



# **Town of Hilton Head Island Regular Design Review Board Meeting**

**Tuesday, October 23, 2012**

**1:15 p.m. – Benjamin M. Racusin Council Chambers**

## **AGENDA**

---

**As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.**

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of October 9, 2012**
- 6. Staff Report**
- 7. Board Business**
- 8. Unfinished Business**
- 9. New Business**
  - A. New Development
    - 1) DR 120024 – Fire Station #6 – FINAL
    - 2) DR 120029 – Jersey Mikes Subs - CONCEPTUAL
- 10. Appearance by Citizens**
- 11. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island  
Design Review Board  
Minutes of the Tuesday, October 9, 2012 Meeting  
1:15p.m – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,  
Jake Gartner, Tom Parker, Jennifer Moffett, and Galen Smith

Board Members Absent: Todd Theodore, Excused

Council Members Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Teri Lewis, LMO Official  
Richard Spruce, Plans Review Administrator  
Kathleen Carlin, Secretary

---

**1. Call to Order**

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

The Board **approved** the agenda as presented by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the September 11, 2012 meeting as presented by general consent.

**6. Staff Report**

Ms. Ray reported that the staff will provide Board training immediately following the DRB meeting on October 23rd. The training on Design Guidelines is expected to last approximately one hour.

**7. Board Business**

None

**8. Unfinished Business**

None

**9. New Business**

Marriott Harbour Point & Sunset Pointe Alteration & Addition DR120028

Ms. Ray introduced the application and stated its location, 4 Shelter Cove Lane. The proposed project consists of renovating the resort's adult pool area and grill area to create an updated and more attractive experience for guests of the resort.

Ms. Ray presented an in-depth overhead review of the application including aerial photographs of the site and photographs of the existing pool area and gazebo. The proposed pool modifications will remain in character with the project's surrounding materials and finishes. Ms. Ray presented the applicant's proposed materials and color palette. Modifications will be made to the pool deck, the pool finish, coping surround, and waterline tile. Minimal site disturbance is planned as the limits of the new pool and the new pool deck do not exceed the limits of the existing pool and pool deck footprints.

Ms. Ray described the location of the adult pool area, the existing gazebo, grill area and the stepping stone walkway. The renovated grilling area is located adjacent to the existing feature pool. Currently there are free standing grills and concrete stepping stones within the area. Alterations to the space include a new summer kitchen, permeable paver patio for tables and chairs, and a new concrete walk for ADA accessibility to the existing walks. The existing entrance walk will be reconfigured to have a more direct access. Permeable pavers with steel edge restraints will be used at the summer kitchen patio.

The grill area will be constructed of a brick veneer on the front and sides. The brick will match the existing fire pit on site. The back of the grill area will be stucco and the counter tops will be granite. The applicant is proposing to use the same pavers as existing which are an oyster shell tabby.

Ms. Ray stated that the location of the existing ornamental fence that runs along the property line will need to be adjusted slightly to accommodate the new summer kitchen. Ms. Ray reported that an approval letter for the project has been received from the Shelter Cove Harbour Point ARB. The staff recommended that the application be approved. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Trey Griffin, Landscape Architect with Wood + Partners, presented statements in support of the application. Mr. Griffin stated that the design of the project is intended to provide a more organized and useable space while maintaining the resort's existing character. Mr. Griffin and the Board discussed several issues including the brick color, the new shower, and details regarding the fence. Mr. Griffin presented a sample of the brick that will be used. The Board complimented the applicant on the quality of the project. Following the Board's discussion, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion** to **approve** Marriott Harbour Point & Sunset Pointe application DR120028 as submitted. Mr. Gartner **seconded** the motion and the motion **passed** with a vote of 5-0-0.

## 10. Appearance by Citizens

None

**11. Adjournment**

The meeting was adjourned at 1:45p.m.

Submitted By:

Approved By:

October 23, 2012

---

Kathleen Carlin  
Secretary

---

Scott Sodemann  
Chairman

DRAFT



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
Linked App. #:	_____
Project Mgr:	_____
Fees:	_____

## APPLICATION PACKET FOR COMMERCIAL BUILDING AND SITE REVIEW PERMIT

<input checked="" type="checkbox"/> <b>New Structure(s)</b>	<input type="checkbox"/> <b>Addition</b>	<input type="checkbox"/> <b>Hotel/Motel</b>	<input type="checkbox"/> <b>Multi-Family</b>	<input type="checkbox"/> <b>Accessory</b>
---	--	---	--	---

Project Name: Hilton Head Island Fire Rescue Station #6 Project Address: 12 Dalmatian Lane

Parcel Number [PIN]: R 5 2 0 - 0 1 2 - 0 0 0 - 0 0 1 9 - 0 0 0 0 Project Acreage: 1.4

Zoning District: PD-1 Overlay District(s): \_\_\_\_\_ Flood Zone: C

Land Owner Name: Town of Hilton Head Island (Mr. Julian Walls) Phone #: 843-342-4587

Address: One Town Center Court, Hilton Head Island SC 29928 Email: julianw@hiltonheadislandsc.gov

### INSTRUCTIONS FOR COMPLETING APPLICATION:

A Staff Project Manager will be assigned to you to assist in processing this application and to be your only Point of Contact throughout the entire project. This Project Manager will also inform you of any boards that require review of the application, and will assist in determining which of the requirements of this application apply to the project.

Prior to submittal for a permit, an optional **Pre-Application Meeting** is highly recommended. At this meeting, you may provide very general, conceptual ideas to Town Staff to better assist you in submitting items for site development or building permitting. Your Project Manager can assist you with this process.

This form is organized for different submissions at different times. The following explains which pages should be submitted for different phases of the project:

Page 1: submitted in the beginning of the project for all general information on the project.

Page 2: for Design Review Board approval (**Phase 1**), if applicable. This is for landscaping and exterior appearance.

Pages 3-6: for Site Plan Review (otherwise known as DPR) (**Phase 2**). Fill out all pages in green.

Pages 7-9: for Building Plan Review approval (**Phase 3**). Fill out all pages in blue.

Pages 10-11: for Final Inspection, Sub Roster and Certificate of Occupancy (**Phase 4**) after the project is completed and all obligations to the Site Plans & Building Plans have been met. Fill out all pages in purple.

#### Fees:

Please see [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov) for all Application fees. The Town accepts cash or check made Payable to Town of Hilton Head Island. Credit cards are accepted as payment for some items.

This form with its separate sections can be found on the Town's Website at [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov). You may print only those pages necessary for submission.

**Digital Submissions are highly encouraged and may be accepted via email (send to [cdic@hiltonheadislandsc.gov](mailto:cdic@hiltonheadislandsc.gov)) or other electronic means.**

## PHASE 1. DESIGN REVIEW BOARD SUBMITTAL REQUIREMENTS

**Note: Staff will check which documents are required for submittal.**

**Standard Required Items:**

Private Architectural Review Board (ARB) Notice of Action. Submitting an application to the ARB for their notice of action is the responsibility of the applicant.

**For New Development—Conceptual Approval:**

If not previously submitted, a survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of the LMO, and if applicable, location of bordering streets, marshes and beaches.

If not previously submitted, a site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

Context photographs of neighboring uses and architectural styles.

If not previously submitted, conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines, setback angles and landscaping.

**For New Development – Final Approval:**

A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

Final site development plan meeting the requirements of Sec. 16-3-303.F.

Final landscaping plans meeting the requirements of Sec. 16-3-304.

Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

**Alterations/Additions and Minor External Changes:**

Photographs and/or drawings of existing development.

Drawings of the proposed development – 11"x 17".

Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

Print Name Matthew T. Brown Agent Signature: 

Phone Number 704-865-6311 Email mbrown@scn-architects.com

Date: 10/09/2012

October 5, 2012

Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island SC 29928

RE: Final Design Review Board Narrative  
Hilton Head Island Fire Rescue Station #6  
New Construction

Dear Design Review Board Members,

This letter is to document, per the DRB submittal requirements, how the construction of the new HHI Fire Station #6 conforms to the Town's conceptual approval and design review guidelines set forth in Section 16-4-503.

On September 11<sup>th</sup>, 2012, the board reviewed and approved the conceptual design package presented in reference to this project with comments to look at treating the sidewalk along Dalmatian Lane more in line with HHI standards as well as paying close attention to the creation of the 30'-0" buffer between the Station and St. Andrew's Commons. These comments have been addressed to the greatest extent possible in the Final Submittal.

Regarding the Town's Design Guidelines, we have prepared the following bullet point list to explain how the project meets the inherent goals of the Design Guide.

- Preserve significant existing site features, trees and vegetation – The site selected for this project was previously cleared of most vegetation. The design team took note of the remaining vegetation and worked to maintain as much of the existing trees and vegetation as possible during the site planning. Additionally, we endeavored to keep the limits of construction within the limits of the previously cleared areas so as not to remove additional trees and vegetation.
- Treat the landscape as a major element of the project – As with the past 4 fire stations designed for the Town, we have brought a local and experienced Civil Engineer and Landscape Architect on board the design team to ensure that the site and landscaping are laid out in a way which enhances the project in a major way rather than be a simple backdrop for the architecture.

- Provide landscaping of a scope and size that is in proportion to the scale of the development – The landscape plan and details provides a design which will fit the new site with appropriate vegetation whether it be larger trees for shading/screening or low shrubs to allow views out from the station. All aspects of the landscaping have been thought through to provide appropriately scaled plantings.
- Design and maintain landscaping in its natural shape and size – The landscaping has been designed to utilize local, drought tolerant vegetation to ensure that the plantings remain hardy and prominent. Additionally, the drought tolerant plantings serve to reduce the need for potable water use for irrigation and thus are ecologically sustainable reinforcing the station’s attempt for LEED certification.
- Design structures appropriate for their use and neighborhood – The structure is a reproduction of the prototype developed between Stewart Cooper Newell, the Town, and the Fire Rescue Department. This station and the 4 previous stations constructed are sized to accommodate the needs of the Department without excess and the aesthetics are designed to fit with the surrounding community.
- Promote pedestrian scale and circulation – This project will include the creation of a new road, Dalmatian Lane, which will connect the station to Queen’s Folly Road. As part of the extension, the intersection at Queen’s Folly has been redesigned to promote healthy traffic flow and safe pedestrian interaction. A pedestrian bike/walk has been provided along Dalmatian Lane to provide public access to the station for visits, education, and any additional events that may occur at the station geared toward public interaction.
- Demonstrate the fundamental principles of good architectural design – The design of the station has been constructed in similar fashion at 4 locations. These facilities are designed to meet the needs of the Department, provide efficient use of the site, and include materials and finishes that minimize maintenance and upkeep. These principles provide a building which allows the staff to focus on training and responding to calls rather than upkeep. Additionally, the materials selected are durable and built to stand up to the harsh environment providing a safe place for staff to work. The systems within the station are also designed to minimize the ecological impact of the station and promote a sustainable working environment.
- Design structures with subtle visual impact and utilize natural materials, textures, and colors – The previous stations have proven to be clad in such a way as to blend with the surrounding landscape and built environment. This station will be no different with the use of earth toned exterior finishes and a light roof color matching the surrounding tree canopy.
- Provide lighting that is adequate for safety and enhances the site – The design team is working closely with Palmetto Electric Cooperative to ensure that their site lighting design fits the Town’s standards. Additionally, the lighting will be designed to prevent light from leaving the site limits and “polluting” the neighboring properties. The design will also minimize up lighting to meet the requirements of the LEED certification.



- Coordinate and harmonize the design of structures, parking and site amenities – The design team has worked closely with one another to ensure that the original layout provided by the Town will be constructed to be efficient and functional while promoting safe interaction of pedestrian and vehicular traffic with that of the fire response apparatus.
- Provide continuity of design on all facades of the building – All exterior elevations have been fully designed to carry the aesthetics of the front façade around to the remaining 3 sides.
- Conceal visually undesirable utilities and equipment – All exterior equipment will be screened with landscaping to minimize both visual and audible contact with the public and the neighboring properties.

Thank you for your time and consideration and we look forward to teaming with the Town and the General Contractor to construct a handsome new facility that will serve the community for decades to come.

Sincerely,

Matthew T. Brown  
Project Manager

CMU2



R1



R2



P1

P2

BI



CMU1

G1

NEW FIRE STATION #6 FOR  
TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA

# EXTERIOR MATERIALS

EXTERIOR MATERIALS

TAG	DESCRIPTION	MANUF/COLOR	PHOTO TAG
(B)	BRICK VENEER	FINE HALL/LIBERTY ROSE	B1
(C)	SPLIT-FACE CMU	CEMEX/COCOA	CMU1
(C2)	SPLIT-FACE CMU	CEMEX/BUCKSKIN	CMU2
(R)	MTL ROOF PANEL	BERRIDGE/HEMLOCK GREEN	R1
(R2)	MTL SOFFIT PANEL	BERRIDGE/WHITE	R2
(R)	GUTTERS/COPING	BERRIDGE/HEMLOCK GREEN	R1
(D)	OVERHEAD DOORS	SW/ROCKWOOD RED	F1
(D2)	MTL DOORS	SW/ROCKWOOD RED	F1
(D3)	ALUMINUM DOORS	SW/ROCKWOOD RED	F1
(W)	ALUMINUM WINDOWS	SW/ROCKWOOD RED	F1
(L)	ALUMINUM LOUVERS	SW/ROCKWOOD RED	F1
(M)	MTL BRACKETS & BOLLARDS	SW/ROCKWOOD RED	F1
(T)	CEMENT TRIM & COLUMNS	SW/PRACTICAL BEIGE	F2
(G)	GLASS	PPG/SOLARBAN 10XL	G1
(S)	SOLAR COLLECTOR	TISUN SOLAR PANELS	
SW = SHERWIN WILLIAMS			



1 FRONT (NORTHWEST) ELEVATION  
5.10 SCALE 1/8" = 1'-0"



3 RIGHT (NORTHEAST) ELEVATION  
5.10 SCALE 1/8" = 1'-0"



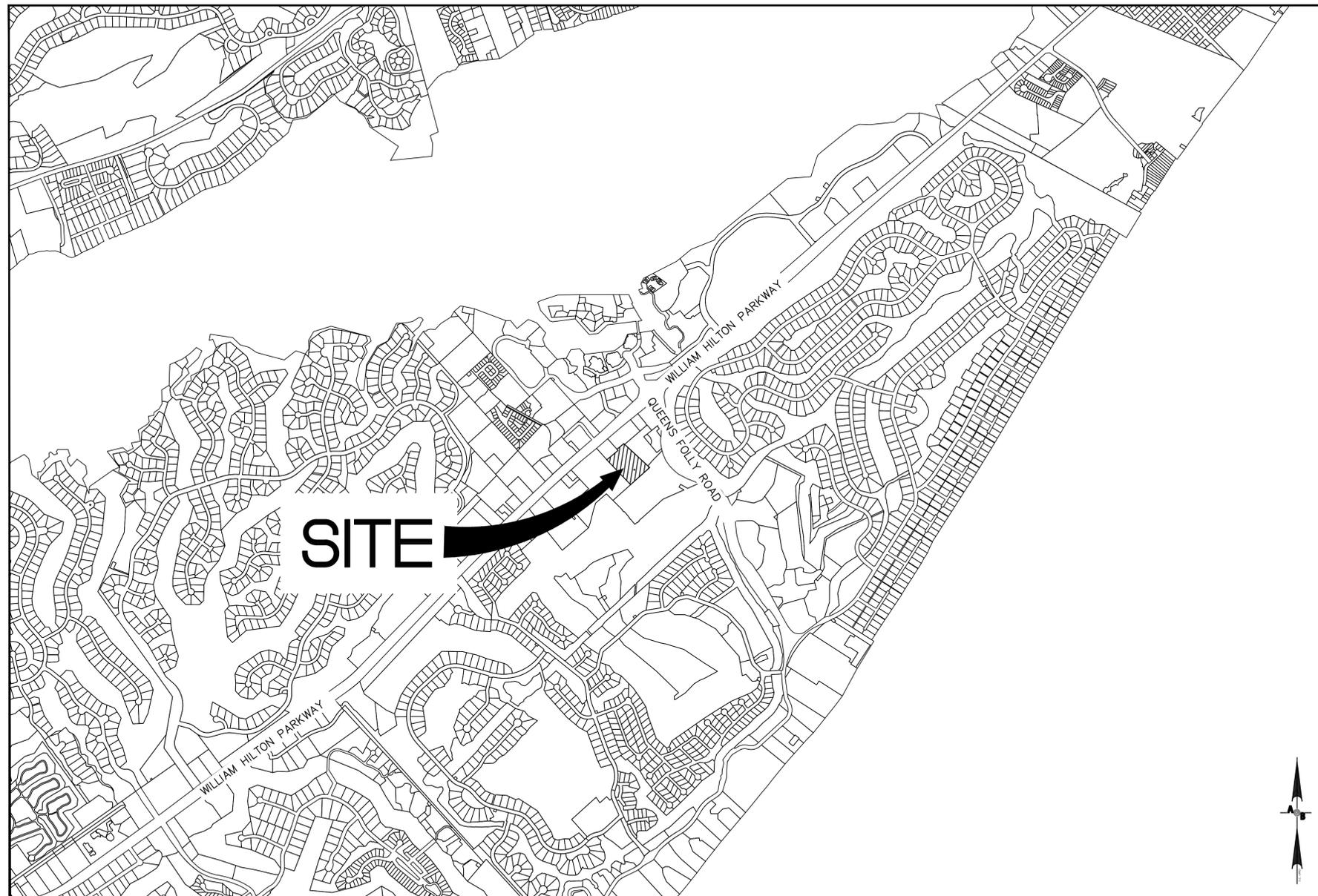
2 LEFT (SOUTHWEST) ELEVATION  
5.10 SCALE 1/8" = 1'-0"



4 BACK (SOUTHEAST) ELEVATION  
5.10 SCALE 1/8" = 1'-0"

# SITE DEVELOPMENT PLANS HILTON HEAD FIRE STATION NO. 6

TOWN OF HILTON HEAD  
BEAUFORT COUNTY, SC



VICINITY MAP  
SCALE: 1"=1000'

NP.D.E.S. DISTURBED AREA = 14 ac

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA  
**CALL 1-888-721-7877**  
PALMETTO UTILITY PROTECTION SERVICE

**APPROXIMATE LOCATION OF SITE:**

LATITUDE: 32°10'32"  
LONGITUDE: 80°43'40"

**DEVELOPER NAME:**

NAME: CHIEF LAVERN LUCAS  
COMPANY: TOWN OF HILTON HEAD FIRE DEPT.  
ADDRESS: ONE TOWN CENTER COURT  
CITY/STATE/ZIP: HILTON HEAD ISLAND, SC 29928  
PHONE #: 843-247-3736

**PROJECT DATA INFORMATION:**

PROJECT NAME: HILTON HEAD FIRE STATION NO. 6  
DISTRICT # R520  
MAP # 012  
PARCEL # 0019  
PROJECT ZONING: PD-1  
ZONING BOUNDARIES: PD-1  
FEMA FLOOD ZONE: C

**PHONE #:**

H.H.P.S.D. 843.681.5525  
D.H.E.C. 843.522.3345  
O.C.R.M. 843.744.5898  
S.C.D.O.T. 843.524.7255  
PALMETTO ELEC. 843.681.5551

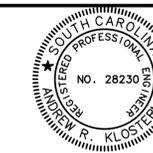
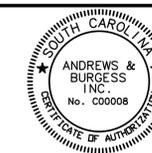
**PERMIT#:**

-----  
-----  
-----  
-----  
-----

**APPROVED FOR CONSTRUCTION**

BY: \_\_\_\_\_ / /  
DATE

**Andrews & Burgess Inc.**  
Engineering & Surveying  
40A Shanklin Road  
Beaufort, SC 29906  
843.466.0369  
Fax 843.466.0369



THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE COPYRIGHTED PROPERTY OF ANDREWS AND BURGESS, INC. THE USE OR REPRODUCTION OF THESE PLANS OR THEIR CONTENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.

**INDEX OF DRAWINGS**

SHEET #	DESCRIPTION
	TITLE SHEET
	LEGEND AND NOTES
1	EXISTING SITE PLAN
2	DEMOLITION PLAN
3	OVERALL SITE PLAN
4	SEDIMENT & EROSION CONTROL PLAN
5	TREE PROTECTION PLAN
6	HORIZONTAL CONTROL PLAN I
7	HORIZONTAL CONTROL PLAN II
8	WATER & SEWER PLAN
9	DRAINAGE PLAN
10	GRADING PLAN I
11	GRADING PLAN II
12	PAVING DETAILS 1
13	PAVING DETAILS 2
14	DRAINAGE & UTILITY DETAILS

**DRAWING RELEASED FOR:**

PLAN REVIEW \_\_\_\_\_ 10\_/\_09\_/\_2012\_  
 PERMIT DRAWINGS \_\_\_\_\_  
 CONSTRUCTION DRAWINGS \_\_\_\_\_  
 BID SET \_\_\_\_\_  
 RECORD DRAWINGS \_\_\_\_\_  
 OTHER: \_\_\_\_\_

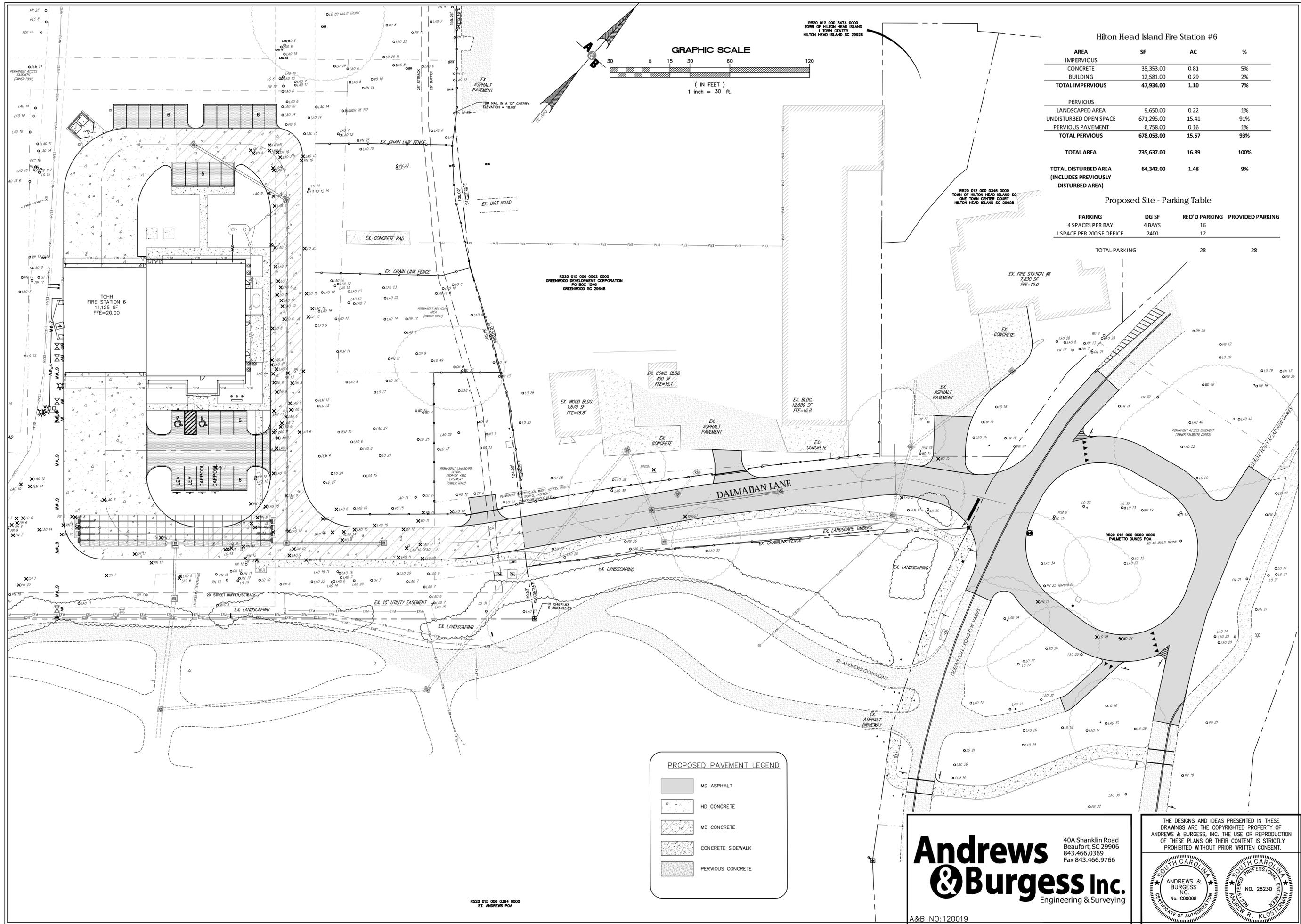
**PLAN REVISIONS**

NO.	DESCRIPTION:	DATE:	BY:
△	-	-	-
△	-	-	-
△	-	-	-
△	-	-	-
△	-	-	-
△	-	-	-
△	-	-	-

ALL WORKMANSHIP AND MATERIAL FOR THESE PLANS MUST CONFORM WITH SOUTH CAROLINA DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION EDITION OF 2007 AND BOOK OF STANDARD DRAWINGS FOR ROAD CONSTRUCTION.







Hilton Head Island Fire Station #6

AREA	SF	AC	%
IMPERVIOUS			
CONCRETE	35,353.00	0.81	5%
BUILDING	12,581.00	0.29	2%
<b>TOTAL IMPERVIOUS</b>	<b>47,934.00</b>	<b>1.10</b>	<b>7%</b>
PERVIOUS			
LANDSCAPED AREA	9,650.00	0.22	1%
UNDISTURBED OPEN SPACE	671,295.00	15.41	91%
PERVIOUS PAVEMENT	6,758.00	0.16	1%
<b>TOTAL PERVIOUS</b>	<b>678,053.00</b>	<b>15.57</b>	<b>93%</b>
<b>TOTAL AREA</b>	<b>735,637.00</b>	<b>16.89</b>	<b>100%</b>
<b>TOTAL DISTURBED AREA (INCLUDES PREVIOUSLY DISTURBED AREA)</b>	<b>64,342.00</b>	<b>1.48</b>	<b>9%</b>

Proposed Site - Parking Table

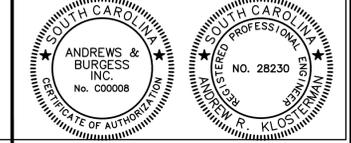
PARKING	DG SF	REQ'D PARKING	PROVIDED PARKING
4 SPACES PER BAY	4 BAYS	16	
1 SPACE PER 200 SF OFFICE	2400	12	
<b>TOTAL PARKING</b>		<b>28</b>	<b>28</b>

PROPOSED PAVEMENT LEGEND

- MD ASPHALT
- HD CONCRETE
- MD CONCRETE
- CONCRETE SIDEWALK
- PERVIOUS CONCRETE

**Andrews & Burgess Inc.**  
Engineering & Surveying  
40A Shanklin Road  
Beaufort, SC 29906  
843.466.0369  
Fax 843.466.9766

THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE COPYRIGHTED PROPERTY OF ANDREWS & BURGESS, INC. THE USE OR REPRODUCTION OF THESE PLANS OR THEIR CONTENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.



Project No.  
1177

Date  
10.09.12  
Drawn  
Checked  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT. THIS DRAWING IS NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.

PRELIMINARY NOT FOR CONSTRUCTION

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046  
9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**  
www.scn-architects.com  
1.800.671.0621

PRELIMINARY NOT FOR CONSTRUCTION

NEW FIRE STATION #6 FOR TOWN OF HILTON HEAD ISLAND HILTON HEAD ISLAND, SOUTH CAROLINA  
OVERALL SITE PLAN

sheet 3

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.

THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. IS PROHIBITED.

