



The Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, May 10, 2011

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** - Meeting of April 12, 2011
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**- None
9. **New Business**
 - A) DR110020- First Presbyterian Church- Phase III- Alteration/ Addition
 - B) DR110021- Verizon Cell Cabinet- Shell Point (Wild Horse Road)- Alteration Addition
 - C) DR110022- 1005 Marshland Road- New Cell Tower Installation
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

The Town of Hilton Head Island
DESIGN REVIEW BOARD
Minutes of the Tuesday, April 12, 2011 Meeting
1:15pm – Benjamin M. Racusin Council Chambers

DRAFT

Board Members Present: Chairman Tom Parker, Vice Chairman Todd Theodore,
Ted Behling, Jennifer Moffett, Galen Smith, Scott Sodemann, and
Deborah Welch

Board Members Absent: None

Council Members Present: None

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Building Plans Administrator
Heather Colin, Development Review Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Chairman Parker called the meeting to order at 1:15pm.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

The agenda was **approved** as presented by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the March 22, 2011 meeting were **approved** as presented by general consent.

6. STAFF REPORT

None

7. BOARD BUSINESS

None

8. UNFINISHED BUSINESS

1301 Main Street - Minor External Change - DR110015

Mr. Roan presented a brief review of the project. This is the application's third review before the Board. The bay window on the left side of the elevation has been eliminated as recommended by the Board. The scale, detailing, and geometry of today's submission are more in keeping with what appears to be the intent of the original design.

Mr. Roan provided an in-depth review of the application. Staff recommended approval with some clarification requested from the applicant on the dimensions of the detailing around the windows. Also, any landscaping that is removed or disturbed shall be replaced with an in-kind

evergreen material. Following staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Dale Johnson, Architect, presented statements in support of the submission. The applicant described the detailing around the windows. The Board discussed the project, and most of the members stated that today's submission is a large improvement over the previous two reviews. Following final comments, Chairman Parker requested that a motion be made.

Vice Chairman Theodore made a **motion to approve** the 1301 Main Street application with the following conditions: (1) the trim work and the base trim of the window shall be finished in a white trim color; (2) the window detailing shall be similar to the existing windows; (3) if existing shrubs are removed, they shall be replaced with evergreen shrubs that run continuously across the bottom of the inset where the window is going. Mr. Behling **seconded** the motion and the motion **passed** with a vote of 6-1-0.

Paulie's Pizza – DR100026 – Alteration/Addition

Mr. Roan provided a brief history of the project and described its location at the corner of William Hilton Parkway and Arrow Road. Mr. Roan presented an in-depth review of today's application.

The restaurant has a parking easement across the paved areas between the rear of the existing Lancaster building and Dunnagan's Alley. The up-fit for Paulie's and the pending construction of the traffic circle at the intersection of Dunnagan's Alley and Arrow Road has affected the configuration, and a formalized parking layout was required for the area. This has had some impact on the Paulie's site. The final parking plan is the result of negotiations between the Town of Hilton Head Island and the Owner (approved by Community Development as part of the Development Review permit, and approved by Town Council.)

Paulie's has submitted a plan for their respective property, which is the sole element for review that will have impact on approval. Also, in the interest of context, the staff will present plans for the landscaping of the new lot configuration, as it has bearing on the development. This additional plan was done by a separate consultant representing the property owner in the parking lot negotiations.

Both the tenant's landscaper and the building owner's consultant have been in communications regarding the DRB submittal. All foundation planting in the form of shrubs should be a minimum of 7-gal.size. The median at the hammerhead for turn-around at the service yard should be planted to screen from the street.

Mr. Roan presented the landscape plan including the plant list. There appears to be a lot going on under the large live oak tree at the front of the building; and this tree has had impacts to it during construction. The staff recommended that the applicant remove the stepping stones and move the camellias outside of the tree's drip line.

The applicant should use more native plants (currently only autumn fern and muhly grass exists.) The staff recommended approval of the application with today's landscaping comments. At the completion of the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Applicant, Mr. Tony Genovese, presented statements in support of the application. The Board and applicant discussed the landscape plan and the service yard. Mr. Joe Highsmith, one of the building's owners, presented additional statements in regard to the landscape plan and the service yard.

Ms. Heather Colin presented statements on behalf of staff in regard to the parking area. The staff has worked with the applicant to maximize available parking. Following the Board's discussion, Chairman Parker requested that a motion be made.

Vice Chairman Theodore made a **motion** to **approve** the Paulie's Pizza landscape plan application with the following conditions: (1) the asphalt bump-out in the service area shall be removed and replaced with landscaping (2) the foundation plant material shall be increased to 7-gal.container sizes; (3) in interpreting the plan, the applicant is keeping the two palms that are remaining in the island. These two palms are to remain; (4) the stepping stones located under the canopy of the tree shall be removed; (5) the applicant shall replace some of the existing ferns and muhly grass with a larger evergreen type shrub for screening around the existing utilities. Mr. Sodemann **seconded** the motion and the motion **passed** with a vote of 7-0-0.

9. NEW BUSINESS

Hilton Head Cabanas – Repaint – DR110019

Mr. Roan introduced the project and stated its location on South Forest Beach. The project's proposed paint palette reflects that of the neighboring property. Mr. Roan circulated hard samples of the proposed colors for the Board's review. The accent color on the service yards provides an additional level of detail to what is currently a monochromatic building.

Some clarification may be needed regarding the applicant's plans for the screen door elements. Any and all landscaping shall be protected. Any landscaping that is destroyed or disturbed shall be replaced with an identical or similar specimen. The staff recommended approval with these comments. Following the staff's presentation, Chairman Parker requested that the applicant make his presentation.

Mr. Ron Fenstermaker, agent for Hilton Head Cabanas, HPR, presented statements in support of the application. The Board and the applicant discussed the color palette, the metal roof, and coordinating the screen doors so that they are consistent in color. Following the Board's discussion, Chairman Parker requested that a motion be made.

Mr. Behling made a **motion** to **approve** the Hilton Head Cabanas Repaint application as presented. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 7-0-0.

10. APPEARANCE BY CITIZENS

Mr. Randy Smith, resident of South Forest Beach Drive across from the Metropolitan Hotel, presented public statements in concern of possible excessive noise that may soon occur as a result of a new outside raised deck at this location. Mr. Smith stated that the aesthetics of this area need improvement. Sufficient landscaping is needed that will both screen the raised deck and buffer the neighborhood from any excessive noise. The Board discussed the issue and agreed with the need for some additional landscaping.

Mr. Roan presented statements in regard to the existing landscaping and the potential need for additional landscaping. The owner of the hotel will install some plantings and the Town will install some understory plantings as well. These efforts should help address some of the issues. The Town will do what they can to address the problem and will work with the residents in this area to resolve these concerns.

11. ADJOURNMENT

The meeting was adjourned at 2:25pm.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Tom Parker
Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Trey Griffin Company: Wood + Partners, Inc.
 Mailing Address: 7 Lafayette Pl City: HHI State: SC Zip: 29926
 Telephone: 601-6618 Fax: 601-7086 E-mail: tgriffin@woodandpartners.com
 Project Name: First Presbyterian Church Phase III Project Address: 540 William Hilton Pkwy, HHI SC
 Parcel Number [PIN]: R 510 008 000 0084 0000 29928
 Zoning District: OL Overlay District(s): COR

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number

- Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

N/A Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Trey Guff
SIGNATURE

4.11.2011
DATE

Additions and Modifications / Phase III
FIRST PRESBYTERIAN CHURCH
Hilton Head Island, SC

Project Narrative

April 11, 2011

BACKGROUND

Modifications and additions to First Presbyterian Church are being undertaken in phases due to the requirement to keep the facility in operation during construction. Phase I was completed and occupied earlier this year. Phase II is currently under construction and Phase III is the subject of this application.

PROPOSED PHASE III ADDITIONS AND MODIFICATIONS

The central area of the church which includes choir rehearsal room, bell choir rehearsal room, infant nursery, parlor, and several staff offices and restroom facilities was built more than 40 years ago and no longer meets the functional and programmatic needs of the church and will be demolished to make way for new facilities as described below.

The main element of the new construction is a “gathering space” which will provide space for fellowship activities, non-worship assembly functions and other pre-worship and post-worship activities. (The existing fellowship hall is used for worship by the Cross Roads group). The new work also includes a new choir rehearsal hall, a new elevator, new restrooms and a new parlor.

The design intent is that the new and/or modified elements blend with the existing areas of the structure which are to be salvaged to the greatest extent possible.

The exterior materials are similar and/or compatible with existing. Colors are intended to match existing. No new or contrasting colors are planned or intended.

The site design will require only minimal site disturbance. Several hazardous trees previously proposed to be taken down along with several existing trees within the proposed building footprint are to be removed as part of this phase. Several existing aggregate walks will be removed and replaced or widened as part of this project due to old age and impacts from construction access and staging. A new walk accessing the proposed addition from the parking lot will be added. New sidewalk materials will be exposed aggregate with select areas receiving brick banding to match existing walks and brick on site.

An existing service area will be renovated to include a dumpster screen fence with access gates. Materials will be wood stained to match adjacent Fellowship Hall colors.

Minor landscape enhancement is proposed and includes replacing turf and planting areas that will be torn up during construction. New landscaping will also help soften the proposed new addition. Landscape replacement material will complement the existing landscape look and match recently installed landscape within the Phase I & II work.

Site lighting will be renovated to include additional Palmetto Electric shoebox fixtures within the pedestrian circulation areas to provide additional low level lighting. No new parking or street fixtures will be installed.

Existing Project Photographs
First Presbyterian Church
Phase III – Additions and Modifications
Hilton Head Island, South Carolina
April 12, 2011



View of rear courtyard area showing landscape border to be replaced.
Exterior building modifications are shown on East Elevation.



View of partial wall to be removed, covered walkway to be replaced, and areas to receive new landscaping.

Existing Project Photographs - Continued
First Presbyterian Church-Phase III



View of service yard from existing drive, showing sidewalk and tree to be removed. Exterior building modifications are shown on North Elevation.



View of service yard showing location to receive new concrete drive, screen fencing, and dumpster.

Existing Project Photographs - Continued
First Presbyterian Church-Phase III



View of main campus to receive new concrete sidewalk, landscaping and revised building architecture.

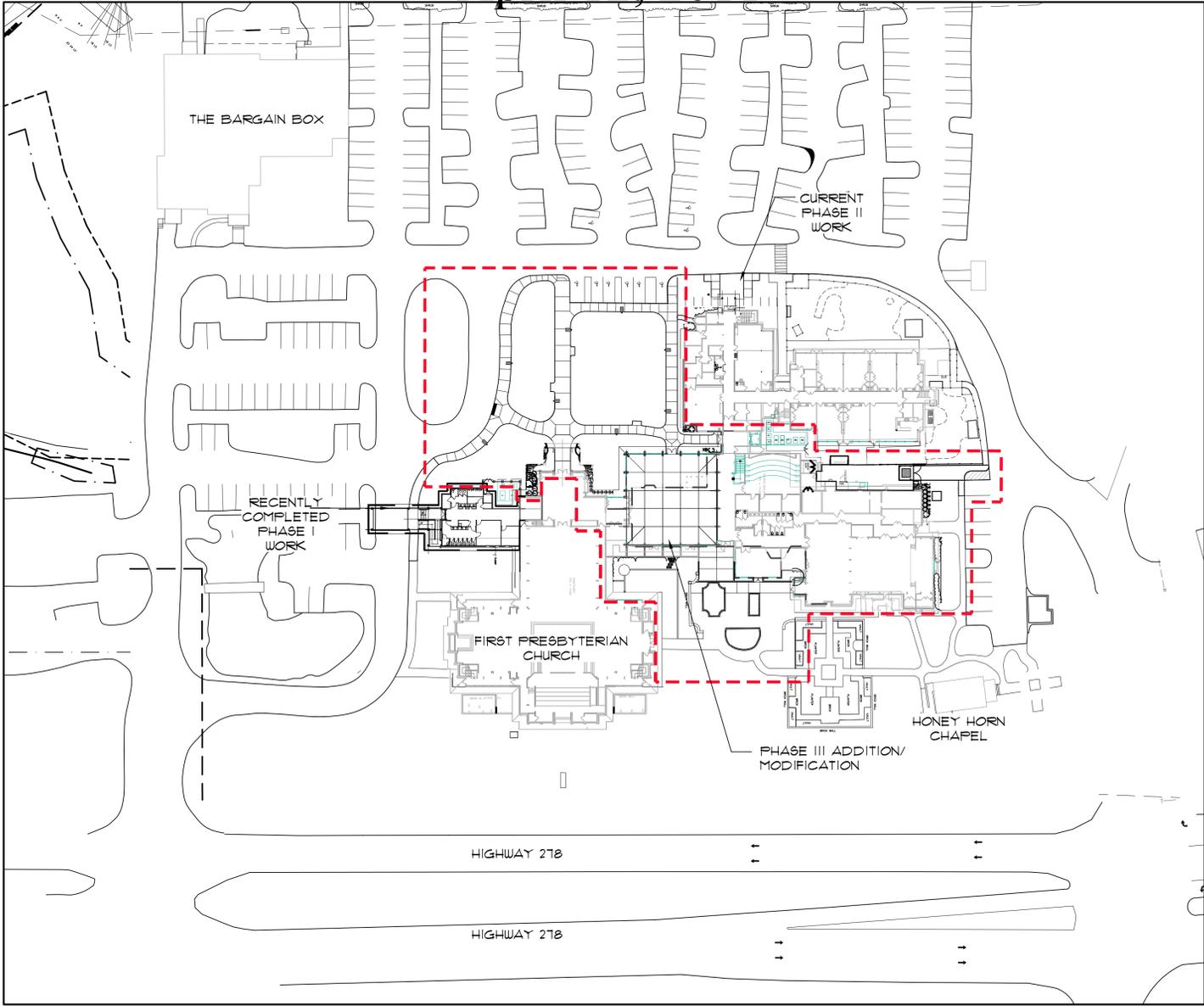


View of main campus to receive new concrete sidewalk, landscaping and lighting. Exterior building modifications are shown on West Elevation.

FIRST PRESBYTERIAN CHURCH ADDITIONS & MODIFICATIONS LANDSCAPE DEVELOPMENT PLANS PHASE III HILTON HEAD ISLAND, SC April 12, 2011

SHEET INDEX:

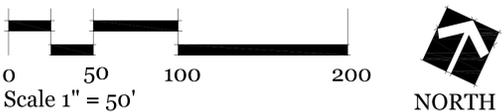
- L1 - SITE PLAN
- L2 - DETAILS
- L3 - LANDSCAPE PLAN
- L4 - SCHEDULE & DETAILS

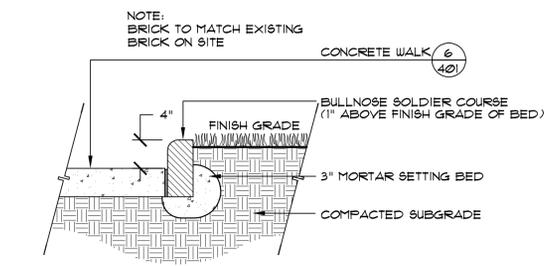
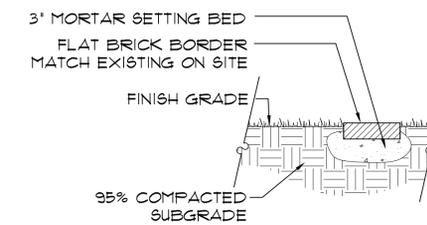
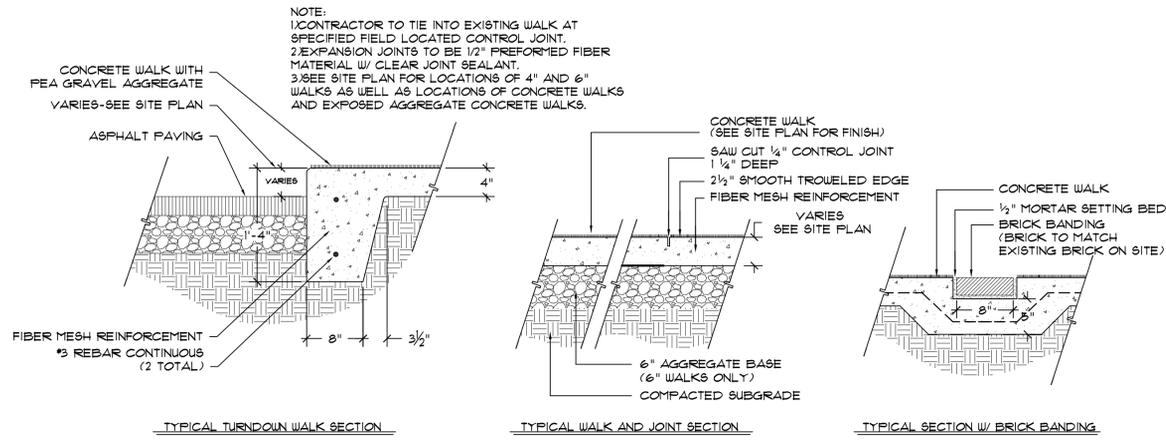


GENERAL SITE PLAN AND LAYOUT NOTES:

1. THIS BUILDER'S SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
2. TEMPORARY EROSION & SEDIMENT CONTROLS (HAY BALES, SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
6. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
7. TREE PROTECTION FENCES SHALL BE MAINTAINED IN PLACE AT ALL TIMES UNTIL WORK IS COMPLETED.
8. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
9. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.
11. ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE NOTED.
12. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS OR AS NOTED.
13. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.

CONTEXT PLAN

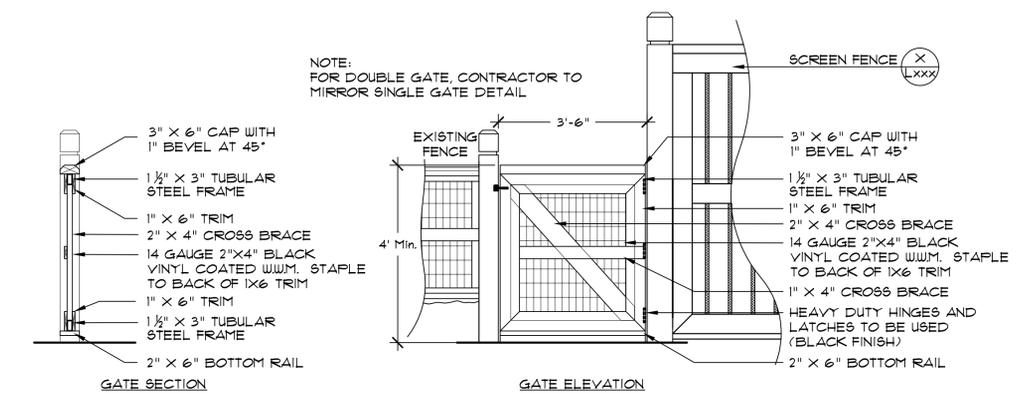
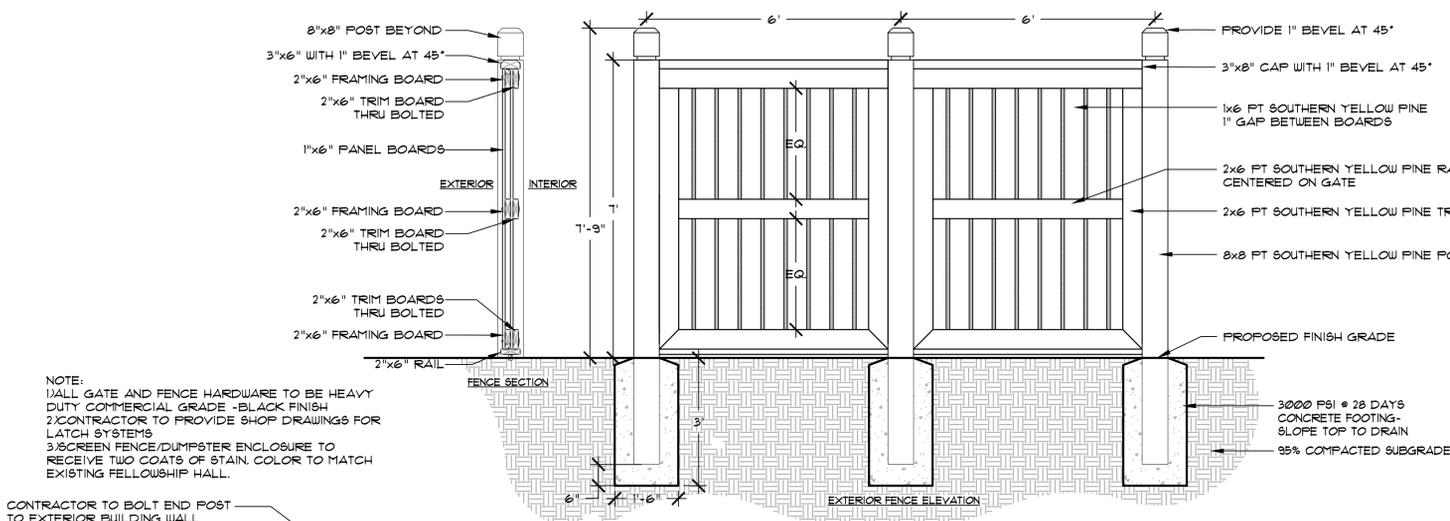




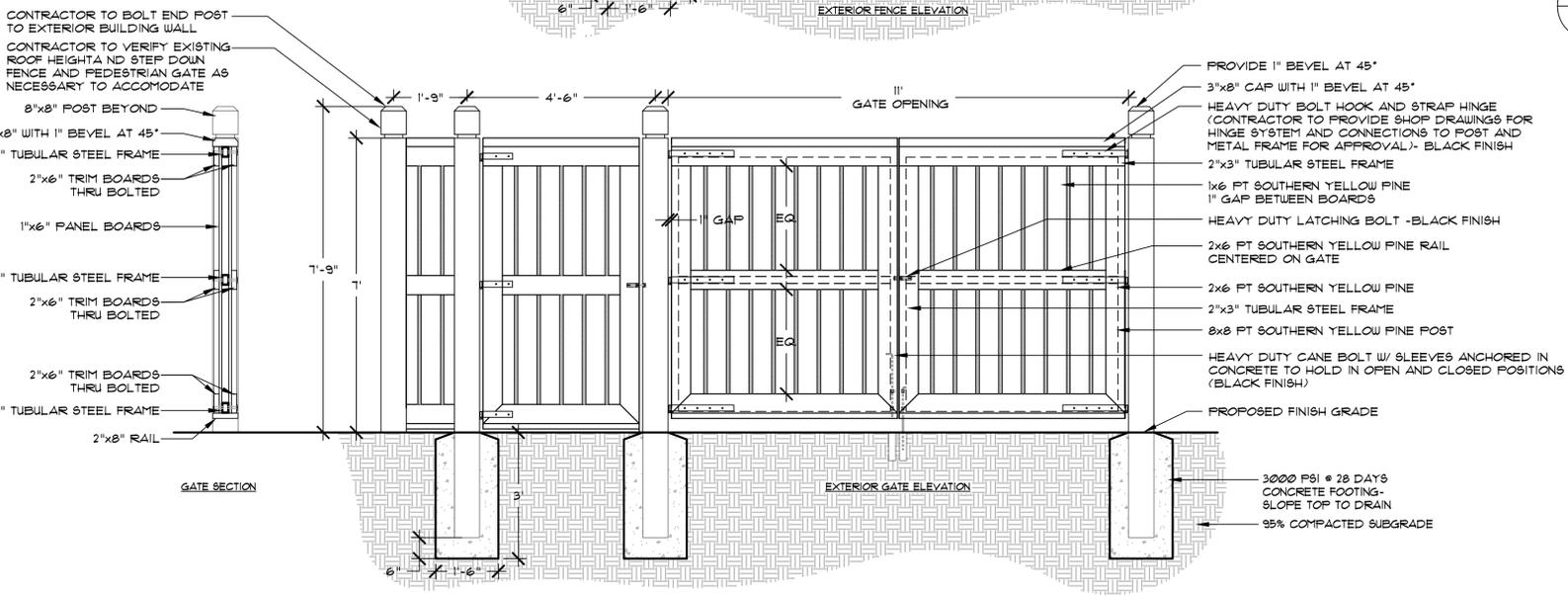
1 EXPOSED AGGREGATE WALK
 L2 SCALE: 1"=1'-0"

2 BRICK BORDER
 L2 SCALE: 1"=1'-0"

3 BRICK LANDSCAPE CURB
 L2 SCALE: 1"=1'-0"



5 PEDESTRIAN GATE
 L2 SCALE: 1/2"=1'-0"



4 DUMPSTER AND SCREEN FENCE
 L2 SCALE: 1/2"=1'-0"

6 STEPPING STONES
 L2 SCALE: 1/2"=1'-0"

ADDITIONS & MODIFICATIONS
 LANDSCAPE DEVELOPMENT PLANS
 PHASE III
 HILTON HEAD ISLAND, SC

DRAWN BY:
 TR/TG
 CHECKED BY:

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REVISION	DATE	BY
PLAN REV COMMENTS	08-13-10	TG

DATE
 April 12, 2011
 PROJECT NUMBER
 01-10014
 SHEET TITLE
 DETAILS

SHEET NUMBER
 L2

PLAN IS SUBJECT TO CHANGE.

Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners
 PO Box 23618 Hilton Head Island, SC 29925
 843.881.6618 Fax 843.881.7088 www.woodpartners.com

PLANT SCHEDULE:

QUAN	ABBREV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
2	CERC	Cercis canadensis Forest Pansy' Forest Pansy Redbud	8-10'	3-4'	cont.	AS SHOWN	1 1/2" CAL. MIN.
3	LAGI	Lagerstroemia indica Crape Myrtle	6-8'	4-6'	cont.	AS SHOWN	Multi-Stem Specimen
1	QUEF	Quercus falcata Southern Red Oak	8-10'	4-6'	cont.	AS SHOWN	2 1/2" CAL. MIN.
12	QUEV	Quercus virginiana Live Oak	8-10'	4-6'	cont.	AS SHOWN	2 1/2" CAL. MIN.

SHRUBS

QUAN	ABBREV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
61	AZAC	Azalea x 'Conleb' Autumn Embers Encore Azalea	12-18"	12-18"	cont.	AS SHOWN	FULL
1	AZAG	Azalea indica 'Mrs. G. G. Gerbing' G. G. Gerbing Azalea	18-24"	18-24"	cont.	AS SHOWN	FULL
81	AZAI	Azalea indica 'Formosa' Formosa Azalea	18-24"	18-24"	cont.	AS SHOWN	FULL
6	CAMG	Camellia Saanqua 'Shishi Gashira' Shishi Gashira Camellia	18-24"	18-24"	cont.	AS SHOWN	FULL
11	CAMS	Camellia Saanqua 'Yuletide' Yuletide Camellia	24-36"	18-24"	cont.	AS SHOWN	FULL
6	HYDG	Hydrangea quercifolia 'Alice' Alice Oakleaf Hydrangea	18-24"	18-24"	cont.	AS SHOWN	FULL
10	IILEC	Ilex cornuta 'Dwarf Burford' Dwarf Burford Holly	18-24"	18-24"	cont.	AS SHOWN	FULL
11	OSMA	Osmanthus americanus Devilwood Osmanthus	36-48"	18-24"	cont.	AS SHOWN	FULL

GROUNDCOVERS

QUAN	ABBREV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
102	AGAA	Agapanthus africanus Lily of the Nile	12-18"	10-12"	cont.	3' O.C.	FULL
75	CYRF	Cyrtomium falcatum Holly Fern	8-12"	10-12"	cont.	3' O.C.	FULL
42	HEMS	Hemerocallis 'Stella de Oro' Stella de Oro Daylily	8-12"	8-10"	cont.	24" O.C.	FULL
131	HEDC	Hedera canariensis Algerian Ivy	8-12"	8-12"	cont.	3' O.C.	FULL
404	LIRE	Liriope muscari 'Evergreen giant' Evergreen Giant Liriope	12-18"	8-12"	cont.	24" O.C.	FULL
56	TRAA	Trachelocarpum asiaticum Asiatic Jasmine	6-8"	10-12"	cont.	24" O.C.	FULL
8870h1	MULCH	Pine straw	-	-	-	-	Spread to 3" depth
5000h1	SOD	Stenotaphrum secundatum St. Augustine Grass	-	-	-	-	-

GENERAL PLANTING NOTES:

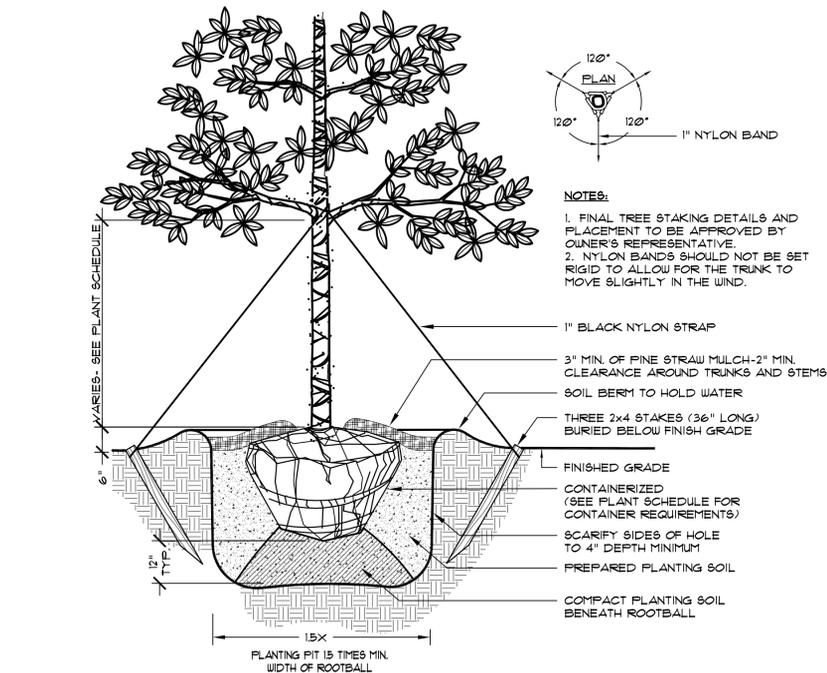
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- WARRANT EXTERIOR PLANTS, FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- FURNISH NURSERY-GROWN EXTERIOR PLANT MATERIALS COMPLYING WITH ANSI Z601, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPE, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF FREEN OR EQUAL.

IRRIGATION NOTES

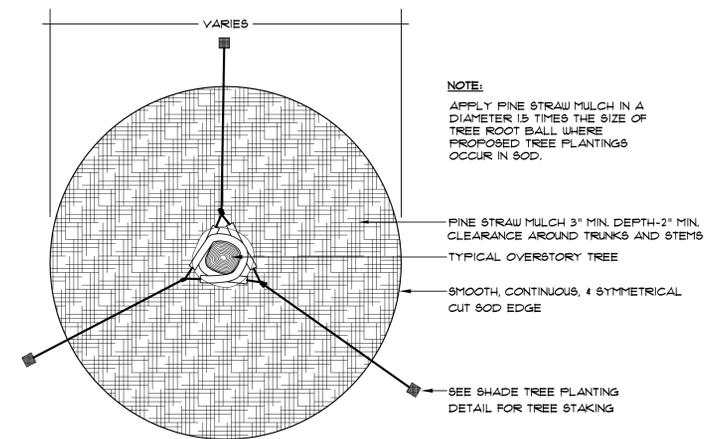
- ALL PLANT BEDS AND AREAS TO RECEIVE 100% IRRIGATION COVERAGE.
- IRRIGATION SYSTEM TO MEET ALL LOCAL AND NATIONAL PLUMBING AND ELECTRICAL CODES.
- AVOID SPRAYING ROADS, PARKING AND WALKS.
- CONTRACTOR TO TIE SYSTEM INTO EXISTING SYSTEM AS NECESSARY. COORDINATE WITH OWNER.
- CONTRACTOR SHALL PROVIDE 3 SETS OF AS-BUILT IRRIGATION DRAWINGS AFTER CONSTRUCTION IS COMPLETE AND APPROVED BY THE OWNER.

MULCHING NOTES

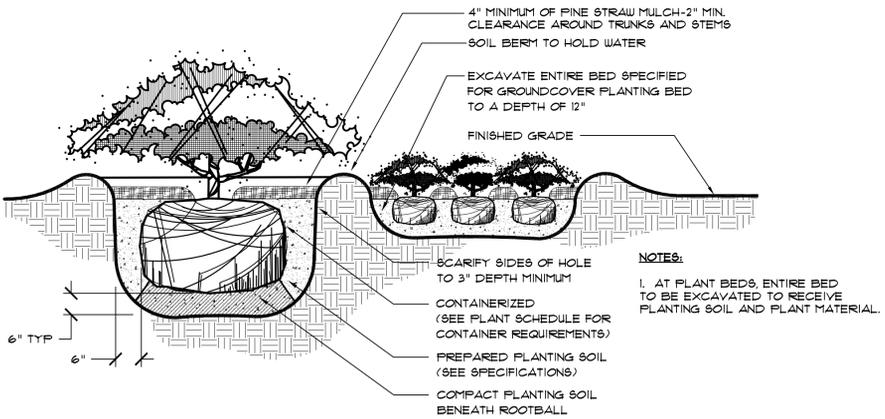
- MULCH ALL PLANTING BEDS WITH PINE STRAW TO A 3" DEPTH.



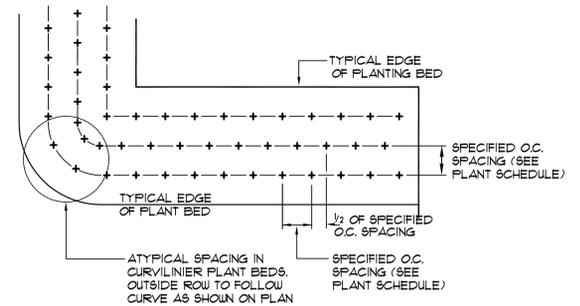
1 SHADE TREE PLANTING
L4 NOT TO SCALE



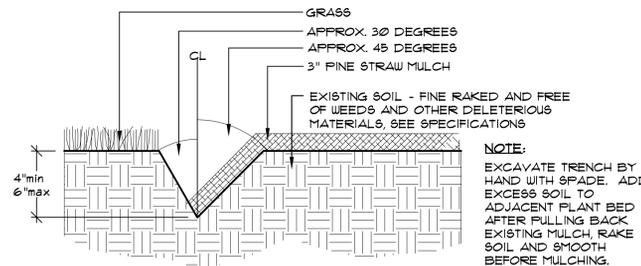
2 TREE MULCHING
L4 NOT TO SCALE



3 SHRUB AND GROUNDCOVER PLANTING
L4 NOT TO SCALE



4 TYPICAL GROUNDCOVER SPACING
L4 NOT TO SCALE



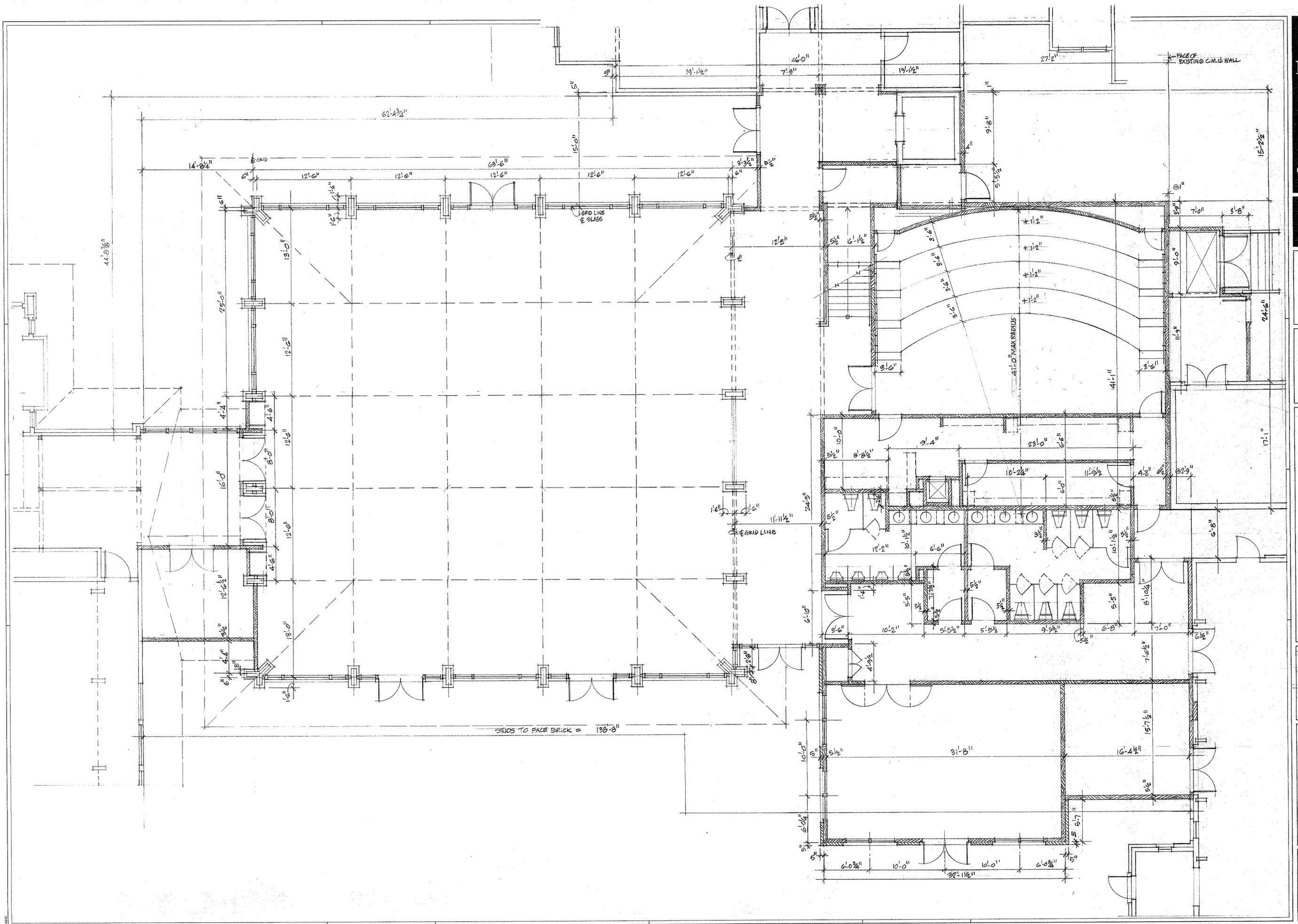
5 TYPICAL PLANTING BED EDGE TRENCH
L4 NOT TO SCALE

DRAWN BY:
TR/TG
CHECKED BY:

This drawing is an instrument of service & remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

REVISION	DATE	BY
PLAN REV COMMENTS	08-13-10	TG

DATE
April 12, 2011
PROJECT NUMBER
01-10014
SHEET TITLE
PLANTING PLAN & DETAILS



Phase III. Modifications and Additions:
FIRST PRESBYTERIAN CHURCH
 540 William Hilton Parkway
 Hilton Head Island, SC

