



# The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, September 28, 2010

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes-**  
Design Review Board Meeting of September 14, 2010
6. **Staff Report**
7. **Board Business-** Swearing in-New Board Member- Martha Ahrens Schymik
8. **Unfinished Business**
  - A) Hilton Head Brewing Company- DR100036
  - B) Beach Market- DR100037
9. **New Business**
  - A) Minor External Change-
    - (1) The Circle Building- Repaint- DR100038
10. **Appearance by Citizens**
11. **Adjournment**

**Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.**

*There will be an opportunity for annual, state-mandated Board training after the meeting (optional).*

The Town of Hilton Head Island  
**DESIGN REVIEW BOARD**  
**Minutes of the Tuesday, September 14, 2010 Meeting**      **DRAFT**  
**1:15pm – Benjamin M. Racusin Council Chambers**

Board Members Present:      Chairman Tom Parker, Vice Chairman Todd Theodore,  
Ted Behling, Jennifer Moffett, Scott Sodemann and Galen Smith

Board Members Absent:      None

Council Members Present:      Bill Ferguson

Town Staff Present:      Mike Roan, Urban Design Administrator  
Richard Spruce, Plans Review Administrator  
Kathleen Carlin, Administrative Assistant

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**1. CALL TO ORDER**

Chairman Parker called the meeting to order at 1:15pm.

**2. ROLL CALL**

**3. FREEDOM OF INFORMATION ACT COMPLIANCE**

**4. APPROVAL OF THE AGENDA**

The agenda was **approved** as presented by general consent.

**5. APPROVAL OF THE MINUTES**

The minutes of the August 24, 2010 meeting were **approved** as presented by general consent.

**6. STAFF REPORT**

Mr. Roan stated that a special event is planned at Compass Rose Park on Friday, September 17<sup>th</sup> at 10:00am. The celebration is in honor of the late Edwin Drane, lead park designer, and in recognition of Carolina First Bank for its donation of a 1969 commemorative marker that shares the vision of early Hilton Head Island developers. Everyone is invited to attend.

**7. BOARD BUSINESS**

None

**8. UNFINISHED BUSINESS**

None

## 9. NEW BUSINESS

### Reilley's South – DR100035 - Alteration/Addition

Mr. Roan introduced the project and stated its location (7 Greenwood Drive, Hilton Head Plaza). The applicant is proposing to construct an outdoor bar to be located at the back of the building (through an existing wall). A new mahogany stained door will lead to the courtyard area.

Mr. Roan presented an in-depth review of the application. The proposed outdoor bar will have a granite counter top. The base of the bar replicates the paneling located at the main entryway. The materials and colors match the existing. A large TV will be placed in the bar area during business hours. The TV will be moved indoors after business hours. No trees or landscaping will be affected by the construction.

The staff recommended approval of the application with the condition that the lighting above the bar be recessed in the soffit or otherwise concealed. Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

The applicant, Mr. David Robertson, with Sigler Construction, Inc., presented statements in support of the application. The Board and the applicant discussed the new door, the elevations, the awnings, and the lighting. The Board also discussed the size and location of the TV during business hours. Following the Board's discussion, Chairman Parker requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Reilley's South application as presented with the condition that the awning shall remain as existing. Mr. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

### Hilton Head Brewing Company - DR100036 – Alteration/Addition

Mr. Roan introduced the project and stated its location (7-C Greenwood Drive, Hilton Head Plaza). The applicant is proposing to add a new trellis to their existing outdoor seating (above large picnic tables). Mr. Roan presented an in-depth review of the application including details related to the trellis, the existing deck, and the picnic tables. All of the colors and materials will match the existing surfaces in the immediate area (using tan acrylic paint and a medium brown stain).

The staff believes that the proposed project is a nice overall addition to the site. The staff did recommend that the size of the posts be increased for added presence. Also, some form of detail at the ends of the horizontal elements might soften the overall feel of the structure. The staff stated that the edge of the pergola must not be close enough to an existing pine tree (that is located at the corner of the existing deck) to be hit by the pine when it sways in the wind. The pergola supports must be at least six-feet from the base of the pine tree. Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

The applicant, Mr. David Robertson, with Sigler Construction, Inc., presented statements in support of the application. The Board and the applicant discussed the size of the posts (with a recommendation that the size be increased to 6 x 6 rather than 4 x 4). The Board also recommended additional detail for both the posts and the ends of the beams.

Chairman Parker stated that wind calculations may be required for this project. This would necessitate additional bracing.

The Board stated concern that today's drawings seem to be incomplete. In addition to the above referenced concerns, the Board requested additional information from the applicant with regard to the placement of the outdoor TV. The Board would like to know that the area will look like when the TVs are not there.

The Board recommended that today's application be withdrawn for the following reasons:

- (1) The drawings need to be more complete with additional column and post details included;
- (2) Wind calculations may be needed with details regarding articulation of the braces required;
- (2) Size of the 4 x 4 posts should be increased to 6 x 6. Additional detail to the posts is needed;
- (3) Additional detail at the ends of the horizontal elements is needed;
- (4) The revised plans should show what it will look like when the TVs have been removed.
- (5) Additional detail is needed in regard to how the project is connected to the ground.

The applicant agreed to **withdraw** today's application for the recommended changes.

#### **Beach Market Shops** - DR100037 – Alteration/Addition

Mr. Roan introduced the project and stated its location (2 North Forest Beach Drive). The Beach Market is comprised of retail shops and restaurants. Today's application is related to the space currently occupied by Hinchey's Chicago Bar & Grill. This restaurant will be vacating the site over the winter; and it will be replaced with a new restaurant. The new restaurant owner would like to make several changes to the exterior of the building (they also plan extensive upgrades to the interior space).

Mr. Roan presented an in-depth review of today's application. The applicant's photos show the current window and door appearance in three elevations. The southeast and south elevation changes include the removal of the fixed glass and installation of sliding glass partitions. The southeast elevation also has the addition of a new custom door. The west elevation (facing the internal shopping plaza) will have the fixed glass and current double entry doors replaced with new custom doors and two 5 x 5 fixed windows. Both the doors and the windows will have awnings. The windows will be shuttered with board and batten style and finished in the same color as the custom doors (dark pewter).

Mr. Roan reviewed the elevations and colors for the windows, shutters, doors, and awnings. The staff and Board discussed the choice of color and the style of the entry door and shutters. The folding accordion style doors will be Anderson White. The Board reported the need for additional information with regard to the doors and the awnings. The Board stated that a different style of awning may be more appropriate as the project is a departure from the existing general architecture of the site.

The Board discussed the colors, the windows, the awnings, the shutters, and door style. The Board recommended that the west elevation be re-studied for additional aesthetics. The applicant for this project was not available at today's meeting for comments or questions. Based on today's discussion, Chairman Parker recommended that the application be withdrawn for additional study. The staff **withdrew** the application on behalf of the applicant.

