



Town of Hilton Head Island  
**Design Review Board Meeting**  
Tuesday, June 8, 2021 – 1:15 p.m.  
**REVISED AGENDA**

Revision: item 7bi.  
Starbucks on Pope  
Avenue, DRB-  
001318-2021 has  
been withdrawn  
from the agenda.

In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call**

**4. Approval of Agenda**

**5. Approval of Minutes**

a. Meeting of May 25, 2021

**6. Appearance by Citizens**

**7. New Business**

a. *New Development – Conceptual*

i. Tidal Wave Auto Spa, DRB-001157-2021

b. *New Development – Final*

i. Starbucks on Pope Avenue, DRB-001318-2021 – *This item has been withdrawn.*

ii. Benny Hudson Seafood, DRB-001319-2021

c. *Sign*

i. Chow Daddy's, DRB-001325-2021

**8. Board Business**

**9. Staff Report**

a. Minor Corridor Report

**10. Adjournment**

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m. on June 7, 2021. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Secretary at 843-341-4691 no later than 12:00 p.m. on June 7, 2021.

**Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.**



Town of Hilton Head Island  
**Design Review Board Meeting**  
May 25, 2021 at 1:15 p.m. Virtual Meeting  
**MEETING MINUTES**

**Present from the Board:** Chairman Michael Gentemann, Vice Chair Cathy Foss, David McAllister, Judd Carstens, Annette Lippert, John Moleski,

**Absent from the Board:** Debbie Remke (excused)

**Present from Town Council:** Tamara Becker, David Ames, Bill Harkins, Glenn Stanford

**Present from Town Staff:** Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

---

**1. Call to Order**

Chairman Gentemann called the meeting to order at 1:15 p.m.

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call** – See as noted above.

**4. Approval of Agenda**

Chairman Gentemann asked if staff had any changes to the agenda. There being none, Mr. McAllister moved to approve the agenda. Mr. Carstens seconded. By way of roll call, the motion pass by a vote of 6-0-0.

**5. Approval of Minutes**

a. Meeting of May 11, 2021

Chairman Gentemann asked for a motion to approve the minutes of the May 11, 2021 regular meeting. Ms. Lippert moved to approve. Mr. Moleski seconded. By way of roll call, the motion was approved by a vote of 5-0-1. (Vice Chair Foss abstained as she was not present at the subject meeting.)

**6. Appearance by Citizens**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments of record for this meeting. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

**7. New Business**

a. *Alteration/Addition*

i. McDonald's Renovation at 2 Plaza Drive, DRB-001061-2021

Mr. Darnell presented the application as described in the Board's agenda package. He stated staff recommends approval with the following conditions:



1. Correct the landscape plan and schedule.
2. Revise the lighting plan to eliminate light pollution beyond the property line.
3. Specify a color for the interior wall face of the dumpster enclosure.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length and the following concerns and recommendations were made regarding the project: the need to define the color of the inside of the dumpster; consider changing the color Cityscape to Charcoal gray; existing wood trim to remain above the brick; suggestion to remove shutters; consideration of a one way entrance and exit due to proximity to US278; sight line concerns; define light fixture temperature as 3000K; planting schedule does not match landscape plan; landscaping suggestions to upsize live oaks; discussion of future plans to update signage directions and the need for confirmation that Iron Mountain is not part of the color scheme.

Following the discussion, Ms. Lippert moved to approve DRB-001061-2021 with the following conditions:

1. All of Staff comments.
2. Update the Landscape schedule to match the Landscape Plan.
3. Include removal of existing screening material at the dumpster enclosure and upon completion of construction replace the screening material with seven gallon Walter's Viburnum to match those on the plaza drive frontage.
4. Create a continuous hedge of the Walter's Viburnum across all parking areas and outside of sight triangles.
5. Upsize the three live oaks located along Plaza Drive and the parking area to 4 inch caliper and 14-16 foot height at install.
6. Dumpster inside face wall to be painted the stucco color of Fairview Taupe.
7. The storefront to be dark bronze anodized.
8. The metal fascia and coping color to be revised to charcoal gray.
9. The shutters to be eliminated
10. Utilized wood trim to create the panelized look.
11. The break-up of the drive-thru elevation with similar panelized trim to break up the long stucco wall.
12. Confirm 3000K for light fixture discussed.
13. Confirm that Iron Mountain is not part of the color scheme.
14. All of the noted conditions can be reviewed by staff for approval.

Vice Chair Foss seconded. By way of roll call, the motion passed by a vote of 6-0-0.

ii. Lyons Repaint, DRB-001096-2021

Mr. Darnell presented the application as described in the Board's agenda package. He stated staff recommends approval as submitted.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: confirmation that the columns are not being painted; comment that color selection is in line with the design guidelines; comment regarding opinion that blue is not a nature blending color; and the need for a second color to break down the volume of the building.

Following discussion Mr. Gentemann moved to approve DRB-001096-2021 as submitted. Vice Chair Foss seconded. By way of roll call, the motion passed by a vote of 5-1-0. Ms. Lippert opposed.

iii. Deano's Italian Restaurant, DRB-001183-2021

Mr. Darnell presented the application as described in the Board's agenda package. He stated staff recommends approval with the following conditions:

1. Add note to the Electrical Plan that the proposed light source will not exceed 3000K.
2. Revise the landscape plan with more site appropriate plants and spacing for Staff review and approval.
3. Specify on the drawings that window and door frames to match existing.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length and the following concerns and recommendations were made regarding the project: clarification of the new planting plans; plans to preserve the existing plans; coordination of new plantings with what exists on site; the need for a better demo and planting plan for landscaping; the need for a treatment at the post base connector; confirmation that the trellis is not connected to the building; suggestion placement of an urn rather than a recessed planter on top of the column that does not have a post; the need for more accurate drawings of the existing structure; clarification of height change; coping color needs to be provided; clarification of conduit location, installation, and to be concealed; and discussion regarding location of instant water heater.

Following discussion Ms. Lippert moved to approve DRB-001183-2021 with the following conditions:

1. All of Staff comments.
2. The need for an updated planting plan to clarify what is there, what is to be removed and what is to be new. This is to be reviewed by Staff and one landscape architect Design Review Board member.
3. A review of detail 301.3 either to clarify what plant will go in the recessed planter or whether it gets revised for an urn on top.
4. A note to clarify that the two vertical wall porticos are capped on all sides with brick and no other modifications to them and include a coping cap with coping color submitted for staff approval.
5. Confirmation of location of instant water heater in the service yard area where the fence is being removed for the new door leading to the bathrooms and, if so, the need to relocate it to the interior of the building. Acceptable for the electric panel to remain in that location.
6. The new glazing panel on the rear elevation shall have the same horizontal mullion as the existing panels and an opaque panel to match the existing below the horizontal mullion.
7. It shall be reviewed whether the railing and stucco walls in between the brick piers at the courtyard shall be dis-aligned further beyond what it currently shown in the details.
8. The detail notes on the brick cap shall be corrected.
9. It shall be noted that no conduit shall be visible in its routing to the trellis.
10. The trellis will not connect to the existing mansard roof.

11. The post base anchors are visible and shall be wrapped in 1X stock to hide the mounting elements.

Mr. McAllister seconded. By way of roll call, the motion passed by a vote of 6-0.

**iv. Islanders Beach Park Overlook, DRB-001184-2021**

Mr. Darnell presented the application as described in the Board's agenda package. He stated staff recommends approval as submitted.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: confirmation that colors are to match picnic shelter; clarified the structure will be stained; and confirmation that any disturbance to the area will be remediated.

Following discussion Chairman Gentemann moved to approve DRB-001184-2021 with the following comments and conditions:

1. Structure colors will match the picnic pavilion.
2. Any disturbance around the structure due to construction will be remediated.
3. Correct the detail reference on C4 on sheet AE-101.

Vice Chair Foss seconded. By way of roll call, the motion passed by a vote of 6-0.

**8. Board Business - None**

**9. Staff Report**

**a. Minor Corridor Report**

Mr. Darnell reported the following minor DRB approvals since the last meeting of the Board: a total of six cell upgrades at the following addresses – 91 Lighthouse; 92 Folly Field; 7 Palmetto Business Park; 99 South Sea Pines Drive; 105 Wildhorse; and 11 South Forest Beach. He stated there were path upgrades and additions at 133 Arrow Road and a fire pit and patio approved at 11 South Forest Beach.

Mr. Darnell reminded the Board of the training requirements needed by June 30. He added that election of officers for the DRB will take place the last meeting in June. He concluded with informing the Board that Shari Mendrick, Floodplain Administrator, will be making a presentation at a future meeting of the DRB regarding the Flood Zone LMO Amendments.

**10. Adjournment**

The meeting was adjourned at 3:11 p.m.

**Submitted by:** Vicki Pfannenschmidt, Secretary

**Approved:** [DATE]



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MARTIE MURPHY Company: SHJ CONSTRUCTION GROUP  
 Mailing Address: 124 EAST THOMPSON ST City: THOMASTON State: GA Zip: 30286  
 Telephone: 706-6470414 Fax: \_\_\_\_\_ E-mail: MARTIE@SHJCONSTRUCTIONGROUP.COM  
 Project Name: TIDAL WAVE AUTO SPA Project Address: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC  
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 2 0 2 B 0 0 0 0  
 Zoning District: LC - LIGHT COMMERCIAL Overlay District(s): CORRIDOR & AIRPORT OVERLAY

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development \_\_\_\_\_ Alteration/Addition  
 Final Approval – Proposed Development \_\_\_\_\_ Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

5/10/21

Tidal Wave Autospa  
 1 Plaza Drive  
 Car Wash

1.37  
 0.6

Examp.Site DATE: 43021  
 APPLICANT: EMC Engineering

0.55

900  
 493.2  
 394.56  
 98.64

Category I		Category II		Category III		Category IV	
No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches
2	54	1	18	2	48	0	0
14	278	7	85	15	259	6	22
16	332	8	103	17	307	6	22

Category I		Category II		Category III		Category IV	
No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches
2	54	0	0	2	48	0	0
9	190	4	45	8	129	1	2
11	244	4	45	10	177	1	2

Category I		Category II		Category III		Category IV	
No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches	No. Trees	Total D.B.H. Inches
0	0	1	18	0	0	0	0
5	88	3	40	7	130	5	20
5	88	4	58	7	130	5	20
31.25%	26.51%	50.00%	56.31%	41.18%	42.35%	83.33%	90.91%

ADJUSTMENTS

No. Trees	Total D.B.H. Inches	Value Factor	Total Adjusted Caliper Inches	Percentage Coverage
16	332	1	332	43.5%
8	103	0.75	77	13.5%
17	307	0.5	154	40.2%
6	22	0.25	6	2.9%



```

=====
47          764          568          100.0%

```

RELATIONS

```

*****
No. Trees      Total D.B.H.      Value      Total Adjusted      Caliper Inch      Percentage
                Inches      Factor      Caliper Inches      Removed      Removed
11             244              1          244                 88             43.7%
4              45              0.75       34                  44             21.6%
10             177              0.5        89                  65             32.3%
1              2               0.25       1                   5              2.5%
=====
26             468              367        201.5              100.0%
21             296              202

```

RELATIONS

```

*****
No. Trees      Total D.B.H.      Value      Total Adjusted
                Inches      Factor      Caliper Inches
14             278              1          278
7              85              0.75       64
15             259              0.5        130
6              22              0.25       6
=====
42             644              477

```

RELATIONS

```

*****
No. Trees      Total D.B.H.      Value      Total Adjusted
                Inches      Factor      Caliper Inches
9              190              1          190
4              45              0.75       34
8             129              0.5        65
1              2               0.25       1
=====
22             366              289
20             278              188

```

```

                Replanting
                ACI      Factor      Subtotal
*****
493.2
568.25
0          0.15          0
367
126.45      0.30          38

```





349 Margie Drive, Suite220  
Warner Robins, GA 31088  
Phone: (229) 435-6133  
Fax: (229) 439-7979  
www.emc-eng.com

## Development Narrative

The proposed development intends to demo the existing 2,335 sf Pizza Hut bldg. that currently encroaches into the 20' bldg. setback along with the existing 4,755 sf open bay carwash and redevelop the lot as 3,200 sf express tunnel car wash, Tidal Wave Auto Spa. The proposed development will remove two access points from Plaza Drive and modify the existing access on Frontage Road to provide a median divided Entrance only and Exit only. The existing property has a lot coverage of 63% and the proposed redevelopment will be removing all of the existing development and redeveloping the lot to 57% coverage increasing the landscaped area and bring the site in to compliance with current code standards. The site plan was design to preserve all the existing Specimen and Significant trees onsite except for one 30'' Loblolly Pine which due to its proximity to an existing 18'' Water Oak, makes it less than ideal to try and save as a Significant tree. The proposed development does not affect any existing wetlands or buffers. The site drainage patterns will be designed to mimic existing conditions and meet all the required stormwater management standards. The building is oriented along the 20' building setback along Plaza drive. The Landscape buffer parallel to plaza drive is designed to coordinate with the features of the building. This allows for a combined screening of the vacuum service area located East of the primary building where people will be allowed to vacuum and clean the insides of the car after it has been through the wash. The site landscaping is designed to exceed the required standards as Tidal Wave does with all their site to provide their customer with an upscale experience as they navigate the site with multiple landscape or "WOW" features. All the vacuum equipment onsite will be housed in screening structures that will match the upscaled building facades of the primary building. These structures are fully enclosed preventing any obtrusive sounds from the vacuum equipment enhancing the experience of our customers. In addition to these masonry screenings landscape feature will be placed to help the other site components like the dumpster screening area fade back into the landscaping.

Sincerely,

Alex Perry, PE  
Project Manager  
EMC Engineering Service

**EMC Engineering Services, Inc.**

Albany ▪ Atlanta ▪ Augusta ▪ Brunswick ▪ Columbus ▪ Savannah ▪ Statesboro ▪ Thomaston ▪ Valdosta ▪ Warner Robins



349 Margie Drive  
Suite 220  
Warner Robins, GA 31088  
Phone: (478) 333-4110  
Fax: (229) 439-7979  
www.emc-eng.com



Delivered via e-mail: [\[Email\]](#)

May 25, 2021

Design Team/DRB – DRB #: DRB-001157-2021  
Hilton Head Island, SC

RE: Tidal Wave Auto Spa  
EMC PROJECT: 20-6459

To Whom It May Concern,

The following is a response to your comments received May 11<sup>th</sup>, 2021 for the Pre-Development Plans dated May 10<sup>th</sup>, 2021.

#### *Application Material*

1. Wall sections and detail of site elements is required at Final review.  
**The required elements will be provided for the final DRB review. Additional renderings have been added to this conceptual submittal as well.**

#### *Architectural Design*

1. The location of the building on the site needlessly crowds Plaza Drive. The site plan should be flipped to put the parking between Plaza Drive and the Building. See Page 13 & 14 (“Mass” and “Context”) of the Design Guide. While the building is not excessively large its location on the site dominates its surroundings and is not consistent with the context of the surrounding development. **The developer would like for the city to reconsider this requirement. We have looked at alternative layouts but due to the location of the existing tree to be saved, utilities, and drainage; mirroring the site will make it difficult to develop along with providing a much less appealing view from the R/W. This is due to the fact that this area is more of a service area than parking area. It is typically much more desirable to have the 20’ of landscaping then our nice looking building between the right of way and the service area where people will be vacuuming out their cars. This also screens the stacking lanes as well from the right-of-way which is typically a desire of the municipality, so the standing cars are not as visible from the road way. It is the developers desire to provide the city with the best looking business that meets their local design guidelines and be consistent with the surrounding but they do feel that this change will have some unintended negatives when it comes to what the city is looking for.**
2.
  1. The proposed blue roof is not in keeping with “island character” as described in the Design Guide. See page 16, “The overall exterior color scheme must be selected to blend with the natural surroundings of the site.” **The roof color and exterior color scheme has been revised according.**
  2. Standing seam metal roof is preferred over 5v-crimp. **The roof has been revised accordingly.**
  3. Stone veneer is not a material in keeping with “island character” as described in the Design Guide. See page 15, “materials common to the area or historically present should be selected.” There is no stone on a barrier island.  
**The building Veneer has been revised accordingly.**

**EMC Engineering Services, Inc.**

Albany ▪ Atlanta ▪ Augusta ▪ Brunswick ▪ Columbus ▪ Savannah ▪ Statesboro ▪ Thomaston ▪ Valdosta ▪ Warner Robins

3.
  1. The glass on the west elevation is uninterrupted and monotonous.
  2. The stucco panels on the east elevation create a blank unrelieved wall.  
The west glass elevation has been revised to break up the monotonous of the glass as suggested.  
The East elevation has been revised to provide more architectural detail.
4. The cupola lacks architectural detail. The cupola has been removed to address this comment along with help make the building less prominent in its current location.
5. Consider increasing the roof overhang for a more low-country architectural style, see Design Guide page 13. The roof overhang was increased where it did not effect the main structures of the tunnel.
6. Consider replacing the stone veneer with a cement board siding. Stone veneer replaced accordingly
7. "Window opening must be in proportion to the façade or façade element and have a unified relationship in overall design." Design Guide page 15 bldg. elevations were updated accordingly
8. Required at Final - specify vacuum equipment including color. Provide manufacturer cut sheet More detail on the vacuum equipment will be provided at Final DRB. All vacuum equipment is housed in a single masonry screening structure.
9. Required at Final – site lighting including all exterior building fixtures must be shown. Light levels cannot exceed LMO limits and must be 3000K of less. Noted
10. The accessory elements (vacuum canopies, prep canopy, pay kiosk, vacuum screening / vending bldg. and dumpster enclosure) make-up a large part of this development and no information about them is in the application. Additional information has been added about the accessory structures.

### *Landscape Design*

1. **Sheet L1.0:** The following plants are short lived and or struggle on the island:
  1. River Birch – replace with a canopy tree like a Live Oak
  2. Redbud – replace with an evergreen like Dahoon Holly  
The (1) River Burch was replaced with a Nuttall Oak and the (3) Eastern Redbuds were replaced with Yaupon Hollies in the same proposed locations.
2. **Sheet L1.0:** Add canopy trees between Plaza Drive and the building.  
An additional Live Oak tree was added to the west of the building to increase the buffer along Plaza Drive. It addition, the Live Oak at the southwest corner of the building was changed to a Black Gum tree.
3. **Sheet L1.0:** Consider slightly reducing the number of species for continuity.  
Large areas of the same plant species and aesthetic symmetry were utilized to create continuity.
4. **Sheet L1.0:** Reduce the use of turf grass in favor of ornamental grasses or evergreen groundcovers.  
The updated site plan shows an increase in the number of shrubs and an enlargement of most mulch and plant beds. This results in a reduction of turf grass.

### *Natural Resource Protection*

1. **Sheet C4.1:** Specify on the Tree Protection Plan the location of tree protection fence and specify 4-6" hardwood mulch within the fence during construction.

Rough locations for the tree protection fencing are shown on the tree protection plan. Warning signage is shown at least every 150' and mulch is specified within tree protection zones. A final tree protection plan will be provided that meets all of the city's requirements.

2. **Sheet C4.1:** Specify pre and post construction fertilization and mycor treatment of the 28" pine, 22" oak and 32" oak along Plaza Drive.  
Fertilization and Mycor Treatment are specified on the plans for all (4) of the large existing trees along Plaza Drive.

*Misc. Comments/Questions*

1. This project requires a DPR.  
EMC Engineering is aware that the project requires a DPR. The process will be started to gain DPR approval.
2. **Sheet C4.0:** 12' landscape island is required between parking bay and drive aisle.  
The drive aisle was shifted to the East at the north of the site in order to create a 12' landscape island. Towards the south of the site, the landscape island was reduced to preserve the existing significant and specimen trees in that location in accordance with section 16-5-107 G. e.
3. All vertical construction needs to be illustrated. The vacuum canopies, prep canopy, pay kiosk, vacuum screening / vending bldg. and dumpster enclosure all need to be detailed with color and material specified. Detail have been added for these structures and cuts sheets will be provided at final DRB.
4. **Sheet L1.0:** River Rock is not a mulch in keeping with "island character". Replace with a more appropriate groundcover.  
All the proposed river rock on the site was replaced with alternative groundcover.
5. **Sheet C4.0:** Remove the existing, unused curb cuts on Plaza Drive and replace the curb to match existing.  
Both of the curb cuts on Plaza Drive are now shown to be demoed and replaced in a way to match existing drainage and road conditions.

**We certainly appreciate your assistance in this matter. If you have any questions, please feel free to contact me.**

Sincerely,  
EMC Engineering Services, Inc

Richard A. Perry  
Project Manager





Google Earth

© 2021 Google





Google Earth

© 2021 Google





Google Earth

© 2021 Google





Google Earth

© 2021 Google





























M. TODD ALBRITTON  
**ARCHITECT**

202 EAST MAIN STREET  
THOMASTON, GEORGIA  
30286  
PH 770-550-3275  
mtoddalbrittonarchitect@gmail.com

COPYRIGHT  
THESE DESIGNS AND DRAWINGS AS INSTRUMENTS OF  
SERVICE ARE THE PROPERTY OF THE ARCHITECT AND  
SHALL NOT BE COPIED OR REUSED IN ANY FORM  
WITHOUT THE WRITTEN PERMISSION OF THE  
ARCHITECT  
THESE DRAWINGS SHALL BE USED ON THE ORIGINAL  
PROJECT LOCATION ONLY AND SHALL NOT BE REUSED  
AT OTHER LOCATIONS.

**NEW TIDAL WAVE  
AUTO SPA**  
1 PLAZA DRIVE  
HILTON HEAD ,  
SOUTH  
CAROLINA  
29926

OWNER:  
**TIDAL WAVE AUTO  
SPA**  
EAST THOMPSON STREET  
THOMASTON GEORGIA  
30286



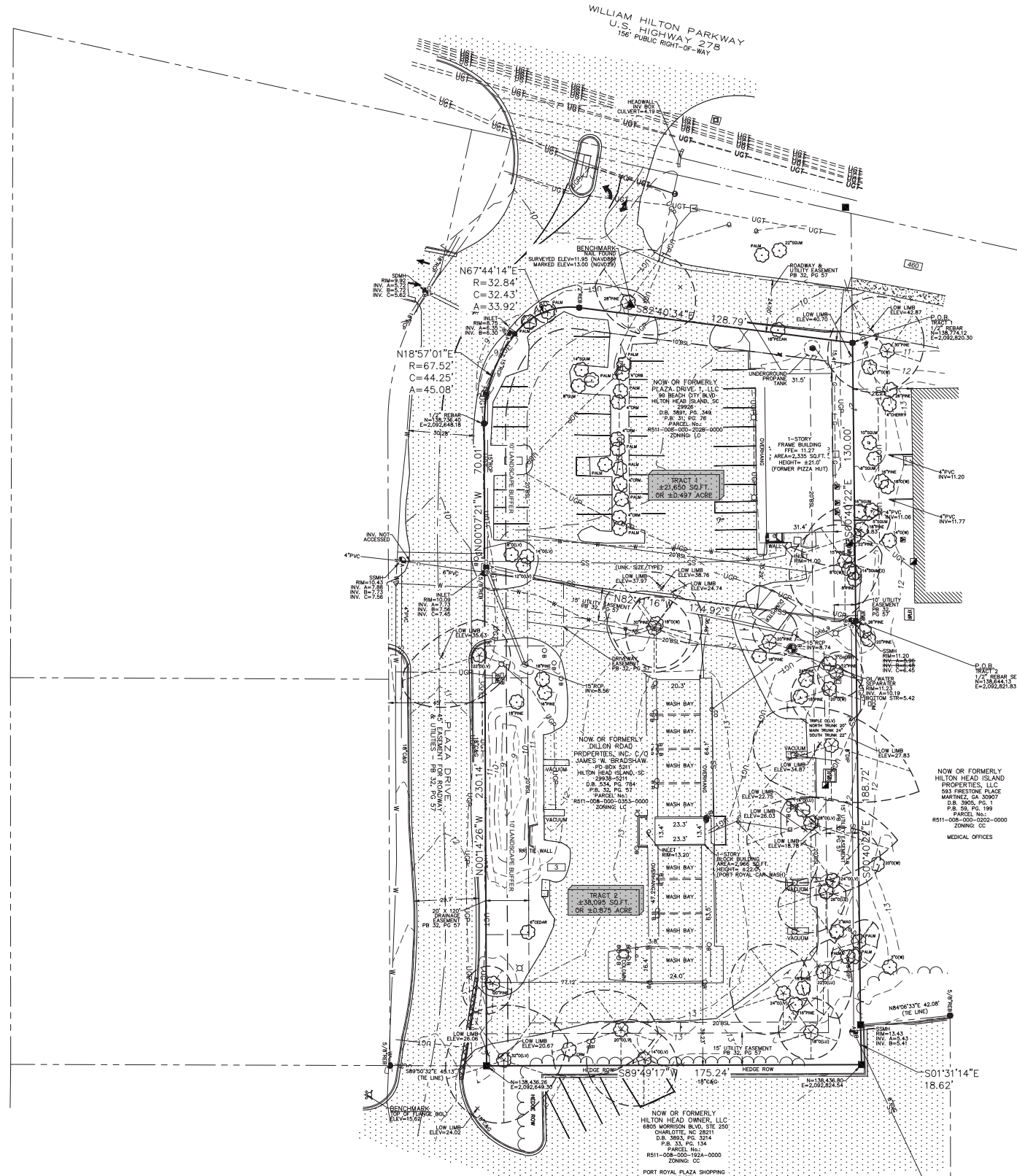
MARK	DATE	DESCRIPTION

SHEET TITLE  
**PERSPECTIVE VIEWS**

PROJECT DATE: #####  
PROJECT NUMBER: ##  
DRAWN BY: Name

**PR.7**





**GENERAL NOTES**

- DONALDSON, GARRETT AND ASSOCIATES, INC. PERFORMED AN EXISTING CONDITIONS / TOPOGRAPHICAL SURVEY OF THIS PARCEL ON 1/29/2021. THERE MAY BE EASEMENTS, SETBACK LINES OR OTHER MATTERS AFFECTING THIS PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.
- THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' FEET OF SUBJECT PROPERTY.
- THE CONSTRUCTION AREA ULTIMATELY DRAINS TO TRIBUTARY OF BROAD CREEK.
- THE EXISTING SITE IS A PIZZA HUT AND MULTI BAY CAR WASH.
- THE AREA FOR THIS PROJECT IS ±1.37 ACRES WITH A DISTURBED AREA OF ±X.X ACRES.
- THE TOWN OF HILTON HEAD ISLAND PUBLIC PROJECTS AND FACILITIES DEPARTMENT SHALL BE NOTIFIED 72 HOURS PRIOR TO BEGINNING WORK AND 24 HOURS PRIOR TO RESUMING WORK AT 843-341-4600.
- ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF TOWN OF HILTON HEAD ISLAND. IF NOT OTHERWISE SPECIFIED, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CAROLINA DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (CURRENT EDITION) AND THE SOUTH CAROLINA DOT STANDARD HIGHWAY DRAWINGS (CURRENT EDITION).

**DEMOLITION AND EXISTING CONDITIONS NOTES:**

- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND/OR NEW WORK. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS.
- CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BARRIERS & WARNINGS TO LIMIT ACCESS TO PROJECT AREA TO ONLY THOSE PERSONNEL AUTHORIZED BY THE CONTRACTOR. INASMUCH AS AREAS ADJACENT TO PROJECT AREA WILL MAINTAIN "NORMAL OPERATIONS."
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL MEASURES & SHALL MAINTAIN SAFE PASSAGEWAY FOR WORKERS & NON-WORKERS AS REQUIRED ADJACENT TO THE PROJECT SITE.
- ALL ITEMS REMOVED OR DEMOLISHED BY THE CONTRACTOR WHICH ARE NOT LISTED BY THE SPECIAL PROVISIONS TO BE TURNED OVER TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY FOR PROPER DISPOSAL.
- DEMOLITION ACTIVITIES ARE NOT EXPECTED TO INCLUDE THE REMOVAL OF HAZARDOUS MATERIALS. IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED OR SUSPECTED, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF THE MATERIAL.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO SCHEDULE ALL UTILITY & SERVICE INTERRUPTIONS TO OCCUPIED PORTIONS OF THE SITE.
- CONTRACTOR SHALL REMOVE TREES AS INDICATED ON CIVIL PLANS. CONTRACTOR SHALL USE CAUTION DURING ALL CONSTRUCTION ACTIVITIES TO PROTECT ALL TREES INDICATED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE CLEAN-UP, CLEARING AND GRUBBING PER SPECIFICATIONS. ALL TREES THAT HAVE A MARKETABLE VALUE SHALL BE SALVAGED. CONTRACTOR SHALL COORDINATE WITH OWNER AS TO THE TREES TO BE RELOCATED OR SOLD.
- CONTRACTOR SHALL SAW CUT EXISTING CONCRETE AND ASPHALT PAVEMENTS AT LIMITS OF DEMOLITION TO LEAVE SMOOTH EDGE ON REMAINING CONCRETE/PAVEMENT.

**FLOODPLAIN NOTES**

THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "A7" AS PER FLOOD INSURANCE RATE MAP FOR HILTON HEAD ISLAND AS SHOWN ON PANEL 9 OF 15 ON MAP NUMBER 450250 0009 D, WITH AN EFFECTIVE DATE OF 9/29/1986. ZONE "A7" DENOTES AREAS AREAS OF 100-YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED.

**UTILITY NOTES:**

- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- UNDERGROUND UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES.
- BEFORE EXCAVATIONS ARE BEGUN, GIVE THREE WORKING DAYS NOTICE TO THE UTILITIES PROTECTION CENTER AT 811 PRIOR TO ANY EXCAVATION IN ORDER THAT UNDERGROUND UTILITIES MAY BE LOCATED AND PROTECTED.

**LEGEND:**



NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 30'

**EMC ENGINEERING SERVICES, INC.**  
349 Mangie Drive, Suite 220  
Warner Robins, GA 31088  
Ph: (478) 333-4110  
Fax: (229) 438-7979  
warnerrobins@emc-eng.com  
www.emc-eng.com



ALBANY - AUGUSTA - BRUNSWICK - COLUMBUS - GREENVILLE - SC  
SAVANNAH - STATESBORO - THOMASTON - VALDOSTA - WARNER ROBINS

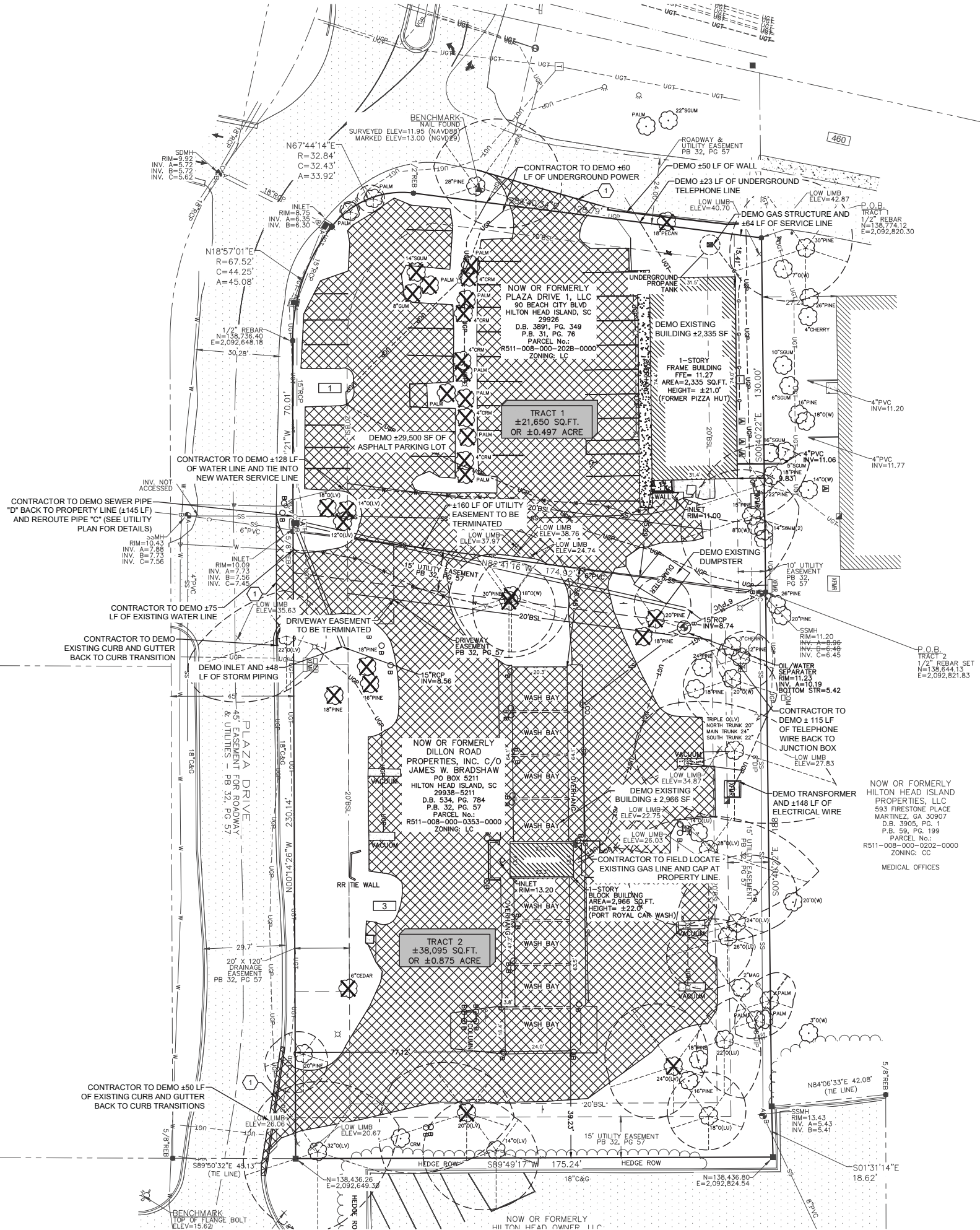
**EXISTING CONDITIONS**  
**TIDAL WAVE AUTO SPA**  
1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
Prepared for:  
**SHJ CONSTRUCTION GROUP**

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 30'
DATE:	5/24/2021

SHEET  
**C3.0**  
OF 23







**GENERAL NOTES**

- DONALDSON, GARRETT AND ASSOCIATES, INC. PERFORMED AN EXISTING CONDITIONS / TOPOGRAPHICAL SURVEY OF THIS PARCEL ON 1/29/2021. THERE MAY BE EASEMENTS, SETBACK LINES OR OTHER MATTERS AFFECTING THIS PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.
- THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' FEET OF SUBJECT PROPERTY.
- THE CONSTRUCTION AREA ULTIMATELY DRAINS TO TRIBUTARY OF BROAD CREEK.
- THE EXISTING SITE IS PIZZA HUT AND MULTI BAY CAR WASH.
- THE AREA FOR THIS PROJECT IS ±1.37 ACRES WITH A DISTURBED AREA OF ±X.X ACRES.
- THE TOWN OF HILTON HEAD ISLAND PUBLIC PROJECTS AND FACILITIES DEPARTMENT SHALL BE NOTIFIED 72 HOURS PRIOR TO BEGINNING WORK AND 24 HOURS PRIOR TO RESUMING WORK AT 843-341-4600.
- ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF TOWN OF HILTON HEAD ISLAND. IF NOT OTHERWISE SPECIFIED, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CAROLINA DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (CURRENT EDITION) AND THE SOUTH CAROLINA DOT STANDARD HIGHWAY DRAWINGS (CURRENT EDITION).

