



Town of Hilton Head Island
Design Review Board Special Meeting
Friday, June 26, 2020 – 9:00 a.m.
AGENDA

This meeting is being conducted virtually in accordance with Town Council Emergency Ordinance 2020-11. The meeting can be viewed on the Town's Public Meeting Facebook page (<https://www.facebook.com/townofhiltonheadislandmeetings/>) and the Town's website (<https://www.hiltonheadislandsc.gov/>).

1. **Call to Order**
2. **FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
3. **Roll Call**
4. **Approval of Agenda**
5. **Presentation of Crystal Award to outgoing DRB Chairman Dale Strecker and Mr. Brian Witmer**
6. **Approval of Minutes**
 - a. Special Meeting of May 27, 2020
 - b. Special Meeting of May 29, 2020
7. **Citizen Comments**
8. **Unfinished Business**
9. **New Business**
 - a. *Alteration/Addition*
 - i. Jane Bistro, DRB-001199-2020
 - ii. Circle K Lagoon Road, DRB-001210-2020
 - b. *Sign*
 - i. Goodwill, DRB-001196-2020
 - c. *New Development – Final*
 - i. Cordillo Tennis Courts Phase 2, DRB-001209-2020
10. **Board Business**
 - a. Election of Officers for July 1, 2020 – June 30, 2021 term

11. Adjournment

Public comments concerning agenda items can be submitted electronically via the Town's Virtual Town Hall public comment portal (<https://hiltonheadislandsc.gov/opentownhall/>). The portal will close at **Noon** the day prior to the scheduled meeting. Citizens may also call (843) 341-4684 to sign up for public comment participation during the meeting by phone. The public comment period will close at **Noon** the day prior to the scheduled meeting. All comments will be provided to the Board for review and made part of the official record.

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Special Meeting
Wednesday, May 27, 2020 at 9:00 a.m.
MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Debbie Remke, Brian Witmer

Absent from the Board: None

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teri Lewis, Deputy Director of Community Development; Eileen Wilson, Senior Administrative Assistant; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 9:00 a.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chairman Strecker asked for a motion to approve the agenda. Vice Chairman Gentemann moved to approve as submitted. Mr. McAllister seconded. By way of roll call, the motion was approved by a vote of 7-0-0.

5. Approval of Minutes – Meeting of March 10, 2020

Chairman Strecker asked for a motion to approve the minutes of March 10, 2020 meeting. Vice Chairman Gentemann moved to approve as submitted. Mr. McAllister seconded. By way of roll call, the motion was approved by a vote of 7-0-0.

6. Citizen Comments

Public comments concerning agenda items could be submitted electronically via the Town's Virtual Town Hall portal. Citizens could comment on agenda items by phone during the meeting, by signing up with the Board Secretary. The public comment period closed at Noon yesterday. There were no requests from citizens to participate by phone. All citizens' comments were provided to the Board members for review and made a part of the record.

7. Unfinished Business

a. Alteration/Addition

i. The Oaks Villas, DRB-000413-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant had no additional comments to Staff's narrative. The Board asked brief questions of the applicant. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000413-2020 with the following conditions:

1. All existing tabby stucco surfaces shall be power washed.
2. The painting shall be completed in one phase.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

8. New Business

a. Alteration/Addition

i. Executive Center, DRB-000224-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Mr. Darnell noted the applicant provided a revised color scheme. Based on the new color scheme, Staff recommends approval with the condition that a plan is submitted illustrating the different main building colors or unit schedule with the main building color for that unit specified.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented brief remarks regarding the project. The Board agreed with the Staff condition for approval and further clarified the colors and their locations. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000224-2020 with the following conditions:

1. The approved color scheme shall be:
 - a. The gazebo, soffit, and trim are SW 7043 Worldly Gray.
 - b. The three rotating building colors are SW 7045 Intellectual Gray, SW 7047 Porpoise, and SW 7059 Unusual Gray.
 - c. The windows and railings are SW 7069 Iron Ore.
 - d. The downspouts are painted to match the building body color.
2. Submit a visual schedule and a site plan indicating the color scheme to Staff for review and approval.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

ii. Charlie's Restaurant, DRB-000434-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant had no additional comments to Staff's narrative. The Board asked brief questions of the applicant for further clarification. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000434-2020 with the following condition:

1. The brick shall be Old Carolina Georgetowne and continue down both skirt sides of the stairs.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

iii. Darling Eye Center, DRB-000773-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following condition:

1. The roof color shall be Preweathered Galvalume by McElroy Metal.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant had no comments to add to Staff's narrative. The Board agreed with the Staff condition and made brief comments on the application. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000773-2020 with the following condition:

1. The standing seam metal roof shall be Preweathered Galvalume by McElroy Metal.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

iv. Scott's Fish Market, DRB-000784-2020

During review for a Certificate of Compliance, Staff discovered inconsistencies with the DRB approvals from October and December of 2019. The applicant is seeking approval from the DRB of those changes made to the structure without DRB approval. Staff recommends approval with the following conditions:

1. All lighting fixtures not approved by the DRB shall be removed.
2. All fans shall be replaced to meet DRB approved specifications.
3. Box fans are approved as installed.
4. Add a Bermuda shutter to the bar window. Submit color to Staff for review and approval.
5. Electrical conduits and sprinkler lines shall be concealed. Submit concept to conceal conduits and lines to Staff and one DRB member for review and approval.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board.

The Board expressed concern that their previous decisions on the project were disregarded and rescinding them would create a bad precedent. The DRB Notice of Action was issued to the applicant and spoke directly to many of the issues brought forward. Most of the changes proposed after the fact are not in keeping with the Design Guide and therefore not approvable. The Board discussed the application at length with the applicant and how to remedy the violations. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000784-2020 with the following conditions:

1. All lighting fixtures not approved by the DRB shall be removed.

2. All fans shall be replaced to meet the DRB approved specifications in October 2019 and December 2019.
3. Box fans are approved as installed.
4. The window at the bar that was added without DRB approval shall be replaced with a window sized to match the originally approved shutters and match the head height of the adjacent roll up door.
5. Electrical conduits and sprinkler lines shall be concealed. Submit a concept to conceal conduits and lines to Staff and one DRB member for review and approval.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

v. Sunset Pavilion at Skull Creek Boathouse, DRB-000959-2020

In anticipation of a Certificate of Compliance review, the applicant is requesting approval of changes made during construction of the Sunset Pavilion that were not approved by the DRB at Final. Staff recommends approval with the following conditions:

1. The elimination of the skylight and pole sconces are approved as installed.
2. Poles, trusses, and louvers shall be finished per the DRB approved plans.
3. The gutter and rain chain, the privacy wall adjacent to the restroom, the mounted TVs, and the arm mounted fans are approved as installed.
4. Applicant shall make suggestions to change, rework and/or otherwise obscure the galvalume conduit and sprinkler system for review by Staff and one DRB member.
5. Storage furniture shall be finished to match the structure.
6. Eliminate the chandeliers or reduce the light lumens on them to meet LMO requirements.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board.

The Board expressed concern that their previous decisions on the project were not followed and rescinding them would create a bad precedent. The DRB Notice of Action was issued to the applicant and spoke directly to some of the issues brought forward. The Board discussed the application at length with the applicant and how to remedy the violations. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000959-2020 with the following conditions:

1. The skylight was not installed as originally approved by DRB. The resulting bump out was not approved. Choose one of the two following options to correct this:
 - Option 1: Install the skylight as originally approved by the DRB.
 - Option 2: Remove the bump out and finish the roof as uninterrupted metal panel.
2. Poles, trusses, and louvers shall be finished per DRB approved plans.
3. The privacy wall, TVs, and arm mounted fans are approved as installed. The originally approved ceiling fans are not being required by DRB. If the originally approved fans are desired, then the owner shall submit a cut sheet for review and approval by Staff and one DRB member.
4. Paint the adjacent conduit at the trusses and the poles to match the adjacent color. Rerouting conduit is not required.
5. Storage furniture shall be finished to match the structure.
6. The chandeliers were not approved and shall be removed. The original DRB approved lighting design shall be implemented.

7. The temporary bar does not fit the pavilion. Submit plans for review and approval by Staff and one DRB member. The temporary bar shall match the approved design and finishes of the approved structure.
8. The rain chain shall be finished and buried in a dry well. Landscaping is required to surround it.
9. The chimney does not appear to be per the originally approved plans. Submit a close-up photograph of the chimney for further review and approval by Staff and one DRB member.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

b. New Development – Conceptual

i. Parker's, DRB-000610-2020

(Mr. Witmer recused himself from review of DRB-000610-2020 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions: Staff comments as described in the Design Team/DRB Comment Sheet shall be included in the NOA and adequately addressed by the applicant in the Final application.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application at length with the applicant.

Following the discussion, Vice Chairman Gentemann made a motion to approve DRB-000610-2020 with the following conditions:

1. The conditions described in the Design Team/DRB Comment Sheet shall be adequately addressed in the Final application.
2. Bollards and bike racks shall match those approved for Sea Turtle Marketplace.
3. Overstory trees shall be planted at the ends of the head in parking on the Mathews Drive side.
4. Landscaping shall be provided between the building and the sidewalk at the Mathews Drive side. DRB prefers 2' area of greenspace and plantings. Staff will review an alternate of lattice and ivy.
5. Relocate unappealing items, such as the tire pump station, roof ladders, transformers, to an inconspicuous place. These items shall be screened at their new locations with a structure and landscaping.
6. Increase the landscape buffer along the William Hilton Parkway side.
7. Provide more Evergreen species on the backside of the building.
8. Wheel stops are required per Town code.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 6-0-0.

9. Adjournment

The meeting was adjourned at 12:45 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]



Town of Hilton Head Island
Design Review Board Special Meeting

Friday, May 29, 2020 at 9:00 a.m.

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Debbie Remke, Brian Witmer

Absent from the Board: None

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teri Lewis, Deputy Director of Community Development; Eileen Wilson, Senior Administrative Assistant; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 9:12 a.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

Mr. Darnell noted that DRB-000876-2020 Fern Iams Restaurant was withdrawn from the agenda prior to the meeting. Chairman Strecker asked for a motion to approve the agenda as amended. Mr. Witmer moved to approve the agenda as amended. Vice Chairman Gentemann seconded. By way of roll call, the motion was approved by a vote of 7-0-0.

5. Citizen Comments

Public comments concerning agenda items could be submitted electronically via the Town's Virtual Town Hall portal. Citizens could comment on agenda items by phone during the meeting, by signing up with the Board Secretary. The public comment period closed at Noon yesterday. There were no requests from citizens to participate by phone. All citizens' comments were provided to the Board members for review and made a part of the record.

6. New Business

a. New Development – Final

i. Harris Teeter Fuel Station, DRB-000812-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval provided the applicant addresses the questions regarding the material of the exterior vending covers described in the Design Team/DRB Comment Sheet.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application at length with the applicant. Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-000812-2020 with the following conditions:

1. The Phoenix Brick Enclosure located in front of the kiosk under the canopy shall match the other two vending enclosures in materials and finishes. Provide a detail of this enclosure for review and approval by Staff and one DRB member.
2. The applicant confirmed that the light poles will match the light poles in the Harris Teeter parking lot.
3. The U-shaped bollards are approved as submitted.
4. The flashing at the top of the dumpster shall match the green color of the roof material.
5. Provide a detail of the HVAC equipment at the top of the kiosk for review and approval by Staff and one DRB member.
6. Provide a detail of the retaining wall for review and approval by Staff and one DRB member.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 7-0-0.

ii. Northridge Plaza Site Improvements & Building Façade Upgrades, DRB-000903-2020

(Mr. Witmer recused himself from review of DRB-000903-2020 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the project as provided in the Board's agenda package. Staff had recommended denial as submitted for the reasons described in the Design Team/DRB Comment Sheet. However, since the agenda package was published, the applicant provided supplemental materials. Based on the supplemental submission, Staff recommends approval with the following conditions:

1. Provide a lighting plan and manufacturers cut sheet that illustrates the canopy light levels meet LMO requirements.
2. Provide a conduit routing plan for the canopy for review and approval by Staff.
3. Revise the planting plan for Staff review and approval to:
 - a. Add canopy trees to western property line
 - b. Change Magnolia Little Gem to straight species Magnolia to be placed along the theater wall
4. Provide trenching plan for Staff review and approval.
5. Provide a hardscape plan for Staff review and approval illustrating where:
 - a. New walks will replace existing walks
 - b. Existing walks are removed

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application at length with the applicant. The Board expressed concern that the applicant has not addressed substantial comments provided by the Board in their previous meetings. The Board advised the applicant to go back and address all previous DRB conditions of approval, address the big picture elements conveyed in the Board's comments, and continue improving the details of the project. The Board reiterated some of their comments to address the theater wall; address the privacy wall along the Mathews Drive side and the backside of the plaza; address the canopy so it more closely matches the existing canopy design and provide detail; consider increasing the height from sidewalk to bottom of fascia to 9-10 feet to help reduce the parapet height and make pedestrians feel less compressed; provide more details on the wall section; provide a lighting plan and manufacturers cut sheet; substitute the Caribbean Coral color with a nature blending color like the proposed Beach

House or Sierra Tan; the Nichiha Redwood Cement Paneling appears to be a stick-on element instead it being part of the architecture which would help the look of the parapet.

Following the discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

b. New Development – Conceptual

i. Palmetto Bay Lodges, DRB-000901-2020

(Mr. Witmer recused himself from review of DRB-000901-2020 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends denial for the reasons described in the Design Team/DRB Comment Sheet.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant thanked Staff for their detailed review of the project. The applicant indicated that due to the substantial comments from Staff that need to be addressed, the intent is to get the Board's input on the application and withdraw it prior to any action. The Board generally agreed with the Staff comments that need to be addressed. The Board provided comments on various aspects of the project, including: conceptually the architecture is in keeping with the Design Guide; determine if the building needs to be raised per flood requirements as it will impact the architecture; consider using the drive aisle option with less pavement and more area for greenspace; provide parking alternative if waiver not granted; determine the stacking distance required at the gate area; revise the colors to be more nature blending with lower contrast; provide details of dumpster enclosure, bike racks, windows, and HVAC with physical and landscape screenings all the way around; add more overstory trees; landscape buffer between building and pavement; add more plantings around the open lawn area; revise the gate to be more in proportion with the fence; concern the fencing appears like hog-wire fencing; consider saving trees in the buffer or provide sufficient reason for removal; consider a turn-around space for vehicles toward the back of the site.

Following the discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

ii. Cordillo Tennis Courts Phase 2, DRB-000991-2020

(Mr. Strecker recused himself from review of DRB-000991-2020 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions: Staff comments as described in the Design Team/DRB Comment Sheet shall be included in the NOA and adequately addressed by the applicant in the Final application.

Acting Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant had no comments to add to Staff's narrative. The Board agreed with the Staff recommendation and made brief comments on the application. Following the discussion, Acting Chairman Gentemann asked for a motion.

Mr. McAllister made a motion to approve DRB-000991-2020 with the following conditions:

1. The conditions described in the Design Team/DRB Comment Sheet shall be addressed in the Final application.

Ms. Foss seconded. By way of roll call, the motion passed with a vote of 6-0-0.

7. Adjournment

The meeting was adjourned at 12:09 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

| FOR OFFICIAL USE ONLY | |
|-----------------------|-------|
| Date Received: | _____ |
| Accepted by: | _____ |
| DRB #: | _____ |
| Meeting Date: | _____ |

Applicant/Agent Name: Anne Sargent Company: June Bistro
 Mailing Address: 26 Pine Island Rd City: HHI State: SC Zip: 29928
 Telephone: 614 565 7376 E-mail: Wien bistro and bar @ gmail.com
 Project Name: _____ Project Address: 28 Shelter Cove Ln #109
 Parcel Number [PIN]: R 520 00B 0026 0000
 Zoning District: PD-1 Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

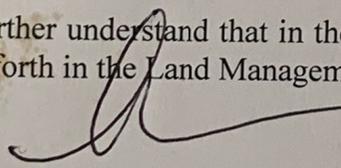
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

4/1/2020

DATE

Jane's Patio Repaint

The applicant is seeking approval, after the fact, of the current patio shelter color. The columns and ceiling of the patio shelter have been painted Sherwin William 7636 Origami White earlier this year without approval from the DRB. The original color was Sherwin Williams 7076 Web Gray which is carried through onto the façade of the restaurant.

cornice painted
Web Grey

jane
BISTRO & BAR

original column
color, Web Grey



Color Match to Jane Servie Yard

SW 7636
Origami White

259-C3



Color Match to Fabrik

SW 7636
Origami White

259-C3



Back Service Yard to Jane



jane

BISTRO & BAR



Jane Patio Exterior



Jane Patio





Jane Patio

Wayback Patio Exterior

WAYBACK BURGERS



Krogers Patio Exterior



TALBOTS

MISSES • PETITES • WOMAN

Color Match to Talbots





Front View Jane

Rear Entrance to Jane & Fabrik





NYC pizza exterior



Posiedon Exterior Patio

Side View of Jane and Fabrik



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Jane's Bistro

DRB#: DRB-001199-2020

DATE: 06/16/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Staff recommends approval with the condition that the columns and ceiling beams be repainted Sherwin Williams 7075 Web Gray.

