



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, November 9, 2010
1:15 p.m. – Conference Room 3

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** - Meeting of October 26, 2010
6. **Staff Report**
7. **Board Business** – Brief- Scheduled October 12, 2010 Meeting
8. **Unfinished Business**
 - A) 200 Central Avenue- DR090013
 - B) Holy Family Church- DR100010
9. **New Business**
 - A) Minor External Change- Ocean Dunes Villas Re-Roof- DR100045
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

The Town of Hilton Head Island
DESIGN REVIEW BOARD
Minutes of the Tuesday, October 26, 2010 Meeting
1:15pm – Benjamin M. Racusin Council Chambers

DRAFT

Board Members Present: Acting Chairman Todd Theodore, Ted Behling,
Scott Sodemann and Galen Smith

Board Members Absent: Chairman Tom Parker and Jennifer Moffett

Council Members Present: Bill Ferguson

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Plans Review Administrator
Sally Krebs, Natural Resources Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Acting Chairman Todd Theodore called the meeting to order at 1:15pm.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

The agenda was **approved** as presented by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the September 28, 2010 meeting were **approved** as presented by general consent. On October 12, 2010 the Design Review Board was unable to conduct official business due to the lack of a quorum. Several Board members did attend on that date, and an informal discussion was held on the agenda's business items. No official action was taken. A notice reflecting the discussion held on October 12th will be included in the November 9, 2010 packet.

6. STAFF REPORT

Mr. Roan reported that training on Form Based Codes will be held in Council Chambers immediately following today's business meeting.

7. BOARD BUSINESS

The Design Review Board **approved** the Schedule of Meetings for 2011 as presented by staff.

8. UNFINISHED BUSINESS

Honey Horn - Armstrong-Hack House Renovations - DR100040 – Alteration/Addition

Mr. Roan presented background details on the application. The applicant proposes to renovate the Armstrong/Hack House to use as an office facility. The new facility will house a reception area, museum employee offices, conference space, copy/workroom, restrooms, and a break room. The staff believes that the proposal is a successful renovation of an existing building and recommends approval pending clarification of any impacts to the trees. Minimal landscape is in keeping with the facility. Long-term maintenance should be commensurate with that of the Main House. Mr. Roan stated that existing trees are not shown on the site plan, so it is impossible to estimate what the impact to the trees will be. There are several trees on the same side of this structure as the proposed construction.

The Board and the staff discussed the site, the location of existing trees, and the proposed project. The Board agreed with the staff's recommendation for approval. Following final comments, Chairman Theodore requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Honey Horn Armstrong-Hack House Renovation application as presented by the staff. Mr. Sodemann **seconded** the motion and the motion **passed** with a vote of 4-0-0.

Parkway Medical Center - DR100039 – Minor External Change

Mr. Roan presented background details on the application. The applicant (Coastal States Bank) is proposing to install a secondary entry with all materials and colors to match the existing. Mr. Roan reviewed the site plan, the elevations, and the proposed project. The staff believes that the finish and divided light pattern of the new door should reflect those at the main entry. Some sort of alcove or even minimal roof element at the new entry might lend it some significance in form and function.

Mr. Roan stated that the new door will require a pathway and details regarding the pathway were not included in the submission. These details will be required. Any landscape that is affected by construction of the project will need to be remedied. The Board and the staff discussed the site, the pathway, and the proposed project. Following this discussion, Chairman Theodore requested that a motion be made.

Mr. Sodemann made a **motion** to **approve** the Parkway Medical Center application with the following conditions: (1) the new door shall be painted the same color as the existing window frames; (2) the muntin pattern of the new door shall complement the existing main entry door; (3) a site plan shall be provided that includes details for the pathway connection between the parking lot and the new door. Landscaping details shall be included in the submission. Mr. Behling **seconded** the motion and the motion **passed** with a vote of 4-0-0.

Courtside Villas - DR100041

Mr. Roan presented background details on the application. The applicant is requesting a slight color change (as shown on the applicant's color board). They are replacing the existing wood siding and railings with stucco and aluminum, respectively. The existing rough sawn lap siding is in poor condition and in need of repair. The applicant would like to remove the existing siding areas and replace it with hard coat stucco. The use of hardie-plank is also an option. The

applicant would like to remove the existing hand rails and replace them with code approved aluminum handrails. The aluminum railings will be powder-coated. The parameters of the Design Guide would favor keeping the lap siding over the stucco replacement. Any impact to the existing landscape should be repaired with material of equitable size, species, and location.

The Board and the staff discussed the existing site and the proposed project. The Board agreed with the staff's comments. Following final comments by the Board, Chairman Theodore requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Courtyard Villas application with the condition that the applicant shall protect the existing landscaping during construction. Mr. Sodemann **seconded** the motion and the motion **passed** with a vote of 4-0-0.

K-Shuttle - SIGN100165

Mr. Roan reported that this applicant is not ready to proceed with their application. They will resubmit at a later date.

9. NEW BUSINESS

Broad Creek Marina - Outdoor Bar – DR100042 – New Development Conceptual

Mr. Roan introduced the project and stated its location. Mr. Roan presented an in depth review of the existing site and the proposed project. Pending today's comments, the staff believes that the structural element of the project can continue moving forward. However, the issue regarding the existing live oak trees on site (particularly a 58" live oak tree) will need to be resolved prior to final approval.

Mr. Roan stated that the proposed roof structure utilizes four colors, all with a precedent on the Island, individually. The color samples are much more muted than what is indicated on the rendering. The corresponding wood elements (piles/poles) and finishes (creosote) indicate a facility that has gone through several evolutions over a long period of time, reinforcing the roof palette. All elements reviewed individually might seem non-compliant to the *Design Guide*, but collectively, they complement one another nicely, relative to the program.

The staff stated that an ADA compliant seat will be required at the bar with a counter height of 36" above FFE. The floor plans do not designate any equipment inside the building. A hood system may be required, and the hood vent is not shown on the elevations. The proposed site is partially in a 'C' zone---no minimum floor elevation is required--- and partially in an 'A7' zone which requires a minimum first floor elevation of 14' msl. The site appears to be all at elevation 14' and higher.

Mr. Roan reported that placement of the structure relative to the specimen (58") live oak tree shown on the site analysis will be critical for approval (relative to DRB and Development Plan Review approval). As shown today, the structure needs to be moved -- Ms. Sally Krebs agreed with these statements on behalf of the Natural Resources Department. An approved landscape plan with a full plant schedule will be required in order to issue a Notice of Action for a Building Permit application.

Special care should be taken to reflect the native waterfront landscape and existing tree canopy. At the completion of staff's presentation, Chairman Theodore requested that the applicant make his presentation.

Mr. Dale Johnson, Architect, presented statements in support of the application. The applicant discussed the history of the project. The Board reported their concern with the multiple colors proposed for the roof. The Board recommended that the colors be toned down and reduced to two colors instead of four colors.

The Board and the applicant discussed the kitchen area, the bar, the storage area, the cooler, and the exhaust system. The Board and the applicant discussed the specimen trees and the need to change the location of the building in order to accommodate the 58" live oak tree. At the completion of the discussion, Chairman Theodore requested that a motion be made on the Conceptual application.

Mr. Sodemann made a **motion** to **approve** the Conceptual application for the Broad Creek Marina Outdoor Bar with the following conditions: (1) the roof colors shall be restudied; (2) a complete color board shall be provided for review and approval; (3) the applicant shall relocate the building as necessary based on the location of the existing 58-inch live oak tree. Mr. Behling **seconded** the motion and the motion **passed** with a vote of 4-0-0.

** (Chairman Theodore recused himself from review of the following application due to a potential conflict of interest. A Conflict of Interest Form was signed and attached to the record).*

Barony Beach Club Pool Bar - DR100043 – New Development Conceptual

** As there are only three Board members available to review this application (and this is not a quorum), the members may discuss the project and make comments only. No official action may be taken today.*

Mr. Roan introduced the project and stated its location. This project consists of a new pool side bar and grill for Marriott's Barony Beach Club. The new building will contain 395 square feet of conditioned space, and 899 square feet of covered, unconditioned space. The scale, form, materials, and colors will match the existing.

Mr. Roan reviewed the porch column details and metal roof details. Mr. Roan also reviewed the required flood proofing, the service yard, bar seating, kitchen, storage, cooler, and stucco details. The hood element details not shown on the drawings. The staff recommended approval with several conditions. At the completion of the staff's presentation, the Board requested that the applicant make his presentation.

Mr. Tom Crews, Architect, presented statements in support of the application. The applicant discussed flood proofing details, the elevations, ADA accessible seating, roof details, and hood element details.

Mr. Todd Theodore, Landscape Architect, presented statements with regard to existing trees and landscaping plans. The Board discussed the project in depth. Official action on this project will be taken on November 9, 2010.

Somerset - Re-Roof - DR100044 – Minor External Change

Mr. Roan introduced the project and stated its location. The applicant is proposing to replace the existing shingle roof with a new standing seam metal roof. Three colors have been provided by the applicant. Color choice # 1 (grey) is preferred by the applicant because it is the closest in color to the project's existing concrete tiles. The staff and the Board discussed the color choices and agreed with the preference for color # 1 (grey). Following staff's presentation and discussion by the Board, Chairman Theodore requested that a motion be made.

Mr. Sodemann made a **motion** to **approve** the Somerset re-roof application as presented by the staff with color choice # 1 (grey). Mr. Behling **seconded** the motion and the motion **passed** with a vote of 4-0-0.

10. APPEARANCE BY CITIZENS

None

11. ADJOURNMENT

The meeting was adjourned at 2:30p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Todd Theodore
Acting Chairman

**The Town of Hilton Head Island
Design Review Board
Tuesday, October 12, 2010 1:15p.m.
Benjamin M. Racusin Council Chambers**

**UNOFFICIAL
RECORD**

Board Members Present: Chairman Tom Parker, Ted Behling, and Scott Sodemann

Board Members Absent: Vice Chairman Todd Theodore, Jennifer Moffett, and Galen Smith

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Plans Review Administrator
Sally Krebs, Natural Resources Administrator
Kathleen Carlin, Administrative Assistant

Chairman Tom Parker was unable to call the scheduled meeting to order due to the lack of a quorum.

Chairman Parker, Mr. Behling, and Mr. Sodemann provided an unofficial review of the agenda's business items. This review included comments to the applicants who were present that afternoon. No official action was taken by the Board on any application.

For detailed information on the (*following*) applications, including a record of the Board's official actions, please refer to the signed DRB minutes dated October 26, 2010:

1. Unfinished Business
 - A) The Circle Building- Repaint- DR100038
2. New Business
 - A) Addition/Alteration
 - a) Honey Horn- Armstrong-Hack House Renovations- DR100040
 - B) Minor External Change-
 - a) Parkway Medical Center- DR100039
 - b) Courtyard Villas- DR100041
 - C) Sign-
 - a) K-Shuttle- SIGN100165

Kathleen A. Carlin
Administrative Assistant
Design Review Board

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT DRB#

DATE RECOMMEND APPROVE RECOMMEND APPROVE W/COND. RECOMMEND DENY

ARCHITECTURAL DESIGN		
The dormers appear to have wood siding on one elevation, and stucco on another, although this could very well be a drawing error, or misinterpretation by Staff. Form, details, materials and colors all match existing structure. Staff recommends approval of the structure, although there are some issues with the buildings site that need to be resolved.		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	
Minimum roof pitch of 6/12	Y	
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	Y	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	Y	
Details are clean, simple and appropriate while avoiding excessive ornamentation	Y	
Utilities and equipment are concealed from view	Y	

Decorative lighting is limited and low wattage and adds to the visual character	Y	
Accessory elements are design to coordinate with the primary structure	Y	

LANDSCAPE DESIGN
None submitted. A full landscape plan relative to the new structure will be required for Final Approval.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and		

location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		The plan shows the removal of a specimen 26 inch red oak. Unless the tree is hazardous, the LMO requires that a variance be obtained for specimen tree removal. The front walkway for the addition may have to be realigned to better protect the specimen 28 inch red oak adjacent to it.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

