



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, September 11, 2012
1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of August 14, 2012
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A. New Development
 - 1) DR 120024 – Fire Station #6 – CONCEPTUAL
 - B. Alteration & Addition
 - 1) DR 120025 – Westin Hilton Head Resort & Spa
 - C. Minor External Change
 - 1) DR 120026 – Springwood Villas HPR
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

Town of Hilton Head Island
Design Review Board **DRAFT**
Minutes of the Tuesday, August 14, 2012 Meeting
1:15p.m – Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,
Jennifer Moffett and Todd Theodore

Board Members Absent: Tom Parker, Excused
Galen Smith and Jake Gartner

Council Members Present: Bill Ferguson

Town Staff Present: Jennifer Ray, Urban Designer
Teri Lewis, LMO Official
Rocky Browder, Environmental Planner
Richard Spruce, Plans Review Administrator
Kathleen Carlin, Secretary

1. Call to Order

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

The agenda was **approved** as presented by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the July 24, 2012 meeting as presented by general consent.

6. Staff Report

The staff distributed copies of the Town's new 2012 Information Card to the Board members. The wallet-size card contains useful demographic information about Hilton Head Island.

7. Unfinished Business

DR120020 Big Chill Ice - Minor External Change

Ms. Ray stated that the Board first reviewed this application on July 24, 2012. Ms. Ray presented a brief summary of the Board's first review. The applicant is proposing to place a 200 square foot ice vending machine at 123 Mathews Drive. The machine is 9' high x 8'-4" wide x 24' long. The corporate colors are white with a blue canvas awning. Following the initial review, the Board made the following recommendations: (1) the ice machine should be pulled further back from the parking area; (2) the ice machine should be painted to match the adjacent building and the blue canvas awning should be changed to green. Actual samples of the colors and materials are required; (3) the ice

machine should be screened from view; (4) revised site plan and landscaping plan are required. Based on these recommendations, the applicant chose to **withdraw** the July 24th application.

Ms. Ray presented an overhead review of the applicant's revised application. Ms. Ray stated that the staff met recently with the applicant on site to review options for the location of the ice machine. Due to the size and the location of an existing 47" specimen live oak tree, fencing and landscaping are not recommended. The applicant has agreed to move the ice machine back. The applicant will place the ice machine on an existing asphalt pad approximately 5-feet forward of the existing building in line with the adjacent sidewalk. The applicant agrees to paint the ice machine to match the adjacent building. The canvas awning on the front of the machine will remain and will be changed to green. The staff recommended that the application be approved. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Bubba Gillis and Mr. Patrick Mason presented statements in support of the application. The Board and the applicants discussed several issues including the potential addition of the awning on the back of the unit. Vice Chairman Welch, Chairman Sodemann, and Mr. Theodore all stated that they would prefer to see the back awning be added on the project. The back awning covers the cooling unit and is important to the project.

Mr. Theodore and Mr. Rocky Browder discussed the back awning's potential interference with the branches of the specimen tree. They also discussed the planting of vegetative material at the base of the ice machine as it relates to protecting the roots of the specimen tree. Mr. Theodore stated that he believes the back awning could be added to the unit without causing a problem to the branches of the tree and perhaps the ice machine could be brought forward a couple of feet. Mr. Theodore and Mr. Gillis also discussed the need for the asphalt pad. Mr. Theodore recommended that the unused portion of the asphalt pad should be removed. The Board recommended that the ice machine be moved forward two or three feet to avoid contact with the tree limbs. The applicant agreed to these recommendations. The applicant will add the back awning and the awning color will be green to match the metal roof of the adjacent building.

Mr. Theodore and the applicant then discussed landscaping for the project. Mr. Theodore stated that additional landscaping is important to screen the project. The other Board members agreed with Mr. Theodore. The applicant should consider a few post holes in the ground for the placement of shrubbery on the side of the ice machine. The Board also discussed the possible placement of a couple of large potted plants in front of the ice machine.

The staff and the Board discussed the issue of signage. Signage requires a separate sign permit application; however, since this is the first ice vending machine to be located on Hilton Head Island, it seems appropriate to discuss signage at this time. Staff recommends that the signage be limited to one sign to be placed on the front of the project. The maximum size of the sign should be 24" x 36". The lettering should be brief. The colors and style should complement the project and the building. The Board agreed and recommended that the applicant work with the staff to finalize these details. Following final discussion by the Board, Chairman Sodemann requested that a motion be made.

Mr. Theodore made a **motion to approve** the application for Big Chill Ice with the following conditions: (1) the awning is required on both the front and the back of the ice machine. The green canvas awning shall match the color of the roof on the adjacent building; (2) the ice machine shall be painted to match the color of the adjacent building; (3) the ice machine shall be pulled back as far as possible; (4) the asphalt that is left over shall be removed; (5) a dense vegetative screening is required on the side of the ice machine. The applicant shall use an evergreen plant material such as a Wax

Myrtle in a 15-gallon or greater size; (6) the sign for the ice machine shall be limited in size and it shall be placed in front of the ice machine. Only one sign is permitted. The applicant shall work with staff on details for the sign. Vice Chairman Welch **seconded** the motion and the motion **passed** with a vote of 4-0-0.

8. **New Business**

A. Consideration of Amendment of the previously approved Minutes of the meeting on March 27, 2012 meeting.

The staff is recommending that the previously approved minutes dated March 27, 2012 be revised. The staff recommends that the Board consider the proposed amendment to these minutes as they relate to the Airport's Tree Mitigation Plan. The Board approved the Airport's Tree Mitigation Plan (with conditions) on May 22, 2012.

An application for appeal has since been filed in opposition to the Board's approval of the Airport's Tree Mitigation Plan. In preparing for the appeal, the staff discovered an error in the approved minutes. The staff erroneously stated in the minutes that the Airport's Tree Mitigation Plan was withdrawn by the applicant. The proposed amendment corrects the error. Following consideration by the Board, Chairman Sodemann requested that a motion be made.

Mr. Theodore made a **motion** to **approve** the staff's proposed amendment to the March 27, 2012 meeting minutes as submitted. Ms. Moffett **seconded** the motion and the motion **passed** with a vote of 4-0-0.

B. DR120021 Palmetto Bay Marina – Alteration/Addition

Ms. Ray introduced the application and stated its location, 86 Helmsman Way. Ms. Ray presented an overhead review of the application including the site and the elevations. The retail buildings were built in 1982. The outside wall surfaces are located under the covered walkways, awnings and patio areas. The tabby is painted light beige, white, and grey. The applicant states that most of the existing tabby shell is gone and the walls are in need of repair.

The applicant proposes to repair and paint the lower walls using a light cool grey color. The staff recommended a warmer grey color and this was accepted by the applicant. Ms. Ray distributed paint chip samples of the recommended colors to the Board. The proposed colors are a slighter lighter shade of grey for the corridor walls and a slightly darker shade of grey for the outside walls (SW7064 and SW7065). Staff recommended that the application be approved with the condition that the lower stucco walls be repaired and painted in the warmer shade of grey. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation. The applicant was present but stated that he had no additional information to offer to the Board. The Board discussed the application. At the completion of the discussion, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion** to **approve** the application for Palmetto Bay Marina as presented by the staff. Mr. Theodore **seconded** the motion and the motion **passed** with a vote of 4-0-0.

C. DR120022 Advance Auto Parts – Alteration/Addition

Ms. Ray introduced the application and stated its location, 120 Mathews Drive. Ms. Ray presented an overhead review of the application including a description of the site. The property currently contains

two metal buildings with elevations that front both Mathews Drive and Shrimp Lane. The applicant proposes to retain the front larger metal building (the one closest to Mathews Drive). The applicant proposes to remove the second metal building (the one that faces Shrimp Lane). Removal of the second metal building will allow the applicant to make improvements to the parking area. The applicant would also like to make improvements to Shrimp Lane.

Ms. Ray reviewed the elevations for the larger metal building. The Mathews Drive elevation will be refaced with wood siding at the bottom with stucco and glass. The bronze lighting will be located at the front of the building. The proposed color scheme is compatible with the Design Guide. The applicant is working with staff to tone down the corporate red accent color. Ms. Ray presented samples of the color palette to the Board. The applicant proposes to paint the wood fence screening the dumpster area a color that will match the building. The staff recommends that the application be approved. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Collins Hertzog presented statements in support of the application. The Board discussed the color palette with the applicant. The applicant has agreed to tone down the red accent color. The Board and the applicant discussed the proposed lighting. The Board recommended that the applicant consider safety lighting in the rear of the building. The Board complimented the improvements that have been made to the site.

The Board discussed the proposed landscaping plan with the applicant. Mr. Theodore recommended that the landscape plan be re-studied so that it matches the quality of the project. The applicant agreed to work with the staff on improvements to the landscape plan. Chairman Sodemann recommended that the applicant consider smaller shrubbery in the parking area based on safety concerns. Following the Board's discussion, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion** to **approve** the application for Advance Auto Parts with the condition that the applicant will restudy the landscaping plan. Staff will approve the revised landscaping plan. Mr. Theodore **seconded** the motion and the motion **passed** with a vote of 4-0-0.

D. DR120023 Skull Creek Boathouse – Alteration/Addition

Ms. Ray introduced the application and stated its location, 397 Squire Pope Road. The applicant is proposing to convert the existing boat store into two individual retail spaces. One space will be used for the boat store and the other space will be used for a retail annex to the existing restaurant. Both of the spaces will have exterior entries and new restrooms.

Ms. Ray presented an overhead review of the application including photos of the existing site. Staff presented the proposed elevations, floor plan, stairs, ramp, the exterior entrance and the entrance to the restrooms. The applicant proposes to use the same colors, finishes and materials as exist on the restaurant. Ms. Ray stated the staff has some concerns regarding building code issues. Access issues will need to be worked out during the Development Plan Review process. Ms. Ray also stated that there is limited landscaping on the site. The applicant did not submit a landscape plan. t trees can be saved. Staff recommends that if any existing trees and shrubbery are removed due to construction, they should be replaced in kind. Additional shrubbery may also be needed to soften the mass of the large building.

The staff recommends approval of the application with the condition that the existing landscaping be replaced as needed. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Dale Johnson presented statements in support of the application. The Board stated some concern

that the access seems a little tight. The Board and the applicant discussed several issues including the picket fence detail. The applicant plans to use the same or a similar picket detail, including color, as existing. Mr. Theodore recommended that additional landscaping be added in the front. The Board also recommended that the applicant consider adding some potted plants along the entry way to soften its appearance. The Board and the applicant discussed the ramp, the stairs, the railing, the awning, the lighting, and signage. The Board stated that some sense of separation is needed. Following the discussion, Chairman Sodemann stated that additional drawings that will reflect today's discussion are required. The staff can approve the applicant's drawings. Following final discussion by the Board, Chairman Sodemann requested that a motion be made.

Mr. Theodore made a **motion** to **approve** the application for the Skull Creek Boathouse with the following conditions: (1) the applicant shall submit revised drawings that clearly show the intent of the project. The staff shall approve the revised drawings; (2) the colors, the materials, and the finishes of the awnings and the railings shall match those of the existing restaurant; (3) an improved landscaping plan is required. The plan shall include the location of the palm trees in front of the building. Staff shall approve the revised landscape plan; (4) the applicant shall work with staff to make sure that clearance to the restaurant is satisfied; (5) lighting is to match the existing lighting at the restaurant. Vice Chairman Welch **seconded** the motion and the motion **passed** with a vote of 4-0-0.

E. APL120002 North and Trotter sign - Appeal

Ms. Ray reported that the staff has received an Application for Appeal from Patty North, MD LLC and Robert Trotter, MD LLC. The application for appeal is in regard to a letter to the applicant from the staff dated June 22, 2012. The letter states that their applicant's freestanding sign located at 18 Hospital Center Boulevard does not match the applicant's approved design. The appellant is appealing the Town's decision to not approve a non-permitted background color on the sign face. The applicant is asking that the Board reverse the Town's decision to disapprove the background color of the sign. The background color of the sign is too bright and does not comply with the Town's Design Guide.

The appellants' agent, Howard Wright of Hilton Head Signs, submitted a sign permit application on May 9, 2012. The application included a rendering of the proposed sign. The background color of the sign face was a color equivalent to Pantone 331. The staff determined that the color was too bright and instead suggested Pantone 5425. The revised rendering was later submitted to staff and it was approved on May 11, 2012.

When staff visited the site to take a compliance photo of the freestanding sign, however, it was clear that the sign did not match the approved design. The background color was the equivalent of Pantone 331. The staff determined that the background color does not meet the intent of the Town of Hilton Head Island Design Guide, which states that colors should be nature-blending and reflect the design of the associated structure. Bright colors and reflective surfaces should be avoided or should be very limited in size. The sign's background color does not reflect any color clearly visible on the exterior of the building and the background color is bright, both of which are contrary to the intents of the Design Guide.

