



# The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, April 26, 2011

1:15 p.m. – Benjamin M. Racusin Council Chambers

## **REVISED AGENDA**

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** - Meeting of April 12, 2011
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**- None
9. **New Business**
  - A) DR110020- First Presbyterian Church- Phase III- Alteration/ Addition
  - B) DR110021- Verizon Cell Cabinet- Shell Point (Wild Horse Road)- Alteration Addition
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**The Town of Hilton Head Island**  
**DESIGN REVIEW BOARD**  
**Minutes of the Tuesday, April 12, 2011 Meeting**      **DRAFT**  
**1:15pm – Benjamin M. Racusin Council Chambers**

Board Members Present:      Chairman Tom Parker, Vice Chairman Todd Theodore,  
Ted Behling, Jennifer Moffett, Galen Smith, Scott Sodemann, and  
Deborah Welch

Board Members Absent:      None

Council Members Present:      None

Town Staff Present:      Mike Roan, Urban Design Administrator  
Richard Spruce, Building Plans Administrator  
Heather Colin, Development Review Administrator  
Kathleen Carlin, Administrative Assistant

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**1. CALL TO ORDER**

Chairman Parker called the meeting to order at 1:15pm.

**2. ROLL CALL**

**3. FREEDOM OF INFORMATION ACT COMPLIANCE**

**4. APPROVAL OF THE AGENDA**

The agenda was **approved** as presented by general consent.

**5. APPROVAL OF THE MINUTES**

The minutes of the March 22, 2011 meeting were **approved** as presented by general consent.

**6. STAFF REPORT**

None

**7. BOARD BUSINESS**

None

**8. UNFINISHED BUSINESS**

**1301 Main Street - Minor External Change - DR110015**

Mr. Roan presented a brief review of the project. This is the application's third review before the Board. The bay window on the left side of the elevation has been eliminated as recommended by the Board. The scale, detailing, and geometry of today's submission are more in keeping with what appears to be the intent of the original design.

Mr. Roan provided an in-depth review of the application. Staff recommended approval with some clarification requested from the applicant on the dimensions of the detailing around the windows. Also, any landscaping that is removed or disturbed shall be replaced with an in-kind

evergreen material. Following staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Dale Johnson, Architect, presented statements in support of the submission. The applicant described the detailing around the windows. The Board discussed the project, and most of the members stated that today's submission is a large improvement over the previous two reviews. Following final comments, Chairman Parker requested that a motion be made.

Vice Chairman Theodore made a **motion to approve** the 1301 Main Street application with the following conditions: (1) the trim work and the base trim of the window shall be finished in a white trim color; (2) the window detailing shall be similar to the existing windows; (3) if existing shrubs are removed, they shall be replaced with evergreen shrubs that run continuously across the bottom of the inset where the window is going. Mr. Behling **seconded** the motion and the motion **passed** with a vote of 6-1-0.

### **Paulie's Pizza – DR100026 – Alteration/Addition**

Mr. Roan provided a brief history of the project and described its location at the corner of William Hilton Parkway and Arrow Road. Mr. Roan presented an in-depth review of today's application.

The restaurant has a parking easement across the paved areas between the rear of the existing Lancaster building and Dunnagan's Alley. The up-fit for Paulie's and the pending construction of the traffic circle at the intersection of Dunnagan's Alley and Arrow Road has affected the configuration, and a formalized parking layout was required for the area. This has had some impact on the Paulie's site. The final parking plan is the result of negotiations between the Town of Hilton Head Island and the Owner (approved by Community Development as part of the Development Review permit, and approved by Town Council.)

Paulie's has submitted a plan for their respective property, which is the sole element for review that will have impact on approval. Also, in the interest of context, the staff will present plans for the landscaping of the new lot configuration, as it has bearing on the development. This additional plan was done by a separate consultant representing the property owner in the parking lot negotiations.

Both the tenant's landscaper and the building owner's consultant have been in communications regarding the DRB submittal. All foundation planting in the form of shrubs should be a minimum of 7-gal.size. The median at the hammerhead for turn-around at the service yard should be planted to screen from the street.

Mr. Roan presented the landscape plan including the plant list. There appears to be a lot going on under the large live oak tree at the front of the building; and this tree has had impacts to it during construction. The staff recommended that the applicant remove the stepping stones and move the camellias outside of the tree's drip line.

The applicant should use more native plants (currently only autumn fern and muhly grass exists.) The staff recommended approval of the application with today's landscaping comments. At the completion of the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Applicant, Mr. Tony Genovese, presented statements in support of the application. The Board and applicant discussed the landscape plan and the service yard. Mr. Joe Highsmith, one of the building's owners, presented additional statements in regard to the landscape plan and the service yard.

Ms. Heather Colin presented statements on behalf of staff in regard to the parking area. The staff has worked with the applicant to maximize available parking. Following the Board's discussion, Chairman Parker requested that a motion be made.

Vice Chairman Theodore made a **motion** to **approve** the Paulie's Pizza landscape plan application with the following conditions: (1) the asphalt bump-out in the service area shall be removed and replaced with landscaping (2) the foundation plant material shall be increased to 7-gal.container sizes; (3) in interpreting the plan, the applicant is keeping the two palms that are remaining in the island. These two palms are to remain; (4) the stepping stones located under the canopy of the tree shall be removed; (5) the applicant shall replace some of the existing ferns and muhly grass with a larger evergreen type shrub for screening around the existing utilities. Mr. Sodemann **seconded** the motion and the motion **passed** with a vote of 7-0-0.

## 9. NEW BUSINESS

### Hilton Head Cabanas – Repaint – DR110019

Mr. Roan introduced the project and stated its location on South Forest Beach. The project's proposed paint palette reflects that of the neighboring property. Mr. Roan circulated hard samples of the proposed colors for the Board's review. The accent color on the service yards provides an additional level of detail to what is currently a monochromatic building.

Some clarification may be needed regarding the applicant's plans for the screen door elements. Any and all landscaping shall be protected. Any landscaping that is destroyed or disturbed shall be replaced with an identical or similar specimen. The staff recommended approval with these comments. Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Ron Fenstermaker, agent for Hilton Head Cabanas, HPR, presented statements in support of the application. The Board and the applicant discussed the color palette, the metal roof, and coordinating the screen doors so that they are consistent in color. Following the Board's discussion, Chairman Parker requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Hilton Head Cabanas Repaint application as presented. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 7-0-0.

## 10. APPEARANCE BY CITIZENS

Mr. Randy Smith, resident of South Forest Beach Drive across from the Metropolitan Hotel, presented public statements in concern of possible excessive noise that may soon occur as a result of a new outside raised deck at this location. Mr. Smith stated that the aesthetics of this area need improvement. Sufficient landscaping is needed that will both screen the raised deck and buffer the neighborhood from any excessive noise. The Board discussed the issue and agreed with the need for some additional landscaping.

Mr. Roan presented statements in regard to the existing landscaping and the potential need for additional landscaping. The owner of the hotel will install some plantings and the Town will install some understory plantings as well. These efforts should help address some of the issues. The Town will do what they can to address the problem and will work with the residents in this area to resolve these concerns.

**11. ADJOURNMENT**

The meeting was adjourned at 2:25pm.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Administrative Assistant

\_\_\_\_\_  
Tom Parker  
Chairman

DRAFT



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Trey Griffin Company: Wood + Partners, Inc.  
 Mailing Address: 7 Lafayette Pl City: HHI State: SC Zip: 29926  
 Telephone: 601-6618 Fax: 601-7086 E-mail: tgriffin@woodandpartners.com  
 Project Name: First Presbyterian Church Phase III Project Address: 540 William Hilton Pkwy, HHI SC  
 Parcel Number [PIN]: R 510 008 000 0084 0000 29928  
 Zoning District: OL Overlay District(s): COR

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number

- Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

N/A Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

#### New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions and Minor External Changes**

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Trey Guff  
SIGNATURE

4.11.2011  
DATE

**Additions and Modifications / Phase III**  
**FIRST PRESBYTERIAN CHURCH**  
Hilton Head Island, SC

**Project Narrative**

April 11, 2011

**BACKGROUND**

Modifications and additions to First Presbyterian Church are being undertaken in phases due to the requirement to keep the facility in operation during construction. Phase I was completed and occupied earlier this year. Phase II is currently under construction and Phase III is the subject of this application.

**PROPOSED PHASE III ADDITIONS AND MODIFICATIONS**

The central area of the church which includes choir rehearsal room, bell choir rehearsal room, infant nursery, parlor, and several staff offices and restroom facilities was built more than 40 years ago and no longer meets the functional and programmatic needs of the church and will be demolished to make way for new facilities as described below.

The main element of the new construction is a “gathering space” which will provide space for fellowship activities, non-worship assembly functions and other pre-worship and post-worship activities. (The existing fellowship hall is used for worship by the Cross Roads group). The new work also includes a new choir rehearsal hall, a new elevator, new restrooms and a new parlor.

The design intent is that the new and/or modified elements blend with the existing areas of the structure which are to be salvaged to the greatest extent possible.

The exterior materials are similar and/or compatible with existing. Colors are intended to match existing. No new or contrasting colors are planned or intended.

The site design will require only minimal site disturbance. Several hazardous trees previously proposed to be taken down along with several existing trees within the proposed building footprint are to be removed as part of this phase. Several existing aggregate walks will be removed and replaced or widened as part of this project due to old age and impacts from construction access and staging. A new walk accessing the proposed addition from the parking lot will be added. New sidewalk materials will be exposed aggregate with select areas receiving brick banding to match existing walks and brick on site.

An existing service area will be renovated to include a dumpster screen fence with access gates. Materials will be wood stained to match adjacent Fellowship Hall colors.

Minor landscape enhancement is proposed and includes replacing turf and planting areas that will be torn up during construction. New landscaping will also help soften the proposed new addition. Landscape replacement material will complement the existing landscape look and match recently installed landscape within the Phase I & II work.

Site lighting will be renovated to include additional Palmetto Electric shoebox fixtures within the pedestrian circulation areas to provide additional low level lighting. No new parking or street fixtures will be installed.

**Existing Project Photographs**  
**First Presbyterian Church**  
**Phase III – Additions and Modifications**  
Hilton Head Island, South Carolina  
April 12, 2011



View of rear courtyard area showing landscape border to be replaced.  
Exterior building modifications are shown on East Elevation.



View of partial wall to be removed, covered walkway to be replaced, and areas to receive new landscaping.

**Existing Project Photographs - Continued**  
**First Presbyterian Church-Phase III**



View of service yard from existing drive, showing sidewalk and tree to be removed. Exterior building modifications are shown on North Elevation.



View of service yard showing location to receive new concrete drive, screen fencing, and dumpster.

**Existing Project Photographs - Continued**  
**First Presbyterian Church-Phase III**



View of main campus to receive new concrete sidewalk, landscaping and revised building architecture.

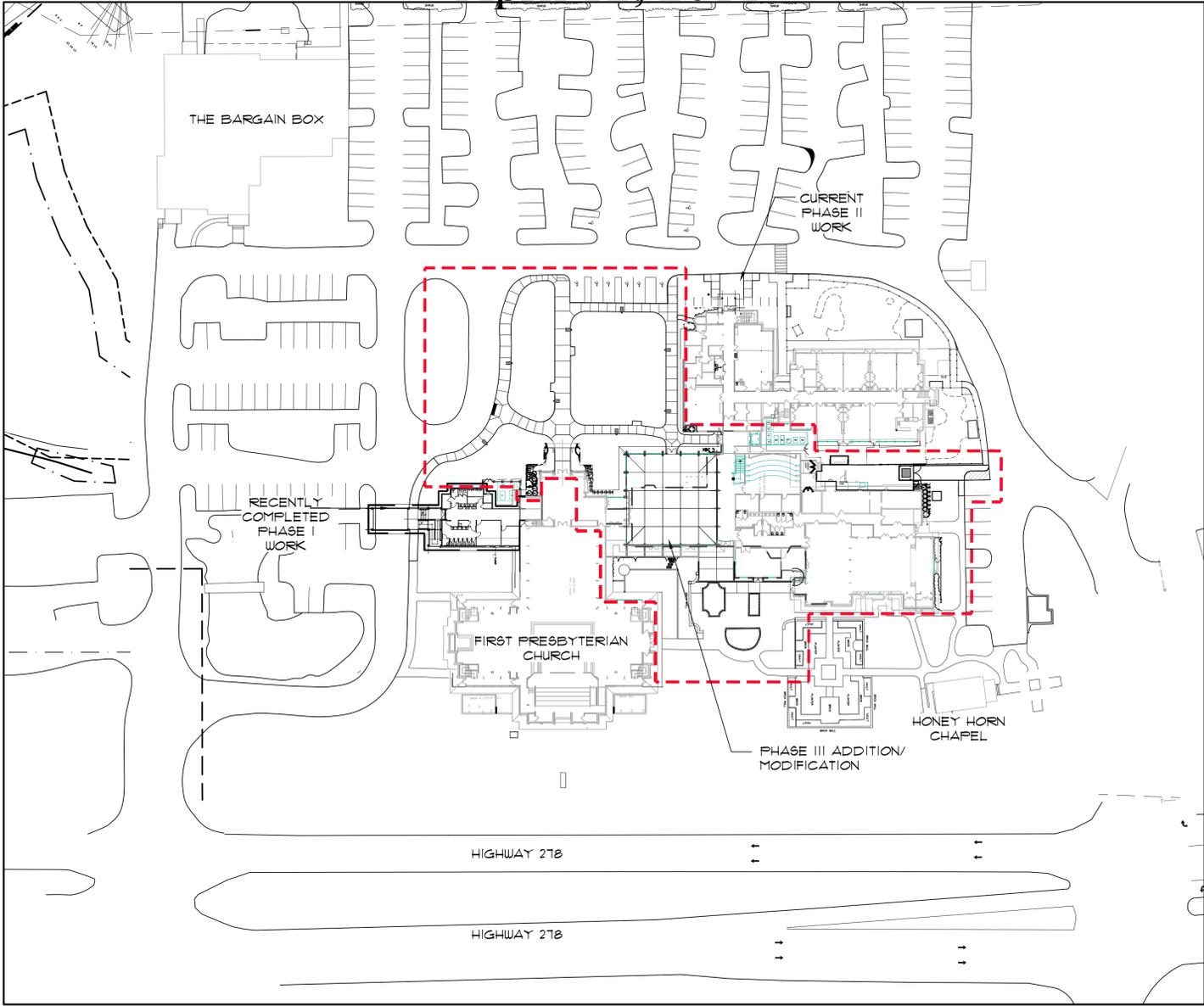


View of main campus to receive new concrete sidewalk, landscaping and lighting. Exterior building modifications are shown on West Elevation.

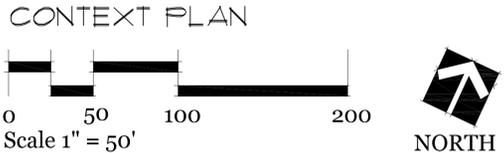
# FIRST PRESBYTERIAN CHURCH ADDITIONS & MODIFICATIONS LANDSCAPE DEVELOPMENT PLANS PHASE III HILTON HEAD ISLAND, SC April 12, 2011

**SHEET INDEX:**

- L1 - SITE PLAN
- L2 - DETAILS
- L3 - LANDSCAPE PLAN
- L4 - SCHEDULE & DETAILS



- GENERAL SITE PLAN AND LAYOUT NOTES:**
1. THIS BUILDER'S SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
  2. TEMPORARY EROSION & SEDIMENT CONTROLS (HAY BALES, SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
  3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
  4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
  5. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
  6. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
  7. TREE PROTECTION FENCES SHALL BE MAINTAINED IN PLACE AT ALL TIMES UNTIL WORK IS COMPLETED.
  8. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
  9. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
  10. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.
  11. ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE NOTED.
  12. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS OR AS NOTED.
  13. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.