PRELIMINARY NOT FOR CONSTRUCTION

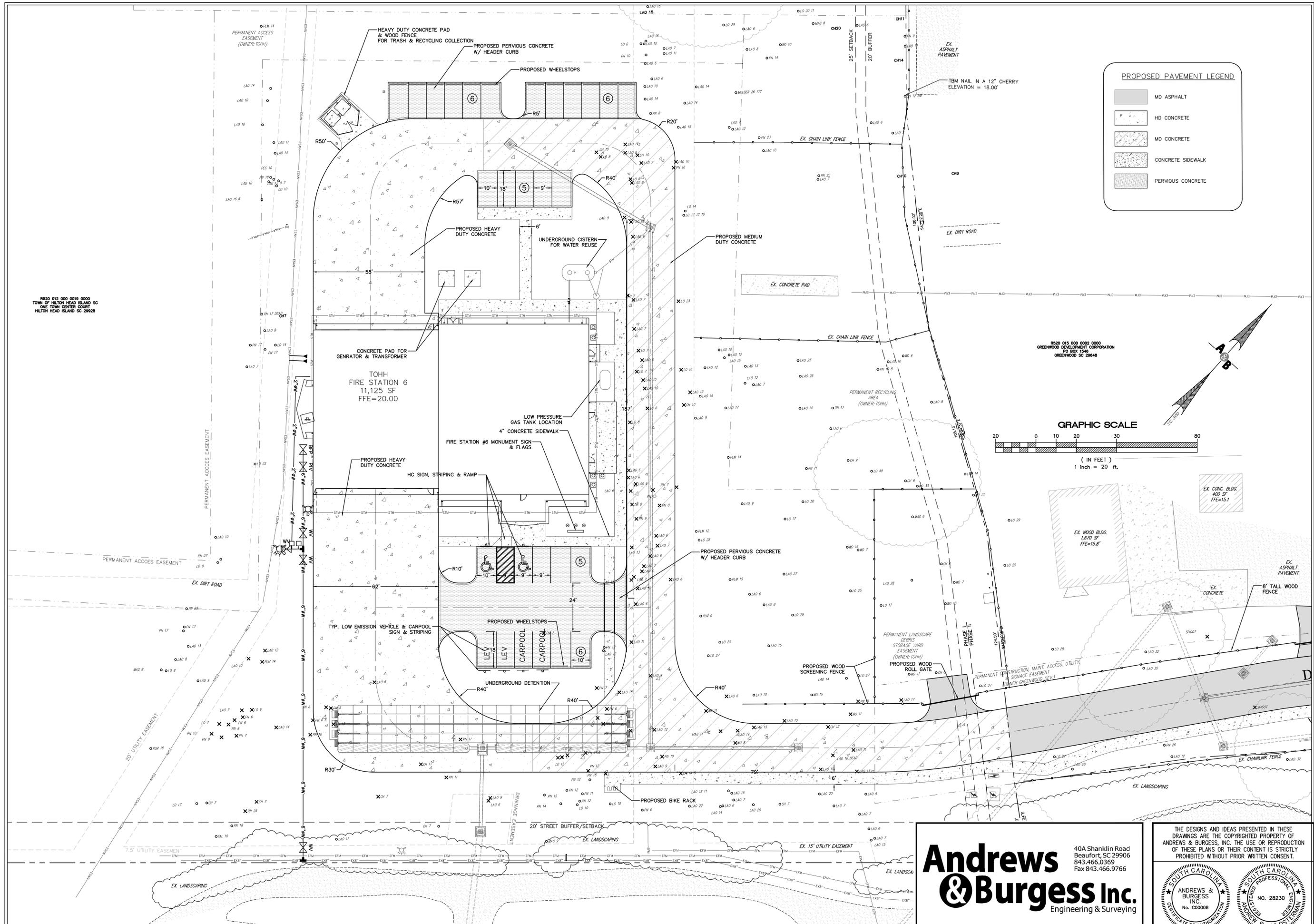
719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**  
www.scn-architects.com  
1.800.671.0621

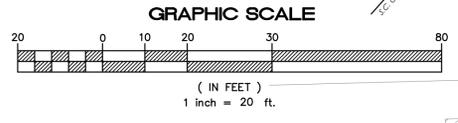
PRELIMINARY NOT FOR CONSTRUCTION

NEW FIRE STATION #6 FOR TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA  
HORIZONTAL CONTROL PLAN I



**PROPOSED PAVEMENT LEGEND**

	MD ASPHALT
	HD CONCRETE
	MD CONCRETE
	CONCRETE SIDEWALK
	PERVIOUS CONCRETE



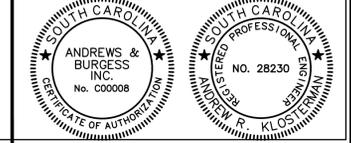
R520 012 000 0019 0000  
TOWN OF HILTON HEAD ISLAND SC  
ONE TOWN CENTER COURT  
HILTON HEAD ISLAND SC 29928

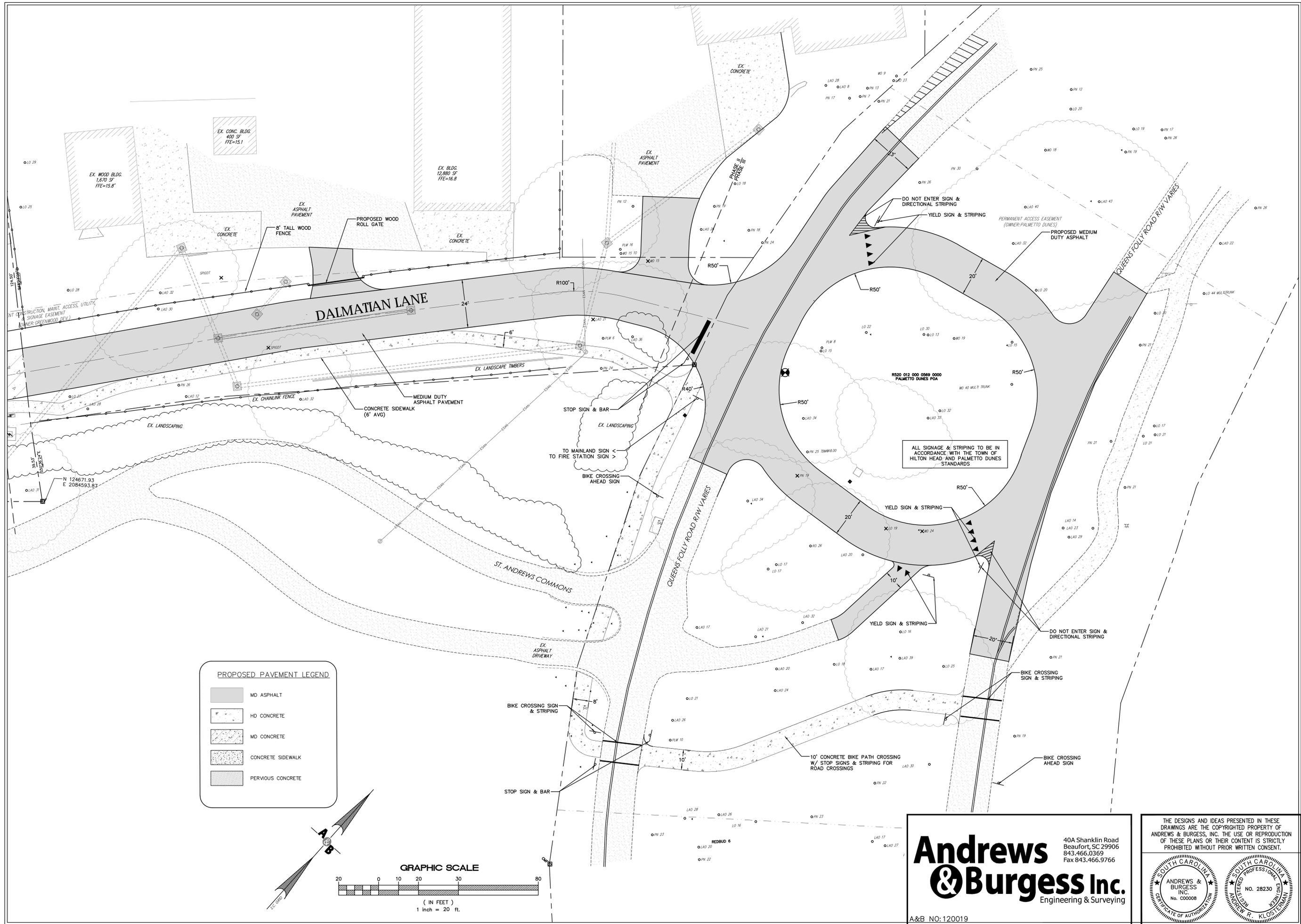
R520 015 000 0002 0000  
GREENWOOD DEVELOPMENT CORPORATION  
PO BOX 1246  
GREENWOOD SC 29648

**Andrews & Burgess Inc.**  
Engineering & Surveying

40A Shanklin Road  
Beaufort, SC 29906  
843.466.0369  
Fax 843.466.9766

THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE COPYRIGHTED PROPERTY OF ANDREWS & BURGESS, INC. THE USE OR REPRODUCTION OF THESE PLANS OR THEIR CONTENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.





Project No.  
1177

Date  
10.09.12

Drawn

Checked

Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.

THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT. NO REPRODUCTION OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT THE WRITTEN CONSENT OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.

PRELIMINARY NOT FOR CONSTRUCTION

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**

www.scn-architects.com

1.800.671.0621

PRELIMINARY NOT FOR CONSTRUCTION

NEW FIRE STATION #6 FOR TOWN OF HILTON HEAD ISLAND  
 HILTON HEAD ISLAND, SOUTH CAROLINA

HORIZONTAL CONTROL PLAN II

sheet 7

**Andrews & Burgess Inc.**  
 Engineering & Surveying

40A Shanklin Road  
 Beaufort, SC 29906  
 843.466.0369  
 Fax 843.466.9766

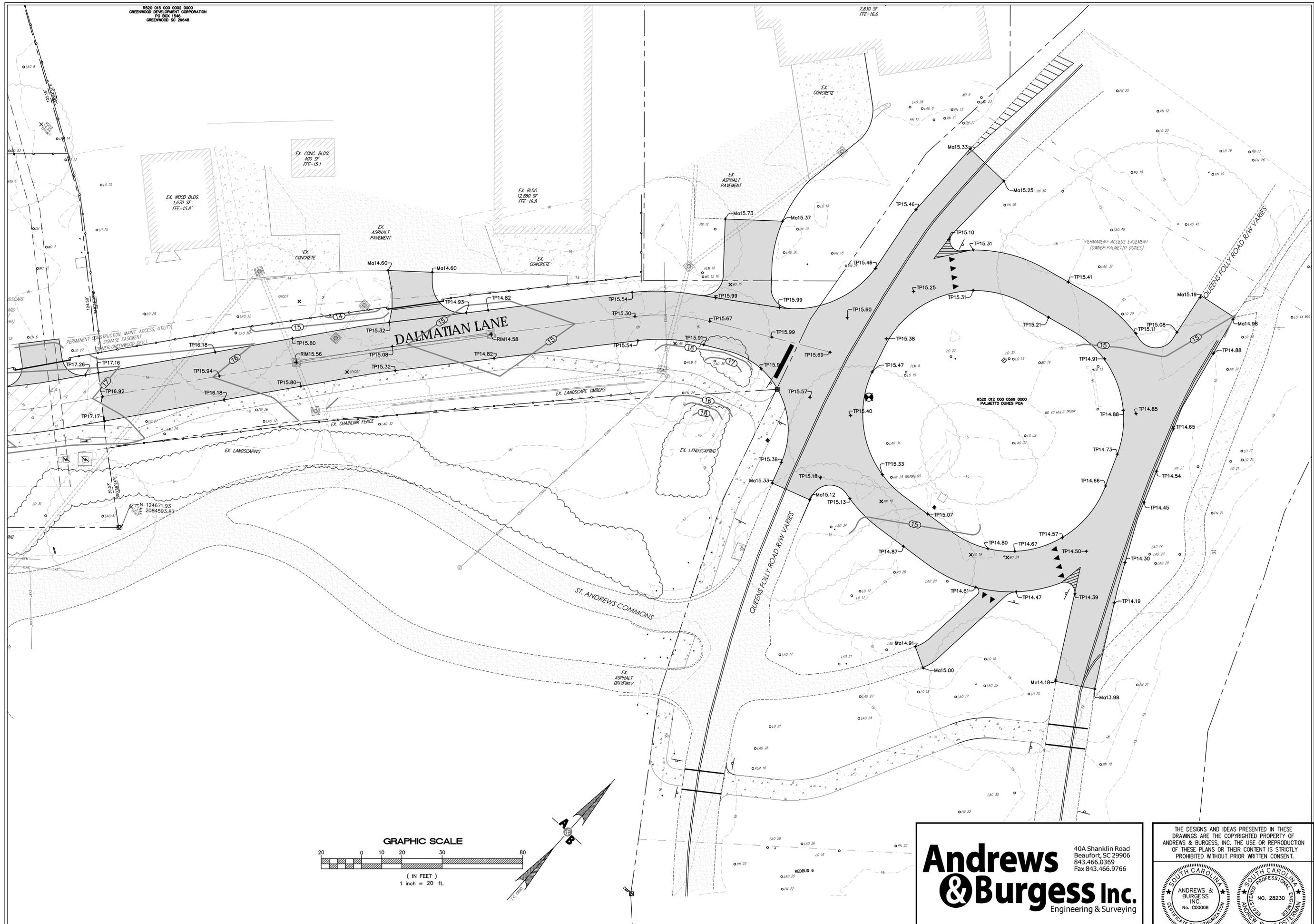
A&B NO:120019

THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE COPYRIGHTED PROPERTY OF ANDREWS & BURGESS, INC. THE USE OR REPRODUCTION OF THESE PLANS OR THEIR CONTENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.

**ANDREWS & BURGESS INC.**  
 No. 030008

**ANDREWS & BURGESS INC.**  
 No. 28230





R520 015 000 0002 0000  
 GREENWOOD DEVELOPMENT CORPORATION  
 PO BOX 1546  
 GREENWOOD SC 29648

7,830 SF  
 FFE=16.6

EX. CONC. BLDG.  
 400 SF  
 FFE=13.1

EX. WOOD BLDG.  
 1,670 SF  
 FFE=13.8'

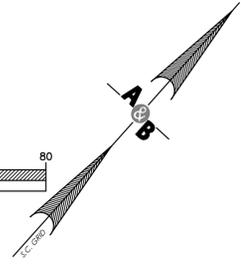
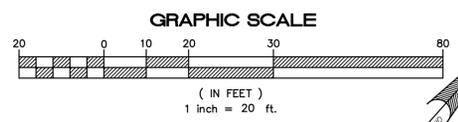
EX. BLDG.  
 12,880 SF  
 FFE=16.6

**DALMATIAN LANE**

ST. ANDREWS COMMONS

QUEEN'S FOLLY ROAD R/W VARIES

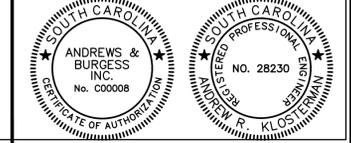
QUEEN'S FOLLY ROAD R/W VARIES



**Andrews & Burgess Inc.**  
 Engineering & Surveying

40A Shanklin Road  
 Beaufort, SC 29906  
 843.466.0369  
 Fax 843.466.9766

THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE COPYRIGHTED PROPERTY OF ANDREWS & BURGESS, INC. THE USE OR REPRODUCTION OF THESE PLANS OR THEIR CONTENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.



Project No.  
 1177

Date  
 10.09.12

Drawn

Checked

Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.

THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

719 East Second Avenue  
 Gastonia, NC 28054  
 Phone: 704.865.0311  
 Fax: 704.865.0046

9133 Two Notch Road  
 Columbia, SC 29223  
 Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**

www.scn-architects.com

1.800.671.0621

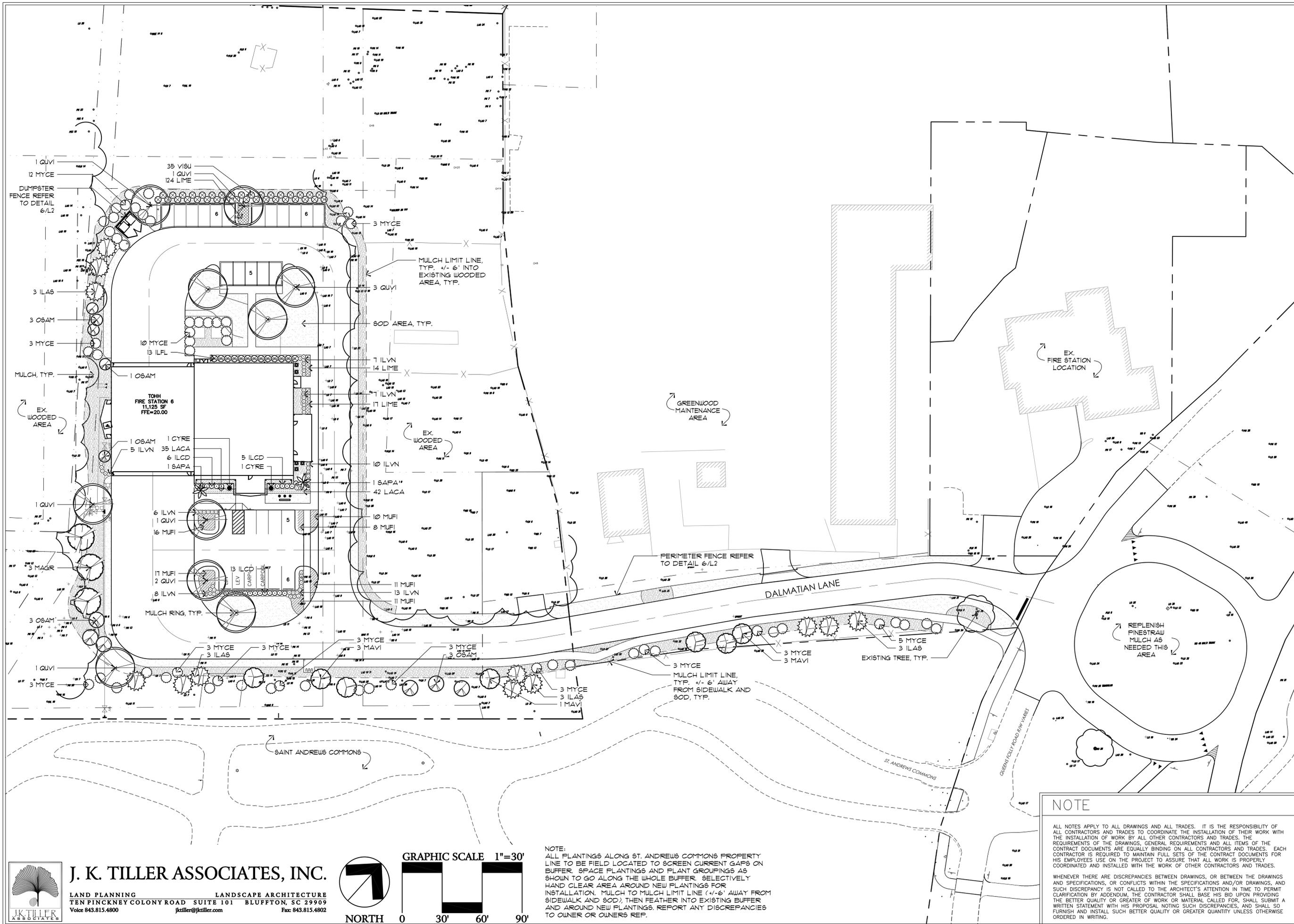
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

NEW FIRE STATION #6 FOR  
 TOWN OF HILTON HEAD ISLAND  
 HILTON HEAD ISLAND, SOUTH CAROLINA

GRADING PLAN II

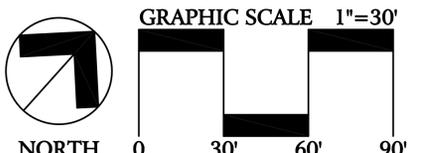
sheet 11

A&B NO:120019



NOTE  
ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.  
WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

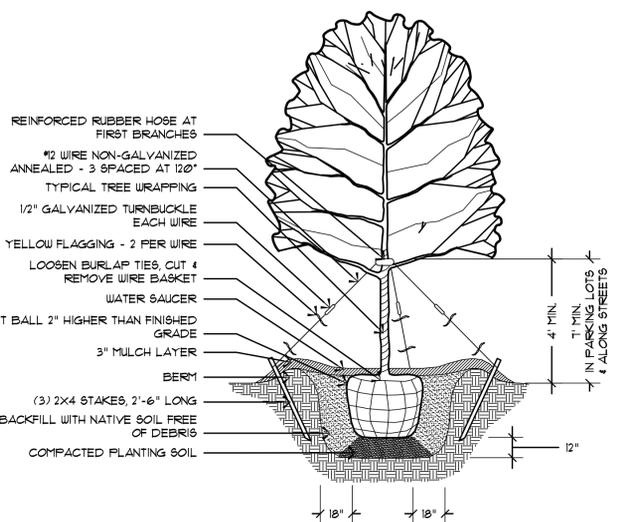
**J. K. TILLER ASSOCIATES, INC.**  
LAND PLANNING LANDSCAPE ARCHITECTURE  
TEN PINCKNEY COLONY ROAD SUITE 101 BLUFFTON, SC 29909  
Voice 843.815.4800 jktiller@jktiller.com Fax: 843.815.4802



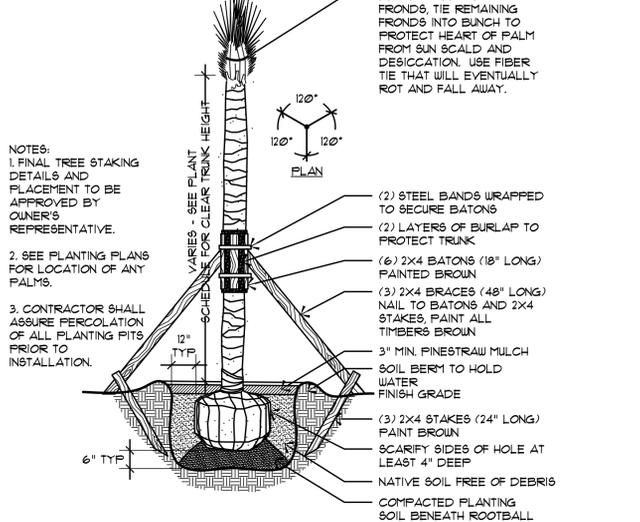
NOTE:  
ALL PLANTINGS ALONG ST. ANDREWS COMMONS PROPERTY LINE TO BE FIELD LOCATED TO SCREEN CURRENT GAPS ON BUFFER. SPACE PLANTINGS AND PLANT GROUPINGS AS SHOWN TO GO ALONG THE WHOLE BUFFER. SELECTIVELY HAND CLEAR AREA AROUND NEW PLANTINGS FOR INSTALLATION. MULCH TO MULCH LIMIT LINE (+/- 6\"/>

PLANT SCHEDULE HILTON HEAD FIRE STATION #6

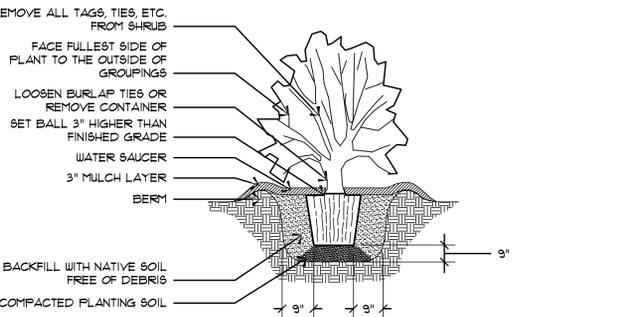
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOTS	NOTES
<b>TREES</b>								
ILAS	12	<i>Ilex x attenuata</i> 'Savannah'	Savannah Holly	2"-3"	8'-10'	-	Cont.	Full to ground
MAGR	3	<i>Magnolia grandiflora</i>	Southern Magnolia	2"-3"	8'-10'	-	Cont.	Full to ground
MAVI	1	<i>Magnolia virginiana</i>	Sweet Bay Magnolia	2"-3"	8'-10'	-	Cont.	Full, Tree Form, Single Stem
OSAM	11	<i>Osmanthus americanus</i>	American Olive	-	5'-6'	2'-3'	Cont.	Full
QIVI	10	<i>Quercus virginiana</i>	Live Oak	2"-3"	10'-12'	4'-6'	Cont.	Full
SAPA	2	<i>Sabal palmetto</i>	Cabbage Palm	-	15'-16'	-	B&B	Clear trunk up to 12'
<b>SHRUBS</b>								
CYRE	2	<i>Cycas revoluta</i>	Sago Palm	-	24"-36"	36"-42"	15 Gal. Cont.	Specimen, Full
ILCD	24	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	-	2'-3'	2'-3'	3 Gal. Cont.	Full
ILFL	13	<i>Illicium floridanum</i>	Florida Anise	-	3'-4'	2'-3'	1 Gal. Cont.	Full
ILVN	56	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	-	12"-18"	18"-24"	3 Gal. Cont.	Full
MYCE	51	<i>Myrica cerifera</i>	Wax Myrtle	-	4'-6'	4'-5'	15 Gal. Cont.	Full
VISU	35	<i>Viburnum suspensum</i>	Sandbarnea Viburnum	-	36"-42"	24"-36"	1 Gal. Cont.	Full
<b>ORNAMENTAL GRASSES + FERNS</b>								
MUFI	73	<i>Muhlenbergia filipes</i>	Gulf Muhly Grass	-	18"-24"	-	3 Gal. Cont.	# 3' O.C.
<b>GROUND COVERS, VINES + PERENNIALS</b>								
LACA	71	<i>Lantana camara</i>	Yellow Lantana	-	6"-12"	8"-12"	1 Gal. Cont.	# 18" O.C.
LIME	155	<i>Liriope muscari</i> 'Evergreen Giant'	Evergreen Giant Liriope	-	12"-18"	-	1 Gal. Cont.	# 2' O.C.
<b>SOD</b>								
SOD	14,363 SF		Centipede					
<b>MULCH + IRRIGATION</b>								
MULCH	18,951 SF		3" DEEP LONGLEAF PINE STRAW MULCH					
IRR	33,314 SF		100% COVERAGE OF ALL PLANT BED AND SOD AREAS					



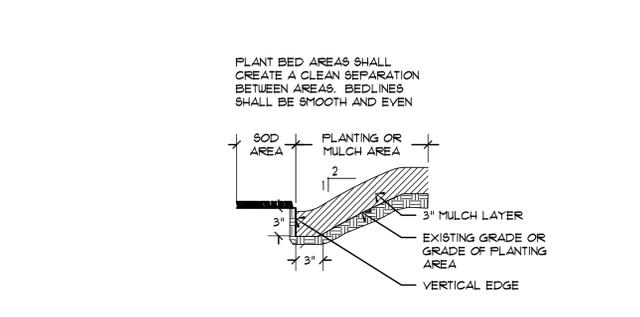
1 Tree Planting  
L2 Not to Scale



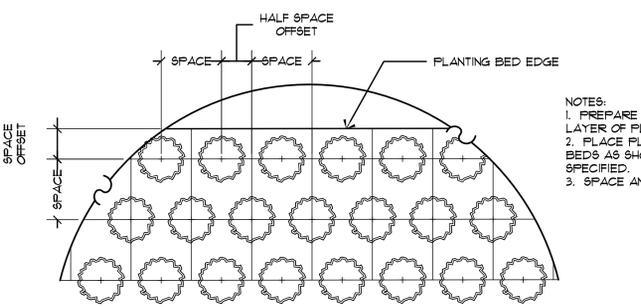
2 Palmetto Tree Planting  
L2 Not to Scale



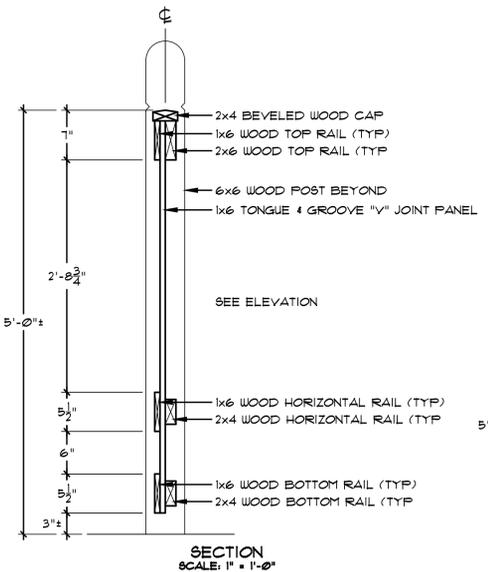
3 Shrub Planting  
L2 Not to Scale



4 Sod / Plant Bed Edge Detail  
L2 Not to Scale

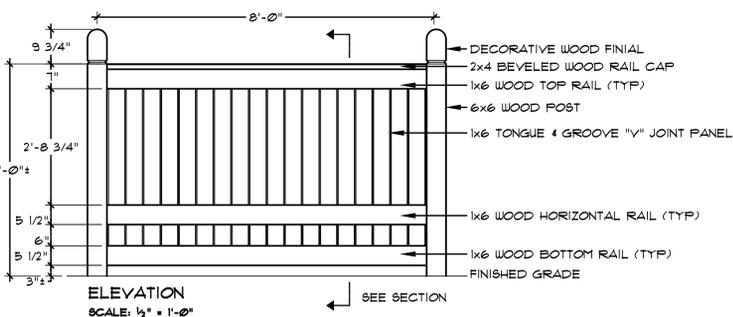


5 Ground Covers, Annuals & Perennials  
L2 Not to Scale



6 Perimeter and Dumpster Fence  
L2 Scale Varies

- PLANTING NOTES:**
- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
  - ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
  - CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
  - SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
  - CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
  - CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
  - ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINE STRAW MULCH.
  - CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
  - ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
  - IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
  - HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
  - PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
  - PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.