*(Chairman Parker and Vice Chairman Theodore recused themselves from review of the following application due to a potential conflict of interest. Conflict of Interest Forms were completed and signed for the record. Conflict of Interest Forms were completed and signed for the record. Mr. Sodemann agreed to Chair this portion of the meeting).*

**First Presbyterian Church** – Sign - SIGN100146

Mr. Roan introduced the project and stated its location ( 540 William Hilton Parkway). The applicant would like to replace the existing monument sign with the proposed monument sign. Mr. Roan presented an in-depth review of the application including details related to proposed colors and materials. The double-faced sign has brick columns that match the building. Mr. Roan also reviewed the landscape plan. The staff recommended approval. At the completion of the staff's presentation, Acting Chairman Sodemann requested that the applicant make his presentation.

The applicant, Mr. Alex Sineath, presented statements in support of the application. Mr. Sineath and the Board discussed the sign's size, its location, the light fixtures, the colors and materials. At the completion of the Board's discussion, Mr. Sodemann requested that a motion be made.

Mr. Behling made a **motion** to **approve** the First Presbyterian Church sign application as presented. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 4-0-2.

**10. APPEARANCE BY CITIZENS**

None

**11. ADJOURNMENT**

The meeting was adjourned at 2:25p.m.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Administrative Assistant

\_\_\_\_\_  
Tom Parker  
Chairman



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	8-31-10
Accepted by:	MR
App. #: DR	100036
Meeting Date:	

Applicant/Agent Name: DAVID ROBERTSON Company: SIGLER CONSTRUCTION, INC  
 Mailing Address: PO BOX 21768 City: HILTON HEAD State: SC Zip: 29925  
 Telephone: 843-338-3373 Fax: 888-774-7408 E-mail: DAVER.SIGLERCO@GMAIL.COM  
 Project Name: HILTON HEAD BREWING CO. PERGOLA Project Address: 7 GREENWOOD DRIVE  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 New Development – Conceptual  Alteration/Addition  
 New Development – Final, indicate Project Number  Minor External Change

Submittal Requirements for *All* projects:

- \_\_\_\_\_ Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- \_\_\_\_\_ Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- \_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- \_\_\_\_\_ Context photographs of neighboring uses and architectural styles.
- \_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- \_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

\_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

\_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.

\_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.

\_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

\_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

\_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

\_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.

\_\_\_\_\_ Photographs and/or drawings of existing development.

\_\_\_\_\_ Drawings of the proposed development - 11"x 17" .

\_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*;  
Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

DAVID ROBERTSON  
SIGNATURE

8/25/2010  
DATE



August 31, 2010

To: Town of Hilton Head Island, Design Review Board

From: David Robertson

Re: Hilton Head Brewing Company, Hilton Head Plaza

To Whom It May Concern,

Please accept this letter as a formal declaration that the project our company seeks to construct, a trellis system at the existing deck at the Hilton Head Brewing Company, shall comply with Sec. 16-4-503. The proposed structure shall not exceed the existing height of the adjacent buildings, nor extend over any pathway. No trees or landscaping shall be removed, relocated, or otherwise affected incidental to the completion of this project. All materials shall be finished to match existing surfaces in the immediate area, utilizing tan acrylic paint and a medium brown stain.

No portion of this structure shall be visible from Greenwood Drive, Sea Pines Circle, or Pope Avenue.

Thank you for your consideration in this matter.

David Robertson  
Production Manager  
Sigler Construction, Inc.  
843-338-3373 cell  
843-560-9663 office  
843-774-7408 fax  
[.brsconstructioninc.com](http://.brsconstructioninc.com)











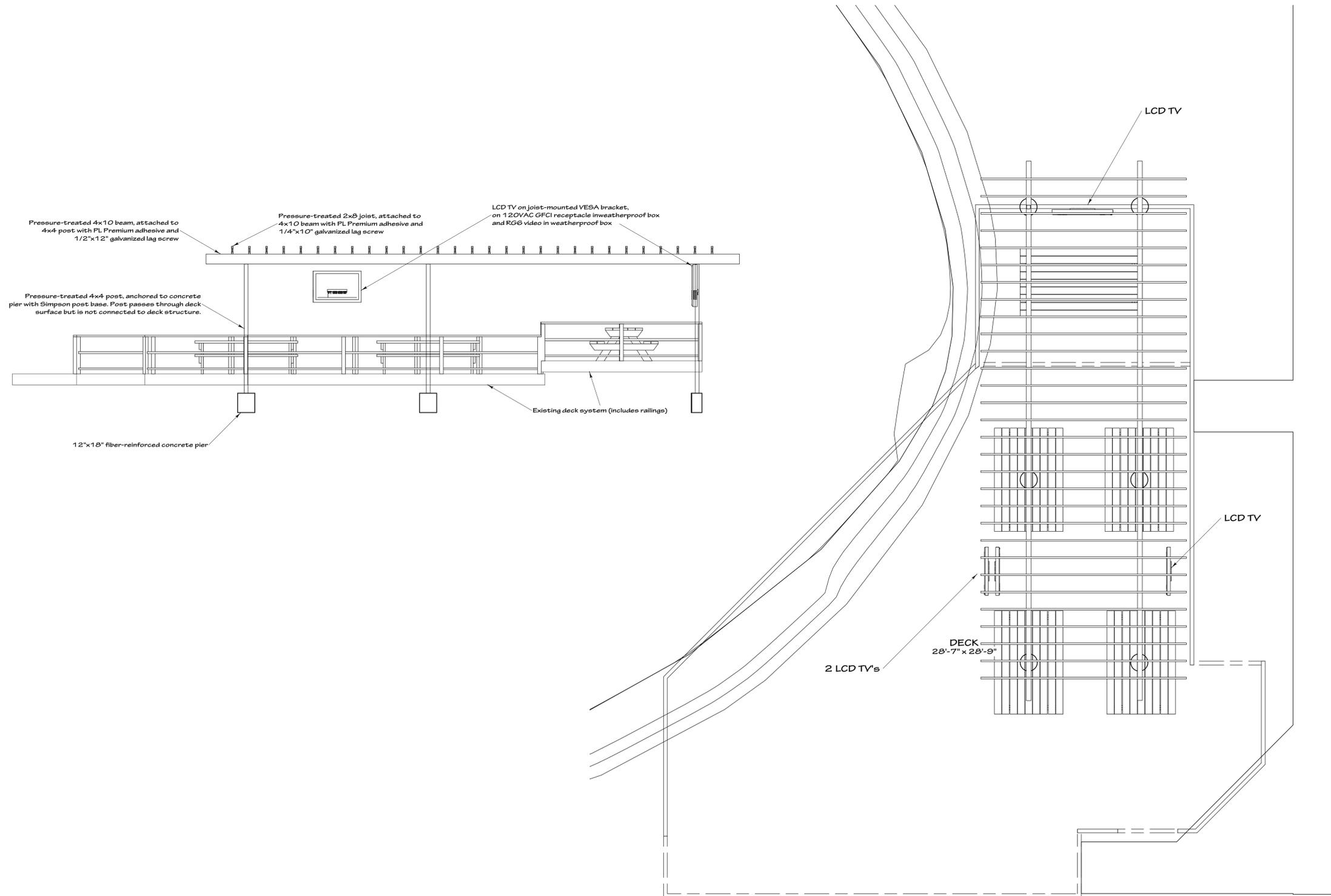


Reilly's GRILL & BAR

Specials  
Daily Specials  
Sunday Brunch  
Happy Hour

Daily Specials  
Sunday Brunch  
Happy Hour

Reilly's Grill & Bar



**SCOPE OF WORK**

Sigler Construction proposes to build a freestanding trellis system through the existing deck at the Hilton Head Brewing Company, 7C Greenwood Drive, in Hilton Head Plaza. The trellis shall be supported on an independent system of concrete piers, with 4x4 posts passing through the decking, floor framing system, and existing picnic tables, but not anchored to the deck framing.