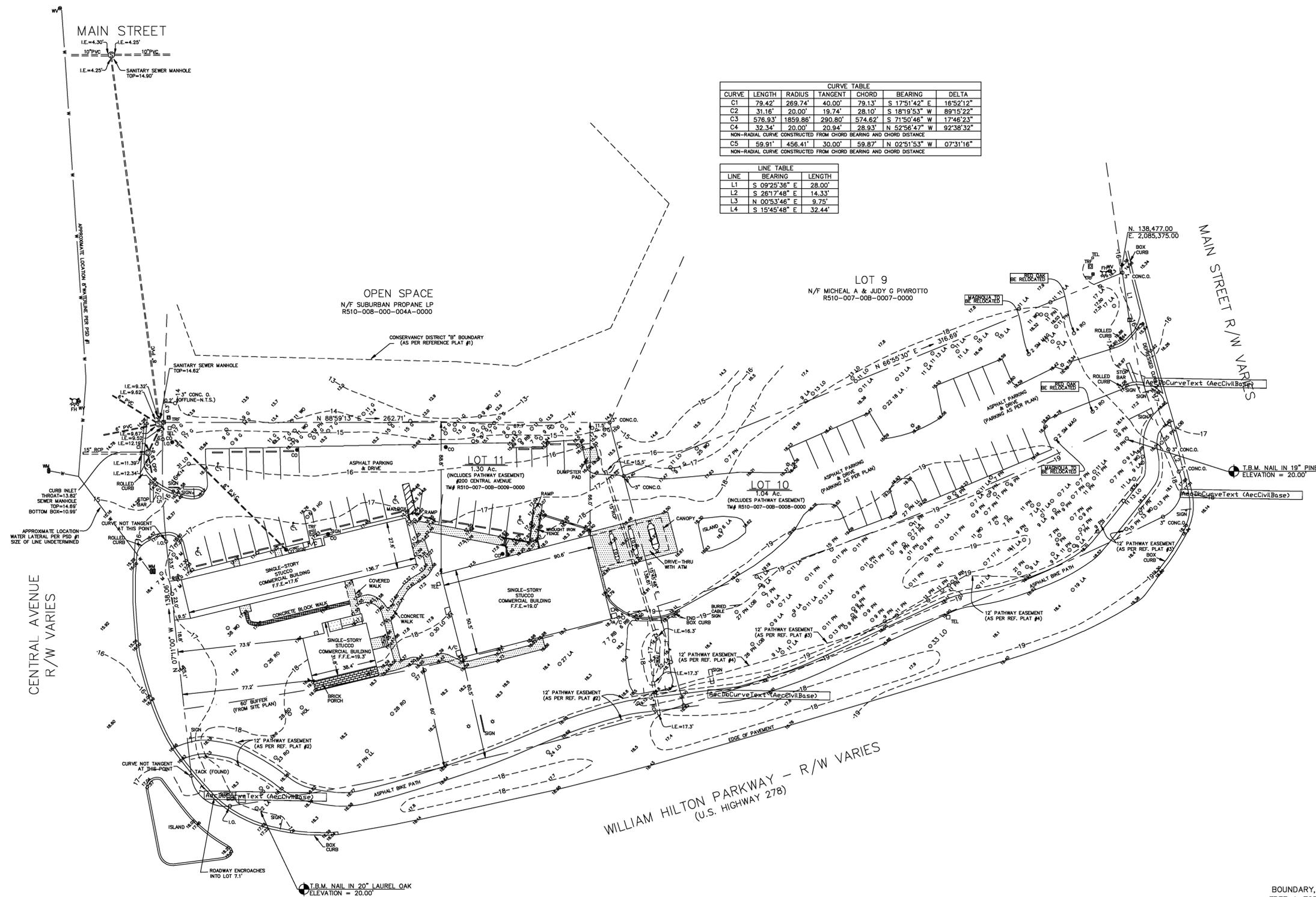
MISCELLANEOUS COMMENTS/QUESTIONS



VICINITY MAP
N.T.S.

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	79.42'	269.74'	40.00'	79.13'	S 17°51'42" E	18°52'12"
C2	31.16'	20.00'	19.74'	28.10'	S 18°19'53" W	89°15'22"
C3	576.93'	1859.86'	290.80'	574.62'	S 71°50'46" W	17°46'23"
C4	32.34'	20.00'	20.94'	28.93'	N 52°56'47" W	92°38'32"
NON-RADIAL CURVE CONSTRUCTED FROM CHORD BEARING AND CHORD DISTANCE						
C5	59.91'	456.41'	30.00'	59.87'	N 02°51'53" W	07°31'16"
NON-RADIAL CURVE CONSTRUCTED FROM CHORD BEARING AND CHORD DISTANCE						

LINE	BEARING	LENGTH
L1	S 09°25'36" E	28.00'
L2	S 26°17'48" E	14.33'
L3	N 00°53'46" E	9.75'
L4	S 15°45'48" E	32.44'



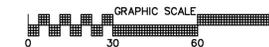
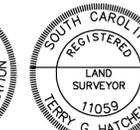
- LEGEND:
- SPOT ELEVATION
 - CONTOUR
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - T.B.M. TEMPORARY BENCH MARK
 - I.N. IRON PIN, NEW (SET)
 - C.P.P. CORRUGATED PLASTIC PIPE
 - F.F.E. FINISHED FLOOR ELEVATION
 - I.E. INVERT ELEVATION
 - P.V.C. POLYVINYL CHLORIDE PIPE
 - R.C.P. REINFORCED CONCRETE PIPE
 - B BAY
 - G GUM
 - H HICKORY
 - HO HOLLY
 - LA LAUREL OAK
 - LO LIVE OAK
 - M MAPLE
 - PN PINE
 - RB REDBUD
 - SM MAG SMALL MAGNOLIA
 - RO RED OAK
 - WO WATER OAK
 - A/C AIR CONDITIONER
 - CI CURB INLET
 - CO SEWER CLEAN-OUT
 - EO ELECTRICAL OUTLET
 - FH FIRE HYDRANT
 - SMH STORM MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - TEL TELEPHONE BOX
 - TRF TRANSFORMER
 - WM WATER METER
 - LAMP LAMP POST
 - PN LOB LOBLOLLY PINE
 - PN LL LONG LEAF PINE

- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 8-D, COMMUNITY NO. 450250, MAP DATED 9/28/86, BASE ELEVATION 10.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE REPORT.
 - STATE PLANE COORDINATES TAKEN FROM BEAUFORT COUNTY GIS.
 - APPROXIMATE UNDERGROUND WATERLINE LOCATIONS PER CHARLES WIRE (643-304-0630) OF HILTON HEAD PUBLIC SERVICE DISTRICT #1.

- REFERENCE PLATS:
- PARCELS G, G1, J & K, MAIN STREET, HILTON HEAD PLANTATION COMMERCIAL SUBDIVISION, DATED: 7/23/86, LAST REVISION: 8/8/88, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 35, PG. 364, 3/2/89.
 - 0.049 AC. PATHWAY EASEMENT, PART OF LOT 11, HILTON HEAD PLANTATION COMMERCIAL SUBDIVISION, DATED: 7/20/93, LAST REVISION: 6/2/94, BY: M.A. DUNHAM, S.C.R.L.S. NO. 11590, RECORDED: P.B. 50, PG. 65, 7/19/94.
 - 0.065 AC. PATHWAY EASEMENT, PART OF LOT 10, HILTON HEAD PLANTATION COMMERCIAL SUBDIVISION, DATED: 7/20/93, LAST REVISION: 5/13/94, BY: M.A. DUNHAM, S.C.R.L.S. NO. 11590, RECORDED: P.B. 50, PG. 19, 6/20/94.
 - 0.050 PATHWAY EASEMENT, EDWARD A. TEMPLE PROPERTY, PART OF LOT 10, PARCELS G, G1, J & K, MAIN STREET, DATED: 7/20/93, BY: M.A. DUNHAM, S.C.R.L.S. NO. 11590, RECORDED: P.B. 48, PG. 155, 2/28/94.
 - BOUNDARY, ASBLT, TREE & TOPOGRAPHIC SURVEY OF LOT 10-A, WILLIAM HILTON PARKWAY, HILTON HEAD PLANTATION COMMERCIAL SUBDIVISION, DATED: 2/18/2002, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.

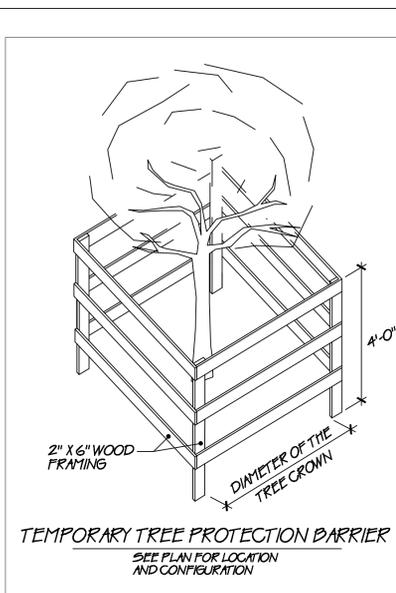
LOT	AREA
LOT 10	1.04 AC.
LOT 11	1.30 AC.
TOTAL AREA	2.34 AC.

PREPARED FOR: NED E. GILLELAND
ADDRESS: #200 & #210 CENTRAL AVENUE
TAX PARCEL I.D. NO. R510-007-008-0008 & 0009-0000

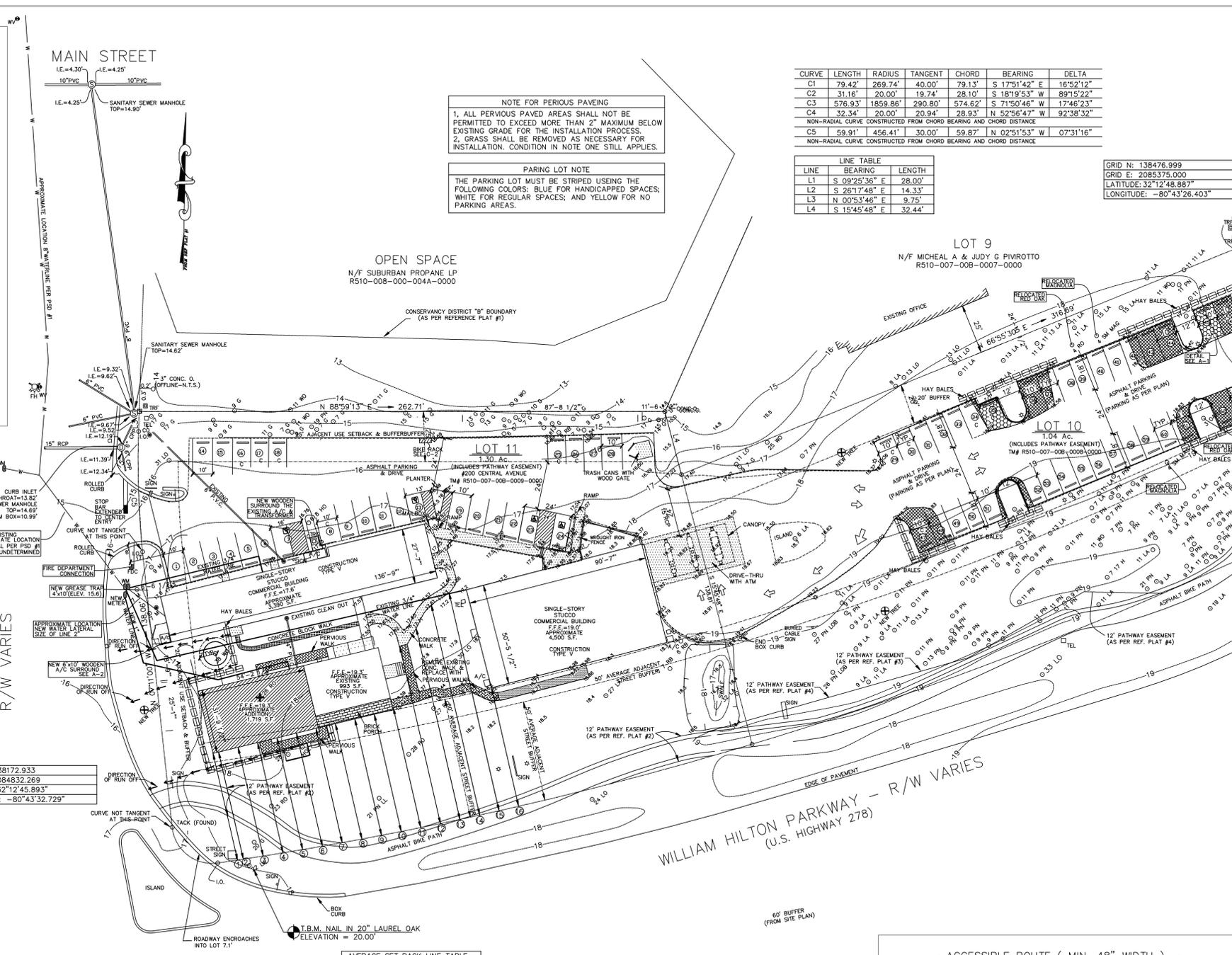


BOUNDARY, ASBLT,
TREE & TOPOGRAPHIC
SURVEY OF
LOTS 10 & 11
WILLIAM HILTON PARKWAY
A SECTION OF
HILTON HEAD PLANTATION
COMMERCIAL SUBDIVISION
HILTON HEAD PLANTATION
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
SCALE: 1" = 30' DATE: 01/16/2009 JOB NO: SC894341

SC SURVEYING CONSULTANTS
17 Sherington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3804 FAX: (843) 815-3805
GA Telephone: (912) 828-2775
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- LEGEND:**
- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CONTOUR
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - T.B.M. IRON PIN, NEW (SET)
 - C.P.P. CORRUGATED PLASTIC PIPE
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 - CO SEWER CLEAN-OUT
 - EO ELECTRICAL OUTLET
 - FH FIRE HYDRANT
 - SMH STORM MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - TEL TELEPHONE BOX
 - TRF TRANSFORMER
 - WM WATER METER
 - LAMP LAMP POST
 - PN LOB LOBLOLLY PINE
 - PN LL LONG LEAF PINE
 - FDC FIRE DEPARTMENT CONNECTION
- NEW PARKING**
- NEW PERVIOUS PARKING
 - EXISTING BUILDING
 - NEW BUILDING
 - EXISTING SIDEWALK
 - NEW PAVERS
 - EXTERIOR SEATING
 - SILT FENCE
 - HAY BALES OR SEDIMENT TUBES
- TEMPORARY FENCE FOR THE PROTECTION OF TREES**
- A/C SURROUND

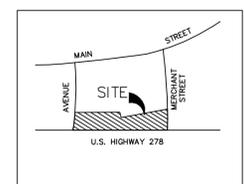


CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	79.42'	269.74'	40.00'	79.13'	S 17°51'42" E	16°52'12"
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NON-RADIAL CURVE CONSTRUCTED FROM CHORD BEARING AND CHORD DISTANCE
NON-RADIAL CURVE CONSTRUCTED FROM CHORD BEARING AND CHORD DISTANCE

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L2	S 26°17'48" E	14.33'
L3	N 00°53'46" E	9.75'
L4	S 15°45'48" E	32.44'

GRID N: 138476.999
GRID E: 2085375.000
LATITUDE: 32°12'48.88"
LONGITUDE: -80°43'26.403"



PROPOSED PARKING	
BANK AREA	4500.00 SF.
NEW STRUCTURE	1,719 SF.
EXISTING STRUCTURE	999 SF.
EXISTING RETAIL STRUCTURE	3390 SF.
TOTAL	10,608 SF.