Following the site visit, the staff contacted Mr. Howard Wright to discuss the sign. Mr. Wright stated that he was aware that the background color did not match the approved color, but that he painted the sign background a color equivalent to Pantone 331 at the direction of his client. Mr. Wright directed the staff to contact his client via Jeffrey North, LLC.

The staff sent a letter to Mr. North dated June 22, 2012 stating that the sign was not compliant with the approved design and, therefore, was in violation of the Town of Hilton Head Island Land Management Ordinance (LMO). The letter offered two options to resolve the violation: (1) submit an alternative background color or colors to the staff for review; or (2) submit an application to the Design Review Board for review of the existing sign.

Mr. North contacted the staff to discuss the letter and requested that the staff reconsider approving PMS 331 as the background color. The staff explained to Mr. North the reasoning behind the decision and informed him that the background color did not have to be Pantone 5425 (as approved). The staff would consider other background colors that met the intent of the Town's Design Guide.

Mr. North requested that the staff meet with Ms. Patty North and Ms. Billie Trotter on site to discuss the sign. On July 5, 2012, the staff met with Ms. North and Ms. Trotter, who stated that the background color was mandated by their parent company (MD VIP). Ms. North and Ms. Trotter stated that the color matched the interior design of the facility and the porch roof.

The staff stated that they have worked with several businesses including McDonald's and Dunkin' Donuts with franchise or corporate color restrictions and have been able to approve signs with toned-down color palates. To that end, the staff suggested a more neutral background color, such as one of the beige colors on the building, with Pantone 331 as an accent color. Ms. North and Ms. Trotter stated they did not want to change the background color and said they would apply for Design Review Board Approval.

On July 9, 2012, Mr. North requested that the staff extend the deadline to resolve the sign violation. On July 10, 2012, the staff sent a letter to Mr. North extending the deadline from July 13, 2012 to August 10, 2012. The letter stated that the same options to resolve the violation were still available: (1) submit an alternative background color or colors to the staff for review; (2) to submit an application to the Design Review Board for review of the existing sign.

On July 23, 2012, Ms. Trotter met with the staff to discuss the sign. Ms. Trotter stated that she had painted the colors of the copy brown to tone down the sign's color. The staff informed Ms. Trotter that the sign's background color must be toned down, but the copy could remain Pantone Cool Grey 1 as approved. The staff suggested a few alternative background colors, but Ms. Trotter stated that she did not want to change the sign's background color. The staff informed Ms. Trotter that she should apply to the Design Review Board since she did not want to change the background color and the staff would not approve the background color.

On July 24, 2012, Ms. Trotter sent an email to the staff stating that she would submit an application for appeal to the Design Review Board. On the same day, Mr. North contacted the staff to discuss a way to resolve the sign issue. Again the staff suggested some alternative background colors that would meet the intent of the Design Guide and informed Mr. North that Ms. Trotter's options are to select an alternate background color or appeal to the Design Review Board at its August 14, 2012 meeting.

At the completion of staff's presentation, Ms. Ray stated that the staff recommends denial of the application since the sign's background color does not meet the intent of the Design Guide. Following final comments, Chairman Sodemann requested that the appellant make her presentation.

Ms. Billie Trotter presented statements in support of her application. Ms. Trotter presented each Board member with a folder that contained photographs and other information in support of her appeal. Ms. Trotter discussed her reasons for wanting to keep the brighter color for the background of the sign. The

Board discussed a couple of background color and lettering color alternatives with the applicant. The applicant stated that she prefers to keep the background color as it exists now even though the staff has not approved the color. The applicant does not believe the background color is too bright.

The Board discussed the sign with Ms. Trotter. Vice Chairman Welch stated that she visited the site to view the sign and she does not object to the background color. Vice Chairman Welch did, however, state her concern with setting a precedent for the future. Mr. Theodore stated that he believes that the background color for the sign is a little too bright. Chairman Sodemann stated his agreement with Mr. Theodore.

The Board discussed the fact that the background color of the sign was not approved. The appellant stated that she preferred the brighter shade of color over the other nature blending color options.

Following final comments by the Board, Chairman Sodemann requested a show of hands of Board members who support the staff's decision to disapprove the background color of this sign. Mr. Theodore, Ms. Moffett and Chairman Sodemann all raised their hands in favor of supporting the staff. Chairman Sodemann requested a show of hands of members who believe that application for appeal APL120002 should be upheld. Vice Chairman Welch raised her hand in support of the application for appeal. The decision to support the staff's decision to disapprove the sign **passed** with a vote of 3-1-0. Chairman Sodemann directed the appellant work with staff to select a background color for the sign that complies with the Town's Design Guide.

9. APPEARANCE BY CITIZENS

None

10. ADJOURNMENT

The meeting was adjourned at 3:20p.m.

Submitted By:

Approved By:

Kathleen Carlin
Secretary

Scott Sodemann
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
Linked App. #:	_____
Project Mgr:	_____
Fees:	_____

APPLICATION PACKET FOR COMMERCIAL BUILDING AND SITE REVIEW PERMIT

<input checked="" type="checkbox"/> New Structure(s)	<input type="checkbox"/> Addition	<input type="checkbox"/> Hotel/Motel	<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Accessory
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Project Name: Fire Station #6 Project Address: Dalmation Lane
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 0 0 0 1 9 0 0 0 0 Project Acreage: _____
 Zoning District: PD1 Overlay District(s): _____ COR _____ Flood Zone: _____ C _____
 Land Owner Name: Town of Hilton Island Phone #: 342-4587
 Address: 1 Town Center Court Email: julianw@hiltonheadislandsc.gov

INSTRUCTIONS FOR COMPLETING APPLICATION:

A Staff Project Manager will be assigned to you to assist in processing this application and to be your only Point of Contact throughout the entire project. This Project Manager will also inform you of any boards that require review of the application, and will assist in determining which of the requirements of this application apply to the project.

Prior to submittal for a permit, an optional **Pre-Application Meeting** is highly recommended. At this meeting, you may provide very general, conceptual ideas to Town Staff to better assist you in submitting items for site development or building permitting. Your Project Manager can assist you with this process.

This form is organized for different submissions at different times. The following explains which pages should be submitted for different phases of the project:

- Page 1: submitted in the beginning of the project for all general information on the project.
- Page 2: for Design Review Board approval (**Phase 1**), if applicable. This is for landscaping and exterior appearance.
- Pages 3-6: for Site Plan Review (otherwise known as DPR) (**Phase 2**). Fill out all pages in green.
- Pages 7-9: for Building Plan Review approval (**Phase 3**). Fill out all pages in blue.
- Pages 10-11: for Final Inspection, Sub Roster and Certificate of Occupancy (**Phase 4**) after the project is completed and all obligations to the Site Plans & Building Plans have been met. Fill out all pages in purple.

Fees:

Please see www.hiltonheadislandsc.gov for all Application fees. The Town accepts cash or check made Payable to Town of Hilton Head Island. Credit cards are accepted as payment for some items.

This form with its separate sections can be found on the Town's Website at www.hiltonheadislandsc.gov. You may print only those pages necessary for submission.

Digital Submissions are highly encouraged and may be accepted via email (send to cdic@hiltonheadislandsc.gov) or other electronic means.

PHASE 1. DESIGN REVIEW BOARD SUBMITTAL REQUIREMENTS

Note: Staff will check which documents are required for submittal.

Standard Required Items:

_____ Private Architectural Review Board (ARB) Notice of Action. Submitting an application to the ARB for their notice of action is the responsibility of the applicant.

For New Development—Conceptual Approval:

If not previously submitted, a survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of the LMO, and if applicable, location of bordering streets, marshes and beaches.

If not previously submitted, a site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

Context photographs of neighboring uses and architectural styles.

If not previously submitted, conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines, setback angles and landscaping.

For New Development – Final Approval:

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

_____ Final site development plan meeting the requirements of Sec. 16-3-303.F.

_____ Final landscaping plans meeting the requirements of Sec. 16-3-304.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Alterations/Additions and Minor External Changes:

_____ Photographs and/or drawings of existing development.

_____ Drawings of the proposed development – 11" x 17".

_____ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

Print Name Julian Walls Agent Signature: 
Phone Number 342-4587 Email julianwalls@hiltonheadislandsc.gov
Date: 8-21-12

Brown, Matt

From: Heidi Stenhammer [hstenhammer@pdpoa.org]
Sent: Monday, August 13, 2012 1:44 PM
To: Brown, Matt; Walls Julian; Dixon Nicole
Cc: Newell, Ken
Subject: RE: PD Fire Station

Matt,

I heard back from our GM Bob Sharp who said that the new fire station is not on Palmetto Dunes POA property so the ARB does not need to review it.

Thanks, Heidi

From: Brown, Matt [<mailto:mbrown@scn-architects.com>]
Sent: Wednesday, August 08, 2012 3:26 PM
To: Walls Julian; Dixon Nicole
Cc: Heidi Stenhammer; Newell, Ken
Subject: RE: PD Fire Station

Julian/Nicole.

I spoke to Heidi this afternoon and got the run down on what is required for the Palmetto Dunes (PD) ARB approval. I have copied Heidi to this email (Heidi, correct me if I am off on anything).

For PD approval, they will need rendered elevations, floor plans, and site plans (including landscaping) for review. This will be sent to Heidi via email in PDF format. From our discussion on the phone, she only needs the extent of what we are to provide to the Town for the conceptual DRB submittal so I will plan to send that package to both the Town and Heidi when completed in the next 2 weeks.

Attached is the completed PD application form with the contact info for Heidi's files. Please feel free to call or email if you have any questions. Thanks.

Sincerely,

Matthew T. Brown, NCARB
Project Architect

Stewart-Cooper-Newell-Architects

Toll Free: 800.671.0621
Voice: 704.865.6311
Mobile: 704.562.4173
Fax: 704.865.0046
www.scn-architects.com

From: Walls Julian [<mailto:JulianW@hiltonheadislandsc.gov>]
Sent: Wednesday, August 08, 2012 1:29 PM
To: Brown, Matt; Newell, Ken
Subject: FW: PD Fire Station

This is the contact for PD.

From: Heidi Stenhammer [<mailto:hstenhammer@pdpoa.org>]
Sent: Wednesday, August 08, 2012 10:54 AM
To: Walls Julian
Cc: joannedugle
Subject: PD Fire Station

Hi Julian,

As I mentioned on the phone we need one full size set of plans, one digital .pdf set and the colors/materials for review of the new fire station in Palmetto Dunes. We meet on the second Monday of every month. I will confirm any other items we may need with our Chair person. Please have the attached application completed and returned so at least I have all of the correct contact info for now.