All framing members shall be a pressure-treated, exterior grade material unless otherwise noted. All framing members shall be anchored using construction adhesive, galvanized lag screws, and/or approved Simpson galvanized steel framing connectors, as noted.

Four LCD TV's shall be temporarily hung (as weather permits) from the joist system on VESA mounts. Each TV location shall include one 120VAC GFCI receptacle, and one RG6 video receptacle. Both receptacles shall be housed in weatherproof boxes. Power and video shall be supplied from existing deck circuits.

The drawings, designs, and specifications depicted herein are the sole property of Sigler Construction, Inc. and may not be constructed or used without written authorization from Sigler Construction, Inc. No permission to modify or reproduce any of these drawings, designs, and specifications, including without limitation the construction of any building, is expressed or should be implied from delivered or preliminary drawings or construction documents marked "not for construction". Permission to construct the building depicted in authorized construction documents is expressly conditioned on the full and timely payment of all fees otherwise due to Sigler Construction, Inc. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans. Any reproduction, reuse, or modification of these plans or the drawings, designs, and specifications depicted herein is prohibited.



NO.	DESCRIPTION	BY	DATE

**DECK PLAN**

**Hilton Head Brewing Co.**  
 7C Greenwood Drive  
 Hilton Head South Carolina 29928

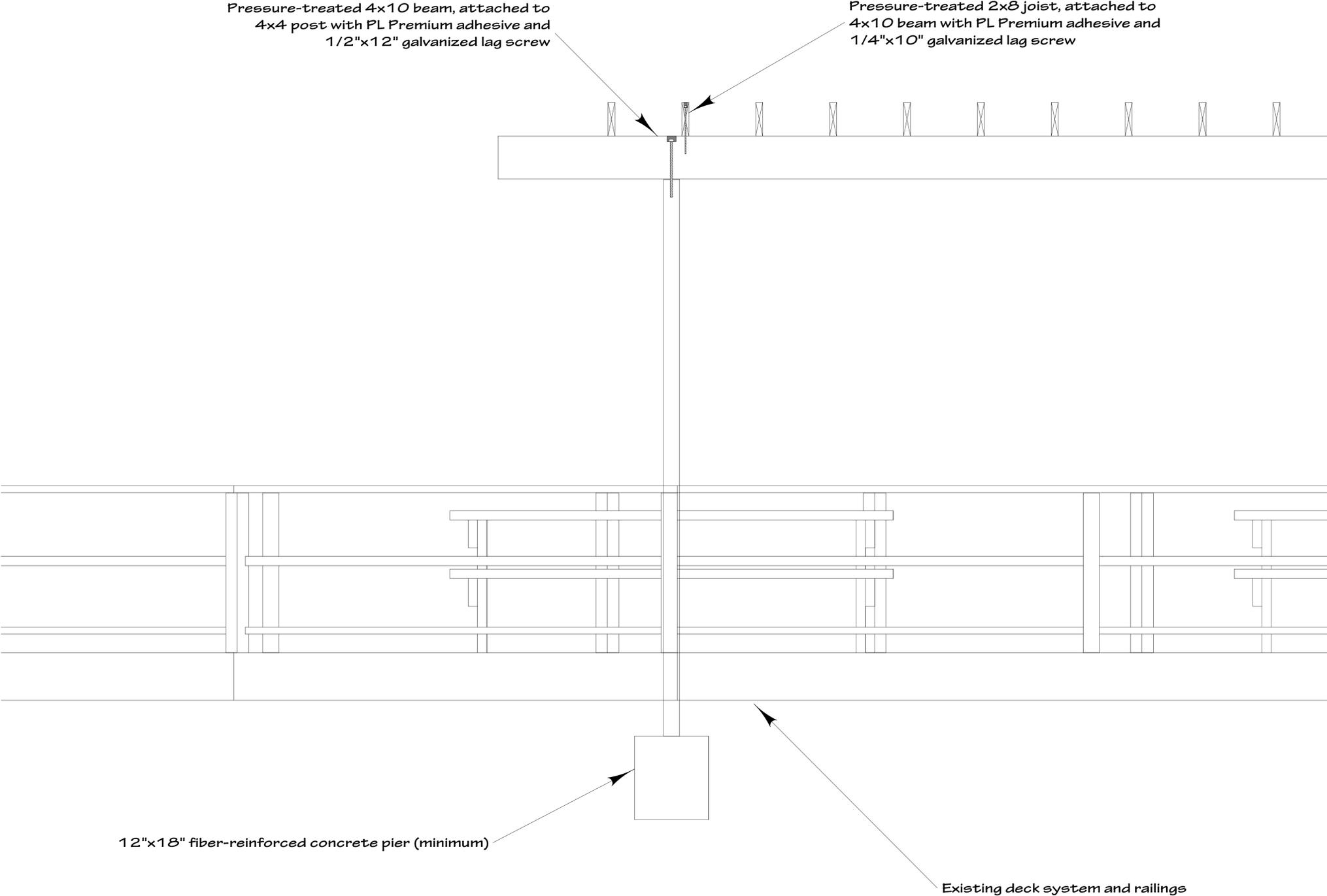
**Sigler Construction, Inc.**  
 P.O. Box 21765  
 Hilton Head, SC 29925  
 office 843-560-9663  
 fax 843-774-7408  
 DaveR.SiglerCo@gmail.com

SCALE: 1/4"=1'0"

