



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, September 14, 2010

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. Call to Order

2. Roll Call

3. Freedom of Information Act Compliance

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

4. Approval of Agenda

5. Approval of Minutes-

Design Review Board Meeting of August 24, 2010

6. Staff Report

7. Board Business

8. Unfinished Business- None

9. New Business

A) Alteration/Addition-

(1) Reilley's South- DR100035

(2) Hilton Head Brewing Company- DR100036

(3) Beach Market- DR100037

B) Sign-

(1) First Presbyterian Church- SIGN100146

10. Appearance by Citizens

11. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

The Town of Hilton Head Island
DESIGN REVIEW BOARD
Minutes of the Tuesday, August 24, 2010 Meeting
1:15pm – Benjamin M. Racusin Council Chambers

DRAFT

Board Members Present: Chairman Tom Parker, Vice Chairman Todd Theodore,
Jennifer Moffett, Galen Smith, and Scott Sodemann

Board Members Absent: Ted Behling

Council Members Present: Bill Ferguson

Town Staff Present: Mike Roan, Urban Design Administrator
Cary Gafney, Storm Water Administrator
Kathleen Carlin, Administrative Assistant

- 1) **CALL TO ORDER**
Chairman Parker called the meeting to order at 1:15pm.
- 2) **ROLL CALL**
- 3) **FREEDOM OF INFORMATION ACT COMPLIANCE**
- 4) **APPROVAL OF THE AGENDA**
The agenda was **approved** as presented by general consent.
- 5) **APPROVAL OF THE MINUTES**
The minutes of the regular July 27, 2010 meeting were **approved** as presented with a vote of 4-0-1. Mr. Sodemann abstained from the vote due to his absence from the meeting. The minutes of the special August 3, 2010 meeting were **approved** as presented with a vote of 3-0-2. Chairman Parker and Vice Chairman Theodore were recused from the meeting.
- 6) **STAFF REPORT**
None
- 7) **BOARD BUSINESS**
None
- 8) **UNFINISHED BUSINESS**
None
- 9) **NEW BUSINESS**
Verizon Cell Tower Antenna – DR100033 Alteration and Addition
Mr. Roan introduced the application and stated its location, 2 Lawton Canal Rd., Sea Pines. The application is for a co-location on an existing tower and for replacement of an existing cabinet. Mr.

Roan reviewed the project including the elevations of the cabinet and details related to the chain link fence. The tower is virtually invisible. The staff recommended *approval* of the application with the condition that installation shall not interfere with the Osprey nesting season. The Board discussed the application and agreed with the staff's recommendation for approval. At the completion of the discussion, Chairman Parker requested that a motion be made.

Mr. Sodemann made a **motion to approve** the Verizon Cell Tower Antenna application with the condition that installation shall not interfere with the Osprey nesting season. Vice Chairman Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

Town of Hilton Head Island – Old Concrete Plant – Screen Fence DR100034 Alteration/Addition

Mr. Roan introduced the application and stated its location, 111 Leg O' Mutton Road. The Town purchased the old concrete plant about six years ago. It is one of two sites that the Town has designated for construction staging primarily for drainage projects.

Several years ago the Town planted a number of 3-gallon wax myrtle trees along Leg O' Mutton Road. The trees have grown and are beginning to fill in the area. The Town would like to continue using this site for the next three or four years for the continued staging for drainage projects including the repaving of William Hilton Parkway. The Town is proposing to install a six-foot high chain link fence with meshing to be located behind the wax myrtle hedge. The fence components are typical pipe and post rail with galvanized chain link fence. A green mesh privacy screen would be added to the fence.

Mr. Roan reviewed the site including the location of the trees, the area to be gated, and plans to screen the catch basins and drainage areas. Following the staff's presentation, the Board discussed several issues including the possible need for additional trees, the type of fencing, and the location of an existing curb cut. The Board stated a preference for a vinyl clad fence for aesthetic purposes. The Board also stated that additional wax myrtle trees are needed to fill in the area. At the completion of the discussion, Chairman Parker requested that a motion be made.

Vice Chairman Theodore made a **motion to approve** the Old Concrete Plant - Screen Fence application with the following conditions: (1) the chain link fence and the post components shall be vinyl clad in a color matching the screening material attached to the fence; (2) additional wax myrtle trees shall be planted to thicken the thin areas especially at the abandoned curb cut. Ms. Moffett **seconded** the motion and the motion **passed** with a vote of 5-0-0.

(Vice Chairman Theodore recused himself from review of the following application due to a potential conflict of interest. A Conflict of Interest form was completed, signed and attached to the record.)

The Children's Center – DR100033 Minor External Change

Mr. Roan introduced the application and stated its location, 8 Nature's Way. Staff was recently informed that the applicant had installed a gate at the end of their pathway that crosses the street to Jarvis Park. The gate is located in the existing setback and buffer. In addition, the gate's graphic component may not be completely compatible with the Design Guide (due to bright colors).

Ms. Sally Krebs, Natural Resources Administrator, has stated some concern with the gate's disturbance to the canopies of specimen trees. The Natural Resources Department will allow the application as long as this disturbance is limited to the contact points between the posts and the ground. The staff recommended that the existing gate be moved from the setback. After the gate is moved back, it will be virtually impossible to see from William Hilton Parkway or from Jarvis Park.

The staff recommended that the application for the relocation of the gate be *approved* as submitted. The Board discussed the location and visibility of the gate and possible concern with the colors. At the completion of the discussion, Chairman Parker requested that a motion be made.

Mr. Sodemann made a **motion** to **approve** the Children’s Center gate relocation application as presented and without any change to the colors. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 4-0-1.

10) APPEARANCE BY CITIZENS

None

11) ADJOURNMENT

The meeting was adjourned at 1:35pm.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Tom Parker
Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 8-31-10
 Accepted by: MR
 App. #: DR 100035
 Meeting Date: _____

Applicant/Agent Name: DAVID ROBERTSON Company: SIGLER CONSTRUCTION, INC
 Mailing Address: PO BOX 21768 City: HILTON HEAD State: SC Zip: 29925
 Telephone: 843-338-3373 Fax: 888-774-7408 E-mail: DAVER.SIGLERCO@GMAIL.COM
 Project Name: REILLEY'S SOUTH Project Address: 7 GREENWOOD DRIVE
 Parcel Number [PIN]: R552015 000 0003 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

_____ Final site development plan meeting the requirements of Sec. 16-3-303.F.

_____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

_____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.

_____ Photographs and/or drawings of existing development.

_____ Drawings of the proposed development - 11"x 17" .

_____ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*;
Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

DAVID ROBERTSON
SIGNATURE

8/25/2010
DATE



SIGLER

CONSTRUCTION INC.

August 31, 2010

To: Town of Hilton Head Island, Design Review Board

From: David Robertson

Re: Reilley's South, Hilton Head Plaza

To Whom It May Concern,

Please accept this letter as a formal declaration that the project our company seeks to construct, an outdoor bar at Reilley's South, shall comply with Sec. 16-4-503. The proposed structure shall not exceed the existing height of the adjacent buildings. No trees or landscaping shall be removed, relocated, or otherwise affected incidental to the completion of this project. All materials shall be finished to compliment or match existing surfaces in the immediate area, utilizing natural stone, tan acrylic paint and a medium brown stain.

No portion of this structure shall be visible from Greenwood Drive, Sea Pines Circle, or Pope Avenue.

Thank you for your consideration in this matter.

David Robertson
Production Manager
Sigler Construction, Inc.
843-338-3373 cell
843-560-9663 office
843-774-7408 fax
www.brsconstructioninc.com

THE BEST PLACE TO EAT
RIGHT HERE

THE BEST PLACE TO EAT
RIGHT HERE
FAVORITE TEAM



Reilley's Specials

- Soup: Pepper Steak \$1.95
- * Blackened Salmon \$16.95
- * Spinach * Crab stuffed tilapia \$16
- ** LOBSTER NIGHT **
- 1 1/4 lb Lobster only \$12.95
- Reserve Now

Vicinity Map

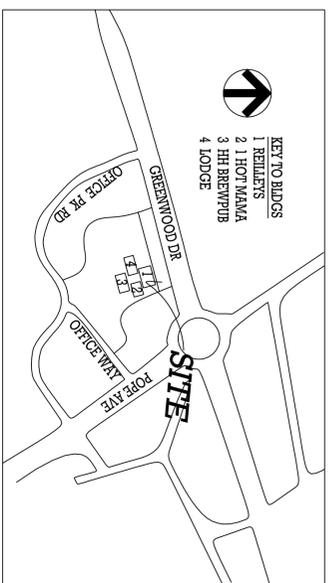


Photo of Area of Construction



Applicable Codes

1. ALL DESIGN AND SUBSEQUENT WORK PERFORMED ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE CODES LISTED BELOW. THE GENERAL CONTRACTOR, SITS, & FABRICATORS SHALL FAMILIARIZE THEMSELVES WITH ALL APPLICABLE ASPECTS OF THE CODES DESCRIBED BELOW.
- 2006 EDITION INTERNATIONAL BUILDING CODE (IBC)
- 2006 EDITION ASH 11.1 NATIONAL ELECTRIC CODE
- 2006 EDITION INTERNATIONAL FIRE CODE
- 2006 EDITION INTERNATIONAL MECHANICAL CODE
- 2006 EDITION INTERNATIONAL PLUMBING CODE
- 2007 EDITION NFPA 101 LIFE SAFETY CODE
- 2006 EDITION INTERNATIONAL ENERGY CONSERVATION CODE
2. All electrical, mechanical, and plumbing work shall be performed by subcontractors currently holding all required state and local licenses.
4. Maintain all existing fire-rated construction and barriers.
5. The GC shall have a copy of all state IBC on-site at all times.

UL &/or Code Construction Designs

There are no fire-rated separations required in this project.

Fire Protection

A sprinkler head is added in the area of construction

Project Narrative

The intent of the Project is limited to the addition of a small service bar to the exterior of Reilley's South. This new bar is located so that it can share existing infrastructure and will have minimum runs to water supply, plumbing drains, and the like.

Plumbing & Electrical

Most all plumbing electrical services are existing nearby. Additional plumbing and electrical fixtures and etc. must be installed as needed by properly licensed technicians to comply with all applicable codes. After removal of walls, exist, elect & plumbing conditions shall be reviewed for determination of capping of lines, etc.

Code Review

ADDRESS: 7D Greenwood Drive, Hilton Head Plaza
JURISDICTION: Hilton Head Island
OCCUPANCY: Group "A-2" Assembly [§903.4.2]
AREA: This project does not alter the heated area of the building
HEIGHT: This project does not alter the height of the building
CONSTRUCTION CLASS: Type "V-2" Unprotected Sprinklered [§901.4] [§902.5]
OCCUPANTS: This project perhaps adds 1 occupant.
FIRE RESIST: REO/MNTS [180], [175E] [V] NONE
EXIT: 1 Exit door is provided at the new bar.