JOB NO. 10043
 DATE AR-11-2011
 DRAWN BY LP
 CHECKED BY

REVISIONS

SHEET

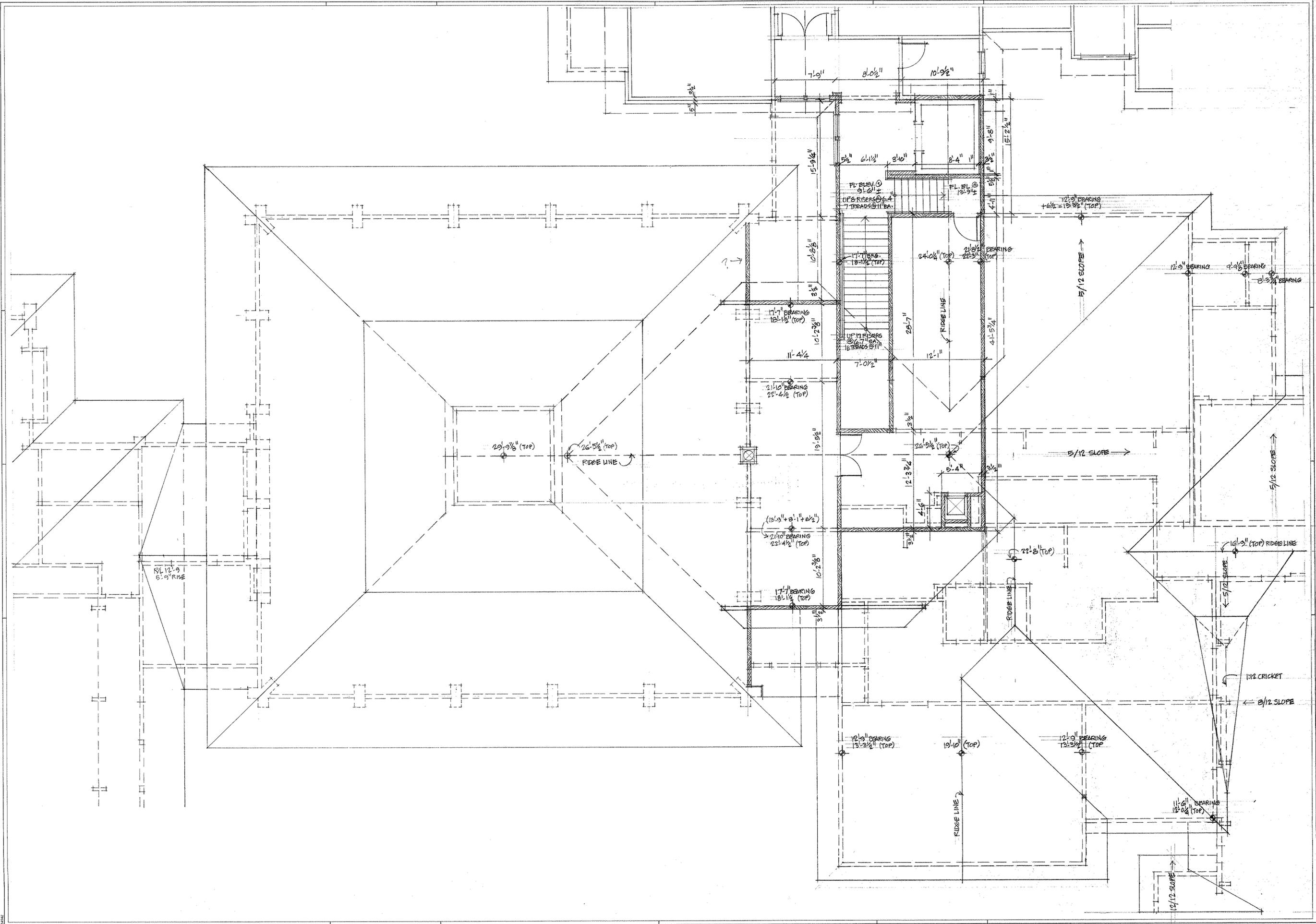
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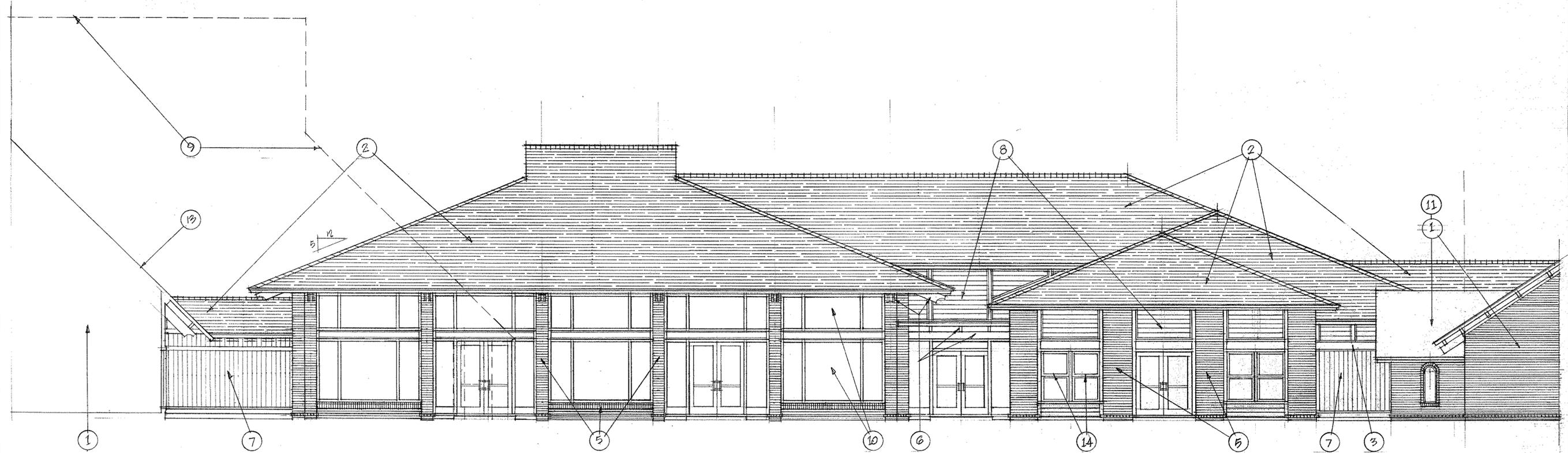
Phase III. Modifications and Additions:
FIRST PRESBYTERIAN CHURCH
540 William Hilton Parkway
Hilton Head Island, SC

JOB NO. 1004-3
DATE APR. 11, 2011
DRAWN BY LEE
CHECKED BY

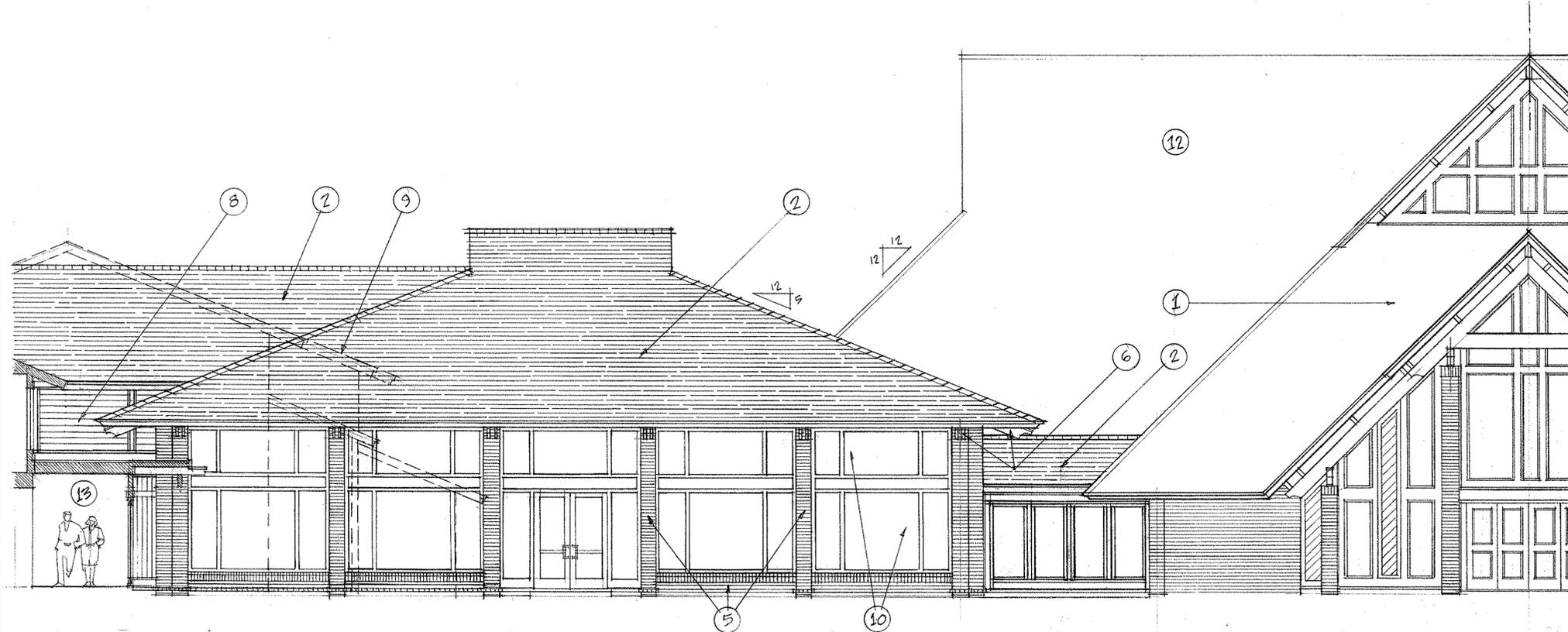
REVISIONS
21-3
R/L

SHEET





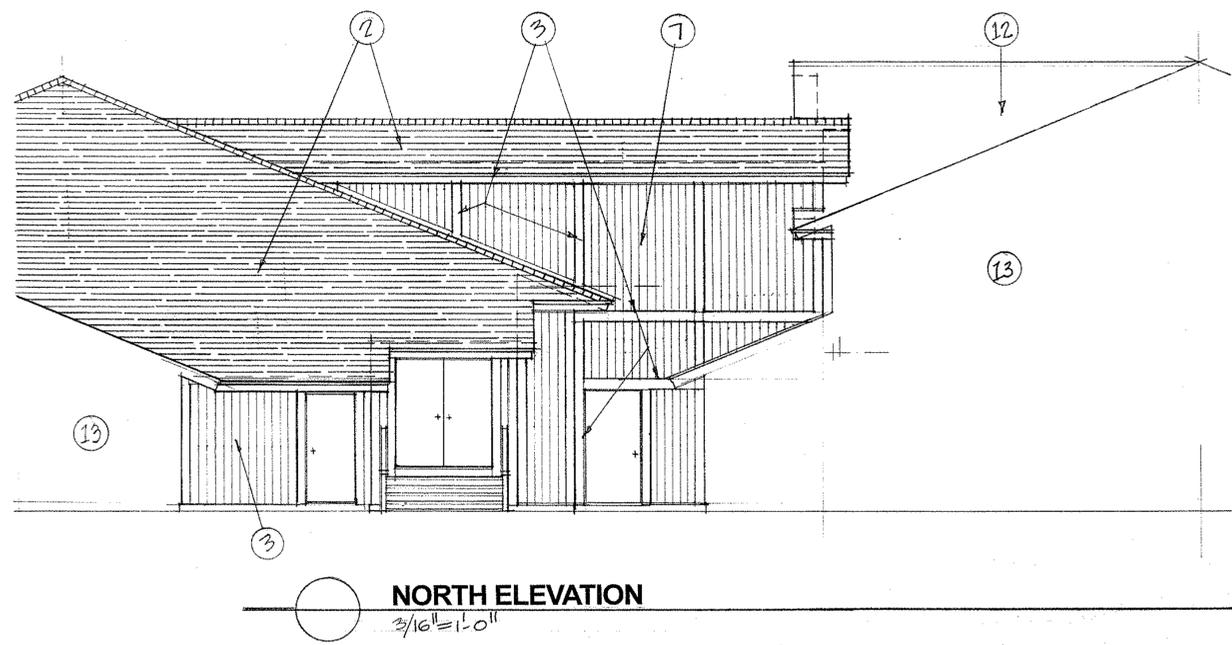
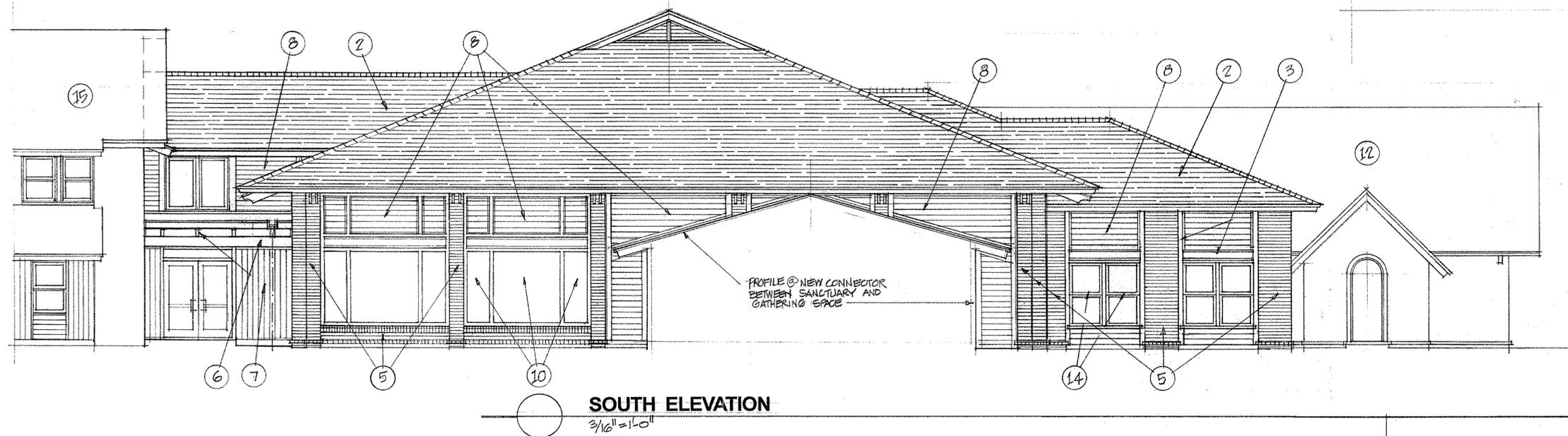
EAST ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"

MISCELLANEOUS SPEC NOTES

1. EXISTING CONSTRUCTION - NO CHANGES REQUIRED.
2. ROOFING AT NEW CONSTRUCTION WILL MATCH EXISTING.
3. ALL FASCIA BOARDS AND MISCELLANEOUS EXTERIOR TRIM WILL BE S4S CYPRESS (SELECT).
4. NEW SLOPED SOFFITS WILL BE 1/2" EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
5. NEW FACE BRICK WILL BE ENGINEER MODULAR WITH 3/8" MORTAR JOINTS. (3-5/8" X 7-5/8" X 2-13/16")
6. EXPOSED EXTERIOR BEAMS ARE GLUB LAMINATED (KDAT).
7. TYPICAL VERTICAL SIDING WILL BE 13/16" X 7-1/4", ROUGH FACE OUT, CYPRESS SIDING (PATTERN #139).
8. HORIZONTAL SIDING IS 7-1/4" X 13/16" CYPRESS SIDING PATTERN #139, ROUGH FACE OUT, CUT LEG TO ACHIEVE TIGHT JOINT FINISH.
9. DASHED LINES INDICATE PROFILE OF EXISTING CONSTRUCTION. NEW CONSTRUCTION IS VISIBLE IN ELEVATION.
10. ALUMINUM FRAME GLAZING SYSTEM WITH POWDER COAT FINISH. IMPACT RATED GLAZING AND DP RATING OF 45 (MINIMUM).
11. ROOFING WITHOUT SHINGLES DELINEATED IS EXISTING CONSTRUCTION, NO CHANGE INTENDED.
12. EXISTING CONSTRUCTION VISIBLE BEYOND - NO CHANGES PLANNED.
13. SECTION PROFILE CUT AT EXISTING CONSTRUCTION.
14. DOUBLE HUNG WINDOWS.



MISCELLANEOUS SPEC NOTES

1. EXISTING CONSTRUCTION - NO CHANGES REQUIRED.
2. ROOFING AT NEW CONSTRUCTION WILL MATCH EXISTING.
3. ALL FASCIA BOARDS AND MISCELLANEOUS EXTERIOR TRIM WILL BE S4S CYPRESS (SELECT).
4. NEW SLOPED SOFFITS WILL BE 1/2" EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
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6. EXPOSED EXTERIOR BEAMS ARE GLUE LAMINATED (KDAT).
7. TYPICAL VERTICAL SIDING WILL BE 13/16" X 7-1/4", ROUGH FACE OUT, CYPRESS SIDING (PATTERN #139).
8. HORIZONTAL SIDING IS 7-1/4" X 13/16" CYPRESS SIDING PATTERN #139, ROUGH FACE OUT, CUT LEG TO ACHIEVE TIGHT JOINT FINISH.
9. DASHED LINES INDICATE PROFILE OF EXISTING CONSTRUCTION NEW CONSTRUCTION IS VISIBLE IN ELEVATION.
10. ALUMINUM FRAME GLAZING SYSTEM WITH POWDER COAT FINISH. IMPACT RATED GLAZING AND DP RATING OF 45 (MINIMUM).
11. ROOFING WITHOUT SHINGLES DELINEATED IS EXISTING CONSTRUCTION, NO CHANGE INTENDED.
12. EXISTING CONSTRUCTION VISIBLE BEYOND - NO CHANGES PLANNED.
13. SECTION PROFILE CUT AT EXISTING CONSTRUCTION.
14. DOUBLE HUNG WINDOWS.
15. EXISTING CONSTRUCTION - NO CHANGES PLANNED.

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT First Presbyterian Church

DRB# DR110020

DATE 5/10/2011

RECOMMEND APPROVE

RECOMMEND APPROVE W/COND.

RECOMMEND DENY

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood	Y	
Promotes pedestrian scale and circulation	Y	
Design is unobtrusive and set into the natural environment	Y	
Utilizes natural materials and colors	Y	Proposed materials to match existing
Avoids distinctive vernacular styles	Y	
Design is appropriate for its use	Y	
All facades are have equal design characteristics	Y	Relative to visibility
Avoids monotonous planes or unrelieved repetition	Y	
Has a strong roof form with enough variety to provide visual interest	Y	
Minimum roof pitch of 6/12	Y	5/12 reflects existing pitch on similarly scaled existing elements
Overhangs are sufficient for the façade height.	Y	
Forms an details are sufficient to reduce the mass of the structure	Y	
Human scale is achieved by the use of proper proportions and architectural elements	Y	
Utilizes a variety of materials, textures and colors	Y	
Incorporates wood or wood simulating materials	Y	
Windows are in proportion to the facade	Y	
Details are clean, simple and appropriate while avoiding excessive ornamentation	Y	
Utilities and equipment are concealed from view	Y	
Decorative lighting is limited and low wattage and adds to	Y	Make sure replacement shoeboxes match lighting in field

the visual character		
Accessory elements are design to coordinate with the primary structure	Y	

LANDSCAPE DESIGN		
-------------------------	--	--

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
Treats the Landscape as a major element of the project	Y	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	Y	
Landscape is designed so that it may be maintained in its natural shape and size	Y	
Preserves a variety of existing native trees and shrubs	Y	
Provides for a harmonious setting for the site's structures, parking areas or other construction	Y	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	Y	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	Y	
A variety of species is selected for texture and color	Y	
Provides overall order and continuity of the Landscape plan	Y	
Native plants or plants that have historically been prevalent on the Island are utilized	Y	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	Y	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	Y	Placement of azaleas in the field around 19/24 Live Oak should be done to minimize root disturbance
Proper spacing and location for plants to reach their mature size and natural	Y	

shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs	Y	
Large grassed lawn areas encompassing a major portion of the site are avoided	Y	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	Y	
Ornamentals and Annuals are limited to entrances and other focal points	Y	

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		Because of significant/specimen live oaks in the area where the dumpster is proposed (between existing buildings), Natural Resources will require alternates for asphalt and conventional concrete (such as pervious concrete)that can be installed on top of existing grade in this area, and/or a reduction in paving to accommodate tree roots. In areas where large, mature trees are retained, arrange new landscaping to minimize root damage (i.e. at dripline or beyond).
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908

FOR OFFICIAL USE ONLY

Date Received: _____
 Accepted by: _____
 App. #: DR _____
 Meeting Date: _____

Applicant/Agent Name: Tony Stewart Company: Verizon Wireless
 Mailing Address: 10604 Lanford Street City: Anderson State: SC Zip: 29629
 Telephone: (864) 915-1122 Fax: (864) 225-1472 E-mail: telecomsite@nuvox.net
 Project Name: Shell Point Project Address: 105 Wild Horse Road
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

New Development – Conceptual
 New Development – Final, indicate Project Number

Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements: N/A

New Development – Conceptual Approval

- A survey (1"-30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Jerry Stewart
SIGNATURE

4/21/2011
DATE

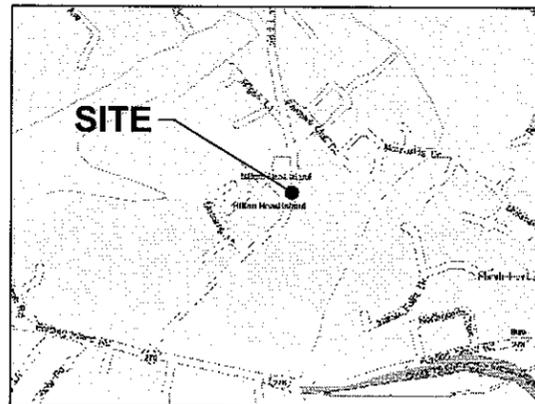


verizon wireless

8921 RESEARCH DRIVE
CHARLOTTE, NC 28262

SHELL POINT SITE ADDRESS

105 WILD HORSE ROAD
HILTON HEAD ISLAND, SC 29926
BEAUFORT COUNTY
LATITUDE: 32.2204° N
LONGITUDE: 80.7469° W
GROUND ELEVATION 12.8 (NAVD 88)



VICINITY MAP

SCALE:
NTS

FROM CHARLOTTE OFFICE: TAKE I-85 S TOWARD CHARLOTTE. TAKE EXIT 38 TO MERGE ONTO I-77 S/US-21 S. CONTINUE TO FOLLOW I-77S FOR 104 MILES THEN TAKE THE EXIT TOWARD I-26 E. KEEP LEFT TO CONTINUE ON I-26 TOWARD CHARLESTON FOR 52.8 MI. TAKE EXIT 169A AND MERGE ONTO I-95 TOWARD SAVANNAH. GO 77.8 MI AND TAKE EXIT 8 FOR US-278 E. TURN LEFT ONTO US-278/ INDEPENDENCE BLVD AND GO 20.7 MI. TURN LEFT ONTO WILD HORSE ROAD. TRAVEL .5 MI TO SITE ON LEFT.

DRIVING DIRECTIONS

MUNICIPALITY:
TOWN OF HILTON HEAD ISLAND

STATE:
SOUTH CAROLINA

TOWER TYPE:
WATER TANK

TOWER HEIGHT:
143.5'± (AGL)

NUMBER OF CARRIERS:
2 EXISTING

USE:
EXISTING WATER TANK WITH CELLULAR ANTENNAS AND UNMANNED EQUIPMENT

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
3169 HOLCOMB BRIDGE RD
NORCROSS, GEORGIA 30071
PHONE: (678) 533-3928
ATTN.: KEITH MARKLAND

PROJECT SUMMARY

DEVELOPER
VERIZON WIRELESS
8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: (704) 510-8717
ATTN: ROCKY CANADY

POWER COMPANY
PALMETTO ELECTRIC CO-OP INC.
PHONE: (843) 681-5551
ATTN.: CUSTOMER SERVICE

TELEPHONE COMPANY
HARGRAY
PHONE: (843) 784-2211
ATTN.: CUSTOMER SERVICE

TOWER OWNER
HILTON HEAD PSD
21 OAK PARK DRIVE
HILTON HEAD ISLAND, SC 29926
PHONE: (843) 681-5525
ATTN.: BILL DAVIS, OPERATIONS MANAGER

CONTACTS

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	0
C1	SITE PLAN	0
C2	SHELTER ELEVATIONS	0
C3	FOUNDATION & SHELTER TIE DOWN DETAILS	0
C4	STOOP DETAIL	0
C5	WAVEGUIDE BRIDGE DETAILS	0
E1	BASIC SERVICE ROUTING PLAN	0
E2	GROUNDING PLAN	0
E3	SINGLE-LINE DIAGRAM	0
E4	ELECTRICAL DETAILS	0
E5	ELECTRICAL DETAILS	0

SHEET INDEX

**TOWN OF HILTON HEAD ISLAND
COMMUNITY DEVELOPMENT DEPARTMENT**
ONE TOWN CENTER COURT
HILTON HEAD ISLAND, SC 29928
PHONE: (843) 341-4757
ATTN.: PLANS REVIEWER

PERMIT INFORMATION

verizon wireless
8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:
VERIZON NAME: SHELL POINT
VERIZON No.: COL 110
105 WILD HORSE ROAD
HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
04/05/11

ISSUED FOR:
CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

CONSULTANT:

**Kimley-Horn
and Associates, Inc.**
Post Office Box 33068
Raleigh, North Carolina 27636



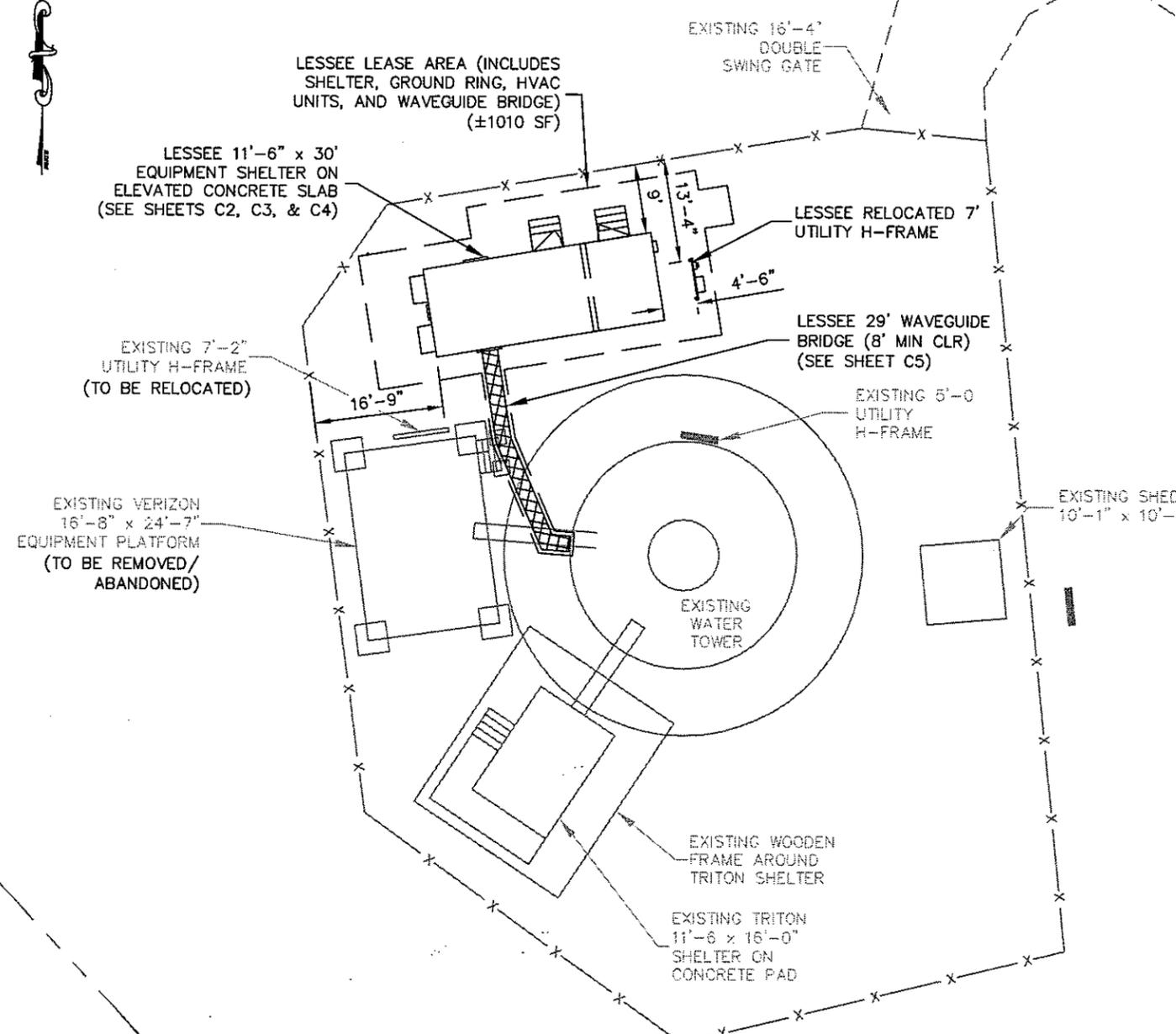
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KAH KRM LHF

LICENSER:

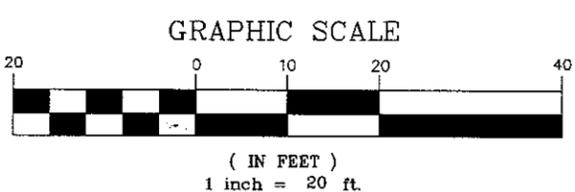

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COVER SHEET

SHEET NUMBER: REVISION:
T1 0
019472226

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1 SITE PLAN
C1 SCALE : 1" = 20'



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON A SITE VISIT ON 6/23/09.

COAX NOTE:

1. ROUTE COAX UP WATER TOWER UTILIZING EXISTING TANK PENETRATION AND COAX MOUNTING HARDWARE INSIDE THE TANK.

SHELTER NOTE:

1. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER SHOWN ABOVE (FAYETTEVILLE MARKET - LESTER MILLS #528) HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
2. EXISTING EQUIPMENT TO BE REMOVED AT A LATER DATE BY OTHERS.

FLOOD NOTE:

1. PROPOSED SHELTER IS LOCATED IN A ZONE AE WITH BFE OF 14' AMSL (NGVD 29), 13.1 AMSL (NAVD 88). THE CURRENT GROUND ELEVATION AT THE PROPOSED SHELTER LOCATION IS 13.5' AMSL (NAVD 88). THE FFE FOR THE SHELTER WILL BE 15.5' AMSL (NAVD 88).

GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
5. WAVEGUIDE BRIDGE AND PRE-FAB SHELTER ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS FOR SPECIFIC INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.
6. ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
7. THE EXISTING TANK AND TANK FOUNDATIONS WERE DESIGNED BY OTHERS. TANK INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF STRUCTURAL ANALYSIS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
9. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
10. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "PALMETTO UTILITY PROTECTION SERVICE" 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (888) 721-7877. ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
11. CONTRACTOR SHALL TAKE EXTREME CAUTION WHEN CONSTRUCTING WAVEGUIDE FOOTINGS SO AS TO NOT DAMAGE THE EXISTING TANK GROUNDING RING. IF THE EXISTING RING BECOMES DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF THE TOWER GROUNDING RING AS DEEMED APPROPRIATE BY VERIZON.
12. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.



PROJECT INFORMATION:
VERIZON NAME: SHELL POINT
VERIZON No.: COL 110
105 WILD HORSE ROAD
HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
04/05/11

ISSUED FOR:
CONSTRUCTION

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:

Kimley-Horn and Associates, Inc.
 Post Office Box 33068
 Raleigh, North Carolina 27636



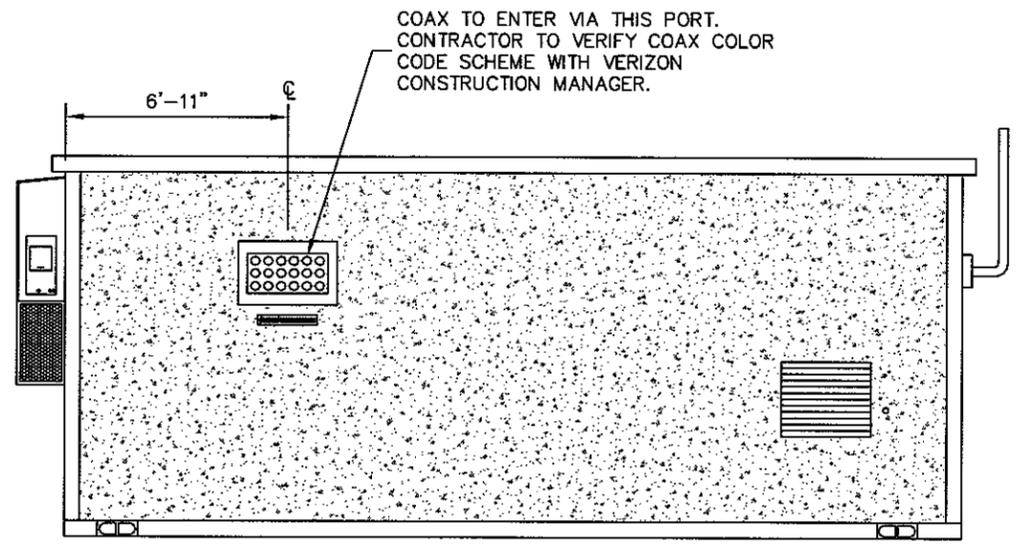
DRAWN BY: **KAH** CHK.: **KRM** APV.: **LHF**



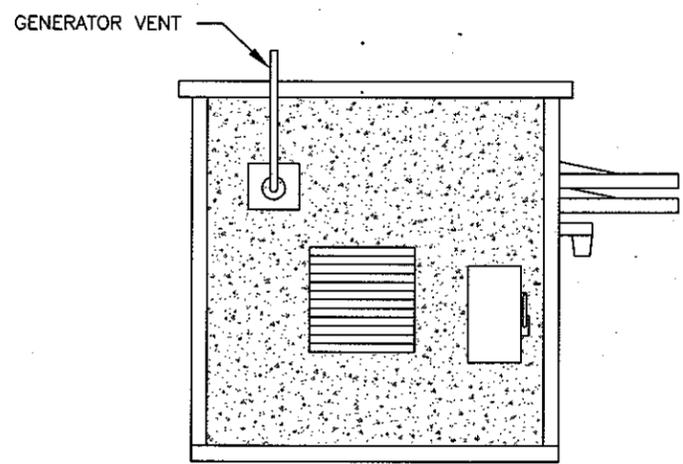
SHEET TITLE:
SITE PLAN

SHEET NUMBER: **C1** REVISION: **0**
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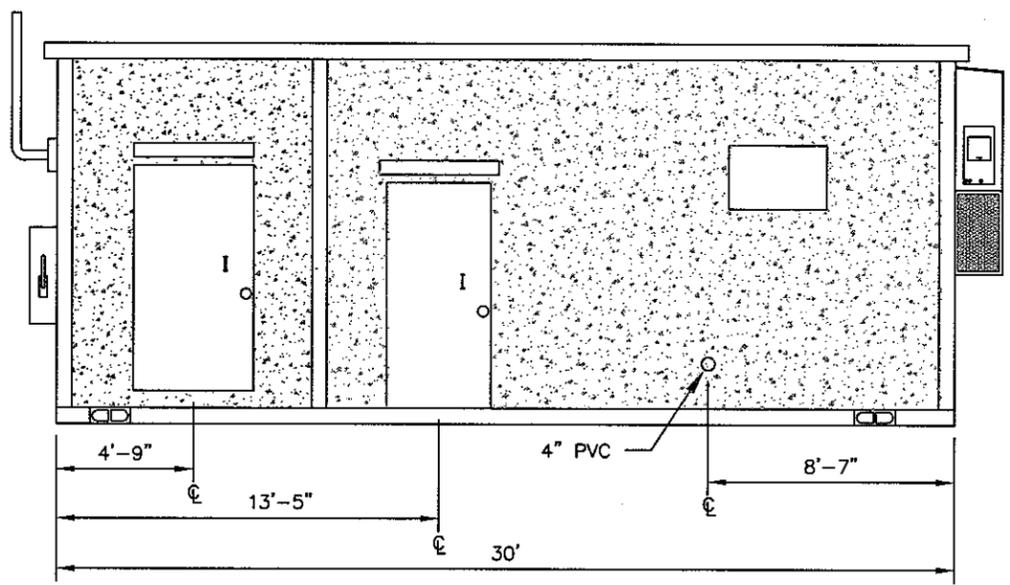
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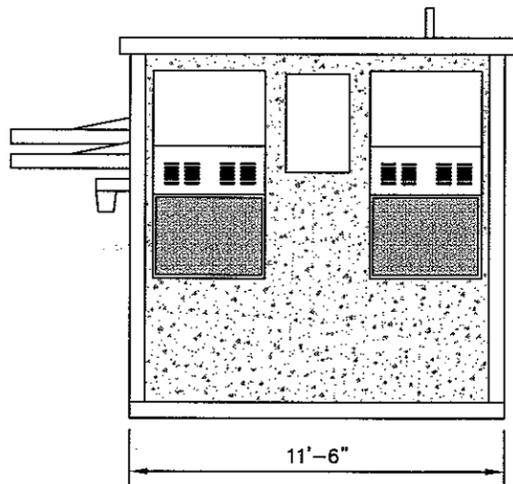
1 REAR WALL ELEVATION C
C2 NOT TO SCALE



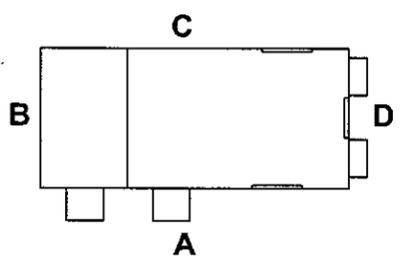
2 SIDE WALL ELEVATION B
C2 NOT TO SCALE



3 FRONT WALL ELEVATION A
C2 NOT TO SCALE



4 SIDE WALL ELEVATION D
C2 NOT TO SCALE



5 TYPICAL WALL LAYOUT
C2 NOT TO SCALE

NOTE:
PRE-FAB BUILDING WAS DESIGNED BY OTHERS AND
DRAWINGS WERE PROVIDED AS PART OF VERIZON
WIRELESS STANDARD DETAILS. CONTRACTOR TO CONFIRM
WITH VERIZON CONSTRUCTION MANAGER THAT THE
SHELTER SHOWN ABOVE HAS BEEN SCHEDULED FOR
DELIVERY TO THIS SITE.



