



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, May 25, 2021 – 1:15 p.m.
AGENDA

In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of May 11, 2021

6. Appearance by Citizens

7. New Business

a. *Alteration/Addition*

i. McDonald's Renovation at 2 Plaza Drive, DRB-001061-2021

ii. Lyons Repaint, DRB-001096-2021

iii. Deano's Italian Restaurant, DRB-001183-2021

iv. Islanders Beach Park Overlook, DRB-001184-2021

8. Board Business

9. Staff Report

a. Minor Corridor Report

10. Adjournment

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m. on May 24, 2021. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Secretary at 843-341-4691 no later than 12:00 p.m. on May 24, 2021.

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
May 11, 2021 at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chairman Michael Gentemann, David McAllister, Judd Carstens, Annette Lippert, John Moleski, Debbie Remke

Absent from the Board: Vice Chair Cathy Foss

Present from Town Council: Tamara Becker

Present from Town Staff: Chris Darnell, Urban Designer; Teri Lewis, Deputy Community Development Director; Nicole Dixon, Development Review Administrator; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chairman Gentemann called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chairman Gentemann asked if staff had any changes to the agenda. There being none, Mr. McAllister moved to approve the agenda. Ms. Lippert seconded. By way of roll call, the motion pass by a vote of 6-0-0.

5. Approval of Minutes

a. Meeting of April 27, 2021

Chairman Gentemann asked for a motion to approve the minutes of the April 27, 2021 regular meeting. Mr. McAllister moved to approve. Mr. Moleski seconded. By way of roll call, the motion was approved by a vote of 6-0-0.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments of record for this meeting. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

7. New Business

a. Alteration/Addition

i. Wei Food Hall Facades, DRB-001076-2021

Mr. Darnell presented the application as described in the Board's agenda package. He stated staff recommends approval with the following conditions:

1. Provide a dimensioned Site Plan.
2. Provide physical color samples for the awning structure.
3. Revise the landscape plan to add trees. (Staff received revised landscape plan May 7).

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length and the following concerns and recommendations were made regarding the project: the need for cut sheets and fabric samples for the retractable mechanism showing a visual on the façade; the intent of the glass fencing and the need for it; handrail and glass samples for the fencing; the height of the palms to be in the landscaping; a description of the housings on the shade structure; need for the overall lighting plan; details needed for the attachment of the trellis; signage location; function and finish of shade structure; the need for cut sheets for the fans and heaters and locations of such defined; transition at the corner of the sidewalk shown on LA-1.00; acknowledgement of receipt of the revised landscape plan and the improvements provided; inclusion of the revised landscape planting on LA-1.00; suggestions of trees to be added to the island off the drive area; and proposed lighting plans for the patio dining area.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

8. Board Business

9. Staff Report

- a. Minor Corridor Report – None

Mr. Darnell reminded the Board of the training requirements due by July 1 and reminded them to send their credit hour information to Teresa Haley for recording purposes.

10. Adjournment

The meeting was adjourned at 2:05 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Anthony Lynch Company: Integrity Engineering
 Mailing Address: 3615 Braselton Hwy STE 201 City: Dacula State: GA Zip: 30019
 Telephone: 770-301-3649 Fax: _____ E-mail: anthony@integrityeng.net
 Project Name: McDonald's Drive-Thru Bypass Project Address: 2 Plaza Drive
 Parcel Number [PIN]: R 511-008-000-202C-0000 _____
 Zoning District: CC Community Commercial Overlay District(s): Corridor Overlay District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

04/07/21

DATE

April 23, 2021

Mr. Chris Darnell, PLA
Urban Designer
Town of Hilton Head Island
1 Town Center Court
Hilton Head Island, SC 29928
843.816.1606

RE: McDonald's Remodel at 2 Plaza Drive - Design Review Board

Mr. Chris Darnell:

As we have discussed previously, McDonald's would like to remodel the restaurant at the subject location. The scope of the remodel includes upgrading the exterior of the building, renovating the dining room, customer service areas, and restrooms. Site improvements include adding a drive-thru bypass lane for better circulation, upgraded site lighting, and landscaping improvements.

More detail is provided below regarding the proposed improvements contemplated by the submitted colored renderings and site development plans.

Building Improvements:

McDonald's proposes to upgrade the building facade and give it a more updated, modern look as depicted by the colored renderings submitted with this application. The Town of Hilton Head Island's building design guidelines were consulted in the design process, with neutral colors proposed. Please note the following regarding the buildings' proposed architecture:

1. As part of McDonald's remodeling efforts and branding scheme, the existing double mansard roof and exterior will be removed. A new parapet wall will be constructed in their place along with the McDonald's Brand Wall as depicted on the elevations. The roof tail of the mansard will remain in place and get new metal finishes.
2. A new brand wall with the "M" golden arches finished with false wood Eurowest tile is proposed in the front and dining elevations. The material simulates wood and as per the Town's design guide. The panels are approximately 6-inches in width, and 36-inches in length.
3. The existing stone at the base of the building will be removed. A Savannah Gray brick wainscot is proposed in its place around the base of the building.

4. The existing stucco siding on the building is proposed to remain. The tan, neutral color is fitting with the architectural theme described in the Town's design guide and blends with the site's landscaping.
5. A new cash booth expansion is proposed along the drive-thru as a bump-out to reduce customer wait times when using the drive-thru.
6. The new trellis with the canopy attached to the brand wall is also part of the new, modern corporate look that McDonald's has adopted for its restaurants. The trellis and canopy provide a massing effect to the primary entrance to the restaurant. The entryway is on the western side of the building and faces the parking lot.
7. A metal screen is proposed on the rear of the building (proposed to screen the roof-top units from view).

Building Interior Improvements:

The interior of the restaurant, including the dining room, restrooms and customer service areas will be remodeled. The kitchen will not be remodeled and will remain-as is. The floor plans included with this application show the layout of the restaurant and where the dining room, restrooms, customer service areas, and kitchen are located. The floor plans also show the new windows and storefront to be constructed to make the dining experience more pleasant.

The dining room will remain largely as-is, with existing tile finishes, seating, and lighting to remain.

The customer service area will be modernized with new digital self-order kiosks, remodeled service counters, and new digital menu boards. New, low-voltage lighting will also be installed to complete the dining room remodel.

The restrooms will receive a facelift too, and be given a more modern, updated look. New flooring, wall, and ceiling finishes are proposed to be installed. New lavatories, commodes, and urinals, and counters will also be installed. Lastly, the restrooms will be improved so that they comply with the Americans with Disabilities Act.

Site Improvements:

Upgrades to existing landscaping, new LED lighting, and a bypass lane around the drive-thru are all proposed to enhance the customer experience, reduce waiting times at the drive-thru, and provide enhanced circulation around the site. The improvements are shown on the site plans and include the following:

1. To meet ADA guidelines a new accessible path will be created from the building to the sidewalk along William Hilton Pkwy. The ADA parking is also being incorporated along this new path to be more convenient to customers. All sidewalk along the building is being replaced to be ADA compliant as well.
2. To improve drive thru operation a new bypass lane will be added along side the drive thru lane. This will allow the drive thru to function more efficiently by providing the option to present orders or take payment in an "out of order" sequence. In the existing condition this is not possible as once customers are in the drive thru they cannot exit due to the existing island.
3. To further enhance drive thru operation a "roll forward" lane is being added to the front of the site. This is identified on the site plan by a sequence of arrows pointing

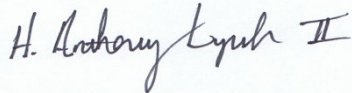
out of the drive thru lane and around the front. This allows staff to direct customers waiting on an order to roll forward to wait so that the drive thru can continue functioning for subsequent customers.

4. Three trees are proposed to be removed. (1) A 28" Loblolly Pine. (2) A 20-ft tall Palmetto. (3) A 19/24" Bifurcated Sweetgum. No specimen trees will be impacted.
5. New LED light fixtures will be installed to improve site lighting and customer safety. Currently, the site and parking areas are dimly lit. The proposed lighting levels meet the Town of Hilton Head's lighting requirements and the lighting foot candle levels are shown on the submitted lighting plan.

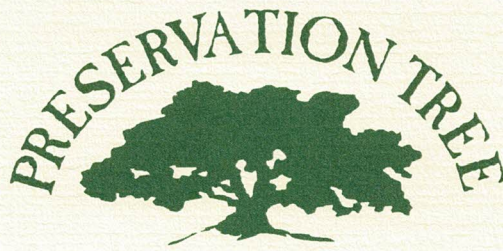
Thank you for your time and consideration on this matter. Please do not hesitate to contact me should you require any further information or documentation.

Sincerely,

INTEGRITY ENGINEERING & DEVELOPMENT SERVICES, INC.

A handwritten signature in black ink that reads "H. Anthony Lynch II". The signature is written in a cursive style and is positioned above the typed name and title.

H. Anthony Lynch, P.E.
Project Manager / ECM



Michael P. Murphy,
NJ-0146B

April 16, 2021

Anthony Lynch, PE
Integrity Engineering
3615 Braselton Highway, Suite 201
Dacula, GA 30019

Re: McDonalds Renovation, Hilton Head Island, SC

The proposed renovation of the McDonalds at 2 Plaza Drive, Hilton Head Island will require the removal of three trees: a 28-inch loblolly pine, a 20-foot-tall palmetto, and a 19/24-inch bifurcated sweetgum.

- The 28-inch pine that is scheduled to be removed has no obvious physical or structural faults or defects and does not have a significant lean or offset trunk.
- The palmetto is listed as to its height and not diameter because it is a better way to gauge its age and impact to the site. Palmettos do not add trunk diameter each year as do a normal type of tree.
- The 19/24-inch sweetgum at the existing drive-thru is severely heaving up the existing hardscape. The two trunks have a very weak attachment point and would be a required removal even if this renovation project were not taking place.

Other Site Observations

- There are no pond pine or long-leaf pine on site.
- The 16/12/12-inch river birch is over mature and in decline. Consideration should be given to replacing it within the new landscape plan.

- It does not appear that any other trees on the site will be impacted by any of the proposed construction details.

Please let me know if the Town of Hilton Head Island has any other arboricultural issues that they need for me to comment on.

Respectfully submitted,

A handwritten signature in blue ink that reads "Michael P. Murphy". The signature is written in a cursive, flowing style.

Michael P. Murphy
Board Certified Master Arborist, NJ-0146B

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under every weather situation, all circumstances, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk.

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others, must specify lead length)
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbellighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor



RELATED PRODUCTS

- ∅ [Airo](#)
- ∅ [Cimarron LED](#)
- ∅ [Ratio Family](#)

CONTROLS (CONT'D)

- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)

RATIO SERIES

AREA/SITE LIGHTER

ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

CATALOG # _____

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
RAR1 Ratio Area Size 1	80L-25 25W - 3,000 Lumens	3K7 3000K, 70 CRI	2 IES TYPE II	Blank for no rotation	UNV Universal 120-277V
	80L-50 50W - 6,000 Lumens	4K7 4000K, 70 CRI	3 IES TYPE III	L Optic rotation left	120 120V
	160L-70 70W - 9,000 Lumens	5K7 5000K, 70 CRI	4W IES TYPE IV	R Optic rotation right	208 208V
	160L-100 100W - 12,000 Lumens		5QW IES TYPE V		240 240V
	160L-115 115W - 15,000 Lumens				277 277V
	160L-135 135W - 18,000 Lumens				347 347V
RAR2 Ratio Area Size 2	320L-110 110W - 15,000 Lumens				480 480V
	320L-140 140W - 18,000 Lumens				
	320L-165 165W - 21,000 Lumens				
	480L-185 185W - 24,000 Lumens				
	480L-210 210W - 27,000 Lumens				
	480L-240 240W - 30,000 Lumens				
	480L-255 255W - 36,000 Lumens				
	480L-295 295W - 42,000 Lumens				
	480L-340 340W - 48,000 Lumens				

Mounting	Color	Control Options Network	Options
ASQ Arm mount for square pole/flat surface	BLT Black Matte Textured	NXWE NX Wireless Enabled (module + radio)	BC Backlight control
ASQU Universal arm mount for square pole/flat surface	BLS Black Gloss Smooth	NXSPW_F NX Wireless, PIR Occ. Sensor, Daylight Harvesting ²	CD Continuous dimming
Mounting Round Poles	DBT Dark Bronze Matte Textured	NXSP_F NX, PIR Occ. Sensor, Daylight Harvesting ²	F Fusing (must specify voltage)
A_ Arm mount for round pole ¹	DBS Dark Brone Gloss Smooth	Control Options Other	TB Terminal block
A_U Universal arm mount for round pole ¹	GTT Graphite Matte Textured	SCP-40F Programmable occupancy sensor ⁴	2PF 2 power feed with 2 drivers ³
Mounting Other	LGS Light Grey Gloss Smooth	7PR 7-Pin twist lock receptacle	
WB Wall bracket	PSS Platinum Silver Smooth	7PR-SC 7-Pin receptacle with shorting cap	
MAF Mast arm fitter for 2-3/8" OD horizontal arm	WHT White Matte Textured	7PR-MD40F Low voltage sensor for 7PR	
K Knuckle	WHS White Gloss Smooth	7PR-TL 7-Pin PCR with photocontrol	
	VGT Verde Green Textured		
	Color Option		
	CC Custom Color		

Notes:

- 1 Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Replace "_" with "14" for up to 14' mounting height, "30F" for 15-30' mounting height
- 3 Not available with 25, 50, 255, 295 & 340W configurations
- 4 At least one SCPREMOTE required to program SCP motion sensor

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze

RATIO SERIES

AREA/SITE LIGHTER

OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio blacklight control 80L
<input type="checkbox"/> RARBC160L	Ratio blacklight control 160L
<input type="checkbox"/> RARBC320L	Ratio blacklight control 320L
<input type="checkbox"/> RARBC480L	Ratio blacklight control 480L

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface ²
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles ^{1,2}
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter ^{1,2}
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter ²
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90o); order 4" round pole adapters separately ²
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle ²

1 Replace "-" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole

2 Replace "XX" with desired color/paint finish

CONTROLS

Control Options

Standalone

SW7PR	SiteSync™ on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync™ Wireless Bridge Node
SWFC	SiteSync™ Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control

Networked – Wireless

WIR-RME-L	wiSCAPE External Fixture Module ^{1,2}
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NX Networked – Wireless

NXOFM-1R1D-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock
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Notes:

- 1 Works with external networked photosensor
- 2 wiSCAPE Gateway required for system programming

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3	
		3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2	
		4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3	
		5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2	

RAR2 Performance Data on next page

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO SERIES

AREA/SITE LIGHTER

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
	135	480	0.23	133.3
		120	1.11	
		208	0.64	
240		0.56		
277		0.48		
RAR2	110	347	0.38	100.3
		480	0.28	
		120	0.84	
		208	0.48	
	140	240	0.42	133.2
		277	0.36	
		120	1.11	
		208	0.64	
	165	240	0.56	153.6
		277	0.48	
		120	1.28	
		208	0.74	
	185	240	0.64	174.5
		277	0.55	
		120	1.45	
		208	0.84	
	210	240	0.73	198.3
		277	0.63	
		120	1.65	
		208	0.95	
	240	240	0.83	226.9
		277	0.72	
		120	1.89	
		208	1.09	
255	240	0.95	257.0	
	277	0.82		
	120	2.14		
	208	1.24		
	240	1.07		
295	277	0.93	294.0	
	347	0.74		
	480	0.54		
	120	2.45		
	208	1.41		
340	240	1.23	347.1	
	277	1.06		
	347	0.85		
	480	0.61		
	120	2.89		
	208	1.67		
	240	1.45		
	277	1.25		
	347	1.00		
	480	0.72		

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

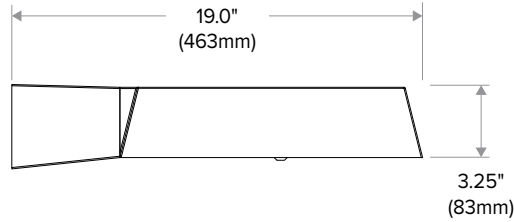
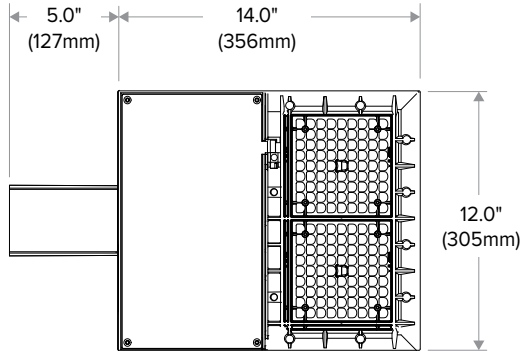
Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

RATIO SERIES

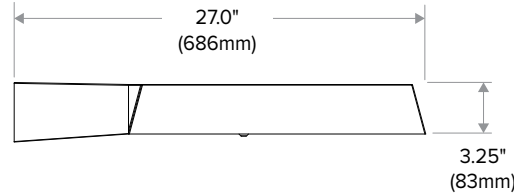
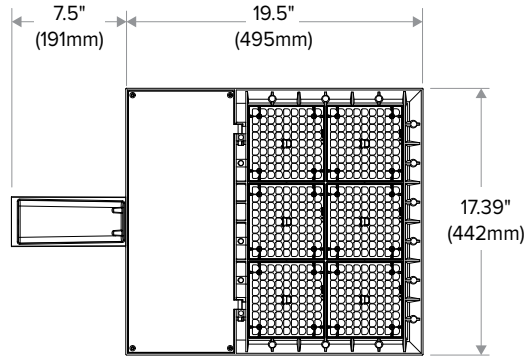
AREA/SITE LIGHTER

DIMENSIONS

RAR1

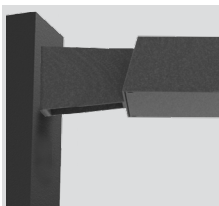


RAR2

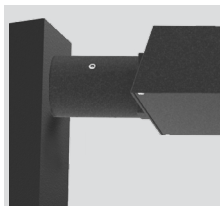


ADDITIONAL INFORMATION

MOUNTING



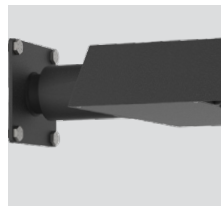
Arm Mount – Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



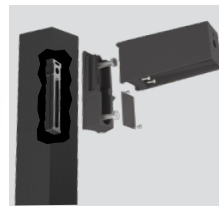
MAF – Fits 2-3/8" OD arms Roadway applications.



Knuckle – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



Wall Mount – Wall mount bracket designed for building mount applications.



Universal Mounting – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"

SITESYNC 7-PIN MODULE



SW7PR

- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

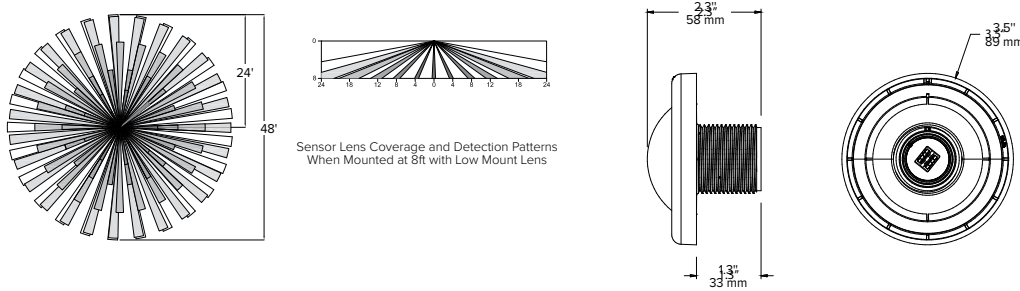


RATIO SERIES

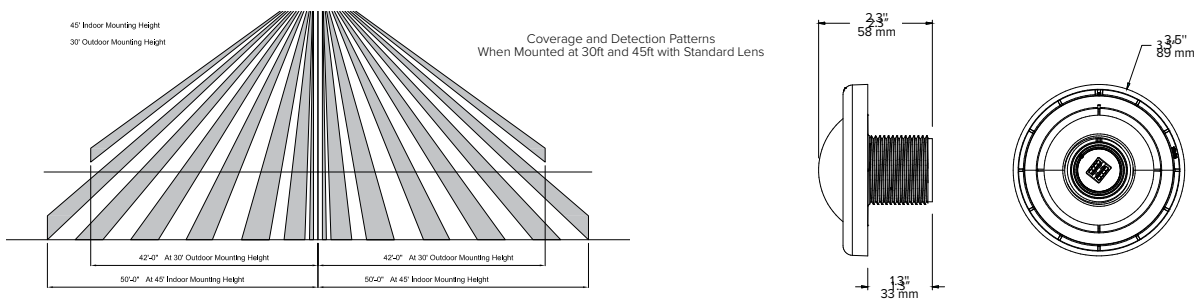
AREA/SITE LIGHTER

ADDITIONAL INFORMATION (CONT'D)

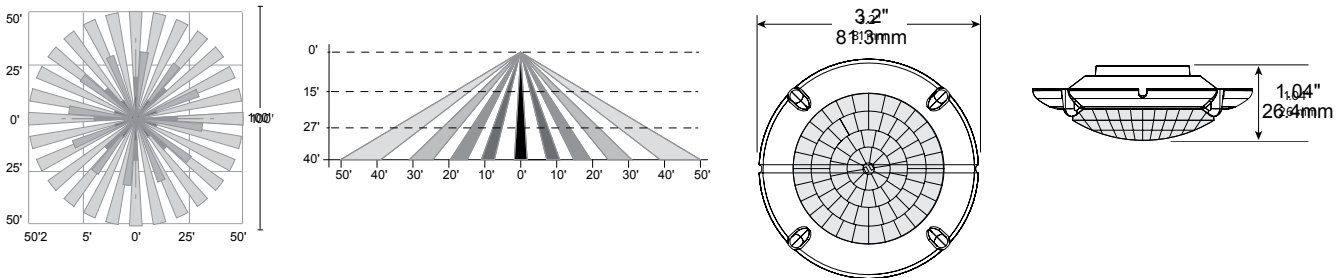
NXSP-14F



NXSP-30F



SCP-40F



RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. ² .13m ²	.56ft. ² .17m ²

RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. ² .17m ²	1.48ft. ² .45m ²

SHIPPING

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks™ or registered trademarks® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.



