



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, February 9, 2021 – 1:15 p.m.
AGENDA

In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of January 12, 2021

6. Appearance by Citizens

7. New Business

a. *Alteration/Addition*

i. St. Andrews Church Entry, DRB-000097-2021

ii. Hargray Building F, DRB-000145-2021

b. *Sign*

i. Sandbox Sign, DRB-000118-2021

ii. Airport Sign Revisited, DRB-000159-2021

8. Board Business

9. Staff Report

a. Minor Corridor Report

10. Adjournment

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m.

on February 8, 2021. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Secretary at 843-341-4691 no later than 12:00 p.m. on February 8, 2021.

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
January 12, 2021 at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chair Michael Gentemann, Vice Chair Cathy Foss, David McAllister, Judd Carstens, Annette Lippert, John Moleski, Debbie Remke

Absent from the Board: None

Present from Town Council: Tamara Becker, Glenn Stanford

Present from Town Staff: Chris Darnell, Urban Designer; Teri Lewis, Deputy Community Development Director; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chair Gentemann called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Ms. Lippert moved to approve. Vice Chair Foss seconded. By way of roll call, the motion passed with a vote of 6-0-1. (Ms. Remke abstained due to technical difficulties.)

5. Approval of Minutes

a. Meeting of December 8, 2020

Chair Gentemann asked for a motion to approve the minutes of the December 8, 2020 meeting. Mr. McAllister moved to approve. Vice Chair Foss seconded. By way of roll call, the motion was approved by a vote of 5-0-2. (Chair Gentemann abstained because he was not present at the subject meeting. Ms. Remke abstained due to technical difficulties.)

6. Citizen Comments

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. All comments received were provided to the Board for review and made part of the official record. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

7. New Business

a. *New Development – Final*

i. Fern Iams Restaurant, DRB-000876-2020

Mr. Darnell stated the project received conceptual approval on October 8, 2019 and presented the application as described in the Board's agenda package. Staff recommends final approval.

Chair Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The applicant confirmed that at this time there is no intent to connect to the building on the other side via the sidewalk that is headed in that direction but ends abruptly. The Board and applicant discussed the application at length and the following concerns and recommendations were noted: concern with the grade from the dining patio and customer safety noting hedges and path level lighting may help on that side; lack of needed information on the drawings; dimensions of brackets, overhangs and gutter drainage, window and door trim colors, materials and colors for the underside of the entrance overhang; service yard on the back elevation is lower than the detached one and only a 6 foot dimension; downspout identification; drawings do not show elevation; color of roof does not fit the area; clarification of awnings versus overhangs; and the screened in area needs more information provided; confusion with the cut sheets and the lack of detailed information provided.

Mr. McAllister made a motion to approve DRB-000876-2020 with the following conditions:

1. Additional details be provided that shows wall connections and bracket details with dimensions that can be reviewed and approved by two DRB Board members.
2. Additional landscape be provided along the planned north patio area.
3. Provide clarification on the color of the doors, windows and trim.

After Board discussion, Mr. McAllister withdrew his motion.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

b. Alteration/Addition

i. Hargray Building Repaint, DRB-002611-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends denial as submitted.

Chair Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length and the following concerns and recommendations were made regarding the project: concern of the use of hardy plank siding for roofing and how it would be terminated at the top; reevaluation of the eyebrow and material; use of shingle or shake rather than siding; provide color swatches for samples and define the scope of the project.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

ii. Grayco Addition, DRB-002627-2020

Mr. Darnell stated the application was previously presented on December 8, 2020 and withdrawn by the applicant prior to a vote. He presented the application as described in the Board's agenda package. Staff recommends approval as submitted.

Chair Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The applicant noted they pushed the structure 5 feet further back from the road to hide it behind the building even more. The Board and the applicant discussed the application at length and the board was of the consensus the applicant addressed their comments and concerns. It was suggested additional plantings of two 12 foot cedar B trees at the section near Palmetto Bay Road.

Chair Gentemann asked for a motion on the application. Mr. Carstens moved to approve DRB-002627-2020 with the following condition:

1. That two additional 12 foot Southern Red Cedars (Key: Plant B) be added to the western frontage of the lumber racks along Archer Road to be placed in field with the rest of the materials for optimal coverage.

Vice Chair Foss seconded. By way of roll call, the motion was passed by a vote of 7-0-0.

iii. Holy Family Catholic Church Reroof, DRB-002629-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends approval as submitted.

Chair Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application in depth. It was confirmed by the applicant there is no change to the parapet or the addition of coping.

Chair Gentemann asked for a motion on the application. Chair Gentemann moved to approve DRB-002629-2020 as submitted. Mr. Moleski seconded. By way of roll call, the motion was passed by a vote of 7-0-0.

c. *New Development – Conceptual*

i. 85 Capital Drive Lot 10, DRB-002636-2020

Mr. Darnell stated the application was previously presented on December 8, 2020 and withdrawn by the applicant prior to a vote. He presented the application as described in the Board's agenda package. Staff recommends conceptual approval as submitted.

Chair Gentemann asked if the applicant would like to add to Staff's narrative. The applicant did not have anything further to add to Staff's presentation. The Board and the applicant discussed the application at length and the following recommendations were made: address sidewalk connections that seem to be out of alignment with the door; address the door on the right side where there is no hardscape access; be sure to retain as much buffer as possible on the Leg O Mutton side; make sure to show how awnings are being supported; include designation of downspouts on rear elevation; scale of light fixtures on the front elevation along with designation of lighting location; suggestion that the overhangs above the overhead doors be similar to the front elevation; reminder that a plan for landscaping needs to be submitted in the final submittal.

Chair Gentemann asked for a motion on the application. Mr. McAllister moved to approve DRB-002636-2020 with the following conditions:

1. An effort is made to retain as much vegetation in the Leg O Mutton buffer as is possible.
2. All sidewalk connections should align with the doors.
3. To study the scale of the light fixtures.

Vice Chair Foss seconded. By roll call, the motion was passed by a vote of 7-0-0.

8. Board Business – Chair Gentemann is in the process of drafting a letter to Town Council regarding building heights, setbacks, buffers, etc., which will be ready for discussion at the next meeting.

9. Staff Report

- a. Minor Corridor Report – Mr. Darnell stated there was no report at this time.

10. Adjournment

The meeting was adjourned at 3:16 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Scott Corkern Company: Scott Corkern Architect
 Mailing Address: 1080 May River Road City: Bluffton State: SC Zip: 29910
 Telephone: 843 816-2984 Fax: _____ E-mail: corkern@hargray.com
 Project Name: St Andrews Entry Project Address: 20 Pope Avenue
 Parcel Number [PIN]: R 552 015 000 0228 0000
 Zoning District: LC District Overlay District(s): Corridor Review

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

1/15/21

DATE

From: [Scott D Corkern](#)
To: [Darnell Chris](#)
Subject: ST ANDREWS ENTRY PARCEL: R552 015 000 0228 0000 Design review application (1/4)
Date: Friday, January 15, 2021 1:35:50 PM
Attachments: [DesignReviewApp p1.pdf](#)
[DesignReviewApp p2.pdf](#)

THIS MESSAGE ORIGINATED OUTSIDE YOUR ORGANIZATION

Chris

the only thing i think is missing is a check. do i need to get two sets hardcopy to the town? if i don't need to send hardcopy i will just mail in the check.

Narrative

St Andrews is having problems getting it's older and wheelchair bound members into the sanctuary. This problem is worse in rain and bad weather.

I propose an extension of one of the sanctuary's existing gables to shelter an area where older , and wheelchair bound parishioners can be taken to the elevator and thus into the church sheltered.

Landscape Plan

There are only 68 SF of disturbed ground in this project. The site has mature landscaping which will be replaced if damaged .



From: [Scott D Corkern](#)
To: [Darnell Chris](#)
Subject: Colors St ANDrews
Date: Wednesday, January 27, 2021 4:58:25 PM

THIS MESSAGE ORIGINATED OUTSIDE YOUR ORGANIZATION

COLORS

as we are only doing a small covered area for handicapped entry we propose matching the original colors of stucco , wood trim , and asphalt shingles.

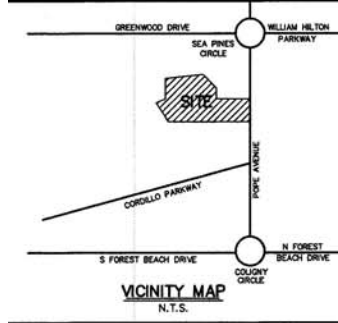
Further we have not spent the Church's money up front for engineering drawings of the new column , and cantilever beam. I would propose that you give me approval for this addition. Then knowing we can build i spend the church's money on the engineer. i can submit the final engineering drawings for staff approval . The final engineering should be fairly close to my design drawings.

Scott Corkern
Architect









N/F THE TOWN OF
HILTON HEAD ISLAND
R552-015-000-0256-0000

N/F SEABROOK OF HILTON HEAD
JOAB DOWLING
R550-015-000-0218-0000

N/F 18 POPE AVENUE LLC
R552-015-000-0150-0000

N/F BISHOP OF CHARLESTON
R552-015-000-0076-0000

UNDERGROUND UTILITY LEGEND:
 -UGF- UNDERGROUND FIBER OPTIC
 -UGP- UNDERGROUND POWER
 -UGT- UNDERGROUND TELEPHONE
 -UGTW- UNDERGROUND TELEVISION
 -UGW- UNDERGROUND WATER
 -SS- SANITARY SEWER
 -SSLAT- SANITARY SEWER LATERAL

NOTES

- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A-2, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-D, COMMUNITY NO. 450250, MAP DATED 9/29/88, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- BUFFER AND SETBACKS AS PER TOWN OF HILTON HEAD. NEED TO RE-VERIFY!!
- PER TOWN OF HILTON HEAD ISLAND OFFICIAL ZONING DISTRICT MAP, EFFECTIVE DATE: OCTOBER 7, 2014. LAST UPDATE: OCTOBER 7, 2014 THIS PROPERTY IS ZONED: LC (LIGHT COMMERCIAL).
- THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

REFERENCE PLATS:

- A COMPOSITE PLAT OF PARCELS LOCATED BETWEEN POPE AVENUE AND SEA PINES FOREST PRESERVE, DATED: 6/28/77, LATEST REVISION: 3/6/79, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784.
- 4.73 ACRES, ST. ANDREW BY THE SEA UNITED METHODIST CHURCH, POPE AVENUE, DATED: 8/20/97, LAST REVISED: 12/3/97, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 64 PG. 89.
- PLAT OF 1.84 ACRES, AREA E, SEA PINES PLANTATION, DATED: 4/24/70, BY: J.J. HUTTON, S.C.R.L.S. NO. 1650, RECORDED: P.B. 18 PG. 160.
- A PLAT OF ZONE 4, PARCEL REVISIONS, POPE AVENUE, SEA PINES PLANTATION, DATED: 12/10/73, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 22 PG. 97.
- UTILITIES PLAN, ST. ANDREW BY-THE-SEA UNITED METHODIST CHURCH, DATED: 09/06/2001, BY: ADC ENGINEERING COMPANY.
- BOUNDARY, TREE & TOPOGRAPHIC SURVEY OF 4.73 ACRES, ST. ANDREW BY-THE-SEA UNITED METHODIST CHURCH, DATED: 10/05/2000, LAST REVISED: 3/29/2004, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, SURVEYING CONSULTANTS

PREPARED FOR: ST. ANDREW BY-THE-SEA-UNITED METHODIST CHURCH

ADDRESS: #20 POPE AVENUE
TAX PARCEL I.D. NO. R552-015-000-0228-0000



CONC. O.	CONTOUR	CONCRETE MONUMENT, OLD (FOUND)
T.B.M.	TEMPORARY BENCH MARK	IRON PIN, NEW (SET)
C.M.P.	CORRUGATED METAL PIPE	CORRUGATED PLASTIC PIPE
C.P.P.	POLYVINYL CHLORIDE	REINFORCED CONCRETE PIPE
P.V.C.	REINFORCED CONCRETE PIPE	BAU
R.C.P.	GUM	HO
B	GUM	LA
HO	HOLLY	LO
LA	LORNA OAK	MAG
LO	LIVE OAK	MAGNOLIA
MAG	MAGNOLIA	OAK
OK	OAK	PALM
PLM	PALM	PN
PN	PINE	SAS
SAS	SASSAFRAS	TAL
TAL	TALLOW	WAX
WAX	WAX MYRTLE	WO
WO	WATER OAK	HIC
HIC	HICKORY	TFR
TFR	TRANSFORMER	TE
TE	TELEPHONE BOX	TV
TV	TELECOM. BOX	TOB
TOB	CABLE TELEVISION BOX	CL
CL	GROUND LIGHT	LP
LP	LAMP POST	IE
IE	INVERT ELEVATION	SSMH
SSMH	SANITARY SEWER MANHOLE	PP
PP	POWER POLE	FE
FE	FINISH FLOOR ELEVATION	Q
Q	GRATE INLET	FT
FT	CURB INLET	WM
WM	FIRE HYDRANT	EM
EM	WATER VALVE	FD
FD	ELECTRIC METER	
	FIRE DEPARTMENT CONNECTION	