MISC COMMENTS/QUESTIONS

1. The original color of the patio structure matched the cornice of the building.
2. Origami White was not an approved Shelter Cove color and has not been used on the building noted in this application.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

| | |
|------------------------------|-------|
| FOR OFFICIAL USE ONLY | |
| Date Received: | _____ |
| Accepted by: | _____ |
| DRB #: | _____ |
| Meeting Date: | _____ |

Applicant/Agent Name: Joey Blackwell Company: Enloe, INC.
 Mailing Address: P.O. Box 95 City: Aiken State: SC Zip: 29802
 Telephone: (803) 648-1714 Fax: (803) 649-7130 E-mail: jblackwell@enloeinc.com
 Project Name: Circle K Project Address: 2 Lagoon Rd. HHI, SC
 Parcel Number [PIN]: RS 5 2 0 1 8 0 0 0 0 0 3 8 0 0 0 0
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
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Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

J. Blackwell
SIGNATURE

5/22/20
DATE



Circle K & Circle K/Shell



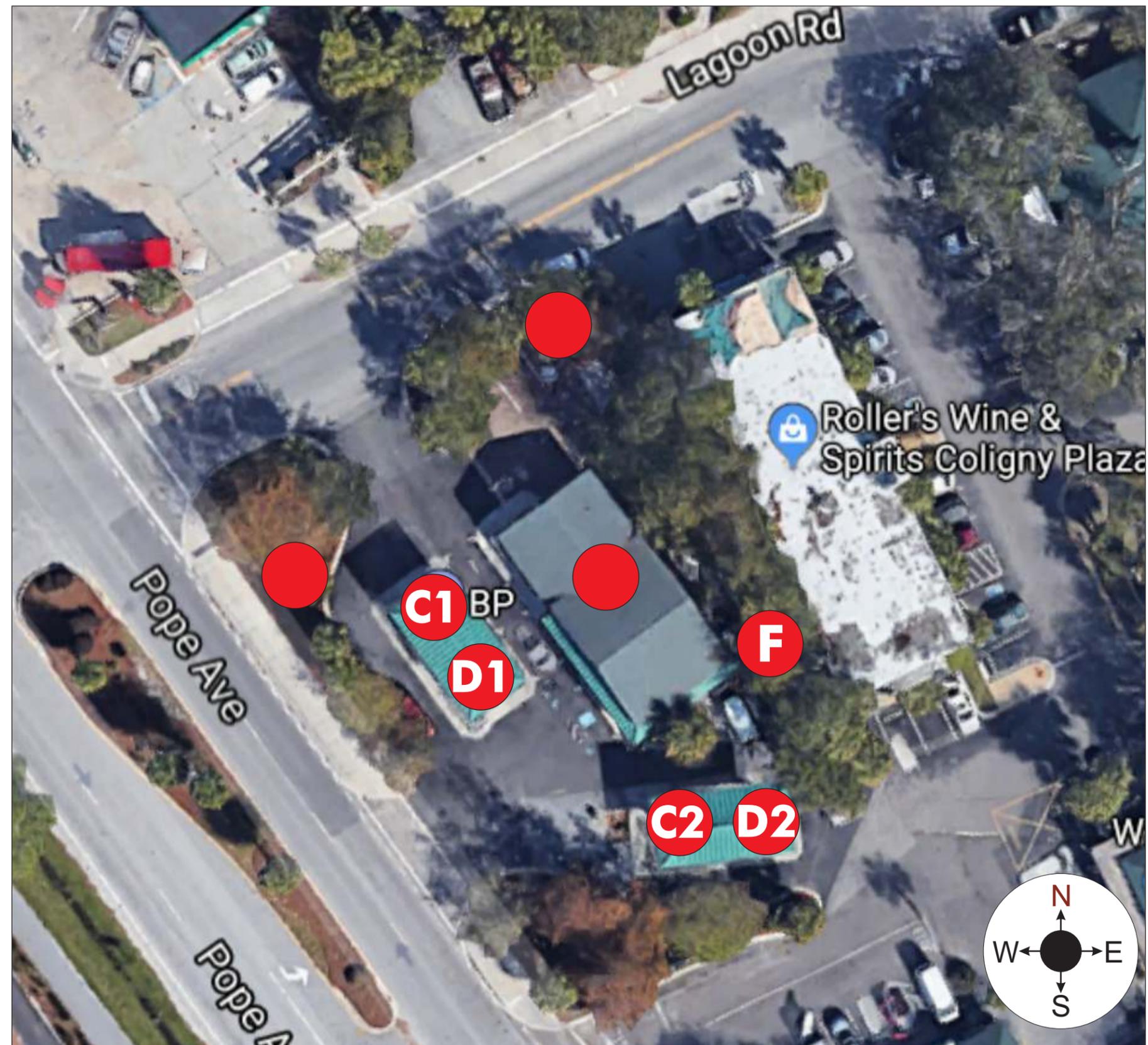
2 Lagoon Rd
Hilton Head Island, SC
SITE# 2721650

DATE: 04/30/2020

FY21_CK_SHELL_2721650_HILTON HEAD ISLANDS_SC_H

CIRCLE K FUEL - SCOPE OF WORK

| | |
|-------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>A MID</p> | <ul style="list-style-type: none"> • Reface existing BP/Kangaroo faces with new Sandblasted CK non-illuminated wood sign • Install new Unleaded pricer Sandblasted non-illuminated wood sign with track fonts • Re-paint the address portion of the sign to match City Code |
| <p>B BUILDING</p> | <ul style="list-style-type: none"> • Install new Circle K non-illuminated wooden building signs • Paint the green roof portions of the building to Nuthatch • Paint bollards to Circle K specifications • The Ice Coolers are not in the scope of work. |
| <p>C1 & 2 CANOPY -1&2</p> | <ul style="list-style-type: none"> • NO ACM TO BE INSTALLED • City restriction do not allow ACM on Canopy • Canopy to be painted Neutral Ground |
| <p>D DISPENSERS & FORECOURT</p> | <ul style="list-style-type: none"> • Reimage dispensers to fuel brand specifications • Paint columns & islands to according to City guidelines • Paint bollards according to City guidelines • Install pump flags according to City guidelines |
| | |
| | |



SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

Site Overview

CIRCLE K FUEL - SCOPE OF WORK

A
MID

- Reface existing BP/Kangaroo faces with new Sandblasted CK non-illuminated wood sign
- Install new Unleaded pricer Sandblasted non-illuminated wood sign with track fonts
- Re-paint the address portion of the sign to match City Code

- GLIDDEN A0273 RED EARTH
- SW 7568 NEUTRAL GROUND
- SW 6643 YAM
- SW 6085 SIMPLIFY BEIGE
- SW 7041 VAN DYKE BROWN

EXISTING

TBD

Sq.Ft



PROPOSED

TBD

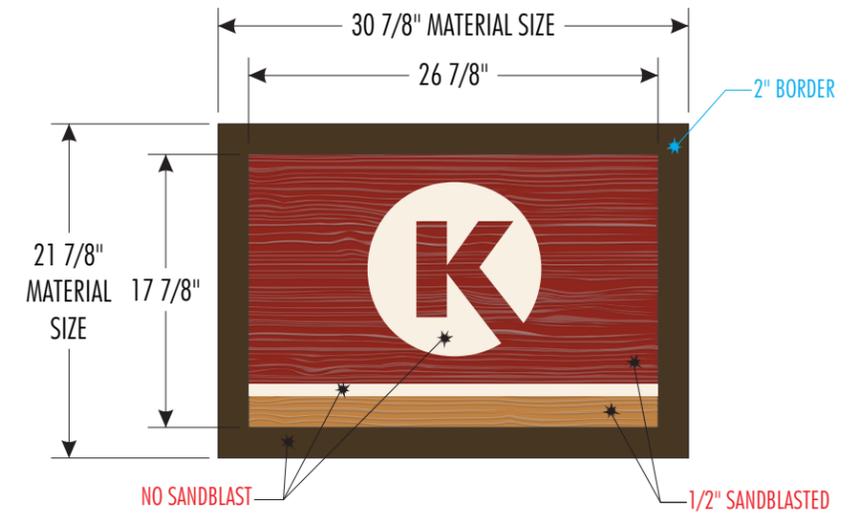
Sq.Ft



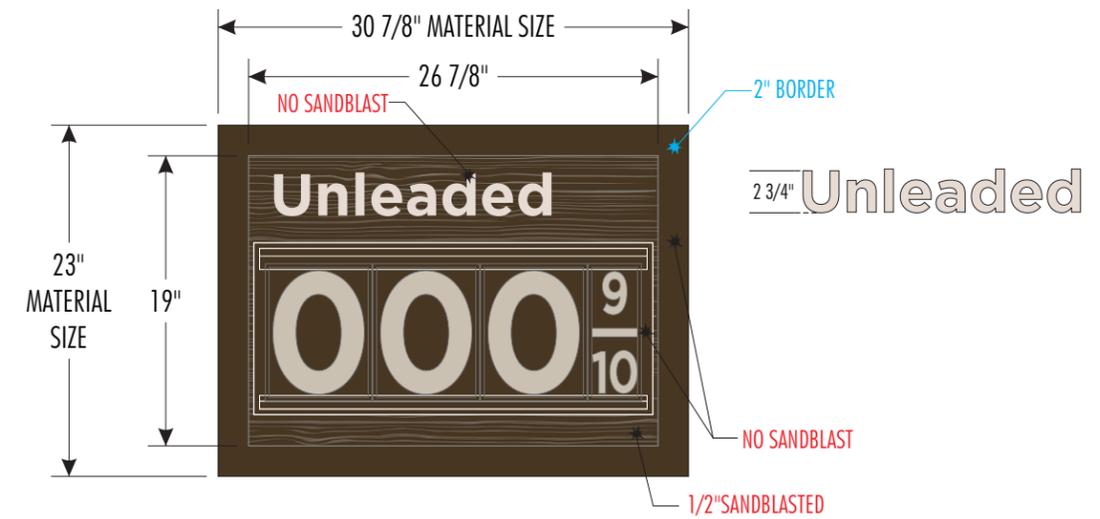
EXISTING TRACK PRICER UNSPECIFIED
(subject to confirmation)

PROPOSED 8" TRACT FONTS W/ 9"x7" PLATE

SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING



SANDBLASTED WOOD SIGN



SANDBLASTED WOOD SIGN

SCOPE OF WORK

^B BUILDING FRONT

- Install new Circle K non-illuminated wooden building signs
- Paint the green roof portions of the building to Nuthatch
- Paint bollards to Circle K specifications
- The Ice Coolers are not in the scope of work.

| | |
|---|-------------------------|
| ■ | GLIDDEN A0273 RED EARTH |
| ■ | SW 7568 NEUTRAL GROUND |
| ■ | SW 6643 YAM |
| ■ | SW 6085 SIMPLIFY BEIGE |
| ■ | SW 7041 VAN DYKE BROWN |
| ■ | SW 6088 NUTHATCH |



EXISTING

27.65 Sq.Ft



PROPOSED

27.65 Sq.Ft



SCOPE OF WORK

^B BUILDING REAR & SIDES

- Install new Circle K non-illuminated wooden building signs
- Paint the green roof portions of the building to Nuthatch
- Paint bollards to Circle K specifications
- The Ice Coolers are not in the scope of work.

| |
|-------------------------|
| GLIDDEN A0273 RED EARTH |
| SW 7568 NEUTRAL GROUND |
| SW 6643 YAM |
| SW 6085 SIMPLIFY BEIGE |
| SW 7041 VAN DYKE BROWN |
| SW 6088 NUTHATCH |



* SURVEY REQUIRED TO CONFIRM SIZE NEEDED ON THIS ELEVATION

EXISTING

23.75 Sq.Ft



PROPOSED

23.75 Sq.Ft



SCOPE OF WORK

^B BUILDING REAR & SIDES

- Install new Circle K non-illuminated wooden building signs
- Paint the green roof portions of the building to Nuthatch
- Paint bollards to Circle K specifications
- The Ice Coolers are not in the scope of work.

| |
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| SW 7568 NEUTRAL GROUND |
| SW 6643 YAM |
| SW 6085 SIMPLIFY BEIGE |
| SW 7041 VAN DYKE BROWN |
| SW 6088 NUTHATCH |

EXISTING



PROPOSED



SCOPE OF WORK

C1&2

CANOPY-1&2

- NO ACM TO BE INSTALLED
- City restriction do not allow ACM on Canopy
- Canopy to be painted Neutral Ground

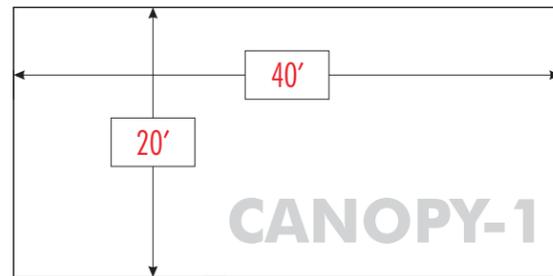
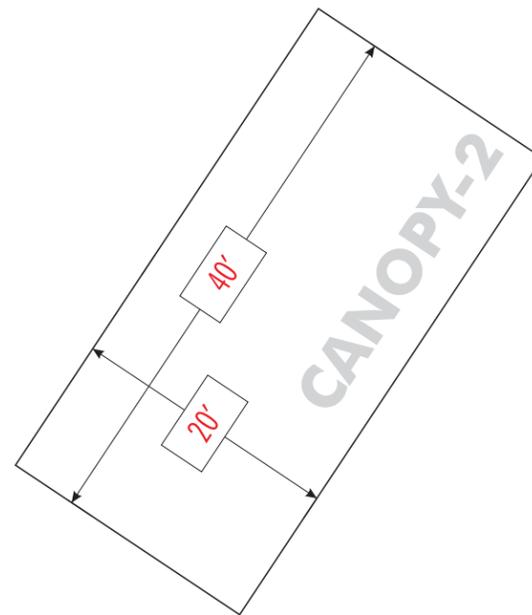


SITE OVERVIEW

tbd

HEIGHT OF ACM

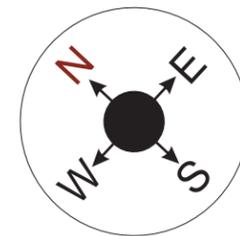
BUILDING SIDE



Lagoon Rd

MIDT

Pope Ave



SCALE 1:350

EXISTING



EXISTING



NOT IN SCOPE OF WORK

SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING

CIRCLE K FUEL - SCOPE OF WORK

^D DISPENSERS & FORECOURT

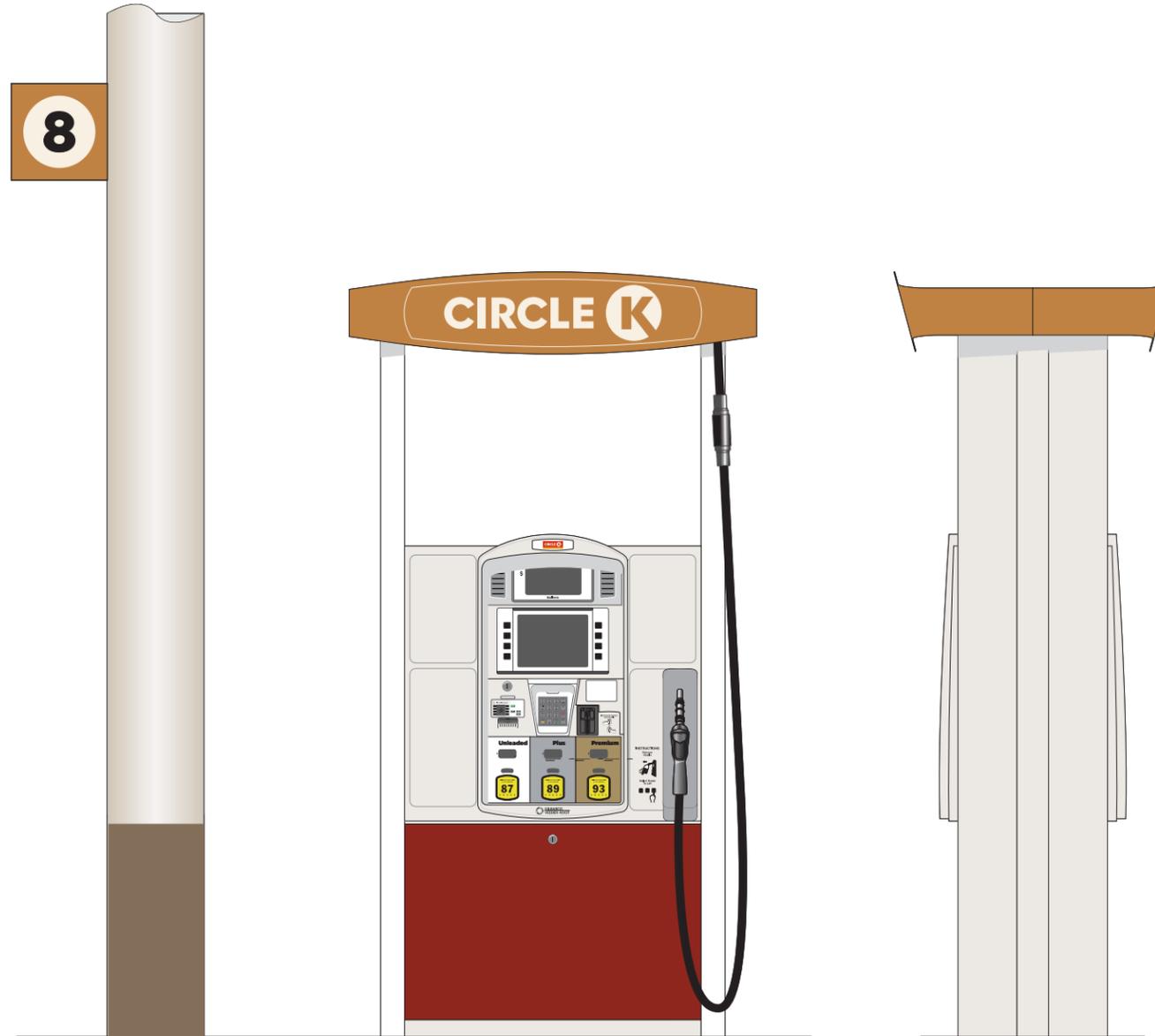
- Reimage dispensers to fuel brand specifications
- Paint columns & islands according to City guidelines
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- GLIDDEN A0273 RED EARTH
- SW 7568 NEUTRAL GROUND
- SW 6643 YAM
- SW 6088 NUTHATCH