SLED

HIGH EFFICIENCY LINEAR LED FACADE FIXTURE

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

FEATURES

- The SLED Linear LED Lighting System offers a discrete and minimalist design to maximize the lighting effect for marketing your building as your brand while keeping energy usage and maintenance to a minimum.
- Thanks to its intuitive “plug and play” mounting design with integral driver system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row.
- The unique fixture design and the long life Mid-Power LED source minimizes maintenance to only an occasional cleaning of outer lens surfaces.
- This successful system is truly a “set it and forget it” solution that is only offered from Security Lighting



SPECIFICATIONS

CONSTRUCTION

- Powder-coated mounting brackets that conceal power cables
- Fixture to fixture connections are made external to the fixture

OPTICS

- 5000K color temp standard
- Tempered glass lens
- Down only full cut off

INSTALLATION

- Each order ships with a formed drilling template for accurate and quick installation
- All subsequent fixtures quickly plug together in series
- Fixtures are not opened during the installation process
- Complete instructions for fixture installation posted on web site at www.securitylighting.com

ELECTRICAL

- Fully integrated driver for completely self-contained lighting system
- Power feed required only at beginning of each continuous row or stand alone fixture

WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

ORDERING GUIDE

Example: S-LED-XX-DO-U-XX-XX

CATALOG #

S	LED	HE		DO	U		
Series	Source	Type	Size	Distribution	Voltage	Finish	Options
S Linear Facade Fixture	LED Mid-Powered	HE High Efficiency	48 4-foot 36 3-foot 24 2-foot	DO Downlight Only (8.5 Watts per foot)	U Universal 120 to 277 Volt	PS Platinum Silver DB Dark Bronze WH White BK Black IO Iron Ore RL RAL Color ¹⁴	3K 3000K color temp ⁵ 4K 4000K color temp ⁵

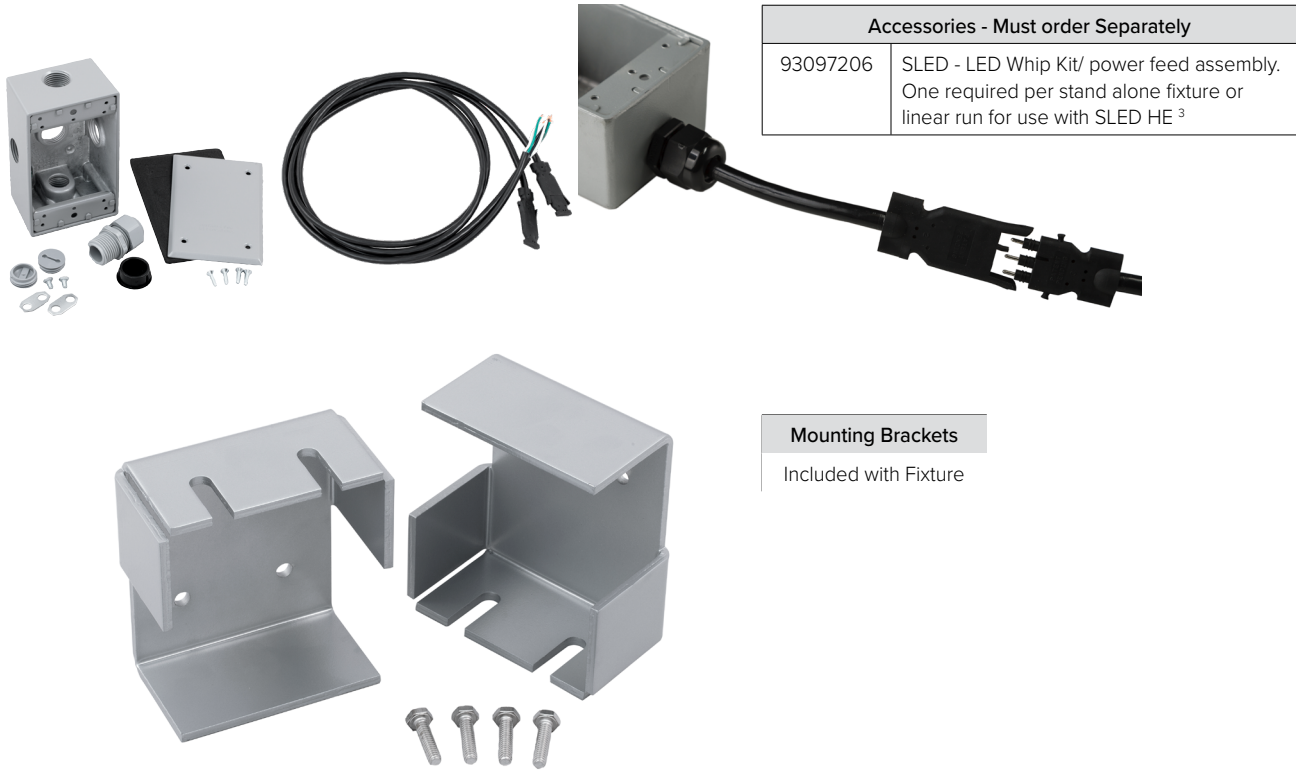
- Notes:
- 1 Must Provide RAL color number and powder coat manufacture name at time of quote request
 - 2 Color paint chip would need to be provided at time of quote request
 - 3 Must only use factory supplied whip kit to maintain water tight integrity and product warranty
 - 4 Made to order, 4 to 8 week lead time
 - 5 5000K color temperature standard
Optional 3000K and 4000K color temp, built to order

Accessories (Order Separately)

- 93073538** Hiraf - LED Whip Kit/ power feed assembly.
One required per stand alone fixture or linear run for use with SLED HE³

KEY DATA	
Lumens	834 / 1211
Wattage	30
Efficacy (LPW)	83.6 / 82.9
Reported Life (Hours)	L70 >120,000
Input Current Range (Amps)	.036 - 0.12

ADDITIONAL PRODUCT INFORMATION



Accessories - Must order Separately	
93097206	SLED - LED Whip Kit/ power feed assembly. One required per stand alone fixture or linear run for use with SLED HE 3

Mounting Brackets
Included with Fixture

ELECTRICAL DATA

# of LEDs	# of Drivers	Drive Current (mA)	Input Voltage (V)	System Power (W)	Input Current (Amps)
24	1	350	120	9.98	0.083
			277	9.98	0.036
36	1	350	120	14.6	0.12
48	1	350	120	17	0.14
			277	17	0.061

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	50,000	1 TM -21-11 60,000	100,000	Calculated L70 (Hours)
40°C / 104°F	100	94.21	88.72	86.61	78.66	>120,000

PERFORMANCE DATA

# of LEDs	Drive Current (Milliamps)	System Watts	Distribution Type	5K (5000K nominal, 80 CRI)				
				Lumens	LPW ¹	B	U	G
24	350	30	down	834	83.6	0	0	0
36	350	30	down	1211	82.9	0	0	0
48	350	30	down	1694	88.7	0	0	0



LB6A-10LDM SA

6" LED DOWNLIGHT AND WALL WASH

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

FEATURES

- 6" LED downlight or wall wash delivering up to 1000 lumens
- For use with compatible 6" Quick Link DM LED housings
- Available in 3000K, 90 CRI
- Universal 120-277V with 0-10V dimming to 10%



SPECIFICATIONS

HOUSING

- New Construction, IC or Non-IC applications
- Corrosion protected die-formed steel platform and with pre-installed bar hangers
- Pre-wired J-box with snap-on covers
- Quick Link mating connectors to meet high efficacy energy codes

OPTICS/REFLECTOR

- Spun aluminum reflector in Silver
- Regressed optical grade diffuse acrylic lens
- Flood distribution for general illumination or wall wash
- 3000K, 90 CRI

ELECTRICAL

- Long Life LED array: L70 / 55,000 hours (TM-21)
- Universal 120/277V, 60Hz integral driver
- Standard 0-10V dimming to 10%

INSTALLATION

- Housing accommodates 1/2" to 1-1/2" ceiling thickness
- LED Trim easily installs with (3) pre-installed spring brackets

CERTIFICATIONS

- cCSAus certified to UL1598
- Suitable for wet locations under covered ceiling
- Housing: Approved for 90°C, 4 IN/4 OUT through branch wiring
- ENERGY STAR® certified

WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

ORDERING GUIDE

Example: LB6A-10LDM30K9WWSA-DBXQL-DM

CATALOG # _____

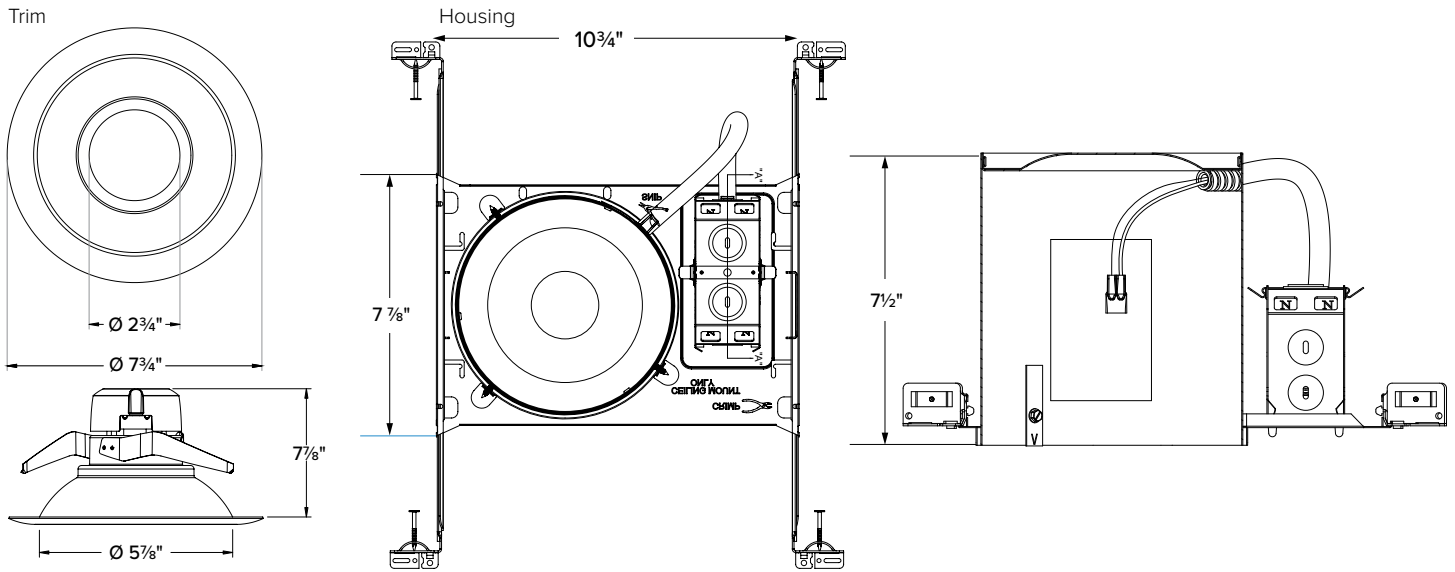
LB6A-10LDM	-	30K	9		SA	-	DBXQL-DM
Trim		LED Color	CRI	Trim Type	Trim Color		Housing
LB6A-10LDM		30K 3000 Kelvin	9 90 CRI	Standard Downlight WW Wall Wash	SA Silver		DBXQL-DM 6"LED Quicklink New Construction Housing, IC Rated, DM

KEY DATA	
Lumen Range	1000
Wattage	12
Reported Life (Hours)	L70 / 55,000

LB6A-10LDM SA

6" LED DOWNLIGHT AND WALL WASH

DIMENSIONS

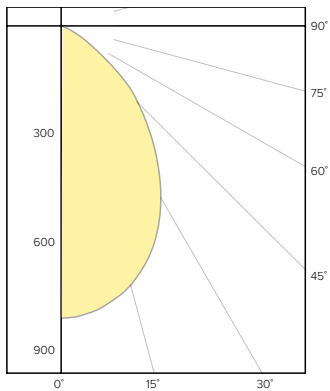


PERFORMANCE SUMMARY

System Watts	Lumens	Lumens Per Watt
12.1	1072	103.2

PHOTOMETRY

POLAR GRAPH



DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

CLED

SURFACE MOUNT CANOPY

FEATURES

- Stylish vertically finned die-cast heat sink
- Designed for optimal thermal transfer and easy installation
- Made from low-copper marine-grade cast aluminum
- Optical assembly designed to exceed IP66 design standards allowing for light hose-down cleaning
- Thermal frame technology provides state-of-the-art passive cooling in the most demanding environments
- 73 CRI standard
- Wet Location Listed
- Operating Temp: -40°C - 40°C
- Hub Requires 3" Recess for Surface Mounting
- Optional 0-10V dimming



SPECIFICATIONS

CONSTRUCTION

- Die-cast aluminum heat sink
- Shipping Weight - 19lbs
- 36" lead length out of fixture

OPTICS

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- LED electrical assembly, including PR devices, consumes no power in 'off' state

INSTALLATION

- Requires 3" recess for surface mounting or addition of surface mounting bracket CLEDSMK for conduit

ELECTRICAL

- Universal input voltage 120-277VAC, 50/60 Hz
- Automatic thermal self-protection
- Surge protection standard
- Expected life: 65,000 hours

CERTIFICATIONS

- UL
- DesignLights Consortium qualified
- cUL

WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	4,397 - 19,596
Wattage Range	32 - 150
Efficacy Range (LPW)	62-130
Reported Life (Hours)	65,000
Input Current Range (Amps)	0.18 - 0.54
Ambient Temp. Range	-40°C - 40°C

CLED

SURFACE MOUNT CANOPY

ORDERING EXAMPLE:

Recessed Single Skin/Open Top Canopy:

1. CLED-HLHE-7-UNV-S-5-WH

Surface Mount Retrofit:

1. CLED-HLHE-7-UNV-S-5-WH
2. CLRT1

Recessed Double Skin/Enclosed Sofit

1. CLED-HLHE-7-UNV-S-5-WH
2. 93062310

 CATALOG #

ORDERING GUIDE

CLED			7		S			MP									
Series		Output		Drive Current	Voltage		Mounting	CCT	Color	Mounting Plate	Options						
CLED	LED Surface Mount Fixture	LW	33 Watts	7	700 mA	UNV	120-277	S	Surface Mount ¹	5	5100K	WH	White	MP	Mounting Plate	ED	0-10V Dimming ⁵
		LL	66 Watts			HV	347-480			4	4000K	DB	Dark Bronze			DL	Drop Lens (Field Installed)
		HLHE	120 Watts							3	3500K	CC	Custom ³			OCC	Programmable motion control, factory default is 10% light output ⁴
		XL	150 Watts														

Accessories (order separately)

- 93072702** CLED decorative beauty plate
- CLRT1** 21" Square Surface Mounted retrofit for WhiteWay Vision, Riviera II, Thunderbird housing²
- CLRT2** 23" Square Surface Mounted retrofit for LSI Masters/Dakota²
- CLRT3** 22" Square Surface Mounted retrofit for Jet Philips Hustonian SHO/RHO²
- CLEDSJK** Stem and Junction Box
- CLED18CP** Retrofit kit for WhiteWay Civic, LSI Richmond
- CLEDENC** Cover plate for LSI Encore 13" Square
- SCP-REMOTE** Remote Control for OCC option; order at least one per project to program and control
- 93088345** CLED recessed grid 2x2 adapter
- 93081999** Surface mount kit for slope ceiling (formerly CLED5MK)
- 93081764** Slope ceiling adapter (5/12 pitch)
- 93062310** CLED no top access mounting plate (formerly CLEDFBRKTKT, CLEDMP)

Notes:

- 1 3/4" conduit hub for pendant mount
- 2 Measure outside dimension of existing housing
- 3 Contact factory for lead time
- 4 Requires Hubbell SCP-Remote to program sensor
- 5 0-10V Dimming built to order, check factory for lead time

CLED

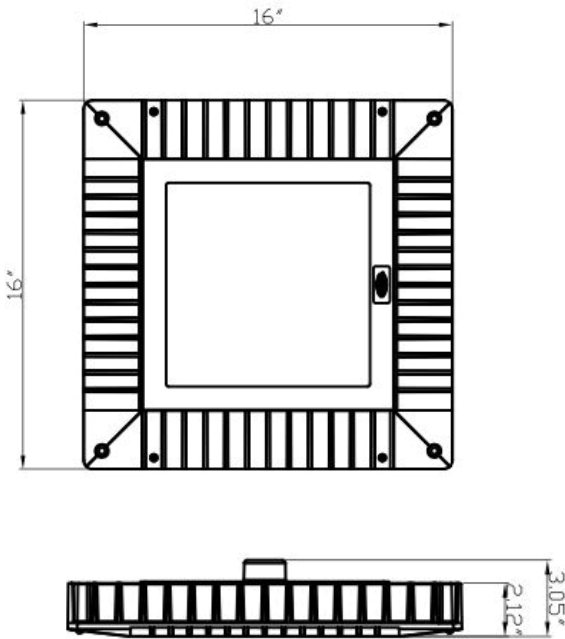
SURFACE MOUNT CANOPY

PERFORMANCE SUMMARY

Distribution	Engine	Delivered Lumens	No. of LEDs	CCT	Wattage	Lumens per watt	Replaces	BUG
Type V	LW-700	4,397	120	5100K	32	136	100-175W	B2-U1-G1
	LL-700	9,938	312	5100K	66	150	175-250W	B3-U2-G1
	HLHE-700	16,874	312	5100K	120	147	300-450W	B4-U1-G1
	XL-700	19,596	336	5100K	150	130	750-1000W	B4-U2-G1

*All at 70 CRI
 All Performance data has been acquired by physical test reports conducted to LM-79-08 standards in a controlled laboratory.

DIMENSIONS

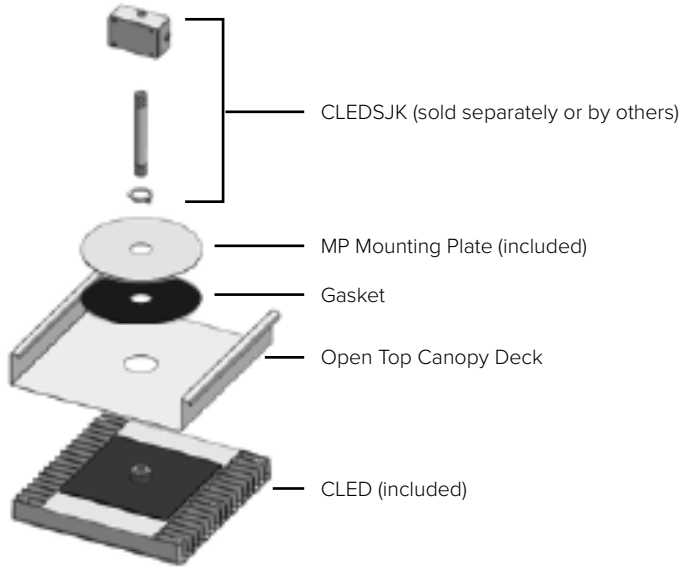


CLED

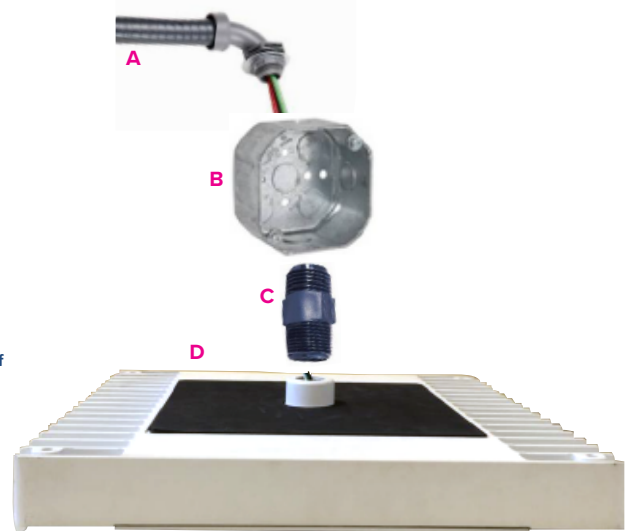
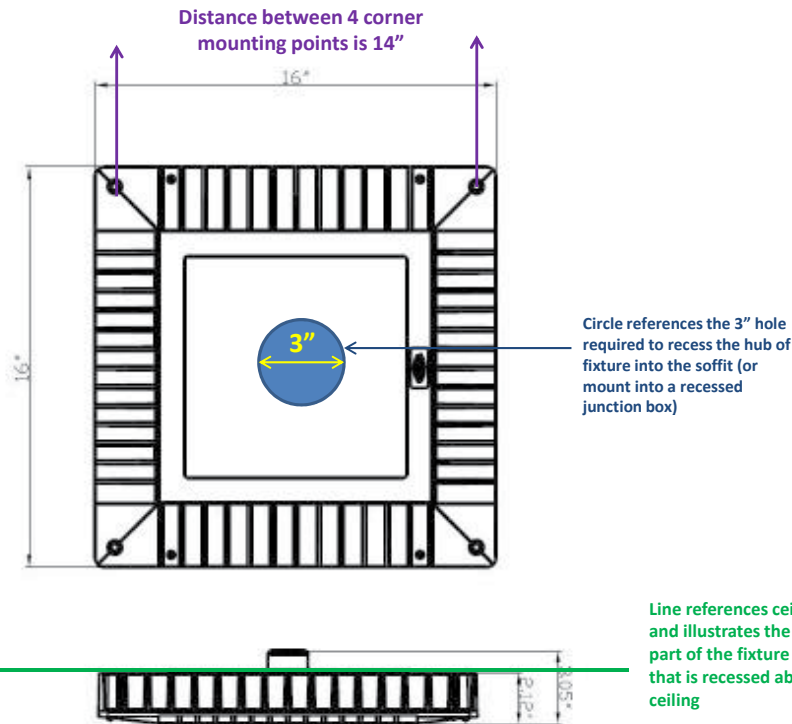
SURFACE MOUNT CANOPY

MOUNTING ILLUSTRATIONS

OPEN TOP CANOPY INSTALLATION INSTRUCTION



ENCLOSED SOFFIT/CANOPY ILLUSTRATION



- Pull existing whip and connect to 4" junction Box
- (shape not relevant) with cover supplied by others and make wiring connections inside
- Install 3/4" double threaded nipple supplied by others into D. CLED hub, pull seals through and make connection in side junction box (nipple to hold box in place.)
- Install 4 corner screws supplied by others to mount CLED tightly to bottom surface of canopy/soffit.

CLED

SURFACE MOUNT CANOPY

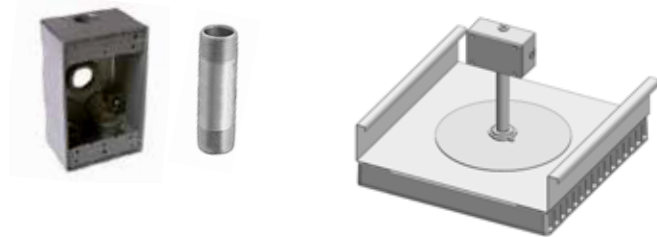
ACCESSORIES (ORDER SEPARATELY)

CLEDSJK

Illustration of CLEDSJK installed on CLED open top canopy

*CLEDSJK consists of Hubbell Raco 5330-0 Bell Box and 6" conduit stem.

Also use for pendant mounting of CLED



OCC PROGRAMMABLE MOTION CONTROL

(Factory Default is 10% light output)



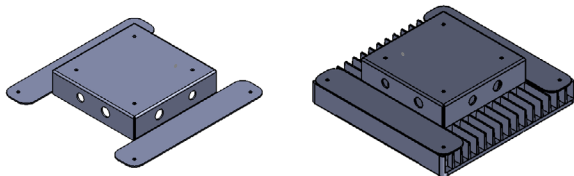
Fully adjustable high and low dimmed light levels; optional dusk to dawn control (Reference FSP-211 spec sheet for specifications)



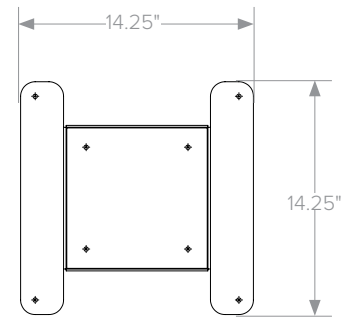
SCP-Remote Control for OCC (at least one per product required to program and control)

93081999 (CLEDSMK)

Used for surface mounting and wired with surface mounted conduit and/or in series wiring



Surface mount bracket/box to mount CLED to concrete ceilings or other installations where conduit is surface mounted

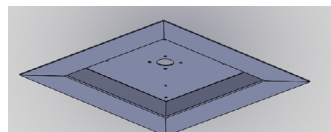


93088345 (CLEDREC22)

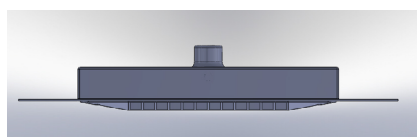
Used for mounting CLED fixture to 2' x 2' grid ceiling



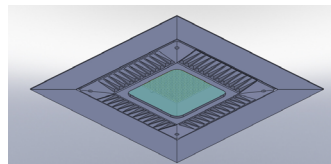
24" x 24" x 2" dimension
Side view of Adaptor



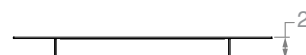
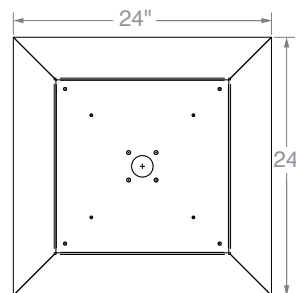
24" x 24" dimension
Bottom view of Adaptor



Side view of Adaptor with CLED installed



Bottom view of adaptor with CLED installed



CLED

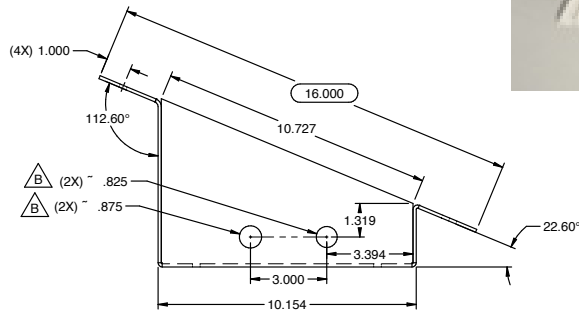
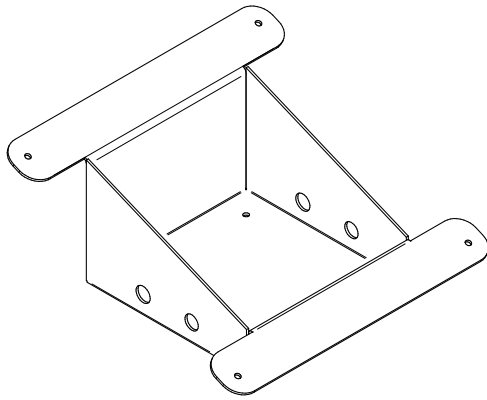
SURFACE MOUNT CANOPY

ACCESSORIES (CONT'D) (ORDER SEPARATELY)

93081764 SLOPE ADAPTOR

Used for mounting CLED to slope ceilings with 5/12 Slope
(Custom Slope available, consult factory)

Example

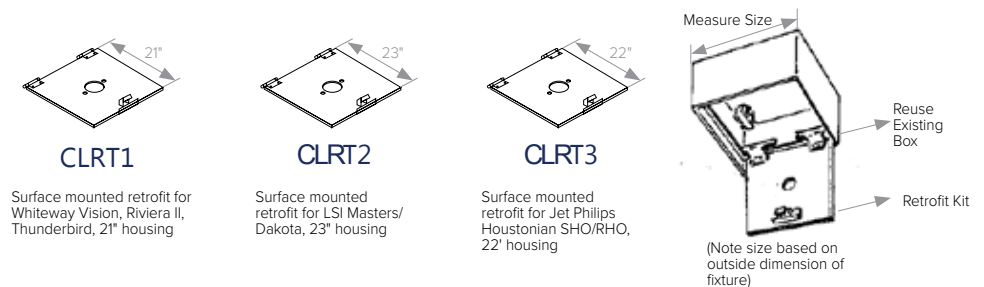
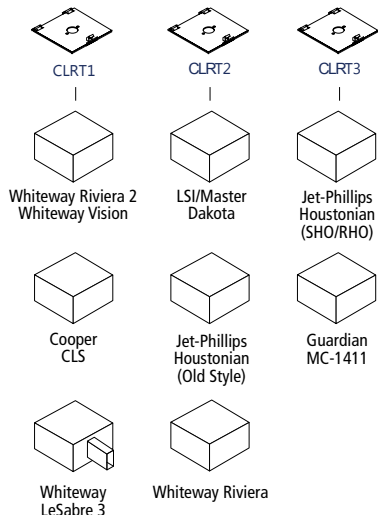


CLRT RETRO TRIM SYSTEM



The CLRT Under Canopy Trim system is an innovative modular family of RetroTrims that are used to retrofit or expand the installation possibilities of the CLED. These CLRT trims are used in conjunction with standard CLED luminaires to provide you the most flexible array of solutions on the market today. In addition to the inventory and installation advantages of modular system, the CLED fixtures can be easily removed from the CLRK panels and re-used for a new installation when you replace your old canopy.

