



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, February 8, 2011
1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** - Meeting of January 25, 2011
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A) DR110006- Marriott Sunset Pointe Adult Pool Renovation- Alteration/ Addition
 - B) DR110007- Hinchey's Chicago Bar and Grill (Metropolitan Hotel) Deck Addition- Alteration/ Addition
 - C) DR110008- Verizon Antennae Co-Locate William Hilton Parkway- Alteration/ Addition
 - D) DR110009- Verizon Antennae Co-Locate- Paddocks Boulevard- Alteration/ Addition
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

Town of Hilton Head Island
DESIGN REVIEW BOARD
Minutes of the Tuesday, January 25, 2011 Meeting
1:15pm – Benjamin M. Racusin Council Chambers

DRAFT

Board Members Present: Chairman Tom Parker, Vice Chairman Todd Theodore,
Ted Behling, Scott Sodemann, and Deborah Welch

Board Members Absent: Jennifer Moffett and Galen Smith

Council Members Present: None

Town Staff Present: Mike Roan, Urban Design Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Chairman Parker called the meeting to order at 1:15pm.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

The agenda was **approved** as presented by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the January 11, 2011 meeting were **approved** as presented by general consent.

6. STAFF REPORT

None

7. BOARD BUSINESS

None

8. UNFINISHED BUSINESS

None

9. NEW BUSINESS

Wal-Mart Expansion- New Development Conceptual - DR110002

Mr. Roan introduced the application and stated its location, 25 Pembroke Drive. The applicant is proposing to expand the existing store by approximately 22,035 square feet to accommodate grocery sales. The project will include new parking spaces, a new loading dock, and trash compactor. The existing asphalt parking lot will receive an asphalt overlay and will be completely restriped. New signage will be proposed at a later date. The applicant states that most on-site dense vegetation will remain. The perimeter vegetation will also remain and will provide a visual buffer for the new loading dock addition.

Mr. Roan presented an in-depth review of the site plan, the building elevations, the roof, asphalt shingles and parapet detail. The structure is to be in the same configuration. The updated color palette is a welcomed change with warm tones, a lighter tan, and darker accent colors. The project proposes a new metal roof in a gun metal grey color. The details, colors and materials will match the existing.

On the entry side, the loading elevation requires certain clearances but is softened by large oak trees at the corner. The elevation might be better served if the roof form at the front were to wrap and return on the loading elevation to the extent possible.

The applicant would like to update the existing lighting, and a lighting plan will be required for permitting. A landscape plan was not included in the conceptual application. There is dense vegetation at the new loading pad, but every effort should be made to screen this side as much as possible. Parking improvements, which are not a part of today's review, will need to be addressed at a later date. Any concerns that the Natural Resources Department may have in regard to landscaping requirements will also need to be addressed. Following the staff's presentation, Chairman Parker requested that the applicant(s) make their presentation.

Applicants, Mr. Gregg Oltman, with Raymond Harris & Associates Architects, and Mr. Larry Barthelemy, with ADC Engineering Specialists, presented statements in support of the application. The applicants discussed the color palette, the staff's recommendation for a wrap around style, and the landscaping. The Board stated that the landscaping should fill in the void between William Hilton Parkway and the drive. The Board also recommended that the applicant buffer the loading dock area from the entrance. The Board will need to approve the lighting plan and the landscaping plan at a later date.

The Board briefly reviewed the parking area and the anticipated increase in traffic. The applicants stated that they have conducted a traffic study with regard to the increased traffic to and from the store. At completion of the discussion, Chairman Parker requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Wal-Mart Expansion application with the condition that the applicant shall return with an approved lighting plan and an approved landscaping plan. Ms. Welch **seconded** the motion and the motion **passed** with a vote of 5-0-0.

South Beach Club Villas - Minor External Change - DR110003

Mr. Roan introduced the application and stated its location, 251 S. Sea Pines Drive. The applicant is proposing to replace the existing wooden handrails that are located on the front side exterior walkways at the first, second, third and fourth floors of the building with new aluminum powder-coated handrails to match the existing aluminum handrail system at the entry door to each atrium.

The new railings will be commercial grade, three horizontal rails system with decorative rings under the top rail. The color is P004-BR23 Bronze. Mr. Roan stated that the required approval letter from Sea Pines ARB has been received by staff. Mr. Roan presented an in-depth review of the application including specifications. Staff recommended approval of the application with the condition that all of railings match the proposed Bronze color (the color of the handrails appear to be black in the application.) The Board discussed the color and agreed with the staff's recommendation. At the completion of the discussion, Chairman Parker requested that a motion be made.

Ms. Welch made a **motion to approve** the South Beach Club Villas application with the condition that all handrails match the approved Bronze color. The motion was **seconded** by Mr. Behling and **approved** with a vote of 5-0-0.

Big Bamboo – Deck Addition Alteration/ Addition - DR110004

Mr. Roan introduced the application and stated its location within Coligny Plaza. The proposed project is an addition to an existing two-story building located on the North Forest Beach side.

The Big Bamboo restaurant occupies a large portion of the upper floor of the building. The owners propose to open the restaurant to the outside and provide some outdoor seating. The applicant proposes to have a covered outside deck located along the south face of the building facing North Forest Beach Drive. A portion of the existing mansard roof will be removed and the existing stair will be remodeled. The colors will match existing building colors.

Mr. Roan stated that the applicant needs to clarify their plans for three mature Palmetto Palms (at least two of which will need to be removed due to construction of the deck). Also, no mention is made of the palms located around the live oak tree in the parking island. The island in which the live oak tree sits can be made larger, but cannot be made smaller than what currently exists. Any Palmetto Palms that are disturbed by the construction will need to be replaced somewhere on site (preferably between the building and North Forest Beach Drive). Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Sam McCleskey, Architect, presented statements in support of the application. The applicant and the Board discussed the project's details, the colors, and the landscaping plan. The applicant stated that the existing stairs will remain. Following the applicant's presentation and discussion by the Board, Chairman Parker requested that a motion be made.

Mr. Behling made a **motion to approve** the application for the Big Bamboo Deck Addition as presented. Vice Chairman Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

Hilton Head Island Welcome Center - New Development Conceptual

Mr. Roan introduced the conceptual application and stated its location, 100 William Hilton Parkway. Over the years, the Island's Welcome Center has become somewhat outdated, limited and uninviting. The existing site is the gateway to Hilton Head Island and provides some of the best views on the Island.

The applicant's narrative states that the goal of the overall design is to express a vernacular that is consistent with Hilton Head Island. The building tells a story of 'historical significance'. The land plan takes advantage of the site's many natural attributes. The plan maintains the many specimen trees and canopies. The plan keeps the existing walking trail and extends it to have more interaction with nature. The applicant's intent is to utilize vernacular volumes and materials and to design the structure to showcase Hilton Head Island's historical architecture. The facility is designed to accommodate full interaction with the community.

The building is designed to be eco-friendly with the pursuit of LEED certification (use of solar collection and storm water reclamation, reuse of existing materials, use of local materials, and efficient design parameters.) The applicant proposes to provide a bus stop, bike racks, walking trails and sidewalks.

With regard to access, as well as to accessing the adjacent Crazy Crab restaurant, the applicant proposes to eliminate both curb cut access points and create one access to both sites that will be safer than the existing. The applicant proposes to extend the deceleration lane, provide appropriate signage and give the site iconic elements.

Mr. Roan presented an in-depth review of the site analysis, the conceptual master plan, and the elevations. Mr. Roan discussed the building footprint and the complete reorientation of the building. The plan demonstrates good connectivity to the water and to the views.

Staff stated that the conceptual view from the marsh shows no trees or understory vegetation. The LMO requires that existing buffer plants be retained. The smaller trees on the Highway 278 side of the site are replacements for trees removed from the site for construction and are required to be preserved. While a formal landscape plan will be required for final approval, the site location of the proposed elements preserved a lot of what is on the site.

Breezeway through the main elevation creates a connection to the water from the lot while maximizing views over the entire building. Foundation planting and parking mitigation will go a long way in creating some necessary layering on a site that currently does not have a lot of vegetative cohesion.

The staff reviewed the floor plan including the restroom facilities, reception area, and the meeting space. Mr. Roan reviewed the split footprint and the handicap access. The staff reviewed several photos of the existing site with the Board. The staff also discussed the vegetative buffer, the views of the creek, the creek front usage, and the parking. Mr. Roan stated that the existing parking is non-compliant, and the applicant will need to work with Natural Resources to resolve mitigation issues. At the completion of the staff's presentation, Chairman Parker requested that the applicant(s) make their presentation.

Mr. Kevin Grenier, Architect, with KRA Architecture, made the presentation. The applicant discussed the site analysis including the entrance and the exit. The applicant reviewed their plans to preserve specimen trees and canopies. The applicant also discussed the historical story, the expanded views of the marsh, and the use of stucco and Savannah brick masonry.

Mr. Mike Kronimus, with KRA Architecture, presented statements regarding the design and location of the pathways, walking trail, biking trail, landscaping, and the parking area. The Board discussed the color palette with the applicant. The building's yellow color needs to be toned down. The color of the red brick is actually Savannah grey.

The Board requested additional details regarding the gazebo and its elevations. The Board also requested additional information regarding the future dock and the building's exhaust system.

The Board discussed the roughness of the existing landscaping. The Board expressed concern with the proposed location and exposure of the dumpsters. The dumpsters will need to be screened.

The Board also expressed concern with the amount of asphalt located between the entrance to the building and Highway 278. The Board stated that the landscape island may be insufficient. The applicant should soften the edge of the lagoon by adding aquatic grasses.

The Board recommended additional pervious pavement vs. impervious asphalt. The asphalt should be softened with the addition of oyster shell material. The Board and the applicant also discussed the stairs and the water feature.

Mr. Mike Krominis, with KRA Architecture, presented comments regarding the pathways, the walking trail, the biking trail, the landscaping and the parking. The Board recommended that the applicant be careful with the use of ornamentals. The Board also discussed the purpose and the

location of the kiosk. The design of the kiosk should be in keeping with the architecture.

The Board stated that the proposed plan is nice and that it has nice access. The entrance to the building, however, seems a bit off. Also, the 'story idea' is a great concept but the vernacular of telling a story of 'historical significance' is not really representative of what Hilton Head Island is today. The historical element should not be too heavy.

The Board and the applicant discussed LEED architecture. As part of this discussion, the Board recommended that the proposed windows be treated with more care. The windows should have more rhythm. The Board also recommended better organization for the building. The center section, the tabby and the brick are too equal. A hierarchy should be created. LEED architecture can still be accomplished with these elements.

The Board also recommended that the plan be more open with some of the dissimilar elements worked out (i.e. the roof elements, the scale, and the openings.) The composition should be simplified. Everything should not be so equal. The Board also recommended big overhangs. Also, the applicant should be careful with the amount of concrete pavement. The front parking area is considered too tight and should be opened up. The canopies of trees are important to the parking areas.

The Board and the applicants also discussed the back of the building. The Board recommended that the applicant use additional materials that blend well. The use of timber, glass and other materials should be considered.

At the completion of today's review, Chairman Parker stated that a second conceptual submission will be required. The applicant should consider the design revisions recommended by the Board. The applicant agreed and thanked the Board for today's review. No action was taken on today's application.

10. APPEARANCE BY CITIZENS

None

11. ADJOURNMENT

The meeting was adjourned at 3:15p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Tom Parker
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Trey Griffin Company: Wood + Partners, Inc
 Mailing Address: 7 Lafayette Pl City: HHI State: SC Zip: 29925
 Telephone: 681-6618 Fax: 681-7086 E-mail: tgriffin@woodandpartners.com
 Project Name: Harbour Pointe / Sunset Pointe Pool Renovation Project Address: #4 Shelter Cove Lane
 Parcel Number [PIN]: R520 012 000 0001 001A, 001B, 001C - 0000
 Zoning District: PD-1 Overlay District(s): COR

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number

- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Trey Guffe
SIGNATURE

1-25-11
DATE

**Adult Pool Addition/ Renovation
Marriott Harbour Pointe and Sunset Point**

#4 Shelter Cove Lane
Hilton Head Island, SC

PROJECT NARRATIVE

January 25, 2010

The project consists of renovating the existing adult pool area for Marriott's Harbour Pointe and Sunset Pointe Properties. The existing pool area (see photos) has become dated and is in need of renovation to better promote the resort experience. Pool modifications will remain in character with existing project materials and finishes but will create an updated and attractive resort look. Modifications and additions include renovating the existing pool and it's surrounds including an updated pool deck, pool finish, coping surround and waterline tile. New jet spray features will be added to the coping to create white noise and add more excitement. A new spa has also been included to enhance the amenities of the resort. The existing entrance walk will be reconfigured to have a more direct access and visual terminus on the existing gazebo and a new summer kitchen and gas fire pit area will be added to either side of the gazebo to create a more organized and useable space.

Minimal site disturbance is planned as the limits of the new pool deck falls within the existing pool deck footprint. One existing palm tree is to be removed. Minor existing landscape removal is required and is replanted as proposed in landscape plan.

Existing Project Photographs
Marriott Harbour Point and Sunset Pointe
Adult Pool Additions/Modifications
Hilton Head Island, South Carolina
January 25, 2011



View of entrance into adult pool area.



New sidewalk to tie in directly with Existing Gazebo. Grills and palm to be removed.