**DEMOLITION AND EXISTING CONDITIONS NOTES:**

- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND/OR NEW WORK. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS.
- CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BARRIERS & WARNINGS TO LIMIT ACCESS TO PROJECT AREA TO ONLY THOSE PERSONNEL AUTHORIZED BY THE CONTRACTOR. INASMUCH AS AREAS ADJACENT TO PROJECT AREA WILL MAINTAIN "NORMAL OPERATIONS."
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL MEASURES & SHALL MAINTAIN SAFE PASSAGEWAY FOR WORKERS & NON-WORKERS AS REQUIRED ADJACENT TO THE PROJECT SITE.
- ALL ITEMS REMOVED OR DEMOLISHED BY THE CONTRACTOR WHICH ARE NOT LISTED BY THE SPECIAL PROVISIONS TO BE TURNED OVER TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY FOR PROPER DISPOSAL.
- DEMOLITION ACTIVITIES ARE NOT EXPECTED TO INCLUDE THE REMOVAL OF HAZARDOUS MATERIALS. IN THE EVENT THAT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED OR SUSPECTED, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF THE MATERIAL.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO SCHEDULE ALL UTILITY & SERVICE INTERRUPTIONS TO OCCUPIED PORTIONS OF THE SITE.
- CONTRACTOR SHALL REMOVE TREES AS INDICATED ON CIVIL PLANS. CONTRACTOR SHALL USE CAUTION DURING ALL CONSTRUCTION ACTIVITIES TO PROTECT ALL TREES INDICATED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE CLEAN-UP, CLEARING AND GRUBBING PER SPECIFICATIONS. ALL TREES THAT HAVE A MARKETABLE VALUE SHALL BE SALVAGED. CONTRACTOR SHALL COORDINATE WITH OWNER AS TO THE TREES TO BE RELOCATED OR SOLD.
- CONTRACTOR SHALL SAW CUT EXISTING CONCRETE AND ASPHALT PAVEMENTS AT LIMITS OF DEMOLITION TO LEAVE SMOOTH EDGE ON REMAINING CONCRETE/PAVEMENT.

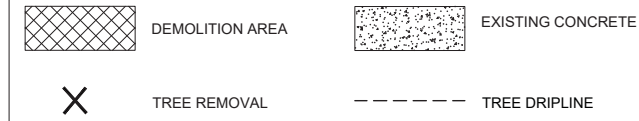
**FLOODPLAIN NOTES**

THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "A7" AS PER FLOOD INSURANCE RATE MAP FOR HILTON HEAD ISLAND AS SHOWN ON PANEL 9 OF 15 ON MAP NUMBER 450250 0009 D, WITH AN EFFECTIVE DATE OF 9/29/1986. ZONE "A7" DENOTES: AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED.

**UTILITY NOTES:**

- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- UNDERGROUND UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES.
- BEFORE EXCAVATIONS ARE BEGUN, GIVE THREE WORKING DAYS NOTICE TO THE UTILITIES PROTECTION CENTER AT 811 PRIOR TO ANY EXCAVATION IN ORDER THAT UNDERGROUND UTILITIES MAY BE LOCATED AND PROTECTED.

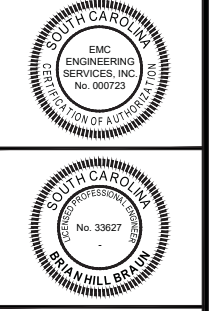
**HATCH LEGEND:**



**SPECIAL NOTES:**

- ① SAW CUT FOR SMOOTH TRANSITION

NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 20'

**EMC ENGINEERING SERVICES, INC.**  
 349 Mangrove Drive, Suite 220  
 Warner Robins, GA 31088  
 Ph: (478) 333-4110  
 Fax: (229) 438-7979  
 www.emc-eng.com

**EMC**  
 ENVIRONMENTAL  
 CIVIL  
 MARINE

ALBANY, AUGUSTA, BRUNSWICK, COLUMBUS, GREENVILLE, SC  
 SAVANNAH, STATESBORO, THOMASTON, VALDOSTA, WARNER ROBINS

**DEMOLITION PLAN**

**TIDAL WAVE AUTO SPA**  
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926  
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

Prepared for:  
**SHJ CONSTRUCTION GROUP**

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 20'
DATE:	5/24/2021

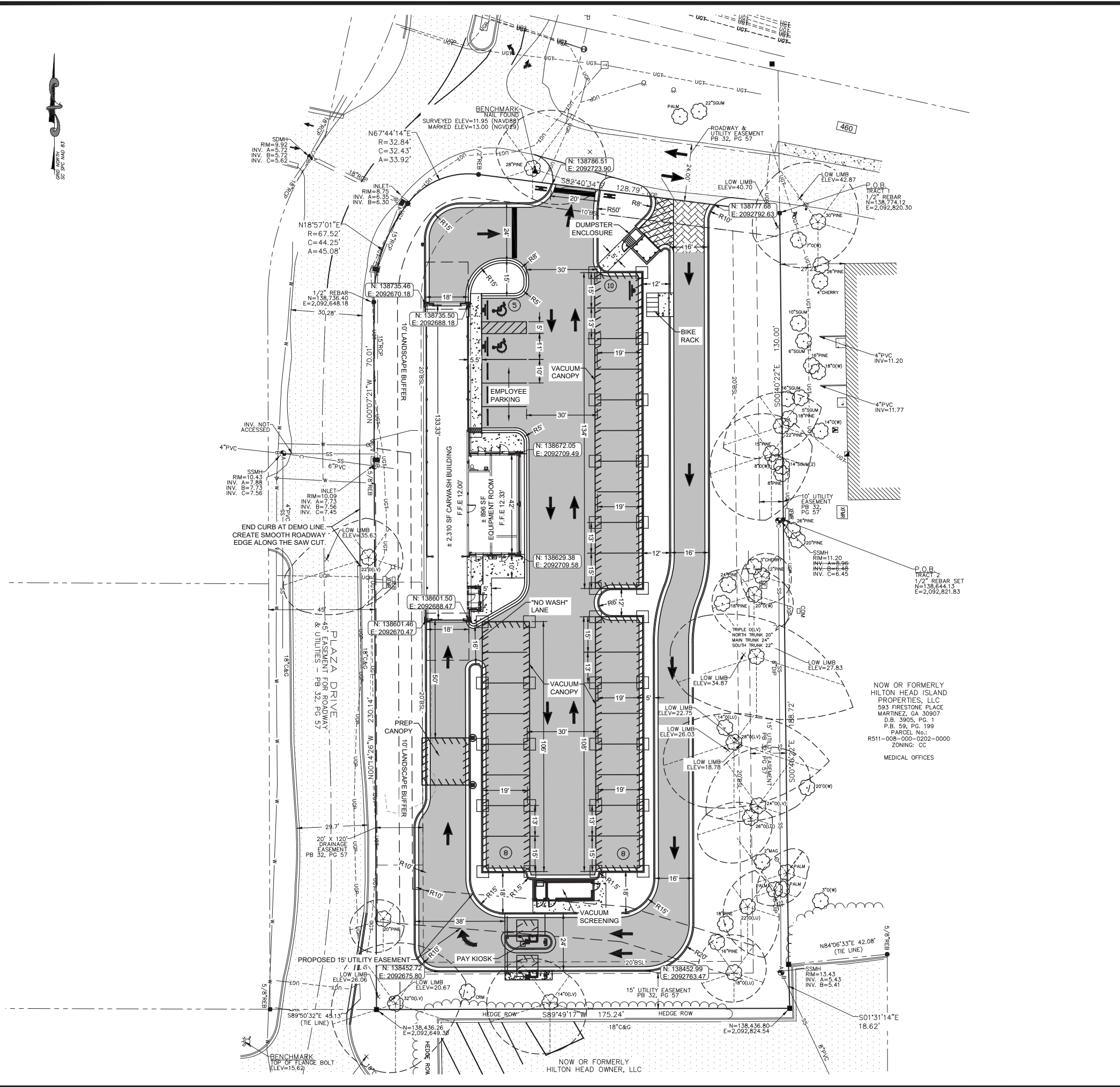
SHEET  
**C3.1**  
 OF 23



C:\2020\20-6459\TMS PLAZA DR HILTON HEAD, SC\DWG\20-6459C\_B01.DWG 5/25/2021 8:16 AM



01/20/2020 10:46:59 TMS PLAZA DR. HILTON HEAD, SC (DWG) 20-6459C\_B01.DWG: 5/25/2021 8:16 AM



**SITE INFORMATION:**

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926  
 PROPERTY AREA: ±1.37 ACRES  
 PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)  
 BUILDING SETBACKS: FRONT: 10', SIDE: 20', REAR: 20'  
 LANDSCAPE SETBACK: FRONT: 10', SIDE: 10', REAR: 0'

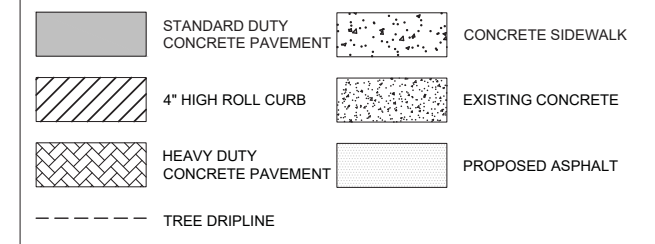
**PARKING NOTE:**

PARKING REQUIRED: 10 SPACES PER WASH BAY  
 10 / 1 = 10 SPACES  
 PARKING PROVIDED: 29 STANDARD SPACES  
 + 2 HANDICAPPED SPACES  
 31 TOTAL SPACES

**SITE LAYOUT AND STAKING NOTES**

- IF THE PLANS ARE NOT CLEAR OR DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT EMC ENGINEERING SERVICES, INC AT 229-435-6133 FOR CLARIFICATION IMMEDIATELY.
- ALL NORTHING AND EASTING ARE TO THE FACE OF CURB, EDGE OF BUILDING.
- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. PARKING STALL STRIPPING TO BE YELLOW WITH BLUE HANDICAPPED STRIPPING
- ALL HANDICAP PARKING SPACES AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.
- DIMENSIONS AND CURVE RADI ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS

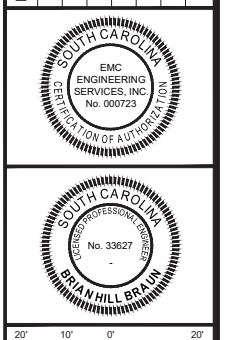
**HATCH LEGEND:**



**PRE VS. POST DEVELOPED AREA:**

PRE-DEVELOPED AREA:	1.37 AC	POST DEVELOPED:	1.37 AC
IMPERVIOUS AREA:	0.86 AC	IMPERVIOUS AREA:	0.79 AC
PERVIOUS AREA:	0.51 AC	PERVIOUS AREA:	0.58 AC
EXISTING IMPERVIOUS COVERAGE IS:	62.8%		
PROPOSED IMPERVIOUS COVERAGE IS:	57.7%		
MAX. ALLOWED IMPERVIOUS COVERAGE IS:	60.0%		

NO.	REVISION DESCRIPTION	DATE



**EMC ENGINEERING SERVICES, INC.**  
 349 Margie Drive, Suite 220  
 Warner Robins, GA 31088  
 Ph: (478) 333-4110  
 Fax: (229) 439-7979  
 www.emc-eng.com

**EMC ENGINEERING SERVICES, INC.**  
 CIVIL ENGINEER  
 No. 33627

**EMC ENGINEERING SERVICES, INC.**  
 ENVIRONMENTAL ENGINEER  
 No. 33627

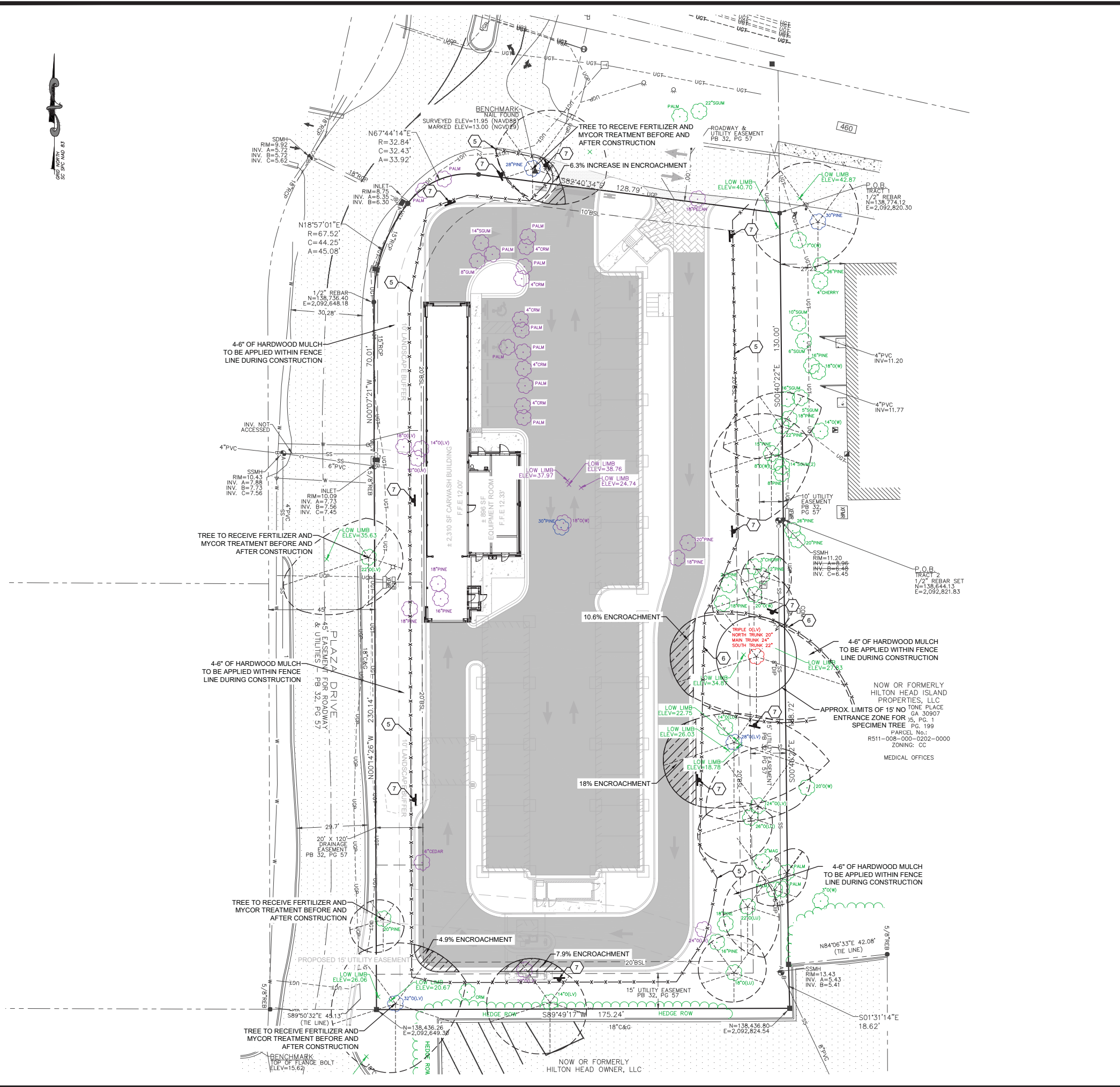
ALBANY • AUGUSTA • BRUNSWICK • COLUMBUS • GREENVILLE, SC  
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

**PRELIMINARY SITE PLAN**  
**TIDAL WAVE AUTO SPA**  
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926  
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
 Prepared for:  
**SHJ CONSTRUCTION GROUP**

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 20'
DATE:	5/24/2021



01/20/2010 10:46:59 TMS PLAZA DR. HILTON HEAD, SC [DWG] 20-6459C\_B01.DWG: 5/25/2021 8:16 AM



**SITE INFORMATION:**

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926  
 PROPERTY AREA: ±1.37 ACRES  
 PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)  
 BUILDING SETBACKS: FRONT: 10', SIDE: 20', REAR: 20'  
 LANDSCAPE SETBACK: FRONT: 10', SIDE: 10', REAR: 0'

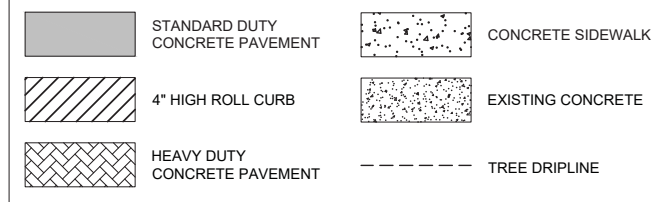
**PARKING NOTE:**

PARKING REQUIRED: 1 SPACE PER 15F  
 10 / 1 = 10 SPACE(S)  
 PARKING PROVIDED: 29 STANDARD SPACES  
 + 2 HANDICAPPED SPACES  
 31 TOTAL SPACES

**SITE LAYOUT AND STAKING NOTES**

- IF THE PLANS ARE NOT CLEAR OR DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT EMC ENGINEERING SERVICES, INC AT 229-435-6133 FOR CLARIFICATION IMMEDIATELY.
- ALL NORTHING AND EASTING ARE TO THE FACE OF CURB, EDGE OF BUILDING.
- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. PARKING STALL STRIPPING TO BE YELLOW WITH BLUE HANDICAPPED STRIPPING
- ALL HANDICAP PARKING SPACES AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS

**HATCH LEGEND:**



**PRE VS. POST DEVELOPED AREA:**

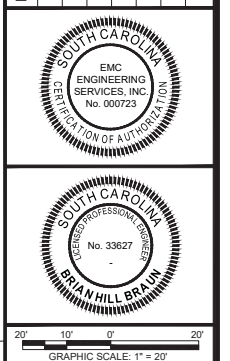
PRE-DEVELOPED AREA:	1.37 AC	POST DEVELOPED:	1.37 AC
IMPERVIOUS AREA:	0.86 AC	IMPERVIOUS AREA:	0.79 AC
PERVIOUS AREA:	0.51 AC	PERVIOUS AREA:	0.58 AC
EXISTING IMPERVIOUS COVERAGE IS:	62.8%		
PROPOSED IMPERVIOUS COVERAGE IS:	57.7%		

**SPECIAL NOTES:**

- SIGNIFICANT TREES
- SPECIMEN TREES
- EXISTING TREES TO STAY
- DEMO TREES
- 4" TREE PROTECTION FENCING: BRIGHT ORANGE PLASTIC MESH (SEE DETAIL SHEET X.X)
- 4" SPECIMEN TREE PROTECTION FENCING: WOODEN (SEE DETAIL SHEET X.X)
- TREE PROTECTIVE SIGNAGE: "TREE OR BUFFER PROTECTION ZONE: DO NOT ENTER"



NO.	REVISION DESCRIPTION	DATE



**EMC ENGINEERING SERVICES, INC.**  
 348 Margie Drive, Suite 220  
 Warner Robins, GA 31088  
 Ph: (478) 333-4110  
 Fax: (229) 439-7979  
 warnerrobins@emc-eng.com  
 www.emc-eng.com

**CIVIL ENGINEER**  
 MARINE ENVIRONMENTAL

ALBANY • AUGUSTA • BRUNSWICK • COLUMBUS • GREENVILLE, SC  
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

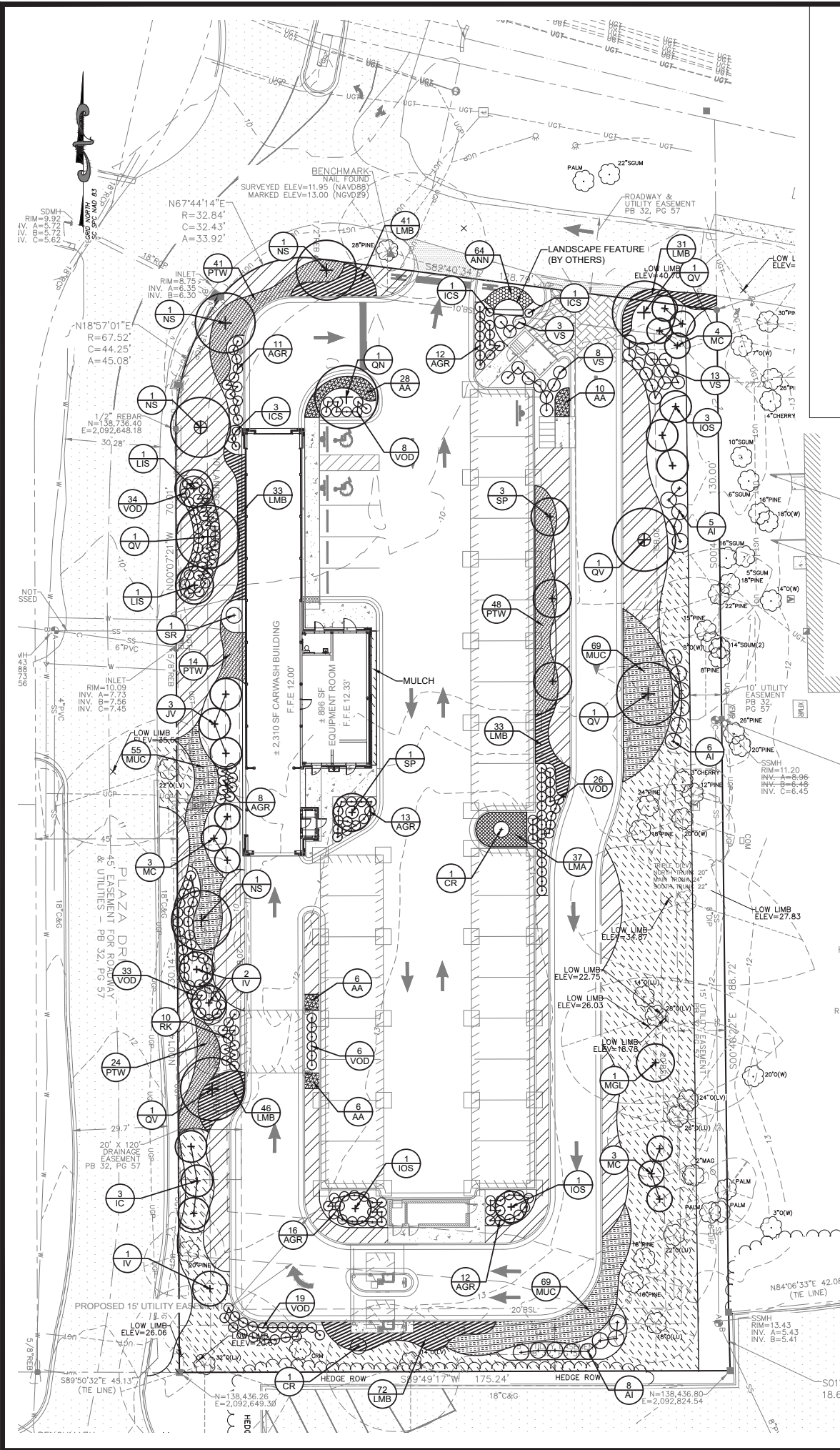
**PRELIMINARY TREE PROTECTION PLAN**

**TIDAL WAVE AUTO SPA**  
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926  
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

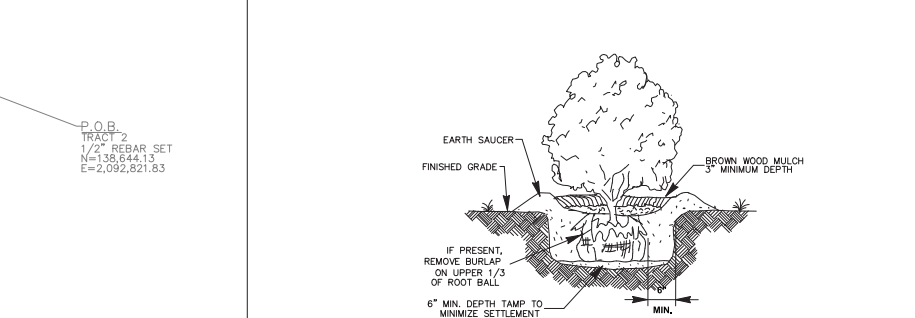
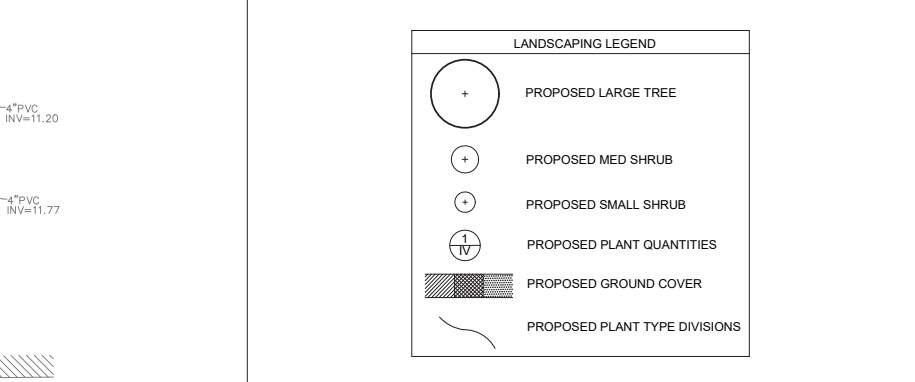
Prepared for:  
**SHJ CONSTRUCTION GROUP**

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 20'
DATE:	5/24/2021





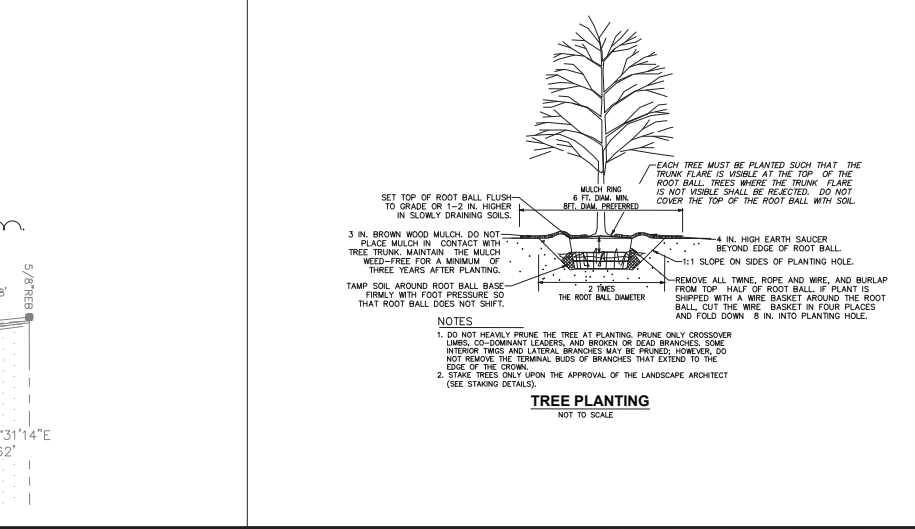
PLANT SCHEDULE						
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES
LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	256	1 GAL	2' O.C.	
LMA	LIRIOPE MUSCARI 'AZTEC'	AZTEC GRASS	37	1 GAL	2' O.C.	
MUC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	192	3 GAL	3' O.C.	
AA	AGAPANTHUS AFRICANUS	AGAPANTHUS LILY	50	1 GAL	2' O.C.	LAVENDER
ANN	ANNUALS	SEASONAL ANNUALS	64	SQ. FT.	12" O.C.	
SOD	STENOTAPHRUM SECUNDATUM 'MERCEDES'	ST. AUGUSTINE GRASS	673	SQ. YD.		
ROCK	RIVER ROCK	RIVER ROCK	9	SQ. YD.		
MULCH	BROWN WOOD MULCH	BROWN WOOD MULCH	795	SQ. YD.		
RK	ROSA KNOCKOUT	KNOCKOUT ROSE	10	3 GAL	3' O.C.	DOUBLE RED
VOD	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	WALTERS VIBURNUM	126	3 GAL	3' O.C.	
PTW	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'	WHEELER'S PITTIOSPORUM	127	3 GAL	3' O.C.	
AGR	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK ABELIA	72	3 GAL	3' O.C.	
CR	CYCAS REVOLUTA	SAGO PALM	2	7 GAL	AS SHOWN	
ICS	ILEX CRENATA 'SKY PENCIL'	SKYPENCIL HOLLY	5	3 GAL	2.5' O.C.	
VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	24	5 GAL	4' O.C.	
AI	AZALEA INDICA 'FORMOSA'	INDIAN AZALEA	19	7 GAL	5' O.C.	
IV	ILEX VOMITORIA	YALPON HOLLY	3	1" CAL	AS SHOWN	
IC	ILEX CASINE	DAHOON HOLLY	3	1" CAL	AS SHOWN	
QV	QUERCUS VIRGINIANA	LIVE OAK	5	2.5" - 3" CAL	AS SHOWN	
JV	JUNIPERUS VIRGINIANA 'BRODIE'	RED CEDAR	3	1" - 1.5" CAL	AS SHOWN	
LIS	LAGERSTROEMIA INDICA 'SILOX'	CRAPE MYRTLE	3	1" CAL	AS SHOWN	2-3 STEM, PINK
NS	NYSSA SYLVATICA	BLACK GUM	4	2" - 2.5" CAL	AS SHOWN	
MC	MYRTICA CERIFERA	WAX MYRTLE	10	7 GAL	8' O.C.	
SR	SERENOA REPENS	SAW PALMETTO	1	5 GAL	AS SHOWN	
ON	QUERCUS NUTTALLII	NUTTALL OAK	2	2" - 2.5" CAL	AS SHOWN	
IOS	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	5	1" CAL	AS SHOWN	
SP	SABAL PALMETTO	SABAL PALM	4	12" CT	AS SHOWN	
MGL	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	1	1-1.5" CAL	AS SHOWN	



**NOTES**

- CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
- FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

**SHRUB PLANTING**  
NOT TO SCALE



**SITE INFORMATION:**

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926

PROPERTY AREA: ±1.37 ACRES

PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)

**BUILDING SETBACKS:** FRONT: 10'  
SIDE: 20'  
REAR: 20'

**LANDSCAPE SETBACK:** FRONT: 10'  
SIDE: 10'  
REAR: 0'

**LANDSCAPE NOTES:**

- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE SODDED.
- ALL PLANT BEDS SHALL HAVE 3" OF BROWN WOOD MULCH AS REQUIRED.
- ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING AS REQUIRED.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH AFTER CONSTRUCTION HAS COMPLETED.
- NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
- SEE DETAILS ON THIS SHEET FOR SHRUB AND TREE INSTALLATION.
- TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT
- AN UNDERGROUND IRRIGATION SYSTEM, SHALL BE INSTALLED AND SHALL COMPLY WITH ALL TOWN OF HILTON HEAD ISLAND CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.
- CONTRACTOR TO INSTALL LANDSCAPING AROUND SIGN IN ACCORDANCE WITH APPROVED SIGNAGE PACKAGE.

**IRRIGATION NOTES:**

- ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
- A SEPARATE METER AND BACKFLOW PREVENTOR WILL BE REQUIRED (SEE UTILITY PLAN).

