



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, March 8, 2011

1:15 p.m. – Benjamin M. Racusin Council Chambers

REVISED AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** - Meeting of February 22, 2011
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A) DR110007- Hinchey's Chicago Bar and Grill Deck- Alteration/ Addition
 - B) DR110014- 1400 Main Street- Minor External Change
 - C) DR110015- 1301 Main Street- Minor External Change
 - D) DR110016- 10 Humane Way- Addition Alteration
 - E) DR110017- Bomborals Grille (Coligny Plaza)- Addition Alteration
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

Town of Hilton Head Island
DESIGN REVIEW BOARD
Minutes of the Tuesday, February 22, 2011 Meeting
1:15pm – Benjamin M. Racusin Council Chambers

DRAFT

Board Members Present: Chairman Tom Parker, Vice Chairman Todd Theodore,
Galen Smith and Scott Sodemann

Board Members Absent: Ted Behling, Jennifer Moffett and Deborah Welch

Council Members Present: Bill Ferguson

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Plans Review Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Chairman Parker called the meeting to order at 1:15pm.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

The agenda was **approved** as presented by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the February 8, 2011 meeting were **approved** as amended by general consent.

6. STAFF REPORT

None

7. BOARD BUSINESS

None

8. UNFINISHED BUSINESS

None

9. NEW BUSINESS

Ocean Walk Villas Phasing Plan – DR070089

Mr. Roan stated that this application was originally submitted in 2007. The project has been pared back significantly since that time. Today's submission is a further attempt to move forward with the improvements that were originally approved by the Board.

Today's submission is more a function of value engineering. Based on the applicant's financial constraints, they are proposing to replace all of the windows and all of the railings that are not encompassed by the balconies. In general, this work will entail the removal of all of the existing

outward wall windows and the adjacent stucco. Details and the color scheme are in keeping with the original approval.

In addition, and based on financial issues, the applicant is proposing to complete the work over a period of three to four years. The first phase (to the front of the building facing Lemoyne Avenue) is proposed to take place spring/summer 2011; the second phase (to the South side facing Xanadu Villas and South Forest Beach Road) is proposed to take place spring 2012; the third and fourth phases (to the rear and the far side of the project) are proposed to take place fall 2012 through winter/spring 2013.

The staff is concerned that given the aggressive change in the approved color palette, and the historical value-engineering of this project, there is the potential for only partial completion of this project. And, even on the proposed schedule, there will be a noticeable disconnect between completed and future phases for an extended period of time. Based on these concerns, staff recommends denial of today's submission. Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Russell Gallagher, resident, and member of the Ocean Walk Villas Property Owners Association, presented statements in support of the project and the proposed phasing schedule. Mr. Bruce Barstow, board president, also presented statements in support of the proposed phasing schedule. The Board and the applicants briefly reviewed the physical problems associated with this project versus the cosmetic issues.

The Board agreed with staff's concerns regarding the proposed four-phased schedule. This is not an appropriate solution for the completion of this work. The Board recommended that the applicant concentrate first on making necessary repairs to the project. The applicant can maintain the existing color scheme and deal with the cosmetic issues (painting the new color palette) at a later time. The Board also recommended a reduction in the phasing schedule from four phases to two phases for the completion of this work. The Board requested that the applicant return when additional information on this project is available for review.

The applicants agreed and thanked the Board for their guidance. No action taken was taken on today's submission.

The Flatbread Grill – Minor External Change – DR110011

Mr. Roan introduced the application and stated its location, Beach Market Center. The applicant is proposing to install an overhead awning to an existing eve structure on the southern elevation of the building.

The proposed awning will be black canvas to match the existing awnings in the plaza elevation. The purpose will be to provide covered outdoor dining over an existing deck. The awning will have an aluminum frame and aluminum posts.

Mr. Roan presented an in-depth review of the application. The staff recommended that all details match between the proposed awning and the existing awnings. The staff also recommended that the new awning have an end canvas to hide the tubing and the framing. The applicant has not specified a finish on the aluminum. The staff stated that the posts should be painted.

Separately, the applicant has stated that they would like to remove an existing pine tree located 5-ft. from the building. This request will need to be approved by the Natural Resources Department. If the Natural Resources Department denies this request, the applicant will need to preserve this tree by wrapping the awning around the base of the tree. The applicant was not

present at today's meeting for comments or questions from the Board. At the completion of the Board's discussion, Chairman Parker requested that a motion on the application be made.

Mr. Sodemann made a **motion** to **approve** the Flatbread Grill application with the following conditions: (1) the awning details shall match the previously approved awnings in the area; (2) the vertical tube posts shall be painted white to match the existing railing; (3) any lighting that may be installed shall be concealed from view. Mr. Theodore **seconded** the motion and the motion **passed** with a vote of 4-0-0.

Broad Creek Marina Eco-Tourism Park Zip Line – Conceptual New Dev. – DR110012

Mr. Roan introduced the application and stated its location. The Broad Creek Eco-Tourism Park is intended to create a low impact waterfront park offering several adventure and recreational activities that will be new to Hilton Head Island.

Today's proposed conceptual application is an expansion of the existing waterfront mixed-use activities at Broad Creek Marina. A zip line canopy tour is planned for the initial activity. The zip line canopy tour is designed for a participant to enjoy the aerial beauty of the site's trees and views of the Broad Creek area. The participant is attached by harness to a pulley and propelled by gravity to traverse from the top to the bottom of various tower stations on a suspended cable. If the zip line concept is successful, other activities may be added including outdoor dining and an entertainment pavilion.

Mr. Roan provided an in-depth review of the application including specifics regarding the site and details regarding the towers. The applicant will need to work closely with the Natural Resources Department on the project. A landscaping plan and construction drawings of the towers will need to be approved at a later time. The staff recommends approval of the conceptual submission with the condition that the Natural Resources issues are resolved. Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Truitt Rabun, Truitt Rabun Associates, presented statements in support of the application. The applicant and the Board discussed the site, details regarding the towers, and next steps for the project. The Board stated that the project should be treated carefully so that the towers blend well with their surrounding. At the completion of the discussion, Chairman Parker requested that a motion be made on the conceptual application.

Vice Chairman Theodore made a **motion** to **approve** the Conceptual Broad Creek Marina Eco-Tourism Park Zip Line application with the following recommendations: (1) the applicant shall look at the finish of the structures to make sure that they blend well with the tree canopies; (2) the applicant shall give careful consideration to the issues of circulation and traffic; (3) the applicant shall return with working drawings. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 4-0-0.

Remy's Outdoor Service Areas – DR110013

Mr. Roan introduced the application and stated its location. The staff presented an in-depth review of the project including the site plan. The applicant is proposing to add a couple of service yards. Mr. Roan described the location of the dumpster(s), the parking spaces, and the pad for the walk in cooler. Mr. Roan reviewed several photos of the site and described the parking area and the walk-in cooler. The applicant would like to do a basic five quarter louver

dumpster enclosure on all four sides, with 6 x 6 posts, with a gate to match. The walk-in cooler and the landscaping were discussed. The staff recommends approval with the condition that the dumpster location shall be painted Charleston Green; and the landscape should be 15-gallon or higher broad leaf evergreen material on all exposed sides; and that the dumpster fence should be painted to match the building with the same planting requirement.

The applicant was not present at today's meeting for questions or comments from the Board. The Board discussed the project and at the completion of the discussion, Chairman Parker requested that a motion be made.

Vice Chairman Theodore made a **motion to approve** the Remy's Outdoor Service Area application with the following conditions: (1) the dumpster screen shall be painted Charleston Green; (2) the excess asphalt to the right of the dumpster screened area shall be removed; (3) additional landscaping shall be added to all three sides of the dumpster with 15-gallon or greater wax myrtles or Ligustrum shrub; (4) the applicant shall make sure that the front of the dumpster has screen gates on them; (5) the walk-in cooler shall also be screened with a similar type fence and finished to match the building; (6) the outside shall be buffered with 15-gallon or greater wax myrtles or Ligustrum shrub; (7) the applicant shall make sure that if there is any outdoor storage area adjacent to the walk-in cooler, it is to be incorporated into the screen fence as well; (8) the height of the screen fence shall be at least as high as the walk-in cooler. Mr. Sodemann **seconded** the motion and the motion **passed** with a vote of 4-0-0.

10. APPEARANCE BY CITIZENS

None

11. ADJOURNMENT

The meeting was adjourned at 1:45p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Tom Parker
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>1-25-11</u>
Accepted by:	<u>SC</u>
App. #: DR	<u>110007</u>
Meeting Date:	_____

Applicant/Agent Name: BOB HINCHEY Company: HINCHEY'S CHICAGO BAR AND GRILL
 Mailing Address: 36 SOUTH FOREST BEACH City: HIT State: SC Zip: 29928
 Telephone: 843 686 5959 Fax: 843 785 2265 E-mail: _____
 Project Name: HINCHEY'S DECK Project Address: _____
 Parcel Number [PIN]: R553 018 000 0241 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number

- Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Proposed Materials





36 South Forest Beach Dr.
843-686-5959

1/24/2011

To: Town of Hilton Head Island Design Review Board

From: Jim Beyer/Bob Hinchey

Re: Outside deck at Hinchey's Chicago Bar and Grill in the Metropolitan Hotel

To Whom It May Concern,

Please accept this letter as a formal declaration and description of the proposed project. This project includes the addition of an outside deck on the side of Hinchey's Restaurant on the Southeastern side of the Metropolitan Hotel that will be used as a waiting area and smoking area. It will also improve the entryway by covering up two sets of stairs that are slightly sloped and could lead to a safety issue. The existing shrubbery that is currently located next to the building will be moved outward between the new deck and the parking lot. We thank you for your consideration of our proposal to make this space functional, safer and more aesthetically pleasing.

Sincerely,


Jim Beyer/Bob Hinchey

Existing Development
Hinchey's/Metropolitan Hotel
SE Side of Building





86
6100-5419/6200-5218/5300-5319/5400-5419/5500-5519

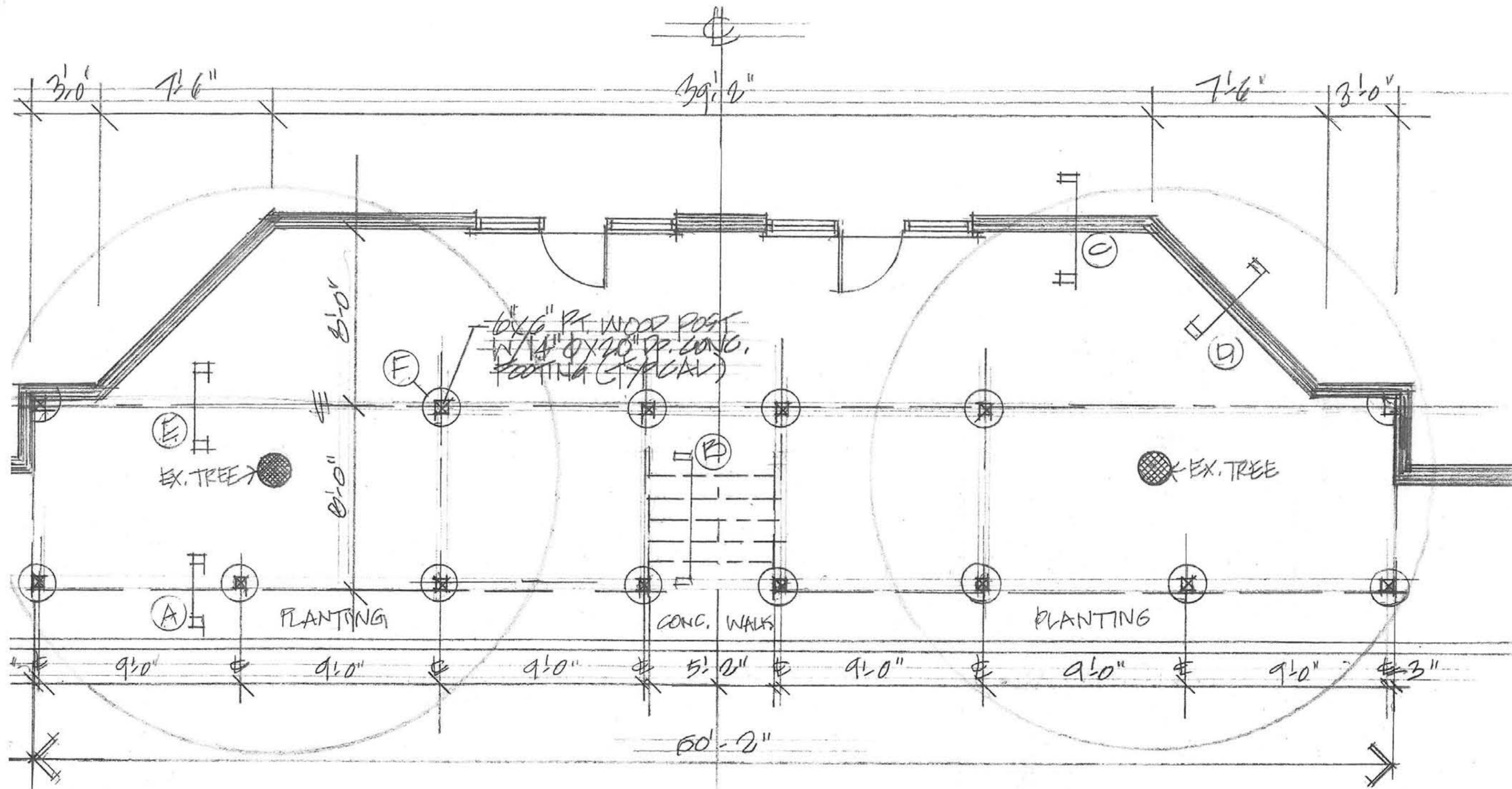
Proposed Deck



Town of Hilton Head Island
36 South Forest Beach Dr
January 2011



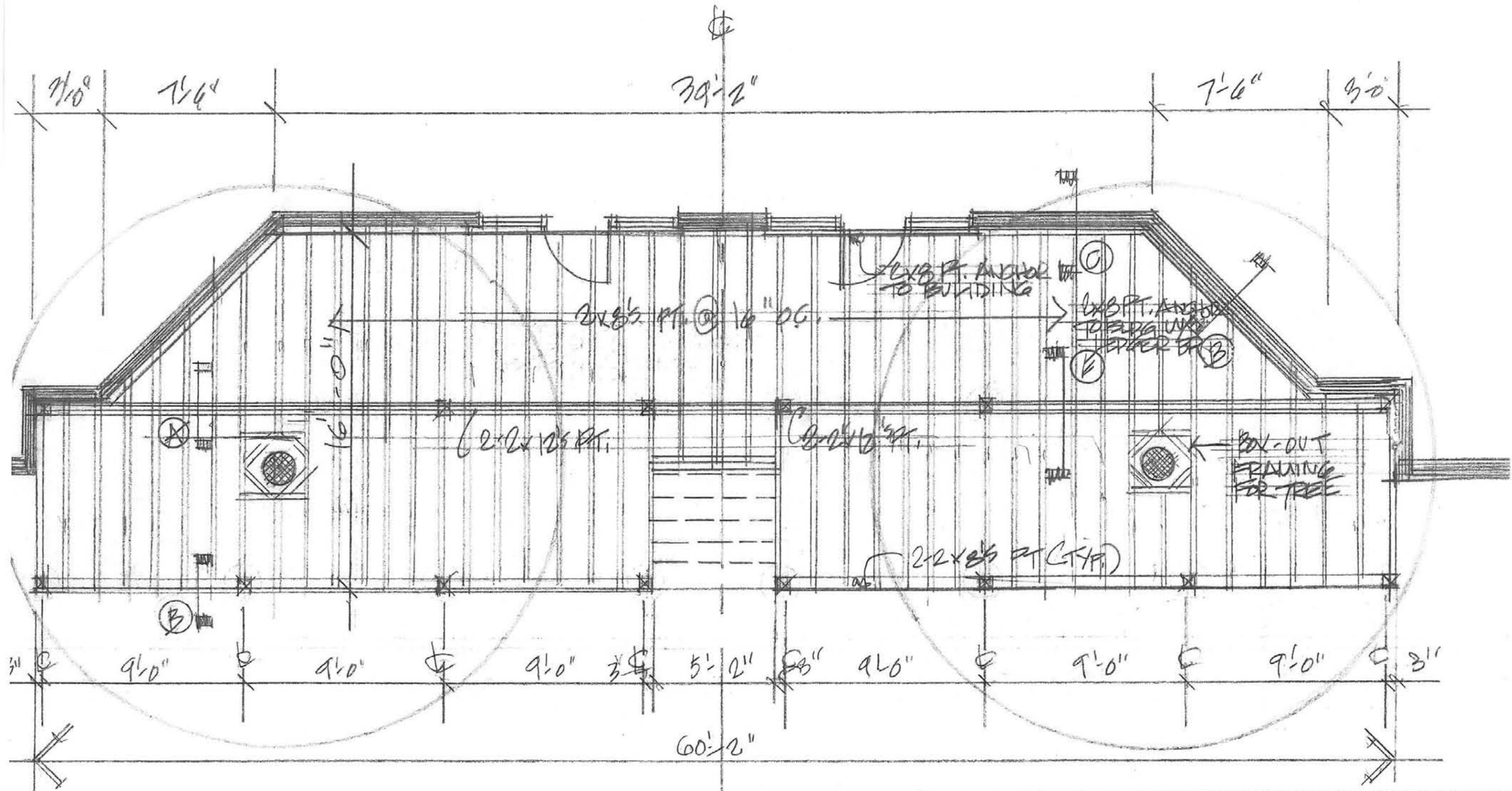
The information on this map is for informational purposes only. It is not intended to be used for any other purpose. The information on this map is not a warranty, representation, or contract. The information on this map is not a guarantee of accuracy. The information on this map is not a guarantee of performance. The information on this map is not a guarantee of results. The information on this map is not a guarantee of any other kind.