PROJECT INFORMATION:
VERIZON NAME: SHELL POINT
VERIZON No.: COL 110
105 WILD HORSE ROAD
HILTON HEAD ISLAND, SC 29926

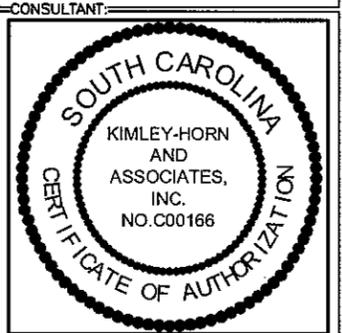
CURRENT ISSUE DATE:
04/05/11

ISSUED FOR:
CONSTRUCTION

REV.:	DATE:	ISSUED FOR:	BY:

CONSULTANT:

Kimley-Horn
and Associates, Inc.
Post Office Box 33068
Raleigh, North Carolina 27636



DRAWN BY: CHK. APV.:
KAH KRM LHF

LICENSER:
FOR ILLUSTRATIVE PURPOSES ONLY- REFER TO MANUFACTURERS APPROVED SHELTER DRAWINGS

SHEET TITLE:
SHELTER ELEVATIONS

SHEET NUMBER: C2 REVISION: 0
019472226

FOUNDATION NOTES

1. GENERAL

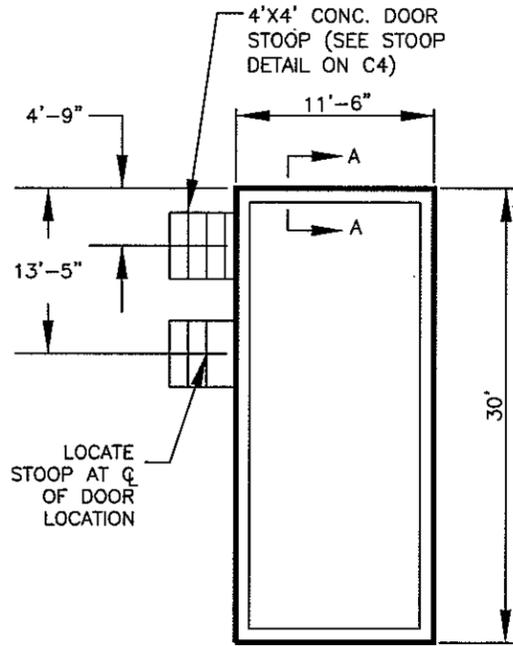
- 1.1 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- 1.2 EXCAVATE A MINIMUM 18" BELOW PROPOSED SHELTER AND GENERATOR FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 1.3 PERIMETER FOOTING FOR THE SHELTER FOUNDATION MUST BE A MINIMUM DEPTH OF 24" BELOW FINISH GRADE. (SEE SECTION A-A)
- 1.4 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION.
- 1.5 CONTRACTOR TO CUT/FILL FOUNDATION TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL MATERIALS SHALL ACHIEVE 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.

2. MATERIALS

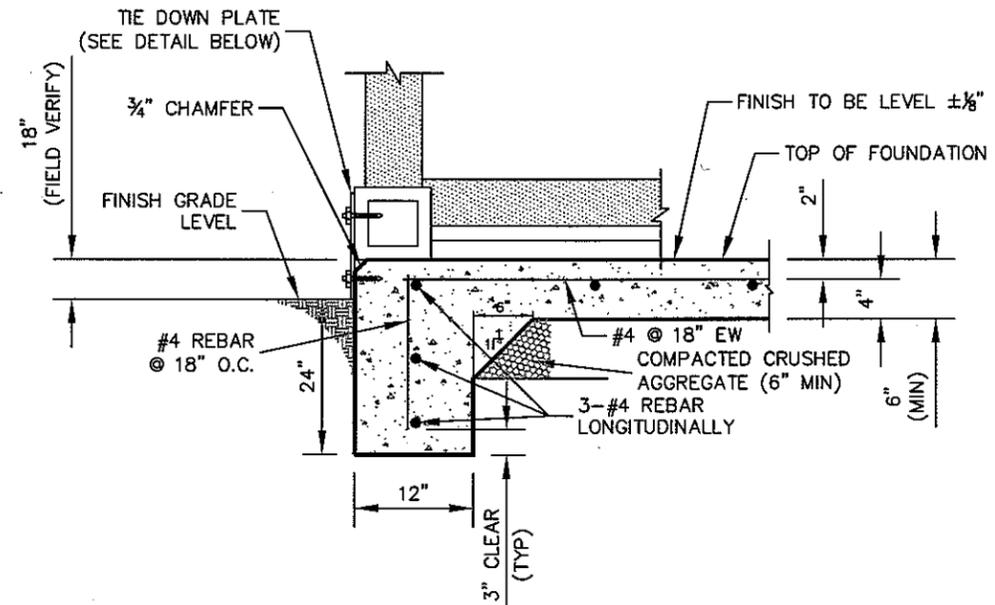
- 2.1 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.2 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.3 REINFORCING BARS SHALL CONFORM TO THE LATEST REVISION OF ASTM-A615 GRADE 60 SPECIFICATIONS AND BE DETAILED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318.
- 2.4 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.5 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.6 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION.

3. TOLERANCES

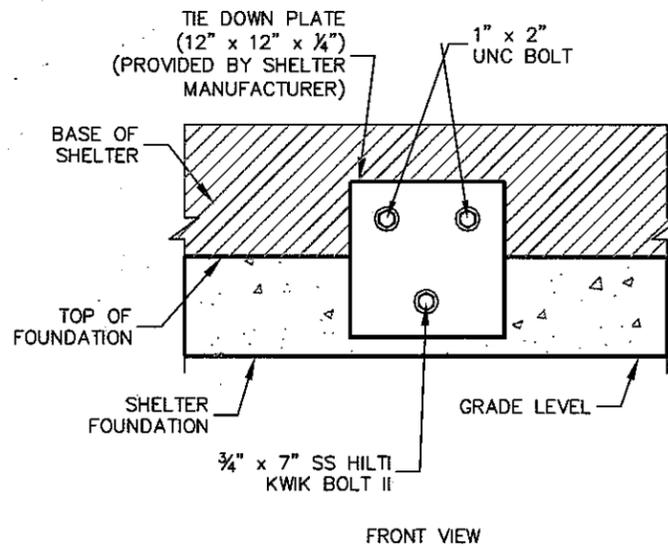
- 3.1 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.



1
C3
VERIZON FOUNDATION PLAN
NOT TO SCALE



2
C3
SECTION "A-A"
NOT TO SCALE



3
C3
TIE DOWN PLATE (FRONT VIEW)
NOT TO SCALE



PROJECT INFORMATION:
VERIZON NAME: SHELL POINT
VERIZON No.: COL 110
 105 WILD HORSE ROAD
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
04/05/11

ISSUED FOR:
CONSTRUCTION

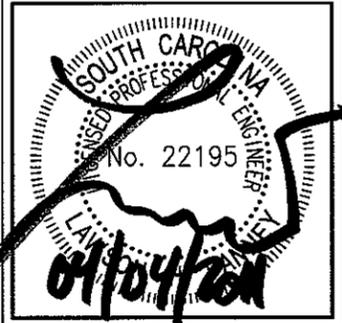
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Kimley-Horn and Associates, Inc.
 Post Office Box 33068
 Raleigh, North Carolina 27636



DRAWN BY: CHK. APV.:
 KAH KRM LHF

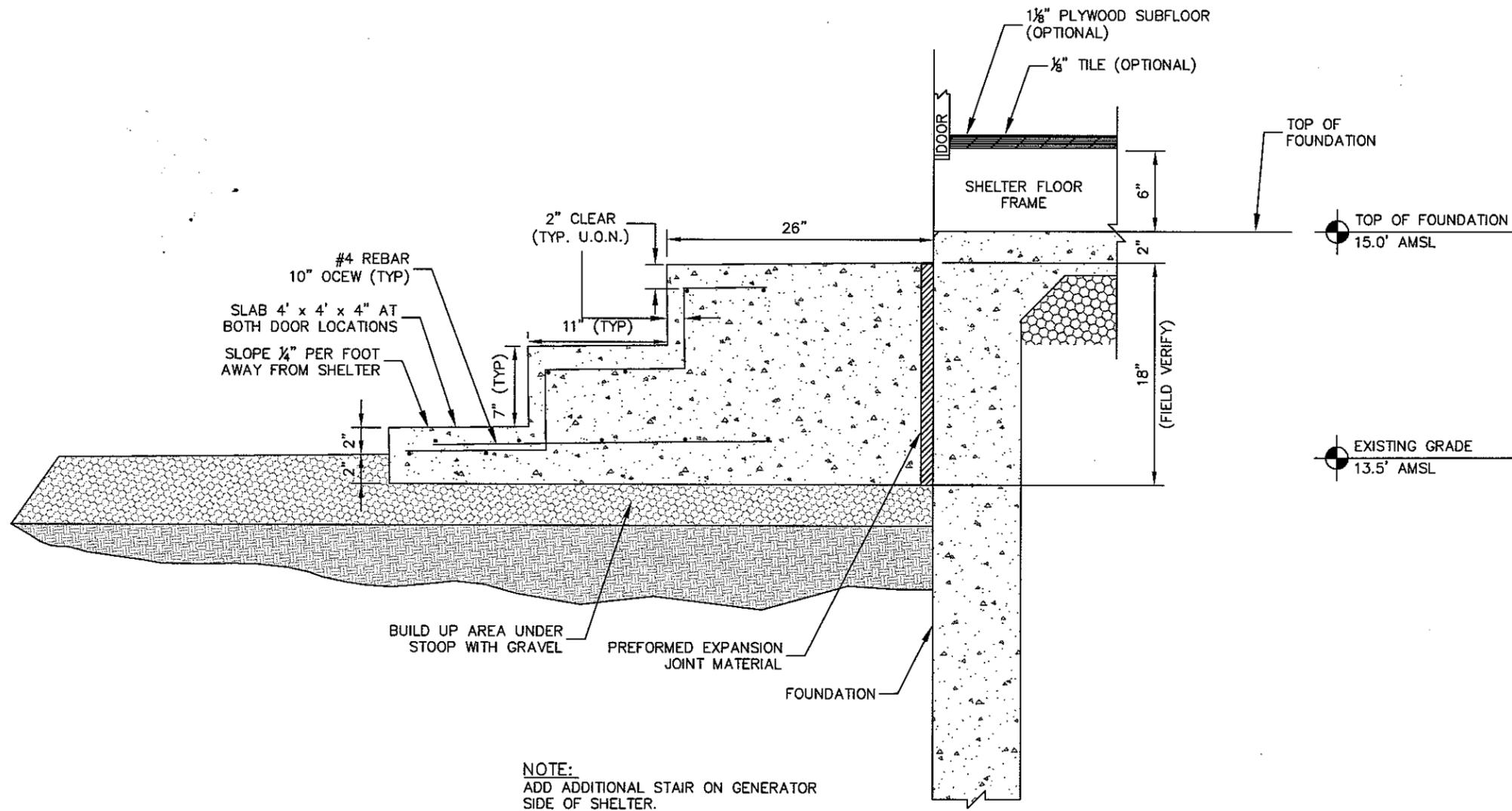


SHEET TITLE:
FOUNDATION & SHELTER TIE DOWN DETAILS

SHEET NUMBER: **C3** REVISION: **0**
 019472226

Drawing name: Y:\000_Verizon\2009_sitas\11E Columbia\Shell Point\ShellPoint-C03a.dwg C3 Apr 05, 2011 8:27am by: kellee.glynn

- NOTES:
- FINISHED ELEVATION OF CONCRETE FOUNDATION TO BE 15.0' AMSL
 - FINISHED FLOOR ELEVATION OF SHELTER TO BE 15.5' AMSL



NOTE:
ADD ADDITIONAL STAIR ON GENERATOR
SIDE OF SHELTER.

1 VERIZON STOOP DETAIL
C4 NOT TO SCALE

Drawing name: Y:\000_Verizon\2009 etes\ITE Columbia\Shell Point\ShellPoint-CDa.dwg C4 Apr 05, 2011 8:28am by: kelley.glynn



PROJECT INFORMATION:
VERIZON NAME: SHELL POINT
VERIZON No.: COL 110
105 WILD HORSE ROAD
HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
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CONSTRUCTION

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CONSULTANT:

Kimley-Horn
and Associates, Inc.
Post Office Box 33068
Raleigh, North Carolina 27636



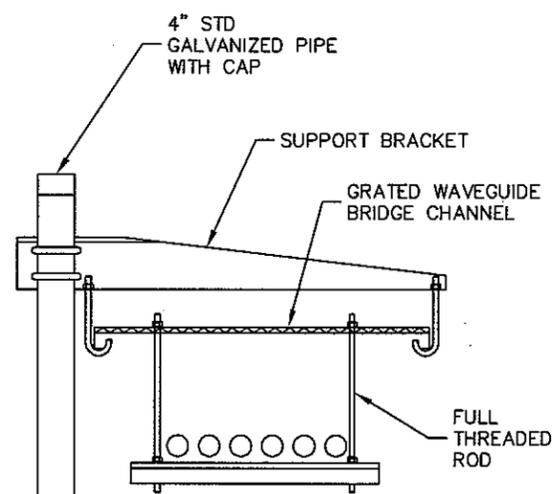
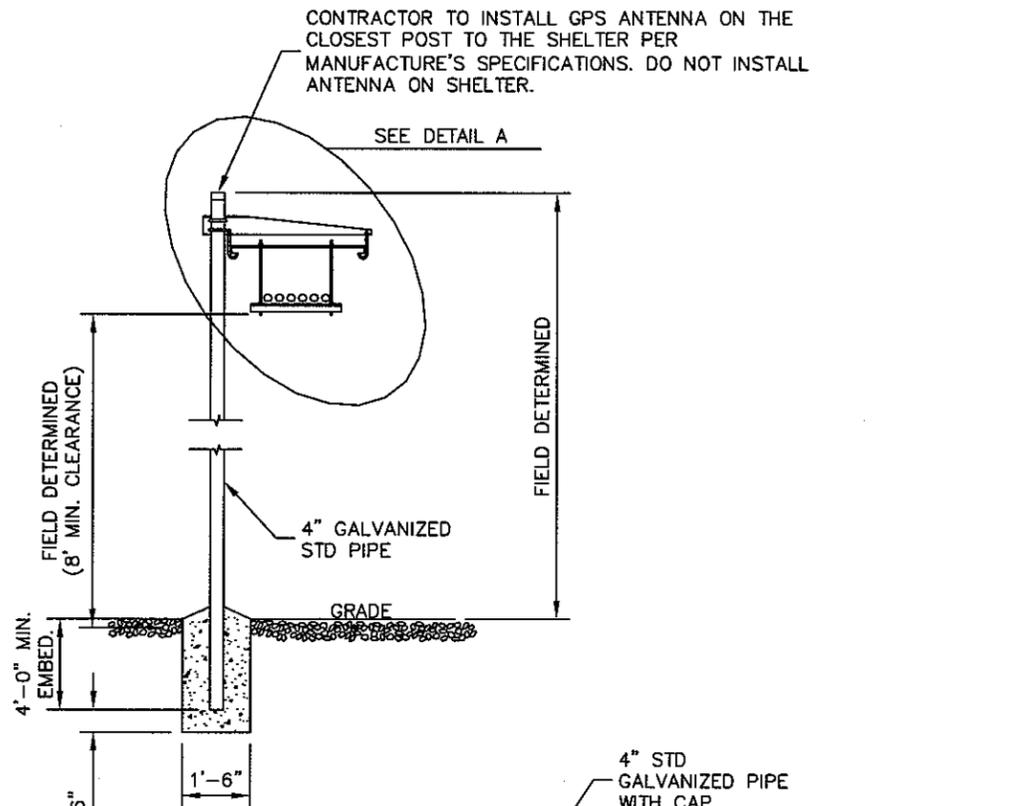
DRAWN BY: CHK.: APV.:
KAH KRM LHF



SHEET TITLE:
STOOP DETAIL

SHEET NUMBER: REVISION:
C4 0
019472226

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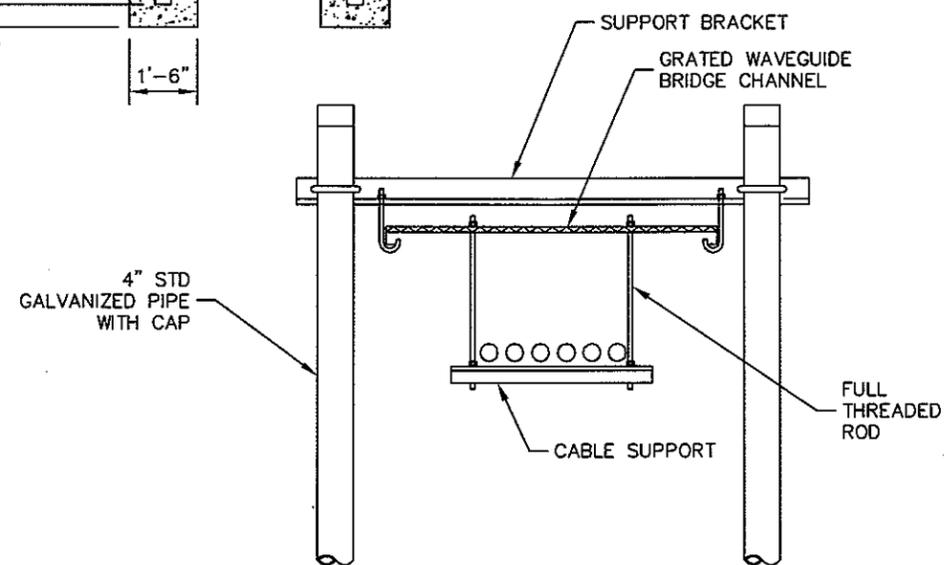
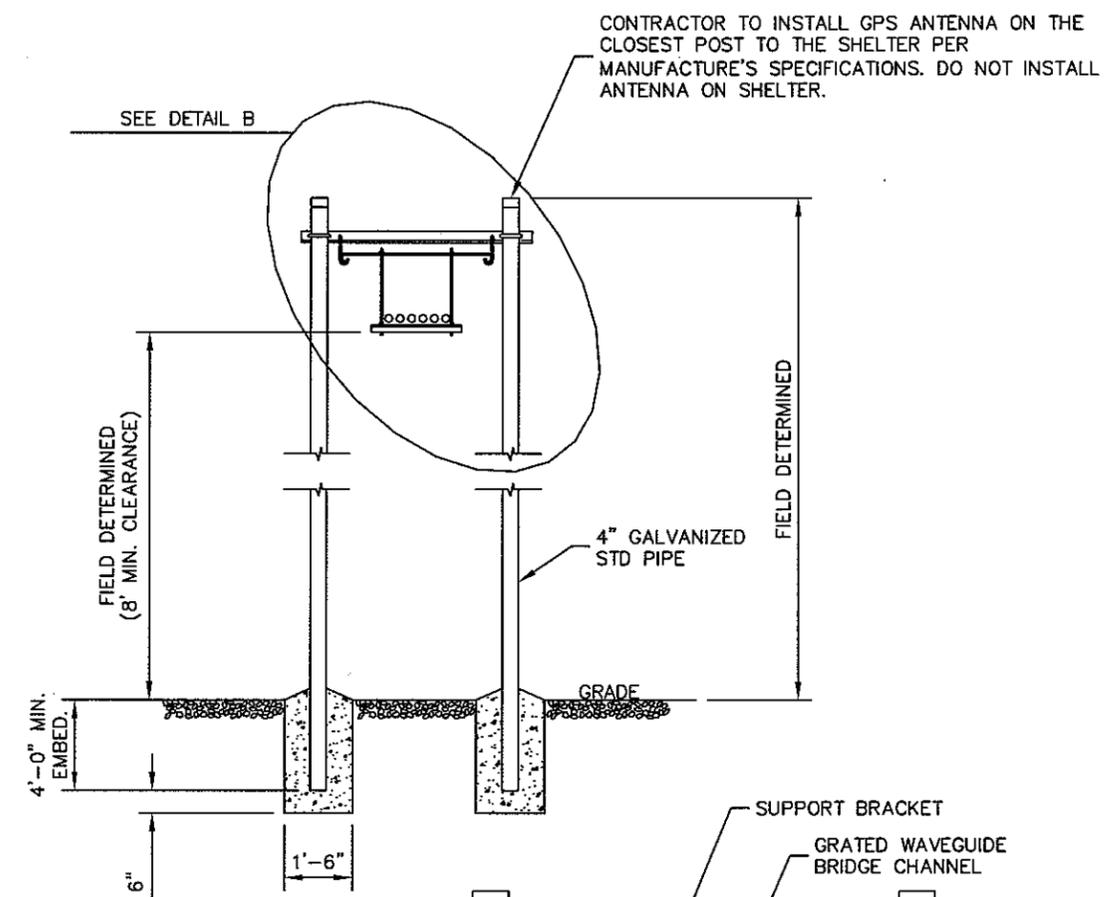
ANDREW DOUBLE POST WAVEGUIDE BRIDGE KIT (PART # WB-K210-B15, OR APPROVED EQUIVALENT)

DETAIL A

NOTES:

1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
2. REFER TO GENERAL NOTES ON SHEET C1.

1
C5
WAVEGUIDE BRIDGE DETAIL
 NOT TO SCALE



ANDREW 4 POST WAVEGUIDE BRIDGE KIT (PART # WB-K410-B15, OR APPROVED EQUIVALENT)

DETAIL B

NOTES:

1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
2. REFER TO GENERAL NOTES ON SHEET C1.

2
C5
WAVEGUIDE BRIDGE DETAIL
 (ALTERNATIVE DESIGN WITH 2 PIPE COLUMNS)
 NOT TO SCALE



PROJECT INFORMATION:
 VERIZON NAME: SHELL POINT
 VERIZON No.: COL 110
 105 WILD HORSE ROAD
 HILTON HEAD ISLAND, SC 29926

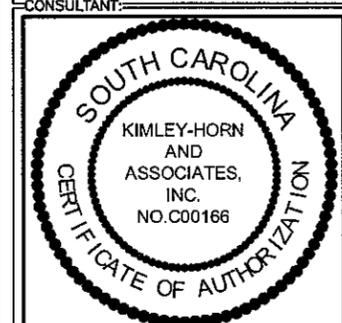
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CONSULTANT:

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DRAWN BY: CHK.: APV.:
 KAH KRM LHF

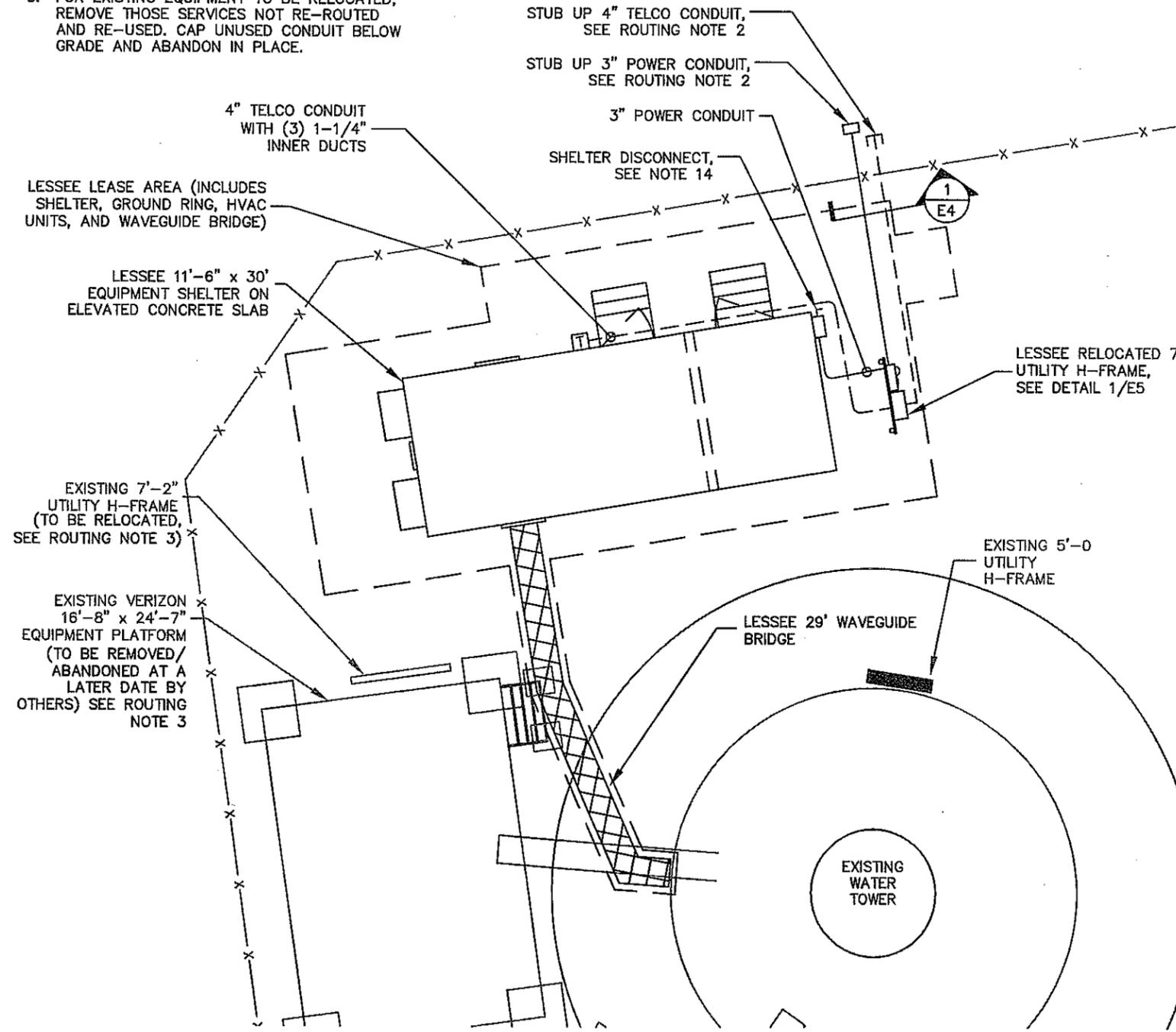
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SHEET TITLE:
WAVEGUIDE BRIDGE DETAILS

SHEET NUMBER: REVISION:
C5 0
 019472226

ROUTING NOTES:

1. CONTRACTOR TO PROVIDE PULL BOXES AS NEEDED TO ENSURE NO GREATER THAN 360 DEGREES OF BENDS BETWEEN PULL POINTS IN CONDUIT RUNS.
2. CONTRACTOR COORDINATE WITH LOCAL UTILITY FOR SERVICE TO THIS POINT.
3. FOR EXISTING EQUIPMENT TO BE RELOCATED, REMOVE THOSE SERVICES NOT RE-ROUTED AND RE-USED. CAP UNUSED CONDUIT BELOW GRADE AND ABANDON IN PLACE.



1
E1
BASIC SERVICE ROUTING PLAN
SCALE: 1" = 10'

NOTES AND SPECIFICATIONS:

1. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
2. CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
3. CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
5. CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON ENDS OF UNUSED CONDUIT.
6. CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
7. PRIOR TO TRENCHING CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
8. CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWNER/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
9. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE SCHEDULE 80 PVC UNDER ROADS. USE LONG-SWEEP RIGID GALVANIZED STEEL (RGS) FOR ELBOWS. USE RGS FOR RISERS TO EQUIPMENT. MANUFACTURED BENDS SHALL HAVE A MINIMUM RADIUS OF 36" FOR CONDUIT.
10. CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARD AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION, AS NEEDED.
11. CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE/CONDUCTOR INSULATION, SHIELDING, ETC.
12. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
13. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
14. THE CONTRACTOR SHALL PROVIDE A LABEL TO READ: "OPENING THE SHELTER DISCONNECT WILL CAUSE THE SHELTER GENERATOR TO START. TO REMOVE POWER ENTIRELY FROM THE SHELTER, THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR OUTPUT CIRCUIT BREAKER MUST BE OPENED."
15. ENSURE MINIMUM 3' CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT PER NEC.
16. ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL LISTED BY AN APPROVED THIRD PARTY TESTING AGENCY



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 105 WILD HORSE ROAD
 HILTON HEAD ISLAND, SC 29926

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 CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
0	04/7/11	PERMIT/CONSTR.	JDC

CONSULTANT:

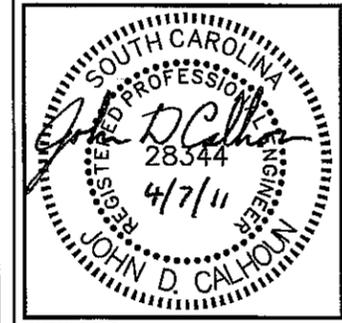
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 ACG PROJECT NO.: 2011 089

DRAWN BY: _____ CHK.: _____ APV.: _____

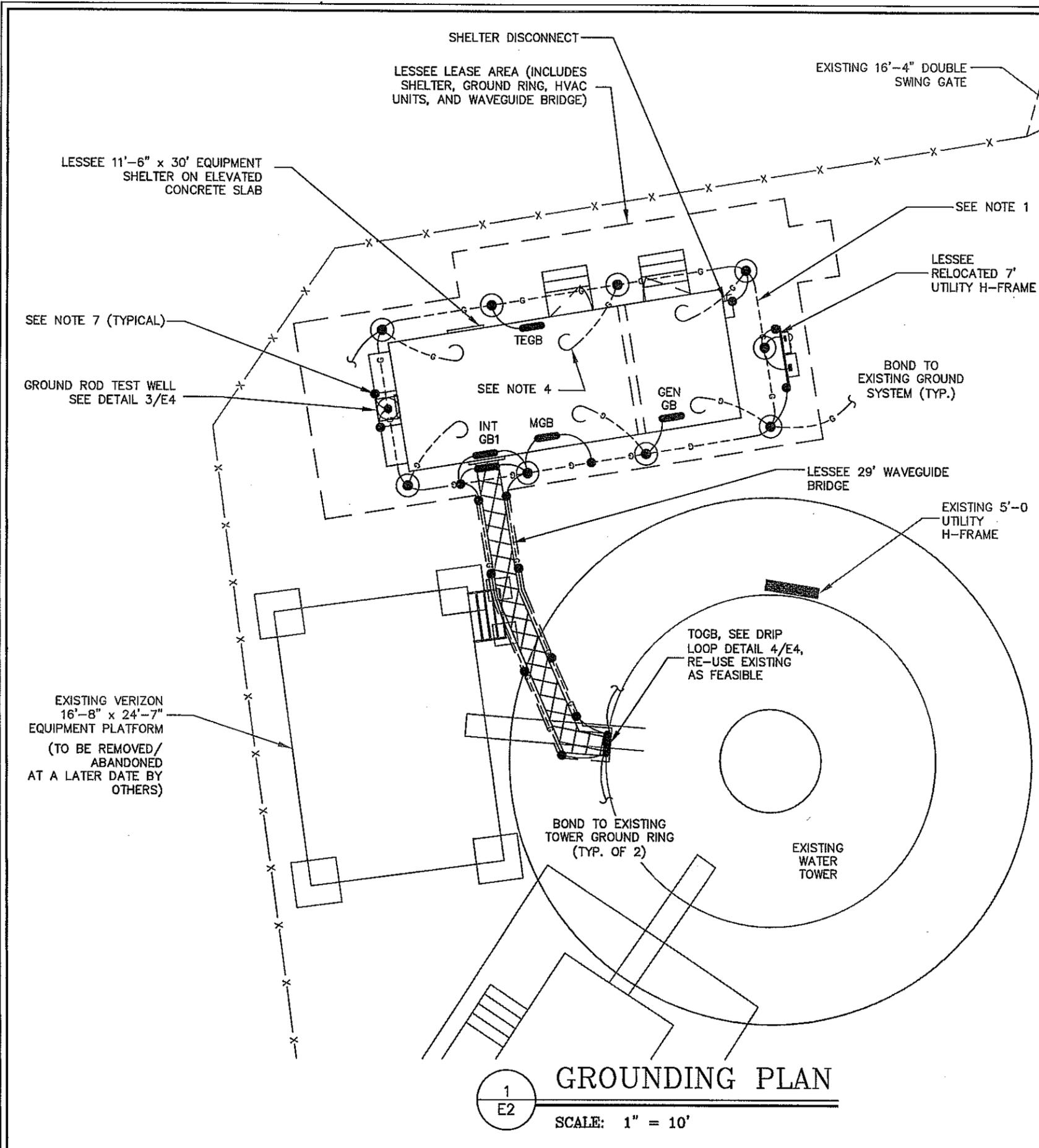
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SHEET TITLE:
BASIC SERVICE ROUTING PLAN

SHEET NUMBER: **E1** REVISION: **0**

019472226



NOTES AND SPECIFICATIONS:

1. THE GROUND RING SHALL CONSIST OF 2 AWG TINNED SOLID BARE COPPER CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROSTLINE). ALL CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2. GROUND CONDUCTOR BEND RADIUS SHALL NOT BE LESS THAN 8".
3. MINIMUM SPACING BETWEEN GROUND RODS SHALL NOT BE LESS THAN 10', UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL PROVIDE A 60", 2 AWG TINNED SOLID BARE COPPER CONDUCTOR PIGTAIL. BOND THE PIGTAIL TO THE SHELTER INTERIOR GROUND HALO PIGTAIL USING AN EXOTHERMIC WELD.
5. CONTRACTOR SHALL BOND THE TOWER GROUND BAR (TOGB) TO THE GROUND RING USING A 2 AWG TINNED SOLID BARE COPPER CONDUCTOR AND AN EXOTHERMIC WELD.
6. CONTRACTOR SHALL BOND THE MAIN GROUND BAR (MGB), THE INTERNAL & EXTERNAL GROUND BARS (GB1 & GB2), AND THE TELEPHONE GROUND BAR (TEGB) TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
7. CONTRACTOR SHALL BOND THE OUTSIDE A/C UNITS TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
8. ALL GROUNDING/BONDING CONDUCTORS LOCATED ABOVE FINISHED GRADE SHALL BE RUN IN 1" PVC CONDUIT.
9. CONTRACTOR SHALL NOTIFY THE OWNER/TENANT CONSTRUCTION MANAGER TO ALLOW THE OWNER/TENANT CONSTRUCTION MANAGER TO INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.
10. CONTRACTOR SHALL HIRE AN INDEPENDENT 3RD PARTY (OTHER THAN THE GROUND SYSTEM INSTALLER) TO PERFORM AN IEEE 81 "FALL OF POTENTIAL" METHOD GROUND TEST. A VERIZON REPRESENTATIVE WILL BE PRESENT DURING THE TEST. CONTRACTOR SHALL SUBMIT A GROUND TEST DURING THE WALKTHROUGH.

LEGEND:

- G — GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING (SEE DETAIL 2/E4)
- G — GROUND RING
- EXOTHERMIC WELD
- ⊙ GROUND ROD TEST WELL (SEE DETAIL 3/E4)

GROUNDING PLAN
 1
 E2
 SCALE: 1" = 10'



PROJECT INFORMATION:
 VERIZON NAME: SHELL POINT
 VERIZON No.: COL 110
 105 WILD HORSE ROAD
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
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CONSULTANT:

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CONSULTANT:

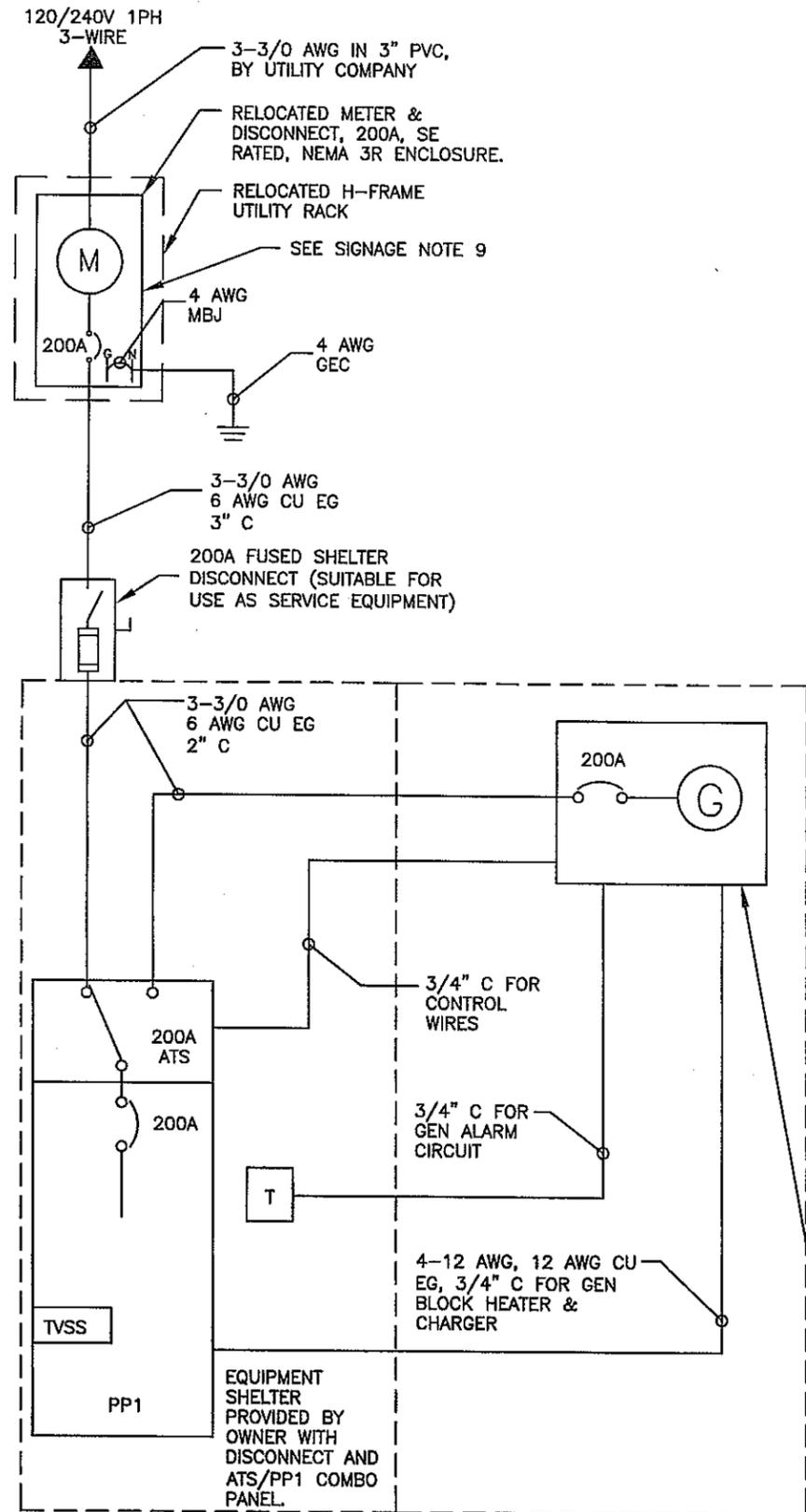
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 (919) 858-7420 Fax (919) 858-7423
 ACG PROJECT NO.: 2011 089

DRAWN BY: OCB CHK.: JDC APV.: JDC



SHEET TITLE:
GROUNDING PLAN

SHEET NUMBER: **E2** REVISION: **0**
 019472226



SINGLE-LINE DIAGRAM

1
E3

SCALE: NOT TO SCALE

NOTES AND SPECIFICATIONS:

- ELECTRIC UTILITY WILL PROVIDE METER AND INCOMING SERVICE LATERAL CONDUCTORS.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
- CONTRACTOR SHALL OBTAIN OWNER/TENANT EQUIPMENT SHELTER DRAWINGS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS THAT MAY BE ADDRESSED IN THE EQUIPMENT SHELTER DRAWINGS.
- PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
- THE GROUNDED SERVICE CONDUCTOR (NEUTRAL CONDUCTOR) SHALL BE GROUNDED AT THE SERVICE DISCONNECT ONLY.
- ALL POWER CIRCUITS SHALL USE COPPER CONDUCTORS WITH THHN/THWN INSULATION. ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES C.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE RECEPTACLES FOR ALL UTILITY RECEPTACLES.
- CONTRACTOR SHALL ENSURE ALL NEUTRAL CONDUCTORS HAVE WHITE INSULATION AND EQUIPMENT GROUND CONDUCTORS HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT ALLOWED.
- PER NEC 701.9/702.8 PROVIDE SIGNAGE AS FOLLOWS:
 - AT SHELTER PANEL PP1: "EMERGENCY POWER IS SUPPLIED BY STAND-BY GENERATOR LOCATED IN ADJACENT ROOM."
 - AT METER CENTER: "GROUNDING LOCATION FOR NORMAL SERVICE AND STAND-BY GENERATOR."