- Modular design for flexibility
- Used with CLED fixtures to create a multitude of product offerings
- White Lectorcote powder paint for superior longevity
- Can re-use CLED for new installations
- Easy, fast and cost-effective installation
- Improved lighting with less energy
- Incorporates all the CLED features and accessories



CLED

SURFACE MOUNT CANOPY

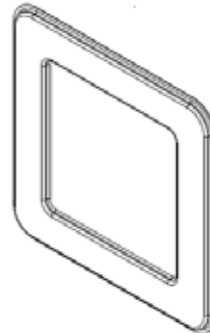
MOUNTING PLATES



CLED18CP
13" x 23"*



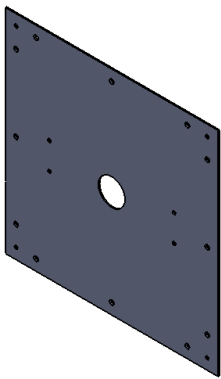
CLEDENC
13" x 13"*
For gas station canopies, used for replacing LSI Encore with 10" opening



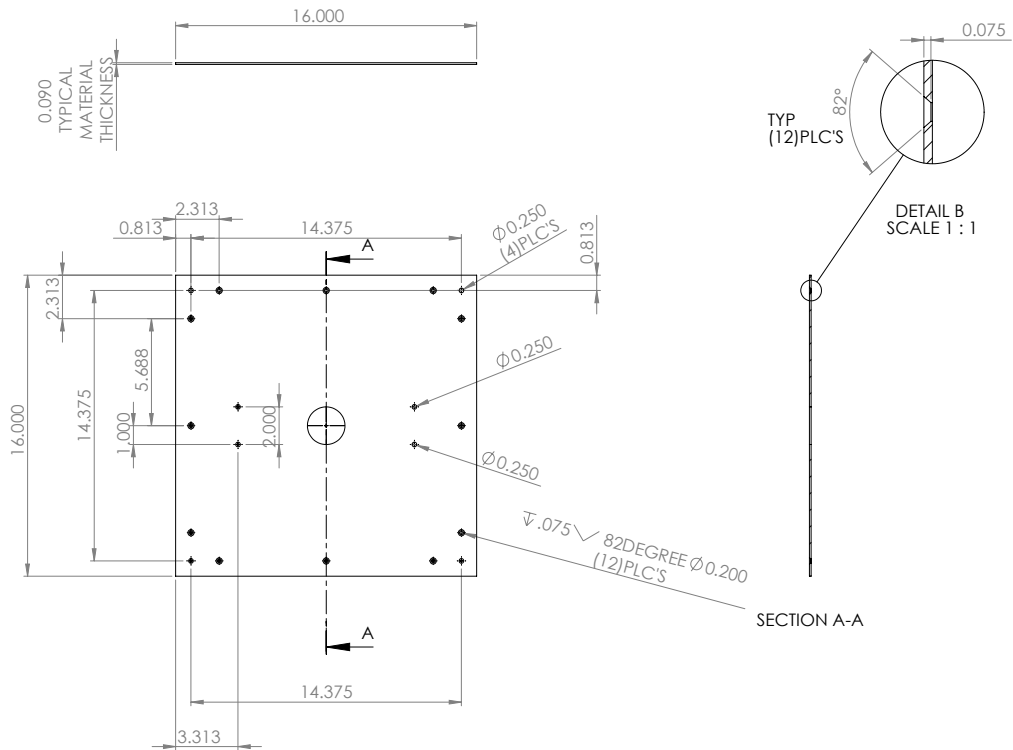
072702
26" x 26"*
Decorative cover plate
(move old box - cover plate)

*Mounting Hardware by others

93062310 (USE TO BE CALLED CLEDFLBRKTKIT & CLEDMP)



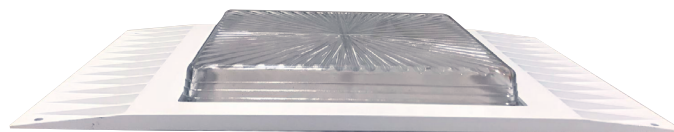
*16" x 16" to cover 12" x 12" opening or no top access (mounting hardware by others)



18" x 18", 20" x 20", 24" x 24" and custom sizes available upon request

DL DROP LENS

Drop Lens is field installed





McDonald's Restaurant

2 Plaza Drive
Hilton Head, SC 29926
039-0098 National # 7093

Brick: Meridian - Savannah Gray

Stucco: Fairview Taupe by Benjamin Moore
Iron Mountain by Benjamin Moore

Metal Fascia: Cityscape

Standing Seam Metal Roof and Trellis: Charcoal Gray

Tile: Eurowest E-Wood Oak





McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 1

Looking at the front of the restaurant.



View 2

Looking at the front of the restaurant.



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 3

Another view of the front of the restaurant.



View 4

Picture of the western elevation or entry elevation. The front of the building is to the left and the rear of the building is to the right.



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 5

Another view of the western or entry elevation looking towards the rear of the site.



View 6

A close-up view of the storefront along the western elevation.



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 7

Looking at the drive-thru side of the building.



View 8

Another view of the drive-thru side.



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 9

View of the rear of the building.

This space intentionally left blank

View 10



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 11

Whole Foods Market



View 12

Whole Foods Market



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 13
Fresh Market Shoppes



View 14
Fresh Market Shoppes



McDonald's
2 Plaza Drive
Hilton Head Island, SC

Photos



View 15

Photo of buildings in adjacent shopping center to the south. (Google Earth)



View 16

Another image of the shopping center to the south. (Google Earth)

EROSION CONTROL LEGEND			
MAP SYMBOL	PRACTICE	MAP SYMBOL	PRACTICE
LD OR	LAND GRADING:	A	TYPE A - FABRIC INLET PROTECTION:
	SURFACE ROUGHENING:	(A)	TYPE A - SEDIMENT TUBE INLET PROTECTION:
	TOPSOILING:	(B)	TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:
TS	TEMPORARY SEEDING:	(C)	TYPE C - BLOCK AND GRAVEL INLET PROTECTION:
M	MULCHING:	(D)	TYPE D - RIGID INLET FILTERS:
ECB OR TRM	ECB OR TRM:	(E)	TYPE E - SURFACE COURSE CURB INLET FILTER:
FGM	FGM:	(F)	TYPE F - INLET TUBE:
BFM	BFM:	(G)	ROCK SEDIMENT DIKE:
PS	PERMANENT SEEDING:	(H)	VEGETATED CHANNELS:
SO	SODDING:	(I)	RIPRAP-LINED CHANNELS:
	RIPRAP:	(J)	ECB OR TRM-LINED CHANNELS:
	OUTLET PROTECTION:	(K)	PAVED CHANNELS:
DC	DUST CONTROL:	(L)	PIPE SLOPE DRAINS:
PAM	POLYACRYLAMIDE (PAM):	(M)	TEMPORARY STREAM CROSSING:
	SEDIMENT BASIN:	(N)	TEMPORARY DIVERSION DITCH OR SWALE:
	TEMPORARY SEDIMENT TRAP:	(O)	PERMANENT DIVERSION DITCH:
	ROCK SEDIMENT DIKE:	(P)	DIVERSION DIKE OR BERM:
	ROCK CHECK DAM:	(Q)	LEVEL SPREADER:
	SEDIMENT TUBE:	(R)	SUBSURFACE DRAIN:

EROSION CONTROL NOTES

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

EROSION AND SEDIMENT POLLUTION CONTROL - GENERAL NOTES

In conformance with General NPDES Permit No. SC1000000, it is highly recommended that the Permittee read and understand the terms and conditions of the Permit.

Provisions to prevent erosion of the soil from the site shall conform to the requirements of the "Erosion and Sediment Reduction Act of 1983", "Pollution Control Act" and "Stormwater Management and Sediment Reduction Act", and "Waters, Water Resources and Drainage" as shown hereon and stipulated in the South Carolina DHEC Storm Water Management BMP Handbook.

The installation of erosion and sedimentation control measures and practices shall occur prior to or concurrent with land disturbing activities.

The licensed professional who prepared this Storm Water Pollution Prevention Plan will inspect the installation of the best management practices, which the licensed professional designed, within one week after the initial construction activities commence. It is the responsibility of the Primary Permittee to notify the licensed professional when initial construction activities will commence. The licensed professional shall determine if these BMPs have been installed and being maintained as designed. The licensed professional shall notify the Primary Permittee and the Permittee must correct all deficiencies within two business days of the inspection by the licensed professional.

The contractor shall be required to incorporate all temporary and permanent erosion and sediment control measures into the project at the earliest practical time during construction. The erosion control measures as detailed in the plans shall be continued until the grass on planted areas is sufficiently established to be an effective erosion deterrent. The sediment removed from the control measures shall be evenly distributed within the construction limits. Disposed sediment shall be permanently grassed.

Additional erosion control measures shall be installed as directed by the Local Government inspector, and/or as dictated by actual field conditions before and during construction.

All silt barriers must be placed and maintained by the contractor at locations shown on these plans or as directed by the Project Engineer.

Erosion and Sedimentation control measures and practices shall be maintained at all times. If full implementation of the approved plan does not provide for effective erosion and sedimentation control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.

All sediment barriers and sediment traps shall be inspected daily during construction, within 24 hours following any rainfall event of 0.5 inches or greater and once per month until final stabilization is achieved; sediment shall be removed once it has accumulated to one-half the original height of the barrier, and shall be restored to its original capacity. For temporary sediment basins, including retrofitted detention ponds, the sediment shall be removed and the basin restored to its original capacity when one-third of the storage volume has been lost to accumulated sediment. (Indicators must be installed in sediment storage structures indicating the one-third volume).

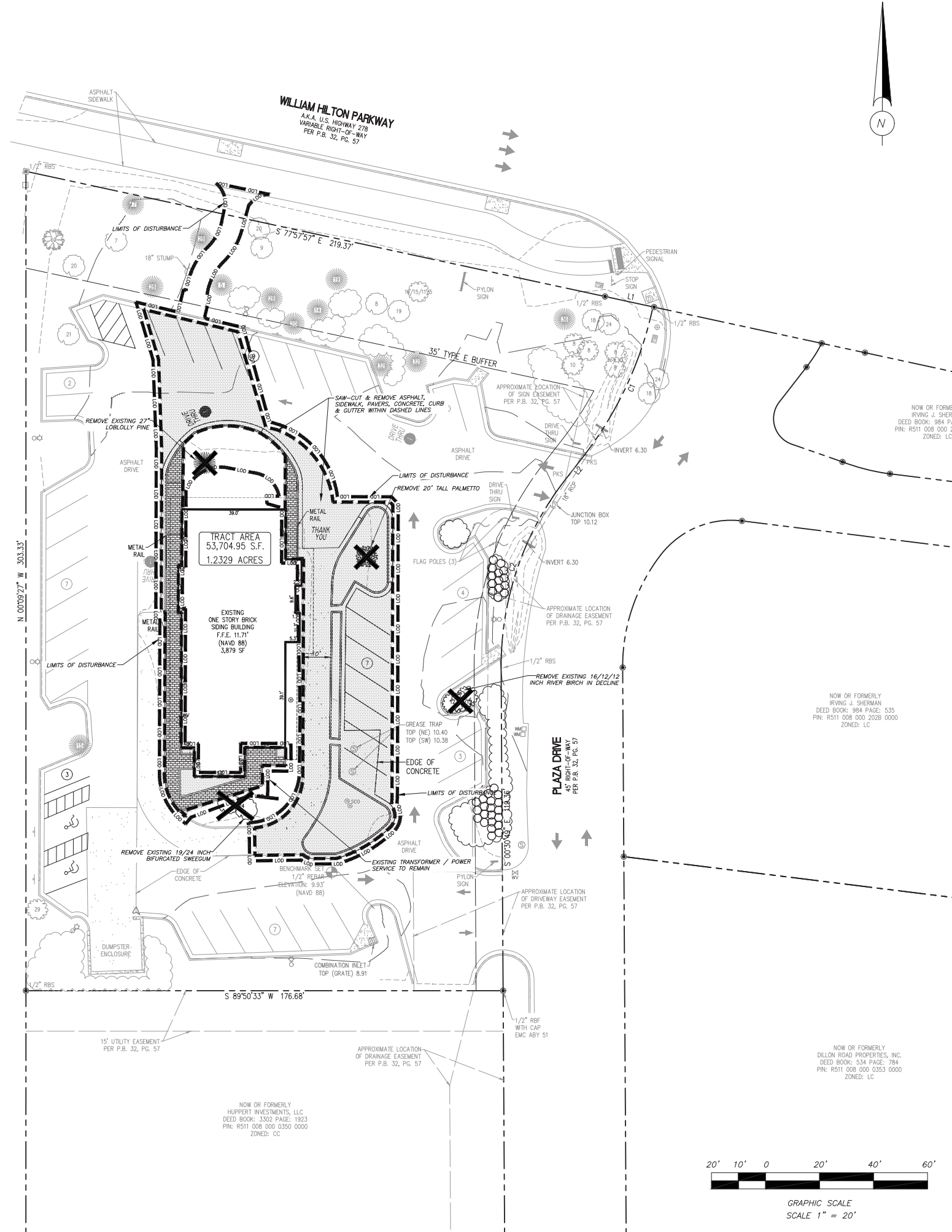
Temporary and permanent vegetative cover shall be installed in accordance with the requirements of Appendix C, of the S.C. DHEC BMP Handbook.

All disturbed areas are to be grassed as soon as construction phases permit. Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch. Disturbed areas which may be left idle for four weeks to six months shall be established to temporary vegetation. All disturbed areas to be left idle for six months or longer will be established to permanent vegetation. All areas to final grade will be established to permanent vegetation within two weeks.

During unsuitable growing seasons, mulch will be used as a temporary cover. On slopes of 4:1, or greater, mulch will be anchored.

NOTE: ANY AMENDMENTS TO THE EROSION & SEDIMENTATION CONTROL PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

Secondary Permittees must notify the Primary Permittee within 24 hours of becoming aware of any suspected BMP design deficiency.



LINE TABLE

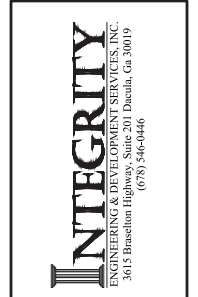
LINE	BEARING	DISTANCE
L1	S 77°57' E	18.56'
L2	N 37°44' E	11.24'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	136.69'	60.65'	S 24°3'07" W	60.15'
C2	112.50'	75.10'	N 18°36'41" E	73.71'



ISSUE	DESCRIPTION	DRB SUBMITTAL	ADDRESS STAFF COMMENTS	ADDRESS STAFF COMMENTS
DATE:	04/23/21	05/05/21	05/13/21	
NO.	1	2	3	4



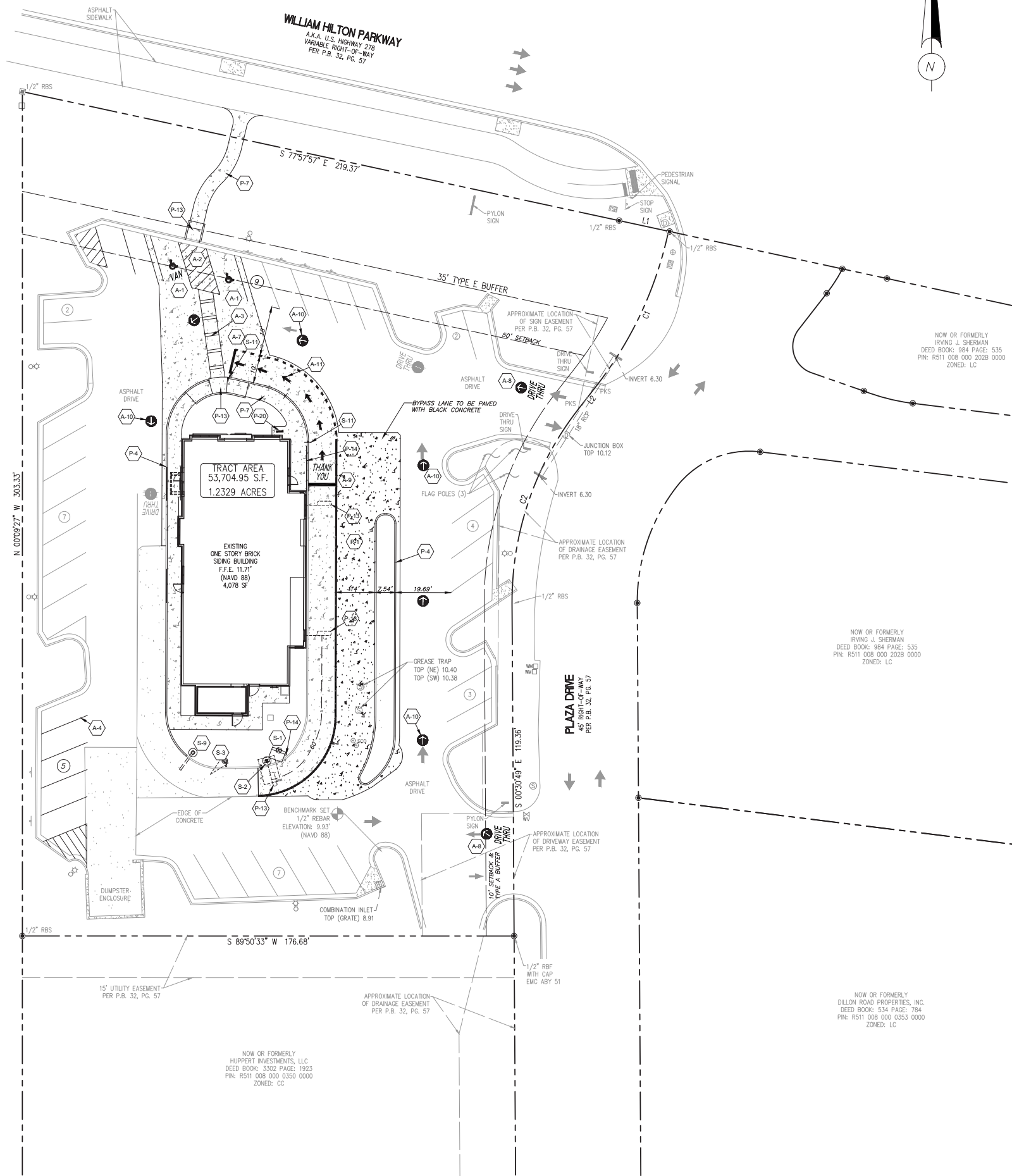
McDonald's
 2 Plaza Drive
 Hilton Head, SC 29926
 Beaufort County
 Zoned: CC

MCD STATE SITE CODE:
39-0098

IEDS PROJECT NUMBER:
MCD-1728

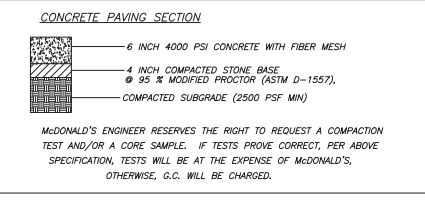
SHEET TITLE:
DEMO / EROSION CONTROL PLAN

SHEET NUMBER: **3** / **9**



STRIPING LEGEND		PROPOSED SIGNS	
A-1	ADA ACCESSIBLE STALL WITH WHITE SYMBOL PER ADA REQUIREMENTS	S-1	OUTDOOR DIGITAL MENU BOARD
A-2	HANDICAP ACCESSIBLE AISLE-4" WHITE STRIPES @ 45° 2" O.C.	S-2	SPRINGBOARD CANOPY
A-3	5' WIDE PEDESTRIAN ACCESS AISLE WITH 6" WHITE STRIPES	S-3	DIGITAL PRE-SALE BOARD
A-4	4" WHITE PARKING STRIPE OR STRIPED AREA - 4" WHITE STRIPES	S-4	MUTCD SIGN R7-8 - HANDICAP PARKING
A-5	6" YELLOW DRIVE-THRU STRIPE	S-5	MUTCD SIGN R7-8 & R7-8a - ADA VAN ACCESSIBLE HANDICAP PARKING
A-6	DOUBLE HEADED ARROW	S-6	"WELCOME" SIGN (NEXT GENERATION)
A-7	YELLOW OOSP STRIPING	S-7	"THANK YOU" SIGN (NEXT GENERATION)
A-8	"DRIVE THRU" W/ARROW PAVEMENT MARKING	S-8	DOUBLE GATEWAY SIGN
A-9	"THANK YOU" PAVEMENT MARKING	S-9	SINGLE GATEWAY SIGN
A-10	PARKING LOT ARROWS @ 40° - 60° (52° IDEAL)	S-10	FLAG POLE
A-11	INGRESS / EGRESS ARROWS	S-11	OOSP SIGNAGE
A-12	24" STOP BAR	S-12	MOBILE ORDER SIGN
A-13	MOBILE ORDER PAVEMENT MARKING	S-13	EXISTING ROAD SIGN
A-14	DOUBLE YELLOW LINE	S-14	"CAUTION PEDESTRIAN CROSSING" SIGN
		S-15	STOP SIGN
		S-16	DO NOT ENTER SIGN

STANDARD CURB, GUTTER, SIDEWALKS AND PAVING ON SITE		
KEY	DESCRIPTION	SPECIFICATION
P-1	CONCRETE PAVING	6" THK 4,000 PSI CONCRETE WITH FIBERMESH
P-2	CONCRETE TRASH ENCLOSURE PAD	18'-8"W x 19'-4" x 8" THK 4,000 PSI CONCRETE WITH FIBERMESH
P-3	PAVER SIDEWALK	COLOR PATTERN & MFR BY PROJECT MANAGER
P-4	CURB & GUTTER (18" PAN)	3,500 PSI CONCRETE WITH FIBERMESH
P-5	STANDING CURB	6" x 18" 3,500 PSI CONCRETE WITH FIBERMESH
P-6	6" CURB POURED WITH MONOLITHIC SLABS	6" x 12" 4,000 PSI CONCRETE WITH FIBERMESH
P-7	CONCRETE SIDEWALK	4" THK 4,000 PSI CONCRETE WITH FIBERMESH
P-8	CONCRETE TRASH APRON	6" THK 4,000 PSI CONCRETE WITH FIBERMESH
P-9	ASPHALT	1" TOPPING OVER 2" BINDER (COMPRESSED) OVER 8" STONE BASE
P-10	5' OPTIONAL CONCRETE DRIP APRON	5" W x 6" THK 4,000 PSI CONCRETE FIBERMESH
P-11	OPTIONAL CONCRETE DELIVERY TRUCK APRON	10' W x 6" THK 4,000 PSI CONCRETE FIBERMESH
MISCELLANEOUS ITEMS		
P-12	DELIVERY RAMP	
P-13	HANDICAP ADA RAMP	
P-14	DETECTOR LOOP (INSTALL IF NOT EXISTING)	
P-15	6" BOLLARD (TYP.)	
P-16	EXISTING TRANSFORMER PAD	
P-17	TRELLIS OVERHANG	
P-18	6" SAFETY RAIL (STAINLESS STEEL)	
P-19	EXISTING GREASE TRAP	
P-20	BIKE RACK	



PARKING DATA				
REQUIRED: ONE SPACE PER EACH 100 SQUARE FEET OF GROSS FLOOR AREA 4,078 / 100 = 41 SPACES				
EXISTING	PROPOSED CAR SPACES	H/C SPACES	TOTAL REQUIRED	TOTAL PROPOSED
44 SPACES	37 SPACES	2 SPACES	41 SPACES	39 SPACES
NET LOSS OF 5 PARKING SPACES, 5% REDUCTION IN REQ'D SPACES NEEDED				

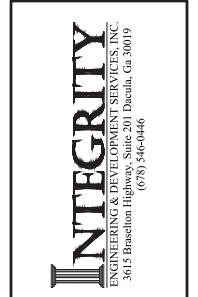
PROPERTY NOTES

ZONING DISTRICT - CC
 OVERLAY DISTRICT - COD, ADD
 USE OF PROPERTY - EATING ESTABLISHMENT
 GROSS SITE ACRES - 1.23 ACRES
 ALLOWED TOTAL DENSITY (1.23 X 10000 GFA) = 12,300 SF
 EXISTING BUILDING SQ FT - 3,879
 PROPOSED BUILDING SQ FT - 4,078
 TOTAL SQUARE FOOTAGE - 53,705
 MAXIMUM BUILDING HEIGHT ALLOWED - 45'
 PROPOSED BUILDING HEIGHT - 18'-3 1/2"
 MAXIMUM ALLOWED IMPERVIOUS - 60% - 32,223 SQ FT
 CURRENT IMPERVIOUS - 62.5% - 33,568 SQ FT
 PROPOSED IMPERVIOUS - 65.22% - 35,026 SQ FT

LINE TABLE				
LINE	BEARING	DISTANCE		
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L2	N 37°44'11" E	11.24'		

