



Town of Hilton Head Island
Design Review Board Meeting
Tuesday August 8, 2023 – 2:30 p.m.
AGENDA

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Swearing in Ceremony of Reappointed Board Members: Judd Carstens, Annette Lippert, Todd Theodore

4. Roll Call

5. Approval of Agenda

6. Approval of Minutes

a. Meeting of June 23, 2023, Regular Meeting

7. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m., the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

8. Unfinished Business

9. New Business

a. **Alteration/Addition – DRB-001497-2023 – New Pavilion at 1 South Forest Beach (Beach House)**

b. **Alteration/Addition – DRB-001482-2023 – New Overlook at Driessen Beach Park**

10. Board Business

a. Election of Officers for Term July 1, 2023 – June 30, 2024

11. Staff Report

a. Minor Corridor Report

12. Adjournment

Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
May 10, 2023, at 9:00 a.m.
MEETING MINUTES

Present from the Board: Cathy Foss, Chair; Judd Carstens, Vice-Chair; Annette Lippert; Todd Theodore; Tom Parker

Absent from the Commission: Ryan Bassett and John Moleski

Present from Town Staff: Brian Eber, *Development Services Manager*; Shea Farrar, *Senior Planner*; Krishana Perry, *Principal Planner - Historic Neighborhood Preservation*; Karen Knox, *Board Secretary*; Brian Glover, *Administrative Assistant*

1. Call to Order

Chair Foss called the meeting to order at 9:00 a.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

As noted above.

4. Approval of Agenda

Chair Foss asked if the staff had any changes to the agenda. Ms. Farrar said yes – Board Business was erroneously left off the agenda, and it needs to be added back in for a discussion on awnings by Ms. Lippert. Chair Foss asked for a Motion to approve the Amended Agenda. Vice-Chair Carstens moved to approve. Mr. Theodore seconded. By a show of hands, the Motion passed with a vote of 5-0.

5. Approval of Minutes

a) Regular Meeting of April 25, 2023

Chair Foss asked for a Motion to approve the Minutes of April 25, 2023. Ms. Lippert moved to approve. Vice Chair Carstens seconded. By a show of hands, the Motion passed with a vote of 4-0. Mr. Theodore was not present at the April 25, 2023, meeting.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. No comments were received on the Open Town Hall Portal. No citizens spoke at the meeting.

7. Unfinished Business

a) Alteration/Addition – DRB-000822-2023 – Awning addition to Captain Woody's at 14B Executive Park Road

Ms. Farrar provided the staff's presentation as included in the packet. The staff recommended approval with the condition that the applicant provides updated plans for staff review and approval with the following:

1. Conduit for electrical lines painted to match the awning truss system.
2. Change Ligustrum to a native species to be reviewed by staff.

Following the staff's presentation, the applicant provided additional details to the Board. The board asked about several topics, including:

- Plantings/Planting beds
- Wheel stops
- New and existing lighting
- Differences between the architectural and shop drawings
- Column details

Chair Foss asked for a motion on the application. Mr. Parker moved to approve with the following conditions:

1. All staff comments.
2. The Awning is the color previously discussed.
3. Wheel Stops are added to the project.
4. The Architect's roof plan is used.
5. A licensed arborist is used for any trimming.

Mr. Theodore seconded the Motion. The Motion carried with a vote of 5-0-0.

8. New Business

a) Sign – DRB-000917-2023 – Modifications to an existing Walmart sign

Ms. Farrar provided the staff's presentation as included in the packet. The staff recommended approval with the condition that the applicant provides updated plans for staff review and approval with the following:

1. Alternative color to the proposed blue identified and approved by two members of the DRB. Refer to Design Guide, page 27, which states: "Bright colors and reflective surfaces should be avoided or very limited in size and used as accents rather than predominant design elements."
2. Landscape plan to be submitted with the sign permit.

Following the staff's presentation, the applicant provided additional details and answered questions from the board. The Board asked about several topics, including:

- The existing and new colors
- The sign's size.
- The sign's lighting.
- The sign's materials and samples.

After the discussion, Chair Foss moved to table the item to the June 13th, 2023, meeting. Ms. Lippert seconded the motion.

b) Alteration/Addition – DRB-000920-2023 – External color changes to Walmart Building

Ms. Farrar provided the staff's presentation as included in the packet. The staff recommended approval with the condition that the applicant provides updated plans for staff review and approval with the following:

1. Alternative color to proposed blue identified and approved by two members of the DRB. Refer to Design Guide, page 16, which states: "CONTEXT The overall exterior color scheme must be selected to be harmonious with the neighborhood and blend with the natural surroundings of the site. Earth tones must be chosen as the predominant colors. Colors shall not be used to cause the structure to stand out from others or its background. Consideration must be given to the compatibility of colors with those existing in the vicinity. The size of the structure and the amount of shading it will receive are also factors in the selection of colors. Colors that may be approved on sites with good tree coverage providing adequate shading may not be approved on a site with inadequate shading."

Following the staff's presentation, the applicant provided an additional presentation and answered questions from the board. The Board asked about the project's scope, the garden area entrance, the shade of blue, and the door replacement.

After the discussion, Chair Foss moved to table the item to the June 13th, 2023, meeting. Mr. Parker seconded the motion.

c) Alteration/Addition – DRB-0000860-2023 – 1036 William Hilton Parkway (Ozark Bank) –

Ms. Farrar provided the staff's presentation as included in the packet. The staff recommended approval.

Following the staff's presentation, the applicant provided additional details and answered questions from the Board. The Board asked about the color approval from Shelter Cove and if existing doors would be repainted.

Ms. Lippert moved to approve with the following conditions:

1. The door frames are the stucco color
2. The underside of the metal pans is sealskin
3. The flooring is the beige color

Ms. Lippert amended the motion to include that the painting of the exterior includes the site walls.

Mr. Theodore seconded the motion. The motion was carried with a vote of 5-0.

d) Sign - DRB-001052-2023 - Sign for The Bank at 59 Pope Avenue

Mr. Carstens recused himself from this agenda item.

Ms. Farrar provided the staff's presentation as included in the packet. The staff recommended approval.

Following the staff presentation, the applicant provided an additional presentation and answered questions from the Board.

The Board expressed concerns outlined below:

- The sign may open the door for other sign applications, which include the usage of the company logo as a sign.
- High contrast in the color scheme.

The Board suggested that the applicant consider using other color combinations, such as Charleston Green for the lettering and the building color for the background.

Chair Foss moved to table the item to the May 23rd, 2023, meeting. Ms. Lippert seconded the motion.

9. Board Business

The Board discussed the use of awnings, which has recently become more popular. The Board expressed concerns about using large awnings to obtain more usable table space. The Board stated that they would like staff to investigate adding more clarifications about awning usage in the design guidelines.

10. Staff Report

- a) **Minor Corridor Report**
No Report

11. Adjournment

The meeting adjourned at 10:45 a.m.

Submitted By: _____

Brian Glover
Administrative Assistant

Date:



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Beach House Resort Owner LLC Company: Beach House Resort Owner LLC
 Mailing Address: 444 Madison Avenue #14 City: New York State: NY Zip: 10022
 Telephone: 212-680-4160 Fax: _____ E-mail: sissembert@eosinvestors.com
 Project Name: Hilton Head Beach House Project Address: 1 S Forest Beach Dr, Hilton Head Island, SC 29928
 Parcel Number [PIN]: R 5 5 3 0 1 8 0 0 0 0 0 3 A 0 0 0 0
 Zoning District: Resort Development Overlay District(s): Corridor Overlay District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, **Final Approval – Proposed Development \$175, Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

11 JULY 2023

DATE

SITE CONSTRUCTION PLANS

HHI BEACH HOUSE HOTEL RENOVATION

PREPARED FOR:
 BEACH HOUSE RESORT OWNER, LLC
 444 MADISON AVENUE #14
 NEW YORK, NY 10022
 908-463-7474

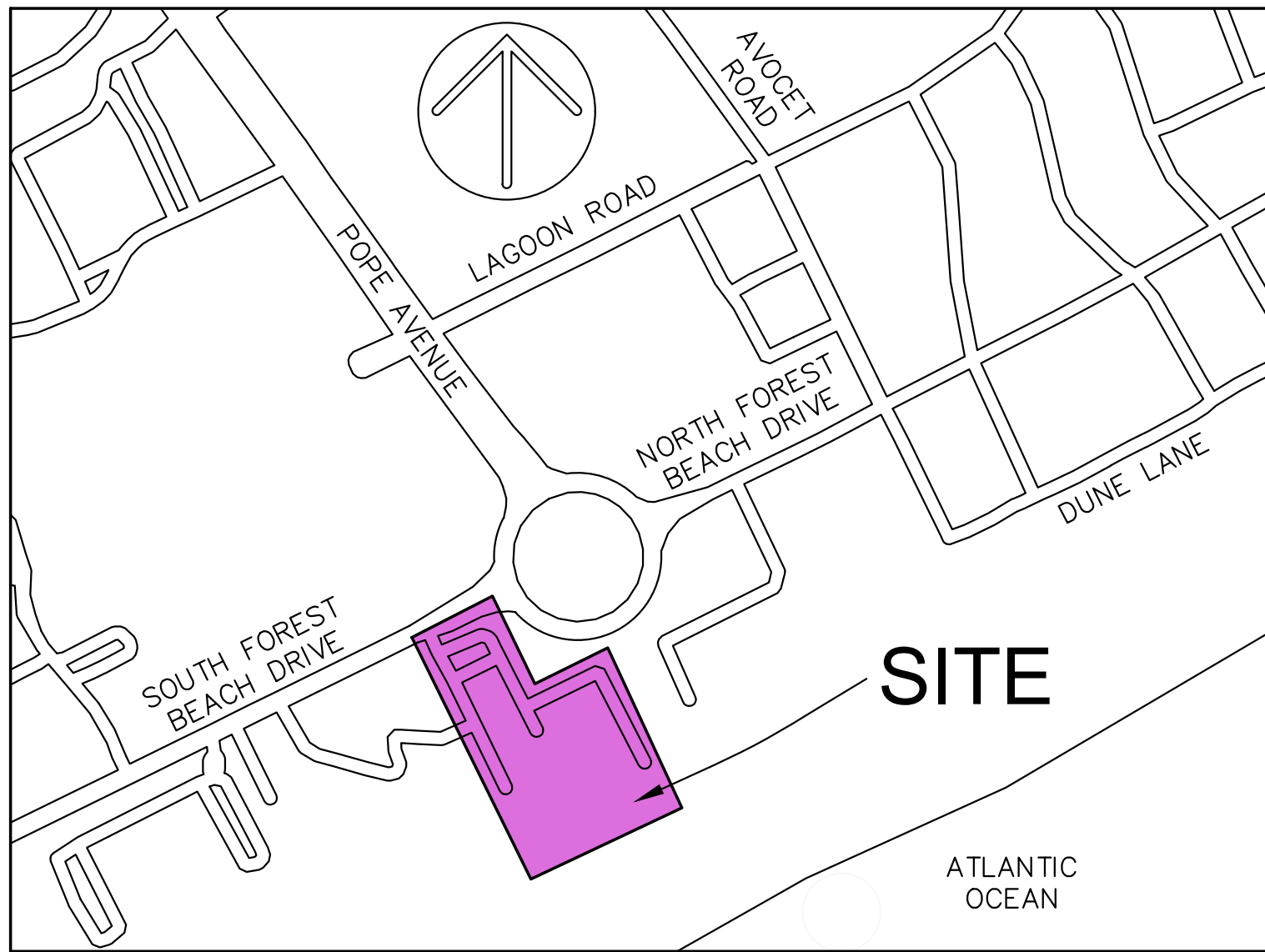
WWW.ROBERTSCIVILENGINEERING.COM

301 SEA ISLAND ROAD, SUITE 10
 ST. SIMONS ISLAND, GA 31522
 912-638-9681

6001 CHATHAM CENTER DRIVE, SUITE 255
 SAVANNAH, GA 31405
 912-298-7006

14600 WHIRLWIND AVENUE, SUITE 119A
 JACKSONVILLE, FL 32218
 904-741-0099

4000 FABER PLACE DRIVE, SUITE 300
 NORTH CHARLESTON, SC 29405
 843-323-4224



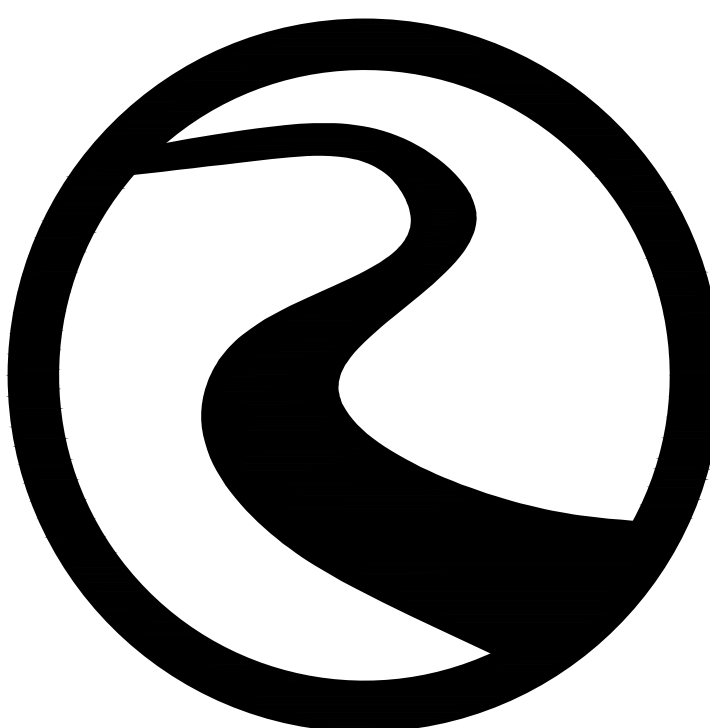
VICINITY MAP NTS

TOWN OF HILTON HEAD ISLAND

HHI BEACH HOUSE HOTEL RENOVATION

OWNER
 BEACH HOUSE RESORT OWNER, LLC
 CONTACT
 JILL LEKSTUTIS
 EMAIL
 jlekstutis@redhospitality.com
 908-463-7474

ENGINEER
 ROBERTS CIVIL ENGINEERING
 CONTACT
 Jonathan Roberts, P.E.
 EMAIL
 jroberts@robertscivilengineering.com



ROBERTS
 CIVIL ENGINEERING

#	REVISIONS
1	
2	
3	
4	
5	
03/15/2023:	ORIGINAL ISSUE DATE
RCE PROJECT NUMBER:	22905

CONTENTS		
SHEET		DATE
1	GENERAL NOTES	07/11/23
2A-2B	EXISTING CONDITIONS	07/11/23
3	DEMOLITION PLAN	07/11/23
4	STAKING PLAN	07/11/23
5	GRADING AND DRAINAGE PLAN	07/11/23
6	WATER AND SEWER PLAN	07/11/23
D1-D3	CONSTRUCTION DETAILS	07/11/23
	IMPERVIOUS AREA EXHIBITS - PRE & POST	07/11/23

WATG

strategy planning architecture landscape interiors

irvine | CA | 949 574 8500 watg.com



client

stamp | approval



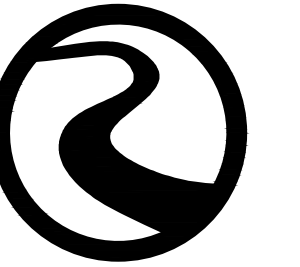
Know what's below.
Call before you dig.

COVER

The original size of this drawing is 30"x42"



client



ROBERTS CIVIL ENGINEERING
consultant

stamp | approval

REVISIONS

Beach House
HILTON HEAD ISLAND

GENERAL NOTES

DATE: 07.11.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV



Know what's below.
Call before you dig.

sheet no.

GENERAL NOTES:

- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
- PERMITS NECESSARY FOR CONSTRUCTION SHALL BE OBTAINED BY CONTRACTOR.
- DEVIATIONS FROM PLANS ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
- CONTRACTOR IS TO IMMEDIATELY CONTACT ENGINEER IF ANY UNFORESEEN CONDITIONS OR DISCREPANCIES OCCUR.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF UTILITIES ON SITE WITH APPROPRIATE PROVIDER (I.E., POWER, PHONE, CABLE, ETC.).
- ENGINEER IS NOT RESPONSIBLE FOR PHYSICAL CONSTRUCTION OF SITE.
- CONTRACTOR SHALL MAINTAIN A SAFE SITE AND MEET APPROPRIATE REGULATIONS CONCERNING SAFETY.
- SURVEY DATA PROVIDED BY ATLAS SURVEYING, INC.
 - DATE OF SURVEY 06-20-2022
 - SURVEYOR PROJECT OR FILE NO. BFT-22206
- EXISTING SURVEY INFORMATION TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF DISCREPANCIES IN FIELD OBSERVATIONS VERSUS SURVEY DATA.
- CONTRACTOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION BY CALLING "CALL BEFORE YOU DIG" HOTLINE: 811.
- ACCORDING TO FEMA FLOOD INSURANCE RATEMAPS 45013C0444G DATED 3/23/2021, SITE IS LOCATED IN 100 YEAR FLOODPLAIN IN ZONE AO (DEPTH 1) AND ZONE X (0.2% ANNUAL CHANCE FLD HZRD).
- HORIZONTAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE NAD83. VERTICAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE NAVD88.

ADA NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADHERING TO CURRENT ADA REQUIREMENTS.
- EXTERIOR ACCESSIBLE ROUTE SHALL HAVE A MINIMUM WIDTH OF 3 FEET. IF ACCESSIBLE ROUTE CLEAR WIDTH IS LESS THAN 5 FEET, THEN 5'X5' PASSING SPACES SHALL BE PROVIDED EVERY 200' OR LESS. INTERSECTING SIDEWALKS MEET THIS REQUIREMENT.
- FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS SHALL MEET FOLLOWING:
 - 0 - 1/4" NO REQUIREMENTS.
 - 1/4" - 1/2" BEVEL WITH 1:2 SLOPE.
 - GREATER THAN 1/2" CONFORM TO RAMP REQUIREMENTS.
- RAMPS SHALL MEET FOLLOWING CONSTRAINTS:
 - MAX SLOPE 1:12
 - MAX RAMP RISE IS 30"
 - MAX RAMP LENGTH IS 30'
 - MAX CROSS SLOPE IS 2.00%.
- RAMP LANDINGS SHALL MEET FOLLOWING CONSTRAINTS:
 - A MINIMUM 5' LONG LEVEL LANDING AT LEAST AS WIDE AS RAMP SHALL BE PLACED AT TOP AND BOTTOM OF RAMP.
 - LANDING SHALL BE MINIMUM 5'X5' WHERE RAMP CHANGES DIRECTION.
 - LANDINGS SHALL NOT EXCEED A 2.00% SLOPE.
- HANDRAILS SHALL MEET FOLLOWING CONSTRAINTS:
 - IF RAMP RISE IS GREATER THAN 6", THEN HANDRAILS ARE REQUIRED ON BOTH SIDES OF RAMP.
 - MINIMUM OF 12" LONG HANDRAIL EXTENSIONS SHALL BE PROVIDED AT TOP AND BOTTOM OF LANDINGS.

PROJECT NOTES:

- OWNER / DEVELOPER:
 - NAME: BEACH HOUSE RESORT OWNER, LLC
 - CONTACT: JILL LEKSTUTTIS, 908-463-7474, 908-463-7474
 - ADDRESS: 444 MADISON AVENUE #14, NEW YORK, NY 10022
- COUNTY NAME AND PARCEL / TAX MAP NUMBER(S): ##### / #####
- ZONING CLASSIFICATION: RD - RESORT DEVELOPMENT

SITE DATA

- ZONING DISTRICT - RD
- OVERLAY DISTRICT - COR, TA-O, CPA-O, CRITICAL STORM PROTECTION AND DUNE ACCRETION AREA
- USE OF PROPERTY - RESORT ACCOMMODATIONS
- GROSS SITE ACRES - 4.624 ACRES (201,413.77 SF)
- NET SITE ACRES (GROSS ACRES-TOTAL WETLANDS) - 4.624 ACRES
- ALLOWED TOTAL DENSITY (GFA/NET ACRES) - 8,000 GFA/ACRE
(HILTON HEAD ISLAND, SOUTH CAROLINA - LAND MANAGEMENT ORDINANCE, CHAPTER 16-3 - ZONING DISTRICTS, L, RESORT DEVELOPMENT (RD) DISTRICT, 3, DEVELOPMENT FORM AND PARAMETERS; MAX. DENSITY (PER NET ACRE), NONRESIDENTIAL, 8,000 GFA)
- PROPOSED DENSITY (GFA/NET ACRES) - 7,994 GFA/ACRE
(36,987 GFA/4.624 ACRES)
- EXISTING BUILDING SQUARE FOOTAGE - 36,441 SF
(14,844 SF + 20,820 SF + 777 SF)
UNIT 1 + UNIT 2 + EXISTING BATHROOM/POOL
- PROPOSED BUILDING SQUARE FOOTAGE - 1,303 SF
(526 SF+777 SF)
KITCHEN + BATHROOM/POOL
- TOTAL SQUARE FOOTAGE (BUILDING) - 36,967 SF
(14,844 SF + 20,820 SF + 526 SF+777 SF)
UNIT 1 + UNIT 2 + KITCHEN + BATHROOM/POOL
- MAXIMUM BUILDING HEIGHT ALLOWED - 75 FEET
- PROPOSED BUILDING HEIGHT - UNIT 2 - 5 STORY STUCCO BUILDING 47.9' (+/-) HIGH, UNIT 1 + 2 STORY STUCCO BUILDING 20' (+/-)
- MAXIMUM ALLOWED IMPERVIOUS AREA AND PERCENTAGE (MAX ALLOWED IS 50%) - 100,710 SF (50%)
- a. CURRENT IMPERVIOUS AREA AND PERCENTAGE - 108,743 SF (54%)
(108,743 SF /201,421 SF)
- b. PROPOSED IMPERVIOUS AREA AND PERCENTAGE - 108,733 (54%)
(108,733 SF /201,421 SF)
- MINIMUM NUMBER OF PARKING SPACES REQUIRED (1 PER EVERY GUEST ROOM) - 202
- EXISTING NUMBER OF PARKING SPACES ON SITE - 199 (INCL. 9 HC SPACES)
- AREA OF DISTURBANCE - 1.03 (AC.)

EARTHWORK AND PAVING:

- UPPER 12 INCHES OF SUBGRADE BELOW PAVEMENT AND BUILDINGS SHALL BE SCARIFIED AND RECOMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- CONTRACTOR TO PROVIDE TEST RESULTS OF SUBGRADE AND BASE COURSE COMPACTION TO ENGINEER INCLUDING VOLUME ESTIMATES OF ANY UNSUITABLE SOILS TO BE REMOVED AND REPLACED THAT WERE IDENTIFIED DURING COMPACTION OPERATIONS PER ITEM NO. 1 ABOVE. IF ANY, CONTRACTOR SHALL NOT PROCEED WITH OVER-EXCAVATION AND REPLACEMENT OF UNSUITABLE SOILS WITHOUT WRITTEN AUTHORIZATION FROM ENGINEER OR OWNER.
- FOR APPROVED AREAS OF OVER-EXCAVATION AND REPLACEMENT, CONTRACTOR TO REMOVE IDENTIFIED UNSUITABLE MATERIAL TO A DEPTH OF 3 FEET AND REPLACE WITH STRUCTURAL FILL.
- IN AREAS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN LIFTS OF 6 INCHES AND BE COMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY. STRUCTURAL FILL SHALL CONSIST OF GRANULAR SOIL CONTAINING LESS THAN 10% MATERIAL PASSING THE NO.200 SIEVE.
- EXCAVATION AND FILL SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITIES.

GRADING & DRAINAGE NOTES:

- STORM PIPES SHALL BE JOINED PER DOT SPECIFICATIONS.
- PIPING SHALL BE INSTALLED IN NEW CONDITION.
- A RIGHT-OF-WAY WORK PERMIT MAY BE REQUIRED BEFORE ANY WORK CAN BE DONE IN RIGHT-OF-WAY.
- STORM DRAINAGE PIPING SHALL BE CONSTRUCTED PER GA DOT SPECS.
- STORM DRAINAGE PIPING JOINTS SHALL BE WRAPPED IN FILTER FABRIC.
- CONTRACTOR TO REQUEST CONFIRMATION OF LATEST PLAN REVISION DATE FROM ENGINEER IN WRITING PRIOR TO ORDERING MATERIALS.
- IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW AND APPROVE SHOP DRAWINGS PRIOR TO ORDERING MATERIALS.

GENERAL WATER NOTES:

- PVC PIPE SHALL BE BLUE IN COLOR. PIPE 4" TO 12" SHALL CONFORM TO REQUIREMENTS OF AWWA C-900, OR 18 PRESSURE CLASS 235 PSI AND SHALL HAVE FOLLOWING MINIMUM WALL THICKNESS:
 - 4" DIA - 0.287"
 - 6" DIA - 0.383"
 - 8" DIA - 0.503"
 - 10" DIA - 0.617"
 - 12" DIA - 0.733"
 PIPE LESS THAN 4" IN DIAMETER SHALL CONFORM TO ASTM D-1784 AND D-2241 (SDR 21). PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSI. PVC PIPE SHALL BEAR NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL.
- FITTINGS FOR PVC SHALL BE DUCTILE IRON IN ACCORDANCE WITH ANSI A-21.53 (AWWA C-153). FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI A-21.4 (AWWA C-104). FITTINGS LESS THAN 4" SHALL BE PVC WITH RING TITE RUBBER JOINTS CONFORMING TO ASTM D-3139.
- VALVES SHALL BE INSTALLED IN APPROVED UNDERGROUND VALVE BOXES OF DUCTILE IRON WITH A SUITABLE CRUSHING STRENGTH FOR LOCATION INSTALLED.
- MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN ANY EXISTING OR PROPOSED WATER MAIN AND SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE.
- WHEN A 10' HORIZONTAL SEPARATION CANNOT BE MAINTAINED, WATER MAIN MAY BE LAID CLOSER TO SEWER PROVIDED THAT WATER MAIN IS LAID IN A SEPARATE TRENCH AT LEAST 18" ABOVE TOP OF SEWER.
- WATER CROSSING A SEWER SHALL BE AT LEAST 18" ABOVE TOP OF SEWER. A FULL LENGTH (SECTION) OF WATER PIPE SHALL BE USED AT THESE CROSSINGS WITH ENDS OF WATER PIPE SECTION AS FAR AWAY FROM SEWER AS POSSIBLE.
- VERIFY SIZE AND LOCATION OF WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS.
- IF UTILITY CONFLICT IS ENCOUNTERED IN FIELD, SEE UTILITY CONFLICT DETAIL.

GENERAL SEWER NOTES:

- PVC PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC (PVC) AND SHALL MEET REQUIREMENTS OF ASTM D 3034 SDR 26. DEPTHS LESS THAN 3' SHALL BE DUCTILE IRON PIPE. ASTM D 2321 MUST BE FOLLOWED FOR INSTALLATION OF PVC PIPE. RUBBER RINGS SHALL BE USED FOR CONTRACTION AND EXPANSION AT EACH JOINT. FITTINGS SHALL MEET SAME SPECIFICATION REQUIREMENTS AS PIPE. TESTS ON PVC PIPE SHALL BE DESIGNED TO PASS TESTS AT 73° F. PIPE STANDARD LENGTHS SHALL BE 12.5' (PLUS OR MINUS 1"). PIPE SIZES AND DIMENSIONS SHALL BE AS SHOWN IN THE TABLE BELOW.

NO. SIZE:	OUTSIDE DIA.:	MIN WALL THICKNESS:
4"	4.215"	0.162"
6"	6.275"	0.241"
8"	8.400"	0.323"
10"	10.500"	0.404"
12"	12.500"	0.481"

- JOINTS FOR PVC PIPE - SHALL BE INTEGRAL WALL BELL AND SPIGOT WITH A RUBBER RING GASKET. THE JOINTS SHALL CONFORM TO ASTM D 3212 AND GASKETS SHALL CONFORM TO ASTM F 477.
- PRECAST CONCRETE MANHOLES - SHALL BE REINFORCED CONCRETE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 AND DETAILS SHOWN ON PLANS. JOINTS SHALL BE TONGUE AND GROOVE SEALED WITH FLEXIBLE GASKETS OR MASTIC SEALANT. GASKETS SHALL BE O-RING OR EQUIVALENT TO TYPE A OR B "TYLOX" CONFORMING TO ASTM C 443. MASTIC SHALL BE EQUIVALENT TO "RAM-NEK" WITH PRIMER. CONTACT SURFACES OF MANHOLE JOINT SHALL HAVE PRIMER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- FRAMES AND COVERS - SHALL BE EQUIVALENT OF NEENAH FOUNDRY CO. R-1668 TYPE "C" LID
- MANHOLE STEPS - SHALL BE EQUIVALENT TO M.A. INDUSTRIES, TYPE PS-1 OF PS-2 OR IMCO REINFORCED PLASTICS, INC. MODEL FRP. STEPS SHALL BE INSTALLED AT MANHOLE FACTORY AND IN ACCORDANCE WITH RECOMMENDATIONS OF STEP MANUFACTURER.
- PIPE CONNECTIONS - SHALL HAVE FLEXIBLE WATERTIGHT JOINTS AT POINT OF ENTRY OF ANY SEWER MAIN INTO MANHOLE. JOINT SHALL BE WEDGED RUBBER SHAPE EQUIVALENT TO "PRESS WEDGE II," OR A RUBBER SLEEVE EQUIVALENT TO "KOR-N-SEAL" OR "LOCK JOINT."
- #12 GAUGE SINGLE STRAND COPPER TRACING WIRE SHALL BE USED OVER ALL FORCE MAIN, SANITARY SEWER, AND SERVICE LATERAL LINES.
- SEWER EXCAVATIONS SHALL BE TO DESIRED DEPTHS SHOWN ON PLANS WITH ADHERENCE TO OCCUPATIONAL AND SAFETY HEALTH ADMINISTRATIONS (OSHA) REGULATIONS. IN AREAS OF UNSUITABLE SOIL CONDITIONS, TRENCH MAY REQUIRE ADDITIONAL EXCAVATION AND BACKFILL WITH SAND, GRAVEL, OR CONCRETE.
- SEWER PIPES SHALL BE LAID UPGRADE WITH SPIGOTS POINTING DOWNGRADE. ASSEMBLY OF JOINTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS. SEAL OPEN ENDS OF PIPES IF INSTALLATION IS INTERRUPTED. MANHOLE CONNECTIONS SHALL BE WATER TIGHT WITH USE OF FLEXIBLE WATER STOPS AND RESILIENT CONNECTORS.
- MANHOLES SHALL HAVE A NON-SHRINK GROUT CHANNEL IN BOTTOM THAT IS SMOOTH, ROUNDED, AND SHAPED TO FACILITATE GRAVITY SEWER FLOW TOWARDS OUTGOING PIPE. CHANNEL WIDTH SHALL MATCH PIPING SIZE. INVERT OF CHANNEL SHALL BE UNIFORMLY SLOPED BETWEEN INCOMING AND OUTGOING PIPES. TOP OF BENCH SHALL MATCH TOP OF LARGEST PIPE. SLOPE TOP OF BENCH 1" PER FOOT TOWARDS CHANNEL.
- MANHOLE TOP ELEVATIONS SHALL BE GREATER THAN OR EQUAL TO FIFTY (50) YEAR FLOOD ELEVATION, UNLESS WATERTIGHT COVERS ARE PROVIDED. OUTSIDE OF PAVED AREAS, MANHOLE TOP ELEVATION SHALL BE 1" ABOVE GROUND SURFACE IN DEVELOPED AREAS AND 6" ABOVE GROUND SURFACE IN UNDEVELOPED AREAS UNLESS SHOWN OTHERWISE ON PLANS. MANHOLES IN PAVED AREAS SHALL BE BUILT AS DESIGNATED BY ENGINEER. NO LEAKS IN MANHOLES ARE ACCEPTABLE.

20' B.S.L.

PRE-DEVELOPMENT COVERAGE LEGEND

- TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
- CONCRETE
- EXISTING POOL & SPA
- EXISTING POOL EQUIP, BATH HOUSE
- EXISTING TIKI BAR ROOF
- EXISTING PAVERS
- EXISTING DECK

NOTE:
CONTRACTOR TO COORDINATE REMOVAL OF EXISTING TREES, LIGHTS, CABLE, IRRIGATION AND POWER WITH OWNER.

LEGEND

- ▲ CALC POINT - CORNER NOT SET
- CMF ■ CONC. MONUMENT FOUND
- PKS ○ PK WALL SET
- RBF ● IRON REBAR FOUND
- RBS ○ 5/8" IRON REBAR SET W/CAP
- AIR CONDITIONING UNIT
- ⊠ BACK FLOW PREVENTER
- BOLLARD
- ⊙ CABLE JUNCTION BOX
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ CONTROL PANEL
- ⊙ ELECTRIC OUTLET
- ⊙ ELECTRIC STUBOUT
- ⊙ FIRE DEPARTMENT CONNECTION
- ⊙ FIRE HYDRANT
- ⊙ FIBER OPTIC BOX
- ⊙ FLAG POLE
- ⊙ GRATE INLET
- ⊙ GROUND LIGHT
- ⊙ GAS TANK
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ LIGHT POLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ SPOT ELEVATION
- ⊙ SIGN
- ⊙ SPIGOT
- ⊙ SANITARY SEWER CLEAN OUT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ TRAFFIC SIGNAL BOX
- ⊙ TELEPHONE JUNCTION BOX
- ⊙ TELEPHONE BOX
- ⊙ TRANSFORMER-ELECTRIC
- ⊙ UNDERGROUND FIBER OPTICS MARKER
- ⊙ WATER METER
- ⊙ WATER MANHOLE
- ⊙ WATER VALVE
- ⊙ POST
- ⊙ YARD INLET
- ⊙ TRASH CAN
- ⊙ NUMBER OF PARKING SPACES
- ⊙ CONTOUR LINE
- ⊙ BOTTOM OF BANK
- ⊙ FENCE LINE
- ⊙ HANDRAIL
- ⊙ TOP OF BANK
- ⊙ TREE CANOPY
- ⊙ UNDERGROUND DRAINAGE LINE
- ⊙ UNDERGROUND ELECTRIC LINE
- ⊙ UNDERGROUND FIBER OPTICS LINE
- ⊙ UNDERGROUND GAS LINE
- ⊙ UNDERGROUND SEWER LINE
- ⊙ UNDERGROUND TELEPHONE
- ⊙ UNDERGROUND TV LINE
- ⊙ UNDERGROUND WATER LINE
- ⊙ BRICK
- ⊙ DETECTABLE WARNING SURFACE
- ⊙ EDGE OF PAVEMENT
- ⊙ EDGE OF PAVEMENT (PERVIOUS)
- ⊙ GRAVEL
- ⊙ EXISTING TREE TO BE REMOVED

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ROBERTS CIVIL ENGINEERING consultant

stamp | approval

REVISIONS

Beach House HILTON HEAD ISLAND

DEMOLITION PLAN

DATE: 07.11.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV



Know what's below. Call before you dig.

GRAPHIC SCALE 1" = 20'

sheet no.

3

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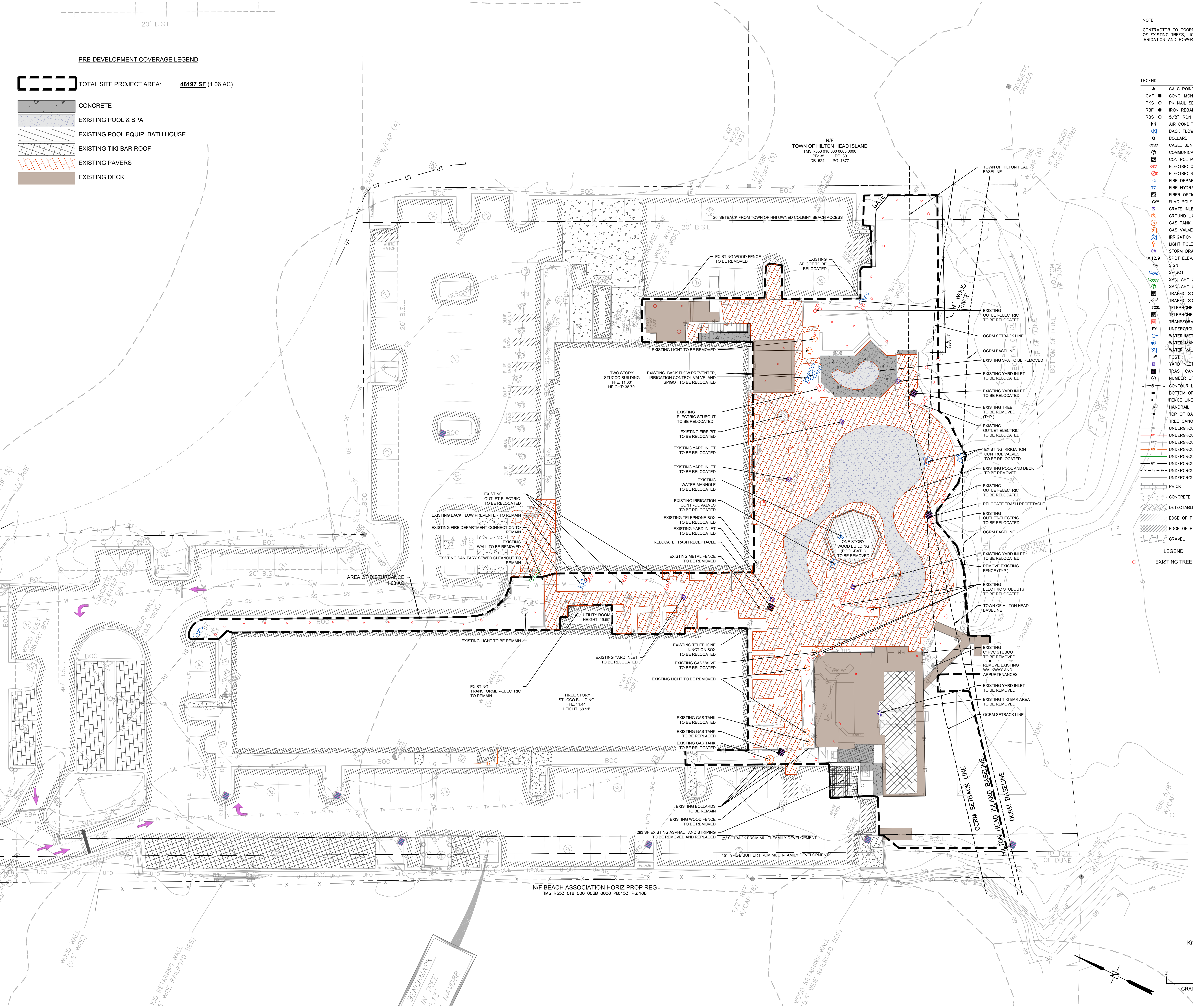
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TOWN OF HILTON HEAD ISLAND
N/F
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DB:524 PG:1377

200 RETAINING WALL
5' WIDE RAILROAD TIES

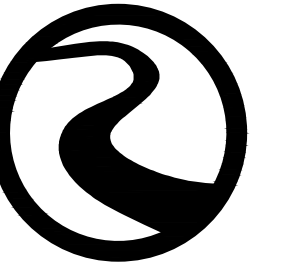
BENCHMARK
IN TREE
2.13' NAVD88

WOOD RETAINING WALL
0.5' WIDE RAILROAD TIES





client



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consultant

stamp | approval

REVISIONS

Beach House
HILTON HEAD ISLAND

GRADING & DRAINAGE

DATE: 07.11.2023

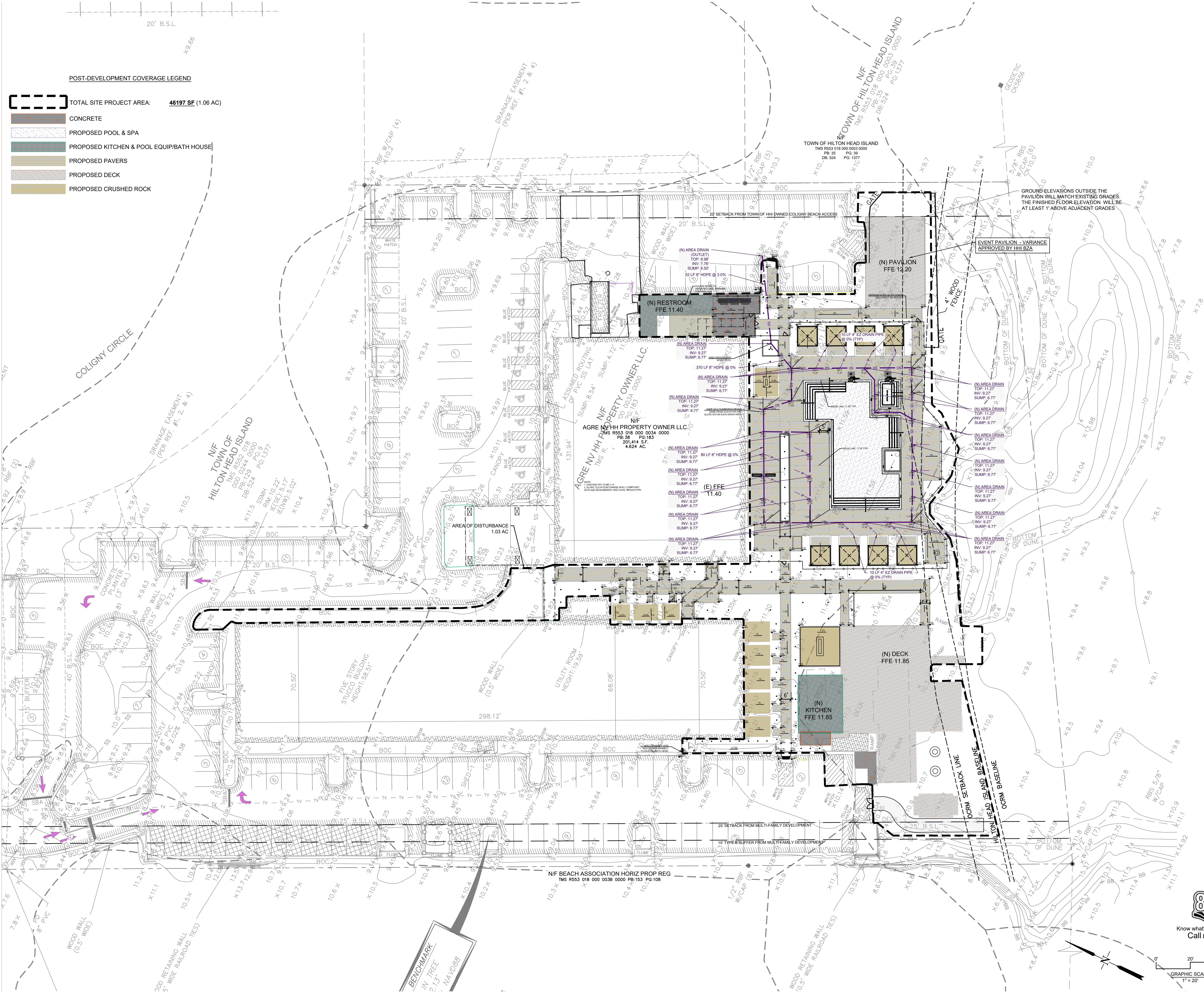
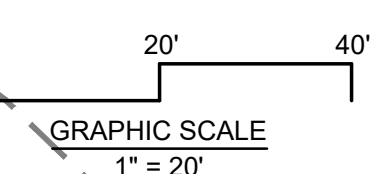
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DRAWN BY: DUF

CHECKED BY: JLV



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POST-DEVELOPMENT COVERAGE LEGEND

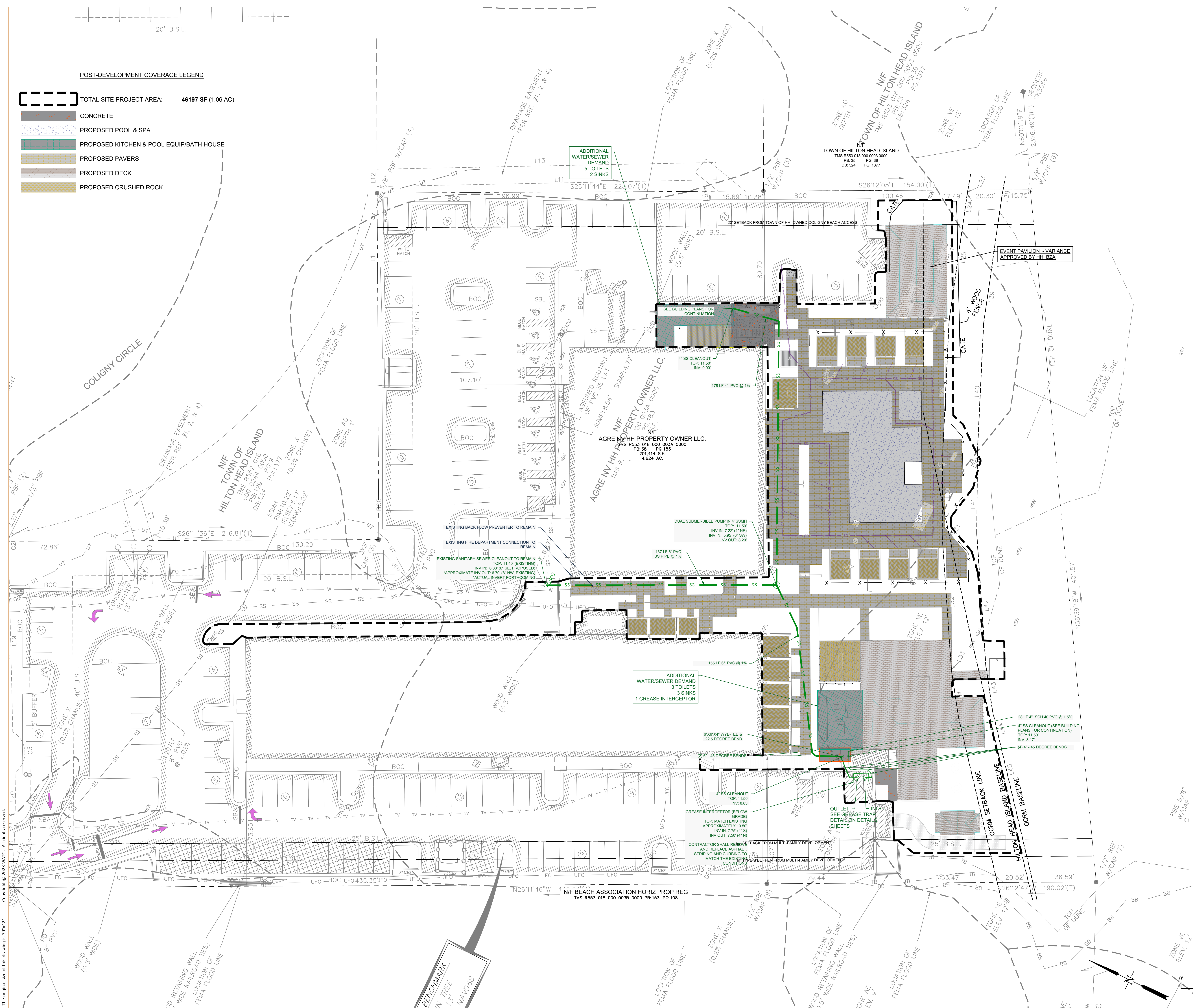
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- CONCRETE
- PROPOSED POOL & SPA
- PROPOSED KITCHEN & POOL EQUIP/BATH HOUSE
- PROPOSED PAVERS
- PROPOSED DECK
- PROPOSED CRUSHED ROCK

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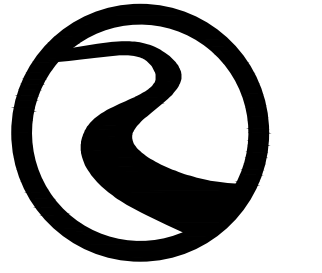
20' B.S.L.

POST-DEVELOPMENT COVERAGE LEGEND

- TOTAL SITE PROJECT AREA: 46197 SF (1.06 AC)
- CONCRETE
- PROPOSED POOL & SPA
- PROPOSED KITCHEN & POOL EQUIP/BATH HOUSE
- PROPOSED PAVERS
- PROPOSED DECK
- PROPOSED CRUSHED ROCK



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REVISIONS

Beach House HILTON HEAD ISLAND

WATER & SEWER PLAN

DATE: 07.11.2023

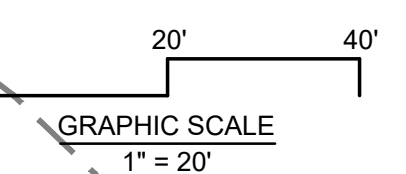
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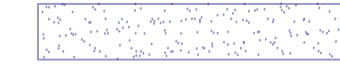




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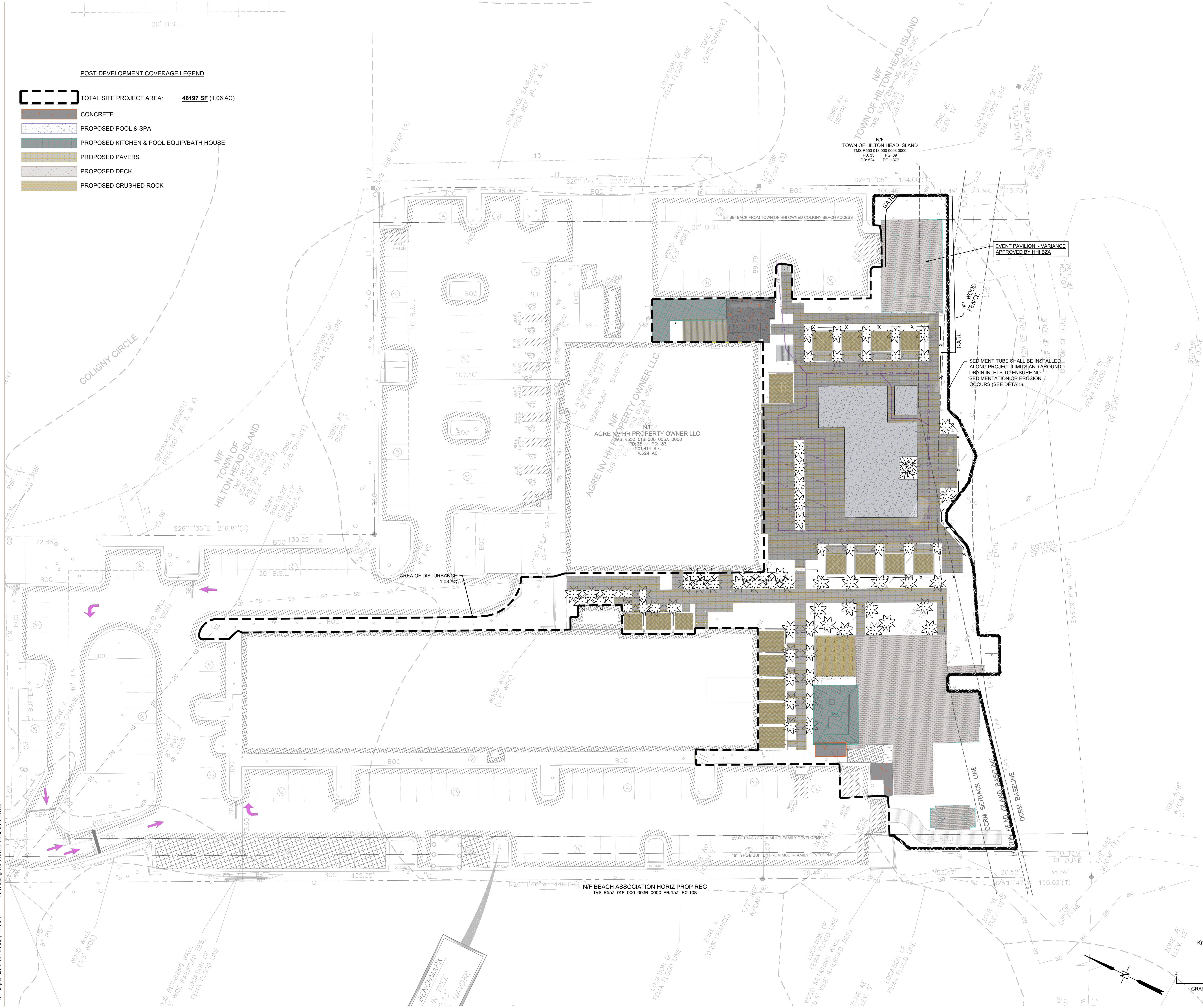


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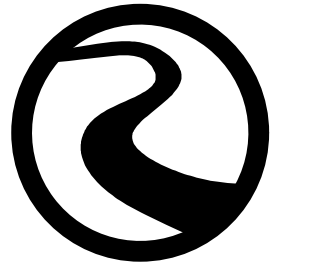
20' B.S.L.

POST-DEVELOPMENT COVERAGE LEGEND

-  TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
-  CONCRETE
-  PROPOSED POOL & SPA
-  PROPOSED KITCHEN & POOL EQUIP/BATH HOUSE
-  PROPOSED PAVERS
-  PROPOSED DECK
-  PROPOSED CRUSHED ROCK



client



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consultant

stamp | approval

REVISIONS

Beach House

HILTON HEAD ISLAND

ESPC AND SWPPP

DATE: 07.11.2023

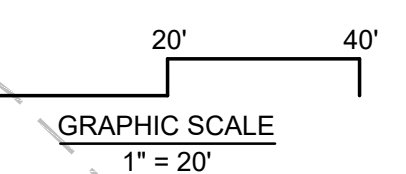
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CHECKED BY: JLV



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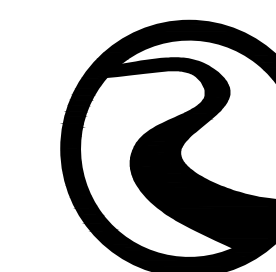
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AGRE NV HILTON HEAD ISLAND N/F PROPERTY OWNER LLC.
TMS R553 018 000 0034 0000
201,414 S.F.
4,624 AC.

N/F TOWN OF HILTON HEAD ISLAND
TMS R553 018 000 0003 0000
PB:35 PG:99
DB:524 PG:1377



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consultant

stamp | approval

REVISIO

Beach House
HILTON HEAD ISLAND

SITE COVERAGE - CURRENT

DATE: 05.22.2023

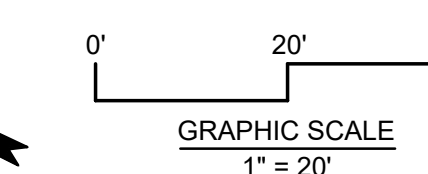
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DRAWN BY: DUF

CHECKED BY: JLV

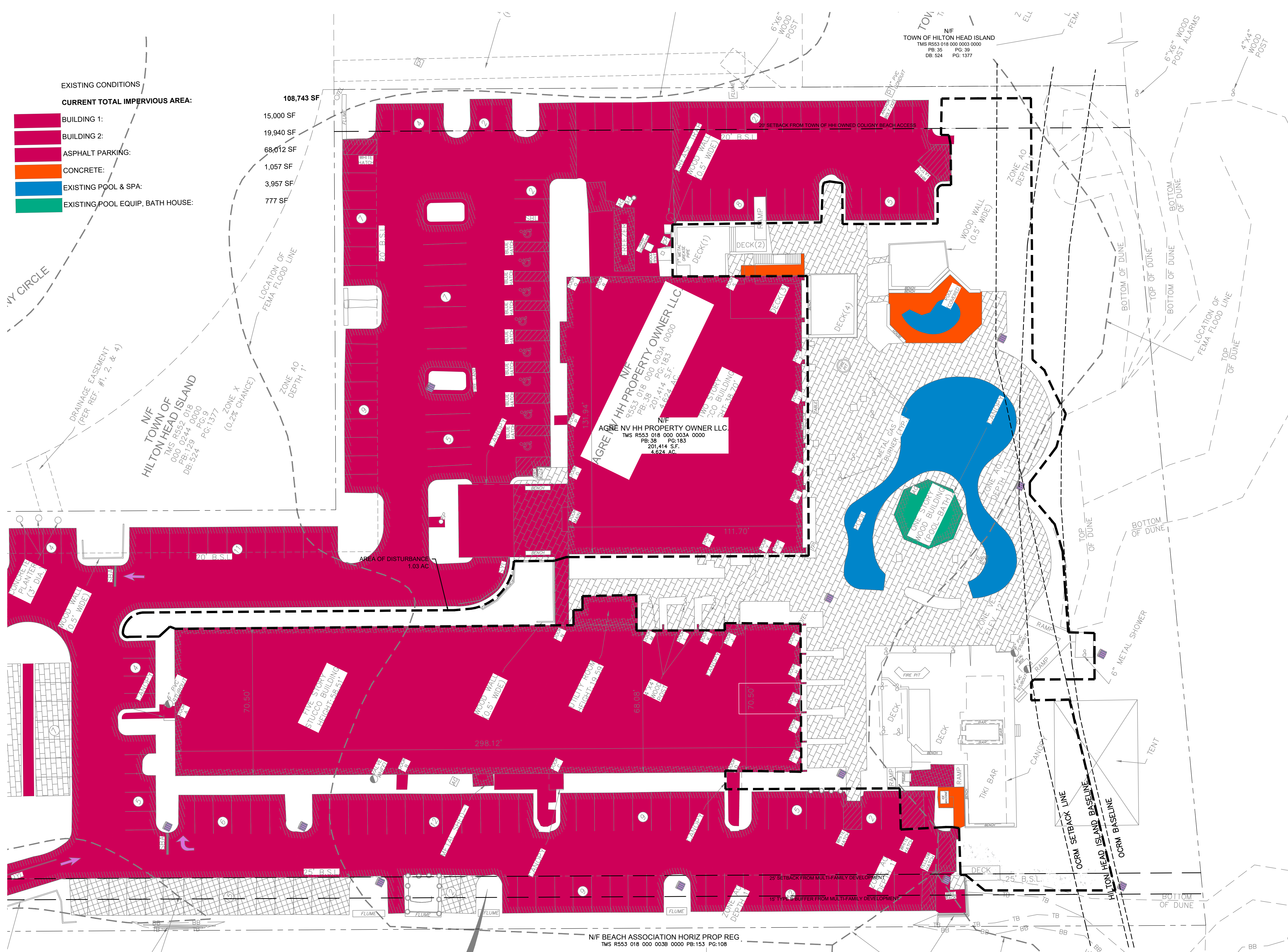


Know what's below.
Call before you dig.



sheet no.

PRE



EXISTING CONDITIONS

CURRENT TOTAL IMPERVIOUS AREA:

BUILDING 1:	15,000 SF
BUILDING 2:	19,940 SF
ASPHALT PARKING:	68,012 SF
CONCRETE:	1,057 SF
EXISTING POOL & SPA:	3,957 SF
EXISTING POOL EQUIP. BATH HOUSE:	777 SF

DRAINAGE EASEMENT
(PER REF. #1, 2, & 4)

N/F TOWN OF
HILTON HEAD ISLAND
TMS R553 018 000 0003A 0000
PB:129 PG:9
DB:524 PG:1377

LOCATION OF
FEMA FLOOD LINE

ZONE X
(0.2% CHANCE)

ZONE AO
DEPTH 1'

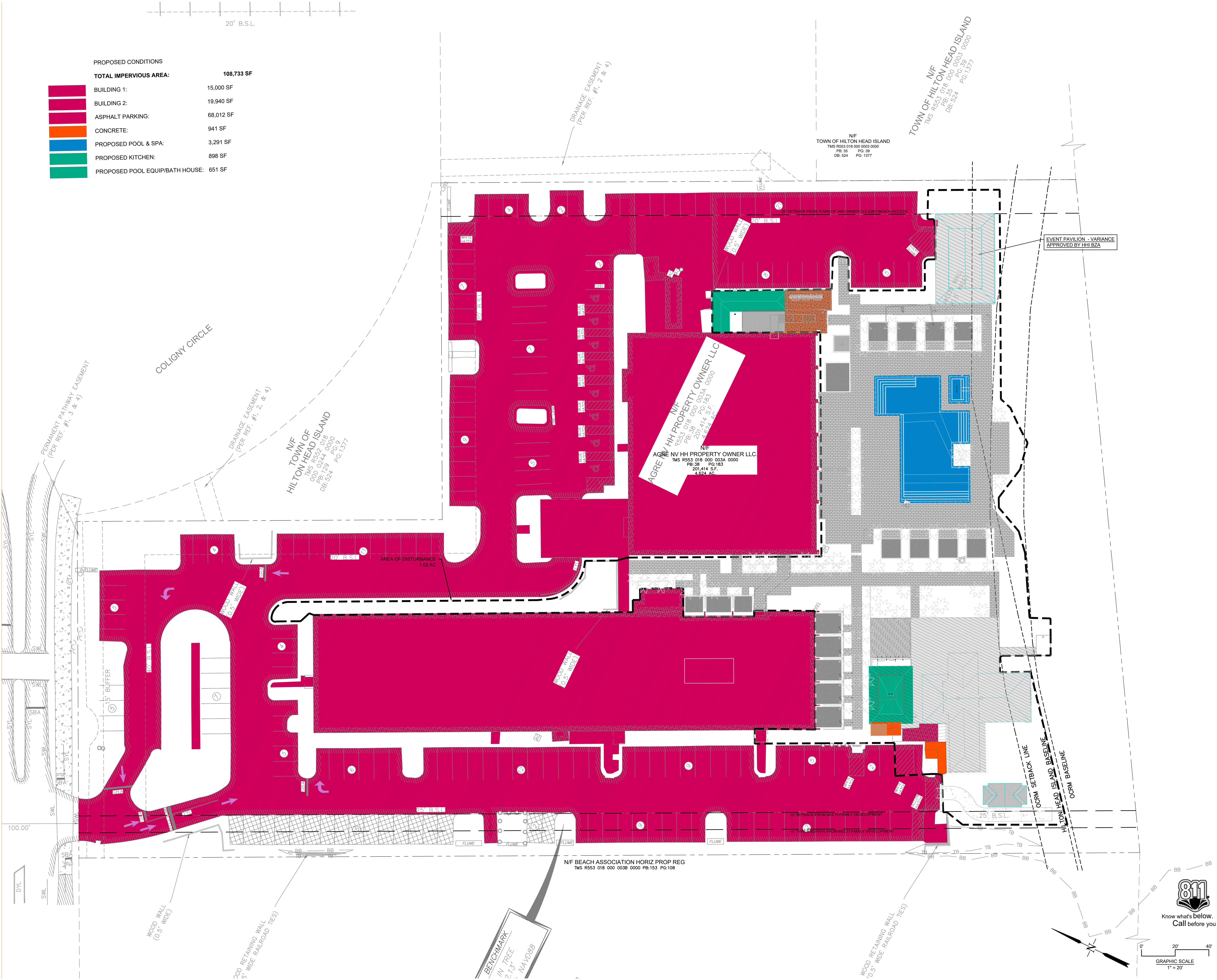
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201,414 S.F.
4,624 AC

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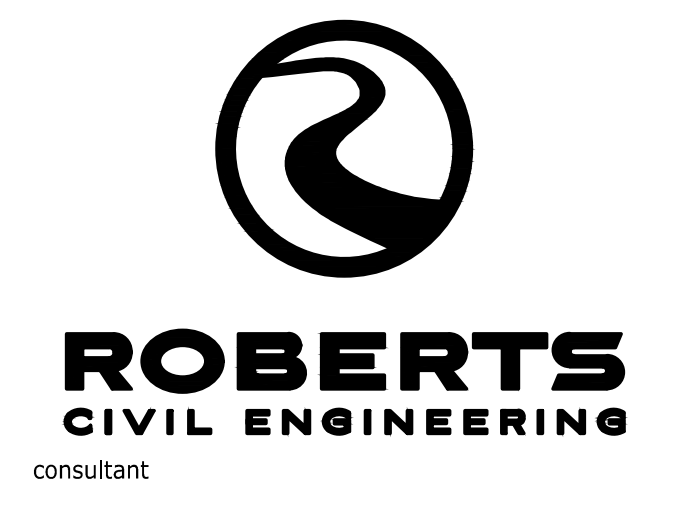
20' B.S.L.

PROPOSED CONDITIONS	
TOTAL IMPERVIOUS AREA:	108,733 SF
BUILDING 1:	15,000 SF
BUILDING 2:	19,940 SF
ASPHALT PARKING:	68,012 SF
CONCRETE:	941 SF
PROPOSED POOL & SPA:	3,291 SF
PROPOSED KITCHEN:	898 SF
PROPOSED POOL EQUIP/BATH HOUSE:	651 SF



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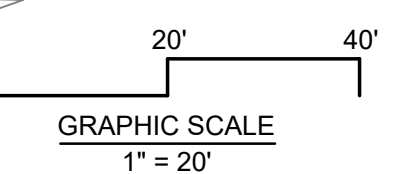
stamp | approval

REVISIONS

Beach House
 HILTON HEAD ISLAND

SITE COVERAGE - PROPOSED

DATE: 05.22.2023
 PROJECT NUMBER: 22905
 DRAWN BY: DUF
 CHECKED BY: JLV



sheet no. **post**

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Date: 11 July 2023

To: **Town of Hilton Head Island
Community Development Department**
One Town Center Court
Hilton Head, Island, SC 29928

From: **WATG**
1730 Flight Way
Suite 150
Tustin, CA 92782

Re: **Beach House | Hilton Head Island – DRB Alteration / Additions**
1 South Forest Beach Drive
Hilton Head, SC 29928

PROJECT NARRATIVE

THE HILTON HEAD BEACH HOUSE property is planning a renovation of the existing pool area, Tiki bar and addition of an event pavilion. The limit of work for the renovation is indicated on the Overall Site Plan and is generally from the facade of the existing hotel and extends to the DHEC-ORCM setback and baseline as well as the Town of Hilton Head setback and baseline. In addition, the relocation of the restroom, pool equipment room and grill to a location within the Town of HHI setback and baseline to a location no closer to the ocean at the same square footage. It is structurally connected to the existing hotel building. The stage will be relocated to the beach side of the Tiki Bar. Improvements include a refresh and update to the spaces, materials and finishes, and overall quality.

PHASE 1 | SCOPE OF WORK:

- New Stage Structure
- Expanded Tiki Bar/Structure + Wood Deck
- Gas Fire Tables/Rings
- New Swimming Pool, Spa and Deck
- Pool Cabana Structures (FFE), Service Stations + Pool Furnishings
- New Kitchen + Restroom Building (Structurally connected to the face of hotel)
- New Restroom Building + Pool Equipment Room
- New Resort Planting + Irrigation
- Dune Walkover Path
- New Lighting (Sea Turtle Protection + Code Compliant)
- (3) ADA Compliant Rooms (Interior Renovation ONLY)

PHASE 2 | SCOPE OF WORK:

- Event Pavilion (Submitted in Phase 1 DRB Package for the Design Intent of Architecture Aesthetics ONLY)

FINAL DRB: ADDITION/ALTERATION:

Phase 1 of the project has been presented during the DRB meeting held 12-13-2022, DRB-002893-2022. There were no comments to phase 1 per the NOA. This Final Presentation submittal is for two purposes: 1) the addition of the Event Pavilion, which has now been granted a Variance through the Board of Zoning Appeals, and 2) minor alterations/additions to the phase 1 approval. Please see below for additional detail.

- The Event Pavilion has been granted a Variance by the town of Hilton Head Island Board of Zoning Appeals, case#: VAR-000944-2023, on June 8th, 2023.
- Previously presented trellis connection between the relocated Kitchen/Bathroom building and the main hotel building did not meet the requirements from the Floodplain review during the Major Development Plan Review and a solid roof connection is required instead. This new roof serves as a walkway with the same finishes as previously presented of the Kitchen building.
- The addition to the North hotel building bathrooms & pool equipment has an updated footprint that responds to the site conditions and program requirements of the pool equipment and restroom access. The materials and finishes are consistent with what was previously presented and approved.

****DEMOLITION AS REQUIRED.***

Respectfully,

Lance Kalani Walker, ASLA

Manging Principal, Landscape Architecture
Wimberly Allison Tong + Goo NA Inc.

Respectfully,

Gregory Villegas, AIA

Manging Principal, Architecture
Wimberly Allison Tong + Goo NA Inc.

BEACH HOUSE - HILTON HEAD ISLAND

1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928

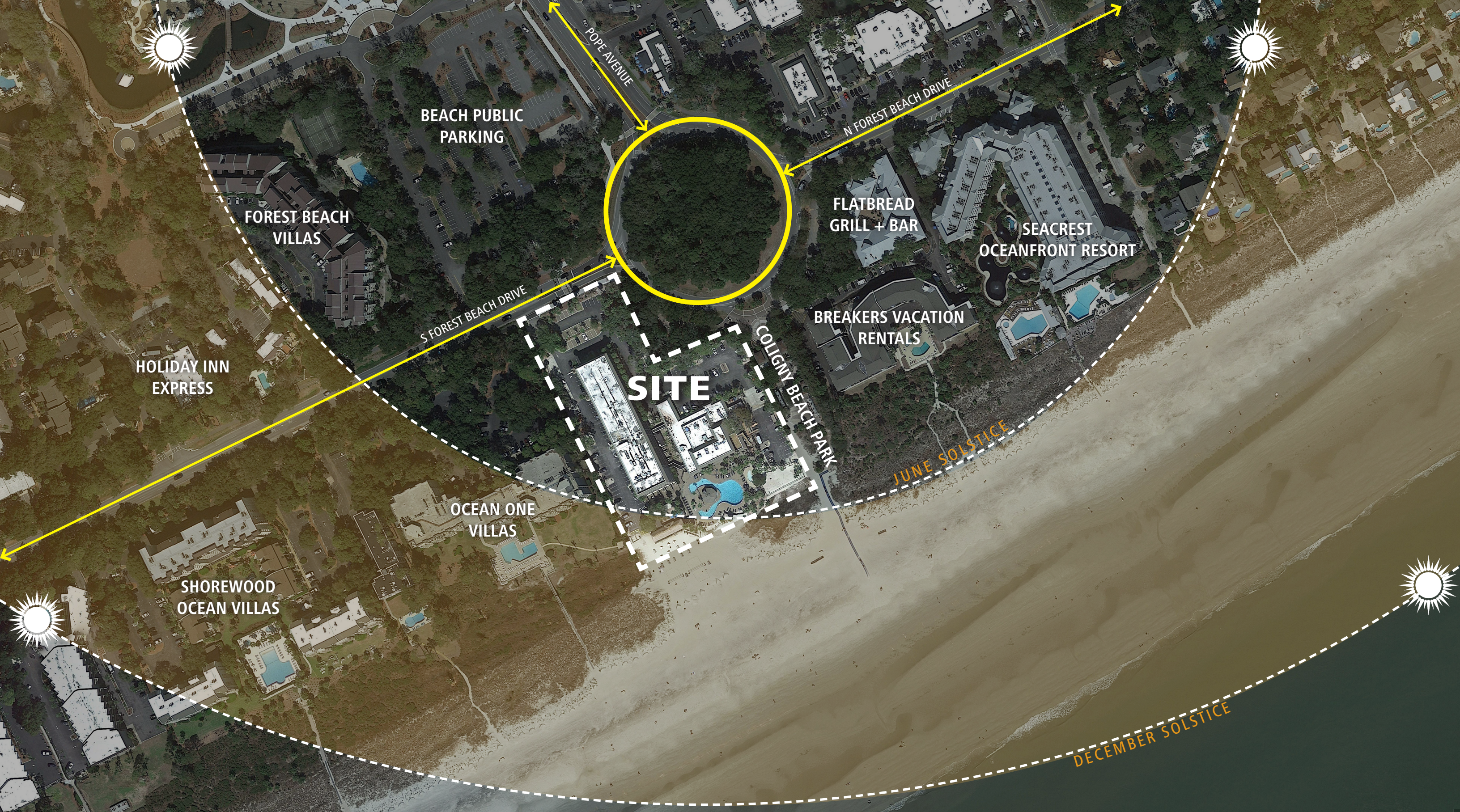
DRB FINAL SUBMITTAL
PROPOSED DEVELOPMENT

11 JULY 2023

REDHOSPITALITY
CONSULTING

 **EOS**
INVESTORS

WATG



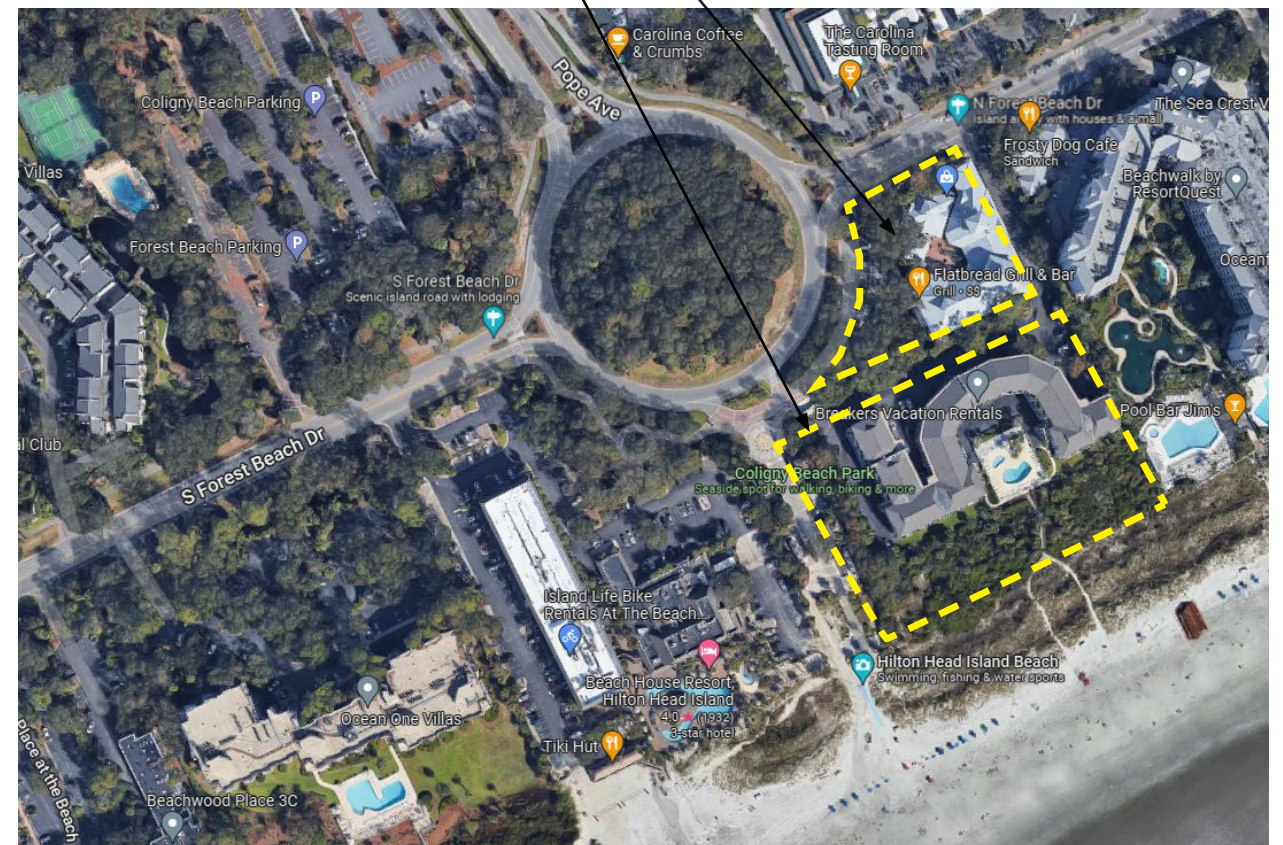


BEACH MARKET



BREAKERS VACATION RENTALS

BEACH MARKET
BREAKERS VACATION RENTAL





OCEAN ONE VILLAS

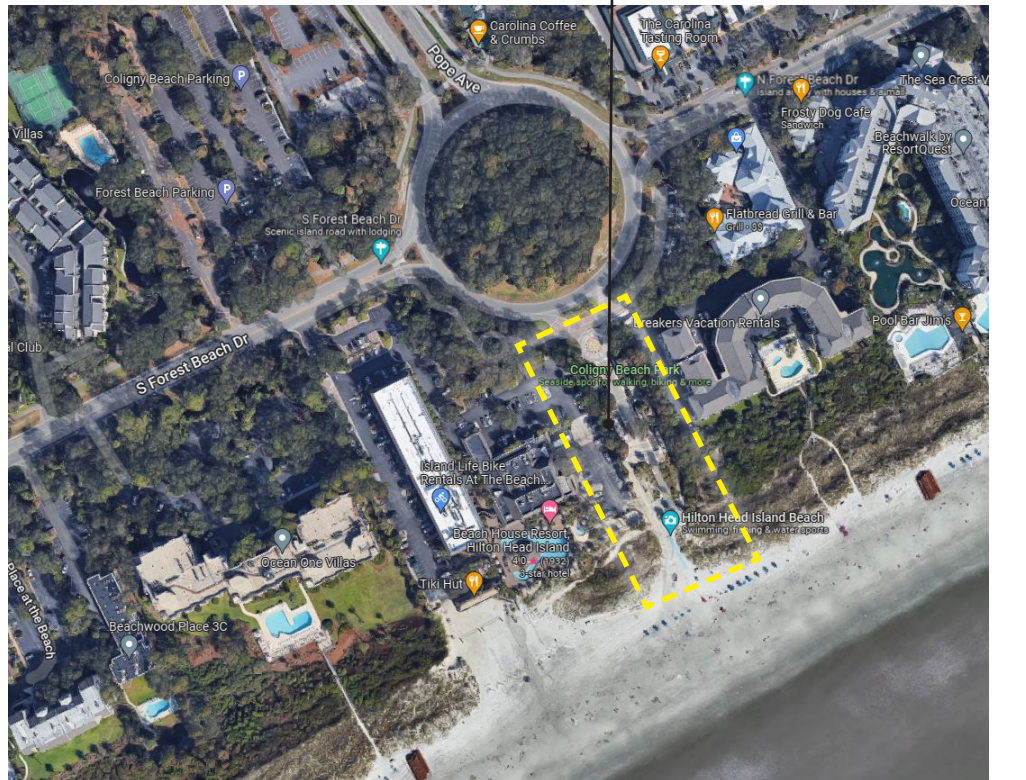


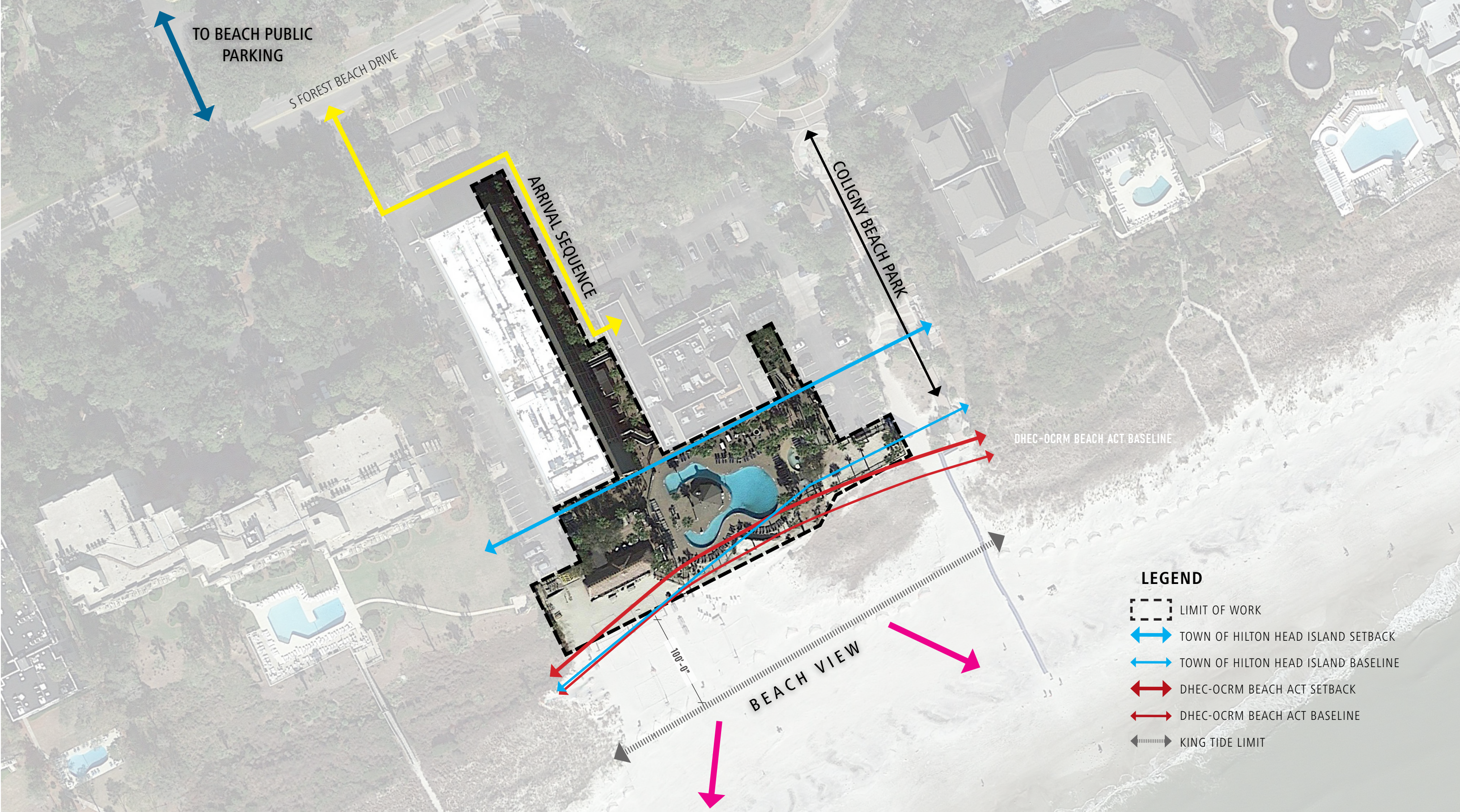


RESTROOM PAVILION



COLIGNY BEACH PARK







BEACH HOUSE HOTEL ENTRY



VIEW OF PORTE COCHERE FROM PARKING LOT



GUESTROOM PATIO



VIEW OF POOL DECK + GATE FROM WALKWAY CORRIDOR



VIEW OF VEHICLE ACCESS BY THE EXISTING ICE MACHINE



VIEW OF TIKI BAR FACING THE BEACH



VIEW OF STAGE FROM TIKI DINING AREA



SOUTHWEST VIEW OF TIKI BAR



NORTHEAST VIEW OF TIKI BAR



VIEW OF BEACH ACCESS FROM SOUTHWEST PARKING LOT



VIEW OF EXISTING STAIRS, SMOKER + BIKE RENTAL



VIEW OF NORTHEAST PARKING LOT



WEST VIEW OF POOL DECK



VIEW GUESTROOM PATIO + WALKWAY CORRIDOR FACING SOUTHWEST PARKING LOT



SOUTHEAST VIEW OF POOL DECK



NIGHT VIEW FROM SOUTH OF POOL DECK LOOKING TOWARDS TIKI BAR + GUESTROOM HOTEL

THE HILTON HEAD BEACH HOUSE property is planning a renovation of the existing pool, Tiki bar, and event area. The limit of work for the renovation is indicated on the Overall Site Plan and is generally from the facade of the existing hotel and extends to the DHEC-ORCM setback and baseline as well as the Town of Hilton Head Setback and Baseline. In addition, the relocation of the restroom, pool equipment room and grill to a location within the Town of HHI setback and baseline to a location no closer to the ocean and is structurally connected to the existing facade of the hotel building. The stage will be relocated to the beach side of the Tiki Bar. Improvements include a refresh and update to the spaces, materials and finishes, and overall quality.

