



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, November 8, 2011

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes –**
 - A) Meeting of October 25, 2011
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A) DR110039- Verizon Cell Tower Cabinet- Union Cemetery Road- Alteration/ Addition
 - B) DR110040- 2 Southwood Park Renovations- Alteration/ Addition
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, October 25, 2011 Meeting **DRAFT**
1:15pm – Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Todd Theodore, Vice Chairman Scott Sodemann,
Jennifer Moffett, Tom Parker, Galen Smith and Deborah Welch

Board Members Absent: None

Council Members Present: None

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Plans Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Chairman Todd Theodore called the meeting to order at 1:15pm.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

The agenda was **approved** as presented by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the September 27, 2011 meeting were **approved** as amended by general consent.

6. STAFF REPORT

Mr. Roan presented the Design Review Board's Meeting Schedule for 2012. The Board continues to meet on the first and third Tuesday of each month at 1:15pm. Mr. Roan requested that a motion be made to approve the Board's 2012 Meeting Schedule.

Vice Chairman Sodemann made a **motion** to **approve** the Design Review Board's Meeting Schedule for 2012 as presented by staff. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 5-0-0.

7. BOARD BUSINESS

None

8. UNFINISHED BUSINESS

None

9. NEW BUSINESS

Shorewood Villas – Fence Replacement - Minor External Change - DR110038

Mr. Roan introduced the application and stated its location on South Forest Beach Drive. The application is to Dryvit the existing stucco columns in a color to match the building palette, and replace the wood fence panels with an aluminum fence. Mr. Roan stated that in 2000, the applicant replaced a section of fence and created entry gates with a picket style aluminum fence. One of the application photos shows this element sharing a column with the fence proposed for removal.

The application proposes an aluminum fence consisting of 1/8" x 4" panels in a shadow-box pattern, more in keeping with a board on board fence. The staff recommended that the new fence installation match that of the 2000 update in style, dimensions, and finish. The staff also recommended that any fully exposed areas of fence be landscaped in the nature of the existing landscaping, as the solid fence panels are the lone buffer between the parking lot and surrounding areas along some lengths.

Mr. Roan presented hard samples of the paint colors as well as some of the 2000 application materials for the Board's review. All proposed colors are in keeping with the Design Guide. The staff recommended approval of the application with conditions. One condition is that the landscaping be increased in areas of fully exposed fence to buffer the property. An approved landscape plan is required. Staff recommended that the repainting of the columns be approved.

Staff recommended that the wooded fence can come down with the replacement of an aluminum fence detail that matches the most recent improvements (all finishes, dimensions, and materials should match). A landscape plan that will help soften the new fence line in the parking lot to help provide privacy for the residents is recommended.

Mr. Roan described the different types of buildings in this complex. The main building, located on South Forest Beach Drive, has some mansard details along the front. The applicant would like to replace the asphalt roof with a new bronze standing seam metal roof. Staff believes that the new roof will be an improvement. Following staff's presentation, Chairman Theodore requested that the applicant make his presentation.

Mr. DD Graham, with Engineered Systems, presented statements in support of the proposed new fence and the proposed new roof. The Board and the applicant discussed the landscaping, the fence details and the roof details. The Board stated their agreement with the new bronze standing seam metal roof. The Board reported their concern with the design and 'thinness' of the proposed aluminum fence. The fence is an inappropriate choice because it lacks depth and character. The Board and applicant discussed a more suitable choice in fencing.

The Board recommended that the fence portion of the application be withdrawn by the applicant for needed revisions. The applicant agreed to withdraw the fence portion of the application. The applicant will include a detailed landscape plan with the next submission. At completion of the discussion, Chairman Theodore requested that a motion be made.

Mr. Parker made a **motion to approve** the bronze standing seam metal roof portion of the application. The applicant will submit revised drawings for the fence portion of the application

based on today's discussion. A detailed landscape plan is to be included. Mr. Sodemann **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. ADJOURNMENT

The meeting was adjourned at 1:55pm.

Submitted By:

Approved By:

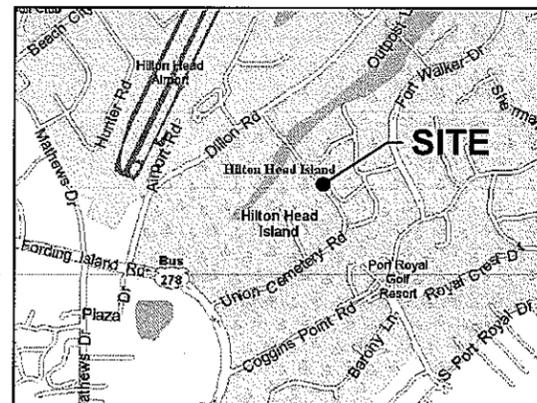
Kathleen Carlin
Administrative Assistant

Todd Theodore
Chairman

DRAFT



8921 RESEARCH DRIVE
 CHARLOTTE, NC 28262
UNION CEMETERY
SITE ADDRESS
 91 UNION CEMETERY ROAD
 HILTON HEAD ISLAND, SC 29928
 BEAUFORT COUNTY
 LATITUDE: 32° 13' 09.9" N
 LONGITUDE: 80° 41' 29.1" W
 GROUND ELEVATION 9.4 (NAVD 88)



VICINITY MAP

SCALE: NTS

DRIVING DIRECTIONS
 FROM CHARLOTTE OFFICE: TAKE I-85 S TOWARD CHARLOTTE. TAKE EXIT 38 TO MERGE ONTO I-77 S/US-21 S. CONTINUE TO FOLLOW I-77S FOR 104 MILES THEN TAKE THE EXIT TOWARD I-26 E. KEEP LEFT TO CONTINUE ON I-26 TOWARD CHARLESTON FOR 52.8 MI. TAKE EXIT 169A AND MERGE ONTO I-95 TOWARD SAVANNAH. GO 77.8 MI AND TAKE EXIT 8 FOR US-278 E. TURN LEFT ONTO US-278/ INDEPENDENCE BLVD AND GO 21 MI. KEEP RIGHT TO CONTINUE ON WILLIAM HILTON PKWY FOR 3.1 MI. TURN LEFT ONTO UNION CEMETERY RD. TRAVEL .8 MI TO SITE ON LEFT.

DRIVING DIRECTIONS

MUNICIPALITY:
 TOWN OF HILTON HEAD ISLAND

STATE:
 SOUTH CAROLINA

TOWER TYPE:
 WATER TANK

TOWER HEIGHT:
 135'± (AGL)

NUMBER OF CARRIERS:
 2 EXISTING

USE:
 EXISTING WATER TANK WITH CELLULAR ANTENNAS AND UNMANNED EQUIPMENT

CONSULTANT
 KIMLEY-HORN AND ASSOCIATES, INC.
 2 SUN COURT, SUITE 220
 NORCROSS, GEORGIA 30092
 PHONE: (678) 533-3928
 ATTN.: KEITH MARKLAND

PROJECT SUMMARY

DEVELOPER
 VERIZON WIRELESS
 8921 RESEARCH DRIVE
 CHARLOTTE, NC 28262
 PHONE: (704) 510-8717
 ATTN: ROCKY CANADY

POWER COMPANY
 PALMETTO ELECTRIC CO-OP INC.
 PHONE: (843) 681-5551
 ATTN.: CUSTOMER SERVICE

TELEPHONE COMPANY
 HARGRAY
 PHONE: (843) 784-2211
 ATTN.: CUSTOMER SERVICE

TOWER OWNER
 HILTON HEAD PSD
 21 OAK PARK DRIVE
 HILTON HEAD ISLAND, SC 29928
 PHONE: (843) 681-5525
 ATTN.: BILL DAVIS, OPERATIONS MANAGER

CONTACTS

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	1
C0	DEMO PLAN	1
C1	SITE PLAN	1
C2	SHELTER ELEVATIONS	1
C3	FOUNDATION & SHELTER TIE DOWN DETAILS	1
C4	STOOP DETAIL	1
E1	BASIC SERVICE ROUTING PLAN	0
E2	GROUNDING PLAN	0
E3	SINGLE-LINE DIAGRAM	0
E4	ELECTRICAL DETAILS	0
E5	H-FRAME DETAIL	0
SHEET INDEX		

TOWN OF HILTON HEAD ISLAND
COMMUNITY DEVELOPMENT DEPARTMENT
 1 TOWN CENTER COURT
 HILTON HEAD ISLAND, SC 29928
 PHONE: (843) 341-4757
 ATTN.: PLANS REVIEWER

PERMIT INFORMATION



PROJECT INFORMATION:
 VERIZON NAME: UNION CEMETERY
 VERIZON No.: COL 107
 91 UNION CEMETERY ROAD
 HILTON HEAD ISLAND, SC 29928

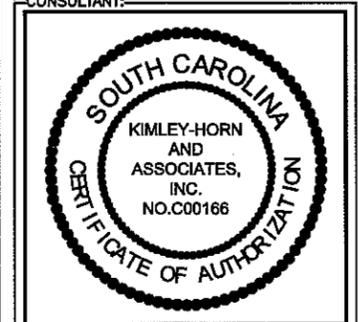
CURRENT ISSUE DATE:
 08/26/11

ISSUED FOR:
 CONSTRUCTION

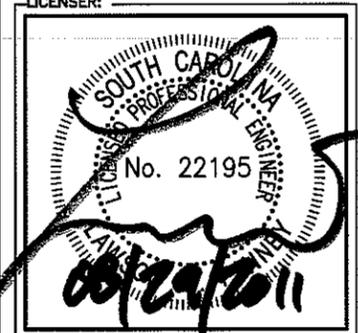
REV.	DATE	ISSUED FOR	BY
0	05/25/11	CONSTRUCTION	LHF
1	08/26/11	CONSTRUCTION	LHF

CONSULTANT:

 Kimley-Horn and Associates, Inc.
 SC License C00166
 2 Sun Court, Suite 220
 Norcross, GA 30092