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
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ISSUE	DESCRIPTION	DRB SUBMITAL	ADDRESS STAFF COMMENTS	ADDRESS STAFF COMMENTS
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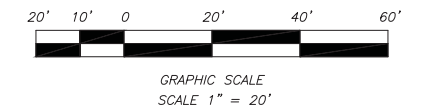
McDonald's
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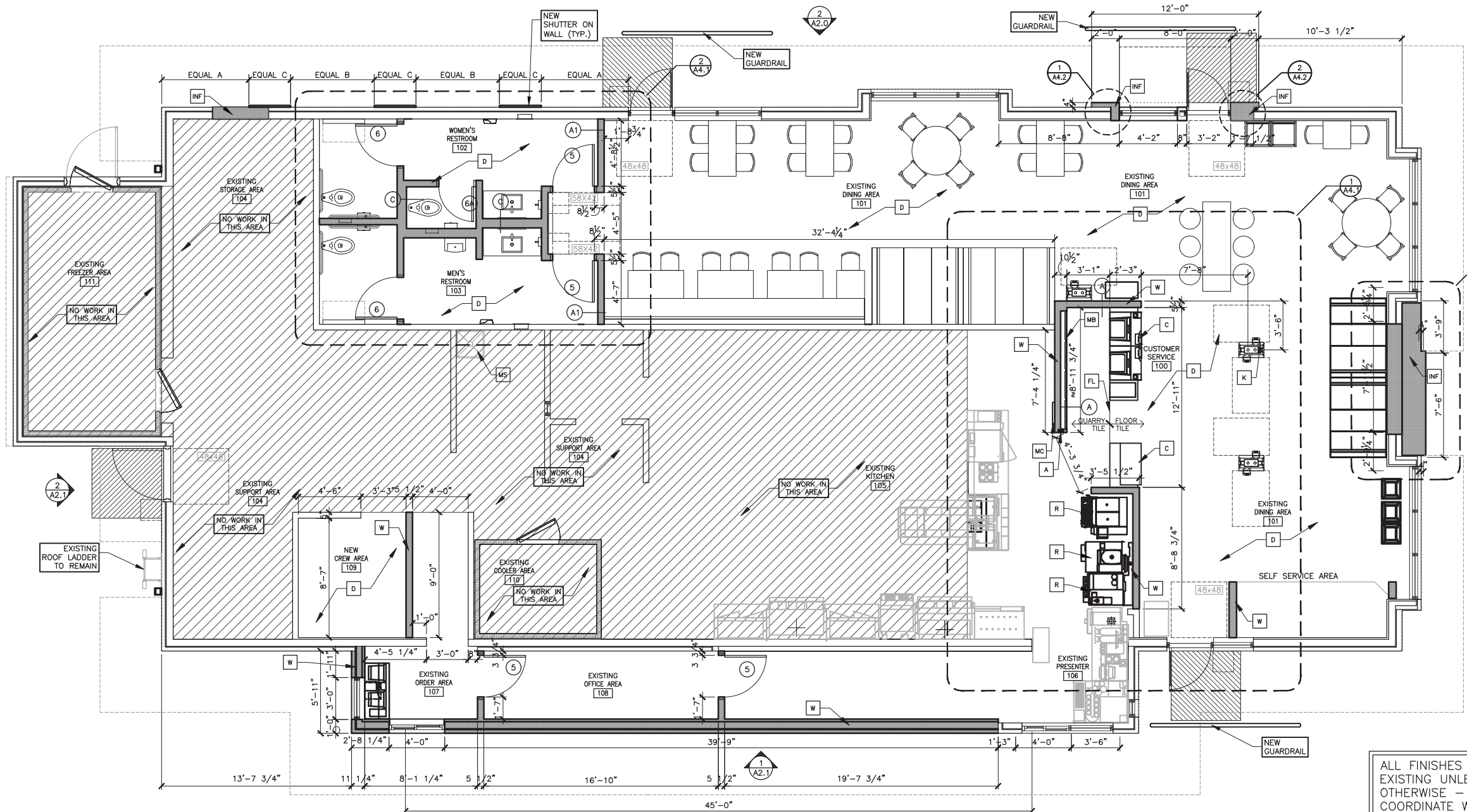
MCD STATE SITE CODE:
39-0098

IEDS PROJECT NUMBER:
MCD-1728

SHEET TITLE:
SITE PLAN

SHEET NUMBER: **4** / **9**



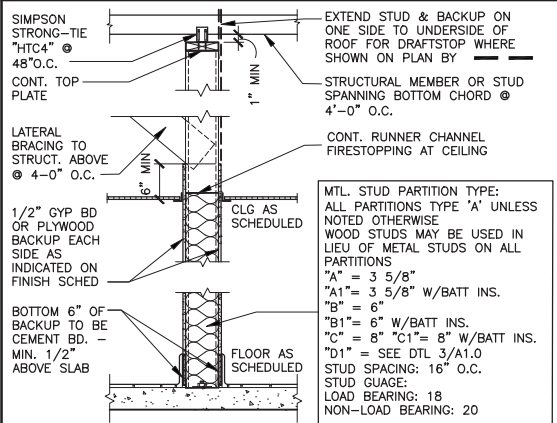


1 FLOOR PLAN
 SCALE: 1/4" = 1'-0" NORTH

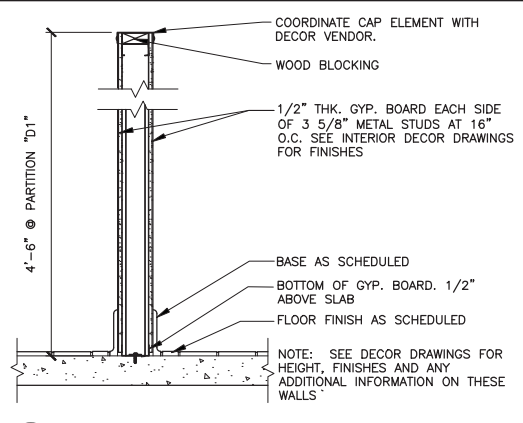
ALL FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE - VERIFY AND COORDINATE WITH THE ACM

1. CONTRACTOR TO PROVIDE ADEQUATE DUST BARRIER AT KITCHEN AREA TO ALLOW CONSTRUCTION TO CONTINUE IN DINING ROOM WHILE KITCHEN IS OPERATIONAL.

2. CONTRACTOR TO ENSURE A RESTROOM FACILITY WITH HAND WASHING IS AVAILABLE AT ALL TIMES TO EMPLOYEES



2 INTERIOR PARTITION
 SCALE: 3/4" = 1'-0"



3 PARTIAL HT. PARTITION DETAIL
 N.T.S.

- KEY NOTES**
- C EDGE OF CANOPY/TRELLIS ABOVE
 - CG G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CC GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPC CORNER GUARDS TO START AT FINISH FLOOR. ATTACH 1 SCREWS INTO WOOD BLOCKING BULLNOSE COVE BASE MEETS STAINLESS STEEL CORNER
 - CP CONCRETE EQUIPMENT PAD - SEE STRUCTURAL DRAWINGS
 - D REFER TO DECOR DRAWINGS FOR FINAL DINING AREA ROUGH-INS, FINISHES, AND SEATING
 - FB FILL BOX - COORDINATE WITH ELEVATIONS AND CONSTRUCTION MANAGER
 - INF NEW WALL INFILL TO MATCH EXISTING CONSTRUCTION
 - MB RECESSED PORTRAIT STYLE MENU BOARDS. SEE DETAIL 5/A4.1 FOR FRAMING.
 - MC 5-20R POWER RECEPTACLE OF 1.5AMP FOR FUTURE MCDelivery CENTER TABLET AT 3'-4" A.F.F., EXTEND NEARBY APPLIANCE PANEL CIRCUIT TO NEW RECEPTACLE.
 - MS MOP SINK - SEE PLUMBING DRAWINGS.
 - RL ROOF ACCESS LADDER W/HATCH ABOVE SEE STRUCTURAL FRAMING PLAN FOR LOCATING DIMENSIONS

- SYMBOL LEGEND**
- (A) PARTITION TYPE TAG SEE 2/A1.0
 - (7) DOOR TAG - SEE DOOR SCHEDULE ON A6.0
 - CT CERAMIC WALL TILE FROM FLOOR TO CEILING
 - SS STAINLESS STEEL FROM FLOOR TO CEILING
 - X KEY NOTE
 - AREA OF NEW SLAB
 - NEW TO BE PROVIDED - STUD FRAMED
 - NEW TO BE PROVIDED - MASONRY
 - EXISTING TO REMAIN
 - DRAFT STOPPING - SEE 2/A1.0
 - ADA CLEAR FLOOR AREA

- GENERAL NOTES**
1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF FINISH.
 2. SEE 4/A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
 3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
 4. SEE SHEET A6.0 FOR DOOR AND ROOM FINISH SCHEDULES
 5. SEE SITE PLAN FOR SIDEWALKS, BOLLARDS, HANDRAILS, RAMPS, ETC.
 6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 NEW ROCHELLE, NY 10802
 7. MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
 8. ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
 9. COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVINGS, ETC. FOR PROPER INSTALLATION HEIGHTS.
 10. SEE SHEET G0.1 FOR ADA BARRIER REMOVAL PLAN

PREPARED FOR: **McDonald's USA, LLC**

DATE: 04/02/2021

1111 CAMBRIDGE SQUARE, SUITE C ALPHARETTA, GEORGIA 30009 PHONE: (878) 385-4890

MAJOR REMODEL PROGRAM 45/87 BUILDING TYPE

DESCRIPTION: EXISTING LOAD BEARING WALLS PLATED WOOD TRUSS ROOF FRAMING

SHEET NO. **A1.0** FIRST FLOOR PLAN

DATE: 04/02/2021

DATE ISSUED: 04/02/2021

REVIEWED BY: JRO

DATE: 04/02/2021

ORIG. BUILD DATE

DRAWN BY: NM

SITE ADDRESS: 2 PLAZA DRIVE HILTON HEAD, SC 29926

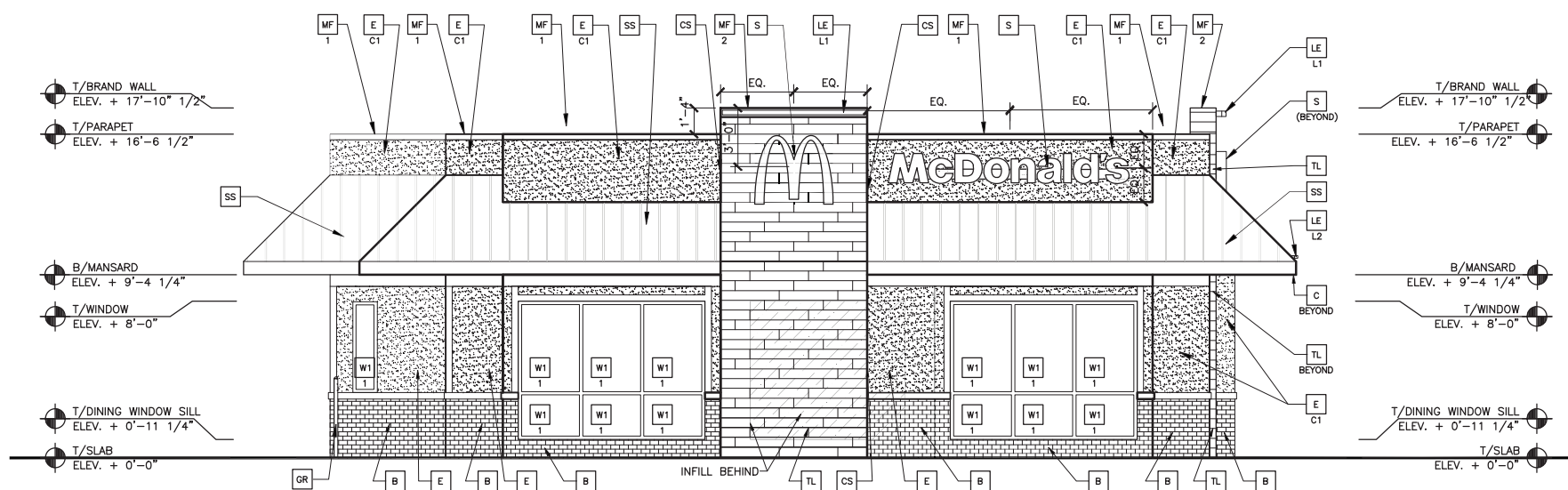
NAT. # 7093

BY: _____

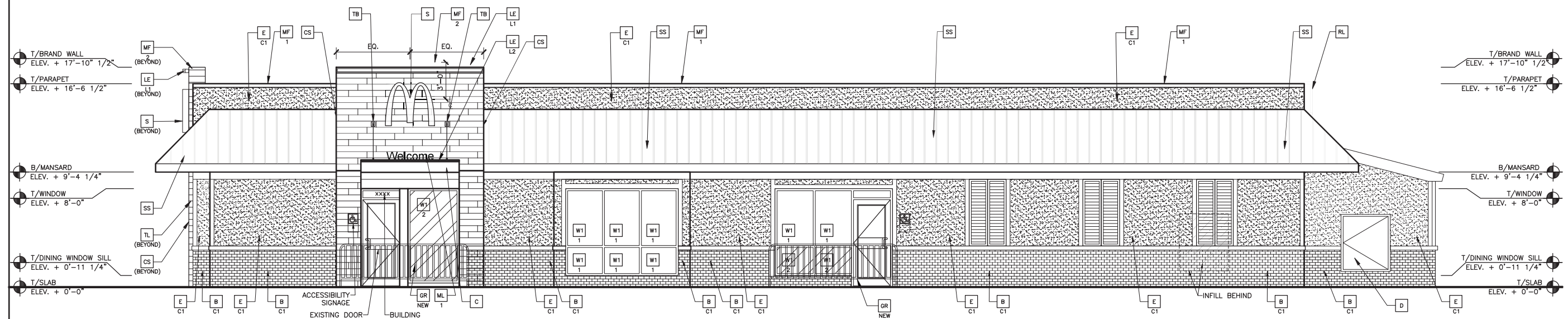
DATE: _____

REV: _____

DESCRIPTION: _____



1 FRONT ELEVATION
A2.0 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"

COLOR SCHEME: 'CRAFTSMAN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

<p>B AUTHENTIC BRICK BY MERIDIAN BRICK XX-COLOR: C1 = SAVANNAH GRAY</p> <p>BM BREAKMETAL TO MATCH TRELLIS SYSTEM</p> <p>C 12" ALUMINUM CANOPY FASCIA SYSTEM BY TRELLIS VENDOR; FASCIA WITH INTEGRATED LED LIGHT BY SIGNAGE VENDOR INSTALLED BY TRELLIS VENDOR COLOR: CHARCOAL</p> <p>CS CORNER STRIP</p> <p>D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> <p>E HARD COAT STUCCO WITH INTEGRAL COLOR XX-COLOR: C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH</p>	<p>L LIGHT FIXTURE - SEE ELECTRICAL XX-TYPE: L1 = UP AND DOWN SCIENCE L2 = DOWN ONLY SCIENCE L3 = RECESSED DOWN FIXTURE COLOR: C1 = SILVER C2 = WHITE</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL XX-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE L4 = GOLD</p> <p>MF METAL FASCIA (COLOR: CITYSCAPE) SEE 4/A3.2 X-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = PRE-FAB CUSTOM ARCADE FASCIA</p> <p>ML METAL LETTERING - BY OTHERS X-TYPE: 1 = 'WELCOME' - COLOR: SILVER</p>	<p>NM NEW STANDING SEAM MANSARD PROJECTION/ EXTENSION - MATCH SLOPE AND FINISH WITH ADJACENT COOLER/ FREEZER ROOF.</p> <p>PB PIPE BOLLARD - PAINT BENJAMIN MOORE IRON MOUNTAIN 2134-30</p> <p>RL ROOF LADDER PAINT TO MATCH SURROUNDING MATERIAL</p> <p>RO ROOF DRAIN OR OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT</p> <p>SH NEW SHUTTERS OVER WALL.</p> <p>SS NEW STANDING SEAM ROOF FINISH FOR MANSARD OVERHANG BY ENGLERT - COLOR CHARCOAL GRAY.</p> <p>TB TRELLIS TIE-BACK SYSTEM - CHARCOAL GRAY A-ADJUSTABLE</p>	<p>TL TILE (Ø BASE OF BATTEN SYSTEM) EUROWEST; EWOOD COLLECTION; R9 OAK SIZE: 6"X36" 1/4" RUNNING BOND WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: MAPEI - 04 BAHAMA BEIGE GROUT WIDTH: 1/8" TO 3/16"</p> <p>W1 EXTERIOR WINDOW ASSEMBLY - TO MATCH EXISTING BLACK ANODIZED STOREFRONT X-1=EXISTING 2=NEW - MATCH EXISTING BLACK ANODIZED STOREFRONT</p> <p>W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER OPTIONS INCLUDE: TRANSOM (SHOWN) XX-SLIDE DIRECTION: RL=RIGHT TO LEFT LR=LEFT TO RIGHT</p> <p style="text-align: center;">▨ NEW MASONRY INFILL. FINISHES TO MATCH SURROUNDING.</p>
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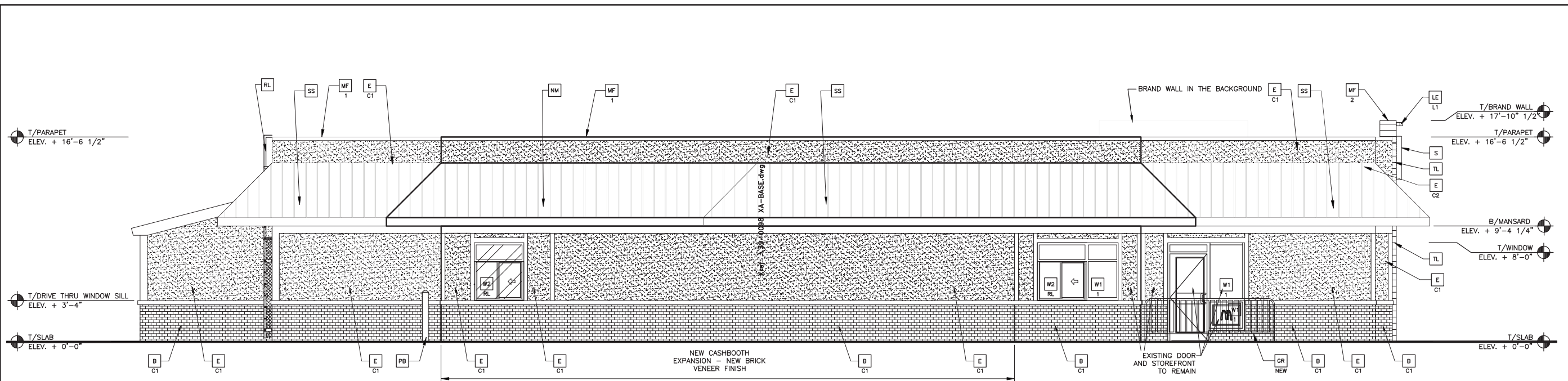
REV	DATE	DESCRIPTION	BY

05/04/2021
DATE

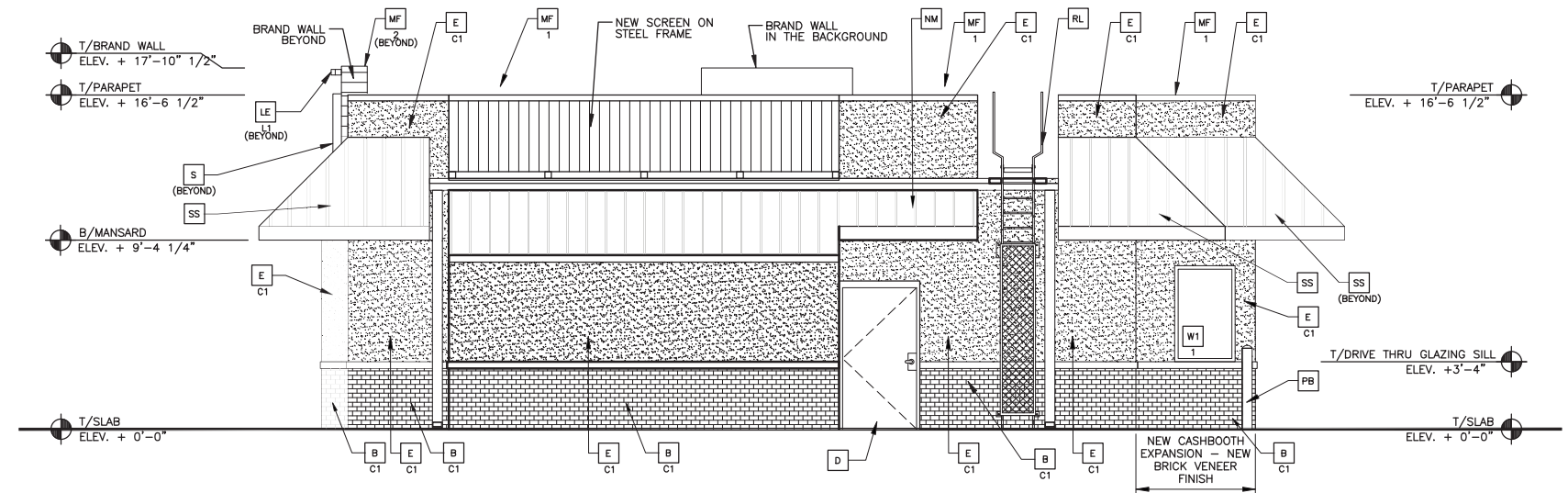


PREPARED FOR: McDonald's USA, LLC
McDonald's USA, LLC
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DRAWN BY NMI	ORIG. BUILD DATE	REVIEWED BY JRO	DATE ISSUED 05/04/2021
TITLE MAJOR REMODEL PROGRAM 45/87 BUILDING TYPE		DESCRIPTION EXISTING LOAD BEARING WALLS PLATED WOOD TRUSS ROOF FRAMING	
SHEET NO. A2.0 ELEVATIONS		NAT. # 7093 SITE ADDRESS 2 PLAZA DRIVE HILTON HEAD, SC 29926	



1 DRIVE THRU ELEVATION
 A2.1 1/4" = 1'-0"



2 REAR ELEVATION
 A2.1 1/4" = 1'-0"

COLOR SCHEME: 'CRAFTSMAN' SCHEME
 (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

<p>B AUTHENTIC BRICK BY MERIDIAN BRICK XX-COLOR: C1 = SAVANNAH GRAY</p> <p>BM BREAKMETAL TO MATCH TRELLIS SYSTEM</p> <p>C 12" ALUMINUM CANOPY FASCIA SYSTEM BY TRELLIS VENDOR; FASCIA WITH INTEGRATED LED LIGHT BY SIGNAGE VENDOR INSTALLED BY TRELLIS VENDOR COLOR: CHARCOAL</p> <p>CS CORNER STRIP</p> <p>D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> <p>E HARD COAT STUCCO WITH INTEGRAL COLOR XX-COLOR: C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH</p>	<p>L LIGHT FIXTURE - SEE ELECTRICAL XX-TYPE: L1 = UP AND DOWN SCIENCE L2 = DOWN ONLY SCIENCE L3 = RECESSED DOWN FIXTURE -COLOR: C1 = SILVER C2 = WHITE</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL XX-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE L4 = GOLD</p> <p>MF METAL FASCIA (COLOR: CITYSCAPE) SEE 4/A3.2 X-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = PRE-FAB CUSTOM ARCADE FASCIA</p> <p>ML METAL LETTERING - BY OTHERS X-TYPE: 1 = 'WELCOME' - COLOR: SILVER</p>	<p>NM NEW STANDING SEAM MANSARD PROJECTION/ EXTENSION - MATCH SLOPE AND FINISH WITH ADJACENT COOLER/ FREEZER ROOF.</p> <p>PB PIPE BOLLARD - PAINT BENJAMIN MOORE IRON MOUNTAIN 2134-30 PAINT TO MATCH SURROUNDING MATERIAL</p> <p>RL ROOF LADDER PAINT TO MATCH SURROUNDING MATERIAL</p> <p>RO ROOF DRAIN OR OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT</p> <p>SH NEW SHUTTERS OVER WALL.</p> <p>SS NEW STANDING SEAM ROOF FINISH FOR MANSARD OVERHANG BY ENGLERT - COLOR CHARCOAL GRAY.</p> <p>TB TRELLIS TIE-BACK SYSTEM - CHARCOAL GRAY A-ADJUSTABLE</p>	<p>TL TILE (Ø BASE OF BATTEN SYSTEM) EUROWEST: EWOOD COLLECTION: R9 OAK SIZE: 6"X36" 1/4" RUNNING BOND WATERPROOFING, SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: MAPEI - 04 BAHAMA BEIGE GROUT WIDTH: 1/8" TO 3/16"</p> <p>W1 EXTERIOR WINDOW ASSEMBLY - TO MATCH EXISTING BLACK ANODIZED STOREFRONT X-1=EXISTING 2=NEW - MATCH EXISTING BLACK ANODIZED STOREFRONT</p> <p>W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER OPTIONS INCLUDE: TRANSOM (SHOWN) XX-SLIDE DIRECTION: RL=RIGHT TO LEFT LR=LEFT TO RIGHT</p> <p> NEW MASONRY INFILL. FINISHES TO MATCH SURROUNDING.</p>
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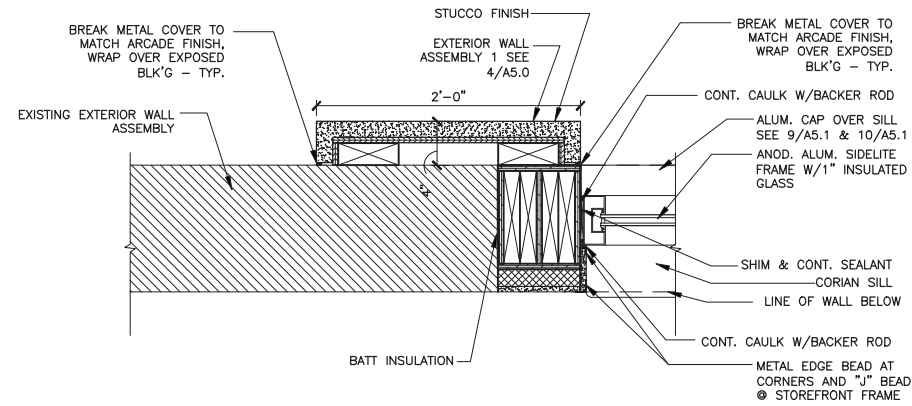
NO.	DATE	DESCRIPTION	BY