GENERAL NOTES

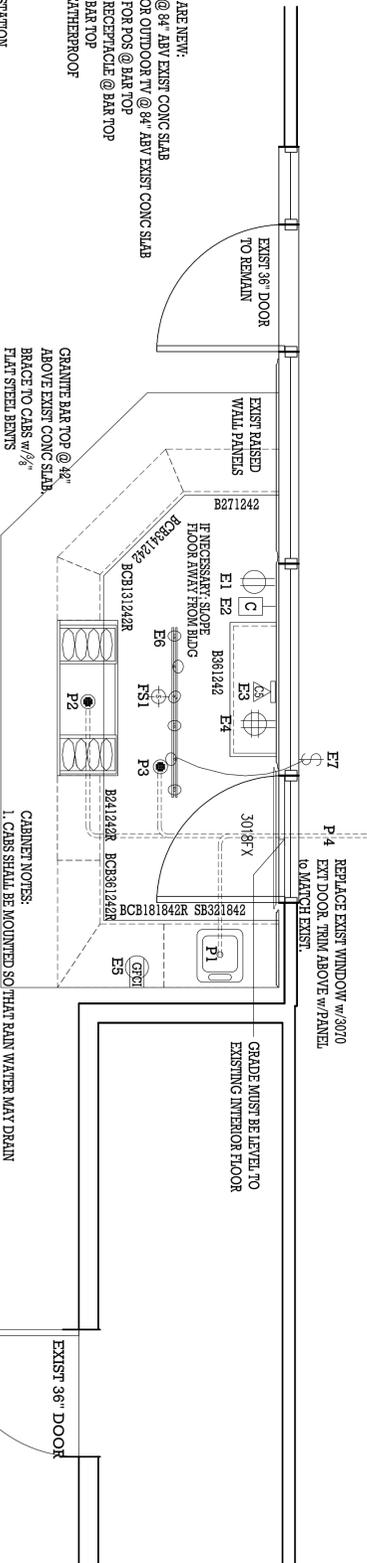
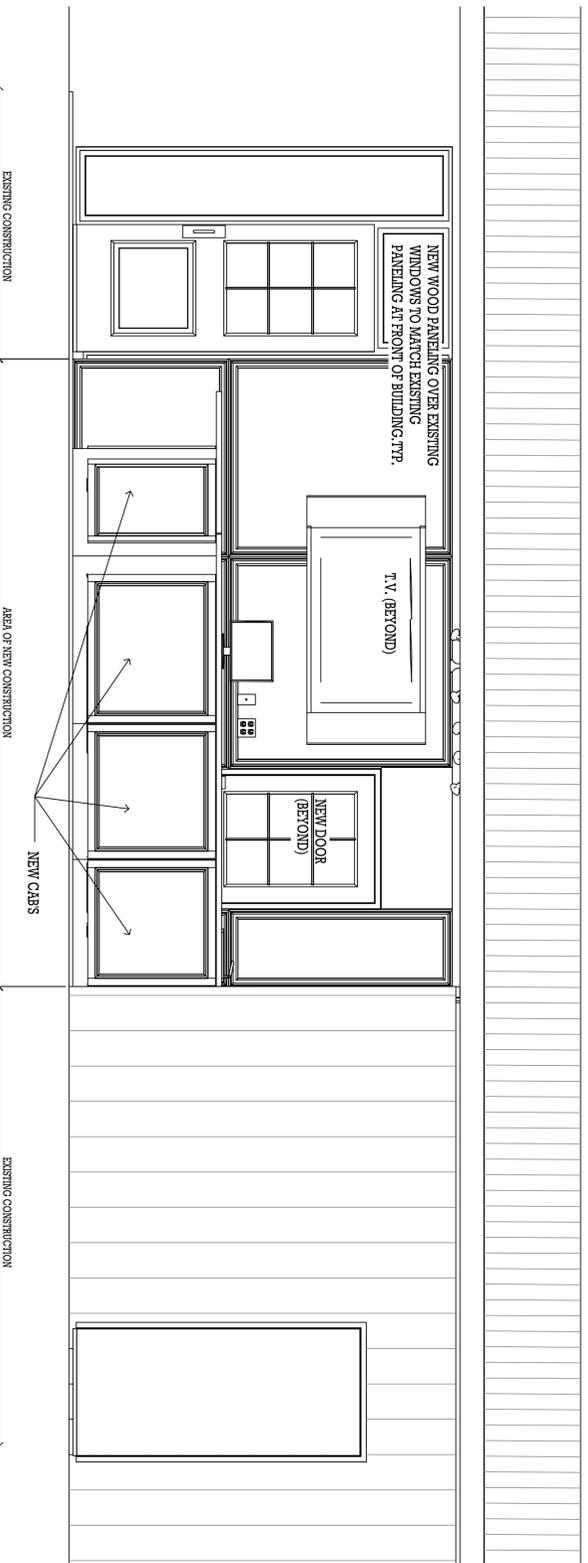
- Do not use a scale on these drawings. Written, computer-driven dimensions take precedent over scaled dimensions. In the event of conflict between indicated and actual conditions, the GC shall inform the Architect in writing, before proceeding.
- The plans and specifications contained herein shall comply with all applicable codes.
- Before beginning construction, the GC shall familiarize himself with the site, the project, and these drawings in its entirety.
- The Architect waives any and all responsibility and liability for problems which arise from the failure to follow these documents, including specified products, materials & methods of construction and the design intent they convey.
- It is strongly recommended that the Architect of these drawings be engaged by the owner to perform Contract Administration of the Construction Phase of the Work. As a professional, only the Architect can properly interpret the intent of the concepts contained herein. Otherwise, this Architect waives any responsibility or liability which may arise due to the failure of other parties to properly follow and/or interpret these plans or the failure of other parties to obtain and follow guidance in case of errors, omissions, conflicts, or ambiguities.
- The GC shall plan, coordinate, and execute demolition, storming, new construction and removal work in a systematic manner to insure safety, minimize economy of construction, and the disruption of ongoing operations as well as verifying all drawings and assuming that the installation of all new construction continue to be safe and serviceable and meet all applicable code requirements.
- Information contained on these drawings is provided for the convenience of the GC in the execution of work. The information contained on these drawings in no way releases the GC from the responsibility of verifying both completely and timely all field conditions relating to and affecting the conditions of work as described in these Documents. It is the responsibility of the GC to field verify and document all dimensions, elevations, benchmarks, materials and methods of construction that will affect any and all work as well as coordinate such field verifications with these Documents and the execution of the work. This also includes existing latent or otherwise hidden conditions.
- It is implied that by submitting for building permit, the GC has read and understands all conditions of these drawings and specifications, has read and understands all prevailing codes and regulations under which this building is to be constructed, and implicitly agrees to all the conditions stated and implied on these drawings and specifications.
- Every effort shall be made to provide a complete and accurate representation of the Design Intent. The Architect cannot and does not grant discretion or accuracy of any such information and assumes no liability hereafter. See "A" above; otherwise the GC shall assume liability for such discrepancies.
- Discrepancies and/or conflicts involving existing conditions shall be brought to the Architect's attention immediately by the most expedient means. It is the responsibility of the GC to assist the architect on making their evaluations and recommendations by providing in a timely manner, at no additional cost to the Owner, accurate and complete drawings, sketches, and photographs sufficient to clearly describe discrepancies, conflicts and concealed or otherwise, unanticipated conditions affecting construction. The GC shall further assist the Architect by providing in a timely manner proposed solutions to unanticipated conditions.
- Existing life and emergency safety systems may not be shown on the drawings. The GC is responsible for field-verification of the location and extent of these systems (including, but not limited to, fire, sprinkler, systems, smoke detection systems and emergency lighting systems) as they may be affected by prescribed work. The GC is responsible for accommodating these systems when affected by prescribed work so that all applicable code requirements are satisfied.
- The GC shall engage duly skilled subcontractors ("subs") with proven experience in their trade. Similarly no product or methodology shall be used which has not been successfully installed in the Hilton Head vicinity.
- Maintain the job site a copy of all drawings, specifications, addenda, approved shop drawings, field orders, and any other contract modifications, and/or approved documents submitted by the GC in compliance with various sections of the Documents.
- The GC shall provide a copy of the Documents that will act as, and be labeled as, "Project Record Copy" which will remain on the job site at all times and in good condition. These drawings will act as a record to show all significant changes made during the construction process, and any significant details not shown in the original Documents. This information shall include but not be limited to: The locations of the underground utilities and appurtenances referenced to permanent 1) surface improvements. The locations of internal utilities and appurtenances concealed in the structure that are 2) not referenced in the Documents. Upon completion of the work, the GC shall provide the Owner one complete set of documents marked "Project Record Documents" showing changes to the original documents.

Legend

- ALL ITEMS LISTED BELOW ARE NEW:
- E1 12" VAC RECEPTACLE @ 84" ABV EXIST CONC SLAB
 - E2 CABLE RECEPTACLE FOR OUTDOOR TV @ 84" ABV EXIST CONC SLAB
 - E3 NETWORK CAT5 JACK FOR POS @ BAR TOP
 - E4 12" VAC QUADRUPLE RECEPTACLE @ BAR TOP
 - E5 GFCI RECEPTACLE AT BAR TOP
 - E6 48" TRACK LIGHT WEATHERPROOF
 - E7 SINGLE POLE SWITCH
 - P1 HANDWASH SINK
 - P2 ICE WEL/ COCKTAIL STATION
 - P3 FLOOR DRAIN
 - P4 3" SCHEDULE 40 PVC DRAIN-TIE INTO EXIST. DRAIN SYSTEM
 - FS1 FIRE SPRINKLER HEAD-TIE INTO LOCAL SYSTEM @ CLOSEST POINT

NEW WORK ELEVATION

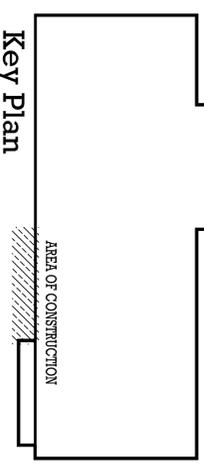
SCALE: 1/2"=1'-0"



NEW WORK PLAN

SCALE: 1/2"=1'-0"

- CABINET NOTES:
1. CABS SHALL BE MOUNTED SO THAT RAIN WATER MAY DRAIN AWAY.
2. CABS SHALL BE ANCHORED TO OFFSET FORCES OF COUNTERTOP ABOVE. USE 3/8"x2" GALV L, REDHEAD TO EXIST SLAB.



Key Plan

SQUARE SHEET

Don Baker, AIA
10 East Garrison Place
Hilton Head, SC 29928

843-363-3663
843-290-6666
843-363-6888

squarefee@adelphia.net
HH Bus Linc. # BLN0400739



Minor Improvements to:

REILLEY'S SOUTH
7D Greenwood Drive
Hilton Head Plaza
Hilton Head Island, SC 29928



Copyright 2010, by Square Feet.
Note: All ideas, concepts, and design described herein are the property of Square Feet. These ideas, concepts, and designs are to be used only on the project. Any other use constitutes a violation of the contract. The contractor shall be responsible for obtaining all necessary permits and for the proper use of these drawings. The contractor shall be held responsible for any unanticipated use of these drawings.

Project Number: R50

Issue Date: 16 Aug 2010
Issuance: HH Building Permit

Revisions:
1. 16 Aug 2010 HH Building Permit

- 1.
- 2.
- 3.
- 4.
- 5.