SHEET:  
**A-1**

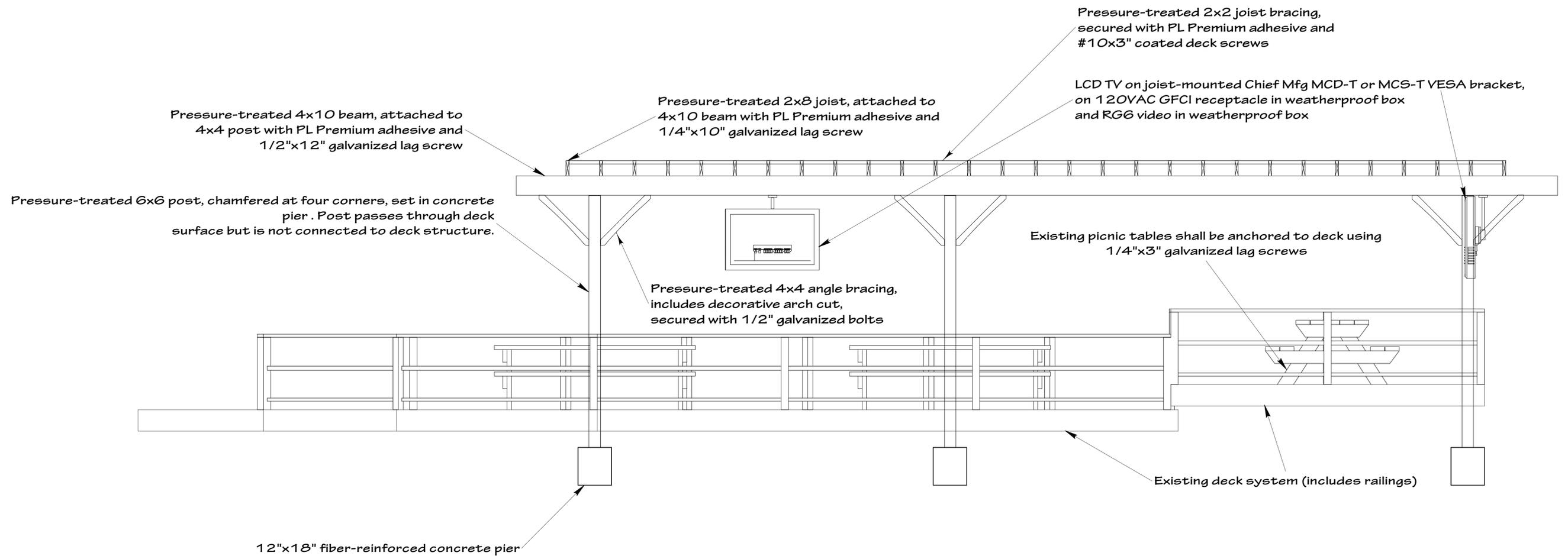
# POST & BEAM ASSEMBLY DETAIL

SCALE: 1"=1'0"



# PERGOLA RIGHT ELEVATION

SCALE: 1/2"=1'0"



# BEAM & JOIST END DETAIL

SCALE: 1-1/2"=1'0"

2x8 joist end detail (typical)



Beam end detail (typical)





## DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),  
and do not constitute DRB approval or denial*

PROJECT	Hilton Head Brewing Company	DRB#	DR100036				
DATE	9/28/2010	RECOMMEND APPROVE	<input type="checkbox"/>	RECOMMEND APPROVE W/COND.	<input checked="" type="checkbox"/>	RECOMMEND DENY	<input type="checkbox"/>

### ARCHITECTURAL DESIGN

Applicant has increased the size of the posts to 6x6” with associated chamfering, provided an end detail to the horizontal elements, and added a coved knee-brace (some dimensioning to be clarified), per the boards recommendations. The proposed construction is much more successful proportionately than the previous submission.

A cut sheet image has been provided for a simple bronze-finish television bracket. More detailed cut sheet information will be circulated at the meeting, should the Board request.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	
Minimum roof pitch of 6/12	NA	
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	NA	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	NA	
Details are clean, simple and	Y	

appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view	Y	
Decorative lighting is limited and low wattage and adds to the visual character	Y	
Accessory elements are design to coordinate with the primary structure	Y	

<b>LANDSCAPE DESIGN</b>		
N/A		

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into		

account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

**NATURAL RESOURCES PROTECTION**

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		The edge of the pergola must not be close enough to the large pine at the corner of the existing deck to be hit by the pine when it sways in the wind. Pergola supports must be at least 6 feet from the base of the pine.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

**MISCELLANEOUS COMMENTS/QUESTIONS**


**TOWN OF HILTON HEAD ISLAND  
COMMUNITY DEVELOPMENT DEPARTMENT  
MASTER APPLICATION FORM**

ONE TOWN CENTER COURT • HILTON HEAD ISLAND, SC 29928 • 843-341-4757 • FAX 843-842-8908

Please TYPE or PRINT legibly

NAME OF DEVELOPMENT or BUSINESS Beach Market Shops  
 STREET ADDRESS 2 North Forest Beach Drive Hilton Head SC 29928  
 ZONING DISTRICT \_\_\_\_\_ OVERLAY DISTRICT \_\_\_\_\_  
 TAX DISTRICT \_\_\_\_\_ PARCEL(S) MAR552-018-000-0012 TAX KEY 00420949  
 LAND OWNER Bruce Kimball APPLICANT Same AGENT \_\_\_\_\_  
 NAME Beach Market LLC COMPANY \_\_\_\_\_  
 MAILING ADDRESS 5 Harrogate Drive \_\_\_\_\_  
 CITY Hilton Head SC STATE SC ZIP 29928 \_\_\_\_\_  
 TELEPHONE 843-384-1000 CITY FAX 686-1960 \_\_\_\_\_  
 Bus License # 2805 Bus License# \_\_\_\_\_  
 (For DRB, DR & SUB Only) (For DRB, DR & SUB Only)  
 EMAIL ADDRESS bkimballwexford@aol.com EMAIL ADDRESS \_\_\_\_\_

**\* A CHECK-IN CONFERENCE IS REQUIRED FOR THESE ITEMS. SEE LMO 16-3-104 FOR MORE INFORMATION. ATTACH THE NECESSARY SUPPLEMENTAL FORM(S).**

- |   |   |
|---|---|
| <input type="checkbox"/> APPEAL *                       | <input type="checkbox"/> ZONING MAP AMENDMENT * |
| <input type="checkbox"/> DEVELOPMENT PLAN REVIEW (DPR)* | <input type="checkbox"/> DESIGN REVIEW BOARD    |
| <input type="checkbox"/> PLANNED UNIT DEVELOPMENT *     | <input type="checkbox"/> PUBLIC PROJECT         |
| <input type="checkbox"/> SPECIAL EXCEPTION *            | <input type="checkbox"/> SIGN PERMIT            |
| <input type="checkbox"/> SUBDIVISION *                  | <input type="checkbox"/> TREE APPROVAL          |
| <input type="checkbox"/> VARIANCE *                     | <input type="checkbox"/> WETLAND ALTERATION     |
| <input type="checkbox"/> ABBREVIATED DPR*               | <input type="checkbox"/> EXPEDITED DPR*         |

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request?

YES  NO

If so, a copy of the private covenants and/or restrictions must be submitted with this application.

TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON THIS APPLICATION AND ALL ADDITIONAL DOCUMENTATION IS TRUE, FACTUAL AND COMPLETE. I HEREBY AGREE TO ABIDE BY ALL CONDITIONS OF ANY APPROVALS GRANTED BY THE TOWN OF HILTON HEAD ISLAND. I UNDERSTAND THAT SUCH CONDITIONS SHALL APPLY TO THE SUBJECT PROPERTY ONLY AND ARE A RIGHT OR OBLIGATION TRANSFERABLE BY SALE.

Bruce A Kimball  
SIGNATURE

8-30-10  
DATE

I UNDERSTAND THAT IN THE EVENT OF A STATE OF EMERGENCY, DUE TO A DISASTER, THOSE REVIEW & APPROVAL TIMES SET FORTH IN THE LAND MANAGEMENT ORDINANCE MAY BE SUSPENDED.

COMMUNITY DEVELOPMENT DEPARTMENT

DESIGN REVIEW BOARD

SUPPLEMENTAL APPLICATION FORM

THIS FORM MUST BE ACCOMPANIED BY A MASTER APPLICATION FORM.