05/04/2021
DATE

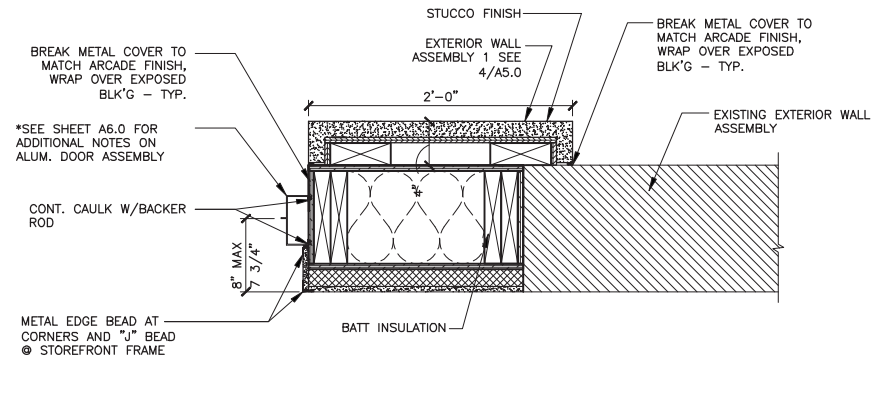


PREPARED FOR: **McDonald's USA, LLC**
 PREPARED BY: **McDonald's USA, LLC**
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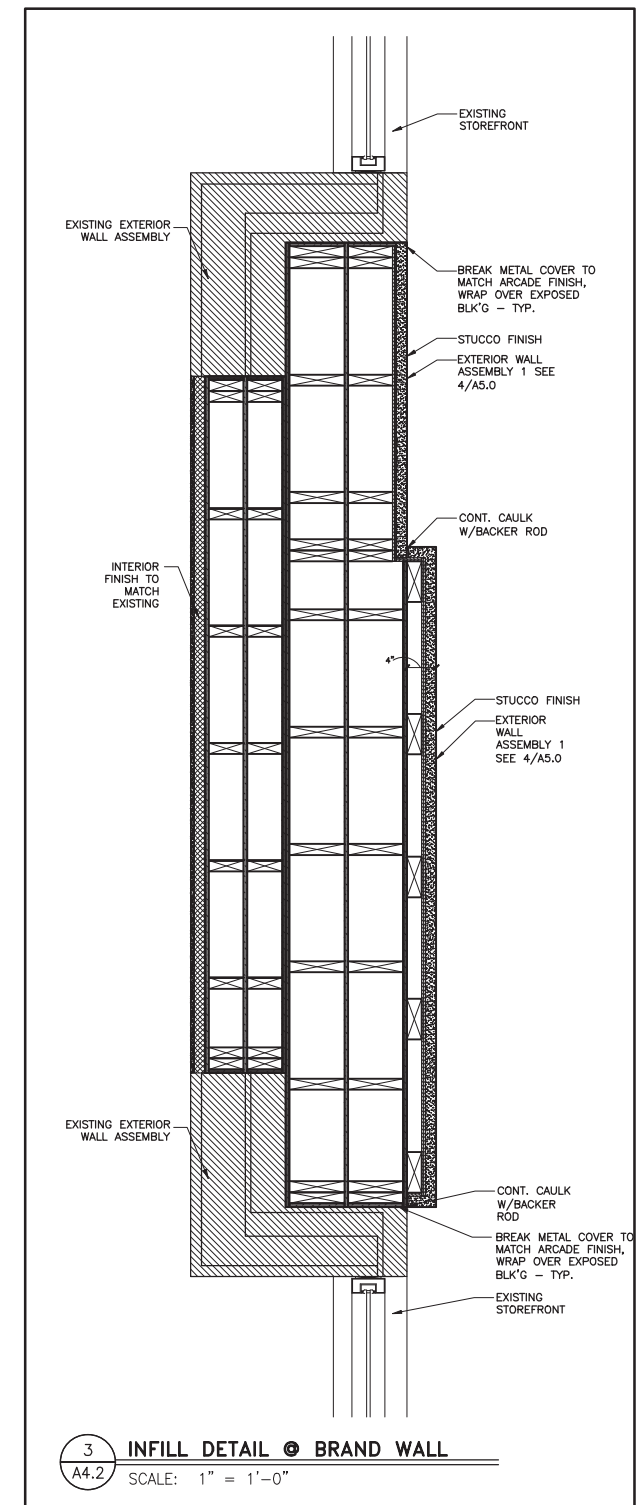
DRAWN BY: NMI	ORIG. BUILD DATE:	REVIEWED BY: JRO	DATE ISSUED: 05/04/2021
TITLE: MAJOR REMODEL PROGRAM	DESCRIPTION: EXISTING LOAD BEARING WALLS PLATED WOOD TRUSS ROOF FRAMING	SITE ADDRESS: 2 PLAZA DRIVE	HILTON HEAD, SC 29926
SHEET NO. A2.1	NAT. # 7093	ELEVATIONS	



1 STOREFRONT JAMB DETAIL @ BRAND WALL
 A4.2 1 1/2" = 1'-0"



2 DOOR JAMB DETAIL @ ENTRY WALL
 A4.2 1 1/2" = 1'-0"



3 INFILL DETAIL @ BRAND WALL
 A4.2 SCALE: 1" = 1'-0"

SHEET NO. A4.2		NAT. # 7093		PLAN DETAILS	
TITLE MAJOR REMODEL PROGRAM		DRAWN BY NIN		PREPARED BY M. McDonald's USA, LLC	
DESCRIPTION 45/87 BUILDING TYPE		ORIG. BUILD DATE		DATE 05/10/2021	
EXISTING LOAD BEARING WALLS		REVIEWED BY JRO		DATE ISSUED 05/10/2021	
PLAYED WOOD TRUSS ROOF FRAMING		DATE ISSUED 05/10/2021		HILTON HEAD, SC 29926	
SITE ID 39-0098		SITE ADDRESS 2 PLAZA DRIVE		REV	
				DATE	
				DESCRIPTION	
				BY	



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DATE
05/10/2021



Front Elevation



Rear Elevation



Savannah Gray
Meridian Brick

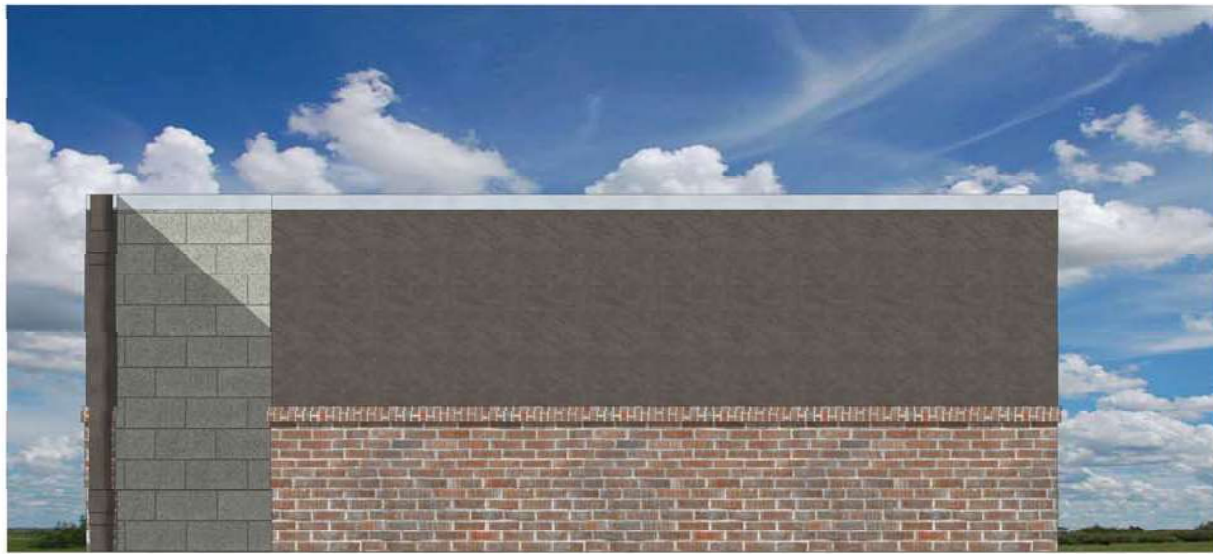


Dining Elevation

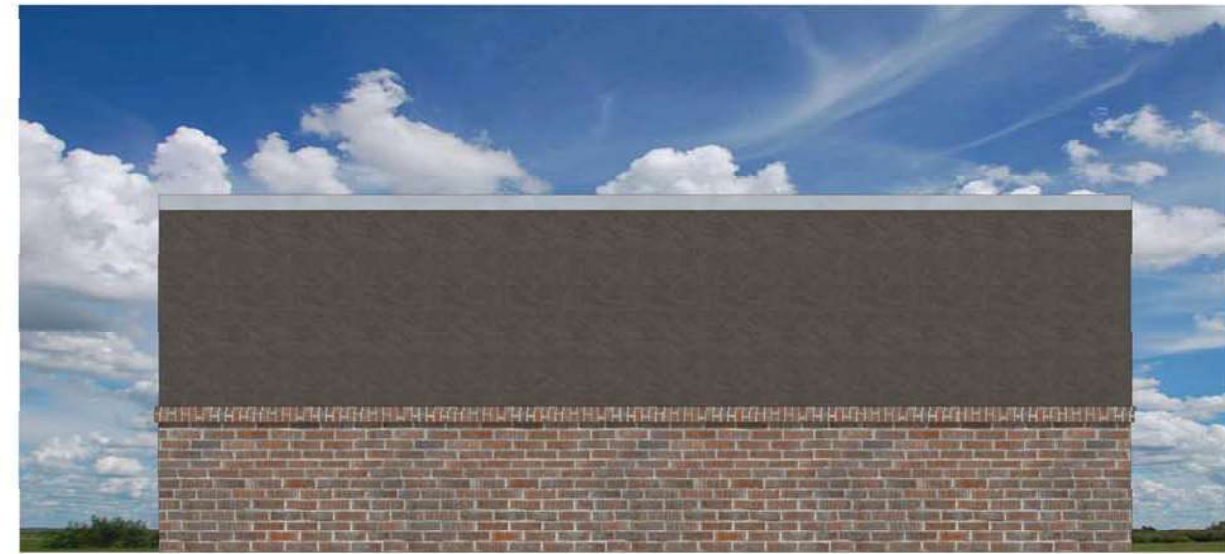


Drive Thru Elevation

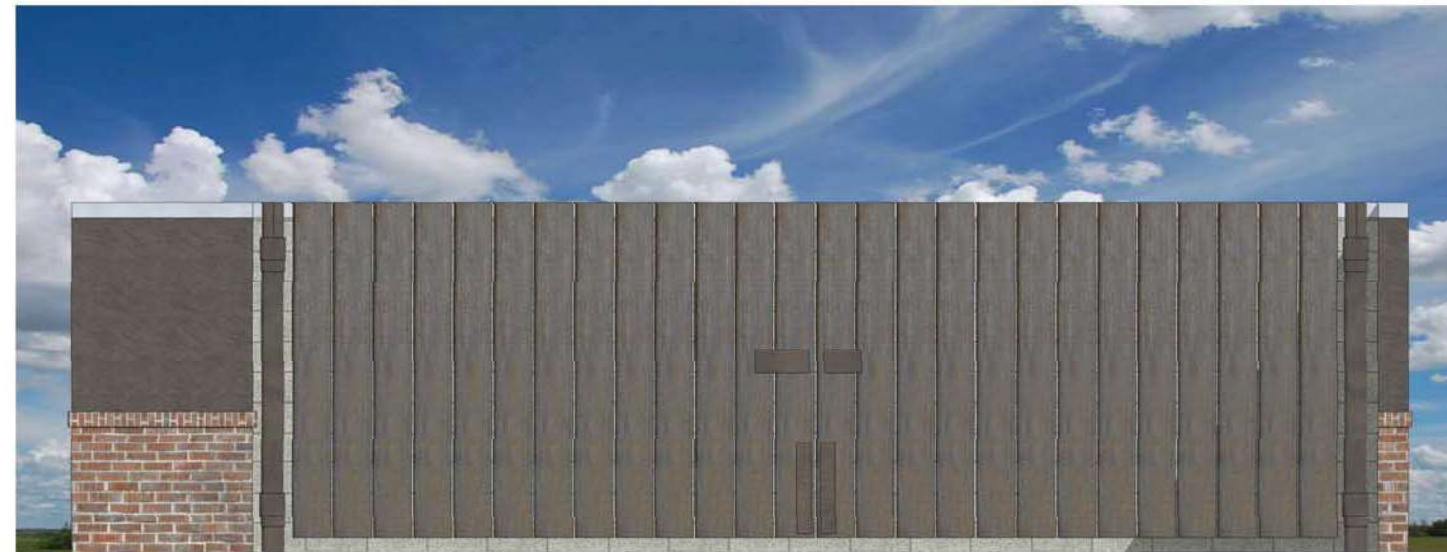
39-0098 Hilton Head, SC
McDonalds Remodel



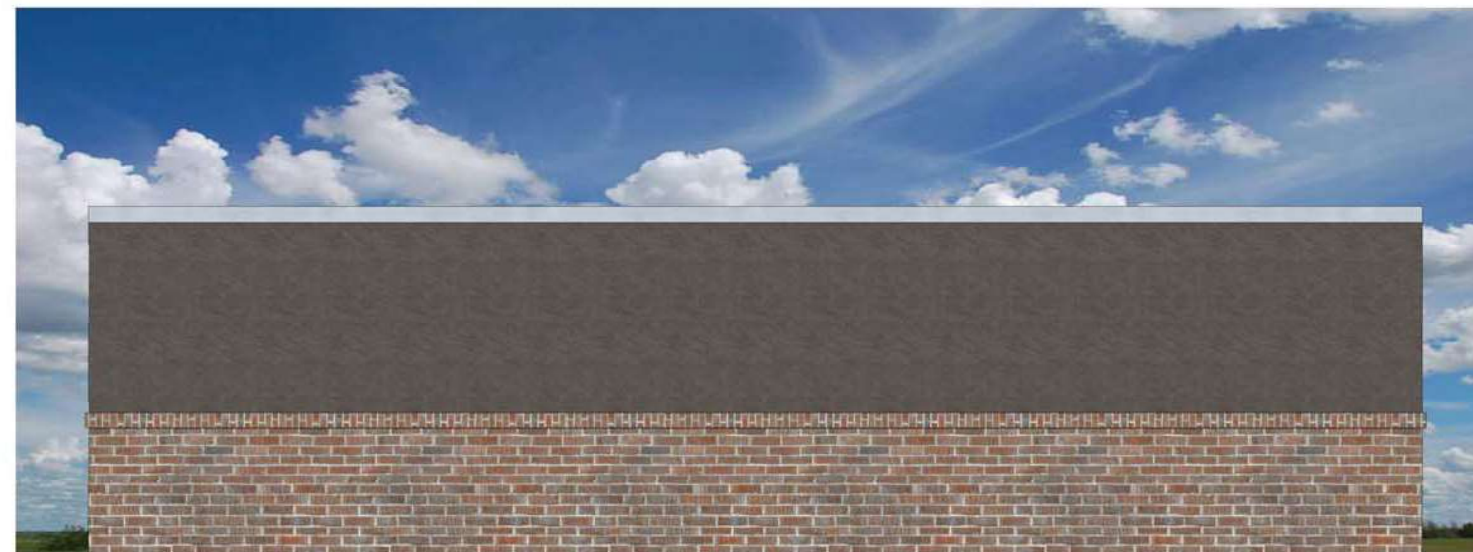
Side Elevation



Side Elevation



Front Elevation



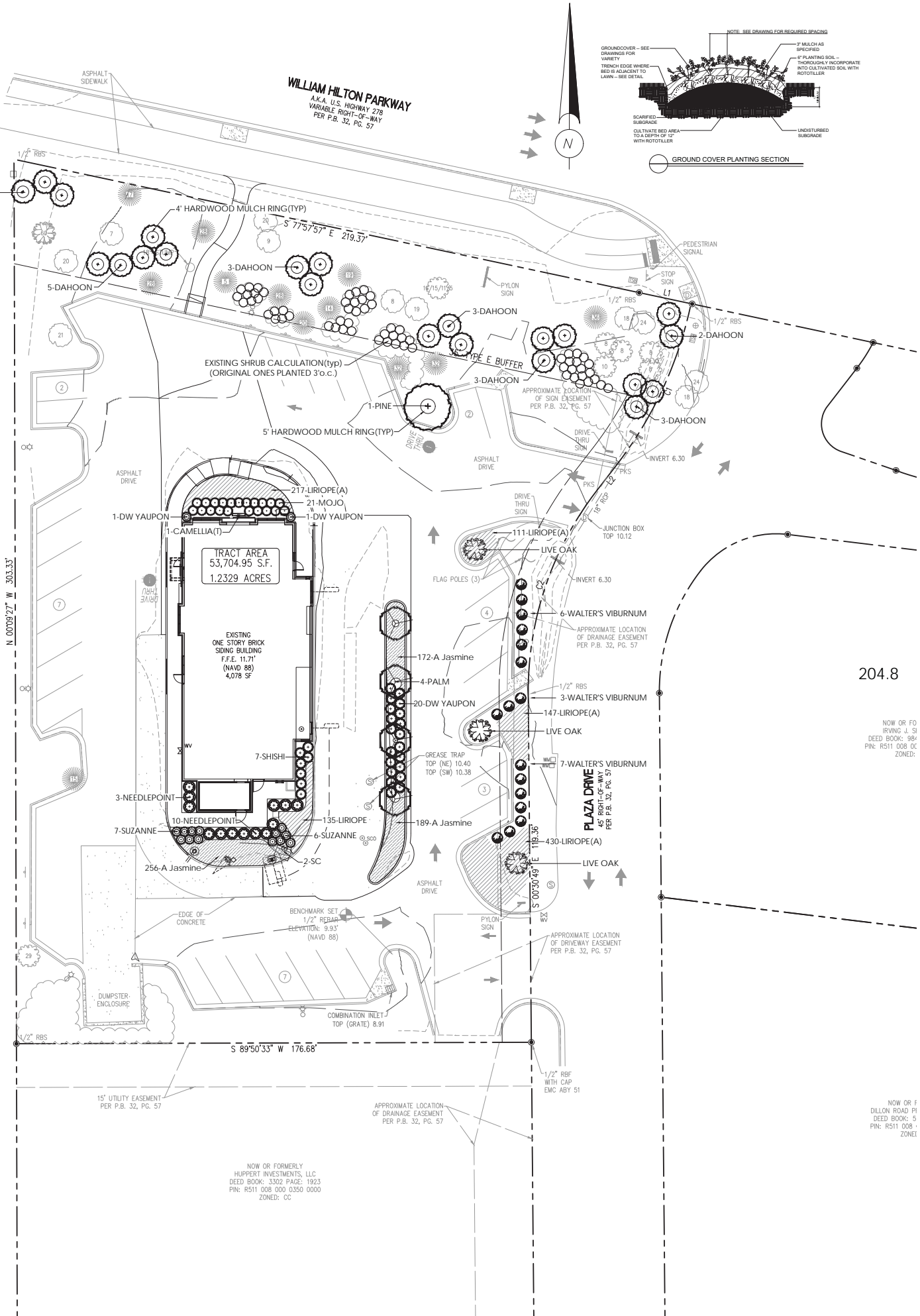
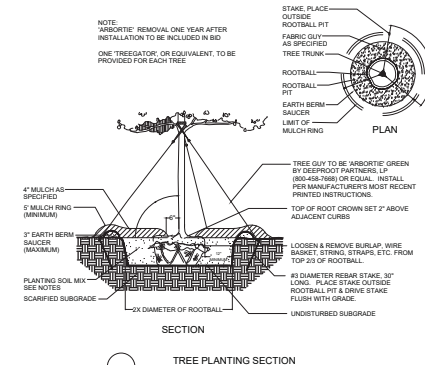
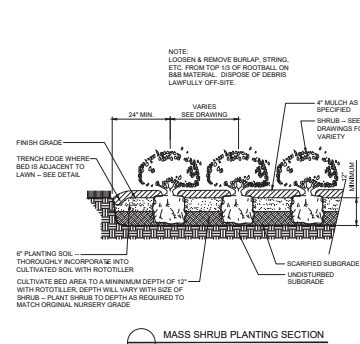
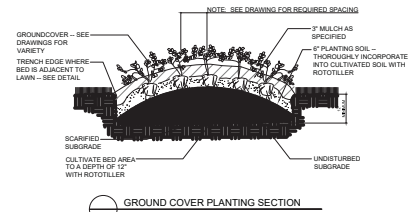
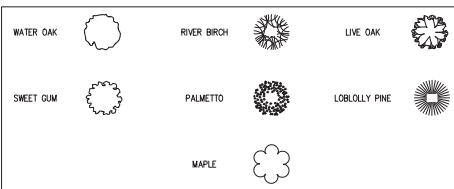
Rear Elevation



Savannah Gray
Meridian Brick

39-0098 Hilton Head, SC
Trash Enclosure McDonalds

EXISTING TREE LEGEND



PLANT SCHEDULE

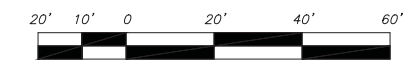
KEY	SPECIES	COMMON NAME	QTY	SIZE	SPACING
REPLACEMENT TREES					
PINE	Pinus taeda	Loblolly Pine	2	10-12'	SEE PLAN
PALM	Sabal palmetto	Cabbage Palm Tree	2	10-12'	SEE PLAN
TOTAL REPLACEMENT TREES: 4					
BUFFER TREES					
REDBUD	Cercis canadensis	Redbud	7	2" cal	SEE PLAN
DAHOON	Ilex cassine	Dahoon Holly	15	10-12'	SEE PLAN
PINE(B)	Pinus taeda	Loblolly Pine	1	10-12'	SEE PLAN
LIVE OAK	Quercus Virginiana	Southern Live Oak	3	10-12'	SEE PLAN
SHRUBS					
SHISHI	Camellia sasanqua 'ShiShi'	ShiShi Camellia	7	3'	3.5'o.c.
CAMELLIA(T)	Camellia japonica trellis	Pink Camellia on Trellis	1	5-6'	3.5'o.c.
GARDENIA-AB	Gardenia j. 'August Beauty'	August Beauty Gardenia	2	3-4'	3'o.c.
NEEDLEPOINT	Ilex cornuta 'Needlepoint'	Needlepoint Holly	13	3g	4'o.c.
SUZANNE	Loropetalum chinensis 'Suzanne'	Suzanne Loropetalum	13	3g	3'o.c.
MOJO	Pittosporum tobira 'MoJo'	MoJo Pittosporum	16	3g	3'o.c.
VIBURNUM	Viburnum obovatum	Walter's Viburnum	16	3g	4'o.c.
GROUND COVER					
LIRIOPE	Liriope muscari 'Big Blue'	Big Blue Liriope	86	1g	12"o.c.
MONDO	Ophiopogon japonicus	Mondo Grass	28	1g	12"o.c.
ANNUALS					
SC	Seasonal Color	Flat of Annuals	9		
SOD					
SOD	match existing				
MULCH					
HARDWOOD MULCH	Dark Brown Triple Shredded	where specified		3" deep	
PINE STRAW	Long Leaf	in shrub beds		3" deep	
IRRIGATION BY AUTOMATIC SYSTEM					

TREE REPLACEMENT TABLE

TREE CATEGORY	DBH	TREE REMOVED	INCHES REMOVED	REPLACEMENT TREES REQUIRED
LOBLOLLY PINE	28	YES	27	2.8
PALM	20	YES	20	2
SWEET GUM	19/24	YES	24	0 (SEE ARBORISTS REPORT)
TOTAL REPLACEMENT TREES:				4.8

BUFFER TABLE

	WILLIAM HILTON PARKWAY 237.93 LF (35' BUFFER)	PLAZA DRIVE 204.8 LF (10' BUFFER)
OVERSTORY TREES REQUIRED	11.9	4
OVERSTORY TREES EXISTING	19	3
OVERSTORY TREES ADDED	0	3
TOTAL OVERSTORY TREES	19	6
UNDERSTORY TREES REQUIRED	16.6	8.2
UNDERSTORY TREES EXISTING	0	0
UNDERSTORY TREES ADDED	17	6 (DRAINAGE EASEMENT)
TOTAL UNDERSTORY TREES	17	6
SHRUBS REQUIRED	59.5	20.5
SHRUBS EXISTING	63	35
SHRUBS ADDED	0	38
TOTAL SHRUBS	63	73



GRAPHIC SCALE
SCALE 1" = 20'

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 77°57'57" E	18.56'
L2	N 37°44'11" E	11.24'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	136.69'	60.65'	S 24°33'07" W	60.15'
C2	112.50'	75.10'	N 18°36'41" E	73.71'

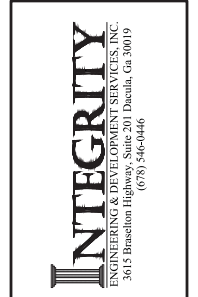
NOW OR FORMERLY
KPP MATHEWS DRIVE, LLC
DEED BOOK: 1261 PAGE: 2278
PIN: R511 008 000 0157 000
ZONED: CC

NOW OR FORMERLY
HUPPERT INVESTMENTS, LLC
DEED BOOK: 3302 PAGE: 1923
PIN: R511 008 000 0350 0000
ZONED: CC

NOW OR FO
IRVING J. SI
DEED BOOK: 924
PIN: R511 008 000
ZONED:

NOW OR F
DILLON ROAD PI
DEED BOOK: 5
PIN: R511 008
ZONED:

ISSUE	DESCRIPTION	DATE
1	DRB SUBMITTAL	04/23/21
2	ADDRESS STAFF COMMENTS	05/05/21
3	ADDRESS STAFF COMMENTS	05/13/21
4		



McDonald's
2 Plaza Drive
Hilton Head, SC 29926
Beaufort County
Zoned: CC

MCD STATE SITE CODE:
39-0098

IEDS PROJECT NUMBER:
MCD-1728

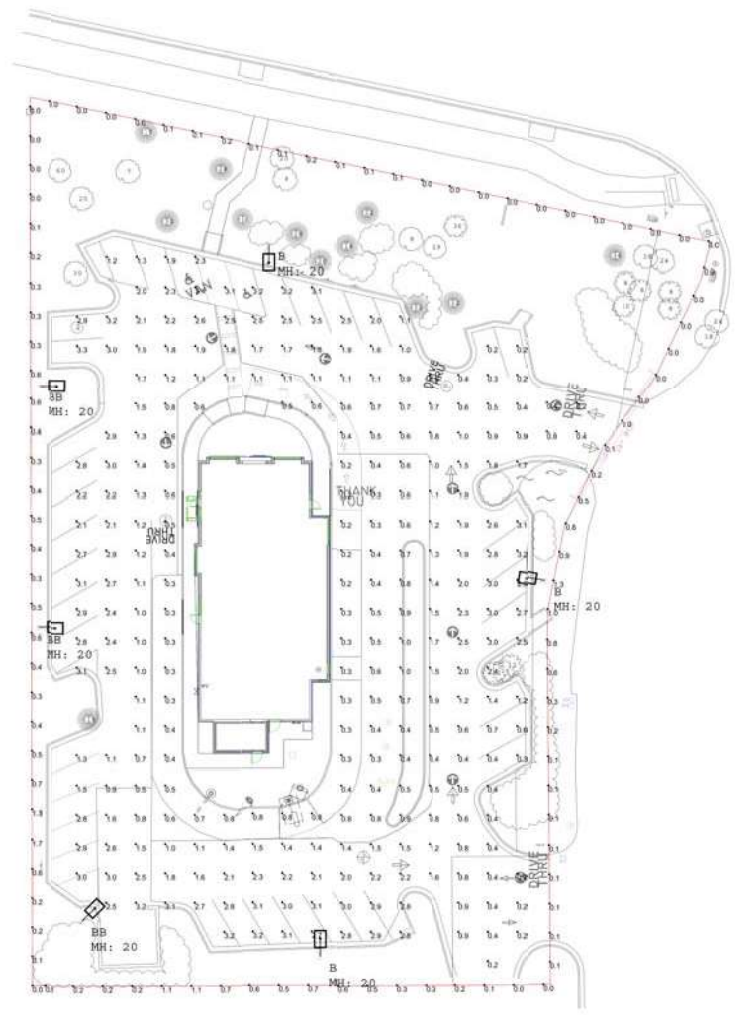
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER
7
9





NOTES:
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA: ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. DISTANCE BETWEEN READINGS: 30'

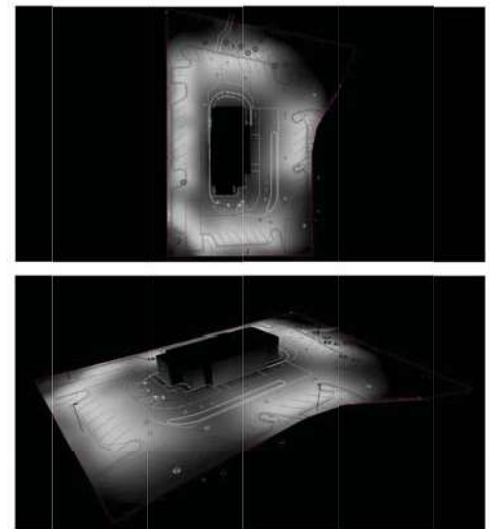


Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	1.42	3.3	0.2	7.10	15.50
PROPERTY LINE READINGS	Illuminance	Fc	0.28	1.7	0.0	N.A.	N.A.

