



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, December 14, 2021 – 1:15 p.m.
AGENDA

This meeting will be conducted virtually and can be viewed on the [Town of Hilton Head Island Public Meetings Facebook Page](#). A Facebook account is not required to access the meeting livestream.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of November 9, 2021

6. Appearance by Citizens

Citizens who wish to address the Board concerning items on the agenda may do so by contacting the Board Secretary at 843-341-4691 no later than 12:15 p.m. the day of the meeting. Citizens may also submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 12:15 p.m. the day of the meeting. Comments submitted through the portal will be provided to the Board and made part of the official record.

7. Unfinished Business – None

8. New Business

a. *New Development – Final*

i. Waterfront Restaurant, DRB-002657-2021

ii. Heritage Academy Pavilion, DRB-002658-2021

b. *Alteration/Addition*

i. Bistro 17, DRB-002573-2021

ii. Lucky Rooster, DRB-002646-2021

c. *New Development – Conceptual*

i. Spanish Wells Office/Warehouse, DRB-002659-2021

9. Board Business

10. Staff Report

a. Minor Corridor Report

11. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
November 9, 2021, at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chair Cathy Foss, Vice Chair John Moleski, David McAllister, Annette Lippert, Judd Carstens, Ryan Bassett, Ben Brown

Absent from the Board: None

Present from Town Council: Glenn Stanford, Tamara Becker

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Mr. McAllister moved to approve. Ms. Lippert seconded. By show of hands, the motion passed 7-0-0.

5. Approval of Minutes

a. Meeting of October 12, 2021

Chair Foss asked for a motion to approve the minutes of the October 12, 2021, regular meeting. Mr. Carstens moved to approve. Mr. McAllister seconded. By show of hands, the motion passed 6-0-1. (Mr. Brown abstained as he was not present at the subject meeting.)

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments of record. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

7. Unfinished Business - None

8. New Business

a. New Development – Final

i. Dolphin Head Recreation Area, DRB-002414-2021

(Due to a potential conflict of interest, Mr. McAllister recused himself from discussion and voting regarding Dolphin Head Recreation Area, DRB-002414-2021. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends final approval with the following conditions:

- Revise the tree protection plan to specify substantial specimen and significant tree protection fence such as cyclone or wooden fencing.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: preference of bronze finish for the site elements (water fountains, foot washes, bike racks, etc.) as opposed to chrome; concern over the size of the dormers; suggestion of including an additional window on either side of the dormers; discussion regarding the incomplete corner on the roofline; the size of the service yard and reason for such; vehicle access needs; concern the service area will be used for storage; concern of location for overflow parking; and discussion of the detail in the roof dormer.

Following discussion, Mr. Brown moved to approve DRB-002414-2021 with the following condition:

The drinking fountain hose bib, vehicular bollard, bike rack and foot-wash receive like treatment such as dark bronze or similar, to be reviewed by staff. Chair Foss seconded. By way of roll call, the motion passed by a vote of 6-0-0.

b. Alteration/Addition

i. Harley Davidson Retail Store, DRB-002394-2021

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends final approval with the following condition:

- Add bollards to protect the existing Live Oak near Palmetto Bay Road.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: clarification regarding types of lighting selections and locations of such; discussion regarding the gable on A.7; concern for impact on plantings during construction and the need for replacement if so; clarification of the downspout color selection; the need to update the plantings; confirmation of the location of two needed parking spaces; concern for connectivity of the sidewalk to the path; the need for a bollard around the specimen tree; and clarification of the color boards submitted and actual selections.

Following discussion, Mr. McAllister moved to approve DRB-002394-2021 with the following conditions:

1. For point of clarification, the light fixture above the sign is to be Type C.
2. Remove the step from the front gable.
3. The gutters and downspouts are to match the roof color.
4. Provide a landscape plan for review and approval by Staff.
5. Storefront windows are to be black anodized.

Mr. Brown seconded. By way of roll call, the motion passed 7-0-0.

ii. Subway Canopy, DRB-002465-2021

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends denial.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: the need for the canopy color to match the back of the kiosk; discussion regarding the existing and proposed vegetation; confirmation that the color request for reconsideration is not supported by the Hilton Head Island Design Guide.

Following discussion, Mr. Brown moved to deny DRB-002465-2021. Vice Chairman Moleski seconded. By way of roll call, the motion passed by a vote of 7-0-0.

c. *New Development – Conceptual*

i. Heritage Academy Pavilion, DRB-002396-2021

(Due to a potential conflict of interest, Mr. Carstens recused himself from discussion and voting regarding Heritage Academy Pavilion, DRB-002396-2021. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends final approval with the following condition:

- Revise the site plan to better function for pedestrians and with the existing building.
- Revise the storm drains to better preserve existing vegetation.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: an explanation regarding the difficulty in placing a pedestrian pathway between the buildings; recommendation of relocation of storm line outside of the buffer; suggestion of trying to preserve more trees within the adjacent street, as well as the adjacent use buffers; suggestion of finding a better plan for connectivity; consideration of retaining the magnolia trees earmarked to be removed; suggestion to study the circulation between the buildings and improve; review of the layout of the basketball court and pavilion; confirmation of a lagoon located at the back of the property; and the need to make sure there is no visible conduit on the structure.

Following discussion, Mr. McAllister moved to approve DRB-002396-2021 with the following conditions:

1. All of Staff comments.
2. The applicant is to conceal conduits in the pavilion.
3. Revised the landscape plan to pull the sod out of the buffer.
4. Make an effort to preserve the magnolias in the street buffer.

Ms. Lippert seconded. By way of roll call, the motion passed by a vote of 6-0-0.

9. Board Business

Chair Foss reminded the Board members the need to present a positive and good front to the audience.

10. Staff Report

a. Minor Corridor Report

Mr. Darnell reported the following approvals:

- 13 Bow Circle – dumpster enclosure
- 2 Shelter Cove Lane at Captains Quarters – awning
- 90 Honey Horn Drive (Costal Discovery Museum) – drop-off awning

Chair Foss reminded the Board there would be no meeting held the week of Thanksgiving and the next scheduled meeting is December 14, 2021.

11. Adjournment

The meeting adjourned at 2:53 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: Joseph DePauw Company: PDG|Architects
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29938
 Telephone: (843) 785-5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: Waterfront Restaurant Project Address: 175 Squire Pope Rd.
 Parcel Number [PIN]: R 5 1 1 0 0 7 0 0 0 0 0 2 B 0 0 0 0
 Zoning District: WMU - Water Oriented Mixed Use Overlay District(s): OCRM High Tide

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11/30/2021

DATE

November 30, 2021

Town of Hilton Head Island
Design Review Board
Community Development Department
One Town Center Court
Hilton Head Island SC 29928



re: **Waterfront Restaurant**
175 Squire Pope Rd.
R511 007 000 002B 0000

Project Summary

Our new waterfront restaurant is planned for the center of the Hudson family property, which for five generations has been providing Islanders and island visitors with the freshest in local seafood. Earlier this year, the DRB approved Benny Hudson Seafood's new market for the corner of the property by the dock head. The restaurant aims to embody the character of the existing waterfront and establish a modern island character. It takes full advantage of the views the property offers of the Skull Creek.

The restaurant is part of a number of improvements to structures on the site to maintain conformance with the property's restrictive covenants, which allow 19,000 sq. ft. of non-residential GFA. A partial demolition and refacing of the marine office building will be submitted to the DRB as a separate project.

Design Narrative

The new restaurant will have expansive views of the Skull Creek and will anchor a site with waterfront seafood, dock, and marine operations. It sits back from the creek in the clearing and maintains the existing lawn space buffering the waterfront. The entrance is nestled below the large live oak tree making it a feature of the arrival experience, and its location encourages a symbiotic relationship with the seafood market. Loading and back-of-house spaces are located to the right of the site where they promote restricted access to the marine railway. Two gable elements, reminiscent of old boat barns, bookend an open dining roof which reduces the scale of the second floor and the building overall.

Honest materials have been selected which nod to the new seafood market and to form a modern island character. The stucco body of the building forms a backdrop to a board-formed concrete wall marking the restaurant entrance. Board and batten siding above evokes the materials of a traditional waterfront accented by warehouse light fixtures and a metal roof. At the porches, steel beams are supported by round concrete columns, which will be cast to express the lines of the formwork. Wood-look aluminum louvers define the rear elevation, providing visual interest and sun-control for the dining room.



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

PROJECT NAME: Waterfront Restaurant

PROJECT #: 002107-2021

PROJECT ADDRESS: 175 Squire Pope Rd.

CATEGORY: Conceptual

ACTION DATE: 09/28/2021

NOTICE DATE: 10/01/2021

APPLICANT/AGENT: Joe DePauw

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
- APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**
- DENIED**
- WITHDRAWN AT THE APPLICANTS REQUEST**

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer

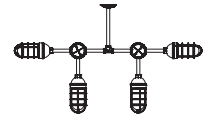


SPS-0207 REV B

VANGUARD 8-LIGHT CHANDELIER

JOB NAME: _____ FIXTURE TYPE: _____

Type E-A



BLE - S - CGG - CH005 - 975 - ST524 - SC - CGG - E26 - RIB -

A B C D E F

E26

G

Order Example: BLE - S - CGG - CH005 - 615 - ST524 - HDSMC - CGG - 615 - FST - E26

A - FINISHES

POWDER COAT FINISHES:

100	Black
105	Textured Black
106	Matte Black
200	White
206	Matte White
300	Dark Green
307	Emerald Green
311	Jadite
370	Mint
380	Chartreuse
390	Teal
400	Barn Red
420	Orange
470	Watermelon
480	Blush Pink
490	Magenta
495	Sherbet Orange
500	Buttery Yellow
570	Sunflower
600	Bronze
601	Chocolate
605	Rust
615	Oil-Rubbed Bronze
700	Royal Blue
705	Navy
710	Cobalt Blue
715	Delphite Blue
790	Lavender

A - FINISHES (CONTINUED)

POWDER COAT FINISHES:

800	Industrial Grey
805	Charcoal Granite
810	Graphite
975	Galvanized

B - STEM LENGTH

STEM MOUNT OPTIONS:

ST506	.5" Stem Mount, 6"
ST512	.5" Stem Mount, 12"
ST518	.5" Stem Mount, 18"
ST524	.5" Stem Mount, 24"
ST536	.5" Stem Mount, 36"
ST548	.5" Stem Mount, 48"

C - CANOPY

SC	Standard Canopy
HSC	Hang Straight Canopy
HDSMC	Heavy Duty Stem Mount Canopy

D - CAST GUARD OPTION

CGG	Standard Cast Guard
TGG	Heavy Duty Cast Guard
WGG	Wire Guard

E - CAST GUARD FINISH

Please Note: See **Section A** for all applicable Cast Guard Finish Options.

F - GLASS OPTIONS

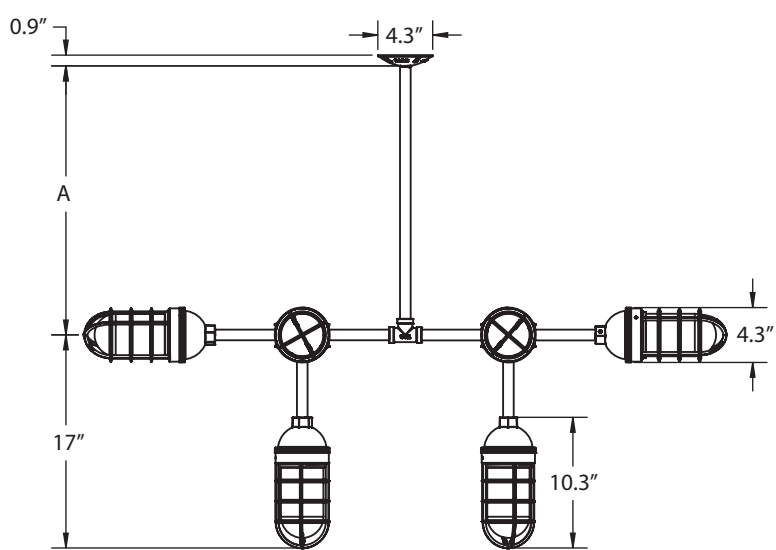
CLR	Clear Glass
FST	Frosted Glass
RIB	Ribbed Glass
SMK	Smoke Crackle Glass
BLU	Blue Glass
RED	Red Glass
AMB	Amber Glass
GRN	Green Glass

G - LIGHT SOURCE

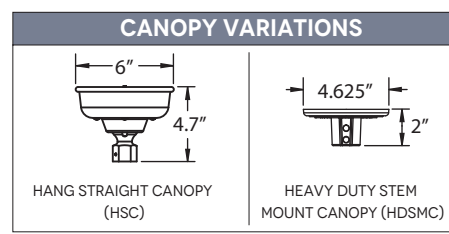
E26	75 Watt Max
G24	24 Watt CFL, 18W Max

IMPORTANT:

MOUNTING DIMENSIONS

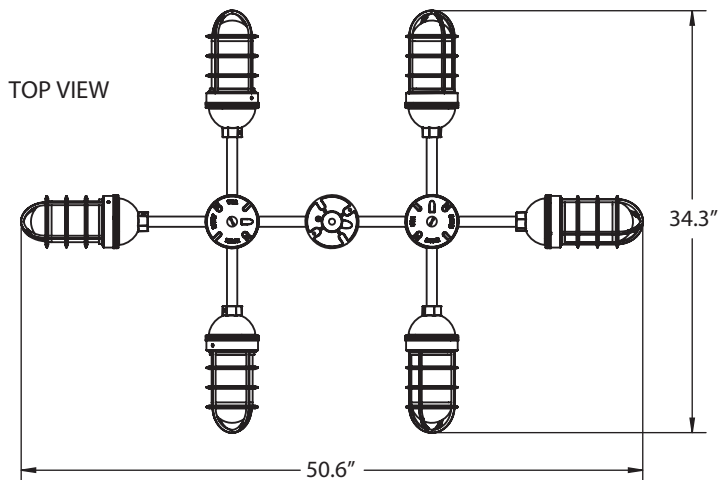


STEM LENGTH	HEIGHT (A)
06 (6" Stem)	6.2"
12 (12" Stem)	12.2"
18 (18" Stem)	18.2"
24 (24" Stem)	24.2"
36 (36" Stem)	36.2"
48 (48" Stem)	48.2"



SHOWN ABOVE WITH: STANDARD CANOPY

MOUNTING DIMENSIONS (CONTINUED)



SPECIFICATIONS

CERTIFICATIONS, LISTINGS & WARRANTY

MADE IN THE USA
 Manufactured and Hand-Crafted in our 60,000 Square Foot Facility
 Located in Titusville, FL

CSA LISTED FOR DAMP LOCATIONS

LIMITED WARRANTY
 For Additional Information on our Limited Warranty, Please See
 Our Terms & Conditions

LIGHT SOURCE

INCANDESCENT
 Medium Base E26 Socket, 120 VAC, 75 Watt Max

COMPACT FLUORESCENT
 Bi-Pin Base GU24 Socket, 120 VAC, 18 Watt Max

CONSTRUCTION & FINISH

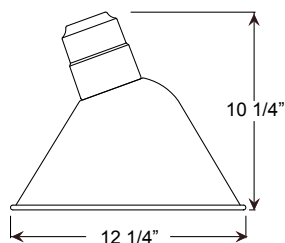
STEM
 1/2" Nominal (0.84" Actual) Aluminum Mounting Stem. Custom
 Lengths Available Upon Request.

POWDER COAT FINISHES
 Polyester Powder Coat Finishes are Electro-Staticly Applied and
 Thermocured

MAX FIXTURE WEIGHT
 10 lbs



Type E-B



Weight: 1.0 lb

A812 200w max Incandescent

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____



Specifications

Material:
 RLM shades are constructed of heavy duty spun aluminum. Wall back plate and ballast housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

Glass:
 Choice of clear, frosted or prismatic glass.

Electrical:
 Medium Base Socket, 200w Maximum.

Certifications:
 Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.

Finish:
 A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

Modifications:
 Consult factory for custom or modified luminaires.

Catalog Logic

A812 - **E6** - **N.A.** - **PC** - **41**

RLM Style Mounting Source Glass & Guards Accessories Finish

Catalog Number

1 2 3 4

A81 - **E6** - **N.A.** -

1 MOUNTING SOURCES

Arm Mounts (Cast back plate included)

E3	E4	E6	E7	E8	E9
E10	E11	E12	E13	E18	
E20	E22	E23	E25	E26	

Wall Mounts

WM10
WM35
WM40
WM55
WM75
WM318

Post Mounts

PM10
PM20
PM30
PM40
PM50
PM319

Cord Mounts

BLC	(6' black cord with 1" x 5 3/8" canopy)
WHC	(6' white cord with 1" x 5 3/8" canopy)

Stem Mounts

1/2" (13/16" OD Rigid Stems with STC Flat Canopy)					
2ST6	2ST12	2ST18	2ST24	2ST36	2ST48
2ST60	2ST72	2ST96			
3/4" (1" OD Rigid Stems with STC Flat Canopy)					
3ST6	3ST12	3ST18	3ST24	3ST36	3ST48
3ST60	3ST72	3ST96			

2 GLASS & GUARD

Up to 100w Options

100GLCL	(Clear Glass)
100GLFR	(Frosted Glass)
100GLPR	(Prismatic Glass)
100GLCLGUP	(Clear Glass & Small Wire Guard)
100GLFRGUP	(Frosted Glass & Small Wire Guard)
100GLPRGUP	(Prismatic Glass & Small Wire Guard)
100GLCLGUPC	(Clear Glass & Cast Guard)
100GLFRGUPC	(Frosted Glass & Cast Guard)
100GLPRGUPC	(Prismatic Glass & Cast Guard)
100GLGUP	(Small Wire Guard with No Glass)
100GLGUPC	(Cast Guard with No Glass)
AC	(Stipple Glass Acorn)
100GLBG	(White Ball Glass)

Up to 200w Options

200GLCL	(Clear Glass)
200GLFR	(Frosted Glass)
200GLPR	(Prismatic Glass)
200GLCLGUP	(Clear Glass & Large Wire Guard)
200GLFRGUP	(Frosted Glass & Large Wire Guard)
200GLPRGUP	(Prismatic Glass & Large Wire Guard)
200GLCLGUPC	(Clear Glass & Large Cast Guard)
200GLFRGUPC	(Frosted Glass & Large Cast Guard)
200GLPRGUPC	(Prismatic Glass & Large Cast Guard)
200GLGUP	(Large Wire Guard with No Glass)
200GLGUPC	(Large Cast Guard with No Glass)

3 ACCESSORIES

CBC	(Cast back plate Spun Alum Cover)
GR12	(12" Wire Grill)
PC	(Button Photo Cell) Remote Only
SC	(Scroll for Arms)
SLC	(Sloped Ceiling Mount, 20° Max)
SQ	(Square Back Plate)
SWL	(Swivel)
TBK	(Turnbuckle Kit)

4 FINISHES

Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe

Premium Grade	Marine Grade		Premium Grade	Marine Grade	
81	129	Extreme Chrome	64	116	Candy Apple Red
80	117	Textured Desert Stone	65	122	Cobalt Blue
67	119	Butterscotch	82	128	Graystone
66	115	Caramel	69	113	Gunmetal Gray
68	126	Black Silver	83	134	Oil Rubbed Bronze

Consult factory for additional paint charges and availability

WARRANTY
 See www.anplighting.com for complete fixture warranty.

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

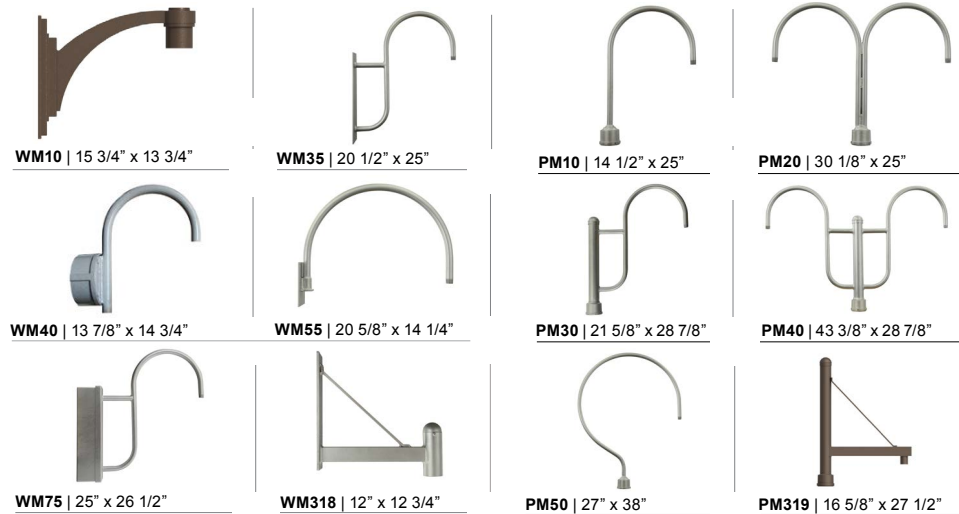
ARM MOUNTS | Dimensions are Projection x Height | CB included with all arms



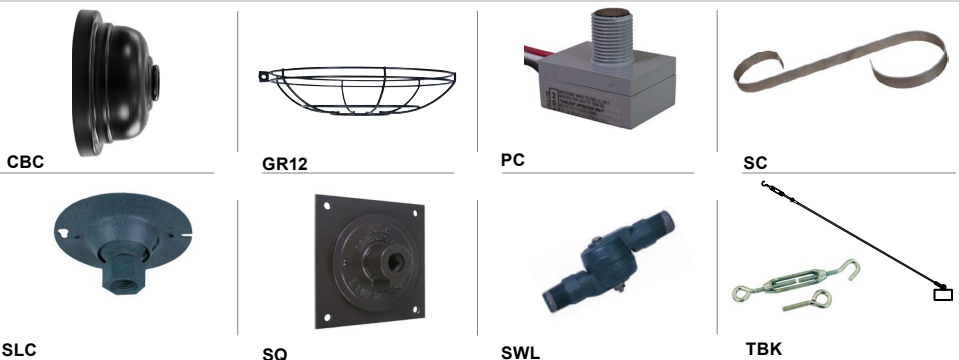
GLASS & GUARDS

Glass Legend: CL = Clear FR = Frosted PR = Prismatic	
Glass Only	
	GLCL GLFR GLPR
	AC (Acorn Glass -- Clear Stipple Only)
	GLBG (Ball Glass -- White Only)
Glass with Cast Guard	
	GLCLGUPC GLFRGUPC GLPRGUPC
Glass with Wire Guard	
	GLCLGUP GLFRGUP GLPRGUP
Guards Only	
	GLGUPC (Cast Guard)
	GLGUP (Wire Guard)

WALL MOUNTS | Dimensions are Projection x Height | **POST MOUNTS** | Dimensions are Projection x Height



ACCESSORIES



Type E-C



MACHINE AGE GALVANIZED CEILING FAN

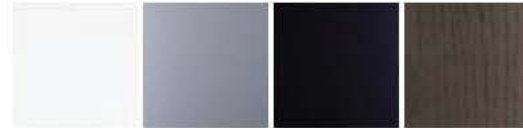
SHARE PRODUCT

★★★★☆ 6 reviews Write a review

IND-GV-WW-24-NA-WALL

BLADE COLOR ▾

WHITEWASH



WHITE

SILVER

BLACK

GREYWASH



MAHOGANY

MAPLE

WHITEWASH

LIGHT OPTION ▶

NO LIGHT

DOWNROD ▶

24" DOWNROD

SLOPE ADAPTER ▶

NONE

FAN CONTROLS ▶

WALL CONTROL

♥ Add To Wish List

Contact Your Sales Rep For Pricing

SHARE PRODUCT

PRINT

EMAIL

SAVE

PRODUCT DETAILS

REVIEWS

DOWNLOADS

The Machine Age Galvanized Ceiling Fan demonstrates the rugged styles that originated during the Industrial Age. Coordinating with popular rugged design features, like exposed ductwork and conduit, this fan elevates a room's aesthetic and establishes a unique modern décor. A completely galvanized motor housing and multiple fan blade options dictate the fan's appearance.

- Six Speeds, Forward/Reverse Function
- Imported Fixture

Dimensions 50" Span

Finish Galvanized Steel

UL Listed Yes (Damp Locations)

Type E-D



590-320



Ull Wall Lamp Galvanized LED

Colour of light



Color: Hot-dip galvanized



Product details

x

General

Approved for outdoor use Yes

Article Description Ull Wall Lamp Galvanized LED 2x8W rough proof

Colour (product) Hot-dip galvanized

EAN 7318305903203

EL-number 3112518

E-number 7700103

Material (product) Steel

Plug type N/A

Spare parts 300-012

SSTL-number 4111821

Electrical data

Battery included No

Power source Main voltage

Remote control included No

Voltage (V) 230-240V

Effect (W) 2x8W

Effect (W) per light source 2x8W

Light source

Light source included Yes

Light source max height NA

Number of light sources 2

Replaceable light source Yes

Socket High power LED

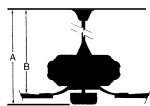
Burn time (LED) (h) 30000

Light source LED



Image File Name: F582L-GL.jpg

Item # F582L-GL	UPC Code: 706411064975
Product Family Name: Rainman™	Finish: Galvanized
Category: EXTERIOR FAN	Category Type: Ceiling Fan
Certification E75795	
Patents:	
Notes:	



MEASUREMENTS

Blade Finish:					Reversible Blades: No
Blade Material: ABS					Slope: Yes
Blade Sweep: 54"	No. of Blades: 5	Blade Pitch: 13.5			Hanging Weight: 27.65
Downrod 1: 6	Downrod 1 Outside Dia: .75	Downrod 2: 6			Downrod 2 Outside Dia:
Ceiling to Lowest Point: (Dim A) 23.75	Ceiling to Blade (Dim B) 12.25	Lead Wire: 80			Motor Size: 172 x 20 mm
RPM:	Low 70	Low/Med.	Medium	Med/High	High 155
Amps:	0.244				0.485
Watts:	15.29				57.16
CFM:	1988.0				4824.0
CFM/Watts:	130.02				84.39

LAMPING

No. of Bulbs: 1	Light Type: A19 LED BULB FROST	Light Kit Optional: No		
Max Bulb Wattage: 9	Socket: E26, MEDIUM			
Integrated Light Kit: Yes	Dimmable: Yes	Ballast:	Rated Life Hours: 15000	Uplight: No
Bulb/LED Included: Yes	Color Temp.: 3000	CRI: 91	Initial Lumens: 810.0	Delivered Lumens: 533.7

GLASS

Description: ACID ETCHED	Material: GLASS
Part No.:	Quantity: 1
Width: 5.5	Height: 8.5
	Length: 5.5



CONTROLS

Pull Chain Control: No	Works with Remote Control: Yes	Works with Wall Control: Yes
Reversible: No	Included Remote Control: WCS213	Included Wall Control: WCS213
Smart Control: No	Compatible Remote Control(s): RCS213	Compatible Wall Control(s):
Integrated Smart Control:		Compatible Smart Control: BD-1000



SHIPPING

Carton Width: 20.25	Carton Height: 15.0	Carton Length: 20.0
Carton Weight: 32.78	Carton Cubic Feet: 3.516	Small Package Shippable: Yes
Master Pack Width:	Master Pack Height:	Master Pack Length:
Master Pack Weight:	Master Cubic Feet:	Multi-Pack: 1
		Master Pack: 1

LED



Wet Location

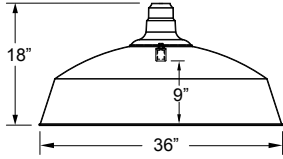


UL Listed

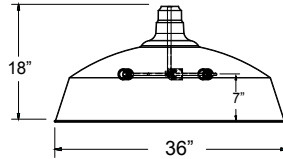


WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.

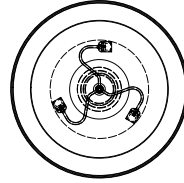
For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.



Medium Base



3-Light Cluster



Weight: 16.5 lbs

OSWD536
200w Max
Medium Base

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____

Specifications

Material:
 RLM shades are constructed of heavy duty spun aluminum. Wall back plate and ballast housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

Glass:
 Choice of clear, frosted or prismatic glass is optional. (Not available with 3-light)

Lens:
 Flat, 92% transmission white acrylic lens, 0.059" thick is optional. (Not available with 3-light)

Electrical:
 Medium Base Socket, 200w Maximum or GU24 Socket.
 Approximately 12" of pull wire extends from fixture. Additional pull wire provided for post mount arms and wall mounts

Certifications:
 UL Listed for dry locations.

Finish:
 A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

Modifications:
 Consult factory for custom or modified designs.

Catalog Logic

OSWD536 - MB - E6 - CBC - 100GLCL - 72 - 72 - 72

RLM Style Lamp Base Mounting Source Accessories Glass Finish Inside Shade Finish 3-light Cluster Finish

Catalog Number	1	2	3	4	5	6	7
OSWD536							

1 LAMP BASE

MB	(Medium Base, 200w Max)
GU24	(GU24 Base)
3MBQM	(3-light medium base curved arm cluster, medium)

2 MOUNTING SOURCES*

Arm Mounts (Cast back plate included)

E3	E4	E6	E7	E8	E9	E10	E11	E12	E18
----	----	-----------	----	----	----	-----	-----	-----	-----

Wall Mounts

WM55

Cable Mounts** (Includes 1" x 5 3/8" canopy)

SSC-BLC (Stainless steel cable with 6' Black SJT Cord)
SSC-WHC (Stainless steel cable with 6' White SJT Cord)
SSC-XXXX (Stainless steel cable with 6' Color cord. Replace XXXX with color cord designation below)

**Cord/Cable Canopy finish will match fixture finish.

SJT Cord

BLC (6' Black SJT Cord)	WHC (6' White SJT Cord)
--------------------------------	--------------------------------

Solid Fabric Colored Cords

BLSF (6' Black)	ORSF (6' Orange)
GYSF (6' Gray)	LGSF (6' Lime Green)
CHSF (6' Chocolate Brown)	KGSF (6' Kelly Green)
WHSF (6' White)	CBSF (6' Cobalt Blue)
CASF (6' Cardinal)	SBSF (6' Sky Blue)

Patterned Fabric Colored Cords

BWHPF (6' Black/White Houndstooth)	BIHPF (6' Brown/Ivory Houndstooth)
GYCPF (6' Gray/Citrus Yellow)	MOSPF (6' Magenta/Orange Stripe)

NMTPF (6' Navy Mini Tweed)

Glossy Fabric Colored Cords

GMGF (6' Gun Metal)	SSGF (6' Sterling Silver)
CPGF (6' Copper Penny)	BRGF (6' Bronze)
GOGF (6' Gold)	

Stem Mounts (Includes STC Flat Canopy)

1/2" (13/16" OD) Rigid	3/4" (1" OD) Rigid Stems
------------------------	--------------------------

2ST6	2ST12	2ST18	3ST6	3ST12	3ST18
2ST24	2ST36	2ST48	3ST24	3ST36	3ST48
2ST60	2ST72	2ST96	3ST60	3ST72	3ST96

*Arm mount, Wall mount or Stem finish will match fixture finish.

3 ACCESSORIES*

CBC	(Cast back plate Spun Alum Cover)*
SLC	(Sloped Ceiling Mount Canopy, 20° Max)*
SQ	(Square Back Plate)*
WH	(White Flat Acrylic Lens) (Not available with 3-light)
TBK	(Turn Buckle Kit)*

*Accessory finish will match fixture finish.

4 GLASS & GUARD* (Not available with 3-light) Up to 100w Only

100GLCL	(Clear Glass)
100GLFR	(Frosted Glass)
100GLPR	(Prismatic Glass)
100GLCLGUP	(Clear Glass & Small Wire Guard)
100GLFRGUP	(Frosted Glass & Small Wire Guard)
100GLPRGUP	(Prismatic Glass & Small Wire Guard)
100GLCLGUPC	(Clear Glass & Cast Guard)
100GLFRGUPC	(Frosted Glass & Cast Guard)
100GLPRGUPC	(Prismatic Glass & Cast Guard)
100GLGUP	(Small Wire Guard with No Glass)
100GLGUPC	(Cast Guard with No Glass)

*Cast and Wire Guard Finish will match fixture finish.

5 6 7 FINISHES

*Marine Grade Finish has an additional charge

Standard Colors	Standard Grade	Marine	Premium Colors	Premium Grade	Marine Grade*
Aspen Green	10	10M	High Gloss Black	01	01M
Cantaloupe	11	11M	Arctic Silver	14	14M
Lilac	12	12M	Candy Apple Red	64	64M
Putty	13	13M	Cobalt Blue	65	65M
Raw Unfinished	40	NA	Caramel	66	66M
Black	41	41M	Butterscotch	67	67M
Forest Green	42	42M	Black Silver	68	68M
Bright Red	43	43M	Gunmetal Gray	69	69M
White	44	44M	Mayan Gold	79	NA
Bright Blue	45	45M	Textured Desert Stone	80	80M
Sunny Yellow	46	46M	Extreme Chrome	81	81M
Aqua Green	47	47M	Graystone	82	82M
Galvanized	49	NA	Il Rubbed Bronze	83	83M
Navy	50	50M	Carbon Graphite	96	96M
Architectural Bronze	51	51M			
Patina Verde	52	52M			
Copper Clay	53	53M			
Silver	56	56M			
Black Verde	61	61M			
Painted Chrome	70	70M			
Painted Copper	71	71M			
Textured Black	72	72M			
Matte Black	73	73M			
Textured Architectural Bronze	76	76M			
Textured White	77	77M			
Textured Silver	78	78M			

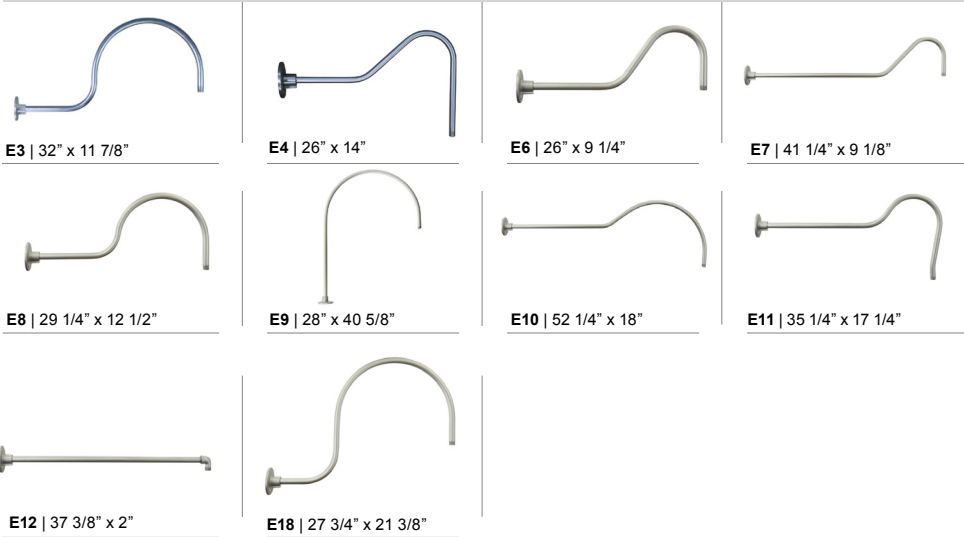
Consult Factory for additional paint charges and availability.

WARRANTY

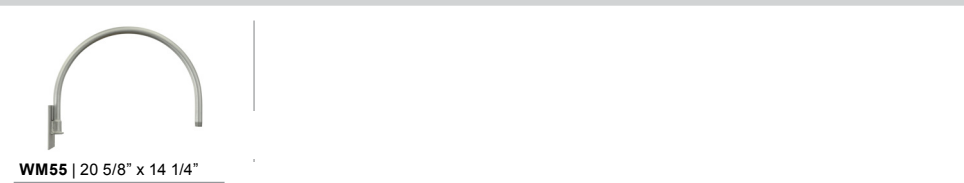
See www.ANPlighting.com for complete fixture warranty.

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____

ARM MOUNTS | Dimensions are Projection x Height | CB included with all arms



WALL MOUNTS | Dimensions are Projection x Height



ACCESSORIES



GLASS & GUARDS UP TO 100W MAX	
Glass Legend: CL = Clear FR = Frosted PR = Prismatic 100 = Small 200 = Large	
Glass Only (6 1/2" H X 4 1/8" W)	
	100GLCL 100GLFR 100GLPR
Glass with Cast Guard (7 1/2" H X 4 1/8" W)	
	100GLCLGUPC 100GLFRGUPC 100GLPRGUPC
Glass with Wire Guard (7 1/2" H X 4 1/8" W)	
	100GLCLGUP 100GLFRGUP 100GLPRGUP
Guards Only (7 1/2" H X 4 1/8" W)	
	100GLGUPC (Cast Guard)
	100GLGUP (Wire Guard)

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____

All fabric Color Cords are three conductor, 1/4" diameter

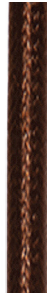
Solid Fabric Colored Cords



BLSF | Black



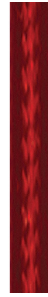
GYSF | Gray



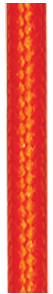
CHSF | Chocolate Brown



WHSF | White



CASF | Cardinal



ORSF | Orange



LGSF | Lime Green



KGSF | Kelly Green



CBSF | Cobalt Blue



SBSF | Sky Blue

Patterned Fabric Colored Cords



BWHPF | Black/White Houndstooth



BIHPF | Brown/Ivory Houndstooth



GYCPF | Gray/Citrus Yellow



MOSPF | Magenta/Orange Stripe



NMTPF | Navy Mini Tweed

Glossy Fabric Colored Cords



GMGF | Gun Metal



SSGF | Sterling Silver



CPGF | Copper Penny



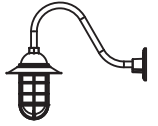
BRGF | Bronze



GOGF | Gold



INDUSTRIAL GUARD GOOSENECK



BLE - G - CGG - 975 - G11 - FS - CGG - 975 -

A B C D E F

RIB - E26 -

G H I J

Order Example: BLE - G - CGG - 200 - G10 - 975 - NA - TGG - 200 - FST - NA - E26 - NA

A - SHADE/TOP FINISH

POWDER COAT FINISHES:

- 100 Black
- 105 Textured Black
- 200 White
- 300 Dark Green
- 307 Emerald Green
- 311 Jadite
- 370 Mint
- 380 Chartreuse
- 390 Teal
- 400 Barn Red
- 480 Blush Pink
- 490 Magenta
- 420 Orange
- 470 Watermelon
- 500 Buttery Yellow
- 570 Sunflower
- 600 Bronze
- 605 Rust
- 601 Chocolate
- 615 Oil-Rubbed Bronze
- 700 Royal Blue
- 705 Navy
- 710 Cobalt Blue
- 715 Delphite Blue
- 800 Industrial Grey
- 805 Charcoal Granite
- 810 Graphite
- 975 Galvanized

B - GOOSENECK ARMS

GOOSENECK OPTIONS:

- G1 G16
- G2 G17
- G3 G19
- G4 G22
- G5 G24
- G6 G25
- G7 G26
- G8 G32
- G9 G34
- G10 G35
- G11 G36
- G12 G40
- G13 G64
- G14 G65
- G15

C - GOOSENECK ARM FINISH

Please Note: See **Section A** for all finish options. Selection identifies gooseneck and wall backing plate finish.
(1) Finish 980-Brushed Aluminum is also available.

- 980 Brushed Aluminum

D - SHADE OPTION

- NA None/No Shade
- FS Flared Shade
- WH Warehouse Shade

E - GUARD OPTION

- TGG Heavy Duty Cast Guard
- CGG Standard Cast Guard
- WGD Wire Guard

F - GUARD FINISH

Please Note: See **Section A** for all guard finish options.

G - GLASS OPTIONS

- CLR Clear Glass¹
- FST Frosted Glass
- RIB Ribbed Glass
- SMK Smoke Crackle Glass
- BLU Blue Glass
- RED Red Glass
- AMB Amber Glass
- GRN Green Glass

H - MOUNTING ACCESSORY

- NA None/Not Applicable
- HDBP Heavy Duty Backing Plate
- DD Dusk-to-Dawn Photocell
- DBPC Decorative Backing Plate Cover

I - LIGHT SOURCE

- E26 100 Watt Max
- GU24 24 BI-PIN, 18W Max²
- LED16.8 1600 Lumen, 16W LED

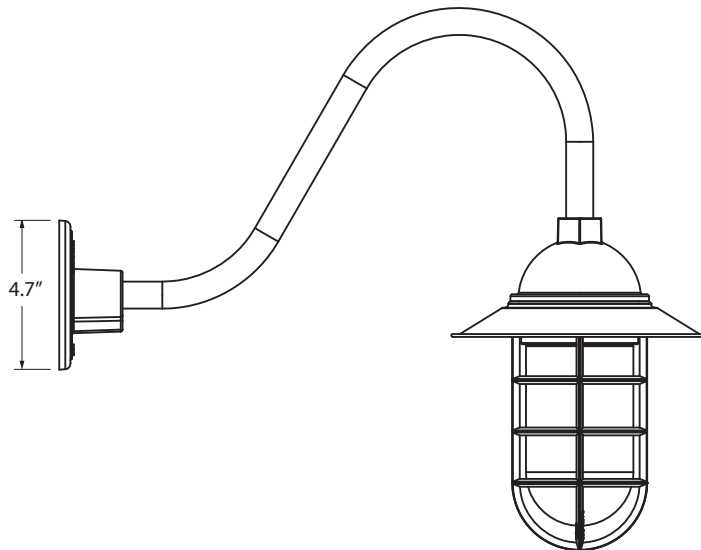
J - COLOR TEMPERATURE³

- NA Not Applicable
- 2700K 2700K, Warm White
- 3000K 3000K, Neutral White
- 3500K 3500K, Bright White
- 4000K 4000K, Cool White

IMPORTANT: (1) Clear Glass not recommended if LED16.8 Light Source selected in Section I (2) Fixtures configured with GU24 socket are non-returnable (3) Selection only applicable if LED16.8 Light Source selected in Section I, select NA if E26 or GU24 source is selected

DIMENSIONAL DRAWING

SHOWN WITH:
G11 GOOSENECK ARM (SECTION B)
& FS-FLARED SHADE (SECTION D)



LIGHT SOURCE

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. To obtain an IES file specific to your project, please contact the factory.

OPTION	WATTAGE	LUMENS <small>*Avg. value, actual value dependent on bulb used</small>	CRI	VOLTAGE	DIMMING
INCANDESCENT (MED E26)					
E26	100W Max	1600*	100*	120 VAC	Bulb Dependant
COMPACT FLOURESCENT (GU24 CFL)					
GU24	18W Max	1600*	75*	120 VAC	Bulb Dependant
LED					
LED16.8	16W	1600	>90	120 VAC	TRIAC

SPECIFICATIONS

LED SPECIFICATIONS

LUMEN MAINTENANCE

LED16.8 Source is L90(11K) > 61,000 Hours.

COLOR TEMPERATURES

Standard Color Temperatures Available Include 2700K, 3000K, 3500K and 4000K. Custom Temperatures Available upon Request.

CRI

Minimum 90 CRI, Consult Factory for Other CRI Options

EFFICACY

Delivers over 95 Lumens per Watt

DRIVER & DIMMING OPTION

Reliant on Triac Dimming 16.8W / 120V, Dimmable down to 1% Depending on Dimmer. Requires Compatible Dimming Switch.

FINISHES & DESIGN

POWDER COAT FINISHES

Polyester Powder Coat Finishes Are Electro-Statically Applied and Thermocured

GOOSENECK

1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40, 6063 Aluminum Gooseneck

CERTIFICATIONS, LISTINGS & WARRANTY

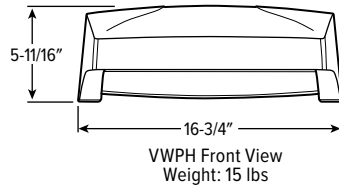
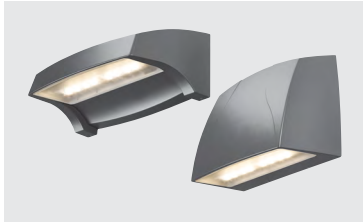
MADE IN THE USA

Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility Located in Titusville, FL

CSA LISTED FOR WET LOCATIONS

LIMITED WARRANTY

For Additional Information on Our Limited Warranty, Please See Our Terms & Conditions



CATALOG #: _____

TYPE: _____

PROJECT: _____

FEATURES

- Designed to illuminate sidewalks, entryways, perimeters or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here® in the USA

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

ORDERING INFO

SERIES	TYPE	LUMENS ^[1]	CRI	CCT	DISTRIBUTION ^[2]
VWP	H Horizontal V Vertical	L30 3,000lm L60 6,000lm	7 70	30 3000K 40 4000K 50 5000K	T3 Type III TFT Type forward throw

SPECIFICATIONS

- HOUSING – Die-cast aluminum enclosure.
- THERMAL MANAGEMENT – Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated -30°C to 40°C ambient operating temperature (-20°C to 40°C with EM/10WC; 0°C to 39°C with EM/4W).
- OPTICAL SYSTEM – Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
- LED DRIVER – 0-10V dimming.
- ELECTRICAL – 120-277, 347, and 480 VAC input range; 50-60Hz; power factor >.90; THD <20% at full load. FCC Class A compliant. 10kA/10kV surge protection standard. Quick-disconnect wiring provided. L70 >50,000 hours per IES TM-21.
- FINISH – Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING – Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPH = 15 lbs, VWPV = 23 lbs).
- LISTINGS –
 - cCSAus certified as luminaire suitable for wet locations.
 - DesignLights Consortium qualified product. Not all versions of this product may be DLC qualified, see the DLC Qualified Products List at www.designlights.org/QPL.
 - IDA Dark-Sky approved (downlight applications only).
 - RoHS compliant.
 - IP65 rated.
 - Title 24 compliant with OCCWS FSP-311-L_ option.
- WARRANTY – 5-year limited warranty, see hew.com/warranty.

FINISH OPTIONS ^[3]

- BLK Black (RAL #9004)
- DBZ Dark bronze
- DBR Medium bronze
- GRAY Standard gray
- SLV Satin aluminum (RAL #9006)
- WHT White (RAL #9003)

SHIELDING

- SDGL Micro-prismatic tempered glass lens
- CGL Clear tempered glass lens

OPTIONS

- EM/4W 4-watt integral emergency LED driver ^[4]
- SF Single fuse ^[5]
- DF Double fuse ^[6]
- PC Factory-installed button-style photocell ^[7]
- HSGX Empty housing extension used to match units with EM, OCC, or conduit entry options.
- TP Tamper-resistant Torx head screws ^[8]

CONTROL

- DIM Dimming driver prewired for 0-10V controls

VOLTAGE

- 120 120V
- 208 208V
- 240 240V
- 277 277V
- UNV 120-277V
- 347 347V ^[14]
- 480 480V ^[15]

CONDUIT ENTRY ^[9]

- CR Right side conduit entry ^[10]
- CL Left side conduit entry ^[11]
- CD Dual conduit entry

VWPH ONLY

- EM/10WC 10-watt emergency LED driver ^[12]
- OCCWS FSP-311-L_ Factory-installed occupancy sensor ^[13]

ACCESSORIES

- TPTX-25 TOOL Tamper-resistant tool for Torx head screws. ^[16]

NOTES

- ¹ Lumen output based on 3500 CCT. Actual lumens may vary +/-5%, see page 2 for FIXTURE PERFORMANCE DATA. Additional lumen package available, see options
- ² See page 2 for DISTRIBUTION DETAILS.
- ³ See page 3 for FINISH OPTIONS.
- ⁴ 120-277V only; VWPV includes housing extension, increases fixture depth. See page 2 for FIXTURE DETAILS.
- ⁵ 120V, 277V, or 347V only; must specify voltage
- ⁶ 208V, 240V, or 480V only; must specify voltage.
- ⁷ 120V, 208V, or 277V only; must specify voltage. Not available when specified with OCCWS option. See page 3 for OPTIONS DETAILS. Right side when viewed from behind fixture.
- ⁸ Silver finish only. Safety screws providing added support to the lens are not tamper-resistant (lens is sealed to the fixture via adhesion). Requires a tamper-resistant tool, see Accessories.
- ⁹ Fixtures require housing extension when specified with conduit entry. Increases fixture depth. Conduit entry provided with 1/2" NPT tapered pipe thread and plug. Increases fixture height. Conduit fitting to be supplied by others. Left and right when viewed from behind fixture.
- ¹⁰ Left and right when viewed from behind fixture.
- ¹¹ Left and right when viewed from behind fixture.
- ¹² Low temperature, includes housing extension increases fixture depth; 120-277V only; not available with CR and CD options. See page 2 for FIXTURE DETAILS.
- ¹³ Includes housing extension (increases fixture depth), must specify lens. See page 3 for OCCUPANCY SENSOR DETAILS.
- ¹⁴ Includes stepdown transformer.
- ¹⁵ Includes stepdown transformer.
- ¹⁶ Tamper-resistant tool must be ordered separately. Please specify quantity required per project.

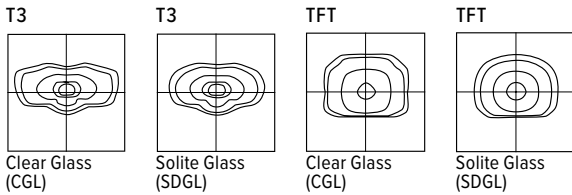


FIXTURE PERFORMANCE DATA

	LED PACKAGE	DISTRIBUTION	WATTAGE	CCT	CLEAR GLASS (CGL)		SOLITE GLASS (SDGL)		BUG RATINGS	
					DELIVERED LUMENS	EFFICACY (lm/W)	DELIVERED LUMENS	EFFICACY (lm/W)		
VWPH	L30	T3	36	3000	3174	88.2	2963	82.3	B1-U0-G1	
				4000	3327	92.4	3106	86.3		
				5000	3438	95.5	3209	89.1		
		TFT		3000	2713	75.4	2533	70.4		B1-U0-G1
				4000	2844	79.0	2655	73.8		
				5000	2939	81.6	2743	76.2		
	L60	T3	70	3000	5933	84.8	5887	84.1	B1-U0-G1	
				4000	6611	94.4	6172	88.2		
				5000	6831	97.6	6376	91.1		
		TFT		3000	5470	78.1	5065	72.4		B2-U0-G1
				4000	5688	81.3	5309	75.8		
				5000	5876	83.9	5486	78.4		
VWPV	L30	T3	36	3000	3115	86.5	2908	80.8	B1-U0-G1	
				4000	3403	94.5	3177	88.3		
				5000	3385	94.0	3160	87.8		
		TFT		3000	2840	78.9	2651	73.6		B2-U0-G1
				4000	3103	86.2	2896	80.4		
				5000	3086	85.7	2881	80.0		
	L60	T3	70	3000	6171	88.2	5813	83.0	B2-U0-G2	
				4000	6804	97.2	6351	90.7		
				5000	6767	96.7	6317	90.2		
		TFT		3000	5822	83.2	5126	73.2		B3-U0-G1
				4000	5999	85.7	5600	80.0		
				5000	5967	85.2	5570	79.6		

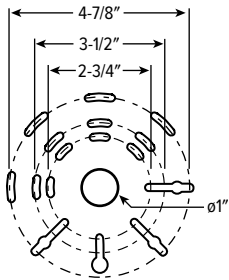
- Photometrics tested in accordance with IESNA LM-79. Results shown are based on 25°C ambient temperature.
- Wattage shown is average for 120V through 277 input.

DISTRIBUTION DETAILS



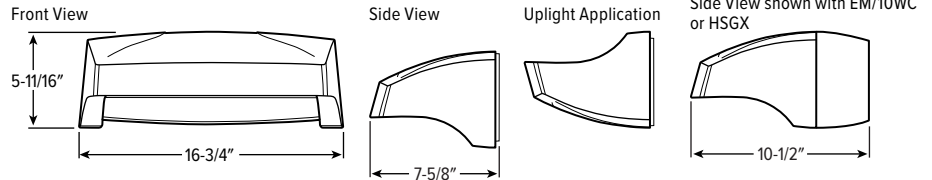
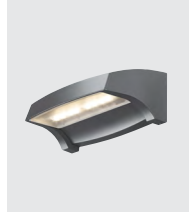
FIXTURE DETAILS

BOLT PATTERN DETAIL



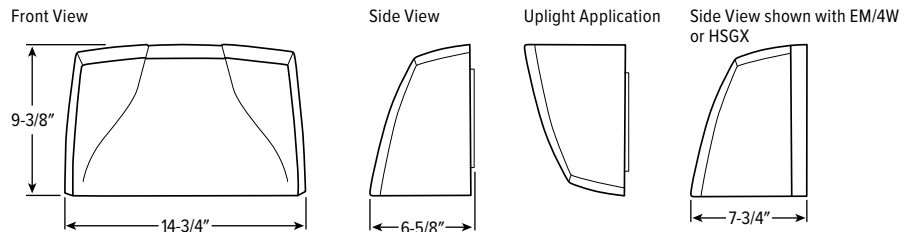
VWPH

Weight: 15 lbs; maximum weight with EM/10WC or HSGX: 27 lbs.