**PLANT SCHEDULE:**

QUAN	ABBREV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
2	CERC	Cercis canadensis Forest Pansy' Forest Pansy Redbud	8-10'	3-4'	cont.	AS SHOWN	1 1/2" CAL. MIN.
3	LAGI	Lagerstroemia indica Crape Myrtle	6-8'	4-6'	cont.	AS SHOWN	Multi-Stem Specimen
1	QUEF	Quercus falcata Southern Red Oak	8-10'	4-6'	cont.	AS SHOWN	2 1/2" CAL. MIN.
12	QUEV	Quercus virginiana Live Oak	8-10'	4-6'	cont.	AS SHOWN	2 1/2" CAL. MIN.

**SHRUBS**

QUAN	ABBREV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
61	AZAC	Azalea x 'Conlele' Autumn Embers Encore Azalea	12-18"	12-18"	cont.	AS SHOWN	FULL
1	AZAG	Azalea indica 'Mrs. G. G. Gerbing' G. G. Gerbing Azalea	18-24"	18-24"	cont.	AS SHOWN	FULL
81	AZAI	Azalea indica 'Formosa' Formosa Azalea	18-24"	18-24"	cont.	AS SHOWN	FULL
6	CAMG	Camellia Saanqua 'Shishi Gashira' Shishi Gashira Camellia	18-24"	18-24"	cont.	AS SHOWN	FULL
11	CAMS	Camellia Saanqua 'Yuletide' Yuletide Camellia	24-36"	18-24"	cont.	AS SHOWN	FULL
6	HYDG	Hydrangea quercifolia 'Alice' Alice Oakleaf Hydrangea	18-24"	18-24"	cont.	AS SHOWN	FULL
10	IILEC	Ilex cornuta 'Dwarf Burford' Dwarf Burford Holly	18-24"	18-24"	cont.	AS SHOWN	FULL
11	OSMA	Osmanthus americanus Devilwood Osmanthus	36-48"	18-24"	cont.	AS SHOWN	FULL

**GROUNDCOVERS**

QUAN	ABBREV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
102	AGAA	Agapanthus africanus Lily of the Nile	12-18"	10-12"	cont.	3' O.C.	FULL
75	CYRF	Cyrtolium falcatum Holly Fern	8-12"	10-12"	cont.	3' O.C.	FULL
42	HEMS	Hemerocallis 'Stella de Oro' Stella de Oro Daylily	8-12"	8-10"	cont.	24" O.C.	FULL
131	HEDC	Hedera canariensis Algerian Ivy	8-12"	8-12"	cont.	3' O.C.	FULL
404	LIRE	Liriope muscari 'Evergreen giant' Evergreen Giant Liriope	12-18"	8-12"	cont.	24" O.C.	FULL
56	TRAA	Trachelocarpum asiaticum Asiatic Jasmine	6-8"	10-12"	cont.	24" O.C.	FULL
8870h1	MULCH	Pine straw	-	-	-	-	Spread to 3" depth
5000h1	SOD	Stenotaphrum secundatum St. Augustine Grass	-	-	-	-	-

**GENERAL PLANTING NOTES:**

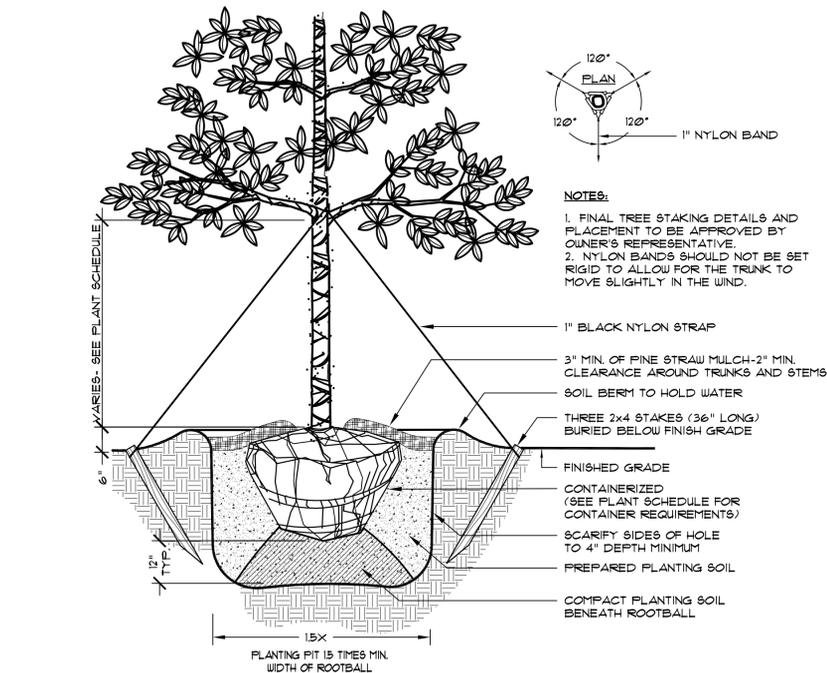
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- WARRANT EXTERIOR PLANTS, FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- FURNISH NURSERY-GROWN EXTERIOR PLANT MATERIALS COMPLYING WITH ANSI Z601, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPE, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF FREEN OR EQUAL.

**IRRIGATION NOTES**

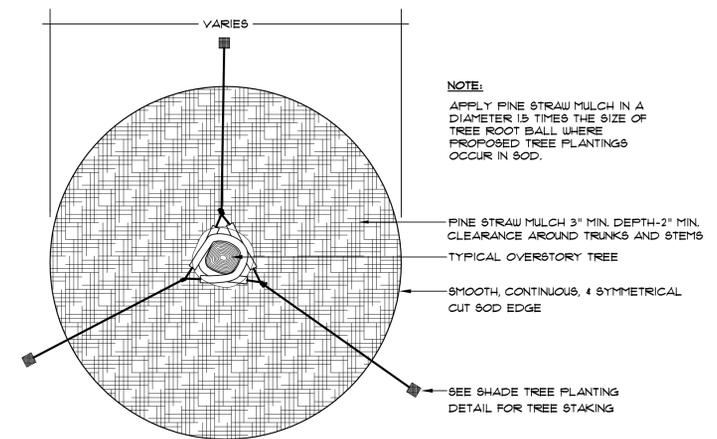
- ALL PLANT BEDS AND AREAS TO RECEIVE 100% IRRIGATION COVERAGE.
- IRRIGATION SYSTEM TO MEET ALL LOCAL AND NATIONAL PLUMBING AND ELECTRICAL CODES.
- AVOID SPRAYING ROADS, PARKING AND WALKS.
- CONTRACTOR TO TIE SYSTEM INTO EXISTING SYSTEM AS NECESSARY. COORDINATE WITH OWNER.
- CONTRACTOR SHALL PROVIDE 3 SETS OF AS-BUILT IRRIGATION DRAWINGS AFTER CONSTRUCTION IS COMPLETE AND APPROVED BY THE OWNER.

**MULCHING NOTES**

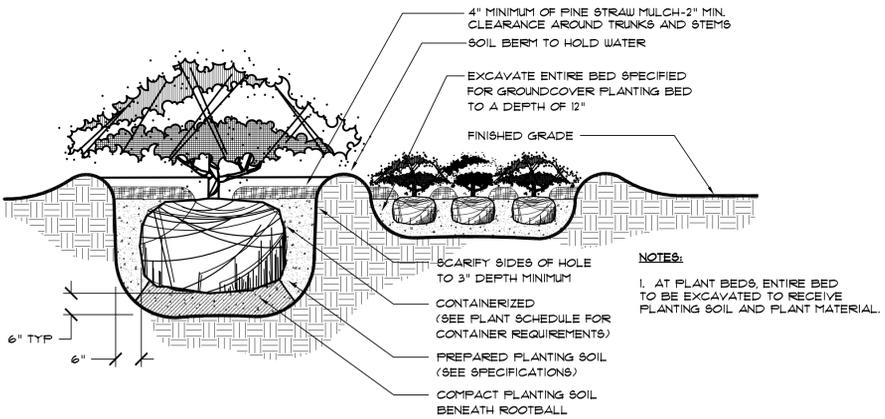
- MULCH ALL PLANTING BEDS WITH PINE STRAW TO A 3" DEPTH.



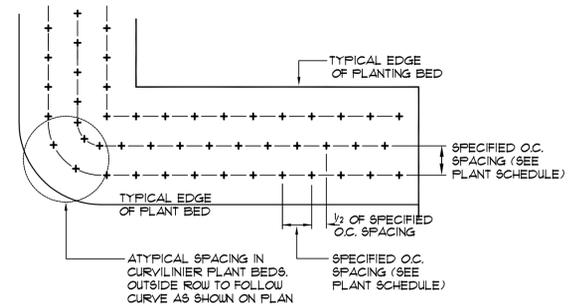
**1 SHADE TREE PLANTING**  
L4 NOT TO SCALE



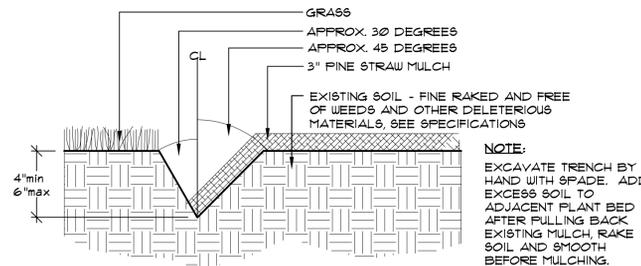
**2 TREE MULCHING**  
L4 NOT TO SCALE



**3 SHRUB AND GROUNDCOVER PLANTING**  
L4 NOT TO SCALE



**4 TYPICAL GROUNDCOVER SPACING**  
L4 NOT TO SCALE



**5 TYPICAL PLANTING BED EDGE TRENCH**  
L4 NOT TO SCALE

**ADDITIONS & MODIFICATIONS**  
**LANDSCAPE DEVELOPMENT PLANS**  
**PHASE III**  
**HILTON HEAD ISLAND, SC**

DRAWN BY:  
 TRT/TG  
 CHECKED BY:

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REVISION	DATE	BY
PLAN REV COMMENTS	08-13-10	TG

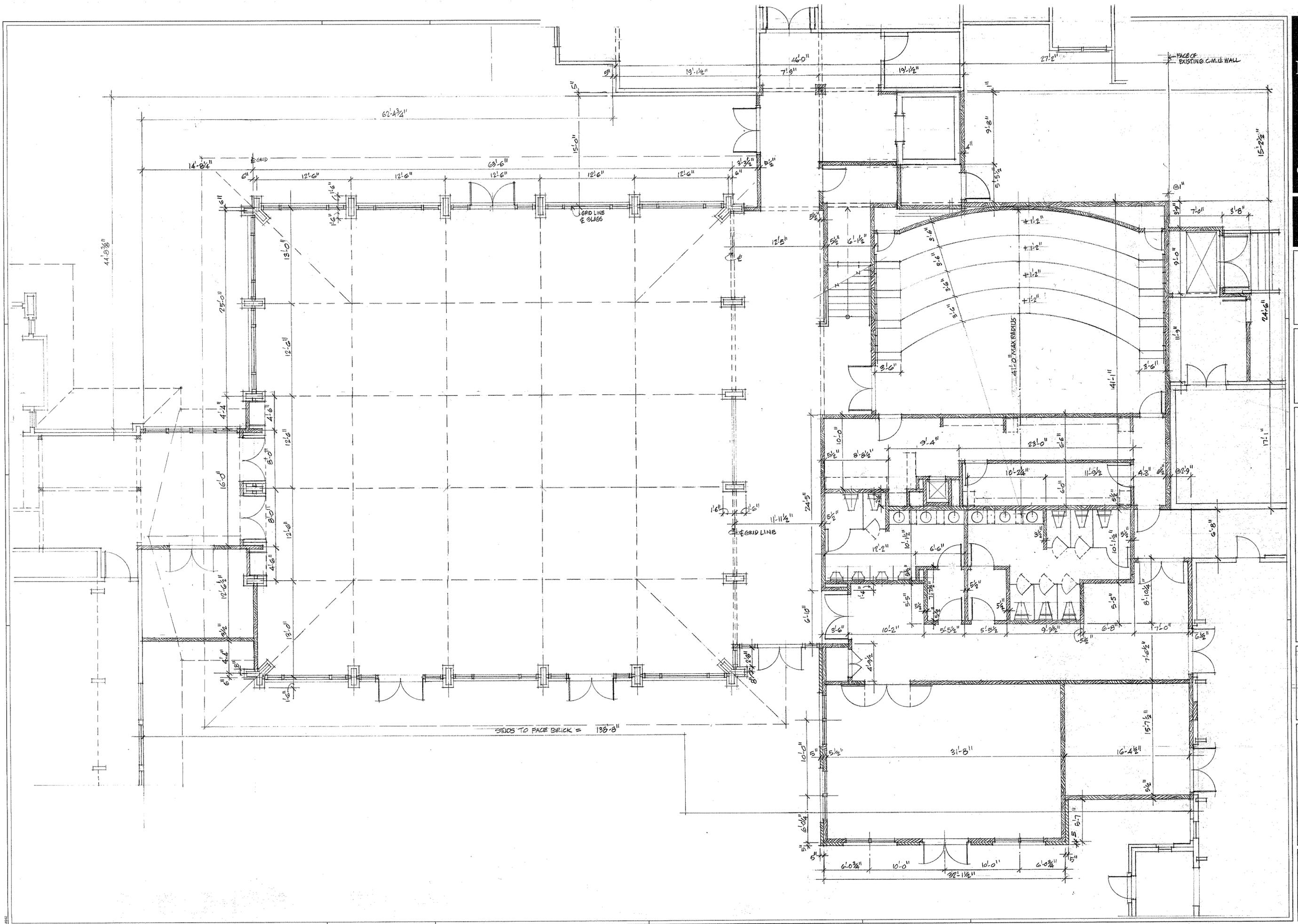
DATE  
 April 12, 2011  
 PROJECT NUMBER  
 01-10014  
 SHEET TITLE  
**PLANTING PLAN & DETAILS**

**Wood+Partners Inc. WPI**  
 Landscape Architects  
 Land Planners

PO Box 23919 ■ Hilton Head Island, SC 29925  
 843.681.6618 ■ Fax 843.681.7088 ■ www.woodpartners.com

SHEET NUMBER  
**L4**

PLAN IS SUBJECT TO CHANGE.