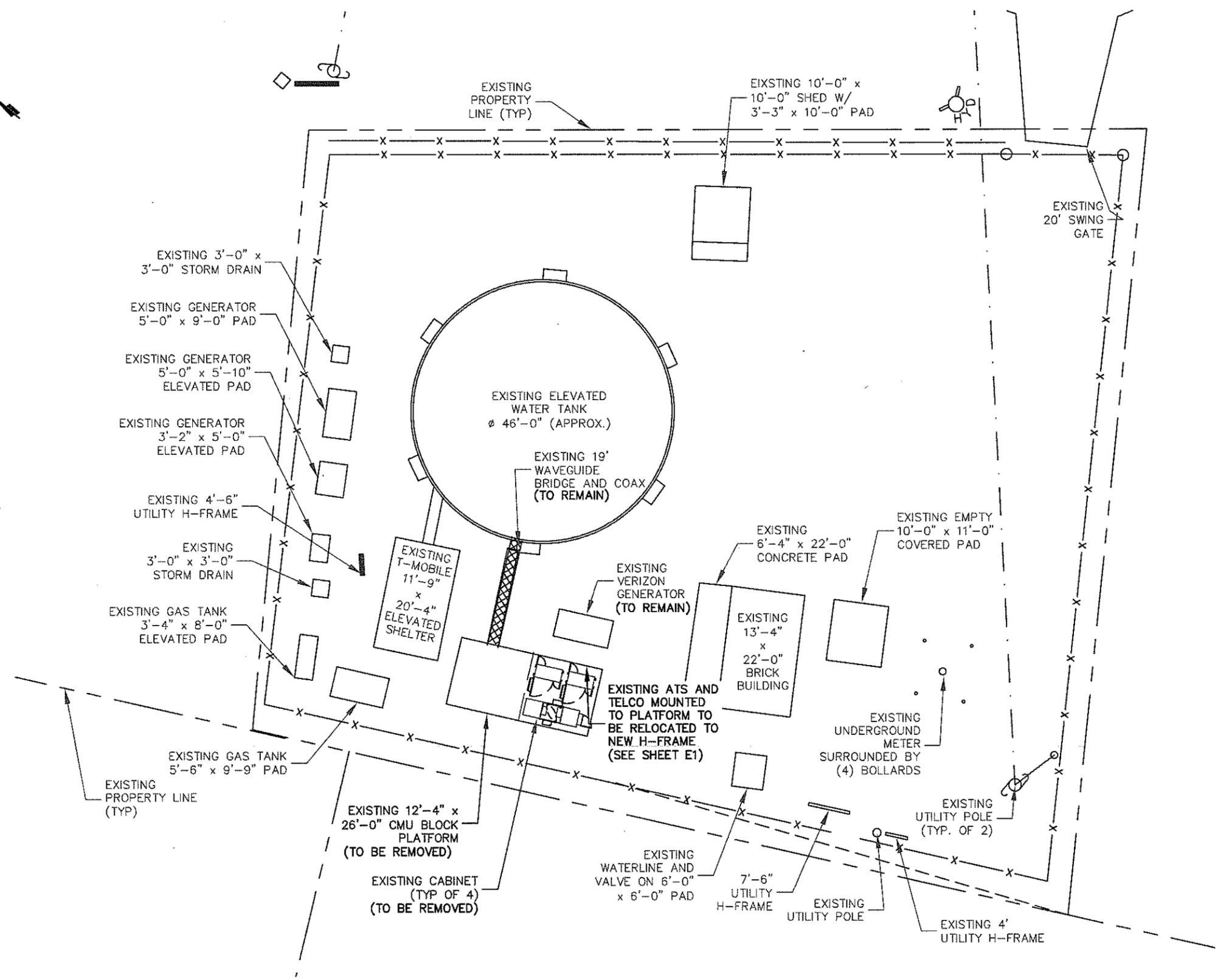
DRAWN BY: CHK: KAG
APV.: KRM
 LHF



SHEET TITLE:
 COVER SHEET

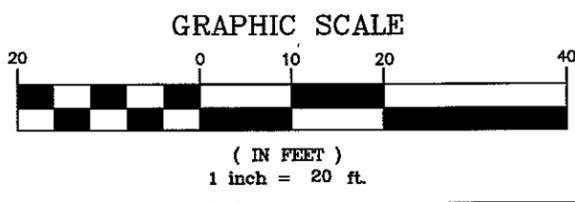
SHEET NUMBER: T1
REVISION: 1
 019472226

Drawing name: K:\ATL_Wireless\000_Verizon\2009 atl\TE Columbia\Union Cemetery\Union Cemetery-CDrev1.dwg T1 Aug 25, 2011 4:09pm by: kelleysjlynn



DEMO NOTE:
 1. EXISTING EQUIPMENT CABINETS AND CMU PLATFORM TO BE REMOVED PRIOR TO CONSTRUCTION/INSTALLATION OF THE PROPOSED SHELTER.

1 DEMO PLAN
 C0 SCALE: 1" = 20'



Drawing name: C:\Users\kellyg\My Documents\Projects\UnionCemetery\4738\UnionCemetery-CDraw.dwg CO Aug 25, 2011 3:59pm by: kellyg



PROJECT INFORMATION:
 VERIZON NAME: UNION CEMETERY
 VERIZON No.: COL 107
 91 UNION CEMETERY ROAD
 HILTON HEAD ISLAND, SC 29928

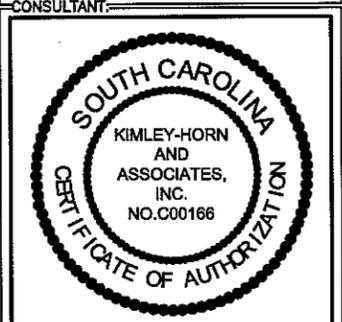
CURRENT ISSUE DATE:
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0	05/25/11	CONSTRUCTION	LHF
1	08/26/11	CONSTRUCTION	LHF

CONSULTANT:

 Kimley-Horn and Associates, Inc.
 SC License C00166
 2 Sun Court, Suite 220
 Norcross, GA 30092



DRAWN BY: KAG **CHK:** KRM **APV:** LHF



SHEET TITLE:
 DEMO PLAN

SHEET NUMBER: C0 **REVISION:** 1
 019472226

verizon wireless

8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: UNION CEMETERY
VERIZON No.: COL 107

91 UNION CEMETERY ROAD
HILTON HEAD ISLAND, SC 29928

CURRENT ISSUE DATE:

08/26/11

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CONSTRUCTION

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0	05/25/11	CONSTRUCTION	LHF
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CONSULTANT:

Kimley-Horn
and Associates, Inc.
SC License C00166
2 Sun Court, Suite 220
Norcross, GA 30092

CONSULTANT:



DRAWN BY: CHK: APV.:

KAG KRM LHF

LICENSER:



SHEET TITLE:

SITE
PLAN

SHEET NUMBER: REVISION:

C1

1

019472226

GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.

3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.

4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.

5. WAVEGUIDE BRIDGE AND PRE-FAB SHELTER ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS (BY OTHERS) FOR SPECIFIC INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.

6. ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.

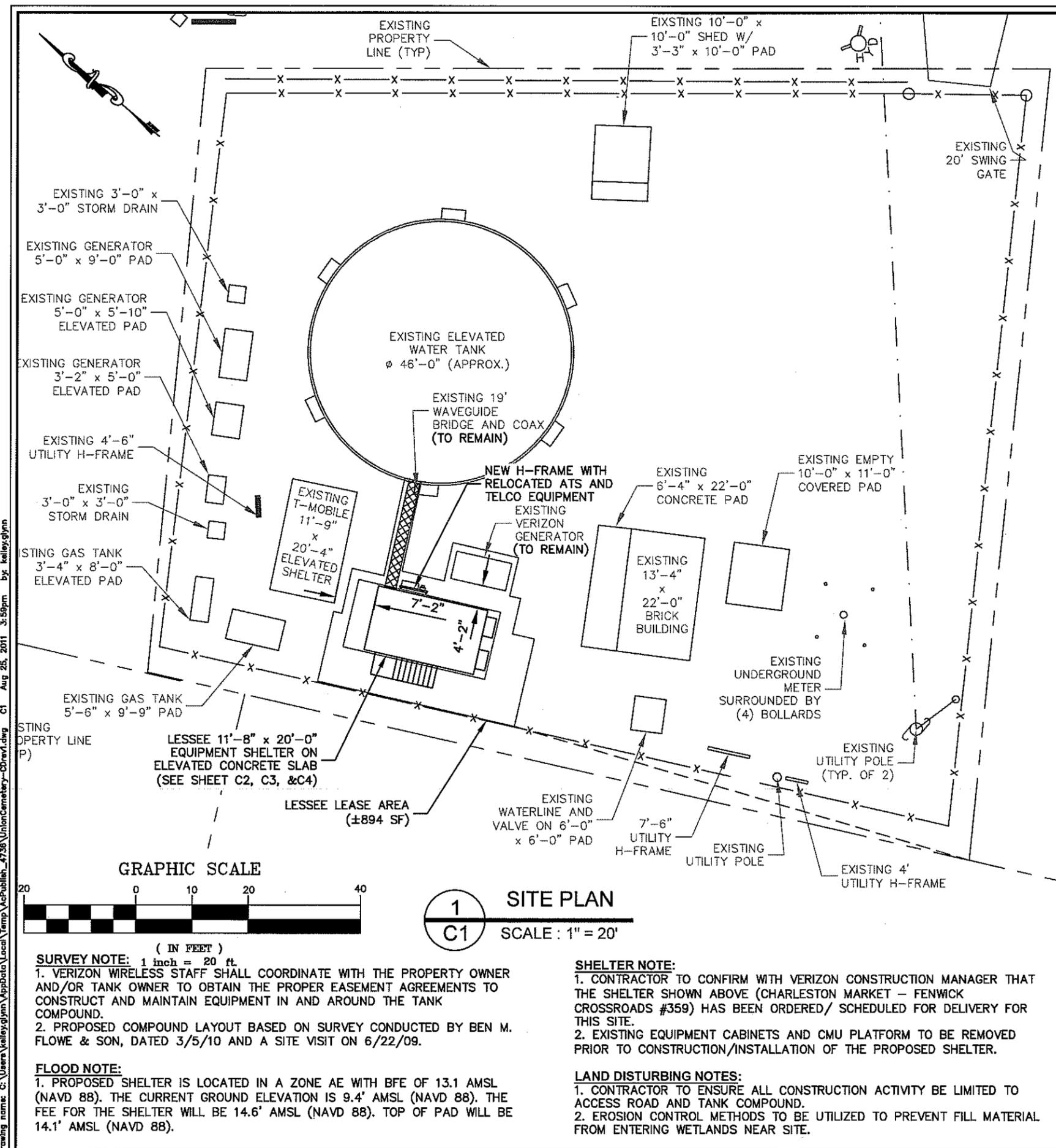
7. THE EXISTING TANK AND TANK FOUNDATIONS WERE DESIGNED BY OTHERS. TANK INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF STRUCTURAL ANALYSIS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.

8. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.

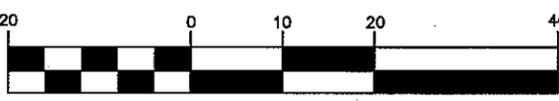
9. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.

10. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY SC PALMETTO UTILITY PROTECTION SERVICES 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (888) 721-7877. ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.

11. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.



GRAPHIC SCALE



1 SITE PLAN
SCALE: 1" = 20'

SURVEY NOTE: 1 inch = 20 ft.
1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TANK OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TANK COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY CONDUCTED BY BEN M. FLOWE & SON, DATED 3/5/10 AND A SITE VISIT ON 6/22/09.

FLOOD NOTE:
1. PROPOSED SHELTER IS LOCATED IN A ZONE AE WITH BFE OF 13.1 AMSL (NAVD 88). THE CURRENT GROUND ELEVATION IS 9.4' AMSL (NAVD 88). THE FEE FOR THE SHELTER WILL BE 14.6' AMSL (NAVD 88). TOP OF PAD WILL BE 14.1' AMSL (NAVD 88).

SHELTER NOTE:
1. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER SHOWN ABOVE (CHARLESTON MARKET - FENWICK CROSSROADS #359) HAS BEEN ORDERED/ SCHEDULED FOR DELIVERY FOR THIS SITE.
2. EXISTING EQUIPMENT CABINETS AND CMU PLATFORM TO BE REMOVED PRIOR TO CONSTRUCTION/INSTALLATION OF THE PROPOSED SHELTER.

LAND DISTURBING NOTES:
1. CONTRACTOR TO ENSURE ALL CONSTRUCTION ACTIVITY BE LIMITED TO ACCESS ROAD AND TANK COMPOUND.
2. EROSION CONTROL METHODS TO BE UTILIZED TO PREVENT FILL MATERIAL FROM ENTERING WETLANDS NEAR SITE.

Drawing name: c:\Users\kvelley\gym\AppData\Local\Temp\AcPublish\47398\UnionCemetery-CDraw1.dwg C1 Aug 25, 2011 3:59pm by: kvelley.glynn

PROJECT INFORMATION:
 VERIZON NAME: UNION CEMETERY
 VERIZON No.: COL 107
 91 UNION CEMETERY ROAD
 HILTON HEAD ISLAND, SC 29928

CURRENT ISSUE DATE:
 08/26/11

ISSUED FOR:
 CONSTRUCTION

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1	08/26/11	CONSTRUCTION	LHF

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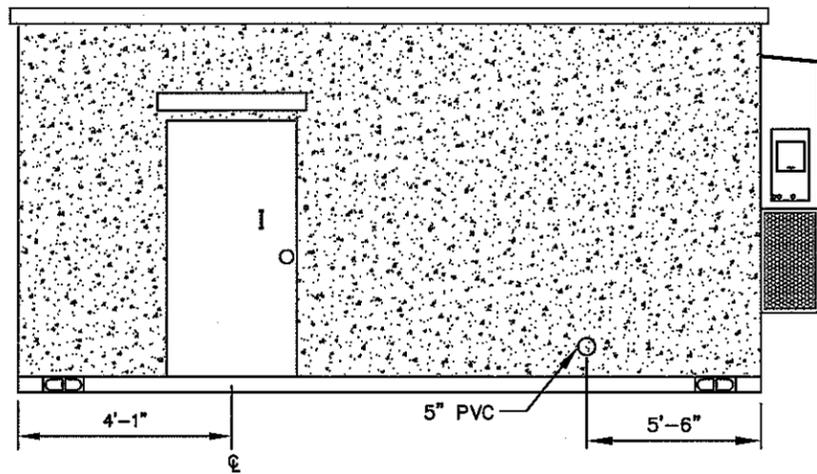