Thanks,



Heidi Stenhammer
ARB Administrator

p: 843-785-1109 x104
f: 843-785-3589
www.pdpoa.org

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EXISTING CLEARED LOT



EXISTING CLEARED LOT



EXISTING ROAD ACCESS



EXISTING VEGETATION



EXISTING FIRE STATION #6



EXISTING FIRE STATION #6



EXISTING FIRE STATION #6



**PALMETTO DUNES
PLANTATION ADJACENT**



**GREENWOOD PAVED
INFRASTRUCTURE – NEIGHBOR**



GREENWOOD PAVED
INFRASTRUCTURE - NEIGHBOR



**GREENWOOD PAVED
INFRASTRUCTURE - NEIGHBOR**



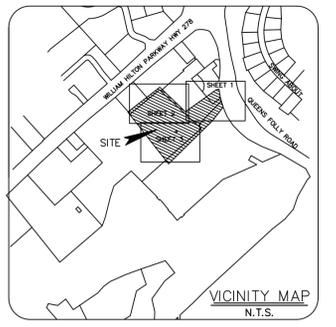
R520 012 000 0346 0000
TOWN OF HILTON HEAD ISLAND SC
ONE TOWN CENTER COURT
HILTON HEAD ISLAND SC 29928

ADDRESS: QUEENS FOLLY ROAD
THIS PROPERTY LIES IN F.E.M.A. ZONES A7 & C
BASE FLOOD ELEVATION = 14.0' & N/A
COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS S.C. STATE PLANE (NAD 83) 2007.
 - 5) VERTICAL DATUM IS NAVD88.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

- REFERENCE PLATS
- 1) A PLAT OF 16.87 ACRES, A PORTION OF PALMETTO DUNES RESORT, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 12/21/00, LAST REVISED: 2/13/01. RECORDED IN BOOK 78, PAGE 91, DATED 2/23/01. ROD: BEAUFORT COUNTY, SC. BY: JAMES M. SIMS S.C.R.L.S. # 13169
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R520 015 000 0002 0000
GREENWOOD DEVELOPMENT CORPORATION
PO BOX 1546
GREENWOOD SC 29648

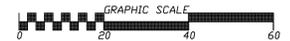


LEGEND & SYMBOLS:
TREE SIZES ARE INCHES IN DIAMETER

9.5	SPOT ELEVATION
CONTOUR	CONTOUR
CMF	3" CONCRETE MONUMENT FOUND
IPFP	3/4" IRON PIPE FOUND
IPF	1/2" IRON PIN FOUND
TBM	TEMPORARY BENCH MARK
IE	INVERT ELEVATION
FEE	FINISHED FLOOR ELEVATION
PVC	POLYVINYL CHLORIDE
CPP	CORRUGATED PLASTIC PIPE
RCP	REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
LO	LIVE OAK
LAO	LAUREL OAK
MAG	MAGNOLIA
RO	RED OAK
PN	PINE
PLM	PALM
WO	WATER OAK
CH	WILD CHERRY
MULB	MULBERRY
TAL	TALLOW
REC	PECAN
ELECTRIC SERVICE	ELECTRIC SERVICE
ELECTRIC TRANSFORMER	ELECTRIC TRANSFORMER
TELEPHONE SERVICE	TELEPHONE SERVICE
TELEVISION SERVICE	TELEVISION SERVICE
WATER METER	WATER METER
VALVE BOX	VALVE BOX
IRRIGATION CONTROL VALVE	IRRIGATION CONTROL VALVE
SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE
FIRE HYDRANT	FIRE HYDRANT
UTILITY POLE	UTILITY POLE
GUY	GUY
SIGN	SIGN
LIGHT POLE	LIGHT POLE
CATCH BASIN	CATCH BASIN
LANDSCAPE LIGHT	LANDSCAPE LIGHT
LANDSCAPE BUSH	LANDSCAPE BUSH

SHEET 1 of 3 SHEETS
ASBUILT, BOUNDARY,
TREE AND TOPOGRAPHIC SURVEY OF:
FIRE STATION 6 AND VICINITY, QUEENS FOLLY ROAD,
PALMETTO DUNES, HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 3/20/12 SCALE: 1" = 20'



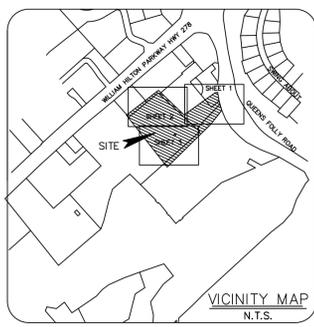
SIL Sea Island Land Survey, LLC.
4D Mathews Court, Hilton Head Island, SC 29926
Tel (843) 681-3248 Fax (843) 689-3871
E-mail: sils@sprynet.com
FILE No: 10099/5 DWG No.: 3-1711



HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

NOT VALID UNLESS EMBOSSED.

COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: BA, FLD: WRD



ADDRESS: QUEENS FOLLY ROAD
 THIS PROPERTY LIES IN F.E.M.A. ZONES A7 & C
 BASE FLOOD ELEVATION = 14.0' & N/A
 COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86
 REFERENCE PLATS

- 1) A PLAT OF 16.87 ACRES, A PORTION OF PALMETTO DUNES RESORT, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
 DRAWN: 12/21/00, LAST REVISED: 2/13/01
 RECORDED IN BOOK 78, PAGE 91, DATED 2/23/01
 ROD. BEAUFORT COUNTY, SC
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 RECORDED IN BOOK 76, PAGE 99, DATED 11/25/01
 ROD. BEAUFORT COUNTY, SC
 BY: JAMES M. SIMS S.C.R.L.S. # 13169

R520 012 000 016A 0000
 MILLER FAMILY LPS
 595 ROUTE 25A SUITE 1
 MILLER PLACE NY 11764

R520 012 000 016B 0000
 ROUTE 111 HAUPPAUGE LLC
 595 ROUTE 25A SUITE 1
 MILLER PLACE NY 11764

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
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 - 5) VERTICAL DATUM IS NAVD88.
 - 6) CONTOUR INTERVAL IS 1'.
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LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

0.5	SPOT ELEVATION	⊗	ELECTRIC SERVICE
CMF	CONTOUR	⊠	ELECTRIC TRANSFORMER
IPFF	3" CONCRETE MONUMENT FOUND	⊡	TELEPHONE SERVICE
IPFF	3/4" IRON PIPE FOUND	⊞	TELEVISION SERVICE
IPFF	1/2" IRON PIPE FOUND	⊞	WATER METER
TEM	TEMPORARY BENCH MARK	⊞	VALVE BOX
IE	INVERT ELEVATION	⊞	IRRIGATION CONTROL VALVE
FFE	FINISHED FLOOR ELEVATION	⊞	SANITARY MANHOLE
PVC	POLYVINYL CHLORIDE	⊞	STORM MANHOLE
CPP	CORRUGATED PLASTIC PIPE	⊞	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	⊞	UTILITY POLE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	⊞	GUY
LO	LIVE OAK	⊞	SIGN
LAO	LAUREL OAK	⊞	WATER OAK
MAG	MAGNOLIA	⊞	WILD CHERRY
RO	RED OAK	⊞	MULBERRY
PN	PINE	⊞	TALLOW
PLM	PALM	⊞	PECAN
WO	WATER OAK	⊞	
CH	CHERRY	⊞	
MULB	MULBERRY	⊞	
TAL	TALLOW	⊞	
PEC	PECAN	⊞	
		⊞	LANDSCAPE BUSH

R520 012 000 0346 0000
 TOWN OF HILTON HEAD ISLAND SC
 ONE TOWN CENTER COURT
 HILTON HEAD ISLAND SC 29928

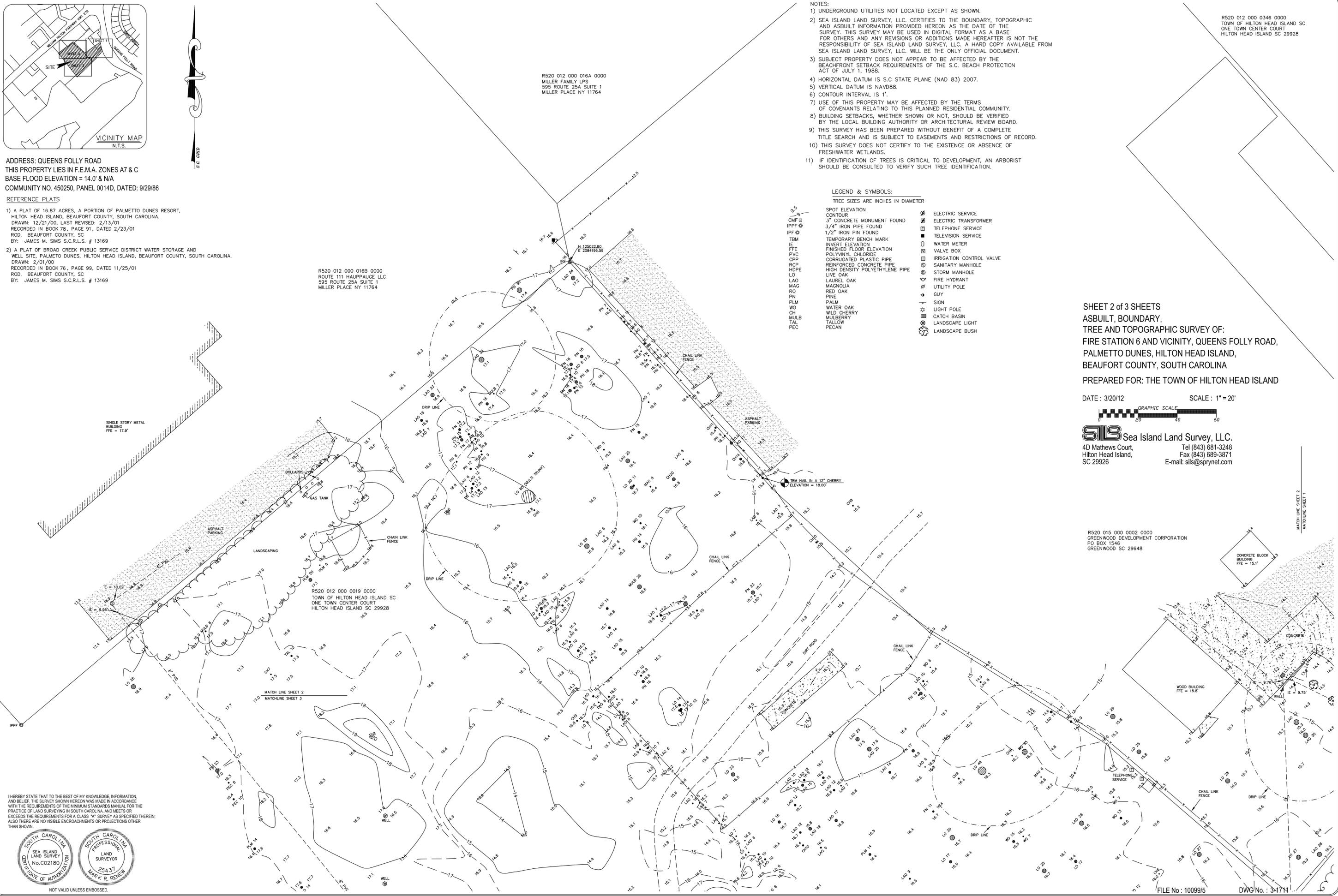
SHEET 2 OF 3 SHEETS
 ASBUILT, BOUNDARY,
 TREE AND TOPOGRAPHIC SURVEY OF:
 FIRE STATION 6 AND VICINITY, QUEENS FOLLY ROAD,
 PALMETTO DUNES, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 3/20/12 SCALE: 1" = 20'



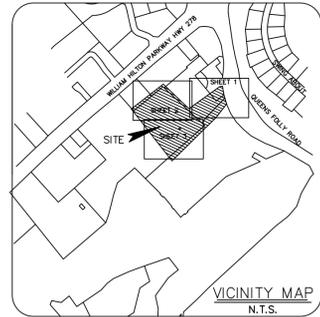
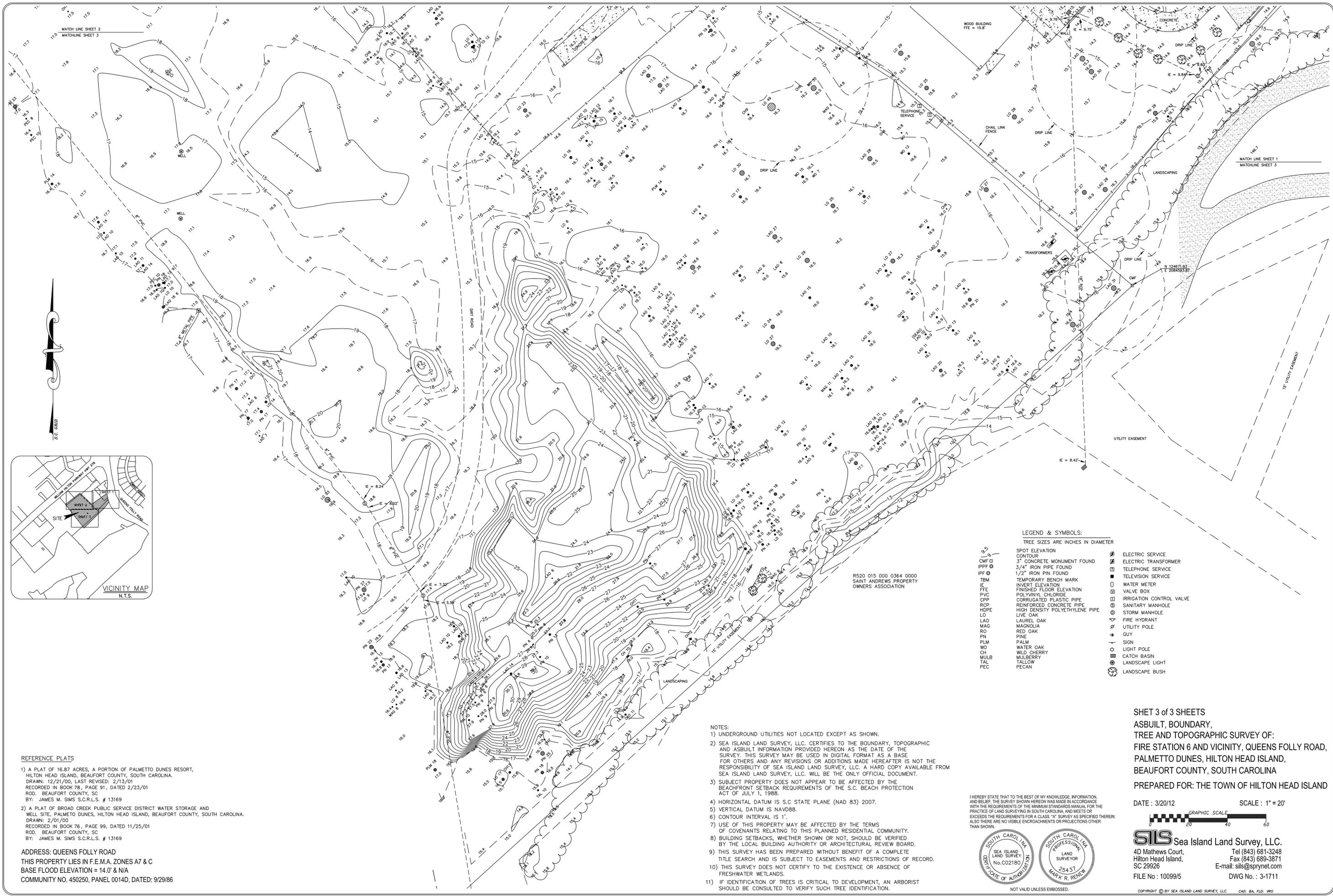
SILS Sea Island Land Survey, LLC.
 4D Mathews Court, Hilton Head Island, SC 29926
 Tel (843) 681-3248
 Fax (843) 689-3871
 E-mail: sils@sprynet.com