Phase III. Modifications and Additions:  
**FIRST PRESBYTERIAN CHURCH**  
 540 William Hilton Parkway  
 Hilton Head Island, SC

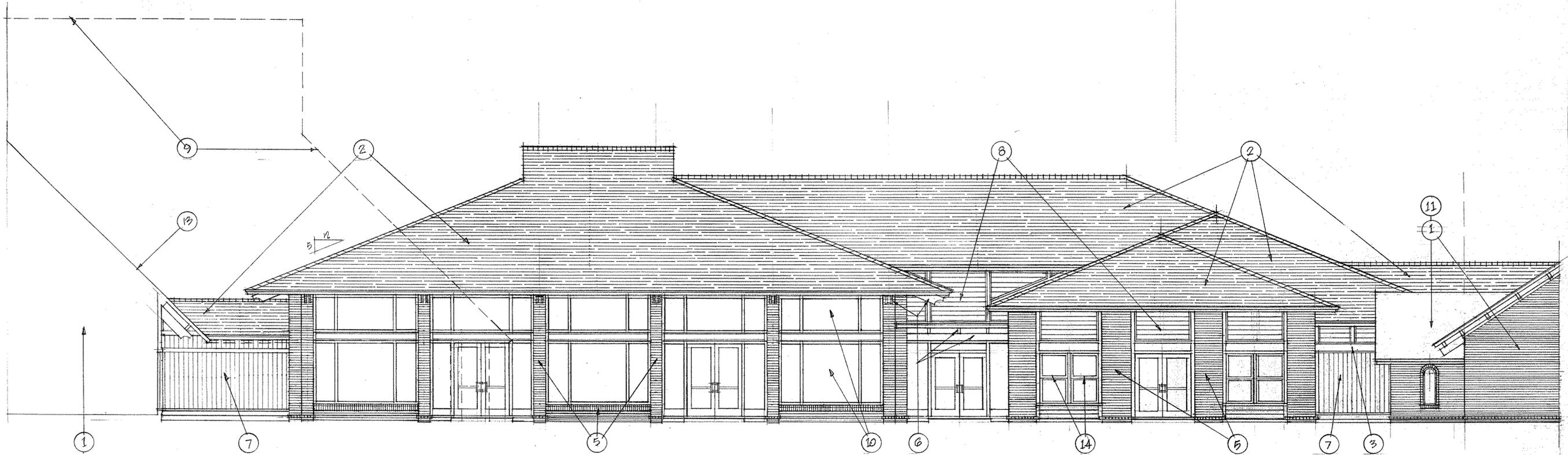
JOB NO. 10043  
 DATE AR-11-2011  
 DRAWN BY LP  
 CHECKED BY

REVISIONS

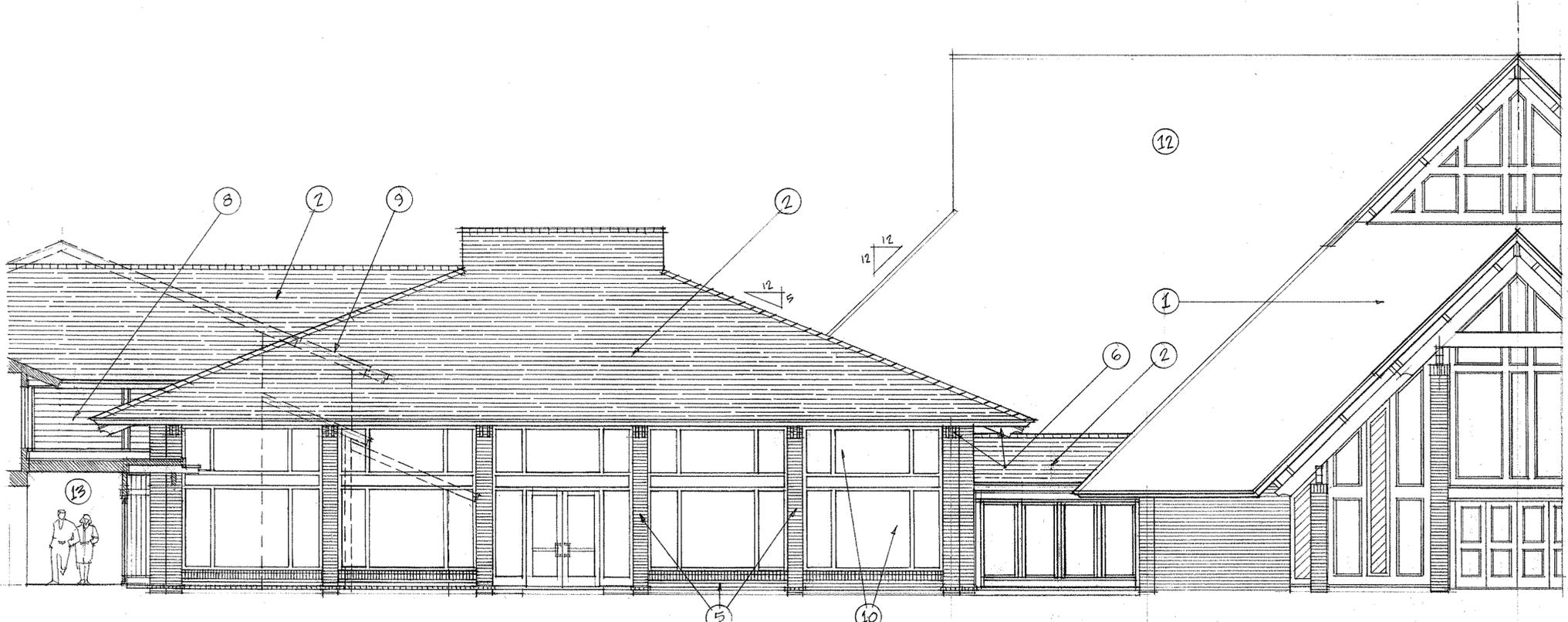
SHEET

OF





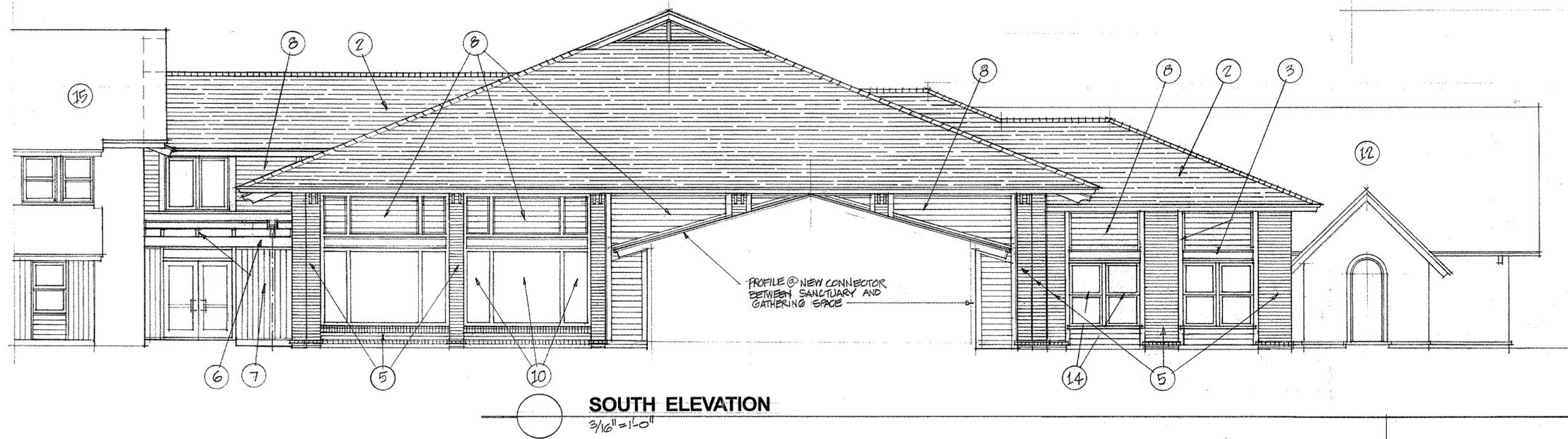
**EAST ELEVATION**  
3/16" = 1'-0"



**WEST ELEVATION**  
3/16" = 1'-0"

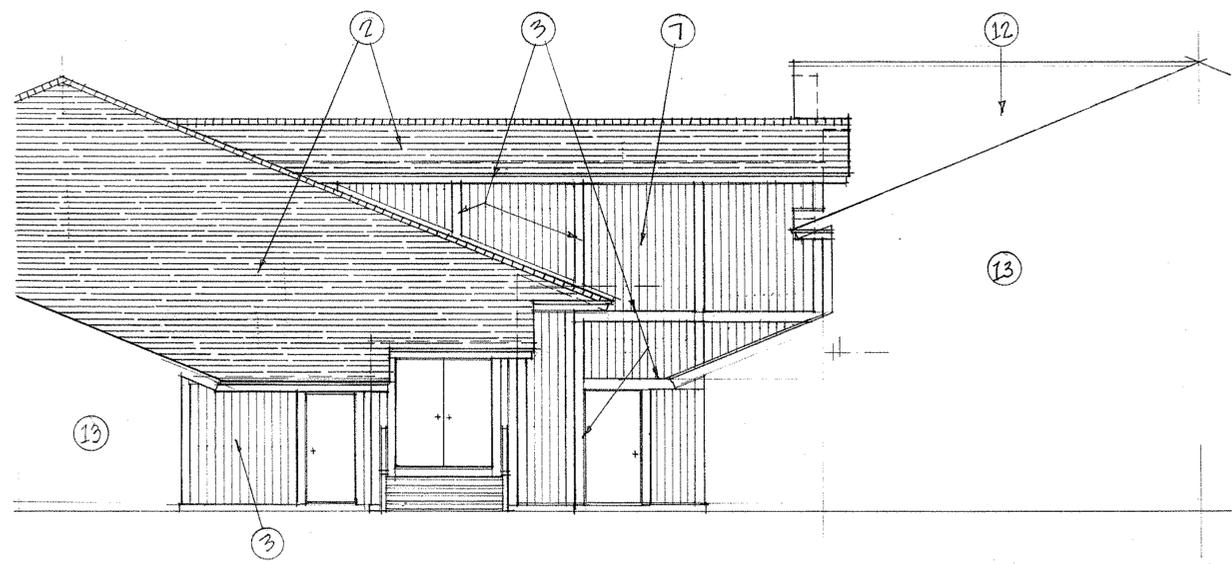
**MISCELLANEOUS SPEC NOTES**

1. EXISTING CONSTRUCTION - NO CHANGES REQUIRED.
2. ROOFING AT NEW CONSTRUCTION WILL MATCH EXISTING.
3. ALL FASCIA BOARDS AND MISCELLANEOUS EXTERIOR TRIM WILL BE S4S CYPRESS (SELECT).
4. NEW SLOPED SOFFITS WILL BE 1/2" EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
5. NEW FACE BRICK WILL BE ENGINEER MODULAR WITH 3/8" MORTAR JOINTS. (3-5/8" X 7-5/8" X 2-13/16")
6. EXPOSED EXTERIOR BEAMS ARE GLUB LAMINATED (KDAT).
7. TYPICAL VERTICAL SIDING WILL BE 13/16" X 7-1/4", ROUGH FACE OUT, CYPRESS SIDING (PATTERN #139).
8. HORIZONTAL SIDING IS 7-1/4" X 13/16" CYPRESS SIDING PATTERN #139, ROUGH FACE OUT, CUT LEG TO ACHIEVE TIGHT JOINT FINISH.
9. DASHED LINES INDICATE PROFILE OF EXISTING CONSTRUCTION. NEW CONSTRUCTION IS VISIBLE IN ELEVATION.
10. ALUMINUM FRAME GLAZING SYSTEM WITH POWDER COAT FINISH. IMPACT RATED GLAZING AND DP RATING OF 45 (MINIMUM).
11. ROOFING WITHOUT SHINGLES DELINEATED IS EXISTING CONSTRUCTION, NO CHANGE INTENDED.
12. EXISTING CONSTRUCTION VISIBLE BEYOND - NO CHANGES PLANNED.
13. SECTION PROFILE CUT AT EXISTING CONSTRUCTION.
14. DOUBLE HUNG WINDOWS.



**SOUTH ELEVATION**

3/16" = 1'-0"



**NORTH ELEVATION**

3/16" = 1'-0"

**MISCELLANEOUS SPEC NOTES**

1. EXISTING CONSTRUCTION - NO CHANGES REQUIRED.
2. ROOFING AT NEW CONSTRUCTION WILL MATCH EXISTING.
3. ALL FASCIA BOARDS AND MISCELLANEOUS EXTERIOR TRIM WILL BE S4S CYPRESS (SELECT).
4. NEW SLOPED SOFFITS WILL BE 1/2" EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
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10. ALUMINUM FRAME GLAZING SYSTEM WITH POWDER COAT FINISH. IMPACT RATED GLAZING AND DP RATING OF 45 (MINIMUM).
11. ROOFING WITHOUT SHINGLES DELINEATED IS EXISTING CONSTRUCTION, NO CHANGE INTENDED.
12. EXISTING CONSTRUCTION VISIBLE BEYOND - NO CHANGES PLANNED.
13. SECTION PROFILE CUT AT EXISTING CONSTRUCTION.
14. DOUBLE HUNG WINDOWS.
15. EXISTING CONSTRUCTION - NO CHANGES PLANNED.

## DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),  
and do not constitute DRB approval or denial*

PROJECT First Presbyterian Church

DRB# DR110020

DATE 4/26/2011

RECOMMEND  APPROVE

RECOMMEND  APPROVE W/COND.

RECOMMEND  DENY

<b>ARCHITECTURAL DESIGN</b>		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	Proposed materials to match existing
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	Relative to visibility
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	
Minimum roof pitch of 6/12	Y	5/12 reflects existing pitch on similarly scaled existing elements
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	Y	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	Y	
Details are clean, simple and appropriate while avoiding excessive ornamentation	Y	
Utilities and equipment are concealed from view	Y	
Decorative lighting is limited and low wattage and adds to	Y	Make sure replacement shoeboxes match lighting in field

the visual character		
Accessory elements are design to coordinate with the primary structure	Y	

**LANDSCAPE DESIGN**

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project	Y	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	Y	
Landscape is designed so that it may be maintained in its natural shape and size	Y	
Preserves a variety of existing native trees and shrubs	Y	
Provides for a harmonious setting for the site's structures, parking areas or other construction	Y	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	Y	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	Y	
A variety of species is selected for texture and color	Y	
Provides overall order and continuity of the Landscape plan	Y	
Native plants or plants that have historically been prevalent on the Island are utilized	Y	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	Y	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	Y	Placement of azaleas in the field around 19/24 Live Oak should be done to minimize root disturbance
Proper spacing and location for plants to reach their mature size and natural	Y	

shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs	Y	
Large grassed lawn areas encompassing a major portion of the site are avoided	Y	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	Y	
Ornamentals and Annuals are limited to entrances and other focal points	Y	

**NATURAL RESOURCES PROTECTION**

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		Because of significant/specimen live oaks in the area where the dumpster is proposed (between existing buildings), Natural Resources will require alternates for asphalt and conventional concrete (such as pervious concrete)that can be installed on top of existing grade in this area, and/or a reduction in paving to accommodate tree roots.  In areas where large, mature trees are retained, arrange new landscaping to minimize root damage (i.e. at dripline or beyond).
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

**MISCELLANEOUS COMMENTS/QUESTIONS**




Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908

**FOR OFFICIAL USE ONLY**

Date Received: \_\_\_\_\_  
 Accepted by: \_\_\_\_\_  
 App. #: DR \_\_\_\_\_  
 Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Tony Stewart Company: Verizon Wireless  
 Mailing Address: 10604 Lanford Street City: Anderson State: SC Zip: 29629  
 Telephone: (864) 915-1122 Fax: (864) 225-1472 E-mail: telecomsite@nuvox.net  
 Project Name: Shell Point Project Address: 105 Wild Horse Road  
 Parcel Number [PIN]: R  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number
- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements: N/A

**New Development – Conceptual Approval**

- A survey (1"-30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

**Additional Submittal Requirements:**

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

**Additional Submittal Requirements:**

**Alterations/Additions *and* Minor External Changes**

- \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Jerry Stewart  
SIGNATURE

4/21/2011  
DATE

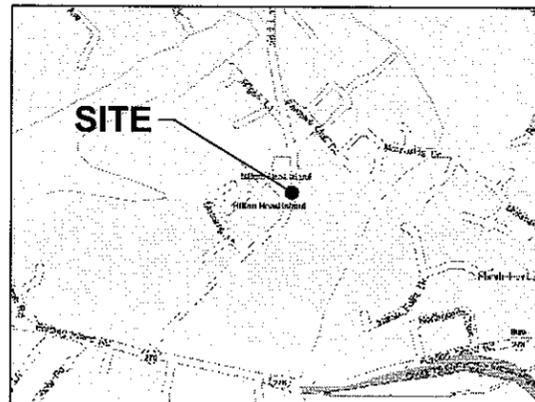


# verizon wireless

8921 RESEARCH DRIVE  
CHARLOTTE, NC 28262

## SHELL POINT SITE ADDRESS

105 WILD HORSE ROAD  
HILTON HEAD ISLAND, SC 29926  
BEAUFORT COUNTY  
LATITUDE: 32.2204° N  
LONGITUDE: 80.7469° W  
GROUND ELEVATION 12.8 (NAVD 88)



VICINITY MAP

SCALE:  
NTS

FROM CHARLOTTE OFFICE: TAKE I-85 S TOWARD CHARLOTTE. TAKE EXIT 38 TO MERGE ONTO I-77 S/US-21 S. CONTINUE TO FOLLOW I-77S FOR 104 MILES THEN TAKE THE EXIT TOWARD I-26 E. KEEP LEFT TO CONTINUE ON I-26 TOWARD CHARLESTON FOR 52.8 MI. TAKE EXIT 169A AND MERGE ONTO I-95 TOWARD SAVANNAH. GO 77.8 MI AND TAKE EXIT 8 FOR US-278 E. TURN LEFT ONTO US-278/ INDEPENDENCE BLVD AND GO 20.7 MI. TURN LEFT ONTO WILD HORSE ROAD. TRAVEL .5 MI TO SITE ON LEFT.