DISTURBED AREA	
BUILDING ADDITION	1,719 SF.
SIDEWALK ADDITION (PERVIOUS)	157 SF.
PARKING ADDITION (PERVIOUS)	2,854 SF.
TOTAL	4,730 SF.

PREVIOUS vs. IMPERVIOUS	
PREVIOUS AREA OPEN SPACES	99,808 SF.
ADDED PERVIOUS AREA	2,551 SF.
IMPERVIOUS AREA	1,719 SF.

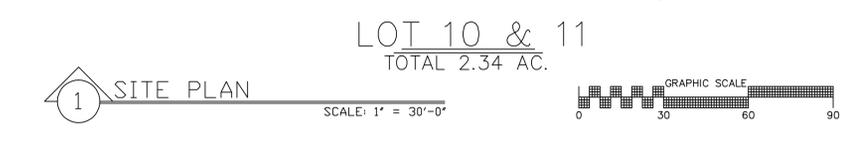
REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION. DRAWINGS ARE THE PROPERTY OF DIVERSIFIED DESIGNS P.C.

REVISIONS
REV 8-12-10

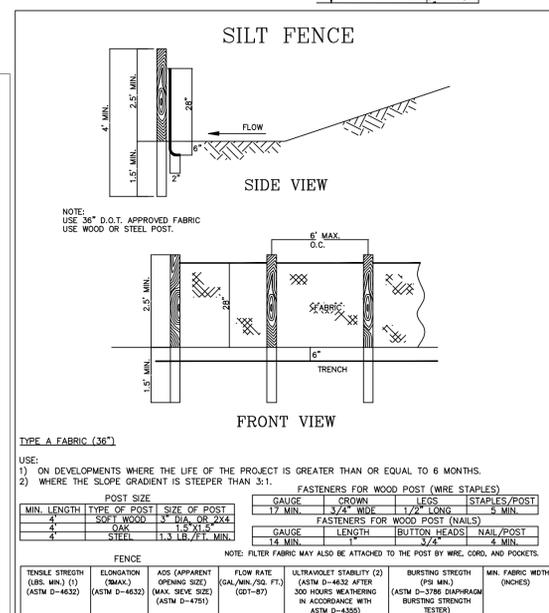
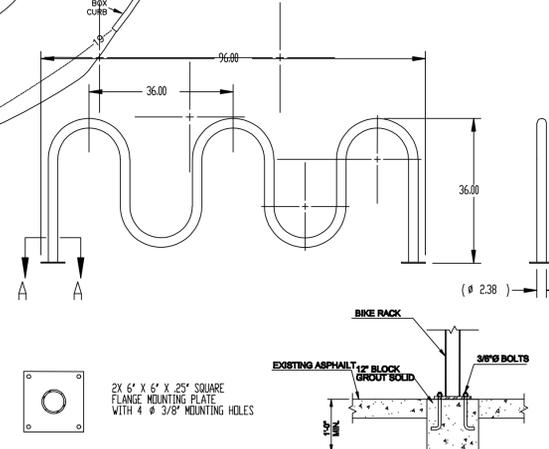
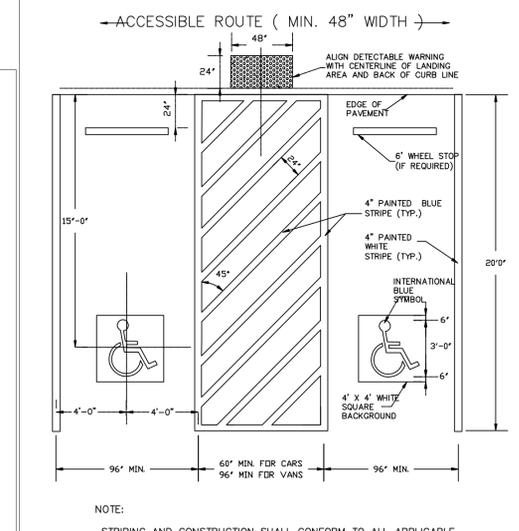
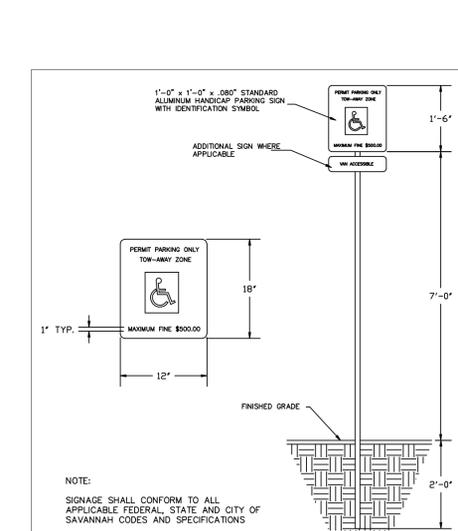
DIVERSIFIED DESIGNS P.C.
P.O. BOX 1397, 11 JONES AVE.
TYBEE ISLAND, GA. 31328
EMAIL: dds@diversifiedesigns.com
(912)786-7945 (912)786-7943 FAX

GILLELAND OFFICE & RETAIL COMPLEX ADDITION
200 CENTRAL AVENUE
LOT # 10 & 11 U.S. HWY 278, A PART OF MAIN ST.
HILTON HEAD PLANTATIONS COMMERCIAL SUBDIVISIONS

DRAWN BY: S.R.
CHECKED BY:
DATE: 12-09-08
SCALE: 1" = 30'-0"
PROJECT# SEA PINES



LINE	LENGTH
1	54'-6"
2	54'-9"
3	55'-7"
4	56'-4 1/2"
5	57'-1"
6	57'-0"
7	58'-4 1/2"
8	58'-11"
9	59'-5"
10	59'-10 1/2"
11	61'-2 1/2"
12	90'-9"
13	97'-7"
14	107'-5 1/2"
15	111'-3 1/2"
16	60'-6"
TOTAL	1,101'-5"
	16 = 68'-10"







NBSC



www.nbsc.com







Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Barry Taylor, AIA Company: The FWA Group
 Mailing Address: P.O. Box 5910 City: HHI State: SC Zip: 29938
 Telephone: 843-785-2199 Fax: 843-785-6801 E-mail: b.taylor@fwagroup.com
Holy Family Catholic Church
 Project Name: Additions/Renovations Project Address: 24 Pope Avenue
 Parcel Number [PIN]: R 552-015-0076
 Zoning District: CC Overlay District(s): COR

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757. Resubmittal of project
 Project Category: DR1000010
 _____ New Development – Conceptual _____ x _____ Alteration/Addition
 _____ New Development – Final, indicate Project Number _____ Minor External Change

Submittal Requirements for *All* projects:

_____ Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

_____ Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

_____ Final site development plan meeting the requirements of Sec. 16-3-303.F.

_____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

A written narrative describing how project conforms to design guidelines of Section 16-4-503.

Photographs and/or drawings of existing development.

Drawings of the proposed development - 11"x 17".

_____ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*;
Stating manufacturer and material name (to match existing)

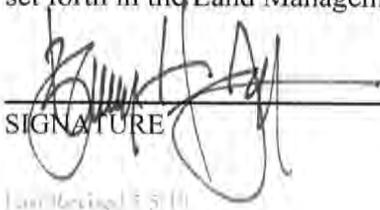
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10/26/10

DATE

HOLY FAMILY CATHOLIC CHURCH - ADDITIONS / RENOVATIONS

*Narrative for the Town of Hilton Head Island's Design Review Board
Submittal (Meeting date November 9, 2010)*

This is a resubmittal to previously approved project #DR100010.

Holy Family Catholic Church has asked The FWA Group to help them in the development of improvements to the existing church Meeting Hall (Seitz Hall), Administration Offices and Rectory spaces.

The existing church campus encompasses 9.29 acres bordered by Pope Avenue to the east and Wood Haven Drive and Wood Haven Lane to the southwest and south respectively. The Seabrook is located on the western edge of the property and St. Andrew's by the Sea Methodist Church is located to the north. Wood Haven Lane does cut the site into two distinct parcels of 8.51 and .78 acres. The site is in the Commercial Center zoning district and is in the Corridor Overlay District.

The main church sanctuary; a one-story building housing the rectory, meeting space (Seitz Hall), and administrative business offices; and a one-story classroom and social hall (Schiller Hall) are currently located on the site. The main church sanctuary, rectory, administrative business offices, and Seitz Hall are all connected by enclosed spaces.

The project consists of interior renovations and a redesigned roof at the main entry of Seitz Hall. The existing main entry modified shed roof would be replaced with a gabled roof. This new gabled roof will alleviate poor roof drainage which has contributed to a long standing water intrusion problem. At the back of Seitz Hall the existing roof will be extended in one location to provide weather protection to a relocated exterior Kitchen door. The entire roof area of Seitz Hall will be replaced with new asphalt shingles.

In addition, the existing administration and rectory spaces located between Seitz Hall and the existing Sanctuary will be demolished and rebuilt. The existing spaces are currently plagued with some water intrusion and mold problems that the church has tried to solve in the past.

New Administration and Rectory spaces will be built at the same location as the existing but raised approximately 8" above the existing floor elevation. A sloped walk will allow interior access between Seitz Hall and the Administration area. The square footage of the new construction will be 6,517 square feet. Seitz Hall has 4,806 square feet of existing space. A new 3-hour fire rated assembly will be

located between the Admin/Rectory space and the existing Sanctuary to comply with current IBC requirements.

Exterior finishes will include stucco and asphalt shingles to match existing. Windows and doors are to match existing. Detailing is kept to a minimum in order to stay within the design context of the existing structures.

Site work will be kept to a minimum with new grading provided within the construction area to maintain positive drainage. New concrete stoops will be provided at existing exterior doors at Seitz Hall, and a new concrete porch is located at the new kitchen entry. A new service yard is located at the north side of Seitz Hall. New concrete patios will be located outside the new Rectory living and bedroom areas.

Density for the site is well under the allowed level of 10,000 square feet per acre. Actual square footage will be approximately 37,994 total square feet within all buildings, existing and new. A total of 92,900 square feet is allowed.

Currently the site has (251) existing parking spaces, (11) which are designated as handicapped spaces.

Four small hollies (4"-8") at the rear of the building will need to be removed for the new construction.

New construction will be within all setbacks and buffers. No other portion of the site is affected by the proposed additions/renovations.

Thank you for your attention.

Holy Family Catholic Church – Additions / Renovations
October, 2010



Seitz Hall - Existing main entry. The lower roof over the entry is to be replaced with a gabled roof.



Seitz Hall – East elevation. The modified shed roof to the left is to be replaced with a new gable roof.



Seitz Hall - North elevation. Building to the far right shows the portion of Rectory/Administration area to be demolished.



Administration – South elevation. Portion of Seitz Hall modified shed roof to be replaced with a gabled roof is to the right. Building construction to the left of Seitz Hall (@ storefront entry) is to be demolished.



Administration/Rectory - Southwest portion to be demolished.



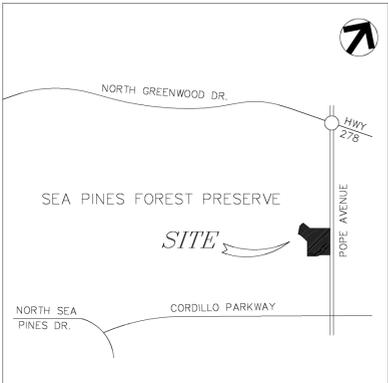
Main Sanctuary / Administration – Southwest building portion indicating garage connector from Administration to the main Sanctuary. Area to the right of Sanctuary is to be demolished.



North elevation of Rectory - Area to be demolished.