Sheet Title:
COVER SHEET:
PERMIT INFORMATION
PROJECT NARRATIVE

S H E E T



Reilly's GRILL & BAR

Reilly's Specials

Soup, Paper Plate
*Blended Chicken, Pasta
*Green & White Chicken, Pasta
*WEDNESDAY NIGHT *
*Multi-Cooker only \$12.95
Reserve Now

Monday - Salads, Home Made
Tuesday - Fried Fish
Wednesday - One-Cooker Meals
Thursday - One-Cooker Meals
Friday - Pasta, Rib
Saturday - Pasta, Rib
Sunday - Choppy Brunch





DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Reilley's South DRB# DR100035

DATE 9/14/2010 RECOMMEND X RECOMMEND RECOMMEND

APPROVE APPROVE W/COND. DENY

ARCHITECTURAL DESIGN		
Drawings call for existing door to remain, but elevations show a door with muntins in its place, which also matches the proposed door behind the bar. Some clarification is needed, and Staff would recommend that all doors on all sides should match. Staff would also request that all lighting above the bar should be recessed in the soffit, or otherwise concealed.		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		

Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		
LANDSCAPE DESIGN		
NA		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and		

location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments on this project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
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 Phone: 843-341-4757 Fax: 843-842-8908
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Applicant/Agent Name: DAVID ROBERTSON Company: SIGLER CONSTRUCTION, INC
 Mailing Address: PO BOX 21768 City: HILTON HEAD State: SC Zip: 29925
 Telephone: 843-338-3373 Fax: 888-774-7408 E-mail: DAVER.SIGLERCO@GMAIL.COM
 Project Name: HILTON HEAD BREWING CO. PERGOLA Project Address: 7 GREENWOOD DRIVE
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

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Stating manufacturer and material name

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Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

DAVID ROBERTSON
SIGNATURE

8/25/2010
DATE



August 31, 2010

To: Town of Hilton Head Island, Design Review Board

From: David Robertson

Re: Hilton Head Brewing Company, Hilton Head Plaza

To Whom It May Concern,

Please accept this letter as a formal declaration that the project our company seeks to construct, a trellis system at the existing deck at the Hilton Head Brewing Company, shall comply with Sec. 16-4-503. The proposed structure shall not exceed the existing height of the adjacent buildings, nor extend over any pathway. No trees or landscaping shall be removed, relocated, or otherwise affected incidental to the completion of this project. All materials shall be finished to match existing surfaces in the immediate area, utilizing tan acrylic paint and a medium brown stain.

No portion of this structure shall be visible from Greenwood Drive, Sea Pines Circle, or Pope Avenue.

Thank you for your consideration in this matter.

David Robertson
Production Manager
Sigler Construction, Inc.
843-338-3373 cell
843-560-9663 office
843-774-7408 fax
.brsconstructioninc.com









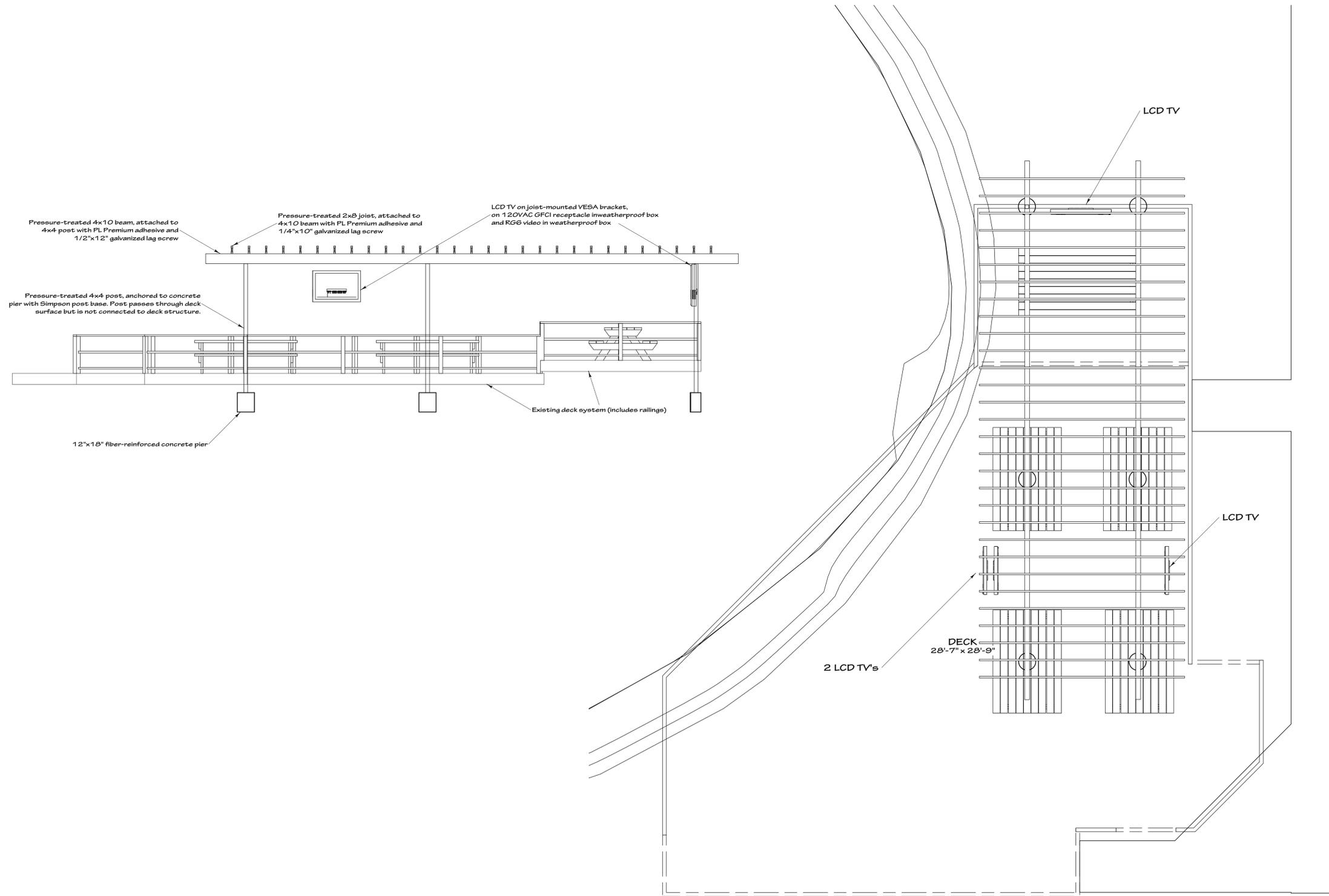




Reilly's GRILL & BAR

Specials
Daily Special
Sunday Brunch
Happy Hour
Lunch
Dinner
Weekend
Family
Private Events

Reilly's Grill & Bar
1234 Main St
Anytown, CA 90210
Tel: 555-123-4567



SCOPE OF WORK

Sigler Construction proposes to build a freestanding trellis system through the existing deck at the Hilton Head Brewing Company, 7C Greenwood Drive, in Hilton Head Plaza. The trellis shall be supported on an independent system of concrete piers, with 4x4 posts passing through the decking, floor framing system, and existing picnic tables, but not anchored to the deck framing.

All framing members shall be a pressure-treated, exterior grade material unless otherwise noted. All framing members shall be anchored using construction adhesive, galvanized lag screws, and/or approved Simpson galvanized steel framing connectors, as noted.

Four LCD TV's shall be temporarily hung (as weather permits) from the joist system on VESA mounts. Each TV location shall include one 120VAC GFCI receptacle, and one RG6 video receptacle. Both receptacles shall be housed in weatherproof boxes. Power and video shall be supplied from existing deck circuits.

The drawings, designs, and specifications depicted herein are the sole property of Sigler Construction, Inc. and may not be constructed or used without written authorization from Sigler Construction, Inc. No permission to modify or reproduce any of these drawings, designs, and specifications, including without limitation the construction of any building, is expressed or should be implied from delivered or preliminary drawings or construction documents marked "not for construction". Permission to construct the building depicted in authorized construction documents is expressly conditioned on the full and timely payment of all fees otherwise due to Sigler Construction, Inc. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans. Any reproduction, reuse, or modification of these plans or the drawings, designs, and specifications depicted herein is prohibited.



NO.	DESCRIPTION	BY	DATE

DECK PLAN

Hilton Head Brewing Co.
 7C Greenwood Drive
 Hilton Head South Carolina 29928

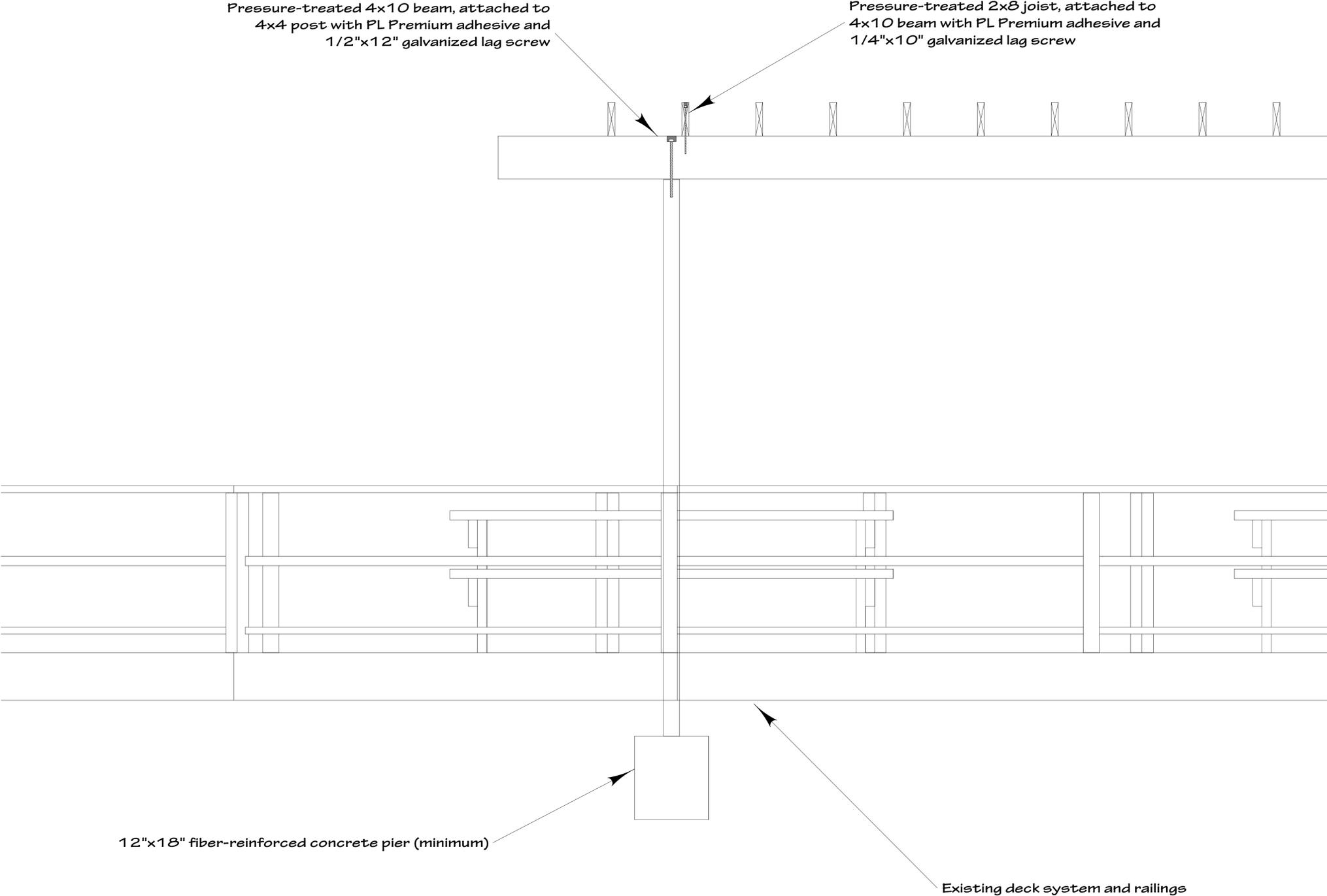
Sigler Construction, Inc.
 P.O. Box 21765
 Hilton Head, SC 29925
 office 843-560-9663
 fax 843-774-7408
 DaveR.SiglerCo@gmail.com