**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

**FLOOR PLAN WITH DIMENSIONS**

SCALE AS NOTED

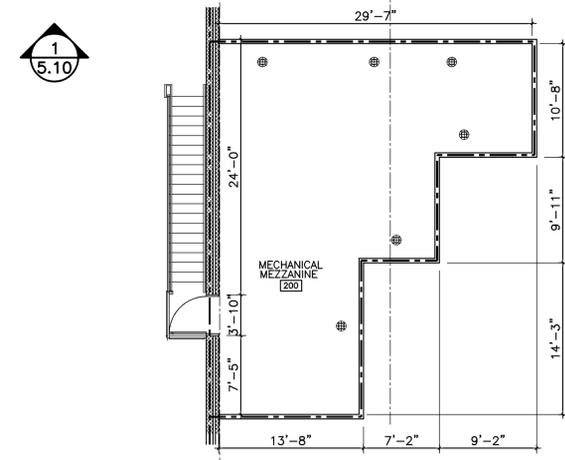
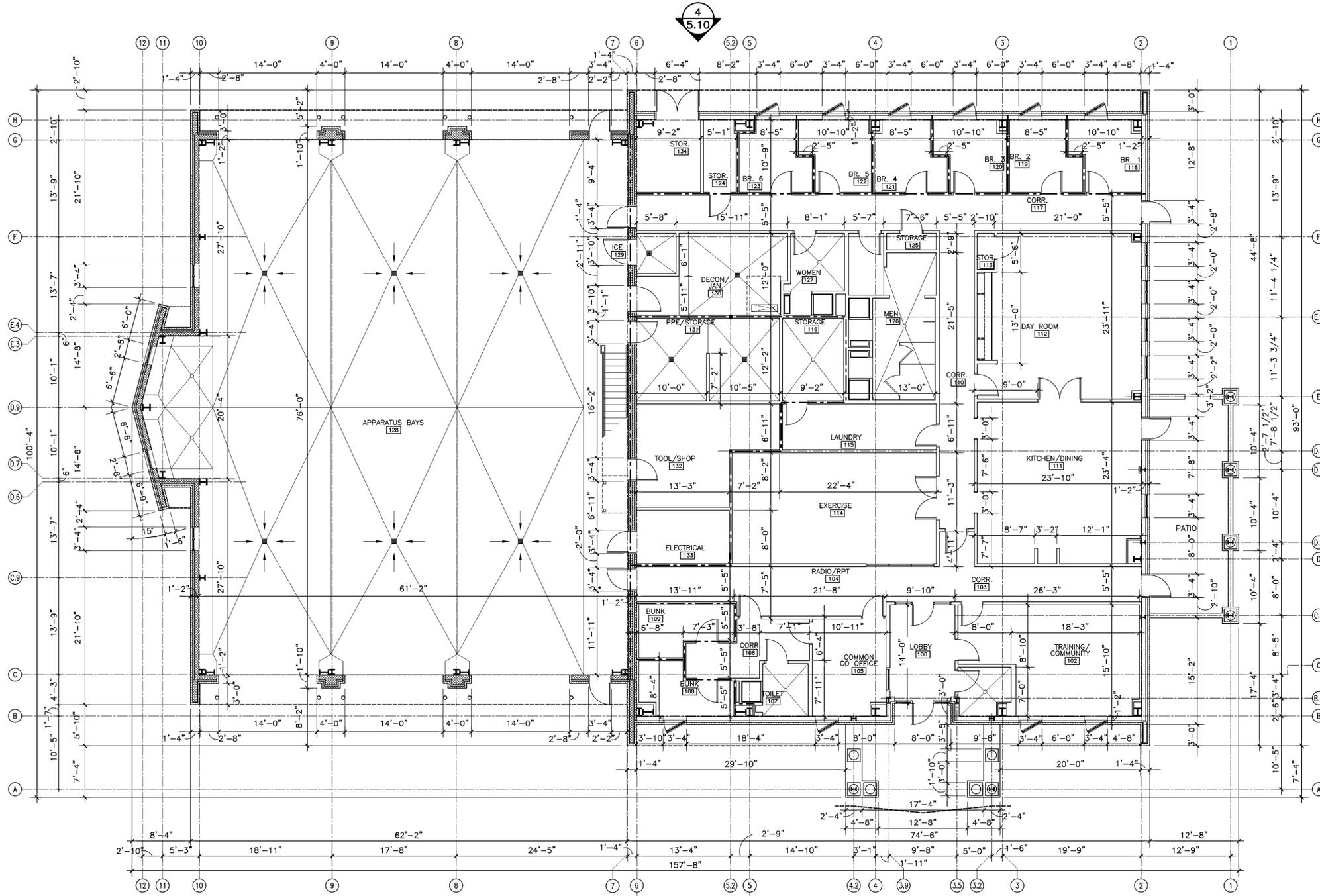
**GENERAL NOTES:**

- ALL CONTRACTORS MUST MAKE ON SITE VISITATIONS TO PROJECT SITE PRIOR TO BIDDING TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ARCHITECT WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER DIRECTED BY THE ARCHITECT.
- EXISTING CONDITIONS: ALL EXISTING INFORMATION WAS TAKEN FROM DRAWINGS FURNISHED BY OTHERS WHICH MAY OR MAY NOT BE CORRECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES OR VARIATIONS FROM THE CONDITIONS SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONS USING THE SURROUNDING FACILITIES WHO COME IN CONTACT WITH THE AREA OF CONSTRUCTION. HE SHALL PROPERLY BARRICADE THE AREA TO PREVENT INTRUSION BY PERSONS NOT ASSOCIATED WITH CONSTRUCTION.
- DRAWING SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED, HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THE PLANS, SECTIONS OR DETAILS. IF THERE IS ANY QUESTION ABOUT DETAILS OR DIMENSIONS, CONTACT THE ARCHITECT FOR INFORMATION PRIOR TO STARTING WORK.
- ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
- CONTRACTOR SHALL MEET WITH THE ARCHITECT PRIOR TO CONSTRUCTION OF THE PROJECT TO REVIEW ALL EXISTING CONDITIONS AND THE EXACT EXTENT OF THE WORK TO BE COMPLETED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC 2012 AND ALL OTHER LOCAL CODES & REGULATIONS HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION AROUND THE SITE WHICH WILL REMAIN. ANY DAMAGES SHALL BE REPAIRED TO THE OWNERS' SATISFACTION AT NO COST TO OWNER.
- SLOPE ALL EXTERIOR LANDINGS, WALKS, PORCHES, STEPS, ETC. 1/16" / FT. AWAY FROM BUILDING FOR DRAINAGE UNLESS NOTED OR SHOWN OTHERWISE.
- FRAMING LUMBER IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED.
- GENERAL CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS LOOSE STEEL LINTELS AS REQUIRED WHERE MECH., PLUMBING, OR ELECTRICAL EQUIPMENT PASS THRU WALLS OR OVER ANY BUILT-IN ITEMS IN MASONRY WALLS.
- SLOPE FLOOR TO FLOOR DRAINS. COORDINATE ALL FLOOR DRAINS WITH PLUMBING CONTRACTOR & TILE INSTALLER. DRAINS ARE TO BE CENTERED IN TILE FLOOR.
- PROVIDE WEEP HOLES @ 16" O.C. CENTERED OVER ALL MASONRY OPENINGS.
- FIRE PENETRATION NOTES APPLY TO ALL TRADES.
- SEE DWGS. 6.10 & 10.40 FOR REFLECTED CEILINGS. DO NOT CUT ANY LAY-IN ACOUSTICAL CEILING PANELS LESS THAN 6" UNLESS INSTRUCTED BY ARCHITECT. LAY-IN CLG. PANELS TO BE EQUALLY SPACED IN AREA.
- PROVIDE FIRE TREATED LUMBER AS REQUIRED BY THE SPACING CODE.
- PROVIDE BLOCKING IN METAL STUD WALLS AS REQUIRED FOR ALL SUSPENDED ITEMS INCLUDING BUT NOT LIMITED TO E.W.C., TOILET ACCESSORIES, PLUMBING, MECHANICAL, ELECT., & ETC. - CO-ORDINATE W/ OTHER TRADES.
- SEE ELEVATIONS ON 5.10 FOR EXT. WALL MASONRY CONTROL JOINT (CJ) LOCATIONS. CONTROL JOINTS TO BE IN MASONRY JOINTS. LOCATE WALL CONTROL JOINT AS INDICATED.
- DO NOT CUT ANY LAY-IN ACOUSTICAL CEILING PANELS LESS THAN 6" UNLESS INSTRUCTED BY ARCHITECT. LAY-IN CLG. PANELS TO BE EQUALLY SPACED IN AREA. DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE CARRY ALL FIRE RATED WALLS AND PARTITIONS TO STRUCTURE ABOVE.
- NO CORE OF BRICKS SHOULD BE EXPOSED. USE SOLID BRICK WHERE REQUIRED TO KEEP CORES FROM BEING VISIBLY EXPOSED.
- CMU WALLS DIMENSIONED 8" NOM U.N.O.
- WALL TO TERMINATE 12" ABOVE HIGHEST ADJACENT CEILING U.N.O. CARRY GYP BOARD UP 6" ABOVE FINISHED CEILING U.N.O.
- SEE CIVIL DRAWINGS FOR LOCATIONS OF GENERATOR, DIESEL TANK AND TRANSFORMER. G.C. TO COORDINATE ALL CLEARANCES PRIOR TO CONSTRUCTION. G.C. TO VERIFY SIZE OF DIESEL TANK WHERE REQUIRED.

**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.



**1 MAIN LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**2 MEZZANINE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NOTE #1: EXACT FLOOR DRAIN LOCATIONS AND ASSOCIATED FLOOR SLOPING IN MECHANICAL ROOMS SHALL BE CLOSELY COORDINATED AMONG ALL TRADES WITH APPROVED MECHANICAL EQUIPMENT SIZE AND LOCATIONS. PRIOR TO ROUGH-IN OF WASTE PIPING. SEE PLUMBING AND MECHANICAL DRAWINGS.

NOTE #2: LAY-OUT OF ALL WORK IN ELECTRICAL ROOM MUST FOLLOW LAY-OUT AS SHOWN ON ELECTRICAL DRAWINGS EXACTLY. GC SHALL BE RESPONSIBLE FOR COORDINATION OF ELECTRICAL ROUGH-IN WORK. SEE ELECTRICAL DRAWINGS.

Project No. 1177

Date 10.09.2012  
Drawn mtb.  
Checked KCN  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THE ARCHITECT'S COPYRIGHT. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.



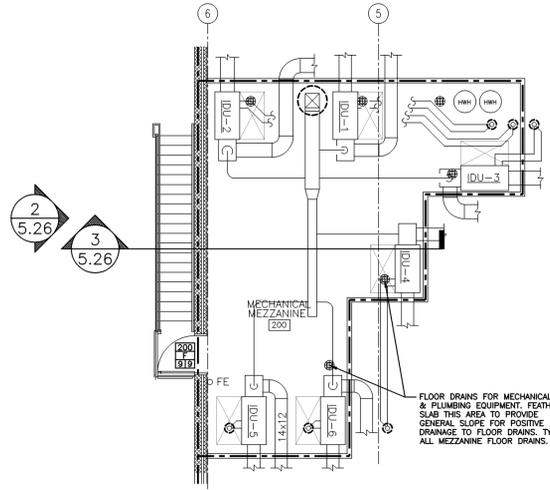
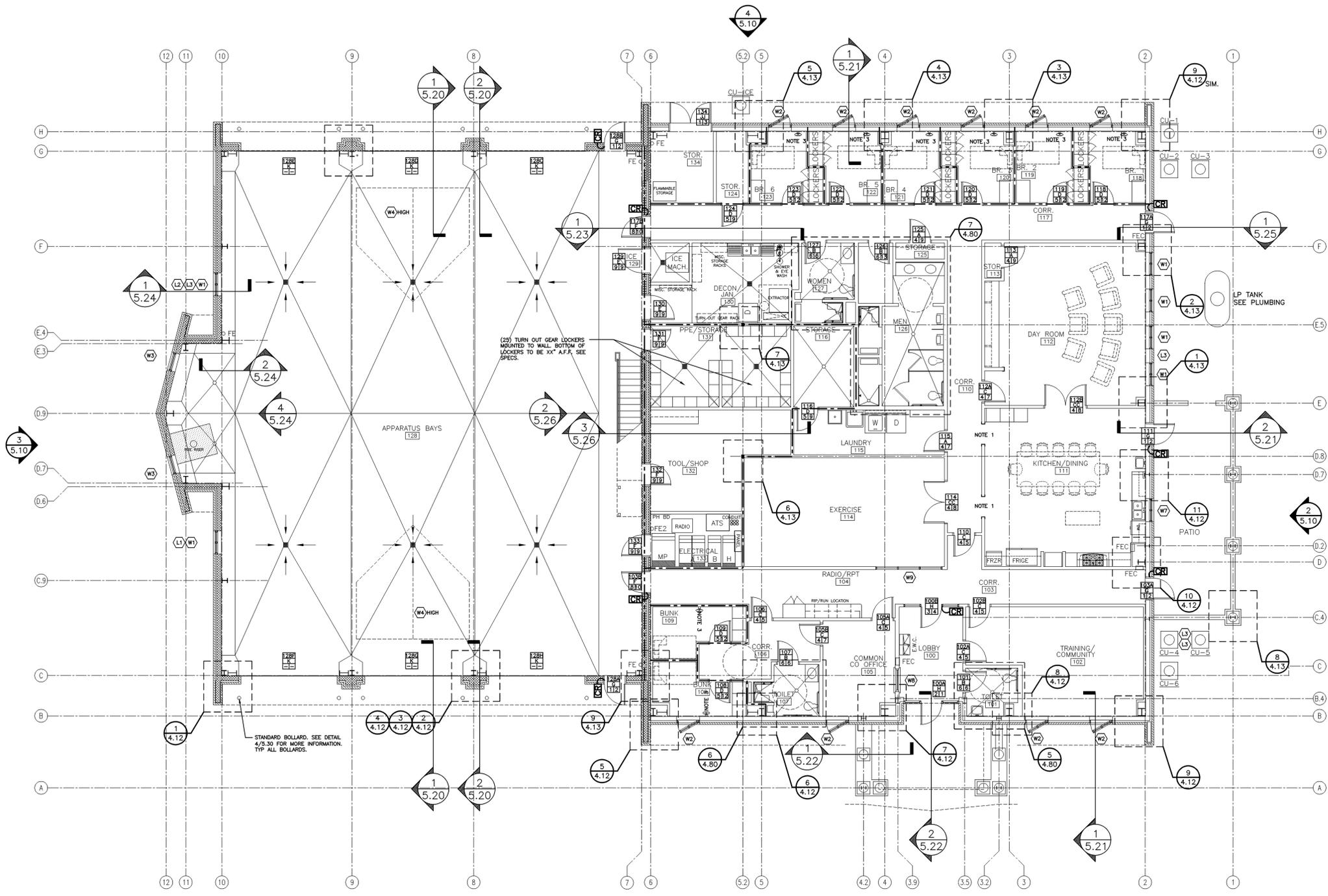
719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**  
www.scn-architects.com



NEW FIRE STATION #6 FOR  
TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA  
DIMENSIONED FLOOR PLAN



2 MEZZANINE PLAN LAYOUT  
 SCALE: 1/8" = 1'-0"

TRUE PLAN NORTH  
 NORTH  
 1 FLOOR PLAN LAYOUT  
 SCALE: 1/8" = 1'-0"

IMPORTANT NOTES

- CASED OPENING. SEE FRAME INSTALLATION TYPE #7 ON FRAME INSTALLATION SCHEDULE, SHEET 4.70.
- GC SHALL COORDINATE LOCATION OF CARD READERS (CR) WITH OWNER PRIOR TO SETTING DOOR FRAMES AND MASONRY CONSTRUCTION TO ENSURE PROPER CONDUIT LOCATIONS.
- PROVIDE (1) AIR KING 9012 OSCILLATING WALL MOUNTED FAN OR PRE-APPROVED EQUAL AT EACH BUNK ROOM. MOUNT BASE OF FAN 6"-8" MN. A.F.F. VERIFY LOCATION WITH OWNER AND COORDINATE ELECTRICAL, TYP.

DOOR TAG KEY & NOTES

100	DOOR NUMBER
A	DOOR TYPE
112	HARDWARE TYPE
	FRAME INSTALLATION TYPE

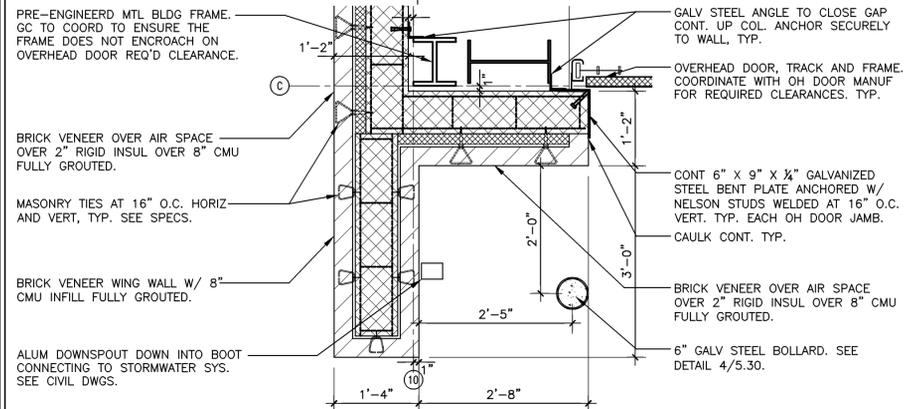
REFER TO SHEET 4.70 FOR DOOR TYPE SCHEDULE, HARDWARE SCHEDULE, AND FRAME INSTALLATION SCHEDULE.  
 ALL DOORS AND DOOR FRAMES SHALL BE RATED AS REQUIRED BY THE BUILDING CODE. REFER TO SHEET 1.10 FOR WALL RATINGS AND SHEET 1.70 FOR WALL TYPES.

NOTE

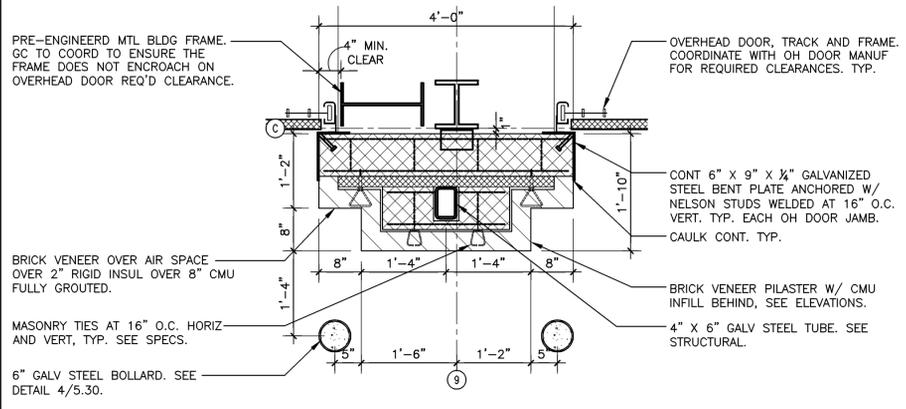
ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN THE DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

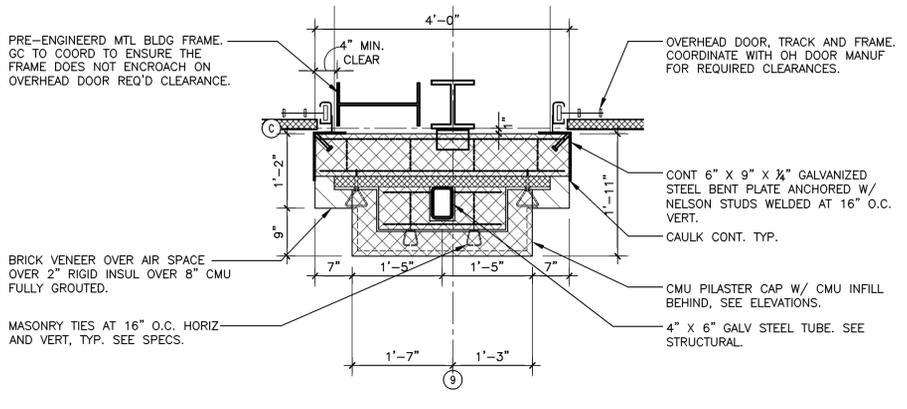
**PLAN DETAILS**



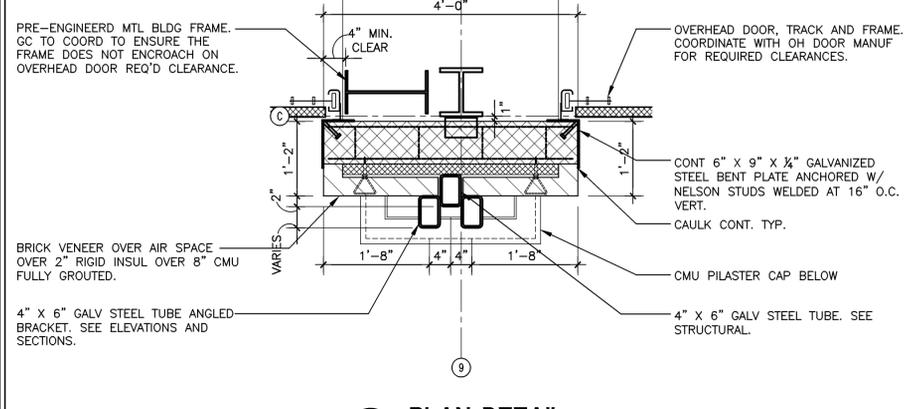
**1 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



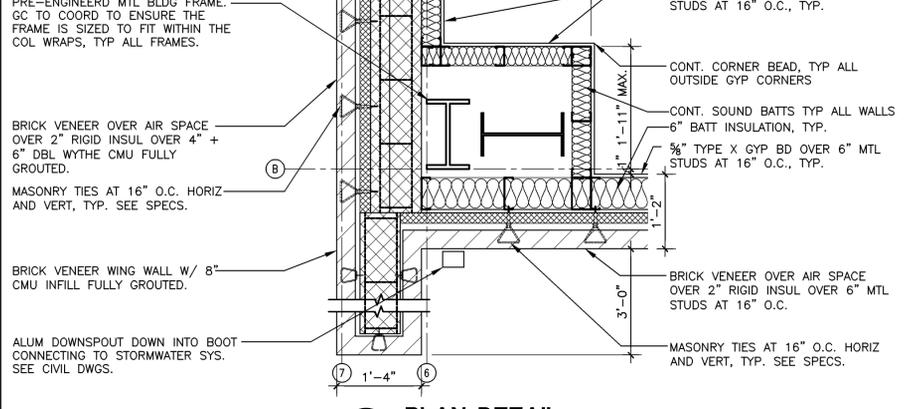
**2 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



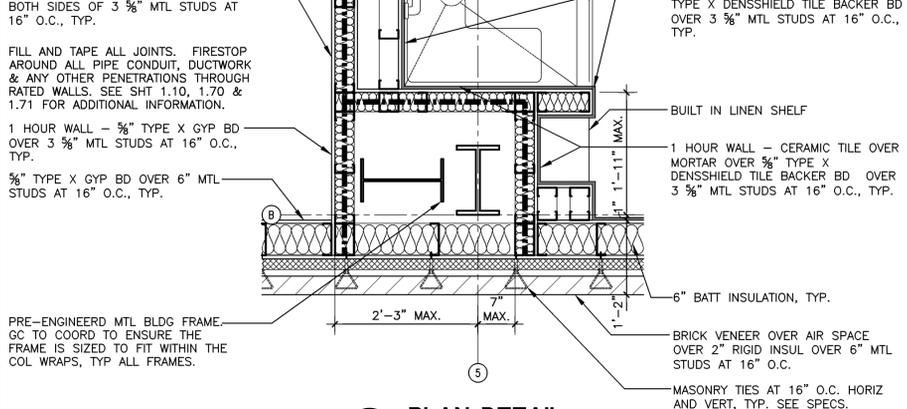
**3 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



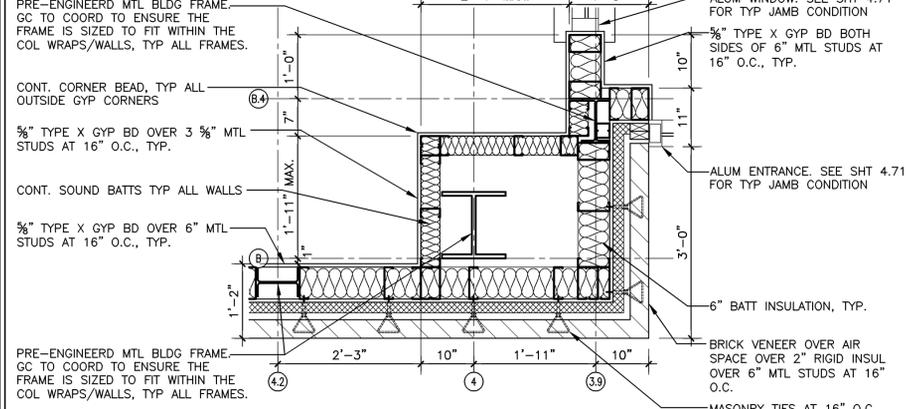
**4 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



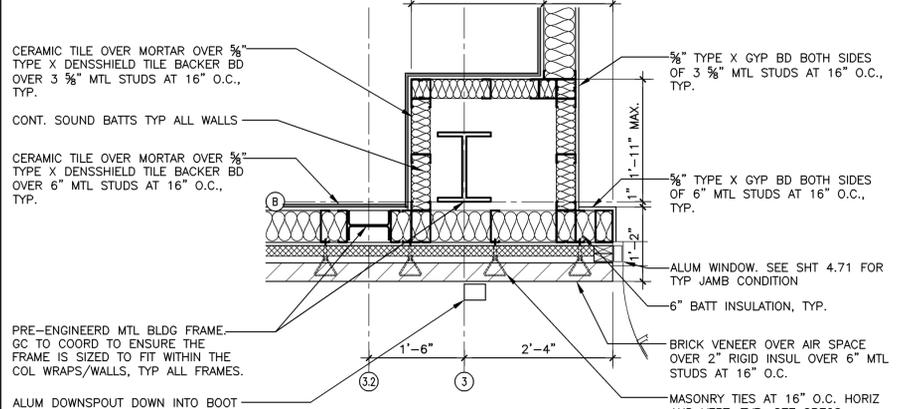
**5 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



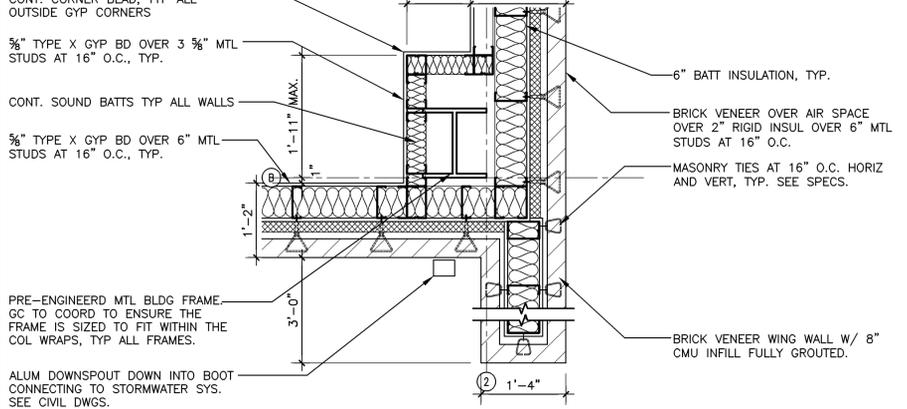
**6 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



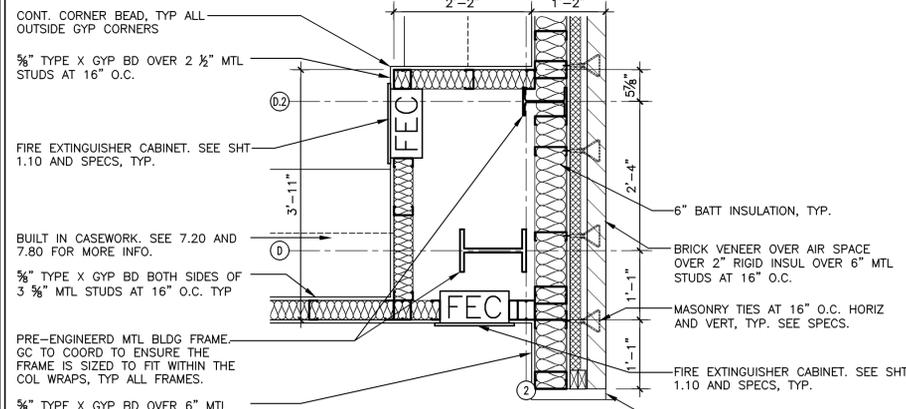
**7 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



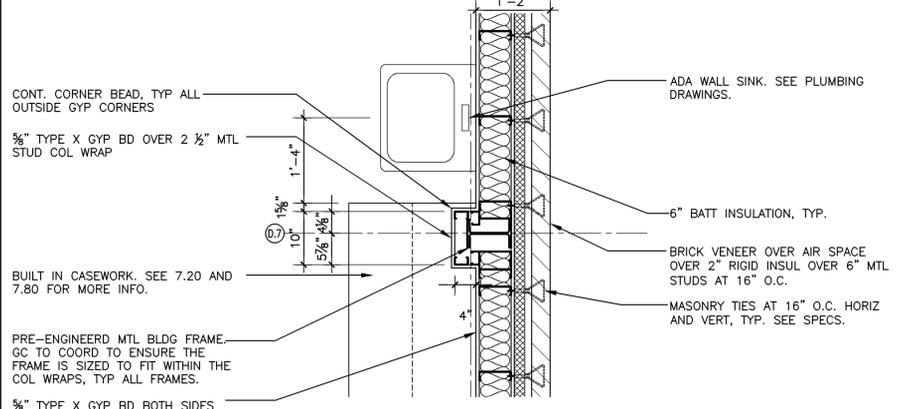
**8 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



**9 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



**10 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



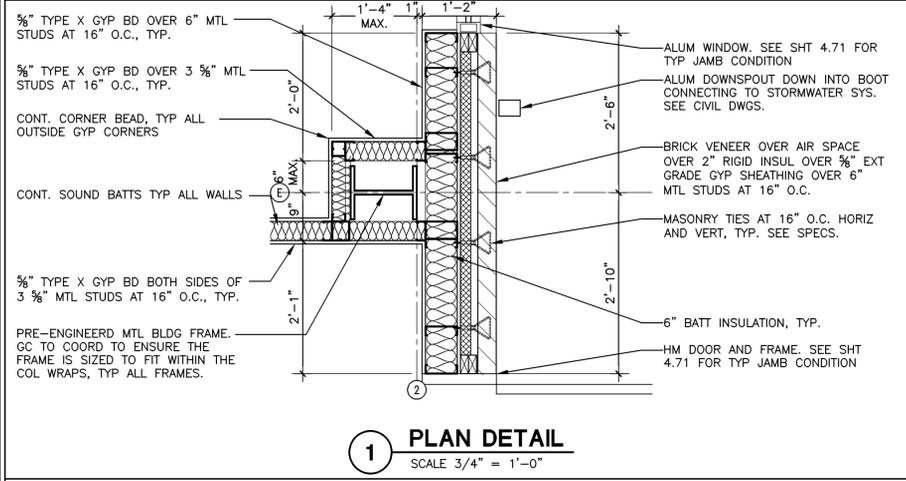
**11 PLAN DETAIL**  
SCALE 3/4" = 1'-0"

