



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, December 11, 2012  
1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of November 27, 2012
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
  - A. Alterations & Addition
    - 1) DR 120031 – Sonesta Resort
    - 2) DR 120032 – The Westin
9. **New Business**
  - A. Sign
    - 1) DR 120034 – Palmetto Hall 278 Sign
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island  
Design Review Board  
Minutes of the Tuesday, November 27, 2012 Meeting  
1:15p.m – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,  
Jake Gartner, Tom Parker, Jennifer Moffett, and Todd Theodore

Board Members Absent: Galen Smith

Council Members Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Nicole Dixon, Senior Planner  
Teri Lewis, LMO Administrator  
Kathleen Carlin, Secretary

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**1. Call to Order**

Chairman Scott Sodemann called the meeting to order at 1:15 p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

The Board **approved** the agenda as presented by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the November 13, 2012 meeting as amended by general consent.

**6. Staff Report**

Ms. Ray stated the following Continuing Education training sessions are scheduled:

- 1) Interpreting Site Plans – following today’s DRB meeting. Presented by: Jennifer Ray.
- 2) Town’s Development Review Process – following the regular DRB meeting on December 11, 2012. Presented by: Heather Colin.
- 3) Ethics Training – following the regular Planning Commission meeting on December 19, 2012 (the regular meeting will begin at 3:00p.m). Presented by: Brian Hulbert, Staff Attorney

**7. Board Business**

None

**8. Unfinished Business**

None

**9. New Business**

**Sands Village Repaint Minor External Change DR120033**

Ms. Ray introduced the application and stated its location, 21 Lagoon Road. The staff presented an overhead review of the application including photos of the existing site and samples of the proposed color scheme. The Sands Village would like to change their primary color scheme from taupe to light green. The two different shades of brown trim and railings are to remain.

Based on the existing brown trim colors, as well as the colors of the surrounding buildings (brown, tan and beige), the staff recommends an alternate color scheme be used to repaint the building that will be in keeping with the existing colors and the colors of the neighborhood. The staff recommended that the application be approved with the condition that the proposed light green color be changed to a beige color. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Joe Highsmith, with Highsmith Construction, presented statements on behalf of the property owner. The Board and the applicant discussed the color of the trim and railings, the existing building color, and the proposed color. Mr. Gartner, Mr. Parker, Vice Chairman Welch, Mr. Theodore, Ms. Moffett, and Chairman Sodemann stated that they agree with staff's concerns with the proposed light green color.

Chairman Sodemann and Mr. Highsmith discussed the brown trim and railing color. Chairman Sodemann stated that if the owner wishes to keep the brown railings, a beige color for the buildings is appropriate. If the railing color were to change, the applicant might revisit the color scheme; however, a more muted, darker green color is recommended instead of the proposed color. At the completion of the discussion, the applicant chose to **withdraw** the application, and no further action was taken.

**10. Appearance by Citizens**

None

**11. Adjournment**

The meeting was adjourned at 1:30p.m.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Secretary

\_\_\_\_\_  
Scott Sodemann  
Chairman



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: TREY GRIFFIN Company: WOOD+PARTNERS, INC  
 Mailing Address: 7 LAFAYETTE PL City: HHI State: SC Zip: 29926  
 Telephone: 681-6618 Fax: 681-7086 E-mail: tgriffin@woodandpartners.com  
 Project Name: SONESTA RESORT Project Address: 130 SHIPYARD DR, HHI, SC  
 Parcel Number [PIN]: R550 015 000 0267 0000 (DR# 120031)  
 Zoning District: PD-1 Overlay District(s): COR

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

**\*DR RESUBMIT - DR # 120031**

New Development – Conceptual

New Development – Final, indicate Project Number

Alteration/Addition

Minor External Change

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

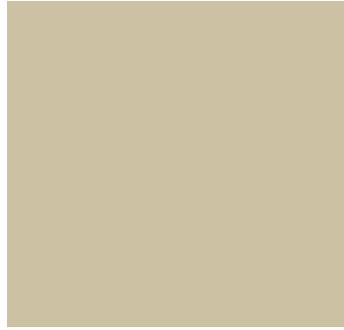
Trey Griffin  
SIGNATURE

11.27.12  
DATE

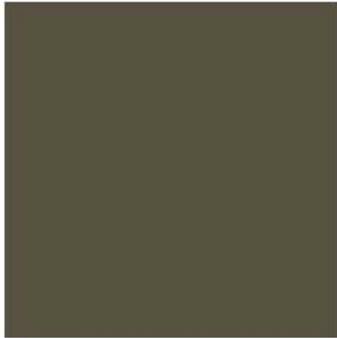
**SONESTA RESORT – HILTON HEAD ISLAND  
PROPOSED BUILDING COLORS**



**GENERAL FIELD COLOR  
(Porte Cochere) – SW 6155 Rice Grain**



**DARKER ACCENT COLOR –  
SW 6156 Ramie**

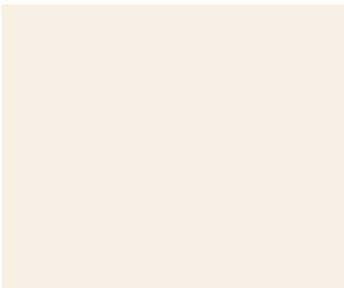


**HANDRAIL COLOR –  
SW 7055 Enduring Bronze**



**FIREPLACE COLOR –  
SW 6151 Quiver Tan**

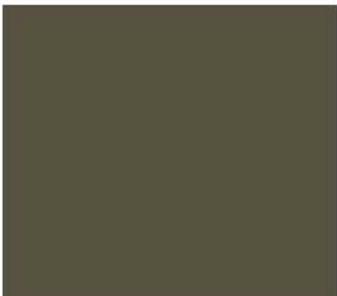
**Alternate Exterior Building Colors –**



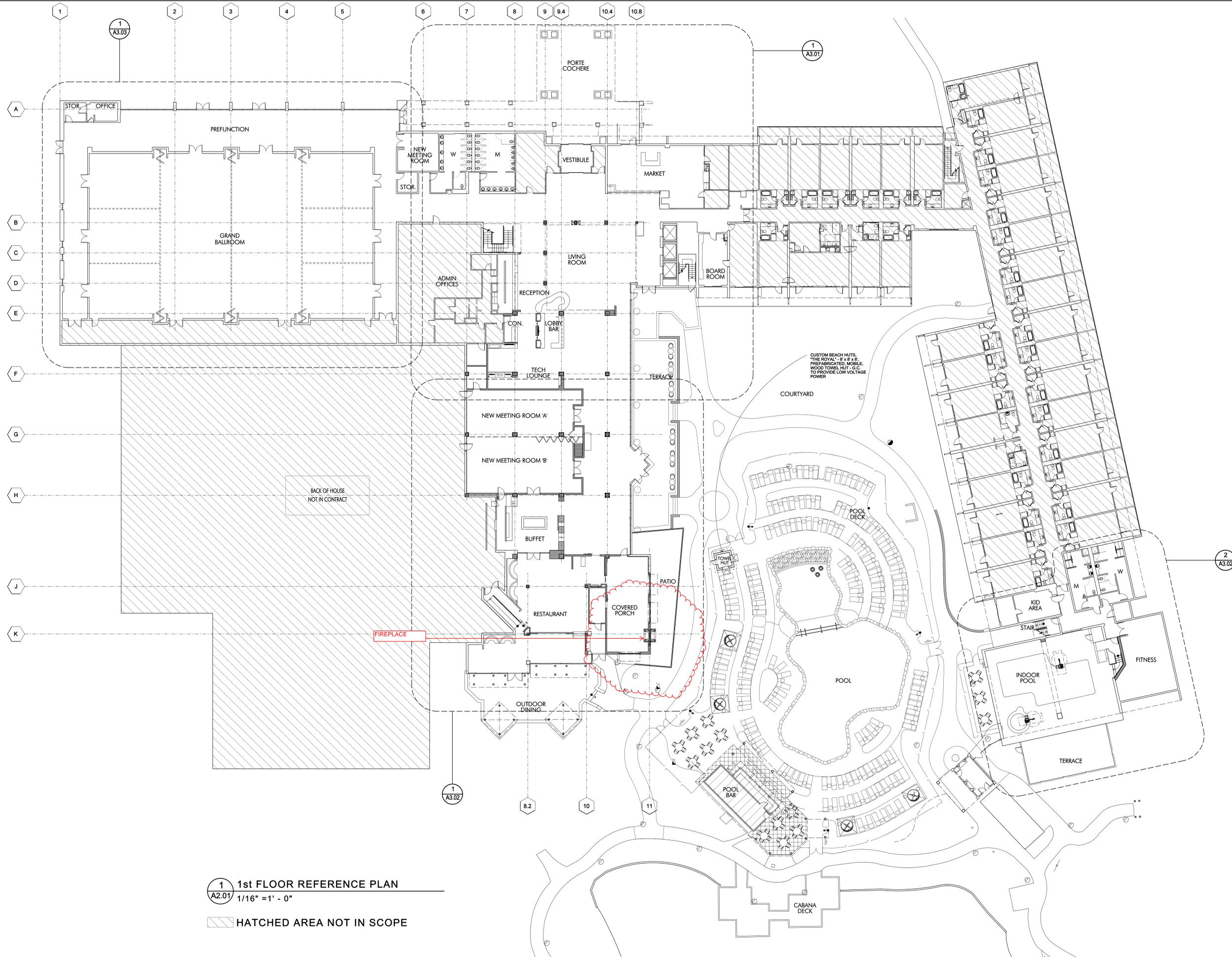
**GENERAL FIELD COLOR  
(Porte Cochere) – SW 6148 Wool Skein**