SCALE: 1/4"=1'0"

SHEET:
A-1

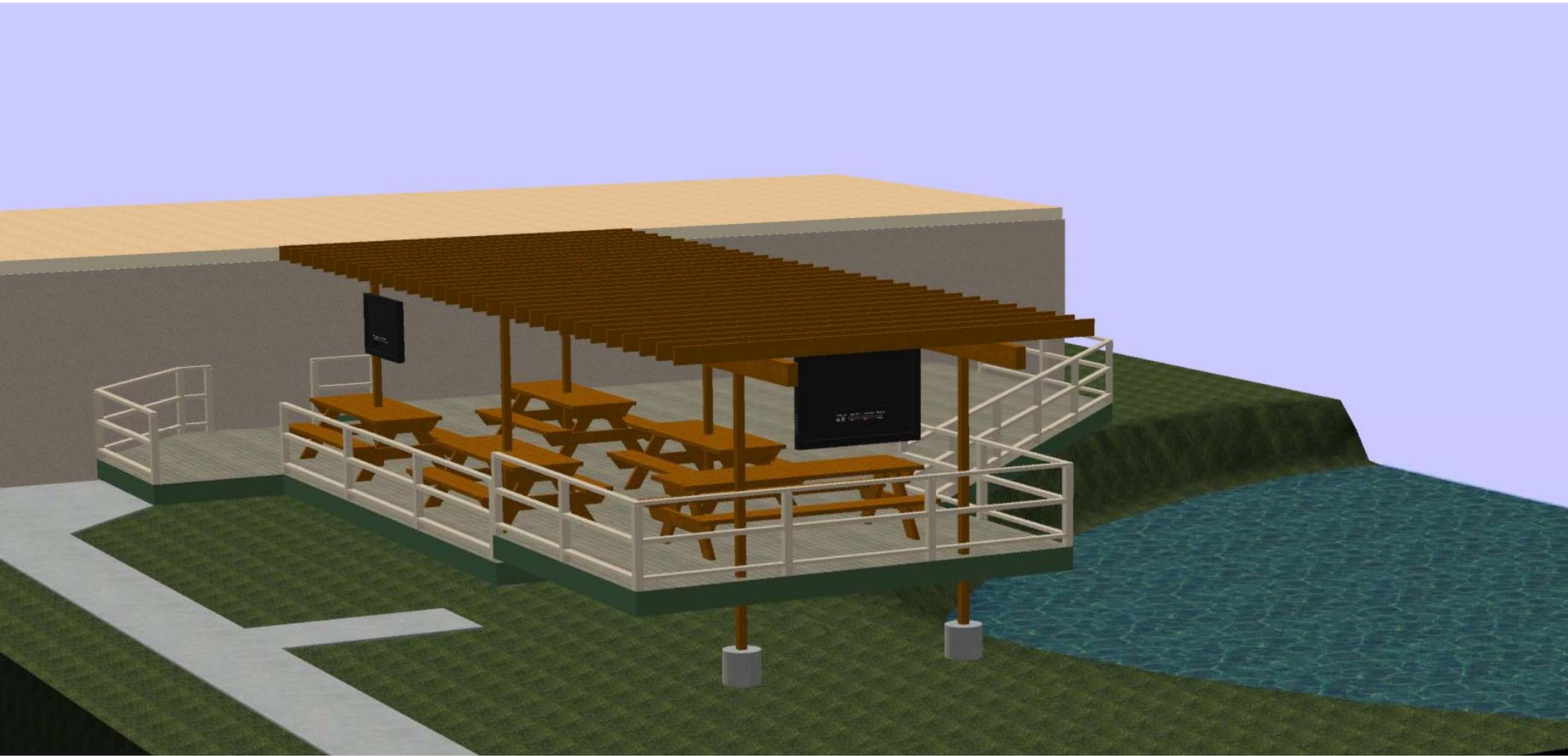
POST & BEAM ASSEMBLY DETAIL

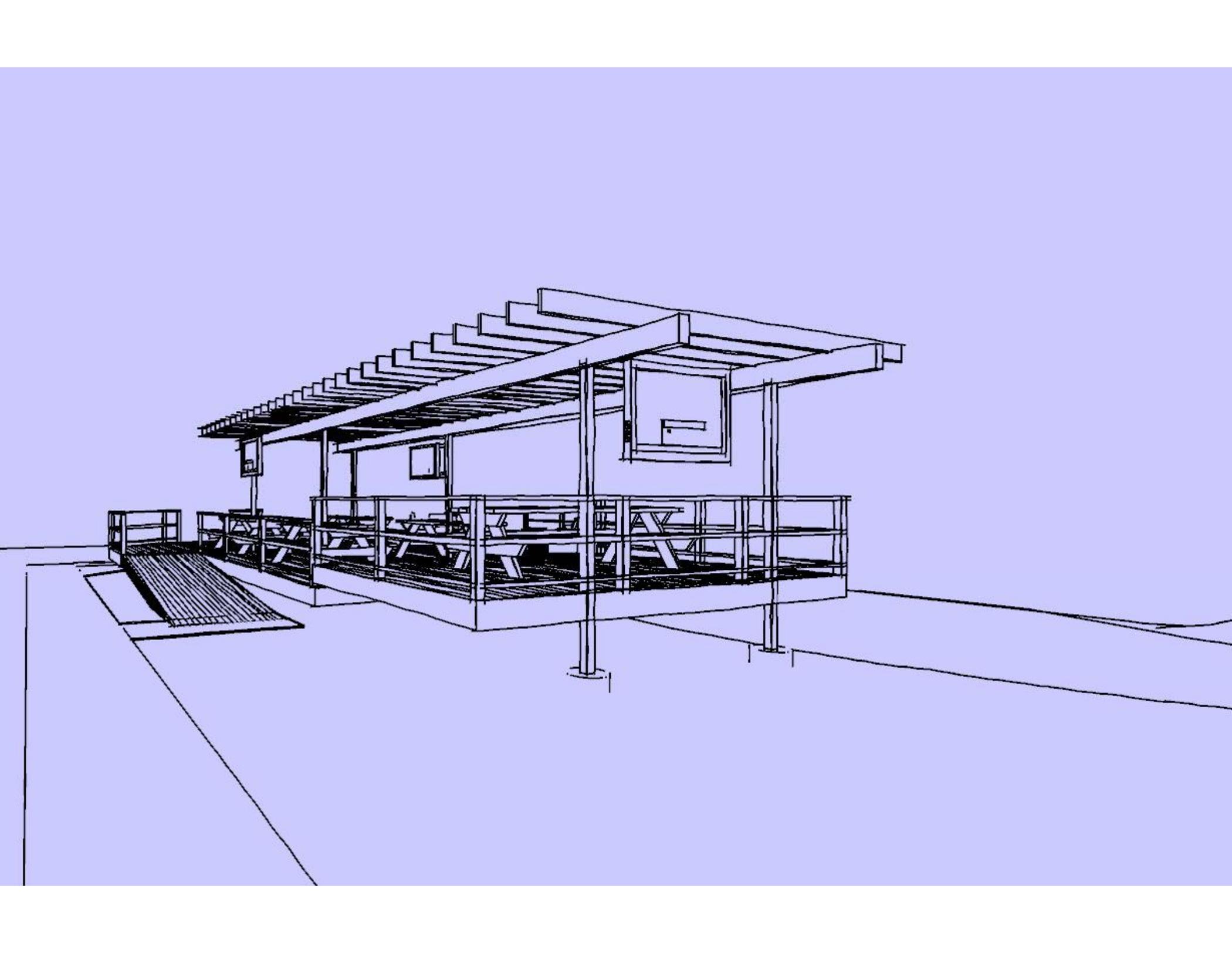
SCALE: 1"=1'0"