**NOTE**

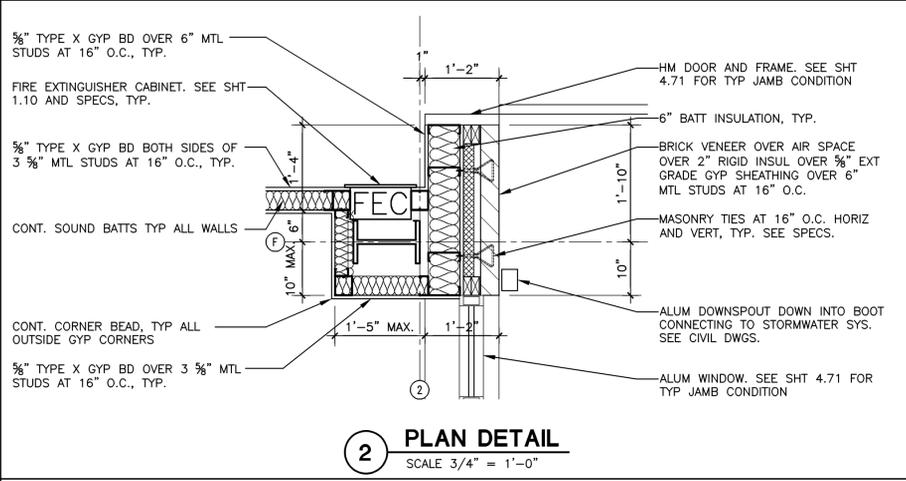
ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

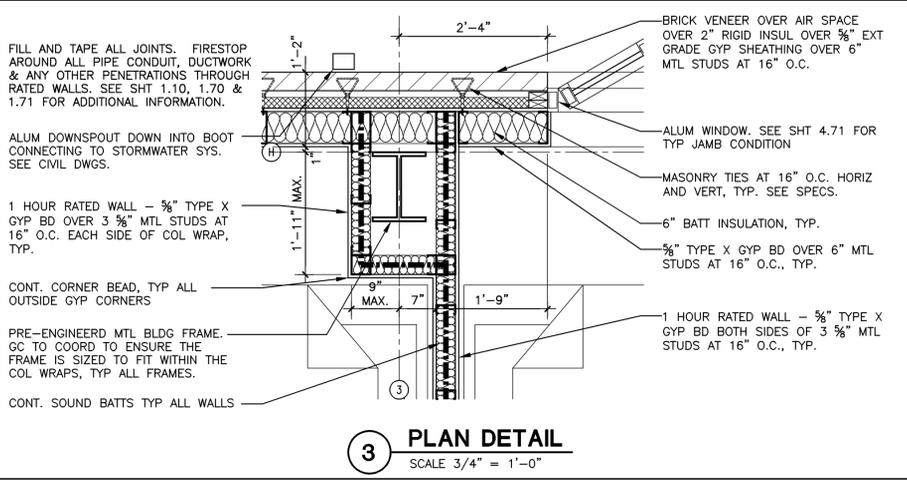
**PLAN DETAILS**



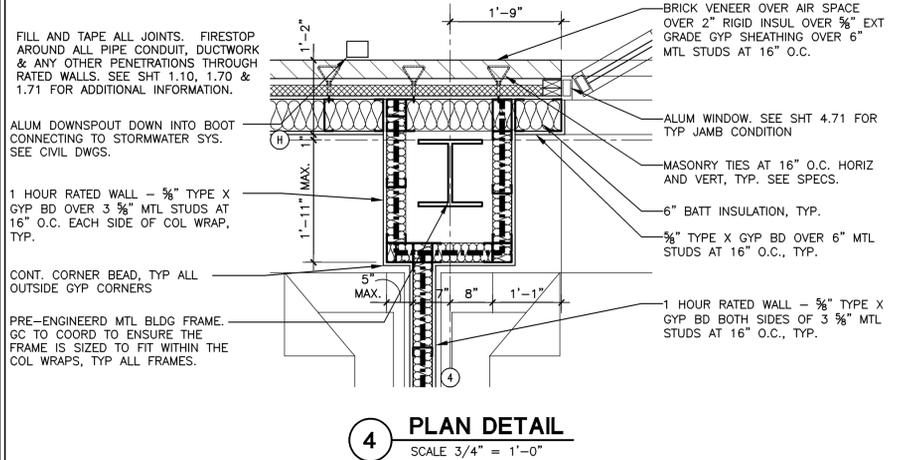
**1 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



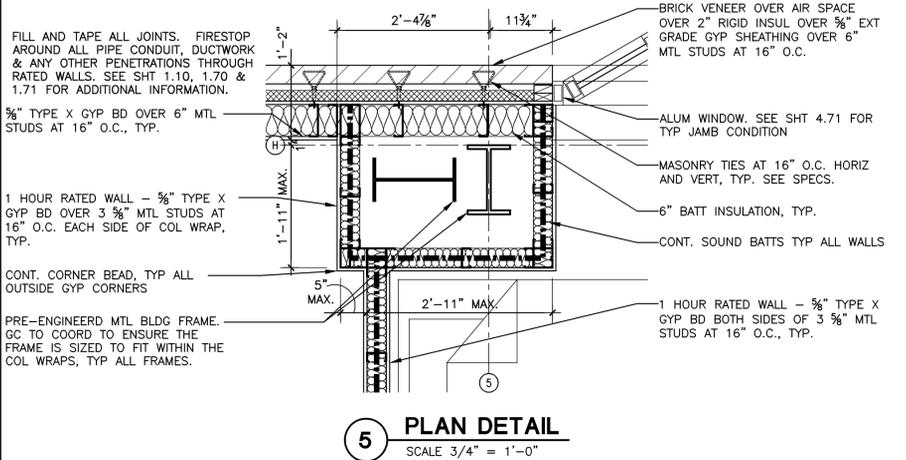
**2 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



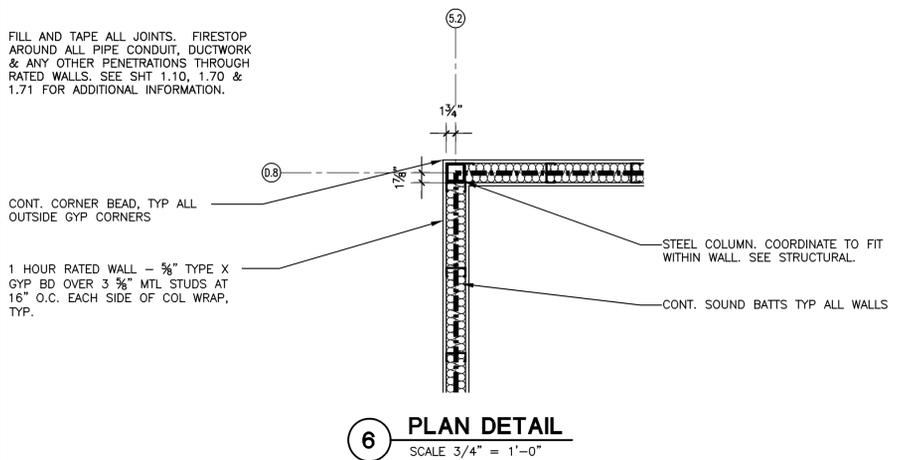
**3 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



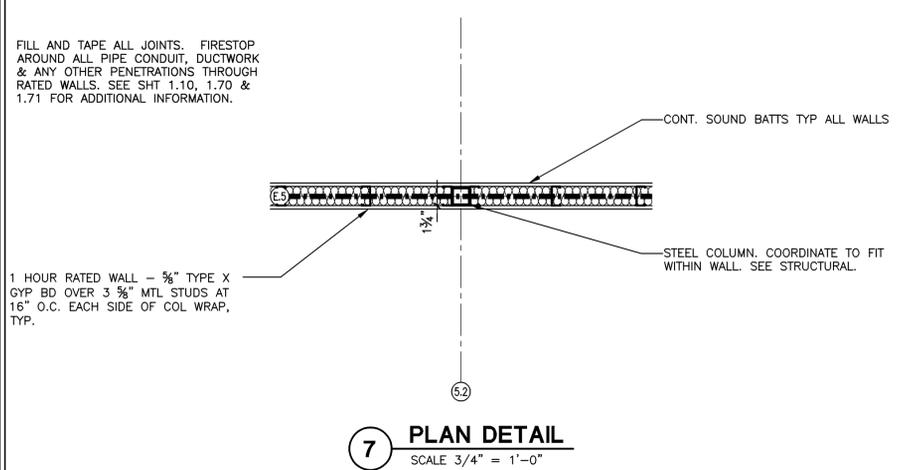
**4 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



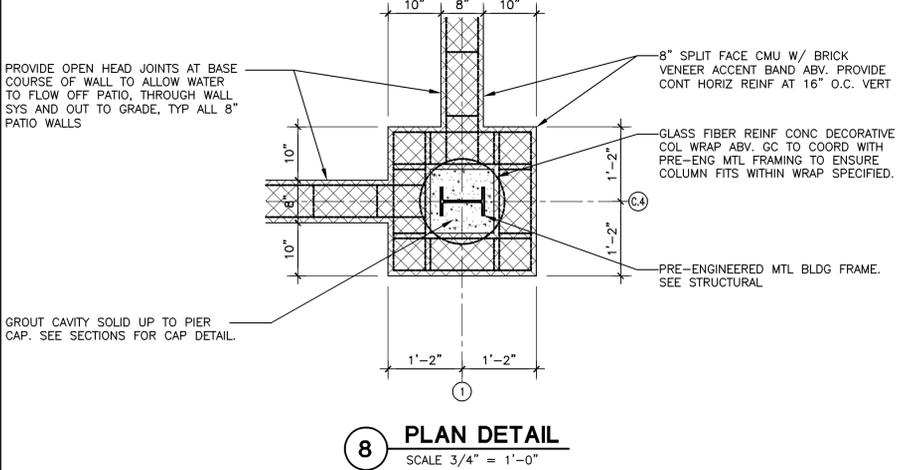
**5 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



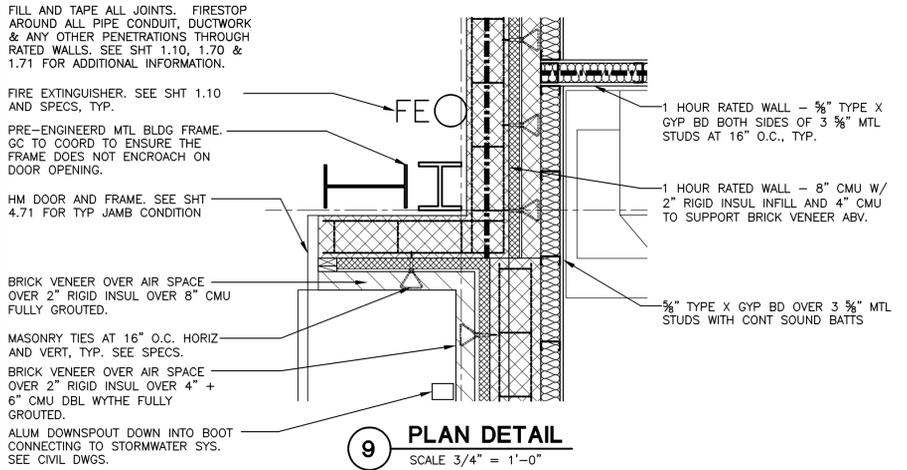
**6 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



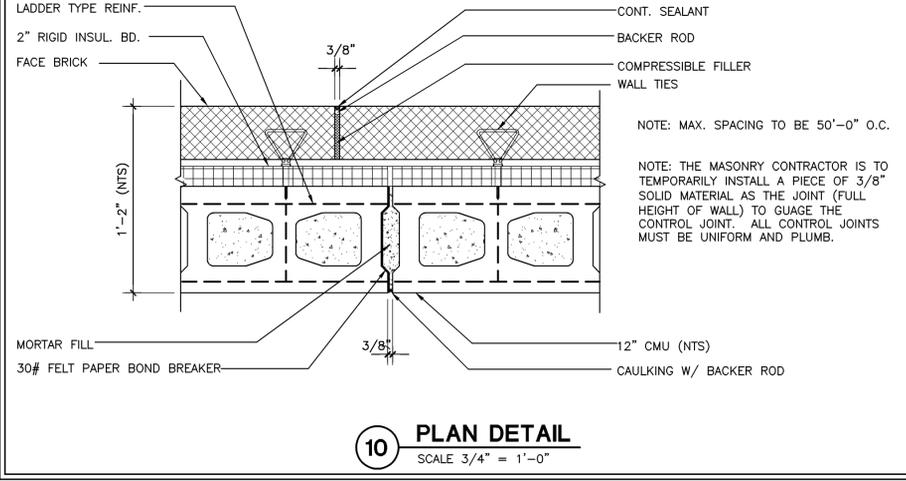
**7 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



**8 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



**9 PLAN DETAIL**  
SCALE 3/4" = 1'-0"



**10 PLAN DETAIL**  
SCALE 3/4" = 1'-0"

**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

Project No. **1177**

Date **10.09.2012**  
Drawn **mtb.**  
Checked **KCN**  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT AND IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE PUBLISHED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.

STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
CERT. NO. C-82008  
CANTON, NC

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.0311  
Fax: 704.865.0046

9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**  
www.scn-architects.com

REGISTERED ARCHITECT  
72640  
SOUTH CAROLINA  
CANTON, NC

NEW FIRE STATION #6 FOR  
TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA  
PLAN DETAILS

sheet **4.13**

CLERESTORY FLOOR PLAN (DIMENSIONS) AND ALUMINUM WINDOW ELEVATIONS

SCALE AS NOTED

Project No.  
1177

Date  
10.09.2012  
Drawn  
mtb.  
Checked  
KCN  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.

THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THE ARCHITECT'S FEES AND CONDITIONS OF CONTRACT. ANY REPRODUCTION OR USE OF ANY PART OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. IS PROHIBITED.

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

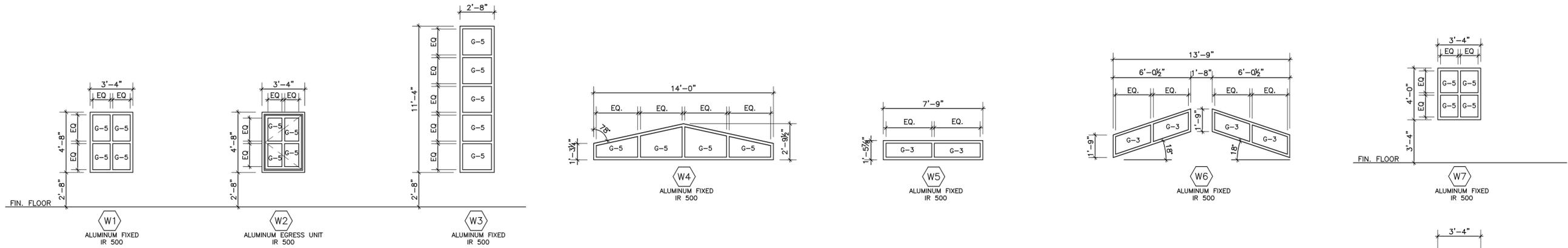
9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart Cooper Newell Architects**  
www.scn-architects.com

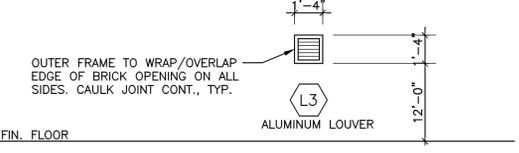
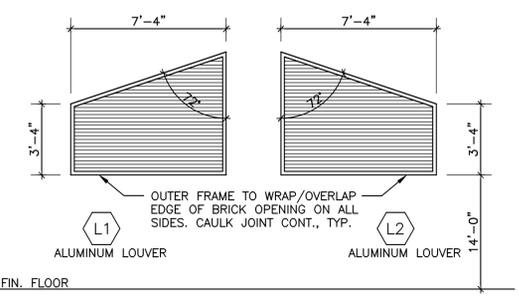
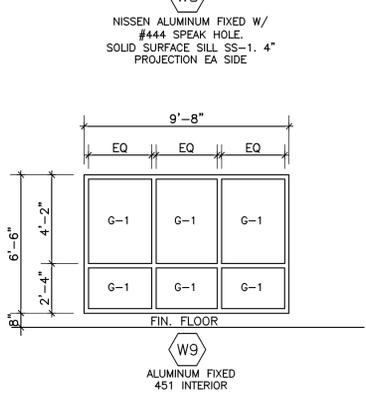
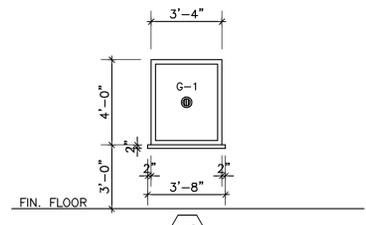
REGISTERED ARCHITECT  
72640  
SC 2014  
KATHLEEN C. NEWELL  
COSTA, NC

NEW FIRE STATION #6 FOR  
TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA  
CLERESTORY FLOOR PLAN (DIMENSIONED)  
ALUMINUM WINDOW ELEVATIONS

sheet  
4.20



**2 WINDOW TYPES**  
SCALE: 1/4" = 1'-0"

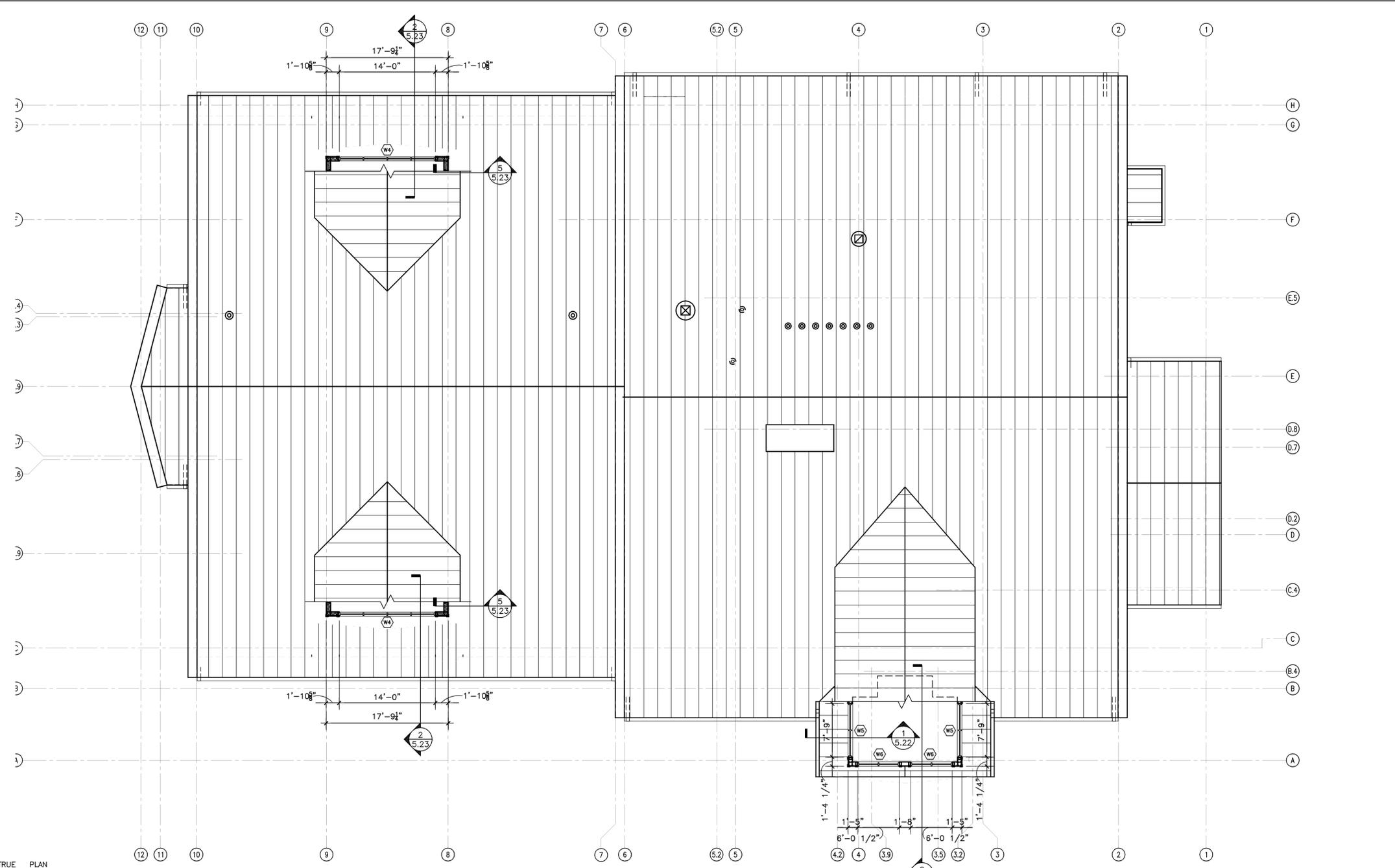


**3 LOUVER TYPES**  
SCALE: 1/4" = 1'-0"

**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.



**1 CLERESTORY FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**ROOF PLAN AND DETAILS**

SCALE AS NOTED

Project No.

1177

Date  
10.09.2012  
Drawn  
mtb.  
Checked  
KCN  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.

THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT. IT IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.



719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046  
9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

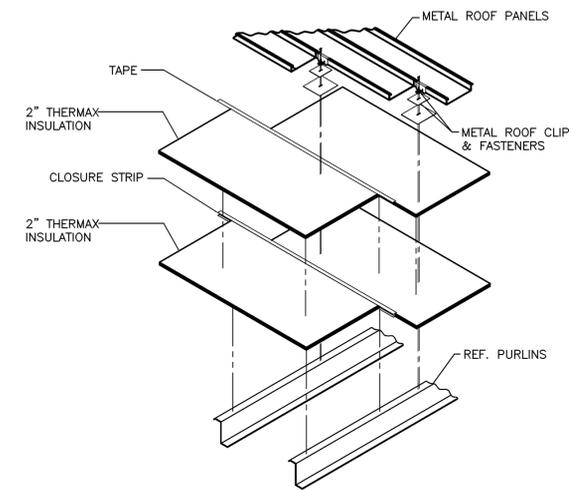
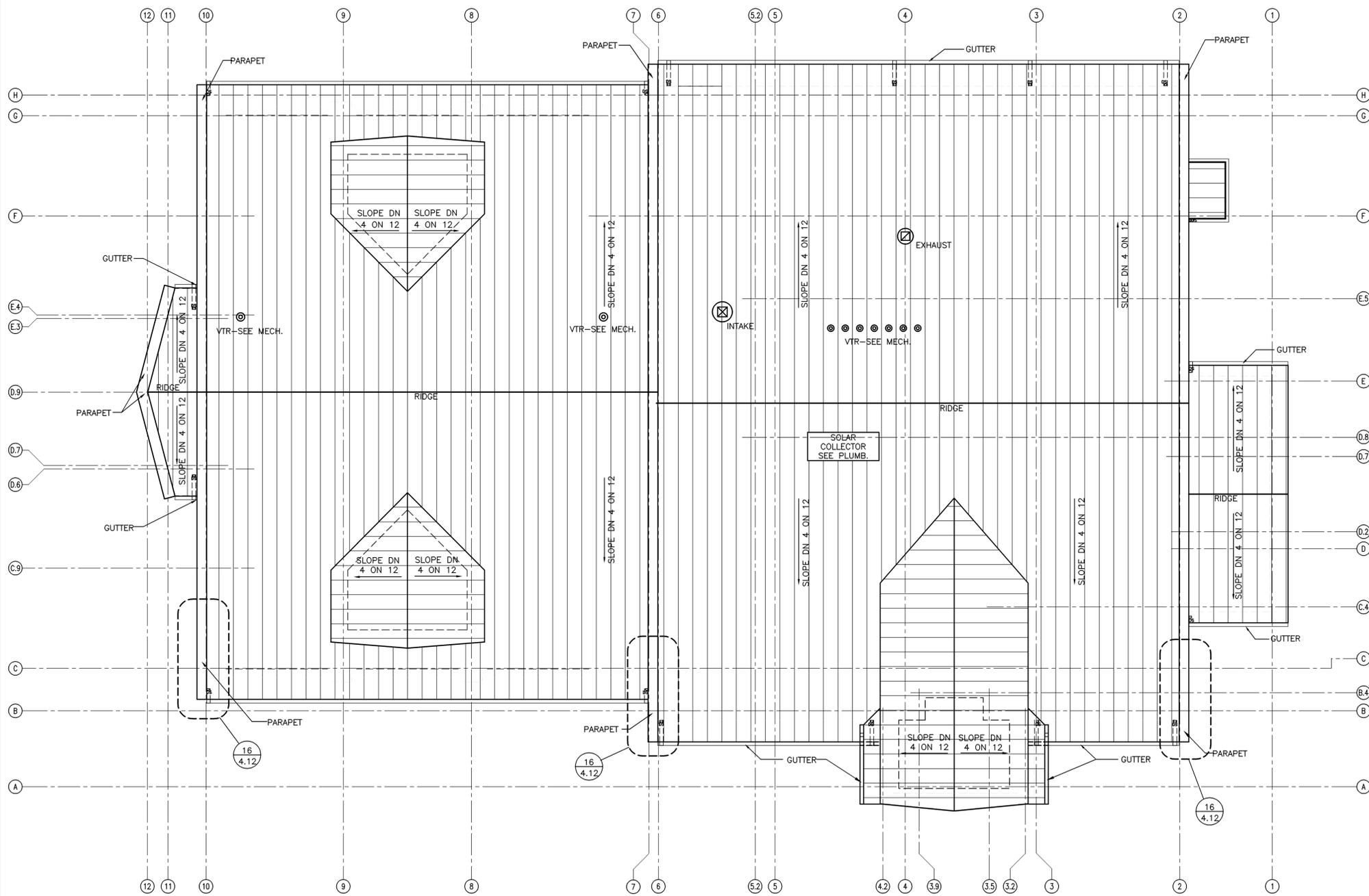
**Stewart-Cooper-Newell Architects**  
www.scn-architects.com  
1.800.671.0621



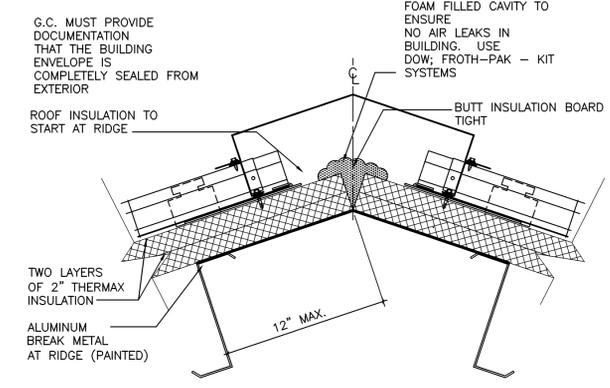
NEW FIRE STATION #6 FOR  
**TOWN OF HILTON HEAD ISLAND**  
HILTON HEAD ISLAND, SOUTH CAROLINA  
ROOF PLAN AND DETAILS

sheet

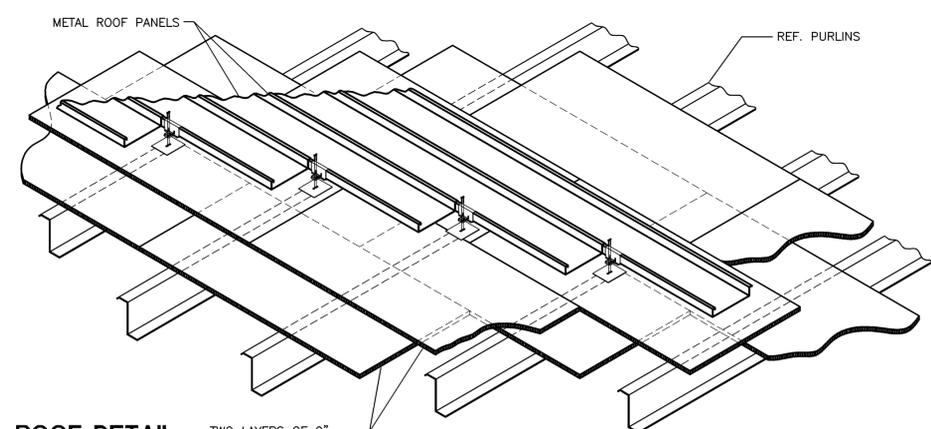
4.30



**2 ROOF DETAIL**  
N.T.S.



**3 RIDGE DETAIL**  
N.T.S.



**4 ROOF DETAIL**  
N.T.S.

**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

- IMPORTANT NOTES:
1. PROVIDE ALL FLASHING MATERIALS AND METHODS AS APPROVED BY THE MANUFACTURER FOR A FULL WATERPROOF SYSTEM.
  2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR ROOF PENETRATIONS NOT SHOWN.
  3. DO NOT PENETRATE THE ROOF ON THE FRONT SIDE OF THE BUILDING WITH ANY PLUMBING OR MECHANICAL EQUIPMENT. NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY ROOF TOP INSTALLATION.
  4. PROVIDE CRICKETS AT ALL ROOF TOP MECH. UNITS AND OTHER ROOF PENETRATIONS.