**DARKER ACCENT COLOR –  
SW 6149 Relaxed Khaki**



**HANDRAIL COLOR –  
SW 7055 Enduring Bronze**



1 1st FLOOR REFERENCE PLAN  
A2.01 1/16" = 1' - 0"

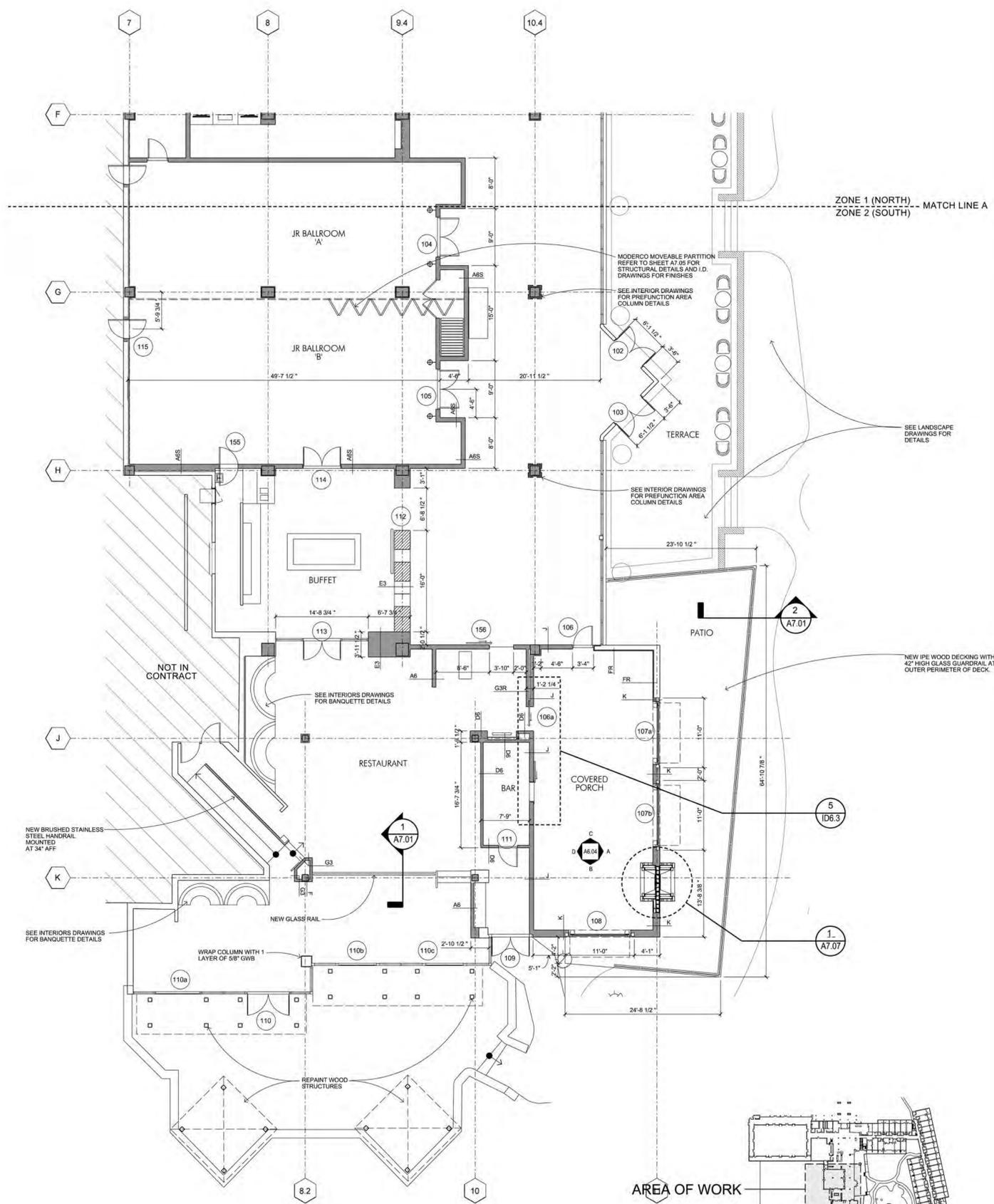
HATCHED AREA NOT IN SCOPE

ISSUE

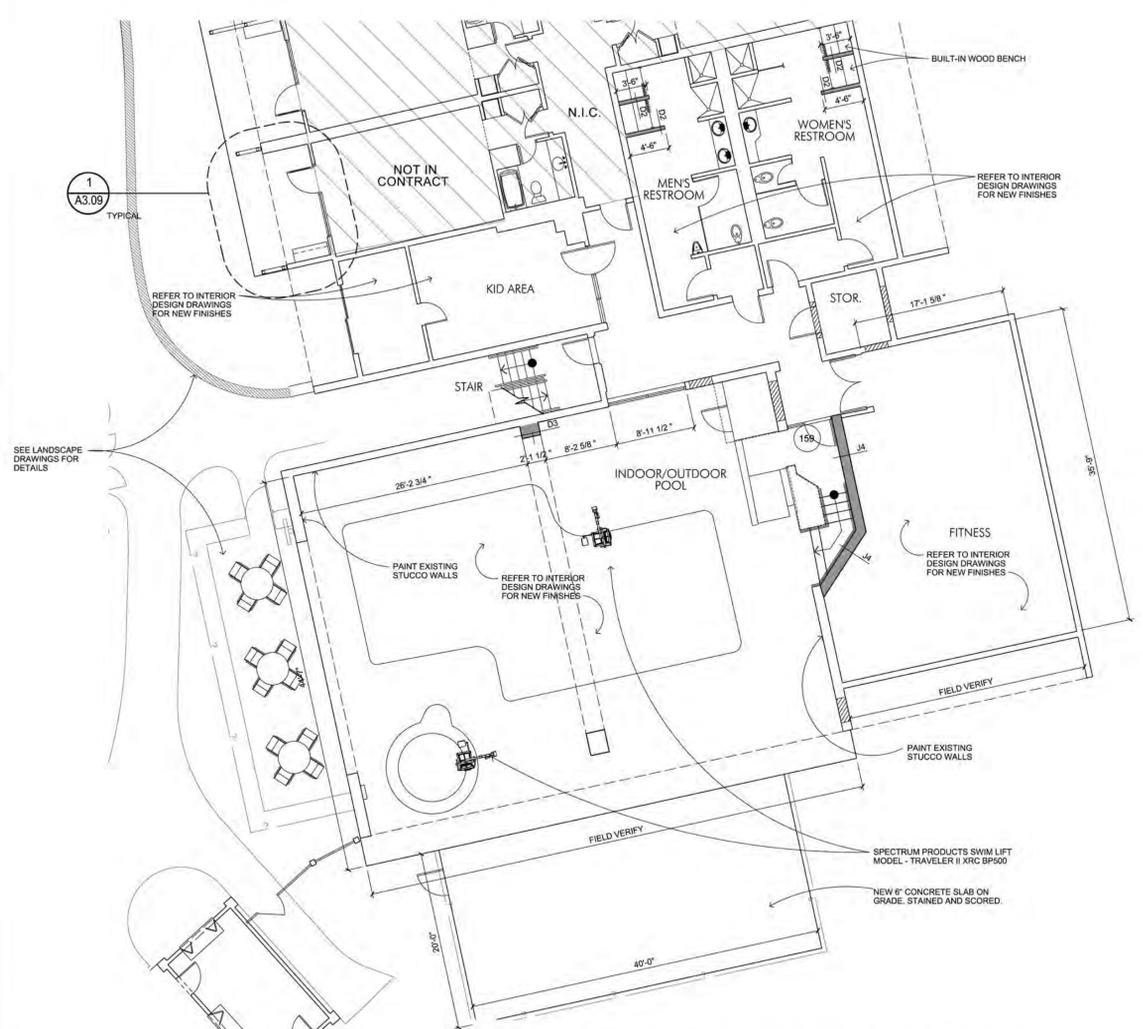
■ PUBLIC AREA 75% CD ISSUANCE JULY 5, 2012
■ PUBLIC AREA 90% CD ISSUANCE AUGUST 13, 2012
■ PUBLIC AREA 100% CD ISSUANCE SEPTEMBER 11, 2012

ENLARGED 1st FLOOR  
LOBBY PLAN  
SHEET TITLE  
This drawing is the property of Design One Studio, L.L.C. and is not to be reproduced or copied in whole or in part. It is only to be used for the project and on specifically identified items and is not to be used on any other project.  
DATE: JUNE 27, 2012