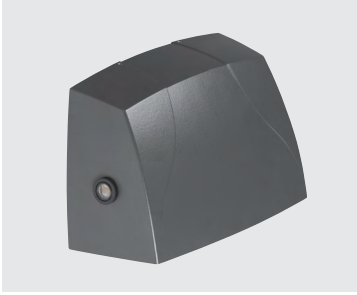
VWPV

Weight: 23 lbs



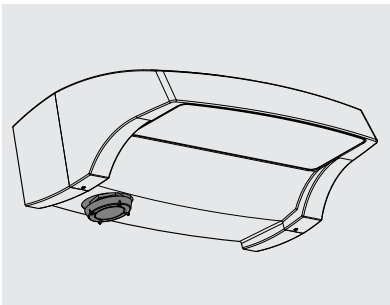
OPTIONS DETAILS

PC OPTION



Factory-installed button-style photocell, right side when viewed from behind fixture. (120V, 208V, or 277V only; must specify voltage)

OCCUPANCY SENSOR DETAILS



EXAMPLE: OCCWS FSP-311-L2

FEATURES

- Fully adjustable high and low dimmed light levels.
- Designed for LED fixtures; rated for extreme temperatures and up to 200,000 on/off cycles.
- Hold-off setpoint with automatic calibration option for convenience and added energy savings.
- Adjustable via sensor configuration app.
- IP66 rated with choice of lenses for wet and outdoor locations, and mounting heights from 8' to 20'.
- Adjustable time delay and cutoff delay.
- Factory set to 10% dimming at 5 minutes, cutoff at 1 hour.

ORDERING INFORMATION

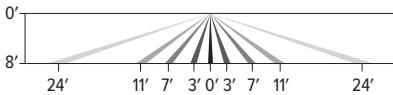
OCCWS FSP-311__ Factory-installed occupancy sensor, must specify lens (120V or 277V only)

LENS

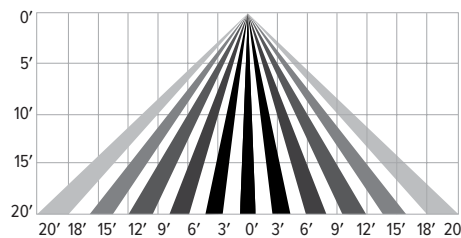
- L2 Coverage at 8' mounting height: $\phi 48'$
- L3 Coverage at 20' mounting height: $\phi 40'$

COVERAGE PATTERNS

L2 LENS



L3 LENS



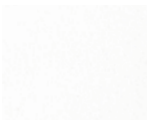
SENSOR CONFIGURATION APP

Initial setup and subsequent sensor adjustments are made using the iOS or Android Sensor Configuration App. This app enables adjustment of parameters including high and low modes, sensitivity, time delay, cut off and more. The smartphone app is also used to initiate automatic calibration of the FSP-3x1B ambient light level setpoint. The setpoint is used to hold the controlled lighting off or at low level when there is sufficient daylight. The wireless tool stores an unlimited number of sensor parameter profiles to speed configuration of multiple sensors.

Visit www.wattstopper.com for more information.

FINISH OPTIONS

WHITE



BLACK



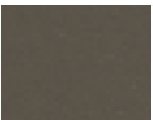
GREEN



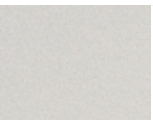
MEDIUM BRONZE



DARK BRONZE



SILVER



GRAY



For custom color, please specify RAL code or a manufacturer code with description. All custom colors other than RAL require two sample swatches, minimum 1" square.



Project		Catalog #		Type	
Prepared by		Notes		Date	



iO LED

CoviO™

Type E-J

LED
Interior / Exterior
Architectural Cove Integral Driver

Typical Applications

- Hotels • Restaurants • Commercial Office Spaces • Schools • Hospitals
- Retail • Residential

Interactive Menu

- Order Information page 2
- Photometric Data page 3
- Energy and Performance Data page 3
- Mounting and Installation page 5
- Installation Instructions
- Product Warranty

Product Certification

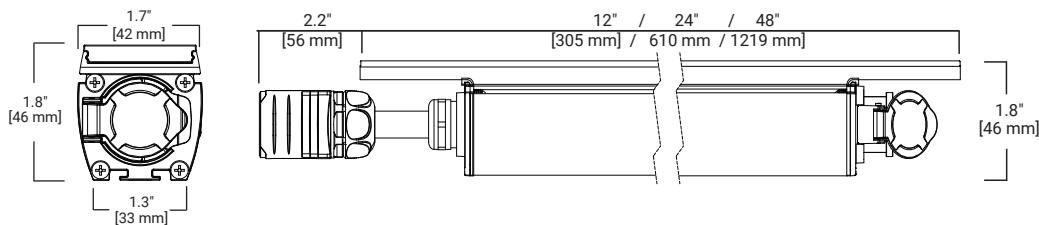


Product Features

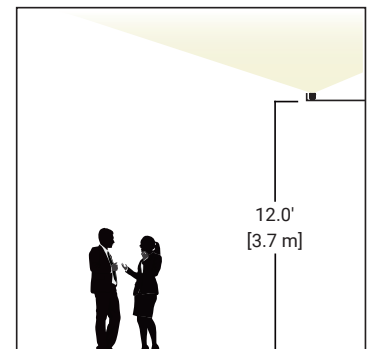


Top Product Features

Dimensions



Scale



[additional product diagrams](#)

Order Information

Series	Lumen Package	LED CRI & CCT Standard CRI	Optical Distribution	Environment	Voltage
Series	Lumen Package (Power)	LED CRI & CCT	Optical Distribution	Environment	Voltage

Housing Color	Mounting	Control Options	Length	Accessories
Housing Color	Mounting	Control Options	Length	Accessories

Product Specifications

Construction

Mounting

Compliance

Electrical

Environment

Control

4
4

LED Optics

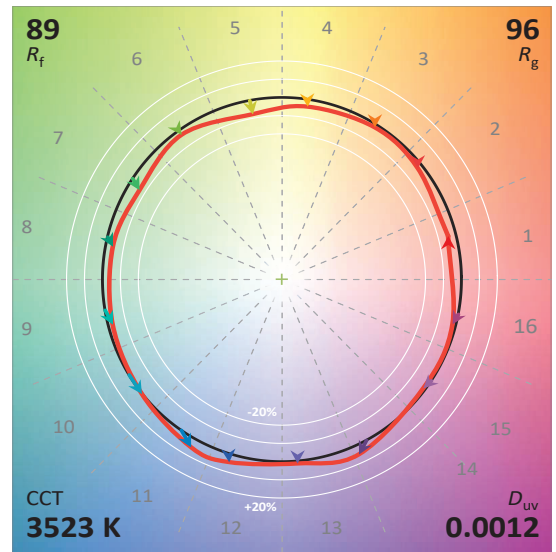
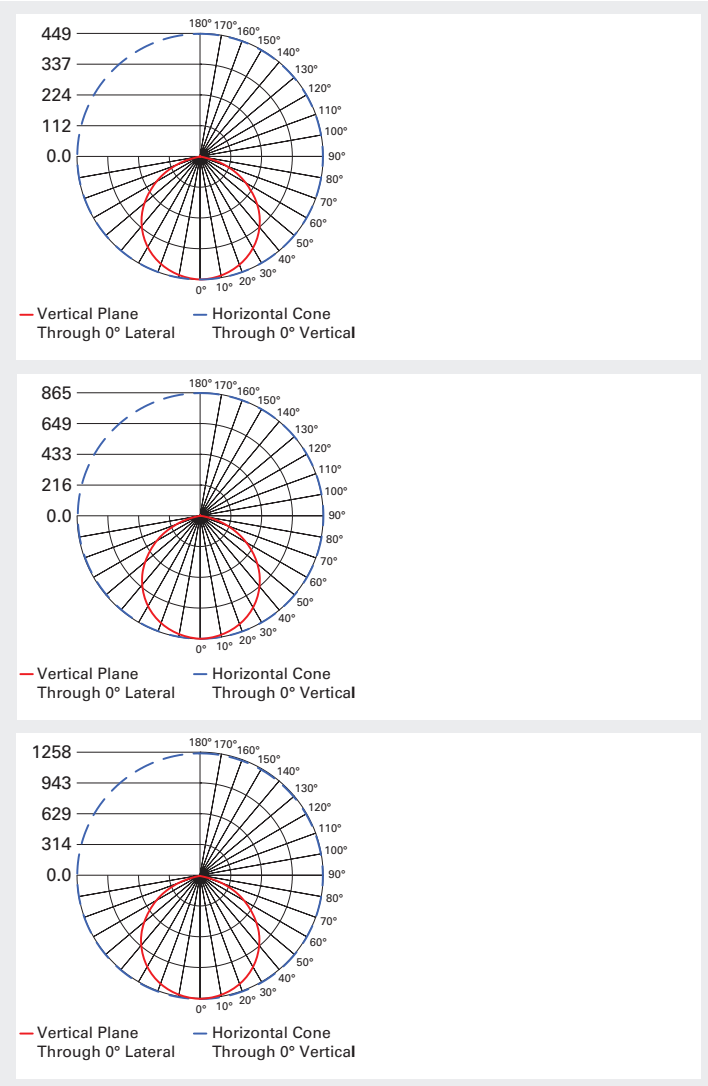
Finish

Weight

Warranty

Photometric Data

[View IES files](#)



CCT CRI R_f R_g R9

Energy Data

CCT 05L 10L 15L

Energy and Performance Data

Delivered Lumen Output Table										
Lumen Package, L	CCT	1F = 12" fixture			2F = 24" fixture			4F = 48" fixture		
		Delivered Lumens	Watts	Efficacy lm/W	Delivered Lumens	Watts	Efficacy lm/W	Delivered Lumens	Watts	Efficacy lm/W
05L	927	562	5.1	110.2	1147	9.9	115.9	2362	19	124.3
	930	583	5.1	114.3	1190	9.9	120.2	2450	19	128.9
	935	604	5.1	118.4	1232	9.9	124.5	2537	19	133.5
	940	614	5.1	120.4	1254	9.9	126.6	2581	19	135.8
10L	927	1080	9.9	109.1	2211	18.8	117.6	4538	37.5	121
	930	1120	9.9	113.1	2293	18.8	121.9	4706	37.5	125.5
	935	1160	9.9	117.2	2374	18.8	126.3	4874	37.5	130
	940	1180	9.9	119.2	2415	18.8	128.5	4958	37.5	132.2
15L	927	1581	14.6	108.3	3234	28.9	111.9	6576	56.5	116.4
	930	1640	14.6	112.3	3354	28.9	116.0	6820	56.5	120.7
	935	1698	14.6	116.3	3473	28.9	120.2	7064	56.5	125
	940	1727	14.6	118.3	3533	28.9	122.3	7185	56.5	127.2

Linear Module Run Length Limits

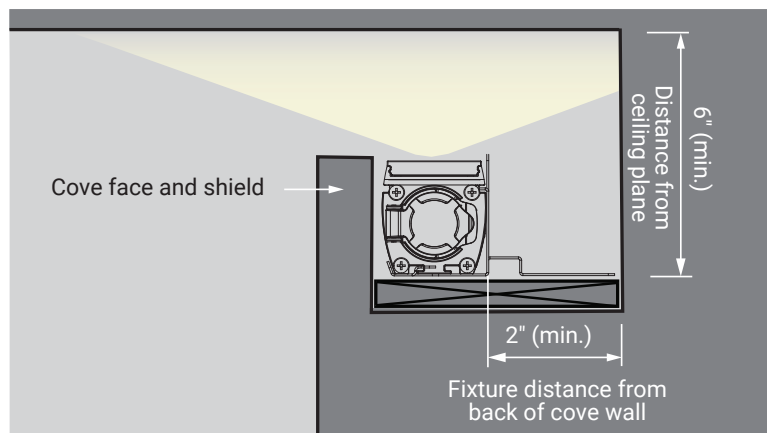
Run Length Limits (ft)

Dimming Protocol

Dimmer Compatability

List of Tested Dimmers	Notes
------------------------	-------

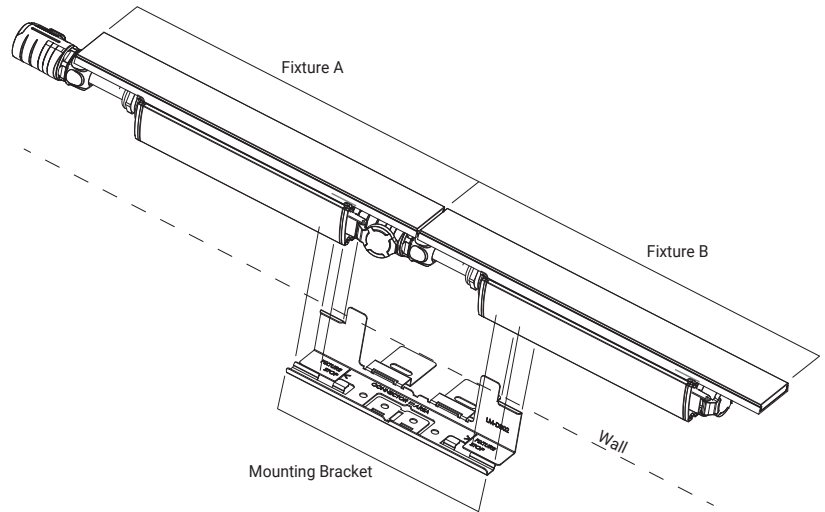
Cove Design Guidelines



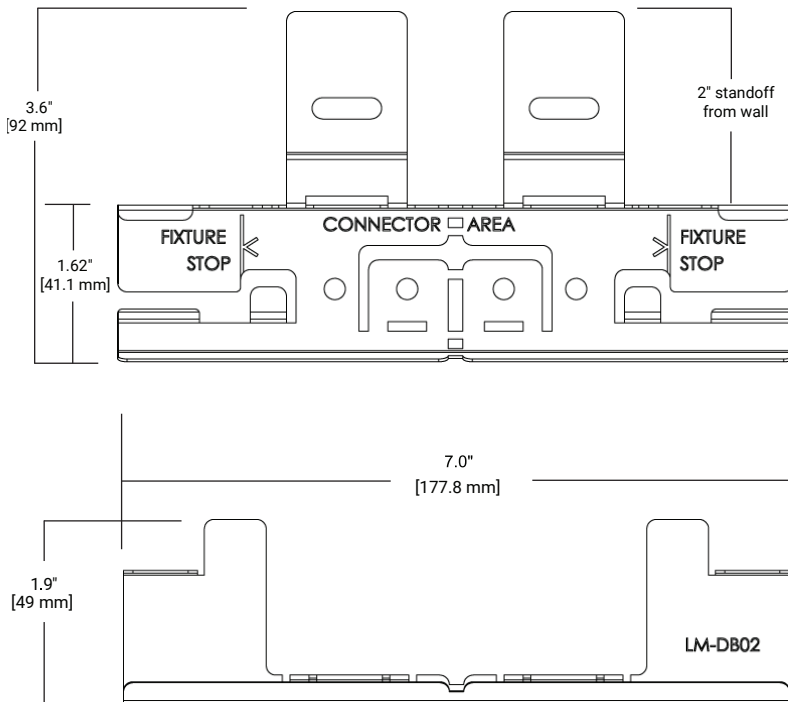
Mounting and Installation

Custom brackets are designed to self-align CoviO fixtures in a linear run. Diagrams at right shows how each bracket spans between two fixture to align the linear run. Bracket can be placed on mounting plate for 15° or 30° aiming. Brackets have incorporated 2" stand-off for optimal cove light distribution. Other mounting considerations:

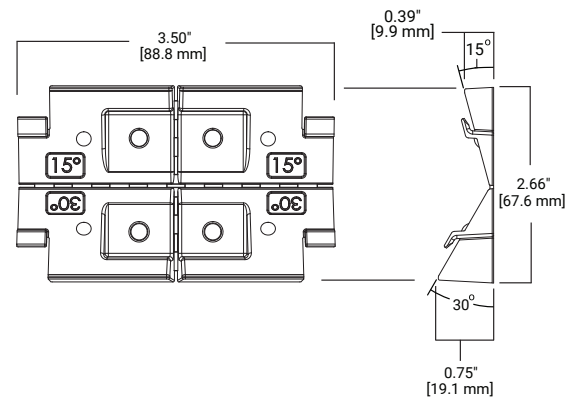
- Mounting location must have solid floor for mounting bracket attachment
- Matte surface finishes in, above and adjacent to cove will deliver optimal cove light distribution
- Do not pre-install more than 12 brackets before installing fixtures
- Fixtures should be mounted at least 2" from wall for optimal cove light distribution.
- Mounting bracket stand-off can be cut off when using angled mounting plate.
- Bracket can be cut in half for runs, end of run, or curved runs.
- Jumper accessory is required for any bend radius > 20°



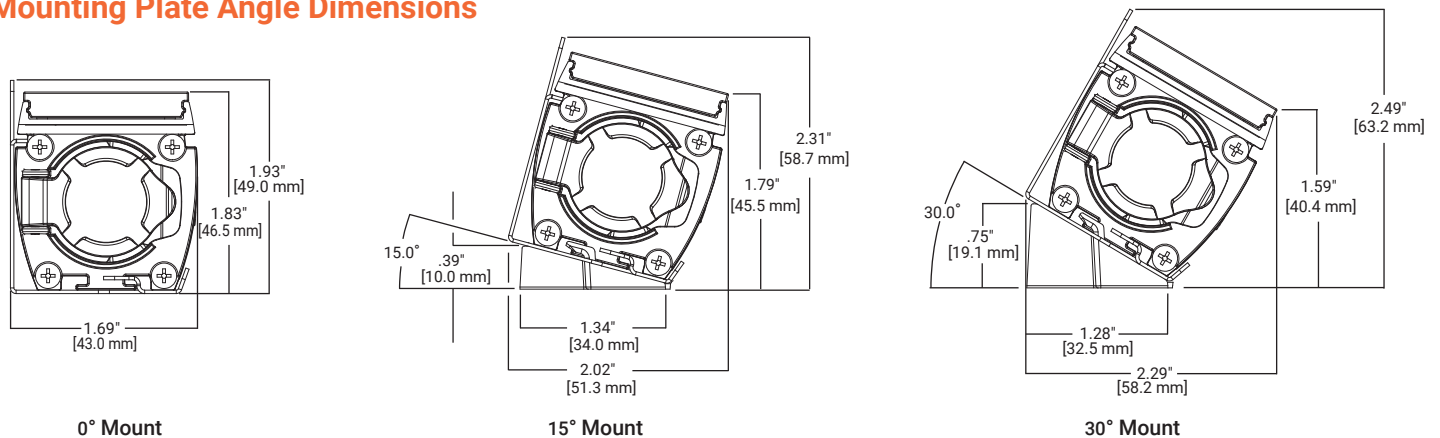
Mounting Bracket Dimensions



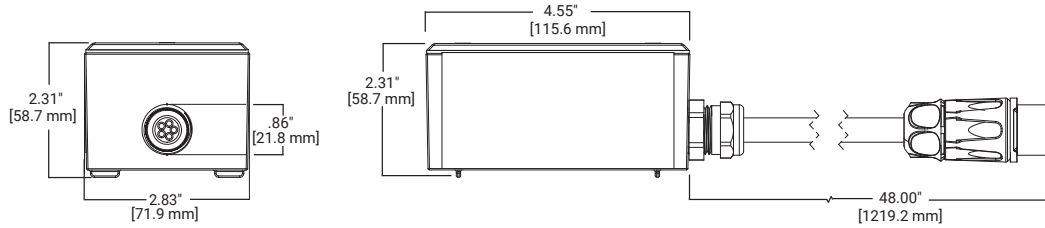
Mounting Plate Dimensions



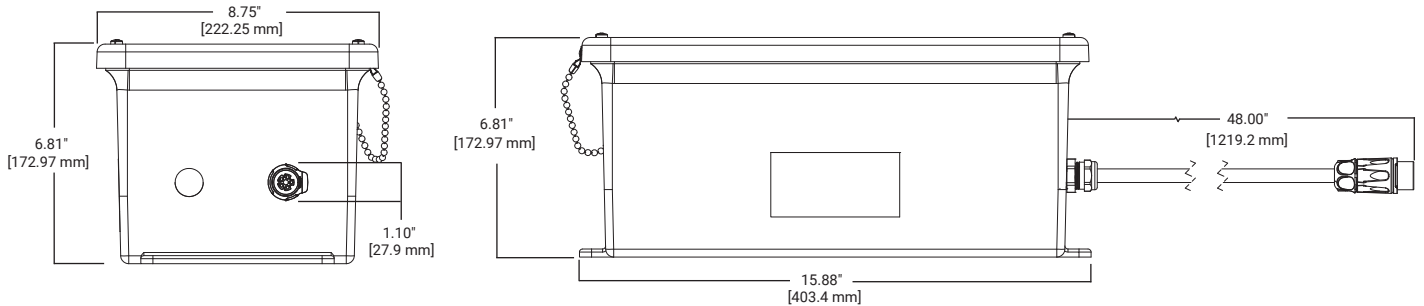
Mounting Plate Angle Dimensions



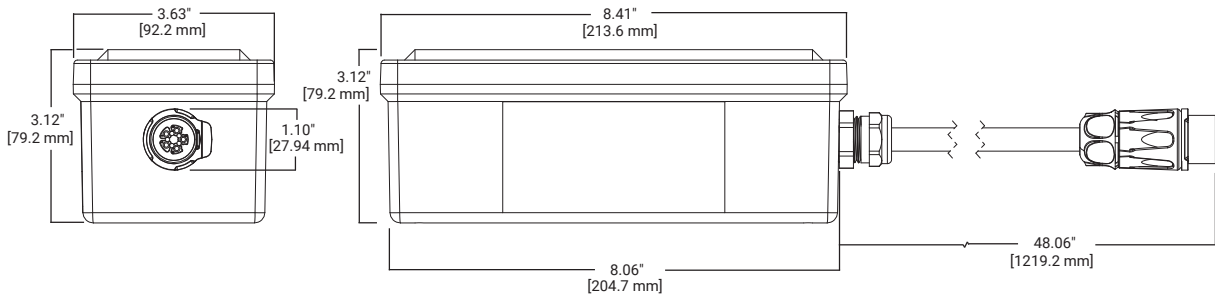
STD - Beginning of Run Power Harness



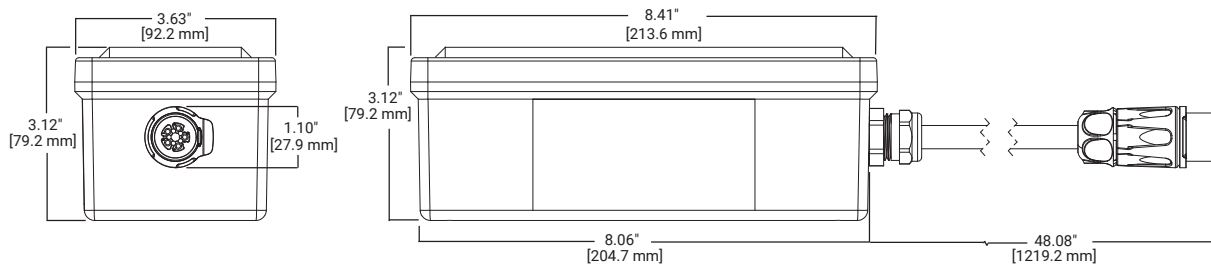
ELV / TR Control Module



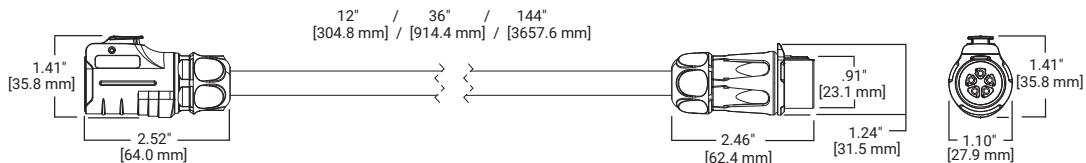
5LT - DALI Control Module



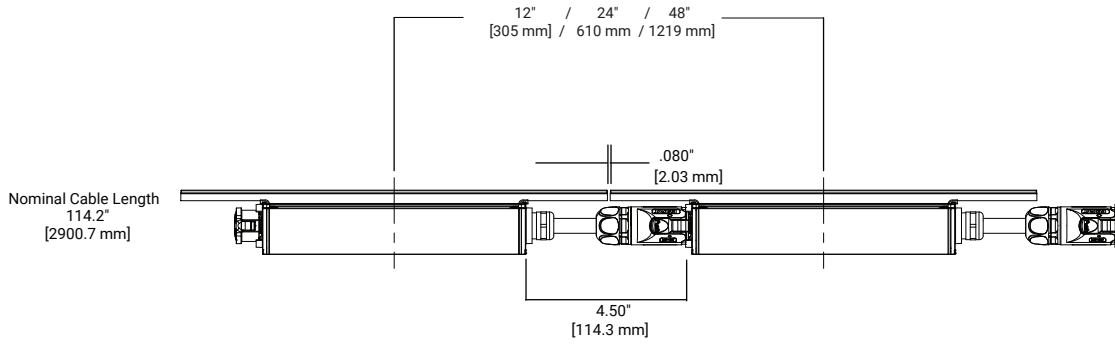
WL - Wavelinx Wireless Control Module



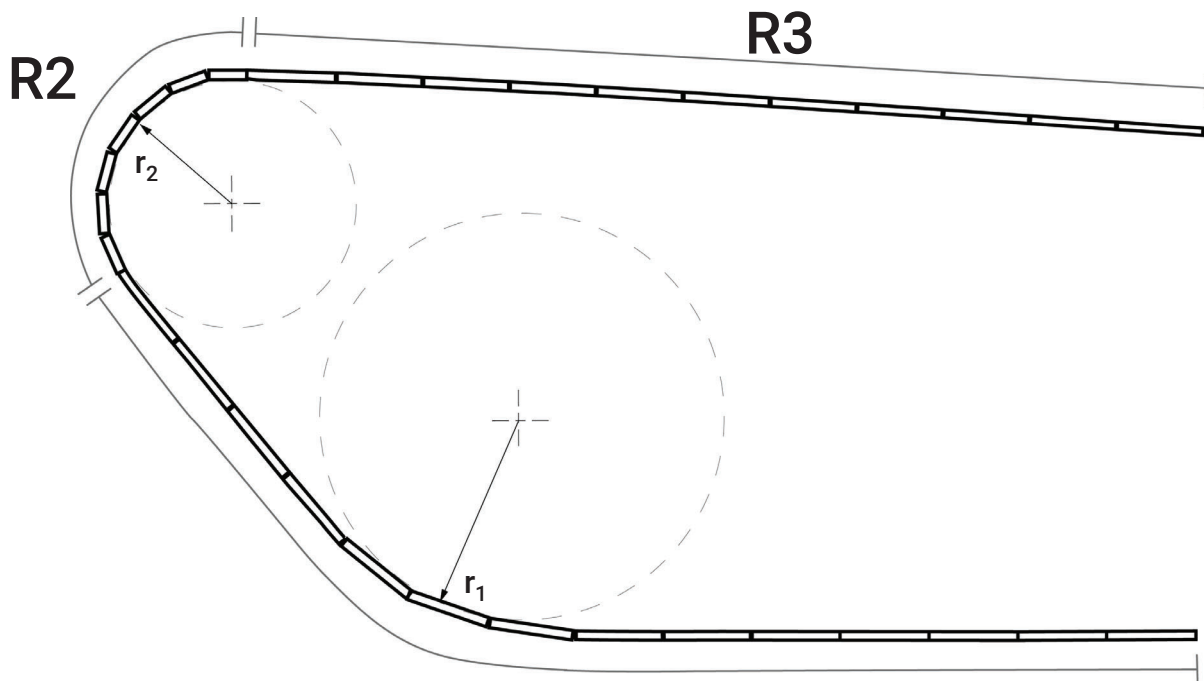
Jumper Harness Accessory



Typical Dimensions for Connected Fixtures



Run Specification Guidelines



Linear Run Specifications

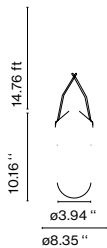
Please Scan for iO CoviO installation instructions:



www.eaton.com/io



Santorini



Garland connector



Canopy



Canopy IP65



Type E-K

Santorini

- E26 CFL TYPE A19 14W
- E26 LED Type A19 8W

- White (Ral 9003)
- Gray (Ral 7020)
- Mustard (Ral 1032)

Black electrical cord

Blown, pressed glass diffuser attached to a gray polycarbonate structure. Shades available in numerous colors. Ceiling rose and metal support lacquered in grey. Metallic support stainless anti-oxidant cataphoresis treatment for outdoor.



Suitable for wet locations

- [Download](#) Assembly Instructions
- [Download](#) 2D
- [Download](#) 3D

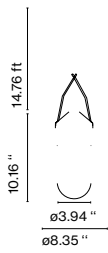


info@marset.com
www.marset.com

Inspired by the lanterns found on fishing boats, this collection of outdoor customizable lamps allows you to create multiple compositions. Users can choose how many shades to place on the diffuser, along with their order, position and direction.



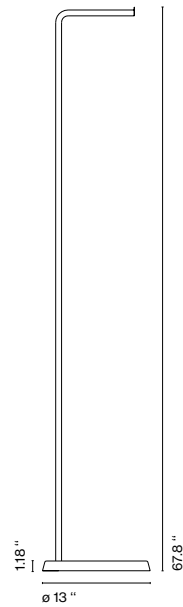
Santorini



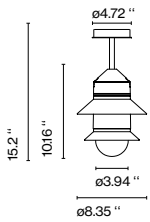
Wall bracket



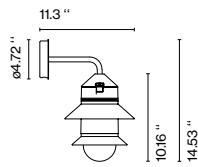
Floor accessory



Santorini C



Santorini A Fixed stem



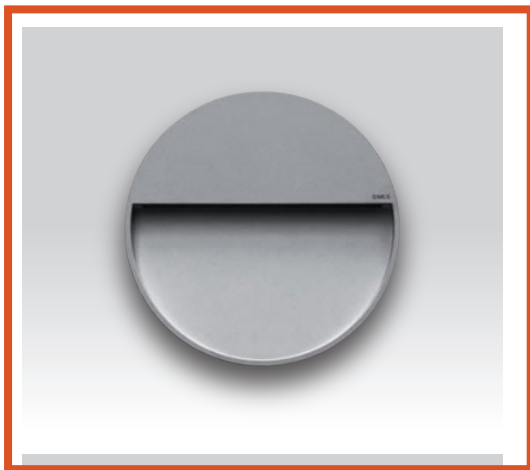
Skill is a unique LED luminaire, assuring high lighting performance and total absence of glare. The most modern electronic technology is contained in the thickness of only 3 cm and provides an excellent quality of light while saving energy.

Type E-L

Luminaire characteristics:

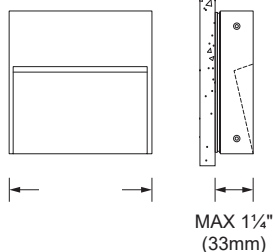
Power input: 6 to 24W
Lumens: 160 to 840lm (for 3000K, 90CRI)
Luminaire efficacy: 25 to 35lm/W

Source:	White LED module (LM-80 tested) 3000K : 90CRI, 4000K : 90CRI.
Lumen maintenance:	>70% of initial lumens at 50 000 hours (LM79 tested).
Optics:	Accent light.
Material:	Body: Die-cast aluminum Diffuser: Toughened glass.
Mounting:	See mounting options on page 6.
Electrical:	High efficiency electronic power supply, rated at 50 000 hours, 120-277V. See remote power supply options on page 8.
Finish:	White or aluminum gray painted finish, following a double powder paint in 5 step process. surface treatment containing ceramic nano particles (Bonderite). Epoxy primer paint. Polyester powder paint with high resistance against UV rays and harsh weather conditions.
Weight:	Miniskill round: 1.23lbs (0.56kg) Miniskill square: 1.34lbs (0.61kg) Miniskill vertical: 1.16lbs (0.53kg) Skill Round: 3.06lbs (1.39kg) Skill Square: 3.26lbs (1.48kg) Skill rectangular: 3.15lbs (1.43kg) Skill square large: 6.55lbs (2.97kg)
Warranty:	5 year limited warranty.
Ratings:	IP65, IK08
Certification:	cULus listed for wet location

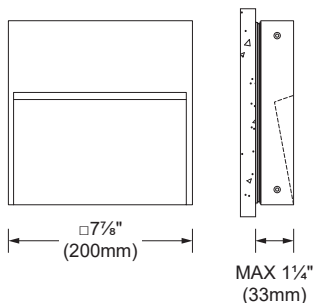


DIMENSIONS

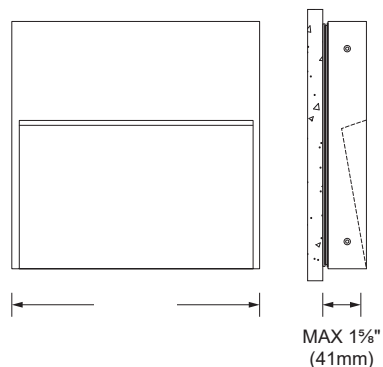
Miniskill Square
S.6250



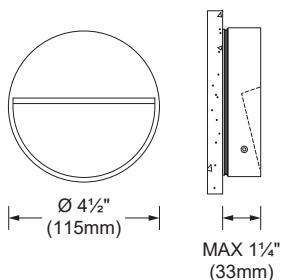
Skill Square
S.6260



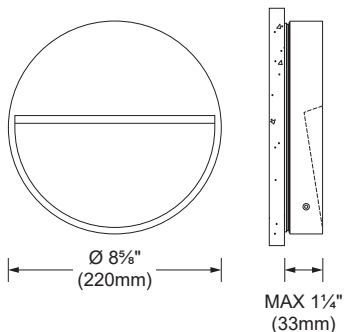
Skill Square Large
S.6255



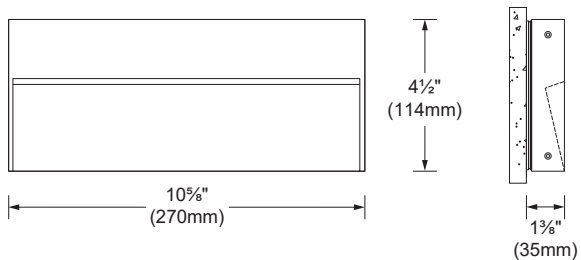
Miniskill Round
S.6270



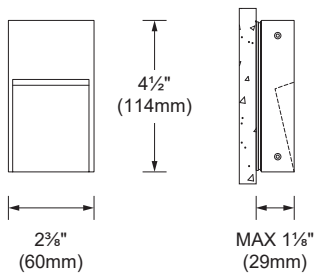
Skill Round
S.6280

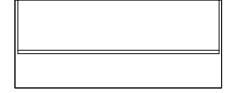


Skill Rectangular
S.6240

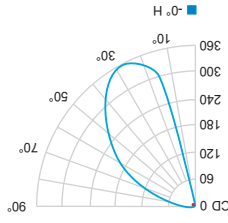
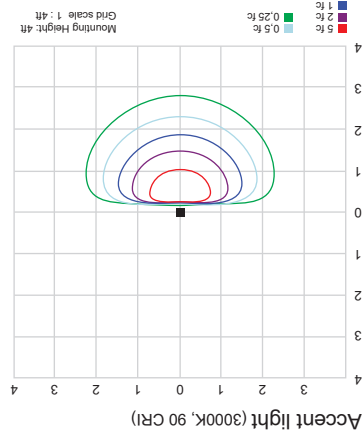


Miniskill vertical
S.6230

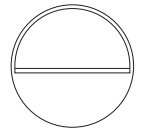




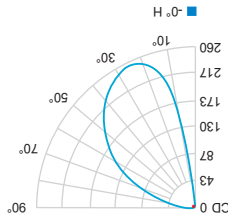
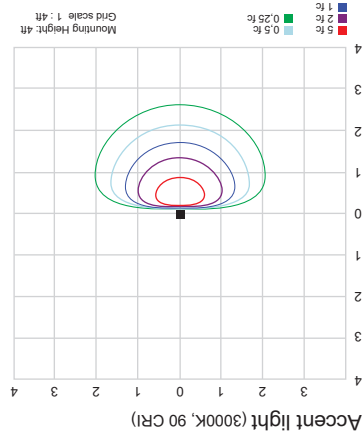
Skill Rectangular



13.5W	400K	90	Accent light	420	31	355	S.6240N
	300K			420	31	350	S.6240W



Skill Round



LOAD (W)	CCT (K)	CRI	OPTIC	LUMENS (lm)	EFFICACY (lm / w)	MAX CANDELA (cd)	MODEL
12.5W	400K	90	Accent light	315	25	245	S.6280N
	300K			325	26	255	S.6280W

PHOTOMETRIC DATA Visit sistemalux.com for complete photometric data.



Patio Heaters

C-SERIES SINGLE ELEMENT HEATERS



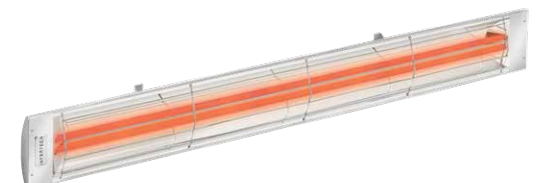
- Our C-Series fixtures are developed for use in high visual impact locations where their sleek design blends seamlessly. They offer significant heat output for mounting heights of 6-10 feet.
- Features include: durable 304 stainless steel construction, recessed installations, and inset mounting brackets that create a “floating” effect when mounted.
- Choose from 1,500-4,000 watt and 120-480 volt capacities.
- Compatible with our custom controls for larger-scale residential or commercial use.
- Choose from brushed stainless steel, standard colors, or custom color finish options.



CD-SERIES DUAL ELEMENT HEATERS

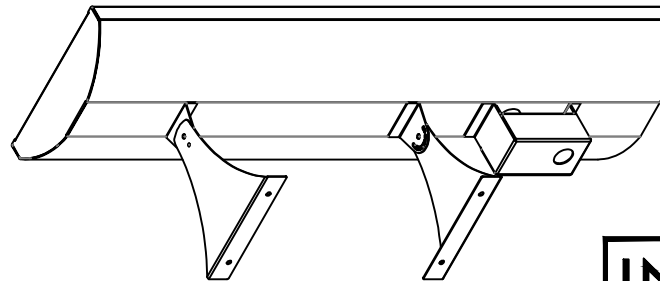
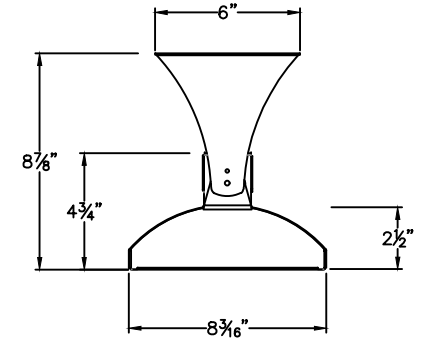
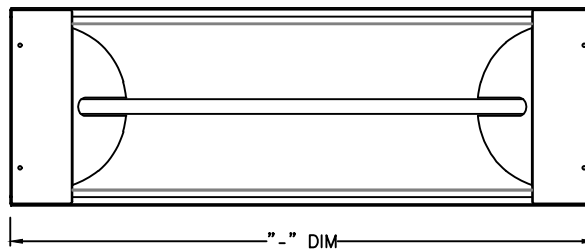
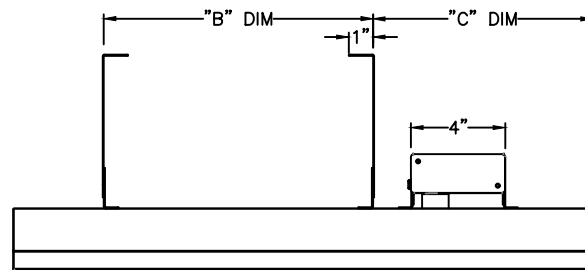
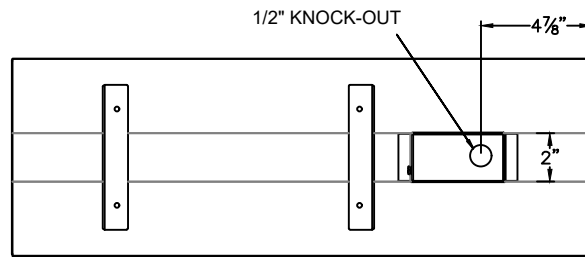
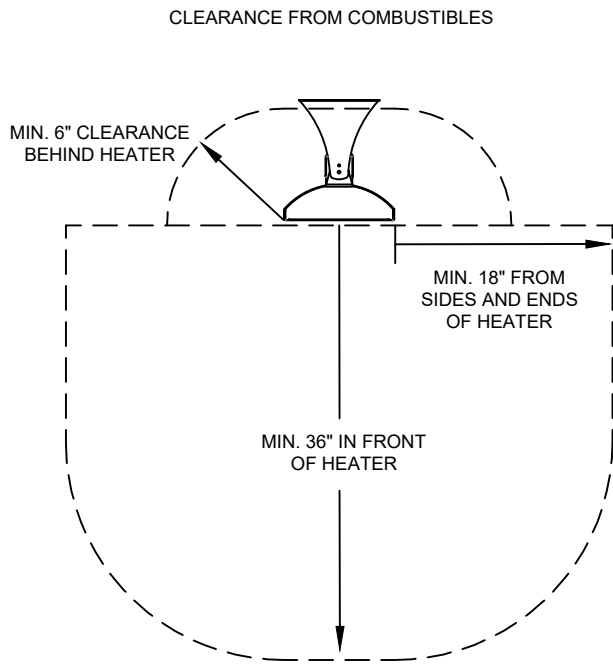


- Our powerful dual-element CD-Series fixtures provide concentrated heat for larger scale applications in high visual impact locations. Designed for mounting heights of 7-12 feet.
- Features Include: durable 304 stainless steel construction, recessed installations, and inset mounting brackets that create a “floating” effect when mounted.
- Choose from 3,000-6,000 watt and 208-480 volt capacities.
- Typically installed with our custom controls, to vary the electric load for comfortable heat in a wide range of conditions.
- May also be installed with Duplex/Stack Switches for effectively a half-power or full-power option.



an array of *choices.*

From backyard patios to sprawling mega-resorts, our product offerings include a range of designs, sizes, and heating capacities, to provide appropriate warmth for any property.



MODEL	"A" DIM.	WATTS	VOLTS	AMPS	BTU's	"B" DIM.	"C" DIM.
C1512	33"	1500	120	12.5	5118	17"	9 1/2"
C1524	33"	1500	240	6.3	5118	17"	9 1/2"
C2024	39"	2000	240	8.3	6824	20"	9 1/2"
C2524	39"	2500	240	10.4	8530	20"	9 1/2"
C3024	61 1/4"	3000	240	12.5	10236	31"	15 1/8"
CD3024	33"	3000	240	12.5	10236	17"	9 1/2"
C4024	61 1/4"	4000	240	16.7	13648	31"	15 1/8"
CD4024	39"	4000	240	16.7	13648	20"	9 1/2"
CD5024	39"	5000	240	20.8	17060	20"	9 1/2"
CD6024	61 1/4"	6000	240	25	20472	31"	15 1/8"

OTHER VOLTAGES ALSO AVAILABLE: 208, 277, 480

INFRA TECH
www.infratech-usa.com

15700 S. Figueroa St.
Gardena, California 90248
Phone: (310) 354-1250
Fax: (310) 523-3674

DESCRIPTION

C-SERIES HEATER CAD DRAWING

DATE
Apr. 12, 2019

DRAWN BY:
MD

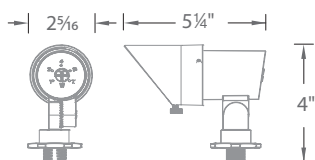
SCALE
NONE

MINI ACCENT 12V

5111

WAC

LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project: _____

Location: _____

Landscape
Micro Spot Light

PRODUCT DESCRIPTION

Landscape mini accent luminaire. One fixture replaces all older halogen landscape accent lights

FEATURES

- Continuously Adjustable Beam Angles. Indexed at 10°, 25°, 40°, 50°
- Continuously Adjustable brightness control. Indexed at 1W, 2W, 4W, 6W, 7W
- IP66 rated, Protected against high-pressure water jets
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Constant output for 9V-15V input
- Can be used as an uplight or downlight
- 2700K or 3000K color temperature
- Mounting stake, detachable shroud, 6' lead wire and direct burial gel filled wire nuts included
- MLV dimmable with remote MLV dimmers

SPECIFICATIONS

- Input:** 9 -15VAC
- Power:** 1W to 7W / 2VA -10.5VA
- Brightness:** 45 lm to 365 lm
- Beam Angle:** 10° to 50°
- CRI:** 85
- Rated Life:** 70,000 hours

ORDERING NUMBER

	Color Temp	Finish
5111 Mini Accent 12V	27 2700K Warm White	BK Black on Aluminum
	30 3000K Pure White	BZ Bronze on Aluminum
		BBR Bronze on Brass

5111-30_____

Example: 5111-30BBR

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Fax (800) 526.2585

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Ontario, CA 91760











MINI ACCENT 12V

5111

WAC

LANDSCAPE LIGHTING

Accessories

Accent Snoot		5111-SNOOT-BK 5111-SNOOT-BZ 5111-SNOOT-BBR	Black on Aluminum Bronze on Aluminum Bronze on Brass	Shields lamp and reduces glare
5" Long Shroud		5111-LSHR-BK 5111-LSHR-BZ 5111-LSHR-BBR	Black on Aluminum Bronze on Aluminum Bronze on Brass	Reduce glare. Ideal for downlighting application
Additional Stake		9000-ST9-BZ	Bronze	Durable PVC stake
Surface Mount Flange/Stake		5000-SCP-BZ 5000-SCP-BBR 5000-SCP-BK	Bronze on Aluminum Bronze on Brass Black on Aluminum	Includes three 7 inch threaded stainless steel stabilizing pins for ground mounting or surface mounts with four screws or over a junction box
Guardian Mount		9000-SP9-BZ	Stainless Steel	Heavy duty stainless steel spike to position fixture Formed from a single piece of metal
Gutter Mount Bracket		5000-GM-BZ 5000-GM-Bk	Stainless Steel	Stainless Steel universal mounting bracket for gutter mounting fixture
Tree Mount Junction Box		5000-TCP-BZ 5000-TCP-BK	Bronze on Aluminum Black on Aluminum	Bronze on Aluminum box with Stainless steel mounting screws. Two 1/2" NPT threaded holes
Optics		LENS-16-AMB LENS-16-GRN LENS-16-RED LENS-16-BLU	Amber Green Red Blue	LENS-16-FR Frosted LENS-16-SPR Spread LENS-16-BEL Elongating Enhances saturation of florals and foliage
Extension Rods		5000-X04-BZ 5000-X04-BK 5000-X08-BZ 5000-X08-BK 5000-X12-BZ 5000-X12-BK	4 in 4 in 8 in 8 in 12 in 12 in	5000-X18-BZ 18 in 5000-X18-BK 18 in 5000-X24-BZ 24 in 5000-X24-BK 24 in Extends distance between Accent light and Surface Mount Canopy, Stake, or Tree Mount box
Rod L-Coupler		5000-LCO-BZ	Bronze	

Magnetic Transformers

Stainless Steel, 12-15V output, IP65 rated, UL 1838 listed
See transformer spec sheet for details and its accessories

9075-TRN-SS
75W Max

9150-TRN-SS
150W Max

9300-TRN-SS
300W Max

9600-TRN-SS
600W Max



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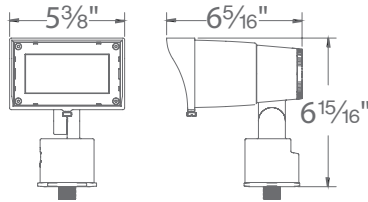
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. MAR 02 2021

ADJUSTABLE BEAM WALL WASH 12V

5221

WAC

LANDSCAPE LIGHTING



Landscape
Wall Washer

Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

With the ability to achieve beam distributions of 3x4 to 5x6 proportions and more, expect a uniform beam wash of light in a fixture that can adapt to changing needs. A powerhouse all-in-one unit in 120 VAC or 9-15VAC provides integral brightness control, and the ability to be dimmed, while being compatible with a range of accessories.

FEATURES

- Continuously adjustable NEMA beam distribution 3x4 (35" x 60"), 4x5 (60" x 90"), 5x6 (90" x 120")
- Integral brightness control
- Rotate fixture head for vertical distribution
- Transformer required (sold separately)
- IP65 Rated, protected against powerful water jets
- Solid die-cast brass or corrosion resistant aluminum alloy

SPECIFICATIONS

Input: 9 - 15VAC
Power: 3W to 25W / 4.4VA -27.8VA
Brightness: 200 lm to 1500 lm
Beam Angle: Assorted NEMA distributions
CRI: 85
Rated Life: 70,000 hours

ORDERING NUMBER

	Color Temp	Finish
5221 Adjustable beam wall wash 12V	2700K 3000K	BK Black on Aluminum BZ Bronze on Aluminum BBR Bronze on Brass

5221-_____

Example: 5221-30BZ


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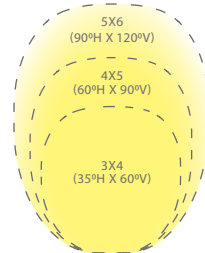
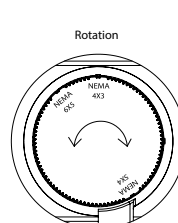
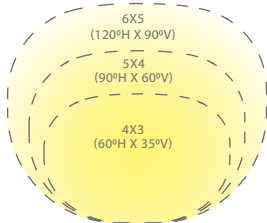
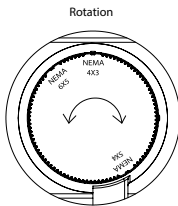
Western Distribution Center
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 Ontario, CA 91760

NEMA WALL WASH 5221
12V **3000K**

Product	Data	NEMA 6X5					NEMA 5X4					NEMA 4X3				
		CBCP	Lumen (LM)	VA(VA)	Efficacy (lm/w)	Beam Angle(°)	CBCP	Lumen (LM)	VA(VA)	Efficacy (lm/w)	Beam Angle(°)	CBCP	Lumen (LM)	VA(-VA)	Efficacy (lm/w)	Beam Angle(°)
	3w	119.9	226.373	5,01	73.98	109.1x87.2	120.7	153.964	5,02	42.76	90.4x49.7	117.5	84.7834	5,02	23.51	66.1x35.6
	7W	283.1	628.435	11.99	74.6	109x87	245.8	313.427	10.26	43.54	90.5x49.7	237.4	171.395	10.25	10.25	66.1x35.6
	15W	508.7	1128.95	22.36	69.77	109.1x87	442	562.778	18.81	41.3	90.4x49.6	459.1	330.727	20.43	20.43	66x35.6
	23W	646.6	1435.71	29.16	65.75	109.1x87	649	826.734	29.14	37.81	90.4x49.7	626.5	451.319	28.82	28.82	66x35.6
	26W	720.3	1654.16	34.94	61.63	109.1x86.6	748.6	954.105	34.96	35.64	90.4x49.7	732.4	525.841	34.97	34.97	66x35.6

NEMA WALL WASH 5221
12V **2700K**

Product	Data	NEMA 6X5					NEMA 5X4					NEMA 4X3				
		CBCP	Lumen (LM)	VA(VA)	Efficacy (lm/w)	Beam Angle(°)	CBCP	Lumen (LM)	VA(VA)	Efficacy (lm/w)	Beam Angle(°)	CBCP	Lumen (LM)	VA(-VA)	Efficacy (lm/w)	Beam Angle(°)
	3w	115.6	256.784	5.008	71.23	109.1x87.2	116.4	148.421	5,015	41.22	90.4x49.7	113.2	81.7312	5,024	22.66	66.1x35.6
	7W	272.9	605.812	11.99	71.91	109x87	236.9	302.143	10.257	41.97	90.5x49.7	228.8	165.225	10.25	22.98	66.1x35.6
	15W	490.4	1088.31	22.36	67.26	109.1x87	426.1	542.518	18.812	39.81	90.4x49.6	442.6	318.821	20.43	21.43	66x35.6
	23W	623.3	1384.03	29.16	63.38	109.1x87	625.6	796.972	29.14	36.45	90.4x49.7	604	435.072	28.82	20	66x35.6
	26W	720.3	1591.71	34.94	59.41	109.1x86.6	721.6	919.757	34.958	34.36	90.4x49.7	706	506.911	34.97	18.94	66x35.6



Architectural beam distributions from 3x4 to 4x5 to 5x6 proportions and everything in between. Always a uniform wide beam wash of light.