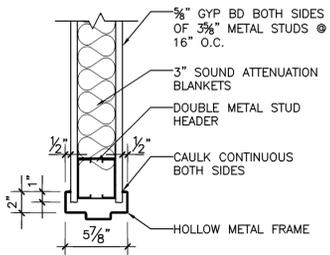
**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

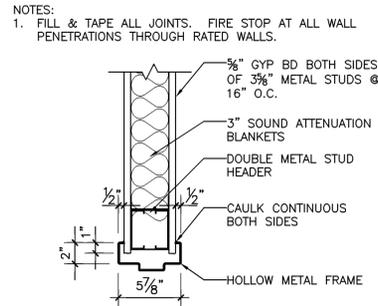
WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

**DOOR & HEAD DETAILS**

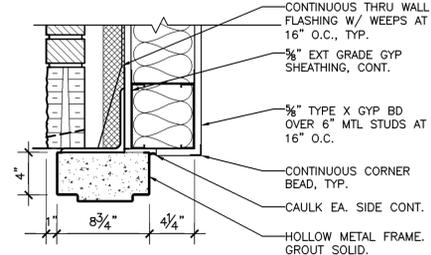
SCALE: 1/2"=1'-0"



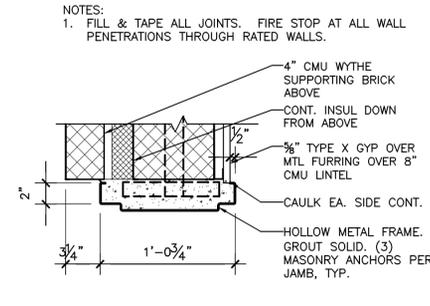
**1 INT. HEAD**  
SCALE: 1/2"=1'-0"



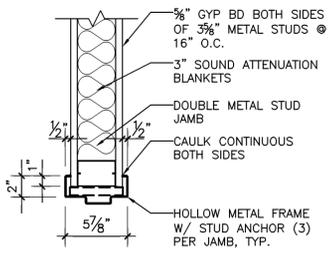
**5 INT. HEAD**  
SCALE: 1/2"=1'-0"



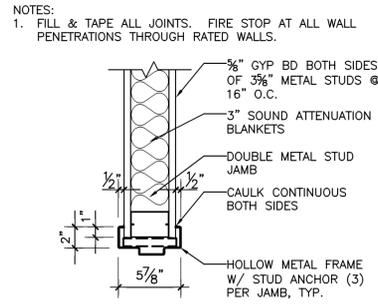
**9 EXT. HEAD**  
SCALE: 1/2"=1'-0"



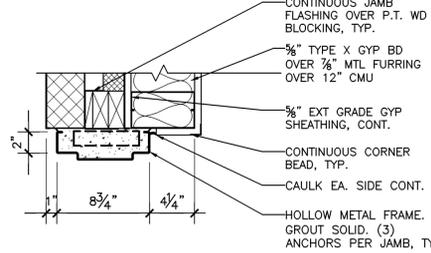
**13 INT. JAMB**  
SCALE: 1/2"=1'-0"



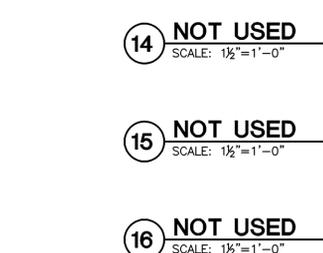
**2 INT. JAMB**  
SCALE: 1/2"=1'-0"



**6 INT. JAMB**  
SCALE: 1/2"=1'-0"



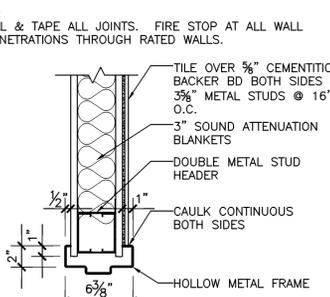
**10 EXT. JAMB**  
SCALE: 1/2"=1'-0"



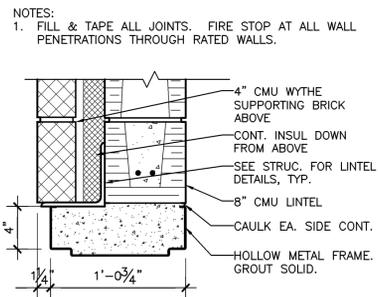
**14 NOT USED**  
SCALE: 1/2"=1'-0"

**15 NOT USED**  
SCALE: 1/2"=1'-0"

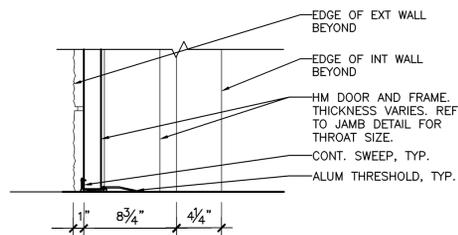
**16 NOT USED**  
SCALE: 1/2"=1'-0"



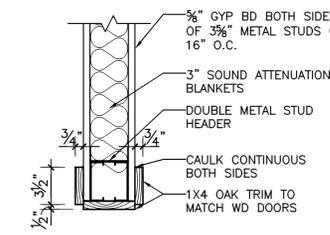
**3 INT. HEAD**  
SCALE: 1/2"=1'-0"



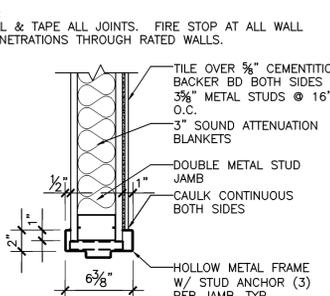
**7 INT. HEAD**  
SCALE: 1/2"=1'-0"



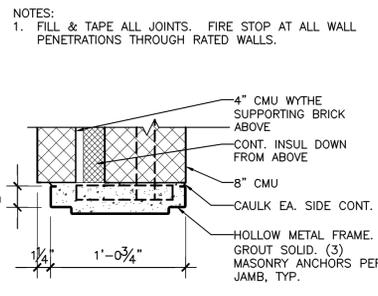
**11 EXT. SILL**  
SCALE: 1/2"=1'-0"



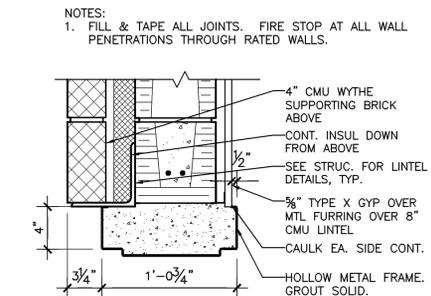
**17 CASED OPENING**  
SCALE: 1/2"=1'-0"



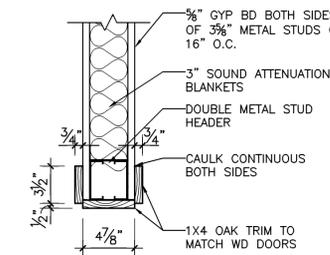
**4 INT. JAMB**  
SCALE: 1/2"=1'-0"



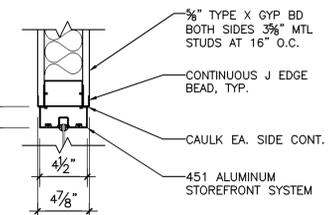
**8 INT. JAMB**  
SCALE: 1/2"=1'-0"



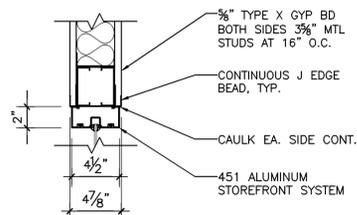
**12 INT. HEAD**  
SCALE: 1/2"=1'-0"



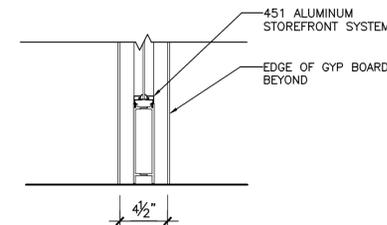
**19 EXT. HEAD**  
SCALE: 1/2"=1'-0"



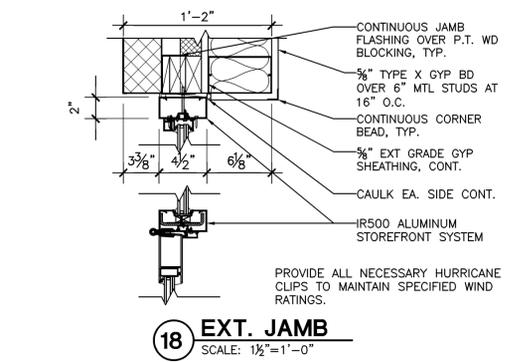
**21 EXT. JAMB**  
SCALE: 1/2"=1'-0"



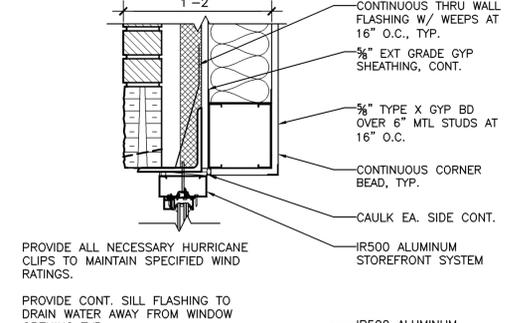
**22 EXT. HEAD**  
SCALE: 1/2"=1'-0"



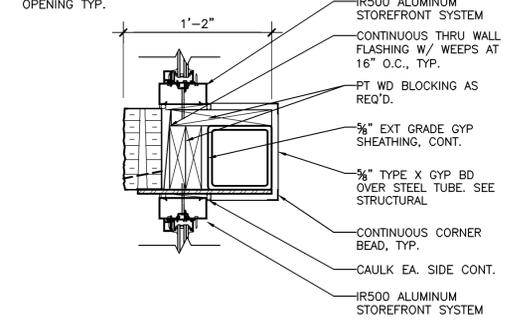
**23 EXT. SILL**  
SCALE: 1/2"=1'-0"



**18 EXT. JAMB**  
SCALE: 1/2"=1'-0"



**19 EXT. HEAD**  
SCALE: 1/2"=1'-0"



**20 EXT. SILL**  
SCALE: 1/2"=1'-0"

**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHenever there are discrepancies between drawings, or between the drawings and specifications, or conflicts within the specifications and/or drawings, and such discrepancy is not called to the architect's attention in time to permit clarification by addendum, the contractor shall base his bid upon providing the better quality or greater of work or material called for, shall submit a written statement with his proposal noting such discrepancies, and shall so furnish and install such better quality or greater quantity unless otherwise ordered in writing.

Project No. 1177

Date 10.09.2012  
Drawn GAR  
Checked KCN  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO THEIR COPYRIGHT AND IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, PUBLISHED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.



719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

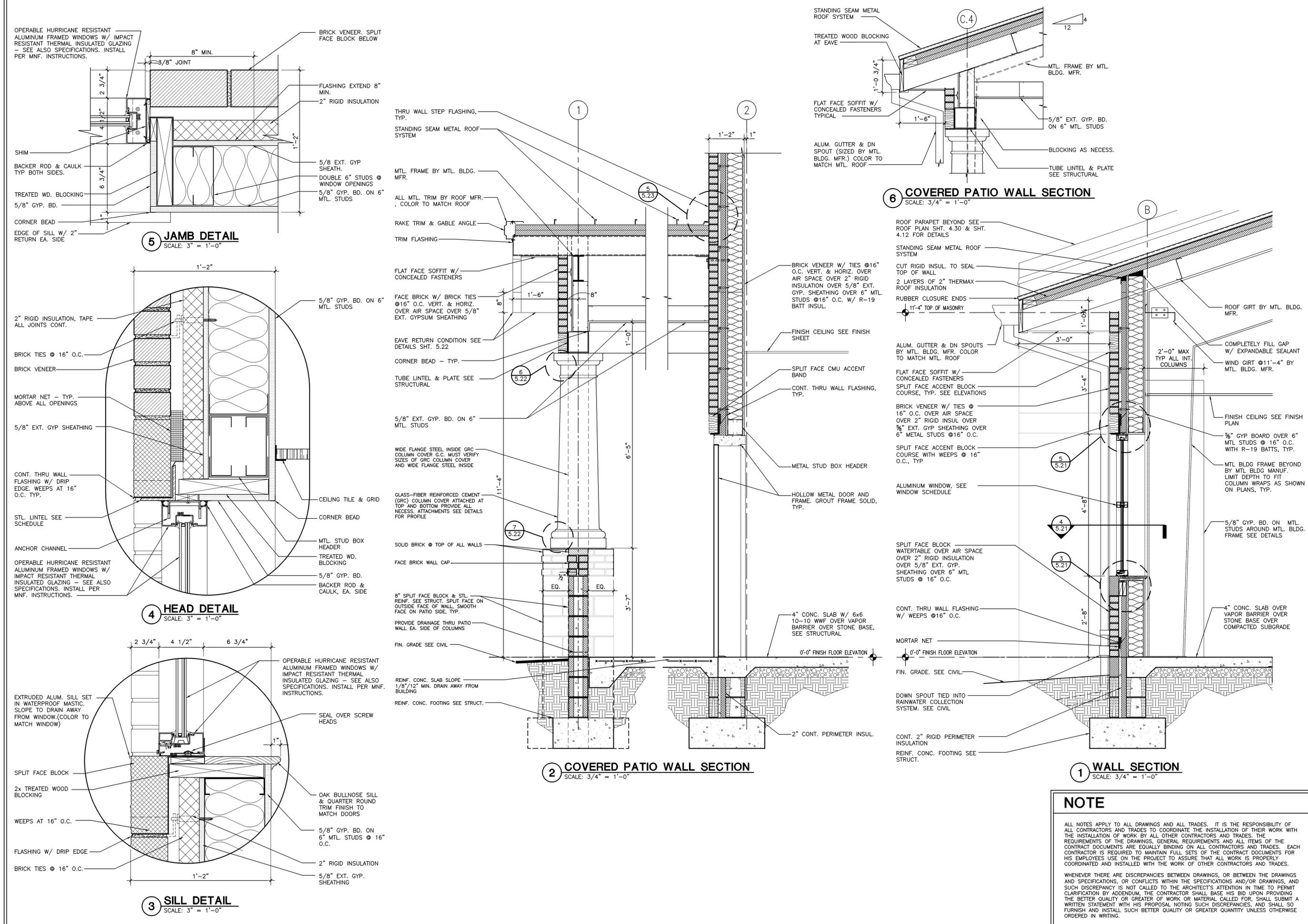
**Stewart-Cooper-Newell Architects**  
www.scn-architects.com



NEW FIRE STATION #6 FOR  
**TOWN OF HILTON HEAD ISLAND**  
HILTON HEAD ISLAND, SOUTH CAROLINA  
HEAD, JAMB & SILL DETAILS



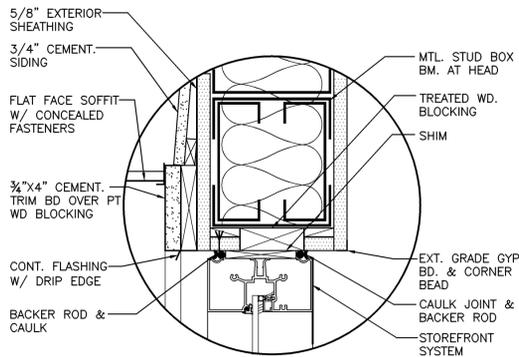




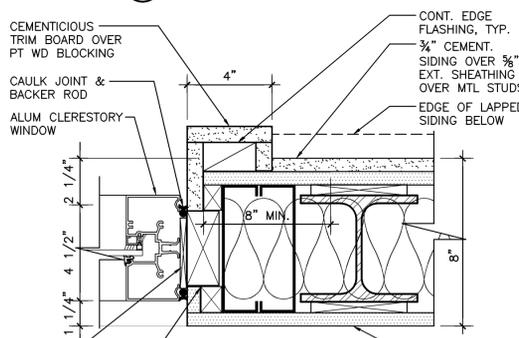
**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

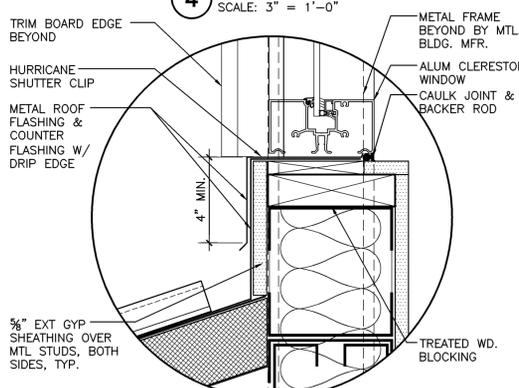
WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.



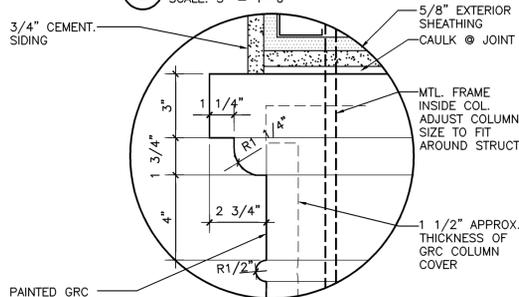
**3 CLERESTORY HEAD DETAIL**  
SCALE: 3" = 1'-0"



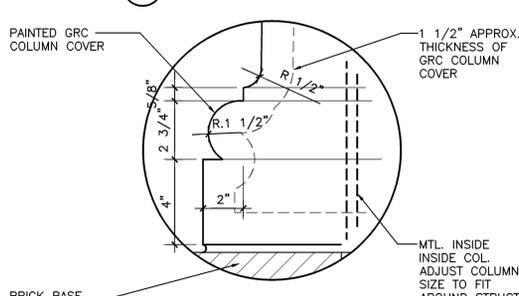
**4 CLERESTORY JAMB DETAIL**  
SCALE: 3" = 1'-0"



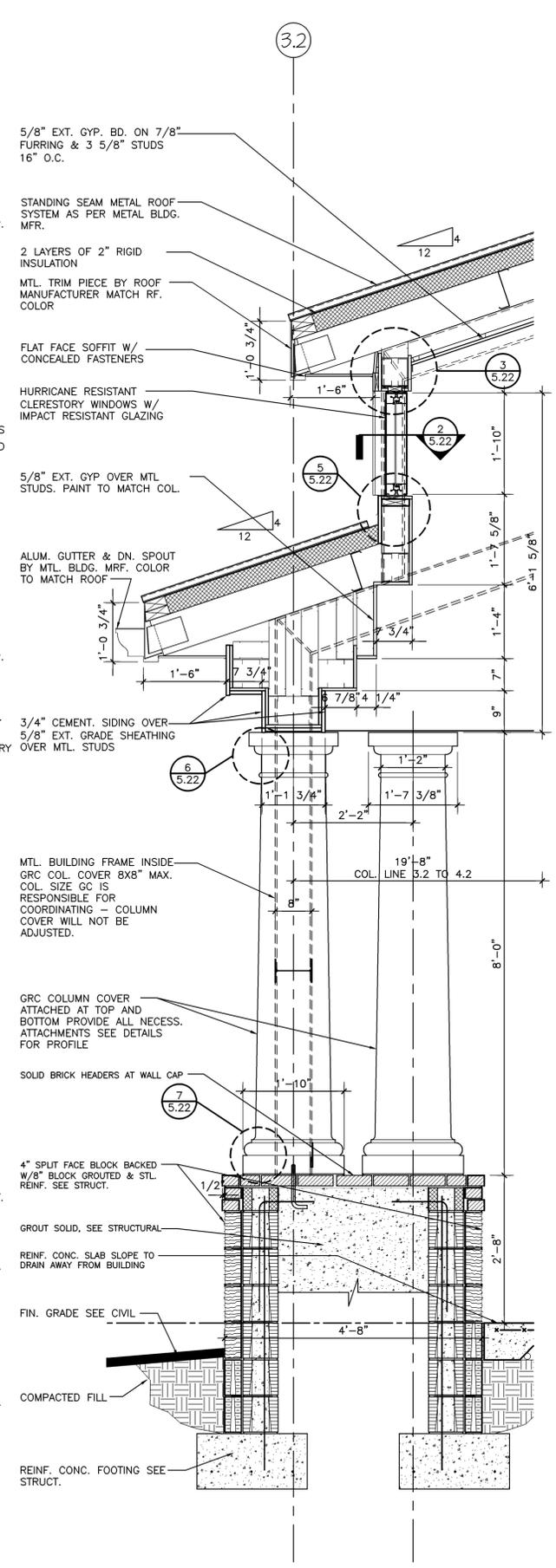
**5 CLERESTORY SILL DETAIL**  
SCALE: 3" = 1'-0"



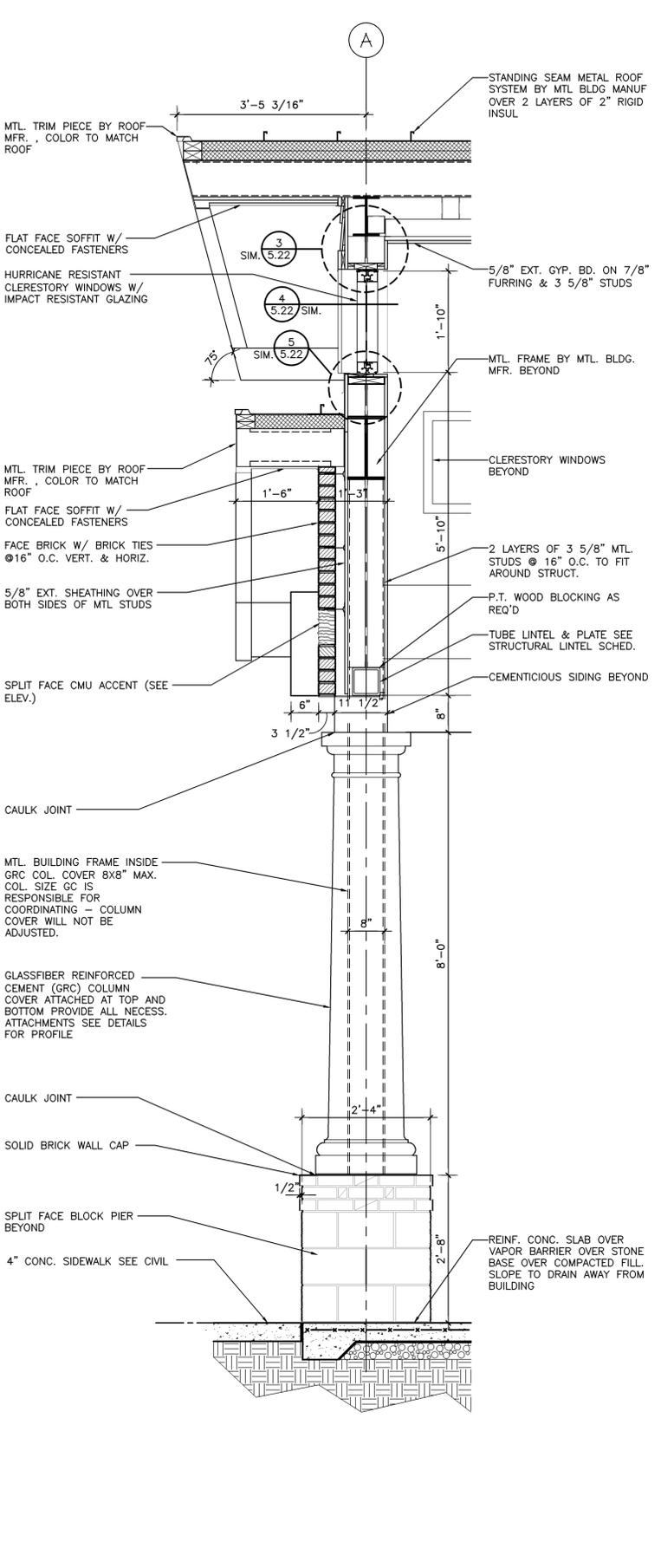
**6 COLUMN CAPITAL DETAIL**  
SCALE: 3" = 1'-0"



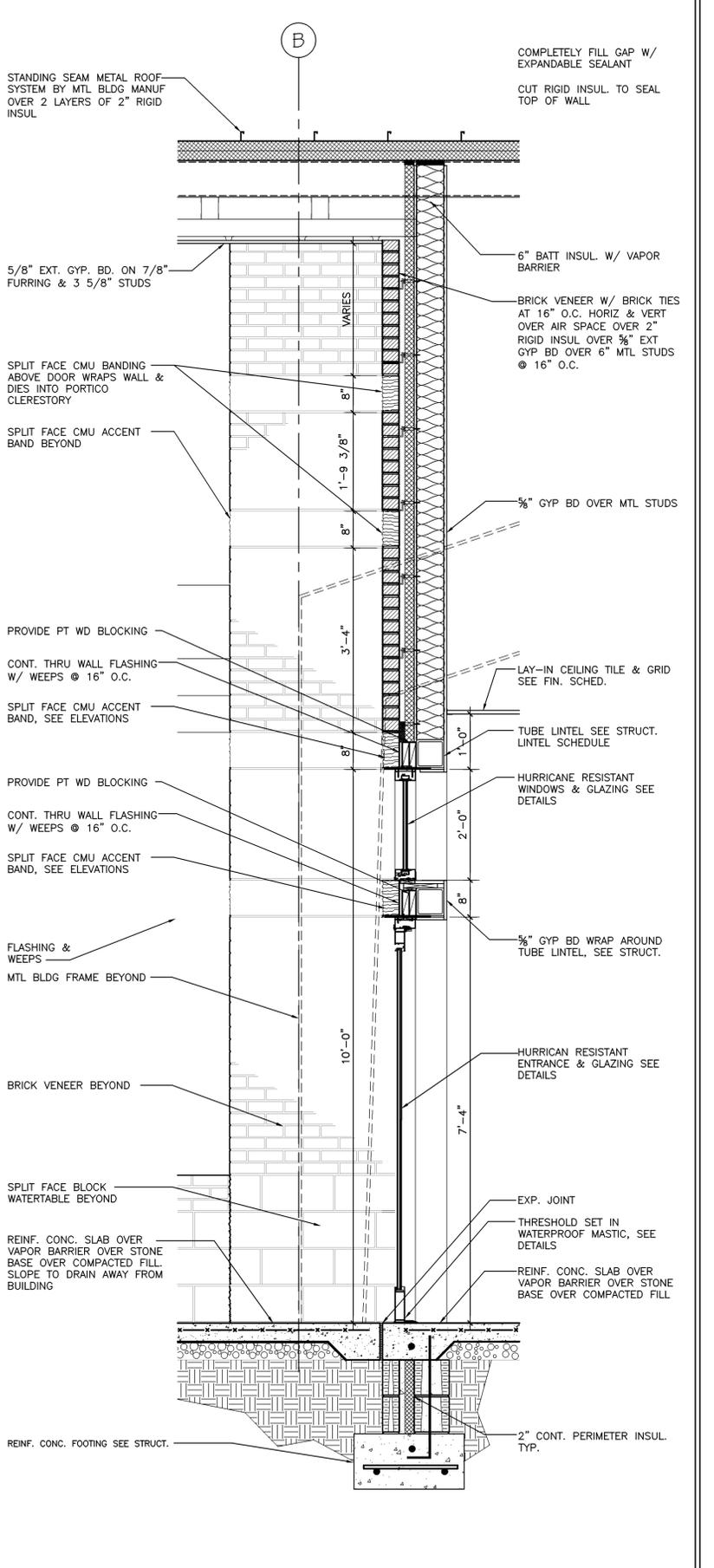
**7 COLUMN BASE DETAIL**  
SCALE: 3" = 1'-0"



**1 FRONT PORTICO WALL SECTION**  
SCALE: 3/4" = 1'-0"



**2 FRONT PORTICO WALL SECTION**  
SCALE: 3/4" = 1'-0"



Project No. 1177  
Date 10.09.2012  
Drawn mtb  
Checked KCN  
Revisions

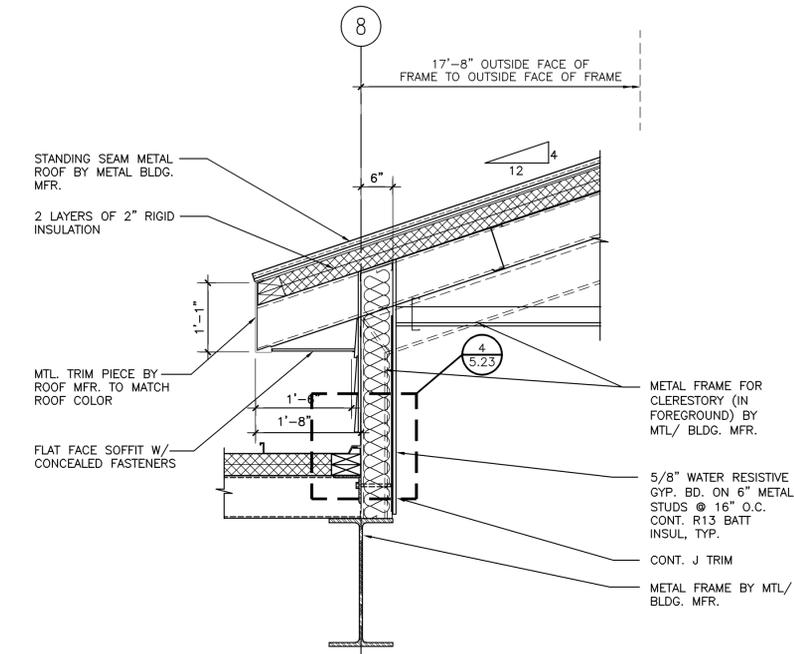
© STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO PATENT, COPYRIGHT AND TRADEMARK PROTECTION. NO PART OF THIS DRAWING MAY BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.

STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

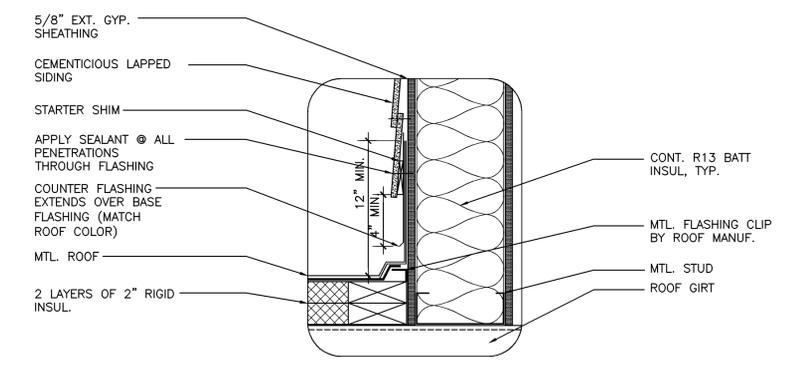
72640  
REGISTERED ARCHITECT  
SOUTH CAROLINA  
GASTONIA, NC

NEW FIRE STATION #6 FOR  
TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA  
WALL SECTIONS

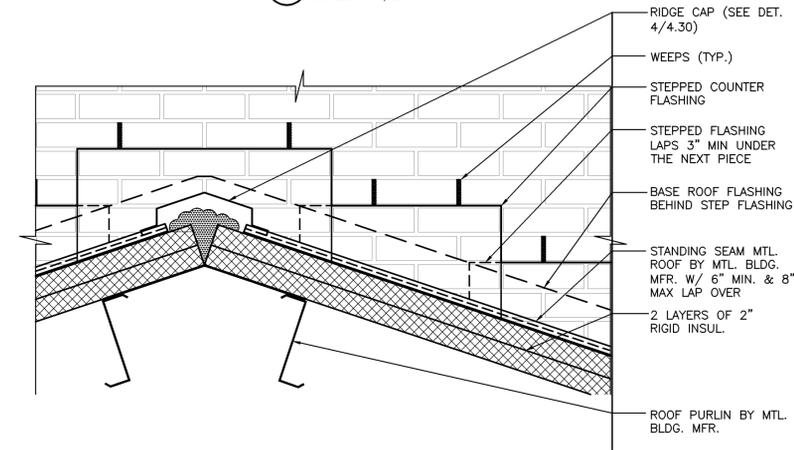
sheet 5.22



**3 BAY CLERESTORY WALL SECTION**  
SCALE: 3/4" = 1'-0"

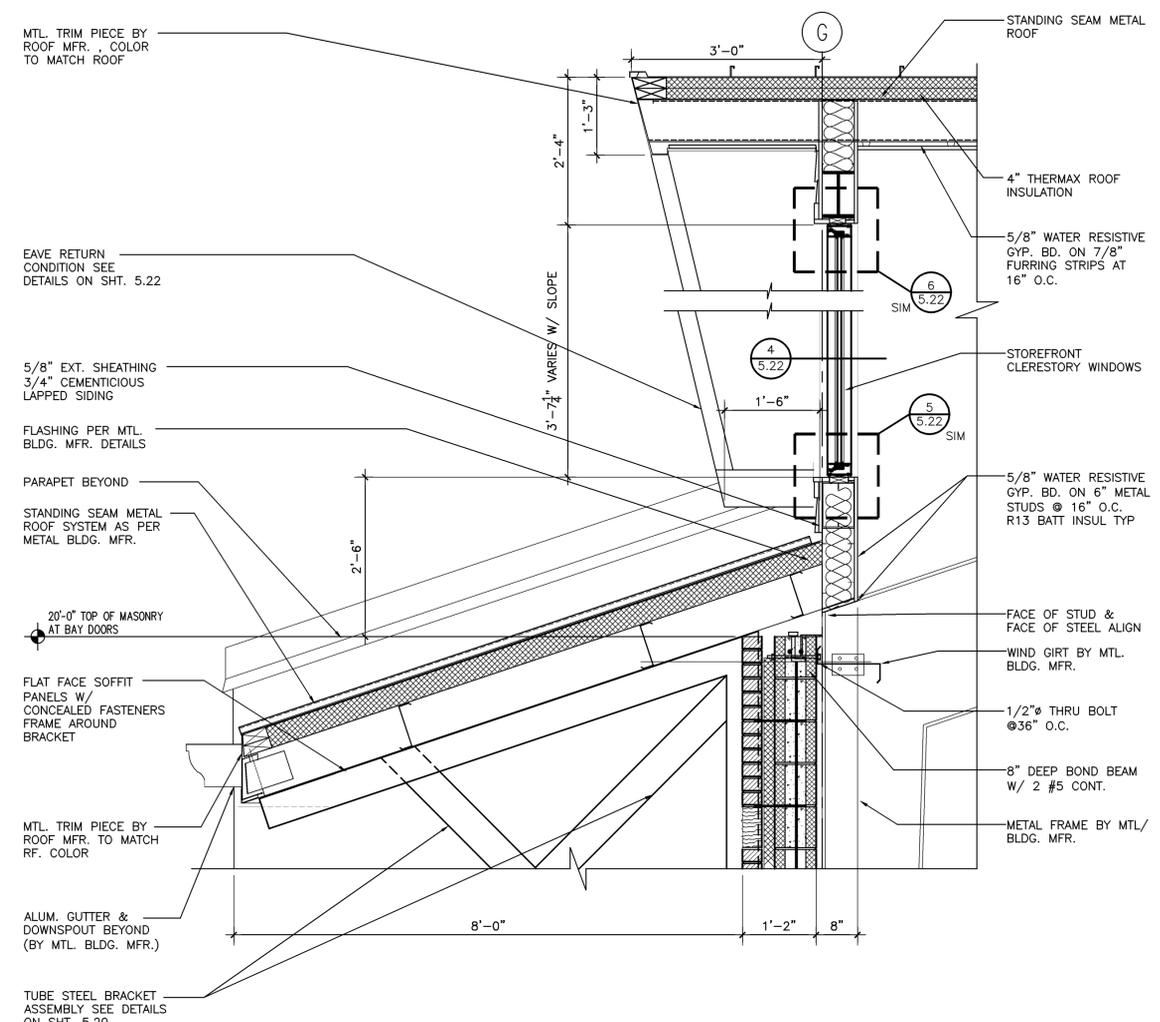


**4 FLASHING DETAIL**  
SCALE: 1 1/2" = 1'-0"

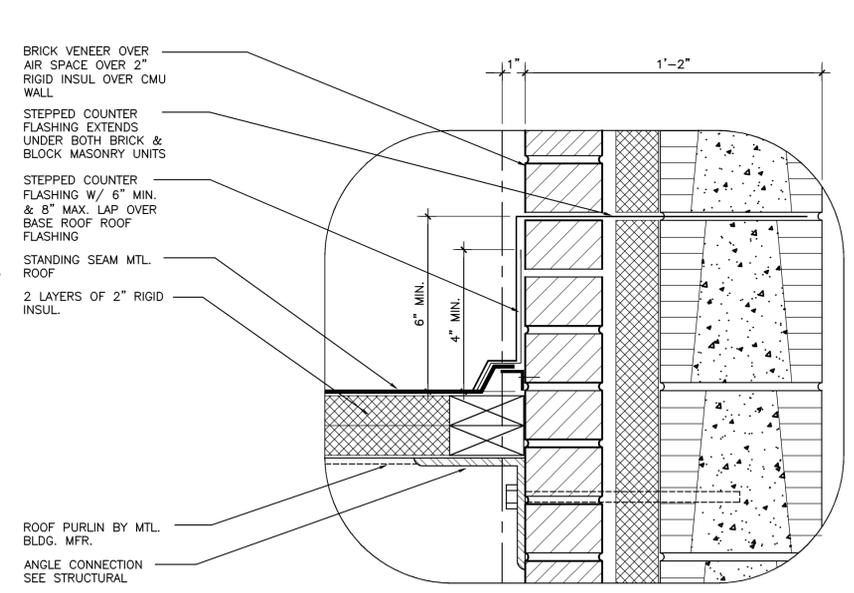


**6 STEP FLASHING PARTIAL ELEVATION**  
SCALE: 1 1/2" = 1'-0"

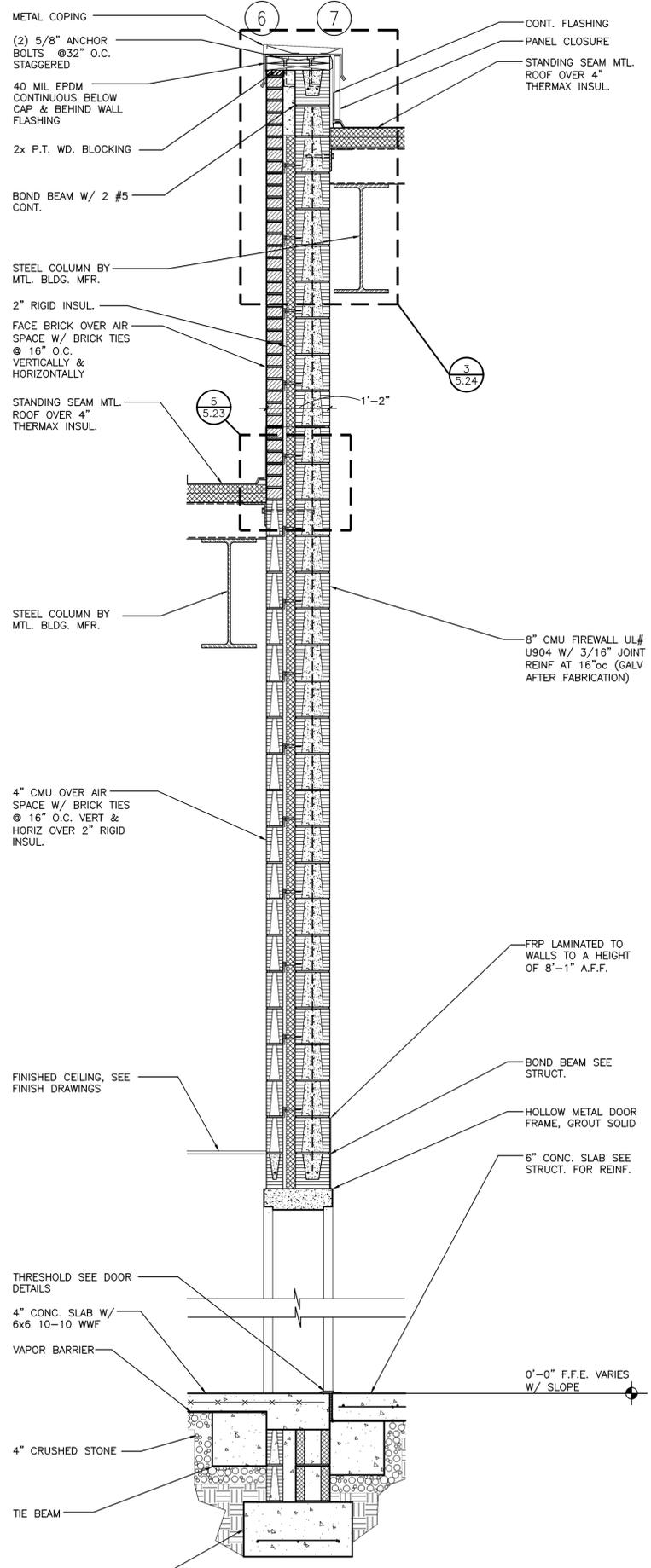
- FLASHING NOTES:**
1. STEP FLASHING COVERS BASE ROOF FLASHING 6" MIN. VERT.
  2. STEP FLASHING NOT TO EXCEED 8" MAX. VERT.
  3. BASE ROOF FLASHING EXTENDS 4" MIN. UP THE WALL AND ONTO THE ROOF.
  4. ARCHITECT MUST REVIEW AND APPROVE FLASHING & MASONRY INSTALLATION. GENERAL CONTRACTOR MUST COORDINATE FLASHING & MASONRY WORK.



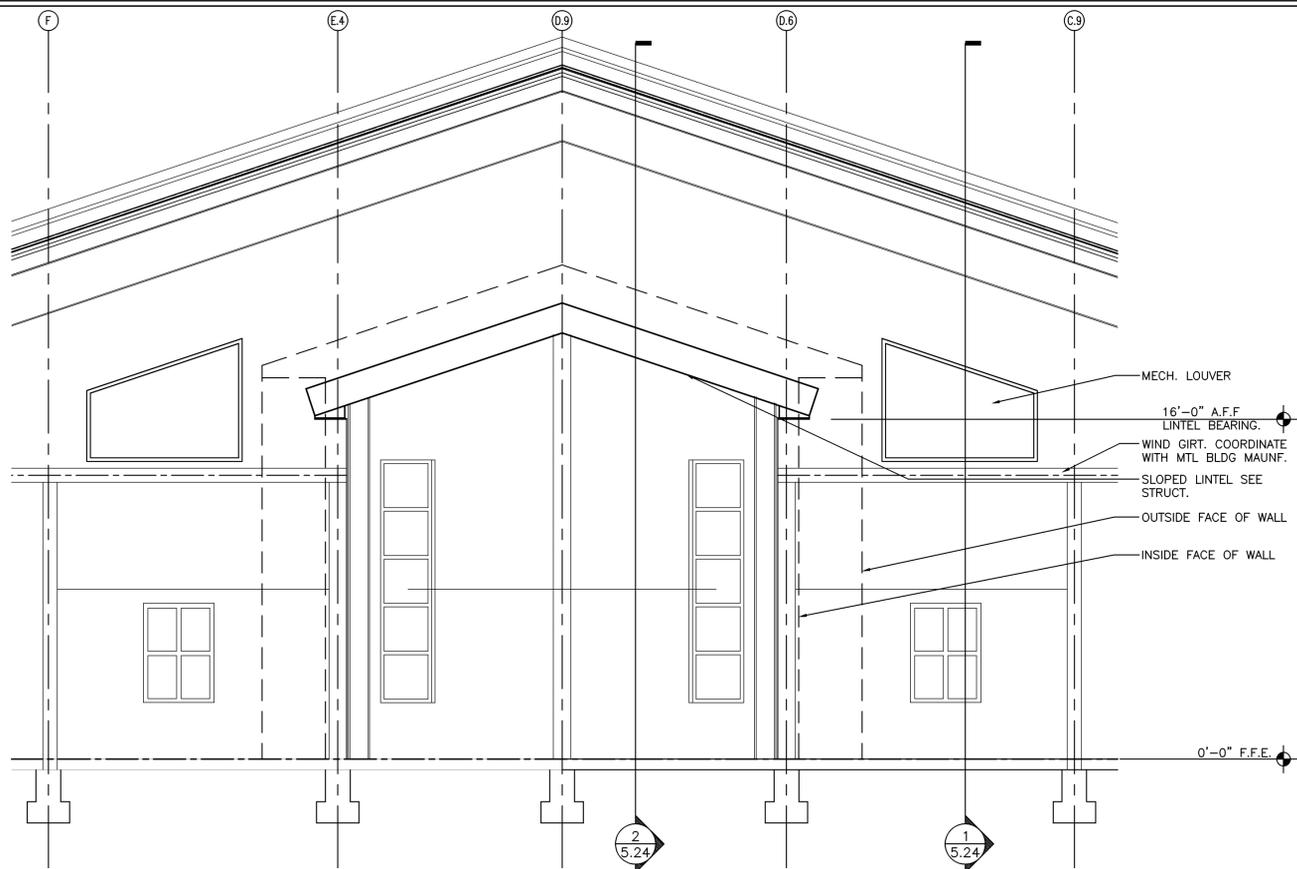
**2 BAY CLERESTORY WALL SECTION**  
SCALE: 3/4" = 1'-0"



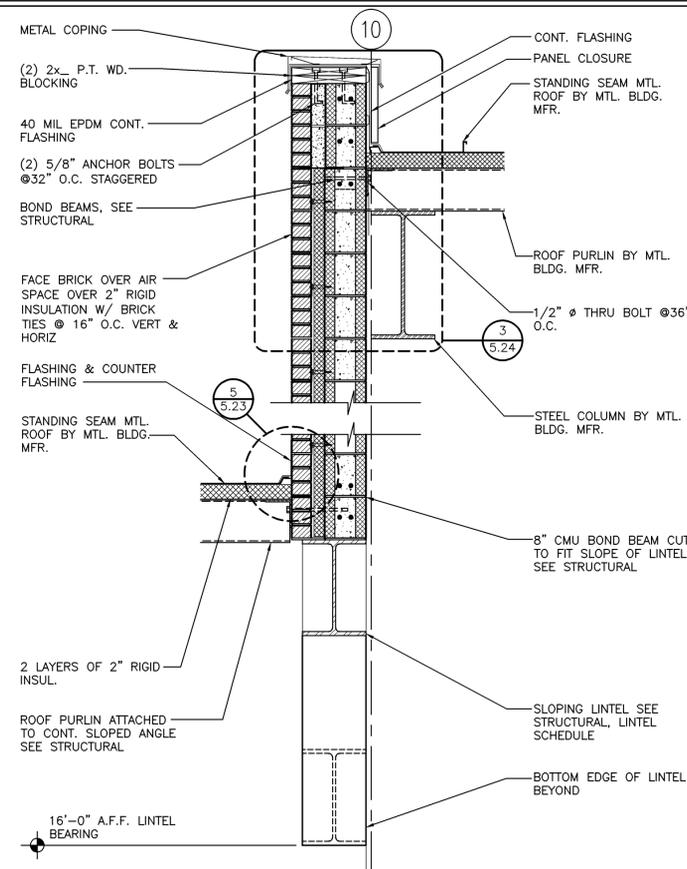
**5 FLASHING DETAIL**  
SCALE: 3" = 1'-0"



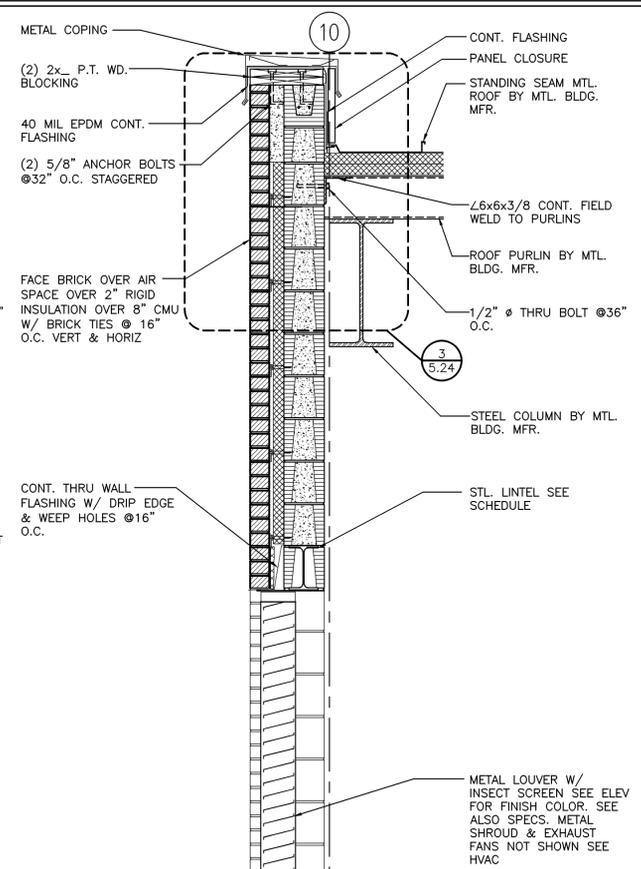
**1 2 HR FIRE WALL SECTION**  
SCALE: 3/4" = 1'-0"



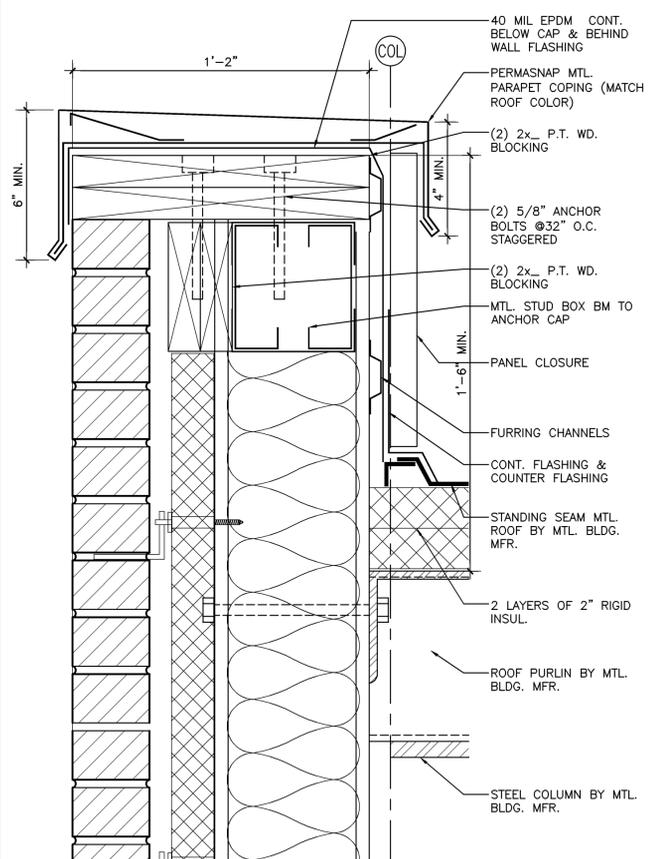
**4 APP. STORAGE ELEVATION**  
SCALE: 1/4" = 1'-0"



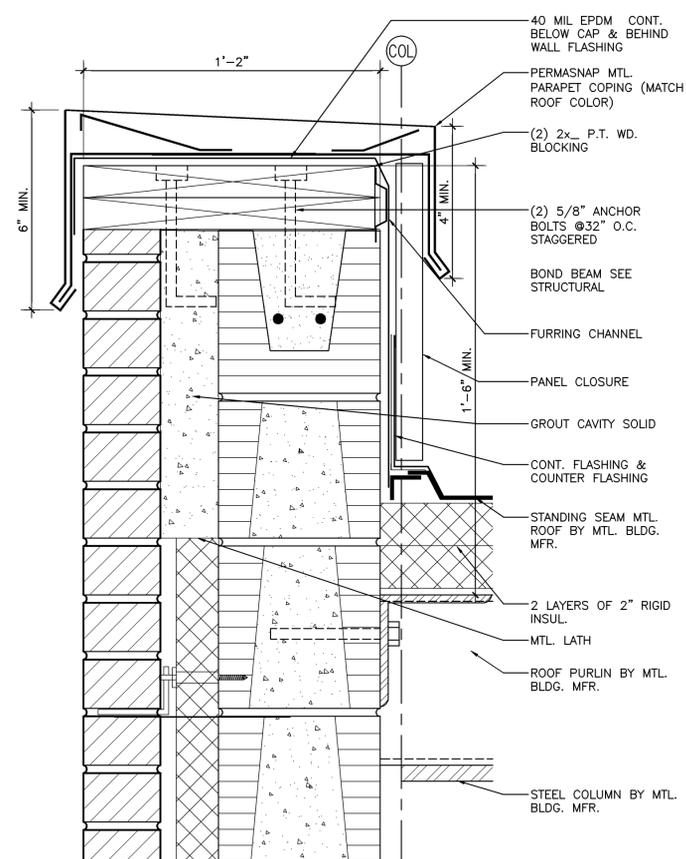
**2 APP. STORAGE WALL SECTION**  
SCALE: 3/4" = 1'-0"



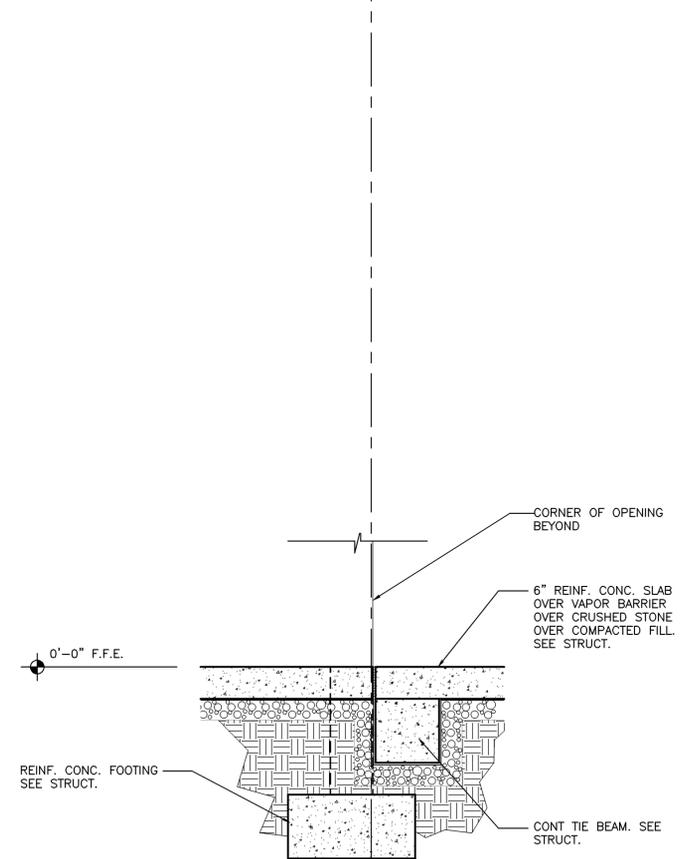
**1 END WALL SECTION**  
SCALE: 3/4" = 1'-0"



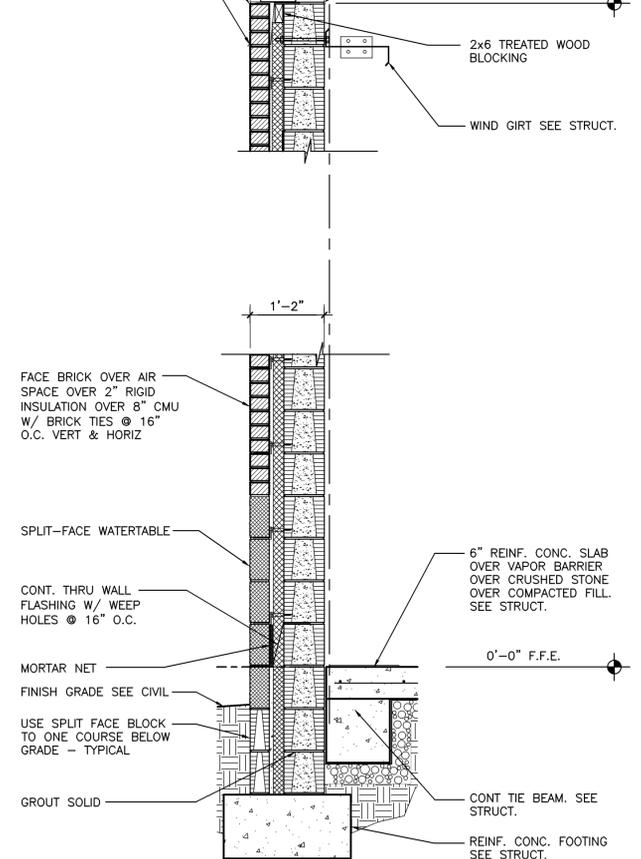
**5 PARAPET AT METAL STUD WALL SECTION**  
SCALE: 3" = 1'-0"



**3 PARAPET AT MASONRY WALL SECTION**  
SCALE: 3" = 1'-0"



**2 APP. STORAGE WALL SECTION**  
SCALE: 3/4" = 1'-0"



**1 END WALL SECTION**  
SCALE: 3/4" = 1'-0"

Project No. 1177

Date 10.09.2012  
Drawn mtb  
Checked KCN  
Revisions

© STEWART-COOPER-NEWELL ARCHITECTS, P.A.

THIS DRAWING IS THE PROPERTY OF STEWART-COOPER-NEWELL ARCHITECTS, P.A. AND IS SUBJECT TO PATENT, COPYRIGHT AND OTHER LAWS. NO PART OF THIS DRAWING IS TO BE REPRODUCED, PUBLISHED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STEWART-COOPER-NEWELL ARCHITECTS, P.A.