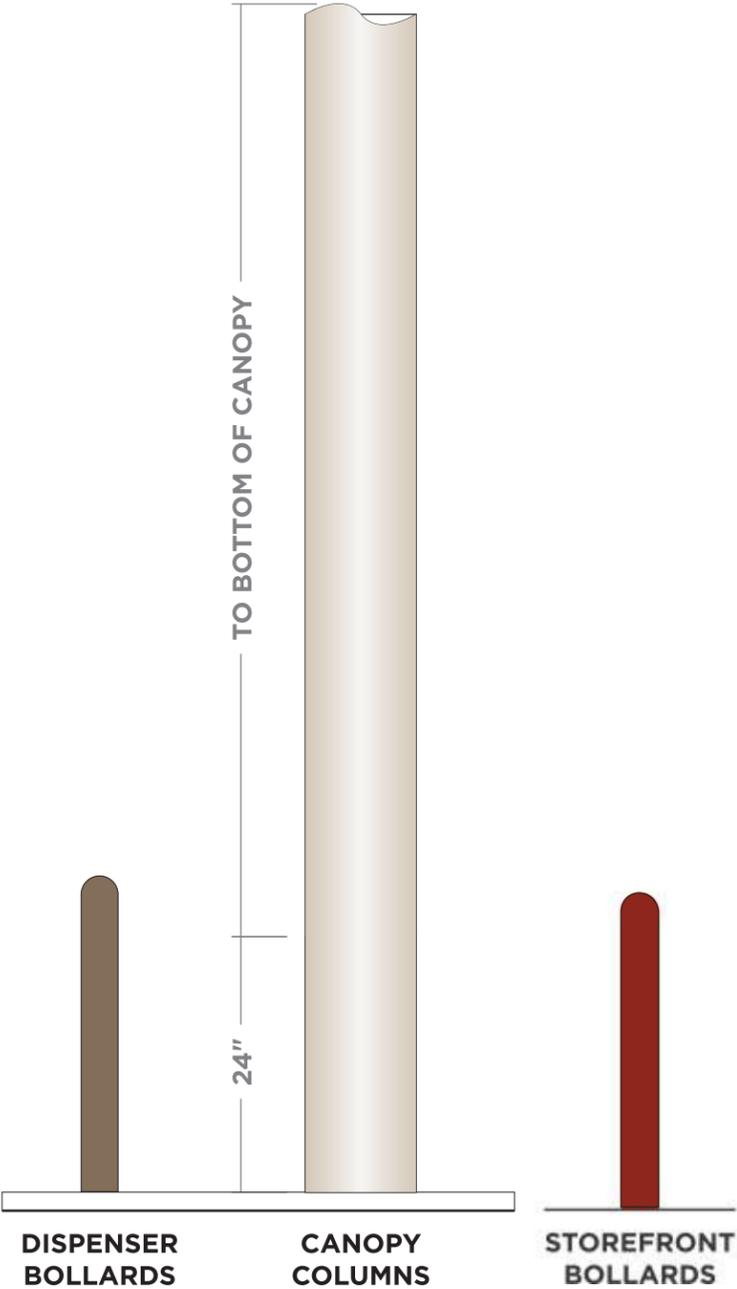
EXISTING



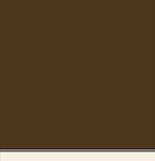
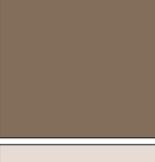
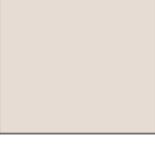
PROPOSED

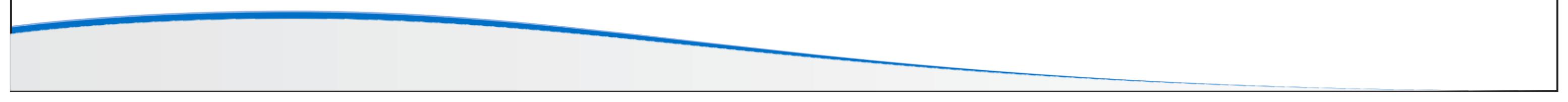


BUILDING PAINT NOT IN SCOPE OF WORK



Circle K - City required color variation:

| Sample | Description | Applied to |
|------------------------------------------------------------------------------------|-----------------------------------------------|----------------------------------------------------|
|  | Glidden Red Earth A0273 | Building Sign Fascia Car Wash |
|  | SW Yam SW 6643 | Building Sign Fascia Column Flags |
|  | Van Dyke Brown Sherwin Williams SW 7041 | Diesel Door Skin CK Pricer (Diesel) |
|  | Neutral Ground Sherwin Williams SW 7568 | Buildings 30" above grade to top of fascia |
|  | Nuthatch Sherwin Williams SW 6088 | Buildings 30" to grade Bollards Enclosure |
|  | Simplify Beige SW 6085 | Dispensers Columns Air Pump |



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Circle K

DRB#: DRB-1210-2020

DATE: June 16, 2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Modifications are limited to pump and sign rebranding. Building and canopy color changes are not approved. Freestanding sign color is also not approved.
2. Changeable copy maximum height is 8 inches.
3. Bollards and curbing are to match the stucco building color on building /columns.

ARCHITECTURAL DESIGN

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|-------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Structure is designed to be appropriate to the neighborhood | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The proposed modification to the trim, canopy and sign structure colors is not in keeping with the character of the surrounding Coligny development or with other elements on the building such as the storefront. The existing green roof and detailing is consistent with the surrounding development and other details on the site. |



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

| | |
|------------------------------|-------|
| FOR OFFICIAL USE ONLY | |
| Date Received: | _____ |
| Accepted by: | _____ |
| DRB #: | _____ |
| Meeting Date: | _____ |

Applicant/Agent Name: Pat Rocca Company: Signarama Hilton Head
 Mailing Address: 1533 Fording Island Rd, Ste 322 City: Hilton Head State: SC Zip: 29926
 Telephone: 843-817-8881 Fax: _____ E-mail: info@signarama-hhi.com
 Project Name: Goodwill Project Address: 1016 William Hilton Parkway
 Parcel Number [PIN]: R 55201500001530000 _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

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Additional Submittal Requirements:

Alterations/Additions

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- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

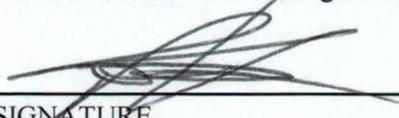
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Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

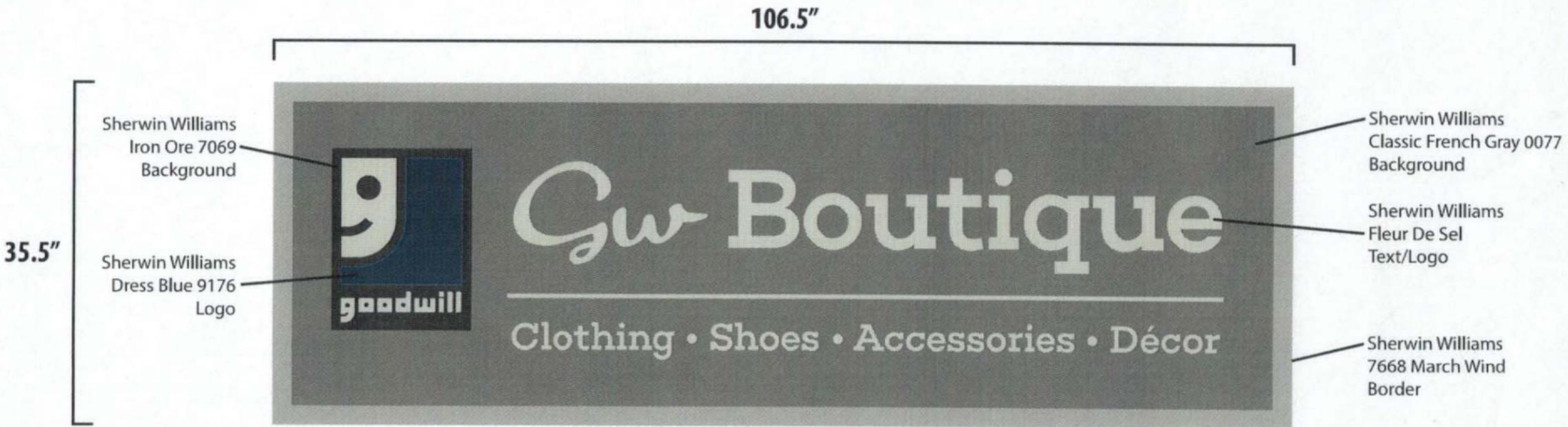
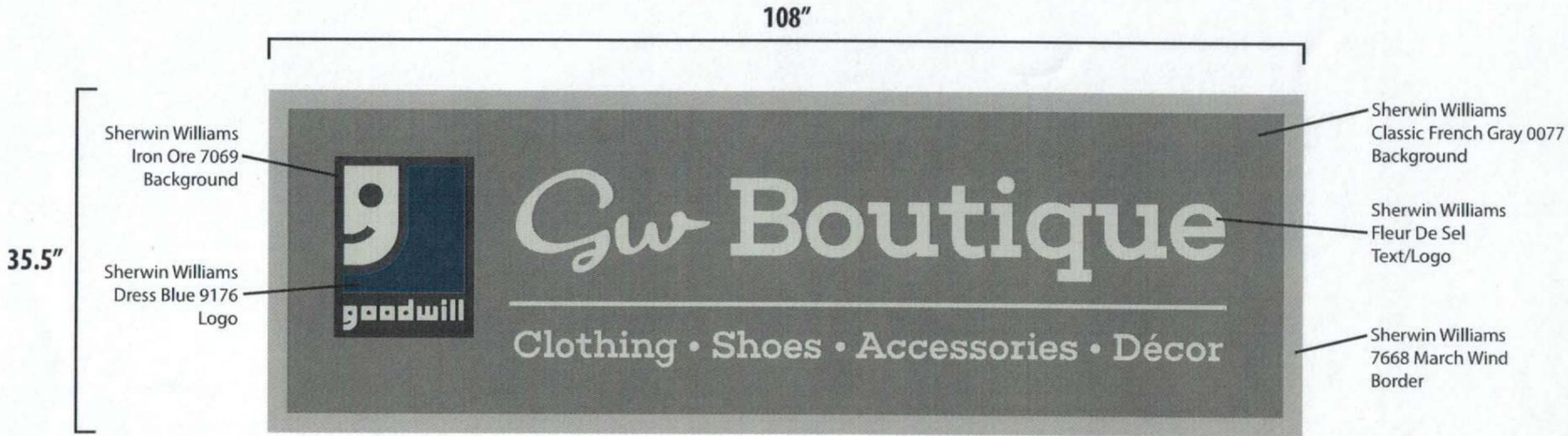


SIGNATURE

June 09/2020

DATE





Signarama SIGNARAMA-HHI.COM
The way to grow your business.

1533 Fording Island Road, Suite 322 HH, SC 29926 | (843) 837-8881

START DATE: 09-12-2019
INSTALL DATE: xx-xx-xxxx
CONTACT: xxxx
CUSTOMER: Goodwill
FILE NAME: Goodwill_WHPSignage_001-V8.pdf

OPTION: 001-V8
SIGN TYPE: 1.5" HDU Panels
ILLUMINATION: N
INSTALL ADDRESS: HHI, SC 29928
1016 William Hilton Pkwy

SPECIFICATIONS:
1.5" HDU routed .25" deep
(smooth finish)

DESIGNER: DL

Notice: This drawing is an original design created by Signarama HHI Company, and is submitted for use in conjunction with this project only. This drawing cannot be duplicated, altered, or exhibited in any fashion without authorization from Signarama HHI Company. This drawing remains the property of Signarama HHI Company and any unauthorized use or exhibition will result in a design fee.
REQUIRED ELECTRICAL SERVICE TO SIGN LOCATION IS TO BE PROVIDED BY OTHERS

**GOLF
HEADQUARTERS
GOLF SHOP**

**GOLF
HEADQUARTERS
GOLF SHOP**

1016

1016



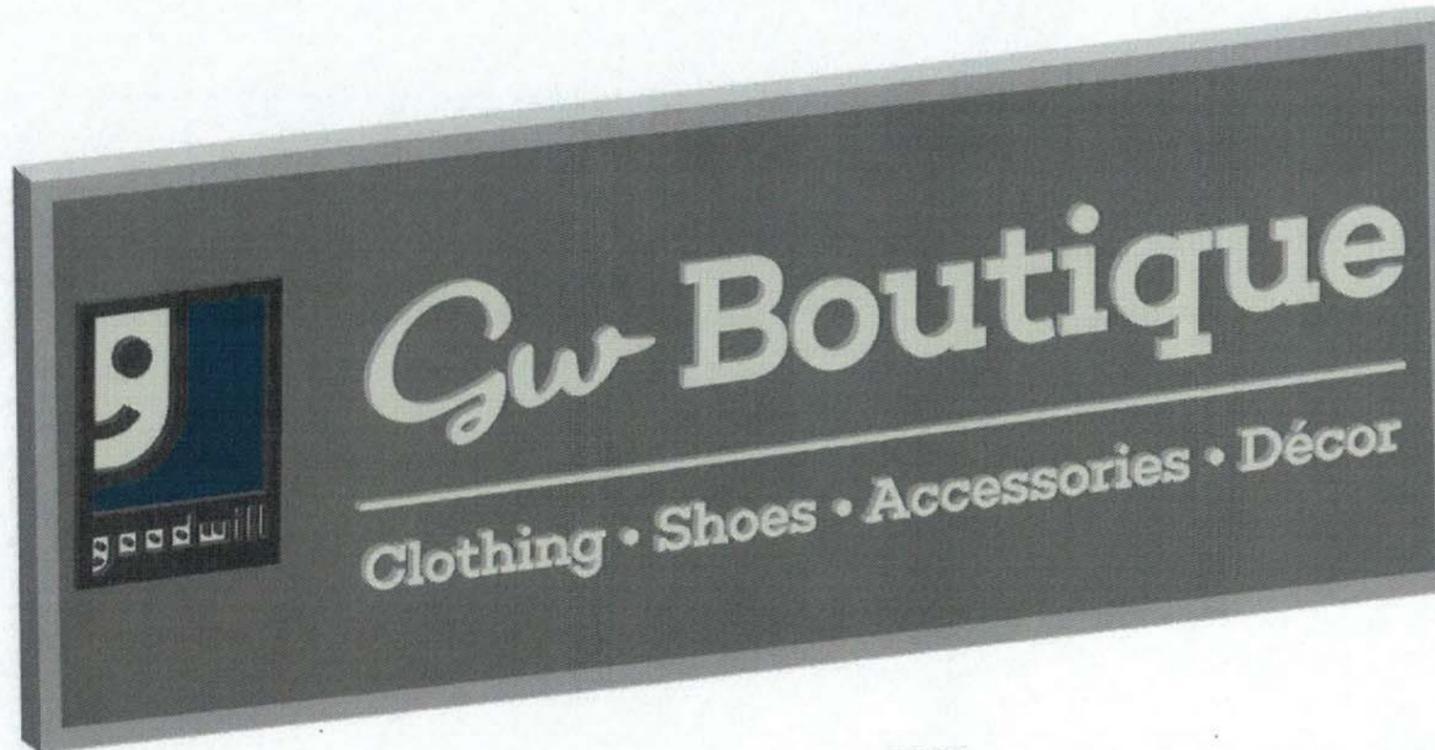
Goodwill Boutique

Clothing • Shoes • Accessories • Décor



Goodwill Boutique

Clothing • Shoes • Accessories • Décor



64.5"

25.5"

Sherwin Williams
Classic French Gray 0077
Background

Sherwin Williams
Iron Ore 7069

Sherwin Williams
Dress Blue 9176

Sherwin Williams
Fleur De Sel
Text/Logo

Sherwin Williams
7668 March Wind
Border



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1533 Fording Island Road, Suite 322 HH, SC 29926 | (843) 837-8881

START DATE: 09-12-2019
INSTALL DATE: xx-xx-xxxx
CONTACT: xxxx
CUSTOMER: Goodwill
FILE NAME: Goodwill_BuildingSignage_002-V7.pdf

OPTION: 002-V7
SIGN TYPE: 1.5" HDU Panels
ILLUMINATION: N
INSTALL ADDRESS: HHI, SC 29928
1016 William Hilton Pkwy

SPECIFICATIONS:
1.5" HDU routed .25" deep
(smooth finish)