NEMA 5x4

NEMA 4x5

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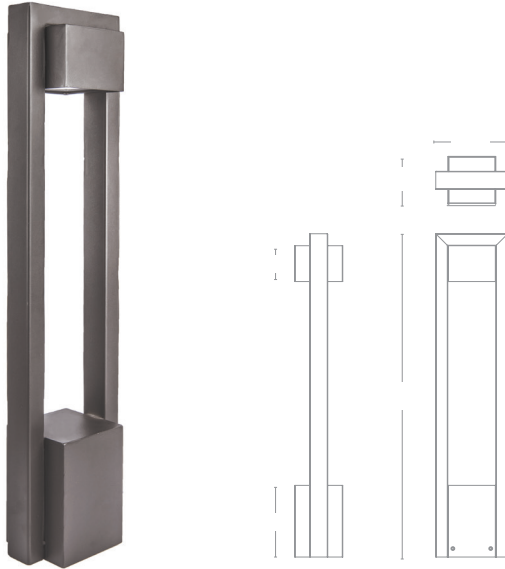
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. 12/31/19

PARK 12V/120V/277V LED BOLLARD

6641/6642/6643

WAC

LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project: _____

Location: _____

Landscape
Path Light

PRODUCT DESCRIPTION

Sleek linear design blends seamlessly into pathways while providing soft, even illumination

FEATURES

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Mounting accessories included
- UL & cUL 1838 Listed (12V); 1598 Listed (120V/277V)

SPECIFICATIONS

6641

Input: 9-15VAC (Transformer is required)
Power: 5.5W / 6.0VA
Brightness: Up to 150 lm
CRI: 90
Rated Life: 60,000 hours
Dimming: MLV dimming only

6642

Input: 120V
Power: 12.5W
Brightness: Up to 390 lm
CRI: 90
Rated Life: 60,000 hours
Dimming: TRIAC or ELV dimming

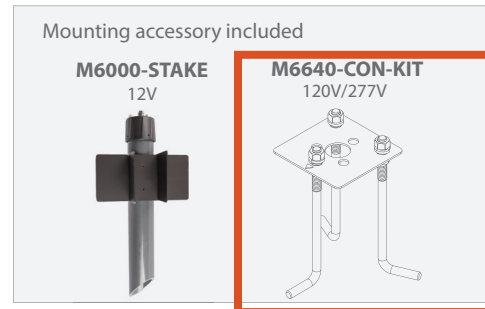
6643

Input: 277V
Power: 10.5W
Brightness: Up to 430 lm
CRI: 90
Rated Life: 60,000 hours
Dimming: ELV dimming only

Model	Color Temp	Finishes
6641 12V	27 2700K Warm White	BZ Bronze on Aluminum
	30 3000K Pure White	BK Black on Aluminum
6642 120V	27 2700K Warm White	BZ Bronze on Aluminum
	30 3000K Pure White	BK Black on Aluminum
6643 277V	27 2700K Warm White	BZ Bronze on Aluminum
	30 3000K Pure White	BK Black on Aluminum

6643-___BZ

Example: 6643-30BZ



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 Fax (800) 526.2585

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 Port Washington, NY 11050

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 1600 Distribution Ct
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Western Distribution Center
 1750 Archibald Avenue
 Ontario, CA 91760

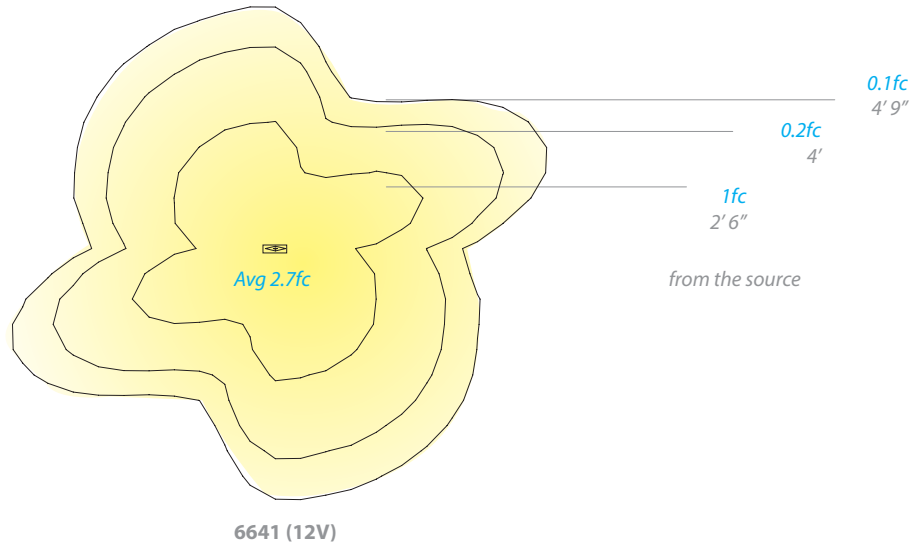
PARK 12V/120V/277V LED BOLLARD

6641/6642/6643

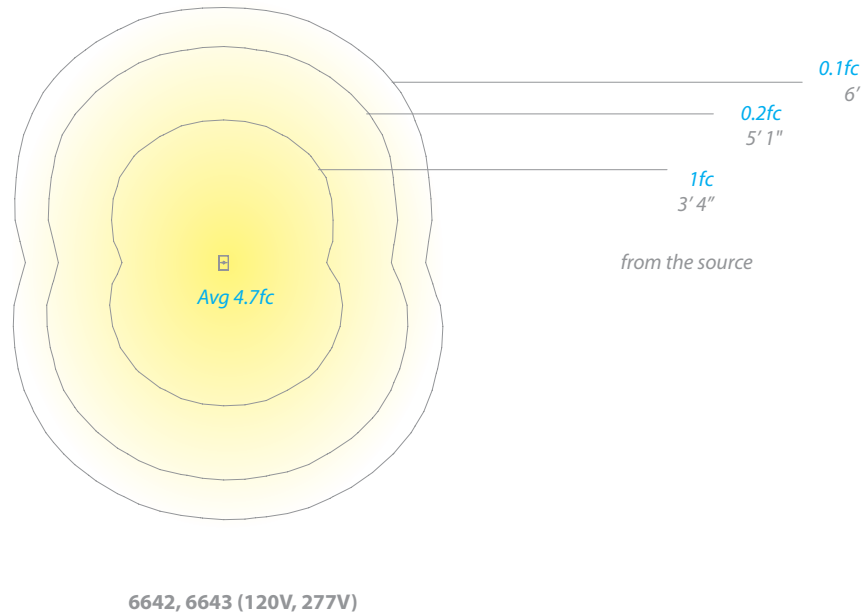
WAC

LANDSCAPE LIGHTING

- Recommended spacing for installation :
6641 (12V)
Residential: 11.5 to 14ft
Commercial: 7 to 9ft



- Recommended spacing for installation :
6642, 6643 (120V, 277V)
Residential: 12.5 to 14.5ft
Commercial: 8 to 9.5ft



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SHUTTERS
BOARD & BATTEN RED
NEW HORIZON SHUTTERS



TRIM & FASCIA
SW6200 LINK GRAY
SHERWIN WILLIAMS



**STANDING SEAM
METAL ROOFING**
GRAPHITE
PAC-CLAD



ROOF CANOPY
SILVER (PMMO467)



BOARD & BATTEN SIDING
SW 6202 CAST IRON
SHERWIN WILLIAMS



GALVANIZED
LIGHTING & GUTTERS



STUCCO VENEER
31436 - PAVESTONE
STO



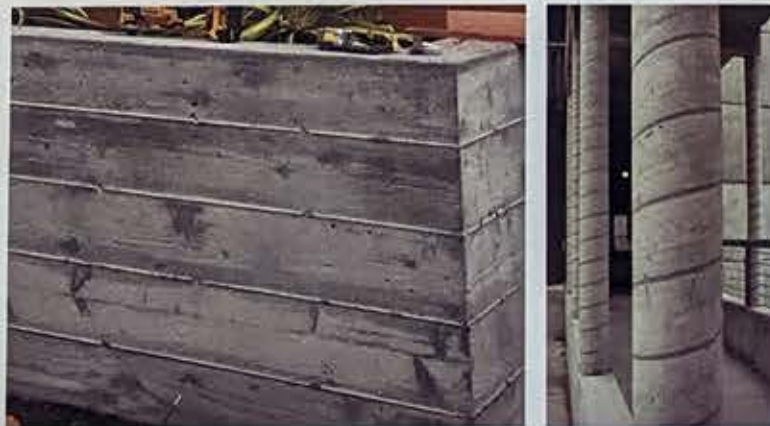
**WOOD-LOOK
SUN CONTROL BLADES**
DRIFTWOOD
(SEE ATTACHED SAMPLE)
KNOTWOOD

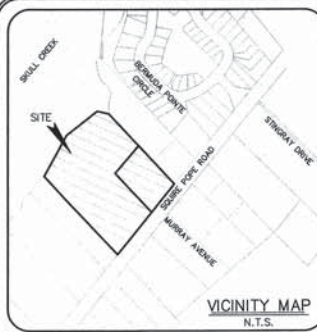


STOREFRONT WINDOWS & DOORS
CLEAR ANODIZED ALUMINUM

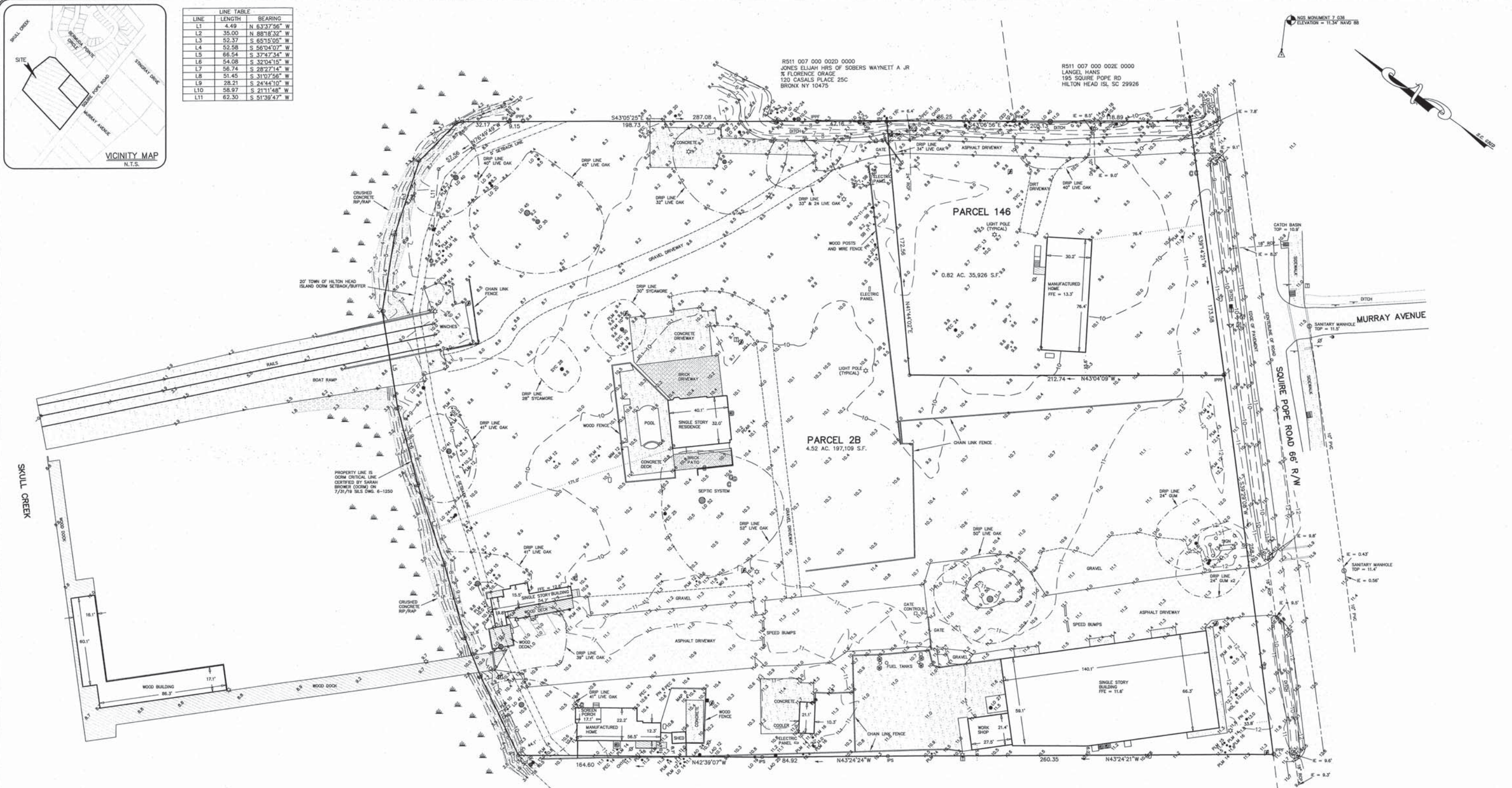


EXPOSED CONCRETE
BOARD & TUBE FORMED





LINE	LENGTH	BEARING
L1	4.49	N 63°37'56" W
L2	35.00	N 88°18'32" W
L3	52.37	S 65°15'05" W
L4	52.58	S 56°34'07" W
L5	66.54	S 37°47'34" W
L6	54.08	S 32°04'15" W
L7	56.74	S 28°27'14" W
L8	51.45	S 31°07'56" W
L9	28.21	S 24°44'10" W
L10	58.97	S 21°11'48" W
L11	62.30	S 51°39'47" W



SKULL CREEK

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS LOCAL.
 - 5) VERTICAL DATUM IS NAVD 88.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

REFERENCE PLAT
 1) A BOUNDARY SURVEY OF PARCELS A, B & C, COTTON HOPE PLANTATION, SQUIRE POPE ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
 DRAWN: 12/06/01
 RECORDED IN BOOK 87, PAGE 10, DATED 5/15/02
 ROD, BEAUFORT COUNTY, SC
 BY: WILLIAM S. SANDERS S.C.R.L.S. # 16122

PROPERTY AREA = 5.34 AC. 233,035 S.F.
 ADDRESS: 175 & 191 SQUIRE POPE ROAD
 DISTRICT: 511, MAP: 7, PARCELS: 2B & 146

THIS PROPERTY LIES IN F.E.M.A. ZONE X
 BASE FLOOD ELEVATION = NO MINIMUM ELEVATION
 COMMUNITY NO. 450250, PANEL 0432G, DATED: 3/23/21

LEGEND & SYMBOLS:

SPOT ELEVATION	LO	LIVE OAK
CONTOUR	LAO	LAUREL OAK
1/2" IRON PIN FOUND	MAP	MAPLE
1/2" IRON PIN SET	SYC	SYCAMORE
3/4" IRON PIPE FOUND	PN	PINE
INVERT ELEVATION	PLM	PALM
ELECTRIC SERVICE	WO	WATER OAK
ELECTRIC TRANSFORMER	SB	SUGAR BERRY
TELEPHONE SERVICE	MIM	MIMOSA
TELEVISION SERVICE	CE	CEDAR
WATER METER	PEAR	PEAR
VALVE BOX	GUM	GUM
IRRIGATION CONTROL VALVE	HOL	HOLLY
SANITARY MANHOLE	PEC	PECAN
STORM MANHOLE	HY	FIRE HYDRANT
FIRE HYDRANT	UT	UTILITY POLE
UTILITY POLE	GUY	GUY
POLYVINYL CHLORIDE	SIG	SIGN
REINFORCED CONCRETE PIPE	LP	LIGHT POLE
	CB	CATCH BASIN

R511 007 000 0391 0000
 WILLIAMS JOSEPH HELEN C/D/ THELMA WILLIAMS
 163 SQUIRE POPE RD
 HILTON HEAD SC 29926

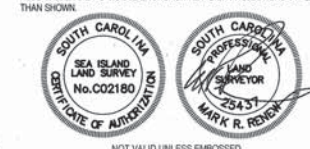
ASBLUIT, TREE AND TOPOGRAPHIC SURVEY OF:
 PARCELS 2B & 146, COTTON HOPE PLANTATION,
 SQUIRE POPE ROAD, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA
 PREPARED FOR: BRENDAN REILLEY

DATE: 10/16/19
 REVISED: 2/10/2021
 REVISED: 9/1/2021

SCALE: 1" = 30'

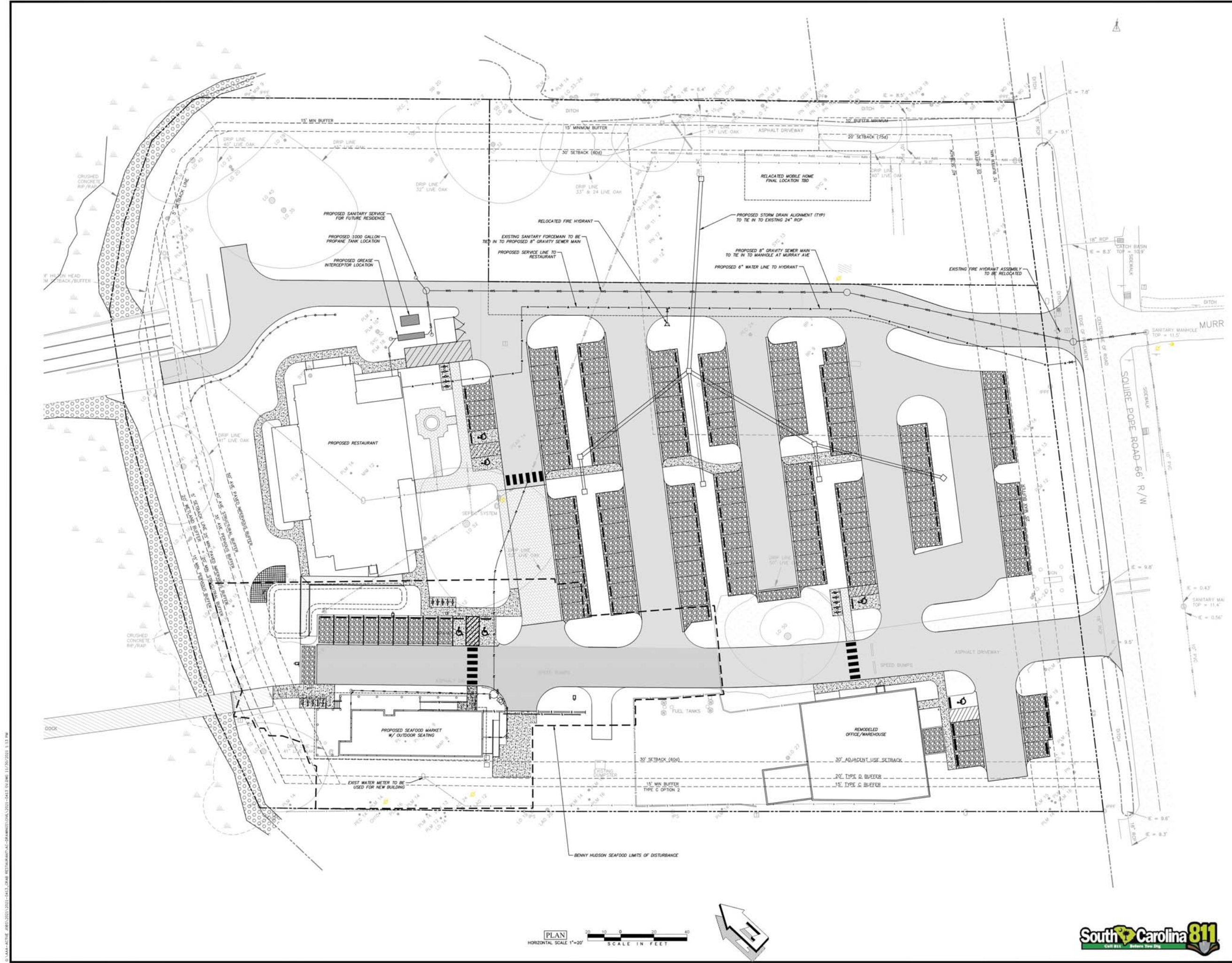


HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "M" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



SIS Sea Island Land Survey, LLC.
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926
 Tel (843) 681-3248
 Fax (843) 689-3871
 E-mail: sis@sprynet.com
 FILE No.: 19136/5
 DWG No.: 6-1262 88 DATUM
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REVISION 2/10/2021: CHANGED THE DRAWING DATUM TO NAVD 88.



PRELIMINARY
 NOT FOR CONSTRUCTION

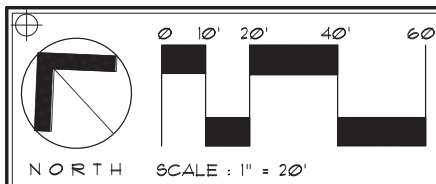
REV #	DATE	DESCRIPTION

CRAB RESTAURANT
 SITE IMPROVEMENTS PLAN

DRAWN BY:	NLS
CHECKED BY:	MER
APPROVED BY:	MER
DATE:	11/30/2021
SCALE:	1" = 20'
JOB NO.:	2021-0413
DRAWING No.:	C4.0

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SQUIRE POPE RD. BUFFER CALCULATIONS (181 LF)

VEGETATION TYPE	REQUIREMENT	EXISTING	PROVIDED	TOTAL
OVERSTORY	3 / 100 LF (5)	1	4	5
UNDERSTORY	6 / 100 LF (11)	3	8	11
EVER. SHRUBS	10 / 100 LF (18)	0	18	18

TREE REPLACEMENT (1 Tree/10"Removed)

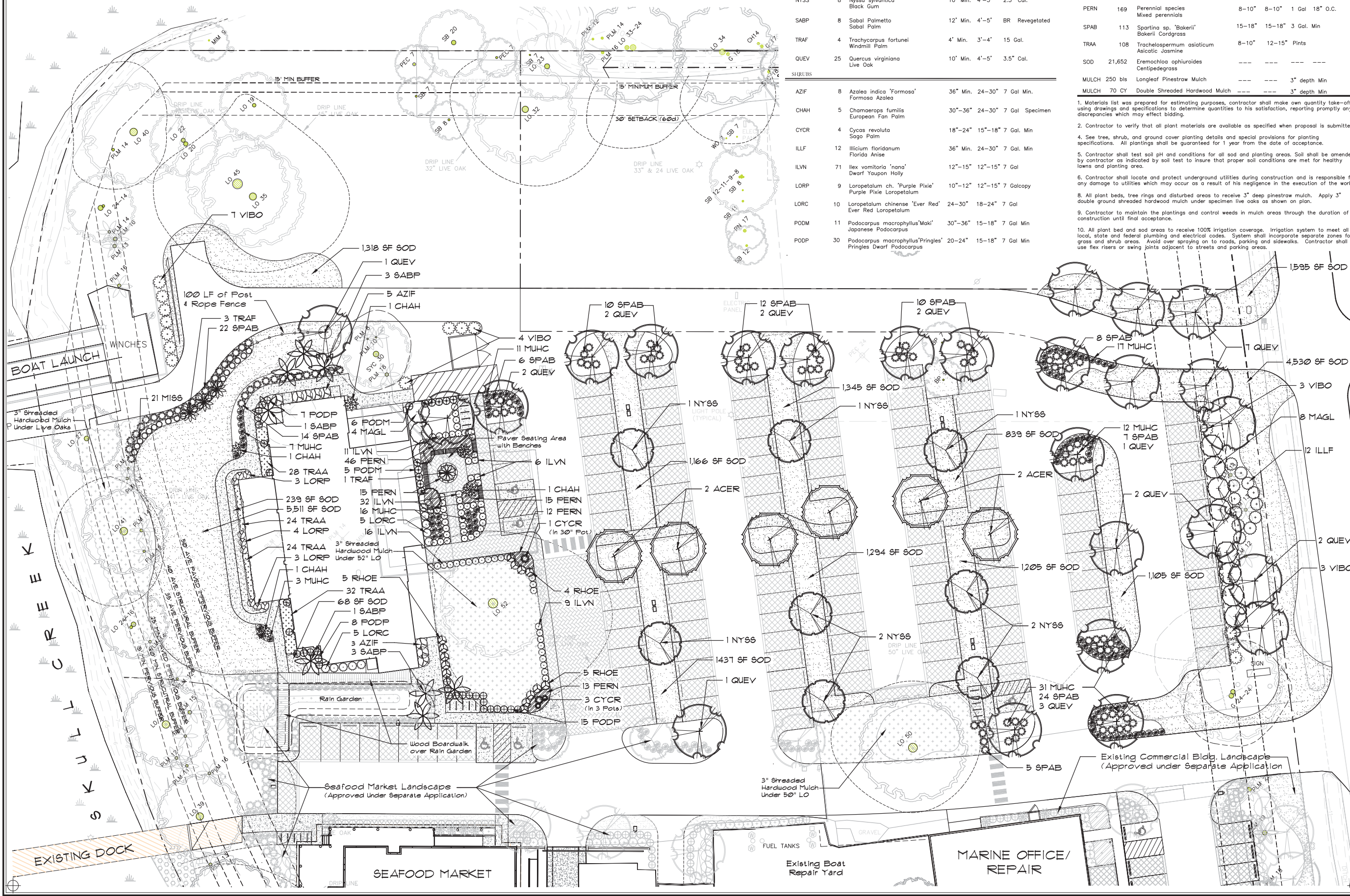
CATEGORY	REMOVED	TREE REM.	REPLACEMENTS
CAT 1	0	0	815" TREES PROVIDED
CAT 2	135"	13 TREES	52" TREES PROVIDED
CAT 3	26"	3 TREES	80" TREES PROVIDED
CAT 4	0	0	0" TREES PROVIDED

PLANT SCHEDULE

SYMBOL	QUAN.	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT/NOTES
ACER	6	Acer rubrum Red Maple	10' Min.	4'-5"	2.5" Cal.
MAGL	12	Magnolia grandiflora 'Little Gem' Little Gem Magnolia	6' Min.	2.5'-3'	45 Gal 1.5" Cal.
NYSS	8	Nyssa sylvatica Black Gum	10' Min.	4'-5"	2.5" Cal.
SABP	8	Sabal Palmetto Sabal Palm	12' Min.	4'-5"	BR Revegetated
TRAF	4	Trachycarpus fortunei Windmill Palm	4' Min.	3'-4"	15 Gal.
QUEV	25	Quercus virginiana Live Oak	10' Min.	4'-5"	3.5" Cal.
SHRUBS					
AZIF	8	Azalea indica 'Formosa' Formosa Azalea	36" Min.	24-30"	7 Gal Min.
CHAH	5	Chamaerops futilis European Fan Palm	30"-36"	24-30"	7 Gal Specimen
CYCR	4	Cycas revoluta Sago Palm	18"-24"	15"-18"	7 Gal. Min
ILLF	12	Illicium floridanum Florida Anise	36" Min.	24-30"	7 Gal. Min
ILVN	71	Ilex vomitoria 'nana' Dwarf Yaupon Holly	12"-15"	12"-15"	7 Gal
LORP	9	Loropetalum ch. 'Purple Pixie' Purple Pixie Loropetalum	10"-12"	12"-15"	7 Galcopy
LORC	10	Loropetalum chinense 'Ever Red' Ever Red Loropetalum	24-30"	18-24"	7 Gal
PODM	11	Podocarpus macrophyllus 'Maki' Japanese Podocarpus	30"-36"	15-18"	7 Gal Min
PODP	30	Podocarpus macrophyllus 'Pringles' Pringles Dwarf Podocarpus	20-24"	15-18"	7 Gal Min

RHOE	14	Rhododendron Sp. 'Encore' Pringles Dwarf Podocarpus	20-24"	15-18"	7 Gal Min
VIBO	17	Viburnum Odorissimum Sweet Viburnum	36" Min.	30"-36"	7 Gal Min
GRASSES AND PERENNIALS					
MISS	21	Miscanthus sinensis 'Adagio' Pink Muhly Grass	15-18"	12-15"	3 Gal. Min.
MUHC	97	Muhlenbergia capillaris Pink Muhly Grass	15-18"	12-15"	1 Gal Min
PERN	169	Perennial species Mixed perennials	8-10"	8-10"	1 Gal 18" O.C.
SPAB	113	Spartina sp. 'Bakerii' Bakerii Cordgrass	15-18"	15-18"	3 Gal. Min
TRAA	108	Trachelospermum asiaticum Asiatic Jasmine	8-10"	12-15"	Pints
SOD	21,652	Eremochloa ophiuroides Centipede Grass	---	---	---
MULCH	250 bls	Longleaf Pine Straw Mulch	---	---	3" depth Min
MULCH	70 CY	Double Shredded Hardwood Mulch	---	---	3" depth Min

- Materials list was prepared for estimating purposes, contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may affect bidding.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and ground cover planting details and special provisions for planting specifications. All plantings shall be guaranteed for 1 year from the date of acceptance.
- Contractor shall test soil pH and conditions for all sod and planting areas. Soil shall be amended by contractor as indicated by soil test to insure that proper soil conditions are met for healthy lawns and planting area.
- Contractor shall locate and protect underground utilities during construction and is responsible for any damage to utilities which may occur as a result of his negligence in the execution of the work.
- All plant beds, tree rings and disturbed areas to receive 3" deep pine straw mulch. Apply 3" double ground shredded hardwood mulch under specimen live oaks as shown on plan.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- All plant bed and sod areas to receive 100% irrigation coverage. Irrigation system to meet all local, state and federal plumbing and electrical codes. System shall incorporate separate zones for grass and shrub areas. Avoid over spraying on to roads, parking and sidewalks. Contractor shall use flex risers or swing joints adjacent to streets and parking areas.



Hudson's Seafood Property
175 SQUIRE POPE ROAD
LANDSCAPE DEVELOPMENT PLAN
HILTON HEAD IS., SOUTH CAROLINA

Patrick Rooney Associates, Inc.
Land Planning • Landscape Architecture
P.O. Box 21297
Hilton Head Island, SC 29925
843-681-4009
FAX 843-681-4029

REVISIONS:

NO.	DESCRIPTION:
1	Add FE Light Fixtures

DATE: 11-28-2021

PROJECT NO:

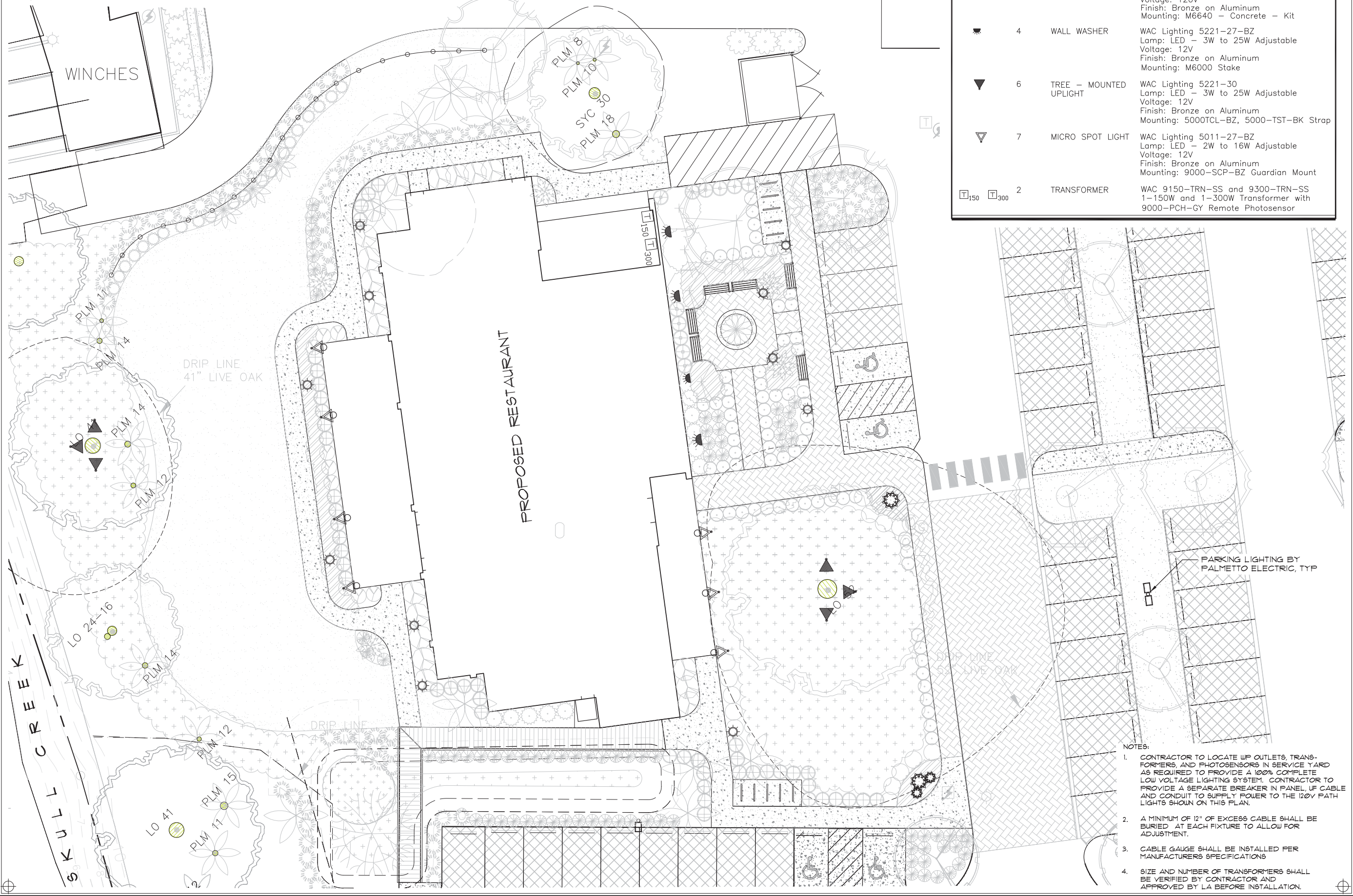
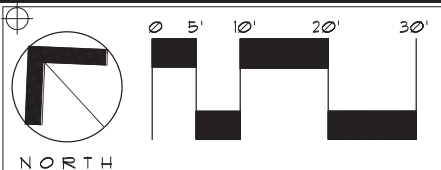
ISSUE DATE:
10/24/21 Rev. 11/20/21

DRAWN:
FMR

APPROVED:
FMR

Restaurant
Landscape
Plan

Sheet
1
Of 1



LIGHTING / ELECTRICAL SCHEDULE

SYMBOL	QUANTITY	DESCRIPTION	DESCRIPTION
☼	11	PATH LIGHT	WAC Lighting 6642-30 Lamp: LED - 12.5W Voltage: 120V Finish: Bronze on Aluminum Mounting: M6640 - Concrete - Kit
☼	4	WALL WASHER	WAC Lighting 5221-27-BZ Lamp: LED - 3W to 25W Adjustable Voltage: 12V Finish: Bronze on Aluminum Mounting: M6000 Stake
▼	6	TREE - MOUNTED UPLIGHT	WAC Lighting 5221-30 Lamp: LED - 3W to 25W Adjustable Voltage: 12V Finish: Bronze on Aluminum Mounting: 5000TCL-BZ, 5000-TST-BK Strap
▽	7	MICRO SPOT LIGHT	WAC Lighting 5011-27-BZ Lamp: LED - 2W to 16W Adjustable Voltage: 12V Finish: Bronze on Aluminum Mounting: 9000-SCP-BZ Guardian Mount
T ₁₅₀ T ₃₀₀	2	TRANSFORMER	WAC 9150-TRN-SS and 9300-TRN-SS 1-150W and 1-300W Transformer with 9000-PCH-GY Remote Photosensor

Hudson's Seafood Property
175 SQUIRE POPE ROAD
LANDSCAPE DEVELOPMENT PLAN
HILTON HEAD IS., SOUTH CAROLINA

Patrick Rooney Associates, Inc.
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P.O. Box 21297
Hilton Head Island, SC 29925
843-681-4009
FAX 843-681-4029

REVISIONS:	NO.	DESCRIPTION:
DATE:		

PROJECT NO:
ISSUE DATE:
11/29/21
DRAWN:
APPROVED:

Restaurant
Site
Lighting

Sheet
1
Of 1

- NOTES:
- CONTRACTOR TO LOCATE UF OUTLETS, TRANSFORMERS, AND PHOTOSENSORS IN SERVICE YARD AS REQUIRED TO PROVIDE A 100% COMPLETE LOW VOLTAGE LIGHTING SYSTEM. CONTRACTOR TO PROVIDE A SEPARATE BREAKER IN PANEL, UF CABLE AND CONDUIT TO SUPPLY POWER TO THE 120V PATH LIGHTS SHOWN ON THIS PLAN.
 - A MINIMUM OF 12" OF EXCESS CABLE SHALL BE BURIED AT EACH FIXTURE TO ALLOW FOR ADJUSTMENT.
 - CABLE GAUGE SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
 - SIZE AND NUMBER OF TRANSFORMERS SHALL BE VERIFIED BY CONTRACTOR AND APPROVED BY LA BEFORE INSTALLATION.

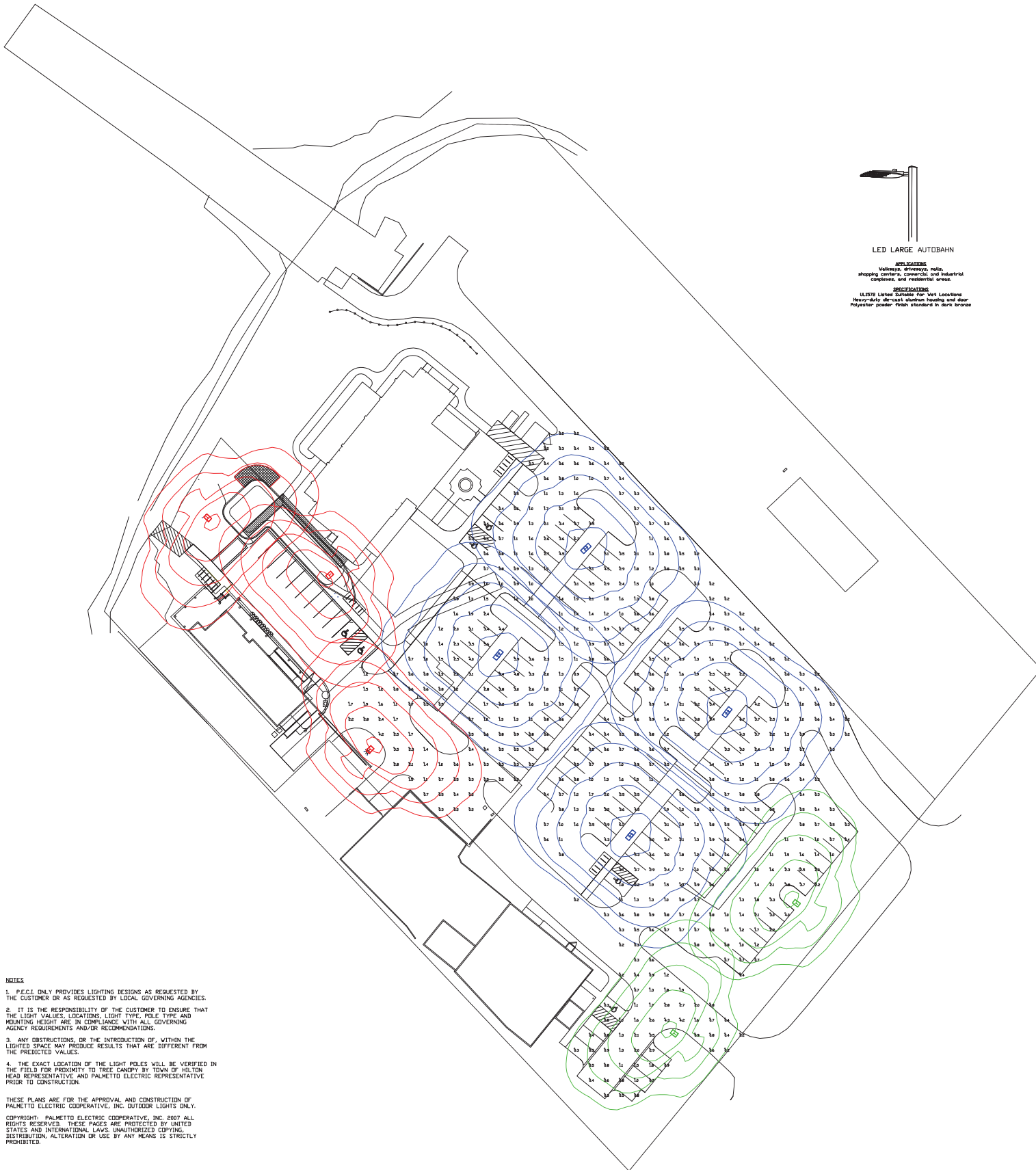
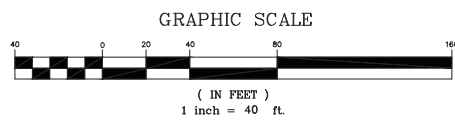
PARKING LIGHTING BY PALMETTO ELECTRIC, TYP

NAME: X:\MAPS\JOB5\211104L

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
—	2	Large Autobahn	SINGLE	NA.	0.720	250EQ LED on 25' Laminated Pole, 20' Mounting Height
++	4	Double Large Autobahn	BACK-BACK	NA.	0.720	250EQ LED on 25' Laminated Pole, 20' Mounting Height
+	3	Existing Large Autobahn	SINGLE	NA.	0.720	250EQ LED on 25' Laminated Pole, 20' Mounting Height

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	1.37	6.7	0.2	6.85	33.50

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	Double Large Autobahn	2075733.	142904.6	20	50.59	0
2	Double Large Autobahn	2075792.	142975.3	20	43.764	0
3	Double Large Autobahn	2075885.	142866.5	20	52.43	0
4	Double Large Autobahn	2075821.	142784.8	20	49.898	0
5	Existing Large Autobahn	2075647.	142840.5	20	49.399	0
6	Existing Large Autobahn	2075625.	142948.4	20	23.225	0
7	Existing Large Autobahn	2075539.	142996.5	20	316.431	0
8	Large Autobahn	2075851.	142652.2	20	142.125	0
9	Large Autobahn	2075933.	142738.7	20	142.125	0



- NOTES**
1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
 4. THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HILTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

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LIGHTING PROPOSAL FOR
 CRAB RESTAURANT
 SQUIRE POPE ROAD
 TOWN OF HILTON HEAD
 BEAUFORT COUNTY, SOUTH CAROLINA

DESIGNED BY: [Blank]
 CHECKED BY: [Blank]
 DRAWN BY: [Blank]
 DATE: 1/12/20
 SCALE: 1" = 40'
 PROJECT NO.: 211104L
 MAP NO.: 00000000
 SHEET NO.: 1 OF 1

REMARKS: [Blank]

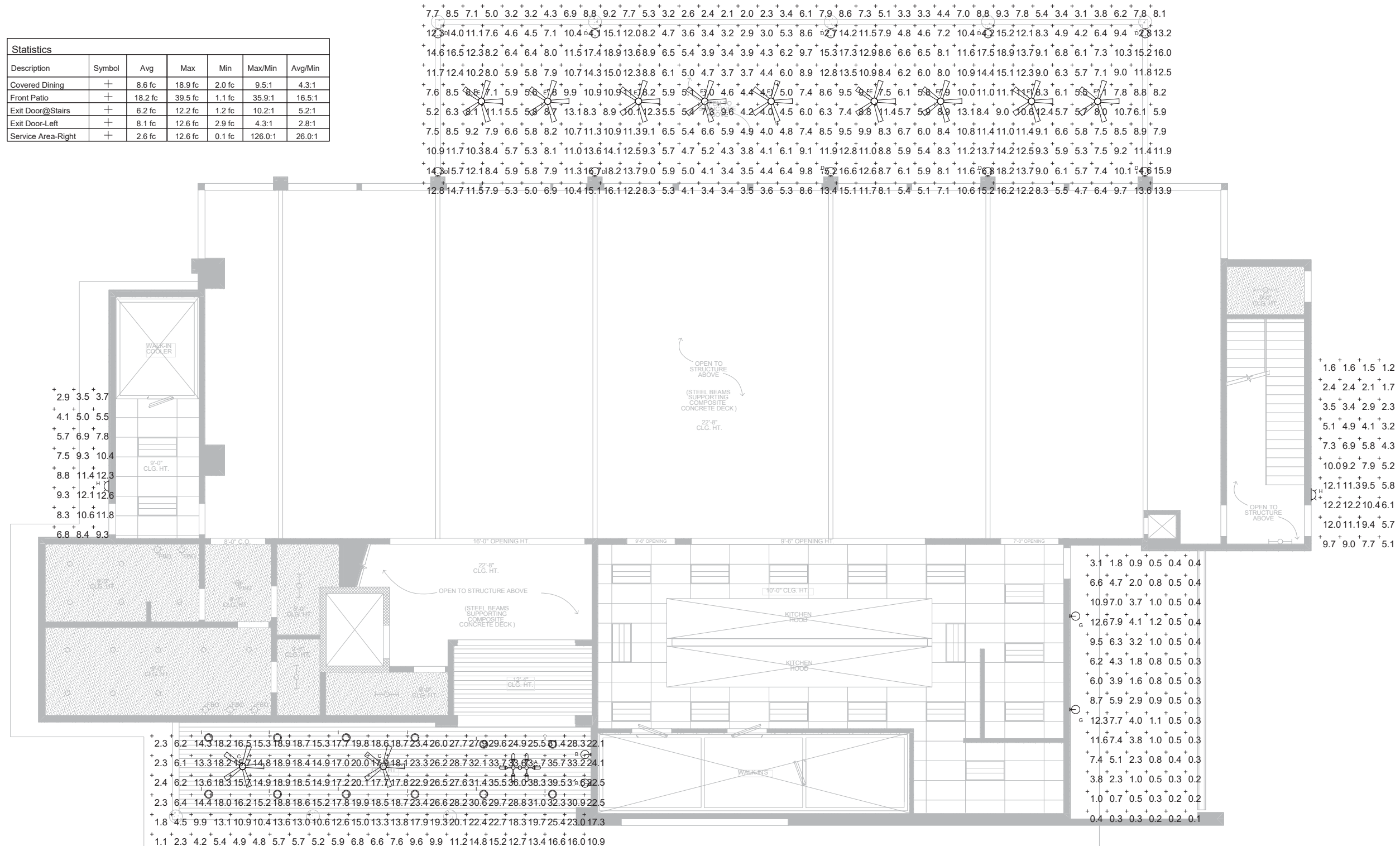


PALMETTO ELECTRIC COOPERATIVE, INC.
 1 COOPERATIVE WAY
 HARDEEVILLE, SOUTH CAROLINA 29927
 (843) 208-5551 / FAX (843) 208-5532

EXTERIOR LIGHTING SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP	MOUNTING	COLOR	REMARKS
A	ENTRY PENDANT	BARN LIGHT ELEC.	BLE-S-CGG-CH005-975-ST524-SC-CGG-NA-RIB-E26	3000K LED	CEILING	GALVANIZED	
B	ENTRY BENCH	ANP LIGHTING	A812-E6-49-E6	3000K LED	WALL	GALVANIZED	
C	ENTRY PORCH FAN	BARN LIGHT ELEC.	IND-GV-WW-24-NA-WALL	N/A	CEILING	GALVANIZED	
D	UP/DOWN CYLINDER	KONST SMIDE	590-30	3000K LED	WALL	GALVANIZED	
E	DINING PORCH FAN/LIGHT	MINKA AIRE	"RAINMAN" F582L-GL	3000K LED	CEILING	GALVANIZED	
G	EXIT DOOR LIGHTS	BARN LIGHT ELEC.	BLE-G-CGG-975-G11-FS-CGG-975-RIB-E26	3000K LED	WALL	GALVANIZED	
H	WALL PACK	HE WILLIAMS	VWP-V-L30-7-300K-TFT-SKV-CGL	3000K LED	WALL	SATIN ALUM.	
I	DOWNLIGHT	OPUS	RB4-RBW-SW80-30K-15LM-U-10V-BM-PWH-WH	3000K LED	RECESSED	WHITE	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Covered Dining	+	8.6 fc	18.9 fc	2.0 fc	9.5:1	4.3:1
Front Patio	+	18.2 fc	39.5 fc	1.1 fc	35.9:1	16.5:1
Exit Door@Stairs	+	6.2 fc	12.2 fc	1.2 fc	10.2:1	5.2:1
Exit Door-Left	+	8.1 fc	12.6 fc	2.9 fc	4.3:1	2.8:1
Service Area-Right	+	2.6 fc	12.6 fc	0.1 fc	126.0:1	26.0:1



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WATERFRONT RESTAURANT
175 Squire Pope Road
Hilton Head Island, SC 29926

REVISIONS

ID	DESCRIPTION	DATE

PROJECT CONTACT
JD
DATE OF ISSUE:
11/09/21
JOB NO. 2020

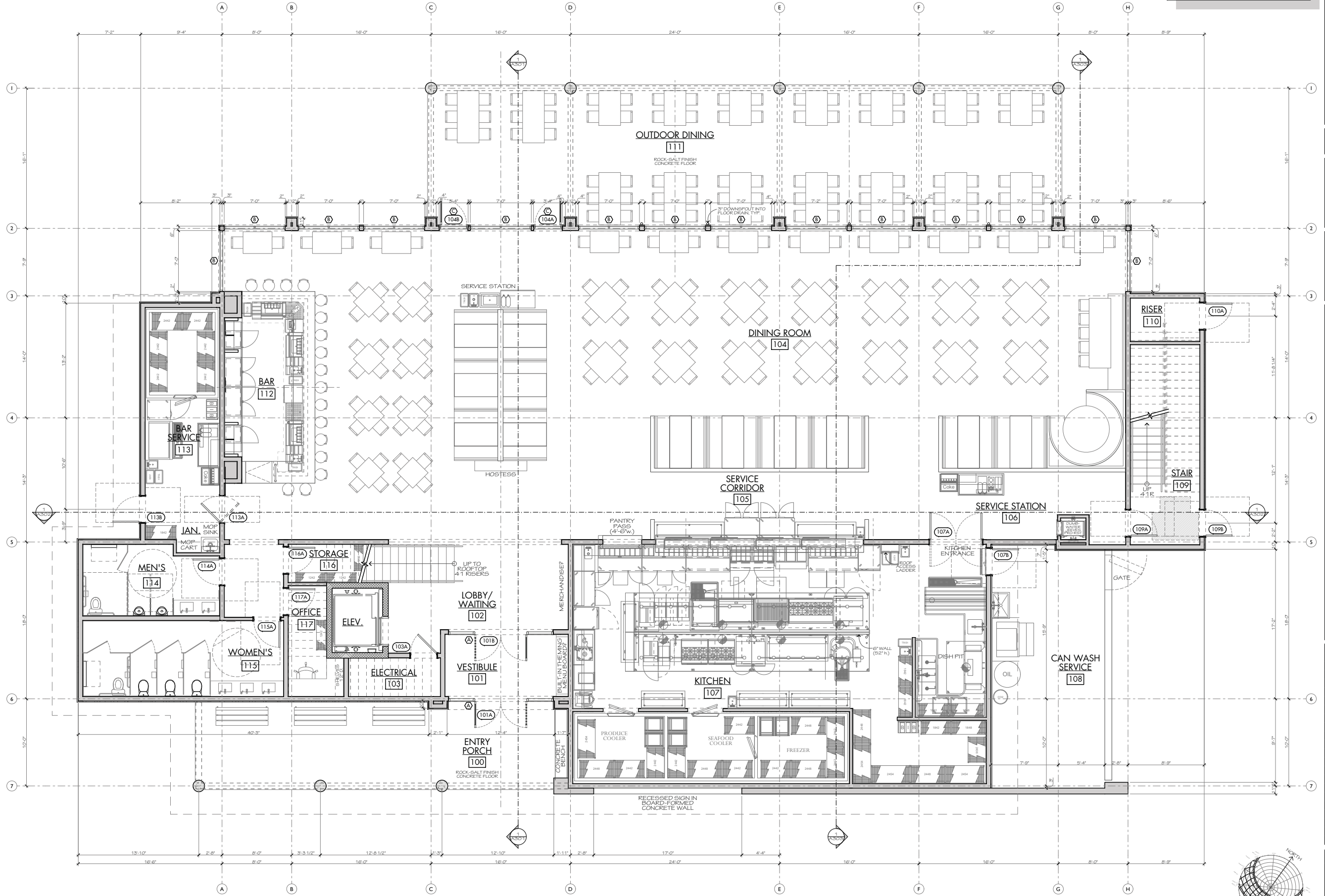
DALON ENGINEERING
2611 Southside Boulevard
Beaufort, SC 29902
Phone: 843-271-6011
www.dalonengineering.com

SHEET
EXTERIOR
PHOTOMETRIC
E1.3

GROSS FLOOR AREAS

1ST FLOOR CONDITIONED GFA	6,447 SQ. FT.
1ST FLOOR UNCONDITIONED GFA	1,210 SQ. FT.
2ND FLOOR CONDITIONED GFA	6,617 SQ. FT.
2ND FLOOR UNCONDITIONED GFA	2,843 SQ. FT.
TOTAL GFA	17,127 SQ. FT.
RESTAURANT GFA	11,149 SQ. FT.
SEAFOOD MARKET GFA	2,181 SQ. FT.
MASSAGE OFFICE BLDG. GFA	4,978 SQ. FT.
BOOK PROCESSING GFA	749 SQ. FT.
TOTAL NON-RESIDENTIAL GFA	18,939 SQ. FT.