Existing Project Photographs - Continued
Marriott Harbour Pointe and Sunset Pointe



View of existing pool to be renovated including deck, coping, tile and pool finish



View of area that new spa is to be added.

**Existing Project Photographs - Continued
Marriott Harbour Pointe and Sunset Pointe**



View of existing gazebo. Stairs and ramp to be reconfigured for new grilling area.



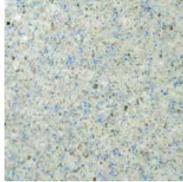
Area for proposed fire pit.

**Adult Pool Addition/ Renovation
Marriott Harbour Pointe and Sunset Point**

#4 Shelter Cove Lane
Hilton Head Island, SC

POOL AND HARDSCAPE FINISHES/COLORS

Pool Finish: Krystalkrete pebble finish, Bahama Blue



Waterline Tile Color: Verona Ceramic – Tondela Blue yrp# ti5500



Coping Material/Color: 12” x 36” Brushed Travertine



HARDSCAPE

Pool Deck: Color Concrete with Rock Salt Finish –Scofield Mesa Beige to match existing

Walk to gazebo: Colored concrete with brick banding – to match existing.

Grilling Zone: Crushed oyster shell and aggregate

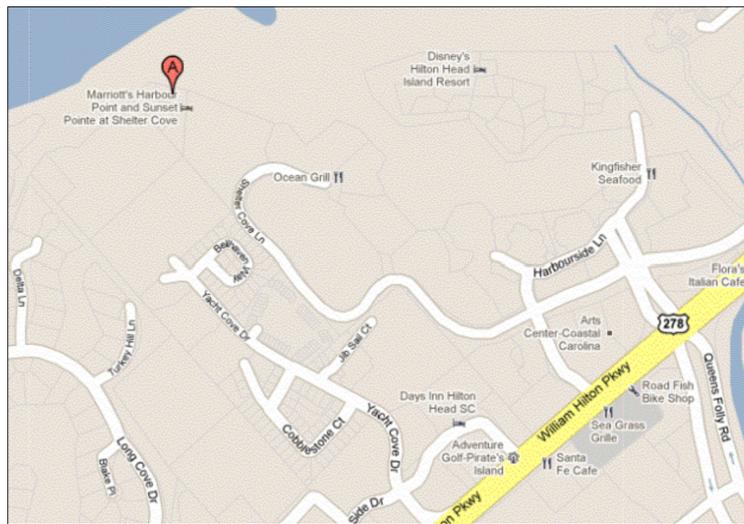
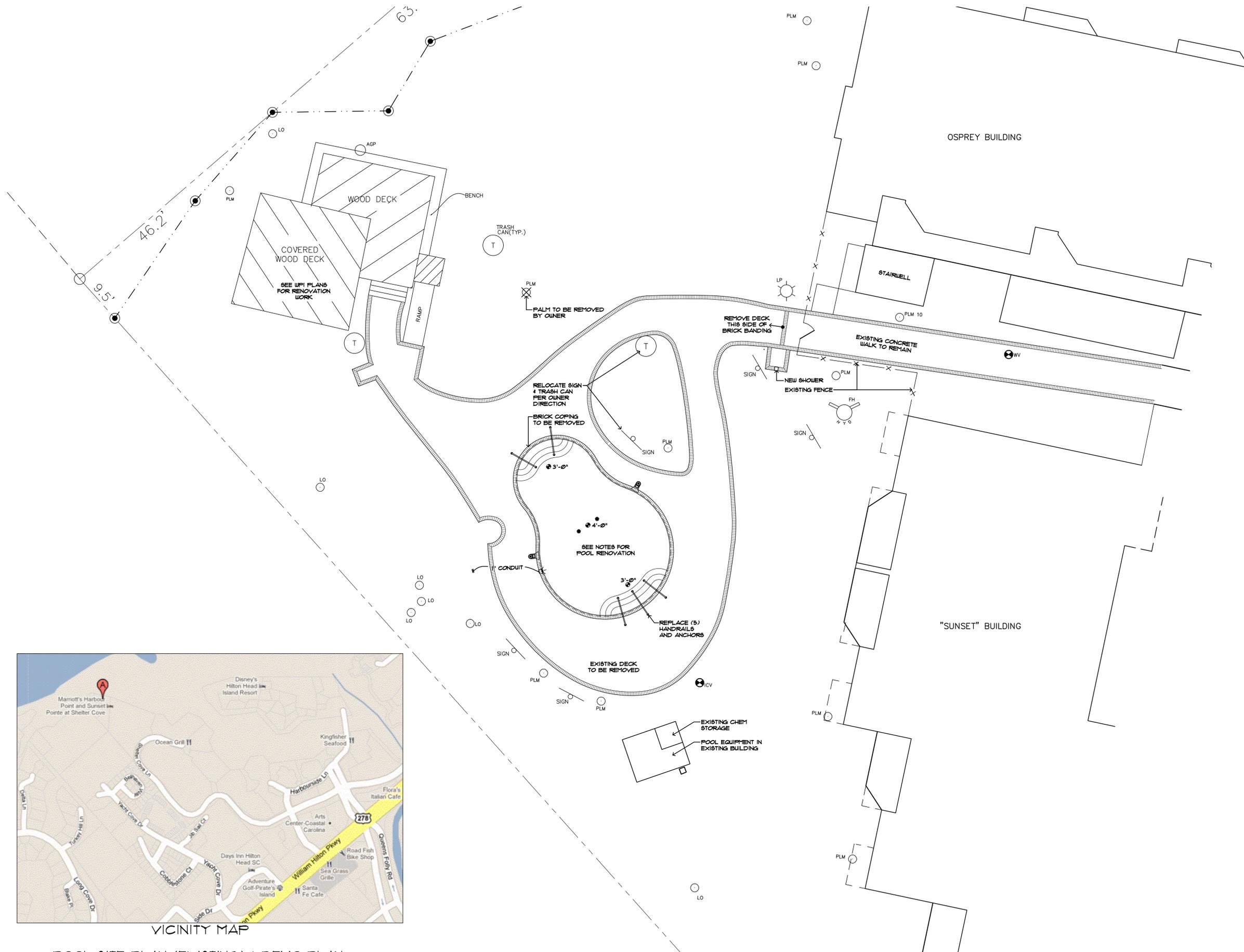
FIRE PIT AND SUMMER KITCHEN

Brick: Pine Hall Casa Grande Oversize Tumbled



Stone: Random Irregular Field Stone





VICINITY MAP

REVISION
DATE
PURPOSE

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 THESE PLANS AND THE DESIGN ELEMENTS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE EXCLUSIVE PROPERTY OF YEAR ROUND POOL COMPANY, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT OF YEAR ROUND POOL COMPANY, INC.

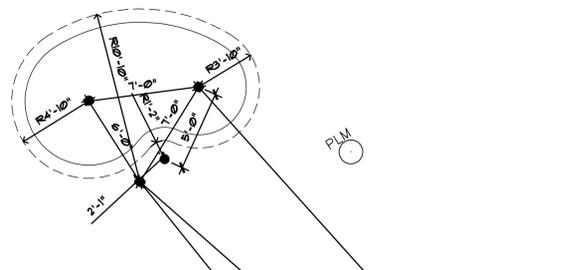
PREPARED FOR:
HARBOR PONT
 4 SHELTER COVE LANE, HILTON HEAD ISLAND, SC

YearRoundPool
 COMPANY, INC.
 886 BUCK ISLAND RD.
 BLUFFTON, S.C. 29910
 843-897-7665
 843-757-9665

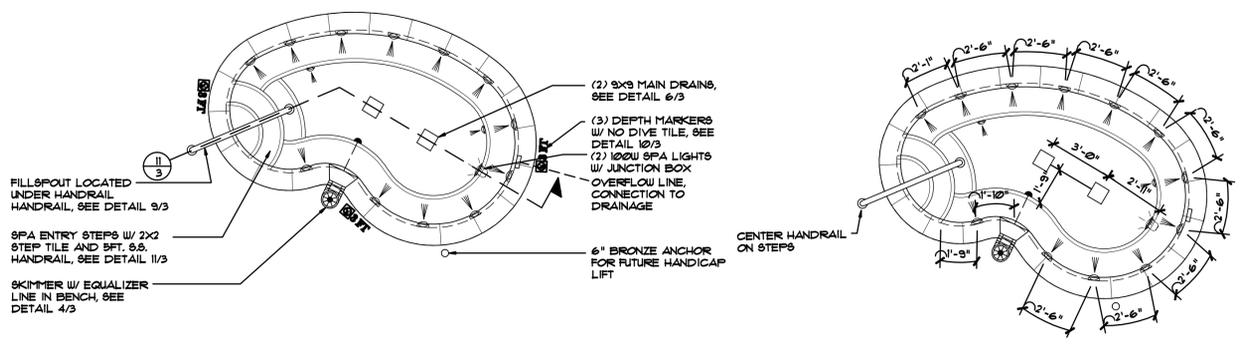
DATE: 12/30/10
DRAWN BY: MB
CHK BY: FFX
SALES: FFX

PROJECT NO.
 NC10101504

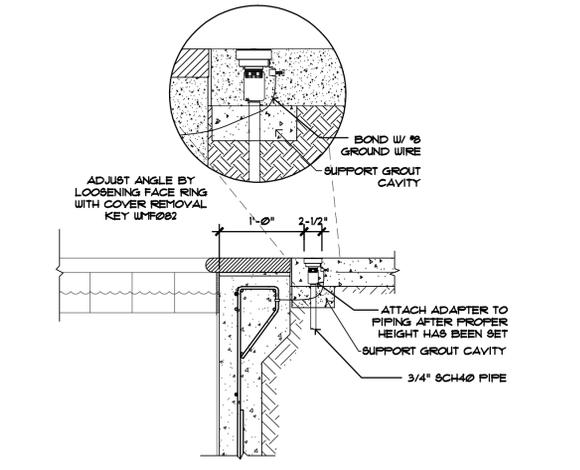
SHEET NUMBER:
 1 OF 4



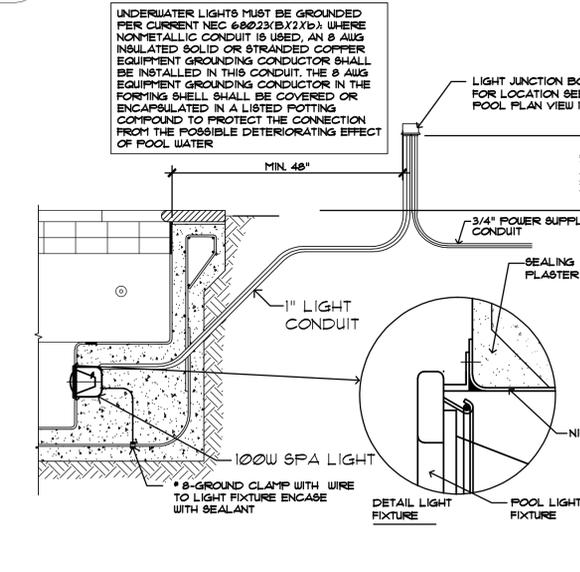
1/3 SPA LAYOUT Scale: 3/16"=1'-0"



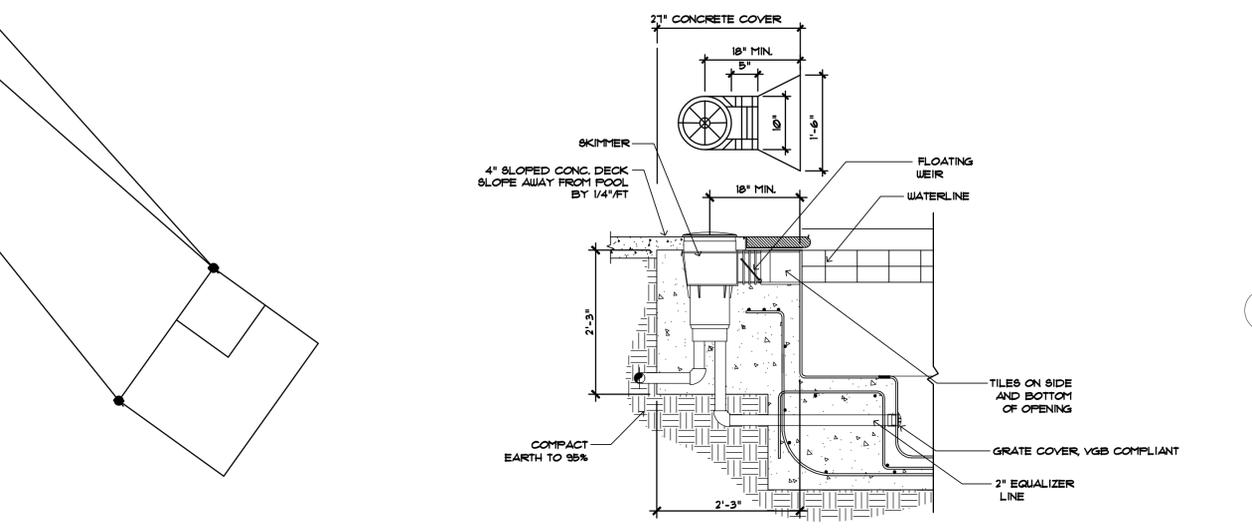
2/3 ENLARGE SPA PLAN Scale: 1/4"=1'-0" 3/3 SPA FIXTURE LAYOUT Scale: 1/4"=1'-0"



