



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, February 22, 2011

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes - Meeting of February 8, 2011**
- 6. Staff Report**
- 7. Board Business**
- 8. Unfinished Business**
- 9. New Business**
 - A) DR070089- Ocean Walk Phasing Plan
 - B) DR110011- Flatbread Grill- Minor External Change
 - C) DR110012- Broad Creek Marina Eco-Tourism Park Zip Line- New Development
 - D) DR110013- Remy's Outdoor Service Areas
- 10. Appearance by Citizens**
- 11. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

Town of Hilton Head Island
DESIGN REVIEW BOARD
Minutes of the Tuesday, February 8, 2011 Meeting **DRAFT**
1:15pm – Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Tom Parker, Vice Chairman Todd Theodore,
Ted Behling, Galen Smith, Scott Sodemann, and Deborah Welch

Board Members Absent: Jennifer Moffett

Council Members Present: None

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Plans Review Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Chairman Parker called the meeting to order at 1:15pm.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

Mr. Roan reported that the applicant for Marriott Sunset Pointe Adult Pool Renovation, appearing under Alterations/Additions, has requested a postponement of the application to a future date. The revised agenda was **approved** by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the January 25, 2011 meeting were **approved** as **amended** by general consent.

6. STAFF REPORT

None

7. BOARD BUSINESS

None

8. UNFINISHED BUSINESS

None

9. NEW BUSINESS

Hinchey's Chicago Bar & Grill (Metropolitan Hotel) Deck Addition - DR110007

Mr. Roan introduced the application and stated its location. This business has moved from Beach Market Shops to the Metropolitan Hotel located at 36 South Forest Beach Drive.

The applicant is proposing the addition of an outdoor patio deck to be used as a waiting area. The applicant proposes to improve the entryway by covering two sets of stairs that are slightly sloped. This will correct a potential safety issue. The applicant states that the existing shrubbery located next to the building will be moved outward between the new deck and the parking lot.

The applicant is proposing a picket railing with a 4-ft. stairway into the building. The staff recommended that a different railing detail be used. The railing detail should be made heavier and more contemporary. The staff also recommended that the width of the stairway be increased. Also, the Natural Resources Department is concerned with the preservation of two 14-inch live oak trees located out front. Every effort should be made to preserve these trees. At the completion of staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Bill Vitto presented statements in support of the application. The applicant stated that the purpose of the outdoor space is to provide heating and a smoking area for patrons of the restaurant. The applicant stated that the two live oak trees that are located out front will be preserved.

The Board and the applicant discussed several issues including the railing detail, the width of the stairs, and landscaping requirements. The Board agreed with the staff's recommendations regarding the railing detail and the width of the stairs. The Board and the applicant discussed the need to screen the base of the deck with adequate landscaping.

Based on today's recommendations, Chairman Parker stated that the applicant will need to return for a second review of the project. Today's review is approved on a conceptual basis only, and no official action was taken. The applicant thanked the Board for their consideration and design recommendations.

Verizon Antennae Co-Locate – 616 William Hilton Parkway - DR 110008 Alteration/ Addition

Mr. Roan introduced the application and stated its Folly Field location. This is an application for new antennae to an existing tower. The new antennae will be located lower than the existing. There is no new cabinetry on the ground. The staff recommended approval as submitted. The Board agreed with the staff's recommendation, and Chairman Parker requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Verizon Antennae Co-Locate application at 616 William Hilton Parkway as submitted. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

Verizon Antennae Co-Locate - Paddocks Boulevard - DR110009 Alteration/Addition

Mr. Roan introduced the application and stated its location in Indigo Run. Like the previous application, this is an application for new antennae to an existing tower. The new antennae will be located lower than the existing. There is no new cabinetry on the ground. The staff recommended approval as submitted. The Board agreed with the staff's recommendation, and Chairman Parker requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Verizon Antennae Co-Locate application for Indigo Run as submitted. Ms. Welch **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. APPEARANCE BY CITIZENS

None

11. ADJOURNMENT

The meeting was adjourned at 1:45p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Tom Parker
Chairman



February 11, 2011

Oceanwalk Villas Condominiums
Limited Exterior Repair Scope Phased

D.L. Ogden Architecture, LLC, on behalf of OceanWalk HOA, is proposing a repair/replacement to selected exterior assemblies of the above referenced Project. In general, the work will entail removal of the all existing outward wall windows and the adjacent stucco finish and substrate sheathing for the new systems (wall and windows). In addition all guard rails are to be replaced at all elevated balconies.

The areas to receive a new exterior stucco veneer and sheathing substrate over its current framed assembly are shaded on the Elevation Sheets provided and also marked on the Floor Plan levels. All outer wall windows in those areas and associated flashing will be replaced. The exterior façade as a whole will remain divided, as previously approved, into upper and lower portions by contrasting traditional textures and earth tone colors; the lower two floor levels, a dark taupe stucco; the upper three floor levels, a lighter gray-green stucco. It is proposed that the new stucco system texture closely match the existing rough texture that is to remain as found on the building today. For those areas not to receive a new stucco veneer, they will receive a sealer/primer and paint coating to match the proposed new color configuration (as shown on the Partial Color Elevation attachment). Simple details remain proposed such as the Water Table trim and inset false Pilasters at the top 3 levels. Only on the front façade facing Lemoyne Ave. is to receive the Pilaster detail. The proposed stucco remain as earth tone colors along with corresponding accent chromas to complement existing neighborhoods in proximity and blend with the natural environment the landscape provides. The guard rails will be a dark bronze.

The color scheme remains in accordance to that previously approved for the Project when submitted as part of a Renovation; however, due to continuing economic conditions the HOA only has limited access to funds. For this reason, they have requested that the Project scope be revised to reflect the Project to be completed in 4 Phases. The work to the five story condominium façades are proposed to be performed in 4 Phases. A Phasing Plan is provided showing the 1st through 4th Phase. The first Phase is the Front of the building facing Lemoyne Avenue and the 2nd Phase will be the South side facing Xanadu Villas and South Forest Beach Road . While the 3rd and 4th phases are to the rear and far side, away from prominent Public views. The Phases are proposed to commence at the earliest this late spring otherwise early summer and will take approximately 3 years to complete all Phases. A proposed Phasing schedule is as follows:

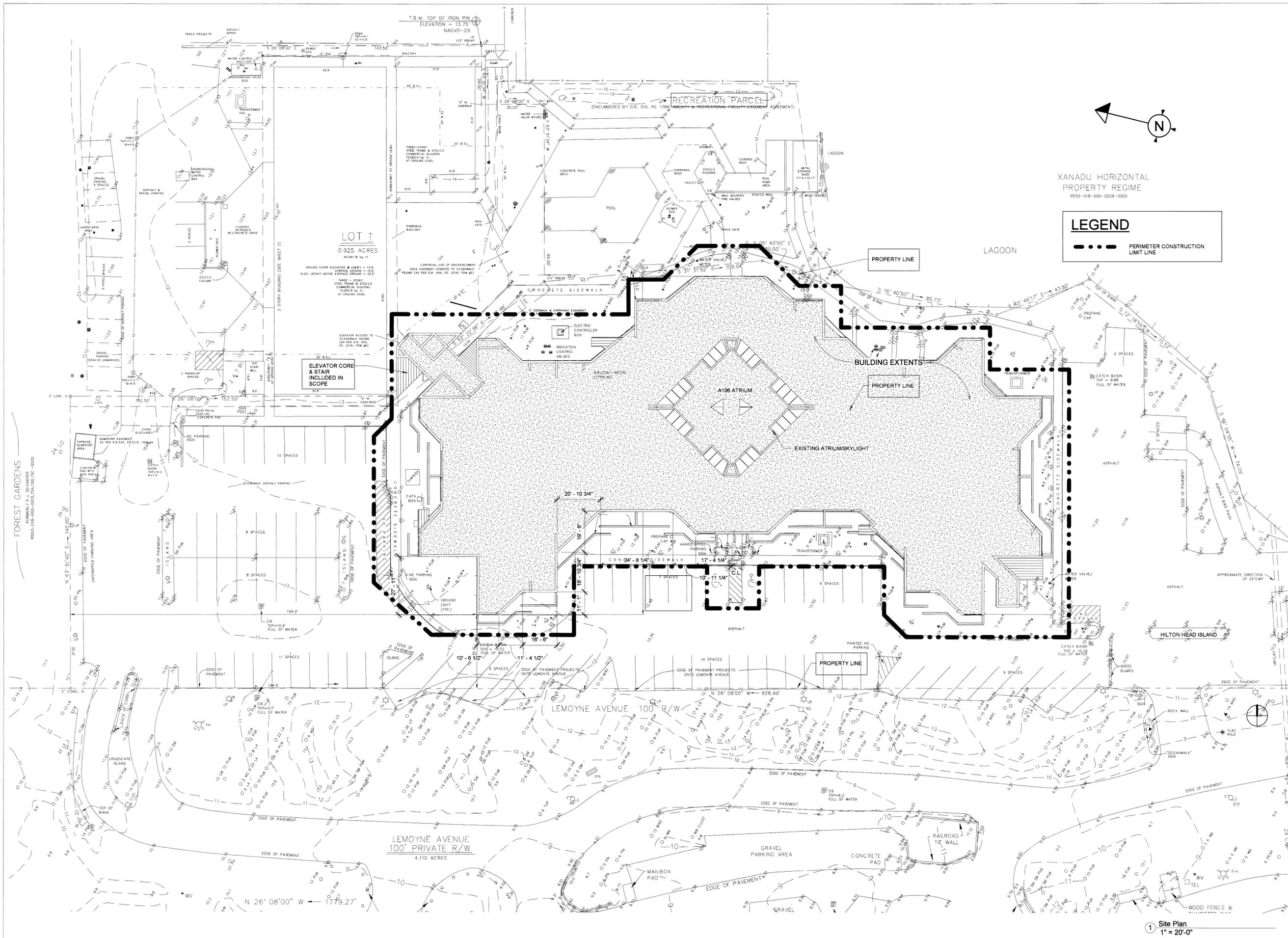
- PHASE 1: May 15, 2011 – August 31, 2011
- PHASE 2: March 15, 2012 – May 31, 2012
- PHASE 3: March 15, 2013 – June 30, 2013
- PHASE 4: November 1, 2013 – February 1, 2014

OceanWalk Villas Condominiums



Existing Front Entrance

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 Projects\Oceanwalk\Drawings\REVITOCANWALK REV 2011.rvt



XANADU HORIZONTAL
 PROPERTY REGIME
 R553-018-000-0229-0000

LEGEND

- PERIMETER CONSTRUCTION LIMIT LINE

ARCHITECT:

D.L. OGDEN
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 ELECTRICAL ENGINEER:
 STRUCTURAL
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 14 Westbury Park Way Suite 202
 Bluffton, SC 29910
 843.815.3191
 Dan Moulton, PE Principal

Oceanwalk Villas

EXTERIOR REPAIR
 Hilton Head Island, SC

REGISTERED SEAL
 REGISTERED SEAL

ISSUE	DATE	DESCRIPTION
1	01/29/2008	Schematic Development
2	04/28/2008	Bid Set
3	06/23/2008	For Permit
4	11/23/2009	Repair Revisions
5	07/19/2010	Repair Rev. Pricing Set
6	02/8/2011	Scope limits with Phasing

PROJECT #: 0733-2011
 PROJECT MANAGER: DLO
 DRAWN BY: ARJ, JAA

Site Plan
 PROPOSED
SP100

1 Site Plan
 1" = 20'-0"

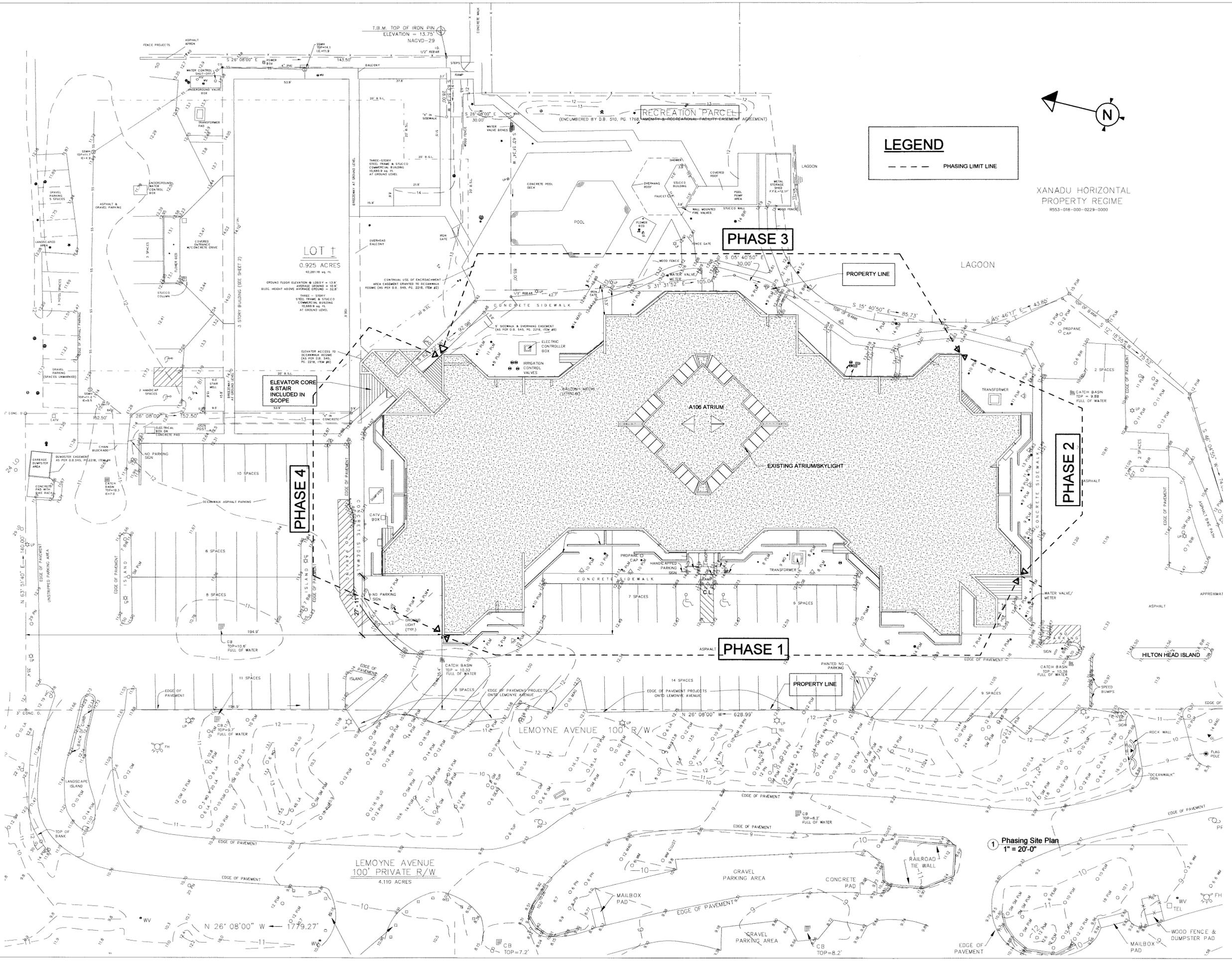
Oceanwalk
Villas
 EXTERIOR REPAIR
 Hilton Head Island, SC