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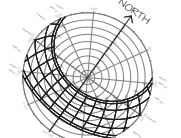


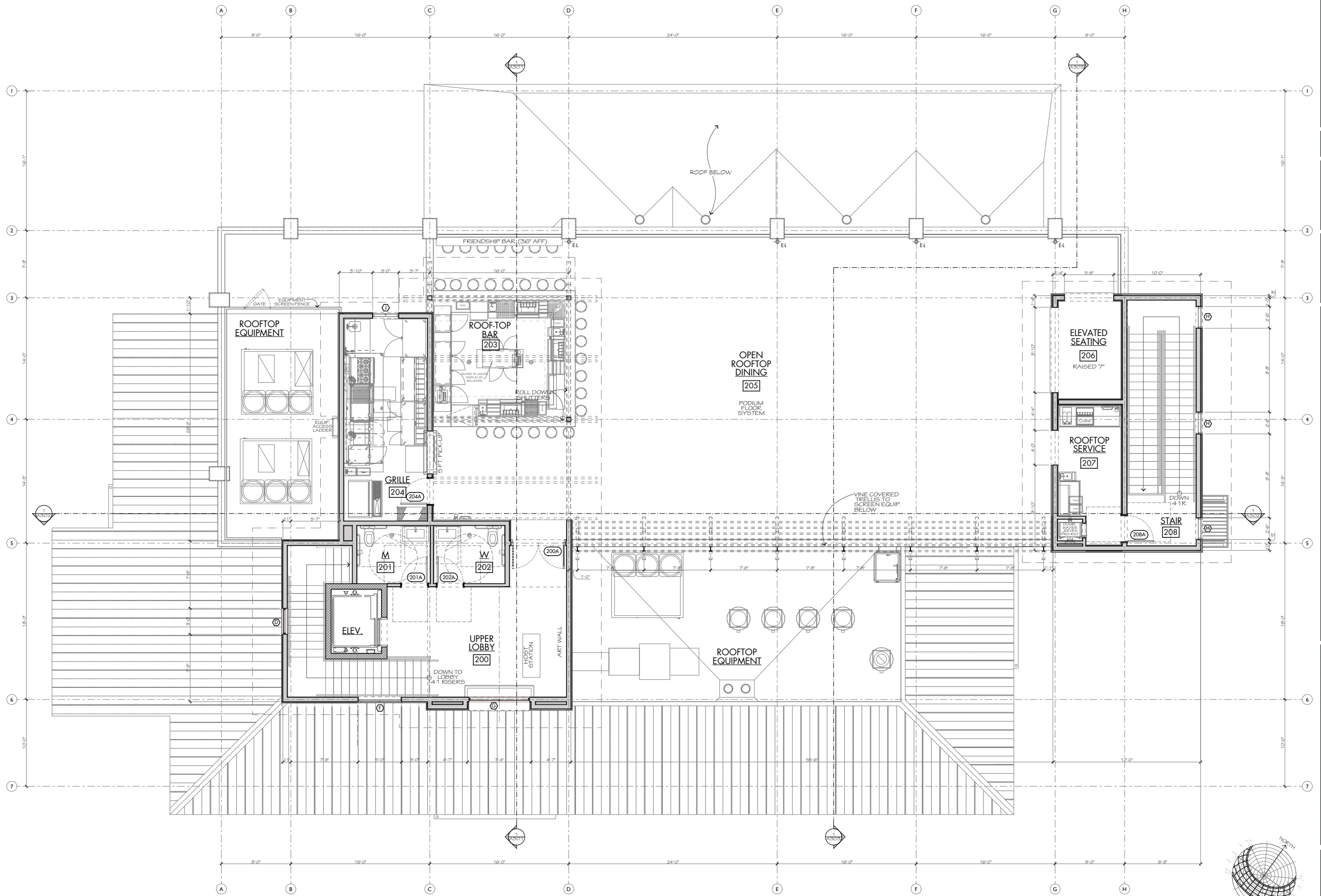
WATERFRONT RESTAURANT
175 Squire Pope Rd.
Hilton Head Island, SC 29926

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY
J.D.
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J.D.
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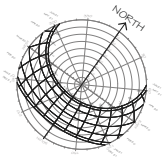
WATERFRONT RESTAURANT
 175 Squire Pops Rd
 Hilton Head Island, SC 29926

REVISIONS

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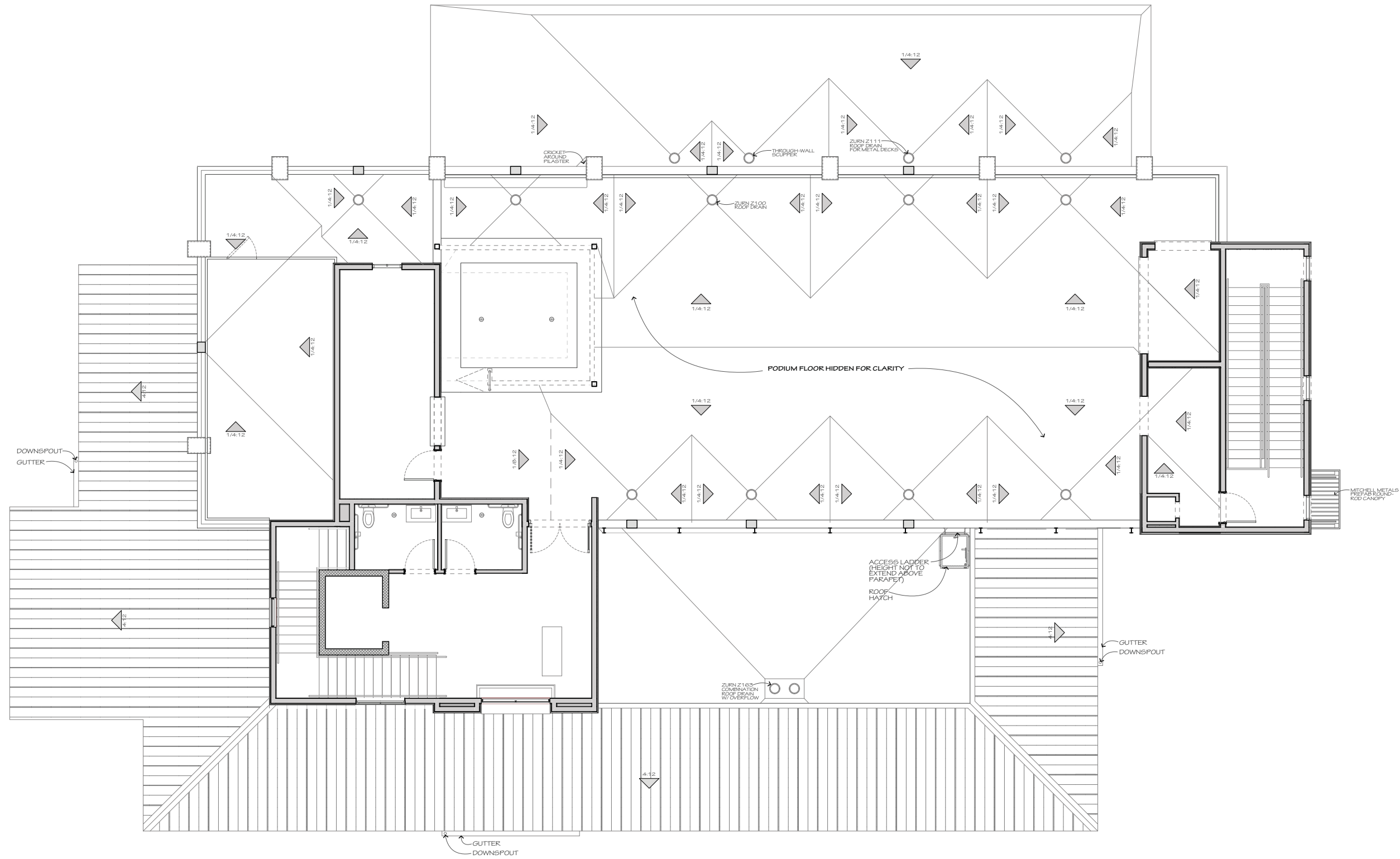
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SECOND FLOOR PLAN

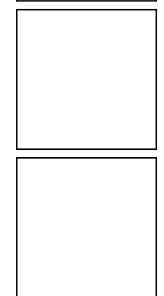


1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

A102



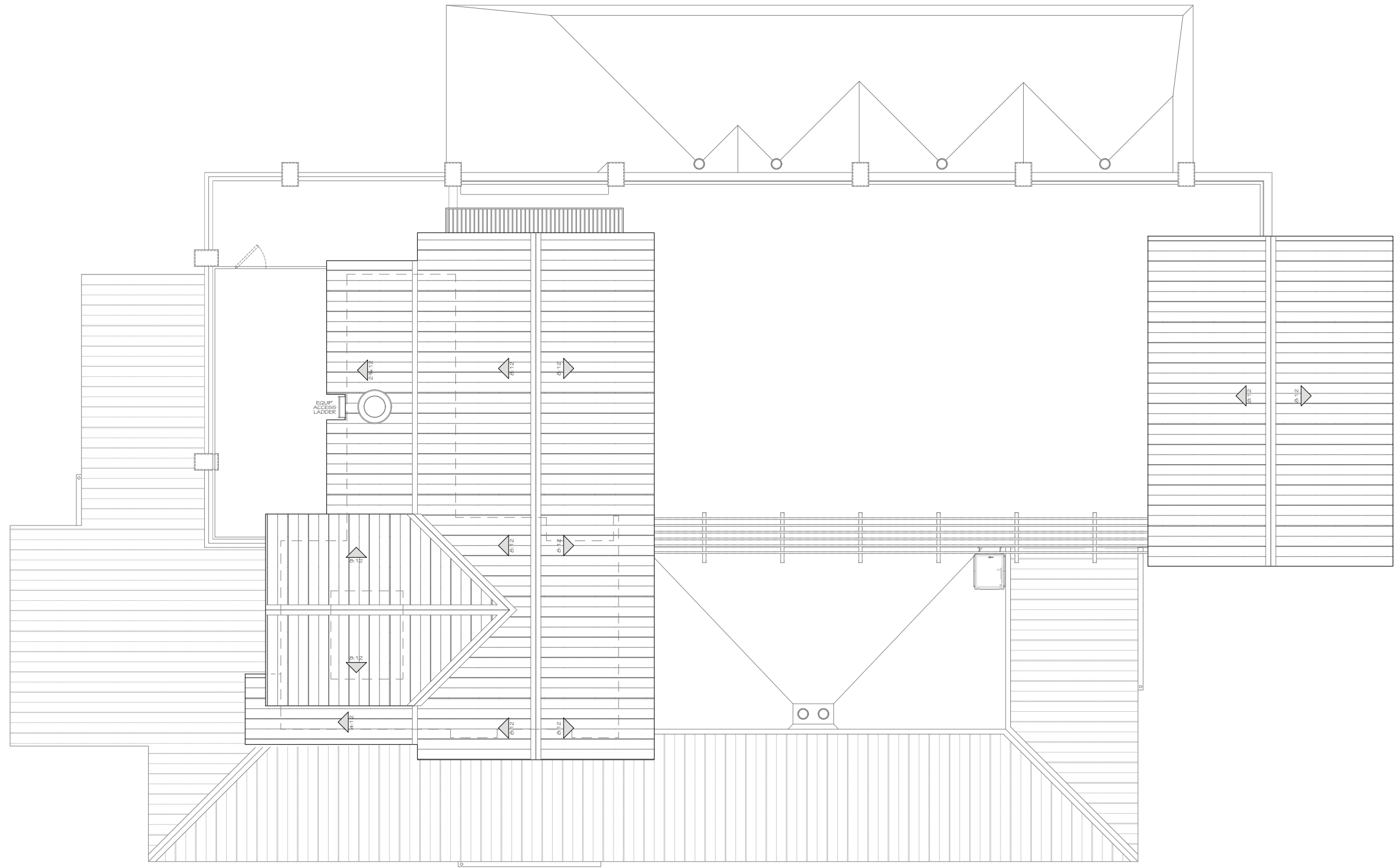
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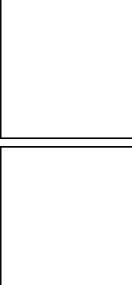
WATERFRONT RESTAURANT
175 Squire Pops Rd
Hilton Head Island, SC 29926

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WATERFRONT RESTAURANT
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UPPER ROOF PLAN
A104

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REVISIONS

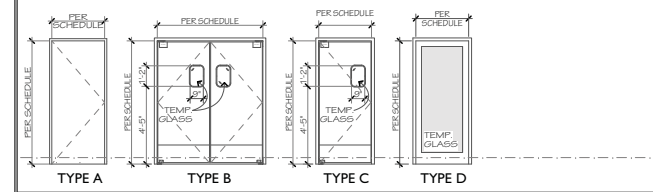
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11/30/2021
JOB NO.
2020
SHEET
DOOR & WINDOW
SCHEDULE &
DETAILS

DOOR & FRAME SCHEDULE

DOOR		SIZE		MANU.	ELEV.	HDWE	FRAME	FIRE	REMARKS
MARK	DESCRIPTION	W	H	FINISH	SEE	MARK	MATL	RATING	
101A	STOREFRONT	(2) 3'-0"	8'-0"	ALUM.	SEE (A)		ALUM.		
101B	STOREFRONT	(2) 3'-0"	8'-0"	ALUM.	SEE (A)		ALUM.		
103A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
104A	STOREFRONT	3'-0"	8'-0"	ALUM.	SEE (C1)		ALUM.		
104B	STOREFRONT	3'-0"	8'-0"	ALUM.	SEE (C1)		ALUM.		
107A	TRAFFIC PAIR	(2) 3'-0"	7'-0"	ALUM.	TYPE B	MFG. STD.	METAL		* B.O.D. ELIASON SCP-4
107B	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
108A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
108B	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
110A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
113A	TRAFFIC	3'-0"	7'-0"	ALUM.	TYPE C	MFG. STD.	METAL		* B.O.D. ELIASON SCP-4
113B	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
114A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
115A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
116A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
117A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
104A	STOREFRONT	3'-0"	8'-0"	ALUM.	TYPE D		ALUM.		
201A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
202A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
204A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		
208A	FLUSH	3'-0"	7'-0"	1 1/2" SCWD	TYPE A		METAL		

NOTES:
1. PROVIDE THERMALLY-BREAKING GLASS AS NOTED IN ELEVATIONS.
2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.

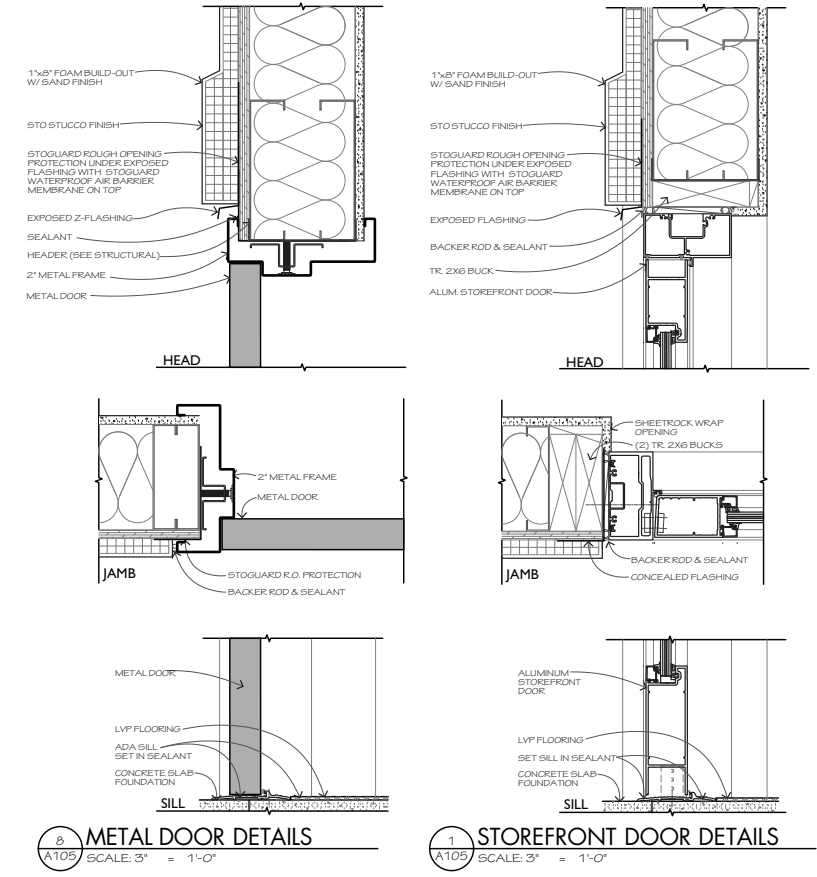
DOOR TYPE KEY



HARDWARE

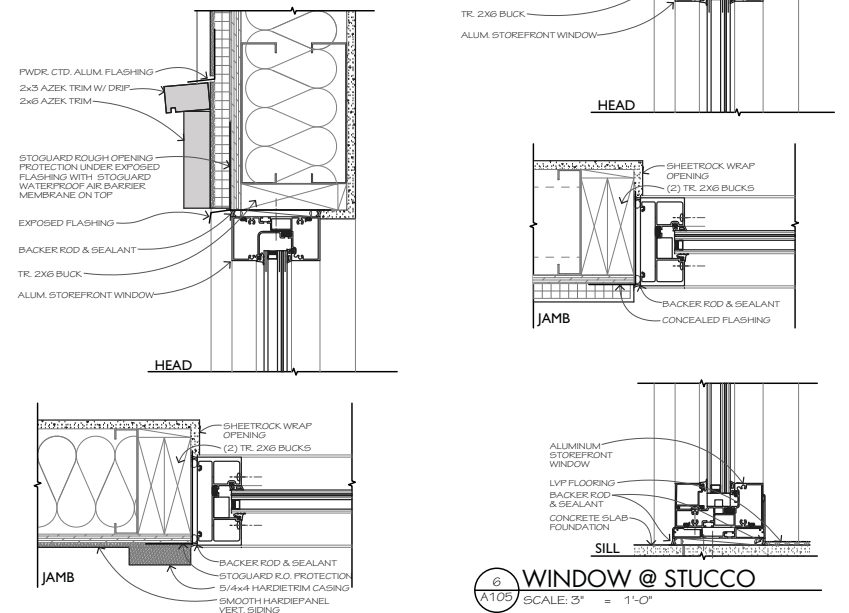
MARK	TYPE	MFG.	MODEL	REMARKS
1	PUSH/PULL			
2	DEAD BOLT			
3	KICK PLATE			
4	CLOSER			
5	EXIT DEVICE	VON DUPRIN	BB27LOG	
6	ENTRANCE/OFFICE LOCK	SCHLAGE	AL50PD	
7	BATHROOM LOCK	SCHLAGE	AL40PD	
8	STOREROOM LOCK	SCHLAGE	AL30PD	

NOTES:
1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW.
2. ALL FINISHES TO BE COORDINATED.

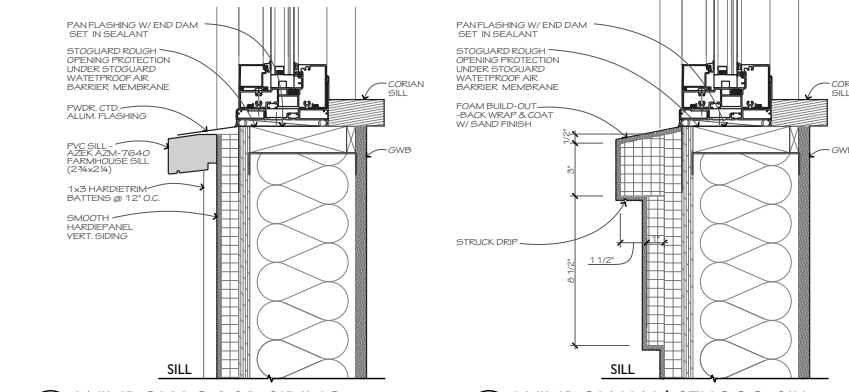


8 METAL DOOR DETAILS
SCALE: 3" = 1'-0"

1 STOREFRONT DOOR DETAILS
SCALE: 3" = 1'-0"



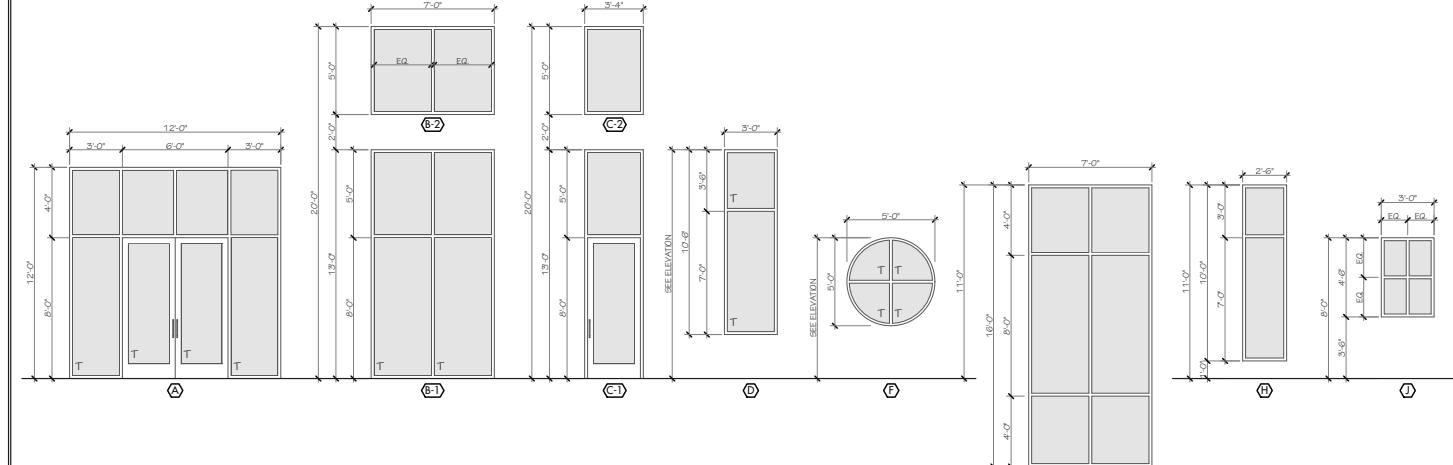
6 WINDOW @ STUCCO
SCALE: 3" = 1'-0"



5 WINDOW W/ STUCCO SILL
SCALE: 3" = 1'-0"

7 WINDOW @ B&B SIDING
SCALE: 3" = 1'-0"

WINDOW ELEVATIONS



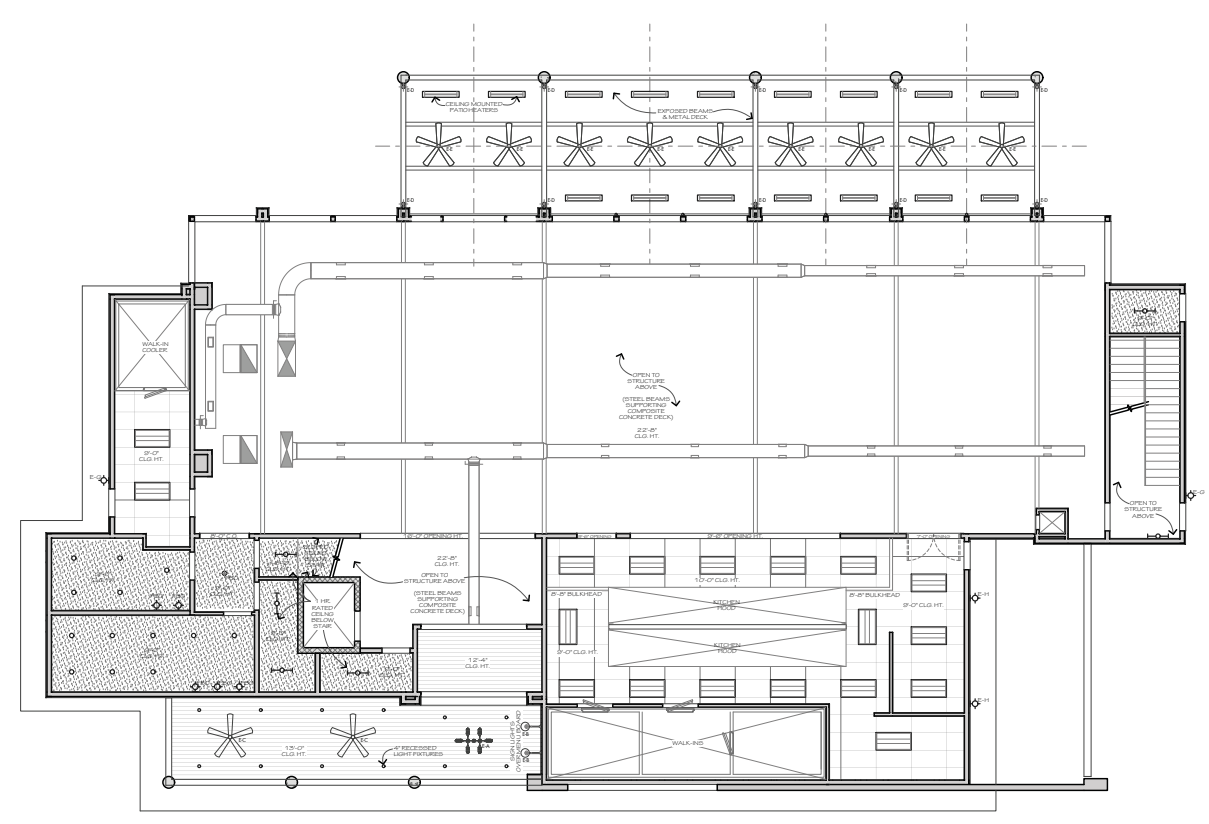
WINDOW SCHEDULE

MARK	TYPE	MANUF. & LINE	SIZE	REMARKS
A	STOREFRONT W/ DOOR PAIR	YKK YHS-SOTU	12'-0" x 12'-0"	
B-1	STOREFRONT	YKK YHS-SOTU	13'-0" x 7'-0"	
B-2	STOREFRONT	YKK YHS-SOTU	5'-0" x 7'-0"	
C-1	STOREFRONT W/ DOOR	YKK YHS-SOTU	3'-4" x 13'-0"	
C-2	STOREFRONT	YKK YHS-SOTU	3'-0" x 7'-0"	
D	STOREFRONT	YKK YHS-SOTU	3'-0" x 10'-6"	
F	ROUND STOREFRONT	YKK YHS-SOTU	3'-0" x 3'-0"	
G	STOREFRONT	YKK YHS-SOTU	16'-0" x 7'-0"	
H	STOREFRONT	YKK YHS-SOTU	2'-6" x 10'-0"	
J	STOREFRONT	YKK YHS-SOTU	3'-0" x 4'-6"	

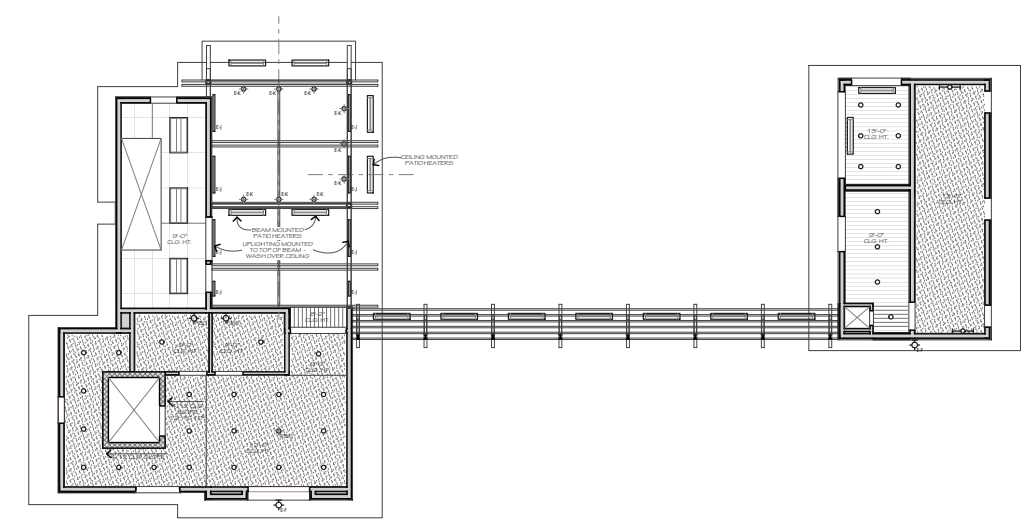
NOTES:
1. ALL WINDOWS TO BE 2x4 ALUMINUM STOREFRONT W/ IMPACT-RESISTANT LAMINATED LOWER GLASS UNO.
2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.

parkdesigngrouparchitects
 440 WISCONSIN FOR CONSTRUCTION ARCHITECTS
pdg
 ARCHITECTS

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1 1st FLOOR REFLECTED CEILING PLAN
 A106 SCALE 1/8" = 1'-0"



2 2nd FLOOR REFLECTED CEILING PLAN
 A106 SCALE 1/8" = 1'-0"

WATERFRONT RESTAURANT
 175 Squire Pope Rd
 Hilton Head Island, SC 29926

REVISIONS

EXTERIOR LIGHTING SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP	MOUNTING	COLOR	REMARKS
E-A	ENTRY PENDANT	BARN LIGHT ELEC.	BLE-5-CGG-875-975-875-24-5C-CGG-NA-RB-E26	3000K LED	CEILING	GALVANIZED	
E-B	ENTRY BENCH	ANP LIGHTING	AN12-EG-49-EG	3000K LED	WALL	GALVANIZED	
E-C	ENTRY PORCH FAN	BARN LIGHT ELEC.	IND-GV-WW-24-NA-WALL	N/A	CEILING	GALVANIZED	
E-D	UP/DOWN CYLINDER	KONST SMIDE	580-30	3000K LED	WALL	GALVANIZED	
E-E	DINING PORCH FANLIGHT	MIKA AIRE	"RAINMAN" P582L-GL	3000K LED	CEILING	GALVANIZED	
E-F	GABLE END LIGHTS	ANP LIGHTING	OSWD536-EG-49-49-49	3000K LED	WALL	GALVANIZED	
E-G	EXIT DOOR LIGHTS	BARN LIGHT ELEC.	BLE-G-CGG-875-G11-F9-CGG-875-RB-E26	3000K LED	WALL	GALVANIZED	
E-H	WALL PACK	THE WILLIAMS	WMP-V-L30-7-3000K-1FT-SKY-CGL	3000K LED	WALL	BATHN ALUM	
E-J	EXTERIOR COVE LIGHT	COOPER LIGHTING	LM-VSL-8930-120-CD-UV-S-SM-STD	3000K LED	T/O BEAM	STD SILVER	
E-K	BAR PENDANT	MARSET	SANTORINI C	3000K LED	T/O BEAM	WHITE (RAL 9003)	
E-K	PLASTER PATHLIGHT	SISTEMALUX	SKILL ROUND S-B2B0	3000K LED	WALL	ALUMINUM GRAY	SEE A102

SYMBOL KEY

Lighting	Mechanical	Fire/Security	Materials

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DATE OF ISSUE
 11/30/2021

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 2020

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REFLECTED CEILING PLANS

A106

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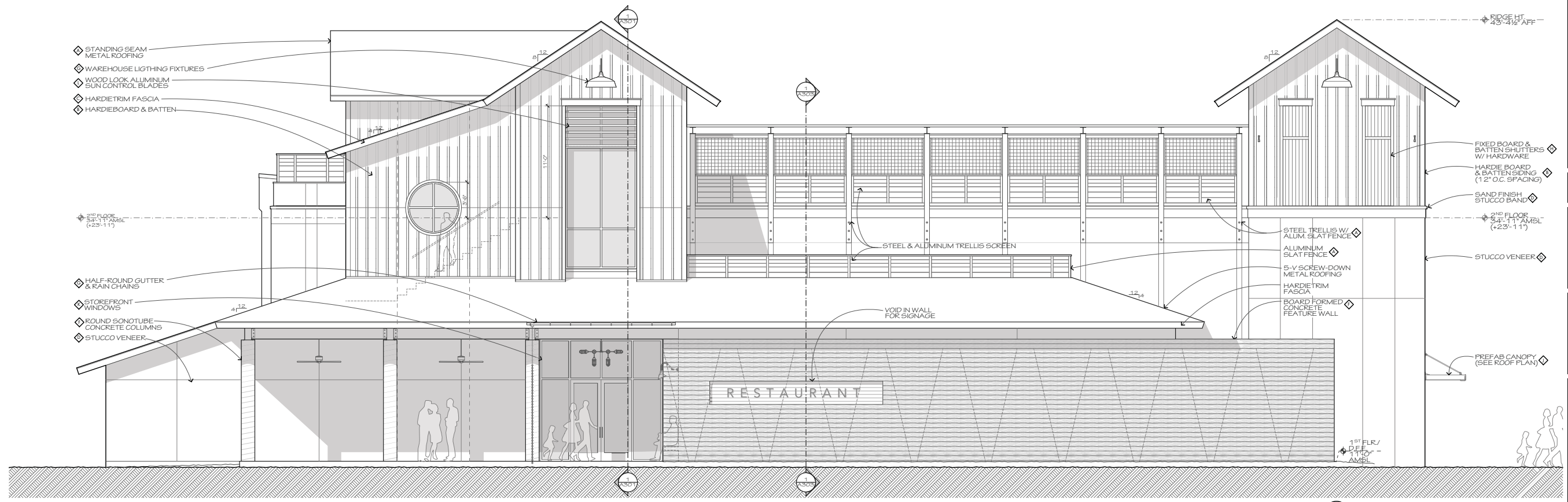
WATERFRONT RESTAURANT
175 Squire Pope Rd.
Hilton Head Island, SC 29926

REVISIONS

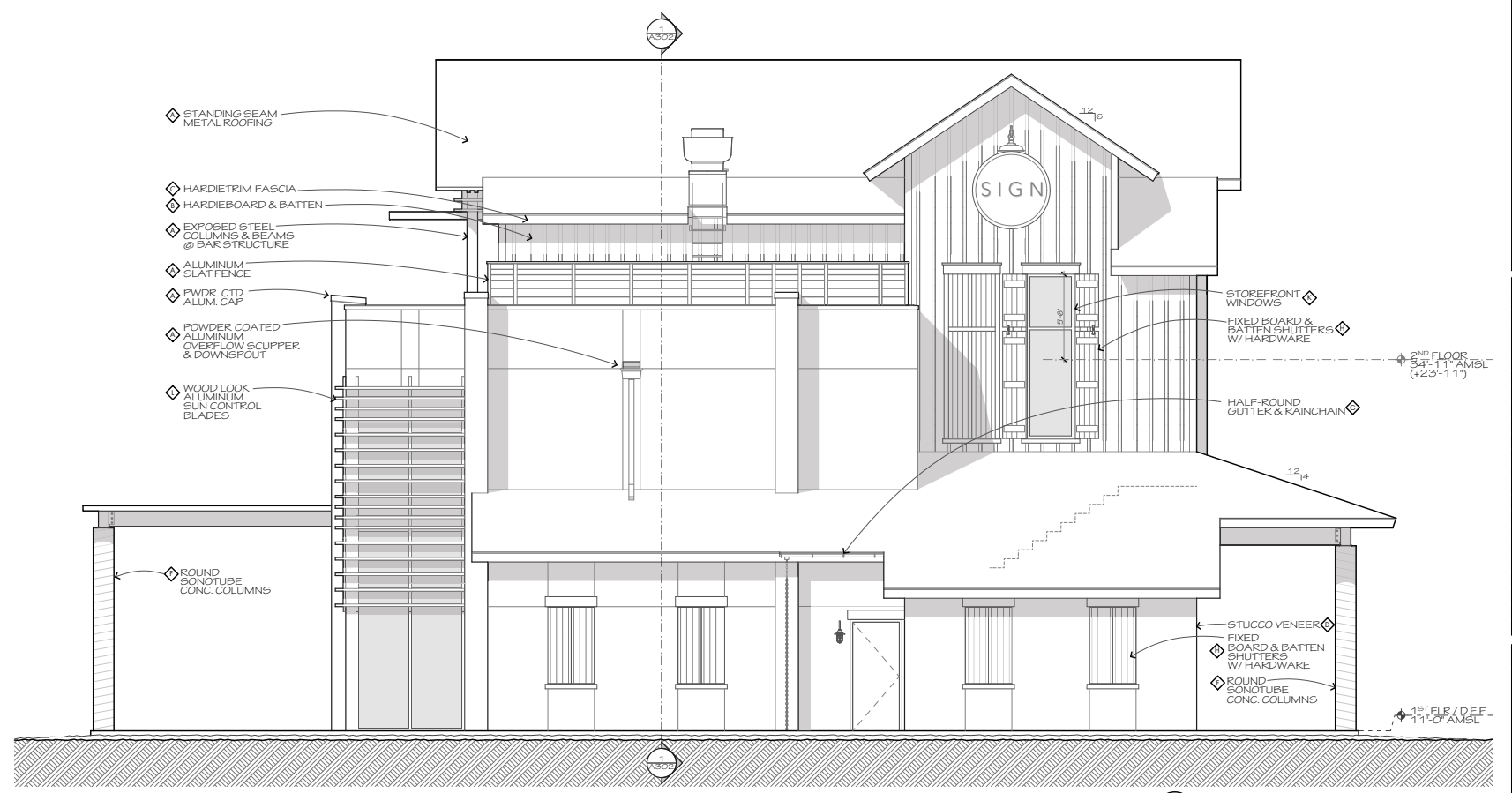
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JOB NO.
2020
SHEET

ELEVATIONS
A201



1 FRONT ELEVATION
A201 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
A201 SCALE: 1/4" = 1'-0"

MARK	COLOR	MANUF.	APPLICATION
◇	GRAPHITE	FAC-CLAD	STANDING SEAM METAL ROOFING
◇	CAST IRON S/W 6202	SHERWIN WILLIAMS	EXPOSED STEEL HVAC SCREENING
◇	LINK GRAY S/W 6200	SHERWIN WILLIAMS	BOARD & BATTEN SIDING 2x6 CORNER BOARDS
◇	STO	STO	FASCIA & TRIM
◇	EXPOSED CONCRETE	---	STUCCO VENEER & TRIM
◇	GALVANIZED	---	SONOTUBE COLUMNS BOARD FORMED WALL
◇	BOARD & BATTEN RED	NEW HORIZON SHUTTERS	LIGHTS, GUTTERS, RAINCHAIN
◇	SILVER (P/MMD467)	MITCHELL METALS	WINDOWS & WINDOW TRIM
◇	CLEAR ANODIZED	YKK AP	SHUTTERS
◇	DRIFTWOOD	KNOTWOOD	ROOF CANOPY
◇			STOREFRONT WINDOWS & DOORS
◇			SUN CONTROL LOUVERS EXPOSED WOOD (STAIN TO MATCH)

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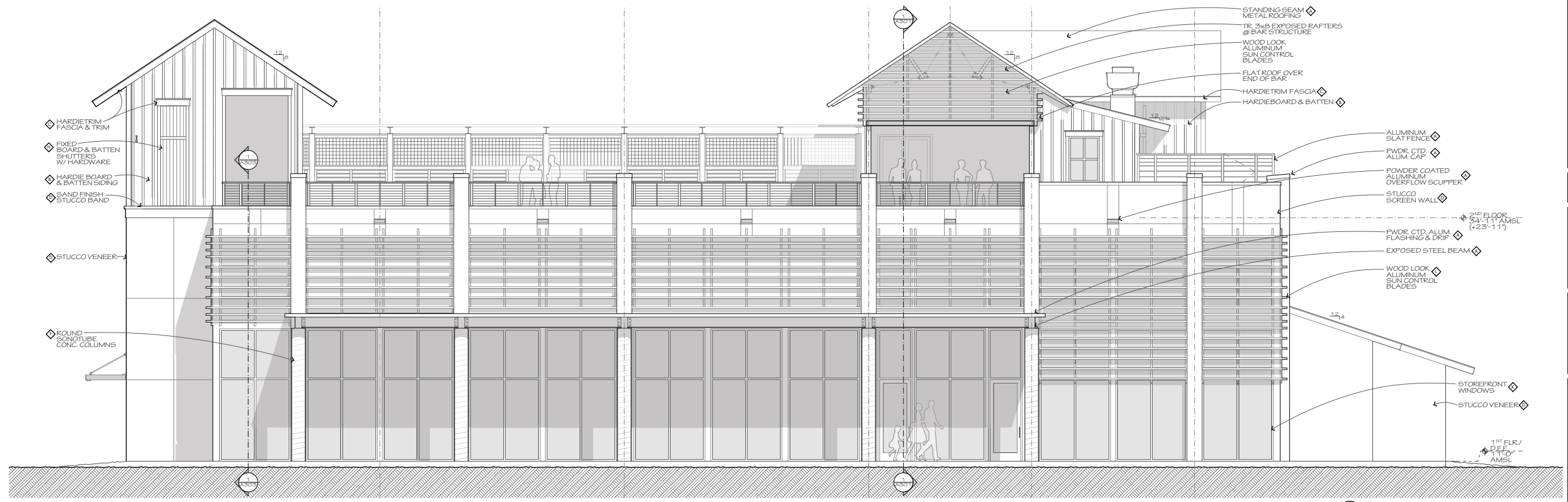
WATERFRONT RESTAURANT
175 Squire Pope Rd.
Hilton Head Island, SC 29926

REVISIONS

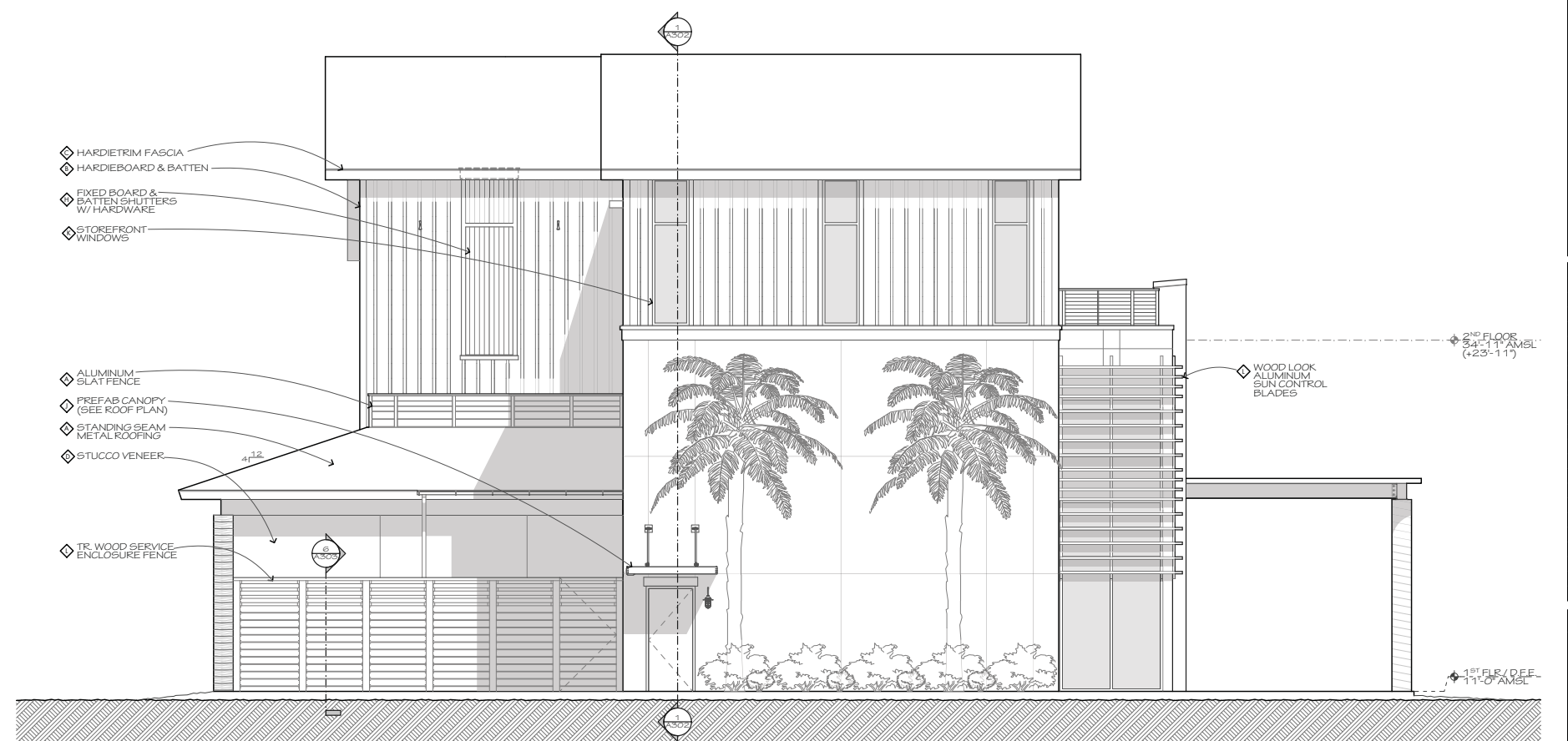
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11/30/2021
JOB NO.
2020
SHEET

ELEVATIONS
A202

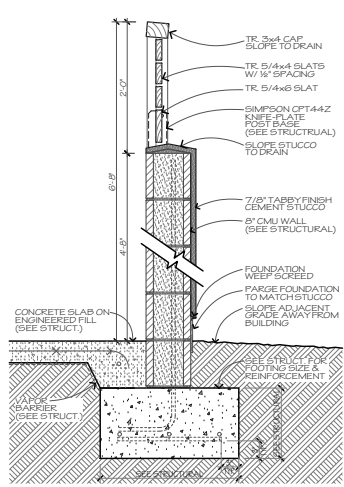


1 REAR ELEVATION
A202 SCALE: 1/4" = 1'-0" 0 2 4 8

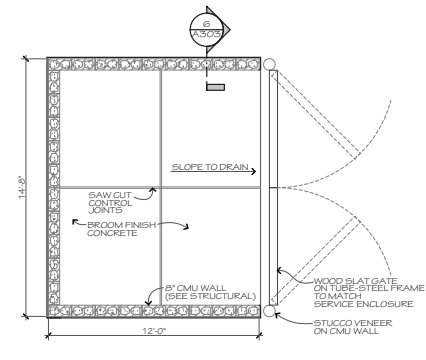


2 RIGHT ELEVATION
A202 SCALE: 1/4" = 1'-0" 0 2 4 8

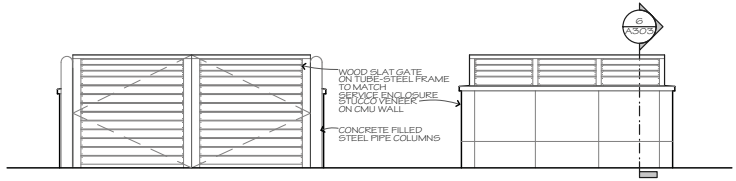
MARK	COLOR	MANUF.	APPLICATION
◇	GRAPHITE	PAC-CLAD	STANDING SEAM METAL ROOFING
◇	CAST IRON SW 6202	SHERWIN WILLIAMS	EXPOSED STEEL HVAC SCREENING
◇	LINK GRAY SW 6200	SHERWIN WILLIAMS	BOARD & BATTEN SIDING 2x6 CORNER BOARDS
◇	STO	---	FASCIA & TRIM
◇	STO	---	STUCCO VENEER & TRIM
◇	EXPOSED CONCRETE	---	SONOTUBE COLLUMNS BOARD FORMED WALL
◇	GALVANIZED	---	LIGHTS, GUTTERS, RAINCHAIN
◇	BOARD & BATTEN RED	NEW HORIZON SHUTTERS	WINDOWS & WINDOW TRIM
◇	SILVER (P/MMO487)	MITCHELL METALS	ROOF CANOPY
◇	CLEAR ANODIZED	YKK AP	STOREFRONT WINDOWS & DOORS
◇	DRIFTWOOD	KNOTWOOD	SUN CONTROL LOUVERS EXPOSED WOOD (STAIN TO MATCH)



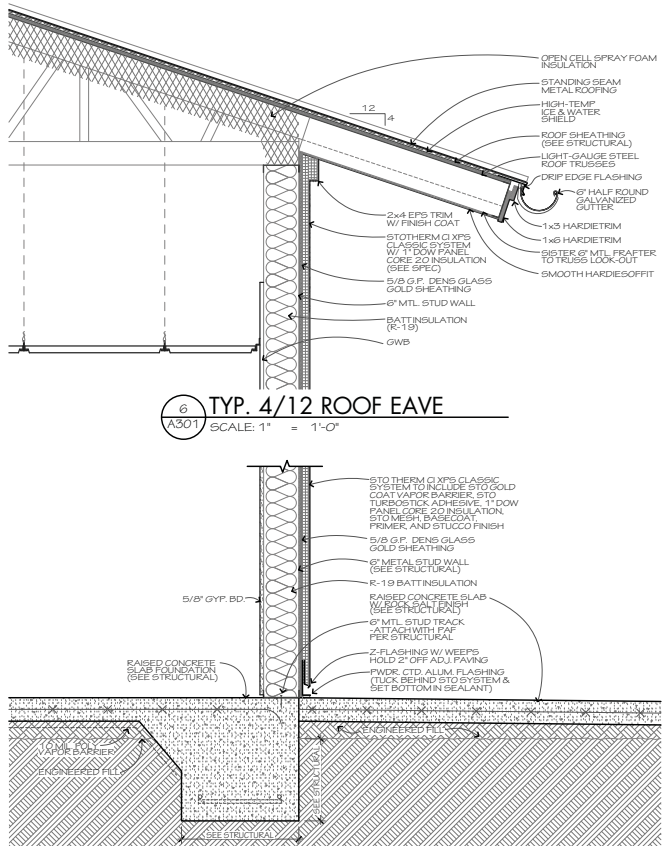
9 DUMPSTER WALL DETAIL
A301 SCALE: 1" = 1'-0"



8 DUMPSTER ENCLOSURE PLAN
A301 SCALE: 1/4" = 1'-0"

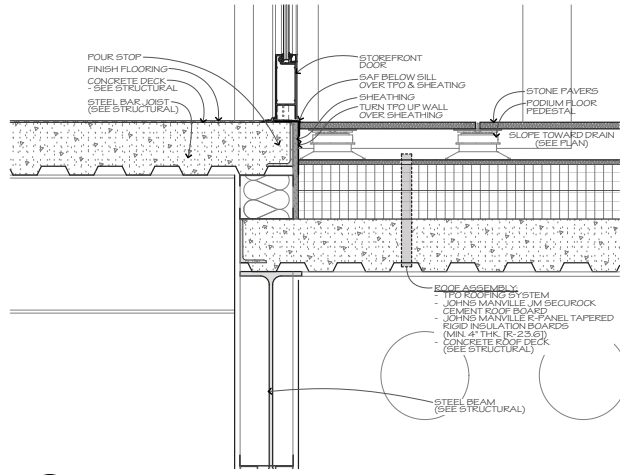


10 DUMPSTER ENCLOSURE ELEVATIONS
A301 SCALE: 1/4" = 1'-0"

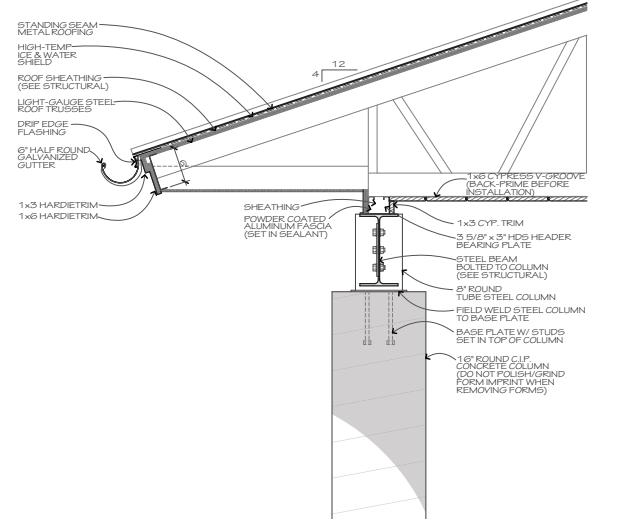


6 TYP. 4/12 ROOF EAVE
A301 SCALE: 1" = 1'-0"

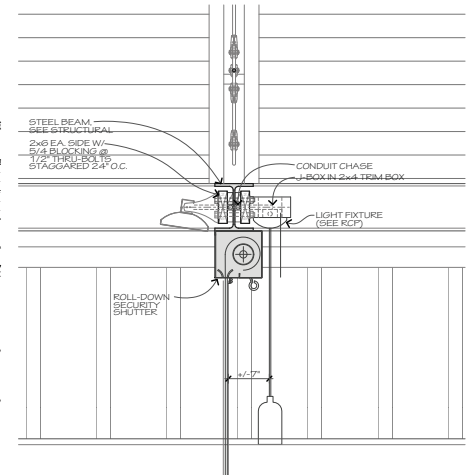
7 STUCCO WALL @ PORCH & PAVING
A301 SCALE: 1" = 1'-0"