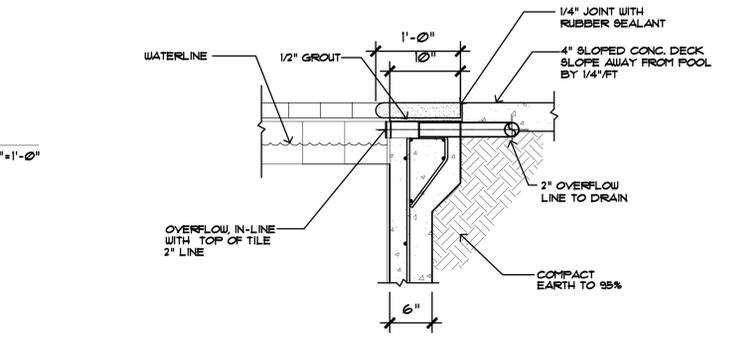
1/3 DETAIL - DECK JET Scale: 1"=1'-0"



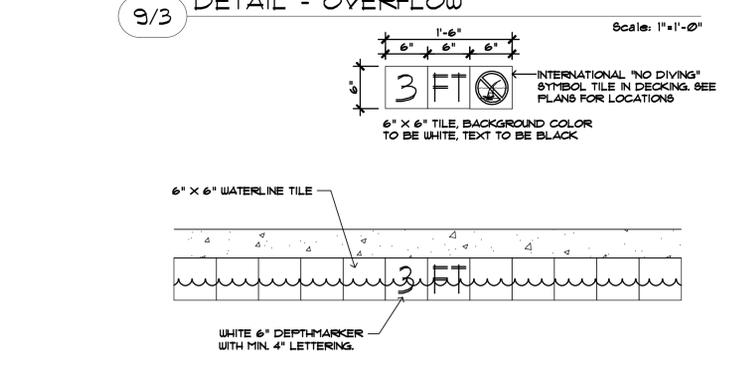
8/3 DETAIL - SPA LIGHT Scale: 3/4"=1'-0"



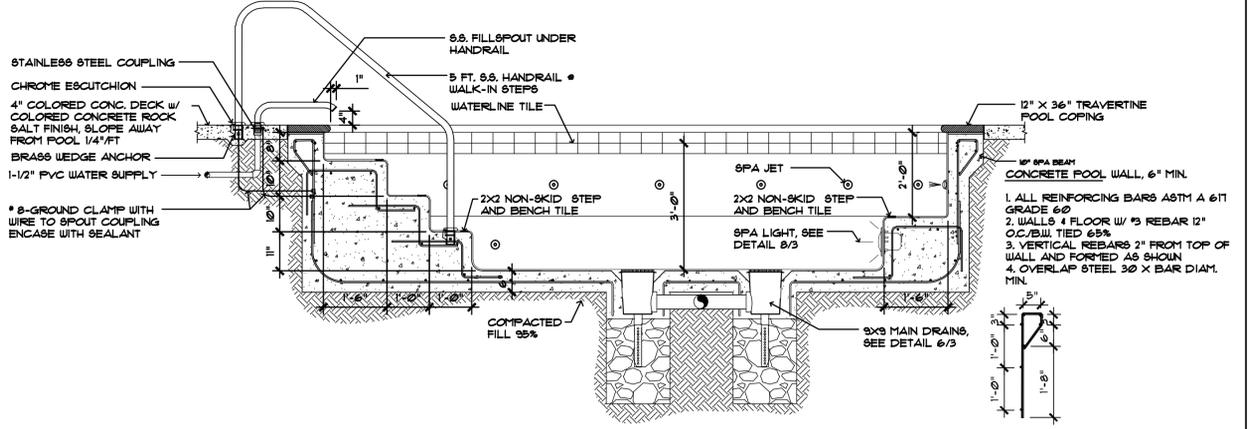
4/3 DETAIL - SURFACE SKIMMER Scale: 3/4"=1'-0"



9/3 DETAIL - OVERFLOW Scale: 1"=1'-0"



10/3 DETAIL - DEPTH MARKER Scale: 1"=1'-0"



11/3 SECTION-SPA Scale: 1/2"=1'-0"

WWW.POOLSHOWER.COM
1-866-SHOWER1

MODEL NUMBER: BS-2000-ADA	
JOB NAME:	ITEM NO.:
SUBMITTED AS SHOWN:	
SUBMITTED AS NOTED:	
SEE ATTACHED FOR SUBMITTED MODIFICATION	

SIDE VIEW

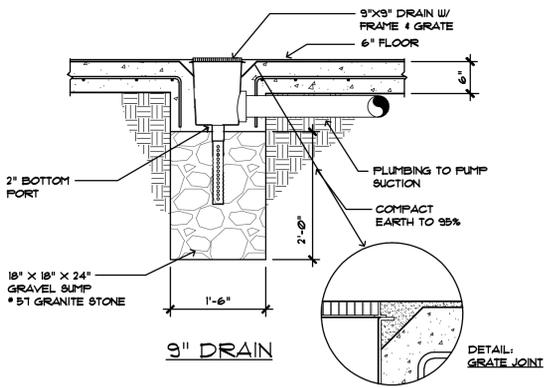
FRONT VIEW

FLOORING SURFACE

PLACEMENT OF THE WATER SUPPLY LINE AND ACCESSORIES CAN VARY WHEN SHOWER BASE IS ROTATED CLOCKWISE OR COUNTERCLOCKWISE

<p>TECHNICAL DATA:</p> <ul style="list-style-type: none"> • FREE STANDING UNIT • ADA COMPLIANT PUSH VALVE • 304 SS 40 SS 1/2" X 40" RISER • 304 SS TUBING 2" X 40" BASE • CHROME PLATED BRASS VALVE • 2.5 GPM SHOWER HEAD • CHROME PLATED BRASS HOSE BIBB W/VACUUM BREAKER • ADA COMPLIANT METERED PUSH VALVE FOOT SHOWER 	<p>DATE:</p> <p>BY:</p> <p>CHKCD:</p> <p>APP'D:</p> <p>REV:</p>
--	--

5/3 DETAIL - SHOWER W/ HOSE BIBB & FOOT SHOWER Scale: NTS



6/3 DETAIL - MAIN DRAIN Scale: 3/4"=1'-0"

REVISION	
DATE	PURPOSE

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PREPARED FOR:
HARBOR POINT
4 SHELTER COVE LANE, HILTON HEAD ISLAND, SC

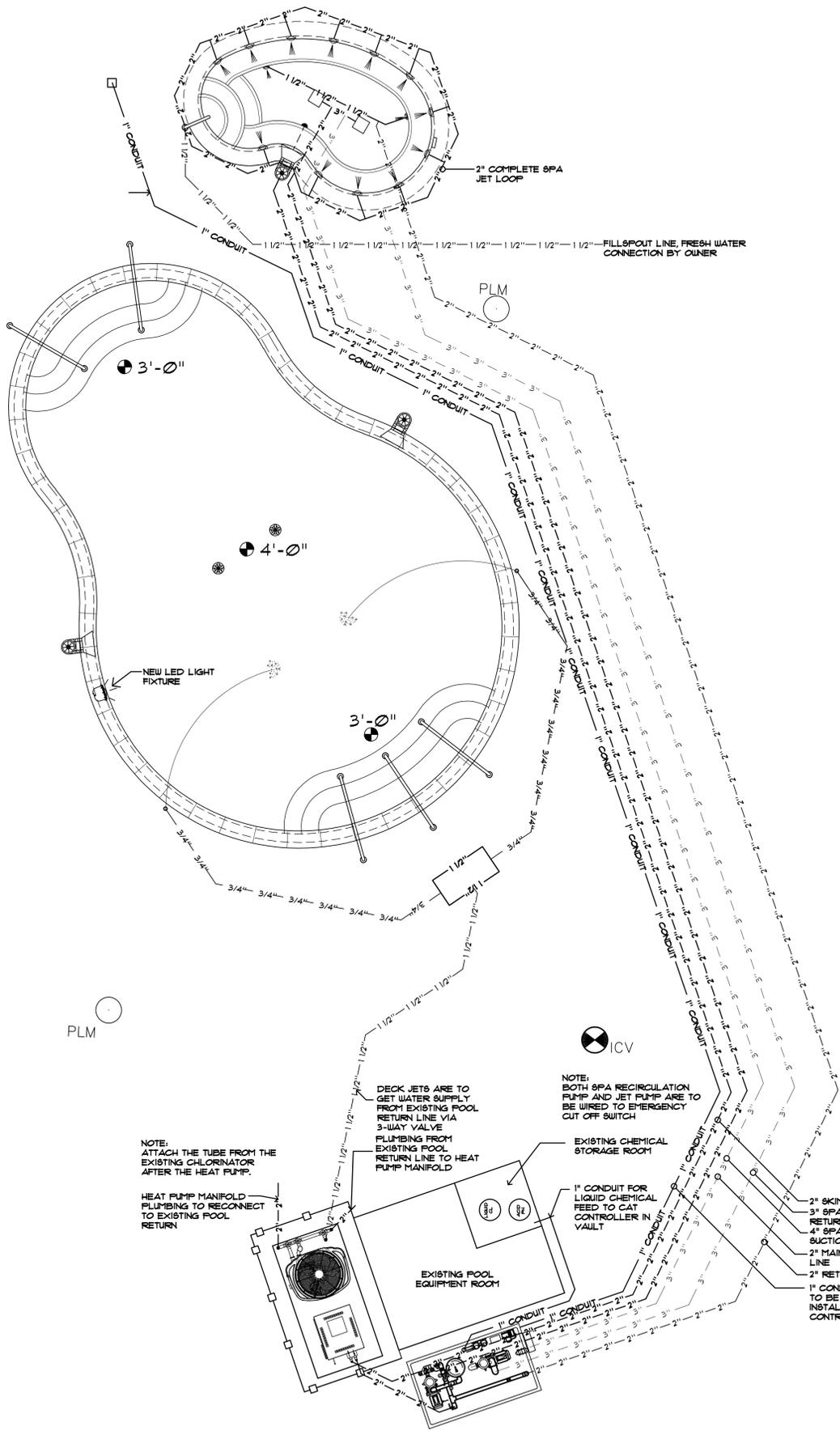
COMPANY, INC.

886 BUCK ISLAND RD.
BLUFFTON, S.C. 29910
843-892-7665
843-757-9665

DATE: 12/30/10
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CHK BY: FFX
SALES: FFX

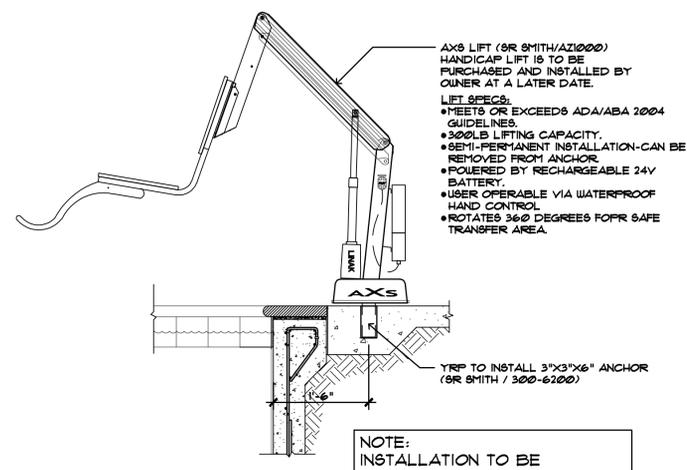
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SHEET NUMBER:
3 OF 4



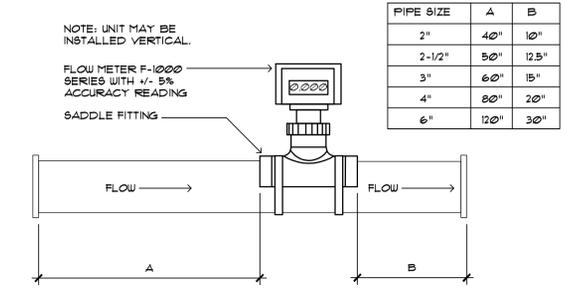
1/4 POOL PLUMBING PLAN

Scale: 1/8"=1'-0"



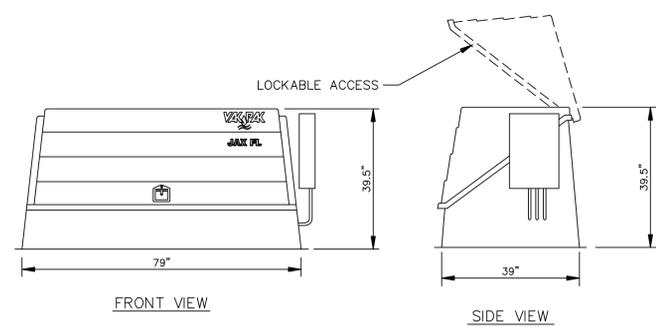
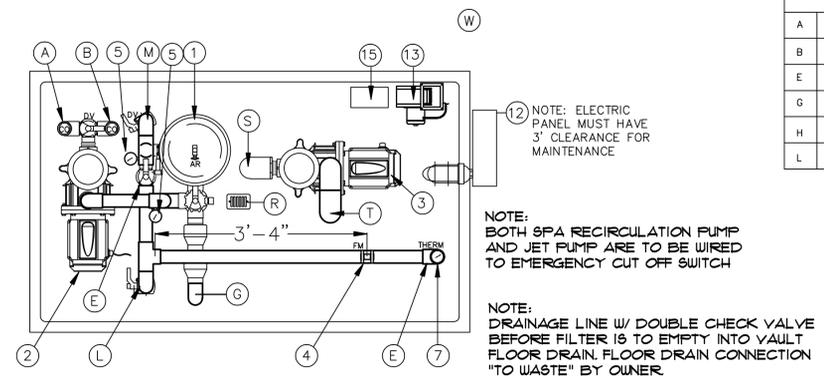
2/4 DETAIL - HANDICAP ANCHOR