** - SPECIFY COLOR

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg. height	Pole Type
□	3	B	SINGLE	0.900	RAR2-320L-110-3K7-4W	100.3	55	20	EXISTING
□	3	BB	SINGLE	0.900	RAR2-320L-110-3K7-4-BC	100	55	20	EXISTING

* PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC. PEAK GUST WIND)
 30 YEAR MEAN RECURRENCE INTERVAL



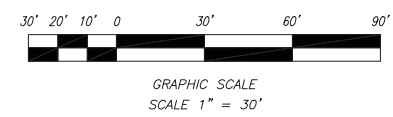
Lights Are 3000K Color Temp
 Tilt=0

Regional Drawing
 # 039-0098

SECURITY LIGHTING
 2018 Building Code, 2018 Fire Code, 2018 Mechanical Code, 2018 Electrical Code, 2018 Plumbing Code, 2018 Energy Code, 2018 International Building Code, 2018 International Fire Code, 2018 International Existing Building Code, 2018 International Energy Conservation Code, 2018 International Fire Safety Code, 2018 International Mechanical Code, 2018 International Plumbing Code, 2018 International Building Code, 2018 International Fire Code, 2018 International Existing Building Code, 2018 International Energy Conservation Code, 2018 International Fire Safety Code, 2018 International Mechanical Code, 2018 International Plumbing Code

Drawn by: **BY**
 POINT-BY-POINT FOOTCANDLE PLAN FOR
 MCDONALD'S
 2 PLAZA DR
 HILTON HEAD, SC

NATIONAL STATE NUMBER
 DATE: 3/9/2021
 DRAWING NUMBER: SL-104016-Rev11.A01



NO.	DATE	DESCRIPTION
1	04/23/21	DRB SUBMITTAL
2	05/05/21	ADDRESS STAFF COMMENTS
3		
4		



INTEGRITY
 ENGINEERING & DEVELOPMENT SERVICES, INC.
 3013 Biscayne Rd., Decatur, GA 30019
 (770) 544-4446

McDonald's
 ONE GLENLAKE PARKWAY
 SUITE 500
 ATLANTA, GEORGIA 30328-5372

McDonald's
 2 Plaza Drive
 Hilton Head, SC 29926
 Beaufort County
 Zoned: CC

MCD STATE SITE CODE:
39-0098

IEDS PROJECT NUMBER:
MCD-1728

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER
6
9



DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Port Royal Plaza McDonald's Renovation

DRB#: DRB-001061-2021

DATE: 05/12/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: (all for review and approval by Staff)

1. Correct the landscape plan and schedule.
2. Revise the lighting plan to eliminate light pollution beyond the property line.
3. Specify a color for the interior wall face of the dumpster enclosure.

APPLICATION MATERIAL				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The change from the existing asphalt pavement to the proposed concrete appears random. Changes in pavement should reflect development of the site. Applicant Response - We are now proposing black concrete on the bypass lane area to differentiate it from the concrete drive thru lane and to more closely match the color of the asphalt.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider renovating the entire landscape between the entrances along Plaza Drive. 05/17/2021 done.

MISC COMMENTS/QUESTIONS

1. This renovation requires a DPR
2. A separate sign permit is required for the signage. It appears the “McDonald’s” on the front elevation may be too large for the architectural feature.
3. Per the Land Management Ordinance, light cannot trespass beyond the property line. See LMO Sec 16-5-108 Site Lighting Standards C.3.
4. The Plant Schedule appears not to reflect the Planting Plan, please revise.
5. The interior of wall face of the dumpster should be painted. Please specify the color.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 3/9/21
 Accepted by: NH2660
 DRB #: SSD-2021
 Meeting Date: _____

Applicant/Agent Name: Nancy Sammis Company: The Lyons
 Mailing Address: 9 Wimbledon Ct #3 City: H. Head State: SC Zip: 29928
 Telephone: 516 480 8381 Fax: _____ E-mail: nsammis@gmail.com
 Project Name: The Lyons Painting Project Project Address: 9 Wimbledon Wimbledon Ct HHI 29928
 Parcel Number [PIN]: R510 009 000 06 99 000 0
 Zoning District: _____ Overlay District(s): AN 00365446
Pont Royal Village

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Nancy Sam
SIGNATURE

3/9/2021
DATE

This is The Lyons second application to the DRB with regard to acceptable paint colors for painting our 6 buildings with the project starting Nov. 1, 2021.

We are a group of 12 homeowners, in 6 identical, duplex buildings at 9 Wimbledon Ct. Hilton Head, which is a private road. All homes have "open" garages at street level.

In the search for an acceptable color scheme, we consulted with Chris Darnell on site for one that would be appropriate and match existing roofs and surroundings. We appreciated his assistance and input. We looked for the closest SW grey color with some blue in it which is SW Dockside Blue 7603 for the base. SW North Star 6246 had previously been suggested by Mr. Darnell for the trim. We do love the combination. The DRB had recommended a third color be used but that will not align with our financing for this project.

The first set of pictures are of new renderings with the use of the above colors. We eliminated, the trim around the windows and on the base of the pillars. Our garages are at street level and open. There is no lattice in the back of the buildings. The bulk of the North Star color is in the interior of our complex, facing the pool. The bulk of the lattice faces our own buildings except for 2 of them that face the defunct Port Royal Racquet Club property, which is overgrown.

The Lyons
9 Wimbledon Ct.
Port Royal Village



Base



Trim

Submitted 5/3/21
For MAY 25 DRB meeting



Figure 4. Folly Field Road at Lyons buildings.



Figure 5. View of Lyons from Islander's Beach Access

The other pictures are as follows;

1. A condo building on Folly Field Road, that is painted aqua which is immediately off the bike path behind a low fence.





4.The light grey/dark grey trim with cranberry shutters are Royal Dunes timeshares.



5. Ocean Palms on the right which is a timeshare with a grey base and bright white trim.



6. The Crown Reef condos which are grey/bright white trim and black shutters.





Figure 1. Lyons building from Wimbledon Ct



Figure 2. Lyons building - side view



Figure 3. Lyons building front (from pool view)

It is difficult to see our homes from the road. The second set of pictures show the distance between the road and our homes which totals 94 feet to our buildings. There is the grassy area off the road (7 feet), the bike path (8 feet), a dirt/leafy area to our six foot fence (12 feet). On the other side of the fence is an area of very large vegetation and trees (27 feet), then our access road (40 feet) to our homes.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lyon's Repaint

DRB#: DRB001096-2021-

DATE: 05/13/2021

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

1. This project was last before the DRB on April 27th.
2. 2nd choice color scheme: Base Color – “Interesting Aqua” SW 6220, Trim – “Tradewind” SW 6218
3. Staff recommends approval of the 1st choice (see color board)



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 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: David Robertson Company: DR Design & Consulting
 Mailing Address: PO Box 873 City: Bluffton State: SC Zip: 29910
 Telephone: 843-338-3373 Fax: _____ E-mail: d.robertson@drdesignandconsulting.com
 Project Name: Deano's Italian Project Address: 7B Greenwood Drive
 Parcel Number [PIN]: R 552 015 000 0003 0000
 Zoning District: SPC Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

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Additional Submittal Requirements:
Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

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- _____ Photographs of existing structure.

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Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

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- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
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Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

DAVID ABERTSON
SIGNATURE

DATE

Deano's Italian Project Narrative

Deano's Italian proposes to renovate the existing courtyard adjacent to Unit 7D Greenwood Drive, for the purpose of providing outdoor dining and entertainment space, and to similarly renovate the entrances to the building and the spaces adjacent to them. These alterations are intended to improve the appearance of the building and facilitate outdoor dining in accordance with pandemic protocols.

The courtyard shall maintain the existing footprint. A new masonry wall, finished in stucco to match the building, shall enclose the courtyard on the parking lot sides, with an aluminum fence on the pathways. Brick piers shall be located at each corner of the courtyard and distributed along each wall. Wood posts shall sit atop brick piers to serve as supports for a pergola, with the intermediate piers being open at the top to serve as minor planters. The courtyard shall have a stamped concrete surface throughout. Planting beds shall surround the courtyard, and shrubbery installed to visually soften the appearance of the walls. The pergola shall incorporate 6x6 treated posts supporting 4x12 treated beams and 2x8 treated joists. The pergola shall support decorative light fixtures for use of the space at night. Wiring in conduit shall be located above pergola framing members and otherwise concealed from view. All new light fixtures shall incorporate obscured glass or employ a design that otherwise conceals light sources from view.

The existing concrete outdoor bar shall have a veneer of brick applied to the outward, vertical faces in place of the existing concrete and 2x rails. The bar top, a stained and sealed concrete slab, shall be refinished in an opaque, mottled epoxy finish to simulate a natural stone slab.

The existing wall behind the outdoor bar shall receive a new, full glass, multipanel bifold door, with the remaining wall to be veneered in brick from the door edge to the righthand (parking lot side) corner.

The existing, independent wall supporting the portico roof at each building entrance shall have a brick veneer applied to maintain thematic continuity with the courtyard renovation. Brick piers shall be added to the area to the left of the interior (One Hot Mama's side) entrance, with aluminum fence railings. Plantings shall be installed on both sides of this fence, and a stamped concrete patio surface installed. The inoperative man door to the right of this entrance shall be replaced with a fixed glass window, as this door has not been a functional exit for over 15 years and no longer serves any purpose.

A new glass door shall be installed at the left front corner of the building, access from the existing dining room to the courtyard via a new hallway along the front of the building. This door shall open into the courtyard in the area currently occupied by a service yard and formerly used to house refrigeration equipment. A new bathroom shall be constructed within the building, and shall be accessed via the new door and hallway, to primarily serve patrons from the courtyard.

The right side wall of the kitchen shall be moved to 6-1/2" in from the edge of the existing roof overhang in the service yard, returning into the existing exterior wall 2 feet from the corner of the building closest to One Hot Mama's. The kitchen wall at the front of the building, also enclosed in the service yard and adjacent to the water heaters, shall be similarly moved to the edge of the existing roof overhang. The wall shall be sided in 8" T-111 vertical wood paneling and painted to match the adjacent stucco wall color.

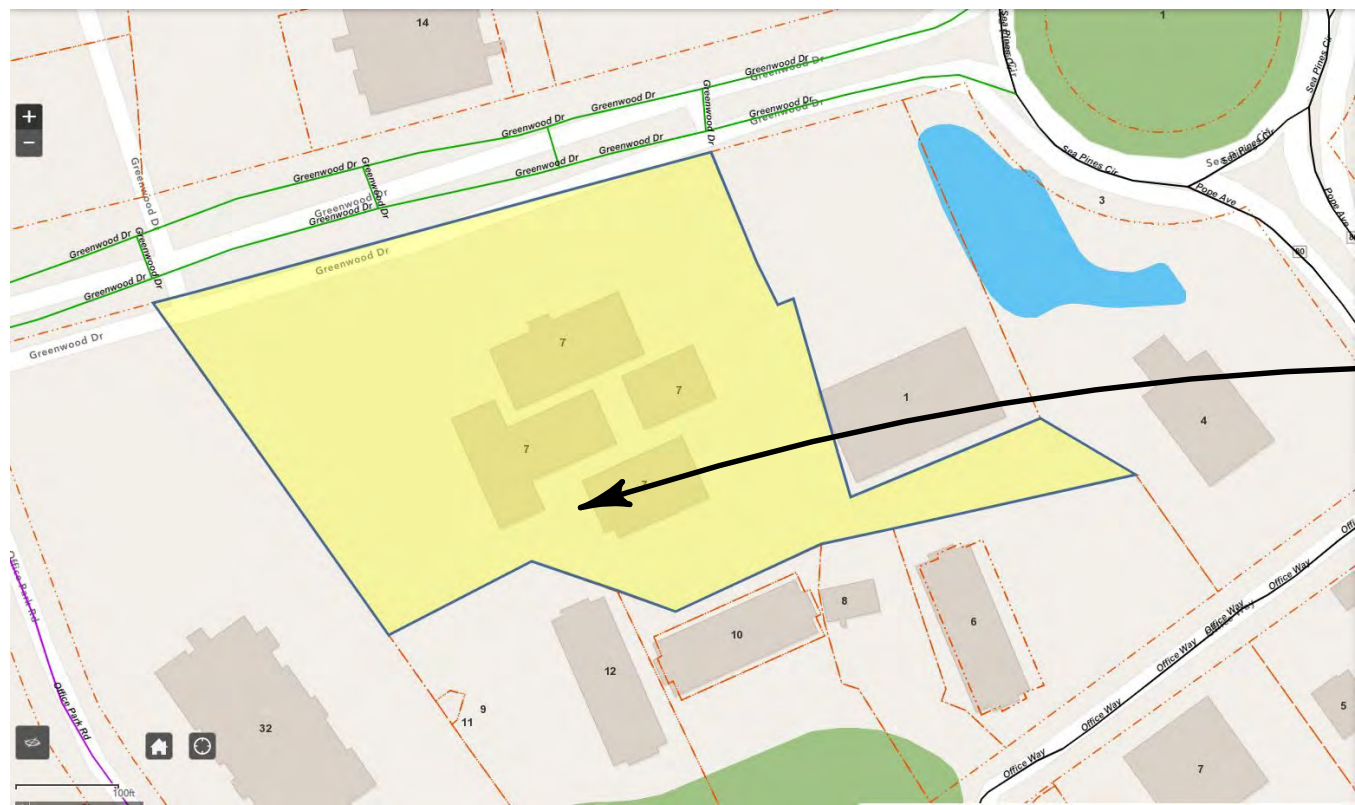
As this project shall utilize existing patio and parking areas, no trees shall be impacted by this development. No topographical changes shall be made to the lot upon which this project is intended to be built, nor any changes made to the ratio of pervious to impervious surface area, therefore no substantial impact to the drainage and grading is anticipated. There are no adjacent wetlands. The proposed construction shall conform to current buffer and setback standards.

The visual impact of this proposed construction upon the surrounding area shall be negligible, as the new & renovated elements shall be substantially concealed by the adjacent buildings, existing trees, and vegetation separating the project area from Greenwood Drive, Sea Pines Circle, and Pope Avenue. Plantings and existing vegetation along the perimeter of the building and courtyard shall further mitigate the visual impact of the project.

All existing parking areas and site lighting shall be preserved. The proposed development shall not alter the flow of vehicular or pedestrian traffic into, out of, or through the parking areas of this lot or the adjacent properties and their connected drive aisles.

NOT FOR CONSTRUCTION

Deano's Italian



PROJECT CONSULTANTS

JAMES V. ROBINSON, JR. AIA
JYR ARCHITECT, PC
28 WOOD DUCK CT.
HILTON HEAD ISLAND, SC 29928
843-368-5641

DAVID ROBERTSON
DR. DESIGN & CONSULTING
PO BOX 373
BLUFFTON, SC 29910
843-338-3373

PROJECT NARRATIVE

Deano's Italian proposes to renovate the existing courtyard adjacent to Unit 7D Greenwood Drive, for the purpose of providing outdoor dining and entertainment space, and to similarly renovate the entrances to the building and the spaces adjacent to them. These alterations are intended to improve the appearance of the building and facilitate outdoor dining in accordance with pandemic protocols.

The courtyard shall maintain the existing footprint. A new masonry wall, finished in stucco to match the building, shall enclose the courtyard on the parking lot sides, with an aluminum fence on the pathways. Brick piers shall be located at each corner of the courtyard and distributed along each wall. Wood posts shall sit atop brick piers to serve as supports for a pergola, with the intermediate piers being open at the top to serve as minor planters. The courtyard shall have a stamped concrete surface throughout. Planting beds shall surround the courtyard, and shrubbery installed to visually soften the appearance of the walls. The pergola shall support decorative light fixtures for use of the space at night. Wiring in conduit shall be located above pergola framing members and otherwise concealed from view. All new light fixtures shall incorporate obscured glass or employ a design that otherwise conceals light sources from view.

The existing concrete outdoor bar shall have a veneer of brick applied to the outward, vertical faces in place of the existing concrete and 2x6 rails. The bar top, a stained and sealed concrete slab, shall be refinished in an exposure, mottled epoxy finish to simulate a natural stone slab.

The existing wall behind the outdoor bar shall receive a new, full glass, multi-paneled hinged door with the remaining wall to be veneered in brick from the door edge to the right-hand (parking lot) side corner.

The existing, independent wall supporting the portico roof at each building entrance shall have a brick veneer applied to maintain thematic continuity with the courtyard renovation. Brick piers shall be added to the area to the left of the interior (Doe Mama's) side entrance, with aluminum fence railings. Plantings shall be installed on both sides of this fence, and a stamped concrete patio surface installed. The inspirational door to the right of this entrance shall be replaced with a fixed glass window, as this door has not been a functional exit for over 15 years and no longer serves any purpose.

A new glass door shall be installed at the left front corner of the building, access from the existing dining room to the courtyard via a new hallway along the front of the building. This door shall open into the courtyard in the area currently occupied by a service yard and formerly used to house refrigeration equipment. A new bathroom shall be constructed within the building, and shall be accessed via the new door and hallway, to primarily serve patrons from the courtyard.

The right side wall of the kitchen shall be moved to 6'-6-1/2" in from the edge of the existing roof overhang in the service yard, returning into the existing exterior wall 2 feet from the corner of the building closest to Doe Hot Mama's. The kitchen wall at the front of the building, also enclosed in the service yard and adjacent to the water heaters, shall be similarly moved to the edge of the existing roof overhang. The wall shall be sided in 9" x 11" vertical wood paneling and painted to match the adjacent stucco wall color.

As this project shall utilize existing patio and parking areas, no trees shall be impacted by this development. No topographical changes shall be made to the lot upon which this project is intended to be built, nor any changes made to the ratio of pervious to impervious surface area, therefore no substantial impact to the drainage and grading is anticipated. There are no adjacent wetlands. The proposed construction shall conform to current buffer and setback standards.

The visual impact of this proposed construction upon the surrounding area shall be negligible, as the new and renovated elements shall be substantially concealed by the adjacent buildings, existing trees, and vegetation separating the project area from Greenwood Drive, Sea Pine Circle, and Pope Avenue. Plantings and existing vegetation along the perimeter of the building and courtyard shall further mitigate the visual impact of the project.

All existing parking areas and site lighting shall be preserved. The proposed development shall not alter the flow of vehicular or pedestrian traffic into, out of, or through the parking areas of this lot or the adjacent properties and their connected drive aisles.

ALL DESIGNS AND WORK DESCRIBED HEREIN SHALL BE EXECUTED IN COMPLIANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC 2018), 2018 INTERNATIONAL MECHANICAL CODE (IMC 2018), 2018 INTERNATIONAL PLUMBING CODE (IPC 2018), 2018 INTERNATIONAL FIRE CODE (IFC 2018), 2018 INTERNATIONAL FUEL GAS CODE (IFGC 2018), 2017 NATIONAL ELECTRICAL CODE (NEC 2017), 2009 INTERNATIONAL ENERGY CONSERVATION CODE (2009 IECC), 2017 ANS A 117.1, AND ANY CODE ADOPTED BY THE STATE OF SOUTH CAROLINA AND THE MUNICIPALITY HAVING JURISDICTION OVER THE CONSTRUCTION OF THIS PROJECT.

PROJECT DATA

USE GROUP A-2
CONSTRUCTION TYPE VB
BUILDING AREA 5,413 SQFT
ZONING DISTRICT SPC
OVERLAY DISTRICT CDD
LOT AREA 198,501 SQFT

NO.	SHEET	TITLE
1	A-001	COVER SHEET
2	A-101	PERMITS
3	A-102	SITE PLAN
4	A-103	COURTYARD PLAN
5	A-104	SELECTIONS & FINISHES
6	A-201	LANDSCAPE PLAN
7	A-202	SITE PHOTOS
8	A-203	LANDSCAPE PHOTOS
9	A-301	SECTIONS & DETAILS
10	A-302	LANDSCAPE PLAN



COURTYARD



COURTYARD



ENTRANCE

Design Phase
5/11/2021

MONTH/DA/YR

MONTH/DA/YR

MONTH/DA/YR

JYR Architect, PC
ARCHITECTURE, PLANNING, & ENTITLEMENT
28 Wood Duck Ct., Hilton Head Island, SC 29928
843-368-5641
E-Mail: jyrarchitect@gmail.com

DR Design & Consulting
ARCHITECTURAL DESIGN & VISUALIZATION
PO Box 373, Bluffton, SC 29910
843-338-3373
E-Mail: d.robertson@drdesignandconsulting.com

NO.	DATE	REVISION

PLOT DATE
5/11/2021

Deano's Italian
7 Greenwood Drive
Hilton Head Island, SC 29928
R552 015 000 0003 0000
PREPARED FOR:
Rob & Jennifer Shaffer

PROJECT NO.:
DRAWN BY:
CHECKED BY:

DATE:
11/19/11
11/19/11

COVER SHEET

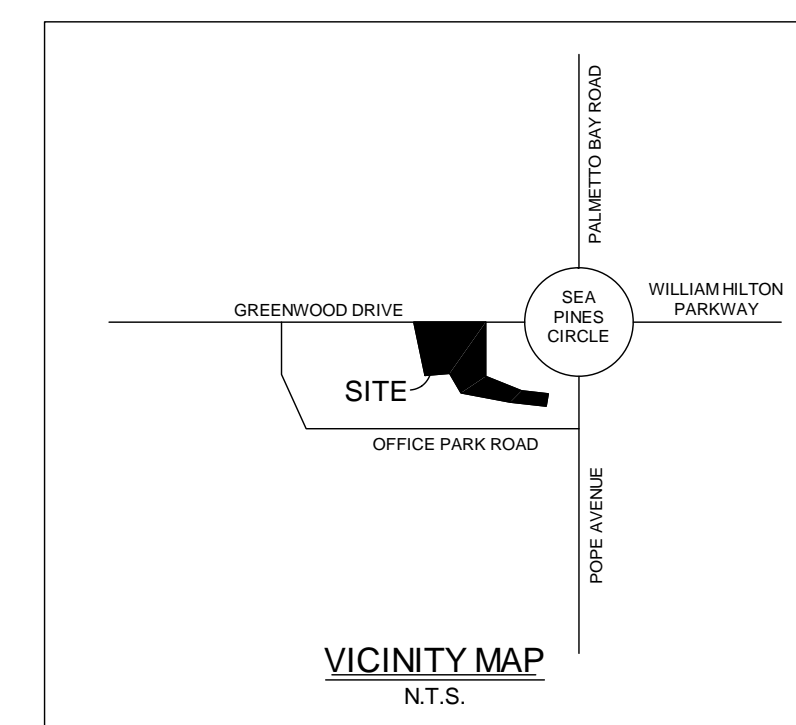
SHEET NO.:

A-001

GREENWOOD DRIVE - R/W VARIES
PRIVATE ROAD - NF CSA, INC.

LINE	LENGTH	BEARING
L1	24.69'	N 67°14'50" E (N 66°55'00" E)

SEA PINES CIRCLE



VICINITY MAP
N.T.S.