LOAD IN KVA		DESCRIPTION	TRIP	CKT	CKT	TRIP	DESCRIPTION	LOAD IN KVA		
A	B							A	B	
0.70	---	RECTIFIER NO. 1	2P-40	1	2	2P-60	HVAC 1	4.10	---	
---	0.70	RECTIFIER NO. 1	2P-40	3	4	2P-60	HVAC 1	---	4.10	
0.70	---	RECTIFIER NO. 2	2P-40	5	6	2P-60	HVAC 2	4.10	---	
---	0.70	RECTIFIER NO. 2	2P-40	7	8	2P-60	HVAC 2	---	4.10	
0.70	---	RECTIFIER NO. 3	2P-40	9	10	1P-20	LIGHTING	0.68	---	
---	0.70	RECTIFIER NO. 3	2P-40	11	12	1P-20	LIGHTING	---	0.13	
0.70	---	RECTIFIER NO. 4	2P-40	13	14	1P-20	DUPLEX RECEPTACLES	0.54	---	
---	0.70	RECTIFIER NO. 4	2P-40	15	16	1P-20	DUPLEX RECEPTACLES	---	0.72	
0.70	---	RECTIFIER NO. 5	2P-40	17	18	1P-20	GFCI RECEPTACLES	0.18	---	
---	0.70	RECTIFIER NO. 5	2P-40	19	20	1P-15	SMOKE DETECTOR	---	0.10	
0.70	---	RECTIFIER NO. 6	2P-40	21	22	1P-15	TIMER/BLOWER	0.10	---	
---	0.70	RECTIFIER NO. 6	2P-40	23	24	2P-15	WALL HEATER	---	1.00	
0.70	---	RECTIFIER NO. 7	2P-40	25	26	2P-15	WALL HEATER	1.00	---	
---	0.70	RECTIFIER NO. 7	2P-40	27	28	1P-15	GENERATOR ROOM HEAT DETECTOR	---	0.10	
0.70	---	RECTIFIER NO. 8	2P-40	29	30	---	SPACE	0.00	---	
---	0.70	RECTIFIER NO. 8	2P-40	31	32	---	SPACE	---	0.00	
0.70	---	RECTIFIER NO. 9	2P-40	33	34	---	SPACE	0.00	---	
---	0.70	RECTIFIER NO. 9	2P-40	35	36	---	SPACE	---	0.00	
0.00	---	SPACE	---	37	38	---	SPACE	0.00	---	
---	0.00	SPACE	---	39	40	---	SPACE	---	0.00	
0.00	---	SPACE	---	41	42	---	SPACE	0.00	---	
TOTAL CONNECTED KVA								16.90	16.55	
DEMAND CALCULATIONS								CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)
LIGHTING								0.81	1.25	1.01
RECEPTACLES								1.44	1.00	1.44
LARGEST MOTOR								8.20	1.25	10.25
ALL OTHERS								8.30	1.00	8.30
RECTIFIERS								12.60	1.25	15.75
MISCELLANEOUS								2.20	1.25	2.75
TOTAL DEMAND KVA								39.50		
TOTAL DEMAND AMPS								165 A		

60 KW GENERATOR WITH 200A MAIN BREAKER. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT FOR GENERATOR CONFIGURATIONS AND OPTIONS. COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR EXACT WIRING REQUIREMENTS. GENERATOR PROVIDED BY AND INSTALLED BY BUILDING MANUFACTURER.

NOTE: THE GENERATOR USED IN CONJUNCTION WITH A 2-POLE AUTOMATIC TRANSFER SWITCH WITH A SOLID NEUTRAL IS NOT A SEPARATELY DERIVED SYSTEM. AS SUCH, DO NOT BOND THE NEUTRAL TO GROUND AT THE GENERATOR.



PROJECT INFORMATION:
 VERIZON NAME: SHELL POINT
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 CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

0	04/7/11	PERMIT/CONSTR.	JDC

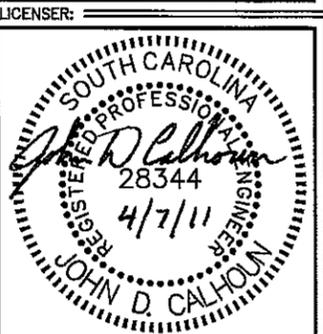
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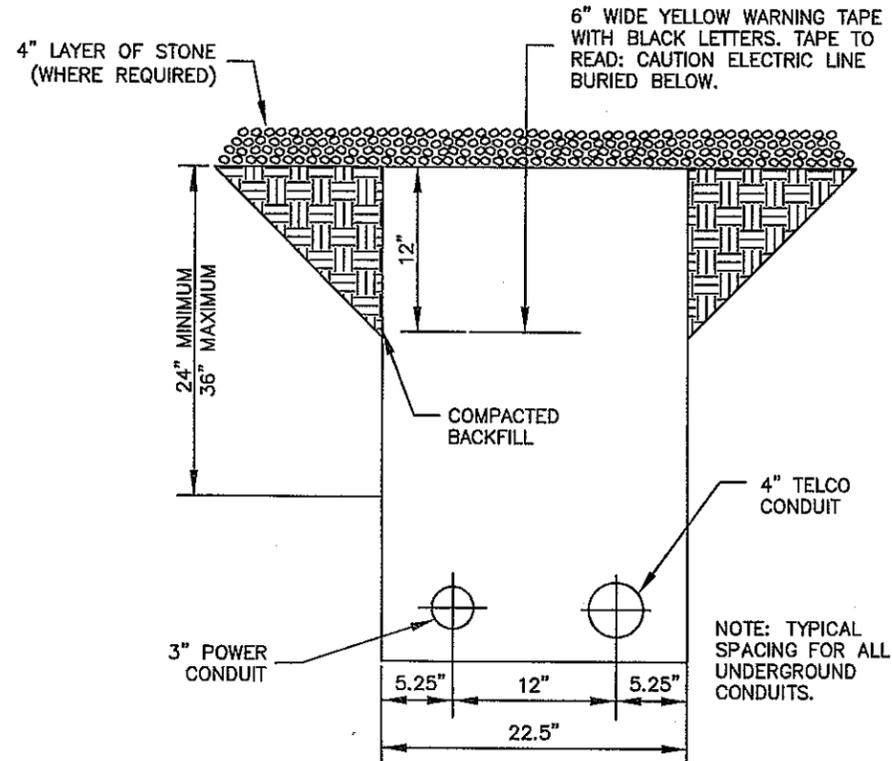
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 OCB JDC JDC



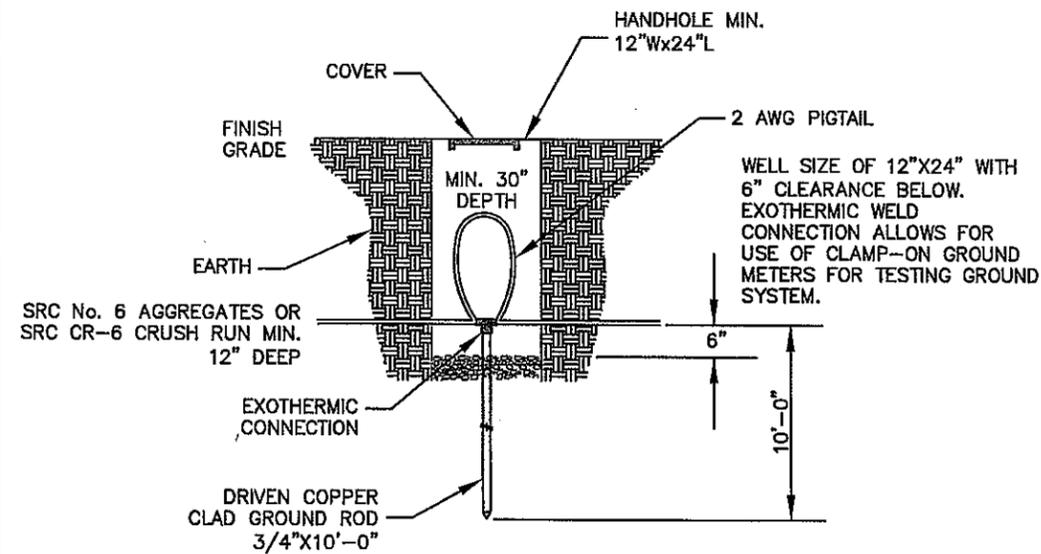
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 SINGLE-LINE DIAGRAM

SHEET NUMBER: REVISION:

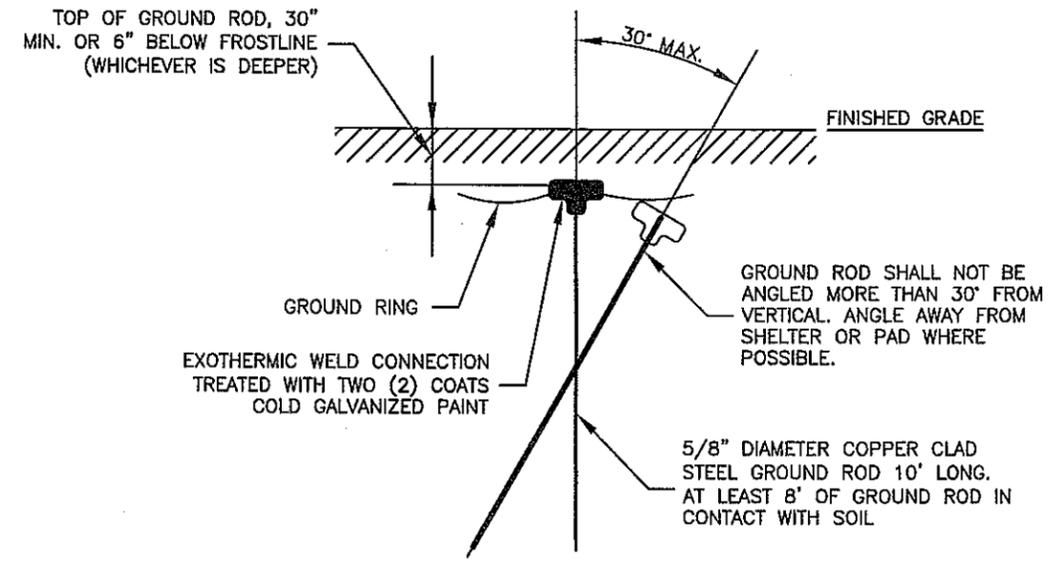
E3 0
 019472226



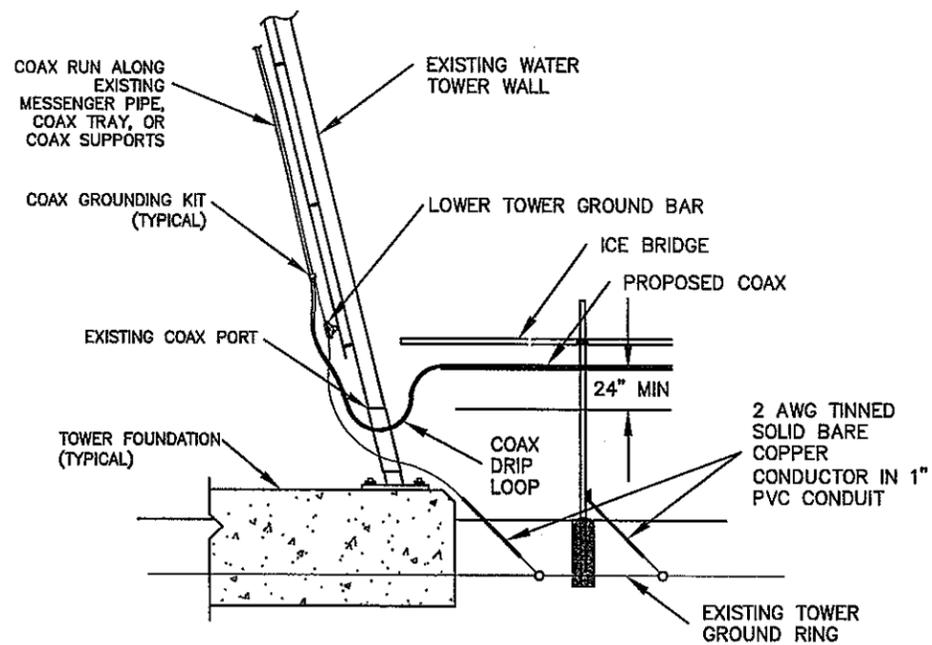
1
E4
UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE



3
E4
GROUND ROD TEST WELL
SCALE: NOT TO SCALE



2
E4
GROUND ROD DETAIL
SCALE: NOT TO SCALE



4
E4
DRIP LOOP DETAIL
SCALE: NOT TO SCALE



PROJECT INFORMATION:
 VERIZON NAME: SHELL POINT
 VERIZON No.: COL 110
 105 WILD HORSE ROAD
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
 04/7/11

ISSUED FOR:
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	04/7/11	PERMIT/CONSTR.	JDC

CONSULTANT:

 Kimley-Horn
 and Associates, Inc.
 Post Office Box 33068
 Raleigh, North Carolina 27636

CONSULTANT:

 APOGEE
 Consulting Group, PA
 7330 Chapel Hill Road
 Suite 202
 Raleigh, N.C. 27607
 (919) 858-7420 Fax (919) 858-7423
 ACG PROJECT NO.: 2011 089

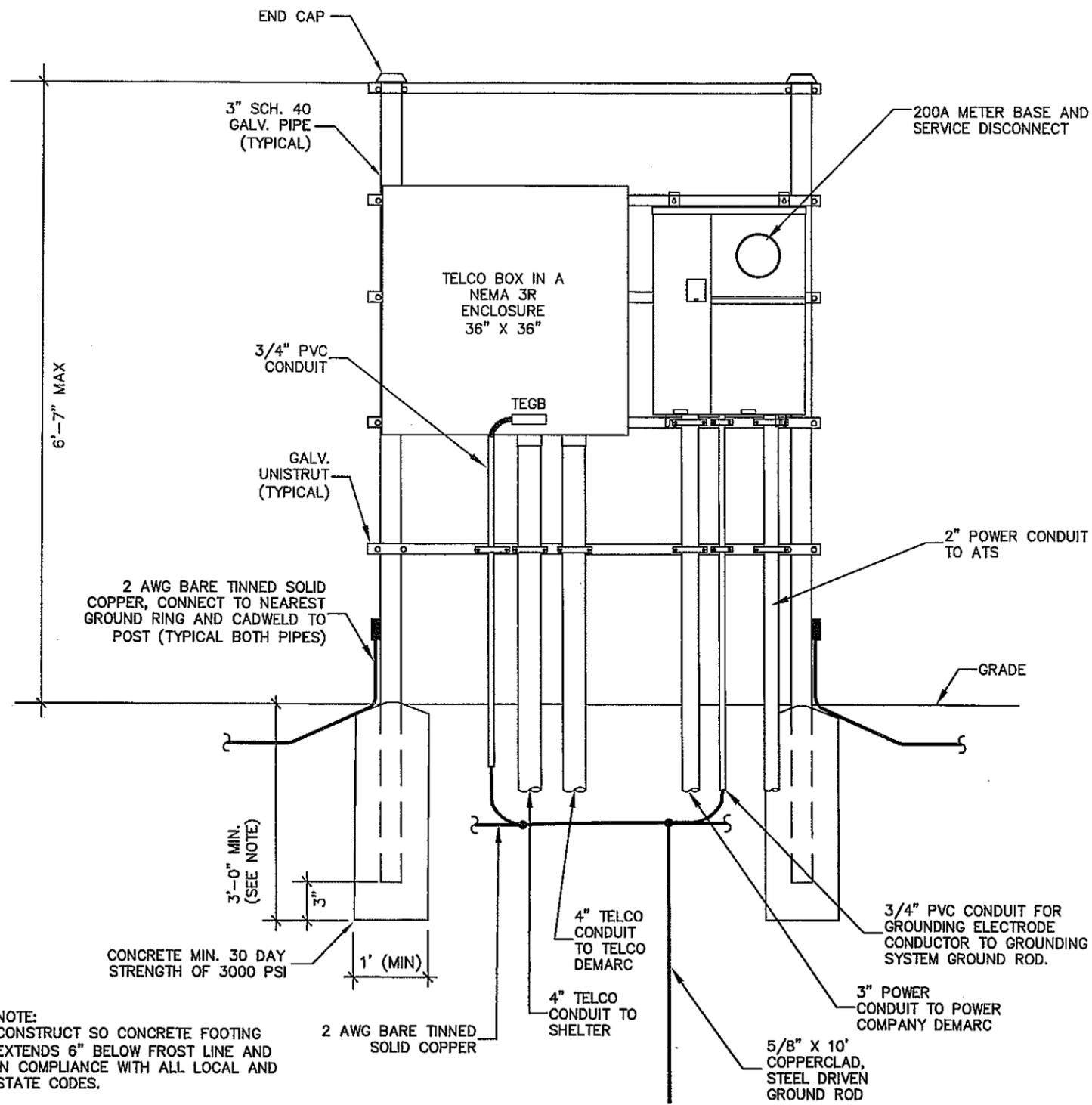
DRAWN BY: OCB
 CHK: JDC
 APV: JDC



SHEET TITLE:
 ELECTRICAL
 DETAILS

SHEET NUMBER:
 E4

REVISION:
 0
 019472226



NOTE:
CONSTRUCT SO CONCRETE FOOTING
EXTENDS 6" BELOW FROST LINE AND
IN COMPLIANCE WITH ALL LOCAL AND
STATE CODES.

GENERAL NOTES:

- 1-ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
- 2-REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF H-FRAME.
- 3-CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- 4-CONTRACTOR TO PROVIDE AND INSTALL METER SOCKET.
- 5-CONTRACTOR TO LOCATE METER RACK TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BOTH ON THE FRONT SIDE AND THE BACK SIDE OF THE H-FRAME.
- 6-SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
- 7-COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
- 8-CONTRACTOR SHALL COORDINATE EFFORTS WITH (LOCAL, ELECTRICAL) AUTHORITY HAVING JURISDICTION (AHJ) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPE(S) OF RACEWAYS REQUIRED FOR INSTALLATION.
- 9-BOND ALL ELECTRICAL EQUIPMENT TO RACK.
- 10-DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.
- 11-FOR ANY METAL CONDUIT ENTERING AN ENCLOSURE WHERE A PRE-PUNCHED CONCENTRIC OR ECCENTRIC KNOCKOUT IS USED, THE CONTRACTOR SHALL ENSURE ADEQUATE BONDING BETWEEN THE METAL CONDUIT AND ENCLOSURE BY INSTALLING A BONDING JUMPER AROUND THE CONCENTRIC OR ECCENTRIC KNOCKOUT.



PROJECT INFORMATION:
 VERIZON NAME: SHELL POINT
 VERIZON No.: COL 110
 105 WILD HORSE ROAD
 HILTON HEAD ISLAND, SC 29926

CURRENT ISSUE DATE:
 04/7/11

ISSUED FOR:
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	04/7/11	PERMIT/CONSTR.	JDC

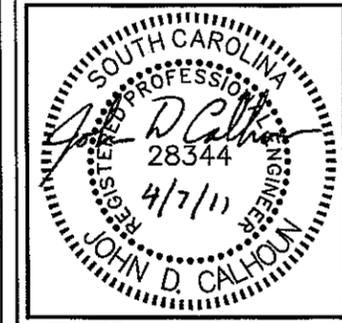
CONSULTANT:

 Kimley-Horn
 and Associates, Inc.
 Post Office Box 33068
 Raleigh, North Carolina 27636

CONSULTANT:

 APOGEE
 Consulting Group, PA
 7330 Chapel Hill Road
 Suite 202
 Raleigh, N.C. 27607
 (919) 858-7420 Fax (919) 858-7423
 ACG PROJECT NO.: 2011 089

DRAWN BY: OCB CHK.: JDC APV.: JDC



SHEET TITLE:
**ELECTRICAL
 DETAILS**

SHEET NUMBER: **E5** REVISION: **0**
 019472226

H-FRAME DETAIL
 SCALE: NOT TO SCALE



DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT Wild Horse Road Cell Cabinet DRB# DR110021

DATE 5/10/2011 RECOMMEND X RECOMMEND RECOMMEND

APPROVE APPROVE W/COND. DENY

ARCHITECTURAL DESIGN		
Replacing an existing equipment cabinet in an existing fenced yard		
DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		
Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		

Accessory elements are design to coordinate with the primary structure		
DESIGN GUIDE/LMO CRITERIA		
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site's structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are utilized		
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		

Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants		
Supplemental and replacement trees meet LMO requirements for size, species and number		
Wetlands if present are avoided and the required buffers are maintained		
Sand dunes if present are not disturbed		

MISCELLANEOUS COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Jay Sandees Company: American Tower Corporation
 Mailing Address: 900 Circle 75 Pkwy City: Atlanta State: GA Zip: 30339
 Telephone: (404) 934-5465 Fax: (888) 736-3961 E-mail: Jay@telecom-development.com
 Project Name: HHI-16 Project Address: 1001 Marshland Rd
 Parcel Number [PIN]: R510 011 000 0276 0000
 Zoning District: PD-1 Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

4-28-11

DATE



April 26, 2011

Town of Hilton Head
Community Development Department
One Town Center Court
Hilton Head Island, South Carolina 29928

RE: Written narrative describing the scope of the project.

To Whom This May Concern:

The proposed telecommunication tower will be located at 1003 Marshland Road on the 3.5 acre tract owned by the Town of Hilton Head Island. The proposed 140 ft. telecommunication tower will be built for AT&T Mobility. American Tower is proposing a lease area of 2,403 square feet (0.0552 acres). American Tower's lease area will be enclosed by a six foot wooden fence, and landscaping will be installed on the South and East sides of the fence to add additional screening.

This site is needed as part of the Hilton Head Premier Market Design to provide residential coverage to Spanish Wells and portions of Indigo Run development off of Hilton Head Cross Island Parkway.

Town of Hilton Head Island Fire and Rescue have also requested space on the tower for their communication equipment. The Fire Department will be able to increase communication coverage in this area.

If there is any additional question about the intended use of the tower, please do not hesitate to contact me.

Sincerely,

Jay Sanders
Agent for American Tower
404-934-5468

APPROVALS	at&t
	SIGNATURE _____ DATE _____
AMERICAN TOWER	
	SIGNATURE _____ DATE _____

PROJECT NAME:

HHI 16

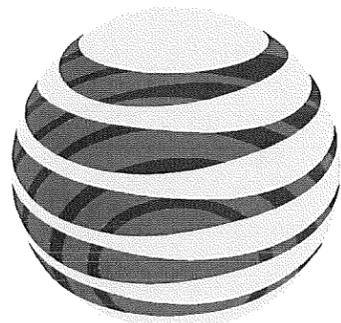
PROPOSED 140 FT. MONOPOLE TOWER AMERICAN TOWER SITE

PREPARED FOR:

AMERICAN TOWER CORPORATION

900 CIRCLE 75 PARKWAY
SUITE 300
ATLANTA, GA 30339

CARRIER:



at&t

SITE #: 410-415

PREPARED BY:



30 MANSELL CT
SUITE 103
ROSWELL, GA 30076
678-280-2325

PROJECT INFORMATION

SITE ADDRESS: 1003 MARSHLAND ROAD
HILTON HEAD ISLAND, SC 29926

PARCEL ID: R-510-011-000-0276-0000

LAND OWNER: TOWN OF HILTON HEAD, SC
ONE TOWN CENTER COURT
HILTON HEAD ISLAND, SC 29928

DEVELOPER: AMERICAN TOWER
900 CIRCLE 75 PKWY, SUITE 300
ATLANTA, GA 30339
ANDRELLA SLAUGHTER, 678-265-6168

APPLICANT: TELECOM DEVELOPMENT SERVICES
304 E. PACES FERRY ROAD, NE
SUITE 517
ATLANTA, GA 30305
JAY SANDERS, 404-434-5468

ENGINEER: P MARSHALL & ASSOCIATES
30 MANSELL CT, SUITE 103
ROSWELL, GA 30076
PATRICK MARSHALL, P.E.
678-280-2325

LATITUDE: 32° 11' 28.0" (NAD 83)
LONGITUDE: 80° 45' 48.2" (NAD 83)

ELEVATION: 16' AMSL (NAVD 88)

ZONING CLASSIFICATION: PD-1
PERMIT JURISDICTION: TOWN OF HILTON HEAD

POWER COMPANY: PALMETTO ELECTRIC COOPERATIVE
843-681-5551

TELEPHONE COMPANY: AT&T



30 MANSELL CT
SUITE 103
ROSWELL, GA 30076
678-280-2325

AMERICAN TOWER CORPORATION
900 CIRCLE 75 PARKWAY
SUITE 300
ATLANTA, GA 30339

DRAWING INDEX

NUM	DATE	DESCRIPTION
T-1		TITLE SHEET & PROJECT INFORMATION
-		SURVEY
C-1		GENERAL NOTES
C-2		OVERALL SITE PLAN
C-3		DETAILED SITE PLAN
C-4		TOWER ELEVATION & DETAILS
C-5		GRADING & EROSION CONTROL PLAN
C-6		GRADING & EROSION CONTROL DETAILS
C-7		GRADING & EROSION CONTROL SPECIFICATIONS
C-8		EQUIPMENT FOUNDATION DETAILS & NOTES
C-9		EQUIPMENT LAYOUT
C-10		ICE BRIDGE DETAILS
C-11		SITE SIGNAGE
C-12		FENCE DETAILS
L-1		LANDSCAPE PLAN
E-1		ELECTRICAL SPECS & ONE-LINE DIAGRAM
E-2		ELECTRICAL SITE PLAN
E-3		GROUNDING SITE PLAN
E-4		GROUNDING DETAILS
E-5		UTILITY FRAME DETAILS
E-6		COLOR CODE TEMPLATE & RFDS

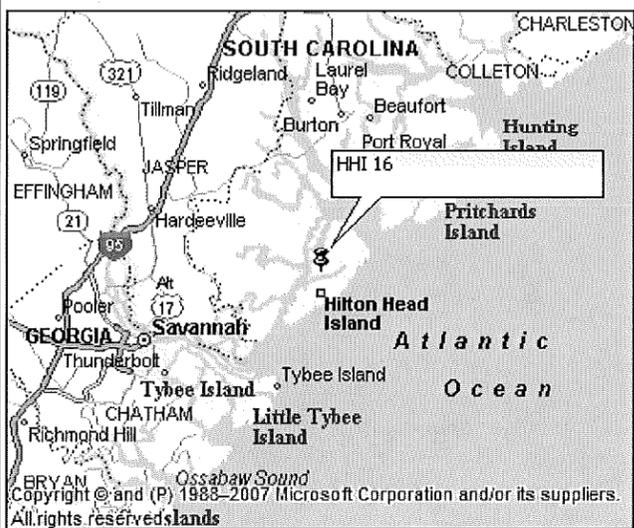
NUM	DATE	DESCRIPTION
A	10/26/10	ISSUED FOR REVIEW
O	11/2/10	ISSUED FOR CONSTRUCTION
1	04/14/11	ADDED LANDSCAPE PLAN
2	04/26/11	REVISED LANDSCAPE PLAN

HHI 16 TITLE SHEET & PROJECT INFORMATION

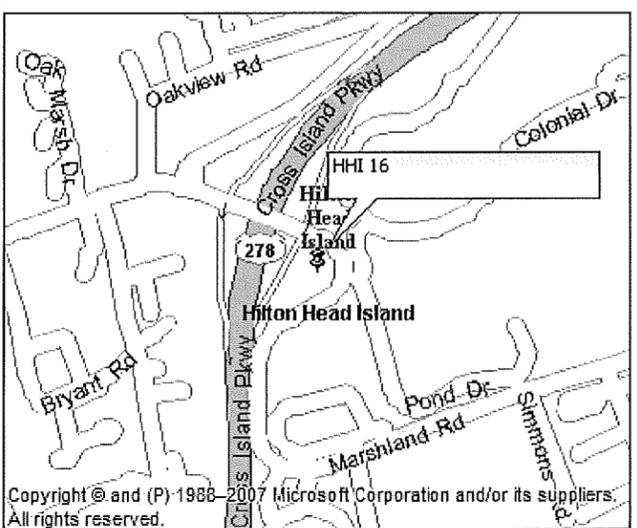
DESIGNED:	JTG
DRAWN:	JTG
CHECKED:	PWM
JOB #:	TC0125

T-1

LOCATION MAP



VICINITY MAP



DRIVE DIRECTIONS

FROM ALPHARETTA:
TAKE GA-400 SOUTH TO I-85 S. TAKE I-85 SOUTH AND CONTINUE ON TO I-75 S. TAKE I-75 S TO EXIT 165 FOR I-16 EAST. TAKE I-16 FOR 156.8 MILES TO EXIT 157B, TAKE EXIT AND TAKE RAMP RIGHT ONTO I-45. CONTINUE ON FOR 21.5 MILES TO EXIT 8, US-278. AT EXIT BEAR RIGHT ONTO US-278 AND CONTINUE ON AS ROAD BECOMES THE BROSS ISLAND PARKWAY. TAKE TO MARSHLAND ROAD AND TURN LEFT. SITE IS 0.3 MILES AHEAD ON THE RIGHT.

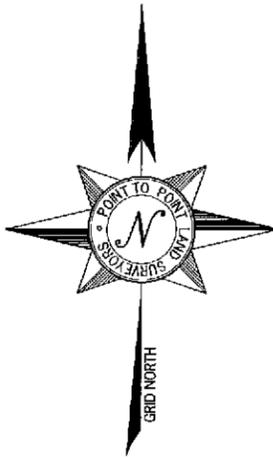


BRYAN
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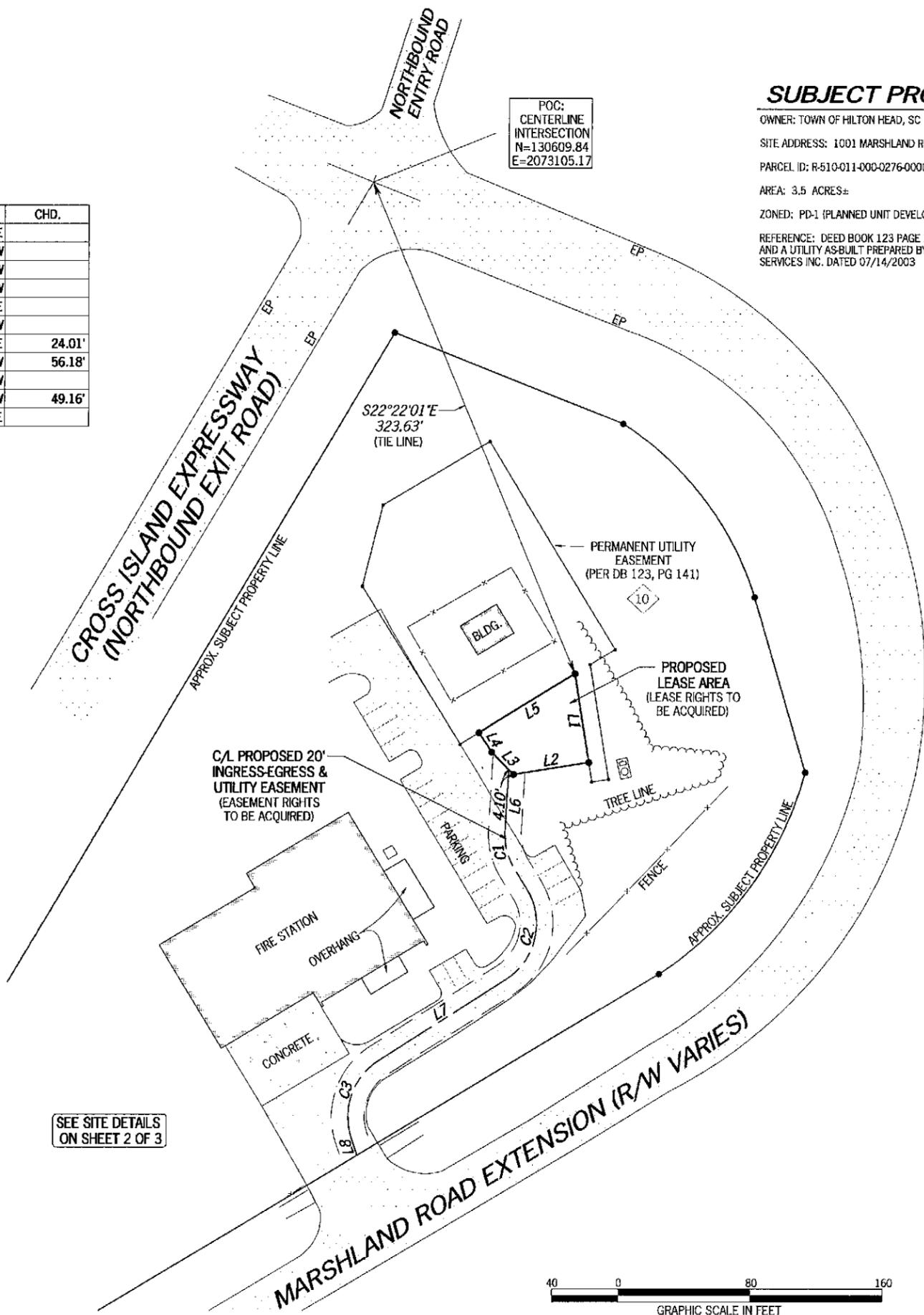
LINE/CURVE TABLE

LINE	ARC	RADIUS	CHD. BRG.	CHD.
L1	54.59'		S09°00'46"E	
L2	46.18'		S80°52'17"W	
L3	19.04'		N44°23'01"W	
L4	14.12'		N33°31'23"W	
L5	68.33'		N58°20'09"E	
L6	37.55'		S03°09'40"W	
C1	24.38'	40.00'	S14°18'10"E	24.01'
C2	62.29'	40.00'	S12°50'32"W	56.18'
L7	91.37'		S57°27'05"W	
C3	52.94'	40.00'	S19°32'10"W	49.16'
L8	11.41'		S18°22'45"E	



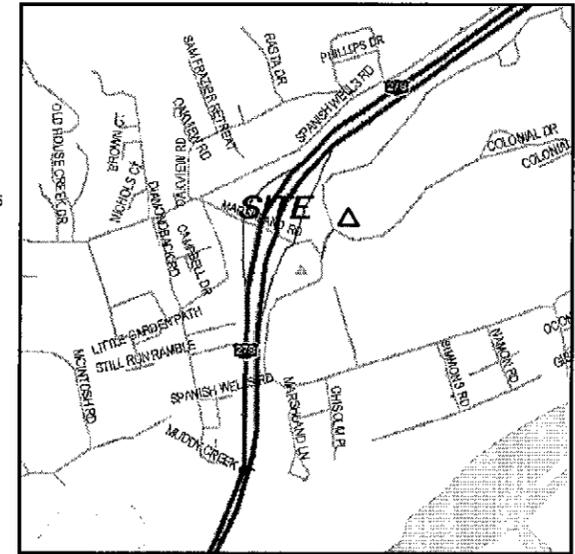
- LEGEND**
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IPS IRON PIN SET
 - IPF IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - WY WYERT
 - FH FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OJ OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMF CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JU JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CO SEWER CLEAN OUT
 - GV GAS VALVE
 - NW OR FORMERLY
 - W/B ICE BRIDGE
 - IBP ICE BRIDGE POLE

SEE SITE DETAILS ON SHEET 2 OF 3



POC:
CENTERLINE
INTERSECTION
N=130609.84
E=2073105.17

SUBJECT PROPERTY
 OWNER: TOWN OF HILTON HEAD, SC
 SITE ADDRESS: 1001 MARSHLAND ROAD, HILTON HEAD ISLAND, SC 29926
 PARCEL ID: R-510-011-000-0276-0000
 AREA: 3.5 ACRES±
 ZONED: PD-1 (PLANNED UNIT DEVELOPMENT)
 REFERENCE: DEED BOOK 123 PAGE 141
 AND A UTILITY AS-BUILT PREPARED BY SURVEYING SERVICES INC. DATED 07/14/2003



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORPORATION AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASEHOLD AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE SUBJECT PROPERTY NOR ANY PORTION OR PORTIONS THEREOF. NO BOUNDARY SURVEY WAS PERFORMED.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TORA 1103 ROBOTIC

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

THE PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 100,000+ FEET.

THE 2' CONTOURS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 88 DATUM AND HAVE A VERTICAL ACCURACY OF ± 1'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83).

THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA (FLOOD ZONE "A-7" - BASE FLOOD ELEVATION=14.0) AS PER F.I.R.M. COMMUNITY PANEL NO. 4502500007D DATED 09-29-1986.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



SURVEYOR CERTIFICATION

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY SPECIFIED THEREIN.

THIS SURVEY IS NOT FOR RECORDATION PURPOSES.