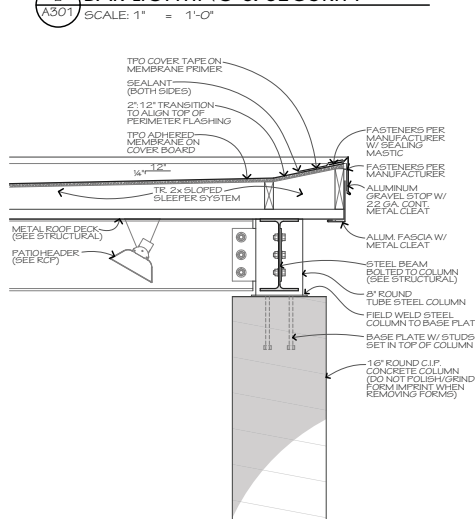
4 LOBBY TO ROOF SECTION
A301 SCALE: 1 1/2" = 1'-0"



5 ENTRY PORCH ROOF
A301 SCALE: 1" = 1'-0"



2 BAR LIGHTING & SECURITY
A301 SCALE: 1" = 1'-0"



3 DINING PORCH
A301 SCALE: 1" = 1'-0"



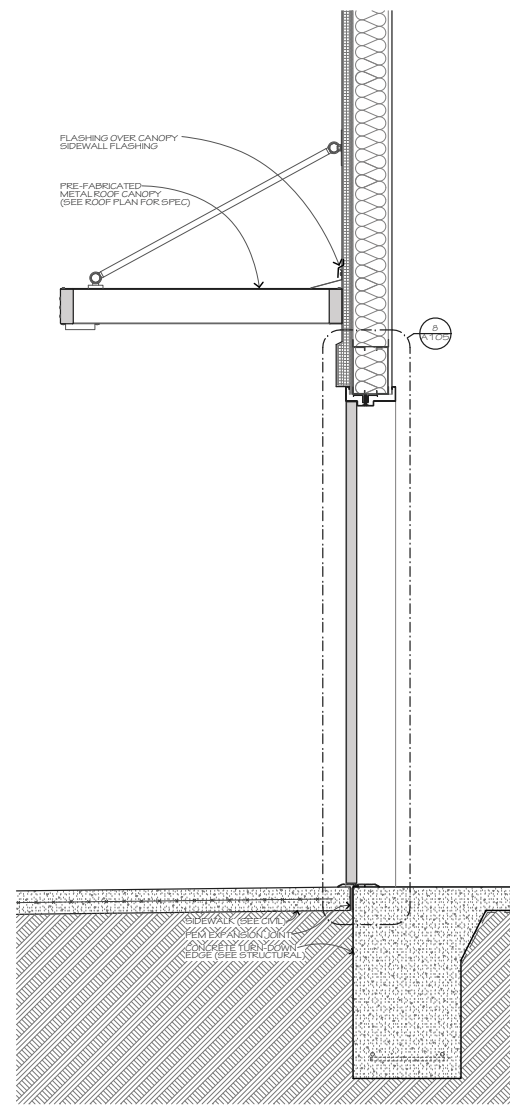
1 ENTRY SECTION
A301 SCALE: 1/4" = 1'-0"

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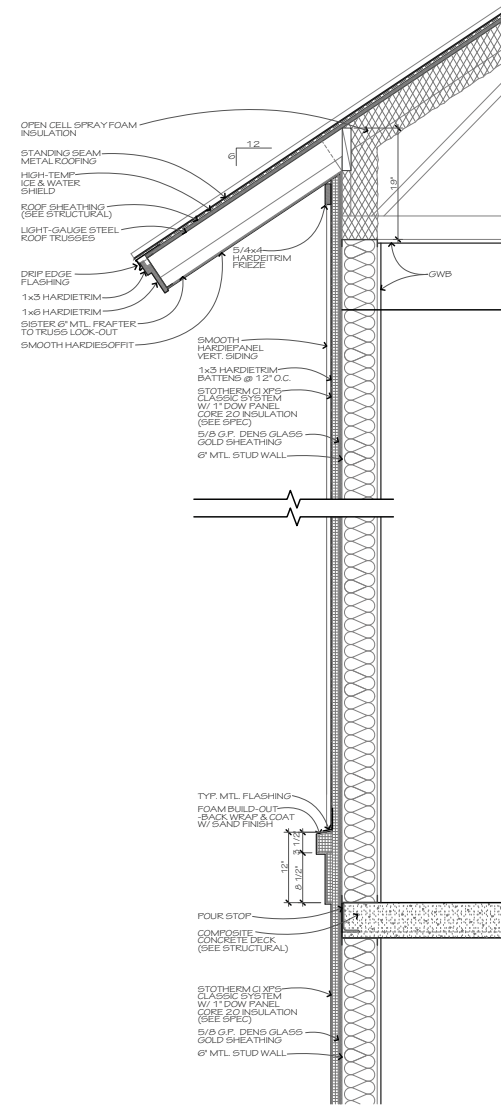
REVISIONS

NO.	DESCRIPTION

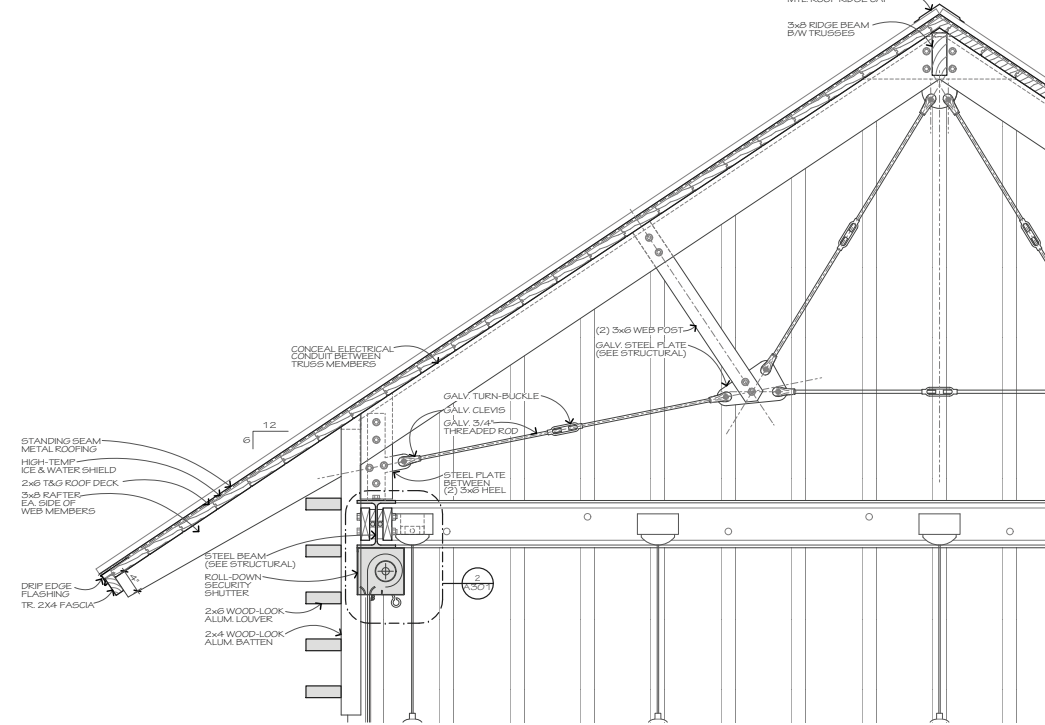
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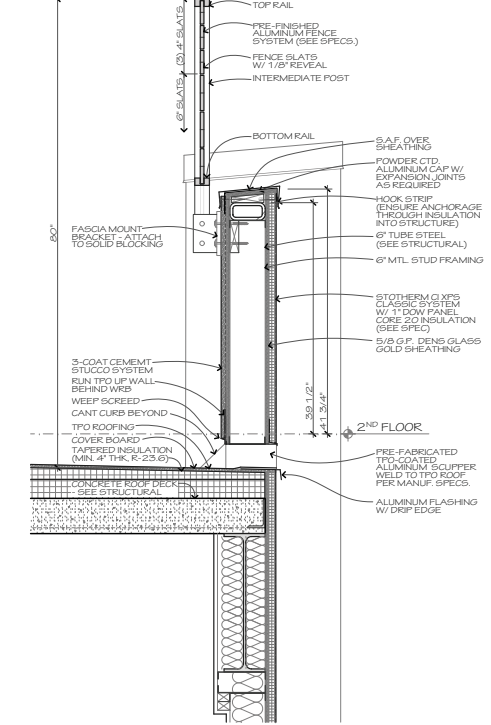
4 CANOPY ROOF
 A302 SCALE: 1" = 1'-0"



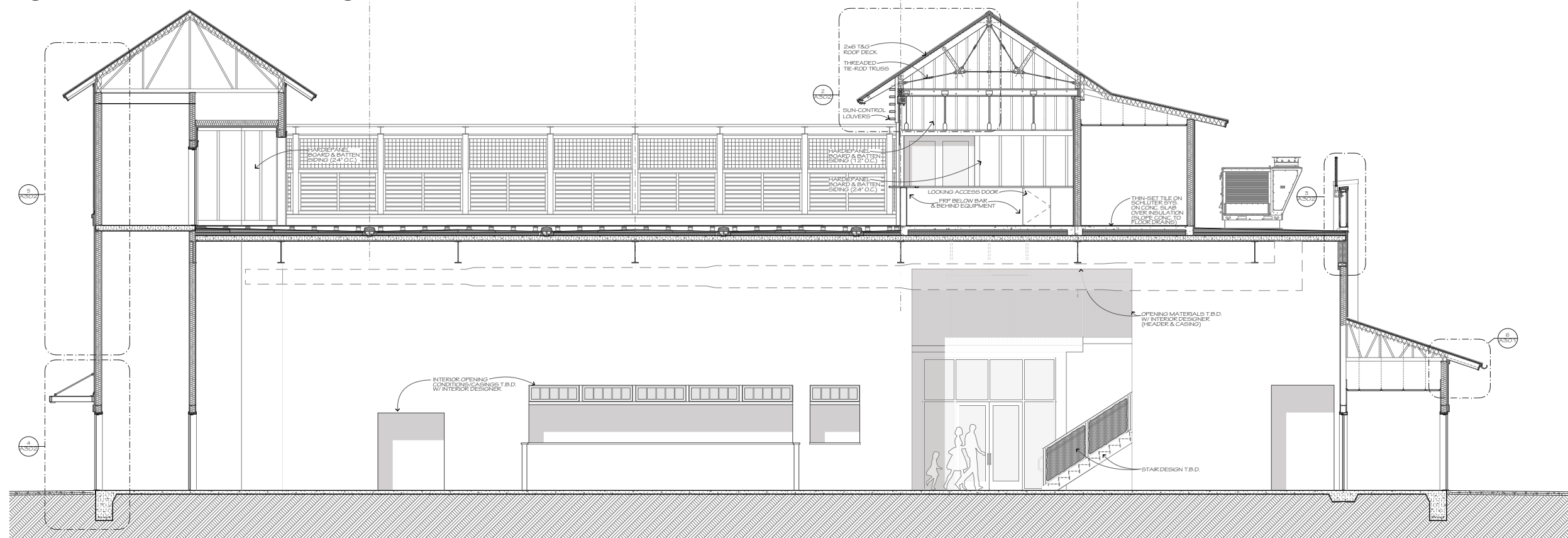
5 TYP. 2-STORY WALL
 A302 SCALE: 1" = 1'-0"



2 BAR ROOF
 A302 SCALE: 1" = 1'-0"



3 STUCCO PARAPET & RTU SCREEN
 A302 SCALE: 1" = 1'-0"



1 DINING ROOM SECTION
 A302 SCALE: 1/4" = 1'-0"



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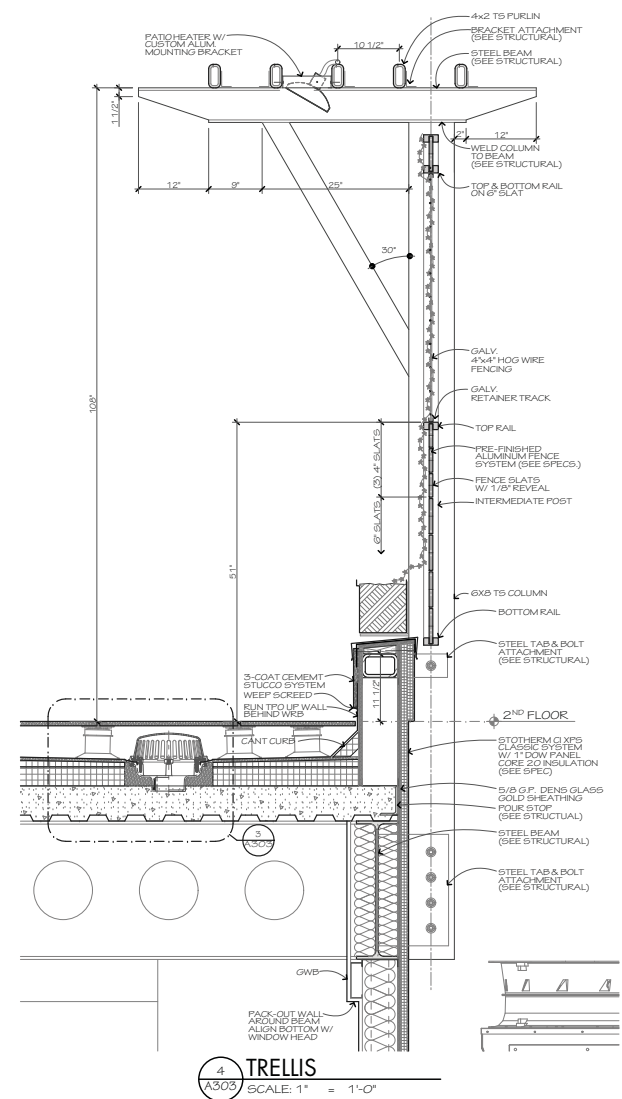
WATERFRONT RESTAURANT
 175 Squire Pope Rd.
 Hilton Head Island, SC 29926

REVISIONS

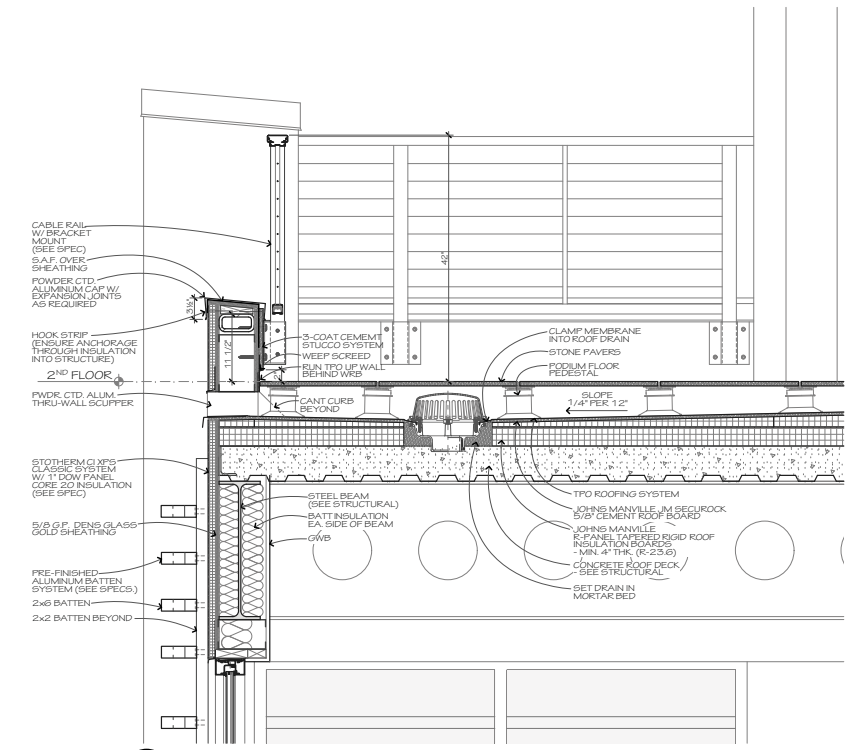
NO.	DESCRIPTION	DATE

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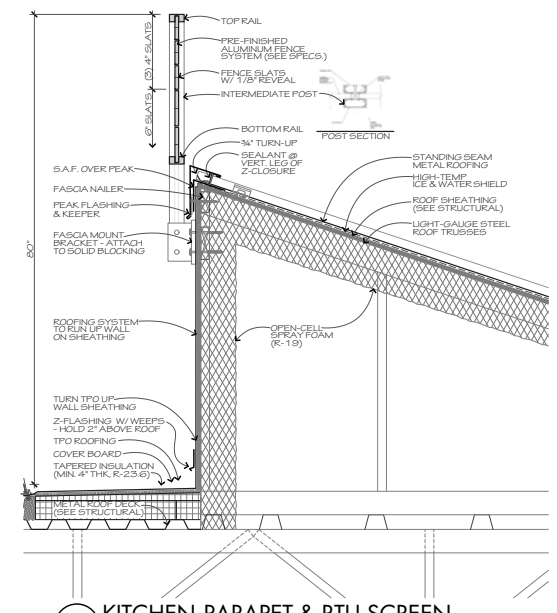
DINING ROOM SECTION & DETAILS
A302



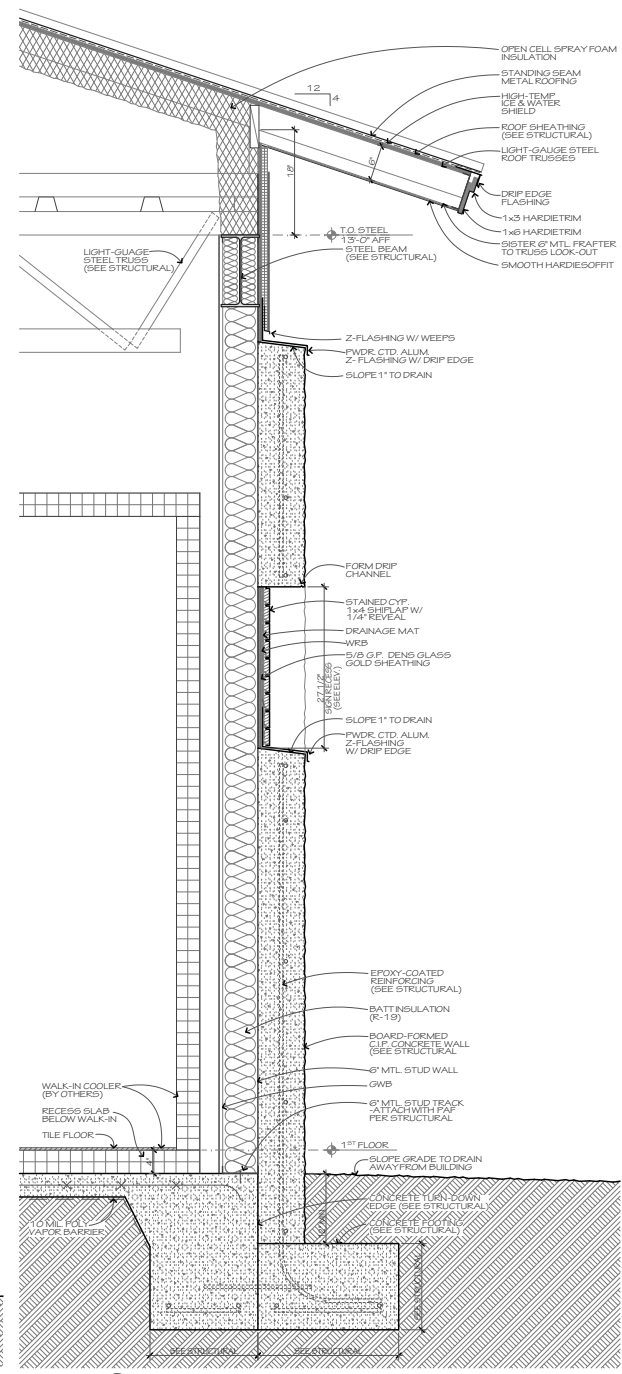
4 TRELLIS
SCALE: 1" = 1'-0"



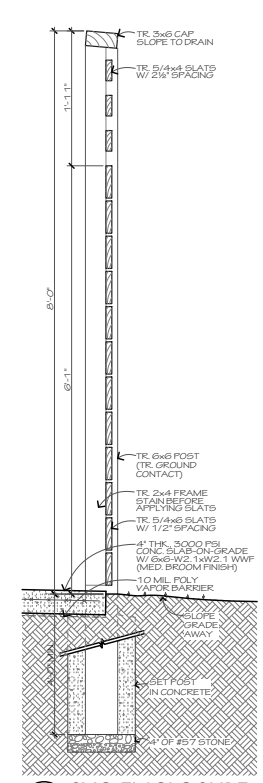
3 ROOFTOP PARAPET @ GUARDRAIL
SCALE: 1" = 1'-0"



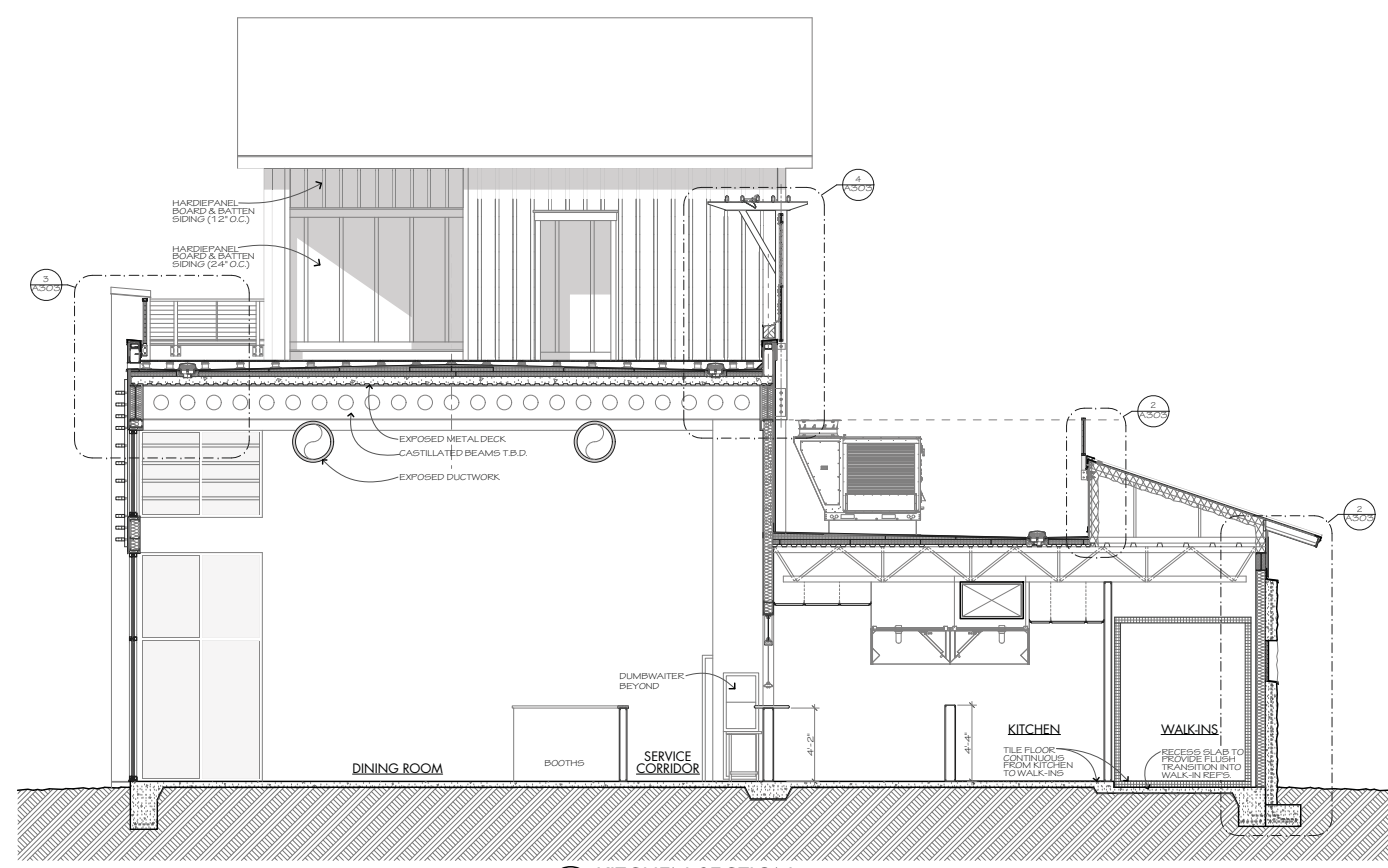
2 KITCHEN PARAPET & RTU SCREEN
SCALE: 1" = 1'-0"



5 BOARD-FORMED KITCHEN WALL
SCALE: 1" = 1'-0"



6 SVC ENCLOSURE
SCALE: 1" = 1'-0"



1 KITCHEN SECTION
SCALE: 1/4" = 1'-0"



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WATERFRONT RESTAURANT
175 Squire Pope Rd.
Hilton Head Island, SC 29926

REVISIONS

NO.	DATE	DESCRIPTION

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2020
SHEET

KITCHEN SECTION & DETAILS
A303

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Waterfront Restaurant

DRB#: DRB-002657-2021

DATE: 12/03/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

For Staff review and approval:

1. Reduce the amount of lawn area on the site.
2. Specify that the utility line under the 53 LO shown on the "Site Improvements Plan" it to be abandoned in place.
3. Provide a tree protection plan showing tree protection fence and specifying pre / post construction fertilization and mycor treatment for the 53" LO.
4. Provide tree lighting details that do not damage the tree.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DG, page 20, "Large grassed lawn areas encompassing a major portion of the site are to be avoided. "Reducing the amount of lawn on the site.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Clarify that the utility line under the 53 LO shown on the "Site Improvements Plan" it to be abandoned in place. 2. Provide a tree protection plan showing tree

				<p>protection fence with pre and post construction fertilization and Mycor treatment specified for the 53" LO.</p> <p>3. Provide tree lighting details that do not damage the tree.</p> <ul style="list-style-type: none"> a. No mounting on the tree that would penetrate the bark. b. Use of tree collars. c. Above ground / radial to trunk installation of the electrical supply that will reduce impact the feeder roots.
--	--	--	--	---

MISC COMMENTS/QUESTIONS

1. This project received Conceptual approval on Sept 28 th this year. The NOA is included in the packet.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joseph DePauw Company: PDG|Architects
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29938
 Telephone: (843) 785-5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: Heritage Pavilion Project Address: 9 New Orleans Rd.
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 C 0 2 6 5 0 0 0 0
 Zoning District: 1C - Light Commercial Overlay District(s): ROW ART

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11/30/2021

DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

PROJECT NAME: Heritage Pavilion

PROJECT #: 002396-2021

PROJECT ADDRESS: 39 New Orleans

CATEGORY: Conceptual

ACTION DATE: 11/09/2021

NOTICE DATE: 11/16/2021

APPLICANT/AGENT: Tom Parker

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
- APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**
- DENIED**
- WITHDRAWN AT THE APPLICANTS REQUEST**

1. Revise the site plan to better function for pedestrians and with the existing building.
2. Revise the storm drains to better preserve existing vegetation.
3. Conceal conduits in the pavilion.
4. Revise the landscape plan to eliminate sod in the street buffer.
5. Preserve the magnolias in the street buffer.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer

November 29, 2021

Town of Hilton Head Island
Design Review Board
Community Development Department
One Town Center Court
Hilton Head Island SC 29928



re: Heritage Pavilion
9 New Orleans Rd.
R552 015 00C 0265 0000

Mr. Darnell,

Please find the attached documents for our Final Review submittal of the Heritage Pavilion. Our responses to the conditions of the Conceptual Review NOA dated 11/16/21 are listed below, and the project narrative is attached.

1. Revise the site plan to better function for pedestrians and with the existing building.
 - a. We have revised the landscape and walkway design to identify the entrance to the pavilion site from the end of the school parking lot, and to delineate this transition. No exterior access from the academy is available to create an access form the rear of the building, and there is not space for a sidewalk between the existing parking and the building.
2. Revise the storm drains to better preserve existing vegetation.
 - a. The storm drains have been revised and notes have been added to minimize disturbance around remaining trees.
3. Conceal conduits in the pavilion.
 - a. Details have been revised to include trim to cover conduit.
4. Revise the landscape plan to eliminate sod in the street buffer.
 - a. Sod has been removed from the street buffer.
5. Preserve the magnolias in the street buffer.
 - a. The magnolias in the street buffer will remain.

Thank you for your time and consideration,

A handwritten signature in black ink, appearing to read 'Joseph DePauw', written in a cursive style.

Joseph A. DePauw, AIA
PDG|Architects

Project Summary

This project consists of an open-air picnic pavilion to be built on the lot next to the existing campus. The pavilion will be used for outdoor teaching, eating lunch, and programs. There is also a paved area for basketball and an outdoor demonstration garden area.

The structure is heavy timber and CMU oyster shell stucco columns. The colors and materials are to match the existing buildings on campus. The roof structure is an exposed truss system, which will be stained in a color similar to the painted wood of the school building

P6341 SERIES FLOOD LIGHT

Wall mounted • Wet location listed



Description:

The two-light Security light with motion sensor is ideal for residential and commercial applications. Each tempered glass head has over 1,000 lumens and is adjustable. The motion sensor has 180 degree coverage, center focus range to 72 feet, Time On, Sensitivity and Distance adjustment with Night/Day or night operation. This fixture saves energy and maintenance over traditional lighting sources.

Specifications:

- Antique Bronze (-20), Bright White (-28), Metallic Gray (-82) (powder coat paint)
- Die-cast aluminum construction
- Tempered glass lens
- Dimmable to 10% brightness (See Dimming Notes)
- Backplate covers a standard 4" hexagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied

Performance:

Number of Modules	2
Input Power	26.6w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW	2104/79 (LM-79) per module
CCT	3000 K
CRI	83
Life (hours)	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-20 °C
Max. Operating Temp	40 °C
Warranty	5 year warranty
Labels	cCSAus Wet location listed

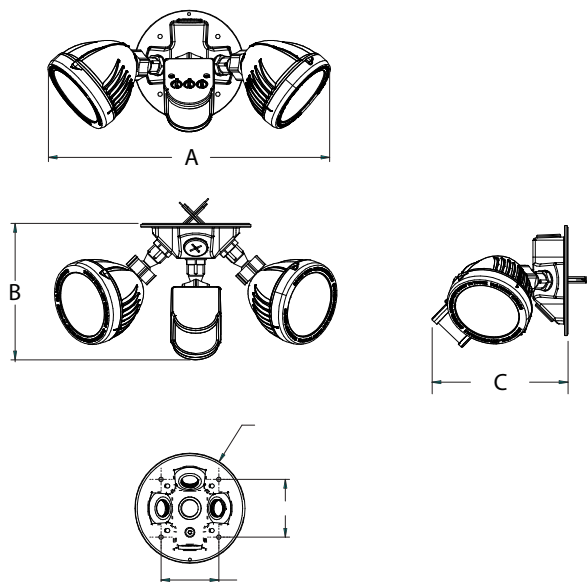
P6341 SERIES

Images:



Dimensions:

- A) Length: 6-1/2"
- B) Height: 6-1/2"
- C) Width: 6-3/4"



P6341 SERIES FLOOD LIGHT

Wall mounted • Wet location listed **PROGRESS LED**

Photometrics:

P6341 SERIES

Performance Data:

# of LEDs	Input Current	System Watts	CCT	CRI	Lumens	LPW ¹
2	0.22	26.6	3000K	80	2090	80.2

1 - Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

Electrical Data:

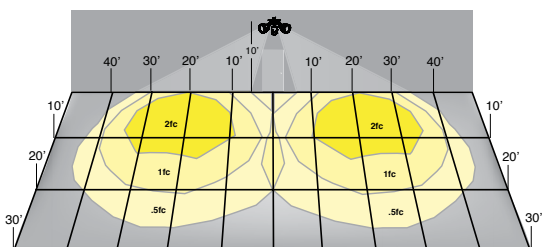
# of LEDs	Drive Current (mA)	Input Voltage (V)	System Power (w)	Current (Amps)
2	0.22	120	26.6	0.994

Luminaire Ambient Temperature Factor (LATF):

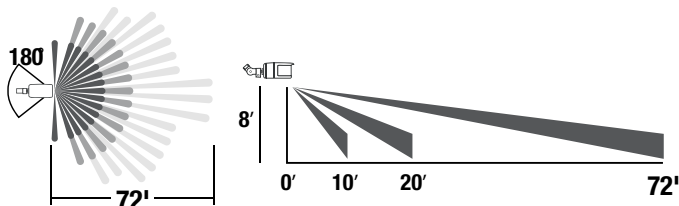
Ambient Temperature	Lumen Multiplier
0° C / 32° F	1.06
10° C / 50° F	1.03
20° C / 68° F	1.01
25° C / 77° F	1.00
30° C / 86° F	0.99
40° C / 104° F	0.97
50° C / 122° F	0.94

Use these factors to determine relative lumen output for average ambient temperatures from 0-40° C (32-104° F).

Performance



Sensor Performance



Sensor Adjustments



Includes adjustable settings and photo control

- Time
- Sensitivity
- Distance

P6342 SERIES FLOOD

Fixture mounted • Wet location listed **PROGRESS LED**

Description:

The LED swivel flood light has tempered glass and rugged die-cast construction. For complete fixture order with P6343 backplate. 1,115 lumens 3000K color temperature, 83 CRI. 1/2" NPS treaded mounting. Adjustable swivel for easy adjustment. IP65 rated.

Specifications:

- Antique Bronze (-20), Bright White (-28), Metallic Gray (-82) (powder coat paint)
- Die-cast aluminum construction
- Tempered glass lens
- Dimmable to 10% brightness (See Dimming Notes)
- 6" of wire supplied

Performance:

Number of Modules	1
Input Power	13w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW	1115/84.5 (LM-79)
CCT	3000 K
CRI	83
Life (hours)	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	cCSAus Wet location listed

P6342 SERIES

Images:



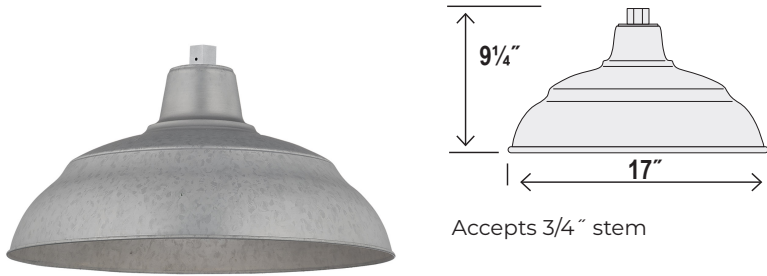
Dimensions:

Diameter: 3-3/4"
Length: 3-3/4"
Height: 5"
Depth: 3-1/4"

RWHS17 - R SERIES 17" WAREHOUSE SHADE

This item can be converted to a pendant or wall sconce with purchase of separate compatible downrod or goose neck. Please see compatible downrods and arms below:

- Compatible downrods: RS1, RS2, and RS3
- Compatible with arms: RGN10, RGN12, RGN13, RGN15, RGN22, RGN23, RGN24, RGN30, and RGN41
- Compatible with wire guard: RWG17



Dimensions

Width	17"
Height	9 1/4"
Wire	100"

Finish & Material

Finishes	ABR - Architectural Bronze
	BP - Black Porcelain
	GA - Galvanized
	GY - Gray
	NB - Navy Blue
	NC - Natural Copper
	SB - Satin Black
	SFP - Sea Foam Porcelain
	SG - Satin Green
	SR - Satin Red
WH - White	
WP - White Porcelain	

Material Metal

Wattage

Bulbs	1-Medium A21
Watts per Bulb	200W
Voltage	120V
Bulbs Included	No

Certification

UL Listed Wet Location

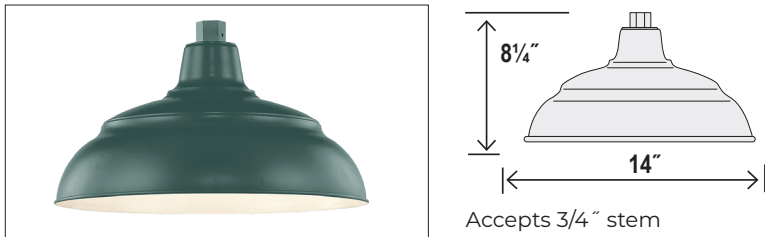
Item Number

SKU RWHS17

RWHS14 - R SERIES 14" WAREHOUSE SHADE

This item can be converted to a pendant or wall sconce with purchase of separate compatible downrod or goose neck. Please see compatible downrods and goose neck below:

- Compatible downrods: RS1, RS2, and RS3
- Compatible with arms: RGN10, RGN12, RGN13, RGN15, RGN22, RGN23, RGN24, RGN30, and RGN41
- Compatible with wire guard: RWG14



Dimensions

Width	14"
Height	8 1/4"
Wire	100"

Finish & Material

Finishes	ABR - Architectural Bronze
	BP - Black Porcelain
	GA - Galvanized
	GY - Gray
	NB - Navy Blue
	NC - Natural Copper
	SB - Satin Black
	SFP - Sea Foam Porcelain
	SG - Satin Green
	SR - Satin Red
WH - White	
WP - White Porcelain	

Material Metal

Wattage

Bulbs	1-Medium A21
Watts per Bulb	200W
Voltage	120V
Bulbs Included	No

Certification

UL Listed Wet Location

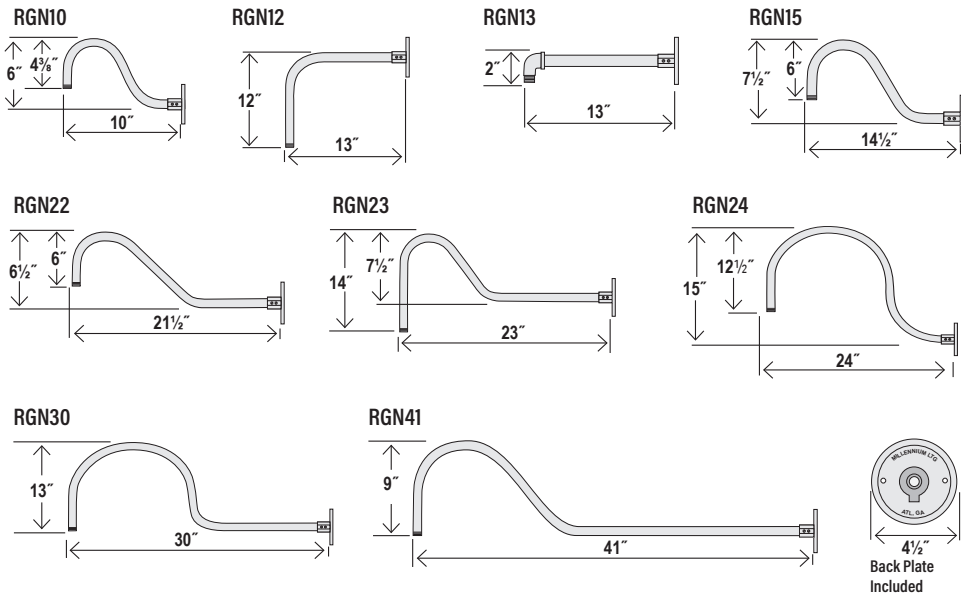
Item Number

SKU RWHS14

Note: All finishes on outdoor lighting must be properly maintained and treated. Therefore, we suggest cleaning with a regular application of finish preserving & renewing products such as Rejuvenate.

R SERIES OPTIONS

GOOSE NECKS - (WALL MOUNT)

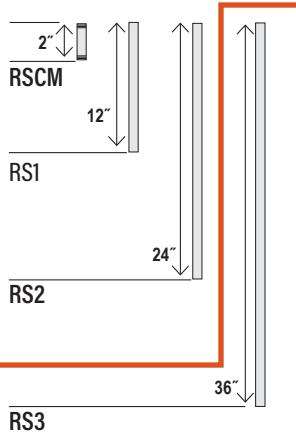


ID: 3/4"

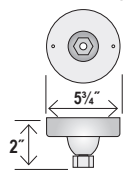
FINISHES

- ABR - Architectural Bronze
- AL - Aluminum
- ASB - Aluminum Painted Satin Black
- BP - Black Porcelain
- GA - Galvanized
- GY - Gray
- NB - Navy Blue
- NC - Natural Copper
- SB - Satin Black
- SFP - Sea Foam Porcelain
- SG - Satin Green
- SR - Satin Red
- WH - White
- WP - White Porcelain

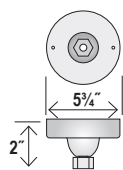
STEMS AND CANOPY KITS - (CEILING MOUNT)



RSCK (25° Angle)



RSCKSS (45° Angle)



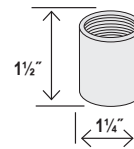
ID: 3/4"

FINISHES

- ABR - Architectural Bronze
- CP - Copper
- GA - Galvanized
- GY - Gray
- NB - Navy Blue
- SB - Satin Black
- SG - Satin Green
- SR - Satin Red
- WH - White

STEM CONNECTORS

RC

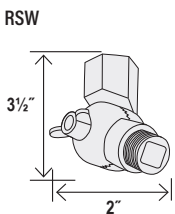


Accepts 3/4" stem

FINISHES

- ABR - Architectural Bronze
- AL - Aluminum
- CP - Copper
- GA - Galvanized
- GY - Gray
- NB - Navy Blue
- SB - Satin Black
- SG - Satin Green
- SR - Satin Red
- WH - White

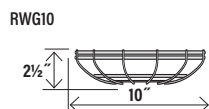
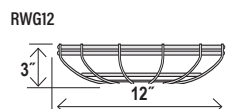
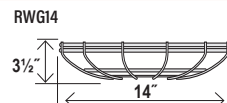
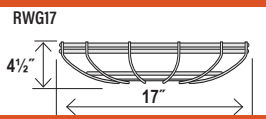
WALL MOUNT SWIVELS



FINISHES

- ABR - Architectural Bronze
- CP - Copper
- GA - Galvanized
- SB - Satin Black
- SG - Satin Green
- SR - Satin Red
- WH - White

WIRE GUARDS



FINISHES

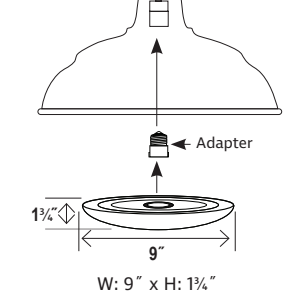
- ABR - Architectural Bronze
- GA - Galvanized
- GY - Gray
- NB - Navy Blue
- SB - Satin Black
- SG - Satin Green
- SR - Satin Red
- WH - White

LED MODULE

RLED24W

This accessory is only compatible for the Warehouse Shade (i.e. RWHS14 & RWHS17).

RLED24W



W: 9" x H: 1 3/4"

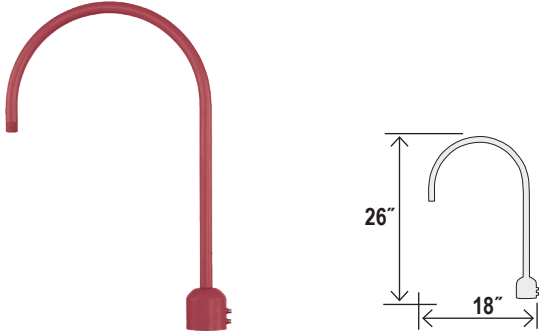
- 1920 Lumens
- 3000K
- CRI 90
- Dimmable

R SERIES OPTIONS

1 LIGHT POST ADAPTERS

- Will work with any RLM shade
- Designed to fit standard 3" posts and pier mount bases
- Unique stem hung design does not require pipe sealant compound on fittings.
- 3/4" inner diameter rigid conduit or water pipe may be substituted for stems or goose necks.

RPAS



Finish & Material

Finishes	ABR - Architectural Bronze AL - Aluminum CP - Copper GA - Galvanized GY - Gray NB - Navy Blue SB - Satin Black SG - Satin Green SR - Satin Red WH - White
Material	Cold Rolled Steel, Die Cast Zinc

Certification

UL Listed Wet Location

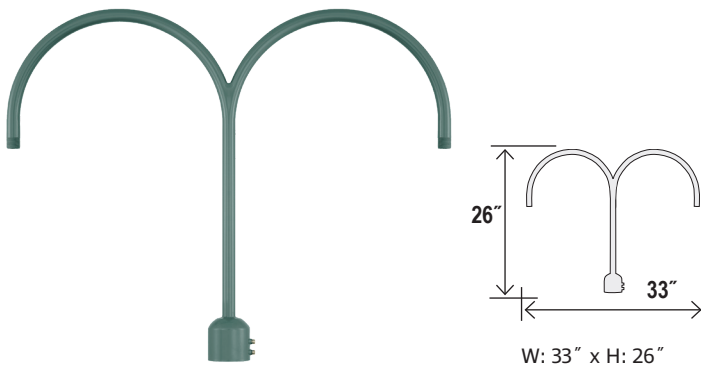
Item Number

SKU RPAS

2 LIGHT POST ADAPTERS

- Will work with any RLM shade
- Designed to fit standard 3" posts and pier mount bases
- Unique stem hung design does not require pipe sealant compound on fittings.
- 3/4" inner diameter rigid conduit or water pipe may be substituted for stems or goose necks.

RPAD



Finish & Material

Finishes	ABR - Architectural Bronze AL - Aluminum CP - Copper GA - Galvanized GY - Gray NB - Navy Blue SB - Satin Black SG - Satin Green SR - Satin Red WH - White
Material	Cold Rolled Steel, Die Cast Zinc

Certification

UL Listed Wet Location

Item Number

SKU RPAD

Model No :: **20036LEDMG-SAT/FST**
 Name :: Sandpiper

Type C



Project Name :: _____
 Location :: _____
 Type :: _____
 Quantity :: _____
 Notes :: _____

Product Information	
Product ID ::	20036
UPC Code ::	6.41594E+11
Mounting Type ::	Wall
Finish ::	Satin
Diffuser ::	Frosted
Alt. Finishes ::	Bronze (BRZ); Satin (SAT)
Alt. Diffusers ::	Frosted (FST)

Product Dimensions	
Fixture	Canopy
Length ::	Length :: 0.5
Width :: 6	Width :: 4.5
Diameter :: 6	Diameter ::
Extension :: 9	Height :: 4.5
Height :: 18	
Overall Height ::	



Technical Specifications

Qualifications	
Location Rating ::	Wet
Certification ::	ETL Listed (US/Canada)
IES File ::	
JA8 Compliant ::	Yes
Energy Star ::	No
ADA Compliant ::	No
Marine Grade ::	Yes
Emergency Lighting ::	No
Warranty ::	3 Year Limited

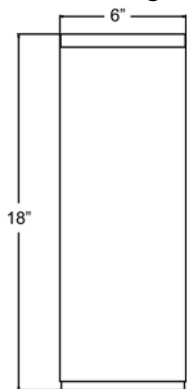
Specifications	
Frame Material ::	Aluminum
Diffuser Material ::	Glass
Voltage ::	120-277v
Lamping Type ::	LED SSL (DLED)
Lamping Base ::	SSL
Lamp Quantity ::	2
Lamp Wattage ::	15 W
Total Wattage ::	30 W
Lamps Included ::	Yes
J-Box Type ::	Standard

Photometrics	
CCT ::	3000 K
CRI ::	90
Wattage ::	30 W
Nominal Lumens ::	3400
Delivered Lumens ::	2314

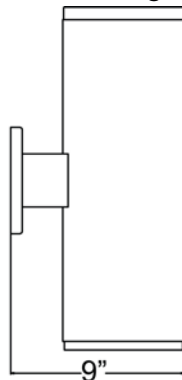
Recommended Dimmers	
	0

Additional Items :: 0

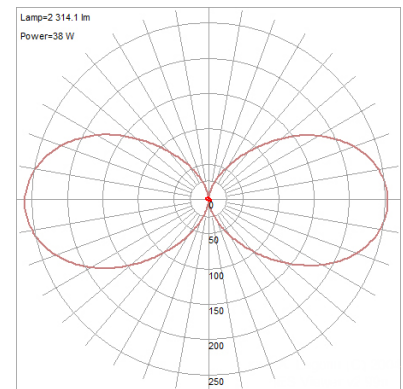
Line Drawing #1



Line Drawing #2



IES File



Toll Free 800-828-5483 • www.AccessLighting.com

14410 Myford Road, Irvine, CA 92606

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 Rev. 202105 Filename:: 20036LEDMG-SAT_FST.pdf





Image File Name: **F896-84-SI.jpg**

Item # F896-84-SI	UPC Code: 706411058530
Product Family Name: Xtreme H2O	Finish: Smoked Iron
Category: EXTERIOR FAN	Category Type: Ceiling Fan
Certification 4009339	
Patents: U.S. Patent(s): D832,990, D834,696; D877,883; D894,364; D918,376; Add'l U.S. Patent(s) Pending	
Notes:	



MEASUREMENTS

Blade Finish:					Reversible Blades: No
Blade Material: ABS					Slope: Yes
Blade Sweep: 84"	No. of Blades: 8	Blade Pitch: 9			Hanging Weight: 24.25
Downrod 1: 6	Downrod 1 Outside Dia: .75	Downrod 2:			Downrod 2 Outside Dia:
Ceiling to Lowest Point: (Dim A) 13.5	Ceiling to Blade (Dim B) 13.75	Lead Wire: 80			Motor Size: DC/123X30MM
RPM:	Low 31	Low/Med.	Medium	Med/High	High 75
Amps:	0.085				0.574
Watts:	5.71				55.38
CFM:	5150.0				10989.0
CFM/Watts:	901.93				198.43

LAMPING

No. of Bulbs: 0	Light Type:	Light Kit Optional: Yes		
Max Bulb Wattage:	Socket:			
Integrated Light Kit: No	Dimmable: No	Ballast:	Rated Life Hours:	Uplight: No
Bulb/LED Included:	Color Temp.:	CRI:	Initial Lumens:	Delivered Lumens:

GLASS

Description:	Material:
Part No.:	Quantity:
Width:	Height:
	Length:



CONTROLS

Pull Chain Control: No	Works with Remote Control: Yes	Works with Wall Control: Yes
Reversible: Yes	Included Remote Control: RC400	Included Wall Control:
Smart Control: No	Compatible Remote Control(s):	Compatible Wall Control(s): WC400
Integrated Smart Control:		Compatible Smart Control: BD-1000



SHIPPING

Carton Width: 10.25	Carton Height: 11.25	Carton Length: 39.63
Carton Weight: 28.49	Carton Cubic Feet: 2.645	Small Package Shippable: Yes
Master Pack Width:	Master Pack Height:	Master Pack Length:
Master Pack Weight:	Master Cubic Feet:	Multi-Pack: 1
		Master Pack: 1



Wet Location



ETL Intertek



WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.

For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

ARCHITECTURAL
ASPHALT SHINGLES
WEATHERED WOOD
TIMBERLINE HDZ



EXPOSED TIMBER
DUNE GRAY SEMI-SOLID
CABOT STAINS



OYSTER SHELL STUCCO
TO MATCH EXISTING
SCHOOL BUILDING.



