2020
DATE

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, South Carolina 29928

21 February 2020

Manuel Studio, LLC
Ansley Hester Manuel, Architect
104 Priehard Street
Bluffton, South Carolina 29910

Project: Charlie's L'Etoile Verte Restaurant at 8 New Orleans Road

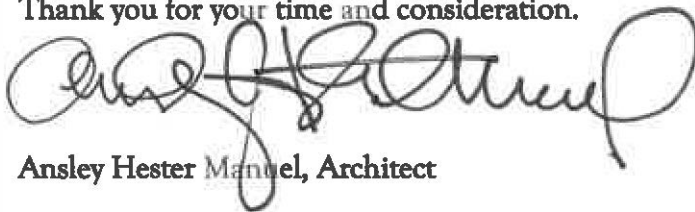
The project proposes enclosing a portion of the existing open porch to create a hostess stand and waiting area with an accessible restroom.

Currently the hostess stand is located in the display area at the right front corner of the wine storage. Waiting patrons congest the patron's hall and front entry doors. Backup waiting spills onto the front porch. Also the existing restrooms located in the central rear area and the kitchen are not accessible.

The solution of a partial porch enclosure is the most feasible and will have no impact on the existing site. There is no additional building footprint and the occupant load will not increase. Therefore all existing site features such as trees, topography and parking layout will remain intact.

The architect met on site with Missy Luick, Senior Planner, on January 3, 2020 to review the proposal. Although it is agreed these changes are minor in nature, the Corridor Review, Major and Major Site Development Plan Review Applications still apply. Many of the items will be non applicable.

Thank you for your time and consideration.

A handwritten signature in black ink, appearing to read "Ansley Hester Manuel". The signature is fluid and cursive, with a large loop at the end.

Ansley Hester Manuel, Architect



















PROJECT DESCRIPTOPN-

THE PROPOSAL WILL SHIFT THE HOSTESS STAND AND WAITING AREA. CURRENTLY THE HOSTESS STAND IS LOCATED AT THE DISPLAY AREA ON THE RIGHT FRONT CORNER OF THE WINE STORAGE. WAITING CUSTOMERS ARE CONGESTED AT THE PATRON'S HALL NEAR THE MAIN EXIT DOORS. BACKUP WAITING SPILLS OUT ON THE PORCH. THE SOLUTION IS TO CREATE A NEW HOSTESS STAND AND WAITING AREA BY ENCLOSING A PORTION OF THE FRONT PORCH.

THE EXISTING RESTROOMS DO NOT MEET ACCESSIBLE REQUIREMENTS. AN ACCESSIBLE RESTROOM WILL ALSO BE LOCATED IN THE NEW ENCLOSURE.

CURRENT CODE -

2018 INTERNATIONAL BUILDING CODE

BUILDING DEPARTMENT -

THE TOWN OF HILTON HEAD

OCCUPANCY CLASSIFICATION -

ASSEMBLY A-2

SPRINKLERS -

ENTIRE BUILDING SPRINKLERED

OCCUPANT LOAD -

PROPOSAL WILL NOT INCREASE THE EXISTING OCCUPANT LOAD AS IT CREATES NO ADDITIONAL SEATING AND ENCLOSSES A PORTION OF THE EXISTING PORCH.

ENTRY STAIRS -NEW BRICK ENTRY STAIRS WILL REPLACE THE EXISTING WOOD STAIRS.

TREADS - 11" MINIMUM

RISERS - 7" MAXIMUM AND 4" MINIMUM

GUARDS - SHALL MEET CODE FOR OPENING LIMITATIONS

HANDRAILS - SHALL MEET CODE FOR HEIGHTS, GRASPABILITY AND CONTINUATION.

NOSINGS - SHALL MEET CODE FOR PROFILE AND PROJECTION UNIFORMITY.

PANIC HARDWARE -

PANIC HARDWARE REQUIRED ON NEW ENTRY DOORS.

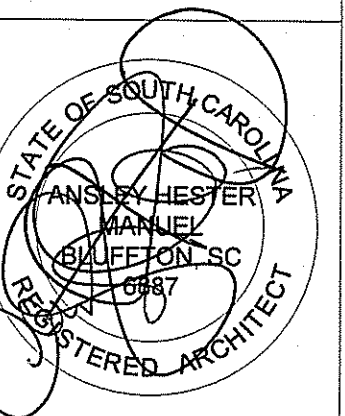
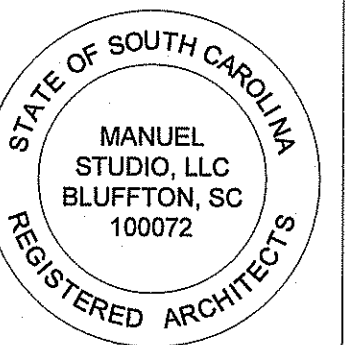
SQUARE FOOTAGE -

EXISTING 4523 SQUARE FEET HEATED

EXISTING 539 SQUARE FEET PORCH

PROPOSED 4727 SQUARE FEET HEATED

PROPOSED 335 SQUARE FEET PORCH



DATE :
2/21/20

MANUEL STUDIO, LLC
Mansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

RENOVATIONS TO THE RESTAURANT
CHARLIE'S L'ETOILE VERTE
8 NEW ORLEANS ROAD
HILTON HEAD, SOUTH CAROLINA 29928
CODE ANALYSIS AND INDEX

SHEET

C-1

INDEX

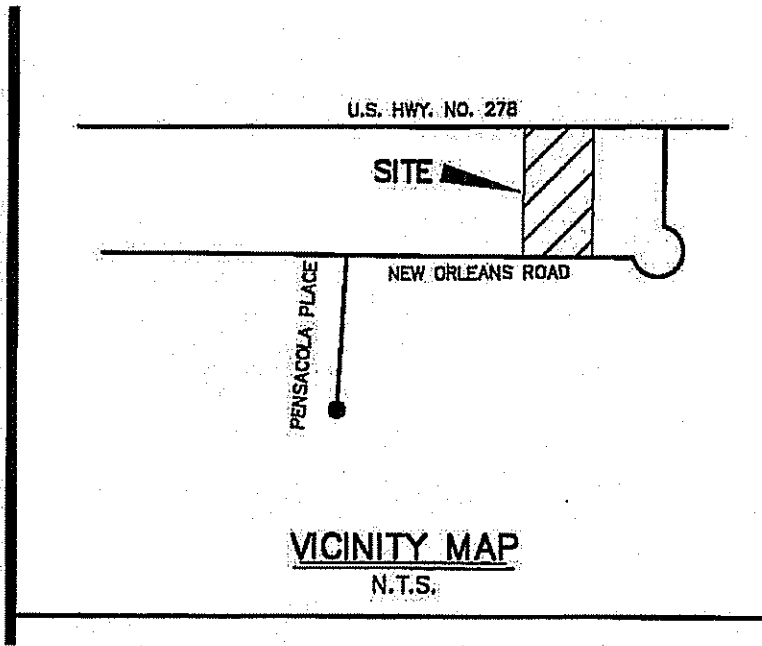
C-1 CODE ANALYSIS, INDEX

C-2 PROPOSED SITE PLAN

A-1 PROPOSED FLOOR PLAN

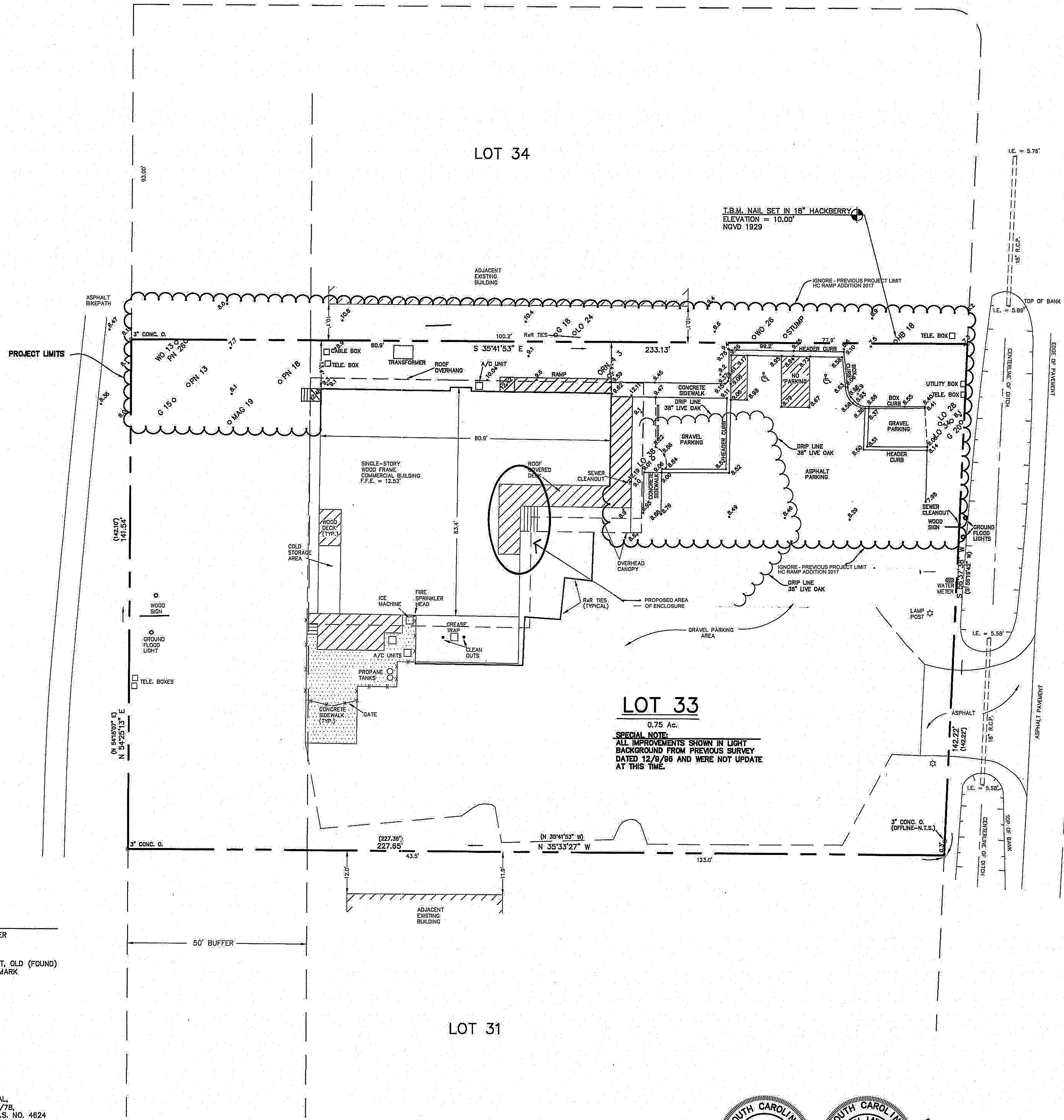
A-2 PROPOSED ELEVATIONS

A-3 DETAILS & ANSI ILLUSTRATIONS



NEW ORLEANS ROAD - 60' R/W

WILLIAM HITON PARKWAY
U.S. HIGHWAY NO. 278 - R/W VARIES

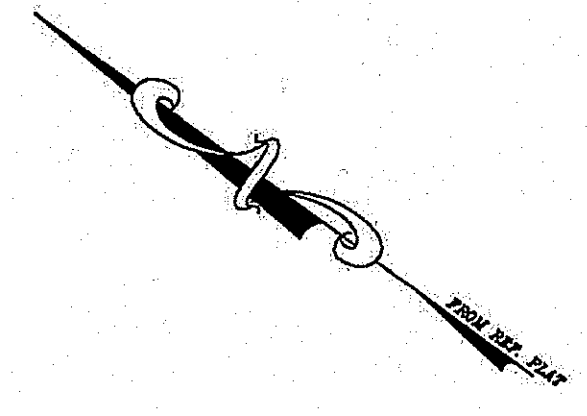


LEGEND:

TREE SIZES ARE INCHES IN DIAMETER	
SPOT ELEVATION	
CONTOUR	
CONCRETE MONUMENT, OLD (FOUND)	
T.B.M.	TEMPORARY BENCH MARK
N.T.S.	NOT TO SCALE
C	CUM
HB	HACKBERRY
PN	PINE
LO	LIVE OAK
MAG	MAGNOLIA
WO	WATER OAK

REFERENCE PLAT:
1) 53.289 ACRES, SHIPYARD PLANTATION COMMERCIAL, DATED: 5/13/76, REVISED: 3/28/78, BY: ERIC H. FRIESELBACH, S.C.R.L.S. NO. 4624 RECORDED: P.B. 26, PG. 186, 3/30/78.

PREPARED FOR: GOLSON PROPERTIES, LLC
ADDRESS: #6 NEW ORLEANS ROAD
TAX PARCEL I.D. NO. R552-015-000-0082-0000



TOWN OF HILTON HEAD ISLAND LIND
SECTION 18-5-1402 DISCLOSURE STATEMENT
Some or all areas on this plot are flood hazard areas and have been identified as being at least a one percent chance of being flooded in any given year by rising tide waters associated with possible hurricanes. Local regulations require that certain flood hazard protective measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.

- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-D, COMMUNITY NO. 450250, MAP DATED 9/29/85, BASE ELEVATION N/A, FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUT INFORMATION PROVIDED HERON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

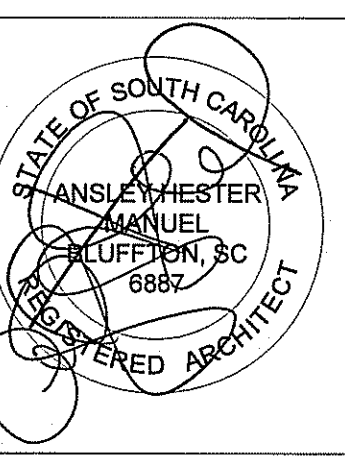
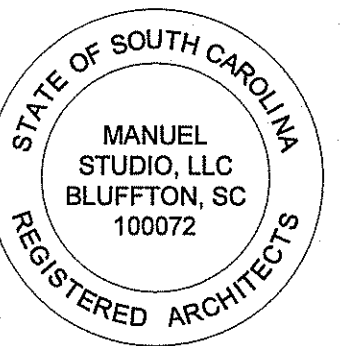
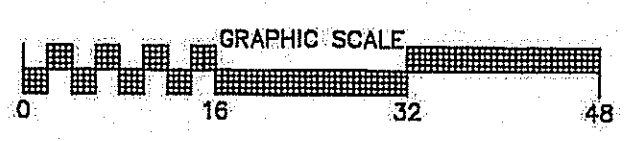
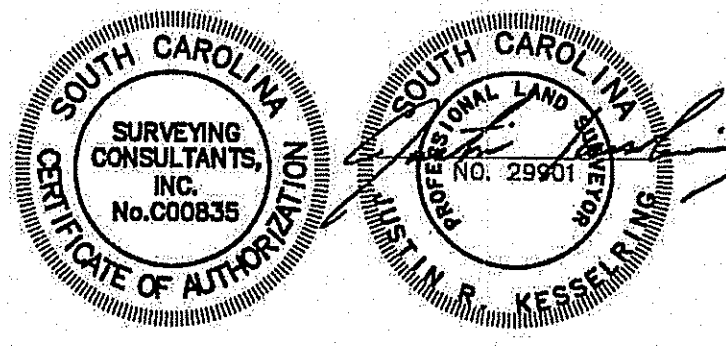
NEW ORLEANS ROAD - 60' R/W

PARTIAL ASBLUT
TREE & TOPOGRAPHIC
SURVEY OF
LOT 33, NEW ORLEANS ROAD

A SECTION OF
**SHIPYARD COMMERCIAL
SHIPYARD PLANTATION**
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1/16" = 1'-0" DATE: 12/9/86 JOB NO: SC87825C
REVISED: 04/28/2017 PARTIAL SURVEY

SC SURVEYING CONSULTANTS
17 Sherington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-8304 FAX: (843) 815-8305
GA Telephone: (612) 828-2775
www.surveycs.com
Email: SC@surveycs.com
COPYRIGHT © BY SURVEYING CONSULTANTS

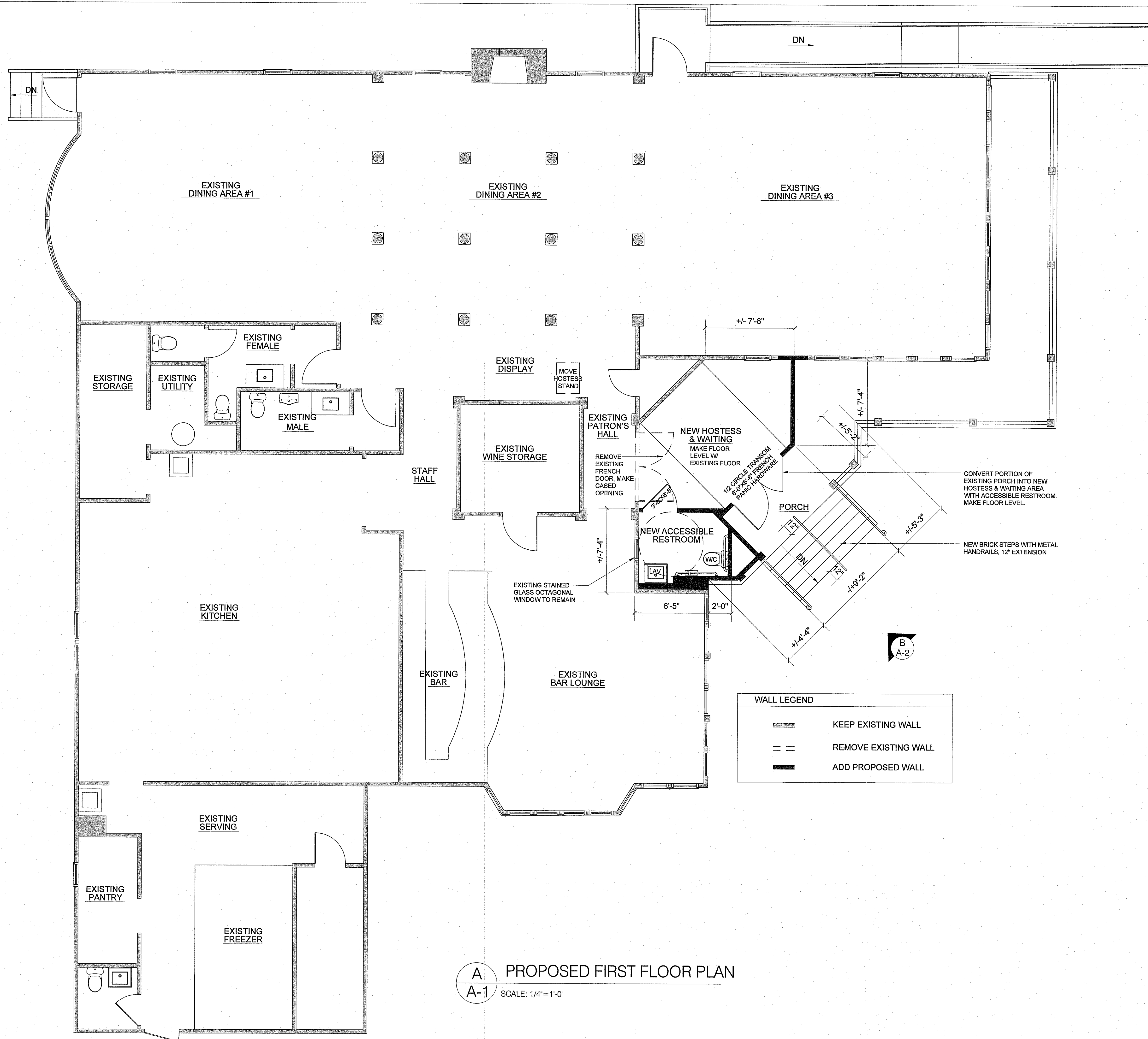


DATE: 2/21/20

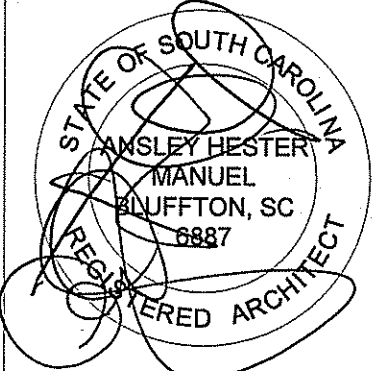
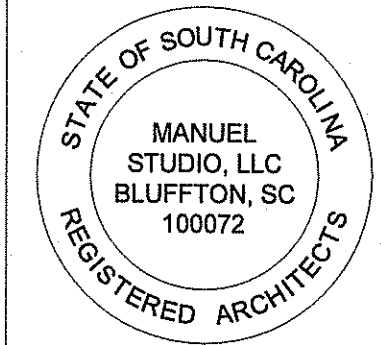
MANUEL STUDIO, LLC
Annsley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

RENOVATIONS TO THE RESTAURANT
CHARLIE'S L'ETOILE VERTE
8 NEW ORLEANS ROAD
HILTON HEAD, SOUTH CAROLINA 29928
PROPOSED SITE PLAN

SHEET
C-2



A PROPOSED FIRST FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"

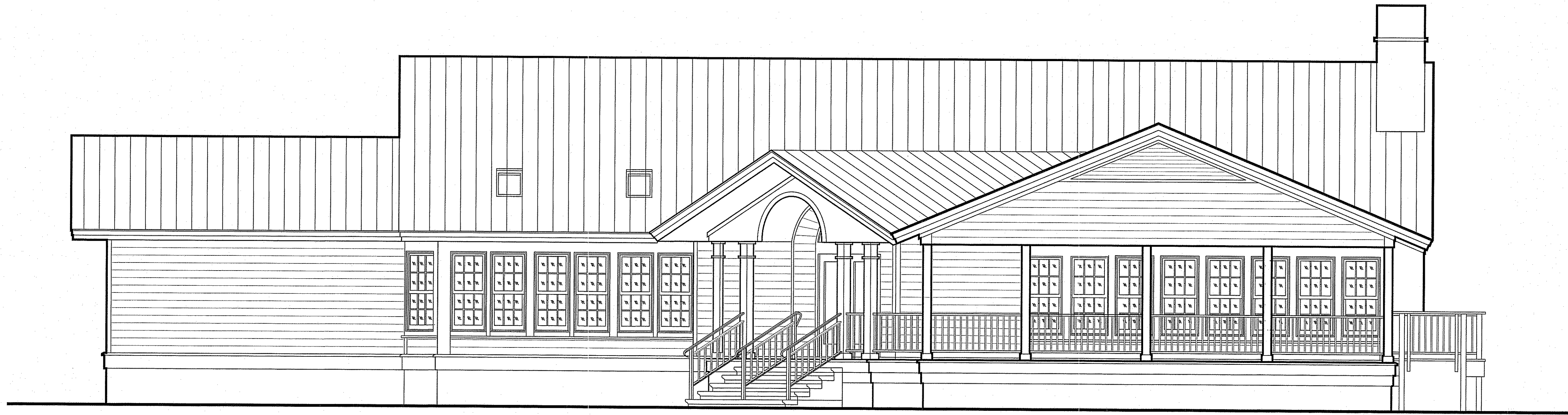


DATE :
2/21/20

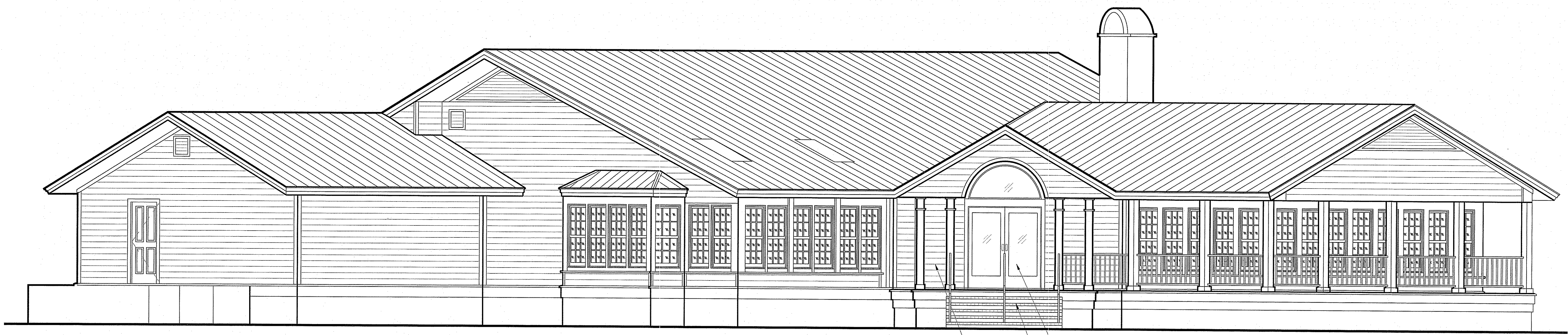
MANUEL STUDIO, LLC
Arnsley Hester Manuel, Architect
 104 Pritchard Street, Bluffton, South Carolina 29910
 843.338.8932 cell manuel.studio@aol.com

RENOVATIONS TO THE RESTAURANT
CHARLIE'S L'ETOILE VERTE
 8 NEW ORLEANS ROAD
 HILTON HEAD, SOUTH CAROLINA 29928
 EXISTING FLOOR PLANS

SHEET
A-1

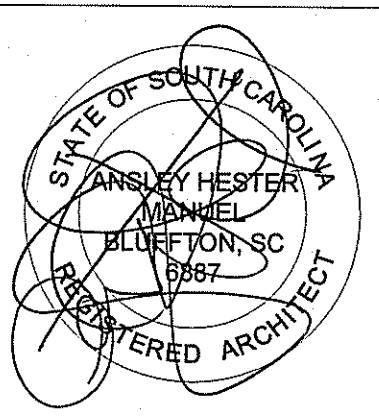
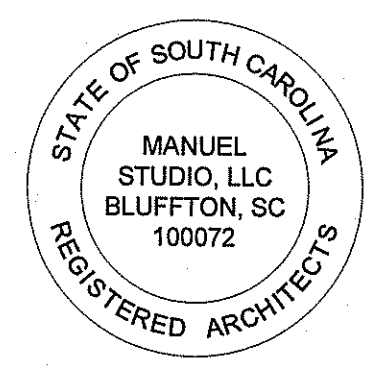


A PROPOSED ELEVATION
A2 SCALE: 1/4"=1'-0"



- NEW FRENCH DOORS WITH TRANSOM.
- NEW BRICK STAIRS
- NEW EXTERIOR WALL (RESTROOM) TO MATCH EXISTING MATERIAL FINISH AND COLOR

B PROPOSED ELEVATION
A2 SCALE: 1/4"=1'-0"