REGISTERED SEAL
 REGISTERED SEAL

ISSUE	DATE	DESCRIPTION
1	01/29/2008	Schematic Development
2	04/28/2008	bid Set
3	08/23/2008	For Permit
4	11/23/2009	Repair Revisions

PROJECT #: 0733
 PROJECT MANAGER: Approver
 DRAWN BY: Checker

Phasing Plan
SP101

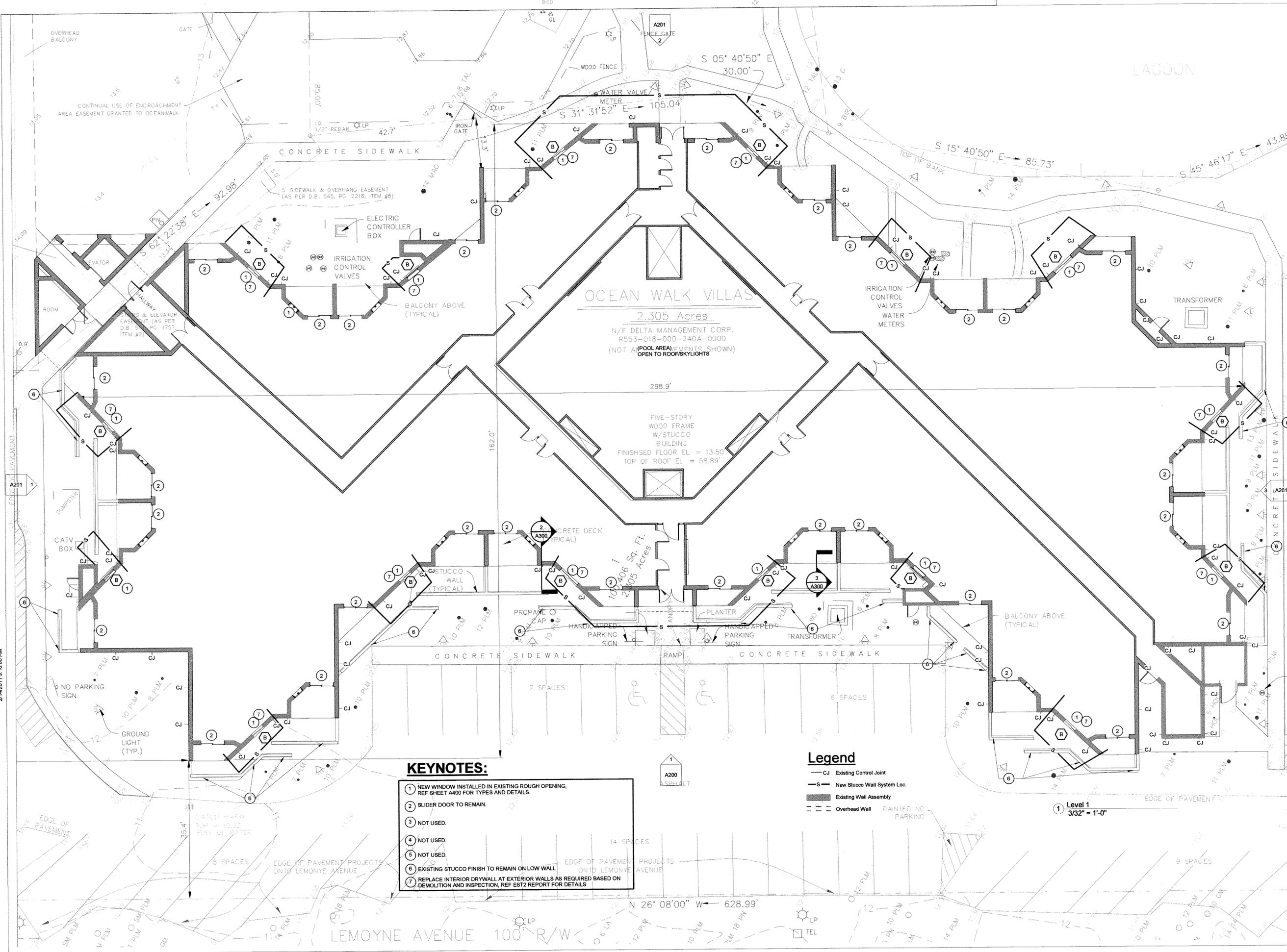


1 Phasing Site Plan
 1" = 20'-0"

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DT 1
 5 ACRES
 31.18 sq. ft.
 LOBBY = 13.8'
 ROUND = 10.6'
 ROUND = 32.8'
 1 STORY
 1/2 & STUCCO
 WALL BUILDING
 9 sq. ft.
 1ND LEVEL



- KEYNOTES:**
- 1 NEW WINDOW INSTALLED IN EXISTING ROUGH OPENING, REF SHEET A400 FOR TYPES AND DETAILS.
 - 2 SLIDER DOOR TO REMAIN.
 - 3 NOT USED.
 - 4 NOT USED.
 - 5 NOT USED.
 - 6 EXISTING STUCCO FINISH TO REMAIN ON LOW WALL.
 - 7 REPLACE INTERIOR DRYWALL AT EXTERIOR WALLS AS REQUIRED BASED ON DEMOLITION AND INSPECTION, REF EST2 REPORT FOR DETAILS.

Legend

- CJ Existing Control Joint
- S New Stucco Wall System Loc.
- Existing Wall Assembly
- Overhead Wall PAINTED NO PARKING

1 Level 1
 3/32" = 1'-0"



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 ELECTRICAL ENGINEER:

CONSULTANT:
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 Danl Moulton, PE Principal

Oceanwalk Villas
 EXTERIOR RENOVATIONS
 Hilton Head Island, SC

REGISTERED SEAL
 REGISTERED SEAL

ISSUE	DATE	DESCRIPTION
1	01/29/2008	Schematic Development
2	04/28/2008	Bid Set
3	08/23/2008	For Permit
4	11/23/2009	Repair Revisions
5	07/00/2010	Revised Permit Set

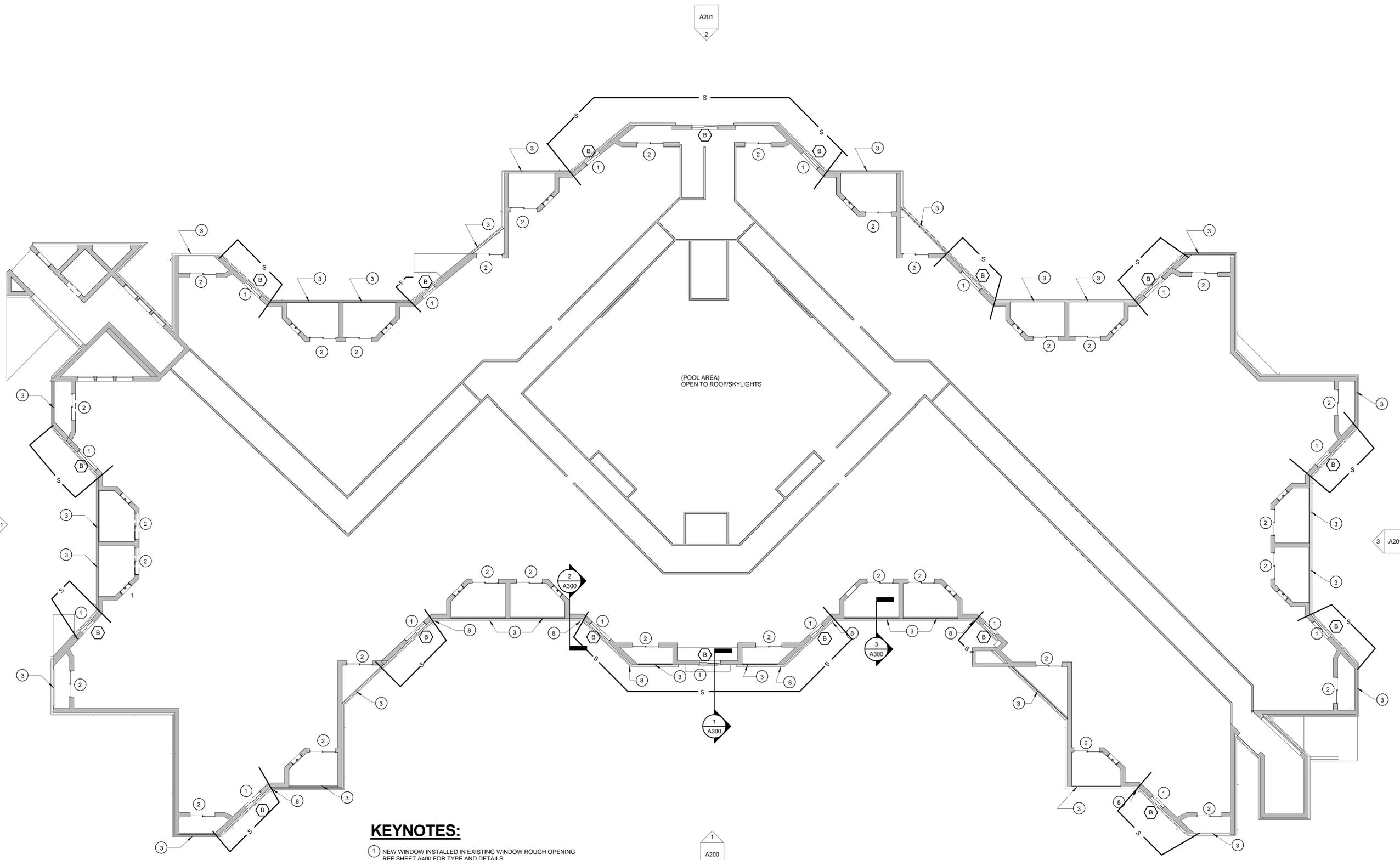
PROJECT #: 0733
 PROJECT MANAGER: DLO
 DRAWN BY: ARJ

Level 1 Plan
New Work
A101

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Project: Oceanwalk Drawings REV IT OCEANWALK REV 2011.rvt



KEYNOTES:

- 1 NEW WINDOW INSTALLED IN EXISTING WINDOW ROUGH OPENING. REF SHEET A400 FOR TYPE AND DETAILS.
- 2 SLIDER DOOR TO REMAIN.
- 3 BALCONY RAILING LOCATION. INSTALL NEW RAILING IN SET FROM EXISTING RAILING PRIOR TO EXISTING RAILING REMOVAL. RE: SHEET A201 FOR PROFILE/DETAILS; FIELD MEASURE FOR PROPER LENGTHS REQUIRED
- 4 NOT USED.
- 5 NOT USED
- 6 NOT USED.
- 7 REPLACE INTERIOR DRYWALL AS REQUIRED BASED ON DEMOLITION AND INSPECTION. REF EST2 REPORT FOR DETAILS.
- 8 NEW STUCCO PILASTER DETAIL. STARTING AT LEVEL 3. REF 6/A 200 FOR DETAILS, AND NEW WORK ELEVATIONS FOR EXTENTS.
- 9 NOT USED.
- 10 NOT USED.

Legend

- CJ Existing Control Joint
- S — New Stucco Wall System Extents
- Existing Wall Assembly
- - - Overhead Wall

ARCHITECT:



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Oceanwalk Villas
EXTERIOR REPAIR
Hilton Head Island, SC

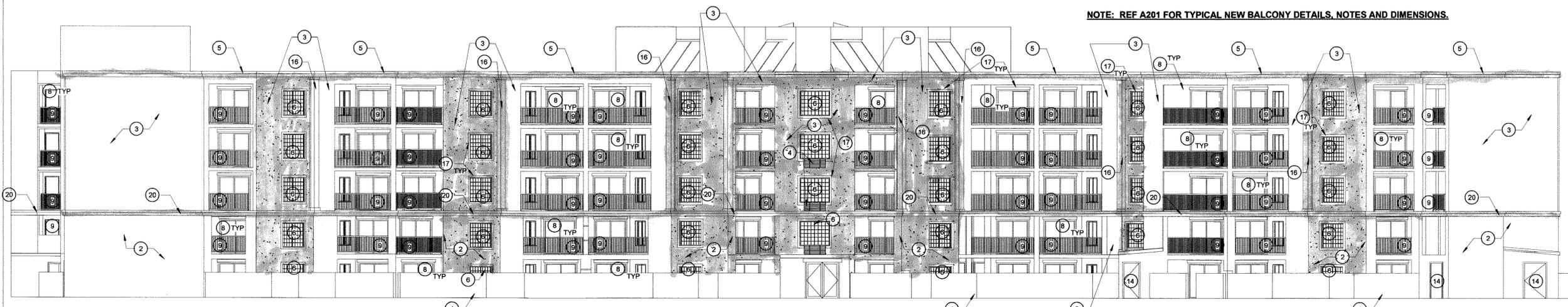
REGISTERED SEAL

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6	02/8/2011	Scope limits with Phasing

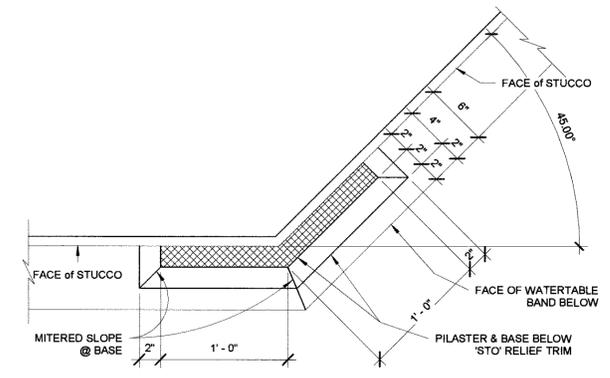
PROJECT #: 0733-2011
PROJECT MANAGER: Approver
DRAWN BY: Checker