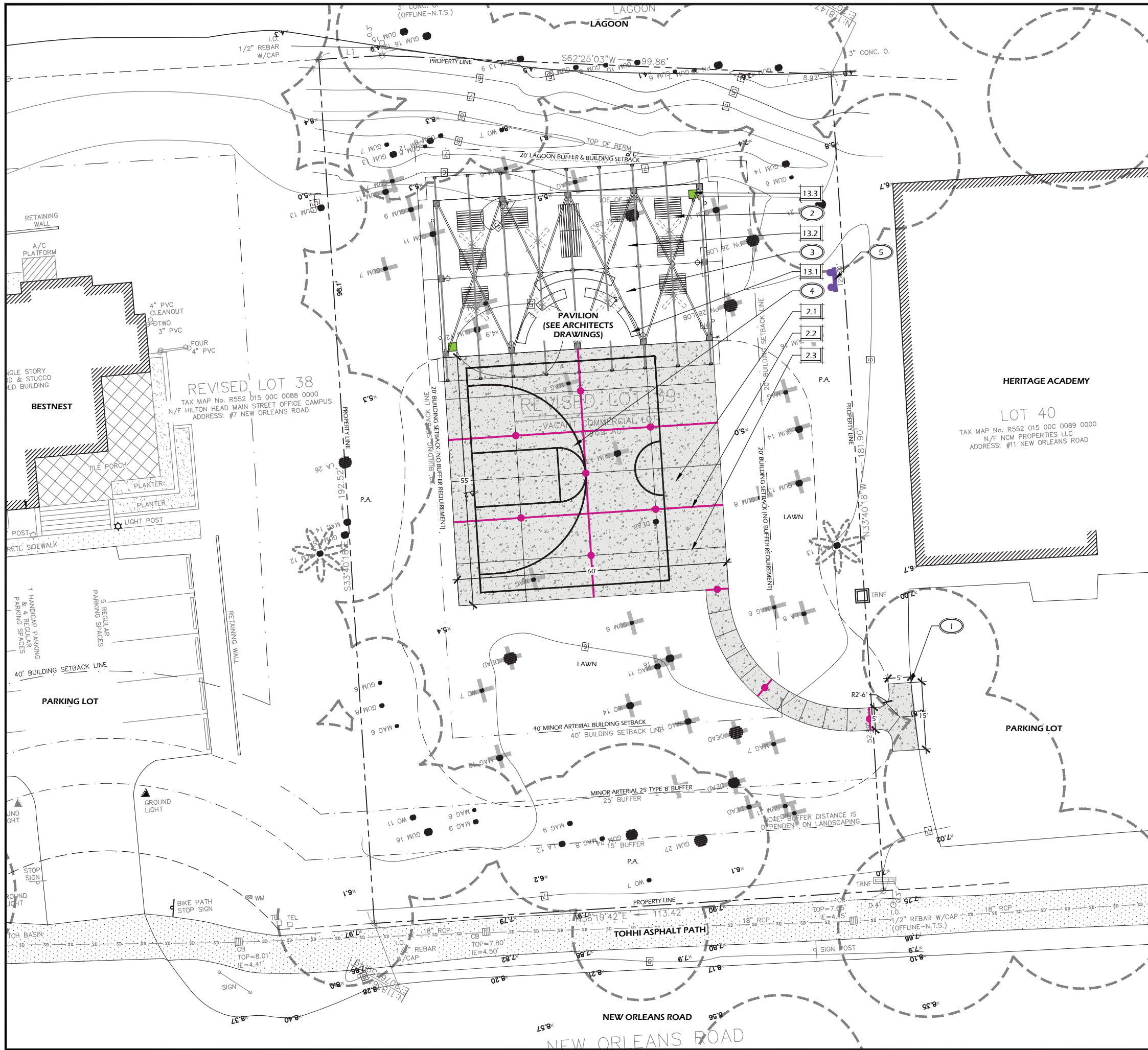
Exterior Materials & Colors

Heritage Pavilion

9 New Orleans Rd., Hilton Head Island, SC

11/30/2021

pdg parkerdesigngrouparchitects
ARCHITECTS
843.785.5171 POST OFFICE BOX 3070 HILTON HEAD ISLAND SC 29928



PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1	[Pattern]	PEDESTRIAN CONCRETE PAVING	1/L600
2.2	[Symbol]	EXPANSION JOINTS	2/L600
2.3	[Symbol]	CONTROL JOINTS	2/L600

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

SITE FURNISHINGS SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
13.1	[Symbol]	6	BENCH	4/L600
13.2	[Symbol]	10	TABLE & BENCHES	4/L600
13.3	[Symbol]	2	TRASH CAN	4/L600

NOTE: SITE FURNISHING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

KEY SHEET REFERENCE NOTES:

- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
- ① TIE PROPOSED CONCRETE INTO EXISTING ASPHALT EVENLY AND SMOOTHLY.
- ② FINAL LOCATION OF SITE FURNISHINGS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
- ③ PROPOSED PAVILION BY ARCHITECT, SEE SEPARATE PLAN SET.
- ④ SPORT COURT STRIPING. COLOR TO BE BLUE TO MATCH HERITAGE ACADEMY COLOR SCHEME, LOYAL BLUE SW6510 OR SIMILAR IN NON-SLIP OUTDOOR ACRYLIC PAINT.
- ⑤ FREESTANDING ELECTRIC METER ON WOOD BACKBOARD.

DEVELOPMENT SUMMARY

PARCEL #: R552 015 00C 0265 0000
 ADDRESS: 9 NEW ORLEANS ROAD
 PROJECT NAME: HERITAGE ACADEMY PAVILION
 ZONING DISTRICT: LIGHT COMMERCIAL (LC)
 OVERLAY DISTRICT: CORRIDOR (COR)
 FLOOD ZONE:
 LOT ACREAGE: 0.489 ACRES
 PROPOSED USE: OPEN AIR PAVILION
 MAXIMUM IMPERVIOUS COVERAGE: 60% (0.2445 ACRES)
 PROPOSED IMPERVIOUS COVERAGE: 31% (0.153 ACRES)
 MAXIMUM BUILDING HEIGHT ALLOWED: 45'
 PROPOSED MAXIMUM BUILDING HEIGHT: 45'
 MINIMUM NUMBER OF PARKING SPACES REQUIRED: ZERO - PER SEC. 16-5-107.D.2
 PROPOSED PARKING SPACES: 0 - ONLY USER IS ADJACENT HERITAGE ACADEMY

DEVELOPMENT REVIEW AND ZONING NOTES

1. PER LMO 16-2-103.P, THIS PROJECT SHALL OBTAIN APPROVAL OF A CERTIFICATE OF COMPLIANCE (C OF C) PRIOR TO THE ACTUAL OCCUPANCY OR USE OF THE SITE OR STRUCTURE.
2. BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED.

URBAN DESIGN NOTES

1. ANY SITE IMPROVEMENTS SUCH AS ENTRY FEATURES INCLUDING FENCE/WALLS/GATES, LANDSCAPING, SITE LIGHTING, ETC. REQUIRES APPROVAL UNDER A CORRIDOR REVIEW SUBMITTAL (IN-PROGRESS AS OF PUBLISHING THIS SET).



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 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS FOR
OUTDOOR PAVILION
 HERITAGE ACADEMY
 HILTON HEAD ISLAND, SOUTH CAROLINA

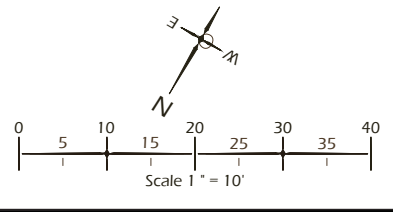
DATE: NOV 23, 2021
 PROJECT NO.: XXXXXX
 DRAWN BY: JC
 CHECKED BY: DK

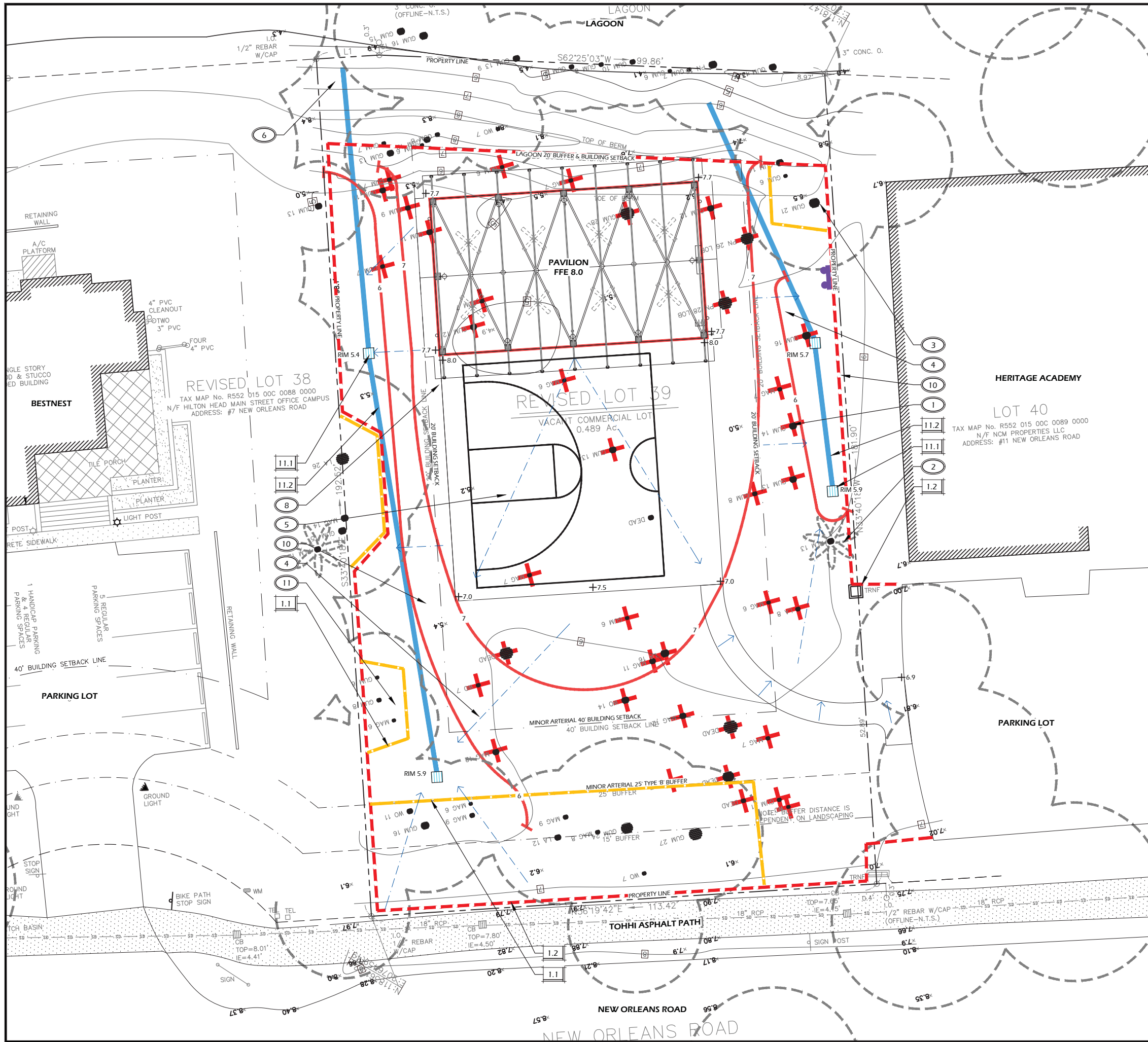
FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
KEY SHEET

DRAWING NUMBER
L100





DRAINAGE LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
11.1		18" ATRIUM AREA DRAIN	3/L600
11.2		10" SOLID HDPE PIPE	

NOTE: DRAINAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

GRADING LEGEND	
SYMB.	DESCRIPTION
+	SPOT GRADE
	DRAINAGE ARROW
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING GRADE

GRADING ABBREVIATIONS			
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
BC	BOTTOM OF CURB	HP	HIGH POINT
BS	BOTTOM OF STEP	RIM	TOP OF DRAIN
BW	BOTTOM OF WALL	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FG	FINISHED GRADE	TW	TOP OF WALL
LP	LOW POINT		

GRADING REFERENCE NOTES:

- 1 TREE TO BE REMOVED, TYP.
- 2 TREE TO REMAIN, TYP.
- 3 MINIMIZE DISTURBANCE AROUND TREES TO REMAIN.
- 4 PITCH TO DRAIN INLET AT 2% MIN. (LAWN AREAS)
- 5 PITCH TO DRAIN INLET AT 1% MIN., 2% MAX. (HARDSCAPE AREAS)
- 6 CONNECT DRAIN PIPE TO DRAINAGE STRUCTURE, REFER TO CIVIL ENGINEERS PLANS.
- 7 FIELD LOCATE DRAIN LINE TO AVOID EXISTING TREE ROOTS.
- 8 CONTRACTOR SHALL TIE GUTTER DOWNSPOUTS INTO SUBSURFACE DRAINAGE SYSTEM WHENEVER POSSIBLE.
- 9 TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY.
- 10 PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTY LINES.
- 11 DIRECT STORMWATER TOWARDS STREET OR EXISTING DRAINAGE DITCH. DRAINAGE SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. CONTRACTOR SHALL PROVIDE SUPPLEMENTAL AREA DRAINS, FRENCH DRAINS, AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE, REFER TO DETAILS.

SITE PREP. / PLANT PROTECTION LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
1.1		TREE PROTECTION FENCE	1/L601
1.2		SILT FENCE	2/L601

NOTE: SEDIMENT AND EROSION CONTROL SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

Winters Jones Keefe
landscape architecture
land planning

www.wjkllc.com
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 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
OUTDOOR PAVILION
 HERITAGE ACADEMY
 HILTON HEAD ISLAND, SOUTH CAROLINA

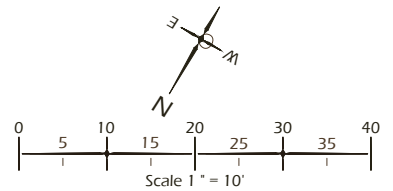
DATE:	NOV 23, 2021
PROJECT NO.:	XXXXXX
DRAWN BY:	JC
CHECKED BY:	DK

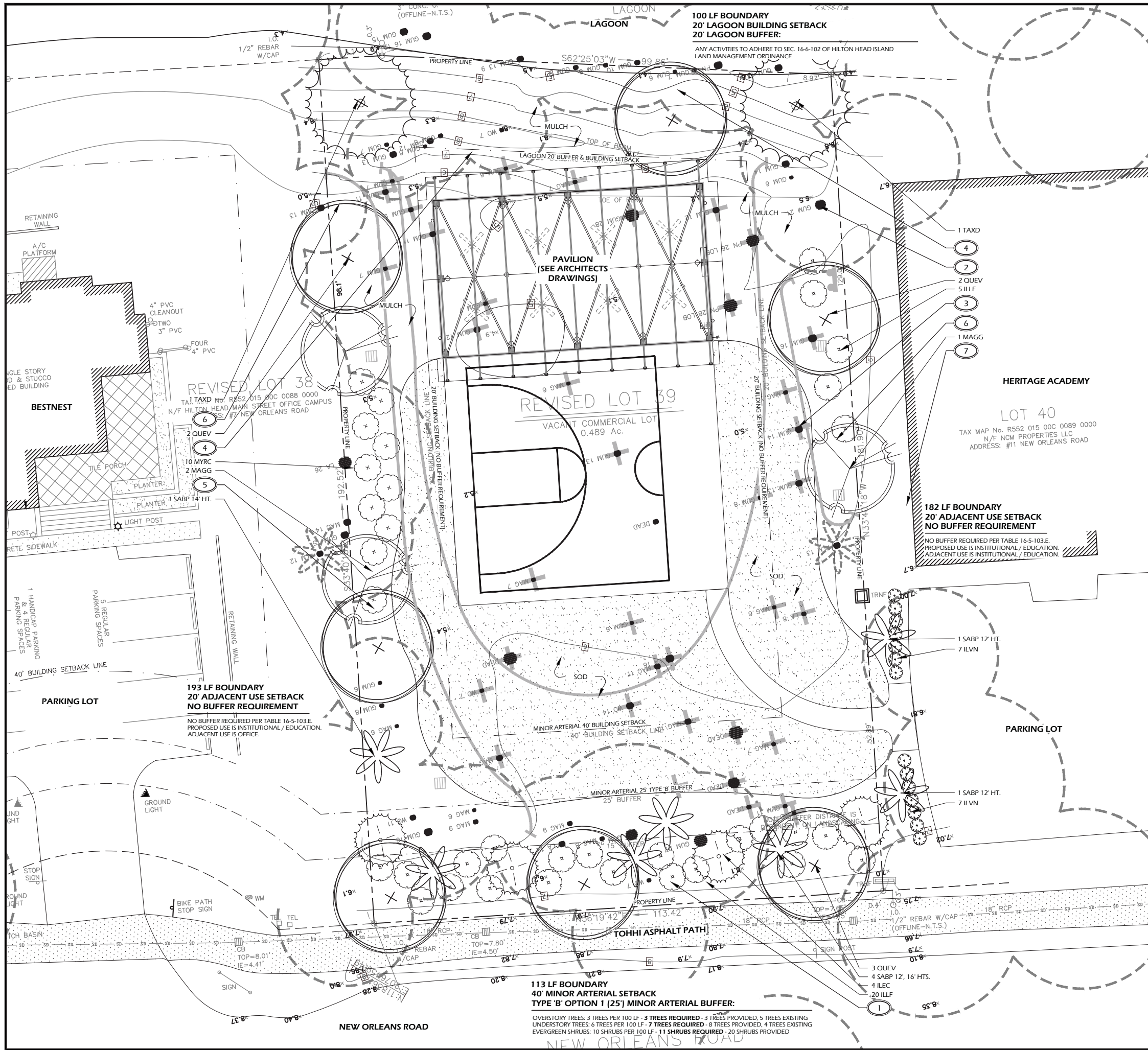
**FINAL SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION**

REVISIONS:	

DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
L300





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L501
14.2	PALM TREE PLANTING	2/L501
14.3	SHRUB PLANTING	3/L501
14.4	GROUND COVER PLANTING	4/L501

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
MAGG	Magnolia grandiflora	Southern Magnolia
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
TAXD	Taxodium distichum	Bald Cypress
UNDERSTORY TREES		
ILEC	Ilex cassine	Dahoon Holly
MYRC	Myrica cerifera	Wax Myrtle
SHRUBS		
ILLF	Ilicium floridanum	Florida Anise
ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly
SOD & MULCH		
SOD5P		Empire Zoysia Sod
MULCH5F	Pine Straw - all disturbed areas	Pine Straw

- PLANTING REFERENCE NOTES:**
- EXISTING VEGETATION TO REMAIN.
 - EXISTING TREES TO REMAIN.
 - EXISTING TREES TO BE REMOVED.
 - SELECTIVELY THIN AND UNDERBRUSH, REMOVE DEAD LIMBS AND PINE STRAW DISTURBED AREAS ± 15'.
 - MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.
 - COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER.

TREE REPLACEMENT CALCULATIONS

DISTURBANCE AREA: 0.489 ACRES
 MAXIMUM IMPERVIOUS IN LIGHT COMMERCIAL: 60% (0.2934 ACRES)
 MINIMUM PERVIOUS IN LIGHT COMMERCIAL: 40% (0.1956 ACRES)

STANDARD ACI PERVIOUS x 900 ACI PER ACRE
 0.1956 x 900 = 176 ACI

POST DEV. ACI (PER TOWN FORMULA) = 219 ACI

NO TREES REQUIRED (BEYOND BUFFER PLANTINGS) FOR TOWN REPLACEMENT REQUIREMENTS SINCE POST DEVELOPMENT ACI (219 ACI) EXCEEDS STANDARD MINIMUM ACI (176 ACI) FOR SITE.



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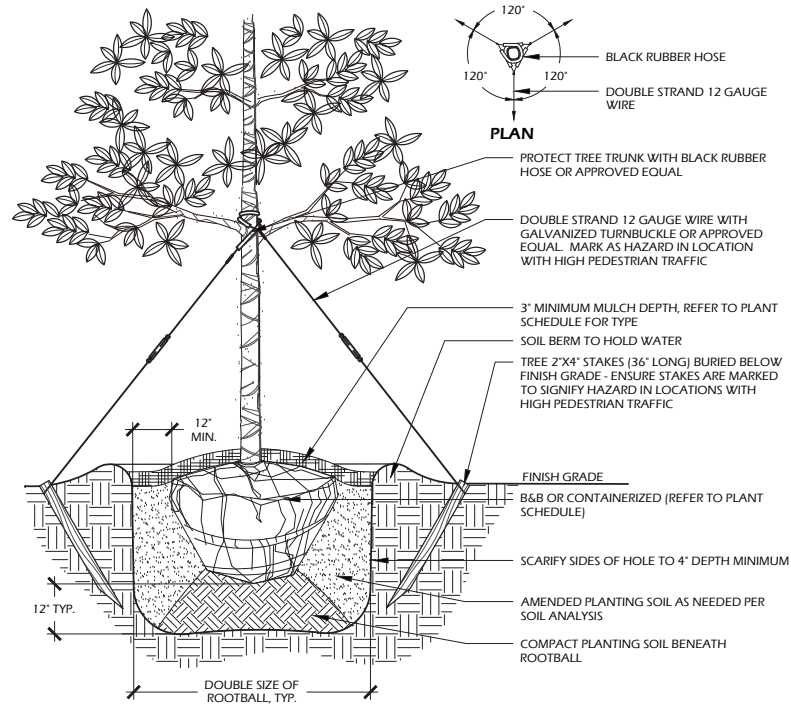
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 PROJECT NO.: XXXXXX
 DRAWN BY: JC
 CHECKED BY: DK

FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

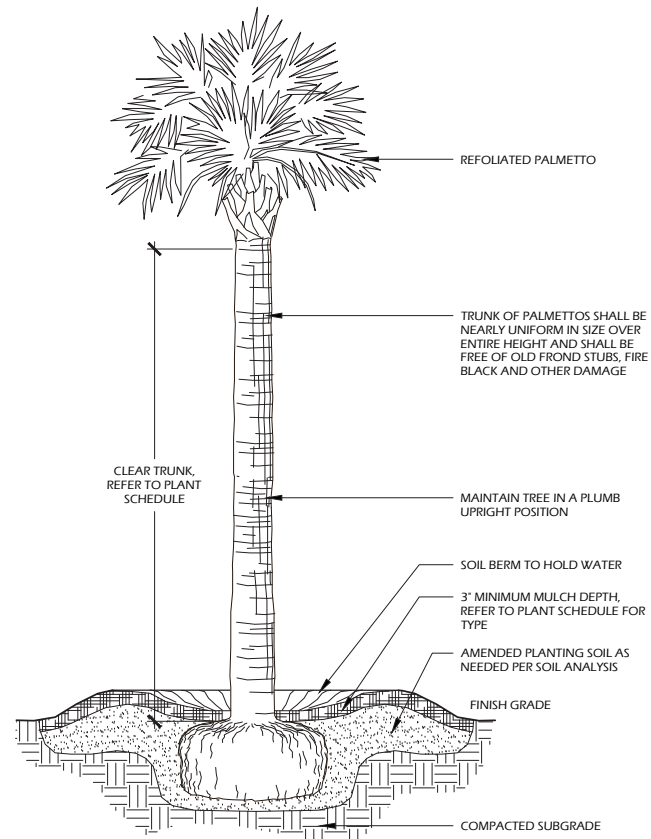
DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L500



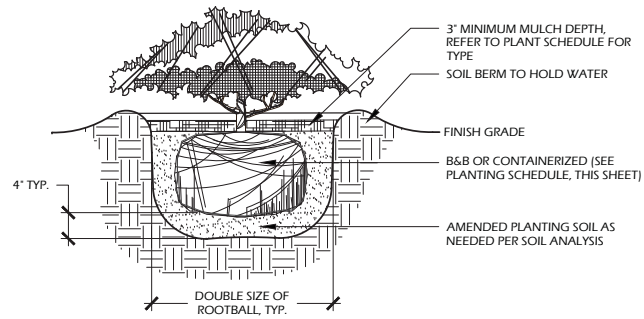
- NOTES:**
1. TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



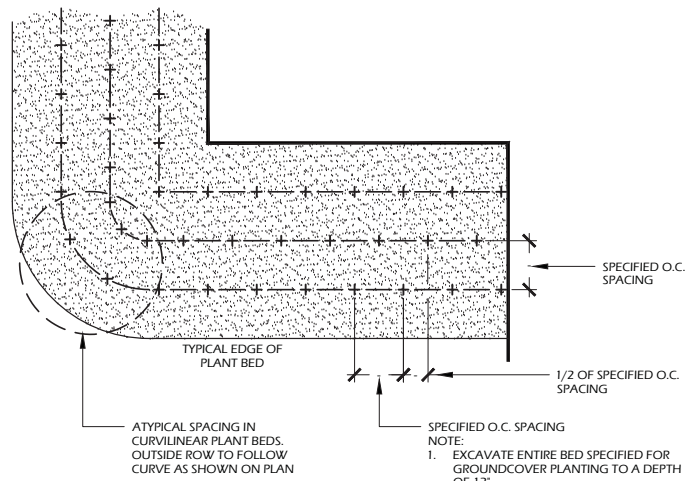
- NOTES:**
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE ±2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

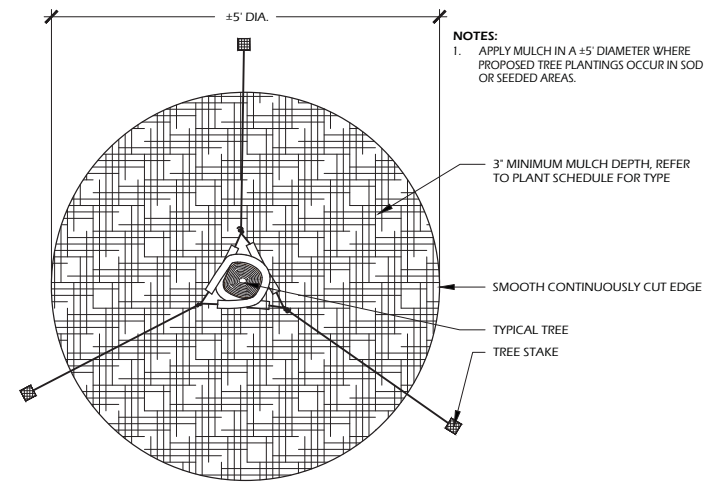
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
3	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	2' min.	Full to ground
7	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4'	Full
7	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
2	TAXD	Taxodium distichum	Bald Cypress	14'-16'	6'-8'	Cont.	4'	Full
UNDERSTORY TREES								
4	ILEC	Ilex cassine	Dahoon Holly	6'-7'	3'-4'	15 gal.	-	Full
10	MYRC	Myrica cerifera	Wax Myrtle	4'-5'	2'-3'	15 gal.	-	Full
SHRUBS								
25	ILLF	Illicium floridanum	Florida Anise	30"-36"	24"-30"	7 gal.	-	Full
14	ILVN	Illex vomitoria 'Nana'	Dwarf Yaupon Holly	18"-24"	18"-24"	7 gal.	-	Full
SOD & MULCH								
6400	SOD5F	-	Empire Zoysia Sod	-	-	-	-	-
9000	MULCH5F	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

TREE REPLACEMENT CALCULATIONS

DISTURBANCE AREA: 0.489 ACRES
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5 // L501 TREE STAKING
SCALE: N.T.S.



- NOTES:**
1. APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDING AREAS.

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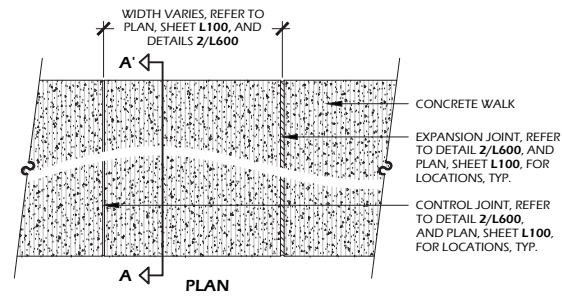
DATE: NOV 23, 2021
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 DRAWN BY: JC
 CHECKED BY: DK

FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

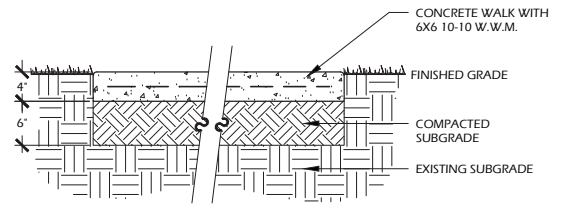
DRAWING TITLE
PLANT SCHEDULE AND DETAILS

DRAWING NUMBER
L501



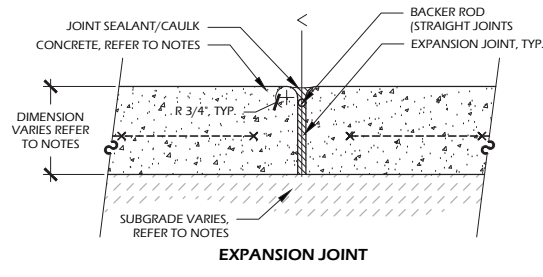
CONCRETE INFORMATION:
 CONCRETE: 3,000 P.S.I. AT 28 DAYS
 FINISH: LIGHT BROOM FINISH

SOIL INFORMATION:
 SOIL COMPACTION: 95% STANDARD PROCTOR

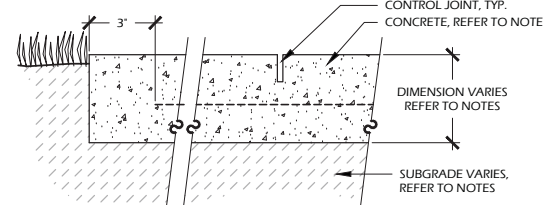


NOTES:
 1. PROVIDE 1% MIN, 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. REFER TO PLAN (SHEET L100) FOR WIDTHS OF WALK.
 3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.

1 // L600 PEDESTRIAN CONCRETE PAVING
 SCALE: 1" = 1'-0"



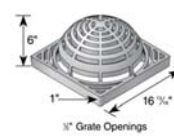
EXPANSION JOINT INFORMATION:
 STRAIGHT JOINT: 3/8" PREFORMED FIBER EXPANSION JOINT.
 CURVED JOINTS: POLYETHYLENE CLOSED CELL FLEXIBLE EXPANSION JOINT.



CONTROL JOINT INFORMATION:
 CONTROL JOINT: SAW CUT 1/4" CONTROL JOINT TO 1/4" THE THICKNESS OF THE SLAB.

NOTES:
 1. LOCATE EXPANSION JOINTS AT 24' O.C. MIN. OR 30' O.C. MAX. AND PROVIDE EXPANSION JOINTS AT LOCATIONS ADJACENT TO ALL EXISTING CONCRETE. REFER TO KEY SHEET L100 FOR MATERIALS.
 2. FOR DEPTHS AND SUBGRADE OF CONCRETE REFER TO DETAIL(S) 1/L600

2 // L600 CONSTRUCTION JOINTS
 SCALE: 3" = 1'-0"

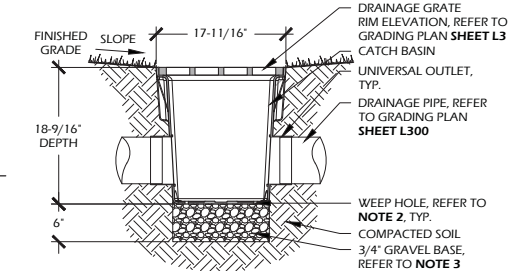


Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
1881	18" x 18" Atrium Grate	Black	2	6.51	10ND	18" Structural Foam Polyolefin Dome Atrium Grate with UV inhibitor. Open surface area 89.40 square inches, 273.49 GPM.
1891	18" x 18" Atrium Grate	Green	2	6.51	10ND	Use with 18" x 18" Catch Basin Series.

MANUFACTURER INFO:
 NATIONAL DIVERSIFIED SALES, INC.
 851 N. HARVARD AVE.
 LINDSAY, CA 93247
 PHONE: (800) 726.1994
 WEB: WWW.NDSPRO.COM



NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ADDITIONAL COVER MAY BE REQUIRED BASED ON SITE CONDITIONS. 12" COVER REQUIRED TO OBTAIN AN H-10 LOAD RATING.
 3. DO NOT SCALE DRAWING.
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 6. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-027



MANUFACTURER INFO:
 NATIONAL DIVERSIFIED SALES, INC.
 851 N. HARVARD AVE.
 LINDSAY, CA 93247
 PHONE: (800) 726.1994
 WEB: WWW.NDSPRO.COM

DRAINAGE GRATE: #1811, 18"X18" SQUARE GRATE
GRATE INFO: STRUCTURAL FOAM POLYOLEFIN GRATE WITH U.V. INHIBITOR

CATCH BASIN: #1882, 18"X18" CATCH BASIN, 2 OPENINGS
BASEIN INFO: ONE PIECE TAPERED CATCH BASIN STRUCTURAL FOAM POLYOLEFIN

UNIVERSAL OUTLET: #1266, 6" UNIVERSAL LOCKING OUTLET AND #1206, 6" UNIVERSAL ADAPTER PLUG
OUTLET COLOR: BLACK
OUTLET INFO: STYRENE. USE ADAPTER PLUG AS REQUIRED (WHERE ONLY ONE DRAIN LINE RUNS INTO CATCH BASIN)

RISER: #1816, 18"X18" CATCH BASIN RISER, BLACK, STYRENE, USE AS REQUIRED

NOTES:
 1. THIS DETAIL IS USED FOR DESIGN INTENT ONLY. REFER TO TO MANUFACTURER'S DETAIL AND SPECIFICATIONS FOR ACTUAL INSTALLATION.
 2. DRILL 1/8" WEEP HOLE TYPICAL OF 4 PLACES AT BOTTOM CORNERS.
 3. GRAVEL BASE SHALL BE USED TO PREVENT STANDING WATER.
 4. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW(S) PROVIDED AT TIME OF INSTALLATION.
 5. RISER (IF NEEDED) CAN BE CUT TO ACHIEVE EXACT ELEVATION, DO NOT USE OVER FIVE (5) RISERS WITH CATCH BASIN.
 6. N.D.S. ADAPTERS THAT FIT THIS CATCH BASIN ARE AS FOLLOWS: #1242, #1243, #1245, #1266, #1888 AND #1889, USE #1206 IF PLUGGING AN OUTLET. INCLUDES (2) #1890 REDUCER RINGS USED WITH SMALLER CONNECTIONS.
 7. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
 8. DO NOT SCALE DRAWING.
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 11. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-193 AND / OR 558-198.



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3 // L600 18" ATRIUM AREA DRAIN
 SCALE: 1" = 1'-0"



TABLES AND BENCHES



MODEL: INFINITY 2 CURVED 1230 BENCH, THERMORY #INF24C1230T
COLOR: GALVANIZED STEEL FRAME, TREATED ASH WOOD SLATS
OTHER INFO: 77" LENGTH ON 12" RADIUS, 30 DEGREE CURVE, 24" WIDTH.

OR APPROVED EQUAL

MODEL: INFINITY 2 CURVED 1660 BENCH, THERMORY #INF24C1660T
COLOR: GALVANIZED STEEL FRAME, TREATED ASH WOOD SLATS
OTHER INFO: 203" LENGTH ON 16" RADIUS, 60 DEGREE CURVE, 24" WIDTH.

OR APPROVED EQUAL

RECEPTACLE



MODEL: MADISON 35 GAL. THERMORY TRASH RECEPTACLE, #T350T
COLOR: POWDER COAT PEWTER
COLOR WITH TREATED ASH SLATS
OTHER INFO: OTHER DESCRIPTORS

OR APPROVED EQUAL

MANUFACTURER INFORMATION:

ANOVA
 211 NORTH LINDBERGH BOULEVARD
 SUITE 200
 SAINT LOUIS, MO 63141

PHONE: (800) 231.1327
WEB: WWW.ANOVAFURNISHINGS.COM



MODEL: MIXX 5' THERMORY FLAT BENCH, #MIX2960T
COLOR: POWDER COAT PEWTER COLOR FRAME WITH TREATED ASH SLATS
OTHER INFO: 18"H X 15"W X 60"L

OR APPROVED EQUAL



MODEL: MIXX 34"X72" THERMORY TABLE, #MIX2945T
COLOR: POWDER COAT PEWTER COLOR FRAME WITH TREATED ASH SLATS
OTHER INFO: 31"H X 34"W X 72"L

OR APPROVED EQUAL

4 // L600 SITE FURNISHINGS
 NOT TO SCALE

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 landscape architecture
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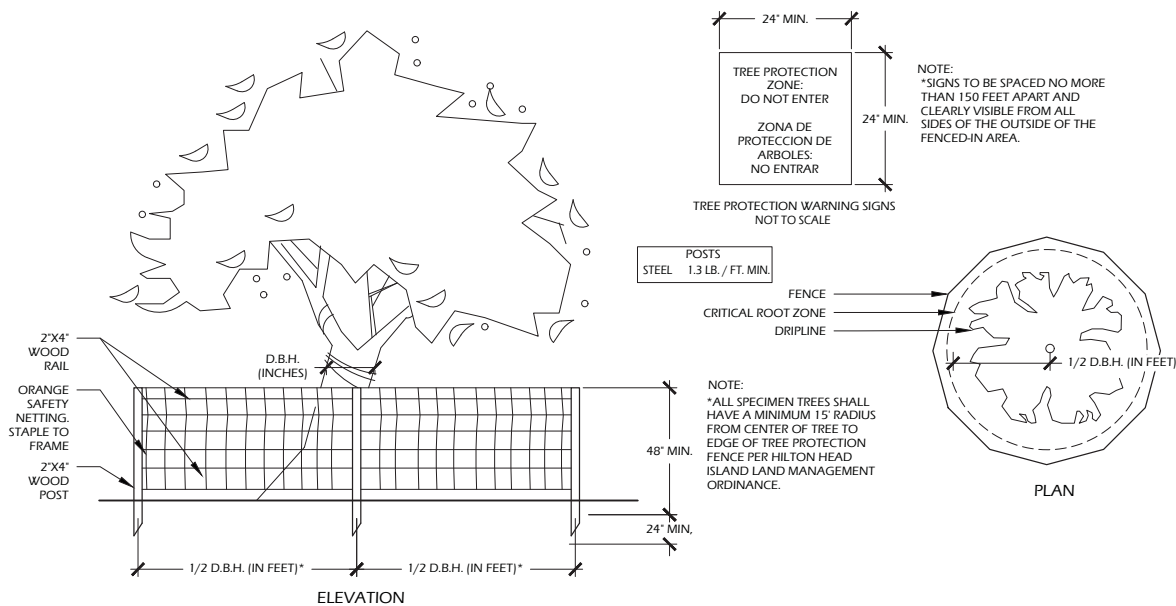
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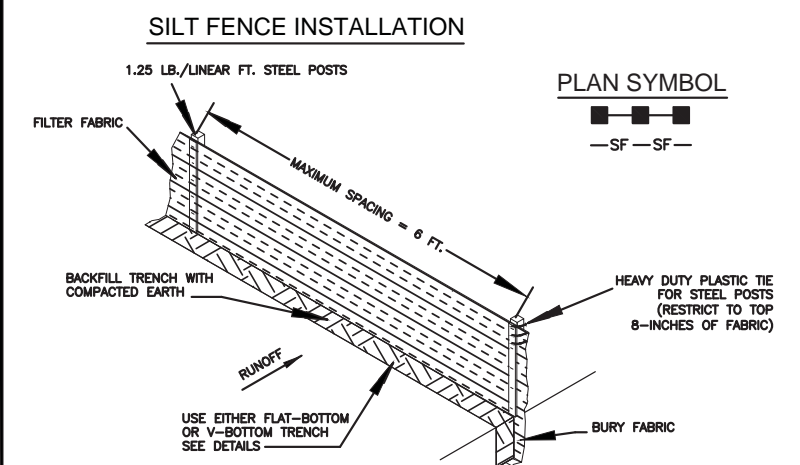
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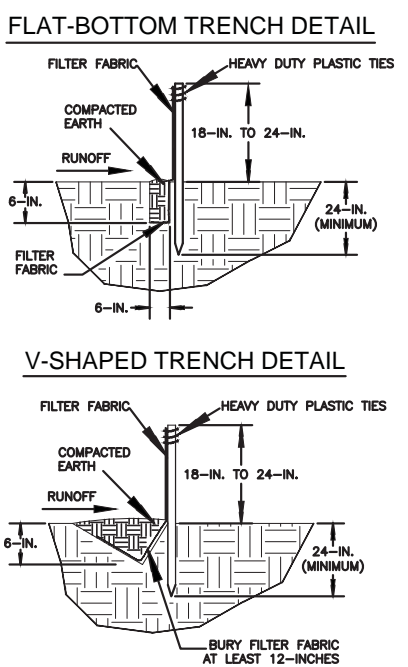
L600



1 // L601 TREE PROTECTION FENCING
SCALE: 3/4" = 1'-0"



- SILT FENCE – GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50–100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.



South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 Page 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE

2 // L601 SILT FENCE
SCALE: NTS

- SILT FENCE – POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%)
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.
- SILT FENCE – FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter Fabric shall be installed at a minimum of 24-inches above the ground.

- SILT FENCE – INSPECTION & MAINTENANCE**
- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
 - Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
 - Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2

GENERAL NOTES FEBRUARY 2014 DATE



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HERITAGE ACADEMY
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: NOV 23, 2021
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DRAWN BY: JC
CHECKED BY: DK

FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

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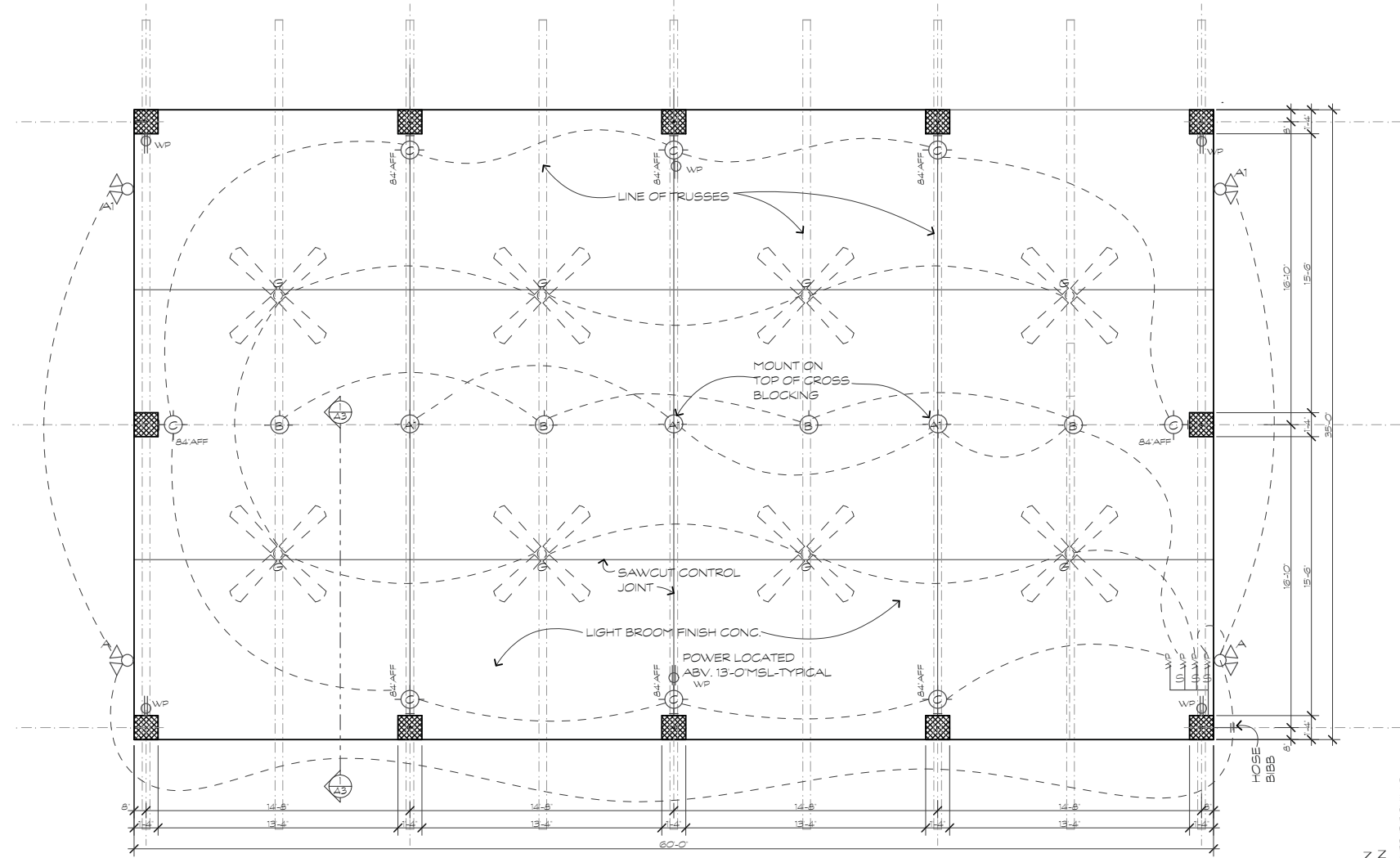
DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

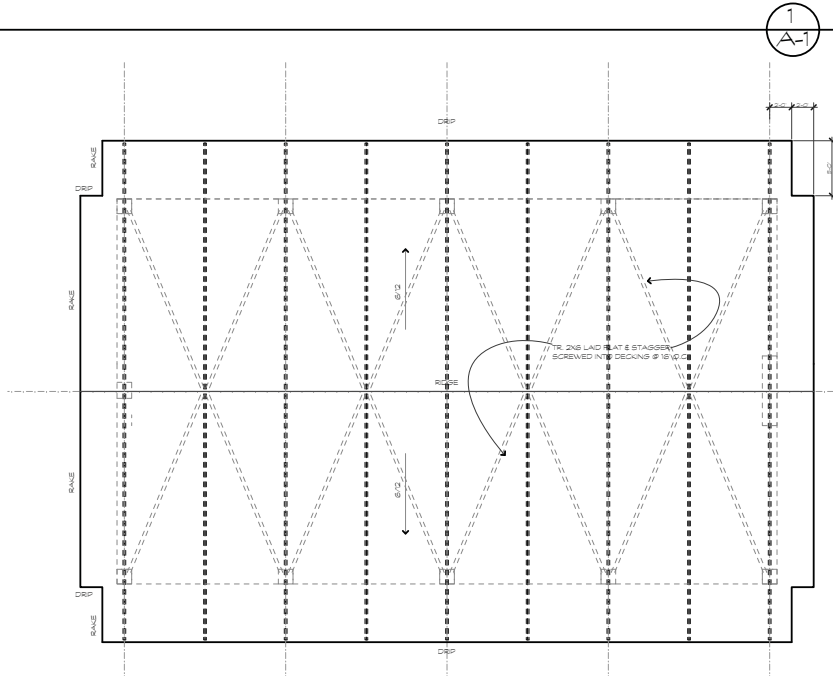
L601

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS
A	PROGRESS	P6341-20-30K	SURFACE	3W 8000K	BRONZE	MOTION FLOOD
A1	PROGRESS	P18341-20-30K P118341-20	SURFACE	3W 8000K	BRONZE	FLOOD
B	MILLENNIUM	1004790785FWF 26024V	CEILING	24W 3000K	GALVANIZED	ROD HUNG
C	ACCESS	3000VLEDFWP 84T/85T	SURFACE	30W 3000K	BATIN	
D	NOT USED					
E	NOT USED					
G	MINKAARE	F826-84-SI	SLOPED CEILING	NA	SMOKED RON	TYP. OUTSIDE 84" FAN



PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/8"=1'-0"

SEE SITE PLAN FOR LOCATION
 (2) TR. 4X4 W/ TR DECKING TO MOUNT PANEL & METER
 BASE COORDINATE W/ ELECTRICAL CONTRACTOR

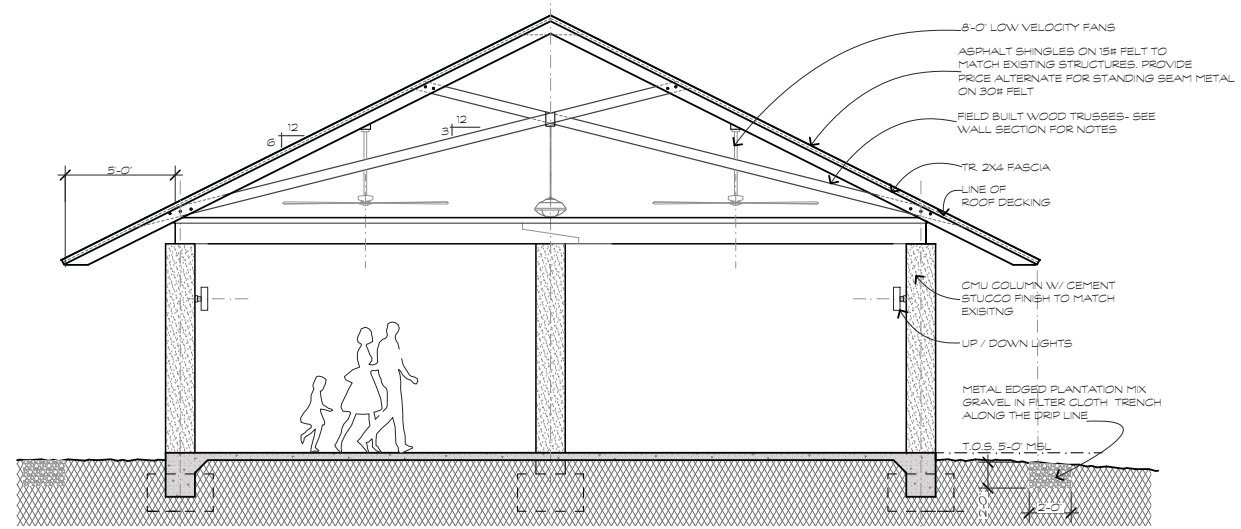


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A Pavilion for:
Heritage Academy
 #11 New Orleans Rd.
 Hilton Head Island, S. C.