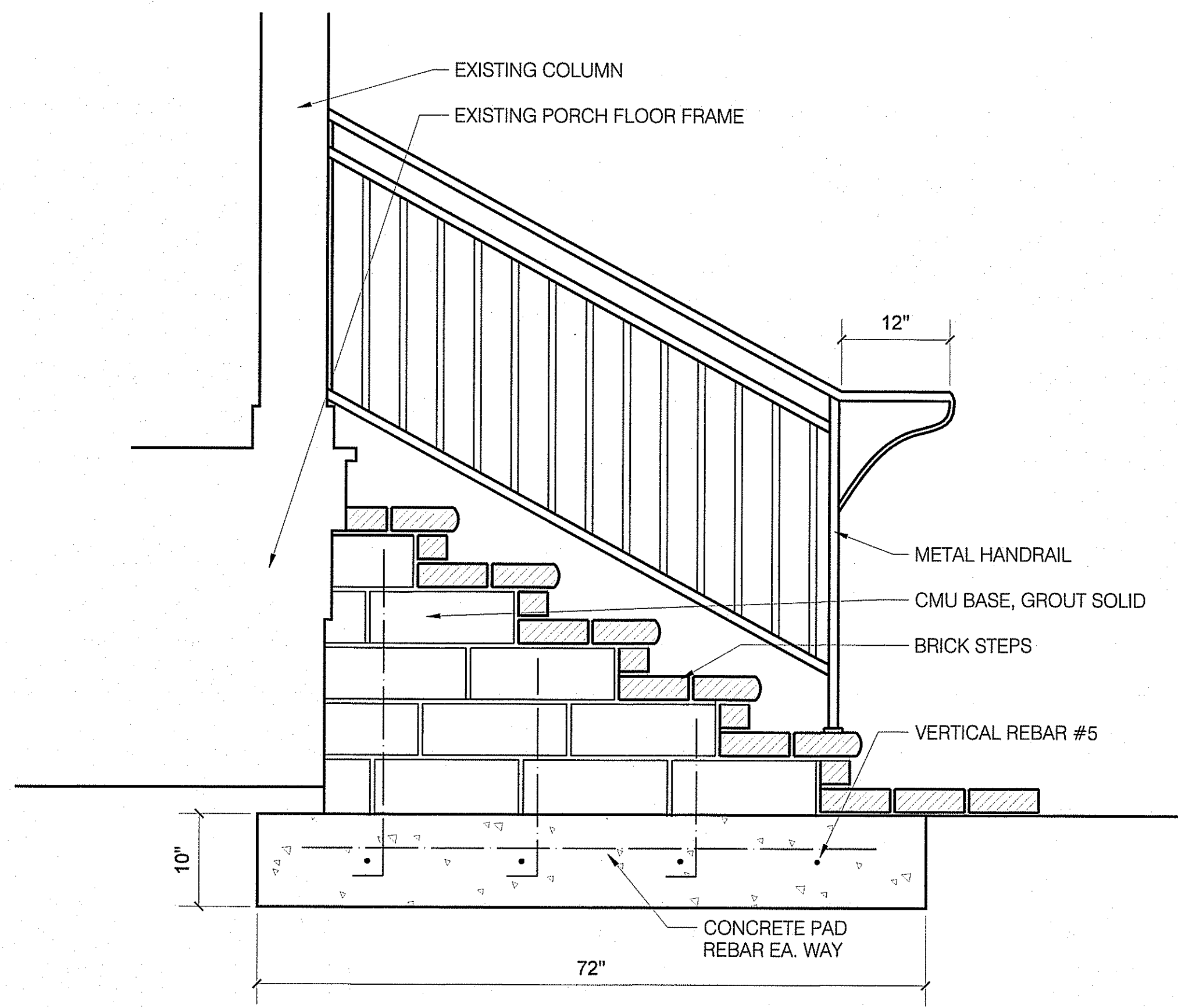


DATE :
2/21/20

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
 104 Pritchard Street, Bluffton, South Carolina 29910
 843.338.8932 cell manuel.studio@aol.com

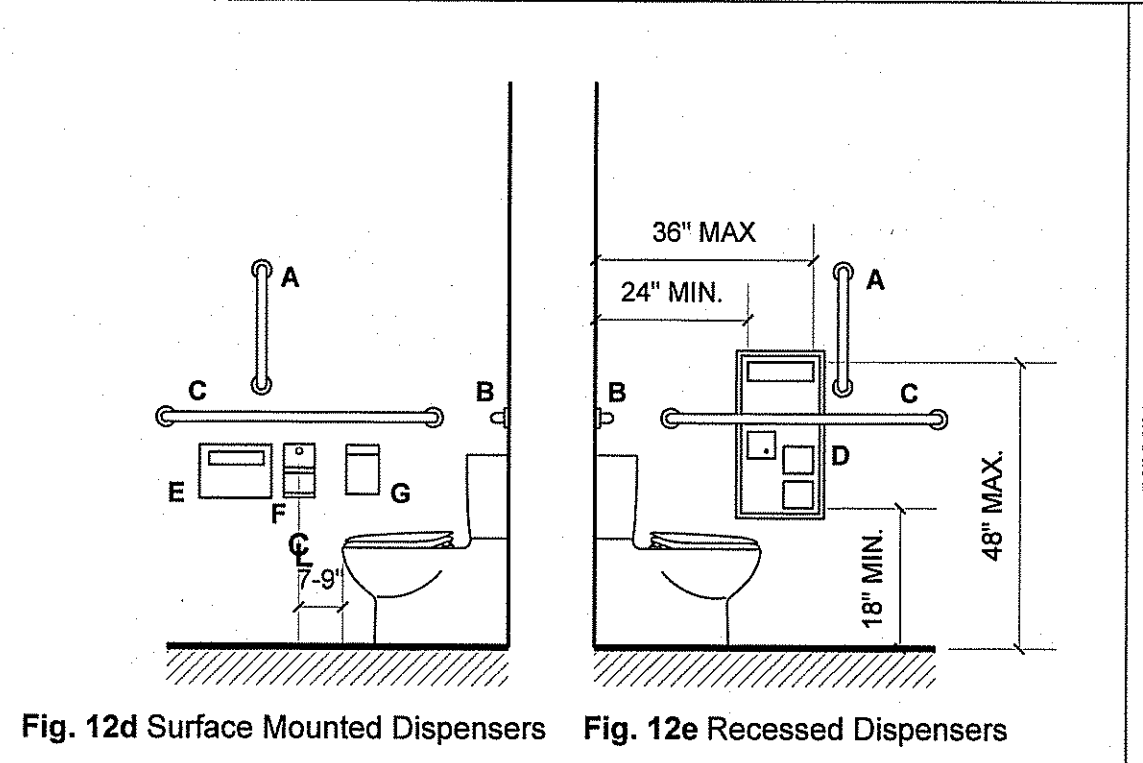
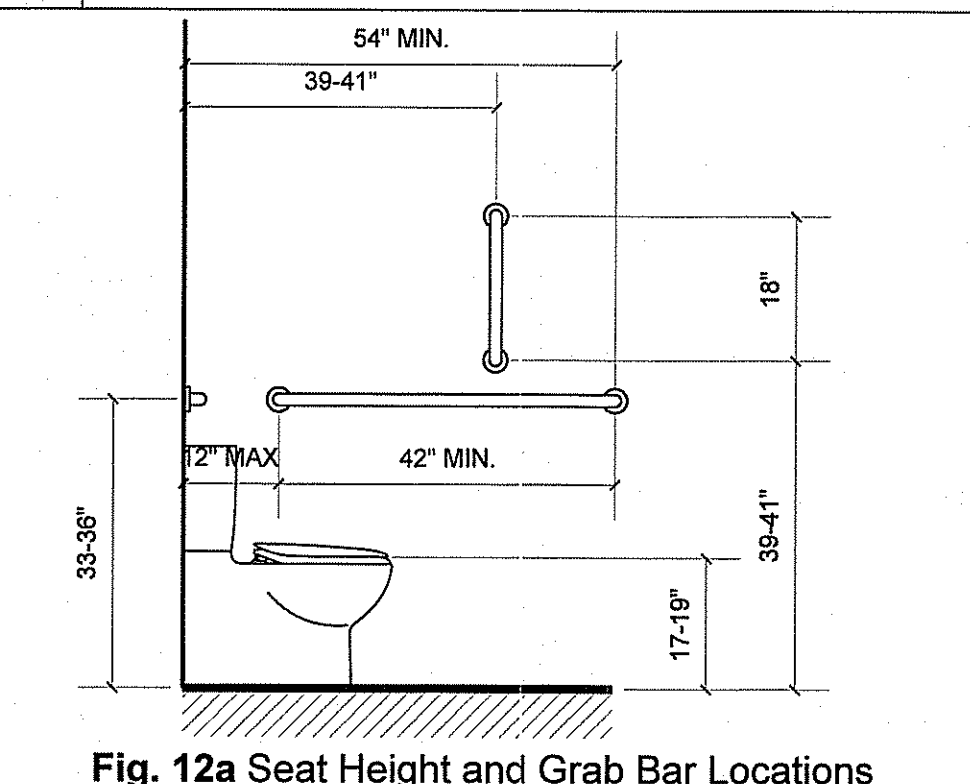
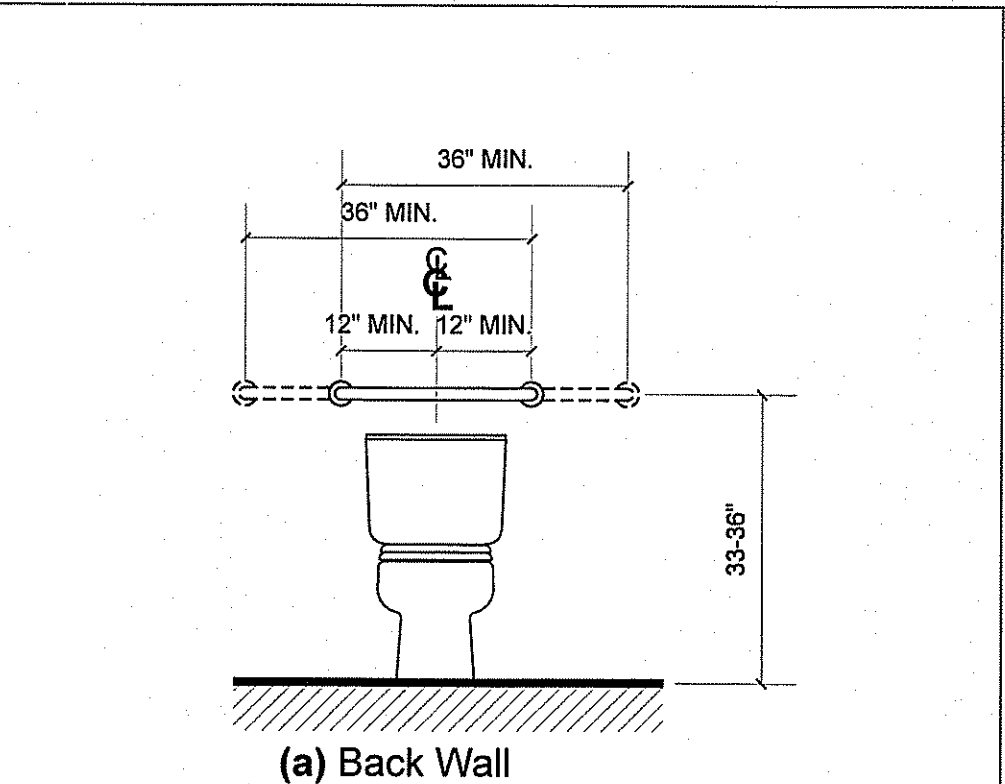
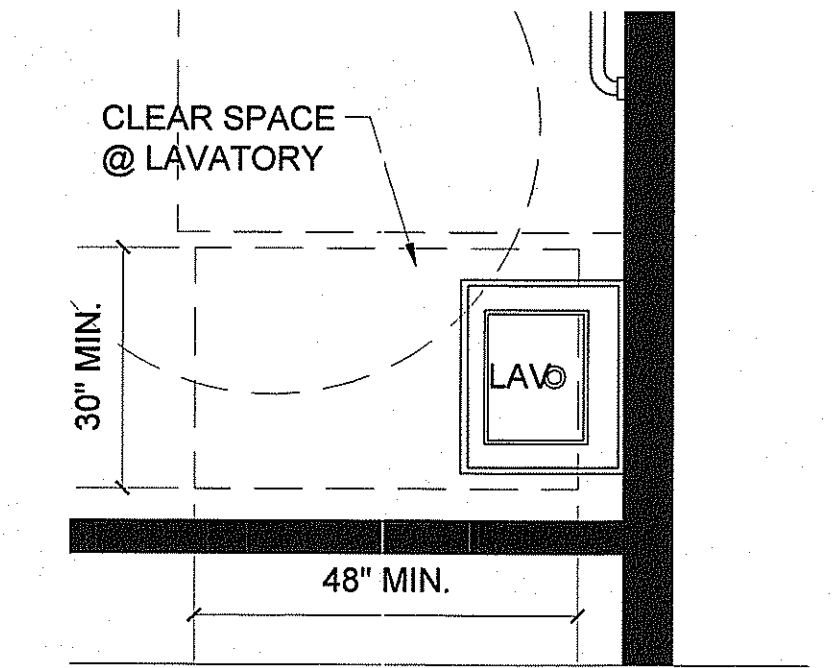
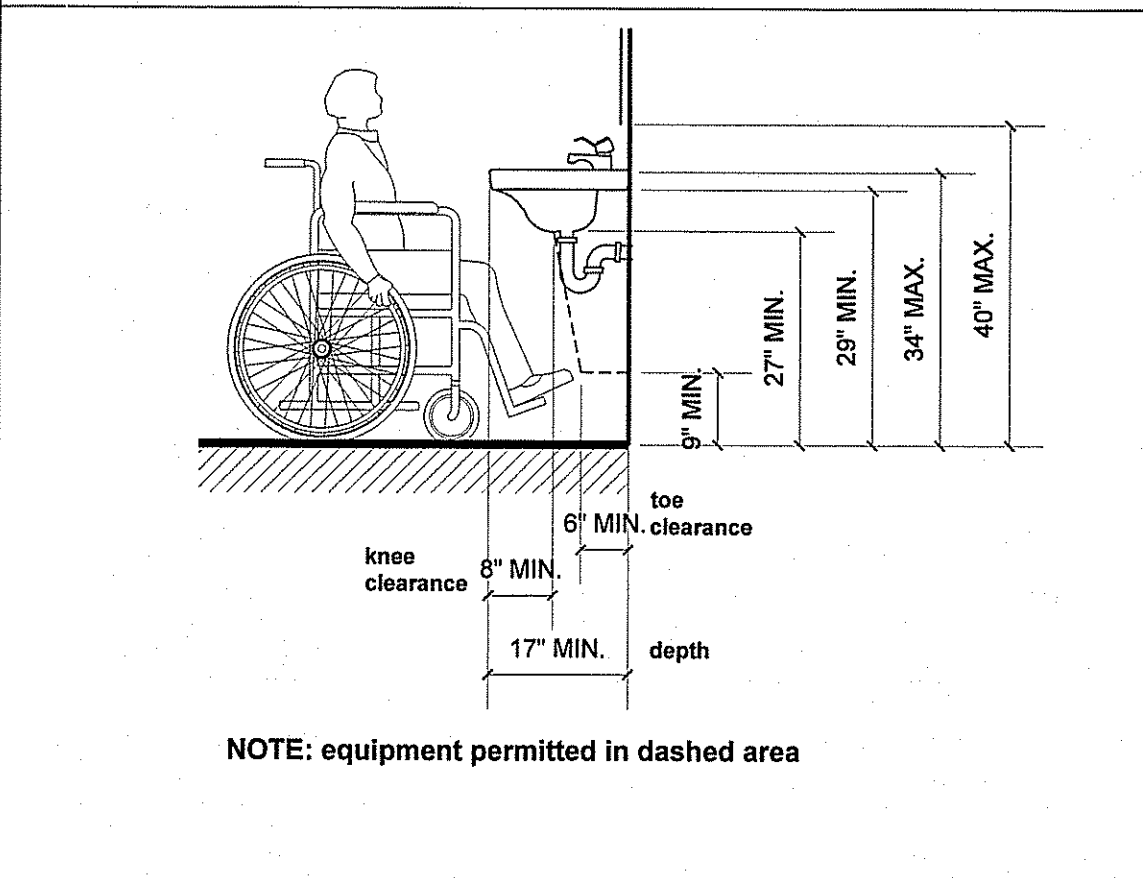
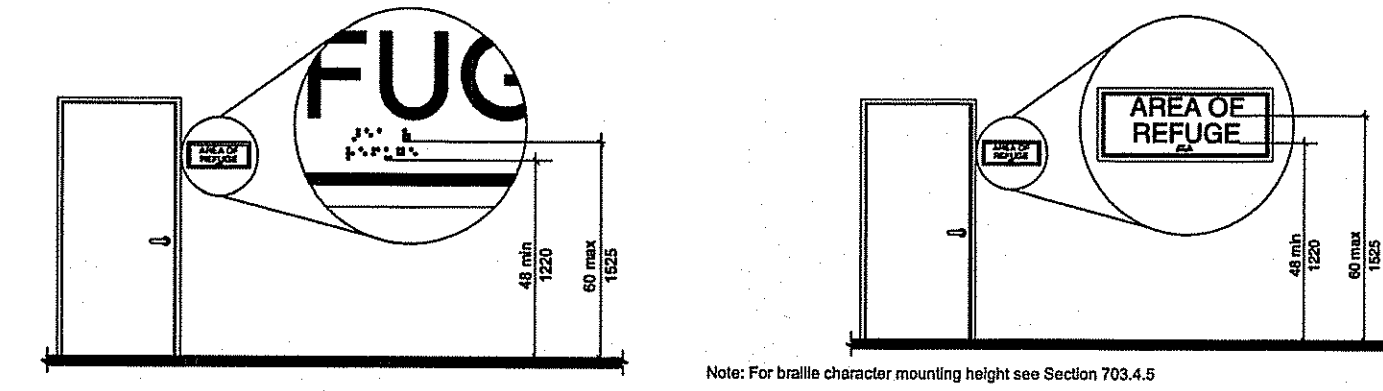
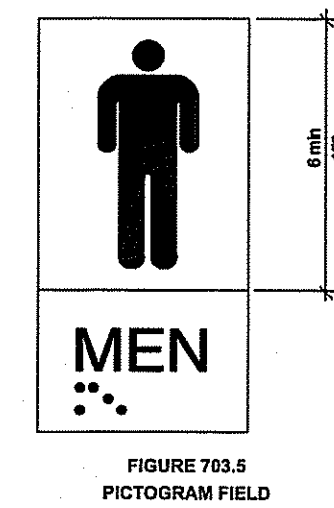
RENOVATIONS TO THE RESTAURANT
CHARLIE'S L'ETOILE VERTE
 8 NEW ORLEANS ROAD
 HILTON HEAD, SOUTH CAROLINA 29928
 PROPOSED ELEVATIONS

SHEET
A2

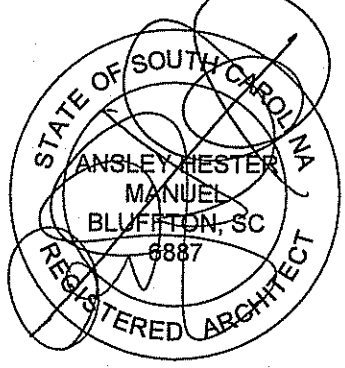
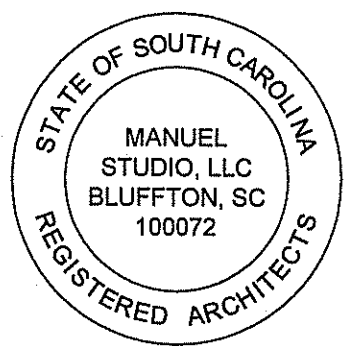
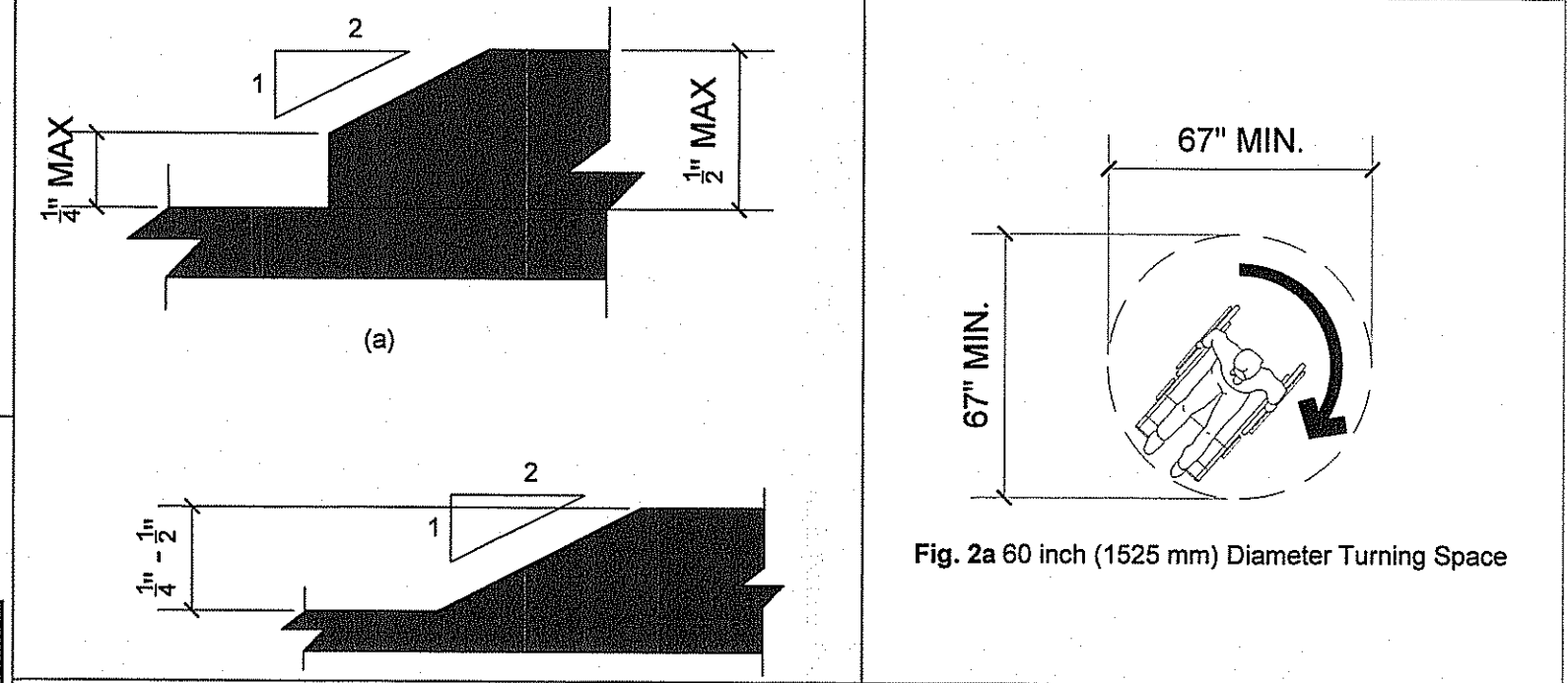
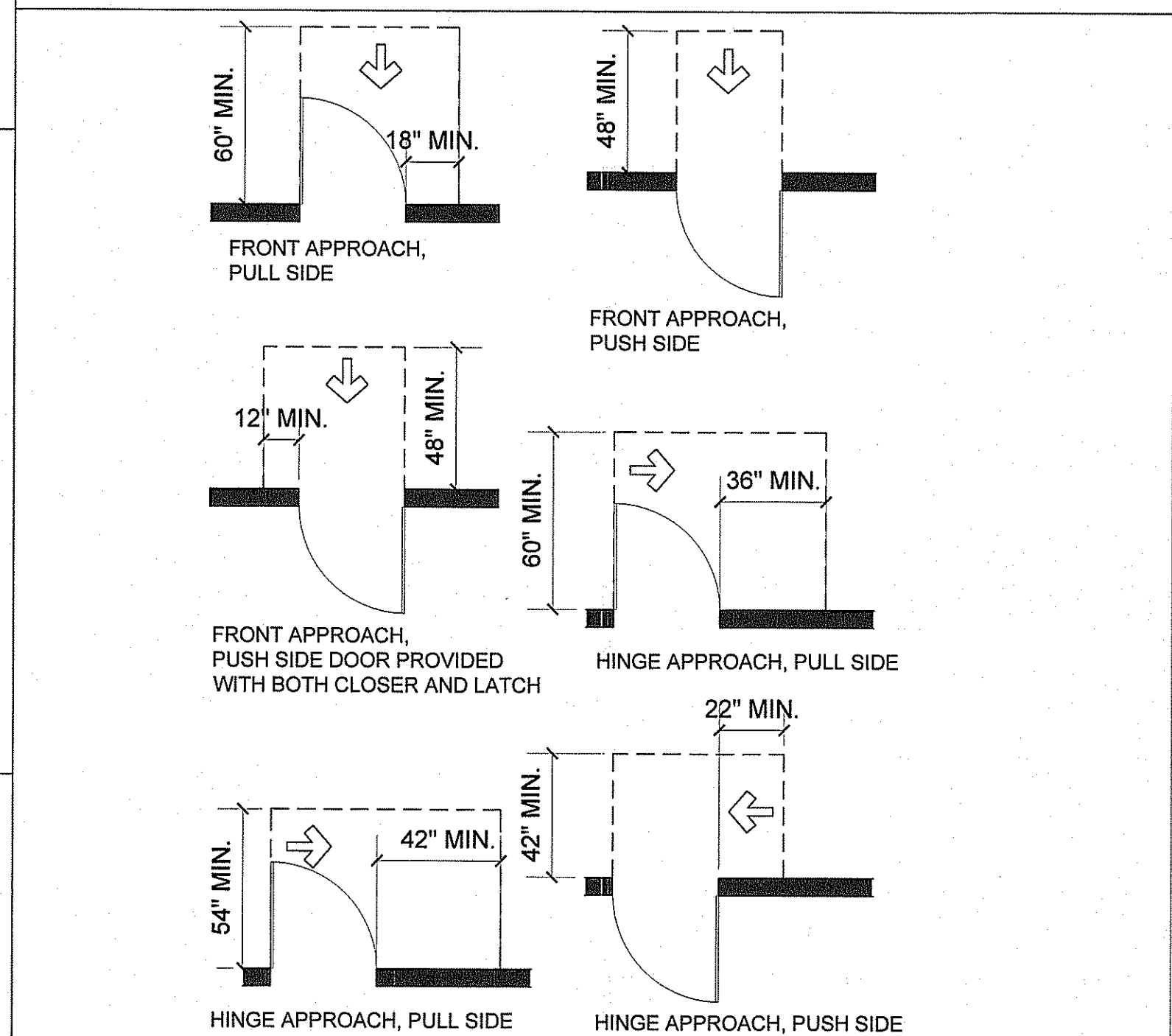
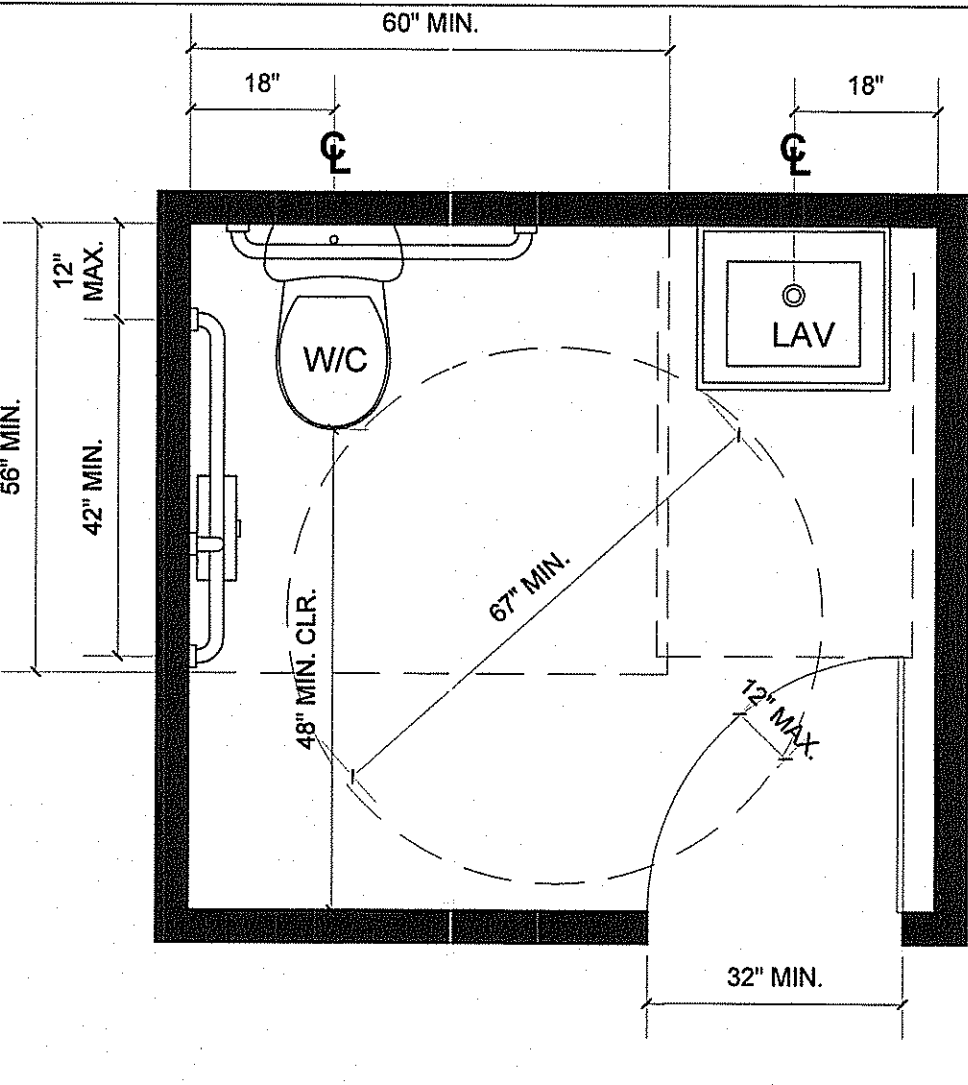