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 GREENWOOD DEVELOPMENT CORPORATION
 P.O. BOX 1546
 GREENWOOD SC 29648



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LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

9.5	SPOT ELEVATION	⊕	ELECTRIC SERVICE
CMF ⊕	CONTOUR	⊕	ELECTRIC TRANSFORMER
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PN	PINE	⊕	LANDSCAPE LIGHT
PLM	PALM	⊕	LANDSCAPE BUSH
WO	WATER OAK	⊕	
CH	WILD CHERRY	⊕	
MULB	MULBERRY	⊕	
TAL	TALLOW	⊕	
PEC	PECAN	⊕	

R520 015 000 0364 0000
 SAINT ANDREWS PROPERTY OWNERS ASSOCIATION

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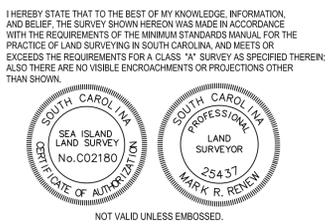
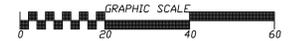
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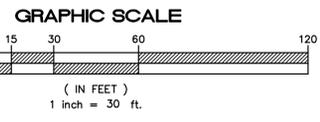
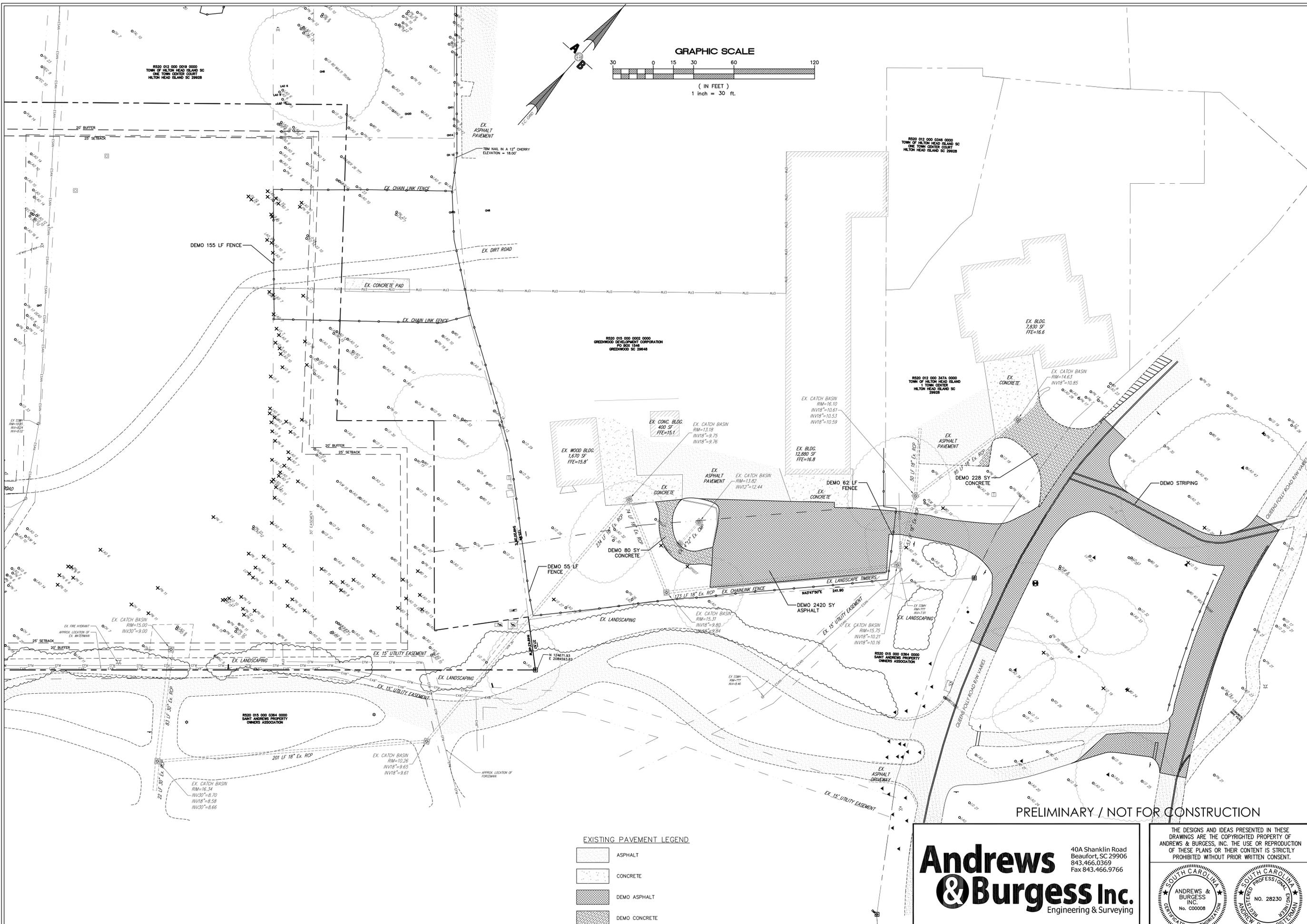
ADDRESS: QUEENS FOLLY ROAD
 THIS PROPERTY LIES IN F.E.M.A. ZONES A7 & C
 BASE FLOOD ELEVATION = 14.0' & N/A
 COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

SHEET 3 of 3 SHEETS
 ASBLUT. BOUNDARY,
 TREE AND TOPOGRAPHIC SURVEY OF:
 FIRE STATION 6 AND VICINITY, QUEENS FOLLY ROAD,
 PALMETTO DUNES, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 3/20/12 SCALE: 1" = 20'



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 Tel (843) 681-3248
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 E-mail: sils@sprynet.com
 FILE No.: 10099/5 DWG No.: 3-1711



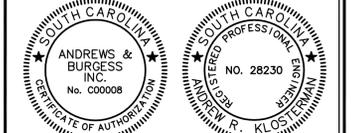
EXISTING PAVEMENT LEGEND

	ASPHALT
	CONCRETE
	DEMO ASPHALT
	DEMO CONCRETE

Andrews & Burgess Inc.
 Engineering & Surveying

40A Shanklin Road
 Beaufort, SC 29906
 843.466.0369
 Fax 843.466.9766

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Project No. 1177

Date 06.29.2012

Drawn

Checked

Revisions

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PRELIMINARY NOT FOR CONSTRUCTION

9133 East Second Avenue
 Gastonia, NC 28054
 Phone: 704.865.0311
 Fax: 704.865.0046

9133 Two Notch Road
 Columbia, SC 29223
 Phone: 803.765.9011

1.800.671.0621

www.scn-architects.com

PRELIMINARY NOT FOR CONSTRUCTION

NEW FIRE STATION #6 FOR TOWN OF HILTON HEAD ISLAND HILTON HEAD ISLAND, SOUTH CAROLINA

EXISTING SITE & DEMO PLAN

sheet 1



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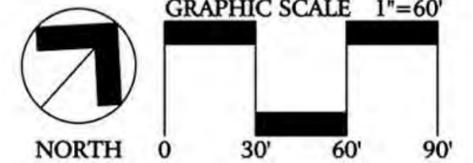


J. K. TILLER ASSOCIATES, INC.

LAND PLANNING LANDSCAPE ARCHITECTURE
 TEN PINCKNEY COLONY ROAD SUITE 101 BLUFFTON, SC 29909
 Voice 843.815.4800 jktiller@jktiller.com Fax: 843.815.4802

HHI Fire Station # 6

Concept Plan
 August 13, 2012



Sheet
L1
 Of 1

ELEVATIONS

SCALE AS NOTED



1 FRONT (NORTHWEST) ELEVATION
5.10 SCALE 1/8" = 1'-0"



3 RIGHT (NORTHEAST) ELEVATION
5.10 SCALE 1/8" = 1'-0"



2 LEFT (SOUTHWEST) ELEVATION
5.10 SCALE 1/8" = 1'-0"



4 BACK (SOUTHEAST) ELEVATION
5.10 SCALE 1/8" = 1'-0"

- (A) BRICK: BORAL BRICKS
COLOR : CHARWOOD
- (B) MORTAR - COLOR : SANDSTONE
- (C) CMU BLOCK - DILLON & COMPANY
COLOR :
1) COCOA 5-02 NG (ACCENT @ WINDOWS & DOORS)
(8"x8"x4")/(12"x12"x4")
CEMEX #3377 (APPROVED SUBSTITUTE)
2) FLINT 14-02 NG (FIELD) (8"x16"x4")
CEMEX #3376 (APPROVED SUBSTITUTE)
- (D) GLASS - COLOR :
1) SOLAR GRAY GLAZING
2) CLEAR GLAZING
- (E) EXTERIOR - SHALL BE UNITED STATES ALUMINUM (2" x 4-1/2")
WINDOWS COLOR : REDWOOD #394A847 (FLUROPON COLOR BY U.S. ALUM.)
- (F) STOREFRONT - SHALL BE UNITED STATES ALUMINUM FRAMING SYSTEM (2" x 4-1/2")
COLOR : REDWOOD #394A847 (FLUROPON COLOR BY U.S. ALUM.)
- (G) COLUMNS - COLOR : PRACTICAL BEIGE SW6100-(SHERWIN WILLIAMS)
- (H) OVERHEAD DOORS - COLOR : ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)
- (I) GUTTERS & DOWNSPOUTS - COLOR : CUSTOM COLOR TO MATCH ARCH. SAMPLE
"HEMLOCK GREEN"
NO OTHER COLOR WILL BE ACCEPTED
- (J) EXT. DOORS - COLOR : ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)
- (K) EXT. DOORS FRAMES - COLOR : ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)
- (L) HARDY PLANK - COLOR : PRACTICAL BEIGE SW6100-(SHERWIN WILLIAMS)
- (M) METAL ROOFING PANELS, TRIM & COPING
COLOR : CUSTOM COLOR TO MATCH "HEMLOCK GREEN"
ROOF PANEL COLOR MUST MATCH ARCHITECT'S SAMPLE
NO OTHER COLOR WILL BE ACCEPTED
- (N) SOFFIT
COLOR : CUSTOM COLOR TO MATCH "SHASTA WHITE" (MATCH ARCHITECT'S SAMPLE)
NO OTHER COLOR WILL BE ACCEPTED
- (P) PANELS AND PIPE BOLLARDS
COLOR : ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)
- (R) GUARD RAILS AND STEEL TUBE ROOF BRACKETS
COLOR : ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)
- (S) METAL LOUVERS - PRE-FINISHED KYNAR 500
COLOR TO MATCH ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)
- (T) LIGHT FIXTURES - COLOR TO MATCH ROCKWOOD RED SW2802-(SHERWIN WILLIAMS)

Project No.
1177

Date
06.29.2012
Drawn
GAR
Checked

Revisions

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Stewart Cooper Newell
Architects
www.scn-architects.com
1.800.671.0621

PRELIMINARY
NOT FOR
CONSTRUCTION

NEW FIRE STATION #6 FOR
TOWN OF HILTON HEAD ISLAND
HILTON HEAD ISLAND, SOUTH CAROLINA
BUILDING ELEVATIONS AND
COLOR SELECTIONS

sheet
5.10

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fire Station #6 – NEW DEVELOPMENT CONCEPTUAL

DRB#: DR 120024

DATE: September 11, 2012

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: PAUL CHELMINIAK Company: JOSEPH WONG, ARCHITECT
 Mailing Address: 2359 FOURTH AVE. STE. 300 City: SAN DIEGO State: CA Zip: 92101
 Telephone: 619-233-6777 Fax: 619-237-0541 E-mail: PCHELMINIAK@JWDAINC.COM
 Project Name: WESTIN HHI RESORT & SPA Project Address: 2 GRASSLAWN AVENUE
 Parcel Number [PIN]: R510 000 000 0802 0000
 Zoning District: PD-1 Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|---|---|
| <input type="checkbox"/> New Development – Conceptual | <input checked="" type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> New Development – Final, indicate Project Number | <input checked="" type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island. **VIA FEDEX**

Additional Submittal Requirements:

New Development – Conceptual Approval

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name **VIA FEDEX**

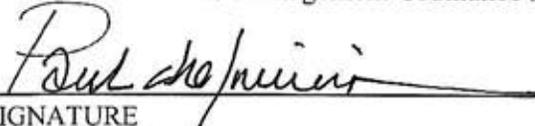
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

08/23/12
DATE

Renovation of the
Westin Hilton Head Island Resort & Spa
2 Grasslawn Avenue
Hilton Head Island, South Carolina

**PROJECT NARRATIVE
for
DESIGN REVIEW BOARD**

The Westin Hilton Head Island Resort & Spa is an existing property consisting of 412 guestrooms and suites, three food and beverage outlets with a total of 239 seats, one bar/lounge outlet with a total of 50 seats, meeting space totaling 22,000 SF and an outdoor pool/terrace area with 350 lounge seats. The five-story concrete frame structure was built in 1985 and provides guest and employee parking in both landscaped surface lots and a subterranean garage. The overall site area is 11.574 acres with 5.966 acres of open space.