Table

Zoning District -LC district
 Overlay District - Corridor Overlay
 Use of property - Church
 Gross site Acres - 4.73ac
 Net Site Acres - 4.73
 Totally allowed Density - 47,300 SF
 Existing Building SF -47,200 SF
 Proposed SF 68 SF HC Elevator
 Allowable height - 45'
 Proposed building height - 28'
 total site206,039 SF
 Allowable imp .. 60% 123,623 SF
 Current Impervious -51% 105,547sf
 Proposed Impervious 51% 105,615
 Maximum parking spots required
 Existing Parking Spots
 8HC Spaces 135 Regular spaces
 Needed Parking spots
 8HC Spaces 135 Regular spaces
 Proposed Additional Parking NONE

**ST. ANDREW BY-THE-SEA
UNITED METHODIST CHURCH
4.73 ACRES, POPE AVENUE**

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 30' DATE: 12/31/2014 JOB NO: SC87471B-8



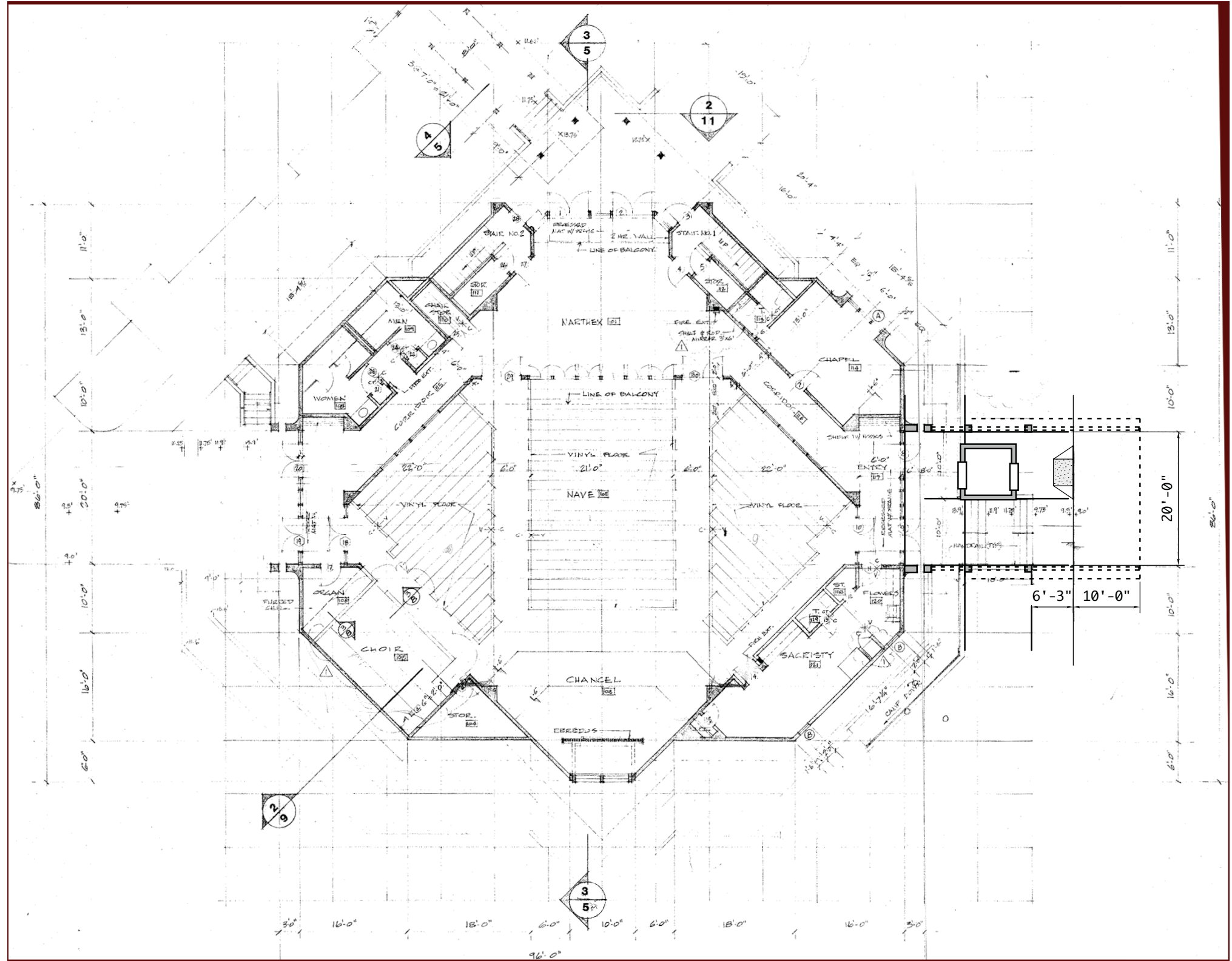
SURVEYING CONSULTANTS

17 Sherington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 815-3304 FAX: (843) 815-3305
 GA Telephone: (912) 826-2775

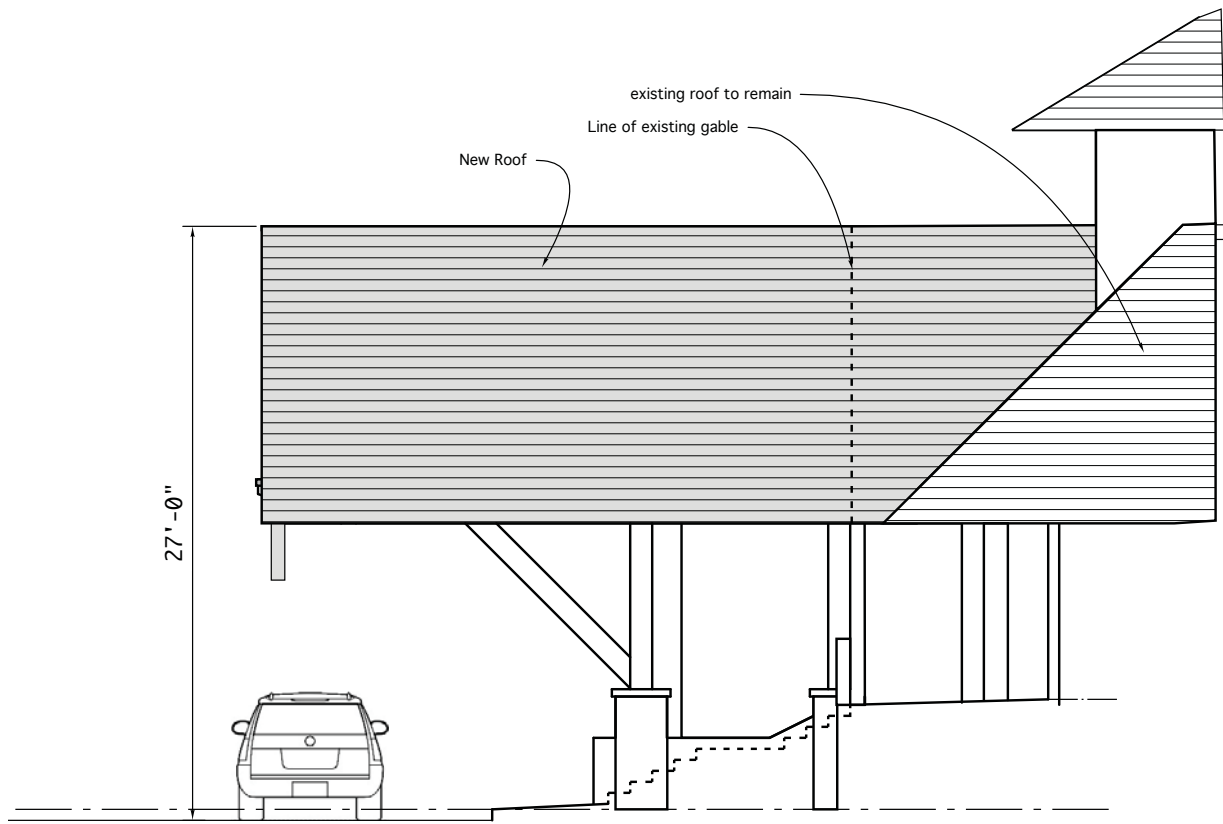
Scott Corkern Architect
 (843) 816-2984
 1080 May River Road
 Bluffton SC 29910

St Andrews by the Sea

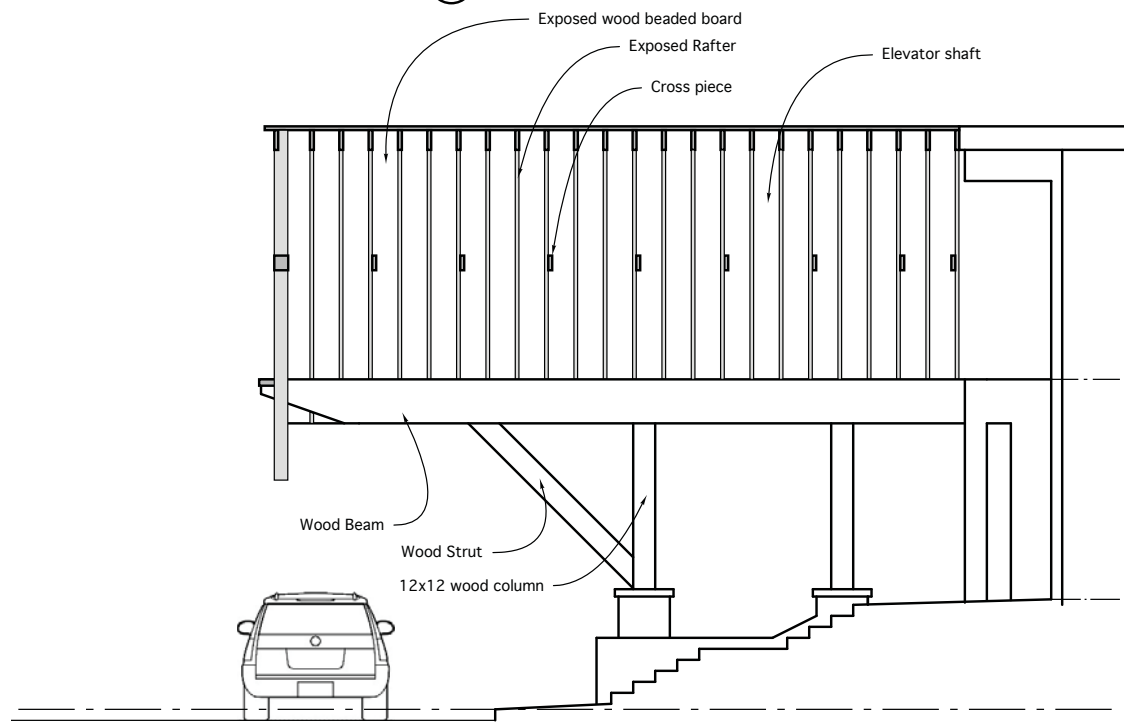
20 Pope Avenue
Hilton Head IS SC



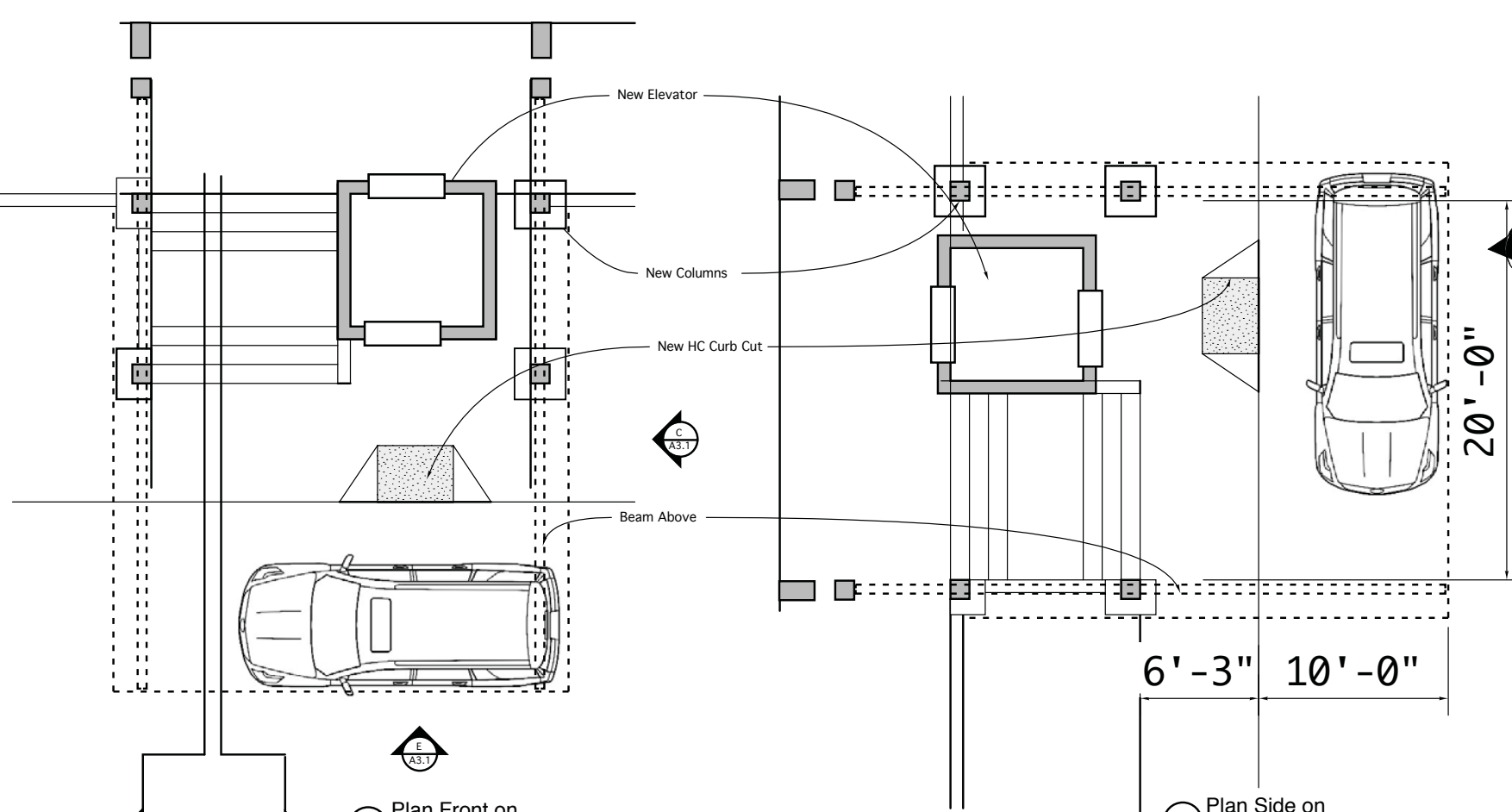
(A) Plan
1/8" = 1'-0"