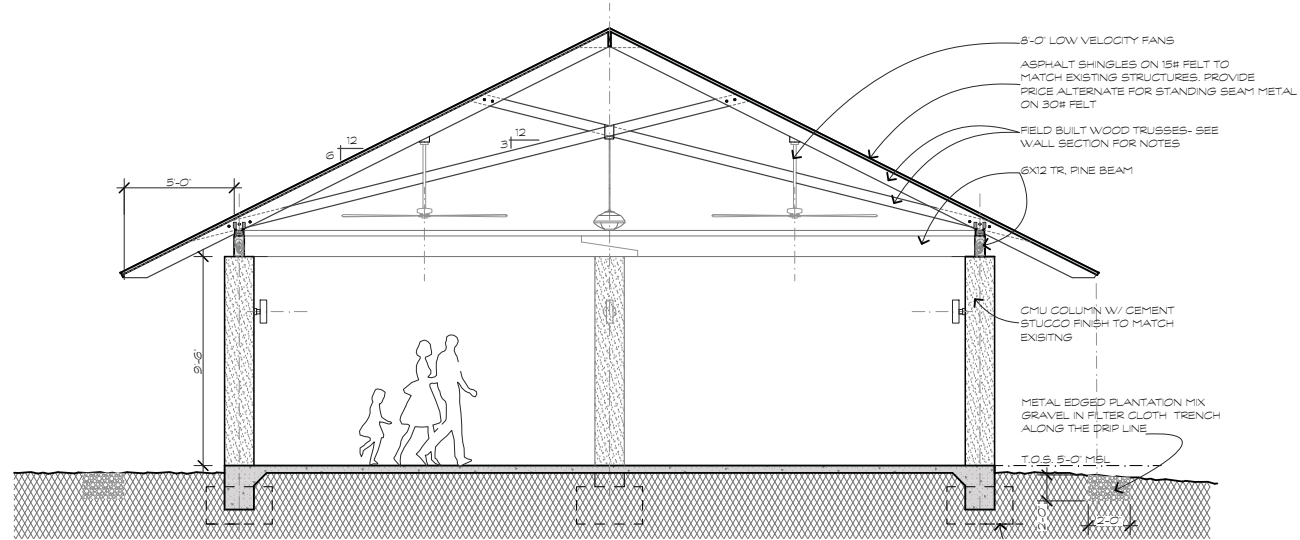
REVISIONS	DATE

DRAWN BY TP
 CHECKED BY TP
 DATE OF ISSUE: 11/29/2021
 SCALE
 JOB NO. 2129
 SHEET



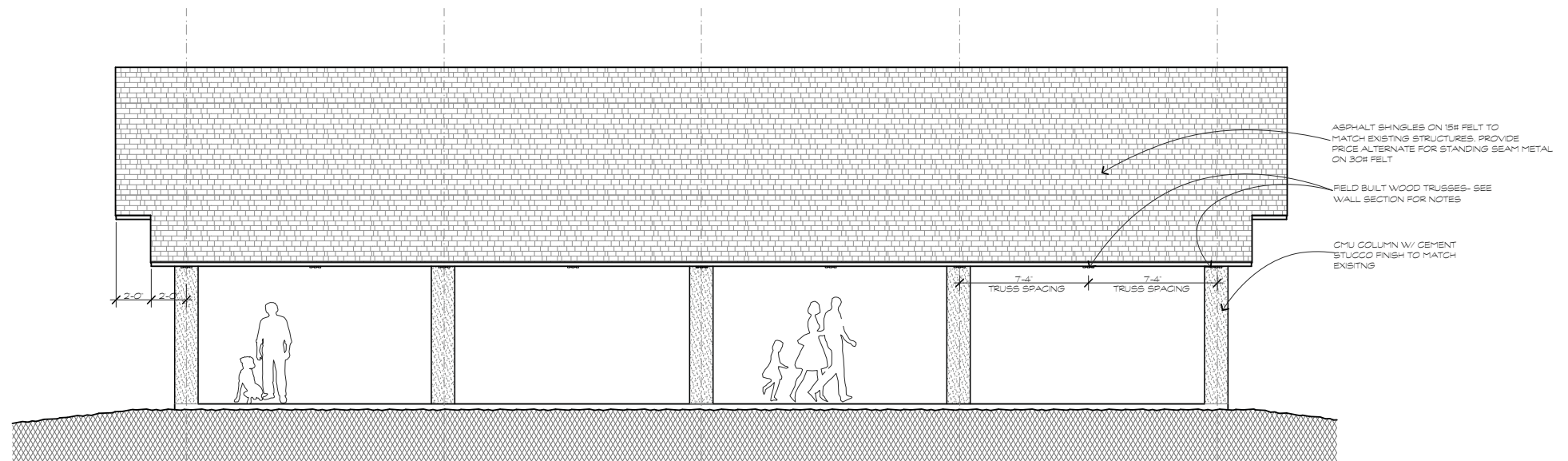
RIGHT/ LEFT ELEVATION
SCALE: 1/4"=1'-0"

3
A-2



BUILDING SECTION
SCALE: 1/4"=1'-0"

4
A-2



FRONT & BACK ELEVATION
SCALE: 1/4"=1'-0"

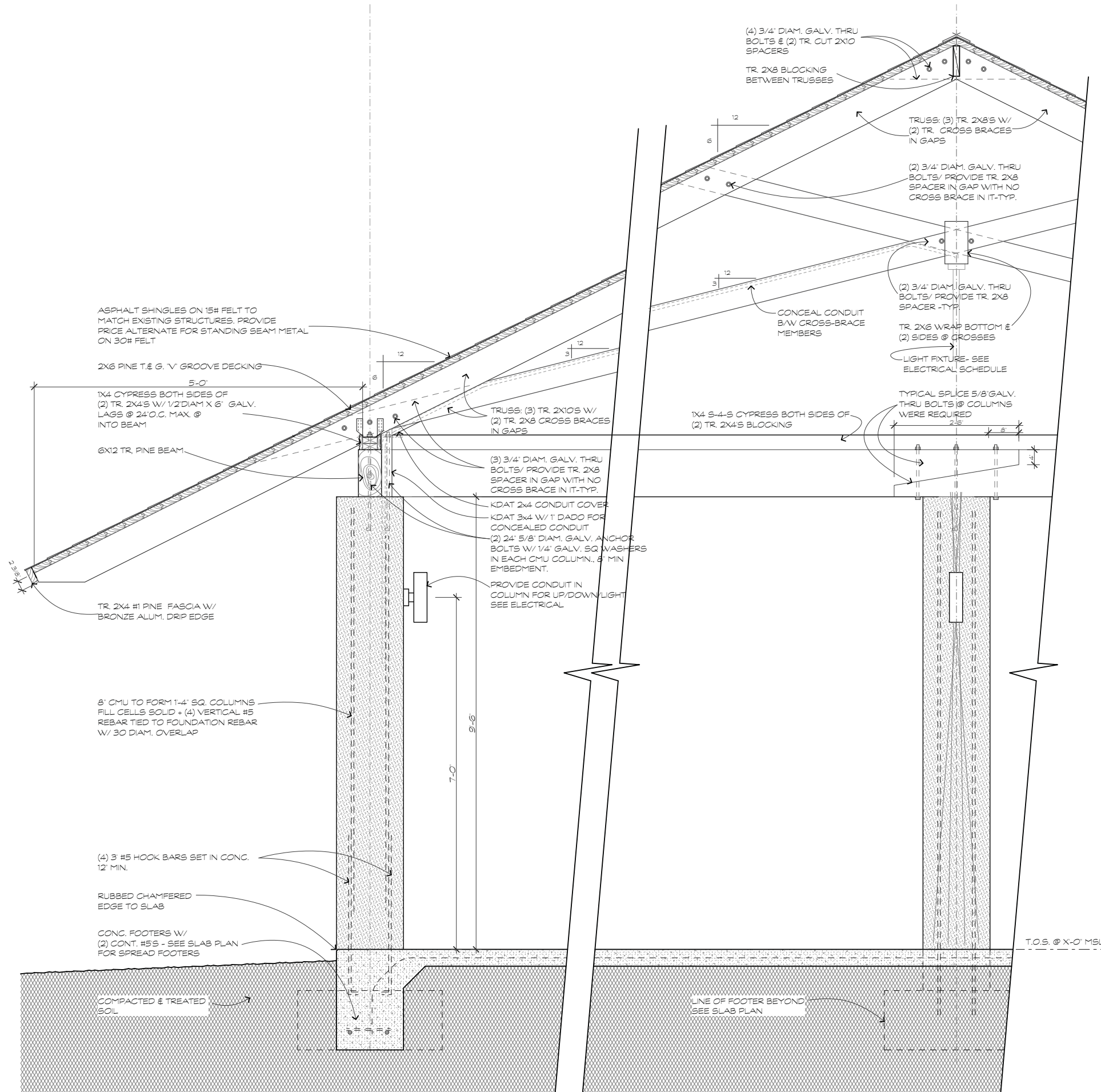
5
A-2

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A Pavilion for:
Heritage Academy
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Hilton Head Island, S. C.

REVISIONS	DATE

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE:
11/29/2021
SCALE
JOB NO.
2129
SHEET



TYPICAL WALL SECTION
SCALE: 1"=1'-0"

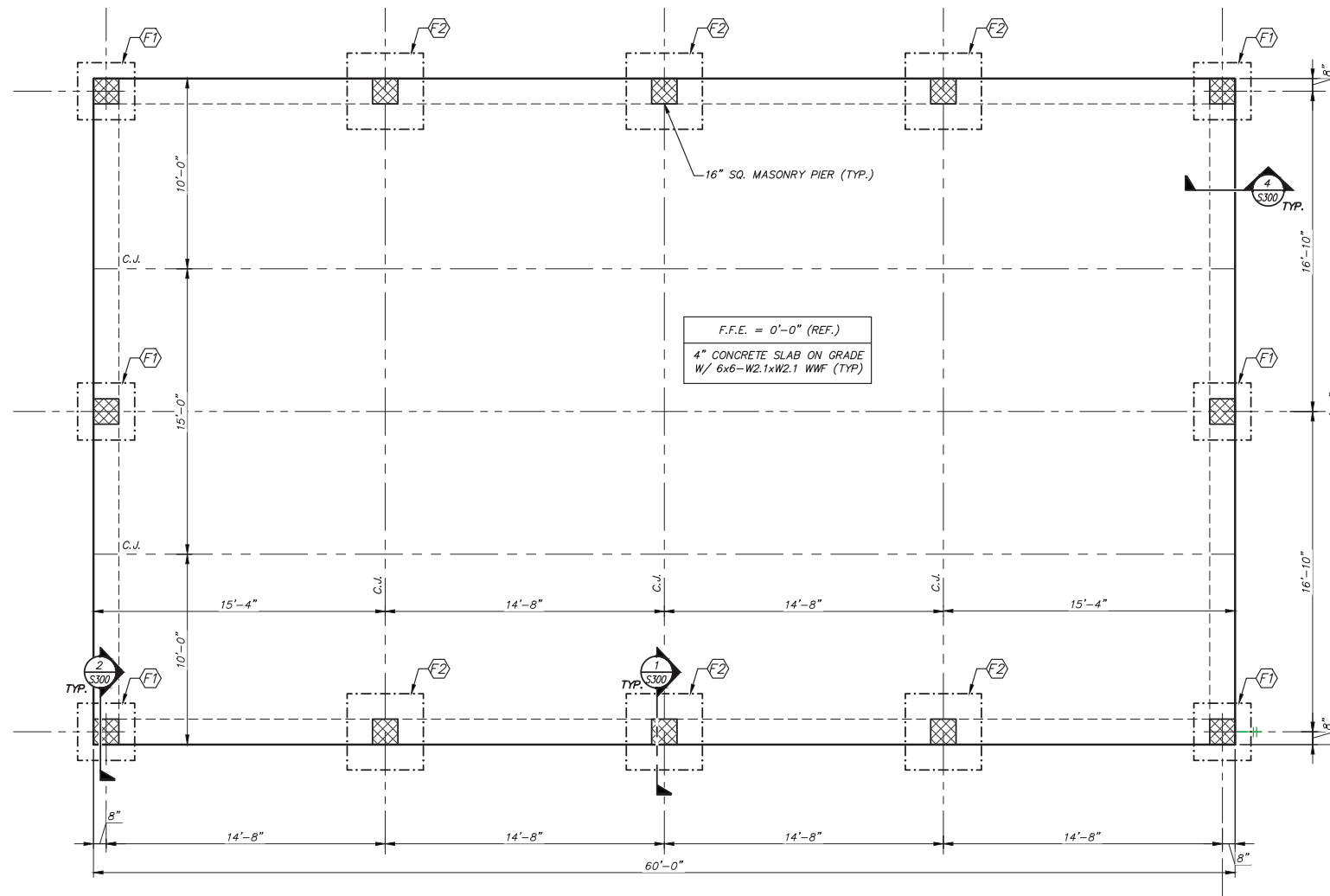
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A Pavillion for:
Heritage Academy
#11 New Orleans Rd.
Hilton Head Island, S. C.

REVISIONS	DATE

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE:
11/29/2021
SCALE
JOB NO.
2129
SHEET

G:\PROJECTS\CRANSTON\CURRENT PROJECTS\2021-0564-HERITAGE ACADEMY PAVILION\AC-BRAWN\STRUCTURAL\2021-0564-HERITAGE ACADEMY PAVILION.DWG 9/23/2021 8:59 AM



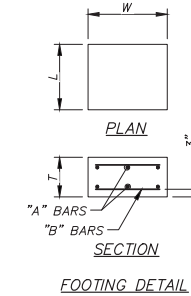
1 FOUNDATION PLAN
S200 SCALE: 1/4" = 1'-0"

LEGEND

- CMU PIER
- SPREAD FOOTING
- TURNDOWN SLAB
- CONTROL JOINT
- FOOTING MARK, REF. FOOTING SCHEDULE

FOOTING SCHEDULE

MARK	W	L	T	'A' BARS	'B' BARS
F1	3'-0"	3'-0"	1'-6"	(4)-#5 TOP (4)-#5 BOTT	(4)-#5 TOP (4)-#5 BOTT
F2	4'-0"	4'-0"	2'-6"	(5)-#5 TOP (5)-#5 BOTT	(5)-#5 TOP (5)-#5 BOTT



CRANSTON
Engineered with Integrity

14 Westbury Park Way, Suite 202
Bluffton, South Carolina 29910
Telephone 853-615-3181
CranstonEngineering.com



REV.	DATE	ISSUED FOR PERMIT DESCRIPTION
0	09-23-2021	

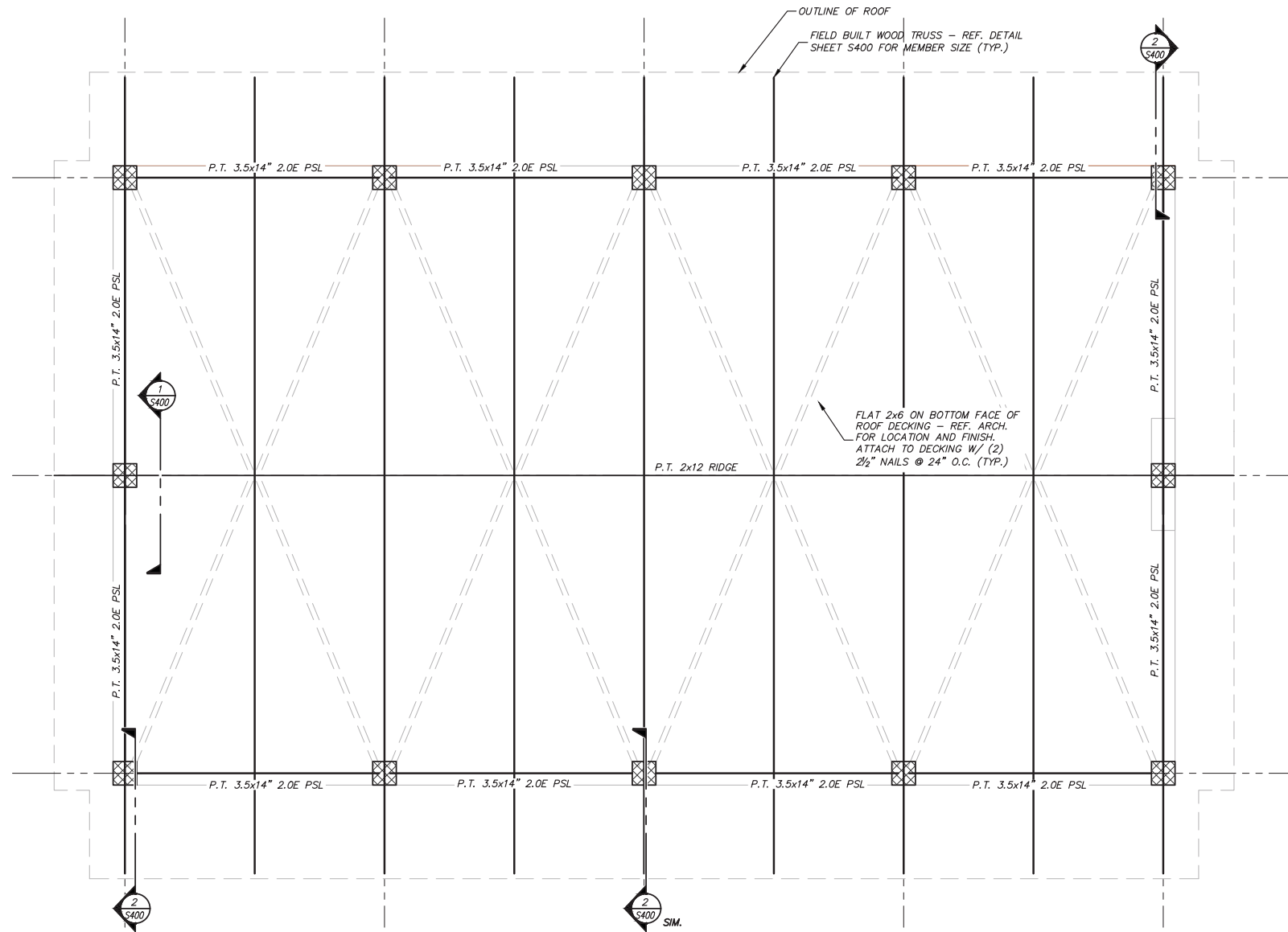
A PAVILION FOR:
HERITAGE ACADEMY
#11 NEW ORLEANS RD.
HILTON HEAD ISLAND, SC

FOUNDATION PLAN

DRAWN BY:	DAI
CHECKED BY:	JRE
APPROVED BY:	JRE
DATE:	09-23-2021
SCALE:	AS SHOWN
JOB No.	2021-0564
DRAWING No.	

S200

G:\PROJECTS\CRANSTON\CURRENT PROJECTS\2021-0564-HERITAGE ACADEMY PAVILION\VC-DRAWINGS\STRUCTURAL\2021-0564-HERITAGE ACADEMY PAVILION.DWG 9/23/2021 8:59 AM



1 BEAM/ ROOF FRAMING PLAN
S201 SCALE: 1/4" = 1'-0"

LEGEND	
	- CMU PIER
	- SPREAD FOOTING
	- TURNDOWN SLAB
	- CONTROL JOINT
	- FOOTING MARK, REF. FOOTING SCHEDULE

- FRAMING NOTES:**
1. ROOF SHEATHING: MINIMUM SYP #2 2x6 T&G DECKING.
- NAILING PATTERN:**
SUPPORTED EDGES & DIAPHRAGM BOUNDARIES: (3) 16d NAILS
FIELD & INTERMEDIATE SUPPORTS: (2) 16d NAILS

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14 Westbury Park Way, Suite 202
Bluffton, South Carolina 29910
Telephone 803-615-3181
CranstonEngineering.com



REV.	DATE	ISSUED FOR PERMIT DESCRIPTION
0	09-23-2021	

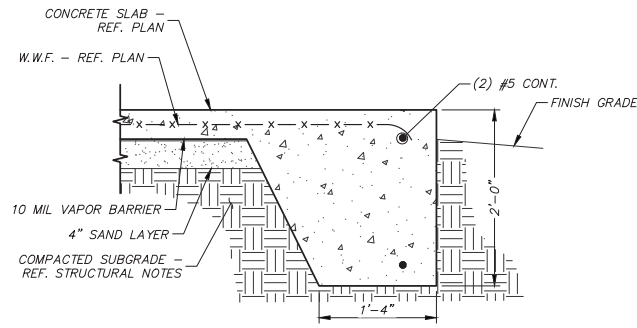
A PAVILION FOR:
HERITAGE ACADEMY
#11 NEW ORLEANS RD.
HILTON HEAD ISLAND, SC

BEAM/ ROOF
FRAMING PLAN

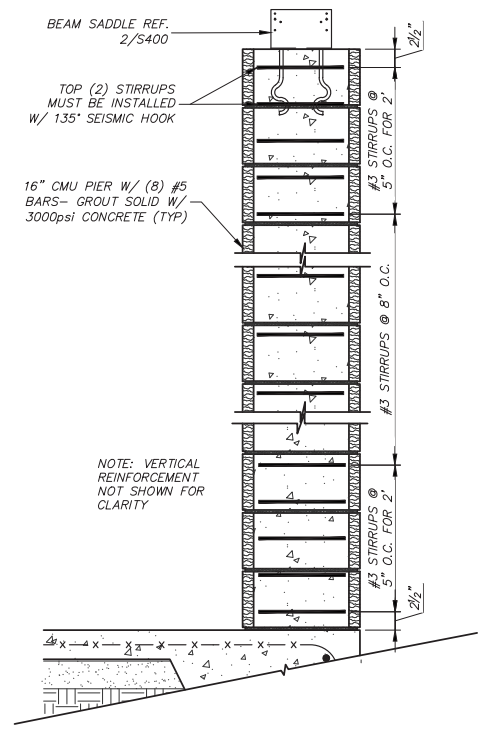
DRAWN BY:	DAI
CHECKED BY:	JRE
APPROVED BY:	JRE
DATE:	09-23-2021
SCALE:	AS SHOWN
JOB No.	2021-0564
DRAWING No.	

S201

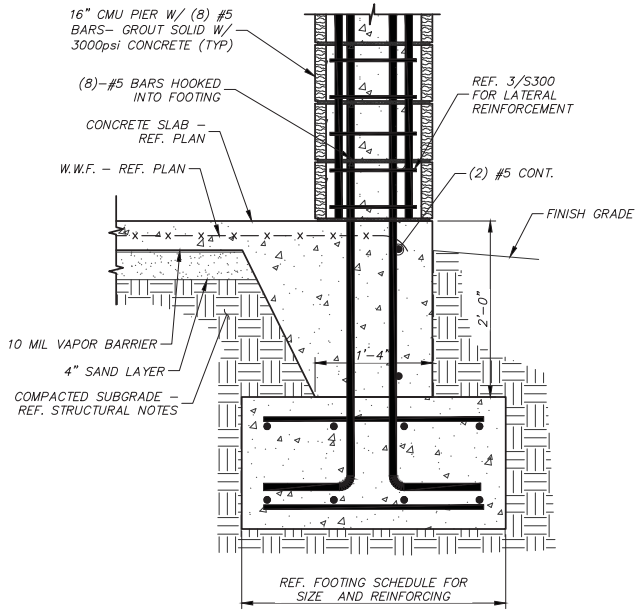
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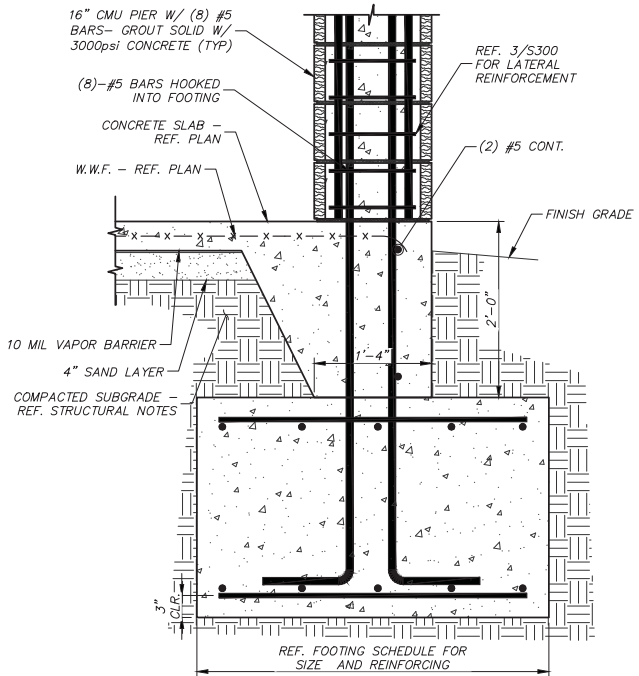
4 TURNDOWN SLAB
S300 NOT TO SCALE



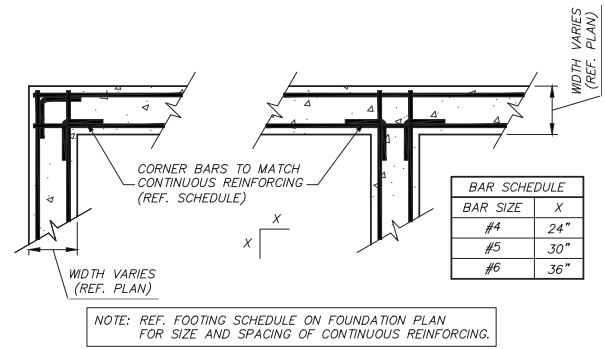
3 LATERAL REINFORCING DETAIL
S300 NOT TO SCALE



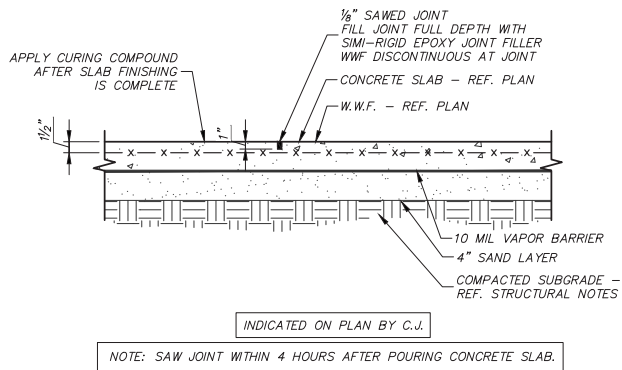
2 FOOTING @ COLUMN DETAIL
S300 NOT TO SCALE



1 FOOTING @ COLUMN DETAIL
S300 NOT TO SCALE



6 REINF. @ CONT. FOOTING INTERSECTIONS
S300 NOT TO SCALE



5 4" SLAB CONTROL JOINT DETAIL
S300 NOT TO SCALE



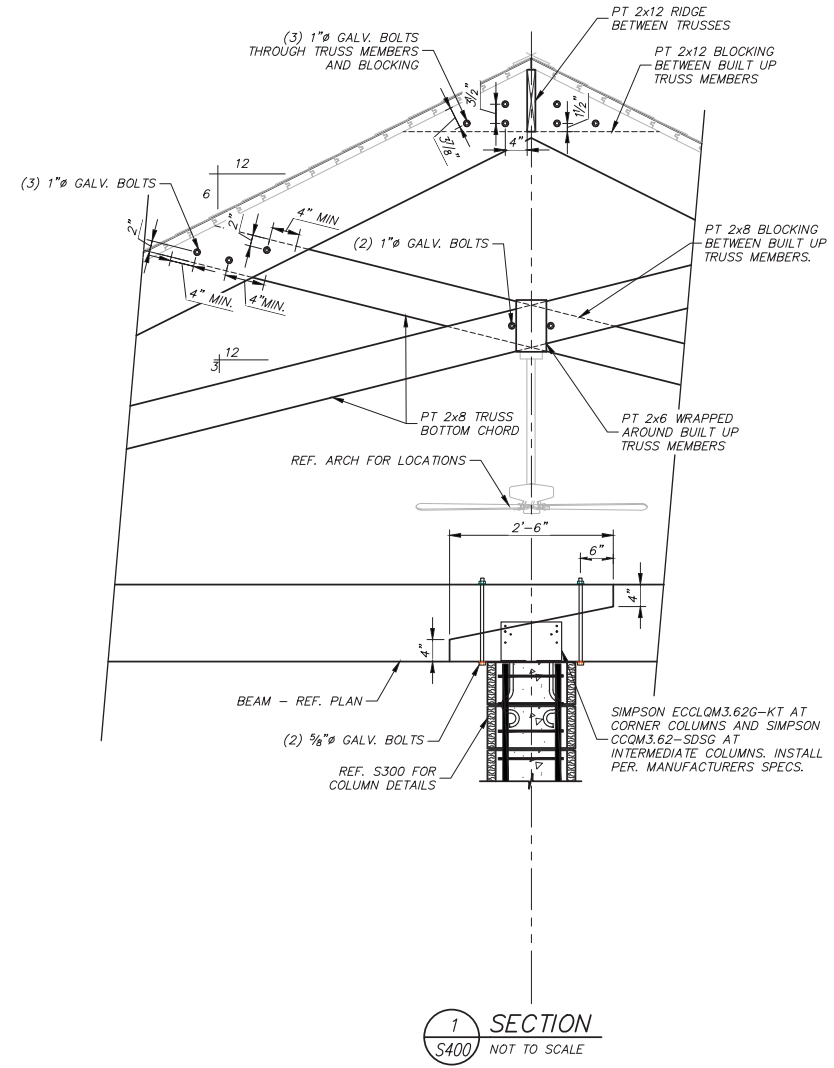
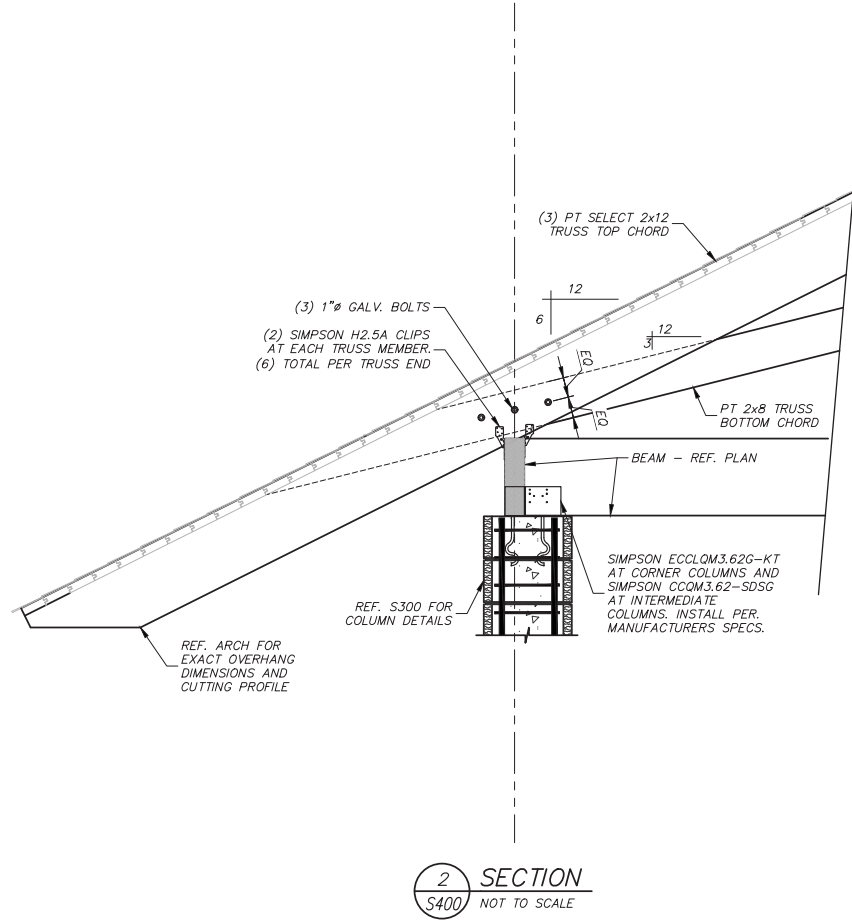
REV.	DATE	ISSUED FOR PERMIT DESCRIPTION
0	09-23-2021	

A PAVILION FOR:
HERITAGE ACADEMY
#11 NEW ORLEANS RD.
HILTON HEAD ISLAND, SC

FOUNDATION DETAILS

DRAWN BY:	DAI
CHECKED BY:	JRE
APPROVED BY:	JRE
DATE:	09-23-2021
SCALE:	AS SHOWN
JOB No.	2021-0564
DRAWING No.	S300

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REV.	DATE	ISSUED FOR PERMIT DESCRIPTION
0	09-23-2021	

A PAVILION FOR:
HERITAGE ACADEMY
#11 NEW ORLEANS RD.
HILTON HEAD ISLAND, SC

STRUCTURAL DETAILS

DRAWN BY:	DAI
CHECKED BY:	JRE
APPROVED BY:	JRE
DATE:	09-23-2021
SCALE:	AS SHOWN
JOB No.	2021-0564
DRAWING No.	

S400

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Heritage Pavilion

DRB#: DRB-002658-2021

DATE: 12/03/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Shift the building to preserve the 28” Pine.
2. Revise the location of the tree protection fence to run the entire length of the New Orleans buffer and preserve the 11” Gum and 7” Water Oak.
3. Coordinate view corridors in the rear buffer with the Natural Resource Planner.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. 28” Loblolly Pine are “Significant” at 28” per the LMO and requires a waiver to remove. 2. The 11” Gum and 7” Water Oak in the New Orleans buffer should remain, and the tree protection extend along the entire buffer. 3. Only view corridors can be opened in the Rear buffer. The under brushing note is too general. View corridors shall be coordinated with the Natural Resource Planner.

MISC COMMENTS/QUESTIONS

1. This project received Conceptual DRB approval on 11/09/2021.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Bistro 17 Project Address: 17 Harbourside Ln. Hilton Head Island
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 7 2 0 0 0 0
 Zoning District: PD-1 Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



11/09/21

SIGNATURE

DATE



Bistro 17:

This project consists of demolishing the existing canvas roof structure covering the back patio area of Bistro 17 and replacing it with a wood trellis/ flat roof structure. It will cover approximately the same area as the existing structure.

The structure will consist of treated 6x6 posts with heavy timber beams and rafters to match the other (3) wood trellis structures located along the marina. The ceiling will be stain grade 1x6 v-groove with metal roof panels to match the existing roof on the building. This structure will have concealed conduit between the ceiling and roof structure.

Thank-you for your time and consideration of this project.

Timothy C. Probst. AIA

HIGH TIDE

ASSOCIATES

Real Estate Services • Brokerage • Regime & Association Property Management

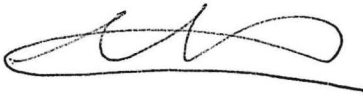
To whom it may concern,

November 19, 2021

The Harbourside I&II Board voted on Thursday, November 4th to approve the outdoor awning addition to Bistro 17 in the Harbourside I building with four (4) votes in favor. This will be entered into the association minutes during the next board meeting for recording.

Please let me know if you have any questions regarding the addition.

Thank you,



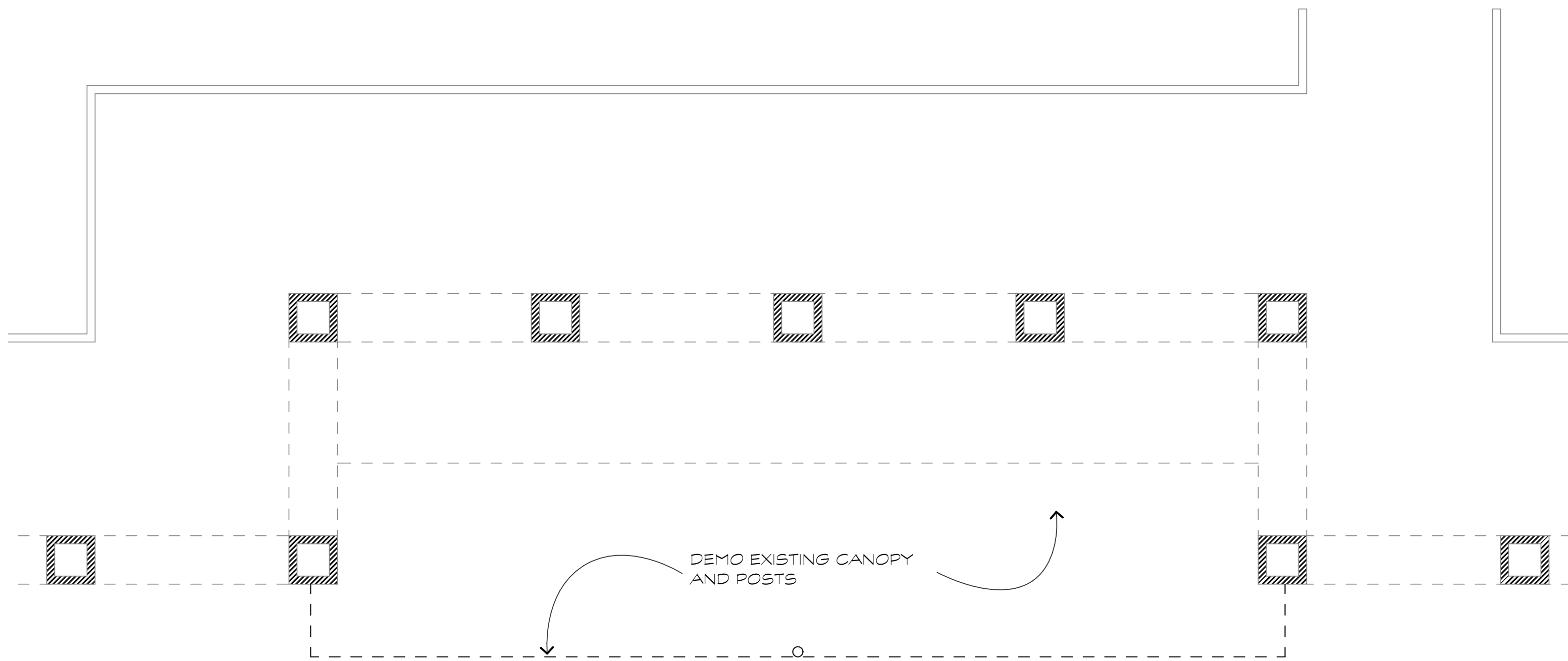
Miki Miller
Manager, High Tide Associates
843-368-8663







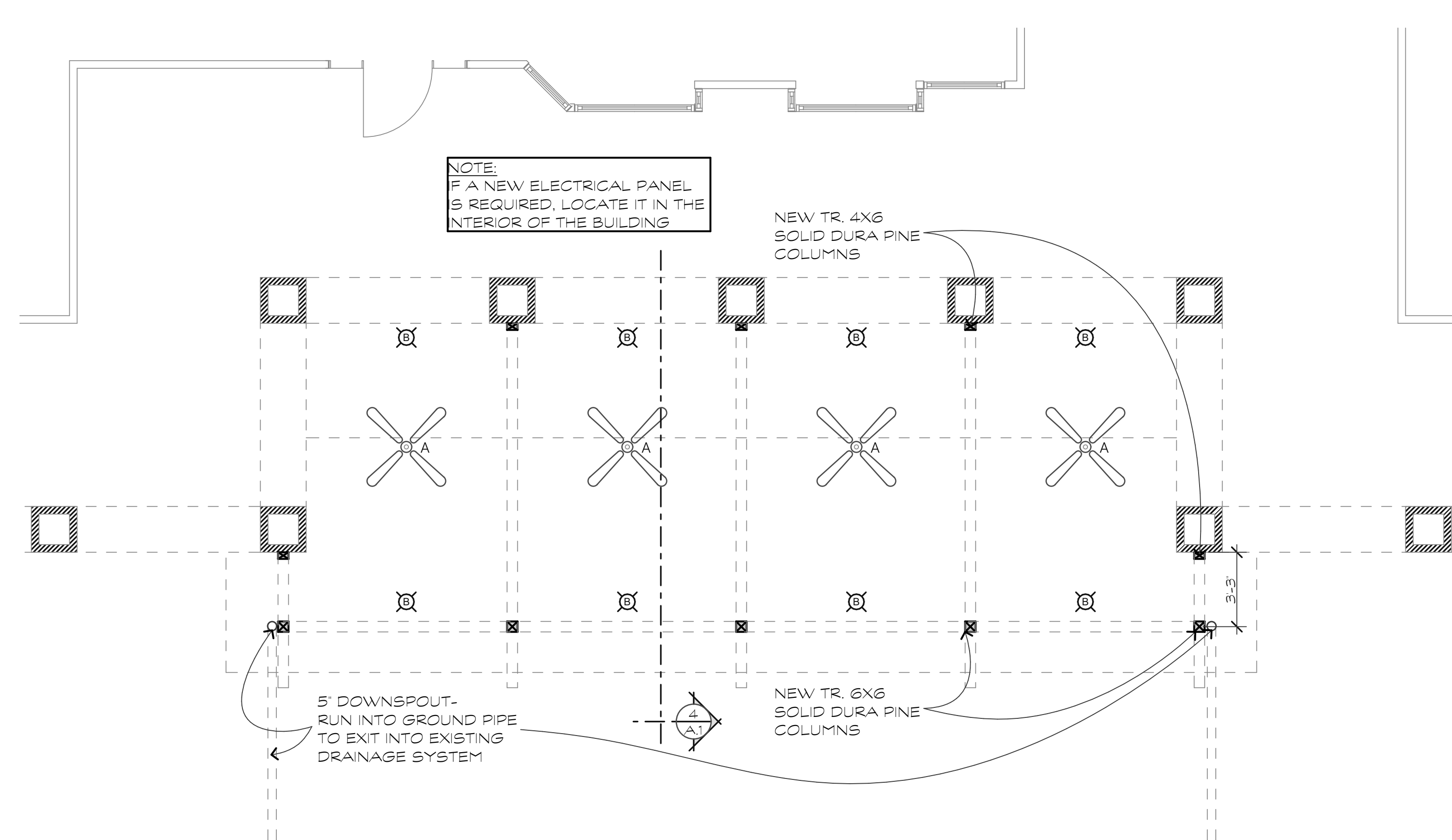
San Miguel's



DEMO CANOPY PLAN

SCALE: 1/4" = 1'-0"

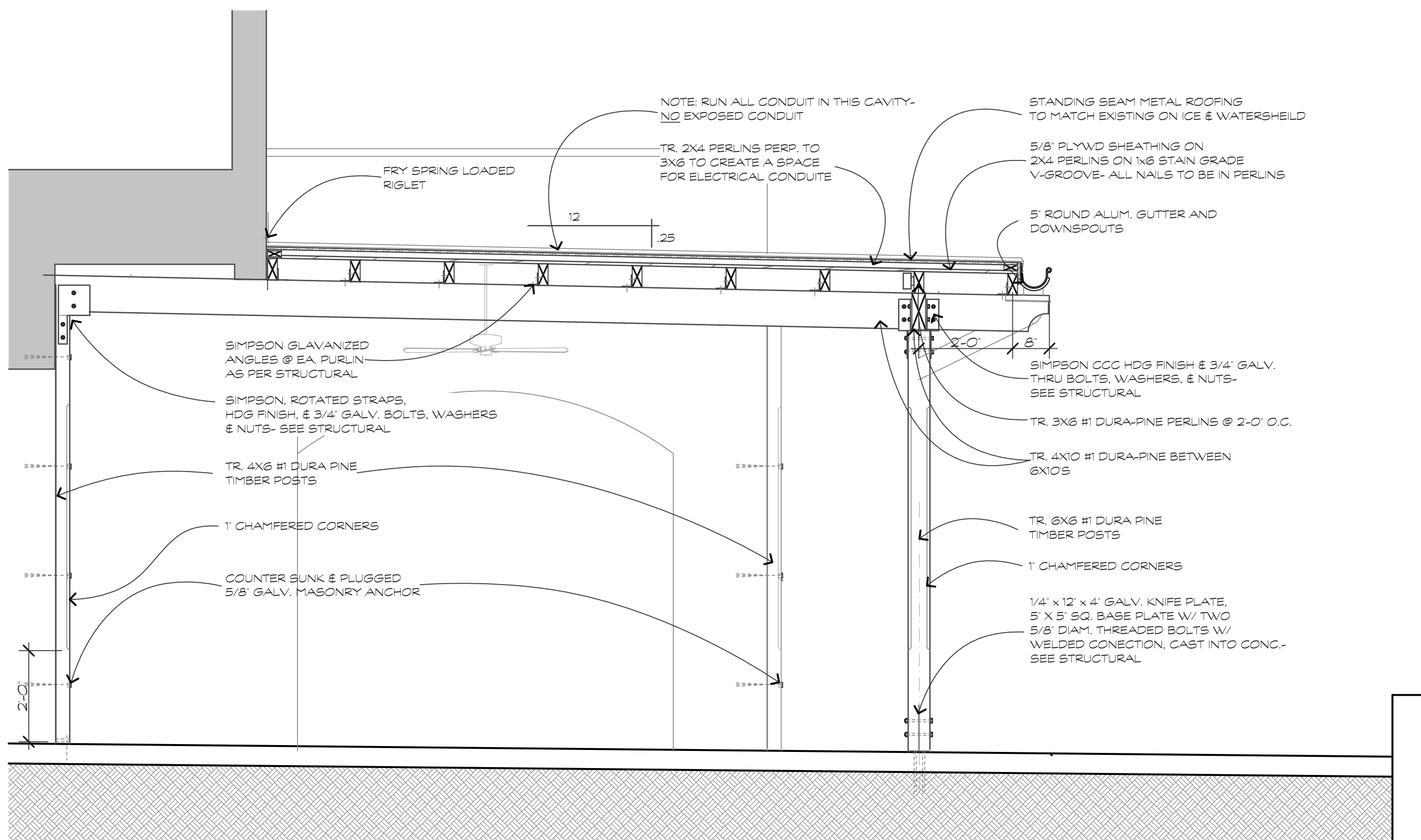
1
A.1



LOGGIA PLAN

SCALE: 1/4" = 1'-0"

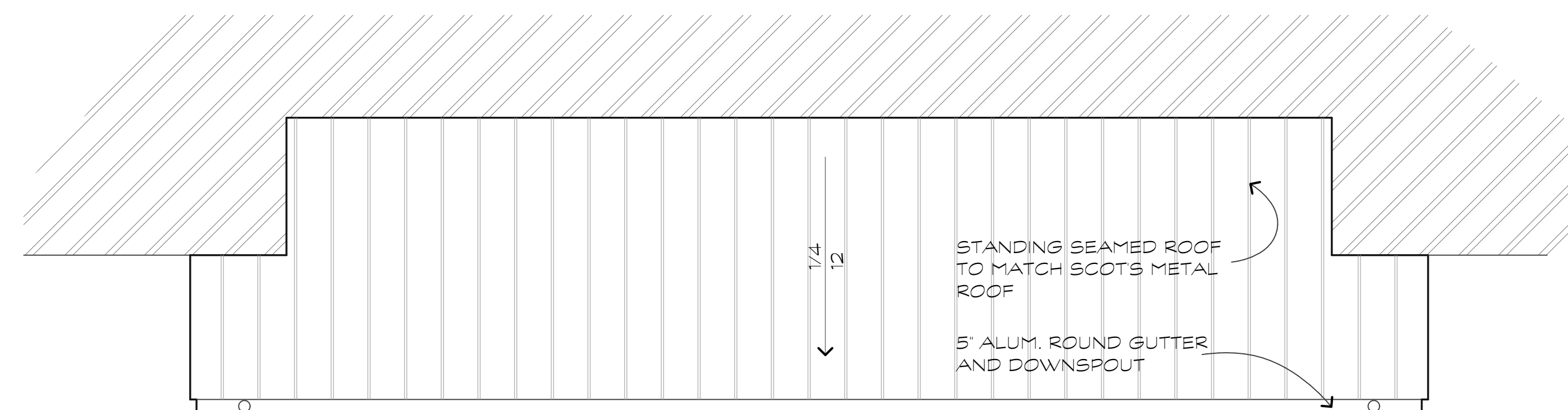
2
A.1



LOGGIA SECTION

SCALE: 1/2" = 1'-0"

4
A.1



ROOF PLAN

SCALE: 1/4" = 1'-0"

3
A.1

LIGHTING FIXTURE SCHEDULE							HEATERS BY OWNERS
TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS	
A	EXISTING FAN						
B	WAC	WS-W2605-BZ	SURFACE	16 WATT LED	BRONZE	SIDE MOUNT	

TUBE - model: WS-W2605, WS-W2604
LED Wall Mount

WAC LIGHTING
Responsible Lighting®

Product description: A sleek, modern wall sconce...
Specifications: Construction: Aluminum with etched glass...
Features: Energy Star® rated, 100% Dimmable, IP65 Rated (E15, E17), Wet Location Listed, The Cast Aluminum Construction, Universal Voltage (120V-277V), Shipping: EV (EVO) or G (G)

Beam	Beam Spread	Width	Height	Depth
WS-W2605	25°	12.5"	12.5"	3.5"
WS-W2604	30°	15"	15"	3.5"

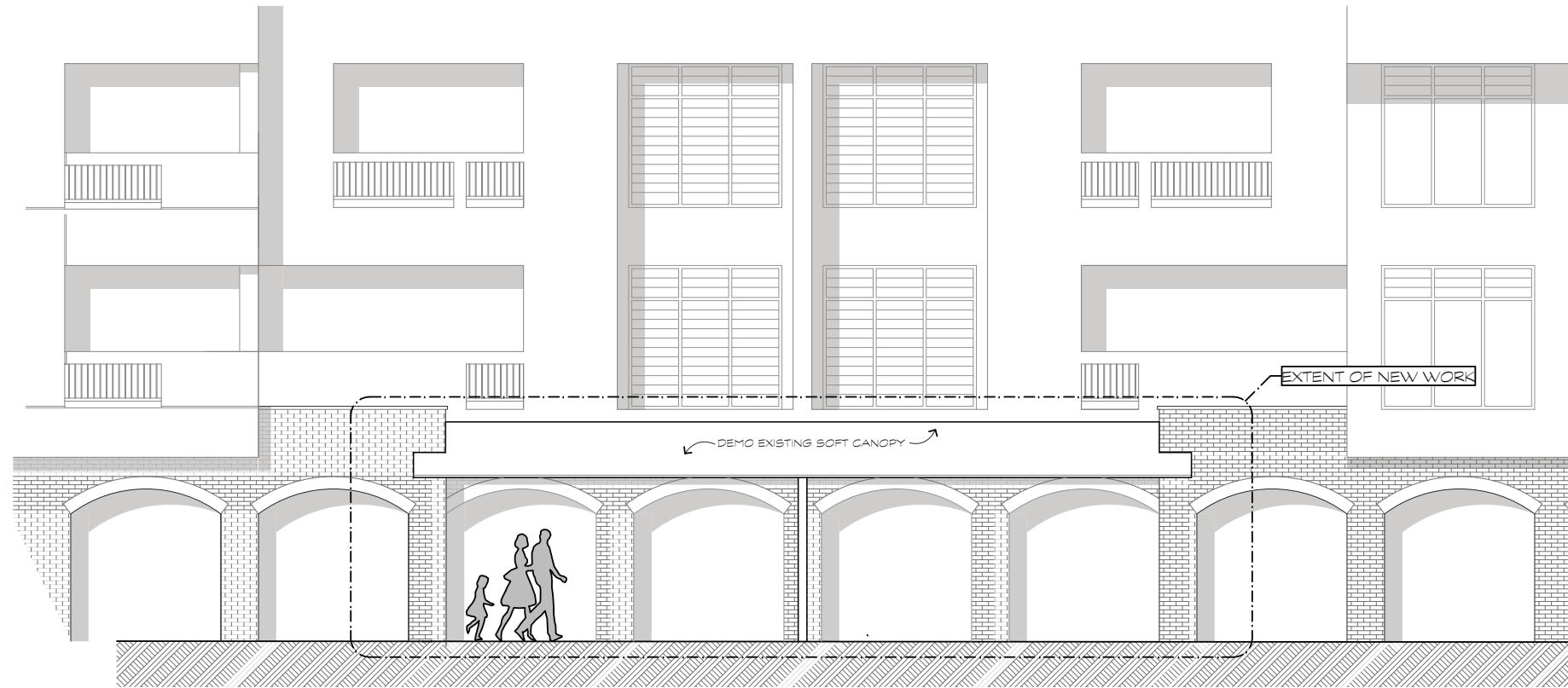
Headquarters Eastern Distribution Center
175 Rockwell Avenue
Lithia Springs, GA 30152

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A NEW COVERED AREA FOR:
BISTRO 17
SHELTER COVE MARINA
HILTON HEAD ISLAND, S.C.

REVISIONS

DRAWN BY: TP
CHECKED BY: TP
DATE OF ISSUE: 10/07/21
SCALE:
JOB NO.
SHEET
A.1
OF SHEETS



EXISTING WATER ELEVATION

SCALE: 1/4" = 1'-0"

1
A2



NEW WATER ELEVATION

SCALE: 1/4" = 1'-0"

2
A2



EXISTING PHOTOS

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A NEW COVERED AREA FOR:

BISTRO 17

SHELTER COVE MARINA
HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE
10/07/21
SCALE

JOB NO.

SHEET

A.2

OF SHEETS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Bistro 17

DRB#: DRB-002573-2021

DATE: 12/01/2021 12/07/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify how the exterior electrical panel will be concealed and submit for Staff review and approval.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DG, Page 32 "Any transformers, meters, compressors, or utility cabinets must be painted a natural blending color, i.e. brown or green, be located in a non-prominent location, and be screened from view with landscaping and or walls or fences." Provide cabinet or otherwise specify how electrical panel for patio fixtures will be concealed.

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: David Thompson Company: David Thompson Architect
 Mailing Address: 704 Meeting Street City: Charleston State: SC Zip: 29403
 Telephone: 843-297-8939 Fax: _____ E-mail: dthompson@dthompsonarchitect.com
 Project Name: Lucky Rooster Kitchen + Bar Project Address: 841 William Hilton Parkway Unit A
 Parcel Number [PIN]: R5 2 0 0 1 1 0 0 0 0 2 5 C 0 0 0 0
 Zoning District: LC - Light Commercial Overlay District(s): ROW ART

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

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Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
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- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

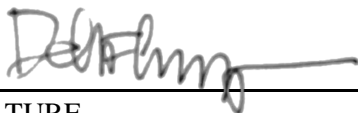
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11/29/21

DATE



DAVID THOMPSON ARCHITECT

December 02, 2021

RE: Lucky Rooster Exterior Alterations, 841 William Hilton Parkway Unit A

To: Mr. Chris Darnell, Hilton Head DRB

The goal of this alteration is to give an exterior appearance that is more reflective of the interior of the restaurant and feels less “country” in appearance, more sophisticated and compatible with the adjacent architecture. The scope of work proposed is a limited scope exterior modification to an existing restaurant including the following;

- Construct a new exterior bar within the footprint of the existing covered patio dining area
- Construct a new built in seating banquette within the footprint of the existing covered patio dining area
- Modify the “façade” of the existing covered patio structure to simplify the material palette and clean up the lines of the structure
- Construct a new wood framed, copper awning across the entry to the dining patio to decrease sun impact on evening dining
- Paint the existing façade and exterior portion of the patio dining structure. The simplified, darker paint scheme should neutralize the “busyness” of the current façade and the multitude of existing materials and textures.
- Replace the existing silver metal roof panels on the awning with an unlacquered copper which will naturally weather to a dark brown.
- Reduce the number of gooseneck light fixtures and replace those fixtures with similar lights in an unlacquered copper finish.