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- New Resort Planting + Irrigation
- Dune Walkover Path
- New Lighting (Sea Turtle Protection + Code Compliant)
- (3) ADA Compliant Rooms (Interior Renovation Only)

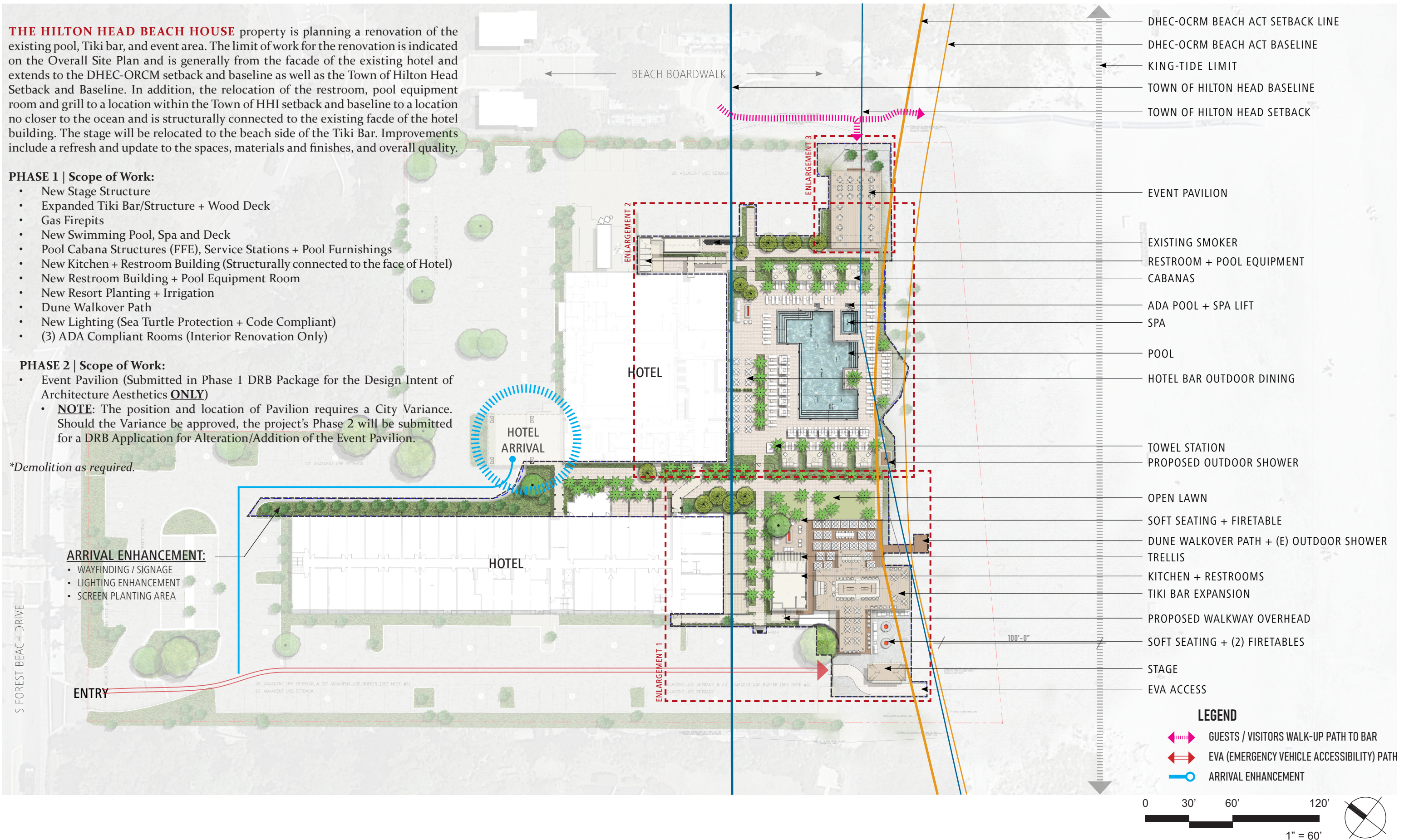
PHASE 2 | Scope of Work:

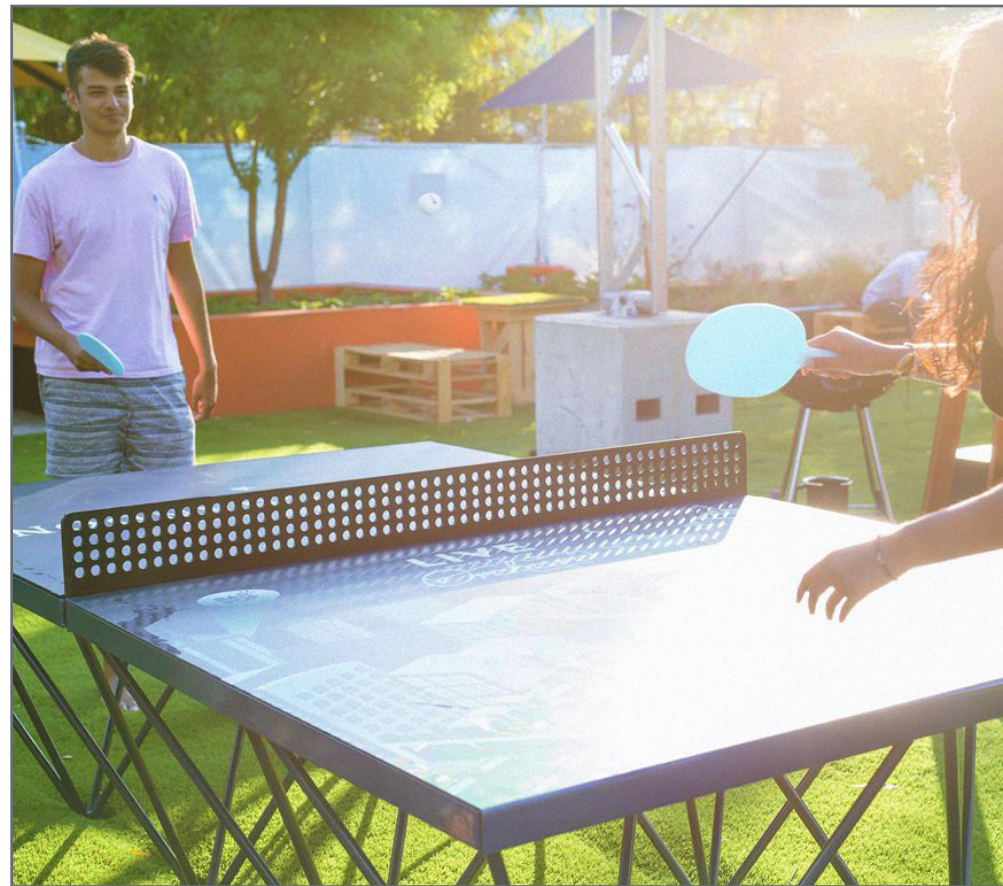
- Event Pavilion (Submitted in Phase 1 DRB Package for the Design Intent of Architecture Aesthetics **ONLY**)
- **NOTE:** The position and location of Pavilion requires a City Variance. Should the Variance be approved, the project's Phase 2 will be submitted for a DRB Application for Alteration/Addition of the Event Pavilion.

*Demolition as required.

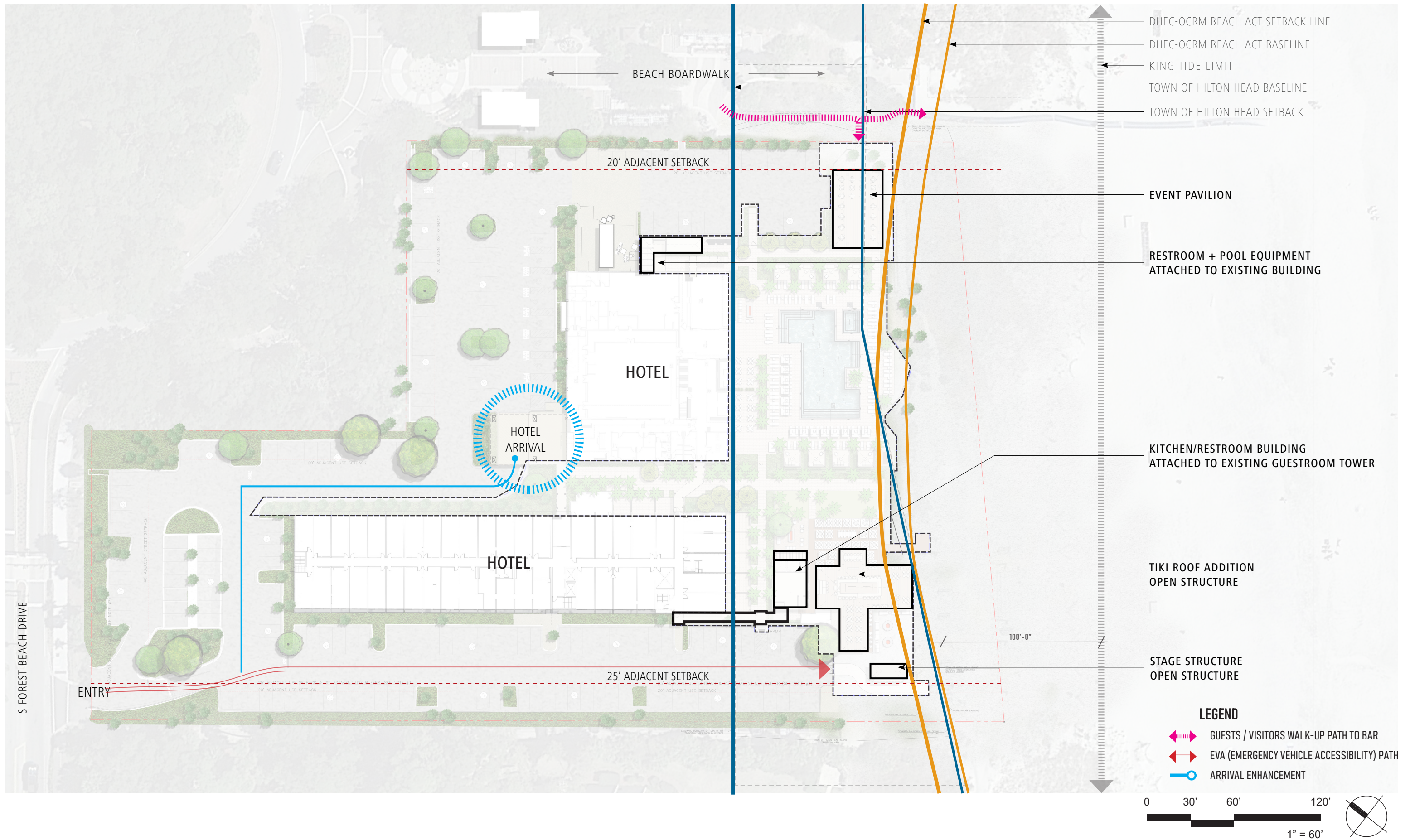
ARRIVAL ENHANCEMENT:

- WAYFINDING / SIGNAGE
- LIGHTING ENHANCEMENT
- SCREEN PLANTING AREA









FEMA (FIRM) FLOOD ZONE DESCRIPTIONS:

FLOOD ZONE AO (1)

- River or stream flood hazard areas, and areas with a 1% or greater chance of shallow flooding each year, usually in the form of sheet flow, with an average depth ranging from 1 to 3 feet. These areas have a 26% chance of flooding over the life of a 30-year mortgage.
- Have the lowest floor elevated to at least as high as the depth number specified on the Flood Insurance Rate Map, in feet, above the highest adjacent grade or eleven (11) feet above mean sea level, whichever is higher, or
- Be completely floodproofed together with attendant utility and sanitary facilities to or above the depth number so that any space below that level is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.

FLOOD ZONE VE (12)

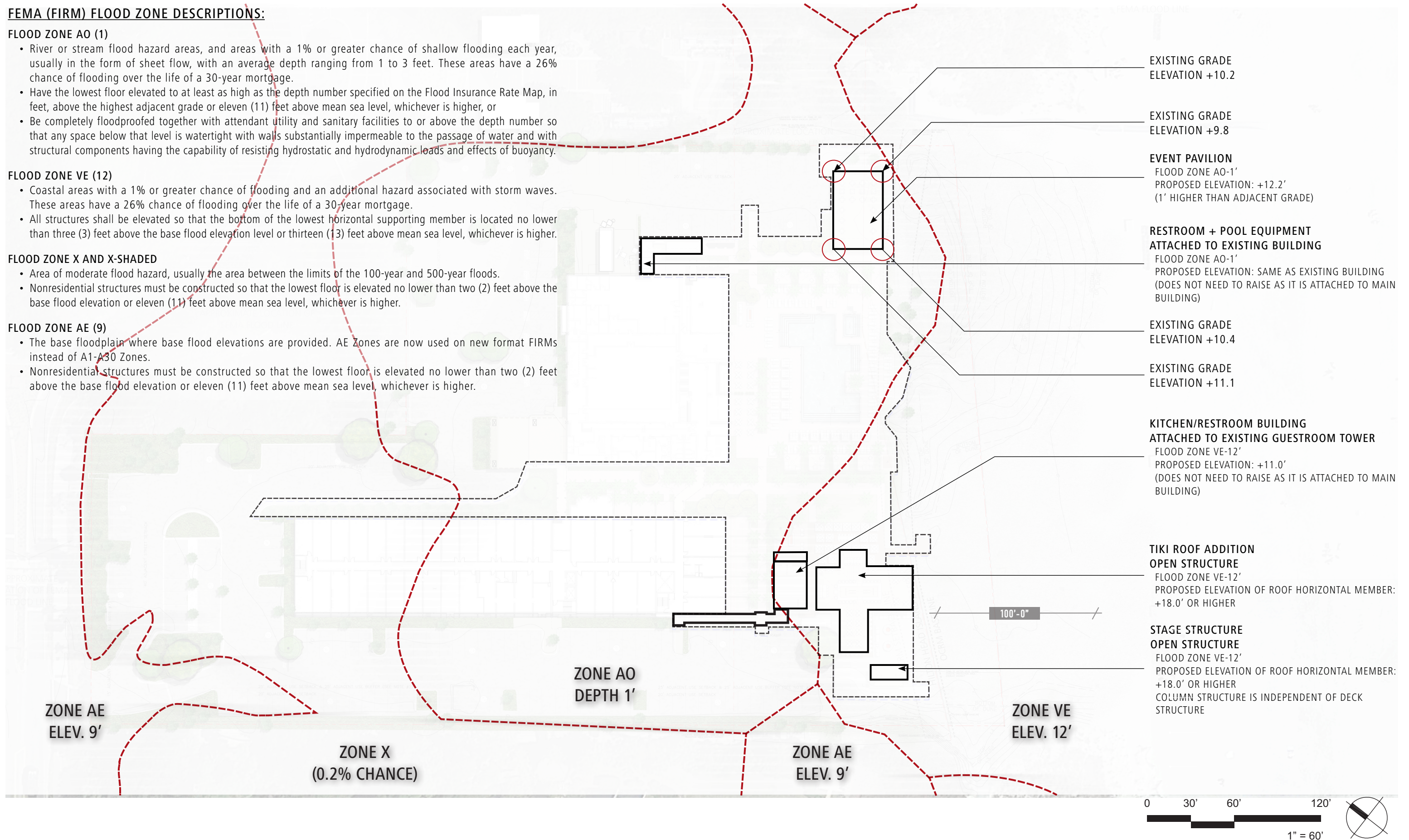
- Coastal areas with a 1% or greater chance of flooding and an additional hazard associated with storm waves. These areas have a 26% chance of flooding over the life of a 30-year mortgage.
- All structures shall be elevated so that the bottom of the lowest horizontal supporting member is located no lower than three (3) feet above the base flood elevation level or thirteen (13) feet above mean sea level, whichever is higher.

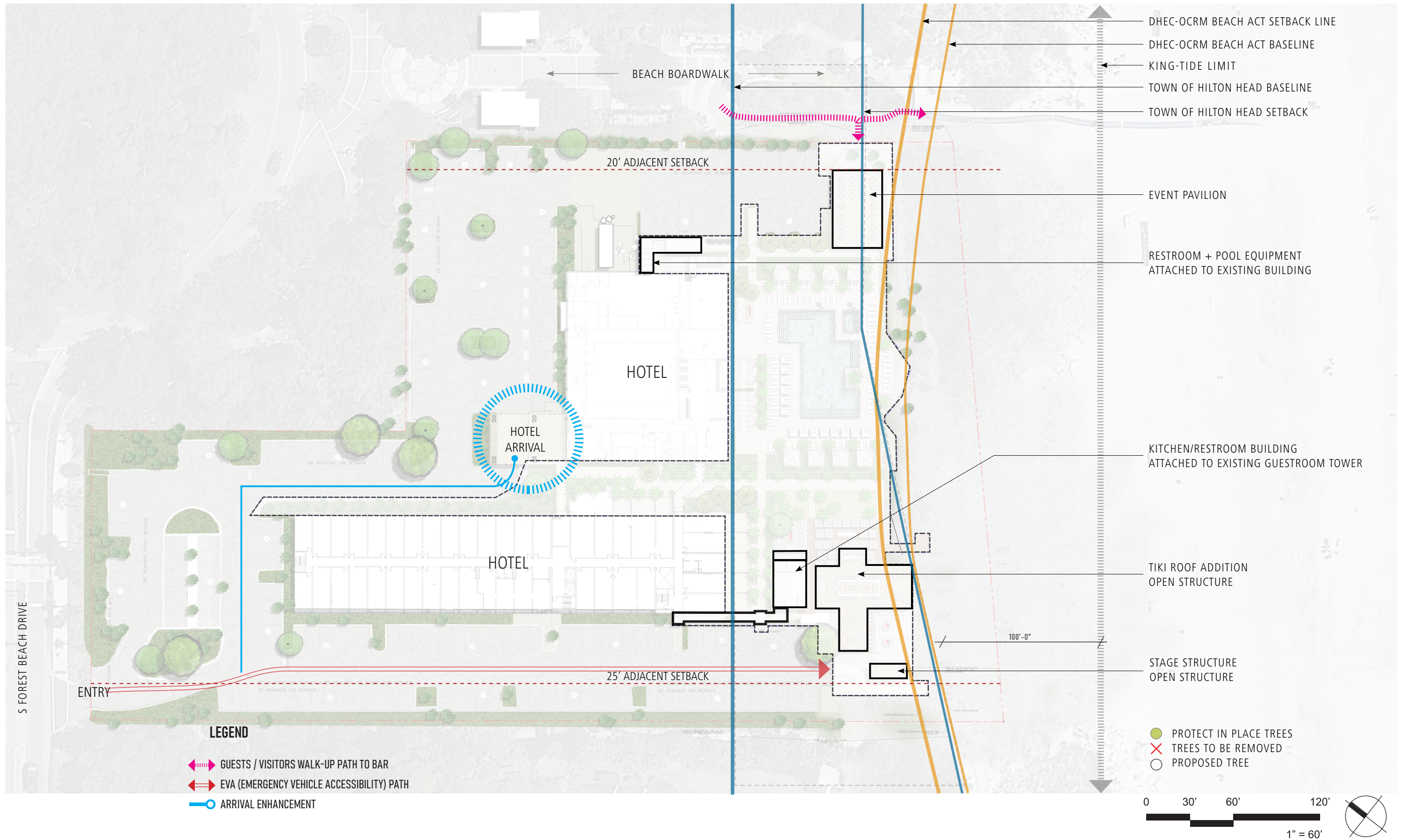
FLOOD ZONE X AND X-SHADED

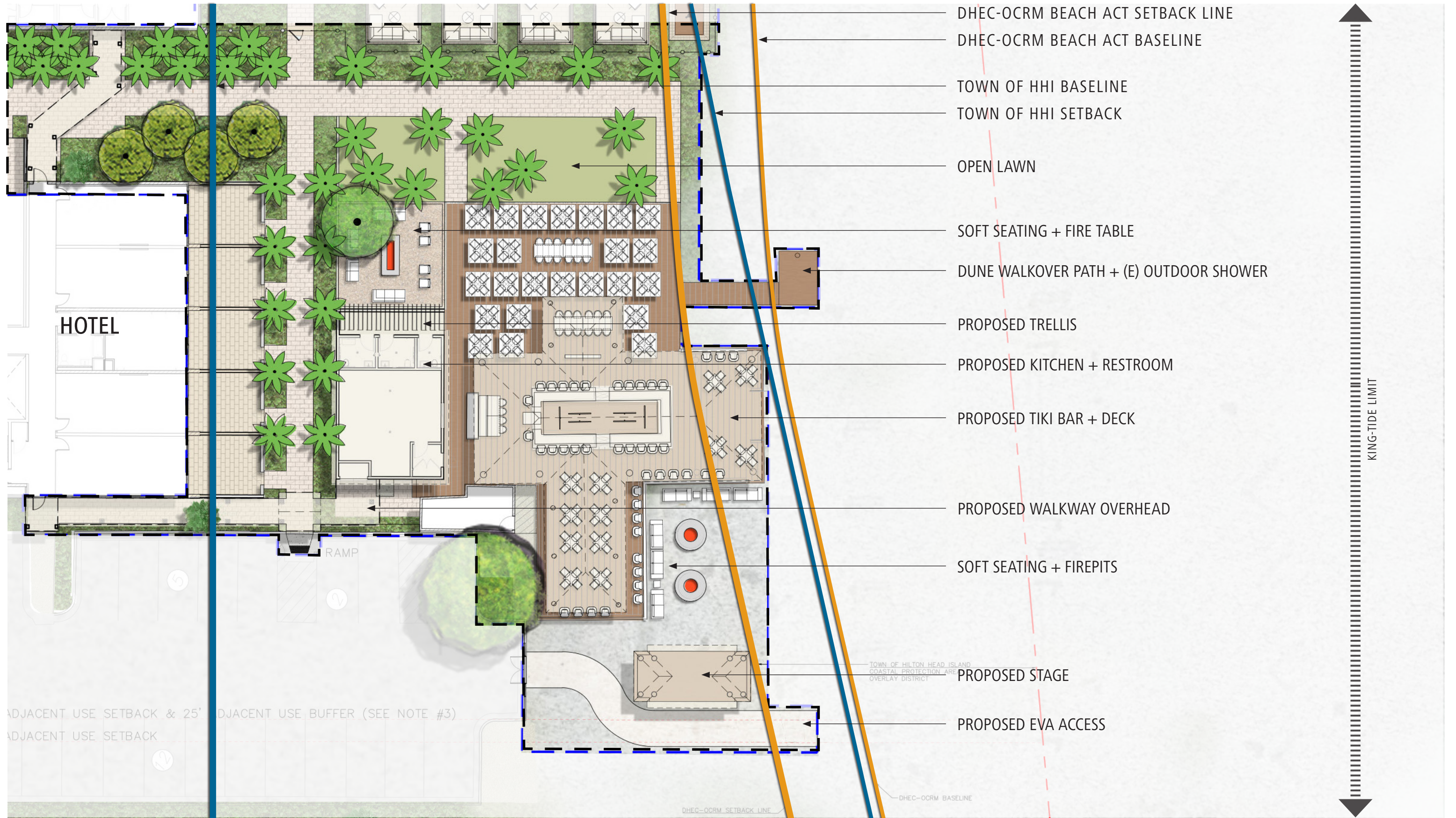
- Area of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods.
- Nonresidential structures must be constructed so that the lowest floor is elevated no lower than two (2) feet above the base flood elevation or eleven (11) feet above mean sea level, whichever is higher.

FLOOD ZONE AE (9)

- The base floodplain where base flood elevations are provided. AE Zones are now used on new format FIRMs instead of A1-A30 Zones.
- Nonresidential structures must be constructed so that the lowest floor is elevated no lower than two (2) feet above the base flood elevation or eleven (11) feet above mean sea level, whichever is higher.







DHEC-OCRM BEACH ACT SETBACK LINE

DHEC-OCRM BEACH ACT BASELINE

TOWN OF HHI BASELINE

TOWN OF HHI SETBACK

OPEN LAWN

SOFT SEATING + FIRE TABLE

DUNE WALKOVER PATH + (E) OUTDOOR SHOWER

PROPOSED TRELLIS

PROPOSED KITCHEN + RESTROOM

PROPOSED TIKI BAR + DECK

PROPOSED WALKWAY OVERHEAD

SOFT SEATING + FIREPITS

PROPOSED STAGE

PROPOSED EVA ACCESS

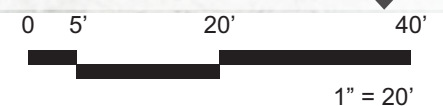
KING-TIDE LIMIT

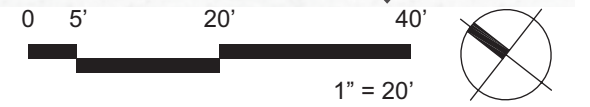
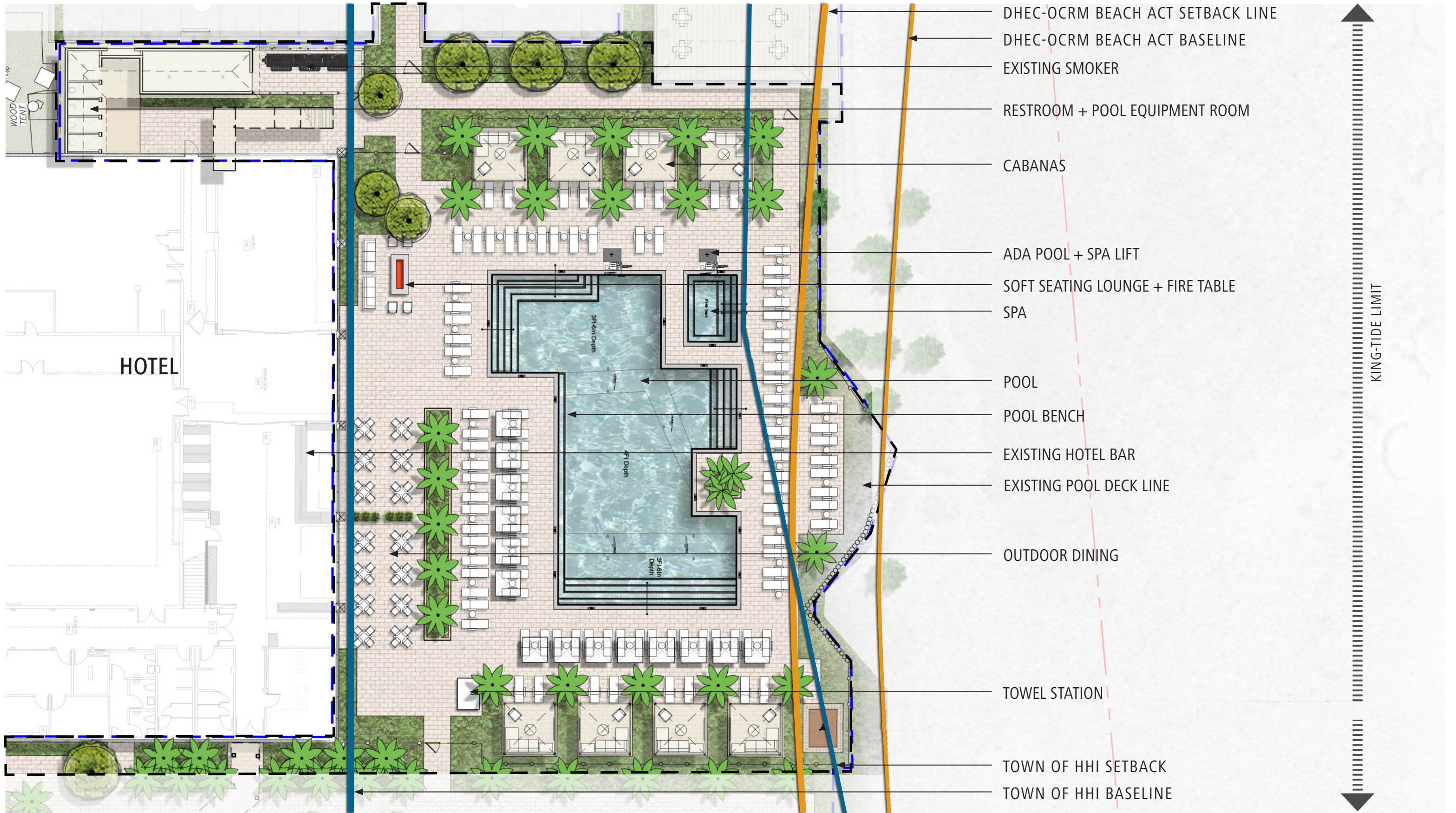
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ADJACENT USE SETBACK

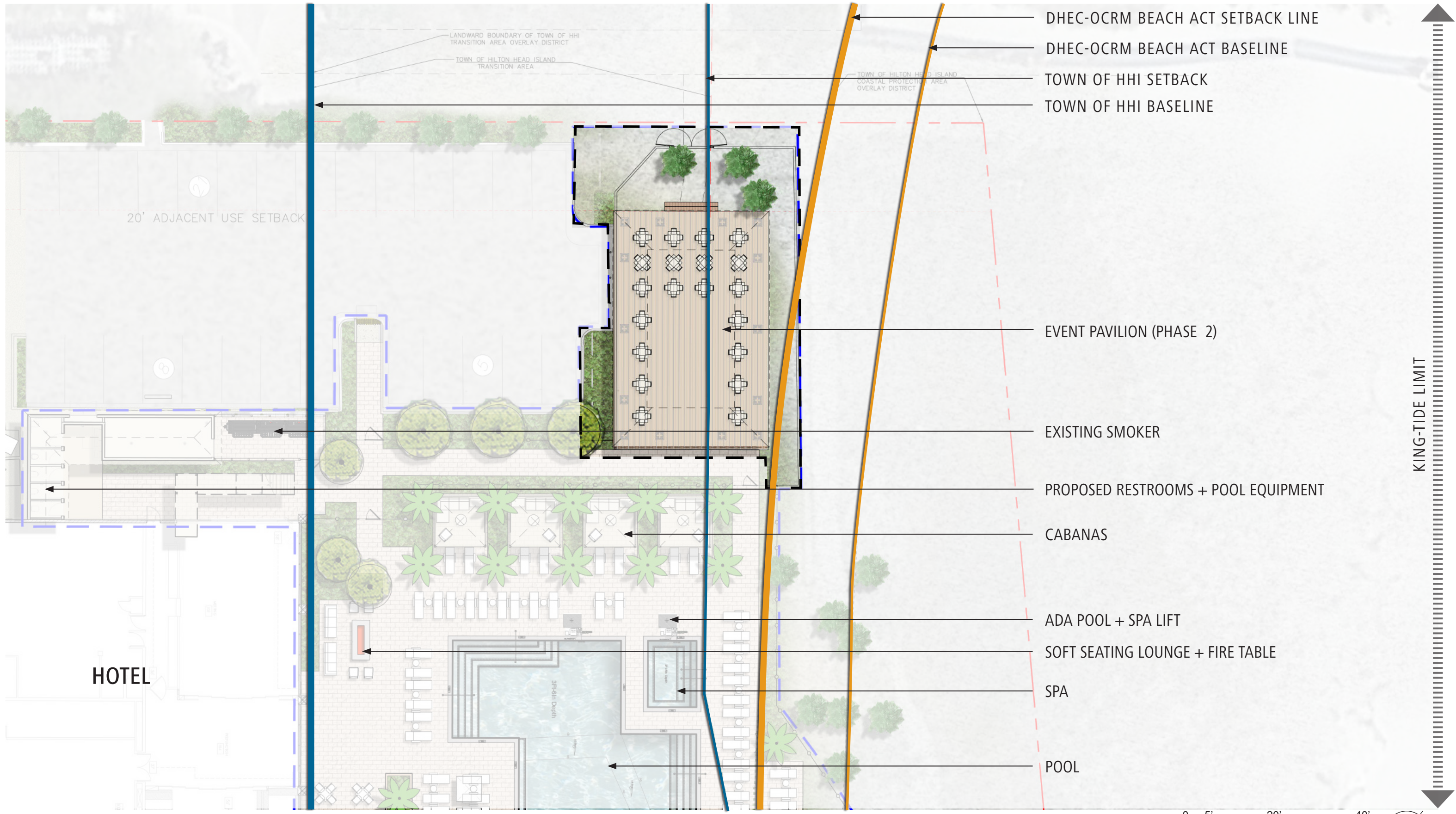
TOWN OF HILTON HEAD ISLAND
COASTAL PROTECTION AREA
OVERLAY DISTRICT

DHEC-OCRM SETBACK LINE

DHEC-OCRM BASELINE







DHEC-OCRM BEACH ACT SETBACK LINE
 DHEC-OCRM BEACH ACT BASELINE
 TOWN OF HHI SETBACK
 TOWN OF HHI BASELINE

EVENT PAVILION (PHASE 2)
 EXISTING SMOKER
 PROPOSED RESTROOMS + POOL EQUIPMENT
 CABANAS
 ADA POOL + SPA LIFT
 SOFT SEATING LOUNGE + FIRE TABLE
 SPA
 POOL

KING-TIDE LIMIT









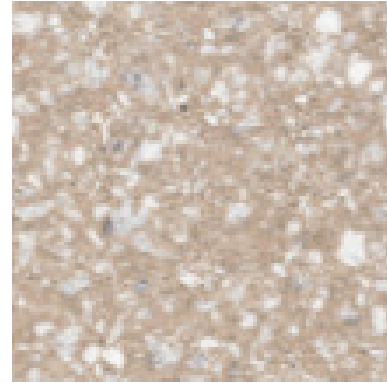








TUNCATED DOME -CHARCOAL
HANOVER ARCHITECTURAL
PRODUCT



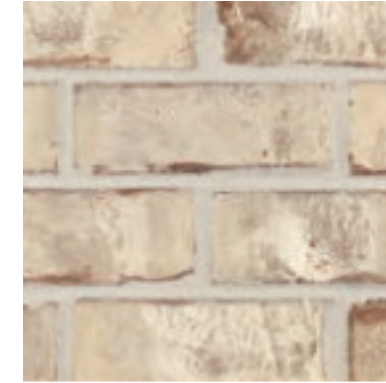
PERMEABLE PAVER -CREAM
HANOVER ARCHITECTURAL
PRODUCT



STABILIZED OYSTERSHELL
SHELLSCAPES



PERMEABLE BRICK PAVER - ROSE
PINE HALL BRICKS



THINK BRICK VENEER - SANDAL
WOOD
PINE HALL BRICKS



WOOD DECK
MATCH ARCHITECTURAL DETAIL

BEACH HOUSE - HILTON HEAD ISLAND

THANK YOU!

APPENDIX

Beach House

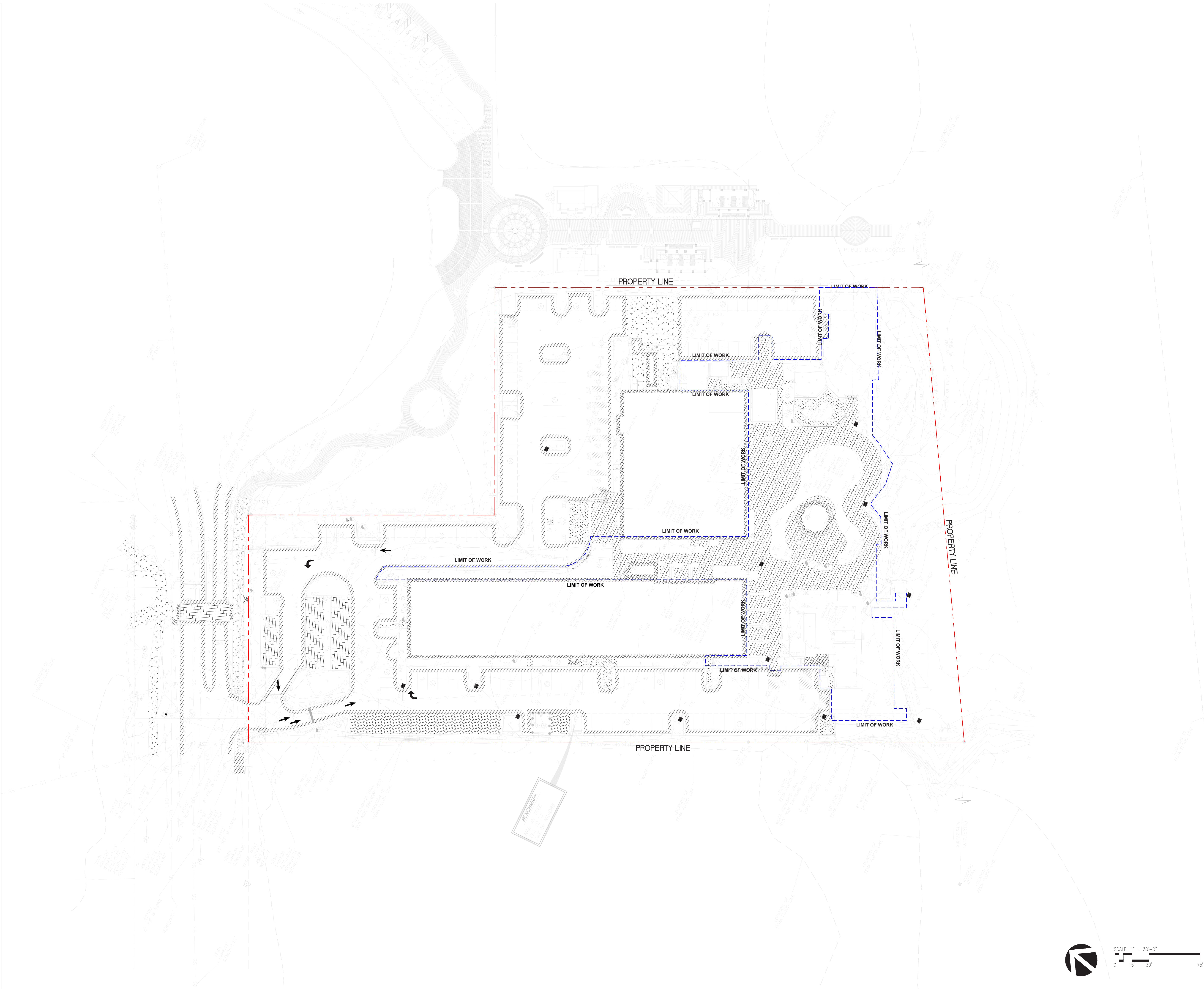
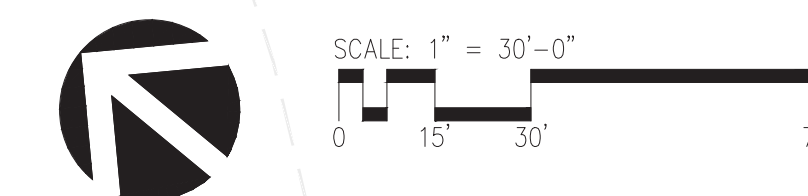
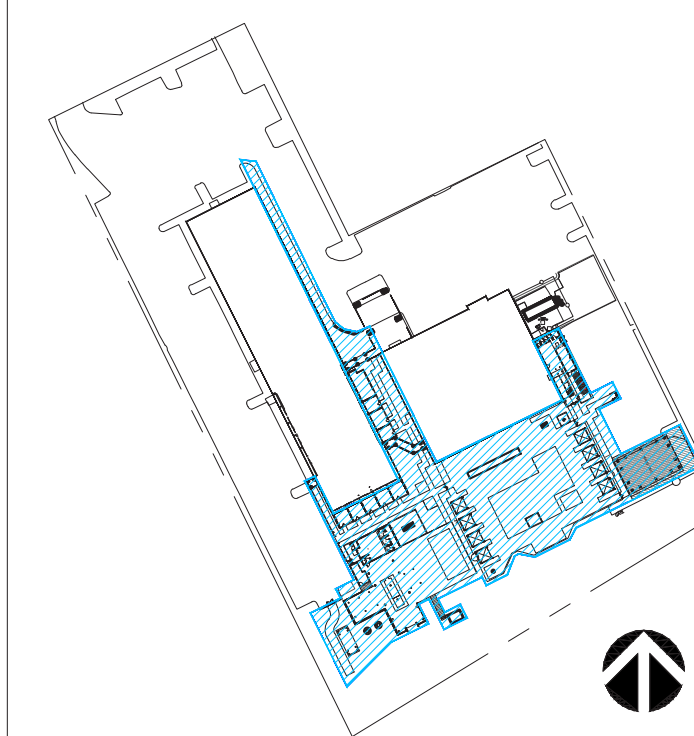
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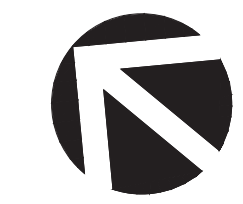
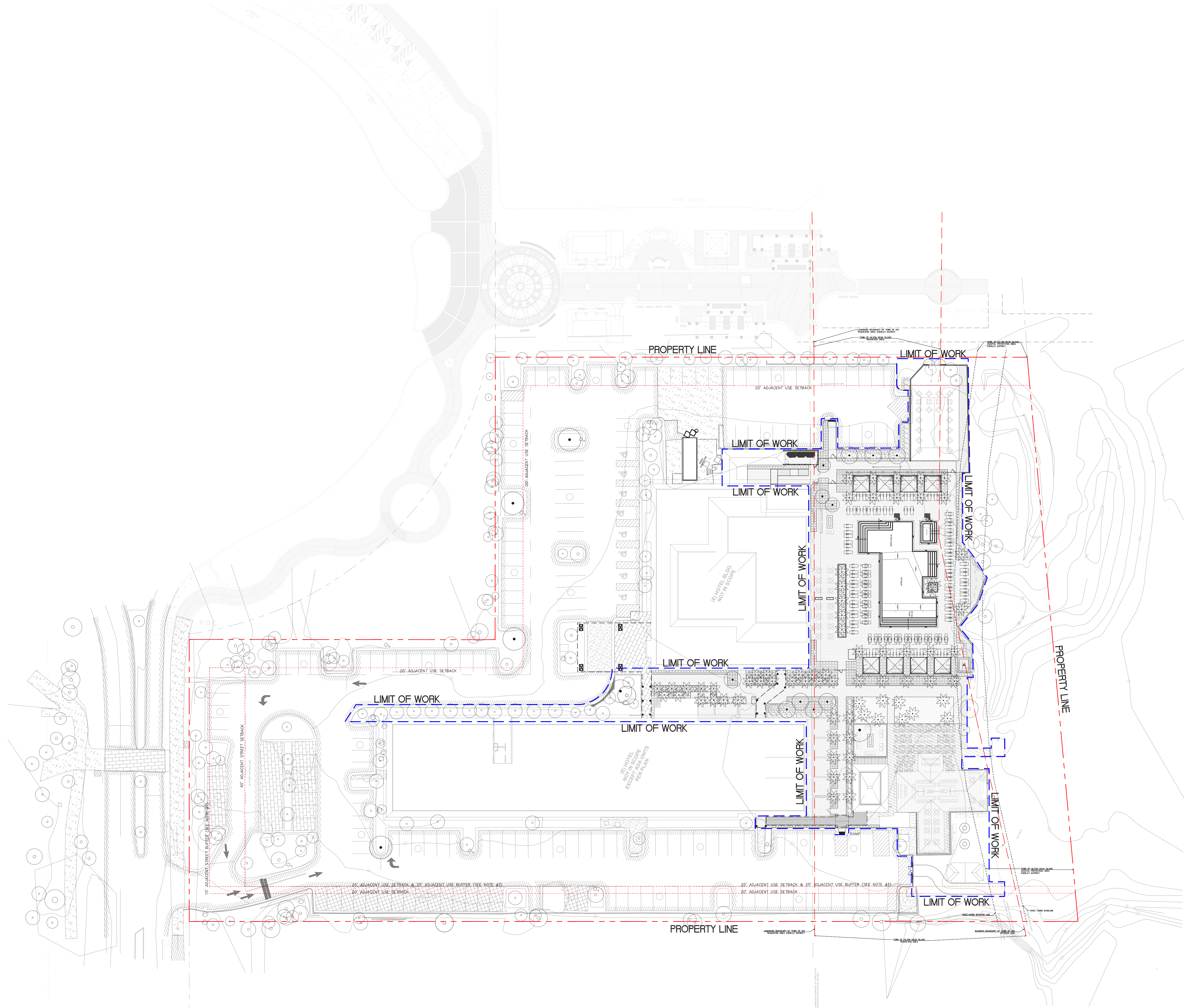
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928

DRB FINAL SUBMITTAL | PROPOSED DEVELOPMENT | 11 JULY 2023



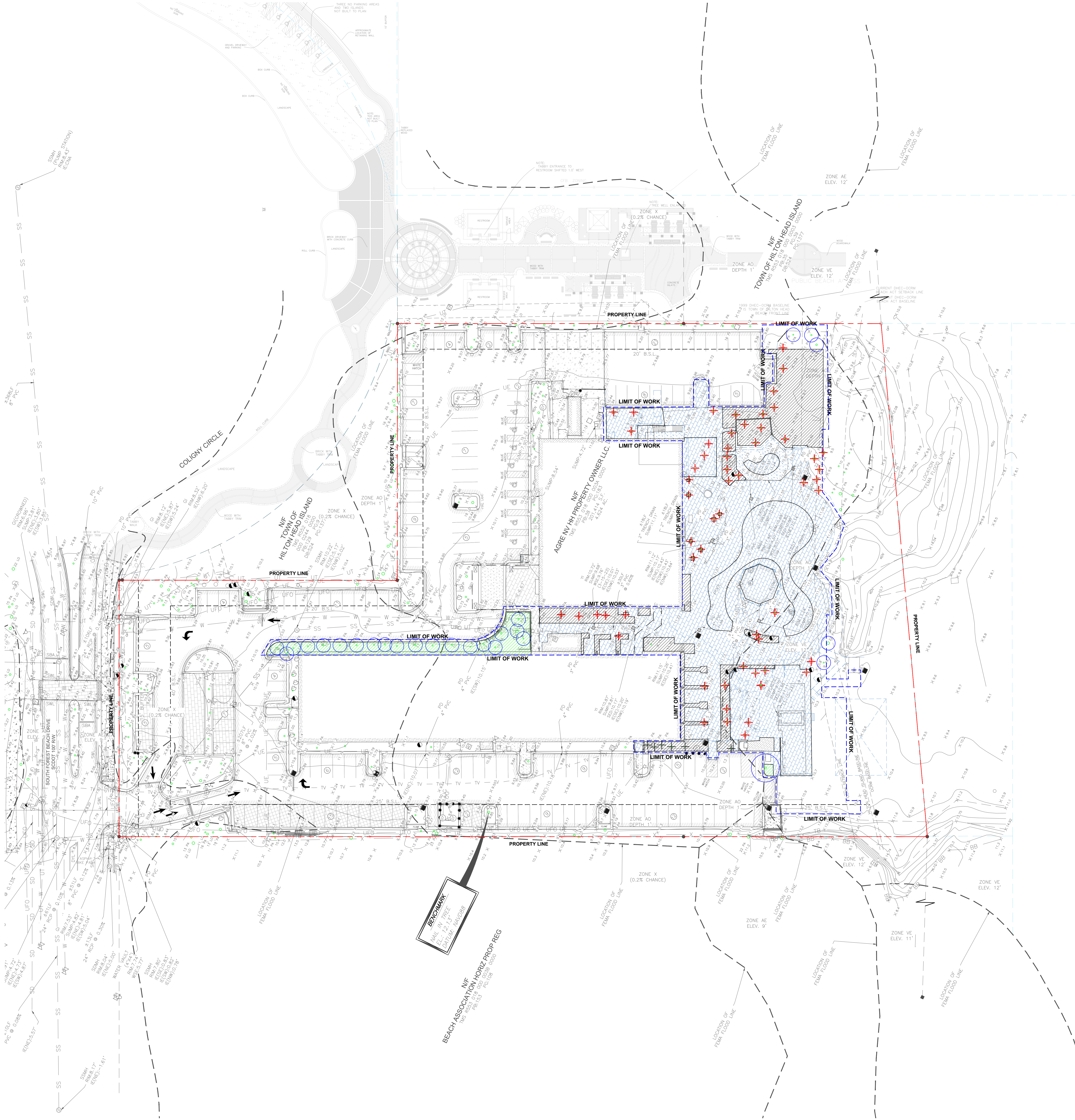
DRB (FINAL CONCEPT) - PROPOSED DEVELOPMENT | 11 JULY 2023 | NOT FOR CONSTRUCTION



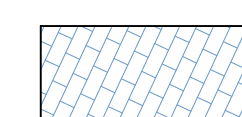
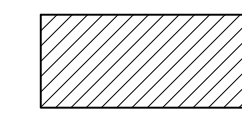
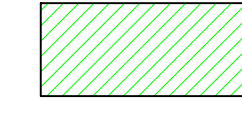





SCALE: 1" = 30'-0"
 0 15' 30' 75'

DRB (FINAL CONCEPT) - PROPOSED DEVELOPMENT | 11 JULY 2023 | NOT FOR CONSTRUCTION

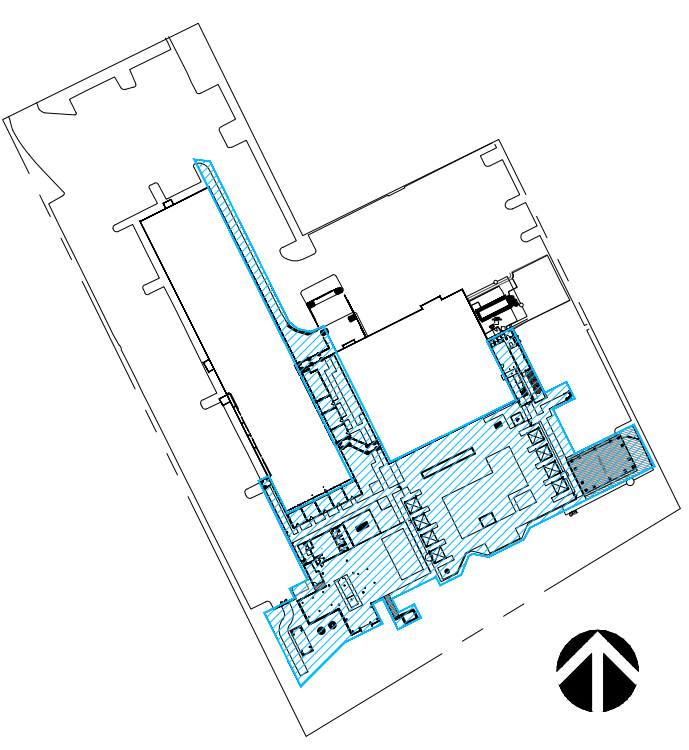


LEGEND

-  APPROXIMATE LIMITS HARDSCAPE, STRUCTURES, CURBS, ETC.
-  EXISTING LANDSCAPE TO BE REMOVED
-  EXISTING LANDSCAPE TO BE PRESERVED
-  TREES TO BE REMOVED
-  TREES TO BE RELOCATED
-  TREES TO BE PRESERVED

NOTES

1. REFER TO TREE PROTECTION PLAN FOR TREES TO BE REMOVED / RELOCATED AND LANDSCAPE MITIGATION REQUIREMENTS.
2. CONTRACTOR SHALL PRESERVE EXISTING INFRASTRUCTURE THAT SERVICES FEATURES TO REMAIN (BUILDING UTILITIES, ELECTRICAL, STORM DRAIN FEATURES, ETC.)
3. DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL MAINTAIN RECORDS OF EXISTING SITE ELECTRICAL, PLUMBING, STORM DRAINAGE ROUTINGS, ETC. AND ANY CONNECTION POINTS WITHIN THE LIMIT OF WORK. COORDINATE WITH OWNER FOR SERVICE CONNECTIONS TO BE MAINTAINED DURING CONSTRUCTION.
4. ANY EXISTING STORM DRAINAGE, WATER LINES, IRRIGATION MAIN LINES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED / REPLACED BY CONTRACTOR.
5. DOUBLE SILT FENCING TO BE INSTALLED ALONG THE LIMIT OF WORK AROUND THE DUNE AREAS TO MAINTAIN DUNES AND BUFFERS DURING DEMOLITION AND CONSTRUCTION.



no.	date	issue
03	07.07.23	DPR SUBMITTAL 03
02	05.22.23	DPR SUBMITTAL 02
01	03.16.23	DPR SUBMITTAL 01

issues | revisions

DPR SUBMITTAL #03 | 07/07/23 | NOT FOR CONSTRUCTION

Beach House
HILTON HEAD ISLAND
project logo

PRELIMINARY
DEMOLITION PLAN
sheet title

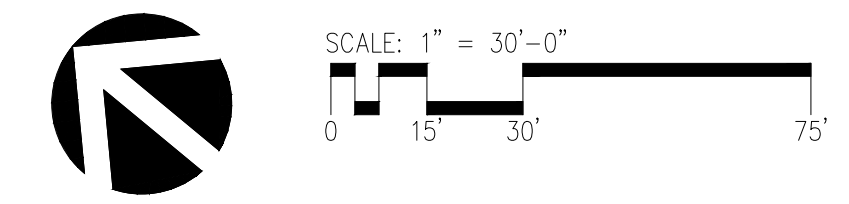
project no. 212041 date 07/07/23

checked by: LKW / JHC
drawn by: FCVA

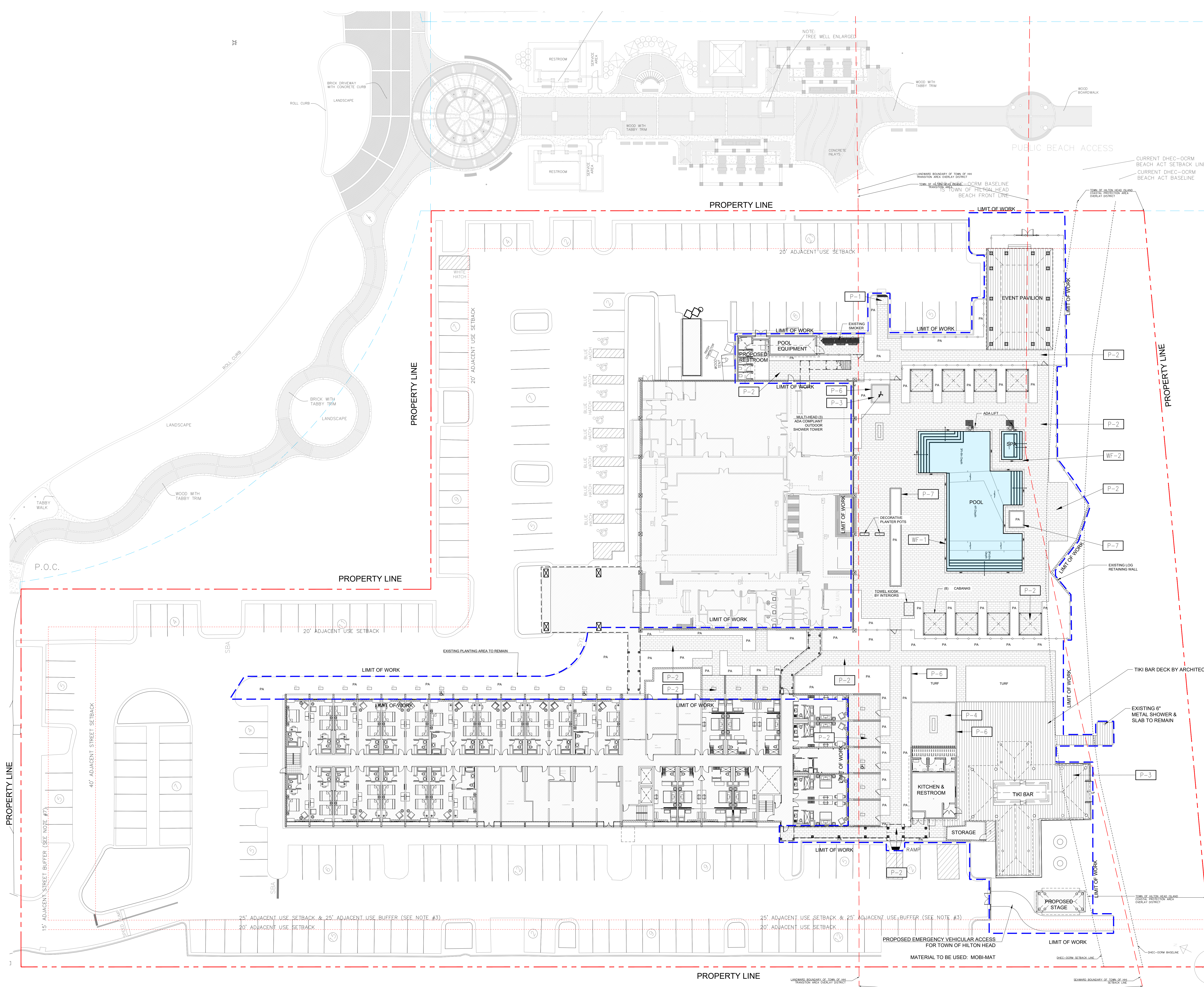
component

sheet no.

L1-101



The original site of this drawing is 30"x42" Copyright © 2016 WATG. All rights reserved.



PAVING

KEY	DESCRIPTION
P-1	PIP CONCRETE PEDESTRIAN PAVEMENT
P-2	PERMEABLE CONCRETE PAVER
P-3	5/4 X 6 WOOD DECK
P-4	STABILIZED OYSTER SHELL
P-5	4X8 BRICK PAVER
P-6	CONCRETE HEADER
P-7	STONE CLAD CURB

POOL

KEY	DESCRIPTION
WF-1	MAIN POOL
	PRE-CAST CONCRETE COPING
WF-2	SPA POOL
	PRE-CAST CONCRETE COPING

1 OVERALL HARDSCAPE PLAN

1" = 20'-0"

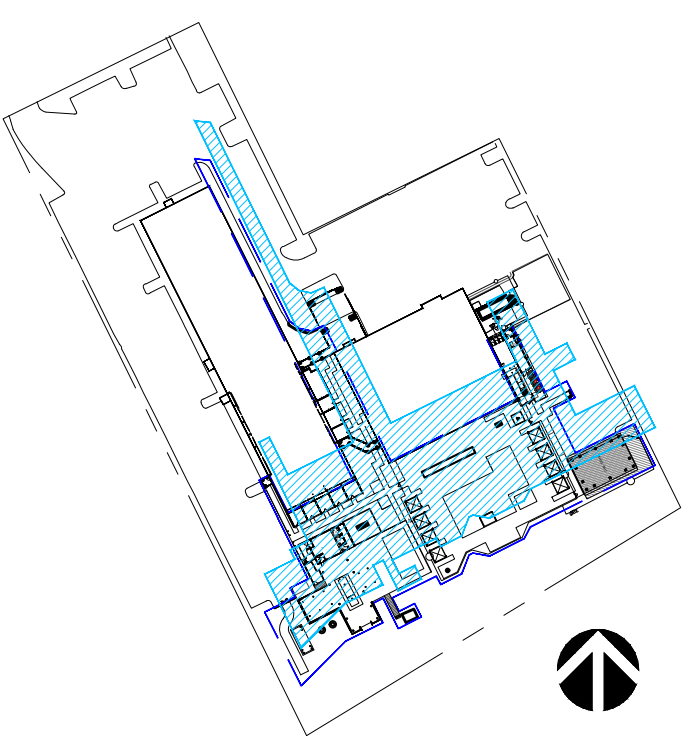
WATG

strategy planning architecture landscape interiors
watg.com

EOS INVESTORS
REDHOSPITALITY
CONSULTING
client

consultant

stamp | approval



key plan

DPR SUBMITTAL #03 | 07/07/23 | NOT FOR CONSTRUCTION

no.	date	issue
03	07.07.23	DPR SUBMITTAL 03
02	05.22.23	DPR SUBMITTAL 02
01	03.16.23	DPR SUBMITTAL 01

issues | revisions

Beach House
HILTON HEAD ISLAND
project logo

OVERALL
HARDSCAPE PLAN

sheet title

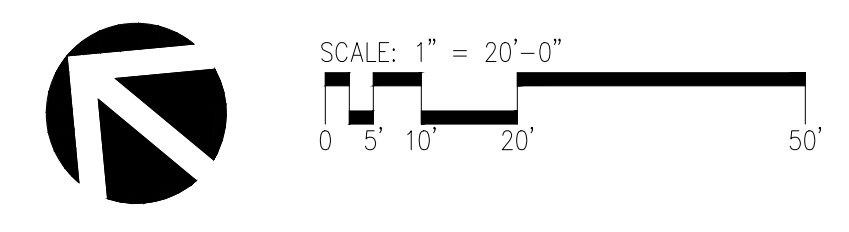
project no. 212041 date 07/07/23

checked by: LKW / JHC
drawn by: FCVA

component

L3-101

sheet no.



GENERAL PLANTING NOTES

- Refer to Planting Details and Specifications for additional planting information.
- Consult with site superintendent, appropriate agencies, and Drawings to verify existing locations of underground utilities, pipes and structures. Take sole responsibility for costs incurred due to damage of these utilities, pipes, or structures if proper verification by Contractor was not performed.
- Do not willfully proceed with planting operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during the design process. Bring these conditions immediately to the attention of the Owner's Authorized Representative for resolution. Assume full responsibility for costs incurred due to lack of providing such notification.
- Coordinate with other contractors whose work is related to proper execution of Contractor's work.
- Prior to beginning planting operations obtain approval of final grade certification from Owner that certifies that rough grades are within 1/10th of an inch from specified grades. Ensure that finish grade elevations of planting areas are set to the proper elevations relative to the finish surfaces of paving, utility covers, and curbs.
- Existing site soil may be used in planting areas, however, it may need to be amended as indicated in the Horticultural Soils Report. Should import soil be necessary to bring site to specified finish grades, indicate source location. Ensure that import soil is of a sandy loam nature, containing no toxic chemicals or elements that might inhibit or retard normal plant growth. Submit soil test results of import soil to Owner's Authorized Representative for approval prior to delivering import soil to site.
- Submit representative photos of each tree species to Owner's Authorized Representative for approval. Trees of a single species and variety are to have matching form.
- Plant material must be approved by Owner's Authorized Representative prior to installation. Plant material installed without approval of Owner's Authorized Representative may be subject to removal and replacement with related costs borne by Contractor.
- Final locations of plant materials are subject to approval of the Owner's Authorized Representative prior to installation. Perform the following before beginning planting pit excavation:
 - Shrubs – place in containers on-site in "final" locations.
 - Trees – stake or flag centerpoint of tree.
 - Container Pots – locate pots prior to planting.
- Notify Owner's Authorized Representative in sufficient time to perform a required site observation visit. Refer to Specifications for specific site visit notification tasks and times. Insufficient notification time given Owner's Authorized Representative may require the site visit to be canceled, or possibly, make Contractor responsible to compensate Owner's Authorized Representative for overtime.
- Furnish plant material free of pests, poor condition, or disease, including pre-selected or "tagged" plant material that has been selected by Owner's Authorized Representative.
- After fine grading operations have been completed and prior to beginning soil preparation, take a minimum of (3) horticultural soil samples where soil conditions or plant types vary, i.e. turf, shrub, slopes, etc. Soil samples are to be collected and tested by a qualified soil testing laboratory (as defined by the regulations and standards of the State of South Carolina or professional arborist association) and a written report prepared which includes recommendations for soil amendments, fertilization, planting backfill mixes and maintenance. Submit a copy of the report to the Owner's Authorized Representative. Planting specifications may be revised to conform to recommendations noted in Soil Report, however, only upon receipt of written change order from Owner.
- If conflicts arise between actual size of planting areas on-site and those areas indicated on Drawings, contact Owner's Authorized Representative for resolution. Failure to make such conflicts known to Owner's Authorized Representative in a timely fashion may result in Contractor's own liability to relocate plant materials.
- Ensure that turf areas are separated from ground covers and shrub areas with specified edging – refer to Drawings.
- Triangular space ground covers and shrubs, unless indicated otherwise on Drawings – refer to Planting Details.
- Provide a representative example of a typical tree staking and guying (if any) installation for review by Owner's Authorized Representative before performing tree staking and guying (if any) operations – refer to Planting Details.
- Excavate plant pits to specified dimensions per Planting Details and soils report.
- Do not plant trees closer than 4 feet to fixed edge such as sidewalks and walls unless otherwise indicated on Drawings.
- Ensure that tops of tree root balls are set 2" above finish grade and shrub root balls are set 1" above finish grade.
- Install plant material with its best side facing predominate public view.
- Provide the required setbacks between trees and elements such as utilities, i.e. gas, electric, sewer, water and related vaults, streetlights, fire hydrants and signage.
- Replace or repair existing materials that are damaged by Contractor during planting operations.
- Verify property lines prior to commencing planting operations.
- Refer to City and County standards for standard landscape plans and specifications, where applicable.

PALM SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QTY.	STAKE/GUY	REMARKS
SAB PAL	Sabal palmetto	Cabbage Palm	14' & 16" Tall		Per Plan	69	N/A	Including one multi-trunk palm for the planter by the pool as indicated in the plan.

TREE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QTY.	STAKE/GUY	REMARKS
GOR LAS	Gordonia lasiatus	Loblolly Bay	10' Tall	STD	Per Plan	8	N/A	
MYR CER	Myrica cerifera	Southern Wax Myrtle	8' Tall	STD	Per Plan	2	N/A	
QUE VIR	Quercus virginiana	Southern Live Oak	12' & 16" Tall	STD	Per Plan	6	N/A	


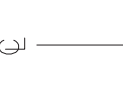


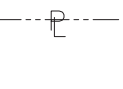

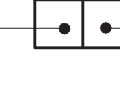





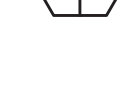

TREE ROOT BARRIER SCHEDULE

- Provide root control barriers for trees planted within 5-feet of a hardscape edge such as paving, walls, curbs, steps, etc.
- Type: UB18-2.
- Mfg: Deep Root (800) 458-7668
- Length: 10' long.
- Comments:
 - Set top of barrier a minimum of 1/2" above finish grade and below surface of wood mulch or turf.
 - Refer to the Landscape Planting Specifications for additional root barrier information.
 - Alternatives may be submitted for review.

WOOD MULCH SCHEDULE

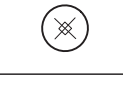
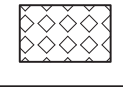
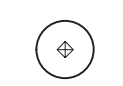
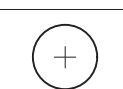

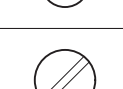
- Mulch these planter areas with a 3-inch deep layer of wood mulch:
 - Shrub areas.
 - Ground cover areas.
- Mulch Type: Wood Chips (2" minus).
- Comments: Provide Owner's Authorized Representative with (1) baggie of mulch for review and approval prior to placement of mulch.
- Refer to the Landscape Planting Specifications for additional mulch information.

SYMBOL LEGEND

 Quantity of Plants in Planting Area	 Center Line	 Indicates Vine
 Indicates Tree Quantity	 Property Line	 Indicates Espalier
 Indicates Tree Size	 Limit of Work Line	 Indicates Tree Box Size
 Indicates Vine Quantity	 Matchline	 Indicates Palm Brown Trunk Height
 Indicates Vine Size	 Align	

Note: Plant quantities shown on plans are for contractors convenience and reference only. Contractor is responsible to provide all plant material required to conform to specified plant spacing.

SHRUB & GROUND COVER

	BOTANICAL NAME	COMMON NAME	SIZE	FORM	INSTALL HEIGHT	MATURE HEIGHT	SPACING	AREA/QTY	WATER USE	REMARKS
	Calamagrostis X acutiflora 'Karl Foerster'	Karl Foerster Grass	1 gal.	Ground Cover	Ht: 18" Wd: 12"	Ht: 3-5' Wd: 2-3'	O.C. 18"		Low	Triangular Spacing
	Dietes bicolor	African Iris	15 gal.	Shrub	Ht: 4' Wd: 2'	Ht: 2' Wd: 2'	Per Plan			Triangular Spacing
	Muhlenbergia capillaris	Muhly Grass	5 gal.	Shrub	Ht: 2' Wd: 1'	Ht: 2-3' Wd: 2-3'	24" O.C.		Moderate/Medium	Per Plan
	Rhaphiolepis indica 'clara'	White India Hawthorn	5 gal.	Shrub	Ht: 2' Wd: 1'	Ht: 3-4' Wd: 5'	24" O.C.		Moderate/Medium	Per Plan
	Ruellia brittoniana	Mexican Petunia	1 gal.	Ground Cover	Ht: 18" Wd: 12"	Ht: 1-3' Wd: 2'	O.C. 18"		Low	Per Plan
	Viburnum suspensum	Sandankwa Viburnum	15 gal.	Shrub	Ht: 4' Wd: 2'	Ht: 4' Wd: 5'	Per Plan		Moderate/Medium	Per Plan

GRASSES SCHEDULE

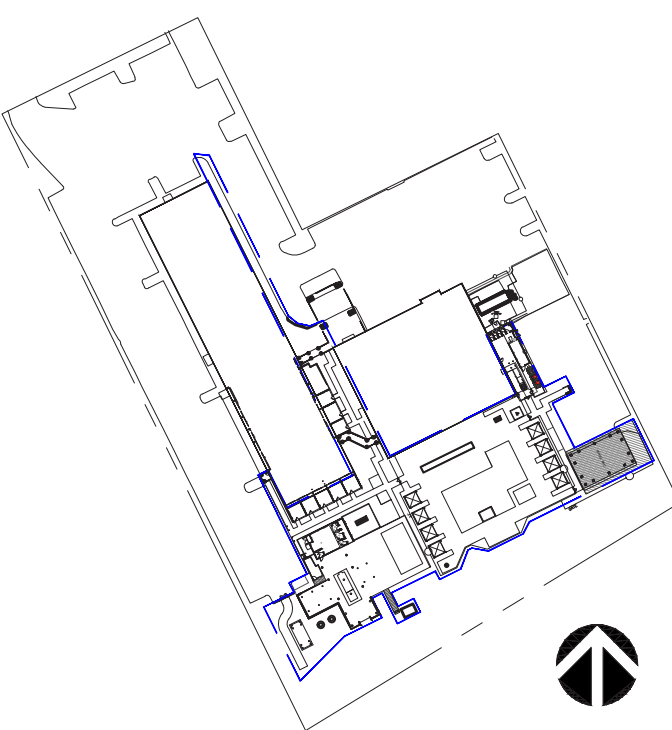
	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SPACING	DETAIL NO.	QTY.	WATER USE	REMARKS
	Juncus effusus	Soft Rush	15 gal.	Grass	Ht: 4' Wd: 2'	Ht: 4' Wd: 5'	-		Triangular Spacing
	Sporobolus bakeri	Sand Cordgrass	15 gal.	Grass	Ht: 4' Wd: 2'	Ht: 4' Wd: 5'	-		
	Yucca filamentosa	Adam's needle	15 gal.	Grass			-		
	Panicum amarum	Seaside Panicum	15 gal.	Grass			-		Triangular Spacing
	Paspalum vaginatum	Seashore Paspalum	15 gal.	Grass			-		
	Uniola paniculata	Sea Oats	15 gal.	Grass			-		

TURF SCHEDULE

	419 Bermuda	Bermuda Turf Grass		Sod	Ht: 12" Wd: 10"	Ht: 2' Wd: 1'	-		Per Plan
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NOTE:

- PLANTING SQUARE FEET AREA INFORMATION TO BE VERIFIED BY CONTRACTOR.
- REPORT OF EXISTING PALMS HEIGHTS TO BE SUBMITTED TO LANDSCAPE ARCHITECT PRIOR TRANSPLANTS.
- LOCATION OF BUILDING WALLS, WINDOWS AND DOORS NEED TO BE SITE VERIFIED BY LANDSCAPE CONTRACTOR AND SUBMITTED TO LANDSCAPE ARCHITECT PRIOR PLANTING.