Level 2-5 Typ.
Plan
A102

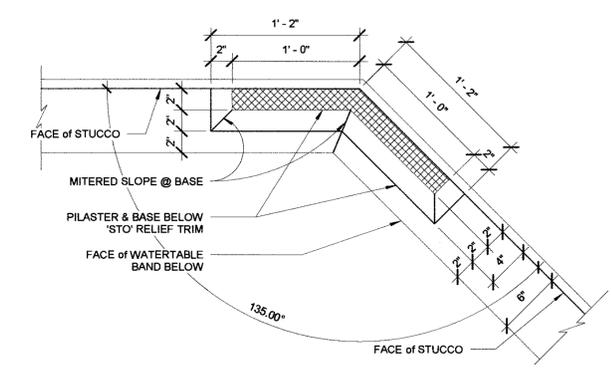


1 WEST ELEVATION (FRONT)
3/32" = 1'-0"

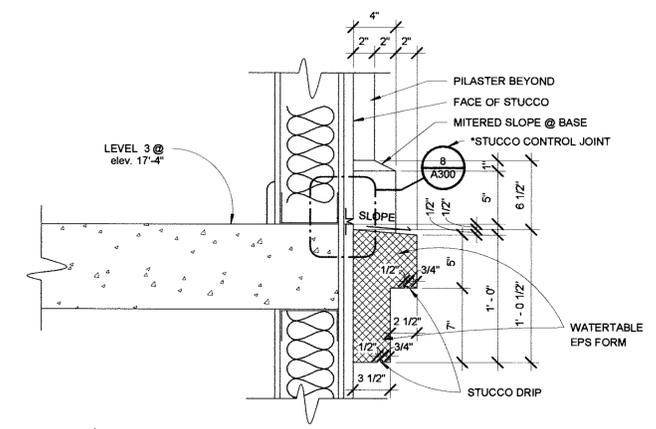
- FINISH KEY:**
- PT-1: BENJAMIN MOORE, HC-146 WEDGEWOOD GRAY @ 125%
 - PT-2: BENJAMIN MOORE, 2111-40 TAOS TAUPE
 - PT-3: BENJAMIN MOORE, HC-173 EDGEComb GRAY
 - PT-4: NOT USED
 - PT-5: BENJAMIN MOORE, 2125-20 DEEP SPACE



4 'Outside' Corner Pilaster Plan Detail
1 1/2" = 1'-0" (Front Elevation Only)

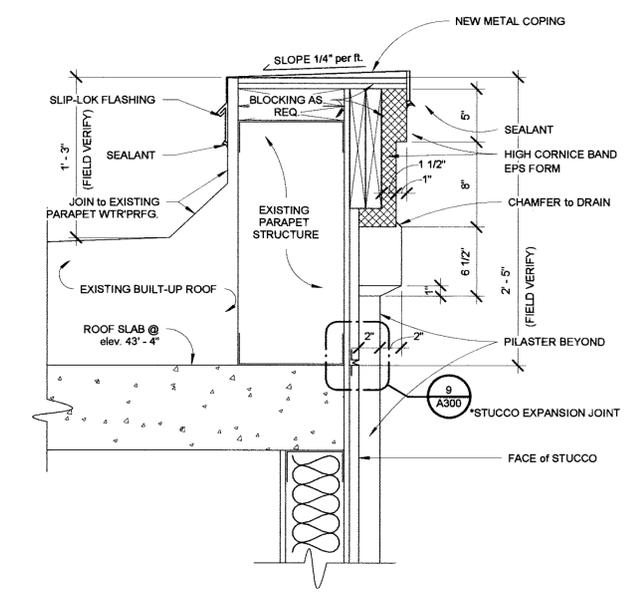


3 'Inside' Corner Pilaster Plan Detail
1 1/2" = 1'-0" (Front Elevation Only)

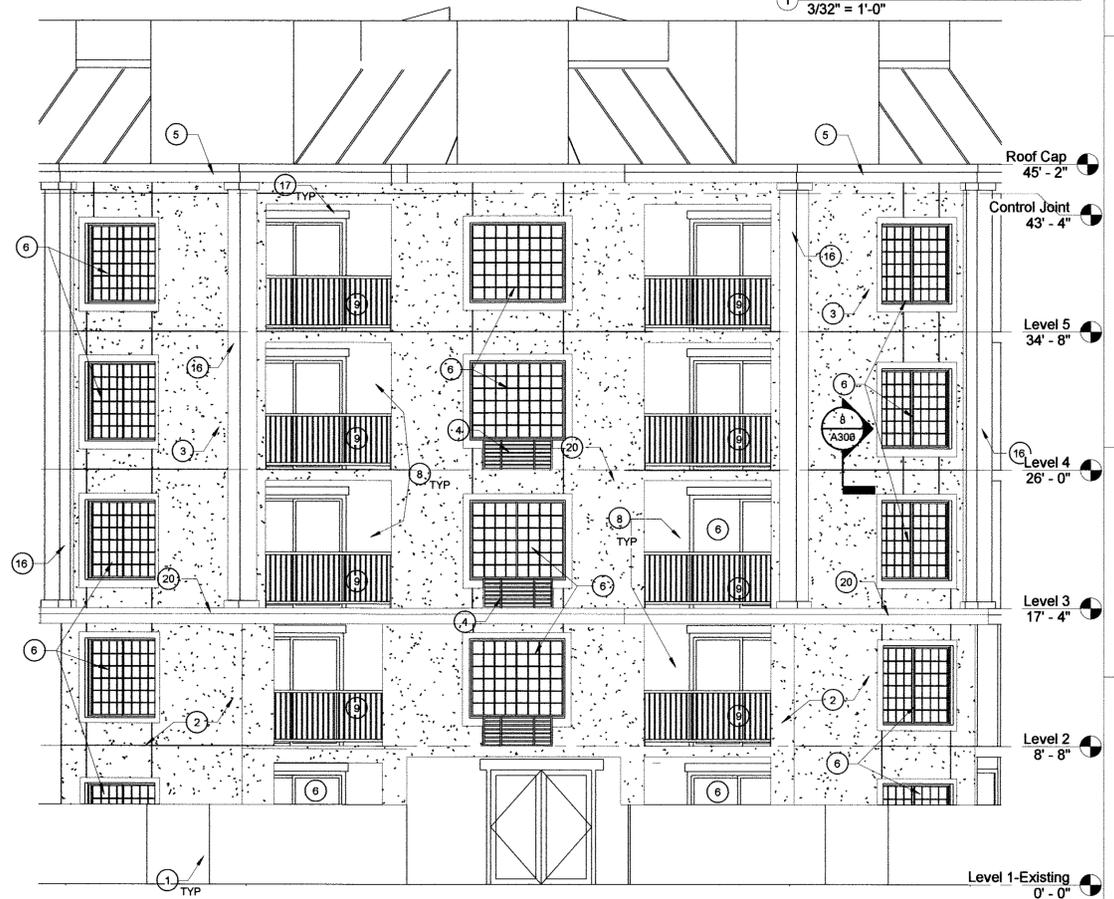


6 Base of Pilaster & Watertable Detail
1 1/2" = 1'-0"

NOTE: WATERTABLE TRIM COLOR TO BE PT-5 (BEN MOORE 2125-20); SEE ELEVATIONS



5 Top of Pilaster & High Cornice Detail
1 1/2" = 1'-0"



2 ENTRANCE BAY ELEVATION
3/16" = 1'-0"

KEYNOTES:

- 1 EXISTING STUCCO FINISH TO REMAIN ON LOW WALL
- 2 NEW PAINT COLOR OVER EXISTING AND NEW STUCCO SYSTEM AT LEVELS 1-2 (NEW STUCCO AREAS INDICATED BY SHADING) COLOR = BEN MOORE 2111-40 TAOS TAUPE (PT-2). REF GENERAL SPECS FOR NEW STUCCO SYSTEM DETAILS.
- 3 NEW PAINT COLOR OVER EXISTING AND NEW STUCCO SYSTEM AT LEVELS 3-5 (NEW STUCCO AREAS INDICATED BY SHADING) COLOR = BEN MOORE HC-146 WEDGEWOOD GRAY-125%(PT-1). REF GENERAL SPECS FOR NEW STUCCO SYSTEM DETAILS.
- 4 REPLACE P.T.A.C. HOUSINGS WITH NEW METAL WALL SLEEVE IF REQUIRED, AND NEW ALUMINUM LOUVERED COVER SIMILAR TO AMANA AGK SPECIFICATION.
- 5 NEW HIGH CORNICE DETAIL, REF 3/A301 FOR DETAIL. RELIEF TRIM IN BENJAMIN MOORE 2125-20 DEEP SPACE (PT-5).
- 6 NEW WINDOW ASSEMBLY, REF SHEET A400 FOR TYPE AND DETAILS.
- 7 NEW STUCCO TRIM SURROUND, RE: SHT A-400 FOR LOCATIONS.
- 8 EXTERIOR RECESSED BALCONY AREAS TO NEW PAINT FINISH OVER EXISTING STUCCO COLOR TO BE BENJAMIN MOORE HC-173 (EGDECOMB GRAY) AT LOWER LEVELS 1-2 UPPER LEVELS TO BE PT-1 WEDGEWOOD GRAY -125%
- 9 NEW METAL RAILING AS SPECIFIED AND DETAILED. SEE SHEET A201.
- 10 NOT USED.
- 11 NOT USED.
- 12 NOT USED.
- 13 NOT USED.
- 14 STRIP AND REPAINT EXISTING EXTERIOR DOORS (PT-2).
- 15 NOT USED.
- 16 NEW STUCCO PILASTER DETAIL (SAHARA TEXTURE FINISH). REF THIS SHEET FOR DETAILS. REF A102 FOR LOCATIONS. COLOR: BENJAMIN MOORE HC-173 EDGEComb GRAY (PT-3).
- 17 NEW STUCCO TRIM. COLOR TO BE (PT-5); BEN MOORE 2125-20 "DEEP SPACE"
- 18 NOT USED.
- 19 NOT USED.
- 20 NEW WATERTABLE DETAIL. REF DETAIL 6 THIS SHEET. STUCCO TRIM COLOR: BENJAMIN MOORE 2125-20 "DEEP SPACE" (PT-5).

NOTE: REF A201 FOR TYPICAL NEW BALCONY DETAILS, NOTES AND DIMENSIONS.



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Oceanwalk Villas
EXTERIOR REPAIR
Hilton Head Island, SC

REGISTERED SEAL

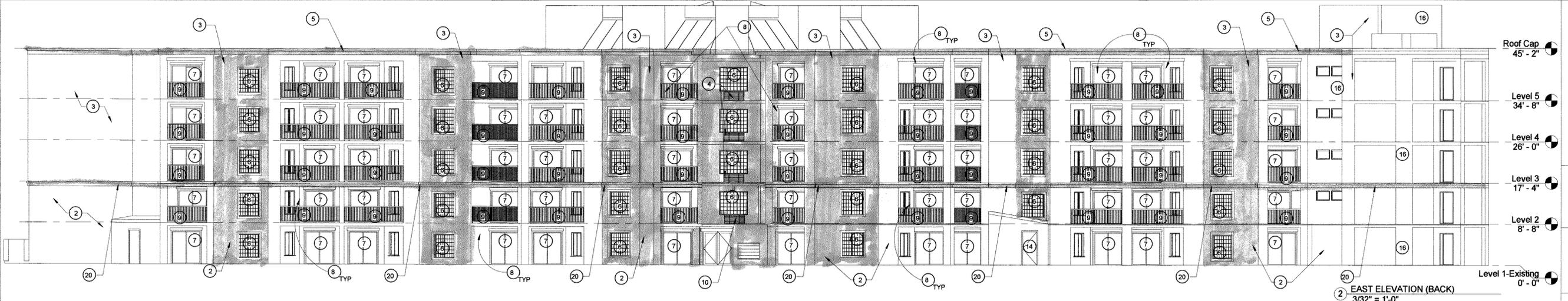
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ISSUE	DATE	DESCRIPTION
1	01/29/2008	Schematic Development
2	04/28/2008	Bid Set
3	06/23/2008	For Permit
4	11/23/2009	Repair Revisions
5	07/19/2010	Repair Rev. Pricing Set
6	02/08/2011	Scope limits with Phasing

PROJECT #: 0733-2011
PROJECT MANAGER: JL
DRAWN BY: ARJ

West Elevation & Dtls
A200

2/14/2011 3:47:45 AM
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Roof Cap
45' - 2"

Level 5
34' - 8"

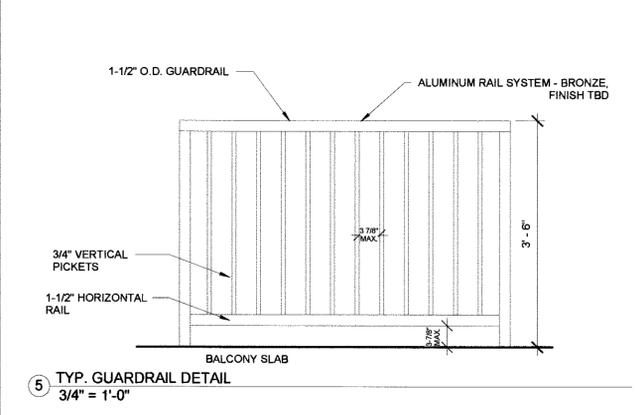
Level 4
26' - 0"

Level 3
17' - 4"

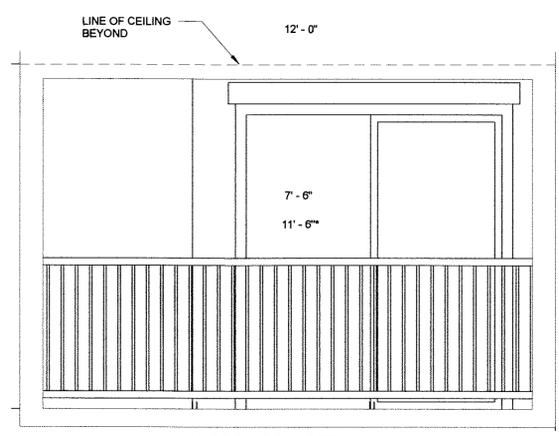
Level 2
8' - 8"

Level 1-Existing
0' - 0"