C Elevation Side on
1/4" = 1'-0"

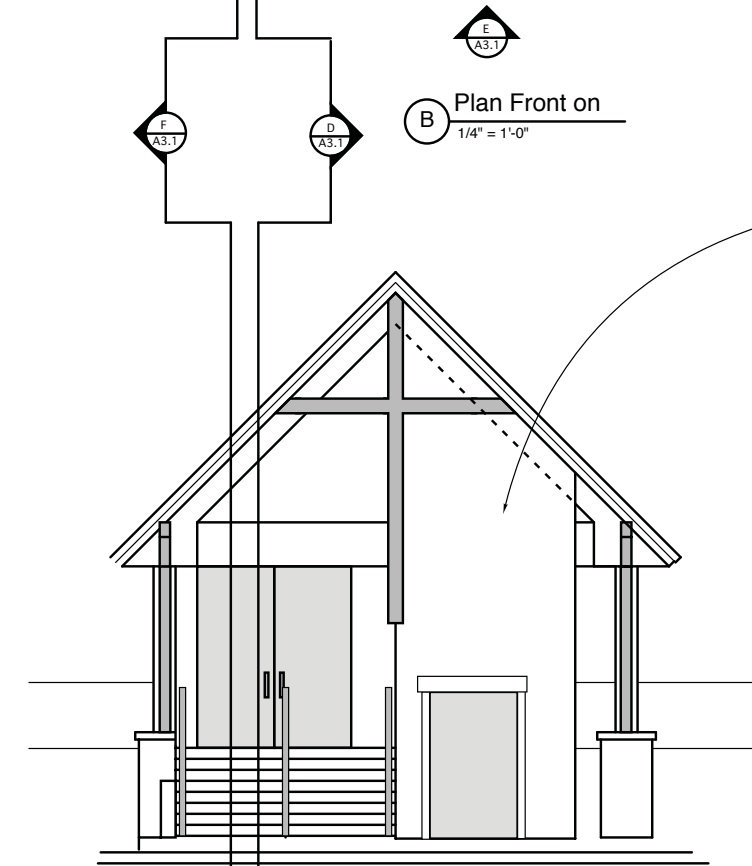


F Section Left
1/4" = 1'-0"

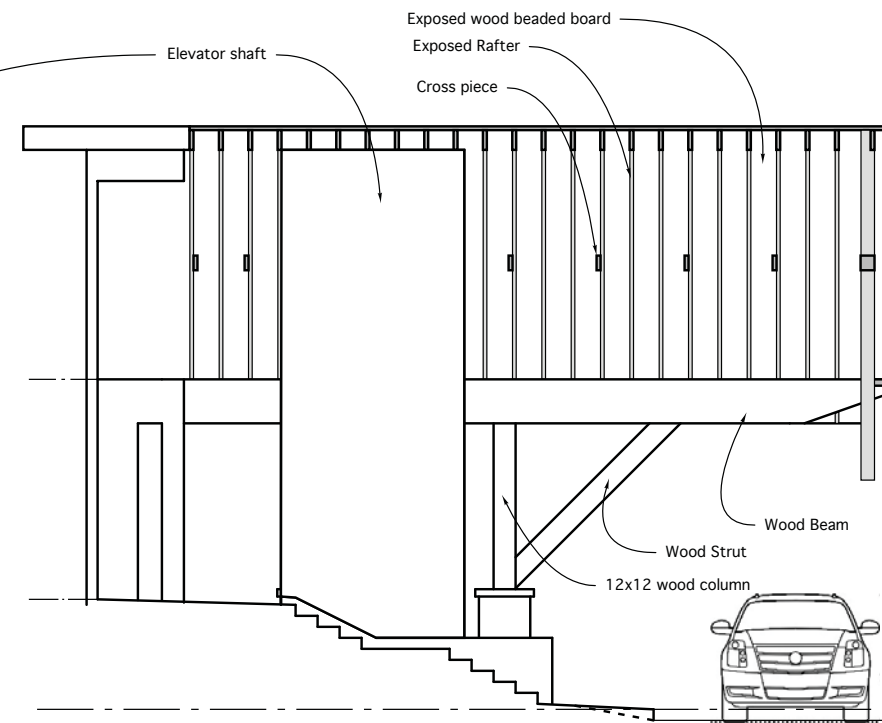


B Plan Front on
1/4" = 1'-0"

A Plan Side on
1/4" = 1'-0"



E Elevation Front on
1/4" = 1'-0"



D Section Right
1/4" = 1'-0"



Scott Corkern Architect
(843) 816-2984
1080 May River Road
Sturton SC 29510

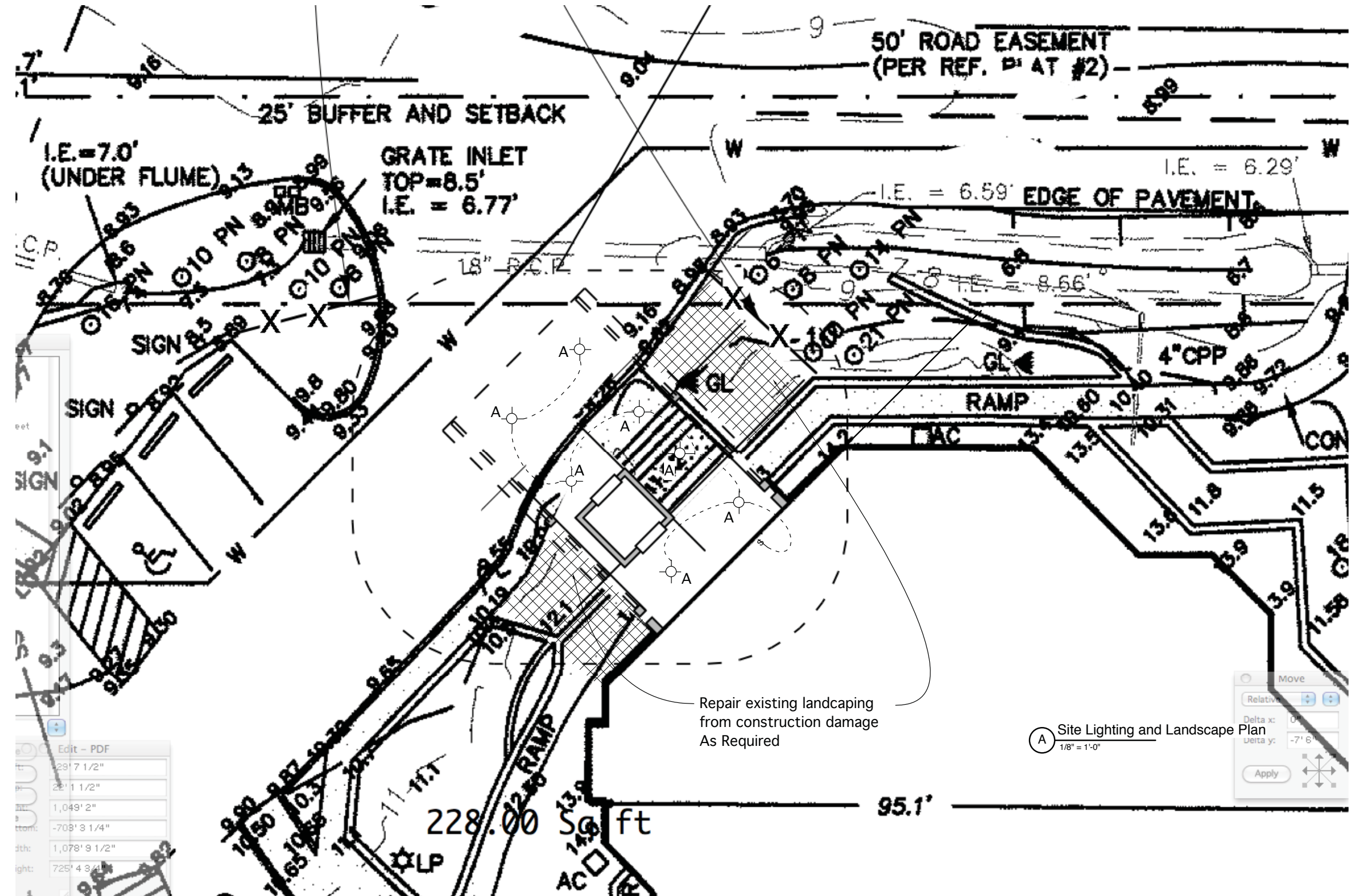
St Andrews by the Sea

20 Pope Avenue
Hilton Head IS SC

Light A



40 Watt down light



Edit - PDF	
Top:	29' 7 1/2"
Left:	22' 1 1/2"
Right:	1,049' 2"
Bottom:	-708' 3 1/4"
Width:	1,078' 9 1/2"
Height:	725' 4 3/4"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: St. Andrew's Entry

DRB#: DRB-000097-2021

DATE: 01/27/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The provided sections and details lack specifics: 1. wood column connection details and finish, 2. new roof material, color and finish, 3. dimensions 4. treatment of existing door and windows.
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The connection is not clear in the provided plans.
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not specified.

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not specified.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not specified.
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The windows and architectural detailing of "E – Elevation Front On" should be rethought to identify it as the front door.
Decorative lighting is limited and low wattage and adds	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a light fixture cut sheet for the proposed

to the visual character				fixtures that specifies 3000K or less LED and fixture footcandles.
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LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape plan.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lay down area should not be on pervious ground under existing tree canopies. Please identify a lay down area on the site plan.

MISC COMMENTS/QUESTIONS

This is an Alteration / Addition and as such only requires one review by the DRB. It is Staff opinion that not enough detail and specification of materials and colors is provided in the drawings for DRB approval. Staff is not opposed to the concept but the number of missing specifications in the drawings requires the recommendation of "Denial".



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	1/26/21
Accepted by:	
DRB #:	145-2021
Meeting Date:	

Applicant/Agent Name: David Staigar Company: Hargray Communacations
 Mailing Address: 870 William Hilton Parkway City: Hilton Head State: SC Zip: 29928
 Telephone: 843-384-1139 Fax: _____ E-mail: david.staigar@htc.hargray.com
 Project Name: F Building Exterior Uplift Project Address: 856 F William Hilton Parkway
 Parcel Number [PIN]: R 550 011 000 0390 0000
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- X _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

David Staigar

SIGNATURE

~~4/21/20~~ 1/21/21

DATE

Greetings Board Members,

I am applying for alterations to our Main Central Office for Hargray Communications at the address 856F William Hilton Parkway, Hilton Head, SC

The change that we are requesting will be the paint color of the whole building, the color of the building is a yellowish shade and we would like to change the color to Functional Grey SW# 7024.

This color was approved last year for the exterior of our building at 862A William Hilton Parkway and we also used the same color for our new Retail Store that we renovated in Bluffton and would like to continue to paint the exterior of all of our buildings as we upgrade and renovate.

I have included photos and a thumb drive of the exciting color of the building and samples of the new color that we would like to paint whole building in the Functional Grey.

Thank you for your consideration of these changes, I look forward to hearing your input and decisions in this matter.

David Staigar

Facilities & Construction Supervisor

Hargray Communacations.









F





F

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hargray F Building Repaint

DRB#: DRB-000145-2021

DATE: 01/27/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The existing weathered shingles remain unpainted.

MISC COMMENTS/QUESTIONS

1. This project was last reviewed by the DRB at the Jan 12th meeting and withdrawn at the applicants request.
2. Staff recommends the shingles not be painted.