DRAWN BY	CHK.	APV.
KAG	KRM	LHF

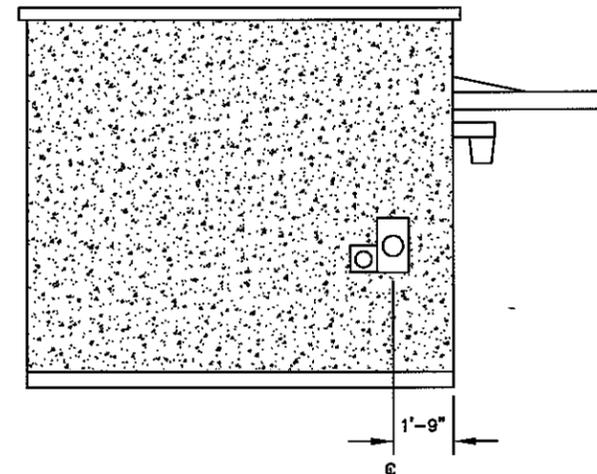
LICENSER:
FOR ILLUSTRATIVE PURPOSES ONLY - REFER TO MANUFACTURERS APPROVED SHELTER DRAWINGS

SHEET TITLE:
SHELTER ELEVATIONS

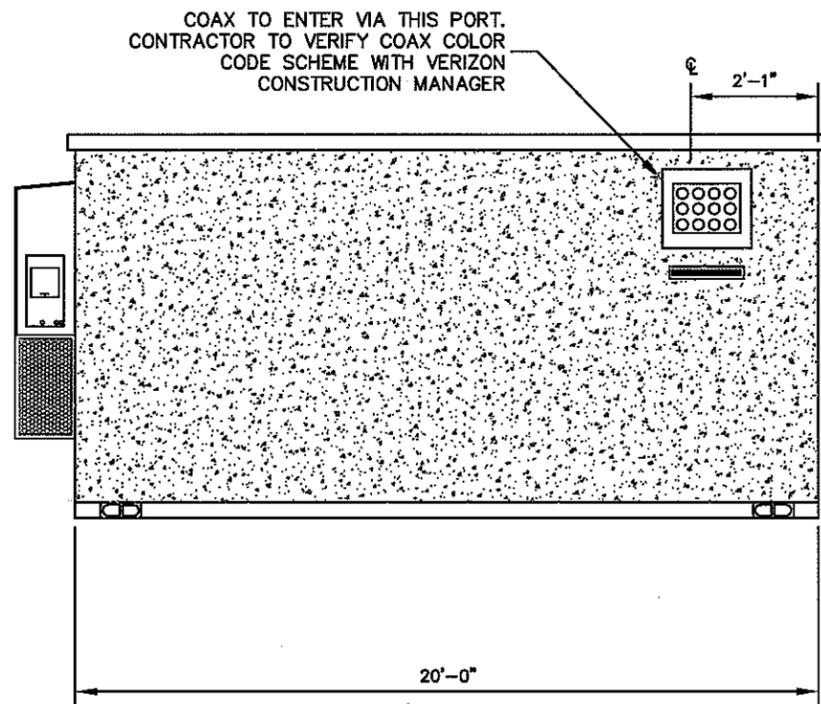
SHEET NUMBER	REVISION
C2	1
	019472226



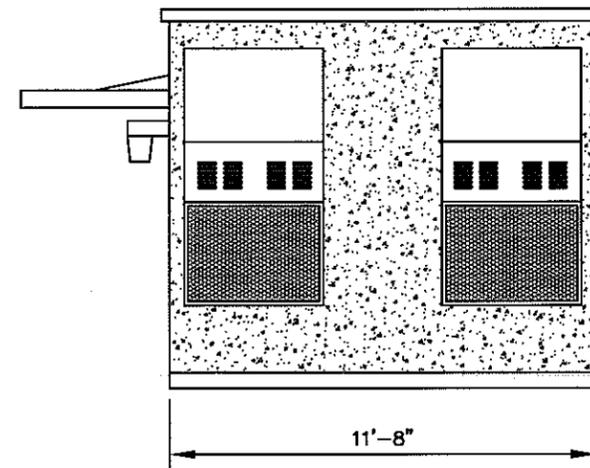
1 FRONT WALL ELEVATION A
 C2 NOT TO SCALE



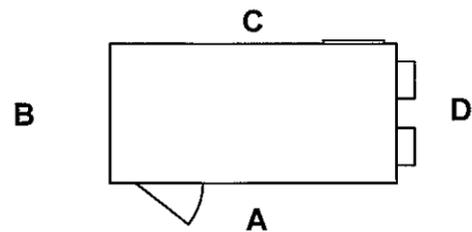
2 SIDE WALL ELEVATION B
 C2 NOT TO SCALE



3 BACK WALL ELEVATION C
 C2 NOT TO SCALE



4 SIDE WALL ELEVATION D
 C2 NOT TO SCALE



5 TYPICAL WALL LAYOUT
 C2 NOT TO SCALE

* ELEVATED SHELTER FOUNDATION NOT SHOWN FOR CLARITY.

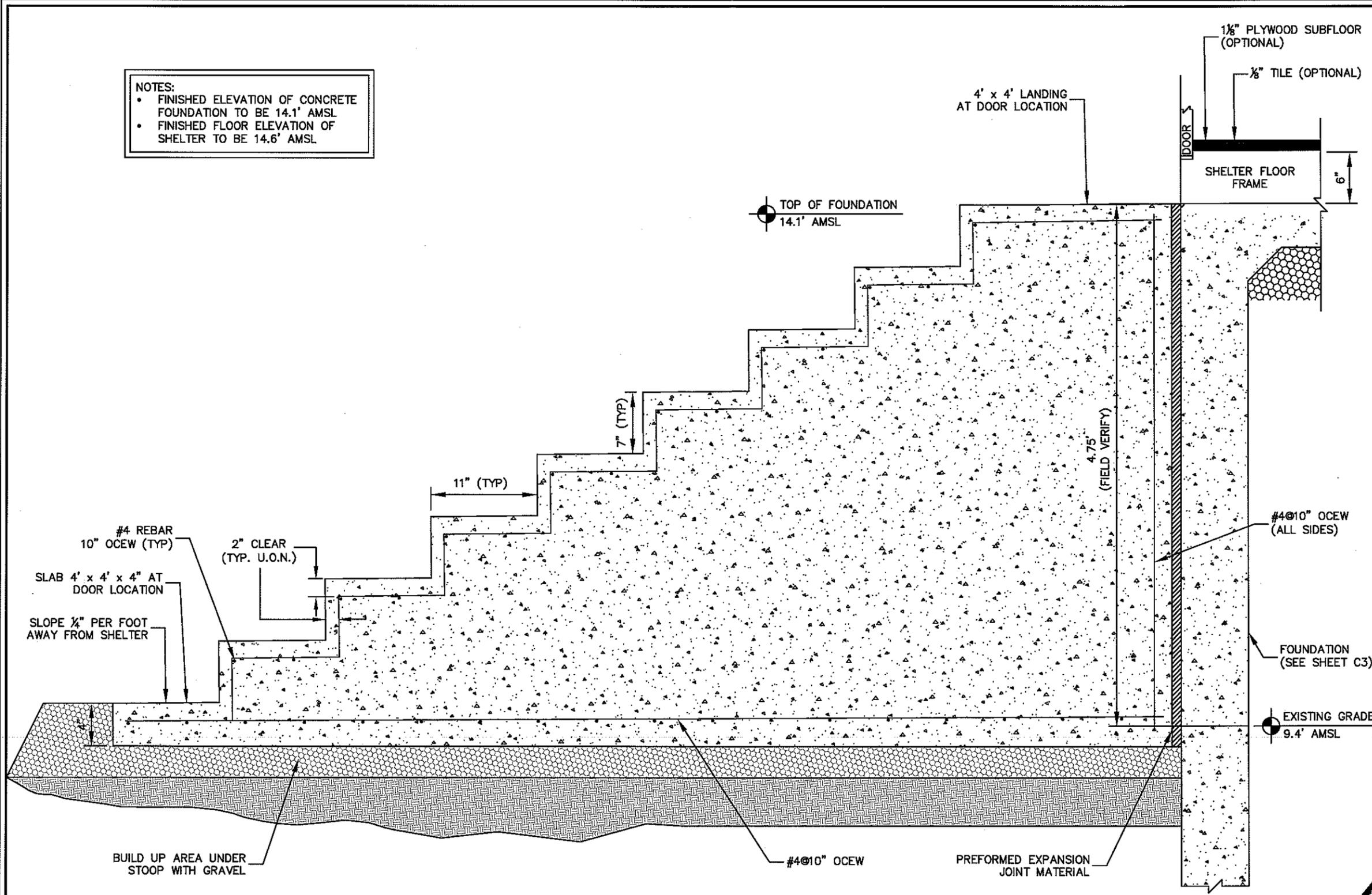
NOTE:
 PRE-FAB BUILDING WAS DESIGNED BY OTHERS AND DRAWINGS WERE PROVIDED AS PART OF VERIZON WIRELESS STANDARD DETAILS. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER SHOWN ABOVE HAS BEEN SCHEDULED FOR DELIVERY TO THIS SITE.

Drawing name: C:\Users\kelly.glynn\AppData\Local\Temp\AcPublish_4738\UnionCemetery-CDrev1.dwg C2 Aug 25, 2011 3:59pm by: kelly.glynn

Drawing name: K:\ATL_Wireless\000_Verizon\2009 sites\LTE Columbia\Union Cemetery\Union Cemetery-CDraw1.dwg C4 Aug 25, 2011 4:19pm by: kalleyglyn

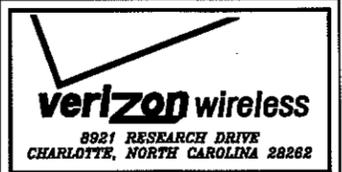
NOTES:

- FINISHED ELEVATION OF CONCRETE FOUNDATION TO BE 14.1' AMSL
- FINISHED FLOOR ELEVATION OF SHELTER TO BE 14.6' AMSL



NOTE:
HANDRAIL TO BE INSTALLED ALONG STAIRS AND AROUND LANDING.

1
C4
VERIZON STOOP DETAIL
 NOT TO SCALE



PROJECT INFORMATION:

VERIZON NAME: UNION CEMETERY
 VERIZON No.: COL 107

91 UNION CEMETERY ROAD
 HILTON HEAD ISLAND, SC 29928

CURRENT ISSUE DATE:

08/26/11

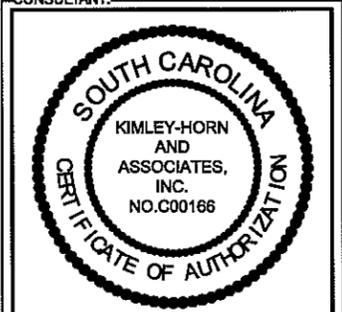
ISSUED FOR:

CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
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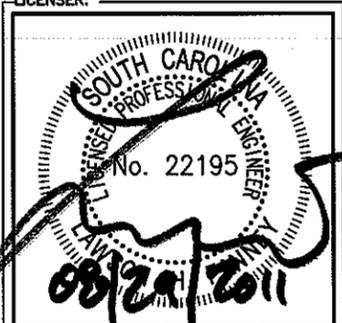
CONSULTANT:

Kimley-Horn
 and Associates, Inc.
 SC License C00166
 2 Sun Court, Suite 220
 Norcross, GA 30092