FOUNDATION PLAN 1/4" = 1'-0"

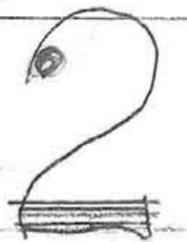
HINCHERY'S CHICAGO OFFICE
 AT THE METROPOLITAN HOTEL
 SOUTH FOREST BEACH, ILL
 WILLIAM VITO ARCHITECT
 TEL: 845.683.2595 02.15.11

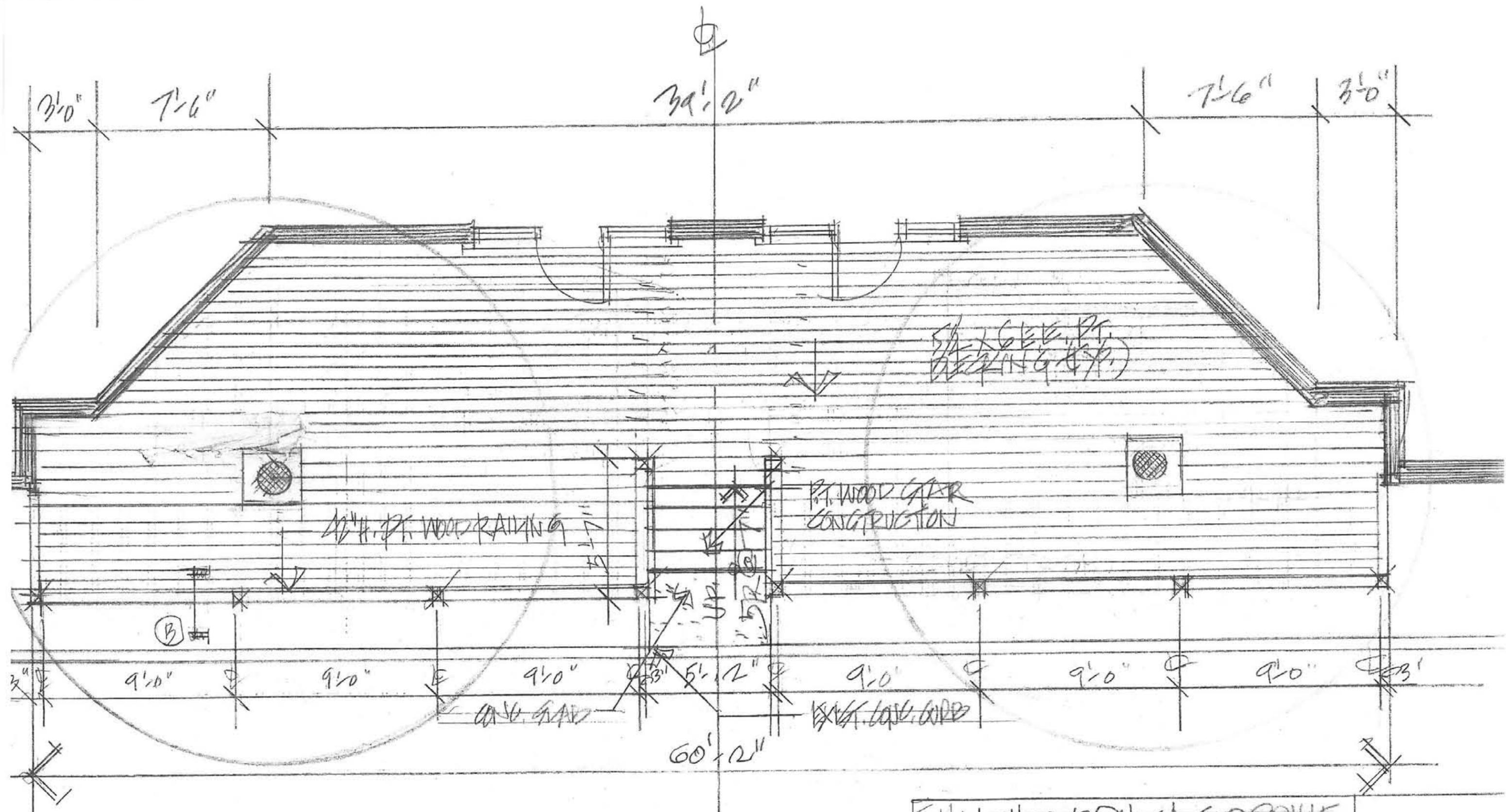




DECK FRAMING PLAN 1/4" = 1'-0"

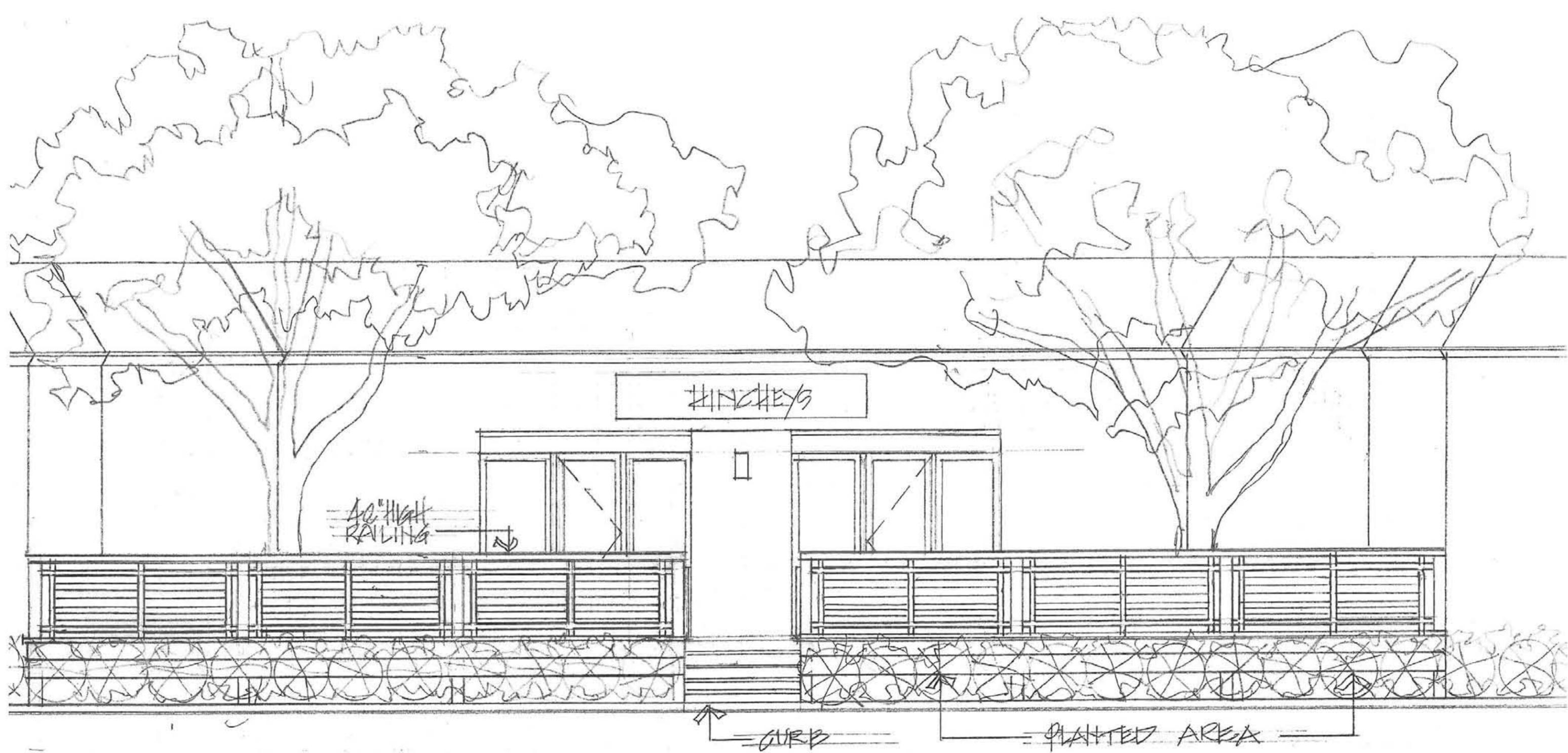
HINCHEY'S CHICAGO GRILLE
 AT THE METROPOLITAN HOTEL
 SOUTH FOREST BEACH, HI
 WILLIAM VITTO ARCHITECT
 TEL: 843: 699-2595 02.15.11





EXTERIOR DECK PLAN $\frac{1}{4}'' = 1'-0''$

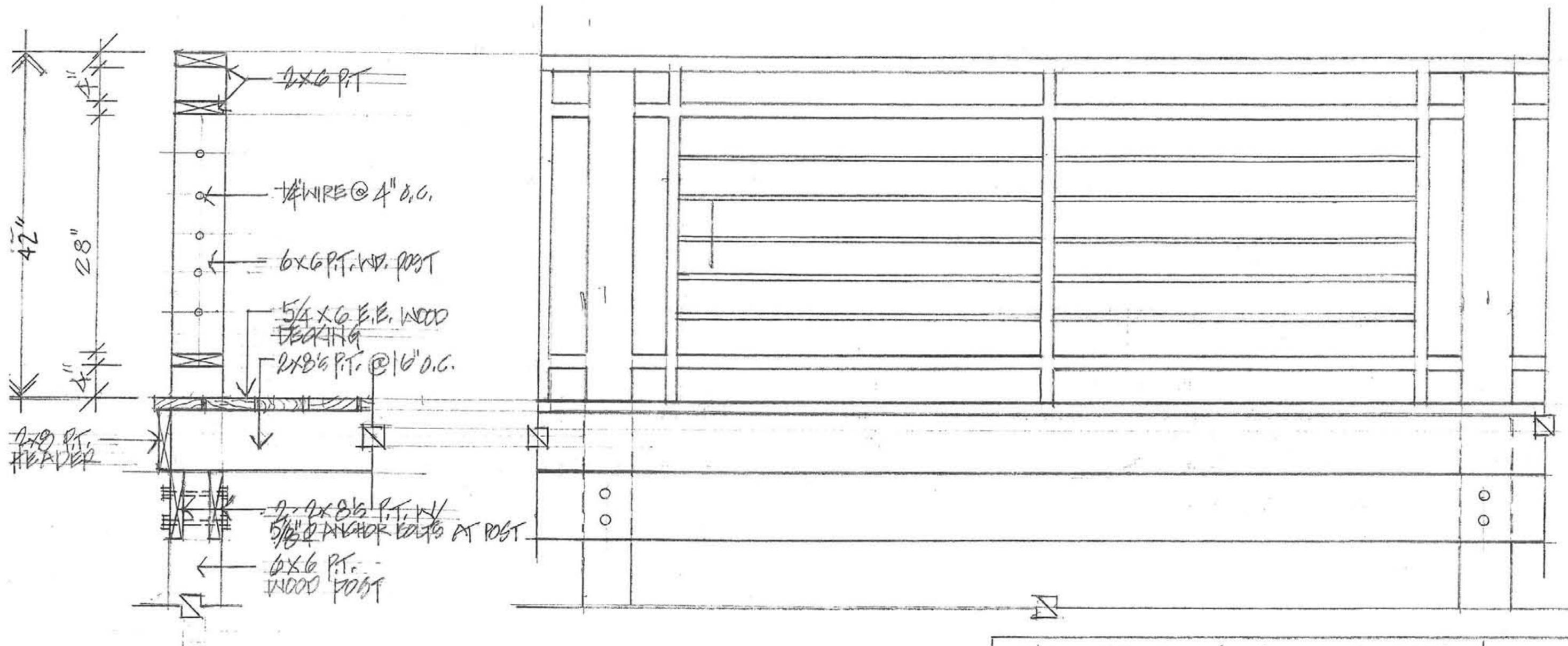
HINCHERY & CHICAGO GRILLE
 AT THE METROPOLITAN HOTEL
 SOUTH FOREST BEACH, FLA
 WILLIAM VITTO ARCHITECT
 TEL: 848.643.2595 02.15.11



SOUTH FOREST BEACH ELEVATION: 1/4" = 1'-0"

HINCHEY'S CHICAGO GRILLE
 AT THE METROPOLITAN HOTEL
 SOUTH FOREST BEACH, H.H.I.
 WILLIAM VITTO / ARCHITECT
 TEL.: 843.683-2515 02.15.11

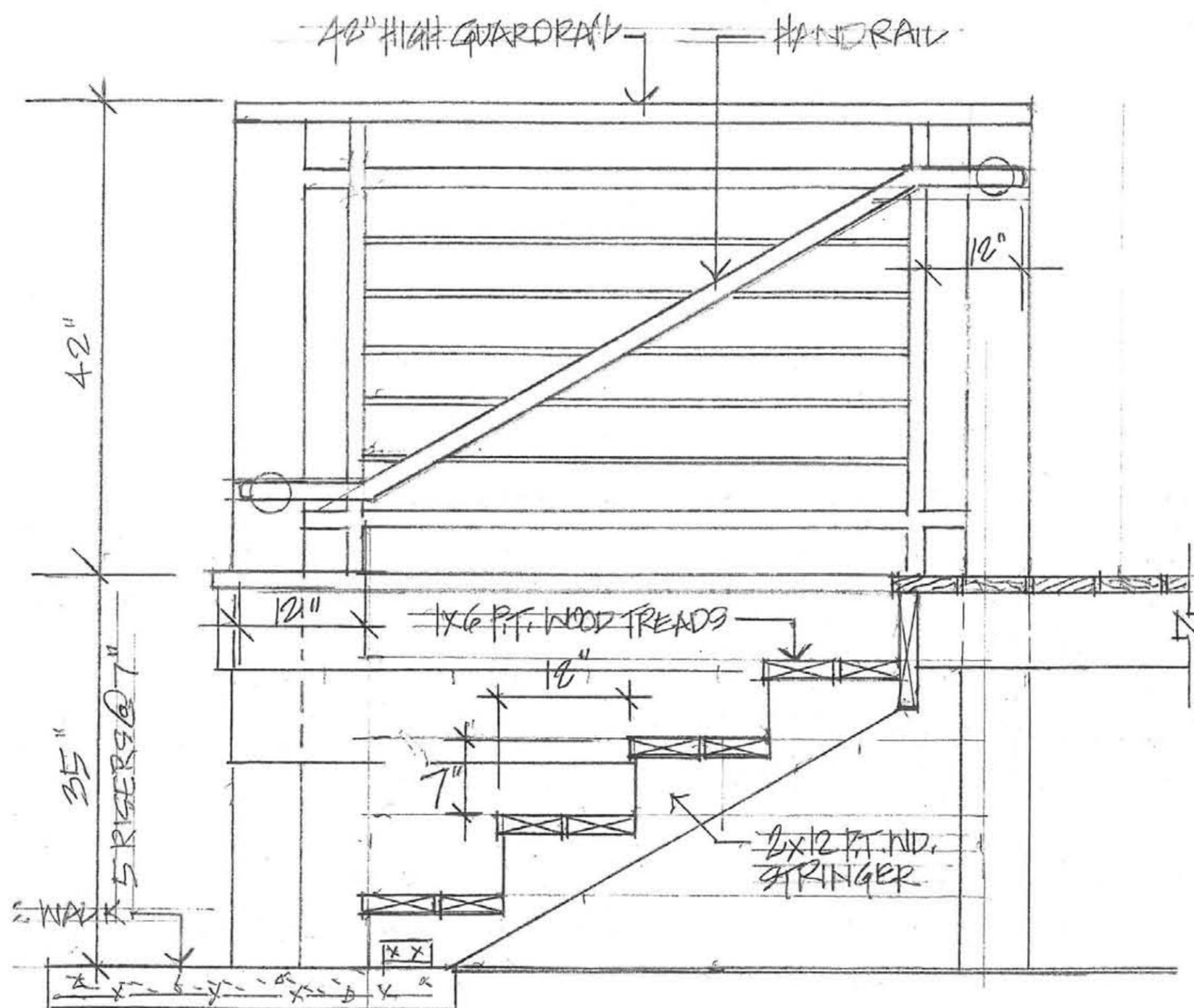




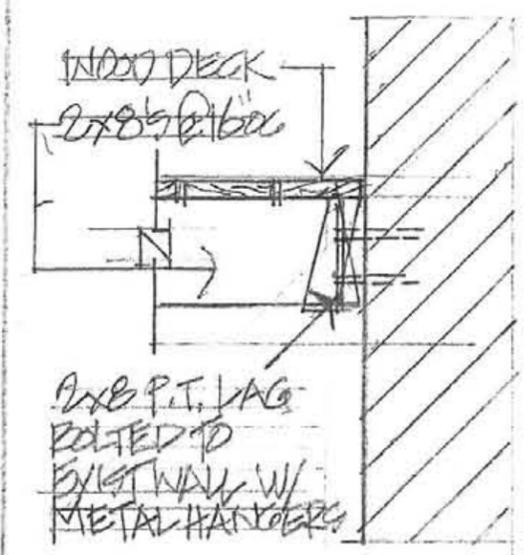
RAILING DETAIL 1"=1'-0"