New owners of the property plan to completely renovate the interior of the resort buildings, with new finishes and furnishings throughout that will meet current design standards developed by Starwood Hotels. Existing guestrooms will be refurbished and existing accessible guestrooms will be brought into compliance with current ANSI accessibility codes and ordinances. Public spaces within the hotel will be refurbished and existing public restroom facilities will be brought into compliance with current ANSI accessibility codes.

Exterior architectural construction and alterations will include the following:

New Open Air Bar/Lounge

As part of the initial phase of the renovation, a new single-story open-air bar/lounge pavilion (c. 1,700 SF) will be constructed at the mid-level of the pool/terrace area seaward of the hotel structure near the existing Carolina's Restaurant. It will be similar in architectural detail to the existing Covered Pool Pavilion and the existing Oceans Restaurant structures, with stucco exterior walls and a standing seam metal roof matching the existing property roofs in color. The intent is to provide additional bar/lounge seating for guests in a pedestrian-scaled structure which complements the overall village-type organization of the property. We believe that this approach is in compliance with the design guidelines of Section 16-4-502.

Covered Pool Pavilion

In order to reduce the mass of the existing Covered Pool Pavilion and open up views from the North Wing guestrooms to the ocean, the existing pyramidal roof on the Covered Pool Pavilion (existing structure c. 2,900 SF) will be removed and reconstructed as a flat roof. Shutter drop panels will be included in each bay of the renovated structure to continue a new shutter theme being introduced elsewhere on the property and in the hotel interior renovation.

Porte Cochere/Main Entry

A new entry experience at the porte cochere will include removal of the existing entry vestibule skylight and extension of the porte cochere barrel vault into the newly remodeled Lobby space. The existing glass entry storefront will be replaced with a new storefront to reflect this architectural change. New shutter drop panels will be added at each bay of the entry arcades flanking the porte cochere. Full height shutter panels will be added in the arcade bays immediately flanking the entry to screen valet key boxes and luggage carts.

Materials proposed for all new structures and structural modifications will match the existing materials and color palette of the exterior of the existing property.

Following the initial phase of renovation, food and beverage outlets throughout the hotel property will be renovated. Minor modifications to existing landscaping are also anticipated as a future and final phase of the renovation project. For this portion of the work no existing tree removal is anticipated.

WESTIN HILTON HEAD ISLAND RESORT & SPA

RENOVATION

EXTERIOR MATERIALS

GLAZING

Solar Cool Bronze (existing)

PAINT P-1

Sherwin-Williams, Westin Pavilion Green, Interior/Exterior Metal

PAINT P-2

Sherwin-Williams, Westin Stucco, Exterior Stucco

WOOD SHUTTERS AND TRIM

Brookside Veneers, Ltd., Braewood, Antique Cherry















The image shows the entrance of a resort building. The structure is composed of a large glass and green metal frame. A wooden sign is mounted on the glass, displaying the resort's name. The ceiling above the entrance is white with a slatted design. The glass reflects the surrounding greenery and the building's interior.

THE WESTIN

HILTON HEAD ISLAND
RESORT & SPA

THE WESTIN

HILTON HEAD ISLAND
RESORT & SPA







RENOVATION AND NEW CONSTRUCTION

WESTIN HILTON HEAD ISLAND RESORT & SPA

2 GRASSLAWN AVENUE
HILTON HEAD ISLAND, SC 29928

PROJECT DATA

DESCRIPTION OF WORK: RENOVATE LOBBY, MID-LEVEL BAR PAVILION, COVERED POOL PAVILION AND STAIR

OWNER: SOUTHWEST VALUE PARTNERS
12790 EL CAMINO REAL, SUITE 150
SAN DIEGO, CA 92130
TEL. (858) 480-2900

PROJECT ADDRESS: 2 GRASSLAWN AVENUE
HILTON HEAD ISLAND, SC 29928

EXISTING USE: HOTEL / MEETING SPACE

PROPOSED USES: (NO CHANGE)

OCCUPANCY GROUP: R-2 / A-2

TYPE OF CONSTRUCTION: II B, FULLY SPRINKLED

NUMBER OF STORIES: FIVE

ASSESSOR'S PARCEL: R510 009 000 0892 000

ZONING PD-1

SHEET SCHEDULE

T-1.0 TITLE SHEET AND PROJECT DATA
A-1.1 SITE PLAN
A-2.1 MID-LEVEL BAR PAVILION - EXISTING CONDITIONS SITE PLAN
A-2.2 MID-LEVEL BAR PAVILION - DEMOLITION PLAN, FLOOR PLAN, ROOF PLAN
A-2.3 MID-LEVEL BAR PAVILION - EXTERIOR ELEVATIONS, SECTION
A-3.1 COVERED POOL PAVILION - EXISTING FLOOR PLAN / SITE PLAN
A-3.1a COVERED POOL PAVILION - EXISTING ROOF PLAN
A-3.1b COVERED POOL PAVILION - DEMOLITION FLOOR PLAN
A-3.2 COVERED POOL PAVILION - NEW CONSTRUCTION PLANS & RCP
A-3.3 COVERED POOL PAVILION - ELEVATIONS
A-3.4 COVERED POOL PAVILION - SECTIONS
A-4.1 PORTE COCHERE / ENTRY VESTIBULE - EXISTING CONDITIONS SITE PLAN
A-4.2 PORTE COCHERE / ENTRY VESTIBULE - FLOOR PLANS
A-4.3 PORTE COCHERE / ENTRY VESTIBULE - EXTERIOR ELEVATION, SECTIONS

AREAS OF REMODEL:

OCCUPANCY	DESCRIPTION	AREA	QTY.	SUB-TOTAL
A-2	A-2.1 MID-LEVEL BAR PAVILION	1,764 S.F.	1	1,764 S.F.
	A-3.1 COVERED POOL PAVILION	3,025 S.F.	1	3,025 S.F.
	A-4.1 PORTE COCHERE / ENTRY VESTIBULE	879 S.F.	1	879 S.F.

TOTAL AREA OF REMODEL: 5,668 S.F.

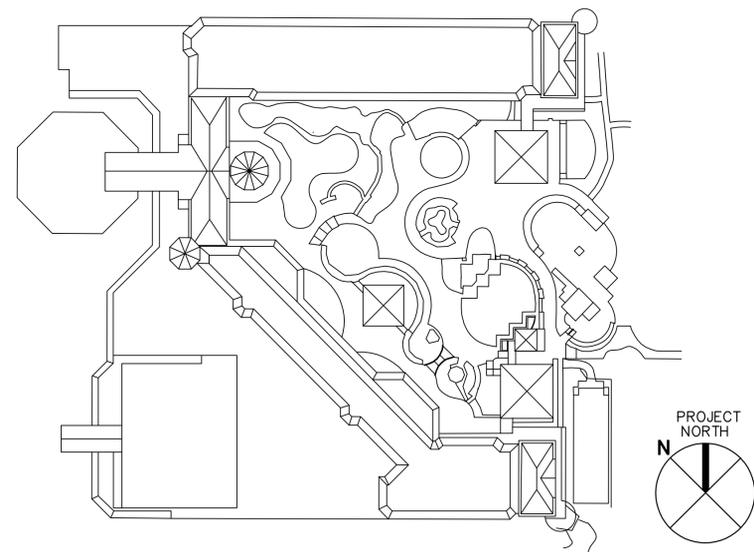
REVISIONS:
DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
HILTON HEAD ISLAND
RESORT AND SPA**
2 GRASSLAWN AVENUE
HILTON HEAD, SOUTH CAROLINA

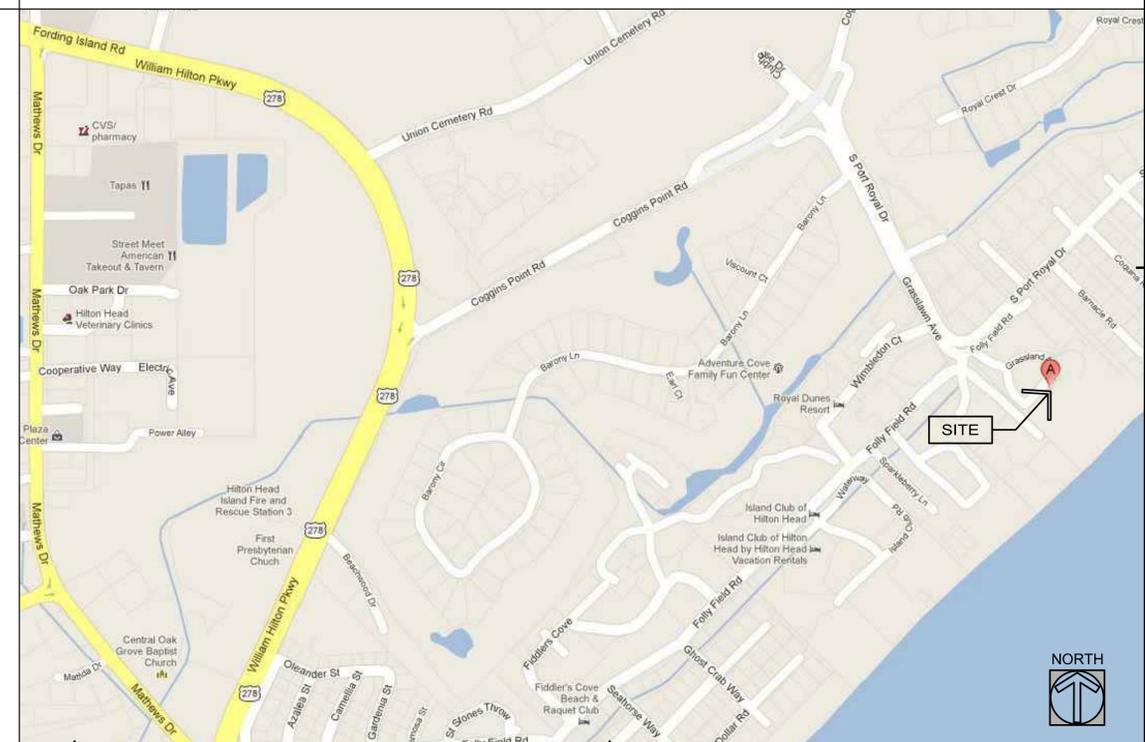
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**JOSEPH WONG
ARCHITECT**
2300 Fourth Avenue
San Diego, California 92101-1606
Phone (619) 233-4777 Fax (619) 237-0541