Scale: 3/4"=1'-0"



3/4 DETAIL - DIGITAL FLOWMETER

Scale: NTS



4/4 EQUIPMENT VAULT

Scale: 1/2"=1'-0"

EQUIPMENT / SPA SCHEDULE			
QTY	EQUIPMENT	MFR / VENDOR	MODEL
2	9" x 9" MAIN DRAIN POTS	FENTAIR	543029
2	9" x 9" MAIN DRAIN COVERS	AQUASTAR	UA19101
1	HYDRO RELIEF VALVE	HAYWARD	SP1056
1	SURFACE SKIMMERS	FENTAIR	506310BKG
2	SPA LIGHT NICHE	FENTAIR	T8244300
12	SPA JETS	WATERWAY	712-3310
35	WATERLINE TILE (8q, FL)	NPT	TBD
10	2 X 2 EBONY BLACK 5/8" STEP TILE (8q, FL)	DAL-TIL	TBD
3	9" DEPTH MARKER, SMOOTH, WATERLINE	NPT	IC1-31-9149
3	FT DEPTH MARKER, SMOOTH, WATERLINE	NPT	IC1-31-9601
1	2" OVERFLOW	FENTAIR	540063
2	ANCHOR FOR FUTURE HANDICAP LIFT	SR SMITH	300-6100
2	4" BRASS ANCHOR	SR SMITH	AS-1020
1	8.8 ENTRY STAIR HANDRAIL 5/8"	SR SMITH	2HR-5-049
2	ESCUTCHEON PLATES	SR SMITH	EP-100F
1	8.8 FILL/POUT	SR SMITH	A4124
3	9" DEPTH MARKER 5/8" DECK	NPT	IC1-31-9631
3	FT DEPTH MARKER 5/8" DECK	NPT	IC1-31-9615
3	INTL NO DIVING MARKER	NPT	IC1-31-9611
2	DECK MOUNTED STREAM JETS	AQUA ARCH	AA-2003-02
1	FENTAIR 1/2 HP PUMP, WF-2 (CIRCULATION PUMP)	FENTAIR	01819
1	FENTAIR 3 HP PUMP, WF-12 (JET PUMP)	FENTAIR	01893
1	CARTRIDGE FILTER (CCP240)	FENTAIR	1620310
1	2" FLOWMETER - DIGITAL	BLUE-WHITE	RB20054
1	ECOLAB CHEMICAL SYSTEM: • CHLORINE GENERATOR • ACUTROL CONTROLLER	PROVIDED BY OWNER CHLOR KING FENTAIR	CHLORING 21 AK2100D
1	100W SPA LIGHT W/ 50 FT. CORD	FENTAIR	T810100
1	SPA LIGHT JUNCTION BOX	FENTAIR	T8310100
14	FITTINGS FOR SPA JETS AND RETURNS	FENTAIR	542000
5	(2") 3-WAY VALVES	JANDY	4715
3	(2") 2-WAY VALVES	JANDY	4716
2	(2") CHECK VALVES	JANDY	7305
1	SKIMMER EQUALIZER WALL FITTINGS	WATERWAY	6-40-501V
1	400000BTU LP HEATER	JANDY	LR2400EP
1	EQUIPMENT VAULT	VAKPAK	CUSTOM
1	AQUACAL HEAT/COOL HEAT PUMP (FOR POOL)	AQUACAL	50166K
1	LED LIGHT FIXTURE (FOR POOL)	FENTAIR	60100

SPA DATA		"D"
POOL TYPE		31'
PERIMETER FEET (L.F.)		91
SURFACE AREA (S.F.)		1430
WATER VOLUME, GALLONS		47.6 GPM
REQUIRED FLOW RATE, GALLONS PER MINUTE		49 GPM
DESIGN FLOW RATE, GALLONS PER MINUTE		291 MIN.
TURNOVER TIME, HRS.		16.50
DECK LIMIT, PERSONS		50
SUM LIMIT, PERSONS		9

NOTES:
 • SPA IS NOT APPROVED FOR DIVING.
 • MAINTENANCE AND SAFETY EQUIPMENT FOR EXISTING POOL IS TO BE USED FOR NEW SPA.
 • AN ASSE 1024 TYPE RESIDENTIAL DUAL CHECK VALVE IS REQUIRED ON A DEDICATED LINE THAT SERVES ONE OR MORE HOSE BIBS. THIS DUAL CHECK VALVE IS TO BE LOCATED IN THE EQUIPMENT ROOM, VISIBLE FOR INSPECTION BY DHEC, AND A SHUT OFF VALVE MUST BE PROVIDED TO VERIFY THAT ALL HOSE BIBS ARE PROTECTED BY ASSE 1024 DUAL CHECK VALVES. THIS WORK IS BY THE G.C.

VALVES AND PIPE CONNECTION SIZES			
LETTER	DESCRIPTION	SIZE	LOCATION
A	MAIN DRAIN	2"	M TO HEATER
B	SKIMMER (DIRECT SUCTION)	2"	R FLOOR DRAIN
E	RETURN LINE	2"	S THERAPY SUCTION
G	PUMP TO WASTE W/DUAL CHECK VALVES	2"	T THERAPY RETURN
H	PUMP TO FILTER	2"	W CHEMICAL FEED TUBING CHASE
L	FROM HEATER	2"	

PRESSURE CARTRIDGE FILTER SYSTEM	
CS52PCV	1430 GALLONS IN .5 HRS
50 GPM @ .2084	GPM FILTER RATE, 240 SQ. FT. TOTAL
1	CCP240 PENTAIR CARTRIDGE FILTER 240 SQ. FT. EACH 240 SQ. FT. TOTAL
2	1/2" PENTAIR RECIRCULATION PUMP, WF-2 1 PHASE 230 VOLTS, 50 GPM @ 55 TDH, 6" STRAINER
3	3 H.P. PENTAIR THERAPY PUMP, WF-12 1 PHASE 230 VOLTS 150 GPM @ 55 TDH, 6" STRAINER
4	2" BLUE/WHITE FLOWMETER RB20054 25 TO 300 GPM
5	2 - PRESSURE GAUGES 0# TO 60#, 2" FACE
7	GENERAL INSTRUMENTS THERMOMETER 32' TO 248F, 0' TO 120'
8	CL2 FEEDER BY STENNER, MODEL 45M2, .10 GPD 15 GALLONS CHEMICAL CONTAINER
9	pH FEEDER BY STENNER, MODEL 45M2, .10 GPD 15 GALLONS CHEMICAL CONTAINER
12	ELECTRICAL PANEL WITH SERVICE LIGHT, MINIMAL 30 FT. CANDLES
13	DAYTON, 4C440 60 CFM EXHAUST BLOWER, 115V
15	O.R.P. CONTROLLER MAKE ECOLAB SYSTEM MODEL

Scale: 1/2"=1'-0"

REVISION	DATE	PURPOSE

COPYRIGHT:
 THESE PLANS AND THE DESIGN ELEMENTS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE EXCLUSIVE PROPERTY OF YEAR ROUND POOL COMPANY, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART, WITHOUT THE EXPRESS WRITTEN CONSENT OF YEAR ROUND POOL COMPANY, INC.

PREPARED FOR:
 HARBOR POINT
 4 SHELTER COVE LANE, HILTON HEAD ISLAND, SC

YearRoundPool
 COMPANY, INC.
 886 BUICK ISLAND RD.
 BLUFFTON, S.C. 29910
 843-692-7665
 843-577-9665

DATE: 12/30/10
DRAWN BY: MB
CHK BY: FFX
SALES: FFX

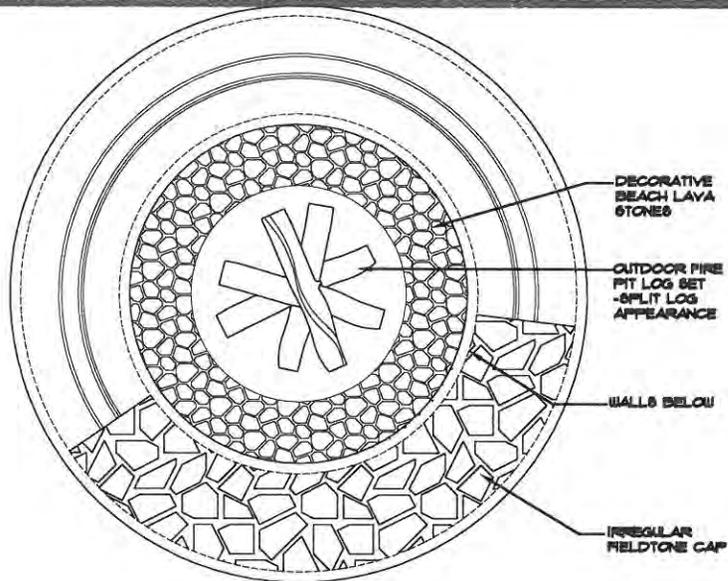
PROJECT NO.
 NC10101504

SHEET NUMBER:
 4 OF 4

FIRE PIT

WPI. 1-25-10

3/8" = 1'-0"



PLAN

NOTE:

1. BRICK MANUFACTURER:
PINE HALL BRICK
WWW.PINEHALLBRICK.COM
CASA GRANDE OVERSIZE TUMBLED
1/2" BUFF (OR EQUAL) MORTAR JOINTS (GRAPEVINE)

NOTE: CONTRACTOR TO SUBMIT BRICK SAMPLE TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION

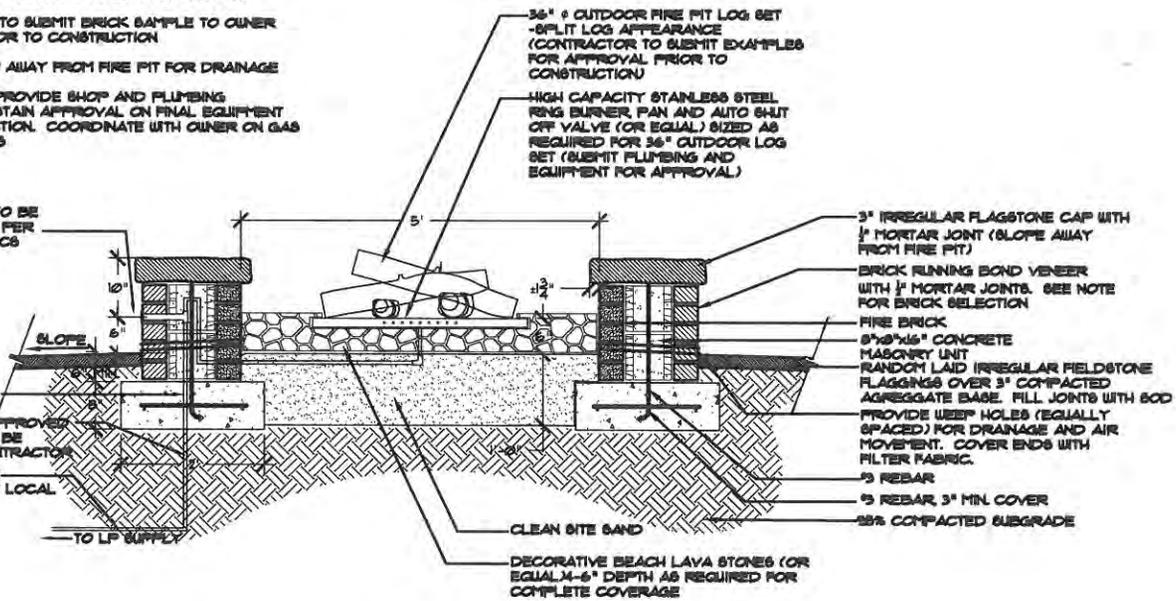
2. SLOPE STONE CAP AWAY FROM FIRE PIT FOR DRAINAGE

3. CONTRACTOR TO PROVIDE SHOP AND PLUMBING SCHEMATICS AND OBTAIN APPROVAL ON FINAL EQUIPMENT PRIOR TO CONSTRUCTION. COORDINATE WITH OWNER ON GAS TYPE AND CONTROLS

BRASS KEY VALVE, TO BE SIZED AND MOUNTED PER MANUFACTURERS SPECS

3" CONDUIT SLEEVE
TITELIX PIPE OR APPROVED EQUIVALENT, SIZE TO BE DETERMINED BY CONTRACTOR

3'-6" MIN. COVERAGE OR AS REQUIRED BY LOCAL CODES



36" Ø OUTDOOR FIRE PIT LOG SET
-SPLIT LOG APPEARANCE
(CONTRACTOR TO SUBMIT EXAMPLES FOR APPROVAL PRIOR TO CONSTRUCTION)

HIGH CAPACITY STAINLESS STEEL RING BURNER PAN AND AUTO SHUT OFF VALVE (OR EQUAL) SIZED AS REQUIRED FOR 36" OUTDOOR LOG SET (SUBMIT PLUMBING AND EQUIPMENT FOR APPROVAL)

3" IRREGULAR FLAGSTONE CAP WITH 1/2" MORTAR JOINT (SLOPE AWAY FROM FIRE PIT)

BRICK RUNNING BOND VENEER WITH 1/2" MORTAR JOINTS. SEE NOTE FOR BRICK SELECTION

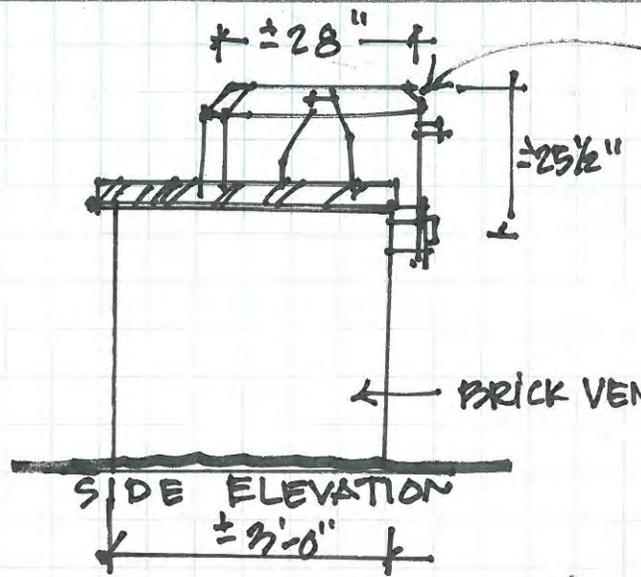
FIRE BRICK
8" x 8" x 16" CONCRETE MASONRY UNIT
RANDOM LAY IRREGULAR FIELDSTONE FLAGGING OVER 3" COMPACTED AGGREGATE BASE. FILL JOINTS WITH 60D

PROVIDE WEEP HOLES (EQUALLY SPACED) FOR DRAINAGE AND AIR MOVEMENT. COVER ENDS WITH FILTER FABRIC.