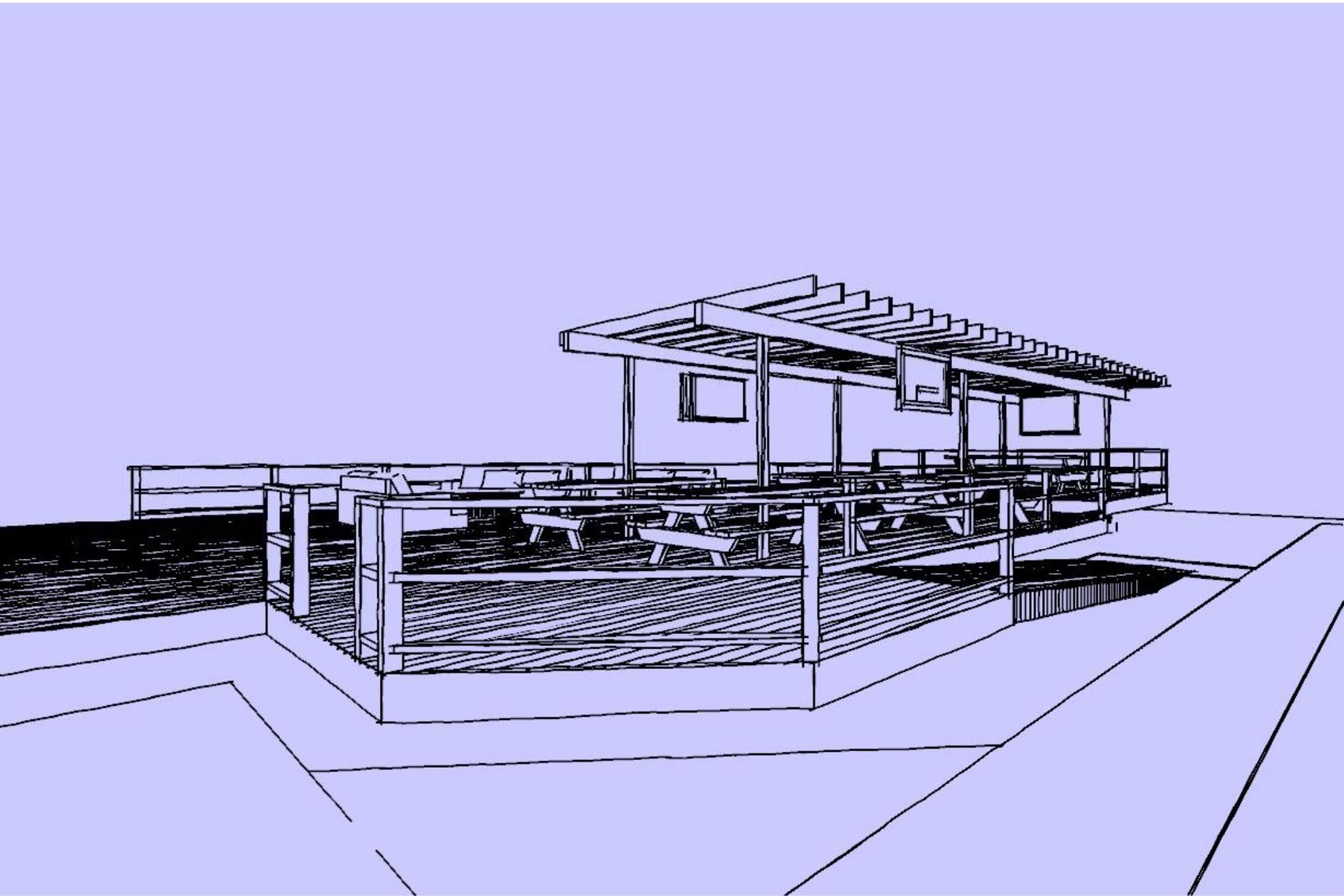


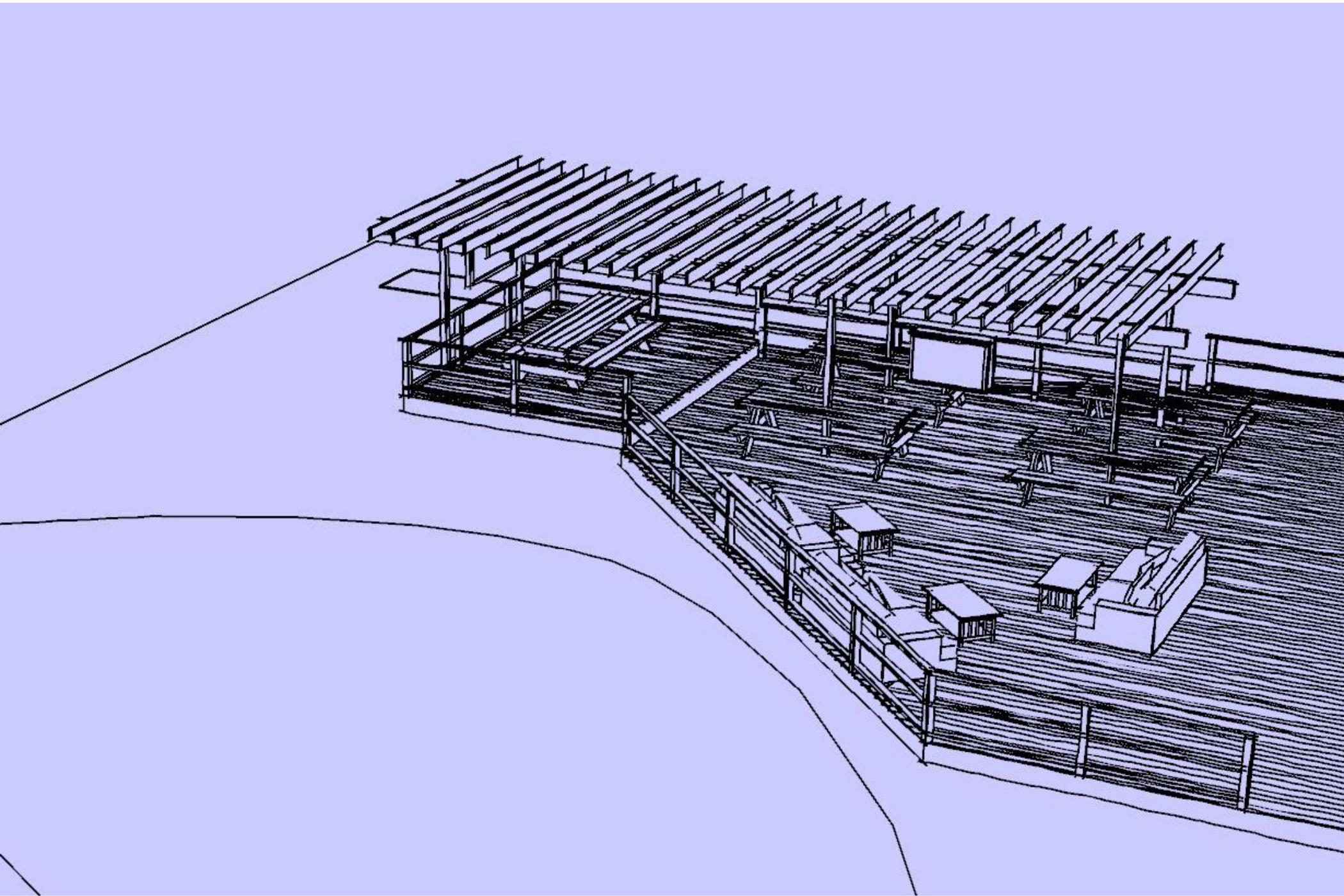


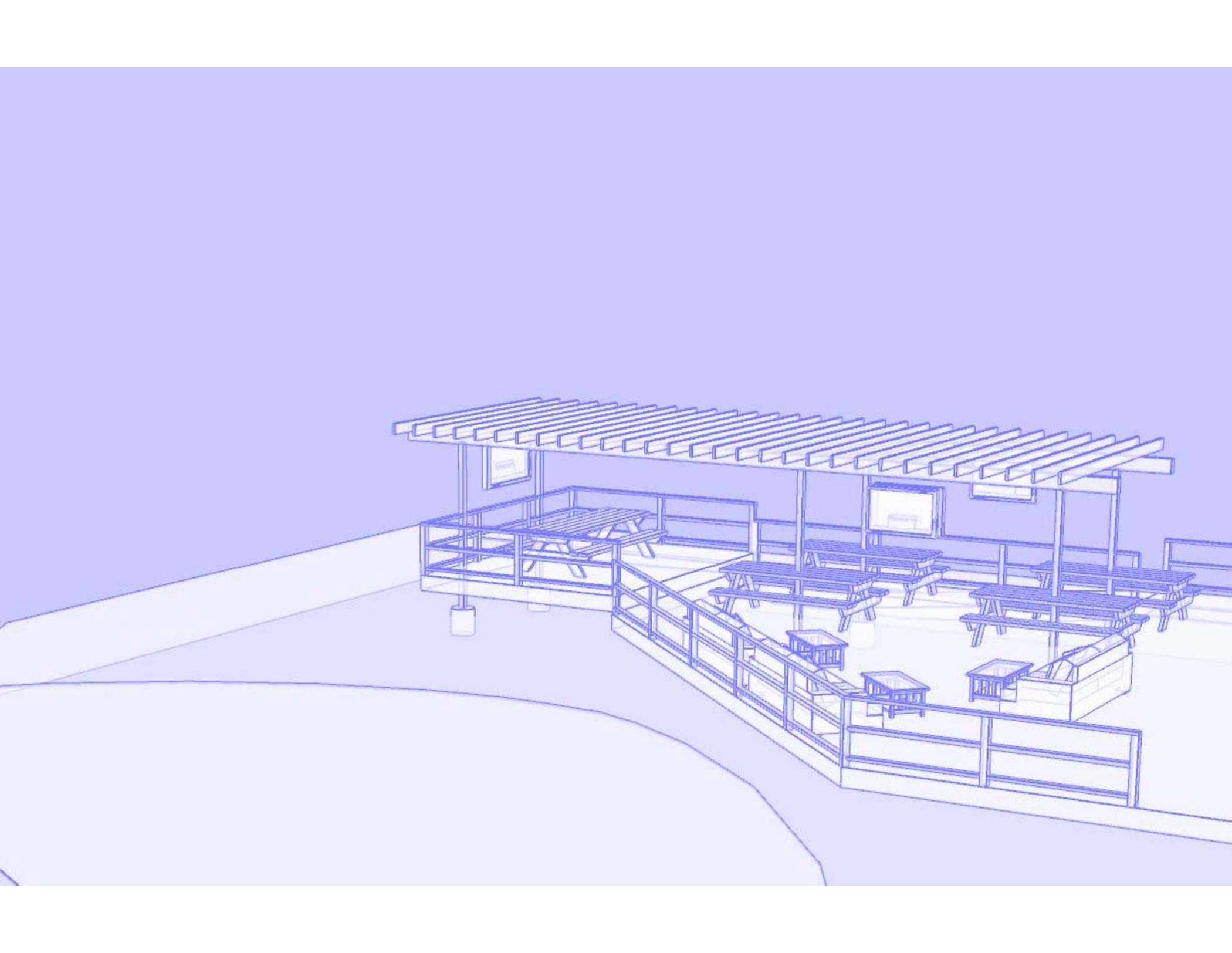


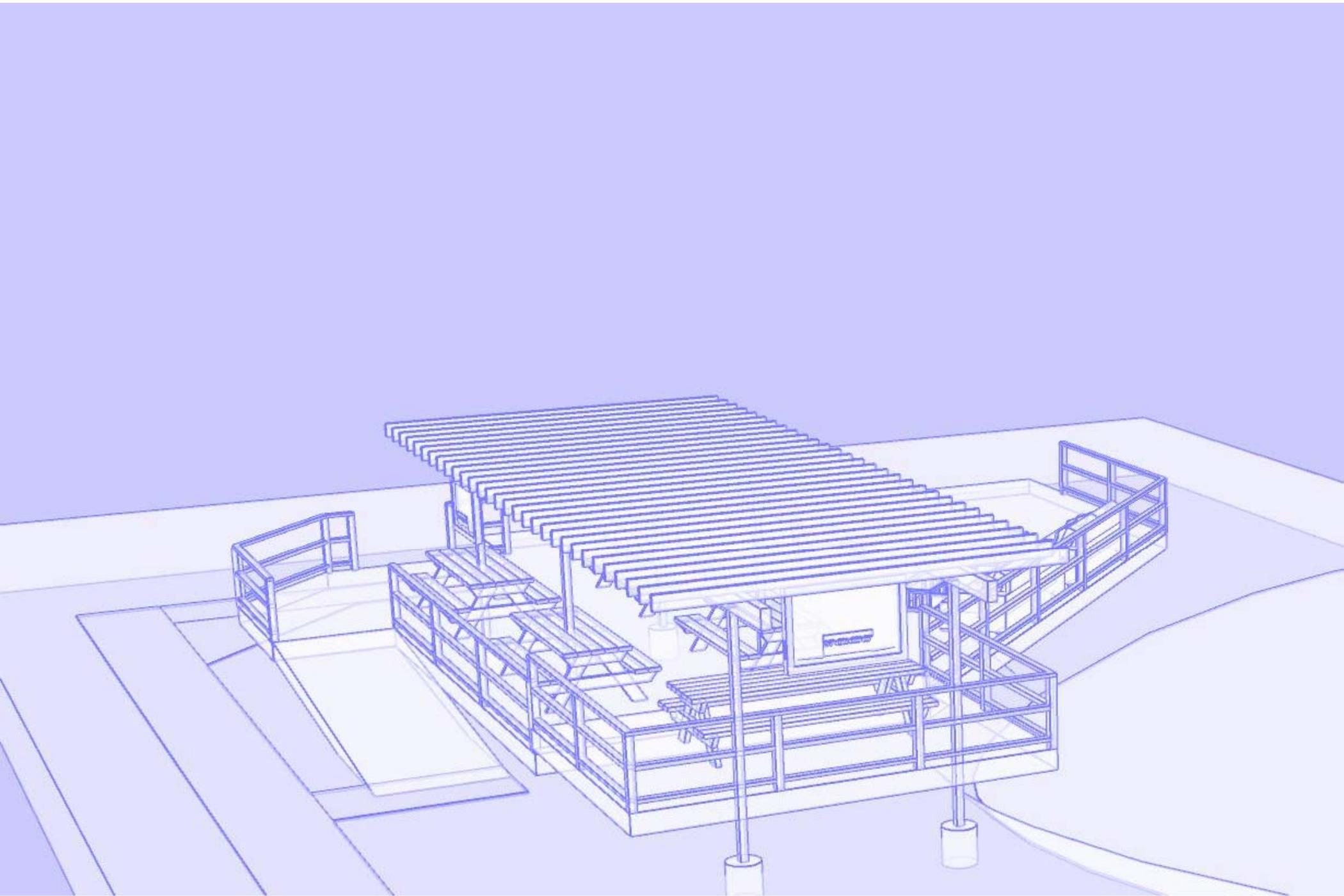


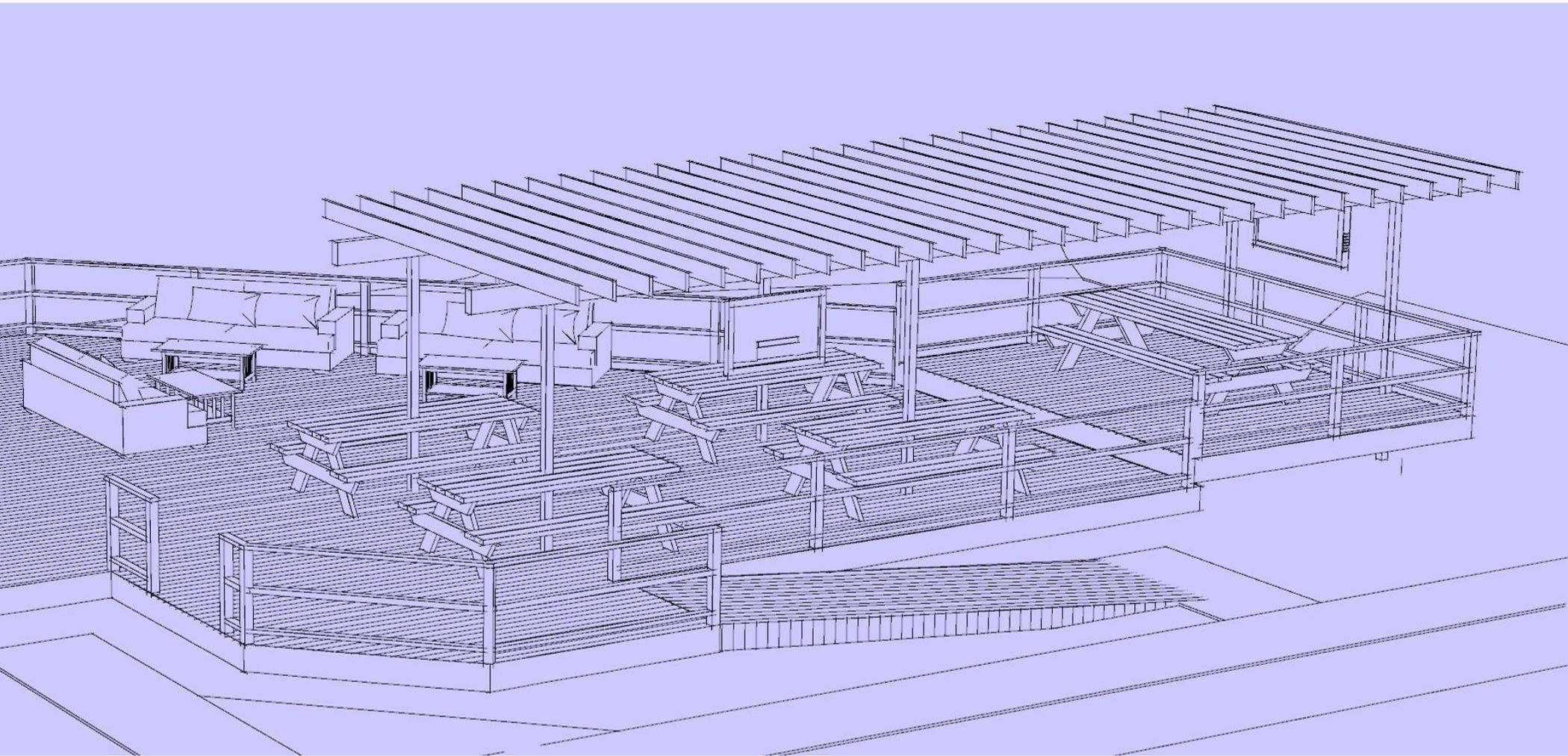












DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Hilton Head Brewing Company

DRB# DR100036

DATE 9/14/2010

RECOMMEND APPROVE

RECOMMEND APPROVE W/COND.

RECOMMEND DENY

ARCHITECTURAL DESIGN
 Post/beam proportions might be discussed, but overall an approvable addition to an existing deck. Some form of detail at the ends of the horizontal elements might soften the overall feel of the structure.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	
Minimum roof pitch of 6/12	NA	
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y/N	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	NA	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	NA	
Details are clean, simple and appropriate while avoiding excessive ornamentation	Y	
Utilities and equipment are concealed from view	Y	
Decorative lighting is limited	Y	

and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure	Y	
LANDSCAPE DESIGN		
N/A		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach		

their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		The edge of the pergola must not be close enough to the large pine at the corner of the existing deck to be hit by the pine when it sways in the wind. Pergola supports must be at least 6 feet from the base of the pine.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS

**TOWN OF HILTON HEAD ISLAND
COMMUNITY DEVELOPMENT DEPARTMENT
MASTER APPLICATION FORM**

ONE TOWN CENTER COURT • HILTON HEAD ISLAND, SC 29928 • 843-341-4757 • FAX 843-842-8908

Please TYPE or PRINT legibly

NAME OF DEVELOPMENT or BUSINESS Beach Market Shops
 STREET ADDRESS 2 North Forest Beach Drive Hilton Head SC 29928
 ZONING DISTRICT _____ OVERLAY DISTRICT _____
 TAX DISTRICT _____ PARCEL(S) MAR552-018-000-0012 TAX KEY 00420949
 LAND OWNER Bruce Kimball APPLICANT Same AGENT _____
 NAME Beach Market LLC COMPANY _____
 MAILING ADDRESS 5 Harrogate Drive _____
 CITY Hilton Head SC STATE SC ZIP 29928 _____
 TELEPHONE 843-384-1000 CITY FAX 686-1960 _____
 Bus License # 2805 Bus License# _____
 (For DRB, DR & SUB Only) (For DRB, DR & SUB Only)
 EMAIL ADDRESS bkimball@wexford@aol.com EMAIL ADDRESS _____ EMAIL ADDRESS _____

* A CHECK-IN CONFERENCE IS REQUIRED FOR THESE ITEMS. SEE LMO 16-3-104 FOR MORE INFORMATION. ATTACH THE NECESSARY SUPPLEMENTAL FORM(S).

- | | |
|---|---|
| <input type="checkbox"/> APPEAL * | <input type="checkbox"/> ZONING MAP AMENDMENT * |
| <input type="checkbox"/> DEVELOPMENT PLAN REVIEW (DPR)* | <input type="checkbox"/> DESIGN REVIEW BOARD |
| <input type="checkbox"/> PLANNED UNIT DEVELOPMENT * | <input type="checkbox"/> PUBLIC PROJECT |
| <input type="checkbox"/> SPECIAL EXCEPTION * | <input type="checkbox"/> SIGN PERMIT |