DRAWN BY: CHK: **APV.:**

KAG
KRM
LHF

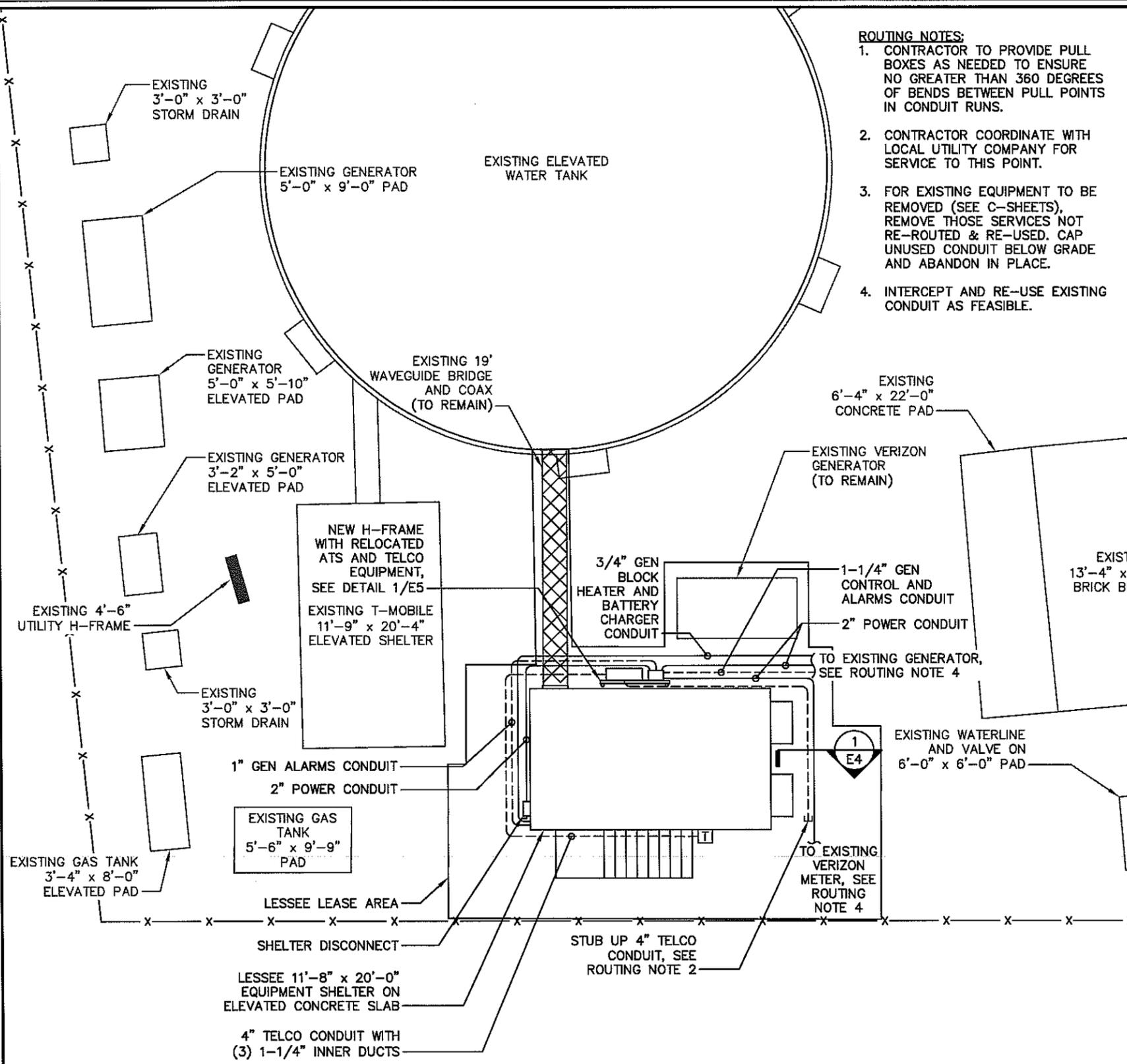


SHEET TITLE:

STOOP DETAIL

SHEET NUMBER: C4 **REVISION:** 1

019472226



- ROUTING NOTES:**
1. CONTRACTOR TO PROVIDE PULL BOXES AS NEEDED TO ENSURE NO GREATER THAN 360 DEGREES OF BENDS BETWEEN PULL POINTS IN CONDUIT RUNS.
 2. CONTRACTOR COORDINATE WITH LOCAL UTILITY COMPANY FOR SERVICE TO THIS POINT.
 3. FOR EXISTING EQUIPMENT TO BE REMOVED (SEE C-SHEETS), REMOVE THOSE SERVICES NOT RE-ROUTED & RE-USED. CAP UNUSED CONDUIT BELOW GRADE AND ABANDON IN PLACE.
 4. INTERCEPT AND RE-USE EXISTING CONDUIT AS FEASIBLE.

- NOTES AND SPECIFICATIONS:**
1. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
 2. CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
 3. CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
 4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
 5. CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON ENDS OF UNUSED CONDUIT.
 6. CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
 7. PRIOR TO TRENCHING CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
 8. CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWNER/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
 9. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE SCHEDULE 80 PVC UNDER ROADS. USE LONG-SWEEP RIGID GALVANIZED STEEL (RGS) FOR ELBOWS. USE RGS FOR RISERS TO EQUIPMENT. MANUFACTURED BENDS SHALL HAVE A MINIMUM RADIUS OF 36" FOR CONDUIT.
 10. CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARD AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION, AS NEEDED.
 11. CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE/CONDUCTOR INSULATION, SHIELDING, ETC.
 12. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
 13. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
 14. CONTRACTOR ENSURE A MINIMUM 3' CLEARANCE IN FRONT OF ELECTRICAL PANELS PER NEC.

1 E1 BASIC SERVICE ROUTING PLAN
 SCALE: 1" = 10'



PROJECT INFORMATION:
 VERIZON NAME: UNION CEMETERY
 VERIZON No.: COL 107
 91 UNION CEMETERY ROAD
 HILTON HEAD ISLAND, SC 29928

CURRENT ISSUE DATE:
 05/20/11

ISSUED FOR:
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
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CONSULTANT:

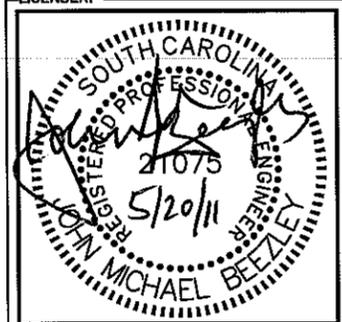
 Kimley-Horn and Associates, Inc.
 SC License C00166
 2 Sun Court, Suite 220
 Norcross, GA 30092

CONSULTANT:

 APOGEE
 Consulting Group, P.A.
 7330 Chapel Hill Road
 Suite 202
 Raleigh, N.C. 27607
 (919) 858-7420 Fax (919) 858-7423
 ACG PROJECT NO.: 2011 138

DRAWN BY: CHK. **APV.:**

EAG	JDC	JDC
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SHEET TITLE:
 BASIC SERVICE ROUTING PLAN

SHEET NUMBER: **REVISION:**

E1	0
	019472226



PROJECT INFORMATION:

VERIZON NAME: UNION CEMETERY
 VERIZON No.: COL 107
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 HILTON HEAD ISLAND, SC 29928

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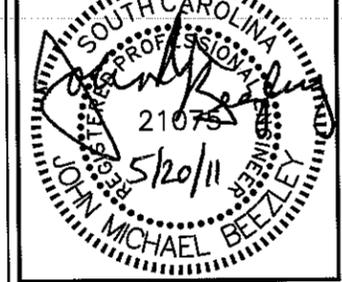
CONSULTANT:

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 7330 Chapel Hill Road
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 (919) 858-7420 Fax (919) 858-7423
 ACG PROJECT NO.: 2011 138

DRAWN BY: CHK.: APV.:

EAG	JDC	JDC
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LICENSER:



SHEET TITLE:

GROUNDING PLAN

SHEET NUMBER: REVISION:

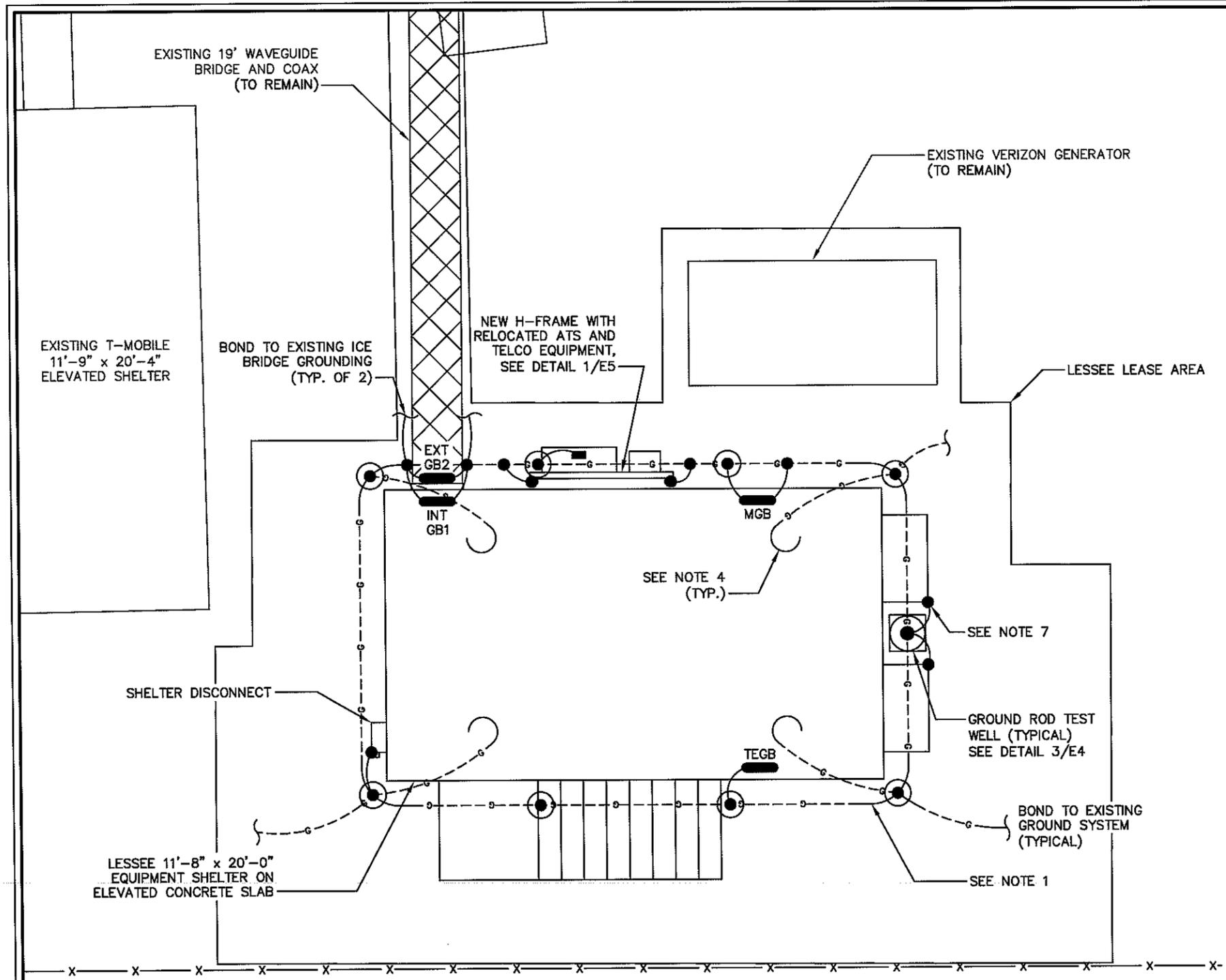
E2	0
	019472226

NOTES AND SPECIFICATIONS:

1. THE GROUND RING SHALL CONSIST OF 2 AWG TINNED SOLID BARE COPPER CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROSTLINE). ALL CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2. GROUND CONDUCTOR BEND RADIUS SHALL NOT BE LESS THAN 8".
3. MINIMUM SPACING BETWEEN GROUND RODS SHALL NOT BE LESS THAN 10', UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL PROVIDE A 60", 2 AWG TINNED SOLID BARE COPPER CONDUCTOR PIGTAIL, BOND TO THE SHELTER AS DIRECTED BY VERIZON WIRELESS CM.
5. CONTRACTOR SHALL BOND THE TOWER GROUND BAR (TOGB) TO THE GROUND RING USING A 2 AWG TINNED SOLID BARE COPPER CONDUCTOR AND AN EXOTHERMIC WELD.
6. CONTRACTOR SHALL BOND THE MAIN GROUND BAR (MGB), THE INTERNAL & EXTERNAL GROUND BARS (GB1 & GB2), AND THE TELEPHONE GROUND BAR (TEGB) TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
7. CONTRACTOR SHALL BOND THE OUTSIDE A/C UNITS TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
8. ALL GROUNDING/BONDING CONDUCTORS LOCATED ABOVE FINISHED GRADE SHALL BE RUN IN 1" PVC CONDUIT.
9. CONTRACTOR SHALL NOTIFY THE OWNER/TENANT CONSTRUCTION MANAGER TO ALLOW THE OWNER/TENANT CONSTRUCTION MANAGER TO INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.
10. CONTRACTOR SHALL HIRE AN INDEPENDENT 3RD PARTY (OTHER THAN THE GROUND SYSTEM INSTALLER) TO PERFORM AN IEEE 81 "FALL OF POTENTIAL" METHOD GROUND TEST. A VERIZON REPRESENTATIVE WILL BE PRESENT DURING THE TEST. CONTRACTOR SHALL SUBMIT A GROUND TEST DURING THE WALKTHROUGH.