DRIVING DIRECTIONS

**MUNICIPALITY:**  
TOWN OF HILTON HEAD ISLAND

**STATE:**  
SOUTH CAROLINA

**TOWER TYPE:**  
WATER TANK

**TOWER HEIGHT:**  
143.5± (AGL)

**NUMBER OF CARRIERS:**  
2 EXISTING

**USE:**  
EXISTING WATER TANK WITH CELLULAR ANTENNAS AND UNMANNED EQUIPMENT

**CONSULTANT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
3169 HOLCOMB BRIDGE RD  
NORCROSS, GEORGIA 30071  
PHONE: (678) 533-3928  
ATTN.: KEITH MARKLAND

PROJECT SUMMARY

**DEVELOPER**  
VERIZON WIRELESS  
8921 RESEARCH DRIVE  
CHARLOTTE, NC 28262  
PHONE: (704) 510-8717  
ATTN: ROCKY CANADY

**POWER COMPANY**  
PALMETTO ELECTRIC CO-OP INC.  
PHONE: (843) 681-5551  
ATTN.: CUSTOMER SERVICE

**TELEPHONE COMPANY**  
HARGRAY  
PHONE: (843) 784-2211  
ATTN.: CUSTOMER SERVICE

**TOWER OWNER**  
HILTON HEAD PSD  
21 OAK PARK DRIVE  
HILTON HEAD ISLAND, SC 29926  
PHONE: (843) 681-5525  
ATTN.: BILL DAVIS, OPERATIONS MANAGER

CONTACTS

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	0
C1	SITE PLAN	0
C2	SHELTER ELEVATIONS	0
C3	FOUNDATION & SHELTER TIE DOWN DETAILS	0
C4	STOOP DETAIL	0
C5	WAVEGUIDE BRIDGE DETAILS	0
E1	BASIC SERVICE ROUTING PLAN	0
E2	GROUNDING PLAN	0
E3	SINGLE-LINE DIAGRAM	0
E4	ELECTRICAL DETAILS	0
E5	ELECTRICAL DETAILS	0

SHEET INDEX

**TOWN OF HILTON HEAD ISLAND  
COMMUNITY DEVELOPMENT DEPARTMENT**  
ONE TOWN CENTER COURT  
HILTON HEAD ISLAND, SC 29928  
PHONE: (843) 341-4757  
ATTN.: PLANS REVIEWER

PERMIT INFORMATION

verizon wireless

8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: SHELL POINT  
VERIZON No.: COL 110

105 WILD HORSE ROAD  
HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:

04/05/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

CONSULTANT:



Kimley-Horn  
and Associates, Inc.

Post Office Box 33068  
Raleigh, North Carolina 27636

CONSULTANT:



DRAWN BY: CHK.: APV.:

KAH KRM LHF

LICENSER:



SHEET TITLE:

COVER SHEET

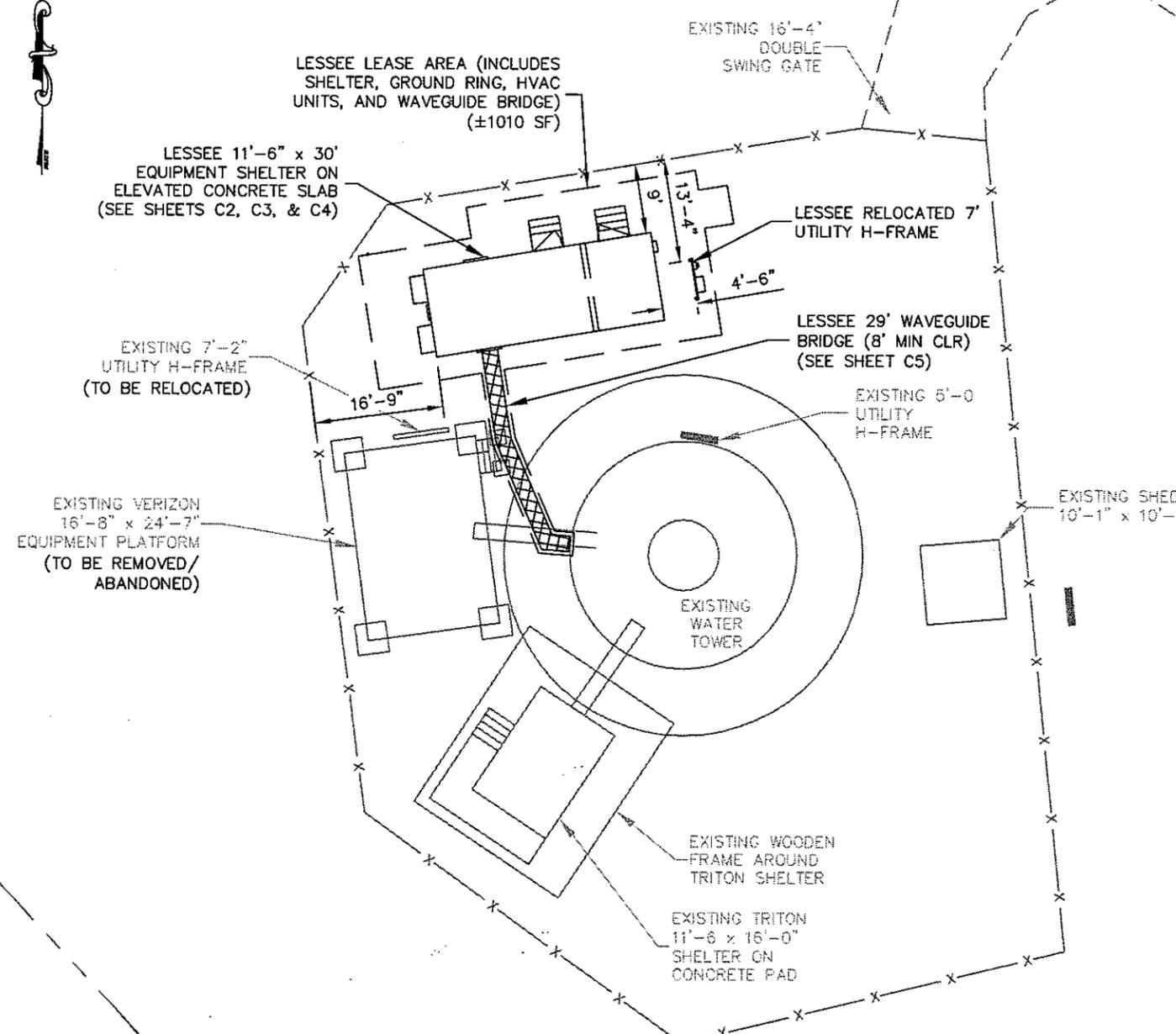
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T1

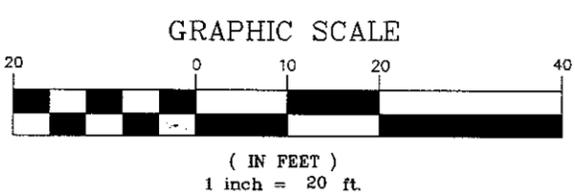
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**1** SITE PLAN  
**C1** SCALE : 1" = 20'



**SURVEY NOTE:**

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON A SITE VISIT ON 6/23/09.

**COAX NOTE:**

1. ROUTE COAX UP WATER TOWER UTILIZING EXISTING TANK PENETRATION AND COAX MOUNTING HARDWARE INSIDE THE TANK.

**SHELTER NOTE:**

1. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER SHOWN ABOVE (FAYETTEVILLE MARKET - LESTER MILLS #528) HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
2. EXISTING EQUIPMENT TO BE REMOVED AT A LATER DATE BY OTHERS.

**FLOOD NOTE:**

1. PROPOSED SHELTER IS LOCATED IN A ZONE AE WITH BFE OF 14' AMSL (NGVD 29), 13.1 AMSL (NAVD 88). THE CURRENT GROUND ELEVATION AT THE PROPOSED SHELTER LOCATION IS 13.5' AMSL (NAVD 88). THE FFE FOR THE SHELTER WILL BE 15.5' AMSL (NAVD 88).

**GENERAL NOTES**

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
5. WAVEGUIDE BRIDGE AND PRE-FAB SHELTER ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS FOR SPECIFIC INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.
6. ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
7. THE EXISTING TANK AND TANK FOUNDATIONS WERE DESIGNED BY OTHERS. TANK INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF STRUCTURAL ANALYSIS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
9. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
10. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "PALMETTO UTILITY PROTECTION SERVICE" 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (888) 721-7877. ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
11. CONTRACTOR SHALL TAKE EXTREME CAUTION WHEN CONSTRUCTING WAVEGUIDE FOOTINGS SO AS TO NOT DAMAGE THE EXISTING TANK GROUNDING RING. IF THE EXISTING RING BECOMES DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF THE TOWER GROUNDING RING AS DEEMED APPROPRIATE BY VERIZON.
12. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.



PROJECT INFORMATION:  
**VERIZON NAME: SHELL POINT**  
 VERIZON No.: COL 110  
 105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:  
 04/05/11

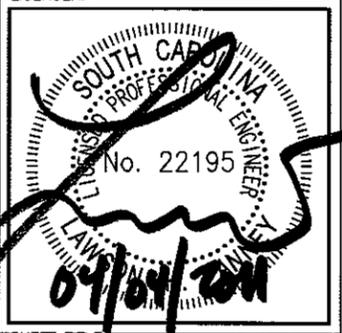
ISSUED FOR:  
**CONSTRUCTION**

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:  
  
**Kimley-Horn and Associates, Inc.**  
 Post Office Box 33068  
 Raleigh, North Carolina 27636



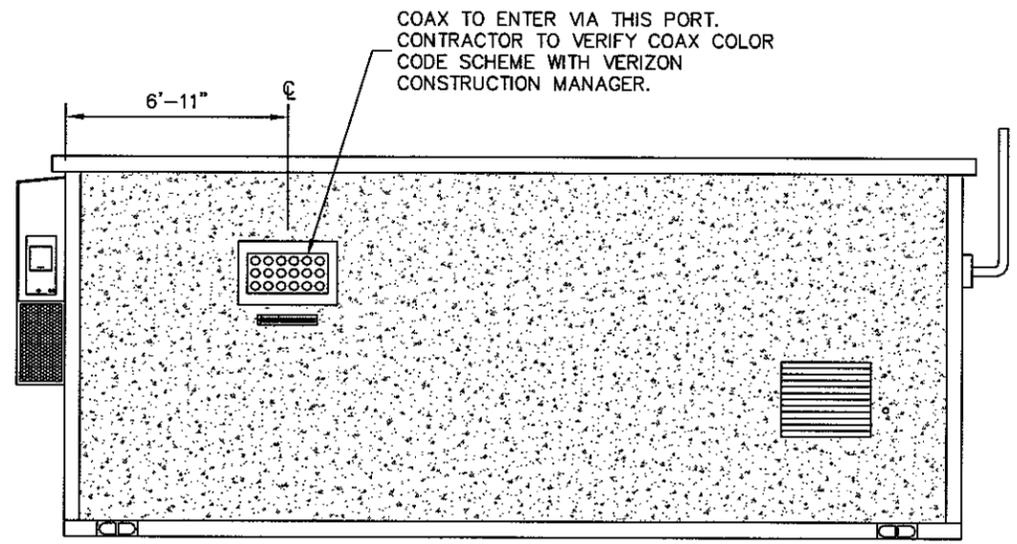
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 KAH KRM LHF



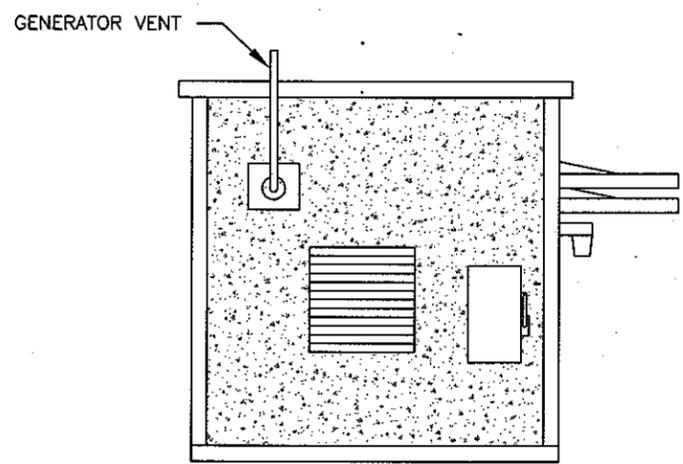
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**SITE PLAN**

SHEET NUMBER: REVISION:  
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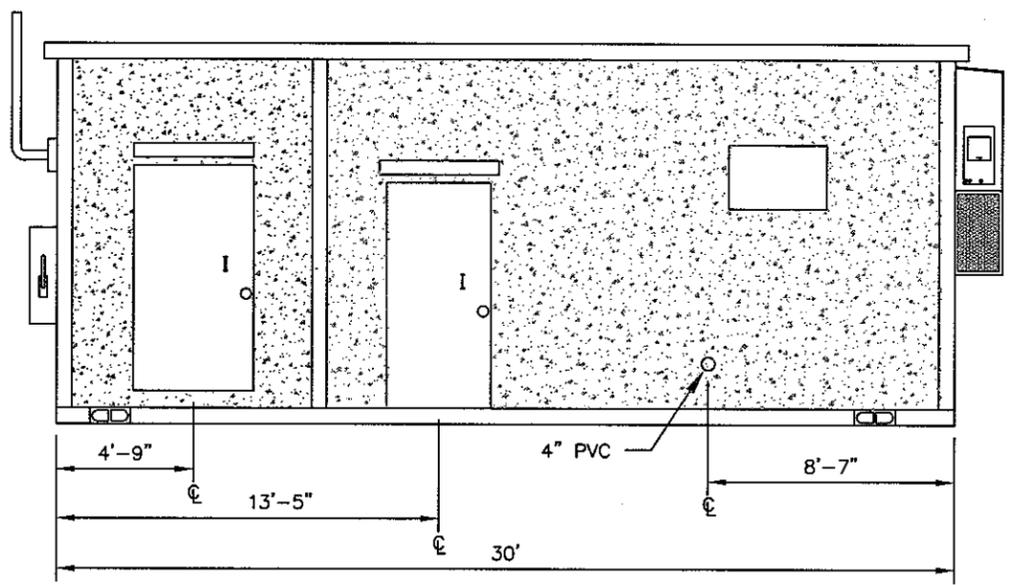
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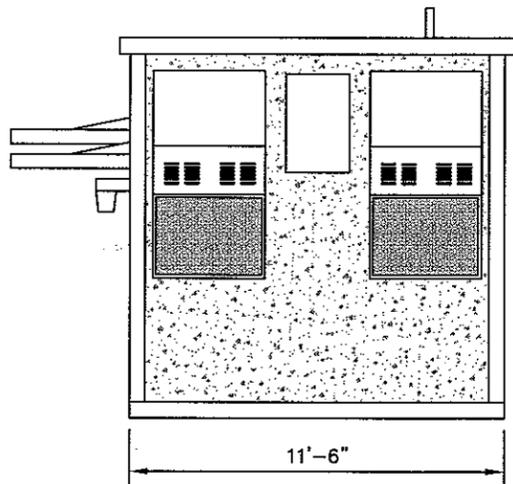
1 REAR WALL ELEVATION C  
C2 NOT TO SCALE



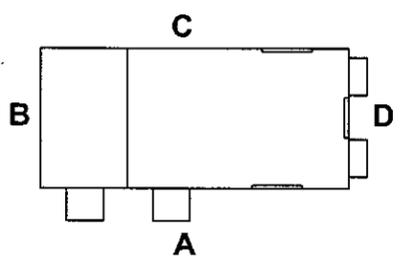
2 SIDE WALL ELEVATION B  
C2 NOT TO SCALE



3 FRONT WALL ELEVATION A  
C2 NOT TO SCALE



4 SIDE WALL ELEVATION D  
C2 NOT TO SCALE



5 TYPICAL WALL LAYOUT  
C2 NOT TO SCALE

**NOTE:**  
PRE-FAB BUILDING WAS DESIGNED BY OTHERS AND  
DRAWINGS WERE PROVIDED AS PART OF VERIZON  
WIRELESS STANDARD DETAILS. CONTRACTOR TO CONFIRM  
WITH VERIZON CONSTRUCTION MANAGER THAT THE  
SHELTER SHOWN ABOVE HAS BEEN SCHEDULED FOR  
DELIVERY TO THIS SITE.