A PROPOSED BRICK STAIRS
A3 SCALE: 1"=1'-0"

Examples of Accessible Door Hardware			
Handle	Pull	Bar	Lever



LEGEND
A 18" VERTICAL GRAB BAR
B 36" HORIZONTAL GRAB BAR
C 42" HORIZONTAL GRAB BAR
D RECESSED TOILET SEAT DISPENSER, SANITARY NAPKIN DISPOSAL, TOILET TISSUE DISPENSER
E SURFACE MOUNTED TOILET SEAT COVER DISPENSER (MOUNTS BELOW GRAB BAR)
F SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER (MOUNTS BELOW GRAB BAR)
G SURFACE MOUNTED SANITARY NAPKIN DISPOSAL (MOUNTS BELOW GRAB BAR)



DATE: 2/21/20

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
 104 Pritchard Street, Bluffton, South Carolina 29910
 843.338.8932 cell manuel.studio@aol.com

RENOVATIONS TO THE RESTAURANT
CHARLES L'ETOILE VERTE
 8 NEW ORLEANS ROAD
 HILTON HEAD, SOUTH CAROLINA 29928
DETAILS & ANSI ILLUSTRATIONS

SHEET
A-3

DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Charlie's Addition

DRB#: DRB-00434-2020

DATE: 04/17/2020 05/14/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. ~~Provide brick specification and physical sample for review by the DRB.~~
2. ~~Provide exterior light fixture specifications for Staff review and approval.~~

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify the brick and provide a physical sample. Brick sample provided.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any new exterior lighting fixtures must be specified and manufacture cut sheets provided that specify foot candles and temperature (3000K of less). Applicant plans to use the existing sconce (see photo).

<i>MISC COMMENTS/QUESTIONS</i>



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: GREG FRANKISH Company: CUA COMPANY CONSTRUCTION LLC
 Mailing Address: P.O. Box 3320 City: BLUFFTON State: SC Zip: 29910
 Telephone: 843-241-3301 Fax: _____ E-mail: WLODZ@CUACOMPANY.COM
 Project Name: DARLOW EYE CENTER Project Address: 576 WILLIAM HILTON BLVD
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): COO

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|--|--|
| <input type="checkbox"/> Concept Approval – Proposed Development | <input type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

_____ ²A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.

NA Final site development plan meeting the requirements of Appendix D: D-6.F.

NA Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

NA Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ ⁴A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

NA Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

_____ ⁴All of the materials required for final approval of proposed development as listed above, plus the following additional materials.

NA A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ ⁴Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

3/6/20

DATE

Cuda Company Construction, LLC.

Post Office Box 3320

Bluffton, SC 29910

843-247-3301

Email: wcuda@cudacompany.com

April 7, 2020

TO: Chris Darnell

RE: Darling Eye- 576 William Hilton Parkway
Re roofing

The owner would like to change the color of the roof. The roof is currently a green metal roof. It is quite faded from the original color. They would like to stay with the same type of roof in a different color. The material would be McElroy Metal. The choices of colors they propose for approval, in order of preference:

- 1) Galvalume
- 2) Texas Silver Metallic
- 3) Silver Metallic
- 4) Leadcoat

I will provide pictures and a material data sheet.

Thank you for your consideration.

Greg Francese
Cuda Company Construction, LLC

SL150

1 1/2" Snap Lock Panel

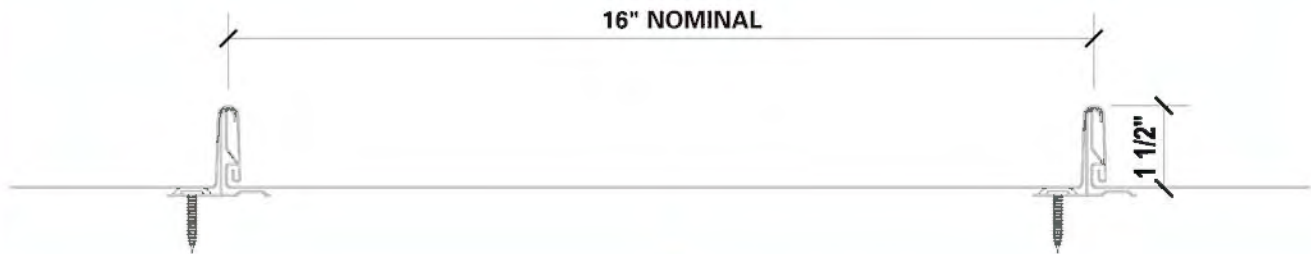
PRODUCT DESCRIPTION

- Architectural Standing Seam Metal Roofing System
- Ideal for residential and commercial applications
- Specially designed clip allows thermal movement
- Tested panel for rated assemblies achieves higher performance levels

1-1/2" Snap Lock Panel; max width 15.39"; Snap Lock Seam fastened with (2) #10-12 x 1" long No. 2 Phillips drive pancake head, wood screws; One Part Clip Assembly SL150R Clip fastening metal to panel to minimum 15/32" plywood decking; maximum 24" clip spacing; Panel Rollformer: Schleich Quadro-Plus Rollformer; Maximum Allowable Roof Uplift Pressure (steel): -86.0 psf Main Field @ 24" Clip Spacing; Perimeter Pressure -108.5 at 12" Clip Spacing; Corner Pressure -116.0 psf @ 6" Clip Spacing; *Oil Canning is not a Cause for Rejection.*



www.4mmetals.com



DESIGN INFORMATION

- Minimum Slope = 1-1/2":12"
- Actual Panel Width: 15.39" from 20" Coil
- Solid Substrate Required
- Architectural, Hydrokinetic Panel
- Snap Seam – No Field Seaming Required
- 24 and 26 Gauge Galvalume®
- .032" Aluminum
- 16oz Copper
- 30Year Finish Warranty on Kynar 500 Finish
- Weather Tight Warranty Available
- Underlayment Required

TEST REPORT SUMMARY

- Florida Building Code 2004
- Chapter 15: Roof Assemblies
- Section 1504.3.2; 1505.3; 1507.4
- Chapter 16: Structural Design
- Chapter 22: Steel; Section 2209 Cold Form Steel
- Chapter 23: Wood
- Testing per TAS 125-03 Std. Requirements for Metal Roof Systems
- Test Assembly #6 by Underwriters Laboratory for:
 - a) UL 580-94, per FBC, Uplift Resistance of Roof Assemblies
 - b) UL 1897-98, per FBC, Uplift Tests for Roof Covering Systems
- Testing per TAS 100 Wind Driven Rain Test
- FPA #9860.15 – Non HVHZ – 24ga
- FPA #9860.16 – HVHZ – 24ga





DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Darling Eye Center Reroof

DRB#: DRB-000773-2020

DATE: 04/17/2020 05/14/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

The roof color shall be "Preweathered Galvalume" by McElroy Metal.

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It appears Leadcoat meets the requirements of the Design Guide but Staff will not recommend a color without a physical sample. Please submit a cutsheet of with the proposed colors and physical samples for review.

MISC COMMENTS/QUESTIONS
After reviewing the samples provided, Staff suggest the applicant consider "Preweathered Galvalume".

DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Darling Eye Center Reroof

DRB#: DRB-000773-2020

DATE: 04/17/2020 05/14/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

The roof color shall be "Preweathered Galvalume" by McElroy Metal.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It appears Leadcoat meets the requirements of the Design Guide but Staff will not recommend a color without a physical sample. Please submit a cutsheet of with the proposed colors and physical samples for review.

MISC COMMENTS/QUESTIONS

~~After reviewing the samples provided, Staff suggest the applicant consider "Preweathered Galvalume".~~



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Scott's Project Address: 17 Harbourside Ln. Hilton Head Island
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 7 2 0 0 0 0
 Zoning District: PD-1 Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.

_____ Final site development plan meeting the requirements of Appendix D: D-6.F.

_____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

All of the materials required for final approval of proposed development as listed above, plus the following additional materials.

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE

04/08/20

 DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Scott's Covered Patio **PROJECT #:** DRB-002008-2019
PROJECT ADDRESS: 17 Harbourside Lane
CATEGORY: Alteration/Addition
ACTION DATE: October 8, 2019 **NOTICE DATE:** October 15, 2019
APPLICANT/AGENT: Timothy C Probst, Parker Design Group Architects
10 Palmetto Business Park Suite 201
Hilton Head Island, SC 29928
Email: tim@pdg-architects.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. Specify on the drawings that the structure will be stained to match the existing patio structures.
2. Note on the plans that all electrical conduit must be concealed.
3. The light fixtures shall meet the LMO lighting requirements and not exceed 3000K.
4. Conceal sprinkler lines to the extent possible with the understanding that sprinkler heads will be visible.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Scott's Bar **PROJECT #:** DRB-002452-2019
PROJECT ADDRESS: 17 Harbourside Lane
CATEGORY: Alteration/Addition
ACTION DATE: December 10, 2019 **NOTICE DATE:** December 13, 2019
APPLICANT/AGENT: Timothy C Probst, Parker Design Group Architects
10 Palmetto Business Park Suite 201
Hilton Head Island, SC 29928
Email: tim@pdg-architects.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. The rear wall of the bar shall be painted to match the stucco color of the building and said color shall be submitted to Staff for review and approval.
2. In order to make the bar appear more permanent, include wood columns at the bar, and stain them and the louvers to match the roof.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



April 8, 2020

Chris Darnell, PLA
Urban Designer
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, South Carolina, 29928

Dear Chris,

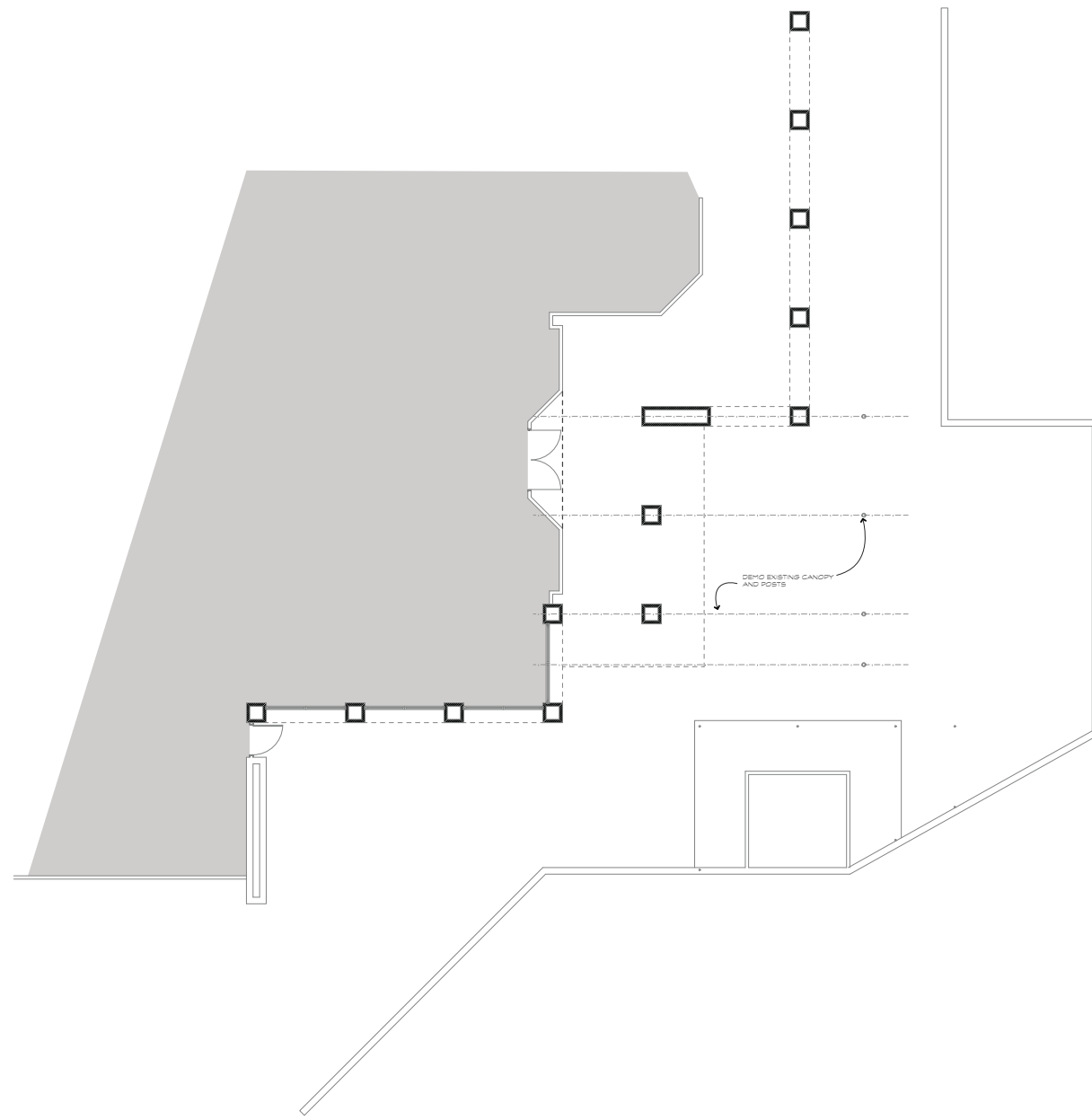
The following is a Narrative of the changes that made during construction.

1. (3) Gooseneck fixtures were added to the posts on the water side. See revised plan and specs.
2. The fans were changed out to another fixture with lights and in galvanized finish.
3. (6) cylinder lights, fixture "B", were switched to fixture "D" which is a galvanized hanging fixtures to match the goosenecks. These are located at the bar.
4. We have added the specifications for the wall fans to the plans.
5. A window was added were the existing shutters were located on the back of the bar wall, see revised elevations and plans.
6. The conduit was installed exposed on the ceiling.

Thank you,

A handwritten signature in blue ink, appearing to read 'Timothy C. Probst', with a long horizontal stroke extending to the right.

Timothy C. Probst, A.I.A.



AS BUILT PLAN

SCALE: 1/8" = 1'-0"

1
S.1



SITE PLAN

SCALE: 1" = 40'-0"

2
S.1

APPROVED

parkdesigngrouparchitects
843.785.3377 POST OFFICE BOX 5010 HILTON HEAD ISLAND, SC 29928
pdg
ARCHITECTS

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced, there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG | Architects 2016 copyright C

A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
SHELTER COVE MARINA
HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE:
11/25/19
SCALE
JOB NO.
1614
SHEET

S.1
OF SHEETS

DESIGN CRITERIA

DESCRIPTION OF WORK:
REPLACE FABRIC CANOPY OVER EXISTING OUTDOOR EATING AREA W/ A NEW FIRE TREATED HEAVY TIMBER / STANDING SEAM METAL ROOF. EXISTING BUILDING IS TYP 2 SPRINKLED W/ CEMENT STUCCO SIDING AND METAL ROOF.

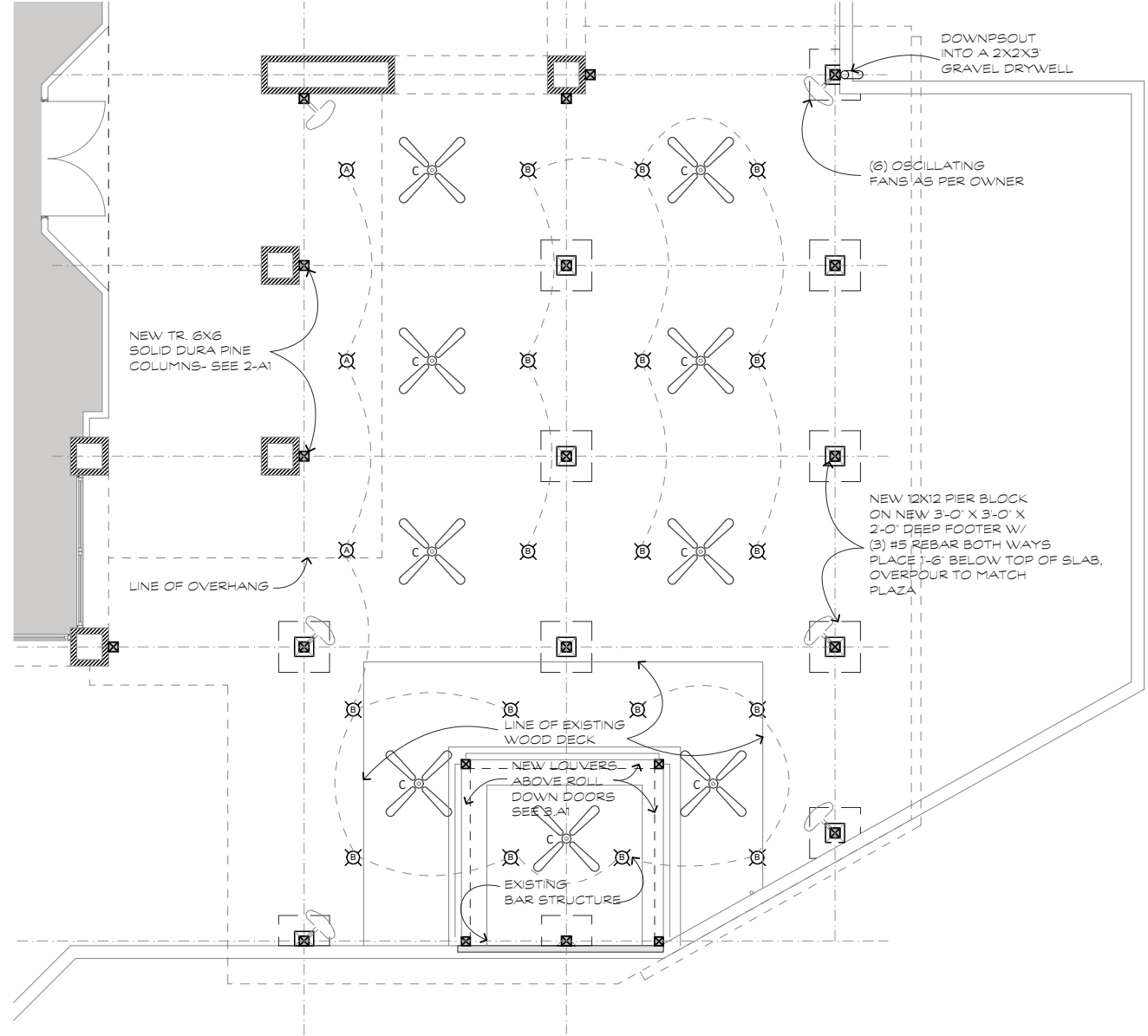
Design Criteria for Code Compliance as of: IBC 2015
Type of Occupancy: **A-2 Restaurant**
Type of Construction: 2 ~~Protected~~/Unprotected
Sprinkler: YES

COLOR SCHEDULE

ROOFING : STANDING SEAM METAL TO MATCH BUILDINGS
TIMBER ELEMENTS : CABOTS SEMI SOLID SPANISH MOSS
CEILING : WOOD STAIN & POLY TOP COAT TO MATCH EXISTING LOGGIA

APPROVED

These documents & designs are the property of Park Design Group Architects & are not to be used or reproduced, in whole or in part, without the written authorization from the copy write owner PDG/Architects 2016 copyright C



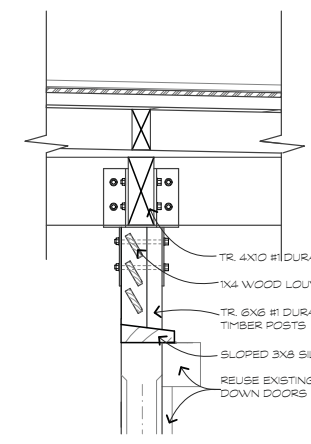
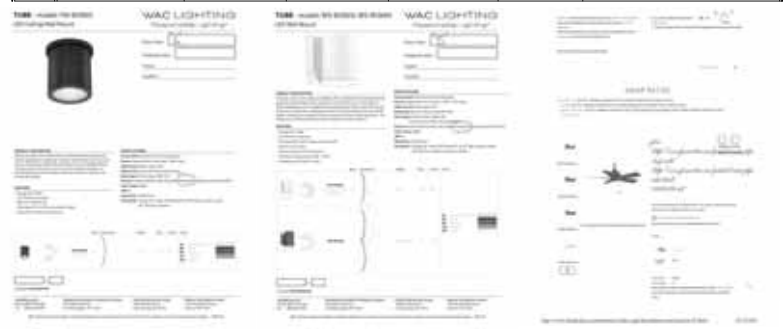
LOGGIA PLAN
 SCALE: 1/4" = 1'-0"

1
A.1

LIGHTING FIXTURE SCHEDULE

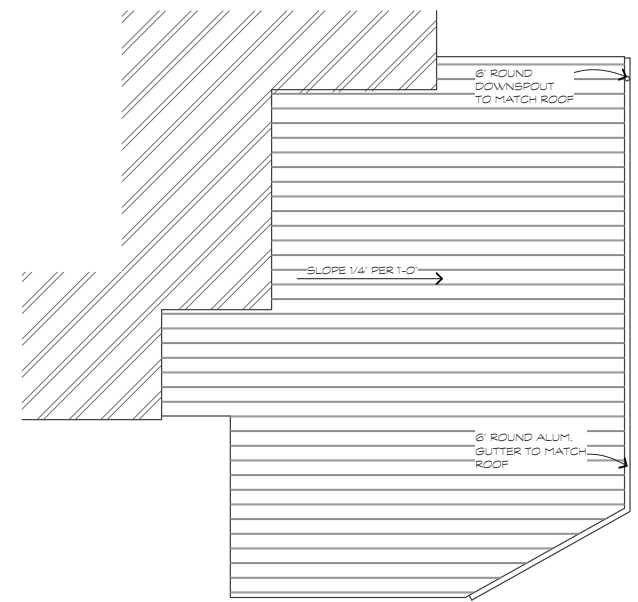
TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS
A	WAC	FM-W2605-BZ	SURFACE	16 WATT LED	BRONZE	TUBE LIGHT
B	WAC	WS-W2605-BZ	SURFACE	16 WATT LED	BRONZE	SIDE MOUNT
C	FANMATION	FP8042	T DROP		BRONZE	EXT FAN