DESIGNER: DL

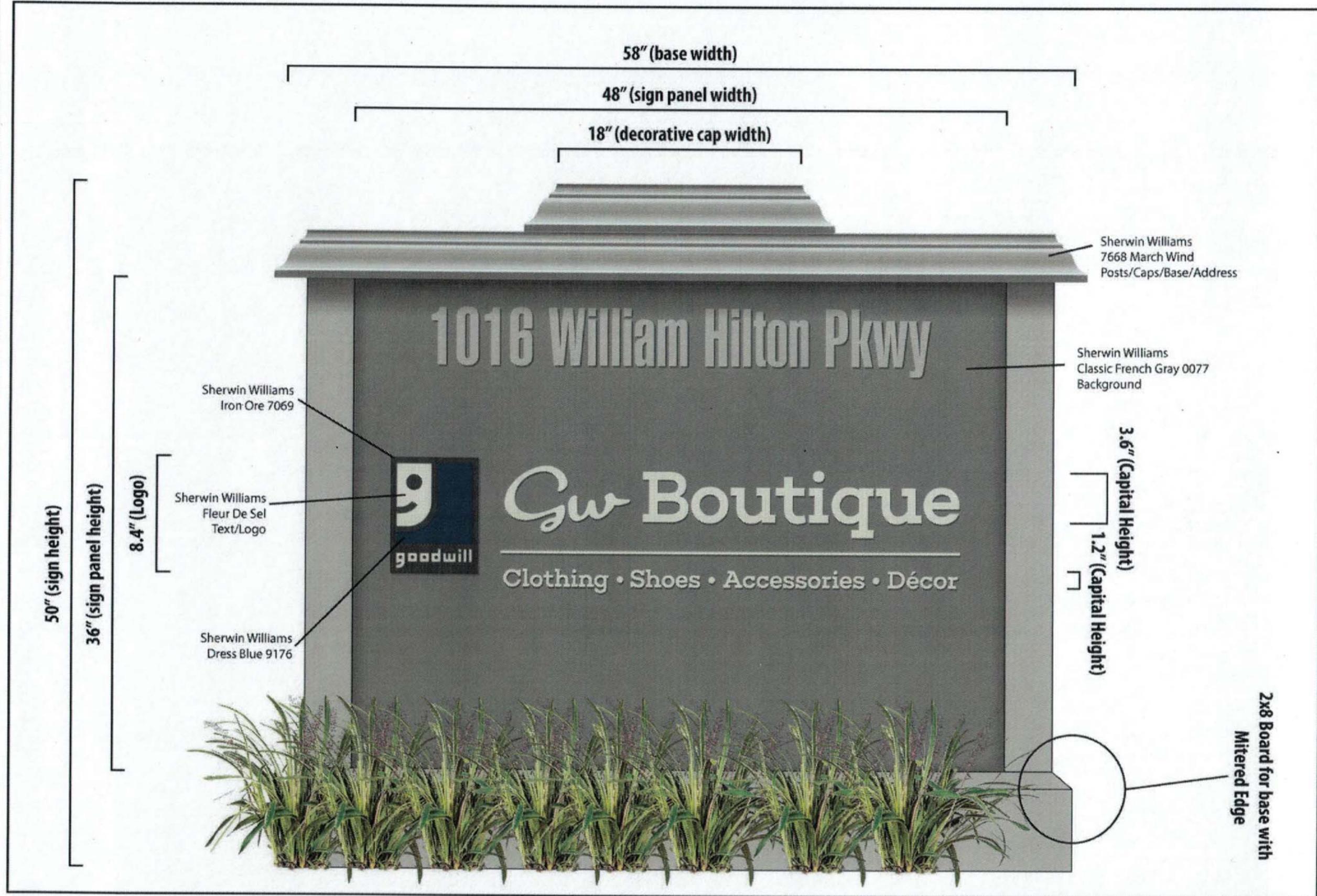
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GOLF
HEADQUARTERS
GOLF SHOP



9 Club Boutique
Country Club



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The way to grow your business.

1533 Fording Island Road, Suite 322 HH, SC 29926 | (843) 837-8881

START DATE: 09-12-2019
INSTALL DATE: xx-xx-xxxx
CONTACT: xxxx
CUSTOMER: Goodwill
FILE NAME: Goodwill_RoadsideSignage_004-V9.pdf

OPTION: 004-V9
SIGN TYPE: Monument Signage
ILLUMINATION: N
INSTALL ADDRESS: HHI, SC 29928
1016 William Hilton Pkwy

SPECIFICATIONS:
2 Routed .75" MDO panels mounted
between 4x4 posts fixed on two 4x4
posts capped with a 4x4 post and a
2x4 post with decorative trim
DESIGNER: DL

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Goodwill Signage

DRB#: DRB-001196-2020

DATE: June 15, 2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The background shall be a woodgrain texture rather than smooth finish.
2. Delete the border around the address.
3. Planter shall be planted with Ophiopogon japonicas, Mondo Grass, 1 gallon container, 12 inches on center or equivalent to be approved by staff.
4. Power wash unchanged parts of monument.
5. Entrance and exit signs shall be painted to match the monument sign.



Town of Hilton Head Island
Community Development Department
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 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

| | |
|------------------------------|-------|
| FOR OFFICIAL USE ONLY | |
| Date Received: | _____ |
| Accepted by: | _____ |
| DRB #: | _____ |
| Meeting Date: | _____ |

Applicant/Agent Name: Anne Cyran Company: Town of Hilton Head Island
 Mailing Address: One Town Center Court City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-341-4697 Fax: _____ E-mail: annec@hiltonheadislandsc.gov
 Project Name: Cordillo Tennis Courts Project Address: 104 Cordillo Parkway
 Parcel Number [PIN]: R 552 015 000 0204 0000
 Zoning District: PR Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

| | |
|---------------------------------------------------------------------------|----------------------------------------------|
| <input type="checkbox"/> Concept Approval – Proposed Development | <input type="checkbox"/> Alteration/Addition |
| <input checked="" type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

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Additional Submittal Requirements:

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- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

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- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

June 9, 2020
DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Cordillo Tennis Courts Phase 2 **PROJECT #:** DRB-000991-2020
PROJECT ADDRESS: 104 Cordillo Parkway
CATEGORY: New Development – Conceptual
ACTION DATE: May 29, 2020 **NOTICE DATE:** June 4, 2020
APPLICANT/AGENT: Anne Cyran, Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928
Email: annec@hiltonheadislandsc.gov

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. The conditions described in the attached Exhibit A – Design Team/DRB Comment Sheet shall be addressed in the Final application.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

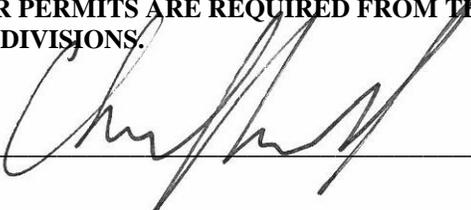
BY:  _____, Urban Designer

EXHIBIT A

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Cordillo Tennis Courts

DRB#: DRB-000991-2020

DATE: 05/19/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: Approval with Staff comments.

ARCHITECTURAL DESIGN

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|---------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|------------------------------------------------------------------------------|
| Utilizes natural materials and colors | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide a color board at Final. |
| Decorative lighting is limited and low wattage and adds to the visual character | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Any planned site lighting / parking lot lighting shall be approved at Final. |

LANDSCAPE DESIGN

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|--------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|------------------------------------|
| Treats the Landscape as a major element of the project | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide a landscape plan at Final. |

NATURAL RESOURCE PROTECTION

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|---------------------------------------------------------------------------------------|--------------------------|-------------------------------------|-------------------------------------|------------------------------------------------------------|
| An effort has been made to preserve existing trees and under story plants | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Provide a tree protection plan at Final. |
| Supplemental and replacement trees meet LMO requirements for size, species and number | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Planting plan shall include required tree planting if any. |

Cordillo Courts Park

Project Narrative

The Town of Hilton Head Island recently resurfaced the tennis courts at Cordillo Courts Park. Phase 2 of this upgrade to the existing facilities is the construction of a restroom, shelter and storage building to facilitate organized activities at this park.



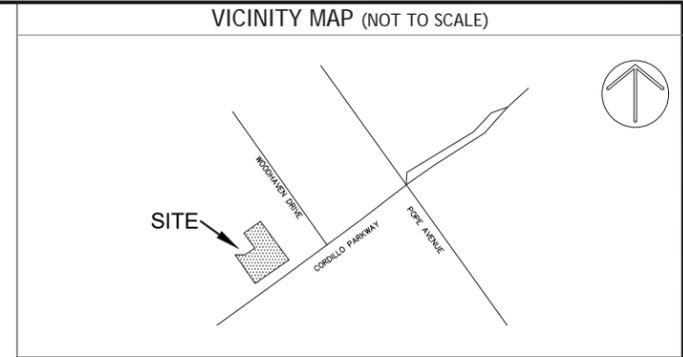






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SITE DEVELOPMENT PLANS FOR CORDILLO TENNIS COURTS - PHASE 2 TOWN OF HILTON HEAD, SOUTH CAROLINA



GENERAL NOTES:

- BOUNDARY INFORMATION PROVIDED BY AN ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF A PORTION OF #104 CORDILLO PARKWAY, DATED 06/24/19, BY ATLAS SURVEYING, INC.
- TOPOGRAPHIC DATA PROVIDED BY ATLAS SURVEYING, INC. DATED 06/24/19.
- APPROXIMATE LOCATION OF CERTAIN EXISTING UNDERGROUND UTILITY LINES AND STRUCTURES ARE SHOWN ON THE PLANS FOR INFORMATION ONLY. ADDITIONAL UNDERGROUND LINES OR STRUCTURES MAY EXIST THAT ARE NOT SHOWN. CALL SOUTH CAROLINA 811 AT 811 OR 1-888-721-7877 BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THRU FRIDAY AT LEAST THREE WORKING DAYS BEFORE COMMENCING CONSTRUCTION. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND NEAR THE CONSTRUCTION SITE.
- COMPLY WITH SOUTH CAROLINA UNDERGROUND FACILITY DAMAGE PREVENTION ACT (EFFECTIVE JUNE 7, 2012). NOTIFICATION OF INTENT TO EXCAVATE MAY BE GIVEN BY CALLING THE TOLL FREE NUMBER: 1-800-922-0983.
- PROTECT BENCH MARKS AND PROPERTY MONUMENTS FROM DAMAGE DURING CONSTRUCTION OPERATIONS. REPLACE ANY BENCH MARKS OR MONUMENTS DAMAGED OR DESTROYED AS A RESULT OF CONTRACTOR'S OPERATIONS, AT NO COST TO THE OWNER, BY A LICENSED SURVEYOR IN THE STATE OF SOUTH CAROLINA.
- OFF-STREET PARKING FOR THE CONTRACTOR'S EMPLOYEES AND AUTHORIZED VISITORS TO THE SITE MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO WEIGHT LIMITS PRESCRIBED FOR ALL PUBLIC ROADS WHEN HAULING EQUIPMENT AND MATERIALS TO AND FROM THE PROJECT SITE. DAMAGES TO EXISTING PAVEMENT DUE TO THE CONTRACTOR'S CONSTRUCTION OPERATIONS OR IMPROPER TRANSPORTATION OF MATERIALS AND EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- AT LEAST ONE DRIVING LANE ON PUBLIC ROADS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. TRAFFIC LANES WILL ONLY BE CLOSED WITH THE EXPRESS WRITTEN CONSENT OF THE AGENCY HAVING JURISDICTION OVER THE ROADWAY. NOTIFY AGENCY HAVING JURISDICTION AT LEAST 5 DAYS BEFORE CLOSING ANY DRIVING LANES TO TRAFFIC. PROVIDE TRAFFIC CONTROL DEVICES, SIGNS AND FLAGMEN AS REQUIRED TO ENSURE PUBLIC SAFETY.
- CONTRACTOR SHALL COORDINATE DEMOLITION, CLEARING AND CONSTRUCTION OF IMPROVEMENTS TO MINIMIZE INTERFERENCE WITH VEHICULAR AND PEDESTRIAN TRAFFIC AND WITH OPERATIONS OF EXISTING FACILITIES.

WATER AND SEWER LINE CONSTRUCTION:

- ALL WATER AND SEWER LINE CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND SOUTH ISLAND PUBLIC SERVICE DISTRICT AUTHORITY REQUIREMENTS, STANDARDS AND SPECIFICATIONS.
- SIPSD WILL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF ALL WATER AND SEWER SYSTEM CONSTRUCTION AND FOR ACCEPTANCE FOR OPERATION AND MAINTENANCE.
- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF ALL UTILITY OWNERS AND FOR FIELD VERIFICATION OF BOTH HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCING CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOTIFY THE PROJECT ENGINEER, IF CONFLICTS WITH EXISTING STRUCTURES REQUIRE THAT PROPOSED UTILITIES BE RELOCATED.
- THE CONTRACTOR MUST NOTIFY SIPSD FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION, INSPECTION OR TESTING OF THE WATER DISTRIBUTION SYSTEM.
- PIPE, FITTINGS, VALVES AND APPURTENANCES FOR WATER AND SEWER LINES SHALL ALL BE IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY TECHNICAL SPECIFICATIONS.
- INSTALLATION OF WATER AND SEWER LINES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL MECHANICAL RESTRAINTS ON ALL BENDS, PLUGS AND TEES, 2" OR LARGER, ON WATERLINES AND SANITARY SEWER FORCE MAINS.
- ALL WATER MAINS SHALL BE STERILIZED AND PRESSURE TESTED IN ACCORDANCE WITH SIPSD SPECIFICATIONS.
- SEPARATION OF WATER MAINS AND SEWERS:
 - PARALLEL INSTALLATION: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER MAINS AT LEAST 10'-FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER OR SANITARY SEWER FORCE MAIN, THE DISTANCE BEING MEASURED IN A HORIZONTAL PLANE BETWEEN THE OUTSIDE SURFACES OF THE PIPES.
 - CROSSINGS: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER LINES CROSSING SANITARY SEWERS OR SANITARY SEWER FORCE MAINS TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18-INCHES BETWEEN THE OUTSIDE SURFACES OF THE PIPES. THIS SHALL BE THE CASE WHETHER THE WATER LINE IS ABOVE OR BELOW THE SANITARY SEWER LINE. WHENEVER POSSIBLE LOCATE THE WATER LINE ABOVE THE SEWER LINE. WHERE A NEW WATER LINE CROSSES A NEW SEWER LINE, PLACE A FULL LENGTH OF DUCTILE IRON PIPE FOR BOTH THE WATER AND THE SEWER LINE AT THE CROSSING WITH BOTH PIPES POSITIONED SO THAT THE JOINTS ON EACH ARE AS FAR AS POSSIBLE FROM THE POINT OF CROSSING, WHERE A NEW WATER LINE CROSSES AN EXISTING SEWER LINE, PLACE ONE FULL LENGTH OF DUCTILE IRON PIPE WATER LINE SO THAT THE JOINTS ARE AS FAR FROM THE POINT OF CROSSING AS POSSIBLE.
- THE CONTRACTOR SHALL CUT AND PATCH EXISTING PAVEMENT AS REQUIRED FOR THE INSTALLATION OF UTILITY LINES.
- SANITARY MANHOLE RIM GRADES SHOWN ARE APPROXIMATE. ADJUST RIM ELEVATIONS TO BE FLUSH WITH FINISHED GRADE.
- THE CONTRACTOR UNDER THIS CONTRACT SHALL NOT MAKE ANY CONNECTIONS TO THE EXISTING WATER OR SANITARY SEWER SYSTEMS UNLESS EXPRESSLY AUTHORIZED BY THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY. ALL WATER AND SEWER IMPROVEMENTS UNDER THIS CONTRACT MUST BE CONSTRUCTED COMPLETE, TESTED, INSPECTED AND APPROVED BY THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY BEFORE ANY AUTHORIZATION TO CONNECT WILL BE GIVEN. COORDINATION OF TESTING, INSPECTION AND CONNECTIONS WITH THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY IS THE RESPONSIBILITY OF THE CONTRACTOR UNDER THIS CONTRACT.
- ALL WATER MAINS SHALL BE INSTALLED WITH THIRTY-SIX (36") MINIMUM COVER (FROM FINISHED GRADE). MAXIMUM DEPTH SHALL BE FIVE FEET (5'). WHERE WATER MAINS MAY CONFLICT WITH OTHER UTILITIES, THE WATER MAIN CROSSING SHALL BE CONSTRUCTED WITH DUCTILE IRON PIPE, MECHANICAL JOINT 45-DEG. BENDS AND MECHANICAL RESTRAINTS.

WORK ON SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY:

- CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS AND SPECIAL PROVISIONS CONTAINED IN THE SCOTD ENCROACHMENT PERMIT(S) ISSUED FOR THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING CONSTRUCTION NOTIFICATION FORM (48 HOUR MINIMUM) AND COORDINATION OF ALL WORK WITHIN SCOTD RIGHTS-OF-WAY WITH THE LOCAL AND/OR DISTRICT SCOTD ENGINEERING REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING AND SUBMITTING A TRAFFIC CONTROL PLAN TO SCOTD FOR APPROVAL. MINIMUM 48 HOURS PRIOR TO CONDUCTING WORK IN THE RIGHT-OF-WAY. ALL TRAFFIC CONTROL PLANS SHALL CONFORM TO CURRENT MUTCD AND CURRENT SCOTD GUIDELINES AND SPECIFICATIONS.
- ALL SIGNAGE, PAVEMENT MARKINGS, AND MARKERS SHALL CONFORM TO CURRENT MUTCD GUIDELINES AND CURRENT SCOTD STANDARD SPECIFICATIONS AND DRAWINGS.
- ALL PAVING AND DRAINAGE CONSTRUCTION SHALL CONFORM TO CURRENT SCOTD STANDARD SPECIFICATIONS AND DRAWINGS.
- ALL PAVEMENT MARKINGS IN SCOTD RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD GUIDELINES AND CURRENT SCOTD STANDARD SPECIFICATIONS AND DRAWINGS.
- REMOVAL OF PAVEMENT MARKINGS SHALL CONFORM TO CURRENT SCOTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION SECTION 609.4.1.2.