| <input type="checkbox"/> SUBDIVISION * | <input type="checkbox"/> TREE APPROVAL |
| <input type="checkbox"/> VARIANCE * | <input type="checkbox"/> WETLAND ALTERATION |
| <input type="checkbox"/> ABBREVIATED DPR* | <input type="checkbox"/> EXPEDITED DPR* |

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request?

YES NO

If so, a copy of the private covenants and/or restrictions must be submitted with this application.

TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON THIS APPLICATION AND ALL ADDITIONAL DOCUMENTATION IS TRUE, FACTUAL AND COMPLETE. I HEREBY AGREE TO ABIDE BY ALL CONDITIONS OF ANY APPROVALS GRANTED BY THE TOWN OF HILTON HEAD ISLAND. I UNDERSTAND THAT SUCH CONDITIONS SHALL APPLY TO THE SUBJECT PROPERTY ONLY AND ARE A RIGHT OR OBLIGATION TRANSFERABLE BY SALE.

Bruce A Kimball
SIGNATURE

8-30-10
DATE

I UNDERSTAND THAT IN THE EVENT OF A STATE OF EMERGENCY, DUE TO A DISASTER, THOSE REVIEW & APPROVAL TIMES SET FORTH IN THE LAND MANAGEMENT ORDINANCE MAY BE SUSPENDED.

COMMUNITY DEVELOPMENT DEPARTMENT
DESIGN REVIEW BOARD

SUPPLEMENTAL APPLICATION FORM

THIS FORM MUST BE ACCOMPANIED BY A MASTER APPLICATION FORM.

NAME OF DEVELOPMENT Please TYPE or PRINT legibly Beach Market Shops

PROJECT CATEGORY:

- New Development – Conceptual
 - Alteration/Addition
 - New Development – Final
 - Minor External Change
- Project # from Notice of Action DR _____

I. APPLICATION REQUIREMENTS FOR ALL PROJECTS:

ARCHITECTURAL REVIEW BOARD NOTICE OF ACTION (If applicable): When a project is within the jurisdiction of an Architectural Review Board (ARB), the applicant shall submit such ARB's written notice of action LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

FILING FEE (New Development \$175, Alterations/Additions \$100, Minor External \$50)

II. APPLICATION REQUIREMENTS FOR NEW DEVELOPMENT (CONCEPTUAL):

Sec. 16-3-1003. Submission Requirements

Applicants shall submit an application form as published by the Administrator and appropriate fee as required by Sec. 16-3-105 along with the following materials before an application shall be considered complete.

A. Concept Approval -- New Development. (11 copies)

- 1. A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- 2. A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- 3. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- 4. Context photographs of neighboring uses and architectural styles.
- 5. Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- 6. Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

DESIGN REVIEW BOARD SUPPLEMENTAL APPLICATION FORM (continued)

III. APPLICATION REQUIREMENTS FOR NEW DEVELOPMENT (FINAL)

Sec. 16-3-1003. Submission Requirements

Applicants shall submit an application form as published by the Administrator and appropriate fee as required by Sec. 16-3-105 along with the following materials before an application shall be considered complete.