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 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #:	_____

Business Name on Sign: The Sandbox Address of Sign: 25 Forest Beach Dr, HHI
 Business License #: 5899 Exp. Date 12/31/21 Phone #: 843. 942. 7645
 Business Physical Address: 25 Forest Beach Dr Email: jim@ogantfamily.com
 Parcel Number [PIN]: R552 015 000 0256 0000
 Property Owner Name: Town of Hilton Head Phone #: 843. 341. 4600
 Property Owner Business License #: NA Exp. Date NA
 Designer/Agent Name: Sign D' Sign Ventures Email: SC
 Physical Address: 270 Red Cedar St 102 City: Bluffton State: SC Zip: 29910
 Business License #: _____ Exp. Date _____ Phone #: _____
 Installer (if different than Designer/Agent): same as above Email: "
 Physical Address: " City: " State: " Zip: "
 Business License #: " Exp. Date " Phone #: "

SIGN SUBMITTAL REQUIREMENTS

See Sign Review Checklists for the application and design requirements for each type of sign below.

The proposed sign(s) is: New or An alteration to an existing sign

Type of Sign	Number of Signs	Number of Sign Faces
Freestanding		
Façade		
Hanging		
Tenant Panel on a Freestanding Sign		
Construction or Project Sign		
Temporary Sign for a Permanent Sign		
Real Estate Sign Larger than 4 Sq. Ft.		
Real Estate Sign 4 Sq. Ft. or Smaller		
Residential Short-Term Rental Sign		
Totals		

Application Fee: \$25 filing fee + \$25 for each sign face. Cash, Credit Card, or Check accepted.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request?
 If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Sean Congleton

APPLICANT NAME (PRINT)

[Signature]

APPLICANT SIGNATURE

1/25/21

DATE

THE SANDBOX CHILDREN'S MUSEUM | BUILDING SIGN

One new building sign to read "<Logo> The Sandbox An Interactive Children's Museum" to be installed onto the building as shown in the rendering below. The sign will be constructed of 1.5" thick routed HDU panels and will be routed out at approximately 1/4" depth on one side. The sign will feature raised borders and copy on a smooth, recessed background and will be painted as noted, with the returns matching the color of the borders on the face. The sign will be flush stud mounted to the facade of the building using studs/toggle bolts and industry standard mounting techniques and hardware. The sign will be manufactured and painted to the outlined size and color specifications listed below and will not be internally illuminated. The fonts used on the sign are custom logo fonts.

TO MATCH SIDING
(BORDER, CASTLE & TAG LINE)

TO MATCH TRIM
(BACKGROUND)

LUXURIOUS RED SW 6314
(FLAG)

LOYAL BLUE SW 6510
(THE SANDBOX)

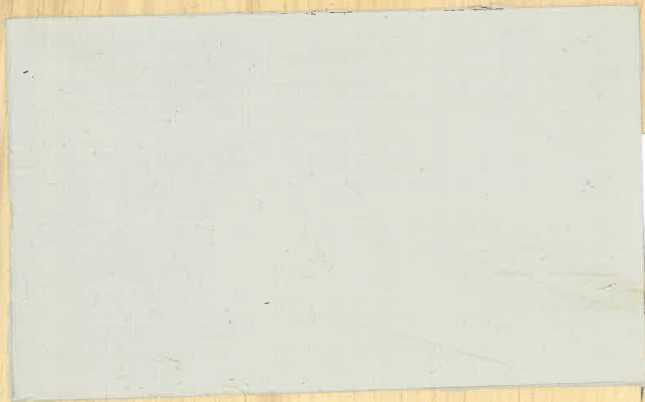


PROPOSED:



4 EAST ELEVATION
A1.301 1/8" = 1'-0"

SIGN
D'Sign
550H



Color matched to building trim

- Background



Color matched to building siding

- Border
- Sandcastles
- Tag line



- Red for Sandbox name
 - SW 6314 Luxurious Red
- Blue for flag
 - SW 6510 Loyal Blue

14'-7" Wide

4'-6" High

4-3

the sandbox
AN INTERACTIVE CHILDREN'S MUSEUM

Sandbox: 20-1/4" High

Border: 1-1/2" Wide

Castle w/ Flag: 3'-4-1/2" High and Wide
Tag Line: 3-3/4" High
Scale: 1/2" = 1'-0"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sandbox Children's Museum

DRB#: DRB-000118-2021

DATE: January 26, 2021

RECOMMENDATION: Approval Approval with Conditions Denial

As submitted.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Eric Walsnovich Company: Wood + Partners, Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: 843-681-6618 Fax: _____ E-mail: ewalsnovich@woodandpartners.com
 Project Name: HHI Airport Entry Project Address: 120 Beach City Road
 Parcel Number [PIN]: R510 008 000 0085 0000 _____
 Zoning District: Light Industrial Overlay District(s): Corridor + Airport

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
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- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

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- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

1-8-2021
DATE

Hilton Head Island Airport Entry

Hilton Head Island, SC

Design Review Board

January 27, 2021

The DRB originally approved the Sign Application as Airport Sign, DRB-000994-2019. We are resubmitting the sign for DRB review and approval at the request by town staff, due to adjacent entrance site work items which were not installed due to contractor bids exceeding the allotted public funding amounts for this first phase of improvements of the Hilton Head Island Airport Campus Revitalization Master Plan.

This project was Phase One of the Hilton Head Island Airport Campus Revitalization project.

The Hilton Head Island Airport entrance project renovated and revitalized the Main Airport Terminal Entrance located at Beach City Road to improve street visibility and give the campus a fresh new look.

Pre-existing conditions at the entrance included damaged vehicular pavement and curbing; a dated primary ID sign; poor storm water drainage; inadequate irrigation; outdated street light fixtures; and overgrown vegetation on both sides of the entry drive.

Improvements that were recently installed included a new monument entrance sign; newly widened entrance and exit vehicular drive lanes; improved storm water management facilities; new concrete curbs; new landscaping including plants, irrigation and sculpture accent lighting; new street pole lighting fixtures; and a new planted, triangular island to showcase the *Humanus* sculpture, which is a public art piece from the 2018 Public Art Exhibition on Hilton Head Island, and selected for this site by the Public Art Fund of the Community Foundation of the Lowcountry.

A major component of this revitalized entrance was the *Humanus* sculpture piece, which is made of naturally weathered steel. The new monument sign utilized metal materials that were powder coated providing a consistent use of material and nature blending colors with that of the *Humanus* sculpture piece.

The site improvements that were deleted from this first phase of construction were due to contractor bids exceeding budgets, and consequently will be considered for future phases of site improvements according to the Hilton Head Island Airport Campus Revitalization Master Plan. They include:

1. Sidewalk, crosswalks, and bollard lights to connect Beach City Road to the Parking Lot;
2. A raised plant bed with metal retaining wall within triangular island to be located approx. 200 feet from the center of Beach City Road. This 24"-36" high metal retaining wall was designed and approved using corten steel to allow it to naturally rust and blend with the *Humanus* sculpture's color and finish.

It is in our opinion, that the original DRB approval for the sign should continue to be upheld, as the site work elements deleted from this phase of work were not a part of the physical sign's design and subsequent construction, but were proposed site improvements to the Airport's Campus as a whole.

Thank you for your time and consideration,
Respectfully submitted,

Eric Walsnovich, PLA
Sr. Project Manager
Wood + Partners, inc.

Hilton Head Island Airport VE Revisions

Below please find an outline of plan revisions contained in this submittal:

- L-100 Site Plan:
 - Remove concrete sidewalk along western side of entrance (and all grading & earthwork associated with sidewalk)
 - Remove all pathway bollard lights
 - Remove paver crosswalk
 - Remove metal retaining wall & associated fill. Sculpture base to be installed on grade; provide small mound for drainage (see spot grade on plan)
- L-200 Details:
 - Pathway accent light removed from project
 - Revised monument sign detail (sign wall now 3 part stucco with oyster shell finish; changed 8" CMU blocks to 12" CMU blocks)
- L-201 Details:
 - Removed retaining wall from project
 - Removed pavers from project
 - Removed concrete walk from project
- L-300 Planting Plan:
 - Removed note calling for seeding in brush hogged area



Photo of Installed Sign



CONCEPTUAL ILLUSTRATIONS FOR
HILTON HEAD ISLAND AIRPORT ENTRY
HILTON HEAD ISLAND, SC

SITE KEY LEGEND:

- S1 4" CONC RETE WALK
DETAIL 2 / L-201
- S2 PATHWAY LIGHT
DETAIL 2 / L-201
- S3 PERMEABLE PAVERS
DETAIL 2 / L-201
- S4 ACCENT LIGHT - SCULPTURE
DETAIL 2 / L-200
- S5 PRIMARY ID SIGN
DETAIL 1 / L-200
- S6 LOW METAL RETAINING WALL
DETAIL 1 / L-201
- S7 SCULPTURE FOOTING
DETAIL 3 / L-201
- S8 ROCK MOW EDGE
DETAIL 2 / L-201

SITE SUMMARY:

PARCEL PIN NUMBER:	R510-008-000-0085-0000
TOTAL SITE AREA:	93.06 ACRES
TOTAL AREA OF DISTURBANCE:	± 1.0 ACRES
ZONING DISTRICT:	IL
MAXIMUM BUILDING HEIGHT:	35'
MAXIMUM IMPERVIOUS COVER:	65%
PROPOSED ADDITIONAL IMPERVIOUS COVER (NET CHANGE):	± 3,805 SF (±.08 AC.)

PAVING / MATERIAL & LIGHTING SCHEDULE:

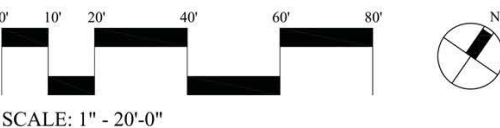
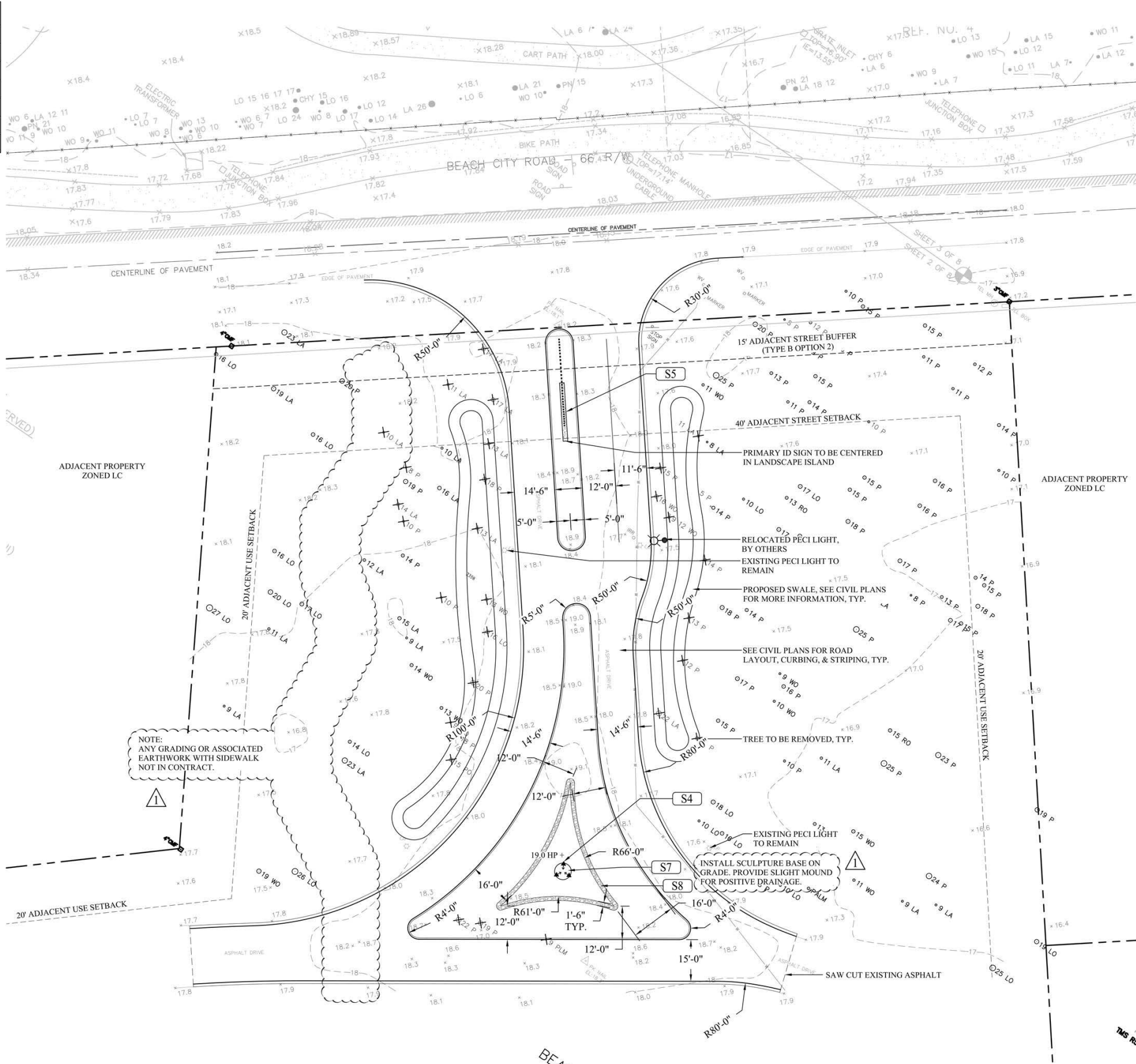
- 4" CONC RETE WALK
SEE DETAIL 2/L-201
- ADA COMP PAVERS
STEP SAFE TILES (12" X 12" X 3/4")
COLOR: CHOCOLATE BROWN
- CONTINGENT
SEE DETAIL 5/L-201
- PATHWAY LIGHT (7 TOTAL)
ATTRACTION LIGHTS
4"x4"x24" PATHWAY LIGHT
MINIMALIST MODEL
WEATHERED STEEL FINISH
10W, 3,000K LED ON TIMER
PH: 970-316-0019
- ACCENT LIGHT (3 TOTAL)
VISTA PRO LIGHTING
MODEL: GR-5006-DZ-5.5-W-36
CAST ALUMINUM WITH
DARK BRONZE POWDER
COAT FINISH
- PERMEABLE PAVERS CROSSWALK:
PINE HALL BRICK (OR APPROVED EQUAL)
STORMPAVE PERMEABLE VEHICULAR PAVER
COLOR: FULL RANGE
PATTERN: 45° HERRINGBONE (HATCH
PATTERN DENOTES DESIGN INTENT)
BORDER: SINGLE HEADER COURSE
SEE DETAIL 4/L-201
- EXPANSION JOINT
SEE DETAIL 5/L-201
- RELOCATED PECL LIGHT (1 TOTAL):
SEE PALMETTO ELECTRIC'S LIGHTING
PLAN
- ROCK MOW EDGE:
18" WIDE X 4" DEEP COMPACTED
AGGREGATE - LARGE SUNSET
DECORATIVE AGGREGATE FROM
COURTYARD LANDSCAPE SUPPLY;
843-681-7625. SEE DETAIL 2/L-201