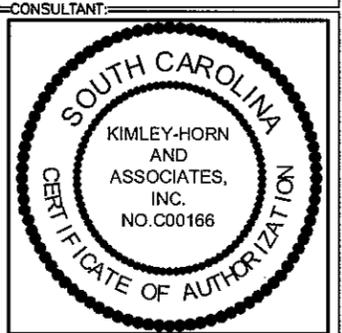
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VERIZON NAME: SHELL POINT  
VERIZON No.: COL 110  
105 WILD HORSE ROAD  
HILTON HEAD ISLAND, SC 29926

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04/05/11

ISSUED FOR:  
CONSTRUCTION

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:  
  
Kimley-Horn  
and Associates, Inc.  
Post Office Box 33068  
Raleigh, North Carolina 27636



DRAWN BY: CHK. APV.:  
KAH KRM LHF

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY- REFER TO MANUFACTURERS APPROVED SHELTER DRAWINGS**

SHEET TITLE:  
**SHELTER ELEVATIONS**

SHEET NUMBER: REVISION:  
**C2 0**  
019472226

**FOUNDATION NOTES**

1. GENERAL

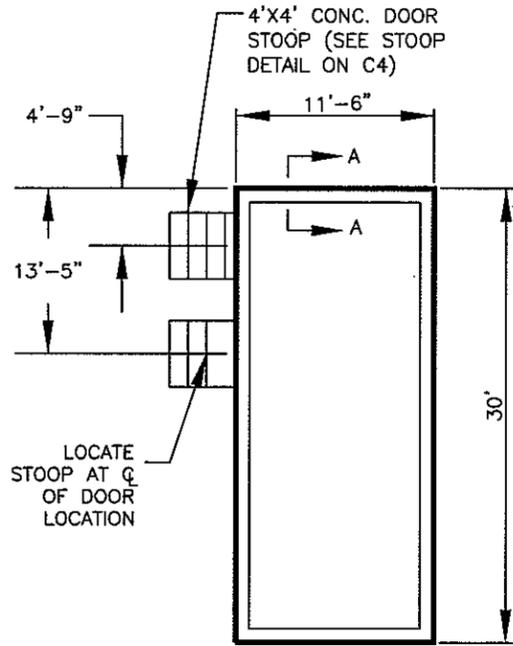
- 1.1 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- 1.2 EXCAVATE A MINIMUM 18" BELOW PROPOSED SHELTER AND GENERATOR FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 1.3 PERIMETER FOOTING FOR THE SHELTER FOUNDATION MUST BE A MINIMUM DEPTH OF 24" BELOW FINISH GRADE. (SEE SECTION A-A)
- 1.4 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION.
- 1.5 CONTRACTOR TO CUT/FILL FOUNDATION TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL MATERIALS SHALL ACHIEVE 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.

2. MATERIALS

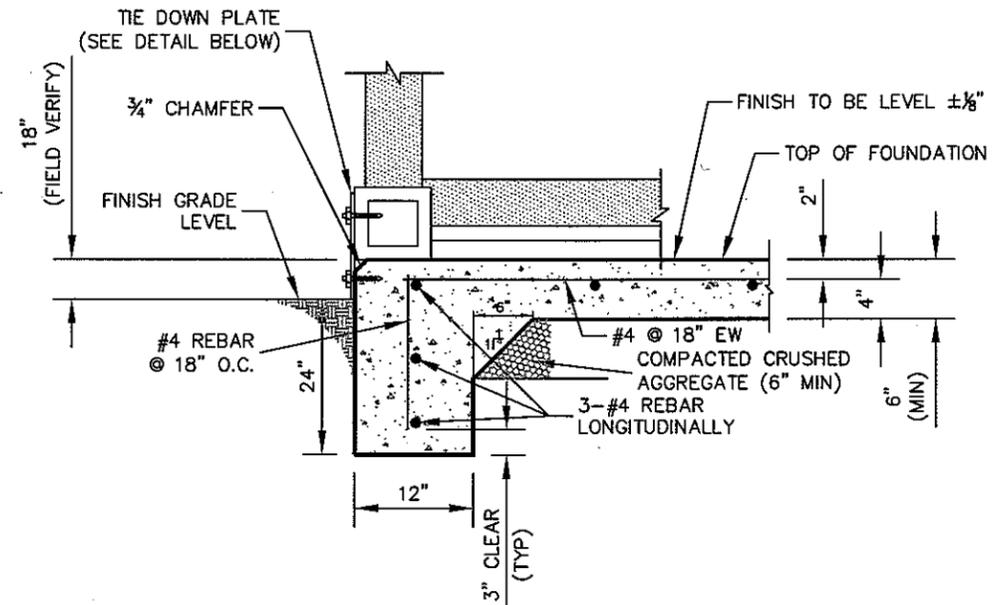
- 2.1 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.2 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.3 REINFORCING BARS SHALL CONFORM TO THE LATEST REVISION OF ASTM-A615 GRADE 60 SPECIFICATIONS AND BE DETAILED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318.
- 2.4 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.5 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.6 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION.

3. TOLERANCES

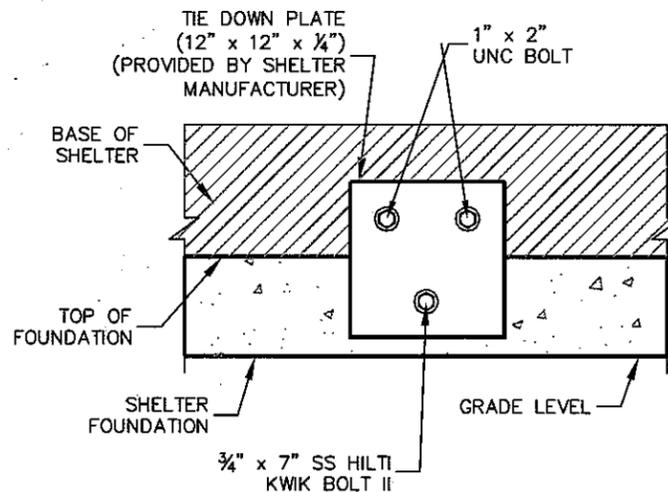
- 3.1 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.



1  
C3  
**VERIZON FOUNDATION PLAN**  
NOT TO SCALE



2  
C3  
**SECTION "A-A"**  
NOT TO SCALE



3  
C3  
**TIE DOWN PLATE (FRONT VIEW)**  
NOT TO SCALE



PROJECT INFORMATION:  
**VERIZON NAME: SHELL POINT**  
**VERIZON No.: COL 110**  
 105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:  
**04/05/11**

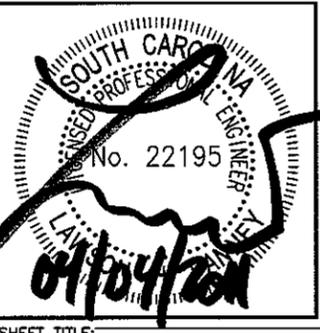
ISSUED FOR:  
**CONSTRUCTION**

REV.: DATE: ISSUED FOR: BY:

CONSULTANT:  
  
**Kimley-Horn and Associates, Inc.**  
 Post Office Box 33068  
 Raleigh, North Carolina 27636



DRAWN BY: CHK. APV.:  
 KAH KRM LHF

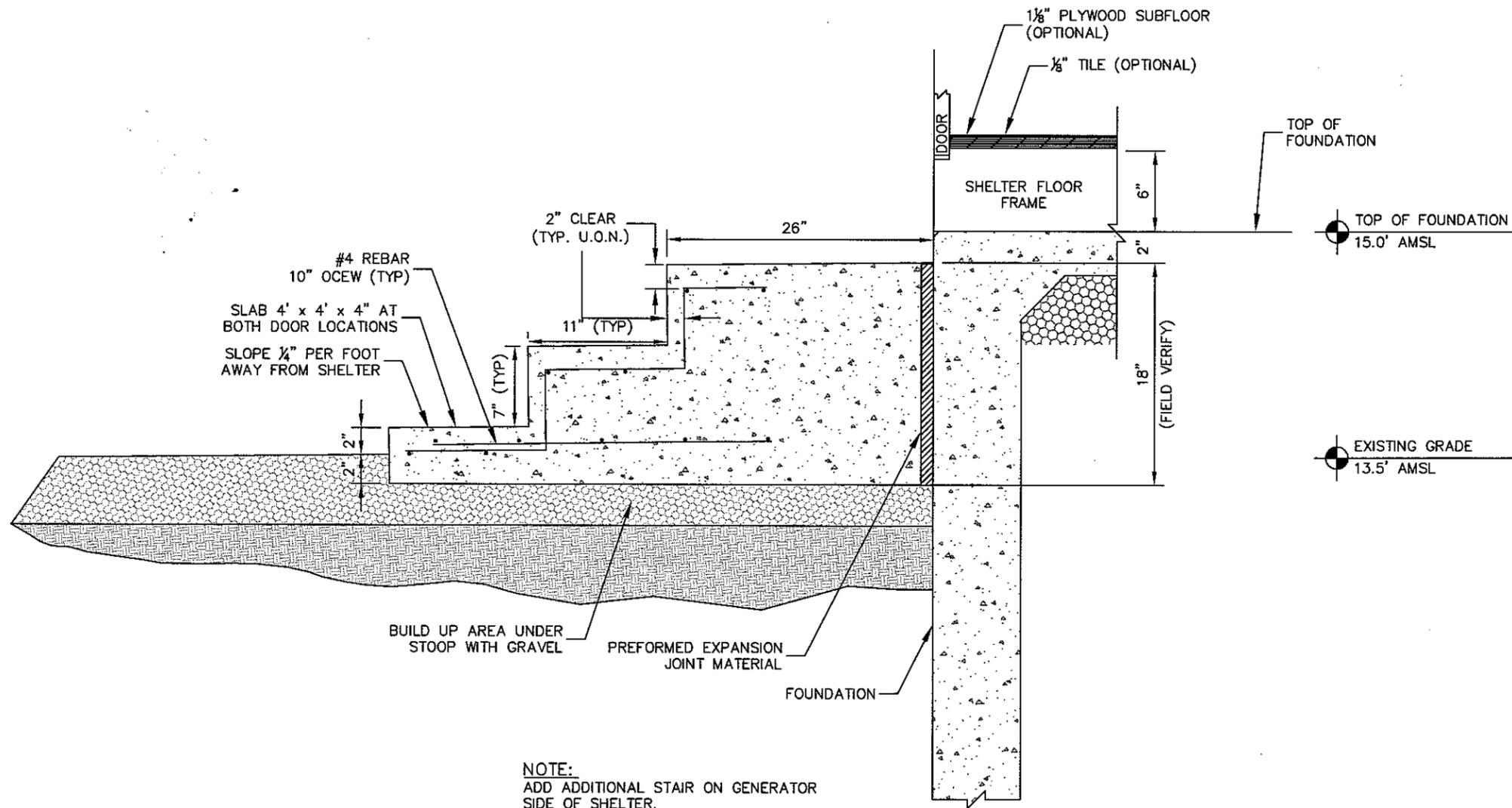


SHEET TITLE:  
**FOUNDATION & SHELTER TIE DOWN DETAILS**

SHEET NUMBER: **C3** REVISION: **0**  
 019472226

Drawing name: Y:\000\_Verizon\2009\_sitas\11E Columbia\Shell Point\ShellPoint-C03.dwg C3 Apr 05, 2011 8:27am by: kellee.glynn

- NOTES:
- FINISHED ELEVATION OF CONCRETE FOUNDATION TO BE 15.0' AMSL
  - FINISHED FLOOR ELEVATION OF SHELTER TO BE 15.5' AMSL



NOTE:  
ADD ADDITIONAL STAIR ON GENERATOR  
SIDE OF SHELTER.

1 VERIZON STOOP DETAIL  
C4 NOT TO SCALE

Drawing name: Y:\000\_Verizon\2009 etes\ITE Columbia\Shell Point\ShellPoint-CDa.dwg C4 Apr 05, 2011 8:28am by: kelley.glynn



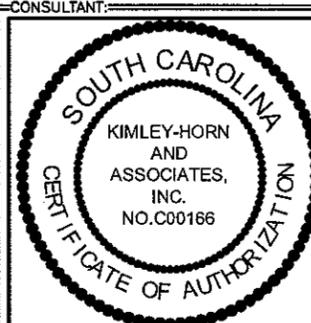
PROJECT INFORMATION:  
VERIZON NAME: SHELL POINT  
VERIZON No.: COL 110  
105 WILD HORSE ROAD  
HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:  
04/05/11

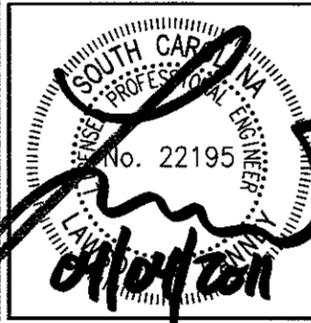
ISSUED FOR:  
CONSTRUCTION

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:  
  
Kimley-Horn  
and Associates, Inc.  
Post Office Box 33068  
Raleigh, North Carolina 27636