B. Final Approval -- New Development. (11 copies)

- 1. A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- 2. Final site development plan meeting the requirements of Sec. 16-3-303.F.
- 3. Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- 4. Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- 5. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- 6. Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

IV. APPLICATION REQUIREMENTS FOR ALTERATIONS/ADDITIONS AND MINOR EXTERNAL CHANGES (11 copies):

- WRITTEN NARRATIVE describing how project conforms to design guidelines of Section 16-4-503
- PHOTOGRAPHS AND/OR DRAWINGS OF EXISTING DEVELOPMENT
- DRAWINGS OF PROPOSED DEVELOPMENT - 11"x 17"
- MATERIAL/COLOR SAMPLES OF EXISTING AND PROPOSED CHANGES
8 1/2" X 14" *Maximum* STATING MANUFACTURER AND MATERIAL NAME

***NOTE:** ALL APPLICATION ITEMS MUST BE SUBMITTED BY THE DEADLINE DATE IN ORDER TO BE REVIEWED BY THE DRB LMO SECTION 16-3-106.

FOR OFFICIAL USE ONLY	
DATE RECEIVED: <u>8-31-10</u>	TIME: <u>11:00 Am</u>
ACCEPTED BY: <u>[Signature]</u>	MASTER TRACKING NUMBER: <u>DR100039</u>

August 31, 2010

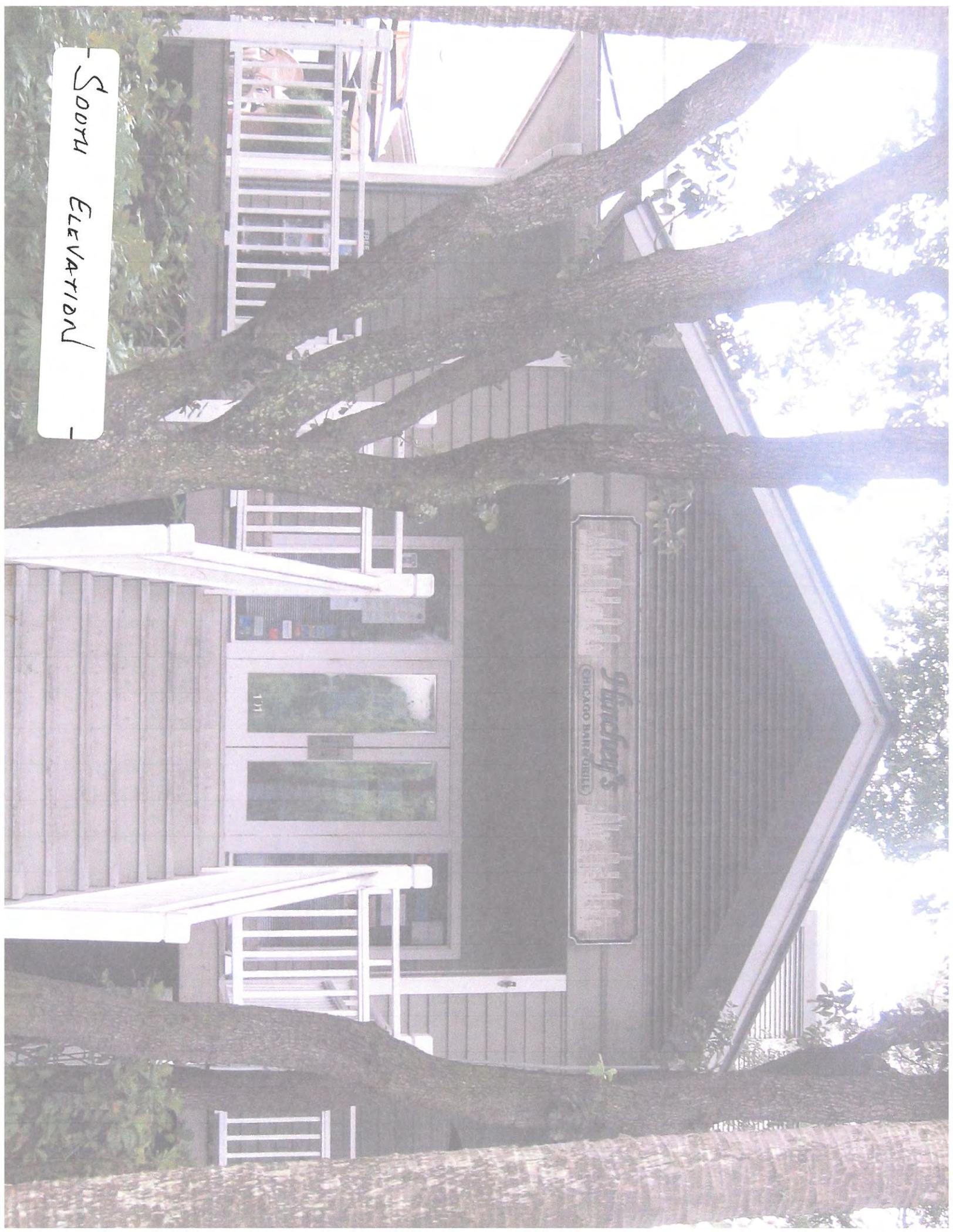
MINOR EXTERIOR ALTERATIONS AND ADDITIONS
2 NORTH FOREST BEACH DRIVE

Two North Forest Beach Drive is known as The Beach Market and is comprised of retail shops and restaurants. The space that has been occupied by Hinchey's Chicago Bar and Grill will be leaving this location this Winter. A new restaurant will be taking the space and making alterations to the exterior and extensive upgrades to the interior space.

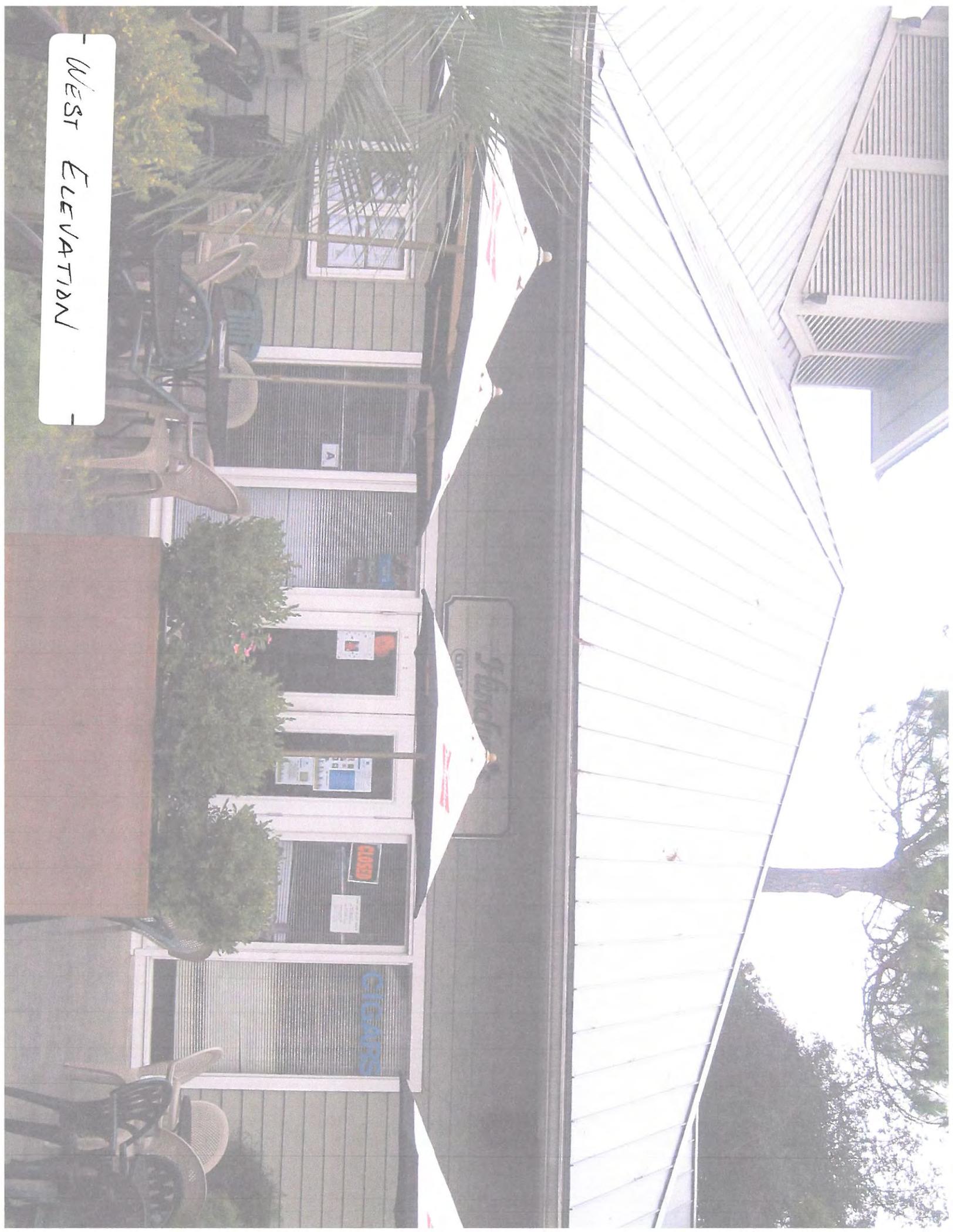
The photos show the current window and door appearance in three elevations. The Southeast and South Elevation changes are the removal of the fixed glass and installing sliding glass partitions. The Southeast elevation also has the addition of a new custom door.

The West Elevation which faces the internal shopping plaza will have the fixed glass and current double entry doors replaced with new custom doors and two 5X5 fixed windows. Both the doors and windows will have awnings. The windows will be shuttered with board and batten style and finished in the same color as the custom doors.