HEATERS BY OWNERS



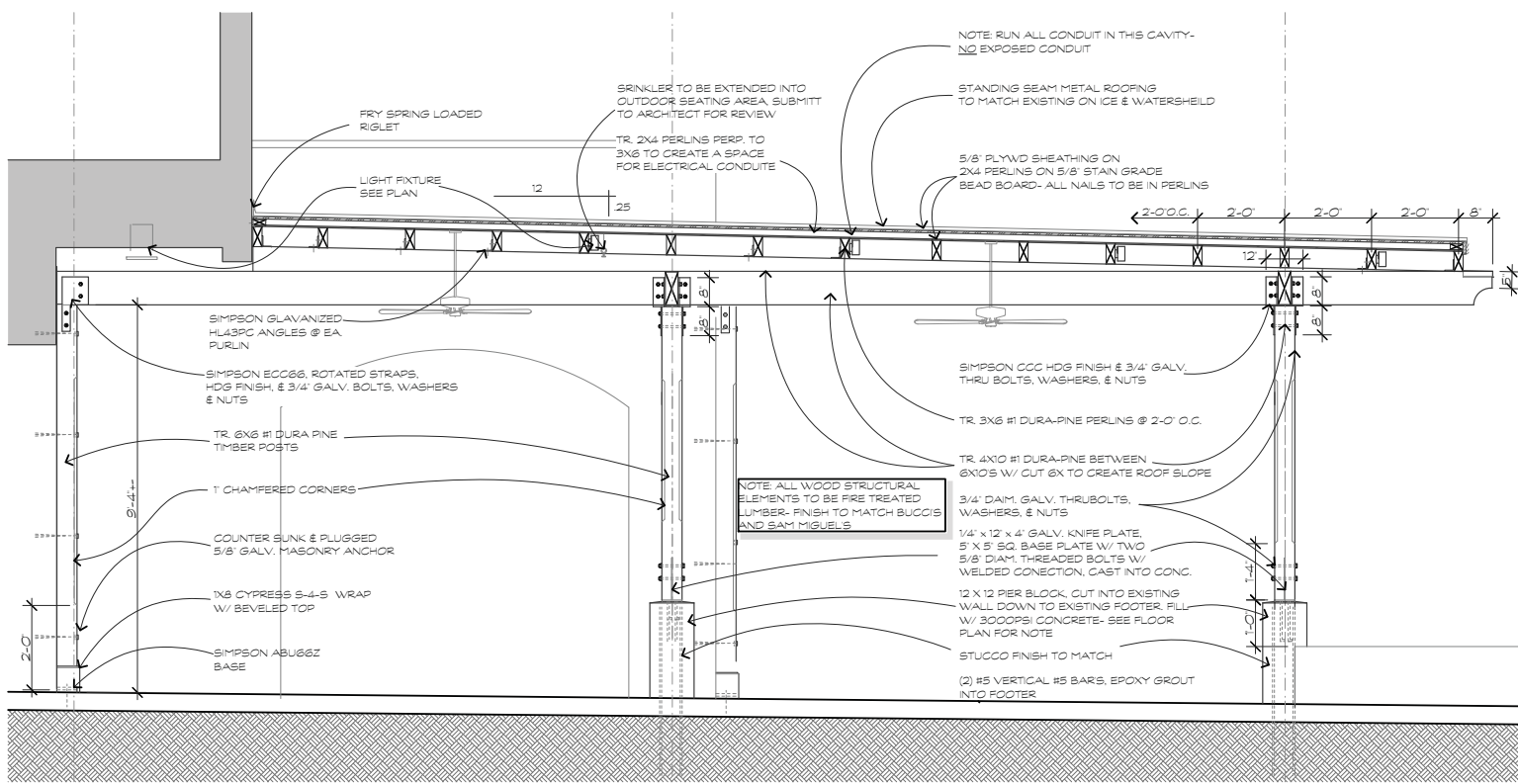
BAR HEADER DETAIL
 SCALE: 1" = 1'-0"

3
A.1



ROOF PLAN
 SCALE: 1/8" = 1'-0"

2
A.1



LOGGIA SECTION
 SCALE: 1/2" = 1'-0"

4
A.1

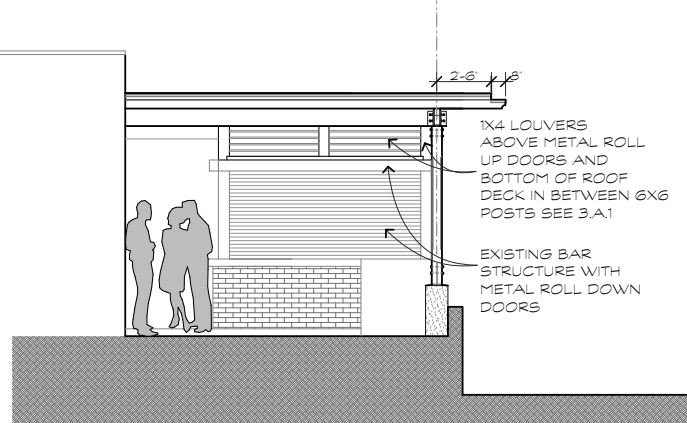
A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
 SHELTER COVE MARINA
 HILTON HEAD ISLAND, S.C.

REVISIONS

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 11/25/19
 SCALE

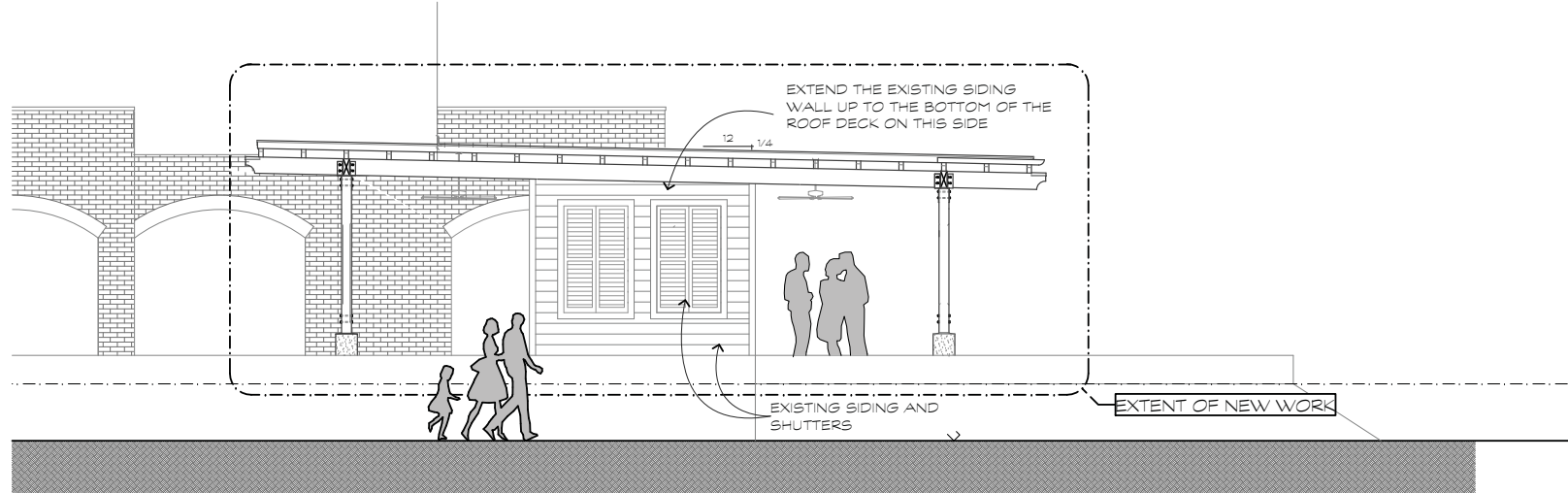
APPROVED

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced, there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG | Architects 2016 copyright C



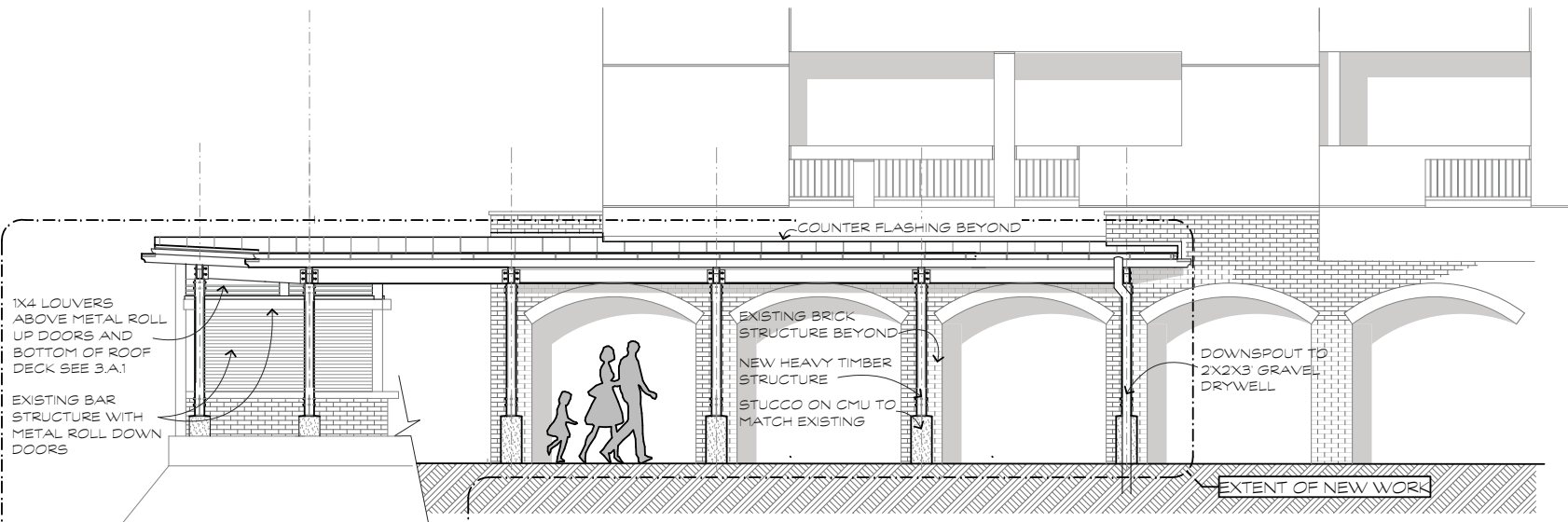
FRONT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

1
A2



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

2
A2



WATER ELEVATION
 SCALE: 1/4" = 1'-0"

3
A2

A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
 SHELTER COVE MARINA
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 11/25/19
 SCALE
 JOB NO.
 1614
 SHEET

A.2
 OF SHEETS











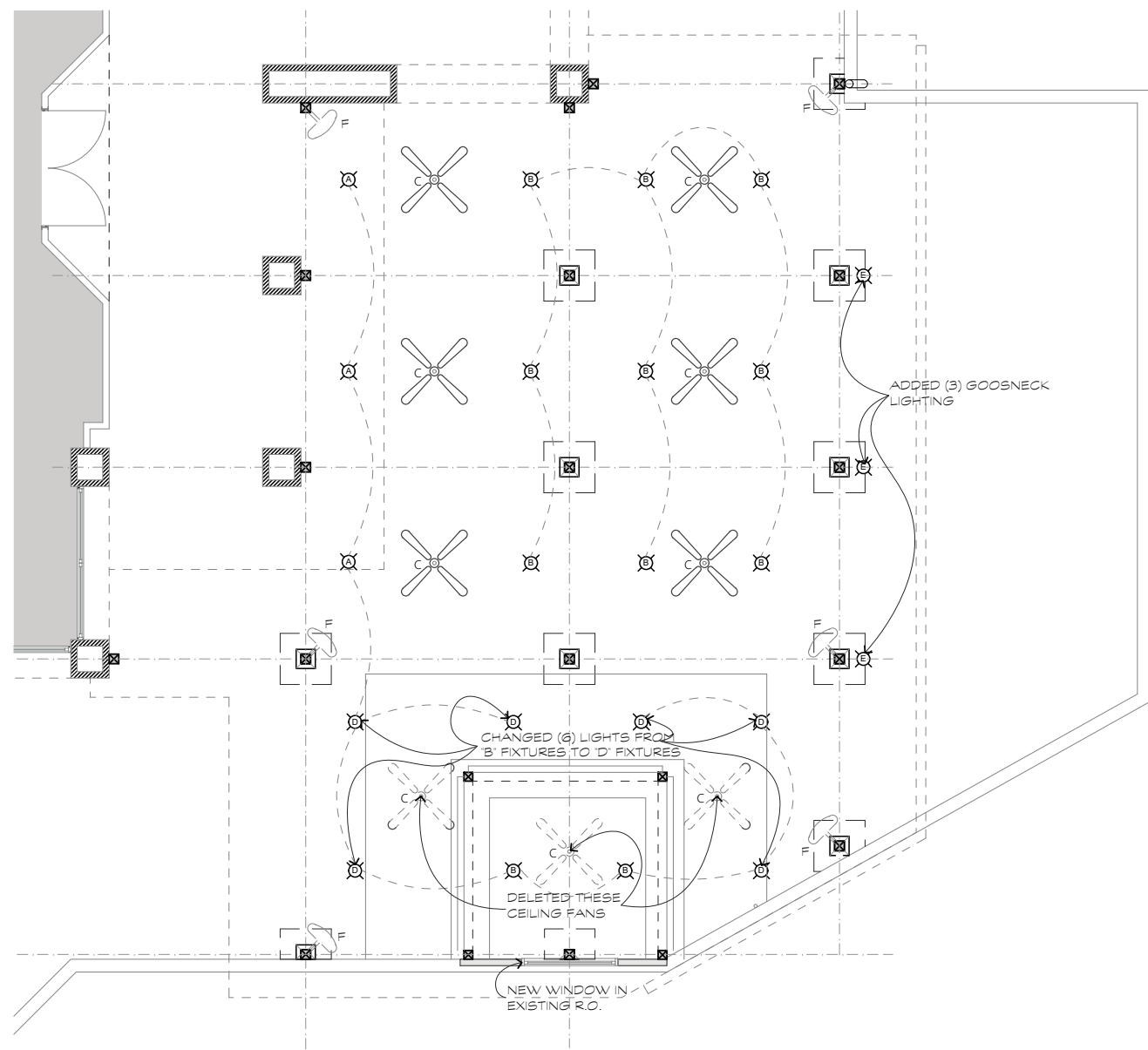








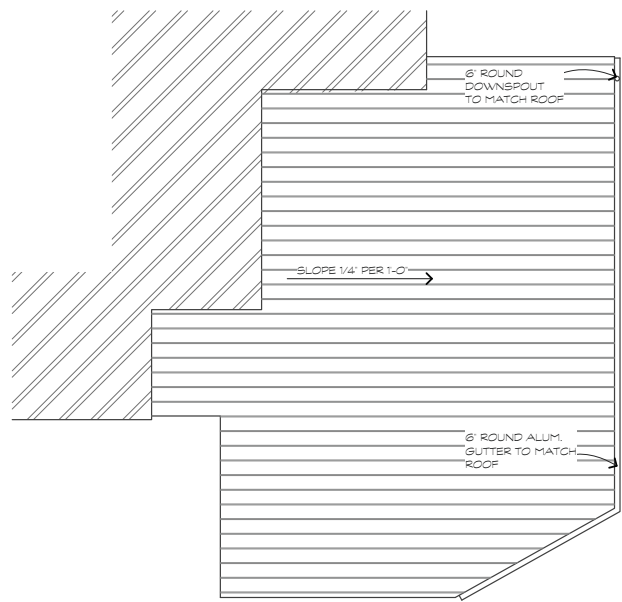




LOGGIA PLAN

SCALE: 1/4" = 1'-0"

1
A.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

2
A.1

LIGHTING FIXTURE SCHEDULE

HEATERS BY OWNERS

TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS
A	WAC	FM-W2605-BZ	SURFACE	18 WATT LED	GRAPHITE	TUBE LIGHT
B	WAC	WS-W2605-BZ	SURFACE	18 WATT LED	GRAPHITE	SIDE MOUNT
C	MINKA AIRE	FS62-9L	1 DRGF	100 WATT	SALV.	EXT FAN LIGHT
D	HILITE	H-1514-9B	HANGING	7 WATT LED	SALV.	HANGING LIGHT FIXTURE
E	HILITE	H-1514-9B	WALL MOUNT	7 WATT LED	SALV.	GOOSENECK LIGHT FIXTURE
F	HYDROMIST	F10-14-015	WALL MOUNT		BLACK	WALL MOUNT FANS

TUBE - model: FM-W2605
LED Ceiling/Wall Mount

WAC LIGHTING
"Responsible Lighting"

Model: A

TUBE - model: WS-W2605, WS-W2604
LED Wall Mount

WAC LIGHTING
"Responsible Lighting"

Model: B

minkaAire

HILITE MFG. CO. INC.

Warehouse Shade Collection

Model: D

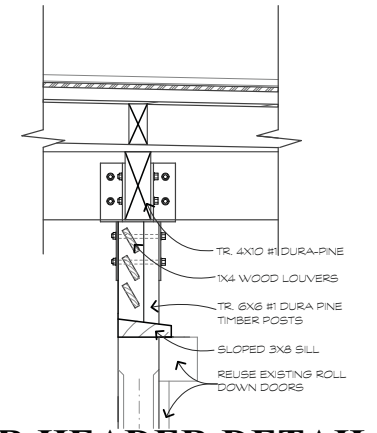
HILITE MFG. CO. INC.

Warehouse Shade Collection

Model: E

HydroMist™ 2018 Catalog

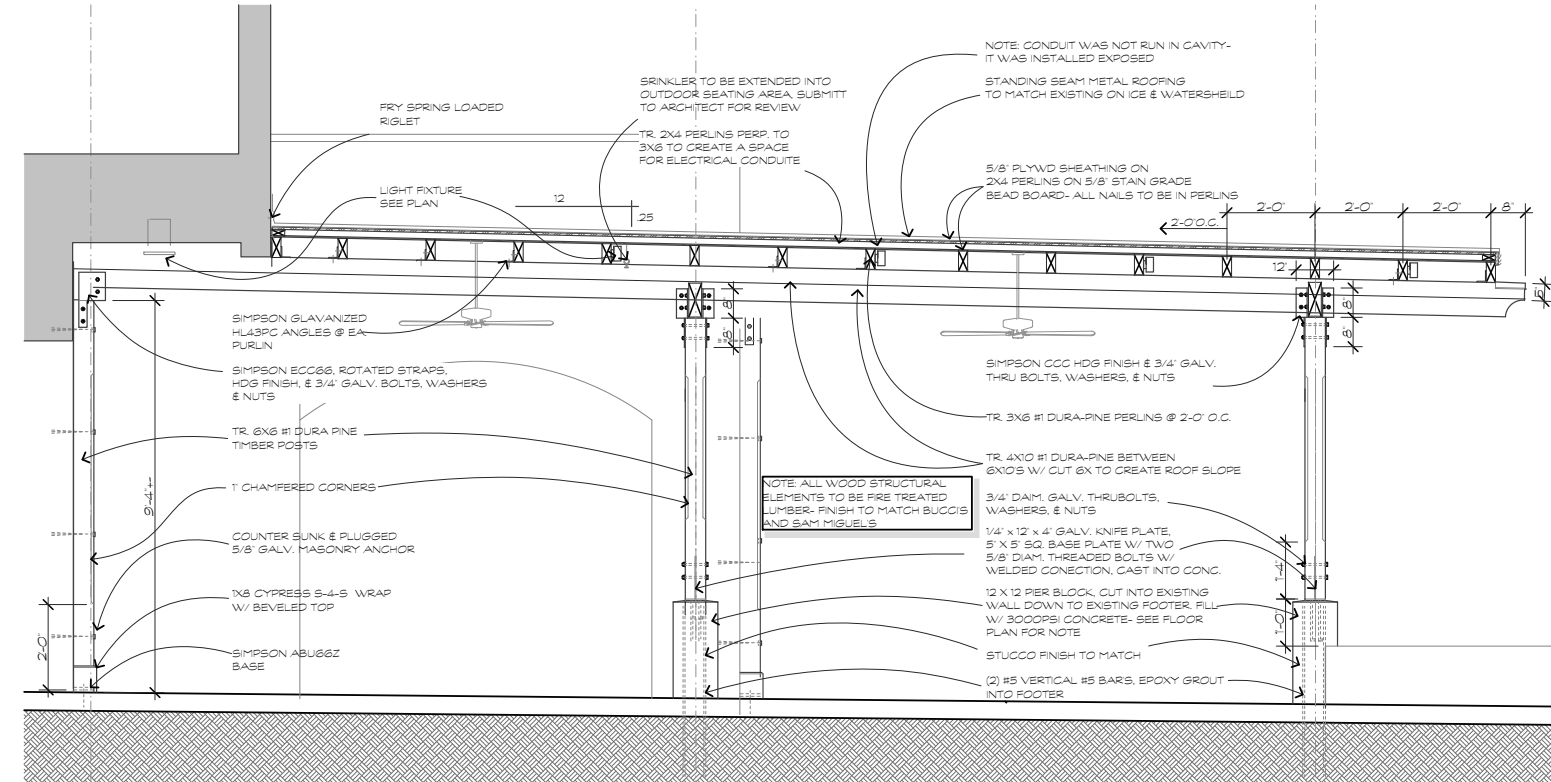
PROFESSIONAL FANS WITH ON-FAN CONTROL



BAR HEADER DETAIL

SCALE: 1" = 1'-0"

3
A.1



LOGGIA SECTION

SCALE: 1/2" = 1'-0"

4
A.1

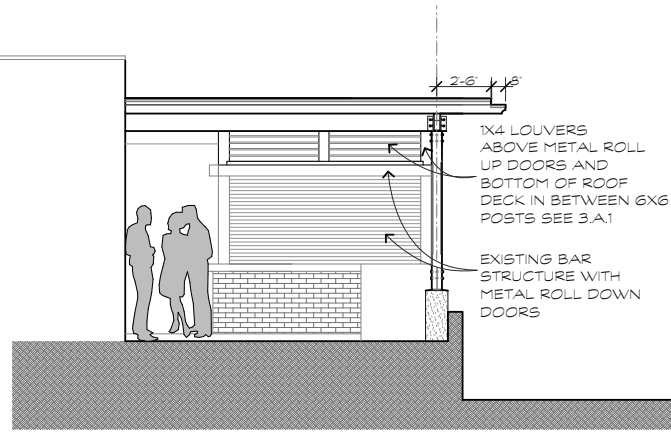
These documents & designs are the property of Parker Design Group Architects & are not to be used or reproduced in any form without the written authorization of the firm. © 2018 Parker Design Group Architects.

A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
 SHELTER COVE MARINA
 HILTON HEAD ISLAND, S.C.

REVISIONS	
1. ADDED FIXTURES D & E	4.8.20
2. CHANGED FIXTURE FINISHES TO GALV.	4.8.20
3. RAN EXPOSED CONDUIT	4.8.20
4. CHANGED SPEC ON FANS	4.8.20
5. ADDED WINDOW AT BAR IN R.O.	4.8.20
6. ADDED GOOSE NECK LIGHTS	4.8.20
7. ADDED SPEC ON WALL MOUNT FANS	4.8.20

DRAWN BY: TP
 CHECKED BY: TP
 DATE OF ISSUE: 04/08/20
 SCALE:
 JOB NO: 1614
 SHEET
A.1
 OF SHEETS

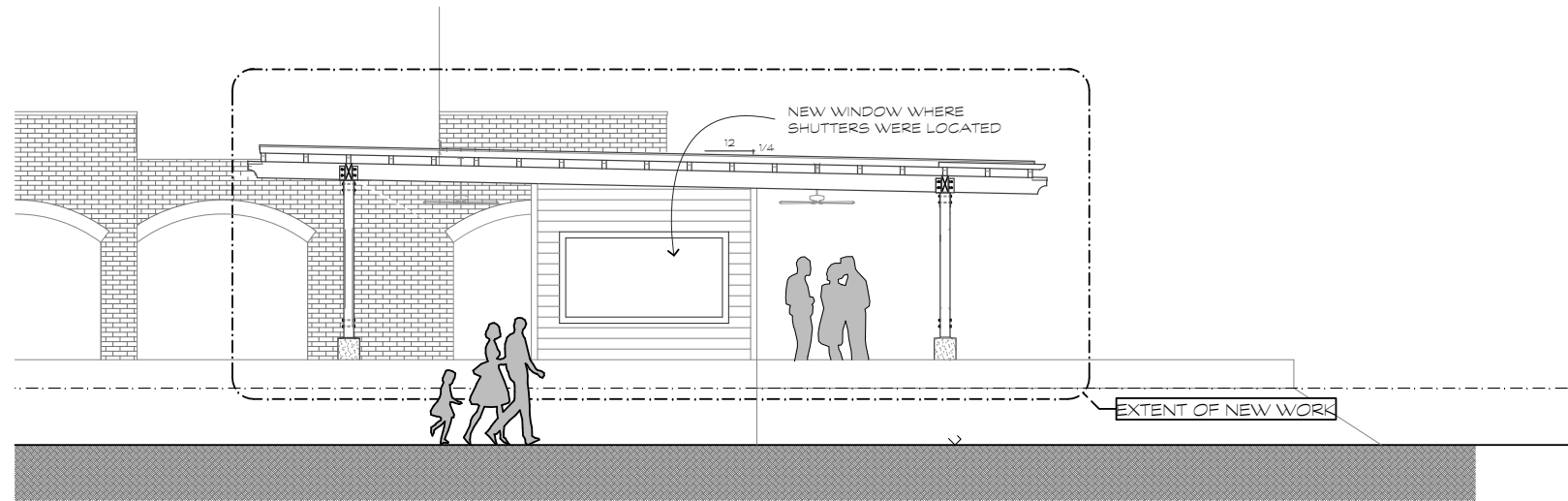
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2018 copyright. ©



FRONT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

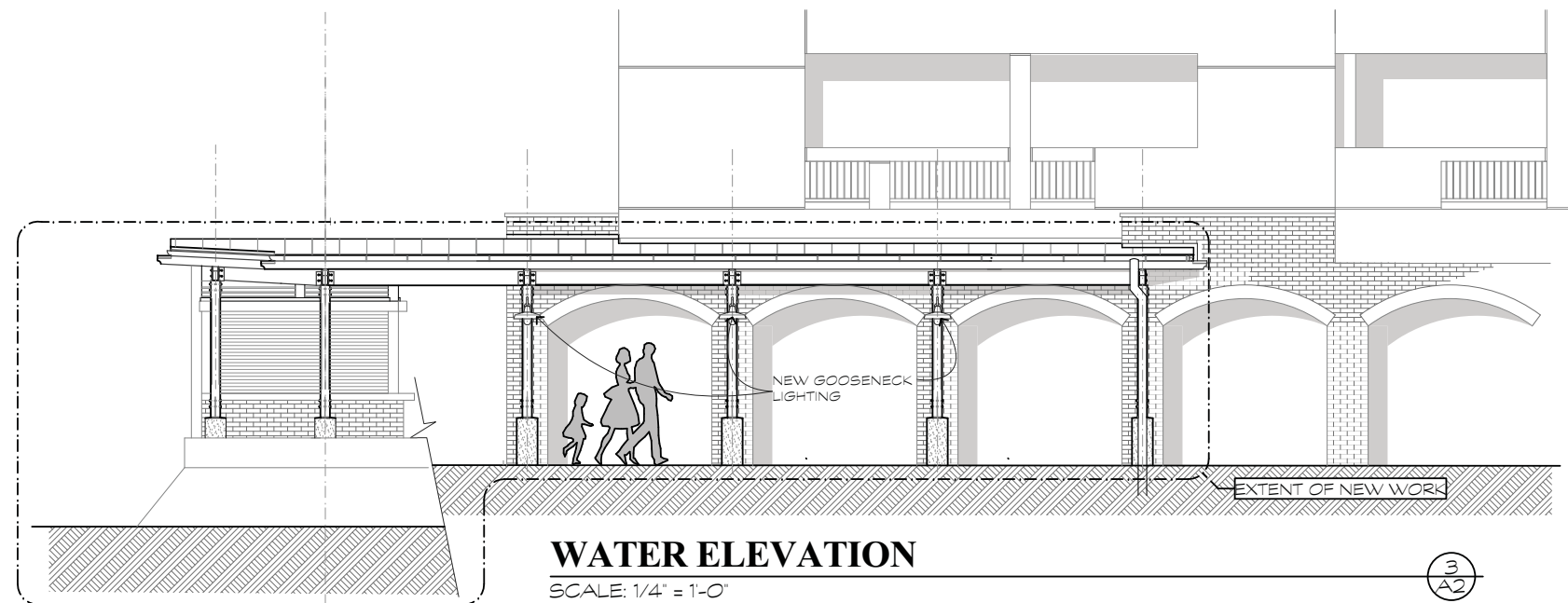
1
A2



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

2
A2



WATER ELEVATION

SCALE: 1/4" = 1'-0"

3
A2

A NEW COVERED AREA FOR:

SCOTT'S FISH MARKET

SHELTER COVE MARINA

HILTON HEAD ISLAND, S.C.