TREE PROTECTION-HILTON HEAD ISLAND

- ONLY THOSE TREES APPROVED FOR REMOVAL IN ACCORDANCE WITH THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE AND SO DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS. ALL TREES NOT DESIGNATED ON THE PLANS FOR REMOVAL MUST BE PRESERVED.
- THE CONTRACTOR IS RESPONSIBLE FOR MARKING THE TREES DESIGNATED TO BE PRESERVED AND THOSE TO BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN SECTION 16-6-104 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- PRIOR TO COMMENCING ANY CLEARING OR CONSTRUCTION OPERATIONS ON THE SITE, THE CONTRACTOR SHALL ERECT TREE PROTECTION BARRIERS AROUND EACH TREE OR GROUP OF TREES DESIGNATED FOR PRESERVATION IN ACCORDANCE WITH THE DETAILS ON THE PLANS AND THE REQUIREMENTS CONTAINED IN SECTION 16-6-104 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- A TREE PROTECTION ZONE SHALL BE ESTABLISHED IN ACCORDANCE WITH THE PROVISIONS CONTAINED IN SECTION 16-6-404 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE FOR EACH EXISTING TREE DESIGNATED FOR PRESERVATION. THE MINIMUM TREE PROTECTION ZONE SHALL BE THE TREE DISPLINE PLUS 1 FOOT. THE SIZE OR CONFIGURATION OF THE TREE PROTECTION ZONE MAY BE ADJUSTED AT THE DISCRETION OF THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR.
- THE AREA WITHIN A TREE PROTECTION ZONE MUST REMAIN OPEN AND UNPAVED. NO CHANGE OF GRADE WILL BE ALLOWED WITHIN THE TREE PROTECTION ZONE. ANY ACTIVITY WITHIN THE TREE PROTECTION ZONE IS SUBJECT TO APPROVAL BY THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION ZONE:
 - PLACEMENT OR STORAGE OF ANY SOIL, DEBRIS, OILS, FUEL, PAINTS, BUILDING MATERIALS OR ANY OTHER MATERIALS.
 - BURNING.
 - VEHICLE PARKING.
 - PAVING.
 - TRENCHING FOR UTILITIES.
 - WHERE UTILITY LINES MUST PASS THRU THE TREE PROTECTION ZONE, THEY SHALL BE INSTALLED BY HORIZONTAL BORING BENEATH THE ROOTS OF THE TREE.
 - WHERE IT IS NECESSARY FOR MACHINERY AND EQUIPMENT TO PASS WITHIN THE TREE PROTECTION ZONE, APPROVAL MUST BE OBTAINED FROM THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. SPECIAL MEASURES WILL BE REQUIRED TO PROTECT THE ROOTS FROM EXCESSIVE COMPACTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING A STAKING INSPECTION WITH THE TOWN OF HILTON HEAD ISLAND PRIOR TO CLEARING. THE FOLLOWING MUST BE COMPLETED BEFORE THE INSPECTION:
 - BUILDING EDGES, SIDEWALKS, PAVED AREAS AND UTILITY LINES STAKED.
 - TREE PROTECTION BARRIERS INSTALLED.
 - TREES TO BE PRESERVED MARKED WITH BLUE FLAGGING AND THOSE TO BE REMOVED MARKED WITH RED FLAGGING.
 - ALL SILT FENCE INSTALLED PER THE APPROVED PLAN.

SITE GRADING AND DRAINAGE:

- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 72-HOUR NOTICE TO ALL RESPECTIVE UTILITY COMPANIES FOR FIELD VERIFICATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SEQUENCING AND CONSTRUCTION TECHNIQUES SHALL PREVENT OBSTRUCTION OF STORM SEWERS, PONDING IN TRAFFIC AREAS OR RISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
- FULL WIDTH OF STREET AND ROAD RIGHTS-OF-WAY MUST BE CLEARED AND GRADED AS SHOWN IN THE DETAILS ON THE DRAWINGS.
- SUBGRADE PREPARATION: TOP SOIL SHALL BE REMOVED FROM PAVED AREAS TO A MINIMUM DEPTH AS RECOMMENDED IN THE PROJECT'S GEOTECHNICAL REPORT. ALL EXCAVATION SHALL BE TO SUBGRADE LIMITS.
- ALL UTILITY PIPE LINES, CONDUITS AND SLEEVES UNDER PAVED AREAS MUST BE IN PLACE PRIOR TO COMPLETION OF THE ROADWAY SUBGRADE COMPACTION.
- FINISH GRADING SHALL INCLUDE THE PLACEMENT OF TOPSOIL OVER ALL UNPAVED AREAS NOT OCCUPIED BY BUILDINGS OR STRUCTURES AND FINE GRADING AROUND BUILDINGS, ADJACENT TO WALKS, CURBS, GUTTERS AND STRUCTURES TO ASSURE POSITIVE DRAINAGE.

SCDHEC/OCRM SEDIMENT AND EROSION CONTROL STANDARD NOTES (REVISED DEC-2012):

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY INSTALLED, THE PERMITEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
 - PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF DAYS ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
 - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
 - THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
 - RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
 - TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
 - ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
 - UTILITIES, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
 - INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
 - MINIMIZE SOIL COMPACTION AND, UNLESS INEVITABLE, PRESERVE TOPSOIL.
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BARRIERS (SEDIMENT BASIN, FILTER BAG, ETC.).
 - THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE.
 - AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
 - EXISTING BMPs NEED TO BE MODIFIED OR NEW BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
 - A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES FOR NON-LINEAR PROJECTS THAT DISTURBS 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

DRY UTILITY CONDUITS FOR ELECTRIC, TELEPHONE AND CABLE TV:

- ALL DRY UTILITY CONDUIT ENDS SHALL BE CAPPED AND MARKED WITH A STEEL REBAR STAKE IMBEDDED ONE (1) FOOT BELOW GROUND SURFACE.
- 48" MINIMUM BURY DEPTH FOR ALL ELECTRICAL CONDUITS.
- ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS.
- MAINTAIN MINIMUM 12" VERTICAL CLEARANCE WHEN CROSSING WATER, SEWER, AND STORM DRAIN LINES.
- MAINTAIN MINIMUM 18" HORIZONTAL CLEARANCE WHEN PARALLELING WATER, SEWER AND STORM DRAIN LINES.
- EXTEND CONDUIT BEYOND PAVEMENT, CURB, AND SIDEWALKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS, REFER TO APPROVED BUILDING PLANS FOR THE EXACT LOCATION OF ALL SERVICE CONNECTIONS. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARDS TO THE INSTALLATION OF UTILITIES AND CONDUIT.
- LOCATIONS SHOWN ON THE PLANS FOR PROPOSED DRY UTILITY CONDUITS ARE APPROXIMATE ONLY. ALL DIMENSIONING AND STAKING SHOULD BE BASED ON ECONOMICAL AND PRACTICAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE RESPECTIVE UTILITY REPRESENTATIVES, PRIOR TO ANY CONDUIT INSTALLATION.
- TRANSFORMER PADS SHALL BE LOCATED AS DIRECTED BY THE RESPECTIVE UTILITY REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.
- NOTIFY THE ENGINEER IF CONFLICTS WITH EXISTING OR PROPOSED STRUCTURES REQUIRE PROPOSED UTILITIES BE RELOCATED.

SITE CLEARING AND DEMOLITION:

- NO CLEARING SHALL OCCUR WITHIN DESIGNATED BUFFER ZONES, TREE PROTECTION ZONES, OUTSIDE OF THE PROPERTY LINES OR BEYOND THE CLEARING LIMITS UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS.
- ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS.
- THE CONTRACTOR SHALL INSTALL A CONTINUOUS LINE OF FLAGGING OR FENCING ALONG THE LIMITS OF CLEARING PRIOR TO IMPLEMENTING ANY FIELD CLEARING, DEMOLITION, OR CONSTRUCTION WORK ON THE PROJECT.
- EXERCISE CAUTION DURING CLEARING OPERATIONS TO AVOID FELLING TREES INTO DESIGNATED TREE PROTECTION ZONES.
- NO BURNING WILL BE ALLOWED WITHIN 50 FEET OF A TREE PROTECTION ZONE OR TREE DRIP LINE. CONTRACTOR SHALL COORDINATE ANY BURNING CONDUCTED IN ACCORDANCE WITH THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- SELECTIVE CLEARING AREAS SHALL BE CLEARED OF ALL BRUSH AND UNDERSTORY GROWTH.

UTILITY CONTACTS:

| | |
|--------------|--------------------------------------------|
| 843-208-5512 | 1 COOPERATIVE WAY, HARDEVILLE, SC 29927 |
| 800-251-7234 | PO BOX 100255 COLUMBIA, SC 29202 |
| 843-785-6224 | PO BOX 5148, HILTON HEAD, SC 29938 |
| 843-815-1675 | PO BOX 3380, BLUFFTON, SC 29910 |
| 843-913-7940 | 11 OFFICE PARK ROAD, HILTON HEAD, SC 29928 |
| 843-528-0044 | 2127 BOUNDARY ST #16, BEAUFORT, SC 29902 |
| 843-761-8000 | 1 RIVERWOOD DRIVE, MONCKS CORNER, SC 29841 |

PROJECT INFORMATION

DEVELOPER:
TOWN OF HILTON HEAD ISLAND
1 TOWN CENTER COURT
HILTON HEAD ISLAND, SC 29928

PROPERTY OWNER:
TOWN OF HILTON HEAD ISLAND
1 TOWN CENTER COURT
HILTON HEAD ISLAND, SC 29928

SOURCE OF TITLE:
BEAUFORT COUNTY REGISTER OF DEEDS,
DEED BOOK 1630 PAGE 1978

PROJECT STREET ADDRESS:
104 CORDILLO PKWY

PROPERTY IDENTIFICATION NO.:
County I.D. #R552 015 000 0204 0000

DEVELOPMENT PERMIT JURISDICTION:
TOWN OF HILTON HEAD ISLAND

PROPERTY ZONING:
PARKS AND RECREATION (PR)

VERTICAL CONTROL DATUM:
NGVD29

REQUIRED SETBACKS:
REAR: 25 FEET
SIDE: 25 FEET

SURFACE COVERAGE:
EXISTING IMPERVIOUS: 37,290 SQ. FT. (58 %)
PROPOSED IMPERVIOUS: 37,280 SQ. FT. (58 %)

PARKING SUMMARY:
PARKING USE TYPE:
USE TYPE = COMMUNITY SERVICE USAGE
EXISTING PARKING:
TOTAL = 6 SPACES
TOTAL = 6 SPACES
ACCESSIBLE PARKING REQUIRED: 1 SPACE
ACCESSIBLE PARKING PROVIDED: 1 SPACE

DESIGN TEAM

LAND SURVEYOR:
ATLAS SURVEYING, INC
843.645.9277

ARCHITECT:
FWA GROUP
843-785-2199

| PERMITS | | | |
|------------------|----------|--------|---------|
| PERMIT | PERMIT # | ISSUED | EXPIRES |
| SOUTH ISLAND PSD | | | |
| MS4 STORMWATER | | | |
| TOHH DEVELOPMENT | | | |
| | | | |
| | | | |

SCHEDULE OF DRAWINGS

| SHEET NO. | DESCRIPTION |
|-----------|----------------------------------------------|
| C001 | COVER SHEET & CONSTRUCTION NOTES |
| C101 | EXISTING CONDITIONS PLANS |
| C201 | CLEARING, DEMOLITION & EROSION CONTROL PLANS |
| C301 | SITE LAYOUT & PAVING PLANS |
| C401 | UTILITY & GRADING PLANS |
| C501 | CONSTRUCTION DETAILS |

RELEASE SCHEDULE

| RELEASE NO. | DESCRIPTION | DATE |
|-------------|-------------------------|-----------|
| A. | RELEASED FOR PERMITTING | 4-23-2020 |

SEQUENCE OF CONSTRUCTION ACTIVITIES

- ESTIMATED START DATE: 6-1-2020 ESTIMATED COMPLETION DATE: 8-31-2020
ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.
- PHASE 1: (INITIAL)**
- RECEIVE NPDES COVERAGE FROM DHEC.
 - ROUGH GRADING.
 - NOTIFY DHEC EDC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
 - INSTALLATION OF CONSTRUCTION ENTRANCE.
 - CLEARING & GRUBBING ONLY NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
 - INSTALLATION OF PERIMETER CONTROLS (E.G. SILT FENCE).
 - INSTALL TREE PROTECTION.
- PHASES 2 & 3: (INTERMEDIATE & FINAL)**
- CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
 - ROUGH GRADING.
 - INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED.
 - INSTALL ALL REQUIRED UTILITIES AND CURBING.
 - FINE GRADING, PAVING, ETC.
 - PLACE TOPSOIL & ESTABLISH FINISH GRADES.
 - PERMEABLE PAPERS SHALL BE LAID WHEN ALL HEAVY CONSTRUCTION IS COMPLETED.
 - INSTALL PERMANENT SEEDING.
 - FLUSH ANY SEDIMENT FROM STORM SEWER PIPES AND INLETS.
 - ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS. THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER / OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
 - PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MSA FOR ACCEPTANCE.
 - SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.
- NOTE: PERFORM WEEKLY SITE INSPECTIONS DURING LAND DISTURBING ACTIVITIES AND MAKE RECOMMENDATIONS FOR ADDITIONAL BMPs OR MAINTENANCE OF EXISTING BMPs
• NOTE: ALL PUMPED DEWATERING SHALL BE PERFORMED USING AN APPROPRIATELY SIZED PUMPED WATER FILTER BAG.

SCDHEC-OCRM CERTIFICATION:

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."



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CORDILLO TENNIS COURTS - PHASE 2
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
FWA GROUP
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
COVER SHEET & CONSTRUCTION NOTES

VERTICAL DATUM:
NGVD 29

| | |
|--------------|----------|
| PROJECT #: | 180238A |
| DATE: | 04/23/20 |
| DESIGNED BY: | JCH |
| CHECKED BY: | ELH |

SHEET
C001



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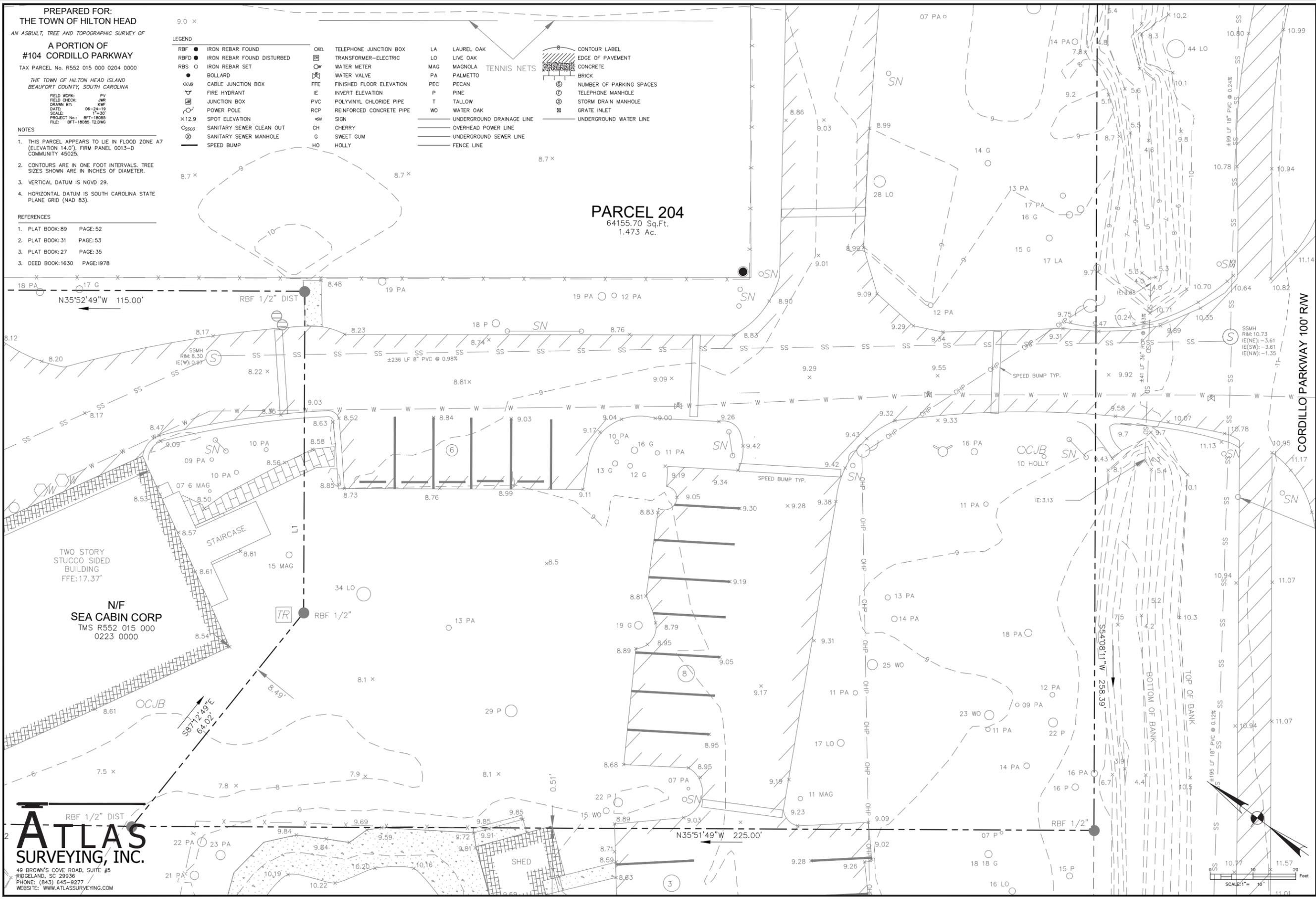
PREPARED FOR:
THE TOWN OF HILTON HEAD
AN ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF
**A PORTION OF
#104 CORDILLO PARKWAY**
TAX PARCEL No. R552 015 000 0204 0000
THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JWR
FIELD CHECK: JWR
DRAWN BY: JWP
DATE: 06-24-19
SCALE: 1"=30'
PROJECT No.: BFT-18085
FILE: BFT-18085 T2.DWG

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE A7 (ELEVATION 14.0'), FIRM PANEL 0013-D COMMUNITY 45025.
 2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 3. VERTICAL DATUM IS NGVD 29.
 4. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).