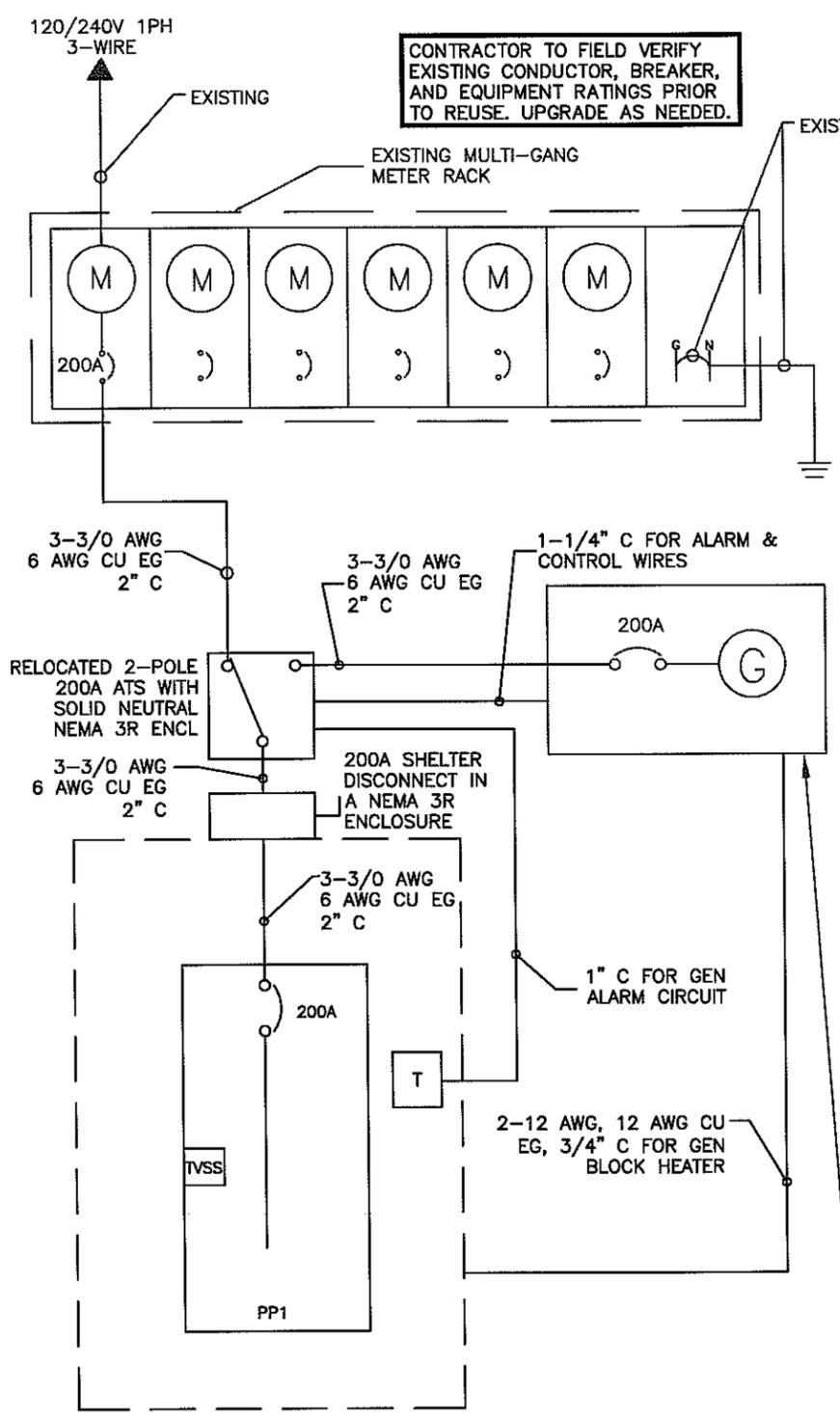
LEGEND:

- G — GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING (SEE DETAIL 2/E4)
- G --- GROUND RING
- EXOTHERMIC WELD
- ⊙ GROUND ROD TEST WELL (SEE DETAIL 3/E4)



GROUNDING PLAN
 SCALE: 1" = 5'





CONTRACTOR TO FIELD VERIFY EXISTING CONDUCTOR, BREAKER, AND EQUIPMENT RATINGS PRIOR TO REUSE. UPGRADE AS NEEDED.

NOTES AND SPECIFICATIONS:

1. ELECTRIC UTILITY WILL PROVIDE METER AND INCOMING SERVICE LATERAL CONDUCTORS.
2. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
3. CONTRACTOR SHALL OBTAIN OWNER/TENANT EQUIPMENT SHELTER DRAWINGS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS THAT MAY BE ADDRESSED IN THE EQUIPMENT SHELTER DRAWINGS.
4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
5. THE GROUNDED SERVICE CONDUCTOR (NEUTRAL CONDUCTOR) SHALL BE GROUNDED AT THE SERVICE DISCONNECT ONLY.
6. ALL POWER CIRCUITS SHALL USE COPPER CONDUCTORS WITH THHN/THWN INSULATION. ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES C.
7. CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE RECEPTACLES FOR ALL UTILITY RECEPTACLES.
8. CONTRACTOR SHALL ENSURE ALL NEUTRAL CONDUCTORS HAVE WHITE INSULATION AND EQUIPMENT GROUND CONDUCTORS HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT ALLOWED.

LOAD IN KVA		DESCRIPTION	TRIP	CKT	CKT	TRIP	DESCRIPTION	LOAD IN KVA	
A	B							A	B
1.00	---	RECTIFIER NO. 1	2P-40	1	2	2P-60	HVAC 1	1.80	---
---	1.00	RECTIFIER NO. 1	2P-40	3	4	2P-60	HVAC 1	---	1.80
1.00	---	RECTIFIER NO. 2	2P-40	5	6	2P-40	HVAC 2	1.80	---
---	1.00	RECTIFIER NO. 2	2P-40	7	8	2P-40	HVAC 2	---	1.80
1.00	---	RECTIFIER NO. 3	2P-40	9	10	2P-40	LIGHTING	0.49	---
---	1.00	RECTIFIER NO. 3	2P-40	11	12	2P-40	DUPLEX RECEPTACLE X 5	---	0.90
1.00	---	RECTIFIER NO. 4	2P-40	13	14	2P-40	DUPLEX RECEPTACLE X 4	0.72	---
---	1.00	RECTIFIER NO. 4	2P-40	15	16	1P-20	GFCI RECEPTACLE	---	0.18
1.00	---	RECTIFIER NO. 5	2P-40	17	18	1P-20	SMOKE & HEAT DETECTOR CKT.	0.24	---
---	1.00	RECTIFIER NO. 5	2P-40	19	20	1P-20	HYDROGEN DETECTOR CKT.	---	0.12
1.00	---	RECTIFIER NO. 6	2P-40	21	22	1P-20	GENERATOR BLOCK HEATER	0.60	---
---	1.00	RECTIFIER NO. 6	2P-40	23	24	---	SPACE	---	0.00
1.00	---	RECTIFIER NO. 7	2P-40	25	26	---	SPACE	0.00	---
---	1.00	RECTIFIER NO. 7	2P-40	27	28	---	SPACE	---	0.00
1.00	---	RECTIFIER NO. 8	2P-40	29	30	---	SPACE	0.00	---
---	1.00	RECTIFIER NO. 8	2P-40	31	32	---	SPACE	---	0.00
1.00	---	RECTIFIER NO. 9	2P-40	33	34	---	SPACE	0.00	---
---	1.00	RECTIFIER NO. 9	2P-40	35	36	---	SPACE	---	0.00
1.00	---	RECTIFIER NO. 10	2P-40	37	38	---	SPACE	0.00	---
---	1.00	RECTIFIER NO. 10	2P-40	39	40	---	SPACE	---	0.00
0.00	---	SPACE	---	41	42	---	SPACE	0.00	---
								20.05	19.20
								TOTAL CONNECTED KVA 39.25	
DEMAND CALCULATIONS		CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)					
LIGHTING		0.49	1.25	0.61					
RECEPTACLES		1.80	1.00	1.80					
LARGEST MOTOR		3.60	1.25	4.50					
ALL OTHERS		3.60	1.00	3.60					
RECTIFIERS		20.00	1.25	25.00					
MISCELLANEOUS		0.96	1.00	0.96					
		TOTAL DEMAND KVA		28.97					
		TOTAL DEMAND AMPS		152					

1 SINGLE-LINE DIAGRAM
E3
SCALE: NOT TO SCALE

EXISTING 50KW GENERATOR WITH 200A MAIN BREAKER. COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR EXACT WIRING REQUIREMENTS.

NOTE: THE GENERATOR USED IN CONJUNCTION WITH A 2-POLE AUTOMATIC TRANSFER SWITCH WITH A SOLID NEUTRAL IS NOT A SEPARATELY DERIVED SYSTEM. AS SUCH, DO NOT BOND THE NEUTRAL TO GROUND AT THE GENERATOR.



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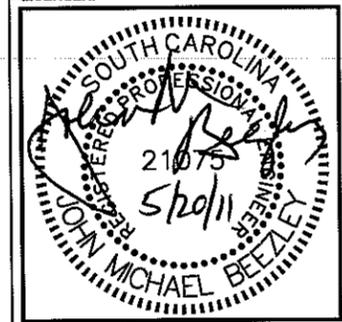
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CONSULTANT:
Kimley-Horn and Associates, Inc.
SC License C00166
2 Sun Court, Suite 220
Norcross, GA 30092

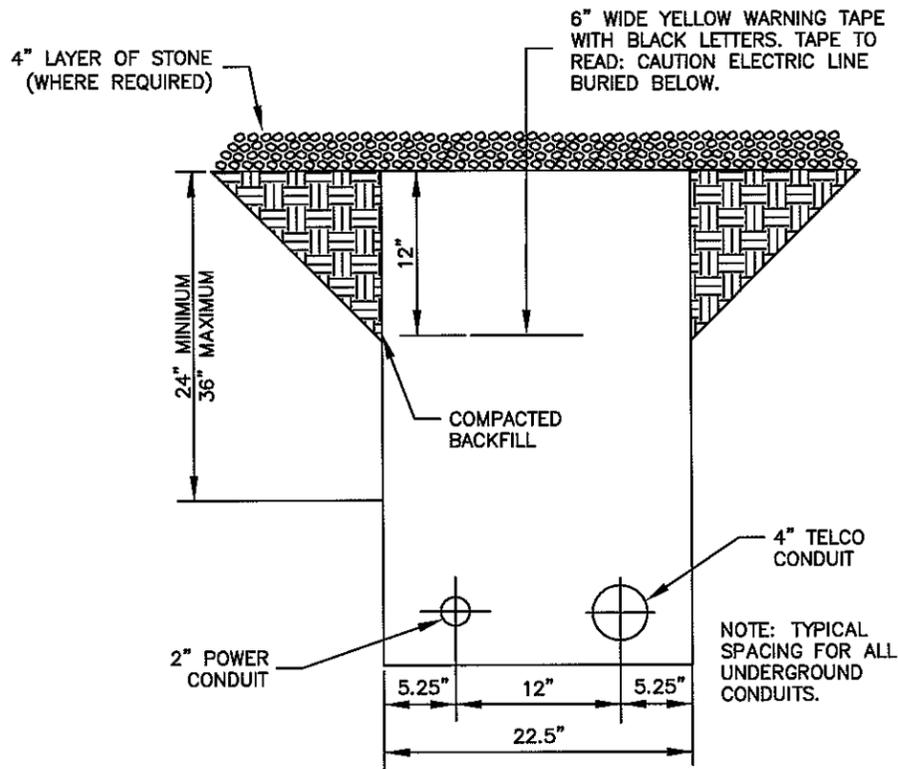
CONSULTANT:
APOGEE
7330 Chapel Hill Road
Suite 202
Raleigh, N.C. 27607
(919) 858-7420 Fax (919) 858-7423
ACG PROJECT NO.: 2011 138