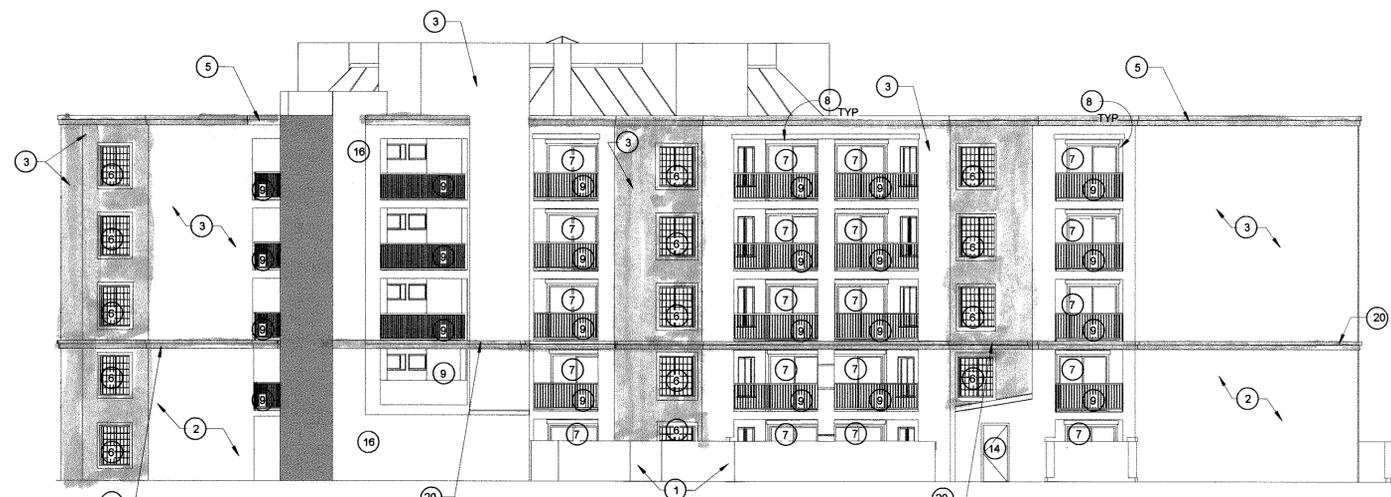
2 EAST ELEVATION (BACK)
3/32" = 1'-0"



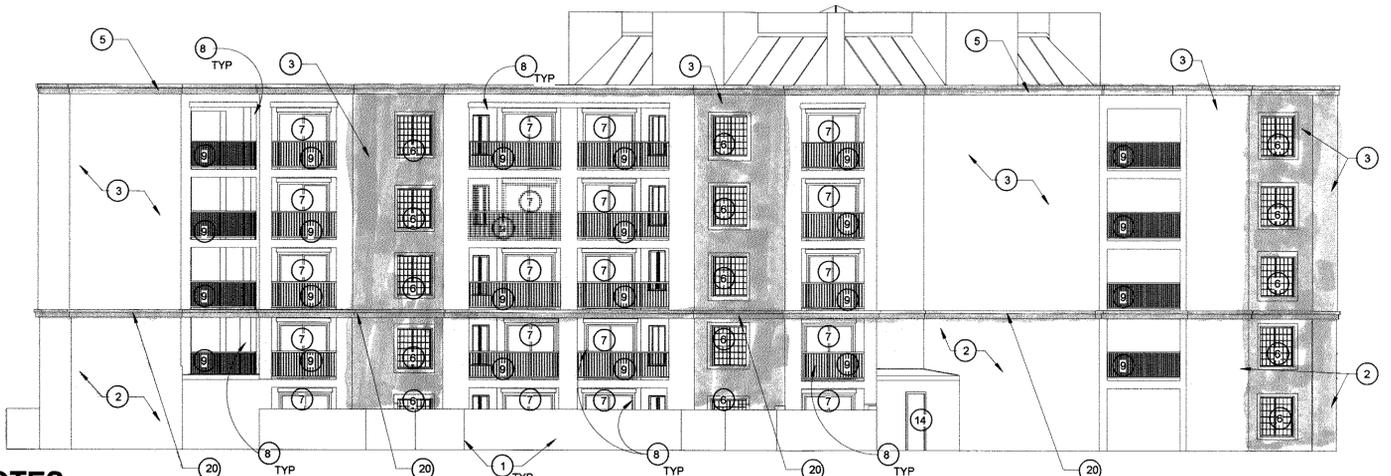
5 TYP. GUARDRAIL DETAIL
3/4" = 1'-0"



4 WIDE BALCONY DETAIL
1/2" = 1'-0"



1 NORTH ELEVATION (SIDE)
3/32" = 1'-0"



3 SOUTH ELEVATION (SIDE)
3/32" = 1'-0"

KEYNOTES:

- 1 EXISTING STUCCO FINISH COLOR TO REMAIN ON LOW WALL.
- 2 NEW PAINT COLOR OVER EXISTING AND NEW STUCCO SYSTEM AT LEVELS 1-2 (NEW STUCCO AREAS INDICATED BY SHADING) COLOR = BEN MOORE 2111-40 TAOS TAUPE (PT-2). REF SPECS FOR NEW STUCCO 3-COAT SYSTEM
- 3 NEW PAINT COLOR OVER EXISTING AND NEW STUCCO SYSTEM AT LEVELS 3-5 (NEW STUCCO AREAS INDICATED BY SHADING) COLOR = BEN MOORE HC-146 WEDGEWOOD GRAY-125%(PT-1). REF SPECS FOR NEW STUCCO 3-COAT SYSTEM.
- 4 REPLACE P.T.A.C. HOUSINGS WITH NEW METAL WALL SLEEVE IF REQUIRED, AND NEW ALUMINUM LOUVERED COVER SIMILAR TO AMANA AGK SPECIFICATION
- 5 NEW HIGH CORNICE DETAIL AND CAP FLASHING, REF 5/A200 FOR DETAIL. RELIEF TRIM IN BENJAMIN MOORE 2125-20 DEEP SPACE (PT-5)
- 6 NEW WINDOW, REF SHEET A400 FOR TYPES AND DETAILS.
- 7 EXIST. SLIDER DOOR TO REMAIN.
- 8 EXTERIOR RECESSED BALCONY AREAS TO RECEIVE NEW PAINT FINISH OVER EXISTING STUCCO. COLOR TO BEN MOORE HC-173 EDGEComb GRAY) AT LOWER LEVELS 1-2, UPPER LEVELS TO RECEIVE PT-1 (WEDGEWOOD GRAY-125%.
- 9 NEW METAL GUARDRAILING SEE THIS SHEET FOR DETAILS & SPECS
- 10 NOT USED.
- 11 NOT USED.
- 12 NOT USED.
- 13 NOT USED.
- 14 STRIP AND REPAINT EXISTING EXTERIOR DOORS (PT-2).
- 15 NOT USED
- 16 NOT USED
- 17 NEW STUCCO TRIM.
- 18 NOT USED.
- 19 NOT USED.
- 20 NEW WATERTABLE DETAIL. REF 6/A200 FOR DETAIL. STUCCO TRIM COLOR: BEN MOORE 2125-20 DEEP SPACE (PT-5).

FINISH KEY:

PT-1: BENJAMIN MOORE, HC-146 WEDGEWOOD GRAY @ 125%

PT-2: BENJAMIN MOORE, 2111-40 TAOS TAUPE

PT-3: BENJAMIN MOORE, HC-173 EDGEComb GRAY

PT-4: NOT USED

PT-5: BENJAMIN MOORE, 2125-20 DEEP SPACE



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Oceanwalk
Villas
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PROJECT #: 0733-2011
PROJECT MANAGER: DLO
DRAWN BY: ARJ, JAA

East Elev. & Dtls

A201



O C E A N W A L K V I L L A S



- | | | | |
|--|--------------------|---|---------------|
| | 75% WEDGEWOOD GRAY | } | STUCCO LEGEND |
| | DEEP SPACE | | |
| | TAOS TAUPE | | |
| | EDGELOMB GRAY | | |

12.01.09

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Ocean Walk Villas Phasing Plan DRB# DR070089

DATE 2-22-11 RECOMMEND APPROVE RECOMMEND APPROVE W/COND. RECOMMEND DENY

ARCHITECTURAL DESIGN

A further attempt to move forward with the improvements originally approved. Windows are replaced outside of the balcony areas, and stucco is repaired and replaced to logical existing control joints. Details and color scheme are in keeping with the original approval

Contemplates phasing each side of the building over a three year period. Given the aggressive change in the color palette, and the historical value-engineering of the project, there is the potential for only partial completion. Even on the proposed schedule, there will be a noticeable disconnect between completed and future phases for an extended period of time

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and		

appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		

LANDSCAPE DESIGN		
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DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into		

account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments on this project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS

FLATBREAD GRILL
BEACH MARKET CENTER
2 NORTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928

This project consists of the installation of an overhead awning to the existing eve structure on the southern elevation of the facility. The black canvas will match the window awnings in the plaza elevation previously approved. The purpose of the awning is to provide covered outside dining over an existing deck. The awning will provide a much cleaner area to eat as well as providing architectural interest to this exposure. We are requesting the removal of the existing pine tree which is five feet from the building and over time has grown over the roof with overhanging limbs which have caused damage in the past(photo attached of existing limbs).

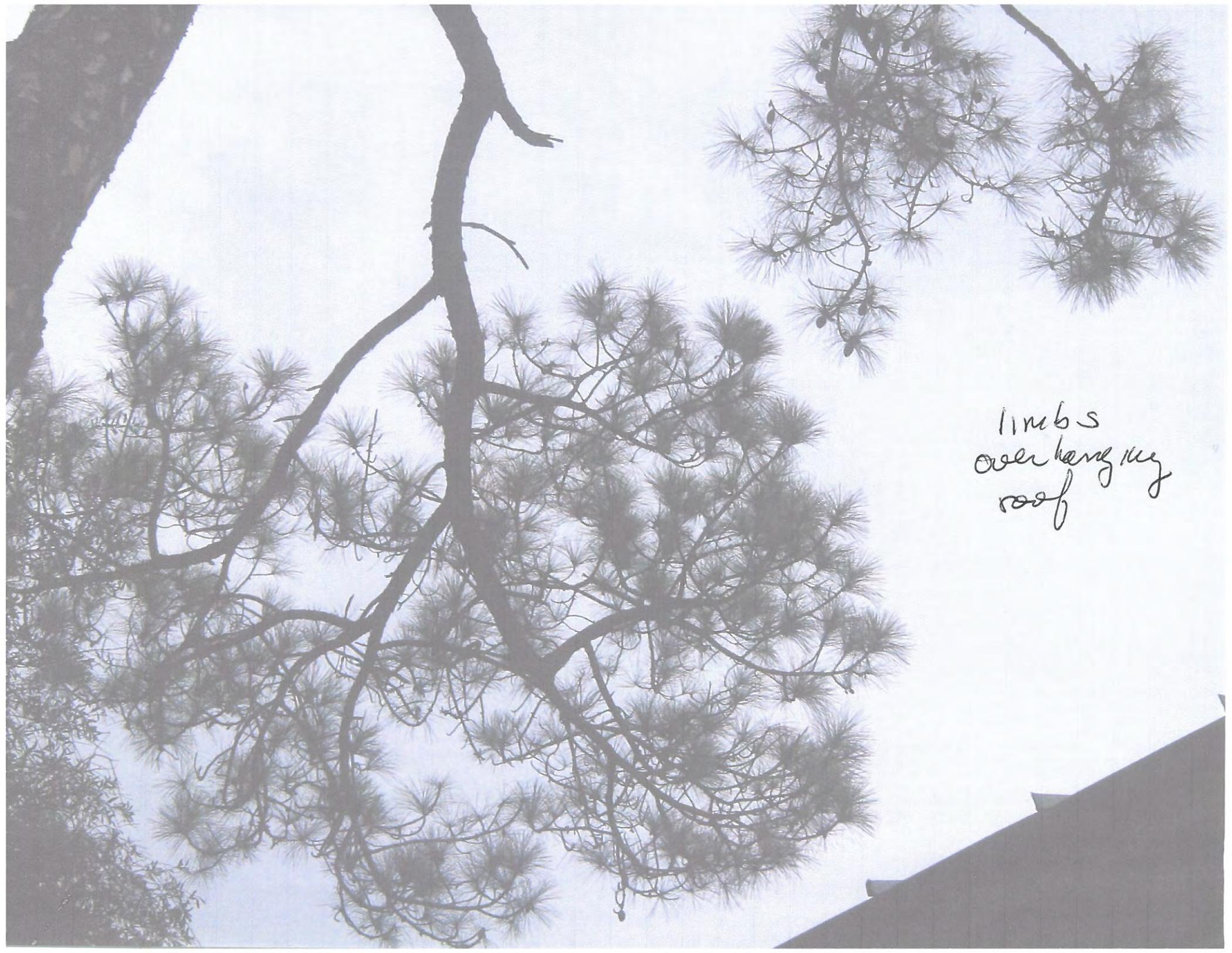
It is our opinion that this addition will enhance the look of the existing structure providing an appeal to those considering shopping and dining in our center. Thank you for your consideration.