RAILING ELEVATION 1"=1'-0"

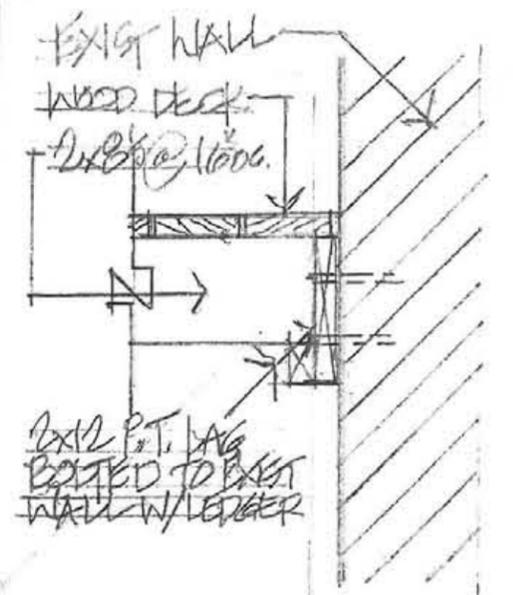
HINCHEY'S CHICAGO GRILLE
 AT THE METROPOLITAN HOTEL
 SOUTH FOREST BEACH, H.H.I.
 WILLIAM VITTO/ARCHITECT
 TEL: 843.683.2595 02.15.11



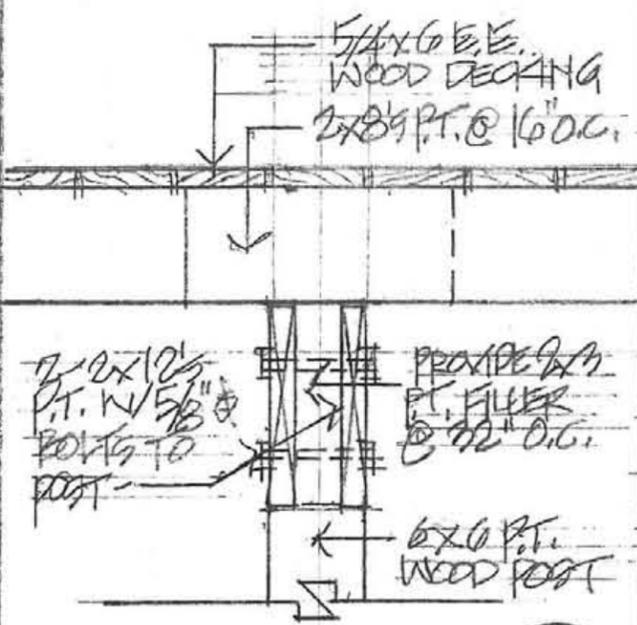
B STAIR SECTION SCALE: 1" = 1'-0"



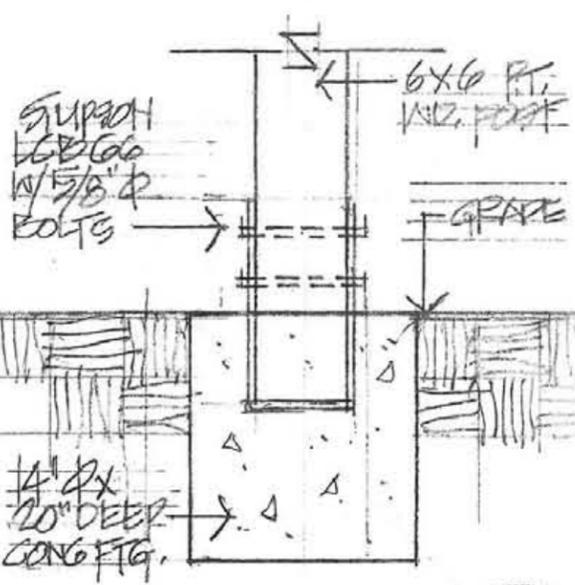
CONNECTION AT EXIST. WALL **C**
SCALE: 1" = 1'-0"



CONNECTION AT ANGLED WALL **D**
SCALE: 1" = 1'-0"

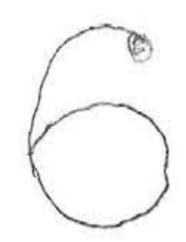


GIRDER DETAIL **E**
SCALE: 1" = 1'-0"



FOOTING DETAIL **F**
SCALE: 1" = 1'-0"

HINGHEY'S CHICAGO GRILLE
AT THE METROPOLITAN HOTEL
SOUTH FOREST BEACH, H.H.I.
WILLIAM VITTO/ARCHITECT
TEL: 843.683.2595 02.15.11



DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Hinchey's Chicago Bar and Grill Deck Addition

DRB# DR110007

DATE 3/8/2011

RECOMMEND
APPROVE

RECOMMEND
APPROVE W/COND.

RECOMMEND
DENY

ARCHITECTURAL DESIGN
Railing detail incorporates the improvements proposed by the board. Top rail should probably have a larger dimension than the post. Finishes (stain, paint, etc.) should be clarified. Landscape material should be identified (Viburnum, Indian Hawthorn, etc.)

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited		

and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		
LANDSCAPE DESIGN		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach		

their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants	Yes	NR has no further comments on this project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	2/21/11
Accepted by:	DN
App. #: DR	110014
Meeting Date:	3/8/11

Applicant/Agent Name: DALE JOHNSON Company: JOHNSON PARTNERSHIP
 Mailing Address: 32 OFFICE PARK RD. #104 City: H.I.I State: SC Zip: 29928
 Telephone: 785-4666 Fax: _____ E-mail: _____
 Project Name: MODIFICATIONS Project Address: 1400 MAIN STREET
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|---------------------------------------------------------------------------|------------------------------------------------|
| <input type="checkbox"/> New Development – Conceptual | <input type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> New Development – Final, indicate Project Number | <input type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

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- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

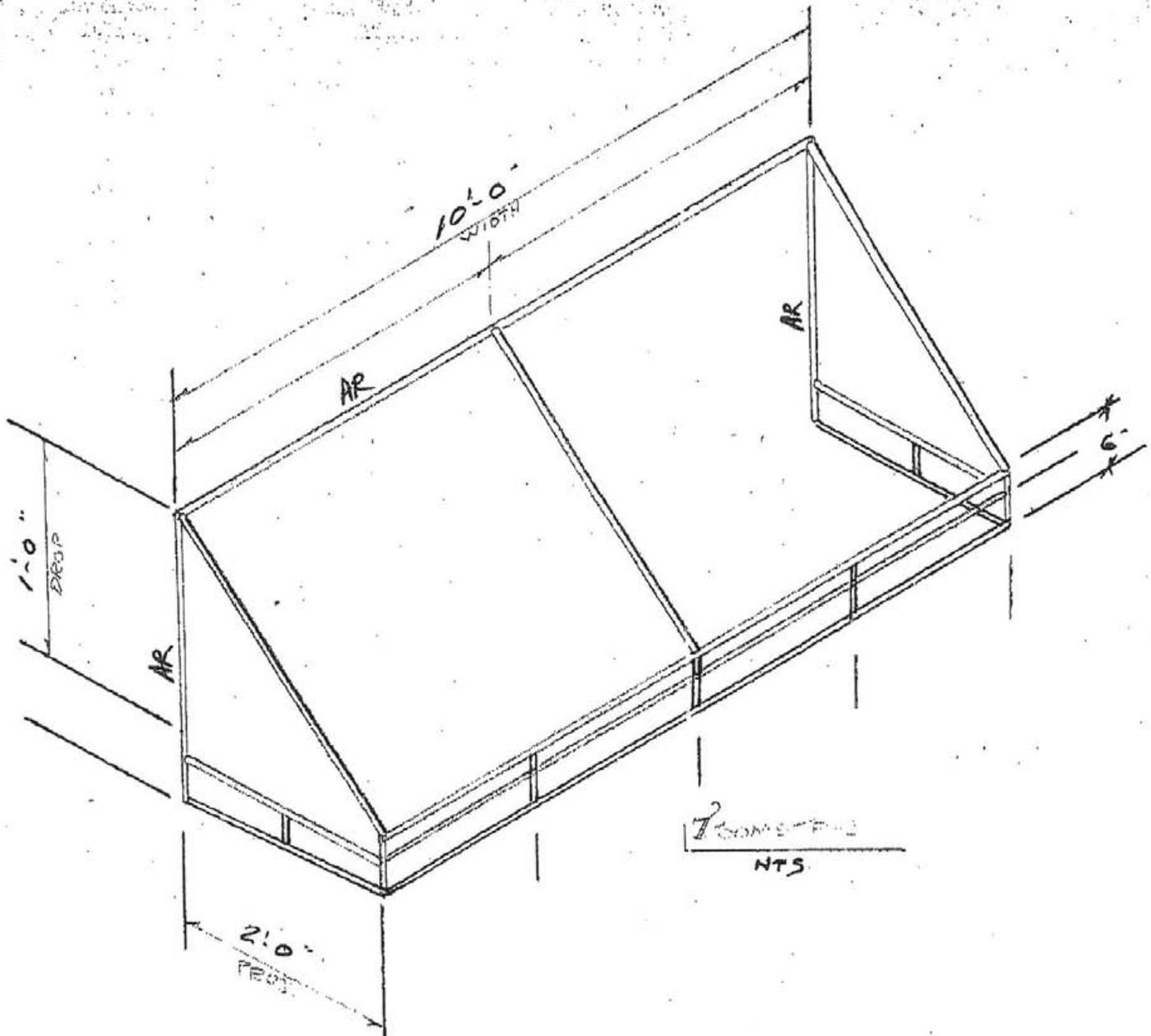
Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

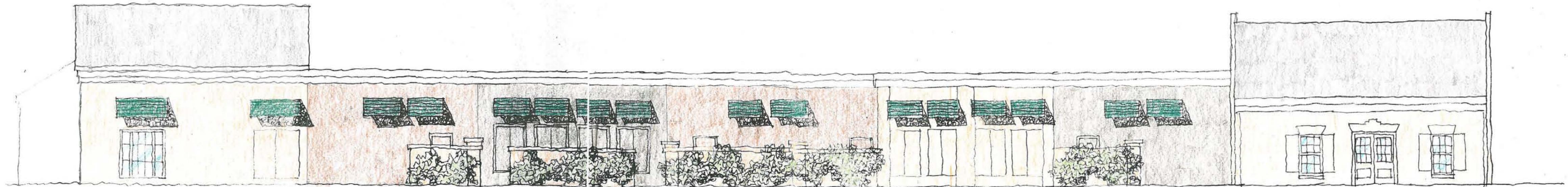
NARRATIVE IN SUPPORT OF MODIFICATIONS TO
1400 MAIN STREET

Applicant desires to add visual interest to the back side of his property. It is currently one shade of beige and has little visual detail. Modifications include repainting the façade in three harmonious colors, adding low screening walls and plantings. Green fabric awnings will cover the existing vent structures. No modifications to any other part of the building are contemplated.



AWNING STRUCTURE







latté

2163-60



burlap

2163-50



metallic gold

2163-40

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT 1400 Main Street

DRB# DR1100014

DATE 3/8/2011

RECOMMEND
APPROVE

RECOMMEND
APPROVE W/COND.

RECOMMEND
DENY

ARCHITECTURAL DESIGN

1. Detail of screen wall needs to be clarified (its assumed it matched the existing)
2. Proposed Landscaping needs to be clarified
3. Paint palette provides variety and interest to the elevation, but does it tie into the existing color of the end walls on the end units. A paint key should be provided to clarify the applications. Paint colors will be provided at the meeting. Scan quality doesn't represent actual samples.

A good update to the back of the house, but it needs some points explained.

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Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms and details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and		

appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
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Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into		

account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR has no comments on this project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	2/21/11
Accepted by:	DL
App. #: DR	110015
Meeting Date:	3/8/11

Applicant/Agent Name: DALE JOHNSON Company: JOHNSON PARTNERSHIP
 Mailing Address: 32 OFFICE PARK RD. #104 City: H.H.I. State: SC Zip: 29928
 Telephone: 785-4666 Fax: _____ E-mail: _____
 Project Name: MODIFICATIONS Project Address: 1303 MAIN STREET
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

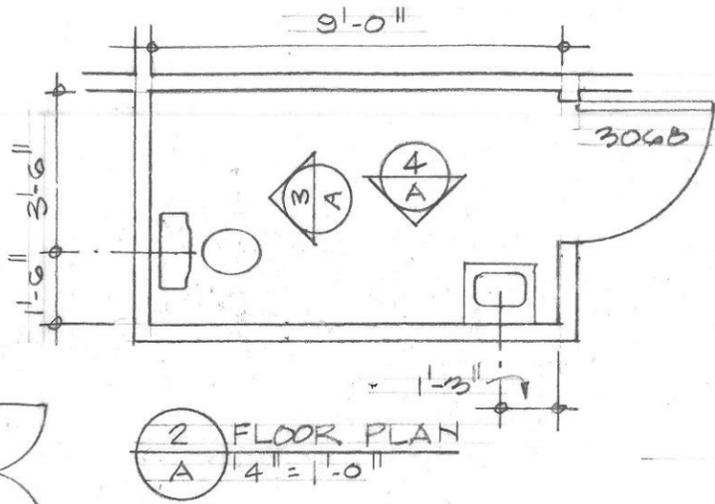
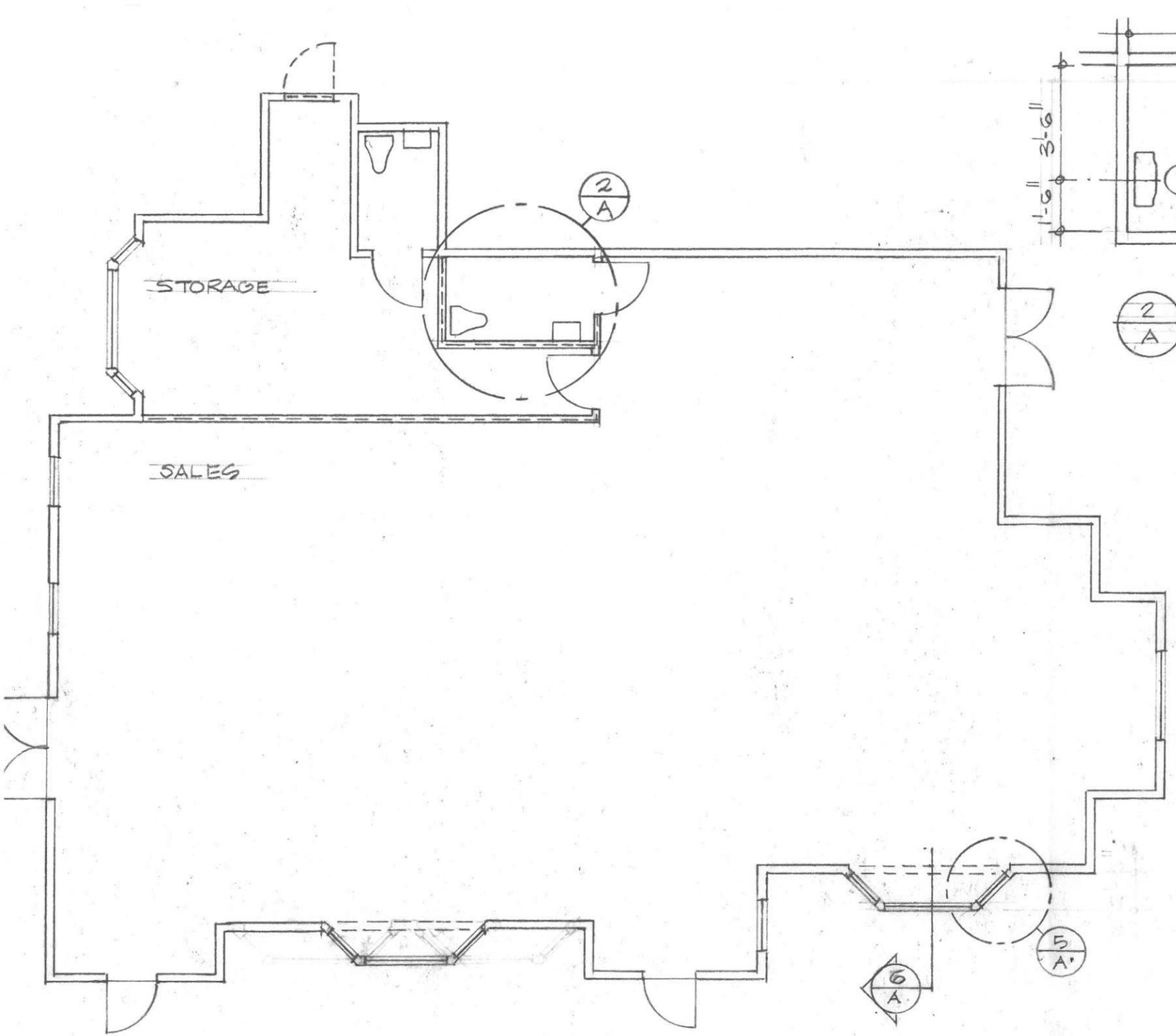
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