NAME OF DEVELOPMENT Beach Market Shops Please TYPE or PRINT legibly

PROJECT CATEGORY:

New Development – Conceptual

Alteration/Addition

New Development – Final

Minor External Change

Project # from Notice of Action DR \_\_\_\_\_

I. APPLICATION REQUIREMENTS FOR ALL PROJECTS:

ARCHITECTURAL REVIEW BOARD NOTICE OF ACTION (If applicable): When a project is within the jurisdiction of an Architectural Review Board (ARB), the applicant shall submit such ARB's written notice of action LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

FILING FEE (New Development \$175, Alterations/Additions \$100, Minor External \$50)

II. APPLICATION REQUIREMENTS FOR NEW DEVELOPMENT (CONCEPTUAL):

Sec. 16-3-1003. Submission Requirements

Applicants shall submit an application form as published by the Administrator and appropriate fee as required by Sec. 16-3-105 along with the following materials before an application shall be considered complete.

A. Concept Approval -- New Development. (11 copies)

- 1. A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- 2. A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- 3. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- 4. Context photographs of neighboring uses and architectural styles.
- 5. Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- 6. Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

**DESIGN REVIEW BOARD SUPPLEMENTAL APPLICATION FORM (continued)**

**III. APPLICATION REQUIREMENTS FOR NEW DEVELOPMENT (FINAL)**

**Sec. 16-3-1003. Submission Requirements**

Applicants shall submit an application form as published by the Administrator and appropriate fee as required by Sec. 16-3-105 along with the following materials before an application shall be considered complete.

**B. Final Approval -- New Development. (11 copies)**

- 1. A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- 2. Final site development plan meeting the requirements of Sec. 16-3-303.F.
- 3. Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- 4. Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- 5. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- 6. Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

**IV. APPLICATION REQUIREMENTS FOR ALTERATIONS/ADDITIONS AND MINOR EXTERNAL CHANGES (11 copies):**

- WRITTEN NARRATIVE describing how project conforms to design guidelines of Section 16-4-503
- PHOTOGRAPHS AND/OR DRAWINGS OF EXISTING DEVELOPMENT
- DRAWINGS OF PROPOSED DEVELOPMENT - 11"x 17"
- MATERIAL/COLOR SAMPLES OF EXISTING AND PROPOSED CHANGES  
8 1/2" X 14" *Maximum* STATING MANUFACTURER AND MATERIAL NAME

**\*NOTE:** ALL APPLICATION ITEMS MUST BE SUBMITTED BY THE DEADLINE DATE IN ORDER TO BE REVIEWED BY THE DRB LMO SECTION 16-3-106.

<b>FOR OFFICIAL USE ONLY</b>	
DATE RECEIVED: <u>8-31-10</u>	TIME: <u>11:00 Am</u>
ACCEPTED BY: <u>[Signature]</u>	MASTER TRACKING NUMBER: <u>DR100039</u>

August 31, 2010

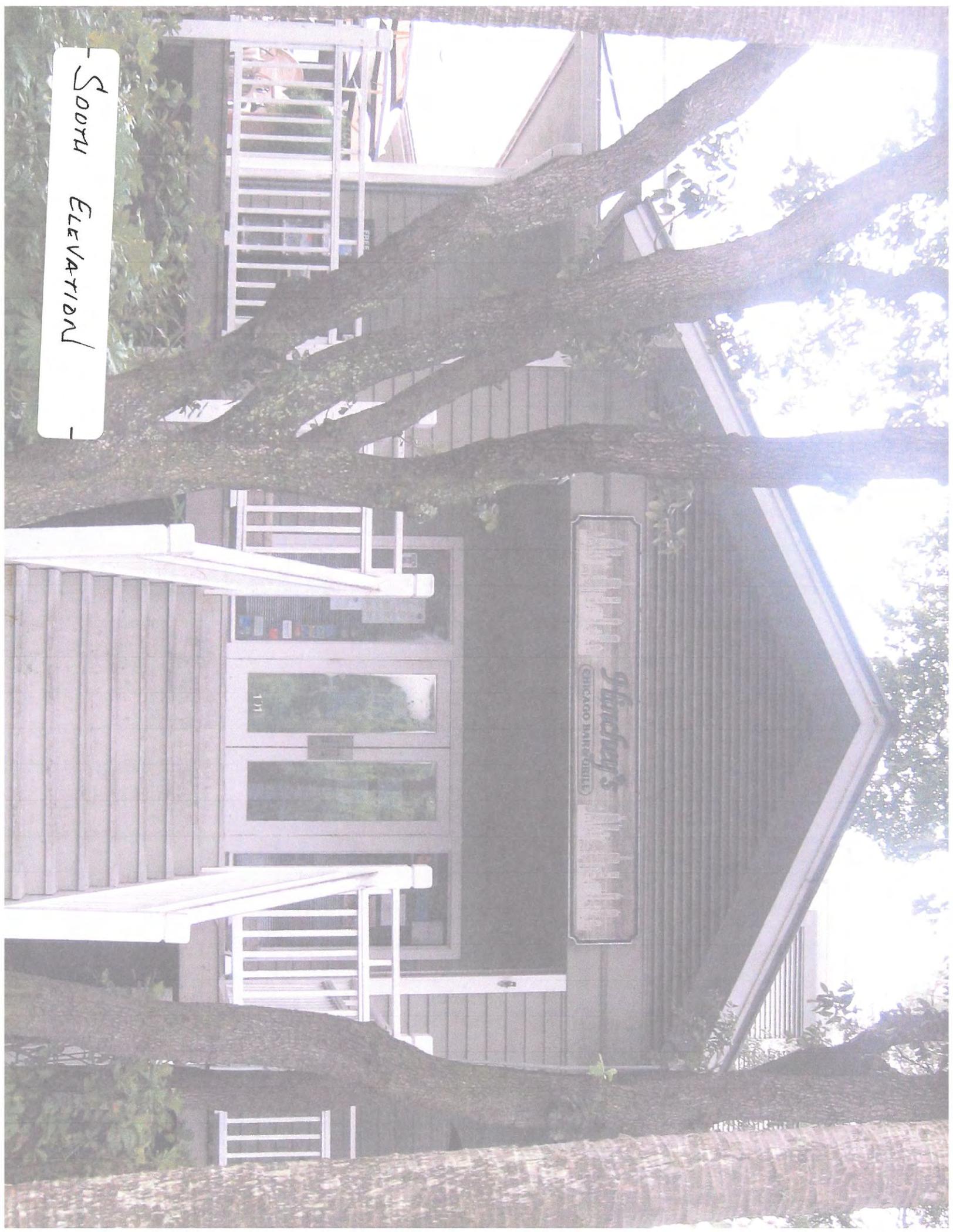
MINOR EXTERIOR ALTERATIONS AND ADDITIONS  
2 NORTH FOREST BEACH DRIVE

Two North Forest Beach Drive is known as The Beach Market and is comprised of retail shops and restaurants. The space that has been occupied by Hinchey's Chicago Bar and Grill will be leaving this location this Winter. A new restaurant will be taking the space and making alterations to the exterior and extensive upgrades to the interior space.