REVISIONS	
1. ADDED WINDOW AT BAR IN R.O.	4.8.20
2. ADDED GOOSE NECK LIGHTS	4.8.20

DRAWN BY
TP

CHECKED BY
TP

DATE OF ISSUE
04/08/20

SCALE

JOB NO.
1614

SHEET

A.2

OF SHEETS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Scott's Fishmarket

DRB#: DRB-000784-2020

DATE: 04/29/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. All lighting fixtures not approved by the DRB shall be removed.
2. All fans shall be replaced to meet DRB approved specifications.
3. Box fans are approved as installed.
4. Add a Bermuda shutter to the bar window. Submit color to Staff for review and approval.
5. Electrical conduits and sprinkler lines shall be concealed. Submit concept to conceal conduits and lines to Staff and one DRB member for review and approval.

MISC COMMENTS/QUESTIONS

1. No gooseneck fixtures (on columns and at sign) were approved by the DRB. This is lighting in addition to what was approved by the DRB and the string lights that are allowed by the LMO. Staff is concerned that this patio is lighted to the point that it is no longer in keeping with the Design Guide. The galvanized finish is not the best selection for Shelter Cove or put another way would the DRB have approved a fixture with this finish for Shelter Cove.
2. The DRB approved fans did not include lights and did not have a galvanized finish. Staff is concerned that this patio is lighted to the point that it is no longer in keeping with the Design Guide. This is lighting in addition to what was approved by the DRB and the finish is not the best selection for Shelter Cove.
3. The cylinder lights as approved by the DRB provide lighting with a shielded light source, in keeping with the LMO Sec. 16-5-108 C.1. "The Light source shall be completely concealed within an opaque housing...". The lights installed do not meet the LMO requirements.
4. The approved DRB plans do not include a window in the back wall of the bar area. The window seems out of place and foreign.
5. The DRB approval is specific about concealing the electrical conduit and sprinkler lines, see DRB Conditions 2 and 4 of the Oct. 15 2019 NOA.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: Parker Design Group|Architects
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29910
 Telephone: 843-785-5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: Sunset Pavilion Project Address: 397 Squire Pope Rd., HHI, SC 29926
 Parcel Number [PIN]: R 5 1 0 0 0 3 0 0 0 0 0 1 B 0 0 0 0
 Zoning District: Water-Oriented Mixed Use Overlay District(s): OCRM High Tide Line

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

5-7-2020

DATE

May 6, 2020

Chris Darnell
Urban Designer
Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island SC 29928

**re: Revisions to Sunset Pavilion @ Skull Creek Boathouse
(DPR-000286-2016 Boathouse Site Improvements)**

Chris,

I am providing the attached documentation of changes made during construction to the design of the Sunset Pavilion for DRB review and approval. In addition, I have provided a summary of the changes below:

1. In lieu of the proposed skylight, constructed a raised roof area of same size and height.
2. Omitted pole mounted sconces on front and rear of building.
3. Left poles, trusses, and louvers as natural wood finish instead of painting the proposed Black Bean (SW 6006) color.
4. Added a gutter and rain chain to the eaves immediately outside of the restroom doors. Color matches roofing.
5. Added a privacy wall adjacent to the Men's Restroom.
6. Added arm-mount TV's to the interior corners of the pavilion.
7. Installed alternative interior lighting. See attached cut-sheet for the installed chandelier.
8. Installed arm mounted fans on the beams around the pavilion in-lieu of ceiling fans. See attached fan cut-sheet.

If you need anything additional information, or if you would like to meet and discuss these changes, please let me know.

Thank you,



Joseph A. DePauw, AIA
Parker Design Group | Architects

INDUSTRIAL-GRADE MULTI MOUNT FANS

Common Usages

Smaller industrial or commercial areas such as loading docks, fitness centers, restaurants

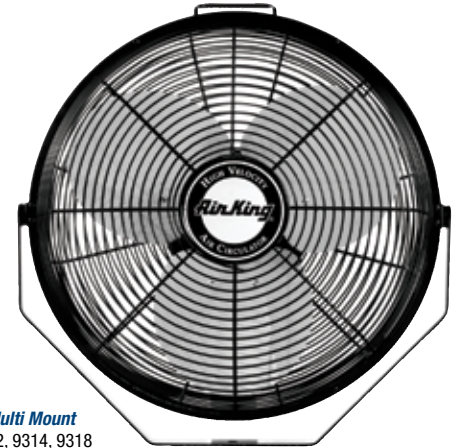
Cool employees at workstation(s)

12" - 14" for individual, 18" for multiple workstations

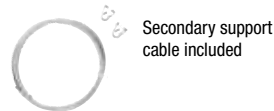


FEATURES

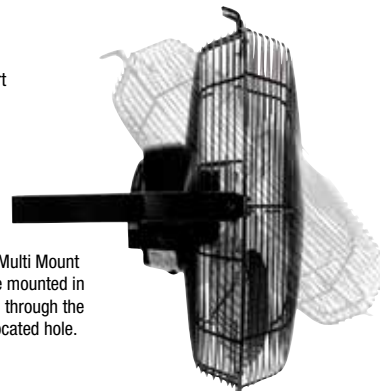
- Split capacitor motor is permanently lubricated for little to no maintenance
- Blade, Guard, and Mounts are powder coated steel
- Pivoting action allows fan to be easily directed to needed area
- Can be mounted to walls, ceilings, I-beams and more
- Multiple sizes available



Multi Mount
9312, 9314, 9318



Secondary support
cable included



Fan head pivots within Multi Mount Bracket. Bracket can be mounted in virtually any application through the predrilled 3/4" center located hole.



SPECIFICATIONS

MODEL	DESCRIPTION	HP	BLADE SIZE	CONTROLS	POWER CORD	COMPLIANCE	PRODUCT DIMENSIONS	WEIGHT (LBS.)	CUBE (FEET)	LIST PRICE
9318	18" Multi Mount Fan	1/6	18"	Pull Cord	Black, 9' S	ETL, OSHA	21.5"L x 16"W x 21"H	21.4	2.85	\$210.00
9314	14" Multi Mount Fan	1/20	14"	Pull Cord	Black, 9' S	ETL, OSHA	18"L x 8.88"W x 18.25"H	14.3	1.85	\$178.00
9312	12" Multi Mount Fan	1/25	12"	Pull Cord	Black, 9' S	ETL, OSHA	15"L x 12"W x 15"H	11.5	1.39	\$164.00

PERFORMANCE

MODEL	SPEEDS	VOLTS	PHASES	BEARINGS	CFM			RPM			AMPS			WATTS			DB A		
					HIGH	MED	LOW	HIGH	MED	LOW	HIGH	MED	LOW	HIGH	MED	LOW	HIGH	MED	LOW
9318	3	120	Single	Enclosed, Ball	3190	2970	2660	1500	1300	1100	1.52	1.30	1.00	180	150	125	67	58	49
9314	3	120	Single	Enclosed, Ball	1650	1470	1180	1498	1296	934	0.58	0.50	0.44	63	56	48	58	55	48
9312	3	120	Single	Open, Sleeve	1360	1170	1010	1545	1205	900	0.77	0.63	0.53	85	76	64	56	49	42

Tested in accordance with AMCA standard 230-99. • Specifications are subject to change.



OPEN AIR™
collection



SAWYER

29209SQ-LL

EXTRA LARGE SINGLE TIER

The fresh, rustic design of the Sawyer collection will inject any outdoor living experience with the warm, cozy ambiance of an indoor setting. Constructed with Hinkley's own anti-corrosion coating, Sawyer ensures maximum resiliency and performance in the elements.

DETAILS	
FINISH:	Sequoia
MATERIAL:	Steel
GLASS:	Clear Seedy

DIMENSIONS	
WIDTH:	46"
HEIGHT:	28.5"
WEIGHT:	32.7 lbs.

LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp Included
LED NAME:	E12LED-5
WATTAGE:	15-5w Cand. LED *Included
VOLTAGE:	120v
COLOR TEMP:	2700.0000k
LUMENS:	5250
CRI:	80
INCANDESCENT EQUIVALENCY:	15-40w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.

MOUNTING	
CANOPY:	5.25" Dia.
LEAD WIRE:	144"

SHIPPING	
CARTON LENGTH:	49"
CARTON WIDTH:	49"
CARTON HEIGHT:	9.1"
CARTON WEIGHT:	46.8 lbs.

PRODUCT DETAILS:

- This chain or cable hung fixture may be installed on any sloped ceiling.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2 year finish warranty
- LED Lamps carry a 3-year limited warranty
- The stylish Open Air collection includes outdoor-rated chandeliers, pendants and sconces that provide design-conscious solutions to a variety of exterior environments.
- Rustic elements with bold, refined details complement a variety of facades from farmhouse to contemporary architecture
- Rich rustic finish with a warm artisanal appearance



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Sunset Pavilion **PROJECT #:** DRB-000731-2019
PROJECT ADDRESS: 397 Squire Pope Road
CATEGORY: Alteration/Addition
ACTION DATE: April 9, 2019 **NOTICE DATE:** April 15, 2019
APPLICANT/AGENT: Joe DePauw, Parker Design Group Architects
PO Box 5010
Hilton Head Island, SC 29910
Email: joe@pdg-architects.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. To field locate the Muhly Grass and the Saw Palmettos away from the base of the trees and to avoid tree roots.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer

APPROVED

parkdesigngroup architects
 14785 STATE STREET, GREENSBORO, NC 27409
pdg
 ARCHITECTS

All drawings & designs are the property of Parker Design Group | Architects & are not to be used, reproduced, stored, or otherwise transmitted in any form or by any means, including electronic, mechanical, photocopying, recording, or otherwise, without the written authorization from the signatory owner. Copyright © 2018 PDG/Architects.

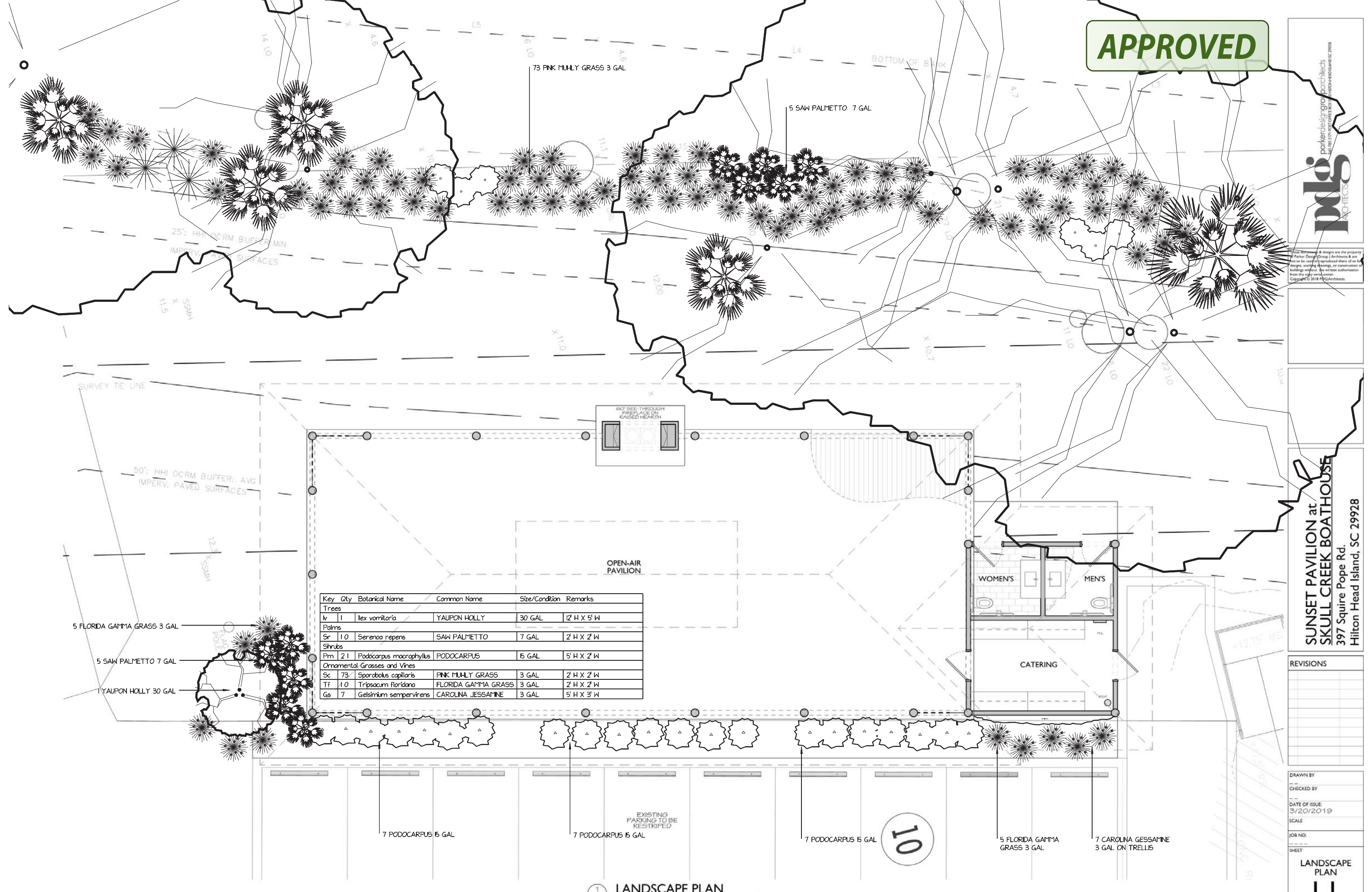
SUNSET PAVILION at SKULL CREEK BOATHOUSE
 397 Squire Pope Rd.
 Hilton Head Island, SC 29928

REVISIONS

NO.	DESCRIPTION

DRAWN BY
 CHECKED BY
 DATE OF ISSUE
 3/20/2019
 SCALE
 JOB NO.
 SHEET

LANDSCAPE PLAN



Key	Qty	Botanical Name	Common Name	Size/Condition	Remarks
Trees					
Tv	1	Ilex vomitoria	YAUPON HOLLY	30 GAL	12' H X 5' W
Palms					
Sr	10	Serenoa repens	SAW PALMETTO	7 GAL	2' H X 2' W
Shrubs					
Pm	21	Podocarpus macrophyllus	PODOCARPUS	15 GAL	5' H X 2' W
Ornamental Grasses and Vines					
Sc	73	Sporobolus capillaris	PINK MUHLY GRASS	3 GAL	2' H X 2' W
Tf	10	Tripsacum floridana	FLORIDA GAMMA GRASS	3 GAL	2' H X 2' W
Gs	7	Gelsimium sempervirens	CAROLINA JESSAMINE	3 GAL	5' H X 3' W

5 FLORIDA GAMMA GRASS 3 GAL
 5 SAW PALMETTO 7 GAL
 1 YAUPON HOLLY 30 GAL

7 PODOCARPUS 15 GAL

7 PODOCARPUS 15 GAL

7 PODOCARPUS 15 GAL

5 FLORIDA GAMMA GRASS 3 GAL

7 CAROLINA JESSAMINE 3 GAL ON TRELLIS

APPROVED



These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for design, working drawings, or construction of buildings without the written authorization from the copy write owner.
Copyright © 2018 PDGArchitects

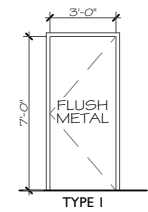
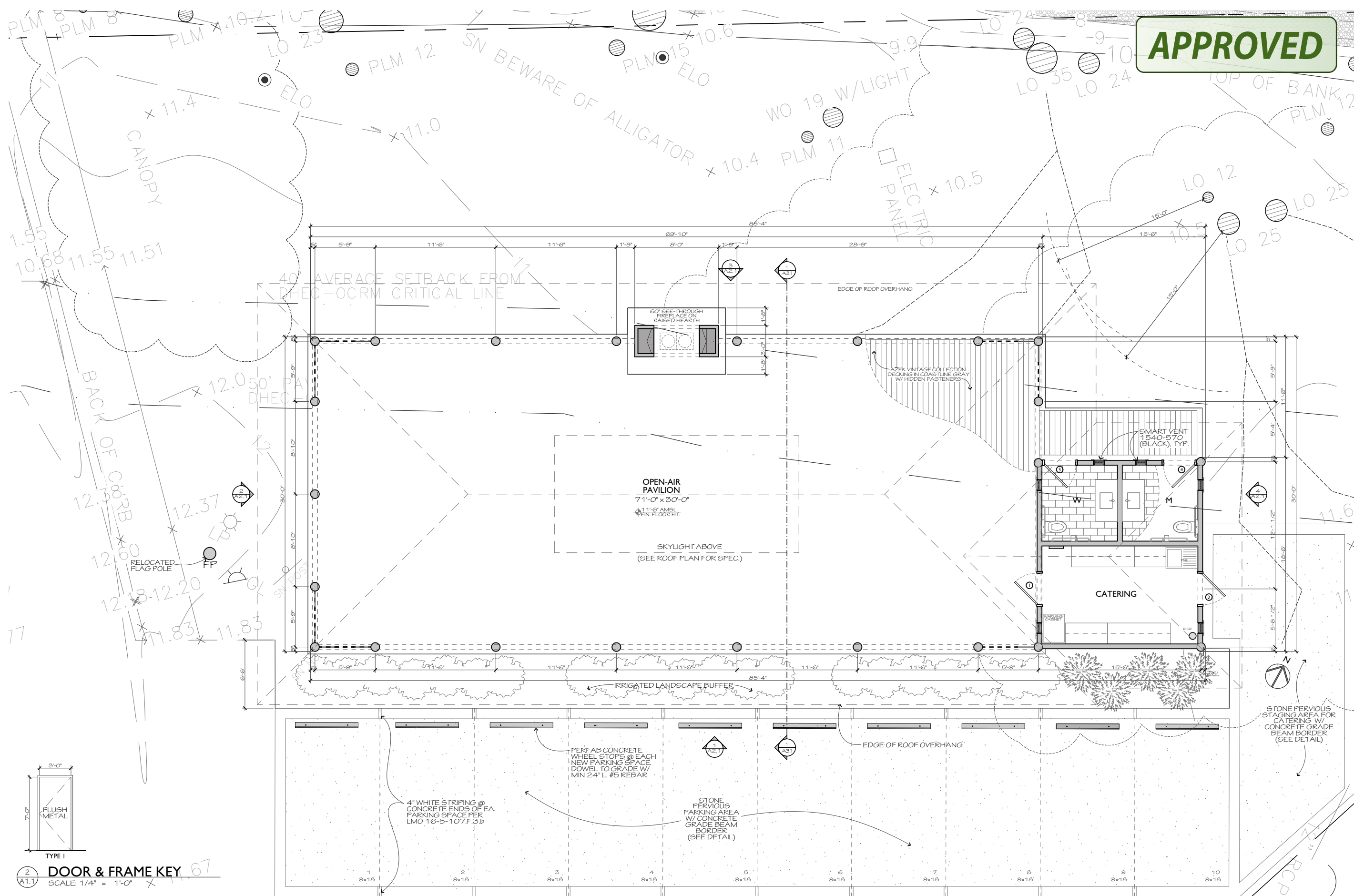
SUNSET PAVILION at SKULL CREEK BOATHOUSE
397 Squire Pope Rd.
Hilton Head Island, SC 29928

REVISIONS

NO.	DESCRIPTION

DRAWN BY
JD
CHECKED BY
JD
DATE OF ISSUE
4/2/2019
SCALE
AS SHOWN
JOB NO.
1906
SHEET

FLOOR PLAN
A1.1



DOOR & FRAME KEY
SCALE: 1/4" = 1'-0"

DOOR & FRAME SCHEDULE

MARK	DESCRIPTION	DOOR SIZE			MATERIAL FINISH	HARDWARE	FRAME		REMARKS
		W	H	T			MATERIAL	FIRE RATING	
1	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	1	METAL	N/A	
2	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	1	METAL	N/A	
3	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	2	METAL	N/A	
4	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	2	METAL	N/A	

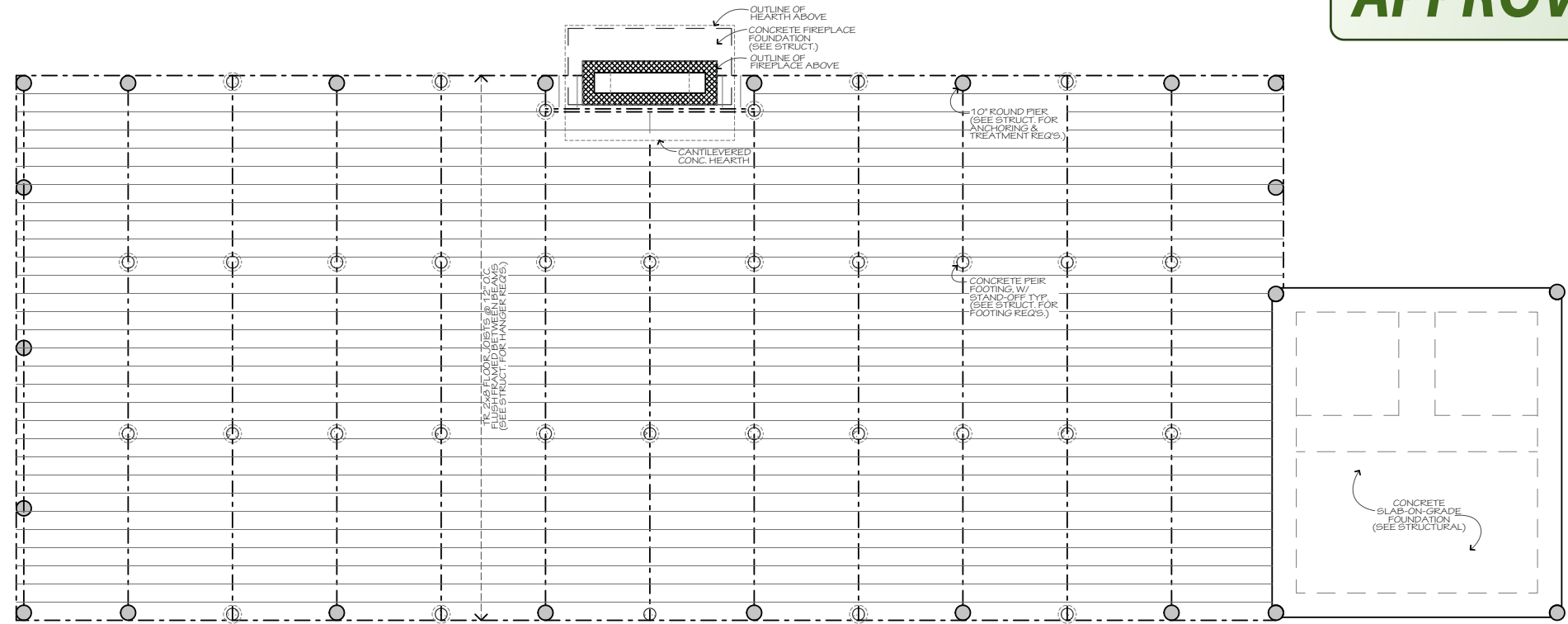
NOTES:
1. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & GLAZING CHART ON SHEET S1.0.