GENERAL NOTES:

- CONTRACTOR TO PROVIDE TRAFFIC SAFETY PLAN FOR DURATION OF CONSTRUCTION AT PRE-CONSTRUCTION MEETING.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF MATERIALS STORAGE AND LAY DOWN AREA, AS WELL AS, EQUIPMENT STORAGE AND EMPLOYEE PARKING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH OWNER ON CONSTRUCTION SEQUENCING, SCHEDULING AND ACCESS/PARKING. CONTRACTOR TO MAINTAIN CLEAN SITE AND NOT INTERRUPT OPERATIONS OUTSIDE OF WORK LIMIT.
- ALL DISTURBED AREAS AND PROPOSED GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE MULCHED AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO BE PROVIDED WITH GEO TECHNICAL REPORT ALREADY PREPARED FOR THE SITE. CONTRACTOR RESPONSIBLE FOR NOT OVERLY COMPACTED AREAS PROPOSED FOR STORM WATER DETENTION AND INFILTRATION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR RESPONSIBLE FOR COORDINATING ELECTRICAL CONDUIT FOR RELOCATED PALMETTO ELECTRIC LIGHT POLE AND SITE BOLLARD LIGHTS.

LAYOUT NOTES:

- OBTAIN CAD DRAWING FILES FROM THE LANDSCAPE ARCHITECT FOR DIGITAL LAYOUT INFORMATION. CONTRACTOR TO STAKE ALL HARDSCAPE LAYOUTS AND PROPOSED GRADING IN FIELD FOR APPROVAL.
- PROVIDE A MINIMUM OF 1% CROSS SLOPE (2% MAXIMUM) ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
- ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE INDICATED.
- CONSTRUCT CONCRETE EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS. ADD CONCRETE CONTROL JOINTS AT LENGTHS EQUAL TO THE PAVEMENTS WIDTH.
- FINISHED GRADES OF CONCRETE SIDEWALK SHALL BE 3" ABOVE FINISHED GRADES OF ADJACENT WOODED AND PLANT BED AREAS. WHERE CONCRETE SIDEWALKS ADJUT TURF AREAS, FINISHED SUBGRADE OF TURF AREA TO BE 2" BELOW FINISHED GRADES OF CONCRETE AND/OR TOP OF CONCRETE CURBS.



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY COOK LAND SURVEYING. PROJECT NO. 18120003, DATED JANUARY 9, 2019. PLAN IS SUBJECT TO CHANGE.

Hilton Head Island Airport
130 Beach City Road
Hilton Head Island, SC 29926

CONSTRUCTION DOCUMENTS
Hilton Head Island Airport
Entry Enhancements
Hilton Head Island, SC

DRAWN BY: DM
CHECKED BY: EPW

This drawing is an instrument of service & remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

#	REVISION	DATE	BY
1	VE REVISIONS	9-19-19	

DATE: 07-18-2019
PROJECT NUMBER: 01-18056
SHEET TITLE: Site Plan

SHEET NUMBER

L-100



PO Box 23948 • Hilton Head Island, SC 29925
843.681.6618 • Fax 843.681.7066 • www.woodpartners.com

DRAWN BY:
DM
CHECKED BY:
EPW

This drawing is an instrument of service and remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

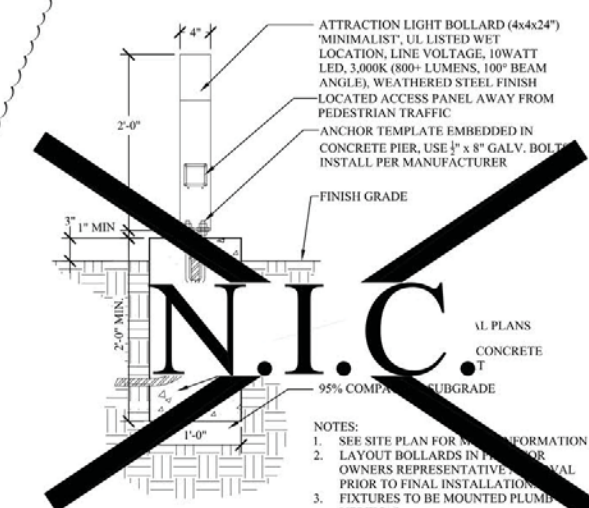
NO.	REVISION	DATE	BY
1	VE REVISIONS	9-19-19	

DATE
07-18-2019
PROJECT NUMBER
01-18056
SHEET TITLE
Details

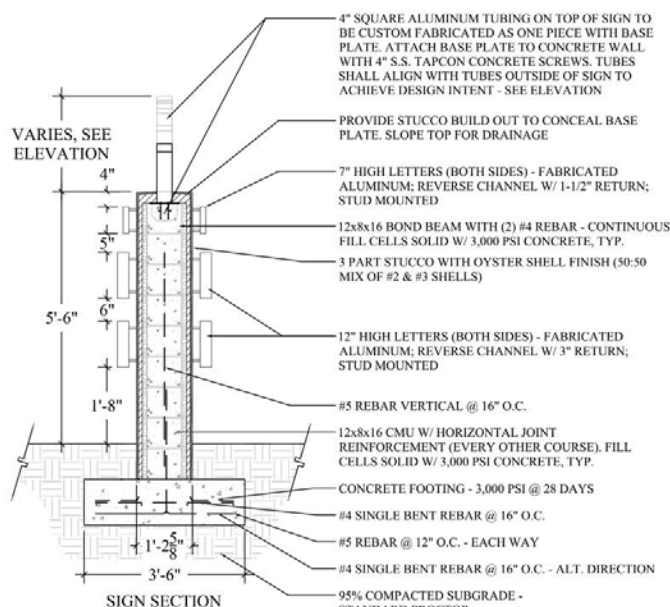
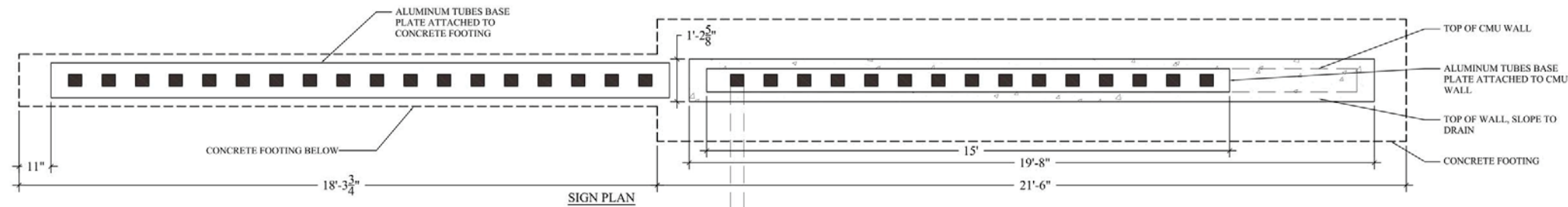
SHEET NUMBER

L-200

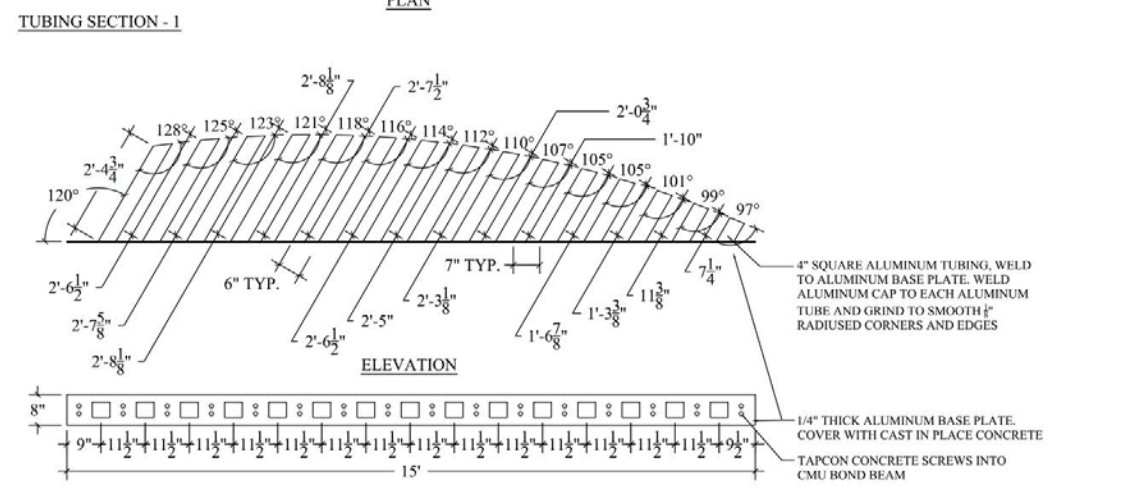
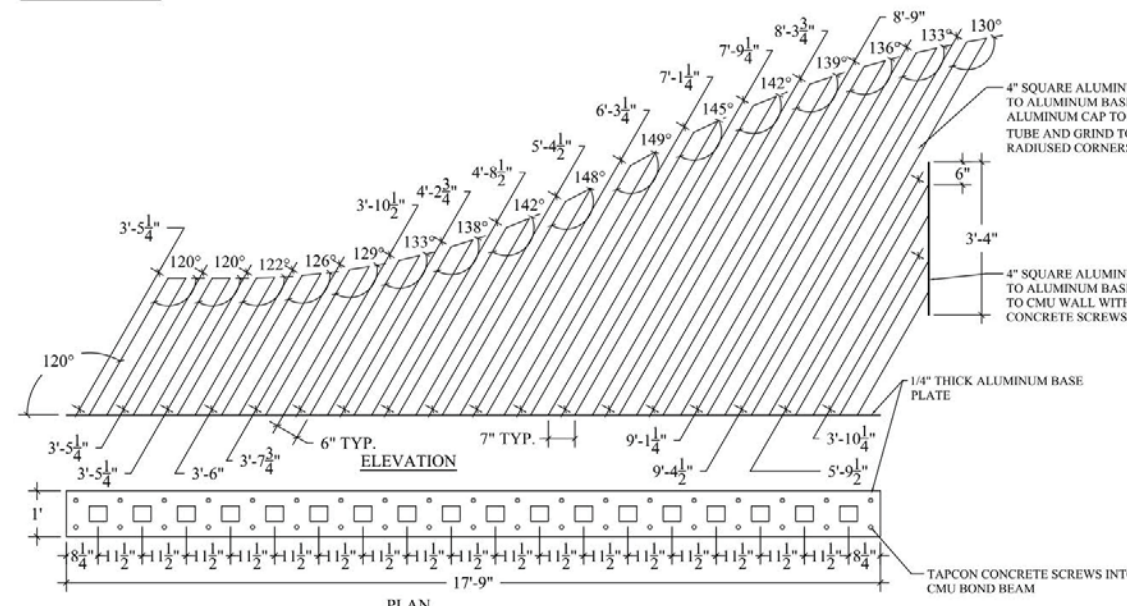
2 PATHWAY AND ACCENT LIGHTS
SCALE: 1" = 1'-00"



NOTES:
1. SEE SITE PLAN FOR LOCATION INFORMATION
2. LAYOUT BOLLARDS IN FIELD FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO FINAL INSTALLATION
3. FIXTURES TO BE MOUNTED PLUMB VERTICAL.