NARRATIVE IN SUPPORT OF MODIFICATIONS TO

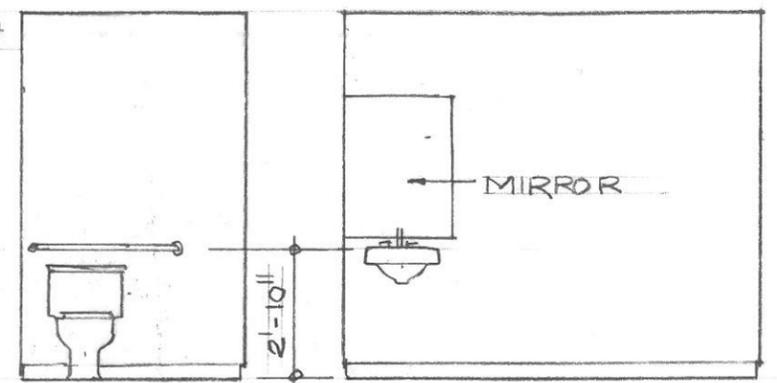
1301 MAIN STREET

Applicant desires to modify the windows on two locations to replace three single windows to a large bay window. This will allow the tenants to have more presence on the street with a larger display area.





2 FLOOR PLAN
A 4" = 1'-0"



3 ELEVATION
A 4" = 1'-0"

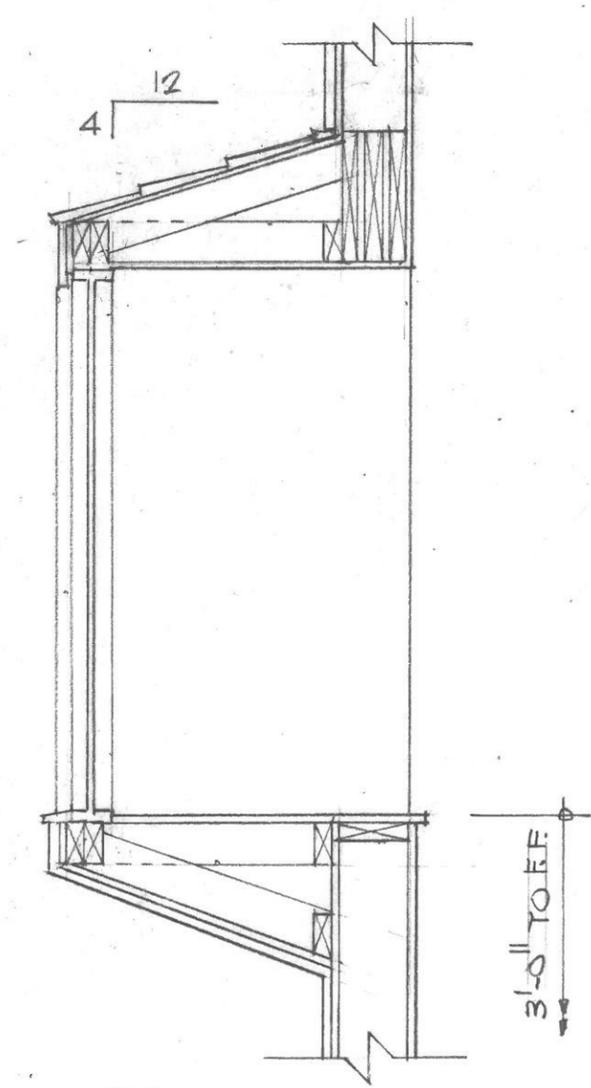
4 ELEVATION
A 4" = 1'-0"

1 FLOOR PLAN
A 8" = 1'-0"

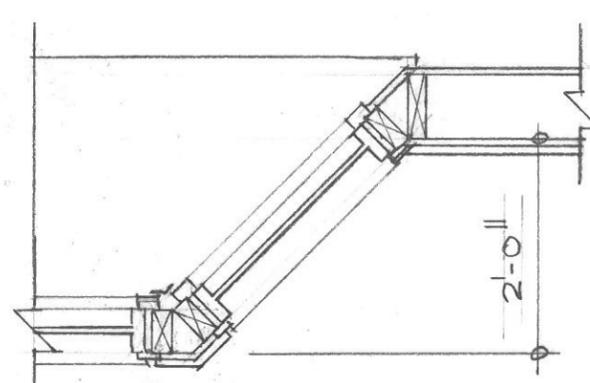
EXISTING

TO BE REMOVED

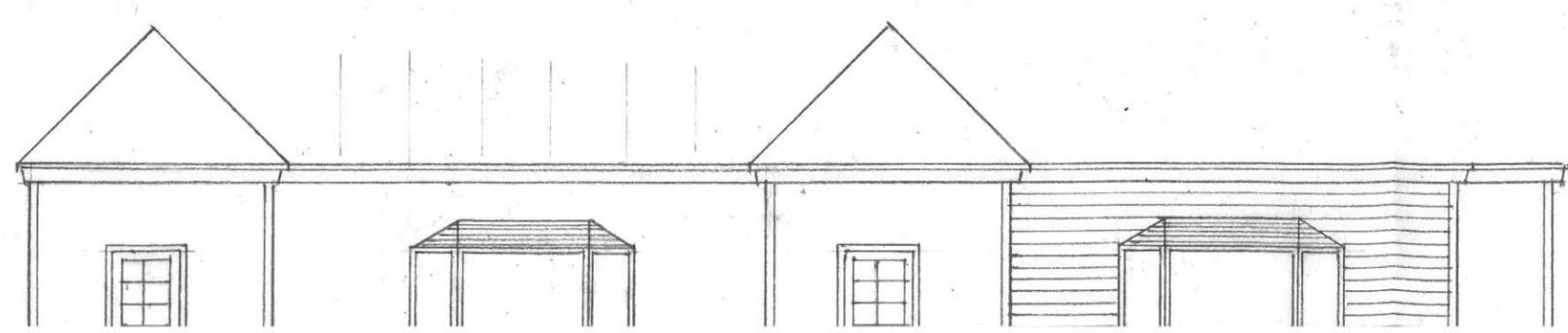
NEW 2x4 & GWB WALL



6 SECTION
A 3/4" = 1'-0"



5 PLAN
A 3/4" = 1'-0"



255 TO 130B MAIN STREET

an Partnership ARCHITECTS

Courtyard Building
Island, SC 29928



DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT 1301 Main Street DRB# DR1100015

DATE 3/8/2011 RECOMMEND APPROVE RECOMMEND APPROVE W/COND. RECOMMEND DENY

ARCHITECTURAL DESIGN		
Change in fenestration feels slightly under-proportioned, and if bays are installed they should be in keeping with the facades.		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		

Accessory elements are design to coordinate with the primary structure		
LANDSCAPE DESIGN		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding		

excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

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An effort has been made to preserve existing trees and under story plants		NR has no comments on this project.
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FOR OFFICIAL USE ONLY	
Date Received:	<u>2.22.11</u>
Accepted by:	<u>DFH</u>
App. #: DR	<u>110016</u>
Meeting Date:	<u>3.8.11</u>

Applicant/Agent Name: JAMES BAKER Company: TOM PEEPLES BUILDER INC.
 Mailing Address: 1038A WM. HILTON PKWY. City: HILTON HEAD IS. State: SC Zip: 29928
 Telephone: 681-2600 Fax: 689-5229 E-mail: james@tompeepsbuilder.com
 Project Name: HILTON HEAD HUMANE ASSOC - ANNEX Project Address: 10 HUMANE WAY
 Parcel Number [PIN]: R511 007 000 0074 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

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- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Building a Reputation of Quality Construction Since 1976

HILTON HEAD HUMANE ASSOCIATION- ATHERTON ANNEX ADDITION

NARRATIVE

The scope of this project is to renovate a 1323 square foot portion of the existing Atherton Annex building at the Hilton Head Humane Association on Humane Way, and add a new 1918 square foot building adjacent to the existing building.

From a design perspective, the goal is to eliminate the aesthetically unpleasant mis-matched exterior of the existing building (see photos 1-4), and replace it with exterior finishes keeping with the recently renovated Adoption Center (photo 6). In fact, the same color scheme and general architectural theme used on the Adoption Center are proposed for this project (see plans and color samples).

Further, a rather unsightly hodge-podge of chain link fencing, freestanding kennels, and an open roof-over-concrete slab structure (see photo 5 and plans) would be eliminated in the scope of this project.

Therefore, these proposed plans conform to 16-4-503 by removing incompatible elements on the visual experience, and replacing them with good design in keeping with the other recent property improvements.



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: 2-22-11
App. #: DR110016

AFFIDAVIT OF OWNERSHIP AND HOLD HARMLESS PERMISSION TO ENTER PROPERTY

The undersigned being duly sworn and upon oath states as follows:

1. I am the current owner of the property which is the subject of this application.
2. I hereby authorize TOM PEEPLES BUILDER INC. to act as my agent for this application only.
3. All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
4. The application is being submitted with my knowledge and consent.
5. Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at 10 HUMANE WAY (address),
R511 007 000 0074 (parcel ID) for the purpose of application review, for the limited time necessary to complete that purpose.
6. Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.
7. Non-responsiveness to a Town information request for sixty (60) or more days shall be cause to cancel the application(s) without refund of fees.

Print Name: CHUCK LAINE Address: 10 HUMANE WAY
Signature: Chuck Laine Date: 2/14/11 Phone Number: 843 681 8686

State of SC County of Beaufort
Sworn and subscribed before me this 14th day of Feb, 2011
Name of Notary (print) Katherine Ford
Signature of Notary Katherine Ford
Commission Expires 6/9/19

①



②



3



4



5



6



ISSUED FOR PERMITTING/ CONSTRUCTION:

HILTON HEAD HUMANE ASSOCIATION

ATHERTON ANNEX, 10 HUMANE WAY - HILTON HEAD ISLAND, SOUTH CAROLINA 29926

SHEET INDEX		DATE ISSUED	
SHEET	SHEET DESCRIPTION	ISSUED	BY
A0.0	COVER PAGE	02/07/11	JAC
A0.1	GENERAL NOTES/ ACCESSIBILITY INFO	02/07/11	JAC
A1.0	EXISTING/ DEMO SITE PLAN	02/07/11	JAC
A1.1	SITE PLAN	02/07/11	JAC
D1.0	EXISTING FLOOR PLAN	02/07/11	JAC
D1.1	DEMOLITION FLOOR PLAN	02/07/11	JAC
A2.0	OVERALL FLOOR PLAN	02/07/11	JAC
A2.1	FOUNDATION PLAN	02/07/11	JAC
A2.2	RENOVATED FLOOR PLAN	02/07/11	JAC
A2.3	PROPOSED NEW FLOOR PLAN	02/07/11	JAC
A2.4	RENOVATED ROOF PLAN	02/07/11	JAC
A2.5	PROPOSED NEW ROOF PLAN	02/07/11	JAC
A3.0	EXTERIOR ELEVATIONS	02/07/11	JAC
A3.1	EXTERIOR ELEVATIONS	02/07/11	JAC
A3.2	EXTERIOR ELEVATIONS	02/07/11	JAC
A3.3	EXTERIOR ELEVATIONS	02/07/11	JAC
A4.0	VERTICAL SECTIONS	02/07/11	JAC
A4.1	NOT USED	02/07/11	JAC
A5.0	VERTICAL DETAILS	02/07/11	JAC
A6.0	SCHEDULE	02/07/11	JAC
50	GENERAL NOTES	02/07/11	JAC
51	FOUNDATION PLAN	02/07/11	JAC
52	STRUCTURAL DETAILS	02/07/11	JAC
M1	HVAC FLOOR PLAN	02/07/11	JAC
M2	HVAC SCHEDULES AND DETAILS	02/07/11	JAC
E1	ELECTRICAL POWER DISTRIBUTION	02/07/11	JAC
E2	LIGHTING PLAN	02/07/11	JAC
E3	GENERAL ELECTRICAL NOTES	02/07/11	JAC
P1	SANITARY WASTER PLAN	02/07/11	JAC
P2	WATER SUPPLY PLAN	02/07/11	JAC
P3	PLUMBING DETAILS	02/07/11	JAC

PRICING ALTERNATIVE

FOR EXISTING ATHERTON ANNEX:

- ADD SKYLIGHTS TO EXISTING ROOF STRUCTURE. G.C. TO INVESTIGATE EXISTING ROOF AND COORDINATE LOCATIONS AND NUMBER OF SKYLIGHTS POSSIBLE WITH THE ARCHITECT/ STRUCTURAL ENGINEER. -OR-
- REMOVE EXISTING ROOF STRUCTURE AND REPLACE WITH NEW ROOF STRUCTURE TO INCLUDE SKYLIGHTS AS SHOWN ON PLANS AND ELEVATIONS.

GENERAL NOTES

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
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INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

PERMIT DRAWINGS

DRAWINGS STAMPED "PERMIT DRAWINGS" ARE DRAWINGS THAT ARE COMPLETE FOR THE MOST PART. HOWEVER SINCE SOME DETAILS, NOTES, AND COORDINATION MAY BE MISSING, THEY ARE CONSIDERED PRELIMINARY AND ARE NOT TO BE USED FOR CONSTRUCTION AND ARE NOT CONSIDERED FINAL DRAWINGS.

CONSTRUCTION ADMINISTRATION

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

UTILITY (U) OCCUPANCY
REGULATION 11-25.4 AND 5 STATE.

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

PROJECT INFORMATION

NAME OF PROJECT: HILTON HEAD HUMANE ASSOCIATION
ADDRESS: ATHERTON ANNEX, 10 HUMANE WAY, HILTON HEAD, SOUTH CAROLINA 29928

PROPOSED USE: UTILITY AND MISC (U)
OWNER CONTACT: CHUCK LAINE
CODE ENFORCEMENT JURISDICTION: TOWN OF HILTON HEAD

INTERNATIONAL BUILDING CODE (IBC): 2006
INTERNATIONAL MECHANICAL CODE: 2006
INTERNATIONAL PLUMBING CODE: 2006
THE NATIONAL ELECTRICAL CODE: 2005
INTERNATIONAL FUEL GAS CODE: 2006
INTERNATIONAL FIRE CODE: 2006
INTERNATIONAL ENERGY CONSERVATION CODE: 2006
ICC/ANSI A111: 2003

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE*	TELEPHONE*
Architectural	JAMES C. ATKINS	SC 95743	843-815-2551
Electrical	RAFAEL LONDONO	SC 93530	843-686-5300
Plumbing	RAFAEL LONDONO	SC 93530	843-686-5300
Mechanical	RAFAEL LONDONO	SC 93530	843-686-5300
Structural	TONY AUSTIN	SC 43452	843-710-2925
Civil	N/A	--	--
Land Planning / Landscape	N/A	--	--

BUILDING CODE SUMMARY

BUILDING DATA

PROJECT DESCRIPTION: INTERIOR RENOVATION TO AN EXISTING KENNEL BUILDING AND ADDITION OF A NEW KENNEL BUILDING.

EXISTING CONSTRUCTION: TYPE V - NON SPRINKLERED, NON-COMBUSTIBLE EXTERIOR WALLS WITH WOOD FRAME ROOF STRUCTURE AND INTERIOR BUILDING ELEMENTS OF A COMBUSTIBLE NATURE.

NEW CONSTRUCTION: TYPE V - NON SPRINKLERED, NON-COMBUSTIBLE EXTERIOR AND INTERIOR WALLS WITH WOOD TRUSS ROOF STRUCTURE.