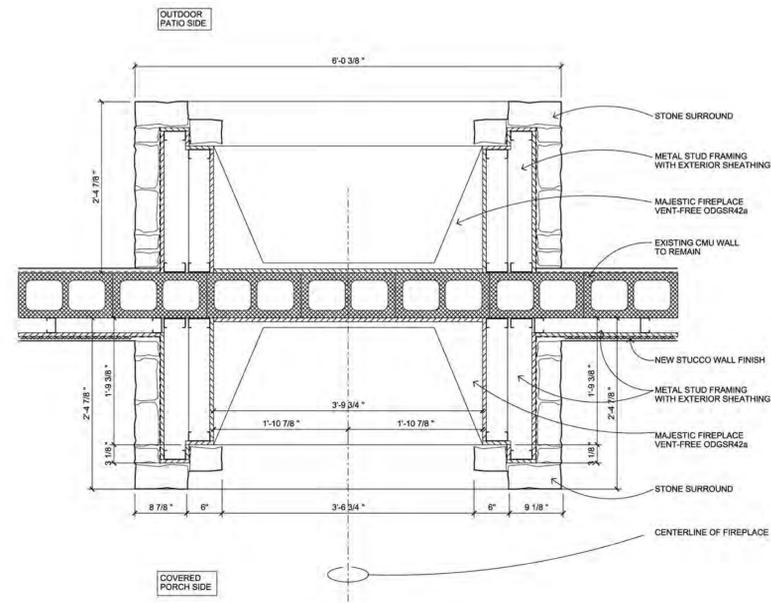
A3.02  
1203.00  
PROJECT NUMBER



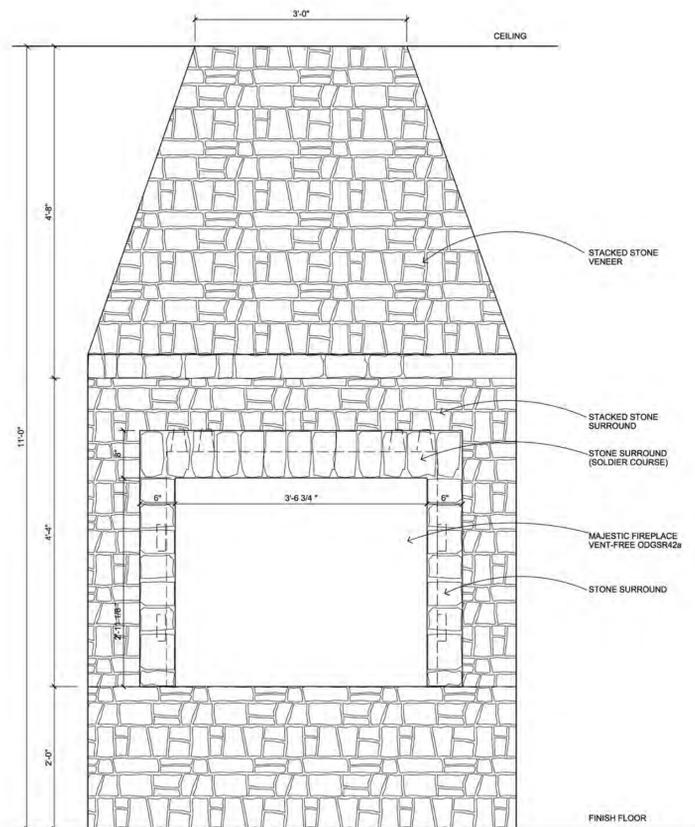
1st FLOOR KEY PLAN - ZONE 2



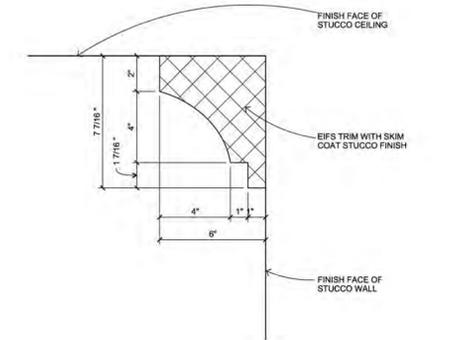
1st FLOOR KEY PLAN - ZONE 4



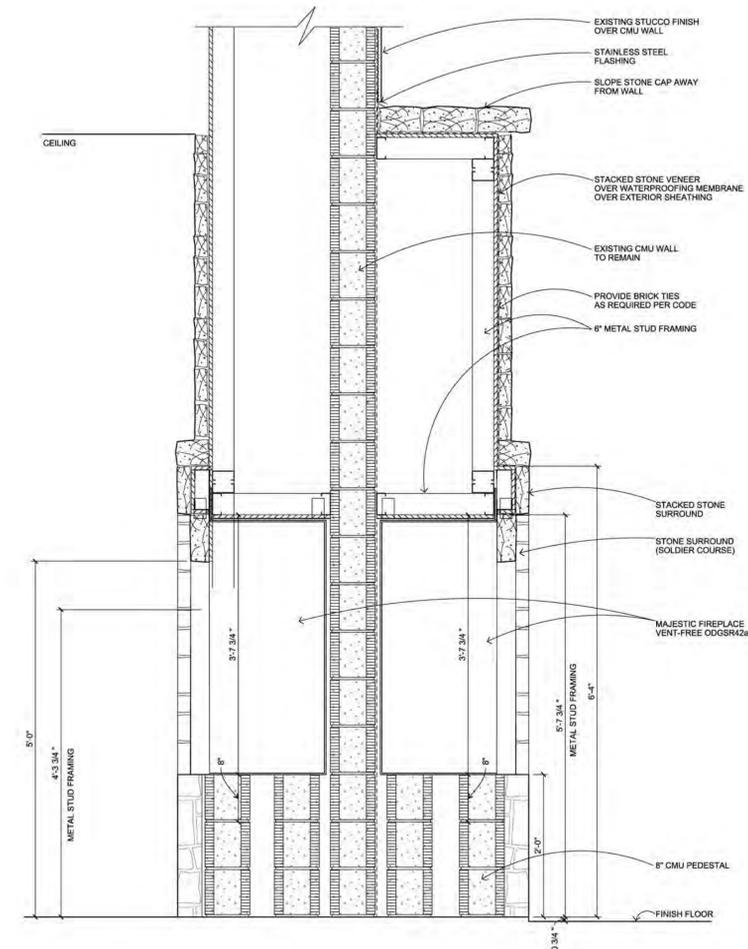
1 FIREPLACE PLAN  
A7.07 1" = 1' - 0"



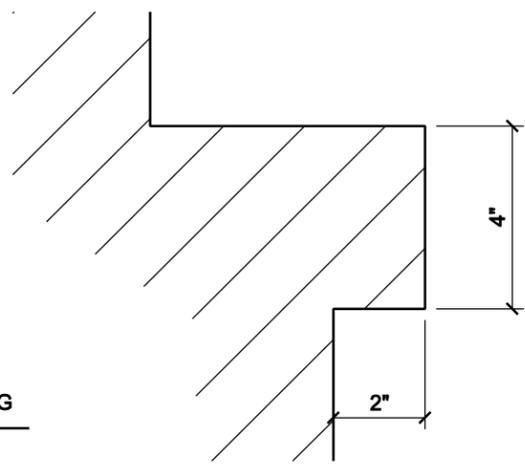
A FIREPLACE ELEVATION  
A7.07 1" = 1' - 0"



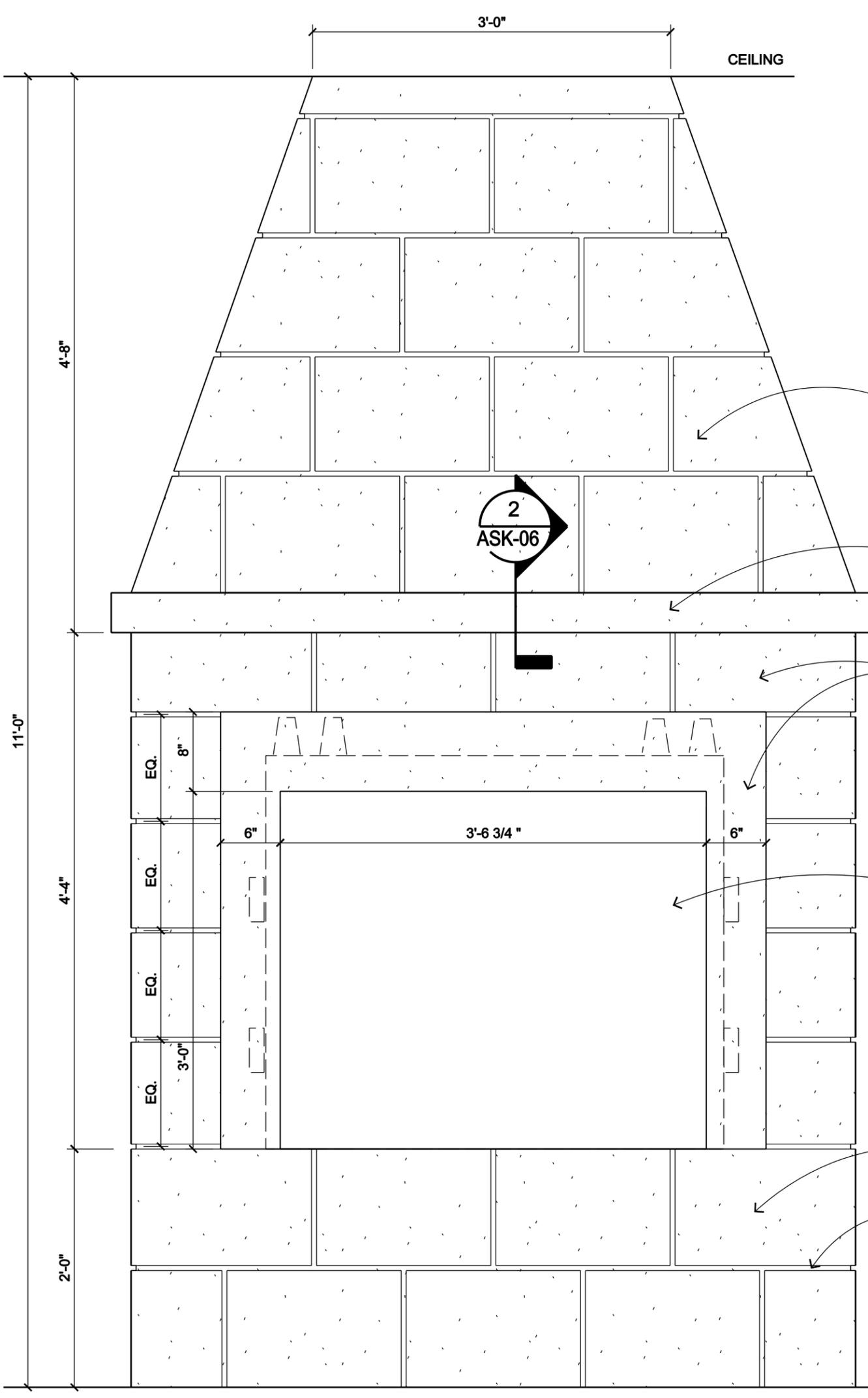
2 CEILING COVE DETAIL  
A7.07 3" = 1' - 0"