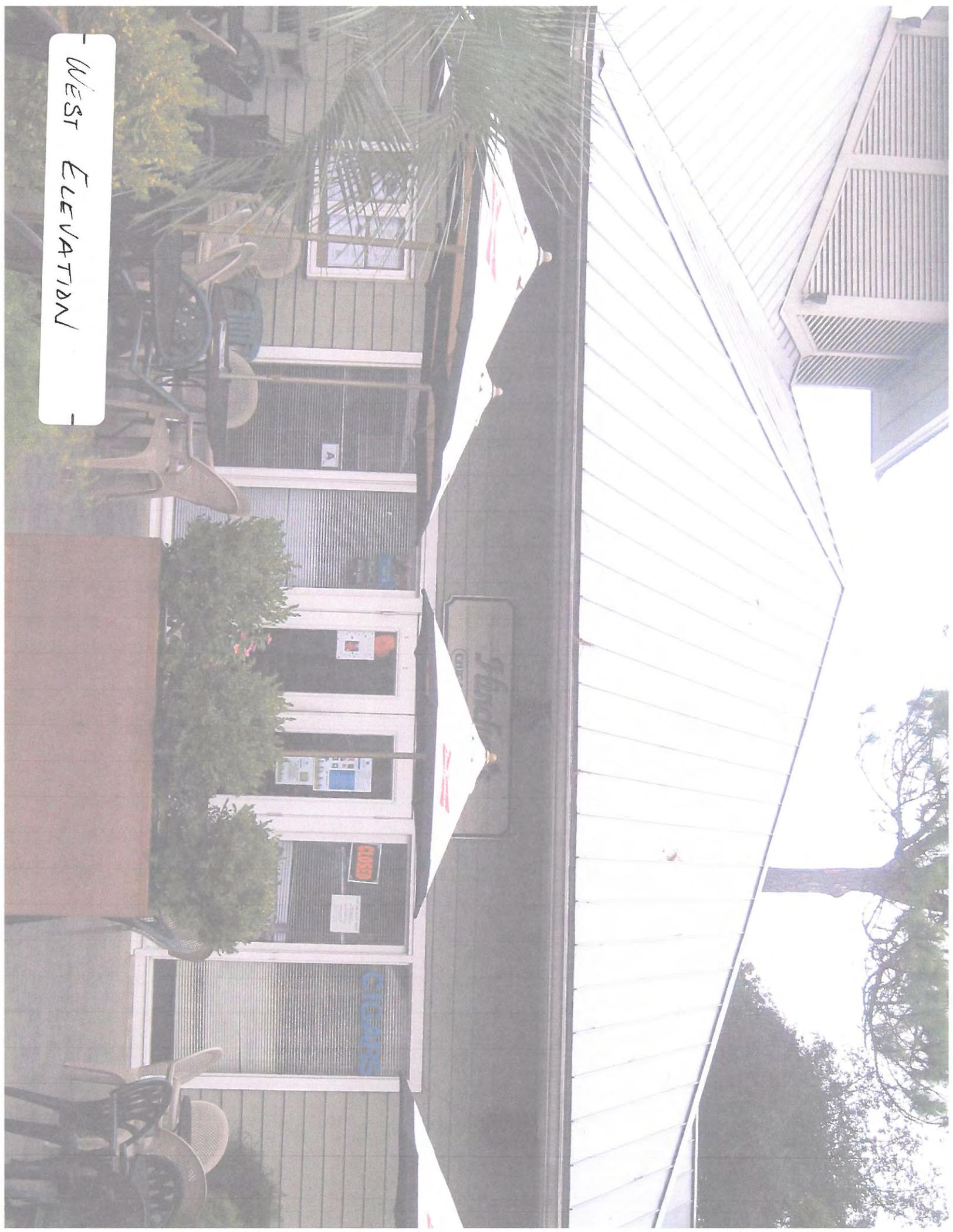
The photos show the current window and door appearance in three elevations. The Southeast and South Elevation changes are the removal of the fixed glass and installing sliding glass partitions. The Southeast elevation also has the addition of a new custom door.

The West Elevation which faces the internal shopping plaza will have the fixed glass and current double entry doors replaced with new custom doors and two 5X5 fixed windows. Both the doors and windows will have awnings. The windows will be shuttered with board and batten style and finished in the same color as the custom doors.