David F. Thompson, Architect



DAVID THOMPSON ARCHITECT, LLC
CHARLESTON SC / 843-297-8939
WWW.DTHOMPSONARCHITECT.COM

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



ISSUED DATE / REVISIONS
DRB SUBMITTAL 11.30.2021



LUCKY ROOSTER KITCHEN + BAR
841 William Hilton Pkwy Unit A
Hilton Head, SC 29928

1 EXISTING EXTERIOR PHOTOGRAPHS
A200 SCALE: NOT TO SCALE

A200



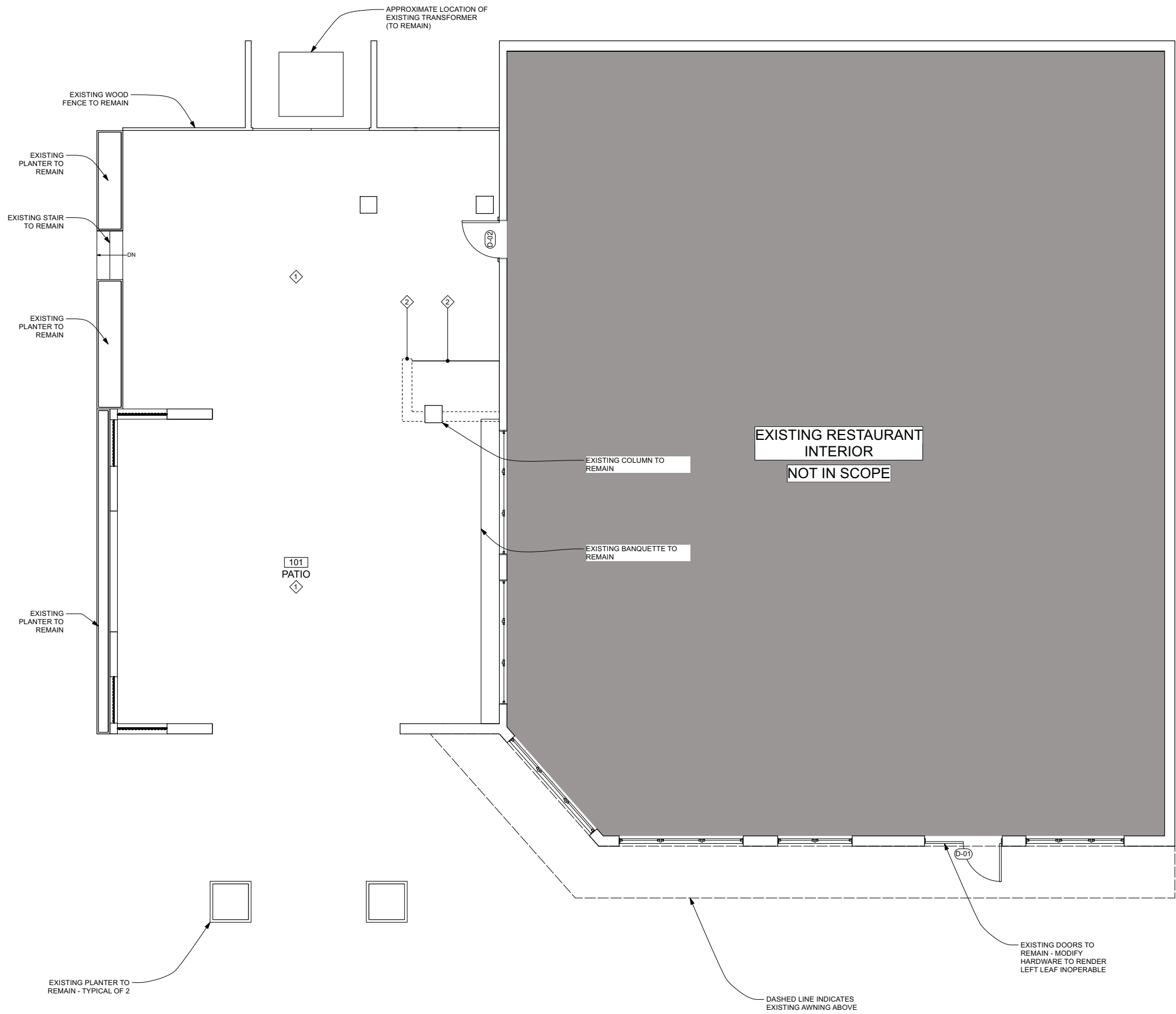
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LUCKY ROOSTER KITCHEN + BAR
 841 William Hilton Pkwy Unit A
 Hilton Head, SC 29928



- DEMOLITION KEY**
- 1 OWNER TO REMOVE ALL ART AND FURNISHINGS PRIOR TO DEMOLITION START.
 - 2 REMOVE EXISTING CASEWORK. COORDINATE REUSE W/ OWNER.

- GENERAL DEMOLITION NOTES**
1. DASHED LINES INDICATE DEMOLITION ITEMS. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF DEMOLITION AND CONSTRUCTION. THESE DRAWINGS ARE FOR DESIGN INTENT ONLY.
 3. SHOULD THE G.C. ENCOUNTER HAZARDOUS MATERIALS, THEY ARE RESPONSIBLE FOR NOTIFYING THE OWNER AND ARCHITECT PRIOR TO PROCEEDING ANY FURTHER. A PLAN WILL BE DEVELOPED FOR THE SAFE AND LAWFUL REMOVAL AND DISPOSAL OF SAID MATERIALS.
 4. THE G.C. SHALL BE RESPONSIBLE FOR THE VERIFICATION OF NON-LOAD BEARING PARTITIONS AND COLUMNS TO BE REMOVED. PROVIDE ALL APPROPRIATE AND NECESSARY SHORING OR SUPPORT FOR OVERHEAD WORK.
 5. THE G.C. SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF ANY UNFORSEEN CONDITIONS ARE ENCOUNTERED.
 6. SURFACES NOT BEING DEMOLISHED SHOULD BE PROTECTED.
 7. REMOVE ANY ABANDONED DEVICES INCLUDING BUT NOT LIMITED TO SWITCHES, CONDUITS, WALL PROTECTIVE SHELVING OR CURTAIN RODS.

1 DEMOLITION PLAN
 D101 SCALE: 1/4" = 1'-0"

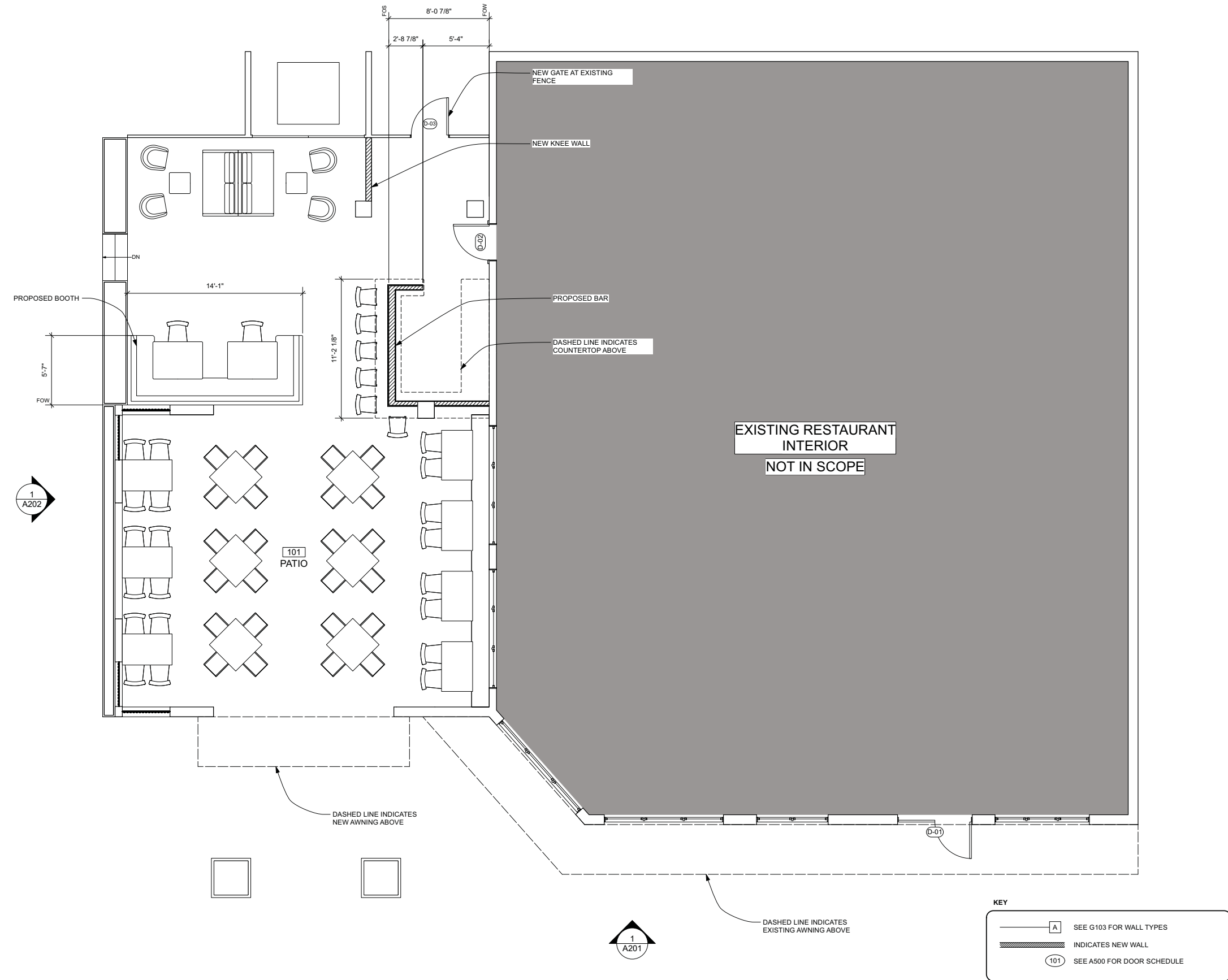


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LUCKY ROOSTER KITCHEN + BAR
 841 William Hilton Pkwy Unit A
 Hilton Head, SC 29928

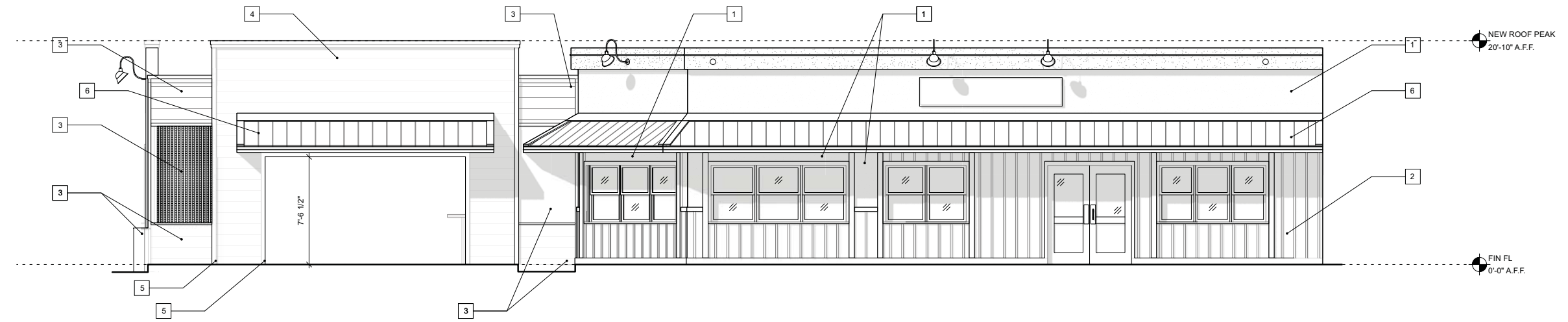




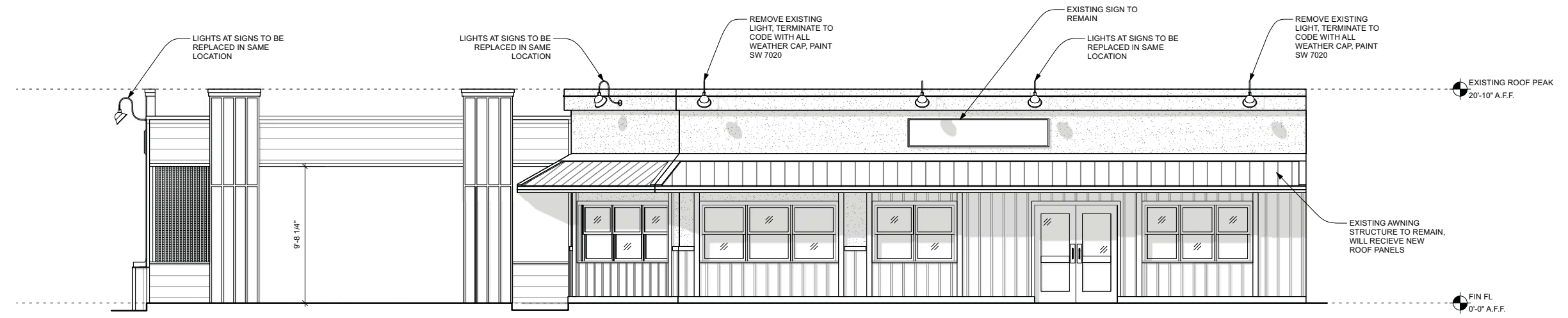
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MATERIAL KEY	
1	EXISTING STUCCO - PAINT SW 7020
2	EXISTING PANELING - PAINT SW 7020
3	EXISTING PANELING - PAINT SW 7018
4	NEW SMOOTH FINIAH 6" EXPOSURE FIBER CEMENT BOARD LAP SIDING - PAINT SW 7020
5	WOOD TRIM BOARDS (2 x 4) - PAINT SW 7020
6	STANDING SEAM COPPER ROOF PANELS, UNSEALED FOR NATURAL PATINA



2 NORTH EXTERIOR ELEVATION - PROPOSED
 A201 SCALE: 1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION - EXISTING
 A201 SCALE: 1/4" = 1'-0"



ISSUED DATE / REVISIONS
 DRB SUBMITTAL 11.30.2021

LUCKY ROOSTER KITCHEN + BAR
 841 William Hilton Pkwy Unit A
 Hilton Head, SC 29928





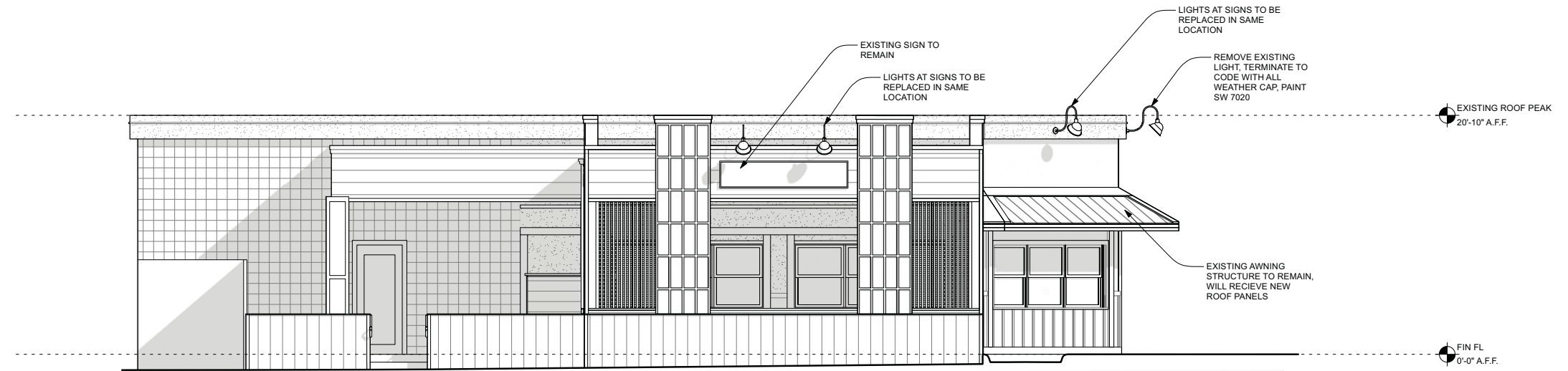
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2
A202 WEST EXTERIOR ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



1
A202 WEST EXTERIOR ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



ISSUED DATE / REVISIONS
 DRB SUBMITTAL 11.30.2021

LUCKY ROOSTER KITCHEN + BAR
 841 William Hilton Pkwy Unit A
 Hilton Head, SC 29928





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LUCKY ROOSTER KITCHEN + BAR
841 William Hilton Pkwy Unit A
Hilton Head, SC 29928



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lucky Rooster Kitchen + Bar

DRB#: DRB-002646-2021

DATE: 12/06/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Provide a planting plan for the planters for Staff review and approval.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DG, page 18, "Landscaping, planting of new vegetation, is to be used to supplement the existing vegetation and provide for a harmonious setting for the site's structures, parking areas or other construction." The 2018 approval required the planters to add greenery around the proposed porch. <ol style="list-style-type: none"> 1. Confirm the existing vines will remain on the trellis. 2. Provide a planting plan for the planters.

MISC COMMENTS/QUESTIONS

1. The porch / patio addition was approved by the DRB on Jan. 9th 2018.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JAMES ATKINS Company: COURT ATKINS GROUP
 Mailing Address: P.O. Box 3978 City: BLUFFTON State: SC Zip: 29910
 Telephone: 843-815-2557 Fax: _____ E-mail: jason.broene@courtatkins.com
 Project Name: Spanish Wells Office Warehouse Building Project Address: 296 SPANISH WELLS ROAD
 Parcel Number [PIN]: R510 007 000 0155 0000
 Zoning District: LIGHT INDUSTRIAL (IL) Overlay District(s): Corridor Overlay District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

H/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
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Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

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SIGNATURE

11/29/21

DATE

**PROJECT NARRATIVE FOR DESIGN REVIEW BOARD
CONCEPTUAL DESIGN REVIEW BOARD SUBMITTAL
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA**

Project: Spanish Wells Office and Warehouse Building

Date: November 30, 2021

Applicant: Court Atkins Architects on behalf of Hilton Head Church Investors I, LLC

Agent: Court Atkins Architects, Inc.
Contact: Jason Broene, Studio Manager
P.O. Box 3978
Bluffton, SC 29910
Tel: (843) 815-2557
Fax: (843) 815-2547

Parcel: R510 007 000 0155 0000

Zoning: Light Industrial (LI)

Property Owner: Hilton Head Church Investors I, LLC

Approval sought: Conceptual Review with comments

ARCHITECTURE NARRATIVE

Description

The Spanish Wells Office and Warehouse project is a new building being proposed at 296 Spanish Wells Road adjacent to the existing Resurrection Church. This project has been through the site development permitting process however the building design has not been submitted or through the Design Review Board. The building consists of the following characteristics:

1. The building is a single story 6,593 sqft. pre-engineering metal building shell for the potential of up to (6) office and/or warehouse tenant spaces. The building material and forms are in keeping the Town's design guidelines featuring sloped roof forms, wood bracketed awnings, decorative louvers, aluminum storefront doors and windows and stucco veneer with trim.
2. The building will utilize a pre-engineered metal building frame, sloped roof forms with gutters and downspouts, and stucco veneer on the front and two sides of the building.
3. The north elevation, which faces the parking lot, will feature sloped roof forms, aluminum storefront doors and windows, and overhead roll-up doors for each tenant, designated location for tenant signage, bracketed metal awnings, and stucco veneer with trim.
4. The east elevation, which faces Spanish Wells Road will feature sloped roof forms, stucco veneer and trim, bracketed metal awning, and decorative metal louvers.

5. The south / rear elevation which faces the existing tree line, will house the building's services. This elevation will feature sloped roof forms, metal building wall panel, painted hollow metal egress doors and gutters with downspouts.
6. The west elevation, which faces the power line easement, will feature stucco veneer with trim, overhead roll-up door, and sloped roof forms.
7. Colors, while not yet selected, will be harmonious with the surrounding buildings and landscape and meet the intent of the LMO.
8. Should you have any questions or need any additional information please do not hesitate to ask.

END











Resurrection
Church
No Religion, Just Jesus
- EST. 33 A.D. -

Sunday Worship 10 AM
Wednesday Evening 6:30 PM





RESURRECTION
Church



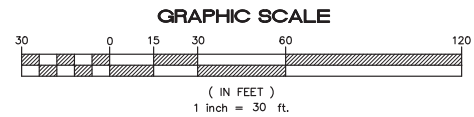
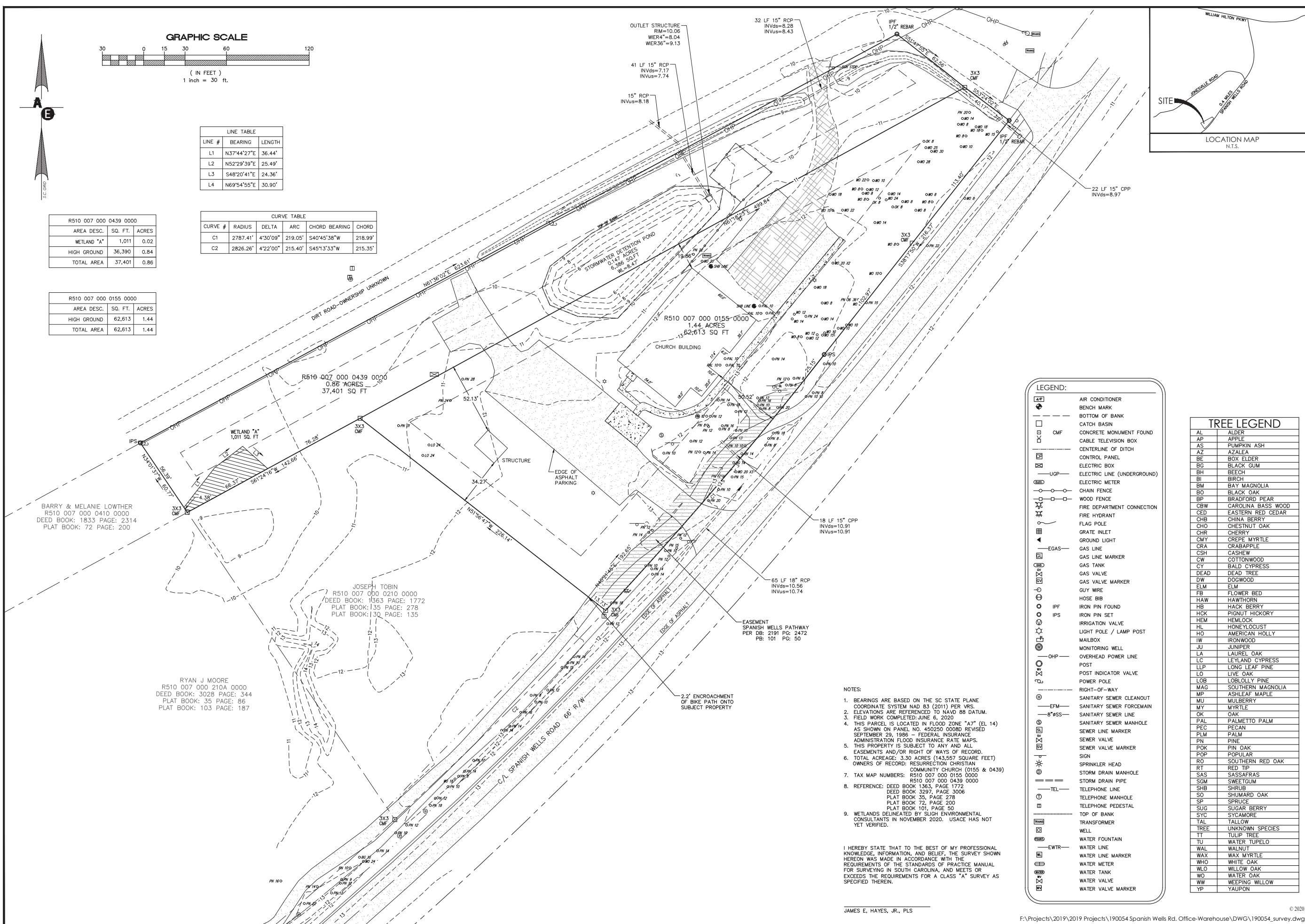
**Resurrection
Church**

We Worship, Jesus Jesus
- EST. 20 A.D. -



Sunday Worship 10 AM
Wednesday Evening 6 PM

RESUR

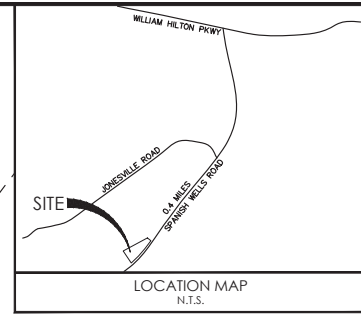


LINE #	BEARING	LENGTH
L1	N37°44'27"E	36.44'
L2	N52°29'39"E	25.49'
L3	S48°20'41"E	24.36'
L4	N69°54'55"E	30.90'

CURVE #	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	2787.41'	4°30'09"	219.05'	S40°45'38"W	218.99'
C2	2826.26'	4°22'00"	215.40'	S45°13'33"W	215.35'

AREA DESC.	SQ. FT.	ACRES
WETLAND "A"	1,011	0.02
HIGH GROUND	36,390	0.84
TOTAL AREA	37,401	0.86

AREA DESC.	SQ. FT.	ACRES
HIGH GROUND	62,613	1.44
TOTAL AREA	62,613	1.44



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

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LEGEND:	
[Symbol]	AIR CONDITIONER
[Symbol]	BENCH MARK
[Symbol]	BOTTOM OF BANK
[Symbol]	CATCH BASIN
[Symbol]	CONCRETE MONUMENT FOUND
[Symbol]	CABLE TELEVISION BOX
[Symbol]	CENTERLINE OF DITCH
[Symbol]	CONTROL PANEL
[Symbol]	ELECTRIC BOX
[Symbol]	ELECTRIC LINE (UNDERGROUND)
[Symbol]	ELECTRIC METER
[Symbol]	CHAIN FENCE
[Symbol]	WOOD FENCE
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	FIRE HYDRANT
[Symbol]	FLAG POLE
[Symbol]	GRATE INLET
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[Symbol]	GAS VALVE
[Symbol]	GAS VALVE MARKER
[Symbol]	GUY WIRE
[Symbol]	HOSE BIB
[Symbol]	IRON PIN FOUND
[Symbol]	IRON PIN SET
[Symbol]	IRRIGATION VALVE
[Symbol]	LIGHT POLE / LAMP POST
[Symbol]	MAILBOX
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[Symbol]	OVERHEAD POWER LINE
[Symbol]	POST
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[Symbol]	POWER POLE
[Symbol]	RIGHT-OF-WAY
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[Symbol]	SANITARY SEWER FORCEMAIN
[Symbol]	SANITARY SEWER MANHOLE
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[Symbol]	WATER VALVE MARKER

TREE LEGEND	
AL	ALDER
AP	APPLE
AS	PUMPKIN ASH
AZ	AZALEA
BE	BOX ELDER
BG	BLACK GUM
BH	BEECH
BI	BIRCH
BM	BAY MAGNOLIA
BO	BLACK OAK
BP	BRADFORD PEAR
CBW	CAROLINA BASS WOOD
CED	EASTERN RED CEDAR
CHB	CHINA BERRY
CHO	CHESTNUT OAK
CHR	CHERRY
CMY	CREPE MYRTLE
CRA	CRABAPPLE
CSH	CASHW
CW	COTTONWOOD
CY	BALD CYPRESS
DEAD	DEAD TREE
DW	DOGWOOD
ELM	ELM
FB	FLOWER BED
HAW	HAWTHORN
HB	HACK BERRY
HCK	PIGNOT HICKORY
HEM	HEMLOCK
HL	HONE YLOCUST
HO	AMERICAN HOLLY
IW	IRONWOOD
JU	JUNIPER
LA	LAUREL OAK
LC	LEYLAND CYPRESS
LLP	LONG LEAF PINE
LO	LIVE OAK
LOB	LOBLOBBY PINE
MAG	SOUTHERN MAGNOLIA
MP	ASHLEAF MAPLE
MU	MULBERRY
MY	MYRTLE
OK	OAK
PAL	PALMETTO PALM
PEC	PECAN
PLM	PALM
PN	PINE
POK	PIN OAK
POP	POPULAR
RO	SOUTHERN RED OAK
RT	RED TIP
SAS	SASSAFRAS
SGM	SWEETGUM
SHB	SHRUB
SO	SHUMARD OAK
SP	SPRUCE
SUG	SUGAR BERRY
SYC	SYCAMORE
TAL	TALLOW
TREE	UNKNOWN SPECIES
TT	TULIP TREE
TU	WATER TUPELO
WAL	WALNUT
WAX	WAX MYRTLE
WHO	WHITE OAK
WLO	WILLOW OAK
WO	WATER OAK
WW	WEeping WILLOW
YP	YALPON

NOTES:

- BEARINGS ARE BASED ON THE SC STATE PLANE COORDINATE SYSTEM NAD 83 (2011) PER VRS.
- ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- FIELD WORK COMPLETED: JUNE 6, 2020
- THIS PARCEL IS LOCATED IN FLOOD ZONE "A7" (EL 14) AS SHOWN ON PANEL NO. 450250 00080 REVISED SEPTEMBER 29, 1986 - FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE RATE MAPS.
- THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND/OR RIGHT OF WAYS OF RECORD.
- TOTAL ACRES: 3.30 ACRES (143,557 SQUARE FEET)
- OWNERS OF RECORD: RESURRECTION CHRISTIAN COMMUNITY CHURCH (0155 & 0439)
- TAX MAP NUMBERS: R510 007 000 0155 0000 R510 007 000 0439 0000
- REFERENCE: DEED BOOK 1363, PAGE 1772 DEED BOOK 3297, PAGE 3006 PLAT BOOK 35, PAGE 278 PLAT BOOK 72, PAGE 200 PLAT BOOK 101, PAGE 50
- WETLANDS DELINEATED BY SLIGH ENVIRONMENTAL CONSULTANTS IN NOVEMBER 2020. USACE HAS NOT YET VERIFIED.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JAMES E. HAYES, JR., PLS

2712 Bull Street Suite A
Beaufort, SC 29902
843.379.2222
Fax 843.379.2223

Andrews Engineering & Surveying

ASBUILT, TREE, & TOPOGRAPHIC SURVEY

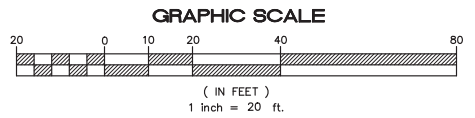
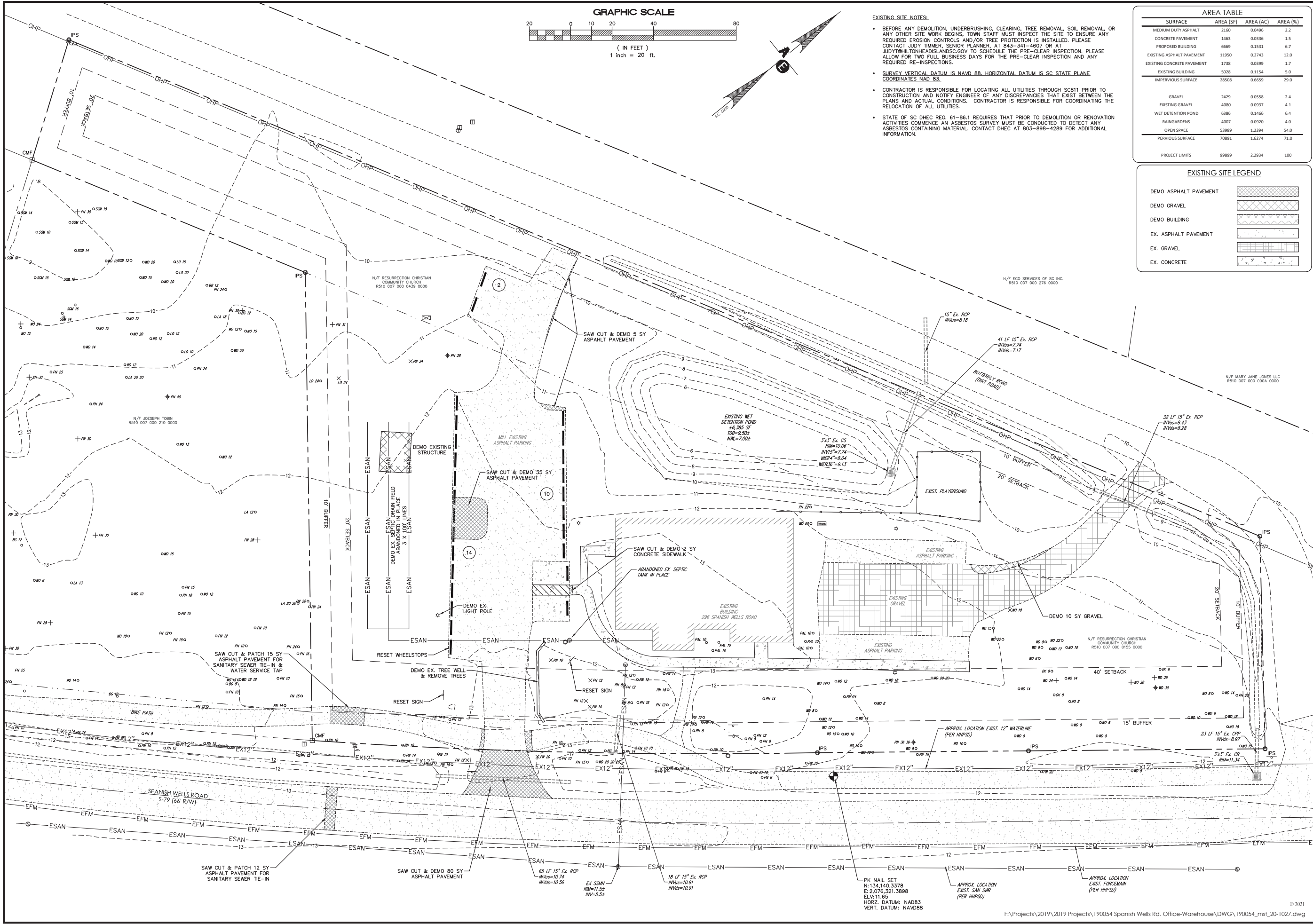
PREPARED FOR JIMMY YIRKA

TAX MAP NUMBERS
R510 007 000 0155 & 0439 0000
TOWN OF HILTON HEAD
BEAUFORT COUNTY, SC

Date Drawn: 01/30/2020
Last Revised: 03/17/2021
Drawn By: J. GRAY
Surveyor: J. HAYES

SHEET #: 1

JOB: 190054



- EXISTING SITE NOTES:**
- BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT JUDY TIMMER, SENIOR PLANNER, AT 843-341-4607 OR AT JUDY@HILTONHEADISLANDS.GOV TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.
 - SURVEY VERTICAL DATUM IS NAVD88. HORIZONTAL DATUM IS SC STATE PLANE COORDINATES NAD 83.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES THROUGH SC811 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES THAT EXIST BETWEEN THE PLANS AND ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES.
 - STATE OF SC DHEC REG. 61-86.1 REQUIRES THAT PRIOR TO DEMOLITION OR RENOVATION ACTIVITIES COMMENCE AN ASBESTOS SURVEY MUST BE CONDUCTED TO DETECT ANY ASBESTOS CONTAINING MATERIAL. CONTACT DHEC AT 803-898-4289 FOR ADDITIONAL INFORMATION.

AREA TABLE			
SURFACE	AREA (SF)	AREA (AC)	AREA (%)
MEDIUM DUTY ASPHALT	2160	0.0496	2.2
CONCRETE PAVEMENT	1463	0.0336	1.5
PROPOSED BUILDING	6669	0.1531	6.7
EXISTING ASPHALT PAVEMENT	11950	0.2743	12.0
EXISTING CONCRETE PAVEMENT	1738	0.0399	1.7
EXISTING BUILDING	5028	0.1154	5.0
IMPERVIOUS SURFACE	28508	0.6659	29.0
GRAVEL	2429	0.0558	2.4
EXISTING GRAVEL	4080	0.0937	4.1
WET DETENTION POND	6386	0.1466	6.4
RAINGARDENS	4007	0.0920	4.0
OPEN SPACE	53989	1.2394	54.0
PERVIOUS SURFACE	70891	1.6274	71.0
PROJECT LIMITS	99899	2.2934	100

EXISTING SITE LEGEND	
DEMO ASPHALT PAVEMENT	
DEMO GRAVEL	
DEMO BUILDING	
EX. ASPHALT PAVEMENT	
EX. GRAVEL	
EX. CONCRETE	

PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

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2712 Bull Street Suite A
Beaufort, SC 29902
843.379.2222
Fax 843.379.2223

Andrews Engineering & Surveying

Site Development Plan
for
Office/Warehouse Space
Spanish Wells Road
Town of Hilton Head
Beaufort County, SC

Existing Site &
Demolition Plan

Date Drawn: 01/30/20
Last Revised: 04/07/21
Drawn By: L. Wlien
Engineer: A. Klosterman

SHEET #:
1

JOB: 190054

CONCEPTUAL LANDSCAPE PLAN

Proposed Office/Warehouse Development

HILTON HEAD ISLAND, SOUTH CAROLINA

PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	NUMBER	SIZE (REMARKS)
TREES:				
LOK	Live Oak	Quercus virginiana	4	15 GAL/2.5" CAL/10' HT/5'-6' SPD
PAL	Palmetto Palm	Sabal palmetto	4	8'-10' HT (B&B)(STAGGER HT)
CMY	Crape Myrtle	Lagerstroemia indica	4	7 GAL/5' HT/3' SPD (MULTI-STEM)
PIN	Longleaf Pine	Pinus palustris	4	15 GAL/2.5" CAL/6' HT
RED	Eastern Redbud	Cercis canadensis	3	7 GAL/5' HT/3' SPD
DOG	Flowering Dogwood	Cornus florida	2	7 GAL/5' HT/3' SPD
SHRUBS:				
WXM	Wax Myrtle	Myrica cerifera	12	15 GAL/5' HT/4' SPD/12'
YHY	Youpon Holly	Ilex vomitoria	56	3 GAL/2' HT/2' SPD
AZI	Southern Indica Azalea	Rhododendron	32	7 GAL/3' HT/3' SPD
PAM	Pampas Grass	Cortaderia selloana	30	3 GAL/3' HT/2' SPD
LAU	Loropetalum	Loropetalum chinense	10	7 GAL/3' HT/3' SPD

- NOTES:
- All actively landscaped areas to be irrigated.
 - All non-landscaped non-buffer areas to be sprayed to eliminate existing weeds and mulched.
 - All non-landscaped buffer areas to be left natural and selectively mulched.

N/E BERRY & BELMONT LUTHER
RSD 007 000 0000
FIELD BOOK: 183 PAGE: 2314
PLAN BOOK: 72 PAGE: 200

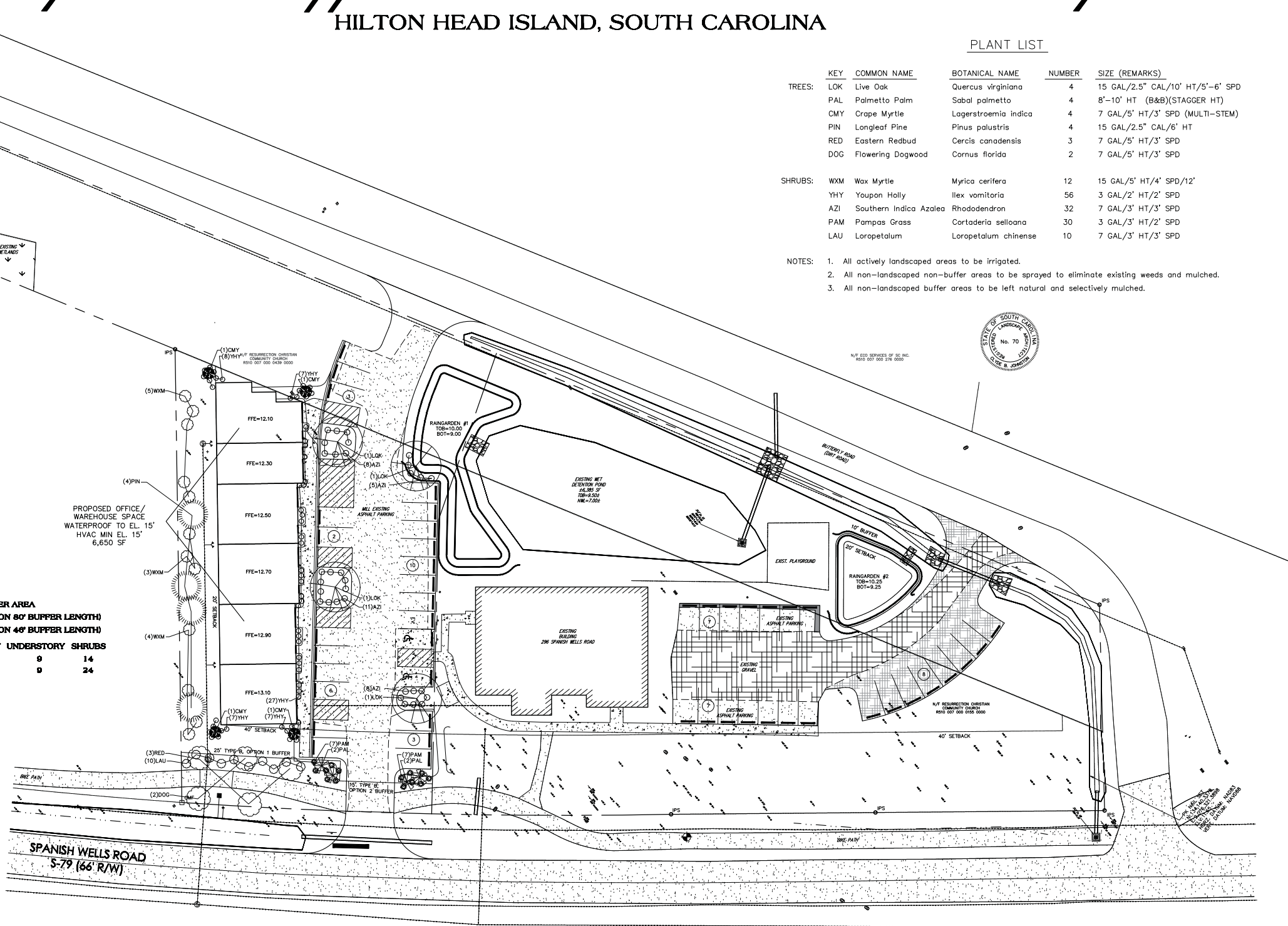
N/E EDD BRIDGES OF S.C. INC.
RSD 007 000 0000



ADJACENT STREET BUFFER AREA
 BUFFER TYPE: TYPE "B" - OPTION 1 (BASED ON 80' BUFFER LENGTH)
 BUFFER TYPE: TYPE "B" - OPTION 2 (BASED ON 40' BUFFER LENGTH)

	OVERSTORY SHRUBS		UNDERSTORY SHRUBS	
TREES/SHRUBS REQUIRED:	5	9	14	
TREES/SHRUBS PROVIDED:	6*	9	24	

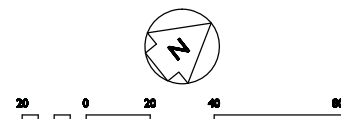
* 6 EXISTING OVERSTORY TREES:
 PINES: 18", 10", 14", 6", 12", 10"



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PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PREPARED FOR
JIM YIRKA
 BEAUFORT, SOUTH CAROLINA

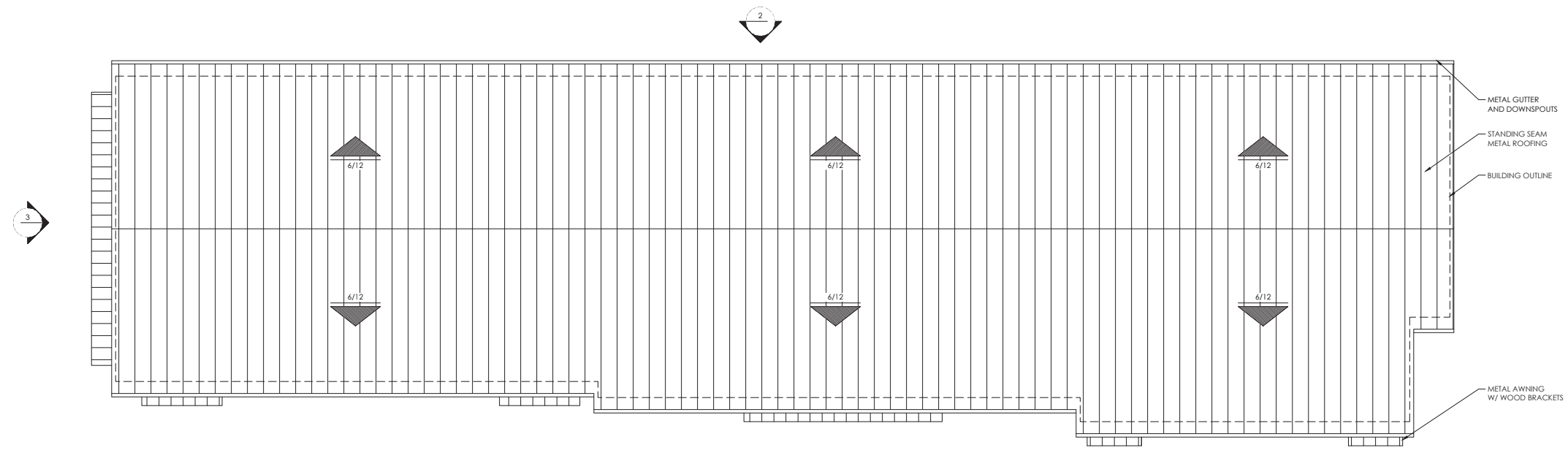


SCALE IN FEET
 1 DECEMBER 2020
 Revised: February 10, 2021

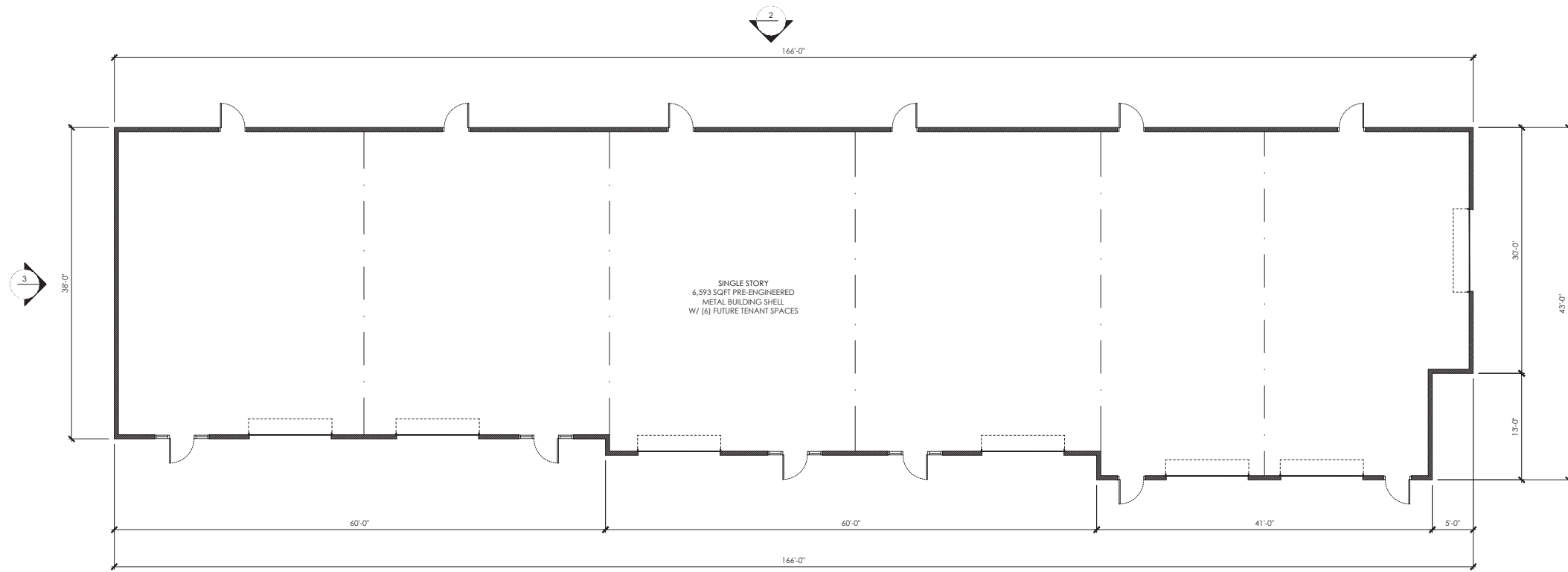
The above drawing is conceptual and is subject to change.

DESIGN TEAM
 LAND PLANNING & LANDSCAPE DESIGN: KENNETH F.P. SKODACEK
 BLUFFTON, SOUTH CAROLINA
 CIVIL ENGINEERS: ANDREWS ENGINEERING, INC.
 BEAUFORT, SOUTH CAROLINA
 ARCHITECT: MICHAEL GRIFFITH
 SEBRING, FLORIDA
 SURVEYING: ANDREWS ENGINEERING, INC.
 BEAUFORT, SOUTH CAROLINA

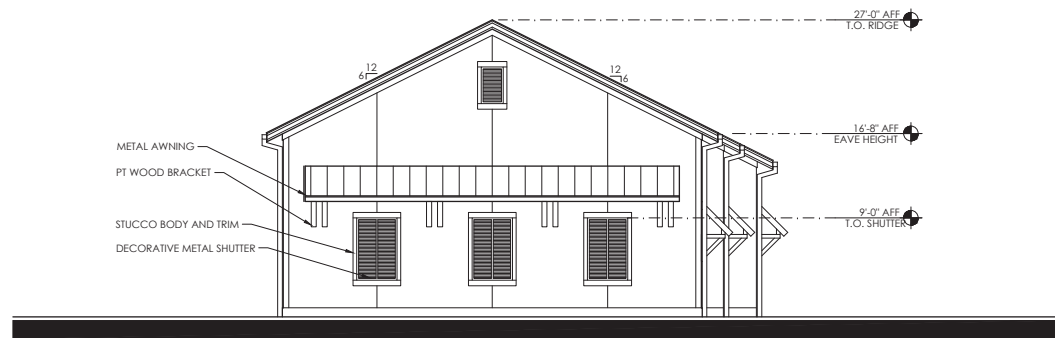
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



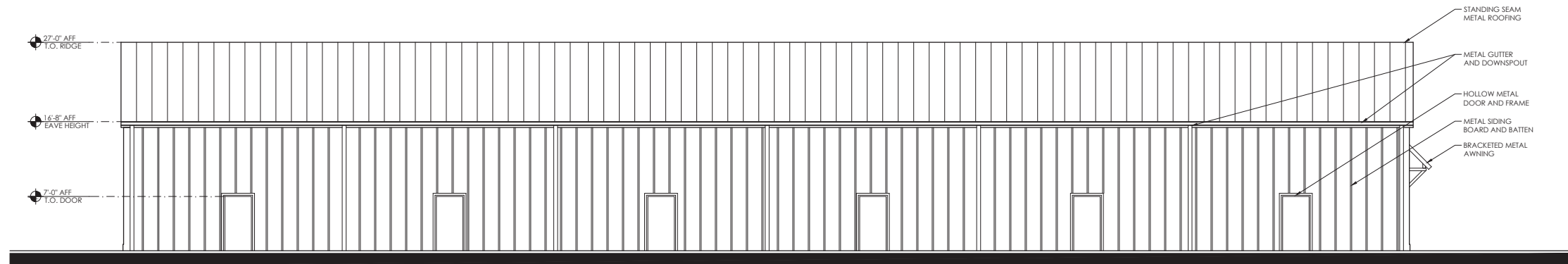
2 ROOF PLAN
SCALE 1/8" = 1'-0"



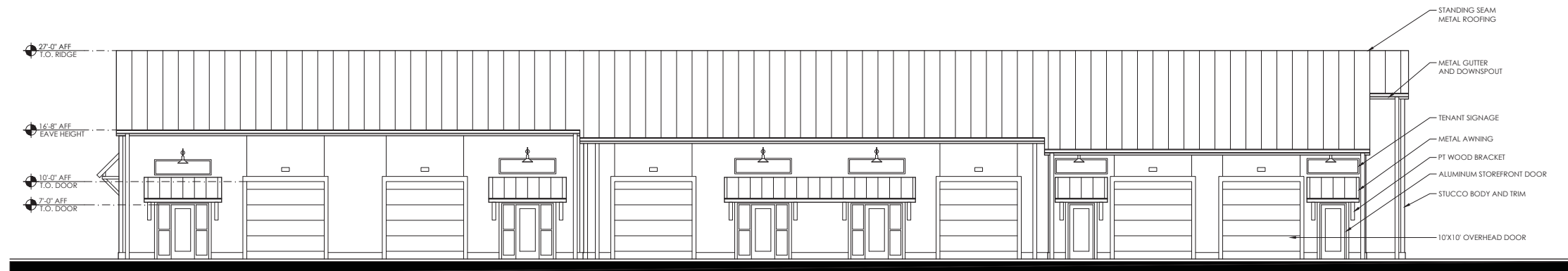
1 FLOOR PLAN
SCALE 1/8" = 1'-0"



3 SPANISH WELLS ROAD ELEVATION (EAST)
SCALE 1/8" = 1'-0"



2 REAR ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"



1 PARKING LOT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"



2 SPANISH WELLS ROAD ELEVATION (EAST)
SCALE NTS



1 PARKING LOT ELEVATION (NORTH)
SCALE NTS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Spanish Wells Office / Warehouse Building

DRB#: DRB-002659-2021

DATE: 12/06/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Revise the “Rear Elevation” to include more architectural detail.
2. Revise the landscape plan to include more evergreen species in the street buffer.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DG, page 12, “all sides of a structure should be given the same design consideration as the entrance or street façade.” The rear elevation needs architectural detail.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DG, page 13, “The form or shape of structures should avoid monotonous unbroken planes...” The rear elevation needs architectural detail to break up that elevation.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Please note utilities like AC units are not permitted with the setbacks. Show the utility locations on the site plan at Final.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	At final provide a lighting plan that includes any building mounted fixtures as well as and parking lot lights.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The street should include evergreen species. The proposed dogwood and redbud are generally good

MISC COMMENTS/QUESTIONS