BUILDING AREA:
RENOVATION AREA (ATHERTON ANNEX): 1373 SF
NEW BUILDING AREA: 1918 SF

CONSTRUCTION TYPE: I-A I-B II-A II-B
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes No Type _____

SPRINKLERED: Yes No

FIRE DISTRICT: Yes No

BUILDING HEIGHT: 12'-2 1/2' Feet Number of Stories: 1

MEZZANINE: Yes No

HIGH RISE: Yes No

ALLOWABLE/ACTUAL HT/AREA: PER IBC TABLE 503 (U) UTILITY

	ALLOWABLE	ACTUAL
HEIGHT -	1 STORIES	1 STORY
AREA -	5,500 SF/FLR	1918 SF TOTAL
Area Increased?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Height Increased?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

OCCUPANCY CLASSIFICATION
UTILITY U
MIXED OCCUPANCY: Yes No Separation NON-SEPARATED USE

OCCUPANT LOAD (IBC TABLE 1004.1.2) BUSINESS (OFFICES) AREAS

RENOVATION AREA:	300 GROSS SF = 1 PERSON / 100 SF	= 5 PERSONS
NEW BUILDING AREA:	300 GROSS SF = 1 PERSON / 100 SF	= 1 PERSONS

EXITS
TABLE IBC 1009.1 AND 1010.1
NUMBER OF EXITS REQ'D: 2 MIN EGRESS EXITS PROVIDED: 3
EGRESS WIDTH REQUIRED: 34" EGRESS WIDTH PROVIDED: 34" X 3

TRAVEL DISTANCE

EXIT ACCESS DESIGN REQUIREMENTS, PER MOST RESTRICTIVE

EXIT ACCESS TRAVEL DISTANCE
-TABLE 1016.1
U OCCUPANCY, WITHOUT SPRINKLERS + 300' MAX (ACTUAL + 99'-0")
COMMON PATH OF TRAVEL
-SECTION 1014.3
U OCCUPANCY, WITHOUT SPRINKLERS + 100' MAX (ACTUAL + 22'-0")

DEAD ENDS
-SECTION 1017.3
MAXIMUM DEAD END CORRIDOR + 20'-0" (ACTUAL + 15'-0")

Party / Firewalls	Req'd Hourly	Detail/Sheet*	% Wall Opening	UL Rated Assembly
Exterior Bearing Walls (Less than 5')	1 HR			
Exterior non-Bearing Walls (Less than 5')	1 HR			
Interior walls	Req'd Hourly	Detail/Sheet*	% Wall Opening	UL Rated Assembly
Bearing	0			
Non-Bearing	0			
Tenant Separation	N/A			
Exit Access	N/A			
Exterior Walls	Req'd Hourly	Detail/Sheet*	% Wall Opening	UL Rated Assembly
Bearing	0			US96 (min.)
Non-Bearing	0			
Floor Construction (including supporting beams and joists)	0			
Roof Construction (including supporting beams and joists)	0			
Vertical Shafts	N/A			
Chases - H.E.P.	N/A			

ALL INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH IBC-2003, TABLE 803.5

GROUP	Sprinklered			Unsprinklered		
	Yrly. Exhal. Exit Pass-egress	Exit Access Corridor/ Other Exits	Rooms and Enclosed Spaces	Yrly. Exhal. Exit Pass-egress	Exit Access Corridor/ Other Exits	Rooms and Enclosed Spaces
UTILITY U	**	**	**	N/A	N/A	N/A

TENANT USAGE SECTION

IBC PLAN SECTION
INTERIOR FINISH, PAINTED CHU. UON.
EGRESS ID: LIGHTED EMERGENCY EXIT SIGNS

MECHANICAL SECTION
SEE ENGINEERING DRAWINGS

PLUMBING SECTION
SEE ENGINEERING DRAWINGS

ELECTRICAL SECTION
SEE ENGINEERING DRAWINGS

MINIMUM REQUIRED PLUMBING FIXTURES: PER IBC 2006 TABLE 2302.1
N/A FOR OCCUPANCY UTILITY (U)

COURT ATKINS ARCHITECTS

18 Bluffton, SC 29915
P: 843-815-2551
F: 843-815-2552

HILTON HEAD HUMANE ASSOCIATION
ATHERTON ANNEX, 10 HUMANE WAY
HILTON HEAD ISLAND, SOUTH CAROLINA 29926

REVISIONS

SEAL

SEAL

SEAL

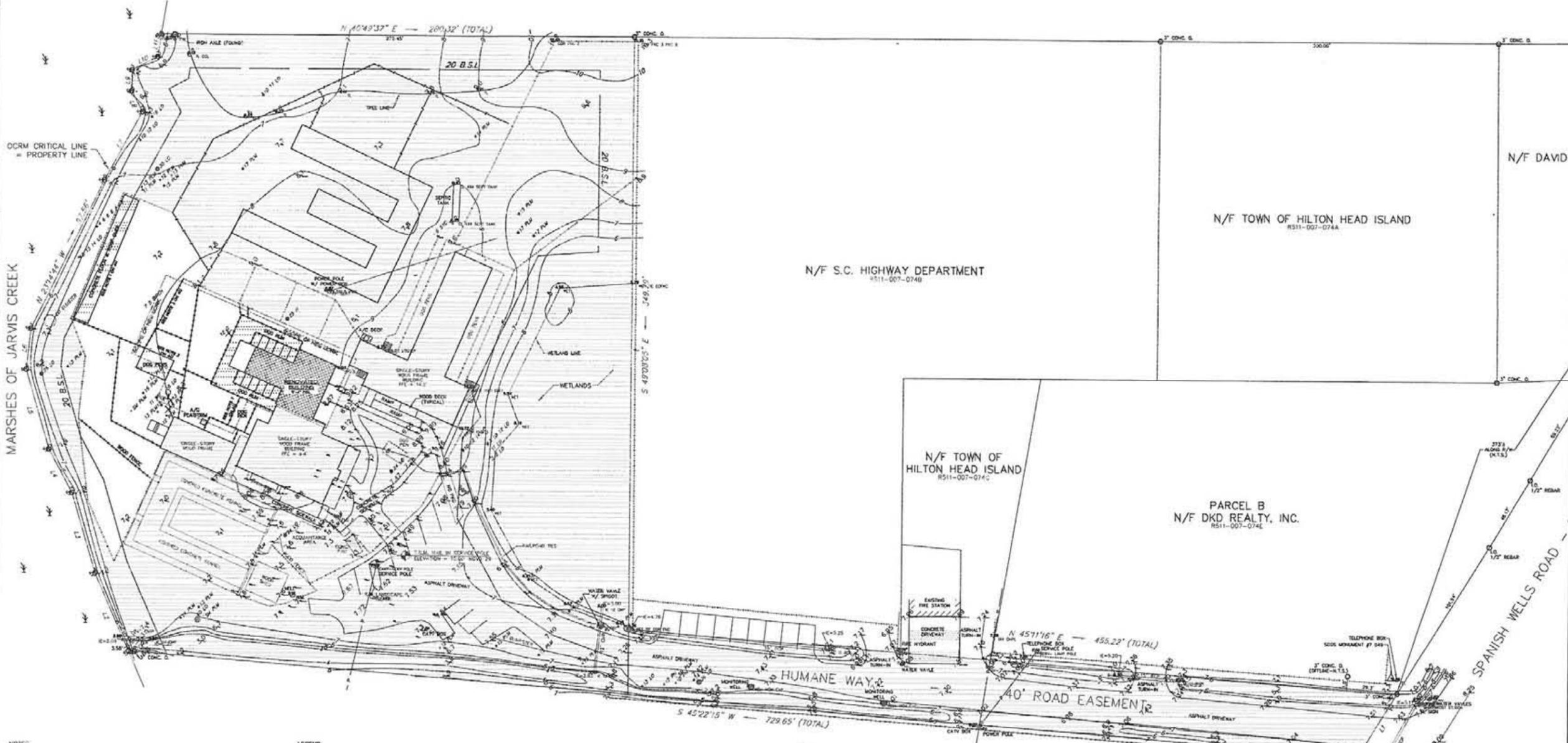
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PROJECT NO: 10-039
DATE: 02/07/11
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CHECKED BY:
SHEET NO. A0.0
COVER PAGE

LINE	LENGTH	BEARING
L1	44.55	S 17°26'45" E
L2	50.03	N 72°50'33" W
L3	46.69	N 65°31'48" W
L4	29.04	N 77°26'35" W
L5	47.04	N 55°06'32" W
L6	34.19	N 42°09'08" W
L7	46.12	N 20°33'14" W
L8	14.84	N 77°12'19" W
L9	12.43	N 48°48'40" W
L10	7.13	N 137°41'1" E
L11	12.52	N 42°23'20" W



PARCEL A
N/F EDWARD WILLIAMS
R511-007-073A



- NOTES:
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO ENCUMBRANCES, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 8-D, COMMUNITY NO. 450220, MAP DATED 8/23/86, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - BUILDING FOOTPRINTS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & ENCUMBRANCES SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.

- LEGEND:
- TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - T.B.M. TEMPORARY BENCH MARK
 - PN PINE
 - LO LIVE OAK
 - SM PLM SMALL PALM
 - SYC SYCAMORE
 - X-X- FENCE LINE
 - P-P- OVERHEAD POWER LINE
 - OMP CORRUGATED METAL PIPE
 - IE INVERT ELEVATION
 - RB RED BUD
- REFERENCE PLAT:
1) HONEY HORN PLANTATION PROPERTIES-7.2 ACRES, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C.

THE AREA SHOWN ON THIS PLAT IS A GENERAL REPRESENTATION OF DUE-DUE PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY GENERALLY DELINEATING THE PERMIT AUTHORITY OF THE DUE-DUE, THE OFFICE OF DUE-DUE IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY SHOWN HEREIN OR NOT.

SIGNATURE: _____ DATE: _____

THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR THREE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

EXISTING/ DEMO SITE PLAN
SCALE 1" = 80'-0"



HILTON HEAD HUMANE ASSOCIATION
ATHERTON ANNEX, 10 HUMANE WAY
HILTON HEAD ISLAND, SOUTH CAROLINA 29926

P.O. Box 100
P: 843-815-2577
F: 843-815-2578

SEAL

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PROJECT NO. 10-039

DATE 02/07/11

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SHEET NO. A1.0

SITE PLAN



SITE NOTES:
 OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY BY FLOOD PLAN INFORMATION UNDER SEPARATE COVER.
 GENERAL CONTRACTOR NOTE:
 ADJUST TOP OF SLAB WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
 GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. CIVIL ENGINEER TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH TOWN OF HILTON HEAD GUIDELINES.
 SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. GC TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FINISH PLANS.
 SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL NOTES:
 1. GC/OWNER TO REMOVE EXISTING CONCRETE PAD AND ROOF THAT EXTENDS OVER THE REAR OF DETACH.
 2. GC/OWNER TO REMOVE EXISTING DOG PENS IN CONJUNCTION WITH ADDITION.
 3. GC/OWNER TO REMOVE EXISTING FENCING THAT COMPLETES WITH ADDITION.
 4. GC/OWNER TO COORDINATE NEW FENCE LOCATIONS, NEW FENCES ARE TO BE COORDINATED WITH THE RESOLVE ACCESS AS REQUIRED AND IS EXISTING OR BETTER.
 5. GC/OWNER TO COORDINATE NEW SIALUS WITH EXISTING PAVING AND TO DRAIN AWAY FROM BUILDINGS.

SITE PLAN
 SCALE 1/4" = 1'-0"

COURT ATKINS ARCHITECTS

HILTON HEAD HUMANE ASSOCIATION
 ATHERTON ANNEX, 10 HUMANE WAY
 HILTON HEAD ISLAND, SOUTH CAROLINA 29928

REVISIONS

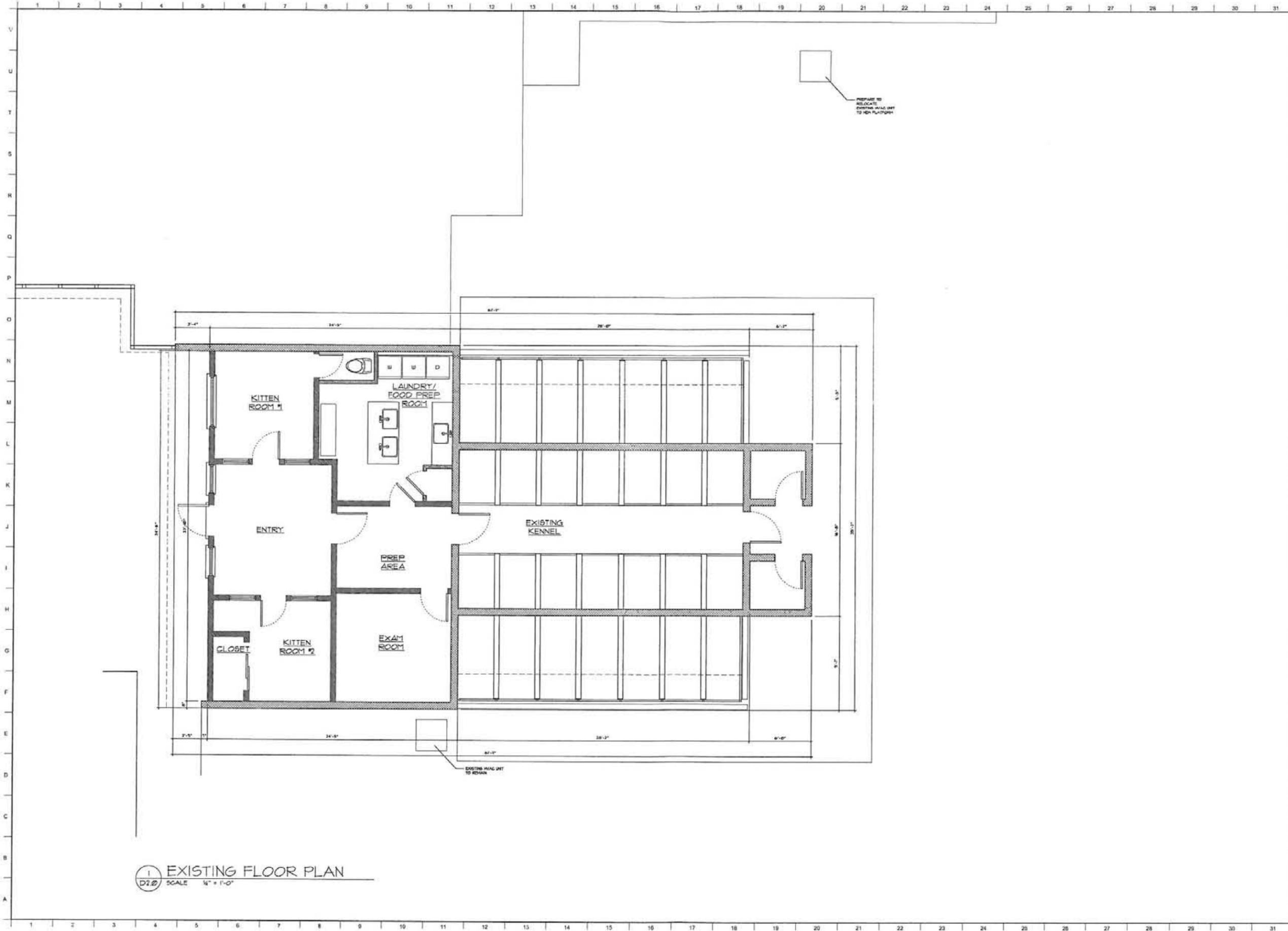
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 DATE 07/07/11
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SITE PLAN

P.O. Box 178 Bluffton, SC 29917
 P: 843.815.2557 F: 843.815.2558



1 EXISTING FLOOR PLAN
 D2.0 SCALE 1/4" = 1'-0"



HILTON HEAD HUMANE ASSOCIATION
 ATHERTON ANNEX, 10 HUMANE WAY
 HILTON HEAD ISLAND, SOUTH CAROLINA 29926

COURT ATKINS ARCHITECTS
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PROJECT NO. 10-039