- NOTES:**
- 4" TUBES:
 - ALL ALUMINUM SHALL BE 6063-T52 ALUMINUM WITH 1/8" THICKNESS.
 - SUBMIT COMPLETE AND ORIGINAL SHOP DRAWINGS SHOWING ALL DIMENSIONS, MATERIALS AND FINISHES FOR APPROVAL.
 - SCHEDULE SHOP VISIT TO REVIEW FINISHED, UNPAINTED FABRICATED PRODUCTS IN A SHOP MOCKUP FOR APPROVAL.
 - SUBMIT SAMPLE 4" LONG TUBE WITH POWDERCOAT 'RUSTIC' TEXTURE (UTP-5223) BY PRISMATIC POWDERS OR APPROVED EQUAL FOR APPROVAL.
 - ALL ALUMINUM COMPONENTS SHALL RECEIVE POWDER COATED FINISH WITH APPROVED COLOR.
 - CONCRETE WALL:
 - PROVIDE ONSITE MOCKUP FOR APPROVAL - 4" HIGH x 4" LONG WALL WITH OYSTER SHELL STUCCO FINISH. PRIOR TO PLACING CONCRETE ALL REINFORCING STEEL SHALL BE FREE OF RUST, SCALE, OR ANY FOREIGN MATERIAL.
 - BAR REINFORCEMENT SHALL CONFORM TO ASTM-615, GRADE 60.
 - ALL REBAR SHALL BE 3" MIN. FROM FACE OF CONCRETE.
 - SUBGRADES SHALL BE COMPACTED TO 95% STANDARD PROCTOR & MEET ALL ASTM D-698 STANDARDS. ALL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE.
 - SIGN LETTERS NOTES:
 - ALL LETTERS SHALL BE BY GEMINI - AVAILABLE LOCALLY THROUGH SIGN D'SIGN, 843-757-7057;
 - FABRICATED STAINLESS STEEL - HIGH GRADE, PRE-FINISHED STAINLESS STEEL ALLLOY #316;
 - 16 GAUGE FACES AND 24 GAUGE RETURNS;
 - LASER CUT LETTERS;
 - FINISH - 316 STAINLESS STEEL; PAINTED FINISH - PRIMED THEN SPRAYED W/ 2-PART HARDENED ACRYLIC POLYURETHANE PAINT, OVEN BAKED;
 - COLOR - MEDIUM BRONZE #0312
 - SOLID FACE WITH BACK AND REMOVABLE CAN; BACKLIT LED LIGHTS - WHITE
 - LEXAN BACKS;
 - MOUNTING - REMOVABLE CANS
 - LIT FABRICATED WITH LEDS - BACKLIT LETTERS; LETTERS TO BE TIMES NEW ROMAN LETTER STYLE AND SHALL BE 7 INCHES BY 1-1/2 INCHES DEEP; AND 12 INCHES BY 3 INCHES DEEP.
 - LETTERING MANUFACTURER:
GEMINI INCORPORATED
103 MENSING WAY
CANNON FALLS, MN 55009
PHONE: 800-538-8377 OR 507-263-3957
WWW.GEMINISIGNPRODUCTS.COM



1 PRIMARY ID SIGN
SCALE: 1/2" = 1'-00"

PLAN IS SUBJECT TO CHANGE.

DRAWN BY:
DM
 CHECKED BY:
EPW

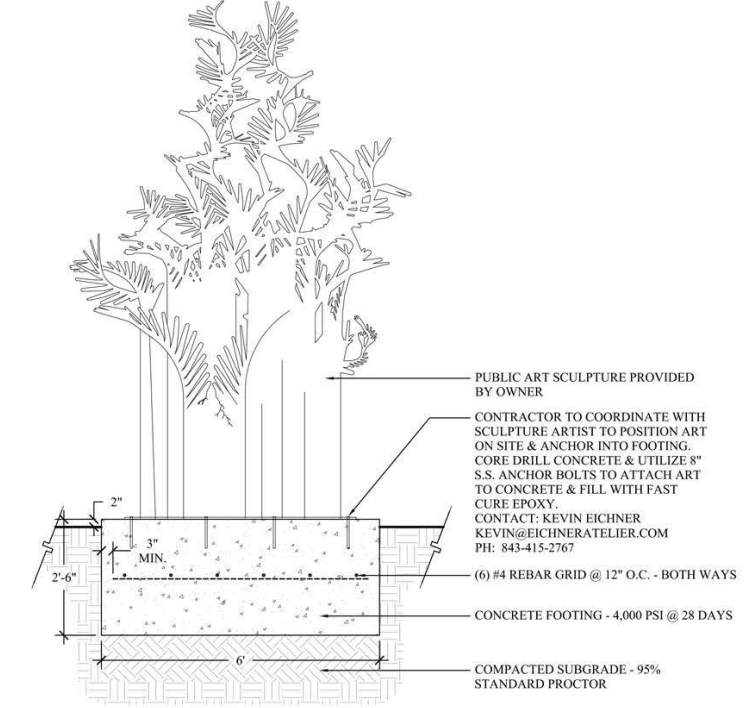
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#	REVISION	DATE	BY
1	VE REVISIONS	9-19-19	

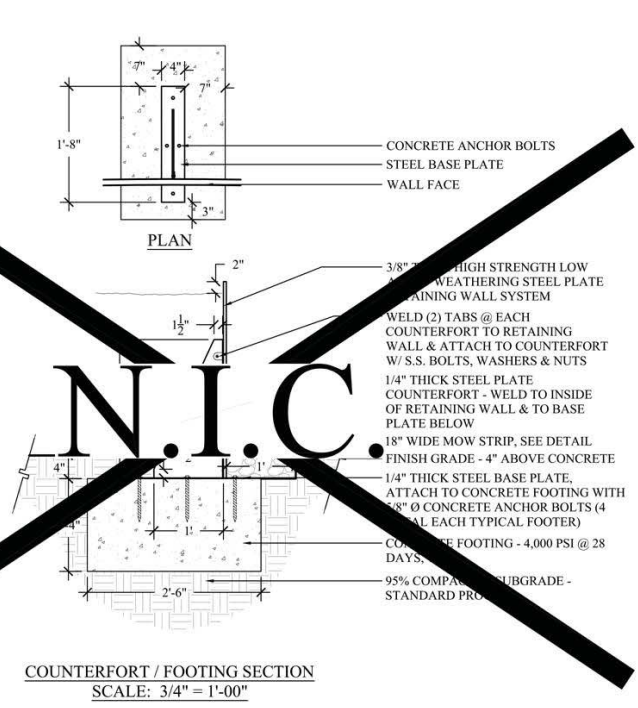
DATE
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 PROJECT NUMBER
01-18056
 SHEET TITLE
Details

SHEET NUMBER

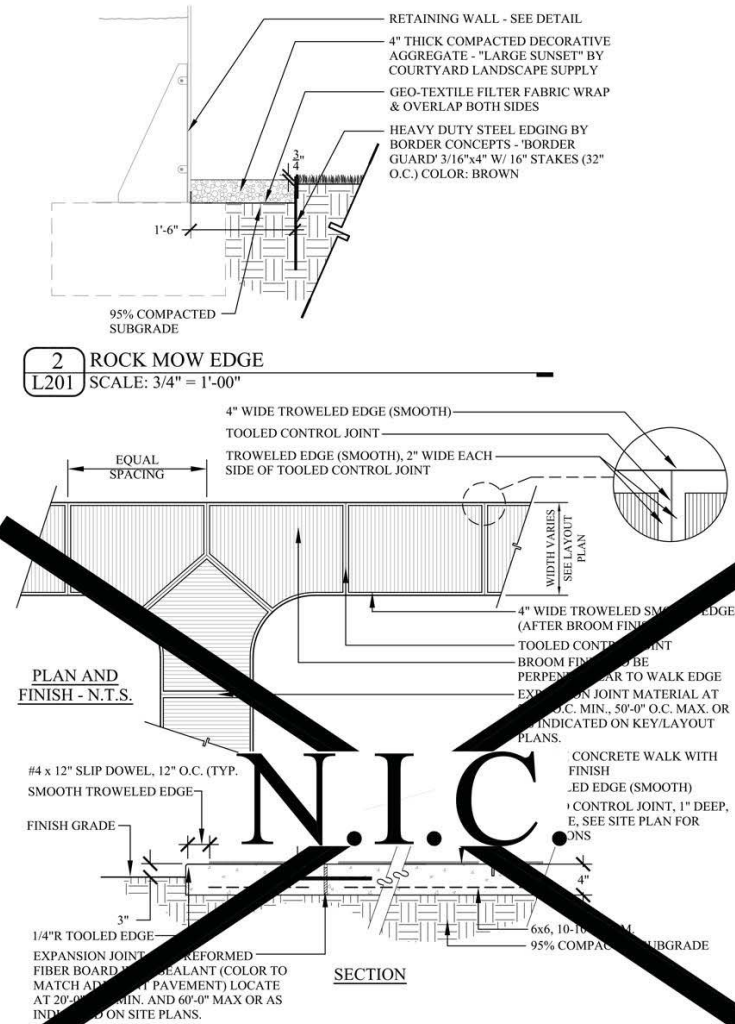
L-201



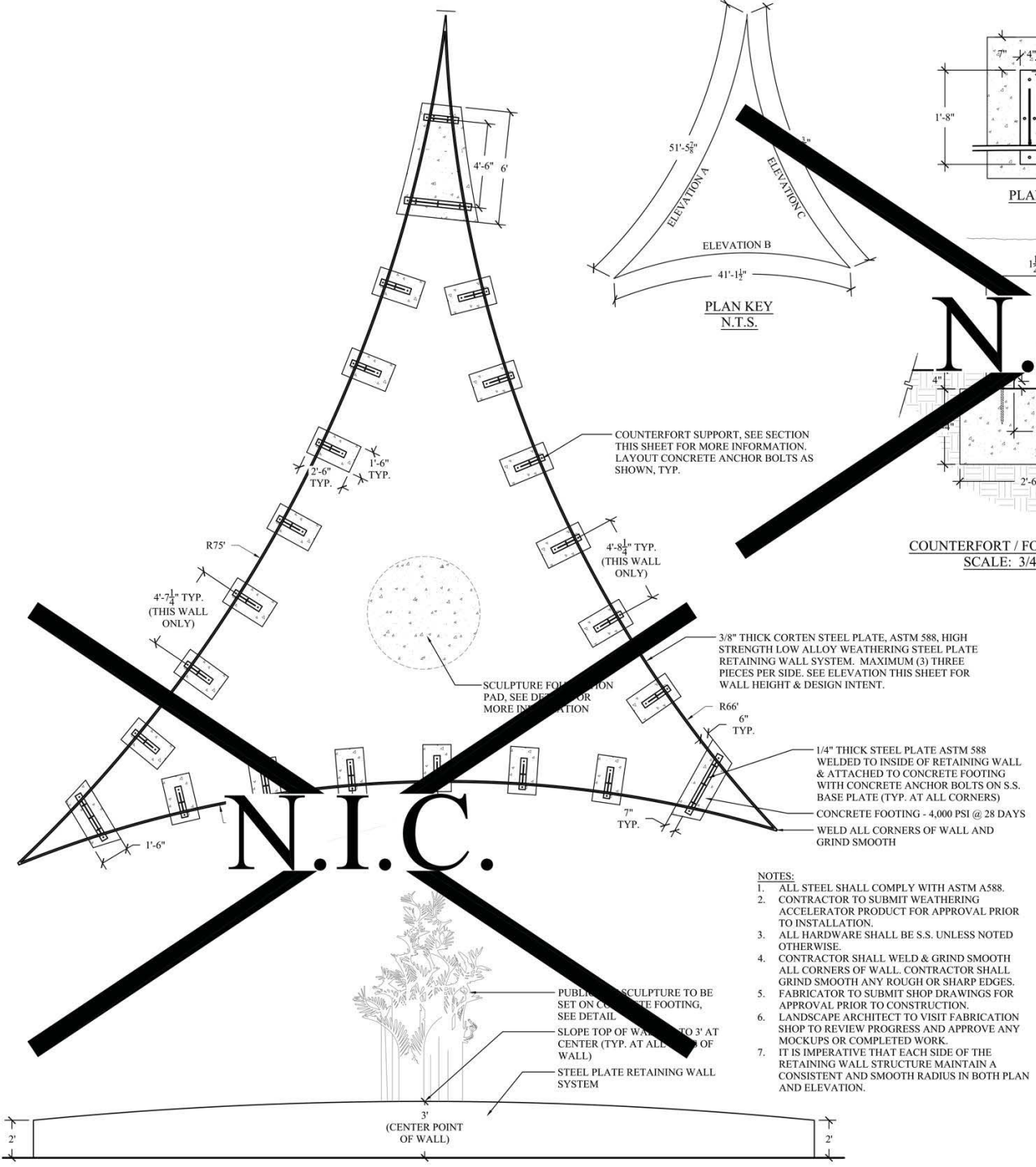
3 SCULPTURE FOOTING
 L201 SCALE: 1/2" = 1'-00"