DRAWN BY: EAG
CHK.: JDC
APV.: JDC

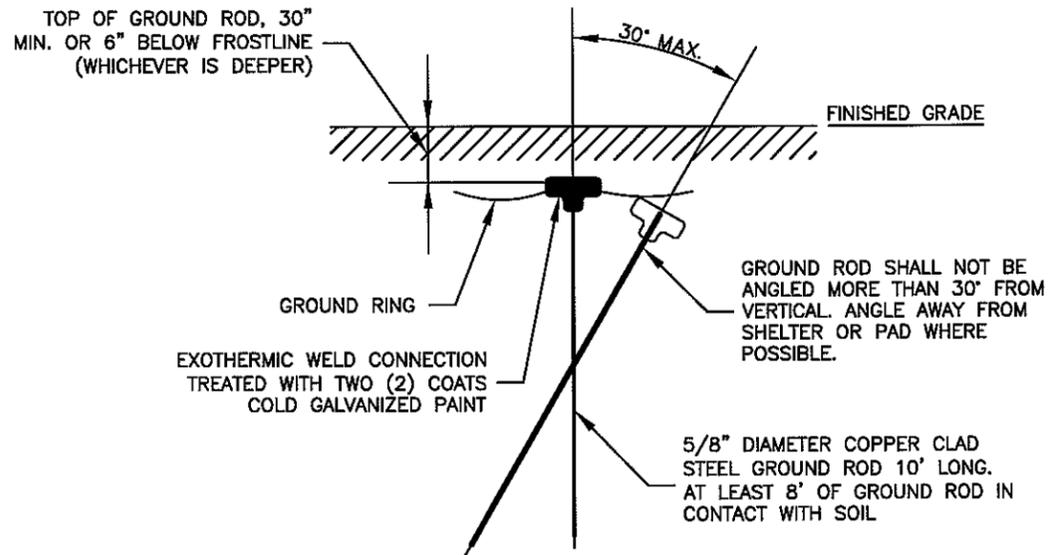


SHEET TITLE:
SINGLE-LINE DIAGRAM

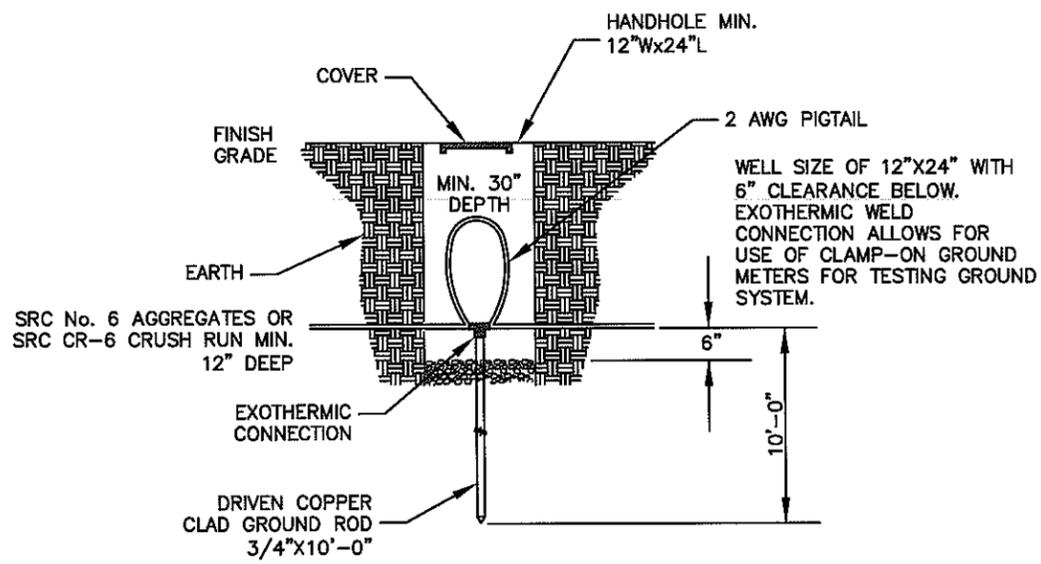
SHEET NUMBER: E3
REVISION: 0
019472226



1
E4
UTILITY TRENCH DETAIL (TYP)
SCALE: NOT TO SCALE



2
E4
GROUND ROD DETAIL
SCALE: NOT TO SCALE



3
E4
GROUND ROD TEST WELL
SCALE: NOT TO SCALE



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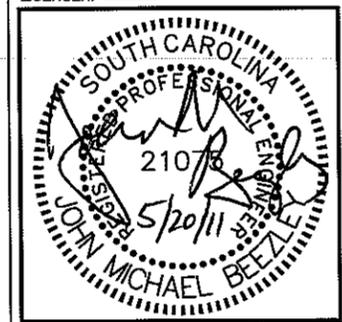
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 2 Sun Court, Suite 220
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CONSULTANT:

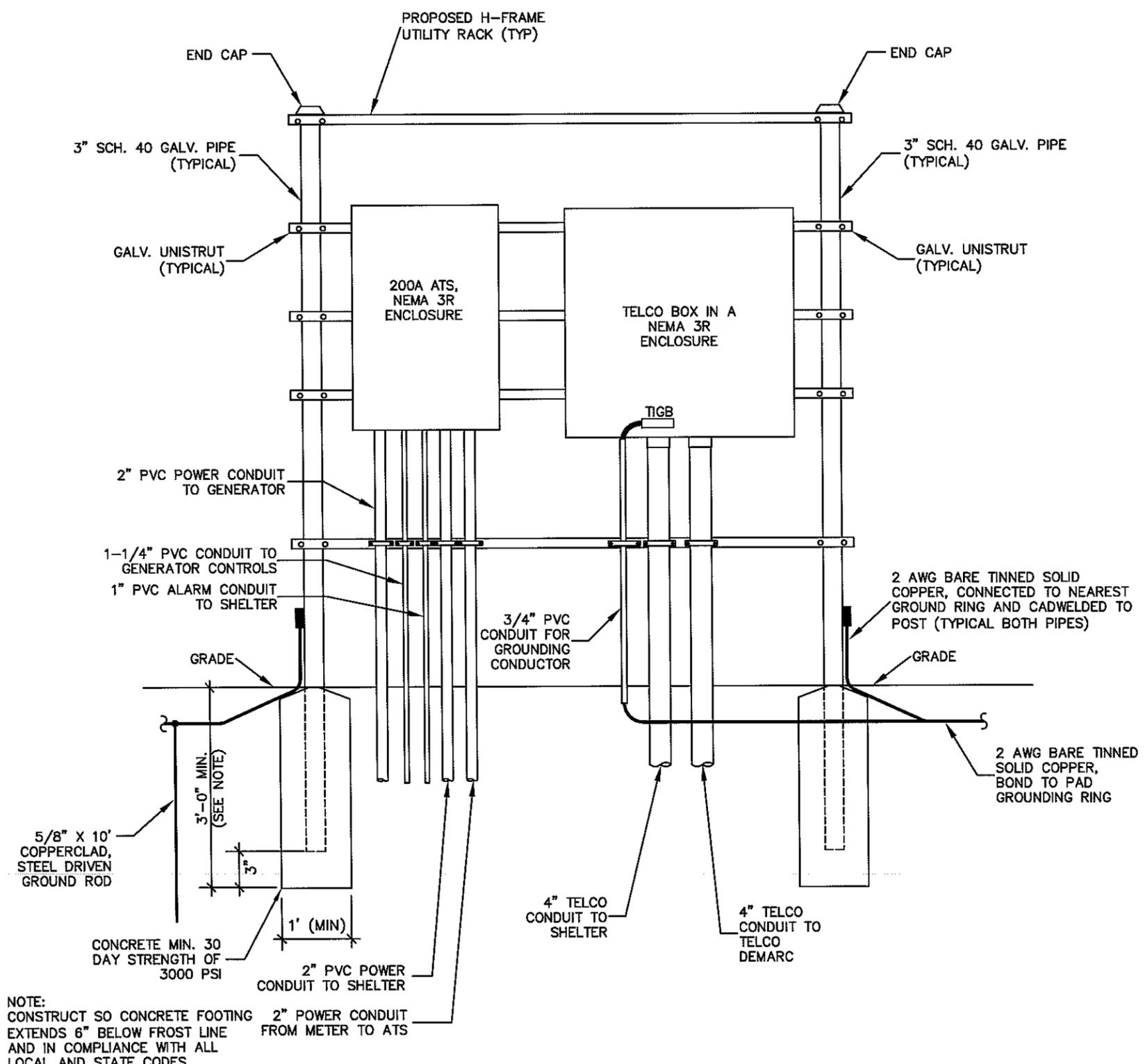
 APOGEE Consulting Group, P.A.
 7330 Chapel Hill Road, Suite 202
 Raleigh, N.C. 27607
 (919) 858-7420 Fax (919) 858-7423
 ACG PROJECT NO.: 2011 138

DRAWN BY	CHK.	APV.
EAG	JDC	JDC



SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER: **E4** REVISION: **0**
 019472226



NOTE:
 CONSTRUCT SO CONCRETE FOOTING EXTENDS 6" BELOW FROST LINE AND IN COMPLIANCE WITH ALL LOCAL AND STATE CODES.
 2" POWER CONDUIT FROM METER TO ATS

1
E5

H-FRAME DETAIL

SCALE: NOT TO SCALE

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
2. REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF H-FRAME.
3. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
4. CONTRACTOR TO PROVIDE AND INSTALL METER SOCKET.
5. CONTRACTOR TO LOCATE METER RACK TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BOTH ON THE FRONT SIDE AND THE BACK SIDE OF THE H-FRAME.
6. SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
7. COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
8. CONTRACTOR SHALL COORDINATE EFFORTS WITH (LOCAL, ELECTRICAL) AUTHORITY HAVING JURISDICTION (AHJ) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPE(S) OF RACEWAYS REQUIRED FOR INSTALLATION.
9. BOND ALL ELECTRICAL EQUIPMENT TO RACK.
10. DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.
11. FOR ANY METAL CONDUIT ENTERING AN ENCLOSURE WHERE A PRE-PUNCHED CONCENTRIC OR ECCENTRIC KNOCKOUT IS USED, THE CONTRACTOR SHALL ENSURE ADEQUATE BONDING BETWEEN THE METAL CONDUIT AND ENCLOSURE BY INSTALLING A BONDING JUMPER AROUND THE CONCENTRIC OR ECCENTRIC KNOCKOUT.



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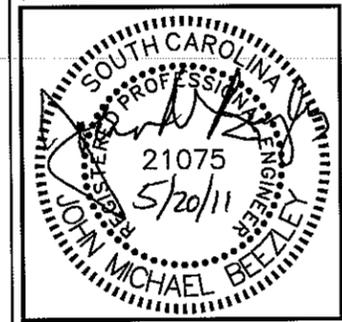
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DRAWN BY: CHK.: APV.:
 EAG JDC JDC



SHEET TITLE:
 H-FRAME DETAIL

SHEET NUMBER: REVISION:
 E5 0
 019472226



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Verizon Equipment Cabinet-Union Cemetery Road
DATE: November 8, 2011

DRB#: DR110039

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN

The installation of a new equipment cabinet in an existing yard. Equipment will have to be placed on 4' elevated slab, which will take it above the existing fence line. Adjacent lot is wooded and will not be affected.

NATURAL RESOURCE PROTECTION

NA

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
Linked App. #:	_____
Project Mgr:	_____

APPLICATION PACKET FOR COMMERCIAL RENOVATION PERMIT

<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Accessory
---	--	---

Project Name: Verizon Union Cemetery Project Address: 91 Union Cemetery Road
 Parcel Number [PIN]: R Project Acreage: _____
 Zoning District: _____ Overlay District(s): _____ Flood Zone: _____
 Land Owner Name: Hilton Head PSD Phone #: (843) 681-5525
 Address: 21 Oak Park Drive, Hilton Head Island, SC Email: _____
 Building #: _____ Unit #: _____ Number of Units: _____
 Change in Occupancy? Yes No

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If so, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

Fees:

Please see www.hiltonheadislandsc.gov for Design Review Board, Building Plan Review and Approval fees. The Town accepts cash or check made Payable to Town of Hilton Head Island. Credit cards are accepted as payment for some items.