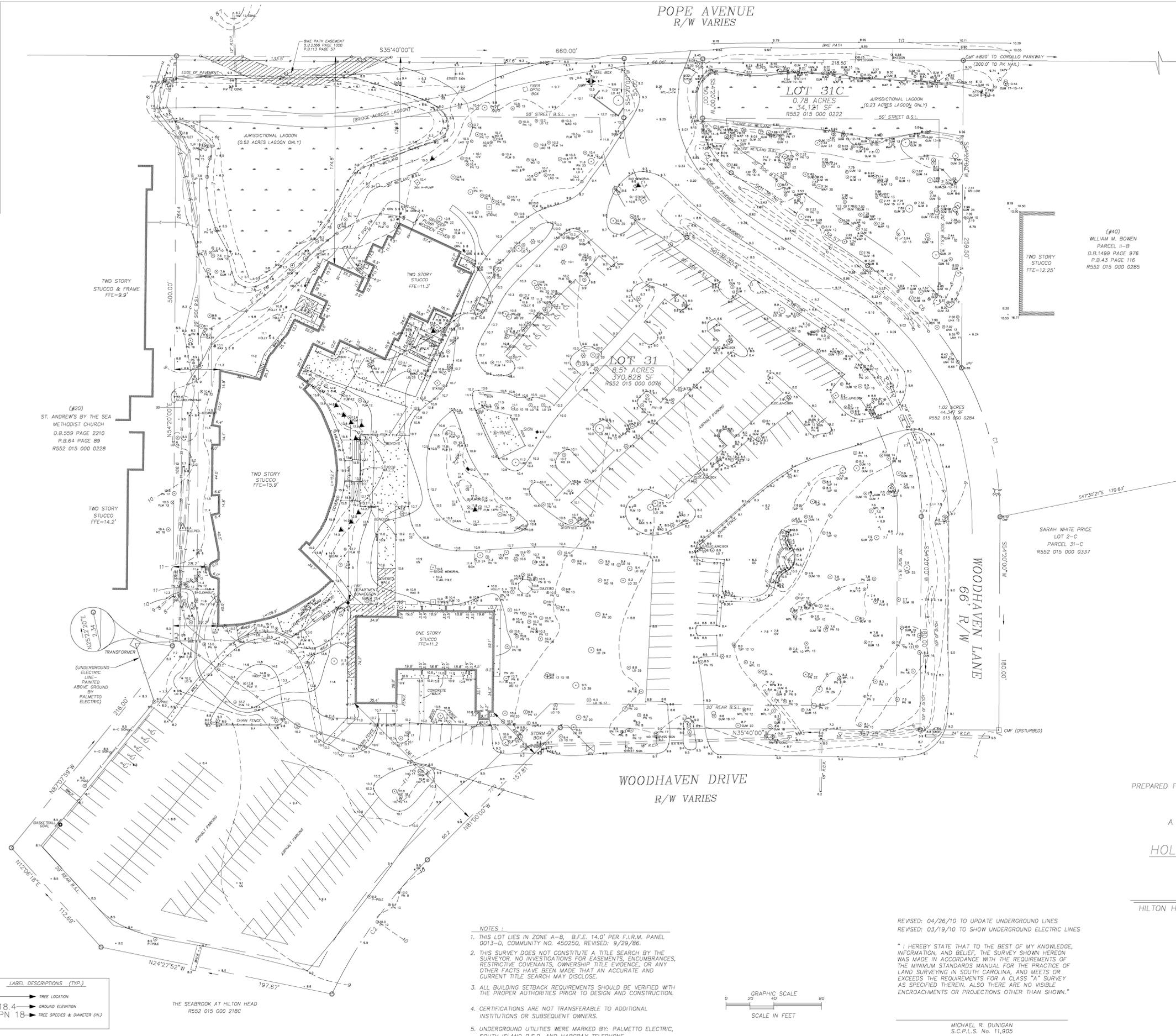
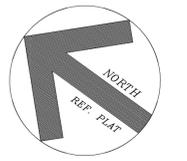


Existing Church Sanctuary to remain.



VICINITY MAP - N.T.S.

POPE AVENUE
R/W VARIES



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	255.20	131.22	129.78	S39°36'06"W	29°27'39"
C2	409.00	139.32	138.65	S89°14'30"W	19°31'02"
C3	121.50	118.63	113.97	S26°21'45"W	55°56'30"
C4	189.20	184.73	177.48	S26°21'45"W	55°56'30"
C5	55.50	54.19	52.06	S26°21'45"W	55°56'30"
C6	255.20	117.95	116.91	S11°38'00"W	28°28'57"

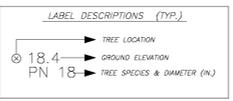
(#40)
WILLIAM M. BOWEN
PARCEL II-B
D.B.1499 PAGE 976
P.B.43 PAGE 116
R552 015 000 0285

PARCEL	AREA
PARCEL 0222	0.78 ACRES
PARCEL 0076	8.51 ACRES
PARCEL 0284	1.02 ACRES
TOTAL	10.31 ACRES

REFERENCE PLAT:
A TREE, TOPOGRAPHIC, AND AS-BUILT SURVEY
CATHOLIC CHURCH PROPERTY
BY COASTAL SURVEYING & ENGINEERING CO., INC.
DATED: 4/02/88
FILE: 13,582
A WETLAND SURVEY FOR "HOLY FAMILY
CATHOLIC CHURCH SITE"
A PORTION OF "POPE AVENUE AREA"
BY COASTAL SURVEYING & ENGINEERING CO., INC.
DATED: 06/15/06, LAST REVISED: 08/29/06
FILE: 40,910-2

P.B.19 PAGE 64
P.B.23 PAGE 115

- LEGEND**
- H-PUMP HEAT PUMP
 - R.C.P. REINFORCED CONCRETE PIPE
 - ☆ LIGHT POLE
 - ☆ ELEC.JUNC.BOX ELECTRIC JUNCTION BOX
 - WTL WETLAND FLAG FOUND
 - ORN ORNAMENTAL TREE/BUSH
 - ▲ FLOOD LIGHT
 - BB BOTTOM OF BANK
 - CATV CABLE TELEVISION
 - OS GUM
 - H-C SIGN HANDICAP SIGN
 - P-POLE POWER POLE
 - TB TOP OF BANK
 - WAX WAX MYRTLE
 - BAY BAY
 - BG BLACK GUM
 - GM GUM
 - HIC HICKORY
 - LAO LAUREL OAK
 - LO LIVE OAK
 - MAG MAGNOLIA
 - MPL MAPLE
 - PLM PALM
 - PN PINE
 - RO RED OAK
 - SSCO SANITARY SEWER CLEAN OUT
 - TUP TUPELO
 - WAX WAX MYRTLE
 - WO WHITE OAK
 - WO WATER OAK
 - 12- CONTOUR LINE
 - 12.6 SPOT ELEVATION
 - CMF CONCRETE MONUMENT FOUND
 - IFF IRON PIN FOUND
 - B.S.L. BUILDING SETBACK LINE
 - I.C.V. IRRIGATION CONTROL VALVE
 - E- UNDERGROUND ELECTRIC LINE
 - SS- UNDERGROUND SANITARY SEWER LINE
 - TV- UNDERGROUND CABLE TV LINE
 - W- UNDERGROUND WATER LINE
 - CL HANDICAP PARKING



- NOTES:**
- THIS LOT LIES IN ZONE A-B, B.F.E. 14.0' PER F.I.R.M. PANEL 0013-D, COMMUNITY NO. 450250, REVISED: 9/29/86.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - UNDERGROUND UTILITIES WERE MARKED BY: PALMETTO ELECTRIC, SOUTH ISLAND P.S.D. AND HARGRAY TELEPHONE.



REVISED: 04/26/10 TO UPDATE UNDERGROUND LINES
REVISED: 03/19/10 TO SHOW UNDERGROUND ELECTRIC LINES

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN
S.C.P.L.S. No. 11,905

PREPARED FOR: HOLY FAMILY CATHOLIC CHURCH
A TREE, TOPOGRAPHIC AND ASBUILT SURVEY
OF
HOLY FAMILY CATHOLIC CHURCH
A PORTION OF
POPE AVENUE AREA
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 40'
DATE: 01/27/10
JOB No.: 44,802A

SURVEYED BY: LC
DRAWN BY: MRD
CHECKED BY: TWW





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 (970) 232-3125
 (970) 232-3101 fax

**ADDITIONS /
 RENOVATIONS
 TO
 TO HOLY FAMILY
 CATHOLIC CHURCH**
 DIOCESE OF CHARLESTON
 HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/07/10	DRB SUBMISSION

**NOT FOR
CONSTRUCTION**

PROJECT NO: FWA 2183.03
 DRAWN BY: MJR
 APPROVED BY: BHT

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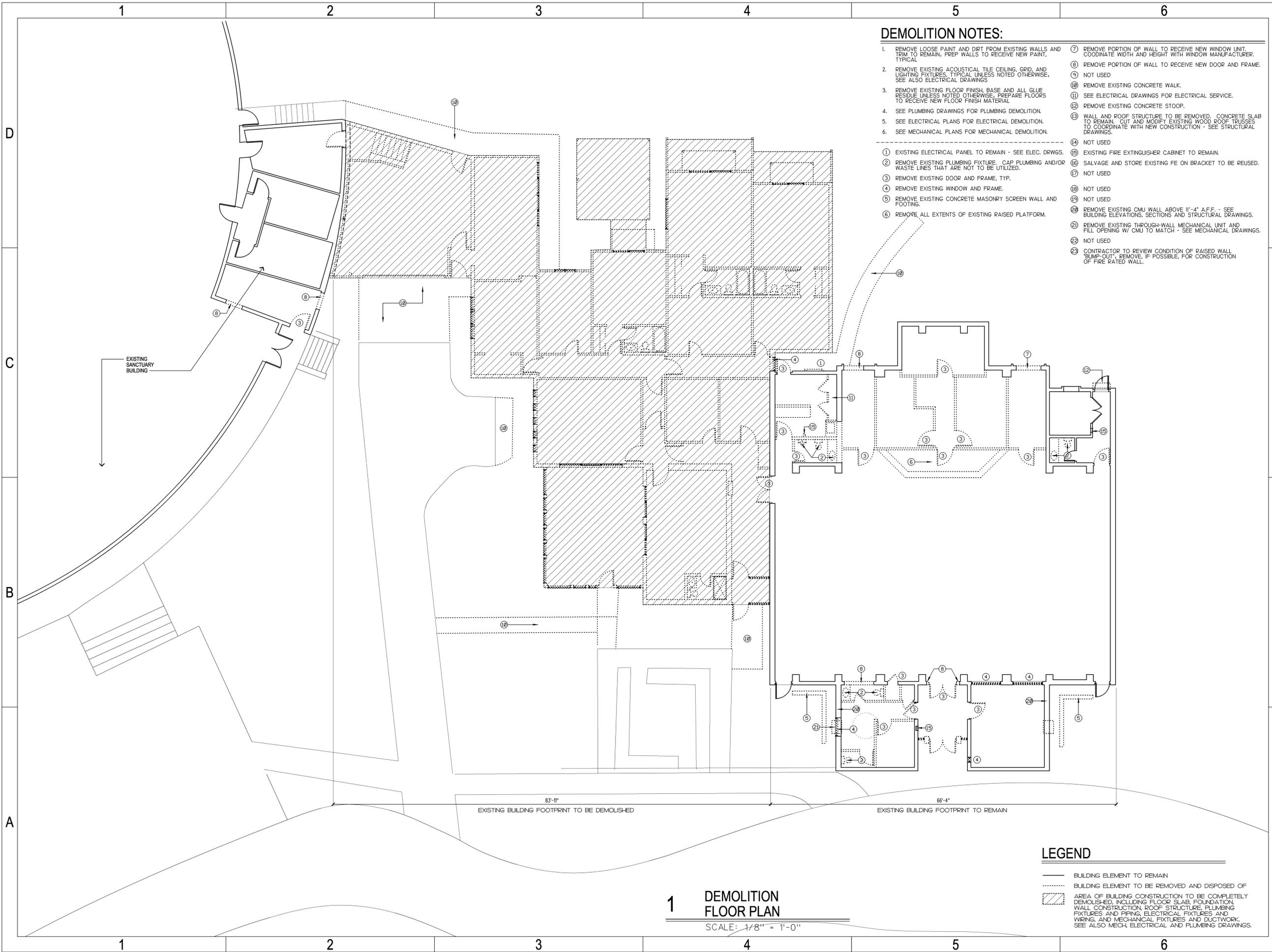
SHEET TITLE
**DEMOLITION
 FLOOR PLAN**

SHEET NUMBER
AD-101

DEMOLITION NOTES:

1. REMOVE LOOSE PAINT AND DIRT FROM EXISTING WALLS AND TRIM TO REMAIN, PREP WALLS TO RECEIVE NEW PAINT, TYPICAL.
2. REMOVE EXISTING ACOUSTICAL TILE CEILING, GRID, AND LIGHTING FIXTURES, TYPICAL UNLESS NOTED OTHERWISE, SEE ALSO ELECTRICAL DRAWINGS.
3. REMOVE EXISTING FLOOR FINISH, BASE AND ALL GLUE RESIDUE UNLESS NOTED OTHERWISE, PREPARE FLOORS TO RECEIVE NEW FLOOR FINISH MATERIAL.
4. SEE PLUMBING DRAWINGS FOR PLUMBING DEMOLITION.
5. SEE ELECTRICAL PLANS FOR ELECTRICAL DEMOLITION.
6. SEE MECHANICAL PLANS FOR MECHANICAL DEMOLITION.
7. REMOVE PORTION OF WALL TO RECEIVE NEW WINDOW UNIT. COORDINATE WIDTH AND HEIGHT WITH WINDOW MANUFACTURER.
8. REMOVE PORTION OF WALL TO RECEIVE NEW DOOR AND FRAME.
9. NOT USED.
10. REMOVE EXISTING CONCRETE WALK.
11. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE.
12. REMOVE EXISTING CONCRETE STOOP.
13. WALL AND ROOF STRUCTURE TO BE REMOVED. CONCRETE SLAB TO REMAIN. CUT AND MODIFY EXISTING WOOD ROOF TRUSSES TO COORDINATE WITH NEW CONSTRUCTION - SEE STRUCTURAL DRAWINGS.
14. NOT USED.
15. EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
16. SALVAGE AND STORE EXISTING FE ON BRACKET TO BE REUSED.
17. NOT USED.
18. NOT USED.
19. NOT USED.
20. REMOVE EXISTING CMU WALL ABOVE 11'-4" A.F.F. - SEE BUILDING ELEVATIONS, SECTIONS AND STRUCTURAL DRAWINGS.
21. REMOVE EXISTING THROUGH-WALL MECHANICAL UNIT AND FILL OPENING W/ CMU TO MATCH - SEE MECHANICAL DRAWINGS.
22. NOT USED.
23. CONTRACTOR TO REVIEW CONDITION OF RAISED WALL "BUMP-OUT", REMOVE IF POSSIBLE, FOR CONSTRUCTION OF FIRE RATED WALL.