3" REBAR
3" REBAR, 3" MIN. COVER
88% COMPACTED SUBGRADE

CLEAN SITE SAND
DECORATIVE BEACH LAVA STONES (OR EQUAL) 4-6" DEPTH AS REQUIRED FOR COMPLETE COVERAGE

SECTION

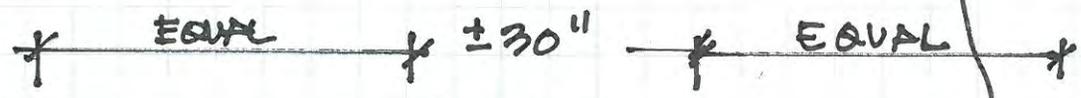


Built-in stainless steel Grill -
 Flush Mount BROILMASTER SBB-2804 OR
 EQUAL. INSTALL PER MANUF. REC.

* CONTRACTOR TO PROVIDE VENT REGISTERS
 AS REQUIRED.

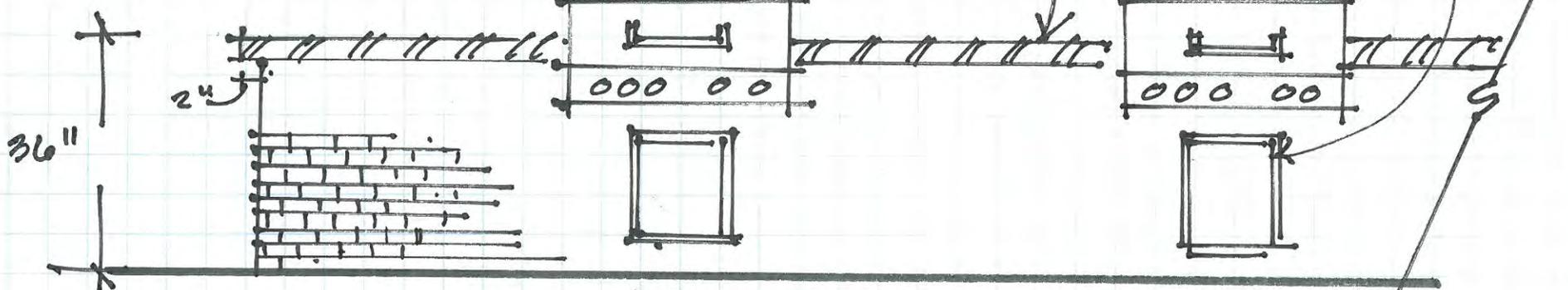
← BRICK VENEER.

SIDE ELEVATION
 ± 3'-0"



3" IRREGULAR TN FIELDSTONE
 LAP (w/ 1/2 mortar joints)

STAINLESS STEEL DOOR KIT -
 # BDA. INSTALL PER
 MANUF. REC.



FRONT ELEVATION

BRICK VENEER -
 PINE HALL - CASA GRANDE
 OVERSIZE TUMPLED WITH
 1/2" BUFF MORTAR JOINT.

HARRIS POWERS/
 SUNSET POINT

SUMMER KITCHEN.

Wood+Partners, 1/2" = 1'-0"



AP60DC

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Marriott Sunset Pointe Adult Pool

DRB# DR110006

DATE 2/8/2011

RECOMMEND
APPROVE

RECOMMEND
APPROVE W/COND.

RECOMMEND
DENY

ARCHITECTURAL DESIGN		
NA		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		

Accessory elements are design to coordinate with the primary structure		
LANDSCAPE DESIGN		
Rough field stone for the wall cap and seating area is not an indigenous material to the island and should be reconsidered		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project	Y	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	Y	
Landscape is designed so that it may be maintained in its natural shape and size	Y	
Preserves a variety of existing native trees and shrubs	Y	
Provides for a harmonious setting for the site's structures, parking areas or other construction	Y	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	Y	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	Y	
A variety of species is selected for texture and color	Y	
Provides overall order and continuity of the Landscape plan	Y	
Native plants or plants that have historically been prevalent on the Island are utilized	Y	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	Y	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	Y	
Proper spacing and location for plants to reach their mature size and natural	Y	

shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs	Y	
Large grassed lawn areas encompassing a major portion of the site are avoided	Y	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	Y/N	Proposed pool equipment is in the adjacent use buffer, and would require a variance. Pool Equipment Plan shows a graphic that would indicate a screen fence, although no detail is provided
Ornamentals and Annuals are limited to entrances and other focal points	Y	

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		It is difficult to assess the impact of proposed improvements to the adjacent trees, especially the new plantings, since the existing tree sizes are not shown. Some plantings or new site features may need to be adjusted when the applicant applies for an XDPR.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS
It appears that new pool equipment is proposed to be located in the 20 foot adjacent use buffer. This is not allowed by the LMO.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	1-25-11
Accepted by:	SC
App. #: DR	110007
Meeting Date:	

Applicant/Agent Name: BOB HINCHLEY Company: HINCHLEY'S CHICAGO BAR AND GRILL
 Mailing Address: 36 SOUTH FOREST BEACH City: HIT State: SC Zip: 29928
 Telephone: 843 686 5959 Fax: 843 785 2265 E-mail: _____
 Project Name: HINCHLEY'S DECK Project Address: _____
 Parcel Number [PIN]: R553 018 000 0241 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Proposed Materials





36 South Forest Beach Dr.
843-686-5959

1/24/2011

To: Town of Hilton Head Island Design Review Board

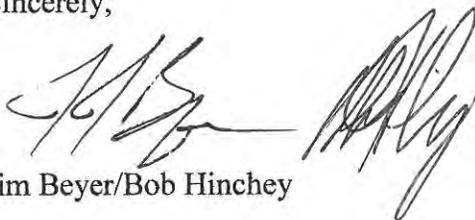
From: Jim Beyer/Bob Hinchey

Re: Outside deck at Hinchey's Chicago Bar and Grill in the Metropolitan Hotel

To Whom It May Concern,

Please accept this letter as a formal declaration and description of the proposed project. This project includes the addition of an outside deck on the side of Hinchey's Restaurant on the Southeastern side of the Metropolitan Hotel that will be used as a waiting area and smoking area. It will also improve the entryway by covering up two sets of stairs that are slightly sloped and could lead to a safety issue. The existing shrubbery that is currently located next to the building will be moved outward between the new deck and the parking lot. We thank you for your consideration of our proposal to make this space functional, safer and more aesthetically pleasing.

Sincerely,



Jim Beyer/Bob Hinchey

Existing Development
Hinchey's/Metropolitan Hotel
SE Side of Building





36
6100-5119/5200-5219/5300-5319/5400-5419/5500-5519

Proposed Deck



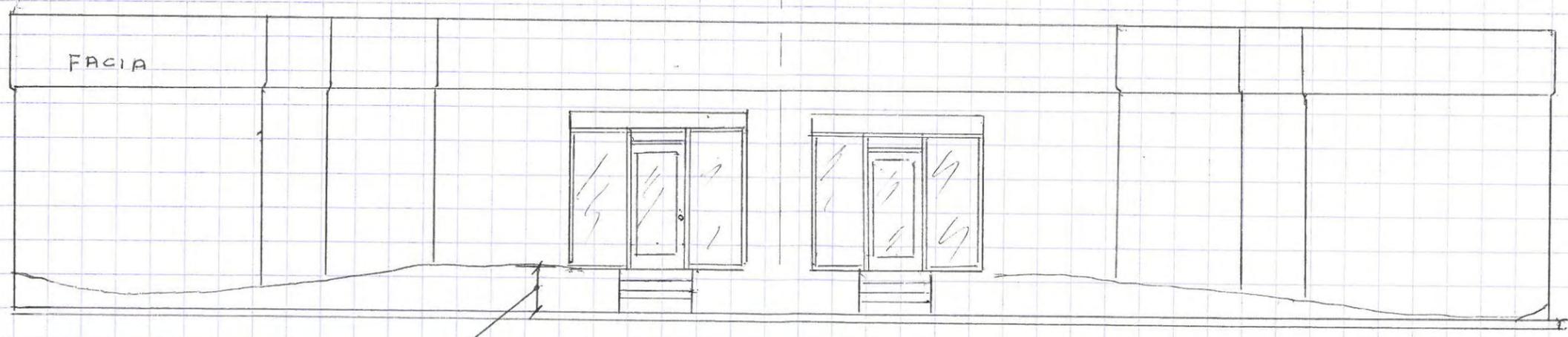
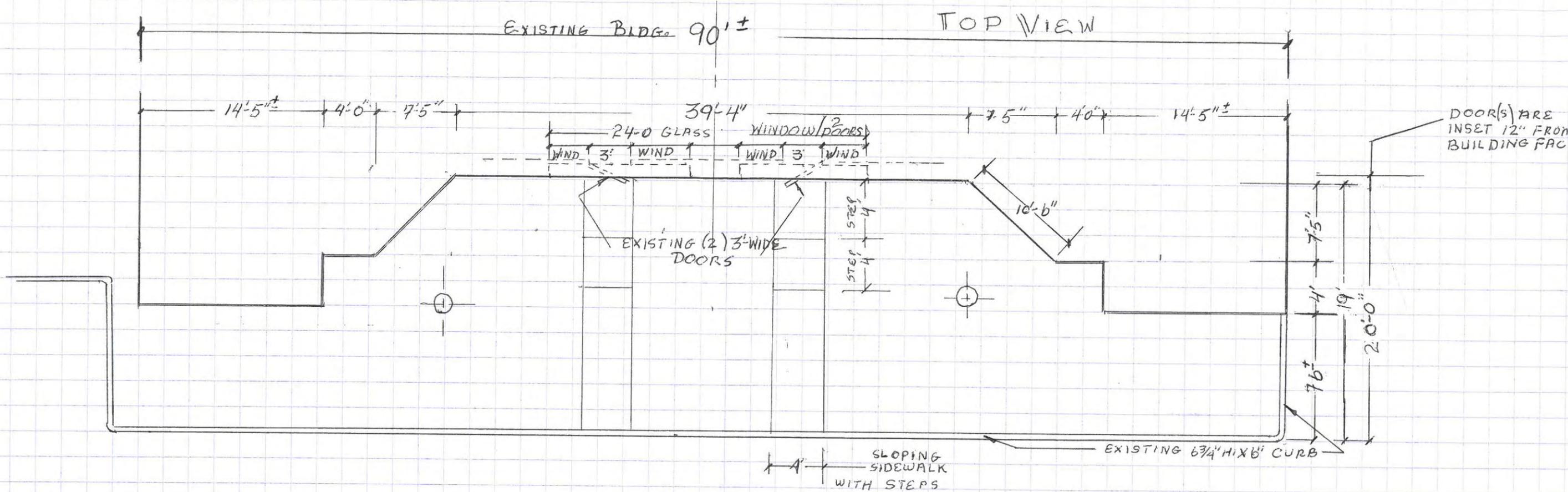
Town of Hilton Head Island
36 South Forest Beach Dr
January 2011




TOWN OF HILTON HEAD ISLAND
300 SOUTH FOREST BEACH
HILTON HEAD ISLAND, S.C. 29928
PHONE (803) 281-5441
CITY CLERK
www.hiltonhead.com