PROPERTY KEY MAP



VICINITY MAP



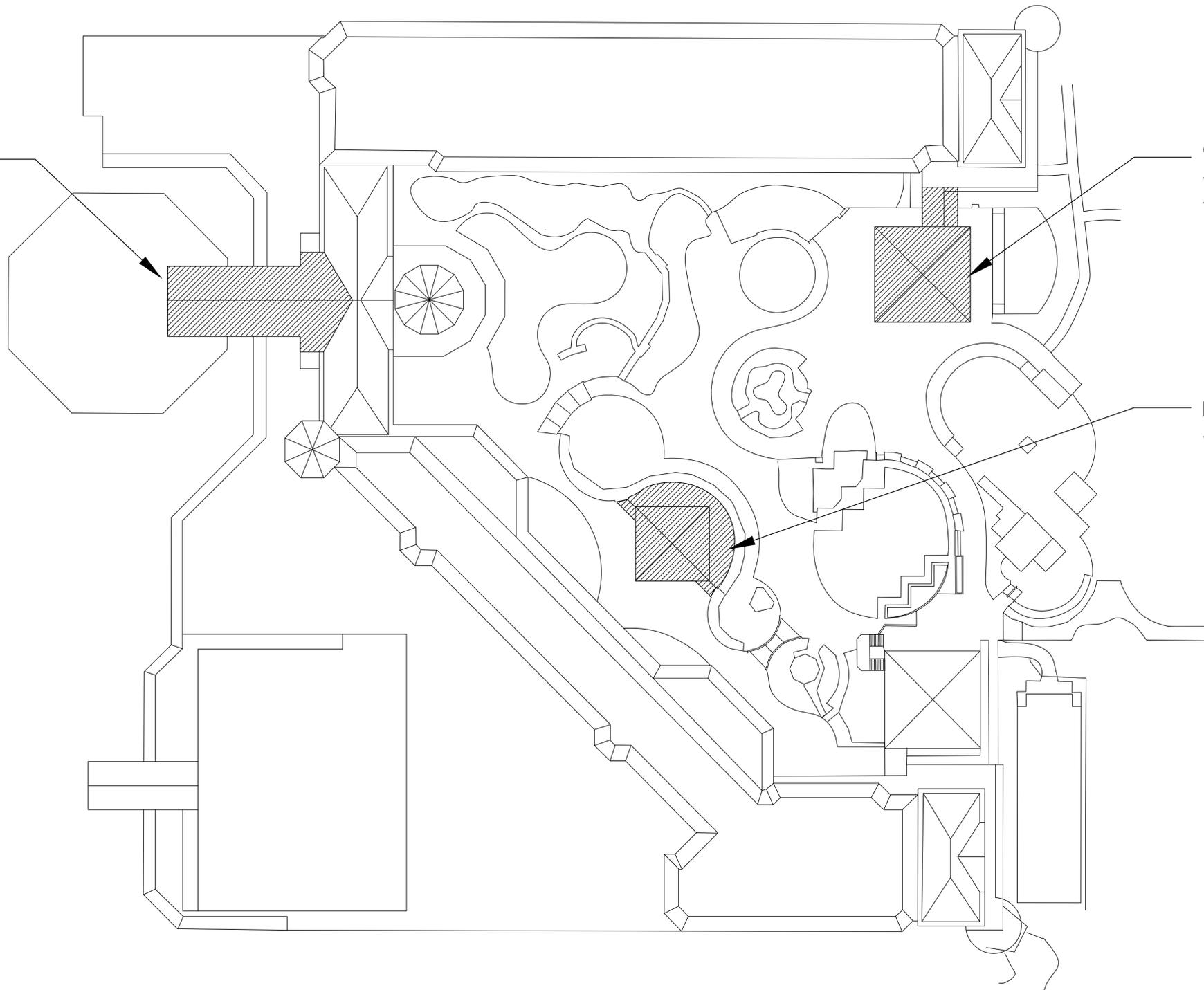
SHEET TITLE:
**TITLE SHEET AND
PROJECT DATA**

DATE: 08-24-2012
SCALE: N.T.S.
DRAWN:
JOB NO. 2981
FILE NAME:
SHEET
T-1.0

PORTE COCHERE / ENTRY
VESTIBULE
SEE SHEET A-4.1

COVERED POOL PAVILION &
STAIR REPLACEMENT
SEE SHEET A-3.1

MID-LEVEL OPEN AIR BAR
SEE SHEET A-2.1



SITE PLAN
SCALE: 1"=400'



REVISIONS:
DRB SUBMITTAL 2012.08.24

PROJECT NAME:
WESTIN
HILTON HEAD ISLAND
RESORT AND SPA
2 GRASSLAWN AVENUE
HILTON HEAD, SOUTH CAROLINA

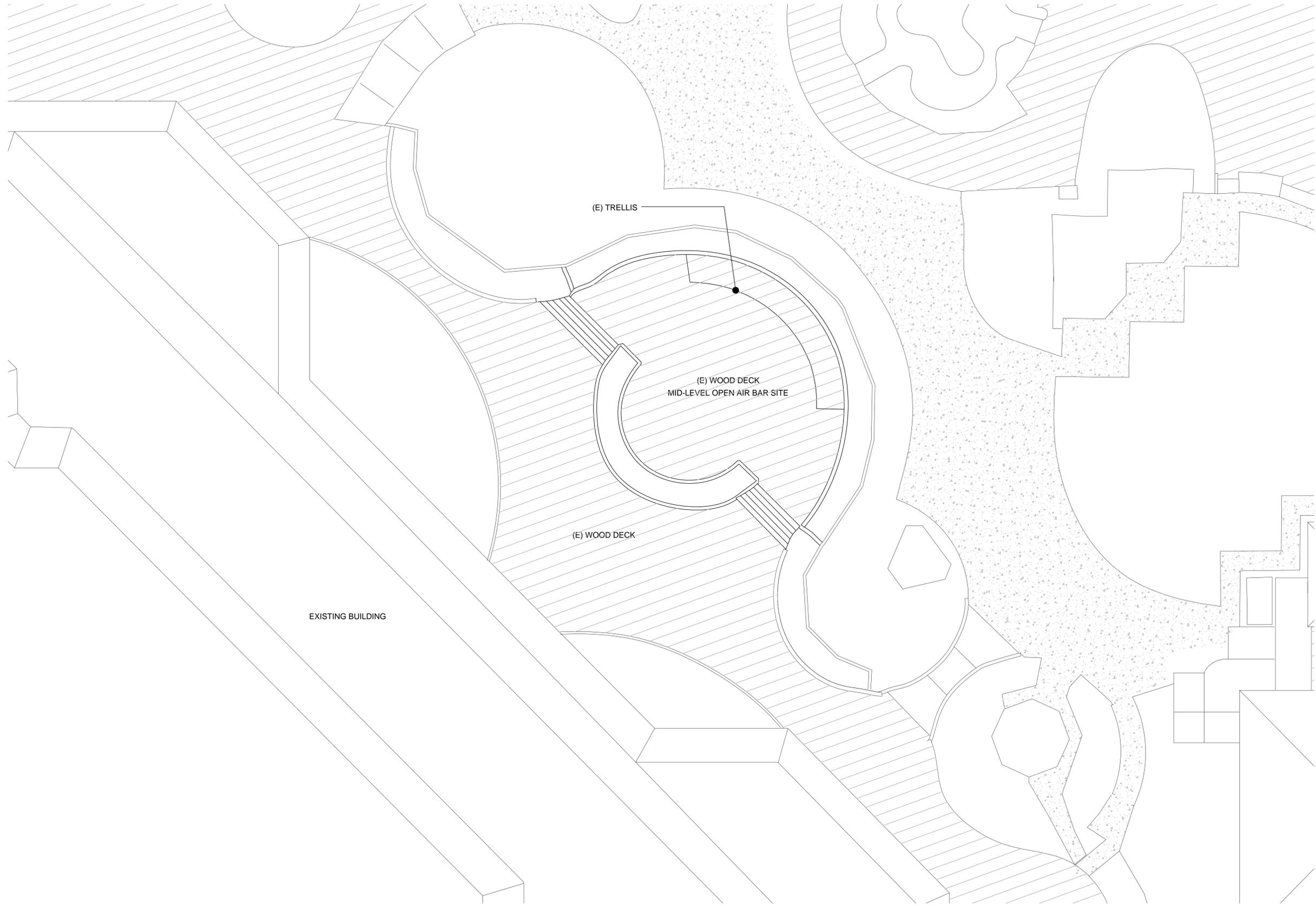
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JOSEPH WONG
ARCHITECT
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San Diego, California 92101-1608
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SHEET TITLE:
SITE PLAN

DATE 08-24-2012
SCALE: 1" = 400'
DRAWN:
JOB NO. 2981
FILE NAME:
SHEET

A-1.1



EXISTING BUILDING

(E) TRELLIS

(E) WOOD DECK
MID-LEVEL OPEN AIR BAR SITE

(E) WOOD DECK

EXISTING CONDITIONS - SITE PLAN
SCALE 1" = 10'

REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
HILTON HEAD ISLAND
RESORT AND SPA**
2 GRASSLAWN AVENUE
HILTON HEAD, SOUTH CAROLINA

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ARCHITECT**
2350 Fourth Avenue
San Diego, California 92101-1606
Phone (619) 233-9777 Fax (619) 237-0541

SHEET TITLE:
**MID-LEVEL BAR
PAVILION
EXISTING CONDITIONS,
SITE PLAN**

DATE	08-24-2012
SCALE	1/8" = 1'-0"
DRAWN	
JOB NO.	2981
FILE NAME	
SHEET	

A-2.1

KEY NOTES

- 1 STANDING SEAM METAL ROOF, 5 IN 12 SLOPE
- 2 STUCCO
- 3 NEW BAR COUNTER, SEE DETAIL
- 4 NEW STEPS PER PLAN
- 5 BUILT-UP ROOF PER SPECIFICATIONS
- 6 EXISTING PLANTERWALL TO REMAIN

REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

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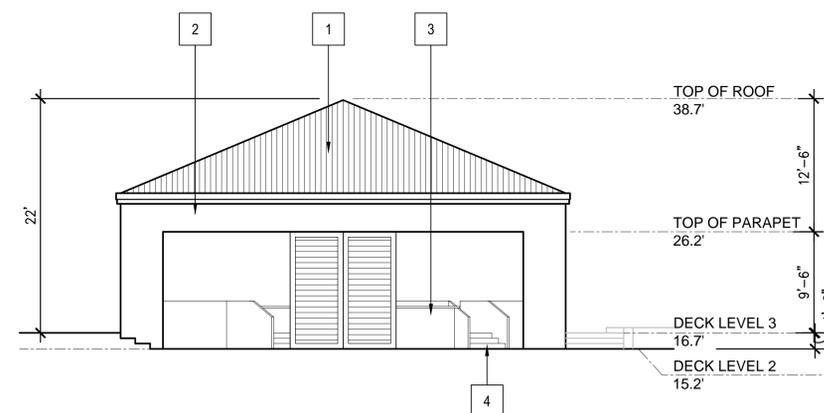
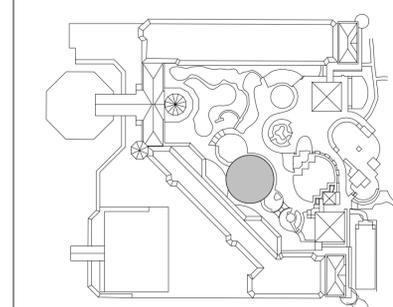
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 2350 Fourth Avenue
 San Diego, California 92101-1606
 Phone (619) 233-9777 Fax (619) 237-0541