DATE 02/07/11

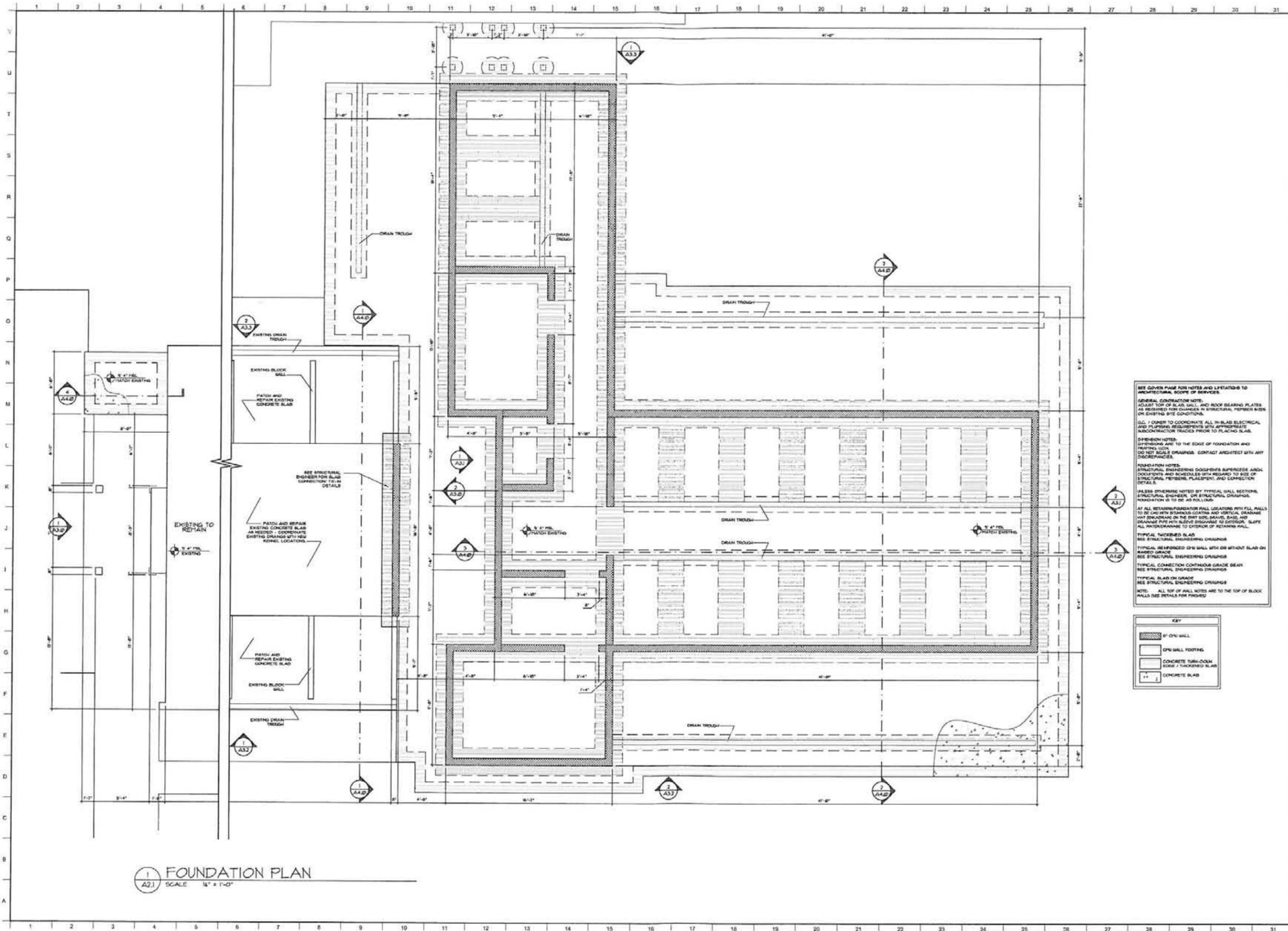
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SHEET NO.

D2.0

EXISTING FLOOR PLAN



1 FOUNDATION PLAN
 A2.1 SCALE 1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
 ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

O.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRACES PRIOR TO PLACING SLAB.

FOUNDATION NOTES:
 DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FINISHING LEVELS.
 DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

FOUNDATION NOTES:
 STRUCTURAL ENGINEERS DO NOT SUPERSEDE ARCH. DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

ALL SEE ENGINEER NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS. FOUNDATION IS TO BE AS FOLLOWS:

AT ALL RETAINING FOUNDATION WALL LOCATIONS WITH FILL WALLS TO BE CAST WITH RETAINING CURTAIN AND VERTICAL DRAINAGE MAT (BRANDNAME) ON THE BERT SIDE GRAVEL BASE, AND DRAINAGE PIPE WITH SLOPE DRAINAGE TO EXTERIOR. SLOPE ALL WATER DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB
 SEE STRUCTURAL ENGINEERING DRAWINGS

TYPICAL REINFORCED CMU WALL WITH OR WITHOUT SLAB ON RAISED GRADE
 SEE STRUCTURAL ENGINEERING DRAWINGS

TYPICAL CONNECTION CONTIGUOUS GRADE BEAM
 SEE STRUCTURAL ENGINEERING DRAWINGS

TYPICAL SLAB ON GRADE
 SEE STRUCTURAL ENGINEERING DRAWINGS

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS (SEE DETAILS FOR FINISH)

KEY

	8" CMU WALL
	CMU WALL FOOTING
	CONCRETE TIE-BACK EDGE / THICKENED SLAB
	CONCRETE SLAB

COURT ATKINS ARCHITECTS
 178 Bluffton, SC 29915
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**HILTON HEAD HUMANE ASSOCIATION
 ATHERTON ANNEX, 10 HUMANE WAY
 HILTON HEAD ISLAND, SOUTH CAROLINA 29926**

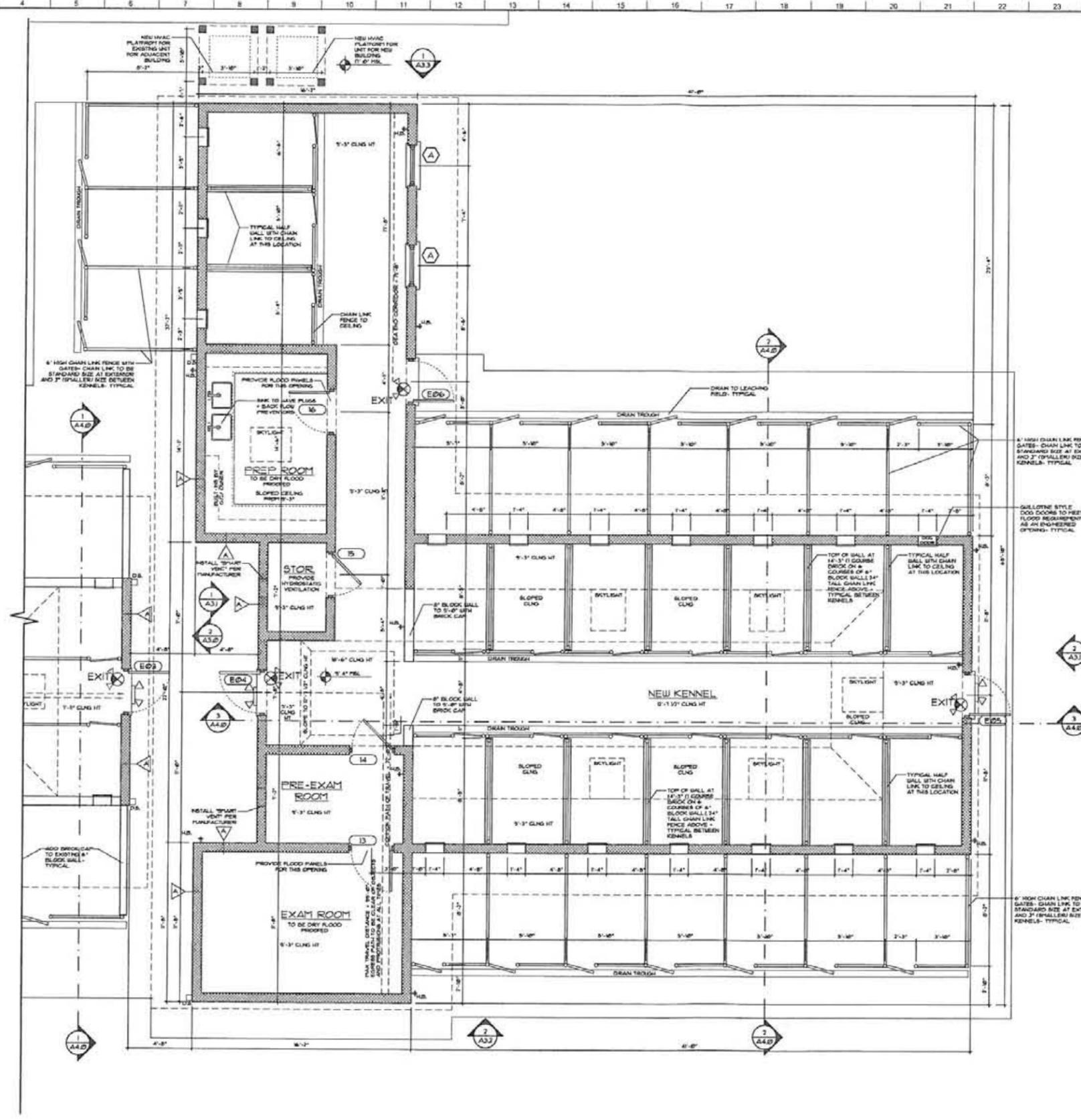
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PROJECT NO. 10-039
 DATE 07/07/11
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 SHEET NO. **A2.1**
 FOUNDATION PLAN



1 PROPOSED NEW BUILDING FLOOR PLAN
 SCALE 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

- ALL PARTITIONS AT ATTENTION UNLESS DESIGNATED OTHERWISE SHALL BE 5/8" PRESSURE TREATED LAMINATED VENEER LUMBER (LVL) OR 5/8" G.C. UNLESS OTHERWISE NOTED WITH PRESSURE RESISTANT SYSTEM DEMAND PRODUCT.
- ALL INTERIOR PARTITIONS AT NEW BUILDING ARE TO BE 5/8" G.C. UNLESS OTHERWISE NOTED WITH PRESSURE RESISTANT SYSTEM DEMAND PRODUCT.
- NON-ACCOMMODATIVE FINISH (GASTER-RESISTANT GYPSUM) SHALL BE APPLIED TO ALL SOLID ROOM WALLS AS REQ. PER ICC 508 SECTION 508.
- INTERIOR FRAMES SHALL COMPLY WITH TABLE 505.1, SECTION 505.1.1, AND 505.1.2.
- PROVIDE NEW ELECTRICAL SYMBOLS AND LIGHTING PER ELECTRICAL CODE.
- PROVIDE ILLUMINATED EXIT SIGNAGE AND EMERGENCY LIGHTING PER CODE.
- ALL WIRING AND DEVICES TO BE IN CONCEALED CONDUIT PROVIDE NEW PLUMBING PER PLUMBING CODE.
- ALL FIXTURES AND INSTALLATION OF FIXTURES SHALL FOLLOW ADA (2010) AND MEET ALL APPLICABLE BUILDING CODES AND REGULATIONS. USE PLUMBING AND WATER TO THE NEW EXISTING SYSTEMS PER CODE.
- REMOVAL OF FLOOR PLAN FOR INSTALLATION OF SANITARY AND WATER MAINS SHALL BE ACCOMPANIED BY BASE CUTTING. GAS LINES SHALL NOT BE INSTALLED IN FLOOR SLAB, BUT BELETED OVERHEAD.
- PROVIDE VERIFICATION THAT THE ELECTRICAL SERVICE AND PANEL IS SUFFICIENT IN CAPACITY TO HANDLE THE PROPOSED EQUIPMENT LOADS.
- PROVIDE MORE INFO AS LOCATED ON PLUMBING ENGINEERING DRAWINGS AND COORDINATED WITH OWNER NEEDS AT INTERIOR AND EXTERIOR LOCATIONS OF NEW AND EXISTING BUILDINGS.

ACCESSIBILITY NOTES

APPROPRIATE LOBBY SEATING AT WALLS (DASH) CHECKED, COUNTERS AND SERVICE COUNTERS TO COMPLY WITH ADA AND 2010 ICC 118.

ALL COUNTERS (DASH) MUST COMPLY WITH ADA AND 2010 ICC 118.

ACCESSIBLE AND VISUAL ALARMS AND NOTIFICATION APPLIANCES (GAS ACTIVATED) SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 (LATEST EDITION) AND AS REQUIRED BY APPLICABLE BUILDING CODE AND ACCESSIBILITY REQUIREMENTS.

THE FINISH CLEARANCE BOTH SHALL BE 36" WHERE SEATING TABLES, RUNNING RAILINGS, DISPLAYS AND SIMILAR FIXTURES OR EQUIPMENT ARE PLACED ON ONLY ONE SIDE OF THE AISLE AND 48" WHERE SUCH FIXTURES OR EQUIPMENT ARE PLACED ON BOTH SIDES OF THE AISLE.

CAREFUL NOTE

ALL COUNTERS BY G.C./OWNER (N.C.) ALL COUNTERS TO BE 5/8" G.C. UNLESS NOTED OTHERWISE. G.C. TO PROVIDE BLOODING AS REQUIRED.

FINISHES NOTE

G.C. TO SELECT/COORDINATE FLOOR, CEILING, WALL, AND SPECIALTY FINISHES. FINISHES TO COMPLY WITH ICC 508 TABLE 508.1.

ELECTRICAL NOTES

PLAN, LOCATION AND QUANTITY OF ALL ELECTRICAL OUTLETS, SWITCHES, LIGHTING FIXTURES, COMPUTER NETWORKS, PHONE JACKS, CABLE TO BE DETERMINED BY GENERAL CONTRACTOR AND OWNER. G.C. TO VERIFY EXISTING PANEL, LOCATION AND CAPACITY.

MECHANICAL

G.C. TO COORDINATE WITH QUALIFIED MEP ENGINEER/HVAC CONTRACTOR ON EXISTING HVAC SYSTEM TYPE, LOCATION OF SUPPLY AND RETURN AIRWAYS, OVERHEAD EXHAUST AND HOOD/FAN/EXHAUST SUPPLEMENT PER PROPOSED LAYOUT. ALL TO REPORT ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

RAILY AND RETURN ARE FOR LAYOUT PURPOSES ONLY - G.C. TO COORDINATE ACTUAL LOCATIONS.

FIRE EXTINGUISHERS

PROVIDE FIRE EXTINGUISHERS PER NFPA 10 AND FIRE CODE AND LOCAL JURISDICTION REQUIREMENTS. LOCATION AND NUMBER TO BE DETERMINED BY FIRE MARSHAL.

ALL MATERIALS TO BE MOISTURE RESISTANT PER FEMA REQUIREMENTS

LIFE SAFETY NOTES

- SEE ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING LOCATIONS, CIRCUITS, AND SPICES.
- COMMUNICATION FIXTURES AND ELEMENTS NEED TO BE ACCESSIBLE AND SATISFY THE WALL-MOUNTED WITH GANGE SHALL COMPLY WITH ANSI A173.3.3 APPLICABLE SPICES SHALL COMPLY WITH ANSI A173.3.3.4.
- THE FINISH CLEARANCE BOTH SHALL BE 36" WHERE SEATING TABLES, RUNNING RAILINGS, DISPLAYS AND SIMILAR FIXTURES OR EQUIPMENT ARE PLACED ON ONLY ONE SIDE OF THE AISLE AND 48" WHERE SUCH FIXTURES OR EQUIPMENT ARE PLACED ON BOTH SIDES OF THE AISLE PER SECTION 505 OF THE ICC.
- PROVIDE ILLUMINATED EXIT SIGNAGE AND EMERGENCY LIGHTING PER CODE.
- PROVIDE FIRE EXTINGUISHERS PER NFPA 10 AND FIRE CODE AND LOCAL JURISDICTION REQUIREMENTS. LOCATION AND NUMBER TO BE DETERMINED BY FIRE MARSHAL.
- SEE SPENCER FIRE PROTECTOR DRAWINGS FOR LAYOUT AND SPENCER HEAD LOCATIONS.

LIFE SAFETY LEGEND

- EXIT: APPROXIMATE LOCATION OF EXIT LIGHT (ARROW DENOTES DIRECTION OF EXIT PATH). REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATION AND TECHNICAL SPECIFICATIONS.
- SELF-POWERED EMERGENCY LIGHT: APPROXIMATE LOCATION OF SELF-POWERED EMERGENCY LIGHT. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATION AND TECHNICAL SPECIFICATIONS.
- SELF-POWERED EMERGENCY LIGHT: APPROXIMATE LOCATION OF SELF-POWERED EMERGENCY LIGHT. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATION AND TECHNICAL SPECIFICATIONS.
- SELF-POWERED EMERGENCY LIGHT: APPROXIMATE LOCATION OF SELF-POWERED EMERGENCY LIGHT. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATION AND TECHNICAL SPECIFICATIONS.

GENERAL CONTRACTOR NOTE:

VERIFY ALL NOTES AND LISTINGS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

VERIFY ALL NOTES AND LISTINGS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

VERIFY ALL NOTES AND LISTINGS TO ARCHITECTURAL SCOPE OF SERVICES.

FRAMING NOTES:

STRUCTURAL ENGINEERING DRAWINGS SUPERSEDE ARCHITECTURAL DRAWINGS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT AND CONNECTION DETAILS.