- South Elevation -



WEST ELEVATION



SOUTHEAST ELEVATION

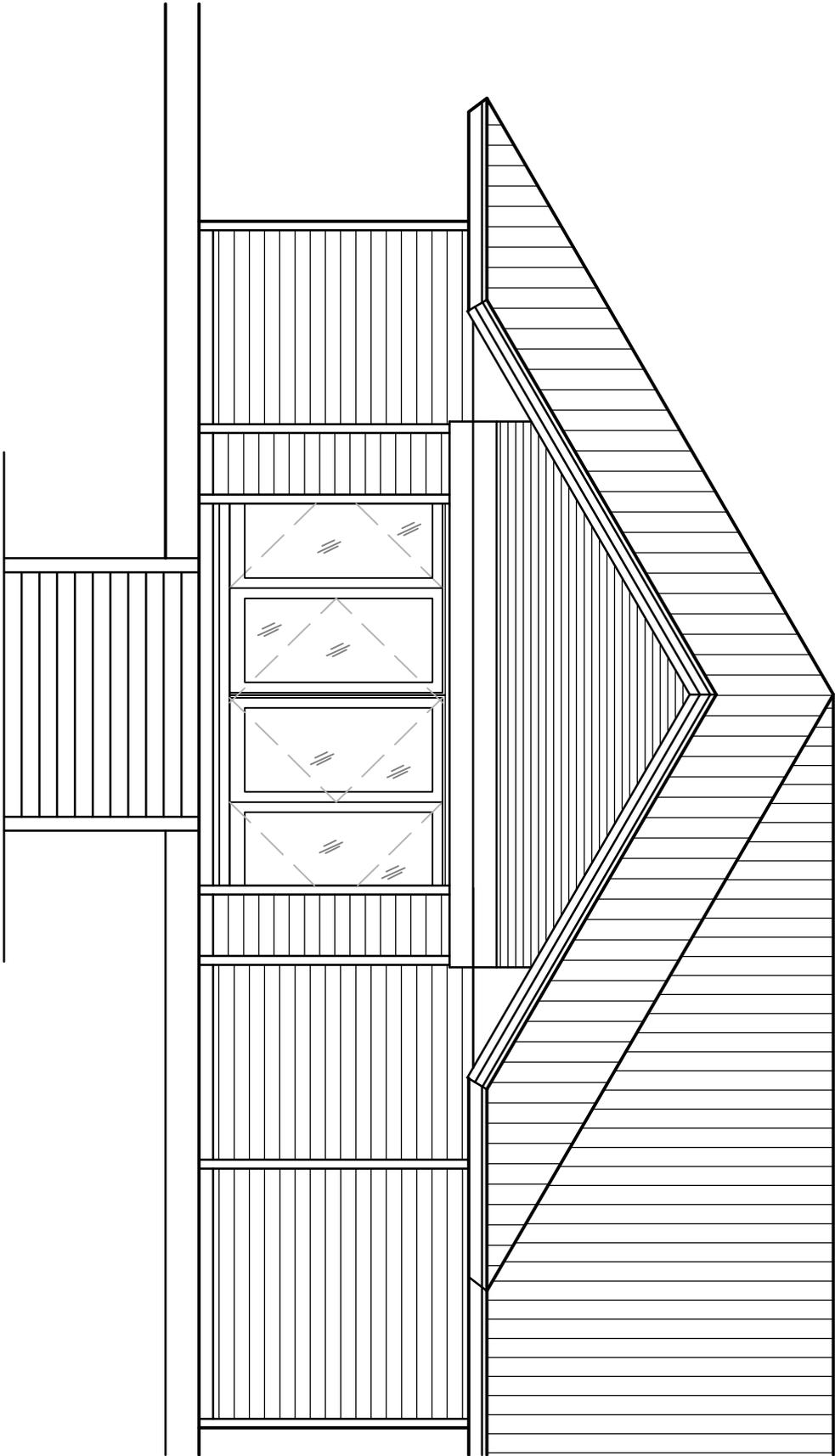


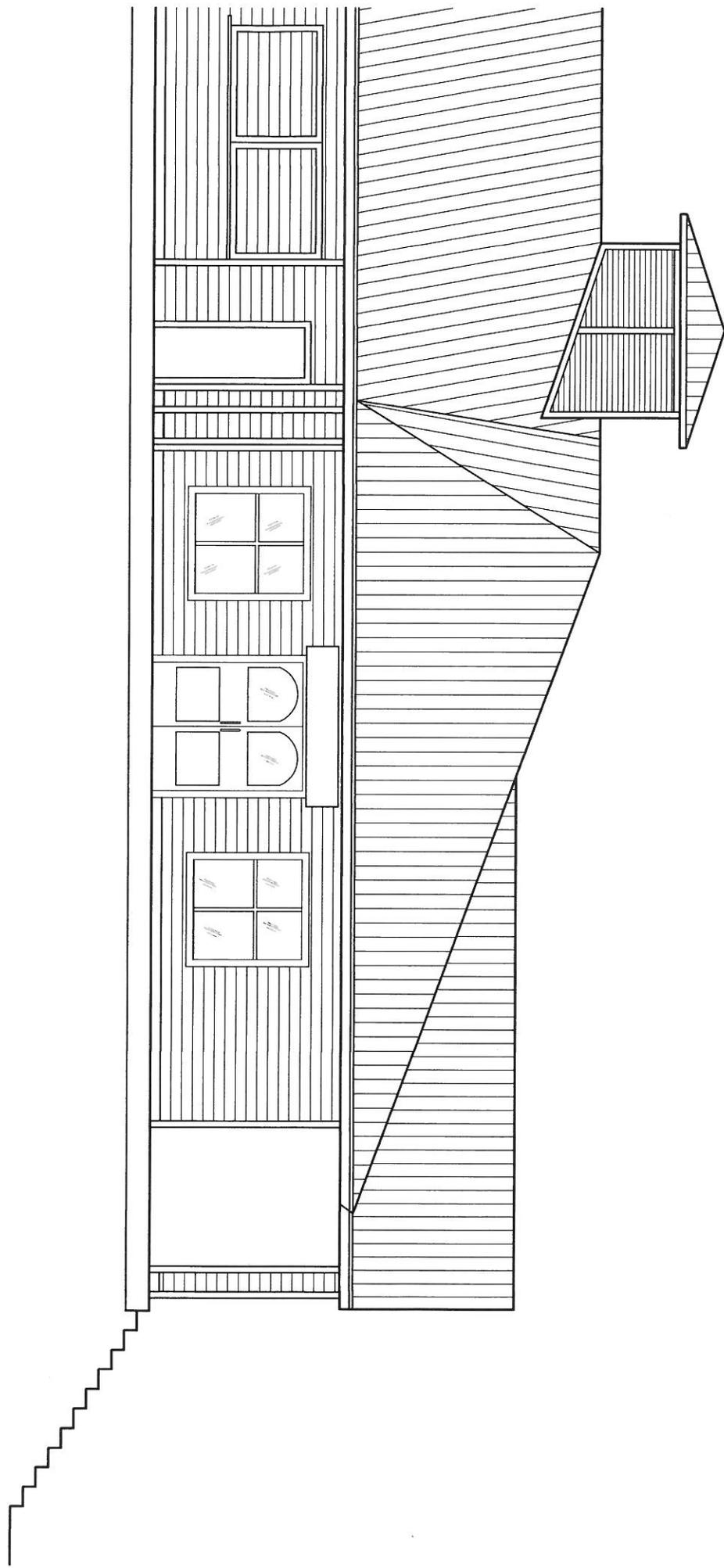


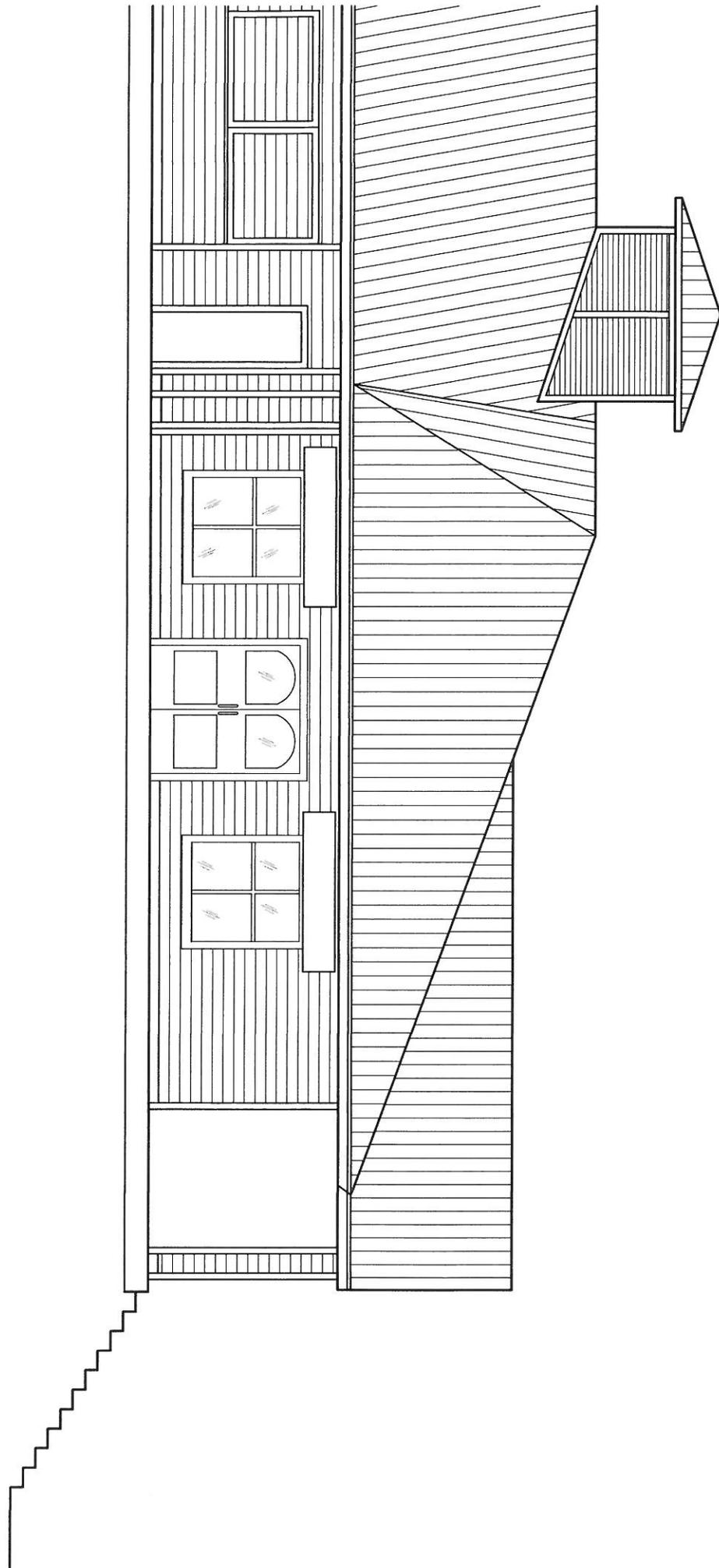
*Hincheys*  
CHICAGO BAR & GRILL

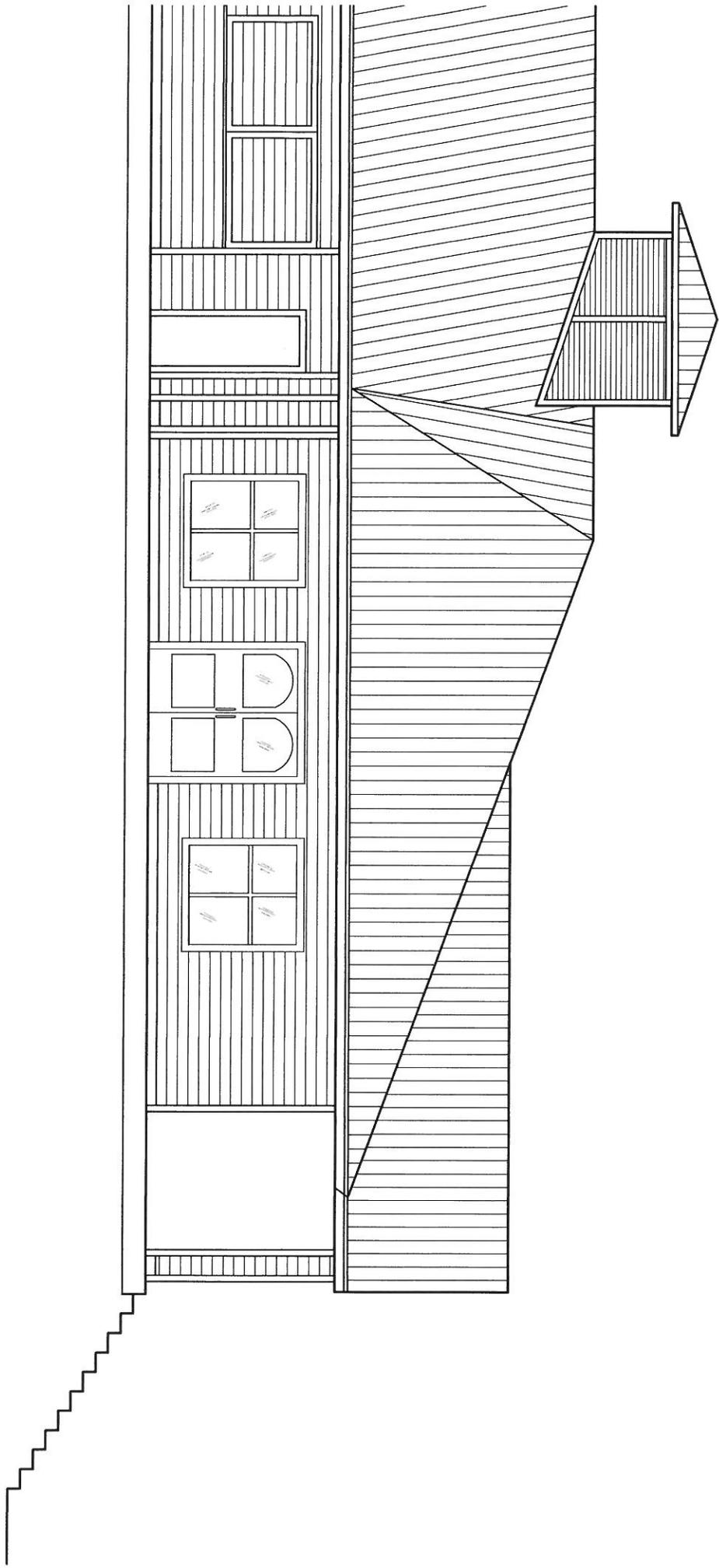
131











# DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),  
and do not constitute DRB approval or denial*

PROJECT Beach Market DRB# DR100037

DATE 9/28/2010 RECOMMEND  APPROVE RECOMMEND  APPROVE W/COND. RECOMMEND  DENY

**ARCHITECTURAL DESIGN**

Applicant has updated the South Elevation to accurately reflect 18'-0" sliders in place of the existing storefront. All other elements (columns, specifically) remain unchanged and are better reflected on the drawing

Applicant will stain door to reflect original cut sheet, rather than paint black. Slab will have a bottom panel and a single pane window in place of the top panel. Shutters have been removed.

Applicant feels strongly about the 4-pane window configurations and awning for the West elevation, and has provided three options for the Board's review. Applicant will be at the meeting to discuss alternatives.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to		

the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		

<b>LANDSCAPE DESIGN</b>		
N/A		

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		

The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

**NATURAL RESOURCES PROTECTION**

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments on this project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

**MISCELLANEOUS COMMENTS/QUESTIONS**




Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY  
 Date Received: 9/21/10  
 Accepted by: DH  
 App. #: DR 100038  
 Meeting Date: 10/12/10

Applicant/Agent Name: JOHN RUXTON Company: RUXTON PAINTING  