03	07/07/23	DRP SUBMITTAL 03
02	05/22/23	DRP SUBMITTAL 02
01	03/16/23	DRP SUBMITTAL 01
no.	date	issue
issues revisions		

DPR SUBMITTAL #03 | 07/07/23 | NOT FOR CONSTRUCTION

Beach House
HILTON HEAD ISLAND

project logo

TREE REMOVAL & PROTECTION PLAN

sheet title

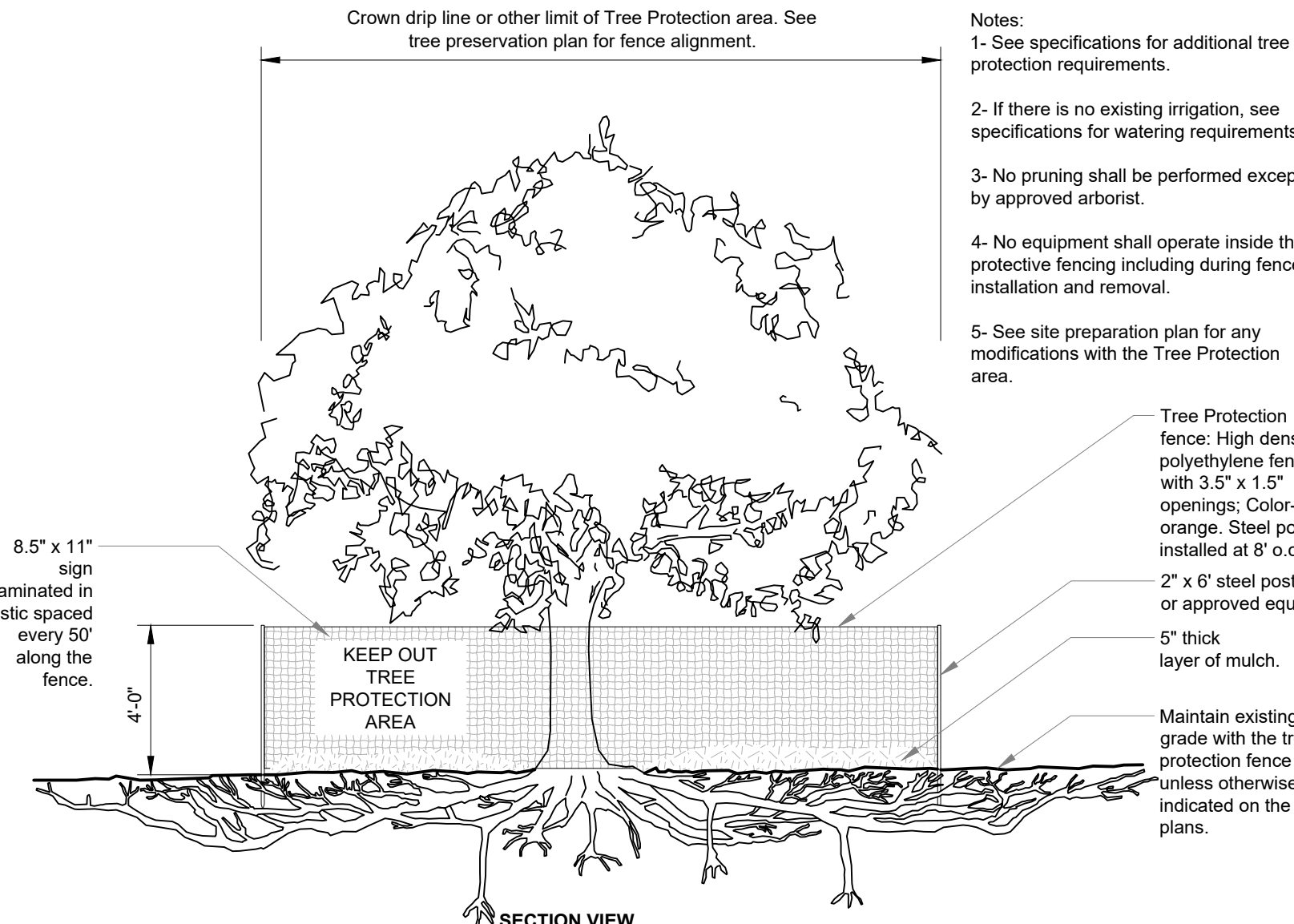
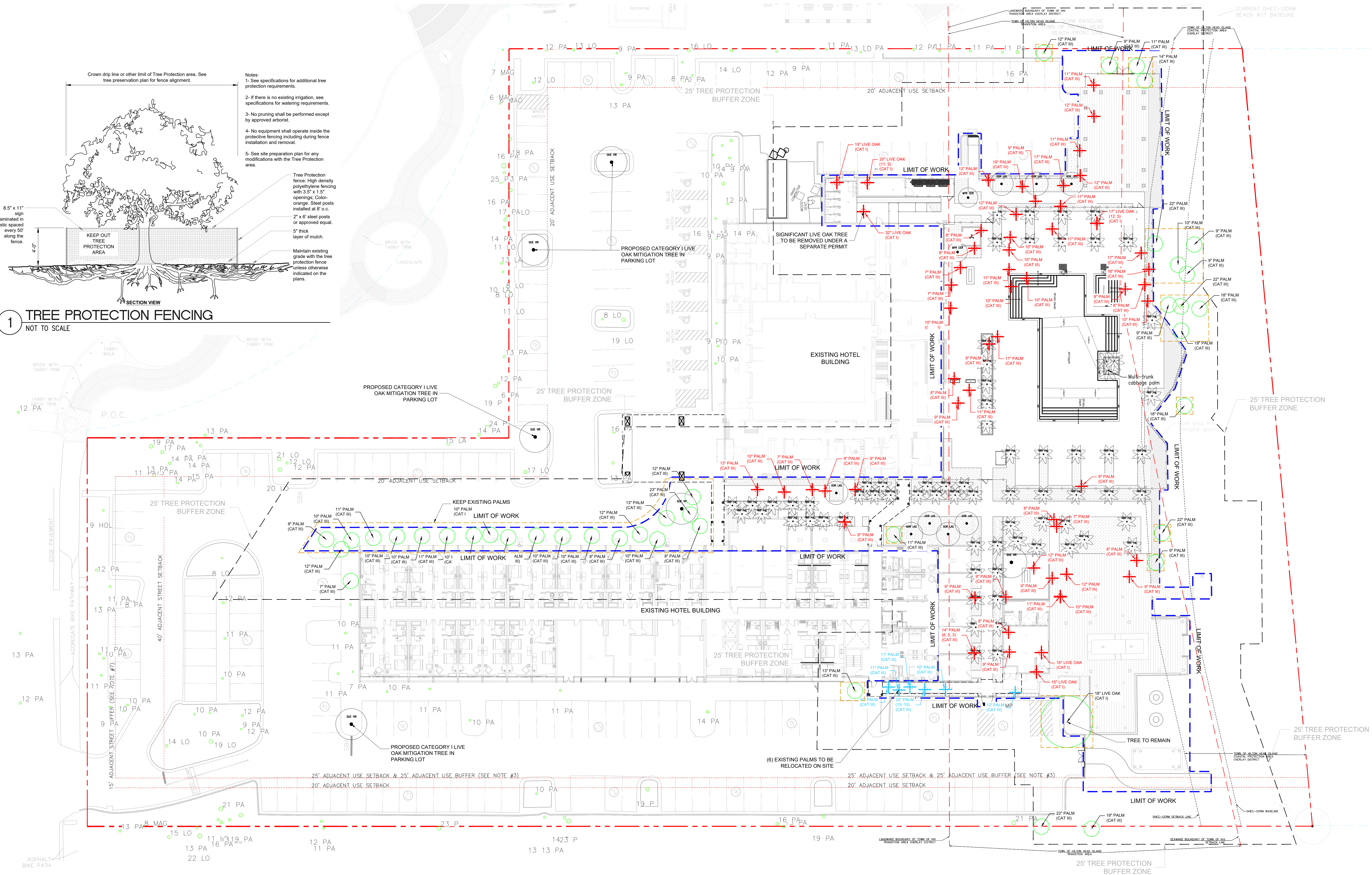
project no. 212041 date 07/07/23

checked by: LKW / JHC

drawn by: FCVA

component

sheet no. L5-002



1 TREE PROTECTION FENCING
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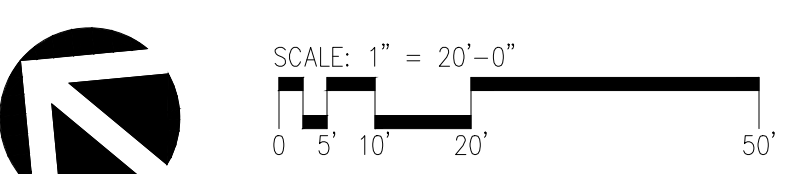
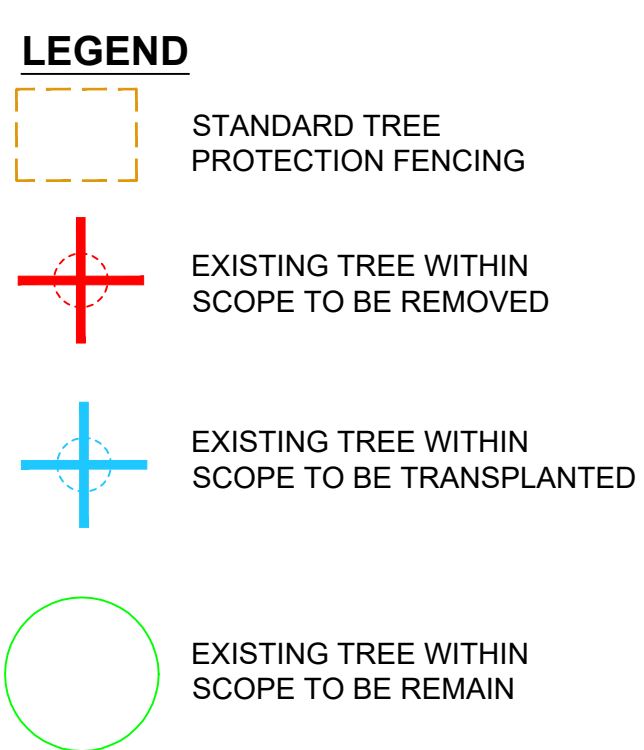
TREE REMOVAL SUMMARY				
CATEGORY	TREE SPECIES	QUANTITY	TOTAL DBH (IN)	# OF REPLACEMENT TREE REQUIRED
I	LIVE OAK	6	119	12
III	PALM	52	531	54

DETAILED TREE REMOVAL TALLY			
LIVE OAK TREES TO BE REMOVED:		PALM TREES TO BE REMOVED:	
DBH OF TREE	COUNT	DBH OF TREE	COUNT
15\"/>			

PROPOSED TREE COUNT FOR MITIGATION		
CATEGORY	TREE SPECIES	# OF TREE PROPOSED
I	LIVE OAK	6
I	LOBLOLLY BAY	8
TOTAL NUMBER OF CATEGORY I REPLACEMENT TREE:		14
III	PALM	70
TOTAL NUMBER OF CATEGORY III REPLACEMENT TREE:		70

- TREE MITIGATION NOTES**
- TREES THAT ARE REMOVED SHALL BE REPLACED AT THE RATE OF ONE TREE FOR EVERY TEN TREE INCHES REMOVED PER TREE CATEGORY.
 - SUPPLEMENTAL AND REPLACEMENT TREES SHALL BE WITHIN THE SAME OR LOWER-NUMBERED TREE CATEGORY AS THE TREES BEING REPLACED.
 - CATEGORY I REPLACEMENT TREE SHOULD HAVE A MINIMUM TRUNK DIAMETER OF 2 INCHES AND A MINIMUM HEIGHT OF 10 FT. CATEGORY III REPLACEMENT TREE SHOULD HAVE A MINIMUM TRUNK DIAMETER OF 1 INCH AND A MINIMUM HEIGHT OF 6 FT.
 - REFER TO PLANTING SCHEDULE AND TREE PLAN FOR COMPREHENSIVE PROPOSED TREE PLANTING.

- TREE PROTECTION NOTES**
- TREE PROTECTION FENCING & EROSION CONTROL MEASURES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.
 - REFER TO CIVIL PLANS FOR EROSION CONTROL MEASURES.
 - EROSION CONTROL AND TREE FENCING ARE TO BE IN PLACE AND APPROVED BY THE TOWN OF HILTON HEAD PRIOR TO ANY TREE CLEARING OR SITE DEMOLITION / CONSTRUCTION.
 - BEFORE ANY DEMOLITION, UNDERBURSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ALL REQUIRED EROSION CONTROL / TREE PROTECTION MEASURES ARE INSTALLED.
 - CONTACT THE TOWN'S MANAGER TO SCHEDULE PRE-CLEAR INSPECTION.
 - WARNING SIGNS SHALL BE INSTALLED ALONG ANY REQUIRED TREE PROTECTIVE FENCING AT POINTS NO MORE THAN 150 FEET APART. THE SIGNS SHALL BE CLEARLY VISIBLE FROM ALL SIDES OF THE OUTSIDE OF THE FENCED-IN AREA. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET. THE SIGN MESSAGE SHALL IDENTIFY THE FENCED OR MARKED AREA AS A TREE PROTECTION ZONE AND DIRECT CONSTRUCTION WORKERS NOT TO ENCRoACH INTO THE AREA (E.G., "TREE PROTECTION ZONE: DO NOT ENTER"). SEE FIGURE 16-6-104.J.2: TREE PROTECTIVE FENCING AND SIGNAGE.



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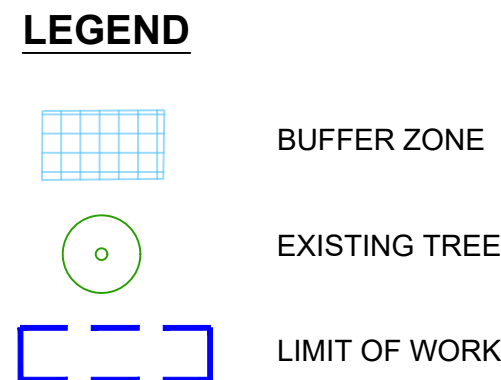
Pre-Construction Tree Non-Buffer Within Scope									
Category 1	Category 2	Category 3	Category 4	Category 5	Category 6	Category 7	Category 8	Category 9	Category 10
01	LO	20	N/A	01A1	PA	12	8	N/A	0
02	LO	20	N/A	01A2	PA	12	8	N/A	0
03	LO	20	N/A	01A3	PA	12	8	N/A	0
04	LO	17	N/A	01A4	PA	11	7	N/A	0
05	LO	16	N/A	01A5	PA	10	6	N/A	0
06	LO	15	N/A	01A6	PA	10	6	N/A	0
07	LO	18	N/A	01A7	PA	11	7	N/A	0
08	LO	18	N/A	01A8	PA	11	7	N/A	0
09	LO	18	N/A	01A9	PA	11	7	N/A	0
10	LO	18	N/A	01A10	PA	11	7	N/A	0
11	LO	18	N/A	01A11	PA	11	7	N/A	0
12	LO	18	N/A	01A12	PA	11	7	N/A	0
13	LO	18	N/A	01A13	PA	11	7	N/A	0
14	LO	18	N/A	01A14	PA	11	7	N/A	0
15	LO	18	N/A	01A15	PA	11	7	N/A	0
16	LO	18	N/A	01A16	PA	11	7	N/A	0
17	LO	18	N/A	01A17	PA	11	7	N/A	0
18	LO	18	N/A	01A18	PA	11	7	N/A	0
19	LO	18	N/A	01A19	PA	11	7	N/A	0
20	LO	18	N/A	01A20	PA	11	7	N/A	0
21	LO	18	N/A	01A21	PA	11	7	N/A	0
22	LO	18	N/A	01A22	PA	11	7	N/A	0
23	LO	18	N/A	01A23	PA	11	7	N/A	0
24	LO	18	N/A	01A24	PA	11	7	N/A	0
25	LO	18	N/A	01A25	PA	11	7	N/A	0
26	LO	18	N/A	01A26	PA	11	7	N/A	0
27	LO	18	N/A	01A27	PA	11	7	N/A	0
28	LO	18	N/A	01A28	PA	11	7	N/A	0
29	LO	18	N/A	01A29	PA	11	7	N/A	0
30	LO	18	N/A	01A30	PA	11	7	N/A	0
31	LO	18	N/A	01A31	PA	11	7	N/A	0
32	LO	18	N/A	01A32	PA	11	7	N/A	0
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36	LO	18	N/A	01A36	PA	11	7	N/A	0
37	LO	18	N/A	01A37	PA	11	7	N/A	0
38	LO	18	N/A	01A38	PA	11	7	N/A	0
39	LO	18	N/A	01A39	PA	11	7	N/A	0
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41	LO	18	N/A	01A41	PA	11	7	N/A	0
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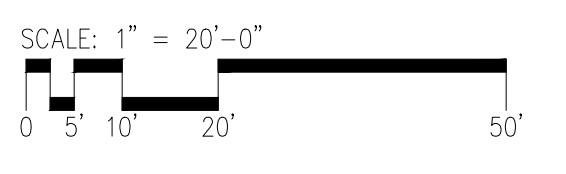
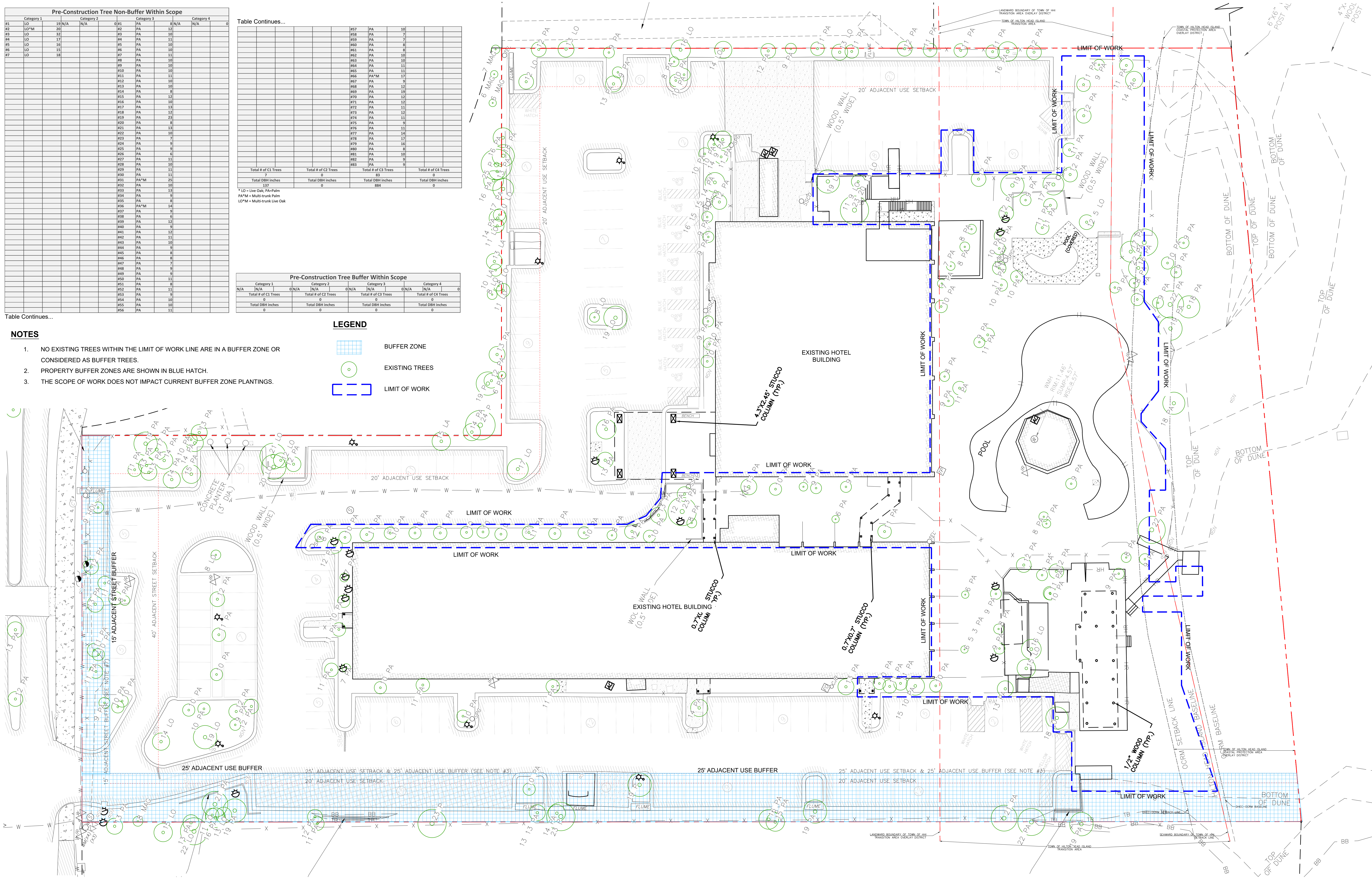
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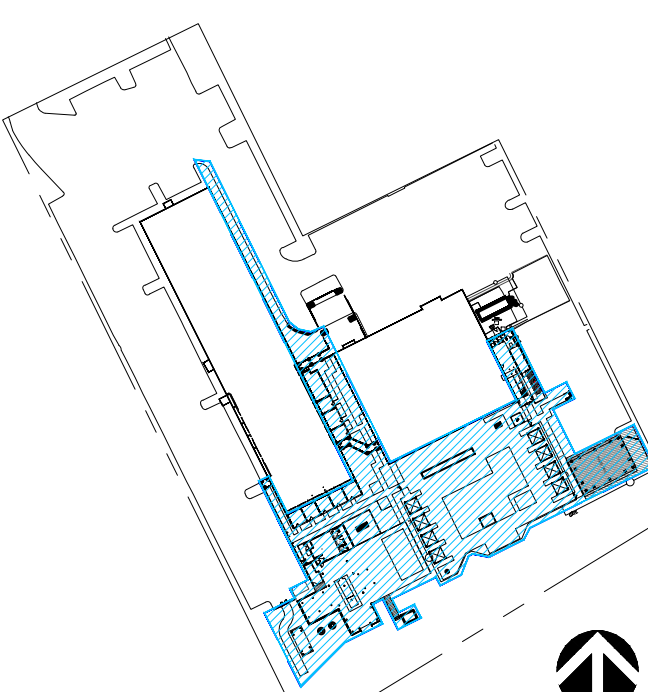
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02	LO	20	N/A
03	LO	20	N/A
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52	LO	18	N/A
53	LO	18	N/A
54	LO	18	N/A
55	LO	18	N/A
56	LO	18	N/A



- NOTES**
- NO EXISTING TREES WITHIN THE LIMIT OF WORK LINE ARE IN A BUFFER ZONE OR CONSIDERED AS BUFFER TREES.
 - PROPERTY BUFFER ZONES ARE SHOWN IN BLUE HATCH.
 - THE SCOPE OF WORK DOES NOT IMPACT CURRENT BUFFER ZONE PLANTINGS.



03	07.07.23	DPR SUBMITTAL 03
02	05.22.23	DPR SUBMITTAL 02
01	03.16.23	DPR SUBMITTAL 01
no.	date	issue
issues revisions		



PROPOSED TREE PLAN &
TREE TALLY
sheet title

project no. 212041 date 07/07/23

checked by: LKW / JHC
drawn by: FCVA component

sheet no. L5-004

Post-Construction Tree (Non-Buffer) Within Scope											
Category 1			Category 2			Category 3			Category 4		
#1	LO		18	N/A		0	#1	PA	8	N/A	0
#2	NEW LO	4					#2	PA	12		
#3	NEW LO	4					#3	PA	10		
#4	NEW LB	3					#4	PA	11		
#5	NEW LB	3					#5	PA	10		
#6	NEW LB	3					#6	PA	10		
#7	NEW LB	3					#7	PA	11		
#8	NEW LB	3					#8	PA	10		
#9	NEW LB	3					#9	PA	10		
#10	NEW LB	3					#10	PA	10		
#11	NEW LB	3					#11	PA	11		
							#12	PA	10		
							#13	PA	10		
							#14	PA	8		
							#15	PA	12		
							#16	PA	10		
							#17	PA	13		
							#18	PA	12		
							#19	PA	23		
							#20	PA	8		
							#21	PA	11		
							#22	PA	10		
							#23	PA	11		
							#24	PA	11		
							#25	PA	25		
							#26	PA	10		
							#27	PA	13		
							#28	PA	9		
							#29	PA	11		
							#30	PA	14		
							#31	PA	9		
							#32	NEW PA	8		
							#33	NEW PA	8		
							"	NEW PA	8		
							"	NEW PA	8		
							#102	NEW PA	8		
							#103	NEW PA	8		
Total # of C1 Trees			Total # of C2 Trees			Total # of C3 Trees			Total # of C4 Trees		
11			0			103			0		
Total DBH inches			Total DBH inches			Total DBH inches			Total DBH inches		
50			0			929			0		

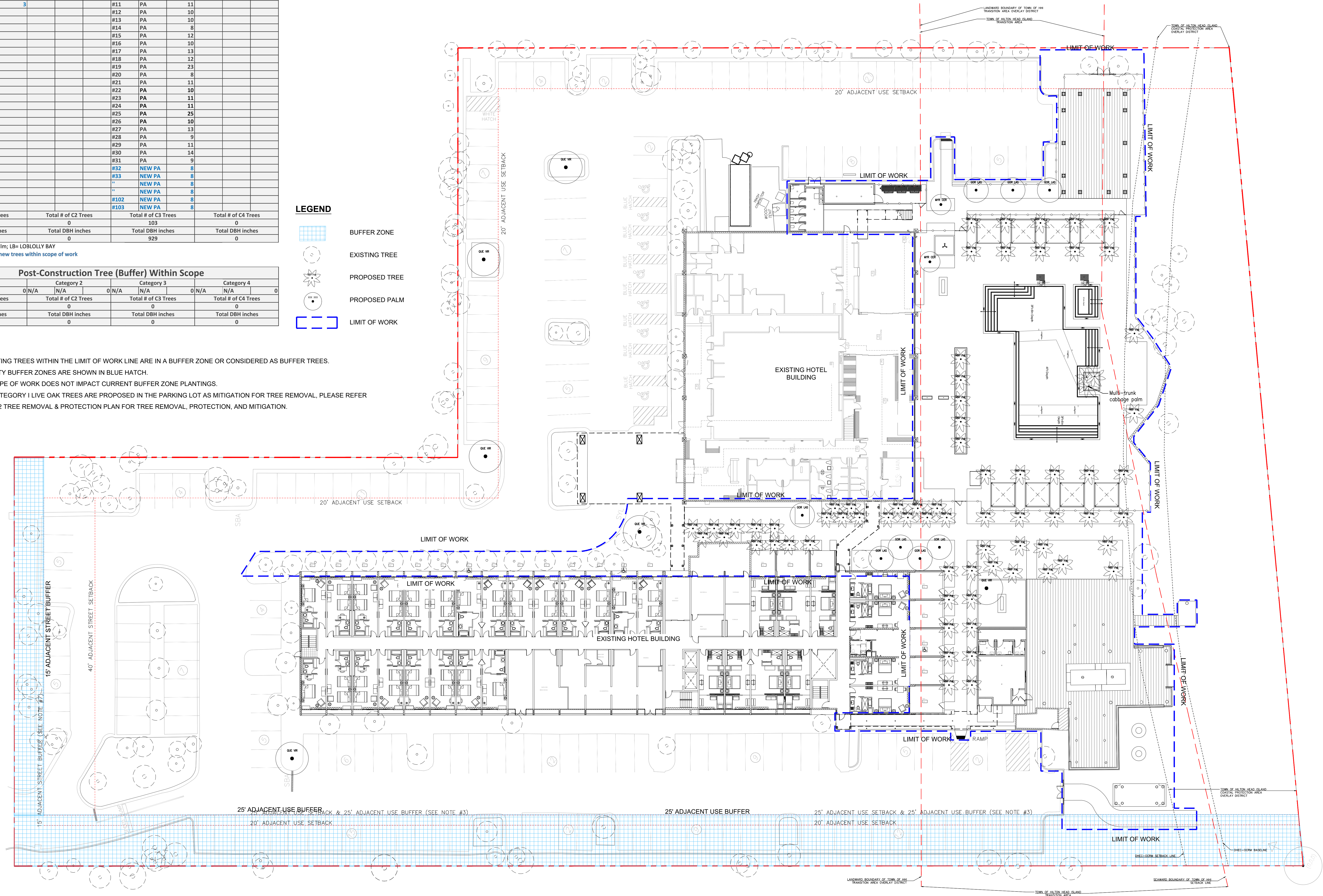
* LO = Live Oak; PA=Palm; LB=LOBLOLLY BAY
* NEW XX = Proposed new trees within scope of work

Post-Construction Tree (Buffer) Within Scope											
Category 1			Category 2			Category 3			Category 4		
N/A	N/A		0	N/A		0	N/A		0	N/A	
Total # of C1 Trees			Total # of C2 Trees			Total # of C3 Trees			Total # of C4 Trees		
0			0			0			0		
Total DBH inches			Total DBH inches			Total DBH inches			Total DBH inches		
0			0			0			0		

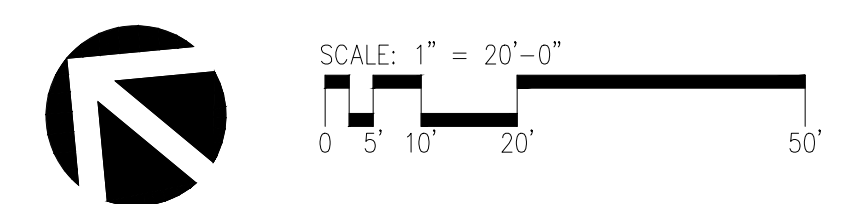
- NOTES**
- NO EXISTING TREES WITHIN THE LIMIT OF WORK LINE ARE IN A BUFFER ZONE OR CONSIDERED AS BUFFER TREES.
 - PROPERTY BUFFER ZONES ARE SHOWN IN BLUE HATCH.
 - THE SCOPE OF WORK DOES NOT IMPACT CURRENT BUFFER ZONE PLANTINGS.
 - FOUR CATEGORY I LIVE OAK TREES ARE PROPOSED IN THE PARKING LOT AS MITIGATION FOR TREE REMOVAL, PLEASE REFER TO L5-002 TREE REMOVAL & PROTECTION PLAN FOR TREE REMOVAL, PROTECTION, AND MITIGATION.

LEGEND

- BUFFER ZONE
- EXISTING TREE
- PROPOSED TREE
- PROPOSED PALM
- LIMIT OF WORK

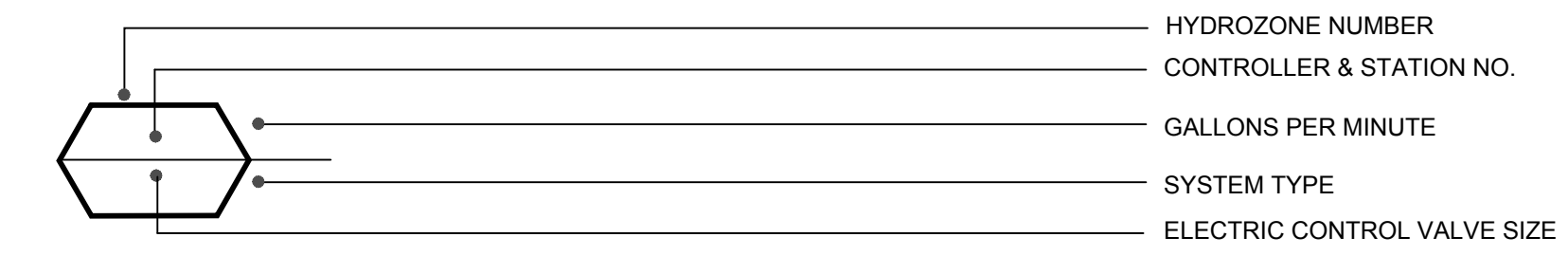


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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	DETAIL No.	PSI	GPM	RADIUS
	RAINBIRD	RD-12-S-P30-10 VAN QTR AND HALF	12" POP-UP PRS REG. SPRINK BODY W/ 10 SERIES MPR NOZZLE	11 L4-4.01	30	0.39, 0.79	10' per spacing
	RAINBIRD	RD-12-S-P30-8 VAN QTR AND HALF	12" POP-UP PRS REG. SPRINK BODY W/ 8 SERIES MPR NOZZLE	11 L4-4.01	30	0.26, 0.47	8' per spacing
	RAINBIRD	RD-06-S-P30-10-SERIES MPR NOZZLES QTR, HALF AND FULL	6" POP-UP PRS REG. SPRINK BODY W/ 10 SERIES MPR NOZZLE	10 L4-4.01	45	0.39, 0.79, 1.57	10' per spacing
	HUNTER	RZWS-18-25-CV (TWO PER TREE)	ROOT ZONE WATERING KITS (2) 18" DEEP	12 L4-4.01	30	0.25 EACH	0' (50 PER SYMBOL)
	RAINBIRD	XFS-06-12-XX	IN LINE EMITTER TUBING 18" O.C. EMITTERS 12" O.C. ROW SPACING	6, 7 AND 8 L4-4.01	30	0.6 GPH	0'
	RAINBIRD	XFF-TEE, XFF-ELBOW	SURFACE MOUNTED ELL, TEE OR CROSS CONNECTION	6, 7 AND 8 L4-4.01			
	AS DETAILED	AS DETAILED	PVC INTAKE/EXHAUST HEADER W/ XFF-MC-050 ADAPTER FITTINGS	6, 7 AND 8 L4-4.01			
	PER DETAIL		DRIP LINE INDICATOR AND SYSTEM FLUSH POINT	8 L4-4.01			
	RAINBIRD	AVR050	AIR/VACUUM RELIEF VALVE INSTALL AT HIGHEST POINT	9 L1-4.01			
	RAINBIRD	XCZ-100-PRBR	DRIP VALVE KIT ASSEMBLY	3 L4-4.01			
	RAINBIRD	XXX-PED-PRS-D (SIZE PER PLAN)	ELECTRIC CONTROL VALVE	4 L4-4.01			
	NIBCO	T-113	GATE VALVE (LINE SIZE)	2 L4-4.01			
	RAINBIRD	44LRC	QUICK COUPLING VALVE	5 L4-4.01			
	HUNTER	PHC-2400i	INTERIOR WALL MOUNTED WIFI ENABLED CONTROLLER WITH RAIN GAUGE	13 L4-4.02			CONTROLLER TO BE POWERED FROM 120V UTILITY BUILDING SOURCE
	APPROVED	SCH 40 BE (BELL END)	PVC PRESSURE SUPPLY LINE BURIED 18" DEEP	1 L4-4.01			
	APPROVED	SCH 40 BE (BELL END)	3/4" PVC LATERAL LINE BURIED 12" DEEP	1 L4-4.01			
	APPROVED	SCH 40 BE (BELL END) ALL 3/4" SIZE UNLESS OTHERWISE NOTED	PVC LATERAL LINE TREE SYSTEM PIPING	1 L4-4.01			
	APPROVED	SCH 40 BE (BELL END)	PVC IRRIGATION SLEEVE (SEE NOTE #4)				



NOTES

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PROVIDED BY WATG LANDSCAPE ARCHITECTS.
- SYSTEM HAS BEEN DESIGNED BASED ON A MINIMUM STATIC WATER PRESSURE OF 56 PSI.
- CONTRACTOR SHALL FIELD VERIFY ON THE UPSTREAM SIDE OF THE BACKFLOW PREVENTER PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS AS DIRECTED BY THE CONSULTANT.
- INSTALL IRRIGATION SLEEVES UNDER ALL PAVED SURFACES PER THE FOLLOWING SCHEDULE:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SCH 40 PVC
3/4" LATERAL	1-2" SCH 40 PVC
1" PRESSURE SUPPLY LINE	1-2" SCH 40 PVC
1 1/4" PRESSURE SUPPLY LINE	1-3" SCH 40 PVC
1 1/2" PRESSURE SUPPLY LINE	1-3" SCH 40 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SCH 40 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
1-40 CONTROL WIRES	1-3" SDR 35 PVC
- INSTALL DRIP EMITTER TUBING AS SHOWN ON PLANS AND AS DESCRIBED BY CONSTRUCTION DETAILS.
- SECURE DRIP TUBING AT A CONSISTENT ROW SPACING WITH NETAFIM #1LS6 SOIL STAPLES OR 6" JUTTE MATTE STAPLES NO GREATER THAN 36" ALONG LENGTH OF TUBING. USE TWO STAPLES IN AN 'X' PATTERN OVER ANY CHANGES IN DIRECTION OF TUBING.
- DRIP TUBING TO BE LAID DOWN SO THAT EMITTER OUTLETS ARE STAGGERED ON A TRIANGULAR SPACING PATTERN.
- DRIP TUBING SHALL BE INSTALLED 1" BELOW MULCH LAYER AS DETAILED. SUPPLY AND EXHAUST HEADERS SHALL BE INSTALLED BELOW GRADE AT DEPTHS SHOWN.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

NOTES:

- Refer to Sheet L4-001 for Irrigation Schedule and Notes.
- Refer to Sheet L4-101 for Irrigation Plan
- Refer to Sheets L4-401 & L4-402 for Irrigation Details.
- Refer to Book Specifications for Irrigation Specifications.

Aqua Commercial Irrigation
 810 Los Vallecitos Blvd., Suite 204
 San Marcos, California 92069
 Ph: (760)750-1900 Fax: (760)750-1999

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client

consultant

stamp | approval

key plan

no. date issue
 issues | revisions

Beach House
 HILTON HEAD ISLAND
 project logo

IRRIGATION SCHEDULES AND NOTES

sheet title

project no. 000000 date 04/26/23

checked by: SML
 drawn by: aci

component

L4.001

sheet no.

DPR RESUBMITTAL #3 | 07 / 07 / 23

CONNECTION TO EXISTING PRESSURE SUPPLY PIPING

CONTRACTOR SHALL MAKE CONNECTIONS TO THE EXISTING PRESSURE SUPPLY PIPING AT THE TWO POINTS OF CONNECTION INDICATED. THE EXACT LOCATION OF THE EXISTING PRESSURE SUPPLY LINE ROUTING IS UNKNOWN, HOWEVER, EXISTING IRRIGATION VALVES (WHICH WILL BE ABANDONED) ARE LOCATED IN THE POOL DECK AREA AND ARE SHOWN. THE CONTRACTOR SHALL LOCATE THOSE VALVES AND TRACE BACK THE PRESSURE SUPPLY PIPING UNTIL IT IS WITHIN A NEW PLANTING AREA. FROM THOSE POINTS, CONNECT TO THE EXISTING PRESSURE SUPPLY PIPING AND EXTEND TO THE NEW PRESSURE SUPPLY PIPING.

CONTRACTOR SHALL ALSO REPAIR ANY EXISTING IRRIGATION PRESSURE SUPPLY PIPING DAMAGED DURING CONSTRUCTION OPERATIONS WITHIN THE LIMIT OF WORK TO THE SATISFACTION OF THE OWNER.

CONTROLLER "A"

INSTALL A WALL MOUNTED IRRIGATION CONTROLLER WITHIN THIS UTILITY CLOSET. CONTROLLER SHALL BE A HUNTER PHC-2400 24 STATION CONTROLLER MOUNTED WITHIN THE UTILITY ROOM AT THE SAME LOCATION OF THE ORIGINAL RAINBIRD SITE CONTROLLER. INSTALL WITH A WIRELESS MINI-CLICK RAIN SENSOR IN A LOCATION RAINFALL ON THE BUILDING EAVE. COORDINATE AND CONNECT TO 120 VOLT ELECTRICAL SERVICE AVAILABLE FROM POWER SOURCE WITHIN UTILITY ROOM.

THIS CONTROLLER ADJUSTS DAILY USING ET DATA OBTAINED VIA THE WIFI CONNECTION TO LOCAL WEATHER STATION DATA.

NEW WIRE RUNS

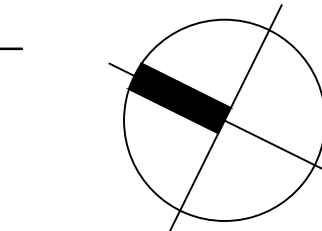
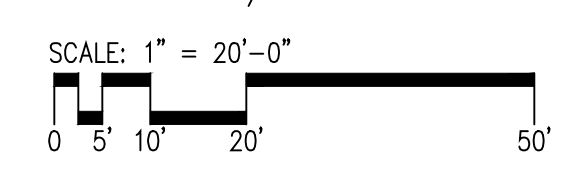
RUN 14 GA. ULUF DIRECT BURIAL WIRE FROM CONTROLLER LOCATION TO ALL NEW VALVES. RUN WIRE ADJACENT TO PRESSURE SUPPLY PIPING, BUNDLED EVERY 10' AND PLACED UNDER AND TO THE SIDE OF PIPING. CONNECT EXISTING STATIONS #1 AND #2 TO STATIONS #1 AND #2 ON THE NEW CONTROLLER.

P.O.C.

SITE WIDE IRRIGATION POINT OF CONNECTION

EXISTING IRRIGATION METER AND RPPA BACKFLOW PREVENTER

1 IRRIGATION PLAN
1" = 20'-0"



ALL IRRIGATION CONTROL VALVES PRESSURE SUPPLY PIPING SHALL BE LOCATED IN SHRUB AREAS. SETBACK FROM FRONT EDGE OF EACH VALVE BOX IS TO BE A MINIMUM OF 1'-0" FROM THE EDGE OF PAVING OR TURF AREAS WHERE SPACE ALLOWS. PRESSURE SUPPLY PIPING SHALL BE LOCATED WITHIN PLANTER AREAS AND SHALL BE SETBACK FROM PLANTER EDGE A MINIMUM OF 6".

LATERAL PIPE SIZING IS INDICATED BY THE FOLLOWING SYMBOLS:

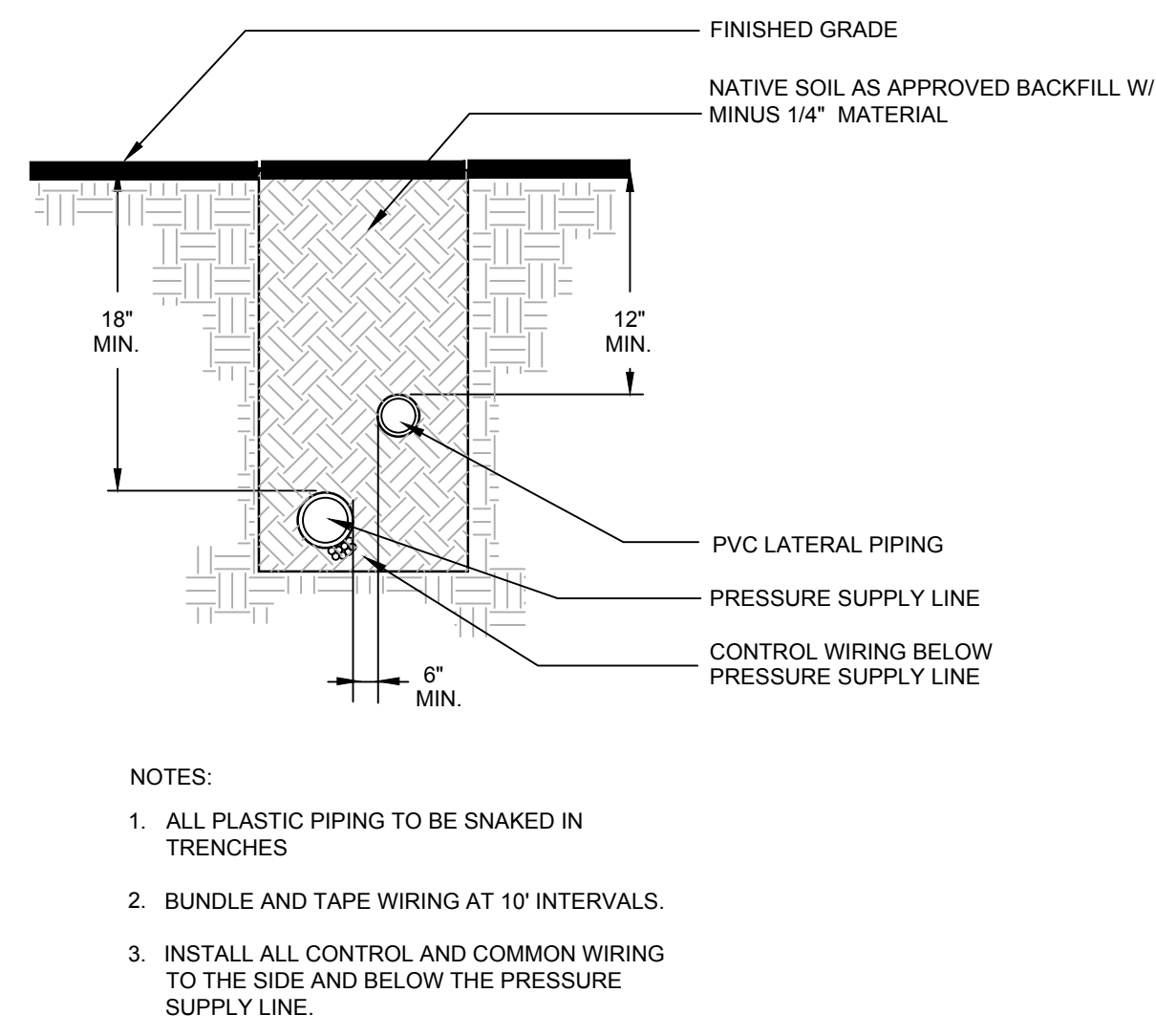
3/4" - I	1" - II	1-1/4" - III	1-1/2" - X	2" - V	2-1/2" - VI
----------	---------	--------------	------------	--------	-------------

ALL BUBBLER SYSTEM PIPING SHALL BE 3/4" UNLESS OTHERWISE NOTED AS 1".

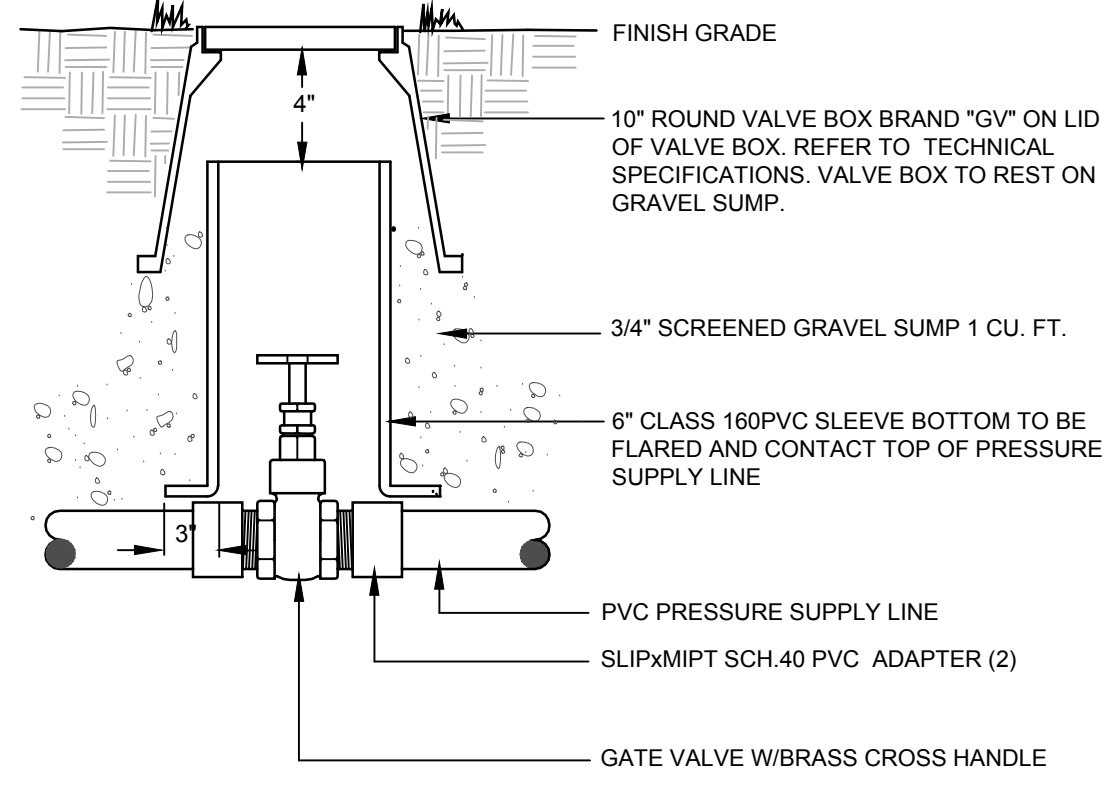
NOTES:

1. Refer to Sheet L4-001 for Irrigation Schedule and Notes.
2. Refer to Sheet L4-101 for Irrigation Plan
3. Refer to Sheets L4-401 & L4-402 for Irrigation Details.
4. Refer to Book Specifications for Irrigation Specifications.

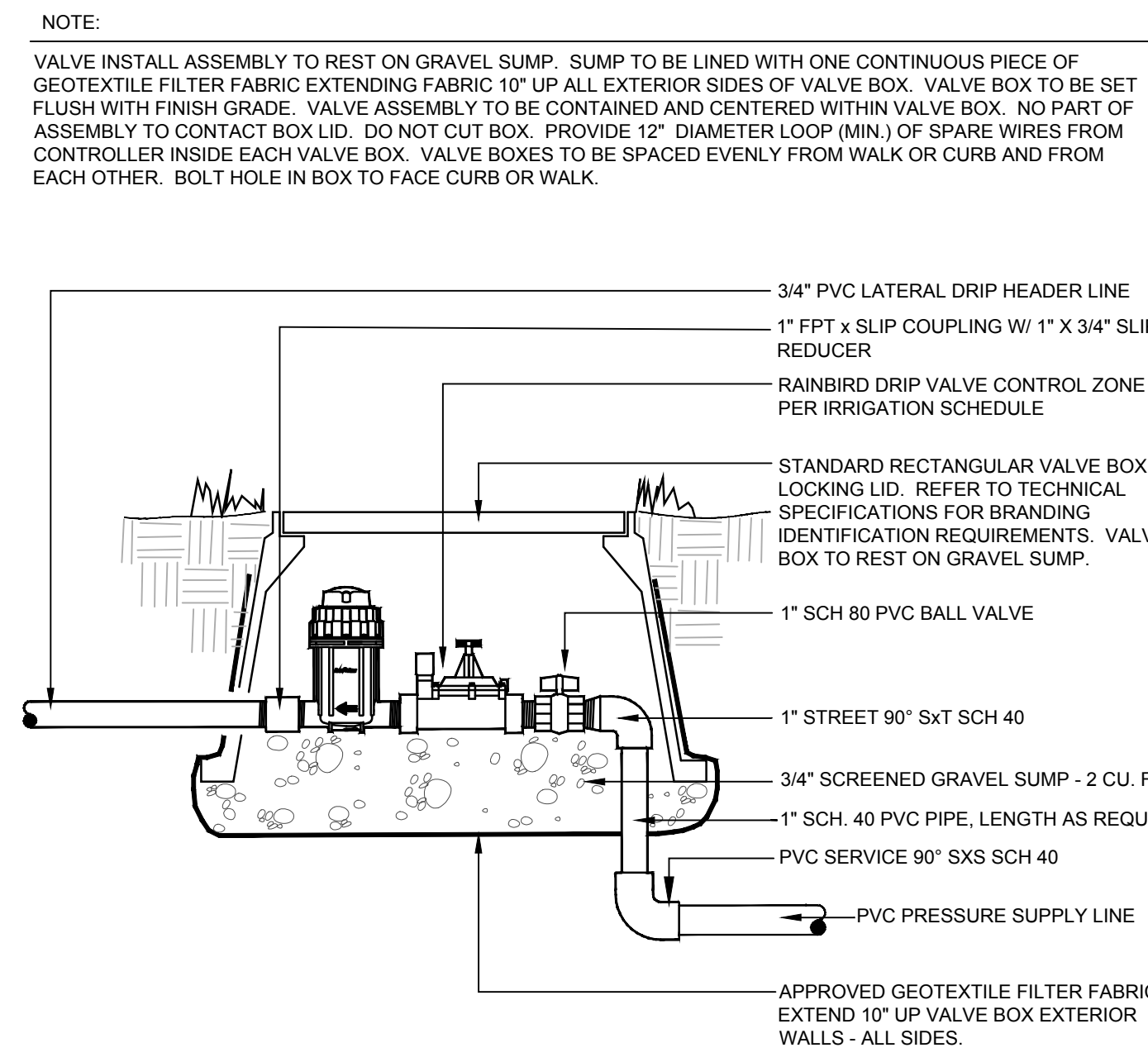
Aqua Commercial Irrigation
810 Los Vallesos Blvd., Suite 204
San Marcos, California 92069
Ph: (760)750-1900 Fax: (760)750-1999



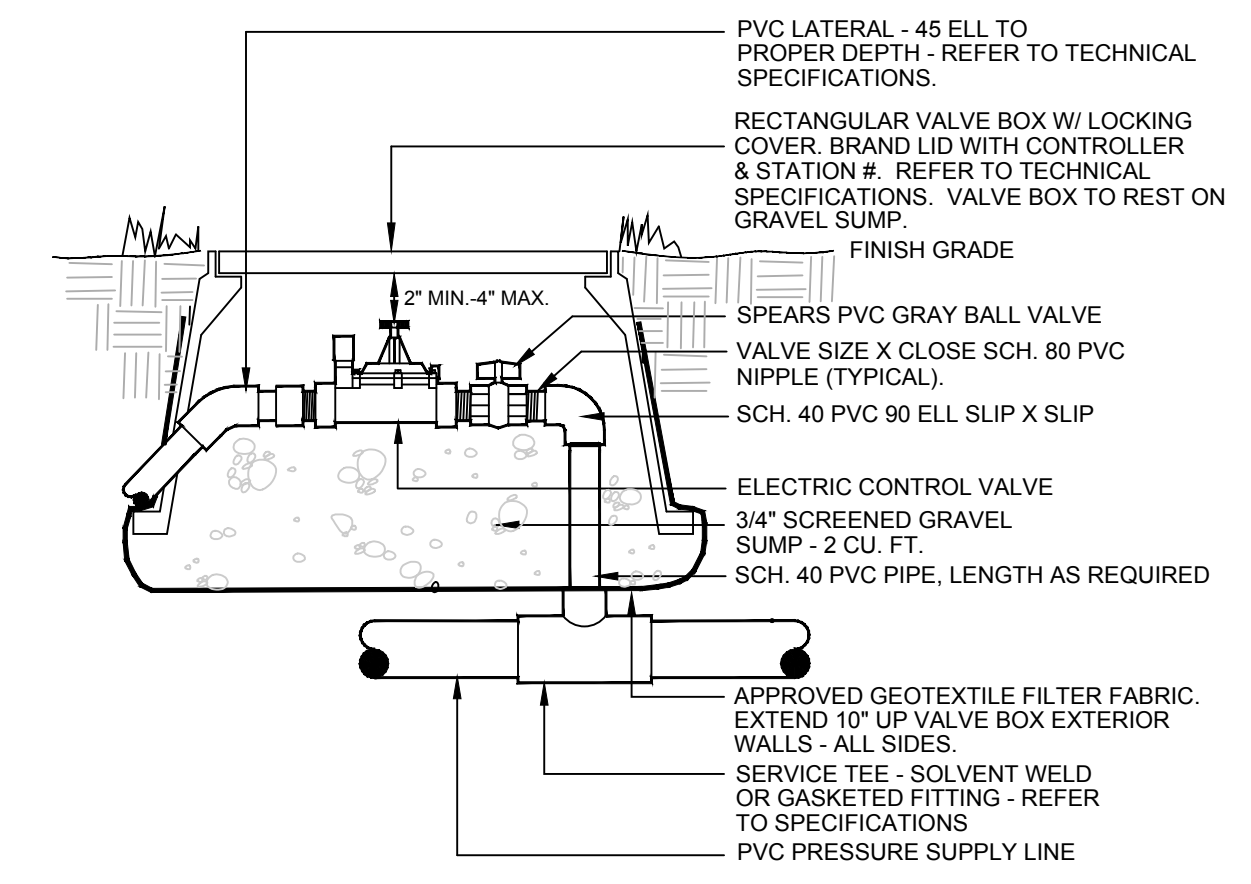
1 TRENCHING N.T.S.



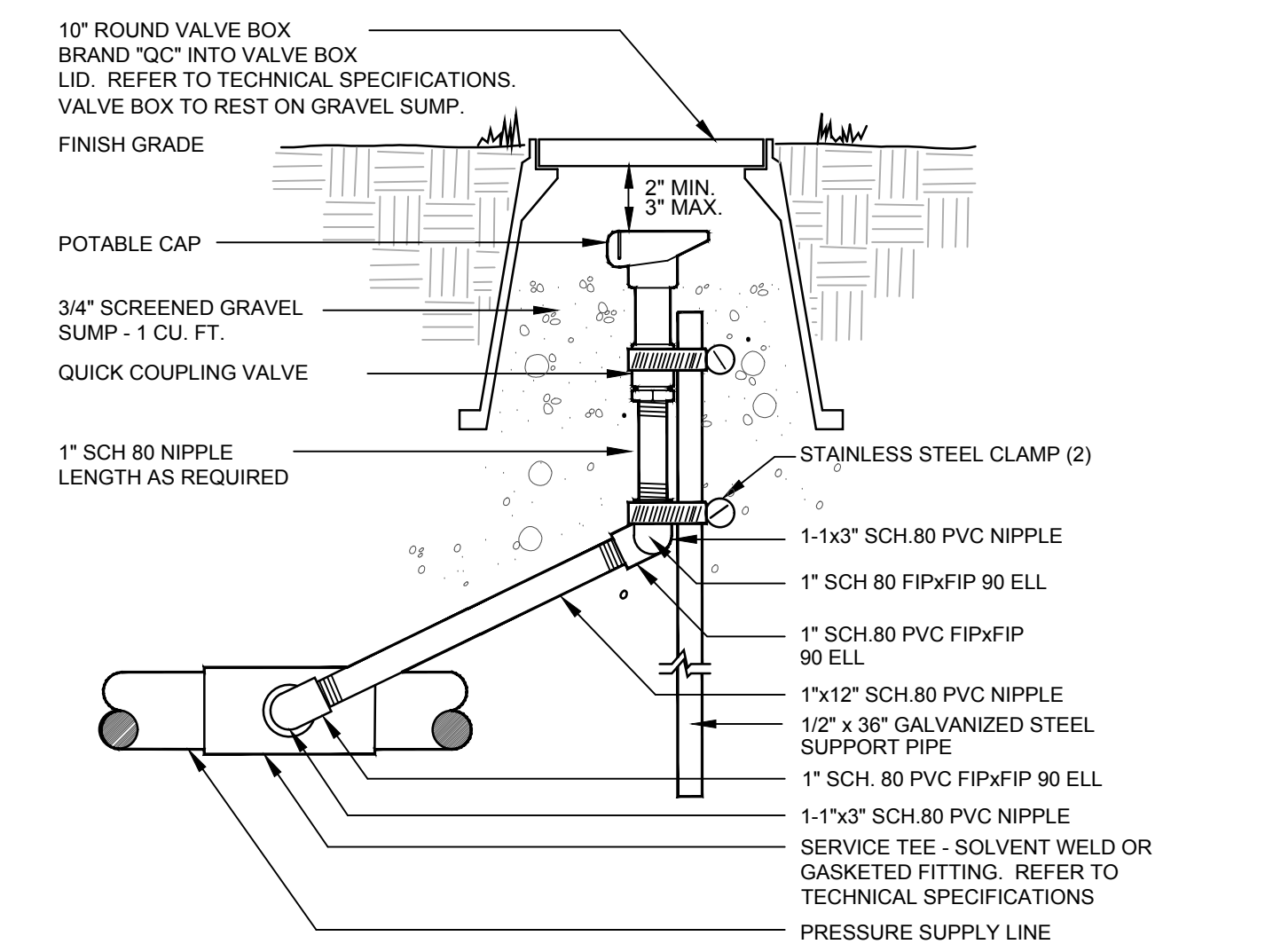
2 GATE VALVE N.T.S.



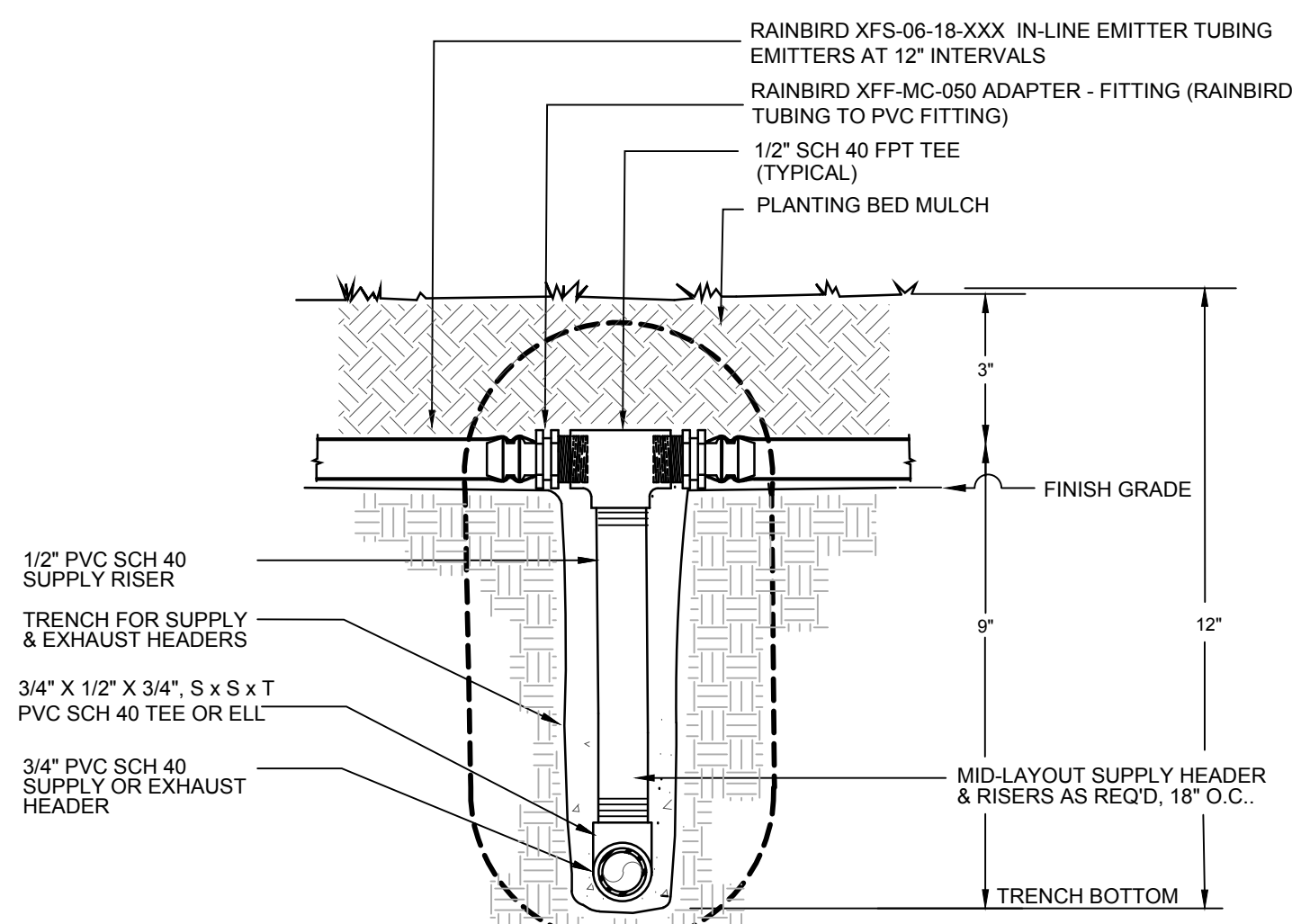
3 DRIP VALVE ASSEMBLY N.T.S.



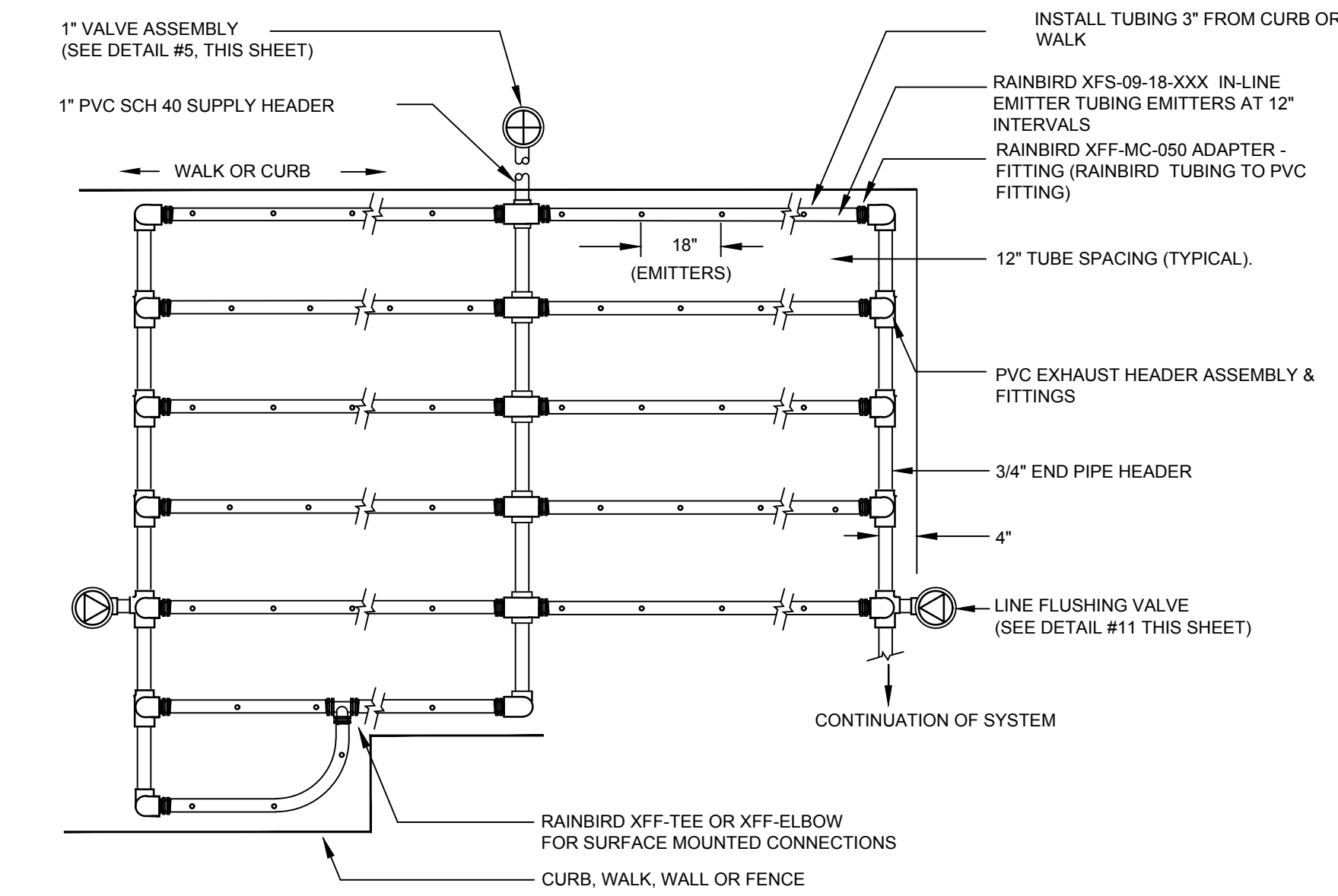
4 CONTROL VALVE ASSEMBLY N.T.S.



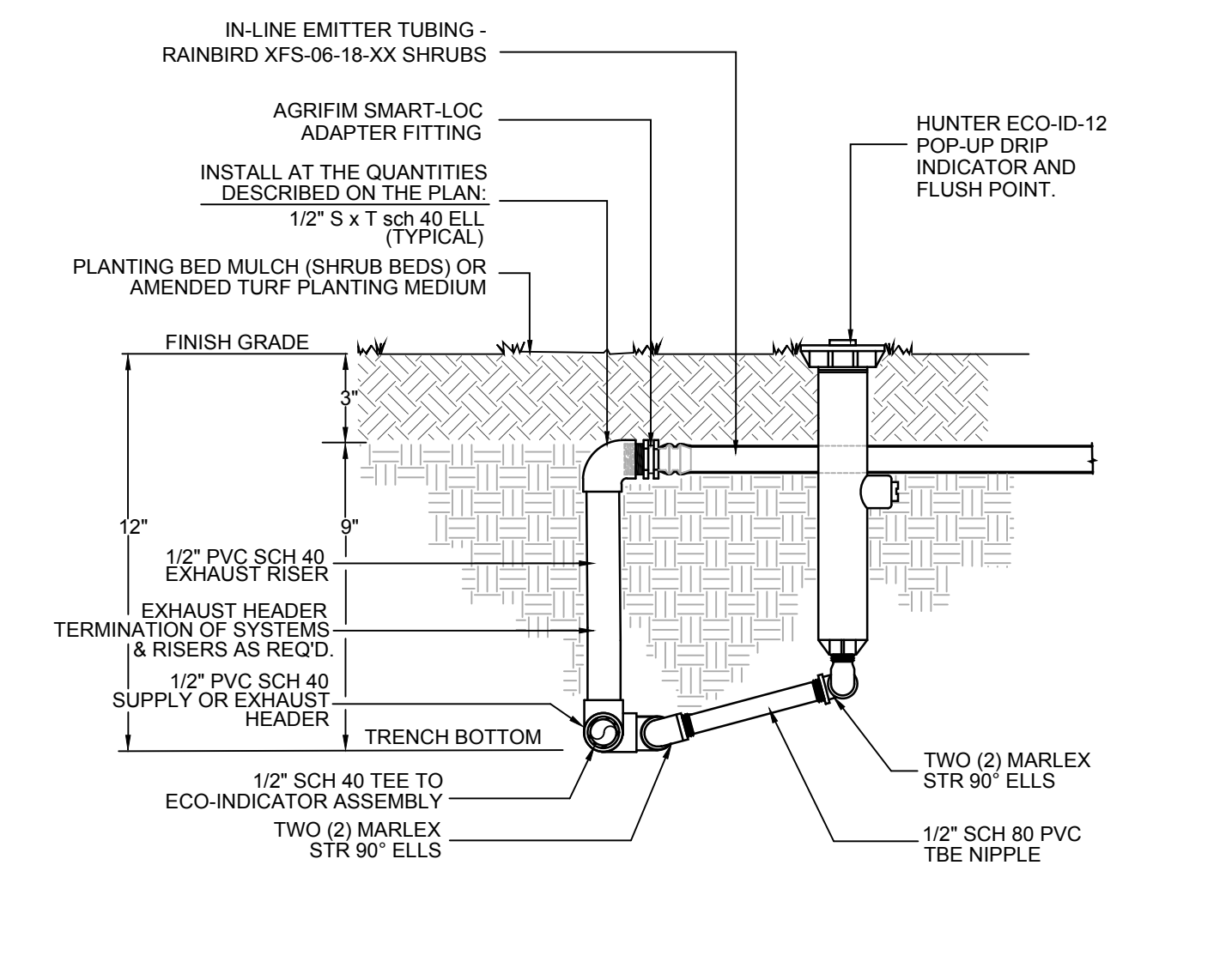
5 QUICK COUPLING VALVE N.T.S.



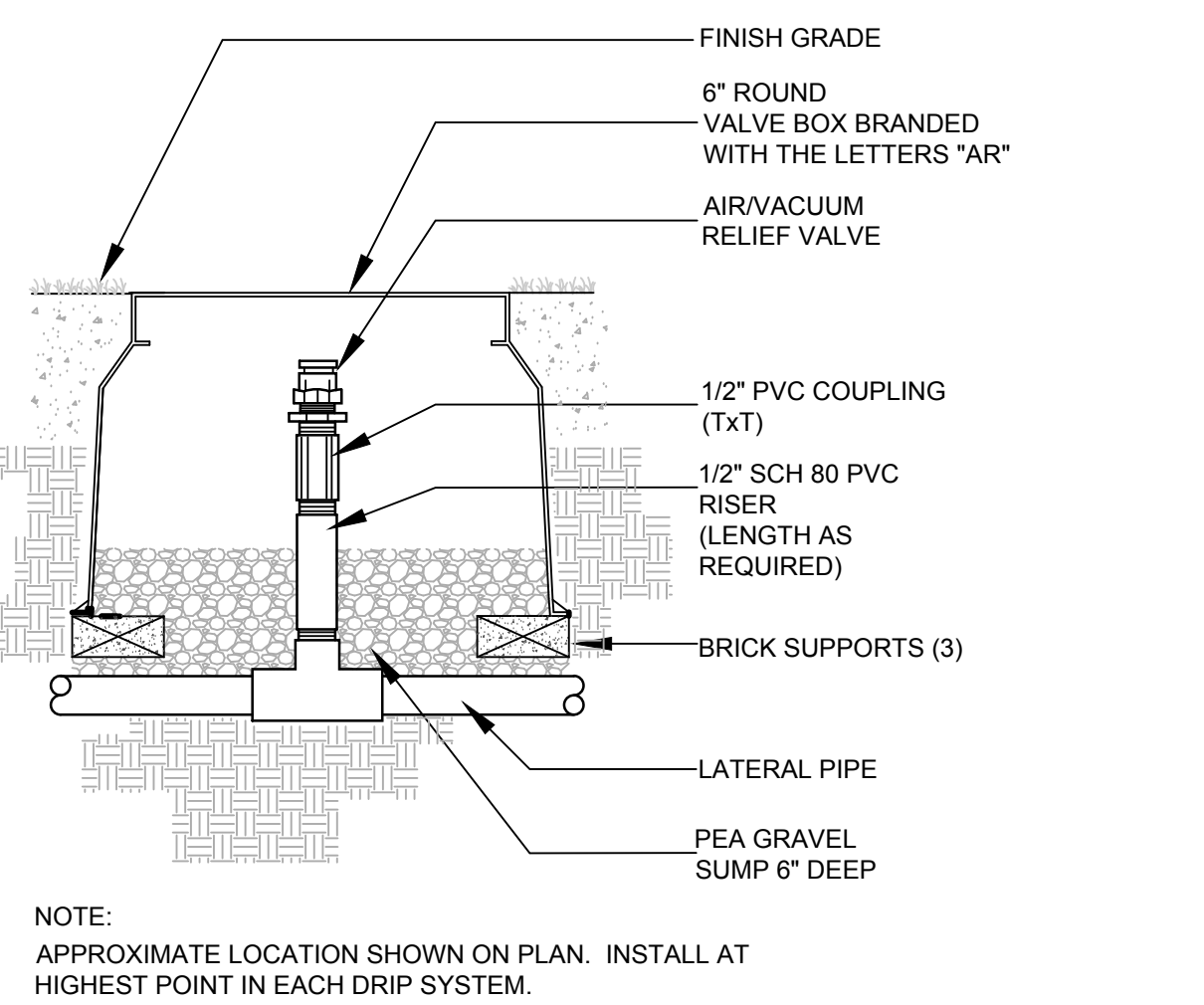
6 EMITTER TUBING INTAKE HEADER MANIFOLD N.T.S.