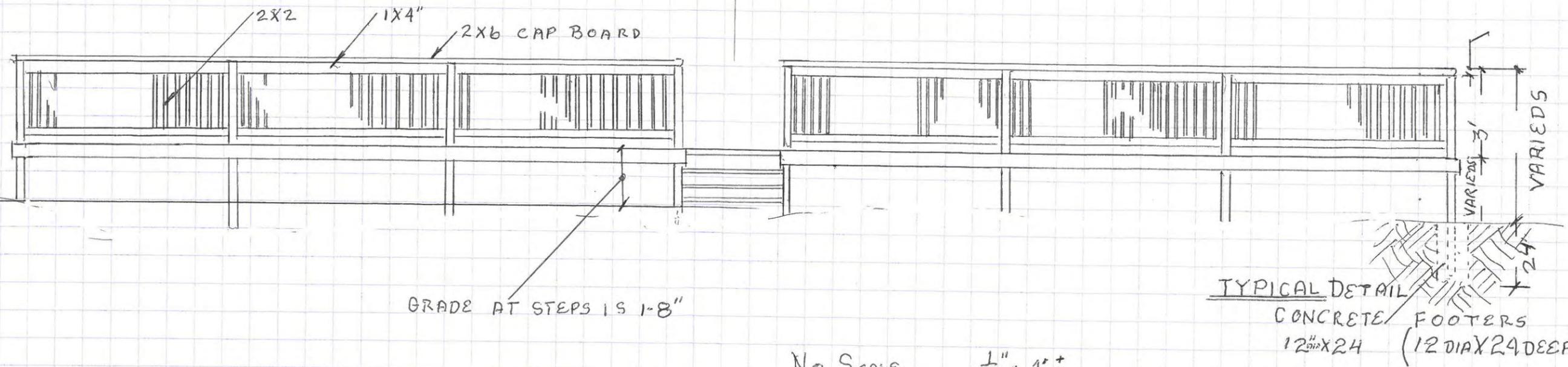
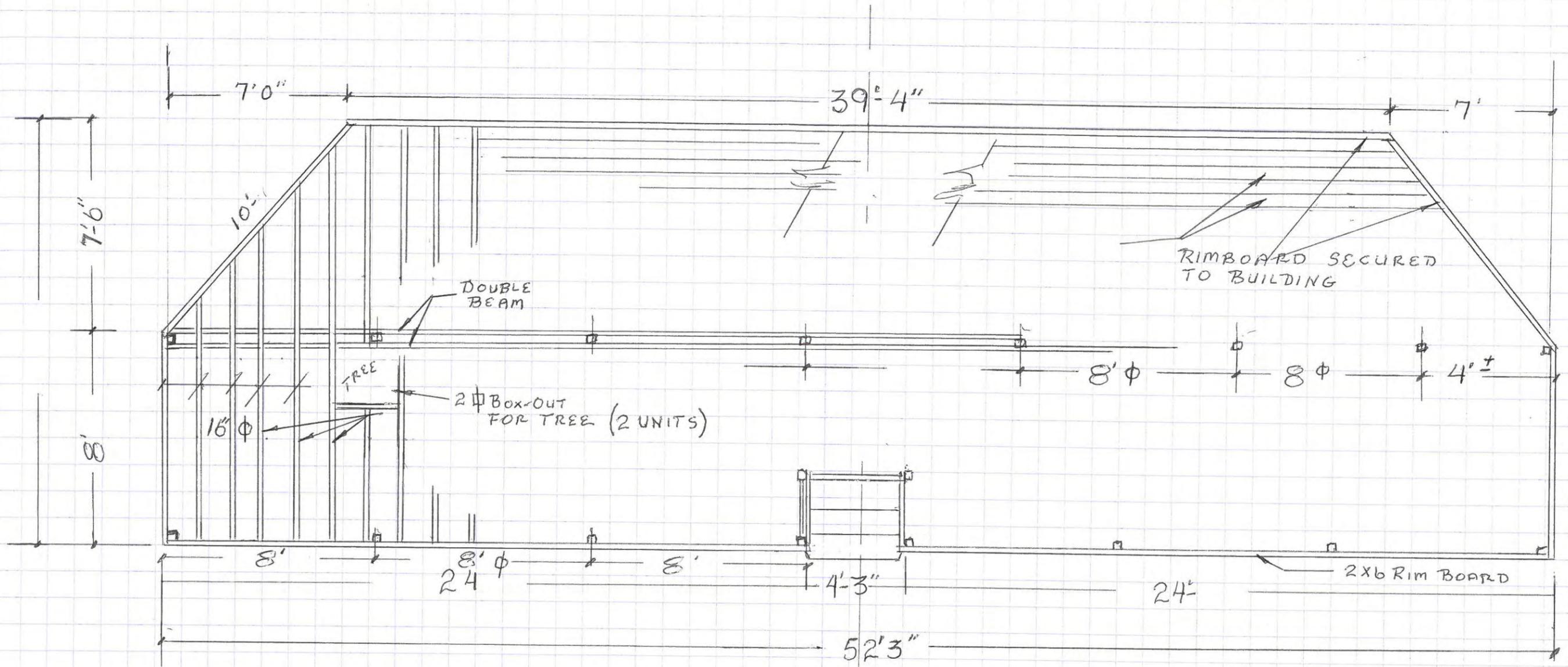


The information on this map has been prepared for your use only. It is not intended to be used as a substitute for a professional survey. The Town of Hilton Head Island is not responsible for any errors or omissions. The Town of Hilton Head Island is not responsible for any damages or injuries resulting from the use of this information.

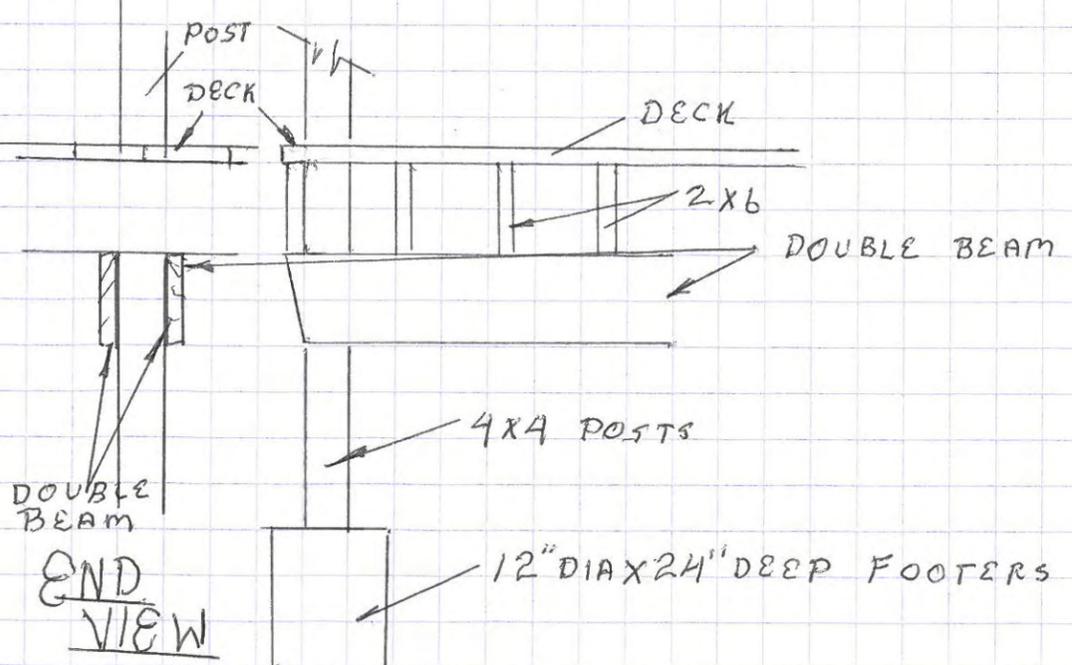
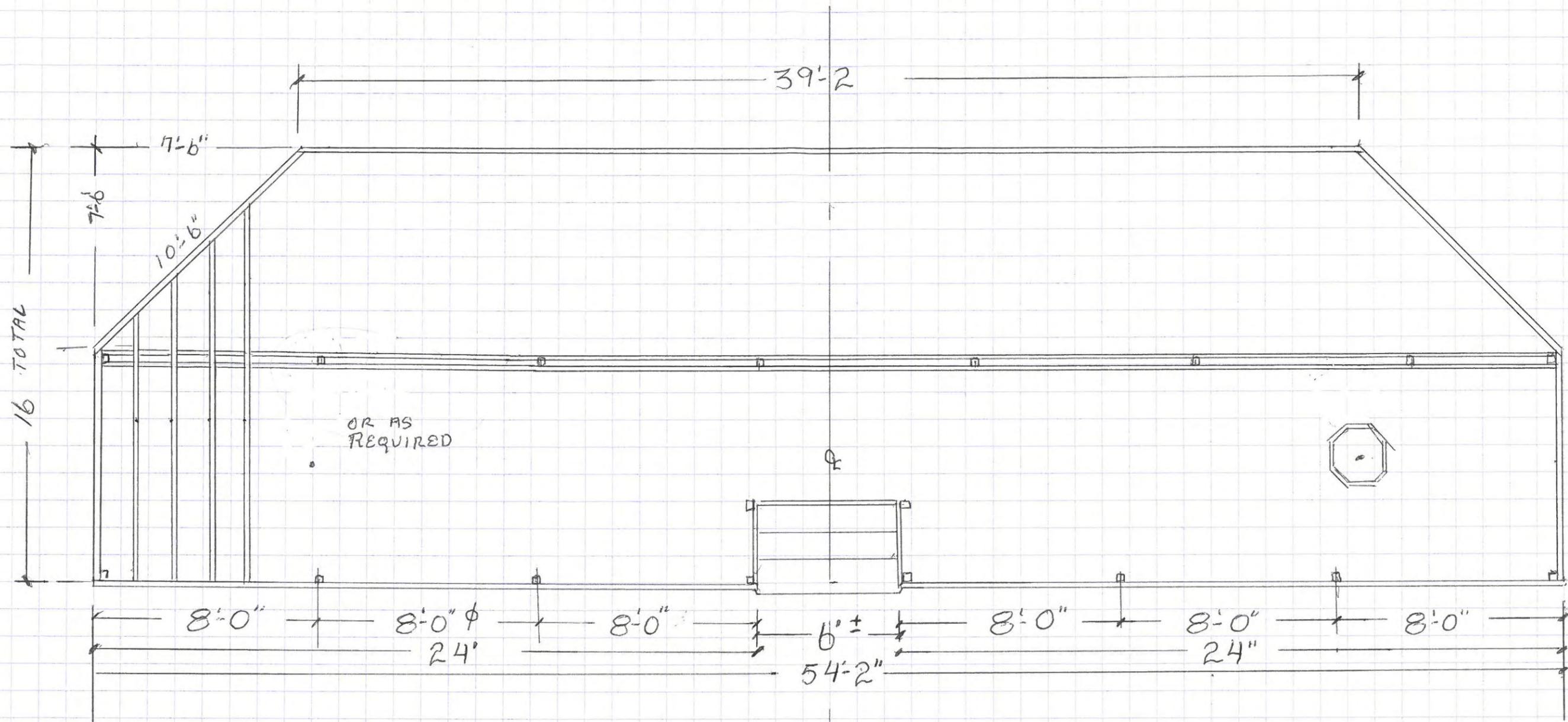