Instructions:

This form is organized for different submissions at different times. Pages 1-2 are submitted in the beginning for all general information on the project. _____ is submitted for Design Review Board approval (Phase 1). Pages 4-6 (see blue items) are submitted to apply for the building permit (Phase 2). Page 7 (see purple item) is submitted at the end of construction to obtain the Certificate of Occupancy or final sign off (Phase 3). This form with its separate sections can be found on the Town's Website at www.hiltonheadislandsc.gov. You may print only those pages necessary for submission.

Digital Submissions are highly encouraged and may be accepted via email (send to cdic@hiltonheadislandsc.gov) or other electronic means.

**AFFIDAVIT OF OWNERSHIP AND RESPONSIBILITIES
AND
HOLD HARMLESS PERMISSION TO ENTER PROPERTY**

The undersigned being duly sworn and upon oath states as follows:

1. I am the current owner of the property which is the subject of this application.
2. I hereby authorize Tony Stewart, Agent for Verizon to act as my agent for this application only, and the application is being submitted with my knowledge and consent.
3. All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
4. Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at 91 Union Cemetery Road (address), R _____ (parcel ID) for the purpose of application review and inspection, for the limited time necessary to complete that purpose.
5. Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.
6. I acknowledge that the Town of Hilton Head Island Municipal Code requires that all construction in a Special Flood Hazard Zone be constructed in accordance with the following provisions:
 - a. That any enclosed area below the base flood elevation will be used solely for parking of vehicles, limited storage or access to the building. This space will never be used for human habitation without first becoming fully compliant with the Town's Flood Damage Controls Ordinance in effect at the time of conversion.
 - b. That all interior walls, ceilings and floors below the base flood elevation will be constructed of flood resistant materials.
 - c. That all mechanical, electrical and plumbing devices will be installed above base flood elevation.
 - d. That walls of the enclosed area below base flood elevation will be equipped with at least two openings which allow automatic entry and exit of flood water. Openings will be on two different walls with at least one square inch of free area for every square foot of enclosed space and have the bottom of openings no more than a foot above grade.
 - e. That the structure may be subject to increased premium rates for flood insurance from the National Flood Insurance Program.
7. I understand that failure to abide by Town permits, any conditions, and all codes adopted by the Town of Hilton Head Island deems me subject to enforcement action and/or fines.

<p>Bill Davis 843-681-5525 10-17-11</p>	<p><i>Bill Davis / JD</i></p>
---	-------------------------------

The foregoing instrument was acknowledged before me by _____, who is personally known to me or has produced _____ as identification and who did not take an oath.	
WITNESS my hand and official seal this _____ day of _____, A.D., 2_____.	
_____ Notary Public Signature	My Commission expires: _____ Please affix seal or stamp.

X

Tony Stewart
(864) 915-1122

10-17-11 Tony Stewart
telecomsite@novox.net

Koji & Kimiko Shimada

30 Full Sweep

Hilton Head, SC 29928

(843)298-5846

October 24, 2011

Attn: Mike Roan, Town of Hilton Head Urban Design Administrator

Re: 2 Southwood Park Drive Renovations

The existing 16,000 square foot retail center located on 2 Southwood Park Drive is in need of updating and renovations. The design intent is to enhance the center's overall aesthetic appeal and to address several items that are causing damage to the property and also presenting issues for accessibility and overall safety of the patrons and business owners.

We intend to update the existing façade by using a hardcote stucco system. This system will be placed over the existing wood siding. The new façade will help bring some continuity to the building and also update the overall look of the property. Canvas awnings will be used to provide cover along the new sidewalks, and the stucco surface above can provide future signage for tenants. The new sidewalk will be lined with planters for small to medium sized bushes. This also helps add greenery to the façade and separates the pedestrian sidewalk from the parking lot. The existing pear trees will be removed, as they are encroaching on the building and destroying the sidewalk. They have already caused damage to the building and present multiple tripping hazards for customers. In addition, several pine trees will also be removed to help prevent future destruction of the parking lot, and we intend on repaving the existing parking lot once the façade is finished. Thank you for your assistance with our renovation plan, and we look forward to working with you on this project.

Regards,

Koji & Kimiko Shimada Revocable Living Trust



YUMMY HOUSE
YUMMY HOUSE
ALL DAY
SUN
LUNCH
BU
T

BATTERS BOX
BATTERS BOX

BATTERS BOX
BATTERS BOX
BATTERS BOX
BATTERS BOX
BATTERS BOX
BATTERS BOX

POOL
ALL

EL PATRÓN
EL PATRÓN
EL PATRÓN

NO PARKING
ANYTIME

P
NO PARKING
ANYTIME

YUMMY HOUSE
Chinese and Japanese Restaurant

YUMMY HOUSE

YUMMY HOUSE

YOU
EAT
SUSHI /
DINNER

YUMMY HOUSE

BATTERS BOX

BATTERS BOX

BATTING & PITCHING
INSTRUCTION

BATTING CAGES

PARTIES / RENTALS

BATTING CAGES

PARTIES / RENTALS

BATTING & PITCHING
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RENOVATIONS TO SOUTHWOOD PARK RETAIL CENTER



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PLAN REVIEW DATA

ADOPTED CODES AND STANDARDS:

- NFPA 220 STANDARD OR TYPES OF BUILDING CONSTRUCTION
- INTERNATIONAL BUILDING CODE 2006
- ASNI BHMA (BUILDERS HARDWARE MFR'S ASSOC.)
- NATIONAL ELECTRIC CODE
- SMACNA HVAC 1995
- GA. ACCESSIBILITY CODE FOR BUIDLINGS AND FACILITIES

BUILDINGS - 1

ZONING - B-1

IBC - TYPE IIB NON SPRINKLERED CONSTRUCTION

TYPE OF OCCUPANCY - MERCANTILE OCCUPANCY
NFPA 101 LIFE SAFTY CODE 2006 EDITION

TOTAL TENANT AREA - 16000 SQ.FT.

VICINITY MAP



OWNER

PROJECT CONTACTS

ARCHITECT

WUBBENA AD, P.C.
JIM WUBBENA, AIA
35 BARNARD STREET
SUITE 300
SAVANNAH, GA, 31401
PH.912 660 5438
FX 912 525 3088



SHEET NO.	1141
PROJECT NUMBER:	1141
DATE:	9-28-2011
DRAWER:	

REVISIONS

SHEET TITLE

SITE PLAN

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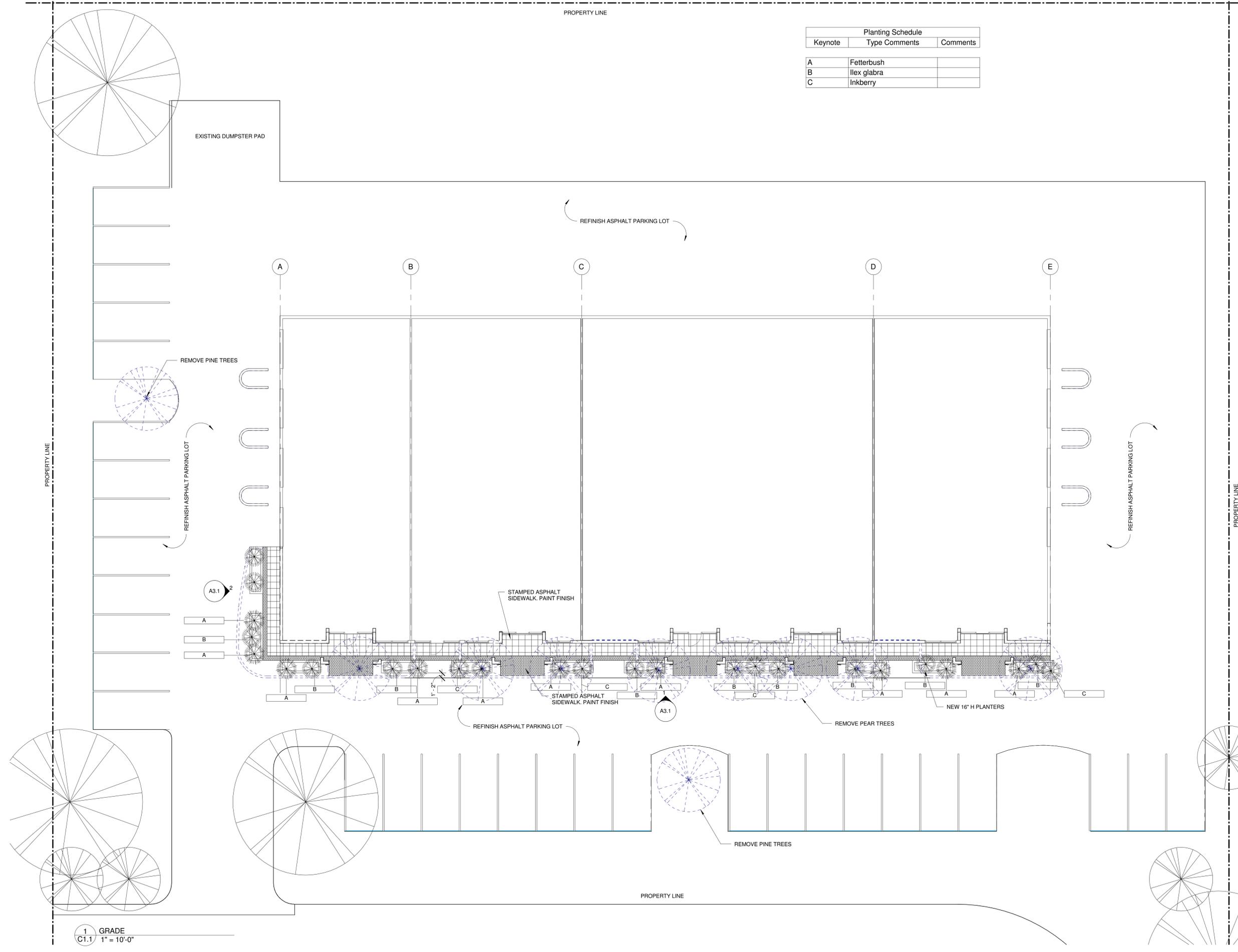


PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWN BY: Author
CHECKED BY: Checker
SCALE: 1" = 10'-0"

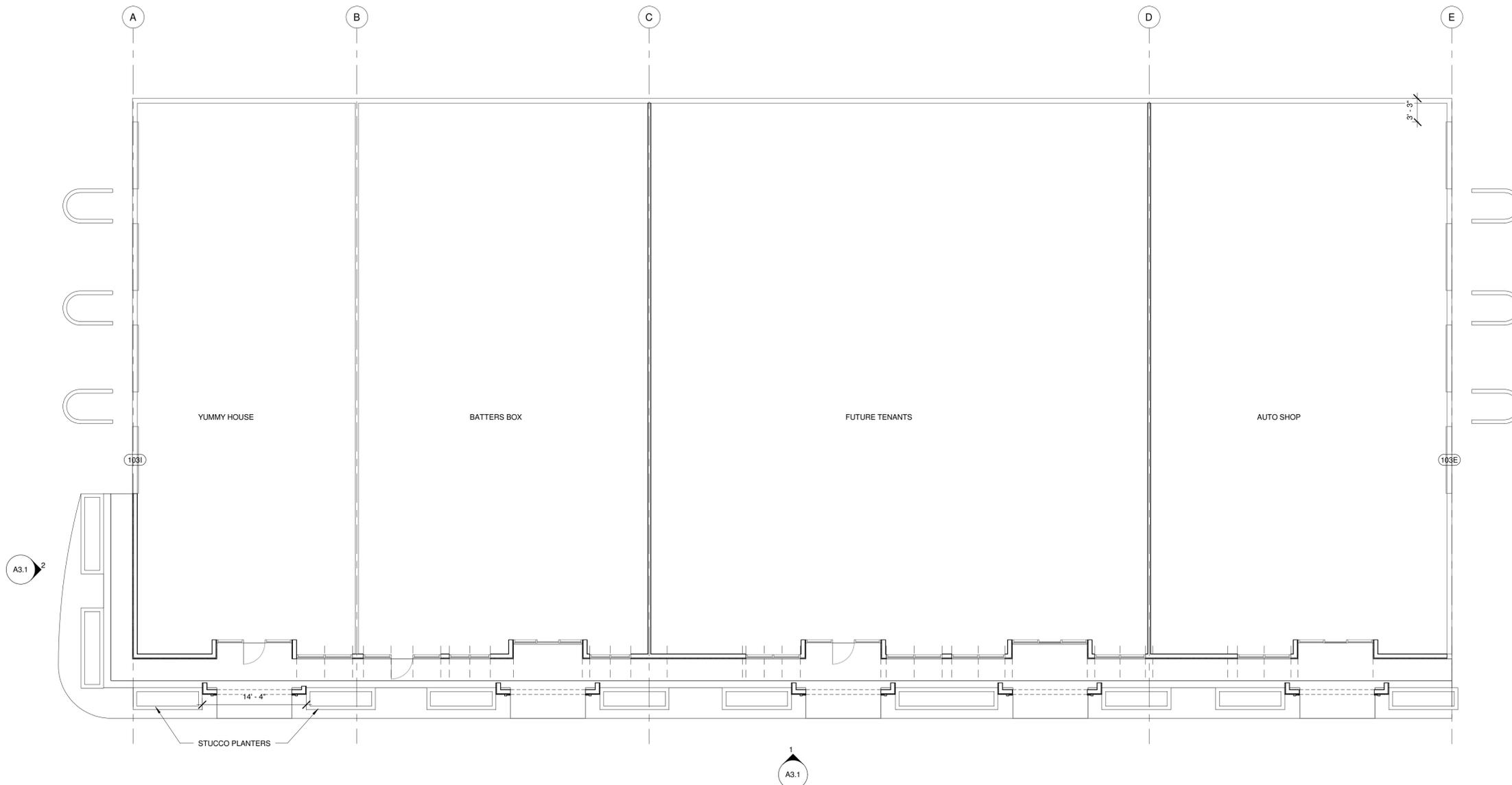
SHEET NO.