2 ROCK MOW EDGE
 L201 SCALE: 3/4" = 1'-00"



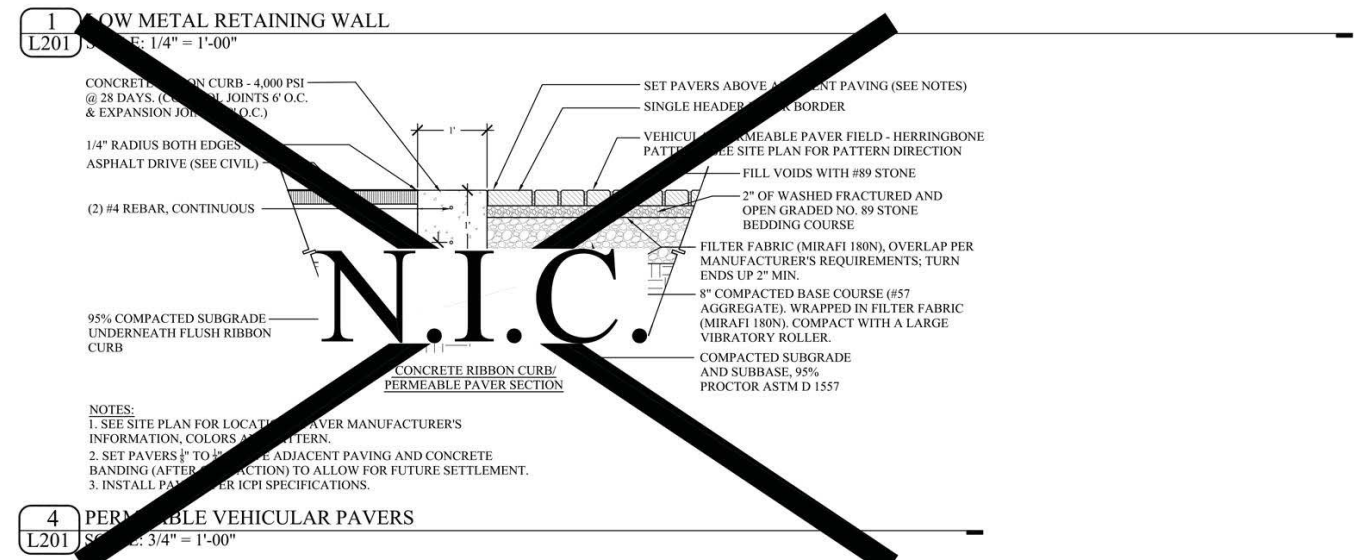
5 CONCRETE WALK & EXPANSION / CONTROL JOINTS
 L201 SCALE: 1" = 1'-00"



COUNTERFORT / FOOTING SECTION
 SCALE: 3/4" = 1'-00"

- NOTES:
1. ALL STEEL SHALL COMPLY WITH ASTM A588.
 2. CONTRACTOR TO SUBMIT WEATHERING ACCELERATOR PRODUCT FOR APPROVAL PRIOR TO INSTALLATION.
 3. ALL HARDWARE SHALL BE S.S. UNLESS NOTED OTHERWISE.
 4. CONTRACTOR SHALL WELD & GRIND SMOOTH ALL CORNERS OF WALL. CONTRACTOR SHALL GRIND SMOOTH ANY ROUGH OR SHARP EDGES. FABRICATOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.
 5. LANDSCAPE ARCHITECT TO VISIT FABRICATION SHOP TO REVIEW PROGRESS AND APPROVE ANY MOCKUPS OR COMPLETED WORK.
 6. IT IS IMPERATIVE THAT EACH SIDE OF THE RETAINING WALL STRUCTURE MAINTAIN A CONSISTENT AND SMOOTH RADIUS IN BOTH PLAN AND ELEVATION.
 - 7.

TYPICAL ELEVATIONS (3 SIDES)



4 PERMEABLE VEHICULAR PAVERS
 L201 SCALE: 3/4" = 1'-00"

PLAN IS SUBJECT TO CHANGE.

- NOTES:
1. SEE SITE PLAN FOR LOCATION OF PAVER MANUFACTURER'S INFORMATION, COLORS AND PATTERN.
 2. SET PAVERS 1/2" TO 3/4" ABOVE ADJACENT PAVING AND CONCRETE BANDING (AFTER CONSTRUCTION) TO ALLOW FOR FUTURE SETTLEMENT.
 3. INSTALL PAVERS PER ICPI SPECIFICATIONS.

BUFFER SUMMARY							
HHI AIRPORT ENTRY BUFFERS:							
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
BUFFER 1 (106')	B OPTION 2	4	4 (2 EXISTING)	8	8	13	13
BUFFER 2 (131')	B OPTION 2	5	6 (6 EXISTING)	10	10	16	20

LANDSCAPE NOTES:

- THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT SUBSTITUTIONS PRIOR TO PURCHASE OR INSTALLATION.
- THE PLANT SCHEDULE INCLUDED IN THIS DRAWING WAS PREPARED FOR ESTIMATING PURPOSES AND FOR THE CONTRACTORS CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL PERFORM HIS OR HER OWN QUANTITY TAKE-OFFS USING THE DRAWINGS TO DETERMINE THE QUANTITIES TO BE INSTALLED. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A FINAL BID.
- CONTRACTOR SHALL WARRANTY ALL EXTERIOR PLANTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING BUT NOT LIMITED TO DEATH AND UNSATISFACTORY GROWTH. DEFECTS ASSOCIATED WITH NEGLECT, OR ABUSE BY THE OWNER OR "ACTS OF GOD" WILL NOT BE COVERED BY THE ONE-YEAR WARRANTY.
- THE CONTRACTOR SHALL VERIFY THAT ALL SELECTED PLANT SPECIES ARE DETERMINED AVAILABLE AT THEIR SPECIFIED SIZES AT THE TIME OF BIDDING. THE CONTRACTOR SHALL NOT MAKE PLANT SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID.
- ALL PLANT MATERIAL SHALL HAVE A WELL-FORMED HEAD AND FULLY ROOTED CONTAINER, WITH THE MINIMUM CALIPER, HEIGHT, SPREAD AS SHOWN IN THE PLANT SCHEDULE. TRUNKS SHALL BE STRAIGHT AND UNDEFORMED, AND OVERALL SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION FOR A PERIOD OF ONE YEAR.
- ALL PLANT INSTALLATION SHALL CONFORM TO THE PLANTING DETAILS SHOWN ON THE BID DOCUMENTS. IF NOT SHOWN, PLANT INSTALLATION SHALL CONFORM TO NURSERY STANDARDS.
- THE CONTRACTOR SHALL NOT PLANT TURF AND PLANTS IN JUNE, JULY AND AUGUST, UNLESS APPROVAL IS OBTAINED FROM LANDSCAPE ARCHITECT.
- ALL GROUNDCOVERS AND ORNAMENTAL GRASSES SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH TO A DEPTH OF 3". ALL SHRUB AND TREE BEDS SHALL BE COVERED WITH LONG LEAF PINE STRAW TO A DEPTH OF 4".
- ALL PLANT NURSERY TAGS AND BROKEN BRANCHES SHALL BE REMOVED.
- ALL NEWLY INSTALLED SOD AREAS SHALL RECEIVE LIME TO ACHIEVE PROPER PH LEVELS; SANDED JOINTS AND HAND ROLLED.

IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM SHALL INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK-FLOW PREVENTER, RAIN SENSOR & CONTROLLERS. THE INSTALLED SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL NEW SOD AND PLANT MATERIAL (EXCEPT WITHIN RIGHT OF WAY).
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF EXISTING CONTROLLER AND POINT OF WATER SOURCE CONNECTION.
- CONTRACTOR SHALL NOT INSTALL IRRIGATION HEADS IN SOD AREA WITHIN RIGHT OF WAY.
- IRRIGATION CONTRACTOR RESPONSIBLE FOR COORDINATING CONDUIT SLEEVING UNDER PAVEMENT.
- CONTRACTOR TO SUBMIT TO OWNER AS-BUILT PLAN & DIGITAL FILE OF COMPLETED IRRIGATION SYSTEM.

SITE CLEARING/ EARTHWORK NOTES:

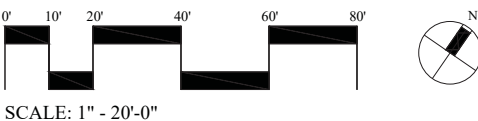
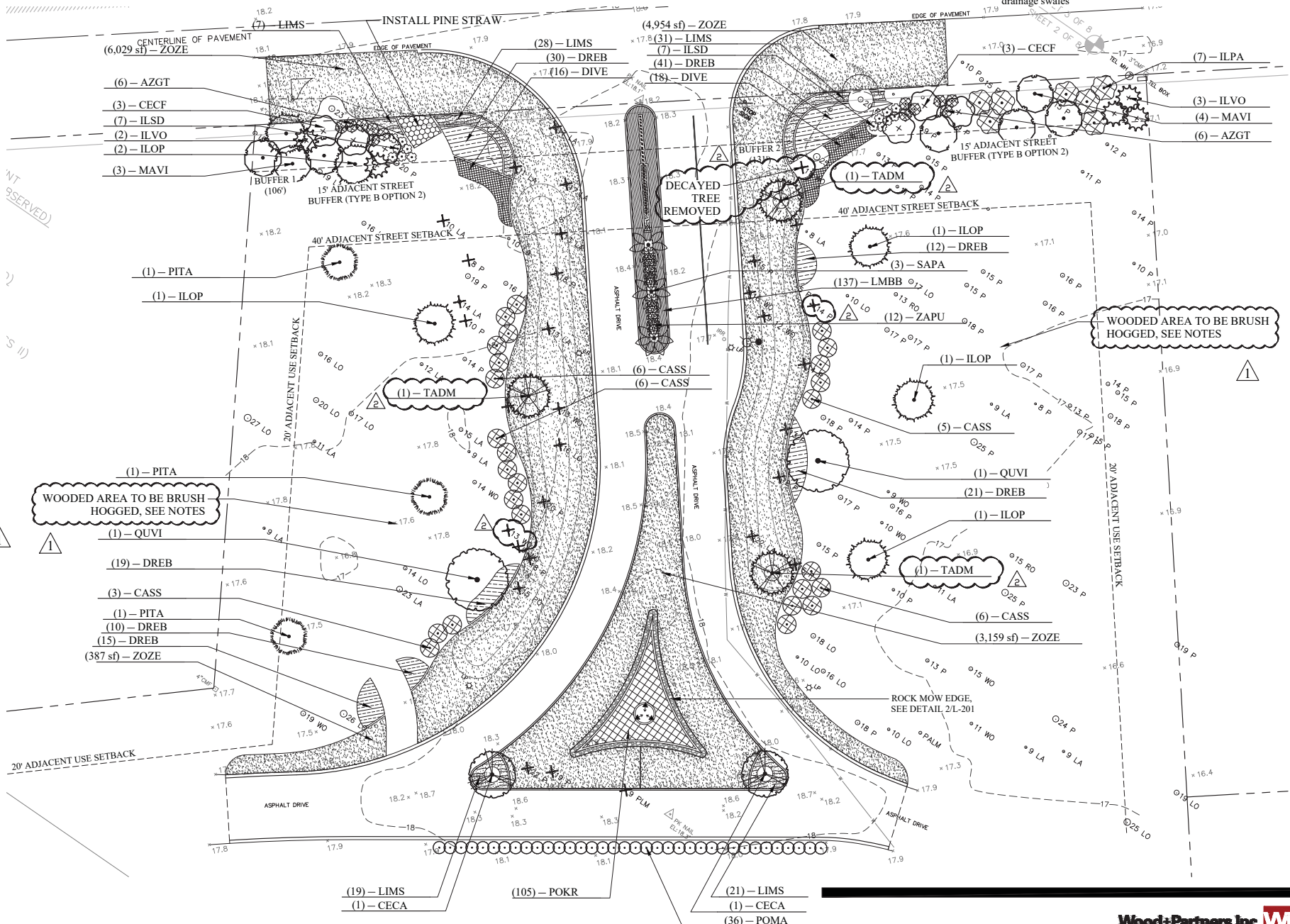
- CONTRACTOR TO PROTECT ALL TREES SHOWN TO REMAIN FROM DAMAGE TO LIMBS, TRUNK AND ROOTS. ALL DAMAGED ROOTS TO BE CLEAN CUT BY HAND.
- TREES TO BE REMOVED INCLUDE STUMPS AND ROOT MASS FOR EACH TREE.
- CONTRACTOR TO BRUSH HOG ENTIRE WOODED AREA (DOES NOT INCLUDE INSIDE THE BUFFER LINES), INCLUDING REMOVAL OF ALL TREES LESS THAN 6 INCH CALIPER AS MEASURED AT BREAST HEIGHT.
- LANDSCAPE CONTRACTOR TO PERFORM FINE GRADING WITHIN ALL TURF AND PLANT BEDS. FINE GRADING SHALL CONSIST OF A ROTOTILLED, HAND RAKED, SMOOTH SOIL FREE OF ROCKS, ROOTS, AND DEBRIS. THIS WORK TO BE COMPLETED PRIOR TO TURF AND PLANT INSTALLATIONS.