SHEET TITLE:
**MID-LEVEL BAR
 PAVILION
 EXTERIOR ELEVATIONS,
 SECTION**

DATE	08-24-2012
SCALE:	1/8" = 1'-0"
DRAWN:	
JOB NO.	2981
FILE NAME:	
SHEET	

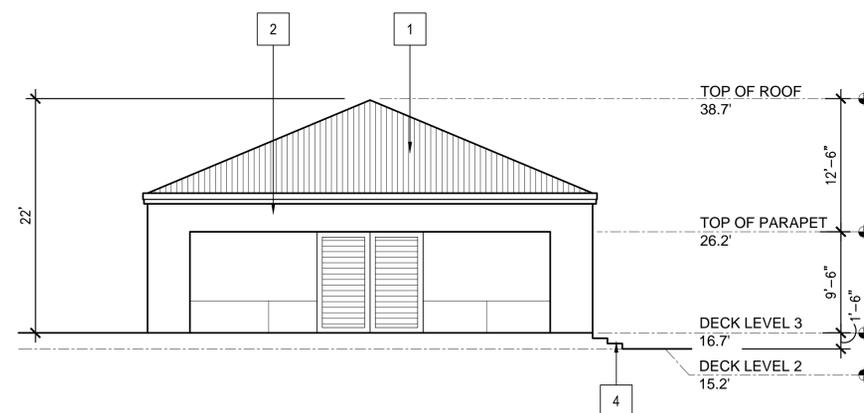
A-2.3

KEY PLAN



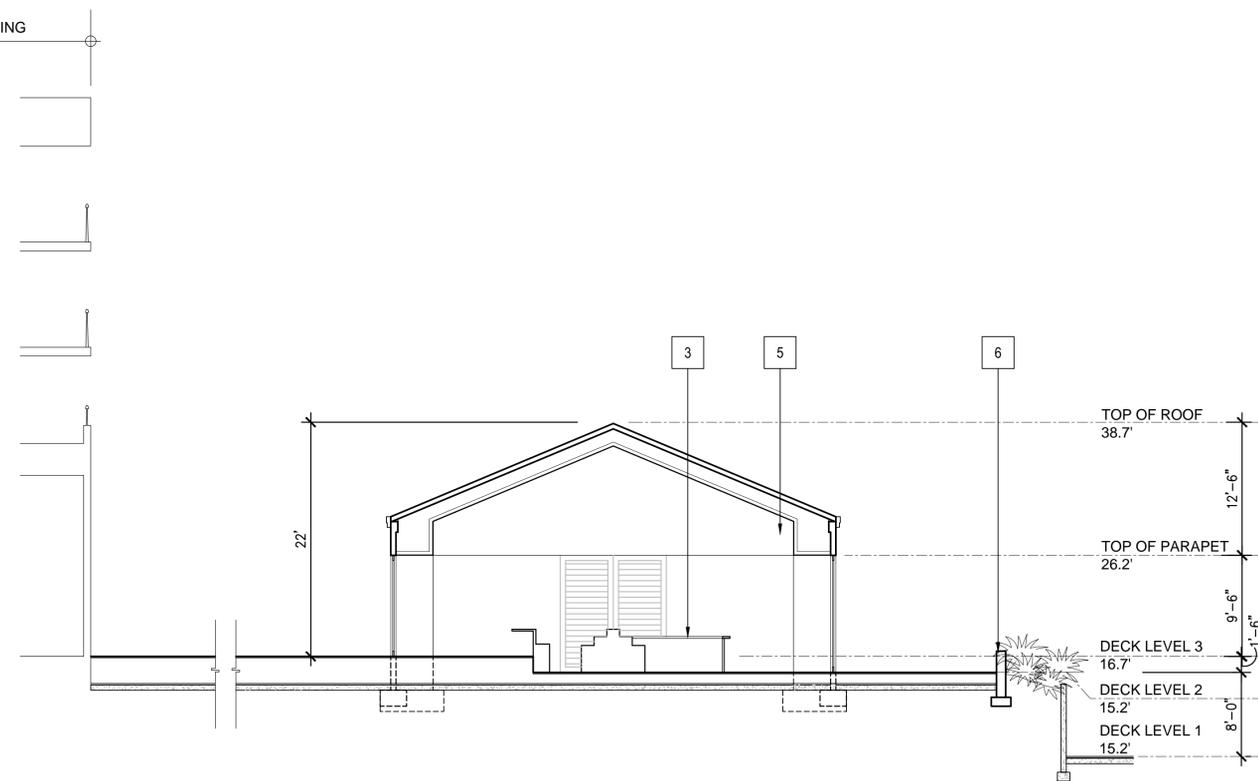
ELEVATION - 2 (SIM. 3- REVERSED)

SCALE 1/8" = 1' - 0"



ELEVATION - 1 (SIM. 4- REVERSED)

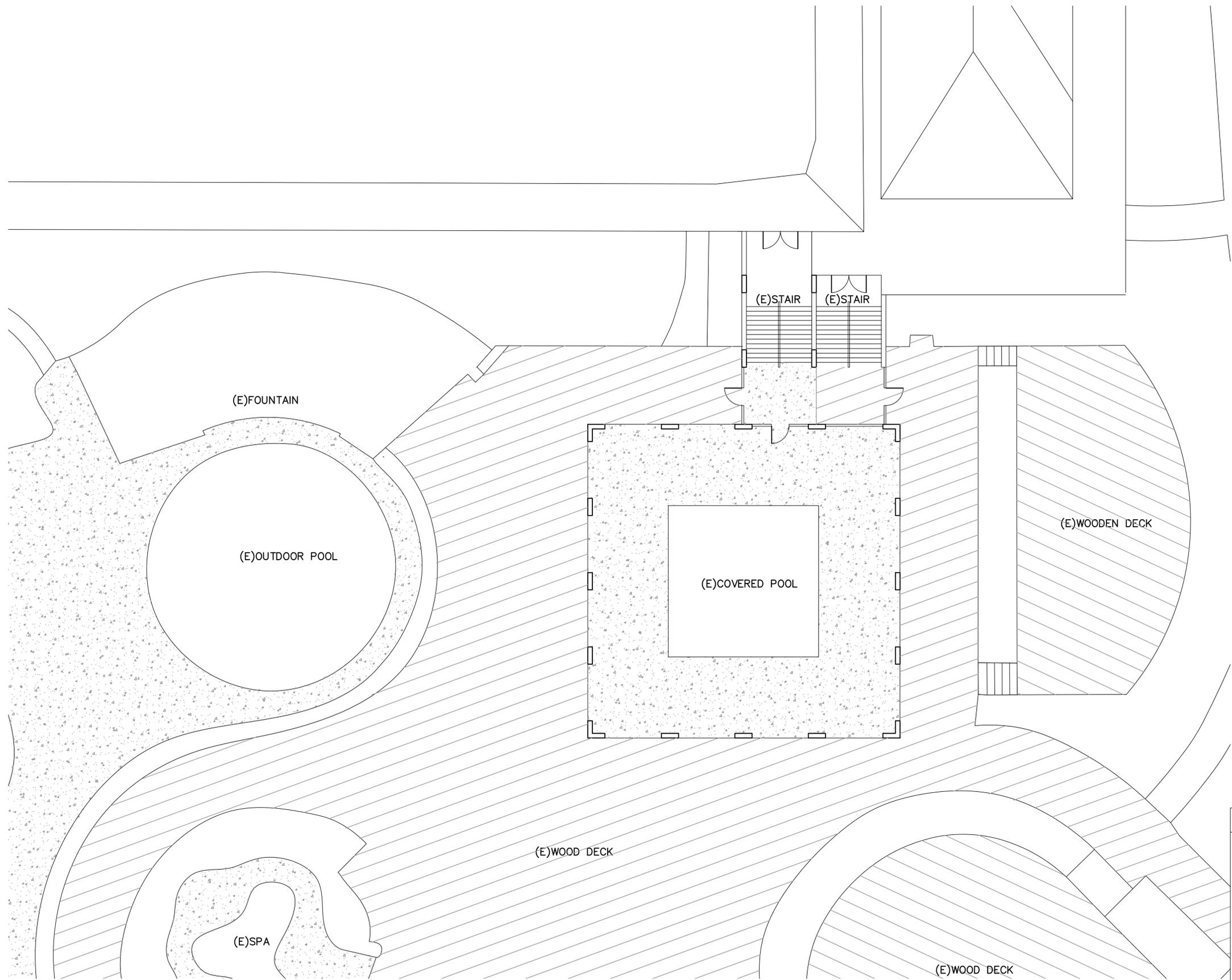
SCALE 1/8" = 1' - 0"



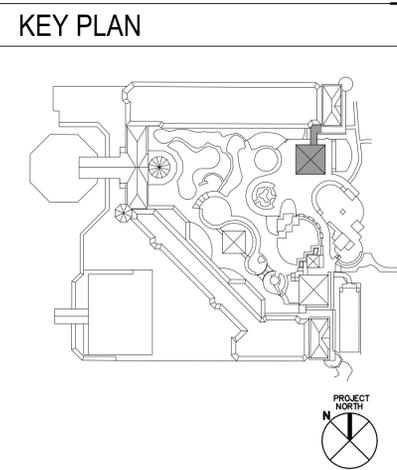
BUILDING SECTION

SCALE 1/8" = 1' - 0"

EXISTING HOTEL BUILDING



EXISTING - FLOOR PLAN / SITE PLAN
SCALE: 1"=100'



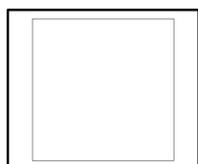
REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

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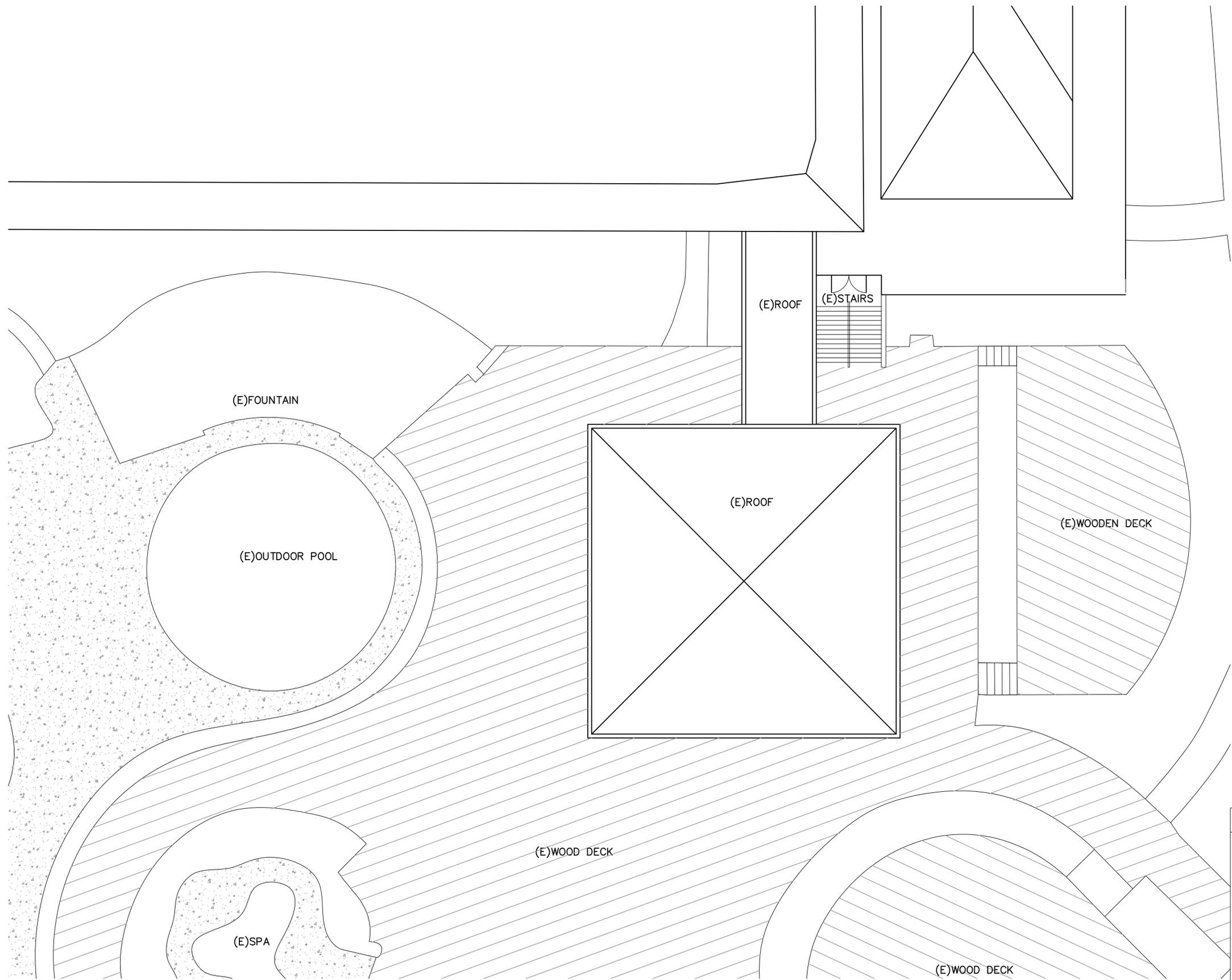
**JOSEPH WONG
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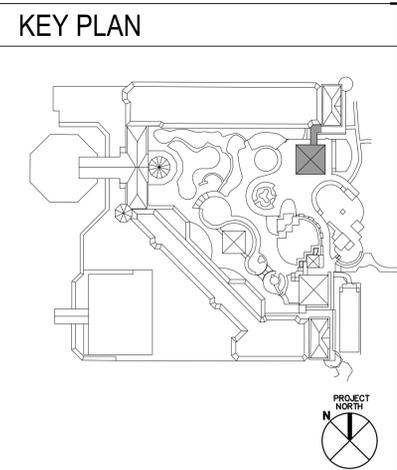
SHEET TITLE:
**COVERED POOL
 PAVILION
 EXISTING FLOOR PLAN /
 SITE PLAN**