STEWART-COOPER-NEWELL ARCHITECTS, P.A.  
BUSINESS REGISTERED ARCHITECTS  
CERT. NO. C-82008  
SOUTH CAROLINA  
GASTONIA, NC

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

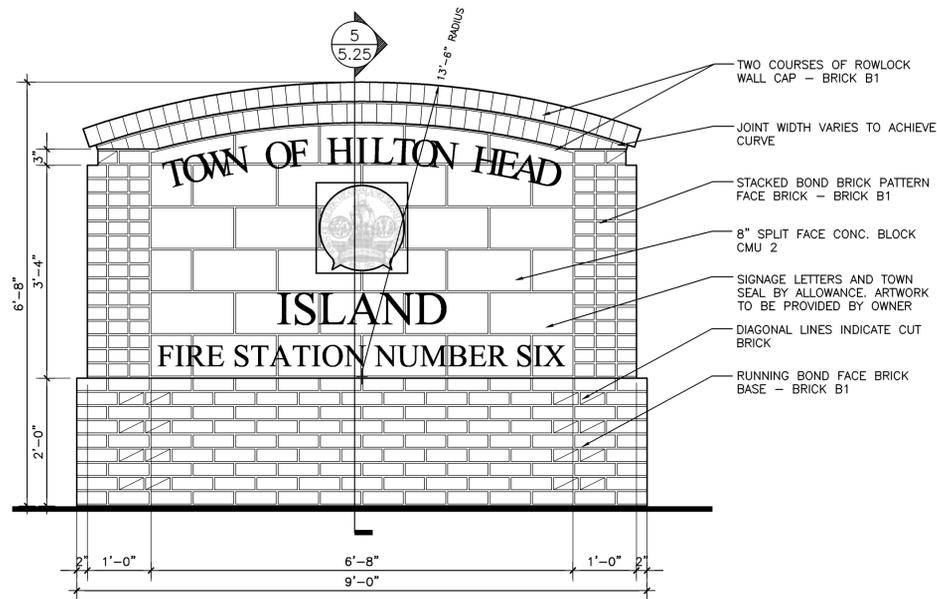
9133 Two Notch Road  
Columbia, SC 29223  
Phone: 803.765.9011

**Stewart-Cooper-Newell Architects**  
www.scn-architects.com

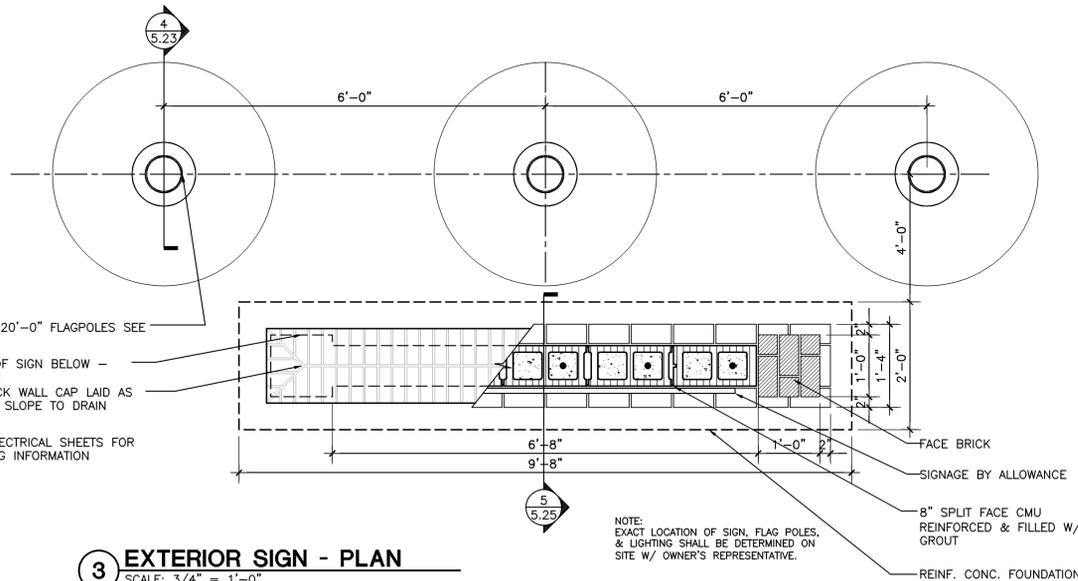
REGISTERED ARCHITECT  
72640  
SOUTH CAROLINA  
GASTONIA, NC

NEW FIRE STATION #6 FOR  
TOWN OF HILTON HEAD ISLAND  
HILTON HEAD ISLAND, SOUTH CAROLINA  
WALL SECTIONS

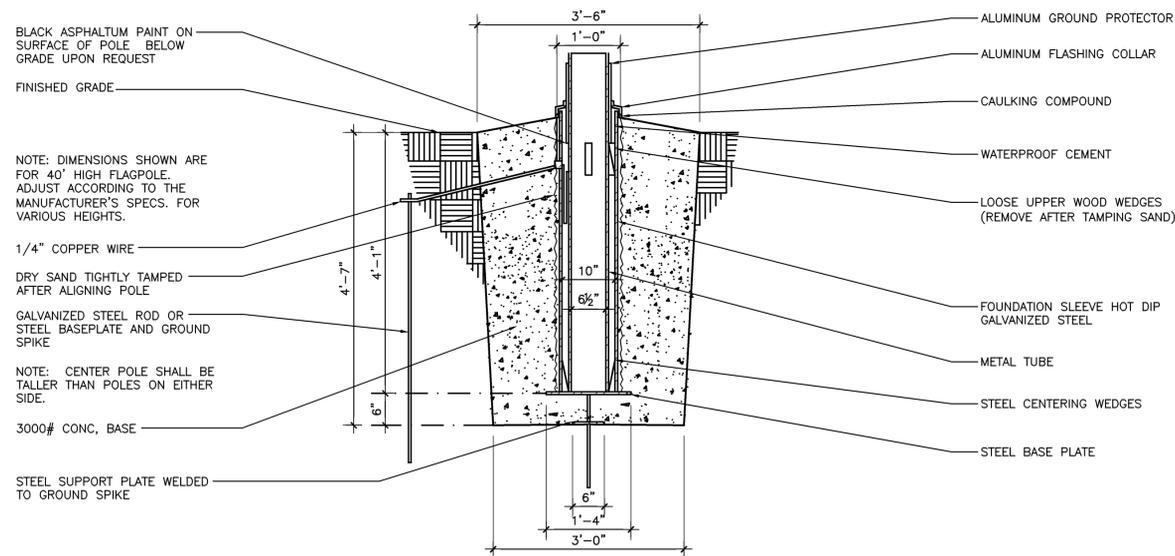
sheet 5.24



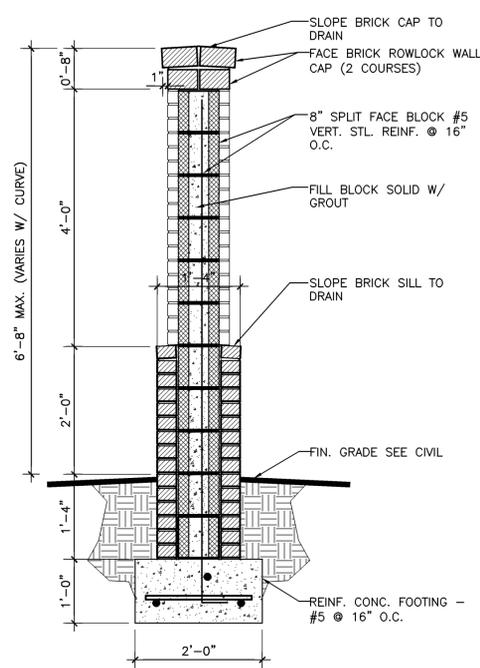
**4 EXTERIOR SIGN - ELEVATION**  
SCALE: 3/4" = 1'-0"



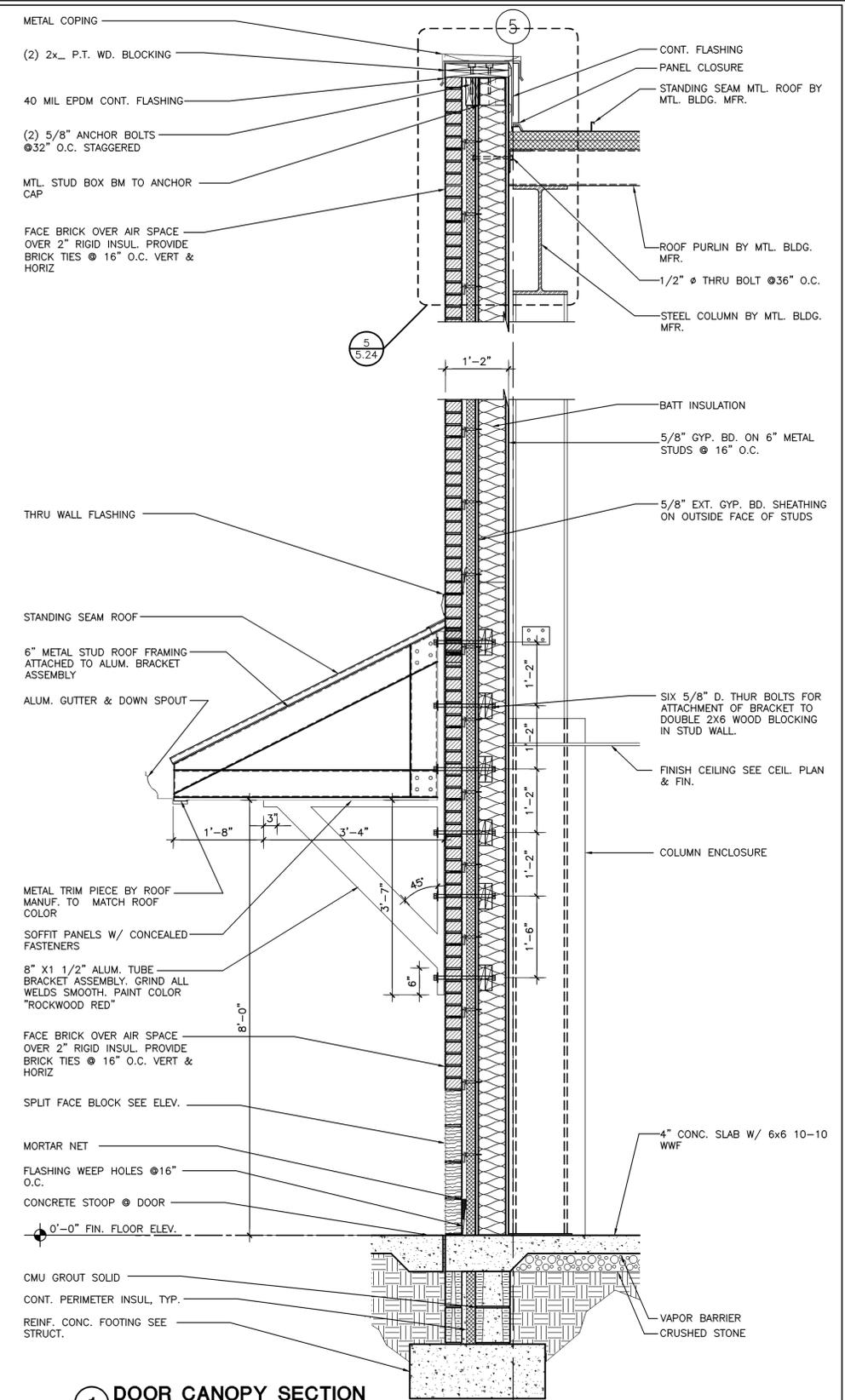
**3 EXTERIOR SIGN - PLAN**  
SCALE: 3/4" = 1'-0"



**6 FLAGPOLE FOUNDATION**  
SCALE: 3/4" = 1'-0"



**5 EXTERIOR SIGN - SECTION**  
SCALE: 3/4" = 1'-0"



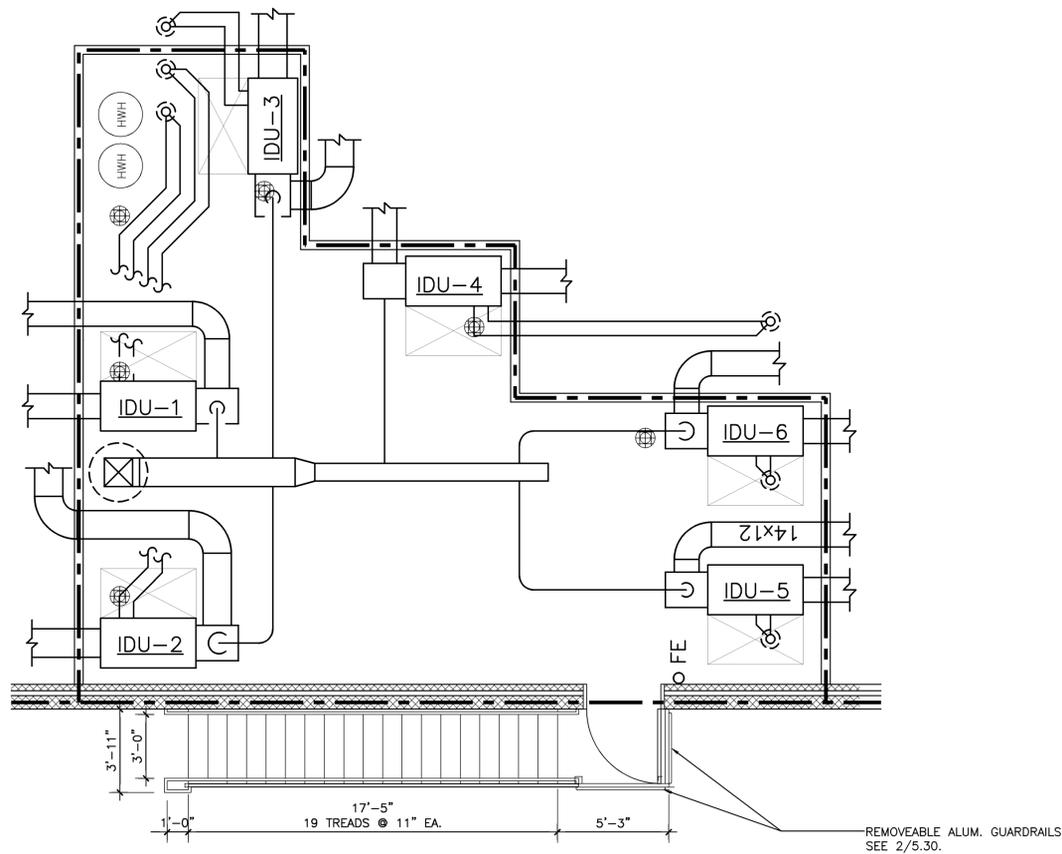
**1 DOOR CANOPY SECTION**  
SCALE: 3/4" = 1'-0"

NOTE:  
ALL DISSIMILAR METALS  
MUST BE SEPARATED.  
SEE SPECIFICATIONS.

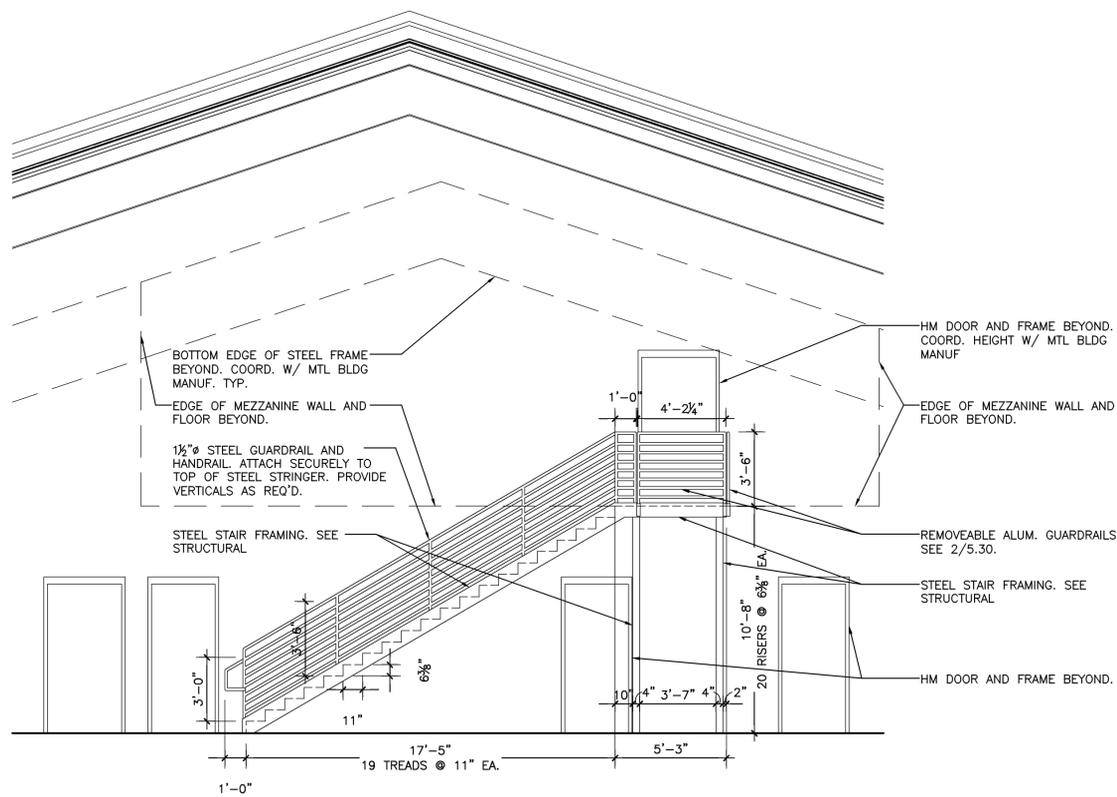
**NOTE**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES. USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

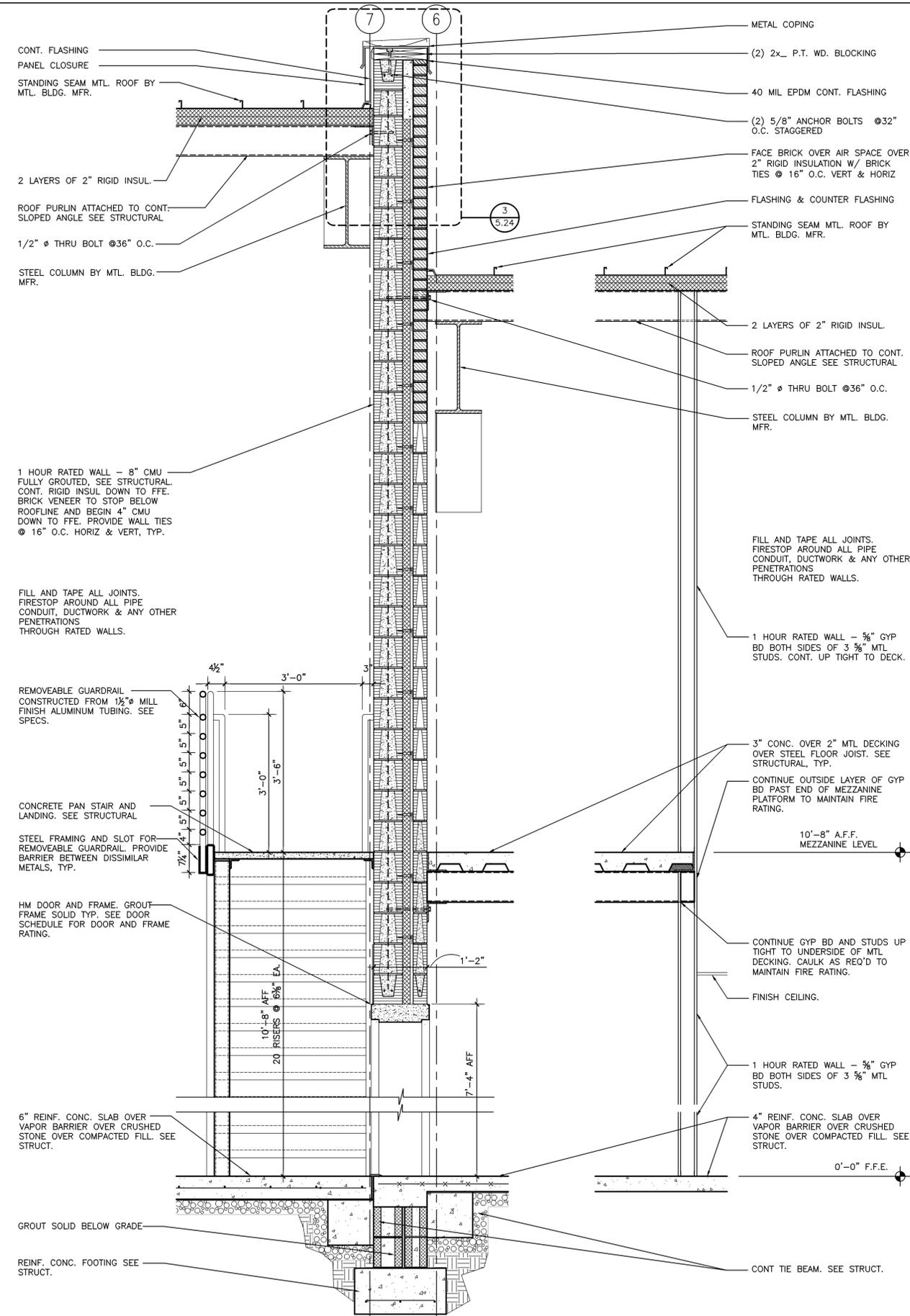
WHenever there are discrepancies between drawings, or between the drawings and specifications, or conflicts within the specifications and/or drawings, and such discrepancy is not called to the architect's attention in time to permit clarification by addendum, the contractor shall base his bid upon providing the better quality or greater of work or material called for, shall submit a written statement with his proposal noting such discrepancies, and shall so furnish and install such better quality or greater quantity unless otherwise ordered in writing.



1 MEZZANINE STAIR PLAN  
SCALE: 1/4" = 1'-0"



2 MEZZANINE STAIR ELEVATION  
SCALE: 1/4" = 1'-0"



3 MEZZANINE WALL SECTION  
SCALE: 3/4" = 1'-0"

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fire Station #6 – NEW DEVELOPMENT FINAL

DRB#: DR 120024

DATE: October 23, 2012

RECOMMENDATION:    Approval             Approval with Conditions             Denial

<b><i>ARCHITECTURAL DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***




Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
Linked App. #:	_____
Project Mgr:	_____

## APPLICATION PACKET FOR COMMERCIAL BUILDING AND SITE REVIEW PERMIT

<input checked="" type="checkbox"/> <b>New Structure(s)</b>	<input type="checkbox"/> <b>Addition</b>	<input type="checkbox"/> <b>Hotel/Motel</b>	<input type="checkbox"/> <b>Multi-Family</b>	<input type="checkbox"/> <b>Accessory</b>
---	--	---	--	---

Project Name: Jersey Mikes Subs Project Address: 75 Pope Ave, Hilton Head  
 Parcel Number [PIN]: R5 5 2 0 1 8 0 0 0 0 1 9 3 Project Acreage: .46 ac  
 Zoning District: CCW Overlay District(s): \_\_\_\_\_ Flood Zone: A7  
 Land Owner Name: TP Development (Rodney Taylor) Phone #: 404-668-5257  
 Address: 3939E La Vista Rd, Tucker Ga 30084 Email: rodneytaylor26@hotmail.com

### INSTRUCTIONS FOR COMPLETING APPLICATION:

A Staff Project Manager will be assigned to you to assist in processing this application and to be your only Point of Contact throughout the entire project. This Project Manager will also inform you of any boards that require review of the application, and will assist in determining which of the requirements of this application apply to the project.

This form is organized for different submissions at different times. The following explains which pages should be submitted for different phases of the project:

- Page 1: submitted in the beginning of the project for all general information on the project.
- Page 2: for Design Review Board approval (**Phase 1**), if applicable.
- Pages 3-6: for Site Plan approval (**Phase 2**). Fill out all pages in green.
- Pages 7-?: for Building Plan approval (**Phase 3**). Fill out all pages in blue.
- Pages 8-?: for Final Inspection, Sub Roster and Certificate of Occupancy (**Phase 4**) after the project is completed and all obligations to the Site Plans & Building Plans have been met. Fill out all pages in purple.

#### Fees:

Please see [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov) for all Application fees. The Town accepts cash or check made Payable to Town of Hilton Head Island. Credit cards are accepted as payment for some items.

This form with its separate sections can be found on the Town's Website at [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov). You may print only those pages necessary for submission.

**Digital Submissions are highly encouraged and may be accepted via email (send to [cdic@hiltonheadislandsc.gov](mailto:cdic@hiltonheadislandsc.gov)) or other electronic means.**

## PHASE 1. DESIGN REVIEW BOARD SUBMITTAL REQUIREMENTS

**Note: Staff will check which documents are required for submittal.**

### Standard Required Items:

\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action. Submitting an application to the ARB for their notice of action is the responsibility of the applicant.

### For New Development—Conceptual Approval:

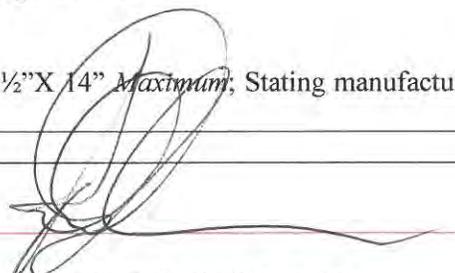
- If not previously submitted, a survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of the LMO, and if applicable, location of bordering streets, marshes and beaches.
- If not previously submitted, a site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
  
- If not previously submitted, conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines, setback angles and landscaping.

### For New Development – Final Approval:

- \_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
  
- \_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304.
  
- \_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
  
- \_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
  
- \_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

### Alterations/Additions and Minor External Changes:

- \_\_\_\_ A written narrative describing how project conforms to design guidelines.
- \_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_ Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

Print Name Paul Girardeau Agent Signature: 

Phone Number 678-401-5259 Email paul.girardeau@abri-ds.com

Date: 10-1-2012



Design Studio Inc.

October 8, 2012

Proposed Project Narrative:

Jersey Mikes Subs is considering building a 2,266 sf building with 400 sf covered deck on an existing available property located at 75 Pope Avenue. The design is to be old world coastal architecture similar to what is found in Charleston, Sea Side Florida, and even in Hilton Head (similar to the 6th photo on sheet "AS-004 Local Buildings" attached. The following is our analysis of the site:

1. Current Site

- a. The site is .46 acres (20,051 SF)(100.00'x200.51')
- b. Current zoning is CCW
- c. Flood zone is A7(14)
- d. Building setbacks and buffers
  - i. 25' Front Yard
  - ii. 10' Side Yard
  - iii. 10' Rear Yard
- e. Trees
  - i. The majority of the trees are not specimen trees. Based on a conversation with National Resources there is the possibility that 4 tree out of +/- 40 trees on site might be considered specimen trees if oaks over 6" and pines over 8" are considered specimen trees. For the purpose of the site analysis they will be considered specimen.
- f. Curb cuts and Asphalt
  - i. The site has 1 existing curb cut on the upper west corner
  - ii. The site currently does not have any concrete or asphalt but is surrounded on 3 sides within 2-5 feet with asphalt.
- g. Parking
  - i. there is currently no parking on the site.
- h. The high point on the site is at a elevation of 13 with an average site elevation of 11.

2. Current Site Analysis

- a. The Site Use and Building size
  - i. We are planning to put a Jersey Mikes Subs and a Yogurt Shop on site. This set up a number of restrictions based on the size of the property. The smallest Jersey Mikes Subs (JMS) is 1500 sf, the smallest practical Yogurt Shop will be about 766 sf, a total of 2266 sf.
  - ii. Based on zoning requirements to be at or above the grade elevation of 15 the building will be required to be 3 to 4 feet above existing grade, this will require the building to have ramps (to meet ADA) and steps. Based on a 36" elevation change a 36'-0" handicap ramp will be required. If the ramp is a switchback type that will require a space of 8'-0" wide x 18'-0" long with a 5 foot mid-landing for a total of 23'-0" plus steps. With exterior doors for 2 tenants an exterior raised walkway will be required to access both tenants. ADA requires min 60" landing at each door, so based on steps, ramps, and landings we assumed 400 SF of deck to accommodate access to the building.
- b. Zoning Requirements and Site Layout
  - i. Zoning Requirements

1. Proposed Entrance and Parking
  - a. The 15' wide existing entrance will be used but based on comments from the town of Hilton Head will be required to be widened to 24'
  - b. Based on 2,266 sf building and 400 sf deck we estimated the parking requirements to be 18 spaces with at least one 12x40 loading area.
  - c. Spaces next to required tree islands are to be 10' wide with all other spaces 9' wide. The drive isle is to be 24 feet.
  - d. Since the site only has one entrance and exit and the limited site depth, the site will require a means of turning around. This will be accomplished by moving the building forward on the site and having the parking in an "L" shaped layout. This will also have the added benefit of allowing the required dumpster and loading area to be in the rear of the building.
2. Max site impervious 80%
  - a. The required parking, turning area, loading area and building area stretches the impervious requirement so we are proposing using pervious asphalt and/or pavers for our site parking, either partial or total coverage. This will also possibly have the benefit of letting water to the roots of the existing and new trees critical root zone areas.
3. Proposed Building Design
  - a. The building design is proposed to be old world beach architecture as seen in the last picture in on Sheet AS-004, or as seen in Charleston, Sea Side FL, and other towns and cities up and down the coast.
  - b. Orientation - The long dimensions of the building will be facing north and south due to the limitations of the site as well as for solar design. This allows for better control of solar gain through windows if positioned this way. The windows will be on the north side not only due to the existing site entrance location but again for solar design.
  - c. Views - The north facing windows also face a larger open area since the northern adjacent property building is set back farther on the site. This allows for better views from the interior of our building.
  - d. Proposed Building Characteristics
    - i. Concrete foundation with brick or stone veneer. Footings to extend min. 3 feet below grade.
    - ii. Trellis covered deck with brick pavers
    - iii. 10 to 12 foot wood framed structure with siding.
    - iv. 24 to 30" overhangs (30" shown) with brackets
    - v. Double hung windows
    - vi. 5 "v" metal roofing or architectural shingles
    - vii. Hidden roof well for HVAC units.
    - viii. Design of the building was also done to enhance the towns future overlay design.
    - ix. Trellis covered and screened dumpster enclosure
    - x. Building colors to be per rendering.

## PRE-APPLICATION MEETING

### STAFF COMMENTS

<b>Comments Due:</b>	<b>December 17</b>	Bldg. & Fire Codes:	Richard Spruce, Plans Review Administrator
Meeting Date(s):	December 20	Engineering:	Jennifer Lyle, Assistant Town Engineer
PAPP Number:	<b>PAPP100015</b>	Floodplains:	Trudie Johnson, Floodplain Administrator
Project Name:	Jersey Mike's Subs	Traffic Engineering:	Darrin Shoemaker, Traffic and Transportation Engineer
Dev. Rev. Case Mgr:	Nicole Dixon	Fire Marshal:	Joheida Fister, Fire Marshal
Addressing:	Suzanne Brown, Addressing Technician	Natural Resources:	Sarah Skigen, Natural Resources Assoc.

**NOTE:** ~~Staff:~~ Please contact the Development Review Administrator if you have format issues or need additional lines for comments. Additional comments may result from changes to the plans and further discussion.  
**The comments contained herein do NOT constitute an approval.**

**Comments are based on conceptual plans. Upon receipt of a formal application, additional, more detailed/specific comments may result.**

### ADDRESSING COMMENTS

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 12-20-10

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
Address is 75 Pope Ave		
Address number will need to be displayed on the new signage visible from the road.		International Fire Codes Section 505

**BUILDING CODES COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete: X Date: 13 DEC 10

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
No comments at this time		

**ENGINEERING (General) COMMENTS**

Review is NOT applicable based on the scope of the project:

Comments in *italics* are general comments and shall be revised according to the requested application.

Review is Complete:  Date: 12/20/10, JAL

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
<i>The applicant must meet with staff for an Engineering Pre-design Conference prior to submitting for a DPR/XDPR/SUB</i>	<i>Schedule a Pre-Design conference with engineering staff at 843-341-3779</i>	<i>LMO 16-5-605</i>
<i>Provide an erosion and sediment control plan.</i>	<i>Provide an erosion and sediment control plan.</i>	<i>LMO 16-5-608</i>
<i>Show existing and proposed utility locations on the plans.</i>	<i>Show existing and proposed utility locations on the plans.</i>	<i>LMO 16-5-1702</i>
<i>Provide a stormwater management plan, including relevant calculations, signed and sealed by a professional engineer registered in South Carolina.</i>	<i>Provide a stormwater management plan, including relevant calculations, signed and sealed by a professional engineer registered in South Carolina. The design must comply with requirements in Chapter 5 of the LMO.</i>	<i>LMO 16-5-Article VI</i>

**TRAFFIC ENGINEERING COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: December 13<sup>th</sup>, 2010

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
Driveway exists serving this site, but it is only approx. 18' wide and not wide enough to accommodate two-way traffic. Site plan appears to indicate one-way circulation through site based on presence of angle parking, but any effort to widen the existing driveway constitutes new driveway construction and will require an Administrative waiver from the minimum separation requirements.	Applicant may choose to operate driveway as one-way access or improve driveway to accommodate two-way access by seeking an Administrative waiver from the driveway minimum separation requirement.	16-5-509(A,G).
Site plan appears to indicate only one-way ingress access with egress to take place via cross-access onto adjacent site. No cross access presently exists. Owner of adjacent site on board?	Delete cross-access or provide documentation from adjacent owner site concurring with access as proposed.	n/a
Accessible parking per ADA requirements required	Provide one van accessible parking space 8' stall width with adjoining 8' access aisle	16-5-1204(D)
Spaces on ends of parking bays to be 10' wide	Make spaces on ends of parking bays 10' wide	16-5-1204(B)
Drive aisles need to be 24' wide behind 90-degree pull-in parking and 18' wide behind 60-degree parking. Both appear compromised	Provide drive aisles/backing areas behind parking that is of adequate width.	16-5-1206(D)
Wheel stops to be provided	Provide wheel stops	16-5-1206(E)
One parking space required for each 100 GFA provided indoors or within the proposed outdoor deck seating area.	Provide one parking space per 100 sq. ft. of indoor/outdoor dining area or reduce area of building and/or outdoor dining area.	16-5-1208(A)
Bicycle parking to be provided in an amount of ten percent of the required vehicle parking	Provide bicycle parking in an amount of ten percent of the required vehicle parking	16-5-1212
12' x 40' off-street loading area required that doesn't encumber drive aisles or areas dedicated to parking	Provide 12' x 40' off-street loading area that doesn't encumber drive aisles or parking stalls	16-5-1210

**FIRE MARSHAL COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 12/15/2010 – Review is of the site and for access and water supply.