NO.	DATE	REVISION
1	04/06/2011	UPDATED TREES
2	04/13/2011	ADDED TITLE - CLC

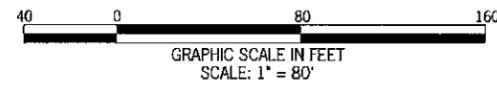
EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 810 Jackson Street
 Locust Grove, Georgia 30248
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointtopointsurvey.com

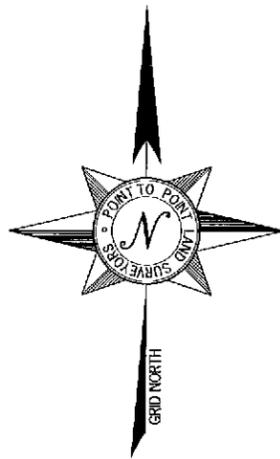


EASEMENT SURVEY PREPARED FOR:
AMERICAN TOWER CORPORATION
 "HHI 16"
 SITE NO. 410-415
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: NRW
 CHECKED BY: MW
 APPROVED: C. INER
 DATE: 5 OCTOBER, 2010
 P2P JOB #: 2010.380

SHEET:
1
 OF 3



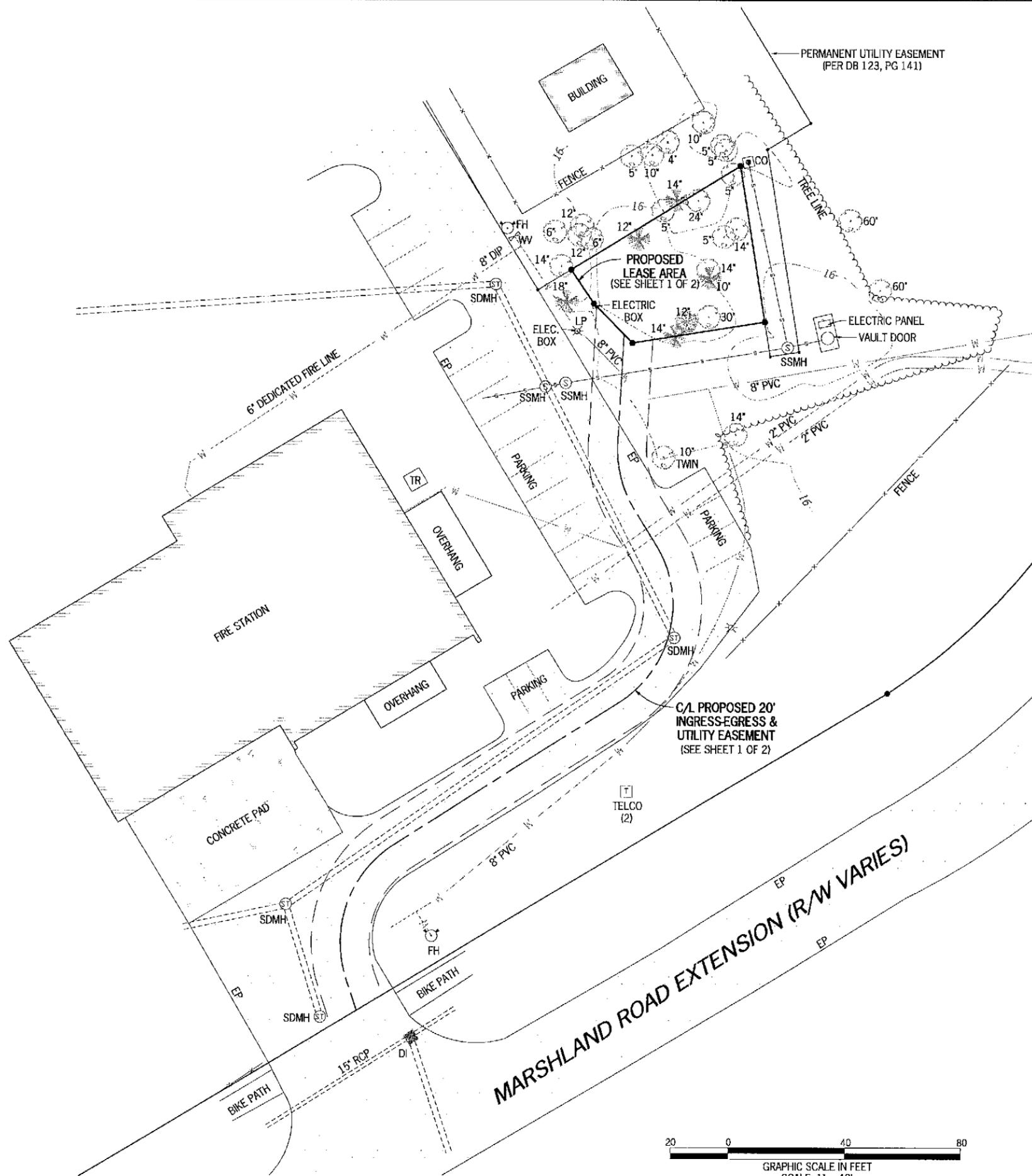


SITE INFORMATION

PROPOSED LEASE AREA = 2,403 SQUARE FEET (0.0552 ACRES)

LATITUDE = 32°11'28.0" (NAD 83)
 AT CENTER OF PROPOSED LEASE AREA
 LONGITUDE = 80°45'48.2" (NAD 83)

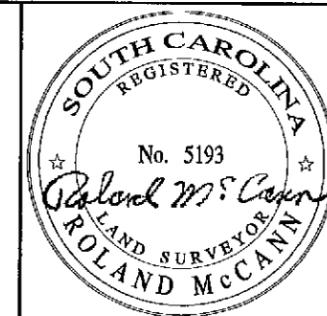
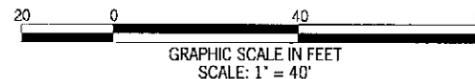
ELEVATION AT CENTER OF PROPOSED LEASE AREA = 16' A.M.S.L.



LEGEND

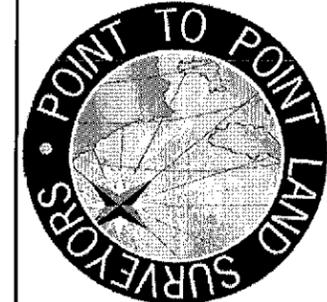
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
- UP UTILITY POLE
- LP LIGHT POLE
- FP FLAG POLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- INV INVERT
- FH FIRE HYDRANT
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- BC BACK OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- OU OVERHEAD UTILITY
- UE UNDERGROUND UTILITY
- CMF CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- GW GUY WIRE ANCHOR
- TR TRANSFORMER
- JB JUNCTION BOX
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CLF CHAIN LINK FENCE
- WV WATER VALVE
- WM WATER METER
- CO SEWER CLEAN-OUT
- GV GAS VALVE
- N/F NOW OR FORMERLY
- IB ICE BRIDGE
- IBP ICE BRIDGE POINT

- LAUREL OAK
- WATER OAK
- PINE



NO.	DATE	REVISION
1	04/06/2011	UPDATED TREES
2	04/13/2011	ADDED TITLE - CLC

EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 810 Jackson Street
 Locust Grove, Georgia 30248
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointpointsurvey.com



EASEMENT SURVEY PREPARED FOR:



"HHI 16"
 SITE NO. 410-415
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA



DRAWN BY: NRW SHEET: **2**
 CHECKED BY: MW
 APPROVED: C. INER
 DATE: 5 OCTOBER, 2010
 P2P JOB #: 2010.380 OF 3

LEGAL DESCRIPTION SHEET



NO.	DATE	REVISION
1	04/06/2011	UPDATED TREES
2	04/13/2011	ADDED TITLE - CLC

TITLE EXCEPTIONS

OLD REPUBLIC NATIONAL TITLE INSURANCE CO.
SCHEDULE B - SECTION 2
COMMITMENT NUMBER 01-11128602-017
EFFECTIVE DATE: MARCH 18, 2011

6. EASEMENT TO PALMETTO ELECTRIC COOPERATIVE, INC., RECORDED 3/28/1961 IN DEED BOOK 81, PAGE 175 TO BEAUFORT COUNTY RECORDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY, BUT ITS DESCRIPTION IS TOO VAGUE TO BE PLOTTED)

7. EASEMENT TO CENTRAL ELECTRIC POWER COOPERATIVE, INC., DATED 8/12/1971, RECORDED 9/8/1971 AS BOOK 189 PAGE 261 OF BEAUFORT COUNTY RECORDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY, BUT ITS DESCRIPTION IS TOO VAGUE TO BE PLOTTED)

8. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED 7/31/1985 AS BOOK 426 PAGE 488 OF BEAUFORT COUNTY RECORDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE DESCRIPTION) (ITEM REFERENCES 'EXHIBIT A' BUT DOCUMENT IS NOT ATTACHED.)

9. DEVELOPMENT AGREEMENT BY AND BETWEEN HILTON HEAD COMPANY, INC., AND THE HILTON HEAD ISLAND ASSOCIATION, A SOUTH CAROLINA NON PROFIT CORPORATION, RECORDED 1/23/1996 AS BOOK 439 PAGE 1881 OF BEAUFORT COUNTY RECORDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE DESCRIPTION)

10. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE SURVEY FOR PERMANENT UTILITY EASEMENT ON PROPERTY OF TOWN OF HILTON HEAD ISLAND, AS RECORDED IN BOOK 123, PAGE(S) 141 OF BEAUFORT COUNTY RECORDS, (THIS ITEM IS PLOTTED HEREON)

NOTE: FOR FURTHER CONDITIONS, SEE RECORD. WE HAVE MADE NO EXAMINATION UNDER THIS ITEM.

11. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE PLAT FOR CROSS ISLAND EXPRESSWAY, AS RECORDED IN PLAT BOOK 49, PAGE(S) 14 OF BEAUFORT COUNTY RECORDS. (DOCUMENT IS NOT LEGIBLE)

NOTE: FOR FURTHER CONDITIONS, SEE RECORD. WE HAVE MADE NO EXAMINATION UNDER THIS ITEM.

12. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE PLAT FOR CROSS ISLAND EXPRESSWAY, AS RECORDED IN PLAT BOOK 1257, PAGE(S) 419 OF BEAUFORT COUNTY RECORDS, (THIS ITEM AFFECTS THE SUBJECT PROPERTY)

NOTE: FOR FURTHER CONDITIONS, SEE RECORD. WE HAVE MADE EXAMINATION UNDER THIS ITEM.

13. RESERVATIONS AS CONTAINED IN DEED, RECORDED 2/3/2000 AS BOOK 1257 PAGE 415 AND RE-RECORDED 9/19/200 AS BOOK 1327 PAGE 1761 OF BEAUFORT COUNTY RECORDS. (THIS ITEM AFFECTS THE SUBJECT PROPERTY)

PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE CENTERLINE INTERSECTION OF THE CROSS ISLAND EXPRESSWAY NORTHBOUND EXIT ROAD AND MARSHLAND ROAD EXTENSION, SAID POINT HAVING A SOUTH CAROLINA STATE PLANES COORDINATE VALUE OF N=130609.84, E=2073105.17; THENCE LEAVING SAID INTERSECTION AND RUNNING ALONG A TIE LINE, SOUTH 22°22'01" EAST, 323.63 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 09°00'46" EAST, 54.59 FEET TO A POINT; THENCE, SOUTH 80°52'17" WEST, 46.18 FEET TO A POINT; THENCE, NORTH 44°23'01" WEST, 19.04 FEET TO A POINT; THENCE, NORTH 33°31'23" WEST, 14.12 FEET TO A POINT; THENCE, NORTH 58°20'09" EAST, 68.33 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.0552 ACRES (2,403 SQUARE FEET), MORE OR LESS.

PROPOSED 20' INGRESS-EGRESS & UTILITY EASEMENT

TOGETHER WITH A PROPOSED 20-FOOT WIDE INGRESS-EGRESS AND UTILITY EASEMENT LYING AND BEING IN THE HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, BEING DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE CENTERLINE INTERSECTION OF THE CROSS ISLAND EXPRESSWAY NORTHBOUND EXIT ROAD AND MARSHLAND ROAD EXTENSION, SAID POINT HAVING A SOUTH CAROLINA STATE PLANES COORDINATE VALUE OF N=130609.84, E=2073105.17; THENCE LEAVING SAID INTERSECTION AND RUNNING ALONG A TIE LINE, SOUTH 22°22'01" EAST, 323.63 FEET TO A POINT; THENCE, SOUTH 09°00'46" EAST, 54.59 FEET TO A POINT; THENCE, SOUTH 80°52'17" WEST, 46.18 FEET TO A POINT; THENCE, NORTH 44°23'01" WEST, 4.10 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 03°09'40" WEST, 37.55 FEET TO A POINT; THENCE, 24.38 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 14°18'10" EAST, 24.01 FEET TO A POINT; THENCE, SOUTH 31°46'00" EAST, 14.20 FEET TO A POINT; THENCE, 62.29 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 40.00 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 12°50'32" WEST, 56.18 FEET TO A POINT; THENCE, SOUTH 57°27'05" WEST, 91.37 FEET TO A POINT; THENCE, 52.94 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 19°32'10" WEST, 49.16 FEET TO A POINT; THENCE, SOUTH 18°22'45" EAST, 11.41 FEET TO THE ENDING AT A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF MARSHLAND ROAD EXTENSION.

EASEMENT SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS
810 Jackson Street
Locust Grove, Georgia 30248
(p) 678.565.4440 (f) 678.565.4497
(w) pointtopointsurvey.com



EASEMENT SURVEY PREPARED FOR:



AMERICAN TOWER CORPORATION

"HHI 16"

**SITE NO.
410-415**

HILTON HEAD ISLAND
BEAUFORT COUNTY
SOUTH CAROLINA



DRAWN BY: NRW	SHEET:
CHECKED BY: MW	3
APPROVED: C. INER	
DATE: 5 OCTOBER, 2010	
P2P JOB #: 2010.380	OF 3

10/20/10 09:58:02 010_380.dwg

GENERAL NOTES:

1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
17. FOR ITEMS THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, SEE "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWING PACKAGE.
18. PERMITS: OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
20. REFER TO SITE CIVIL SPECIFICATIONS SECTION 13000 - REFERENCE STANDARDS
21. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

EXCAVATION & GRADING NOTES:

1. ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DRAINAGE FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND, GRAVEL, OR SOFT SHALE;
 - FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS;
 - IN LAYERS AND COMPACTED.
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. FLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.

LEGEND

- X — FENCE
- 550 — CONTOUR LINE
- - - - - PROPERTY LINE / ROM
- - - - - LEASE AREA
- - - - - EASEMENT
- DISCONNECT SWITCH
- Ⓜ METER
- Ⓢ CIRCUIT BREAKER
- ⓧ CODED NOTE NUMBER
- Ⓡ CHEMICAL GROUND ROD
- ⓇⓈ GROUND ROD
- ⓇⓈⓈ GROUND ROD WITH INSPECTION SLEEVE
- GADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- G — GROUND WIRE



30 MANSSELL CT
SUITE 103
ROSWELL, GA 30076
678-280-2325

AMERICAN TOWER CORPORATION

900 CIRCLE 75 PARKWAY
SUITE 500
ATLANTA, GA 30384

NUM	DATE	DESCRIPTION:
A	10/26/10	ISSUED FOR REVIEW
O	11/2/10	ISSUED FOR CONSTRUCTION
1	04/14/11	ADDED LANDSCAPE PLAN
2	04/26/11	REVISED LANDSCAPE PLAN

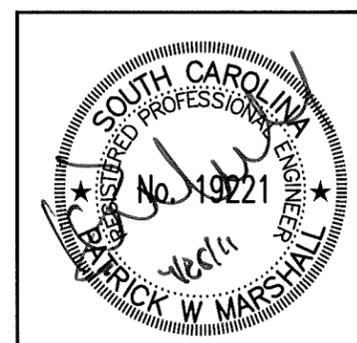
HHI 16

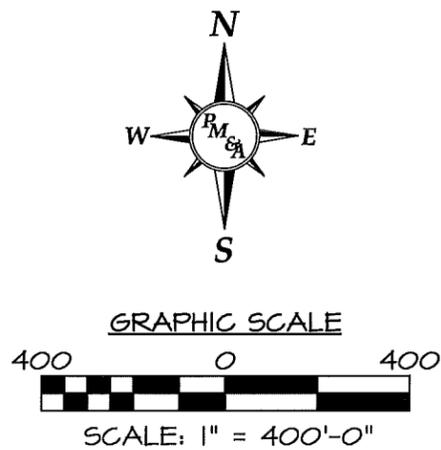
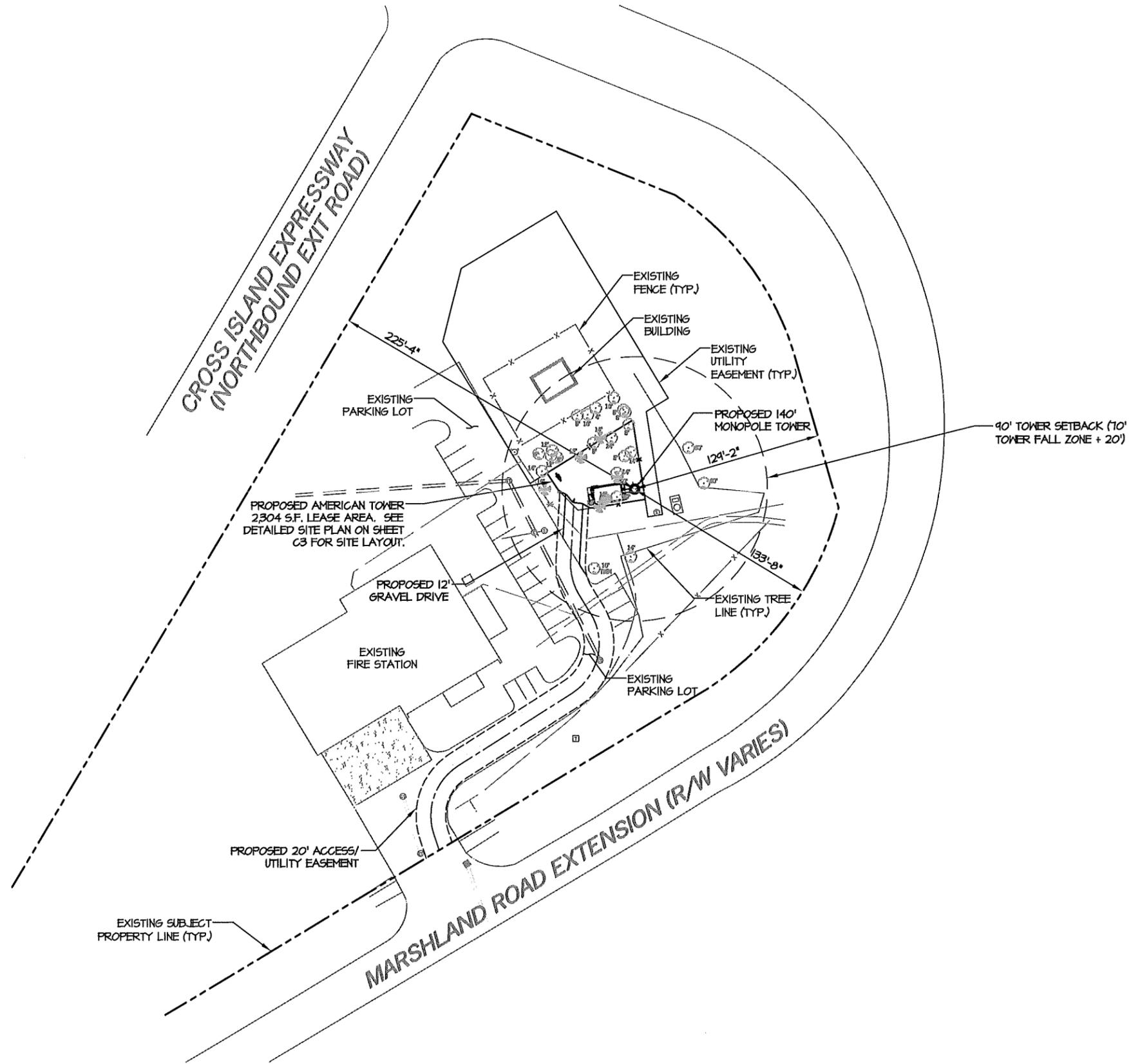
GENERAL NOTES

DESIGNED:	JTG
DRAWN:	JTG
CHECKED:	PWM

JOB #: TCD125

C-1





OVERALL SITE PLAN
 SCALE: 1" = 400'-0"

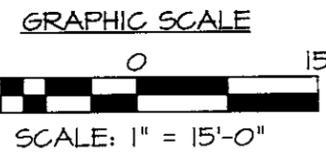
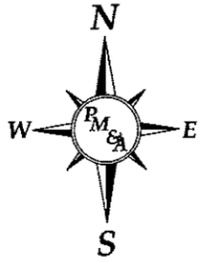
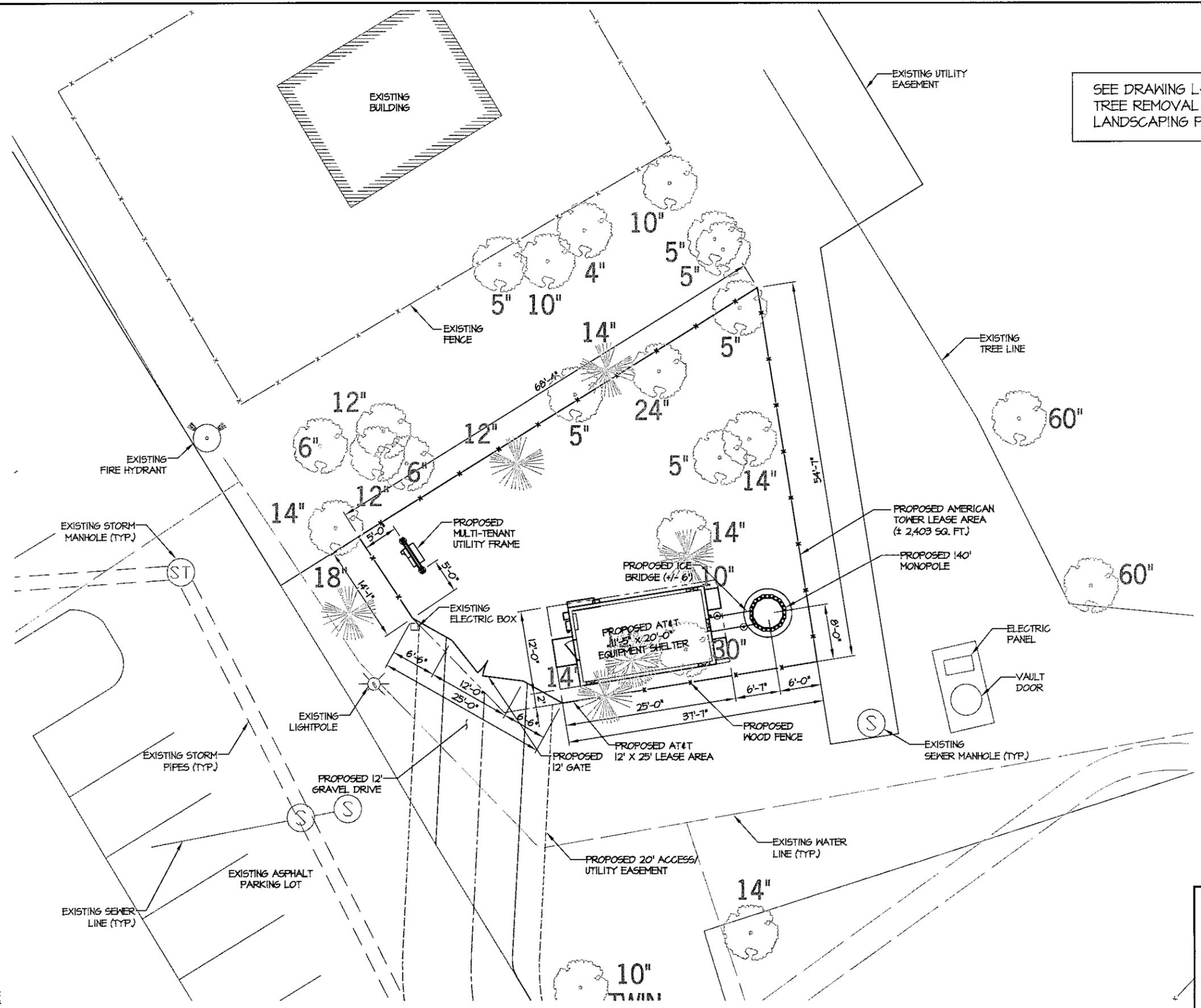
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OVERALL SITE PLAN

SITE NAME: HHI 16
 DESIGNED: JTG
 DRAWN: JTG
 CHECKED: PWM
 JOB #: TCD125



SEE DRAWING L-1 FOR
TREE REMOVAL AND
LANDSCAPING PLAN



DETAILED SITE PLAN
SCALE: 1" = 15'-0"



NUM	DATE	DESCRIPTION:
A	10/26/10	ISSUED FOR REVIEW
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HHI 16

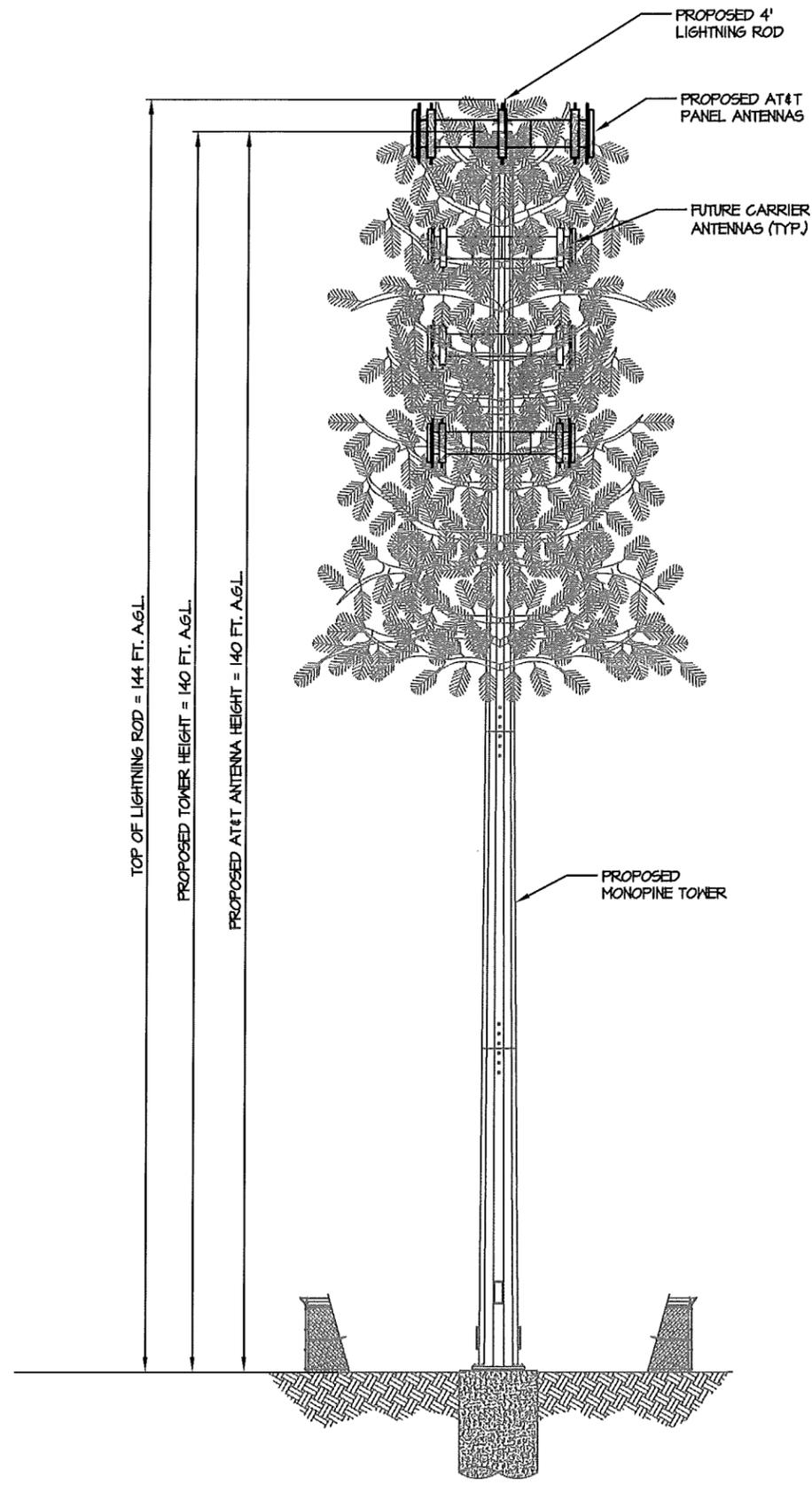
DETAILED SITE PLAN

SITE NAME: HHI 16

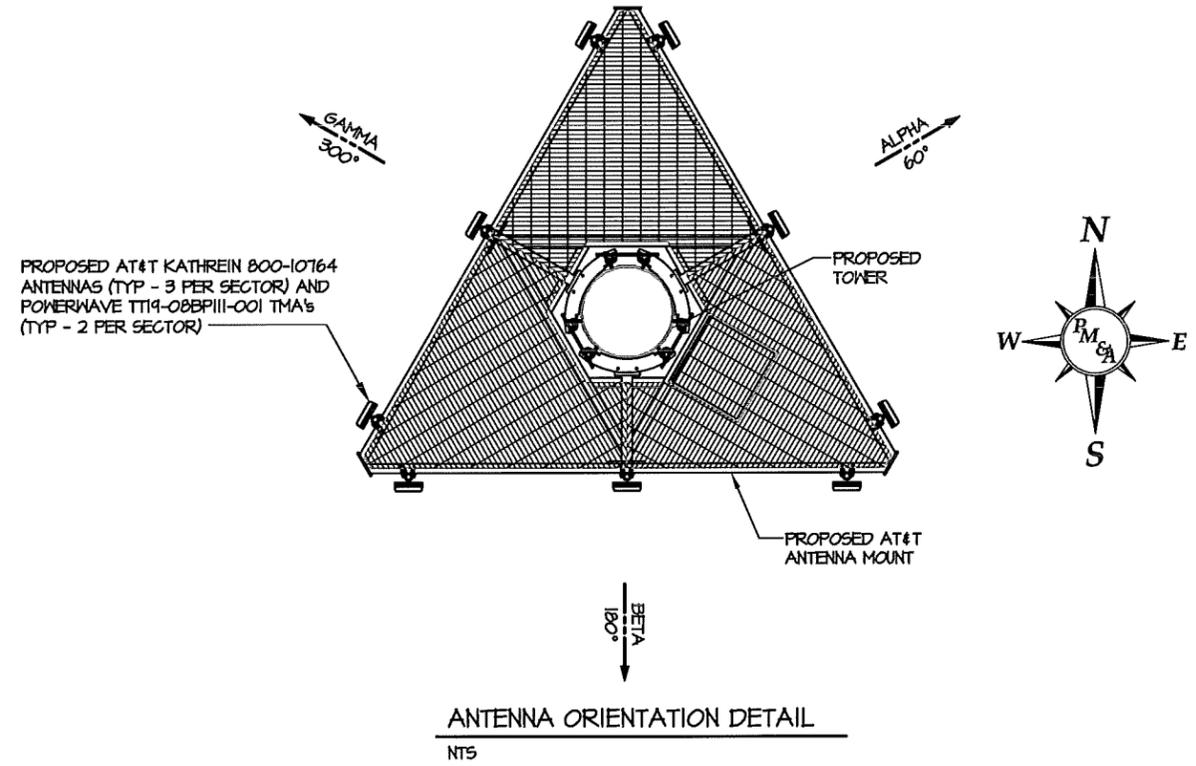
DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM

JOB #: TCD125

C-3



TOWER ELEVATION
NT5



ANTENNA ORIENTATION DETAIL
NT5



NUM	DATE	DESCRIPTION:
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TOWER ELEVATION AND DETAILS

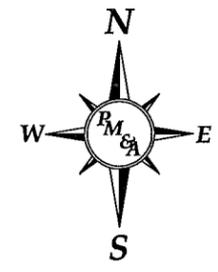
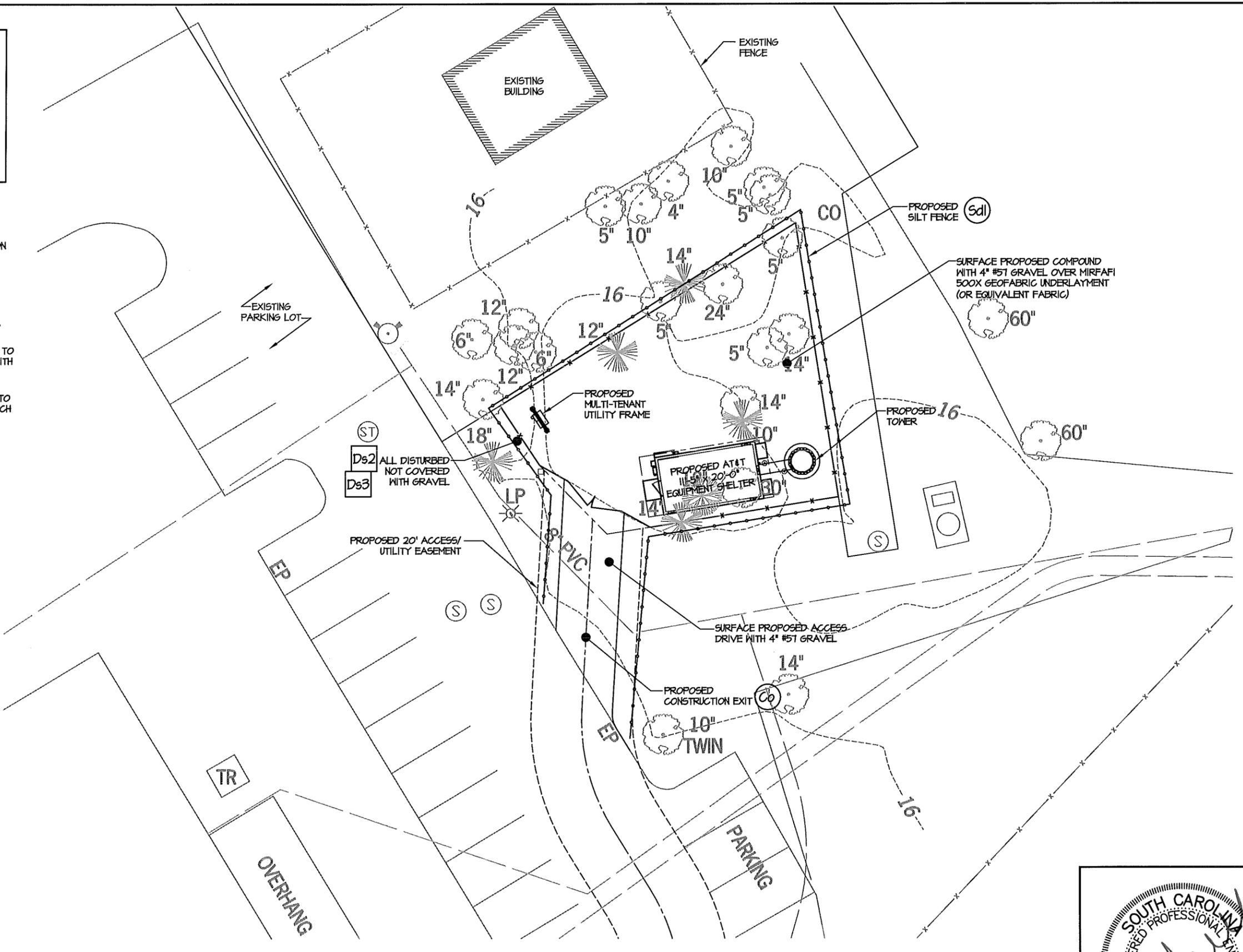
SITE NAME: HHI 16
DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM
JOB #: TCD125

DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED

MAINTENANCE STATEMENT
EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION

- Co** CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- Sd1** TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.
- Ds2** DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- Ds3** DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.
- Dv** DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.



GRAPHIC SCALE
20 0 20
SCALE: 1" = 20'-0"

GRADING & EROSION CONTROL PLAN
SCALE: 1" = 20'-0"

NUM	DATE	DESCRIPTION
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1	04/14/11	ADDED LANDSCAPE PLAN
2	04/26/11	REVISED LANDSCAPE PLAN

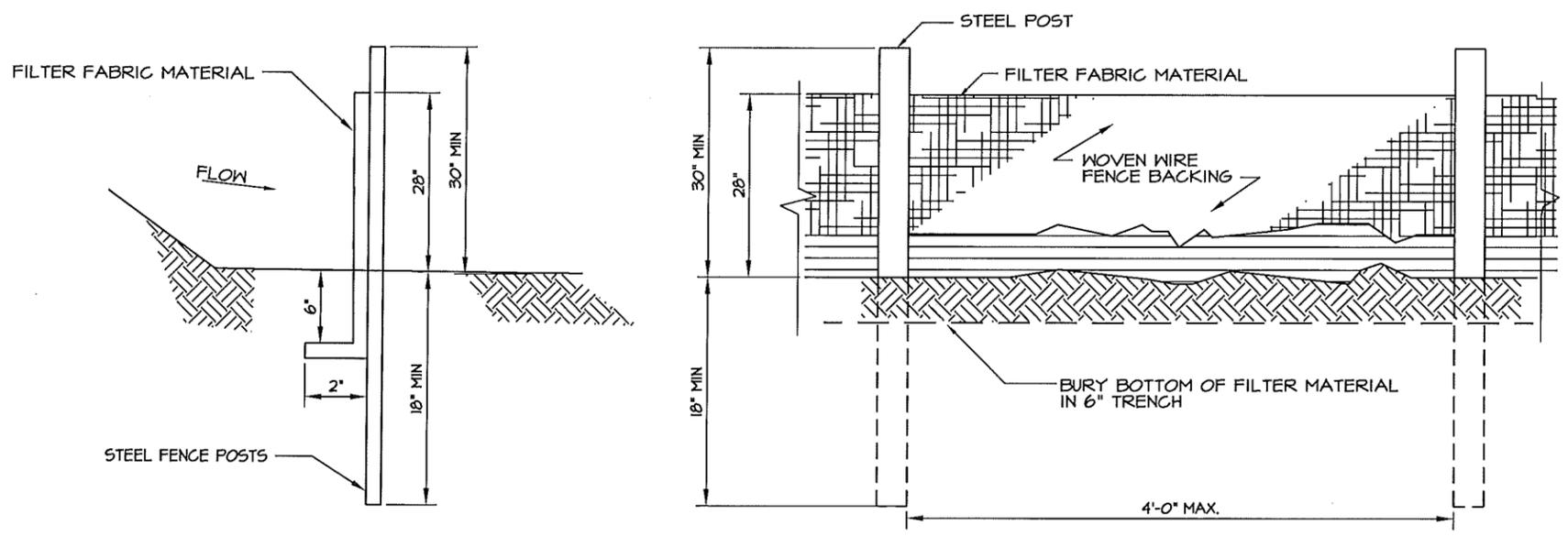
SITE NAME: HHI 16
GRADING, SEDIMENT & EROSION CONTROL PLAN

DESIGNED: JTG
DRAWN: JTG
CHECKED: PNM

JOB #: TCD125

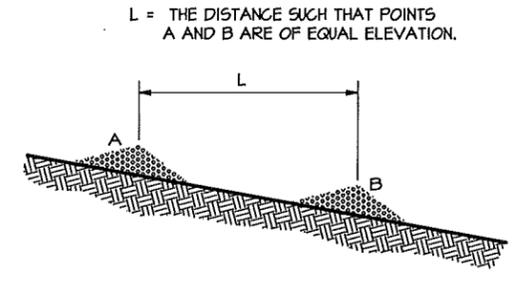
C-5





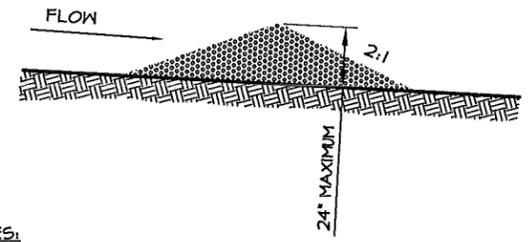
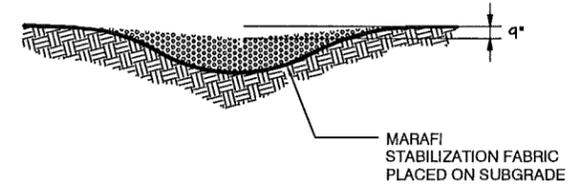
NOTE: USE 36" DOT APPROVED FABRIC
 USE STEEL POSTS

Sdl-C SILT FENCE, TYPE-C



SPACING BETWEEN CHECK DAMS

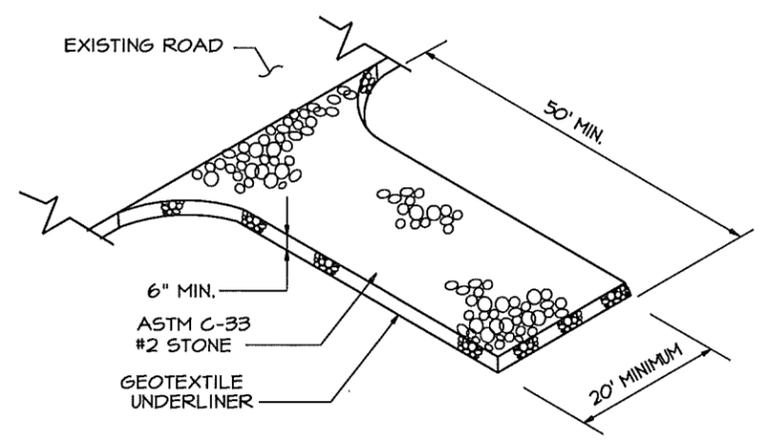
STONE CHECK DAM



NOTES:

- CHECK DAMS TO BE CONSTRUCTED OF GRADED SIZE 2 - 10 INCH STONE. MECHANICAL OR HAND PLACEMENT SHALL BE REQUIRED TO INSURE COMPLETE COVERAGE OF ENTIRE WIDTH OF DITCH OR SWALE AND THAT CENTER OF DAM IS LOWER THAN EDGES.
- SEDIMENT TO BE REMOVED WHEN A LEVEL OF 1/2 THE ORIGINAL DAM HEIGHT OR LESS IS REACHED. REMOVE CHECK DAMS AT COMPLETION OF PROJECT AND TREAT RESULTING DISTURBED AREAS AS REQUIRED.