- REFERENCES
1. PLAT BOOK: 89 PAGE: 52
 2. PLAT BOOK: 31 PAGE: 53
 3. PLAT BOOK: 27 PAGE: 35
 3. DEED BOOK: 1630 PAGE: 1978

- LEGEND
- | | | | | | | |
|--------|----------------------------|------|--------------------------|-----|------------|---------------------------|
| RBF ● | IRON REBAR FOUND | OJEL | TELEPHONE JUNCTION BOX | LA | LAUREL OAK | CONTOUR LABEL |
| RBFD ● | IRON REBAR FOUND DISTURBED | TM | TRANSFORMER-ELECTRIC | LO | LIVE OAK | EDGE OF PAVEMENT |
| RBS ○ | IRON REBAR SET | WM | WATER METER | MAG | MAGNOLA | CONCRETE |
| ● | BOLLARD | WV | WATER VALVE | PA | PALMETTO | BRICK |
| OCJB | CABLE JUNCTION BOX | FFE | FINISHED FLOOR ELEVATION | PEC | PECAN | NUMBER OF PARKING SPACES |
| Y | FIRE HYDRANT | IE | INVERT ELEVATION | P | PINE | TELEPHONE MANHOLE |
| J | JUNCTION BOX | PVC | POLYVINYL CHLORIDE PIPE | T | TALLOW | STORM DRAIN MANHOLE |
| ○ | POWER POLE | RCP | REINFORCED CONCRETE PIPE | WO | WATER OAK | GRATE INLET |
| X 12.9 | SPOT ELEVATION | 45W | SIGN | | | UNDERGROUND WATER LINE |
| SS | SANITARY SEWER CLEAN OUT | CH | CHERRY | | | UNDERGROUND DRAINAGE LINE |
| ○ | SANITARY SEWER MANHOLE | G | SWEET GUM | | | OVERHEAD POWER LINE |
| ⊖ | SPEED BUMP | HO | HOLLY | | | UNDERGROUND SEWER LINE |
| | | | | | | FENCE LINE |

PARCEL 204
64155.70 Sq.Ft.
1.473 Ac.



ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



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CORDILLO TENNIS COURTS - PHASE 2
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
FWA GROUP
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
EXISTING CONDITIONS PLAN

VERTICAL DATUM:
NGVD 29

PROJECT #: 180228A
DATE: 04/23/20
DESIGNED BY: JCH
CHECKED BY: ELH

SHEET C101

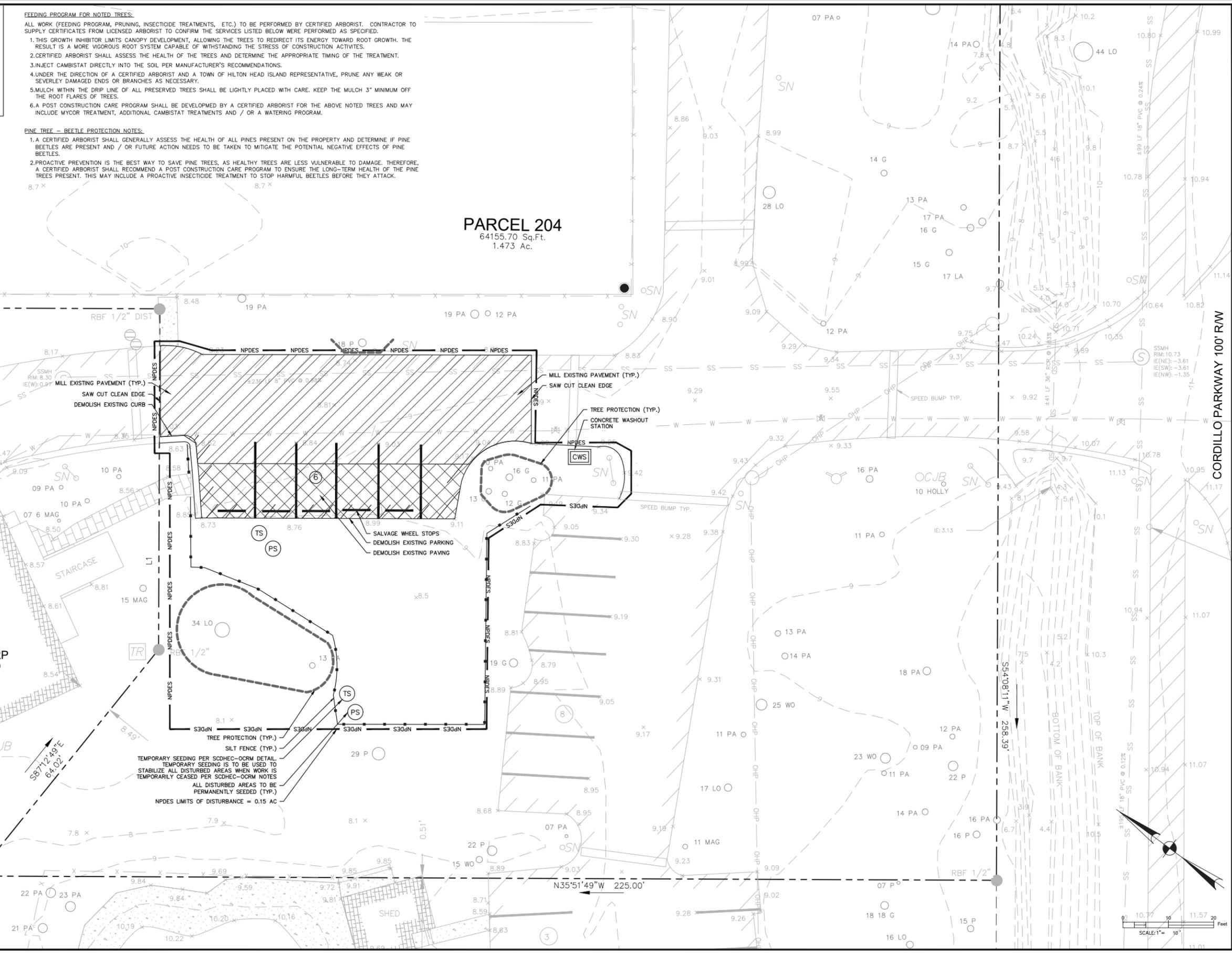
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| CLEARING / DEMOLITION LEGEND | |
|------------------------------|--|
| DEMOLITION | |
| MILLING | |
| TREE TO BE REMOVED | |
| TREE PROTECTION | |

| LIMITS OF DISTURBANCE: NPDES | |
|-----------------------------------------------------|--|
| EROSION PREVENTION | |
| LAND GRADING: | |
| SURFACE ROUGHENING: | |
| TOPSOILING: | |
| TEMPORARY SEEDING: | |
| MULCHING: | |
| ECB OR TRM: | |
| FGM: | |
| BFM: | |
| PERMANENT SEEDING: | |
| SODDING: | |
| RIPRAP: | |
| OUTLET PROTECTION: | |
| DUST CONTROL: | |
| POLYACRYLAMIDE (PAM): | |
| SEDIMENT CONTROL | |
| SEDIMENT BASIN: | |
| TEMPORARY SEDIMENT TRAP: | |
| ROCK SEDIMENT DIKE: | |
| ROCK CHECK DAM: | |
| SEDIMENT TUBE: | |
| SILT FENCE: | |
| REINFORCED SILT FENCE: | |
| TYPE A - FABRIC INLET PROTECTION: | |
| TYPE A - SEDIMENT TUBE INLET PROTECTION: | |
| TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION: | |
| TYPE C - BLOCK AND GRAVEL INLET PROTECTION: | |
| TYPE D - RIGID INLET FILTERS: | |
| TYPE E - SURFACE COURSE CURB INLET FILTER: | |
| TYPE F - INLET TUBE: | |
| TYPE FC - FILTER BAG CURB INLET PROTECTION: | |
| TYPE FB - FILTER BAG CURB INLET PROTECTION: | |
| CONCRETE WASHOUT: | |

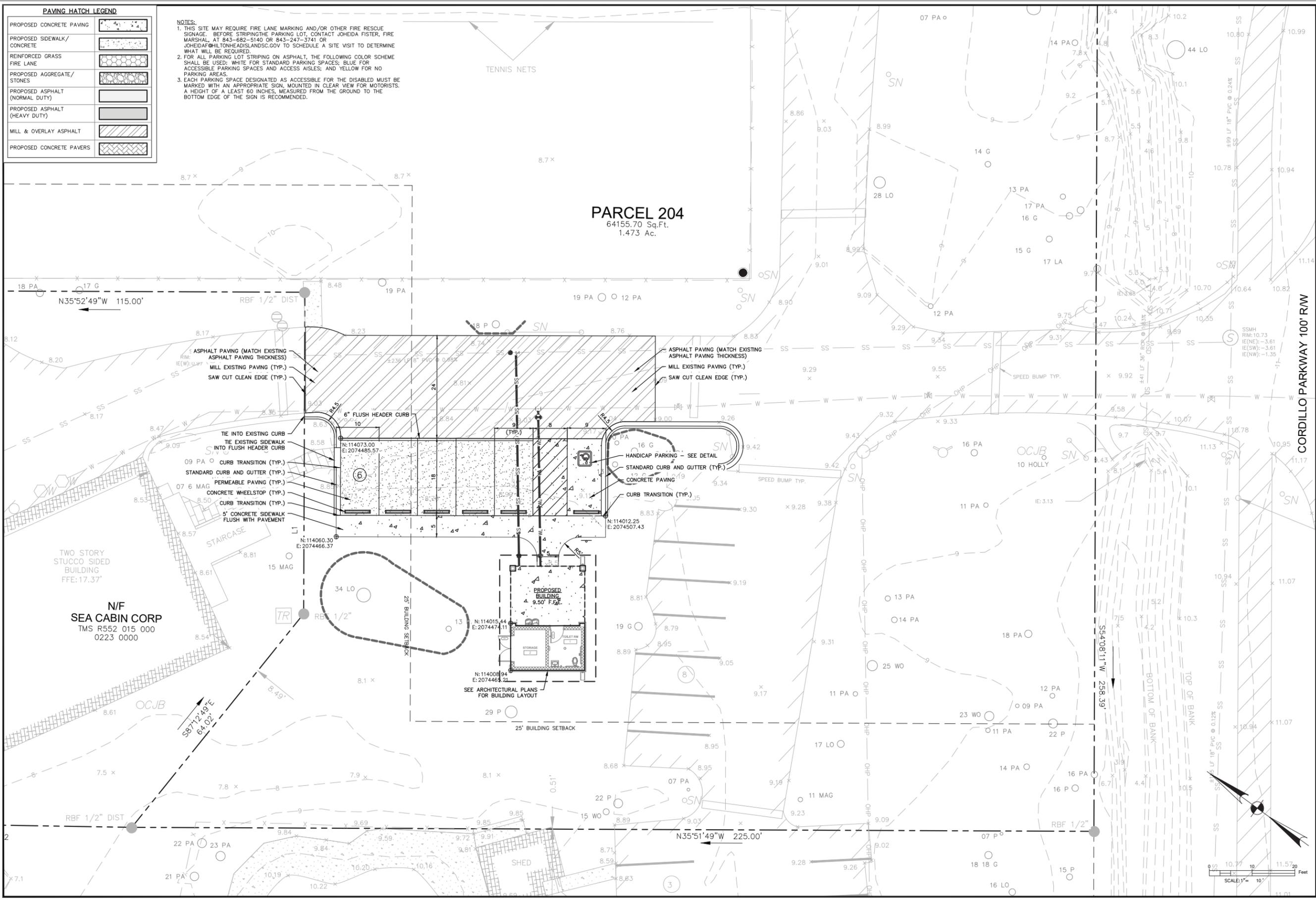


| | |
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| | |
| WARD EDWARDS ENGINEERING P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910 PH: (843) 837-2530 / FAX: (843) 837-2536 WWW.WARDEDWARDS.COM | |
| CORDILLO TENNIS COURTS - PHASE 2 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA FWA GROUP TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA CLEARING, DEMOLITION & EROSION CONTROL PLAN | |
| PROJECT #: 180238A DATE: 04/23/20 DESIGNED BY: JCH CHECKED BY: ELH | VERTICAL DATUM: NGVD 29 |
| SHEET C201 | |

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| PAVING HATCH LEGEND | |
|--------------------------------|--|
| PROPOSED CONCRETE PAVING | |
| PROPOSED SIDEWALK/ CONCRETE | |
| REINFORCED GRASS FIRE LANE | |
| PROPOSED AGGREGATE/ STONES | |
| PROPOSED ASPHALT (NORMAL DUTY) | |
| PROPOSED ASPHALT (HEAVY DUTY) | |
| MILL & OVERLAY ASPHALT | |
| PROPOSED CONCRETE PAVERS | |

- NOTES:**
1. THIS SITE MAY REQUIRE FIRE LANE MARKING AND/OR OTHER FIRE RESCUE SIGNAGE. BEFORE STRIPING THE PARKING LOT, CONTACT JOHEIDA FISTER, FIRE MARSHAL, AT 843-682-5140 OR 843-247-3741 OR JOHEIDA.F@HILTONHEADISLANDSC.GOV TO SCHEDULE A SITE VISIT TO DETERMINE WHAT WILL BE REQUIRED.
 2. FOR ALL PARKING LOT STRIPING ON ASPHALT, THE FOLLOWING COLOR SCHEME SHALL BE USED: WHITE FOR STANDARD PARKING SPACES; BLUE FOR ACCESSIBLE PARKING SPACES AND ACCESS AISLES; AND YELLOW FOR NO PARKING AREAS.
 3. EACH PARKING SPACE DESIGNATED AS ACCESSIBLE FOR THE DISABLED MUST BE MARKED WITH AN APPROPRIATE SIGN, MOUNTED IN CLEAR VIEW FOR MOTORISTS. A HEIGHT OF A LEAST 60 INCHES, MEASURED FROM THE GROUND TO THE BOTTOM EDGE OF THE SIGN IS RECOMMENDED.

PARCEL 204
64155.70 Sq.Ft.
1.473 Ac.