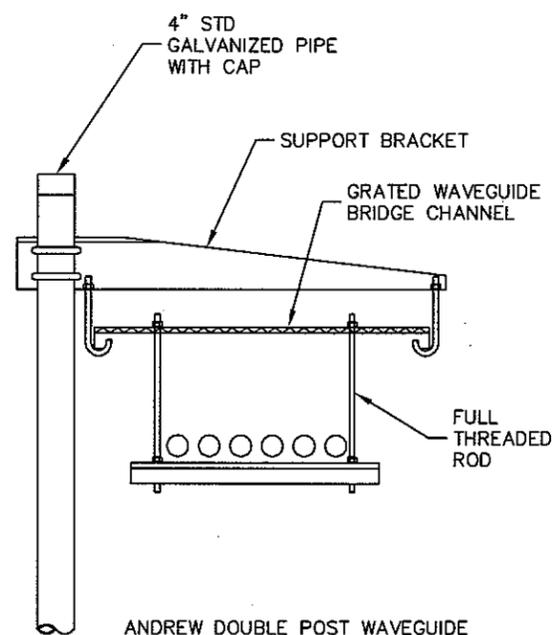
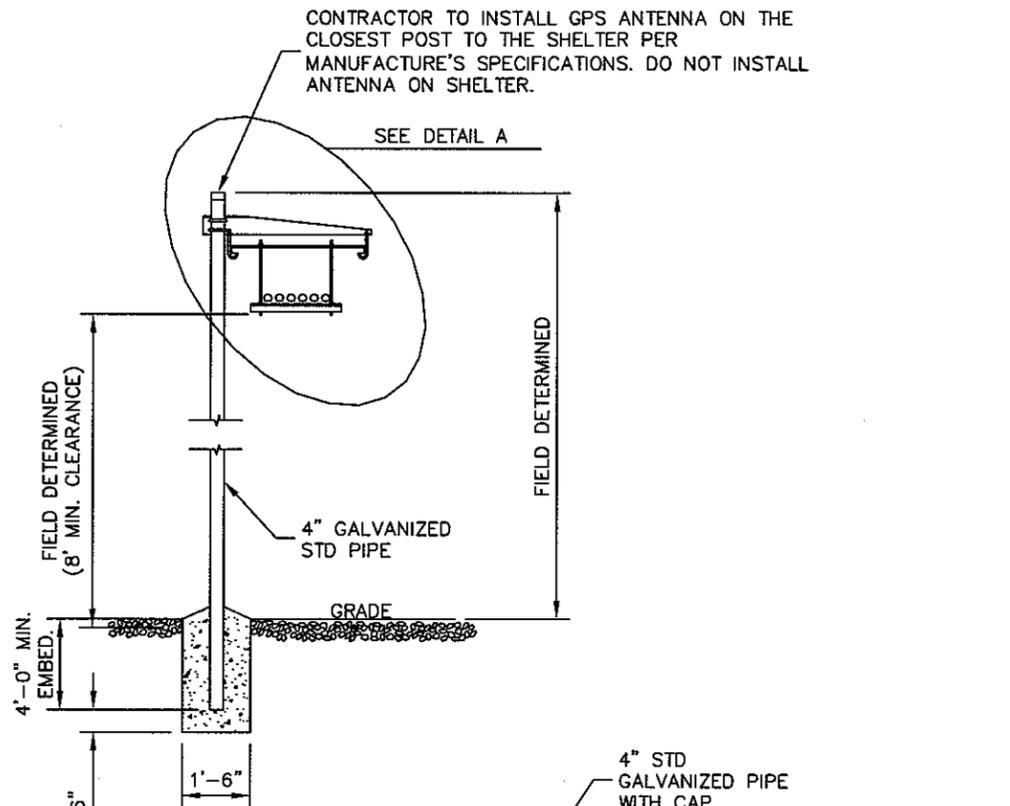
DRAWN BY: KAH  
CHK.: KRM  
APV.: LHF



SHEET TITLE:  
STOOP DETAIL

SHEET NUMBER: C4  
REVISION: 0  
019472226

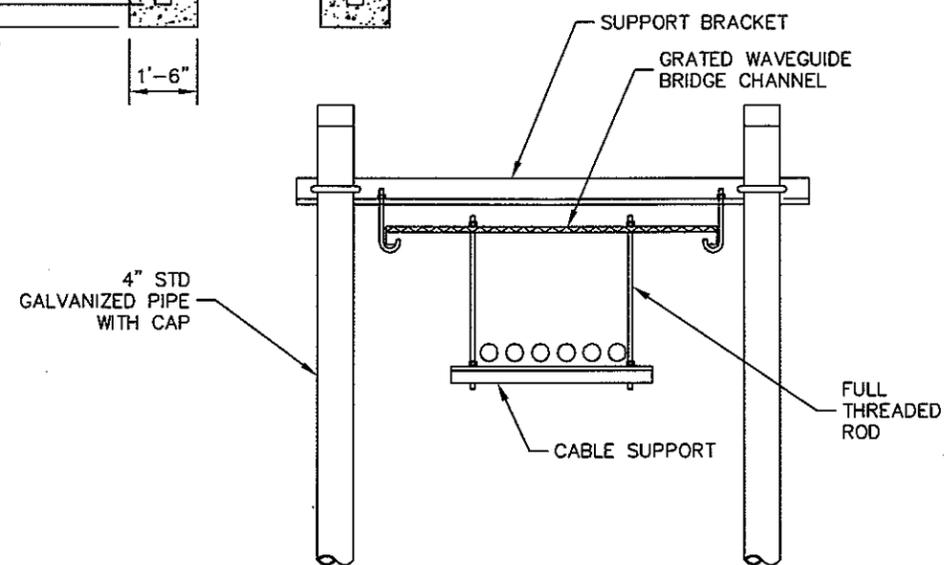
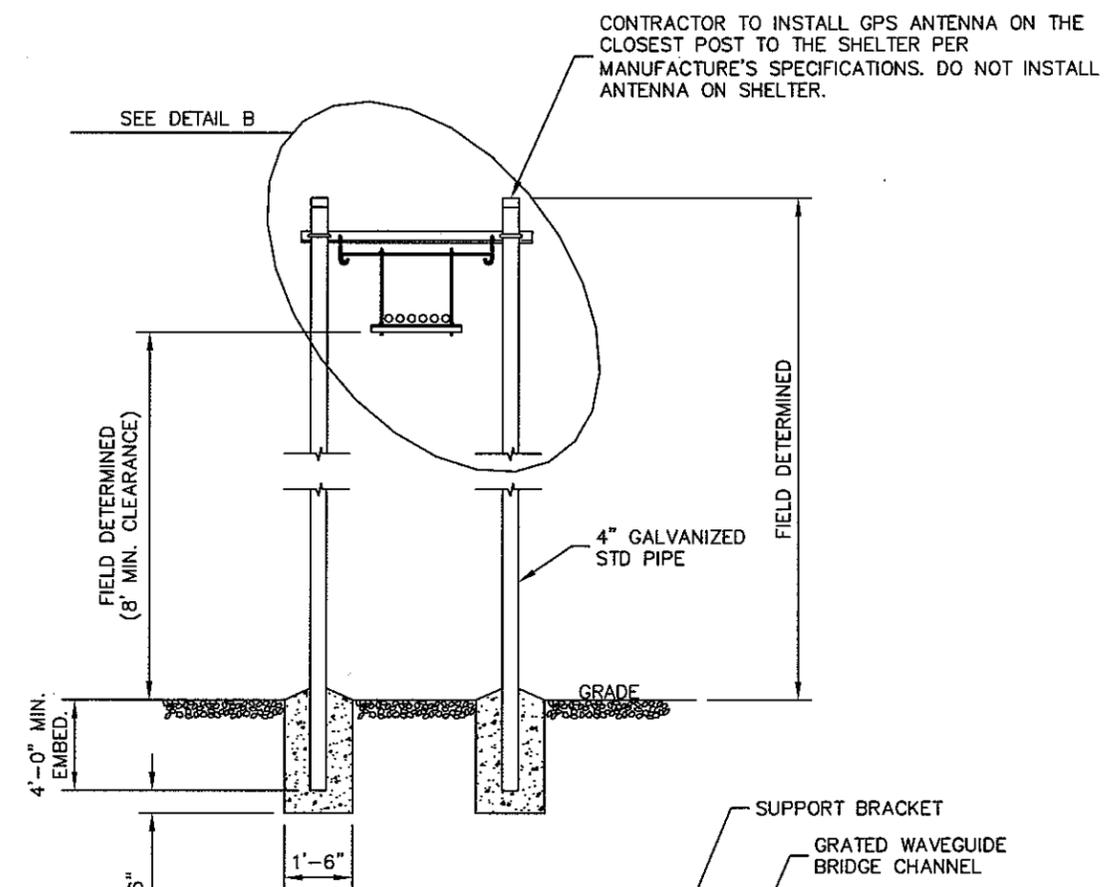
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**DETAIL A**

- NOTES:**
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
  2. REFER TO GENERAL NOTES ON SHEET C1.

1
C5
**WAVEGUIDE BRIDGE DETAIL**  
 NOT TO SCALE



**DETAIL B**

- NOTES:**
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
  2. REFER TO GENERAL NOTES ON SHEET C1.

2
C5
**WAVEGUIDE BRIDGE DETAIL**  
 (ALTERNATIVE DESIGN WITH 2 PIPE COLUMNS)  
 NOT TO SCALE



**PROJECT INFORMATION:**

VERIZON NAME: SHELL POINT  
 VERIZON No.: COL 110

105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

**CURRENT ISSUE DATE:**

04/05/11

**ISSUED FOR:**

CONSTRUCTION

**REV. DATE ISSUED FOR BY:**

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**CONSULTANT:**

Kimley-Horn  
 and Associates, Inc.

Post Office Box 33068  
 Raleigh, North Carolina 27636



**DRAWN BY:** CHK. **APV.:**

KAH	KRM	LHF
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**LICENSER:**

**SHEET TITLE:**

**WAVEGUIDE BRIDGE DETAILS**

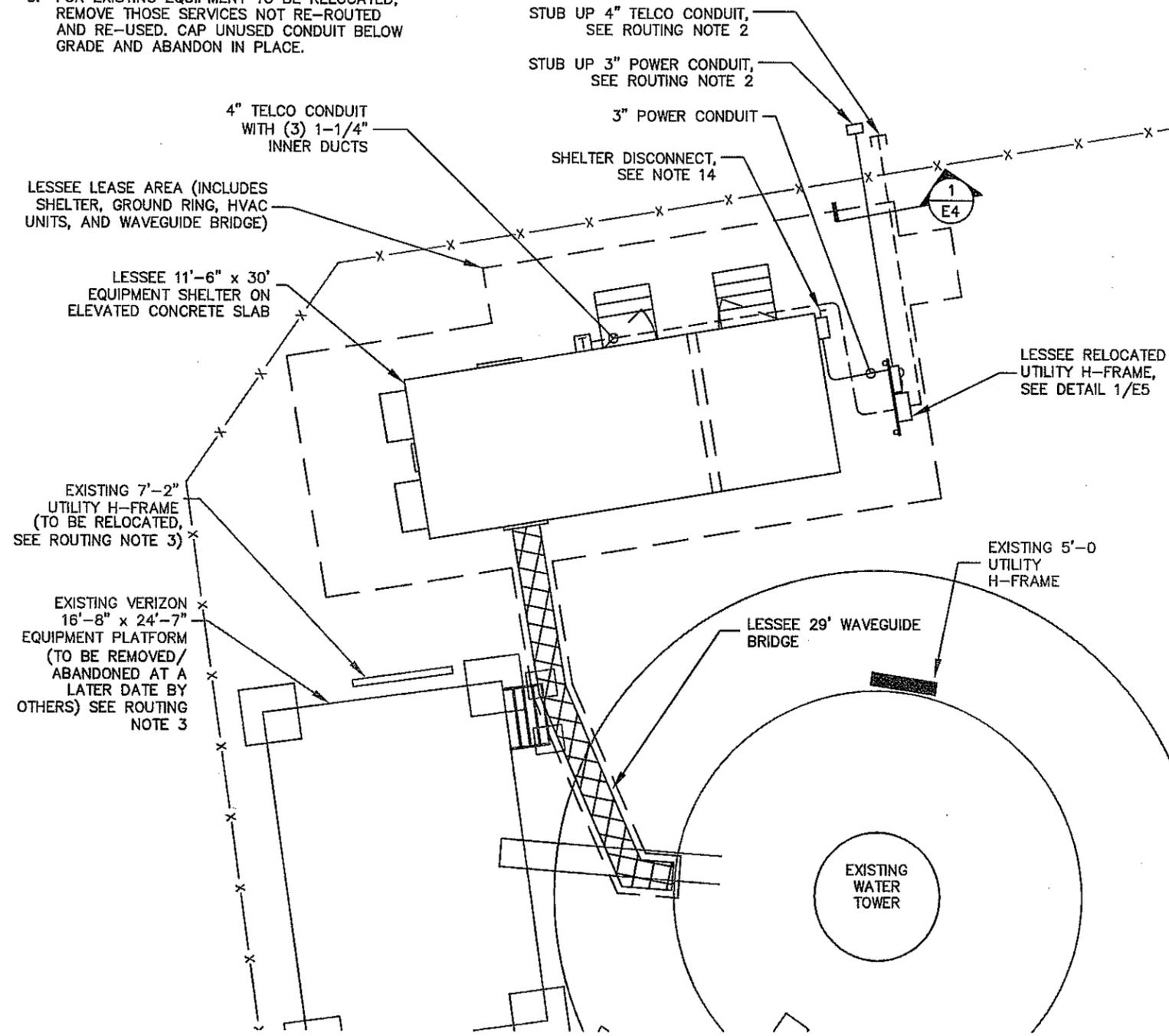
**SHEET NUMBER:** **REVISION:**

<b>C5</b>	<b>0</b>
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019472226

**ROUTING NOTES:**

1. CONTRACTOR TO PROVIDE PULL BOXES AS NEEDED TO ENSURE NO GREATER THAN 360 DEGREES OF BENDS BETWEEN PULL POINTS IN CONDUIT RUNS.
2. CONTRACTOR COORDINATE WITH LOCAL UTILITY FOR SERVICE TO THIS POINT.
3. FOR EXISTING EQUIPMENT TO BE RELOCATED, REMOVE THOSE SERVICES NOT RE-ROUTED AND RE-USED. CAP UNUSED CONDUIT BELOW GRADE AND ABANDON IN PLACE.



1  
E1

**BASIC SERVICE ROUTING PLAN**

SCALE: 1" = 10'

**NOTES AND SPECIFICATIONS:**

1. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
2. CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
3. CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
5. CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON ENDS OF UNUSED CONDUIT.
6. CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
7. PRIOR TO TRENCHING CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
8. CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWNER/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
9. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE SCHEDULE 80 PVC UNDER ROADS. USE LONG-SWEEP RIGID GALVANIZED STEEL (RGS) FOR ELBOWS. USE RGS FOR RISERS TO EQUIPMENT. MANUFACTURED BENDS SHALL HAVE A MINIMUM RADIUS OF 36" FOR CONDUIT.
10. CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARD AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION, AS NEEDED.
11. CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE/CONDUCTOR INSULATION, SHIELDING, ETC.
12. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
13. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
14. THE CONTRACTOR SHALL PROVIDE A LABEL TO READ: "OPENING THE SHELTER DISCONNECT WILL CAUSE THE SHELTER GENERATOR TO START. TO REMOVE POWER ENTIRELY FROM THE SHELTER, THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR OUTPUT CIRCUIT BREAKER MUST BE OPENED."
15. ENSURE MINIMUM 3' CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT PER NEC.
16. ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL LISTED BY AN APPROVED THIRD PARTY TESTING AGENCY



PROJECT INFORMATION:  
 VERIZON NAME: SHELL POINT  
 VERIZON No.: COL 110  
 105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:  
 04/7/11

ISSUED FOR:  
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	04/7/11	PERMIT/CONSTR.	JDC

CONSULTANT:  
  
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 Post Office Box 33068  
 Raleigh, North Carolina 27636