Cd CHECK DAM
 NOT TO SCALE



Co CONSTRUCTION EXIT

NUM	DATE	DESCRIPTION:
A	10/26/10	ISSUED FOR REVIEW
O	11/2/10	ISSUED FOR CONSTRUCTION
1	04/14/11	ADDED LANDSCAPE PLAN
2	04/26/11	REVISED LANDSCAPE PLAN

HHI 16
GRADING, SEDIMENT & EROSION CONTROL DETAILS



DESIGNED: JTG
 DRAWN: JTG
 CHECKED: PWM

JOB #: TCD125

C-6

PIEDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RYE GRASS	40-50 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA ²	8-10 LB. 30-40 LB. ¹
2. FEBRUARY			UNHULLED BERMUDA SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZA WEEPING LOVE GRASS	2-3 BU. 20-25 LB. 4-6 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
4. APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN ANNUAL	2-3 BU. 30-40 LB. 20-25 LB. 35 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
5. MAY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.		
8. AUGUST	RYE GRASS WEEPING LOVE GRASS	40-50 LB. 4-6 LB.		
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
12. DECEMBER	RYE RYE GRASS WHEAT	2-3 BU. 40-50 LB. 2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.

¹ USE A MINIMUM OF 40 LBS. SCARIFIED SEED. THE REMAINDER MAY BE UNSCARIFIED, CLEAN HULLED SEED.

² USE EITHER COMMON SERALA OR INTERSTATE SERICEA LESPEDEZA.

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15	4000 LBS./ACRE
MULCH (STRAW OR HAY) OR WOOD CELLULOSE FIBER MULCH	1500 LBS./ACRE
	5000 LBS./ACRE
	1000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICEA LESPEDEZA, SCARIFIED WEEPING LOVE GRASS, OR COMMON BERMUDA, HULLED	60 LBS. 4 LBS. 6 LBS.	3/1 - 6/15
FESCUE SERICEA LESPEDEZA, UNSCARIFIED	40 LBS. 60 LBS.	9/1 - 10/31
FESCUE SERICEA LESPEDEZA, UNSCARIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%)	300 LBS./ACRE
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C. SECOND-YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT)	500 LBS./ACRE
------------------------------------	---------------

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT: GRADE, SHAPE, AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15	4000 LBS./ACRE
MULCH (STRAW OR HAY)	1500 LBS./ACRE
	5000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
HULLED COMMON BERMUDA GRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	9/1 - 10/31
FESCUE RYE GRASS	50 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%)	300 LBS./ACRE
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C. SECOND-YEAR TREATMENT:

FERTILIZER (5-10-15 OR EQUIVALENT)	800 LBS./ACRE
------------------------------------	---------------

NUM	DESCRIPTION:	DATE
A	ISSUED FOR REVIEW	10/26/10
O	ISSUED FOR CONSTRUCTION	11/2/10
1	ADDED LANDSCAPE PLAN	04/14/11
2	REVISED LANDSCAPE PLAN	04/26/11

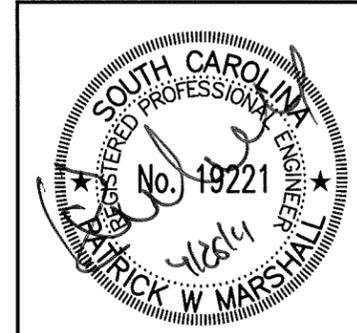
HHI 16

GRADING, SEDIMENT & EROSION CONTROL VEGETATION SPECS

DESIGNED:	JTG
DRAWN:	JTG
CHECKED:	PWM

JOB #: TCD125

C-7



DATE	ISSUED FOR REVIEW	ISSUED FOR CONSTRUCTION	ADDED LANDSCAPE PLAN	REVISED LANDSCAPE PLAN
10/26/10				
11/2/10				
04/14/11				
04/26/11				

DESIGNED:	LTG
DRAWN:	LTG
CHECKED:	PWM

REINFORCED CONCRETE:

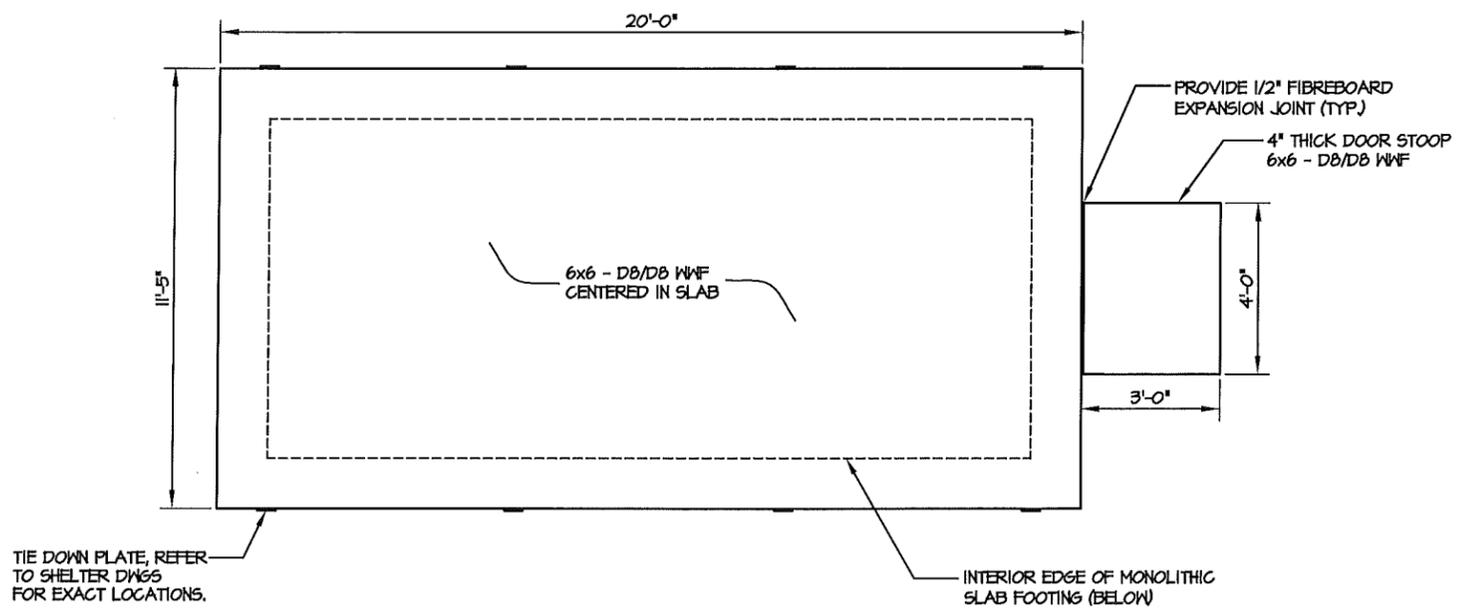
1. CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS; CONCRETE CYLINDER TESTS ARE REQUIRED FOR 7, 14, AND 28 DAY STRENGTHS, AND SHALL BE CONDUCTED BY A QUALIFIED, LICENSED, AND INSURED TESTING COMPANY.

CLASSES OF CONCRETE

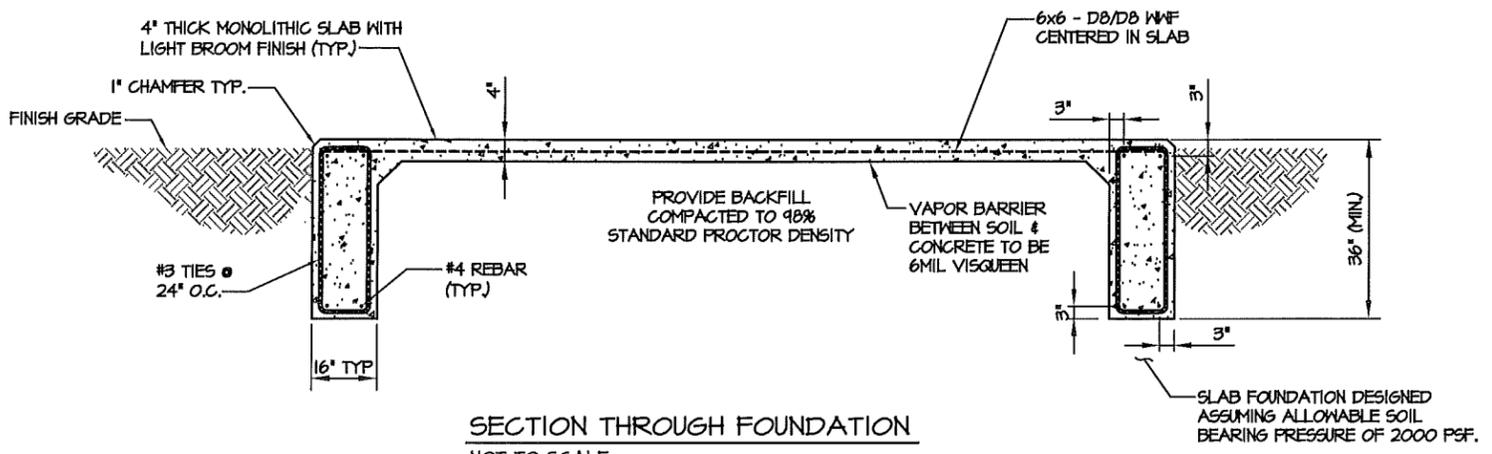
CLASS/ STRENGTH	7 DAY MIN. STRENGTH (PSI)	14 DAY MIN. STRENGTH (PSI)	28 DAY MIN. STRENGTH (PSI)	NOTES
TYPE I - 3000 PSI	2110	2645	3000	NORMAL WT.
TYPE I - 4000 PSI	2815	3525	4000	NORMAL WT.
TYPE I - 5000 PSI	3520	4405	5000	NORMAL WT.

ALL CONCRETE USED SHALL BE 3,000 PSI MIN. OR EQUAL TO THE STRENGTH OF CONCRETE USED IN THE TOWER FOUNDATION, WHICHEVER IS GREATER.

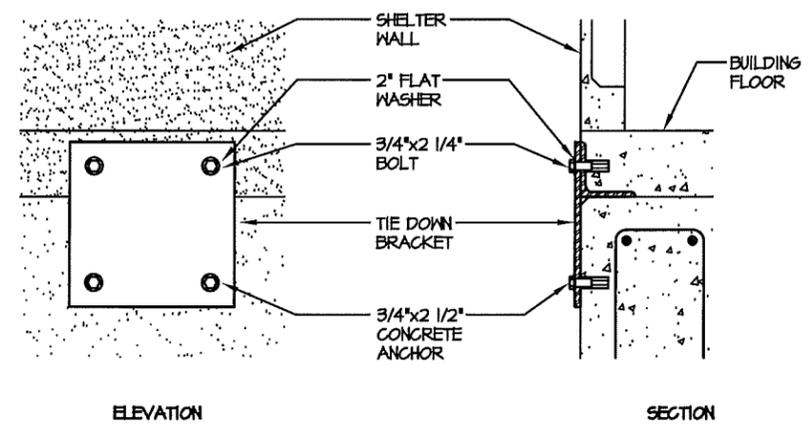
2. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4" REINFORCEMENT SHALL BE NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM SPECIFICATION A615 GRADE 60. MINIMUM REBAR SPLICES SHALL BE 40 DIAMETERS.
3. REINFORCEMENT SHALL COMPLY WITH THE LATEST EDITION OF ASCE AND ACI-318 FOR MINIMUM CLEARANCES.
4. ALL EMBEDDED ITEMS SHALL BE SECURELY HELD IN POSITION PRIOR TO PLACEMENT OF CONCRETE. ALL CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.
5. MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT.
6. DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE.
7. DO NOT USE WELDED WIRE FABRIC IN THE MONOLITHIC SLAB.
8. NO SPLICES OF REINFORCEMENT PERMITTED EXCEPT AS DETAILED OR AUTHORIZED. MAKE BARS CONTINUOUS AROUND CORNERS. WHERE PERMITTED, SPLICES MADE BY CONTRACT LAPS SHALL BE CLASS "B" TENSION LAPS UNLESS NOTED OTHERWISE.
9. DETAIL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL - 1985, PUBLICATION SP-66 AND " BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318 LATEST EDITION.
10. PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT



BUILDING FOUNDATION PLAN VIEW
NOT TO SCALE

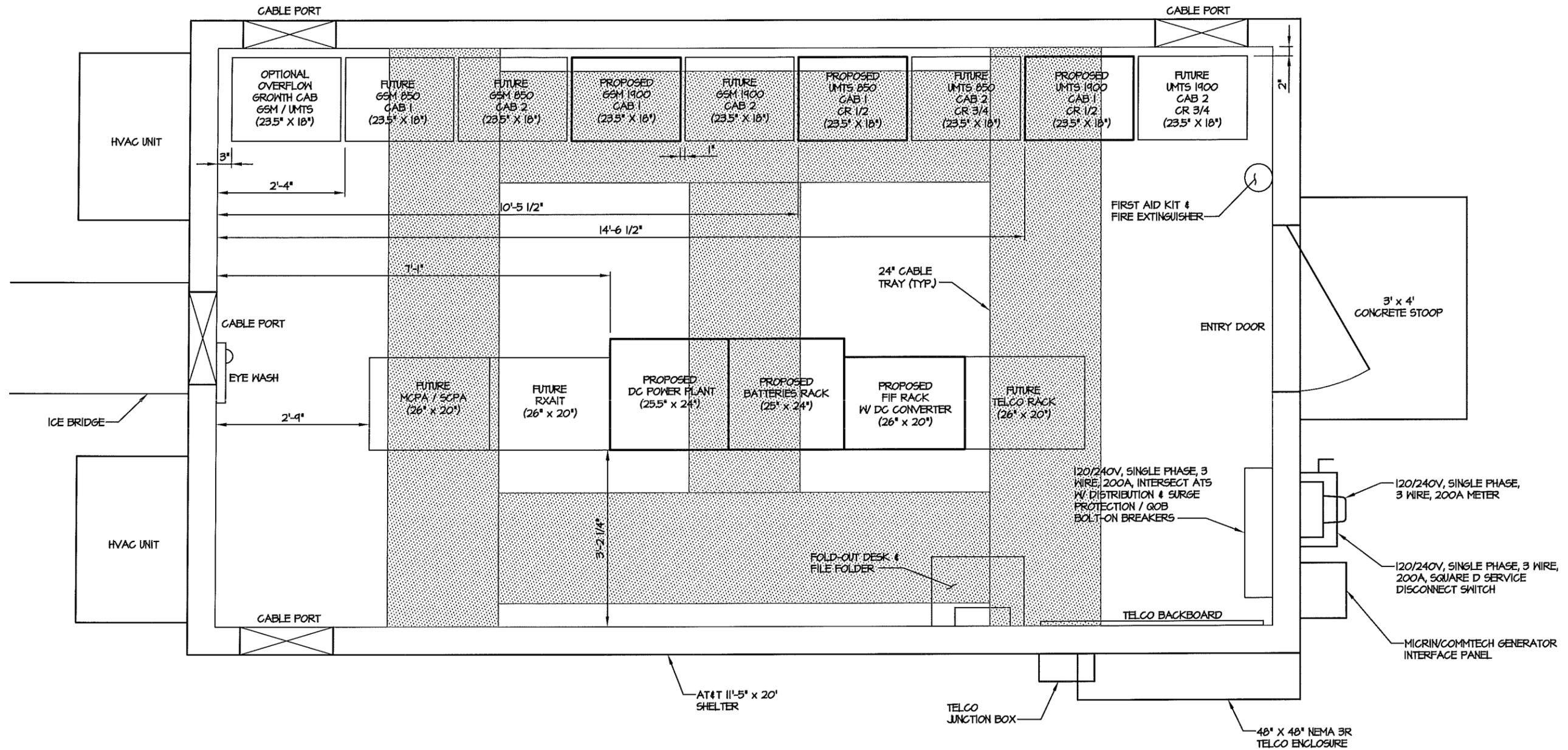


SECTION THROUGH FOUNDATION
NOT TO SCALE



SHELTER ATTACHMENT DETAIL
NOT TO SCALE





* SEE BUILDING MANUFACTURER'S DRAWINGS FOR ADDITIONAL DETAILS.

EQUIPMENT LAYOUT
SCALE: 1" = 2'-0"

DESCRIPTION:

DATE

NUM

HHI 16

SITE NAME

DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM

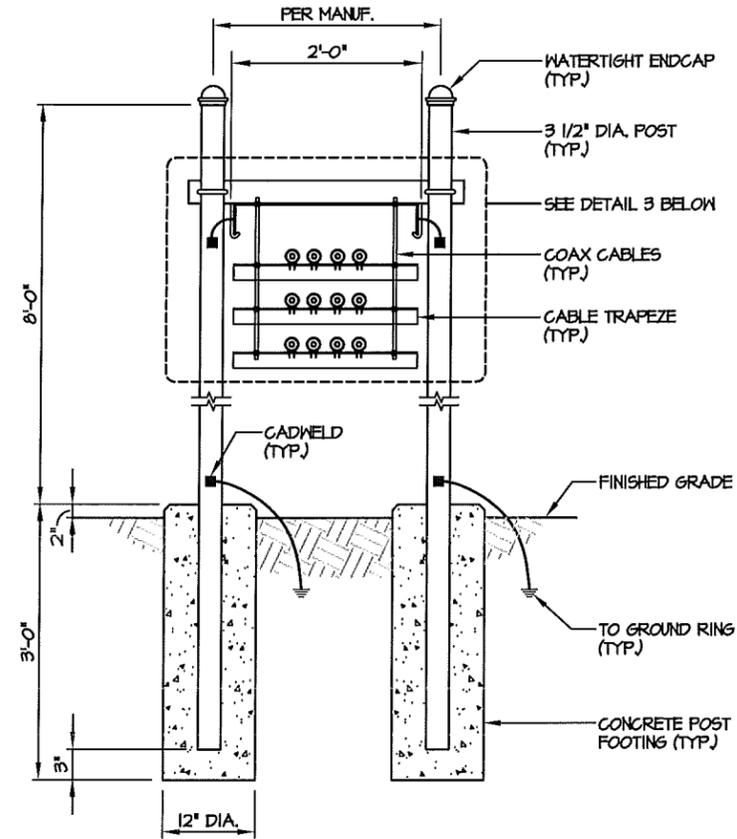
JOB #: TCD125

C-9

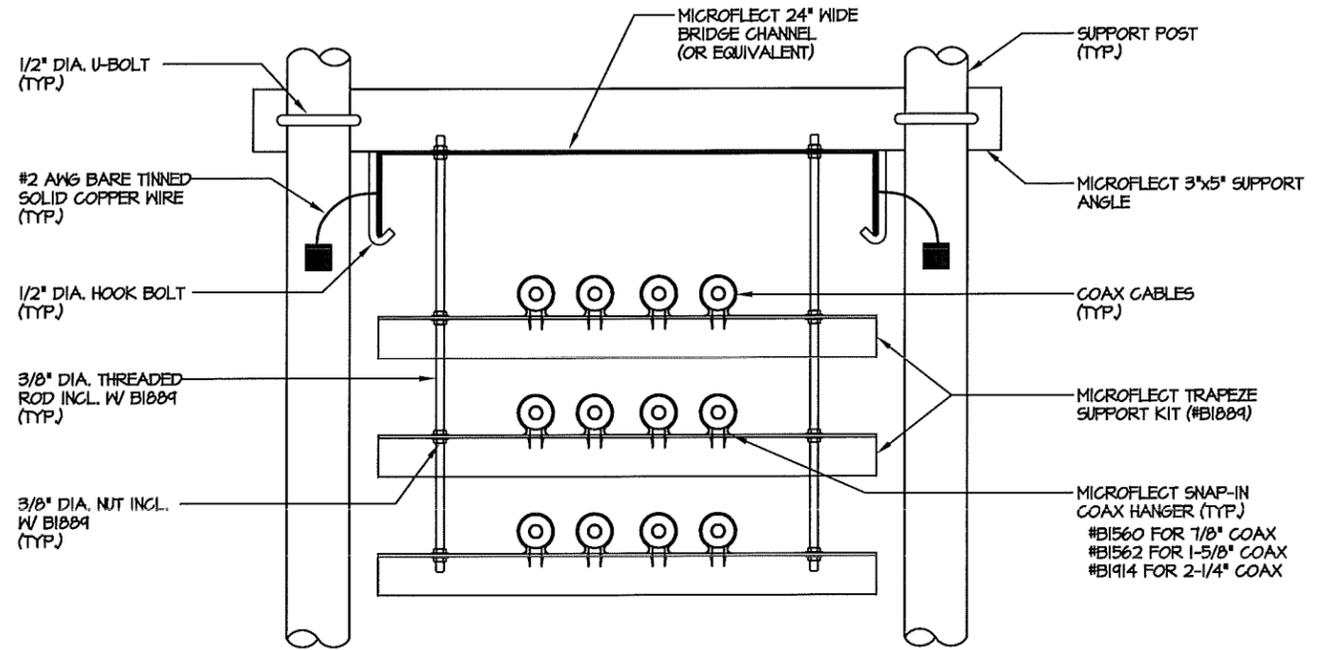
10/26/10	ISSUED FOR REVIEW
11/2/10	ISSUED FOR CONSTRUCTION
04/14/11	ADDED LANDSCAPE PLAN
04/26/11	REVISED LANDSCAPE PLAN

EQUIPMENT LAYOUT

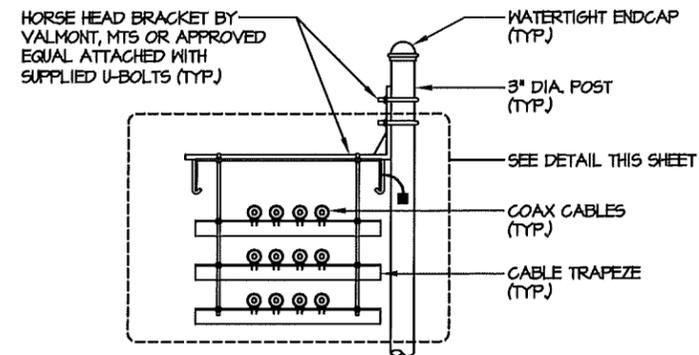




ICE BRIDGE SECTION
NOT TO SCALE



COAX CABLE TRAPEZE DETAIL
NOT TO SCALE



**ICE BRIDGE SECTION
(ALTERNATE HORSE HEAD)**
NOT TO SCALE

NUM	DATE	DESCRIPTION:
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2	04/26/11	REVISED LANDSCAPE PLAN

ICE BRIDGE DETAILS

HHI 16

SITE NAME

DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM

JOB #: TCD125

C-10





AMERICAN TOWER CORPORATION

SITE NAME: _____
SITE NUMBER: _____
FCC REGISTRATION NUMBER: _____

FOR LEASING INFORMATION: 877-282-7483
877-ATC-SITE

IN CASE OF EMERGENCY: 877-518-6937
877-51-TOWER

NO TRESPASSING

www.americantower.com
POSTING OF THIS SIGN REQUIRED BY LAW

OWNER CONTACT SIGN

WHITE BACKGROUND, BLACK/RED LETTERING
MOUNTING LOCATION: GATE
QUANTITY: 1

WHITE TEXT

NOTICE



WHITE BACKGROUND

BLUE BACKGROUND

Beyond This Point,
you are entering an area where radio
frequency emissions *may exceed*
the FCC General Population
Exposure Limits.

Follow all posted signs and site guidelines for
working in a radio frequency environment.

Ref: FCC 47 CFR, Subpart H, Part 22.

FCC RF EXPOSURE SIGN

WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: EYE LEVEL @ GATE
QUANTITY: 1

AT&T SIGNAGE NOTES:

1. SIGNS SHALL MEASURE 8" x 12" & BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 1 GAUGE ALUMINUM WIRE, HOG RINGS (FENCE) OR BRACKETS, WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E411 ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
4. AT&T SITE # & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON THE EQUIPMENT CABINET WITH PERMANENT SET ADHESIVE. TWO SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SETS.

SITE

410-415

SITE # IDENTIFICATION SIGN

WHITE BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: EQUIPMENT CABINET
QUANTITY: 1

WHITE TEXT

INFORMATION

TEAL BACKGROUND

AT&T operates telecommunications antennas at this location.

Stay back a minimum of 3 feet from any antenna.

Obey all posted signs & site guidelines.

Contact the owner(s) of the antenna(s) & follow their instructions prior to performing any repairs or maintenance within a restricted area or closer than 3 feet from their antenna(s).

Contact AT&T at _____ prior to doing any work near AT&T antennas. This is Site # _____

Contact the management office if this door, hatch, or gate is found unlocked.

INFORMATION RF EXPOSURE SIGN

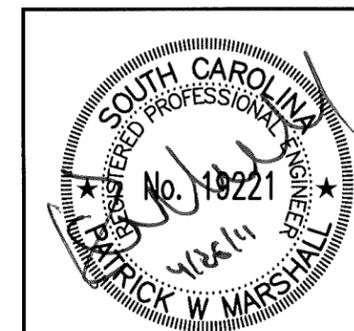
WHITE/TEAL BACKGROUND, BLACK/WHITE LETTERING
MOUNTING LOCATION: GATE
QUANTITY: 1

IN CASE OF EMERGENCY CALL

1-800-298-3551

EMERGENCY CONTACT SIGN

WHITE BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: EQUIPMENT CABINET
QUANTITY: 1



NUM	DATE	DESCRIPTION:
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1	04/14/11	ADDED LANDSCAPE PLAN
2	04/26/11	REVISED LANDSCAPE PLAN

HHI 16

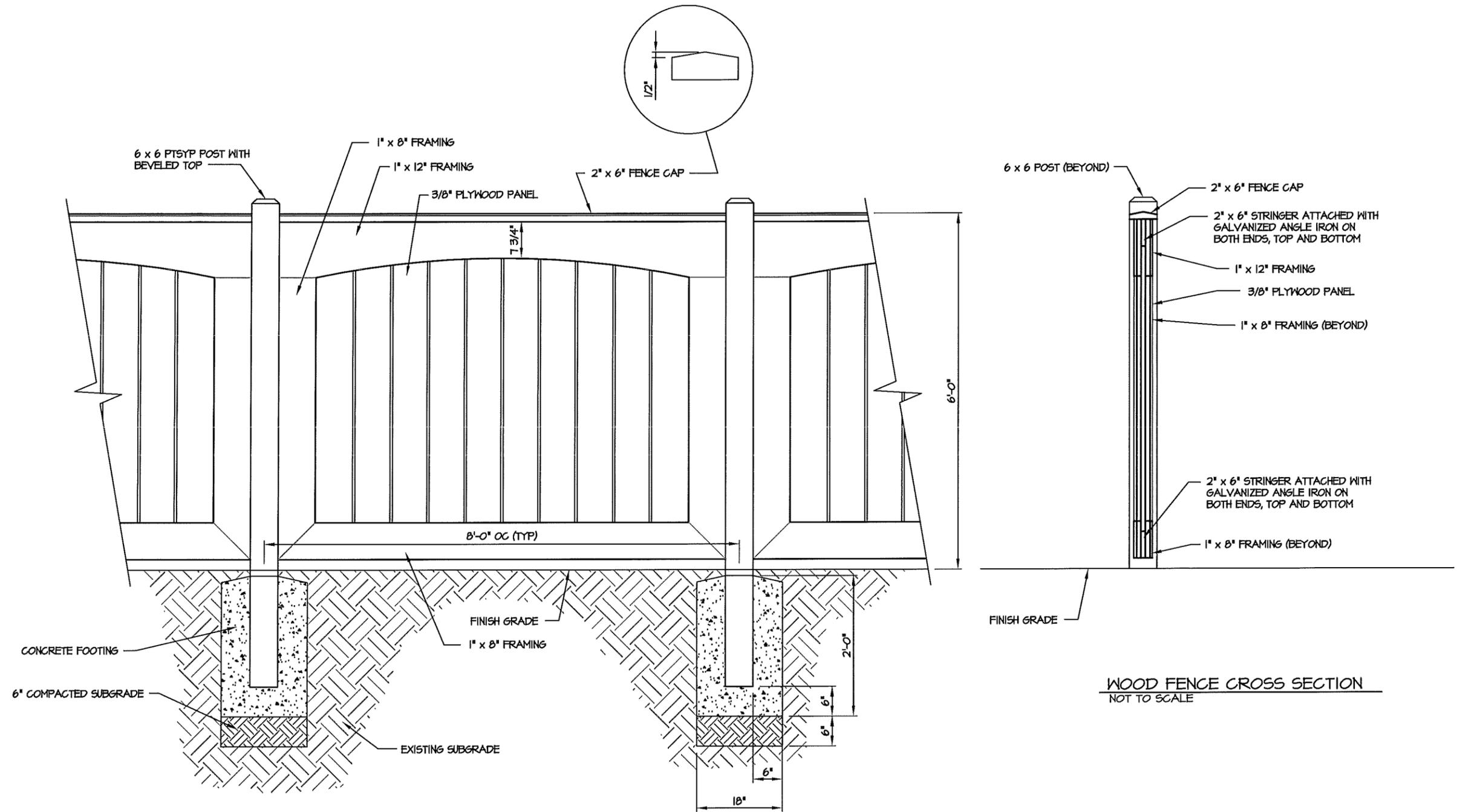
SITE SIGNAGE

SITE NAME

DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM

JOB #: TCD125

C-11



WOOD FENCE DETAIL
NOT TO SCALE

WOOD FENCE CROSS SECTION
NOT TO SCALE

NOTE:
12' WIDE DOUBLE SWING GATE:
ALL DETAILING AND MILLWORK TO MATCH
THAT OF PROPOSED FENCE. ALL HARDWARE
TO BE INSTALLED PER MANUFACTURERS
SPECIFICATIONS.



DESCRIPTION:

ISSUED FOR REVIEW
ISSUED FOR CONSTRUCTION
ADDED LANDSCAPE PLAN
REVISED LANDSCAPE PLAN

DATE

10/26/10
11/2/10
04/14/11
04/26/11

NUM

A
0
1
2

HHI 16

FENCE DETAILS

SITE NAME

DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM

JOB #: TCD125

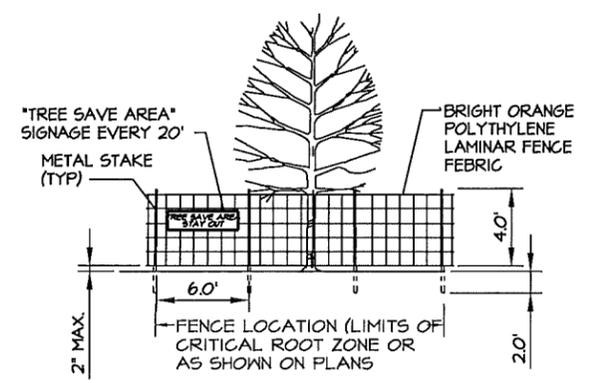
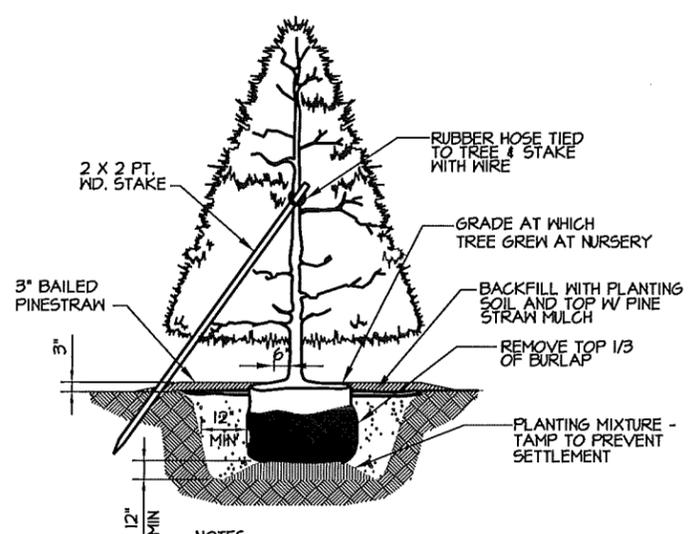
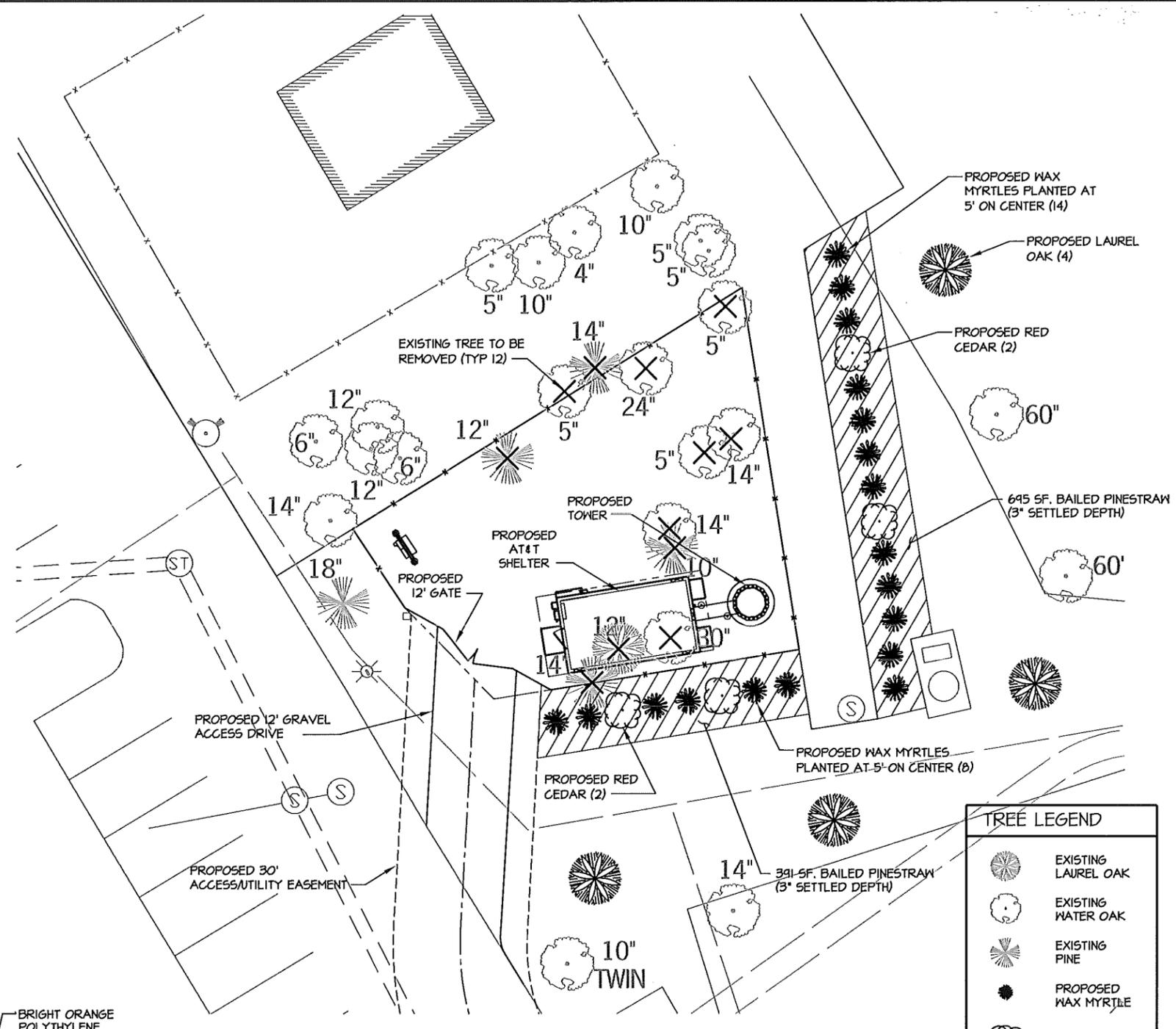
C-12

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

TOTAL AREA OF LANDSCAPE BUFFER: 1,086 SF - 0.025 ACRES

QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
18	WAX MYRTLE	Myrica Cerifera	15 GALLON MINIMUM
4	RED CEDAR	Juniperus Virginiana	6'-8' MIN. HEIGHT AT PLANTING
4	LAUREL OAK	Quercus Laurifolia	10'-12' MIN. HEIGHT AT PLANTING

1,086 SF PINESTRAW MULCH - 3" SETTLED LAYER OF CLEAN STRAW



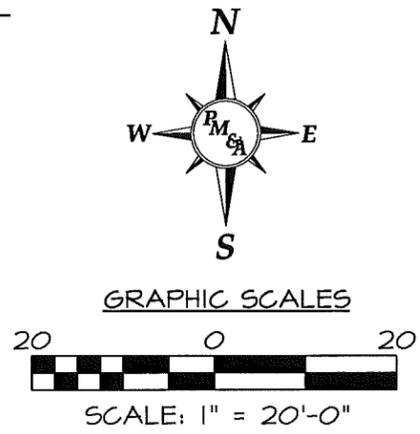
- NOTES:**
- 1) ALL PARKING WILL OCCUR ON EXISTING DRIVE.
 - 2) THERE WILL BE NO BURNING OR BURIAL OF DEBRIS ON SITE.
 - 3) ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

TREE SCHEDULE

EXISTING TREES TO BE SAVED	(15) WATER OAK, (1) PINE (TOTAL CALIPER INCHES SAVED - 251")
EXISTING TREES TO BE REMOVED	(1) WATER OAK, (4) PINE, (1) LAUREL OAK (TOTAL CALIPER INCHES REMOVED - 154")
PROPOSED PLANTINGS	(18) WAX MYRTLE, 15 GALLON (4) RED CEDAR, 6'-8' MIN HEIGHT (4) LAUREL OAK, 10'-12' MIN HEIGHT

TREE LEGEND

	EXISTING LAUREL OAK
	EXISTING WATER OAK
	EXISTING PINE
	PROPOSED WAX MYRTLE
	PROPOSED RED CEDAR
	PROPOSED LAUREL OAK



DESCRIPTION:

DATE	DESCRIPTION
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11/2/10	ISSUED FOR CONSTRUCTION
04/14/11	ADDED LANDSCAPE PLAN
04/26/11	REVISED LANDSCAPE PLAN