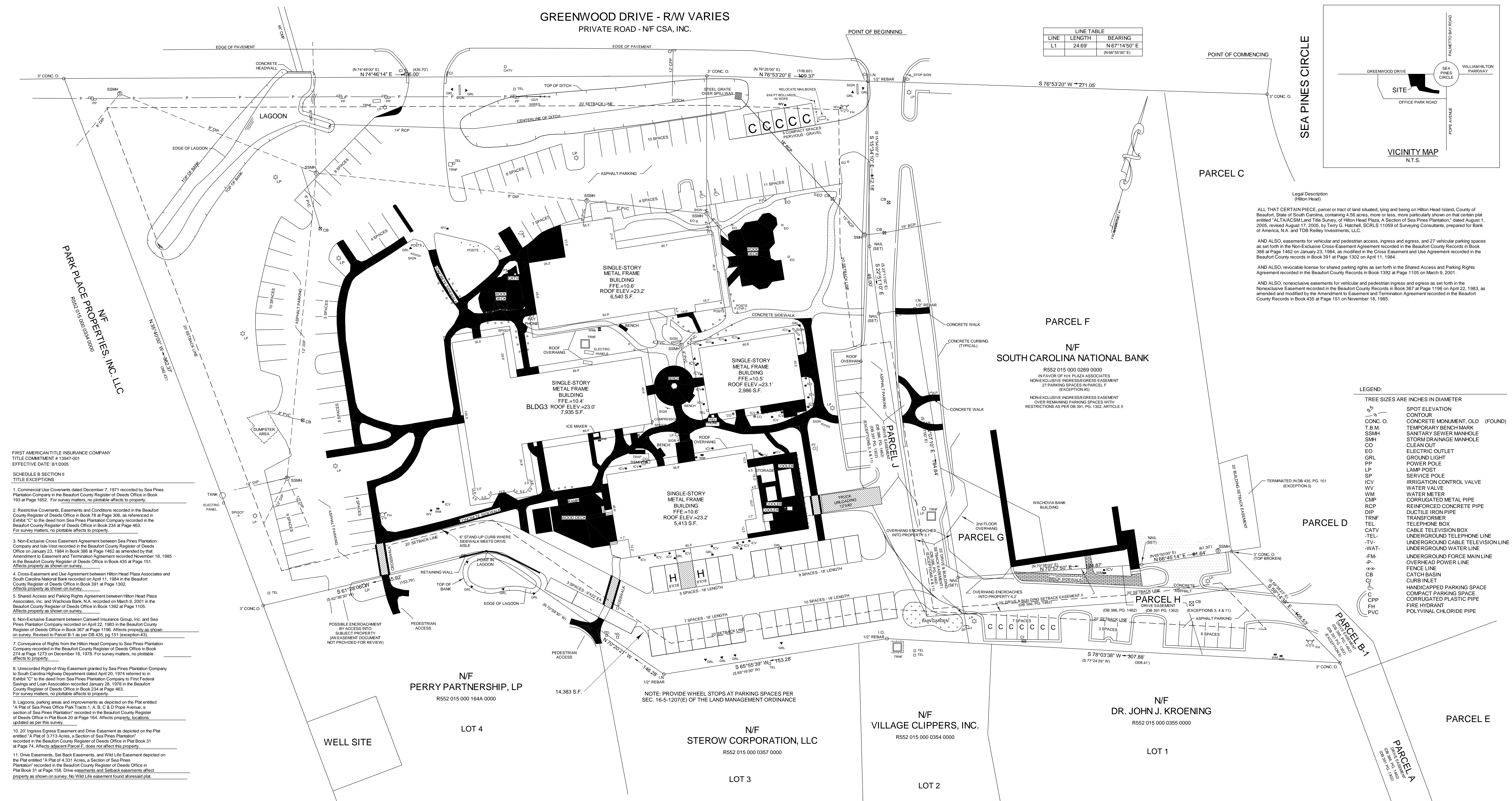
Legal Description
(Hilton Head)
ALL THAT CERTAIN PIECE, parcel or tract of land situated, lying and being on Hilton Head Island, County of Beaufort, State of South Carolina, containing 4.56 acres, more or less, more particularly shown on that certain plat entitled "ALTA/ACSM Land Title Survey of Hilton Head Plaza, A Section of Sea Pines Plantation," dated August 1, 2005, revised August 17, 2005, by Terry G. Hatchell, SCRLS 11059 of Surveying Consultants, prepared for Bank of America, N.A. and TDB Reilly Investments, LLC.

AND ALSO, easements for vehicular and pedestrian access, ingress and egress, and 27 vehicular parking spaces as set forth in the Non-Exclusive Cross-Easement Agreement recorded in the Beaufort County Records in Book 386 at Page 1462 on January 23, 1984, as modified in the Cross Easement and Use Agreement recorded in the Beaufort County records in Book 391 at Page 1302 on April 11, 1984.

AND ALSO, revocable license for shared parking rights as set forth in the Shared Access and Parking Rights Agreement recorded in the Beaufort County Records in Book 1392 at Page 1105 on March 9, 2001.

AND ALSO, nonexclusive easements for vehicular and pedestrian ingress and egress as set forth in the Nonexclusive Easement recorded in the Beaufort County Records in Book 367 at Page 1198 on April 22, 1983, as amended and modified by the Amendment to Easement and Termination Agreement recorded in the Beaufort County Records in Book 435 at Page 151 on November 18, 1985.

- LEGEND:
- TREE SIZE ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONTOUR
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - T.B.M. TEMPORARY BENCH MARK
 - SSMH SANITARY SEWER MANHOLE
 - SMH STORM DRAINAGE MANHOLE
 - CO CLEAN OUT
 - EO ELECTRIC OUTLET
 - GRL GROUND LIGHT
 - PP POWER POLE
 - LP LAMP POST
 - SP SERVICE POLE
 - ICV IRRIGATION CONTROL VALVE
 - WV WATER VALVE
 - WM WATER METER
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - DIP DUCTILE IRON PIPE
 - TRNF TRANSFORMER
 - TEL TELEPHONE BOX
 - CATV CABLE TELEVISION BOX
 - TEL- UNDERGROUND TELEPHONE LINE
 - TV- UNDERGROUND CABLE TELEVISION LINE
 - WAT- UNDERGROUND WATER LINE
 - FM- UNDERGROUND FORCE MAIN LINE
 - P- OVERHEAD POWER LINE
 - x-x- FENCE LINE
 - CB CATCH BASIN
 - CI CURB INLET
 - CP HANDICAPPED PARKING SPACE
 - PH COMPACT PARKING SPACE
 - FP CORRUGATED PLASTIC PIPE
 - PVC FIRE HYDRANT
 - CH POLYVINYL CHLORIDE PIPE



- FIRST AMERICAN TITLE INSURANCE COMPANY
TITLE COMMITMENT # 13947-001
EFFECTIVE DATE: 8/1/2005
- SCHEDULE B SECTION II
TITLE EXCEPTIONS
- Commercial Use Covenants dated December 7, 1971 recorded by Sea Pines Plantation Company in the Beaufort County Register of Deeds Office in Book 193 at Page 1652. For survey matters, no plat affects to property.
 - Restrictive Covenants, Easements and Conditions recorded in the Beaufort County Register of Deeds Office in Book 78 at Page 306, as referenced in Exhibit "C" to the deed from Sea Pines Plantation Company recorded in the Beaufort County Register of Deeds Office in Book 234 at Page 463. For survey matters, no plat affects to property.
 - Non-Exclusive Cross Easement Agreement between Sea Pines Plantation Company and Inland-Vest recorded in the Beaufort County Register of Deeds Office on January 23, 1984 in Book 386 at Page 1462 as amended by that Amendment to Easement and Termination Agreement recorded November 18, 1985 in the Beaufort County Register of Deeds Office in Book 435 at Page 151. Affects property as shown on survey.
 - Cross-Easement and Use Agreement between Hilton Head Plaza Associates and South Carolina National Bank recorded on April 11, 1984 in the Beaufort County Register of Deeds Office in Book 391 at Page 1302. Affects property as shown on survey.
 - Shared Access and Parking Rights Agreement between Hilton Head Plaza Associates, Inc. and Wachovia Bank, N.A. recorded on March 9, 2001 in the Beaufort County Register of Deeds Office in Book 1392 at Page 1105. Affects property as shown on survey.
 - Non-Exclusive Easement between Corwell Insurance Group, Inc. and Sea Pines Plantation Company recorded on April 22, 1983 in the Beaufort County Register of Deeds Office in Book 367 at Page 1198. Affects property as shown on survey. Revised to Parcel B-1 as per DB 435, pg 151 (exception #3).
 - Conveyance of Rights from the Hilton Head Company to Sea Pines Plantation Company recorded in the Beaufort County Register of Deeds Office in Book 274 at Page 1272 on December 16, 1976. For survey matters, no plat affects to property.
 - Unrecorded Right-of-Way Easement granted by Sea Pines Plantation Company to South Carolina Highway Department dated April 20, 1974 referred to in Exhibit "C" to the deed from Sea Pines Plantation Company to First Federal Savings and Loan Association recorded January 28, 1976 in the Beaufort County Register of Deeds Office in Book 234 at Page 463. For survey matters, no plat affects to property.
 - Lagoons, parking areas and improvements as depicted on the Plat entitled "A Plat of Sea Pines Office Park Tracts 1, A, B, C & D Pope Avenue, a Section of Sea Pines Plantation" recorded in the Beaufort County Register of Deeds Office in Plat Book 20 at Page 164. Affects property, locations updated as per this survey.
 - 20' Ingress Egress Easement and Drive Easement as depicted on the Plat entitled "A Plat of 3.713 Acres, a Section of Sea Pines Plantation" recorded in the Beaufort County Register of Deeds Office in Plat Book 31 at Page 74. Affects adjacent Parcel F, does not affect this property.
 - Drive Easements, Set Back Easements, and Wild Life Easement depicted on the Plat entitled "A Plat of 4.331 Acres, a Section of Sea Pines Plantation" recorded in the Beaufort County Register of Deeds Office in Plat Book 31 at Page 158. Drive easements and Setback easements affect property as shown on survey. No Wild Life easement found, as recorded.

REFERENCE PLATS:

- COMPOSITE PLAT OF PARCELS LOCATED BETWEEN POPE AVENUE & SEA PINES FOREST PRESERVE, DATED: 6/28/77, LATEST REVISION: 9/14/78, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 27, PG. 51.
- A PLAT OF 4.331 AC., SEA PINES PLANTATION, DATED: 1/14/83, LATEST REVISION: 7/22/83, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 31, PG. 158.
- AN ABSULT OF THE SOUTH CAROLINA NATIONAL BANK, SEA PINES PLANTATION, DATED: 4/21/86, BY: ANTOINE VINEL, S.C.R.L.S. NO. 9064.
- AN ALTA/ACSM LAND TITLE SURVEY OF HILTON HEAD PLAZA, SEA PINES PLANTATION, DATED: 6/11/98, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.

To TDB Reilly Investments, LLC, First American Title Insurance Company, Coastal Title Insurance Agency, Inc., and Bank of America, N.A., its successors and/or assigns:

This is to certify that this map or plat and the survey on which it is based were made on the ground on 6/9/2005, in accordance with "Minimum Standard Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM, and NSPS in 1999, and includes items 2, 3, 4, 5, 7(a), 7 (b)(1), 7(c), 8, 9, 10, 11(a) (as to utilities, surface matters only) and 13 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

Date: _____
(Signed) _____
Terry G. Hatchell
Registration No. SCPLS # 11059

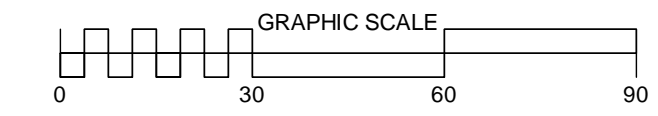
PARKING DATA
CURRENT PARKING SPACES
TOTAL ENCLOSED AREA
MIN. REQ. PARKING SPACES PER LMO
NEW PARKING SPACES
NET CHANGE IN PARKING SPACES

TOTAL AREA = 4.56 Acres, 198,501 sq.ft.

NOTE: PARKING LOT STRIPING SHALL BE AS FOLLOWS: BLUE FOR HANDICAPPED SPACES, WHITE FOR REGULAR PARKING SPACES AND PEDESTRIAN CROSSWALKS, AND YELLOW FOR

PREPARED FOR: BANK OF AMERICA, N.A. and TDB REILLY INVESTMENTS, LLC

ADDRESS: %6487 GREENWOOD DRIVE%6487
TAX PARCEL I.D. NO. R552-015-000-0003-00000



ALTA/ACSM LAND TITLE SURVEY

OF
HILTON HEAD PLAZA

A SECTION OF
SEA PINES
PLANTATION

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 30' DATE: 8/01/2005 JOB NO: 98166C
REVISED: 8/17/2005; REVISED LEGAL DESCRIPTION & MISCELLANEOUS CHANGES



SURVEYING CONSULTANTS

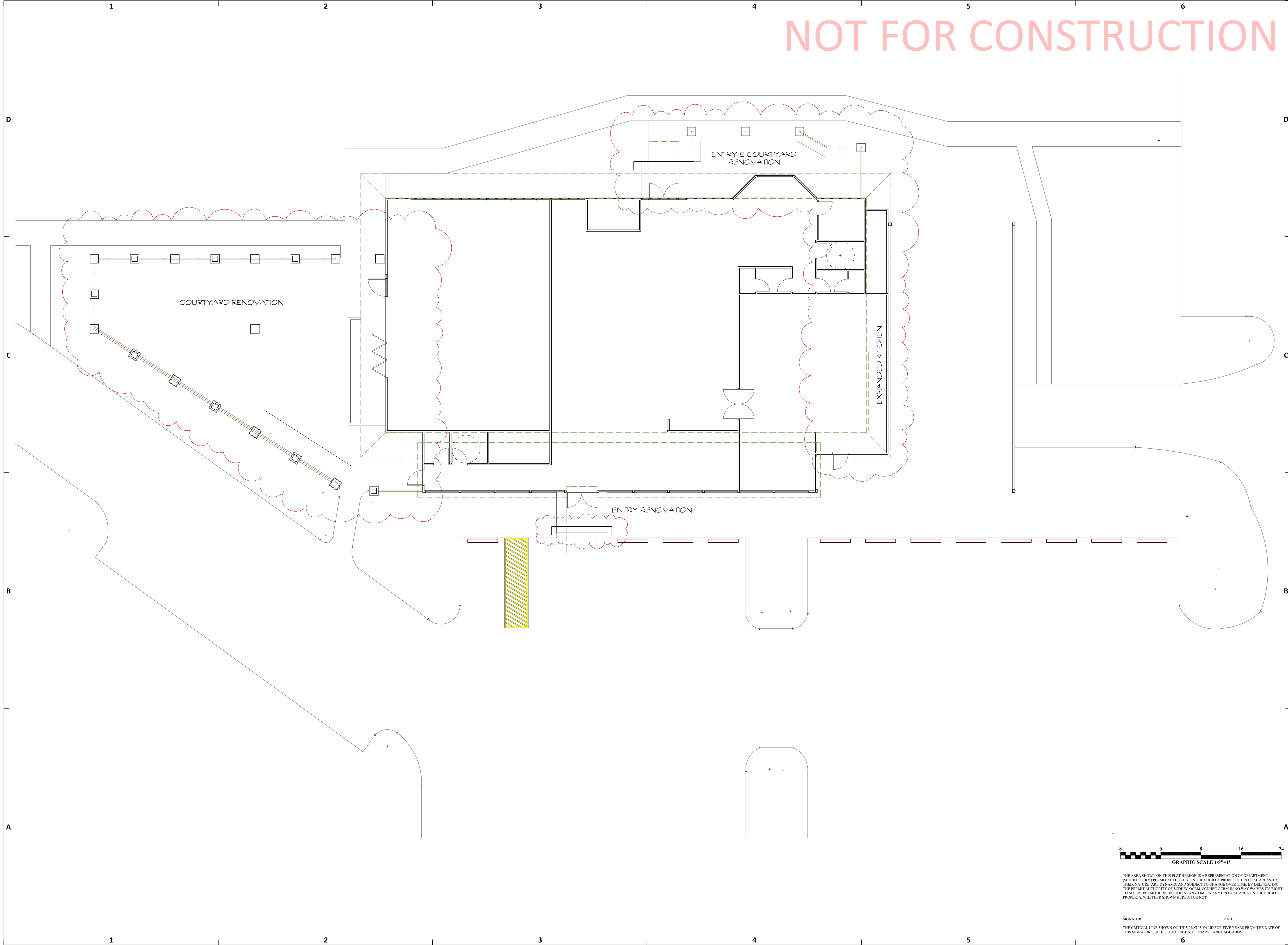
17 Sherrington Drive, Suite C, Bluffton, SC 29910
Telephone: (843) 915-3304 FAX: (843) 915-3305
CREW: SLS
DATE: 8/1/05

PROPOSED SITE PLAN

OFFICE PARK ROAD - 60' R/W
PRIVATE ROAD - NF CSA, INC.

NOT FOR CONSTRUCTION

Design Phase
5/11/2021



JYR Architect, PC
 ARCHITECTURE, PLANNING, &
 ENTITLEMENT
 28 Wood Duck Ct., Hilton Head Island, SC 29928
 843-368-5641
 E-Mail: jyra@jyrarchitect@gmail.com

DR Design & Consulting
 ARCHITECTURAL DESIGN & VISUALIZATION
 PO Box 873, Bluffton, SC 29910
 843-338-3373
 E-Mail: d.robertson@drdesignandconsulting.com

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NO.	DATE	REVISION

PLOT DATE
5/11/2021

Deano's Italian
 7 Greenwood Drive
 Hilton Head Island, SC 29928
 R552 015 000 0003 0000
 PREPARED FOR:
Rob & Jennifer Shaffer



THE AREA SHOWN ON THIS PLAN HEREON IS A REPRESENTATION OF DEPARTMENT (SCDHEC/OCRM) PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC/OCRM, SCDHEC/OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

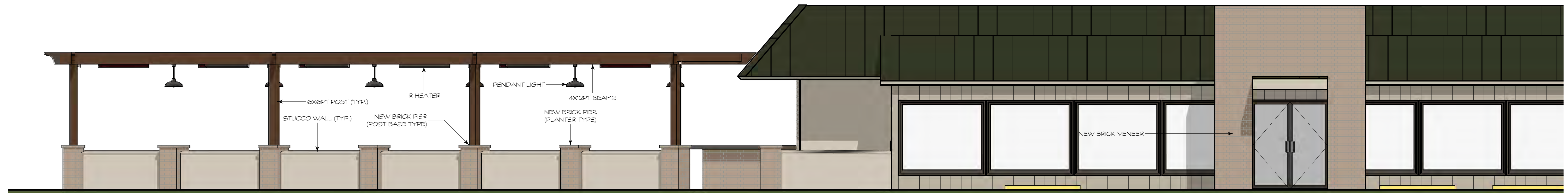
SIGNATURE _____ DATE _____
 THE CRITICAL LINE SHOWN ON THIS PLAN IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

SITE PLAN

V-102

NOT FOR CONSTRUCTION

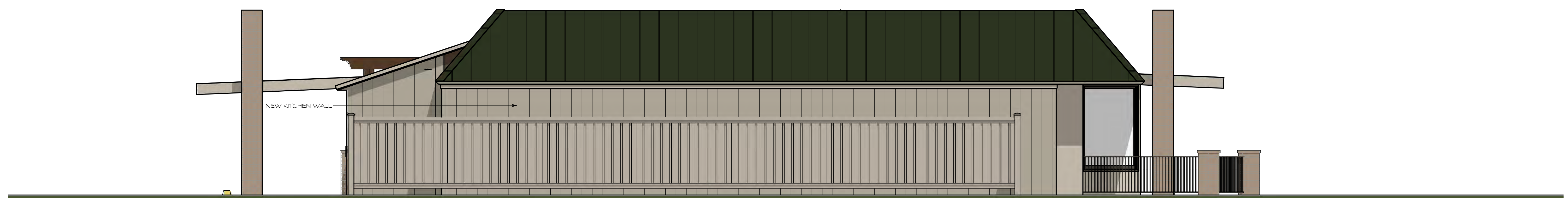
Design Phase
5/11/2021



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

JYR Architect, PC
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ENTITLEMENT
28 Wood Duck Ct., Hilton Head Island, SC 29928
843-368-5641
E-Mail: jyraarchitect@gmail.com

DR Design & Consulting
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PO Box 873, Bluffton, SC 29910
843-338-3373
E-Mail: d.robertson@drdesignandconsulting.com

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NO.	DATE	REVISION

PLOT DATE
5/11/2021

Deano's Italian
7 Greenwood Drive
Hilton Head Island, SC 29928
R552 015 000 0003 0000
PREPARED FOR:
Rob & Jennifer Shaffer

PROJECT NO: 11/18/1100
DRAWN BY: 11/18/1100
CHECKED BY: 11/18/1100

EXTERIOR ELEVATIONS

SHEET NO:

A-201

NOT FOR CONSTRUCTION

Design Phase
5/11/2021



THE BOARD ROOM



THE LODGE & ONE HOT MAMA'S



WELLS FARGO BANK



OFFICE BUILDING



UNOCCUPIED BUILDING

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NO.	DATE	REVISION

PLOT DATE
5/11/2021

Deano's Italian
7 Greenwood Drive
Hilton Head Island, SC 29928
R552 015 000 0003 0000
PREPARED FOR:
Rob & Jennifer Shaffer