 Mailing Address: 3260A OAK DR City: HHI State: SC Zip: 29926  
 Telephone: 290 1159 Fax: — E-mail: BJRUXTON@ROADRUNNER.COM  
 Project Name: CIRCLE BUILDING Project Address: 1041 WH PKWY  
 Parcel Number [PIN]: R552 015 000 0280 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual                       Alteration/Addition  
 New Development – Final, indicate Project Number     Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.  
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.





1040

EXISTING STUCCO COLOR

EXISTING SIDING COLOR

EXISTING TRIM COLOR

SHERWIN WILLIAMS A100 "7555" STUO

SHERWIN WILLIAMS A100 "7527" TRI

# DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),  
and do not constitute DRB approval or denial*

PROJECT Circle Building-Repaint DRB# DR100038

DATE 9/28/2010 RECOMMEND  APPROVE RECOMMEND  APPROVE W/COND. RECOMMEND  DENY

<b>ARCHITECTURAL DESIGN</b>		
While the consolidation of the color palette is successful, an increase in contrast might benefit the proposed colors. Actual samples will be provided at the meeting. The applicant will also bring a new sample for the siding that is 25% darker for the Board's consideration on the contrast matter.		
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Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited		

and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		
<b>LANDSCAPE DESIGN</b>		
N/A		
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>COMPLIES YES/NO/NA</b>	<b>COMMENTS OR CONDITIONS</b>
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their mature size and natural shape while avoiding excessive or unnatural pruning		
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**NATURAL RESOURCES PROTECTION**

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**MISCELLANEOUS COMMENTS/QUESTIONS**