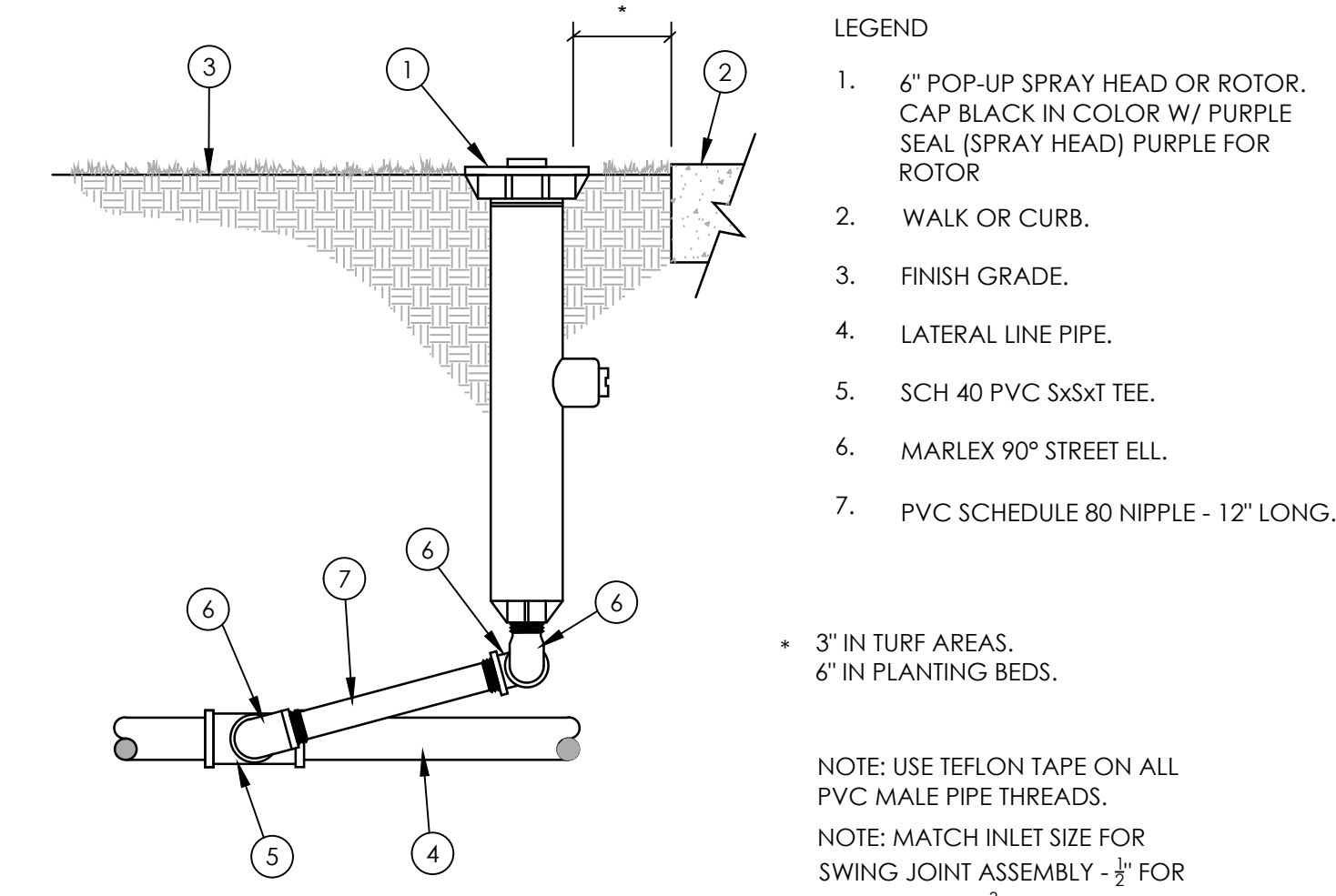
7 IN-LINE EMITTER TUBING LAYOUT N.T.S.



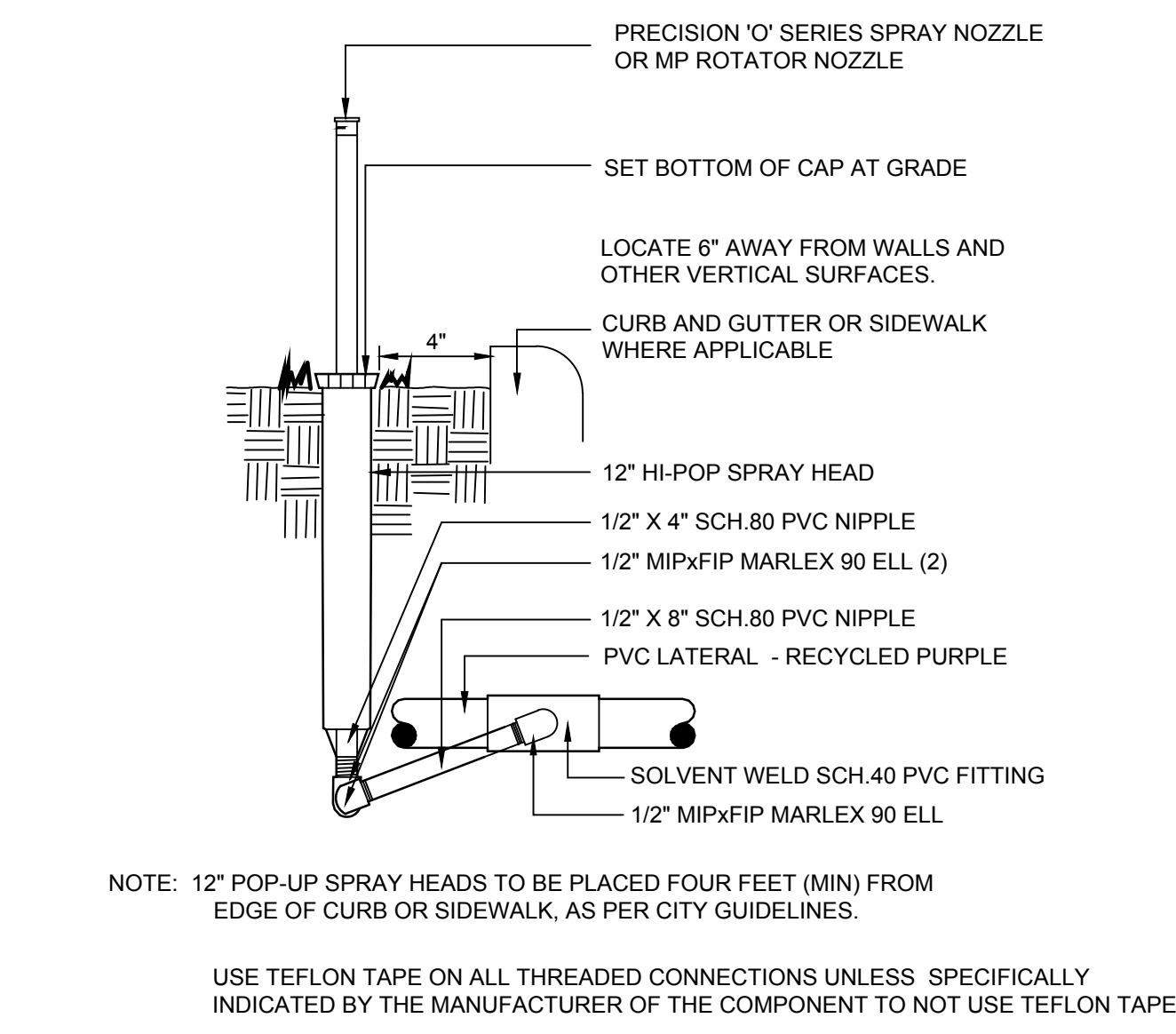
8 EMITTER TUBING EXHAUST AND FLUSH POINT N.T.S.



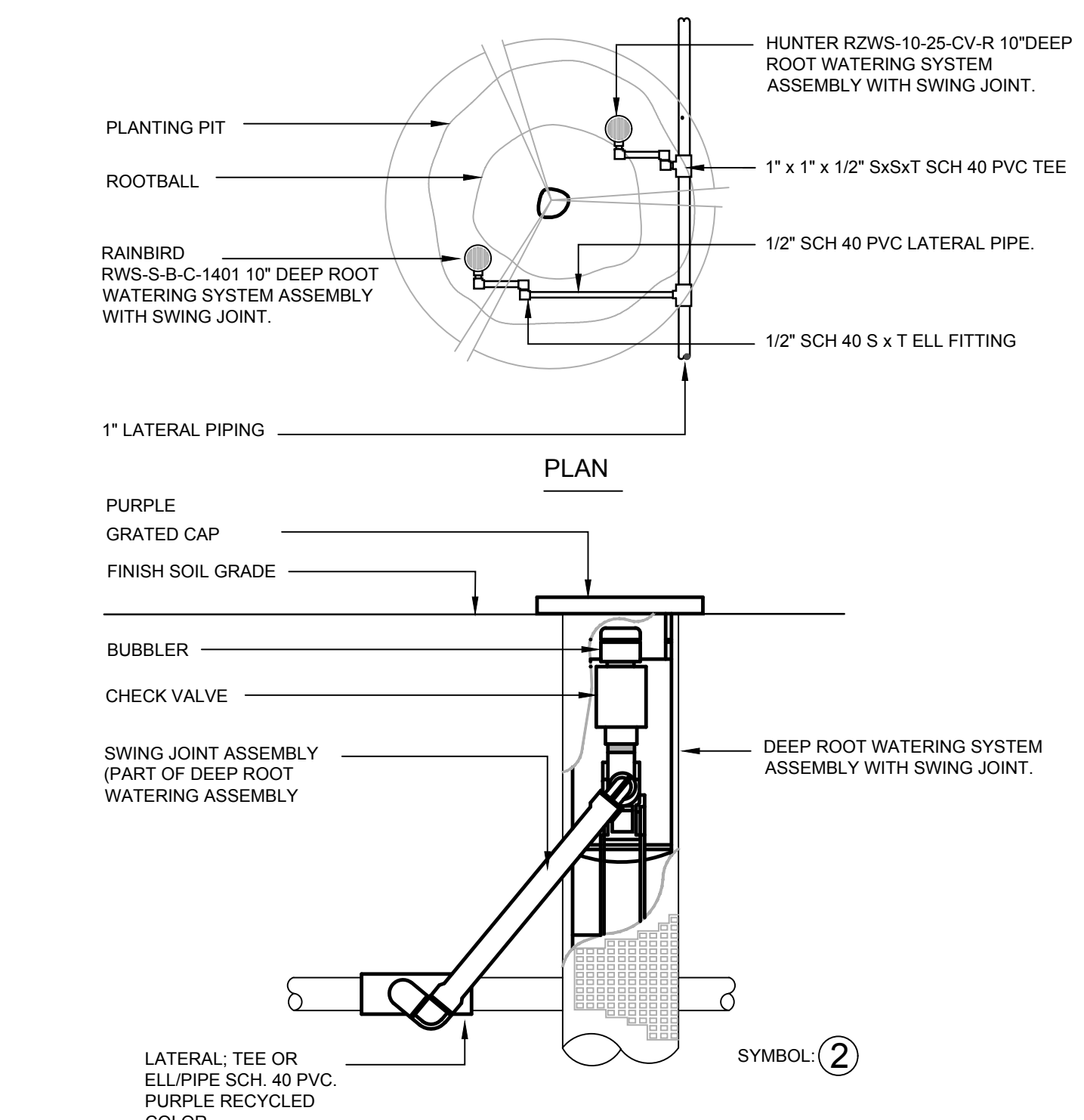
9 AIR RELIEF VALVE N.T.S.



10 6\"/>



11 12\"/>



12 DEEP ROOT WATERING ASSEMBLY N.T.S.

NOTES:
 1. Refer to Sheet L4-001 for Irrigation Schedule and Notes.
 2. Refer to Sheet L4-101 for Irrigation Plan
 3. Refer to Sheets L4-401 & L4-402 for Irrigation Details.
 4. Refer to Book Specifications for Irrigation Specifications.



DPR RESUBMITTAL #3 | 07 / 07 / 23

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SECTION 02810
IRRIGATION SYSTEM

PART I - GENERAL

- 1.01 WORK INCLUDED** - Work of this Section generally includes provision of an underground irrigation system including the following:
- A. Trenching, stockpiling excavation materials, and refilling trenches.
 - B. Complete system including but not limited to piping, valves, fittings, heads, controller wiring and final adjustments to insure efficient coverage as determined by Consultant.
 - C. Water Connections.
 - D. Replacement of unsatisfactory materials.
 - E. Clean up, inspection, and approval.
 - F. Tests.

1.02 REFERENCES

- A. Perform Work in accordance with requirements of Conditions of the Contract and division 01 - General Requirements as well as provisions of all applicable laws, codes, ordinances, rules, and regulations.
- B. Conform to requirements of reference information listed below except where more stringent requirements are shown or specified in Contract Documents.
 - 1. American Society for Testing and Materials (ASTM) Specifications and Test Methods specifically referenced in this Section.
 - 2. Underwriters Laboratories (UL) - UL Wires and Cables.

1.03 QUALITY ASSURANCE

- A. Special Requirements:
 - 1. Tolerances - Specified depths of pressure supply lines and laterals and pitch of pipes are minimums. Settlement of trenches is cause for removal of finish grade treatment, refilling, recompaction, and repair of finish grade treatment.
 - 2. Coordination With Other Contracts - Protect, maintain, and coordinate Work with Work under other Sections.
 - 3. Damage To Other Improvements - Contractor shall replace or repair damage to grading, utilities, soil preparation, seeding, sodding, or planting done under other Sections during work associated with installation of irrigation system at no additional cost to Owner.
 - 4. Work involving substantial plumbing for installation of backflow preventers, copper service and related work shall be executed by licensed and bonded plumber(s), performed in accordance with prevailing codes and regulations.
 - 5. Work involving connection to, installation, or extension of 120 volt or greater electrical service, shall be executed by a licensed and bonded electrician, performed in accordance with prevailing codes and regulations.

1.04 SUBMITTALS - Prepare and make submittals in accordance with conditions of the Contract.

- A. Submit all products to Owner for approval.
- B. Controller Drawings
 - 1. Provide one controller drawing for each automatic controller installed.
 - a. Controller drawing may be same size reproduction of record drawing, if scale permits fitting inside controller door without folding drawing. If photo reduction prints are required, keep reduction to maximum size possible to retain full legibility.
 - b. Controller drawing shall be blue-line print of actual "as-built" system, showing area covered by that controller.
 - c. Identify areas of coverage of each remote control valve, using a distinctly different pastel color for each zone. Highlight heads, lateral piping, and control valves.
 - d. Following review of controller drawings by Consultant, hermetically seal each drawing between two layers of 20 mil thick clear plastic.
 - e. Controller drawings shall be completed and approved by Consultant prior to final completion walk-through of irrigation system.
 - f. Attach approved controller drawing to inside of each controller door using self-adhesive Velcro strips.
- C. Operation Manual:
 - See Section 01700 Contract Closeout, Paragraph 1.07, for description and timing of Operation Manual submittal. Include the following information:
 - 1. Index sheet stating project name, and listing company, address, phone number and contact person of Owner, Landscape Architect and Contractor, including Primary Subcontractors.
- D. Record Drawings (As-Built):
 - 1. At onset of irrigation installation Contractor shall secure Mylar separs of original irrigation design from owner. Make blue-line or blackline prints for every week on Project. At end of every day, revise prints for Work accomplished that day in red ink. As-built separs shall be brought up-to-date at close of working day on every Friday by a qualified drafts person. A print of record plan(s) shall be available at Project Site. Indicate zoning and non-pressure piping changes on as-builts. Upon completion of Project submit for review, prior to final acceptance, final set of as-built mylar separs to the Landscape Architect and owner. Dimension from two permanent points of reference (building corners, sidewalk, road intersections or permanent structures), location of the following items:
 - a. Connection to existing water lines.
 - b. Routing of pressure supply lines (dimension every 100 feet along routing).
 - c. Electric control valves.
 - d. Quick coupling valves.
 - e. Drain valves.
 - f. Gate valves.
 - g. Air release valves.
 - h. Drip line blowout stubs.
 - i. Control wire routing (if not with pressure supply line).
 - j. Communication Cable routing.
 - k. Other related equipment as directed by Consultant.
 - 2. Consultant will not certify any pay request submitted by the Contractor if the as-built drawings are not current, and processing of pay request will not occur until as-builts are updated.
 - 3. Prior to scheduling walk-through for substantial completion, Contractor to submit all as-built information to Consultant for approval.
- E. Manufacturer Technical Manual for controllers.

- 1.05 DELIVERY, STORAGE, AND HANDLING** - Deliver, unload, store, and handle materials, packaging, bundling, products, in dry, weatherproof, waterproof condition in manner to prevent damage, breakage, deterioration, intrusion, ignition, and vandalism. Deliver in original unopened packaging containers prominently displaying manufacturer name, volume, quantity, contents, instructions, and conformance to local, state, and federal law. Remove and replace cracked, broken, or contaminated items or elements prematurely exposed to moisture, inclement weather, snow, ice, temperature extremes, fire, or jobsite damage.
- A. Handling of PVC Pipe - Exercise care in handling, loading and storing of PVC pipe. All PVC pipe shall be transported in a vehicle which allows length of pipe to lie flat so as not to subject it to undue bending or concentrated external loads. All sections of pipe that have been dented or damaged shall be discarded, and if installed, shall be removed and replaced with new piping.

1.06 JOB SITE CONDITIONS

- A. Protection of Property:
 - 1. Preserve and protect all trees, plants, monuments, structures, and paved areas from damage due to Work of this Section. In the event damage does occur, all damage to animate items shall be completely repaired or replaced to satisfaction of Owner. All injury to living plants shall be repaired by Owner, and all costs of such repairs shall be charged to and paid by Contractor.
 - 2. Protect buildings, walls, walls, and other property from material. Surface open trenches. Damage caused to asphalt, concrete, or other building material shall be repaired or replaced at no cost to Owner. Restore disturbed areas to original condition.
- B. Existing Trees:
 - 1. All trenching or other Work under limb spread of any and all trees shall be done by hand or by other methods so as to prevent damage to limbs or branches.

- 2. Where it is necessary to excavate adjacent to existing trees, use all possible care to avoid injury to trees and tree roots. Excavation, in areas where two inch and larger roots occur, shall be done by hand. Roots two inches or larger in diameter, except directly in the path of pipe of conduit, shall be tunneled under and shall be heavily wrapped with burlap to prevent scarring or excessive drying. Where a trenching machine is operated close to trees having roots smaller than two inches in diameter, wall of trench adjacent to tree shall be hand trimmed, making clean cuts through roots. Roots one inch and larger in diameter shall be painted white with lime. Trenches adjacent to trees shall be closed within 24 hours, and when this is not possible, side of trench adjacent to tree shall be kept shaded with moistened burlap or canvas.
- C. Protection and Repair of Underground Lines
 - 1. Request proper utility company to stake exact location (including depth) of all underground electric, gas, or telephone lines. Take whatever precautions are necessary to protect these underground lines from damage. In the event damage does occur, all damage shall be repaired by Contractor, and all costs of such repairs shall be paid by Contractor unless other arrangements have been made.
 - 2. Replacement of Paving and Curbs - Where trenches and lines cross existing roadways, paths, curbing, etc., damage to these shall be kept to a minimum and shall be restored to original condition as deemed acceptable by Owner's Representative.

- 1.07 WARRANTY/QUARANTY** - Contractor shall warrant materials against defects for a period of one year from date of Substantial Completion. Contractor shall guarantee workmanship for similar period. Contractor shall be responsible for coordinating material warranty items with manufacturer/distributor.
- A. Setting of backfilled trenches, which may occur during quarry period, shall be repaired by contractor at no expense to Owner, including complete restoration of damaged property and landscape improvements.
 - B. Expenses due to vandalism before substantial completion shall be borne by Contractor.
 - C. Owner or Representative Maintenance Company will maintain turf and planting areas during warranty period, so as not to hamper proper operation of irrigation system.

1.08 MAINTENANCE

- A. Furnish the following maintenance items to Owner prior to final Acceptance:
 - 1. 2 Sets of special tools for removing, disassembling, and adjusting each type of sprinkler head and valve supplied on this Project.
 - 2. Two 6-foot valve keys for operation of gate valves for stop and waste valves (if applicable).
 - 3. 2 keys for each automatic controller.
 - 4. 5 sprinkler bodies of each size pipe used.
 - 5. 200' of drip line of the type specified.

PART II - PRODUCTS

2.01 MATERIALS:

- A. General Piping
 - 1. Potable Water Pressure Supply Lines (downstream of backflow prevention units) - Schedule 40BE (1" - 2-1/2")
 - 2. Non-pressure Lines - Schedule 40BE
 - 3. In Line Drip Emitter Tubing - As indicated in the Schedules and Details.
 - 4. Blow-Out tubing (1/2" - 3/4") - Salco 3/4" A/R PVC flex hose
 - 5. Above grade piping - UVR Brownline pipe - see below.
- B. Plastic Pipe and Fittings
 - 1. Identification Markings:
 - a. All pipe to be identified with following indelible markings:
 - 1) Manufacturer's name and Nominal pipe size
 - 2) Schedule of class and Pressure rating
 - 3) NSF (National Sanitation Foundation) seal of approval.
 - 4) Date of extrusion.
 - 2. Solvent Weld Pipe - Manufactured from virgin polyvinyl chloride (PVC-C) compound in accordance with ASTM D2241 and ASTM D1784, cell classification 12454-B, Type 1, Grade 1.
 - a. Fittings - Standard weight, Schedule 40, injection molded PVC, complying with ASTM D1784 and D2468, cell classification 12454-B.
 - 1) Threads - Injection molded type (where required).
 - 2) Tees and elbows - Side girth.
 - 3) Threaded Nipples - ASTM D2464, Schedule 80 with molded threads.
 - 4) Joint Cement and Primer - Type as recommended by manufacturer of pipe and fittings.
 - 3. UVR Pipe - Solar Proof UVR Schedule 40 for use in above ground applications, brown color, belted ends, with special additives used the pipe compound to make the pipe Ultra Violet Resistant in accordance with ASTM D1785. Diameter and thickness are to be in accordance with ASTM D2122.
- C. Low Pressure/Volume Systems:
 - 1. Emitter Tubing as indicated on drawings.
 - 2. Drip Tubing - Manufactured of UV resistant flexible vinyl chloride compound conforming to ASTM D1248, Type 1, Class C, Category 4, P14 and ASTM D3350 for PE 1221110.
 - 3. Fittings - As indicated on the drawings.
 - 4. Drip Valve Assembly - Type and size shown on drawings.
 - a. Wye Strainer or Basket Strainer - Plastic/fiberglass construction with 200-mesh nylon screen. Size as noted on drawings.
 - b. Control Valve - 2 way, solenoid pilot operated type made of synthetic, non-corrosive material; diaphragm activated and slow closing. Include freely pivoted seat seal; retained (mounted) without attachment to diaphragm.
 - c. Preset Pressure Regulator - Plastic construction with pre-set pressure regulation and sized for zone flow rate.
- D. Copper Pipe and Fittings:
 - 1. Copper Pipe - Type "K" hard tempered.
 - 2. Fittings - Wrought copper, solder joint type.
 - 3. Joints - Soldered with solder, 45% silver, 15% copper, 16% zinc, and 24% cadmium and solidus at 1125 degrees F and liquids at 1145 degrees F.
- E. Gate Valves:
 - 1. Gate Valves for 3/4 inch through 2-1/2 inch Pipe - Bronze construction, solid wedge, IPS threads, and non-rising stem with wheel operating handle.
 - 2. Gate Valves for 3 inch and Larger Pipe - Iron body, brass or bronze mounted AWWA gate valves with a clear waterway equal to full nominal diameter of valve; rubber gasket or mechanical joint-type only. Valves shall be able to withstand a continuous working pressure of 150 PSI and be equipped with a square operating nut.
- F. Valve Boxes:
 - 1. Gate Valves, Drip Line Blow-out Stubs, and Wire Stub Box - Carson #910-10-4 with bolt down cover.
 - 2. 3/4 inch through 2-inch Control Valves - Carson #1419-12-3B w/ bolt down cover.
 - 3. Drip Valve Assemblies - Carson #1419-12-3B w/ bolt down cover.
 - 4. Control Wiring Splices - Carson #910-12-3B w/ bolt down cover.
 - 5. Master Valve - Rectangular with extension (see construction details).
 - 6. Provide stainless steel bolts for valve box covers where required and indicated above.
- G. Electrical Control Wiring:
 - 1. Low Voltage:
 - a. Electrical Control Wire - AWG UF UL approved No. 14 gauge direct burial copper wire for all control wires, and No. 12 gauge direct burial copper wire for all common wires.
 - b. 2 Wire Control Path - Page P7254-D
 - c. Electrical Conduit for 2 Wire Path - 1-1/4" electrical conduit SCH 40 PVC
 - d. Control wire connections and splices shall be made with 3M SCOTCH LOCK 3570 direct bury splice.
 - 2. High Voltage - Type required by local codes and ordinances, of proper size to accommodate needs of equipment serviced.
- H. Electric Control Valves - As indicated on drawings.
- I. Emitters, Emitter Tubing and Emitter Components - As indicated on the Drawings.
- J. Sprinkler Heads and Swing Joints - As indicated on drawings. Sprinkler bodies shall be equipped with integral check valves. Fabricate riser/wing joint units in accordance with details on Drawings - with riser nipples of same size as riser opening in sprinkler body.
- K. In-Line Check Valves - Use where low head damage occurs. Check valve size shall match pipe size on which they are installed. Utilize both swing and spring type as indicated.
- L. Air Release Valves as indicated on the Drawings.

PART III - EXECUTION

- 3.01 INSPECTION** - Examine areas and conditions under which Work of this Section is to be performed. Do not proceed with Work until unsatisfactory conditions have been corrected.
- A. Grading operations, with the exception of final grading, shall be completed and approved by Owner prior to staking or installation of any portion of irrigation system except sleeving.

3.02 PREPARATION

- A. Staking shall occur as Follows:
 - 1. Mark with powdered lime or marking paint, routing of pressure supply line and flag heads and control valve locations for first series of zones as directed by Landscape Architect. Contact Landscape Architect 48 hours in advance and request review of staking. Landscape Architect will review staking and direct changes if required. Staking review does not relieve installer from coverage problems due to improper placement of heads after staking.
- B. Install sleeving under asphalt paving and concrete walks, prior to concreting and paving operations, to accommodate piping and wiring. Compact backfill around sleeves to 95% Standard Proctor Density within 2% of optimum moisture content in accordance with ASTM D1557.
- C. Trenching - Trench excavation shall follow, as much as possible, layout shown on Drawing. Dig trenches straight and support pipe continuously on bottom of trench. Trench bottom shall be clean and smooth with all rock and organic debris removed. Pressure supply line trenches shall be over-excavated as required to allow for bedding material. Trench depth shall be uniform as required to meet minimum depth requirements for type of piping.
 - 1. Clearances:
 - a. Piping Smaller than 3 inches - Trenches shall have a minimum width of 7 inches.
 - b. Line Clearance - Provide not less than 6 inches of clearance between each line and not less than 12 inches of clearance between lines of other trades.
 - 2. Pipe and Wire Depth:
 - a. Pressure Supply Piping - 18 inches from top of pipe.
 - b. Non-pressure Piping (drip main laterals) - 12 inches from top of pipe.
 - c. Non-pressure Piping (drip emitter tubing and side laterals) - 12 inches from top of pipe.
 - d. Control Wiring - Side and bottom of pressure supply line.
 - 3. Boring will be permitted only where pipe must pass under obstruction(s), which cannot be removed, and must be approved by consultant if not specifically indicated on construction drawings. Final density of backfill shall match that of surrounding soil. Backfill of suitable diameter is acceptable if installed first by jacking or boring, and pipe laid through sleeves. Observe same precautions as though pipe were installed in open trench.
 - 4. Refer to drawings for sleeving schedule and sizing requirements.
 - 5. Install vertical piping as required to reach correct piping depth when sleeving into walled planters.

3.03 INSTALLATION - Locate other equipment as near as possible to locations designated on construction drawings. Deviations shall be approved by Consultant prior to installation.

- A. PVC Piping
 - 1. Shake pipe in trench as much as possible to allow for expansion and contraction.
 - 2. When pipe laying is not in progress, or at end of each day, close pipe ends with tight plug or cap. (Perform work in accordance with good practices prevailing in piping trades).
 - 3. Coordinate pressure supply line installation with required bedding operations.
 - 4. Stake all above grade PVC piping per details.
 - 5. Use 45° elms when making perpendicular crossings of above grade PVC piping, to depress bottom piping.
 - 6. Lay pipe and make all plastic to plastic joints in accordance with manufacturer's recommendations.
 - 7. Above grade piping - install per details.
- B. Drip Tubing
 - 1. Install fitting connections per manufacturer's recommendations.
 - 2. Install drip tubing on the finish grade surface, and under the specified mesh as detailed. Only stake and exhaust manifolds shall be installed below grade at 12" deep, with riser and adapter assemblies extending to grade level.
 - 3. Tubing shall be installed in parallel, evenly spaced rows as indicated on the drawings, with a slight snaking of the tubing to allow for expansion/contraction. Distance between rows shall not deviate more than 1" from row to row.
 - 4. Staple tubing to soil surface at minimum of 3' on center or as detailed.
 - 5. Install drip line blowout stubs at all dead ends of drip tubing.
 - 6. Any deviations from drip tube routing shown on drawings must be approved by Consultant prior to installation. Any changes exceeding a 5% increase in the length of the drip tubing, or the tie in placement of the pvc/poly rubber indicated on the drawings must be approved by the Consultant prior to installation.
- C. 2 Wire Path/Wiring:
 - 1. Low Voltage Wiring:
 - a. Bury 2 wire path in conduit between controller and electric valves in pressure supply line trenches, with conduit consistently located below and to one side of pipe, on top of initial pipe bedding, or in separate trenches.
 - b. Provide an expansion loop at pressure supply line angle fittings, every electric control valve location (in valve box), and at minimum 500 feet intervals. Form expansion loop by wrapping wire by least 8 times around a 3/4 inch pipe and withdrawing pipe.
 - c. Make splices and electric control valve connections using connectors as specified - refer to materials section.
 - d. Install 2 wire path wire splices not occurring at control valve in a separate splice valve box.
 - e. Run all future control wires from controller pedestal to point indicated on drawings. Coil a minimum of ten (10) feet at termination and install in 10" round valve box. Label all wires at termination.
 - 2. High Voltage Wiring for Automatic Controller
 - a. Provide 120 volt power connection to automatic controller. 120 volt power connection must be made by a licensed Electrician per the NEC.
- D. Controller
 - 1. Install controller in accordance with manufacturer's instructions as detailed and where shown on Drawings.
 - 2. Connect remote control valves to controller in numerical sequence as shown on Drawings.
 - 3. Final location of controller shall be approved by Consultant prior to installation.
 - 4. Each controller shall be grounded per the NEC.
 - 5. Above ground conduit shall be rigid galvanized with appropriate fittings. Below ground conduit shall be schedule 40 PVC.
 - 6. Run two (2) 1/4 ga ULUF wire from flow sensor terminal to each flow sensor indicated, and connect as detailed.
 - 7. Install decoders and surge protectors per details and where indicated on plans.
 - 8. Adjacent valves may share a 2 or 4 station decoder.
- E. Electric Control Valves
 - 1. Install cross handle 2 inches below finished grade where shown on Drawings and as detailed.
 - 2. When grouped together, allow at least 12 inches between valve box sides.
 - 3. Install each remote control valve in a separate valve box.
 - 4. Install individual valve box flush with grade.
 - 5. When parallel to roadway, sidewalk, or other permanent element or structure, control valve and box to be installed perpendicular to element or structure, spaced equally.
- F. Drip Valve Assemblies - Install drip valve assembly as detailed and as described above in the section titled "Electric Control Valves".
- G. Sprinkler Heads
 - 1. Install sprinkler heads where designated on Drawings or where staked. Spacing of heads shall not exceed the maximum indicated on Drawing unless re-staked as directed by Consultant. In no case shall the spacing exceed maximum recommended by manufacturer.
 - 2. Set plumb to finish grade as detailed. Install heads on double swing-joint risers of schedule as detailed. Angled nipple relative to non-pressure line shall be no more than 45 degrees or less than 10 degrees. Adjust heads to correct height after sod is installed. Refer to details for head placement and angle of heads on slopes.
 - 3. Adjust part circle heads for proper coverage. Plant placement shall not interfere with intended sprinkler head coverage, piping, or other equipment. Consultant may request nozzle changes or adjustments without additional cost to the Owner.
 - 4. Install sprinkler heads 3' from curbs and sidewalks, 12" from vertical surfaces such as walls and fences, and on the slope face at toe of slopes.
- H. Valve Boxes:
 - 1. Install one valve box for each type of valve installed as detailed flush with grade for all sodded areas, and 1/2" above grade for all seeded areas.
 - 2. Valve box extensions are not acceptable except for master valve.

- 3. Install gravel sump after compaction of all trenches. Valve box bottom edge to rest on gravel sump. Gravel sump to be wrapped in filter fabric as detailed. Place final portion of gravel inside valve box after valve box is backfilled and compacted.
- I. Gate Valves - Install where shown on Drawings as detailed.
- J. Emitters - Install as detailed at the quantities indicated on the drawings for each tree within drip zones as supplemental watering.
- K. Backfilling - Do not begin backfilling operations until required system tests have been completed. Backfill shall be done in freezing weather except with prior approval by Consultant. Leave trenches slightly mounded to allow for settlement after backfilling is completed. Trenches shall be finish graded prior to walk-through of system by Consultant.
- L. All pressure supply lines shall be bedded with construction grade sand 4" below invert of pipe, to 6" above top of pipe and width of trench.
 - 1. Materials - Excavated material is generally considered satisfactory for backfill purposes after completing bedding requirements. Backfill material shall be free of rubbish, vegetable matter, frozen material and stones larger than 2 inches in maximum dimension. Do not mix subsoil with topsoil. Material not suitable for backfill shall be hauled away. Contractor shall be responsible for providing suitable backfill if excavated material is unacceptable or not sufficient to meet backfill, compaction, and final grade requirements.
 - 2. Do not leave trenches open for a period of more than 48 hours. Open excavations shall be protected in accordance with OSHA regulations.
 - 3. Compact backfill to 90% maximum density in 6" lifts, determined in accordance with ASTM D1557 utilizing the following methods:
 - a. Mechanical tamping.
 - b. Puddling or ponding. Puddling or ponding and/or jetting is prohibited within 10'-0" of building or foundation walls.
- M. Piping Under Paving:
 - 1. Provide for a minimum cover of 24 inches between the top of the pipe and the bottom of the aggregate base for all pressure and non-pressure piping installed under asphaltic concrete or concrete paving.
 - 2. Piping shall be bedded with construction grade sand or squeegee - 6 inches below pipe to 6 inches above pipe and width of excavation.
 - 3. Compact backfill material in 6-inch lifts at 95% maximum density determined in accordance with ASTM D1557 using manual or mechanical tamping devices.
 - 4. Set in place, cap, and pressure test all piping under paving, in presence of consultant or Contractor to backfill and bedding operations.
 - 5. Piping under existing walks or concrete pavement shall be done by jacking, boring, or hydraulic driving, but where cutting or breaking of walks and/or concrete is necessary, it shall be done at no cost to Owner. Obtain permission and prior approval to cut or break walks and/or concrete from Owner.
- N. Water Supply and Point of Connection - Water supply shall be extended as shown from water supply lines.
- O. Air Release Valves: Install where indicated on the drawings downstream of the Pump Assemblies and at isolate high points. Verify high point locations.

3.04 FIELD QUALITY CONTROL

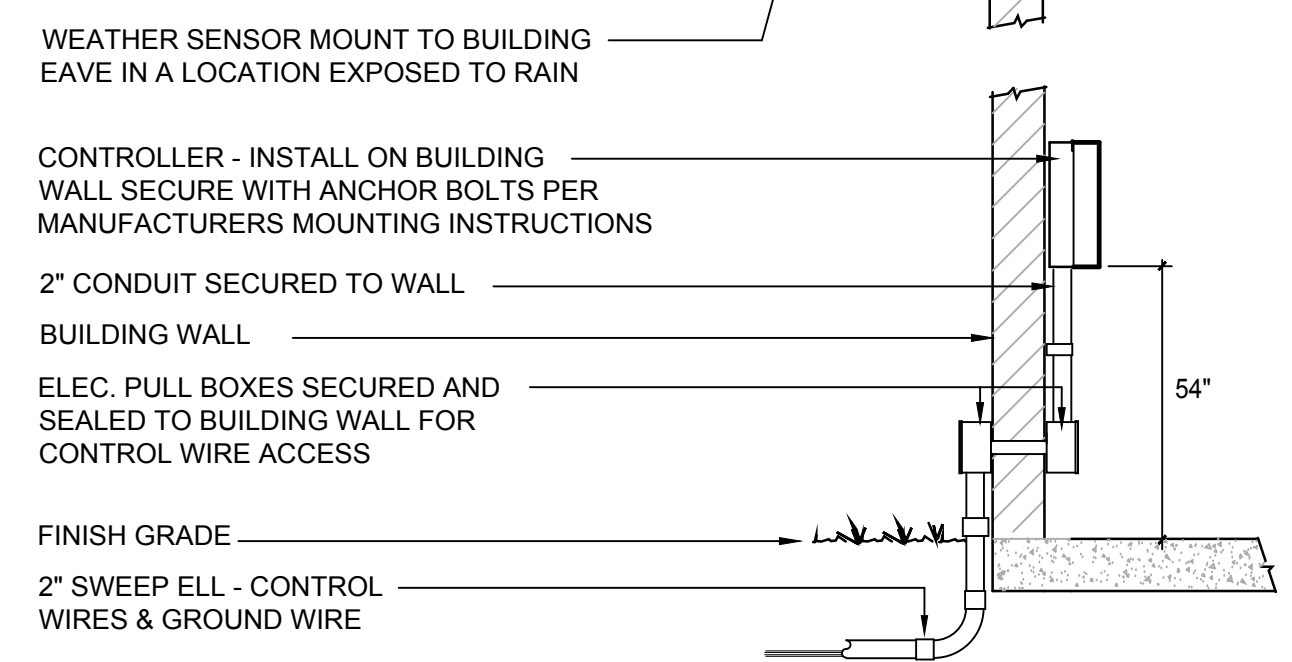
- A. Owner to be notified to observe all testing and before anything is backfilled.
 - 1. Flushing - After risers, emitters, and valves are in place and connected, but prior to installation of emitters, quick coupling valves, and air release valves, thoroughly flush piping system under full head of water pressure from dead end fittings. Maintain flushing for 5 minutes through furthest valves. Cap risers after flushing.
 - 2. Testing - Conduct tests in presence of Consultant. Arrange for presence of Consultant a minimum of 48 hours in advance of testing. Supply force pump and all other test equipment.
 - 1. After backfilling, and installation of all control valves, quick coupling valves, drain valves, and air release valves, fill pressure supply line with water, and pressurize to 40 PSI over the designated static pressure or 120 PSI, whichever is greater, for a period of 2 hours.
 - 2. Leakage, Pressure Loss - Test is acceptable if no leakage or loss of pressure is evident during test period.
 - 3. Leaks - Detect and repair leaks.
 - 4. Retest system until test pressure can be maintained for duration of test.
 - 5. Before final acceptance, pressure supply line shall remain under pressure for a period of 48 hours.
- B. Walk Through for Substantial Completion:
 - 1. Arrange for Consultant's presence a minimum of 48 hours in advance of walk-through.
 - 2. Entire system shall be completely installed and operational prior to scheduling of walk-through. All sodded areas are to be complete with head height and valve boxes adjusted accordingly.
 - 3. Operate each zone in its entirety for Consultant at time of walk-through and open all valve boxes.
 - 4. Consultant shall generate a list of items to be corrected prior to Final Completion.
 - 5. Furnish all materials and perform all Work required to correct all inadequacies due to deviations from Contract Documents, and as directed by Consultant.
 - 6. During walk-through, expose all drip emitters under operations for observation by Consultant to demonstrate that they are performing and installed as designed; prior to placing of all mulch material. Schedule separate walk-through if necessary.
- C. Walk-Through for Final Completion:
 - 1. Arrange for Consultant's presence a minimum of 48 hours in advance of walk-through.
 - 2. Operate each zone identified as deficient at substantial completion walk-through for Consultant at time of final completion walk-through to insure correction of all incomplete items.
 - 3. Items deemed not acceptable by Consultant shall be reworked to complete satisfaction of Consultant.
 - 4. If after request to Consultant for walk-through for Final Completion of irrigation system, Consultant finds items during walk-through which have not been properly adjusted, reworked, or replaced as indicated on list of incomplete items from substantial completion walk-through, Contractor shall be charged for all subsequent walk-throughs. Funds will be withheld from final payment and/or retainer to Contractor, in an amount equal to additional time and expenses required by Consultant to conduct and document further walk-throughs as deemed necessary to insure compliance with Contract Documents.
- D. ADJUSTING - Upon substantial completion of installation, "fine-tune" entire system by regulating valves, adjusting patterns and break-up arms/screws, and setting pressure reducing valves or throttling control valve flow controls at proper pressure to provide optimum and efficient coverage. Fluen and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and buildings as much as possible. Heads of same type shall be operating at same pressure +/- 7%.
- E. If it is determined that irrigation adjustments will provide proper and more adequate coverage, make such adjustments prior to Final Acceptance, as directed, at no additional cost to Owner. Adjustments may also include changes in emitter spacing and sizes, and control valve throttling.
- F. Areas which do not conform to designated operation requirements due to unauthorized changes or poor installation practices shall be immediately corrected at no additional cost to the Owner.

- 3.05 CONTROL SYSTEM SET UP** - Contractor shall program the following features into the controller and shall be operating the controller using these features within one month of the termination of the maintenance period:
- A. Controllers shall be set to operate "By Capacity" at the flow rate indicated on the Irrigation Drawings.
 - B. The flows of all valves shall be learned by the controller.
 - C. The Contractor shall demonstrate that each Controller is communicating with the Central Control System.
 - D. The Contractor shall coordinate with the Controller Manufacturer to achieve these settings and requirements.
 - E. Manufacture shall inspect and certify controller installation.

- 3.06 CLEANING** - Maintain continuous cleaning operation throughout the duration of Work. Dispose of, off-site at a legal dumpsite and at no additional cost to Owner, all trash or debris generated by installation of irrigation system.

END OF SECTION 02810

NOTE:
CONTRACTOR TO GROUND AND PROVIDE SURGE PROTECTION FOR FIELD UNIT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND GROUND ROD(S) SHOWN. ALL ELECTRICAL WORK TO CONFORM TO LOCAL CODE.



13 INTERIOR WALL CONTROLLER

N.T.S.



strategy planning architecture landscape interiors



client

consultant

stamp | approval

key plan

DPR SUBMITTAL #3 | 07 / 07 / 23

no. date issue
issues | revisions

Beach House
HILTON HEAD ISLAND
project logo

IRRIGATION DETAILS

sheet title
project no. 000000 date 04/26/23

checked by: SML
drawn by: aci component

Aqua Commercial Irrigation
810 Los Vallecitos Blvd., Suite 204
San Marcos, California 92069
Ph: (760)750-1900 Fax: (760)750-1999



L4.402
sheet no.

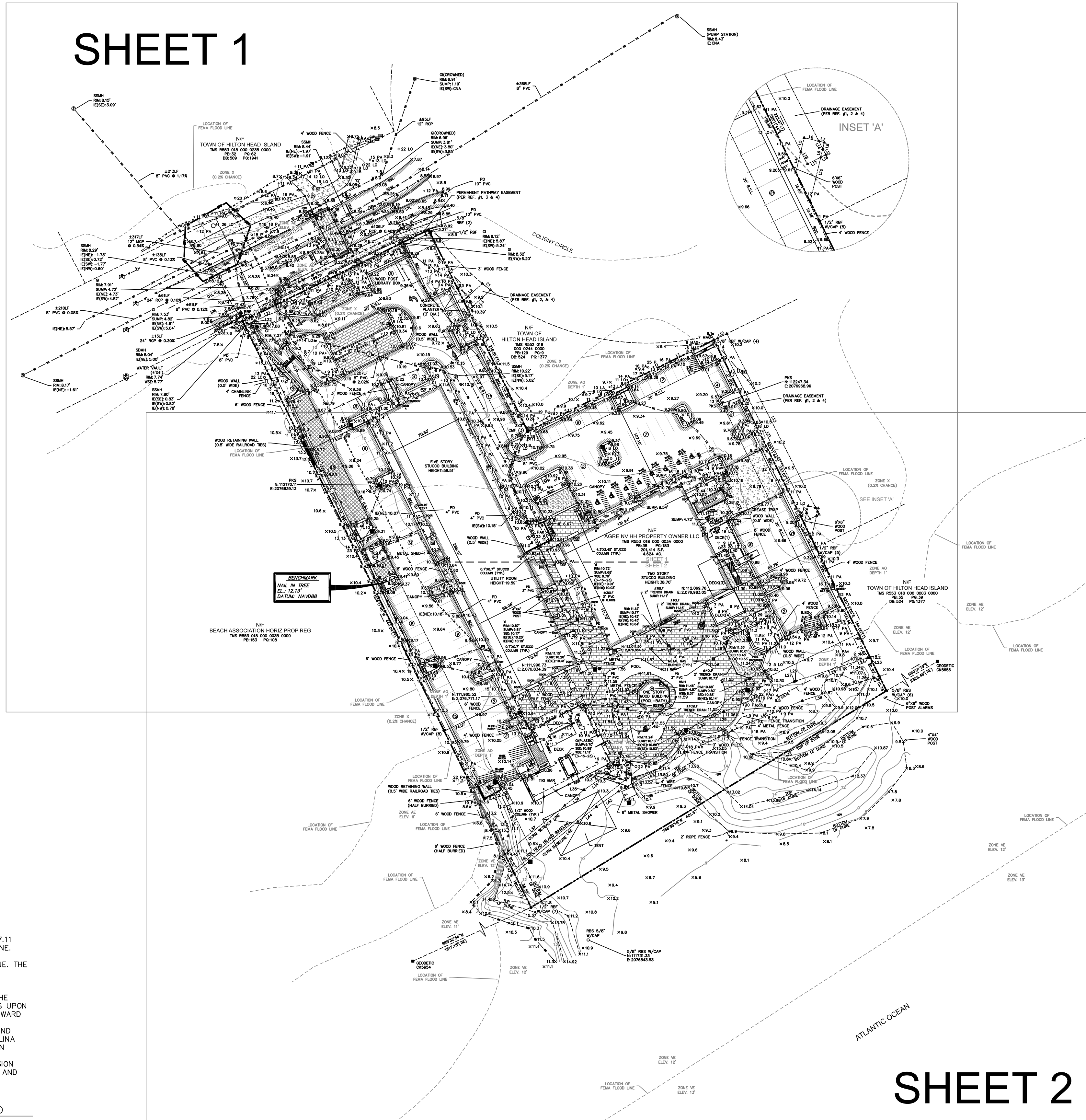
- NOTES:**
1. Refer to Sheet L4-001 for Irrigation Schedule and Notes.
 2. Refer to Sheet L4-101 for Irrigation Plan
 3. Refer to Sheets L4-401 & L4-402 for Irrigation Details.
 4. Refer to Book Specifications for Irrigation Specifications.

The original size of this drawing is 30"x42" Copyright © 2016 WATG. All rights reserved.

LINE	BEARING	DISTANCE
L1	N63°50'47" E	200.10
L2	N48°08'32" E	24.37
L3	S48°08'32" W	29.09
L4	N13°23'54" E	10.41
L5	N13°23'54" E	6.84
L6	S76°36'06" E	7.31
L7	S76°36'06" E	2.69
L8	S13°23'54" W	3.16
L9	S13°23'54" W	4.15
L10	S13°23'54" W	22.03
L11	N27°03'20" W	188.99
L12	N63°50'47" E	10.00
L13	S27°03'20" E	188.36
L14	S27°03'20" E	4.15
L15	S27°03'20" E	3.16
L16	S62°36'40" W	2.69
L17	S62°36'40" W	7.31
L18	N27°03'20" W	6.84
L19	S62°36'40" W	105.26
L20	S65°05'15" W	32.35
L21	S65°39'06" W	24.53
L22	S64°27'02" W	10.09
L23	S73°42'01" W	1.90
L24	S72°38'16" W	0.51
L25	S72°41'31" W	72.75
L26	S71°07'16" W	0.78
L27	S68°25'46" W	1.10
L28	S65°51'37" W	73.41
L29	S65°43'22" W	0.79
L30	S64°33'38" W	48.65
L31	S62°22'03" W	0.98
L32	S60°05'51" W	76.38
L33	S57°52'58" W	1.53
L34	S55°40'43" W	26.53
L35	S53°20'37" W	0.51
L36	S50°54'57" W	23.47
L37	S50°51'14" W	74.55
L38	S73°42'01" W	5.39
L39	S72°41'31" W	72.75
L40	S65°51'31" W	73.41
L41	S64°35'12" W	48.08
L42	S65°08'55" W	76.35
L43	S55°40'43" W	25.96
L44	S50°54'57" W	22.87
L45	S50°51'14" W	79.13

NORTH
SC GRID (NAD 83)
(2011)

SHEET 1



LABEL	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	228.77	10.15	10.15	S51°35'01" E	232°32'
C2	63.94	4.73	4.73	S65°02'01" W	414°23'
C3	14.00	27.11	23.07	S59°37'11" W	110°57'36"

EXTERIOR DOOR FINISHED FLOOR ELEVATIONS
FFE-EX: EXTERIOR FINISHED FLOOR ELEVATION
FFE-IN: INTERIOR FINISHED FLOOR ELEVATION

LOT CORNERS STATE PLANE COORDINATES

- DOOR-A:
FFE-EX: 11.37'
FFE-IN: 11.38'
- DOOR-B:
FFE-EX: 11.02'
FFE-IN: 11.03'
- DOOR-C:
FFE-EX: 10.79'
FFE-IN: 10.83'
- DOOR-D:
FFE-EX: 11.24'
FFE-IN: 11.29'
- DOOR-E:
FFE-EX: 11.06'
FFE-IN: 11.11'
- DOOR-F:
FFE-EX: 11.07'
FFE-IN: 11.12'
- DOOR-G:
FFE-EX: 11.11'
FFE-IN: 11.14'
- DOOR-H:
FFE-EX: 11.12'
FFE-IN: 11.15'
- DOOR-I:
FFE-EX: 11.21'
FFE-IN: 11.24'
- DOOR-J:
FFE-EX: 11.13'
FFE-IN: 11.14'
- DOOR-K:
FFE-EX: 11.07'
FFE-IN: 11.07'
- DOOR-L:
FFE-EX: 11.00'
FFE-IN: 11.00'
- DOOR-M:
FFE-EX: 10.95'
FFE-IN: 10.95'
- DOOR-N:
FFE-EX: 10.76'
FFE-IN: 10.85'
- DOOR-O:
FFE-EX: 11.13'
FFE-IN: 11.18'
- DOOR-P:
FFE-EX: 11.11'
FFE-IN: 11.15'
- DOOR-Q:
FFE-EX: 11.32'
FFE-IN: 11.33'
- DOOR-R:
FFE-EX: 11.18'
FFE-IN: 11.18'
- DOOR-S:
FFE-EX: 11.49'
FFE-IN: 11.54'
- DOOR-T:
FFE-EX: 11.40'
FFE-IN: 11.41'
- DOOR-U:
FFE-EX: 11.40'
FFE-IN: 11.42'
- DOOR-V:
FFE-EX: 11.38'
FFE-IN: 11.45'
- DOOR-W:
FFE-EX: 11.37'
FFE-IN: 11.37'
- DOOR-X:
FFE-EX: 11.25'
FFE-IN: 11.26'
- DOOR-Y:
FFE-EX: 11.25'
FFE-IN: 11.36'
- DOOR-Z:
FFE-EX: 11.42'
FFE-IN: 11.44'
- DOOR-MAIN:
FFE-EX: 11.05'
FFE-IN: 11.05'

MISC. DECKS & STRUCTURES
(FFE'S & BUILDING ELEVATIONS)

- 1. N: 112,328.09
E: 2,076,510.25
- 2. N: 112,416.33
E: 2,076,689.63
- 3. N: 112,221.79
E: 2,076,785.33
- 4. N: 112,309.99
E: 2,076,964.94
- 5. N: 112,109.83
E: 2,077,063.41
- 6. N: 111,971.65
E: 2,077,131.40
- 7. N: 111,762.76
E: 2,076,786.44
- 8. N: 111,933.24
E: 2,076,704.51

BEACH MANAGEMENT ACT DISCLOSURE STATEMENT

THE SETBACK LINE IS 36.05 LANDWARD FEET TO 57.11 LANDWARD FEET FROM THE SEAWARD PROPERTY LINE. THE BASE LINE IS 15.75 LANDWARD FEET TO 36.59 LANDWARD FEET FROM THE SEAWARD PROPERTY LINE. THE VELOCITY ZONE, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT ACT, IS LOCATED APPROXIMATELY 53.54 LANDWARD FEET TO 110.58 LANDWARD FEET IN RELATION TO THE PROPERTY. THE SEAWARD CORNERS OF THE HABITABLE STRUCTURES UPON THIS PROPERTY, IF ANY ARE LOCATED 182.87 LANDWARD TO 176.61 LANDWARD FEET FROM THE LINE, WHICH CORNERS ARE LOCATED N11965.52, E2076771.17 AND N111998.73, E2076834.39 UNDER THE SOUTH CAROLINA PLANE COORDINATE SYSTEM. THE PROPERTY HAS AN ANNUAL EROSION RATE OF 3.62 FEET PER YEAR. ACCORDING TO THE MOST RECENTLY ADOPTED EROSION RATES OF THE SOUTH CAROLINA OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT.

TOWN OF HILTON HEAD ISLAND LMO SECTION 16.5-112.B DISCLOSURE STATEMENT

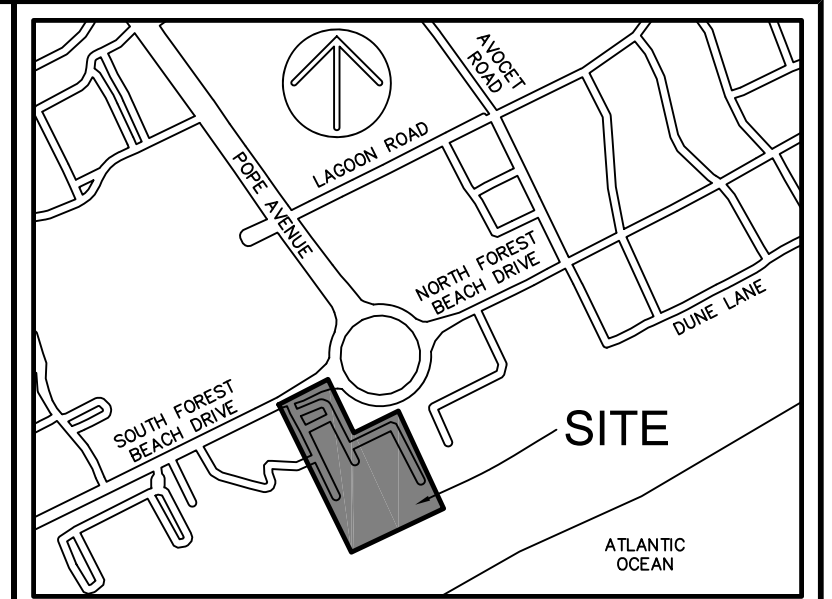
SOME OR ALL AREAS ON THIS PLAT ARE FLOOD HAZARD AREAS AND HAVE BEEN IDENTIFIED AS HAVING AT LEAST A ONE PERCENT CHANCE OF BEING FLOODED IN ANY GIVEN YEAR BY RISING TIDAL WATERS ASSOCIATED WITH POSSIBLE HURRICANES. LOCAL REGULATIONS REQUIRE THAT CERTAIN FLOOD HAZARD PROTECTIVE MEASURES BE INCORPORATED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES IN THESE DESIGNATED AREAS. REFERENCE SHALL BE MADE TO THE DEVELOPMENT COVENANTS AND RESTRICTIONS OF THIS DEVELOPMENT AND REQUIREMENTS OF THE TOWN BUILDING OFFICIAL. IN ADDITION, FEDERAL LAW REQUIRES MANDATORY PURCHASE OF FLOOD INSURANCE AS A PREREQUISITE TO FEDERALLY INSURED MORTGAGE FINANCING IN THESE DESIGNATED FLOOD HAZARD AREAS.

SHEET 2

SURVEY DATA
TOTAL AREA: 4.624 ACRES
ERROR OF FLAT CLOSURE: 1 IN 207,348
ERROR OF FIELD CLOSURE: 1 IN 241,845
ANGULAR ERROR: 1.3" PER ANGLE POINT
ADJUSTED BY: NO ADJUSTMENT
EQUIPMENT USED: TOPCON PS ROBOTIC TOTAL STATION
FIELD WORK COMPLETED ON: 05-10-2023

LEGEND

- ▲ CALC POINT - CORNER NOT SET
- CMF ■ CONC. MONUMENT FOUND
- PKS ○ PK NAIL SET
- RFB ● IRON REBAR FOUND
- RBS ○ 5/8" IRON REBAR SET W/CAP
- AC AIR CONDITIONING UNIT
- BP BACK FLOW PREVENTER
- BOLLARD
- CB CABLE JUNCTION BOX
- CM COMMUNICATIONS MANHOLE
- CP CONTROL PANEL
- EO ELECTRIC OUTLET
- ES ELECTRIC STUBOUT
- FD FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FB FIBER OPTIC BOX
- FP FLAG POLE
- GI GRATE INLET
- GL GROUND LIGHT
- GT GAS TANK
- GV GAS VALVE
- HP HANDICAP PARKING
- IC IRRIGATION CONTROL VALVE
- IP LIGHT POLE
- SD STORM DRAIN MANHOLE
- SE SPOT ELEVATION
- SG SIGN
- SP SPIGOT
- SSC SANITARY SEWER CLEAN OUT
- SM SANITARY SEWER MANHOLE
- TF TRAFFIC SIGNAL BOX
- TP TRAFFIC SIGNAL POLE
- TJ TELEPHONE JUNCTION BOX
- TB TELEPHONE BOX
- TE TRANSFORMER-ELECTRIC
- UF UNDERGROUND FIBER OPTICS MARKER
- WM WATER METER
- WMH WATER MANHOLE
- WV WATER VALVE
- P POST
- YI YARD INLET
- TC TRASH CAN
- NP NUMBER OF PARKING SPACES
- HOL HOLLY
- LA LAUREL OAK
- LO LIVE OAK
- MAG MAGNOLIA
- P PINE
- PA PALMETTO
- BOC BACK OF CURB
- BSL BUILDING SETBACK LINE
- CMP CORRUGATED METAL PIPE
- CNA COULD NOT ACCESS/ACQUIRE
- FFE FINISHED FLOOR ELEVATION
- IE INVERT ELEVATION
- PD PIPE DIRECTION
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- OCRM OCEAN & COASTAL RESOURCE MANAGEMENT
- DWS DETECTABLE WARNING SURFACE
- WSE WATER SURFACE ELEVATION
- DYL DOUBLE YELLOW LINE (SOLID)
- SBA STOP BAR
- SBL SINGLE BLUE LINE (SOLID)
- SDWL SINGLE DASHED WHITE LINE
- SWL SINGLE WHITE LINE (SOLID)
- SYL SINGLE YELLOW LINE (SOLID)
- CONTOUR LINE
- BB BOTTOM OF BANK
- FL FENCE LINE
- HR HANDRAIL
- TR TOP OF BANK
- TCY TREE CANOPY
- UD UNDERGROUND DRAINAGE LINE
- UE UNDERGROUND ELECTRIC LINE
- UFO UNDERGROUND FIBER OPTICS LINE
- UG UNDERGROUND GAS LINE
- US UNDERGROUND SEWER LINE
- UT UNDERGROUND TELEPHONE
- TV UNDERGROUND TV LINE
- UW UNDERGROUND WATER LINE
- BRICK
- CONCRETE
- DETECTABLE WARNING SURFACE
- EDGE OF PAVEMENT
- EDGE OF PAVEMENT (PERVIOUS)
- GRAVEL



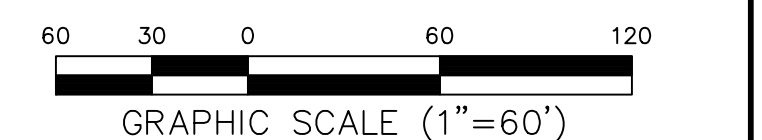
VICINITY MAP NOT TO SCALE

NOTES

- FULL LEGEND, LINE & CURVE TABLES, AND SURVEY DATA ARE LOCATED ON COVER SHEET.
- THIS PARCEL APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X (0.2% CHANCE), AE (ELEVATION 9'), A0 (DEPTH 1'), AND VE (ELEVATION 12'). DUAL COMMUNITIES 450025 (BEAUFORT COUNTY UNINCORPORATED AREAS) AND 450250 (TOWN OF HILTON HEAD ISLAND) MAP NUMBER 4503C0444G, HAVING AN EFFECTIVE DATE OF MARCH 23, 2021.
- CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
- VERTICAL DATUM IS NAVD 88.
- BUILDING SETBACKS AND BUFFERS ARE PER THE TOWN OF HILTON HEAD, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
- THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustical EVIDENCE AS OF MAY 11, 2023. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02, "THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER."

REFERENCES

- PLAT BOOK: 136 PAGE: 75
- PLAT BOOK: 129 PAGE: 9
- PLAT BOOK: 145 PAGE: 1
- AN ALTA/NPS LAND TITLE SURVEY OF THE BEACH HOUSE, A HOURLY RESORT, AT #1 SOUTH FOREST BEACH, A SECTION OF FOREST BEACH, TOWN OF HILTON HEAD ISLAND
DATE: 10/25/2021
DATE: 02/28/2022 (REVISED)
BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059



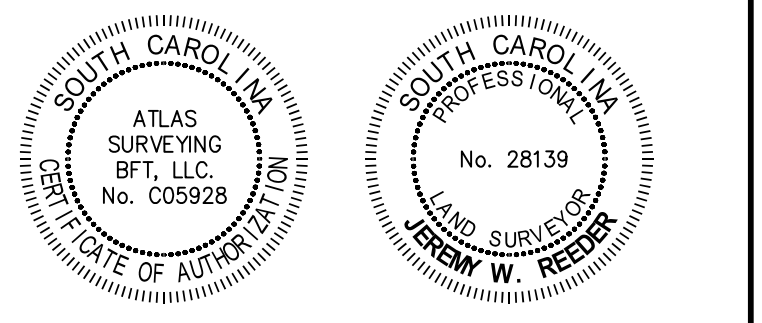
PREPARED FOR:
ROBERTS CIVIL ENGINEERING, LLC.
AN AS-BUILT / TREE AND TOPOGRAPHIC SURVEY OF
#1 SOUTH FOREST BEACH DRIVE

TAX PARCEL No. R553 018 000 003A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JLG
FIELD CHECK: JMS
DRAWN BY: JHU 06-05-2023
SCALE: 1"=60'
PROJECT No.: BFT-22206
FILE: BFT-22206_ATL.DWG

COVER SHEET

ATLAS SURVEYING, INC.

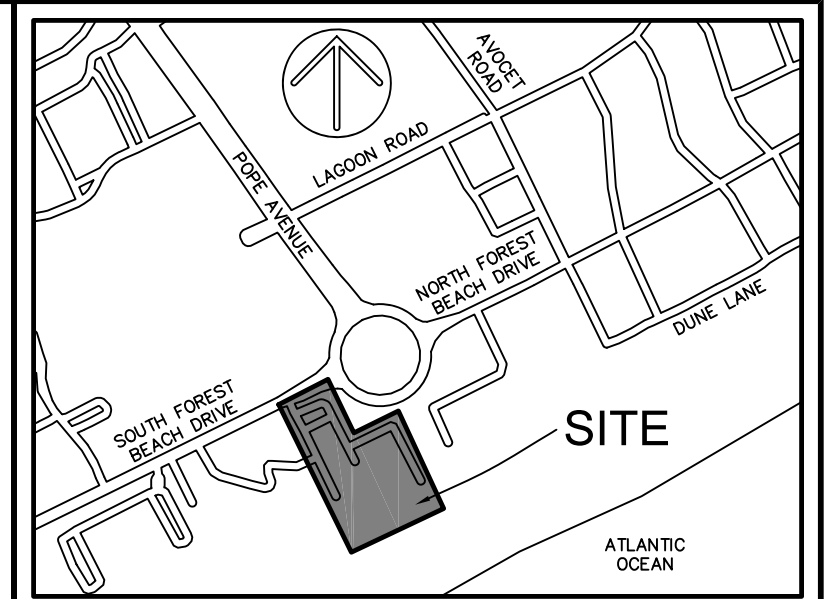
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



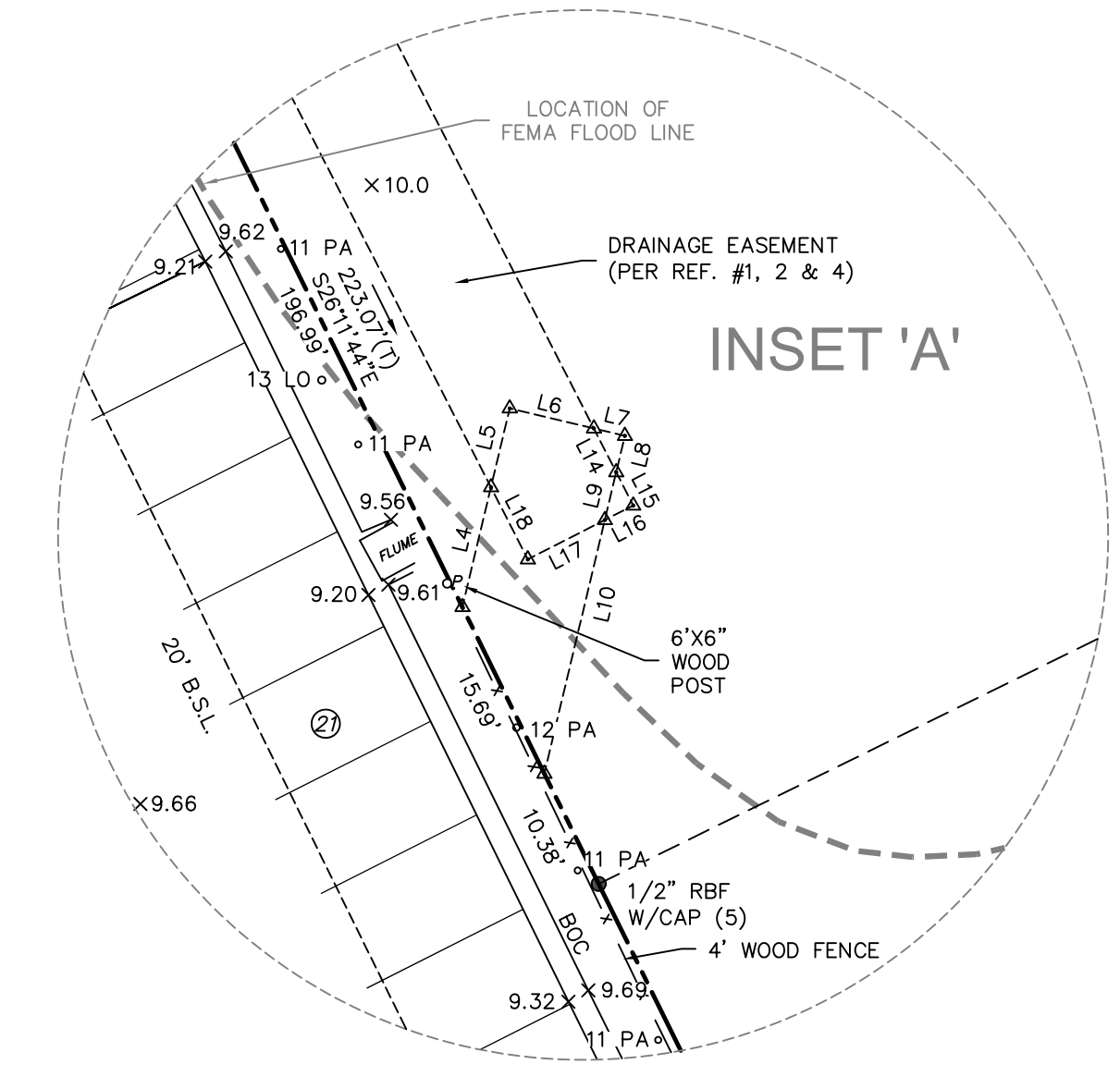
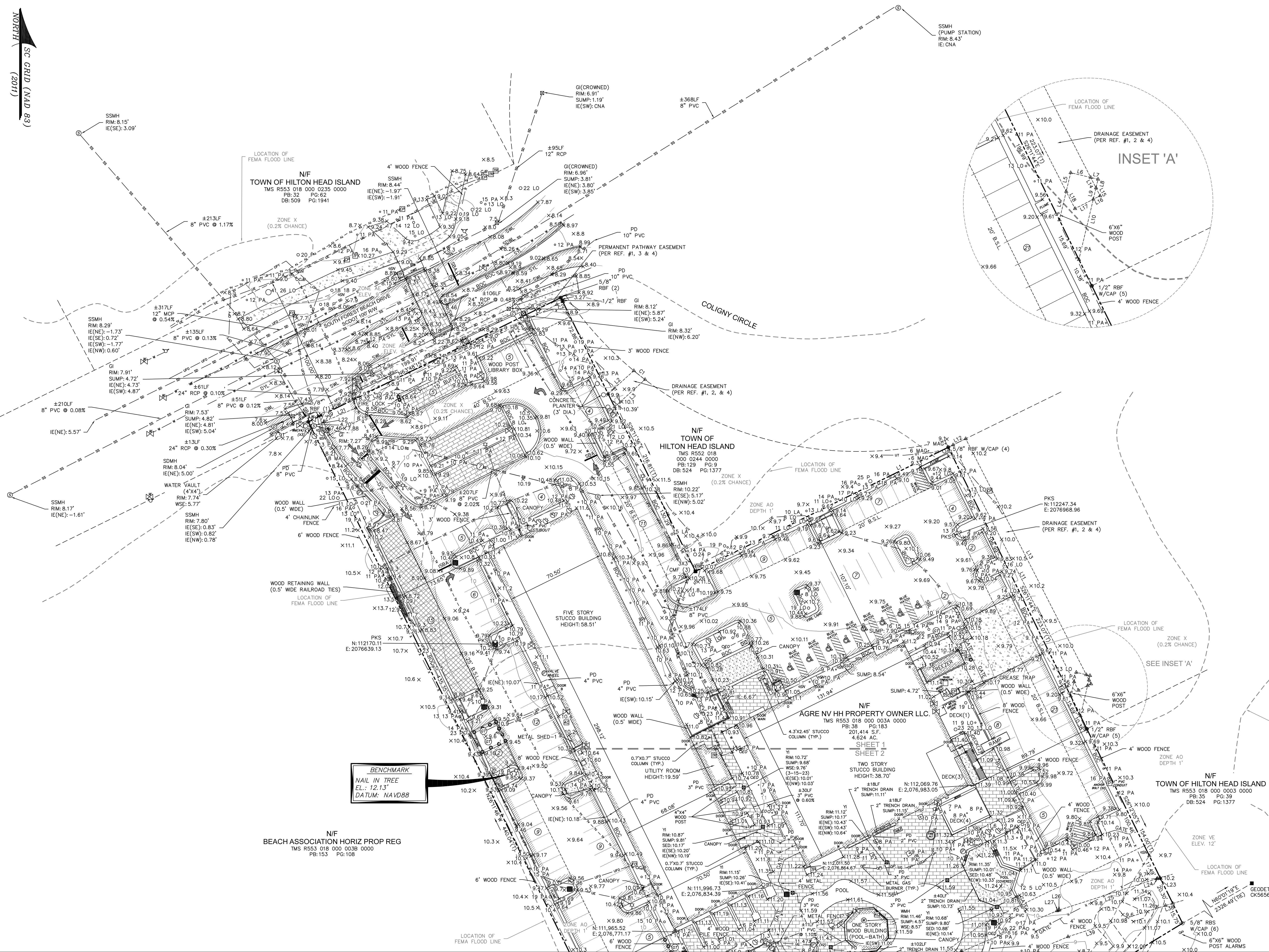
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL

SC GRID (NAD 83)
(2011)

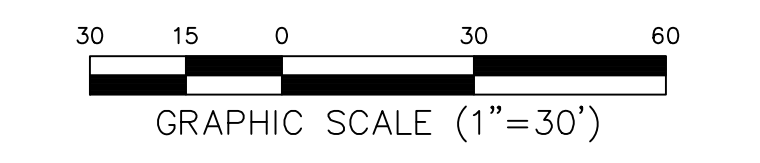


VICINITY MAP NOT TO SCALE



- NOTES
1. FULL LEGEND, LINE & CURVE TABLES, AND SURVEY DATA ARE LOCATED ON COVER SHEET.
 2. THIS PARCEL APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X (0.2% CHANCE), AE (ELEVATION 9'), AD (DEPTH 1'), AND VE (ELEVATION 12'). DUAL COMMUNITIES 450025 (BEAUFORT COUNTY UNINCORPORATED AREAS) AND 450250 (TOWN OF HILTON HEAD ISLAND) MAP NUMBER 4501300446, HAVING AN EFFECTIVE DATE OF MARCH 23, 2021
 3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
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 5. BUILDING SETBACKS AND BUFFERS ARE PER THE TOWN OF HILTON HEAD, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
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 7. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustical EVIDENCE AS OF MAY 11, 2023. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02, THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.

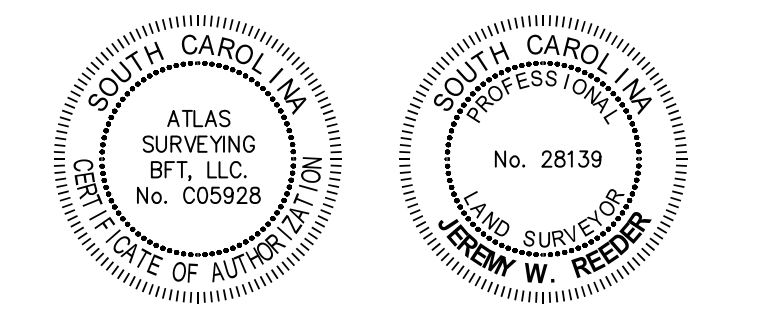
- REFERENCES
1. PLAT BOOK:136 PAGE:75
 2. PLAT BOOK:129 PAGE:9
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PREPARED FOR:
ROBERTS CIVIL ENGINEERING, LLC.
AN AS-BUILT / TREE AND TOPOGRAPHIC SURVEY OF
#1 SOUTH FOREST BEACH DRIVE

TAX PARCEL No. R553 018 000 003A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JLG
DRAWN BY: JHU
DATE: 06-05-2023
SCALE: 1"=30'
PROJECT No.: BFT-2208
FILE: BFT-2208 AT.DWG
SHEET 1 OF 2

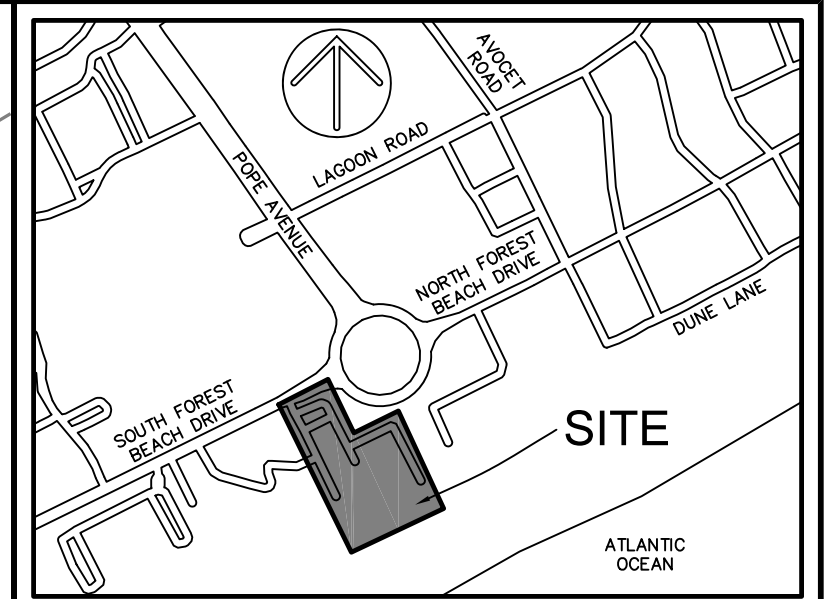
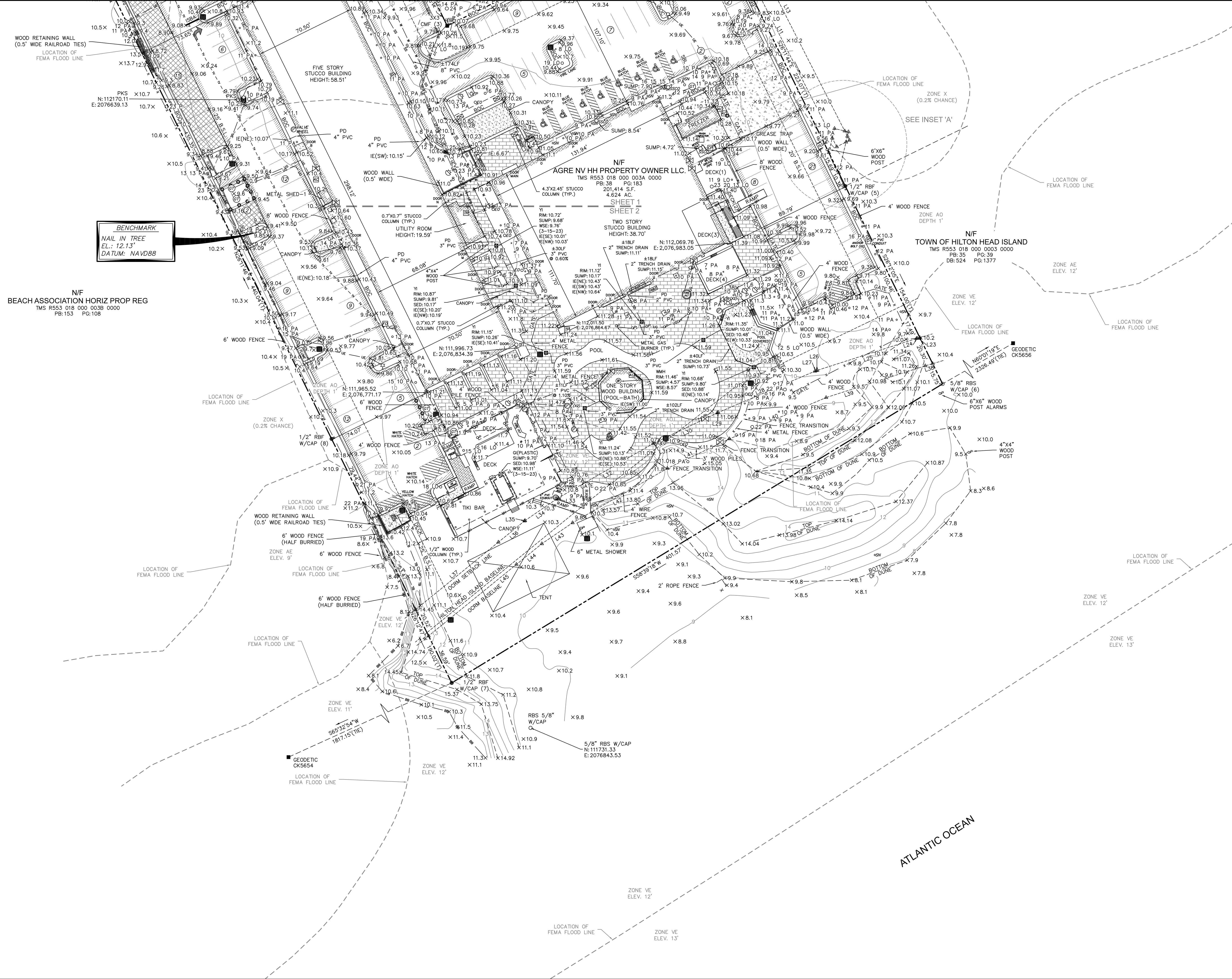
ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



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JEREMY W. REEDER
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NOT VALID UNLESS CRIMPED WITH SEAL

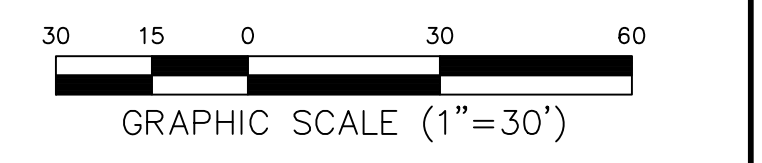
SC GRID (NAD 83)
(2011)



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 5. BUILDING SETBACKS AND BUFFERS ARE PER THE TOWN OF HILTON HEAD, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 6. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 7. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACQUISITIVE EVIDENCE AS OF MAY 11, 2023. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.