C1.1

Planting Schedule		
Keynote	Type	Comments
A	Fetterbush	
B	Ilex glabra	
C	Inkberry	



1 GRADE
C1.1 1" = 10'-0"



Wübbena
Architectural Design
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Tom Shimada

Southwood Park Retail Center

2 Southwood Drive
Hilton Head, SC

REVISIONS

SHEET TITLE

FIRST FLOOR PLAN

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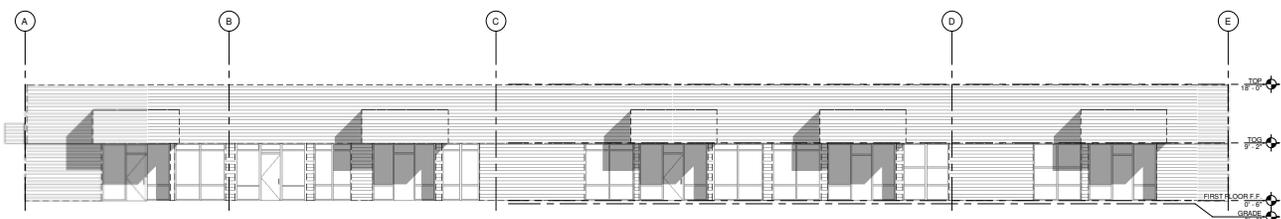


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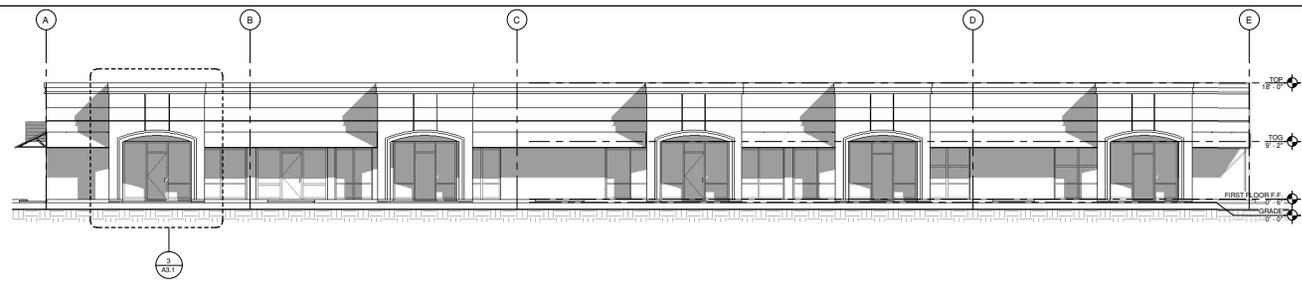
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A1.1

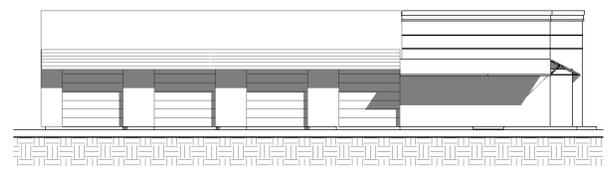
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10/24/2011 1:52:54 PM



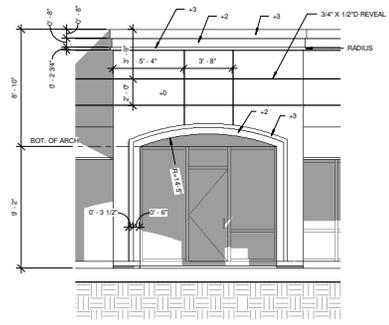
4 EXISTING ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 ENTRY DETAIL
3/4" = 1'-0"

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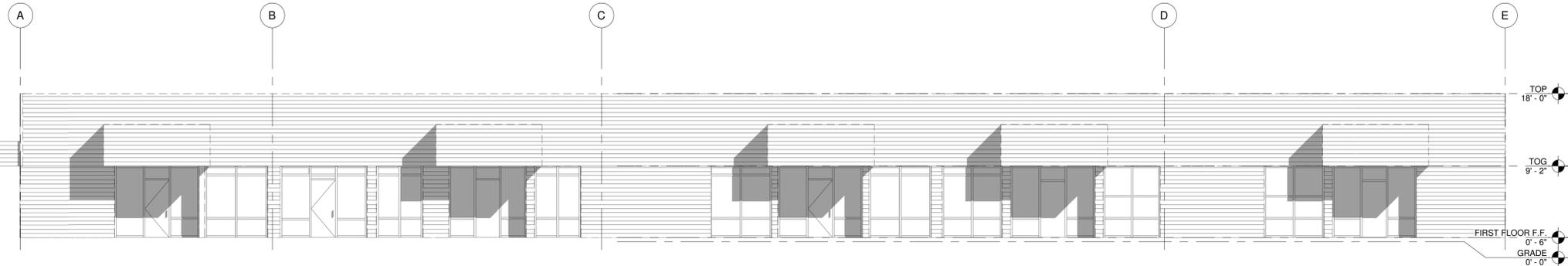
REVISIONS

SHEET TITLE
EXTERIOR ELEVATIONS

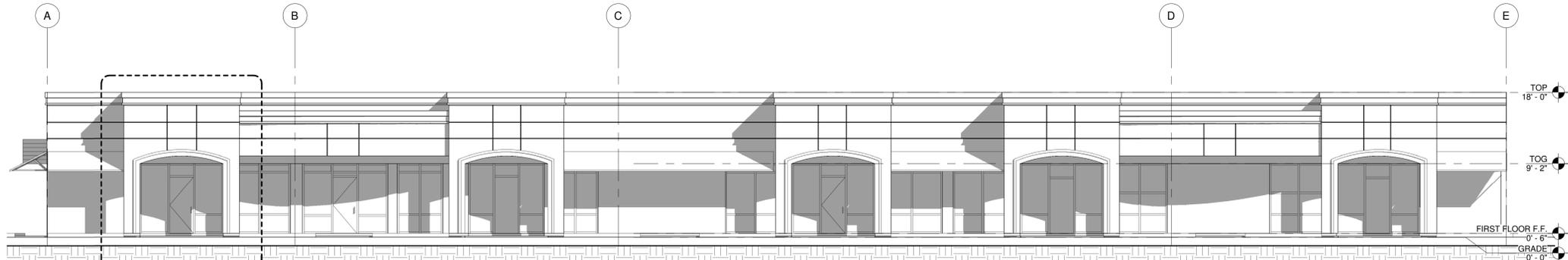
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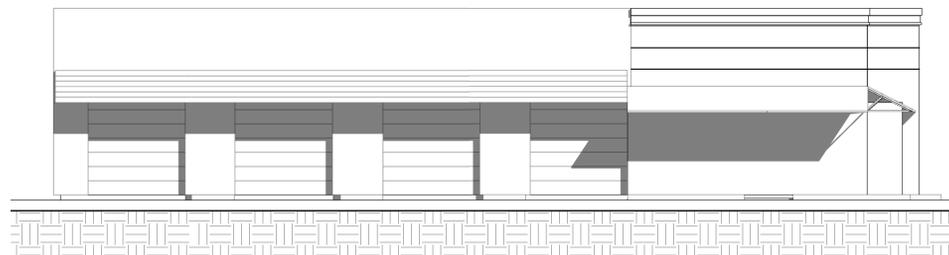
PROJECT NUMBER	1141	SHEET NO.	A3.1
DATE	9-28-2011		
DRAWN BY	Author		
CHECKED BY	Checker		
SCALE	As Indicated		



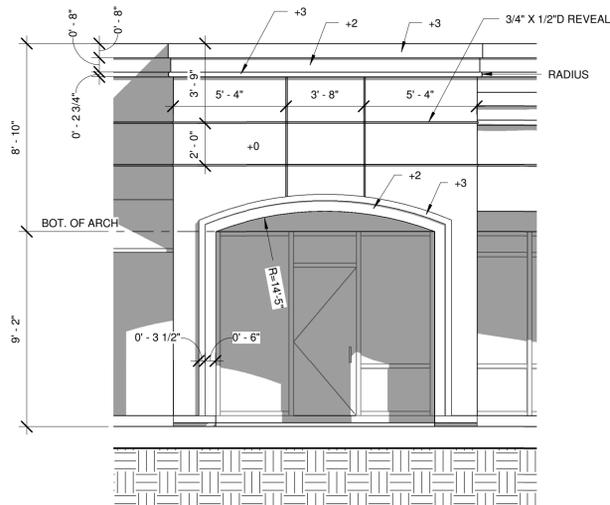
4 EXISTING ELEVATION
A3.1 1/8" = 1'-0"



1 NORTH ELEVATION
A3.1 1/8" = 1'-0"



2 EAST ELEVATION
A3.1 1/8" = 1'-0"



3 ENTRY DETAIL
A3.1 1/4" = 1'-0"

REVISIONS

SHEET TITLE
EXTERIOR
ELEVATIONS

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PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

SHEET NO.
A3.1





DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: 2 Southwood Park Renovations
DATE: November 8, 2011

DRB#: DR110040

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN

Application is to upgrade the exterior of the 2 Southwood Park Drive Commercial Building. Structure currently has wood siding, storefront systems, and roll up doors on the front elevation. Applicant wishes to remove several trees, improve the respective features, and install awnings/ canopies along the front of the building. Wood siding will be replaced with a stucco finish.

The proposed removal of the pear trees at the front of the building is warranted, and will be treated as a landscape element of the project, although the removal of the pine trees is a matter to be settled with Natural Resources. There are also three palmetto trees on the left elevation that will be coming out, and will need Natural Resource approval as well. Given the absence of landscaping in the parking lot and extent of proposed removal, a full landscape plan should be submitted

Application proposes the installation of stucco planters along the front of the building, although no detail is provided.

Only two elevations of the building are addressed in the drawings. Also, color and material samples for the stucco and awning will need to be provided to the Board. Awning/ canopies seem to be proposed between entry features,

but not over storefront elements, although this is purely derived from cross-referencing the rendering and the unlabeled elevations.

The Design Guide recommends avoiding flat roof forms. While the improved entry features are a significant step in the right direction, perhaps some pitched element might keep them closer to what the Guide is trying to ensure. While staff does not advise that the applicant pull directly from it, the Triangle Square renovation utilized a similar improvement, which was well received and is more in keeping with the Guidelines of the Town (see below). Perhaps it might provide some insight.

This application makes a major step in improving the property, and should ultimately be approved, given some clarification on the elements outlined above.



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<i>NATURAL RESOURCE PROTECTION</i>				
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<i>NA</i>				
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<i>MISC COMMENTS/QUESTIONS</i>				
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