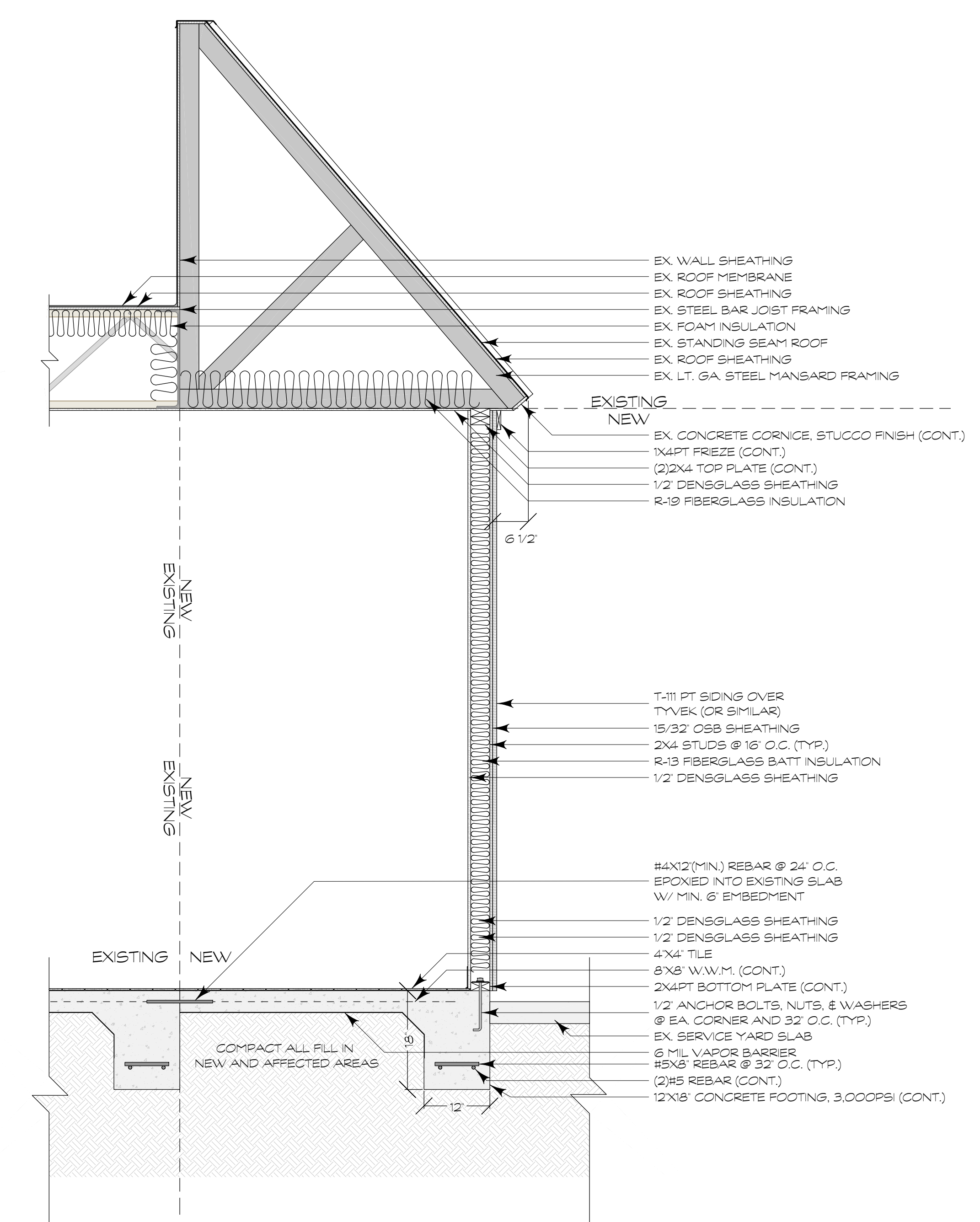
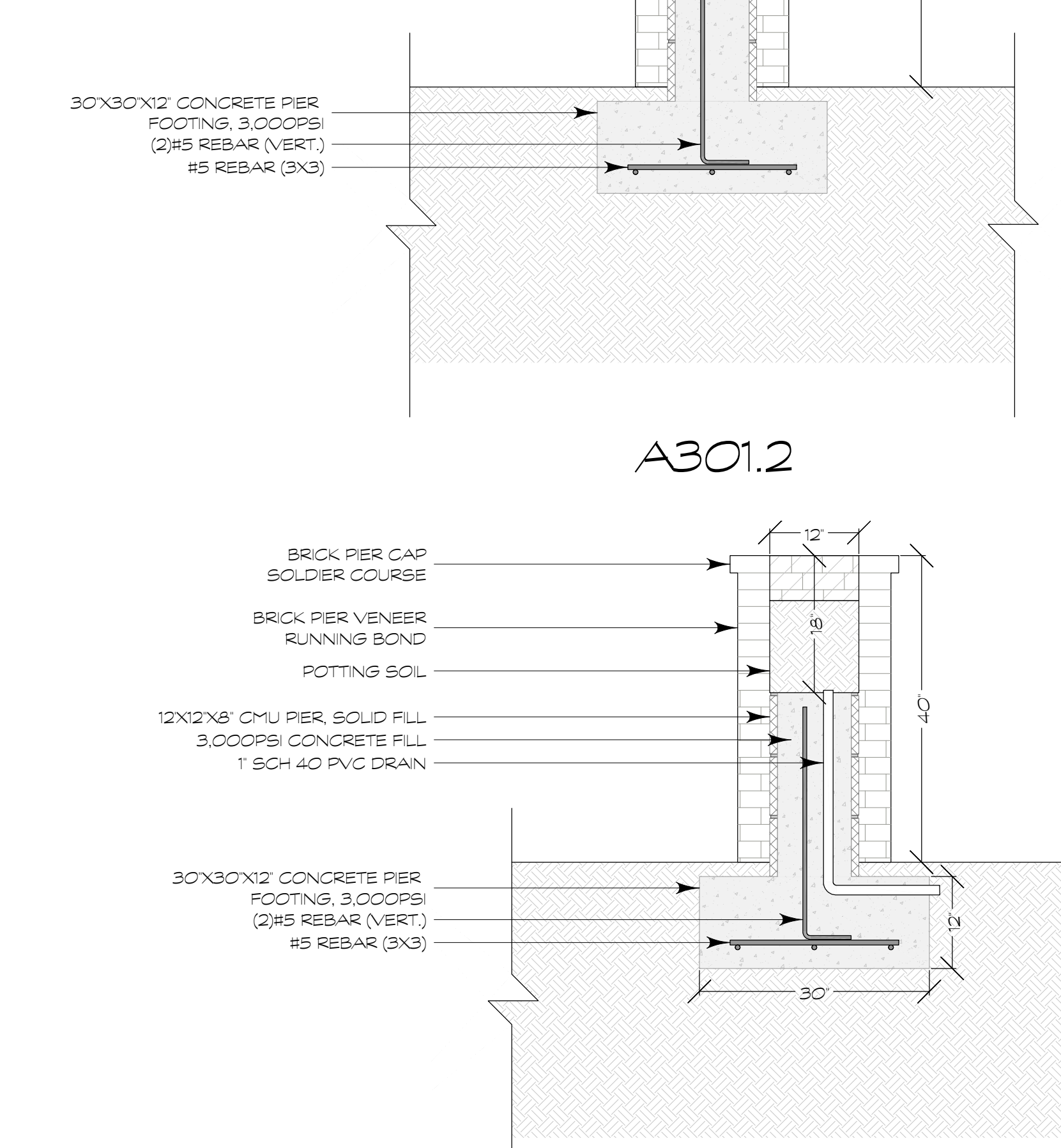
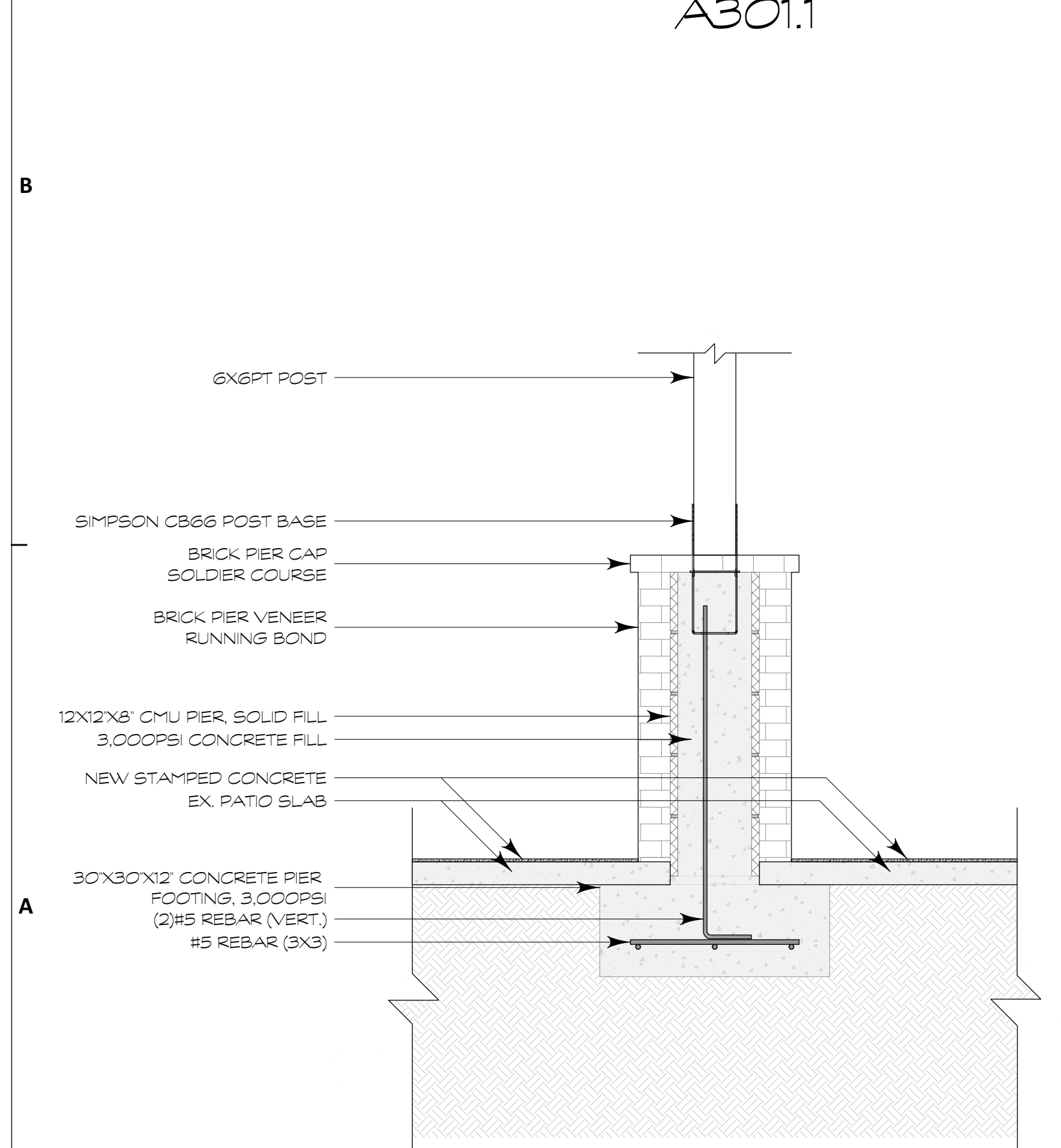
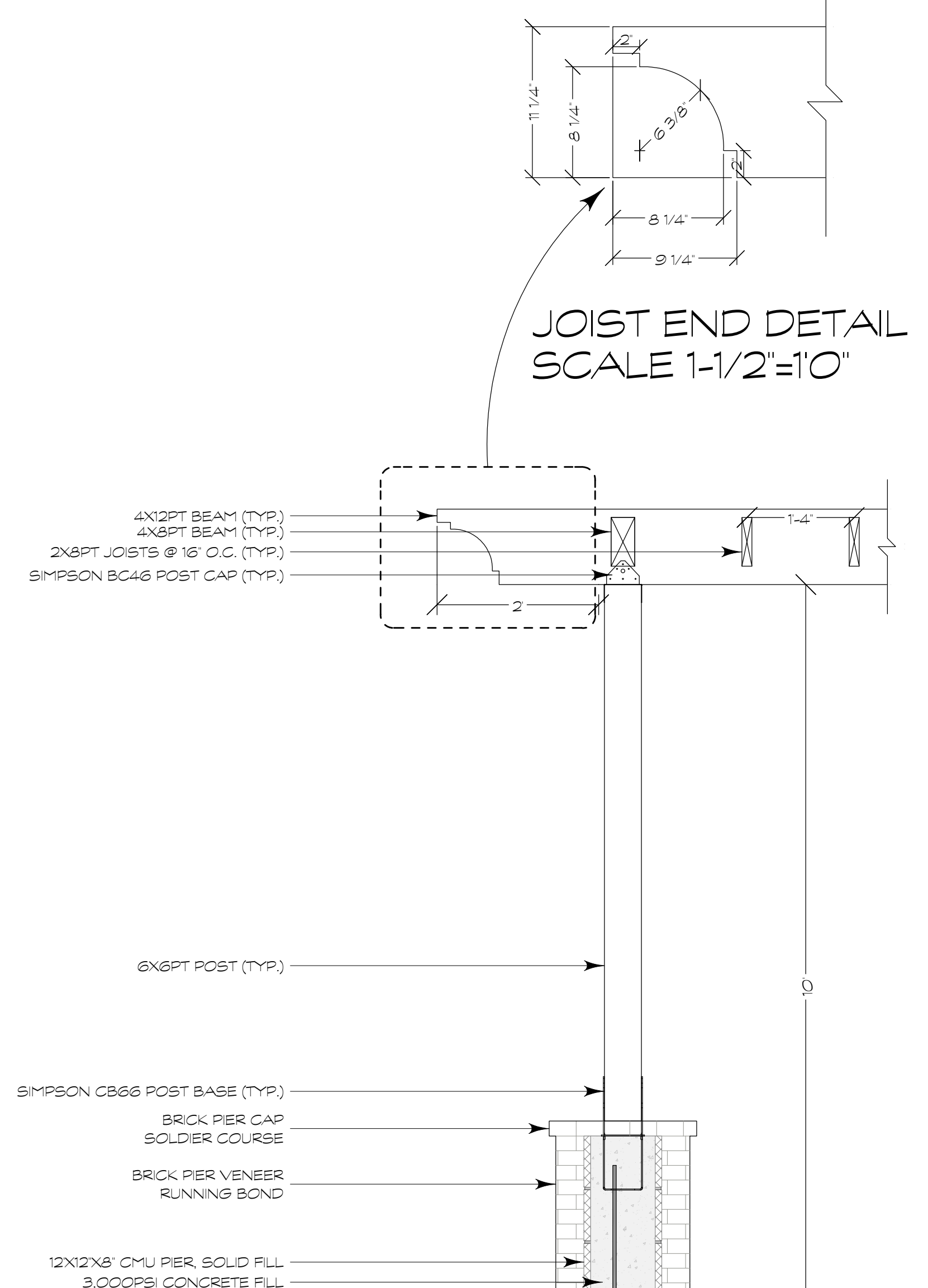
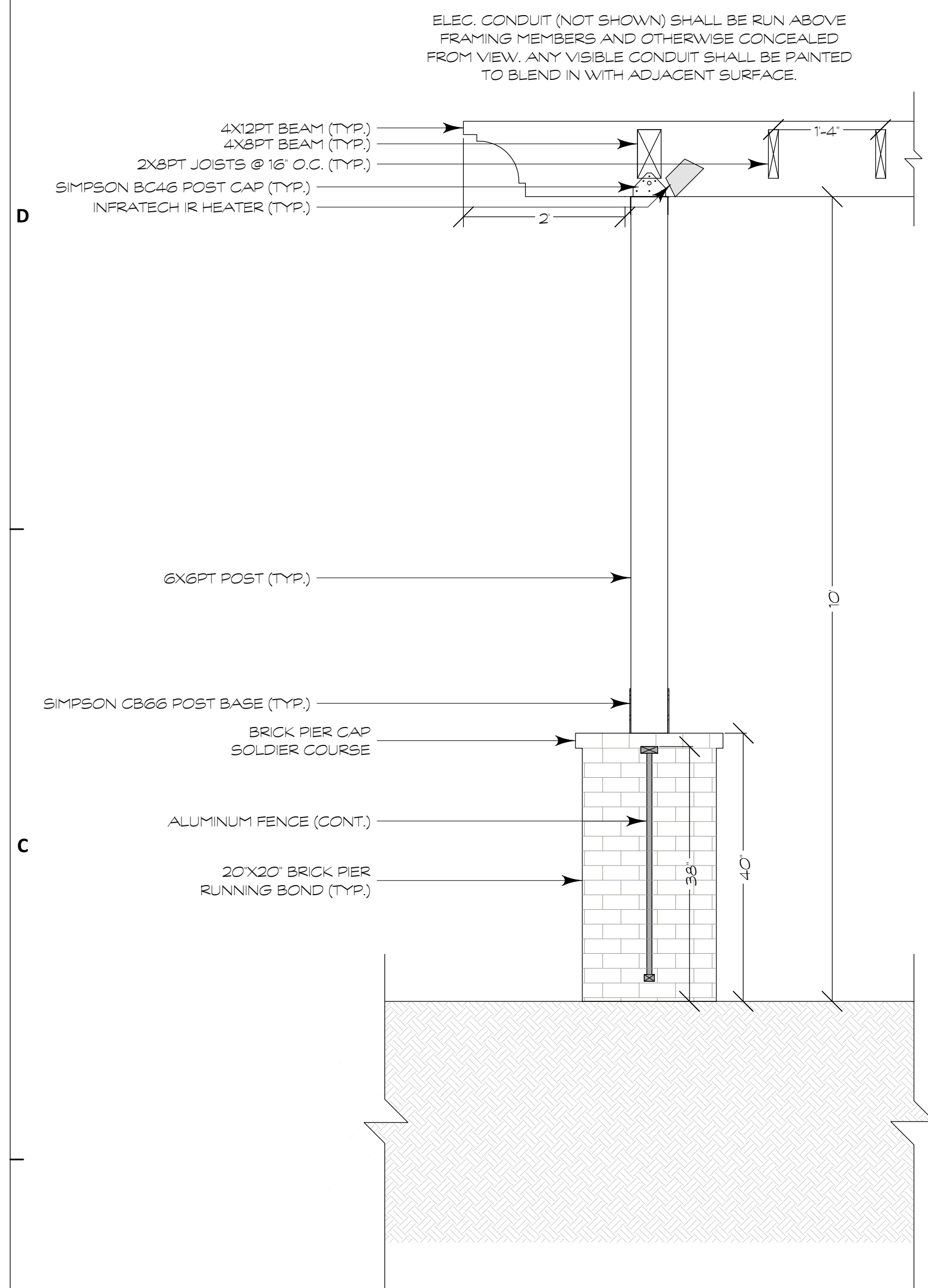
PROJECT NO. 11/21/100
DRAWN BY: 11/21/100
CHECKED BY: 11/21/100

SITE PHOTOS

SHEET NO.
A-203

NOT FOR CONSTRUCTION

Design Phase
5/11/2021



A301.4

A301.3

A301.5

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E-Mail: d.robertson@drdesignandconsulting.com

NO.	DATE	REVISION

PLOT DATE
5/11/2021

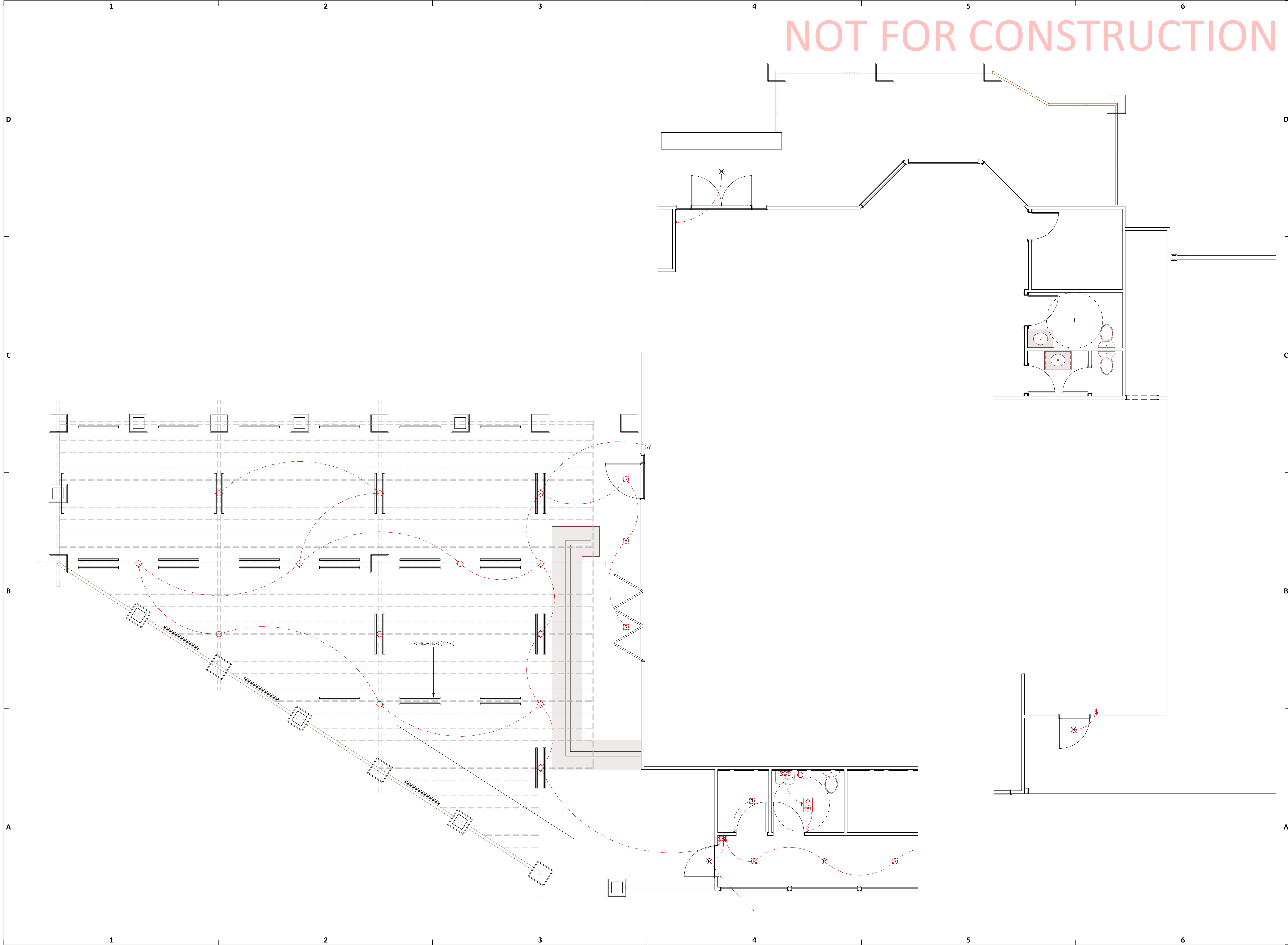
Deano's Italian
7 Greenwood Drive
Hilton Head Island, SC 29928
R552 015 000 0003 0000
PREPARED FOR:
Rob & Jennifer Shaffer

PROJECT NO. 11781100
DRAWN BY: [NAME]
CHECKED BY: [NAME]

SECTIONS & DETAILS

SHEET NO. **A-301**

NOT FOR CONSTRUCTION



Design Phase
5/11/2021

RELEASE FOR CONSTRUCTION DATE:
MONTH/DAY/YR
RELEASE FOR PERMIT DATE:
MONTH/DAY/YR

JYR Architect, PC DR Design & Consulting
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ARCHITECTURE, PLANNING, &
ENTITLEMENT
28 Wood Duck Ct., Hilton Head Island, SC 29928
843-368-5641
E-Mail: jyraarchitect@gmail.com

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NO.	DATE	REVISION

PLOT DATE
5/11/2021

Deano's Italian
7 Greenwood Drive
Hilton Head Island, SC 29928
R552 015 000 0003 0000
PREPARED FOR:
Rob & Jennifer Shaffer

PROJECT NO. 11/21/100
DRAWN BY: [Signature]
CHECKED BY: [Signature]

ELECTRICAL PLAN
SHEET NO.
E-101

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Deano's

DRB#: DRB-001183-2021

DATE: 05/13/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Add note to the Electrical Plan that the proposed light source will not exceed 3000K.
2. Revise the landscape plan with more site appropriate plants and spacing for Staff review and approval.
3. Specify on the drawings that window and door frames to match existing.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Kitchen expansion eliminates roof overhang in that area. Given the “back of house” location it is not highly visible.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Add note to plan that light source will not exceed 3000K.

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Boxwood is not the best selection for this site. Consider using Dwarf Yaupon or Walter's Viburnum. 2. Planting is generally spaced too far apart.

MISC COMMENTS/QUESTIONS

1. This project was last before the DRB on April 27, 2021.
2. This requires a DPR.
3. Specify windows and door frames to match existing.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Barry H. Taylor, AIA Company: FWA Group
 Mailing Address: P.O. Box 5910 City: HHI State: SC Zip: 29938
 Telephone: 843-785-2199 Fax: _____ E-mail: b.taylor@fwagroup.com
 Project Name: New Overlook at Islanders Beach Park Project Address: 94 Folly Field Road
 Parcel Number [PIN]: R 510009 000 0047 0000
 Zoning District: PR - Parks & Recreation Overlay District(s): COD - OCRM Baseline

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- * Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I. (*By Owner)
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- * A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation. (*Match Existing)
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

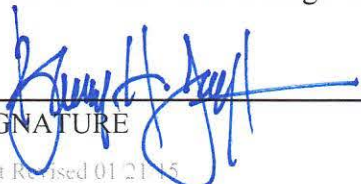
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

5/6/2021

DATE

New Overlook at Islanders Beach Park
Design Review Board (DRB) Narrative

FWA Group is working with the Town of Hilton Head Island to develop plans for a new overlook at the Islanders Beach Park.

Accommodating those residents and visitors who are physically limited in their ability to traverse the sand at Islanders Beach Park has been a continued need. This overlook gives those individuals the opportunity to enjoy the beach and ocean views by providing a foot-stable, covered environment.

The overlook is intended to keep the same building materials and elements as existing construction at the park, including the toilet facility, picnic shelter, and boardwalk. In addition, colors will be taken from existing elements. The consistency of the materials, colors, and elements will allow the overlook to fit seamlessly into the park's theme.

Site lighting and any required landscaping is by Owner.

A building section detailing the overlook, guardrail and bench have been included in this submission.

A New Overlook at Islanders Beach Park
94 Folly Field Road
Project Area and Existing Facility Photographs
Corridor Review (OCRM Baseline)



Location of future Overlook off existing boardwalk. Guardrails at New Overlook will be similar in style and construction as existing boardwalk guardrails.



Image of the existing toilet facility at Islanders Beach Park. Colors and materials will match this toilet facility.

New Overlook at Islanders Beach Park
Corridor Review – OCRM Baseline



Image of existing bench at Islanders Beach Park shower area. Overlook bench will be similar in style and construction.



Image of existing picnic shelter at Islanders Beach Park playground area. The beach boardwalk and toilet facility are located behind you if viewed in this position. The beach parking is located to the left of this image.

NOTES

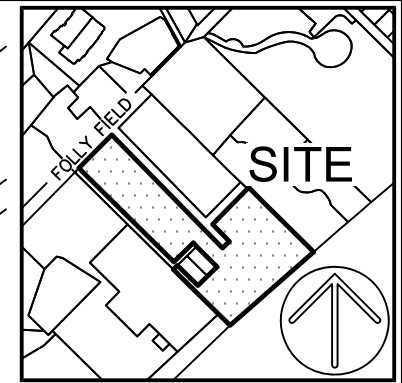
1. VERTICAL DATUM IS NAVD 88.
2. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).

REFERENCES

1. PLAT BOOK: 90 PAGE: 153
2. DEED BOOK: 593 PAGE: 903

LEGEND

- NS ○ NAIL SET
- DHEC DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL
- OCRM OCEAN & COASTAL RESOURCE MANAGEMENT
- X12.9 SPOT ELEVATION
- 8— CONTOUR LINE
- BB— BOTTOM OF DUNE
- TB— TOP OF DUNE
- ▬▬▬ WOOD BOARDWALK WITH RAILING

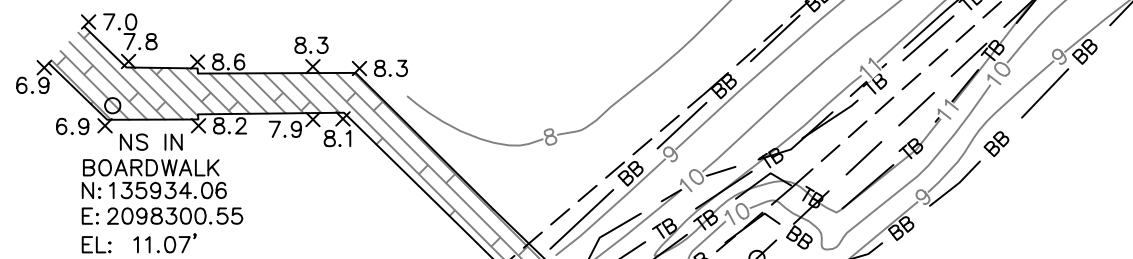
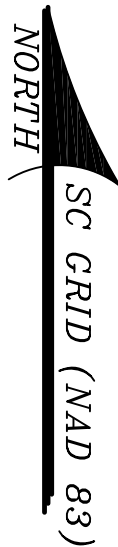


VICINITY MAP NOT TO SCALE

PREPARED FOR:
CRANSTON ENGINEERING
 A PARTIAL AS-BUILT /
 TOPOGRAPHIC EXHIBIT OF
#94 FOLLY FIELD ROAD

TAX PARCEL No.
 R510 009 000 0047 0000
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: ZKS
 FIELD CHECK: JWR
 DRAWN BY: MJF
 DATE: 03-29-2021
 SCALE: 1"=30'
 PROJECT No.: BFT-21084
 FILE: BFT-21084 AT1.DWG



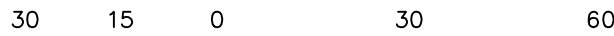
N: 136043.87
 E: 2098397.91
 EL: 8.87'

○ NS

N46°53'11"E
 537.37'

NS IN BOARDWALK
 N: 135934.06
 E: 2098300.55
 EL: 11.07'

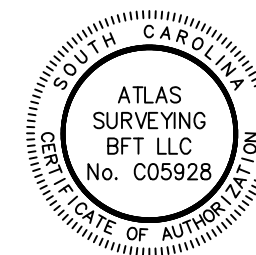
NS IN BOARDWALK
 N: 135934.06
 E: 2098300.55
 EL: 9.88'



GRAPHIC SCALE

ATLAS SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5
 RIDGELAND, SC 29936
 PHONE: (843) 645-9277
 WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER
 S.C.P.L.S. No. 28139
 NOT VALID UNLESS CRIMPED WITH SEAL

ATLANTIC OCEAN

DHEC OCRM SETBACK
 HILTON HEAD BEACHFRONT LINE
 DHEC OCRM BASELINE
 S44°41'43"W 2734.95'

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Islanders Overlook

DRB#: DRB-001184-2021

DATE: 05/13/2021

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

Staff recommends approval as submitted.