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
In order to determine if the number of hydrants is adequate and if the required fire flow is met I will need the following information - square footage of each building, the construction type and if the buildings will be sprinklered.	Provide square footage of each building, the construction type and if the buildings will be sprinklered	Section 16-5-1601 LMO & Section 508, Appendix B&C of 2006 International Fire Code
A minimum of one fire hydrant shall be located within 500 feet of all portions of the building – depending on the required fire flow additional hydrants may be required	Show hydrant on plans	Section 16-5-1601 LMO & Section 508, Appendix B&C of 2006 International Fire Code
Fire flow data will need to be obtained from the PSD.	Contact South Island PSD at 843-785-6224 to obtain flow data for closest hydrant.	Section 16-5-1601 LMO & Section 508, Appendix B&C of 2006 International Fire Code
All access roads are required to be at least 20 feet wide – where one-way traffic occurs 14 feet minimum clearance is required each way. THIS IS THE ACTUAL MEASUREMENT OF THE PAVEMENT NOT TO INCLUDE CURB OR GUTTER AREA.	All traffic engineering requirements must be met – these are the minimums for fire rescue access.	Section 16-5-1206 LMO & Section 503.2 of 2006 International Fire Code)

### **FLOODPLAIN COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 11-16-10

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
The building must be elevated to the minimum base flood elevation of 14' msl or dry floodproofed to elevation 15' msl.	The building appears to be at the existing grade of 11' msl as indicated in the application. The applicant should declare their intent to dry floodproof the building. If this is not the intent then the building must be redesigned to show it elevated to 14' msl. The site plan should include the necessary stairs and ramps.	International Building Code 1612.1, 1612.2 and the Town Municipal Ordinance Title 15, Section 15-9-312. Requirement.

### **NATURAL RESOURCES COMMENTS**

Review is NOT applicable based on the scope of the project:

Comments in *italics* are general comments and shall be revised according to the requested application.

Review is Complete:  Date: 12/13/2010

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
All grading and utilities (including irrigation, cable, telephone, water, and sewer) must be shown in relation to existing trees. Palmetto electric, cable, and telephone must be certified by the provider.	Submit a plan showing the grading and utilities (including irrigation, cable, telephone, water, and sewer) in relation to existing trees. Palmetto electric, cable, and telephone must be certified by the provider.	LMO 16-3-404.A.5
Provide a canopy survey of all specimen trees within construction limits to include the height above the ground of the lowest limbs. Only applicable should specimen trees be present onsite.	Submit a canopy survey of all specimen trees within construction limits to include the height above the ground of the lowest limbs.	LMO 16-6-402.B
Provide a tree tally pre and post construction	Provide a tree tally pre and post construction divided	LMO 16-3-404..A.4

divided into buffer and non-buffer.	into buffer and non-buffer.	
Provide tree and topographic survey certified by a South Carolina land surveyor <2 years old.	Provide tree and topographic survey certified by a South Carolina land surveyor <2 years old.	LMO 16-3-405.A
Mark all trees to be removed with an 'X'.	Mark all trees to be removed with an 'X'.	LMO 16-3-404.A.5
Should pervious pavers be utilized, please submit paver construction detail.	Submit pervious paver details	LMO 16-6-402
Submit a wetland determination from a Town approved wetland consultant and/or Army Corps of Engineers <5 years old. If this document is not already acquired, a wetland waiver may be requested for this site.	Submit a wetland determination from a Town approved wetland consultant and/or Army Corps of Engineers <5 years old <i>OR</i> request a letter from staff requesting a waiver from the letter of wetland determination.	LMO 16-3-501 LMO 16-3-501.F
In areas where there is potential to save protected size trees, consider incorporating compact spaces into the design.	Incorporate compact spaces into the design to further reduce the impact on existing trees.	LMO 16-6-402.B
Provide a landscape plan detailing new trees and native vegetation. A native plant list can be furnished upon request.	Submit landscape plan for review. Sod should be minimized to the greatest extent practical in order to support LMO 16-3-304.F	LMO 16-3-304
Very little tree detail is provided on site plan making it hard to anticipate every condition associated with site development.	Prior to next submittal it may be useful to request a site meeting to discuss design concept as it relates to Natural Resources.	

**DEVELOPMENT REVIEW COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 12/17/10 ND

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
Please see attached DPR application/checklist for all items required at time of submittal		LMO Section 16-3-303
Project will require Design Review Board approval because the property is located within Corridor Overlay District	Submit application for Design Review Board approval	LMO Section 16-3-1003
Density maximum permitted in the CCW district (8000 sq.ft./acre)	Provide a density calculation demonstrating you meet the maximum permitted	LMO Section 16-4-1601
Maximum impervious coverage for CCW is 55% and minimum open space is 20%	Provide an impervious coverage and open space calculation demonstrating you meet min/max	LMO Section 16-4-1605
Maximum height is 45' for CCW	Provide the height of the proposed structure demonstrating you do not exceed limit	LMO Section 16-4-1701
10' adjacent use and 25' adjacent street setbacks and buffers are required	Illustrate and label on the plan	LMO Section 16-5-402
Parking shall be no more than and no less than 75% of what is required in LMO Section 16-5-1208	Provide a parking calculation showing how you meet this requirement	LMO Section 16-5-402
For site designs with connection between properties, need easements recorded to establish cross-access and shared parking rights	Provide the recorded easements	LMO Section 16-5-402
Medians at ends of parking bays shall be 15' in width	Make sure the median at the end of the bay is 15' and provide the distance on the plan	LMO Section 16-5-1208H
One loading space is required with dimensions of 12' x 40'	If your use requires routinely delivered merchandise or goods, please illustrate and label the required loading space	LMO Section 16-5-1210

Impact fees will be required for proposed project	You will need to pay approximately \$8,244 County, \$21,026 Town, at time of building permit	LMO Section 16-5-1801
Site Lighting Plan is required	Please provide plan when submitting DPR	LMO Section 16-3-305

***UTILITY COMPANY COMMENTS***

Public Service District: FILL IN

Contact Information: FILL IN

Please contact the Public Service District directly for all applicable requirements.

---

Palmetto Electric

Contact Information: Bob Bishop, 843-681-5551 or 1-800-922-5551  
email: [bbishop@palmetto.coop](mailto:bbishop@palmetto.coop)

Please contact Palmetto Electric directly for all applicable requirements.

---

Hargray (Telephone, Internet, Cable)

Contact Information: 1-800-726-1266

Please contact Hargray directly for all applicable requirements.

***ADDITIONAL PERMITS, NECESSARY APPROVALS***

*NOTE to Case Manager: Please revise list based on the specific project*

- Development Plan Review (DPR) approval – see attached application

- Design Review Board – Conceptual and Final Approval
- Tree Removal Permit
- Wetland Alteration/Waiver
- Waiver
- Building Permits
- Encroachment Permits (SCDOT, Town of HHI, Beaufort County)
- DHECH – OCRM, Land Disturbance Permit
- Utility Companies – Will Serve Letters
-



FRONT - SOUTH



FRONT - NORTH



FRONT - EAST



MIDDLE - NORTH



MIDDLE - NORTH



MIDDLE - NORTH



BACK - NORTH



BACK - SOUTH

STUART A.  
LIVINGSTON  
ARCHITECT  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

Abri  
DESIGN STUDIO  
P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

PROJECT  
75 POPE AVE  
HILTON HEAD

SHEET TITLE  
SITE PHOTOS

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET  
AS-003  
JOB NUMBER  
2012-38.01



**STUART A.  
LIVINGSTON**  
**ARCHITECT**  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

**Abri**  
DESIGN STUDIO  
P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

PROJECT  
**75 POPE AVE  
HILTON HEAD**

SHEET TITLE  
**LOCAL BUILD'GS**

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET  
**AS-004**  
JOB NUMBER  
**2012-38.01**



# SCHAMATIC DESIGN FOR SHELL BUILDING - FUTURE JERSEY MIKES SUBS

**STUART A.  
LIVINGSTON**  
**ARCHITECT**  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

Abri

DESIGN STUDIO

P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

PROJECT

75 POPE AVE  
HILTON HEAD

SHEET TITLE

OPTION 1

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET

COVER

JOB NUMBER

2012-38.01

2012-38.01 ABC01.DWG



build: 11.130, engine: 2.4, preset: 1.0.3exteriorQMC.pps | render time: 1 hours 45 minutes 53 seconds, size: 1600 x 900

**STUART A.  
LIVINGSTON**  
**ARCHITECT**  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

**Abri**  
DESIGN STUDIO

P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

PROJECT  
**75 POPE AVE  
HILTON HEAD**

SHEET TITLE  
**OPTION 1**

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET  
**AS-000**

JOB NUMBER  
**2012-38.01**



build: 11.130, engine: 2.4, preset: 1.0.3exteriorQMC.pps | render time: 1 hours 46 minutes 46 seconds, size: 1600 x 900

**STUART A.  
LIVINGSTON**  
**ARCHITECT**  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

**Abri**  
DESIGN STUDIO

P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

PROJECT  
**75 POPE AVE  
HILTON HEAD**

SHEET TITLE  
**OPTION 2**

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET  
**AS-001**  
JOB NUMBER  
**2012-38.01**

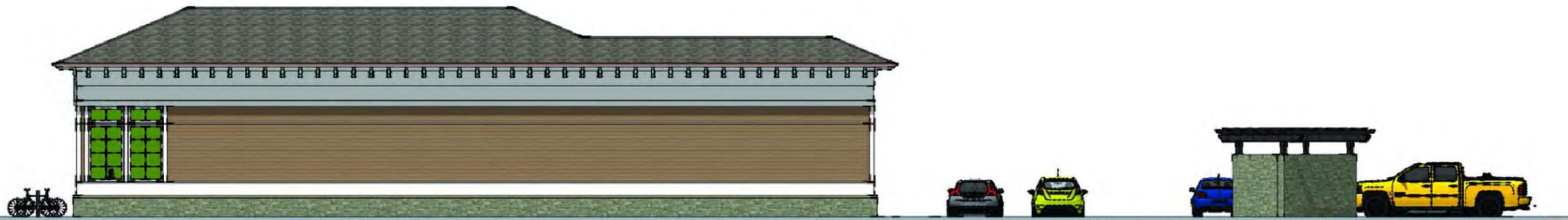


**WEST ELEVATION**

**EAST ELEVATION**



**NORTH ELEVATION**



**SOUTH ELEVATION**

**STUART A.  
LIVINGSTON**  
ARCHITECT  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

**Abri**  
DESIGN STUDIO  
P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

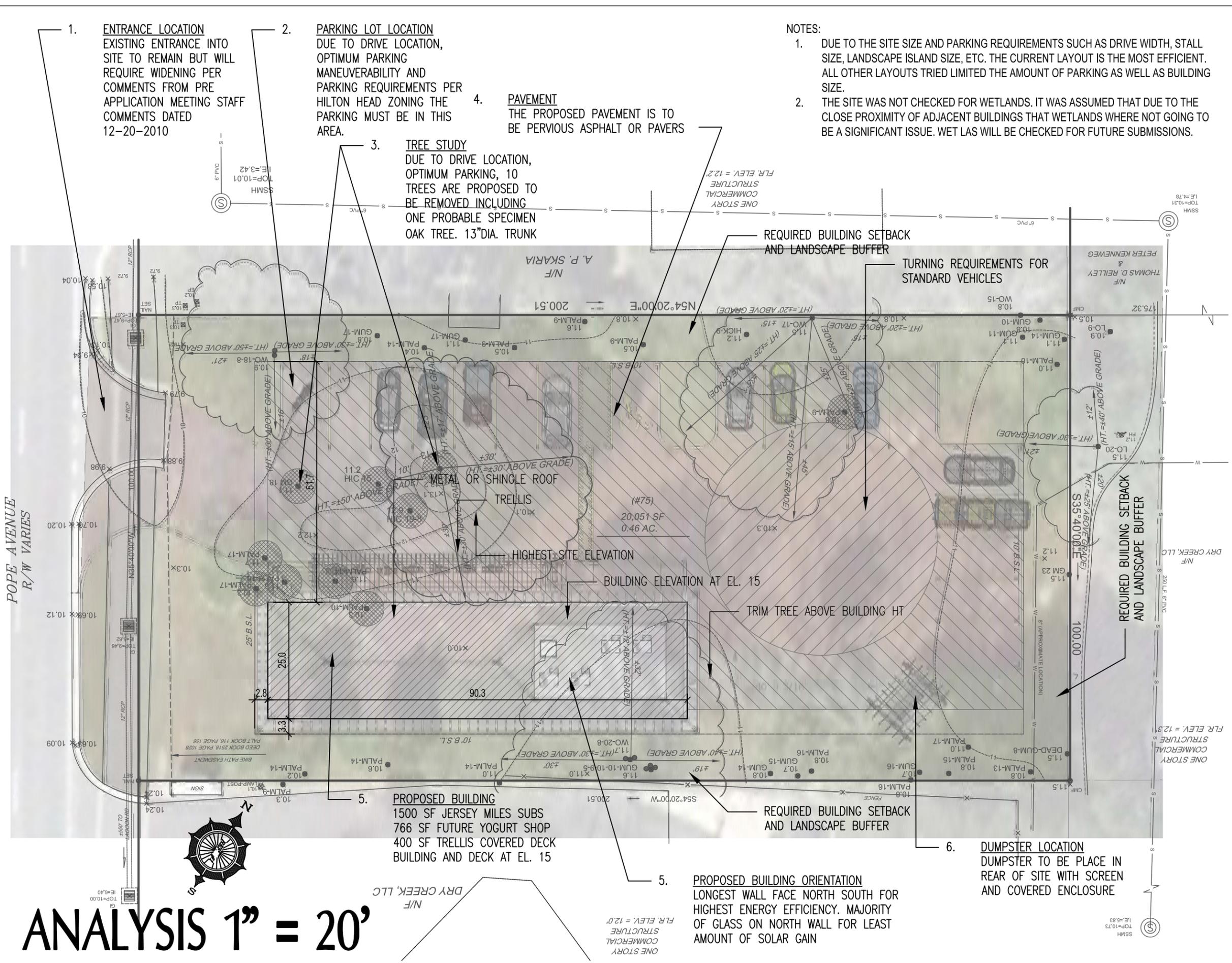
PROJECT  
**75 POPE AVE  
HILTON HEAD**

SHEET TITLE  
**ELEVATIONS**

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET  
**AS-002**  
JOB NUMBER  
**2012-38.01**





1. ENTRANCE LOCATION  
EXISTING ENTRANCE INTO SITE TO REMAIN BUT WILL REQUIRE WIDENING PER COMMENTS FROM PRE APPLICATION MEETING STAFF COMMENTS DATED 12-20-2010

2. PARKING LOT LOCATION  
DUE TO DRIVE LOCATION, OPTIMUM PARKING MANEUVERABILITY AND PARKING REQUIREMENTS PER HILTON HEAD ZONING THE PARKING MUST BE IN THIS AREA.

4. PAVEMENT  
THE PROPOSED PAVEMENT IS TO BE PERVIOUS ASPHALT OR PAVERS

3. TREE STUDY  
DUE TO DRIVE LOCATION, OPTIMUM PARKING, 10 TREES ARE PROPOSED TO BE REMOVED INCLUDING ONE PROBABLE SPECIMEN OAK TREE. 13" DIA. TRUNK

NOTES:  
1. DUE TO THE SITE SIZE AND PARKING REQUIREMENTS SUCH AS DRIVE WIDTH, STALL SIZE, LANDSCAPE ISLAND SIZE, ETC. THE CURRENT LAYOUT IS THE MOST EFFICIENT. ALL OTHER LAYOUTS TRIED LIMITED THE AMOUNT OF PARKING AS WELL AS BUILDING SIZE.  
2. THE SITE WAS NOT CHECKED FOR WETLANDS. IT WAS ASSUMED THAT DUE TO THE CLOSE PROXIMITY OF ADJACENT BUILDINGS THAT WETLANDS WERE NOT GOING TO BE A SIGNIFICANT ISSUE. WET LAS WILL BE CHECKED FOR FUTURE SUBMISSIONS.

5. PROPOSED BUILDING  
1500 SF JERSEY MILES SUBS  
766 SF FUTURE YOGURT SHOP  
400 SF TRELLIS COVERED DECK  
BUILDING AND DECK AT EL. 15

5. PROPOSED BUILDING ORIENTATION  
LONGEST WALL FACE NORTH SOUTH FOR HIGHEST ENERGY EFFICIENCY. MAJORITY OF GLASS ON NORTH WALL FOR LEAST AMOUNT OF SOLAR GAIN

6. DUMPSTER LOCATION  
DUMPSTER TO BE PLACE IN REAR OF SITE WITH SCREEN AND COVERED ENCLOSURE

ANALYSIS 1" = 20'

**STUART A. LIVINGSTON**  
**ARCHITECT**  
405 BUCKEYE LANE  
WOODSTOCK, GA 30188  
PH 770-663-8312  
FAX 770-663-7648

**Abrri**  
DESIGN STUDIO  
P.O. BOX 669504 MARIETTA GA. 30066  
Phone Number 678-209-8459  
Fax Number 678-623-3182

PROJECT  
**75 POPE AVE  
HILTON HEAD**

SHEET TITLE  
**ANALYSIS**

SHEET SHEET INDEX OF TOTAL SHEETS

SHEET  
**AS-060**  
JOB NUMBER  
**2012-38.01**



## PRE-APPLICATION MEETING

### STAFF COMMENTS

<b>Comments Due:</b>	<b>December 17</b>	Bldg. & Fire Codes:	Richard Spruce, Plans Review Administrator
Meeting Date(s):	December 20	Engineering:	Jennifer Lyle, Assistant Town Engineer
PAPP Number:	<b>PAPP100015</b>	Floodplains:	Trudie Johnson, Floodplain Administrator
Project Name:	Jersey Mike's Subs	Traffic Engineering:	Darrin Shoemaker, Traffic and Transportation Engineer
Dev. Rev. Case Mgr:	Nicole Dixon	Fire Marshal:	Joheida Fister, Fire Marshal
Addressing:	Suzanne Brown, Addressing Technician	Natural Resources:	Sarah Skigen, Natural Resources Assoc.

**NOTE:** ~~Staff:~~ Please contact the Development Review Administrator if you have format issues or need additional lines for comments. Additional comments may result from changes to the plans and further discussion.  
**The comments contained herein do NOT constitute an approval.**

**Comments are based on conceptual plans. Upon receipt of a formal application, additional, more detailed/specific comments may result.**

### ADDRESSING COMMENTS

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 12-20-10

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
Address is 75 Pope Ave		
Address number will need to be displayed on the new signage visible from the road.		International Fire Codes Section 505

**BUILDING CODES COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete: X Date: 13 DEC 10

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
No comments at this time		

**ENGINEERING (General) COMMENTS**

Review is NOT applicable based on the scope of the project:

Comments in *italics* are general comments and shall be revised according to the requested application.

Review is Complete:  Date: 12/20/10, JAL

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
<i>The applicant must meet with staff for an Engineering Pre-design Conference prior to submitting for a DPR/XDPR/SUB</i>	<i>Schedule a Pre-Design conference with engineering staff at 843-341-3779</i>	<i>LMO 16-5-605</i>
<i>Provide an erosion and sediment control plan.</i>	<i>Provide an erosion and sediment control plan.</i>	<i>LMO 16-5-608</i>
<i>Show existing and proposed utility locations on the plans.</i>	<i>Show existing and proposed utility locations on the plans.</i>	<i>LMO 16-5-1702</i>
<i>Provide a stormwater management plan, including relevant calculations, signed and sealed by a professional engineer registered in South Carolina.</i>	<i>Provide a stormwater management plan, including relevant calculations, signed and sealed by a professional engineer registered in South Carolina. The design must comply with requirements in Chapter 5 of the LMO.</i>	<i>LMO 16-5-Article VI</i>

**TRAFFIC ENGINEERING COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: December 13<sup>th</sup>, 2010

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
Driveway exists serving this site, but it is only approx. 18' wide and not wide enough to accommodate two-way traffic. Site plan appears to indicate one-way circulation through site based on presence of angle parking, but any effort to widen the existing driveway constitutes new driveway construction and will require an Administrative waiver from the minimum separation requirements.	Applicant may choose to operate driveway as one-way access or improve driveway to accommodate two-way access by seeking an Administrative waiver from the driveway minimum separation requirement.	16-5-509(A,G).
Site plan appears to indicate only one-way ingress access with egress to take place via cross-access onto adjacent site. No cross access presently exists. Owner of adjacent site on board?	Delete cross-access or provide documentation from adjacent owner site concurring with access as proposed.	n/a
Accessible parking per ADA requirements required	Provide one van accessible parking space 8' stall width with adjoining 8' access aisle	16-5-1204(D)
Spaces on ends of parking bays to be 10' wide	Make spaces on ends of parking bays 10' wide	16-5-1204(B)
Drive aisles need to be 24' wide behind 90-degree pull-in parking and 18' wide behind 60-degree parking. Both appear compromised	Provide drive aisles/backing areas behind parking that is of adequate width.	16-5-1206(D)
Wheel stops to be provided	Provide wheel stops	16-5-1206(E)
One parking space required for each 100 GFA provided indoors or within the proposed outdoor deck seating area.	Provide one parking space per 100 sq. ft. of indoor/outdoor dining area or reduce area of building and/or outdoor dining area.	16-5-1208(A)
Bicycle parking to be provided in an amount of ten percent of the required vehicle parking	Provide bicycle parking in an amount of ten percent of the required vehicle parking	16-5-1212
12' x 40' off-street loading area required that doesn't encumber drive aisles or areas dedicated to parking	Provide 12' x 40' off-street loading area that doesn't encumber drive aisles or parking stalls	16-5-1210

**FIRE MARSHAL COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 12/15/2010 – Review is of the site and for access and water supply.

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
In order to determine if the number of hydrants is adequate and if the required fire flow is met I will need the following information - square footage of each building, the construction type and if the buildings will be sprinklered.	Provide square footage of each building, the construction type and if the buildings will be sprinklered	Section 16-5-1601 LMO & Section 508, Appendix B&C of 2006 International Fire Code
A minimum of one fire hydrant shall be located within 500 feet of all portions of the building – depending on the required fire flow additional hydrants may be required	Show hydrant on plans	Section 16-5-1601 LMO & Section 508, Appendix B&C of 2006 International Fire Code
Fire flow data will need to be obtained from the PSD.	Contact South Island PSD at 843-785-6224 to obtain flow data for closest hydrant.	Section 16-5-1601 LMO & Section 508, Appendix B&C of 2006 International Fire Code
All access roads are required to be at least 20 feet wide – where one-way traffic occurs 14 feet minimum clearance is required each way. THIS IS THE ACTUAL MEASUREMENT OF THE PAVEMENT NOT TO INCLUDE CURB OR GUTTER AREA.	All traffic engineering requirements must be met – these are the minimums for fire rescue access.	Section 16-5-1206 LMO & Section 503.2 of 2006 International Fire Code)

**FLOODPLAIN COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 11-16-10

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
The building must be elevated to the minimum base flood elevation of 14' msl or dry floodproofed to elevation 15' msl.	The building appears to be at the existing grade of 11' msl as indicated in the application. The applicant should declare their intent to dry floodproof the building. If this is not the intent then the building must be redesigned to show it elevated to 14' msl. The site plan should include the necessary stairs and ramps.	International Building Code 1612.1, 1612.2 and the Town Municipal Ordinance Title 15, Section 15-9-312. Requirement.

**NATURAL RESOURCES COMMENTS**

Review is NOT applicable based on the scope of the project:

Comments in *italics* are general comments and shall be revised according to the requested application.

Review is Complete:  Date: 12/13/2010

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
All grading and utilities (including irrigation, cable, telephone, water, and sewer) must be shown in relation to existing trees. Palmetto electric, cable, and telephone must be certified by the provider.	Submit a plan showing the grading and utilities (including irrigation, cable, telephone, water, and sewer) in relation to existing trees. Palmetto electric, cable, and telephone must be certified by the provider.	LMO 16-3-404.A.5
Provide a canopy survey of all specimen trees within construction limits to include the height above the ground of the lowest limbs. Only applicable should specimen trees be present onsite.	Submit a canopy survey of all specimen trees within construction limits to include the height above the ground of the lowest limbs.	LMO 16-6-402.B
Provide a tree tally pre and post construction	Provide a tree tally pre and post construction divided	LMO 16-3-404..A.4

divided into buffer and non-buffer.	into buffer and non-buffer.	
Provide tree and topographic survey certified by a South Carolina land surveyor <2 years old.	Provide tree and topographic survey certified by a South Carolina land surveyor <2 years old.	LMO 16-3-405.A
Mark all trees to be removed with an 'X'.	Mark all trees to be removed with an 'X'.	LMO 16-3-404.A.5
Should pervious pavers be utilized, please submit paver construction detail.	Submit pervious paver details	LMO 16-6-402
Submit a wetland determination from a Town approved wetland consultant and/or Army Corps of Engineers <5 years old. If this document is not already acquired, a wetland waiver may be requested for this site.	Submit a wetland determination from a Town approved wetland consultant and/or Army Corps of Engineers <5 years old <i>OR</i> request a letter from staff requesting a waiver from the letter of wetland determination.	LMO 16-3-501 LMO 16-3-501.F
In areas where there is potential to save protected size trees, consider incorporating compact spaces into the design.	Incorporate compact spaces into the design to further reduce the impact on existing trees.	LMO 16-6-402.B
Provide a landscape plan detailing new trees and native vegetation. A native plant list can be furnished upon request.	Submit landscape plan for review. Sod should be minimized to the greatest extent practical in order to support LMO 16-3-304.F	LMO 16-3-304
Very little tree detail is provided on site plan making it hard to anticipate every condition associated with site development.	Prior to next submittal it may be useful to request a site meeting to discuss design concept as it relates to Natural Resources.	

**DEVELOPMENT REVIEW COMMENTS**

Review is NOT applicable based on the scope of the project:

Review is Complete:  Date: 12/17/10 ND

Comment	Resolution (How can the applicant address this comment / what correction(s) does the applicant need to make?)	Applicable LMO Sec. or Town Reg. (Label as Suggestion if it is not a requirement)
Please see attached DPR application/checklist for all items required at time of submittal		LMO Section 16-3-303
Project will require Design Review Board approval because the property is located within Corridor Overlay District	Submit application for Design Review Board approval	LMO Section 16-3-1003
Density maximum permitted in the CCW district (8000 sq.ft./acre)	Provide a density calculation demonstrating you meet the maximum permitted	LMO Section 16-4-1601
Maximum impervious coverage for CCW is 55% and minimum open space is 20%	Provide an impervious coverage and open space calculation demonstrating you meet min/max	LMO Section 16-4-1605
Maximum height is 45' for CCW	Provide the height of the proposed structure demonstrating you do not exceed limit	LMO Section 16-4-1701
10' adjacent use and 25' adjacent street setbacks and buffers are required	Illustrate and label on the plan	LMO Section 16-5-402
Parking shall be no more than and no less than 75% of what is required in LMO Section 16-5-1208	Provide a parking calculation showing how you meet this requirement	LMO Section 16-5-402
For site designs with connection between properties, need easements recorded to establish cross-access and shared parking rights	Provide the recorded easements	LMO Section 16-5-402
Medians at ends of parking bays shall be 15' in width	Make sure the median at the end of the bay is 15' and provide the distance on the plan	LMO Section 16-5-1208H
One loading space is required with dimensions of 12' x 40'	If your use requires routinely delivered merchandise or goods, please illustrate and label the required loading space	LMO Section 16-5-1210

Impact fees will be required for proposed project	You will need to pay approximately \$8,244 County, \$21,026 Town, at time of building permit	LMO Section 16-5-1801
Site Lighting Plan is required	Please provide plan when submitting DPR	LMO Section 16-3-305

***UTILITY COMPANY COMMENTS***

Public Service District: FILL IN

Contact Information: FILL IN

Please contact the Public Service District directly for all applicable requirements.

---

Palmetto Electric

Contact Information: Bob Bishop, 843-681-5551 or 1-800-922-5551  
email: [bbishop@palmetto.coop](mailto:bbishop@palmetto.coop)

Please contact Palmetto Electric directly for all applicable requirements.

---

Hargray (Telephone, Internet, Cable)

Contact Information: 1-800-726-1266

Please contact Hargray directly for all applicable requirements.

***ADDITIONAL PERMITS, NECESSARY APPROVALS***

*NOTE to Case Manager: Please revise list based on the specific project*

- Development Plan Review (DPR) approval – see attached application

- Design Review Board – Conceptual and Final Approval
- Tree Removal Permit
- Wetland Alteration/Waiver
- Waiver
- Building Permits
- Encroachment Permits (SCDOT, Town of HHI, Beaufort County)
- DHECH – OCRM, Land Disturbance Permit
- Utility Companies – Will Serve Letters
-

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Jersey Mikes Subs – NEW DEVELOPMENT CONCEPTUAL

DRB#: DR 120029

DATE: October 23, 2012

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

<b>ARCHITECTURAL DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brick veneer foundation is recommended versus stone veneer.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide additional relief on South elevation.
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider heavier top member for trellis – it

and architectural elements				looks thin on West and East elevation, especially when compared to the dumpster screen trellis.
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Implied in drawings. Will need to specify.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Little is specified in the conceptual plan. Will require a full plan and schedule for Final Approval.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

prevalent on the Island are utilized				
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***