- South Elevation -



WEST ELEVATION



SOUTHEAST ELEVATION







Exterior Color Options



- ARCHITECTURAL ●
- A-SERIES ●
- 400 SERIES ●
- 200 SERIES ●
- 100 SERIES ○

▼ White

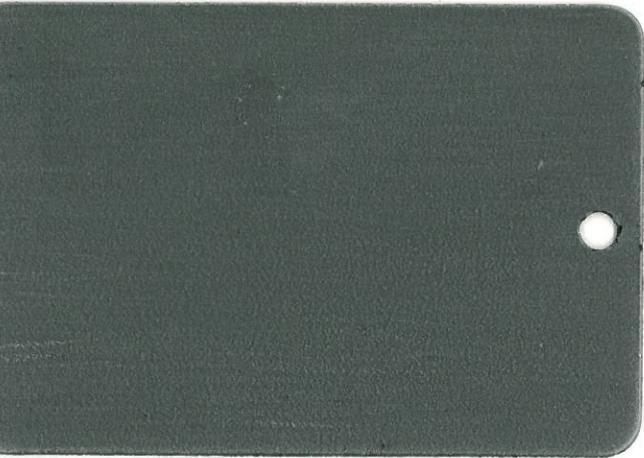


**COASTAL
CANVAS**
PRODUCTS CO., INC.
912-236-2416
73 Ross Road / Savannah, Georgia 31405

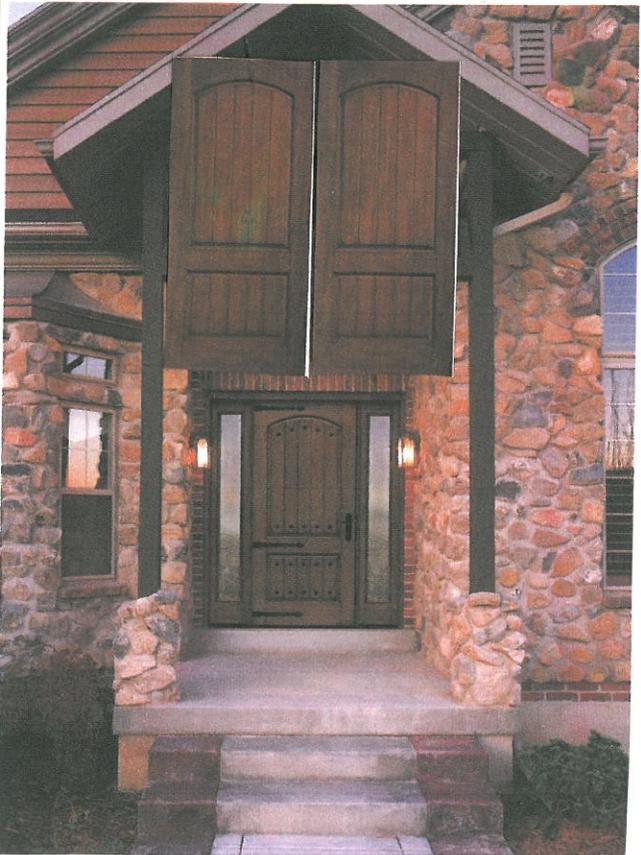


F
F
F
D

WINDOW COLOR -



- AWNING COLOR -



DOOR AND SHUTTER COLOR -



DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Beach Market

DRB# DR100037

DATE 9/14/2010

RECOMMEND
APPROVE

RECOMMEND
APPROVE W/COND.

RECOMMEND
DENY

ARCHITECTURAL DESIGN
Shed or A-frame awning(s) might complement the roof forms better than the waterfall/dome proposed. Overall the alterations are nice improvements to the building, although finishes might be discussed so that they may better integrate into the original development. Original color board to be presented at meeting. Shutter shown on board represents construction detailing, and not the blue stain. Color for shutter is noted above with the provided chip

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are		

concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		

LANDSCAPE DESIGN		
N/A		

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		

Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments on this project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS

Sign → DRB

Anne _____

MR _____



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: 8-31-10
Accepted by: J. Collier
App. #: Sign 100146

Applicant/Agent Name: ALEX SINEATH Company: DESIGNEATH
Mailing Address: 14 SPARROW HAWK CT. City: HHI State: SC Zip: 29926
Telephone: 601-9361 Fax: N/A E-mail: DESIGNEATH@ROADRUNNER.COM
Business License #: 2086 Sign Contractor: TBD
Project Name: FIRST PRESBYTERIAN CH. Project Address: 540 WM. HILTON PKWY
Parcel Number [PIN]: R51000800000840000
Zoning District: OL Overlay District(s): COR + Airport

SIGN SUBMITTAL REQUIREMENTS

The proposed sign(s) is:
 New or Alteration to an Existing Sign(s)
Type of sign(s) to be permitted (please enter the number of each sign type requested):
 Freestanding Façade Hanging Tenant Panel Temporary
 Real Estate Sign Real Estate Yard Sign Short Term Rental
Total number of sign faces: 2 (A sign face is a side of the sign with commercial copy)

The following must be submitted for each **freestanding, façade, hanging, tenant panel or temporary sign**:

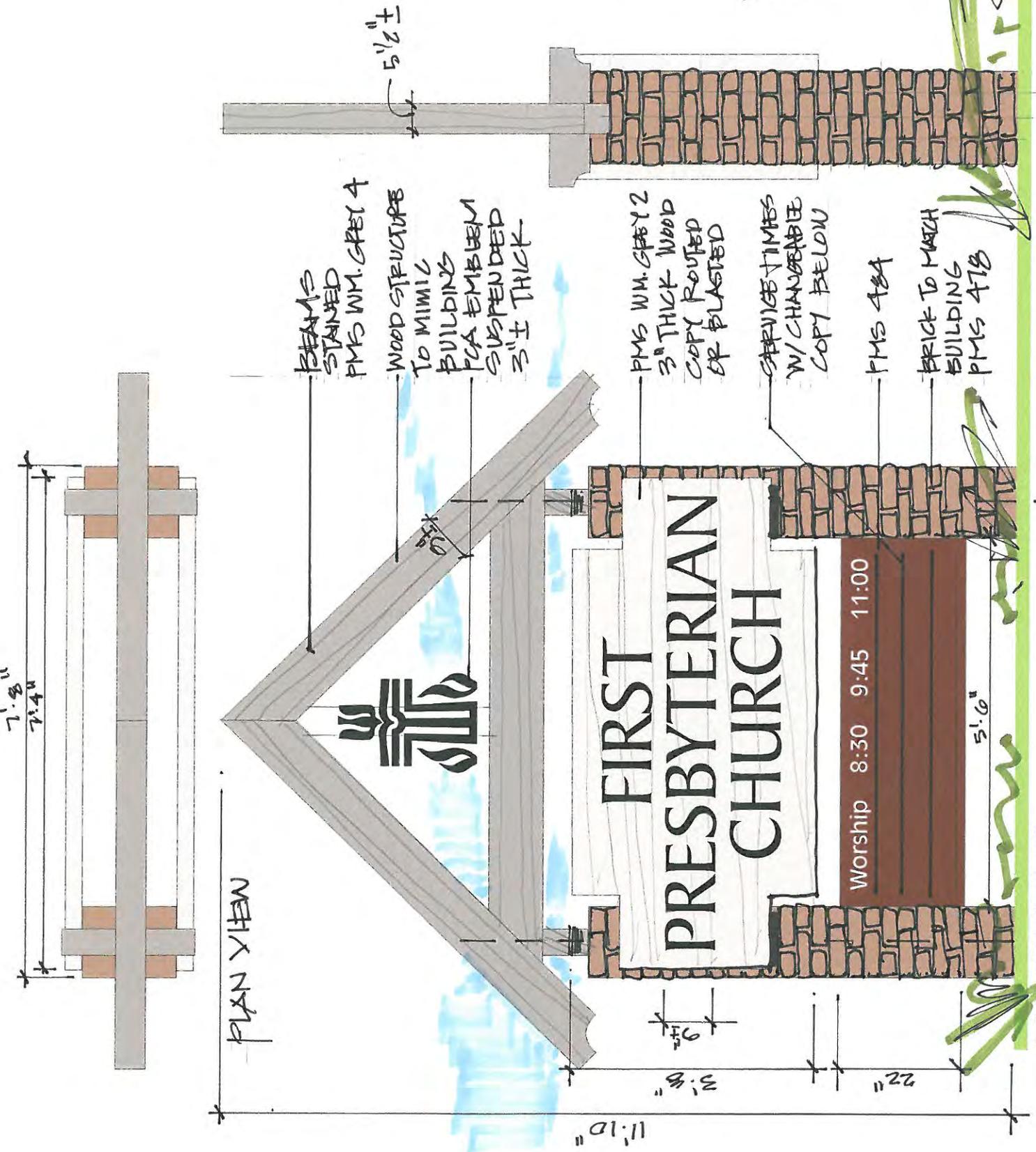
- A drawing or close-up photo of the proposed sign with the following measurements: sign height, width and depth; copy and logo height and width. Note the materials and provide the Pantone Matching System® numbers for each color. If there is existing lighting, the photo should show the fixtures.
- A drawing or photo of the location of the proposed sign and landscaping (if existing). If the sign is located on a building, that side of the building should be shown. If the sign is freestanding, include a site plan or aerial photo showing the location of the sign on the site.
- A lighting plan. If lights are already installed, the photo of the sign should show the light fixtures. If lights are proposed, fixture locations should be noted on the drawing or photo and manufacturer specifications should be provided.
- For freestanding permanent signs, a landscape plan and planting schedule. If the sign already has landscaping, the photo should show the landscaping.

For freestanding signs larger than 15 square feet, wind load calculations. PRIOR TO CONSTRUCTION

N/A An approval letter from any applicable architectural review board.

\$25 Filing fee + \$25 for each sign face (cash or check made payable to Town of Hilton Head Island)
75.00

FIRST PRESBYTERIAN CHURCH
 IDENTIFICATION SIGN



SCALE: 1/2" = 1'-0"
 EXECUTION © PROPOSED SIGN / DOUBLE FACED



Hadco F254 (108W (2) T5 Fluor)
W/A2 H F254 E
54 1/2" long

PROPOSED LIGHT
FIXTURE/ EACH SIDE

PHOTO COMP AT PROPOSED LOCATION
FIRST PRESBYTERIAN IDENTIFICATION SIGN

NOTE: EXISTING SIGN TO BE REMOVED.

DESIGN TEAM/ SIGN COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT	First Presbyterian Church	DRB#	S100146
DATE	9/14/2010	RECOMMEND APPROVE	<input checked="" type="checkbox"/>
		RECOMMEND APPROVE W/COND.	<input type="checkbox"/>
		RECOMMEND DENY	<input type="checkbox"/>

FREE STANDING SIGNS		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
SIGN FACE IS 3 DIMENSIONAL	YES	
TENANT PANELS LIMITED TO 3 OF SAME SIZE, FONT AND COLOR AND COMPRISE NO MORE THE 1/3 OF THE SIGN FACE	YES	
LOGOS DO NOT EXCEED 10% OF SIGN FACE AND VIVID COLORS ARE LESS THAN 10% OF LOGO	YES	
LIGHTING IS SHIELDED BY THE SIGN OR PLANT MATERIAL	YES	
LANDSCAPING IS ADEQUATE FOR SIZE OF SIGN	YES	
FAÇADE SIGNS		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
MEETS LMO 16-5-1309 SIZE CRITERIA		
ONLY 2 SIGNS PER FAÇADE (EXCEPT FOR SHOPPING CENTERS)		
COMPLIES WITH SIGN SYSTEM IF SHOPPING CENTER		
CONTAINED WITHIN AN ARCHITECTURAL ELEMENT OF THE BUILDING		
IS SIMILAR IN DESIGN AND CONTENT OF FREE STANDING SIGN(S)		
SIGN HAS 3 DIMENSIONAL FACE		
LOGOS DO NOT EXCEED 10% OF SIGN FACE AND VIVID COLORS ARE LESS THAN 10% OF LOGO		
LIGHTING IS SHIELDED FROM THE PUBLIC WAY		
MISCELLANEOUS LMO REQUIREMENTS (REQUIRED)		
CRITERIA	YES/NO/NA	
DOES NOT CONTAIN MORE INFORMATION THAN NECESSARY TO PROVIDE REASONABLE IDENTIFICATION OF THE BUSINESS	YES	
MATERIALS, COLORS, SHAPES AND DETAILS REFLECT THOSE OF THE BUILDING	YES	
SIZE AND PROPORTION DOES NOT DOMINATE SITE	YES	
SIZE AND PROPORTION IS COMPATIBLE WITH NEARBY AND ADJACENT PROPERTIES	YES	