HARDWARE SCHEDULE
NOTES: ALL FINISHES TO BE 613

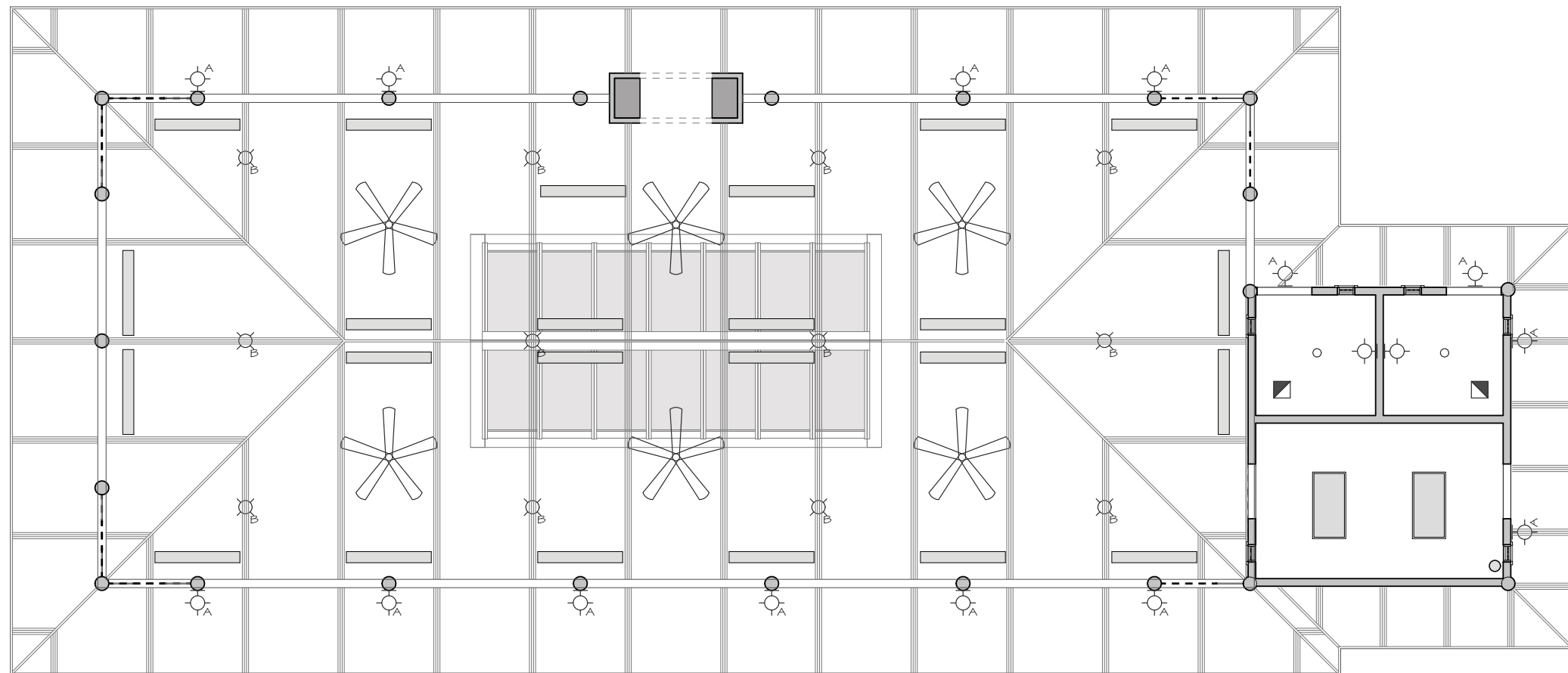
MARK	TYPE	MFG. NAME	MFG. NUMBER	REMARKS
1	BATHROOM LOCK	SCHLAGE	AL40PD	
2	ENTRANCE/OFFICE LOCK	SCHLAGE	AL50PD	

1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

APPROVED



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

SYMBOL KEY

- SURFACE MOUNTED LIGHT FIXTURE
- WALL SCONCE
- PENDANT
- CAN LIGHT
- 24"x24" LED LIGHT FIXTURE
- 24"x48" LED LIGHT FIXTURE
- 24"x24" SUPPLY DIFFUSER
- 24"x24" RETURN AIR GRILLE
- 12"x12" SUPPLY DIFFUSER
- 12"x12" EXHAUST GRILLE
- CEILING FAN
- 60" ELECTRIC BAR HEATER

EXTERIOR LIGHTING SCHEDULE

MARK	MANUF.	CATALOGUE NUMBER	LAMP	MNTG	COLOR	REMARKS
A	BARN LIGHT	BLE-G-CGGFS-975-G4-975-TGG-RIB-DD-E29	LED, 800 LM (3000K)	WALL	GALV.	
B	BARN LIGHT	BLE-C-ULA16-975-SBK-975-SBK-NA-975-RIB-NA-LED16-B-3000K	LED	PENDANT	GALV.	

parkdesigngrouparchitects
447.765.5717 POST OFFICE BOX 600 HILTON HEAD ISLAND, SC 29928
pdg ARCHITECTS

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for design, working drawings, or construction of buildings without the written authorization from the copy write owner. Copyright © 2018 PDGArchitects.

SUNSET PAVILION at SKULL CREEK BOATHOUSE
397 Squire Pope Rd.
Hilton Head Island, SC 29928

REVISIONS

NO.	DESCRIPTION

DRAWN BY JD
CHECKED BY JD
DATE OF ISSUE: 4/2/2019
SCALE AS SHOWN
JOB NO. 1906
SHEET FOUNDATION & REFLECTED CEILING PLANS
A1.2

APPROVED



2 TREE BRANCH REMOVAL
SCALE: 1:2.08



1 ROOF PLAN
SCALE: 3/16" = 1'-0"

CANOPY CALCULATIONS	
LIVE OAK CLUSTER	AREA
12-25-25 CANOPY	2,790 SQ.FT.
ALLOWABLE COVERAGE (20%)	558 SQ.FT.
PAVILION COVERAGE	494 SQ.FT.
LIVE OAK CLUSTER	AREA
24-35-24 CANOPY	3,214 SQ.FT.
ALLOWABLE COVERAGE (20%)	643 SQ.FT.
PAVILION COVERAGE	552 SQ.FT.



These documents & designs are the property of Parker Design Group Architects & are not to be used or reproduced there of or for design, working drawings, or construction of buildings without the written authorization from the copy write owner.
Copyright © 2018 PDGArchitects.

SUNSET PAVILION at SKULL CREEK BOATHOUSE
397 Squire Pope Rd.
Hilton Head Island, SC 29928

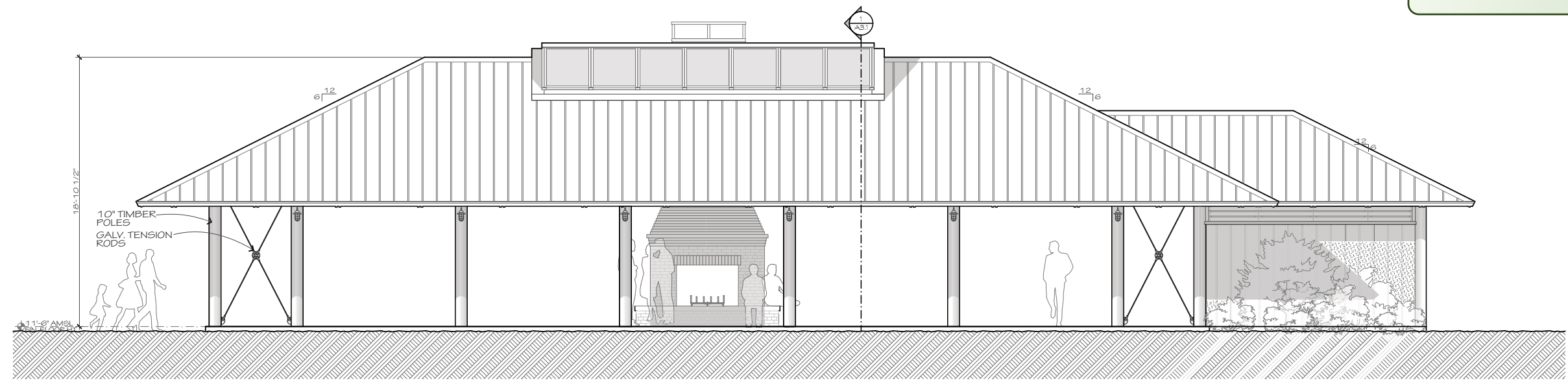
REVISIONS	

DRAWN BY
JD
CHECKED BY
JD
DATE OF ISSUE
4/2/2019
SCALE
AS SHOWN
JOB NO.
1906
SHEET

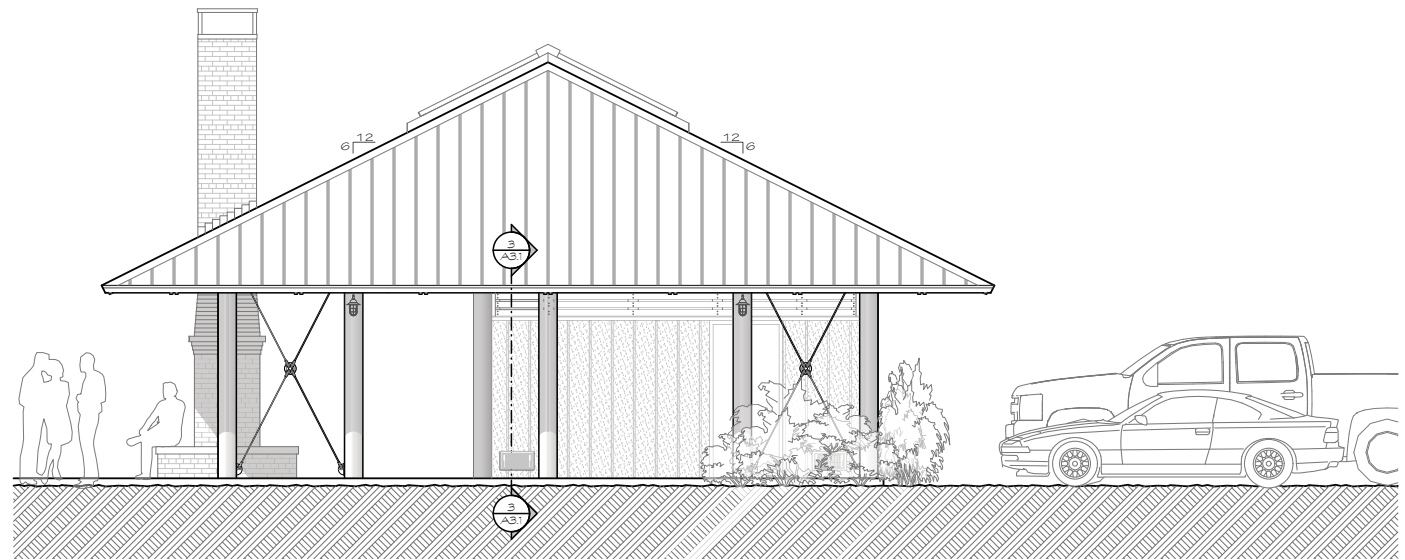
ROOF & TREE CANOPY PLAN
A1.3

APPROVED

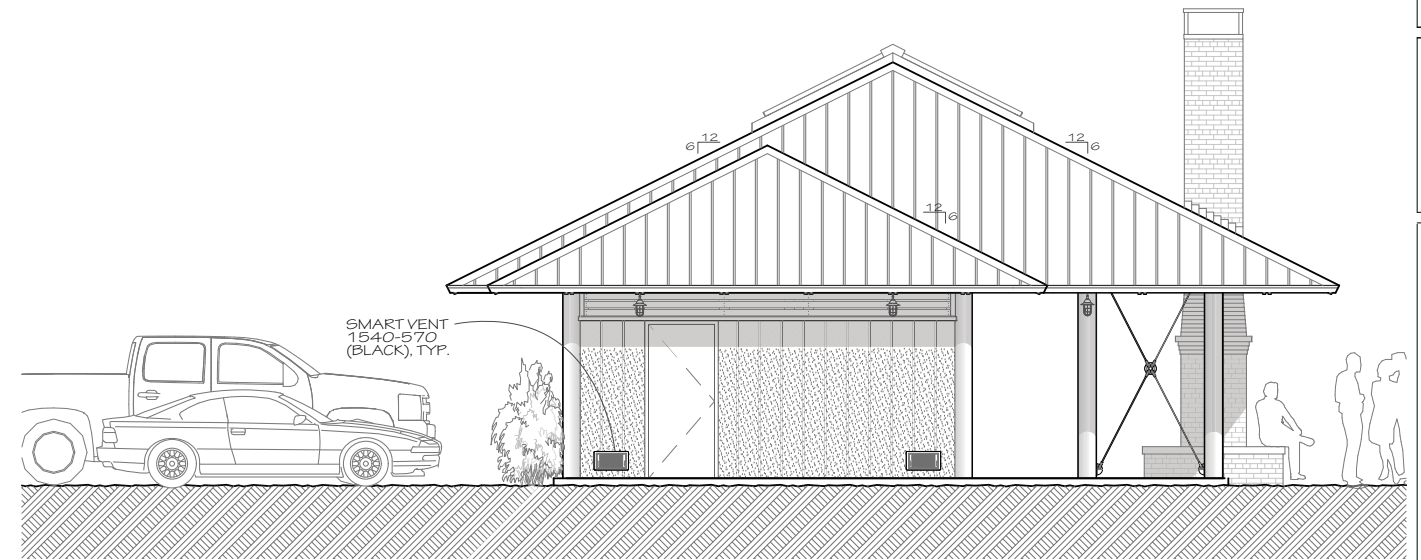
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for design, working drawings, or construction of buildings without the written authorization from the copy write owner.
Copyright © 2018 PDGArchitects.



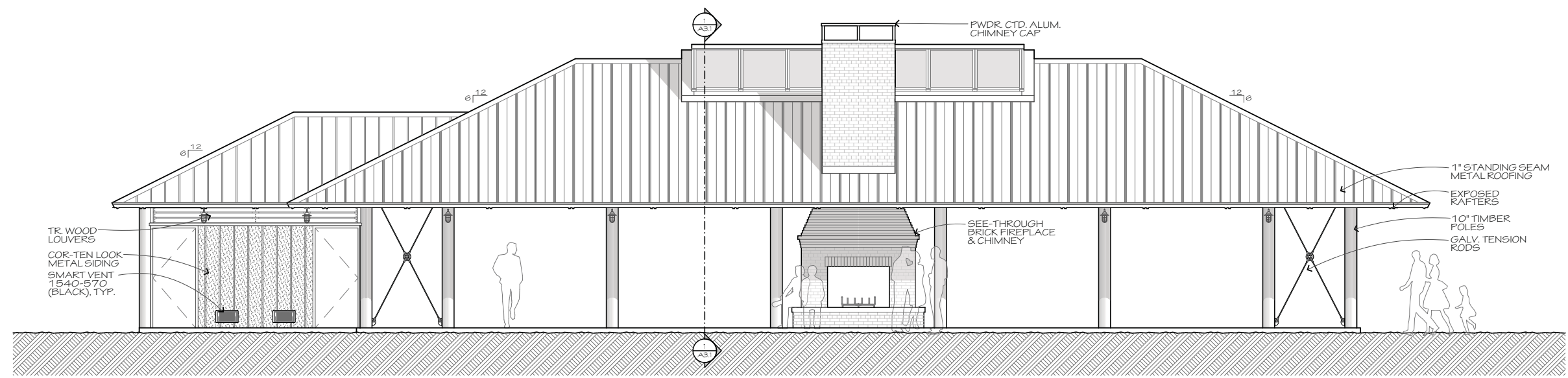
1 FRONT (PARKING LOT) ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 LEFT (RESTAURANT) ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



3 REAR (WATER) ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

**SUNSET PAVILION at
SKULL CREEK BOATHOUSE**
397 Squire Pope Rd.
Hilton Head Island, SC 29928

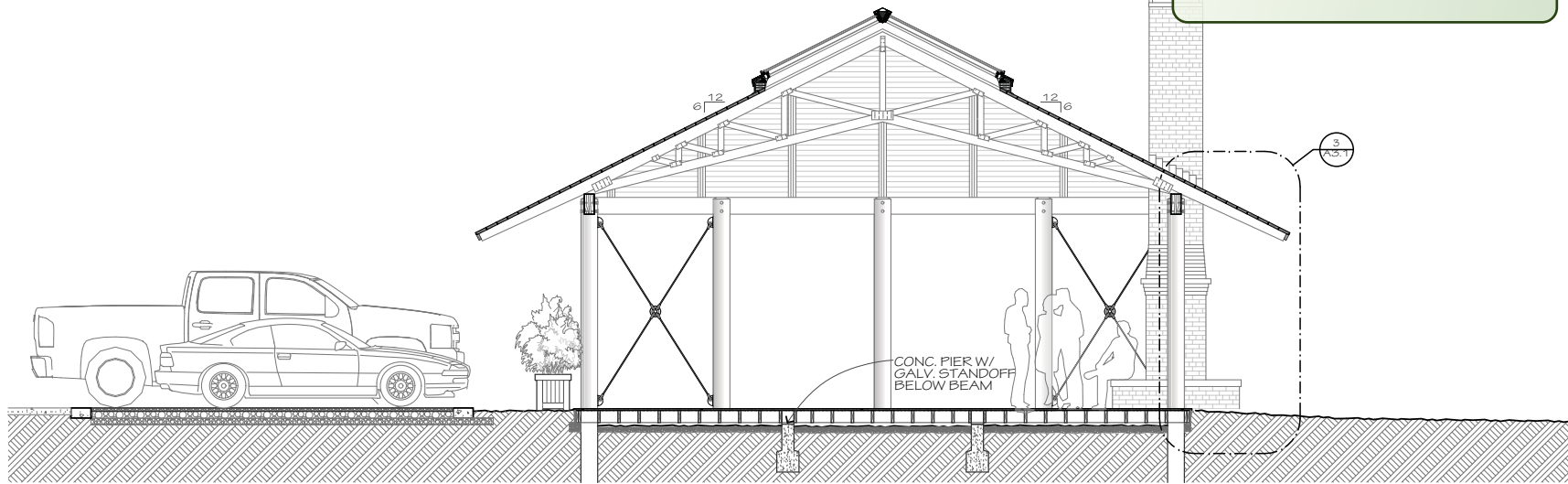
REVISIONS

NO.	DESCRIPTION

DRAWN BY
JD
CHECKED BY
JD
DATE OF ISSUE
4/2/2019
SCALE
AS SHOWN
JOB NO.
1906
SHEET

ELEVATIONS
A2.1

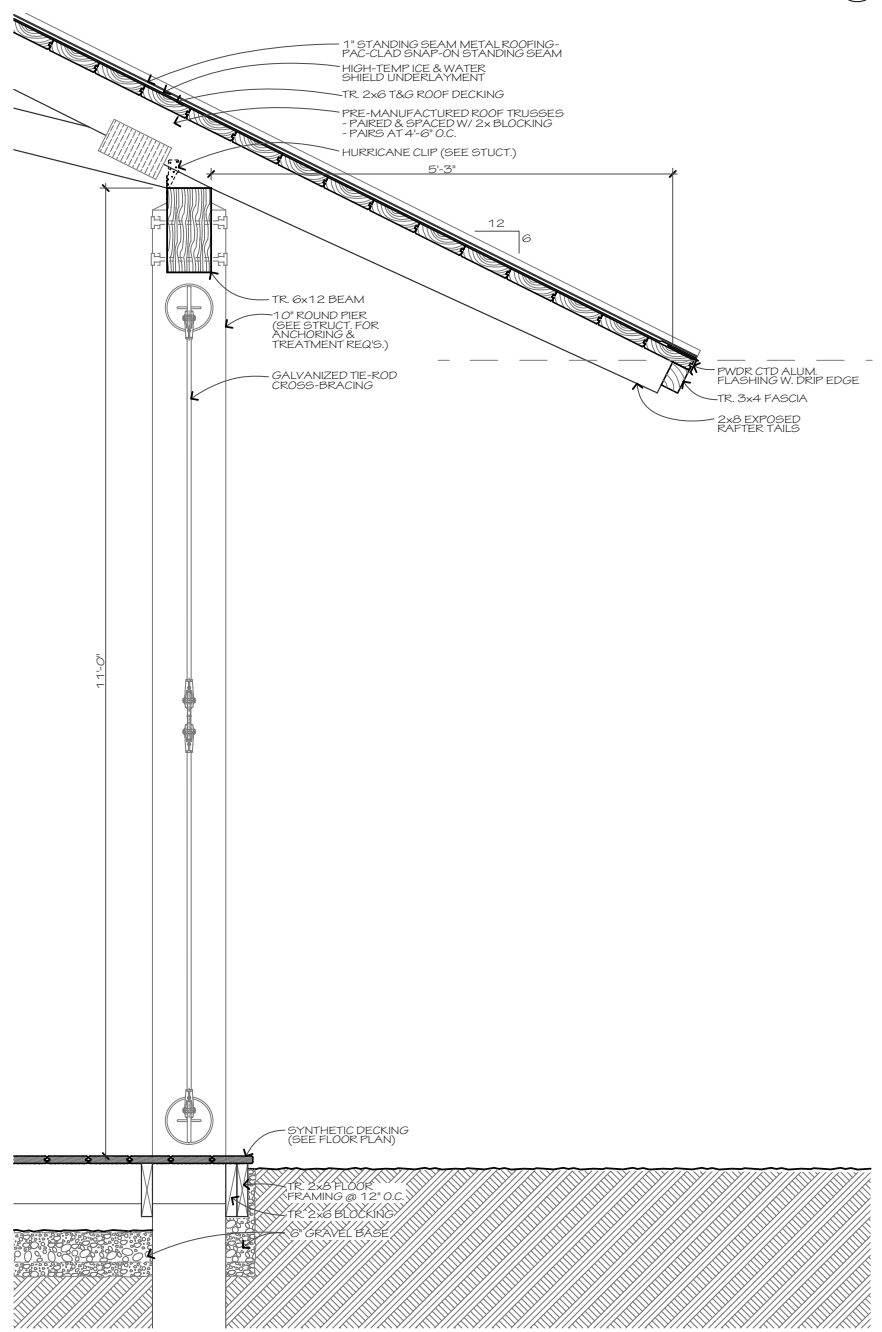
APPROVED



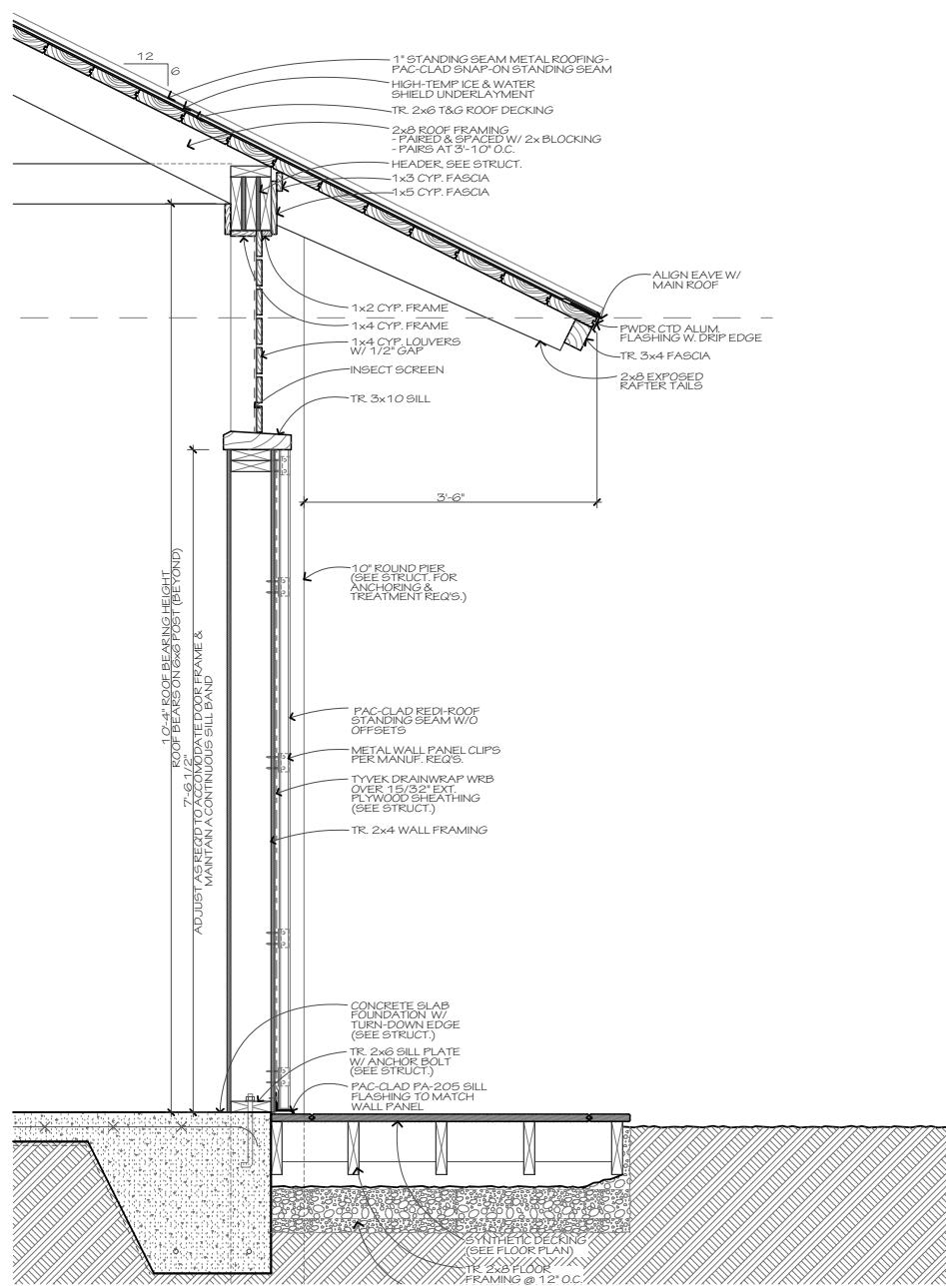
1 PAVILION SECTION
SCALE: 1/4" = 1'-0"

pdg ARCHITECTS
parkerdesigngrouparchitects
607.785.5711 POST OFFICE BOX 2001 HILTON HEAD ISLAND, SC 29928

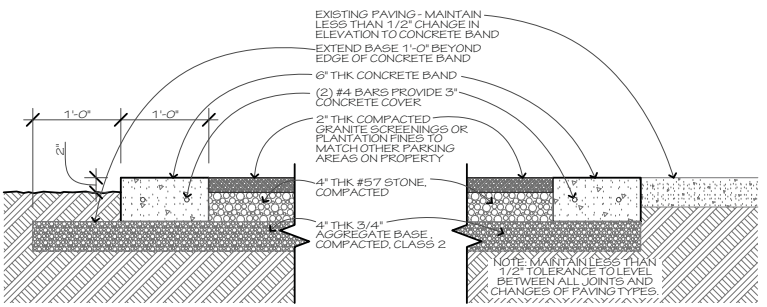
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for design, working drawings, or construction of buildings without the written authorization from the copy write owner.
Copyright © 2018 PDG Architects.



3 PAVILION DETAIL
SCALE: 1" = 1'-0"



2 WALL DETAIL
SCALE: 1" = 1'-0"



4 PERVIOUS PARKING DETAIL
SCALE: 1" = 1'-0"

SUNSET PAVILION at SKULL CREEK BOATHOUSE
397 Squire Pope Rd.
Hilton Head Island, SC 29928

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY
JD
CHECKED BY
JD
DATE OF ISSUE
4/2/2019
SCALE
AS SHOWN
JOB NO.
1906
SHEET

SECTIONS & DETAILS
A3.1



ROOF OVER SKYLIGHT

POLE-MOUNTED SCONCES NOT PROVIDED

POLES, TRUSSES & LOUVERS - FINISH REMAINS NATURAL



ROOF OVER SKYLIGHT

POLES, TRUSSES & LOUVERS - FINISH REMAINS NATURAL

POLE-MOUNTED SCONCES NOT PROVIDED



GUTTER & RAIN
CHAIN ADDED

(MOVABLE
STORAGE
FURNITURE)

PRIVACY WALL
ADDED



ARM MOUNT TV'S
LOCATED IN
CORNERS

ALTERNATIVE
CHANDELIER
SPECIFICATION
(SEE CUT-SHEET)

BEAM MOUNTED
FANS PROVIDED
(IN LIEU OF
CEILING FANS)

POLES, TRUSSES,
& LOUVERS -
FINISH REMAINS
NATURAL



ARM MOUNT TV'S
LOCATED IN
CORNERS

ALTERNATIVE
CHANDELIER
SPECIFICATION
(SEE CUT-SHEET)

POLES, TRUSSES,
& LOUVERS -
FINISH REMAINS
NATURAL

BEAM MOUNTED
FANS PROVIDED
(IN LIEU OF
CEILING FANS)



ARM MOUNT TV'S
LOCATED IN
CORNERS



POLES, TRUSSES,
& LOUVERS -
FINISH REMAINS
NATURAL

ALTERNATIVE
CHANDELIER
SPECIFICATION
(SEE CUT-SHEET)

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sunset Pavilion Revisions

DRB#: DRB-000959-2020

DATE: 05/14/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Applicant shall make suggestions to change, rework and or otherwise obscure the galvalume conduit and sprinkler system for review by staff and one DRB member.
2. Poles, trusses and louvers shall be finished per DRB approved plans.
3. Storage furniture shall be finished to match the structure.