**LANDSCAPE GRADING NOTES:**

- CONTRACTOR TO GRADE ALL AREAS ON THE LANDSCAPE PLAN, INCLUDING RIGHT-OF-WAY, HATCHED FOR SEEDING & SODDING.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL SOIL TO A DEPTH OF 4" MINIMUM.
- REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

**LAWN SEEDING AND SODDING NOTES:**

- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
- AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
- SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/2 TO 3/4 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
- STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

**LANDSCAPE CALCULATIONS:**

TYPE A - OPTION 2 BUFFER = 490 LF  
PER 100FT: 2 OVERSTORY TREES (10 REQUIRED; 3 EXISTING, 7 PROPOSED), 4 UNDERSTORY TREES (20 REQUIRED; 20 PROPOSED), 10 EVERGREEN SHRUBS (49 REQUIRED; >49 PROVIDED)

SITE TREES REQUIRED = 38"  
1. 12" - CAT 1 PROVIDED: 5 QV (12.5"); 5 IOS (5")  
2. 8" - CAT 2 PROVIDED: 1 QN (2"); 4 NS (8")  
3. 12" - CAT 3 PROVIDED: 4 SP (24"); 3 JV (6")  
4. 1" - CAT 4 PROVIDED: 2 LIS (2")

**HATCH LEGEND:**

MULCHED AREAS (diagonal lines) SODDED AREAS (cross-hatch)

**EMC ENGINEERING SERVICES, INC.**  
348 Margie Drive, Suite 220  
Warner Robins, GA 31088  
Ph: (478) 333-4110  
Fax: (229) 439-7979  
www.emc-eng.com

**PRELIMINARY LANDSCAPE PLAN**  
**TIDAL WAVE AUTO SPA**  
1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
Prepared for:  
**SHJ CONSTRUCTION GROUP**

PROJECT NO.: 20-6459  
DRAWN BY: C.JM  
DESIGNED BY: RAP  
SURVEYED BY: DGA  
SURVEY DATE: 1/29/2021  
CHECKED BY: BHB  
SCALE: 1" = 20'  
DATE: 5/24/2021

SHEET  
**L1.0**  
OF 23



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Tidal Wave Auto Spa

DRB#: DRB-001157-2021

DATE: 05/11/2021 05/28/2021

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the building on the site needlessly crowds Plaza Drive. The site plan should be flipped to put the parking between Plaza Drive and the Building. See Page 13 & 14 (“Mass” and “Context”) of the Design Guide. While the building is not excessively large its location on the site dominates its surroundings and is not consistent with the context of the surrounding development.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Standing seam metal roof is preferred over 5v-crimp.</li> <li>2. <span style="color: red;">The “Exposed Structural Steel” described in the “Exterior Finish Schedule” on page PR.1 should specify bronze not black.</span></li> </ol>
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider increasing the roof overhang for a more low-country architectural style, see Design Guide page 13.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<span style="color: red;">Consider replacing the stucco veneer with a cement board siding.</span>
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required at Final - specify vacuum equipment including color. Provide manufacturer cut sheet

Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required at Final – site lighting including all exterior building fixtures must be shown. Light levels cannot exceed LMO limits and must be 3000K or less.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. The “Prep Canopy” detailed on PR.4 is so close to the adjacent “Vacuum Canopy” on C4.0 it should be a part of that structure.</li> <li>2. The “Vacuum Vending Enclosure” on PR.5 is so close to the “Pay Canopy” on PR.4 they should be one structure.</li> <li>3. Confirm, per the illustration on PR.7 that the key pad and screen at the Pay Canopy are wrapped in stucco to match the building.</li> </ol>

**LANDSCAPE DESIGN**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reduce the use of turf grass in favor of ornamental grasses or evergreen groundcovers.

**NATURAL RESOURCE PROTECTION**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify on the Tree Protection Plan the location of tree protection fence and specify 4-6” hardwood mulch <b>under the dripline</b> and within the tree protection fence during construction.

**MISC COMMENTS/QUESTIONS**

1. This project requires a DPR.
2. River Rock is not a mulch in keeping with “island character”. Replace with a more appropriate groundcover.
3. **The landscape plan does not clearly label the groundcovers including the turf area. To be clarified at Final**
4. **Staff recommends a mirrored site plan pushing the building away from Plaza Drive.**





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>
Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: Joe DePauw Company: Parker Design Group|Architects  
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29938  
 Telephone: (843) 785-5171 Fax: \_\_\_\_\_ E-mail: joe@pdg-architects.com  
 Project Name: Benny Hudson Seafood Project Address: 175 Squire Pope Rd.  
 Parcel Number [PIN]: R5 1 1 0 0 7 0 0 0 0 0 2 B 0 0 0 0  
 Zoning District: WMU - Water-oriented Mixed Use Overlay District(s): OCRM High Tide

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- ✓ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- ✓ Final site development plan meeting the requirements of Appendix D: D-6.F.
- ✓ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- ✓ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ✓ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- ✓ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

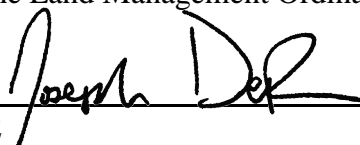
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE 

5/25/2021  
\_\_\_\_\_  
DATE

May 24, 2021

Chris Darnell  
Urban Designer  
Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island SC 29928

re: **Benny Hudson Seafood Final DRB Submission**  
**175 Squire Pope Rd.**  
**DRB-000949-2021**

Mr. Darnell,

Please find attached our submission to the Design Review Board for Final Approval. In response to the conditions of conceptual approval, we have made the following changes to the project:

1. Include all dumpster details.
  - a. *The existing dumpster enclosure, east of the existing walk-in refrigerator will remain and be unchanged.*



Existing dumpster enclosure to remain.

2. Include details on whether the owner's existing driveway access will be eliminated.
  - a. *The existing driveway access will remain. The site plans have been updated to reflect this condition.*



Existing driveway to remain.

3. Consideration for bike rack location to be closer to the outdoor seating entrance.
  - a. *The bike rack has been relocated to the end of the hammerhead, so that it is no longer adjacent to the main drive aisle.*
4. A planting area be placed between the gravel road and the adjacent residence, as well as a planted island on the eastern extreme side of the primary parking area.
  - a. *These planting areas have been provided.*
5. Address all staff comments in the Design Team/DRB comment sheet:
  - a. *The staff's comments have been addressed in the submitted plans.*

In addition, the below narrative provides additional information about the project and our objectives.

## Project Narrative

The Hudson family has been providing Islanders and island visitors with the freshest in local seafood for five generations. Our proposed project would redevelop the Benny Hudson Seafood market to capture the character of this heritage and prepare the seafood market for success in generations to come.

The new Benny Hudson Seafood will be constructed across the parking lot from the current market in the location of an existing pre-manufactured home, which will be demolished as part of the project. Once the new market is built, the old market will be demolished to make room for the required parking lot improvements. One objective of the project is to minimize or eliminate the time the market is closed for relocation.



The Seafood Sales building will include 2,181 sq. ft. of conditioned mercantile area plus associated entry and covered porches. It is the intent of the operations that these porches are for circulation and a place for children to wait while their parents shop the market, no dining is intended. A delivery area behind the building will be screened from view by a wooden privacy fence and house equipment and utilities. The parking lot will be improved as necessary to bring the required parking for the market to the LMO standards to include handicap parking.

Materials for the building include timber pile columns, weathered wood siding, and a 5V galvanized steel roof. The exposed wood and galvanized metal palette reflects the building's maritime surroundings and traditional waterfront construction materials. Galvanized steel is a weathering material, and its surface dulls over time to a matte finish. It is also shaded by the surrounding tree canopy. Both of these factors soften its appearance. The galvanized steel roof is a unifying element of maritime architecture along the Skull Creek. The Rowing and Sailing Center, Hudson's Restaurant, Dockside, Skull Creek Boathouse Restaurant and new Pavilion all have galvanized steel roofs.

The property will lie in an X Zone with no required B.F.E. We've established a floor height of 13'-0" AMSL to comply with the LMO's 11'-0" AMSL design flood requirement.

### Market Operations

Benny Hudson Seafood market receives seafood ready for sale going straight to the service counter and sales floor. The seafood arrives by truck and the dock is not part of the business operations. They use the kitchen for portioning fish fillets and shelling shrimp. The stove is used to make soups and dips which are portioned for retail sale as cash and carry. They do not prepare seafood for wholesale and distribution. Canning, curing, and byproduct processing are not part of the Benny Hudson Seafood business, so the operation is not defined as seafood processing, which would be an industrial use. As a seafood sales business, the market qualifies as an Other Commercial Service use.

### Non-Conformities

The newly relocated market will replace a manufactured home. The manufactured home is an existing non-conformity lying 10 feet inside of the required 20 ft. single-family to single-family adjacent use setback. The manufactured home and associated shed represent a 748 sq. ft. non-conformity which is being alleviated by the new market.

Thank you for your time and consideration reviewing our request. Please contact me if you require any additional information or would like to discuss the request further.

Sincerely,



Joseph A. DePauw, AIA  
PDG|Architects

Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_



### Specifications

**Material:**  
RLM shades are constructed of heavy duty spun aluminum. Wall back plate and ballast housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

**Finish:**  
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

**Glass:**  
Choice of clear, frosted or prismatic glass.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

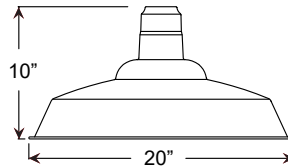
**Electrical:**  
Medium Base Socket, 300w Maximum.

**Certifications:**  
Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.

**Modifications:**  
Consult factory for custom or modified luminaires.



## Exterior Warehouse Light



**Weight:** 2.5 lbs.  
**BUG:** B1-U0-G1

#### Catalog Logic



## W520

## 300w max Incandescent

#### Catalog Number

W520

1

E6

2

N.A.

3

4

### 1 MOUNTING SOURCES

Arm Mounts (Cast back plate included)

- E3 E4 E5 **E6** E7
- E8 E9 E10 E11 E12
- E13 E18 E19 E25

#### Wall Mounts

- WM10
- WM35
- WM55
- WM318

#### Post Mounts

- PM10
- PM20
- PM30
- PM40
- PM50
- PM319

#### Cord Mounts

- BLC (8' black cord with 1" x 5 3/8" canopy)
- WHC (8' white cord with 1" x 5 3/8" canopy)

#### Stem Mounts

- 1/2" (13/16" OD Rigid Stems with STC Flat Canopy)
- 2ST6 2ST12 2ST18 2ST24 2ST36 2ST48
- 2ST60 2ST72 2ST96
- 3/4" (1" OD Rigid Stems with STC Flat Canopy)
- 3ST6 3ST12 3ST18 3ST24 3ST36 3ST48
- 3ST60 3ST72 3ST96

### WARRANTY

See [www.anplighting.com](http://www.anplighting.com) for complete fixture warranty.

### 2 GLASS & GUARD

#### Up to 100w Options

- 100GLCL (Clear Glass)
- 100GLFR (Frosted Glass)
- 100GLPR (Prismatic Glass)
- 100GLCLGUP (Clear Glass & Small Wire Guard)
- 100GLFRGUP (Frosted Glass & Small Wire Guard)
- 100GLPRGUP (Prismatic Glass & Small Wire Guard)
- 100GLCLGUPC (Clear Glass & Cast Guard)
- 100GLFRGUPC (Frosted Glass & Cast Guard)
- 100GLPRGUPC (Prismatic Glass & Cast Guard)

- 100GLGUP (Small Wire Guard with No Glass)
- 100GLGUPC (Cast Guard with No Glass)

AC (Stipple Glass Acorn)

100GLBG (White Ball Glass)

#### Up to 200w Options

- 200GLCL (Clear Glass)
- 200GLFR (Frosted Glass)
- 200GLPR (Prismatic Glass)
- 200GLCLGUP (Clear Glass & Large Wire Guard)
- 200GLFRGUP (Frosted Glass & Large Wire Guard)
- 200GLPRGUP (Prismatic Glass & Large Wire Guard)
- 200GLCLGUPC (Clear Glass & Large Cast Guard)
- 200GLFRGUPC (Frosted Glass & Large Cast Guard)
- 200GLPRGUPC (Prismatic Glass & Large Cast Guard)

200GLGUP (Large Wire Guard with No Glass)

200GLGUPC (Large Cast Guard with No Glass)

### 3 ACCESSORIES

- CBC (Cast back plate Spun Alum Cover)
- GR16 (16" Wire Grill)
- PC (Button Photo Cell) Remote Only
- SC (Scroll for Arms)
- SLC (Sloped Ceiling Mount, 20° Max)
- SQ (Square Back Plate)
- SWL (Swivel)
- TBK (Turnbuckle Kit)

### 4 FINISHES

Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe
12	133	Lilac	13	132	Putty
Premium Grade	Marine Grade		Premium Grade	Marine Grade	
81	129	Extreme Chrome	64	116	Candy Apple Red
80	117	Textured Desert Stone	65	122	Cobalt Blue
67	119	Butterscotch	82	128	Graystone
66	115	Caramel	69	113	Gunmetal Gray
68	126	Black Silver	83	134	Oil Rubbed Bronze

Consult factory for additional paint charges and availability



Project: \_\_\_\_\_

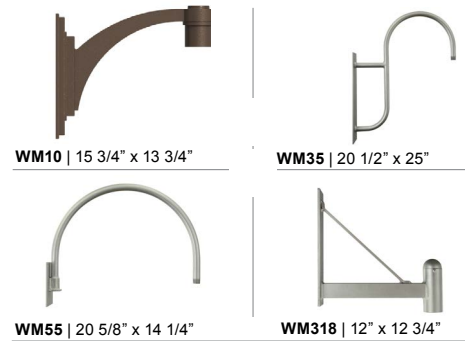
Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_

**ARM MOUNTS** | Dimensions are Projection x Height | CB included with all arms



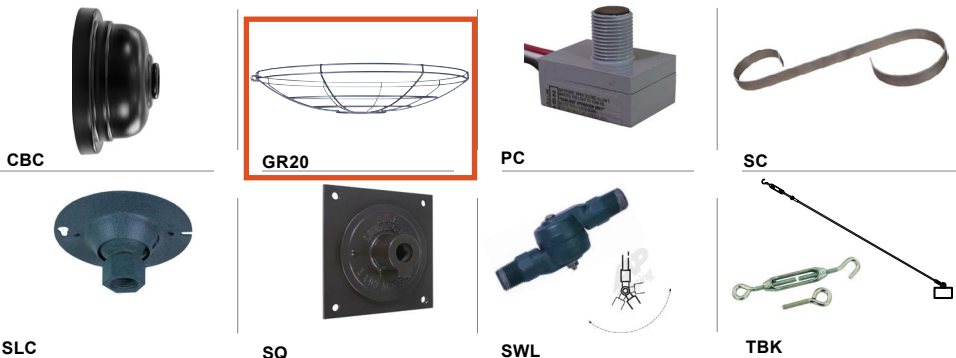
**WALL MOUNTS** | Dimensions are Projection x Height



**POST MOUNTS** | Dimensions are Projection x Height



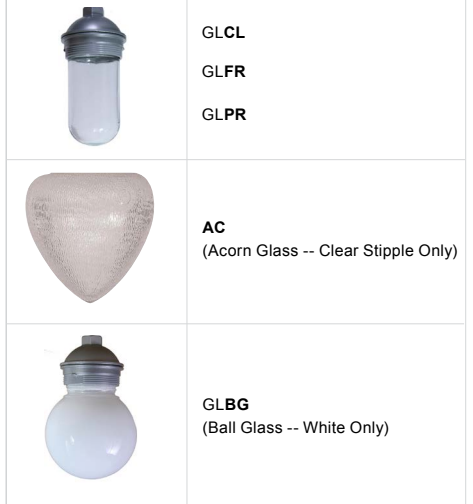
**ACCESSORIES**



**GLASS & GUARDS**

Glass Legend: **CL** = Clear **FR** = Frosted **PR** = Prismatic

**Glass Only**



**Glass with Cast Guard**



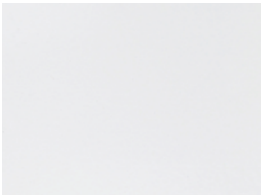
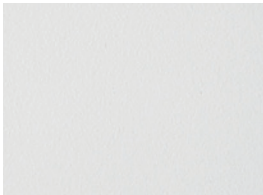

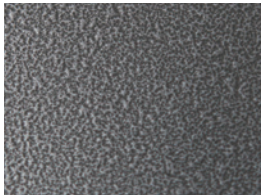

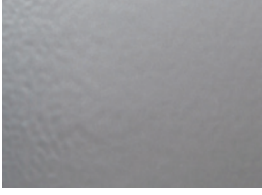


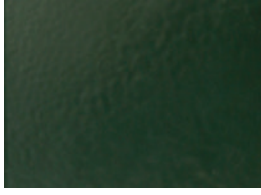

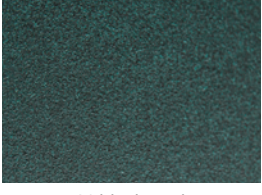
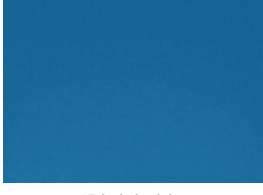
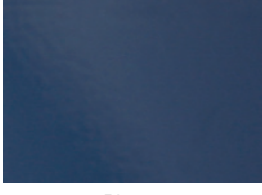
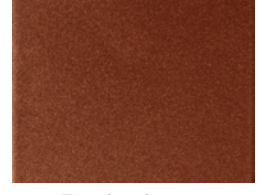
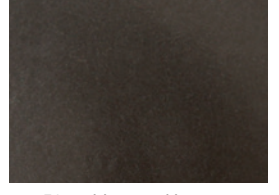
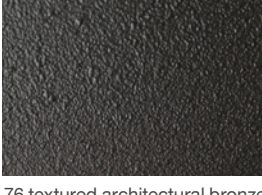
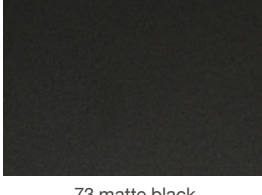
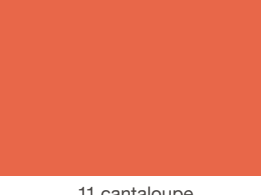
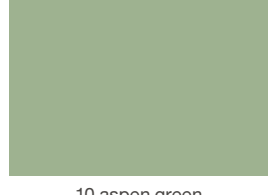
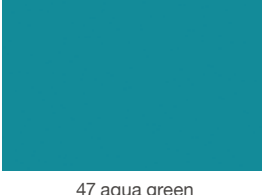


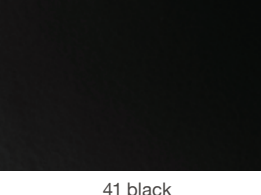
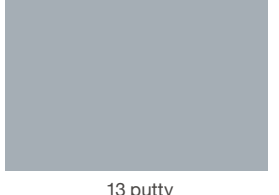
**Glass with Wire Guard**



**Guards Only**



### standard colors

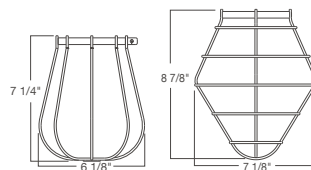
				
44 white 107 marine grade	77 textured white 127 marine grade	56 silver 109 marine grade	78 textured silver 124 marine grade	49 painted galvanized
				
70 painted chrome 118 marine grade	46 sunny yellow 123 marine grade	43 bright red 114 marine grade	42 forest green 102 marine grade	52 patina verde 104 marine grade
				
61 black verde 106 marine grade	45 bright blue 112 marine grade	50 navy 111 marine grade	71 painted copper 105 marine grade	51 architectural bronze 103 marine grade
				
76 textured architectural bronze 121 marine grade	72 textured black 108 marine grade	73 matte black 125 marine grade	11 cantaloupe 131 marine grade	10 aspen green 130 marine grade
				
47 aqua green 120 marine grade	12 lilac 133 marine grade	53 copper clay 100 marine grade	41 black 101 marine grade	13 putty 132 marine grade

### premium designer color



81 extreme chrome  
129 marine grade

### accessories



wire lamp guards  
GUP120 | GUP110

optional color cords — Visit [ANPlighting.com/content/r/m-metal-shade-lighting/all-accessories-2/color-cords](http://ANPlighting.com/content/r/m-metal-shade-lighting/all-accessories-2/color-cords) for more details.

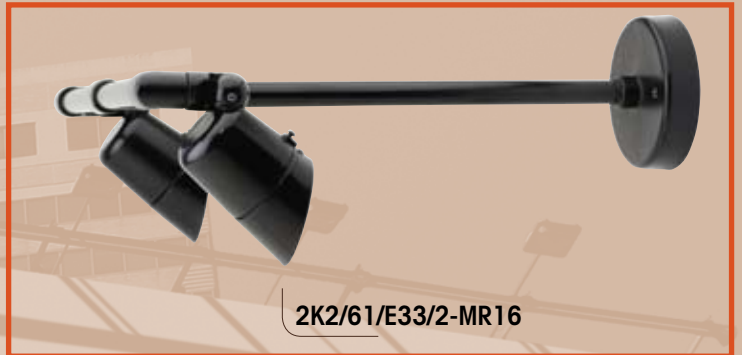


# SIGN LIGHTS



K2/61/E32/MR16

Front Sign Light



2K2/61/E33/2-MR16

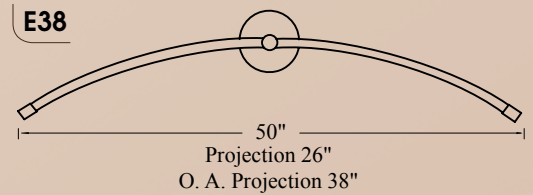
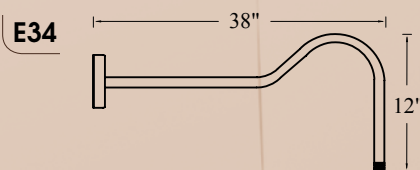
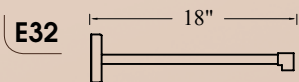
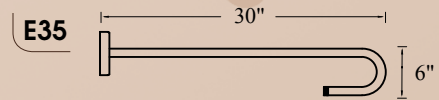
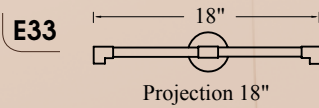
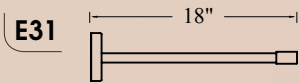
Color to be 49 Galvanized



K1/41/E31/MR16



2K1/74/E38/2-MR16



Model #	Color	Mounting Source	Light Source
K1	40,41,42,43,44,45,46,48,	E31,E32,E33,34,	MR16-50W
K2	49,50,51,52,53,54,55,57, 58,59,60,61,62,63	E35,E36,E37,E38	
K3			26, 32 or 42WCF
K4			26, 32 or 42WCF 70, 100 or 175WMH

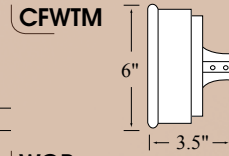


# BALLASTS

## Weathertight CF Wall Mount

- Designed for outdoor use or wet locations
- Allows starting operation down to 20° C

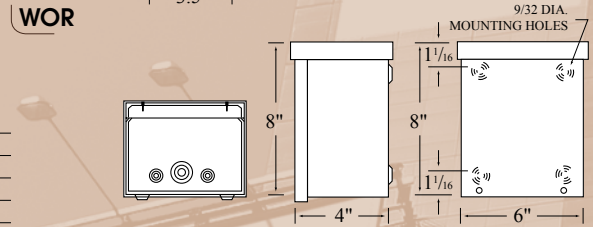
Catalog #	Lamp	Distance to Lamp
CFWTM	26W, 32W or 42W PLT	15'



## Weathertight Outdoor Remote Ballast - HID

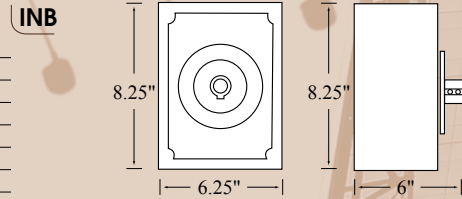
- Dual Voltage
- High Power Factor
- Minimum distance between ballasts are 12"
- Powdercoat Finish
- KO's are for 1/2" fittings

Catalog #	Lamp	ANSI#	Distance to Lamp	Starting Temp.
WOR/50HPS 120/277	50WHPS	S68	35'	-40°F or -40°C
WOR/70HPS 120/277	70WHPS	S62	35'	-40°F or -40°C
WOR/100HPS 120/277	100WHPS	S54	35'	-40°F or -40°C
WOR/50MH 120/277	50WMH	M110	15'	-20°F or -30°C
WOR/70MH 120/277	70WMH	M98	15'	-20°F or -30°C
WOR/100MH 120/277	100WMH	M90	20'	-20°F or -30°C
WOR/150MH 120/277	150WMH	M102	10'	-20°F or -30°C



## Integral Ballasts - HID

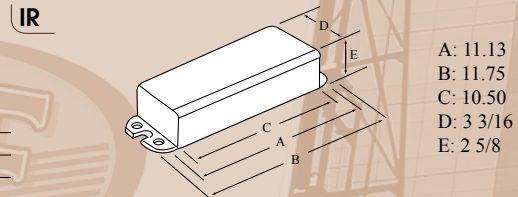
Catalog #	Lamp	ANSI#	Distance to Lamp	Starting Temp.
INB/50HPS 120/277	50WHPS	S68	35'	-40°F or -40°C
INB/70HPS 120/277	70WHPS	S62	35'	-40°F or -40°C
INB/100HPS 120/277	100WHPS	S54	35'	-40°F or -40°C
INB/50MH 120/277	50WMH	M110	15'	-20°F or -30°C
INB/70MH 120/277	70WMH	M98	15'	-20°F or -30°C
INB/100MH 120/277	100WMH	M90	20'	-20°F or -30°C
INB/150MH 120/277	150WMH	M102	10'	-20°F or -30°C



## Indoor Remote Ballast/F-Can

- Dual Voltage
- Automatic resetting thermal protector
- Supplied with splice box
- Potted for minimal ballast noise
- High Power Factor

Catalog #	Lamp	ANSI#	Distance to Lamp	Starting Temp.
IR/50HPS 120/277	50WHPS	S68	15'	-40°F or -40°C
IR/70HPS 120/277	70WHPS	S62	7'	-40°F or -40°C
IR/100HPS 120/277	100WHPS	S54	15'	-40°F or -40°C
IR/50MH 120/277	50WMH	M110	10'	-20°F or -30°C
IR/70MH 120/277	70WMH	M98	20'	-20°F or -30°C
IR/100MH 120/277	100WMH	M90	15'	-20°F or -30°C
IR/150MH 120/277	150WMH	M102	10'	-20°F or -30°C



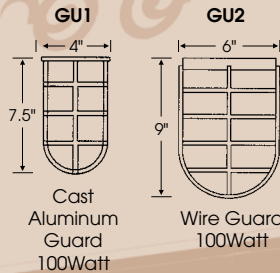
# ACCESSORIES

## Wire Grills

Catalog #	Description
GR7	7" Wire Grill
GR8	8" Wire Grill
GR10	10" Wire Grill
GR12	12" Wire Grill
GR14	14" Wire Grill
GR18	18" Wire Grill



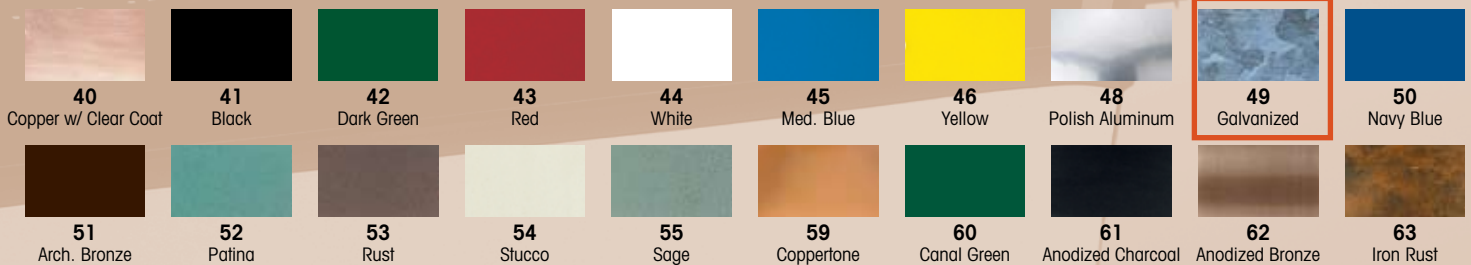
## Guards



## Glass Options

Catalog #	Description	Catalog #	Description
CL3	3" Clear	PR3	3" Prismatic
CL4	4" Clear	PR4	4" Prismatic
FR3	3" Frosted	BL3	3" Blue
FR4	4" Frosted	BL4	4" Blue
RE3	3" Red	GR3	3" Green
RE4	4" Red	GR4	4" Green
AH3	3" Amber Hyde		
AH4	4" Amber Hyde		

# FINISHES



Tel: (909) 444-2776 ■ Fax: (877) 999-1955

Toll Free: (877) 999-1990

Website: [www.baselite.com](http://www.baselite.com)

E-mail: [sales@baselite.com](mailto:sales@baselite.com)



# 100 ft Black Commercial Medium Suspended Socket String Light & LED S14 Vintage Warm White Bulbs

★ ★ ★ ★ ★ (No reviews yet)

[Write a Review](#)

SKU: KMS100BKLEDS4S14

**\$279.95**

CURRENT STOCK: 12

QUANTITY:

Quantity selector showing 1 unit.

**ADD TO CART**

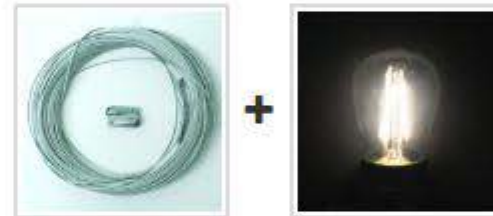
**ADD TO WISH LIST**



## String Lights @ Porch



### FREQUENTLY BOUGHT TOGETHER:



**SELECT ALL** **ADD SELECTED TO CART**

- Galvanized Steel Cable Guide Wire - 110 ft **\$42.95**
- LED S14 Vintage Bulbs- Warm White **\$3.00**

DESCRIPTION

PRODUCT SPECS

0 REVIEWS

LED commercial string lights with a vintage look. The popular S14 sign bulb has an Edison-style look but maintains the energy efficiency of LED. Suspended socket string lights are the most classic cafe look, but this outdoor string light set creates an upscale look. Weatherproof sockets and commercial grade cord, help this string lighting to stay up year round and last longer.

- Comes with 50 of the LED S14 vintage bulbs which are rated at 2 watts with a [medium/E27 base](#).
- Clear glass with LED Edison style filaments
- Bulb color temperature: 2700K. Warm white is similar to regular incandescent bulbs.
- Bulb size: 2" wide and 3.75" high (4.75" high with base).
- Average bulb life: 25,000 hours.
- Medium base is 1" wide.
- **Bulbs are dimmable.**
- 24" spacing between sockets. **50 sockets per cord.** Total length is 108 feet which includes 100 foot cord plus 8 feet of lead cord (lead cord is the amount of plain cord from the plug to where the first socket starts).
- The sockets have suspenders which hang 4" from the cord (to the bottom of the socket). With bulbs, they hang down about 7".
- If one bulb burns out, the rest stay lit.
- These strands CAN NOT be plugged end-to-end. There is a standard plug on one end and the other end is capped off after last socket.
- Manufactured with 14-gauge wire and high-quality sockets.
- PVC socket forms a tight weatherproof seal around the bulb.
- For indoor or outdoor use and typically permanent installation.
- Assembly required. Bulbs will need to be screwed in.