HHI 16

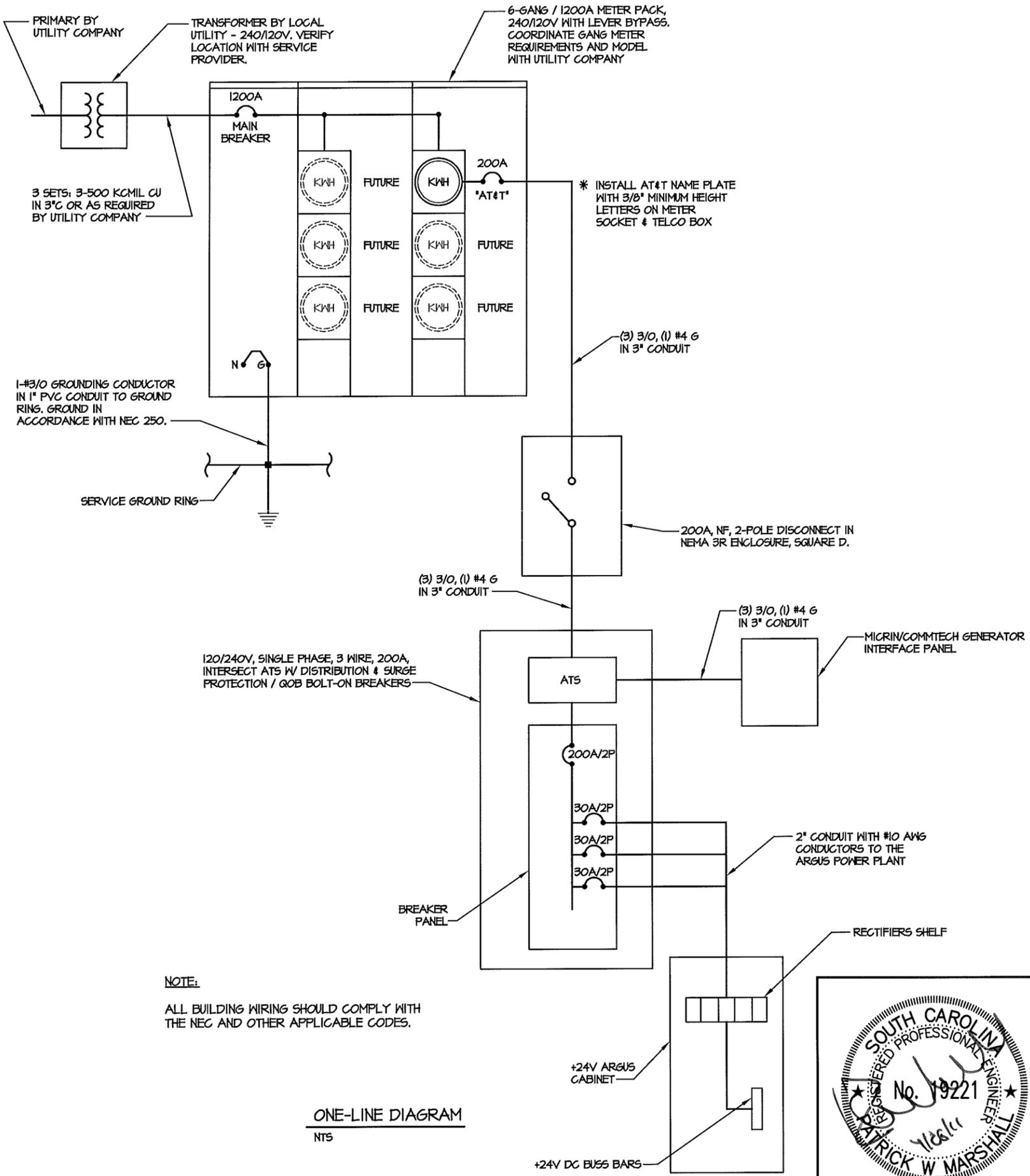
LANDSCAPE PLAN

SITE NAME
 DESIGNED: JTG
 DRAWN: JTG
 CHECKED: PWM
 JOB #: TCD125



ELECTRICAL INSTALLATION NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATINGS, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATINGS, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION; WITH OUTER JACKET, LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



DC ONE-LINE DIAGRAM

ONE-LINE DIAGRAM

NTS

NUM	DATE	DESCRIPTION:
A	10/26/10	ISSUED FOR REVIEW
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2	04/26/11	REVISED LANDSCAPE PLAN

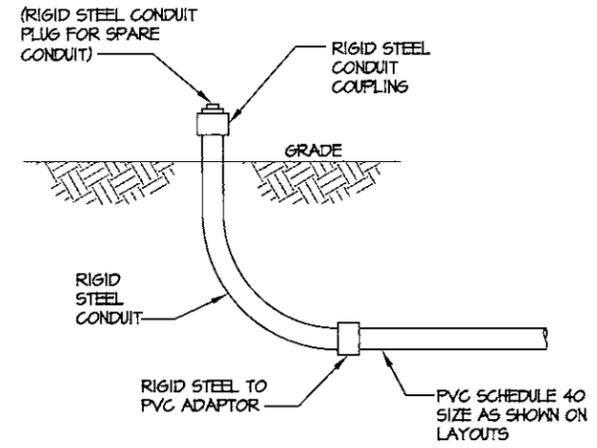
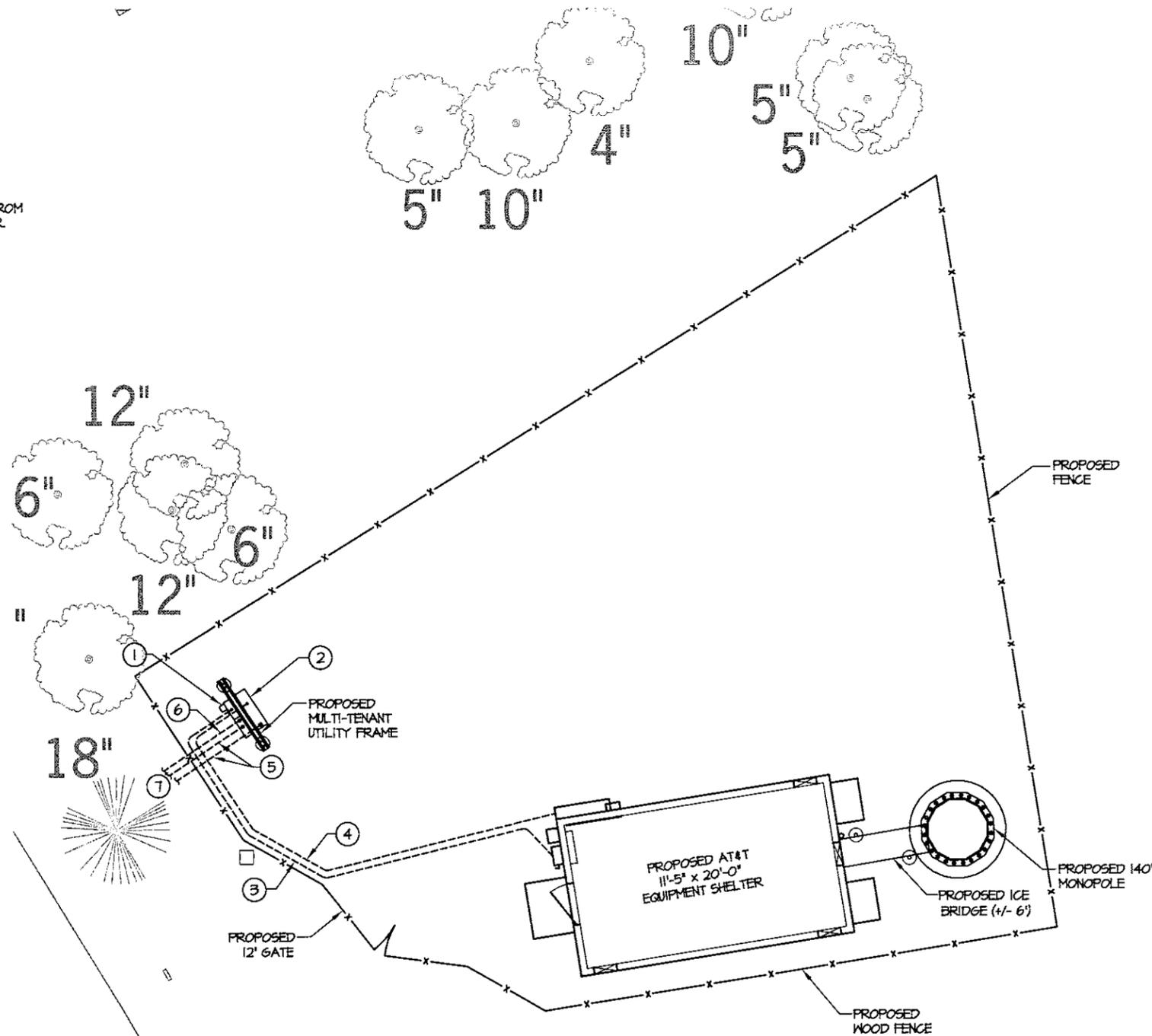
HHI 16
ELECTRICAL SPECS & ONE-LINE DIAGRAM

SITE NAME	
DESIGNED:	JTG
DRAWN:	JTG
CHECKED:	PWM
JOB #:	TC0125

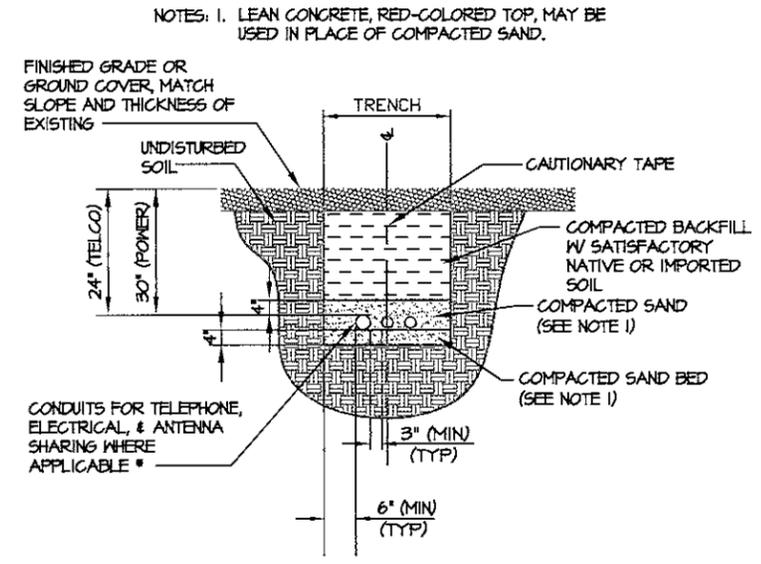


ELECTRICAL KEY NOTES:

- ① PROPOSED 1200A GANG METER PANEL. SEE SHEET E-6 FOR MOUNTING DETAILS. SEE SHEET E-1 FOR ELECTRICAL ONE-LINE DIAGRAM.
- ② PROPOSED TELCO DEMARC CABINET. SEE SHEET E-6 FOR MOUNTING DETAILS.
- ③ PROPOSED (3) 3/0, (1) #4 6 IN 3" CONDUIT FROM THE METER TO THE DISCONNECT ON SHELTER.
- ④ PROPOSED 4" CONDUIT WITH (2) FULL STRINGS FROM THE MULTI-TENANT TELCO BOX TO THE AT&T TELCO BOX MOUNTED ON THE EQUIPMENT SHELTER.
- ⑤ PROPOSED PVC CONDUITS FOR POWER SERVICE. COORDINATE SIZE AND NUMBER WITH THE UTILITY COMPANY.
- ⑥ PROPOSED 4" PVC CONDUIT WITH FULLSTRINGS FOR TELCO SERVICE.
- ⑦ STUB UP CONDUITS A MINIMUM OF 2' ABOVE FINISHED GRADE AND CAP AT REQUIRED LOCATION. COORDINATE WITH UTILITY PROVIDER FOR FINAL CONNECTION TO EXISTING UTILITIES.

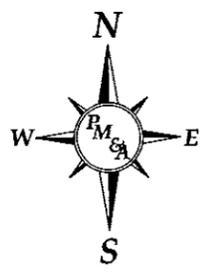


UNDERGROUND CONDUIT STUB-UP
NTS

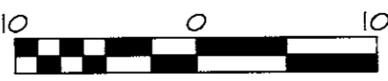


* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

DIRECT BURIED CONDUIT
NTS



GRAPHIC SCALE



SCALE: 1" = 10'-0"

ELECTRICAL SITE PLAN
SCALE: 1" = 10'

DESCRIPTION:	ISSUED FOR REVIEW	ISSUED FOR CONSTRUCTION	ADDED LANDSCAPE PLAN	REVISED LANDSCAPE PLAN
DATE	10/26/10	11/2/10	04/14/11	04/26/11
NUM	A	0	1	2

HHI 16

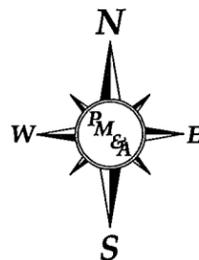
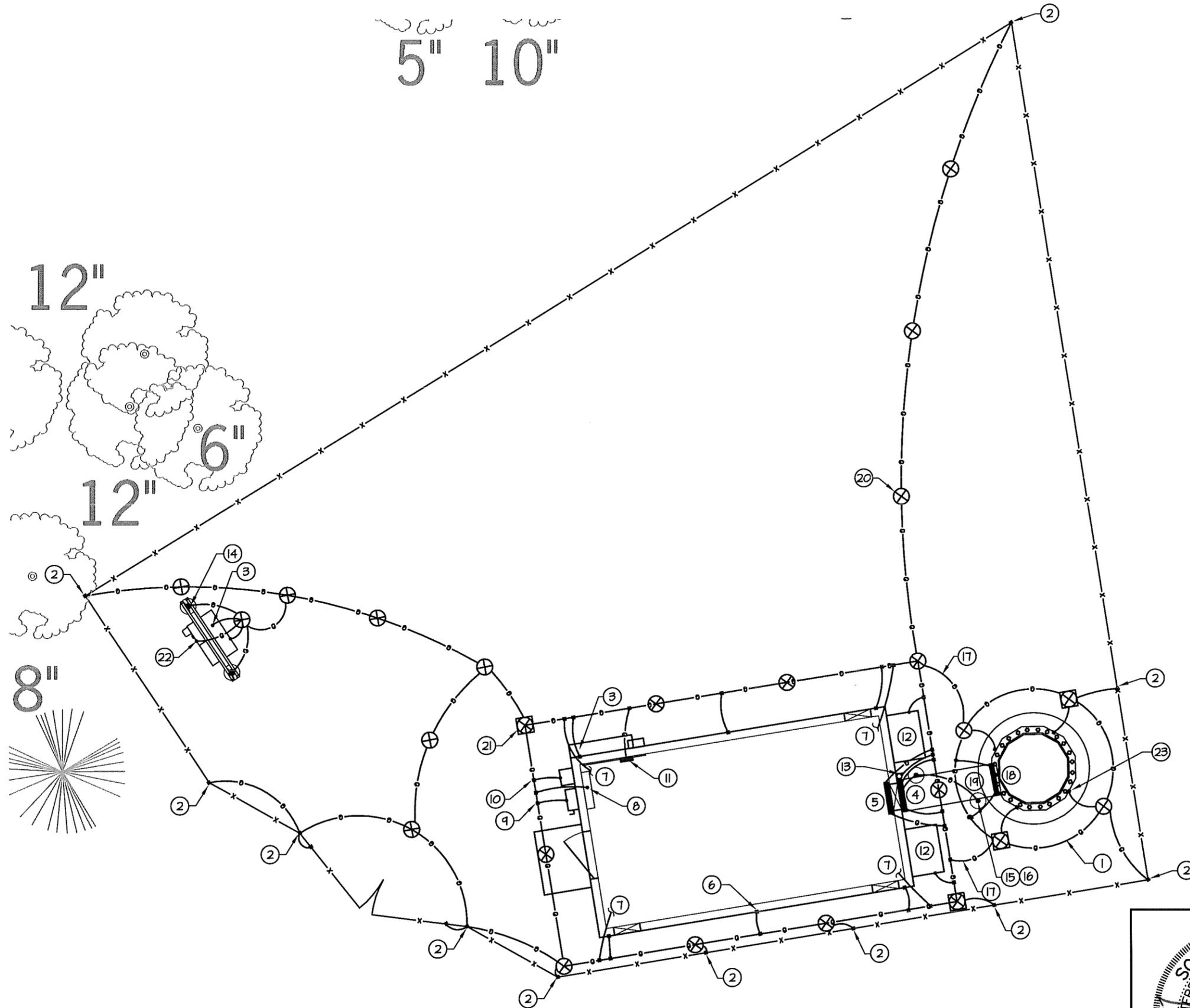
DESIGNED:	JTG
DRAWN:	JTG
CHECKED:	PWM
JOB #:	TC0125

E-2



ELECTRICAL SITE PLAN

- ① #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
- ② BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTION (TYP)
- ③ BOND TELCO BUSS BAR TO GROUND RING
- ④ CONNECT EXTERIOR GROUND BAR (UNDER WAVEGUIDE PORT) TO NEW GROUND RING WITH #2 GROUND CONDUCTORS.
- ⑤ CONNECT MASTER GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑥ BOND EACH SHELTER TIE DOWN PLATE TO GROUND RING WITH CADWELD.
- ⑦ PROVIDE GROUND LEADS FROM SHELTER HALO TO GROUND RING (4 PLACES). COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑧ PROVIDE GROUND LEAD FROM BUILDING 200A PANEL BOARD TO GROUND RING. COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑨ BOND DISCONNECT SWITCH TO GROUND RING.
- ⑩ BOND GENERATOR INTERFACE PANEL TO GROUND RING.
- ⑪ CONNECT TELCO GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑫ BOND HVAC UNITS TO GROUND RING (TYP.)
- ⑬ GROUND GPS ANTENNAS PER MANUFACTURER'S SPECIFICATIONS.
- ⑭ BOND ALL H-FRAME POSTS TO GROUND RING (TYP.)
- ⑮ BOND EVERY ICE BRIDGE POST BASE TO GROUND RING WITH CADWELD.
- ⑯ BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS. BOND FIRST AND LAST SECTION TO GROUND RING.
- ⑰ BOND EQUIPMENT GROUND RING TO TOWER GROUND RING (TYP - 2 PLACES)
- ⑱ BOND TOWER MOUNTED GROUND BAR TO TOWER GROUND RING WITH #2 AWG SOLID BARE TINNED COPPER WIRE (TYP - 2 PLACES)
- ⑲ BOND COAX CABLE GROUND KIT TO GROUND BAR. REFER TO COAX CABLE GROUND KIT DETAIL.
- ⑳ PROPOSED GROUND ROD (TYP).
- ㉑ PROPOSED GROUND ROD WITH INSPECTION WELL.
- ㉒ PROPOSED #3/0 GROUNDING CONDUCTOR IN 1" PVC CONDUIT TO GROUND RING. GROUND IN ACCORDANCE WITH NEC 250.
- ㉓ BOND TOWER BASE PLATE TO TOWER GROUND RING.



GROUNDING PLAN
NTS



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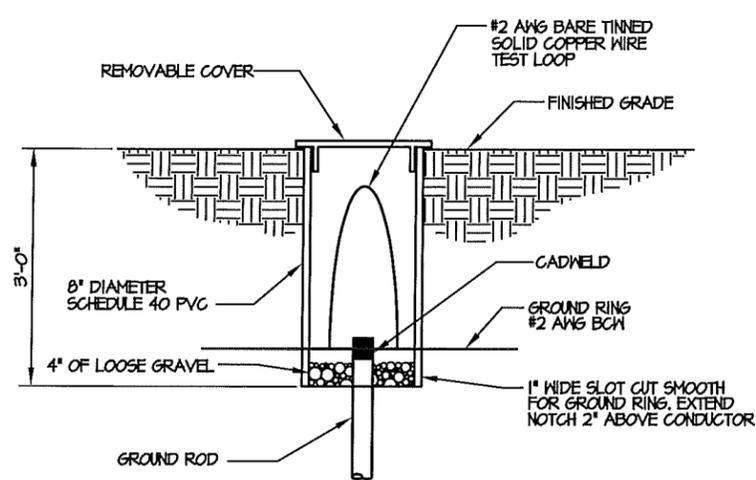
HHI 16

GROUNDING SITE PLAN

SITE NAME

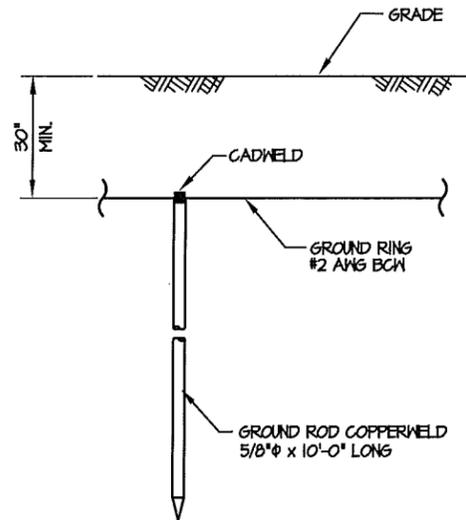
DESIGNED: JTG
DRAWN: JTG
CHECKED: PAM

JOB #: TCD125



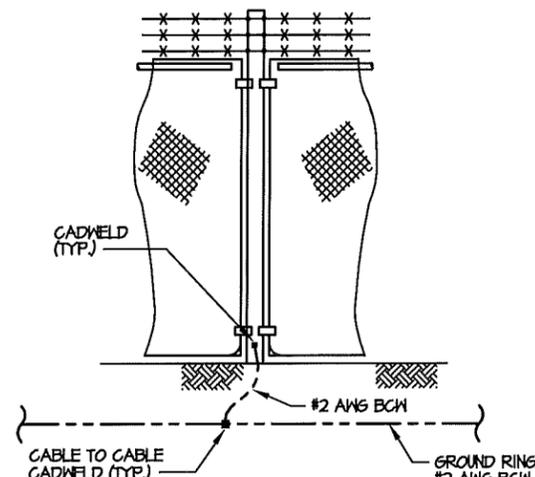
GROUND ROD INSPECTION WELL

NOT TO SCALE



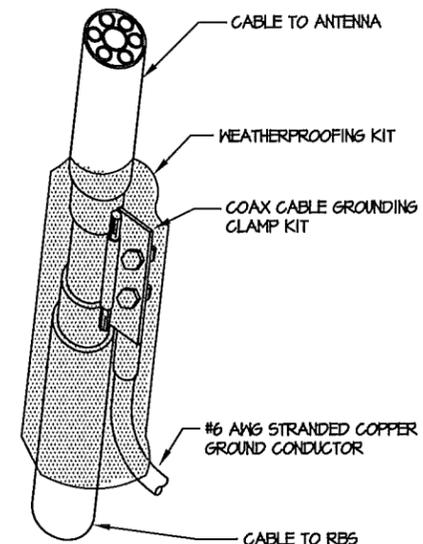
GROUND ROD DETAIL

NOT TO SCALE



FENCE GROUNDING

NOT TO SCALE

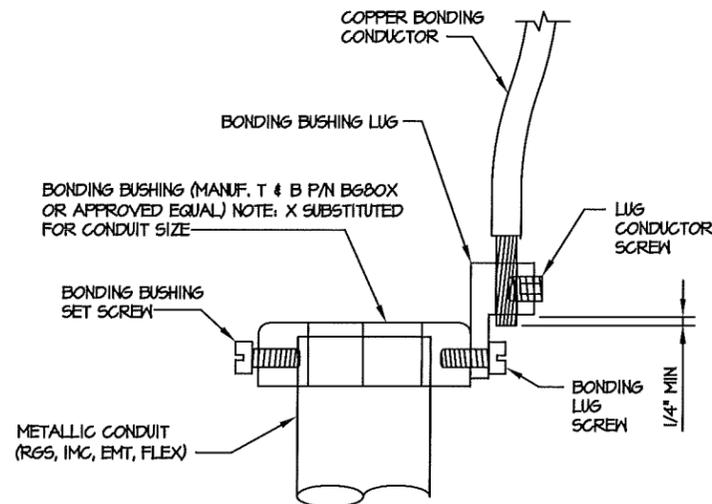


NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND.
2. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
3. GROUNDING KIT & WEATHER PROOFING KIT SHALL BE TYPE & PART # AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.

COAX CABLE GROUND KIT

NOT TO SCALE

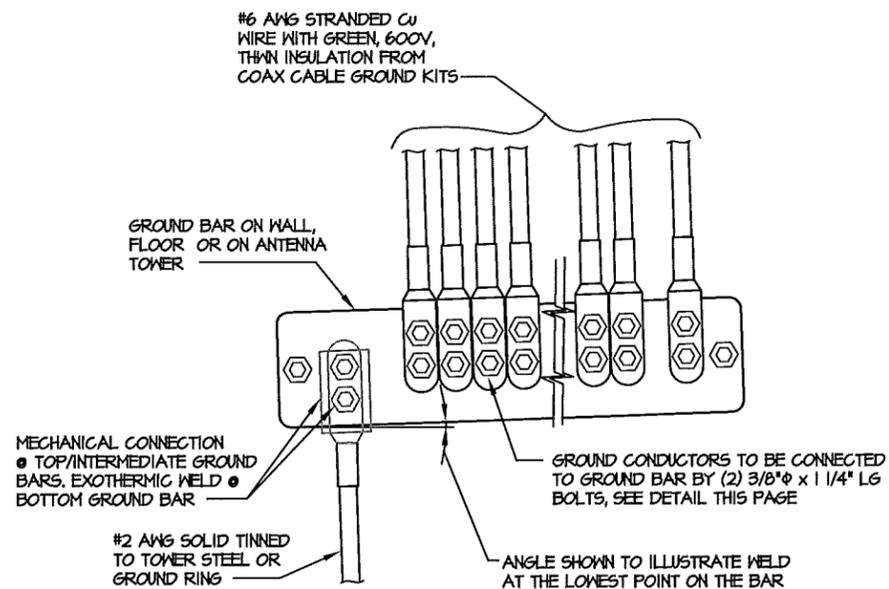


- DIRECTIONS:
1. MOUNT BONDING BUSHING ONTO CONDUIT
 2. TIGHTEN BOND BUSHING SET SCREW
 3. INSERT COPPER CONDUCTOR INTO LUG
 4. TIGHTEN LUG CONDUCTOR SCREW
 5. TIGHTEN BONDING LUG SCREW

NOTE: BONDING BUSHING, SET SCREW, LUG, LUG SCREW, COND. LUG SCREW, SHOWN AS COMPLETE UNIT.

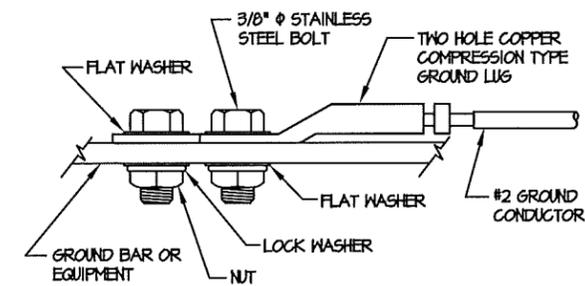
CONDUIT BOND/GROUND BUSHING

NTS



INSTALLATION OF GROUND WIRE TO COAX CABLE GROUND BAR

NTS



MECHANICAL GROUND CONNECTION

NOT TO SCALE

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HHI 16

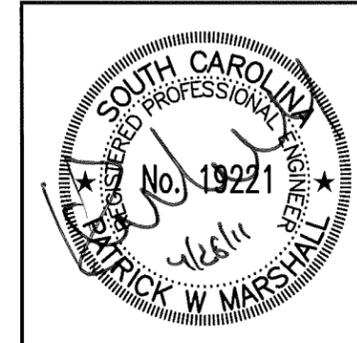
GROUNDING DETAILS

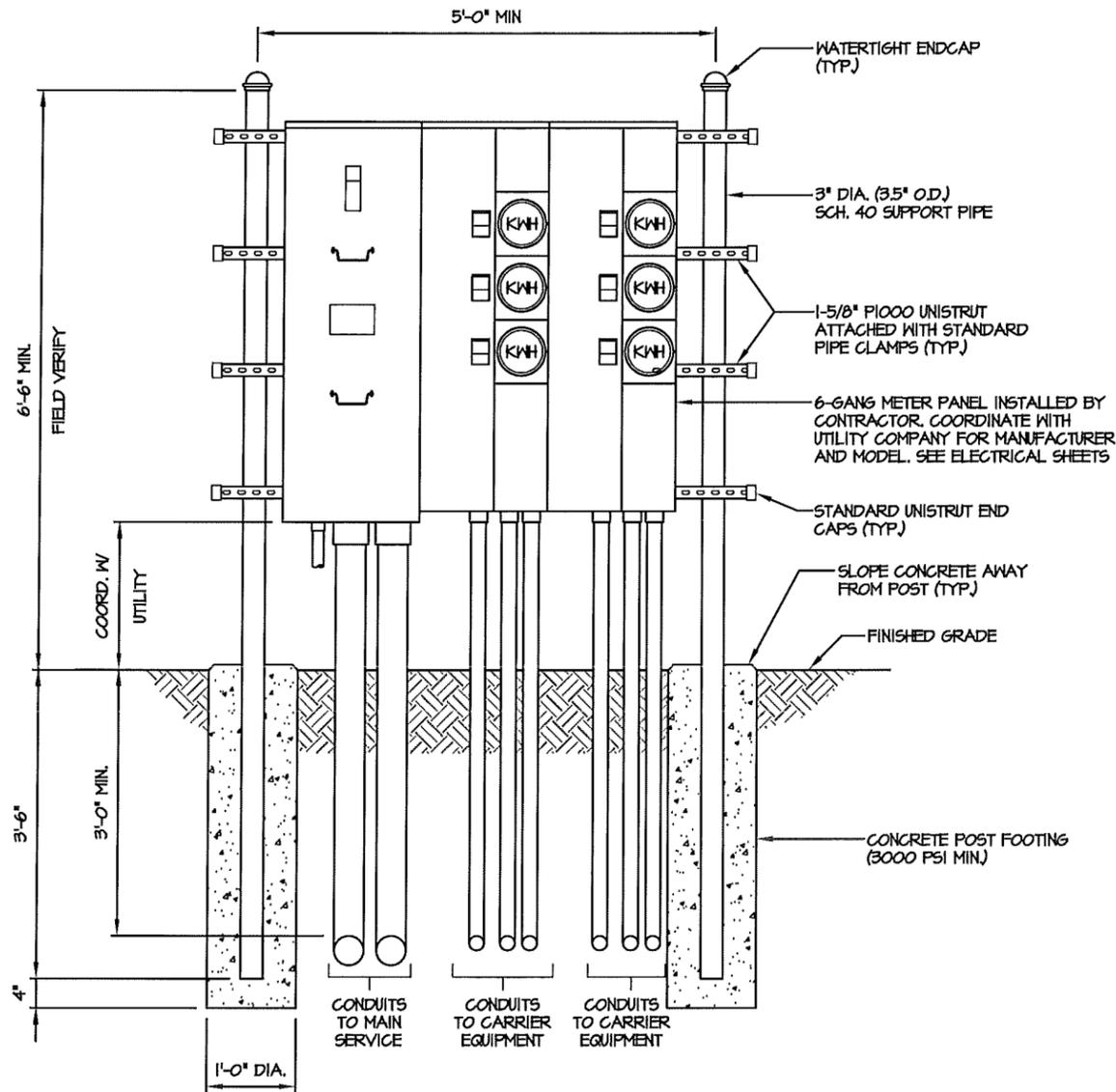
SITE NAME

DESIGNED: LTG
 DRAWN: LTG
 CHECKED: PWM

JOB #: TCD125

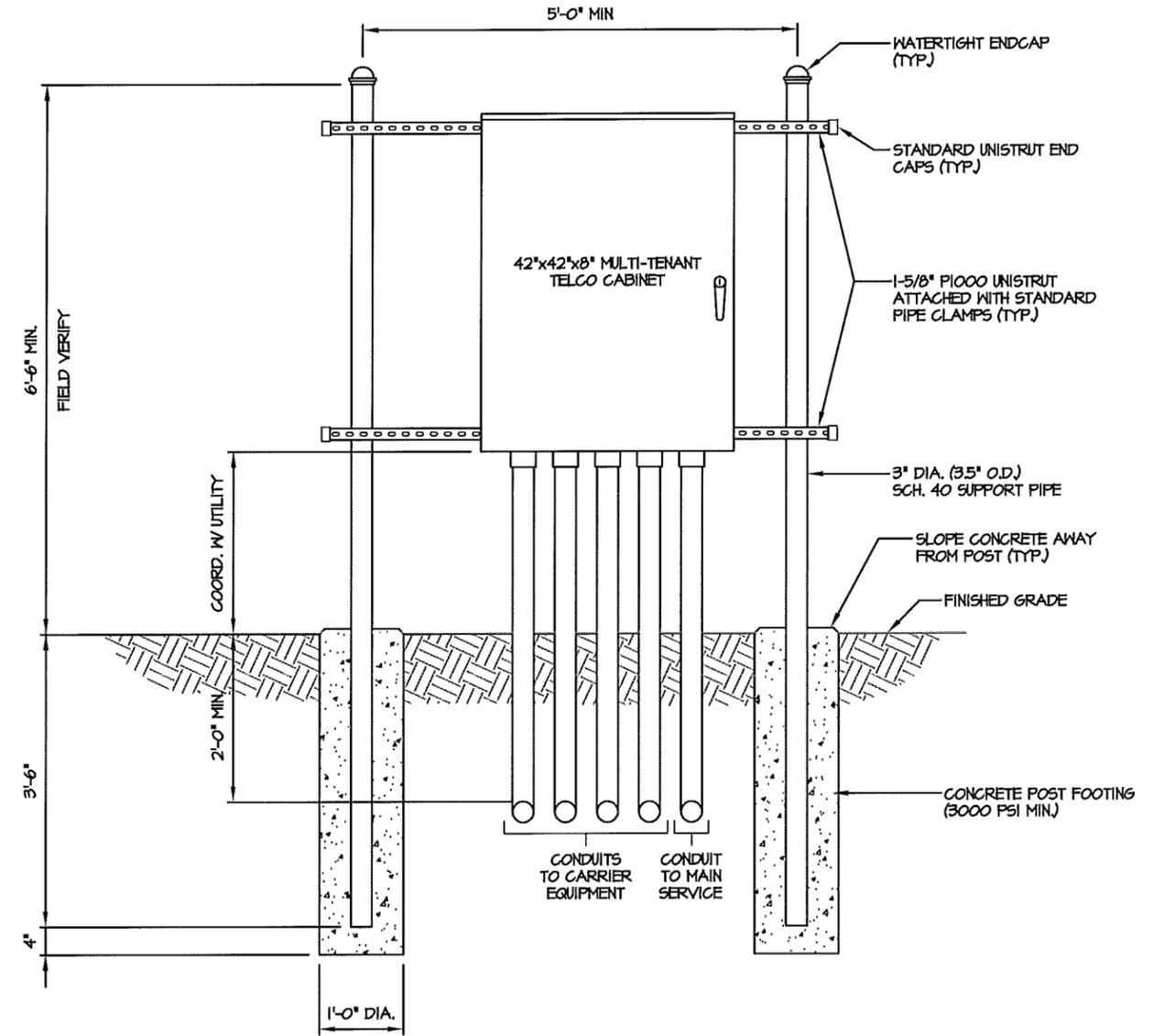
E-4





UTILITY FRAME DETAIL (GANG METER)

NTS



UTILITY FRAME DETAIL (TELCO)

NTS

NOTES:

1. CONTRACTOR SHALL FIELD LOCATE THE METER PEDESTAL AS SHOWN ON SITE PLAN. INSTALL THE METER PEDESTAL NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
2. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RUN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
4. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED. PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
5. TELCO CABINET SHALL BE 36"x48"x10" HOFFMAN OR EQUIVALENT. PROVIDE 3/4" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
6. ADJUSTMENTS TO THE METER PEDESTAL DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.