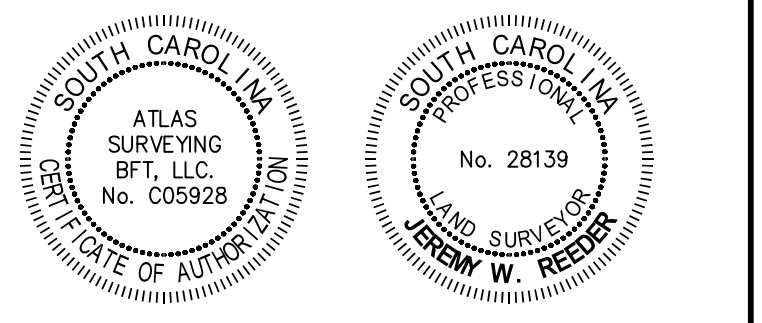
- REFERENCES
1. PLAT BOOK: 136 PAGE: 75
 2. PLAT BOOK: 129 PAGE: 9
 3. PLAT BOOK: 145 PAGE: 1
 4. AN ALTA/NPS LAND TITLE SURVEY OF THE BEACH HOUSE, A HOLIDAY INN RESORT, AT #1 SOUTH FOREST BEACH, A SECTION OF FOREST BEACH, TOWN OF HILTON HEAD ISLAND
DATE: 10/25/2021
DATE: 02/28/2022 (REVISED)
BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059



PREPARED FOR:
ROBERTS CIVIL ENGINEERING, LLC.
AN AS-BUILT / TREE AND TOPOGRAPHIC SURVEY OF

#1 SOUTH FOREST BEACH DRIVE
TAX PARCEL No. R553 018 000 003A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JLG
FIELD CHECK: JMS
DRAWN BY: JHU
DATE: 06-05-2023
SCALE: 1"=30'
PROJECT No.: BFT-22208
FILE: BFT-22208_AT1.DWG
SHEET 2 OF 2

ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM

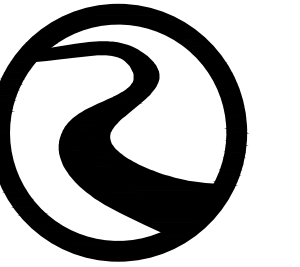


I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRAMPED WITH SEAL



client



ROBERTS CIVIL ENGINEERING
consultant

stamp | approval

REVISIONS

Beach House
HILTON HEAD ISLAND

GENERAL NOTES

DATE: 07.11.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV



Know what's below.
Call before you dig.

sheet no.

GENERAL NOTES:

- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
- PERMITS NECESSARY FOR CONSTRUCTION SHALL BE OBTAINED BY CONTRACTOR.
- DEVIATIONS FROM PLANS ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
- CONTRACTOR IS TO IMMEDIATELY CONTACT ENGINEER IF ANY UNFORESEEN CONDITIONS OR DISCREPANCIES OCCUR.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF UTILITIES ON SITE WITH APPROPRIATE PROVIDER (I.E., POWER, PHONE, CABLE, ETC.).
- ENGINEER IS NOT RESPONSIBLE FOR PHYSICAL CONSTRUCTION OF SITE.
- CONTRACTOR SHALL MAINTAIN A SAFE SITE AND MEET APPROPRIATE REGULATIONS CONCERNING SAFETY.
- SURVEY DATA PROVIDED BY ATLAS SURVEYING, INC.
 - DATE OF SURVEY 06-20-2022
 - SURVEYOR PROJECT OR FILE NO. BFT-22206
- EXISTING SURVEY INFORMATION TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF DISCREPANCIES IN FIELD OBSERVATIONS VERSUS SURVEY DATA.
- CONTRACTOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION BY CALLING "CALL BEFORE YOU DIG" HOTLINE: 811.
- ACCORDING TO FEMA FLOOD INSURANCE RATEMAPS 45013C0444G DATED 3/23/2021, SITE IS LOCATED IN 100 YEAR FLOODPLAIN IN ZONE AO (DEPTH 1) AND ZONE X (0.2% ANNUAL CHANCE FLD HZRD).
- HORIZONTAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE NAD83. VERTICAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE NAVD88.

ADA NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADHERING TO CURRENT ADA REQUIREMENTS.
- EXTERIOR ACCESSIBLE ROUTE SHALL HAVE A MINIMUM WIDTH OF 3 FEET. IF ACCESSIBLE ROUTE CLEAR WIDTH IS LESS THAN 5 FEET, THEN 5'X5' PASSING SPACES SHALL BE PROVIDED EVERY 200' OR LESS. INTERSECTING SIDEWALKS MEET THIS REQUIREMENT.
- FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS SHALL MEET FOLLOWING:
 - 0 - 1/4" NO REQUIREMENTS.
 - 1/4" - 1/2" BEVEL WITH 1:2 SLOPE.
 - GREATER THAN 1/2" CONFORM TO RAMP REQUIREMENTS.
- RAMPS SHALL MEET FOLLOWING CONSTRAINTS:
 - MAX SLOPE 1:12
 - MAX RAMP RISE IS 30"
 - MAX RAMP LENGTH IS 30'
 - MAX CROSS SLOPE IS 2.00%.
- RAMP LANDINGS SHALL MEET FOLLOWING CONSTRAINTS:
 - A MINIMUM 5' LONG LEVEL LANDING AT LEAST AS WIDE AS RAMP SHALL BE PLACED AT TOP AND BOTTOM OF RAMP.
 - LANDING SHALL BE MINIMUM 5'X5' WHERE RAMP CHANGES DIRECTION.
 - LANDINGS SHALL NOT EXCEED A 2.00% SLOPE.
- HANDRAILS SHALL MEET FOLLOWING CONSTRAINTS:
 - IF RAMP RISE IS GREATER THAN 6", THEN HANDRAILS ARE REQUIRED ON BOTH SIDES OF RAMP.
 - MINIMUM OF 12" LONG HANDRAIL EXTENSIONS SHALL BE PROVIDED AT TOP AND BOTTOM OF LANDINGS.

PROJECT NOTES:

- OWNER / DEVELOPER:
 - NAME: BEACH HOUSE RESPORT OWNER, LLC
 - CONTACT: JILL LEKSTUTTIS, 908-463-7474, 908-463-7474
 - ADDRESS: 444 MADISON AVENUE #14, NEW YORK, NY 10022
- COUNTY NAME AND PARCEL / TAX MAP NUMBER(S): ##### / #####
- ZONING CLASSIFICATION: RD - RESORT DEVELOPMENT

SITE DATA

- ZONING DISTRICT - RD
- OVERLAY DISTRICT - COR, TA-O, CPA-O, CRITICAL STORM PROTECTION AND DUNE ACCRETION AREA
- USE OF PROPERTY - RESORT ACCOMMODATIONS
- GROSS SITE ACRES - 4.624 ACRES (201,413.77 SF)
- NET SITE ACRES (GROSS ACRES-TOTAL WETLANDS) - 4.624 ACRES
- ALLOWED TOTAL DENSITY (GFA/NET ACRES) - 8,000 GFA/ACRE
HILTON HEAD ISLAND, SOUTH CAROLINA - LAND MANAGEMENT ORDINANCE, CHAPTER 16-3 - ZONING DISTRICTS, L, RESORT DEVELOPMENT (RD) DISTRICT, 3, DEVELOPMENT FORM AND PARAMETERS; MAX. DENSITY (PER NET ACRE), NONRESIDENTIAL, 8,000 GFA)
- PROPOSED DENSITY (GFA/NET ACRES) - 7,994 GFA/ACRE (36,987 GFA/4,624 ACRES)
- EXISTING BUILDING SQUARE FOOTAGE - 36,441 SF (14,844 SF + 20,820 SF + 777 SF)
UNIT 1 + UNIT 2 + EXISTING BATHROOM/POOL
- PROPOSED BUILDING SQUARE FOOTAGE - 1,303 SF (526 SF+777 SF)
KITCHEN + BATHROOM/POOL
- TOTAL SQUARE FOOTAGE (BUILDING) - 36,967 SF (14,844 SF + 20,820 SF + 526 SF+777 SF)
UNIT 1 + UNIT 2 + KITCHEN + BATHROOM/POOL
- MAXIMUM BUILDING HEIGHT ALLOWED - 75 FEET
- PROPOSED BUILDING HEIGHT - UNIT 2 - 5 STORY STUCCO BUILDING 47.9' (+/-) HIGH, UNIT 1 + 2 STORY STUCCO BUILDING 20' (+/-)
- MAXIMUM ALLOWED IMPERVIOUS AREA AND PERCENTAGE (MAX ALLOWED IS 50%) - 100,710 SF (50%)
- a. CURRENT IMPERVIOUS AREA AND PERCENTAGE - 108,743 SF (54%)
(108,743 SF /201,421 SF)
- b. PROPOSED IMPERVIOUS AREA AND PERCENTAGE - 108,733 (54%)
(108,733 SF /201,421 SF)
- MINIMUM NUMBER OF PARKING SPACES REQUIRED (1 PER EVERY GUEST ROOM) - 202
- EXISTING NUMBER OF PARKING SPACES ON SITE - 199 (INCL. 9 HC SPACES)
- AREA OF DISTURBANCE - 1.03 (AC.)

EARTHWORK AND PAVING:

- UPPER 12 INCHES OF SUBGRADE BELOW PAVEMENT AND BUILDINGS SHALL BE SCARIFIED AND RECOMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- CONTRACTOR TO PROVIDE TEST RESULTS OF SUBGRADE AND BASE COURSE COMPACTION TO ENGINEER INCLUDING VOLUME ESTIMATES OF ANY UNSUITABLE SOILS TO BE REMOVED AND REPLACED THAT WERE IDENTIFIED DURING COMPACTION OPERATIONS PER ITEM NO. 1 ABOVE. IF ANY, CONTRACTOR SHALL NOT PROCEED WITH OVER-EXCAVATION AND REPLACEMENT OF UNSUITABLE SOILS WITHOUT WRITTEN AUTHORIZATION FROM ENGINEER OR OWNER.
- FOR APPROVED AREAS OF OVER-EXCAVATION AND REPLACEMENT, CONTRACTOR TO REMOVE IDENTIFIED UNSUITABLE MATERIAL TO A DEPTH OF 3 FEET AND REPLACE WITH STRUCTURAL FILL.
- IN AREAS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN LIFTS OF 6 INCHES AND BE COMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY. STRUCTURAL FILL SHALL CONSIST OF GRANULAR SOIL CONTAINING LESS THAN 10% MATERIAL PASSING THE NO.200 SIEVE.
- EXCAVATION AND FILL SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITIES.

GRADING & DRAINAGE NOTES:

- STORM PIPES SHALL BE JOINED PER DOT SPECIFICATIONS.
- PIPING SHALL BE INSTALLED IN NEW CONDITION.
- A RIGHT-OF-WAY WORK PERMIT MAY BE REQUIRED BEFORE ANY WORK CAN BE DONE IN RIGHT-OF-WAY.
- STORM DRAINAGE PIPING SHALL BE CONSTRUCTED PER GA DOT SPECS.
- STORM DRAINAGE PIPING JOINTS SHALL BE WRAPPED IN FILTER FABRIC.
- CONTRACTOR TO REQUEST CONFIRMATION OF LATEST PLAN REVISION DATE FROM ENGINEER IN WRITING PRIOR TO ORDERING MATERIALS.
- IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW AND APPROVE SHOP DRAWINGS PRIOR TO ORDERING MATERIALS.

GENERAL WATER NOTES:

- PVC PIPE SHALL BE BLUE IN COLOR. PIPE 4" TO 12" SHALL CONFORM TO REQUIREMENTS OF AWWA C-900, OR 18 PRESSURE CLASS 235 PSI AND SHALL HAVE FOLLOWING MINIMUM WALL THICKNESS:
 - 4" DIA - 0.287"
 - 6" DIA - 0.383"
 - 8" DIA - 0.503"
 - 10" DIA - 0.617"
 - 12" DIA - 0.733"
 PIPE LESS THAN 4" IN DIAMETER SHALL CONFORM TO ASTM D-1784 AND D-2241 (SDR 21). PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSI. PVC PIPE SHALL BEAR NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL.
- FITTINGS FOR PVC SHALL BE DUCTILE IRON IN ACCORDANCE WITH ANSI A-21.53 (AWWA C-153). FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI A-21.4 (AWWA C-104). FITTINGS LESS THAN 4" SHALL BE PVC WITH RING TITE RUBBER JOINTS CONFORMING TO ASTM D-3139.
- VALVES SHALL BE INSTALLED IN APPROVED UNDERGROUND VALVE BOXES OF DUCTILE IRON WITH A SUITABLE CRUSHING STRENGTH FOR LOCATION INSTALLED.
- MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN ANY EXISTING OR PROPOSED WATER MAIN AND SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE.
- WHEN A 10' HORIZONTAL SEPARATION CANNOT BE MAINTAINED, WATER MAIN MAY BE LAID CLOSER TO SEWER PROVIDED THAT WATER MAIN IS LAID IN A SEPARATE TRENCH AT LEAST 18" ABOVE TOP OF SEWER.
- WATER CROSSING A SEWER SHALL BE AT LEAST 18" ABOVE TOP OF SEWER. A FULL LENGTH (SECTION) OF WATER PIPE SHALL BE USED AT THESE CROSSINGS WITH ENDS OF WATER PIPE SECTION AS FAR AWAY FROM SEWER AS POSSIBLE.
- VERIFY SIZE AND LOCATION OF WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS.
- IF UTILITY CONFLICT IS ENCOUNTERED IN FIELD, SEE UTILITY CONFLICT DETAIL.

GENERAL SEWER NOTES:

- PVC PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC (PVC) AND SHALL MEET REQUIREMENTS OF ASTM D 3034 SDR 26. DEPTHS LESS THAN 3' SHALL BE DUCTILE IRON PIPE. ASTM D 2321 MUST BE FOLLOWED FOR INSTALLATION OF PVC PIPE. RUBBER RINGS SHALL BE USED FOR CONTRACTION AND EXPANSION AT EACH JOINT. FITTINGS SHALL MEET SAME SPECIFICATION REQUIREMENTS AS PIPE. TESTS ON PVC PIPE SHALL BE DESIGNED TO PASS TESTS AT 73° F. PIPE STANDARD LENGTHS SHALL BE 12.5' (PLUS OR MINUS 1"). PIPE SIZES AND DIMENSIONS SHALL BE AS SHOWN IN THE TABLE BELOW.

NO. SIZE:	OUTSIDE DIA.:	MIN WALL THICKNESS:
4"	4.215"	0.162"
6"	6.275"	0.241"
8"	8.400"	0.323"
10"	10.500"	0.404"
12"	12.500"	0.481"

- JOINTS FOR PVC PIPE - SHALL BE INTEGRAL WALL BELL AND SPIGOT WITH A RUBBER RING GASKET. THE JOINTS SHALL CONFORM TO ASTM D 3212 AND GASKETS SHALL CONFORM TO ASTM F 477.
- PRECAST CONCRETE MANHOLES - SHALL BE REINFORCED CONCRETE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 AND DETAILS SHOWN ON PLANS. JOINTS SHALL BE TONGUE AND GROOVE SEALED WITH FLEXIBLE GASKETS OR MASTIC SEALANT. GASKETS SHALL BE O-RING OR EQUIVALENT TO TYPE A OR B "TYLOX" CONFORMING TO ASTM C 443. MASTIC SHALL BE EQUIVALENT TO "RAM-NEK" WITH PRIMER. CONTACT SURFACES OF MANHOLE JOINT SHALL HAVE PRIMER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- FRAMES AND COVERS - SHALL BE EQUIVALENT OF NEENAH FOUNDRY CO. R-1668 TYPE "C" LID
- MANHOLE STEPS - SHALL BE EQUIVALENT TO M.A. INDUSTRIES, TYPE PS-1 OF PS-2 OR IMCO REINFORCED PLASTICS, INC. MODEL FRP. STEPS SHALL BE INSTALLED AT MANHOLE FACTORY AND IN ACCORDANCE WITH RECOMMENDATIONS OF STEP MANUFACTURER.
- PIPE CONNECTIONS - SHALL HAVE FLEXIBLE WATERTIGHT JOINTS AT POINT OF ENTRY OF ANY SEWER MAIN INTO MANHOLE. JOINT SHALL BE WEDGED RUBBER SHAPE EQUIVALENT TO "PRESS WEDGE II," OR A RUBBER SLEEVE EQUIVALENT TO "KOR-N-SEAL" OR "LOCK JOINT."
- #12 GAUGE SINGLE STRAND COPPER TRACING WIRE SHALL BE USED OVER ALL FORCE MAIN, SANITARY SEWER, AND SERVICE LATERAL LINES.
- SEWER EXCAVATIONS SHALL BE TO DESIRED DEPTHS SHOWN ON PLANS WITH ADHERENCE TO OCCUPATIONAL AND SAFETY HEALTH ADMINISTRATIONS (OSHA) REGULATIONS. IN AREAS OF UNSUITABLE SOIL CONDITIONS, TRENCH MAY REQUIRE ADDITIONAL EXCAVATION AND BACKFILL WITH SAND, GRAVEL, OR CONCRETE.
- SEWER PIPES SHALL BE LAID UPGRADE WITH SPIGOTS POINTING DOWNGRADE. ASSEMBLY OF JOINTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS. SEAL OPEN ENDS OF PIPES IF INSTALLATION IS INTERRUPTED. MANHOLE CONNECTIONS SHALL BE WATER TIGHT WITH USE OF FLEXIBLE WATER STOPS AND RESILIENT CONNECTORS.
- MANHOLES SHALL HAVE A NON-SHRINK GROUT CHANNEL IN BOTTOM THAT IS SMOOTH, ROUNDED, AND SHAPED TO FACILITATE GRAVITY SEWER FLOW TOWARDS OUTGOING PIPE. CHANNEL WIDTH SHALL MATCH PIPING SIZE. INVERT OF CHANNEL SHALL BE UNIFORMLY SLOPED BETWEEN INCOMING AND OUTGOING PIPES. TOP OF BENCH SHALL MATCH TOP OF LARGEST PIPE. SLOPE TOP OF BENCH 1" PER FOOT TOWARDS CHANNEL.
- MANHOLE TOP ELEVATIONS SHALL BE GREATER THAN OR EQUAL TO FIFTY (50) YEAR FLOOD ELEVATION, UNLESS WATERTIGHT COVERS ARE PROVIDED. OUTSIDE OF PAVED AREAS, MANHOLE TOP ELEVATION SHALL BE 1" ABOVE GROUND SURFACE IN DEVELOPED AREAS AND 6" ABOVE GROUND SURFACE IN UNDEVELOPED AREAS UNLESS SHOWN OTHERWISE ON PLANS. MANHOLES IN PAVED AREAS SHALL BE BUILT AS DESIGNATED BY ENGINEER. NO LEAKS IN MANHOLES ARE ACCEPTABLE.

20' B.S.L.

PRE-DEVELOPMENT COVERAGE LEGEND

- TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
- CONCRETE
- EXISTING POOL & SPA
- EXISTING POOL EQUIP, BATH HOUSE
- EXISTING TIKI BAR ROOF
- EXISTING PAVERS
- EXISTING DECK

NOTE:
CONTRACTOR TO COORDINATE REMOVAL OF EXISTING TREES, LIGHTS, CABLE, IRRIGATION AND POWER WITH OWNER.

- LEGEND
- ▲ CALC POINT - CORNER NOT SET
 - CMF ■ CONC. MONUMENT FOUND
 - PKS ○ PK WALL SET
 - RBF ● IRON REBAR FOUND
 - RBS ○ 5/8" IRON REBAR SET W/CAP
 - AIR CONDITIONING UNIT
 - ⊞ BACK FLOW PREVENTER
 - BOLLARD
 - ⊞ CABLE JUNCTION BOX
 - ⊞ COMMUNICATIONS MANHOLE
 - ⊞ CONTROL PANEL
 - ⊞ ELECTRIC OUTLET
 - ⊞ ELECTRIC STUBOUT
 - ⊞ FIRE DEPARTMENT CONNECTION
 - ⊞ FIRE HYDRANT
 - ⊞ FIBER OPTIC BOX
 - ⊞ FLAG POLE
 - ⊞ GRATE INLET
 - ⊞ GROUND LIGHT
 - ⊞ GAS TANK
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊞ LIGHT POLE
 - ⊞ STORM DRAIN MANHOLE
 - ⊞ SPOT ELEVATION
 - ⊞ SIGN
 - ⊞ SPIGOT
 - ⊞ SANITARY SEWER CLEAN OUT
 - ⊞ SANITARY SEWER MANHOLE
 - ⊞ TRAFFIC SIGNAL BOX
 - ⊞ TELEPHONE JUNCTION BOX
 - ⊞ TELEPHONE BOX
 - ⊞ TRANSFORMER-ELECTRIC
 - ⊞ UNDERGROUND-FIBER OPTICS MARKER
 - ⊞ WATER METER
 - ⊞ WATER MANHOLE
 - ⊞ WATER VALVE
 - ⊞ POST
 - ⊞ YARD INLET
 - ⊞ TRASH CAN
 - ⊞ NUMBER OF PARKING SPACES
 - ⊞ CONTOUR LINE
 - ⊞ BOTTOM OF BANK
 - ⊞ FENCE LINE
 - ⊞ HANDRAIL
 - ⊞ TOP OF BANK
 - ⊞ TREE CANOPY
 - ⊞ UNDERGROUND DRAINAGE LINE
 - ⊞ UNDERGROUND ELECTRIC LINE
 - ⊞ UNDERGROUND FIBER OPTICS LINE
 - ⊞ UNDERGROUND GAS LINE
 - ⊞ UNDERGROUND SEWER LINE
 - ⊞ UNDERGROUND TELEPHONE
 - ⊞ UNDERGROUND TV LINE
 - ⊞ UNDERGROUND WATER LINE
 - ⊞ BRICK
 - ⊞ CONCRETE
 - ⊞ DETECTABLE WARNING SURFACE
 - ⊞ EDGE OF PAVEMENT
 - ⊞ EDGE OF PAVEMENT (PERVIOUS)
 - ⊞ GRAVEL
 - ⊞ EXISTING TREE TO BE REMOVED

WATG

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client



ROBERTS CIVIL ENGINEERING consultant

stamp | approval

REVISIONS

Beach House
HILTON HEAD ISLAND

DEMOLITION PLAN

DATE: 07.11.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV



Know what's below.
Call before you dig.

0' 20' 40'
GRAPHIC SCALE
1" = 20'

sheet no.

3

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N/F BEACH ASSOCIATION HORIZ PROP REG
TMS R553 018 000 0038 0000 PB:153 PG:108

N/F
TOWN OF HILTON HEAD ISLAND
TMS R553 018 000 0063 0000
PB:35 PG:39
DB:524 PG:1377

20' SETBACK FROM TOWN OF HHI OWNED COLIGNY BEACH ACCESS

20' SETBACK FROM TOWN OF HILTON HEAD ISLAND

20' SETBACK FROM MULTIFAMILY DEVELOPMENT

15' TYPE B BUFFER FROM MULTIFAMILY DEVELOPMENT

20' SETBACK FROM MULTIFAMILY DEVELOPMENT

20' SETBACK FROM MULTIFAMILY DEVELOPMENT

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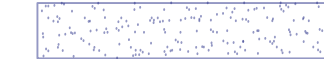




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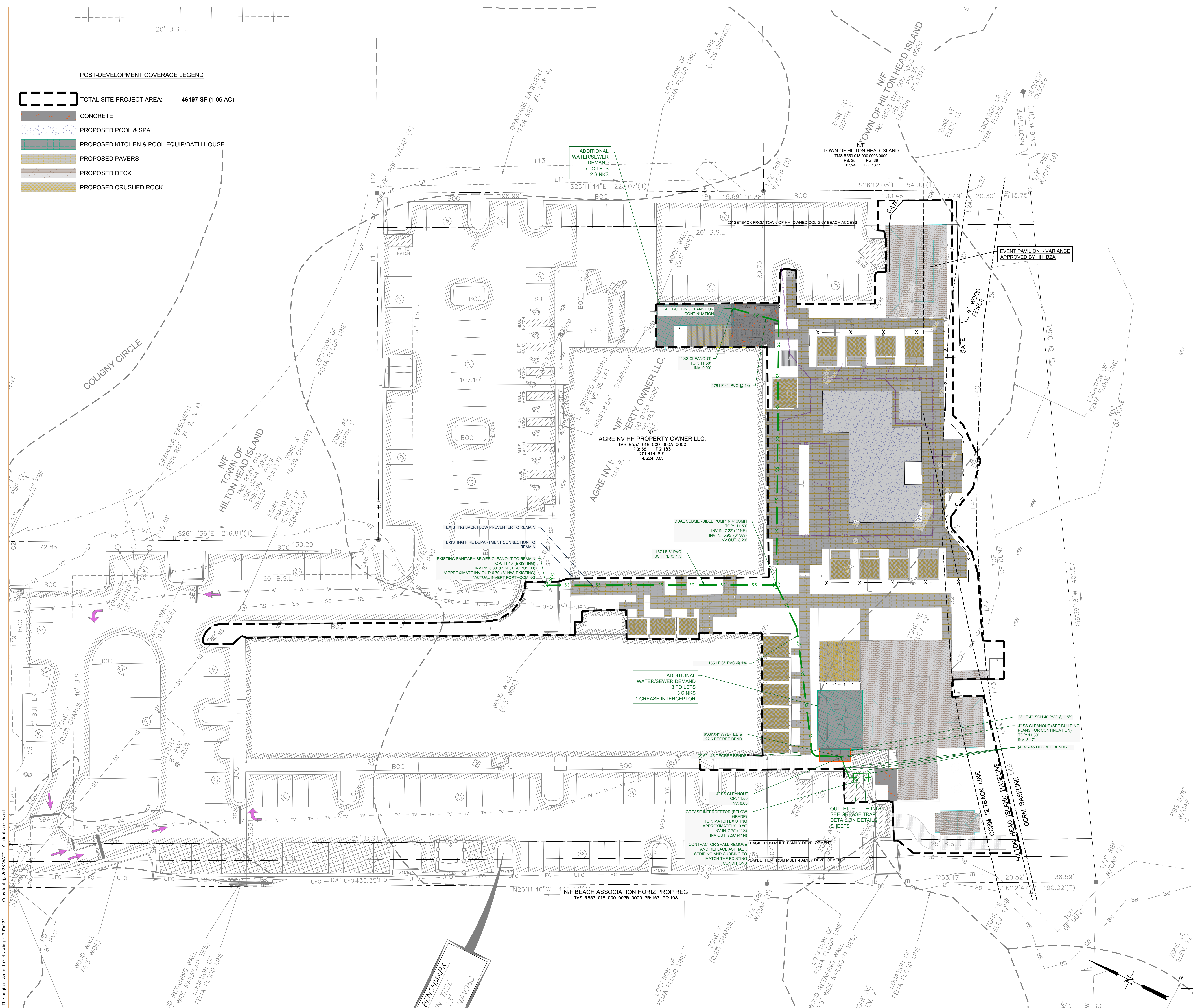
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20' SETBACK FROM MULTIFAMILY DEVELOPMENT

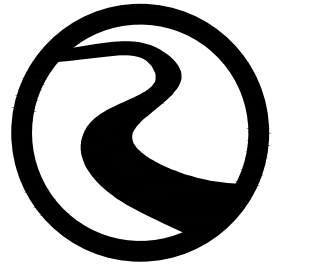
20' B.S.L.

POST-DEVELOPMENT COVERAGE LEGEND

-  TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
-  CONCRETE
-  PROPOSED POOL & SPA
-  PROPOSED KITCHEN & POOL EQUIP/BATH HOUSE
-  PROPOSED PAVERS
-  PROPOSED DECK
-  PROPOSED CRUSHED ROCK



client



ROBERTS CIVIL ENGINEERING consultant

stamp | approval

REVISIONS

Beach House HILTON HEAD ISLAND

WATER & SEWER PLAN

DATE: 07.11.2023

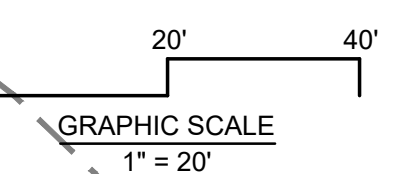
PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV



Know what's below. Call before you dig.



vertical text on the left edge of the drawing, likely a project or file path reference.

BENCHMARK IN TREE 2.13' NAVD88

N/F BEACH ASSOCIATION HORIZ PROP REG TMS R553 018 000 0038 0000 PB:153 PG:108

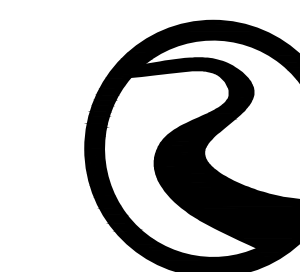
TOWN OF HILTON HEAD ISLAND TMS R553 018 000 0003 0000 PB:35 PG:38 DB:524 PG:1377

AGRE NV A N/F PROPERTY OWNER LLC. TMS R553 018 000 003A 0000 PB:38 PG:183 201,414 S.F. 4,624 AC.

TOWN OF HILTON HEAD ISLAND TMS R553 018 000 0003 0000 PB:35 PG:38 DB:524 PG:1377



client



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consultant

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REVISIO

Beach House
HILTON HEAD ISLAND

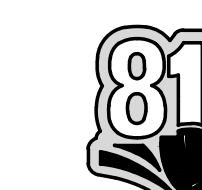
SITE COVERAGE - CURRENT

DATE: 05.22.2023

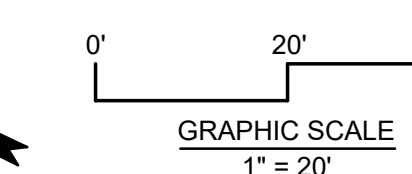
PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV

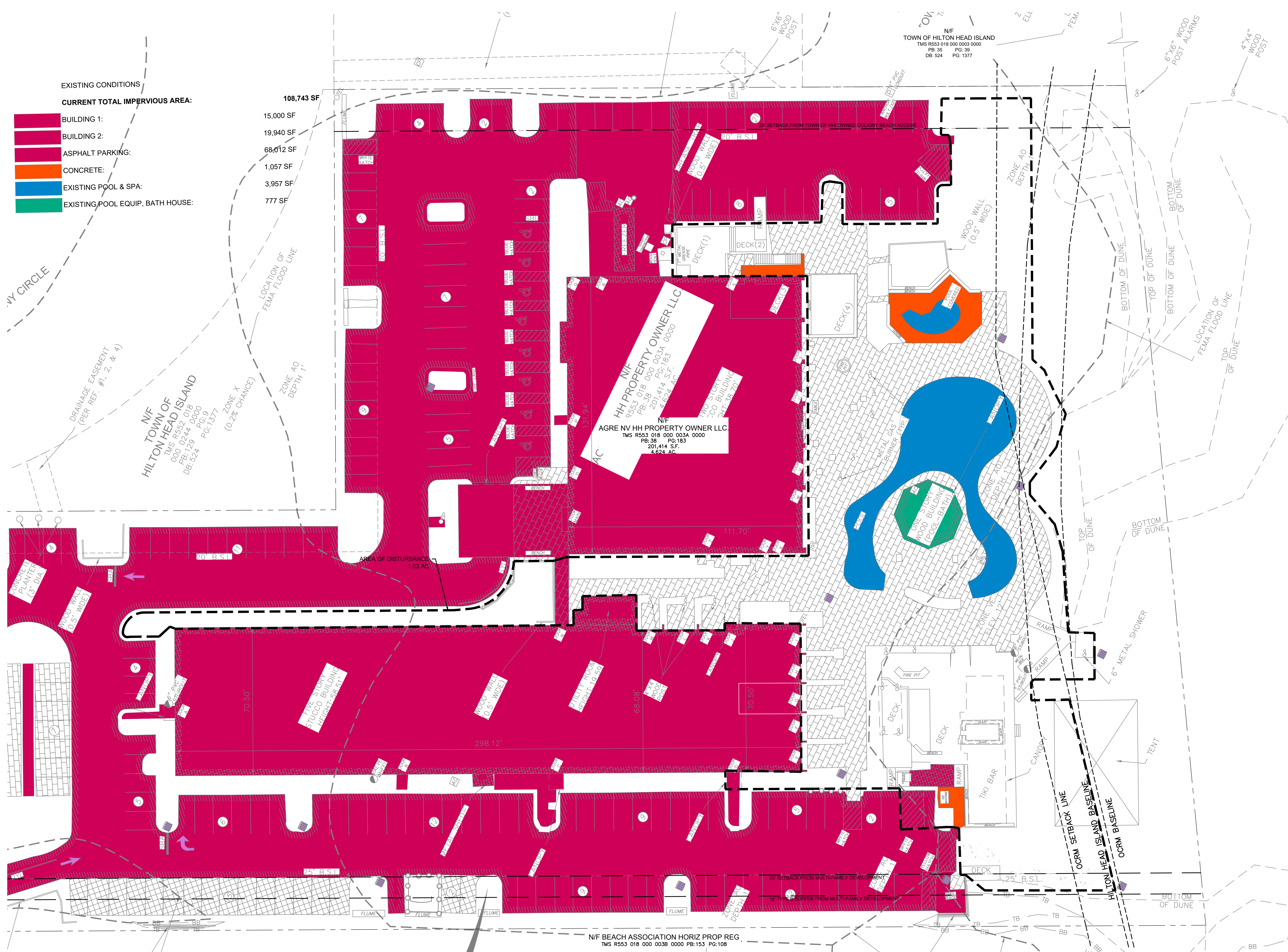


Know what's below.
Call before you dig.



sheet no.

PRE










EXISTING CONDITIONS

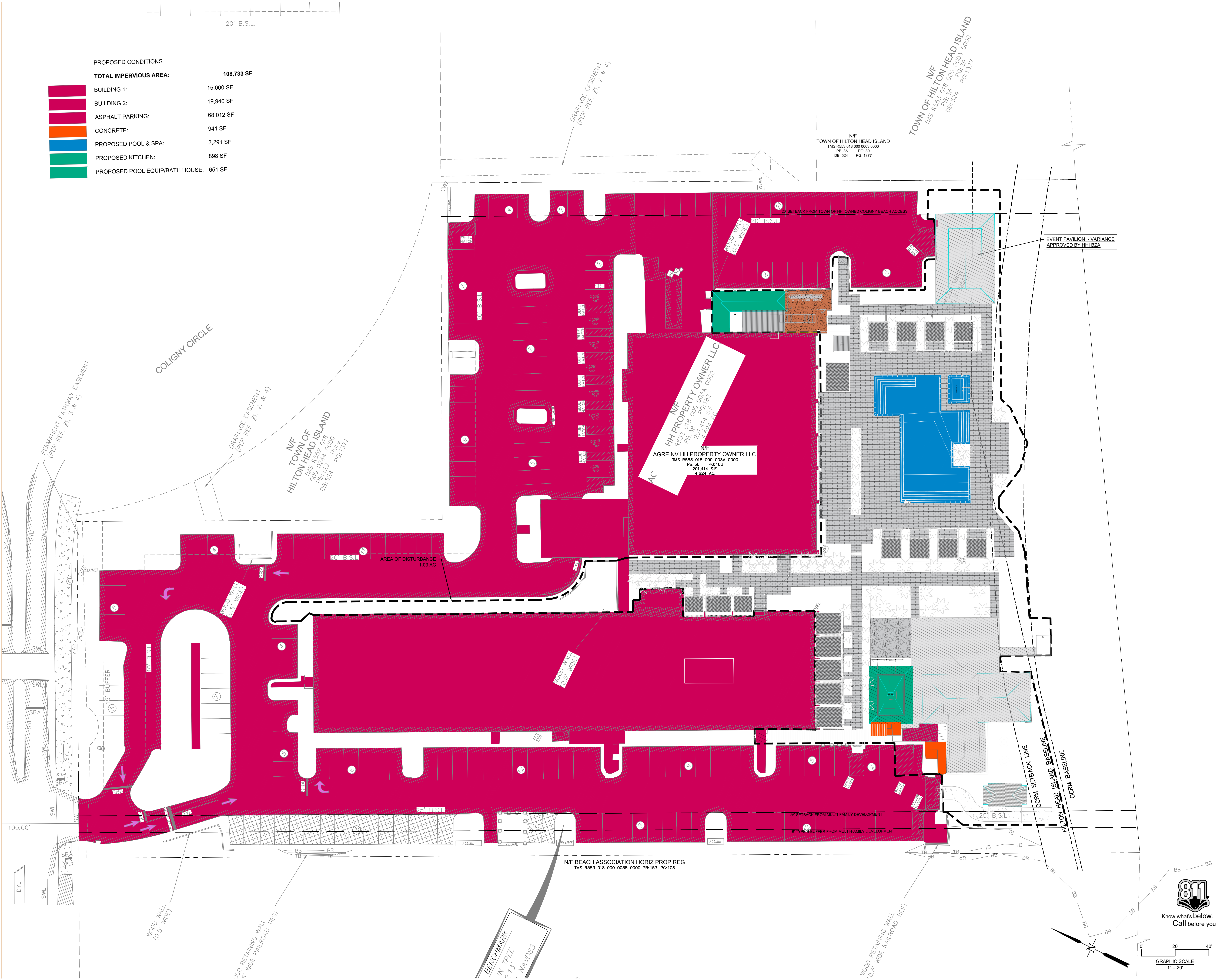
CURRENT TOTAL IMPERVIOUS AREA:

BUILDING 1:	15,000 SF
BUILDING 2:	19,940 SF
ASPHALT PARKING:	68,012 SF
CONCRETE:	1,057 SF
EXISTING POOL & SPA:	3,957 SF
EXISTING POOL EQUIP. BATH HOUSE:	777 SF

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20' B.S.L.

PROPOSED CONDITIONS	
TOTAL IMPERVIOUS AREA:	108,733 SF
 BUILDING 1:	15,000 SF
 BUILDING 2:	19,940 SF
 ASPHALT PARKING:	68,012 SF
 CONCRETE:	941 SF
 PROPOSED POOL & SPA:	3,291 SF
 PROPOSED KITCHEN:	898 SF
 PROPOSED POOL EQUIP/BATH HOUSE:	651 SF



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REVISIONS

Beach House
 HILTON HEAD ISLAND

SITE COVERAGE - PROPOSED

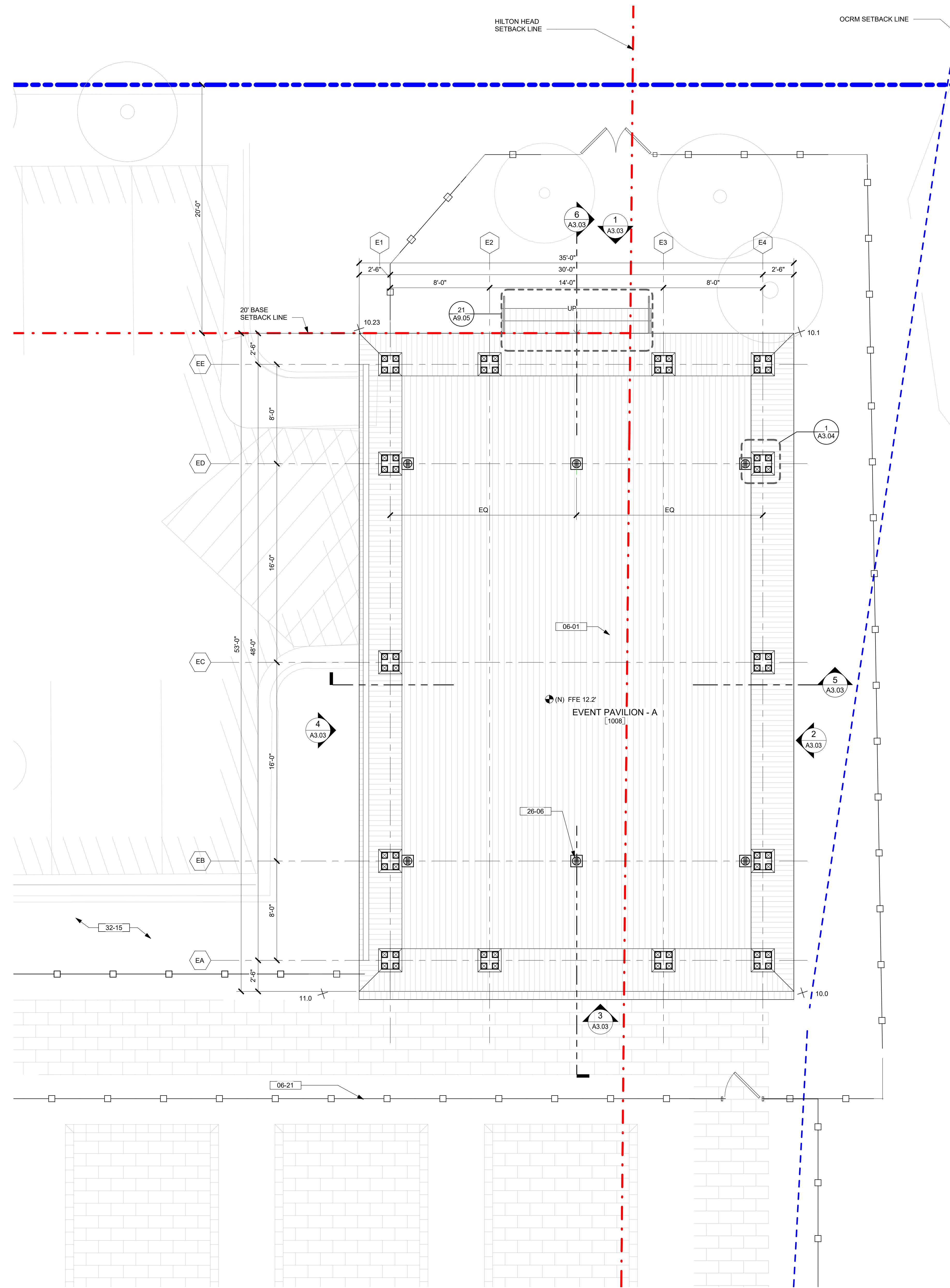
DATE: 05.22.2023
 PROJECT NUMBER: 22905
 DRAWN BY: DUF
 CHECKED BY: JLV



GRAPHIC SCALE
 1" = 20'

post

C:\00\Roberts Civil Engineering\BCE - Data\BCE Civil Projects\05\22905 Hilton Head Beach Hotel\Address\Civil Design\03-Acad\Civil Plans\01-HI_BASE.dwg, 6/30/2023 2:52:32 PM, DWG TO PDF.pc3
 The original size of this drawing is 30"x42" Copyright © 2023 WATG. All rights reserved.



1 EVENT PAVILION - FLOOR PLAN
1/4" = 1'-0"

KEYNOTES / LEGENDS

- PROPERTY LINE (EXISTING)
- SETBACK (EXISTING)
- ⊗ SPOT ELEVATION PER SURVEY
- OCRM SETBACK LINE

06-01 WOOD DECK - WD - 03
06-21 PROPOSED FENCE - SEE LANDSCAPE DWGS.
26-06 FLOOR OUTLET - SEE ELEC
32-15 PLANTING. REFER TO LANDSCAPE DWGS.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

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key plan

no.	date	issue

Beach House
HILTON HEAD ISLAND
project logo

EVENT PAVILION - FLOOR PLAN
sheet title

project no. 212041 date 07/28/2023

checked by: AA
drawn by: IZ/NP/JHM

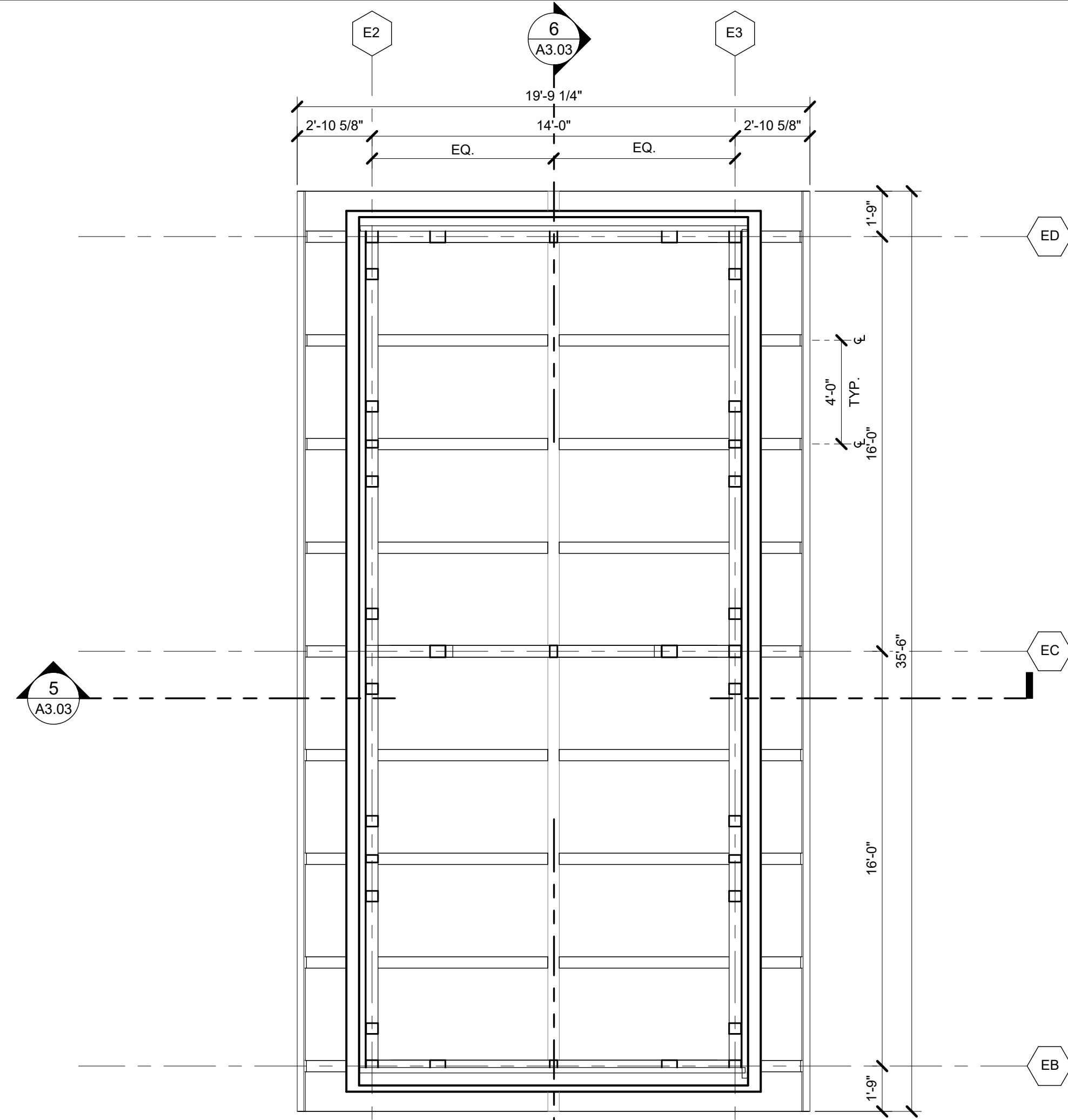
sheet no.

0 1 2 4 8 FT
SCALE 1/4" = 1'-0" U.N.O.

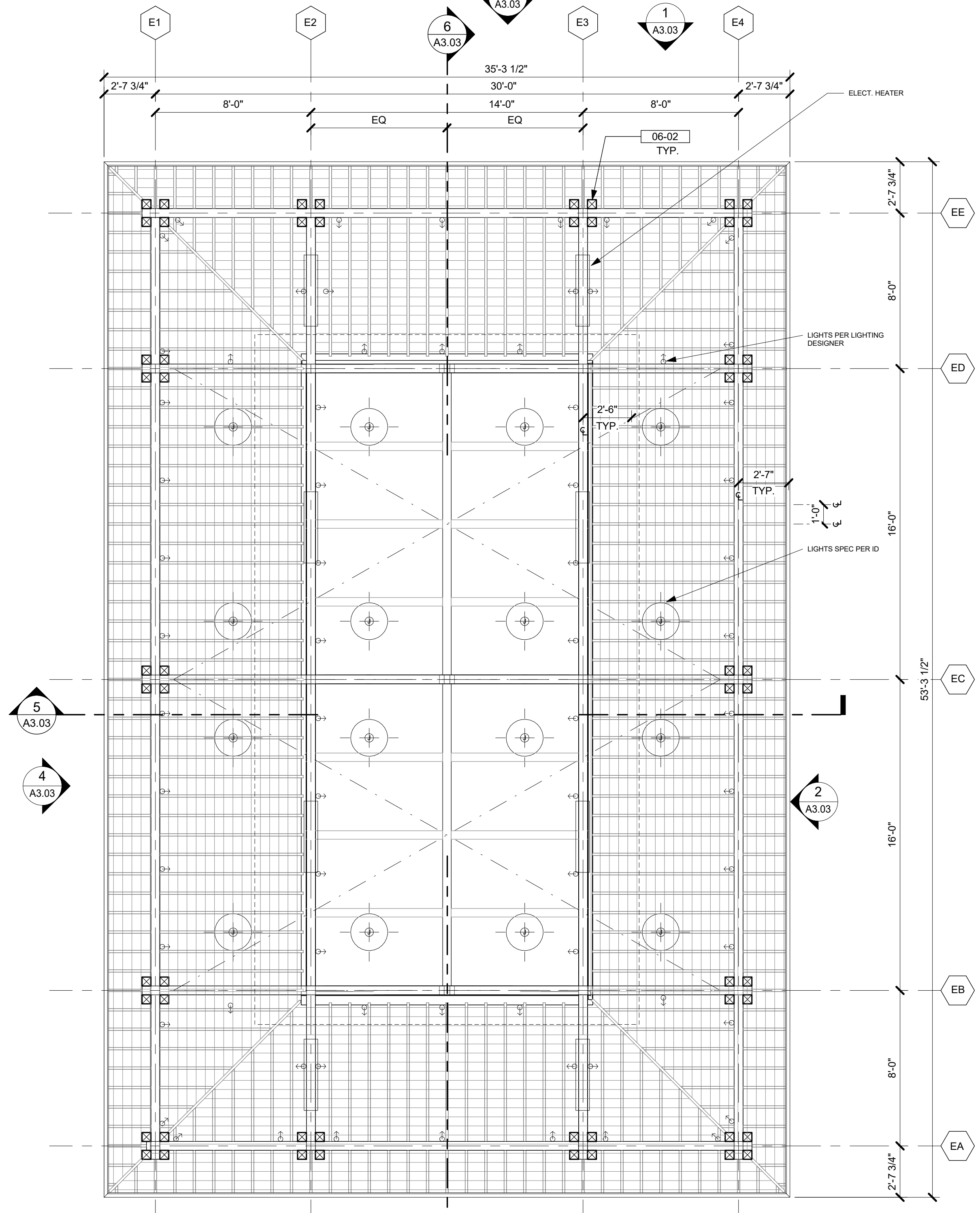
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A3.01

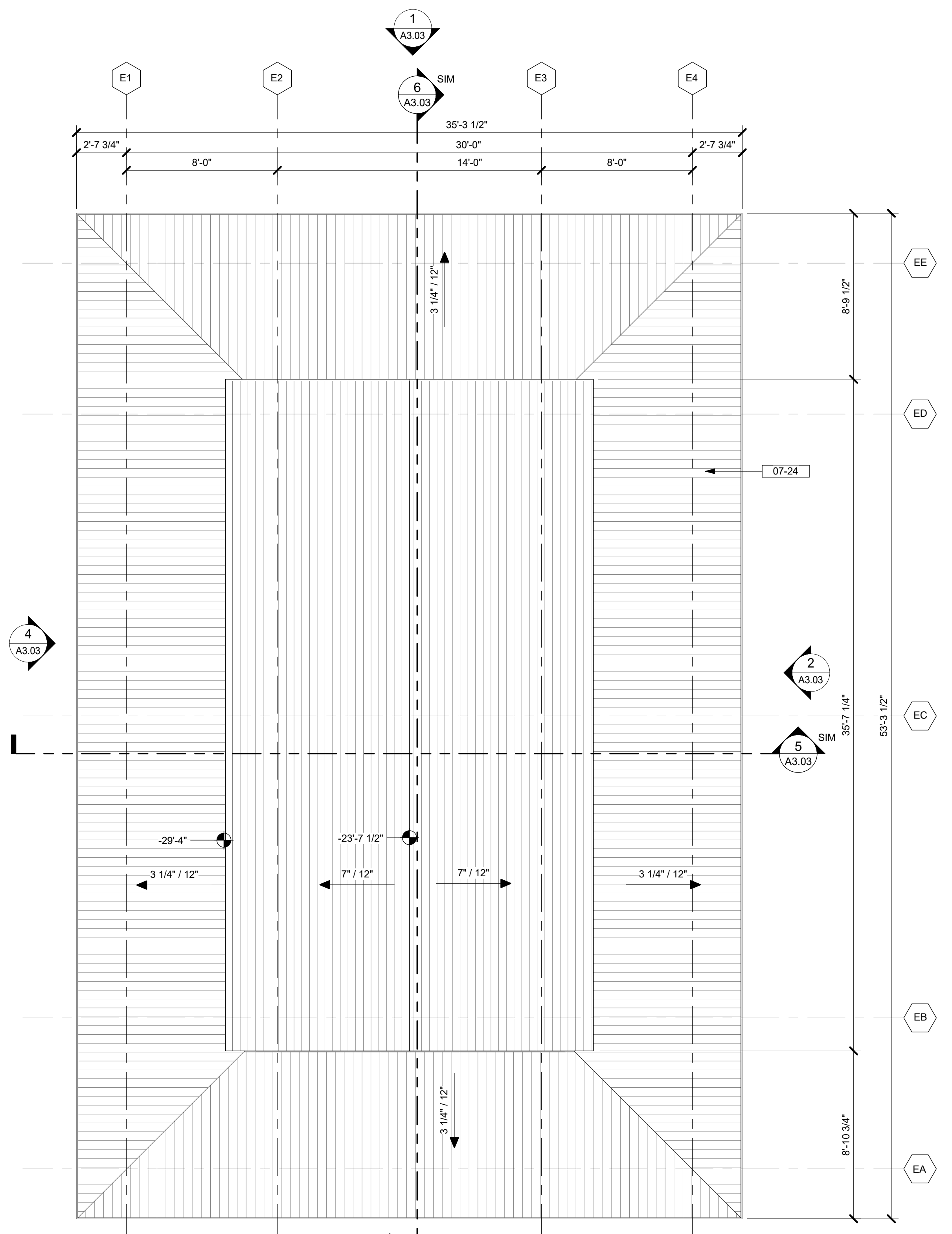
7/27/2023 11:46:25 AM
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3 EVENT PAVILION - UPPER RCP
1/4" = 1'-0"



2 EVENT PAVILION - RCP
1/4" = 1'-0"



1 EVENT PAVILION - ROOF PLAN
1/4" = 1'-0"

- KEYNOTES / LEGENDS**
- PENDANT / CEILING MOUNTED REFER TO INTERIOR, ELECTRICAL, & LIGHTING DESIGN DWGS
 - SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
 - SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
 - GRID LINES
 - SLOPE ARROW

06-02 WOOD COLUMN - SEE STRUCT. DWGS - WD - 01
07-24 METAL STANDING SEAM ROOF - RF - 02

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01



consultant

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key plan

no. date issue
issues | revisions



EVENT PAVILION - ENLARGED RCP AND ROOF PLAN

sheet title
project no. 212041 date 07/28/2023

checked by: AA
drawn by: IZ/NP/JHM component

sheet no.

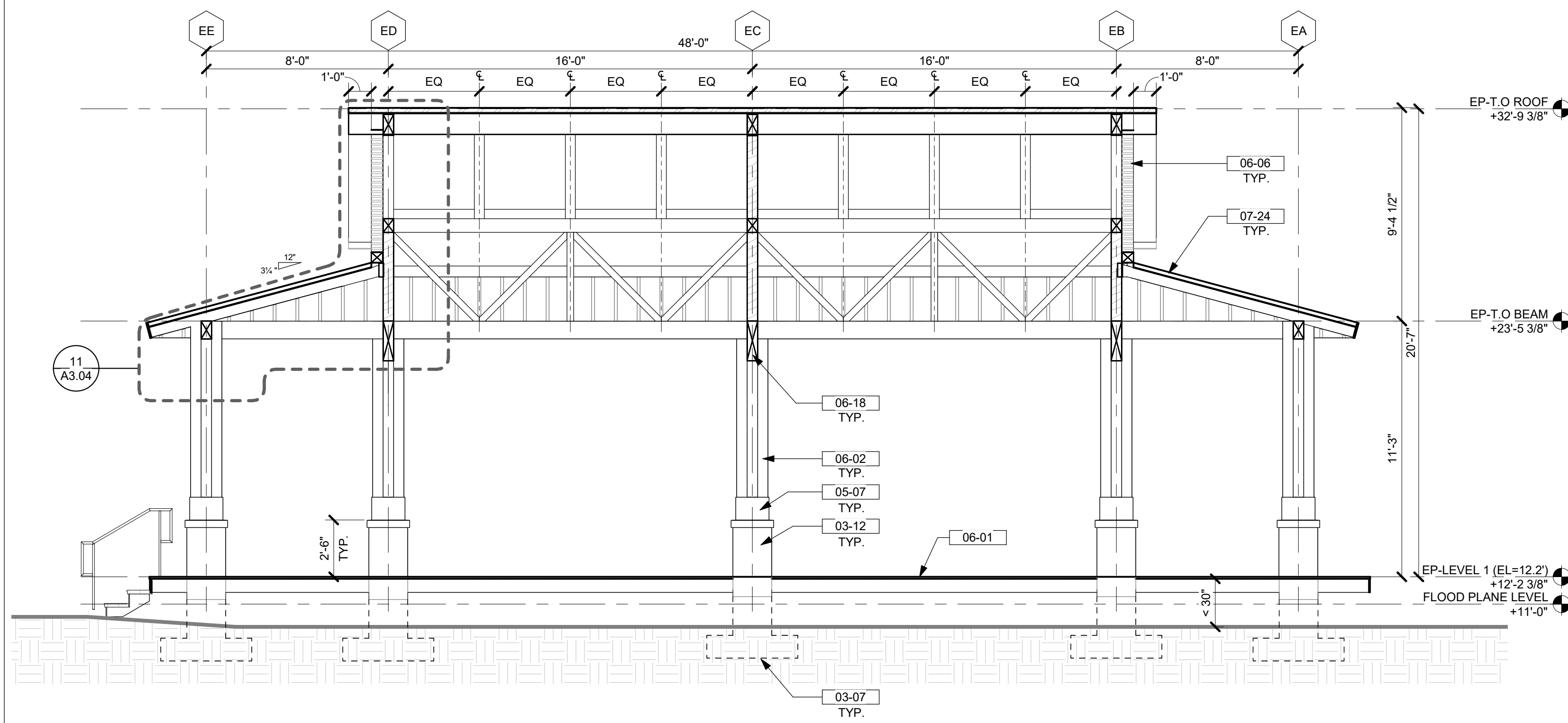
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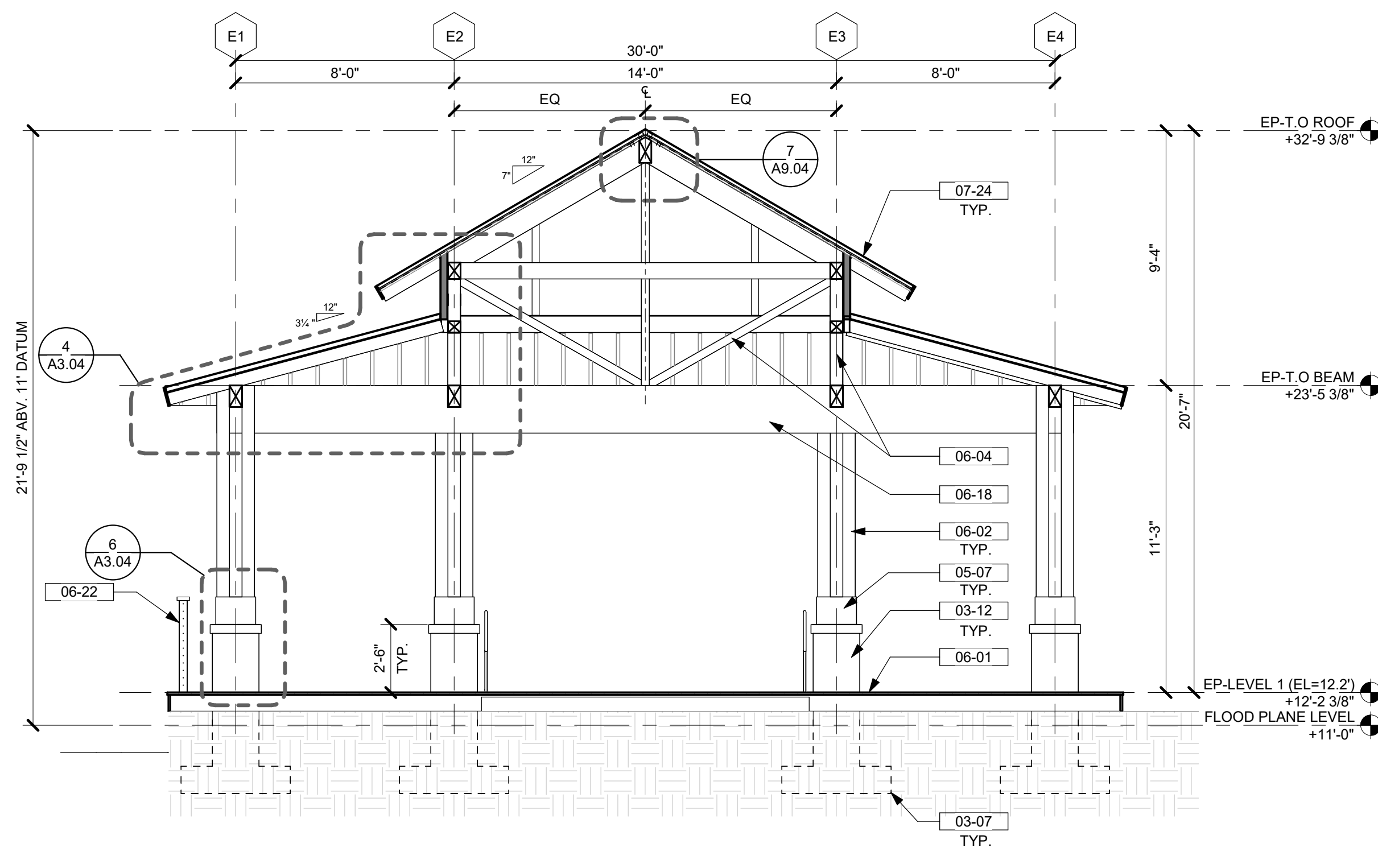


- 03-07 CONCRETE FOOTING - SEE STRUCT. DWGS.
- 03-12 STEEL CONNECTIONS TO WOOD MEMBERS - CON - 01
- 05-07 STRUCT. - MTL-01
- 06-01 WOOD DECK - WD - 03
- 06-02 WOOD COLUMN - SEE STRUCT. DWGS - WD - 01
- 06-03 WOOD BEAM - SEE STRUCT. DWGS - WD - 01
- 06-04 WOOD ROOF TRUSS - SEE STRUCT. DWGS - WD - 01
- 06-06 WOOD JOUWER - WD - 05
- 06-18 GLUED LAMINATED WOOD BEAM - SEE STRUCT. DWGS. - WD-01
- 06-22 HANDRAIL AND GUARDRAIL - WD - 02
- 07-24 METAL STANDING SEAM ROOF - RF - 02
- 07-25 METAL FASCIA. MATCH ROOF COLOR

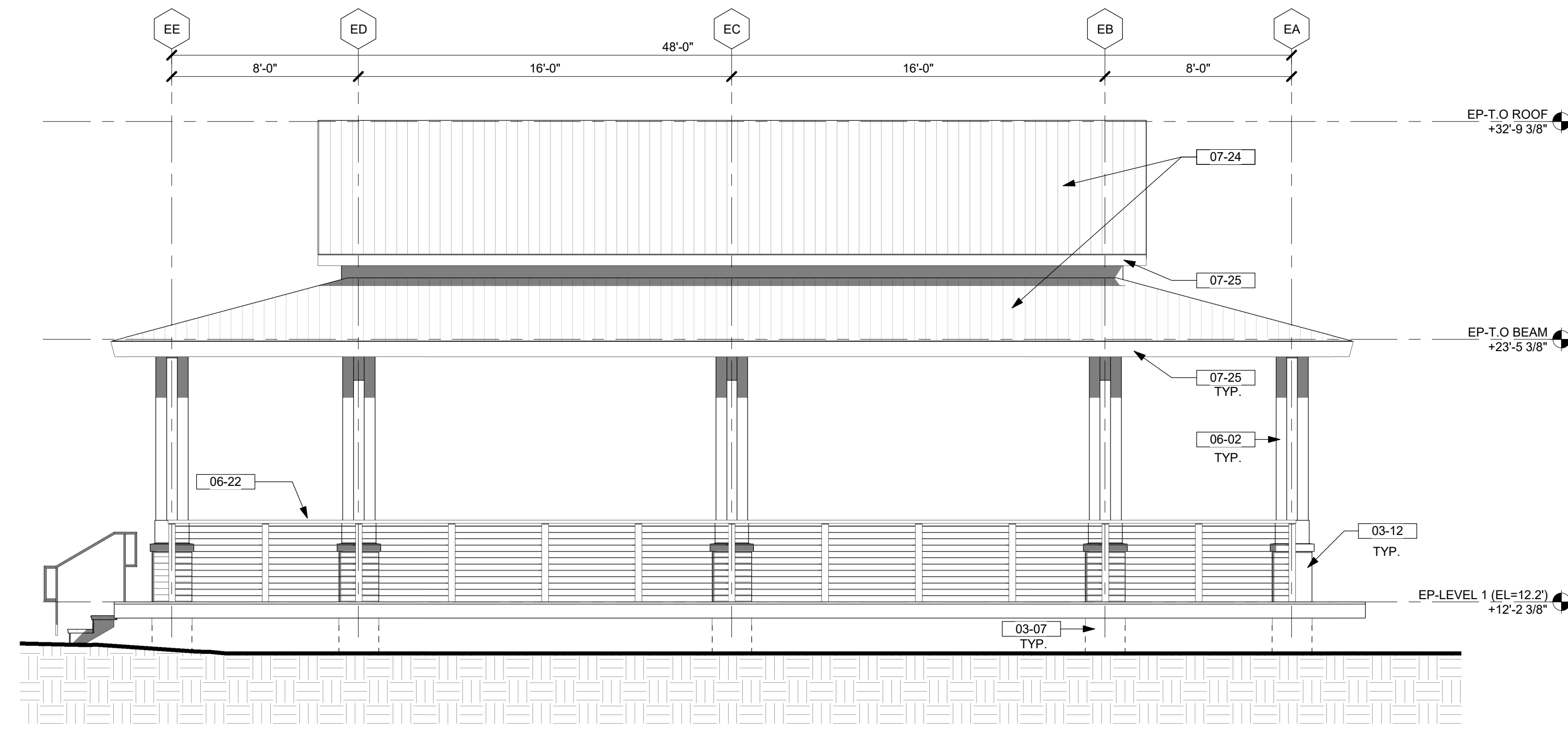
NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01
 NOTE: 11'-0" DATUM IS BASED ON SURVEY 11.0' ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD88



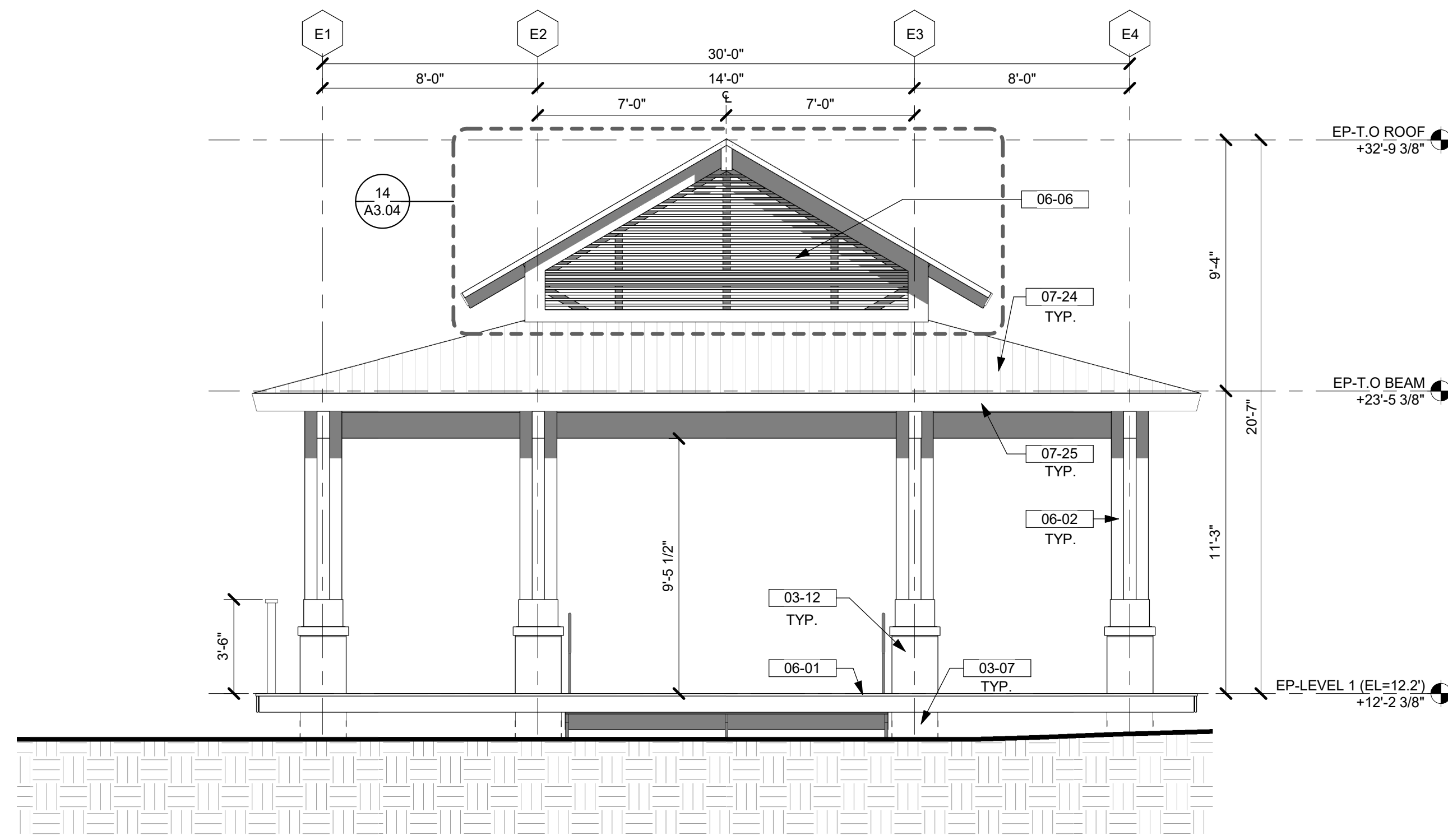
6 EVENT PAVILION - SECTION B
 1/4" = 1'-0"



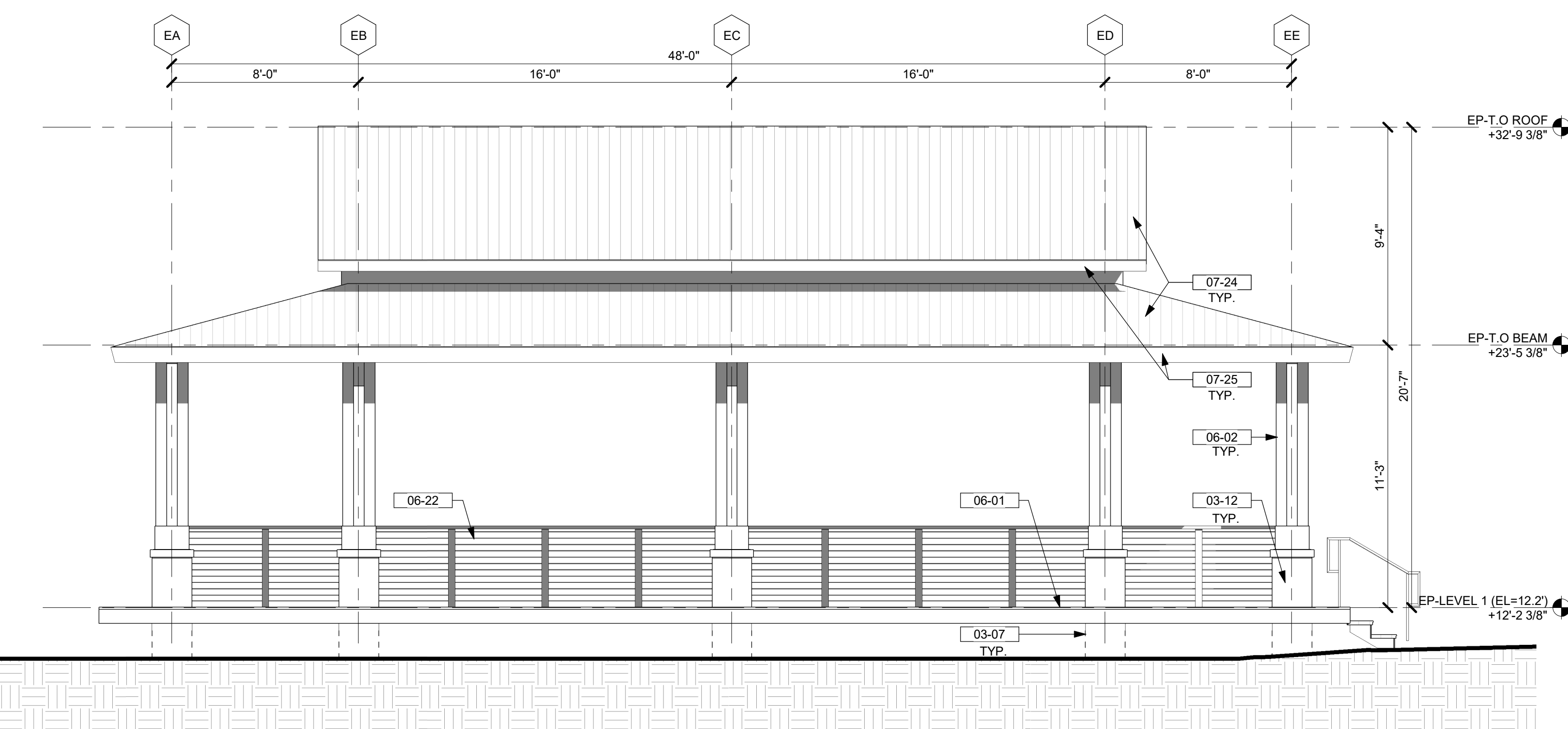
5 EVENT PAVILION - SECTION A
 1/4" = 1'-0"