- ① EXISTING ELECTRICAL PANEL TO REMAIN - SEE ELEC. DRWGS.
- ② REMOVE EXISTING PLUMBING FIXTURE. CAP PLUMBING AND/OR WASTE LINES THAT ARE NOT TO BE UTILIZED.
- ③ REMOVE EXISTING DOOR AND FRAME, TYP.
- ④ REMOVE EXISTING WINDOW AND FRAME.
- ⑤ REMOVE EXISTING CONCRETE MASONRY SCREEN WALL AND FOOTING.
- ⑥ REMOVE ALL EXTENTS OF EXISTING RAISED PLATFORM.



LEGEND

- BUILDING ELEMENT TO REMAIN
- - - BUILDING ELEMENT TO BE REMOVED AND DISPOSED OF
- ▨ AREA OF BUILDING CONSTRUCTION TO BE COMPLETELY DEMOLISHED, INCLUDING FLOOR SLAB, FOUNDATION, WALL, CONSTRUCTION, ROOF STRUCTURE, PLUMBING FIXTURES AND PIPING, ELECTRICAL FIXTURES AND WIRING, AND MECHANICAL FIXTURES AND DUCTWORK. SEE ALSO MECH, ELECTRICAL AND PLUMBING DRAWINGS.

1
**DEMOLITION
 FLOOR PLAN**
 SCALE: 1/8" = 1'-0"

10/25/2010 10:45:56 PM H:\218303\218303-L\DWG\DESIGN\218303_AD101.dgn



ARCHITECTS

□ 500 East Blvd
 Charlotte, NC 28203
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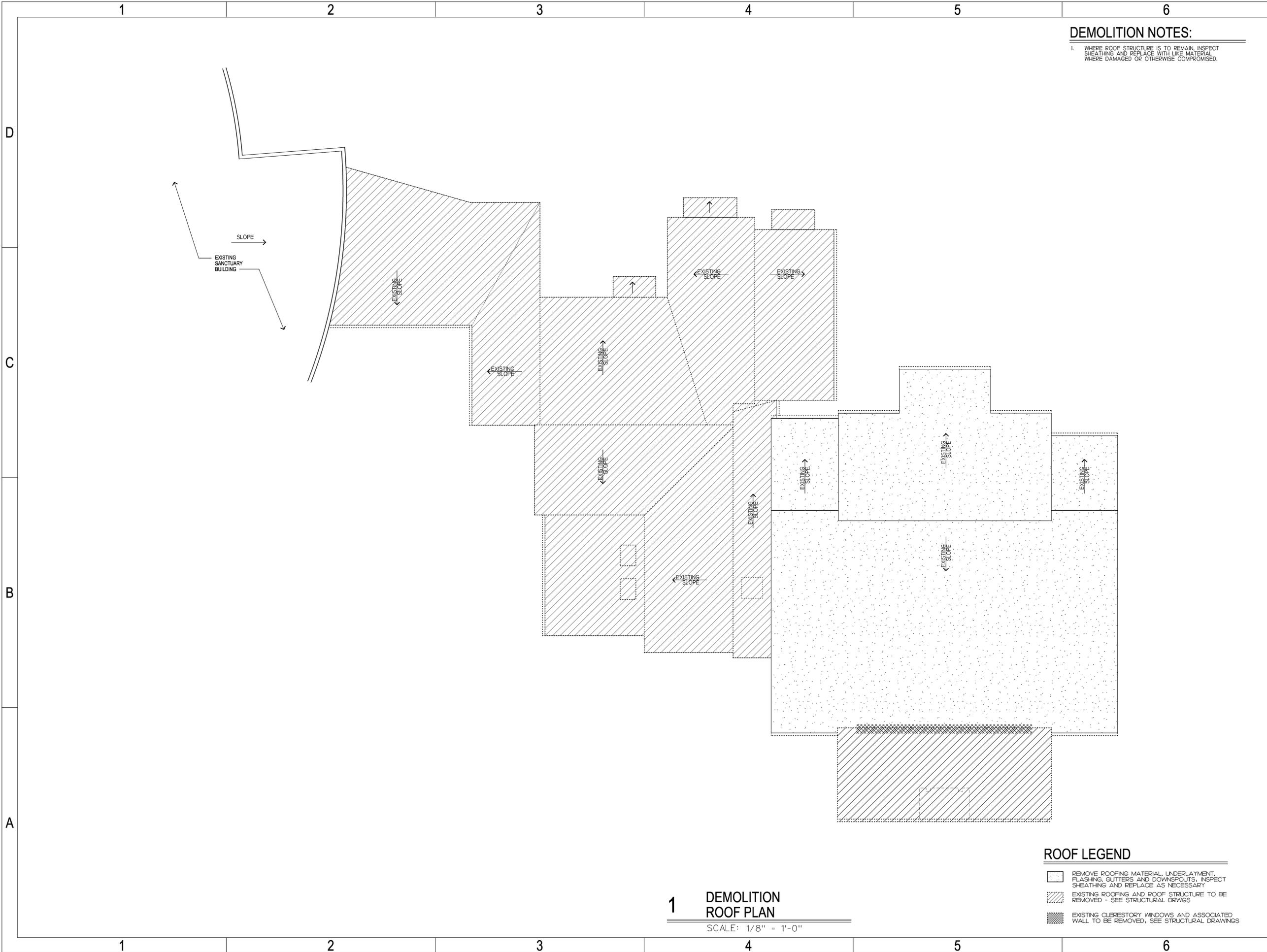
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DEMOLITION NOTES:

1. WHERE ROOF STRUCTURE IS TO REMAIN, INSPECT SHEATHING AND REPLACE WITH LIKE MATERIAL WHERE DAMAGED OR OTHERWISE COMPROMISED.



ADDITIONS / RENOVATIONS TO HOLY FAMILY CATHOLIC CHURCH
 DIOCESE OF CHARLESTON
 HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/07/10	DRB SUBMISSION

NOT FOR CONSTRUCTION

PROJECT NO: FWA 2183.03

DRAWN BY: MJR

APPROVED BY: BHT

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SHEET TITLE
DEMOLITION ROOF PLAN

SHEET NUMBER

AD-102

ROOF LEGEND

- REMOVE ROOFING MATERIAL, UNDERLAYMENT, FLASHING, GUTTERS AND DOWNSPOUTS. INSPECT SHEATHING AND REPLACE AS NECESSARY.
- ▨ EXISTING ROOFING AND ROOF STRUCTURE TO BE REMOVED - SEE STRUCTURAL DRWGS
- ▩ EXISTING CLERESTORY WINDOWS AND ASSOCIATED WALL TO BE REMOVED, SEE STRUCTURAL DRAWINGS

1 DEMOLITION ROOF PLAN

SCALE: 1/8" = 1'-0"

10/25/2010 10:55:21 AM H:\218303\218303-L\DWG\DESIGN\218303_AD102.dgn



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**ADDITIONS /
RENOVATIONS
TO
TO HOLY FAMILY
CATHOLIC CHURCH**

DIOCESE OF CHARLESTON
HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/07/10	DRB SUBMISSION

**NOT FOR
CONSTRUCTION**

PROJECT NO:
FWA 2183.03

DRAWN BY: MJR
APPROVED BY: BHT

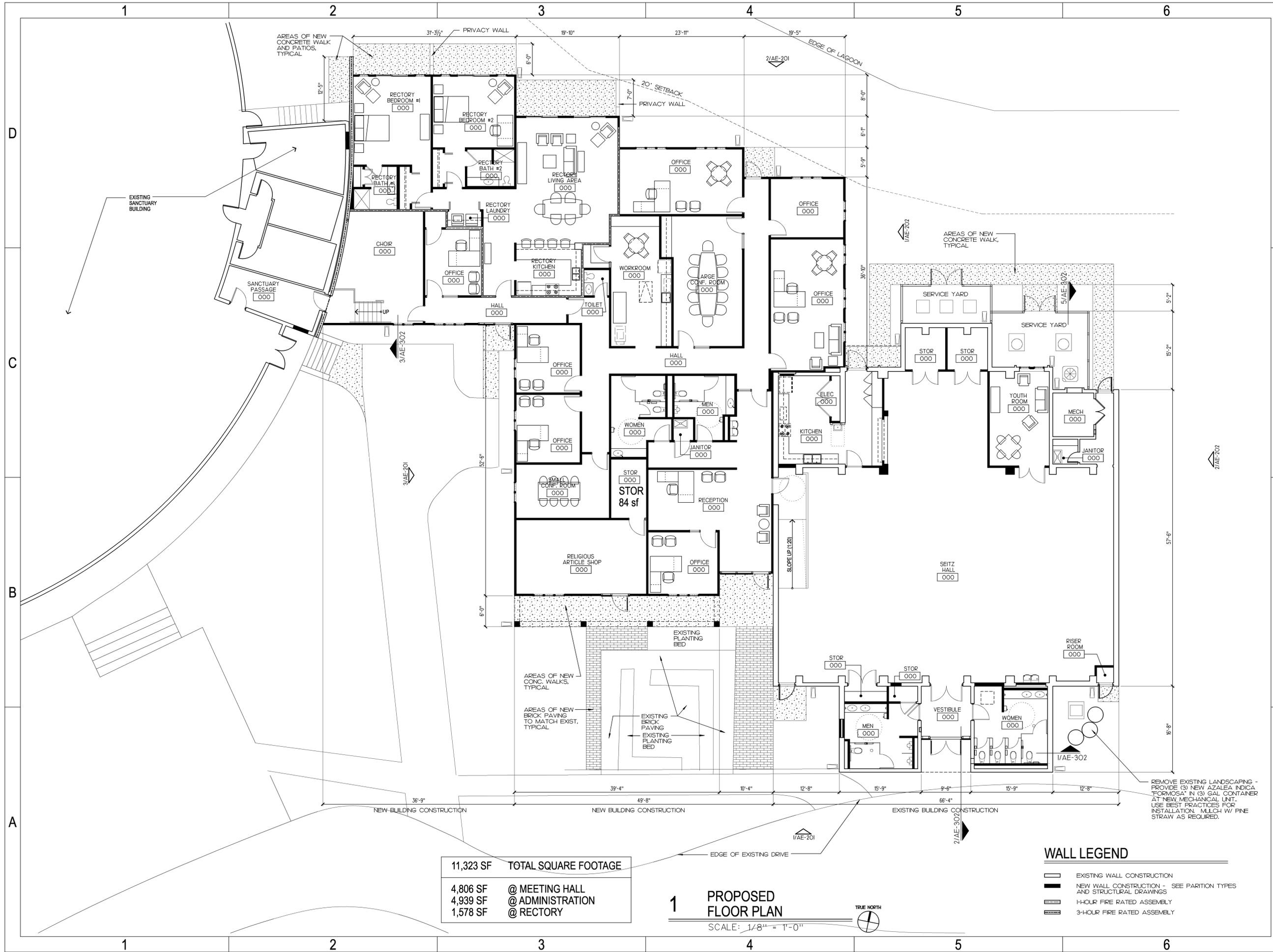
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SHEET TITLE

**PROPOSED
FLOOR PLAN**

SHEET NUMBER

AE-101



11,323 SF	TOTAL SQUARE FOOTAGE
4,806 SF	@ MEETING HALL
4,939 SF	@ ADMINISTRATION
1,578 SF	@ RECTORY

**1 PROPOSED
FLOOR PLAN**

SCALE: 1/8" = 1'-0"



WALL LEGEND

- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION - SEE PARTITION TYPES AND STRUCTURAL DRAWINGS
- 1-HOUR FIRE RATED ASSEMBLY
- 3-HOUR FIRE RATED ASSEMBLY

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10/25/2010



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GENERAL NOTES:

- ① SBS SELF-ADHERING ROOFING SYSTEM - SEE SPECIFICATIONS
- ② NEW ASPHALT SHINGLES - COLOR AND TEXTURE TO MATCH EXIST
- ③ GUTTER AND DOWNSPOUT SYSTEM
- ④ 3-HOUR FIRE RATED WALL ASSEMBLY
- ⑤ EXISTING CLERESTORY WINDOWS.