3 FIREPLACE SECTION DETAIL  
A7.07 1" = 1' - 0"



**2 SECTION**  
ASK-06 3" = 1' - 0"



SMOOTH, FINE SAND STUCCO FINISH - COLOR: SW6151 "QUIVER TAN"

APPLIED EIFS TRIM WITH SMOOTH STUCCO FINISH

SMOOTH, FINE SAND STUCCO FINISH - COLOR: SW6151 "QUIVER TAN"

MAJESTIC FIREPLACE CDVT42PSC7

SMOOTH, FINE SAND STUCCO FINISH - COLOR: SW6151 "QUIVER TAN"

1/2" STUCCO REVEALS TYPICAL

FINISH FLOOR

**1 COVERED PORCH - FIREPLACE ELEVATION**  
ASK-06 1" = 1' - 0"

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SONESTA HILTON HEAD RESORT

FIREPLACE ELEVATION REVISION

REVISIONS

A7.07  
REF DWG

11.26.12  
DATE

ASK-06

SHEET NUMBER  
1203.00

PROJECT NUMBER

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sonesta Resort – ALTERATION & ADDITION

DRB#: DR 120031

DATE: December 11, 2012

RECOMMENDATION:    Approval             Approval with Conditions             Denial

Based on previous DRB comments, the Applicant has modified the proposed fire place at the Sonesta Resort to be more in keeping with the design guide (smooth, fine sand stucco finish versus stone). Staff recommends approval of this application as submitted.



**Town of Hilton Head Island**  
**Community Development Department**  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
App. #: DR	1200312
Meeting Date:	_____

Applicant/Agent Name: Rick S. Shepherd Company: Ocean Woods Landscaping  
 Mailing Address: 107 Union Cemetery Ln City: Hilton Head State: SC Zip: 29926  
 Telephone: 843.682.4012 Fax: 843.682.4012 E-mail: r.s.shepherd@oceanoceansc.com  
 Project Name: The Westin Water Project Address: 2 Gates Lane  
 Parcel Number [PIN]: R  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

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Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number

*Becky Seeger  
 For Admin. Ct.  
 # EMT  
 10/20*

Alteration/Addition  
 Minor External Change

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Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
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- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

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W H I T A C R E G R E E R

# COLORS AND SIZES



## 30 Series

- #30 CLEAR RED (RUSTIC)
- #32 ANTIQUE
- #33 DARK ANTIQUE
- #34 MULBERRY
- #36 RED SUNSET

## 40 Series

- #41 CARIBBEAN
- #42 CINNAMON
- #43 TANGERINE
- #44 MAHOGANY

## 50 Series

- #50 IVORY
- #52 MAJESTIC
- #53 CIMMEREAN
- #54 CHOCOLATE

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### A VARIETY OF PATTERNS EXPAND THE DESIGN CAPABILITIES.

Whitacre Greer dry-pressed pavers lend themselves to a wide variety of patterns to enhance sidewalks, streetscapes, driveways, walkways or other brick paving projects.

### ARCHITECTURAL SPECIFICATIONS.

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### DIVERSE TEXTURES AND FINISHES.

- Bevel and Lug Smooth
- Rolled Edge Plate Texture Lugs
- Straight Edge Smooth
- Straight Edge Texture
- Boardwalk w/ Lugs
- Boardwalk w/o Lugs
- Bevel No Lug
- Kerf with Lugs
- ADA/Tactile
- Permeable
- Old World Cobbled
- Permeable Boardwalk

#### SIZES

- 4" x 8"
- 8" x 8"
- 3-5/8" x 7-5/8"
- 6" x 3"

#### THICKNESS

- 1-1/2", 2-1/4" and 2-3/4"
- 2-1/4" and 2-3/4"
- 1-1/4" and 2-1/4"
- 2-1/4" and 2-3/4"

#### SIZES

- 6" x 6"
- 6" x 9"
- 2-1/4" x 9"
- 3" x 9"

#### THICKNESS

- 2-1/4" and 2-3/4"
- 2-1/4" and 2-3/4"
- 2-1/4" and 3"
- 3"