Porch Ceiling Fans

Image File Name: F582L-GL.jpg

Item # <b>F582L-GL</b>	UPC Code: <b>706411064975</b>
Product Family Name: <b>Rainman™</b>	Finish: <b>Galvanized</b>
Category: <b>EXTERIOR FAN</b>	Category Type: <b>Ceiling Fan</b>
Certification <b>E75795</b>	
Patents:	
Notes:	

## MEASUREMENTS

Blade Finish:	Reversible Blades: <b>No</b>			
Blade Material: <b>ABS</b>	Slope: <b>Yes</b>			
Blade Sweep: <b>54"</b>	No. of Blades: <b>5</b>	Blade Pitch: <b>13.5</b>	Hanging Weight: <b>27.65</b>	
Downrod 1: <b>6</b>	Downrod 1 Outside Dia: <b>.75</b>	Downrod 2: <b>6</b>	Downrod 2 Outside Dia:	
Ceiling to Lowest Point: (Dim A) <b>23.75</b>	Ceiling to Blade (Dim B) <b>12.25</b>	Lead Wire: <b>80</b>	Motor Size: <b>172 x 20 mm</b>	
<b>RPM:</b>	Low <b>70</b>	Low/Med.	Medium	Med/High <b>155</b>
<b>Amps:</b>	<b>0.244</b>			<b>0.485</b>
<b>Watts:</b>	<b>15.29</b>			<b>57.16</b>
<b>CFM:</b>	<b>1988.0</b>			<b>4824.0</b>
<b>CFM/Watts:</b>	<b>130.02</b>			<b>84.39</b>

## LAMPING

No. of Bulbs: <b>1</b>	Light Type: <b>A19 LED BULB FROST</b>	Light Kit Optional: <b>No</b>		
Max Bulb Wattage: <b>9</b>	Socket: <b>E26, MEDIUM</b>			
Integrated Light Kit: <b>Yes</b>	Dimmable: <b>Yes</b>	Ballast:	Rated Life Hours: <b>15000</b>	Uplight: <b>No</b>
Bulb/LED Included: <b>Yes</b>	Color Temp.: <b>3000</b>	CRI: <b>91</b>	Initial Lumens: <b>810.0</b>	Delivered Lumens: <b>533.7</b>

## GLASS

Description:	Material: <b>GLASS</b>
Part No.:	Quantity: <b>1</b>
Width: <b>5.5</b>	Height: <b>8.5</b>
	Length: <b>5.5</b>



## CONTROLS

Pull Chain Control: <b>No</b>	Works with Remote Control: <b>Yes</b>	Works with Wall Control: <b>Yes</b>
Reversible: <b>No</b>	Included Remote Control: <b>WCS213</b>	Included Wall Control: <b>WCS213</b>
Smart Control: <b>No</b>	Compatible Remote Control(s): <b>RCS213</b>	Compatible Wall Control(s):
Integrated Smart Control:		Compatible Smart Control: <b>BD-1000</b>



## SHIPPING

Carton Width: <b>20.25</b>	Carton Height: <b>15.0</b>	Carton Length: <b>20.0</b>
Carton Weight: <b>32.78</b>	Carton Cubic Feet: <b>3.516</b>	Small Package Shippable: <b>Yes</b>
Master Pack Width:	Master Pack Height:	Master Pack Length:
Master Pack Weight:	Master Cubic Feet:	Multi-Pack: <b>1</b>
		Master Pack: <b>1</b>

**LED**



**Wet Location**



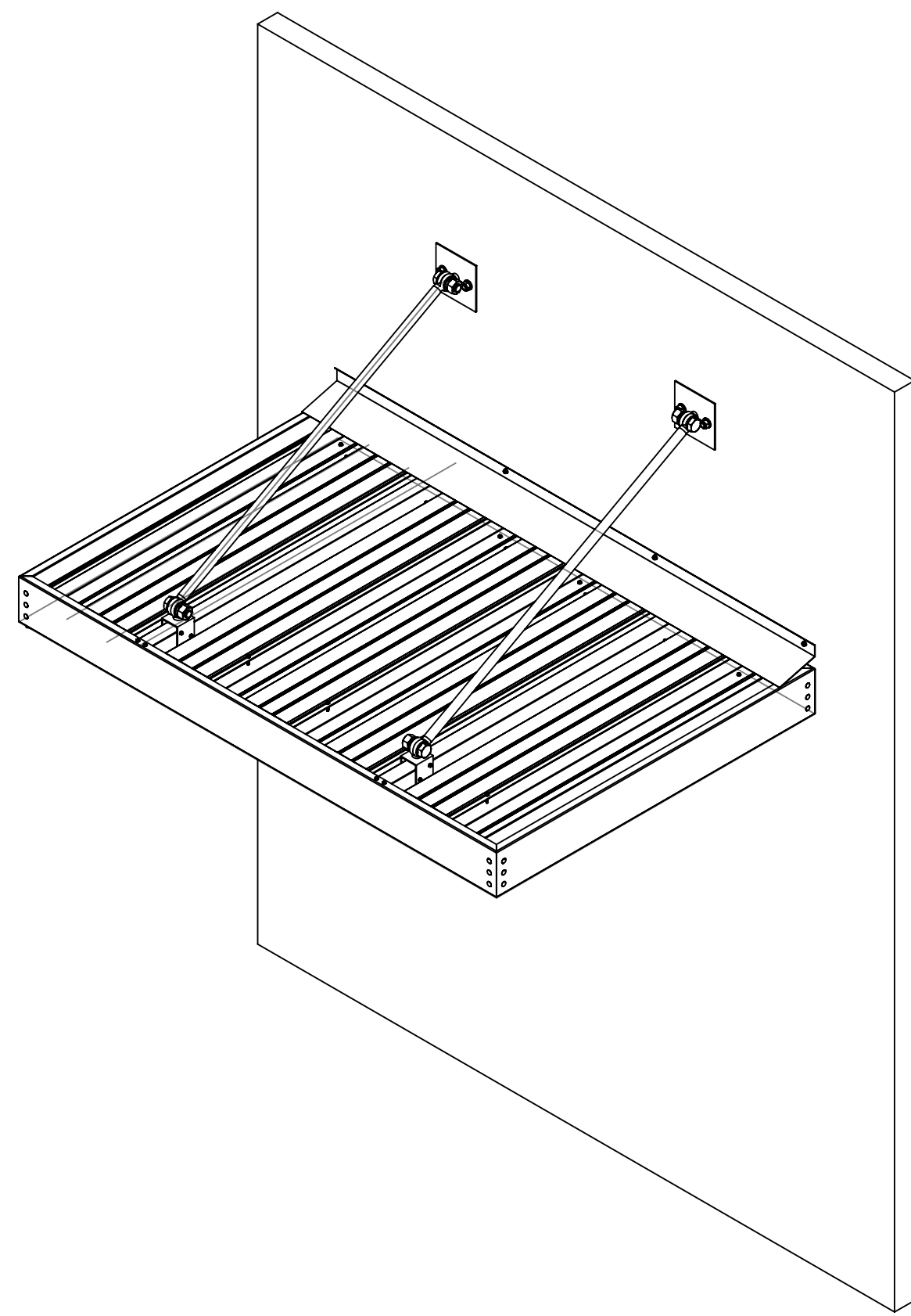
**UL Listed**



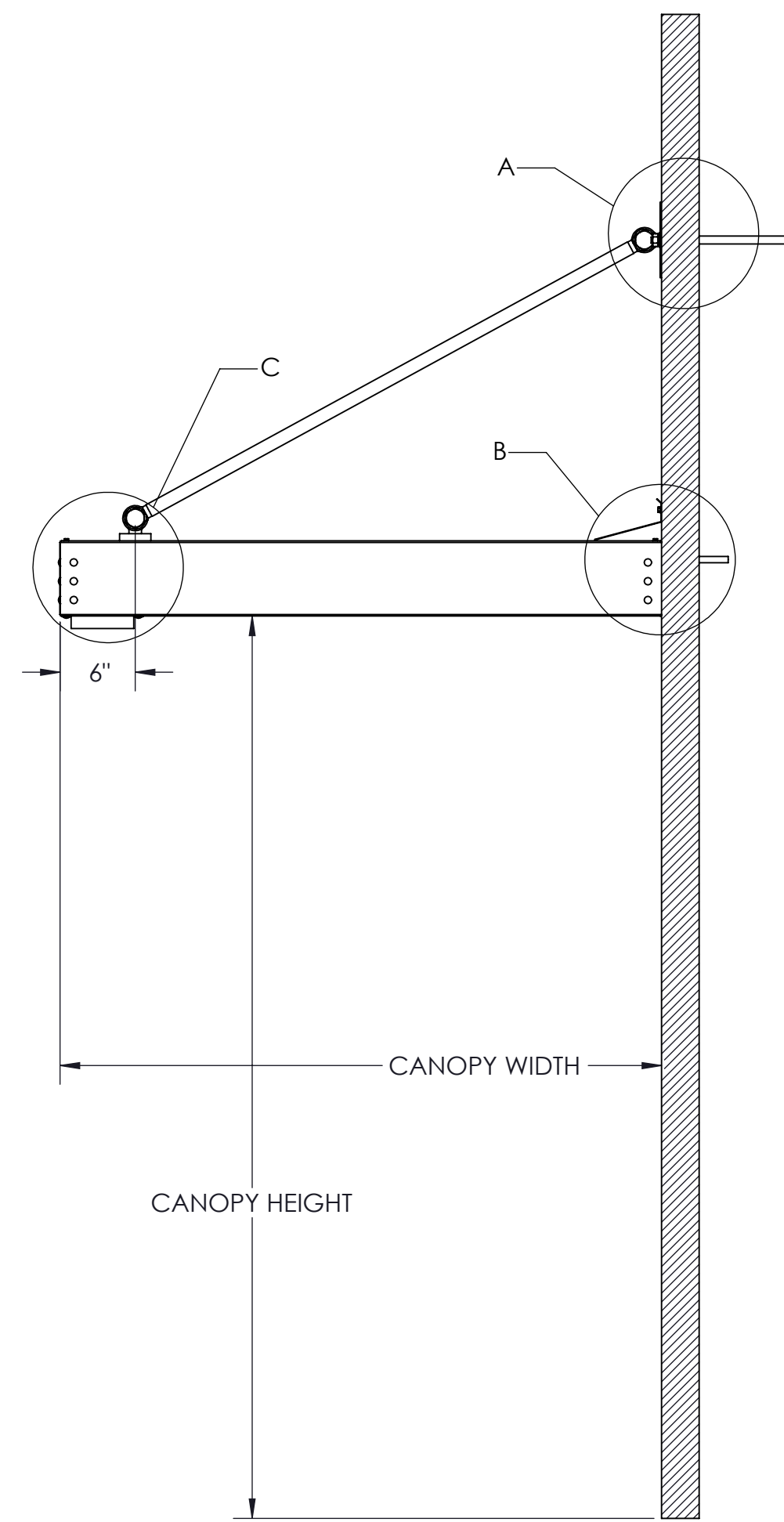
**WARNING:** Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: [www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov).

For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.





## ISOMETRIC VIEW OF CANOPY



## SECTION VIEW OF CANOPY

**SPECIFICATIONS**  
Section 107312 - Overhead Supported Canopy-Round Rod

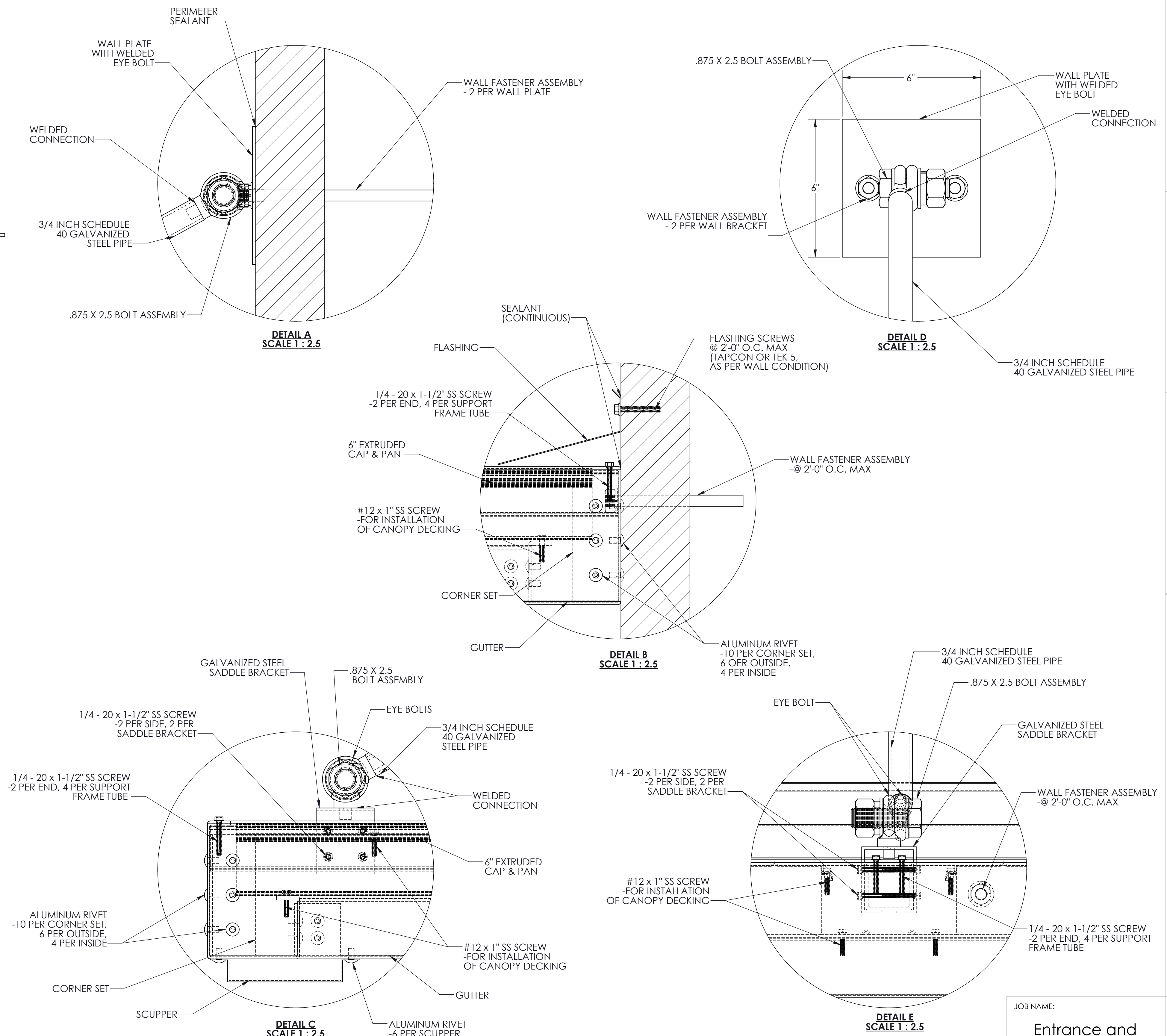
**1.01 General Description of Work:**  
A. Work in this section shall include design and fabrication of pre-engineered aluminum canopies.  
B. Canopies are to be fabricated and installed according to approved shop drawings.

**1.02 Design Criteria:**  
A. International Building Code 2015  
B. ASCE 7-10  
C. Aluminum Design Manual 2015  
D. Local governing codes and standards for site location

**1.03 Materials:**  
A. All materials shall be extruded from aluminum unless indicated otherwise on the drawing.  
B. Material sizes shall meet or exceed the design criteria on 1.02

**1.04 Finishes:**  
A. Factory applied baked enamel to comply with AAMA 2603  
B. Color selected from manufacturers standard colors

**1.05 Manufacturers:**  
A. Mitchell Metals, LLC - www.mitchellmetals.net - 770-431-7300  
B. Dittmer - www.dittdeck.com - 407-699-1755  
C. See Specifications 2.1-C for conditions of equivalent systems by other manufacturers.



NOTES:  
• ALL FASTENERS TO BE 300 SERIES STAINLESS STEEL OR ALUMINUM

JOB NAME:  
**Entrance and Overhead Supported Canopies**

TITLE:  
**Overhead Supported Canopy-Round Rod**

REVISION # :  
DATE: 8/17/2017 SHEET 1 OF 1



Bone White  
2C - (391X035)  
3C - (SL1A002)



Colonial White  
2C - (391A500)  
3C - (SL1A1013)



Sandstone  
2C - (393X321)  
3C - (SL3A102)



Buckskin  
2C - (393B371)  
3C - (SL3A1392)



Berridge Champagne  
2C - (399C860)  
3C - (SL9A9991)



Driftwood  
2C - (399C9411)  
3C - (SL9A4170)



Medium Bronze  
2C - (399C7011)  
3C - (SL9A9992)



Dark Bronze  
2C - (397A509)  
3C - (SL7A042)



Bright Silver  
2C - (399X440)  
3C - (SL9A487)



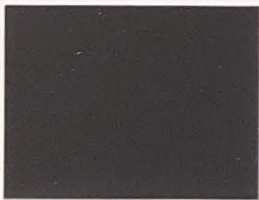
Pewter  
2C - (399B026)  
3C - (SL9A452)



Dove Gray  
2C - (392X365)  
3C - (SL2A069)



Charcoal  
2C - (392F232)  
3C - (SL2A1081)



Caviar  
2C - (398A128)  
3C - (SL8A1032)



Black  
2C - (398F019)  
3C - (SL8A001)



Terra Cotta  
2C - (399B026)  
3C - (SL4A1558)



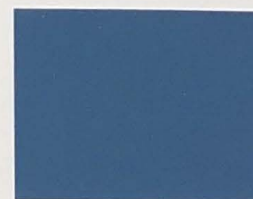
Colonial Red  
2C - (394F170)  
3C - (SL4A1168)



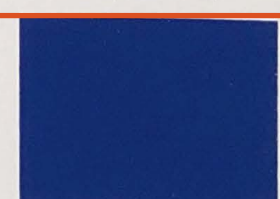
Patina Green  
2C - (395B899)  
3C - (SL5A2968)



Evergreen  
2C - (395C604)  
3C - (SL5A229)



Stormy Sea  
2C - (396B992)  
3C - (SL6A1221)



Honorable Blue  
2C - (396B5851)  
3C - (SL6A1096)

1761 McCoba Drive, Smyrna, GA 30080

Phone: (770) 431-7300 Fax: (770) 431-7305

[www.mitchellmetals.net](http://www.mitchellmetals.net)

These color samples are as close as possible to actual colors offered, within the limits of color chip reproduction.





EXISTING DUMPSTER ENCLOSURE TO REMAIN





EXISTING HOUSE DRIVEWAY TO REMAIN

Existing Conditions

**BENNY HUDSON SEAFOOD  
LOCAL SEAFOOD MARKETPLACE**

Hilton Head Island, SC  
5/24/2021

**pdg** ARCHITECTS  
parkerdesigngrouparchitects  
843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928





ROWING & SAILING CENTER (GALVANIZED ROOF APPROVED IN 2013)





HUDSON'S RESTAURANT (GALVANIZED ROOF)





I HUDSON RD. - CARPORT ADJ. TO HUDSON'S (GALVANIZED ROOF)





DOCKSIDE RESTAURANT (GALVANIZED ROOF APPROVED IN 2017)

**Neighboring Uses & Architectural Styles**  
**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKETPLACE**

Hilton Head Island, SC  
5/25/2021

**pdg** ARCHITECTS  
parkerdesigngrouparchitects  
843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29938





SKULL CREEK BOATHOUSE PAVILION (GALVALUME PLUS ROOF APPROVED IN 2019)





SKULL CREEK BOATHOUSE RESTAURANT (GALVANIZED ROOF)

Neighboring Uses & Architectural Styles  
**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKETPLACE**

Hilton Head Island, SC  
5/25/2021

**pdg** ARCHITECTS  
parkerdesigngrouparchitects  
843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928





SKB RESTAURANT & DOCKSIDE'S BAR (GALVANIZED ROOFS)





EXISTING BENNY HUDSON SEAFOOD MARKET (TO BE DEMOLISHED)





EXISTING MANUFACTURED HOME (TO BE DEMOLISHED)





EXISTING MANUFACTURED HOME (TO BE DEMOLISHED)





EXISTING DOCK (PROCESSING BUILDING TO BE DEMOLISHED)





SITE APPROACH





177 SQUIRE POPE (ON PROPERTY)





177 SQUIRE POPE (ON PROPERTY)





MARINE TECH BUILDING (ON PROPERTY)





**MARINE TECH BUILDING & NEIGHBORING PROPERTY**





167 SQUIRE POPE (NEIGHBOR TO LEFT)





191 SQUIRE POPE (NEIGHBOR TO RIGHT)





195 SQUIRE POPE RD.

**Neighboring Uses & Architectural Styles**  
**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKETPLACE**

Hilton Head Island, SC  
5/25/2021





150 SQUIRE POPE RD.





164 SQUIRE POPE RD.





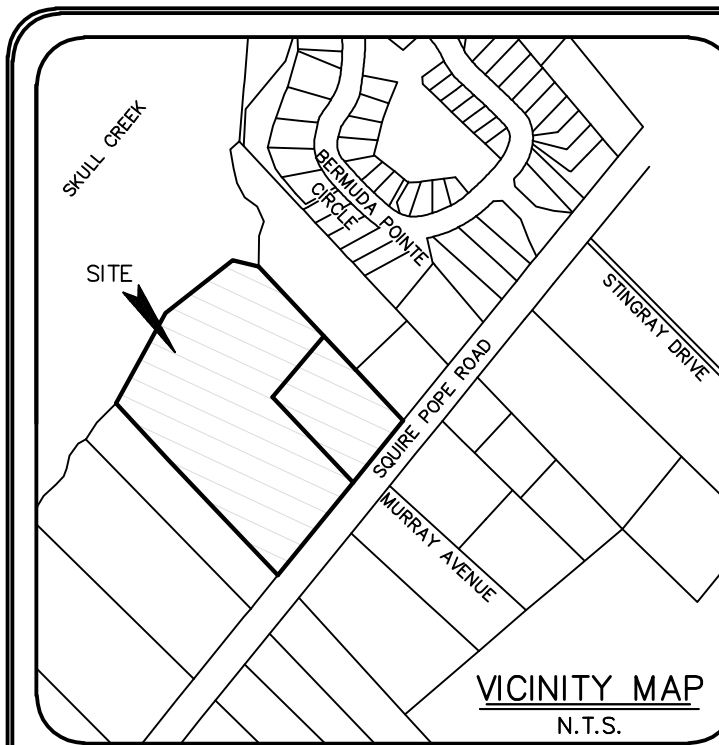
2 MURRAY AVE.



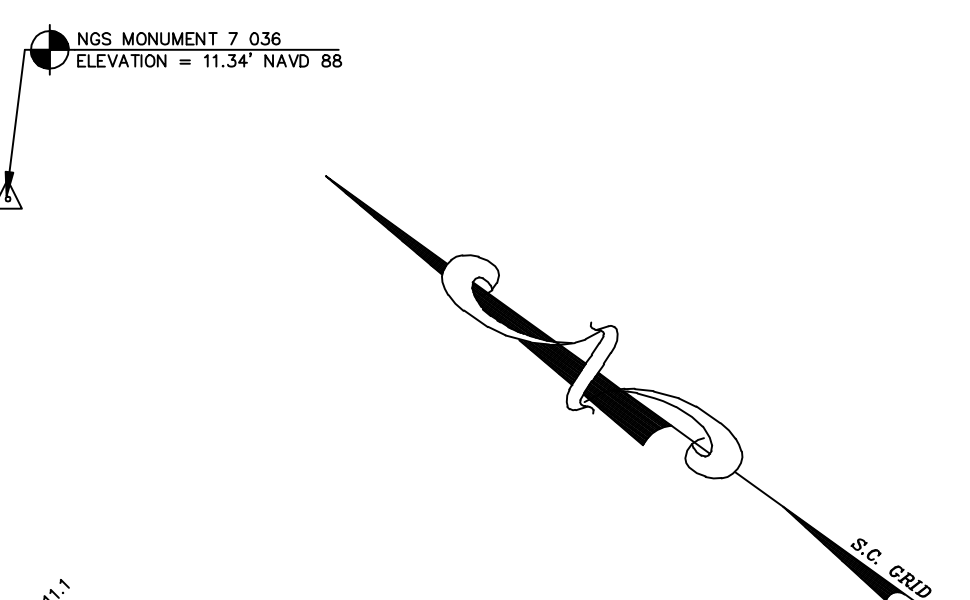
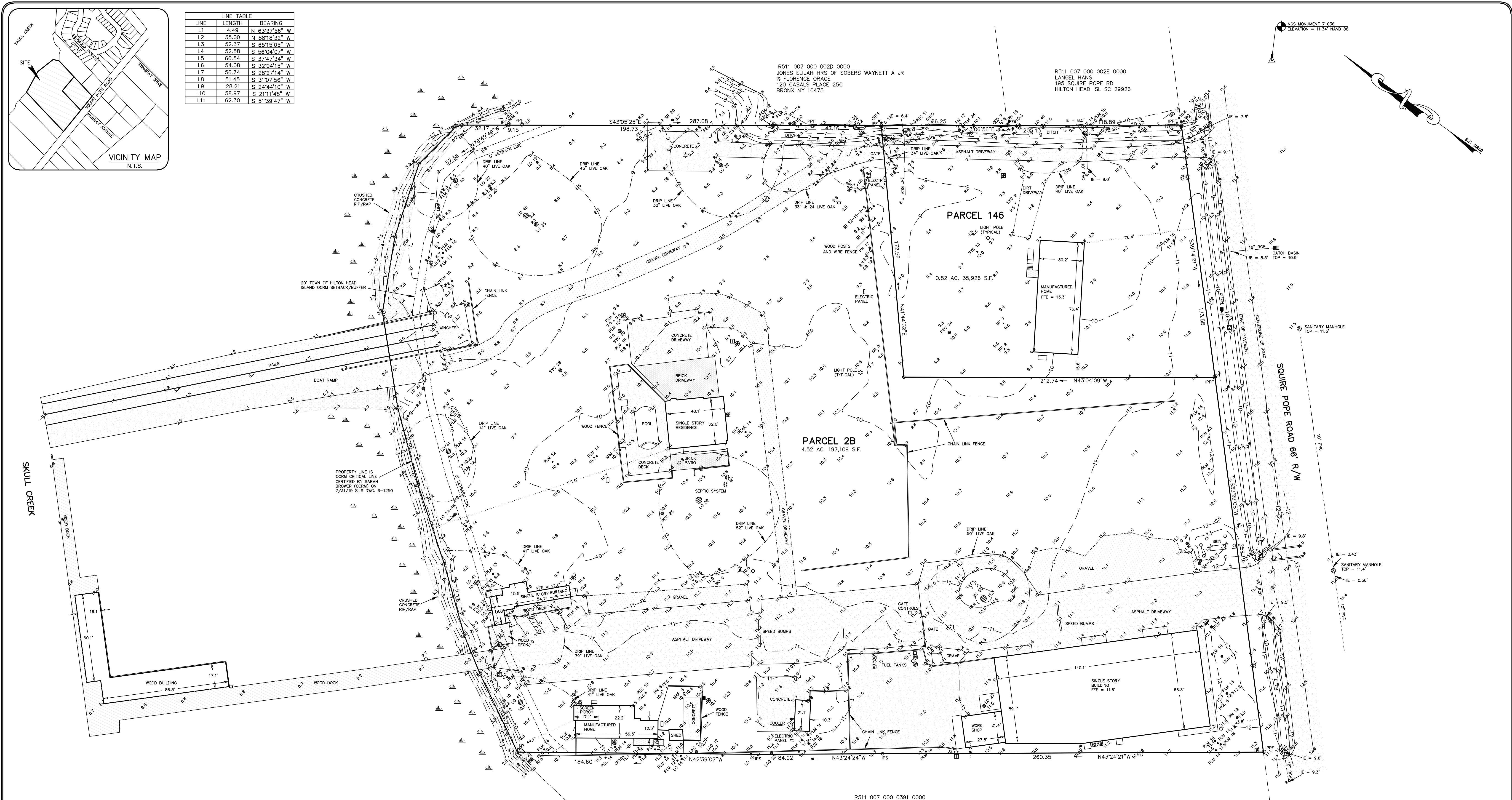


196 SQUIRE POPE RD.





LINE	LENGTH	BEARING
L1	4.49	N 63°37'56" W
L2	35.00	N 88°18'32" W
L3	52.37	S 63°15'05" W
L4	52.58	S 56°04'07" W
L5	66.54	S 37°47'34" W
L6	54.08	S 32°04'15" W
L7	56.74	S 28°27'14" W
L8	51.45	S 31°07'56" W
L9	28.21	S 24°44'10" W
L10	58.97	S 21°11'48" W
L11	62.30	S 51°39'47" W



SKULL CREEK

SQUIRE POPE ROAD 66' R/W

**REFERENCE PLAT**  
 1) A BOUNDARY SURVEY OF PARCELS A, B & C, COTTON HOPE PLANTATION, SQUIRE POPE ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 12/06/01 RECORDED IN BOOK 87, PAGE 10, DATED 5/15/02 ROD. BEAUFORT COUNTY, SC BY: WILLIAM S. SANDERS S.C.R.L.S. # 16122

**PROPERTY AREA = 5.34 AC. 233,035 S.F.**  
**ADDRESS: 175 & 191 SQUIRE POPE ROAD**  
**DISTRICT: 511, MAP: 7, PARCELS: 2B & 146**

**THIS PROPERTY LIES IN F.E.M.A. ZONE X**  
**BASE FLOOD ELEVATION = NO MINIMUM ELEVATION**  
**COMMUNITY NO. 450250, PANEL 0432G, DATED: 3/23/21**

- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - 4) HORIZONTAL DATUM IS LOCAL.
  - 5) VERTICAL DATUM IS NAVD 88.
  - 6) CONTOUR INTERVAL IS 1'.
  - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

**LEGEND & SYMBOLS:**  
 TREE SIZES ARE INCHES IN DIAMETER

LO	LIVE OAK	LAO	LAUREL OAK
MAP	MAPLE	SYC	SYCAMORE
PN	PINE	FLM	FLEMING
WO	WATER OAK	SB	SUGAR BERRY
MIM	MIMOSA	CEJ	CEDAR
PEAR	PEAR	GUM	GUM
BRP	BRADFORD PEAR	HOL	HOLLY
PEC	PECAN	FHY	FIRE HYDRANT
UPO	UTILITY POLE	GUY	GUY
SIG	SIGN	LGP	LIGHT POLE
CB	CATCH BASIN		

R511 007 000 0391 0000  
 WILLIAMS JOSEPH HELEN C/O THELMA WILLIAMS  
 163 SQUIRE POPE RD  
 HILTON HEAD SC 29926

**ASBLUT, TREE AND TOPOGRAPHIC SURVEY OF:**  
**PARCELS 2B & 146, COTTON HOPE PLANTATION,**  
**SQUIRE POPE ROAD, HILTON HEAD ISLAND,**  
**BEAUFORT COUNTY, SOUTH CAROLINA**  
**PREPARED FOR: BRENDAN REILLEY**

**DATE: 10/16/19** **SCALE: 1" = 30'**  
**REVISED: 2/10/2021**

**SILS Sea Island Land Survey, LLC.**  
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
 Tel (843) 681-3248  
 Fax (843) 689-3871  
 E-mail: sils@sprynet.com

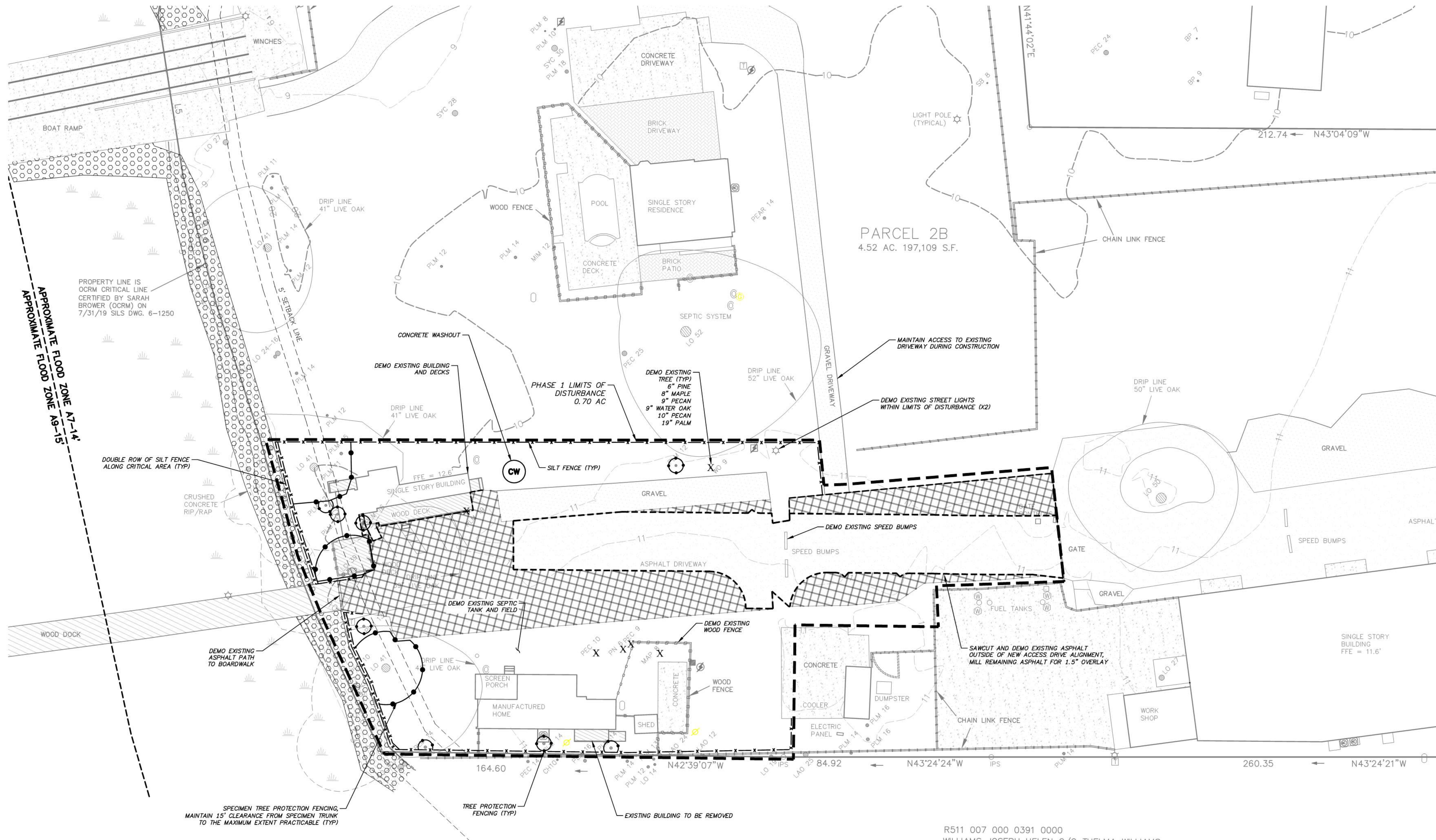
**FILE NO: 19136/5** **DWG NO.: 6-1262 88 DATUM E**

REVISION 2/10/2021: CHANGED THE DRAWING DATUM TO NAVD 88.

THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY MARK R. RENEW S.C.R.L.S. # 25437 THIS ELECTRONIC MEDIA SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT. A CERTIFIED HARDCOPY MAY BE OBTAINED FROM SEA ISLAND LAND SURVEY UPON REQUEST

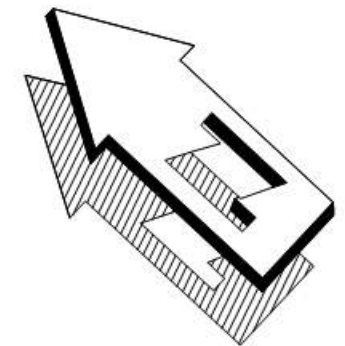
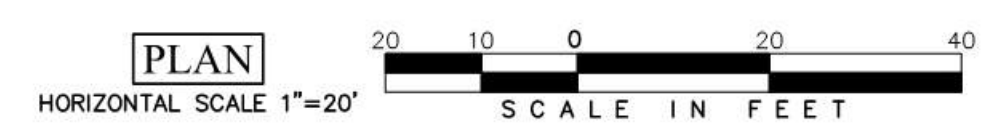






**DEMOLITION NOTES**

1. THE CONTRACTOR SHALL CALL IN LOCATES OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
2. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL PERIMETER SILT FENCE AND INLET PROTECTION IN ACCORDANCE WITH THE EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN.
3. BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE ALLOW TWO FULL BUSINESS DAYS FOR THE PRE CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.
4. THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES FOR ALL DEMOLISHED AREAS BY WATER TRUCK OR OTHER SUFFICIENT MEASURES.
5. ALL MATERIALS GENERATED FROM DEMOLITION OF THE EXISTING SITE FEATURES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL STATE & LOCAL GUIDELINES.
6. NO MATERIALS SHALL BE BURIED ON SITE.
7. THE CONTRACTOR SHALL CONTACT ANY UTILITY PROVIDER WHOSE SERVICE MAY BE AFFECTED BY THE PROPOSED WORK PRIOR TO WORK ON THESE UTILITIES.
8. NO WORK SHALL BE COMPLETED IN SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT.
9. ALL NEWLY GRADED AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE SHALL BE STABILIZED USING TEMPORARY SEEDING WITHIN 14 DAYS OF THE END OF DISTURBANCE.
10. ALL BMP'S SHALL BE INSPECTED DAILY AND REPAIRED AS NECESSARY.
11. THE CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF PAVING OPERATIONS.
12. ANY AREAS OF EROSION THAT OCCUR PRIOR TO FINAL STABILIZATION SHALL BE REPAIRED BY THE CONTRACTOR.
13. THE CONTRACTOR SHALL ENSURE FINAL STABILIZATION BY SEEDING ALL DISTURBED AREAS BY PERMANENT GRASSES AND PLANTING IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
14. ONCE GRASSING HAS A 70% DENSITY OF THE ENTIRE COVERAGE AREA, THE EROSION CONTROL BMP'S CAN BE REMOVED.
15. CONTRACTOR SHALL GRIND AND REMOVE ANY EXISTING TREE STUMPS THAT REMAIN ON SITE.
16. CONTRACTOR TO SELECTIVELY UNDERBRUSH A +/-10 FOOT WIDE AREA OFF PROPOSED HOME.



R511 007 000 0391 0000  
 WILLIAMS JOSEPH HELEN C/O THELMA WILLIAMS  
 163 SQUIRE POPE RD  
 HILTON HEAD SC 29926

PRELIMINARY  
 NOT FOR CONSTRUCTION

REV #	DATE	DESCRIPTION

**BENNY HUDSON SEAFOOD  
 MARKET PHASE 1  
 DEMOLITION & SWPP PLAN**

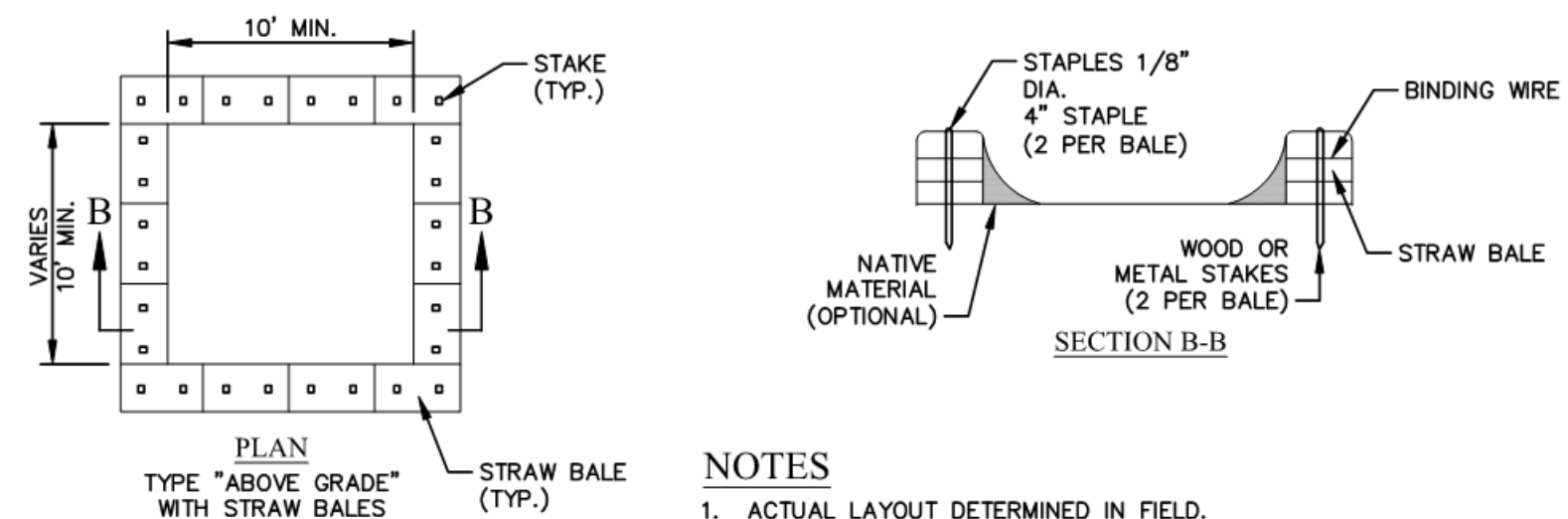
DRAWN BY:	NLS
CHECKED BY:	MER
APPROVED BY:	MER
DATE:	5/25/2021
SCALE:	1" = 20'
JOB No.	2021-0045
DRAWING No.	C3.0



G:\AAA-ACTIVE\_JOBS\2021-0045\_BENNY HUDSON SEAFOOD MARKET PHASE 1\AA - DRAWINGS\CIVIL\2021-0045\_OV.DWG 5/24/2021 12:44 PM

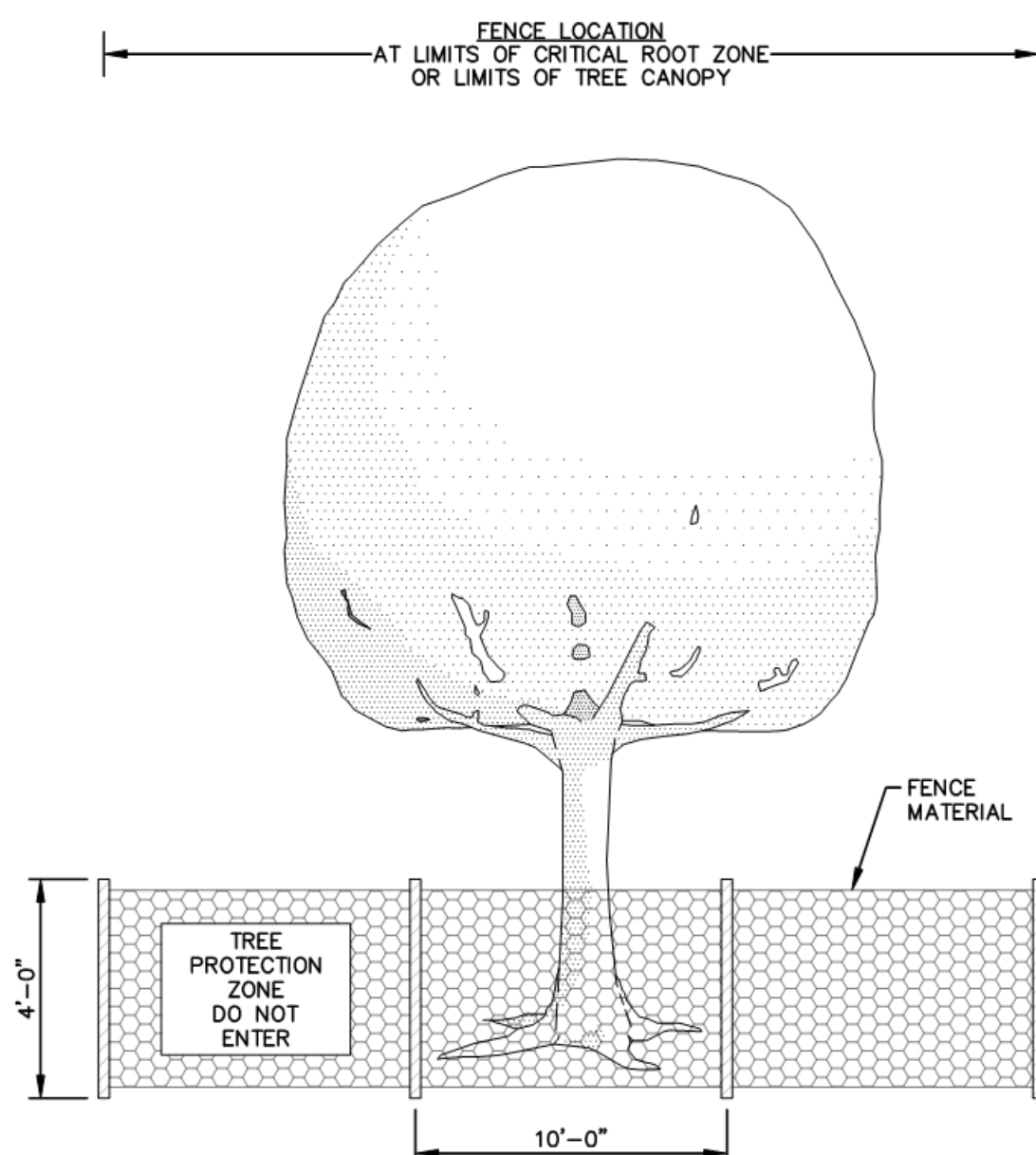


**STRAW BALE BARRIER CONCRETE WASHOUT**



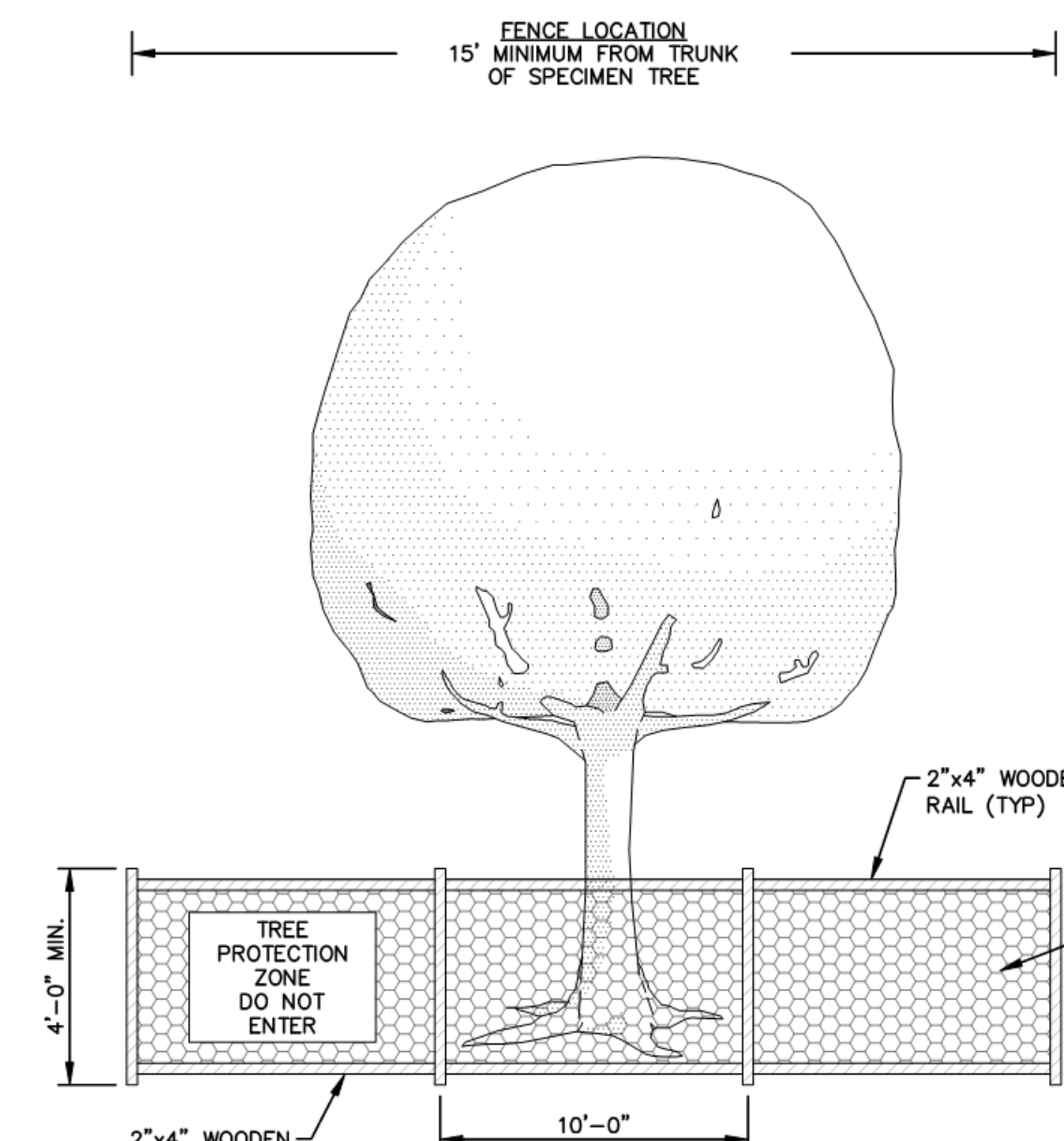
- NOTES**
1. ACTUAL LAYOUT DETERMINED IN FIELD.
  2. INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
  4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
  5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
  6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
  7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

**CONCRETE WASHOUT  
STRAW BALES OR ABOVE GROUND**  
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH  
STANDARD DRAWING NO. RC-07 [PAGE 1]  
N.T.S.



**TREE PROTECTION FENCE DETAIL**  
N.T.S.

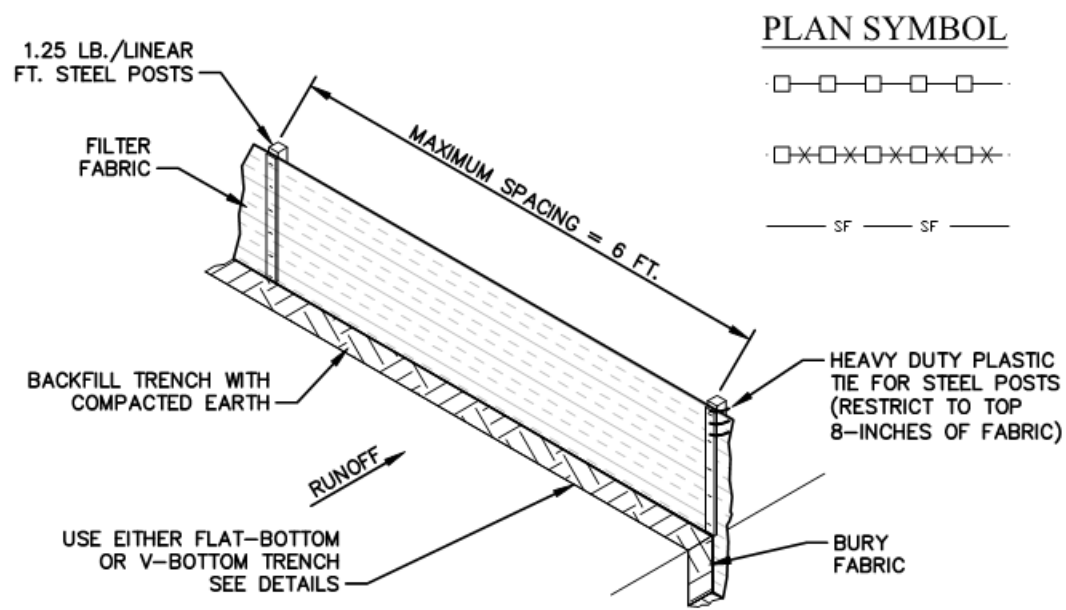
- NOTES:**
1. INSTALL TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN WITHIN 25' OF ANY PROPOSED GRADING, CONSTRUCTION, OR TREE REMOVALS.
  2. TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING PURSUANT WITH TOWN OF HILTON HEAD LMO SEC. 16-6-104.J.3.b. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."



**SPECIMEN TREE PROTECTION FENCE DETAIL**  
N.T.S.

- NOTES:**
1. INSTALL SPECIMEN TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN. FENCING TO BE INSTALLED A MINIMUM OF 15' FROM THE SPECIMEN TRUNK.
  2. TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING PURSUANT WITH TOWN OF HILTON HEAD LMO SEC. 16-6-104.J.3.b. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."

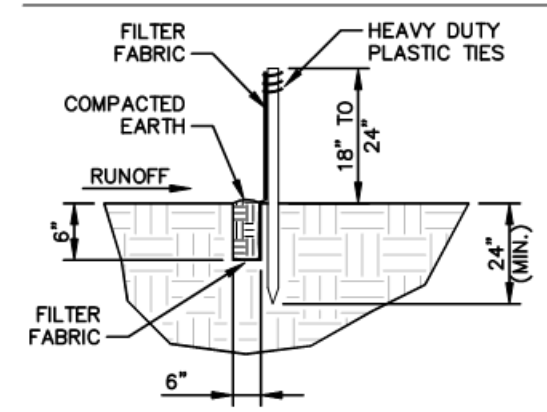
**SILT FENCE INSTALLATION**



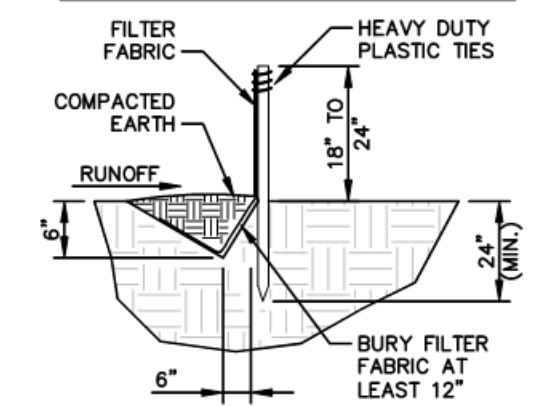
- SILT FENCE - GENERAL NOTES**
1. DO NOT PLACE SILT FENCE ACROSS CHANNELS OR IN OTHER AREAS SUBJECT TO CONCENTRATED FLOWS. SILT FENCE SHOULD NOT BE USED AS A VELOCITY CONTROL BMP. CONCENTRATED FLOWS ARE ANY FLOWS GREATER THAN 0.5 CFS.
  2. MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE SILT FENCE SHALL BE 100-200 FEET.
  3. MAXIMUM SLOPE STEEPNESS (NORMAL [PERPENDICULAR] TO THE FENCE LINE) SHALL BE 2:1.
  4. SILT FENCE JOINTS, WHEN NECESSARY, SHALL BE COMPLETED BY ONE OF THE FOLLOWING OPTIONS:  
- WRAP EACH FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 1-FOOT MINIMUM OVERLAP.  
- OVERLAP SILT FENCE BY INSTALLING 3- FEET PASSED THE SUPPORT POST TO WHICH THE NEW SILT FENCE ROLL IS ATTACHED. ATTACH OLD ROLL TO NEW ROLL WITH HEAVY-DUTY PLASTIC TIES, OR  
- OVERLAP ENTIRE WIDTH OF EACH SILT FENCE ROLL FROM ONE SUPPORT POST TO THE NEXT SUPPORT POST.
  5. ATTACH FILTER FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED WITHIN THE TOP 8-INCHES OF THE FABRIC.
  6. INSTALL THE SILT FENCE PERPENDICULAR TO THE DIRECTION OF THE STORMWATER FLOW AND PLACE THE SILT FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.
  7. INSTALL SILT FENCE CHECKS (TIE-BACKS) EVERY 50-100 FEET, DEPENDENT ON SLOPE. ALONG SILT FENCE THAT IS INSTALLED WITH SLOPE AND WHERE CONCENTRATED FLOWS ARE EXPECTED OR ARE DOCUMENTED ALONG THE PROPOSED/INSTALLED SILT FENCE.

**SILT FENCE**  
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH  
STANDARD DRAWING NO. SC-03 [PAGE 1]  
N.T.S.

**FLAT-BOTTOM TRENCH DETAIL**



**V-SHAPED TRENCH DETAIL**



**SILT FENCE - POST REQUIREMENTS**

1. SILT FENCE POSTS MUST BE 48-INCH LONG STEEL POSTS THAT MEET, AT A MINIMUM, THE FOLLOWING PHYSICAL CHARACTERISTICS:  
- COMPOSED OF A HIGH STRENGTH STEEL WITH A MINIMUM YIELD STRENGTH OF 50,000 PSI.  
- INCLUDE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND A NOMINAL "T" LENGTH OF 1.48-INCHES.  
- WEIGH 1.25 POUNDS PER FOOT (± 8%).
2. POSTS SHALL BE EQUIPPED WITH PROJECTIONS TO AID IN FASTENING OF FILTER FABRIC.
3. STEEL POSTS MAY NEED TO HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM WHEN INSTALLED ALONG STEEP SLOPES OR INSTALLED IN LOOSE SOILS. THE PLATE SHOULD HAVE A MINIMUM CROSS SECTION OF 17-SQUARE INCHES AND BE COMPOSED OF 15 GAUGE STEEL. AT A MINIMUM, THE METAL SOIL STABILIZATION PLATE SHOULD BE COMPLETELY BURIED.
4. INSTALL POSTS TO A MINIMUM OF 24-INCHES, A MINIMUM HEIGHT OF 1- TO 2- INCHES ABOVE THE FABRIC SHALL BE MAINTAINED, AND A MAXIMUM HEIGHT OF 3 FEET SHALL BE MAINTAINED ABOVE THE GROUND.
5. POST SPACING SHALL BE AT A MAXIMUM OF 6- FEET ON CENTER.

**SILT FENCE - FABRIC REQUIREMENTS**

1. SILT FENCE MUST BE COMPOSED OF WOVEN GEOTEXTILE FILTER FABRIC THAT CONSISTS OF THE FOLLOWING REQUIREMENTS:  
- COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POLYAMIDES THAT ARE FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR YARNS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER.  
- FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION.  
- FREE OF ANY DEFECTS OR CONDITIONS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES; AND,  
- HAVE A MINIMUM WIDTH OF 36-INCHES.
2. USE ONLY FABRIC APPEARING ON SC DOT'S QUALIFIED PRODUCTS LISTING (QPL), APPROVAL SHEET #34, MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SC DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
3. 12-INCHES OF THE FABRIC SHOULD BE PLACED WITHIN EXCAVATED TRENCH AND TOED IN WHEN THE TRENCH IS BACKFILLED.
4. FILTER FABRIC SHALL BE PURCHASED IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS.
5. FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 24-INCHES ABOVE THE GROUND.

**SILT FENCE - INSPECTION AND MAINTENANCE**

1. THE KEY TO FUNCTIONAL SILT FENCE IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
3. ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE SILT FENCE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
6. CHECK FOR AREAS WHERE STORMWATER RUNOFF HAS ERODED A CHANNEL BENEATH THE SILT FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED DUE TO RUNOFF. OVERTOPPING THE SILT FENCE. INSTALL CHECKS/TIE-BACKS AND/OR REINSTALL SILT FENCE, AS NECESSARY.
7. CHECK FOR TEARS WITHIN THE SILT FENCE. AREAS WHERE SILT FENCE HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY RENDER THE SILT FENCE INEFFECTIVE. REMOVE DAMAGED SILT FENCE AND REINSTALL NEW SILT FENCE IMMEDIATELY.
8. SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONCE IT IS REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED.

**SILT FENCE**  
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH  
STANDARD DRAWING NO. SC-03 [PAGE 2]  
GENERAL NOTES

**MONTHS OF CONSTRUCTION ACTIVITIES**

	1	2	3	4
INSTALL SILT FENCE & TREE PROTECTION FENCE	█	█	█	█
INSTALL INLET PROTECTION & PERFORM SITE DEMOLITION	█	█	█	█
TREE REMOVAL	█	█	█	█
GRADING	█	█	█	█
PAVING	█	█	█	█
MAINTENANCE OF EROSION CONTROL BMP'S	█	█	█	█
TEMPORARY GRASSING	█	█	█	█
FINAL GRASSING	█	█	█	█
BUILDING CONSTRUCTION	█	█	█	█
REMOVAL OF SEDIMENT CONTROL STRUCTURES	█	█	█	█

1. THE TIME AND PERIODS ABOVE ARE NOT EXACT OR READILY DETERMINABLE BUT IN ALL CASES SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE INCORPORATED INTO THE CONSTRUCTION IN THE SEQUENCE AS SHOWN ABOVE AND/OR AS DIRECTED BY TOWN OF HILTON HEAD ISLAND OR SCDCHE.
2. GRASSING WILL BE ACCEPTED WHEN A 95% COVER BY PERMANENT GRASSES IS OBTAINED AND WEEDS ARE NOT DOMINANT.
3. GRASSING OF CONSTRUCTION AREAS WILL COMMENCE AT COMPLETION OF EACH PHASE OF CONSTRUCTION OR IN THE SEQUENCE AS SHOWN ABOVE. IN ANY CASE, GRASSING OF ANY CONSTRUCTION AREA WILL BEGIN AT THE EARLIEST POSSIBLE DATE.

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRI00000."

- TEMPORARY GRASSING:**
1. MARCH 1-AUGUST 14 SHALL BE PEARL MILLET 50 LBS./ACRE COVERED WITH HEAVY MULCH.
  - AUGUST 15-FEBRUARY 28 SHALL BE RYE GRASS 40 LBS./ACRE AND RYE GRAIN SIMULTANEOUSLY.

**GRASSING REQUIREMENTS**

1. SEEDING SCHEDULE: TEMPORARY SEEDING: APRIL 15 - AUGUST 31, BROWNTOP MILLET @ 40 LBS./ACRE. SEPTEMBER 1 - DECEMBER 15, RYE GRAIN @ 56 LBS./ACRE. PERMANENT SEEDING: APRIL 1 - OCTOBER 15, A MIXTURE OF KENTUCKY 31 FESCUE @ 20 LBS./ACRE AND CREEPING RED FESOU @ 20 LBS./ACRE. SEPTEMBER 1 TO OCTOBER 15, ADD A NURSE CROP OF ABRUZZI RYE @ 75 LBS./ACRE. OCTOBER 15 TO MARCH 30 SEED ABRUZZI RYE AT 100 LBS./ACRE. DOLOMITIC LIME WILL BE INCORPORATED AT THE RATE OF 3000 POUNDS/ACRE.
2. FERTILIZER WILL BE A COMMERCIAL GRADE 10-10-10 INCORPORATED INTO THE SOIL AT A RATE OF 1500 POUNDS/ACRE.
3. FROM JUNE THROUGH AUGUST AND NOT LESS THAN 30 DAYS AFTER SEEDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATE) AT A RATE EQUAL TO 60 POUNDS OF AVAILABLE NITROGEN/ACRE.
4. ALL SEEDED AREAS WILL BE MULCHED WITH HAY OR STRAW AT A RATE OF 1500 POUNDS/ACRE.
5. SEEDING AND MULCHING MAY BE ACCOMPLISHED IN A SINGLE HYDROSEEDING OPERATION. SEEDED AREAS WILL BE MULCHED WITH HAY, STRAW OR WOOD CELLULOSE AT A RATE OF 1500 LBS./ACRE.

**STANDARD NOTES:**

1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED.
3. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
4. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FROM THE TOWN OF HILTON HEAD IN ACCORDANCE WITH S.C. REG. 72-300 & SCRI00000.
7. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT (SUCH AS STOCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
8. ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
9. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
10. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
11. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATER. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
12. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.).
13. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:  
- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL  
- WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS & OTHER CONSTRUCTION MATERIALS  
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE  
- SOAPS OR SOLVENTS USED IN VEHICLE & EQUIPMENT WASHING
14. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
15. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
16. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
17. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
18. IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
19. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED AREAS.
20. CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.



REV #	DATE	DESCRIPTION

DRAWN BY:	NLS
CHECKED BY:	MER
APPROVED BY:	MER
DATE:	5/25/2021
SCALE:	1" = 20'
JOB No.	2021-0045
DRAWING No.	C3.1





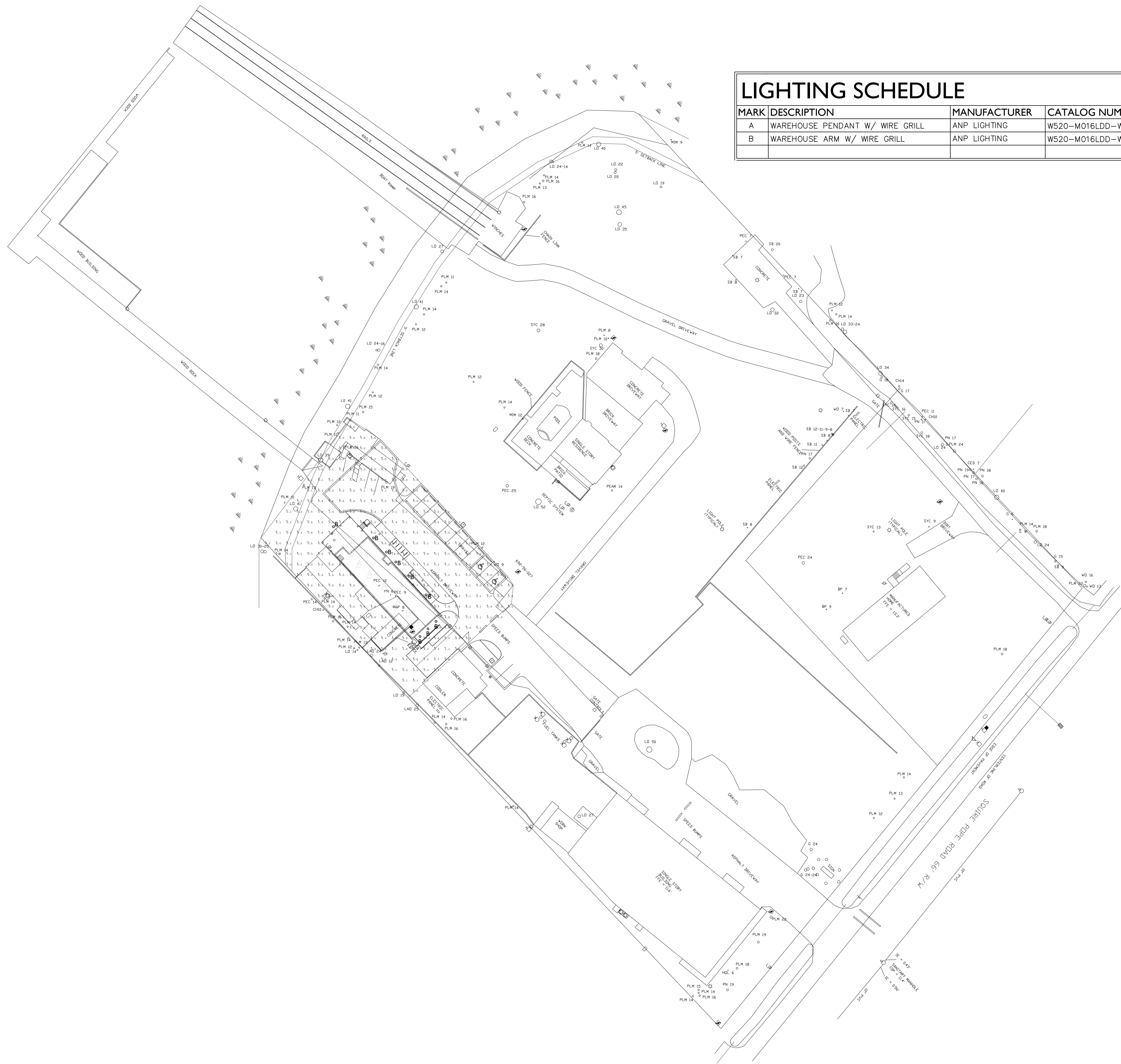












### LIGHTING SCHEDULE

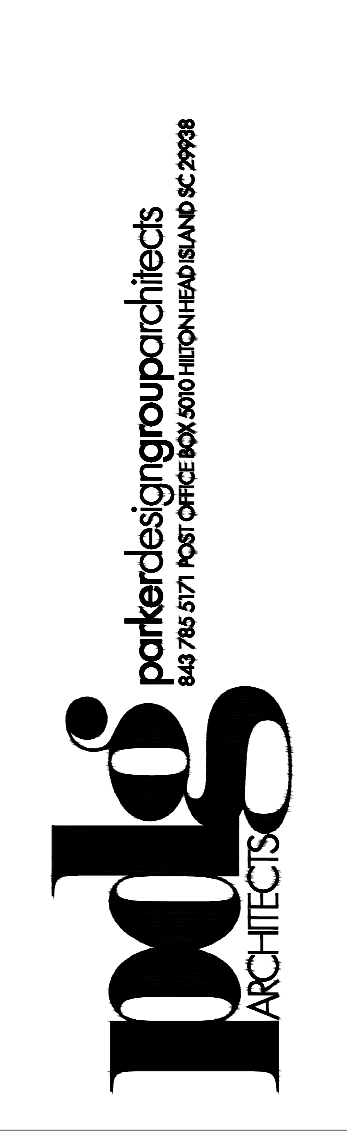
MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP	MOUNTING	COLOR	REMARKS
A	WAREHOUSE PENDANT W/ WIRE GRILL	ANP LIGHTING	W520-M016LDD-W-35K-GYSF-GR20-49	INTEGRAL LED	CORD	49 - GALVANIZED	---
B	WAREHOUSE ARM W/ WIRE GRILL	ANP LIGHTING	W520-M016LDD-W-35K-E6-GR20-49	INTEGRAL LED	WALL	49 - GALVANIZED	---

### STATISTICS

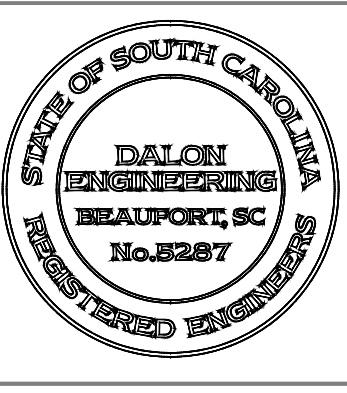
DESCRIPTION	AVG	MAX	MIN	MAX/MIN	AVG/MIN
BLDG LIGHTING	0.88 fc	16.0 fc	0.0 fc	N/A	N/A

1 ELECTRICAL SITE PHOTOMETRICS

SCALE: 1"=40'-0"



These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
Copyright © 2019 PDG|Architects.