WARD EDWARDS, INC. ENGINEERING
 31670 W. STATE ST. #100
 HILTON HEAD ISLAND, SC 29928
 P. 843.682.5140
 F. 843.247.3741
 WWW.WARDEDWARDS.COM

WARD EDWARDS, INC. ENGINEERING
 31670 W. STATE ST. #100
 HILTON HEAD ISLAND, SC 29928
 P. 843.682.5140
 F. 843.247.3741
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Ward Edwards ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 837-5230 / FAX (843) 837-2536
 WWW.WARDEDWARDS.COM

CORDILLO TENNIS COURTS - PHASE 2
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
 FWA GROUP
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
SITE LAYOUT & PAVING PLAN

VERTICAL DATUM:
NGVD 29

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| PROJECT #: | 180238A |
| DATE: | 04/23/20 |
| DESIGNED BY: | JCH |
| CHECKED BY: | ELH |

SHEET C301

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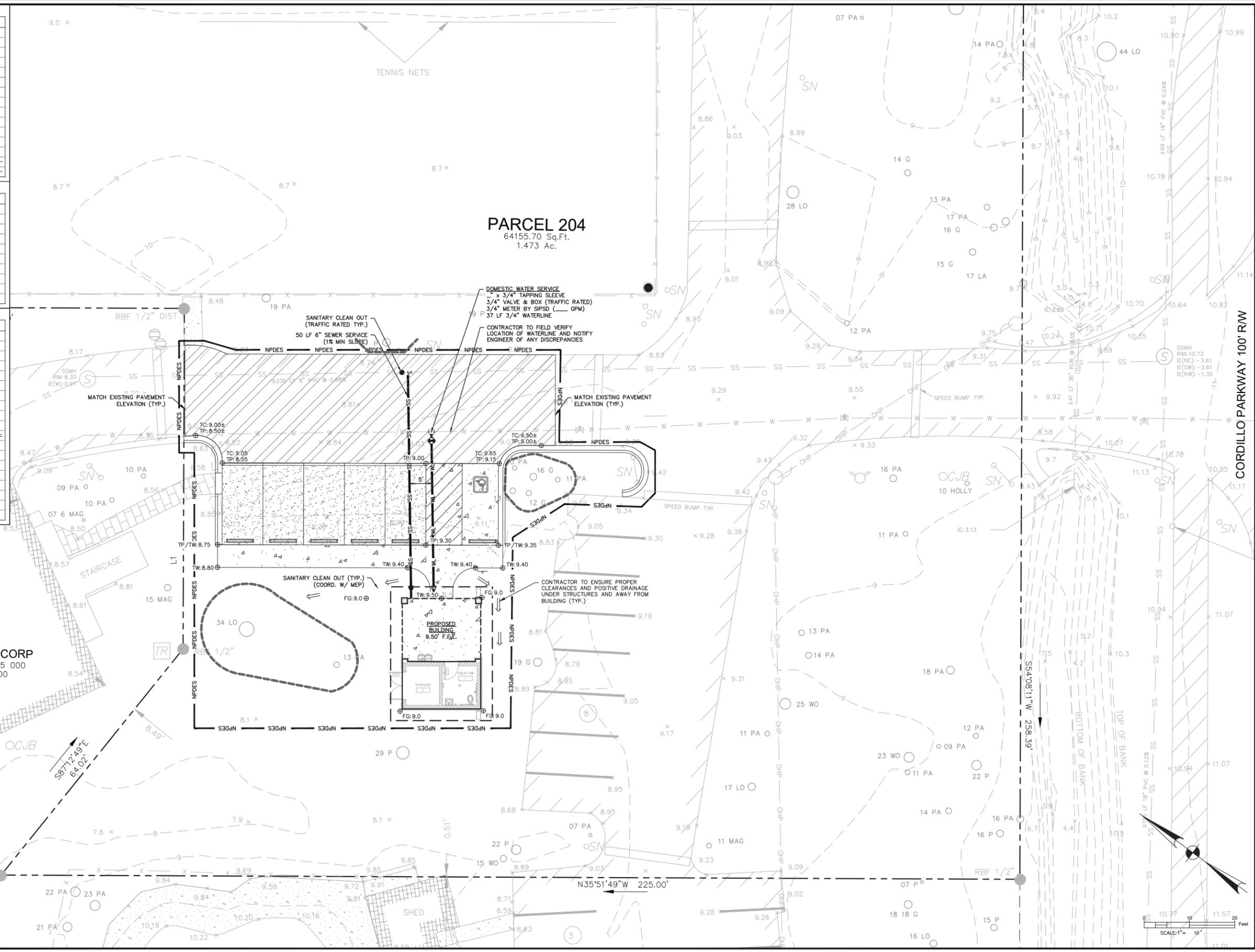
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| WATER SYSTEM LEGEND | |
|--------------------------|----------|
| | PROPOSED |
| WATER METER | □ |
| WATER VALVE | ⊗ |
| REDUCER | ⊘ |
| POST INDICATOR VALVE | ⊗ |
| FIRE HYDRANT | ⊗ |
| BLOWOFF HYDRANT | ⊗ |
| YARD HYDRANT | ⊗ |
| FIRE DEPART. CONN. (FDC) | ⊗ |
| CAP | ⊗ |
| PLUG | ⊗ |
| BACKFLOW PREVENTOR | ⊗ |
| BUTTERFLY VALVE | ⊗ |
| FITTINGS | ⊗ |
| WATER LINE | — WL — |
| SERVICE LATERAL | — SL — |

| SANITARY SEWER LEGEND | |
|-------------------------|----------|
| | PROPOSED |
| SANITARY SEWER MANHOLE | ⊗ MH: A1 |
| SANITARY SEWER CLEANOUT | ⊗ CO |
| SANITARY SEWER WYE | ⊗ |
| CHECK VALVE IN MANHOLE | ⊗ |
| PLUG VALVE | ⊗ |
| AIR RELEASE VALVE | ⊗ |
| SEWER LINE | — SS — |
| FORCE MAIN | — FM — |
| SERVICE LATERAL | — SL — |

| STORM SEWER/DRAINAGE LEGEND | |
|-----------------------------|----------|
| | PROPOSED |
| DROP INLET | ⊗ DI: A1 |
| CURB INLET (WITH GRATE) | ⊗ CI: A1 |
| TYPE 16 CURB INLET | ⊗ CI: A1 |
| VALLEY GUTTER INLET | ⊗ VI: A1 |
| TRENCH DRAIN | ⊗ TD: A1 |
| WEIR INLET | ⊗ WI: A1 |
| YARD INLET | ⊗ YI: A1 |
| JUNCTION BOX | ⊗ JB: A1 |
| CLEANOUT | ⊗ CO |
| DOWNSPOUT | ⊗ |
| STORM DRAIN | — SD — |
| UNDERDRAIN | — UD — |
| ROOF DRAIN COLLECTOR | — RDC — |
| FLARED END SECTION | — FES — |
| HEADWALL | — HW — |
| HEADWALL WITH WINGS | — HW — |
| OUTLET CONTROL STRUCTURE | — OCS — |
| DITCH CENTERLINE | — DC — |
| DIRECTION OF FLOW | → |



PARCEL 204
64155.70 Sq.Ft.
1.473 Ac.

N/F
SEA CABIN CORP
TMS R552 015 000
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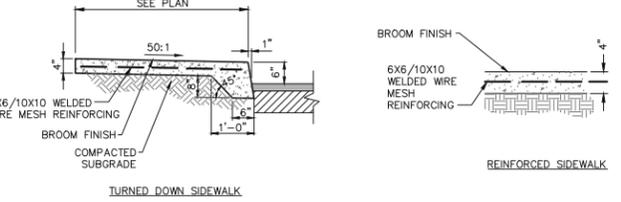
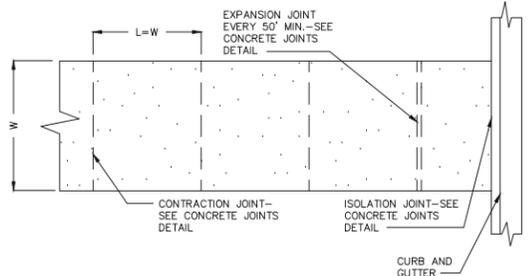
CORDILLO TENNIS COURTS - PHASE 2
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
FWA GROUP
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
UTILITY & GRADING PLAN

| |
|----------------------------|
| VERTICAL DATUM: NGVD 29 |
| PROJECT #: 180238A |
| DATE: 04/23/20 |
| DESIGNED BY: JCH |
| CHECKED BY: ELH |
| SHEET C401 |

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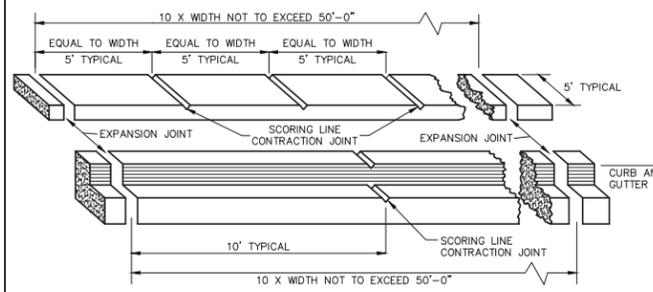
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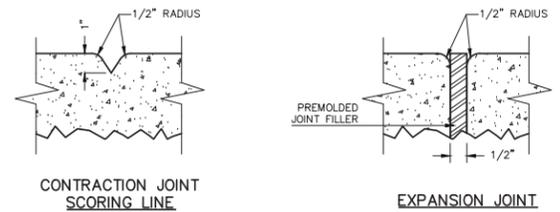
- NOTES:**
1. W = VARIES, REFER TO STAKING PLAN FILL IN BASED ON SITE PLAN
 2. L = WIDTH OF PAVING UNLESS OTHERWISE INDICATED ON PLAN
 3. SLOPE = AS INDICATED ON GRADING PLAN, NOT TO EXCEED 2% CROSS OF 8.33% LONGITUDINAL
 4. ALL CONCRETE SHALL BE CLASS A 3000 PSI
 5. FINISH BROOM WITH HAND TOOLED JOINTS AND EDGES.

CONCRETE SIDEWALK

DETAIL 03300-006



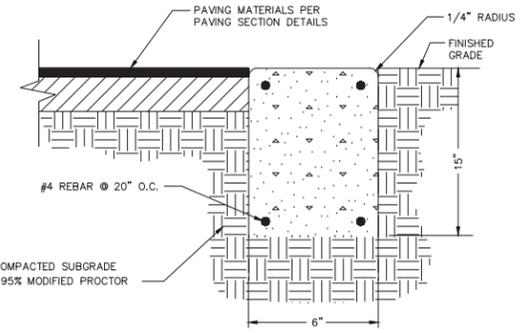
ISOMETRIC



- NOTES:**
1. EXPANSION JOINTS, 1/2 INCH THICK, SHALL BE PLACED IN THE SIDEWALK AND CURBING AT THE POINT OF CURVATURE (PC) AND POINT OF TANGENCY (PT) OF ALL CURVES, AT THE OUTER EDGES OF DRIVEWAYS, AND AT UNIFORM INTERVALS AS SHOWN. EXPANSION JOINTS SHALL MEET SCDOT SPECIFICATION SECTION 702.2.2.1
 2. TRANSVERSE SCORING LINES (CONTRACTION JOINTS) IN THE SIDEWALK SHALL BE PLACED BETWEEN EXPANSION JOINTS AT UNIFORM INTERVALS EQUAL TO THE WIDTH OF THE WALK AS SHOWN.
 3. LONGITUDINAL SCORING LINES WILL BE REQUIRED IN WALKS WIDER THAN 5 FEET OR AS DIRECTED BY THE ENGINEER.
 4. TRANSVERSE CONTRACTION JOINTS IN THE CURBING SHALL BE PLACED BETWEEN EXPANSION JOINTS AT UNIFORM 10' INTERVALS.
 5. TRANSVERSE AND LONGITUDINAL SCORING LINES SHALL BE A DEPTH OF 1" AND NOT LESS THAN 1/4 INCH OR MORE THAN 1/2 INCH IN WIDTH. THE CORNERS OF THE SCORING LINES SHALL HAVE A 1/2 INCH MINIMUM RADIUS.
 6. JOINTS IN THE CURB AND GUTTER SHALL ALIGN WITH CORRESPONDING JOINTS IN THE SIDEWALK.

EXPANSION JOINTS AND SCORING LINES

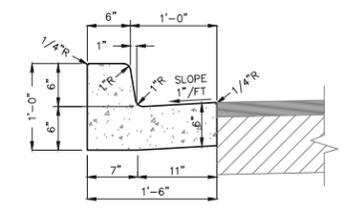
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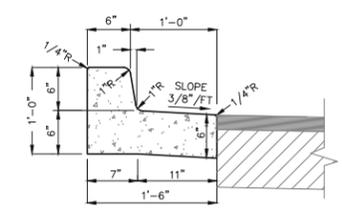
- NOTES:**
1. ALL CONCRETE SHALL BE 3,000 PSI.
 2. PROVIDE CONTRACTION JOINTS EVERY TEN FEET (10').
 3. PROVIDE EXPANSION JOINTS EVERY FIFTY (50') FEET AND AT ALL TANGENT POINTS.
 4. PROVIDE EXPANSION JOINTS WHERE CURB ABUTS SIDEWALKS OR OTHER RIGID STRUCTURES.
 5. EXPANSION JOINTS SHALL BE 1/2" WITH PRE-MOLDED JOINT FILLER.
 6. TOOL ALL EXPOSED EDGES & JOINTS TO 1/4" RADIUS.
 7. PROVIDE LIGHT BROOM FINISH.

FLUSH HEADER CURB

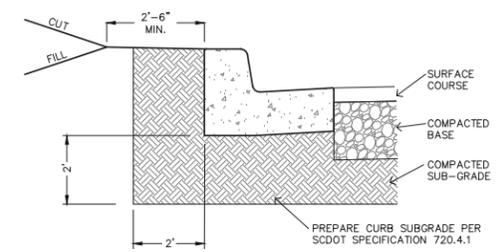
DETAIL 03300-005



NORMAL GUTTER

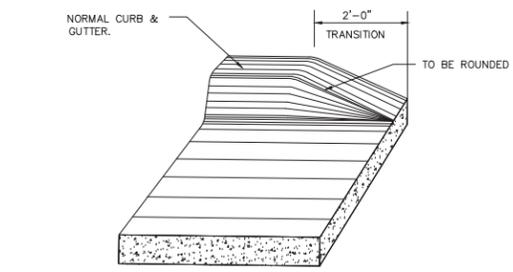


PITCHED GUTTER



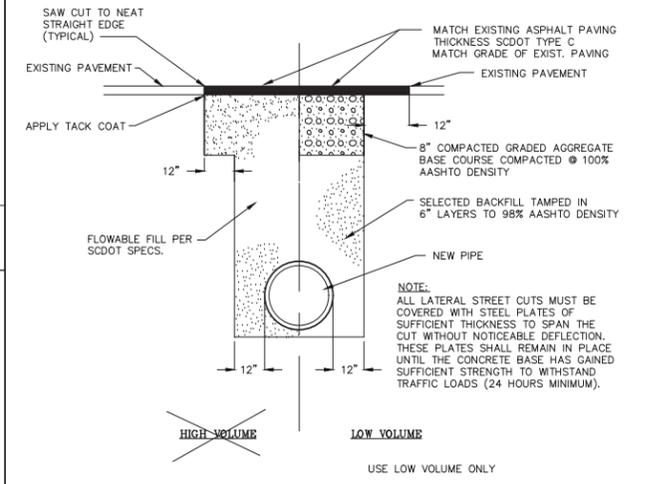
18" CURB AND GUTTER

DETAIL 03300-004A



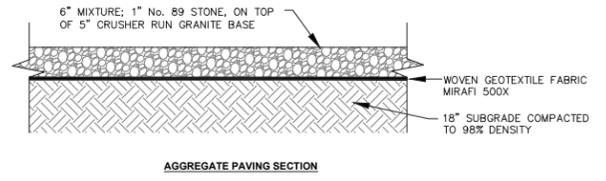
CURB AND GUTTER TRANSITION DETAIL

DETAIL 03300-020

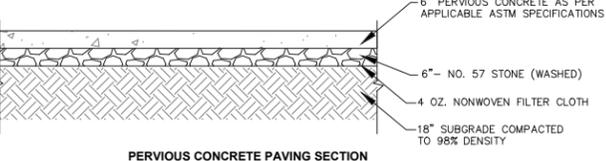


ASPHALT CUT AND PATCH

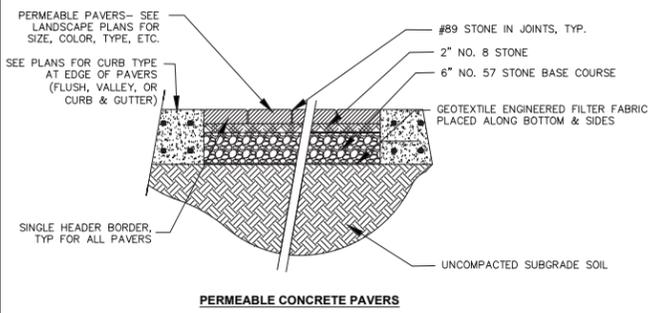
DETAIL 02740-003



AGGREGATE PAVING SECTION



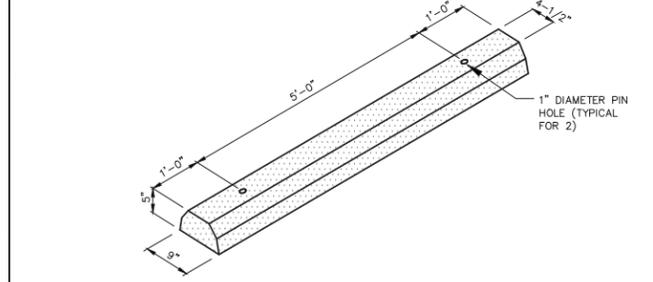
PERVIOUS CONCRETE PAVING SECTION



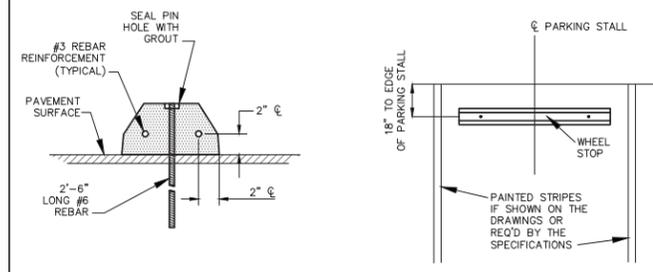
PERMEABLE CONCRETE PAVERS

- NOTE:**
1. INSTALL PER THE "LOW IMPACT DEVELOPMENT IN COASTAL SOUTH CAROLINA GUIDE" AND PER ICPI SPECIFICATIONS.

PERMEABLE PAVING DETAILS



ISOMETRIC



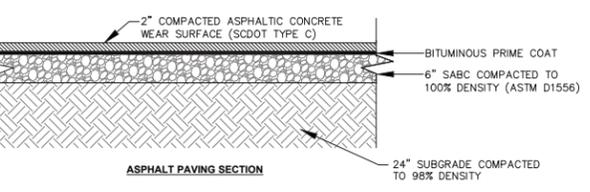
SECTION

INSTALLATION PLAN

- NOTES:**
1. WHEEL STOPS SHALL BE STEEL REINFORCED PRECAST UNITS CONSISTING OF SCDOT CLASS 3000 CONCRETE, MINIMUM. ALTERNATE MATERIAL COMPOSITION MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 2. WHEEL STOPS SHALL BE INSTALLED PERPENDICULAR TO PARKING STALL AND SHALL BE PLACED A MINIMUM OF 18" FROM END OF PARKING STALL OR OBSTRUCTION.
 3. ANCHORING PINS SHALL BE DRIVEN FLUSH TO THE TOP OF THE WHEEL STOP AND PIN HOLES SHALL BE GROUTED UPON INSTALLATION.