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H11 16

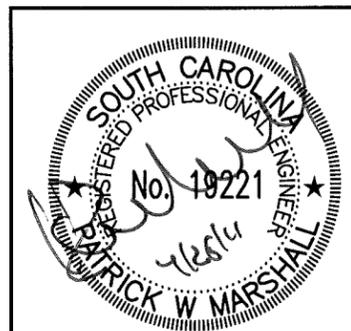
UTILITY FRAME DETAILS

SITE NAME

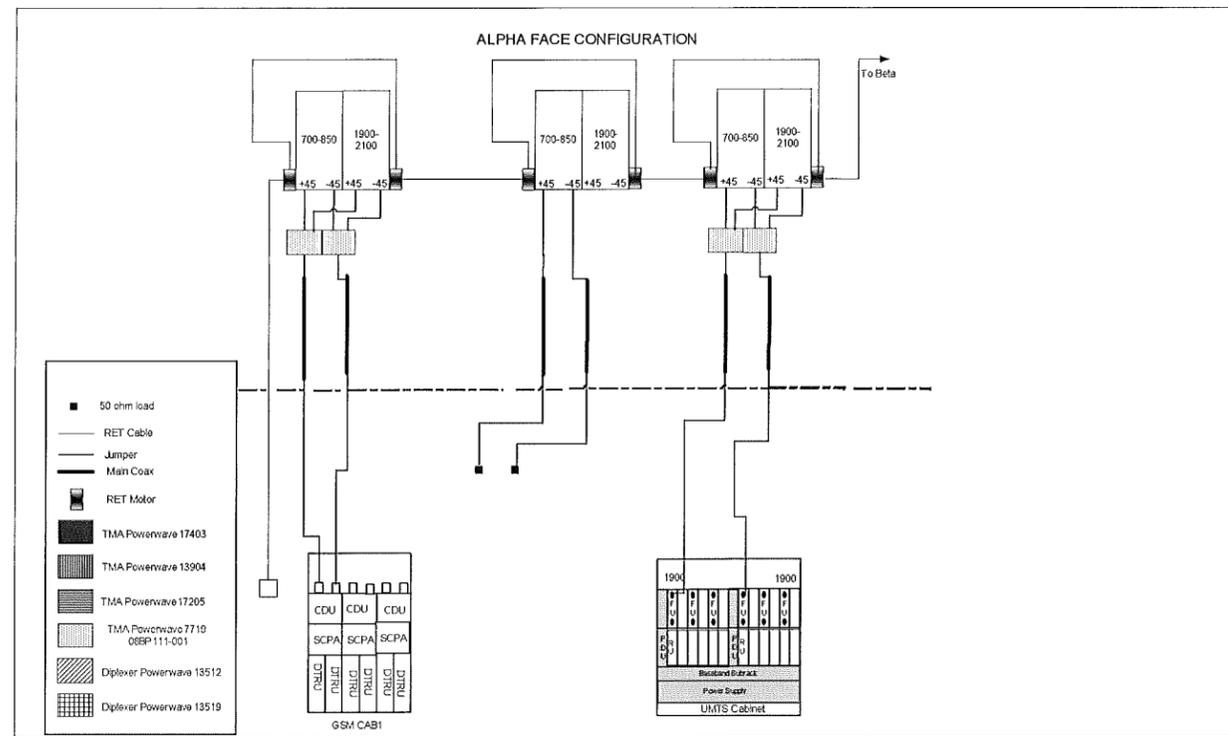
DESIGNED: JTG
DRAWN: JTG
CHECKED: PWM

JOB #: TCD125

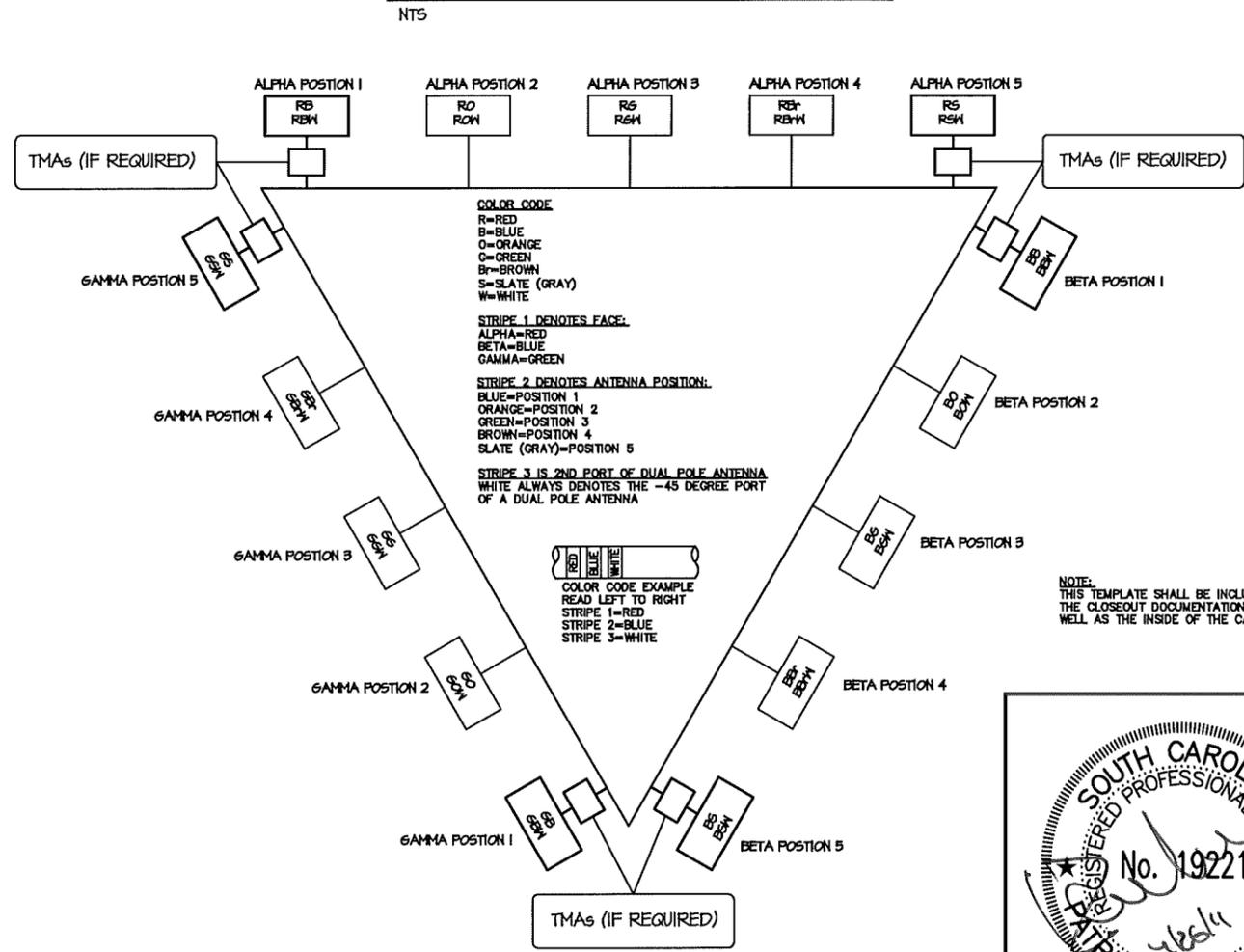
E-5



Section 15B - CURRENT SECTOR/CELL INFORMATION - PSI					
Section 15A - NEW/PROPOSED SECTOR/CELL INFORMATION - ALPHA (OR OMNI)					
ANTENNA CONFIG (FROM BACK):	ANTENNA 1 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 2 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 3 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 4 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 5 GSM, UMTS (850/1900) or LTE (700/AWS)
TECHNOLOGY	GSM 1900		LTE		UMTS 1900
RRH LOCATION (Top/Bottom/None)					
FEEDERS TYPE	FXL 1873 PE (1.5/8")		// 165		FXL 1873 PE (1.5/8")
Feeder Length (feet)	165				165
ANTENNA ATOLL					
ANTENNA MAKE - MODEL	800-10764		800-10764		800-10764
ANTENNA VENDOR	Kathrein		Kathrein		Kathrein
ANTENNA SIZE (H x W x D)					
ANTENNA WEIGHT					
ANTENNA GAIN					
AZIMUTH	17		60		17
RADIATION CENTER (feet)	145		145		145
ANTENNA TIP HEIGHT					
ELECTRICAL TILT (700/850/1900/AWS)	2				2
MECHANICAL DOWN TILT	0		0		0
FEEDER AMOUNT	2		2		2
Antenna RET Motor (QTY/MODEL)					
Antenna RET Splitter (QTY/MODEL)					
Antenna RET Earth (Grounding) Clamp (QTY/MODEL)					
Antenna RET Surge Arrestor (QTY/MODEL)					
Antenna RET CONTROL UNIT (QTY/MODEL) usually per site	x Kathrein RET cable 860-10014 (262ft)		Kathrein RET cable 860-10014 (262ft), two		x Kathrein RET cable 860-10014 (262ft)
DC BLOCK (QTY/MODEL)					
TMA/NA (TYPE/MODEL)	1 - TT19-08BP111-001				1 - TT19-08BP111-001
CURRENT INJECTORS FOR TMA (QTY/MODEL)					
POU FOR TMAs (QTY/MODEL) usually per site					
SURGE ARRESTOR (QTY/MODEL)					
DIPLEXER (QTY/MODEL)					
HYBRID COMBINER (QTY/MODEL)					
DIPLEXER (QTY/MODEL)					
SCPA/MCPA MODULE?	CCISCPA 125W				
Additional Component1					
Additional Component2					
Additional Component3					
MAGNETIC DECLINATION					
HATCHPLATE POWER (Watts)	45				
ERP (Watts)	880				
Local Market Note1					
Local Market Note2					
Local Market Note3					
Section 16B - NEW/PROPOSED SECTOR/CELL INFORMATION - BETA					
ANTENNA CONFIG (FROM BACK):	ANTENNA 1 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 2 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 3 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 4 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 5 GSM, UMTS (850/1900) or LTE (700/AWS)
TECHNOLOGY	GSM 850	GSM 1900	LTE		UMTS 1900
RRH LOCATION (Top/Bottom/None)					
FEEDERS TYPE	FXL 1873 PE (1.5/8")		// 165		FXL 1873 PE (1.5/8")
Feeder Length (feet)	165				165
ANTENNA ATOLL					
ANTENNA MAKE - MODEL	800-10762		800-10764		800-10764
ANTENNA VENDOR	Kathrein		Kathrein		Kathrein
ANTENNA SIZE (H x W x D)					
ANTENNA WEIGHT					
ANTENNA GAIN					
AZIMUTH	17		180		17
RADIATION CENTER (feet)	145		145		145
ANTENNA TIP HEIGHT					
ELECTRICAL TILT (700/850/1900/AWS)	2				2
MECHANICAL DOWN TILT	0		0		0
FEEDER AMOUNT	2		2		2
Antenna RET Motor (QTY/MODEL)					
Antenna RET Splitter (QTY/MODEL)					
Antenna RET Earth (Grounding) Clamp (QTY/MODEL)					
Antenna RET Surge Arrestor (QTY/MODEL)					
Antenna RET CONTROL UNIT (QTY/MODEL) usually per site	x Kathrein RET cable 860-10014 (262ft)		Kathrein RET cable 860-10014 (262ft), two		x Kathrein RET cable 860-10014 (262ft)
DC BLOCK (QTY/MODEL)					
TMA/NA (TYPE/MODEL)	1 - TT19-08BP111-001				1 - TT19-08BP111-001
CURRENT INJECTORS FOR TMA (QTY/MODEL)					
POU FOR TMAs (QTY/MODEL) usually per site					
SURGE ARRESTOR (QTY/MODEL)					
DIPLEXER (QTY/MODEL)					
HYBRID COMBINER (QTY/MODEL)					
DIPLEXER (QTY/MODEL)					
SCPA/MCPA MODULE?	CCISCPA 125W				
Additional Component1					
Additional Component2					
Additional Component3					
MAGNETIC DECLINATION					
HATCHPLATE POWER (Watts)	45				
ERP (Watts)	880				
Local Market Note1					
Local Market Note2					
Local Market Note3					
Section 18C - NEW/PROPOSED SECTOR/CELL INFORMATION - GAMMA					
ANTENNA CONFIG (FROM BACK):	ANTENNA 1 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 2 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 3 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 4 GSM, UMTS (850/1900) or LTE (700/AWS)	ANTENNA 5 GSM, UMTS (850/1900) or LTE (700/AWS)
TECHNOLOGY	GSM 850	GSM 1900	LTE		UMTS 1900
RRH LOCATION (Top/Bottom/None)					
FEEDERS TYPE	FXL 1873 PE (1.5/8")		// 165		FXL 1873 PE (1.5/8")
Feeder Length (feet)	165				165
ANTENNA ATOLL					
ANTENNA MAKE - MODEL	800-10764		800-10764		800-10764
ANTENNA VENDOR	Kathrein		Kathrein		Kathrein
ANTENNA SIZE (H x W x D)					
ANTENNA WEIGHT					
ANTENNA GAIN					
AZIMUTH	17		300		17
RADIATION CENTER (feet)	145		145		145
ANTENNA TIP HEIGHT					
ELECTRICAL TILT (700/850/1900/AWS)	2				2
MECHANICAL DOWN TILT	0		0		0
FEEDER AMOUNT	2		2		2
Antenna RET Motor (QTY/MODEL)					
Antenna RET Splitter (QTY/MODEL)					
Antenna RET Earth (Grounding) Clamp (QTY/MODEL)					
Antenna RET Surge Arrestor (QTY/MODEL)					
Antenna RET CONTROL UNIT (QTY/MODEL) usually per site	x Kathrein RET cable 860-10014 (262ft)		Kathrein RET cable 860-10014 (262ft), two		x Kathrein RET cable 860-10014 (262ft)
DC BLOCK (QTY/MODEL)					
TMA/NA (TYPE/MODEL)	1 - TT19-08BP111-001				1 - TT19-08BP111-001
CURRENT INJECTORS FOR TMA (QTY/MODEL)					
POU FOR TMAs (QTY/MODEL) usually per site					
SURGE ARRESTOR (QTY/MODEL)					
DIPLEXER (QTY/MODEL)					
HYBRID COMBINER (QTY/MODEL)					
DIPLEXER (QTY/MODEL)					
SCPA/MCPA MODULE?	CCISCPA 125W				
Additional Component1					
Additional Component2					
Additional Component3					
MAGNETIC DECLINATION					
HATCHPLATE POWER (Watts)	45				
ERP (Watts)	880				
Local Market Note1					
Local Market Note2					
Local Market Note3					



TYPICAL ANTENNA CABLE CONFIGURATION



COAX COLOR CODE TEMPLATE

NUM	DATE	DESCRIPTION:
A	10/26/10	ISSUED FOR REVIEW
O	11/2/10	ISSUED FOR CONSTRUCTION
1	04/11/11	ADDED LANDSCAPE PLAN
2	04/26/11	REVISED LANDSCAPE PLAN

HHI 16

COAX COLOR CODE TEMPLATE & RFDS



DESIGNED:	JTG
DRAWN:	JTG
CHECKED:	PWM
JOB #:	TCD125

E-6

RFDS

LARSON[®] CAMOUFLAGE

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VECTOR
 ENGINEERS
 9138 s. State St., Suite 101 (801) 990-1775
 Sandy, UT 84070 (801) 990-1776 FAX

DATE: 3/25/2011 DESIGNED: KGS DRAFTER: BAD

REVISIONS	
DATE	DESCRIPTION

HHI-16, SC 145' TALL MONOPINE

LARSON CAMOUFLAGE Job:
574100

LOCATION:
 101 MARSHLAND ROAD
 HILTON HEAD ISLAND, SC 29926
 BEAUFORT COUNTY

DRAWING INDEX

- T1 TITLE SHEET
- S1 ELEVATION VIEW & NOTES
- S2 DETAILS

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MAR 28 2011

TITLE SHEET

HHI-16, SC
 145' TALL MONOPINE
 101 MARSHLAND ROAD
 HILTON HEAD ISLAND, SC 29926
 SITE: 273267

U1223-147-111

T1

REV
 0

FUTURE TOP OF BRANCHES
145'-0" A.G.L.

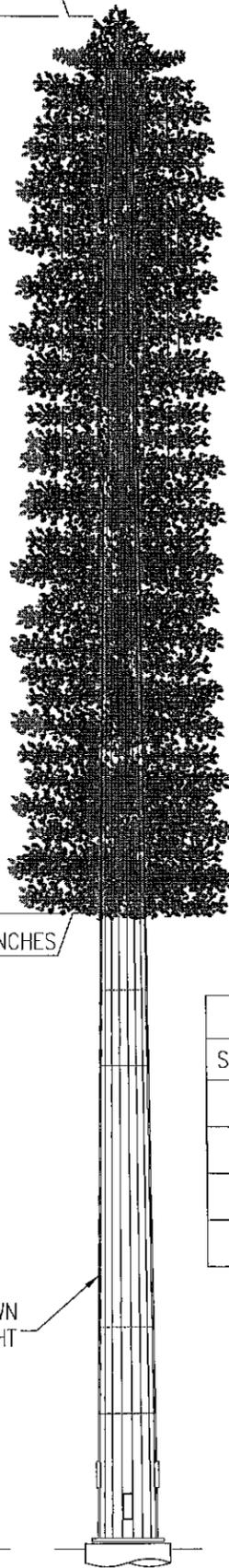
(12) ANTENNA BRANCHES
(20) 4'-0" BRANCHES
(95) 6'-0" BRANCHES
(78) 8'-0" BRANCHES
(35) 10'-0" BRANCHES

BRANCHES ARE FOR
ILLUSTRATIVE PURPOSES
ONLY AND ARE NOT
SHOWN TO SCALE.

BOTTOM OF BRANCHES
60'-0" A.G.L.

PAINTED BROWN
FULL HEIGHT

GROUND LEVEL
0'-0"



TOP OF STEEL
140'-0" A.G.L.

ANTENNA C.L.
135'-0" A.G.L.

ANTENNA C.L.
125'-0" A.G.L.

ANTENNA C.L.
115'-0" A.G.L.

ANTENNA C.L.
105'-0" A.G.L.

LAP SPLICE = 67"
(TOLERANCE=+20%, -0%)

LAP SPLICE = 86"
(TOLERANCE=+20%, -0%)

LAP SPLICE = 98"
(TOLERANCE=+20%, -0%)

EXIT PORT C.L.
7'-0" A.G.L.

EXIT PORT C.L.
4'-0" A.G.L.

GROUND LEVEL
0'-0"

LIGHTNING ROD, TYP.

TOP CAP PER DTL 1/S2

(12) 6' x 1' PANEL
ANTENNAS, TYP.

HAND HOLES PER
DTL 2/S2, TYP.

18-SIDED, TAPERED POLE,
SECTION 1 (SEE CHART)

18-SIDED, TAPERED POLE,
SECTION 2 (SEE CHART)

18-SIDED, TAPERED POLE,
SECTION 3 (SEE CHART)

18-SIDED, TAPERED POLE,
SECTION 4 (SEE CHART)

EXIT PORTS PER DTL 4/S2

EXIT PORTS PER DTL 3/S2

BASEPLATE PER DTL 5/S2

FOUNDATION BY OTHERS

MONOPOLE SECTION CHART					
SECTION	LENGTH	TOP Ø	BOTTOM Ø	THICKNESS	WEIGHT
1	50'-0"	29.00"	44.00"	0.313"	6.3 K
2	50'-0"	41.70"	56.70"	0.50"	13.3 K
3	40'-0"	53.55"	65.55"	0.625"	15.9 K
4	19'-11"	61.85"	67.83"	0.75"	10.6 K

ELEVATIONS

NT.S.

GENERAL DESIGN NOTES:

STRUCTURAL DESIGN IS BASED ON THE SOUTH CAROLINA BUILDING CODE, 2006 (2006 IBC) AND THE TIA-222-G STANDARD

DESIGN LOADS:

WIND:

BASIC WIND SPEED: 130 MPH (3-SEC GUST)
IMPORTANCE FACTOR: 1.00
STRUCTURE CLASS: II
EXPOSURE: C
TOPOGRAPHIC CATEGORY: 1
CREST HEIGHT: 0 FT

ICE: 0.25" RADIAL ICE THICKNESS @ 30 MPH (3-SEC GUST)

MATERIAL NOTES:

- 18-SIDED MONOPOLE SHAFT STEEL SHALL CONFORM w/ ASTM A572 GR. 65, U.N.O.
- BASE PLATE STEEL SHALL CONFORM w/ ASTM A572, GR 50, U.N.O.
- REINFORCED ACCESS PORT STEEL SHALL CONFORM w/ ASTM A572 GR. 65, U.N.O.
- ALL OTHER STEEL SHAPES & PLATES SHALL CONFORM w/ ASTM A36, U.N.O.
- ALL BOLTS FOR STEEL-TO-STEEL CONNECTIONS SHALL CONFORM w/ ASTM A325N, U.N.O.
- ALL ANCHOR BOLTS SHALL CONFORM w/ ASTM A615 GR. 75, U.N.O.
- ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE w/ THE LATEST VERSION OF THE AMERICAN WELDING SOCIETY AWS D1.1.
- ALL STEEL SURFACES SHALL BE GALVANIZED IN ACCORDANCE w/ ASTM A123 AND ASTM A153 STANDARDS.
- ALL BOLTED CONNECTIONS SHALL BE TIGHTENED TO "SNUG-TIGHT" CONDITION AS DEFINED BY THE AISC MANUAL.

BASE DESIGN REACTIONS:

MOMENT, M = 13,100 K-FT (1.6 WIND)
SHEAR, V = 135.0 K (1.6 WIND)
AXIAL, P = 94.0 K (1.2 DEAD + 1.0 ICE)



MAR 28 2011



DATE: 3/25/2011 DESIGNED: KGS DRAFTER: BAD

REVISIONS

DATE	DESCRIPTION

LARSON CAMOUFLAGE

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JOB #: 574100

ELEVATION VIEW & NOTES

HHI-16,SC

145' TALL MONOPOLE

101 MARSHLAND ROAD
HILTON HEAD ISLAND, SC 29926
SITE: 273267

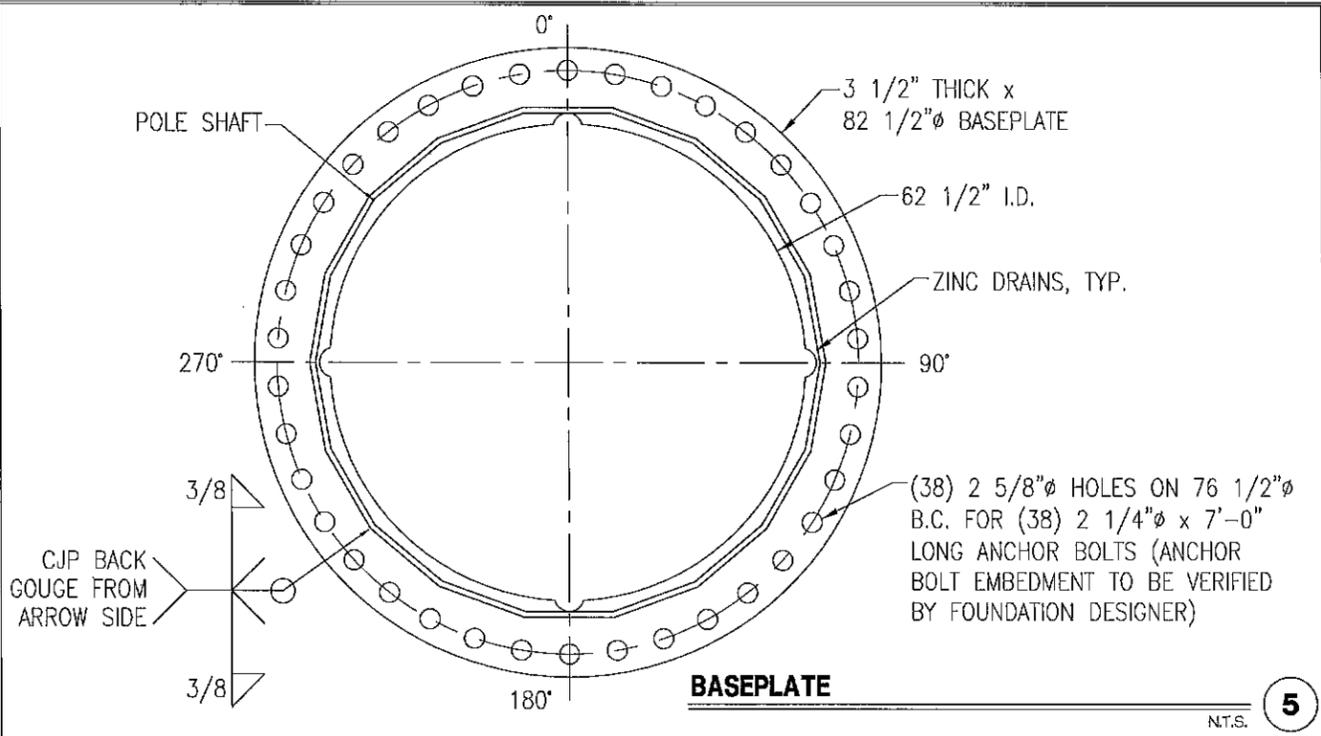
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S1

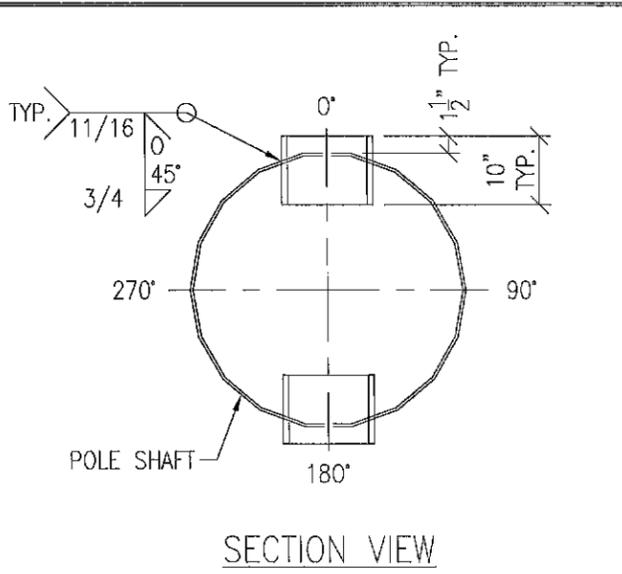
REV
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DATE: 3/25/2011 DESIGNED: KGS DRAFTER: BAD

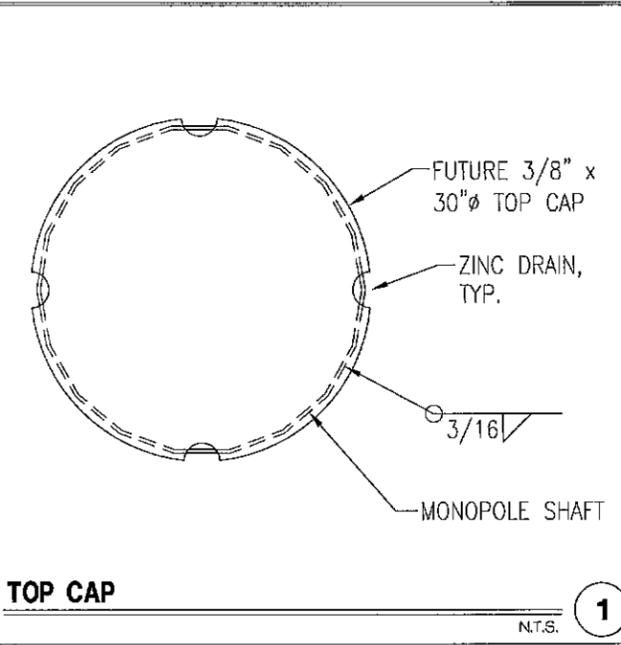
REVISIONS	
DATE	DESCRIPTION



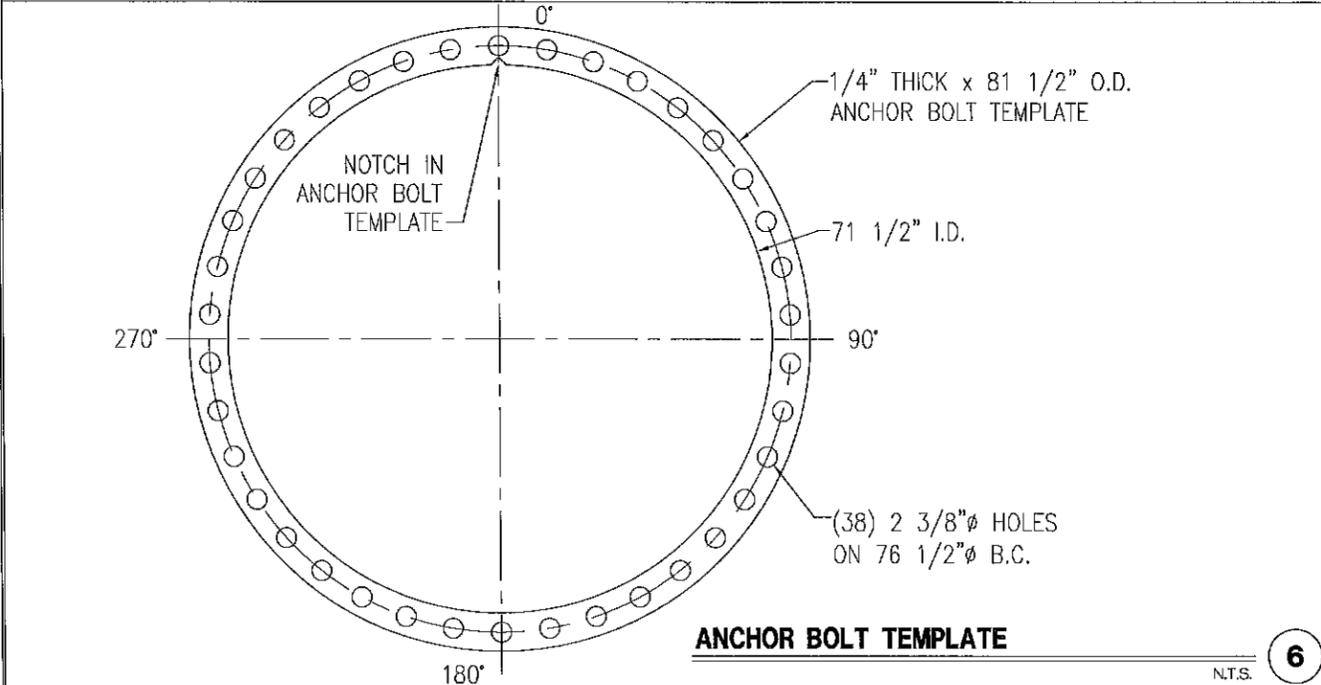
BASEPLATE N.T.S. **5**



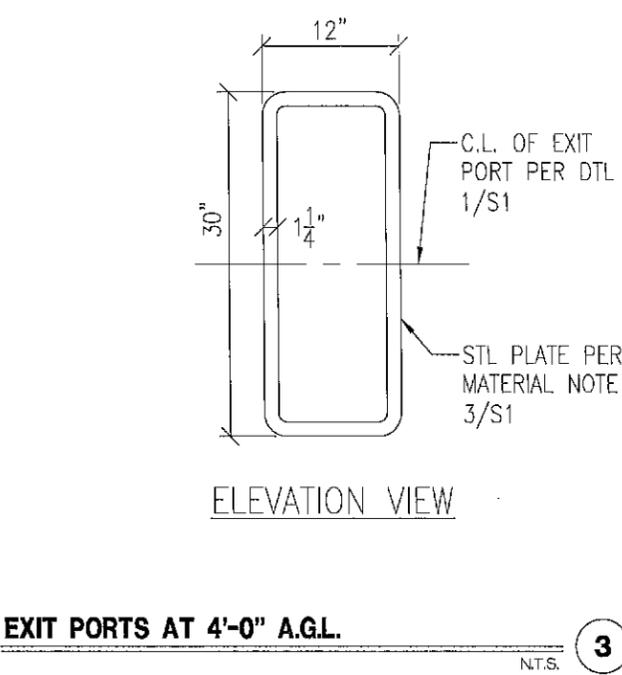
EXIT PORTS AT 4'-0" A.G.L. N.T.S. **3**



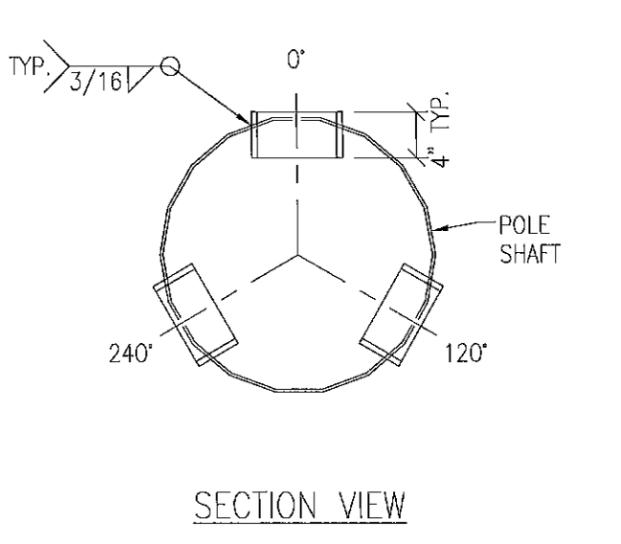
TOP CAP N.T.S. **1**



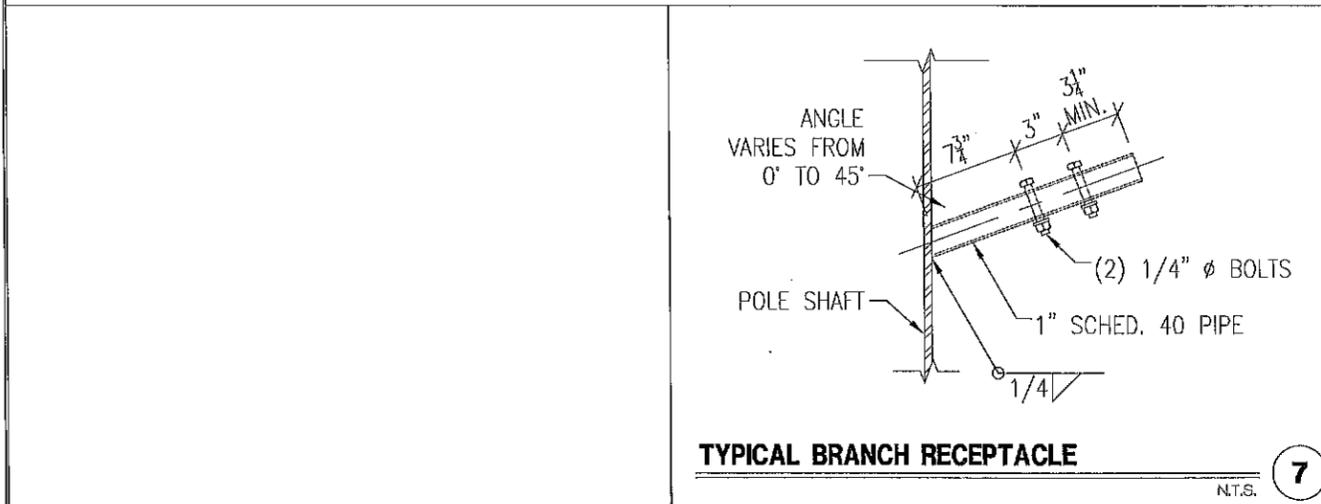
ANCHOR BOLT TEMPLATE N.T.S. **6**



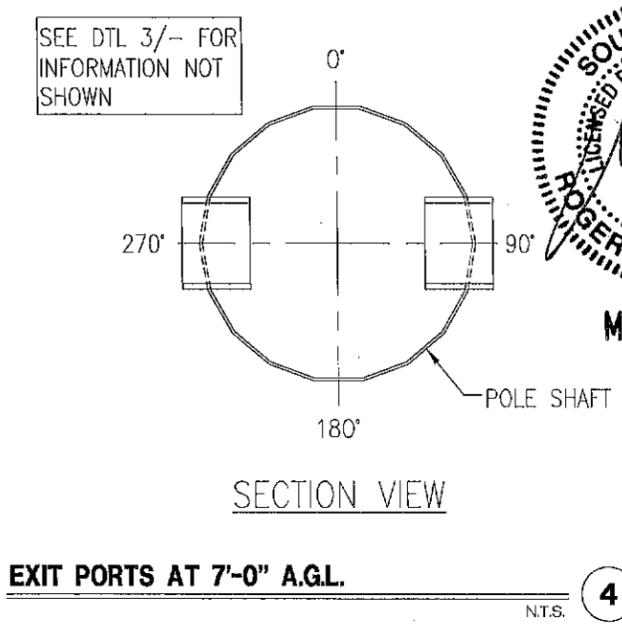
EXIT PORTS AT 7'-0" A.G.L. N.T.S. **4**



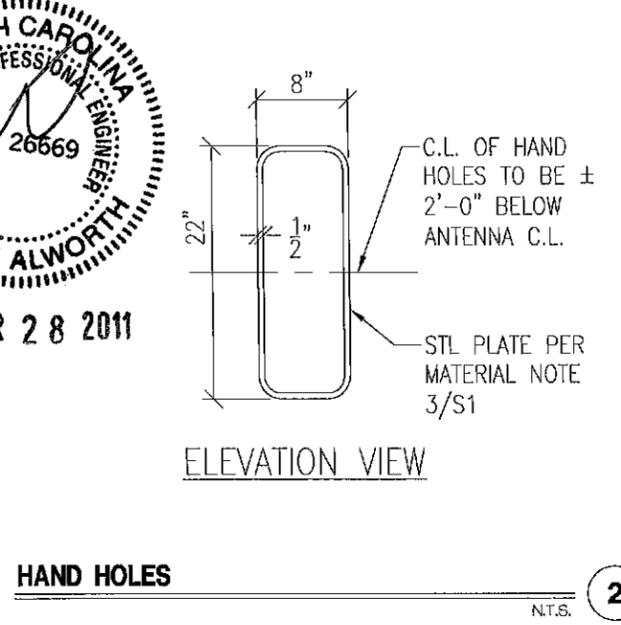
HAND HOLES N.T.S. **2**



TYPICAL BRANCH RECEPTACLE N.T.S. **7**



EXIT PORTS AT 7'-0" A.G.L. N.T.S. **4**



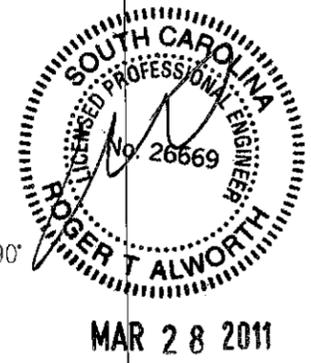
HAND HOLES N.T.S. **2**

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DETAILS
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 145 TALL MONOPINE
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S2 REV 0







02/07/2011



02/07/2011



02/07/2011



02/07/2011

DESIGN TEAM/ DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB),
and do not constitute DRB approval or denial*

PROJECT 1005 Marshland Road Cell Tower DRB# DR110022

DATE 5/10/2011 RECOMMEND APPROVE RECOMMEND APPROVE W/COND. RECOMMEND DENY

ARCHITECTURAL DESIGN

Construction of a new tower. Proposes a mono-pole to be camouflaged as an evergreen tree. Photographs provided of a comparable installation.

- Bottom of antennae “canopy” should be extended downward to reach top of existing tree canopy in the field.
- Top of equipment cabinet on the ground is 10’-0”. Proposed fence is proposed at 6’-0”. Any and all efforts should be made to obscure all ground equipment, including increasing the fence height, at the Board’s discretion
- No finish given on the fence detail. Should be painted or stained to complement the trim finishes on the adjacent Fire Station
- Should consider asphalt access drive for consistency of quality and materials at parking drive aisle

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/N/A	COMMENTS OR CONDITIONS
Structure is designed to be appropriate to the neighborhood		
Promotes pedestrian scale and circulation		
Design is unobtrusive and set into the natural environment		
Utilizes natural materials and colors		
Avoids distinctive vernacular styles		
Design is appropriate for its use		
All facades are have equal design characteristics		
Avoids monotonous planes or unrelieved repetition		
Has a strong roof form with enough variety to provide visual interest		
Minimum roof pitch of 6/12		
Overhangs are sufficient for the façade height.		
Forms an details are sufficient to reduce the mass of the structure		
Human scale is achieved by the use of proper proportions and architectural elements		
Utilizes a variety of materials, textures and colors		

Incorporates wood or wood simulating materials		
Windows are in proportion to the facade		
Details are clean, simple and appropriate while avoiding excessive ornamentation		
Utilities and equipment are concealed from view		
Decorative lighting is limited and low wattage and adds to the visual character		
Accessory elements are design to coordinate with the primary structure		

LANDSCAPE ARCHITECTURAL DESIGN

Proposed plan mitigates the fence and meets Natural Resources’ directives. Area between parking lot and fence should be screened, as well, to wrap around the corner at a minimal distance.

DESIGN GUIDE/LMO CRITERIA		
Treats the Landscape as a major element of the project		
Provides Landscaping of a scope and size that is in proportion to the scale of the development		
Landscape is designed so that it may be maintained in its natural shape and size		
Preserves a variety of existing native trees and shrubs		
Provides for a harmonious setting for the site’s structures, parking areas or other construction		
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)		
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project		
A variety of species is selected for texture and color		
Provides overall order and continuity of the Landscape plan		
Native plants or plants that have historically been prevalent on the Island are		

utilized		
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth		
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots		
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning		
Proposed groundcovers are evergreen species with low maintenance needs		
Large grassed lawn areas encompassing a major portion of the site are avoided		
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood		
Ornamentals and Annuals are limited to entrances and other focal points		

NATURAL RESOURCES PROTECTION

DESIGN GUIDE/LMO CRITERIA	COMPLIES YES/NO/NA	COMMENTS OR CONDITIONS
An effort has been made to preserve existing trees and under story plants	Yes	NR staff has reviewed the trees to be removed through onsite assessment. All trees proposed to be removed are in poor and/or declining health.
Supplemental and replacement trees meet LMO requirements for size, species and number	Yes	Replacement detailed on attached landscape plan meets established LMO requirements.
Wetlands if present are avoided and the required buffers are maintained	Yes	Wetlands are not present and buffers are being maintained.
Sand dunes if present are not disturbed	N/A	

MISCELLANEOUS COMMENTS/QUESTIONS