**ADDITIONS /
RENOVATIONS
TO
TO HOLY FAMILY
CATHOLIC CHURCH**

DIOCESE OF CHARLESTON
HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/26/10	DRB SUBMISSION

**NOT FOR
CONSTRUCTION**

PROJECT NO:
FWA 2183.03

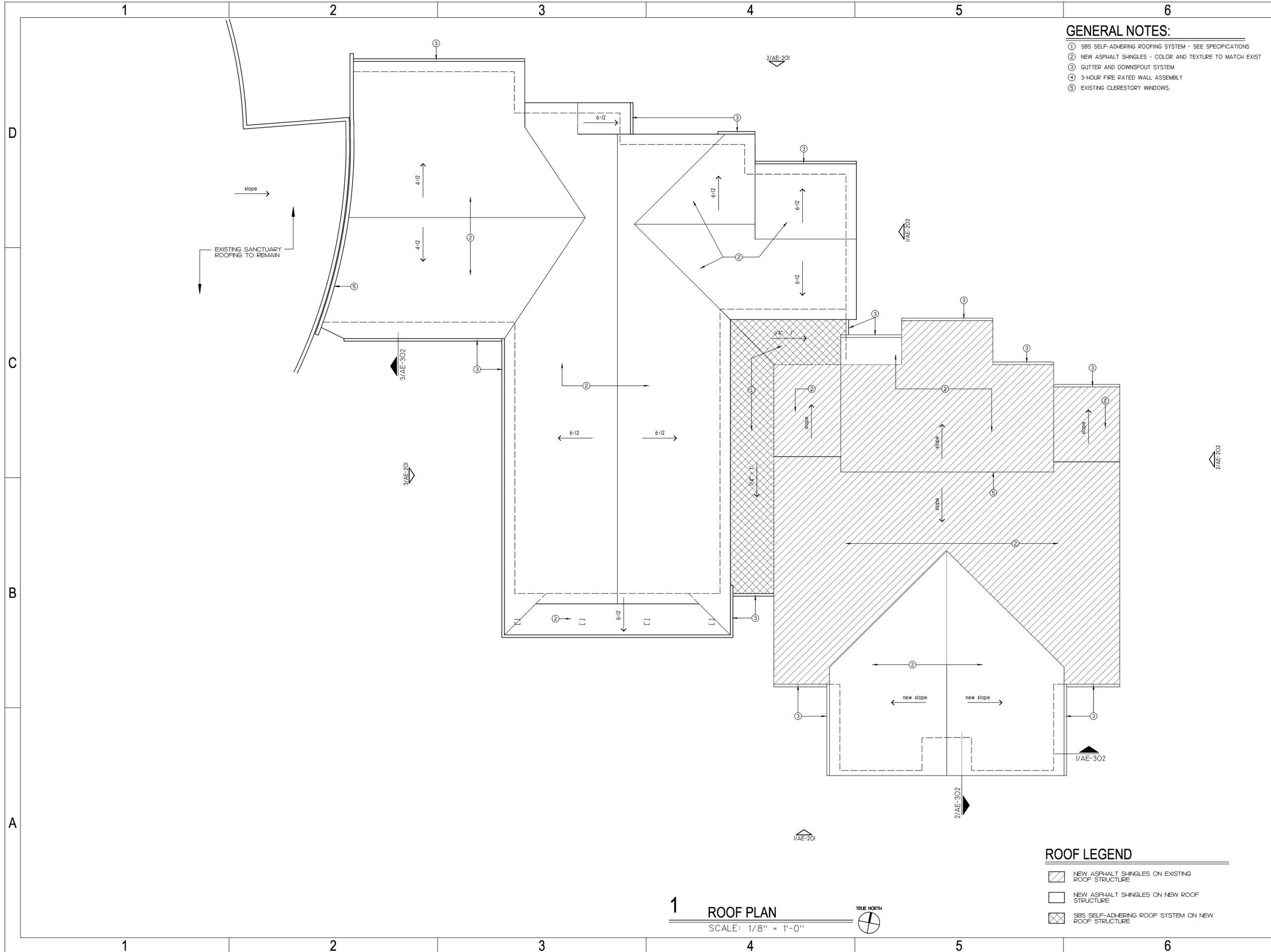
DRAWN BY: MJR
APPROVED BY: BHT

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WRITTEN CONSENT IS PROHIBITED.

SHEET TITLE
ROOF PLAN

SHEET NUMBER

AE-102



ROOF LEGEND

- NEW ASPHALT SHINGLES ON EXISTING ROOF STRUCTURE
- NEW ASPHALT SHINGLES ON NEW ROOF STRUCTURE
- SBS SELF-ADHERING ROOF SYSTEM ON NEW ROOF STRUCTURE

1 ROOF PLAN

SCALE: 1/8" = 1'-0"





ARCHITECTS

□ 500 East Blvd
 Charlotte, NC 28203
 (704) 332-7004
 (704) 332-6829 fax

□ 2530 Meridian Parkway
 Suite 300
 Durham, NC 27713
 (919) 806-4399
 (919) 806-4301 fax

■ 10 Executive Park Road
 PO Box 5910
 Hilton Head Island, SC 29928
 (843) 785-2199
 (843) 785-6801 fax

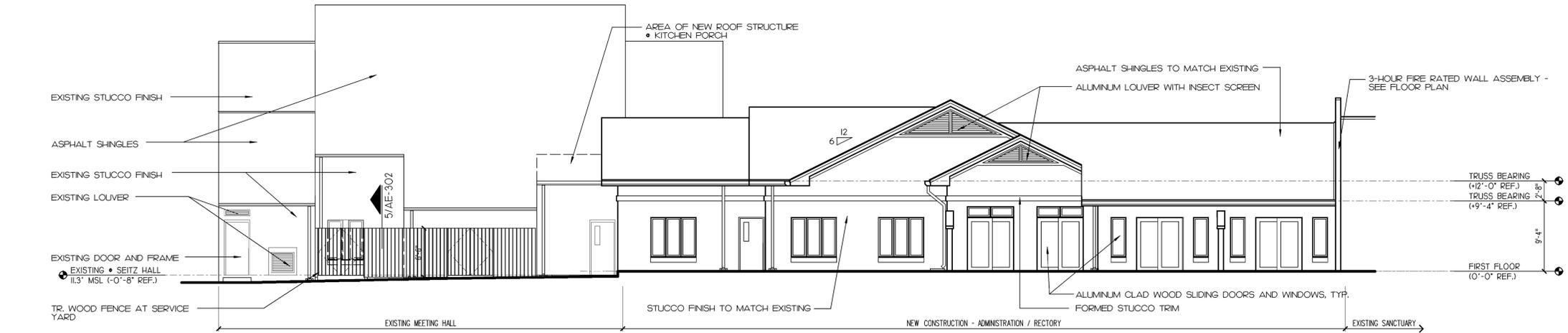
□ 155 East Boardwalk Drive
 Suite 300
 Fort Collins, CO 80525
 (970) 232-3125
 (970) 232-3101 fax

EXTERIOR COLOR SCHEDULE

ALL EXTERIOR COLORS ARE TO MATCH EXISTING CAMPUS COLORS.



3 PROPOSED WEST (LEFT SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED SOUTH (ENTRY) ELEVATION
SCALE: 1/8" = 1'-0"

ADDITIONS / RENOVATIONS TO HOLY FAMILY CATHOLIC CHURCH
DIOCESE OF CHARLESTON
HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/26/10	DRB SUBMISSION

NOT FOR CONSTRUCTION

PROJECT NO: FWA 2183.03

DRAWN BY: MJR
APPROVED BY: BHT

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EXTERIOR ELEVATIONS

SHEET NUMBER
AE-201

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ARCHITECTS

□ 500 East Blvd
 Charlotte, NC 28203
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 (704) 332-6829 fax

□ 2530 Meridian Parkway
 Suite 300
 Durham, NC 27713
 (919) 806-4399
 (919) 806-4301 fax

■ 10 Executive Park Road
 PO Box 5910
 Hilton Head Island, SC 29928
 (843) 785-2189
 (843) 785-6801 fax

□ 155 East Boardwalk Drive
 Suite 300
 Fort Collins, CO 80525
 (970) 232-3125
 (970) 232-3101 fax

**ADDITIONS /
 RENOVATIONS
 TO
 TO HOLY FAMILY
 CATHOLIC CHURCH**
 DIOCESE OF CHARLESTON
 HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/26/10	DRB SUBMISSION

**NOT FOR
 CONSTRUCTION**

PROJECT NO:
 FWA 2183.03

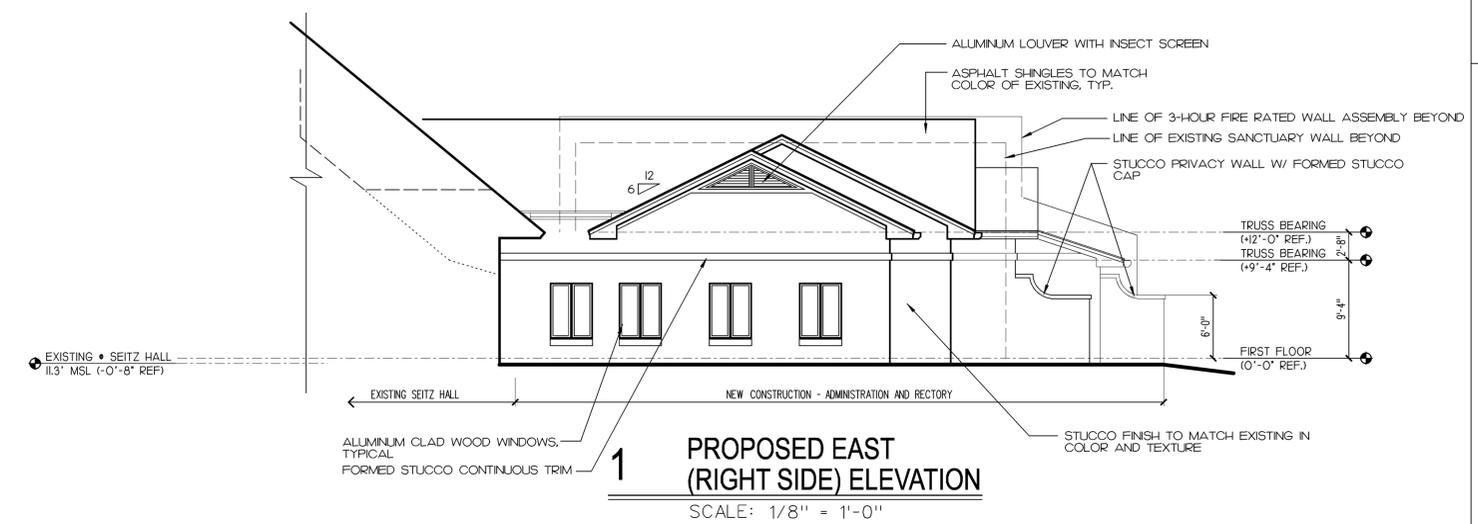
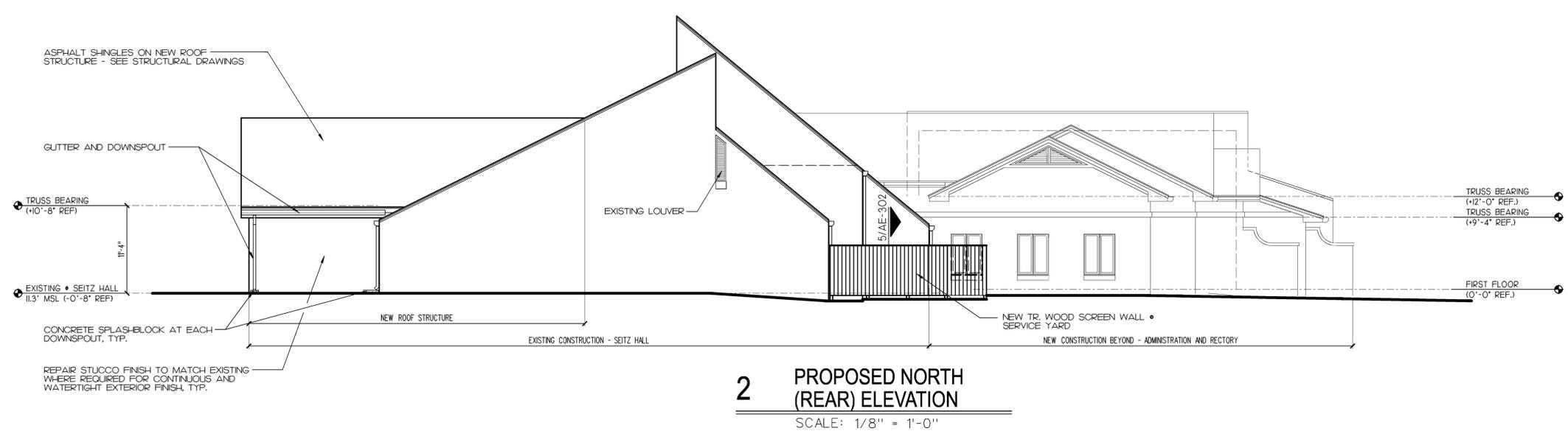
DRAWN BY: MJR
 APPROVED BY: BHT