DISTRIBUT



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36 RED SUNSET



41 CARIBBEAN



50 IVORY



32 ANTIQUE



53 CIMMEREAN  
TEXTURED



42 CINNAMON



52 MAJESTIC



33 DARK ANTIQUE



32 ANTIQUE  
8 X 8



43 TANGERINE



53 CIMMEREAN



34 MULBERRY



44 MAHOGANY



54 CHOCOLATE

Sign Here

Sign Here

Sign Here



43 TANGERINE



53 CIMMEREAN



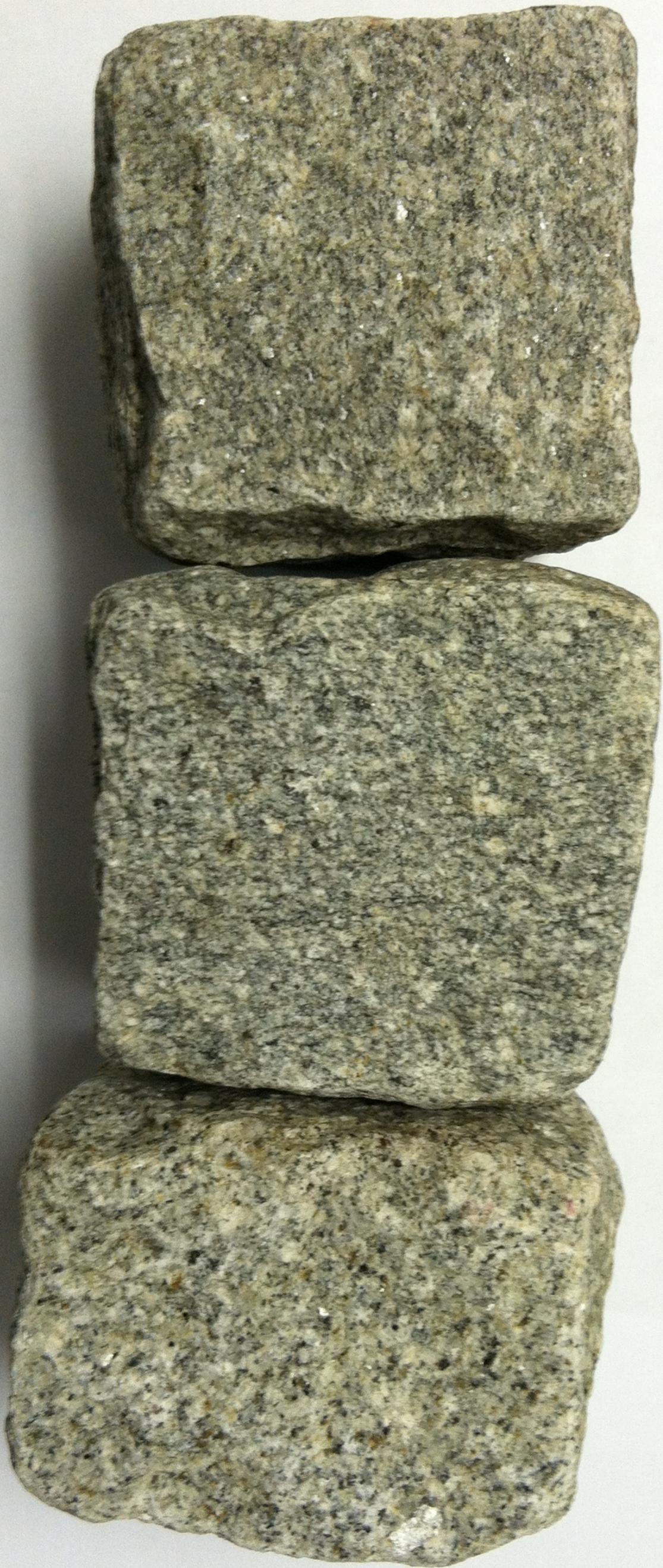
44 MAHOGANY



54 CHOCOLATE

Sign  
Hole

H



**THE WESTIN**  
HILTON HEAD ISLAND  
RESORT & SPA







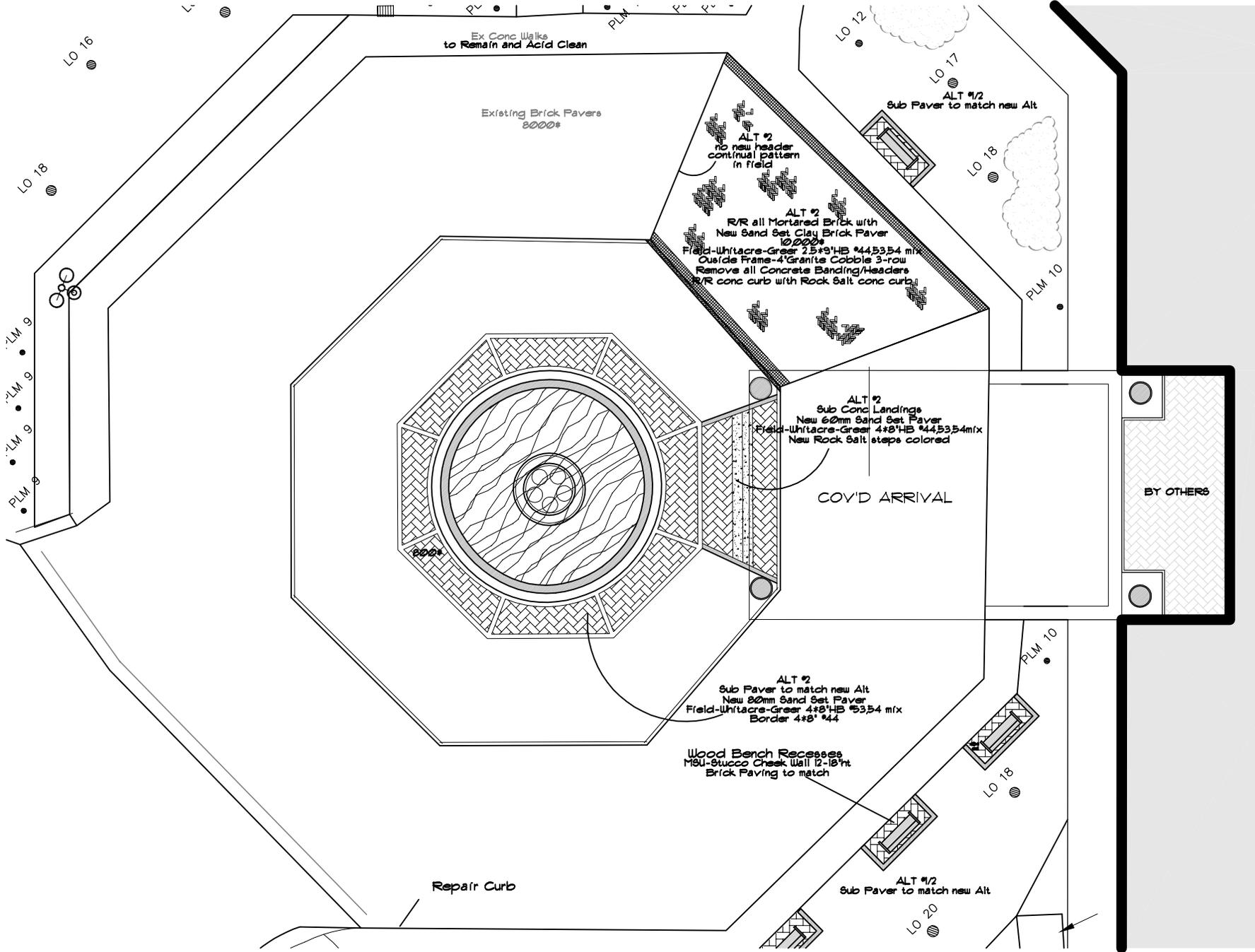




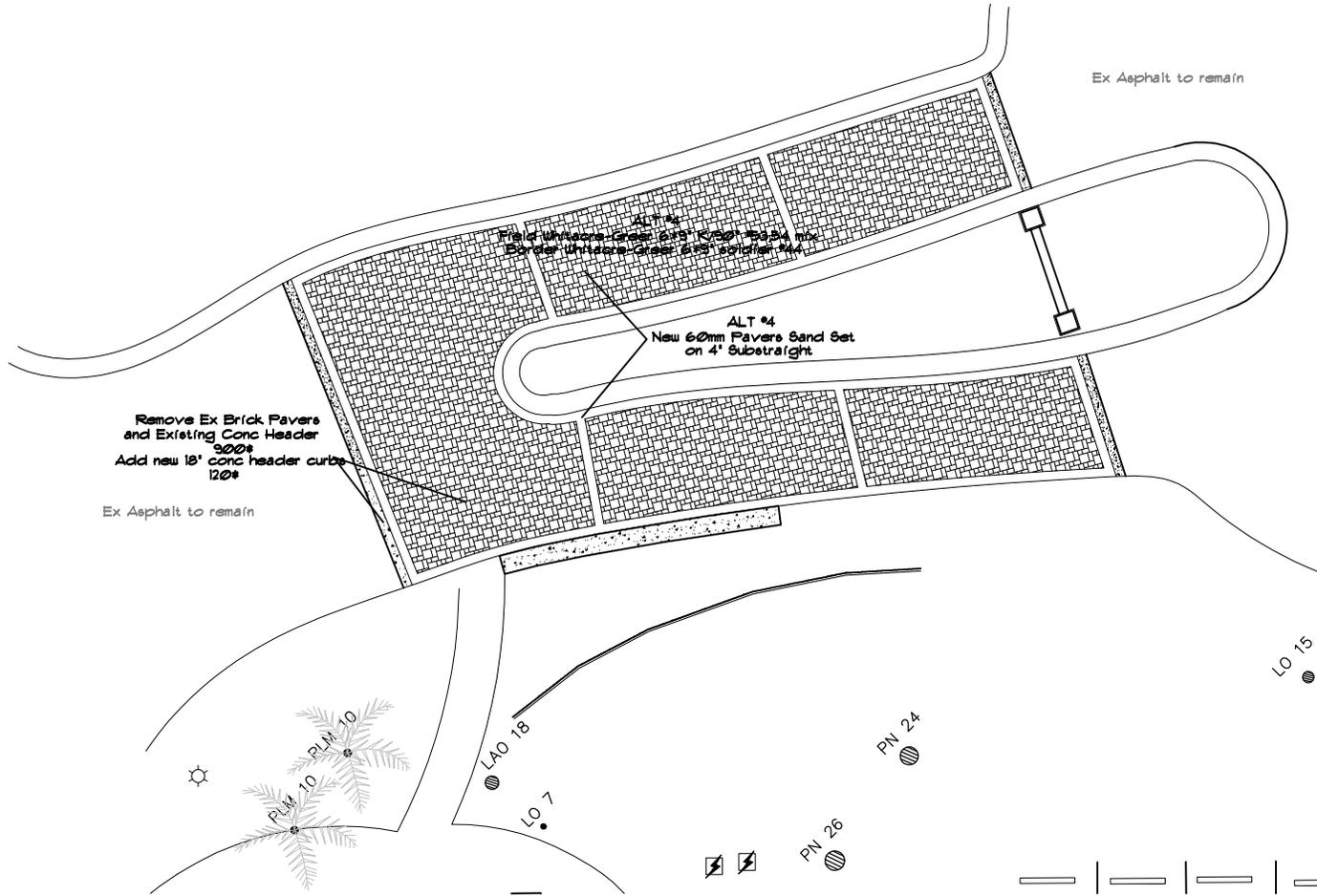








37110.09



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Westin – ALTERATION & ADDITION

DRB#: DR 120032

DATE: December 11, 2012

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The Westin proposes to remove and replace the existing mortared brick pavers and existing concrete header curb at the entrance and to replace it with a field of Whitacre-Greer 6x9” pavers (mix of color 53 & 54) in a herringbone pattern with a border of Whitacre-Greer 6x9” pavers (color 44) in a soldier pattern with an 18” concrete header curb at each end. The applicant also proposes to replace the existing mortared brick pavers and existing concrete header curb/dividers with a field of Whitacre-Greer 2.5x9” pavers (mix of color 44, 53, & 54) in a herringbone pattern with an outside border of granite cobbles (3-row, grey) and no dividers.

Staff recommends approval of this application as submitted with the exception of the granite cobbles that should be replaced with a rock-salt concrete header curb and dividers to better complement existing and proposed materials and eliminate the introduction of another material.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
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<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: TREY GRIFFIN Company: WOOD+PARTNERS, INC  
 Mailing Address: 7 LAFAYETTE PL City: HHI State: SC Zip: 29926  
 Telephone: 481-6618 Fax: 481-7086 E-mail: tariffin@woodandpartners.com  
 Project Name: Palmetto Hall 278 SIGN Project Address: HWY 278 BEACH CITY RD.  
 Parcel Number [PIN]: R510 008 000 0102 0000  
 Zoning District: PR Overlay District(s): COR

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

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Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number

- Alteration/Addition
- Minor External Change

Sign

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- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 ½" X 14" *Maximum*; Stating manufacturer and material name

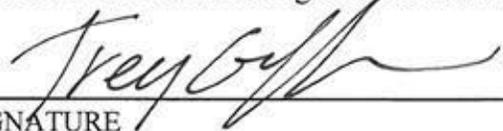
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*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

  
\_\_\_\_\_  
DATE



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY  
 Date Received: \_\_\_\_\_  
 Accepted by: \_\_\_\_\_  
 App # \_\_\_\_\_

Business Name: PALMETTO HALL POA Business License #: \_\_\_\_\_  
 Location of Business: \_\_\_\_\_  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Applicant/Agent Name: ALEX SINEATH Email: designeath@roadrunner.com  
 Mailing Address: 14 SPARROW HAWK CT. City: HHI State: SC Zip: 29926  
 Telephone: 843-8200 Fax: N/A Sign Company: DESIGNEATH  
 Sign Company Phone, Fax or Email: (SAME AS LISTED)

**SIGN SUBMITTAL REQUIREMENTS**

The proposed sign(s) is:  
 New or  Alteration to an Existing Sign(s)  
 Type of sign(s) to be permitted (please enter the number of each sign type requested):  
 Freestanding  Façade  Hanging  Tenant Panel  Temporary  
 Real Estate Sign  Real Estate Yard Sign  Short Term Rental  
 Total number of sign faces: 2 (A sign face is a side of the sign with commercial copy)

The following must be submitted for each freestanding, façade, hanging, tenant panel or temporary sign:

- A drawing or close-up photo of the proposed sign with the following measurements: sign height, width and depth; copy and logo height and width. Note the materials and provide the Pantone Matching System® numbers for each color. If there is existing lighting, the photo should show the fixtures. All freestanding signs must have at least 4" tall address numbers and/or letters.
- A drawing or photo of the location of the proposed sign and landscaping (if existing). If the sign is located on a building, that side of the building should be shown. If the sign is freestanding, include a site plan or aerial photo showing the location of the sign on the site.
- A lighting plan. If lights are already installed, the photo of the sign should show the light fixtures. If lights are proposed, fixture locations should be noted on the drawing or photo and manufacturer specifications should be provided.
- For freestanding permanent signs, a landscape plan. If the sign already has landscaping, the photo should show the landscaping.
- For freestanding signs larger than 40 square feet, wind load calculations. (PRIOR TO CONST.)
- NA An approval letter from any applicable architectural review board.
- 75.00 \$25 Filing fee + \$25 for each sign face (cash or check made payable to Town of Hilton Head Island)

~~The following must be submitted for each real estate sign:~~

- ~~\_\_\_\_\_ A drawing or close-up photo of the proposed sign with the following measurements: sign height and width; copy height and width; logo height and width. Note the materials and provide the Pantone Matching System® numbers for each color.~~
- ~~\_\_\_\_\_ A drawing or photo of the location of the proposed sign and a site plan or aerial photo showing the location of the sign on the site.~~
- ~~\_\_\_\_\_ An approval letter from any applicable architectural review board.~~
- ~~\_\_\_\_\_ \$25 Filing fee + \$25 for each sign face (cash or check made payable to Town of Hilton Head Island)~~

~~The following must be submitted for each real estate yard sign:~~

- ~~\_\_\_\_\_ A drawing or close-up photo of the proposed sign with the following measurements: sign height and width; copy height and width; logo height and width. Note the materials and provide the Pantone Matching System® numbers for each color.~~
- ~~\_\_\_\_\_ \$25 Filing fee + \$25 for each sign (cash or check made payable to Town of Hilton Head Island)~~

~~The following must be submitted for each short-term rental sign:~~

- ~~\_\_\_\_\_ A drawing or close-up photo of the proposed sign with the following measurements: sign height and width; copy height and width. Note the materials and provide the Pantone Matching System® numbers for each color. (If a previously approved design will be used, this information is unnecessary.)~~
- ~~\_\_\_\_\_ A photo of the location of the proposed sign. The entire side of the home should be shown.~~
- ~~\_\_\_\_\_ \$25 Filing fee + \$25 for each sign location (cash or check made payable to Town of Hilton Head Island)~~

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE OF APPLICANT

NOV. 27, 2012  
DATE

**DRB NARRATIVE**  
**For**  
**Palmetto Hall**  
**Off-Premise Community Sign**  
**November 27, 2012**

The Palmetto Hall POA is proposing the construction of a free-standing community identification/ directional sign on Town owned property at the north east corner of William Hilton Parkway and Beach City Road. The POA believes that the lack of signage within the 278 corridor has been detrimental to the community and that the proposed sign will bring the needed exposure.

Palmetto Hall has worked with the Town and the Hilton Head Island Land Trust on sign development and acquisition of a perpetual, non exclusive easement for the installation and maintenance of the sign. The community has obtained approval from the Public Facilities Committee and is in the process of obtaining Town Council approvals.

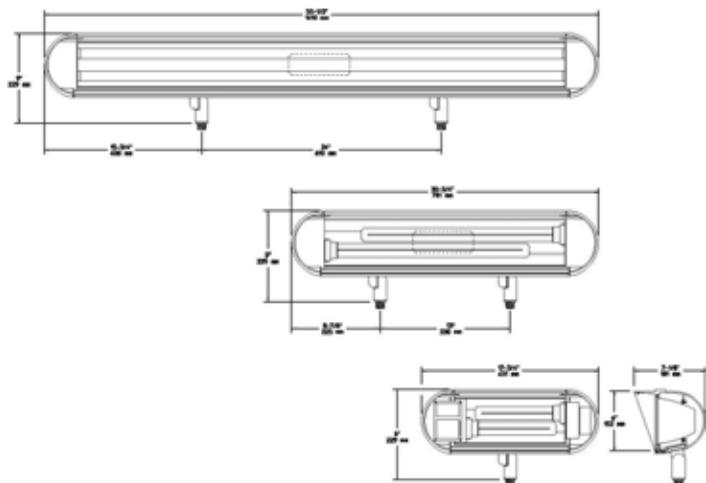
The proposed sign is intended to match the character of the communities existing main entrance signage and is proposed to be constructed of 2 sign panels approximately 11' -6" x 5'-11" (including graphics) and oriented in a "V" configuration for maximum visibility along 278. 3 brick pillars (brick color and type to match the existing Palmetto Hall sign wall) will support the 2 sign panels. The three pillar design will minimize disturbance to the site versus a conventional sign wall system. The sign panel construction shall consist of sandblasted western red cedar with graphics to match existing.

Proposed landscape enhancements are to include native plant material to frame the sign layout and provide screening of the existing drainage structure beyond. Plant material is intended to be low maintenance and drought tolerant. No significant or specimen trees are proposed to be removed for the sign construction.

Sign lighting is proposed to illuminate both sign panels for way finding at night. Lighting shall be bronze in color and shall be shielded. A sample cut sheet is provided with this submittal.

# Fluorescent Aluminum Floodlyte (WA2) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



## Ordering Guide

Example: WA2 A CF213 E

Product Code	WA2	Fluorescent Aluminum Floodlyte
<b>Finish</b>	A	Black
	B	White
	H	Bronze
	G	Verde
<b>Wattage</b>	CF213	(2) 13W CFL *1
	CF226	(2) 26W CFL *1
	CF232	(2) 32W CFL *1
	F40BX	40W Biax *2
	F240BX	(2) Biax *2
	F240BXCW	(2) Biax *2
	F50BX	50W Biax *2
	F250BX	(2) Biax *2
	F32CW	32W T8 *3
F232CW	(2) T8 *3	
<b>Voltage</b>	E	120V
	H	277V

\*1 Fixture housing length of 17-3/4" available only.

\*2 Fixture housing length of 30-3/4" available only.

\*3 Fixture housing length of 55-1/2" available only.

## Specifications

### HOUSING:

Die-cast aluminum. Integral cast hinge with stainless steel pins is concealed internally and allows easy access for relamping. Aluminum die-cast. Locking teeth provide adjustment by tightening one (1) stainless steel recessed screw. 1/2-14" NPS stainless steel threaded nipple provides secure mounting. One-piece die-cast aluminum. Hinged doorframe is secured to the housing by four (4) stainless steel recessed captive Phillips-head screws. One piece molded silicone gasket between the housing and doorframe provides a long-lasting weather-tight seal.

### FINISH:

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. For larger projects where a custom color is required, contact the factory for more information.

### OPTICAL ASSEMBLY:

Formed from highly reflective Hammertone aluminum and semi-specular kick plates. Reflector assembly is secured to the housing with four (4) stainless steel screws. 1/8" tempered silicone glass. One-piece molded silicone gasket and spring clips. Aiming up to a 60° back tilt. Fixtures used outdoors must be protected from rain and sprinklers if aimed downward.

### ELECTRICAL ASSEMBLY:

Mounted directly onto the reflector assembly and are UL recognized for appropriate lamps. Mounted directly to the housing and pre-wired with leads extending from the swivel arm. All electrical components are UL, cUL recognized.

### BALLAST:

Integral core and coil, NPF, Class B, starting temperature 25° F.

### WARRANTY:

Three-year limited warranty.

### CERTIFICATIONS:

ETL listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

### Height :

9" (229mm)

### Depth:

7 1/8" (181mm)

### Width:

Short: 17 3/4"

### Width:

Medium: 30 3/4" (781mm)

**Existing Conditions Photographs**  
**Palmetto Hall Off-Premise Sign**  
Hilton Head Island, South Carolina  
November 27, 2012



South Bound on HWY 278



North Bound on HWY 278

## Palmetto Hall Off-Premise Sign



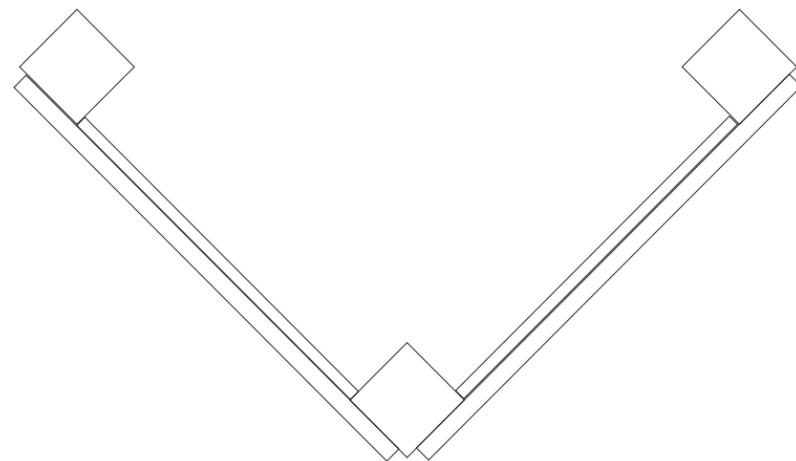
Beach City Road – Facing South towards HWY 278



Gardner Dr. – Facing North towards HWY 278



Photo of existing entrance sign.

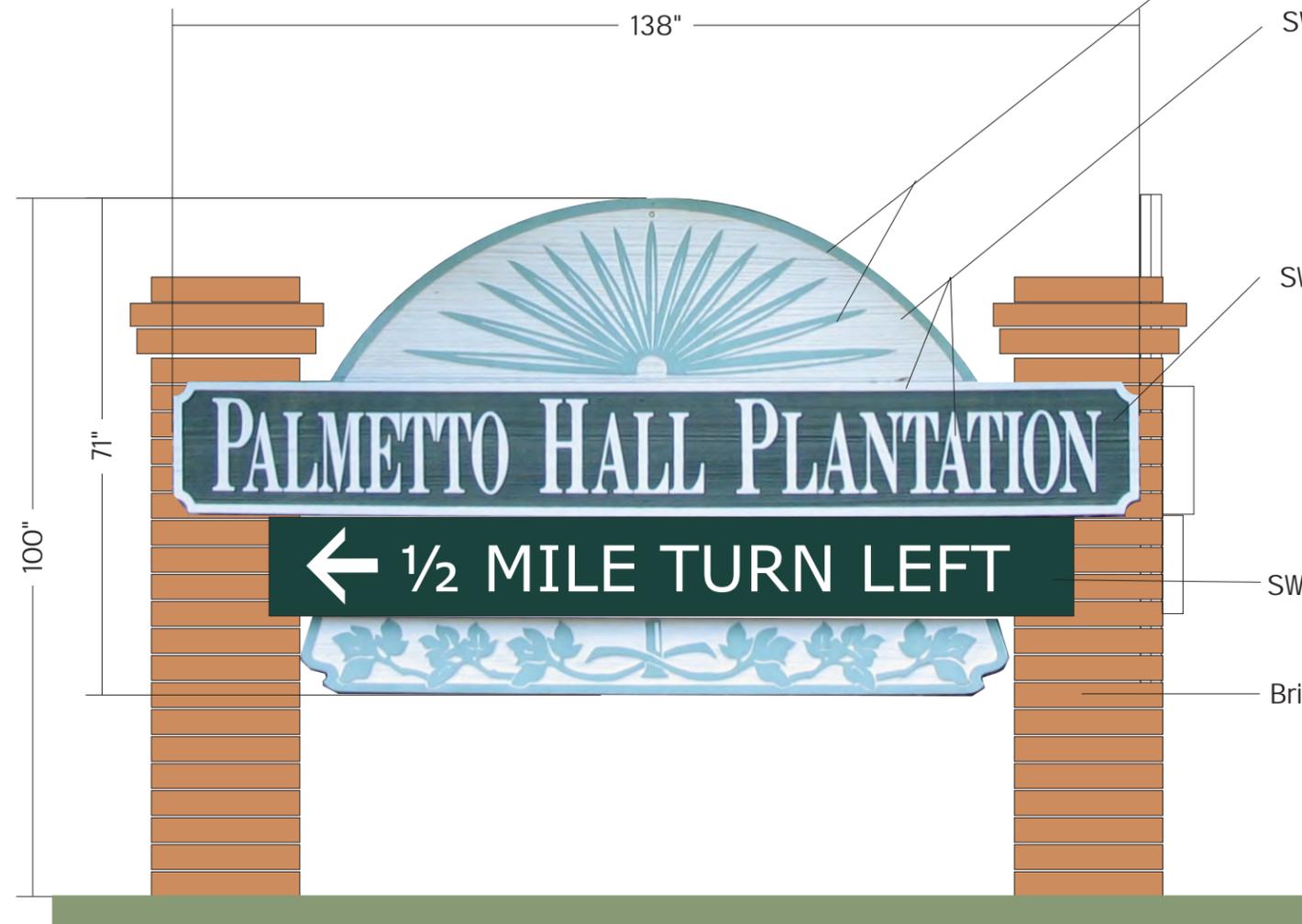


Plan View

Scale: 1/4"=1'-0"

Graphic panels to be sandblasted Western Red Cedar  
 ID panel 4 1/2" thick/ built-up  
 Directional panel 3" thick- 2x with 2x stringers  
 Background panel 3" thick-2x with 2x stringers

Colors to match existing entry sign.



SW 6458 Restful

SW 7063 Nebulous White

SW 6195 Rock Garden

SW 6216 Jasper

Brick to match existing

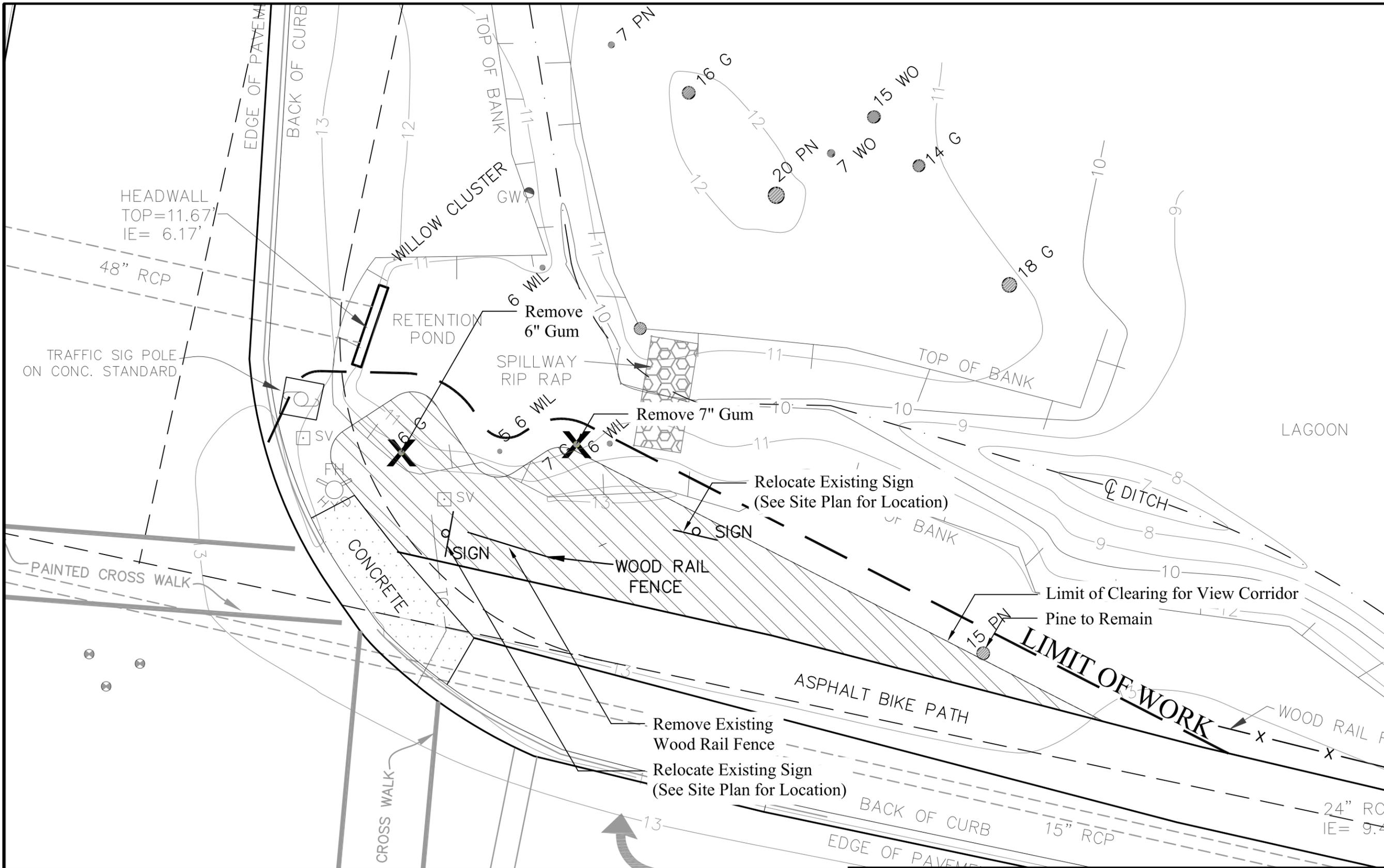
Elevation- V-formation sign

Scale: 1/2"=1'-0"



Photo of sign materials on existing entrance sign.

# Palmetto Hall Trailblazer Sign- Wm. Hilton Parkway/ Beach City Road Proposed Design



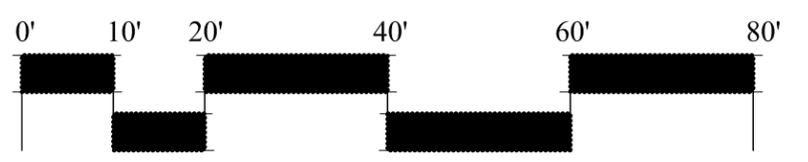
**PALMETTO HALL**  
 Mr. Mike Danoff  
 Hilton Head Island, SC

**PALMETTO HALL**  
**OFF PREMISE**  
**COMMUNITY I.D. SIGN**  
 Hilton Head Island, SC

DRAWN BY:  
 MM  
 CHECKED BY:  
 TG  
 This drawing is an instrument of service & remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

#	REVISION	DATE	BY

DATE  
 11-27-2012  
 PROJECT NUMBER  
 01-12016  
 SHEET TITLE  
 Sign Demo Plan



SCALE: 1" = 10'-0"

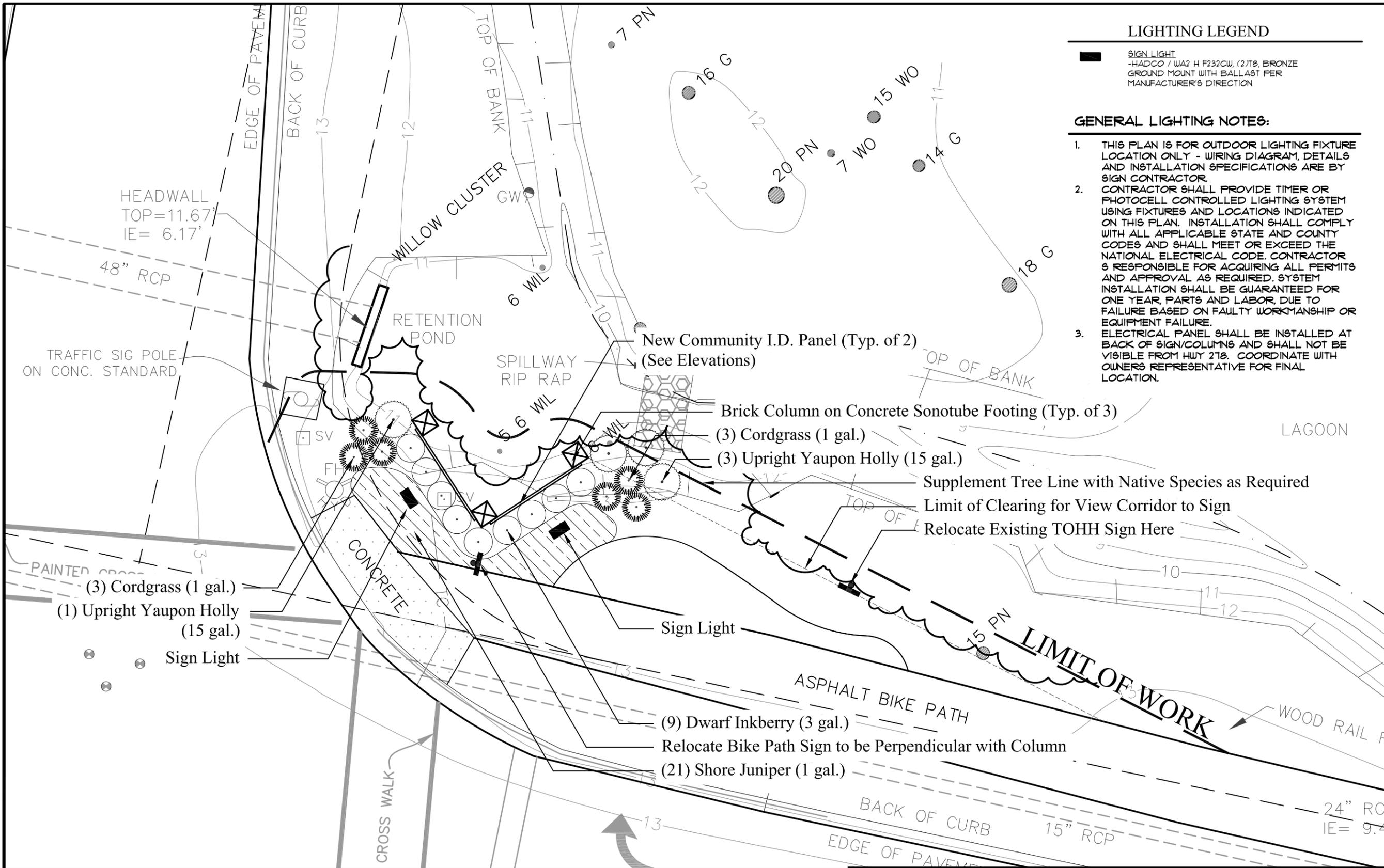
PLAN IS SUBJECT TO CHANGE.



PO Box 23849 Hilton Head Island, SC 29925  
 843.681.6618 Fax 843.681.7086 www.woodandpartners.com

SHEET NUMBER

1 of 2



**LIGHTING LEGEND**

**SIGN LIGHT**  
 -HADCO 7 WA2 H F232CW, (2)T8, BRONZE  
 GROUND MOUNT WITH BALLAST PER  
 MANUFACTURER'S DIRECTION

**GENERAL LIGHTING NOTES:**

1. THIS PLAN IS FOR OUTDOOR LIGHTING FIXTURE LOCATION ONLY - WIRING DIAGRAM, DETAILS AND INSTALLATION SPECIFICATIONS ARE BY SIGN CONTRACTOR.
2. CONTRACTOR SHALL PROVIDE TIMER OR PHOTOCELL CONTROLLED LIGHTING SYSTEM USING FIXTURES AND LOCATIONS INDICATED ON THIS PLAN. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES AND SHALL MEET OR EXCEED THE NATIONAL ELECTRICAL CODE. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AND APPROVAL AS REQUIRED. SYSTEM INSTALLATION SHALL BE GUARANTEED FOR ONE YEAR, PARTS AND LABOR, DUE TO FAILURE BASED ON FAULTY WORKMANSHIP OR EQUIPMENT FAILURE.
3. ELECTRICAL PANEL SHALL BE INSTALLED AT BACK OF SIGN/COLUMNS AND SHALL NOT BE VISIBLE FROM HWY 278. COORDINATE WITH OWNERS REPRESENTATIVE FOR FINAL LOCATION.

**PALMETTO HALL**  
 Mr. Mike Danoff  
 Hilton Head Island, SC

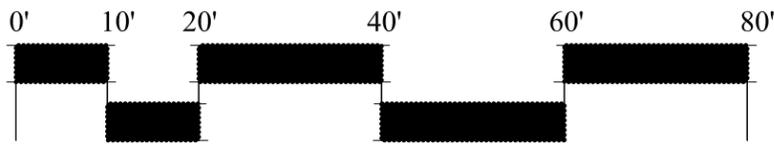
**PALMETTO HALL**  
**OFF PREMISE**  
**COMMUNITY I.D. SIGN**  
 Hilton Head Island, SC

**DRAWN BY:**  
 MM  
**CHECKED BY:**  
 TG

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#	REVISION	DATE	BY

**DATE**  
 11-27-2012  
**PROJECT NUMBER**  
 01-12016  
**SHEET TITLE**  
 Sign Site Plan



SCALE: 1" = 10'-0"



NORTH

PLAN IS SUBJECT TO CHANGE.

**Wood+Partners Inc. WPI**  
 Landscape Architects  
 Land Planners

PO Box 23849 Hilton Head Island, SC 29925  
 843.681.6618 Fax 843.681.7086 www.woodandpartners.com

**SHEET NUMBER**

**2 of 2**

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Palmetto Hall 278 Sign

DRB#: DR 120034

DATE: December 11, 2012

RECOMMENDATION:    Approval             Approval with Conditions             Denial

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**LANDSCAPE DESIGN**

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***