MISC COMMENTS/QUESTIONS

1. Staff is concerned that the contractor and owner, made changes to the structure that affect the aesthetics, disregarding the DRB approval.
2. There appears to be little to no finesse of the galvalume conduit (electrical and sprinkler) to obscure them in the structure. These are



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Thomas Mathewes Company: Parker's
 Mailing Address: 17 W McDonough St. City: Savannah State: GA Zip: 31401
 Telephone: 843-224-4742 Fax: _____ E-mail: tmathewes@parkersav.com
 Project Name: Parker's Kitchen Project Address: 430 William K Hilton Pkwy
 Parcel Number [PIN]: R 511 008 000 0248 0000
 Zoning District: Community Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Thomas Mathewes

Digitally signed by Thomas Mathewes
DN: C=US, E=tmathewes@parkersav.com,
CN=Thomas Mathewes
Date: 2020.03.10 15:01:50-04'00'

3-10-2020

SIGNATURE

DATE



DRB Narrative

Parker's Kitchen

430 Wm. Hilton Parkway (Bus. US Highway 278), Hilton Head Island, SC 29926

Parker's Kitchen, a gas station / convenience store is looking to develop their latest site at the vacant southwest corner of Mathews Drive and William Hilton Parkway in the Sea Turtle Marketplace commercial development. The 1.47-acre building pad ready site is an ideal location for the use with access from both Business US 278 and Mathews Drive, connections to local residential neighborhoods via island-wide bike path system, and underground stormwater utilities in-place.

The 1.47-acre parcel exists within the previously constructed Sea Turtle Marketplace infrastructure. A rough graded building pad area, installed perimeter vertical curb, and in-place stormwater facilities will all be utilized in the development of the site. The existing newly planted buffer and old growth overstory trees will be retained and supplemented to meet LMO standards along the 50' arterial buffer on US 278 and 30' minor arterial buffer on Mathews Drive. Two curb cuts, which connect to the Sea Turtle Marketplace roadway network, will be improved upon to service the site and provide safe access to and from both major roadways. A wide pedestrian / bike path run adjacent to the rear (southern) and western portions of the parcel, allowing for access from the site to the island-wide pathway network running along both Mathews Drive and William Hilton Parkway.

The design intent of the Parker's Kitchen site is to provide a high-quality aesthetic in an easily accessible convenience store experience to island residents, workers and visitors. The store facade and pump canopy will blend with the surrounding retail development with the use of brick and tabby facades, and metal roof detailing. The double-frontage 4,950 SF building is accessible from both sides; addressing those accessing from the gas pump canopy side of US 278, while also welcoming guests from the Sea Turtle internal circulation route and island-wide bike pathway off of Mathews Drive. The building has a conventional convenience store offering and layout, as well as a small kitchen for to-go items, thus requiring additional parking above the typical gas store model. This additional parking is being provided with pervious paving that will match the pavers provided elsewhere in Sea Turtle Marketplace. Native and naturalized low-water use plantings will highlight the buffer area, parking islands, and building foundation, while evergreen screening will shield service areas from internal and external view.

Parker's Kitchen will add to the high-quality aesthetic that the island has expounded for numerous years, while providing a viable, integral use to the Sea Turtle Marketplace and Mathews Drive area. The emphasis of historical regional building materials, nature blending colors, and native plantings will meld the site with the surrounding commercial uses and encourage the continuation of reinvestment in the island's built environment.

Sincerely,
Judd Carstens, RLA

A handwritten signature in black ink, appearing to read "Judd", is positioned below the typed name.

Attachment

23 Promenade St. Ste 201
Bluffton, SC 29910
Tel: 843.757.7411

ARCHITECTURAL ELEMENTS AT SEA TURTLE MARKET PLACE



ARCHITECTURAL STYLES



WASTE RECEPTACLE ENCLOSURE



LIGHTING



EV CHARGING STATION



PAVING MATERIALS



PROJECT SITE PHOTOS



NORTHWEST CORNER OF PROPERTY



NORTHEAST CORNER OF PROPERTY



SOUTHWEST CORNER OF PROPERTY



SOUTHEAST CORNER OF PROPERTY

Wittmer Jones-Keefe
 Ltd.
 landscape architecture
 land planning
 www.wjkltd.com
 88 Promenade Street, Suite 201 | Bluffton, South Carolina | 29910 | ph 843.767.2411

© 2018 WJK LTD.
 DESIGN CONCEPTS, DRAWING SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
PARKERS KITCHEN
 SEA TURTLE MARKET PLACE
 430 WILLIAM HILTON PARKWAY
 HILTON HEAD, SOUTH CAROLINA

DATE: MAR. 10, 2020
 PROJECT NO.: 15051.29
 DRAWN BY: CB
 CHECKED BY: DK/JC

REVISIONS:

DRAWING TITLE
CONTEXTUAL PHOTOGRAPHS

DRAWING NUMBER

L2




WISSMACH ARCHITECTS
 121 OAKDENE ROAD
 POOLER, GEORGIA 31322
 P 912.695.3111
 WWW.WISSMACHARCHITECTS.COM

All rights reserved. No part of these drawings may be reproduced, distributed, or transmitted in any form or by any means, including photocopying, recording, or other electronic or mechanical methods, without the prior written permission of Wissmach Architects.

PARKERS STORES
 DRAYTON-PARKERS, LLC
 17 WEST MCDONOUGH STREET
 SAVANNAH, GEORGIA 31401



PARKER'S KITCHEN
 SEA TURTLE MARKETPLACE
 HILTON HEAD, SC

ELEVATIONS

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
 SCALE AS INDICATED
 DATE 04-27-20
 PROJECT NO. 20007.00

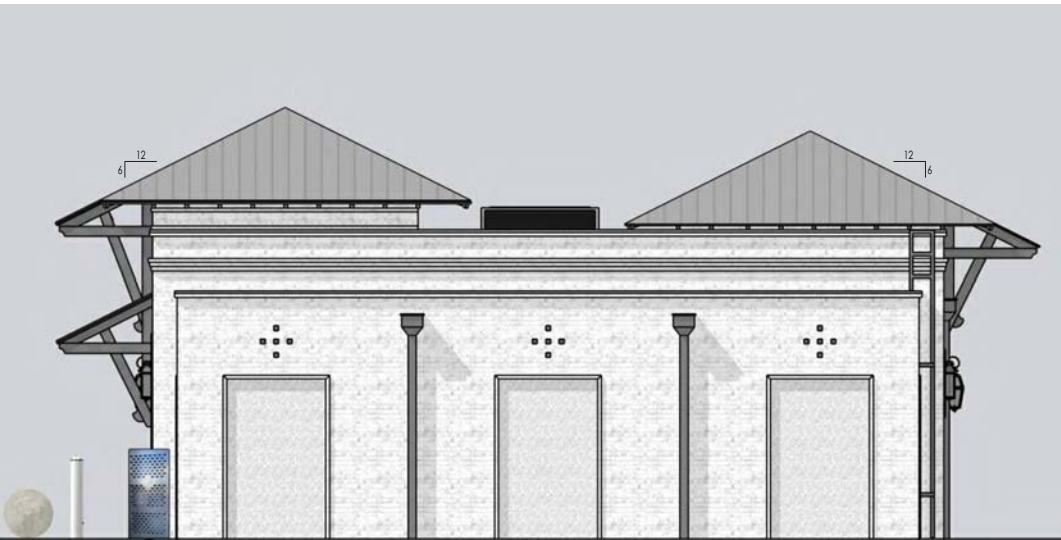
A201

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

P
N
M
L
K
J
H
G
F
E
D
C
B
A



N.T.S.
PERSPECTIVE AT CANOPY



3/16" = 1'-0"
RIGHT ELEVATION



3/16" = 1'-0"
LEFT ELEVATION

WISSMACH ARCHITECTS
 121 OAKDENE ROAD
 POOLER, GEORGIA 31322
 P 912.695.3111
 WWW.WISSMACHARCHITECTS.COM

All rights reserved. No part of these drawings may be reproduced, distributed, or transmitted in any form or by any means, including photocopying, recording, or other electronic or mechanical methods, without the prior written permission of Wissmach Architects.

PARKERS STORES
 DRAYTON-PARKERS, LLC
 17 WEST MCDONOUGH STREET
 SAVANNAH, GEORGIA 31401



PARKER'S KITCHEN
 SEA TURTLE MARKETPLACE
 HILTON HEAD, SC

ELEVATIONS

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
 SCALE AS INDICATED
 DATE 04-27-20
 PROJECT NO. 20007.00

A202

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



PERSPECTIVE VIEW

PERSPECTIVE VIEW

PERSPECTIVE VIEW



**WISSMACH
ARCHITECTS**

121 OAKDENE ROAD
POOLER, GEORGIA 31322
P 912.695.3111
WWW.WISSMACHARCHITECTS.COM

All rights reserved. No part of these drawings may be reproduced, distributed, or transmitted in any form or by any means, including photocopying, recording, or other electronic or mechanical methods, without the prior written permission of Wissmach Architects.

PARKERS STORES

DRAYTON-PARKERS, LLC
17 WEST MCDONOUGH STREET
SAVANNAH, GEORGIA 31401



PARKER'S KITCHEN
SEA TURTLE MARKETPLACE
HILTON HEAD, SC

**PERSPECTIVE
VIEWS**

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
SCALE AS INDICATED
DATE 04-27-20
PROJECT NO. 20007.00

A203

N.T.S.



Know what's below
Call before you dig

SITE ANALYSIS

Parker's 4,920 S.F.
 PARKING PROVIDED 32 SPACES
 MIN. PARKING REQ. 20 SPACES
 MAX. PARKING ALLOWED 25 SPACES
 NOTE: ANY PARKING OVER MAX. ALLOWED MUST BE PERVIOUS.

SITE AREA 1.47 ± AC.
 NOTE: THIS CHART IS FOR CONCEPTUAL PURPOSES ONLY. ACREAGE ARE APPROXIMATE AND MAY VARY DEPENDING ON ACTUAL BOUNDARY SURVEY.

3471 DONAVILLE ST
 DULUTH, GA 30096
 PHONE: 404-567-5701
 FAX: 404-567-5703
 WWW.BDGSE.COM

BDG
 Buckel Design Group, LLC.

STAMP

PROPOSED:
Parker's kitchen
 HILTON HEAD ISLAND, SC
 FOR:
 DRAYTON-PARKER COMPANIES, LLC
 SAVANNAH, GA 31401

REVISION	BY

DRAWN
SC
 CHECKED
JWC
 ISSUED DATE
3/10/2020
 ISSUED FOR
CONCEPTUAL REVIEW
 PROJECT NO.
19-177
 FILE
19-177 P-4

SHEET
P-4

**LEGEND FOR PROPOSED IMPROVEMENTS**

- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER
- PROPOSED CHAINLINK FENCE
- PAINTED TRAFFIC DIRECTION ARROW
- PROPOSED PARKING SPACES
- PROPOSED SIDEWALK
- STANDARD DUTY ASPHALTIC PAVEMENT
- HEAVY DUTY ASPHALTIC PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PERVIOUS PARKING

ZONING DISTRICT	COMMUNITY COMMERCIAL
OVERLAY DISTRICT	AIRPORT OVERLAY DISTRICT, CORRIDOR OVERLAY DISTRICT
USE OF PROPERTY	CONVENIENCE STORE WITH GAS SALES
GROSS SITE AREA	1.47 ± ACRES
NET SITE AREA	1.47 ± ACRES
ALLOWED TOTAL DENSITY	1.47 AC X 10,000 GFA = 14,700 SF.
MAXIMUM BUILDING HEIGHT ALLOWED	45 FEET
PROPOSED BUILDING HEIGHT	30 FEET
MAXIMUM ALLOWED IMPERVIOUS AREA	60% = 0.88 AC.
CURRENT IMPERVIOUS AREA	4% = 0.06 AC.
PROPOSED IMPERVIOUS AREA	57% = 0.84 AC.
MINIMUM PARKING REQUIRED	20 SPACES (SEC. 16-5-107D 2A)
MAXIMUM PARKING ALLOWED (ANYTHING OVER MUST BE PERVIOUS PAVEMENT)	25 SPACES (SEC. 16-5-107D 2A)
PROPOSED PARKING SPACES	32 SPACES

Not For Construction

OVERALL CONCEPTUAL SITE PLAN



**** NOTE ****
 THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DESIGN MAY VARY DEPENDING ON ACTUAL TOPOGRAPHIC & BOUNDARY SURVEY, DRAINAGE, ETC. THIS ADDITIONAL INFORMATION COULD CAUSE CHANGES IN TOTAL SITE AREA REQUIRED DUE TO SLOPES, PARKING, ETC.



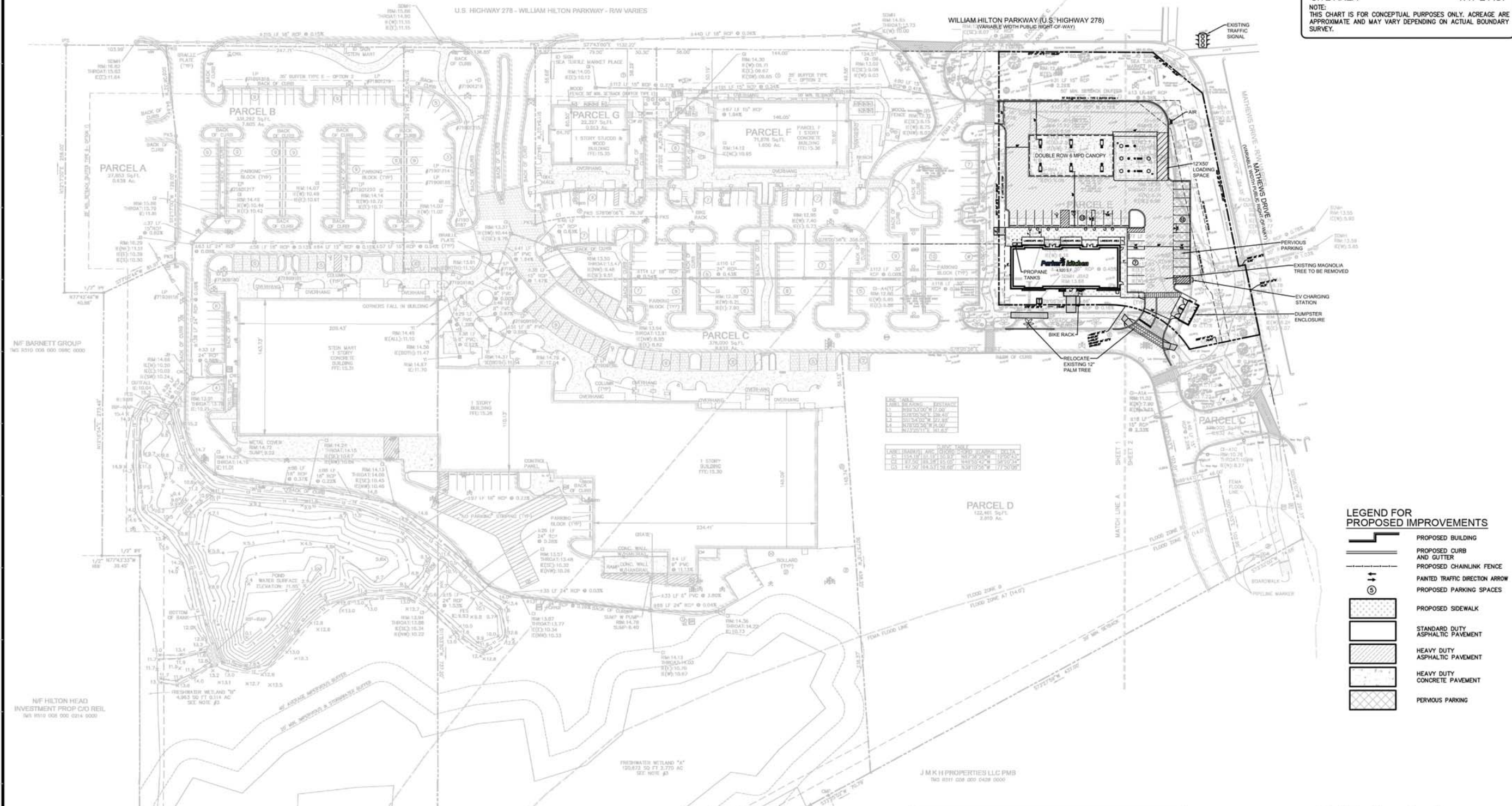
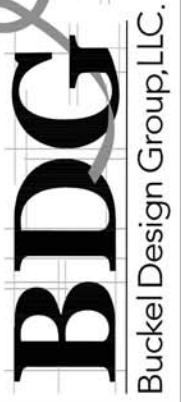
Know what's below
Call before you dig

SITE ANALYSIS

Parker's 4,920 S.F.
 PARKING PROVIDED 32 SPACES
 MIN. PARKING REQ. 20 SPACES
 MAX. PARKING ALLOWED 25 SPACES
 NOTE: ANY PARKING OVER MAX. ALLOWED MUST BE PERVIOUS.

SITE AREA 1.47 ± AC.
 NOTE: THIS CHART IS FOR CONCEPTUAL PURPOSES ONLY. ACREAGE ARE APPROXIMATE AND MAY VARY DEPENDING ON ACTUAL BOUNDARY SURVEY.

3471 DONAVILLE ST
 DULUTH, GA 30096
 PHONE: 404-567-5701
 FAX: 404-567-5703
 WWW.BDGSE.COM



LEGEND FOR PROPOSED IMPROVEMENTS

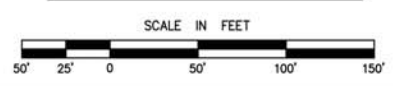
- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER
- PROPOSED CHAINLINK FENCE
- PAINTED TRAFFIC DIRECTION ARROW
- PROPOSED PARKING SPACES
- PROPOSED SIDEWALK
- STANDARD DUTY ASPHALTIC PAVEMENT
- HEAVY DUTY ASPHALTIC PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PERVIOUS PARKING

SITE DATA TABLE

ZONING DISTRICT	COMMUNITY COMMERCIAL
OVERLAY DISTRICT	AIRPORT OVERLAY DISTRICT, CORRIDOR OVERLAY DISTRICT
USE OF PROPERTY	CONVENIENCE STORE WITH GAS SALES
GROSS SITE AREA	1.47 ± ACRES
NET SITE AREA	1.47 ± ACRES
ALLOWED TOTAL DENSITY	1.47 AC X 10,000 GFA = 14,700 SF.
MAXIMUM BUILDING HEIGHT ALLOWED	45 FEET
PROPOSED BUILDING HEIGHT	30 FEET
MAXIMUM ALLOWED IMPERVIOUS AREA	60% = 0.88 AC
CURRENT IMPERVIOUS AREA	4% = 0.06 AC
PROPOSED IMPERVIOUS AREA	57% = 0.84 AC
MINIMUM PARKING REQUIRED	20 SPACES (SEC. 16-5-107D 2A)
MAXIMUM PARKING ALLOWED (ANYTHING OVER MUST BE PERVIOUS PAVEMENT)	25 SPACES (SEC. 16-5-107D 2A)
PROPOSED PARKING SPACES	32 SPACES

Not For Construction

OVERALL CONCEPTUAL SITE PLAN



**** NOTE ****
 THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DESIGN MAY VARY DEPENDING ON ACTUAL TOPOGRAPHIC & BOUNDARY SURVEY, DRAINAGE, ETC. THIS ADDITIONAL INFORMATION COULD CAUSE CHANGES IN TOTAL SITE AREA REQUIRED DUE TO SLOPES, PARKING, ETC.

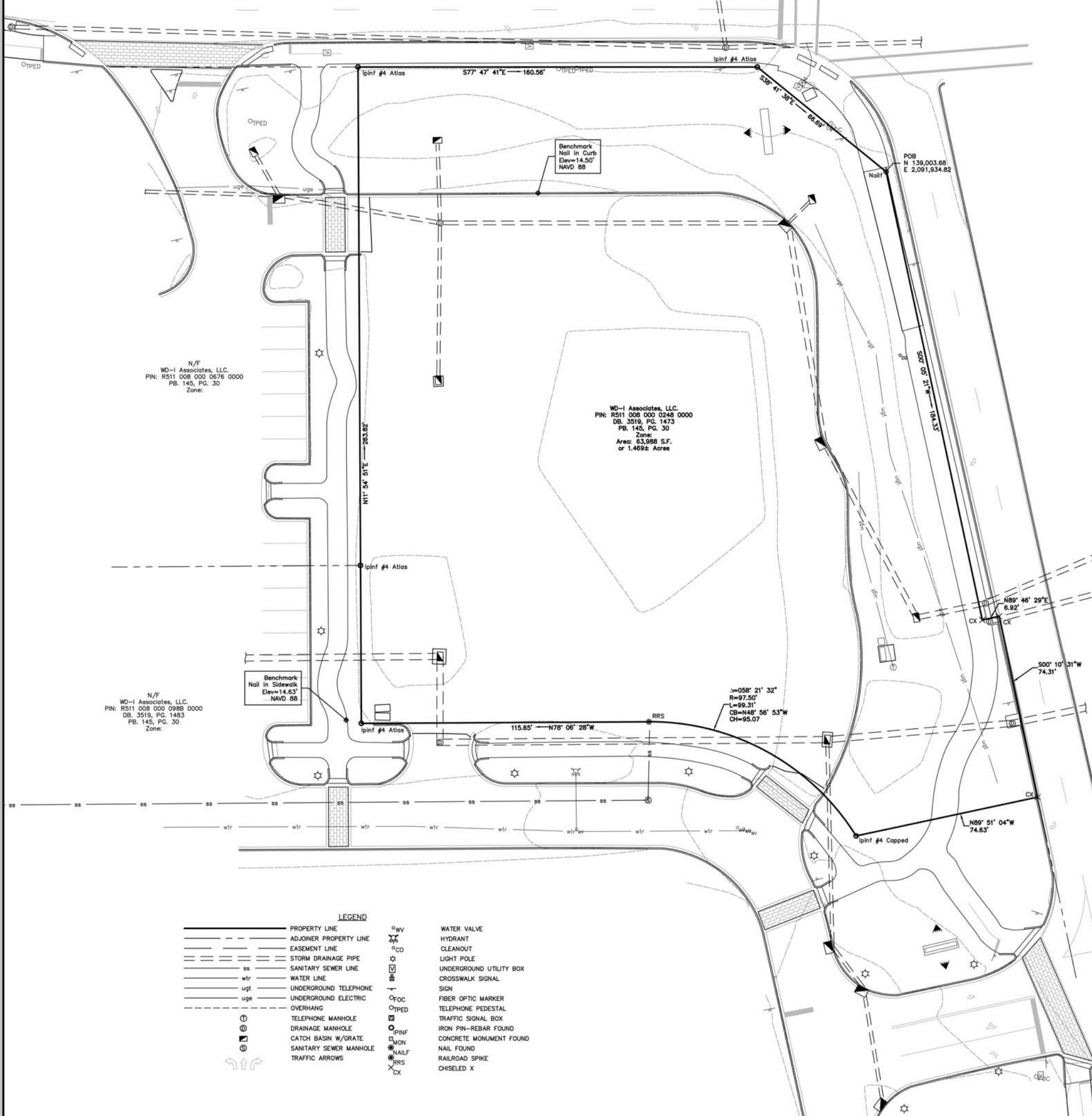
PROPOSED BY:
Parker's kitchen
 HILTON HEAD ISLAND, SC

FOR:
 DRAYTON-PARKER COMPANIES, LLC
 SAVANNAH, GA 31401

REVISION	BY

DRAWN SC
 CHECKED JWC
 ISSUED DATE 3/23/2020
 ISSUED FOR CONCEPTUAL REVIEW
 PROJECT NO. 19-177
 FILE 19-177 Main
 SHEET
P-5

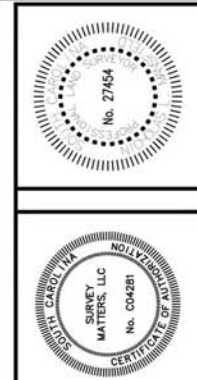
USER: gynch - Mar 23, 2020 - 3:16pm
 P:\Project Drawing Files\Site Department\2019\19-177 Hilton Head, SC (Parker's)\19-177 Main.dwg - LAYOUT: Concept Plan-A



UTILITY INFORMATION	ZONING DATA
WATER AND SEWER:	ZONED: ()
ELECTRIC:	SETBACK LINES: FRONT: ' SIDE: ' REAR: '
GAS:	MAXIMUM BUILDING HEIGHT: '
TELEPHONE:	FLOOD INFORMATION
CABLE:	FLOOD ZONE ** (MINIMAL FLOOD HAZARD) PER FEMA MAP NO. EFFECTIVE DATE:
	PARKING
	REGULAR = N/A HANDICAP = N/A

SITE ROAD

LOCATION MAP
SCALE: 1"=2,000'



- NOTES:
- NORTH ARROW, BEARINGS, AND COORDINATES ARE BASED UPON SC GRID NAD 83 ESTABLISHED BY VIRTUAL REFERENCE STATION REAL TIME NETWORK GPS OBSERVATION.
 - ELEVATIONS ARE BASED UPON NAVD 88 ESTABLISHED BY OBSERVATION OF NGS MONUMENT "7 055," HAVING AN ELEVATION OF 17.97 FEET NAVD 88.
 - REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS:
 - PLAT BOOK 145, PAGE 30 RECORDED IN THE BEAUFORT COUNTY REGISTER OF DEEDS OFFICE.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT.
 - THIS SURVEY MEETS THE REQUIREMENT FOR A CLASS "A" SURVEY (1:10,000) AS DEFINED FOR THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF SOUTH CAROLINA.
 - THE AREA WAS DETERMINED BY DMD METHOD.
 - ALL HORIZONTAL DISTANCES ARE GROUND DISTANCES.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ONE CALL TICKET #2002202202, FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - THE PROPERTY APPEARS TO BE IN FEMA ZONE "B" (AREA SUBJECT TO 100 YEAR FLOOD WITH AVERAGE DEPTHS LESS THAN ONE FOOT), PER MAP #45025000090; EFFECTIVE SEPTEMBER 29, 1986.
 - ZONING PROVIDED BY --THE APPROPRIATE GOVERNMENTAL AGENCY-- TO BE USED FOR INFORMATIONAL PURPOSES ONLY.
 - TOTAL AREA = S.F. = ± ACRES
 - NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, STREET OR SIDEWALK CONSTRUCTION WAS OBSERVED ON SITE.
 - THE SITE DOES NOT APPEAR TO HAVE BEEN USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
 - NO VISIBLE FLAGGING EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED, NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.

N/F
WD-I Associates, LLC.
PIN: R511 008 000 0676 0000
PB. 145, PG. 30
Zone:

WD-I Associates, LLC.
PIN: R511 008 000 0248 0000
DB. 3519, PG. 1473
PB. 145, PG. 30
Zone:
Area: 63,988 S.F.
or 1.469± Acres

N/F
WD-I Associates, LLC.
PIN: R511 008 000 0988 0000
DB. 3519, PG. 1483
PB. 145, PG. 30
Zone:

LEGEND

	PROPERTY LINE		WATER VALVE
	ADJOINER PROPERTY LINE		HYDRANT
	EASEMENT LINE		CLEANOUT
	STORM DRAINAGE PIPE		LIGHT POLE
	SANITARY SEWER LINE		UNDERGROUND UTILITY BOX
	WATER LINE		CROSSWALK SIGNAL
	UNDERGROUND TELEPHONE		SIGN
	UNDERGROUND ELECTRIC		FIBER OPTIC MARKER
	OVERHANG		TELEPHONE PEDESTAL
	TELEPHONE MANHOLE		TRAFFIC SIGNAL BOX
	DRAINAGE MANHOLE		IRON PIN-REBAR FOUND
	CATCH BASIN W/GRATE		CONCRETE MONUMENT FOUND
	SANITARY SEWER MANHOLE		NAIL FOUND
	TRAFFIC ARROWS		RAILROAD SPIKE
			CHISELED X

TO: , LLC COMPANY
TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6B, 7A, 7C, 8, 9, 11, 13, 14, 15, 16, 17, 18, 19, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 3, 2020.

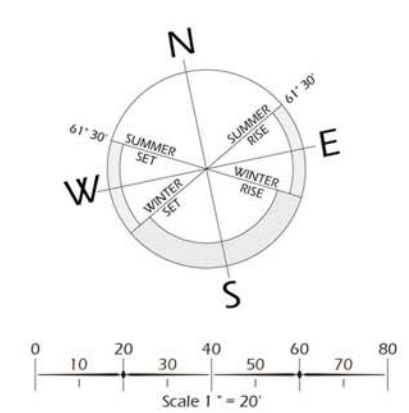
NICHOLAS L. MANSFIELD DATE: 3/10/2020 REGISTRATION #27454
* THE WORDS "CERTIFY", "CERTIFICATE" OR "CERTIFICATION" AS USED HEREON ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, DO NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.

↑ SURVEY MATTERS ↓
LAND SURVEYING SERVICES
107 Hillcrest Avenue
Simpsonville, South Carolina 29681
(864) 451-0176
nick@survey-matters.com

REVISIONS

ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR:
PROPERTY OF:
WD-I ASSOCIATES, LLC.
430 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

DRAWN	CHECKED
NMR	NLM
SCALE: 1" = 20'	
DATE OF SURVEY: MARCH 3, 2020	
DATE OF PLAT: MARCH 10, 2020	
PROJECT NO. 20-029	



© 2018 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS,
 LOGOS, SPECIFICATIONS, DETAILS,
 WRITTEN MATERIAL SHALL NOT BE USED
 OR REPRODUCED IN WHOLE OR IN PART
 IN ANY FORM WITHOUT PRIOR WRITTEN
 CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS
 FOR
PARKERS KITCHEN
 SEA TURTLE MARKET PLACE
 430 WILLIAM HILTON PARKWAY
 HILTON HEAD, SOUTH CAROLINA

DATE:	APR. 28, 2020
PROJECT NO.:	15051.29
DRAWN BY:	CB
CHECKED BY:	DK/JC

REVISIONS:

DRAWING TITLE
SITE ANALYSIS

DRAWING NUMBER
L1

WILLIAM HILTON PARKWAY (U.S. HIGHWAY 278)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

EXISTING TRAFFIC SIGNAL

SITE ANALYSIS

Parker's 4,920 S.F.
PARKING PROVIDED 32 SPACES
MIN. PARKING REQ. 20 SPACES
MAX. PARKING ALLOWED 25 SPACES
NOTE: ANY PARKING OVER MAX. ALLOWED MUST BE PERVIOUS.
SITE AREA 1.47 ± AC.
NOTE: THIS CHART IS FOR CONCEPTUAL PURPOSES ONLY. ACREAGE ARE APPROXIMATE AND MAY VARY DEPENDING ON ACTUAL BOUNDARY SURVEY.

SITE DATA TABLE

ZONING DISTRICT	COMMUNITY COMMERCIAL
OVERLAY DISTRICT	AIRPORT OVERLAY DISTRICT, CORRIDOR OVERLAY DISTRICT
USE OF PROPERTY	CONVENIENCE STORE WITH GAS SALES
GROSS SITE AREA	1.47 ± ACRES
NET SITE AREA	1.47 AC X 10,000 GFA = 14,700 SF.
ALLOWED TOTAL DENSITY	45 FEET
MAXIMUM BUILDING HEIGHT ALLOWED	30 FEET
PROPOSED BUILDING HEIGHT	60% = 0.88 AC
MAXIMUM ALLOWED IMPERVIOUS AREA	4% = 0.06 AC.
CURRENT IMPERVIOUS AREA	57% = 0.84 AC.
PROPOSED IMPERVIOUS AREA	20 SPACES (SEC. 16-5-107D 2A)
MINIMUM PARKING REQUIRED	25 SPACES (SEC. 16-5-107D 2A)
MAXIMUM PARKING ALLOWED (ANYTHING OVER MUST BE PERVIOUS PAVEMENT)	32 SPACES
PROPOSED PARKING SPACES	

3471 DONAVILLE ST
DULUTH, GA 30096
PHONE: 404-567-5701
FAX: 404-567-5703
WWW.BDGSE.COM

BDG
Buckel Design Group, LLC.

DOUBLE ROW 6 MPD CANOPY

12'X50' LOADING SPACE

Parker's kitchen
PROPANE TANKS
4,920 S.F.

BIKE RACK

RELOCATE EXISTING 12" PALM TREE

PERVIOUS PARKING

EXISTING MAGNOLIA TREE TO BE REMOVED

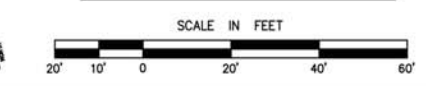
EV CHARGING STATION

DUMPSTER ENCLOSURE

LEGEND FOR PROPOSED IMPROVEMENTS

- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER
- PROPOSED CHAINLINK FENCE
- PAINTED TRAFFIC DIRECTION ARROW
- PROPOSED PARKING SPACES
- PROPOSED SIDEWALK
- STANDARD DUTY ASPHALTIC PAVEMENT
- HEAVY DUTY ASPHALTIC PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PERVIOUS PARKING

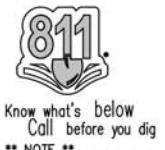
Not For Construction
CONCEPTUAL SITE PLAN



PROPOSED: Parker's kitchen
HILTON HEAD ISLAND, SC
FOR: DRAYTON-PARKER COMPANIES, LLC
SAVANNAH, GA 31401

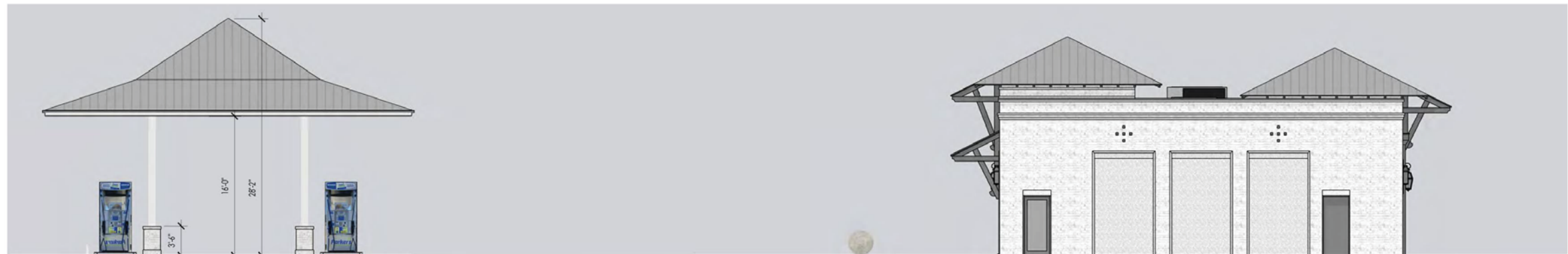
REVISION	BY

DRAWN	SC
CHECKED	JWC
ISSUED DATE	3/23/2020
ISSUED FOR	CONCEPTUAL REVIEW
PROJECT NO.	19-177
FILE	19-177 Main
SHEET	P-5

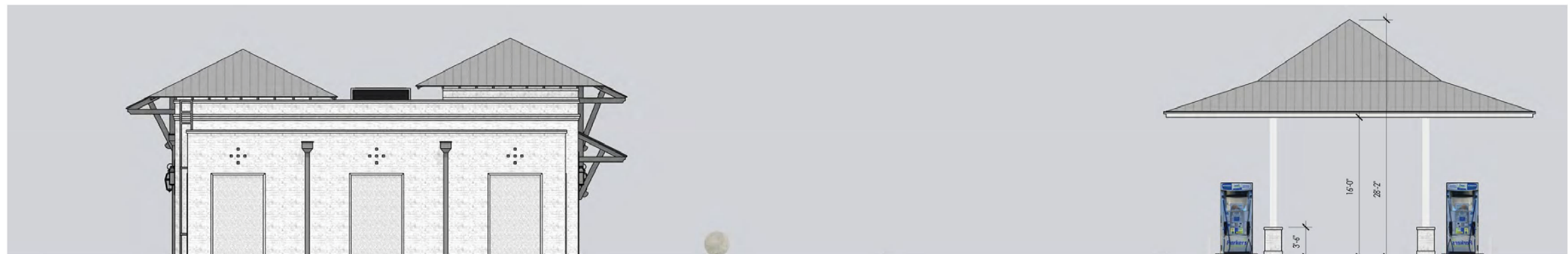


** NOTE **
THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DESIGN MAY VARY DEPENDING ON ACTUAL TOPOGRAPHIC & BOUNDARY SURVEY, DRAINAGE, ETC. THIS ADDITIONAL INFORMATION COULD CAUSE CHANGES IN TOTAL SITE AREA REQUIRED DUE TO SLOPES, PARKING, ETC.

USER: gynch - Mar 23, 2020 - 3:16pm
 P:\Project Drawing Files\Site Department\2019\19-177 Hilton Head, SC (Parker's)\19-177 Main.dwg - LAYOUT: Concept Plan



1/8" = 1'-0"
RIGHT ELEVATION



1/8" = 1'-0"
LEFT (MATHews DRIVE) ELEVATION



1/8" = 1'-0"
REAR ELEVATION



1/8" = 1'-0"
FRONT ELEVATION

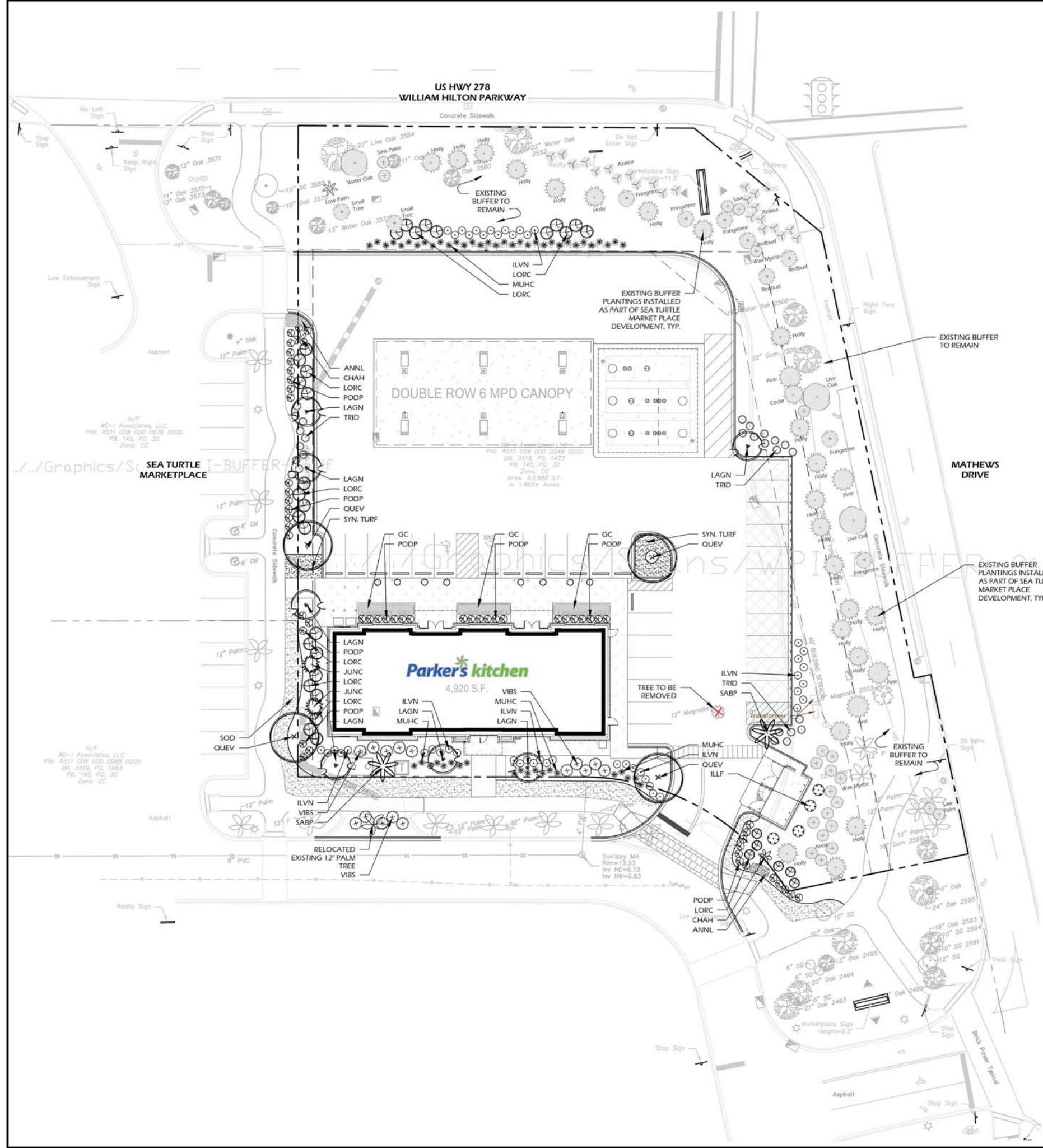


1/8" = 1'-0"
FRONT ELEVATION WITH CANOPY

ELEVATIONS

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
SCALE AS INDICATED
DATE 03-10-20
PROJECT NO. 20007.00



PLANTING LEGEND:

Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana 'OVATA' PP 11219 Highgate	High Rise Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
JUNC	Juniperus chinensis 'Torulosa'	Torulosa Juniper
LAGN	Lagerströmia indica x faurii 'Natchez'	Natchez Cape Myrtle
SHRUBS		
CHAH	Chamaerops humilis	European Fan Palm
EEV	Bux virens 'Nana'	Dwarf Yaxson Holly
ILF	Baccharis floribunda	Florida Anise
LORC	Loropetalum chinense 'Shanghi'	Purple Diamond® Fringe Flower
PODP	Podocarpus macrophyllus 'Thangley'	Dwarf Podocarpus
VIBS	Viburnum suspensum	Sandhills Viburnum
Groundcovers		
ANNL	Seasonal Color	
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
TRID	Tripsacum dactyloides	Fakahatchee Grass
Other		
SOD	Centipede sod or approved equal	
SYN. TURF	Synthetic Turf	
MURCH	Mulch type to be approved by Owner (mulch all plant beds and disturbed areas)	

Winters Jones-Keefe Ltd.
 landscape architecture
 land planning
 www.wjkltd.com
 23 Pymonade Street, Suite 201 | Bluffton, South Carolina | 29910 | Ph. 843.797.7411

© 2018 WJK LTD.
 DESIGN CONCEPTS, DRAWING SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS FOR
PARKER'S KITCHEN
 SEA TURTLE MARKET PLACE
 430 WILLIAM HILTON PARKWAY
 HILTON HEAD, SOUTH CAROLINA

DATE: APR. 28, 2020
 PROJECT NO.: 15051.29
 DRAWN BY: CB
 CHECKED BY: DK/JC

REVISIONS:

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN

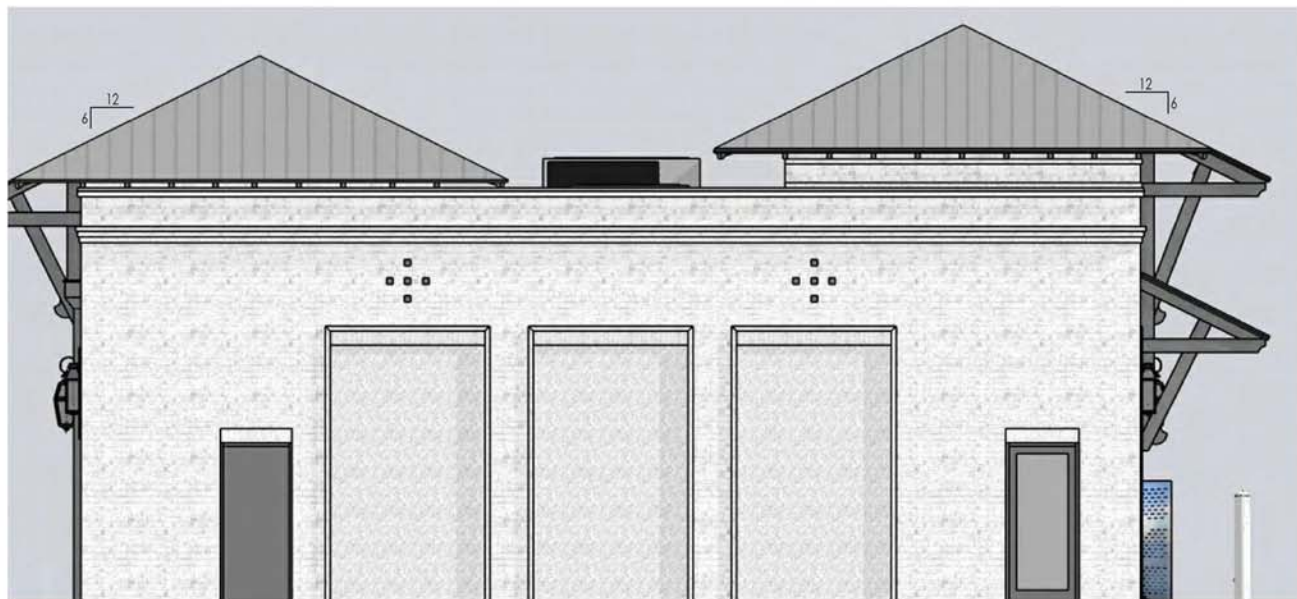
DRAWING NUMBER
L3



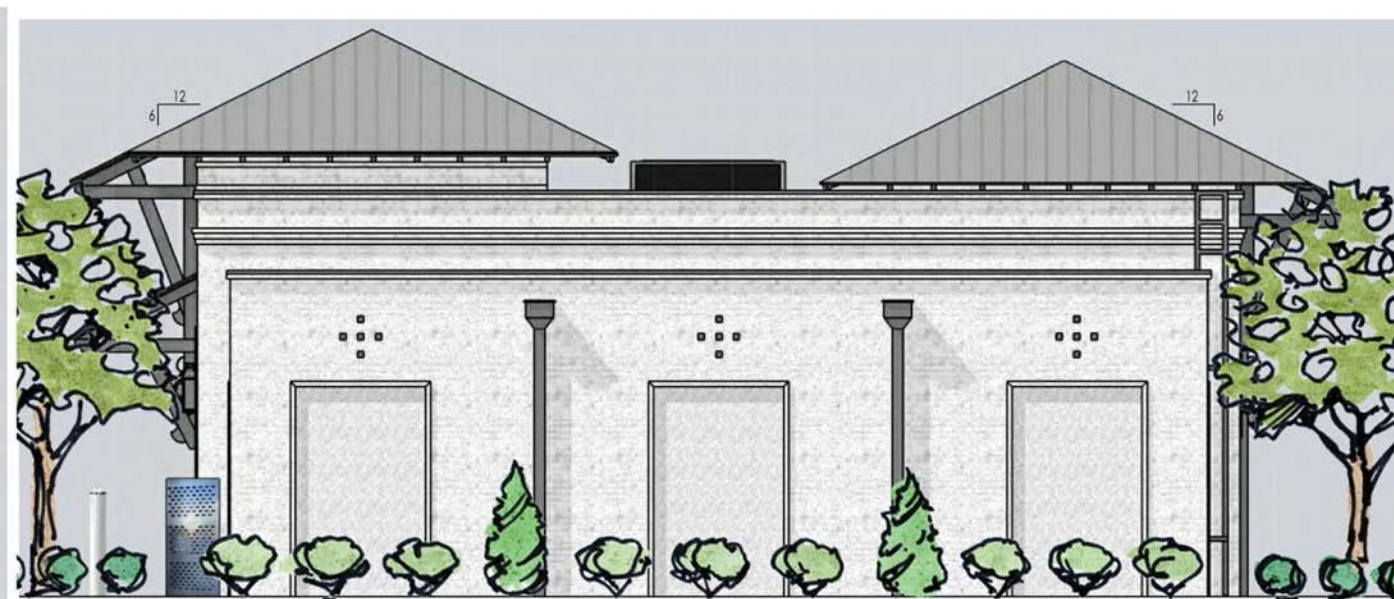
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

Winters Jones Keefe
Ltd.
landscape architecture
land planning

www.wjkltd.com
29 Pymonade Street, Suite 201 | Bluffton, South Carolina | 29910 | ph 843.797.7411

© 2018 WJK LTD.
DESIGN CONCEPTS, DRAWING SHEETS,
LOGOS, SPECIFICATIONS, DETAILS,
WRITTEN MATERIAL SHALL NOT BE USED
OR REPRODUCED IN WHOLE OR IN PART
IN ANY FORM WITHOUT PRIOR WRITTEN
CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
FOR
PARKERS KITCHEN
SEA TURTLE MARKET PLACE
430 WILLIAM HILTON PARKWAY
HILTON HEAD, SOUTH CAROLINA

DATE: APR. 28, 2020
PROJECT NO.: 15051.29
DRAWN BY: CB
CHECKED BY: DK/JC

REVISIONS:

DRAWING TITLE
ELEVATIONS

DRAWING NUMBER

L4

DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Parker’s Sea Turtle Center

DRB#: DRB-000610-2020

DATE: 03/13/2020 05/14/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Staff comments shall be included in the NOA and adequately addressed by the applicant in the Final application.

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At Final provide dimensions wall and canopy sections and detail.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“The context of the structure must also be taken into account and consideration shall be given to compatibility with other development in the area.” Design Guide, page 14. The proposed façade appears to be mostly brick. Brick is a lesser element with tabby and wood occupying a larger percentage of the façade finish in Sea Turtle Marketplace. The Parker’s façade should include more tabby and wood and less brick.
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The connections to the existing pedestrian circulation

				system are narrow and appear as after thoughts. Pedestrian connections to Parker's back door and front sidewalk should be least as wide as the sidewalk they are connecting to.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	As the plans are finalized, Staff strongly encourages to applicant to review the colors used in Sea Turtle Marketplace. Staff can provide approved plans for color reference.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. "Roof form is also a key element to achieve Island Character. Typically Gable, hip or shed roof forms are desirable with a minimum pith of 6/12." Design Guide, page 13. Both structures (store and canopy) are small enough easily accommodate a pitched roof. 2. Adjacent Sea Turtle and approved gas station diagonal to this site (similar or larger in size) include pitched roofs. 3. The broken pith detail of the canopy does not relate to the other roof forms in the area.
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See below.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. The columns on the canopy are too narrow or small to visually support the canopy roof. The structure appears top heavy. Revise the columns to visually better support the roof. 2. Provide architectural detail on the column. 3. Provide a reflected ceiling plan for the gas canopy that includes architectural detail and description of finish and color to break up the ceiling (see Kroger Fuel Station canopy for reference). Additional illustration provides indication of canopy ceiling architectural detail.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The façade should include more wood details to better coordinate with Sea Turtle Marketplace.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>It appears there are utilities on the south side of the proposed building that are unscreened from vehicular traffic. These units should be screened with a privacy fence and landscaping coordinated across the property line.</p> <ol style="list-style-type: none"> 1. Where are the HVAC units located and will

				they be screened? 2. The propane tanks should be screened with and enclosure and gate.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At final a lighting plan must be included that meets the LMO requirements. Lighting cannot exceed 3000K in the COD even under the canopy. The lighting plan should include the location of all exterior building light fixtures. The application should include cut sheets for all light fixtures.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At Final provide a detail of all bollards. a) Spherical concrete bollards (it appears they are proposed on the front sidewalk) are not in keeping with Island Character. b) Utility bollards should be painted to coordinate with the building.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a study of the street buffers that identifies existing mature trees with what was planted by Sea Turtle Marketplace.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> Japanese privet is and invasive species and should not be used. Replace Redbuds with evergreen species that provide a better visual buffer.
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Artificial turf is not natural, and has not been utilized on the island. It is not in keeping with Island Character. Remove and replace.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Replace the sod strip in the street buffer with double staggered row of ornamental grass.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider revisions to the site plan to preserve the Magnolia near the southern property line.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> Confirm required tree mitigation for this site was completed by Sea Turtle Marketplace. Confirm the existing Magnolia on the

				southern property line was not counted toward the ACI for Sea Turtle Marketplace.
--	--	--	--	---

MISC COMMENTS/QUESTIONS				
1.	Relocate, remove or screen the exterior vending from the left right corner of the building (looking at the building).			
2.	The sidewalk on the western property line makes an oscillation at the south end for apparently no reason. To take advantage of this area, coordinate with Sea Turtle Marketplace to add a canopy tree here to soften the corner of the building. The bed edge in this area should be more natural and not follow the property line.			
3.	The door on the rear elevation should include more store front to appear inviting. Consider adding architectural detail to the rear elevation.			
4.	Provide planting area between the building and the sidewalk on the east side of the building.			