**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKET PLACE**  
 175 SQUIRE POPE RD.  
 HILTON HEAD ISLAND, SC 29926

#### REVISIONS

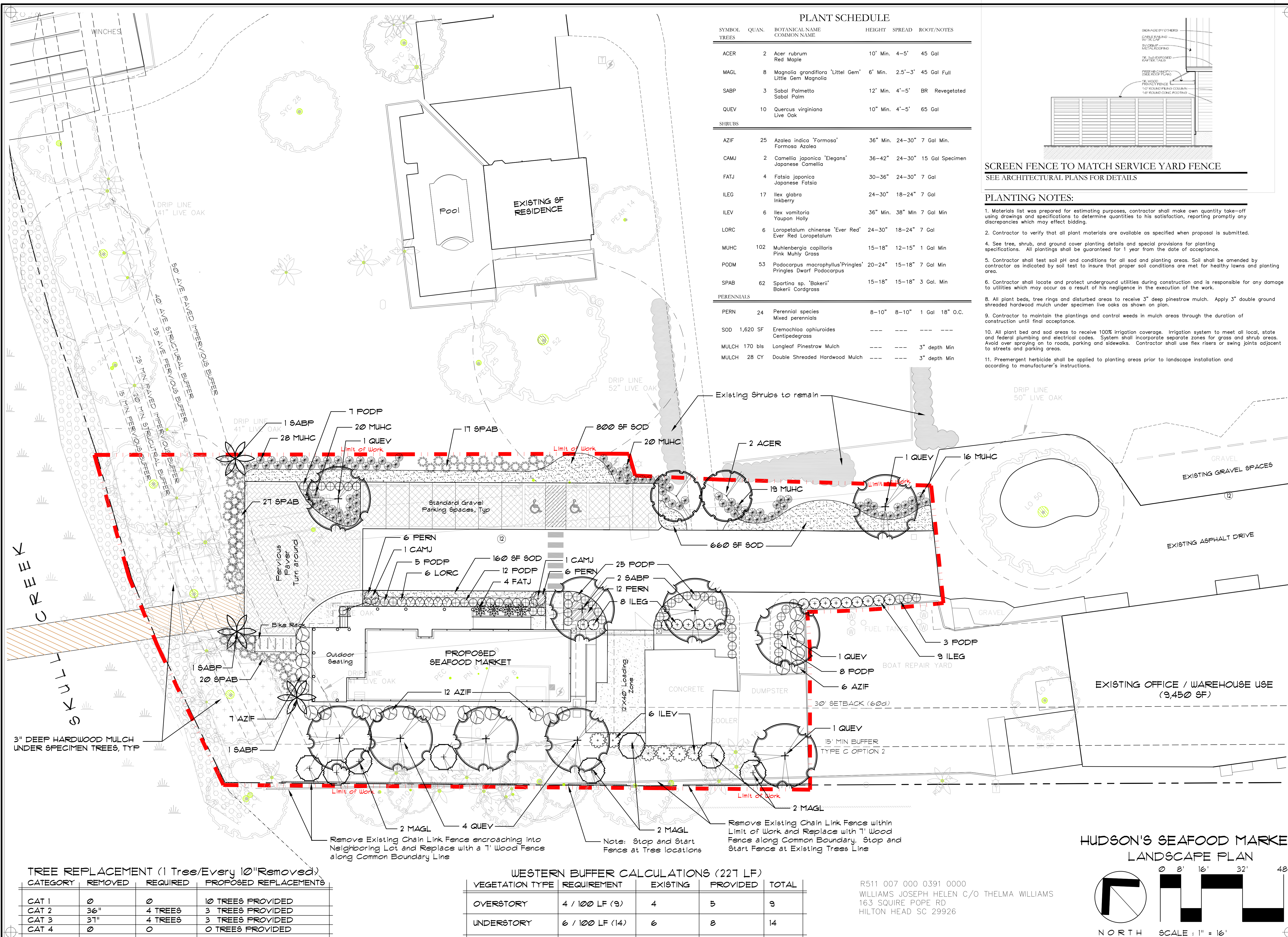
00	DESCRIPTION	DATE

DRAWN BY: CMD  
 CHECKED BY: CMD  
 DATE OF ISSUE: 3/9/2021  
 SCALE: AS SHOWN  
 JOB NO.:



SHEET  
**ELECTRICAL SITE PHOTOMETRICS**  
**E2.1**





**PLANT SCHEDULE**

SYMBOL	QUAN.	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT/NOTES
ACER	2	Acer rubrum Red Maple	10' Min.	4-5'	45 Gal
MAGL	8	Magnolia grandiflora 'Littel Gem' Little Gem Magnolia	6' Min.	2.5'-3'	45 Gal Full
SABP	3	Sabal Palmetto Sabal Palm	12' Min.	4'-5'	BR Revegetated
QUEV	10	Quercus virginiana Live Oak	10" Min.	4'-5'	65 Gal
<b>SHRUBS</b>					
AZIF	25	Azalea indica 'Formosa' Formosa Azalea	36" Min.	24-30"	7 Gal Min.
CAMJ	2	Camellia japonica 'Elegans' Japanese Camellia	36-42"	24-30"	15 Gal Specimen
FATJ	4	Fatsia japonica Japanese Fatsia	30-36"	24-30"	7 Gal
I LEG	17	Ilex glabra Inkberry	24-30"	18-24"	7 Gal
I LEV	6	Ilex vomitoria Yaupon Holly	36" Min.	38" Min	7 Gal Min
LORC	6	Loropetalum chinense 'Ever Red' Ever Red Loropetalum	24-30"	18-24"	7 Gal
MUHC	102	Muhlenbergia capillaris Pink Muhly Grass	15-18"	12-15"	1 Gal Min
PODM	53	Podocarpus macrophyllus 'Pringles' Pringles Dwarf Podocarpus	20-24"	15-18"	7 Gal Min
SPAB	62	Spartina sp. 'Bakeri' Bakeri Cordgrass	15-18"	15-18"	3 Gal. Min
<b>PERENNIALS</b>					
PERN	24	Perennial species Mixed perennials	8-10"	8-10"	1 Gal 18" O.C.
SOD	1,620 SF	Eremochloa ophiuroides Centipede Grass	---	---	---
MULCH	170 bis	Longleaf Pine Straw Mulch	---	---	3" depth Min
MULCH	28 CY	Double Shredded Hardwood Mulch	---	---	3" depth Min

SCREEN FENCE TO MATCH SERVICE YARD FENCE  
SEE ARCHITECTURAL PLANS FOR DETAILS

**PLANTING NOTES:**

- Materials list was prepared for estimating purposes, contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and ground cover planting details and special provisions for planting specifications. All plantings shall be guaranteed for 1 year from the date of acceptance.
- Contractor shall test soil pH and conditions for all sod and planting areas. Soil shall be amended by contractor as indicated by soil test to insure that proper soil conditions are met for healthy lawns and planting area.
- Contractor shall locate and protect underground utilities during construction and is responsible for any damage to utilities which may occur as a result of his negligence in the execution of the work.
- All plant beds, tree rings and disturbed areas to receive 3" deep pine straw mulch. Apply 3" double ground shredded hardwood mulch under specimen live oaks as shown on plan.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- All plant bed and sod areas to receive 100% irrigation coverage. Irrigation system to meet all local, state and federal plumbing and electrical codes. System shall incorporate separate zones for grass and shrub areas. Avoid over spraying on to roads, parking and sidewalks. Contractor shall use flex risers or swing joints adjacent to streets and parking areas.
- Preemergent herbicide shall be applied to planting areas prior to landscape installation and according to manufacturer's instructions.

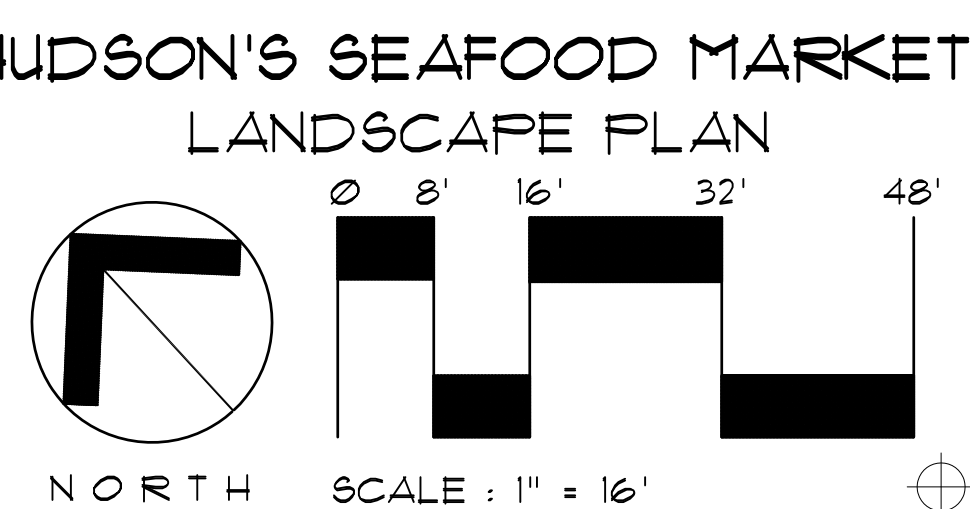
**TREE REPLACEMENT (1 Tree/Every 10" Removed)**

CATEGORY	REMOVED	REQUIRED	PROPOSED REPLACEMENTS
CAT 1	0	0	10 TREES PROVIDED
CAT 2	36"	4 TREES	3 TREES PROVIDED
CAT 3	31"	4 TREES	3 TREES PROVIDED
CAT 4	0	0	0 TREES PROVIDED

**WESTERN BUFFER CALCULATIONS (227 LF)**

VEGETATION TYPE	REQUIREMENT	EXISTING	PROVIDED	TOTAL
OVERSTORY	4 / 100 LF (9)	4	5	9
UNDERSTORY	6 / 100 LF (14)	6	8	14

R511 007 000 0391 0000  
WILLIAMS JOSEPH HELEN C/O THELMA WILLIAMS  
163 SQUIRE POPE RD  
HILTON HEAD SC 29926



**Hudson's Seafood Market**  
175 SQUIRE POPE ROAD  
Parcels 2B - Cotton Hope Plantation  
HILTON HEAD IS., SOUTH CAROLINA

**Patrick Rooney Associates, Inc.**  
Land Planning • Landscape Architecture  
P.O. Box 21297  
Hilton Head Island, SC 29925  
843-681-4009  
FAX 843-681-4029

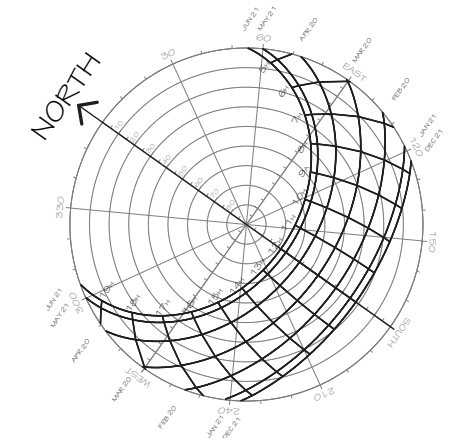
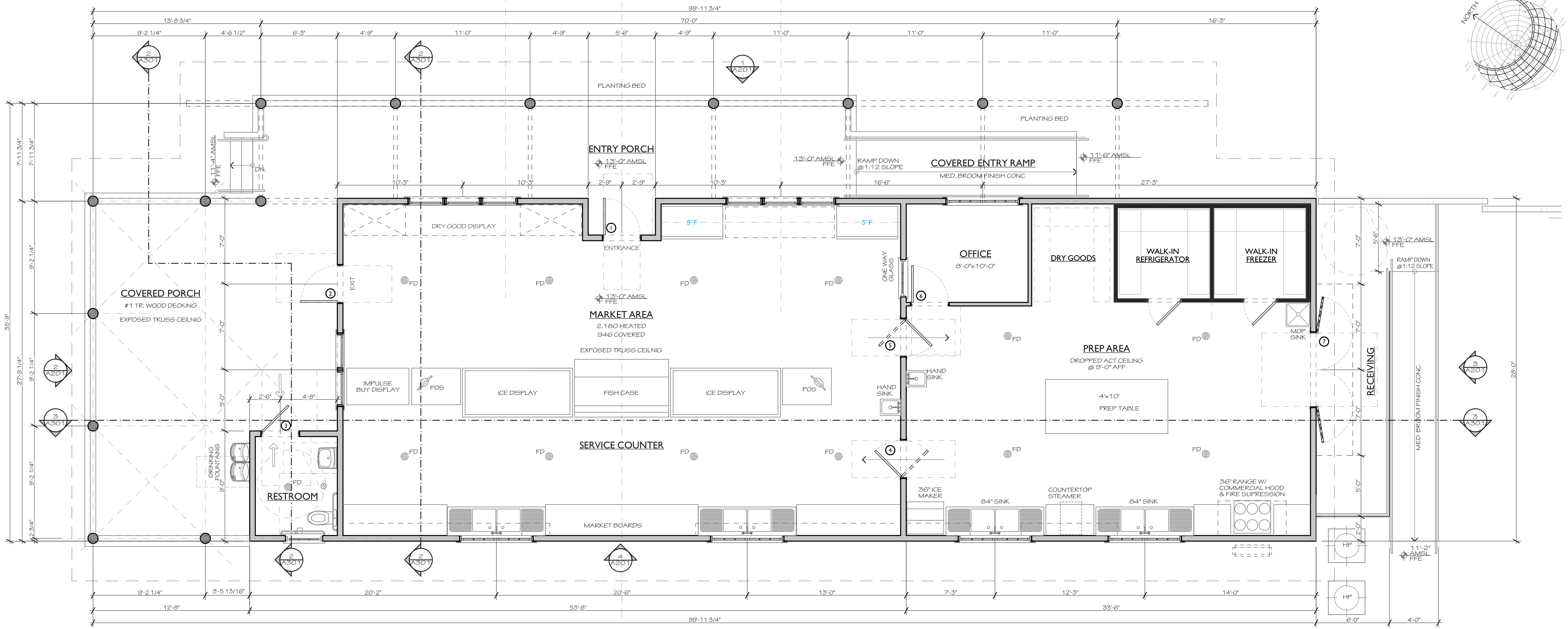
REVISIONS:  
DATE: NO: DESCRIPTION:

PROJECT NO:  
ISSUE DATE:  
5/21/21

DRAWN:  
APPROVED:

Landscape Plan  
Sheet 1 Of 1





These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
 Copyright © 2021 PDG/Architects.

**1 FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

DOOR & FRAME SCHEDULE										
MARK	DOOR DESCRIPTION	SIZE			MATT'L/ FINISH	TYPE	FRAME			REMARKS
		W	H	T			HDWE MARK	MATT'L	FIRE RATING	
1	STOREFRONT	3'-0"	7'-0"		ALUM. A		1, 2, 3, 4	ALUM.		
2	STOREFRONT	3'-0"	7'-0"		ALUM. A		1, 2, 3, 4	ALUM.		
3	THERMA-TRU S960 (4 PANEL)	3'-0"	6'-8"	1 3/4"	FIBER-GLASS	B	4, 7	FIBER-GLASS		ACCESSIBLE SILL
4	TRAFFIC DOOR *	3'-0"	7'-0"		ALUM. C		MFG. STD.	METAL		* B.O.D. ELIASON SCP-4
5	TRAFFIC DOOR *	3'-0"	7'-0"		ALUM. C		MFG. STD.	METAL		* B.O.D. ELIASON SCP-4
6	FLUSH	3'-0"	7'-0"	1 3/4"	SCWD	D	6	METAL		
7	FLUSH	3'-0"	7'-0"	1 3/4"	METAL	E	2, 3, 4, 5	METAL		

**NOTES:**  
 1. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.  
 2. PROVIDE ARMOUR SCREEN HURRICAN PROTECTION SYSTEM (OR EQ.) FOR ALL NON-IMPACT RATED DOORS.

TYPE	PER SCHEDULE	PER SCHEDULE	PER SCHEDULE	PER SCHEDULE	PER SCHEDULE	PER SCHEDULE
TYPE A	TYPE B	TYPE C	TYPE D	TYPE E		

HARDWARE				
MARK	TYPE	MFG.	MODEL	REMARKS
1	PUSH/PULL			
2	DEAD BOLT			
3	KICK PLATE			
4	CLOSER			
5	EXIT DEVICE	VON DUPRN	8827LOG	
6	ENTRANCE/OFFICE LOCK	SCHLAGE	AL50PD	
7	BATHROOM LOCK	SCHLAGE	AL40PD	
8	STOREROOM LOCK	SCHLAGE	AL80PD	

**NOTES:**  
 1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW  
 2. ALL FINISHES TO BE G26

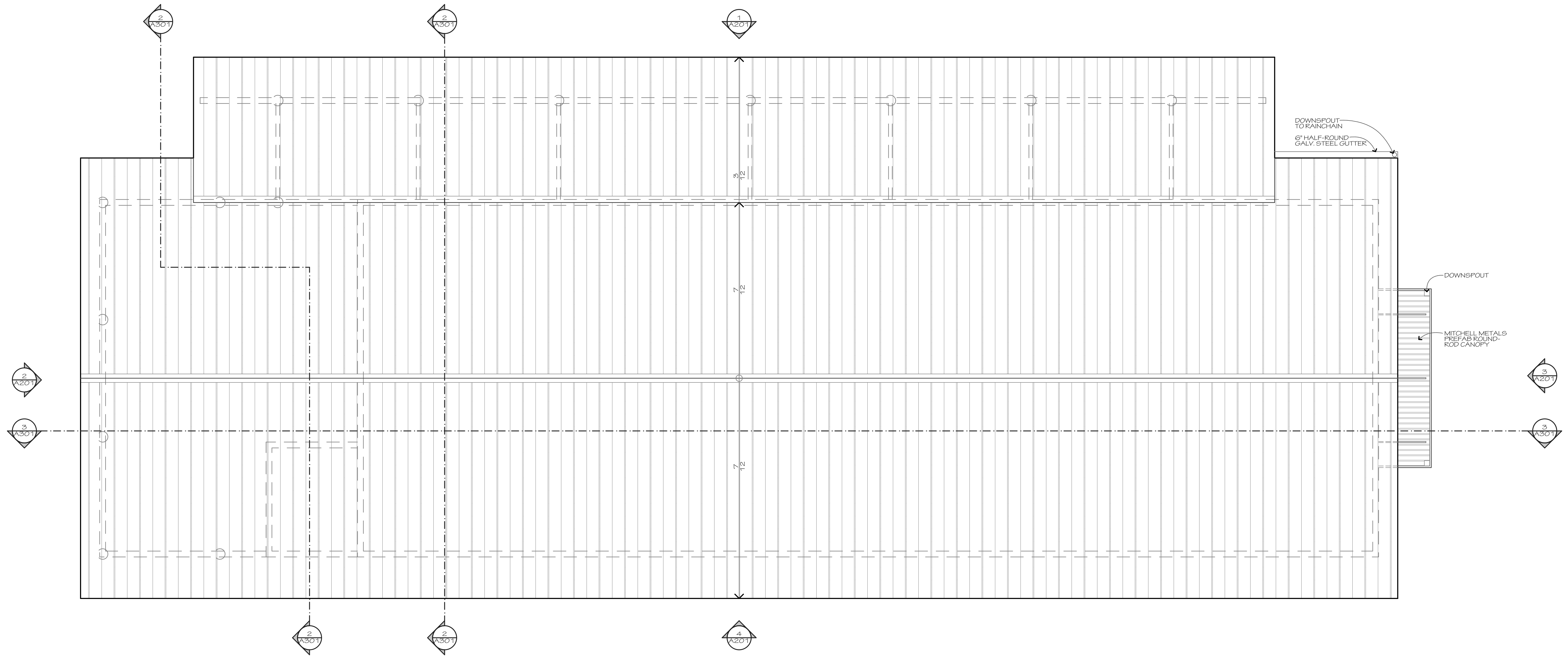
WINDOW SCHEDULE				
MARK	TYPE	MANUF. & LINE	SIZE	REMARKS
A	(3) DOUBLE HUNG	SIERRA PACIFIC H3	(3) 3'-0" x 6'-0"	
B	(2) DOUBLE HUNG	SIERRA PACIFIC H3	(2) 3'-0" x 6'-0"	
C	DOUBLE HUNG PICTURE	SIERRA PACIFIC H3	3'-0" x 3'-0"	
D	DOUBLE HUNG TRANSOM	SIERRA PACIFIC H3	3'-0" x 1'-6"	

**NOTES:**  
 1. SIERRA PACIFIC H3 WINDOWS, 8ASH-SET W/ LOW-E 366 GLASS, AAMA 2605 FINISH, 7/8" PUTTY S/DL MUNTINS W/ SPACER BAR, 6/9/16" JAMBS U.N.O.  
 2. PROVIDE MANUFACTURERS MULL COVER FOR MULTIPLE WINDOW ASSEMBLIES  
 3. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.  
 4. PROVIDE ARMOUR SCREEN HURRICAN PROTECTION SYSTEM (OR EQ.) FOR NON-IMPACT RATED WINDOWS.

REVISIONS

DRAWN BY  
 JD  
 CHECKED BY  
 JD  
 DATE OF ISSUE  
 5/25/2021  
 SCALE  
 AS SHOWN  
 JOB NO.  
 2020  
 SHEET





1 ROOF PLAN  
 A102 SCALE: 1/4" = 1'-0"

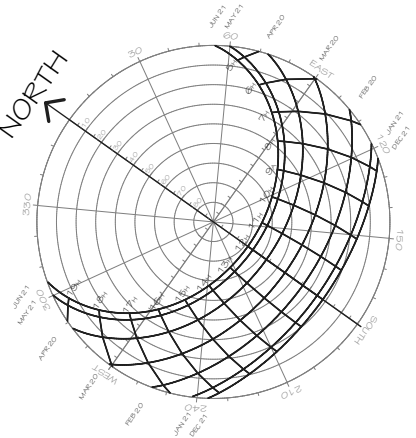
These documents & designs are the property of Parker Design Group Architects & are not to be used or reproduced in any form for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
 Copyright © 2021 PDGArchitects.

**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKETPLACE**  
 175 Squire Pope Rd.  
 Hilton Head Island, SC 29926

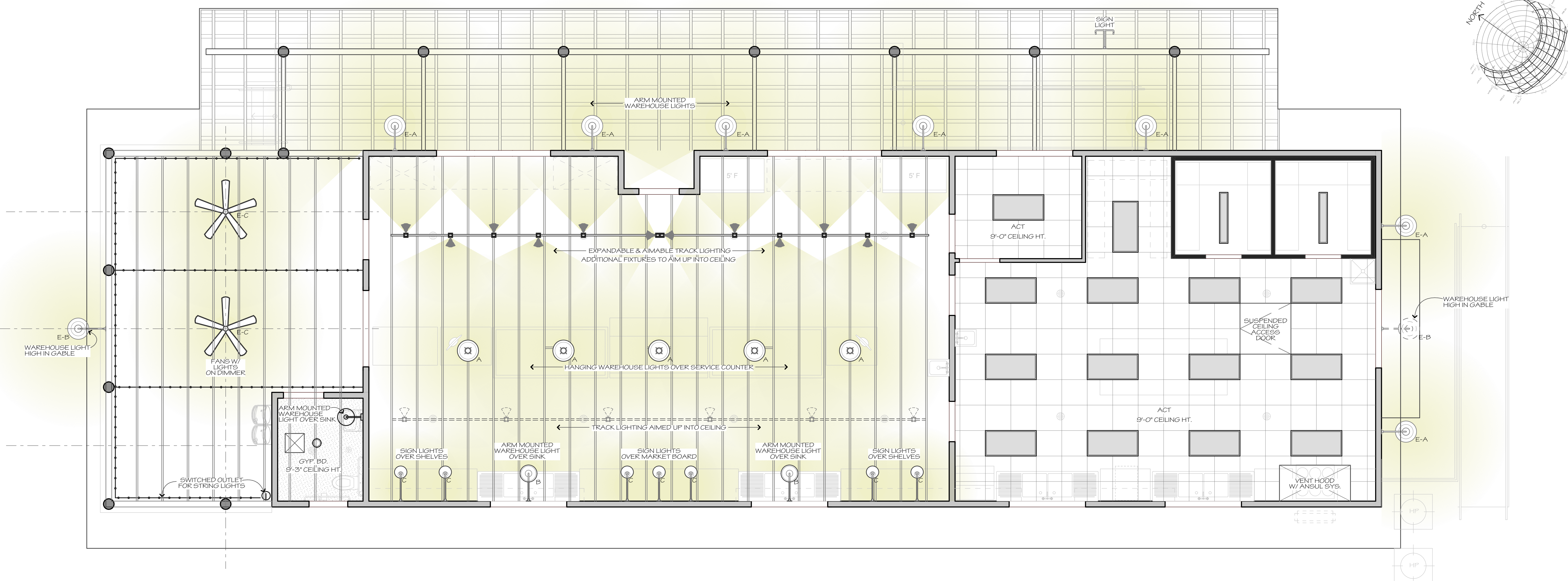
REVISIONS	

DRAWN BY  
 JD  
 CHECKED BY  
 JD  
 DATE OF ISSUE  
 5/25/2021  
 SCALE  
 AS SHOWN  
 JOB NO.  
 2020  
 SHEET

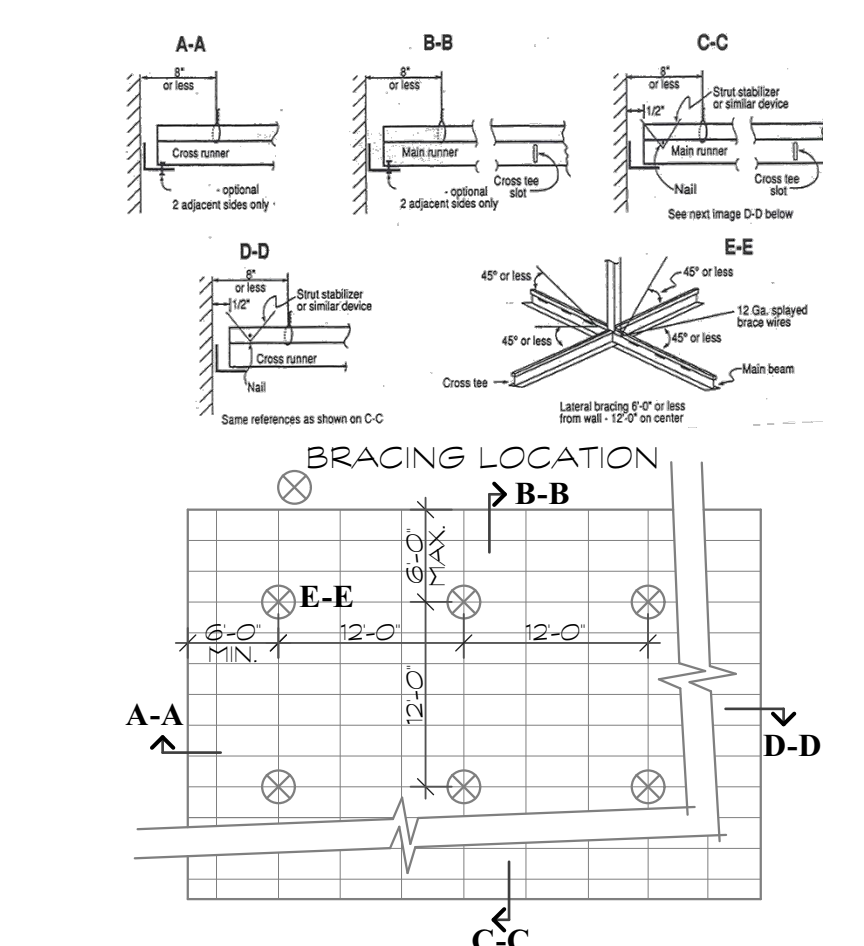




These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced in any form for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
 Copyright © 2021 PDG/Architects.