*View
Story
Walkway*



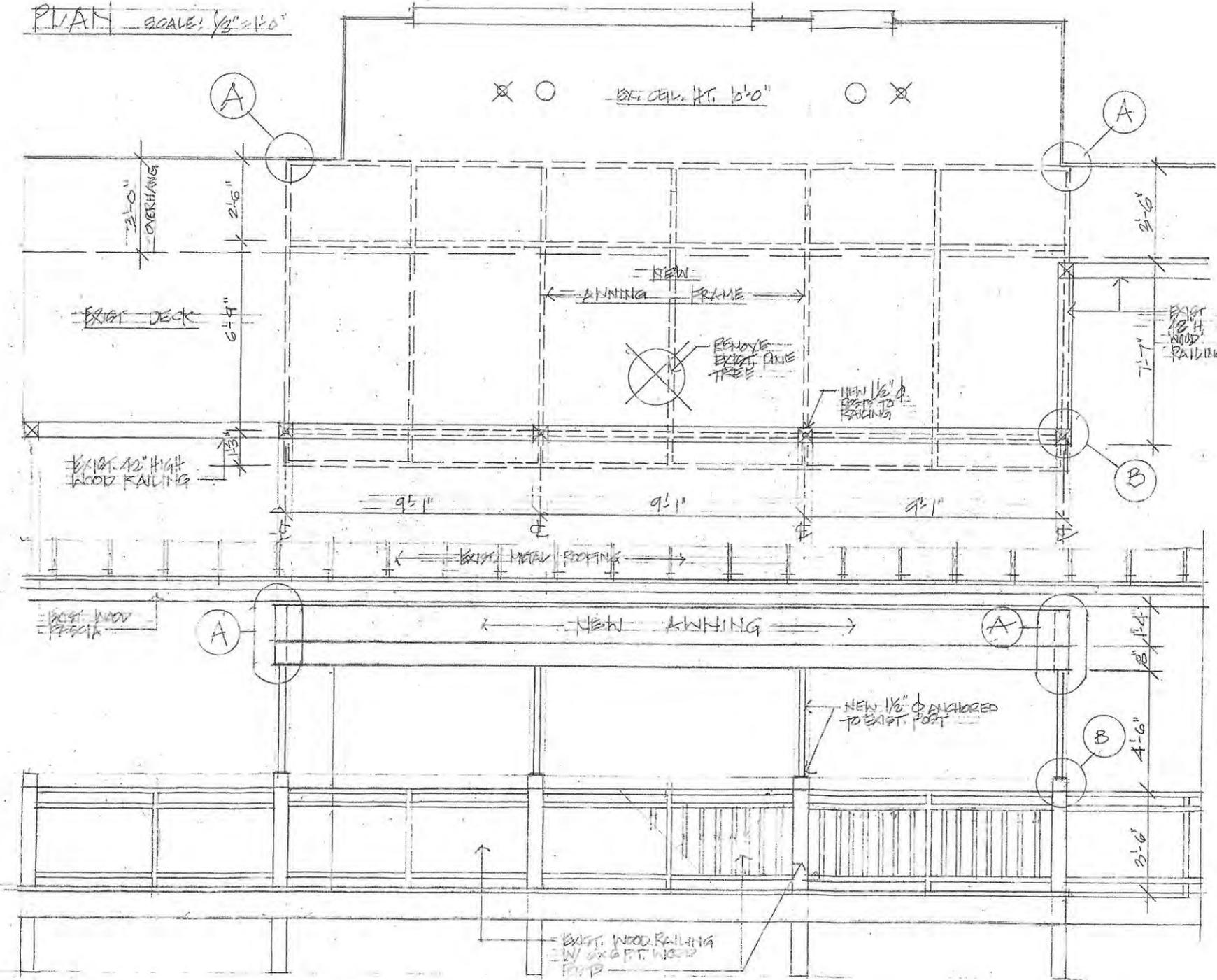
View to
Street



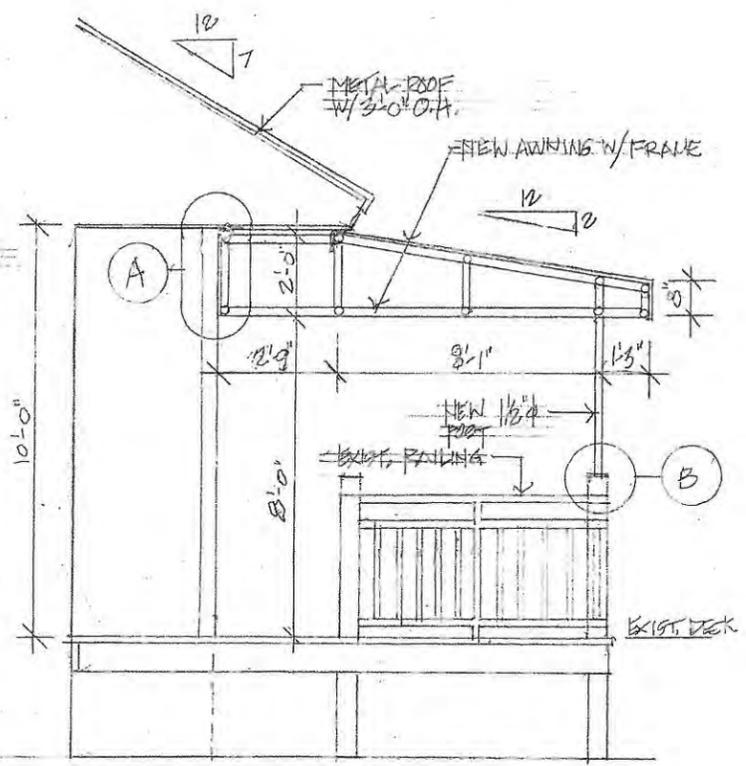


limbs
overhanging
roof

PLAN SCALE: 1/8" = 1'-0"

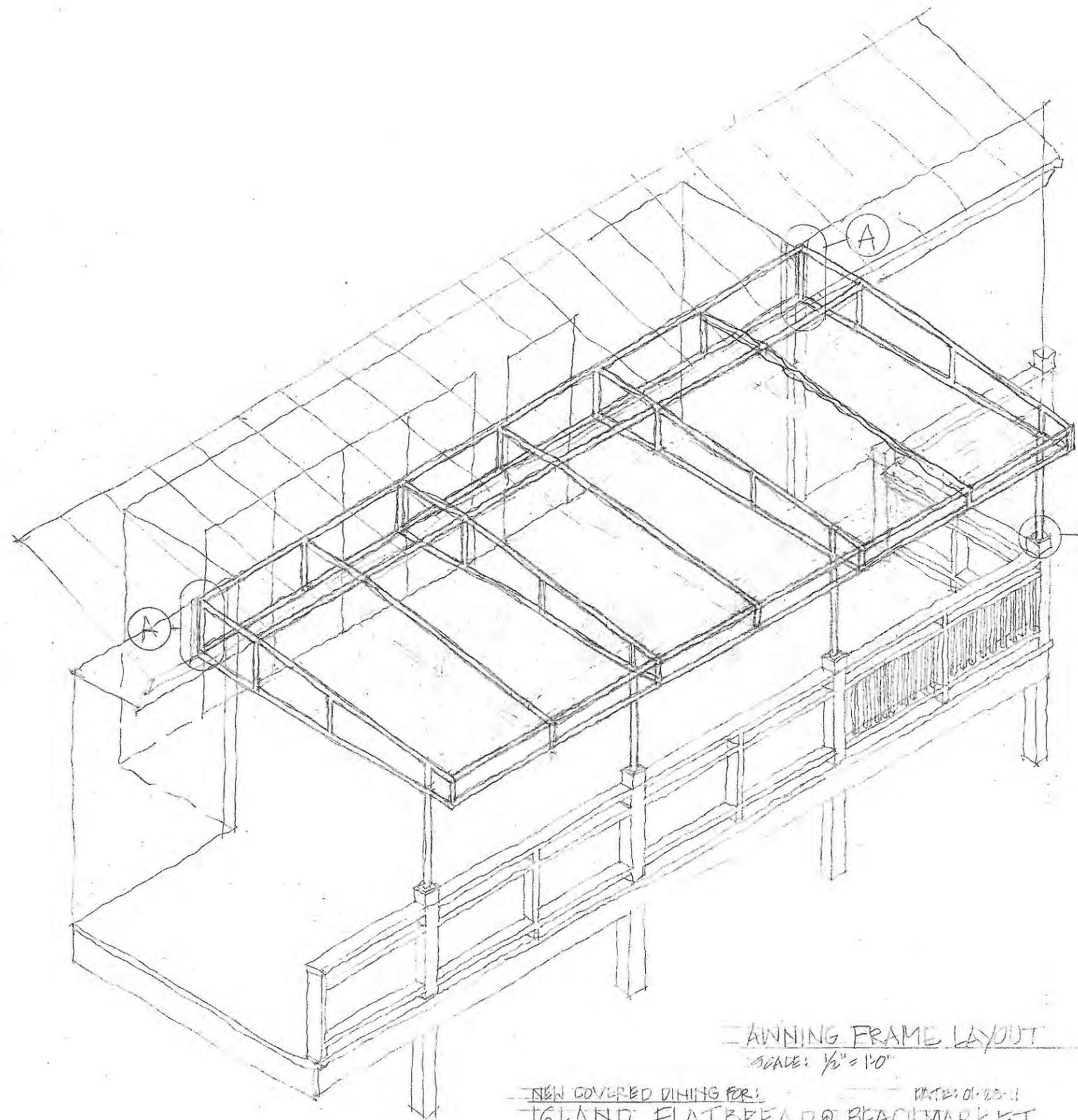


ELEVATION SCALE: 1/8" = 1'-0"



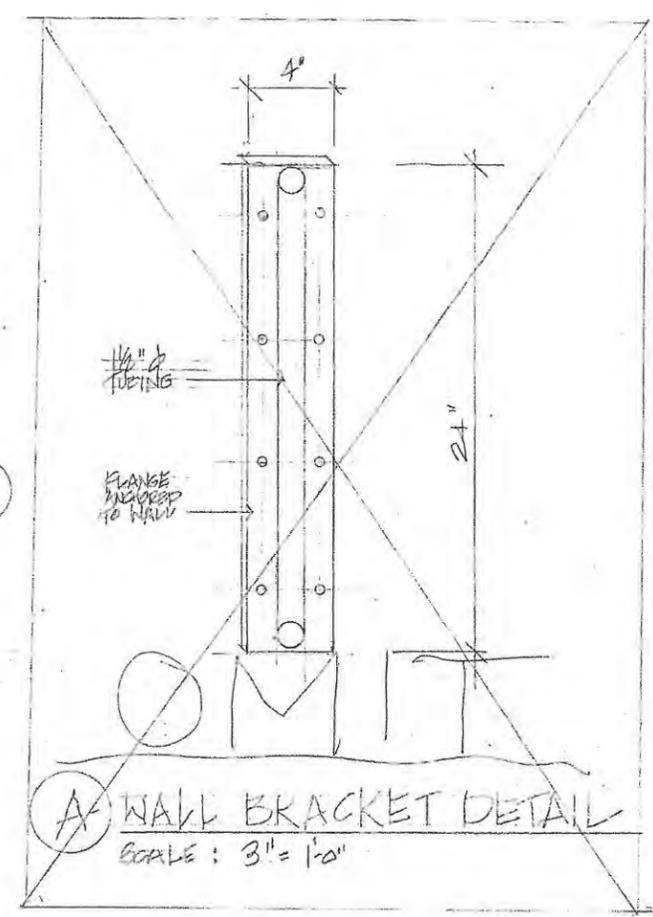
SECTION SCALE: 1/8" = 1'-0"

NEW COVERED OUTDOOR DINING FOR: DATE: 01.28.11
 ISLAND FLATEREAD-BEACH MARKET
 WILLIAM VITTO/ARCHITECT 843.683.2595

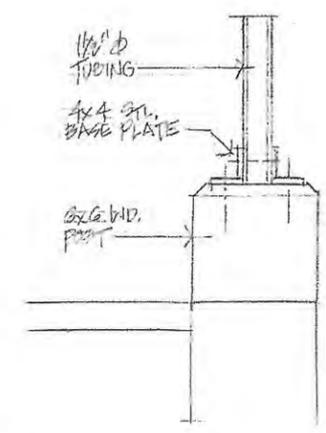


AWNING FRAME LAYOUT
SCALE: 1/2" = 1'-0"

NEW COVERED DINING FOR:
ISLAND FLATBREAD @ BEACH MARKET
WILLIAM VITTO/ARCHITECT 848-688-2595 DATE: 01.25.11



A WALL BRACKET DETAIL
SCALE: 3/8" = 1'-0"



B BASE PLATE DETAIL
SCALE: 3/8" = 1'-0"

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT DRB#

DATE RECOMMEND APPROVE RECOMMEND APPROVE W/COND. RECOMMEND DENY

ARCHITECTURAL DESIGN

All details and finishes to match earlier approved awning (applicant still needs to submit drawings to Building Department for awnings at courtyard entry). Ends of awning will need to receive canvas to obscure tubing. Aluminum finish needs to be specified by applicant.

The addition will add function and life to an unused side of the building adjoining a public park. Issues regarding the tree are to be resolved with the Natural Resources Department, although the awnings flexible nature would allow applicant to build around the tree.

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Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants	No	Pine requested for removal will require a separate approval from Natural Resources.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: TRUITT KABUN Company: TRUITT KABUN ASSOCIATES
 Mailing Address: P.O. BOX 23229 City: HILTON HEAD ISLAND, SC Zip: 29925
 Telephone: 342-7777 Fax: 342-7701 E-mail: trabun@trabunassociates.com
 Project Name: BROAD CREEK MARINA Project Address: 18 SIMMONS ROAD, HILTON HEAD ISLAND, SC
 Parcel Number [PIN]: R ECO TOURISM PARK ZIP LINE
 Zoning District: WMI Overlay District(s): COK

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- N/A Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11”x 17”.
- _____ Material/color samples of existing and proposed changes - 8 ½”X 14” *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

02/15/11

DATE

THE TOWN OF HILTON HEAD ISLAND

DESIGN REVIEW BOARD

2011 REGULAR MEETING SCHEDULE

DRB Powers and Duties	Application Procedure	
<p>The Design Review Board has the following powers:</p> <p>A. To review development within the Corridor Overlay District;</p> <p>B. To review applications for sign permits throughout the community;</p> <p>C. To periodically review and recommend for adoption such amendments to the Land Management Ordinance as it may deem appropriate.</p>	<p>General applications must be completed and submitted not later than 12:00pm 14 days prior to the meeting date at which the application will be reviewed. New Development applications must be completed and submitted not later than 12:00pm 21 days prior to the meeting date at which the application will be reviewed.</p> <p>An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum requirements for acceptance. Application Check-In Conferences must be scheduled by appointment with the Community Development Department staff.</p>	
DRB MEETING DATE:	DEADLINE FOR GENERAL APPLICATIONS	DEADLINE FOR NEW DEVELOPMENT APPLICATIONS
January 11, 2011	December 28, 2010	December 21, 2010
January 25, 2011	January 11, 2011	January 4, 2011
February 8, 2011	January 25, 2011	January 18, 2011
February 22, 2011	February 8, 2011	February 1, 2011
March 8, 2011	February 22, 2011	February 15, 2011
March 22, 2011	March 8, 2011	March 1, 2011
April 12, 2011	March 29, 2011	March 22, 2011
April 26, 2011	April 12, 2011	April 5, 2011
May 10, 2011	April 26, 2011	April 19, 2011
May 24, 2011	May 10, 2011	May 3, 2011
June 14, 2011	May 31, 2011	May 24, 2011
June 28, 2011	June 14, 2011	June 7, 2011
July 12, 2011	June 28, 2011	June 21, 2011
July 26, 2011	July 12, 2011	July 5, 2011
August 9, 2011	July 26, 2011	July 19, 2011
August 23, 2011	August 9, 2011	August 2, 2011
September 13, 2011	August 30, 2011	August 23, 2011
September 27, 2011	September 13, 2011	September 6, 2011
October 11, 2011	September 27, 2011	September 20, 2011
October 25, 2011	October 11, 2011	October 4, 2011
November 8, 2011	October 25, 2011	October 18, 2011
November 22, 2011	November 8, 2011	November 1, 2011
* December 13, 2011	November 29, 2011	November 22, 2011
<p>* <i>December has only one meeting due to the Holidays</i> All meetings are held in Council Chambers at 1:15pm on the second & fourth Tuesdays of each month.</p>		

**BROAD CREEK MARINA
ECO TOURISM PARK ZIP LINE CANOPY TOUR
DRB NARRATIVE
February 15, 2011**

Applicant: Broad Creek Marina of Hilton Head, LLC

Site Location: 15.4 +/- Acres, 18 Simmons Road, Hilton Head Island, SC

PINs:

- R510 011 000 007F 0000 - 6.53 Acre Broad Creek Marina Site
- R510 011 000 0006 0000 - 3.85 Acre Broad Creek Marina Village Lots
- R510 011 000 0183 0000 - 1.72 Acre Broad Creek Marina Village Parking Easement & R/W
- R510 011 000 0379 0000 - 2.38 Acre Broad Creek Marina Village Open Space 1
- R510 011 000 0380 0000 - 0.51 Acre Broad Creek Marina Village Open Space 2
- R510 011 000 0381 0000 - 0.04 Acre Broad Creek Marina Village Open Space 3
- R510 011 000 0382 0000 - 0.10 Acre Broad Creek Marina Village Lot 1
- R510 011 000 0383 0000 - 0.10 Acre Broad Creek Marina Village Lot 2
- R510 011 000 0384 0000 - 0.10 Acre Broad Creek Marina Village Lot 3

Note: PINs total 15.33 Acres

Zoning: Waterfront Mixed-Use (WMU) / Corridor Overlay District (COR)

Agent for the Applicant: Truitt Rabun / Truitt Rabun Associates, Inc.

Background:

Broad Creek Eco-Tourism Park is conceived to create a low impact waterfront park, offering several of the world's most popular adventure and recreational activities that are not on HHI at this time. This is an expansion of the existing waterfront mixed-use activities at Broad Creek Marina and capitalizes on the natural beauty of the area while offering eco-friendly, family-friendly and team-building appeal.

A zip line canopy tour is planned for the initial adventure activity at the Eco-Tourism Park. Zip line canopy tours are extremely popular around the world and are now at resorts in Maui, Costa Rica, Utah's Olympic Park/Park City, Golden Gate Bridge, and Heavenly, CA/Tahoe among hundreds of others. In the Southeast, successful zip lines can be found in the Blue Ridge Mountains, the U.S. Olympic training center/Charlotte and in the Atlanta area.

This adventure is designed for a participant to enjoy the aerial beauty of the site's trees and views of the Broad Creek beyond, as well as the thrill of the experience. The participant is attached by harness to a pulley and propelled by gravity to traverse from the top to the bottom of various tower stations on a suspended cable.

The zip line will share the existing Calibogue Cruises and kayak tour ticketing/storage building for its ticketing and storage needs. The cruises and kayak tours will remain in operation. If there is proven success with the zip line, then the potential for other activities increases, including activities such as an outdoor dining and entertainment pavilion, a ropes course, bungee jump, climbing wall and new ticketing/storage facilities.

The DPR Pre-Application Submittal for the “Broad Creek Marina Eco Tourism Park” (dated December 22, 2010) outlined the above facilities, however, at the time of the pre-application the project was proposed as a phased submittal. At this point in time, the DPR submittal is for the zip line only. Separate DBR and DPR submittals will be made for future facilities based on the success of the zip line. The Applicant’s goal is to secure zip line DRB and DPR approvals in time to construct the zip line before the beginning of the 2011 tourist season.

The Broad Creek Eco Tourism Park encompasses the unsold portion of adjacent Broad Creek Marina Village residential subdivision property. Lots 1, 2 and 3 on the right side of the entry are the only properties that have been sold. The owners of these lots have given the Applicant permission to change the POA to allow any type of commercial development.

While Broad Creek Marina Village will be utilized for a portion of the Eco Tourism Park, the Applicant requests the underlying subdivision plat and future use remain in-place in case the site is converted back to residential subdivision use in the future. In the meantime, since the Broad Creek Marina Village and Broad creek Marina properties will be treated as one property, it is the Applicant’s understanding that the adjacent use buffers and setbacks between the Village and Marina properties will not be in effect. Should the Broad Creek Marina Village property be converted back to a residential subdivision, the adjacent use buffers and setbacks will go back into effect.

After the DPR Pre-Application review meeting (January 3, 2011), Town staff confirmed that the proposed adventure facilities, including the zip line, will be in the Outdoor Recreation use category and that the LMO does not permit Outdoor Recreation as a use in the Waterfront Mixed-Use (WMU) district. While outdoor recreation uses of the type proposed for the Eco Tourism Park would be considered acceptable, other outdoor recreational uses such as put-put courses and go-cart tracks are definitely not acceptable. At present, Town staff is preparing an LMO text amendment for adoption by Town Council that would allow Outdoor Recreation as a Conditional Use, with uses such as those proposed for the Eco Tourism Park allowed in WMU. Therefore, DBR and DPR approvals are subject to the Town’s adoption of the proposed LMO text amendment.

The Applicant:

Broad Creek Marina of Hilton Head, LLC is owned by Roger M. Freedman. Mr. Freedman has owned the Broad Creek Marina complex for almost 20 years. He previously was CEO of a major communications company, launching cable TV in Poland and built a group of FOX television and radio stations domestically. His career has encompassed numerous industries including real estate, leisure, banking, communications and biotechnology. He has served on numerous boards including Advest Group, Inc. (NYSE); First National Bank Corp.; and First Bank of New Haven. Mr. Freedman has had diverse entrepreneurial interests throughout his career. In 2004, Freedman started redevelopment of the Broad Creek Marina complex, rebuilding the Marina and developing the adjacent Broad Creek Village residential subdivision.

Zip Line Canopy Tour:

On January 24, 2011, after the DPR Pre-Application review meeting, the Applicant, the Applicant’s land planner, certified arborist, engineer and land surveyor met on-site with Town staff members to preliminarily site the zip line route. Towers were located in the field, their locations surveyed and included on the Conceptual Site Plan submitted herein.

The zip line design and final approval calls for:

- Careful placement of eight (8) zip line towers (labeled A through H) to minimize impact to the forest’s trees and the tree canopy with minimal tree removal and careful pruning of limbs as preliminarily determined in the field January 24
- Zip line tour route starting and culminating at Tower A.
- 1, 2 and 3 pole towers ranging from thirty feet (30’) to seventy-five (75’) in height.
- Towers consisting of treated utility poles to support the zip line, with the zip line accessed by a treated timber structure of stair-steps and landings. The support poles will be guyed. The treated utility poles and timber step/platform structures will be unpainted and left to weather naturally, blending into the surrounding forests.
- Tower designs submitted for DPR approval will be certified by a SC licensed structural engineer according to Town requirements.
- All tree removal and limb pruning will be under the supervision of a Town approved certified arborist and all work will be Town staff reviewed and approved on-site during construction.
- The DPR plans will indicate the limits of land disturbance, including the access ways for construction machinery to access the tower sites.

Now that the tower locations are located on the Conceptual Site Plan as determined January 24, the Applicant’s land planner and certified arborist will meet on-site with Town staff to make final adjustments to tower locations, tree removal, construction access ways and limits of land disturbance for Site Plans submitted for DPR approval.

Parking:

The attached Parking Calculations indicate the Broad Creek Marina’s existing parking spaces will accommodate the existing uses and the proposed zip line tour. The Applicant will delay construction of the previously approved and not yet built Building #2 dry stack storage (98 boats) (DPR 040030) as long as parking is required for the Eco Tourism Park activities or additional parking is provided.

In summary:

139	Existing Broad Creek Marina Parking Spaces
- 4	<u>Spaces to be Removed</u>
135	Net Spaces Provided
128	<u>Spaces Required Daytime Peak</u>
7	Excess Spaces (5% of Net Total Spaces)

Landscape Character:

The Eco Tourism Park landscape will be unstructured and natural reflecting the informal character of the marina and the natural forests. Shaded areas and areas under tree canopies that are disturbed during construction will be mulched with shredded native tree bark and left to be covered with natural leaf litter over time. Areas subject to bright sun will be repaired with coastal Bermudagrass to control erosion and left to naturalize over time. Marsh buffers will be clearly delineated with interpretive signage and protected

from intrusion. Selective pruning of buffer understory in more heavily used areas to open views to Broad Creek will be coordinated with Town staff.

The zip line tour will start and culminate at Tower A, across from the existing Up the Creek Pub. Four parking spaces will be removed to increase the available space at the base of the tower. The marsh buffer adjacent the tower will be clearly delineated with interpretive signage and protected. The site's existing picnic benches will be used to accommodate waiting zip line tour participants. The concept is to change as little as possible while providing for the zip line tour facilities.

No irrigation or additional site lighting is proposed. If in the future the zip line is opened for nighttime tours, the Applicant will come back to the Town for approval of additional site lighting, most likely at the bases of Towers A, F and G.

DRB Site Survey:

The Site Analysis and Conceptual Site Plan are prepared on a modified version of a site survey prepared by Andrews & Burgess, Inc. (A&B) in 2007. In the past three weeks A&B has completed the field work to update the OCRM critical line, the tree survey (tree species and sizes), and topographic information, and is in the process of completing and proofing the final survey revisions and obtaining OCRM approval of the critical line update. The DPR application will be based on the updated survey with OCRM approval of the updated critical line. In the meantime, for this DRB submittal, A&B has provided Truitt Rabun Associates (TRA) the updated critical line for incorporation in the site base sheets. In addition, TRA has field measured the tree canopies and corrected tree species and sizes for trees in close proximity to the zip line facilities, and has designated specimen trees per the LMO for the base sheets on which the enclosed Site Analysis and Conceptual Site Plan are based.

Enclosures:

- DPR Pre-Application Submittal Form
- DRB Narrative (February 15, 2011)
- Parking Calculations (February 15, 2011)
- Context Photographs (February 15, 2011)
- Conceptual Plans - Broad Creek Marina, Eco-Tourism Park Zip Line Tour (February 15, 2011)
 - Site Analysis (Sheet 1 of 4)
 - Conceptual Site Plan (Sheet 2 of 4)
 - Conceptual Site Plan (Sheet 3 of 4)
 - Conceptual Details (Sheet 4 of 4)
- Application Fee Check # 2934 for \$175

For additional copies or other information, please contact:

Truitt Rabun
Truitt Rabun Associates
P 843.342.7777
F 843.342.7701
C 843.384.2270
trabun@trabunassociates.com

N:\Padmin\70278\70278-07\DRB\021511 Conceptual Submittal\021511 - DRB Narrative Broad Creek Marina Eco-Tourism Park Zip Line.doc

BROAD CREEK MARINA
ECO TOURISM PARK ZIP LINE CANOPY TOUR
CONTEXT PHOTOGRAPHS
February 15, 2011



Typical Zip Line Tour Tower with Optional Roof Over Top Platform



Up the Creek Pub



Up the Creek Pub



Broad Creek Marina Dry Stack Storage



Calibogue Cruises and Kayak Ticketing/Storage



Four Parking Spaces to be Removed to Accommodate Zip Line Tower A



Zip Line Tower A Site



Zip Line Tower B Site



Typical Zip Line Corridor. Zip Lines to be Routed Above or Through Forest Tree Canopy



Zip Line Tower G Site and View of Corridor Down Old Road Clearing toward Tower H



Zip Line Tower H Site

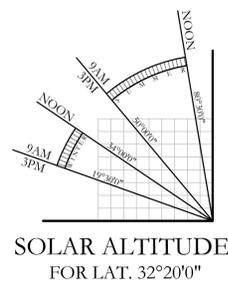
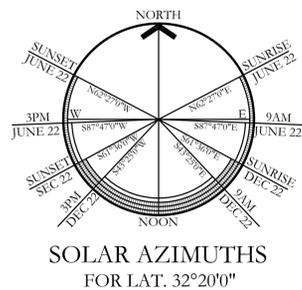
N:\Padmin\70278\70278-07\DRB\021511
Conceptual Submittal\021511 - Context
Photos Broad Creek Marina Eco-Tourism
Park Zip Line.doc

SITE SURVEY

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KEY

-  STREET TREES PLANTED 2007
-  SPECIMEN TREE DRIP LINE



EXISTING CONDITIONS

BUILDINGS

- A Boat Storage
- B Up the Creek Restaurant
- C Water Sports Ticketing / Storage

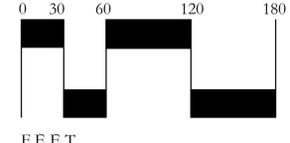
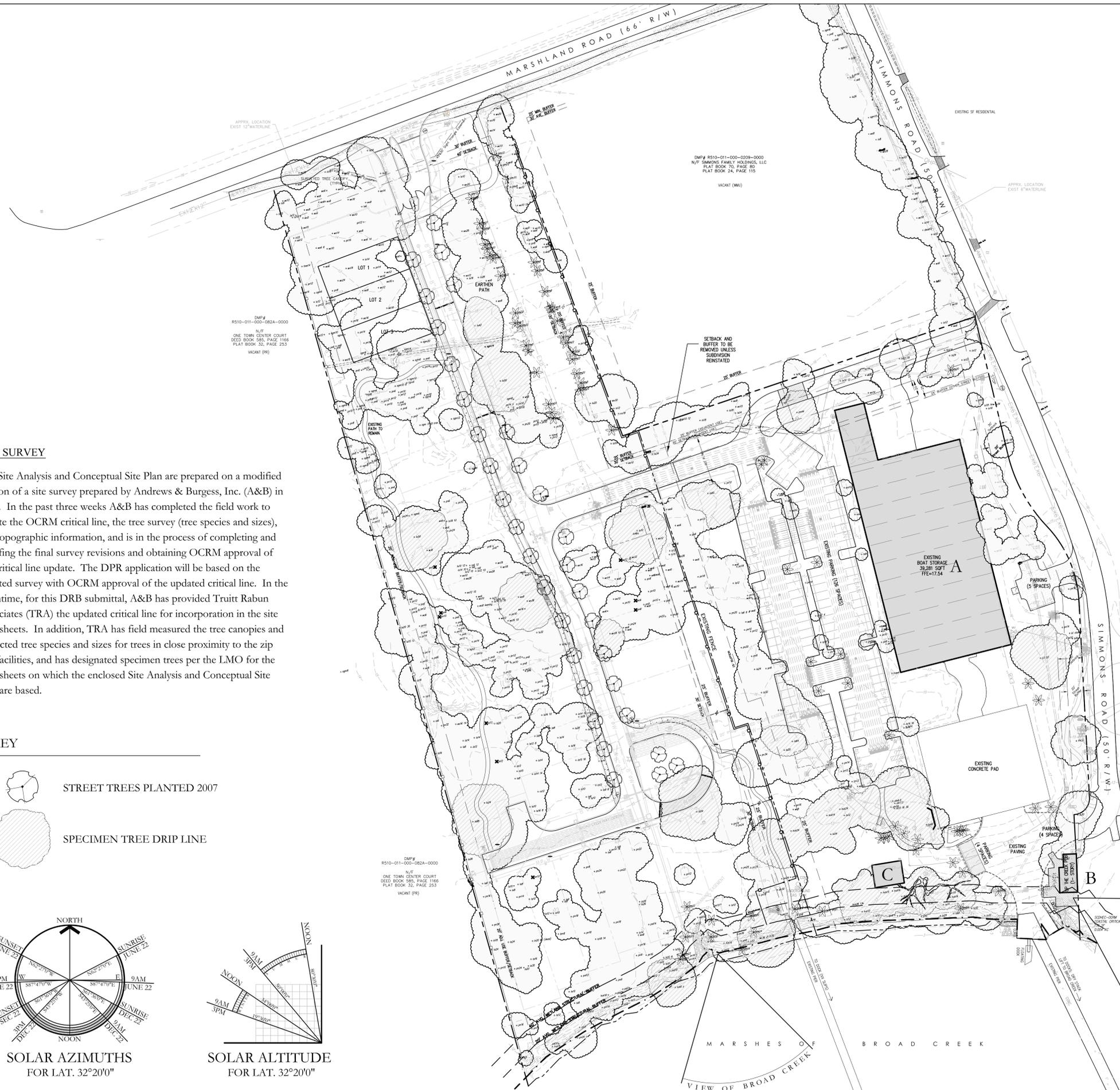
PARKING

Primary Lot	126 Spaces
East Lot	5 Spaces
Concrete Pad Parking	8 Spaces
Total	139 Spaces

BROAD CREEK MARINA VILLAGE RESIDENTIAL SUBDIVISION

The Broad Creek Eco Tourism Park encompasses the unsold portion of adjacent Broad Creek Marina Village residential subdivision property. Lots 1, 2 and 3 on the right side of the entry are the only properties that have been sold. The owners of these lots have given the Applicant permission to change the POA to allow any type of commercial development.