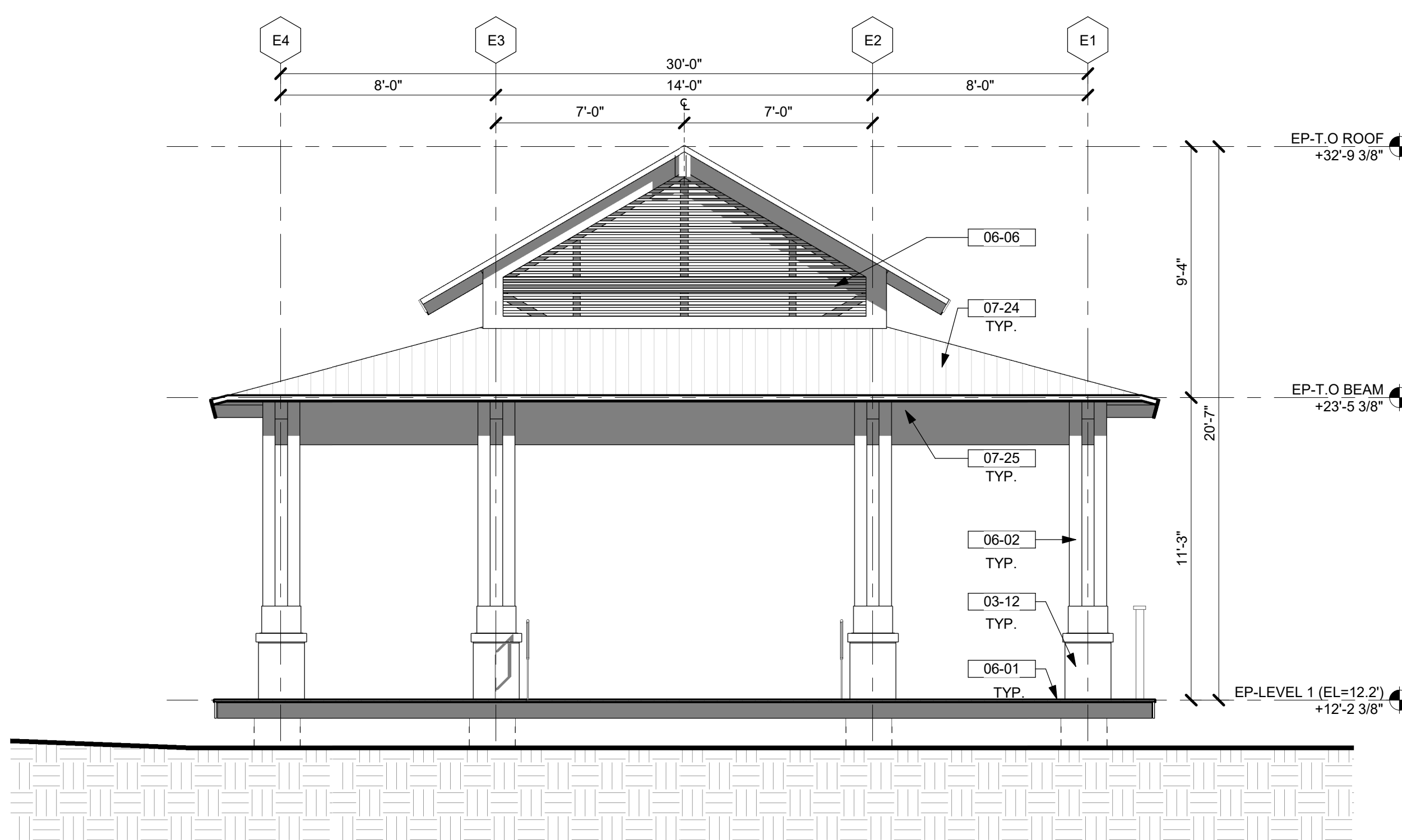
4 EVENT PAVILION - REAR ELEVATION
 1/4" = 1'-0"



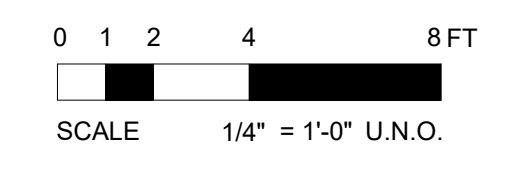
3 EVENT PAVILION - SIDE 1 ELEVATION
 1/4" = 1'-0"



2 EVENT PAVILION - FRONT ELEVATION
 1/4" = 1'-0"

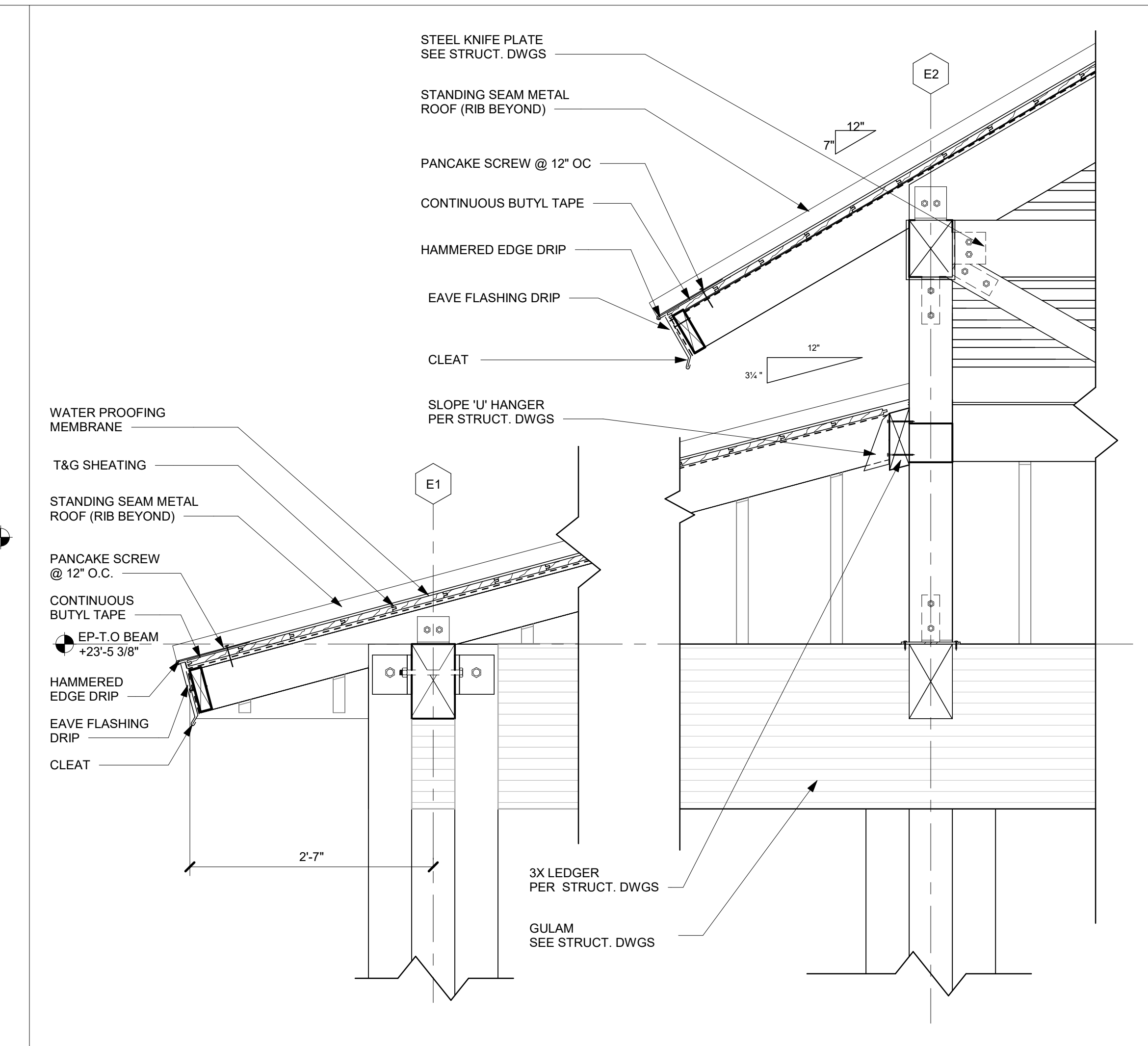
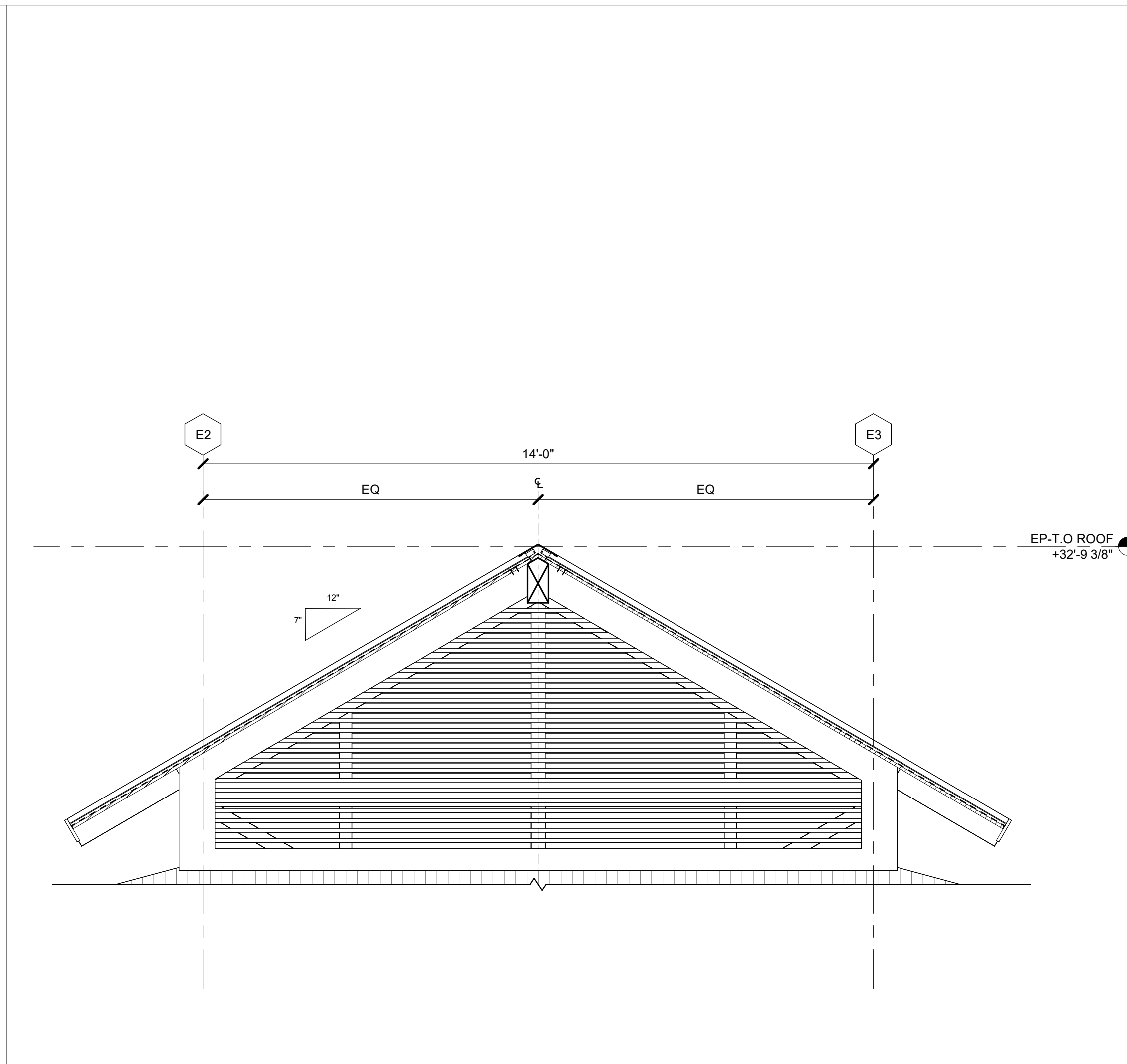


1 EVENT PAVILION - SIDE 2 ELEVATION
 1/4" = 1'-0"



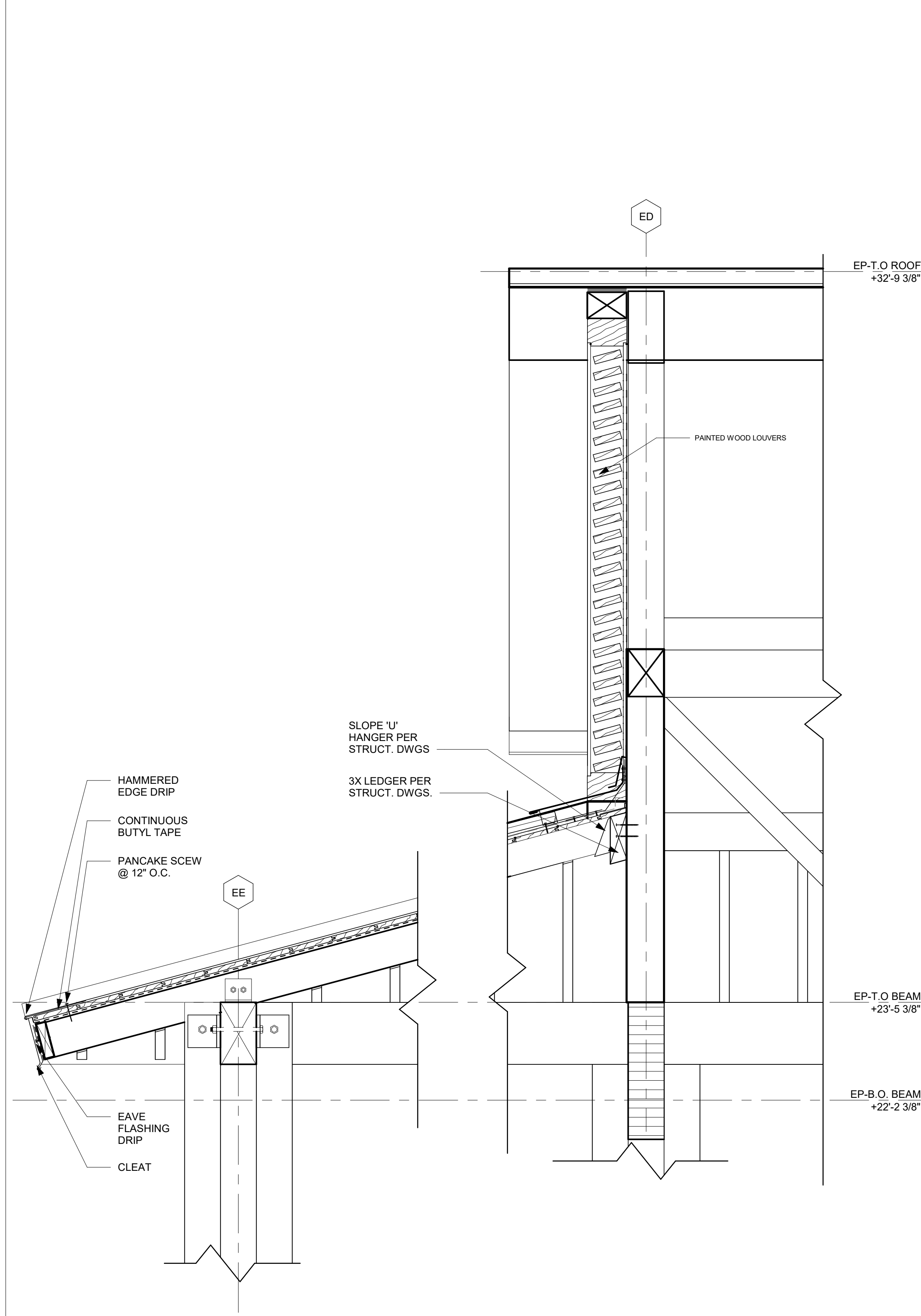
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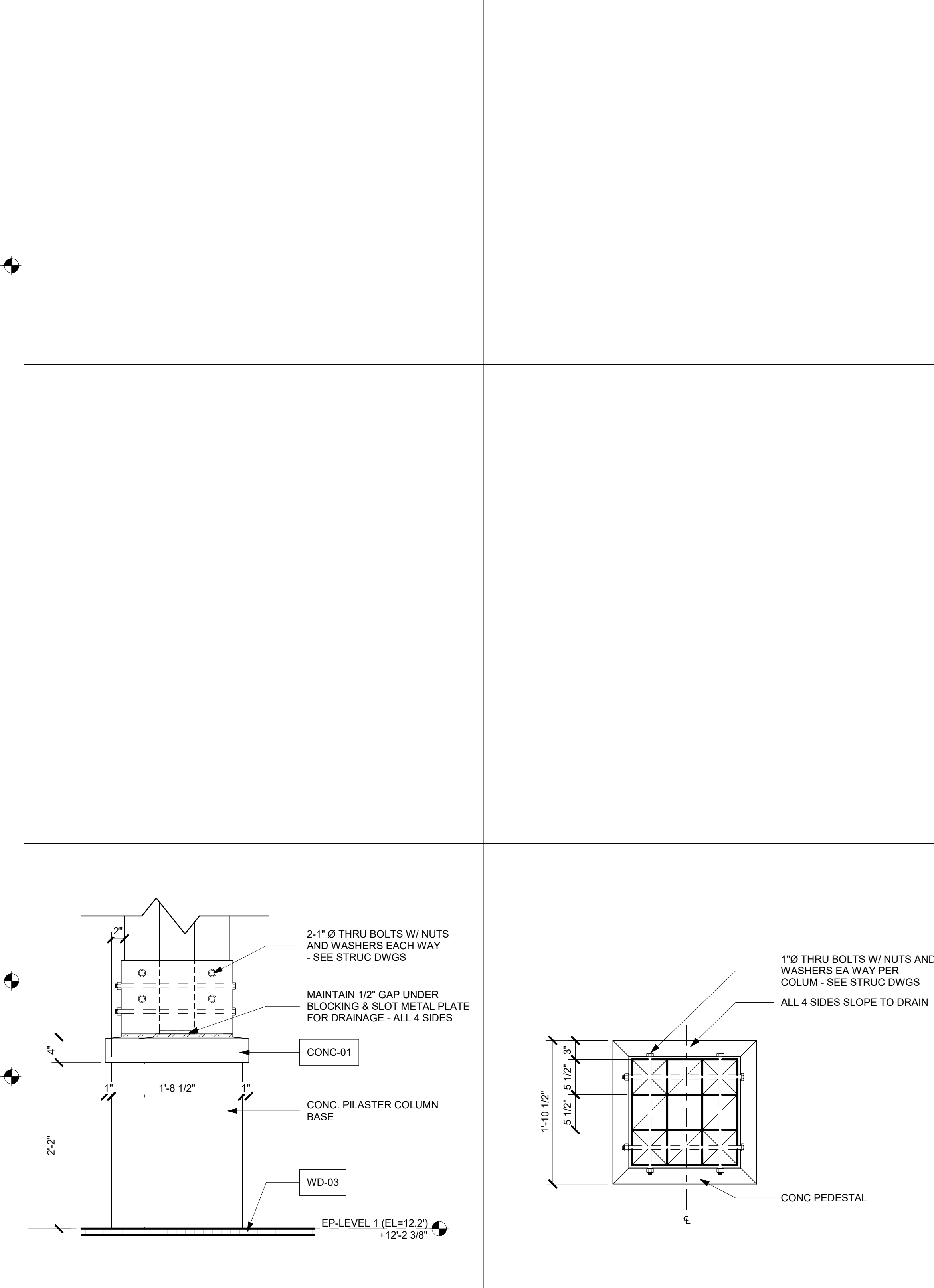


EVENT PAVILION - SIDE 1 ELEVATION - Callout 1 1/2" = 1'-0" 14

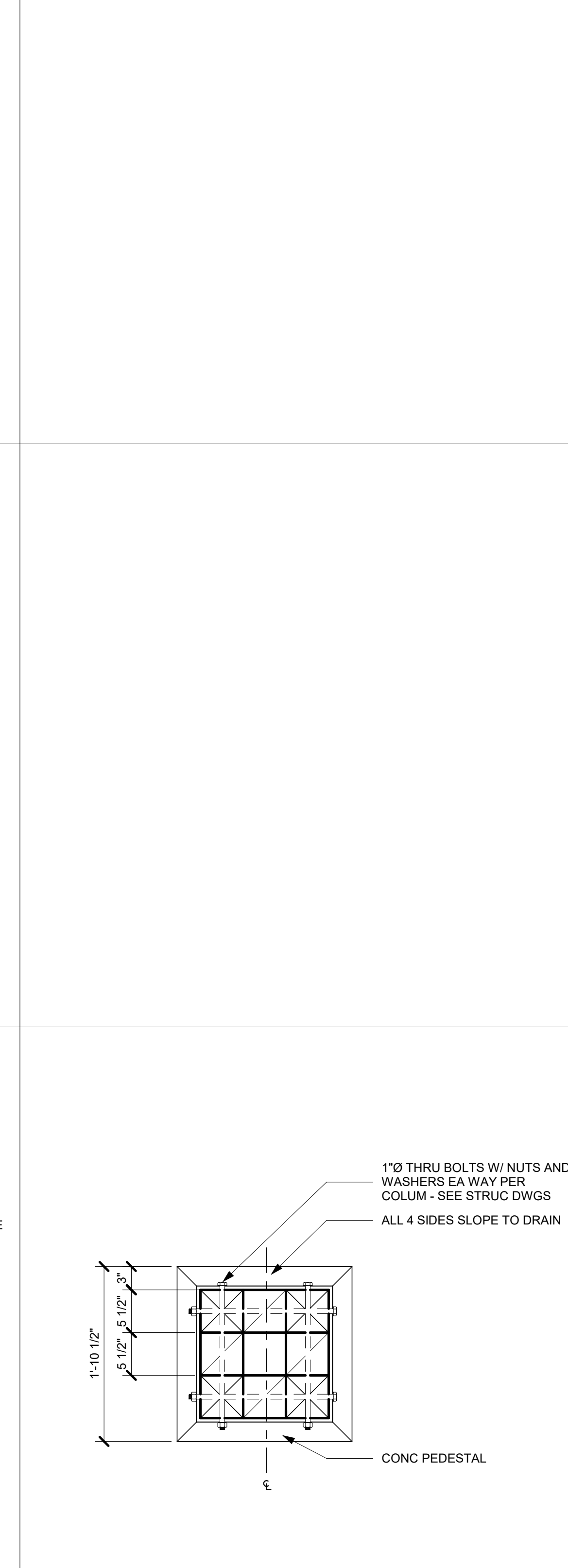
SECTION A DETAIL 3 1" = 1'-0" 4



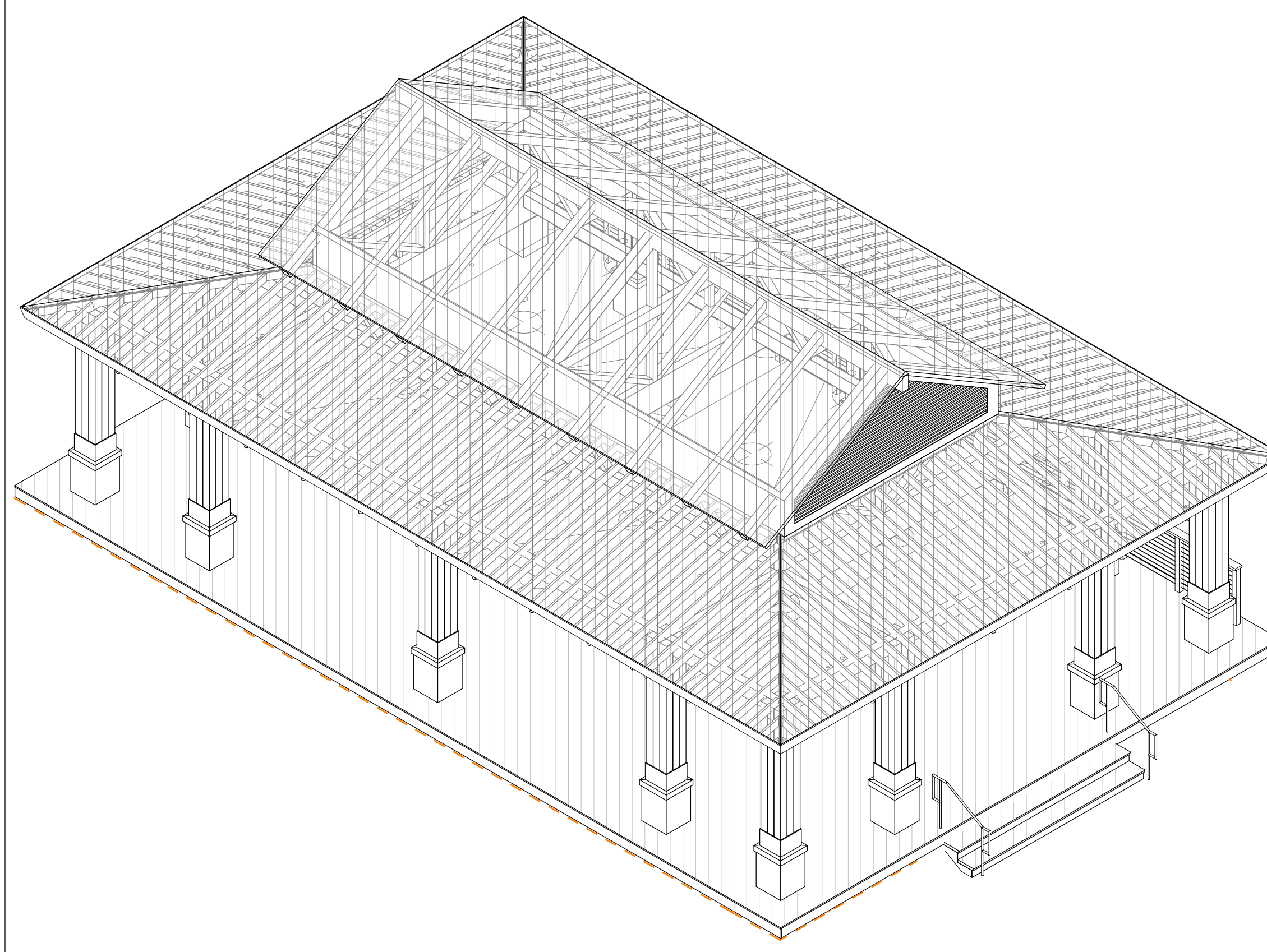
SECTION B DETAIL 3 1" = 1'-0" 11



TYP. BASE COLUMN ELEV. DETAIL 1" = 1'-0" 6



COLUMN-EVENT PAVILION 1" = 1'-0" 1



EVENT PAVILION 21

100% CONSTRUCTION DOCUMENTS | 07/28/23 | PERMIT SET

- 06-05 WOOD SIDING - WD - 04
- 06-07 WOOD SIDING EXTERIOR FENCE - WD - 04
- 06-09 WOOD SIDING GATE - WD - 04
- 06-10 WOOD TRELLIS - WD - 01
- 07-24 METAL STANDING SEAM ROOF - RF - 02
- 07-25 METAL FASCIA MATCH ROOF COLOR
- 08-07 DOOR - SEE PLAN & SCHEDULE.
- 08-15 ADA DOOR - SEE PLAN & SCHEDULE.
- 08-30 WINDOW - SEE PLAN & SCHEDULE.
- 10-06 HORIZONTAL EQUIPMENT SCREEN - MTL - 03

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

NOTE: 11'-0" DATUM IS BASED ON SURVEY 11'0" ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD83



client

consultant

stamp | approval

key plan

no. date issue
issues | revisions

Beach House
HILTON HEAD ISLAND
project logo

KITCHEN/RESTROOM BLDG
- ELEVATIONS

sheet title

project no. 212041 date 07/25/2023

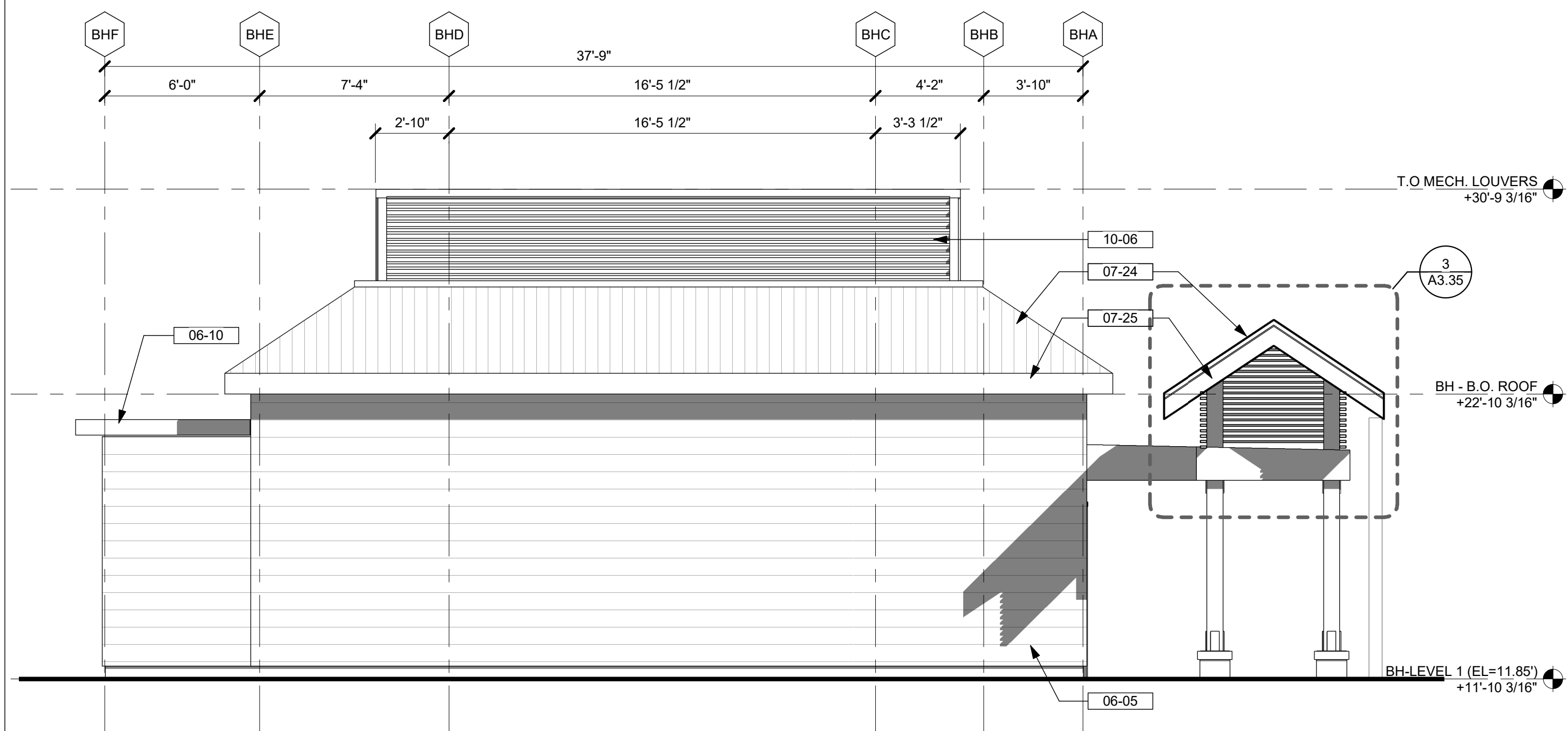
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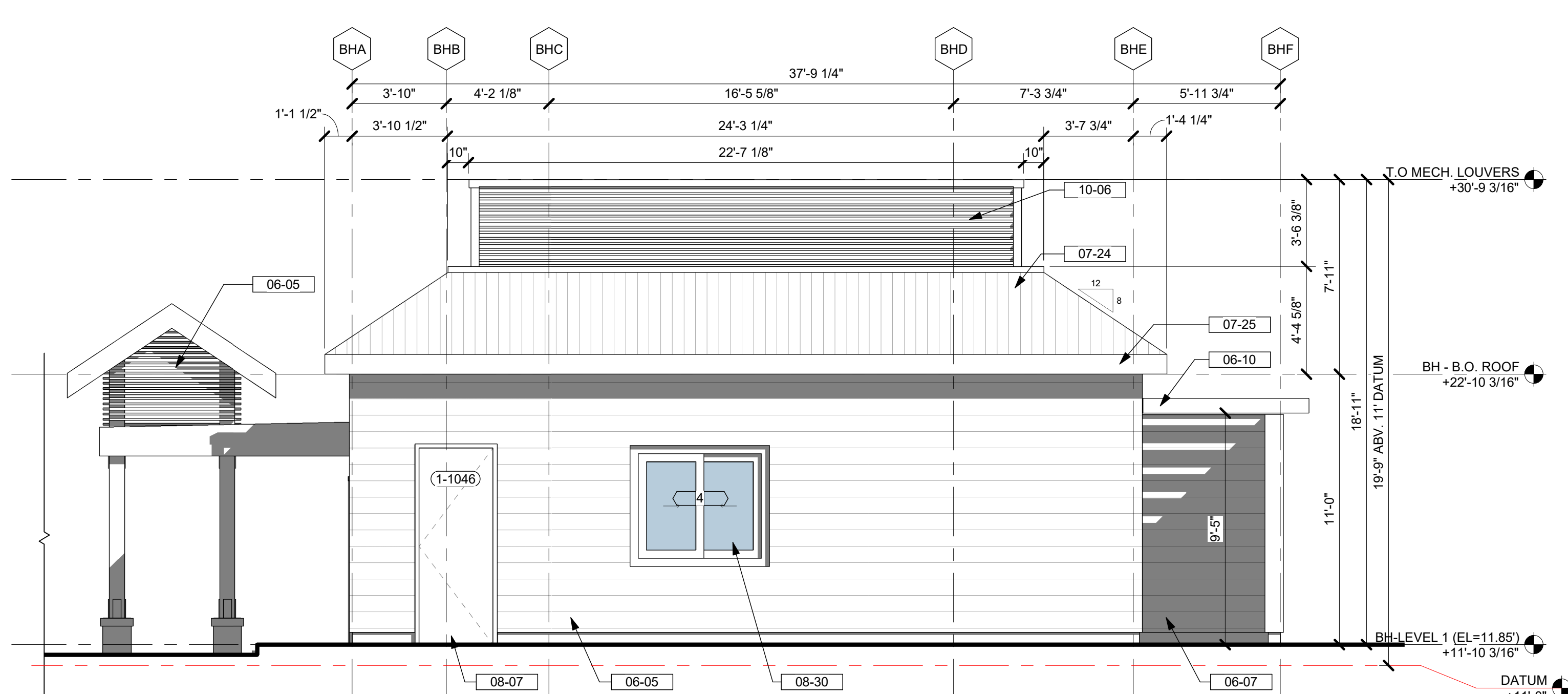
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sheet no.

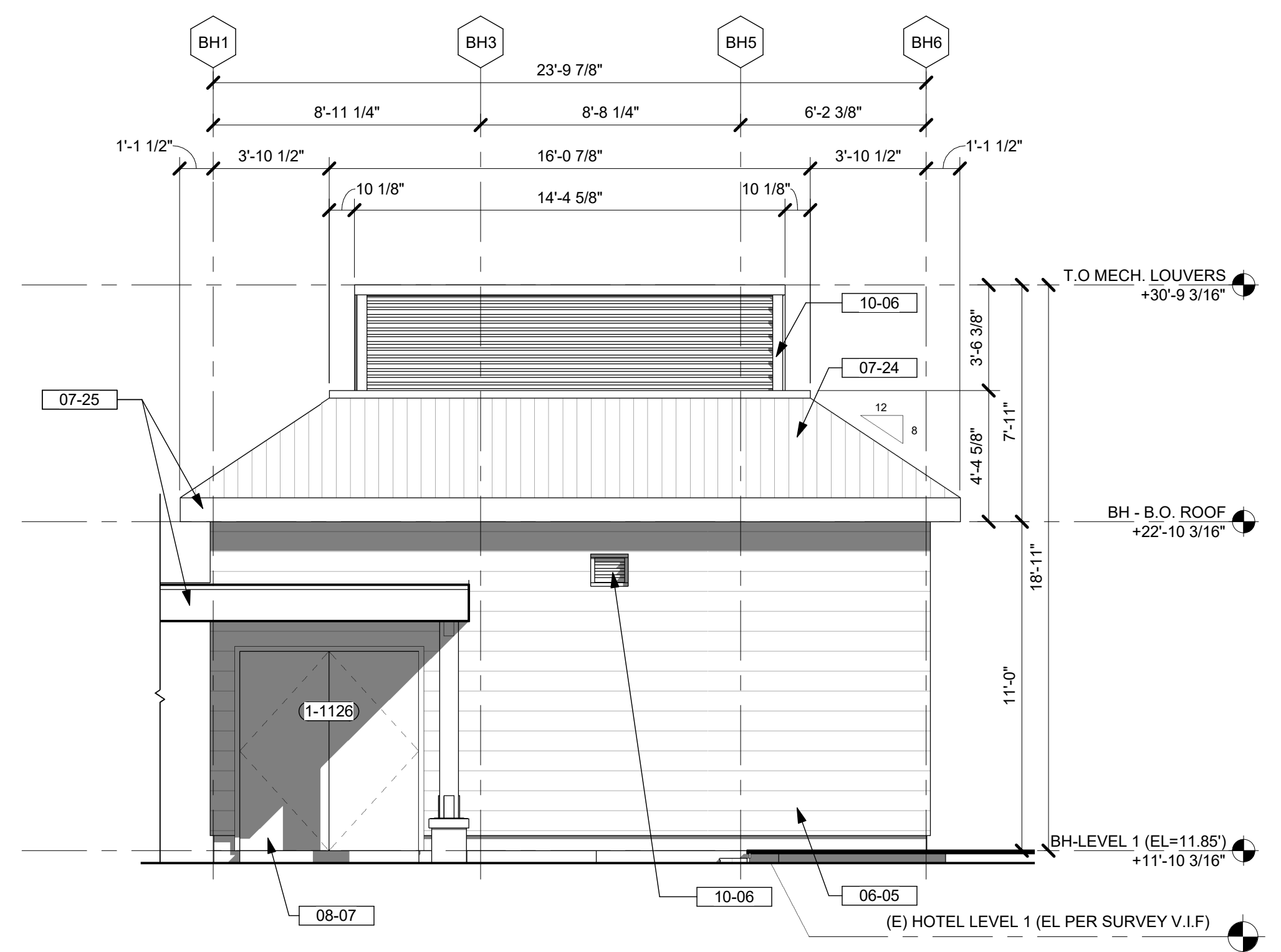
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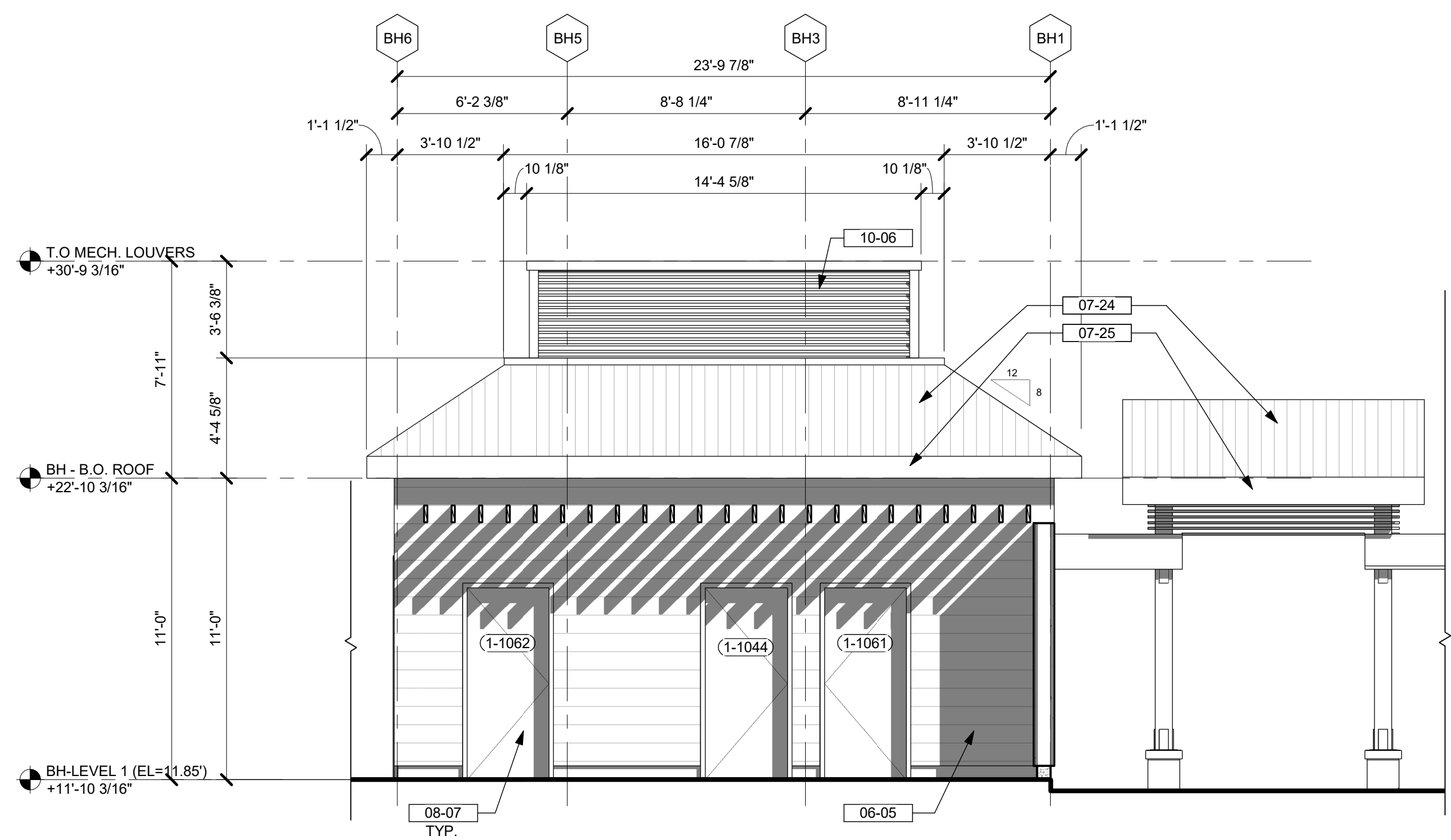
5 KITCHEN/RESTROOM - BACK ELEVATION
1/4" = 1'-0"



3 KITCHEN/RESTROOM - FRONT ELEVATION
1/4" = 1'-0"



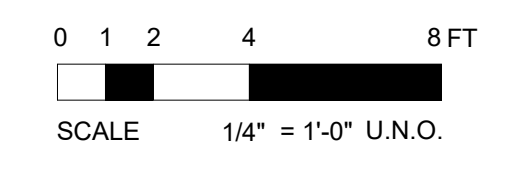
4 KITCHEN/RESTROOM - SIDE 2 ELEVATION
1/4" = 1'-0"

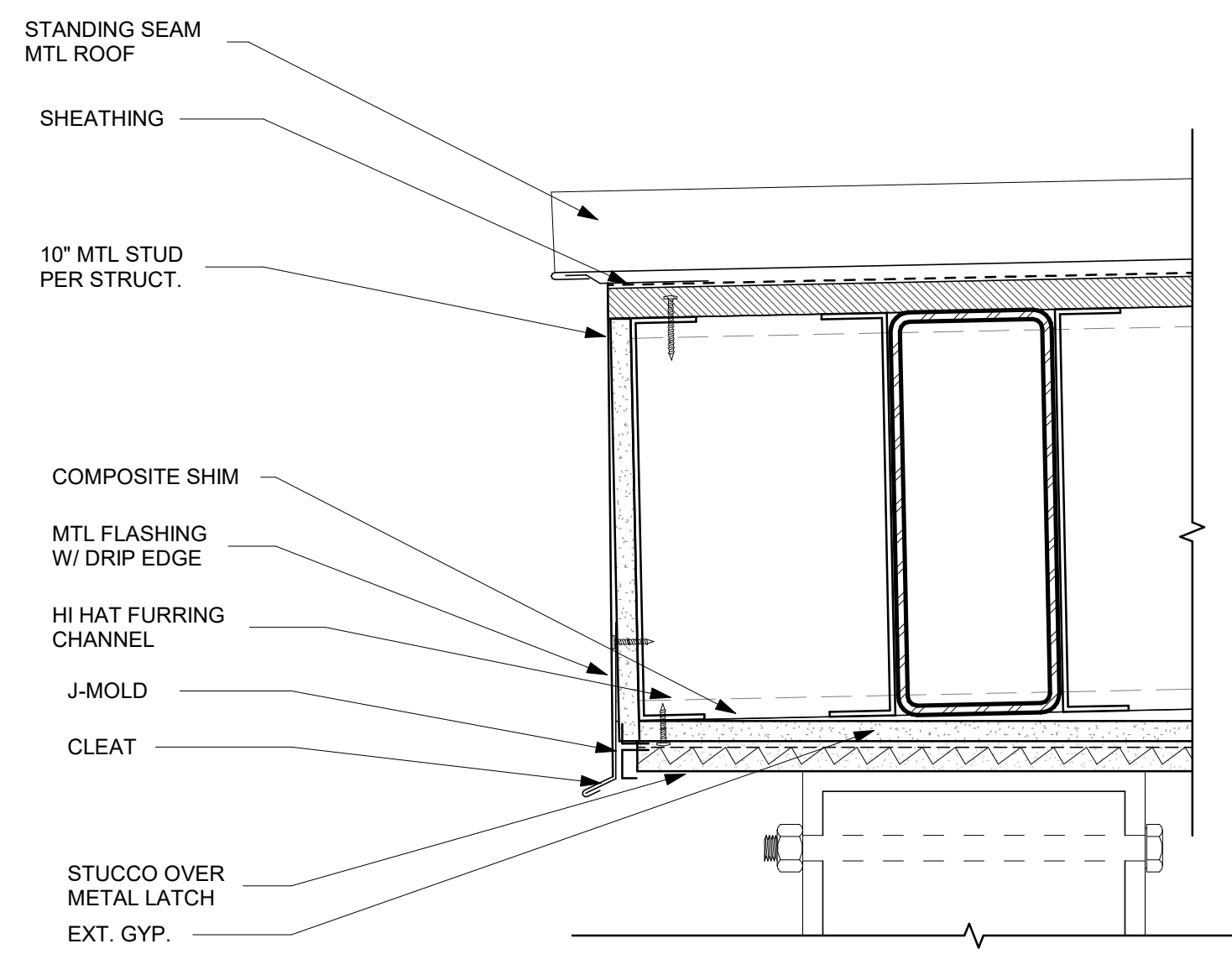


2 KITCHEN/RESTROOM - SIDE 1 ELEVATION
1/4" = 1'-0"

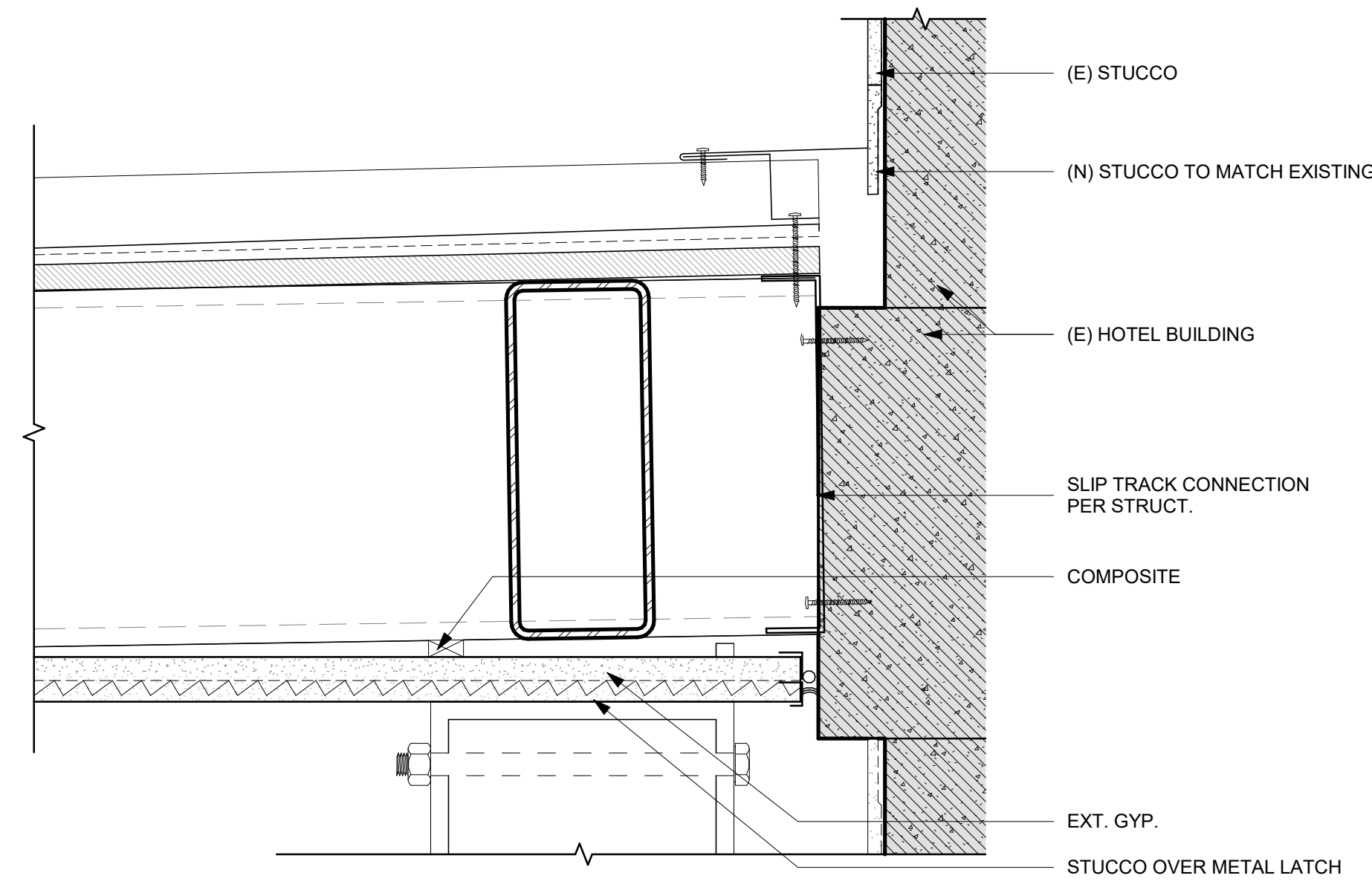


1 PATIO ELEVATION
1/4" = 1'-0"

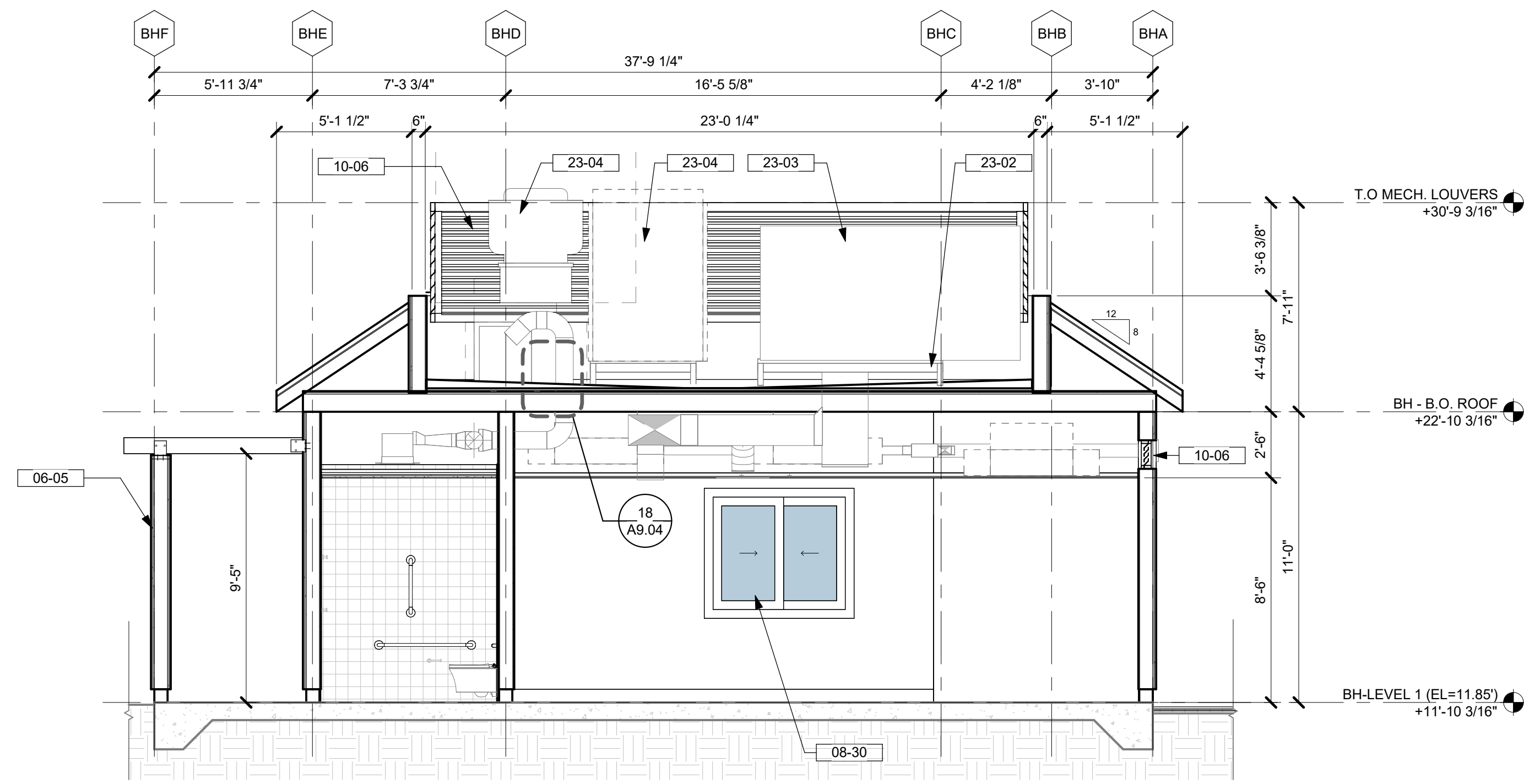




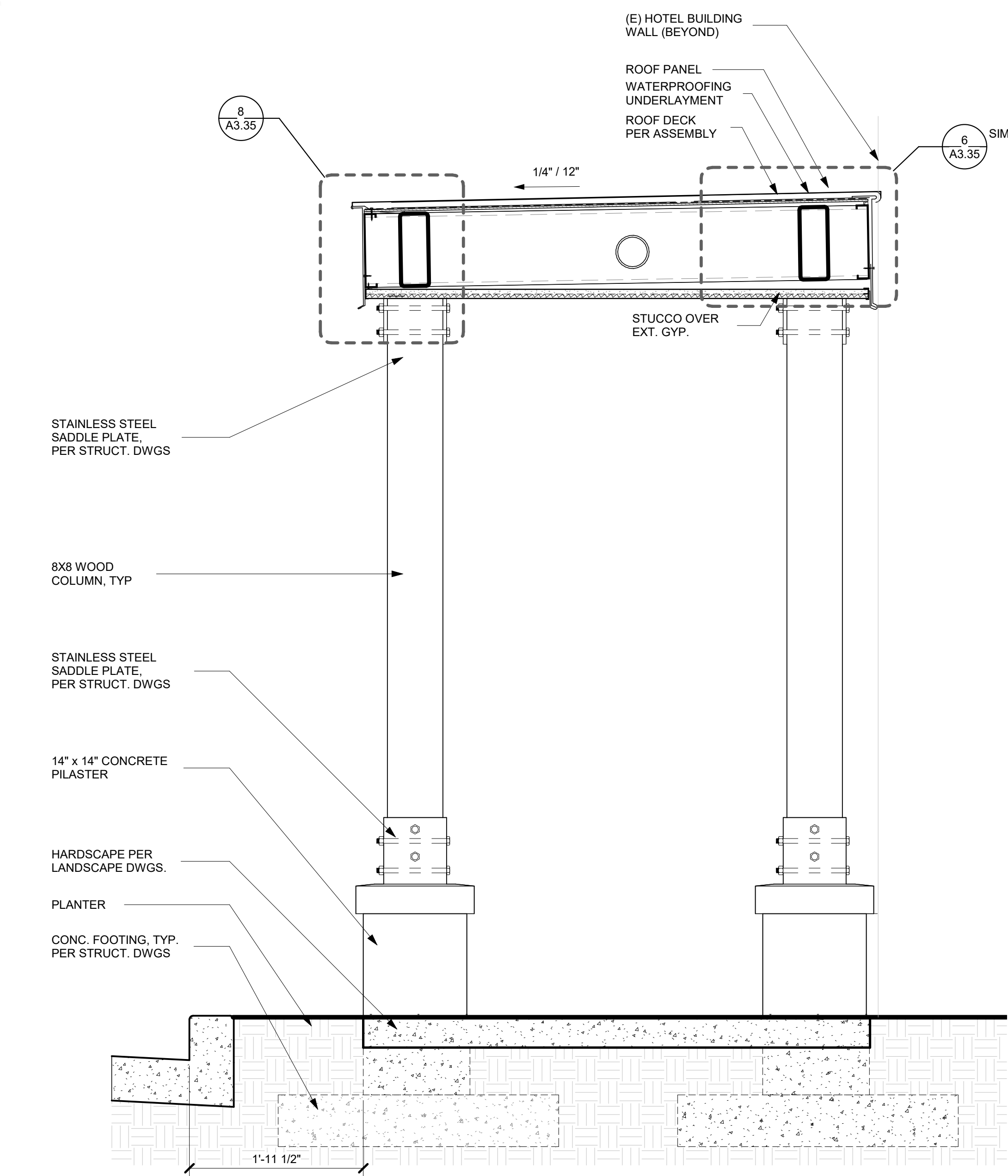
8 ROOF DETAIL 1
3" = 1'-0"



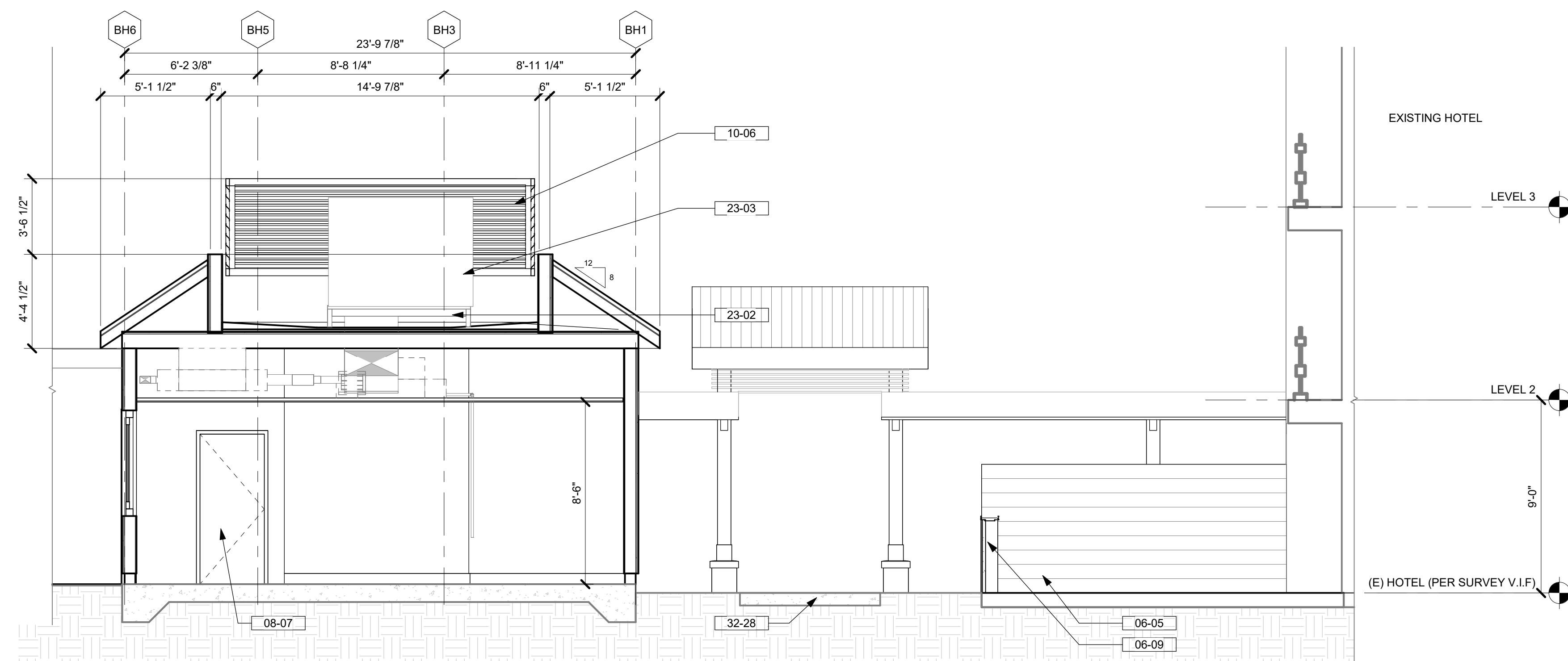
6 ROOF DETAIL AT (E) HOTEL WALL
3" = 1'-0"



2 KITCHEN/RESTROOM BLDG - SECTION B
1/4" = 1'-0"



4 TRELLIS DETAIL
1" = 1'-0"



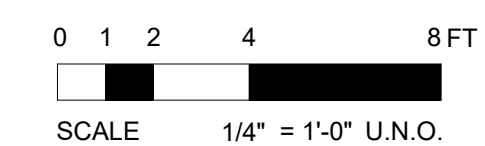
1 KITCHEN/RESTROOM BLDG - TIKI BAR - SECTION A
1/4" = 1'-0"

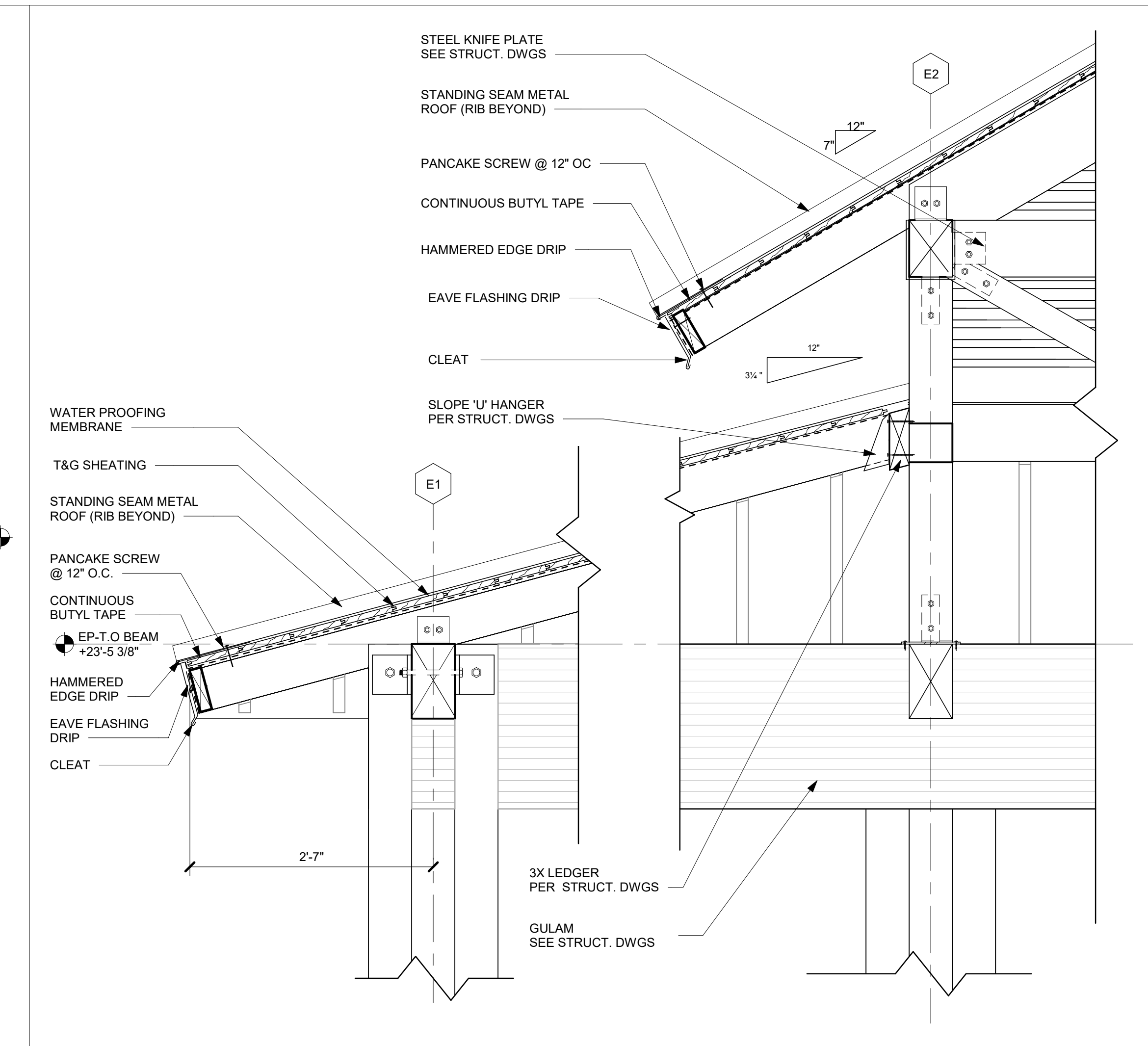
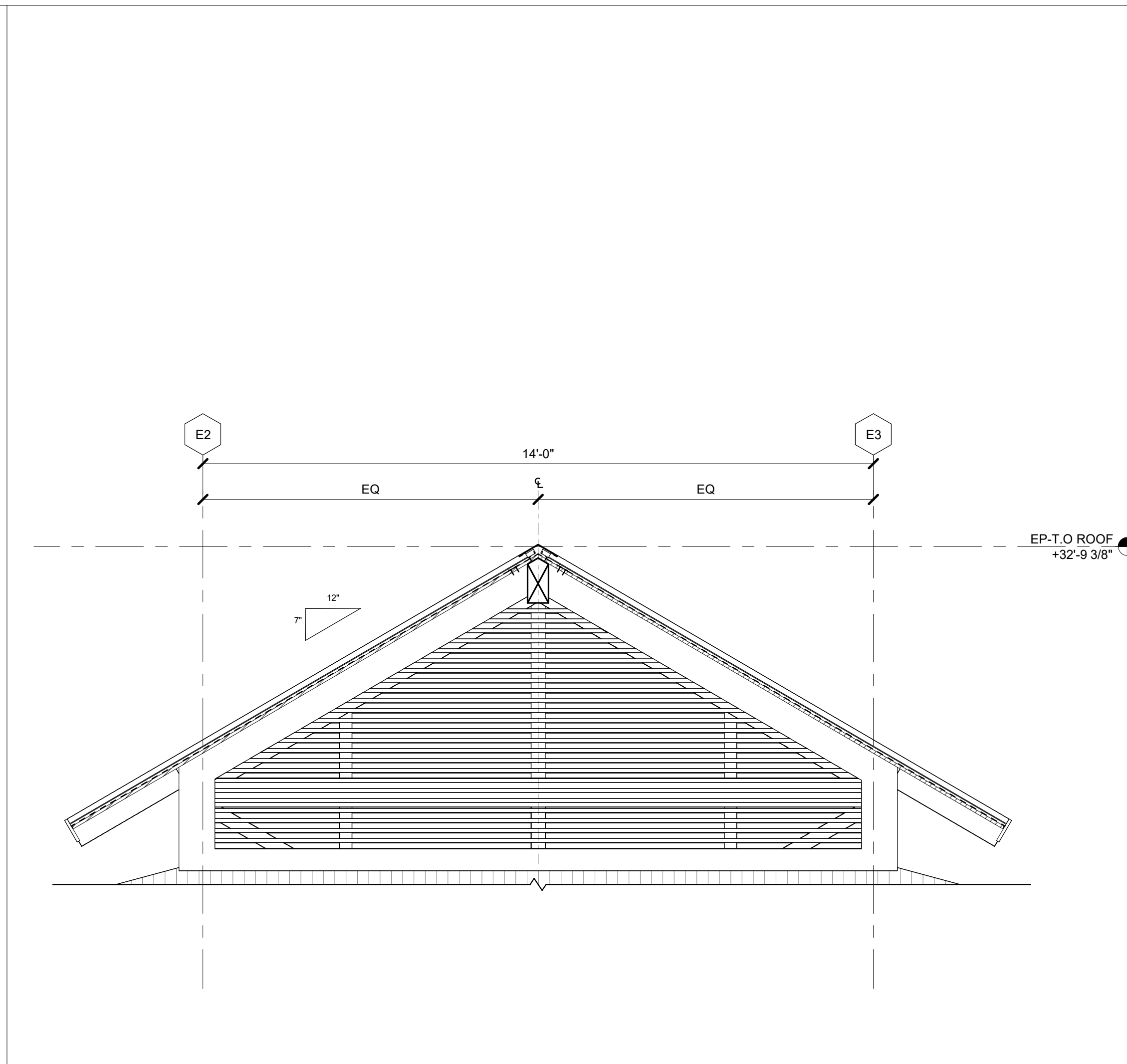
KEYNOTES / LEGENDS

- NOTE: 11'-0" DATUM IS BASED ON SURVEY 11'0" ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD83
- 06-05 WOOD SIDING - WD - 04
 - 06-09 WOOD SIDING GATE - WD - 04
 - 08-07 DOOR - SEE PLAN & SCHEDULE
 - 08-30 WINDOW - SEE PLAN & SCHEDULE
 - 10-06 HORIZONTAL EQUIPMENT SCREEN - MTL - 03
 - 23-02 MECHANICAL PLATFORM
 - 23-03 MECHANICAL AIR UNITS - SEE MECH. DWGS
 - 23-04 MECHANICAL HEAT PUMP - SEE MECH. DWGS
 - 32-28 HARDSCAPE PER LANDSCAPE

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

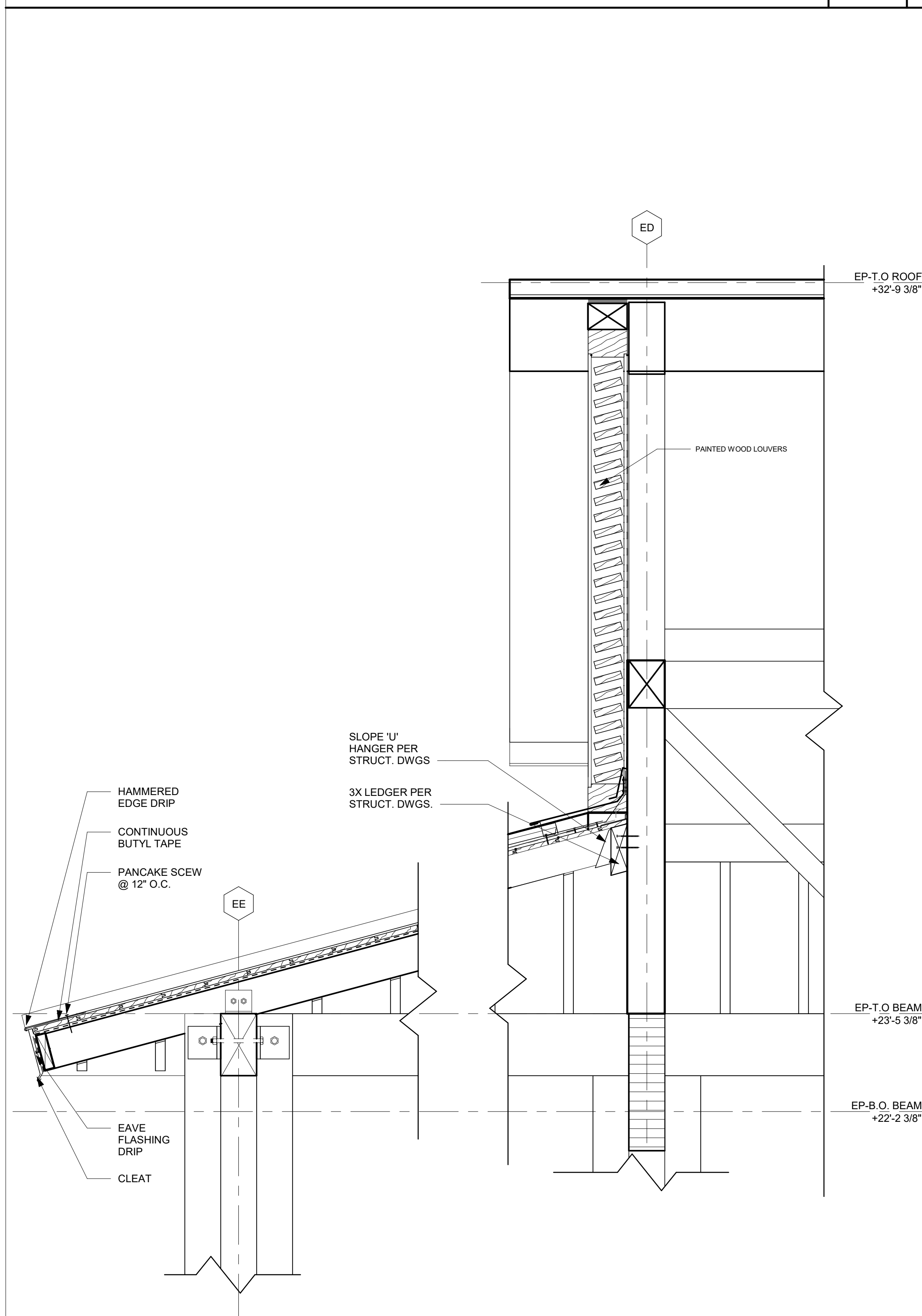
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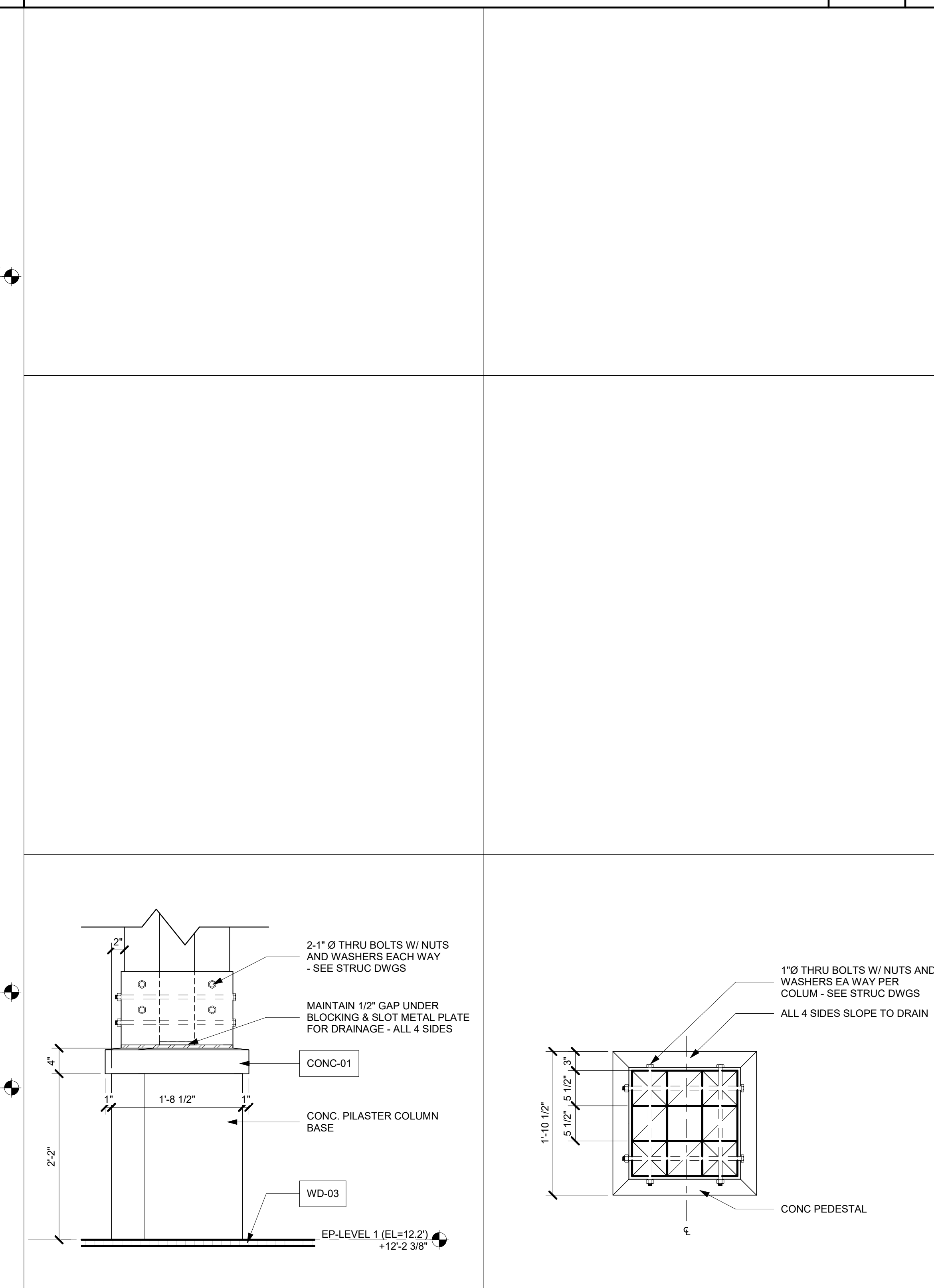