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SHEET TITLE
**EXTERIOR
 ELEVATIONS**

SHEET NUMBER

AE-202



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ARCHITECTS

□ 500 East Blvd
 Charlotte, NC 28203
 (704) 332-7004
 (704) 332-6829 fax

□ 2530 Meridian Parkway
 Suite 300
 Durham, NC 27713
 (919) 806-4399
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 PO Box 5910
 Hilton Head Island, SC 29928
 (843) 785-2199
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 Suite 300
 Fort Collins, CO 80525
 (970) 232-3125
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ADDITIONS / RENOVATIONS TO HOLY FAMILY CATHOLIC CHURCH
 DIOCESE OF CHARLESTON
 HILTON HEAD ISLAND, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	10/26/10	DRB SUBMISSION

NOT FOR CONSTRUCTION

PROJECT NO: FWA 2183.03

DRAWN BY: MJR
 APPROVED BY: BHT

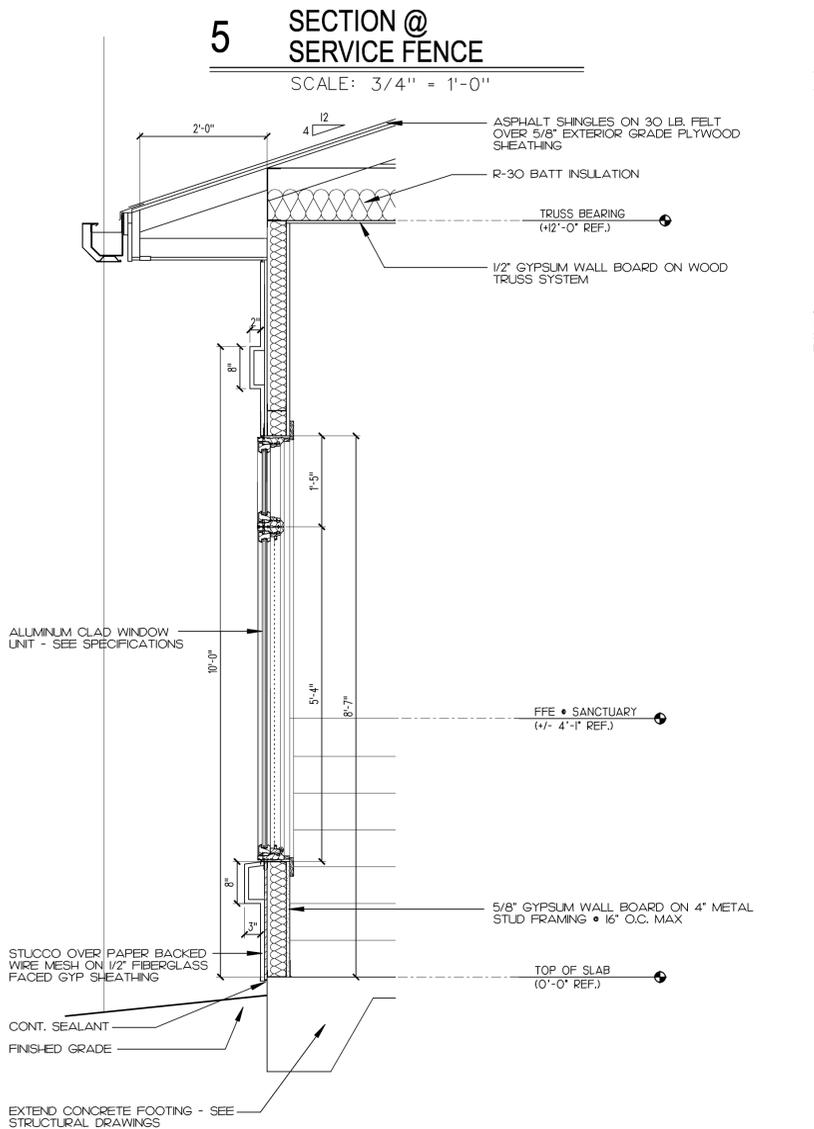
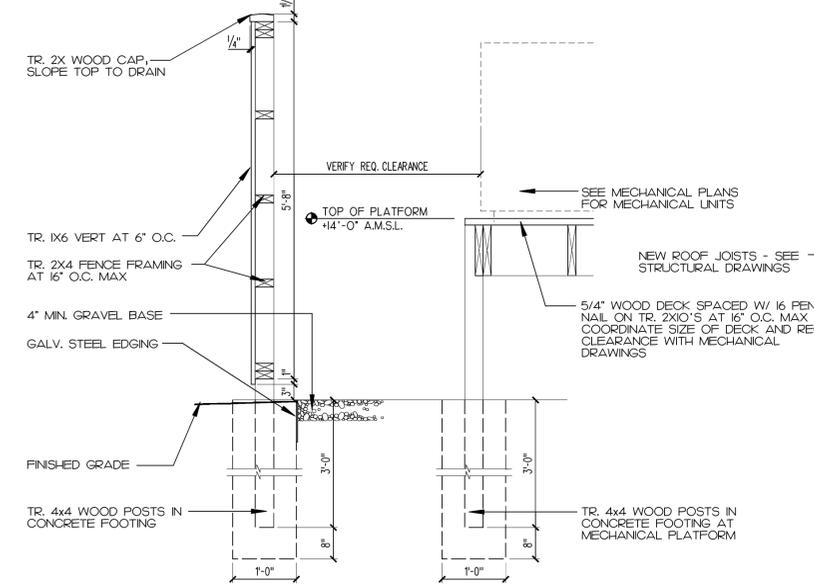
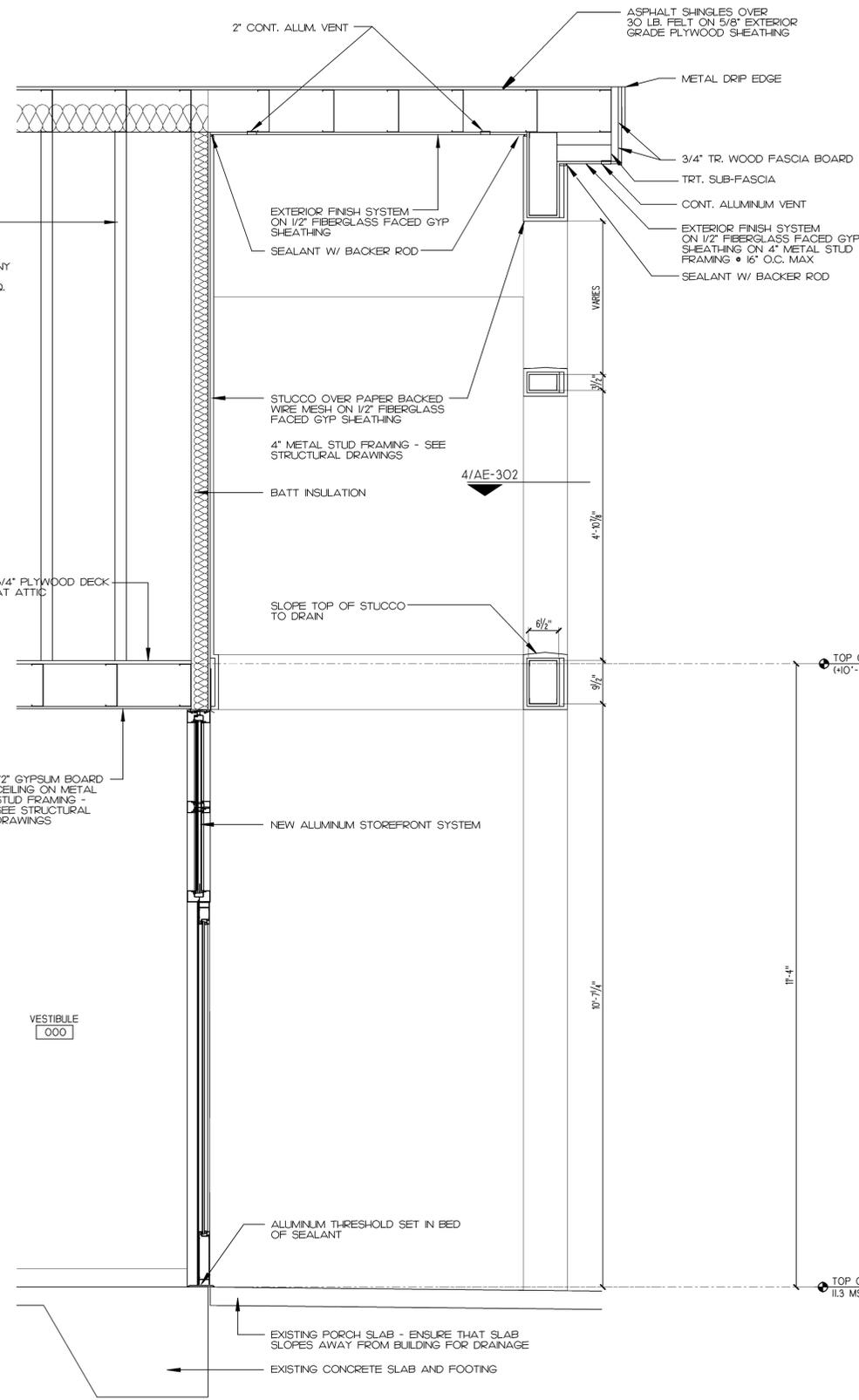
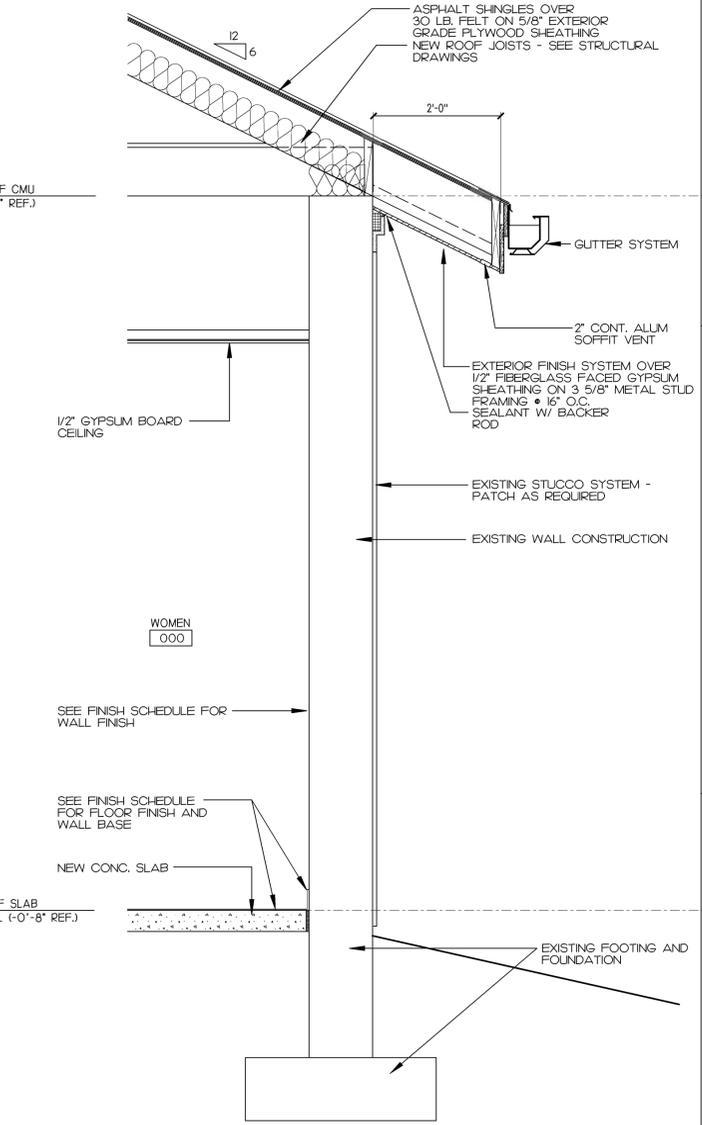
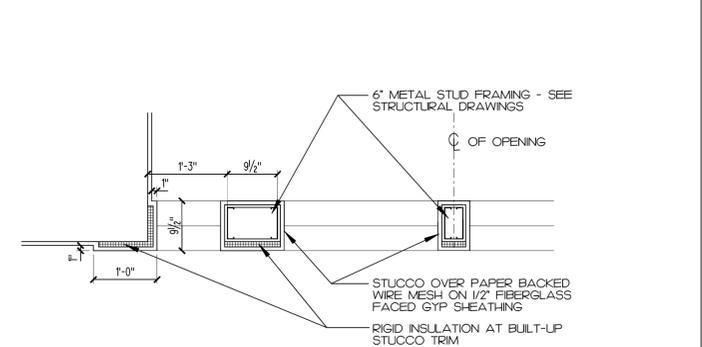
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SHEET TITLE

WALL SECTIONS

SHEET NUMBER

AE-302



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DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Holy Family Church

DRB# DR100010

DATE 11/9/2010

RECOMMEND APPROVE

RECOMMEND APPROVE W/COND.