2'-6" RAISE IN ELEV CURB TO BOTTOM OF DOOR

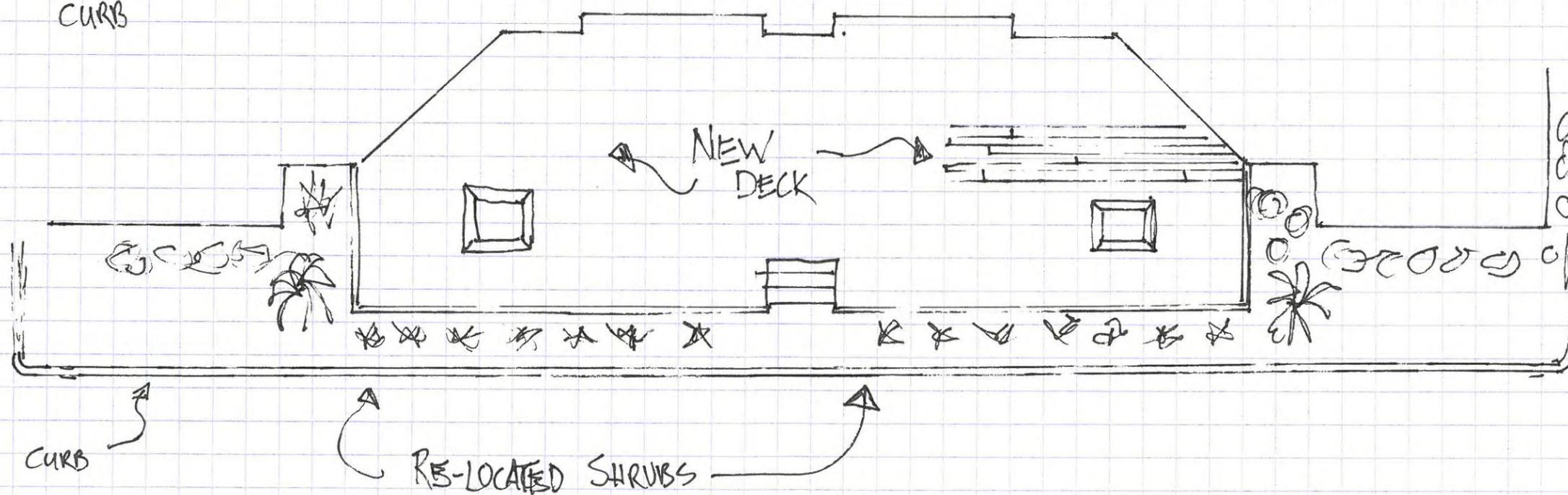
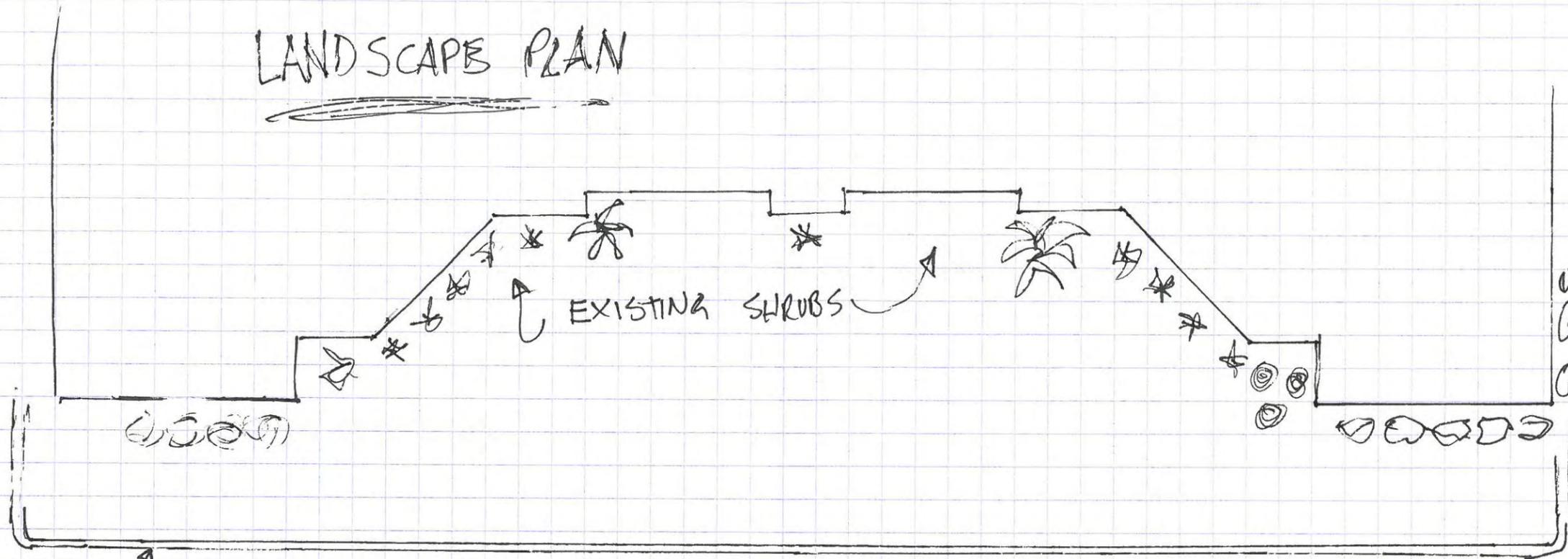
FRONT VIEW



No SCALE $\frac{1}{4}'' = 1' \pm$



LANDSCAPE PLAN





Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>2/2/11</u>
Accepted by:	<u>MR</u>
App. #: DR	<u>110009</u>
Meeting Date:	_____

Applicant/Agent Name: Jenny Adams Company: Kimley-Horn for Verizon
 Mailing Address: 3001 Weston Parkway City: Cary State: NC Zip: 27513
 Telephone: 919-678-4125 Fax: 919-677-2050 E-mail: Jenny.Adams@Kimley-Horn.com
 Project Name: Verizon-Folly Field Project Address: 616 William Hilton Parkway
 Parcel Number [PIN]: R511 008 000 0219 0000
 Zoning District: MMU Overlay District(s): unknown

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

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- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

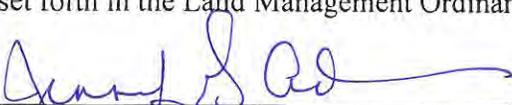
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE *Agent for Verizon*

1/28/11

DATE



Kimley-Horn
and Associates, Inc.

January 28, 2011

Town of Hilton Head
One Town Center Court
Hilton Head, SC 29928
Attention: Mike Roan

■
P.O. Box 33068
Raleigh, North Carolina
27636-3068

RE: Verizon Wireless – Folly Field

Dear Mr. Roan,

Kimley-Horn respectfully submits drawings on behalf of Verizon Wireless for commercial building review from the Town of Hilton Head. A brief summary of the proposed project is provided below:

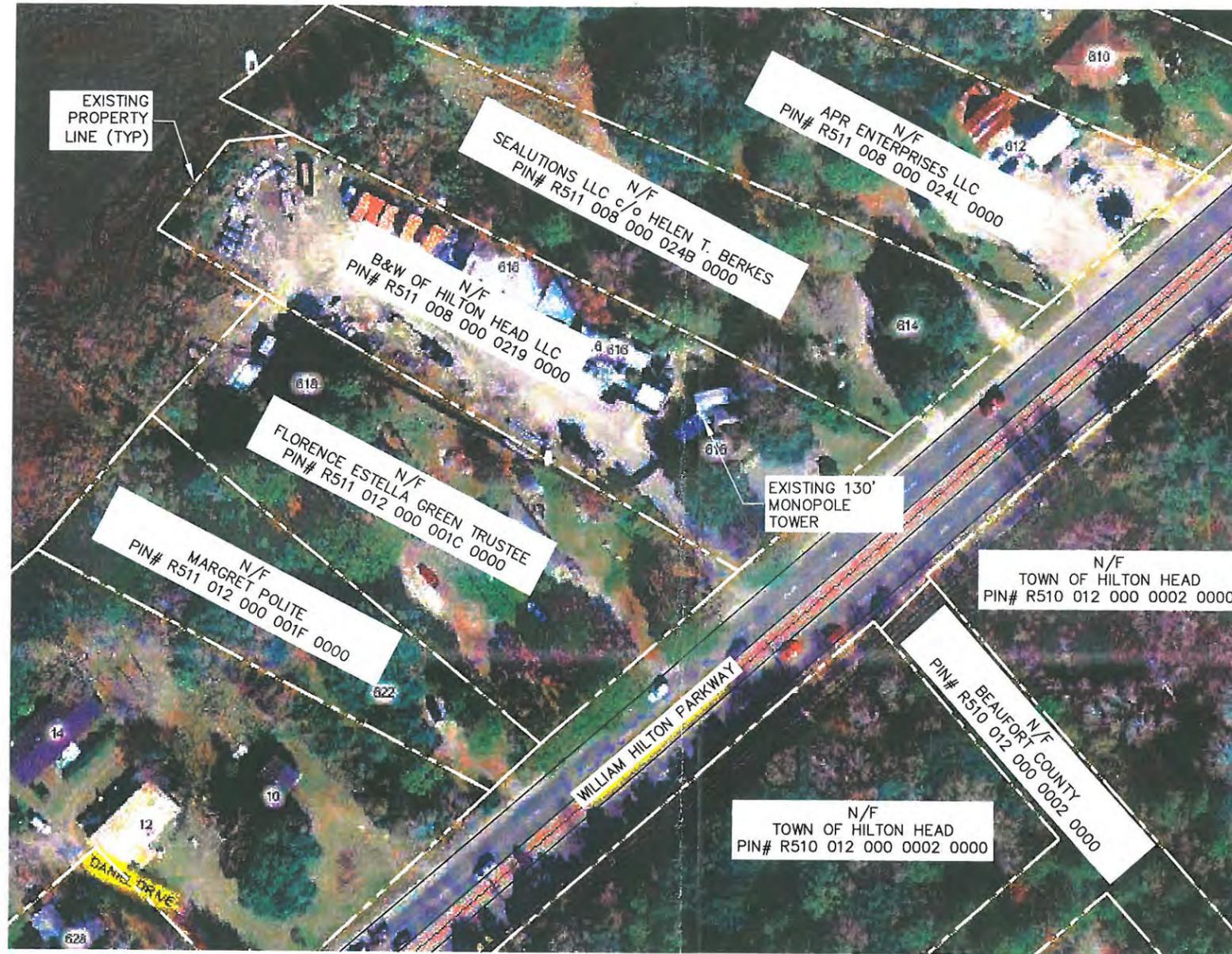
Verizon currently has equipment within an existing fenced compound located at 616 William Hilton Parkway in Hilton Head. Verizon proposes to add three antennas to their existing array located at 110' on the existing 130' Monopole tower. Verizon's equipment on the ground will not change. The additional antennas will not increase the height of the tower.

Upon completion of your review and approval, the contractor will pay any additional fees associated with the review and complete any additional forms or provide signatures required by the Town of Hilton Head. If you have any additional questions, please do not hesitate to contact me by phone (919-677-2000) or e-mail (Jenny.Adams@kimley-horn.com).

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.
Jennifer G. Adams
Permitting Coordinator

Drawing name: K:\RAL_Wireless\000Verizon\Charleston LTE - 019472226\Follyfield - 019472226\Follyfield - 019472226\Follyfield.dwg C1 Jan 17, 2011 1:50pm by: jenny.odams



1 OVERALL SITE PLAN
C1 SCALE : 1" = 100'

SURVEY NOTE:
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
 2. THE OVERALL SITE PLAN CREATED USING BEAUFORT COUNTY GIS.



PROJECT INFORMATION:
 VERIZON NAME: FOLLY FIELD
 616 WILLIAM HILTON PARKWAY
 HILTON HEAD, SC 29938

CURRENT ISSUE DATE:
 01/17/11

ISSUED FOR:
 CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

--	--	--	--

CONSULTANT:

 Kimley-Horn
 and Associates, Inc.
 NC License F-0102
 P.O. Box 33068
 Raleigh, NC 27636-3068

CONSULTANT:

DRAWN BY: CHK: APV:

JGA	JGA	JGA
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LICENSER:

FOR ILLUSTRATIVE PURPOSES ONLY- NO SIGNATURE REQUIRED

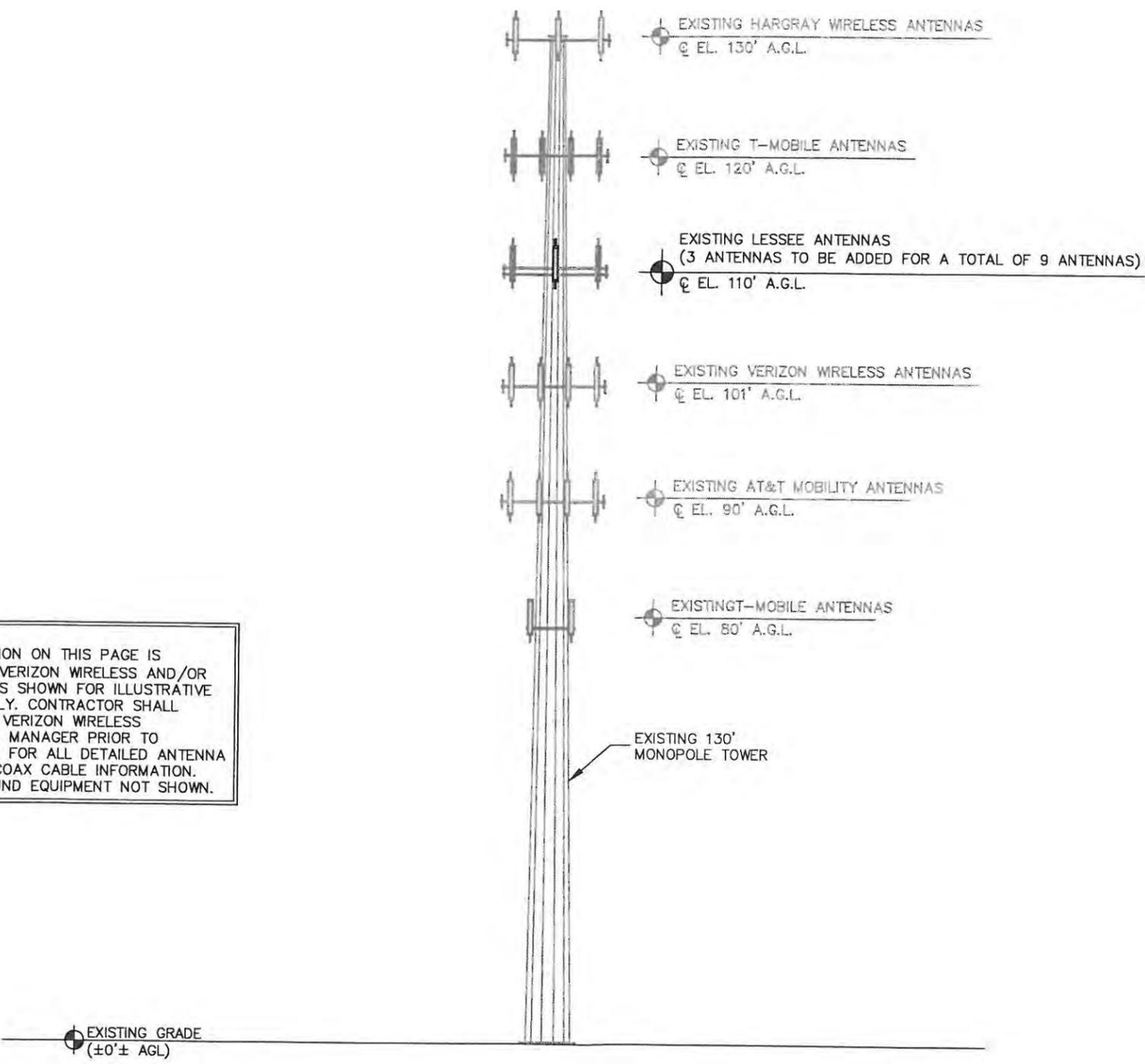
SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER: REVISION:

C1	0
019472226	

Drawing name: K:\RAL_Wireless\000Verizon\Chorfeaston LTE - 019472226\Follyfield - 019472226\CAD\Folly Field.dwg C2 Jan 17, 2011 1:50pm by: jenny.cadma

NOTE:
 ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA MOUNT, AND COAX CABLE INFORMATION. EXISTING GROUND EQUIPMENT NOT SHOWN.