PRECAST CONCRETE WHEEL STOP

DETAIL 03300-009A



TYPICAL PAVING SECTIONS

DETAIL 02740-016

WARD EDWARDS, INC.
 ENGINEER
 No. 31670
 No. 00152
 CERTIFICATE OF QUALIFICATION

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 7 | | |
| 6 | | |
| 5 | | |
| 4 | | |
| 3 | | |
| 2 | | |
| 1 | | |

Ward Edwards ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH: (843) 837-2530 / FAX: (843) 837-2536
 WWW.WARDEDWARDS.COM

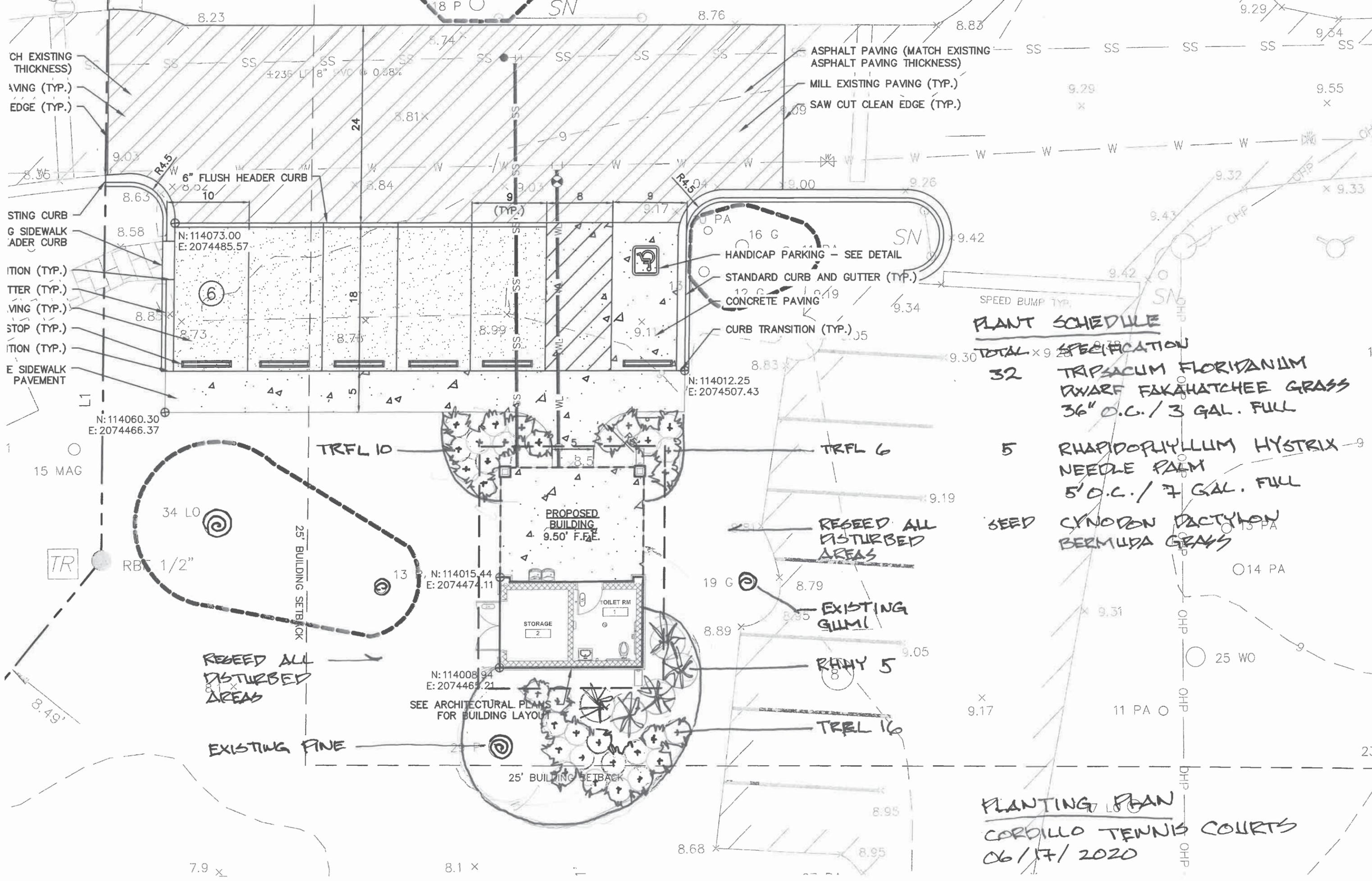
CORDILLO TENNIS COURTS - PHASE 2
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
FWA GROUP
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
CONSTRUCTION DETAILS

VERTICAL DATUM:
 NGVD 29

| | |
|--------------|----------|
| PROJECT #: | 180238A |
| DATE: | 04/23/20 |
| DESIGNED BY: | JCH |
| CHECKED BY: | ELH |

SHEET C502

NOT FOR CONSTRUCTION



ASPHALT PAVING (MATCH EXISTING)
 ASPHALT PAVING THICKNESS
 MILL EXISTING PAVING (TYP.)
 SAW CUT CLEAN EDGE (TYP.)

CH EXISTING THICKNESS
 PAVING (TYP.)
 EDGE (TYP.)
 STING CURB
 G SIDEWALK
 ADER CURB
 ITION (TYP.)
 TTER (TYP.)
 VING (TYP.)
 STOP (TYP.)
 ITION (TYP.)
 E SIDEWALK
 PAVEMENT

PLANT SCHEDULE

| TOTAL | SPECIFICATION |
|-------|---------------------------------------------------------------------------|
| 32 | TRIPSACUM FLORIDANUM DWARF FAKAHATCHEE GRASS 36" O.C. / 3 GAL. FULL |
| 5 | RHAPIDOPHYLLUM HYSTRIX NEEDLE PALM 5' O.C. / 7 GAL. FULL |
| SEED | CYNODON DACTYLON BERMUDA GRASS |

PLANTING PLAN
 CORDILLO TENNIS COURTS
 06/17/2020

6" FLUSH HEADER CURB
 R4.5

N: 114073.00
 E: 2074485.57

N: 114012.25
 E: 2074507.43

N: 114060.30
 E: 2074466.37

N: 114015.44
 E: 2074474.11

N: 114008.94
 E: 2074463.21

SEE ARCHITECTURAL PLANS
 FOR BUILDING LAYOUT

RESEED ALL
 DISTURBED
 AREAS

RESEED ALL
 DISTURBED
 AREAS

EXISTING FINE

25' BUILDING SETBACK

25' BUILDING SETBACK

PROPOSED BUILDING
 9.50' F.F.E.

STORAGE

TOILET RM

EXISTING GUMI

RFLNY 5

TREE 16

TRFL 6

TRFL 10

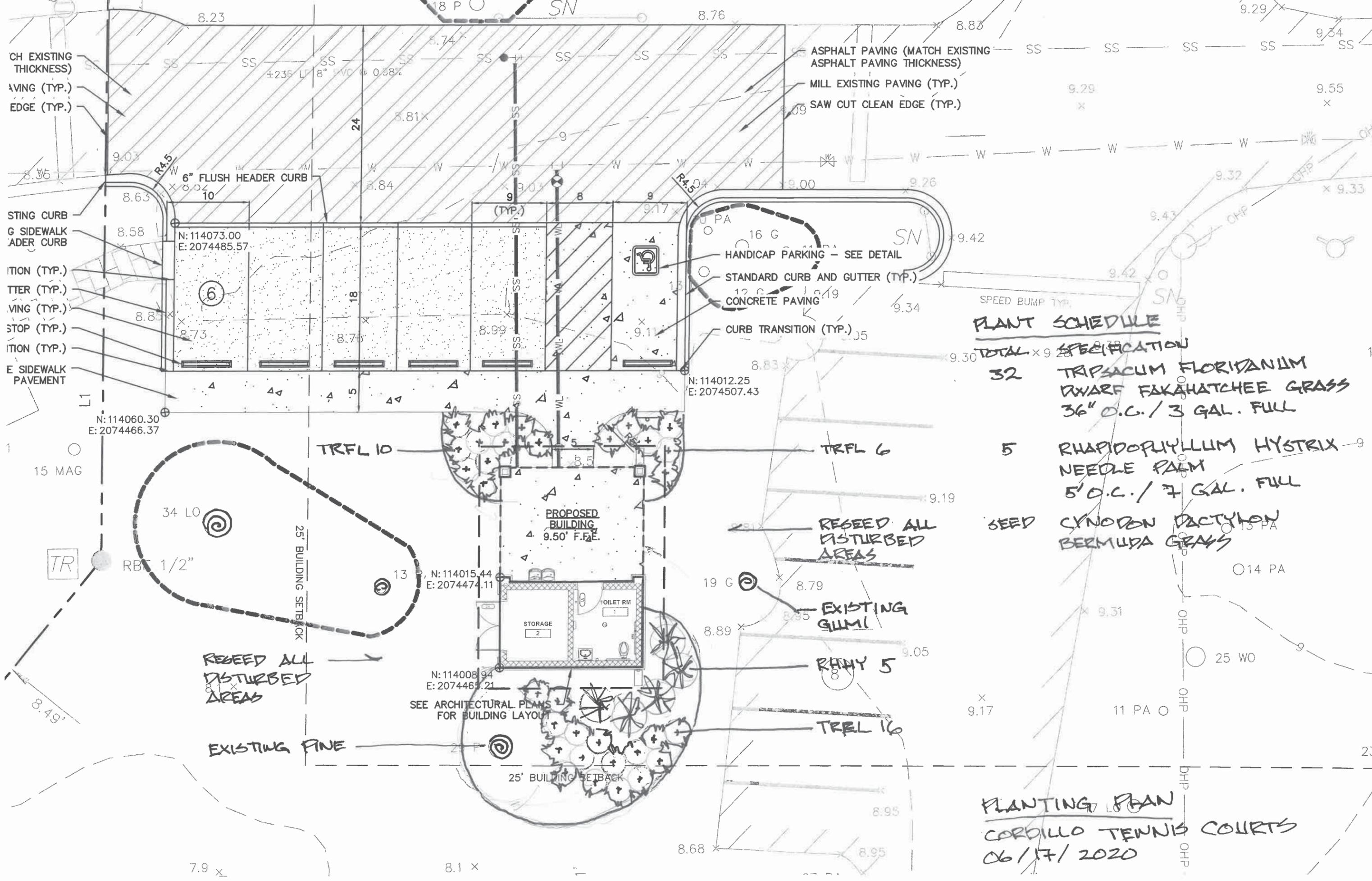
SPEED BUMP TYP.

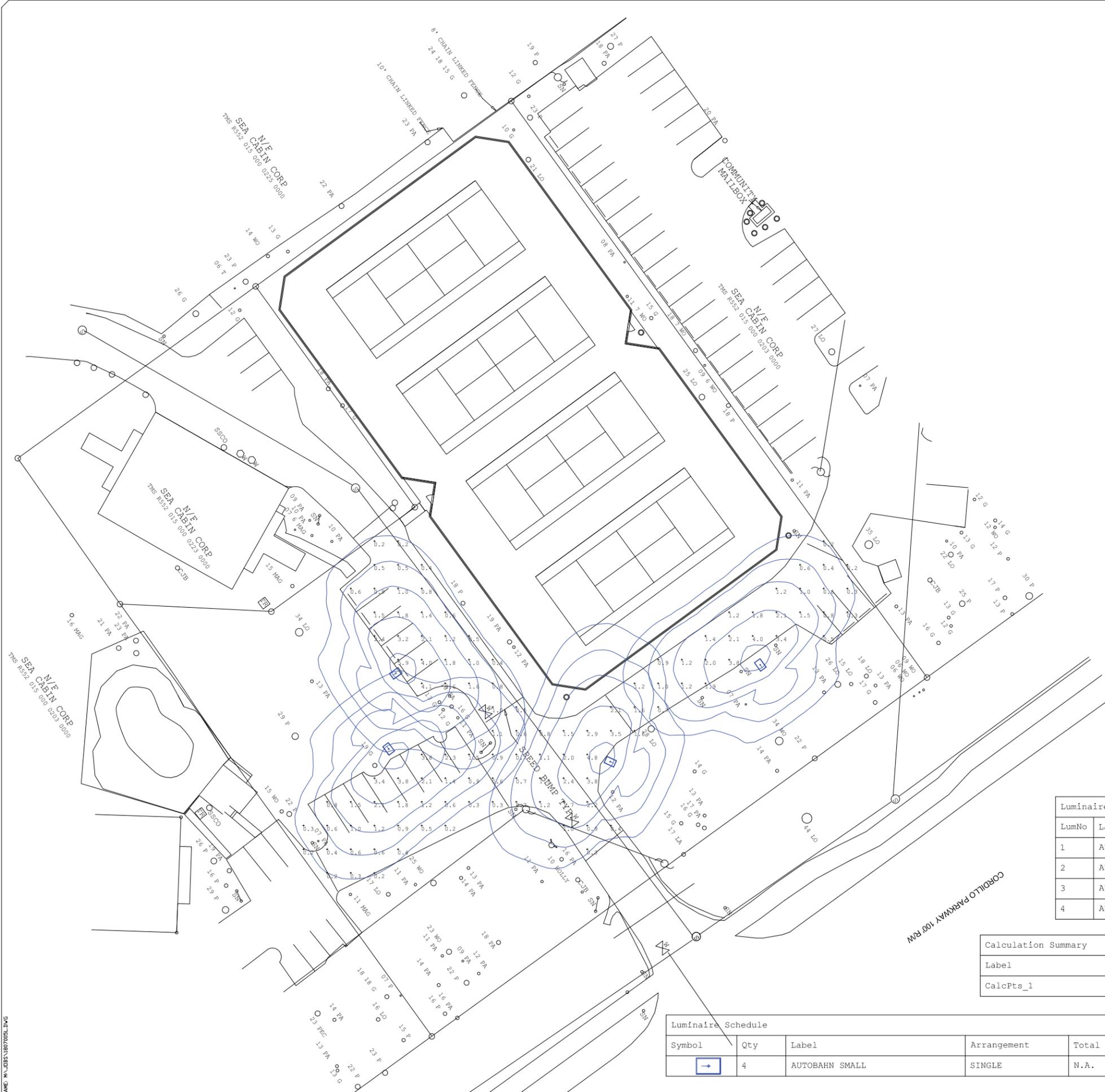
HANDICAP PARKING - SEE DETAIL

STANDARD CURB AND GUTTER (TYP.)

CONCRETE PAVING

CURB TRANSITION (TYP.)



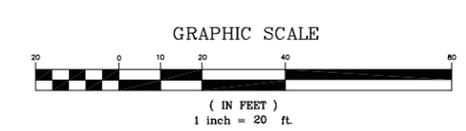


NOTES

1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.

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| LumNo | Label | X | Y | Z | Orient | Tilt |
|-------|----------------|---------|----------|----|---------|------|
| 1 | AUTOBAHN SMALL | 2074499 | 114029 | 15 | 35.538 | 0 |
| 2 | AUTOBAHN SMALL | 2074496 | 113998.8 | 15 | 306.87 | 0 |
| 3 | AUTOBAHN SMALL | 2074654 | 114032.2 | 15 | 126.143 | 0 |
| 4 | AUTOBAHN SMALL | 2074591 | 113991.9 | 15 | 154.885 | 0 |

| Label | CalcType | Units | Avg | Max | Min |
|-----------|-------------|-------|------|-----|-----|
| CalcPts_1 | Illuminance | Fc | 1.23 | 5.9 | 0.2 |

| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF | Description |
|--------|-----|----------------|-------------|-------------------|-------|------------------------------------------------------|
| → | 4 | AUTOBAHN SMALL | SINGLE | N.A. | 0.720 | 175EQ LED 3000K AT 15' MOUNTING HEIGHT 19' WOOD POLE |

PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: TJH
CHECKED BY: ENG
DRAWN BY: AKM
DATE: 7/24/18
SCALE: 1" = 30'
PROJECT NO.: 1807005L
MAP NO.: 00000000

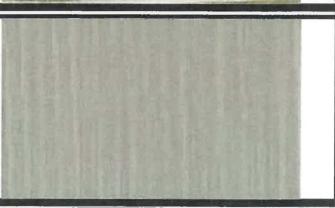
SHEET NO.
1
OF
1

LIGHTING PROPOSAL FOR
CORDILLO COURTS
CORDILLO PARKWAY
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

NAME: M. JONES \1807005L.DWG

Cordillo Tennis Courts Restroom Building
 104 Cordillo Parkway
 DRB-000991-2020 for Final Approval
 June 10, 2020

The materials and colors proposed are the same as the materials and colors approved for the nearby Lowcountry Celebration Park restroom building.

| Item | Manufacturer | Color | Sample |
|---------------------------------------|----------------------------|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| Siding | HardiePlank | Timber Bark |  |
| Siding Trim | HardiePlank | Cobble Stone (Sample is for color only, trim will be smooth texture) |  |
| Wood Structure and Ceiling | Cabots Semi-Solid Stain | Beechwood Gray |  |

| | | |
|---------------------|------------------------------------|-------------------------------------------------------------------------------------|
| Tabby Stucco | (To Match Coligny Waterfront Park) |  |
|---------------------|------------------------------------|-------------------------------------------------------------------------------------|

| | | | |
|-----------------------------|----------|------|---------------------------------------------------------------------------------------|
| Roof Panels and Trim | Pac-Clad | Zinc |  |
|-----------------------------|----------|------|---------------------------------------------------------------------------------------|

END OF MEMORANDUM

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Cordillo Courts

DRB#: DRB-001209-2020

DATE: 06/17/2020

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

| |
|--|
| |
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