DOOR OPENINGS SET 4" OFF INTERSECTING WALL UNLESS OTHERWISE DIMENSIONED.

WALLS:

EXTERIOR: 8" REINFORCED GY BLOCK WALLS

INTERIOR: 5/8" G.C. UNLESS NOTED OTHERWISE

FLOOR FINISHES:

CONCRETE SLAB WITH COMMERCIAL GRADE EPoxy FINISH PER STRUCTURAL ENGINEERING DRAWINGS

ROOF FINISHES:

10" EXT. INSULATING GLUED AND NAILED ON 2X6S WITH 5/8" BRICKYON APPROXIMATE CLIPS AT 8" O.C. SEE TYPICAL WALL SECTION FOR VARIOUS CONNECTION DETAILS. PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S TRUSS MANUFACTURING TO PROVIDE RAMP DRAINAGE, SUPPORT AND CONNECTION DETAILS. ALL SIPS FOR ARCHITECT/ENGINEER APPROVAL.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL SIDES (UNLESS SPECIFIED OTHERWISE).

G.C. TO COORDINATE SIZE AND LOCATION OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.



REVISIONS

FOR EXISTING ALTERNATE ANNOTATION: ADD SKYLIGHTS TO EXISTING ROOF STRUCTURE. G.C. TO INVESTIGATE EXISTING ROOF AND COORDINATE LOCATION AND NUMBER OF SKYLIGHTS POSSIBLE WITH THE ARCHITECT/STRUCTURAL ENGINEER. OR REMOVE EXISTING ROOF STRUCTURE AND REPLACE WITH NEW ROOF STRUCTURE TO INCLUDE SKYLIGHTS AS SHOWN ON PLANS AND ELEVATIONS.

COURT ATKINS ARCHITECTS

HILTON HEAD HUMANE ASSOCIATION
 ATHERTON ANNEX, 10 HUMANE WAY
 HILTON HEAD ISLAND, SOUTH CAROLINA 29928

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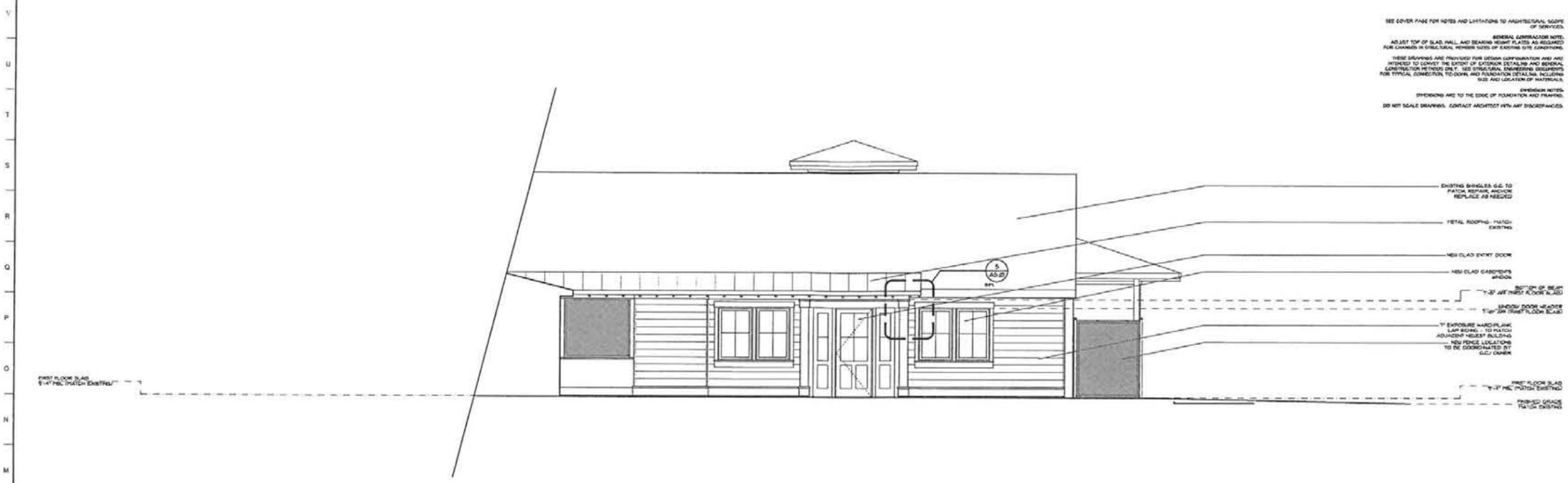
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PROJECT NO. 10-039
 DATE 02/07/11
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 CHECKED BY
 SHEET NO. **A2.3**
 PROPOSED NEW FLOOR PLAN

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
 GENERAL CONTRACTOR NOTE:
 ADJUST TOP OF SLAB WALL AND BEARING HEIGHT PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OF EXISTING SITE CONDITIONS.
 THESE DRAWINGS ARE PROVIDED FOR DESIGN COORDINATION AND ARE INTENDED TO CONVEY THE EXTENT OF EXTERIOR DETAILING AND GENERAL CONSTRUCTION METHODS ONLY. SEE STRUCTURAL ENGINEERING REQUIREMENTS FOR TYPICAL CONNECTION TO-GROUND AND FOUNDATION DETAILS, INCLUDING SIZE AND LOCATION OF MATERIALS.
 DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FINISHING.
 DIMENSIONAL NOTES:
 DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

1 FRONT (EAST) ELEVATION @ RENOVATED BUILDING
 SCALE 1/4" = 1'-0"



2 REAR (WEST) ELEVATION @ RENOVATED BUILDING
 SCALE 1/4" = 1'-0"

PROJG ALTERNATES
 FOR EXISTING AETHERTON ANNEX:
 1. ADD SKYLIGHTS TO EXISTING ROOF STRUCTURE, E.G. TO INVESTIGATE EXISTING ROOF AND COORDINATE LOCATIONS AND NUMBER OF SKYLIGHTS POSSIBLE WITH THE ARCHITECT'S STRUCTURAL ENGINEER, OR
 2. REMOVE EXISTING ROOF STRUCTURE AND REPLACE WITH NEW ROOF STRUCTURE TO INCLUDE SKYLIGHTS AS SHOWN ON PLANS AND ELEVATIONS.

COURT ATKINS ARCHITECTS
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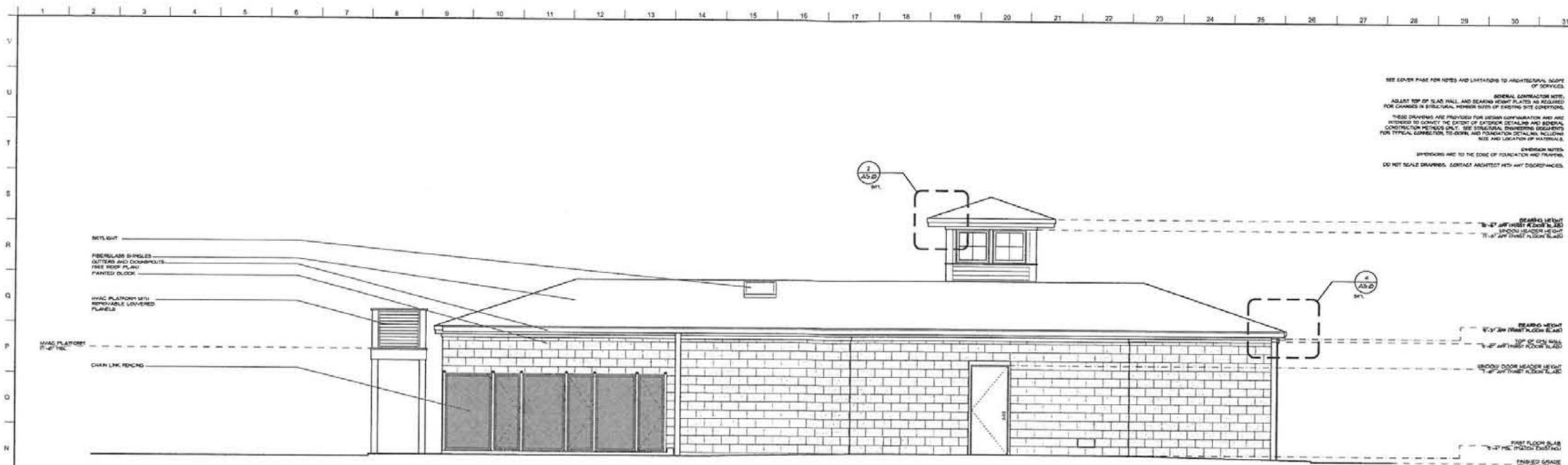
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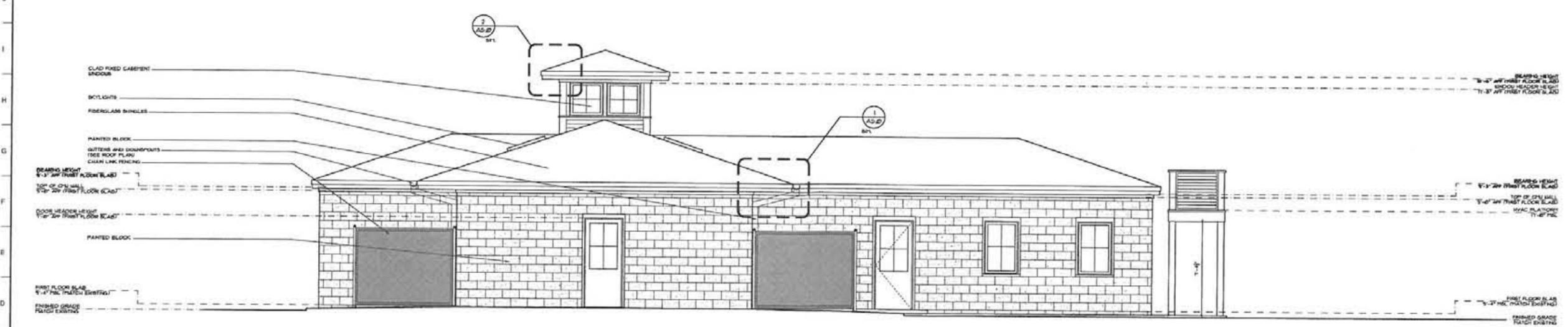
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PROJECT NO. 10-039
 DATE 07/07/11
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 SHEET NO. A3.0
 EXTERIOR ELEVATION

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31



1 FRONT (EAST) ELEVATION @ NEW BUILDING
SCALE 1/4" = 1'-0"



2 REAR (WEST) ELEVATION @ NEW BUILDING
SCALE 1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB WALL AND BEARING HEIGHT PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OF EXISTING SITE CONDITIONS.
THESE DRAWINGS ARE PROVIDED FOR DESIGN COORDINATION AND ARE INTENDED TO CONVEY THE EXTENT OF EXTERIOR DETAILING AND GENERAL CONSTRUCTION METHODS ONLY. SEE STRUCTURAL ENGINEERING DRAWINGS FOR TYPICAL CONNECTION, TO-DOWN, AND FOUNDATION DETAILS, INCLUDING SIZE AND LOCATION OF MATERIALS.
DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FINISHES.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

BEARING HEIGHT 11'-0" FROM FINISH FLOOR SLAB
WOOD HEADER HEIGHT 11'-0" FROM FINISH FLOOR SLAB
BEARING HEIGHT 11'-0" FROM FINISH FLOOR SLAB
TOP OF GYPSUM WALL 11'-0" FROM FINISH FLOOR SLAB
WOOD DOOR HEADER HEIGHT 11'-0" FROM FINISH FLOOR SLAB
FIRST FLOOR SLAB 11'-0" FROM FINISH FLOOR SLAB
FINISH GRADE MATCH EXISTING

BEARING HEIGHT 11'-0" FROM FINISH FLOOR SLAB
WOOD HEADER HEIGHT 11'-0" FROM FINISH FLOOR SLAB
BEARING HEIGHT 11'-0" FROM FINISH FLOOR SLAB
TOP OF GYPSUM WALL 11'-0" FROM FINISH FLOOR SLAB
WOOD DOOR HEADER HEIGHT 11'-0" FROM FINISH FLOOR SLAB
FIRST FLOOR SLAB 11'-0" FROM FINISH FLOOR SLAB
FINISH GRADE MATCH EXISTING

ORIGINALS
FOR EXISTING ELEMENTS APPROX:
ADD SKYLIGHTS TO EXISTING ROOF STRUCTURE, I.E. TO INVESTIGATE EXISTING ROOF AND COORDINATE LOCATION AND NUMBER OF SKYLIGHTS POSSIBLE WITH THE ARCHITECT'S STRUCTURAL ENGINEER, OR REMOVE EXISTING ROOF STRUCTURE AND REPLACE WITH NEW ROOF STRUCTURE TO INCLUDE SKYLIGHTS AS SHOWN ON PLANS AND ELEVATIONS.

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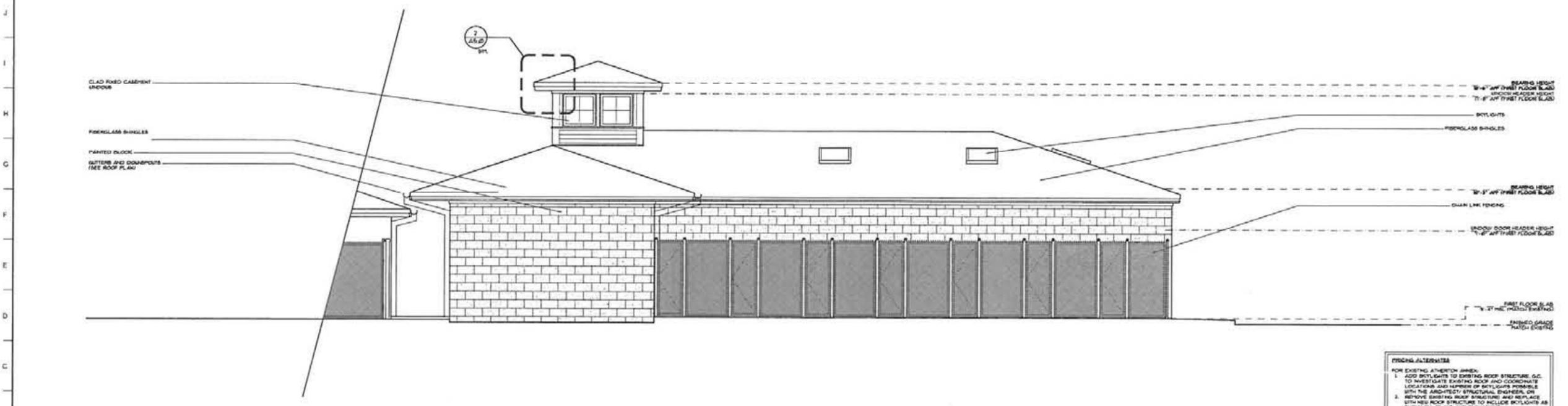
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PROJECT NO. 10-039
DATE 02/07/11
DRAWN BY
CHECKED BY
SHEET NO. **A3.1**
EXTERIOR ELEVATION



1 NORTH ELEVATION @ RENOVATED BUILDING
SCALE 1/4" = 1'-0"



2 NORTH ELEVATION @ NEW BUILDING
SCALE 1/4" = 1'-0"

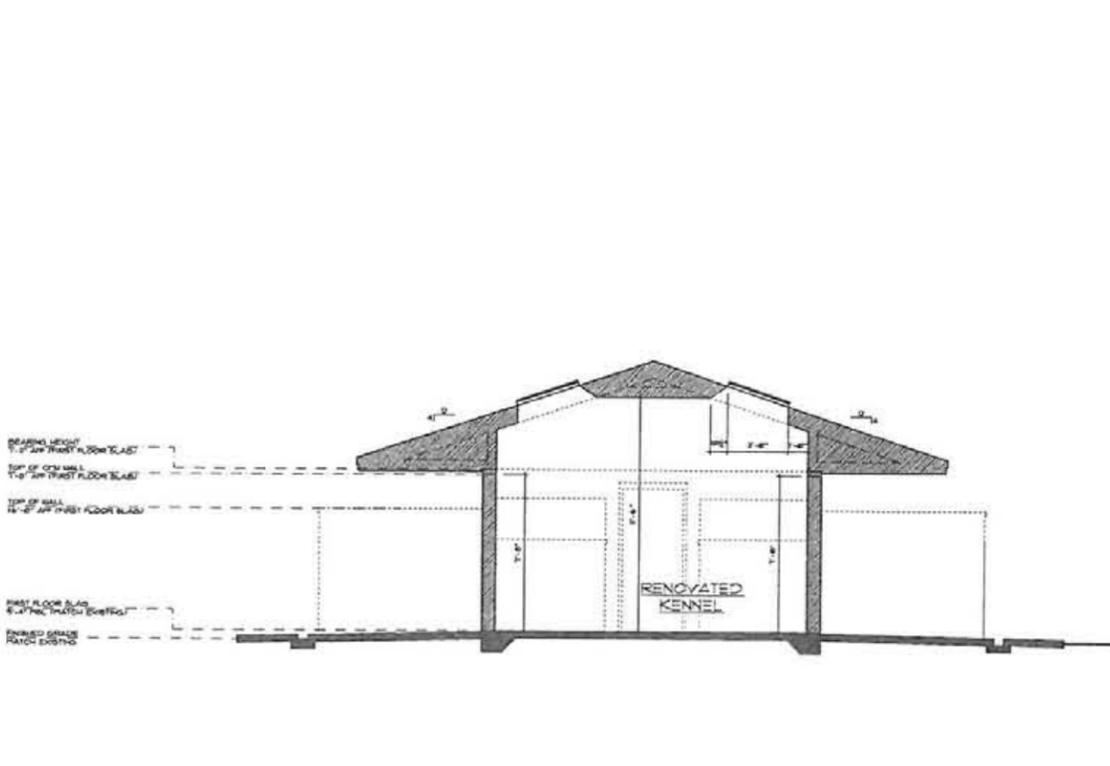
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND CEILING HEIGHT PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OF EXISTING SITE CONDITIONS.
THESE DRAWINGS ARE PROVIDED FOR DESIGN CONFIGURATION AND ARE INTENDED TO CLARIFY THE SCOPE OF EXTERIOR DETAILING AND GENERAL CONSTRUCTION METHODS ONLY. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR TYPICAL CONNECTION, TIE-INS, AND FOUNDATION DETAILS, INCLUDING SIZE AND LOCATION OF MATERIALS.
DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FINISHES.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

COURT ATKINS ARCHITECTS
HILTON HEAD HUMANE ASSOCIATION
ATHERTON ANNEX, 10 HUMANE WAY
HILTON HEAD ISLAND, SOUTH CAROLINA 29926
P.O. BOX 1000
P: 843.615.2557 F: 843.615.2558

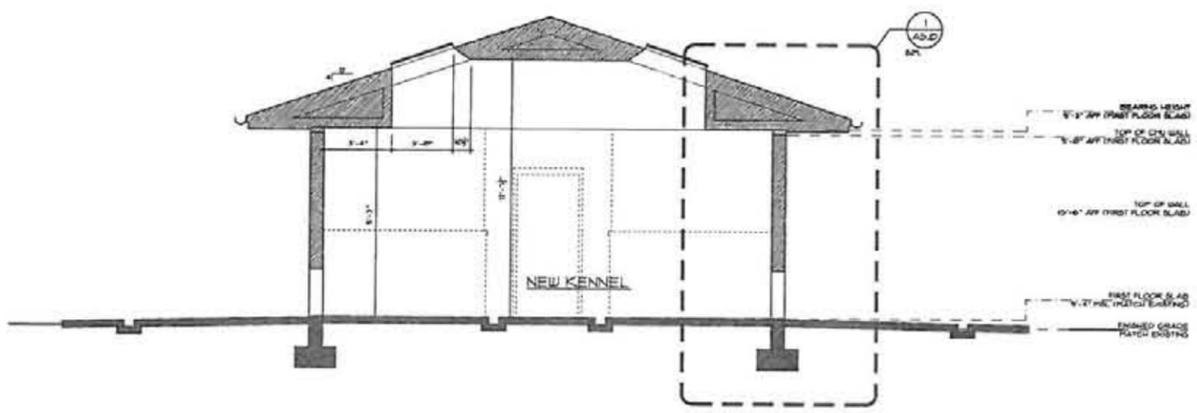
SEAL
SEAL
PROJECT NO. 10-033
DATE 07/07/11
DRAWN BY
CHECKED BY
SHEET NO. A3.2
EXTERIOR ELEVATION

EXISTING ATHERTON ANNEX
FOR EXISTING ATHERTON ANNEX:
1. ADD BAYLIGHTS TO EXISTING ROOF STRUCTURE, I.E. TO INVESTIGATE EXISTING ROOF AND COORDINATE LOCATIONS AND NUMBER OF BAYLIGHTS POSSIBLE WITH THE ARCHITECT/STRUCTURAL ENGINEER OR
2. REMOVE EXISTING ROOF STRUCTURE AND REPLACE WITH NEW ROOF STRUCTURE TO INCLUDE BAYLIGHTS AS SHOWN ON PLANS AND ELEVATIONS.

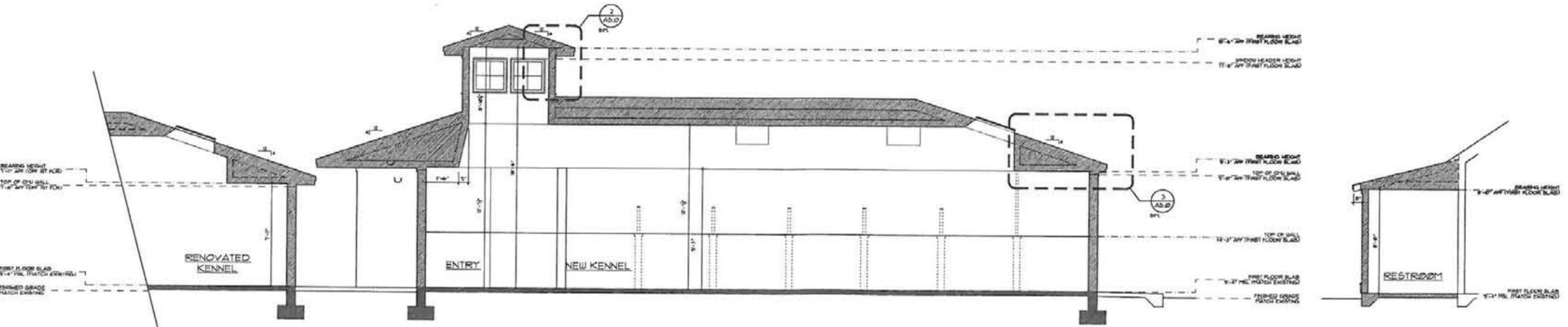
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31



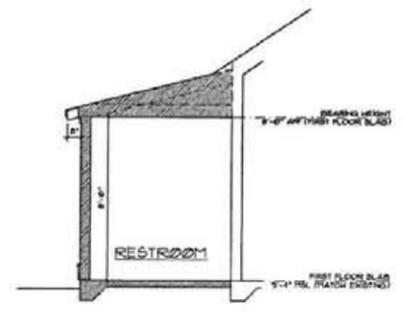
1 VERTICAL SECTION @ EXISTING BUILDING
A4.0 SCALE 1/4" = 1'-0"



2 VERTICAL SECTION
A4.0 SCALE 1/4" = 1'-0"



3 VERTICAL SECTION
A4.0 SCALE 1/4" = 1'-0"



4 VERTICAL SECTION
A4.0 SCALE 1/4" = 1'-0"



COURT ATKINS ARCHITECTS
 78 Bluffton, SC 29915
 P: 843.815.2557
 F: 843.815.2557

HILTON HEAD HUMANE ASSOCIATION
 ATHERTON ANNEX, 10 HUMANE WAY
 HILTON HEAD ISLAND, SOUTH CAROLINA 29926

SEAL
SEAL
PROJECT NO. 10-039
DATE 07/07/11
DRAWN BY
CHECKED BY
SHEET NO. A4.0
VERTICAL SECTIONS

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E212-02.

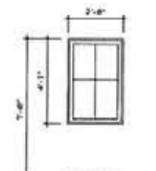
WINDOW SCHEDULE

MARK	DESCRIPTION	NORMAL SIZE		HEAD HEIGHT	DESIGN PRESSURE	ENERGY CODE	REMARKS
		WIDTH	HEIGHT				
A	GLAZ CASHEMENT UNIT	2'-8"	4'-2"	1'-0"			K.O. VARIED FOR BLOCK WALLS; SEE ELEVATION -
B	GLAZ FIXED CASHEMENT UNIT	2'-8"	2'-8"	1'-0"			SEE ELEVATION -
C	SKYLIGHT	2'-8"	3'-2"				SEE ELEVATION -

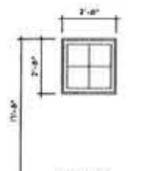
USE AS GUIDE FOR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.

U-VALUE AND SOLAR HEAT GAIN FACTOR (SHGC) SHALL BE AS SPECIFIED BY ENERGY CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT.

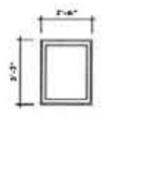
PROVIDE HOLD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTIVES AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION 60412 OF THE 2006 INTERNATIONAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 400 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE LABELED AND STORED ON SITE.



A SUB FLOOR
GLAZ CASHEMENT UNIT
2'-8" x 4'-2" (HD. 1')
(SHOWN EA. SASH, SOL.)
MANUFACTURER TBD BY G.C./OWNER
OR RATING 50 OR APPROVED EQUIVALENT



B SUB FLOOR
GLAZ FIXED CASHEMENT UNIT
2'-8" x 2'-8" (HD. 1')
(SHOWN EA. SASH, SOL.)
MANUFACTURER TBD BY G.C./OWNER
OR RATING 50 OR APPROVED EQUIVALENT



C SKYLIGHT UNIT
2'-8" x 3'-2" (HD. 1')
(SHOWN EA. SASH, SOL.)
BY VELUX, INC.
OR RATING 50 OR APPROVED EQUIVALENT

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E212-02.

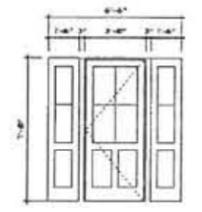
DOOR SCHEDULE

DOOR NUMBER	SIZE			MATERIAL	DOOR TYPE	HEAD HEIGHT	DESIGN PRESSURE	ELEVATION	REMARKS
	W	H	T						
ED1	3'-0"	7'-0"	1 1/2"	T.B.D.	EXTERIOR DOOR	7'-0"			1/4" x 1 1/2" SCHEDULE TYPE 1 FINISH BY G.C./OWNER, SEE ELEVATION
ED2	2'-8"	7'-0"	1 1/2"	T.B.D.	EXTERIOR DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER, SEE ELEVATION
ED3	3'-0"	7'-0"	1 1/2"	T.B.D.	EXTERIOR DOOR	7'-0"			20 MIN. FIRE-RATED DOOR, TYPE 1 FINISH BY G.C./OWNER
ED4	3'-0"	7'-0"	1 1/2"	T.B.D.	EXTERIOR DOOR	7'-0"			20 MIN. FIRE-RATED DOOR, TYPE 1 FINISH BY G.C./OWNER
ED5	3'-0"	7'-0"	1 1/2"	T.B.D.	EXTERIOR DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER, SEE ELEVATION
ED6	3'-0"	7'-0"	1 1/2"	T.B.D.	EXTERIOR DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER, SEE ELEVATION
ED7	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED8	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED9	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED10	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED11	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED12	2'-4"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED13	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR **	7'-0"			PROVIDE STANDARD "FLOOR PANEL" SYSTEM AS REQUIRED BY FLOOD REGULATIONS, TYPE 1 FINISH BY G.C./OWNER
ED14	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED15	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER
ED16	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR **	7'-0"			PROVIDE STANDARD "FLOOR PANEL" SYSTEM AS REQUIRED BY FLOOD REGULATIONS, TYPE 1 FINISH BY G.C./OWNER
ED17	3'-0"	7'-0"	1 1/2"	T.B.D.	H.M. DOOR	7'-0"			TYPE 1 FINISH BY G.C./OWNER

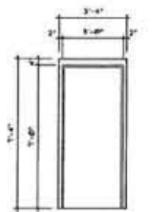
USE AS GUIDE FOR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.

IF NO RATING OR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.

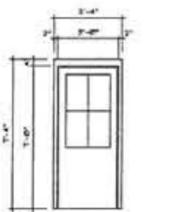
PROVIDE HOLD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTIVES AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION 60412 OF THE 2006 INTERNATIONAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 400 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE LABELED AND STORED ON SITE.



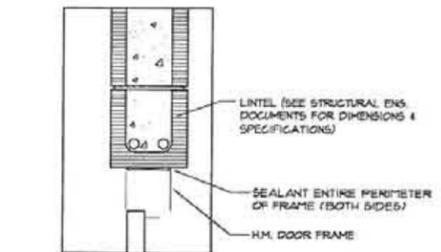
ED1 EXTERIOR DOOR SYSTEM (MATERIAL TBD) EXTERIOR DOOR
3'-0" x 7'-0" (1 1/2" x 1'-0" HD.)
(SHOWN EA. SASH, SOL.)
MANUFACTURER TBD BY G.C./OWNER
OR RATING 50 OR APPROVED EQUIVALENT



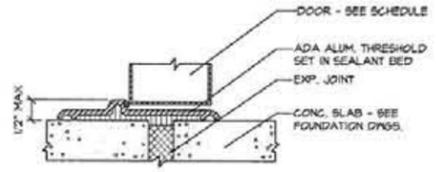
ED2 EXTERIOR DOOR SYSTEM (MATERIAL TBD) EXTERIOR DOOR
2'-8" x 7'-0" (1 1/2" x 1'-0" HD.)
(SHOWN EA. SASH, SOL.)
MANUFACTURER TBD BY G.C./OWNER
OR RATING 50 OR APPROVED EQUIVALENT



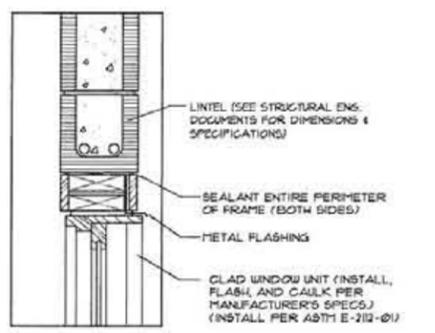
ED3 EXTERIOR DOOR SYSTEM (MATERIAL TBD) EXTERIOR DOOR
3'-0" x 7'-0" (1 1/2" x 1'-0" HD.)
(SHOWN EA. SASH, SOL.)
MANUFACTURER TBD BY G.C./OWNER
OR RATING 50 OR APPROVED EQUIVALENT



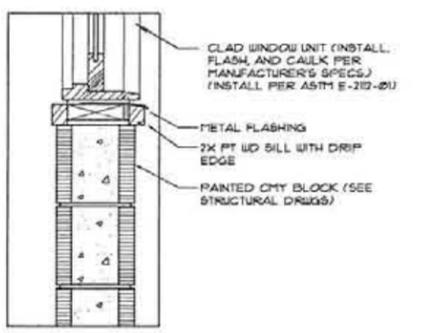
1 TYPICAL DOOR HEAD AT BLOCK WALL
SCALE 1/2" = 1'-0"



2 TYPICAL EXTERIOR THRESHOLD
NO SCALE



3 TYPICAL WINDOW HEAD AT BLOCK WALL
SCALE 1/2" = 1'-0"



4 TYPICAL WINDOW SILL AT BLOCK WALL
SCALE 1/2" = 1'-0"

COURT ATKINS ARCHITECTS
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HILTON HEAD ISLAND, SOUTH CAROLINA 29920

P.O. BOX 1000
Bluffton, SC 29910
P: 843.815.2323
F: 843.815.2323

REVISIONS

SEAL

SEAL

PROJECT NO. 10-039
DATE 07/07/11
DRAWN BY
CHECKED BY
SHEET NO. **A6.0**
DOOR & WINDOW SCHEDULES

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT 10 Humane Way

DRB# DR1100016

DATE 3/8/2011

RECOMMEND
APPROVE

RECOMMEND
APPROVE W/COND.

RECOMMEND
DENY

ARCHITECTURAL DESIGN

Renovation and addition are in keeping with the first phase of improvements at the Humane Association. Hardi-plank honors public areas. There are functional and visibility issues to consider when reviewing the CMU elevations relative to typical applications. Color samples will be provided at the meeting.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	Given the use
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	
Minimum roof pitch of 6/12		Roof pitch is in keeping with previous development
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	Y	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	Y	
Details are clean, simple and appropriate while avoiding excessive ornamentation	Y	
Utilities and equipment are	Y/N	Platform height is a function of Fire and Rescue

concealed from view		accessibility. As drawn, they seem a little awkward, although the applicant and F+R are reviewing alternatives. Relocation should be a consideration, if feasible.
Decorative lighting is limited and low wattage and adds to the visual character	Y	
Accessory elements are design to coordinate with the primary structure	Y	

LANDSCAPE DESIGN
 There is no landscape element to this submittal. Any foundation plantings would be impractical given the use of the dog-run, and the daily maintenance of the building. Exterior views are blocked by heavy wax myrtle vegetation at the buffers.

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest		

and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		NR comments will be addressed during the planning department review of the project.
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS