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE A MODIFICATION TO THE PLANS. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CECF	6	Cercis canadensis 'Forest Pansy' TM	Forest Pansy Redbud	B & B or Cont.	2" Cal		6'-8"	4'-5"	Strong central leader
CECA	2	Cercis canadensis 'Rising Sun'	Rising Sun Redbud	B & B or Cont.	2" Cal		6'-8"	4'-5"	Strong central leader, specimen
ILOP	6	Ilex opaca	American Holly	B & B or Cont.	4" Cal		10'-12'	4'-6'	Strong central leader
ILVO	5	Ilex vomitoria	Yaupon Holly	B & B or Cont.	2" Cal		10'	5'-6'	Tree form
MAVI	7	Magnolia virginiana	Sweet Bay	B & B or Cont.	2" Cal		10'	6-8"	Full, specimen
PITA	3	Pinus taeda	Loblolly Pine	B & B or Cont.	2" Cal		6' MIN.	2'-3'	Strong central leader
QUVI	2	Quercus virginiana	Southern Live Oak	B & B	4" Cal		12'-14'	4'-6'	Strong Central Leader, Specimen
SAPA	3	Sabal palmetto	Cabbage Palmetto	B & B			14' Matched		8' Smooth Clear Trunk, 6' Booted Trunk,
TADM	3	Taxodium distichum 'Mickelson' TM STD	Shawnee Brave Bald Cypress	B & B or Cont.	2" Cal. Min.		10' Min.	2'-3'	Murycane Cut Standard Form
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
AZGT	12	Azalea indica George Taber	George Taber Azalea	7 gal	24"-36"	18"-24"			
CASS	26	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Camellia	15 gal	36"-42"	36"-42"	Full to ground		
ILSD	14	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	7 gal	14"-18"	14"-18"	Full pot		
ILPA	7	Illicium parviflorum	Yellow Anise Tree	7 gal	24"-30"	18"-24"			
POMA	36	Podocarpus macrophyllus	Japanese Yew	7 gal	24"-30"	18"-24"	Full		
ZAPU	12	Zamia pumila	Coontie	3 gal	14"-18"	14"-18"			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
DIVE	34	Dietes vegeta	African Iris	3 gal	18"-24"	12"-18"	36" o.c.	Full pot	
LMBB	137	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal	10"-12"	10"-12"	24" o.c.	Full Pot	
LIMS	106	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal	10"-12"	10"-12"	24" o.c.	Full pot	
FERNS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
DREB	148	Dryopteris erythrosora 'Brilliance'	Autumn Fern	3 gal	12"-18"	12"-18"	30" o.c.	Full Pot	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
POKR	105	Pennisetum orientale 'Karley Rose'	Karley Rose Fountain Grass	3 gal	18"-24"	12"-18"	24" o.c.	Full Pot	
SOD	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
ZOZE	14,529 sf	Zoysia japonica 'Zeon'	Zeon Zoysia	Sod				Sand joints and roll; Pin on side slopes of drainage swales	



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY COOK LAND SURVEYING. PROJECT NO. 18120003, DATED JANUARY 9, 2019. PLAN IS SUBJECT TO CHANGE.

NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS

**Hilton Head Island Airport
Entry Enhancements**

Hilton Head Island, SC

**Hilton Head Island Airport
130 Beach City Road
Hilton Head Island, SC 29926**

DRAWN BY: DM
CHECKED BY: EPW

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#	REVISION	DATE	BY
1	VE REVISIONS	9-19-19	EW
2	TREE MITIGATION	4-7-20	EW

DATE: 07-18-2019
PROJECT NUMBER: 01-18056
SHEET TITLE: Planting Plan

SHEET NUMBER

L-300



NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS

DRAWN BY:
DM

CHECKED BY:
EPW

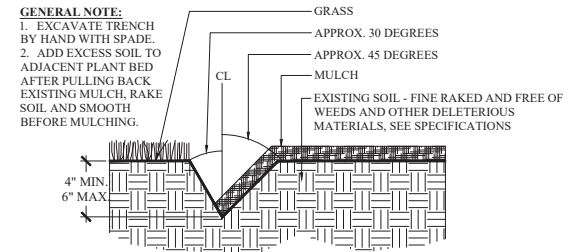
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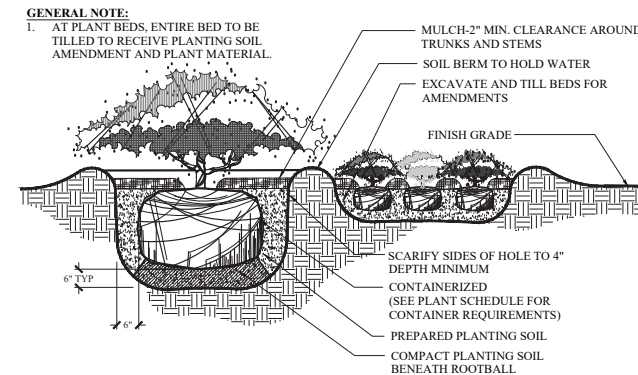
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PROJECT NUMBER
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SHEET TITLE
Plant
Details

SHEET NUMBER

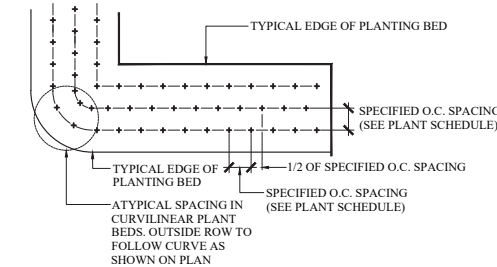
L-301



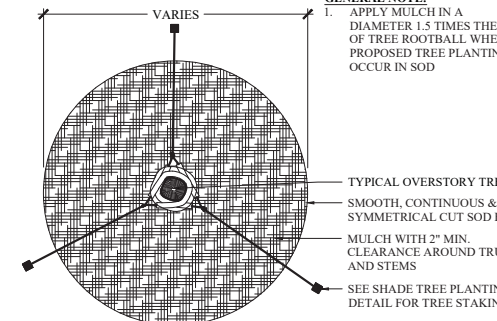
5 Landscape Bed Edge
L301 SCALE: NTS



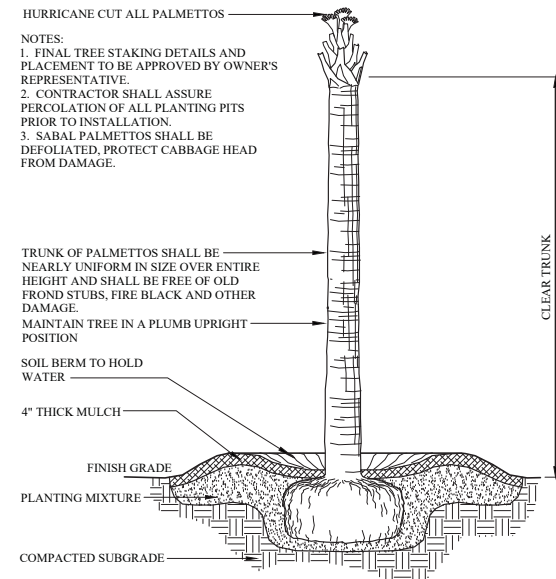
6 Shrub Planting
L301 SCALE: NTS



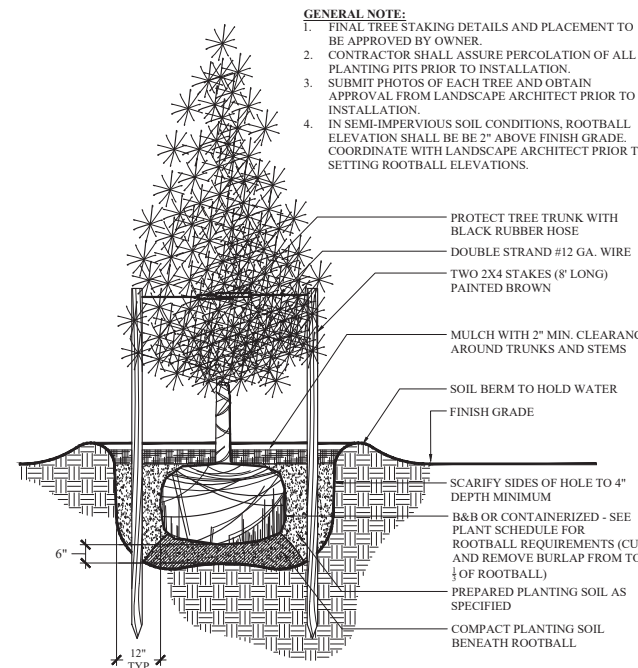
7 Groundcover Spacing
L301 SCALE: NTS



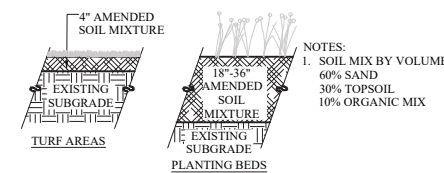
8 Mulch Tree Ring
L301 SCALE: NTS



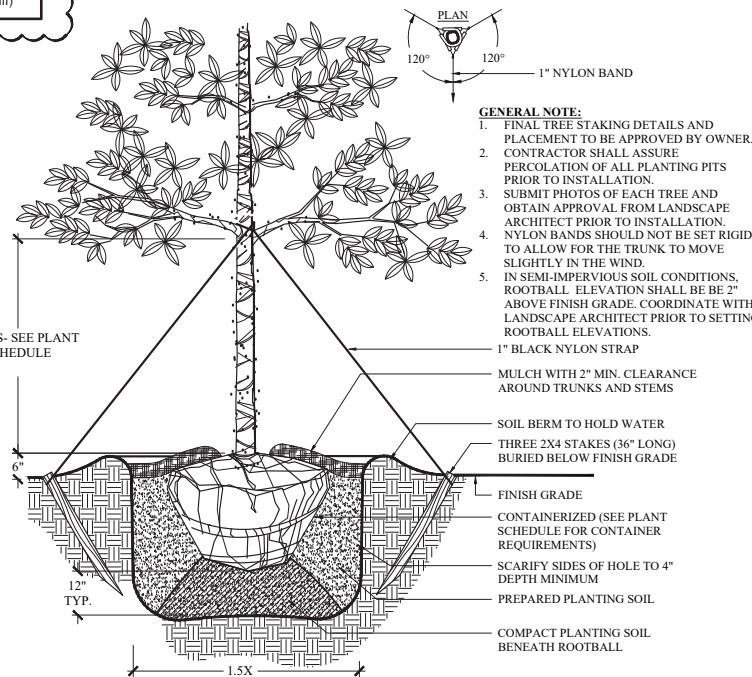
2 Palm Tree
L301 SCALE: NTS



3 Evergreen Tree
L301 SCALE: NTS



4 Soil Amendment
L301 SCALE: NTS



1 Shade Tree
L301 SCALE: NTS

TREE REPLACEMENT SUMMARY

TREE REPLACEMENT 1 PER 10\"/>

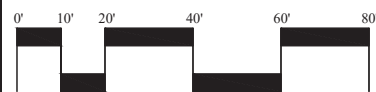
TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
1	143\"/>	16 (32\"/>	16 (8) 4\"/>
2	72\"/>	7 (14\"/>	15 (15) 2\"/>
3	180\"/>	19 (19\"/>	18 (3) PALMS (3) 2\"/>

TREES TO BE REMOVED

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LAUREL OAK	17\"/>	159\"/>
	LAUREL OAK	17\"/>	
	LAUREL OAK	13\"/>	
	LAUREL OAK	11\"/>	
	LAUREL OAK	10\"/>	
	LAUREL OAK	13\"/>	
	LAUREL OAK	14\"/>	
	LAUREL OAK	15\"/>	
	LAUREL OAK	22\"/>	
	LAUREL OAK	11\"/>	
CATEGORY II TREES REMOVED	WATER OAK	13\"/>	72\"/>
	WATER OAK	9\"/>	
	WATER OAK	9\"/>	
	WATER OAK	12\"/>	
	WATER OAK	16\"/>	
	WATER OAK	13\"/>	
CATEGORY III TREES REMOVED	PINE	18\"/>	189\"/>
	PINE	20\"/>	
	PINE	22\"/>	
	PINE	19\"/>	
	PINE	12\"/>	
	PINE	15\"/>	
	PINE	15\"/>	
	PINE	13\"/>	
	PINE	18\"/>	
	PINE	14\"/>	
PALM	9\"/>		

TREE REMOVAL SUMMARY

CATEGORY	TOTAL INCHES	TOTAL REPLACEMENT NEEDED:
CATEGORY I TREES REMOVED	159\"/>	16 TREES
CATEGORY II TREES REMOVED	72\"/>	7 TREES
CATEGORY III TREES REMOVED	189\"/>	19 TREES



SCALE: 1\"/>

SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY COOK LAND SURVEYING. PROJECT NO. 18120003, DATED JANUARY 9, 2019. PLAN IS SUBJECT TO CHANGE.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Airport Sign Revisited

DRB#: DRB-000159-2021

DATE: 01/27/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

1. An application for this sign was approved at the May 14, 2019 DRB meeting.
2. The sign was installed minus elements of the approved plan. The applicant was given the option of installation of those elements as part of the terminal renovations or request DRB approval as constructed.
3. It appears more area was cleared than necessary for the entrance road modifications minus other elements of the approval.
4. Per the Design Guide, page 27 "their (freestanding or monument signs) design must complement the architectural design of the building(s) and other elements of development on the site." Without the other approved elements (i.e., the metal retaining wall) what does this sign relate to on the site?
5. Staff will not recommend substantial alteration of a DRB approval.