RECOMMEND DENY

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	New rectory elements reflect approved improvements to the Seitz Hall elements. Overall roof forms vary.
Minimum roof pitch of 6/12	Y	
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	Y	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	Y	
Details are clean, simple and appropriate while avoiding excessive ornamentation	Y	
Utilities and equipment are concealed from view	Y	
Decorative lighting is limited and low wattage and adds to the visual character	Y	

Accessory elements are design to coordinate with the primary structure	Y	
--	---	--

LANDSCAPE DESIGN
 Landscape impacts were discussed at last submittal. Impact is negligible. Some utility screening was previously required and addressed. Landscape elements impacted in demolition and reconstruction should be replaced with species, size, and location of like materials.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach		

their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 10.22.10
 Accepted by: MA/SH
 App. #: DR 100045
 Meeting Date: _____

Applicant/Agent Name: Chris Dalzell Company: Shoreline Construction
 Mailing Address: 3037 Argent Blvd Ste #11 City: Ridgeland State: SC Zip: 29936
 Telephone: 843-247-0159 Fax: 843-645-6961 E-mail: chrise@shorelineconstructionsc.com
 Project Name: Ocean Dunes Project Address: 43 SFB Drive
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

_____ New Development – Conceptual _____ Alteration/Addition
 _____ New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

_____ Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Phasing Plan/Schedule Report

- ___ *Graphic Scale
- ___ *Number of Units
- ___ *Square Footage Calculations
- ___ *Open Space Calculations
- ___ *Site Improvements
- ___ *Public Dedication

Tree Protection

- ___ *Application
- ___ *Tree Survey (no older than 2 years)
- ___ *Written Narrative on Tree Protection
- ___ *Tree Tally Sheets

OCRM Approval

- ___ Beach/Dune Activity
- ___ Tidal Wetlands
- ___ Land Disturbance

Encroachment Permit

- ___ SC Department of Transportation
- ___ Beaufort County
- ___ Town of Hilton Head Island

Other

- ___ *Exterior Elevations
- ___ *Private ARB Approval
- ___ BCHD/DHEC Septic Tank Approval
- ___ Palmetto Electric Approval
- ___ Hargray/Time Warner Telephone Approval
- _____
- _____
- _____

NOTE: All Sheets in the Set of Plans Must Show All Trees 6" Diameter & Over

- ___ *Grading, Paving, Drainage Plan
- ___ *Erosion Control Plan
- ___ *Water & Sewer Line Layout
- ___ *Septic or Waste System Layout
- ___ *Electric Line Layout (Inc. Lighting)
- ___ *Telephone & Cable Line Layout

Wetlands Alteration

- ___ *See Wetlands Alteration Application

Wetlands Impact Analysis

- ___ *See Wetlands Alteration Application

Engineering

- ___ *Pre-Design Conf. w/Town Engineer
- ___ *Stormwater Calculations
- ___ *Checklist

DHEC Approval

- ___ Water
- ___ Sewer
- ___ Air & Water Quality

Army Corps of Engineers

- ___ *Wetlands Determination Letter (no older than 5 years)
- ___ *Wetlands Alteration Permit

PSD Approval

- ___ Water
- ___ Sewer

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If so, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Applicant/Agent Signature: Chm DeBell Date: 10/4/10

A notice of approval, approval with conditions, or notification of corrections and/or application deficiencies will be sent to the applicant by _____.

Disclaimer: Although the application has been accepted, it may not be complete per the Town of Hilton Head Island Land Management Ordinance (LMO) Sec. 16-3-303 Requirements for a Complete Application.

DR100045





Sheddy

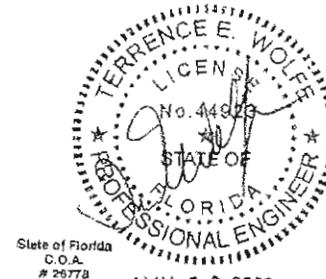
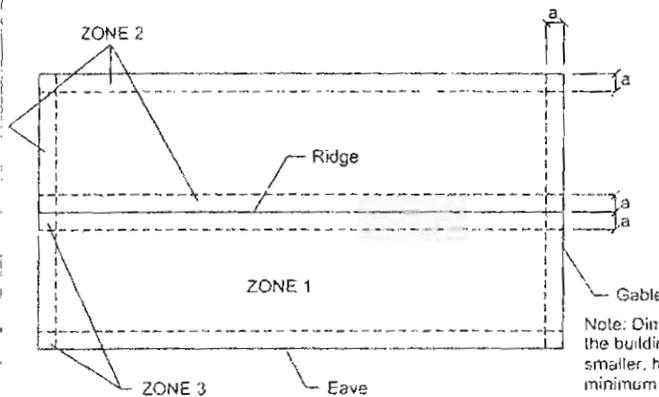
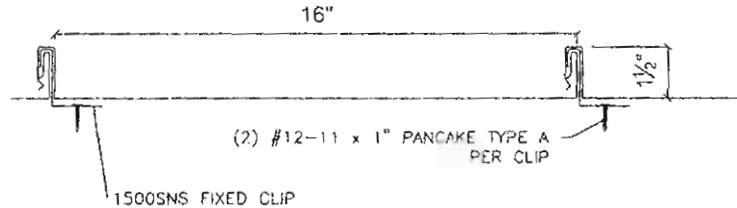
SL 150H; 1.5" SNAP LOCK 24 GA., 16" WIDE LOAD TABLE OVER 15/32" PLYWOOD



Buildings having a Roof Mean Height \leq 20'-0"; Roof Slope: 2"/12" - 6"/12" Gable Roof
Wind Speeds 120-146 mph, Exp C, I = 1.0, based on FLORIDA BUILDING CODE 2007

1.5" 24 GA. SNAP LOCK, 16" WIDE, CLIP SPACING						
ZONE	FASTENER	SUBSTRATE	WIND SPEED ZONE			
			120 ON CENTER SPACING	130 ON CENTER SPACING	140 ON CENTER SPACING	146 ON CENTER SPACING
ZONE 1	(2) #12-11 x 1"	15/32" CDX PLYWOOD	24"	24"	24"	24"
ZONE 2	(2) #12-11 x 1"	15/32" CDX PLYWOOD	12"	12"	12"	12"
ZONE 3	(2) #12-11 x 1"	15/32" CDX PLYWOOD	12"	12"	6"	6"

- 1) PANEL DESCRIPTION: 1.5" SNAP LOCK, MIN. 24 GA. MSG COATED STEEL, 16" MAX WIDTH, SNAP SEAM.
- 2) PANEL FASTENER: (2) #12-11 x 1" TYPE A PANCAKE HEAD PER CLIP.
- 3) PANEL CLIP: 1500SNS FIXED CLIP
- 4) MAXIMUM ALLOWABLE PANEL UPLIFT PRESSURE: 86.0 @ 24" O.C., 106.5 PSF @ 12" O.C., 116.0 PSF @ 6" O.C. PRESSURE BASED ON UL 580/UL 1897 TESTING BY FORCE ENGINEERING TEST REPORT #72-010BT-07A-D
- 5) PLYWOOD DECKING: MIN. 15/32" THICK, APA RATED PLYWOOD, GRADE C-D, PLYWOOD. MUST BE DESIGNED IN ACCORDANCE WITH FBC 2007.
- 6) PANEL ROLLFORMER: SCHLEBACH QUADRO PLUS ROLLFORMER BY METALFORMING, INC.



MAY 12 2008

Note: Dimension (a) is defined as 10% of the minimum width of the building or 40% of the mean height of the roof, whichever is smaller, however, (a) cannot be less than either 4% of the minimum width of the building or 3 feet.

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SENTRIGARD SL 150H 1.5
SNAPLOCK 16" WIDE NEW
STANDING SEAM 24 GA. METAL
ROOF WITH FLASHING CAP
OVER TOP OF METAL ROOF
LOCATED UNDER LIP OF
PARAPET WALL.
PROVIDE SILICONE CAULK AT
JOINT OF CAP AND PARAPET
FLASHING.

MIN. 15/32 THICK CDX APA
RATED PLYWOOD. MUST BE
INSTALLED IN ACCORDANCE
WITH THE IRC 2006 BUILDING
CODE AND THE HURRICANE
STANDARDS SSTD-10-99.

METAL ROOF CLIPS SYSTEM
TO BE INSTALLED PER
MANUFACTURERS
SPECIFICATIONS.

EXISTING 3/8" R/S
PLYWOOD

EXISTING 1 X 2
CEDAR TRIM

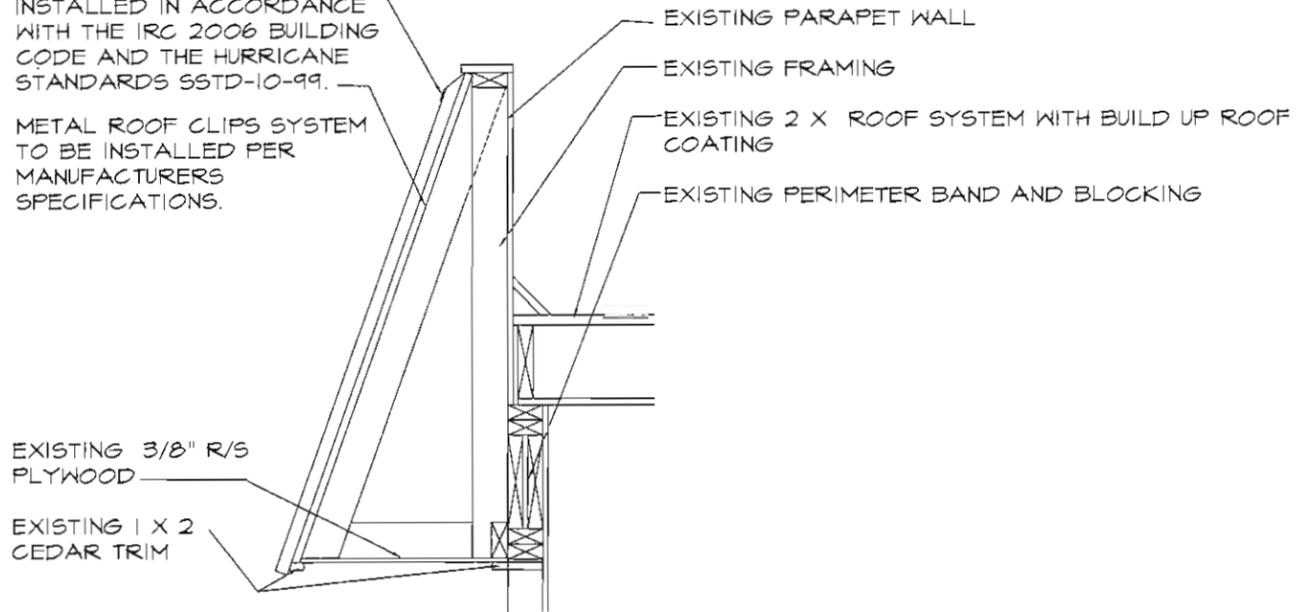
NOTES

THE EXISTING BUILDING IS TO REMAIN AS IS. THE
MODIFICATIONS ARE FOR THE PARAPET WALL/
ROOF SHEATHING AND ROOFING ONLY

THESE PLANS ARE IN NO WAY INDICATING THAT
THERE HAS BEEN ANY ENGINEERING CERTIFICATION
VERIFYING THE IMPROVEMENTS OF THE ROOF
SHEATHING/METAL ROOF ATTACHED TO THE
PARAPET STRUCTURE. PLEASE SEE THE ATTACHED
SHEET PROVIDED BY SENTRIGARD, THE DATA
SHEET SHOWING THE METAL ROOF/CLIPS ATTACHED
TO THE CDX PLYWOOD FOR NAILING INFORMATION.

PLYWOOD SHEATHING SHALL BE NAILED TO THE
EXISTING ROOF TRUSSES IN ACCORDANCE WITH THE
HURRICANE SSTD-10-99 STANDARDS.

**WIND DESIGN IS OCEAN FRONT- 130 MPH (C
EXPOSURE) BASIC WIND SPEED (MPH 3 SECOND
GUST)



**MODIFICATIONS TO EXISTING
ROOFING/SHEATHING SECTION**
SCALE 1-1/2" = 1'-0"



23 Plantation Park Drive
Bluffton, SC 29910
Ph: 843.815.9575
Fax: 843.615.9576
Certified Professional Building Designer
Certified Green Professional



SHORELINE CONST. CO, AND DEV.
OCEAN DUNES VILLAS
SOUTH FOREST BEACH,
BEAUFORT COUNTY, HILTON HEAD SC

DATE:	SEPTEMBER 15, 2010
REVISION:	10.15.10
DESIGNED BY:	S. LIBERTI
DRAWN BY:	SAL
PROJECT NUMBER:	10-023
SHEET:	

A2.1

APPROVED FOR CONSTRUCTION

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Ocean Dunes Villas DRB# DR100045

DATE 11/9/2010 RECOMMEND X RECOMMEND RECOMMEND

APPROVE APPROVE W/COND. DENY

ARCHITECTURAL DESIGN		
Applicant wishes to replace cedar shingle roof with bonze-finish standing seam metal.		
Staff would request that cedar shingle elements on the sign designed to match the architecture of the building be changed as well to reflect the update.		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		

Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		
LANDSCAPE DESIGN		
NA		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and		

location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS