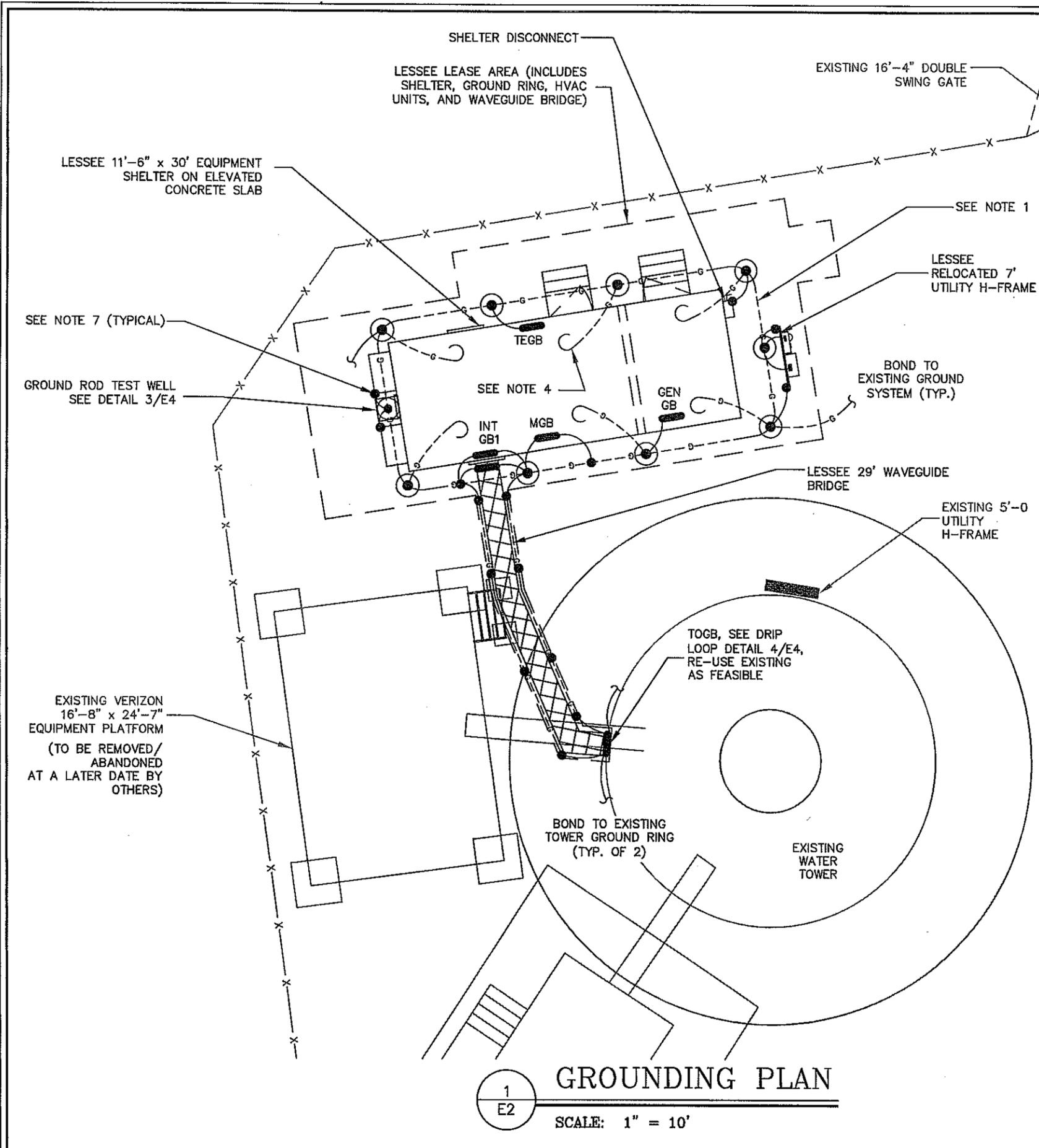
CONSULTANT:  
  
**APOGEE** Consulting Group, PA  
 7330 Chapel Hill Road  
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 Raleigh, N.C. 27607  
 (919) 858-7420 Fax (919) 858-7423  
 ACG PROJECT NO.: 2011 089

DRAWN BY: OCB    CHK.: JDC    APV.: JDC

LICENSER:  


SHEET TITLE:  
**BASIC SERVICE ROUTING PLAN**

SHEET NUMBER: **E1**    REVISION: **0**  
 019472226



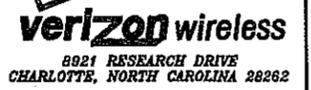
**NOTES AND SPECIFICATIONS:**

1. THE GROUND RING SHALL CONSIST OF 2 AWG TINNED SOLID BARE COPPER CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROSTLINE). ALL CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2. GROUND CONDUCTOR BEND RADIUS SHALL NOT BE LESS THAN 8".
3. MINIMUM SPACING BETWEEN GROUND RODS SHALL NOT BE LESS THAN 10', UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL PROVIDE A 60", 2 AWG TINNED SOLID BARE COPPER CONDUCTOR PIGTAIL. BOND THE PIGTAIL TO THE SHELTER INTERIOR GROUND HALO PIGTAIL USING AN EXOTHERMIC WELD.
5. CONTRACTOR SHALL BOND THE TOWER GROUND BAR (TOGB) TO THE GROUND RING USING A 2 AWG TINNED SOLID BARE COPPER CONDUCTOR AND AN EXOTHERMIC WELD.
6. CONTRACTOR SHALL BOND THE MAIN GROUND BAR (MGB), THE INTERNAL & EXTERNAL GROUND BARS (GB1 & GB2), AND THE TELEPHONE GROUND BAR (TEGB) TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
7. CONTRACTOR SHALL BOND THE OUTSIDE A/C UNITS TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
8. ALL GROUNDING/BONDING CONDUCTORS LOCATED ABOVE FINISHED GRADE SHALL BE RUN IN 1" PVC CONDUIT.
9. CONTRACTOR SHALL NOTIFY THE OWNER/TENANT CONSTRUCTION MANAGER TO ALLOW THE OWNER/TENANT CONSTRUCTION MANAGER TO INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.
10. CONTRACTOR SHALL HIRE AN INDEPENDENT 3RD PARTY (OTHER THAN THE GROUND SYSTEM INSTALLER) TO PERFORM AN IEEE 81 "FALL OF POTENTIAL" METHOD GROUND TEST. A VERIZON REPRESENTATIVE WILL BE PRESENT DURING THE TEST. CONTRACTOR SHALL SUBMIT A GROUND TEST DURING THE WALKTHROUGH.

**LEGEND:**

- G — GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING (SEE DETAIL 2/E4)
- G — GROUND RING
- EXOTHERMIC WELD
- ⊙ GROUND ROD TEST WELL (SEE DETAIL 3/E4)

**GROUNDING PLAN**  
 1  
 E2  
 SCALE: 1" = 10'



PROJECT INFORMATION:  
 VERIZON NAME: SHELL POINT  
 VERIZON No.: COL 110  
 105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:  
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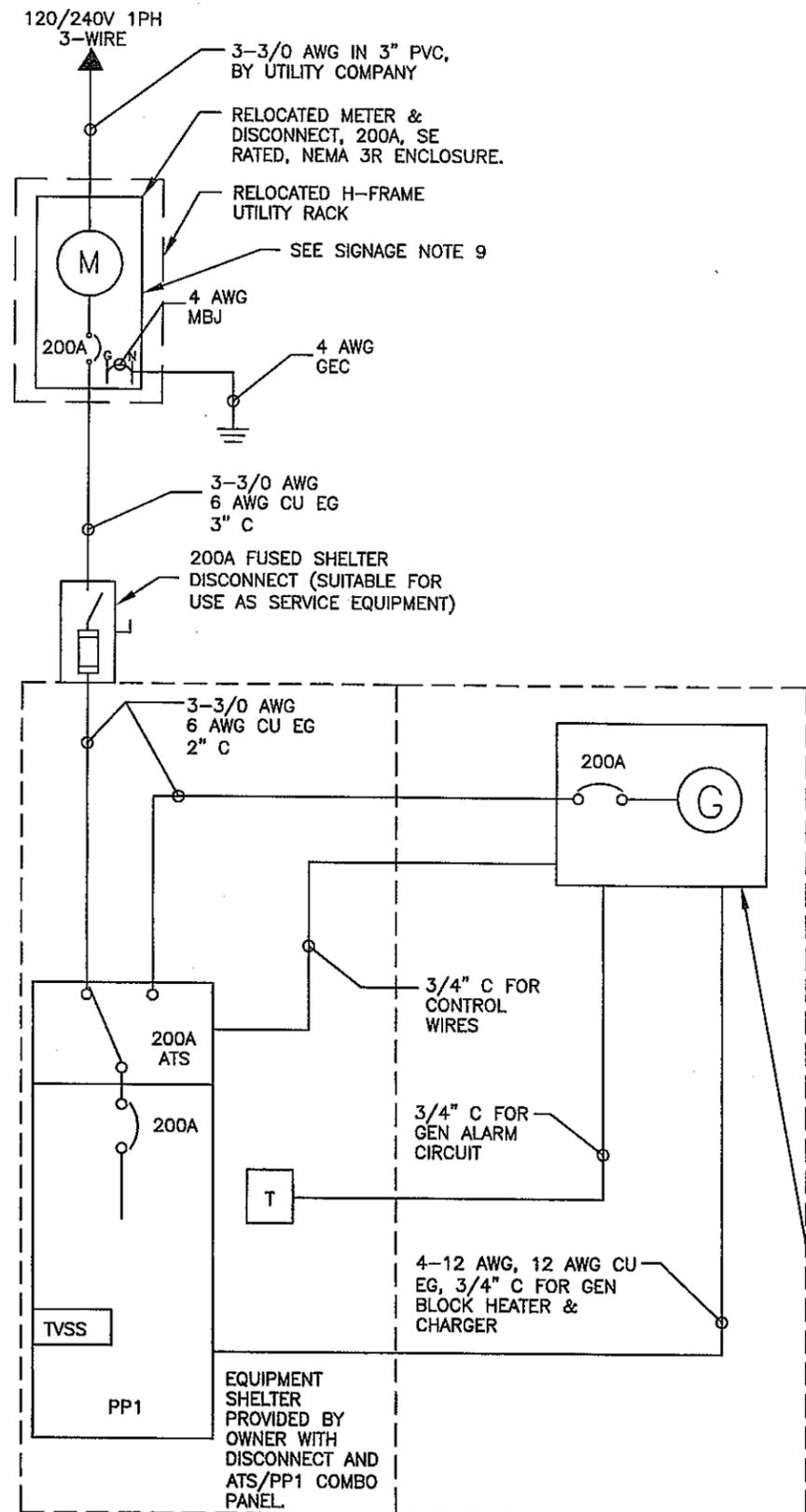
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 (919) 858-7420 Fax (919) 858-7423  
 ACG PROJECT NO.: 2011 089

DRAWN BY:	CHK:	APV:
OCB	JDC	JDC



SHEET TITLE:  
**GROUNDING PLAN**

SHEET NUMBER:	REVISION:
<b>E2</b>	<b>0</b>
	019472226



# SINGLE-LINE DIAGRAM

1  
E3

SCALE: NOT TO SCALE

## NOTES AND SPECIFICATIONS:

- ELECTRIC UTILITY WILL PROVIDE METER AND INCOMING SERVICE LATERAL CONDUCTORS.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
- CONTRACTOR SHALL OBTAIN OWNER/TENANT EQUIPMENT SHELTER DRAWINGS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS THAT MAY BE ADDRESSED IN THE EQUIPMENT SHELTER DRAWINGS.
- PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
- THE GROUNDED SERVICE CONDUCTOR (NEUTRAL CONDUCTOR) SHALL BE GROUNDED AT THE SERVICE DISCONNECT ONLY.
- ALL POWER CIRCUITS SHALL USE COPPER CONDUCTORS WITH THHN/THWN INSULATION. ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES C.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE RECEPTACLES FOR ALL UTILITY RECEPTACLES.
- CONTRACTOR SHALL ENSURE ALL NEUTRAL CONDUCTORS HAVE WHITE INSULATION AND EQUIPMENT GROUND CONDUCTORS HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT ALLOWED.
- PER NEC 701.9/702.8 PROVIDE SIGNAGE AS FOLLOWS:
  - AT SHELTER PANEL PP1: "EMERGENCY POWER IS SUPPLIED BY STAND-BY GENERATOR LOCATED IN ADJACENT ROOM."
  - AT METER CENTER: "GROUNDING LOCATION FOR NORMAL SERVICE AND STAND-BY GENERATOR."

LOAD IN KVA		DESCRIPTION	TRIP	CKT	CKT	TRIP	DESCRIPTION	LOAD IN KVA		
A	B							A	B	
0.70	---	RECTIFIER NO. 1	2P-40	1	2	2P-60	HVAC 1	4.10	---	
---	0.70	RECTIFIER NO. 1	2P-40	3	4	2P-60	HVAC 1	---	4.10	
0.70	---	RECTIFIER NO. 2	2P-40	5	6	2P-60	HVAC 2	4.10	---	
---	0.70	RECTIFIER NO. 2	2P-40	7	8	2P-60	HVAC 2	---	4.10	
0.70	---	RECTIFIER NO. 3	2P-40	9	10	1P-20	LIGHTING	0.68	---	
---	0.70	RECTIFIER NO. 3	2P-40	11	12	1P-20	LIGHTING	---	0.13	
0.70	---	RECTIFIER NO. 4	2P-40	13	14	1P-20	DUPLEX RECEPTACLES	0.54	---	
---	0.70	RECTIFIER NO. 4	2P-40	15	16	1P-20	DUPLEX RECEPTACLES	---	0.72	
0.70	---	RECTIFIER NO. 5	2P-40	17	18	1P-20	GFCI RECEPTACLES	0.18	---	
---	0.70	RECTIFIER NO. 5	2P-40	19	20	1P-15	SMOKE DETECTOR	---	0.10	
0.70	---	RECTIFIER NO. 6	2P-40	21	22	1P-15	TIMER/BLOWER	0.10	---	
---	0.70	RECTIFIER NO. 6	2P-40	23	24	2P-15	WALL HEATER	---	1.00	
0.70	---	RECTIFIER NO. 7	2P-40	25	26	2P-15	WALL HEATER	1.00	---	
---	0.70	RECTIFIER NO. 7	2P-40	27	28	1P-15	GENERATOR ROOM HEAT DETECTOR	---	0.10	
0.70	---	RECTIFIER NO. 8	2P-40	29	30	---	SPACE	0.00	---	
---	0.70	RECTIFIER NO. 8	2P-40	31	32	---	SPACE	---	0.00	
0.70	---	RECTIFIER NO. 9	2P-40	33	34	---	SPACE	0.00	---	
---	0.70	RECTIFIER NO. 9	2P-40	35	36	---	SPACE	---	0.00	
0.00	---	SPACE	---	37	38	---	SPACE	0.00	---	
---	0.00	SPACE	---	39	40	---	SPACE	---	0.00	
0.00	---	SPACE	---	41	42	---	SPACE	0.00	---	
TOTAL CONNECTED KVA								16.90	16.55	
DEMAND CALCULATIONS								CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)
LIGHTING								0.81	1.25	1.01
RECEPTACLES								1.44	1.00	1.44
LARGEST MOTOR								8.20	1.25	10.25
ALL OTHERS								8.30	1.00	8.30
RECTIFIERS								12.60	1.25	15.75
MISCELLANEOUS								2.20	1.25	2.75
TOTAL DEMAND KVA								39.50		
TOTAL DEMAND AMPS								165 A		

60 KW GENERATOR WITH 200A MAIN BREAKER. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT FOR GENERATOR CONFIGURATIONS AND OPTIONS. COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR EXACT WIRING REQUIREMENTS. GENERATOR PROVIDED BY AND INSTALLED BY BUILDING MANUFACTURER.

NOTE: THE GENERATOR USED IN CONJUNCTION WITH A 2-POLE AUTOMATIC TRANSFER SWITCH WITH A SOLID NEUTRAL IS NOT A SEPARATELY DERIVED SYSTEM. AS SUCH, DO NOT BOND THE NEUTRAL TO GROUND AT THE GENERATOR.



PROJECT INFORMATION:  
 VERIZON NAME: SHELL POINT  
 VERIZON No.: COL 110  
 105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

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 CONSTRUCTION

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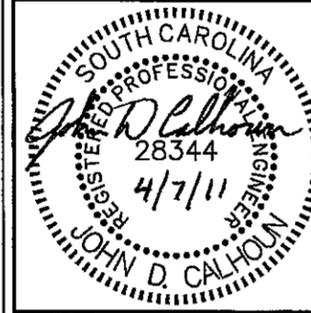
CONSULTANT:  

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CONSULTANT:  

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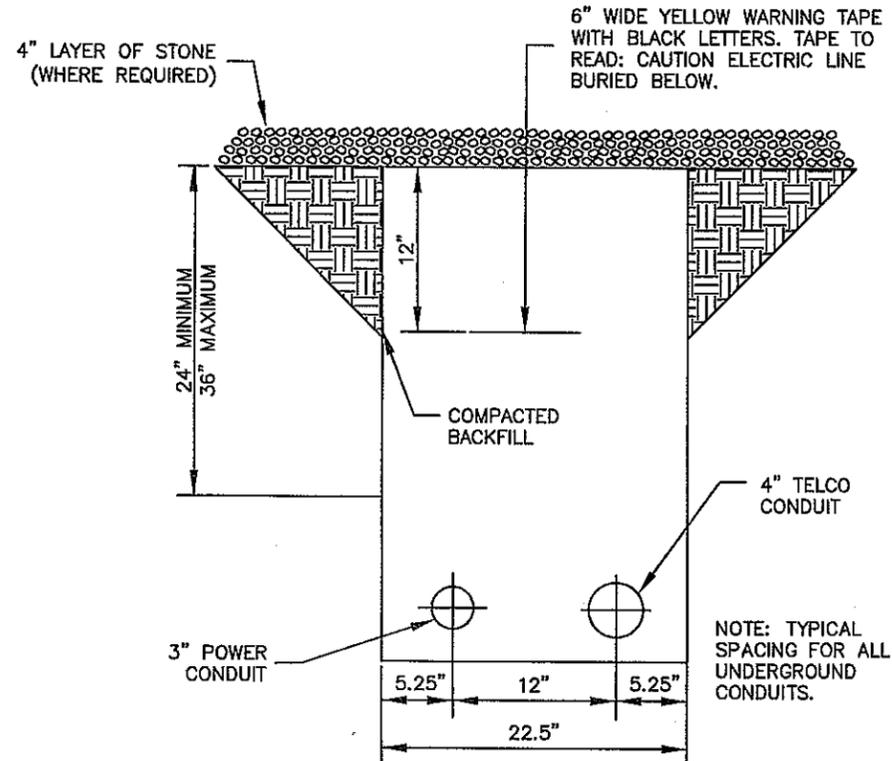
DRAWN BY: CHK. JDC APV. JDC  
 OCB JDC JDC



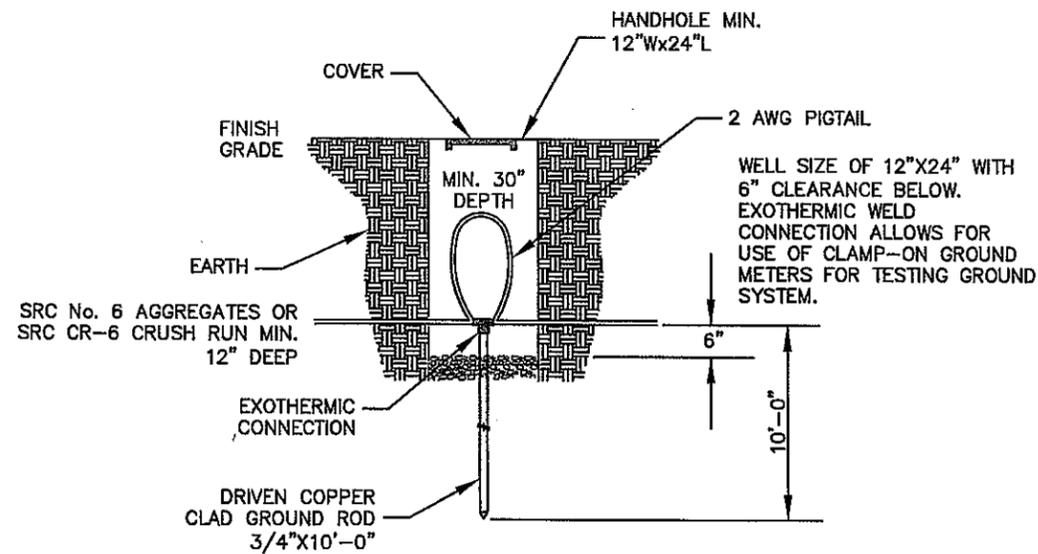
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 SINGLE-LINE DIAGRAM

SHEET NUMBER: E3 REVISION: 0

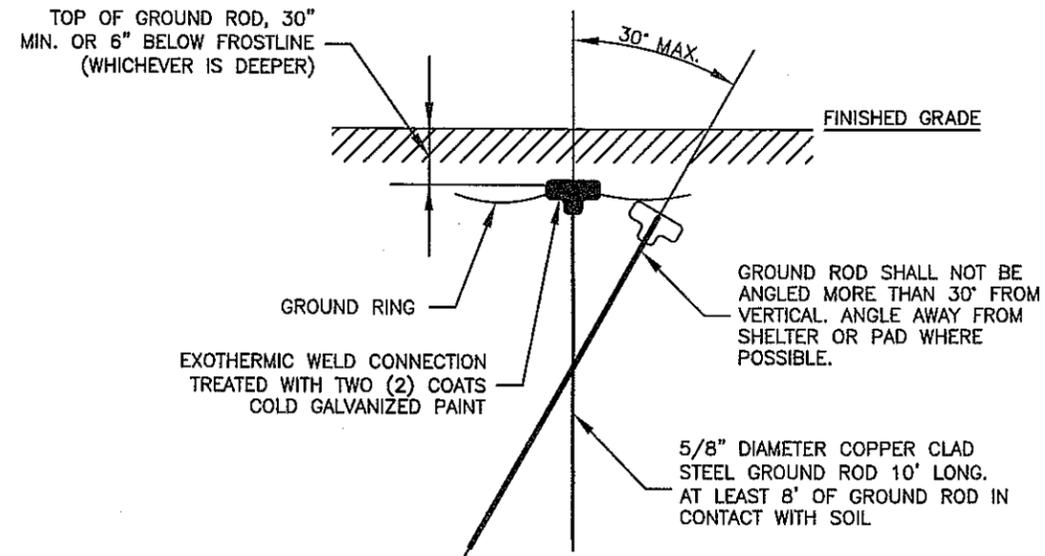
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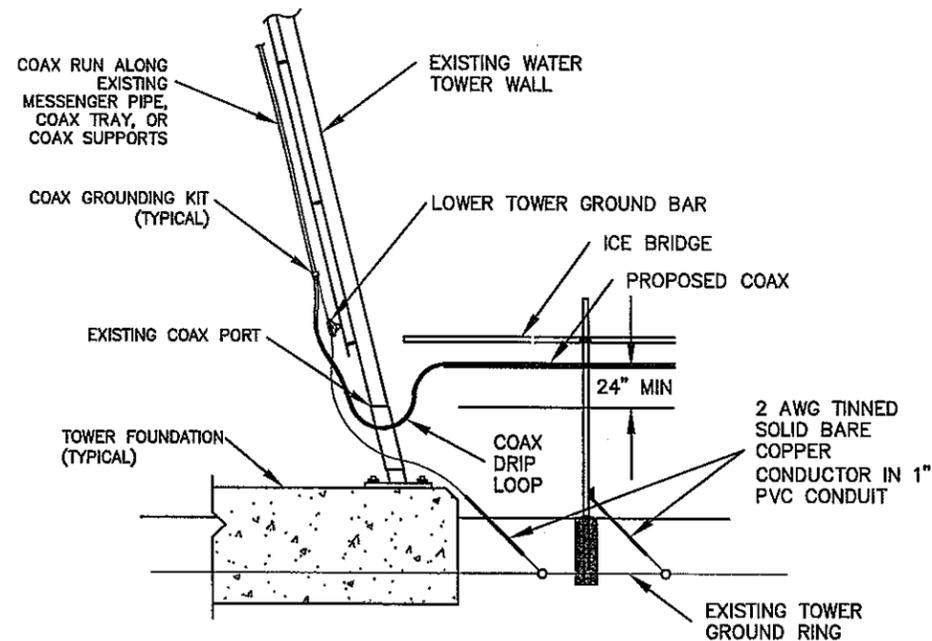
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E4  
**UTILITY TRENCH DETAIL**  
SCALE: NOT TO SCALE



3  
E4  
**GROUND ROD TEST WELL**  
SCALE: NOT TO SCALE



2  
E4  
**GROUND ROD DETAIL**  
SCALE: NOT TO SCALE



4  
E4  
**DRIP LOOP DETAIL**  
SCALE: NOT TO SCALE



**verizon wireless**  
8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:  
VERIZON NAME: SHELL POINT  
VERIZON No.: COL 110  
105 WILD HORSE ROAD  
HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:  
04/7/11

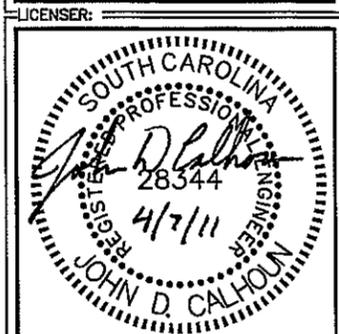
ISSUED FOR:  
CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	04/7/11	PERMIT/CONSTR.	JDC

CONSULTANT:  
**Kimley-Horn and Associates, Inc.**  
Post Office Box 33068  
Raleigh, North Carolina 27636

CONSULTANT:  
**APOGEE** Consulting Group, PA  
7330 Chapel Hill Road  
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Raleigh, N.C. 27607  
(919) 858-7420 Fax (919) 858-7423  
ACG PROJECT NO.: 2011 089

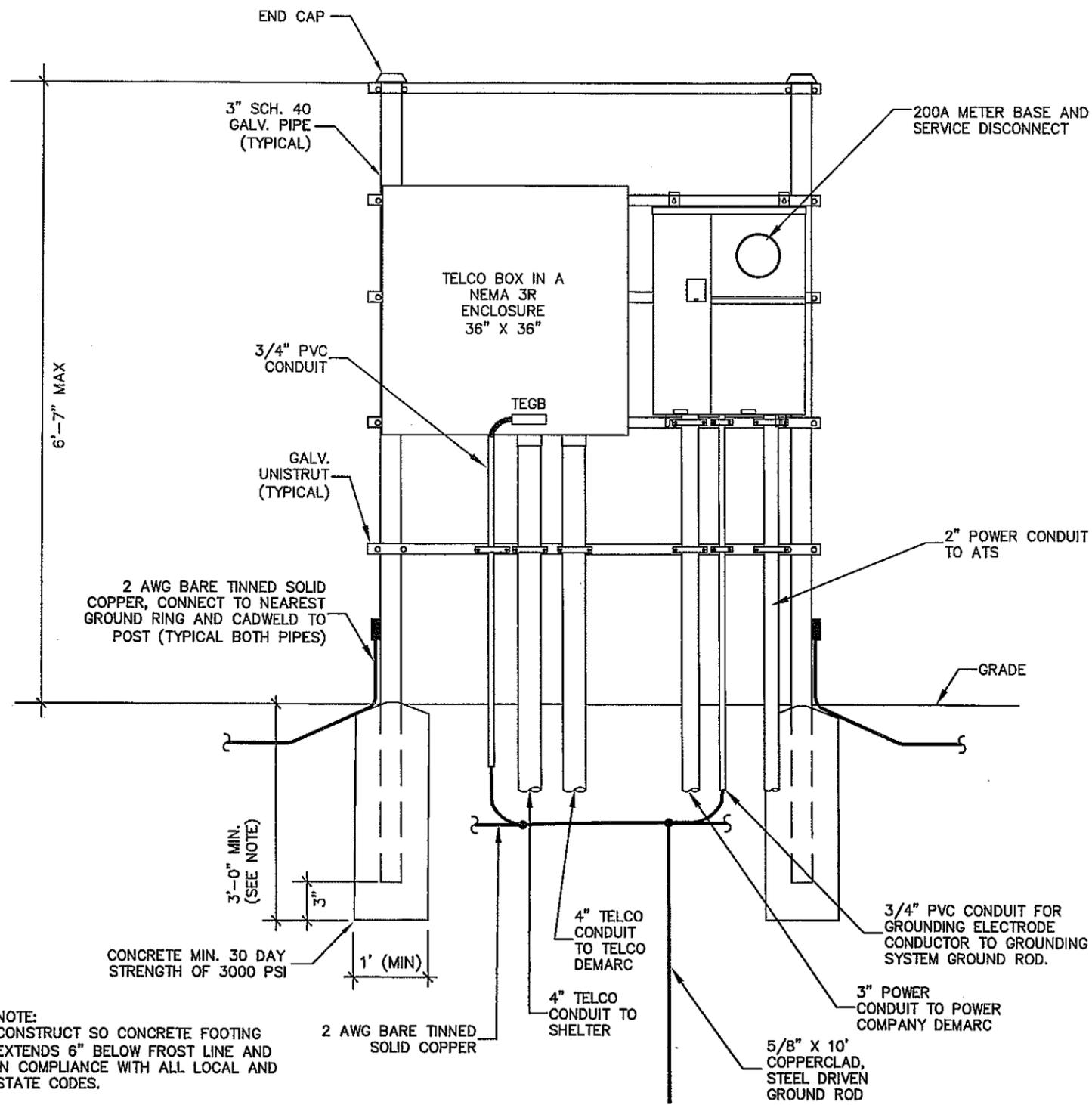
DRAWN BY: OCB  
CHK: JDC  
APV: JDC



SHEET TITLE:  
**ELECTRICAL DETAILS**

SHEET NUMBER: E4  
REVISION: 0

019472226



NOTE:  
CONSTRUCT SO CONCRETE FOOTING  
EXTENDS 6" BELOW FROST LINE AND  
IN COMPLIANCE WITH ALL LOCAL AND  
STATE CODES.

**GENERAL NOTES:**

- 1-ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
- 2-REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF H-FRAME.
- 3-CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- 4-CONTRACTOR TO PROVIDE AND INSTALL METER SOCKET.
- 5-CONTRACTOR TO LOCATE METER RACK TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BOTH ON THE FRONT SIDE AND THE BACK SIDE OF THE H-FRAME.
- 6-SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
- 7-COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
- 8-CONTRACTOR SHALL COORDINATE EFFORTS WITH (LOCAL, ELECTRICAL) AUTHORITY HAVING JURISDICTION (AHJ) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPE(S) OF RACEWAYS REQUIRED FOR INSTALLATION.
- 9-BOND ALL ELECTRICAL EQUIPMENT TO RACK.
- 10-DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.
- 11-FOR ANY METAL CONDUIT ENTERING AN ENCLOSURE WHERE A PRE-PUNCHED CONCENTRIC OR ECCENTRIC KNOCKOUT IS USED, THE CONTRACTOR SHALL ENSURE ADEQUATE BONDING BETWEEN THE METAL CONDUIT AND ENCLOSURE BY INSTALLING A BONDING JUMPER AROUND THE CONCENTRIC OR ECCENTRIC KNOCKOUT.



PROJECT INFORMATION:  
 VERIZON NAME: SHELL POINT  
 VERIZON No.: COL 110  
 105 WILD HORSE ROAD  
 HILTON HEAD ISLAND, SC 29926

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ISSUED FOR:  
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	04/7/11	PERMIT/CONSTR.	JDC

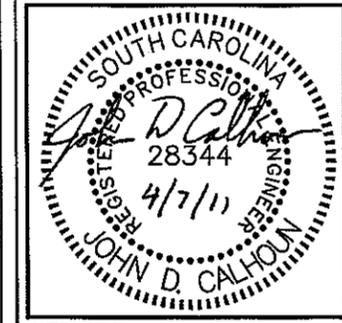
CONSULTANT:  

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 and Associates, Inc.  
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 ACG PROJECT NO.: 2011 089

DRAWN BY: OCB    CHK.: JDC    APV.: JDC



SHEET TITLE:  
**ELECTRICAL  
 DETAILS**

SHEET NUMBER: **E5**    REVISION: **0**  
 019472226

**H-FRAME DETAIL**  
 SCALE: NOT TO SCALE