1
C2

MONOPOLE TOWER ELEVATION

NOT TO SCALE



PROJECT INFORMATION:
 VERIZON NAME: FOLLY FIELD
 616 WILLIAM HILTON PARKWAY
 HILTON HEAD, SC 29938

CURRENT ISSUE DATE:
 01/17/11

ISSUED FOR:
CONSTRUCTION

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:

 Kimley-Horn
 and Associates, Inc.
 NC License F-0102
 P.O. Box 33068
 Raleigh, NC 27636-3068

CONSULTANT:
 (Empty box for consultant signature)

DRAWN BY: CHK.: APV.:
 JGA JGA JGA

LICENSER:
FOR ILLUSTRATIVE PURPOSES ONLY - NO SIGNATURE REQUIRED

SHEET TITLE:
TOWER ELEVATION

SHEET NUMBER: REVISION:
C2 0
 019472226



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>2/2/11</u>
Accepted by:	<u>me</u>
App. #: DR	<u>110008</u>
Meeting Date:	_____

Applicant/Agent Name: Jenny Adams Company: Kimley-Horn for Verizon
 Mailing Address: 3001 Weston Parkway City: Cary State: NC Zip: 27513
 Telephone: 919-678-4125 Fax: 919-677-2050 E-mail: Jenny.Adams@Kimley-Horn.com
 Project Name: Verizon-Indigo Run Project Address: Butterfly Road
 Parcel Number [PIN]: R510007000000920000
 Zoning District: unknown Overlay District(s): unknown

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE Agent for Verizon

1/28/11

DATE



Kimley-Horn
and Associates, Inc.

January 28, 2011

Town of Hilton Head
One Town Center Court
Hilton Head, SC 29928
Attention: Mike Roan

P.O. Box 33068
Raleigh, North Carolina
27636-3068

RE: Verizon Wireless – Indigo Run

Dear Mr. Roan,

Kimley-Horn respectfully submits drawings on behalf of Verizon Wireless for commercial building review from the Town of Hilton Head. A brief summary of the proposed project is provided below:

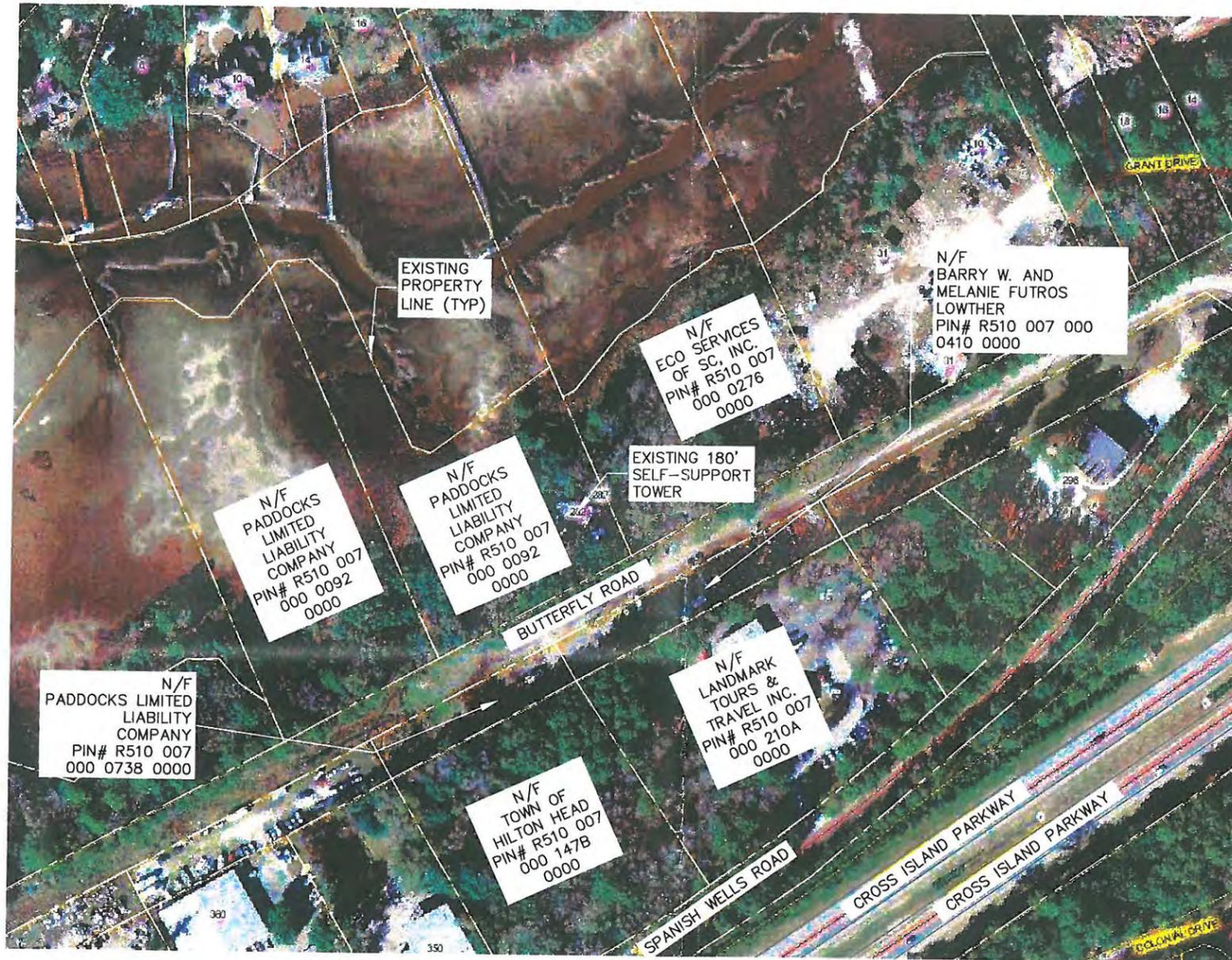
Verizon currently has equipment within an existing fenced compound located on Butterfly Road in Hilton Head. Verizon proposes to add three antennas to their existing array located at 158' on the existing 180' Self-Support tower. Verizon's equipment on the ground will not change. The additional antennas will not increase the height of the tower

Upon completion of your review and approval, the contractor will pay any additional fees associated with the review and complete any additional forms or provide signatures required by the Town of Hilton Head. If you have any additional questions, please do not hesitate to contact me by phone (919-677-2000) or e-mail (Jenny.Adams@kimley-horn.com).

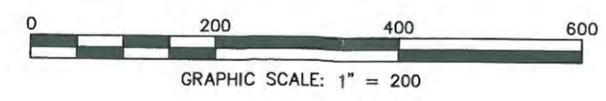
Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.
Jennifer G. Adams
Permitting Coordinator

Drawing name: K:\RAL_Wireless\000Verizon\Charleston LTE - 019472226\Indigo Run - 019472226\CAD\Indigo Run.dwg C1 Jan 17, 2011 11:49am by: jenny.odams



1 OVERALL SITE PLAN
C1 SCALE : 1" = 200'



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. THE OVERALL SITE PLAN CREATED USING BEAUFORT COUNTY GIS.



PROJECT INFORMATION:

VERIZON NAME: INDIGO RUN
 BUTTERFLY ROAD
 HILTON HEAD, SC 29926

CURRENT ISSUE DATE:

01/17/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

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CONSULTANT:

**Kimley-Horn
 and Associates, Inc.**
 NC License F-0102
 P.O. Box 33068
 Raleigh, NC 27636-3068

CONSULTANT:

DRAWN BY: CHK.: APV.:

JGA	JGA	JGA
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 PURPOSES ONLY-
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SHEET TITLE:

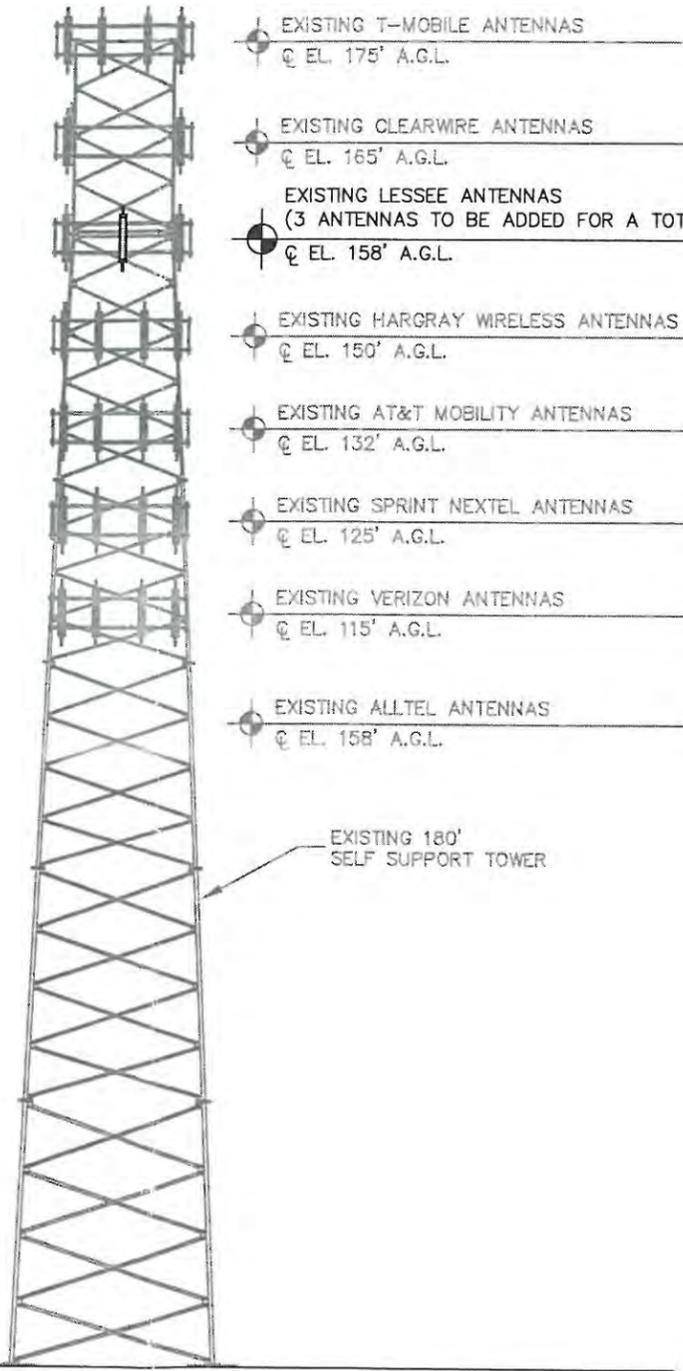
OVERALL SITE
 PLAN

SHEET NUMBER: REVISION:

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Drawing name: K:\PAL_Wireless\000\Verizon\Charleston LTE - 019472226\Indigo Run - 019472226\CAD\CD\Indigo Run.dwg C2 Jan 17, 2011 2:03pm by: jenny.odams

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- EXISTING T-MOBILE ANTENNAS
 Ⓢ EL. 175' A.G.L.
- EXISTING CLEARWIRE ANTENNAS
 Ⓢ EL. 165' A.G.L.
- EXISTING LESSEE ANTENNAS
 (3 ANTENNAS TO BE ADDED FOR A TOTAL OF 9 ANTENNAS)
 Ⓢ EL. 158' A.G.L.
- EXISTING HARGRAY WIRELESS ANTENNAS
 Ⓢ EL. 150' A.G.L.
- EXISTING AT&T MOBILITY ANTENNAS
 Ⓢ EL. 132' A.G.L.
- EXISTING SPRINT NEXTEL ANTENNAS
 Ⓢ EL. 125' A.G.L.
- EXISTING VERIZON ANTENNAS
 Ⓢ EL. 115' A.G.L.
- EXISTING ALLTEL ANTENNAS
 Ⓢ EL. 158' A.G.L.

EXISTING GRADE
 (±0'± A.G.L.)

1
 C2

SELF-SUPPORT TOWER ELEVATION

NOT TO SCALE



PROJECT INFORMATION:

VERIZON NAME: INDIGO RUN
 BUTTERFLY ROAD
 HILTON HEAD, SC 29926

CURRENT ISSUE DATE:
 01/17/11

ISSUED FOR:
 CONSTRUCTION

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:

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 and Associates, Inc.
 NC License F-0102
 P.O. Box 33068
 Raleigh, NC 27636-3068

CONSULTANT:

DRAWN BY: CHK.: APV.:
 JGA JGA JGA

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