**1 REFLECTED CEILING PLAN**  
 A103 SCALE: 1/4" = 1'-0"



**2 ACT SEISMIC RESTRAINT**  
 A103 SCALE: 1/8" = 1'-0"

LIGHTING		MECHANICAL		EMERGENCY	
	SURFACE MOUNTED LIGHT FIXTURE		24x24" SUPPLY DIFFUSER		EMERGENCY LIGHT (SEE ELECTRICAL)
	WALL SCONCES		24x24" RETURN AIR GRILLE		EXIT SIGN (SEE ELECTRICAL)
	PENDANTS		12x12" SUPPLY DIFFUSER		EXIT SIGN W/ LIGHT (SEE ELECTRICAL)
	RECESSED LED		12x12" EXHAUST GRILLE	<b>MATERIALS</b>	
	24x24" LED LIGHT FIXTURE		CEILING FAN		GYP. BD.
	24x48" LED LIGHT FIXTURE				ACT

ROOM NAME	FLOOR MATERIAL	BASE	WALL MATERIAL	FINISH	CEILING		REMARKS
					MATERIAL	FINISH	
ENTRY PORCH	KDAT DECKING	N/A	SEE ELEVATIONS		OTSA		
MARKET AREA	SEALED CONC.	1x6 PVC <sup>3</sup>	T1-11 TO 48" GYP. BD. ABOVE	PAINT	OTSA		
SERVICE COUNTER	SEALED CONC.	1x6 PVC <sup>3</sup>	FRP-1 TO 48" CT-1 ABOVE		OTSA		
PREP AREA	SEALED CONC.		FRP-2		ACT-1	9'-0"	
DRY GOODS	SEALED CONC.		FRP-2		ACT-1	9'-0"	
OFFICE	SEALED CONC.	1x6 PVC <sup>3</sup>	GWB	PAINT	ACT-1	9'-0"	
COVERED PORCH	KDAT DECKING	N/A	SEE ELEVATIONS		OTSA		

NOTES:  
 1. ALL PAINT FINISHES ARE LATEX W/ EGGSHELL FINISH UNO. TRIM & CASING TO HAVE SEMI-GLOSS FINISH  
 2. OTSA = OPEN TO STRUCTURE ABOVE  
 3. BASE NOT REQUIRED @ CONCRETE CURBS

MARK	MATERIAL	PRODUCT INFORMATION			REMARKS
		MANUFACTURER	STYLE NAME/NO.	COLOR	
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	GEORGIAN/795	WHITE	PRELUDE XL 15/16" SUSPENSION SYSTEM
CT-1	CERAMIC TILE	DALTILE	O190 - 3x6 WALL TILE	ARCTIC WHITE	54369MOD BULLNOSE TOP
FRP-1	FRP PANELING (SERVICE COUNTER)	CRANE COMPOSITES	GLASBOARD FRP, SMOOTH FINISH	WHITE (85)	STANDARD VINYL/PVC MOULDINGS & POLYURETHANE SEAM SEALANT CLASS C FIRE RATING 4x8 PANELS (EXTENDS TO 48") ALTERNATE: MARLITE FRP, SMOOTH SURFACE. P 100 5/2/S WHITE
FRP-2	FRP PANELING (PREP AREA)	CRANE COMPOSITES	GLASBOARD FRP, PEBBLED EMBOSSED FINISH	WHITE (85)	STANDARD VINYL/PVC MOULDINGS & POLYURETHANE SEAM SEALANT CLASS C FIRE RATING 4x8 PANELS (EXTENDS TO 96") ALTERNATE: MARLITE FRP, SMOOTH SURFACE. P 100 WHITE, CLASS C
GWB	5/8" GYPSUM WALL BOARD				
OTSA	OPEN TO STRUCTURE ABOVE				
T1-1-1	T1-1-1 WALL PANELS				

MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP	MOUNTING	COLOR	REMARKS
E-A	WAREHOUSE W/ CAST GUARD	ANP LIGHTING	W520-MO16LDD-W-30K-E6-200GLGUPC-49	INTEGRAL LED	WALL	49 - GALVANIZED	
E-B	WAREHOUSE	ANP LIGHTING	W520-MO16LDD-W-30K-E6-49	INTEGRAL LED	WALL	49 - GALVANIZED	
E-C	EXT. SIGN LIGHT						
E-D	OUTDOOR CEILING FAN	MINKA AIRE	F582L-GL	3000K LED	CEILING	GALVANIZED	
A	WAREHOUSE PENDANT W/ WIRE GRILL	ANP LIGHTING	W520-MO16LDD-W-35K-GY5F-GR20-49	INTEGRAL LED	CORD	49 - GALVANIZED	
B	WAREHOUSE ARM W/ WIRE GRILL	ANP LIGHTING	W520-MO16LDD-W-35K-E6-GR20-49	INTEGRAL LED	WALL	49 - GALVANIZED	
C	RLM SIGN LIGHT	ANP LIGHTING	A812-MO16LDD-W-35K-E6-GR20-49	INTEGRAL LED	WALL	49 - GALVANIZED	

NO.	DESCRIPTION

DRAWN BY  
 JD  
 CHECKED BY  
 JD  
 DATE OF ISSUE  
 5/25/2021  
 SCALE  
 AS SHOWN  
 JOB NO.  
 2020  
 SHEET

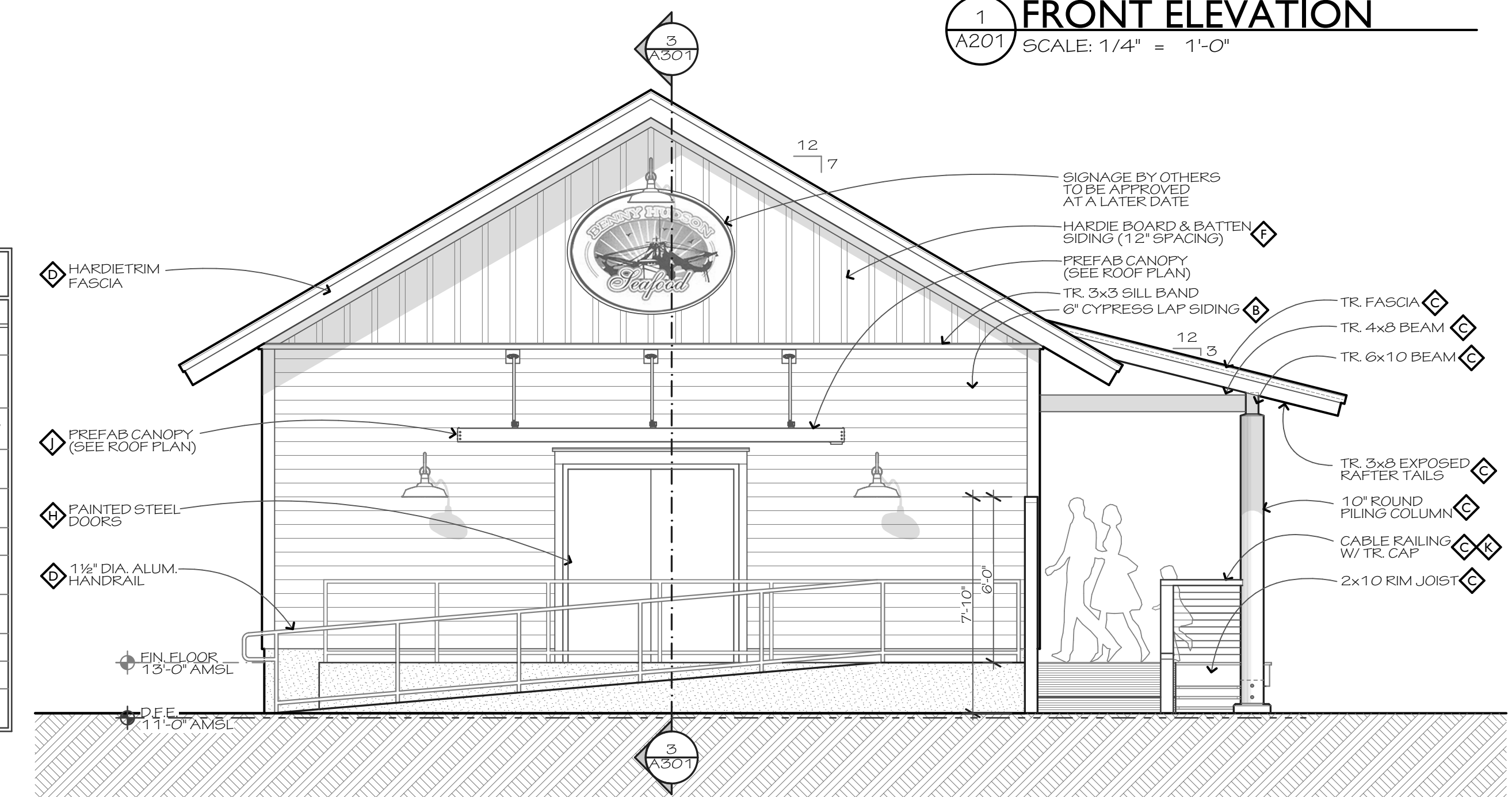


These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
Copyright © 2021 PDG|Architects.

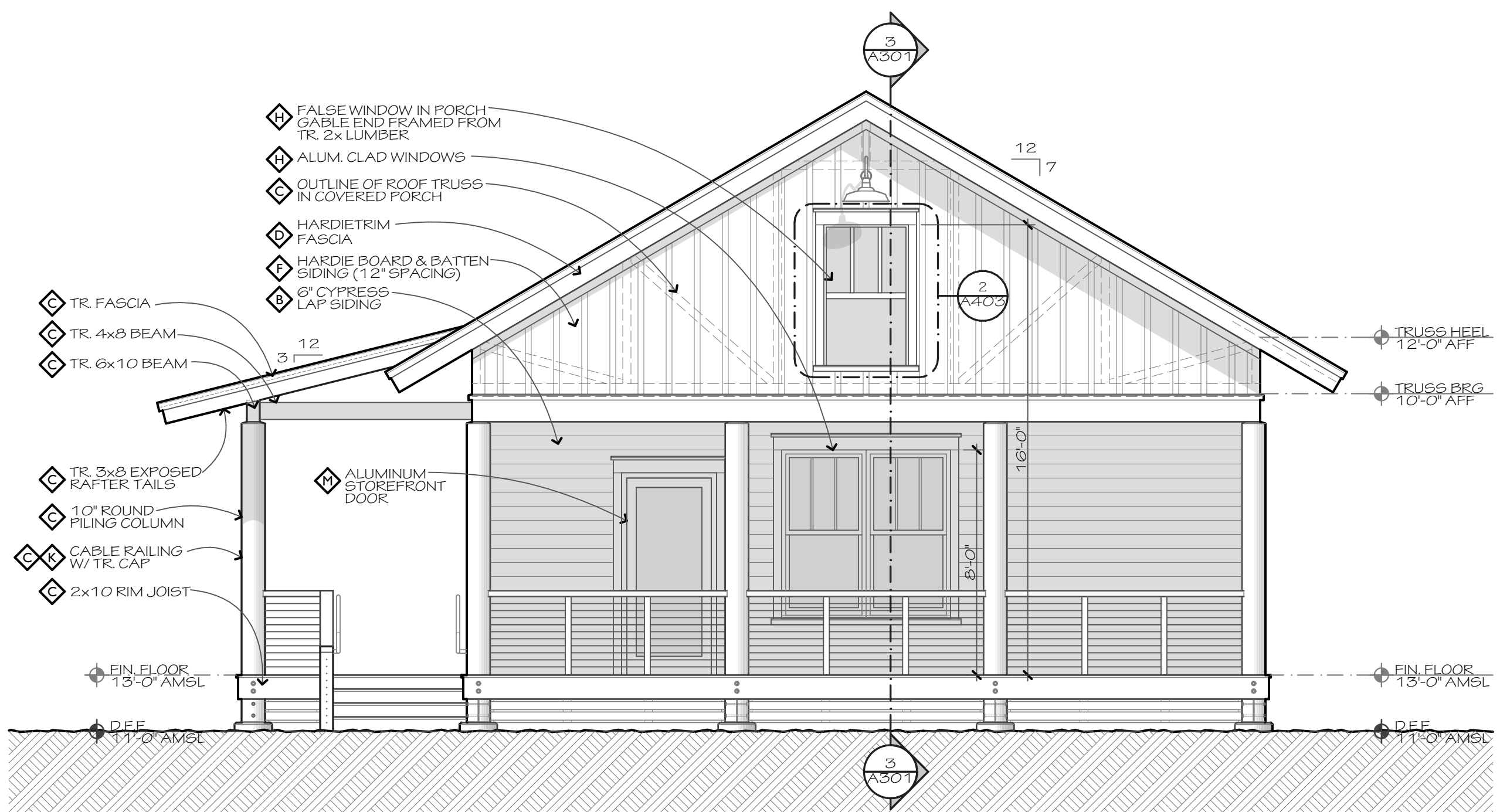


**1 FRONT ELEVATION**  
A201 SCALE: 1/4" = 1'-0"

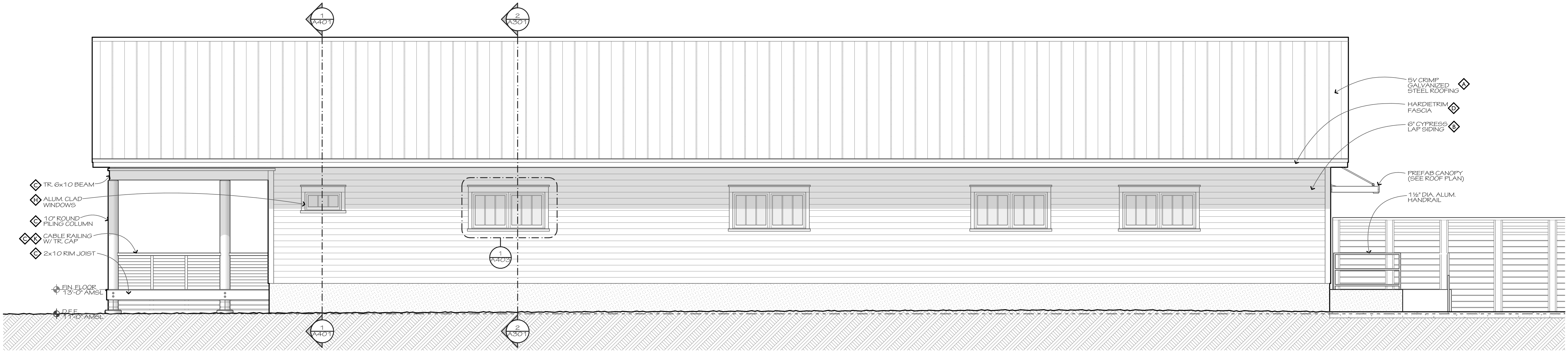
MARK	COLOR	MANUF.	APPLICATION
◆	GALVANIZED STEEL	TBD	5-V CRIMP STEEL ROOFING
◆	NATURAL CYPRESS W/ VALHALLA WOOD PRESERVER		LAP SIDING
◆	STAIN THATCH SEMI-TRANSPARENT	CABOT	PORCH TIMBER POSTS, BEAMS, RAILS & EXPOSED RAFTERS
◆	FUNCTIONAL GRAY (SW 7024)	SHERWIN WILLIAMS	HARDIETRIM & FASCIA
◆	BACKDROP (SW 7025)	SHERWIN WILLIAMS	BOARD & BATTEN SIDING
◆	GALVANIZED	---	LIGHTS, GUTTERS, RAUNCHAIN
◆	COLONIAL RED 054	SIERRA PACIFIC	WINDOWS & WINDOW TRIM
◆	COLONIAL RED	MITCHELL METALS	ROOF CANOPY
◆	STAINLESS STEEL	FEENEY	CABLE RAILS
◆	CEMENT GRAY		CONCRETE FINISH COAT
◆	COLONIAL RED (UC105846)	YKK	STOREFRONT DOORS



**3 LEFT ELEVATION**  
A201 SCALE: 1/4" = 1'-0"



**2 RIGHT ELEVATION**  
A201 SCALE: 1/4" = 1'-0"



**4 REAR ELEVATION**  
A201 SCALE: 1/4" = 1'-0"

**BENNY HUDSON SEAFOOD LOCAL SEAFOOD MARKETPLACE**  
175 Squire Pope Rd.  
Hilton Head Island, SC 29928

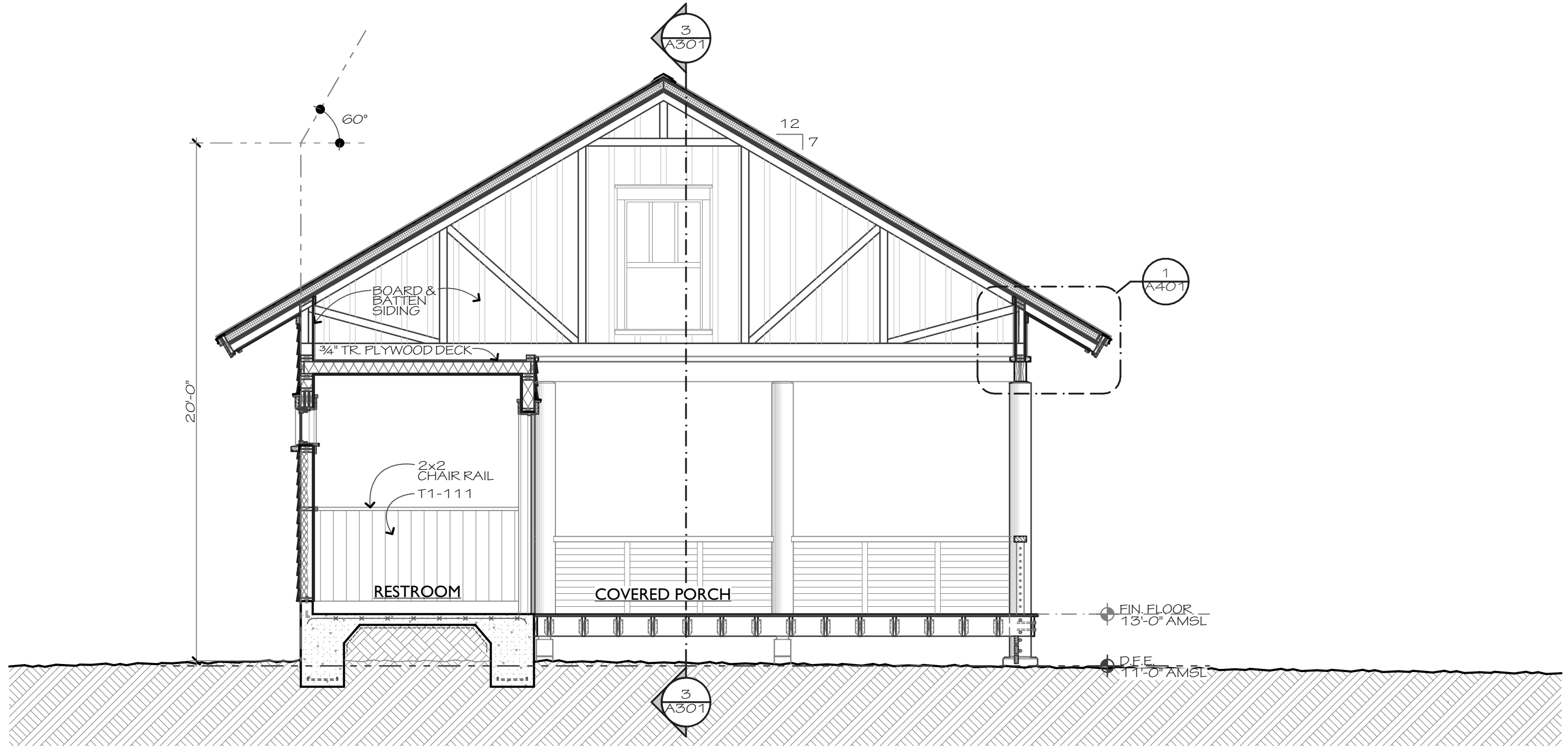
NO.	REVISIONS

DRAWN BY  
JD  
CHECKED BY  
JD  
DATE OF ISSUE  
5/25/2021  
SCALE  
AS SHOWN  
JOB NO.  
2020  
SHEET

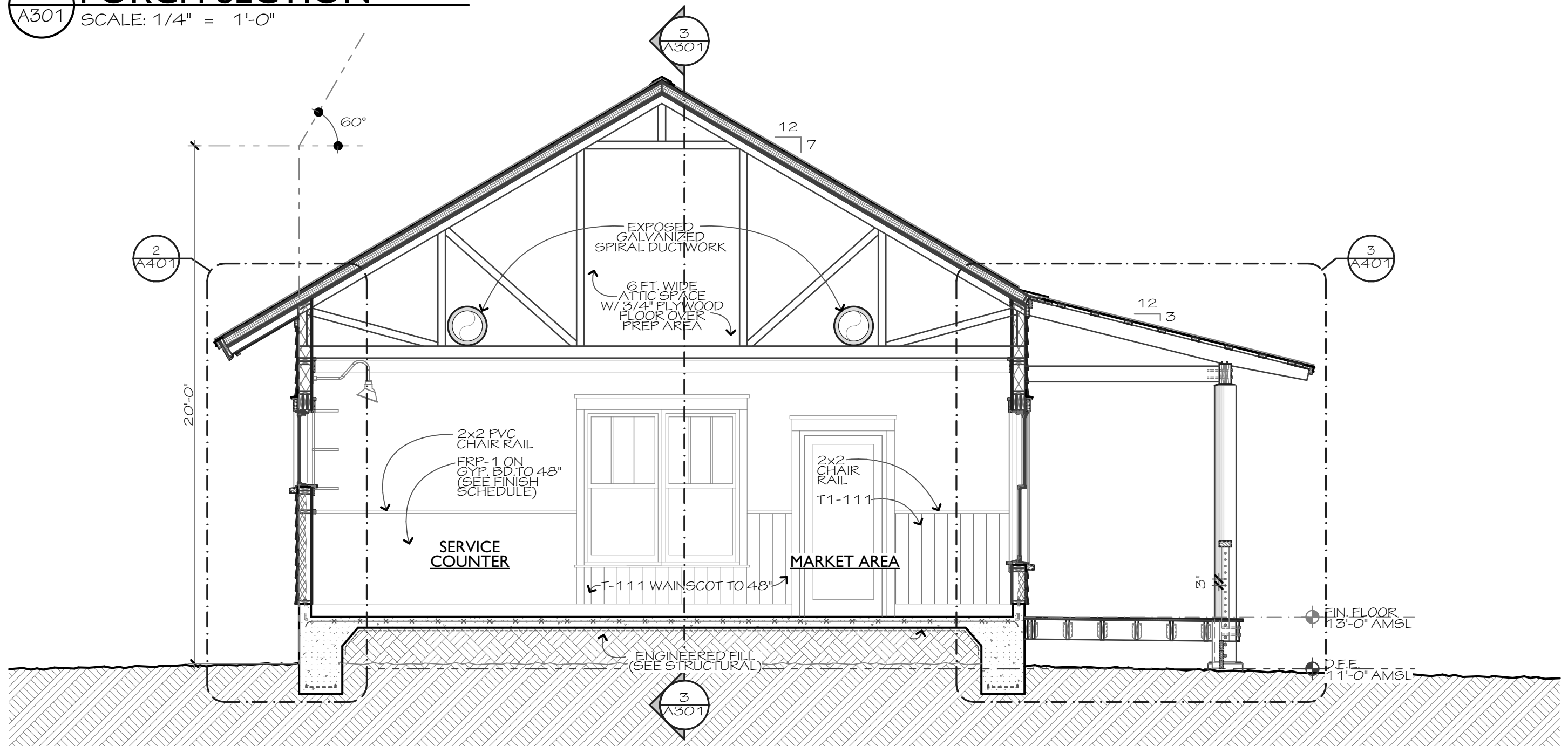
ELEVATIONS  
**A201**



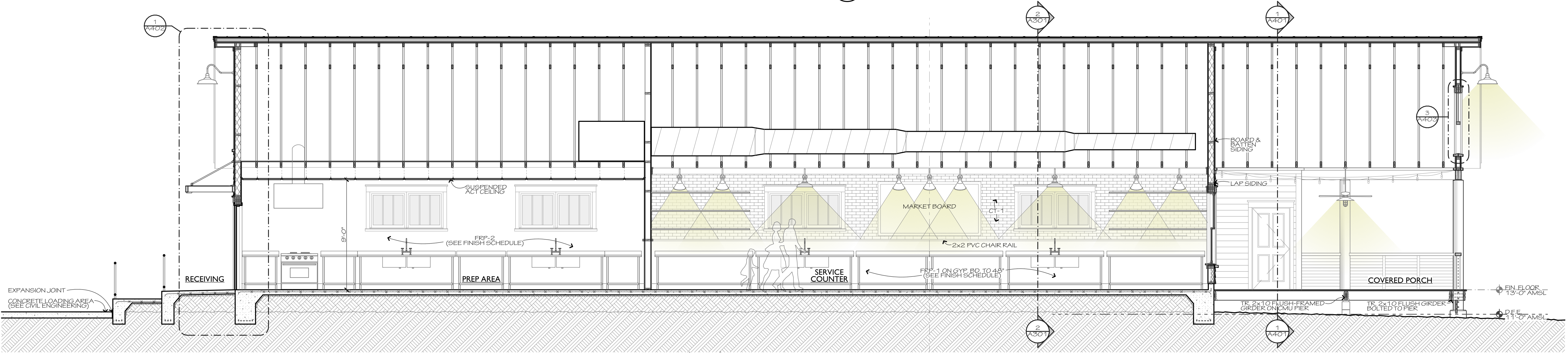
These documents & designs are the property of Parker Design Group Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
 Copyright © 2021 PDGArchitects.



**1 PORCH SECTION**  
 A301 SCALE: 1/4" = 1'-0"



**2 MARKET SECTION**  
 A301 SCALE: 1/4" = 1'-0"



**3 LONG SECTION**  
 A301 SCALE: 1/4" = 1'-0"

**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKETPLACE**  
 175 Squire Pope Rd.  
 Hilton Head Island, SC 29926

REVISIONS	

DRAWN BY  
 JD  
 CHECKED BY  
 JD  
 DATE OF ISSUE  
 5/25/2021  
 SCALE  
 AS SHOWN  
 JOB NO.  
 2020  
 SHEET

**BUILDING SECTIONS**  
**A301**



These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced in any way for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
 Copyright © 2021 PDG|Architects.

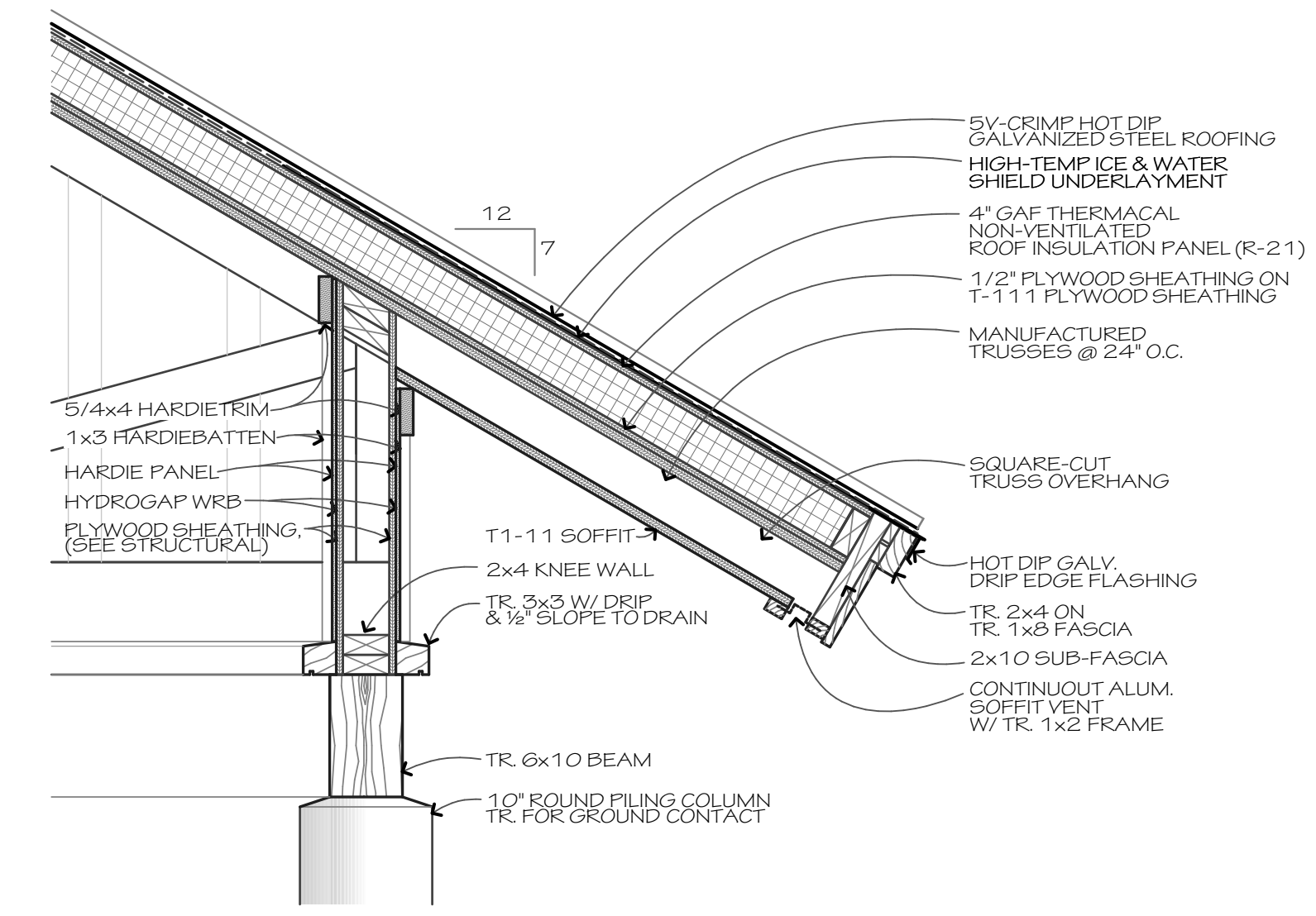
**BENNY HUDSON SEAFOOD LOCAL SEAFOOD MARKETPLACE**  
 175 Squire Pope Rd.  
 Hilton Head Island, SC 29926

REVISIONS

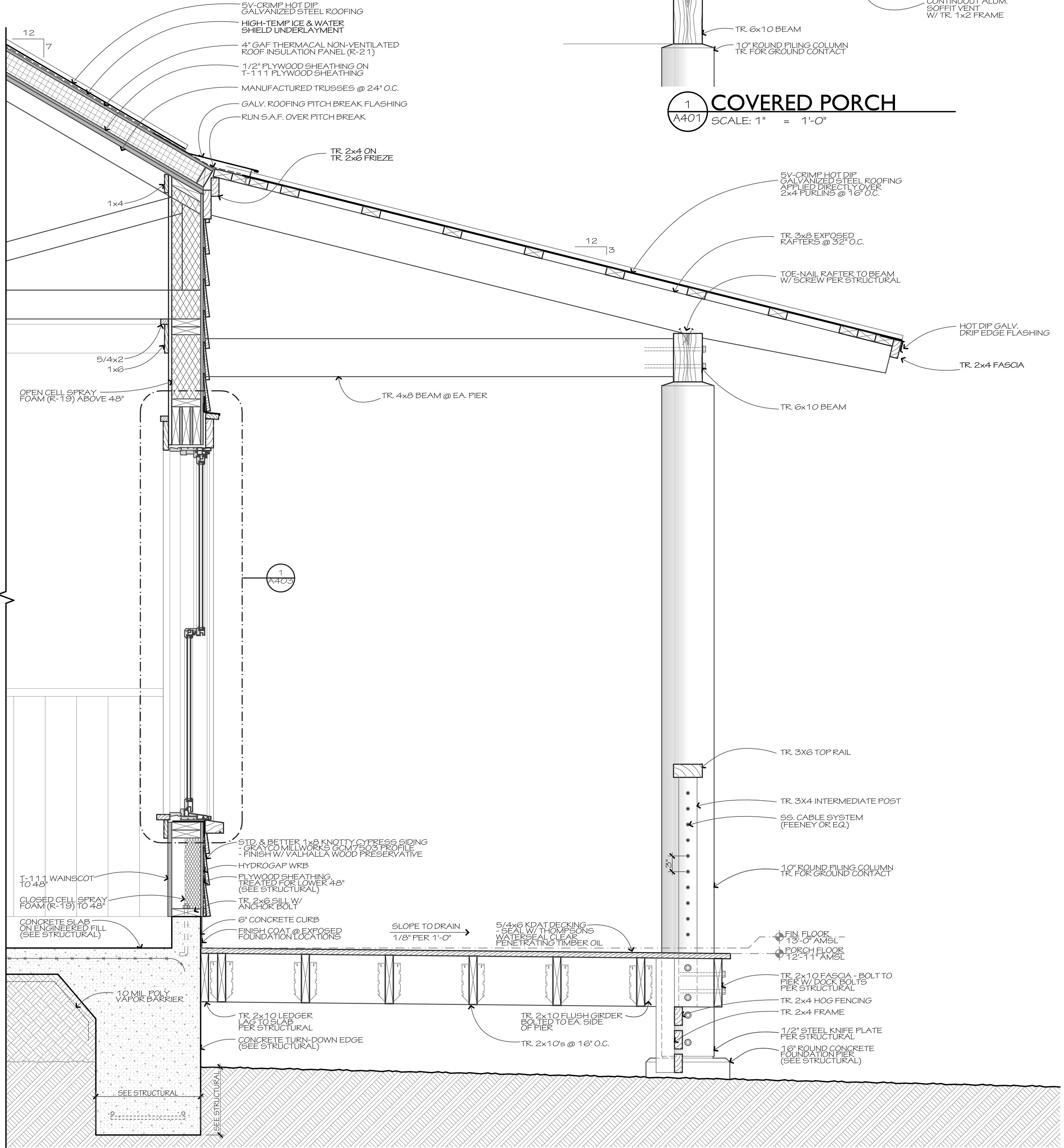
NO.	DESCRIPTION

DRAWN BY  
 JJD  
 CHECKED BY  
 JJD  
 DATE OF ISSUE  
 5/25/2021  
 SCALE  
 AS SHOWN  
 JOB NO.  
 2020  
 SHEET

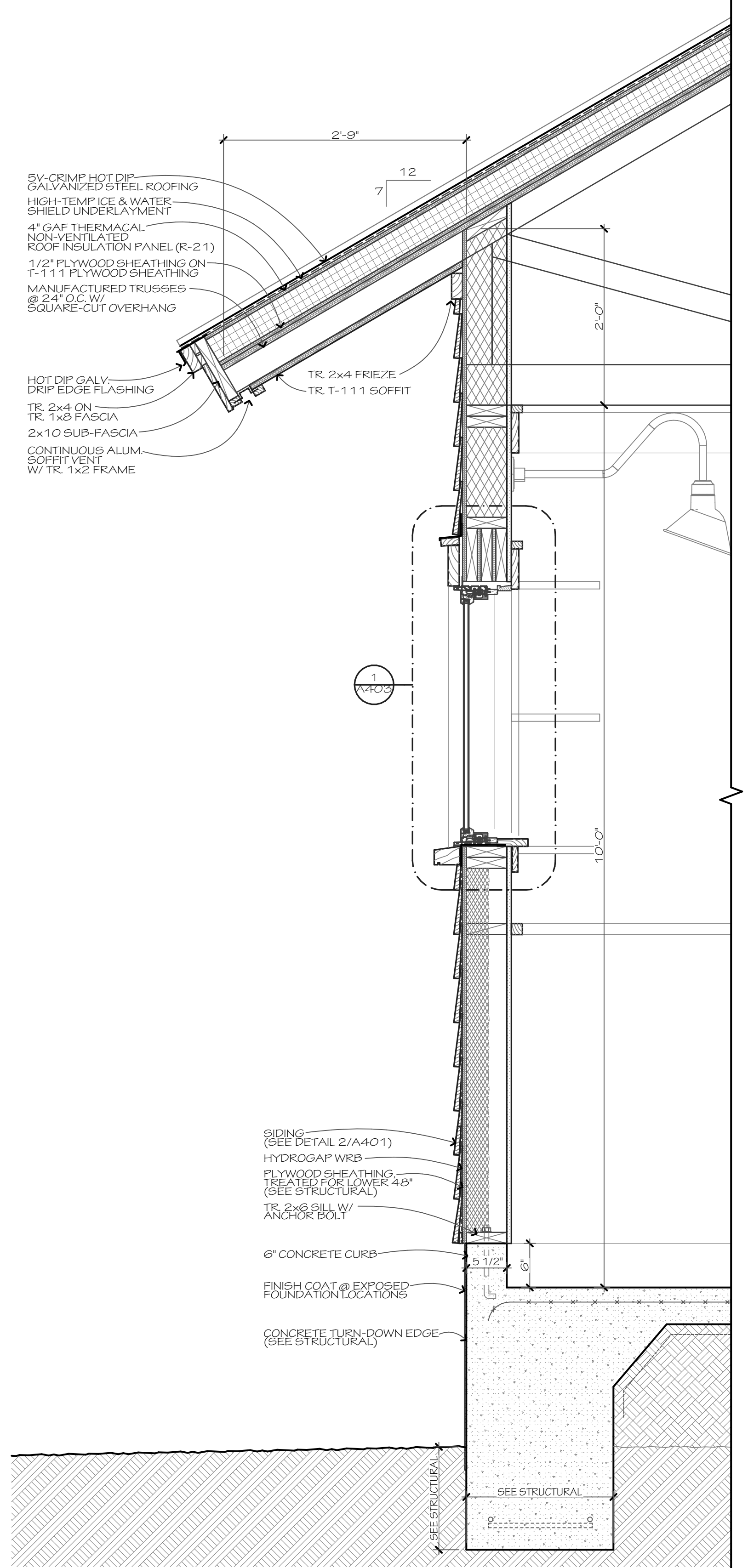
WALL SECTIONS  
**A401**



**1 COVERED PORCH**  
 A401 SCALE: 1" = 1'-0"



**3 ENTRY PORCH**  
 A401 SCALE: 1" = 1'-0"



**2 TYP. WALL**  
 A401 SCALE: 1" = 1'-0"

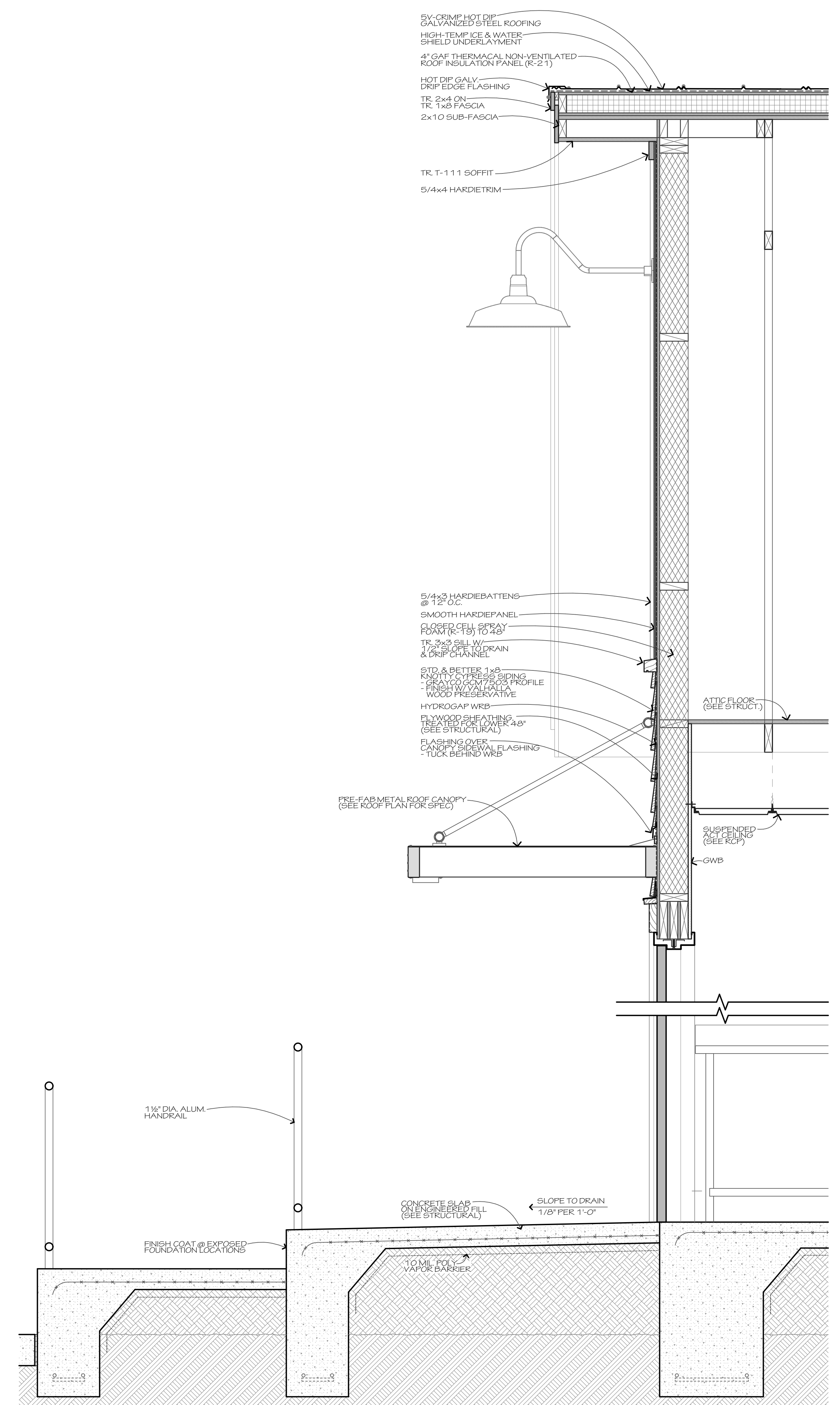


These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner.  
 Copyright © 2021 PDG|Architects.

**BENNY HUDSON SEAFOOD**  
**LOCAL SEAFOOD MARKETPLACE**  
 175 Squire Pope Rd.  
 Hilton Head Island, SC 29926

REVISIONS	

DRAWN BY  
 JD  
 CHECKED BY  
 JD  
 DATE OF ISSUE  
 5/25/2021  
 SCALE  
 AS SHOWN  
 JOB NO.  
 2020  
 SHEET



**1**  
**A402** GABLE END WALL  
 SCALE: 1" = 1'-0"

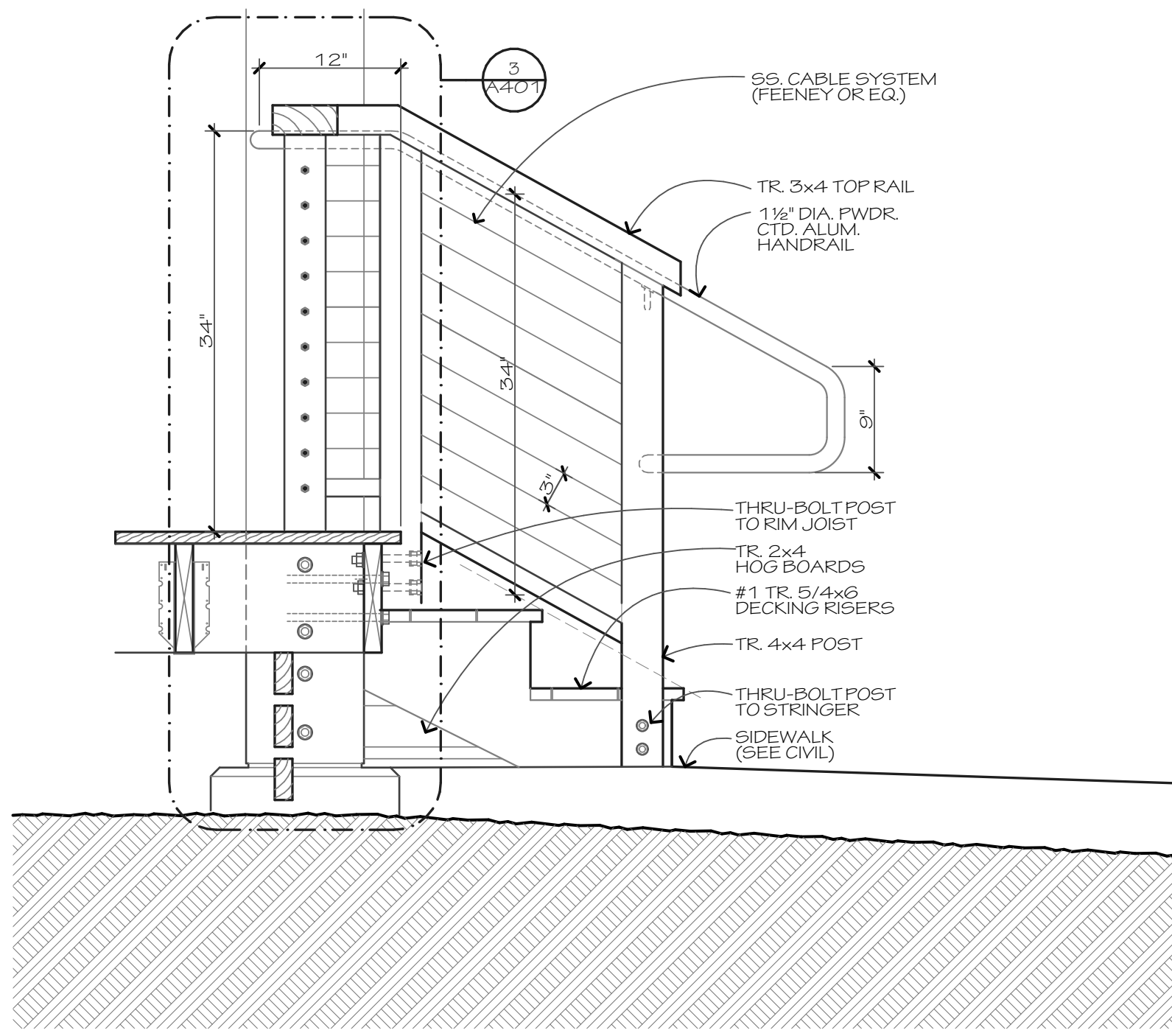
**WALL SECTIONS**  
**A402**



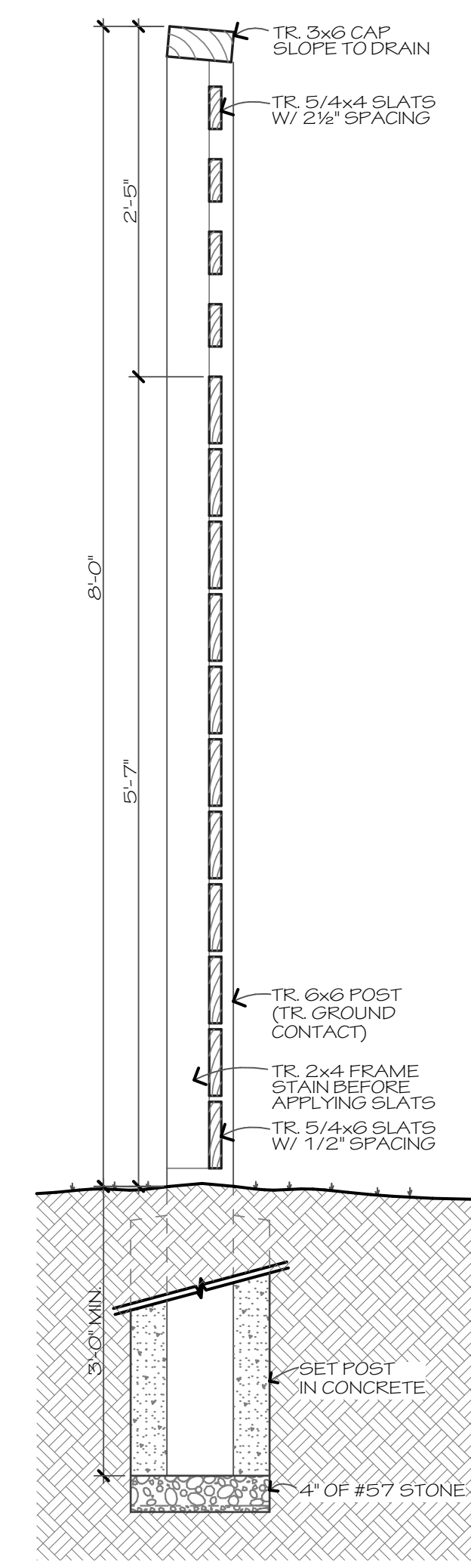
These documents & designs are the property of Parker Design Group Architects & are not to be used or reproduced in any form or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner. Copyright © 2021 PDGArchitects.

REVISIONS	

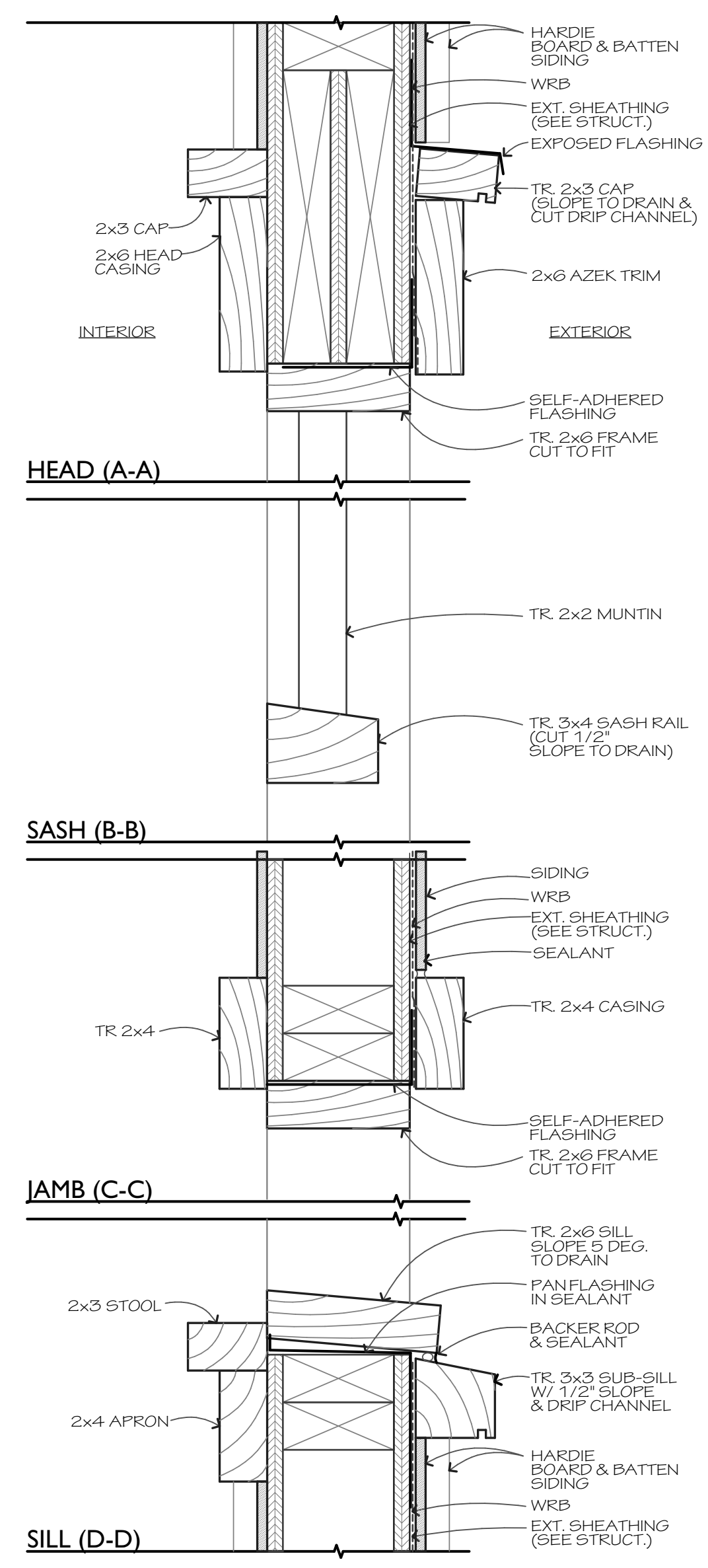
DRAWN BY  
JD  
 CHECKED BY  
JD  
 DATE OF ISSUE  
5/25/2021  
 SCALE  
AS SHOWN  
 JOB NO.  
2020  
 SHEET



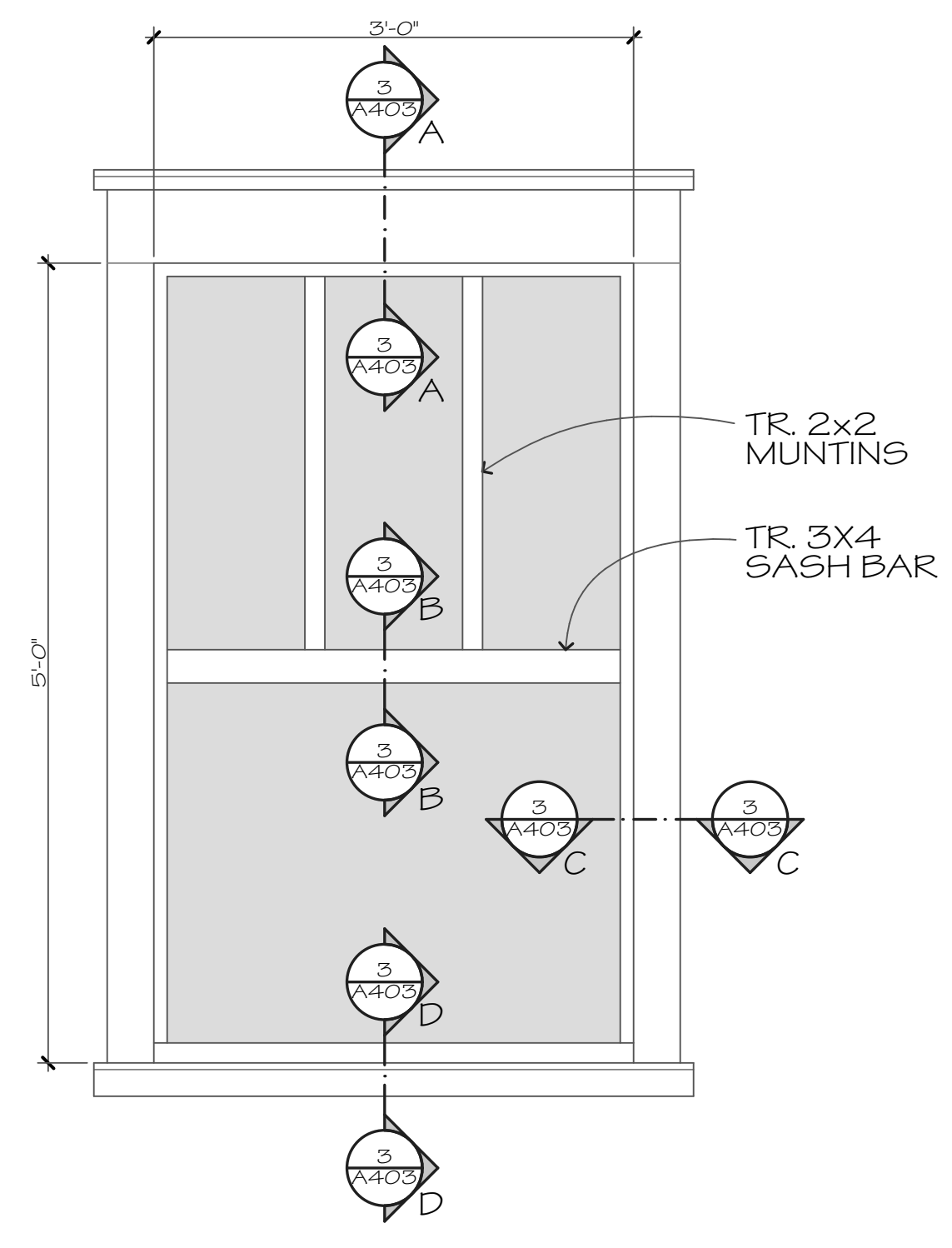
**5 PORCH STAIR & HANDRAIL**  
 A403 SCALE: 1" = 1'-0"



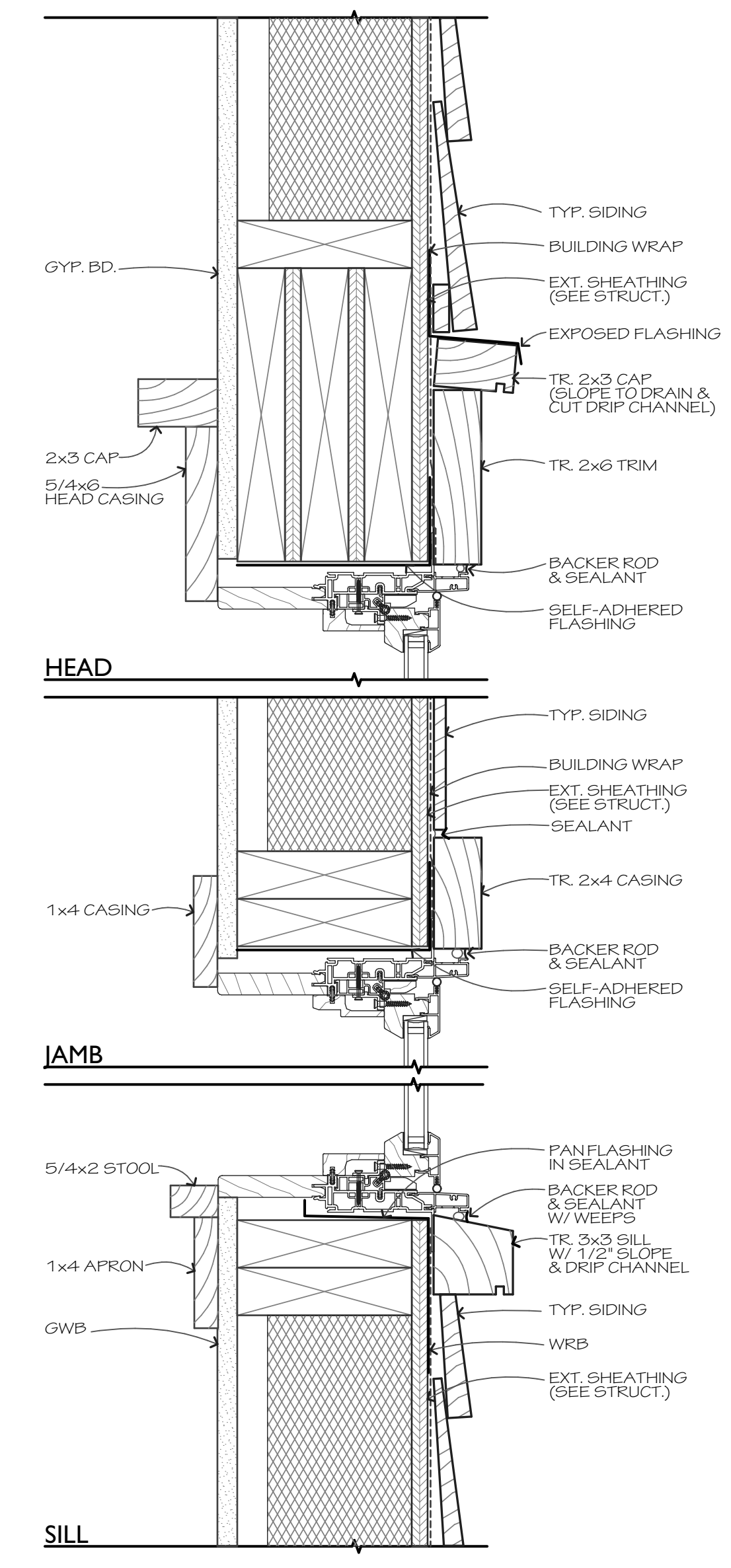
**4 SCREEN WALL**  
 A403 SCALE: 1" = 1'-0"



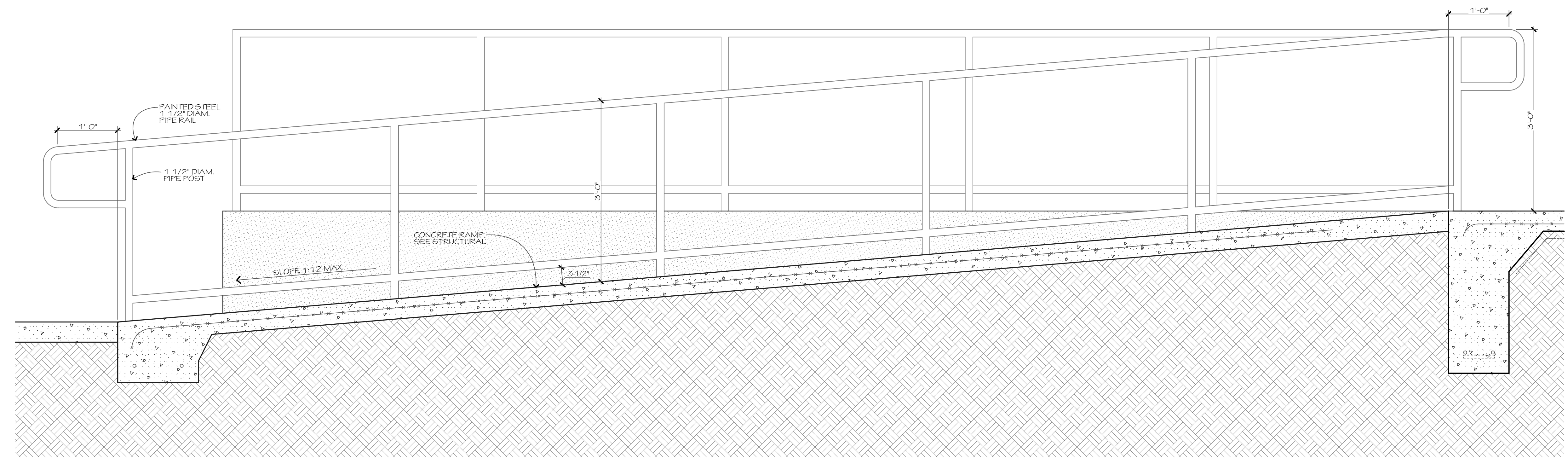
**3 FALSE WINDOW SECTION**  
 A403 SCALE: 3" = 1'-0"



**2 FALSE WINDOW ELEVATION**  
 A403 SCALE: 1" = 1'-0"



**1 WINDOW SECTION**  
 A403 SCALE: 3" = 1'-0"



**6 RECEIVING RAMP HANDRAIL**  
 A403 SCALE: 1" = 1'-0"



5-V CRIMP ROOFING  
GALVANIZED STEEL



NATURAL CYPRESS SIDING  
W/ VALHALLA WOOD PRESERVER



WINDOWS &  
WINDOW TRIM  
COLONIAL RED 054  
SIERRA PACIFIC



TRIM & FASCIA  
SW7024 FUNCTIONAL GRAY  
SHERWIN WILLIAMS



TREATED WOOD POSTS,  
BEAMS & HANDRAILS  
THATCH  
(SEMI-TRANSPARENT STAIN)  
CABOT

LIGHTING  
GALVANIZED  
SEE LIGHTING SCHEDULE



BOARD & BATTEN SIDING  
SW 7025 BACKDROP  
SHERWIN WILLIAMS



Proposed Exterior Materials & Colors  
**BENNY HUDSON SEAFOOD**  
LOCAL SEAFOOD MARKETPLACE

Hilton Head Island, SC  
5/24/2021

**pdg** ARCHITECTS  
parkerdesigngrouparchitects  
843.785.5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Benny Hudson Seafood

DRB#: DRB-001319-2021

DATE: 05/28/2021

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

RECOMMENDED CONDITIONS:

<b><i>ARCHITECTURAL DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Conceptual Comment - Select a less reflective color for the roof.</b> Staff suggest a less reflective color, grey or gunmetal that suggest metal.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Conceptual Comment - Consider making the body of the building a shade darker. The sun will wash out the colors to near white.</b> The revised color is still very light.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Conceptual Comment - Provide lighting plan with temperature and foot candles for all fixtures including those mounted on building at final.</b> Plan exceeds average allowed by LMO.

<b><i>NATURAL RESOURCE PROTECTION</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Conceptual Comment - Provide tree protection plan for oaks at water.</b> Tree protection should include as much of the drip line as possible. Move tree



				protection fence to dripline or within 10' max of construction.
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	On sheet C3.0 the double silt fence should be on the upland side of the 20' Buffer and at the tree protection fence in that area. The 20' Buffer should be undisturbed. Revise the landscape plan to indicate this area is undisturbed.

<b><i>MISC COMMENTS/QUESTIONS</i></b>





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Faith Goddard Company: Sign D'Sign  
 Mailing Address: 270 Red Cedar Street, Suite 102 City: Bluffton State: SC Zip: 29910  
 Telephone: 843-757-7057 Fax: 843-757-8057 E-mail: fgoddard@sign-dsign.com  
 Project Name: Chow Daddy's Monument Sign [New] Project Address: 14B Executive Park Rd. Hilton Head Island SC 29928  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: Town of Hilton Head Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Alicia Benbennick

Digitally signed by Alicia Benbennick  
Date: 2021.05.25 16:47:12 -0400

05/25/2021

SIGNATURE

DATE



# CHOW DADDY'S | NEW MONUMENT

One new monument to read "<Address> <Logo> Chow Daddy's Tacos Burgers Bar" "Tenant Panel 1 & 2" to be installed onto either side of the face. The letters and star for the logo as well as the address letters will be re-used from the previous monument, and reinstalled onto either side of the face using stud mounts and a pattern for alignment. The letters for "Tacos - Burgers - Bar" and will be installed onto each side of the monument face, below the existing logo. The new letters will be made using 1/2" thick flat cut acrylic and will be painted as noted below. The letters will be installed on either side of the face using stud mounts. There will be two new tenant panels for each side made of 1.5" thick routed HDU which will be routed out at 1/4" depth on the face, with no border and a recessed background with a simulated wood grain texture. The letters will be raised off of the background and the signs will be painted as noted. The tenant panels will be mounted to either side of the face using screws in all four corners. The letters will be manufactured and painted to the outlined size and color specifications listed below and will not be internally illuminated. The font used is Helvetica LT STD Black Condensed.

The new monument will replace the current monument in it's spot, with the current landscape plan. The columns will be stucco covered block columns which will be painted. The face will be reclaimed barn wood and will be mounted between the stucco columns using stringers and brackets, as shown. The structure will feature a lattice wood feature across the top made of 4"x4"x11' beams with cut out pieces between them. There will be one on each side above the face and it will be secured to the top of the structure by being screwed into the columns on both sides, at both ends. The new monument will be placed 10 ft from the right of way as the previous monument, and be set into the ground 2' deep with concrete footers.

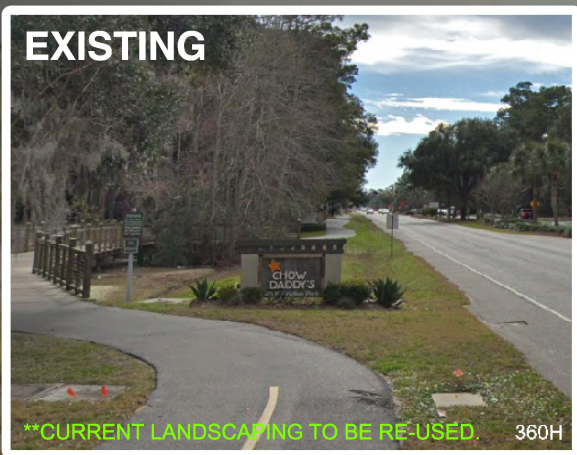
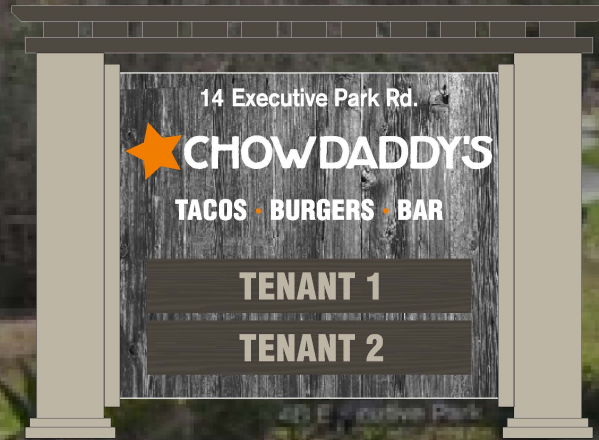
- RECLAIMED WOOD BACKER
- SW 7051: ANALYTICAL GRAY [PILLARS & TNT TEXT]
- SW 7020: BLACK FOX [TOPPER & TNT PANELS]
- PMS 144 [STAR & SUB TEXT]
- NAVAJO WHITE [LOGO TEXT, DOTS & ADDRESS]
- [TOPPER & TNT PANELS]

**PROPOSED: 14 EXECUTIVE PARK ROAD, HILTON HEAD ISLAND, SC 29928**





**PROPOSED:**



**EXISTING**

\*\*CURRENT LANDSCAPING TO BE RE-USED. 360H





## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Chow Daddy's Sign

DRB#: DRB-001325-2021

DATE: May 27, 2021

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Landscape plan to address modifications to the existing plantings to be approved by staff as part of the sign permit.