EVENT PAVILION - SIDE 1 ELEVATION - Callout 1 1/2" = 1'-0" 14

SECTION A DETAIL 3 1" = 1'-0" 4

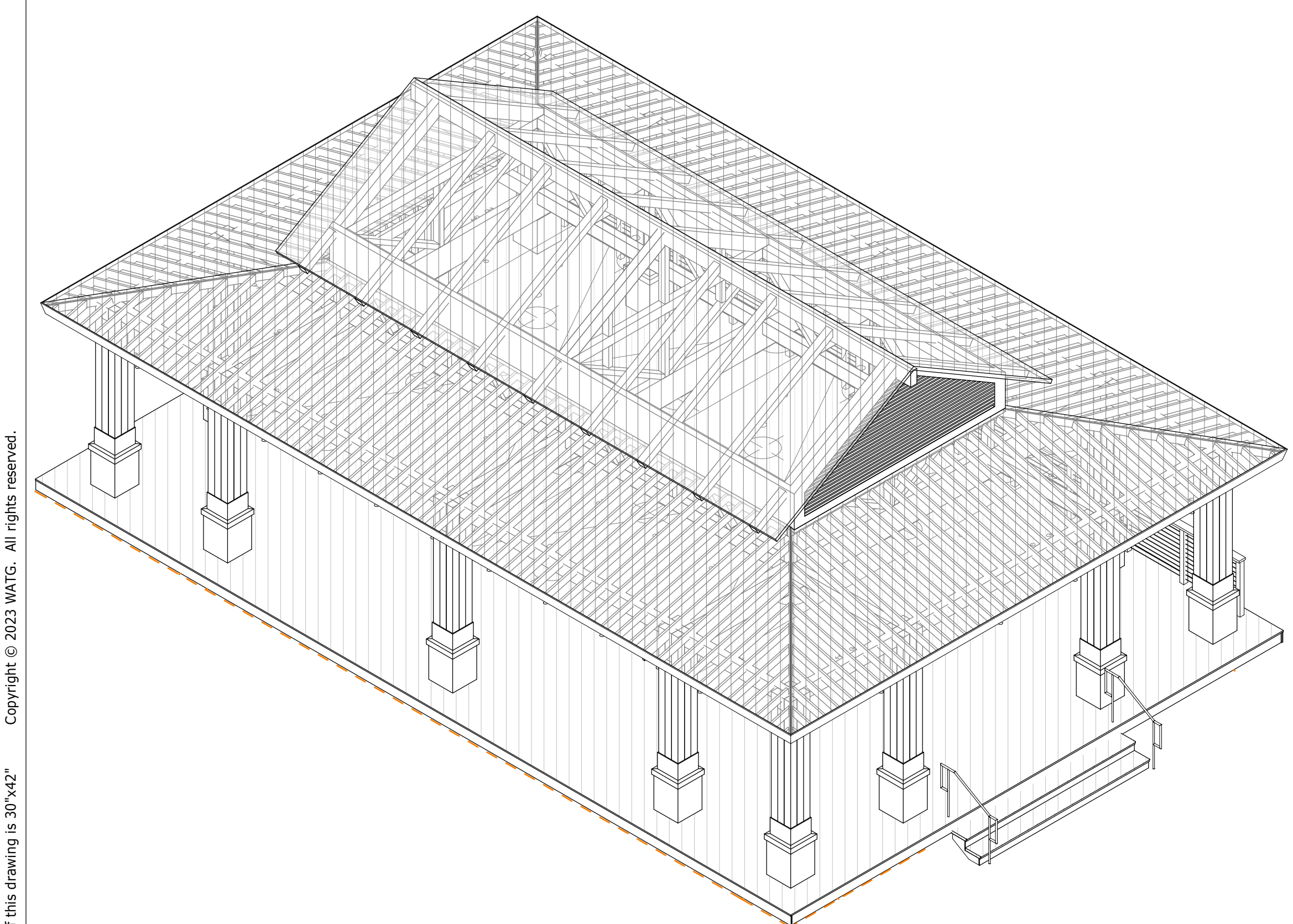


SECTION B DETAIL 3 1" = 1'-0" 11



TYP. BASE COLUMN ELEV. DETAIL 1" = 1'-0" 6

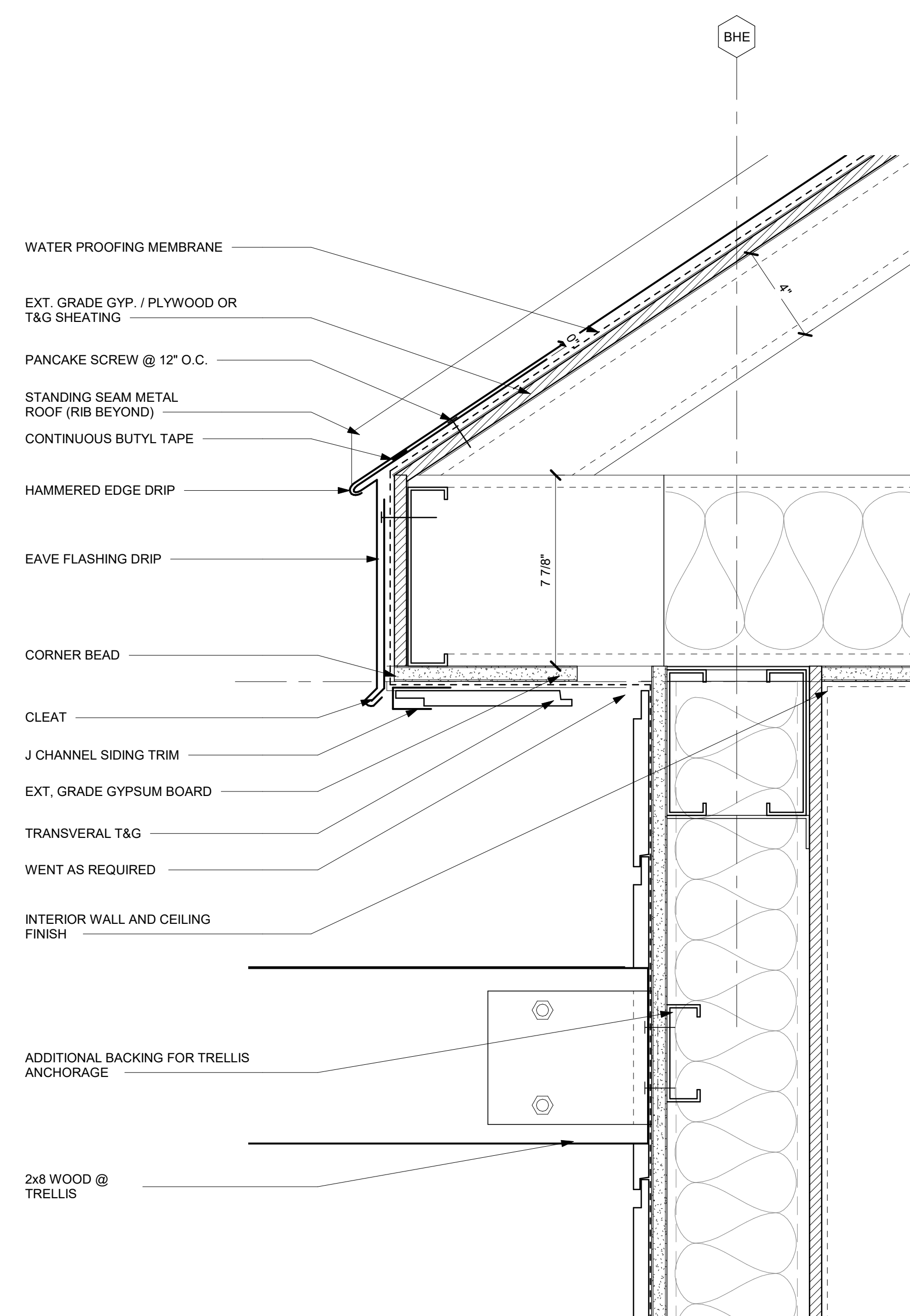
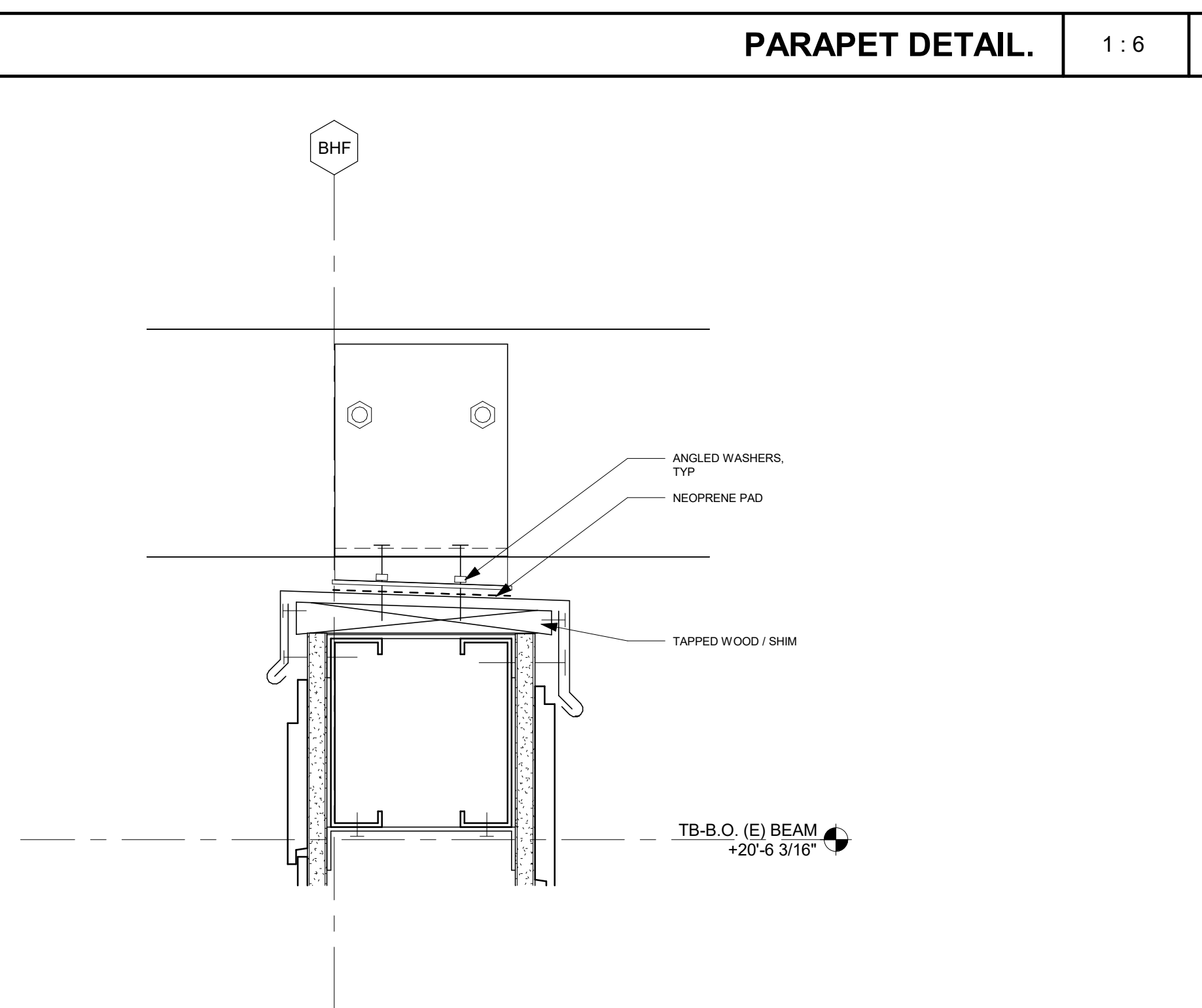
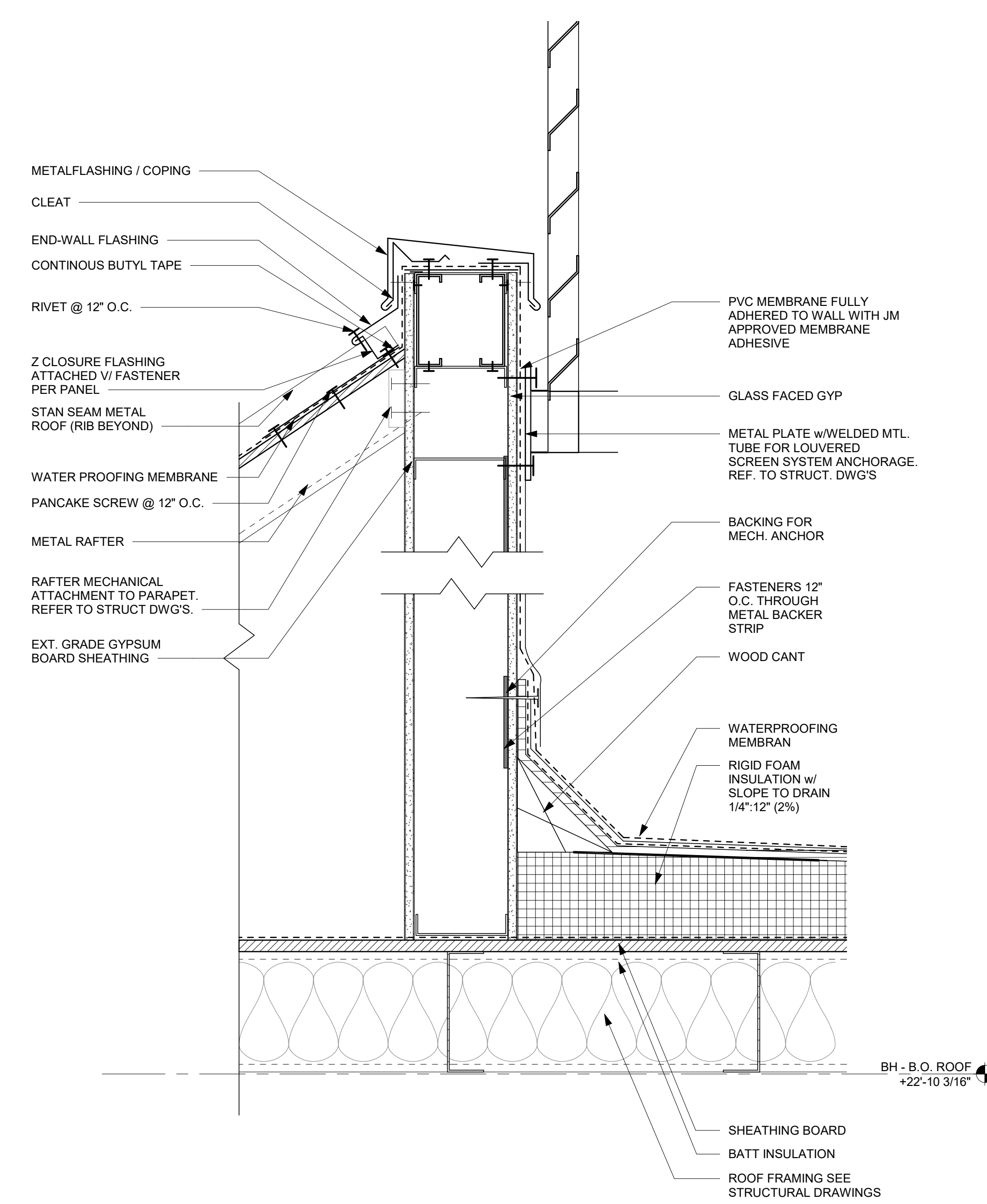
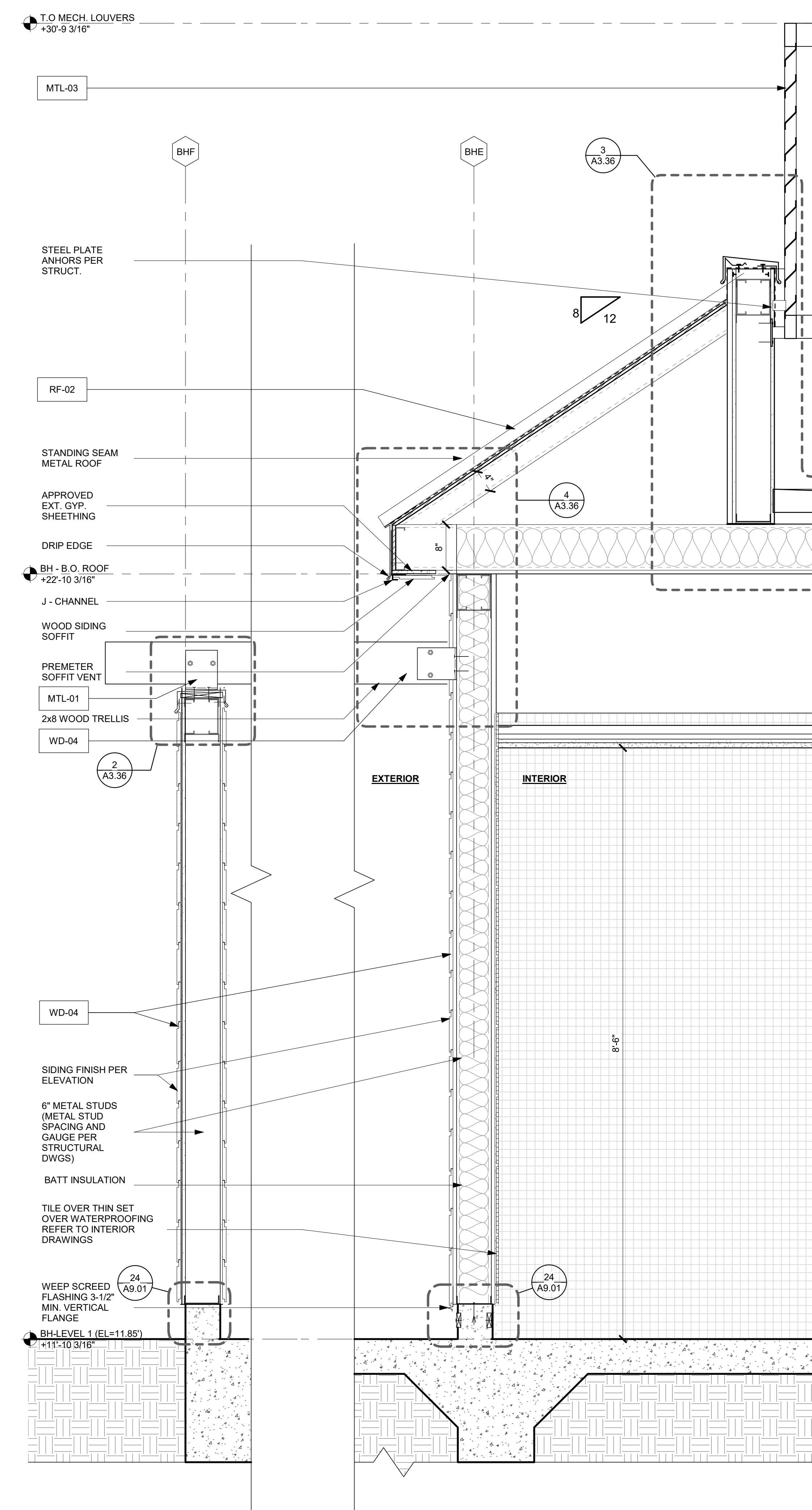
COLUMN-EVENT PAVILION 1" = 1'-0" 1



EVENT PAVILION 21

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7/27/2023 11:16:49 AM
The original size of this drawing is 30"x42"
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SOFFIT 3" = 1'-0" 4

TRELLIS TO COLUMN CONNECTION 3" = 1'-0" 2

KITCHEN/RESTROOM BLDG - WALL SECTION 1 1" = 1'-0" 1

PARAPET DETAIL. 1 : 6 3

MATERIAL BOARD

sheet title

project no. 212041 date 07/25/2023

checked by: Checker
drawn by: Author

component

A-10.01

sheet no.

MATERIAL BOARD



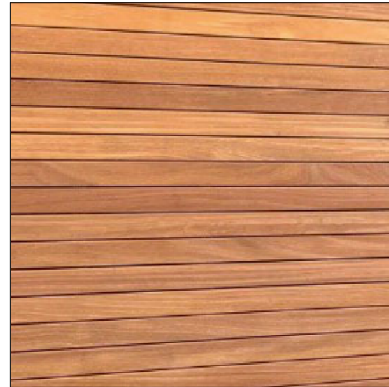
CON-01

CONCRETE COLUMN BASE
TROWEL SMOOTH FINISH
CLEAR COAT



RF-03

NEW SHINGLE ROOF TO MATCH EXISTING
MANUFACTURER: GAF TIMBERLINE HD
COLOR: WEATHERED WOOD ARCHITECTURAL SHINGLES



WD-04

WOOD SIDING AND TRELLIS
WOOD SPECIE: CUMARU HARDWOOD
COLOR: CLEAR COAT NATURAL



MTL-01

WOOD STRUCTURAL STEEL CONNECTIONS
FINISH: STAINLESS STEEL



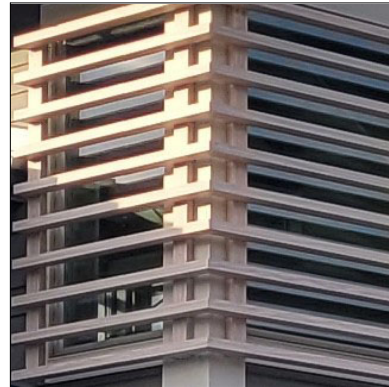
RF-01

NEW THATCH ROOF TO MATCH EXISTING



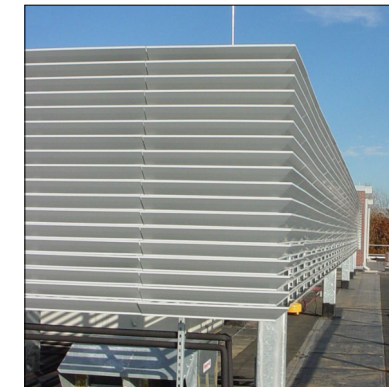
WD-01

NEW WOOD COLUMN / BEAMS AND LOUVERS
WOOD SPECIE: SOUTHERN YELLOW PINE
COLOR STAINED
MANUFACTURER: CUTEK - SMOKEY GRAY



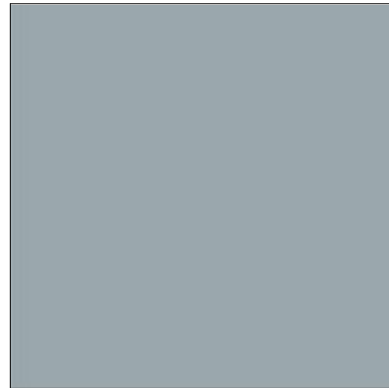
WD-05

WOOD LOUVER
WOOD & COLOR: MATCH WD-01



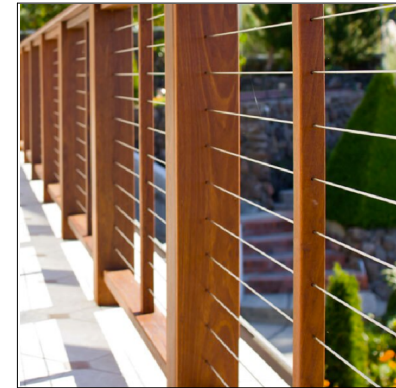
MTL-03

HORIZONTAL EQUIPMENT SCREEN
COLOR: MATCH COLOR OF METAL ROOF RF-02



RF-02

STANDING SEAM METAL ROOFING AND ROOF FASCIA
MANUFACTURER: PAC-CLAD
COLOR: CITY SCAPE



WD-02

WOOD RAILING
WOOD MATERIAL/COLOR: MATCH DECKING WD-03
CABLE COLOR: STAINLESS STEEL



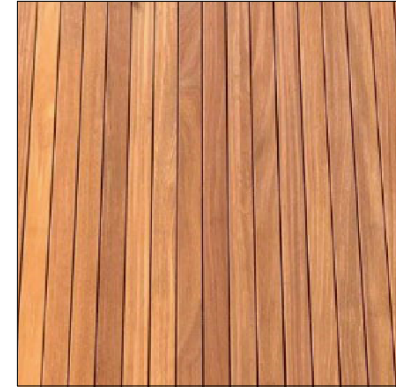
WD-06

NEW WOOD COLUMN (@ TIKI BAR)
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING



WD-03

WOOD DECK
WOOD SPECIE: CUMARU HARDWOOD
COLOR: CLEAR COAT NATURAL



WD-07

NEW WOOD BEAM AND RAFTERS (@ TIKI BAR)
SOUTHERN YELLOW PINE
MATCH EXISTING
COLOR: CLEAR COAT NATURAL





client

consultant



firstcircle

3187 Airway Avenue Building C
Costa Mesa, CA 92626
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www.firstcircledesign.com

stamp | approval

key plan

no. date issue
issues | revisions

DPR RESUBMITTAL | 07/07/23

Beach House
HILTON HEAD ISLAND

project logo

FIXTURE SCHEDULE

sheet title

project no. 000000 date 05/26/23

checked by: Checker
drawn by: Author

component

LT0.02

sheet no.

TYPE	B1G	M1	TS	XB1G	XK2	XK6	XK11	XL1A	XL1B	XP1	XT1B
SYMBOL	o	•	⊙	o							
MANUFACTURER	INTENSE	TARGETTI	ACUITY	INTENSE	AURORALIGHT	AURORALIGHT	AURORALIGHT	AURORALIGHT	AURORALIGHT	AURORALIGHT	AURORALIGHT
CATALOG #	LC4-L3-LD4DR-279-W-SF	DAM-RP-BZ-L1-FL-RGBW-M G-DX8PLEAD25-PS040-TGDM XSTICKDE3B-1DU3026BZ	FCS-7TSN-DWH	LC4-L2-LD4DR-279-W-SF	(2) HSL20-X0-90-NAT-C01400D /2/BZ	(6) HSL20-X0-90-NAT-C01400B /6/BZ	HSL20-X0-90-TS-HD-36-NA T	HSL20-X0-50-AGS-NAT	HSL20-X0-50-AGS-NAT	LBD-H-12-27-30-120-GS2- NAT	HSL20-X0-90-CP35-BR-NAT
LAMP/CATALOG#	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	RGBW COLOR CHANGING LED (INCLUDED WITH LUMINAIRE)	N/A	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	(2) GREEN CREATIVE 6.5MR16DIM/830FL35/35W	(2) GREEN CREATIVE 6.5MR16DIM/830FL35/35W (4) GREEN CREATIVE 7.5MR16DIM/927FL35/RC	GREEN CREATIVE 7.5MR16DIM/927FL35/RC	GREEN CREATIVE 6.5MR16DIM/927FL35	GREEN CREATIVE 6.5MR16DIM/830FL35/35W	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	GREEN CREATIVE 7.5MR16DIM/927FL35/RC
LUMINAIRE WATTAGE	11	34	N/A	8	13	43	7.5	6.5	6.5	12	7.5
DESCRIPTION	RECESSED MOUNTED 2700K WARM WHITE LED DOWNLIGHT, WHITE TRIM FINISH.	SURFACE MOUNTED RGBW COLOR CHANGING LED FLOODLIGHT WITH 33 DEGREE FLOOD OPTICS. BRONZE FINISH.	WALL MOUNTED 7 INCH TOUCHSCREEN CONTROL STATION. WHITE FINISH.	RECESSED MOUNTED 2700K WARM WHITE LED DOWNLIGHT, WHITE TRIM FINISH.	TREE RING TO BE PROVIDED WITH (2) 3000K WARM WHITE LED UPLIGHTS WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	TREE RING TO BE PROVIDED WITH (2) 3000K WARM WHITE LED UPLIGHTS WITH 35 DEGREE OPTICS AND (4) 2700K WARM WHITE LED DOWNLIGHTS WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	TREE STRAP MOUNTED 2700K WARM WHITE LED ACCENT WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	STAKE MOUNTED 2700K WARM WHITE LED UPLIGHT WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 50 DEGREE ANGLED SHIELD.	STAKE MOUNTED 3000K WARM WHITE LED UPLIGHT WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 50 DEGREE ANGLED SHIELD.	30 INCH OVERALL HEIGHT 2700K WARM WHITE LED PATHWAY BOLLARD. NATURAL FINISH.	SURFACE MOUNTED 2700K WARM WHITE LED ACCENT WITH 25 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.
NOTES	REQUIRES PHASE DIMMING.	REQUIRES DMX CONTROL. REQUIRES REMOTE POWER SUPPLY(S), WIRING, AND TERMINATIONS TO BE OUT OF PATRON'S VIEW, BUT MAINTENANCE ACCESSIBLE.		CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	REQUIRES PHASE DIMMING.
VOLTS	120	120-277	120/24	120	12/120	12/120	12/120	12/120	12/120	120	12/120
CONTACT	BRAD HUTCHINSON DAVID SILVERMAN & ASSOCIATES, INC TEL: 818 541 6691 EMAIL: brod@dsa-lighting.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	BRAD HUTCHINSON DAVID SILVERMAN & ASSOCIATES, INC TEL: 818 541 6691 EMAIL: brod@dsa-lighting.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com

TYPE	XT1C	XT2C	XU1	XW1	XZ21	XZ22	XZ23	Z1A	Z1B	Z2
SYMBOL	o	o	⊥	⊥	-----	-----	-----	-----	-----	-----
MANUFACTURER	AURORALIGHT	AURORALIGHT	HYDEL	AURORALIGHT	DURALAMP	DURALAMP	DURALAMP	DURALAMP	DURALAMP	DURALAMP
CATALOG #	HSL20-X0-90-CP35-BR-NAT	HSL20-X0-90-CP35-BR-NAT	4800-RD-SS-LED-120-WHT5 3K-MFL-CLS-NM-3445B-CSL 35-SWM-LP	HWM16-LM-2-90-CP45-BR- NAT	DL-ES-15-0-22-HC-24-DL- W-2PC-C-DL-W-2PC-F60-D MLE961242UD	DFA-SB-28-0-22-24-KT10U VL2-KTUVFP2-DMLE601242UD	DL-D-CL-MD-24-BK-DLDCLAC 1/16SS-DLDCLSHADEBK	DL-ES-15-0-27-HC-24-DL- W-45-MCH-4-DL-W-45-CVR -4-F60-DMLE961242UD	DL-ES-15-0-27-HC-24-DL- W-2PC-C-DL-W-2PC-F60-D MLE961242UD	DLD-CL-MD-24-BK-3FT CORD AND PLUG
LAMP/CATALOG#	GREEN CREATIVE 7.5MR16DIM/927FL35/RC	GREEN CREATIVE 7.5MR16DIM/927FL35/RC	5300K WHITE LED (INCLUDED WITH LUMINAIRE)	(2) GREEN CREATIVE 7.5MR16DIM/927FL35/RC	2200K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	2200K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	DL-SG-MD-22-120-D-SP	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	DL-SG-MD-22-120-D-SP
LUMINAIRE WATTAGE	7.5	7.5	9	15	1.5/FT	2.8/FT	0.4/FT	1.5/FT	1.5/FT	0.4/FT
DESCRIPTION	SURFACE MOUNTED 2700K WARM WHITE LED ACCENT WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	SURFACE MOUNTED 2700K WARM WHITE LED ACCENT WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	WALL NICHE MOUNTED 5300K WHITE LED SWIMMING POOL FIXTURE WITH MEDIUM FLOOD OPTICS AND CONVEX SWIM LENS. STAINLESS STEEL FINISH.	SURFACE MOUNTED 2700K WARM WHITE LED UP/DOWN SCORCE WITH 35 DEGREE OPTICS. NATURAL FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	SURFACE MOUNTED 2200K WARM WHITE LED LINEAR TAPELIGHT. TO BE MOUNTED IN FLAT 2-PIECE MOUNTING CHANNEL WITH 60% FROSTED LENS.	SURFACE MOUNTED 2200K WARM WHITE LED LINEAR TAPELIGHT. TO BE MOUNTED IN FLEXIBLE STAINLESS STEEL CHANNEL.	FESTOON SYSTEM WITH 2200K WARM WHITE LED STARGAZER LAMPS WITH SHATTER PROOF COATING ON 24" SPACING. TO BE PROVIDED WITH DECORATIVE SHADE. BLACK CABLE AND SHADE FINISH.	SURFACE MOUNTED 2700K WARM WHITE LED LINEAR TAPELIGHT. TO BE MOUNTED IN 45 DEGREE MOUNTING CHANNEL WITH 60% FROSTED LENS.	SURFACE MOUNTED 2700K WARM WHITE LED LINEAR TAPELIGHT. TO BE MOUNTED IN FLAT 2-PIECE MOUNTING CHANNEL WITH 60% FROSTED LENS.	FESTOON SYSTEM WITH 2200K WARM WHITE LED STARGAZER LAMPS WITH SHATTER PROOF COATING ON 24" SPACING. BLACK CABLE FINISH.
NOTES	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING. REQUIRES REMOTE POWER SUPPLY(S), REMOTE POWER SUPPLY(S), WIRING, AND TERMINATIONS TO BE OUT OF PATRON'S VIEW, BUT MAINTENANCE ACCESSIBLE.	REQUIRES PHASE DIMMING. REQUIRES REMOTE POWER SUPPLY(S), REMOTE POWER SUPPLY(S), WIRING, AND TERMINATIONS TO BE OUT OF PATRON'S VIEW, BUT MAINTENANCE ACCESSIBLE.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING. REQUIRES REMOTE POWER SUPPLY(S), REMOTE POWER SUPPLY(S), WIRING, AND TERMINATIONS TO BE OUT OF PATRON'S VIEW, BUT MAINTENANCE ACCESSIBLE.	REQUIRES PHASE DIMMING. REQUIRES REMOTE POWER SUPPLY(S), REMOTE POWER SUPPLY(S), WIRING, AND TERMINATIONS TO BE OUT OF PATRON'S VIEW, BUT MAINTENANCE ACCESSIBLE.	FIXTURE TO BE PLUG-IN.
VOLTS	12/120	12/120	120	12/120	120-277/24	120-277/24	120	120-277/24	120-277/24	120
CONTACT	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com



client

consultant



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stamp | approval

key plan

no. date issue
issues | revisions

DPR RESUBMITTAL | 07/07/23

Beach House
HILTON HEAD ISLAND

project logo

SITE PHOTOMETRIC STUDY
REFERENCE PLAN

sheet title

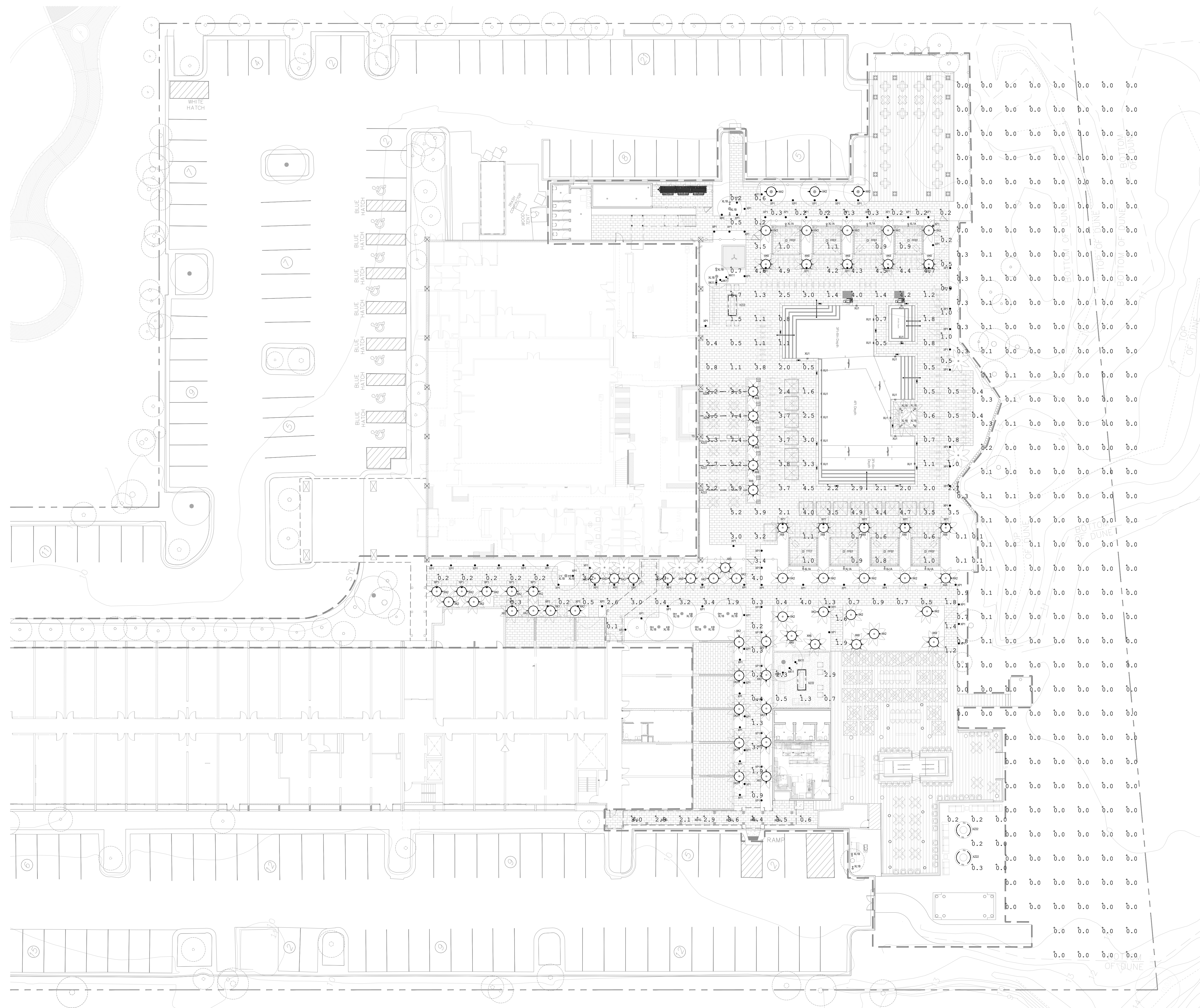
project no. 000000 date 05/26/23

checked by: Checker
drawn by: Author

component

LT1.01.1

sheet no.



BEACH HOUSE HILTON HEAD ISLAND GENERAL SITE LIGHTING GUIDELINES

- A. All Exterior and Site Lighting associated with the property shall be shielded, directed downward, and not impact adjacent lands, streets, paths, or night sky.
- B. Only LED Light Sources (except) shall be used. Light Sources shall not be visible from any street right-of-way.
- C. Light Fixtures shall be installed in such a manner that light does not spill onto adjacent properties.

LIGHT FIXTURES SPECIFIED FOR THE SITE AND EXTERIOR LIGHTING DESIGN ADHERE TO GUIDELINES USING THE FOLLOWING TECHNIQUES:

- 1 Spill Control Optics
- 2 Full Cutoff
- 3 Capable of Photocell and Motion Sensor Control

SEA TURTLE PROTECTION

- Table 8 - Section 8.5-115 (selected criteria during the sea turtle nesting season means period from May 1 through October 31 of each year.)
- Item #1 - All exterior light fixtures visible from the beach shall be downward directed and have a shield on or after May 1, 2021 or they shall be turned off between 10:00 p.m. and 6:00 a.m. during sea turtle nesting season.
- Item # 5C - Use shields on light fixtures that are visible from the beach during sea turtle nesting season.
- Item # 5D - Use long wavelength (680 nanometers (nm) or greater) lightbulbs in light fixtures that are visible from the beach during sea turtle nesting season.

PUBLIC SWIMMING POOL GUIDELINES

Underwater Lighting: Where underwater lighting is used, not less than 0.5 watts of incandescent lighting or 8.35 lumens must be provided per square foot of pool area. An adequate number of lights must be used and properly positioned so that all portions of the pool are clearly visible to an observer on the pool deck.

Area Lighting: Where underwater lighting is used, uniform area lighting must be provided for the deck area (0.6 watts of incandescent light per square foot) and directed toward the deck area and away from the pool surface except as these lights must be placed around the pool area such that all sections and depths of the pool are clearly visible at all times. Light fixtures located within the pool area must be protected by a non-breakable lens.

LIGHT LEVEL AND LIGHTING WATTAGE CRITERIA

- Pool Deck Area Lighting:
 1. Maximize Exterior Lighting Illumination Levels (per Section 16.5-108, Table 16.5-108.D) recommended Light Levels in the IESNA 9th Edition Lighting Handbook for Fitness Center Outdoor Pool Deck.
 2. (0.09 LED Watts per square foot) equal to 0.9 Incandescent Watts per Square Foot - meets South Carolina Dept of Health and Environmental Control (Section R.61-51C-318) requirements.
- Swimming Pool and Spa Underwater Lighting: (0.05 LED Watts per square foot) equal to 0.5 Incandescent Watts per Square Foot - meets South Carolina Dept of Health and Environmental Control (Section R.61-51C-318) requirements.
- Pedestrian Walkways: 0.2 Footcandle Minimum (2.1 ratio of Average to Minimum)
- Egress Walkways: 1 Footcandle Minimum

LC4 / LD4D

4" LC Fire-Rated LED Downlight

HHBH - XB1G
Pavilion Breezeway

JOB NAME			
NOTES		TYPE	

ELECTRICAL DATA

LED Light Engine	System Wattage *	CCT / CRI	Nominal Delivered Lumens **	
			Round	Square
L2	8W	3000K / 90 CRI	650lm	550lm
L3	11W	3000K / 90 CRI	1000lm	900lm
L4	14W	3000K / 90 CRI	1250lm	1100lm

*System Wattage includes driver & LED Module consumption / **Delivered Lumen output will vary depending on CCT, CRI & finish

FEATURES

- J-Box housing design meets 2HR Fire Rating per UL514A
- Inherent airtight IC and CCEA rated for Chicago Plenum
- Concrete pour option available
- Single housing design accepts both round and square trims

LED LIGHT ENGINE

- 90 CRI in 2700K, 3000K, 3500K or 4000K
- 2 SDCM (2-Step MacAdam)
- 50,000 hours L70 (rated life at 70% output)

ELECTRICAL SYSTEM

- Universal 120V - 277V input
- This product complies with IEEE C62.41 for surge endurance up to 2.5KV
- Additional surge protection recommended
- Damage from power surge is not covered by warranty

HOUSING

- 16 gauge galvanized steel
- IC airtight and Chicago plenum rated. Also suitable for Non-IC applications
- Concrete pour option (includes mounting tabs)

DIMMING

- Phase and 0-10V dimming available via single driver
- Forward/reverse phase dimming (120V only)
- 0-10V 5% dimming
- [Dimming compatibility chart link](#)

- Powder coated aluminum die-cast trim
- Non Conductive trim made of heavy duty injection molded polymer
- Quick connect for easy installation
- High optical transparency diffusion lens provides enhanced visual comfort
- Wet location listed

INSTALLATION

- Junction box housing is standard type IC Air-Tight rated for direct contact with insulation
- Fixture includes adjustable bar hangers (14"-24") for wood joist or t-bar ceiling installations
- Accommodates ceilings with a 1/2" to 1-1/2" thickness
- Maximum ambient temperature 50°C (122°F)

LISTING

- Trim Assembly: ETL listed to US and Canadian standards for wet location
- Housing: ETL listed to UL 1598 standard
- ETL fire rate listed conforms to UL standard 263
- CCEA rated for Chicago Plenum installations
- STC:57/ IIC:50
- 5-Year Intense LED Limited Warranty
- Can be used to comply with 2016 Title 24, Part 6, JA8 high efficacy LED light source requirements



LD4DR



LD4DS

TRIM ASSEMBLY

For alternate dimming options see LC4F Downlight specification

Ceiling Cut Out: 4 5/16" octagonal. Maximum Ceiling Thickness: 1 1/2"

Frame-In Part Number (Example: LC4L2)

Frame-In	Wattage	Dimming	Options
LC4 (Fire-Rated, J-box housing)	L2 (8 Watts)	blank (120V-277V, 120V Phase ¹ , 0-10V)	P (Concrete Pour)
	L3 (11 Watts)		
	L4 (14 Watts)		

Trim Assembly Part Number (Example: LD4DR309SN-SFW)

Trim	CCT/CRI	Finish
LD4DR (4" Downlight Round)	279 (2700K/90 CRI)	W-SF (White / Self-Flanged)
LD4DS (4" Downlight Square)	309 (3000K/90 CRI)	B-SF (Black / Self-Flanged)
	359 (3500K/90 CRI)	SN-SFW (Satin Nickel / Self-Flanged White)
	409 (4000K/90 CRI)	NC-SF ² (White Non Conductive / Self-Flanged)

Note:

1. Phase Dimming, 120V only
2. Available in Round Only

SPECIFICATION SHEET L/M-091.21 P-17

INTENSE LIGHTING | 3340 E La Palma Ave, Anaheim, CA 92806 | tel 714 630-9877 | fax 714 630-9883

For Intense Lighting's limited product warranty, go to www.intenselighting.com. For a printed copy of the warranty, you may call 800 961-5321.

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TYPE:
CAT. #: HSL20-XO-

HHBH - XL1B Landscape Accent

HHBH - XK6 Tree upright + Task light
--

HHBH - XL1A Screen upright

HHBH - XT1C Pavilion task

The **HSL20-XO Omega** borrows the best features from over five generations of our classic workhorse SL16 series fixture. The all-new HSL20-XO directional is a full featured aggressively priced luminaire intended for use with open source MR16 sized LED lamps. The HSL20-XO is field convertible to our high performance LM16 "Designer Module" should the need arise. Additionally, the Storm Drain system has been combined with a flushing edge to expel debris. The new sleek and compact design is 30% lighter than our HSL16 Telluride; the Omega is an exceptional value; Offered in 2 versions: (LM, & XO) to meet the specific demands of our top tier customers.

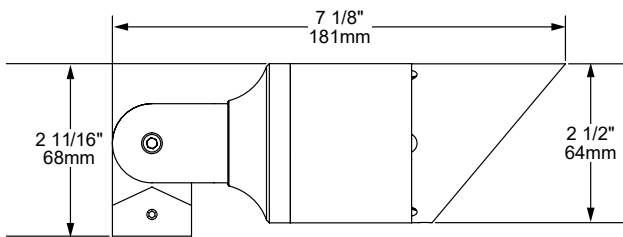
Features include:

- Variety of MR16 Lamp Options
- 2700K (90 CRI), 3000K (90 CRI), or Turtle Safe Amber (560nm)
- Storm Drain™ Lens Drainage System
- Aurora Mount System (AMS™) Compatible
- Solid Brass Construction
- Compatible with 4, 6, 8 or 12 Watts "Designer LED Module"

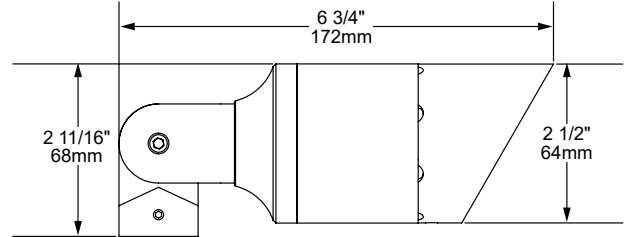


HSL20-XO-50-BLP

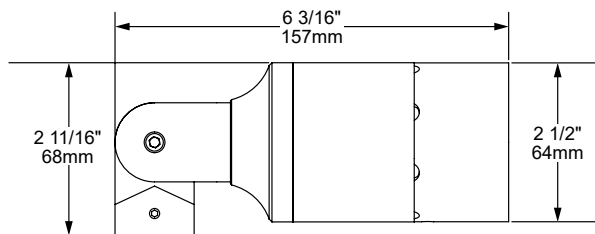
HSL20-XO-60-NAT



[50] 50° Angled Shield



[60] 60° Angled Shield



[90] 90° Straight Shield

STORM DRAIN

Auroralight's proprietary Storm Drain™ system provides exceptional glare control together with enhanced drainage. The secret is our Exclusive "Linear Weep Hole" With eight or more such holes; water flushes out quickly and entirely with zero light trespasses. Auroralight, Engineering Solutions that make a difference!

AMS AURORA MOUNT SYSTEM

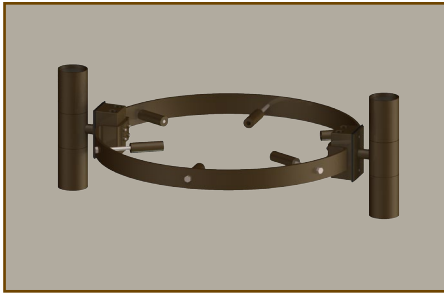
The Aurora Mount System (AMS™) features 2 axis of adjustment – 360° of fixture rotation at the mount and 230° at the solid brass knuckle. The ultimate in precision aiming without twisting or compromising wire integrity.

12V
STORM DRAIN
IP67

SEE NEXT PAGE FOR ORDERING INFORMATION



Tree Brackets



C01400x/2/HL-374

MR16 fixed square accent light with a machined 4.75" wall plate. Suitable for wet location installations as an up or down light.

Material:
C01400x/2/HL-374 - Machined Aluminum

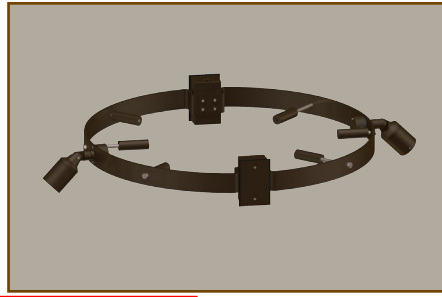
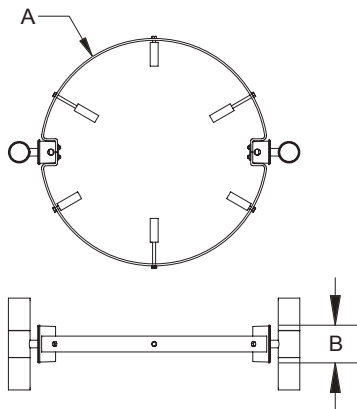
Finish:
AA - Anodized Satin Aluminum
AP - Aluminum Powder Coat
BK - Black Powder Coat
BZ - Bronze Powder Coat
WT - White Powder Coat

Lamping:
Halogen - PAR20 lamp, not Included

Wattage:
50W max

Voltage:
120 Volts

Mounting:
Available for (4) adjustable tree diameters.
C01400A - 11.50" - 16.50"
C01400B - 16.75" - 21.75"
C01400C - 22.00" - 27.00"
C01400D - 27.00" - 32.00"



C01400x/2/HL-360

MR16 wall mount square accent light. Suitable for wet location installations as an up or down light.

Material:
C01400x/2/HL-360 - Machined Aluminum

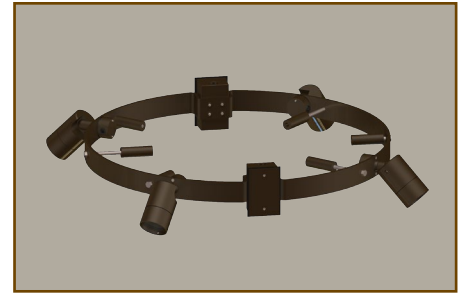
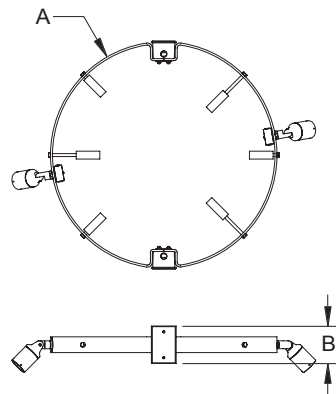
Finish:
AA - Anodized Satin Aluminum
AP - Aluminum Powder Coat
BK - Black Powder Coat
BZ - Bronze Powder Coat
WT - White Powder Coat

Lamping:
Halogen - MR16 Bi-Pin lamp, not Included

Wattage:
50W max

Voltage:
12 Volts - transformer required, not included

Mounting:
Available for (4) adjustable tree diameters.
C01400A - 11.50" - 16.50"
C01400B - 16.75" - 21.75"
C01400C - 22.00" - 27.00"
C01400D - 27.00" - 32.00"



C01400x/4/HL-915

LED wall mount square up/down accent light. Suitable for wet location installations.

Material:
C01400x/4/HL-915 - Machined Aluminum

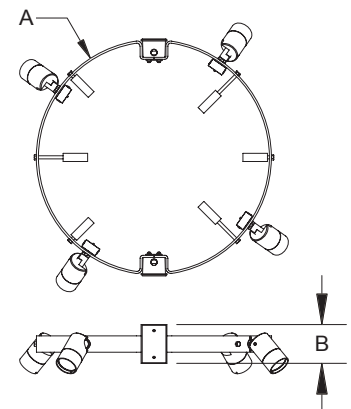
Finish:
AA - Anodized Satin Aluminum
AP - Aluminum Powder Coat
BK - Black Powder Coat
BZ - Bronze Powder Coat
WT - White Powder Coat

Lamping:
LED - 3xLED, 3500K color temp standard

Wattage:
5 or 15W each

Voltage:
12 Volts - transformer required, not included

Mounting:
Available for (4) adjustable tree diameters.
C01400A - 11.50" - 16.50"
C01400B - 16.75" - 21.75"
C01400C - 22.00" - 27.00"
C01400D - 27.00" - 32.00"



HEVI LITE, INC.

TEL 818.341.8091 • FAX 818.998.1986

www.HEVILITE.com

MADE IN THE USA

SPECIFICATIONS

DESCRIPTION:

Adjustable tree bracket for use with (6) LED accent fixtures.
Suitable for wet/damp/dry location installations.

MATERIAL:

Standard overall material is 6061 aluminum.
C01400B/6/HL915 - Machined Aluminum

FINISH:

- AP - Powder Coat Aluminum
- BK - Powder Coat Black
- BZ - Powder Coat Bronze**
- WT - Powder Coat White

LAMPING:

Lamp Type - 3xLED, two wattages available.

- 5 - 5W
- 15 - 15W

CCT - Color Corrected Temperature

- 27 - 2700K, 5W/15W
- 35 - 3500K, 5W/15W
- 42 - 4200K, 5W
- 45 - 4500K, 15W
- 63 - 6300K, 5W

Optics - Four beam angles available.

- SP - 10° Spot, 5W
- NF - 20° Narrow Flood, 5W/15W
- FL - 40° Flood, 5W/15W
- WFL - 60° Wide Flood, 15W

VOLTAGE:

12 - 12-24 VAC output transformer required, not included.

MOUNTING:

Equipped with (6) fixture mounting points

C01400B - 16.25" - 21.75"

OPTIONS:

Glare shields

GL-915 - Angled, aluminum

Lenses/Louvers/Color Filters

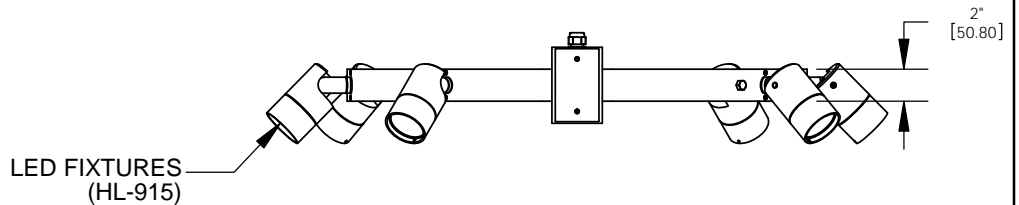
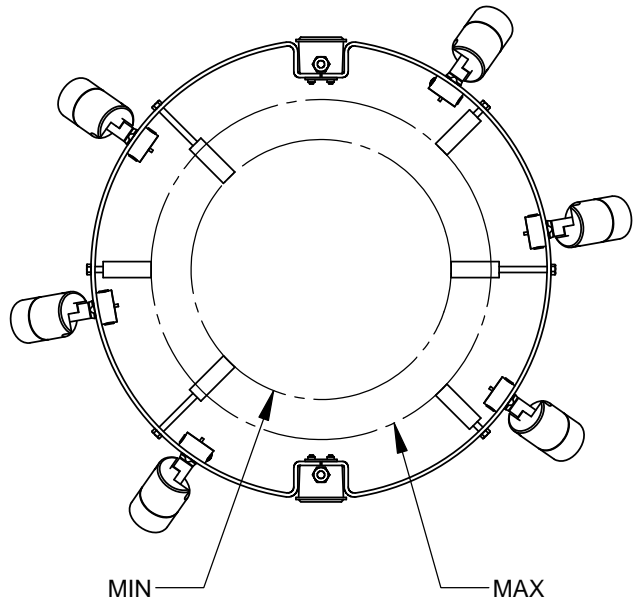
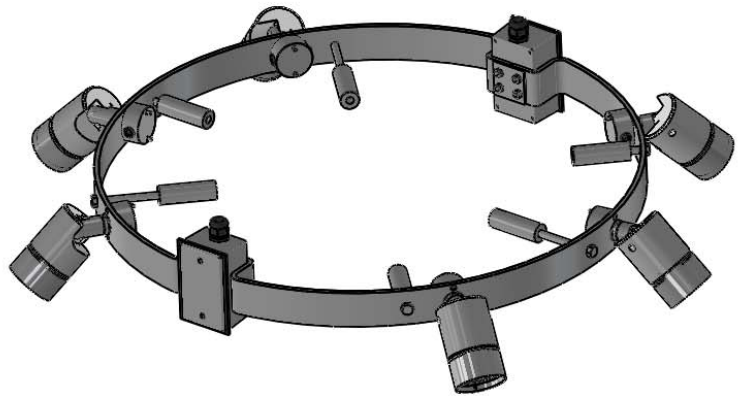
- LA-1-20** - Hexcell Louver (Black)
- LA-2-20** - Prismatic lens
- LA-3-20** - Linear spread lens
- LA-4-20** - Soft focus lens (diffused)
- LA-5-20** - Moonlight lens
- LA-6-20** - Blue lens

See fixture accessories for more information.

RATING:

Wet/damp/dry location.

MADE IN THE USA



PROJECT:
APPROVED:
NOTE:
TYPE:

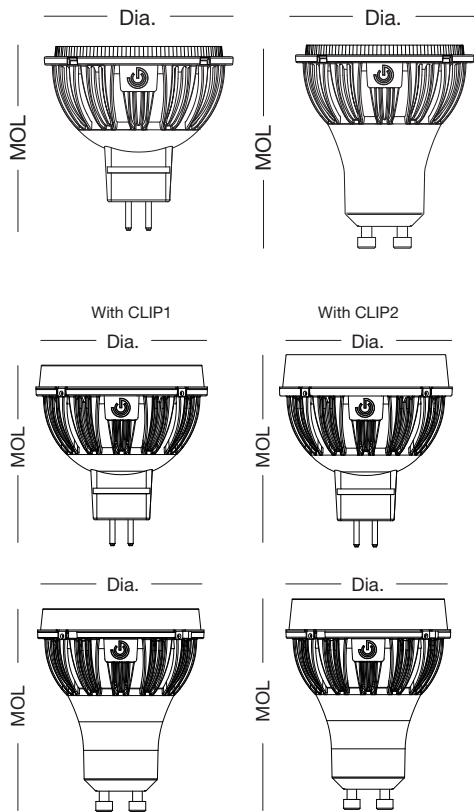
HEVI LITE, INC.
 9714 Variel Ave, Chatsworth, CA 91311
 Tel., (818) 341-8091 - Fax (818) 998-1986
 Web Site <http://www.hevilite.com>

CUSTOM NUMBER:
C01400B/6/HL915



REFINE MR16 FAMILY

DIMENSIONS & WEIGHT



Model	Base	MOL	Dia.	Weight
7.5MR16DIM/xxxxyyy/R	GU5.3	1-7/8"	2"	0.11 lb
7.5MR16DIM/xxxxyyy/RC	GU5.3	1-7/8"	2"	0.11 lb
7MR16DIM/xxxxyyy/R	GU5.3	1-7/8"	2"	0.11 lb
7MR16DIM/xxxxyyy/RC	GU5.3	1-7/8"	2"	0.11 lb
6.5GU10DIM/xxxxyyy	GU10	2-3/16"	2"	0.14 lb
5GU10DIM/xxxxyyy	GU10	2-3/16"	2"	0.11 lb

Model	Base	MOL	Dia.	Weight
7.5MR16DIM/xxxxyyy/RC + One Lens	GU5.3	2-1/16"	2"	0.13lb
7.5MR16DIM/xxxxyyy/RC + Two Lenses	GU5.3	2-3/16"	2"	0.15lb
7MR16DIM/xxxxyyy/RC + One Lens	GU5.3	2-1/16"	2"	0.13lb
7MR16DIM/xxxxyyy/RC + Two Lenses	GU5.3	2-3/16"	2"	0.15lb
6.5GU10DIM/xxxxyyy + One Lens	GU10	2-3/8"	2"	0.16lb
6.5GU10DIM/xxxxyyy + Two Lenses	GU10	2-1/2"	2"	0.18lb
5GU10DIM/xxxxyyy + One Lens	GU10	2-3/8"	2"	0.13lb
5GU10DIM/xxxxyyy + Two Lenses	GU10	2-1/2"	2"	0.15lb

ORDERING INFORMATION

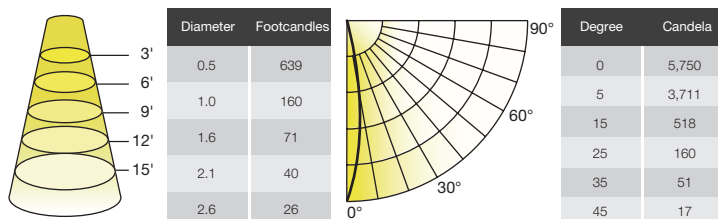
Model	Master Carton			Shipping Carton		
	Case Qty	Case Dimensions (LxWxH)	Case Weight	Case Qty	Case Dimensions (LxWxH)	Case Weight
7.5MR16DIM/xxxxyyy/R 7.5MR16DIM/xxxxyyy/RC 7MR16DIM/xxxxyyy/R 7MR16DIM/xxxxyyy/RC	12PCS	8-7/8" x 6-11/16" x 2-3/4"	1.75 lb	48PCS	13-7/8" x 9-1/4" x 6-5/8"	7.5 lb
5GU10DIM/xxxxyyy	12PCS	8-7/8" x 6-11/16" x 2-15/16"	1.86 lb	48PCS	13-7/8" x 9-1/4" x 7"	8.13 lb
6.5GU10DIM/xxxxyyy	12PCS	8-7/8" x 6-11/16" x 2-15/16"	2.20 lb	48PCS	13-7/8" x 9-1/4" x 7"	9.26 lb

Where xxx means 824-965 which indicates CRI and color temperature
Where yyyy means beam angle

ILLUMINANCE & CANDELA DISTRIBUTION

42W Equivalence

7.5MR16DIM/930SP10/R, 7.5MR16DIM/930SP10/RC

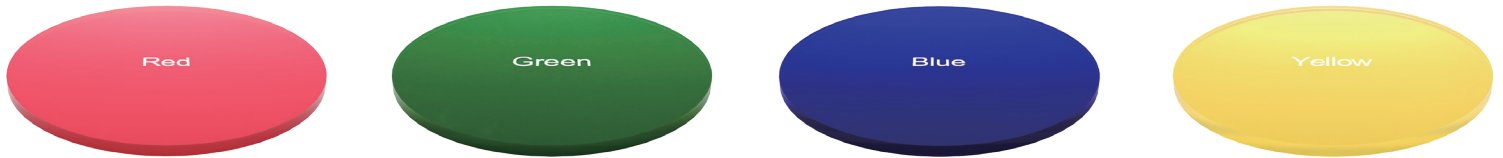


REFINE MR16 FAMILY

SPECIFICATIONS - TRUE BEAM MR ACCESSORIES

COLOR SHIFT LENS

Adjust the feel of any space by adding color lens options.



Product	Model	Description	Lumen Transmissivity	Color Shift Effect
35811	MR/ACC/RED	Shift lens Red	39%	Red
35812	MR/ACC/GRE	Shift lens Green	42%	Green
35813	MR/ACC/BLE	Shift lens Blue	26%	Blue
35814	MR/ACC/YLW	Shift lens Yellow	86%	Yellow

LINEAR DISTRIBUTION LENS

Provides an elliptical linear shaped light distribution.



Product	Model	Description	Lumen Transmissivity	CBCP of 10° Lamp	Field Angle Horiz.	Field Angle Vert.
35815	MR/ACC/LN1225	Linear distribution lens 12x25°	80%	35%	12°	25°
35816	MR/ACC/LN1236	Linear distribution lens 12x36°	80%	23%	12°	36°
35817	MR/ACC/LN1260	Linear distribution lens 12x60°	80%	16%	12°	60°

Note: To achieve the best performance, we recommend to use our linear/square/wide lenses in combination with our REFINE 10° lamps (36114/36115/36116).

The re-invented Hermosa **LBD-H** path light features a sleek new look and a serviceable machined Acrylic lens. Re-engineered to take full advantage of the "Designer Series" LED module. With enhanced performance, superior longevity, and ultimate flexibility, the new Hermosa is ready for "center stage." The ALP system allows control of the lumen output and radial spread and can be locked in place once set; let the show begin!

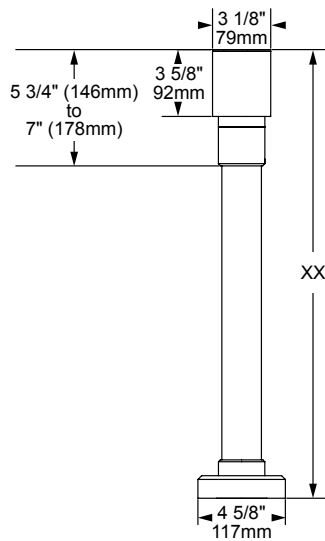
Features include:

- Interchangeable LED Module in 7 or 12 Watts up to 228 Lumens Delivered
- 2700K (80 & 90 CRI) or 3000K (80 CRI)
- Precision Machined, Field Replaceable Acrylic Lens
- Thermally Integrated® w/ Copper Core Technology®
- 12V Integral Constant Current Driver (AC or DC Input)
- Dimmable to <10% (TRIAC/Forward Phase)
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- 120V Option w/ Integral 60W 120-12V Transformer
- Solid Copper and Brass Construction



LBD-H-15-L/P-BLP

LBD-H-24-S/M-BLP



**COPPER
CORE
TECHNOLOGY®**

Copper Core® is a registered trademark of Auroralight. It is synonymous with the mark of quality and integrity. It means that our products are built upon a superior foundation of Solid Copper, ensuring every critical part functions seamlessly together Thermally integrated® one component to the next. Auroralight manufactured without compromise, engineered with passion, in the USA.



12V



THERMALLY INTEGRATED

SEE NEXT PAGE FOR ORDERING INFORMATION





4800 LED SWM

Line or Low Voltage Swimming Pool Fixture

HIGHLIGHTS

- Stainless steel housing
- Heavy wall cast bronze or stainless-steel door
- Static white: 554 lumens / 9 watts
- 27K, 30K, 41K, 53K, Amber Phosphor, Amber 590nm, Red, Green, Blue
- 12VAC, 120V with transformer
- Available in niche mount only

5
 YEAR
 warranty

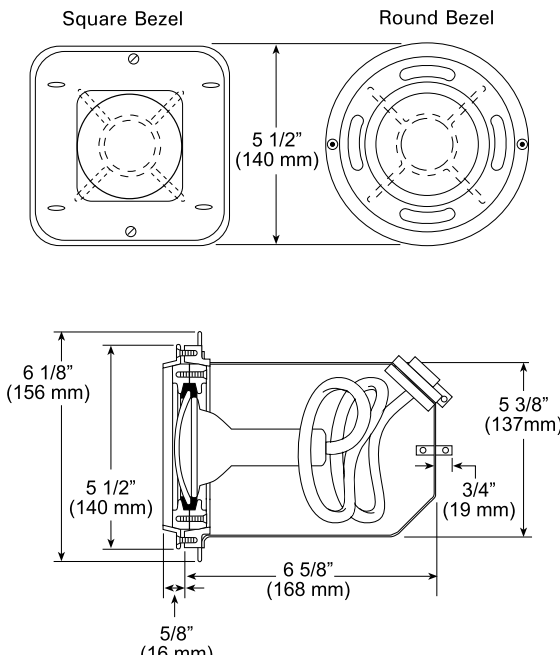

IP68



Specifications

Length:	6-5/8" 168 mm
Width:	5-1/2" 140 mm
Height:	6-1/8" 156 mm
Weight:	8lbs

DIMENSIONS



LUMEN PACKAGES

	NSP	MFL
Delivered Lumens	459	554
Watts	9	9
LPW	51	62

Note: Information based on WHT41K

The HWM16-LM Telluride is engineered around Auroralight's Thermally Integrated® Field Serviceable LED Module. Utilizing our Copper Core Technology®, internal temperatures are monitored and self-regulated; this guarantees exceptional performance and long service life. The Telluride includes our Storm Drain™ lens drainage allowing water and dirt to wash away for optimal light transmission. The HWM16 is ideal for up/down lighting and wall grazing outdoor features such as columns, patios, or pergolas.

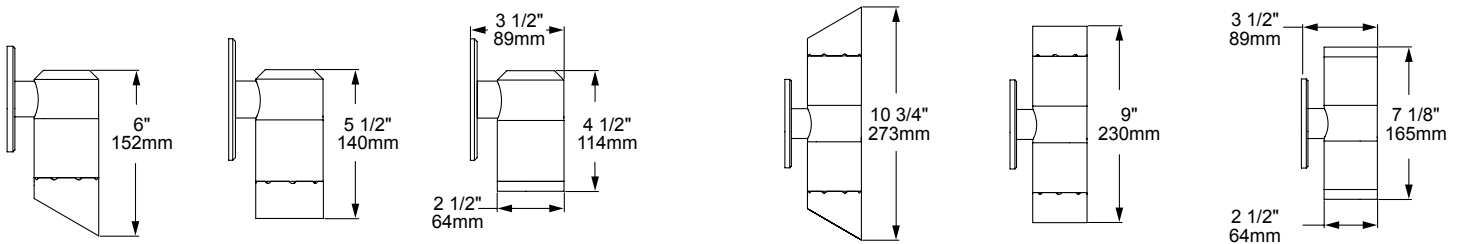
Features include:

- Interchangeable LED Module in 4, 6, 8 or 12 Watts up to 643 Lumens Delivered
- 6 Interchangeable PMMA Acrylic Optics
- 2700K (80 & 90 CRI) or 3000K (80 CRI)
- Thermally Integrated® w/ Copper Core Technology®
- Storm Drain™ Lens Drainage System
- 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
- Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- Solid Brass Construction



HWM16-LM-1-90-CP4-BLP

HWM16-LM-2-90-CP4-NI



HWM16-1 w/ 60° Angled Shroud

HWM16-1 w/ 90° Straight Shroud

HWM16-1 w/ Flush Shroud

HWM16-2 w/ 60° Angled Shrouds

HWM16-2 w/ 90° Straight Shrouds

HWM16-2 w/ Flush Shrouds

The FIT™ IP67 module is built on Auroralight's Copper Core Technology® platform and includes FIT™ Acrylic Optics.

COPPER CORE TECHNOLOGY®

12V

THERMALLY INTEGRATED

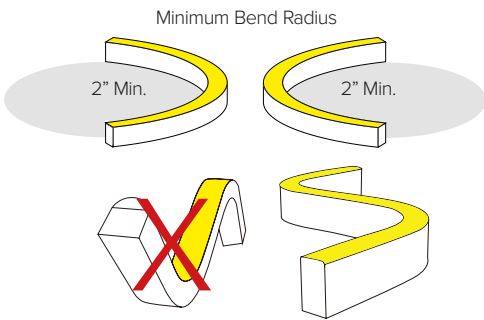
STORM DRAIN

SEE NEXT PAGE FOR ORDERING INFORMATION



KEY FEATURES

- Energy efficient LED flexible light strip for continuous constant monochromatic color in linear applications.
- Extremely flexible and adjustable lengths for varied architectural applications.
- Available as side-bend quadrature profile for curved applications.
- Manufactured to specified lengths with factory attached end preps and various connector options for project requirements and efficient power configurations.
- Max continuous length: up to 30' per run (2.8W/ft)
up to 20' per run (4.2W/ft)
- Multiple dimming options available.



DIMENSIONAL DRAWINGS



FIXTURE DATA

Model	Efficacy* Lm/Wt	Lm/Ft	Wt/Ft
2700K	25	107	4.2
	27	76	2.8
3000K	27	113	4.2
	29	81	2.8
3500K	27	113	4.2
	29	81	2.8
4000K	25	107	4.2
	30	84	2.8

* Meets Title 24 High efficacy rating.

LED DATA

Model	Wt/LED	Lifespan at 90% drive
2.8W/ft	0.08W	50,000hrs
4.2W/ft	0.13W	50,000hrs

* LEDs operating at 90% of LED manufacturers maximum current rating.

QUICK SHIP
1 - 2 weeks



DETAILS

- Spacing** 0.33" O.C. LED Spacing
- LEDs** 36 LEDs per foot
- Wattage** 2.8W/ft / 4.2W/ft
- Color Temp** 2700K / 3000K / 3500K / 4000K / Red 630nm / Green 530nm / Blue 470nm / Yellow 590nm / Orange 605nm
- End Preps** Factory attached end preps available (See Page 2).
- Field Cuts** See page 2 for manufacturer cut zones.
- Mounting** Mounting clip or aluminum mounting channel options.
- Lens Options** Extruded Silicone with Milky White diffusion lens with 113° visibility.
- Installation** Factory manufactured lengths with 12" IP65 connection lead with 12" power feed. To be completed with clip or channel mountings. Ordering lengths increments by 1.97". Minimum bend diameter 2in.
- Power Supply** Listed Class 2 output, 24V DC power supply required
- Certifications** cULus Class 2 Listed
Tested in accordance with LM-79-08
Energy efficient for California installations.
- Compliance** ROHS compliant
MRI Safe, driver to be mounted outside of MRI room. To be use with plastic or aluminum profiles only. To be installed with adhesive or MRI safe hardware only, no factory provided mounting hardware to be used.
- Warranty** 5 year warranty



Translucent Silicone Leads and End Caps

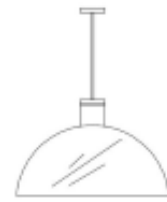
PRODUCT CODE	PROFILE	WATTAGE	IP RATING	COLOR TEMP	VOLTAGE	+	END PREP	+	MOUNTING	+	POWER SUPPLY
DFA — DuraFlex Arch™	SB — SIDE Flex	42 — 4.2W/ft (White ONLY)	O — Outdoor IP65	27 — 2700K 30 — 3000K 35 — 3500K 40 — 4000K RD — Red 630nm GR — Green 530nm BL — Blue 470nm YL — Yellow 590nm OR — Orange 605nm	24 — 24 VDC						
		28 — 2.8W/ft (White or Color)		22-2000K							

QUICK SHIP DFASB2803024-QS + KT10UVL1-QS
1 - 2 weeks

* Lead time for quick ship fixtures is 1-2 weeks from processed PO date. Consult factory for quantities of over 1,000ft to confirm lead time.

2200K and 2400K available upon request.

PROJECT: Hilton Head Beach House
 PROJECT #: 212041
 AREA: Tiki Bar
 ISSUE DATE: 07/10/2023
 STATUS: Issued



SPECIFICATION

- References in any specification to an equivalent product refer to a product of similar quality and appearance, but do not authorize or request any Contractor to reproduce or copy any product in violation of any copyright or other proprietary rights of any third party. Contractor shall be solely responsible for insuring that any product provided by it pursuant to these specifications does not violate the copyright or other proprietary rights of any third party. Contractor shall indemnify and hold harmless Owner and Agent against any damage, claim, loss or liability arising as a result of any claim by any third party alleging that the products provided by Contractor pursuant to these specifications violate any copyright or any other proprietary rights of any third party.

APPROVAL

SHOP DRAWINGS

- Manufacturer to submit complete shop drawings for comment and written approval to Wimberly Interiors. Shop drawings to indicate project name, spec number, overall dimensions, materials and finishes, lamping type / quantity, wattage, mounting details, and J-box connection location. Shop drawings must show placement of bulbs indicating the outline of the shade dimension to ensure that bulbs are not visible. Shop drawings to be scaled at no less than: 1'-0" = 1-1/4" & details at no less than 1'-0" = 1-1/2".

FINISH SAMPLES

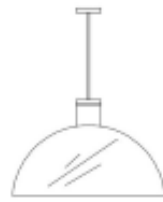
- Manufacturer to submit two finish samples of fixture and shade materials for comment and written approval by Wimberly Interiors prior to fabrication. Samples must be on appropriate base material and no less than 6" x 6" in size.

PROTOTYPE

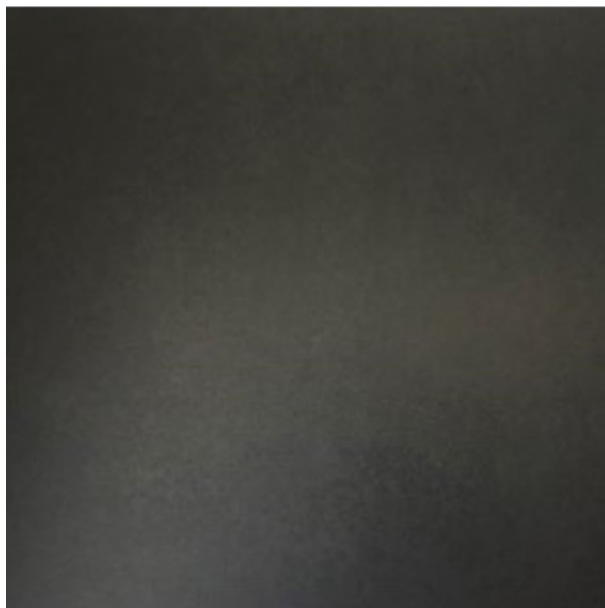
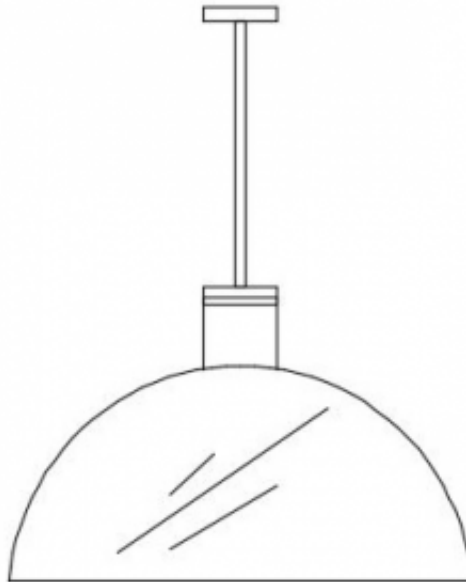
- Manufacturer to submit prototype with shade to Wimberly Interiors for written approval prior to fabrication.