While Broad Creek Marina Village will be utilized for a portion of the Eco Tourism Park, the Applicant requests the underlying subdivision plat and future use remain in-place in case the site is converted back to residential subdivision use in the future. In the meantime, since the Broad Creek Marina Village and Broad Creek Marina properties will be treated as one property, it is the Applicant's understanding that the adjacent use buffers and setbacks between the Village and Marina properties will not be in effect. Should the Broad Creek Marina Village property be converted back to a residential subdivision, the adjacent use buffers and setbacks will go back into effect.



Eco-Tourism Zip Line
Hilton Head Island, South Carolina
Broad Creek Marina of HH, LLC

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REVISIONS:

DATE	NO.	DESCRIPTION:

PROJECT NO:
70278-05
ISSUE DATE:
02/15/2011

DRAWN:
KE
APPROVED:
TR

Site Analysis

REVISIONS:	NO:	DESCRIPTION:
DATE:		

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DRAWN:
KE
 APPROVED:
TR

Conceptual Site Plan

CONCEPTUAL SITE PLAN

ZIP LINE CANOPY TOUR

On January 24, 2011, after the DPR Pre-Application review meeting, the Applicant, the Applicant's land planner, certified arborist, engineer and land surveyor met on-site with Town staff members to preliminarily site the zip line route. Towers were located in the field, their locations surveyed and included on the Conceptual Site Plan submitted herein.

The zip line design and final approval calls for:

- Careful placement of eight (8) zip line towers (labeled A through H) to minimize impact to the forest's trees and the tree canopy with minimal tree removal and careful pruning of limbs as preliminarily determined in the field January 24
- Zip line tour route starting and culminating at Tower A.
- 1, 2 and 3 pole towers ranging from thirty feet (30') to seventy-five (75') in height.
- Towers consisting of treated utility poles to support the zip line, with the zip line accessed by a treated timber structure of stair-steps and landings. The support poles will be guyed. The treated utility poles and timber step/platform structures will be unpainted and left to weather naturally, blending into the surrounding forests.
- Tower designs submitted for DPR approval will be certified by a SC licensed structural engineer according to Town requirements.
- All tree removal and limb pruning will be under the supervision of a Town approved certified arborist and all work will be Town staff reviewed and approved on-site during construction.
- The DPR plans will indicate the limits of land disturbance, including the access ways for construction machinery to access the tower sites.

PARKING

Parking Calculations indicate the Broad Creek Marina's existing parking spaces will accommodate the existing uses and the proposed zip line tour. The Applicant will delay construction of the previously approved and not yet built Building #2 dry stack storage (98 boats) (DPR 040030) as long as parking is required for the Eco Tourism Park activities or additional parking is provided.

In summary:

139	Existing Broad Creek Marina Parking Spaces
- 4	Spaces to be Removed
135	Net Spaces Provided
128	Spaces Required Daytime Peak
7	Excess Spaces (5% of Net Total Spaces)

LANDSCAPE CHARACTER

The Eco Tourism Park landscape will be unstructured and natural reflecting the informal character of the marina and the natural forests.

- Shaded areas and areas under tree canopies that are disturbed during construction will be mulched with shredded native tree bark and left to be covered with natural leaf litter over time.
- Areas subject to bright sun will be repaired with coastal Bermudagrass to control erosion and left to naturalize over time.
- Marsh buffers will be clearly delineated with interpretive signage and protected from intrusion. Selective pruning of buffer trees will be coordinated with Town staff.
- No irrigation or additional site lighting is proposed. If in the future the zip line is opened for nighttime tours, the Applicant will come back to the Town for approval of additional site lighting, most likely at the bases of Towers A, F and G.
- The concept is to change as little as possible while providing for the zip line tour facilities.

CONCEPTUAL TREE REMOVAL TALLY

CATEGORY 1: Broadleaf Evergreen Overstory Hardwoods/ Endangered

n/a

CATEGORY 2: Deciduous Overstory Hardwood/ Broadleaf Evergreen

Understory

- Laurel Oak 12"
- Water Oak 10" 12"
- Water Oak 6"

CATEGORY 3: Cone-Bearing Evergreen

- Pine 10"
- Pine 10"
- Pine 6"
- Pine 8"
- Pine 8"

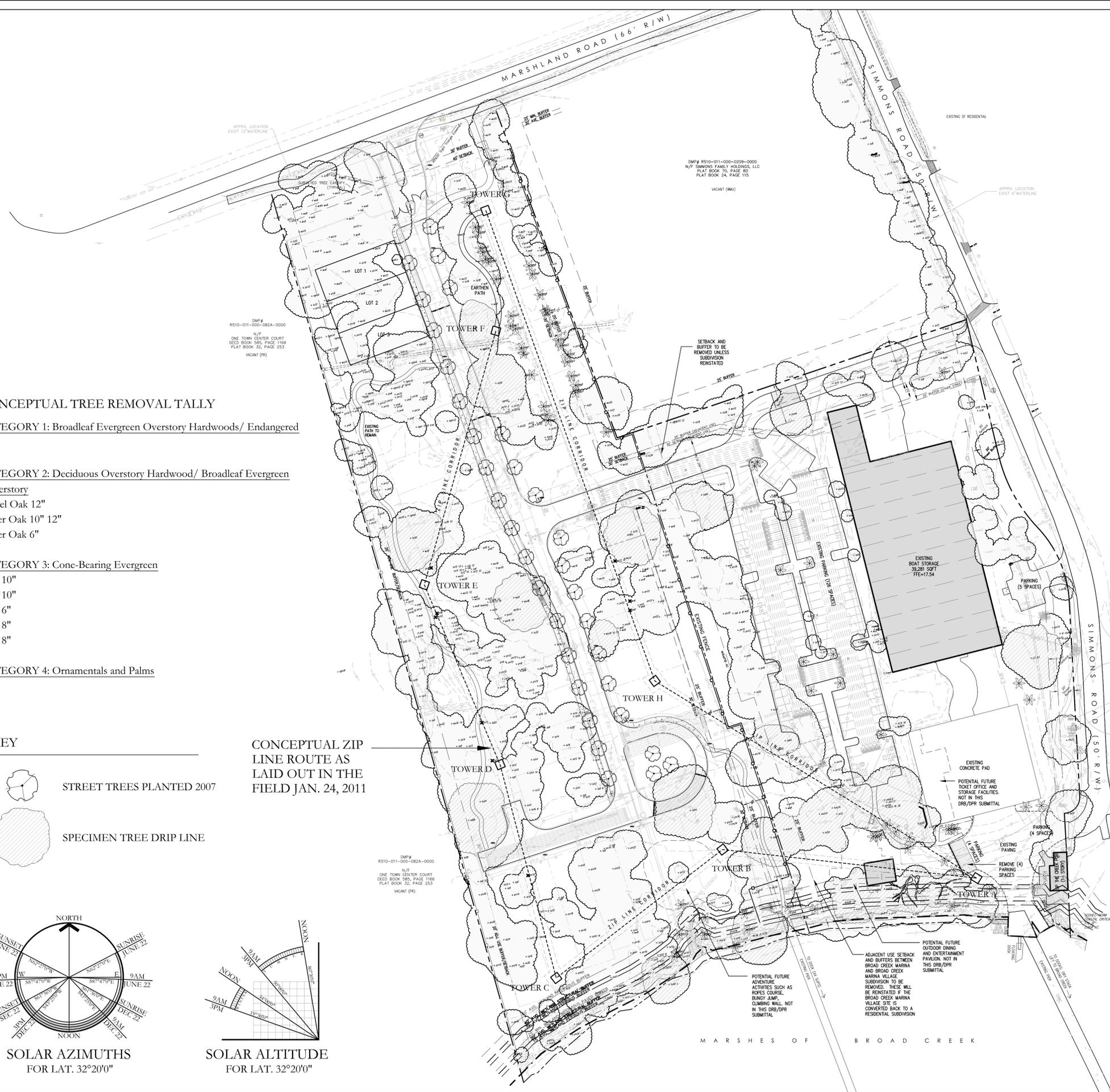
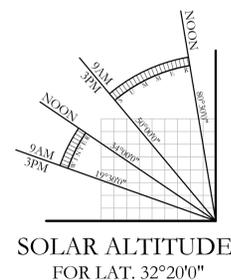
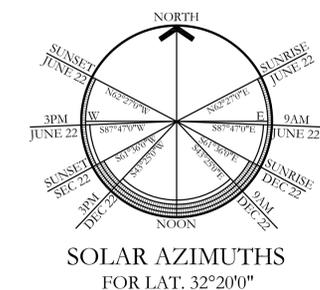
CATEGORY 4: Ornamentals and Palms

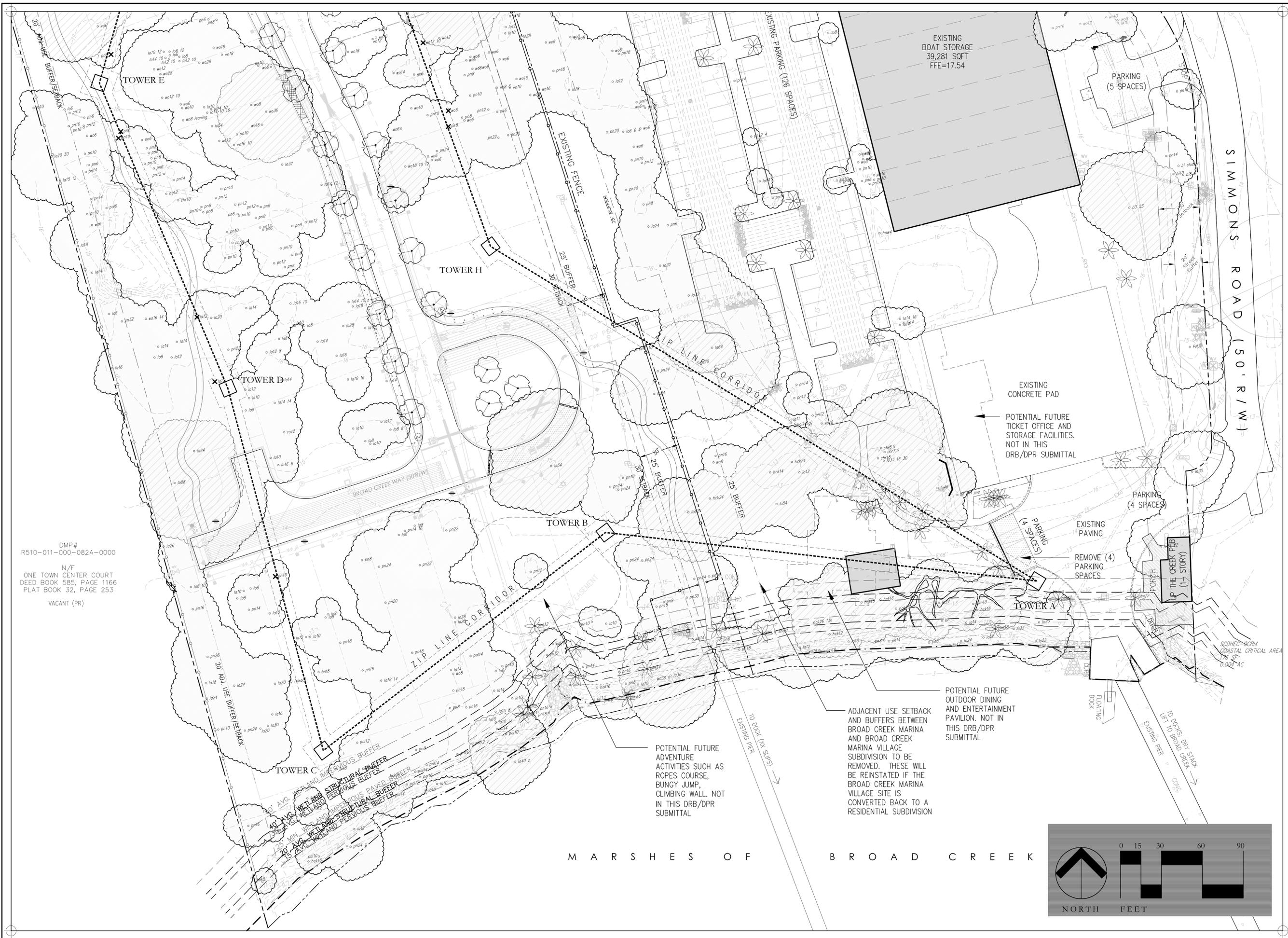
n/a

KEY

-  STREET TREES PLANTED 2007
-  SPECIMEN TREE DRIP LINE

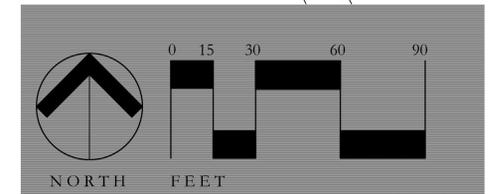
CONCEPTUAL ZIP LINE ROUTE AS LAID OUT IN THE FIELD JAN. 24, 2011





DMP#
R510-011-000-082A-0000
N/F
ONE TOWN CENTER COURT
DEED BOOK 585, PAGE 1166
PLAT BOOK 32, PAGE 253
VACANT (PR)

M A R S H E S O F B R O A D C R E E K



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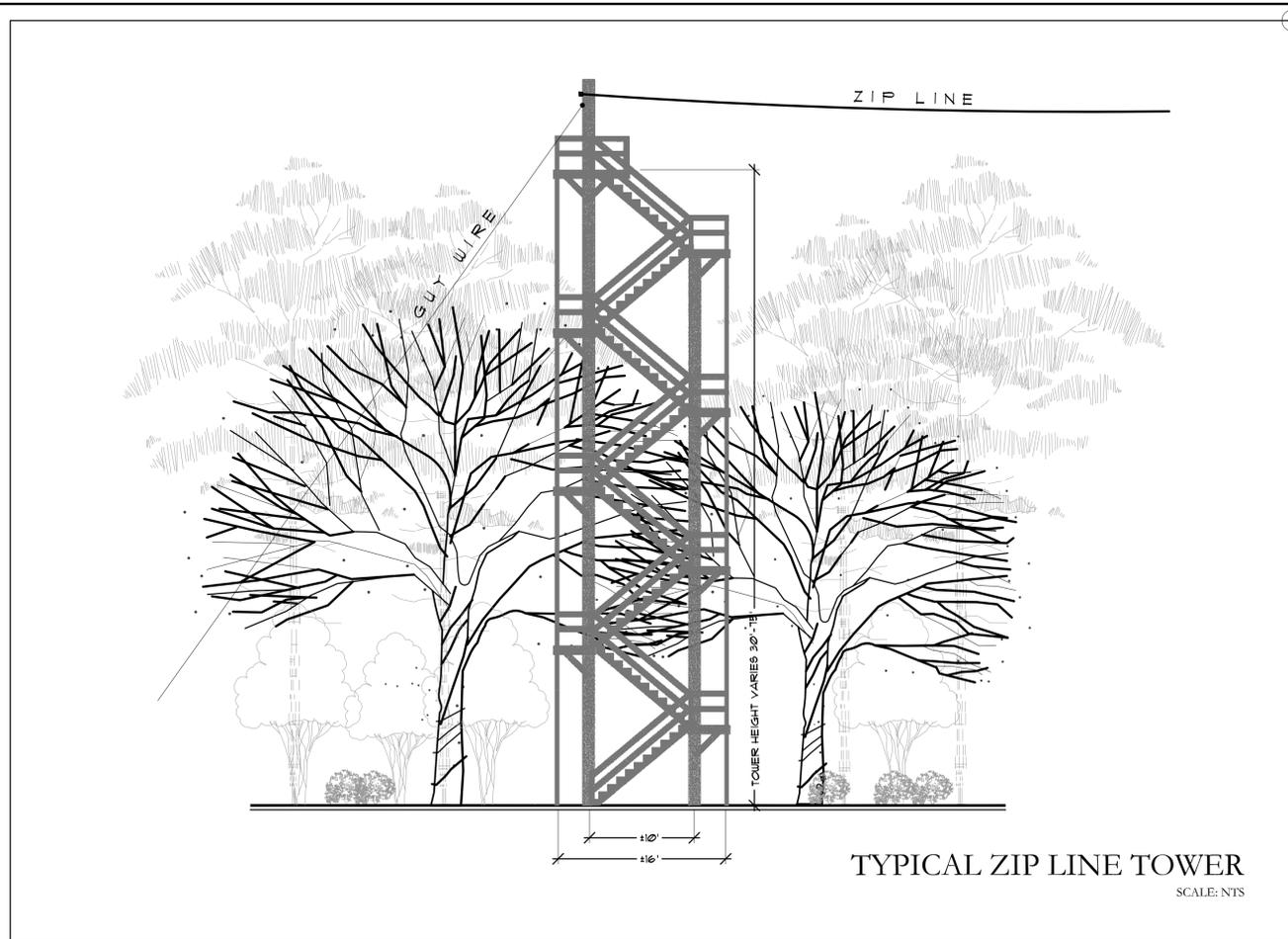
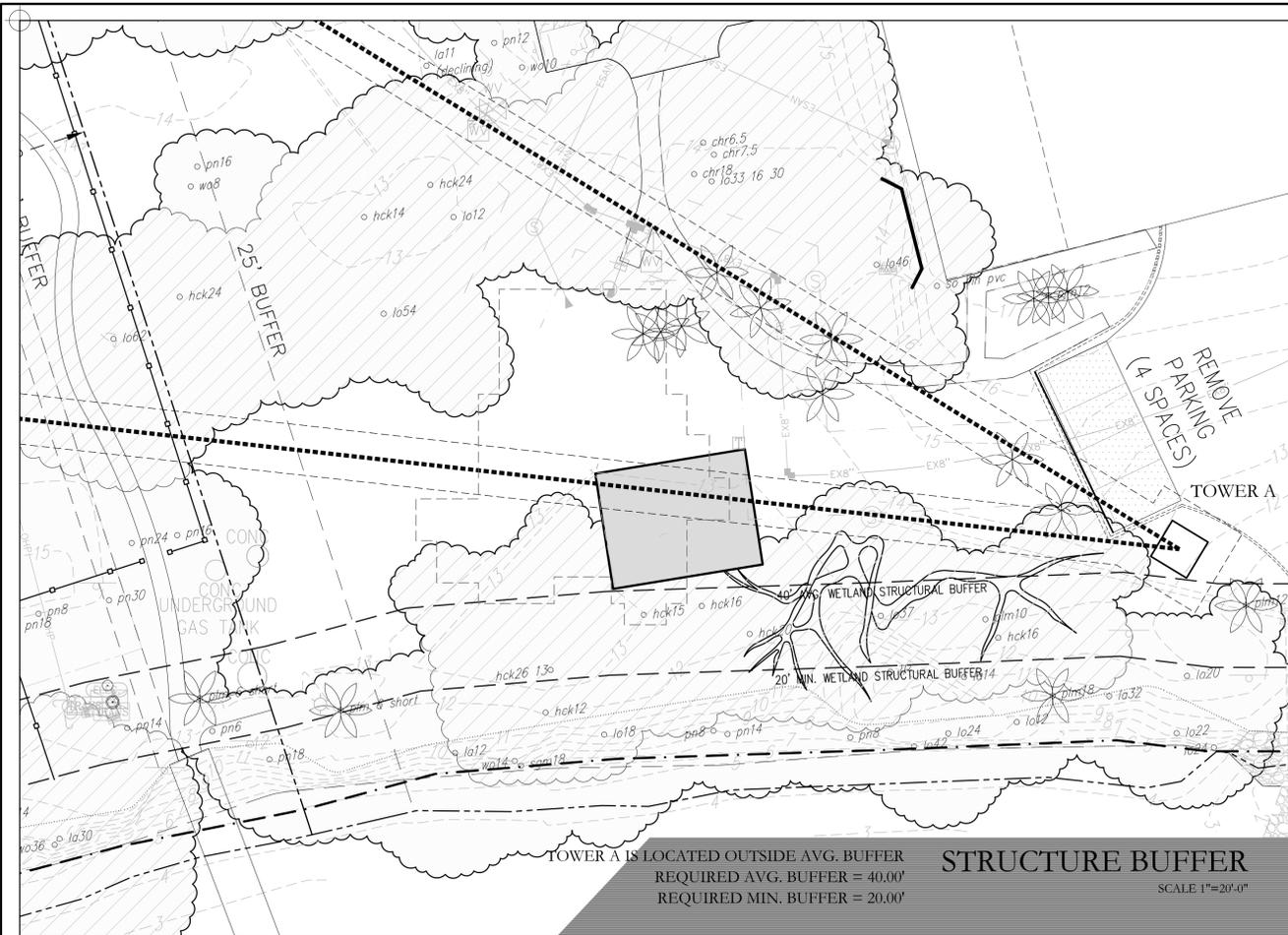
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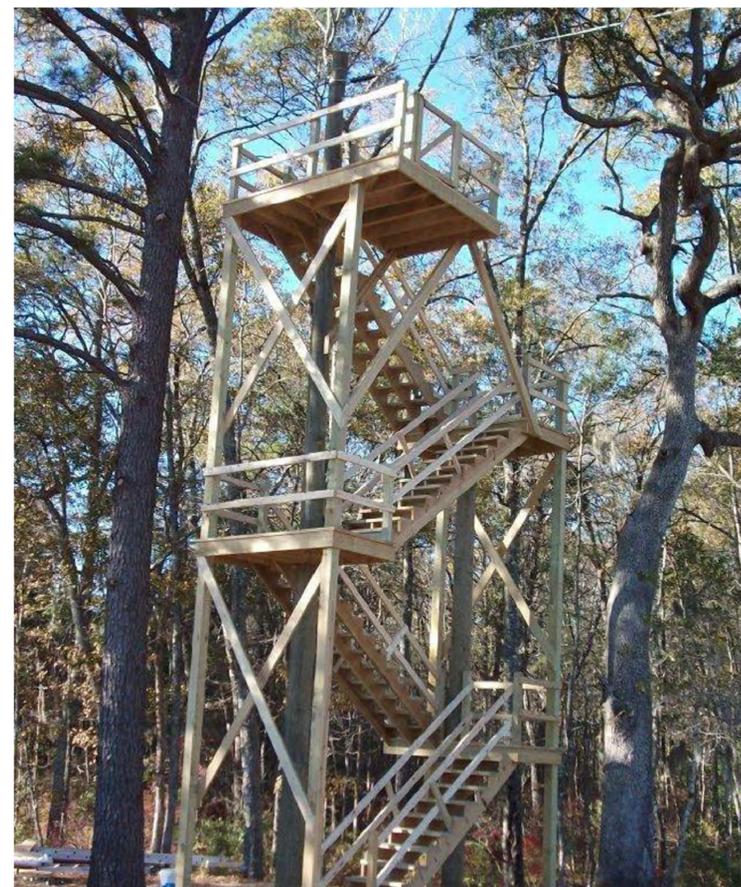
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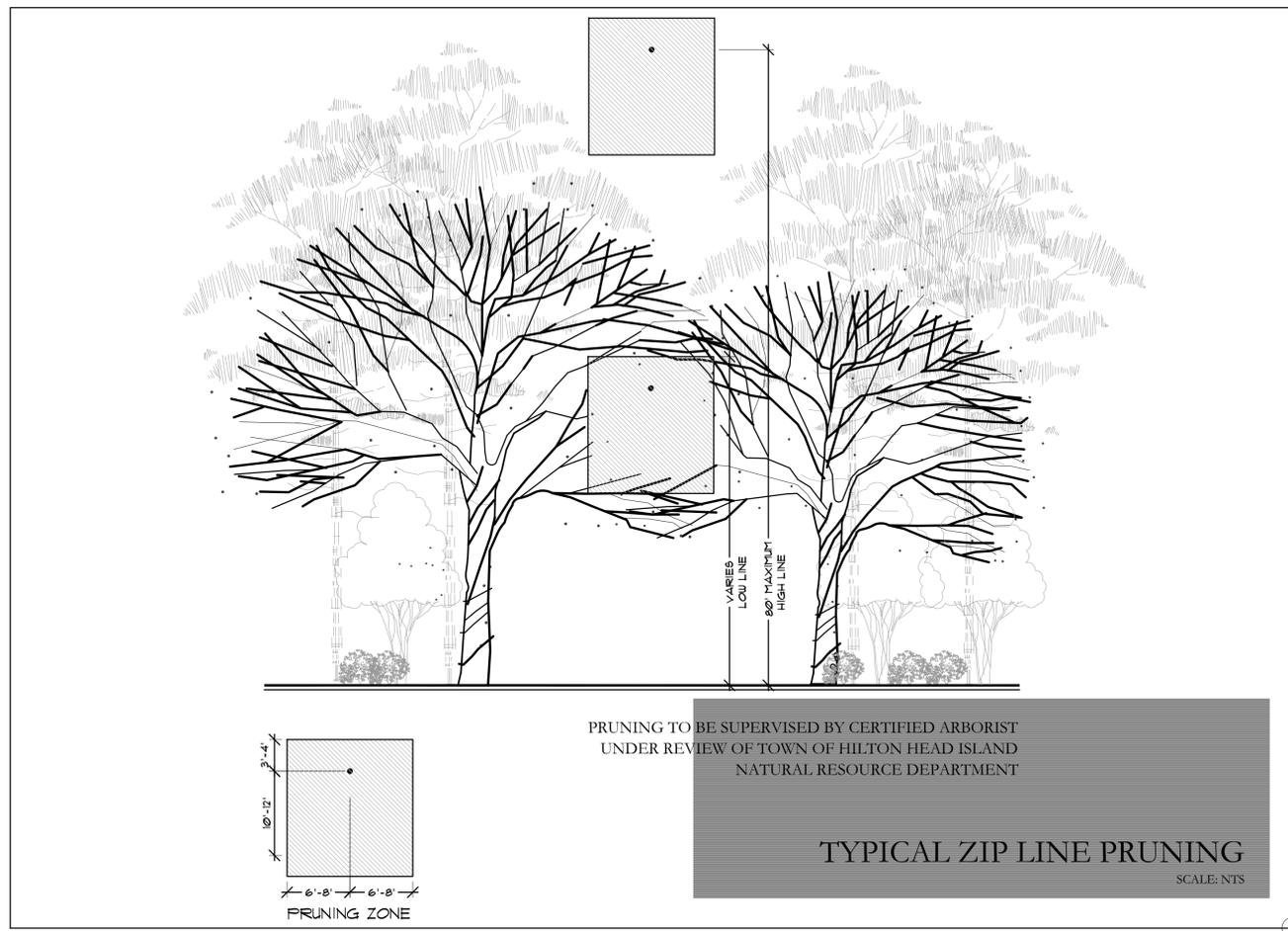
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TYPICAL 1- POLE TOWER



TYPICAL 2- POLE TOWER



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**Conceptual
 Details**

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Broad Creek Marina Zip-Line Course

DRB# DR110012

DATE 2-22-11

RECOMMEND APPROVE

RECOMMEND APPROVE W/COND.

RECOMMEND DENY

ARCHITECTURAL DESIGN

Applicant requests Conceptual and Final Review. Narrative and silhouettes on detailing and finishes of the towers seems appropriate, and would reinforce that these are elements designed to disappear, rather than court attention. 75'0" is a considerable height in the context of the landscape, although the LMO currently allows buildings up to that height, as a point of comparison, and the nature of the towers should make them unobtrusive. Quality detailing should still be employed, and drawings will need to be submitted for Final Approval.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		

Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		

LANDSCAPE DESIGN
Any landscaping should be in the spirit of native mitigation, as proposed.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage		

tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		Decisions on whether or not a specimen tree will be pruned for zip line or platform clearance must be made in the field by the Natural Resources Administrator. The applicant is encouraged to locate all towers outside the driplines of these trees.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS