



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, February 14, 2012

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of January 24, 2012**
- 6. Staff Report**
 - A) TOHH Island Sign Code Revisions
- 7. Board Business**
- 8. Unfinished Business**
 - A) DR110040- 2 Southwood Park Drive Renovations
- 9. New Business**
 - A) DR120004- HH Christian Academy Practice Gym
 - B) DR120005- Frankie Bones Awning
 - C) DR120006- Hilton Head Brew Pub
 - D) DR120007- Jenkins Island Cell Tower
- 10. Appearance by Citizens**
- 11. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, January 24, 2012 Meeting **DRAFT**
1:15pm – Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Todd Theodore, Vice Chairman Scott Sodemann,
Jake Gartner, Jennifer Moffett, Galen Smith and Deborah Welch

Board Members Absent: Tom Parker, Excused

Council Members Present: Bill Ferguson

Town Staff Present: Mike Roan, Urban Design Administrator
Richard Spruce, Plans Administrator
Heather Colin, Development Review Administrator
Kathleen Carlin, Administrative Assistant

1. CALL TO ORDER

Chairman Todd Theodore called the meeting to order at 1:15p.m.

2. ROLL CALL

3. FREEDOM OF INFORMATION ACT COMPLIANCE

4. APPROVAL OF THE AGENDA

The agenda was **approved** as presented by general consent.

5. APPROVAL OF THE MINUTES

The minutes of the January 10, 2012 meeting were **approved** as presented by general consent.

6. STAFF REPORT

None

7. BOARD BUSINESS

None

8. UNFINISHED BUSINESS

None

9. NEW BUSINESS

71 Pope Avenue – Alteration/Addition – DR120002

Mr. Roan introduced the application and stated its location. The applicant is proposing to change the existing courtyard at this location to 2” concrete pavers. A portion of the courtyard will remain a landscape buffer from the parking lot to the newly proposed hardscape courtyard. The proposed pavers are Perma Flow, Daufuskie Blend, Low Country Pavers. The applicant is also proposing to install a seat-wall (21” tall, 28’9” long). Mr. Roan presented an in-depth review of the application

including overhead photographs of the elevations and the site. The staff feels that the finish of the new seat-wall should match the stucco finish and color of the building and existing wall at parking structure. If the Board approves the paver wall cap, staff believes that it should have a clean edge free of spacer nibs. No dimension is given on the depth of the wall, but there should be at least a 1” overhang for the cap on each side.

While staff feels that the Dwarf Yaupon holly meets the minimum requirements for softening the wall (they should be 7’ gallon minimum, 30”o.c.), perhaps a more ambitious landscape plan should be subsequently submitted to address what is otherwise a neglected courtyard. A plan that fully addresses the courtyard with pavers should be considered. Staff recommends approval of the application with conditions.

The Board discussed the project with the staff; Chairman Theodore then requested that the applicant make her presentation. Ms. Tricia Salley, with Sunshine Hardscape, presented statements in support of the application. The Board and the applicant discussed details regarding the concrete pavers, the seat-wall, and the landscaping. At the completion of the discussion, Chairman Theodore requested that a motion be made.

Vice Chairman Sodemann made a **motion** to **approve** the application for alteration/addition for 71 Pope Avenue with the condition that the applicant shall provide the Town with an approved landscape drawing. Ms. Welch **seconded** the motion and the motion **passed** with a vote of 6-0-0.

5 Park Lane - Alteration/Addition – DR120003

Mr. Roan introduced the application and stated its location. Mr. Roan stated that this plan will also receive an Expedited Development Plan Review (XDPR) by the Community Development Staff to ensure compliance. Mr. Roan presented an in-depth review of the application including overhead photographs of the site.

With removal of the existing walls and pilasters at the corners, and the introduction of the new columns and shed element, the exterior corners of the existing gables seem to “float” with what might be considered an excessive overhang. If the gables were re-worked along with the removal of the walls, and were more in keeping with the existing overhang of the roofline overall, it might feel like a more successfully integrated alteration. The existing window of the “center pair” that is left recessed might serve the elevation better if it were brought in line with the new drive through, should function allow it.

While the proposed landscape plan is of a quantity and nature suitable for approval, it is difficult to tell what is existing and what is proposed. It looks as if plant material is proposed in the new drive aisles and handicap parking. There should be at least one broadleaf evergreen tree installed for every tree removed for the driveway, and a commensurate amount planted to replace the lower foundation planting on the William Hilton Parkway elevation.

The applicant will need to better clarify the landscape proposed for the area where the asphalt is to be removed. Staff recommends that the application be approved with conditions. Following the

staff's presentation, Chairman Theodore requested that the applicants make their presentation.

Mr. Don Guscio, Landscape Architect, and Mr. Kevin Grenier, Architect, with KRA Architects, presented statements in support of the application. The Board and the applicants discussed the proposed plan including details regarding the gable roof line and overhangs. The Board also reviewed the mitigation plan. Following the Board's discussion, Chairman Theodore requested that a motion be made.

Ms. Welch made a **motion to approve** the alteration/addition application for 5 Park Lane with the following conditions: (1) the applicant shall submit an approved mitigation plan to the staff; (2) the applicant shall move the gable roof line back on the building as discussed. Vice Chairman Sodemann **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. APPEARANCE BY CITIZENS

None

11. ADJOURNMENT

The meeting was adjourned at 1:50p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Todd Theodore
Chairman

RENOVATIONS TO SOUTHWOOD PARK RETAIL CENTER



RENDERING SHOWN ON THIS SHEET IS FOR GRAPHIC REFERENCE ONLY AND IS NOT A CONSTRUCTION DRAWING

Wübbena
Architectural Design
and Development

OWNER

PROJECT CONTACTS

ARCHITECT
WUBBENA AD, P.C.
JIM WUBBENA, AIA
35 BARNARD STREET
SUITE 300
SAVANNAH, GA, 31401
PH. 912 660 5438
FX 912 525 3088

INDEX OF DRAWINGS

Sheet Number	Sheet Name	Sheet Issue Date
● SHEET ISSUED		
⊕ SHEET REVISED		
× SHEET REMOVED		
⊖ SHEET PROVIDED BY?		
TITLE SHEET		
T1.1	TITLE BLOCK	05/12/06
CIVIL		
C1.1	SITE PLAN	
ARCHITECTURAL		
A0.0	ABBREVIATIONS & GENERAL NOTES	08/09/06
A1.1	FIRST FLOOR PLAN	08/09/06
A3.1	EXTERIOR ELEVATIONS	02/11/10
A5.1	WALL SECTIONS	11/07/11
A6.1	ENLARGED ELEVATION AND PLAN DETAILS	11/14/11

PLAN REVIEW DATA

ADOPTED CODES AND STANDARDS:

- NFPA 220 STANDARD OR TYPES OF BUILDING CONSTRUCTION
- INTERNATIONAL BUILDING CODE 2006
- ASNI BHMA (BUILDERS HARDWARE MFR'S ASSOC.)
- NATIONAL ELECTRIC CODE
- SMACNA HVAC 1995
- GA. ACCESSIBILITY CODE FOR BUILDINGS AND FACILITIES

BUILDINGS - 1

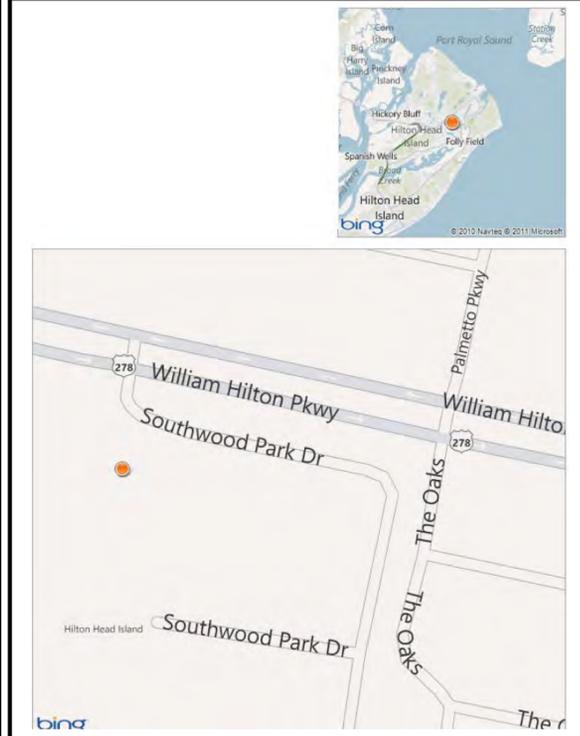
ZONING - B-1

IBC - TYPE IIB NON SPRINKLERED CONSTRUCTION

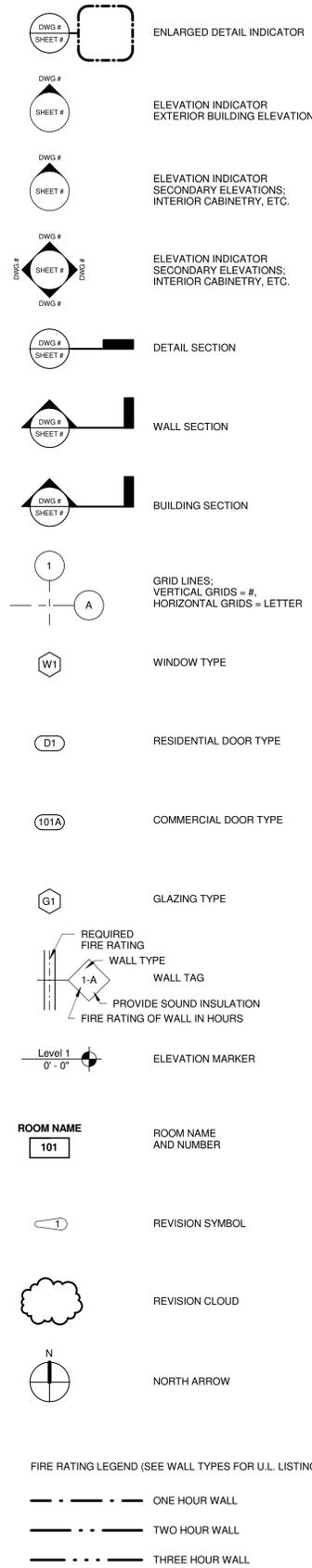
TYPE OF OCCUPANCY - MERCANTILE OCCUPANCY
NFPA 101 LIFE SAFETY CODE 2006 EDITION

TOTAL TENANT AREA - 16000 SQ.FT.

VICINITY MAP



SHEET NO. **1141**
PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWER:



A.	ACRE	ACROUS	ACOUSTICAL	ACTS	ACOUSTICAL CEILING PANEL SYSTEM	ADA	AMERICAN DISABILITIES ACT	ADJ	ADJUSTABLE	AFF	ABOVE FINISH FLOOR	ALT	ALTERNATE	ALUM	ALUMINUM	APPROX	APPROXIMATELY	ARCH	ARCHITECT	AWV	AT VARIANCE WITH	AWC	ACOUSTICAL WALL COVERING	AWCT	ACOUSTICAL WALL TILE				
BETW	BUILDING	B.O.	BOTTOM OF	B.O.S.	BOTTOM OF STEEL	BRK	BRICK	BRNG	BEARING	B.U.R.	BUILT UP ROOF																		
CAB	CABINET	CG	CORNER GUARD	CH	COAT HOOK	CJ	CONTROL JOINT	CL	CENTER LINE	CLG	CEILING	CLOS	CLOSET	CMU	CONCRETE MASONRY UNIT	CO	CLEAN OUT	CONC	CONCRETE	CONSTR	CONSTRUCTION	CONT	CONTINUOUS	CPT	CARPET	CT	CERAMIC TILE	CU	CONDENSING UNIT
DF	DRINKING FOUNTAIN	DIM	DIMENSION	DN	DOWN	DWG	DRAWING	DWR	DRAWER																				
EA	EACH	EDF	ELECTRIC DRINKING FOUNTAIN	EIFS	EXTERIOR INSULATION FINISH SYSTEM	EJ	EXPANSION JOINT	ELEC	ELECTRICAL	E.O.F.	EDGE OF FOOTING	E.O.S.	EDGE OF SLAB	EO	EQUAL	EQUIP	EQUIPMENT	EWIC	ELECTRICAL WATER COOLER	EXIST	EXISTING	EXP	EXPANSION	EXT	EXTERIOR				
FD	FLOOR DRAIN	FE	FIRE EXTINGUISHER	FEC	FIRE EXTINGUISHER CABINET	FF	FINISH FLOOR	FHC	FIRE HOSE CABINET	F.O.S.	FACE OF STUD	FJ	FLOOR JOINT	FR	FIRE RATED	FRP	FIBERGLASS REINFORCED	FT	FOOT/FEET	FTG	FOOTING	FV	FIELD VERIFY	FWC	FABRIC WALL COVERING				
GA	GALVANIZED	GB	GRAB BAR	GFI	GROUND FAULT INTERRUPT	GFRC	GLASS FIBER REINFORCED CONCRETE	GFRG	GLASS FIBER REINFORCED GYPSUM	GRVL	GRAVEL	GYP	GYPSUM	GYP BD	GYPSUM BOARD														
HB	HOSE BIB	HD	HAND DRYER	HDQP	HANDICAP	HDWR	HARDWARE	HM	HOLLOW METAL	HORZ	HORIZONTAL	HR	HOSE	HVAC	HEATING / VENTILATION / AIR CONDITIONING														
INT	INTERIOR	INSUL	INSULATION																										
JAN	JANITOR	JT	JOINT																										
LAM	LAMINATE	LINF	LINOLEUM FLOORING	LLH	LONG LEG HORIZONTAL	LLV	LONG LEG VERTICAL																						
MIR	MIRROR	MANUF	MANUFACTURER	MATL	MATERIAL	MBR	MODIFIED BITUMEN ROOFING	MC	MEDICINE CABINET	MECH	MECHANICAL	MIN	MINIMUM	MLDG	MOULDING	MO	MASONRY OPENING	MRBL	MARBLE	MR	MOISTURE RESISTANT	MTL	METAL						
NIC	NOT IN CONTRACT	NO	NUMBER	NTS	NOT TO SCALE																								
OC	ON CENTER	OPH	OPPOSITE HAND	OPP	OPPOSITE																								

PCT	PORCELAIN TILE	PEJ	PREFORMED EXPANSION JOINT	PG BD	PEG BOARD	PL	PLATE	PLY WD	PLYWOOD	PLAM	PLASTIC LAMINATE	PLST	PLASTER	PLUM	PLUMBING	PME	PLUMBING / MECHANICAL / ELECTRICAL	PNL	PANEL	PREFAB	PREFABRICATED	PREMANUF	PREMANUFACTURED	P	PAIN	PT	PRESSURE TREATED	PTD	PAPER TOWEL DISPENSER	PSF	POUNDS PER SQUARE FOOT	PSI	POUNDS PER SQUARE INCH	PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE	QTY	QUANTITY																																
R	RISER	R/A	RETURN AIR	RAG	RETURN AIR GRILLE	RB	RUBBER BASE	R/S	ROD AND SHELF	R/W	RIGHT OF WAY	RAD	RADIUS	RB FL	RUBBER FLOOR	RECP	RECEPTACLE	REINF	REINFORCED / REINFORCING	RESB	RESILIENT BASE	REOD	REQUIRED	RO	ROUGH OPENING										
SCHED	SCHEDULE	SCR	SCREEN	SD	STORM DRAIN	SECT	SECTION	SF	SQUARE FEET / FOOT	SIM	SIMILAR	SI	SOUND INSULATION	SPEC	SPECIFICATION	SPKR	SPEAKER	SO	SQUARE	STD	STANDARD	SS	STAINLESS STEEL	ST	STAIN	STN	STONE	STOR	STORAGE	SWD	STACK WASHER / DRYER				
T	TREAD	T&G	TONGUE AND GROOVE	TB	TACK BOARD	TEMP	TEMPERED	TERR	TERRAZZO	TLT	TOILET	THRU	THROUGH	TI	THERMAL INSULATION	T.O.	TOP OF	T.O.R.	TOP OF ROOFING	T.O.P.	TOP OF PLATE	T.O.S.	TOP OF STEEL	T.O.W.	TOP OF WALL	TS	TACK STRIP	TTD	TOILET TISSUE DISPENSER	TWAC	THROUGH WALL AIR CONDITIONER				
U	UPHOLSTERY	UL	UNDERWRITERS LABORATORY	UNO	UNLESS OTHERWISE NOTED																														
VERT	VERTICAL	VCT	VINYL COMPOSITION TILE	VF	VINYL FLOORING	VIF	VERIFY IN FIELD	VTR	VENT THROUGH ROOF	VWC	VINYL WALL COVERING																								
W/	WITH	WASH	WASHER	W/C	WATER CLOSET / TOILET	WD	WOOD	WC	WALL COVERING	WH	WATER HEATER	WHP	WALL HUNG HEAT PUMP	W/O	WITHOUT	WOM	WALK OFF MAT	WWF	WELDED WIRE FABRIC	WSHP	WATER SOURCE HEAT PUMP														
XFMR	TRANSFORMER																																		

GENERAL NOTES

- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- B. FOR WHERE DOOR DIMENSIONS ARE NOT DESIGNATED, AS SHOWN ADJACENT TO WALL, SET DOOR 4" FROM WALL TO JAMB INCLUDING FRAME. WHERE SHOWN IN MIDDLE OF WALL, SET DOOR IN CENTER OF SAME WALL.
- C. UNLESS NOTED OTHERWISE ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR INFORMATION PURPOSES ONLY.
- D. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES, CASEWORK, ACCESSORIES AS REQUIRED.
- E. GENERAL CONTRACTOR SHALL REVIEW & IMPLEMENT U.L. RATED ASSEMBLIES NOTED HEREIN.



James Wubben, AIA
505 Daydream Court
Murrells Inlet, SC 29576
P - 912 660 5438
F - 912 525 3088

Tom Shimada

Southwood Park Retail Center

2 Southwood Drive
Hilton Head, SC

REVISIONS

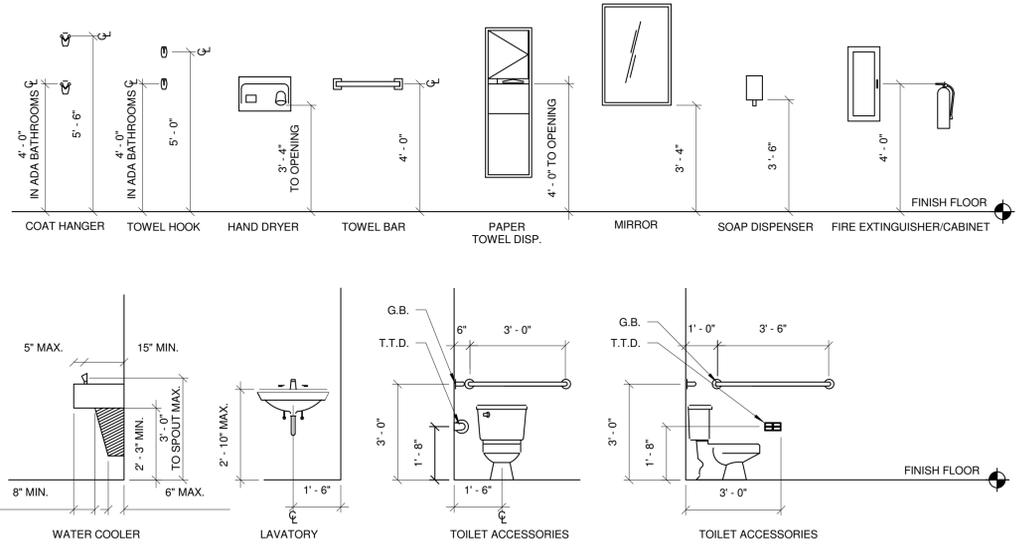
ABBREVIATIONS & GENERAL NOTES

COPYRIGHT & REPRODUCTION OF DRAWINGS
1. This Drawing is the property of Wubben A&D PC, and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned on request.
2. Scales as stated herein are valid on the original drawings only and are hereby changed in proportion to the difference in size between the print and the original drawing.
3. Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.



PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWN BY: Author
CHECKED BY: Checker
SCALE: 1/2" = 1'-0"

SHEET NO.
A0.0



PROPERTY LINE

Planting Schedule		
Keynote	Type	Comments
	Golden Malay Palm	
A	Fetterbush	
B	Ilex glabra	
C	Inkberry	
F	American Holly	HHI - LMO Type II Tree



James Wubbena, AIA
505 Daydream Court
Murrells Inlet, SC 29576
P - 912 660 5438
F - 912 525 3088

Tom Shimada

Southwood Park Retail Center

2 Southwood Drive
Hilton Head, SC

REVISIONS

SHEET TITLE

SITE PLAN

COPYRIGHT & REPRODUCTION OF DRAWINGS

- This Drawing is the property of Wubbena A&D PC, and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned on request.
- Scales as stated herein are valid on the original drawings only and are hereby changed in proportion to the difference in size between the print and the original drawing.
- Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.



PROJECT NUMBER: 1141

DATE: 9-28-2011

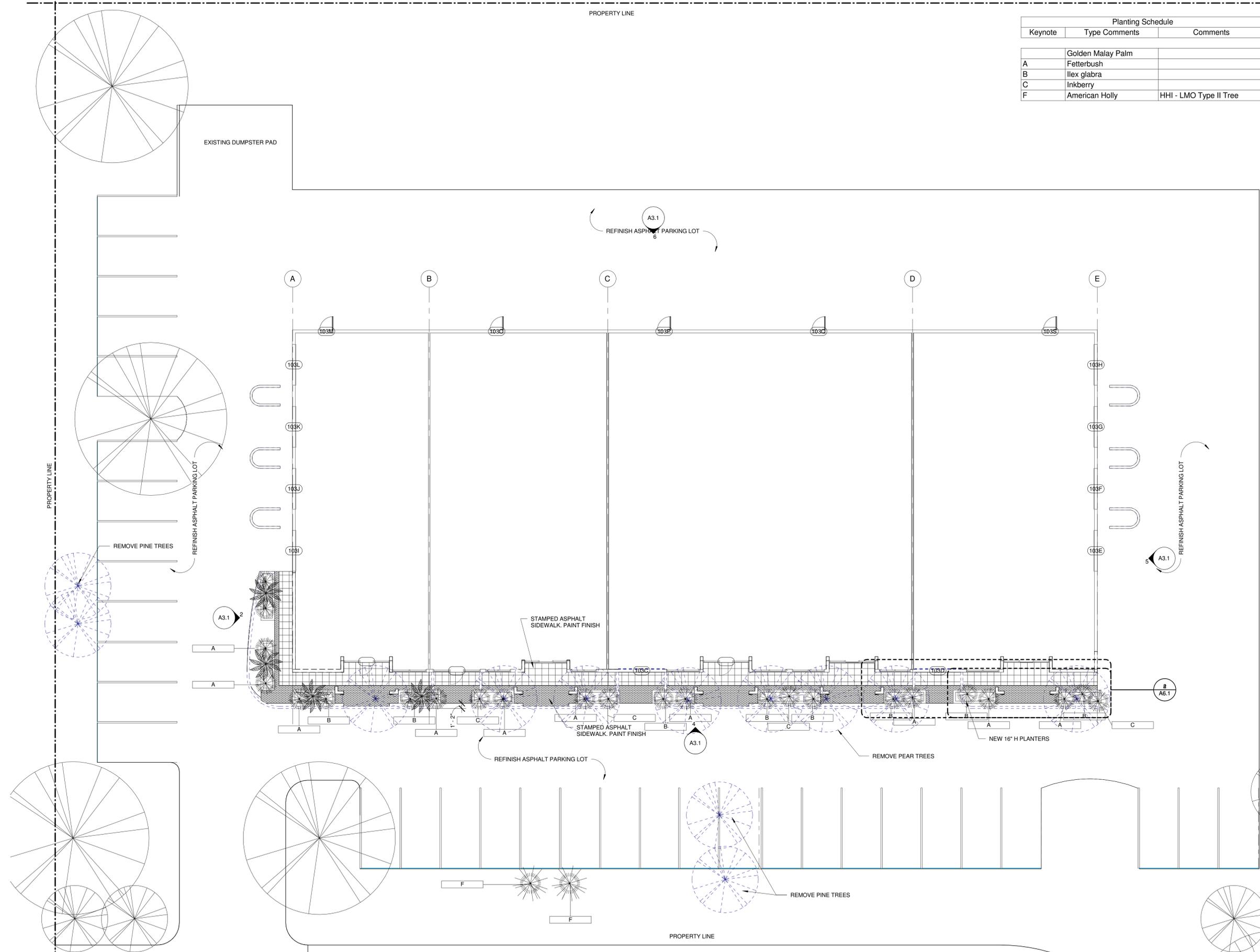
DRAWN BY: Author

CHECKED BY: Checker

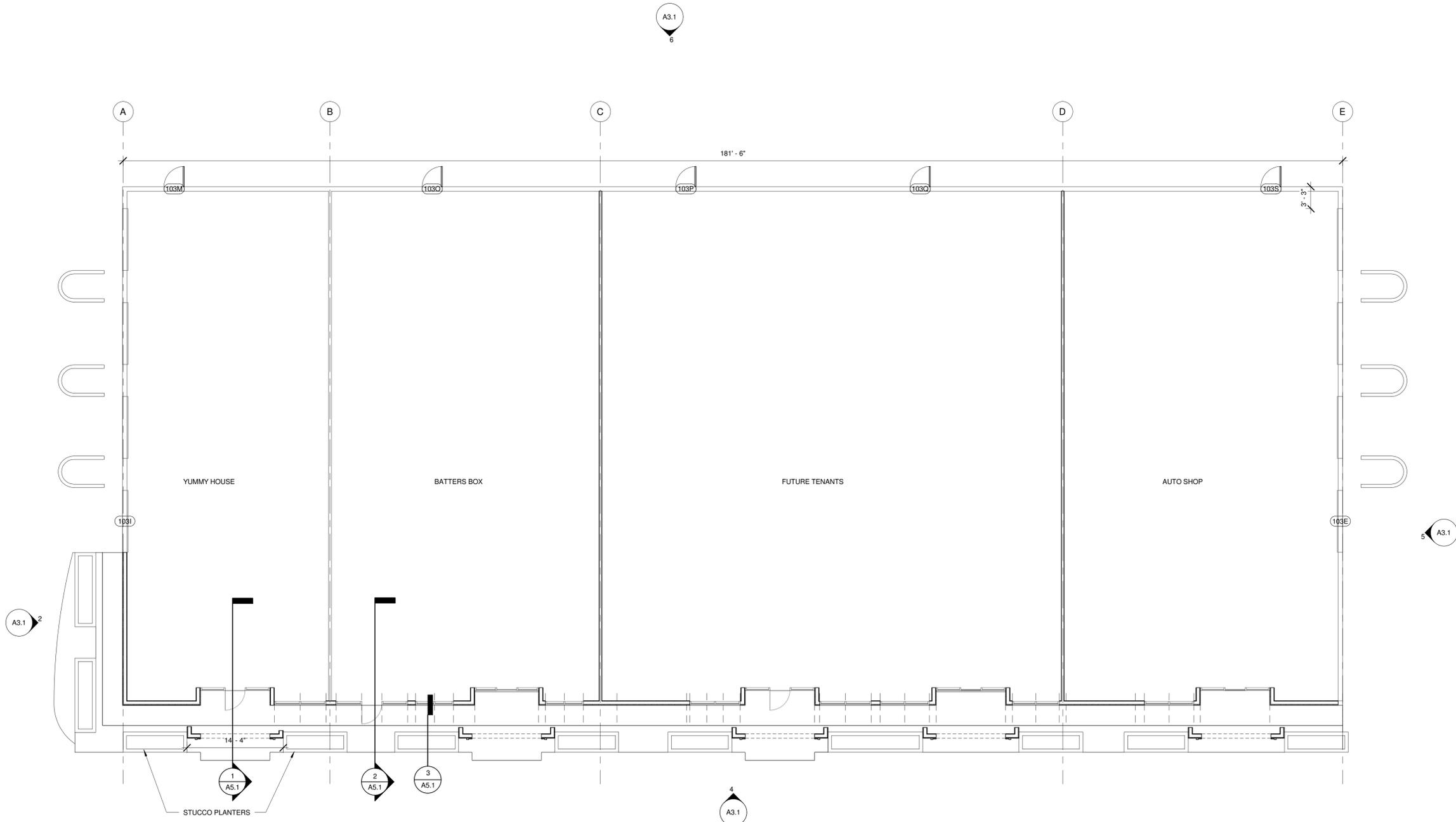
SCALE: 1" = 10'-0"

SHEET NO.

C1.1



1 GRADE
C1.1 1" = 10'-0"



James WubbenA, AIA
 505 Daydream Court
 Murrells Inlet, SC 29576
 P - 912 660 5438
 F - 912 525 3088

Tom Shimada

Southwood Park Retail Center

2 Southwood Drive
 Hilton Head, SC

REVISIONS

SHEET TITLE

FIRST FLOOR PLAN

COPYRIGHT & REPRODUCTION OF DRAWINGS

- This Drawing is the property of WubbenA A&D P.C. and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned on request.
- Scales as stated herein are valid on the original drawings only and are hereby changed in proportion to the difference in size between the print and the original drawing.
- Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.

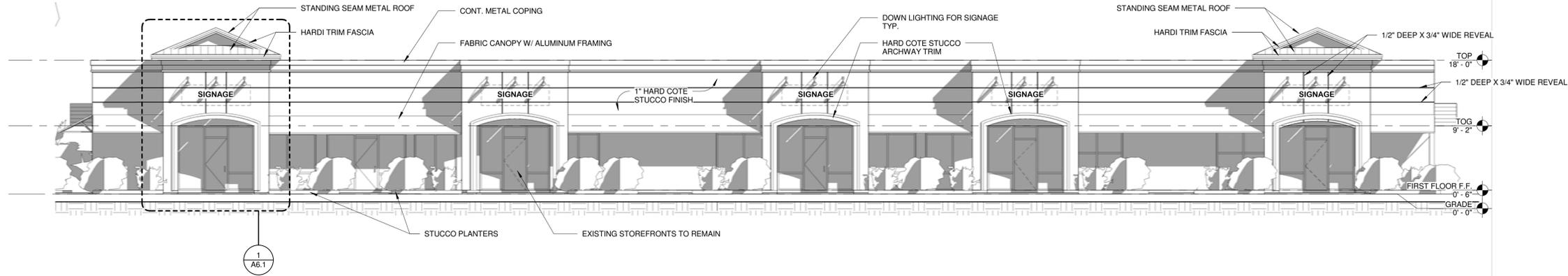


PROJECT NUMBER: 1141
 DATE: 9-28-2011
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"

SHEET NO.
A1.1



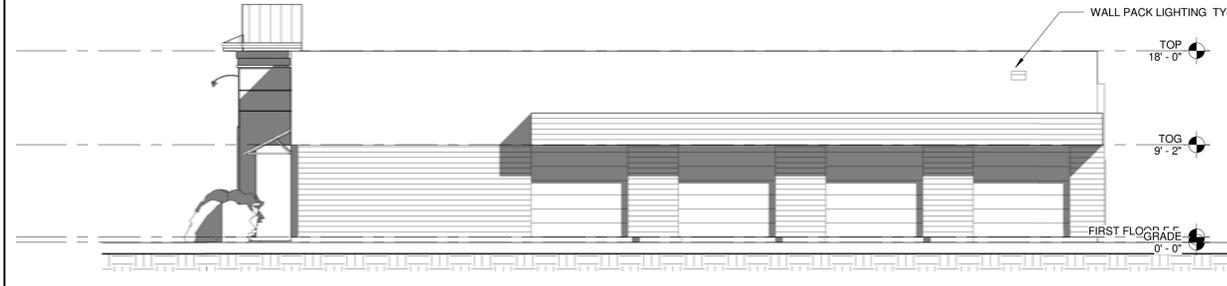
4 EXISTING ELEVATION
A3.1 1/8" = 1'-0"



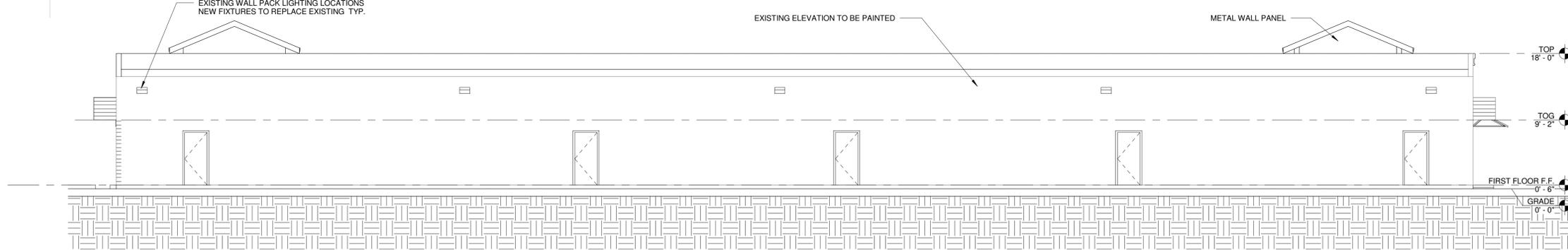
1 NORTH ELEVATION
A3.1 1/8" = 1'-0"



2 EAST ELEVATION
A3.1 1/8" = 1'-0"



5 WEST ELEVATION
A3.1 1/8" = 1'-0"



6 BACK ELEVATION
A3.1 1/8" = 1'-0"

REVISIONS

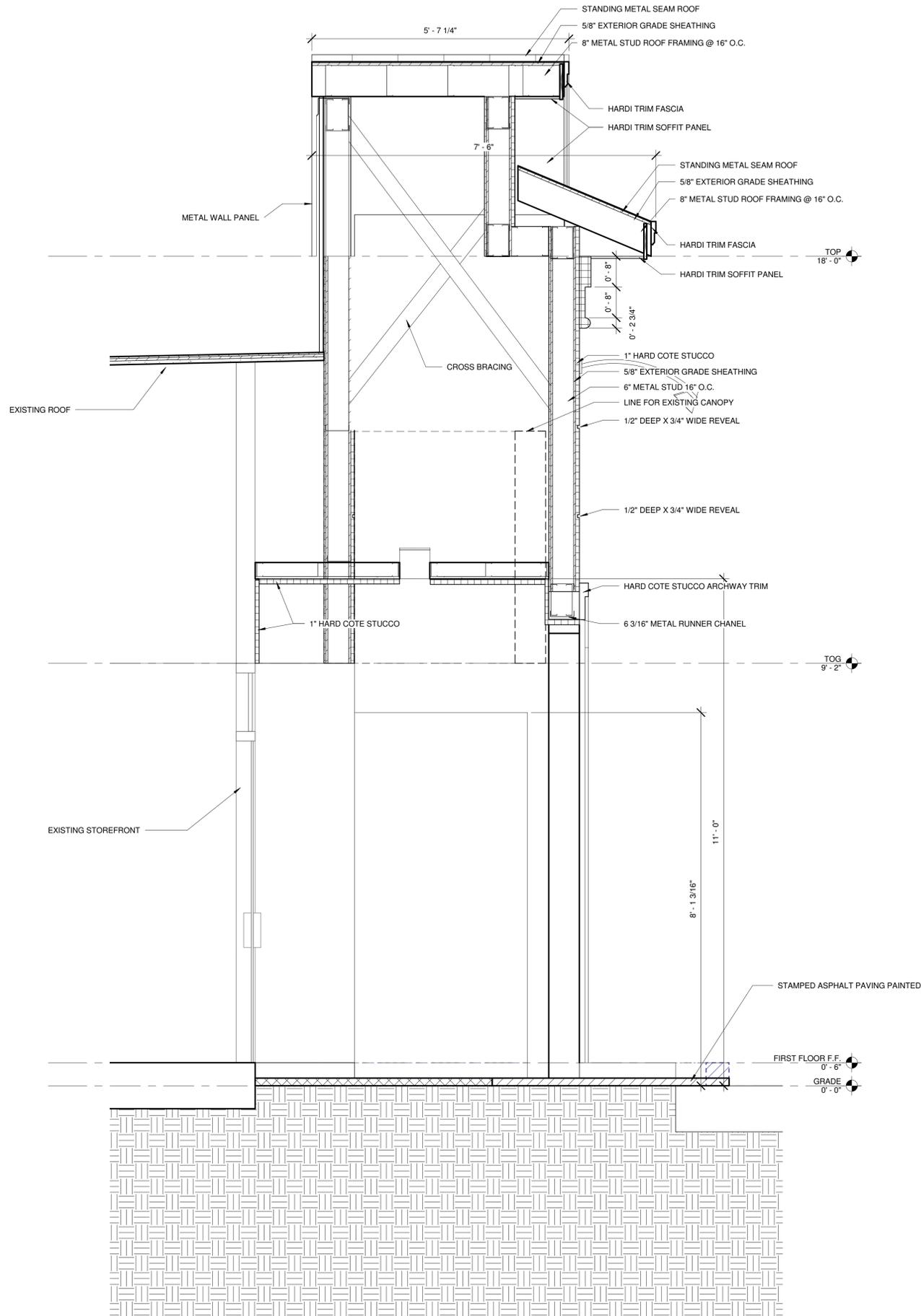
SHEET TITLE
**EXTERIOR
ELEVATIONS**

COPYRIGHT & REPRODUCTION OF DRAWINGS
1. This Drawing is the property of Wubben A&D PC, and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned on request.
2. Scales as stated herein are valid on the original drawings only and are hereby changed in proportion to the difference in size between the print and the original drawing.
3. Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.

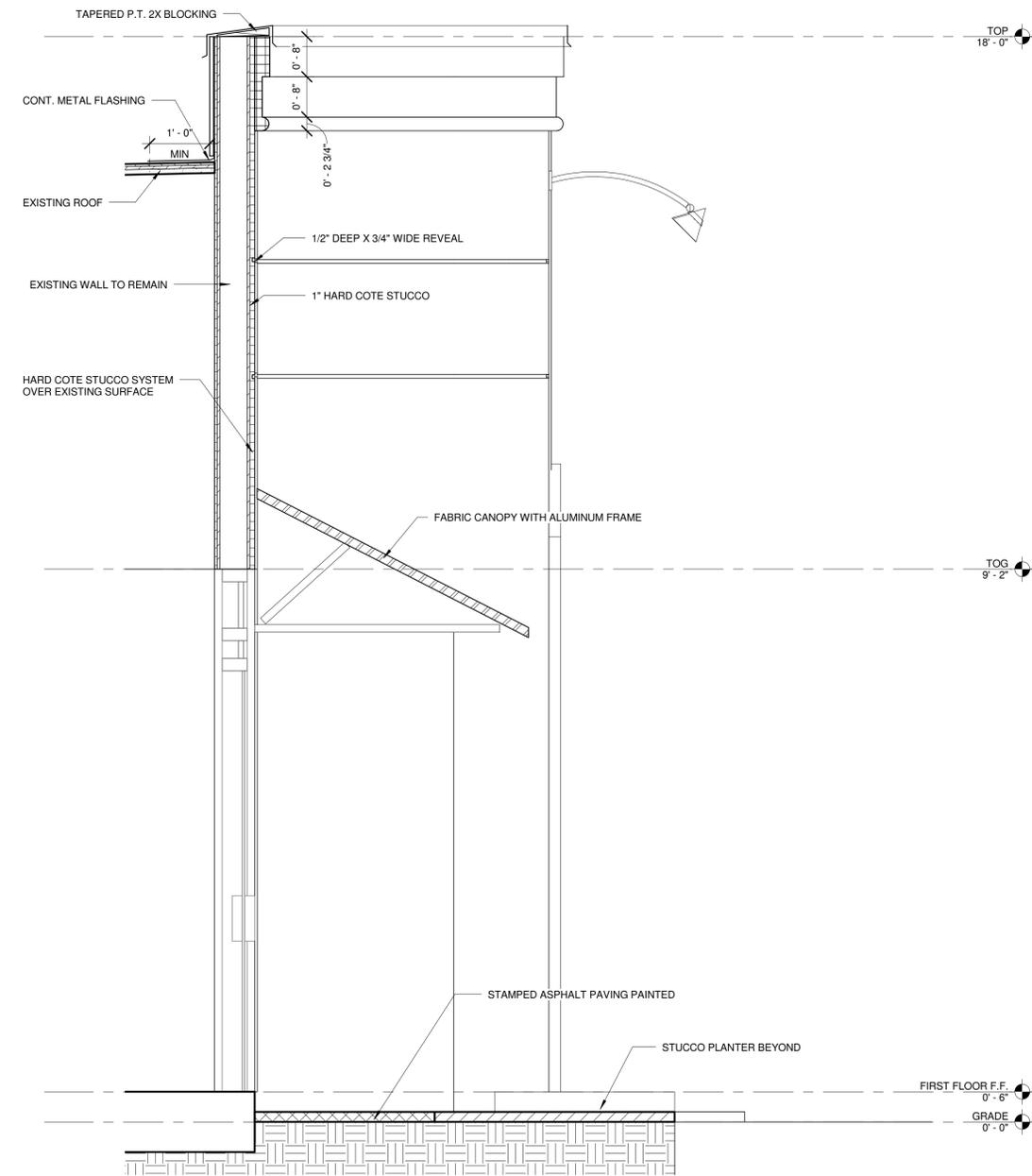


PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWN BY: Author
CHECKED BY: Checker
SCALE: 1/8" = 1'-0"

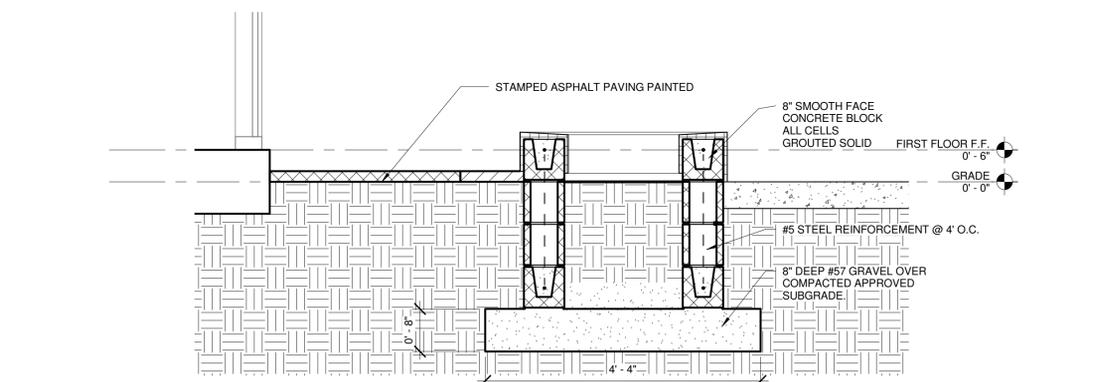
SHEET NO.
A3.1



1 SECTION @ ENTRY
A5.1 3/4" = 1'-0"



2 SECTION @ CANOPY
A5.1 3/4" = 1'-0"



3 PLANTER DETAIL
A5.1 3/4" = 1'-0"

REVISIONS

SHEET TITLE

WALL SECTIONS

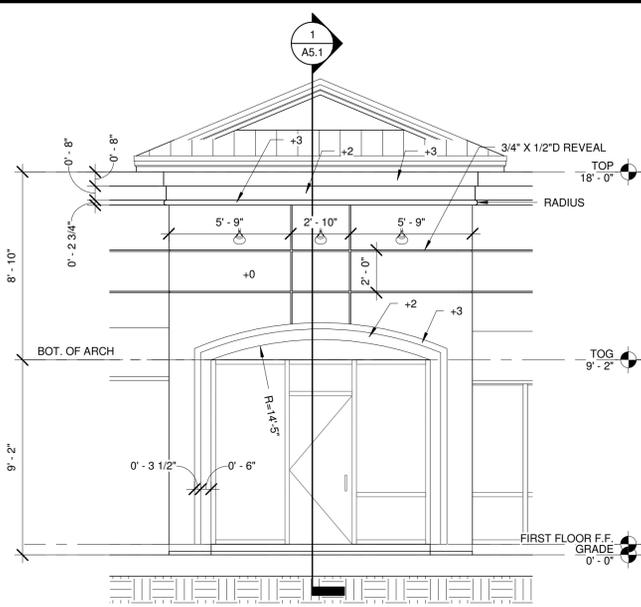
COPYRIGHT & REPRODUCTION OF DRAWINGS

1. This Drawing is the property of WubbenA A&D P.C. and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned on request.
2. Scales as stated herein are valid on the original drawings only and are hereby changed in proportion to the difference in size between the print and the original drawing.
3. Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.

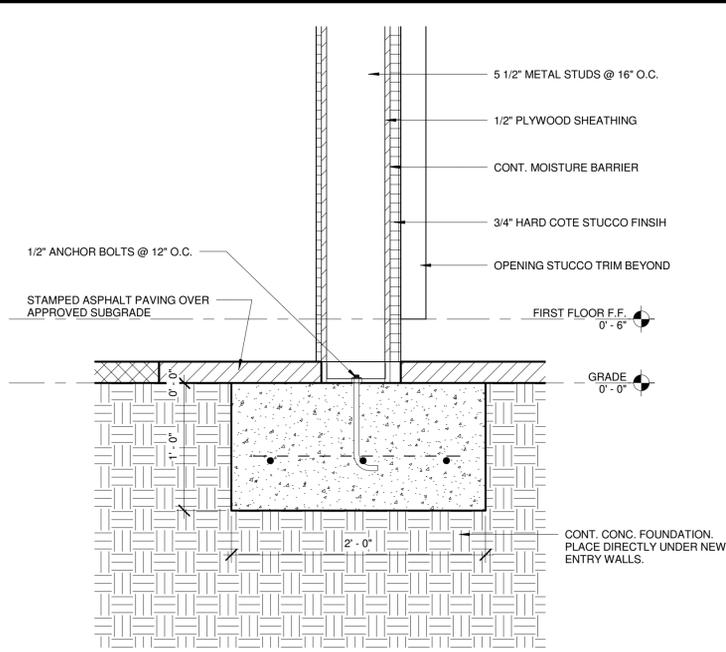


PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWN BY: Author
CHECKED BY: Checker
SCALE: 3/4" = 1'-0"

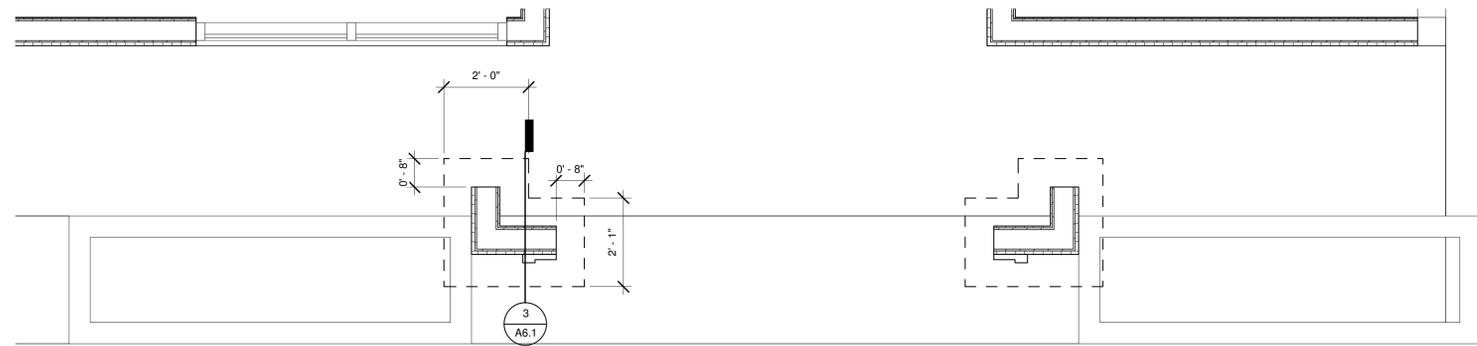
SHEET NO.
A5.1



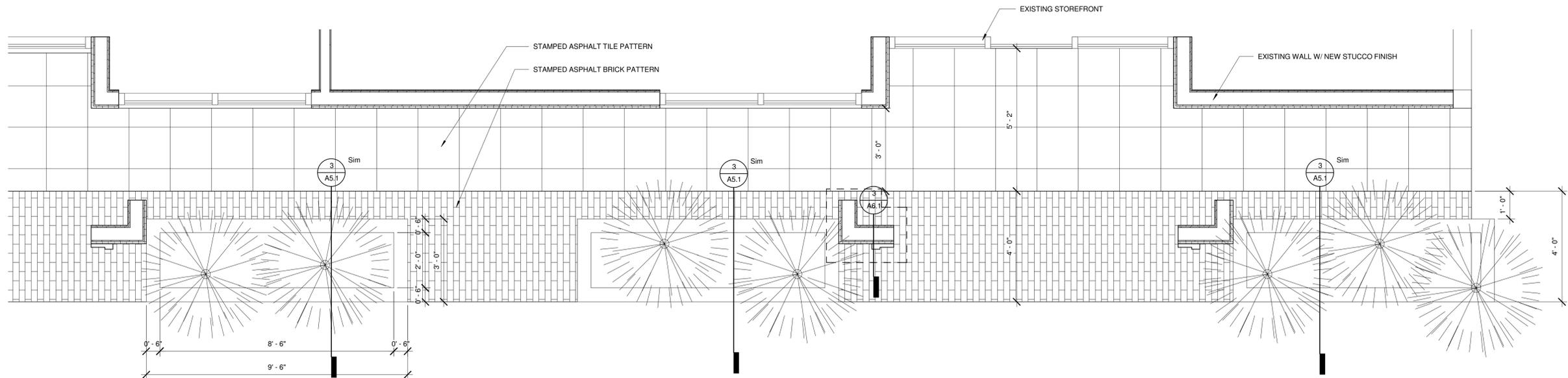
1 ENTRY DETAIL
A6.1 1/4" = 1'-0"



3 FOUNDATION DETAIL
A6.1 1 1/2" = 1'-0"



4 FOUNDATION PLAN
A6.1 1/2" = 1'-0"



2 ENTRY DETAIL PLAN
A6.1 1/2" = 1'-0"

REVISIONS

SHEET TITLE

**ENLARGED
ELEVATION AND
PLAN DETAILS**

COPYRIGHT & REPRODUCTION OF DRAWINGS

- This Drawing is the property of Wubben A&D P.C. and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned on request.
- Scales as stated herein are valid on the original drawings only and are hereby changed in proportion to the difference in size between the print and the original drawing.
- Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.



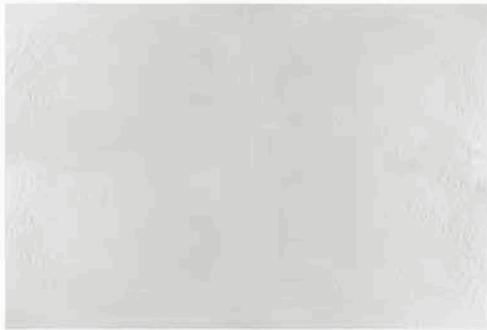
PROJECT NUMBER: 1141
DATE: 9-28-2011
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

SHEET NO.

A6.1

Southwood Park Retail Center Hilton Head Island, South Carolina

Proposed Materials



Stucco - Light Grey



Canvas Canopies - Forest Green



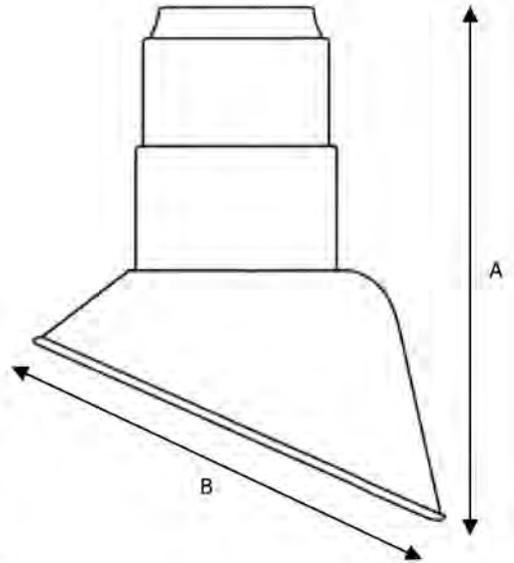
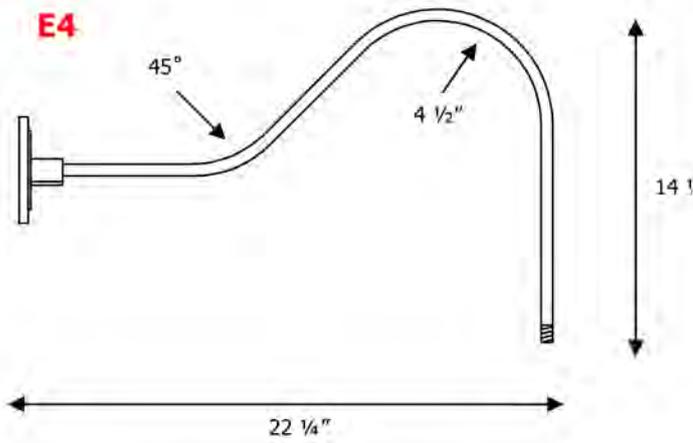
Burnt Sienna



Granite

Stamped Asphalt





MODEL#	A (Height in Inches)	B (Diameter in Inches)
A807	7 3/4	7

FINISH-Five stage pretreatment process, coated with a lead free TGI C polyester powder coat finish. White is standard inside reflectors, Except #49-Galvanized, #62-Arnodized Bronze and #63-Iron Rust, Unless specified. Custom colors and Marine are available upon request.

LAMP HOLDERS- Accommodates **Incandescent** medium base porcelain socket, copper shell with nicked plate, rated 250V, 660W. **Compact Fluorescent** 4 pin heat resistant thermoplastic socket accommodates 26/32W (Gx24q-3 base) and 42W (Gx24q-4 base). Twist lock design provides for vibration and earthquake resistance, rated 75W, 600V. **High Intensity Discharge (H.I.D.)** medium base, 4KV pulse start socket, rated 660W/600V.

MOUNTING- 1/2" or 3/4" tapped hub is supplied. Top or side mount available. Fixtures are pre-wired with 48" or 96" leads. Available with cord or stem sets.

REFLECTOR- Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .050 to .125. Galvanized is from 20 gauge sheets. Copper is spun from .040 gauge and 110 soft alloy.

MODEL#	FINISH	LIGHT SOURCE		
		INC	CF	HID (MH & HPS)
A807	40,41,42,43,44,45,46,48,	100W	26W*	35 OR 50W*

*FOR REMOTE BALLAST SEE MOUNTING SOURCE

GLASS OPTIONS

MOUNTING SOURCE: ARM EXTENSIONS

ACCESSORIES: GUARDS, WIRE GRILLS



DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: 2 Southwood Park Renovations
DATE: February 14, 2012

DRB#: DR110040

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN

Applicant has addressed color and materials issues identified by the Board and will provide samples at the meeting.

Tree mitigation in the form of American Hollies will do little to address the direction of the Board relative to the trees in the parking median, and should be substituted with what will become an overstory tree. Natural Resources has given the option of replacing with four (4) pines, or two (2) Cat. 1 or 2 trees (overstory species). Staff would recommend mitigating with Live Oaks at opposite ends of the island, to the extent possible, to provide a future canopy and ultimately frame views into the building without obstructing visibility.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 1-24-12
 Accepted by: DJH
 App. #: DR 120004
 Meeting Date: _____

Applicant/Agent Name: Greg Boste, Architect Company: Greg Boste, Architect
 Mailing Address: 1 Tillinghast Circle City: Bluffton State: SC Zip: 29910
 Telephone: 843 346 2324 Fax: 843 836 9985 E-mail: gregboste@gmail.com
 Project Name: HHC Practice Gym Addition Project Address: 55 Gardner Drive
 Parcel Number [PIN]: R 510 008 000 099A 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
(not required per Indigo Run General Manager Brad Phillips)
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

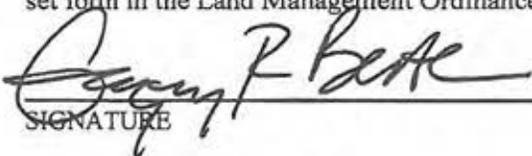
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island: I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

1.19.12
DATE

**AFFIDAVIT OF OWNERSHIP AND RESPONSIBILITIES
AND
HOLD HARMLESS PERMISSION TO ENTER PROPERTY**

The undersigned being duly sworn and upon oath states as follows:

1. I am the current owner of the property which is the subject of this application.
2. I hereby authorize Greg Beste, Architect to act as my agent for this application only, and the application is being submitted with my knowledge and consent.
3. All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
4. Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at 55 Gardner Drive (address), R 510 008 000 (parcel ID) for the purpose of application review and inspection, for the limited time necessary to complete that purpose.
5. Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.
6. I acknowledge that the Town of Hilton Head Island Municipal Code requires that all construction in a Special Flood Hazard Zone be constructed in accordance with the following provisions:
 - a. That any enclosed area below the base flood elevation will be used solely for parking of vehicles, limited storage or access to the building. This space will never be used for human habitation without first becoming fully compliant with the Town's Flood Damage Controls Ordinance in effect at the time of conversion.
 - b. That all interior walls, ceilings and floors below the base flood elevation will be constructed of flood resistant materials.
 - c. That all mechanical, electrical and plumbing devices will be installed above base flood elevation.
 - d. That walls of the enclosed area below base flood elevation will be equipped with at least two openings which allow automatic entry and exit of flood water. Openings will be on two different walls with at least one square inch of free area for every square foot of enclosed space and have the bottom of openings no more than a foot above grade.
 - e. That the structure may be subject to increased premium rates for flood insurance from the National Flood Insurance Program.
7. I understand that failure to abide by Town permits, any conditions, and all codes adopted by the Town of Hilton Head Island deems me subject to enforcement action and/or fines.

Print Name: <u>Chris Crowe</u>	Owner Signature: <u>Chris Crowe</u> on behalf of HICA Board
Phone Number: <u>843-681-2878</u>	E-mail: <u>ccrowe@hica.org</u>
Date: <u>1/17/12</u>	

The foregoing instrument was acknowledged before me by Chris Crowe, who is personally known to me and has produced _____ as identification and who did not take an oath.

WITNESS my hand and official seal this 17th day of Jan., A.D., 2012

Michelle R McShane My Commission expires: 7/13/12
Notary Public Signature Please affix seal or stamp.



Hilton Head Christian Academy Practice Gym / Classroom Replacement Building

The Hilton Head Christian Academy proposes an approximately 96 feet by 160 feet (15,360 square feet) pre-engineered building to be located on its campus east of the existing gym, south of the existing cafeteria and west of the football bleachers.

The building will contain a practice gym with no seating options. Approximately five to six feet of side perimeter space will occur on each side of the high school gymnasium floor. Synthetic multi-purpose flooring will be used. This space is replacing the existing outdoor basketball court.

A practice stage area will be located on one side of the practice gym. This is for the use by the drama department to have on-campus rehearsals for play and musical performances which are held off-campus in a rented venue.

Six classrooms will be located in the building, which are replacement classrooms with storage space. These six classrooms replace the existing modular classroom units located on the campus and which will be removed upon completion of the project (one will be retained for use as storage of athletic equipment or school furniture).

The classrooms include four traditional teaching rooms (one classroom is divisible for flexibility as a potential meeting space if needed) and two fine art classrooms which are larger than the current modular classroom spaces.

Restroom facilities and a teacher's lounge are also included.

The building is fire sprinkled and will have a metal roof with "ash gray" color. The walls will have metal siding panels with a "desert sand" color to complement the existing stucco color of the adjacent buildings. The windows will be dark bronze metal finish.

There will be minor re-grading and storm water drainage modifications to accommodate the new building along with new fire lines and fire hydrants installed.

Exterior lighting will be limited to wall mounted security lights at exterior doors and under the canopy on the west side of the building adjacent to the existing gymnasium.

A future plan to improve the "courtyard space between the north side of the new building, the south side of the existing cafeteria building and the east side of the existing gymnasium will be studied and it is anticipated that the design would possibly include a pervious paver courtyard with planters and seating areas. Any designs will be presented to the Town staff and brought to the DRB if required.

Greg Beste, AIA, NCARB

1 Tillinghast Circle

Bluffton, SC 29910

843-368-2326

gregbeste@gmail.com



Looking north along the east elevation of the existing gymnasium with the existing cafeteria beyond. Note the south end of the concrete slab basketball court will be the southernmost point of the new building. Wall colors to complement existing stucco finish with "Desert Sand" color.



Looking east across the existing basket court from the southernmost point of the new building. Existing bleachers and pressbox are to the east of the proposed building. Note top row of bleachers are approximately 23 feet above existing grade (3 feet below proposed top of ridge of 26 feet)



Looking south from the edge of the existing cafeteria at the proposed building location. The existing fence to be removed. Note existing heavy buffer along the south residential area.



Looking at the northwest corner of the proposed building. Note the large oak tree (yellow arrow) will remain while the smaller oak tree (red arrow) will be removed (Transplanted if possible)



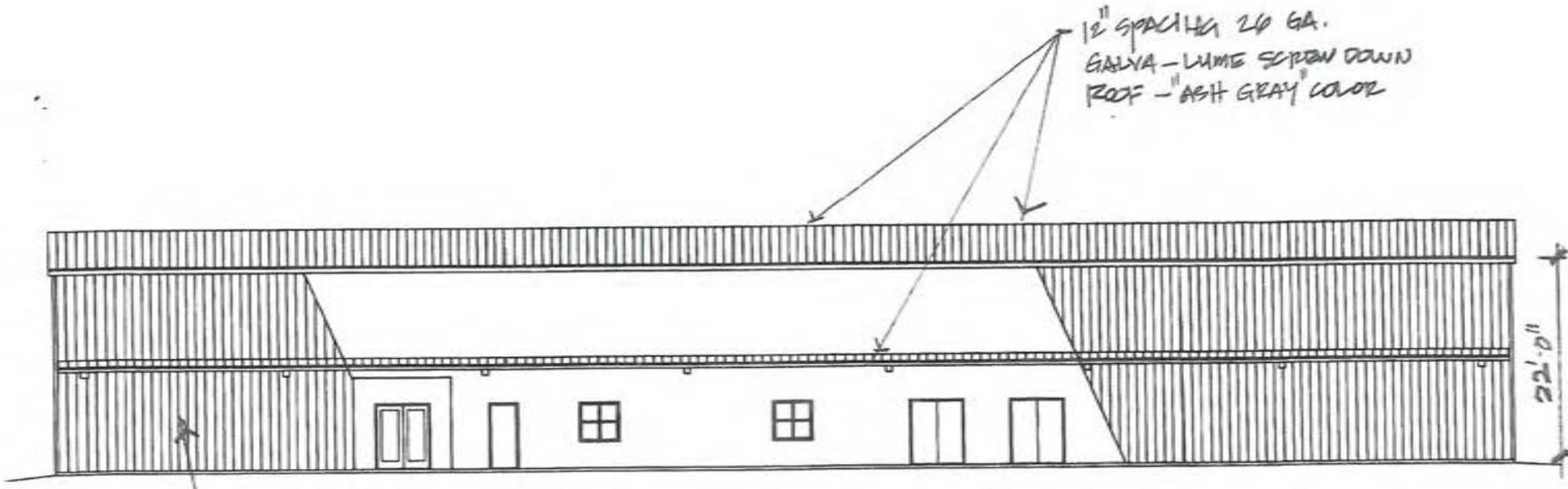
Aerial looking east at the school property. Rectangle show approximate location of proposed building.



Overall aerial photograp of neighborhood, looking south.

Greg Beste, AIA, NCARB
1 Tillinghast Circle
Bluffton, SC 29910
843-368-2326
gregbeste@gmail.com

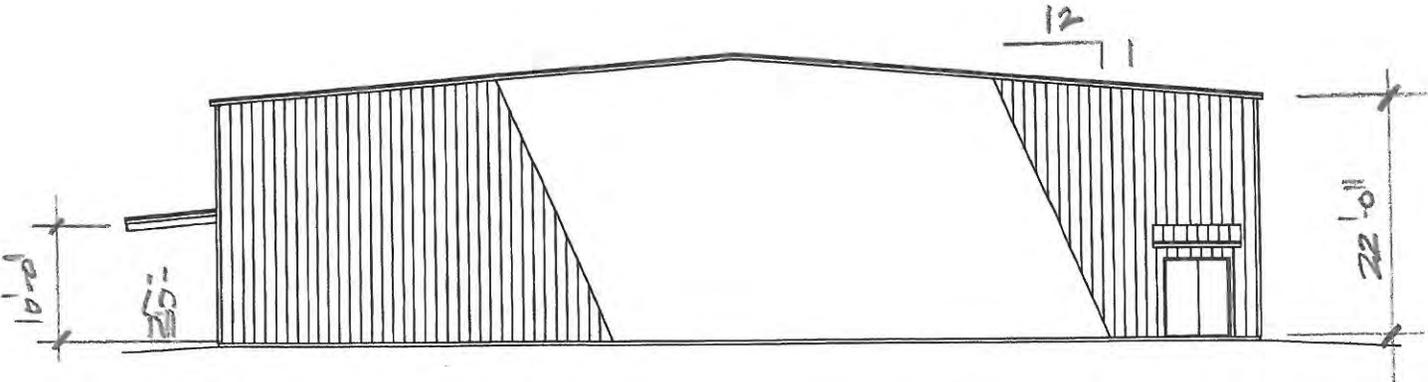
1/2" SPACING 24 GA.
GALVA - LIME SCREEN DOWN
ROOF - "ASH GRAY" COLOR



1/2" SPACING 24 GA.
GALVA - LIME WALL
PANELS - "DESERT SAND" COLOR

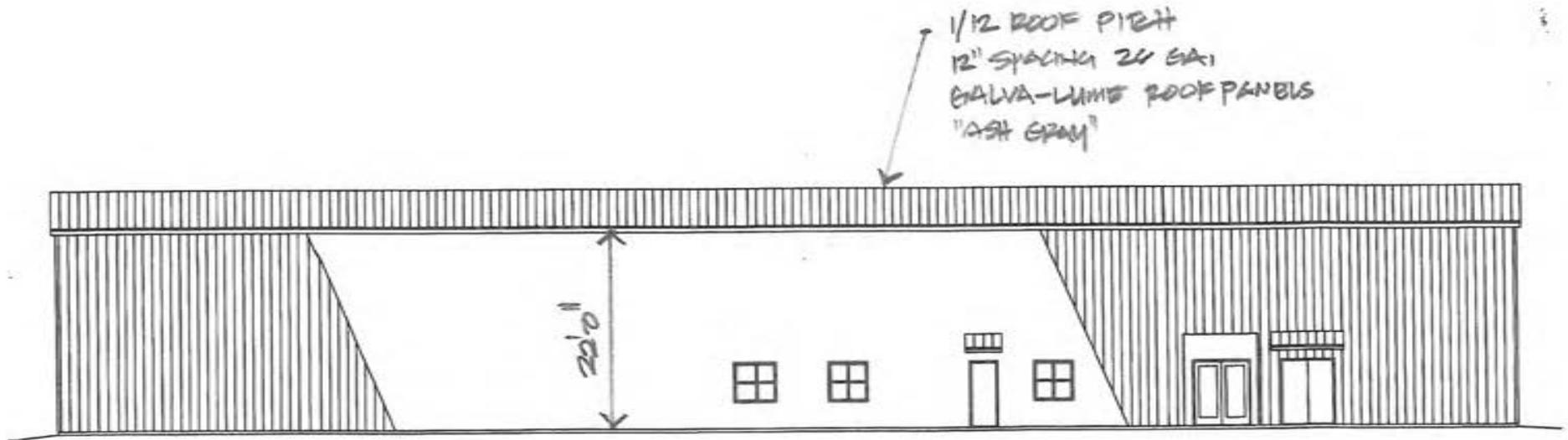
WEST ELEVATION
1/16" @ 8'2" x 11' PLOT

Greg Beste, AIA, NCARB
1 Tillinghast Circle
Bluffton, SC 29910
843-368-2326
gregbeste@gmail.com



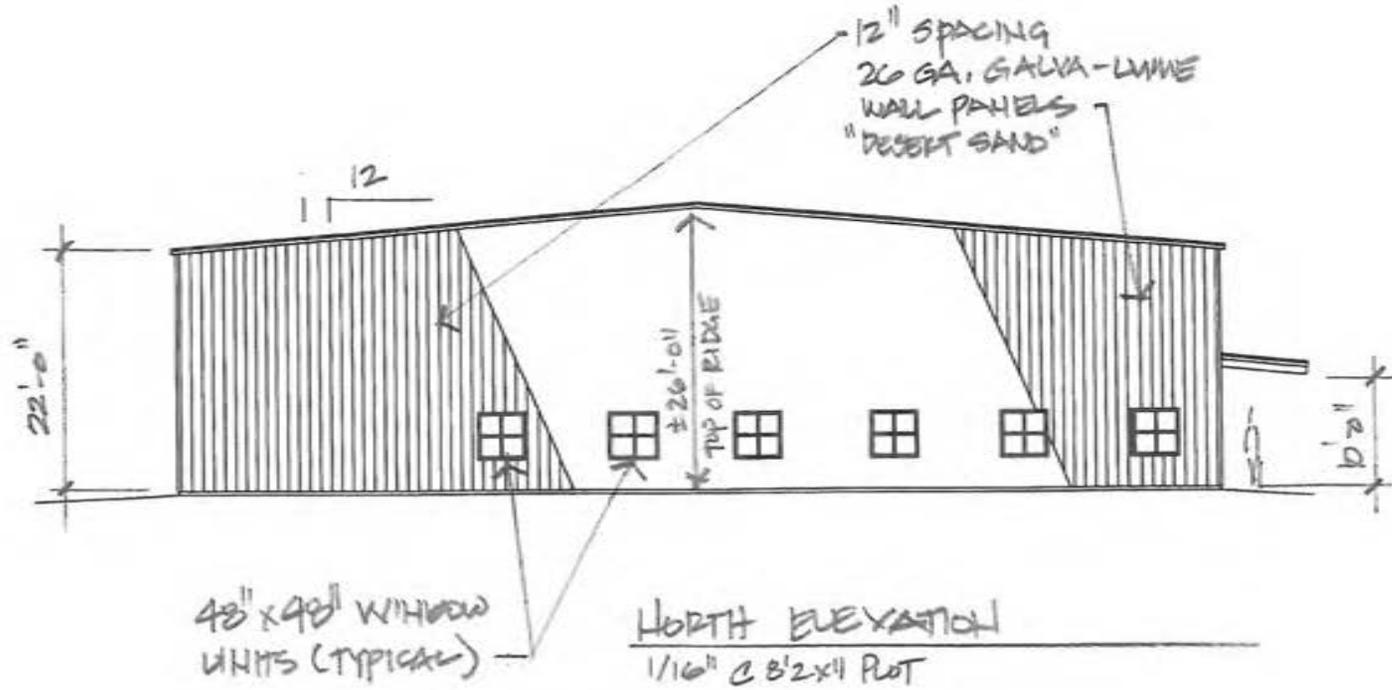
SOUTH ELEVATION
1/16" @ 8'2" x 11' PLOT

Greg Beste, AIA, NCARB
1 Tillinghast Circle
Bluffton, SC 29910
843-368-2326
gregbeste@gmail.com



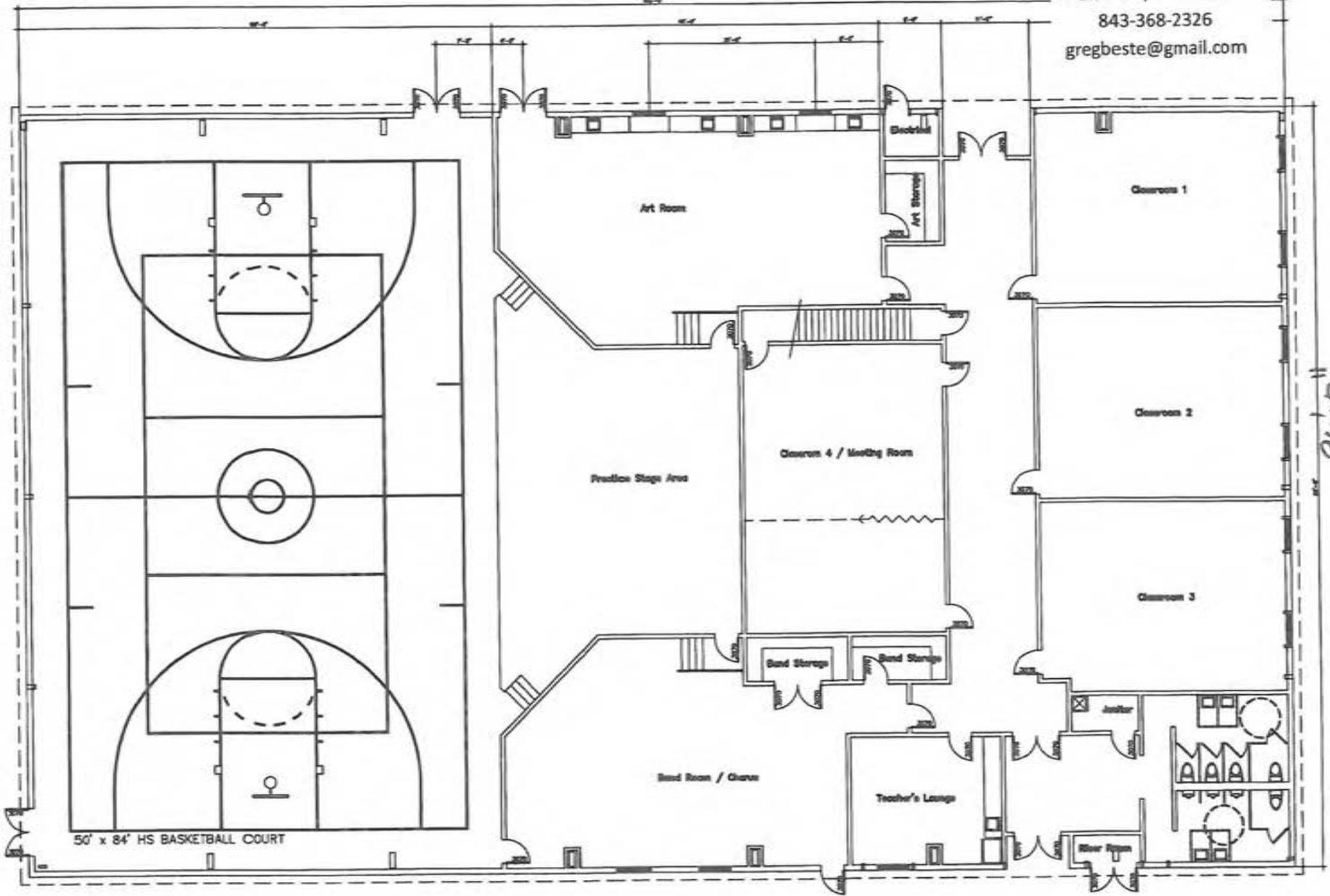
EAST ELEVATION
1/10' @ 8'2x11' PLOT

Greg Beste, AIA, NCARB
1 Tillinghast Circle
Bluffton, SC 29910
843-368-2326
gregbeste@gmail.com



Greg Beste, AIA, NCARB
1 Tillinghast Circle
Bluffton, SC 29910
843-368-2326
gregbeste@gmail.com

160'-0"



50' x 84' HS BASKETBALL COURT

Art Room

Practice Stage Area

Classroom 4 / Meeting Room

Classroom 1

Classroom 2

Classroom 3

Band Room / Clinic

Teacher's Lounge

96'-0"

→ NORTH

FLOOR PLAN

1/4" = 8'-0" PLOT

COMMERCIAL/INDUSTRIAL COLOR CHART

COOL ROOF COLORS

SIGNATURE® 200 Standard Colors

SILICONIZED
POLYESTER

Polar White is a Straight Polyester.

26-GAUGE MATERIAL

- Final color selection should be made from actual color chips.
- For the most current information available, visit our website at www.mbc.com.
- See product selection chart for gauge and color availability.
- All products available in smooth or embossed finish.
- Trim available in all colors.
- A 25-year limited paint warranty available for all colors upon written request, please inquire. (Outside the continental United States, please inquire.)
- Signature® is a registered trademark of NCI Group, Inc. KYNAR 500® is a registered trademark of Arkema, Inc. HYLAR 5000® is a registered trademark of Solvay Solids.
- Also available in 29-gauge



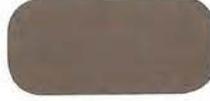
HAWAIIAN BLUE*



CRIMSON RED*



FERN GREEN*



BURNISHED SLATE*
SR.28 SRI 29



ASH GRAY*
SR.48 SRI 56



SADDLE TAN*
SR.48 SRI 56



DESERT SAND*
SR.42 SRI 48



KOKO BROWN*
SR.28 SRI 30



CHARCOAL GRAY*
SR.28 SRI 30



POLAR WHITE*
SR.58 SRI 69



RUSTIC RED*
SR.36 SRI 40



LIGHT STONE*
SR.50 SRI 58



GALLERY BLUE*
SR.28 SRI 30

Walls

Roof

SIGNATURE® 300 Standard Colors

KYNAR 500®
HYLAR 5000®
LOW GLOSS

26-GAUGE MATERIAL
PBR, PBU, PBA, PBC, PBD Panels only

- Also available in 24-gauge



MEDIUM BRONZE*
SR.33 SRI 36



SNOW WHITE*
SR.65 SRI 79



SLATE GRAY*
SR.37 SRI 41



ALMOND*
SR.63 SRI 76



CLASSIC GREEN*
SR.28 SRI 30



BROWNSTONE*
SR.47 SRI 54



BRITE RED
SR.49 SRI 55



HARBOR BLUE*
SR.28 SRI 30

★ ENERGY STAR
Qualified Color



Houston, TX 877-713-6224
Adel, GA 888-446-6224
Atlanta, GA 877-512-6224
Atwater, CA 800-829-9324

Dallas, TX 800-653-6224
Indianapolis, IN 800-735-6224
Jackson, MS 800-622-4136
Lubbock, TX 800-758-6224

Memphis, TN 800-206-6224
Oklahoma City, OK 800-597-6224
Omaha, NE 800-458-6224
Phoenix, AZ 888-533-6224

Richmond, VA 800-729-6224
Rome, NY 800-559-6224
Salt Lake City, UT 800-874-2404
San Antonio, TX 800-598-6224

For complete performance specifications, product limitations and disclaimers, please consult MBCI's Paint and Galvalume Plus® warranties. Upon receipt of payment in full, these warranties are available upon request for all painted or Galvalume Plus®, prime products. Sample copies can be found at www.mbc.com or contact your local MBCI Sales Representative.

Metal Roofing Panel (MBCI Metal Roof and Wall Systems)



ASH GRAY*
SR.48 SRI.56

Metal Wall Panel (MBCI Metal Roof and Wall Systems)



DESERT SAND*
SR.42 SRI.48

Profile	Part	29 GAUGE		26 GAUGE		24 GAUGE		22 GAUGE	
		SR.28	SR.29	SR.26	SR.27	SR.24	SR.25	SR.22	SR.23
 PGR PANEL	PGR	●	■	●	■	●	■	●	■
 PBU PANEL	PBU	●	■	●	■	●	■	●	■
 PBC PANEL	PBC	●	■	●	■	●	■	●	■
 PBD PANEL	PBD	●	■	●	■	●	■	●	■
 7.2 PANEL	7.2	●	■	●	■	●	■	●	■
 FBA PANEL	FBA	●	■	●	■	●	■	●	■

● Available in any quantity ■ May require minimum quantity

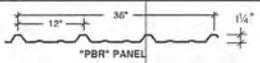
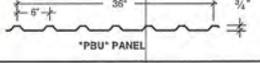
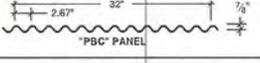
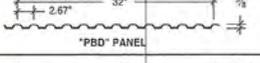
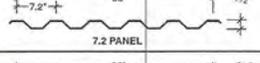
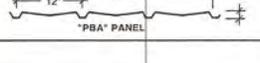
Metal Window Frames



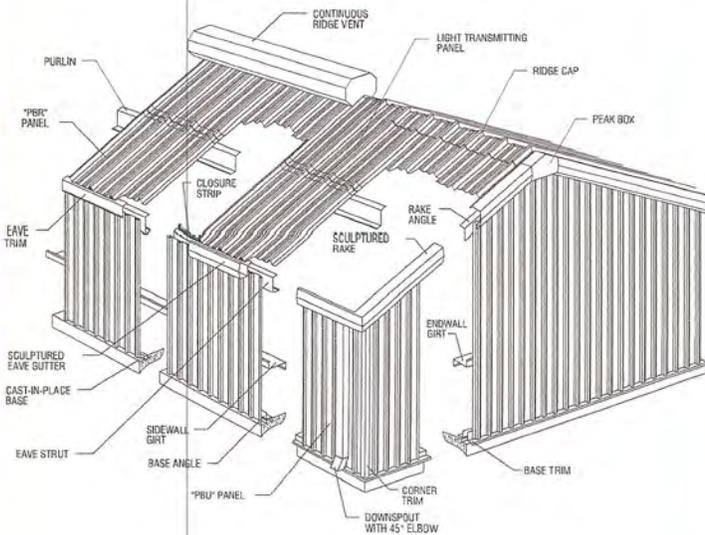
MEDIUM BRONZE*
SR.33 SRI.36

COMMERCIAL/INDUSTRIAL PANEL PROFILES

Walls

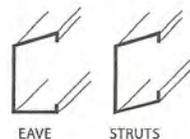
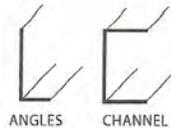
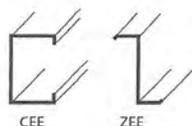
Profile	29 GAUGE		26 GAUGE		24 GAUGE		22 GAUGE		
	Panel	Galvalume Plus®	Sig 200	Galvalume Plus®	Sig 200	Galvalume Plus®	Sig 200	Galvalume Plus®	Sig 200
 *PBR* PANEL 12" x 36" x 1 1/4"	PBR	●	■	●	■	●	■	●	■
 *PBU* PANEL 6" x 36" x 3/4"	PBU	●	■	●	■	●	■	●	■
 *PBC* PANEL 2.67" x 32" x 7/8"	PBC	●	■	●	■	●	■	●	■
 *PBD* PANEL 2.67" x 32" x 5/8"	PBD	●	■	●	■	●	■	●	■
 7.2 PANEL 7.2" x 36" x 1 1/2"	7.2	●	■	●	■	●	■	●	■
 *PBA* PANEL 12" x 36" x 1 1/4"	PBA	●	■	●	■	●	■	●	■

● Available in any quantity ■ May require minimum quantity



AVAILABLE ACCESSORIES

- Hat and Channel Sections
- Light Transmitting Panels
- Vent
- Roof Jacks
- Fasteners
- Ridge Caps
- Closures
- Doors
- Windows
- Sealants
- Insulation
- Bracing
- Bolts
- Louvers
- Sliding Door Hardware



What is Solar Reflectivity (SR)?

Solar reflectivity or reflectance (SR) is the ability of a material to reflect solar energy from its surface back into the atmosphere. The SR value is a number from 0 to 1.0. A value of 0 indicates that the material absorbs all solar energy and a value of 1.0 indicates it is all reflected. ENERGY STAR requires SR testing of both new and aged roof products. New products must have an SR value of 0.25 or higher for steep slope (above 2:12) roofing and an SR value of 0.65 or higher for low slope (2:12 or less) roofing. Aged testing takes 3 years to complete, so not all products that meet the initial requirements are qualified. For more information, please go to www.energystar.gov.

What is Solar Reflectance Index (SRI)?

The SRI is used to determine compliance with LEED requirements and is calculated according to ASTM E 1980 using values for reflectance and emissivity. Emissivity is a material's ability to release absorbed energy. To meet LEED requirements, a roofing material must have an SRI of 29 or higher for steep slope (above 2:12) roofing and an SRI value of 78 or higher for low slope (2:12 or less) roofing. For more information, please go to www.usgbc.org.

SIGNATURE® 200 - SILICONIZED POLYESTER

	SR #	SRI #
HAWAIIAN BLUE	.32	35
CRIMSON RED	.33	34
FERN GREEN	.28	29
BURNISHED SLATE	.28	29
KOKO BROWN	.28	30
CHARCOAL GRAY	.28	30
ASH GRAY	.48	56
SADDLE TAN	.48	56
DESERT SAND	.42	48
POLAR WHITE	.58	69
RUSTIC RED	.36	40
LIGHT STONE	.50	58
GALLERY BLUE	.28	30

SIGNATURE® 300 - KYNAR 500®/HYLAR 5000®

	SR #	SRI #
MEDIUM BRONZE	.33	36
SNOW WHITE	.65	79
SLATE GRAY	.37	41
ALMOND	.63	76
CLASSIC GREEN	.28	30
BROWNSTONE	.47	54
BRITE RED	.49	55
HARBOR BLUE	.28	30



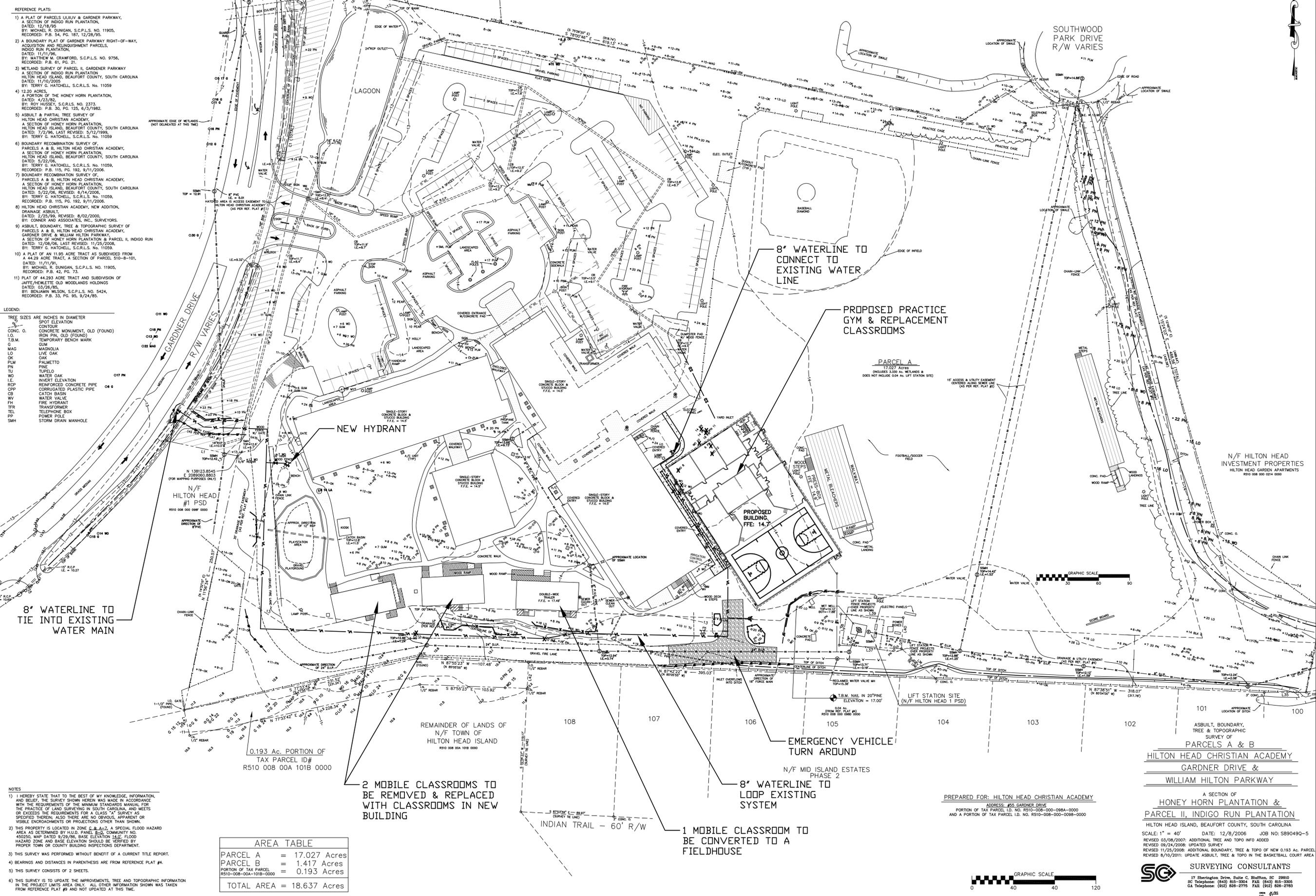
LINE	LENGTH	BEARING
L41	25.00'	N 12°26'18" W
L42	25.00'	N 02°36'37" W

- REFERENCE PLATS:
- 1) A PLAT OF PARCELS LULUV & GARDNER PARKWAY, A SECTION OF INDIGO RUN PLANTATION, DATED: 12/18/95, BY: MICHAEL R. DUNGAN, S.C.P.L.S. NO. 11905, RECORDED: P.B. 24, PG. 197, 12/29/95.
 - 2) A BOUNDARY PLAT OF GARDNER PARKWAY RIGHT-OF-WAY, ACQUISITION AND REQUISITION PARCELS, INDIGO RUN PLANTATION, DATED: 11/11/96, BY: MATTHEW M. CRAWFORD, S.C.P.L.S. NO. 9756, RECORDED: P.B. 61, PG. 21.
 - 3) WETLAND SURVEY OF PARCELS L & GARDNER PARKWAY, A SECTION OF INDIGO RUN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 11/17/2005, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
 - 4) 12.20 ACRES, A PORTION OF THE HONEY HORN PLANTATION, DATED: 4/23/82, BY: ROY HUSSEY, S.C.R.L.S. NO. 2373, RECORDED: P.B. 30, PG. 125, 6/3/1982.
 - 5) ASBUILT & PARTIAL TREE SURVEY OF HILTON HEAD CHRISTIAN ACADEMY, A SECTION OF HONEY HORN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 7/2/96, LAST REVISED: 5/12/1999, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 10559.
 - 6) BOUNDARY RECOMBINATION SURVEY OF PARCELS A & B, HILTON HEAD CHRISTIAN ACADEMY, A SECTION OF HONEY HORN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 5/22/06, REVIS: 6/14/2006, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059, RECORDED: P.B. 115, PG. 192, 9/1/2006.
 - 7) BOUNDARY RECOMBINATION SURVEY OF PARCELS A & B, HILTON HEAD CHRISTIAN ACADEMY, A SECTION OF HONEY HORN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 5/22/06, REVIS: 6/14/2006, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059, RECORDED: P.B. 115, PG. 192, 9/1/2006.
 - 8) HILTON HEAD CHRISTIAN ACADEMY, NEW ADDITION, DRAINAGE ASBUILT, DATED: 2/25/99, REVIS: 8/02/2000, BY: CONNER AND ASSOCIATES, INC., SURVEYORS.
 - 9) ASBUILT, BOUNDARY, TREE & TOPOGRAPHIC SURVEY OF PARCELS A & B, HILTON HEAD CHRISTIAN ACADEMY, GARDNER DRIVE & WILLIAM HILTON PARKWAY, A SECTION OF HONEY HORN PLANTATION & PARCEL II, INDIGO RUN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 12/08/06, LAST REVISED: 11/25/2008, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
 - 10) A PLAT OF AN 11.95 ACRE TRACT AS SUBDIVIDED FROM A 44.29 ACRE TRACT, A SECTION OF PARCEL 510-B-101, DATED: 11/11/91, BY: MICHAEL R. DUNGAN, S.C.P.L.S. NO. 11905, RECORDED: P.B. 42, PG. 73.
 - 11) PLAT OF 44.293 ACRE TRACT AND SUBDIVISION OF JAFFE/HEWLETTE OLD WOODLANDS HOLDINGS, DATED: 03/28/85, BY: BENJAMIN WILSON, S.C.P.L.S. NO. 5424, RECORDED: P.B. 33, PG. 95, 9/24/85.

- LEGEND:
- ∅ TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - I.O. IRON PIN, OLD (FOUND)
 - T.S.M. TEMPORARY BENCH MARK
 - G. GUM
 - MAD. LIVE OAK
 - LO. PALMETTO
 - PLM. PINE
 - TU. TURPINE
 - WO. WATER OAK
 - LE. INVERT ELEVATION
 - RENFORCED CONCRETE PIPE
 - CORRUGATED PLASTIC PIPE
 - CB. CATCH BASIN
 - WV. WATER VALVE
 - FH. FIRE HYDRANT
 - TFR. TRANSFORMER
 - TEL. TELEPHONE BOX
 - PP. POWER POLE
 - SMH. STORM DRAIN MANHOLE

- NOTES:
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - 2) THIS PROPERTY IS LOCATED IN ZONE C & A-2, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL E-2, COMMUNITY NO. 450250, MAP DATED 9/29/76, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - 3) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE REPORT.
 - 4) BEARINGS AND DISTANCES IN PARENTHESES ARE FROM REFERENCE PLAT #4.
 - 5) THIS SURVEY CONSISTS OF 2 SHEETS.
 - 6) THIS SURVEY IS TO UPDATE THE IMPROVEMENTS, TREE AND TOPOGRAPHIC INFORMATION IN THE PROJECT LIMITS AREA ONLY. ALL OTHER INFORMATION SHOWN WAS TAKEN FROM REFERENCE PLAT #9 AND NOT UPDATED AT THIS TIME.

AREA TABLE	
PARCEL A	= 17.027 Acres
PARCEL B	= 1.417 Acres
PORTION OF TAX PARCEL R510-008-00A-101B-0000	= 0.193 Acres
TOTAL AREA	= 18.637 Acres



0.193 Ac. PORTION OF TAX PARCEL ID# R510 008 00A 101B 0000

2 MOBILE CLASSROOMS TO BE REMOVED & REPLACED WITH CLASSROOMS IN NEW BUILDING

1 MOBILE CLASSROOM TO BE CONVERTED TO A FIELDHOUSE

EMERGENCY VEHICLE TURN AROUND

8" WATERLINE TO LOOP EXISTING SYSTEM

PROPOSED PRACTICE GYM & REPLACEMENT CLASSROOMS

8" WATERLINE TO CONNECT TO EXISTING WATER LINE

8" WATERLINE TO TIE INTO EXISTING WATER MAIN

PREPARED FOR: HILTON HEAD CHRISTIAN ACADEMY
ADDRESS: #55 GARDNER DRIVE
AND A PORTION OF TAX PARCEL I.D. NO. R510-008-000-008A-0000
AND A PORTION OF TAX PARCEL I.D. NO. R510-010-000-009B-0000



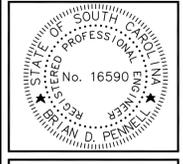
17 Sherrington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3504 FAX: (843) 815-3505
GA Telephone: (912) 828-2775 FAX: (912) 828-2785

KEY ENGINEERING, Inc.
P.O. BOX 2569
BLUFFTON, SOUTH CAROLINA 29910
PH (843) 227-3031 / FAX (843) 757-9031

REGISTERED PROFESSIONAL ENGINEER
No. 00875
SOUTH CAROLINA

NO.	REVISIONS	DATE	BY

HILTON HEAD CHRISTIAN ACADEMY
TOWN OF HILTON HEAD, SOUTH CAROLINA
PREPARED FOR HILTON HEAD CHRISTIAN ACADEMY
PRACTICE GYM & CLASSROOM REPLACEMENT



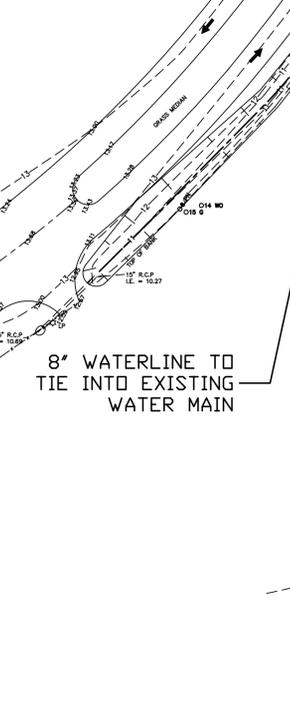
DESIGNED BY: BDP
DRAWN BY: BDP
DATE: 10/13/11
SCALE: 1" = 40'
PROJECT NO: 06112

DRB1

LINE	LENGTH	BEARING
L41	25.00'	N 12°26'18" W
L42	25.00'	N 02°36'37" W

- REFERENCE PLATS:
- 1) A PLAT OF PARCELS LILJUV & GARDNER PARKWAY, A SECTION OF INDIGO RUN PLANTATION, DATED: 12/18/95, BY: MICHAEL R. DUNGAN, S.C.P.L.S. NO. 11905, RECORDED: P.B. 24, PG. 197, 12/29/95.
 - 2) A BOUNDARY PLAT OF GARDNER PARKWAY RIGHT-OF-WAY, ACQUISITION AND REINDEVELOPMENT PARCELS, INDIGO RUN PLANTATION, DATED: 11/11/96, BY: MATTHEW M. CRAWFORD, S.C.P.L.S. NO. 9756, RECORDED: P.B. 61, PG. 21.
 - 3) WETLAND SURVEY OF PARCELS I, GARDNER PARKWAY A SECTION OF INDIGO RUN PLANTATION HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA DATED: 11/10/2006, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
 - 4) 12.20 ACRES, A PORTION OF THE HONEY HORN PLANTATION, DATED: 4/23/82, BY: ROY HUSSEY, S.C.R.L.S. NO. 2373, RECORDED: P.B. 30, PG. 125, 6/3/1982.
 - 5) ASBUILT & PARTIAL TREE SURVEY OF HILTON HEAD CHRISTIAN ACADEMY, A SECTION OF HONEY HORN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA DATED: 7/2/96, LAST REVISED: 9/12/1999, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 10559.
 - 6) BOUNDARY RECOMBINATION SURVEY OF PARCELS A & B, HILTON HEAD CHRISTIAN ACADEMY, A SECTION OF HONEY HORN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA DATED: 5/22/06, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059, RECORDED: P.B. 115, PG. 192, 9/1/2006.
 - 7) BOUNDARY RECOMBINATION SURVEY OF PARCELS A & B, HILTON HEAD CHRISTIAN ACADEMY, A SECTION OF HONEY HORN PLANTATION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA DATED: 5/22/06, REVISED: 6/14/2006, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059, RECORDED: P.B. 115, PG. 192, 9/1/2006.
 - 8) HILTON HEAD CHRISTIAN ACADEMY, NEW ADDITION, DRAINAGE ASBUILT, DATED: 2/25/99, REVISED: 9/02/2000, BY: CONNER AND ASSOCIATES, INC., SURVEYORS.
 - 9) ASBUILT, BOUNDARY, TREE & TOPOGRAPHIC SURVEY OF PARCELS A & B, HILTON HEAD CHRISTIAN ACADEMY, GARDNER DRIVE & WILLIAM HILTON PARKWAY, A SECTION OF HONEY HORN PLANTATION & PARCEL II, INDIGO RUN, DATED: 12/08/06, LAST REVISED: 11/25/2008, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
 - 10) A PLAT OF AN 11.95 ACRE TRACT AS SUBDIVIDED FROM A 44.29 ACRE TRACT, A SECTION OF PARCEL 510-B-101, DATED: 11/11/91, BY: MICHAEL R. DUNGAN, S.C.P.L.S. NO. 11905, RECORDED: P.B. 42, PG. 73.
 - 11) PLAT OF 44.293 ACRE TRACT AND SUBDIVISION OF JAFFE/HEWLETTE OLD WOODLANDS HOLDINGS DATED: 03/28/85, BY: BENJAMIN WILSON, S.C.P.L.S. NO. 5424, RECORDED: P.B. 33, PG. 95, 9/24/85.

- LEGEND:
- TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONC. C. CONCRETE MONUMENT, OLD (FOUND)
 - I.O. IRON PIN, OLD (FOUND)
 - T.S.M. TEMPORARY BENCH MARK
 - G. GUM
 - M.O. MAGNOLIA
 - L.O. LIVE OAK
 - P.M. PALMETTO
 - P. PINE
 - T.U. TURPINE
 - W.O. WATER OAK
 - I.E. INVERT ELEVATION
 - R.C.P. REINFORCED CONCRETE PIPE
 - C.P.P. CORRUGATED PLASTIC PIPE
 - C.B. CATCH BASIN
 - W.V. WATER VALVE
 - F.H. FIRE HYDRANT
 - T.F. TRANSFORMER
 - T.B. TELEPHONE BOX
 - P.P. POWER POLE
 - S.M. STORM DRAIN MANHOLE



- NOTES:
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - 2) THIS PROPERTY IS LOCATED IN ZONE C & A-2, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL E-2, COMMUNITY NO. 450250, MAP DATED 9/29/76, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - 3) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE REPORT.
 - 4) BEARINGS AND DISTANCES IN PARENTHESES ARE FROM REFERENCE PLAT #4.
 - 5) THIS SURVEY CONSISTS OF 2 SHEETS.
 - 6) THIS SURVEY IS TO UPDATE THE IMPROVEMENTS, TREE AND TOPOGRAPHIC INFORMATION IN THE PROJECT LIMITS AREA ONLY. ALL OTHER INFORMATION SHOWN WAS TAKEN FROM REFERENCE PLAT #9 AND NOT UPDATED AT THIS TIME.

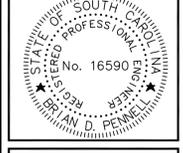
AREA TABLE	
PARCEL A	= 17.027 Acres
PARCEL B	= 1.417 Acres
PORTION OF TAX PARCEL R510-008-00A-101B-0000	= 0.193 Acres
TOTAL AREA	= 18.637 Acres

KEY ENGINEERING, Inc.
 P.O. BOX 2569
 BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 227-3031 / FAX (843) 757-9031

REGISTERED PROFESSIONAL ENGINEER
 STATE OF SOUTH CAROLINA
 No. 60875

NO.	REVISIONS	DATE	BY

HILTON HEAD CHRISTIAN ACADEMY
 TOWN OF HILTON HEAD, SOUTH CAROLINA
 PREPARED FOR HILTON HEAD CHRISTIAN ACADEMY
PRACTICE GYM & CLASSROOM REPLACEMENT



DESIGNED BY: BDP
 DRAWN BY: BDP
 DATE: 10/13/11
 SCALE: 1" = 40'
 PROJECT NO.: 06112

DRB1

PREPARED FOR: HILTON HEAD CHRISTIAN ACADEMY
 ADDRESS: #25 GARDNER DRIVE
 PORTION OF TAX PARCEL I.D. NO. R510-008-000-008A-0000
 AND A PORTION OF TAX PARCEL I.D. NO. R510-008-000-009B-0000

PARCELS A & B
HILTON HEAD CHRISTIAN ACADEMY
 GARDNER DRIVE &
 WILLIAM HILTON PARKWAY

A SECTION OF
HONEY HORN PLANTATION & PARCEL II, INDIGO RUN PLANTATION
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 40' DATE: 12/8/2006 JOB NO: 5890490-5
 REVISED 03/08/2007: ADDITIONAL TREE AND TOPO INFO ADDED
 REVISED 09/24/2008: UPDATED SURVEY
 REVISED 11/25/2008: ADDITIONAL BOUNDARY, TREE & TOPO OF NEW 0.193 AC. PARCEL
 REVISED 8/10/2011: UPDATE ASBUILT, TREE & TOPO IN THE BASKETBALL COURT AREA

SG SURVEYING CONSULTANTS
 17 Sherrington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 815-3304 FAX: (843) 815-3305
 GA Telephone: (912) 828-2775 FAX: (912) 828-2785



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HH Christian Academy Practice Gym/ Classroom

DRB#: DR120004

DATE: 2-14-2012

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN- SEE GENERAL COMMENTNS BELOW

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

Natural Resources has reviewed and approved the proposed tree removal and mitigation plan. All replacement trees will be field located and approved by Town Staff

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Project removes two modular classrooms and develops a new practice gym/ stage/ classroom building on the site of existing outdoor basketball court. Were the review solely in the context of “does the enormous new metal building do all it can to integrate into the existing campus”, then this would be an approvable project. Replacement or modular classrooms are not without precedent on the island, but are generally temporary in nature. The scope of this project, however, carries a sense of permanence, and will also serve as a precedent. The location is fairly invisible, but does interface with the residential neighborhood to the rear. Even the remote metal warehouse at the redeveloped Palmetto Electric campus was made to enhance the design of the metal building, and that does and will receive much less exposure than this proposed structure. Fraser Fieldhouse at HH Prep is a comparable project with a good deal of

architectural integrity commensurate with its visibility and use.

While the development of the building is approvable, and its site location is very effective, an improvement of this size and nature should probably be more in line with the Design Guide than the review above would indicate, and reflect a higher level of design

Any landscape material on the elevations facing the residential neighborhood should receive larger broadleaf evergreen material upon installation



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 1/31/12
 Accepted by: WH
 App. #: DR 120005
 Meeting Date: _____

Applicant/Agent Name: DALE JOHNSON Company: THE JOHNSON PARTNERSHIP
 Mailing Address: 32 OFFICE PARK RD. #104 City: H.H.I. State: SC Zip: 29928
 Telephone: 785-4666 Fax: _____ E-mail: drjarchitect@aol.com
 Project Name: FRANKIE BONES AWNING Project Address: 1301 MAIN STREET
 Parcel Number [PIN]: R _____
 Zoning District: PD1 Overlay District(s): CORRIDOR

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

NARRATIVE IN SUPPORT OF REPLACING EXISTING AWNING

FRANKIE BONES RESTAURANT

Applicant desires to remove the existing awning at the side entrance to Frankie Bones and replace it with a larger version that will allow sheltered seating. The new awning will be of the same material and color as the existing.



STEAKS, CHOPS, SEAFOOD & WISEGUYS

PAMIR

PAMIR





MAIN STREET REALTY

DEVELOPMENT • BROKERAGE • PROPERTY MANAGEMENT

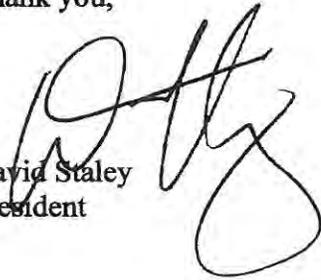
January 31, 2012

To Whom It May Concern:

The Main Street Village Association approves the installation of an awning at Frankie Bone Restaurant located at 1301 Main Street. Please feel free to contact me if you have any additional questions or concerns.

Thank you,

David Staley
President

A handwritten signature in black ink, appearing to read 'D. Staley', written over the printed name and title.

200 Main Street, Suite 201 • Hilton Head Island, SC 29926

843-681-5500 • Fax 843-681-5583 • E-Mail msreal@hargray.com

REVIEWED BY

THIS DRAWING IS THE PROPERTY OF CFB, INC. AND MUST BE KEPT IN CONFIDENCE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.

CONCEPTUAL SITE PLAN

DATE: 10/14/2011
JOB NUMBER: 10159

DESIGNED BY: CWB
COASTAL CANVAS PRODUCTS CO., INC.
73 ROSS ROAD, P.O. BOX 22834, SAVANNAH, GA 31403
TEL: 912-336-3216 FAX: 912-332-7864 WWW.COASTALCANVAS.COM

A NEW AWNING FOR

FRANKIE BONE'S

1301 MAIN ST
HILTON HEAD ISLAND, SC 29926

HILTON HEAD, SC
OCTOBER 2011

SCALE

1/4" = 1'-0"

REVISION	DATE	REASON
1	10/14/2011	DESIGN
2	10/28/2011	FOOTING

SHEET NO.

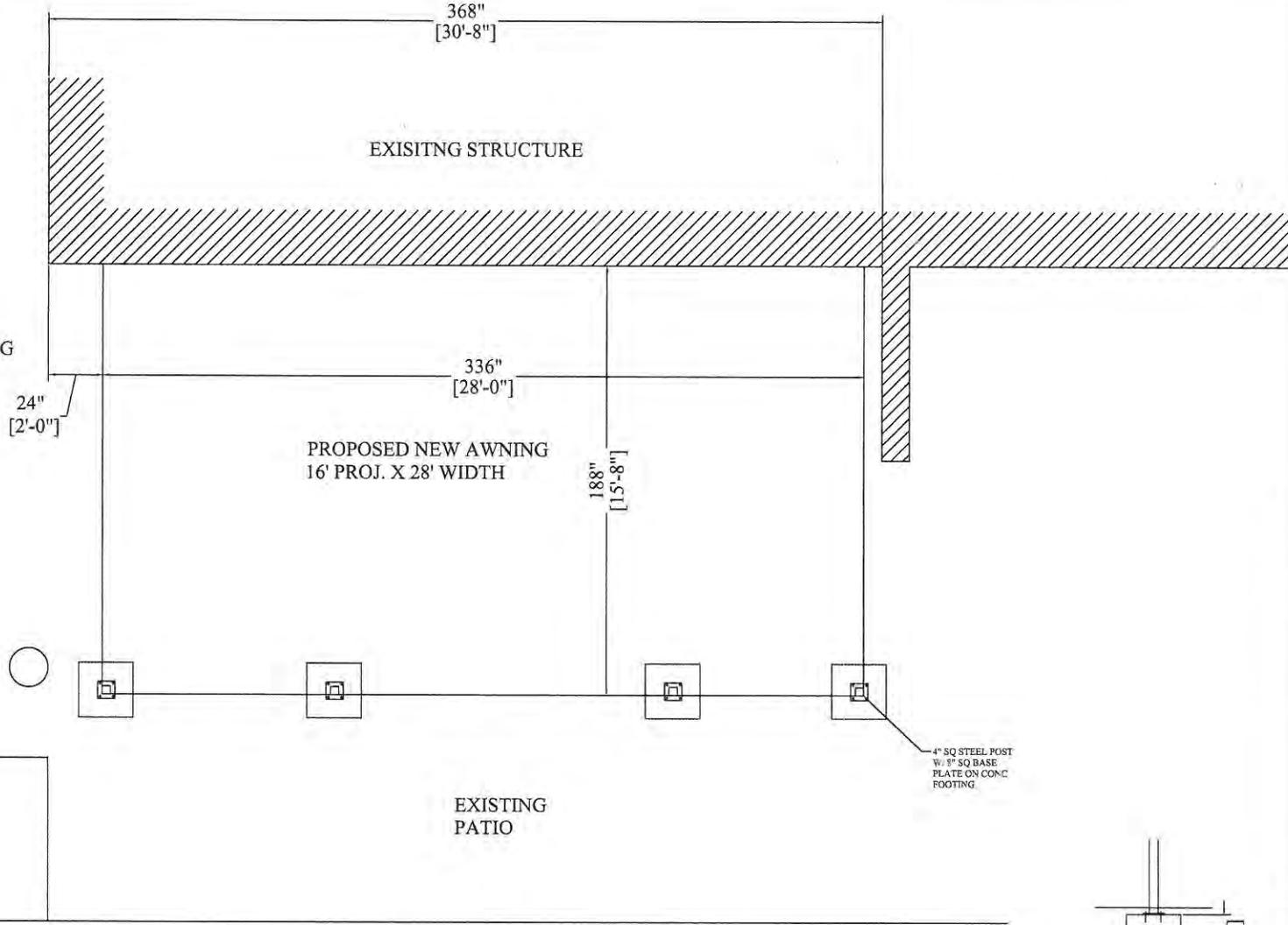
1 of 2

EXISTING STRUCTURE

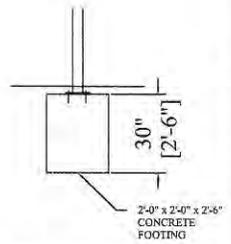
EXISTING PATIO

PROPOSED NEW AWNING
16' PROJ. X 28' WIDTH

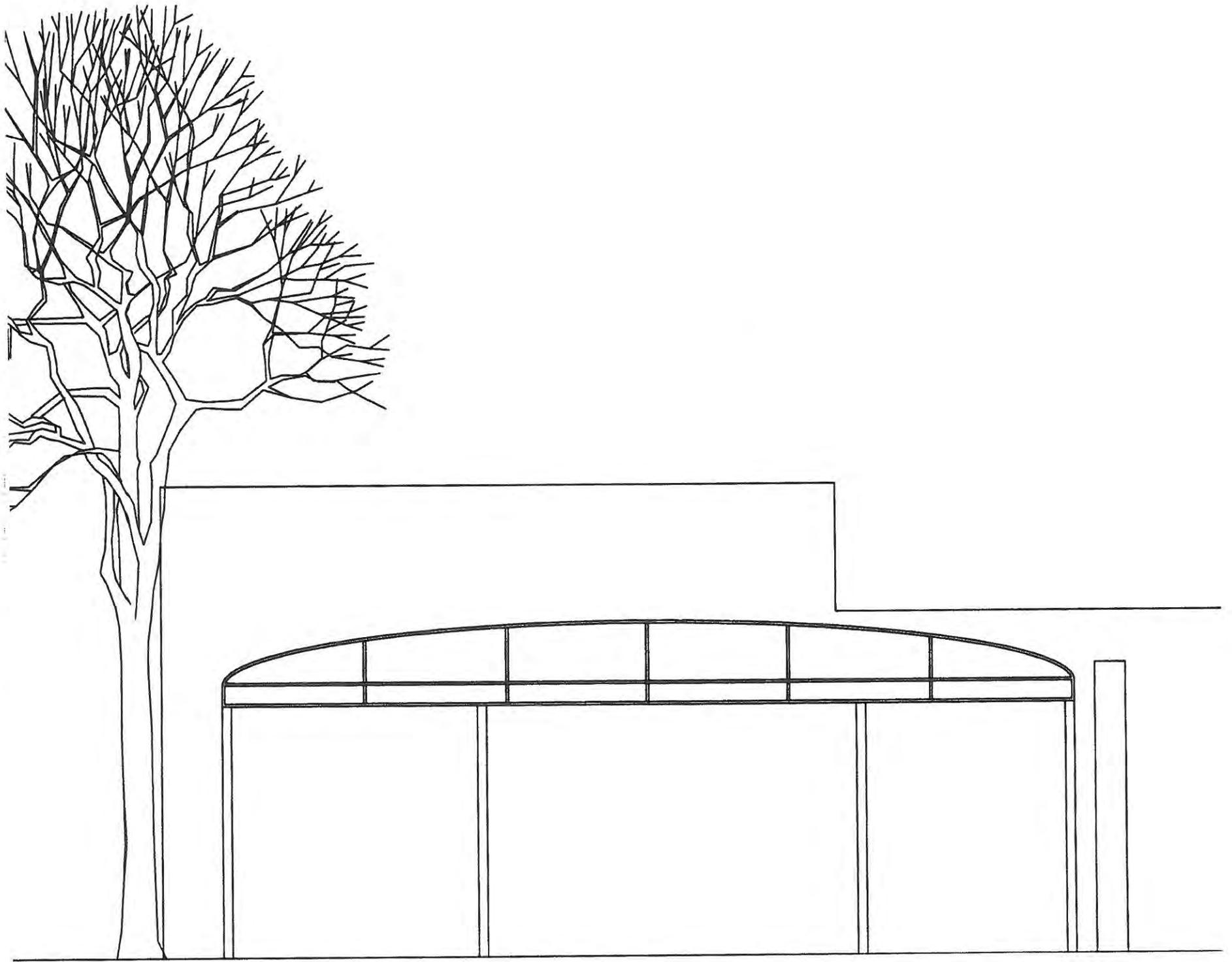
EXISTING PATIO

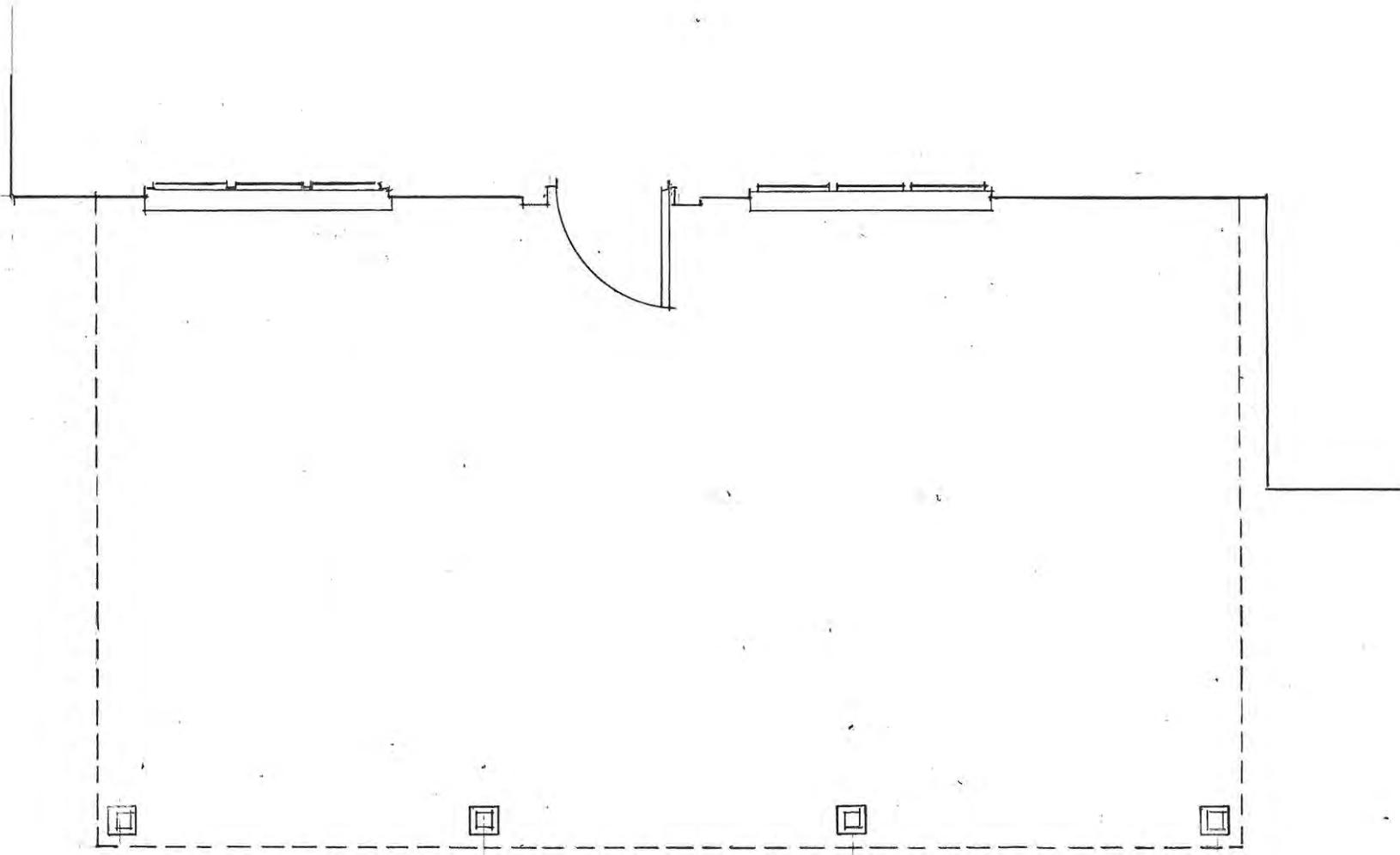


4" SQ STEEL POST
W/ 8" SQ BASE
PLATE ON CONC.
FOOTING

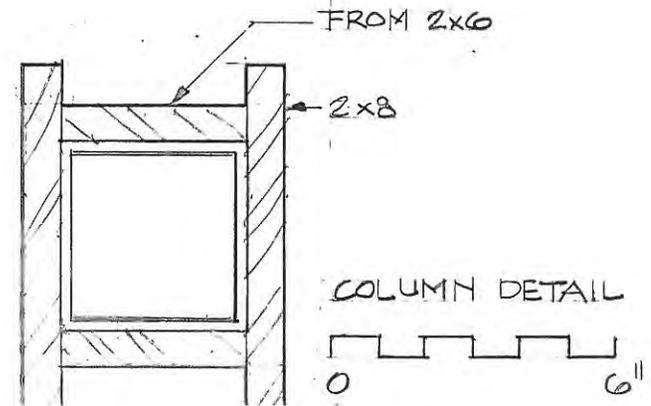
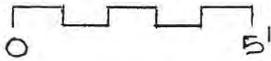


FOOTING DETAIL



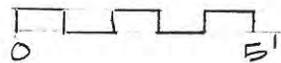


PLAN





ELEVATION



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Frankie Bones Awning

DRB#: DR120005

DATE: 2-14-2012

RECOMMENDATION: Approval Approval with Conditions Denial

MISC COMMENTS/QUESTIONS

Applicant wishes to extend the existing waterfall awning out over the seating area. Finishes to match existing. Posts will be encased and finished to match the previously approved detail at the adjacent Wise Guys Lounge outdoor seating area.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Don Baker, AIA Company: Square Feet Island Architects
 Mailing Address: 10 East Garrison Place City: H H I State: SC Zip: 29928
 Telephone: 843 290 6666 Fax: _____ E-mail: don@squarefeethhi.com
 Project Name: H.H. Brewing Co. Exterior Entry Improve Project Address: Reilley's Plaza / Greenwood Drive
 Parcel Number [PIN]: R_____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|---|---|
| <input type="checkbox"/> New Development – Conceptual | <input checked="" type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> New Development – Final, indicate Project Number | <input type="checkbox"/> Minor External Change |

Submittal Requirements for **All** projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

02.08.12
DATE



■ NARRATIVE

INTRODUCTION: Concurrent to this submission, Reilleys Plaza is working to add additional parking, which is proposed to the rear of the Brewing Company. Assuming the parking is approved, a new entry will be required.

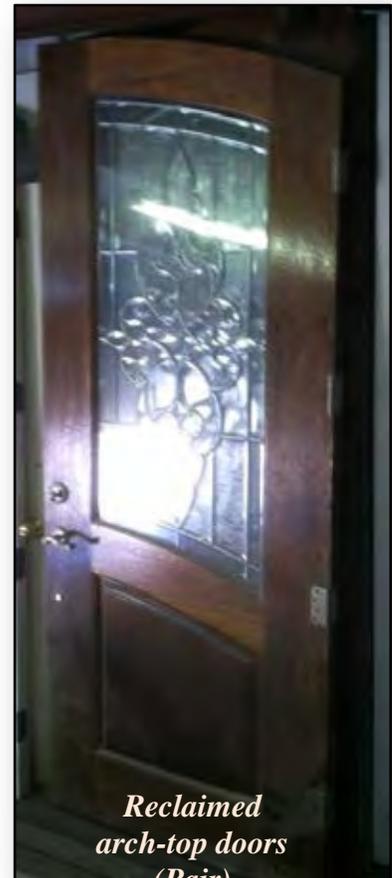
Therefore, the purpose of this submission is to receive approvals for the following items:

1. A sense of entry to the restaurant from the parking lot.
2. A new entry doorway & foyer.
3. A new design ethic for future improvements anticipated at the Brewing Co.
4. Replace the rubber roof over the dining room with a metal roof that matches the existing mansard roof.
5. Remove the worn out, elevated wood deck. Replace it with a more attractive patio, separated from the new driveway by a pedestrian-friendly border.
6. Add an area of fence to segregate the back of house functions from the new parking area.

The mission will be accomplished by adding a custom designed entry pylon with a triangular canopy form connecting the parking to the new arched doors. The new triangular form will be used as a generator for new and future details. For example, the perimeter border of the patio will have posts with the triangular form.

With the new parking the cars will be about 10' from the dining. A design challenge was to prevent headlights from encroaching into the dining. The solution, parallel wood bands, also generated detailing for the fence and a protective surround at the pylon.

It is the design intent that all new materials match the existing and keep within the Hilton Head design ethic. This includes wood (which may be upgraded to hardipanel), paint colors (SW 'Kaffee Brown', SW 'Reliable Tan', SW 'Evergreens', and clear spar varnish), and metal roofing.

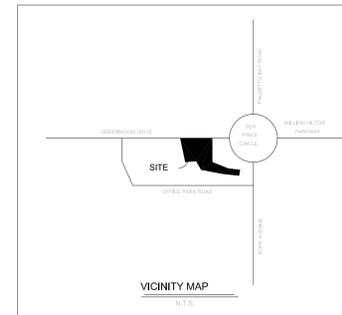


*Reclaimed
arch-top doors
(Pair)*

A handwritten signature in black ink, appearing to read "Dan Bole".

GREENWOOD DRIVE - R/W VARIES
PRIVATE ROAD - N/F CSA, INC.

LINE	LENGTH	BEARING
L1	24.89'	N 87°14'50" E
		N 61°50'00" E



SEA PINES CIRCLE

PARCEL C

PARCEL F
N/F
SOUTH CAROLINA NATIONAL BANK

PARCEL D

PARCEL H

PARCEL E

PARCEL A

PARCEL B-1

PARCEL G

PARCEL J

PARCEL I

PARCEL K

PARCEL L

PARCEL M

PARCEL N

PARCEL O

PARCEL P

PARCEL Q

PARCEL R

PARCEL S

PARCEL T

PARCEL U

PARCEL V

PARCEL W

PARCEL X

PARCEL Y

PARCEL Z

PARCEL AA

PARCEL AB

PARCEL AC

PARCEL AD

PARCEL AE

PARCEL AF

PARCEL AG

PARCEL AH

PARCEL AI

PARCEL AJ

PARCEL AK

PARCEL AL

PARCEL AM

PARCEL AN

PARCEL AO

PARCEL AP

PARCEL AQ

PARCEL AR

PARCEL AS

PARCEL AT

PARCEL AU

PARCEL AV

PARCEL AW

PARCEL AX

PARCEL AY

PARCEL AZ

PARCEL BA

PARCEL BB

PARCEL BC

PARCEL BD

PARCEL BE

PARCEL BF

PARCEL BG

PARCEL BH

PARCEL BI

PARCEL BJ

PARCEL BK

PARCEL BL

PARCEL BM

PARCEL BN

PARCEL BO

PARCEL BP

PARCEL BQ

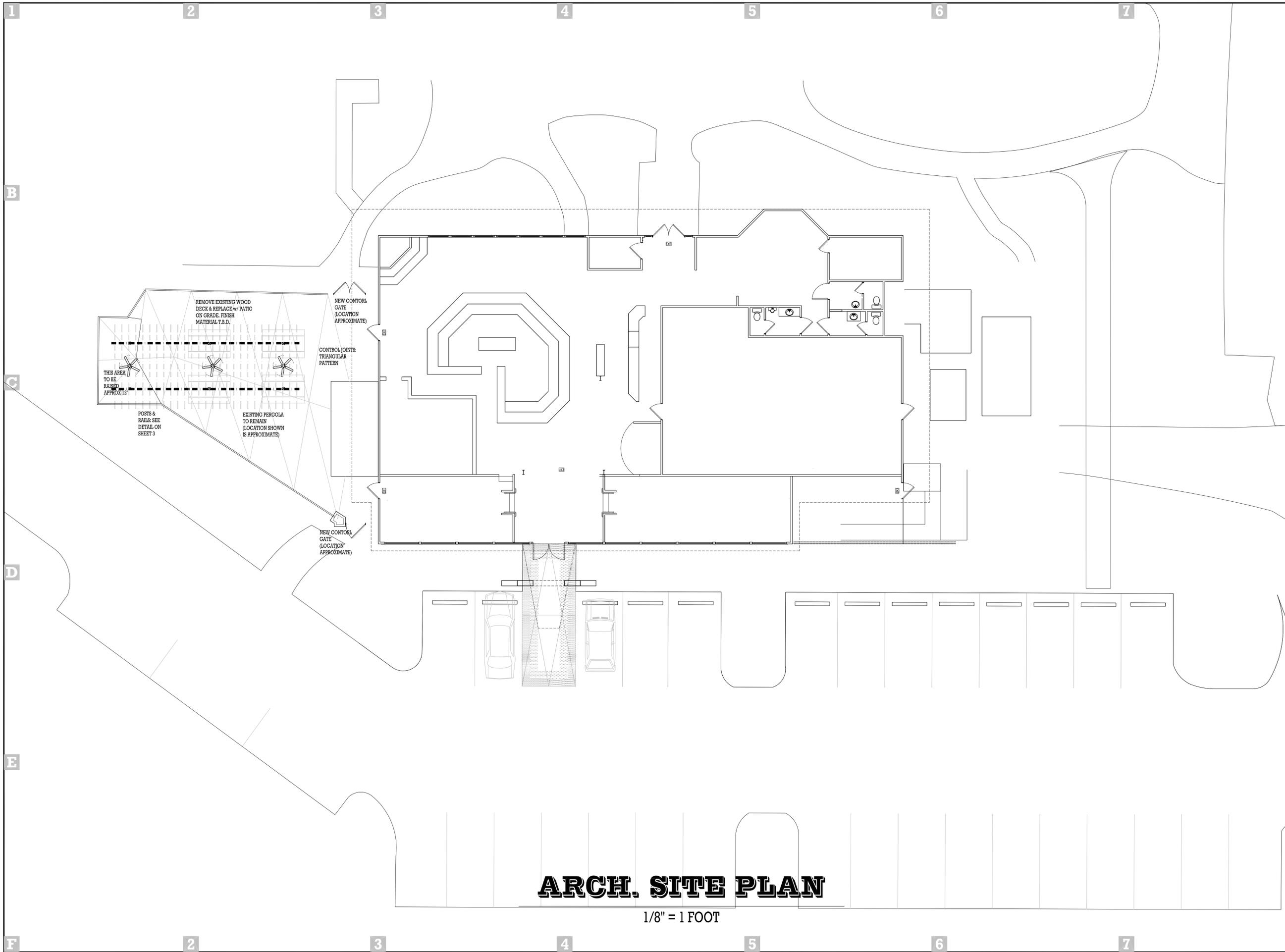
PARCEL BR

PARCEL BS

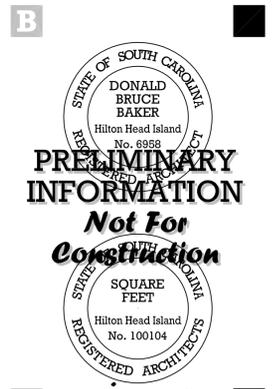
PARCEL BT

PARCEL BU

PARCEL BV



Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928
 843-363-3663
 843-290-6666
 843-363-6888
 squarefeet@adelphia.net
 HHI Bus Lic. # BLN0400739



PRELIMINARY INFORMATION
Not For Construction

Exterior Improvements to:
Hilton Head Brewing Co.
 Hilton Head Plaza
 Greenwood Drive @ Sea Pines Circle
 Hilton Head Island, SC 29928

Copyright 2012, by Square Feet
 Note: All ideas, concepts, and designs described herein belong solely to the designer named on this page. These ideas, concepts, and designs are to be used only on this project. Any other use constitutes fraud, and the author of these drawings will prosecute any violators to the fullest extent of the law. Likewise the author of these drawings can not be held responsible for any unauthorized use of these drawings.

Project Number HHPii
 Issue Date 08 FEB 2012
 Issuance HHI DRB

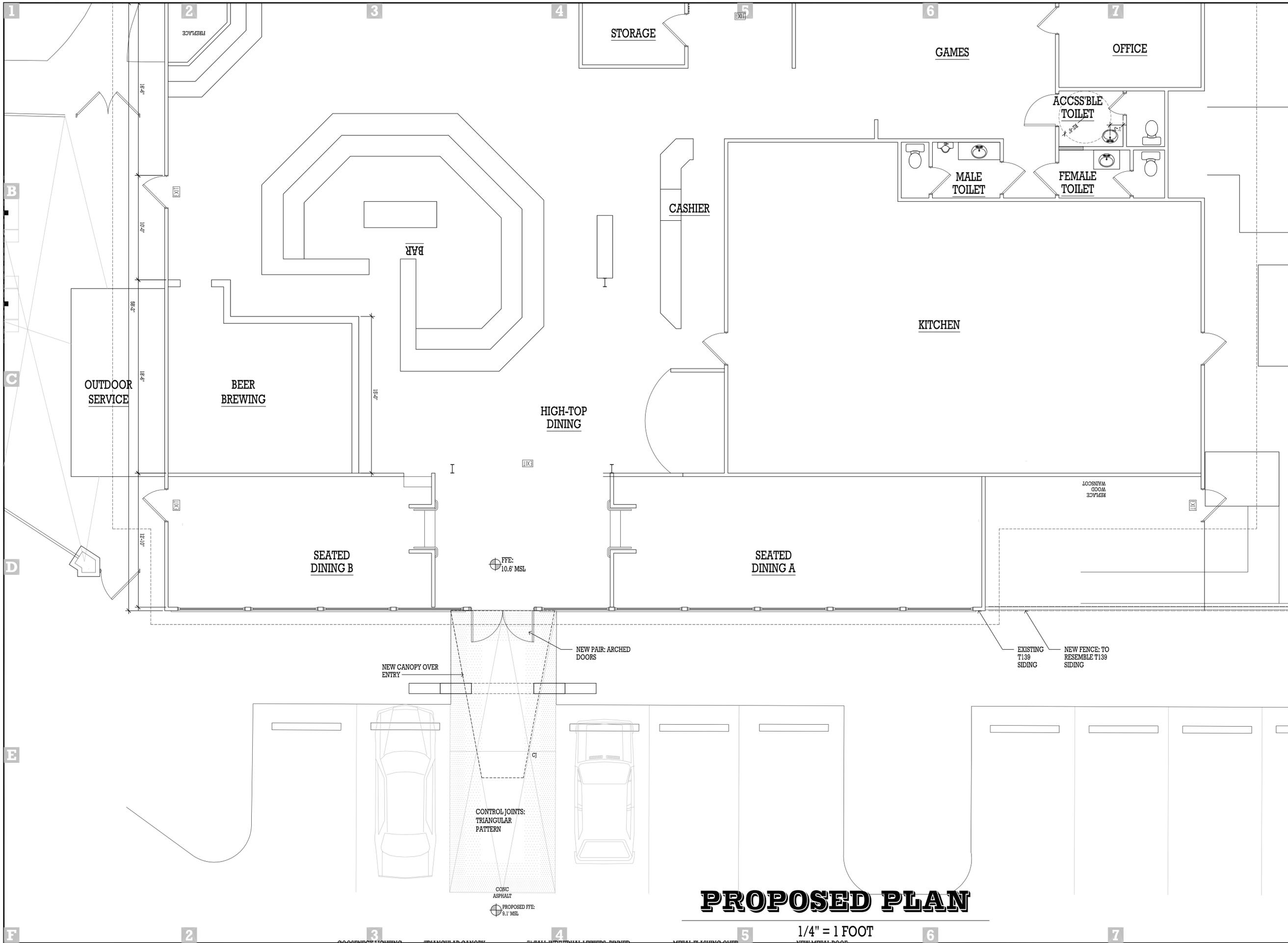
Revisions:
 1. 08 FEB 2012 HHI DRB
 2.
 3.
 4.
 5.

Sheet Title:
 ARCHITECT'S SITE PLAN

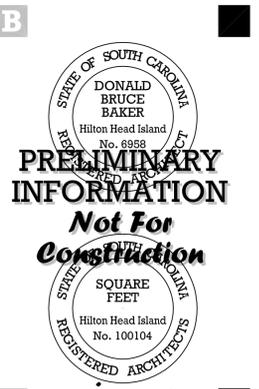
ARCH. SITE PLAN

1/8" = 1 FOOT

SHEET



Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928
 843-363-3663
 843-290-6666
 843-363-6888
 squarefeet@adelphia.net
 HHI Bus Lic. # BLN0400739



PRELIMINARY INFORMATION
 Not For Construction

Hilton Head Brewing Co.
 Hilton Head Plaza
 Greenwood Drive @ Sea Pines Circle
 Hilton Head Island, SC 29928

Exterior Improvements to:

Copyright 2012, by Square Feet
 Note: All ideas, concepts, and designs described herein being solely to the designer named on this page. These ideas, concepts, and designs are to be used only on this project. Any other use constitutes fraud, and the author of these drawings will prosecute any violators to the fullest extent of the law. Likewise the author of these drawings can not be held responsible for any unauthorized use of these drawings.

Project Number HHP11
 Issue Date 08 FEB 2012
 Issuance HHI DRB
 Revisions:
 1. 08 FEB 2012 HHI DRB
 2.
 3.
 4.
 5.
 Sheet Title:
 FLOOR PLAN



PROPOSED PLAN

1/4" = 1 FOOT

FFE: 10.6' MSL

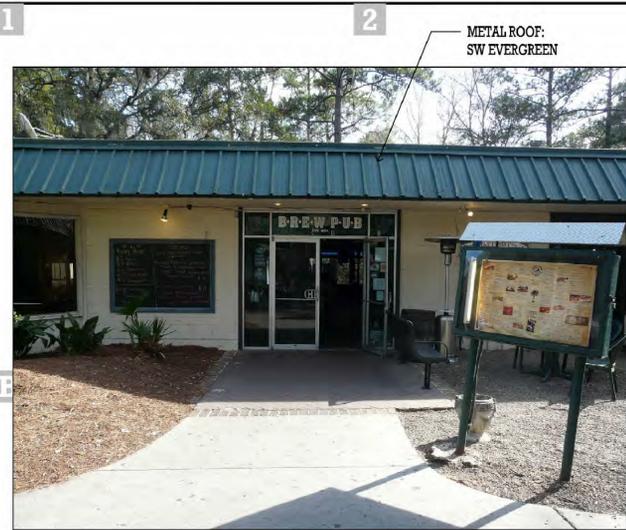
CONC ASPHALT
 PROPOSED FFE: 8.1' MSL

CONTROL JOINTS:
 TRIANGULAR PATTERN

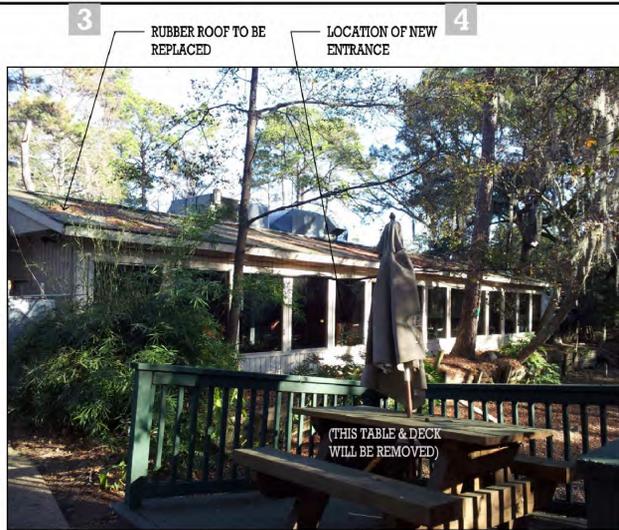
EXISTING T139 SIDING
 NEW FENCE TO RESEMBLE T139 SIDING

NEW CANOPY OVER ENTRY

NEW PAIR: ARCHED DOORS



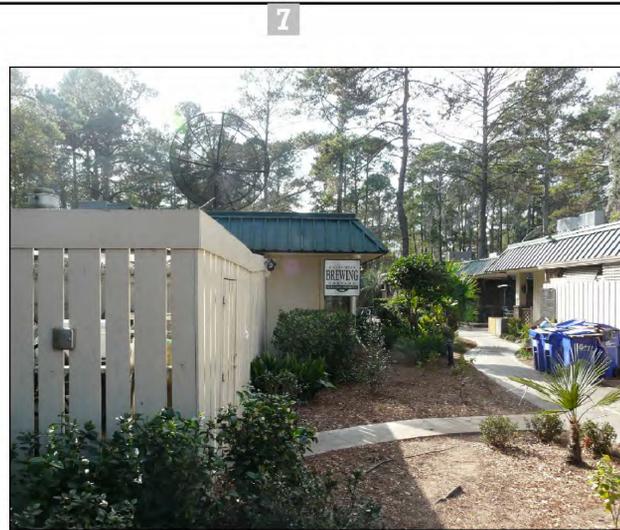
FRONT



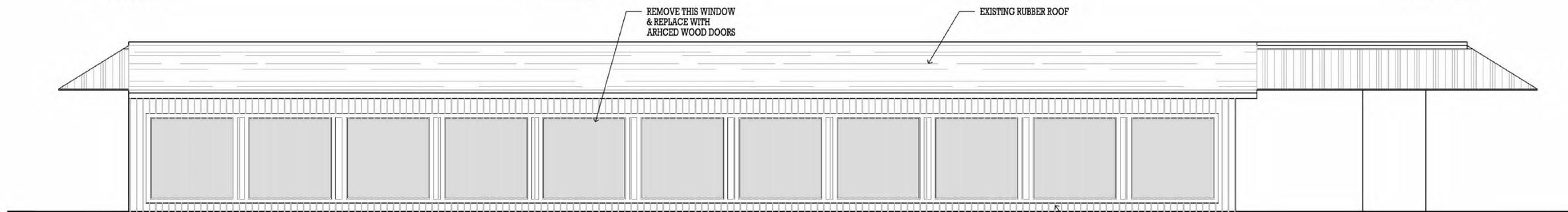
REAR



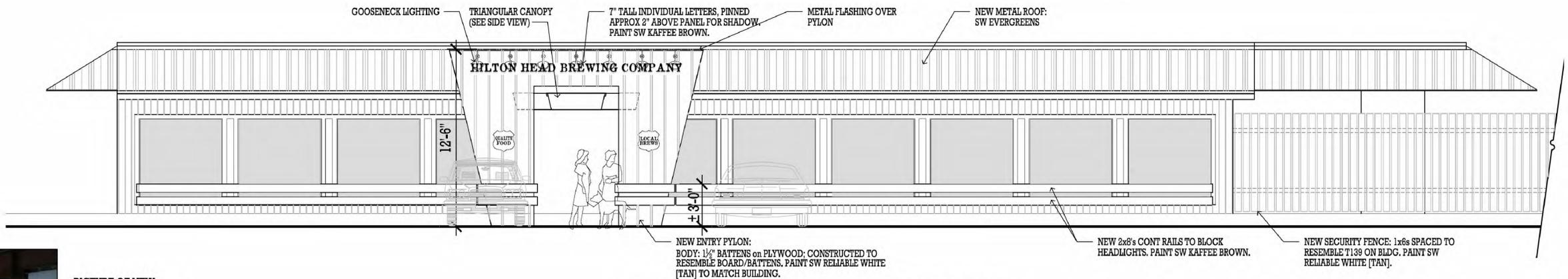
RIGHT



LEFT



EXISTING ELEVATIONS

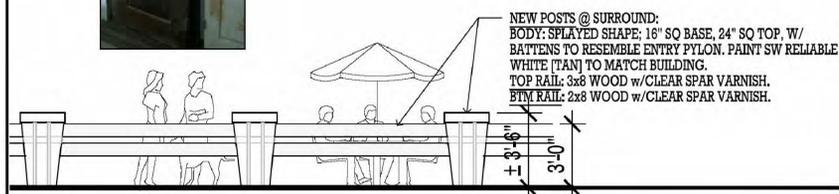


PROPOSED ELEVATIONS

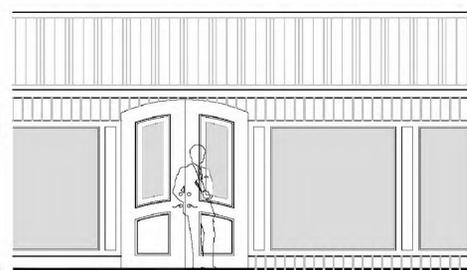
1/4" = 1 FOOT



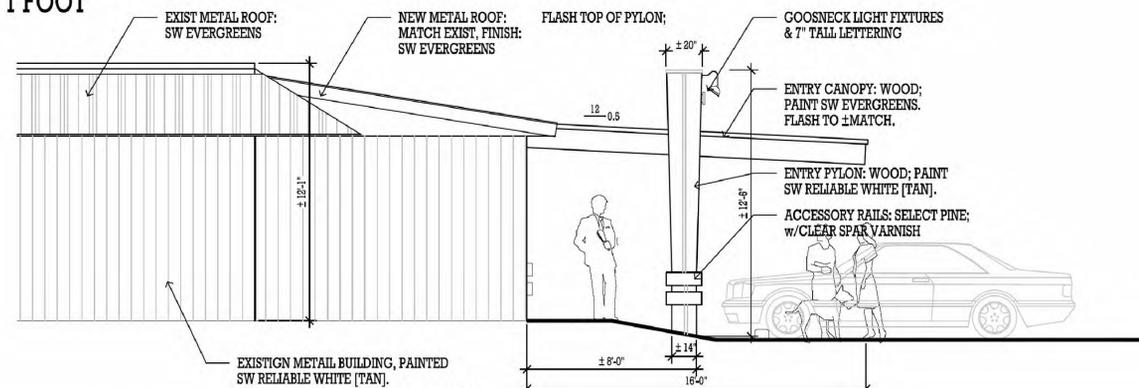
PICTURE OF NEW ARCHED WOOD DOOR (THIS 1/2 OF THE PAIR)



FENCE DETAIL



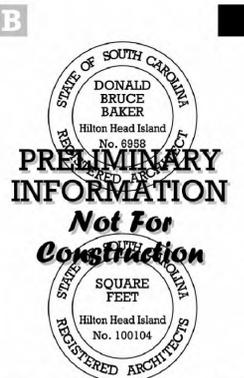
NEW DOOR



SIDE VIEW



Don Baker, AIA
10 East Garrison Place
Hilton Head, SC 29928
843-363-3663
843-290-6666
843-363-6888
squarefeet@adelphia.net
HHI Bus Lic. # BLN0400739



PRELIMINARY INFORMATION
Not For Construction

Exterior Improvements to:
Hilton Head Brewing Co.
Hilton Head Plaza
Greenwood Drive @ Sea Pines Circle
Hilton Head Island, SC 29928

Copyright 2012, by Square Feet
Note: All ideas, concepts, and designs described herein being solely in the designer's name on this page. These ideas, concepts, and designs are to be used only on this project. Any other use constitutes fraud, and the author of these drawings will prosecute any violators to the fullest extent of the law. Likewise the author of these drawings can not be held responsible for any unauthorized use of these drawings.

Project Number HHPH
Issue Date 08 FEB 2012
Issuance HHI DRB

Revisions:
1. 08 FEB 2012 HHI DRB
2.
3.
4.
5.

Sheet Title:
EXTERIOR ELEVATIONS

SHEET



SQUARE
FEET
HHI BREWING CO

HILTON HEAD BREWING COMPANY

02.08.12

12'-6"

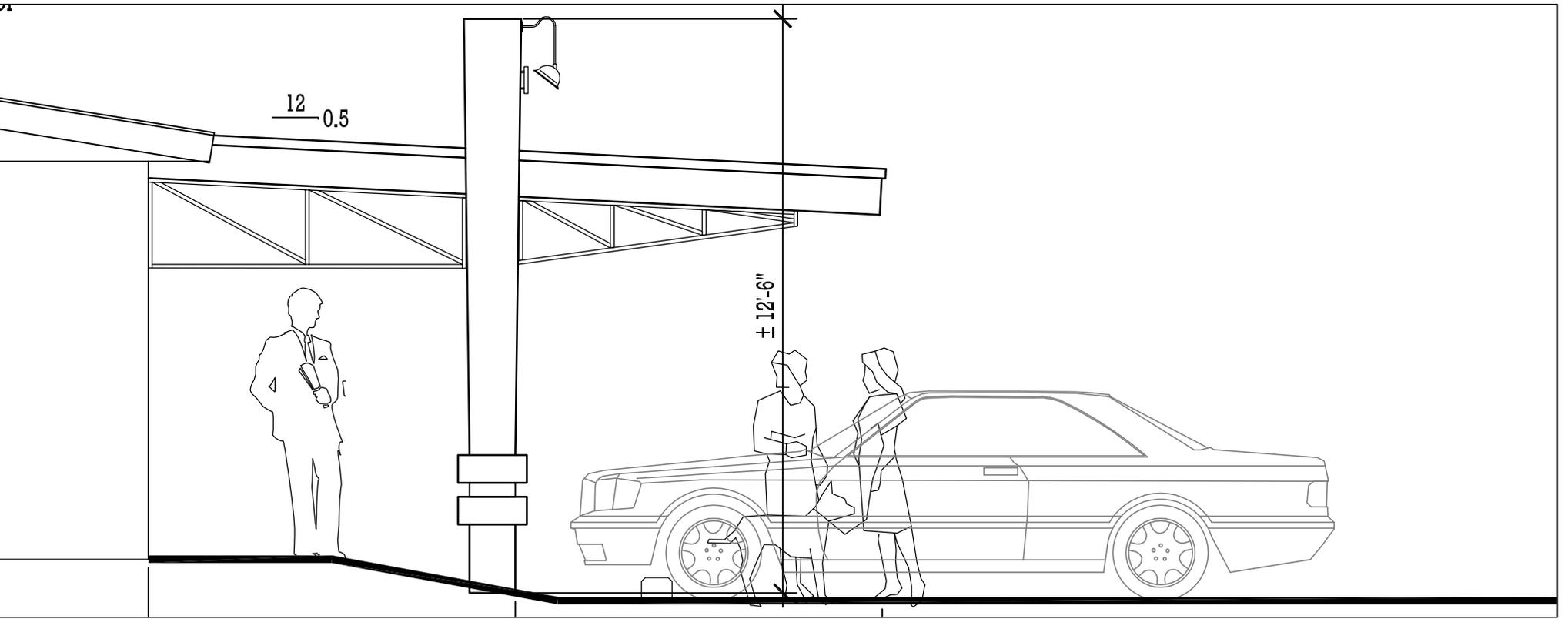
QUALITY
FOOD

LOCAL
BREWS



12'-0.5

± 12'-6"

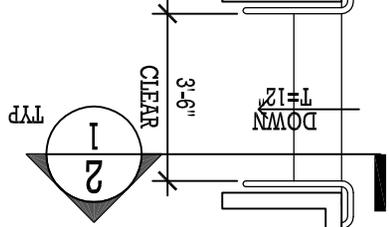




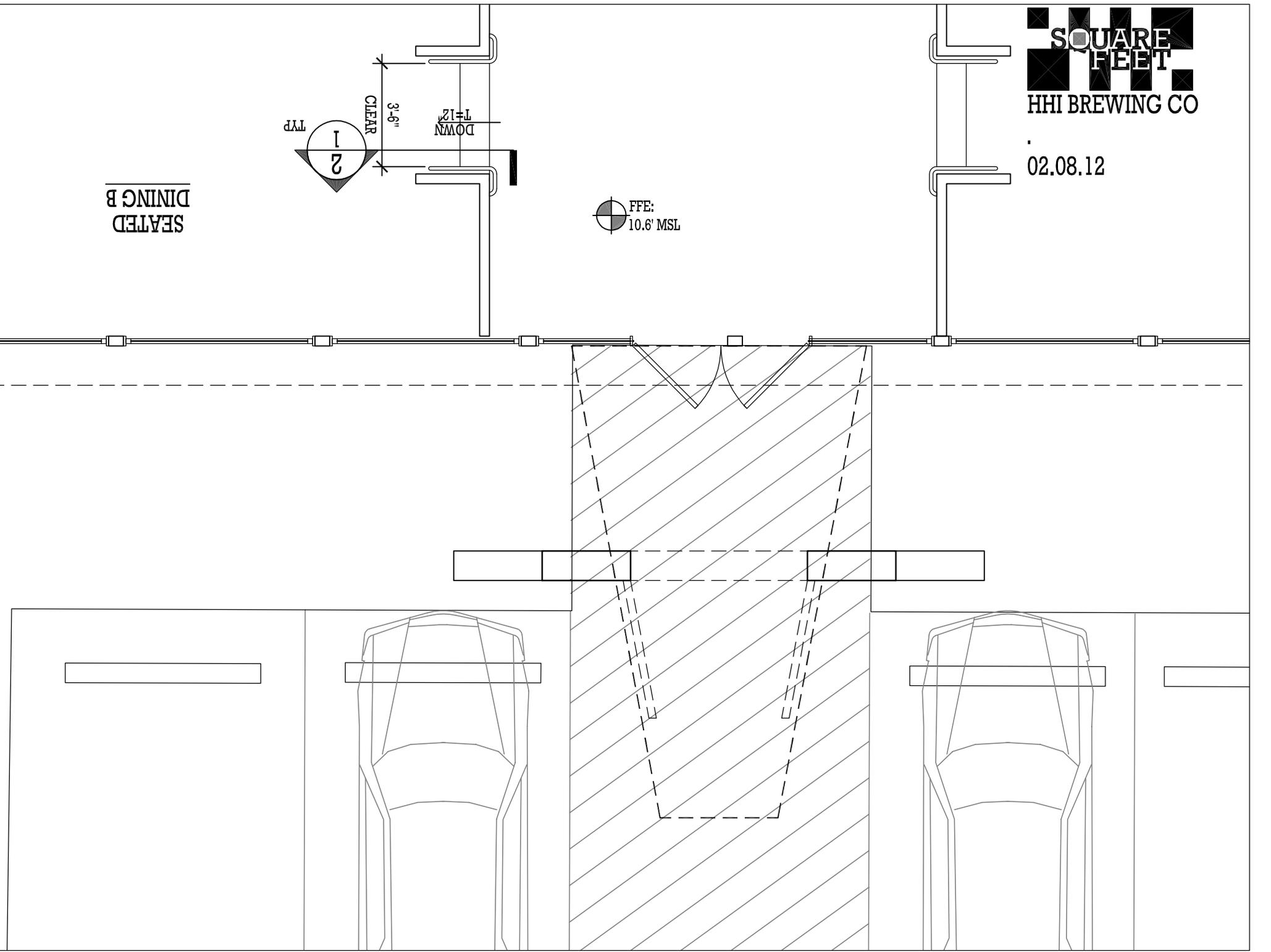
HHI BREWING CO

02.08.12

FFE:
10.6' MSL



SEATED
DINING B



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HH Brewing Company

DRB#: DR120006

DATE: 2-14-2012

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN

Project is the result of owner's wish to provide additional parking and access to the rear of the development. Parking Plan has been approved by Community Development Department. Brew Pub tenant wishes to create a new storefront on the rear elevation to take advantage of the newly created access. Existing deck will be removed and replaced with a concrete patio. Pergola to remain.

The entry feature is another thematic element in an already thematic development, and is reflective of its tenant. The materials and colors take what is a unique element and makes it applicable to the Design Guide.

Extending the railing detail across the windows helps shield diners from headlights, and integrates the patio and restaurant. While the reclaimed door is of a high quality, it seems provincial relative to the "roadside" architectural style of the new storefront. Applicant should also provide some detail showing how the existing pergola is finished once the existing deck is removed. Perhaps the ogee end cuts on the trellis pieces should be revisited to reflect the style of the new theme, as well

LANDSCAPE DESIGN

As part of the parking expansion, applicant is required to provide a landscape plan which illustrates how the buffers are maintained and reinforced. Some landscaping at the storefront should also be included. Applicant has been notified and is bringing in a plan for review at the meeting.

NATURAL RESOURCE PROTECTION

NR Concerns have been addressed through the Expedited Development Review Process

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Jay Sanders Company: American Tower Corpation
 Mailing Address: 900 Circle 75 Parkway City: Atlanta State: GA Zip: 30339
 Telephone: 404-934-5468 Fax: 888-736-3961 E-mail: jay@telecom-development.com
 Project Name: Osmosis Plant Project Address: Gateway Drive
 Parcel Number [PIN]: R 5 1 0 0 0 6 0 0 0 0 0 0 9 9 0 0 0 0
 Zoning District: PR Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

2/7/2012
DATE



February 7, 2012

Town of Hilton Head
Community Development Department
One Town Center Court
Hilton Head Island, South Carolina 29928

RE: Written narrative describing the scope of the project.

To Whom This May Concern:

The proposed telecommunication tower will be located at Gateway Drive on the 55.33 acre tract owned by the Town of Hilton Head Island. The proposed 148 ft. telecommunication tower will be built for AT&T Mobility. American Tower Corporation is proposing a lease area of 4,900 square feet (0.1125 acres). American Tower's lease area will be enclosed by a six foot black metal rail fence, and seven gallon Wax Myrtles spaced six feet apart installed on all sides of the fence to add additional screening.

This site is needed to infill cellular coverage to Harbour Passage Road, Millwright Road and William Hilton Parkway.

Town of Hilton Head Island Fire and Rescue have also requested space on the tower for their E911 and communication equipment. The Fire Department will be able to increase communication coverage in this area.

If there is any additional question about the intended use of the tower, please do not hesitate to contact me.

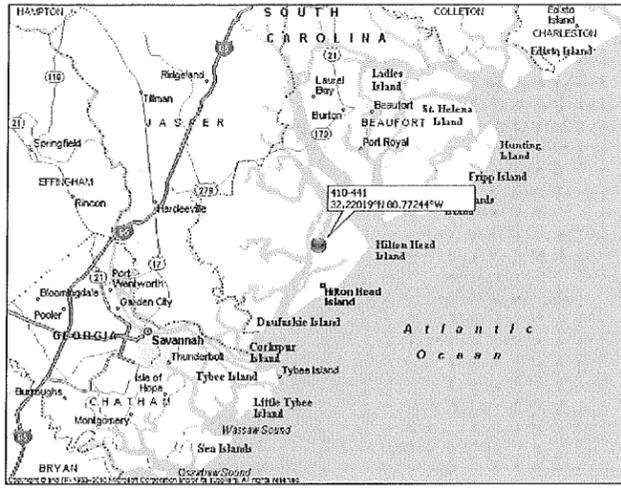
Sincerely,

A handwritten signature in black ink, appearing to read "Jay Sanders".

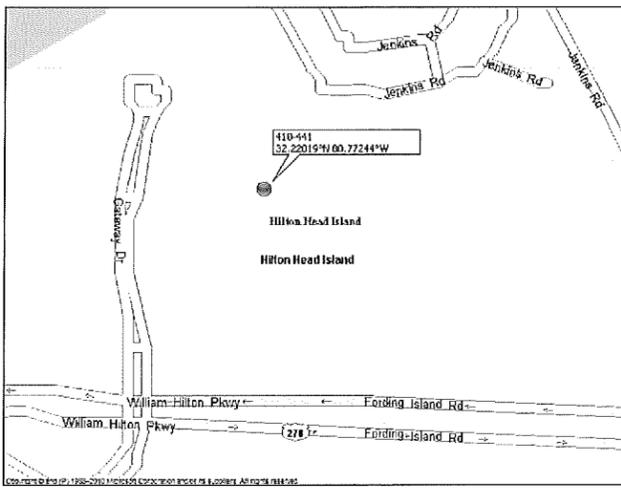
Jay Sanders
Agent for American Tower
404-934-5468



LOCATION MAP



VICINITY MAP



DRIVE DIRECTIONS

FROM ATLANTA: TAKE I-75 SOUTH TOWARD MACON TO I-16 SOUTH TOWARD SAVANNAH TO I-95 NORTH TOWARD HILTON HEAD. FROM I-95 TAKE EXIT 8 TO HWY-278 / INDEPENDENCE BLVD AND CONTINUE ALL THE WAY TO HILTON HEAD ISLAND. AFTER CROSSING THE BRIDGE ONTO HILTON HEAD ISLAND TURN LEFT ONTO GATEWAY DRIVE. FOLLOW TO THE THIRD TURN AND TURN RIGHT ONTO THE PAVED DRIVE. FOLLOW INTO THE PLANT SITE. TOWER SITE IS ON THE LEFT AT THE TREELINE.

DEPARTMENT	NAME / SIGNATURE	DATE
LAND OWNER / TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING / PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

SITE NUMBER:

410-441

SITE NAME:

HHI_BIC_35

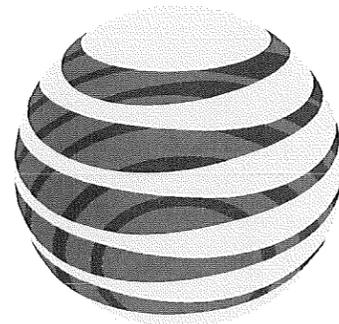
PROJECT:

NSB

PROJECT DESCRIPTION:

PROPOSED 148 FT. MONOPOLE TOWER

PREPARED FOR:



at&t

PROJECT MANAGER:



Goodman Networks

Network Knowledge... Delivered.

PREPARED BY:



30 MANSELL CT
SUITE 103
ROSWELL, GA 30076
678-280-2325



PROJECT INFORMATION

SITE ADDRESS: GATEWAY DRIVE
HILTON HEAD ISLAND, SC 29928

LATITUDE: 32° 13' 12.7"
LONGITUDE: 80° 46' 20.8"

PARCEL ID: R510-006-000-0099-0000
PARCEL SIZE: 55.33 ACRES
ZONING: N/A
JURISDICTION: HILTON HEAD ISLAND

PROPERTY OWNER: THE TOWN OF HILTON HEAD
ONE TOWN CENTER COURT
HILTON HEAD ISLAND, SC 29928

TOWER OWNER & APPLICANT: AMERICAN TOWER CORPORATION
1898 LELAND DRIVE, SUITE A
MARIETTA, GA 30067
MET HEPSEN
678-265-6754

CARRIER: AT&T
5405 WINDWARD PARKWAY
ALPHARETTA, GA 30004

PROJECT MANAGER: GOODMAN NETWORKS, INC.
5895 WINDWARD PARKWAY, SUITE 250
ALPHARETTA, GA 30005

ENGINEER: PM&A
30 MANSELL COURT, SUITE 103
ROSWELL, GA 30076
PATRICK W MARSHALL, P.E.
678-280-2325

POWER: PALMETTO ELECTRIC

TELCO: HARGRAY

DRAWING INDEX

- T-1 TITLE SHEET & PROJECT INFORMATION
- SURVEY
- C-1 GENERAL NOTES
- C-2 OVERALL SITE PLAN
- C-3 DETAILED SITE PLAN
- C-4 TOWER ELEVATION & DETAILS
- C-4A LTE RRUS AND SQUID MOUNTING DETAILS
- C-5 GRADING & EROSION CONTROL PLAN
- C-6 GRADING & EROSION CONTROL DETAILS
- C-7 GRADING & EROSION CONTROL SPECIFICATIONS
- C-8 EQUIPMENT LAYOUT
- C-4 ICE BRIDGE DETAILS
- C-10 SITE SIGNAGE
- L-1 LANDSCAPING PLAN & DETAILS
- E-1 ELECTRICAL SPECS & ONE-LINE DIAGRAM
- E-2 ELECTRICAL SITE PLAN
- E-3 GROUNDING SITE PLAN
- E-4 GROUNDING NOTES
- E-5 GROUNDING DETAILS
- E-6 COAX COLOR CODE TEMPLATE & RFDS
- E-7 LTE EQUIPMENT DETAILS
- E-8 UTILITY FRAME DETAILS
- E-4 ATC GENERATOR ONE-LINE DIAGRAM

RFDS: GA_410_441_CCO_2413000662_1015357B_012612_03



PM&A
30 MANSELL CT
SUITE 103
ROSWELL, GA 30076
678-280-2325



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441
TITLE SHEET & PROJECT INFORMATION

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TCD136

T-1

LINE TABLE

LINE	BEARING	DISTANCE
L1	N10°29'09"E	79.22'
L2	N73°15'11"E	54.49'
L3	N65°55'05"E	38.46'
L4	N71°11'44"E	55.44'
L5	N77°59'46"E	38.58'
L6	N42°00'56"E	52.60'
L7	N37°07'20"E	50.91'
L8	N54°38'22"E	46.17'
L9	N73°41'22"E	53.81'
L10	S89°09'33"E	43.89'
L11	N40°37'19"E	57.70'
L12	N00°11'09"W	63.72'
L13	N16°31'07"E	57.87'
L14	N38°53'22"E	49.34'
L15	N48°35'46"E	54.59'
L16	N59°04'05"E	200.03'
L17	N57°07'20"E	116.20'
L18	N61°20'47"E	148.73'
L19	N60°34'33"E	92.26'
L20	N55°01'24"E	66.16'
L21	N61°09'22"E	42.55'
L22	S55°05'09"E	42.18'
L23	S53°32'53"E	67.59'
L24	S06°53'26"W	35.56'
L25	S48°52'29"W	73.03'
L26	N01°02'02"W	102.52'
L27	N13°50'21"W	188.36'
L28	S87°48'44"E	73.38'
L29	N82°27'45"E	100.98'
L30	S80°34'45"E	54.46'
L31	N79°24'10"E	81.43'
L32	N00°09'04"E	22.27'

CURVE TABLE

LINE	ARC	RADIUS	CHD. BRG.	CHD.
C1	60.45'	983.35'	S01°30'12"W	60.44'
C2	62.24'	983.35'	S05°04'40"W	62.23'
C3	44.70'	200.00'	N07°26'12"W	44.61'
C4	143.17'	424.67'	N02°16'00"W	142.49'
C5	72.62'	49.07'	N49°47'22"E	66.18'
C6	29.60'	100.00'	S89°03'30"E	29.49'
C7	40.01'	100.00'	N87°57'27"E	39.75'

GENERAL NOTES

THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF AT&T AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASEHOLD AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE SUBJECT PROPERTY NOR ANY PORTION OR PORTIONS THEREOF. NO BOUNDARY SURVEY WAS PERFORMED.

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TCRA 1103 ROBOTIC

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

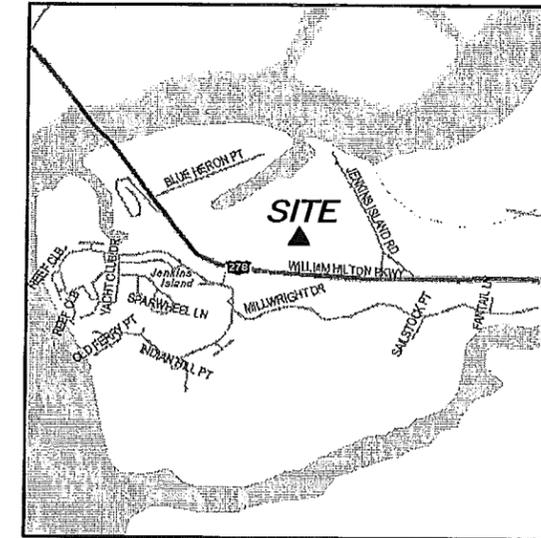
THE PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 100,000+ FEET.

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 88 DATUM AND HAVE A VERTICAL ACCURACY OF ± 1'. CONTOURS AND SPOT ELEVATIONS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

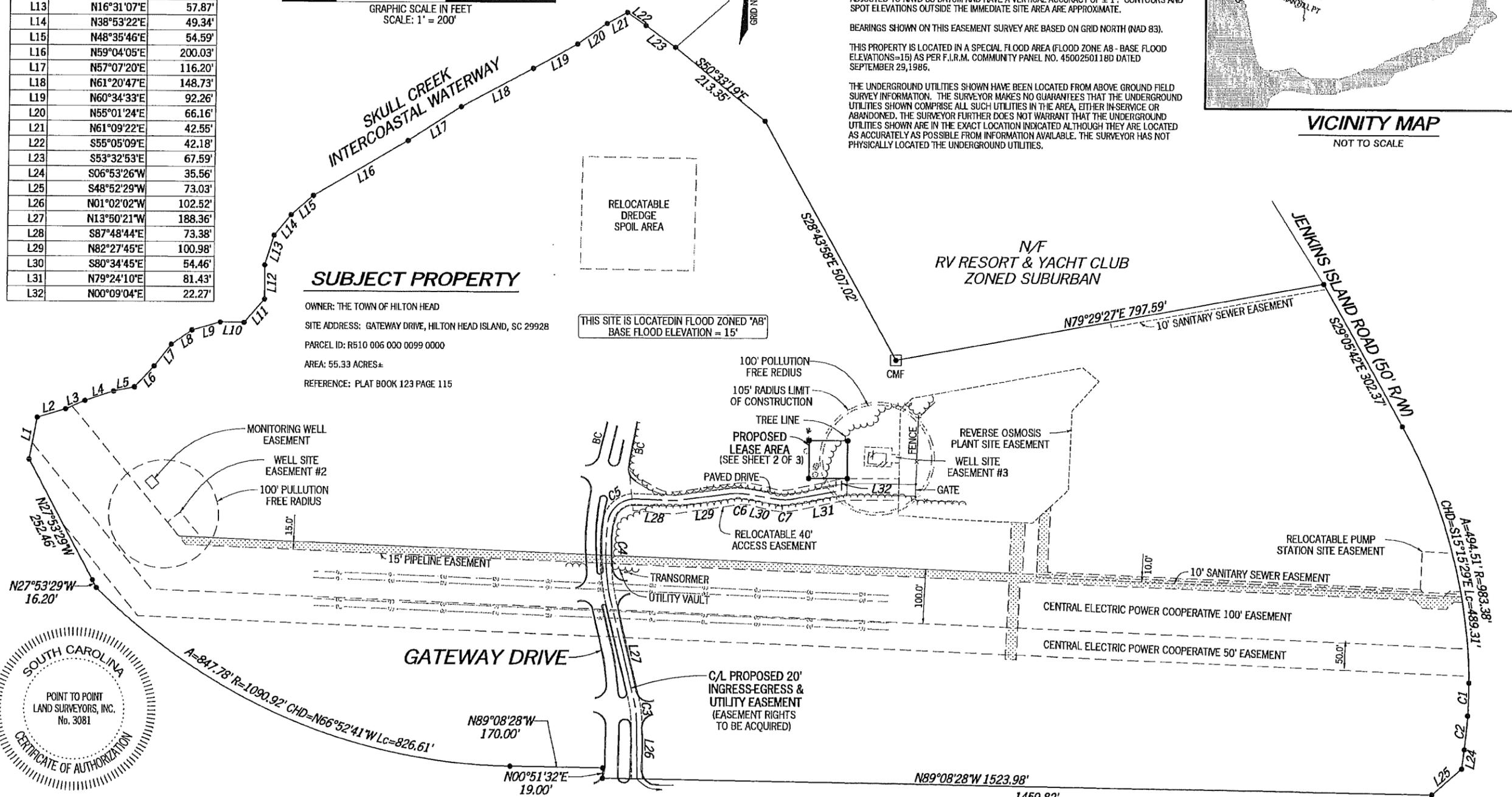
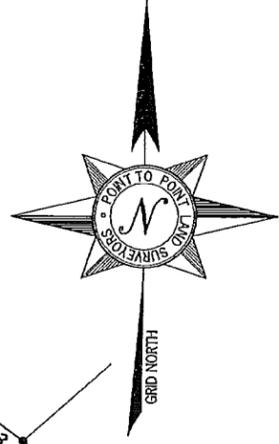
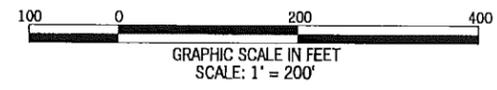
BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83).

THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA (FLOOD ZONE A8 - BASE FLOOD ELEVATIONS=15) AS PER F.I.R.M. COMMUNITY PANEL NO. 4500250118D DATED SEPTEMBER 29, 1986.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE. GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



VICINITY MAP
NOT TO SCALE



SUBJECT PROPERTY

OWNER: THE TOWN OF HILTON HEAD
 SITE ADDRESS: GATEWAY DRIVE, HILTON HEAD ISLAND, SC 29928
 PARCEL ID: R510 006 000 0099 0000
 AREA: 55.33 ACRES±
 REFERENCE: PLAT BOOK 123 PAGE 115

THIS SITE IS LOCATED IN FLOOD ZONED "A8" BASE FLOOD ELEVATION = 15'



SURVEYOR CERTIFICATION

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY SPECIFIED THEREIN.

THIS SURVEY IS NOT FOR RECORDATION PURPOSES.

LEGEND

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
CMF	CONCRETE MONUMENT FOUND
EP	EDGE OF PAVEMENT
BC	BACK OF CURB
OU	OVERHEAD UTILITY
TR	TRANSFORMER
N/F	NOW OR FORMERLY



NO.	DATE	REVISION
1	12/07/2011	REVISE LEASE - CLC
2	01/18/2012	ADD TREE LOCATIONS

EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 810 Jackson Street
 Locust Grove, Georgia 30248
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointtopointsurvey.com



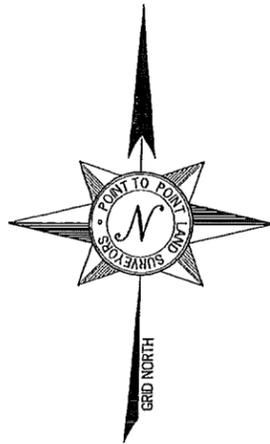
EASEMENT SURVEY PREPARED FOR:



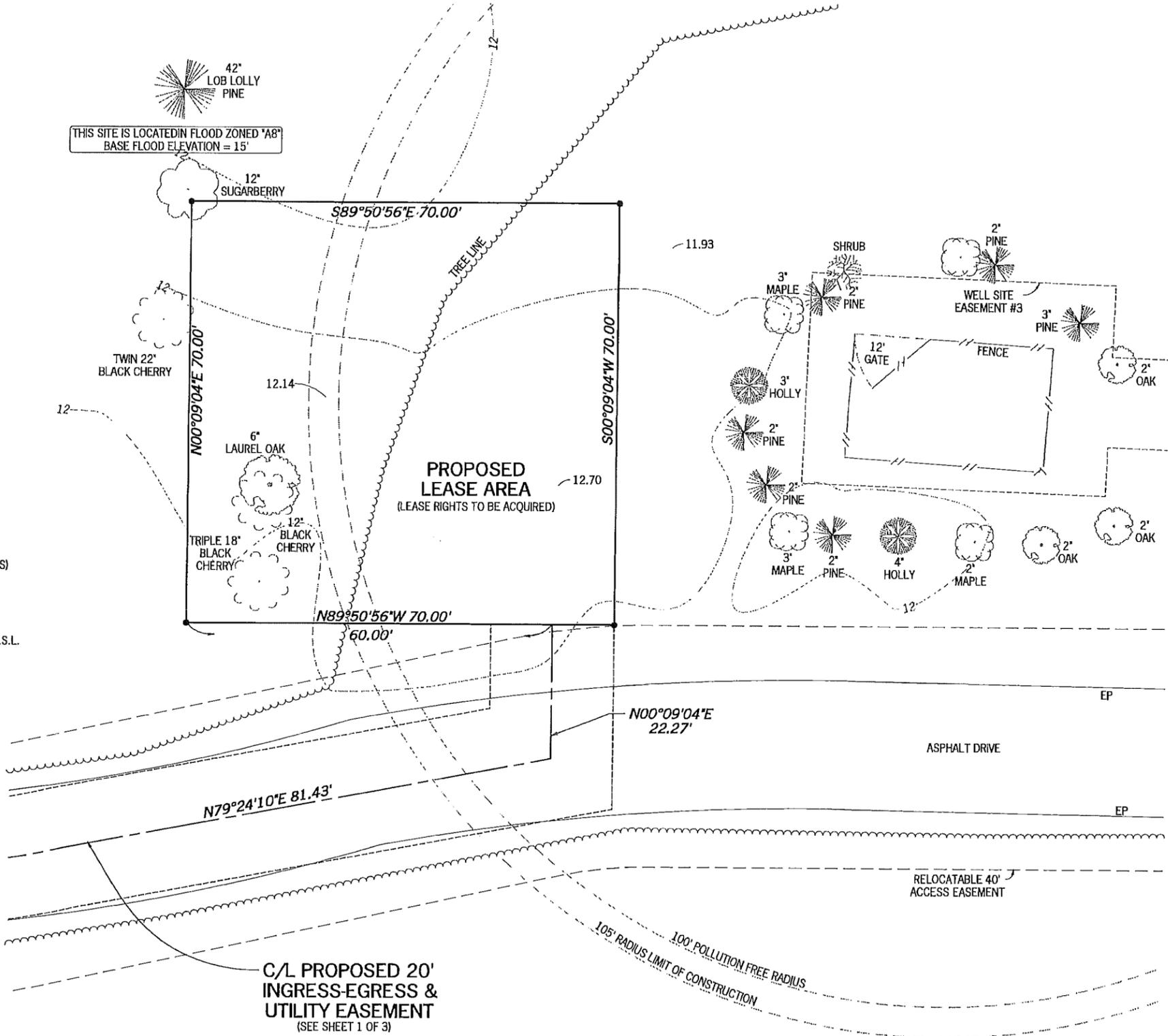
"HHI_BIC_35"
 SITE NO. 410-441
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: NRW	SHEET: 1
CHECKED BY: MW	OF 3
APPROVED: G. INER	
DATE: 14 NOVEMBER, 2011	
P2P JOB #: 2011.716	

U.S. HIGHWAY 278 ~ WILLIAM HILTON PARKWAY (R/W VARIES)

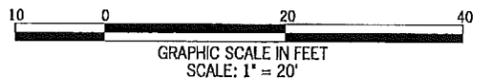


THIS SITE IS LOCATED IN FLOOD ZONED "A8"
BASE FLOOD ELEVATION = 15'



SITE INFORMATION

PROPOSED LEASE AREA = 4,900 SQUARE FEET (0.1125 ACRES)
 LATITUDE = 32°13'12.7" (NAD 83)
 AT CENTER OF PROPOSED LEASE AREA
 LONGITUDE = 80°46'20.8" (NAD 83)
 ELEVATION AT CENTER OF PROPOSED LEASE AREA = 12' A.M.S.L.



LEGEND

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
CMF	CONCRETE MONUMENT FOUND
EP	EDGE OF PAVEMENT
BC	BACK OF CURB
OU	OVERHEAD UTILITY
TR	TRANSFORMER
N/F	NOW OR FORMERLY



NO.	DATE	REVISION
1	12/07/2011	REVISE LEASE - CLC
2	01/18/2012	ADD TREE LOCATIONS

EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 810 Jackson Street
 Locust Grove, Georgia 30248
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointpointsurvey.com



EASEMENT SURVEY PREPARED FOR:



"HHI_BIC_35"

**SITE NO.
410-441**

HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: NRW	SHEET:
CHECKED BY: MW	2
APPROVED: C. INER	
DATE: 14 NOVEMBER, 2011	OF 3
P2P JOB #: 2011.716	

P2P011.716.001.716.pdf

LEGAL DESCRIPTION SHEET

SUBJECT PROPERTY

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE MITERED INTERSECTION FORMED BY THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD (HAVING A 50-FOOT RIGHT-OF-WAY) AND THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 (ALSO KNOWN AS WILLIAM HILTON PARKWAY AND HAVING A VARIABLE WIDTH RIGHT-OF-WAY); THENCE LEAVING SAID INTERSECTION AND RUNNING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278, NORTH 89°08'28" WEST, 1523.98 FEET TO A POINT; THENCE, NORTH 00°51'32" EAST, 19.00 FEET TO A POINT; THENCE, NORTH 89°08'28" WEST, 170.00 FEET TO A POINT; THENCE, 847.78 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 1090.92 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 66°52'41" WEST, 826.61 FEET TO A POINT; THENCE, NORTH 27°53'29" WEST, 16.20 FEET TO A POINT; THENCE, NORTH 27°53'29" WEST, 252.46 FEET TO A POINT; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 AND RUNNING, NORTH 10°29'09" EAST, 79.22 FEET TO A POINT; THENCE, NORTH 73°15'11" EAST, 54.49 FEET TO A POINT; THENCE, NORTH 65°55'05" EAST, 38.46 FEET TO A POINT; THENCE, NORTH 71°11'44" EAST, 55.44 FEET TO A POINT; THENCE, NORTH 77°59'46" EAST, 38.58 FEET TO A POINT; THENCE, NORTH 42°00'56" EAST, 52.60 FEET TO A POINT; THENCE, NORTH 37°07'20" EAST, 50.91 FEET TO A POINT; THENCE, NORTH 54°38'22" EAST, 46.17 FEET TO A POINT; THENCE, NORTH 73°41'22" EAST, 53.81 FEET TO A POINT; THENCE, SOUTH 89°09'33" EAST, 43.89 FEET TO A POINT; THENCE, NORTH 40°37'19" EAST, 57.70 FEET TO A POINT; THENCE, NORTH 00°11'09" WEST, 63.72 FEET TO A POINT; THENCE, NORTH 16°31'07" EAST, 57.87 FEET TO A POINT; THENCE, NORTH 38°53'22" EAST, 49.34 FEET TO A POINT; THENCE, NORTH 48°35'46" EAST, 54.59 FEET TO A POINT; THENCE, NORTH 59°04'05" EAST, 200.03 FEET TO A POINT; THENCE, NORTH 57°07'20" EAST, 116.20 FEET TO A POINT; THENCE, NORTH 61°20'47" EAST, 148.73 FEET TO A POINT; THENCE, NORTH 60°34'33" EAST, 92.26 FEET TO A POINT; THENCE, NORTH 55°01'24" EAST, 66.16 FEET TO A POINT; THENCE, NORTH 61°09'22" EAST, 42.55 FEET TO A POINT; THENCE, SOUTH 55°05'09" EAST, 42.18 FEET TO A POINT; THENCE, SOUTH 53°32'53" EAST, 67.59 FEET TO A POINT; THENCE, SOUTH 50°33'19" EAST, 213.35 FEET TO A POINT; THENCE, SOUTH 28°43'58" EAST, 507.02 FEET TO A CONCRETE MONUMENT FOUND; THENCE, NORTH 79°29'27" EAST, 797.59 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD; THENCE ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD, SOUTH 29°05'42" EAST, 302.37 FEET TO A POINT; THENCE, 494.51 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 983.38 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 15°15'29" EAST, 489.31 FEET TO A POINT; THENCE, 60.45 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 983.35 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 01°30'12" WEST, 60.44 FEET TO A POINT; THENCE, 62.24 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 983.35 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 05°04'40" WEST, 62.23 FEET TO A POINT; THENCE, SOUTH 06°53'26" WEST, 35.56 FEET TO A POINT AT THE NORTHEAST CORNER OF THE MITERED INTERSECTION FORMED BY THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD AND THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278; THENCE LEAVING SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD AND RUNNING ALONG SAID MITERED INTERSECTION, SOUTH 48°52'29" WEST, 73.03 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 AND THE TRUE POINT OF BEGINNING.

SAID TRACT CONTAINS 55.3325 ACRES (2,410,285 SQUARE FEET), MORE OR LESS.

PROPOSED 20' INGRESS-EGRESS & UTILITY EASEMENT

TOGETHER WITH A PROPOSED 20-FOOT WIDE INGRESS-EGRESS AND UTILITY EASEMENT LYING AND BEING IN HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, BEING DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF THE MITERED INTERSECTION FORMED BY THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD (HAVING A 50-FOOT RIGHT-OF-WAY) AND THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 (ALSO KNOWN AS WILLIAM HILTON PARKWAY AND HAVING A VARIABLE WIDTH RIGHT-OF-WAY); THENCE LEAVING SAID INTERSECTION AND RUNNING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278, NORTH 89°08'28" WEST, 1459.82 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 AND RUNNING, NORTH 01°02'02" WEST, 102.52 FEET TO A POINT; THENCE, 44.70 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 200.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 07°26'12" WEST, 44.61 FEET TO A POINT; THENCE, NORTH 13°50'21" WEST, 188.36 FEET TO A POINT; THENCE, 143.17 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 424.67 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 02°16'00" WEST, 142.49 FEET TO A POINT; THENCE, 72.62 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 49.07 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 49°47'22" EAST, 66.18 FEET TO A POINT; THENCE, SOUTH 87°48'44" EAST, 73.38 FEET TO A POINT; THENCE, NORTH 82°27'45" EAST, 100.98 FEET TO A POINT; THENCE, 29.60 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 89°03'30" EAST, 29.49 FEET TO A POINT; THENCE, SOUTH 80°34'45" EAST, 54.46 FEET TO A POINT; THENCE, 40.01 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 100.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 87°57'27" EAST, 39.75 FEET TO A POINT; THENCE, NORTH 79°24'10" EAST, 81.43 FEET TO A POINT; THENCE, NORTH 00°09'04" EAST, 22.27 FEET TO THE ENDING AT A POINT.

PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF THE MITERED INTERSECTION FORMED BY THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF JENKINS ISLAND ROAD (HAVING A 50-FOOT RIGHT-OF-WAY) AND THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 (ALSO KNOWN AS WILLIAM HILTON PARKWAY AND HAVING A VARIABLE WIDTH RIGHT-OF-WAY); THENCE LEAVING SAID INTERSECTION AND RUNNING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278, NORTH 89°08'28" WEST, 1459.82 FEET TO A POINT; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 278 AND RUNNING, NORTH 01°02'02" WEST, 102.52 FEET TO A POINT; THENCE, 44.70 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 200.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 07°26'12" WEST, 44.61 FEET TO A POINT; THENCE, NORTH 13°50'21" WEST, 188.36 FEET TO A POINT; THENCE, 143.17 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 424.67 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 02°16'00" WEST, 142.49 FEET TO A POINT; THENCE, 72.62 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 49.07 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 49°47'22" EAST, 66.18 FEET TO A POINT; THENCE, SOUTH 87°48'44" EAST, 73.38 FEET TO A POINT; THENCE, NORTH 82°27'45" EAST, 100.98 FEET TO A POINT; THENCE, 29.60 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 89°03'30" EAST, 29.49 FEET TO A POINT; THENCE, SOUTH 80°34'45" EAST, 54.46 FEET TO A POINT; THENCE, 40.01 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 100.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 87°57'27" EAST, 39.75 FEET TO A POINT; THENCE, NORTH 79°24'10" EAST, 81.43 FEET TO A POINT; THENCE, NORTH 00°09'04" EAST, 22.27 FEET TO A POINT; THENCE, NORTH 89°50'56" WEST, 60.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 00°09'04" EAST, 70.00 FEET TO A POINT; THENCE, SOUTH 89°50'56" EAST, 70.00 FEET TO A POINT; THENCE, SOUTH 00°09'04" WEST, 70.00 FEET TO A POINT; THENCE, NORTH 89°50'56" WEST, 70.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.1125 ACRES (4,900 SQUARE FEET), MORE OR LESS.



NO.	DATE	REVISION
1	12/07/2011	REVISE LEASE - CLC
2	01/18/2012	ADD TREE LOCATIONS

EASEMENT SURVEY PREPARED BY:

**POINT TO POINT
LAND SURVEYORS**

810 Jackson Street
Locust Grove, Georgia 30248
(p) 678.565.4440 (f) 678.565.4497
(w) pointtopointsurvey.com



EASEMENT SURVEY PREPARED FOR:



"HHI_BIC_35"

**SITE NO.
410-441**

HILTON HEAD ISLAND
BEAUFORT COUNTY
SOUTH CAROLINA

DRAWN BY: NRW	SHEET:
CHECKED BY: MW	3
APPROVED: C. INER	
DATE: 14 NOVEMBER, 2011	
P2P JOB #: 2011.716	OF 3

GENERAL NOTES:

1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
17. FOR ITEMS THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, SEE "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWING PACKAGE.
18. PERMITS: OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
20. REFER TO SITE CIVIL SPECIFICATIONS SECTION 13000 - REFERENCE STANDARDS
21. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

EXCAVATION & GRADING NOTES:

1. ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND, GRAVEL, OR SOFT SHALE;
 - FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS;
 - IN LAYERS AND COMPACTED.
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. FLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.

LEGEND

- X — FENCE
- 550 — CONTOUR LINE
- - - - - PROPERTY LINE / ROW
- - - - - LEASE AREA
- - - - - EASEMENT
- DISCONNECT SWITCH
- Ⓜ METER
- ⤵ CIRCUIT BREAKER
- ⊗ CODED NOTE NUMBER
- ⊙ CHEMICAL GROUND ROD
- ⊗ GROUND ROD
- ⊗ GROUND ROD WITH INSPECTION SLEEVE
- CADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- G — GROUND WIRE



DESCRIPTION:	DATE	NUM	ISSUED FOR REVIEW	ISSUED FOR ZONING SUBMITTAL
	1/24/12	A		
	2/1/12	O		

410-441

GENERAL NOTES

DESIGNED: A.JB
DRAWN: A.JB
CHECKED: PWM

JOB #: TCD136

C-1



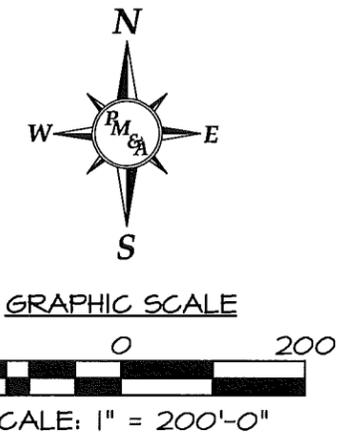
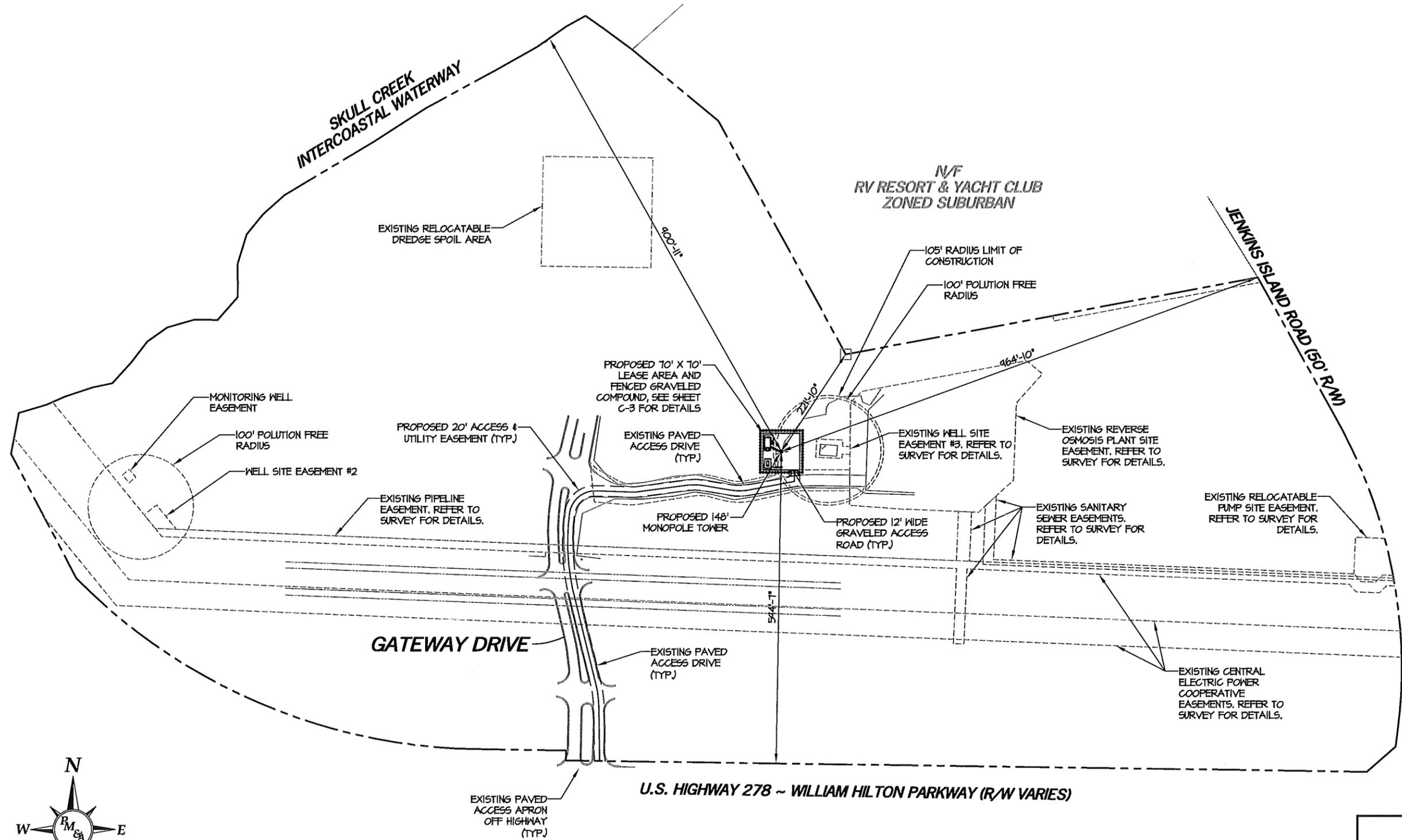


NUM	DATE	DESCRIPTION
A	1/24/12	ISSUED FOR REVIEW
O	2/1/12	ISSUED FOR ZONING SUBMITTAL

410-441
OVERALL SITE PLAN

DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: P.W.M.

JOB #: TCD136
C-2



OVERALL SITE PLAN
 SCALE: 1" = 200'-0"



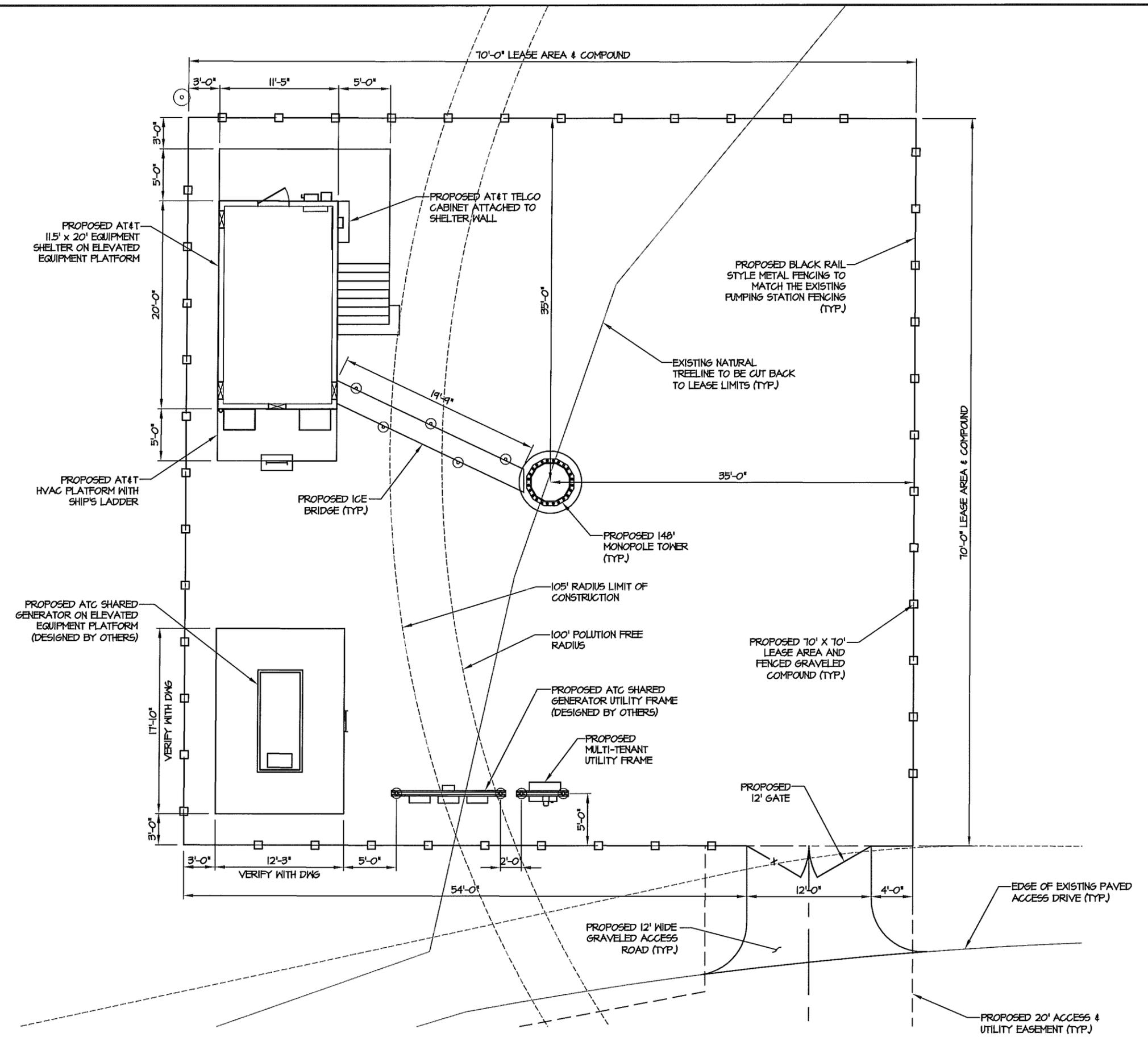


NUM	DATE	DESCRIPTION
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

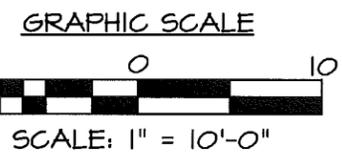
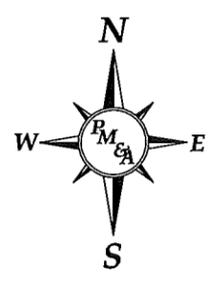
410-441
DETAILED SITE PLAN

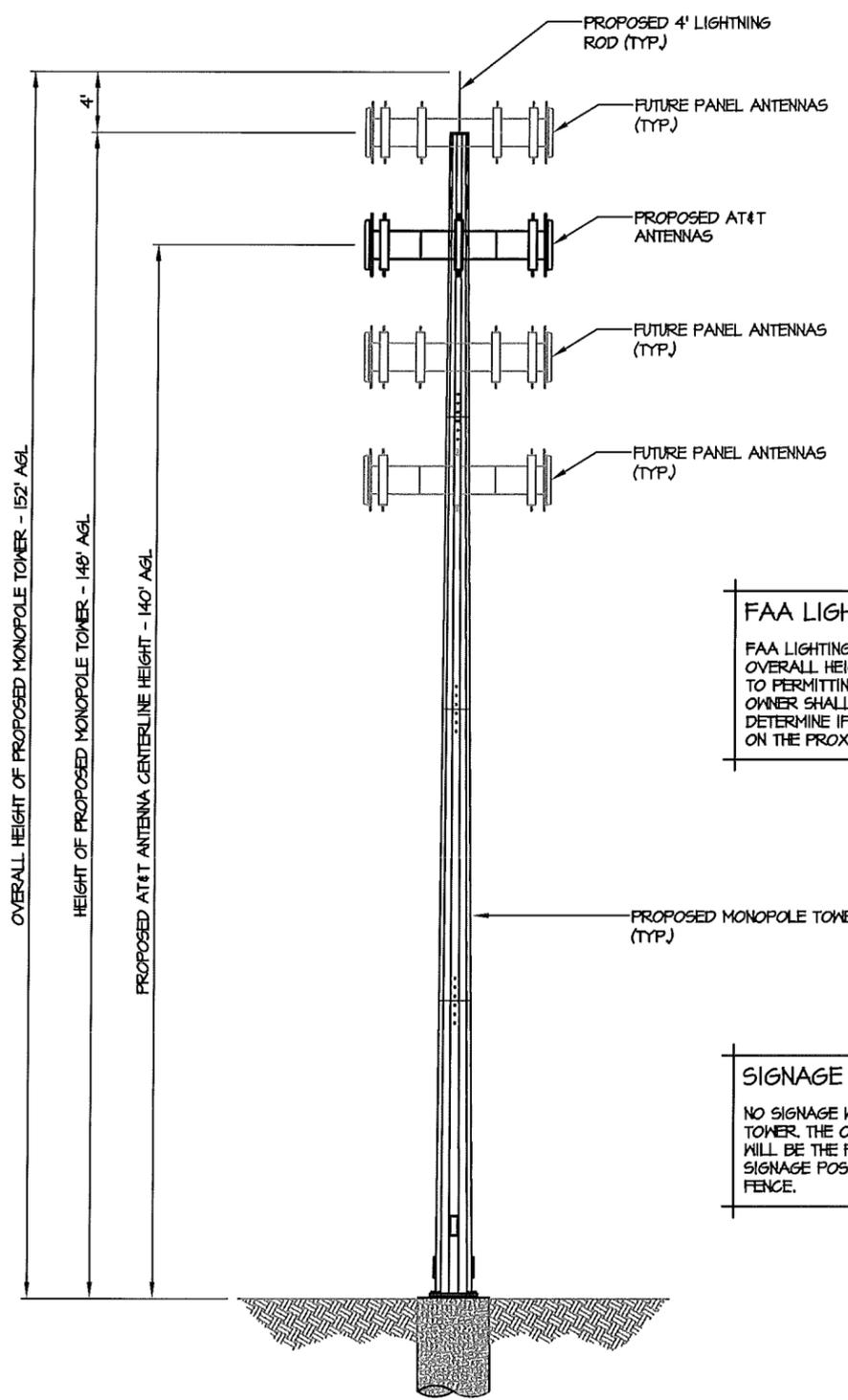
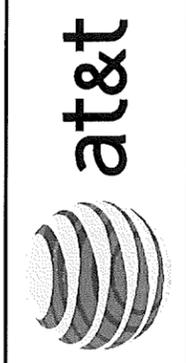
SITE ID:	410-441
DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TCD136

C-3



DETAILED SITE PLAN
 SCALE: 1" = 10'-0"



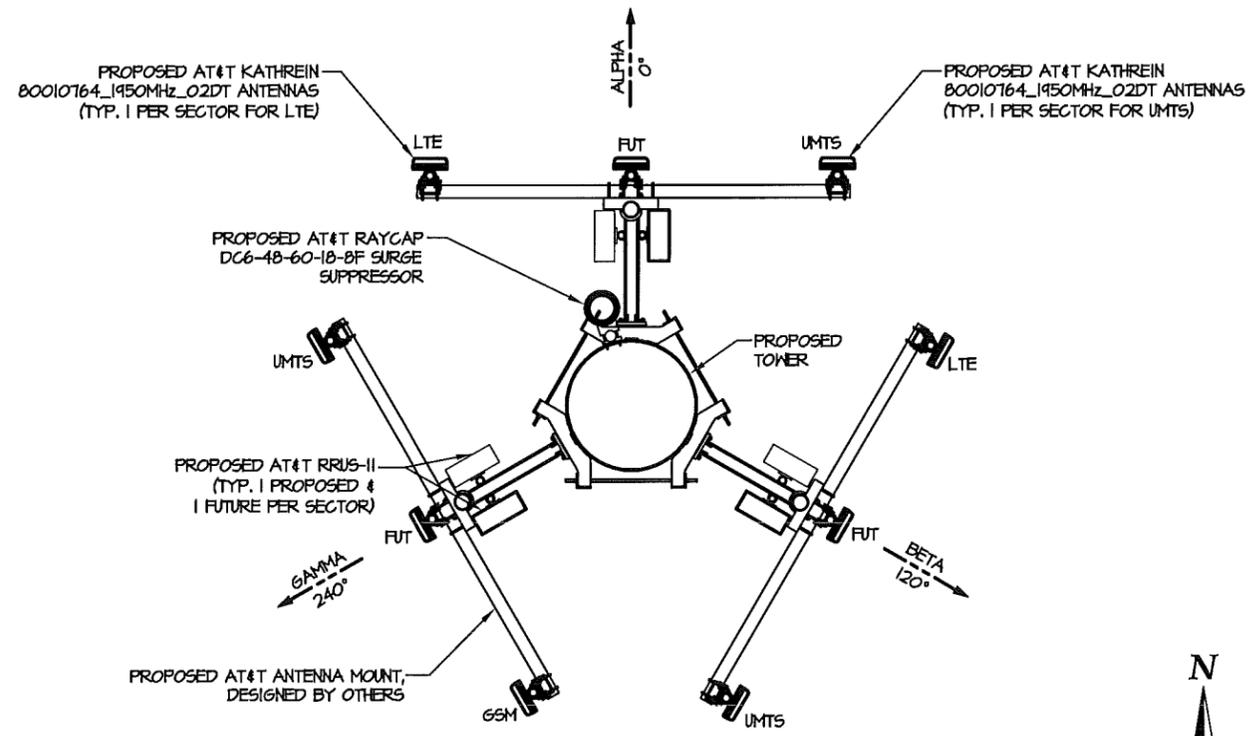


FAA LIGHTING NOTE:
 FAA LIGHTING IS NOT REQUIRED BASED ON THE OVERALL HEIGHT OF THE PROPOSED TOWER. PRIOR TO PERMITTING AND CONSTRUCTION THE TOWER OWNER SHALL CONDUCT AN FAA STUDY TO DETERMINE IF TOWER LIGHTING IS REQUIRED BASED ON THE PROXIMITY TO NEARBY AIRPORTS.

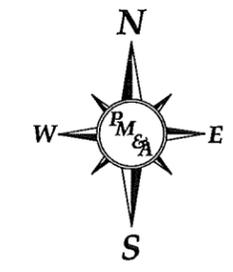
SIGNAGE NOTE:
 NO SIGNAGE WILL BE POSTED ON THE PROPOSED TOWER. THE ONLY SITE SIGNAGE FOR THIS PROJECT WILL BE THE FCC AND OSHA REQUIRED SAFETY SIGNAGE POSTED ON THE PROPOSED CHAIN LINK FENCE.

TOWER ELEVATION
 NTS

REFER TO THE RFDS ON SHEET E-6: GA_410_441_CCO_2413000662_10153578_012612_0.3



ANTENNA ORIENTATION DETAIL
 NTS



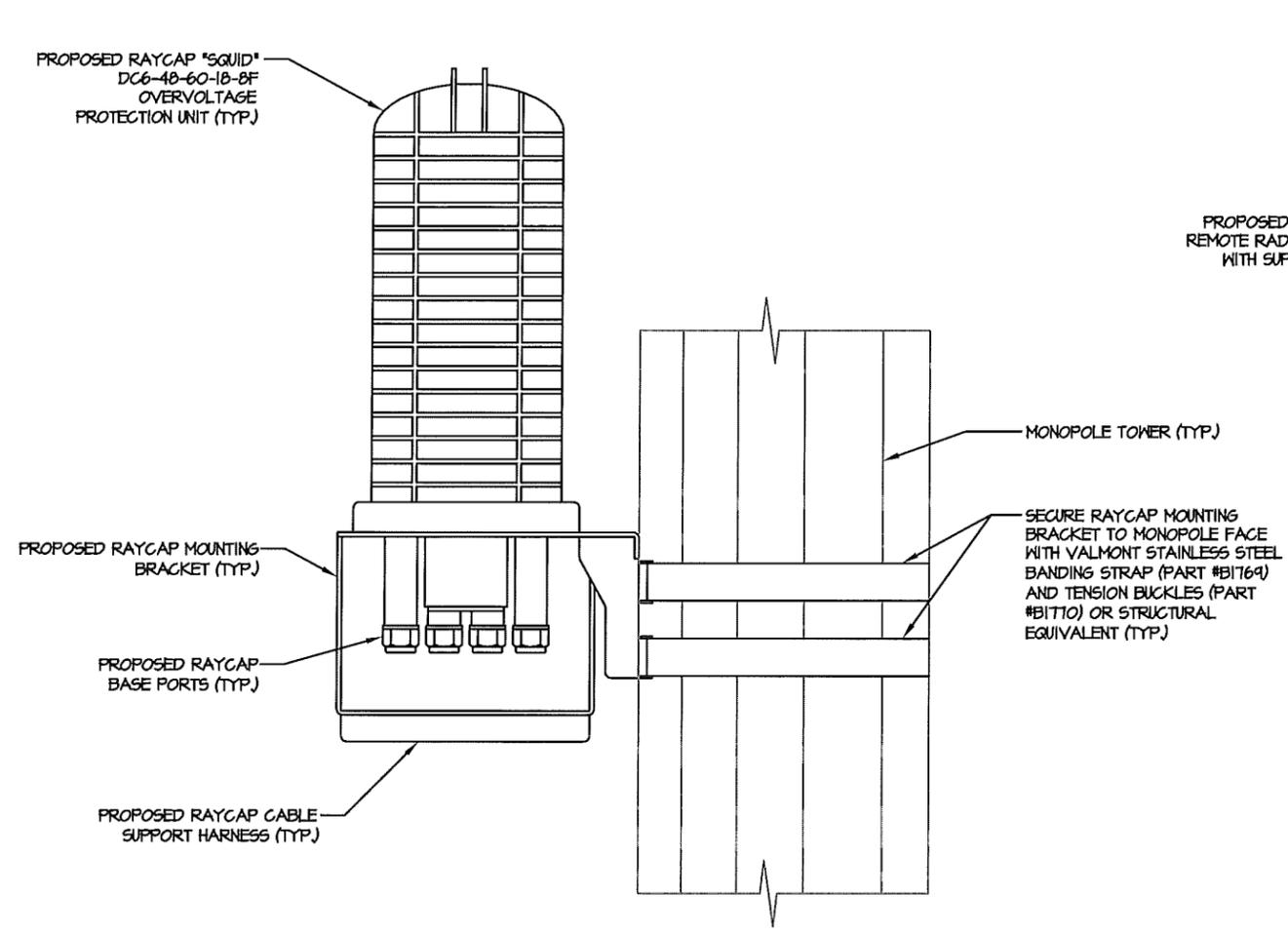
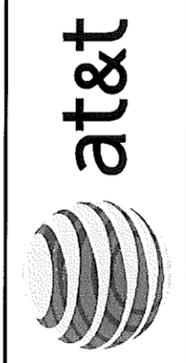
NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441
TOWER ELEVATION AND DETAILS

DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM
 JOB #: TCD136

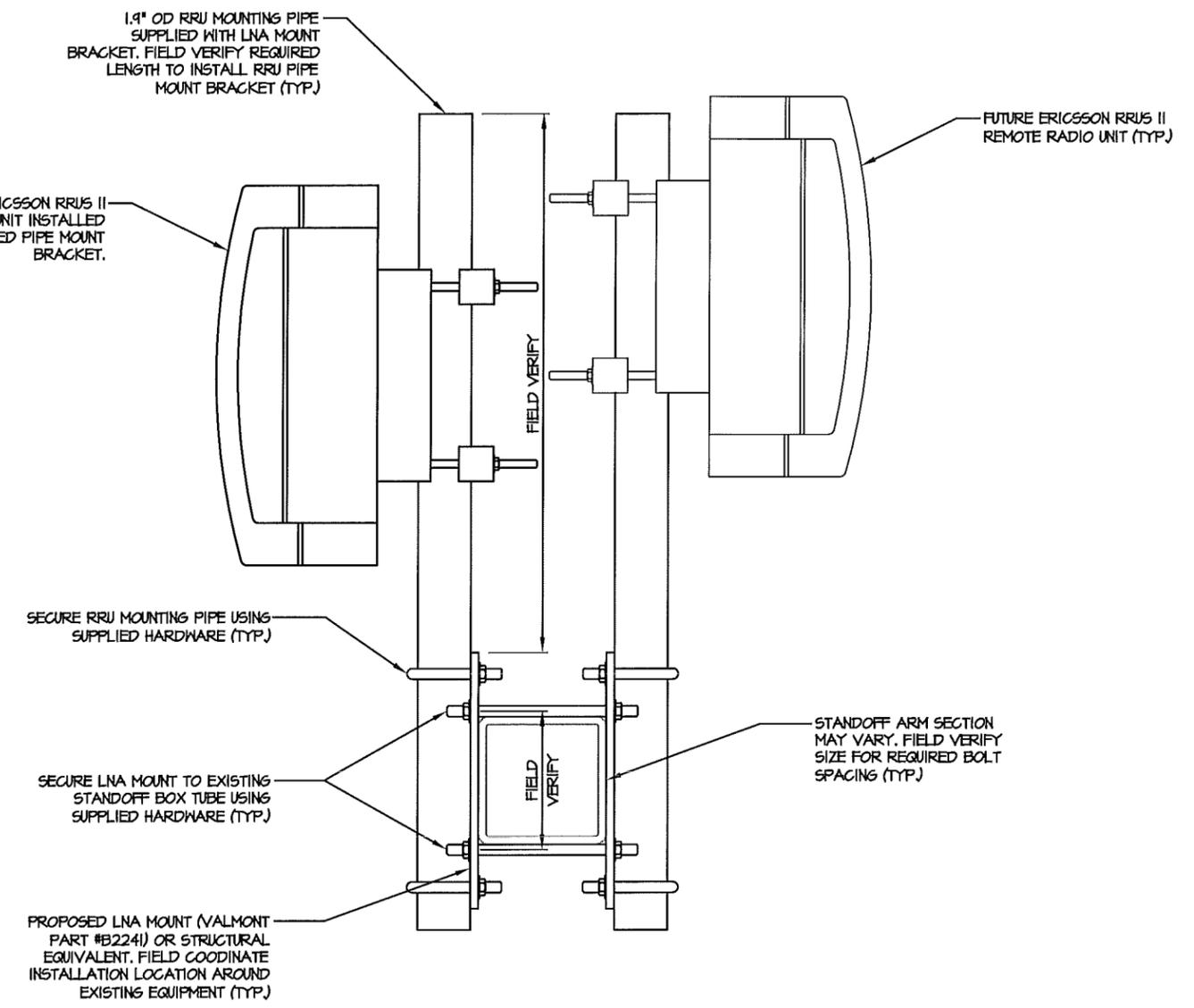
C-4





ELEVATION VIEW

RAYCAP SQUID MOUNT DETAIL
 NOT TO SCALE



ELEVATION VIEW

RRUS II MOUNT DETAIL
 NOT TO SCALE

NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441

**LTE RRU & SQUID
 MOUNTING DETAILS**



DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: PWM

JOB #: TCD136

C-4A

DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED

MAINTENANCE STATEMENT
EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION

Co CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

Sd1 TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.

Ds2 DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.

Ds3 DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.

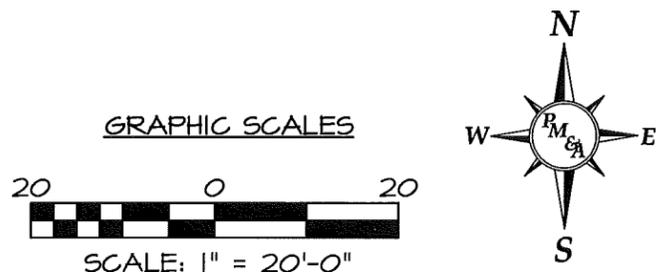
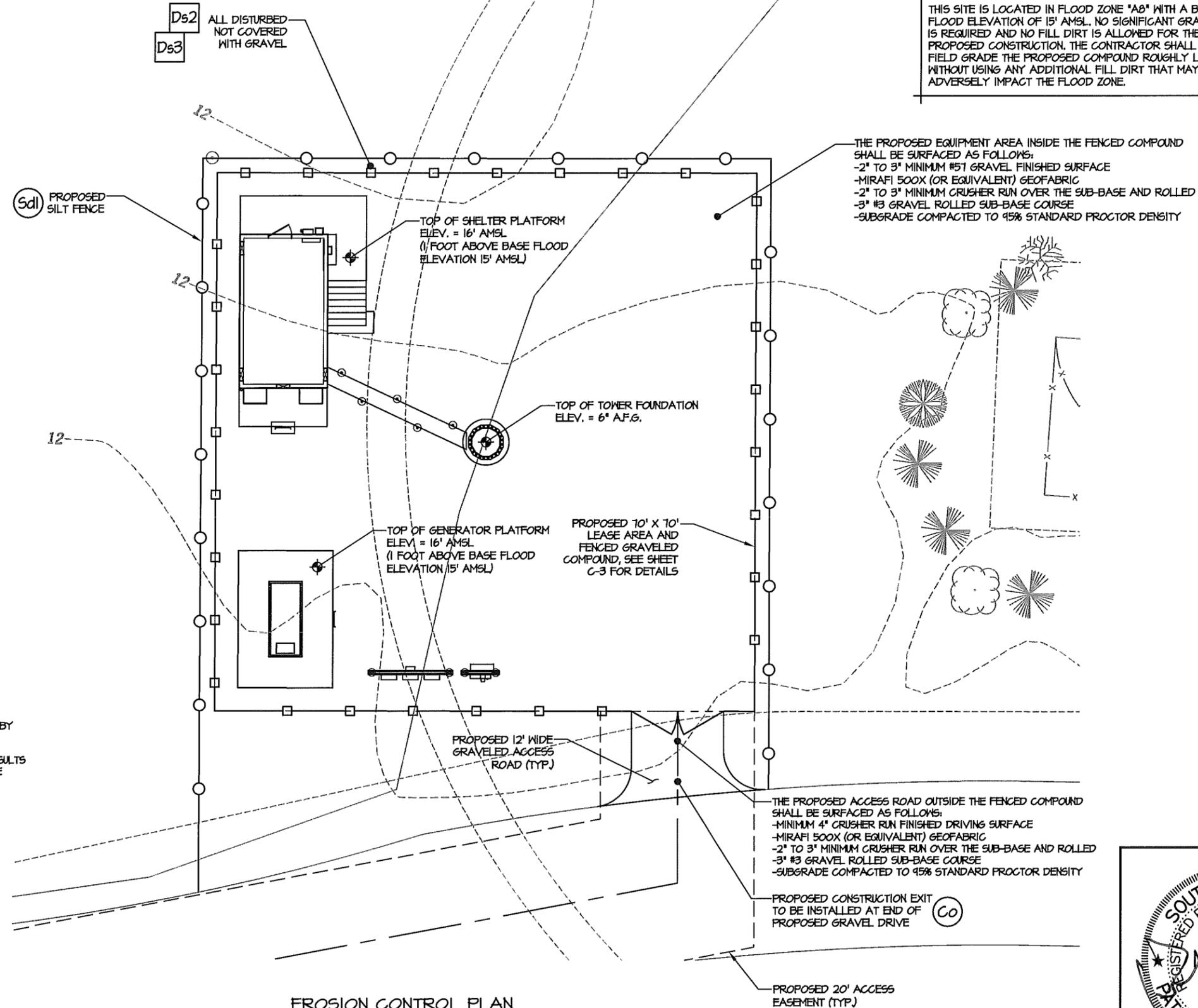
Du DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

AMERICAN TOWER GRAVEL SURFACING NOTES:

1. THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
-MINIMUM 4" CRUSHER RUN FINISHED DRIVING SURFACE
-MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
-2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
-3" #3 GRAVEL ROLLED SUB-BASE COURSE
-SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
2. THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
-2" TO 3" MINIMUM #51 GRAVEL FINISHED SURFACE
-MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
-2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
-3" #3 GRAVEL ROLLED SUB-BASE COURSE
-SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
3. ALL EXISTING SUBGRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED TO 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T99.
4. THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUBGRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO AMERICAN TOWER.

FLOOD PLAIN NOTE:

THIS SITE IS LOCATED IN FLOOD ZONE "AB" WITH A BASE FLOOD ELEVATION OF 15' AMSL. NO SIGNIFICANT GRADING IS REQUIRED AND NO FILL DIRT IS ALLOWED FOR THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL FIELD GRADE THE PROPOSED COMPOUND ROUGHLY LEVEL WITHOUT USING ANY ADDITIONAL FILL DIRT THAT MAY ADVERSELY IMPACT THE FLOOD ZONE.



EROSION CONTROL PLAN
SCALE: 1" = 20'-0"



NUM	DATE	DESCRIPTION
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441
GRADING, SEDIMENT & EROSION CONTROL PLAN



DESIGNED: A.JB
DRAWN: A.JB
CHECKED: PWM

JOB #: TCD136

C-5



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

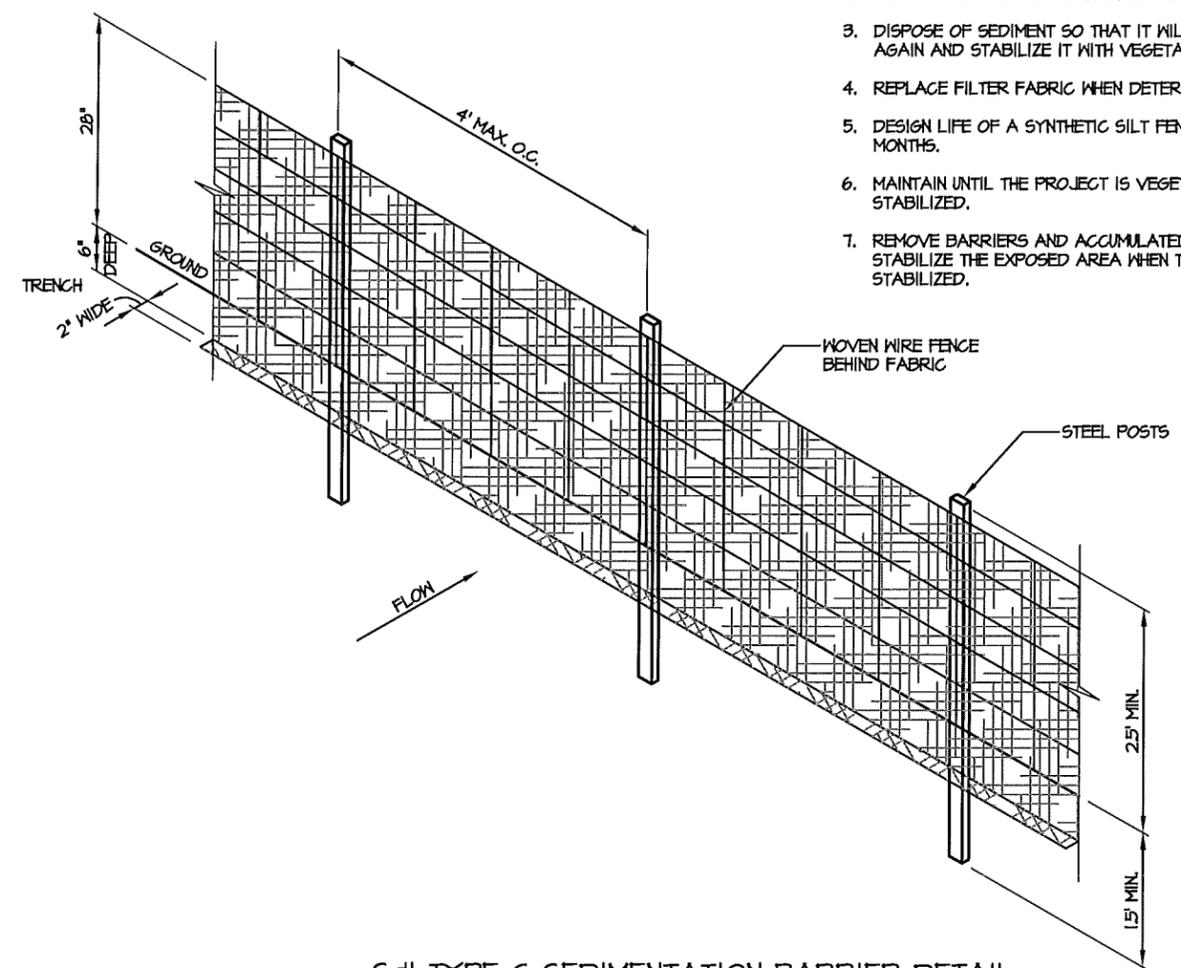
410-441
GRADING, SEDIMENT & EROSION CONTROL DETAILS

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TCD136
C-6

MAINTENANCE:

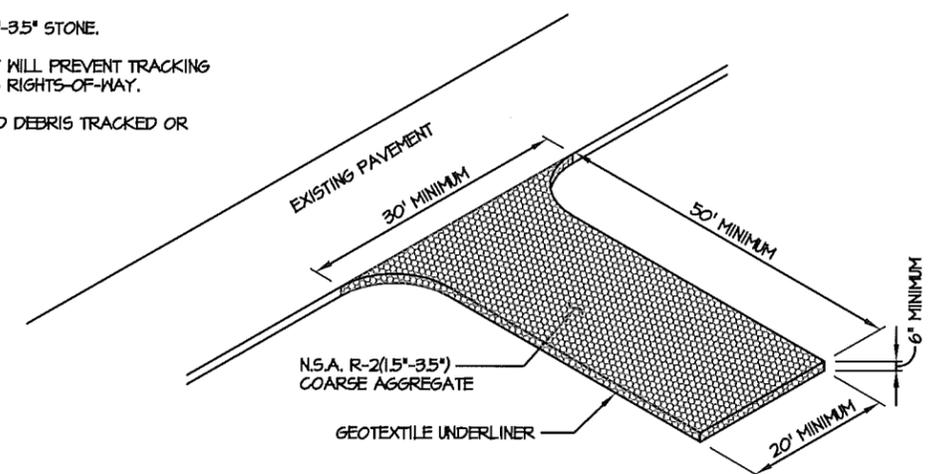
1. INSPECT BARRIERS AT THE END OF EACH WORKING DAY, OR AFTER EACH RAIN, AND REPAIR OR CLEAN AS NECESSARY.
2. REMOVE SEDIMENT FROM BARRIER WHEN TWO-THIRDS FULL.
3. DISPOSE OF SEDIMENT SO THAT IT WILL NOT ENTER THE BARRIER AGAIN AND STABILIZE IT WITH VEGETATION.
4. REPLACE FILTER FABRIC WHEN DETERIORATED.
5. DESIGN LIFE OF A SYNTHETIC SILT FENCE IS APPROXIMATELY 6 MONTHS.
6. MAINTAIN UNTIL THE PROJECT IS VEGETATED OR OTHERWISE STABILIZED.
7. REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.



SdI TYPE C SEDIMENTATION BARRIER DETAIL
 NOT TO SCALE

MAINTENANCE:

1. PERIODICALLY DRESS WITH 1.5"-3.5" STONE.
2. MAINTAIN IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.



Co CONSTRUCTION EXIT DETAIL
 NOT TO SCALE





PIEDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RYE GRASS	40-50 LB.	UNHULLED BERMUDA ² SERICEA LESPEDEZA ²	8-10 LB. 30-40 LB. ¹
2. FEBRUARY			UNHULLED BERMUDA ² SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZA WEEPING LOVE GRASS	2-3 BU. 20-25 LB. 4-6 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
4. APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN ANNUAL	2-3 BU. 30-40 LB. 20-25 LB. 35 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
5. MAY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.		
8. AUGUST	RYE GRASS WEEPING LOVE GRASS	40-50 LB. 4-6 LB.		
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHULLED BERMUDA ² SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
12. DECEMBER	RYE RYE GRASS WHEAT	2-3 BU. 40-50 LB. 2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.

¹ USE A MINIMUM OF 40 LBS. SCARIFIED SEED. THE REMAINDER MAY BE UNSCARIFIED, CLEAN HULLED SEED.
² USE EITHER COMMON SERALA OR INTERSTATE SERICEA LESPEDEZA.

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY) OR WOOD CELLULOSE FIBER MULCH	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE 1000 LBS./ACRE	
SERICEA LESPEDEZA, SCARIFIED WEEPING LOVE GRASS, OR COMMON BERMUDA, HULLED	60 LBS. 4 LBS. 6 LBS.	3/1 - 6/15
FESCUE SERICEA LESPEDEZA, UNSCARIFIED	40 LBS. 60 LBS.	9/1 - 10/31
FESCUE SERICEA LESPEDEZA, UNSCARIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%)	300 LBS./ACRE
-------------------------------------	---------------

C. SECOND-YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT)	500 LBS./ACRE
------------------------------------	---------------

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT: GRADE, SHAPE, AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY)	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE	
HULLED COMMON BERMUDA GRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	9/1 - 10/31
FESCUE RYE GRASS	50 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%)	300 LBS./ACRE
-------------------------------------	---------------

C. SECOND-YEAR TREATMENT:

FERTILIZER (5-10-15 OR EQUIVALENT)	800 LBS./ACRE
------------------------------------	---------------

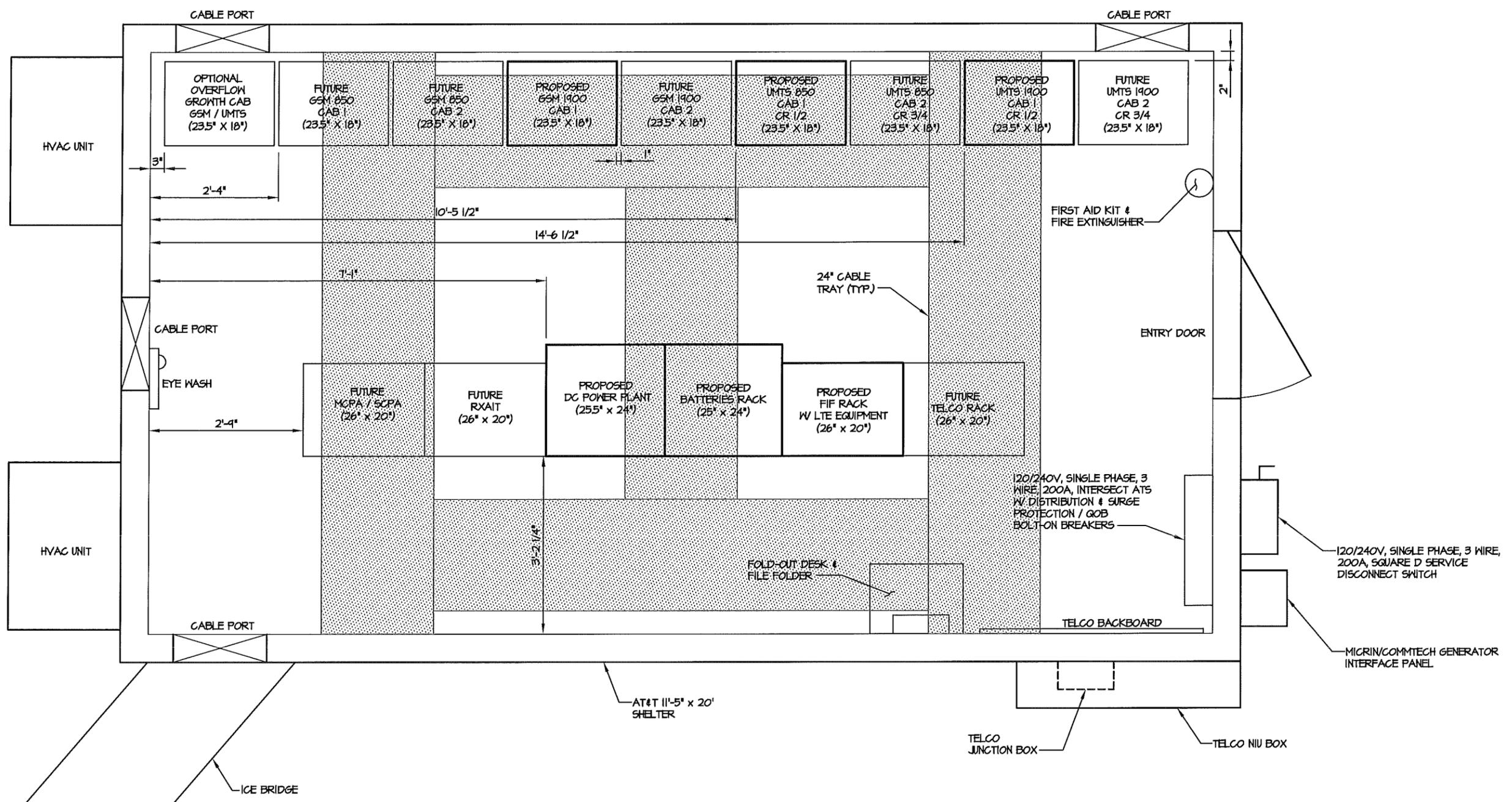
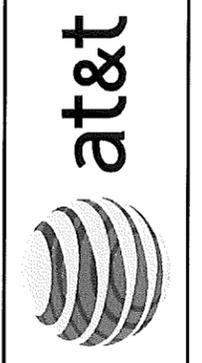
NUM	DATE	DESCRIPTION:	ISSUED FOR REVIEW		ISSUED FOR ZONING SUBMITTAL	
			1/24/12	2/7/12		
A	0					

410-441
GRADING, SEDIMENT & EROSION CONTROL VEGETATION SPECS

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TCD136

C-7





* SEE BUILDING MANUFACTURER'S DRAWINGS FOR ADDITIONAL DETAILS.

EQUIPMENT LAYOUT
 SCALE: 1" = 2'-0"



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

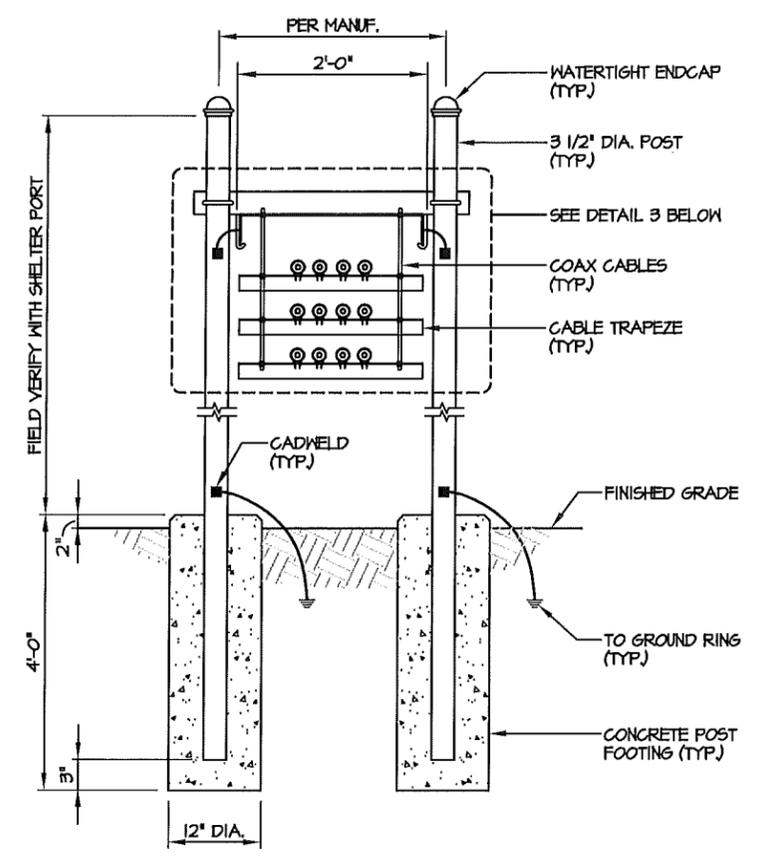
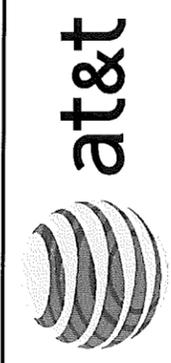
410-441

EQUIPMENT LAYOUT

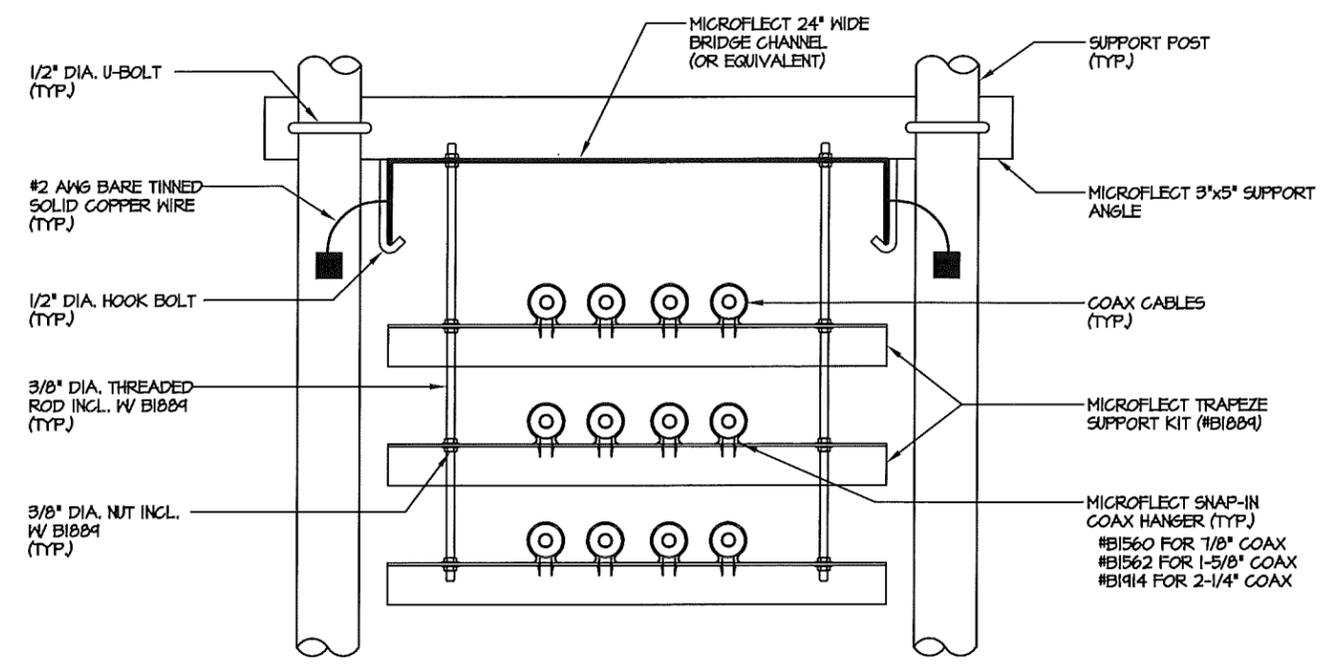
SITE: **C-8**

DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM

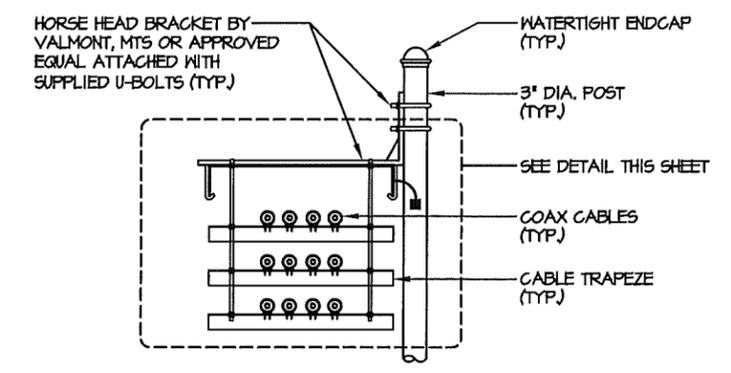
JOB #: TCD136



ICE BRIDGE SECTION
NOT TO SCALE



COAX CABLE TRAPEZE DETAIL
NOT TO SCALE



ICE BRIDGE SECTION (ALTERNATE HORSE HEAD)
NOT TO SCALE

NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

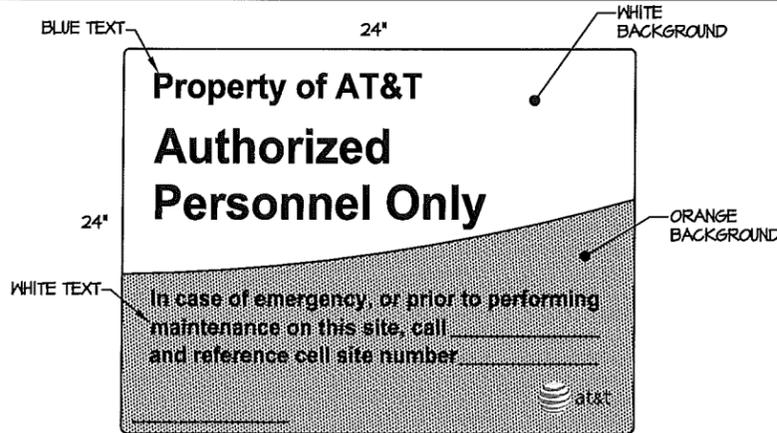
410-441

COAX ICE BRIDGE DETAILS

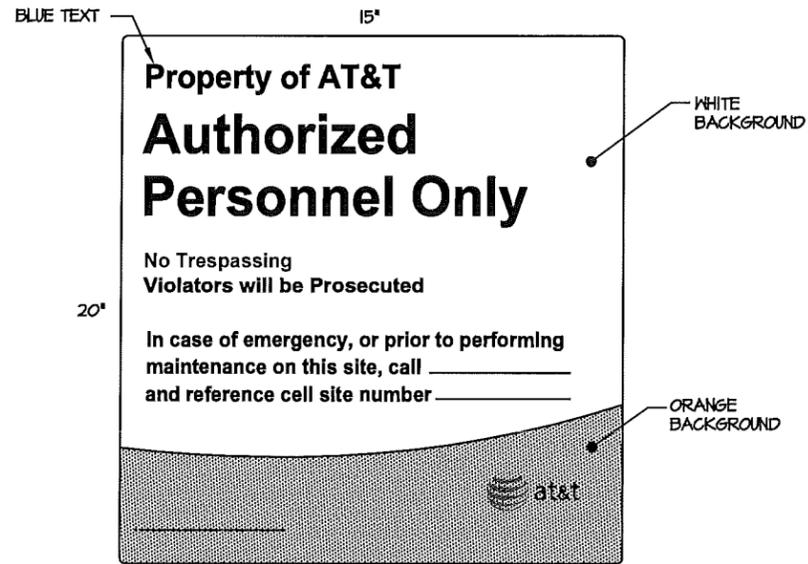


DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: P.W.M.

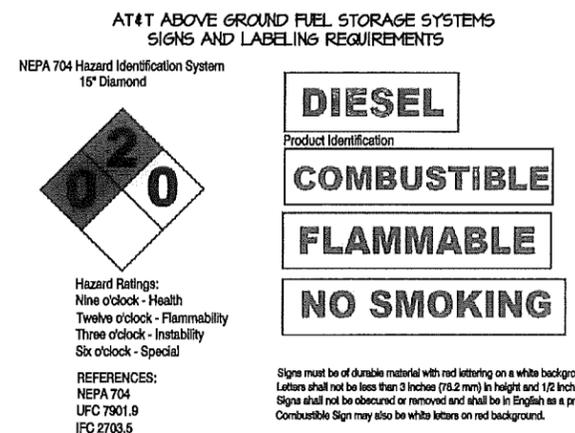
JOB #: TCD136



PROPERTY OF AT&T
 WHITE/ORANGE BACKGROUND, BLUE/WHITE LETTERING
 MOUNTING LOCATION: ALL 4 SIDES OF FENCE (IF AT&T OWNED SITE)
 QUANTITY: 4



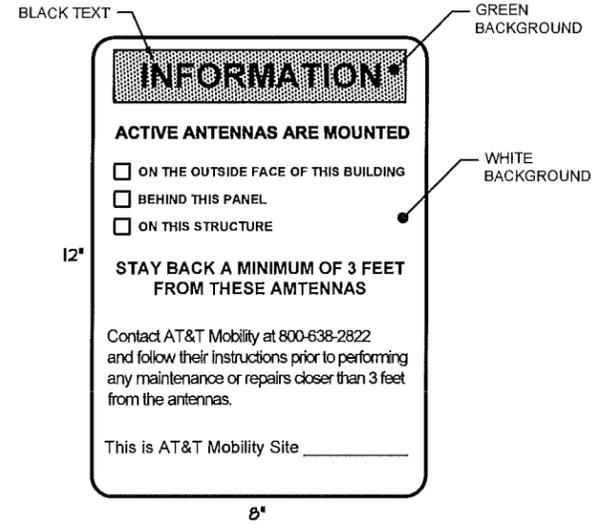
PROPERTY OF AT&T - DOOR
 WHITE/ORANGE BACKGROUND, BLUE/WHITE LETTERING
 MOUNTING LOCATION: SHELTER DOOR
 QUANTITY: 1



HAZARDOUS MATERIALS
 MOUNTING LOCATION: FUEL STORAGE TANK / GENERATOR
 QUANTITY: 1



AUTHORIZED PERSONNEL SIGN
 WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: SHELTER DOOR & CABINET DOORS
 QUANTITY: PER NUMBER OF CABINET DOORS ON SITE



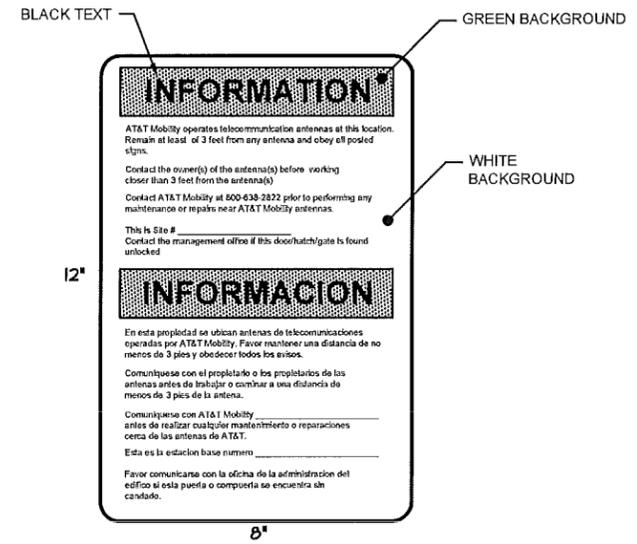
RF EXPOSURE INFORMATION SIGN
 WHITE/GREEN BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 2



DANGER NO TRESPASSING SIGN
 WHITE/BLACK BACKGROUND, BLACK/WHITE LETTERING
 MOUNTING LOCATION: ALL 4 SIDES OF FENCE (IF AT&T OWNED SITE)
 MOUNTING LOCATION: GATE (IF OWNED BY OTHERS)
 QUANTITY: 1

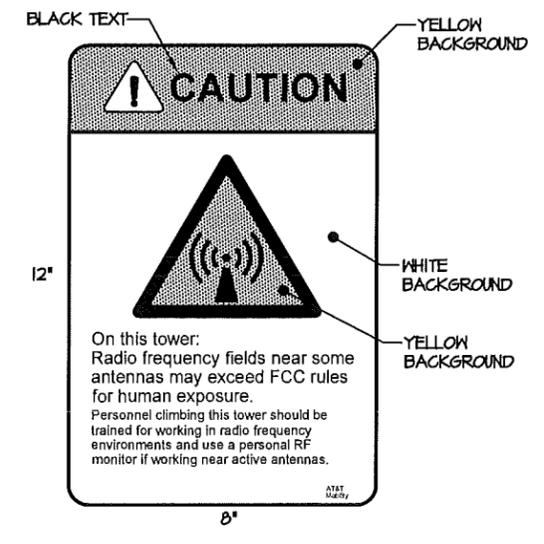


FCC REGISTRATION SIGN
 WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 2

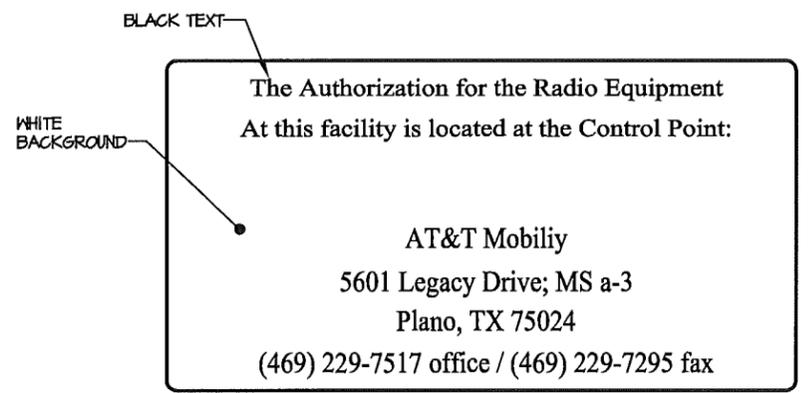


RF EXPOSURE INFORMATION SIGN
 WHITE/GREEN BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 2

- SIGNAGE NOTES:**
- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
 - SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 1 GAUGE ALUMINUM WIRE, HOG RINGS (FENCE) OR BRACKETS, WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
 - ADDITIONAL E911 ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
 - AT&T SITE # & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON THE EQUIPMENT CABINET WITH PERMANENT SET ADHESIVE. TWO SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SETS.



RF EXPOSURE CAUTION SIGN
 WHITE/YELLOW BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: BASE OF TOWER
 QUANTITY: 1



AUTHORIZATION FOR RADIO EQUIPMENT SIGN
 WHITE BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: SHELTER DOOR
 QUANTITY: 1



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441

SITE SIGNAGE

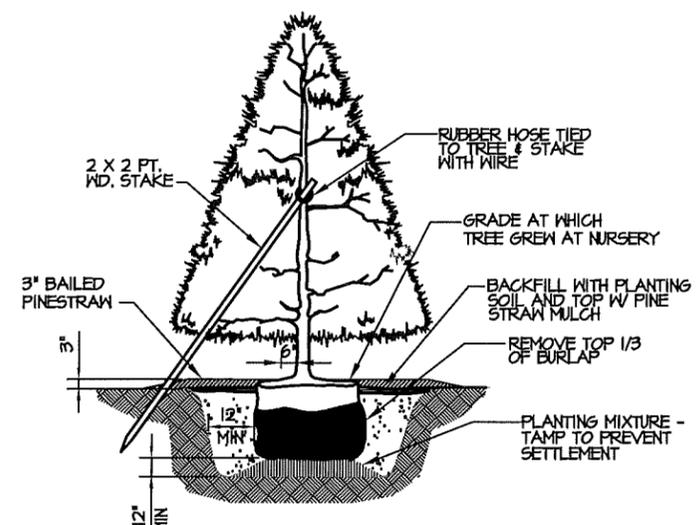
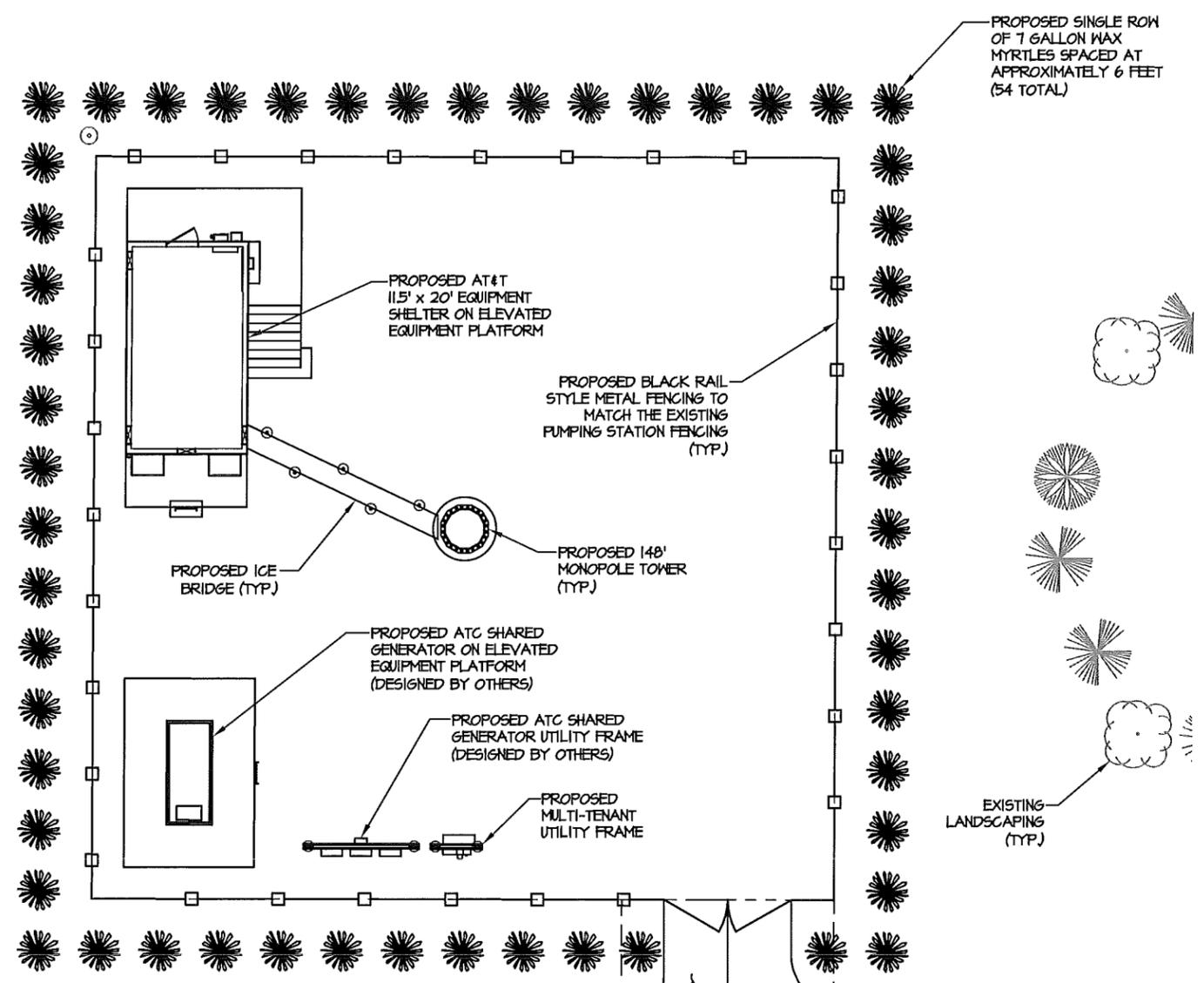
DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM

JOB #: TCD136

C-10

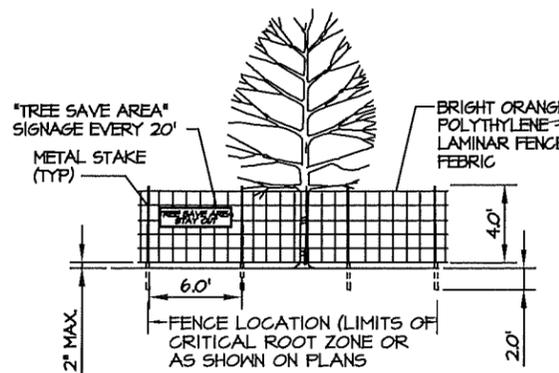
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

TOTAL AREA OF LANDSCAPE BUFFER: 3,080 SF - 0.070 ACRES			
PLANT LIST:			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
54	WAX MYRTLE	MORELLA CERIFERA	7 GALLON MIN. HEIGHT AT PLANTING
LANDSCAPE BUFFER SHALL BE GRASSED SIMILAR TO EXISTING SURROUNDING AREAS (TYP.)			



- NOTES:**
1. TOP OF ROOT FLARE SHALL BE 2" ABOVE GRADE.
 2. NO MULCH SHOULD BE WITHIN 6" OF THE BASE OF THE TRUNK.

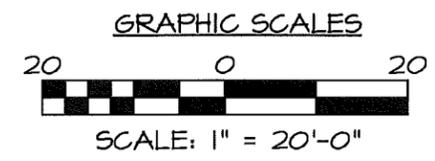
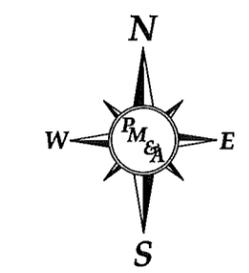
TREE PLANTING DETAIL
 NOT TO SCALE



- NOTES:**
- 1) ALL PARKING WILL OCCUR ON EXISTING DRIVE.
 - 2) THERE WILL BE NO BURNING OR BURIAL OF DEBRIS ON SITE.
 - 3) ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

TREE PROTECTION DETAIL
 NOT TO SCALE

LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441

LANDSCAPE PLAN

DATE: 1/24/12

DESIGNED: A.J.B.

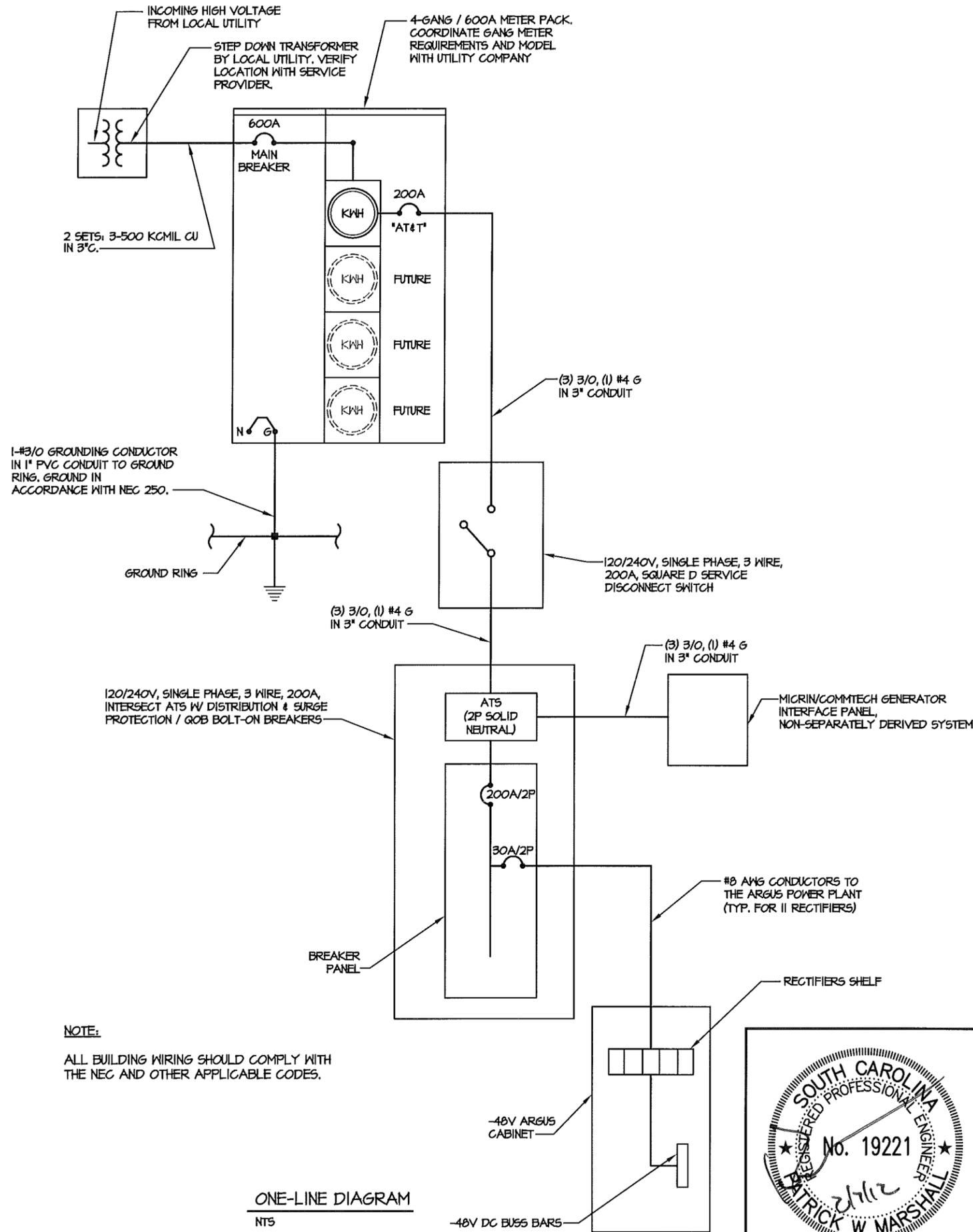
DRAWN: A.J.B.

CHECKED: P.W.M.

JOB #: TCD136

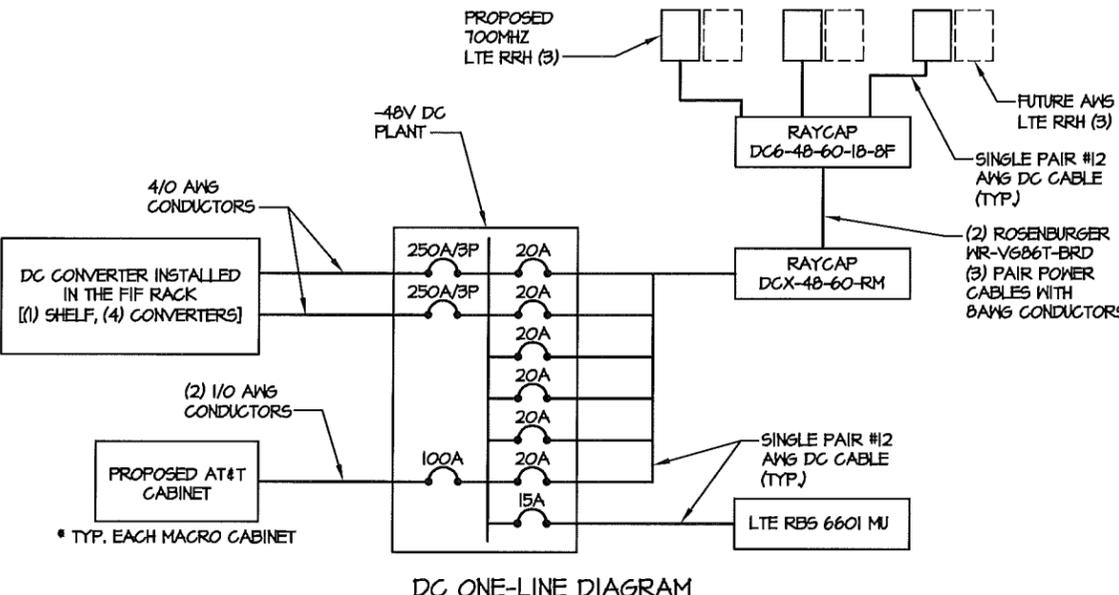
ELECTRICAL INSTALLATION NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATINGS, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATINGS, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION, WITH OUTER JACKET, LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (10°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND, DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENGAGED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL), AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (#P OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (#P OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGINGS ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



NOTE:
ALL BUILDING WIRING SHOULD COMPLY WITH THE NEC AND OTHER APPLICABLE CODES.

ONE-LINE DIAGRAM
NTS



DC ONE-LINE DIAGRAM



DESCRIPTION:	DATE	ISSUED FOR REVIEW	ISSUED FOR ZONING SUBMITTAL
	1/24/12		
	2/7/12		
NUM	A	O	

410-441

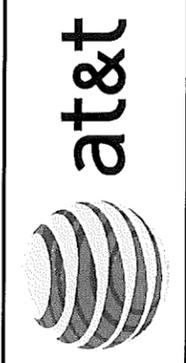
ELECTRICAL SPECS & ONE-LINE DIAGRAM

DESIGNED: A.JB
DRAWN: A.JB
CHECKED: PWM

JOB #: TCD136

E-1





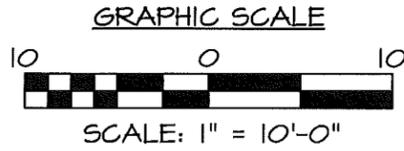
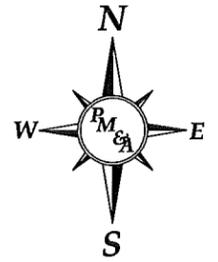
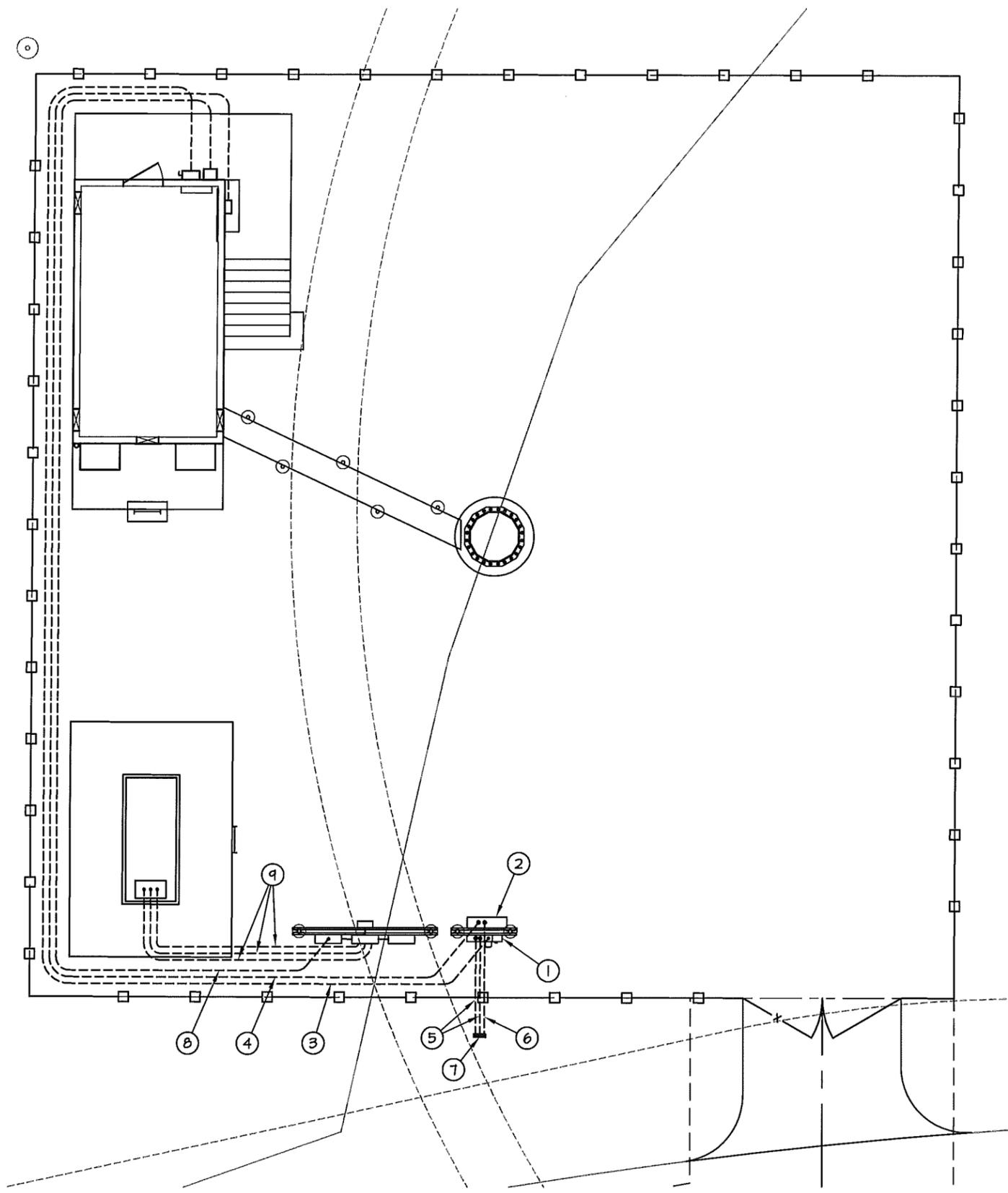
NUM	DATE	DESCRIPTION
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441
ELECTRICAL SITE PLAN

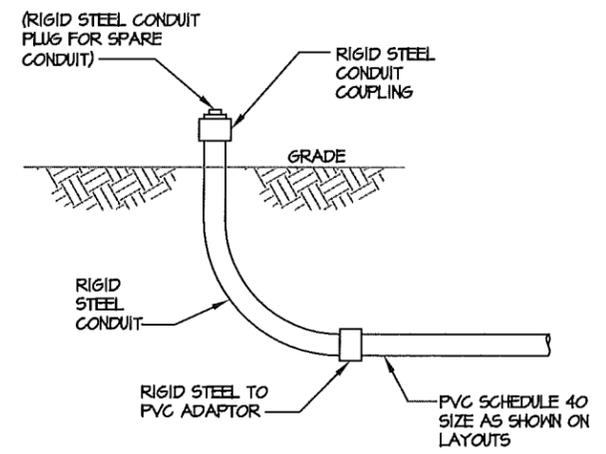
DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: PWM
 JOB #: TCD136
E-2

ELECTRICAL KEY NOTES:

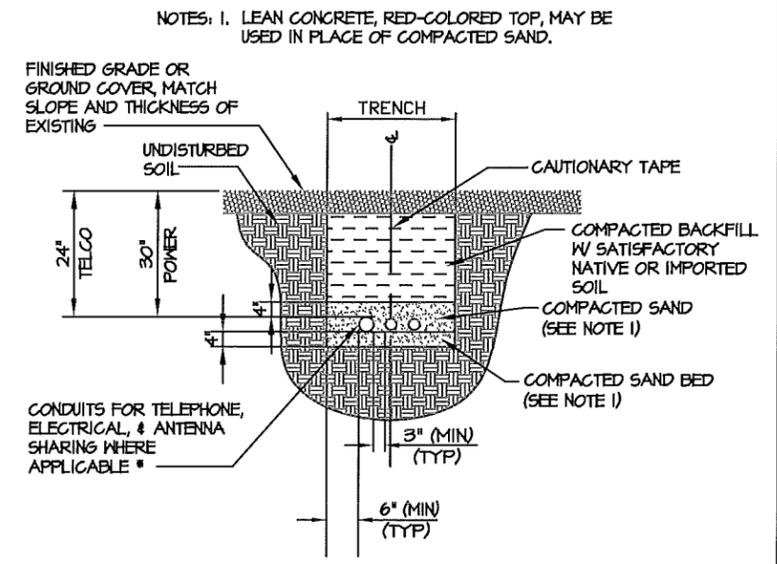
- 1 PROPOSED 4-GANG / 600A METER PANEL, SEE SHEET E-8 FOR MOUNTING DETAILS. SEE SHEET E-1 FOR ELECTRICAL ONE-LINE DIAGRAM.
- 2 PROPOSED 48"x48"x12" TELCO CABINET, SEE E-8 FOR MOUNTING DETAILS.
- 3 PROPOSED (3) 3/0, (1) #4 G IN 3" CONDUIT FROM THE METER TO THE DISCONNECT ON SHELTER.
- 4 PROPOSED 4" CONDUIT WITH (2) FULL STRINGS FROM THE MULTI-TENANT TELCO BOX TO THE AT&T SHELTER
- 5 PROPOSED (2) 4" PVC CONDUITS FOR POWER SERVICE.
- 6 PROPOSED (1) 4" PVC CONDUITS WITH FULLSTRINGS FOR TELCO SERVICE.
- 7 STUB UP CONDUITS A MINIMUM OF 2' ABOVE FINISHED GRADE AND CAP AT REQUIRED LOCATION. COORDINATE WITH UTILITY PROVIDER FOR FINAL CONNECTION TO EXISTING UTILITIES.
- 8 PROPOSED 2" PVC CONDUIT WITH (3) 3/0 + #4G FOR EMERGENCY POWER FROM ATC DISTRIBUTION PANEL (BY OTHERS) TO AT&T GENERATOR INTERFACE PANEL.
- 9 PROPOSED GENERATOR CONDUITS (BY OTHERS)



ELECTRICAL SITE PLAN
 SCALE: 1" = 10'-0"



UNDERGROUND CONDUIT STUB-UP
 NTS



* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

DIRECT BURIED CONDUIT
 NTS





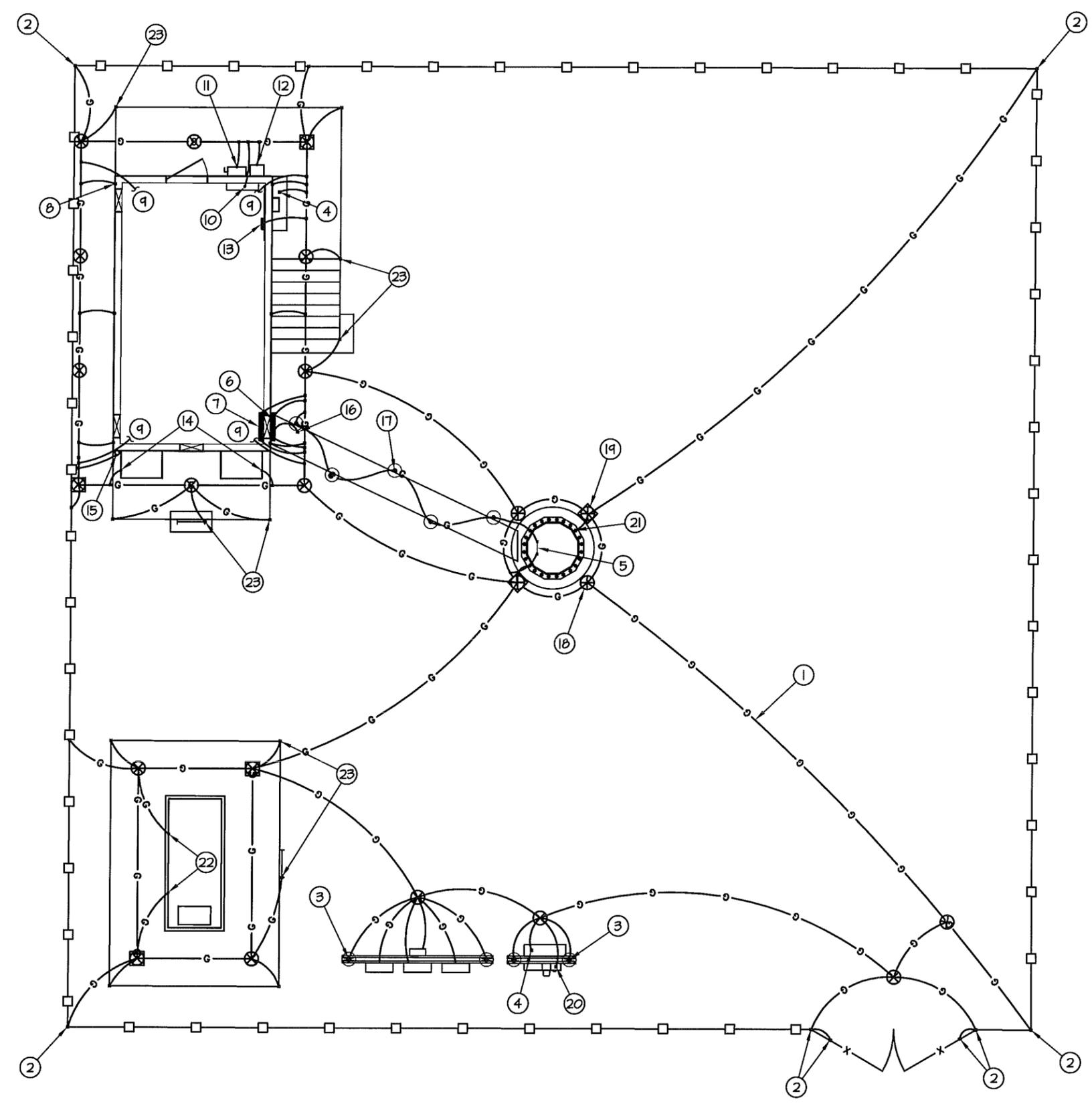
NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441
GROUNDING SITE PLAN
 SITE #:

DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: PWM

JOB #: TCD136
E-3

- ① #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
- ② BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELDED CONNECTION (TYP)
- ③ BOND ALL H-FRAME POSTS TO GROUND RING
- ④ BOND TELCO BUSS BAR TO GROUND RING
- ⑤ BOND TOWER MOUNTED GROUND BAR TO TOWER GROUND RING (TYP-2)
- ⑥ CONNECT EXTERIOR GROUND BAR (UNDER WAVEGUIDE PORT) TO NEW GROUND RING WITH #2 GROUND CONDUCTORS.
- ⑦ CONNECT MASTER GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑧ BOND EACH SHELTER TIE DOWN PLATE TO GROUND RING WITH CADWELDED.
- ⑨ PROVIDE GROUND LEADS FROM SHELTER HALO TO GROUND RING (4 PLACES). COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑩ PROVIDE GROUND LEAD FROM BUILDING 200A PANEL BOARD TO GROUND RING. COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑪ BOND DISCONNECT SWITCH TO GROUND RING.
- ⑫ BOND GENERATOR INTERFACE PANEL TO GROUND RING.
- ⑬ CONNECT TELCO GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑭ BOND HVAC UNITS TO GROUND RING (TYP.)
- ⑮ GROUND GPS ANTENNAS PER MANUFACTURER'S SPECIFICATIONS.
- ⑯ BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS. BOND FIRST AND LAST SECTION TO GROUND RING.
- ⑰ BOND EVERY ICE BRIDGE POST BASE TO GROUND RING WITH CADWELDED.
- ⑱ PROPOSED GROUND ROD (TYP).
- ⑲ PROPOSED GROUND ROD WITH INSPECTION WELL.
- ⑳ 1-#3/0 GROUNDING CONDUCTOR IN 1" PVC CONDUIT TO GROUND RING.
- ㉑ BOND TOWER BASE PLATE TO TOWER GROUND RING.
- ㉒ #2 AWG BARE TINNED SOLID COPPER WIRE. 2-HOLE LUG CONNECTION TO GENERATOR BASE FRAME, CADWELDED CONNECTION TO EXISTING GROUND RING (TYP.)
- ㉓ BOND THE BASE OF ALL VERTICAL STRUCTURAL STEEL MEMBERS AND STAIRS/LADDERS TO THE BURIED GROUND RING WITH A CADWELDED CONNECTION (TYP.)



GROUNDING PLAN
 SCALE: NTS



GROUNDING NOTES

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC AND AT&T ND-0007I.
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. TESTING SHALL BE IN ACCORDANCE WITH SPECIFICATION 24182-000-3PS-EG00-0000I. USE OF OTHER METHODS MUST BE PRE-APPROVED BY CONTRACTOR IN WRITING.
3. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS. WHEN ADDING ELECTRODES, CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE BETWEEN THE ADDED ELECTRODE AND ANY OTHER EXISTING ELECTRODE EQUAL TO THE BURIED LENGTH OF THE ROD. IDEALLY, CONTRACTOR SHALL STRIVE TO KEEP THE SEPARATION DISTANCE EQUAL TO TWICE THE BURIED LENGTH OF THE RODS.
4. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
5. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS PER NEC AND AT&T ND-0007I.
6. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
8. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
9. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
10. EACH INTERIOR BTS CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH #2 AWG STRANDED, GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES. EACH OUTDOOR CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE BURIED GROUND RING WITH # 2 AWG SOLID TIN-PLATED COPPER WIRE.
11. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TIN-PLATED COPPER UNLESS OTHERWISE INDICATED.
12. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS. HIGH PRESSURE CRIMP CONNECTORS MAY ONLY BE USED WITH WRITTEN PERMISSION FROM AT&T MARKET REPRESENTATIVE.
13. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
14. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPLIT BOLT CONNECTORS WHERE INDICATED IN THE DETAILS.
15. ON ROOFTOP SITES WHERE EXOTHERMIC WELDS ARE A FIRE HAZARD COPPER COMPRESSION CAP CONNECTORS MAY BE USED FOR WIRE TO WIRE CONNECTORS. 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS SHALL BE USED FOR CONNECTION TO ALL ROOFTOP BTS EQUIPMENT AND STRUCTURAL STEEL.
16. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR USING TWO HOLED MECHANICAL TYPE BRASS CONNECTORS AND STAINLESS STEEL HARDWARE.
17. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
18. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
19. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
20. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF THE BURIED GROUND RING WITH # 2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
21. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.
22. GROUND ALL RF EQUIPMENT INCLUDING BUT NOT LIMITED TO COAX, DIPLEXERS, SURGE ARRESTORS, TMA'S, ANTENNAS, & ANTENNA MASTS PER NEC AND AT&T ND-0007I.



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441

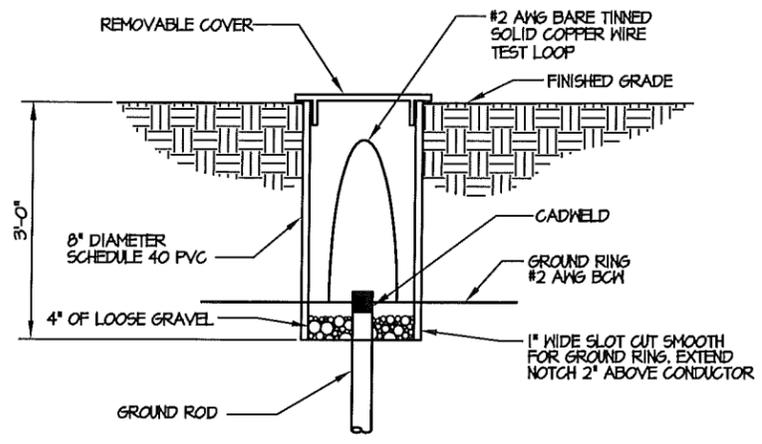
GROUNDING NOTES

DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: PWM

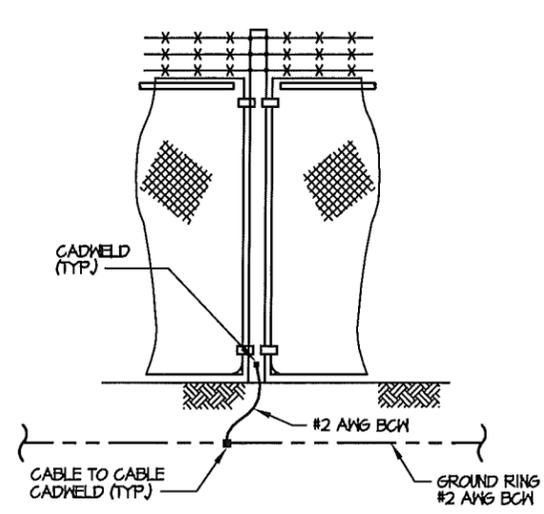
JOB #: TCD136

E-4

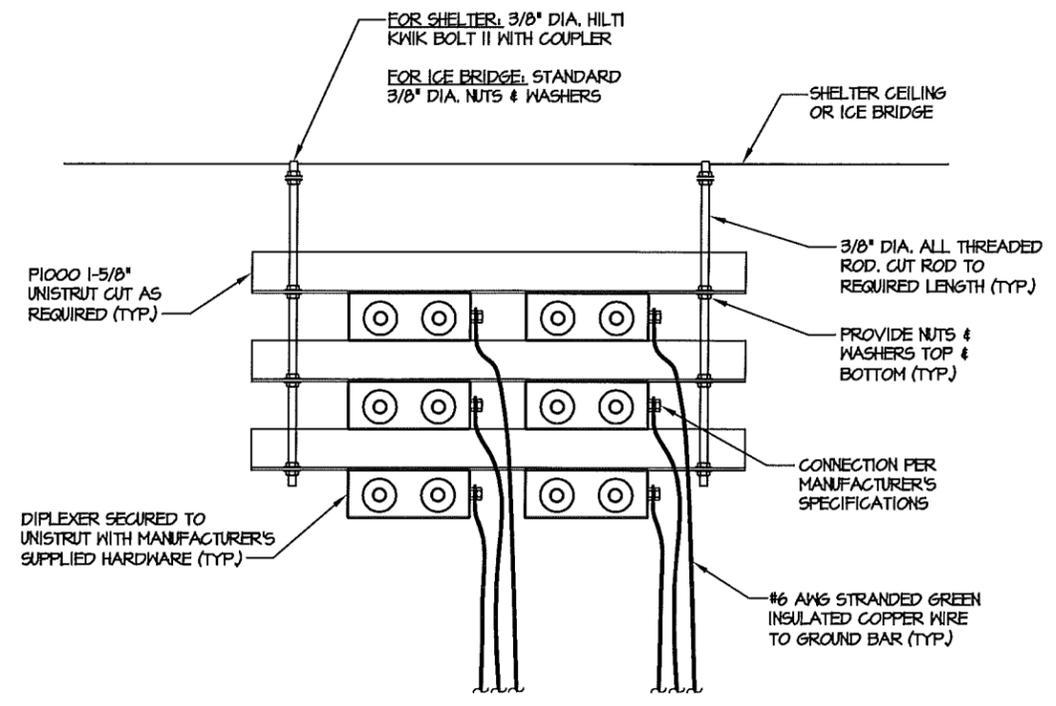




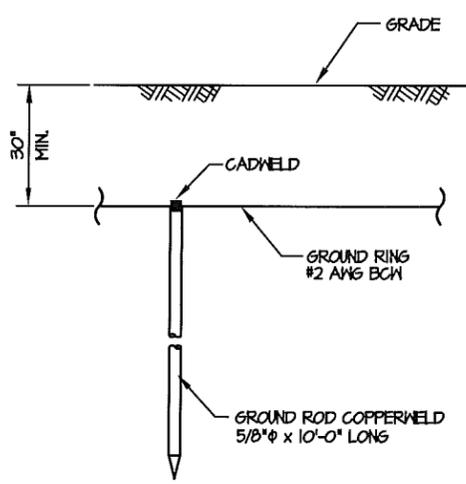
GROUND ROD INSPECTION WELL
NOT TO SCALE



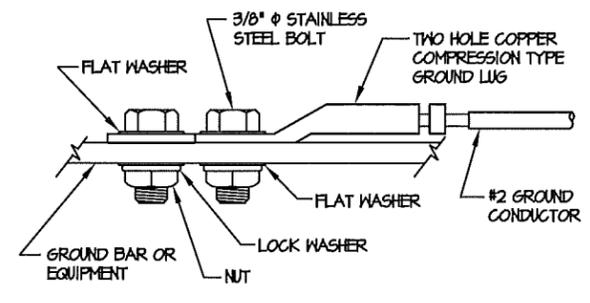
FENCE GROUNDING
NOT TO SCALE



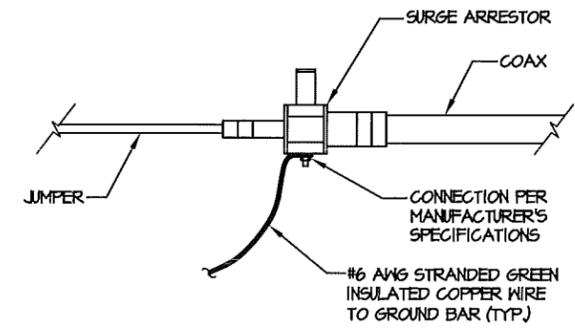
DIPLEXER GROUNDING DETAILS
NOT TO SCALE



GROUND ROD DETAIL
NOT TO SCALE

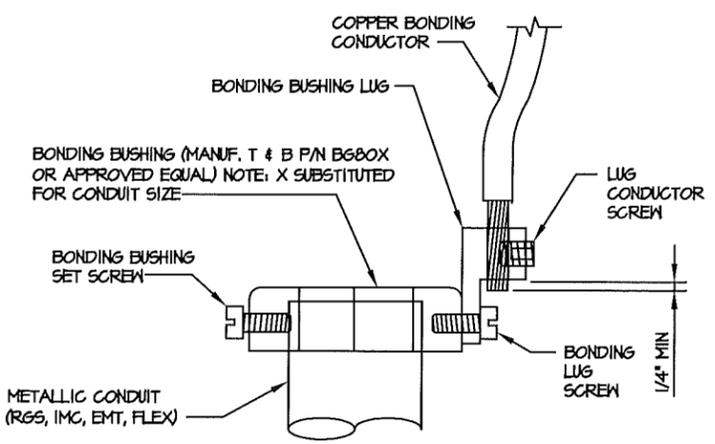


MECHANICAL GROUND CONNECTION
NOT TO SCALE



NOTE: ON OUTDOOR SITES, INSTALL WEATHERPROOFING AT EACH CONNECTION PER AT&T SPECIFICATIONS

SURGE ARRESTOR GROUNDING DETAILS
NOT TO SCALE

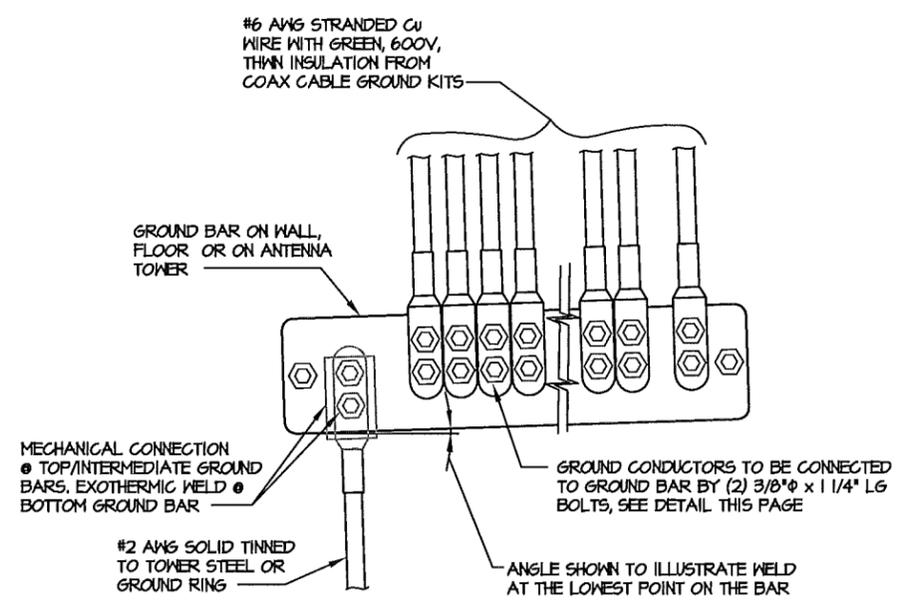


- DIRECTIONS:**
1. MOUNT BONDING BUSHING ONTO CONDUIT
 2. TIGHTEN BOND BUSHING SET SCREW
 3. INSERT COPPER CONDUCTOR INTO LUG
 4. TIGHTEN LUG CONDUCTOR SCREW
 5. TIGHTEN BONDING LUG SCREW

NOTE: BONDING BUSHING, SET SCREW, LUG, LUG SCREW, COND. LUG SCREW, SHOWN AS COMPLETE UNIT.

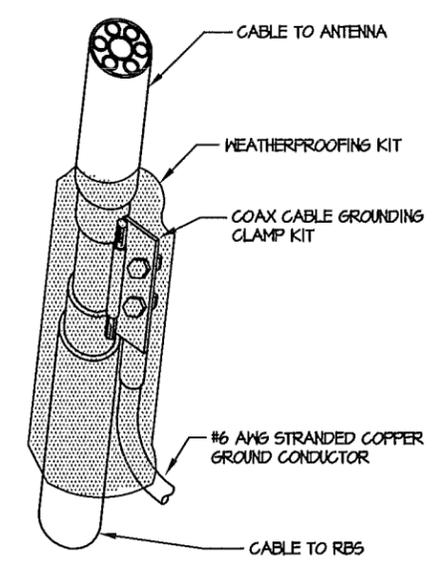
CONDUIT BOND/GROUND BUSHING

NTS



INSTALLATION OF GROUND WIRE TO COAX CABLE GROUND BAR

NTS



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND.
2. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
3. GROUNDING KIT & WEATHER PROOFING KIT SHALL BE TYPE & PART # AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.

COAX CABLE GROUND KIT

NOT TO SCALE



NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

GROUNDING DETAILS

410-441

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TCD136

E-5



NUM	DATE	DESCRIPTION
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

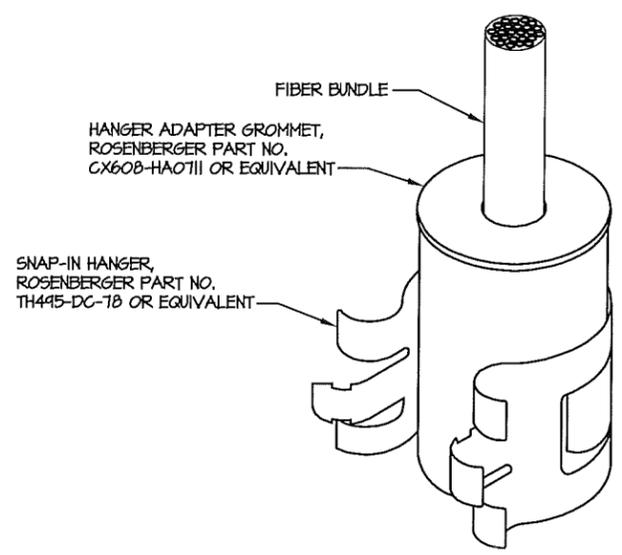
410-441

LTE EQUIPMENT DETAILS

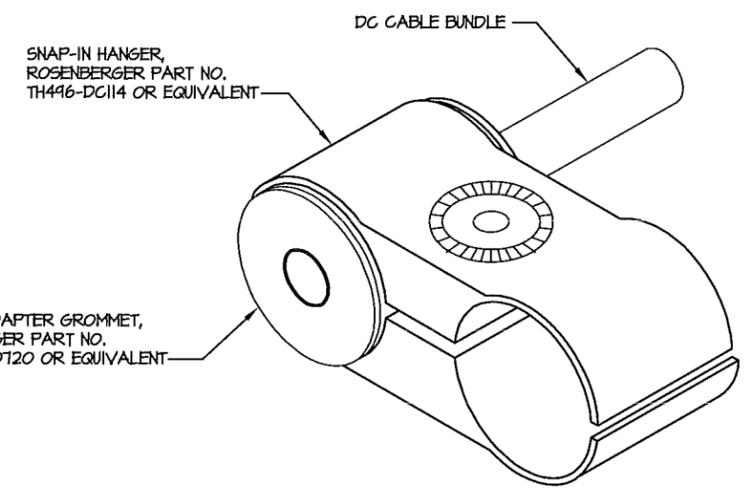
DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TCD136

E-7



SNAP-IN HANGER

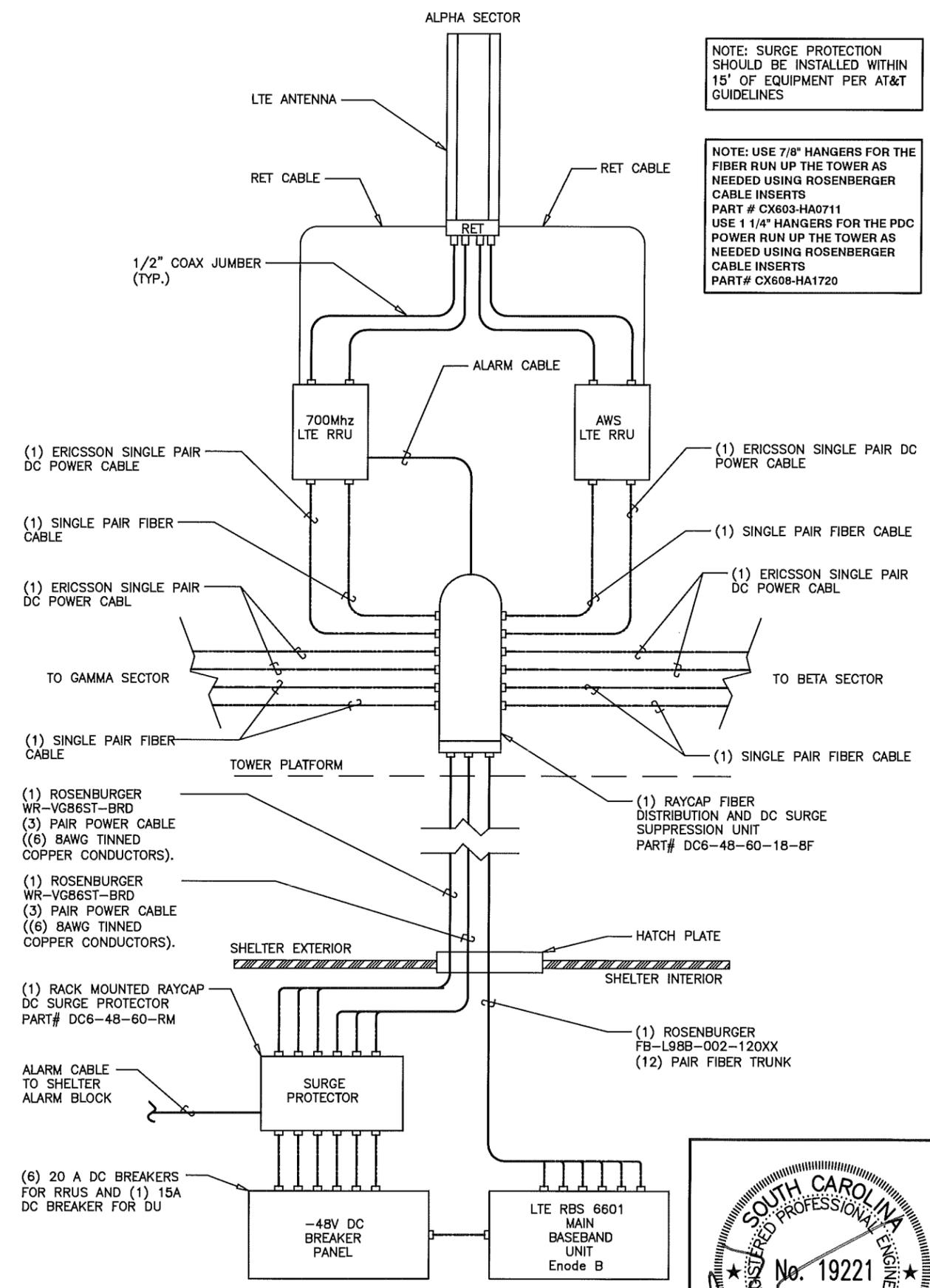


DOUBLE CLAMP

NOTES:

1. REFER TO JSA DOCUMENTS FOR EXACT CABLE NUMBER AND MANUFACTURER SPECIFICATIONS FOR PROPER GROMMETS AND HANGERS TO SUPPORT THE FIBER AND DC CABLE BUNDLES.
2. REFER TO STRUCTURAL ANALYSIS FOR EXACT CABLE ROUTING AND MOUNTING CONFIGURATION.

HANGER ADAPTER GROMMET DETAILS
 NOT TO SCALE

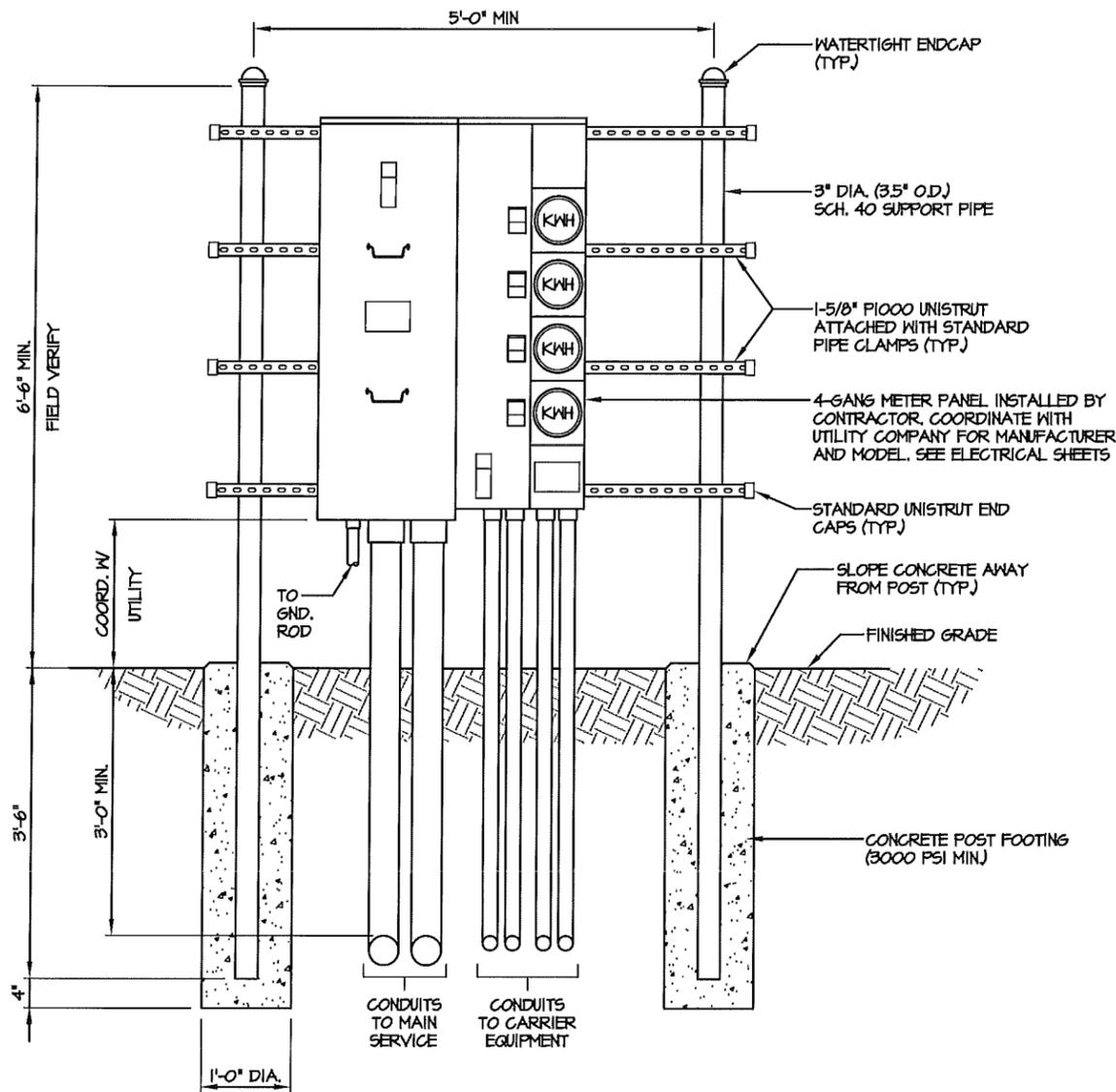


NOTE: SURGE PROTECTION SHOULD BE INSTALLED WITHIN 15' OF EQUIPMENT PER AT&T GUIDELINES

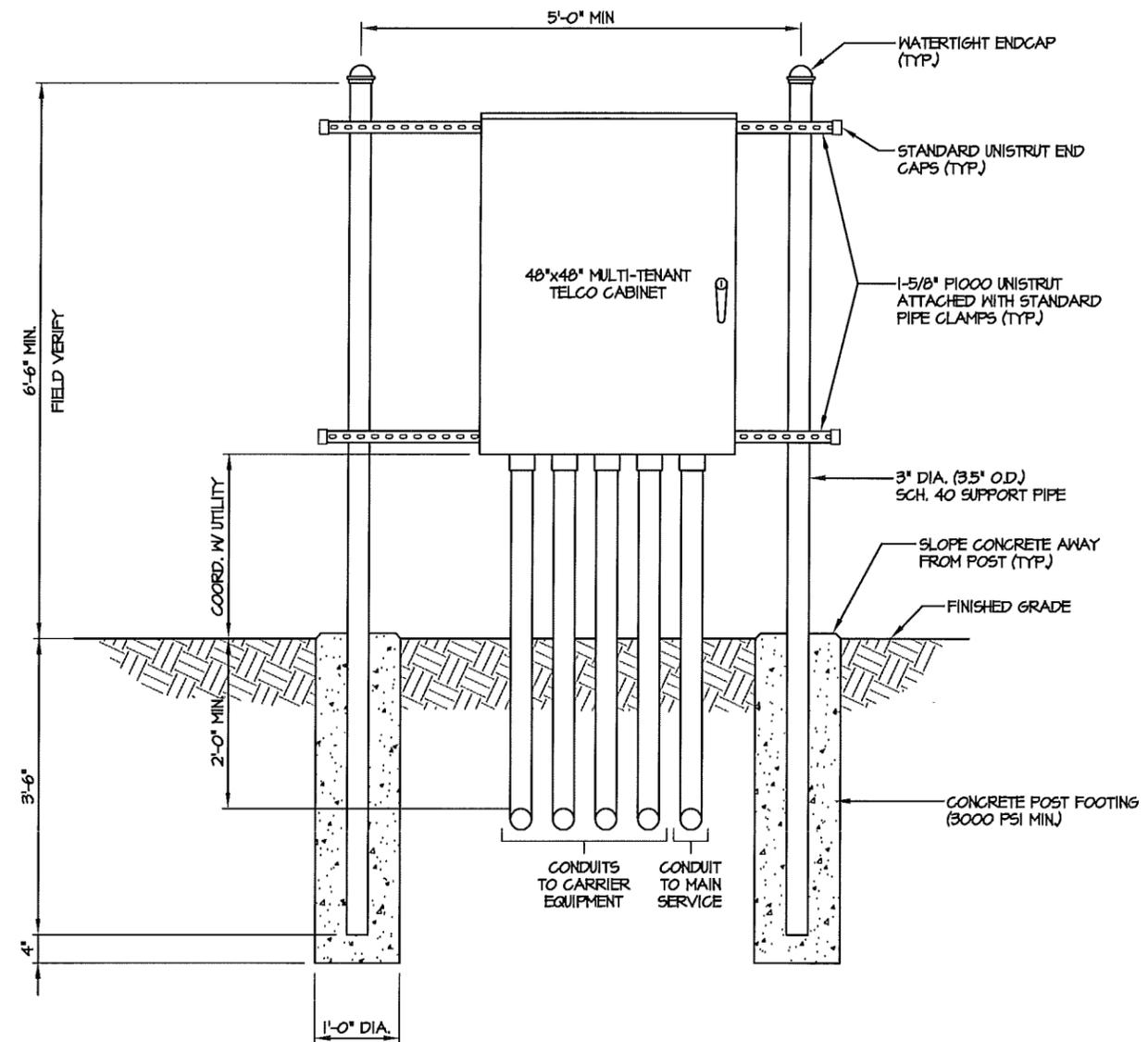
NOTE: USE 7/8" HANGERS FOR THE FIBER RUN UP THE TOWER AS NEEDED USING ROSENBERGER CABLE INSERTS PART # CX603-HA0711 USE 1 1/4" HANGERS FOR THE PDC POWER RUN UP THE TOWER AS NEEDED USING ROSENBERGER CABLE INSERTS PART# CX608-HA1720

PLUMBING DIAGRAM
 NOT TO SCALE





UTILITY FRAME DETAIL (GANG METER)
 NTS



UTILITY FRAME DETAIL (TELCO)
 NTS

NOTES:

1. CONTRACTOR SHALL FIELD LOCATE THE METER PEDESTAL AS SHOWN ON SITE PLAN. INSTALL THE METER PEDESTAL NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
2. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RUN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
4. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED. PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
5. TELCO CABINET SHALL BE 36"x48"x10" HOFFMAN OR EQUIVALENT. PROVIDE 3/4" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
6. ADJUSTMENTS TO THE METER PEDESTAL DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.

NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441

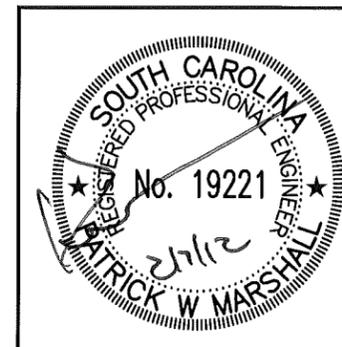
UTILITY FRAME DETAILS

SITE ID:

DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: PWM

JOB #: TCD136

E-8



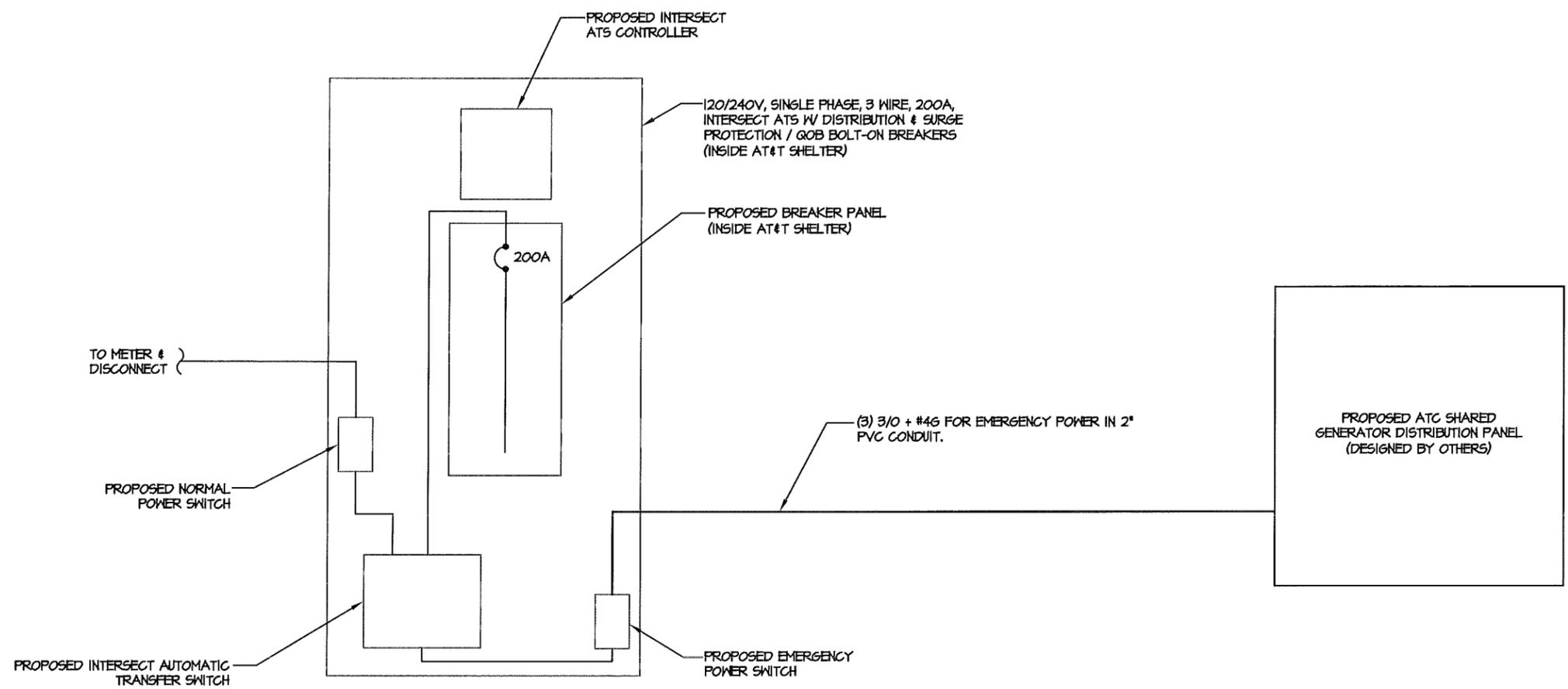


NUM	DATE	DESCRIPTION:
A	1/24/12	ISSUED FOR REVIEW
O	2/7/12	ISSUED FOR ZONING SUBMITTAL

410-441
ATC GENERATOR ONE-LINE DIAGRAM

DESIGNED: A.JB
 DRAWN: A.JB
 CHECKED: PWM

JOB #: TCD136
E-9



GENERATOR ONE-LINE DIAGRAM
 NOT TO SCALE



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Jenkins Island Cell Tower- New Development

DRB#: DR120007

DATE: 2-14-2012

RECOMMENDATION: Approval Approval with Conditions Denial

MISC COMMENTS/QUESTIONS

A new tower constructed on Town owned land at Jenkins Island. Tower, including lightning rod should not exceed 150'-0", or it will require a strobe light.

Design is commensurate or identical to others on the island. Applicant has agreed to construct an aluminum picket fence identical to that on the adjacent pump station, and plant 7 gal. wax myrtles 6'-0" on center.