BY	QTY.	ITEM	ITEM #
BS	18 EACH	Outdoor Ceiling Pendant	TB-500

PROJECT: Hilton Head Beach House
 PROJECT #: 212041
 AREA: Tiki Bar
 ISSUE DATE: 07/10/2023
 STATUS: Issued



SPECIFICATION



Matte Black Metal Finish Powder Coated w/ Protective Coat



Brass Metal Finish Powder Coated w/ Protective Coat

BY	QTY.	ITEM	ITEM #
BS	18 EACH	Outdoor Ceiling Pendant	TB-500

PROJECT: Hilton Head Beach House
PROJECT #: 212041
AREA: Tiki Bar
ISSUE DATE: 07/10/2023
STATUS: Issued



SPECIFICATION



BY	QTY.	ITEM	ITEM #
BS	40 EACH	Downlight Sconce @ Columns	TB-501



PROJECT: Hilton Head Beach House
 PROJECT #: 212041
 AREA: Tiki Bar
 ISSUE DATE: 07/10/2023
 STATUS: Issued

ATTACHMENT 1

Cylinder 3000K LED 12" Wall Light Textured Architectural Bronze	11251AZT30																																																																																			
© 2023 Kichler Lighting LLC. All Rights Reserved.																																																																																				
<p>SPECIFICATIONS</p> <table style="width: 100%; border-collapse: collapse;"> <tr style="background-color: #eee;"> <td colspan="2">Certifications/Qualifications</td> </tr> <tr> <td style="width: 60%;">Class 2</td> <td>Yes</td> </tr> <tr> <td>Title 24 Compliant</td> <td>Yes</td> </tr> <tr> <td></td> <td>www.kichler.com/warranty</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Dimensions</td> </tr> <tr> <td>Base Backplate</td> <td>5.00" X 5.00"</td> </tr> <tr> <td>Extension</td> <td>6.50"</td> </tr> <tr> <td>Weight</td> <td>3.08 LBS</td> </tr> <tr> <td>Height from center of Wall opening (Spec Sheet)</td> <td>6.25"</td> </tr> <tr> <td>Height</td> <td>12.00"</td> </tr> <tr> <td>Width</td> <td>5.00"</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Electrical</td> </tr> <tr> <td>Input Voltage</td> <td>Dual (120/140)V</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Light Source</td> </tr> <tr> <td>Delivered Lumens</td> <td>550</td> </tr> <tr> <td>Dimmable</td> <td>Yes</td> </tr> <tr> <td>Expected Life Span (Hours)</td> <td>40000</td> </tr> <tr> <td>Lamp Included</td> <td>Integrated</td> </tr> <tr> <td>Light Source</td> <td>LED</td> </tr> <tr> <td>Max or Nominal Watt</td> <td>15.00</td> </tr> <tr> <td># of Bulbs/LED Modules</td> <td>1</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Mounting/Installation</td> </tr> <tr> <td>Interior/Exterior</td> <td>Exterior</td> </tr> <tr> <td>Location Rating</td> <td>Wet</td> </tr> <tr> <td>Mounting Style</td> <td>Wall Mount</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Photometrics</td> </tr> <tr> <td>Color Rendering Index</td> <td>90</td> </tr> <tr> <td>Color Temperature Range</td> <td>3000</td> </tr> <tr> <td>Kelvin Temperature</td> <td>3000K</td> </tr> <tr> <td colspan="2" style="padding: 10px 0 0 0;">FIXTURE ATTRIBUTES</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Housing</td> </tr> <tr> <td>Primary Material</td> <td>ALUMINUM</td> </tr> <tr> <td>Shade Dimensions</td> <td>4.50" D X 12.25"</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Product/Ordering Information</td> </tr> <tr> <td>SKU</td> <td>11251AZT30</td> </tr> <tr> <td>Finish</td> <td>Textured Architectural Bronze</td> </tr> <tr> <td>Style</td> <td>Contemporary</td> </tr> <tr> <td>UPC</td> <td>783927453097</td> </tr> <tr style="background-color: #eee;"> <td colspan="2">Finish Options</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="radio"/></td> <td>Textured Architectural Bronze</td> </tr> <tr> <td style="text-align: center;"><input type="radio"/></td> <td>Textured Black</td> </tr> </table>		Certifications/Qualifications		Class 2	Yes	Title 24 Compliant	Yes		www.kichler.com/warranty	Dimensions		Base Backplate	5.00" X 5.00"	Extension	6.50"	Weight	3.08 LBS	Height from center of Wall opening (Spec Sheet)	6.25"	Height	12.00"	Width	5.00"	Electrical		Input Voltage	Dual (120/140)V	Light Source		Delivered Lumens	550	Dimmable	Yes	Expected Life Span (Hours)	40000	Lamp Included	Integrated	Light Source	LED	Max or Nominal Watt	15.00	# of Bulbs/LED Modules	1	Mounting/Installation		Interior/Exterior	Exterior	Location Rating	Wet	Mounting Style	Wall Mount	Photometrics		Color Rendering Index	90	Color Temperature Range	3000	Kelvin Temperature	3000K	FIXTURE ATTRIBUTES		Housing		Primary Material	ALUMINUM	Shade Dimensions	4.50" D X 12.25"	Product/Ordering Information		SKU	11251AZT30	Finish	Textured Architectural Bronze	Style	Contemporary	UPC	783927453097	Finish Options		<input checked="" type="radio"/>	Textured Architectural Bronze	<input type="radio"/>	Textured Black	
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BY	QTY.	ITEM	ITEM #
BS	40 EACH	Downlight Sconce @ Columns	TB-501

PROJECT: Hilton Head Beach House
 PROJECT #: 212041
 AREA: Tiki Bar
 ISSUE DATE: 07/10/2023
 STATUS: Issued



SPECIFICATION

proprietary rights of any third party. Contractor shall be solely responsible for insuring that any product provided by it pursuant to these specifications does not violate the copyright or other proprietary rights of any third party. Contractor shall indemnify and hold harmless Owner and Agent against any damage, claim, loss or liability arising as a result of any claim by any third party alleging that the products provided by Contractor pursuant to these specifications violate any copyright or any other proprietary rights of any third party.

APPROVAL

SHOP DRAWINGS

- Manufacturer to submit complete shop drawings for comment and written approval to Wimberly Interiors. Shop drawings to indicate project name, spec number, overall dimensions, materials and finishes, lamping type / quantity, wattage, mounting details, and J-box connection location. Shop drawings must show placement of bulbs indicating the outline of the shade dimension to ensure that bulbs are not visible. Shop drawings to be scaled at no less than: 1'-0" = 1-1/4" & details at no less than 1'-0" = 1-1/2".

FINISH SAMPLES

- Manufacturer to submit two finish samples of fixture and shade materials for comment and written approval by Wimberly Interiors prior to fabrication. Samples must be on appropriate base material and no less than 6" x 6" in size.

PROTOTYPE

- Manufacturer to submit prototype with shade to Wimberly Interiors for written approval prior to fabrication.

BY	QTY.	ITEM	ITEM #
BS	7 EACH	Outdoor Ceiling Fan	TB-502

PROJECT: Hilton Head Beach House
PROJECT #: 212041
AREA: Tiki Bar
ISSUE DATE: 07/10/2023
STATUS: Issued



SPECIFICATION



BY	QTY.	ITEM	ITEM #
BS	7 EACH	Outdoor Ceiling Fan	TB-502

PROJECT: Hilton Head Beach House
 PROJECT #: 212041
 AREA: Tiki Bar
 ISSUE DATE: 07/10/2023
 STATUS: Issued

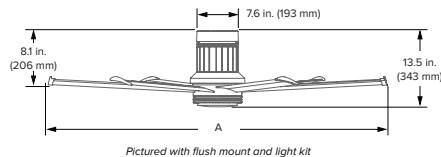
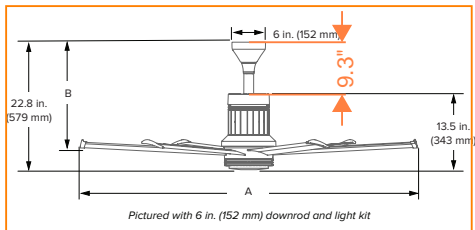


ATTACHMENT 1

TECHNICAL SPECIFICATIONS

i6

INSPIRED BY INDUSTRY, BUILT FOR COMFORT.



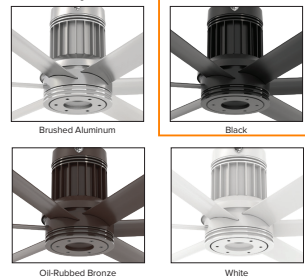
Technical Specifications											
Diameter (A)	Environment	CFM ¹	Efficiency (CFM/W)	Max Watts	Max Speed	Light Kit	Input Power	Weight ²	Winglet to Ceiling (B)	Light Kit Height	Sound Level ³
60 in. (1.5 m)	Indoor	9,676	260	35.4 W	170 RPM	1,770 lm	100-277 VAC, 50/60 Hz, 1 ϕ	34 lb (15.4 kg)	17.4 in. (442 mm)	0.7 in (18 mm)	<35 dba at max speed
	Outdoor (IPX5)	9,746	257	31.6 W							
72 in. (1.8 m)	Indoor	13,598	312	41.6 W	140 RPM	72.6 lm/W		35.7 lb (16.2 kg)	17.1 in. (434 mm)		
	Outdoor (IPX5)	13,860	318	42.2 W							
84 in. (2.1 m)	Indoor	15,576	370	40.2 W	110 RPM			37.3 lb (16.9 kg)	16.8 in. (427 mm)		
	Outdoor (IPX5)	15,814	369	41 W							

Construction Features						
Airfoils	Motor and Hub	Remote	Onboard Sensors	Integrations ⁴	Mounting ⁵	Accessories
Made from aircraft-grade aluminum Tilted blade profile for optimum airflow spread	24 V DC motor and power supply housed in a three-piece cast aluminum hub with integrated airfoil retention system	"Point-anywhere" pairing Integrated speed indicators Mount fixed to wall or with magnetic holder	Temperature, humidity, and motion sensors enable SenseME Technology	Voice control with Google Assistant or Amazon Alexa Works with home automation systems	Flat or sloped ceilings 8 ft (2.4 m) or taller Maximum slope: 36°	LED Light Kit 0-10 V module Optional downrod lengths available for ceilings over 14 ft (4.3 m)

Ordering Information						
Diameter	Environment	Mount ⁶	Finish	Downrod ⁶	LED Light	0-10 V
MK161-05: 60 in. (1.5 m) MK161-06: 72 in. (1.8 m) MK161-07: 84 in. (2.1 m)	18: Indoor 19: Outdoor	00: Flush 06: Standard	A727: Brushed Aluminum A728: Black A729: White A730: Oil-Rubbed Bronze	Blank: Flush 106: 6 in. (152 mm) 112: 12 in. (305 mm) 124: 24 in. (610 mm) 100: 36, 48, 60 in. (914, 1219, 1524 mm)	Blank: No LED Light S2: LED Light	Blank: No 0-10 V V54: 0-10 V

¹ 60 inch (1.5 m) fan measured with a 6 inch (152 mm) downrod. When direct mounted, airflow and efficiency are 7322 cfm and 248 cfm/W (indoor) or 7105 cfm and 247 cfm/W (outdoor).
² Weight does not include mount or downrod.
³ Actual results of sound measurements in the field may vary due to sound reflective surfaces and environmental conditions.
⁴ Google Assistant is a trademark of Google LLC. Amazon, Alexa and all related logos are trademarks of Amazon.com, Inc. or its affiliates.
⁵ Mount to an outlet box marked acceptable for fan support or I/O box (1.8 m).
⁶ Flush mount available on 60 in. (1.5 m) fans only. 6 in. (152 mm) downrod available on 60 and 72 in. (1.5 and 1.8 m) fans only. 36, 48, and 60 in. (914, 1219, and 1524 mm) downrods ordered separately.

Finish Options



LED Light Kit



Remote



USA
BIGASSFANS.COM
877-244-3267

CANADA
BIGASSFANS.COM
844-924-4277

AUSTRALIA
BIGASSFANS.COM/AU
1300 244 277

SINGAPORE
BIGASSFANS.COM/SG
65 6709 8500

MALAYSIA
BIGASSFANS.COM/SG
603 5565 0888

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Specifications subject to change without notice.

BY	QTY.	ITEM	ITEM #
BS	7 EACH	Outdoor Ceiling Fan	TB-502

FOREST BEACH OWNERS' ASSOCIATION, INC.

P O Box 6442

Hilton Head Island, SC 29938-6442

(843)785-5565 FAX (843) 342-3801

Email: FBAssn@gmail.com

July 26, 2023

Beach House Resort Owner, LLC – By Email
Attn: Jay Wiendl
444 Madison AV #14
New York, NY 10022

Re: 1 S Forest Beach DR (Tract 6 CFB)
Com. Addition/Renovation
Building Permit 2023-0609-01

Dear Mr. Wiendl

Thank you for your submission for architectural and covenant review for planned additions and remodel for the property located above. We have conditionally approved this project at this time based upon the conditions set forth below.

- 1) This review is based upon the documents, drawings, photos and narratives submitted to us with an application date of June 9, 2023 and plan package dated July 11, 2023.
- 2) Approval for the addition of an event pavilion is granted as submitted subject to any Town of Hilton Head Island approvals. Approval is based upon your representation that this facility is exclusively for Hotel use to accommodate the previous tented events and is not to be rented to the general public for events not open to hotel guests. Further, no permanent change in use to another occupancy, such as an open air restaurant, is granted. Any future change in use will require a new review by the Association.
- 3) It is understood that The Beach House will no longer seek approval from the Town of Hilton Head Island for the use of temporary tents to accommodate private hotel functions and as such our approval for the addition of the event pavilion is also granted subject to this provision.
- 4) Approval is granted based upon the submitted written plans only. Exterior materials, colors, and roof colors and materials to be as specified or to match the existing scheme for the Beach House Hotel.
- 5) Approval for relocation of the event stage (also referred to as a band shell) is granted based upon the representation that its relocation closer to the adjoining residential property will not increase the ambient noise level affecting the adjoining property. If complaints are received by the Association regarding this issue, the use of this amenity may be curtailed and/or restricted by covenants.
- 6) The addition of the restroom facility is approved, subject to the submitted plans.
- 7) The increase in the overall site coverage percentage is within the prescribed limits of the covenants and is approved.
- 8) Additional restaurant seating capacity for the Tiki Hut is approved, subject to the agreement that no further use of tents for accommodating patrons will be used.

- 9) Parking is a major concern of the Association in reviewing this project. We acknowledge that your facility meets Town of Hilton Head Island's current code based upon the formula provided for in the Land Management Ordinance, however the covenants state that "adequate" parking must be provided. At the time the covenants were drafted, a formula was not established to define a numeric value to the number of spaces required and as such our approval for the additional amenities being added to your site is being conditionally granted with the understanding that we are awaiting a legal opinion on the Associations application of the term "adequate parking" as written in the covenants. Should that opinion define that additional parking is required you will be advised and requested to amend your plans to include either the additional parking needed, or reduce the amenities being added or their use. Should parking be determined as "adequate" as is but later shown to be insufficient to sustain, on your property, the number of vehicles attending any event located on your property, that Beach House Resort Owner, LLC and/or any future property owner will be required to submit a plan to the Association in which they provide a resolution to such parking shortage to accommodate on site parking for the number of additional vehicles, as may be determined by the Association, as "adequate" for the use of the property and amenities. Failure to submit and implement a plan and resolution within six months of being notified in writing by the Association of the covenant deficiency of "adequate" parking will result in the Association considering the addition of the above amenities as a violation of this approval and will seek to have them removed.

The Association is not bound by Town code, nor is the Town bound by Covenant restrictions or our ARB findings, in the determination of suitability of a proposed projects development or use. Our review is based on an analysis of existing similar properties within the Forest Beach area and compliance with the applicable covenants governing the use of the specific tract/parcel being reviewed.

Please let us know if we can be of further assistance in your planning for redevelopment of this property.

Sincerely,

John D. Snodgrass

John D. Snodgrass,
Executive Director
Forest Beach Owners' Association, Inc.

JDS:me

Cc: Greg Villegas (WATG) – By Email
Shea Farrar, Town of Hilton Head Island – By Email
Shawn Colin, Town of Hilton Head Island – By Email
CDIC – Town of Hilton Head Island, - By Email
Jessica Vick – Roberts Civil Engineering – By Email
Savannah Kelly – Roberts Civil Engineering – By Email

F750D1000

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 1 South Forest Beach Pavilion – Beach House

DRB#: DRB-001497-2023

DATE: August 8, 2023

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Staff recommends approval with the condition of the Forest Beach ARB Final approval with all of their conditions met. In the case of any site plan changes due to comments from the Forest Beach ARB, the applicant would be required to resubmit any revisions to the Board for approval before construction.

MISC COMMENTS/QUESTIONS

None



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Dale N. Strecker, AIA Company: Hord Coplan Macht
 Mailing Address: P.O. Box 5910 City: Hilton Head Island State: SC Zip: 29938
 Telephone: 843-785-2199 Fax: N/A E-mail: dstrecker@HCM2.com
 Project Name: New Overlook at Driessen Beach Park Project Address: 64 Bradley Beach Road
 Parcel Number [PIN]: R 5 1 0 0 0 8 0 0 0 0 3 5 8 0 0 0 0
 Zoning District: PR - Parks and Recreation Overlay District(s): COD - Corridor Overlay District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:
N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 ** Filing fee to be paid by Town of Hilton Head Island
 ** Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

July 10, 2023

DATE

Jly 10, 2023

To: Town of Hilton Head Island Design Review Board (DRB)
Re: New Overlook at Driessen Beach Park
Design Review Board Narrative

Hord Coplan Macht, formerly The FWA Group, is working with the Town of Hilton Head Island to develop plans for a new overlook at Driessen Beach Park.

Accommodating those residents and visitors who are physically limited in their ability to traverse the sand at Driessen Beach Park has been a continued need. This overlook gives those individuals the opportunity to enjoy the beach and ocean views by providing a foot-stable, covered environment.

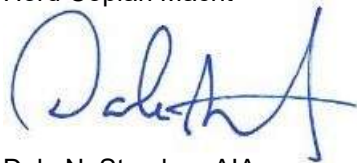
The overlook is intended to keep the same building materials and elements as existing construction at the park and other Town parks. The design of the overlook will match that at Islander's Beach Park including finishes and colors. The consistency of the materials, colors, and other elements will allow the overlook to fit seamlessly into the park's theme.

Site lighting and any required landscaping is by the Town of Hilton Head Island.

A building section detailing the overlook, guardrail and bench are included in this submission.

Kind regards,

Hord Coplan Macht



Dale N. Strecker, AIA
Project Architect

cc: Aaron Black, Facilities Manager, Town of Hilton Head Island

New Overlook at Driessen Beach Park 64 Bradley Beach Road

Project Area and Existing Facility Photographs
Design Review Board (DRB) Context Photographs

New overlook
will be located
just beyond
this heavy
landscaping



Boardwalk approach to the beach. Proposed overlook will be located to the left just beyond the heavy shrubbery.

New overlook
will be located
just beyond
this palmetto
tree



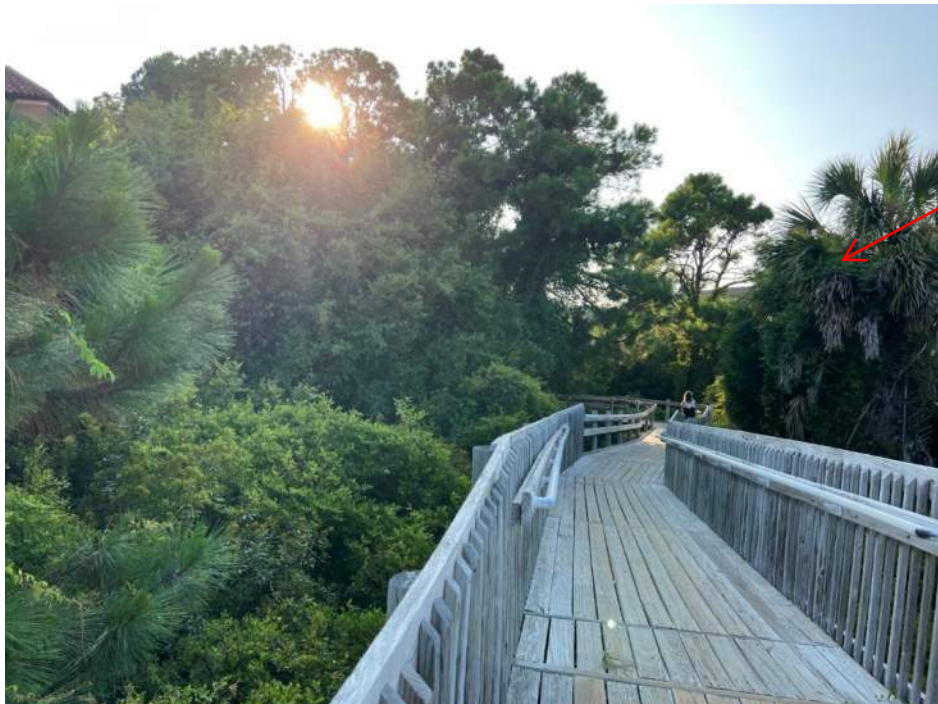
Boardwalk approach to the beach. Proposed overlook will be located to the left just beyond the heavy shrubbery.

New Overlook at Driessen Beach Park
Design Review Board (DRB) Context Photographs



New overlook will be located in approximate location of this pine tree

Boardwalk approach to the beach. Proposed overlook will be located to the left in approximate location of pine tree.



New overlook will be located to the right, just out of view.

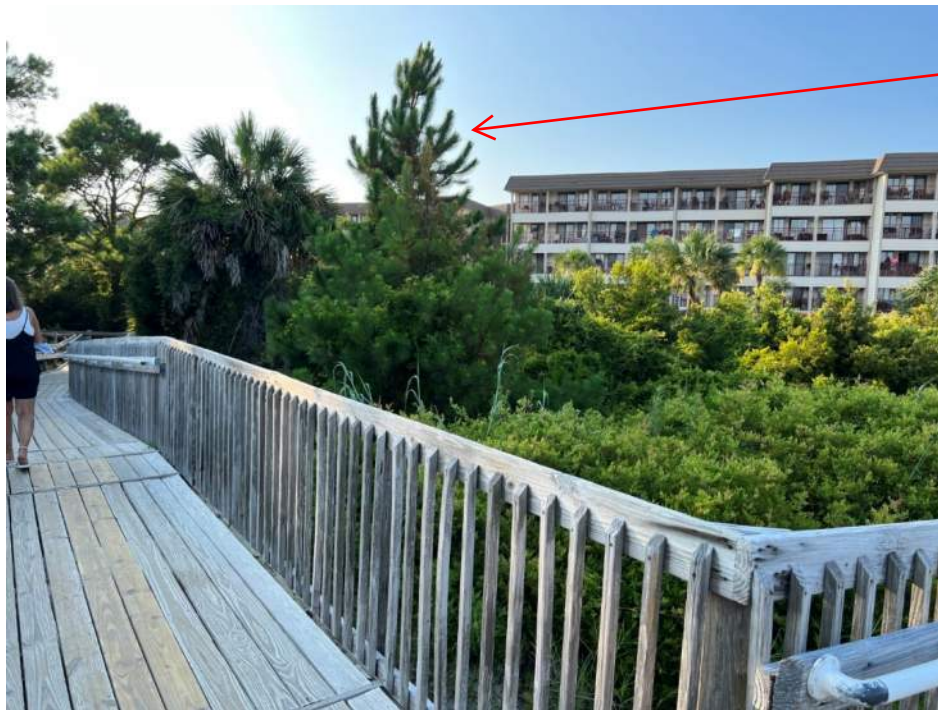
Board return to parking area. Proposed overlook will be located to the right.

New Overlook at Driessen Beach Park
Design Review Board (DRB) Context Photographs



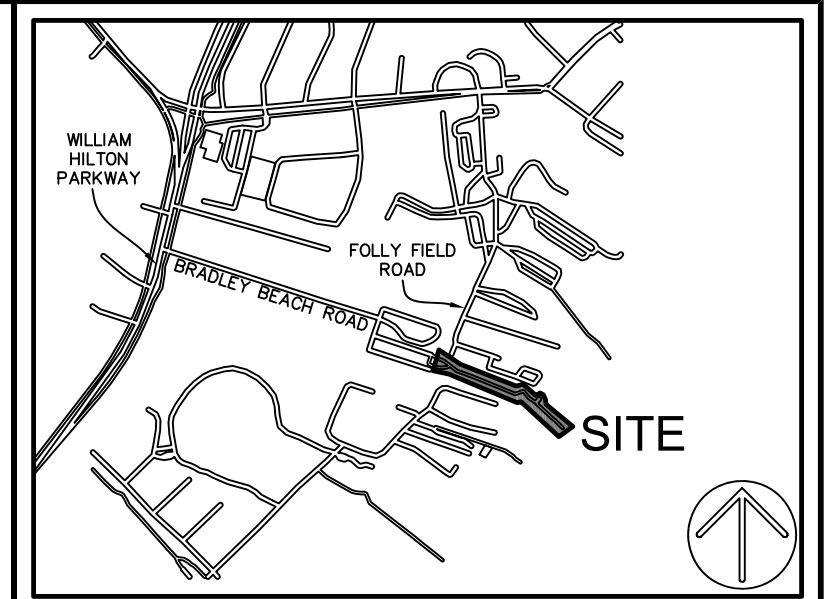
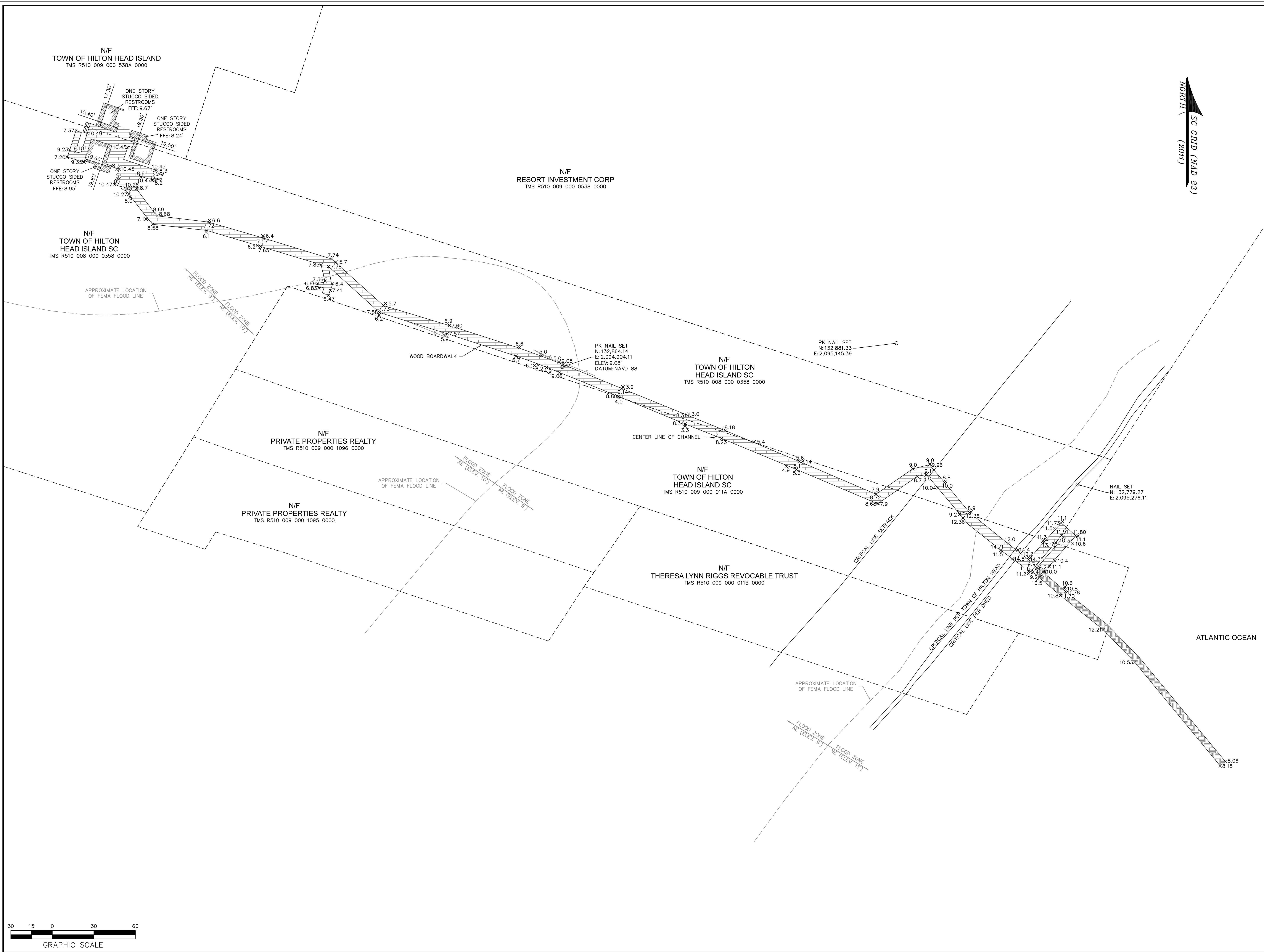
New overlook
will be located
in approximate
location of this
pine tree

View of home to the south of the boardwalk approach to the beach, taken from vantage point of final ramp approach to the beach. Overlook will be located in approximate location of pine tree.



New overlook
will be located
in approximate
location of this
pine tree

Boardwalk return to parking area. Proposed overlook will be located to the right in approximate location of the pine tree.
Existing multi-family complex to the north.



VICINITY MAP NOT TO SCALE

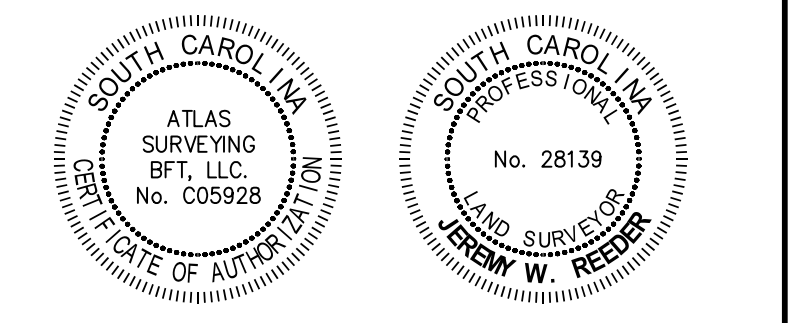
- LEGEND
- × 12.9 SPOT ELEVATION
 - ⊙ SHOWER
 - ⊙ SPIGOT
 - CONTOUR LINE
 - ▨ BOARDWALK
 - ▨ CARPETED WALKWAY

- NOTES
1. THIS SECTION OF BOARDWALK APPEARS TO LIE IN MULTIPLE FLOOD ZONES, ZONE AE (ELEV. 10'), ZONE AE (ELEV. 9'), ZONE VE (ELEV. 11'), COMMUNITY 450250, MAP NUMBER 4501300454G.
 2. BUILDING SETBACKS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES, AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
 3. CONTOURS ARE IN ONE FOOT INTERVALS.
 4. VERTICAL DATUM IS NAVD 88.
 5. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 6. BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK.

PREPARED FOR:
CRANSON ENGINEERING GROUP
 AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF
DRIESSEN BEACH BOARDWALK
 TAX PARCEL No.
 R510 008 000 0358 0000
 R510 009 000 011A 0000
 &
 R510 009 000 538A 0000
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: S4C
 FIELD CHECK: JWR
 DRAWN BY: SLG
 FIELD DATE: 02-03-2023
 PLAT DATE: 02-16-2023
 SCALE: 1"=20'
 PROJECT No.: BFT-22501
 FILE: BFT-22501-ATL.DWG

ATLAS SURVEYING, INC.
 168 BOARDWALK DRIVE, SUITE A.
 RIDGELAND, SC 29936.
 PHONE: (843) 645-9277
 WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
 S.C.P.L.S. No. 28139
 NOT VALID UNLESS CRIMPED WITH SEAL



NORTH
 SC GRID (NAD 83)
 (2011)

New Overlook at Driessen Beach Park for the Town of Hilton Head Island

ARCHITECT
 Hord Coplan Macht, Inc.
 10 Palmetto Business Park
 Road, Suite 202
 Hilton Head Island, South Carolina 29928
 p. 843.755.2199

STRUCTURAL ENGINEER
 Cranston Engineering
 14 Westbury Park Way, Ste. 202
 Bluffton, South Carolina 29910
 p. 843.815.3191

Town of Hilton Head Island
 Hilton Head Island, South Carolina

PROJECT TEAM			
NAME OF PROJECT:	RENOVATIONS TO THE BUSINESS OFFICE AT TOWN HALL		
ADDRESS:	ONE TOWN CENTER COURT, HILTON HEAD ISLAND, SOUTH CAROLINA 29928		
OWNER CONTACT:	TOWN OF HILTON HEAD ISLAND	Aaron Black Facilities Manager CONTACT	843-342-4587
DISCIPLINE:	DESIGNER	Hord Coplan Macht, Inc.	843-785-2199
ARCHITECT:	Cranston Engineering	Matt Randall, PE	843-815-3191
CIVIL:	Cranston Engineering	Xxxxxx Xxxxxxx, PE	843-815-3191
STRUCTURAL:	Cranston Engineering	Xxxxxx Xxxxxxx, PE	843-815-3191

DRAWING SHEET INDEX			
SHEET NUMBER	TITLE	SHEET NUMBER	TITLE
GENERAL			
GI-001	GENERAL INFORMATION		
ARCHITECTURAL			
A-101	PLANS / ELEVATIONS / SECTION / DETAILS		

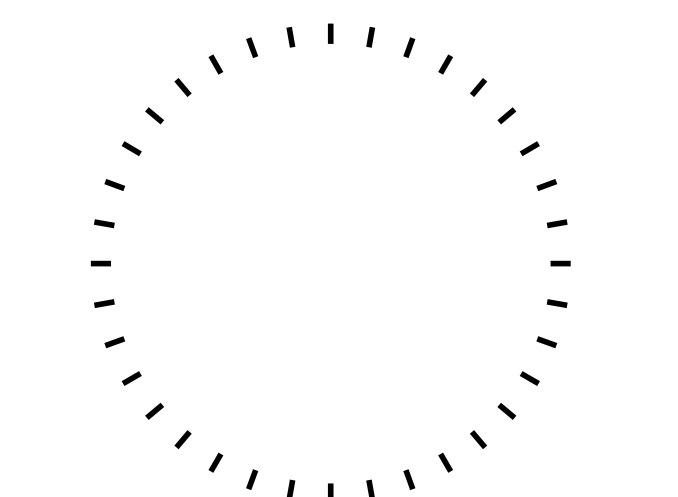
BASIC CODE INFORMATION					
BUILDING CODE SUMMARY					
Project Designed in Accordance With:					
1. International Building Code, 2021 Edition with SC Modifications					
2. International Fire Code, 2021 Edition with SC Modifications					
3. ICC/ANSI-A117.1-2017, Accessible and Usable Buildings and Facilities					
4. NFPA 101 Life Safety Code, 2012 Edition					
Table 5.6-2: BASIC CODE REVIEW INFORMATION					
1. Site Developments: N/A					
2. Occupancy (per IBC Chapter 3): A. Occupancy Classification: ASSEMBLY Group: A-3 If building is a mixed occupancy per IBC 508.1, indicate the additional occupancy groups present: B. Additional Occupancy Classification(s): N/A Group: N/A					
3. Type of Construction (per IBC Chapter 6): A. Construction Classification: TYPE VB B. Is the building construction protected or unprotected: Unprotected C. Is the building construction of combustible or noncombustible materials: Combustible D. Is the building sprinklered? No					
4. General Building Design, Allowable Occupant Load:					
Table 5.6-3: Building Area					
Floor or Level	Square Footage (As Designed)		Square Footage as Allowed by IBC		
	Total Design Area	Base Area Allowed (IBC Table 506.2)	Total Allowed using Equation 5-1	Total Allowed using IBC Table 506.2	
First Floor	387 SF	6,000 SF		6,000 SF	
Total Bldg. Area (Incl. all increases)	387 SF			6,000 SF	
Table 5.6-4: Building Height					
	As Designed		As Allowed by IBC		
	In Feet	In Stories	In Feet	In Stories	
Without any Allowable Increases (per IBC Table 503): First Floor	16.5'	1	40	1	
Allowable Height Increase	N/A	N/A	N/A	N/A	
Total Height including any Allowable Increase	16.5'	1	40	1	
Table 5.6-5: BUILDING DESIGN OCCUPANT LOAD (per IBC 1004)					
Floor or Level	Column Identification	Occupancy Type			
		A	B	C	D
AREA OF STRUCTURE	ASSEMBLY	387 GSF 298 NSF	5 NSF	60	60
TOTAL					60
Footnotes: 1. Provide the name of the Occupancy Type using the left column of Table 1004.1.2 of the IBC. 2. Design Area of this Occupancy on this Floor in either Gross or Net square Footage (include mezzanine). 3. Allowed Floor Areas in SF per Occupant per right column in Table 1004.1.2 of the IBC. 4. Divide Column A by Column B for each Occupancy and enter the result, rounded up to the nearest whole person. 5. Subtotal all Column C values for this floor to yield the Floor Occupant Load, rounded up to the nearest whole person. 6. Total Building Design Occupant Load (sum of all Column D values)					
Table 5.6-6: Fire Resistance Rating of Building Elements					
Building Element	Rating As Designed (in hours)	Rating As Required (in hours)	Testing Agency & Design Number (UL, FM, etc.)		
Structural Frame including Columns, Beams and Joists (per IBC Table 601)	0	0			
Bearing Walls, Exterior (per IBC Table 601)	0	0			
Bearing Walls, Interior (per IBC Table 601)	0	0			
Nonbearing Walls & Partitions, Exterior (per IBC Table 601)	0	0			
Nonbearing Walls & Partitions, Interior (per IBC Table 601)	0	0			
Floor Construction, including Supporting Beams & Joists (per IBC Table 601)	0	0			
Roof Construction, including Supporting Beams & Joists (per IBC Table 601)	0	0			
Fire Wall (per IBC Table 706.4)	N/A	N/A			
Fire Barrier (per IBC Table 707.3.10 and Table 508.4)	N/A	N/A			
Shaft Enclosures (per IBC Section 713)	N/A	N/A			
Fire Partitions (per IBC Section 708)	N/A	N/A			

ABBREVIATIONS			
A	AIR CONDITIONED	G	GAGE
A.C.	AREA DRAIN	GAL.	GALLON
A.D.	AIR HANDLING UN	GALV.	GALVANIZED
A.H.U.	ABOVE FINISHED FLOOR	GL.	GLASS
A.F.F.	ALTERNATE	GND.	GROUND
ALUM.	ALUMINUM	GOVT	GOVERNMENT
AMP.	AMPERES	GPH	GALLONS/HOUR
A.O.	ACCESS OPENING	GPM	GALLONS/MINUTE
APPROX.	APPROXIMATELY	GR.	GRILLE
ARCH.	ARCHITECTURAL	GWB	GYPSON WALL BOARD
A.T.	ASPHALT TILE	GYP.	GYPSON
A.T.C.	ACOUSTIC TILE CEILING		
B	BALANCE BOARD	H	HIGH
BAL.	BLANK	H.B.	HOSE BIBB
B.D.	BEAM	H.C.	HOLLOW CORE
B.DG.	BOTTOM	HT.	HEIGHT
BLK.	BUMPER RAIL	HM	HOLLOW METAL
BM.	BEARING	H.P.	HORSE POWER
BOI.	BRICK	HR.	HOUR
BR.	BRITISH THERMAL UNIT	HTG.	HEATING
BRG.		HTR.	HEATER
BRK		H.&V.	HEATING AND VENTILATING
B.T.U.		HW.	HARDWARE
		HYD.	HYDRANT
C	CABINET	I	INSIDE DIAMETER
CAB.	CAPACITY	I.D.	INVERT ELEVATION
CAP.	CIRCUIT BREAKER	I.E.	INCHES
C/B	CEILING DIFFUSER	IN.	INCANDESCENT
CEM.	CEMENT	INCAN.	INCANDESCENT
CER.	CERAMIC	INSUL.	INSULATION
C.F.C.I.	CONTRACTOR FURNISHED/CONTRACTOR INSTALLED	INT.	INTERIOR
C.F.M.	CUBIC FEET/MINUTE	J	JOINT
CG	CORNER GUARD	J.B.	JUNCTION BOX
CIRC.	CIRCULATING	J.CT.	JUNCTION
C.J.	CONTROL JOINT	JT.	JOINT
C.K.D.	CHECKERED	K	KILOVOLT AMPERE
CIR	CIRCUIT	KVA	KILOVOLT AMPERE
CL.	CENTER LINE	KW	KILOWATT
CL.	CEILING	L	LONG
CL.	CLOSE	L.G.	LIGHTING PANEL
C.M.U.	CONCRETE MASONRY UNIT	L.TG.	LIGHTING
	CLEAN OUT	M	MOTOR
C.O.	CONCRETE	MAINT.	MAINTENANCE
COL.	CONDENSATE	MAT.	MATERIAL
CONC.	CONNECTION	MAX.	MAXIMUM
CONN.	CONSTRUCTION	M.B.	MARKER BOARD
CONST.	CONTINUOUS	M.D.P.	MAIN DISTRIBUTION PANEL
CONT.	CONTRACTION JOINT	MECH.	MECHANICAL
CONTR. JT.	CERAMIC TILE	MFR.	MANUFACTURER
CT	CENTER TO CENTER	MIL.	MIL
C. TO C.		MIN.	MINIMUM
		MISC.	MISCELLANEOUS
D	DETAIL	M.O.	MASONRY OPENING
DET.	DIAMETER	M.TD.	MOUNTING
DIA.	DIFFUSER	M.V.	MECHANICAL VENTILATION
DIFF.	DIMENSION	M.G.T.	MATT GLAZE TILE
DIM.	DISCONNECT	N	NOT APPLICABLE
DISC.	DUMMY JOINT	N.A.	NOT IN CONTRACT
D.J.	DOWN	N.C.	NUMBER
DN.	DRAIN	O	OUTDOOR AIR ON CENTER
DR.	DOWN SPOUT	O.A.	OUTSIDE DIAMETER
DWG(S)	DRAWING(S)	O.D.	OWNER FURNISHED EQUIPMENT
		O.F.E.	OWNER FURNISHED EQUIPMENT
		O.F.C.I.	OWNER FURNISHED/CONTRACTOR INSTALLED
		O.F.O.I.	OWNER FURNISHED/CONTRACTOR INSTALLED
		O.H.	OPPOSITE HAND
		OH.	OVERHEAD
		OPNG.	OPENING
		OPP.	OPPOSITE
		O.S.B.	ORIENTED STRANDBOARD
		O.S.D.	OPEN SIGHT DRAIN
		P	PARTITION
		PART.	PERIMETER
		PER.	PLATE
		R.	RISER
		R.A.	RETURN AIR
		RAD.	RADIUS
		RD.	ROOF DRAIN
		REC.D.	RECESSED
		RECIRC.	RECIRCULATING
		REIN.	REINFORCING
		REINF.	REINFORCING
		REQ.	REQUIRED
		RET.	RETURN
		R.G.	RETURN GRILLE
		R.M.	ROOM
		R.P.M.	REVOLUTIONS/MINUTE
		S	SUPPLY
		S.A.	SCHEDULE
		SCH.	SCHEDULE
		SECT.	SECTION
		SERV.	SERVICE
		SHT.	SHEET
		SIM.	SIMILAR
		S.J.	SLIP JOINT
		SPEC.	SPECIFICATIONS
		SLR.	SEALER
		SQ. FT.	SQUARE FEET
		S.S.	STAINLESS STEEL
		ST.	STAINED
		STL.	STEEL
		STOR.	STORAGE
		STN.	STONE
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		SW.	SWITCH
		T	TOILET
		T.B.	TACK BOARD
		TEL.	TELEPHONE
		TEMP.	TEMPERATURE
		THK.	THICKNESS
		THD.	THRESHOLD
		TOIL.	TOILET
		TYP.	TYPICAL
		U.N.O	UNLESS NOTED OTHERWISE
		V	VENTILATION
		VCT.	VENTILATION
		VERT.	VERTICAL
		VTR	VENT THRU ROOF
		W	WITH
		W/.	WOOD
		W.D.	WIDE FLANGE
		WF	WATER GAUGE
		W.G.	WEATHERPROOF
		WP.	WEATHERPROOF
		W.W.F.	WELDED WIRE FABRIC
GENERAL NOTES			
1. DO NOT SCALE DRAWINGS. USE DIMENSIONS INDICATED ON DRAWINGS FOR LAYOUT OF WORK.			
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LISTED BUILDING CODES AND WITH THE MOST STRINGENT BEING ENFORCED WHERE A CONFLICT ARISES.			
3. THE HOURS AND DAYS OF OPERATION SHALL CONFORM TO OWNER'S REQUIREMENTS. VERIFY WITH OWNER.			
4. THE SCHEDULING OF WORK WHICH PRODUCES EXCESSIVE NOISE OR VIBRATION SHALL BE SCHEDULED WITH THE OWNER'S REPRESENTATIVE. THE OWNER'S REPRESENTATIVE SHALL DEFINE THE TERM EXCESSIVE.			
5. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IN WRITING IMMEDIATELY UPON DISCOVERY OF EXISTING CONDITIONS WHICH ARE IN CONFLICT WITH THE CONTRACT DOCUMENTS.			
6. EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FIELD CONDITIONS SHALL GOVERN. NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.			
7. COORDINATE DEMOLITION SEQUENCING WITH THE OWNER.			

MATERIALS LEGEND	
	CMU (SEE PLANS AND DETAILS FOR ALTERNATE CONFIGURATIONS)
	COMPACTED SOIL
	EARTH
	CONCRETE
	GROUT, MORTAR, SAND
	BRICK (SEE PLANS AND DETAILS FOR ALTERNATE CONFIGURATIONS)
	FERROUS METALS - STEEL
	ALUMINUM
	FINISH WOOD
	ROUGH LUMBER (CONTINUOUS)
	ROUGH LUMBER (DISCONTINUOUS BLOCKING)
	POROUS FILL
	BATT INSULATION
	CARPET
	ACOUSTIC TILE
	RIGID INSULATION
	PLYWOOD
	GYPSON WALLBOARD (LARGE SCALE)
	GLAZING

SYMBOLS	
	CONTROL JOINT
	DIRECTION OF VIEW
	BUILDING SECTION INDICATOR
	SHEET NUMBER
	DETAIL NUMBER
	TOILET ACCESSORY
	DIRECTION OF VIEW
	WALL SECTION INDICATOR
	SHEET NUMBER
	DETAIL NUMBER
	DOOR INDICATOR
	ROOM NAME
	ROOM NUMBER
	ROOM S.F.
	TOP OF MASONRY
	ELEVATION INDICATOR
	INTERIOR ELEVATION INDICATOR
	SHEET NUMBER
	DETAIL NUMBER
	SPOT ELEVATION INDICATOR
	WINDOW OR LOUVER DESIGNATION
	NAME OF DETAIL
	SCALE AT WHICH DETAIL IS DRAWN

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PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF SOUTH CAROLINA.

no.	date	revision
Project Number	223007.00	
Project		

Driessen Beach Park
 New Overlook
 Hilton Head Island, SC 29926

Phase
 Design Development

Date	Scale
July 10, 2023	

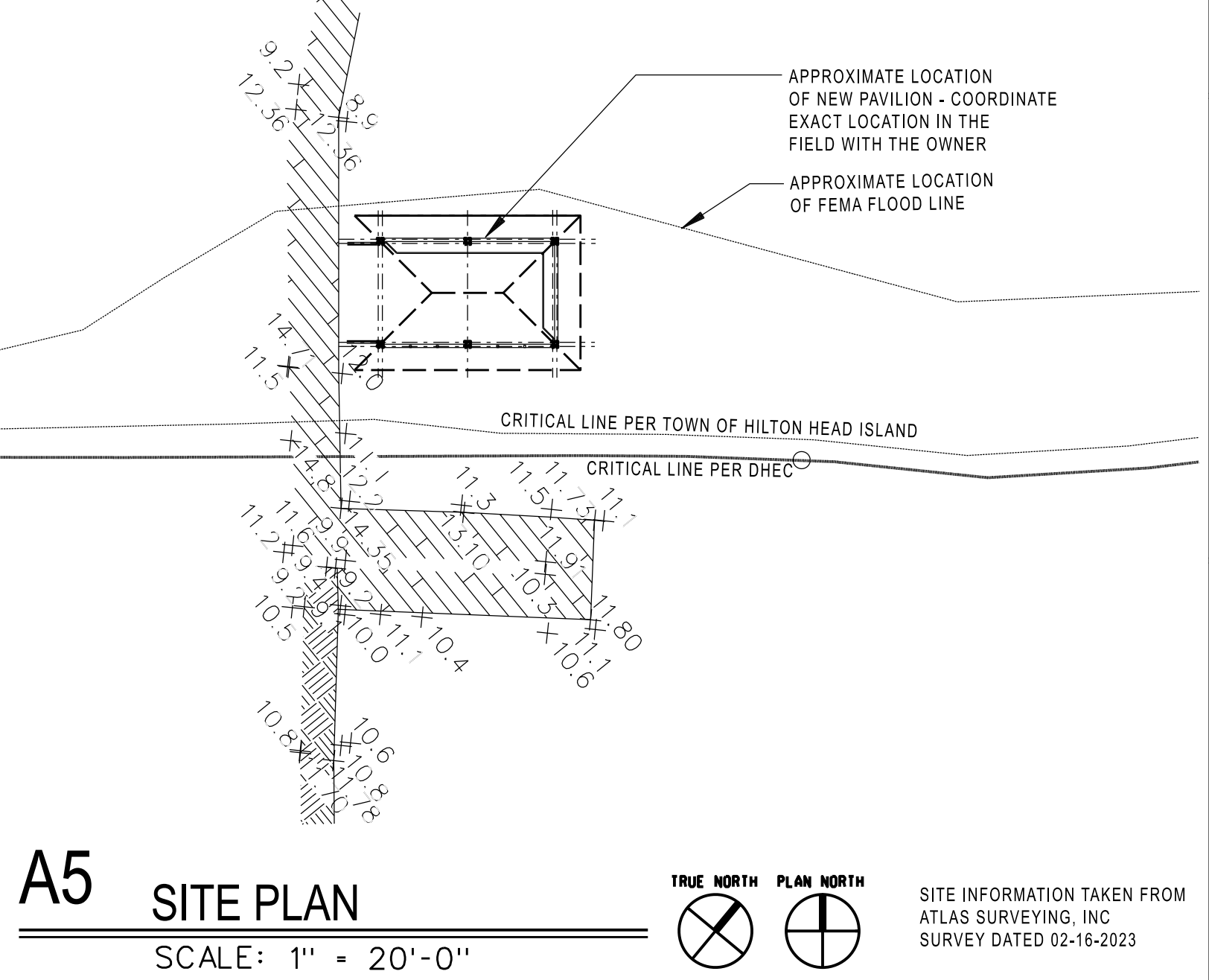
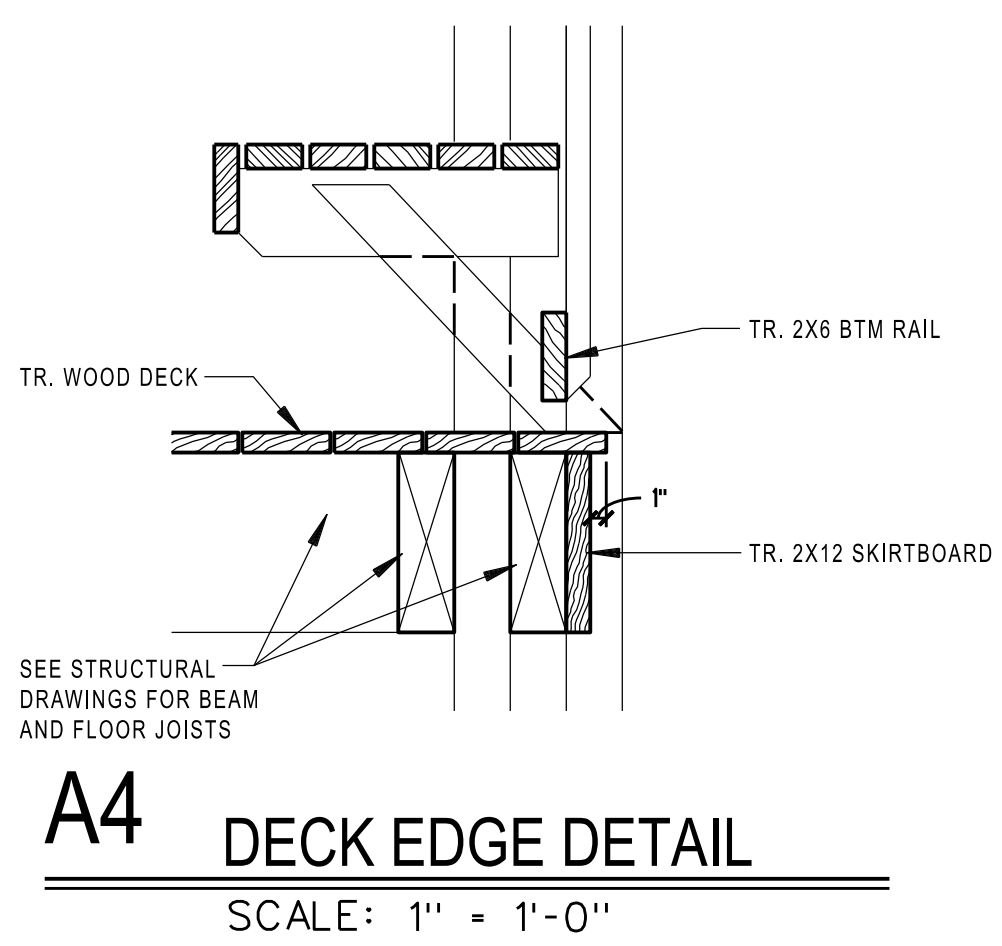
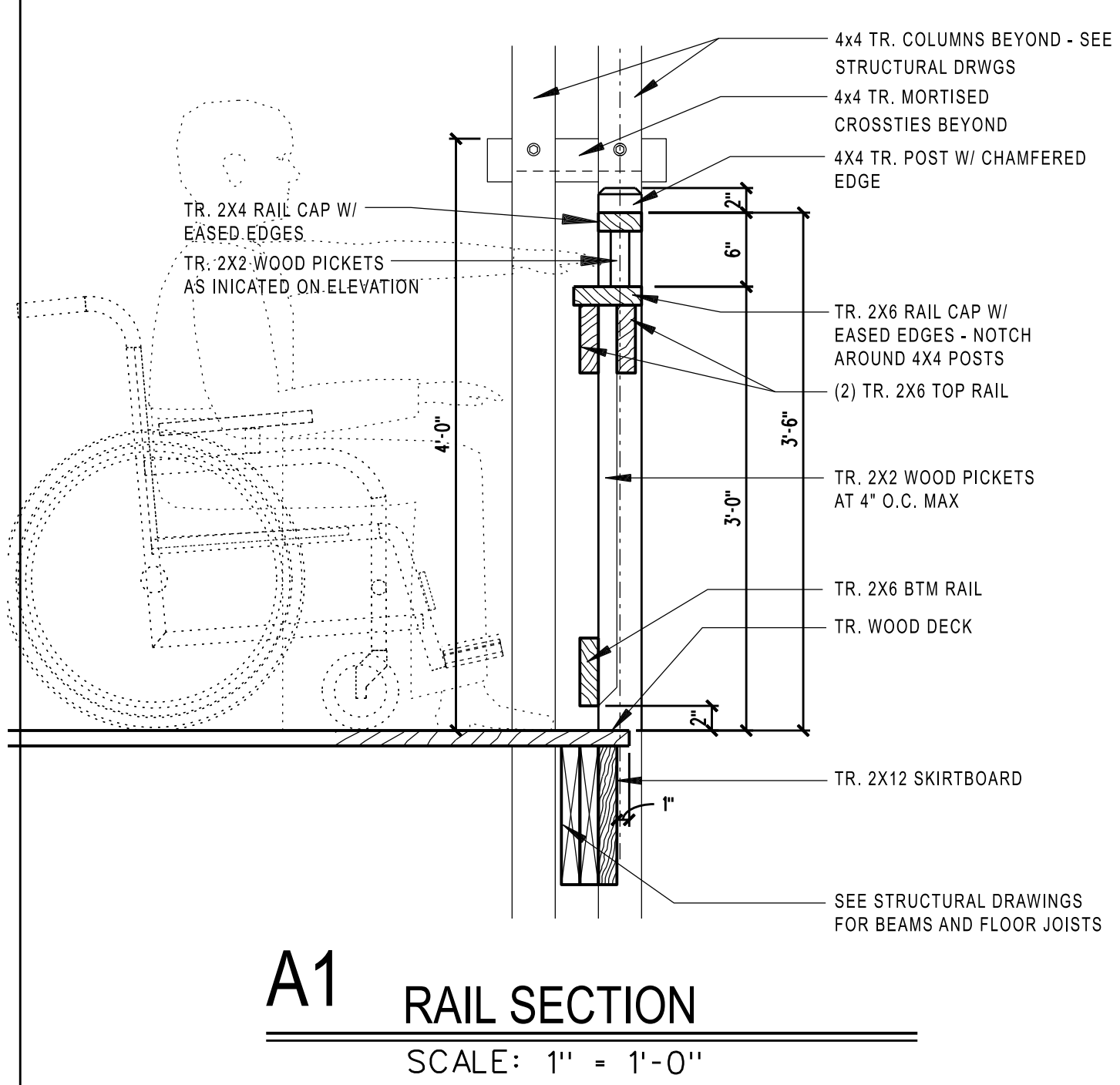
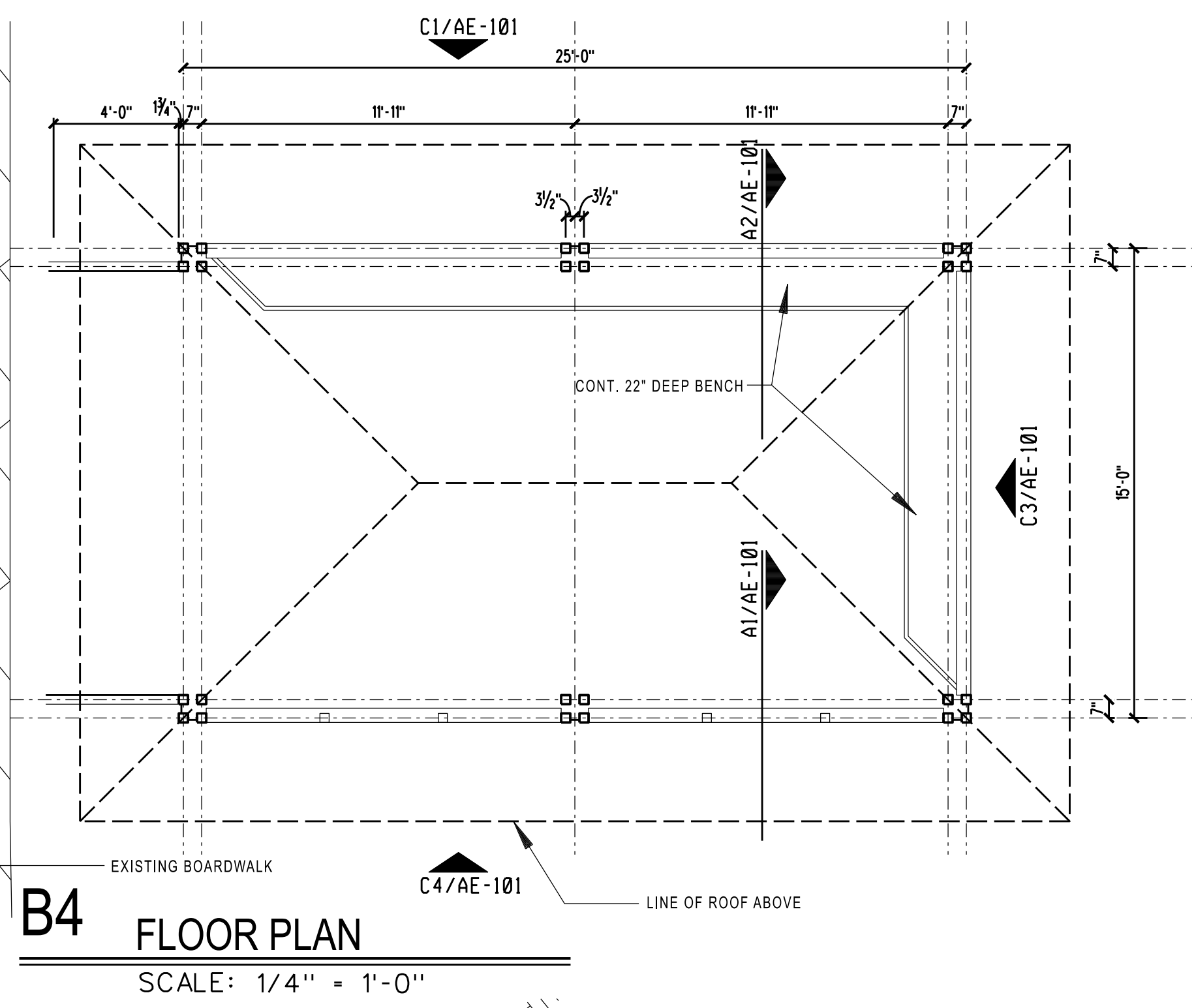
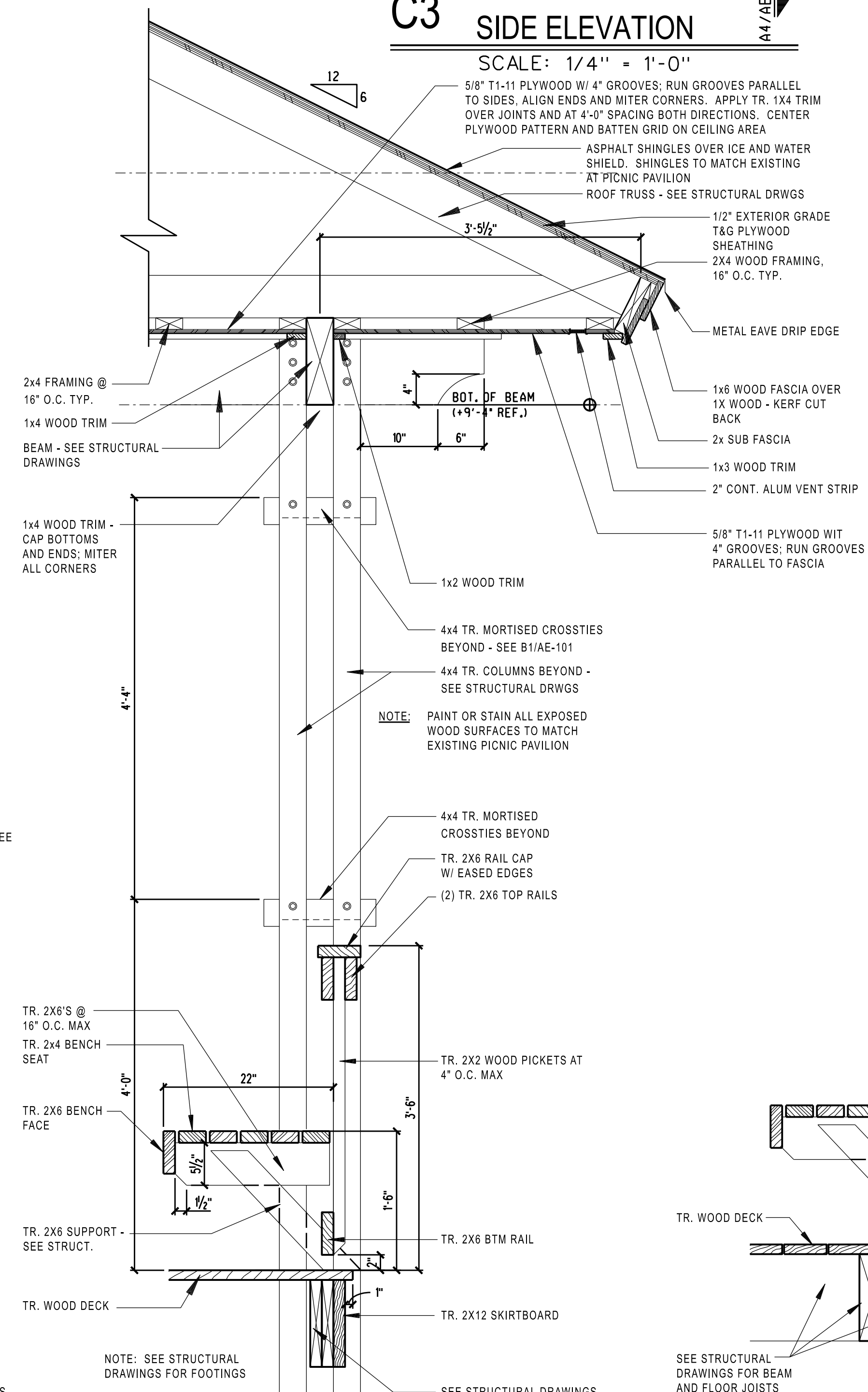
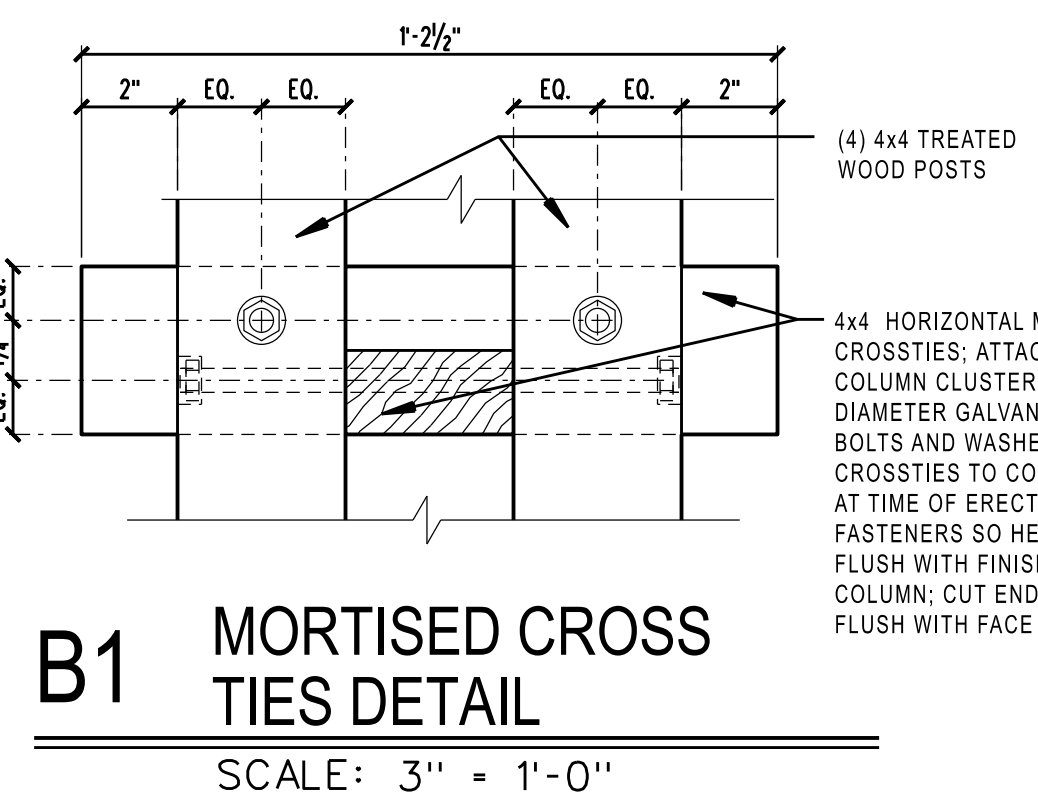
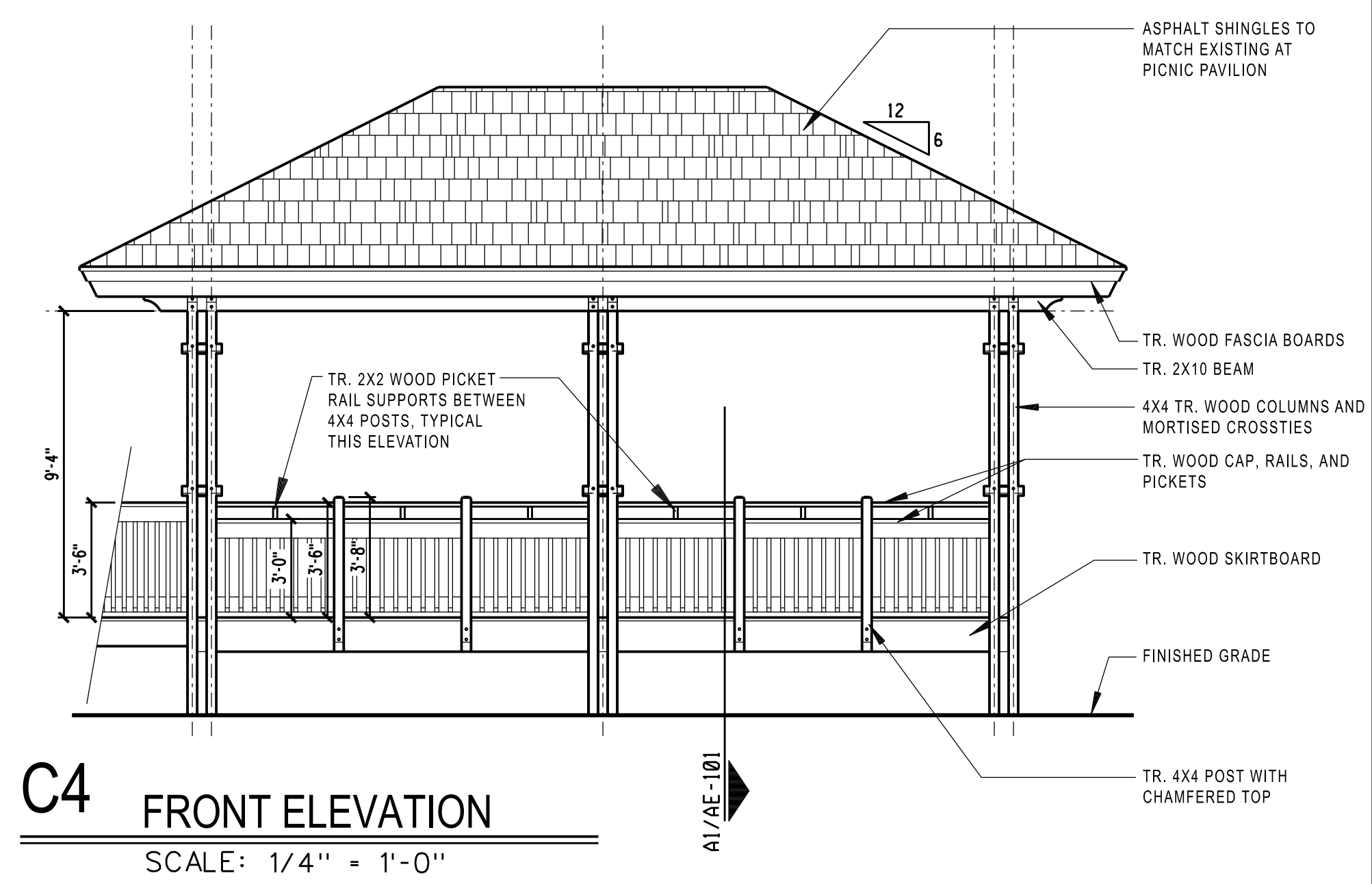
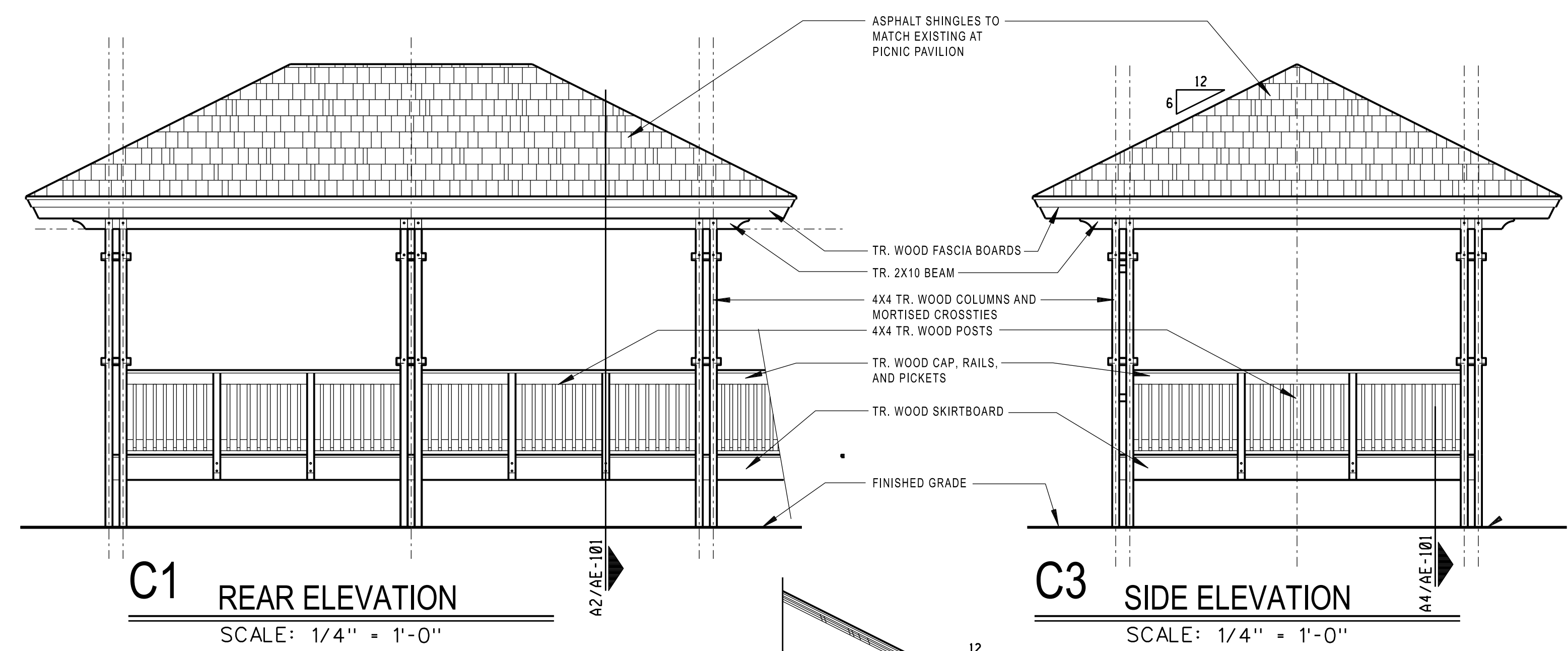
Drawing

GENERAL INFORMATION

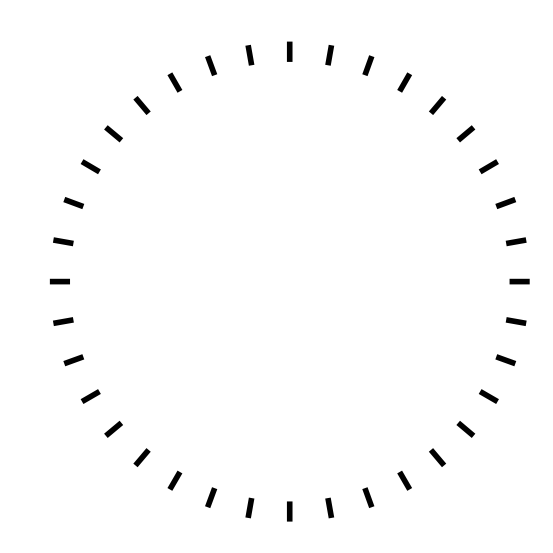
No

GI-001

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05/11/21 DRB SUBMITTAL
 05/11/21 DRB SUBMITTAL REV.

no.	date	revision
Project Number	223007.00	
Project	Driessen Beach Park New Overlook	
Phase	Design Development	
Date	July 10, 2023	
Scale		
Drawing	Plans / Elevations / Section / Details	
No.	AE-101	

Driessen Beach Park
 New Overlook
 Hilton Head Island, SC 29926

Phase
 Design Development

Date
 July 10, 2023

Scale

Drawing
 Plans / Elevations / Section / Details

No.
 AE-101

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: New Overlook at Driessen

DRB#: DRB-001482-2023

DATE: August 8th, 2023

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Provide updated plans for staff review and approval with the following:

1. Conceptual plan. Final materials and colors shall be submitted at final review.

MISC COMMENTS/QUESTIONS

None