DATE	08-24-2012
SCALE:	1/8" = 1'-0"
DRAWN:	
JOB NO.	2981
FILE NAME:	
SHEET	

A-3.1



EXISTING - ROOF PLAN
SCALE: 1"=100'



REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

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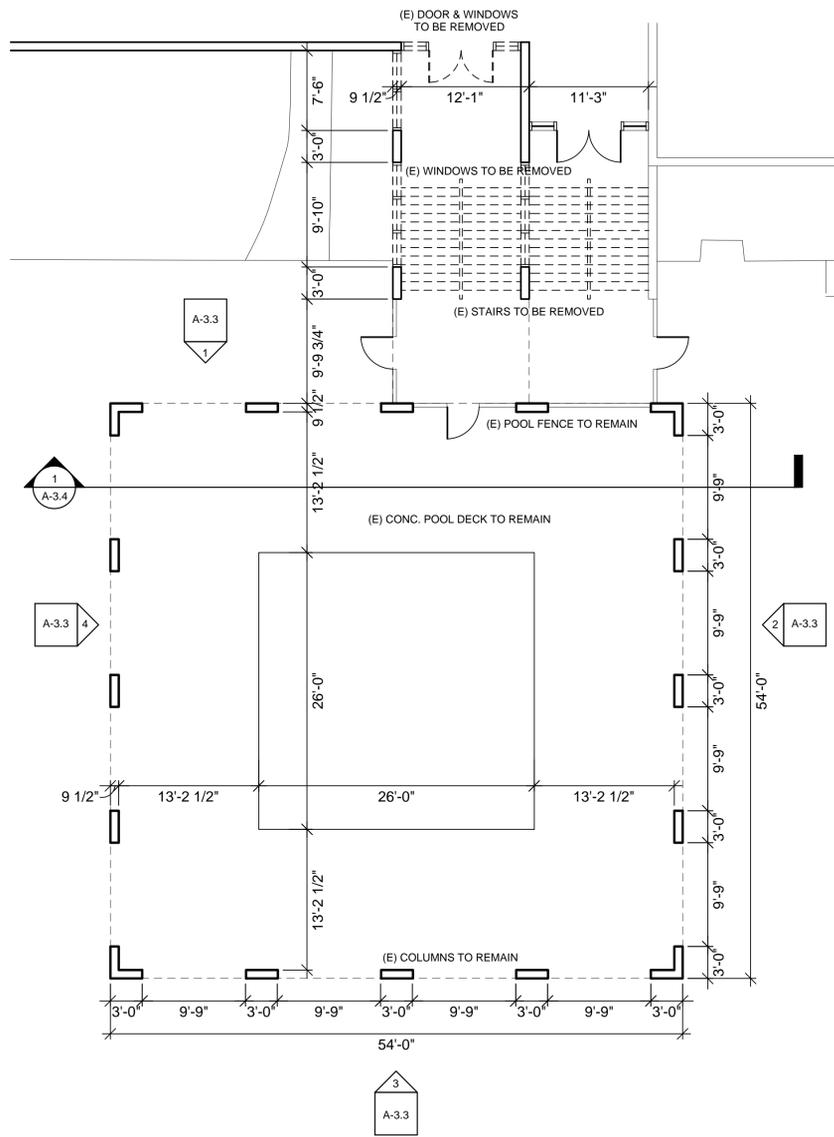
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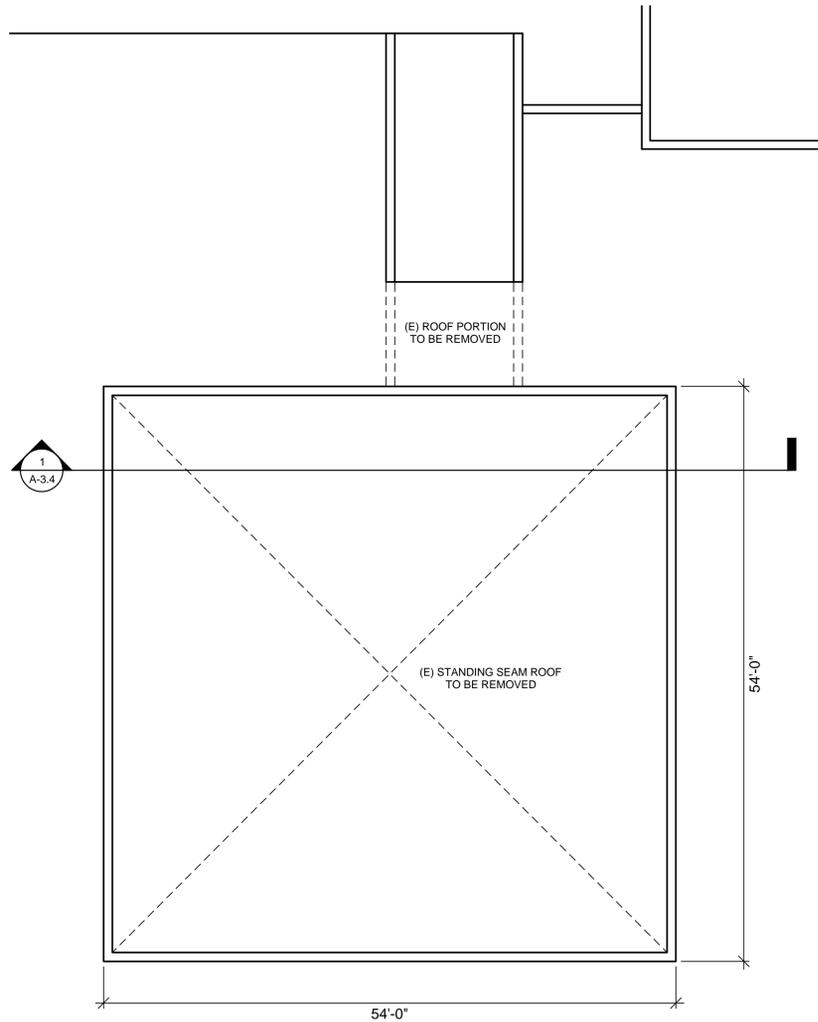
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**COVERED POOL
 PAVILION
 ROOF PLAN
 EXISTING**

DATE: 08-24-2012
 SCALE: 1/8" = 1'-0"
 DRAWN:
 JOB NO: 2981
 FILE NAME:
 SHEET

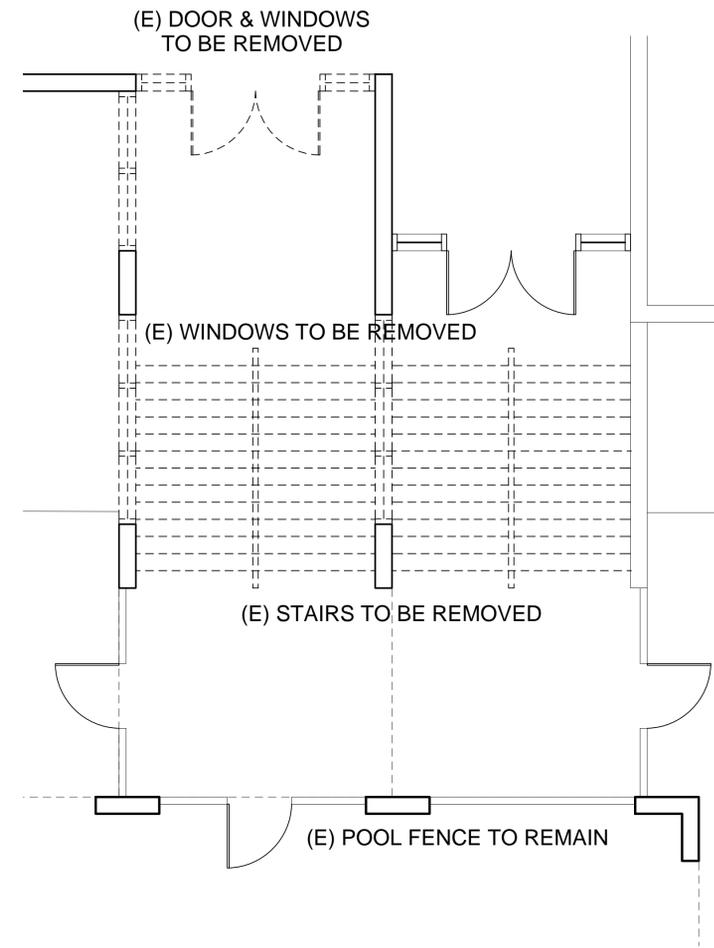
A-3.1a



1 DEMOLITION - FLOOR PLAN
SCALE: 1/8" = 1'-0"

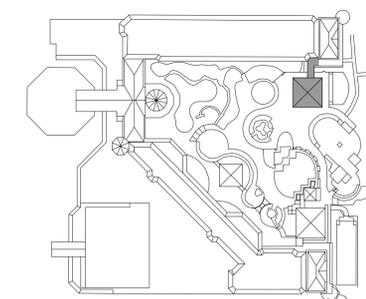


2 DEMOLITION - ROOF PLAN
SCALE: 1/8" = 1'-0"



3 DEMOLITION - STAIR PLAN
SCALE: 1/4" = 1'-0"

KEY PLAN



REVISIONS:

PROJECT NAME:
**WESTIN HILTON HEAD
ISLAND
RESORT AND SPA**
2 GRASSLAWN AVENUE
HILTON HEAD, SOUTH CAROLINA

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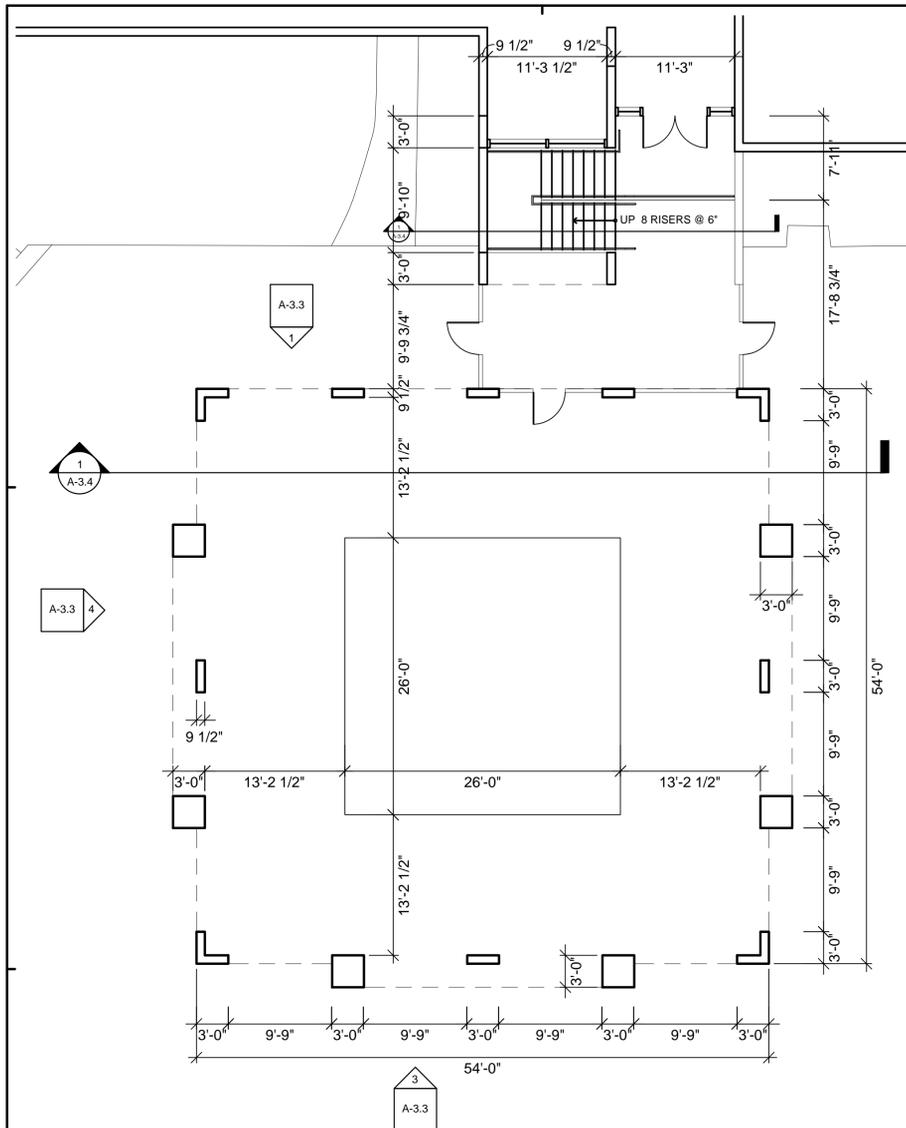
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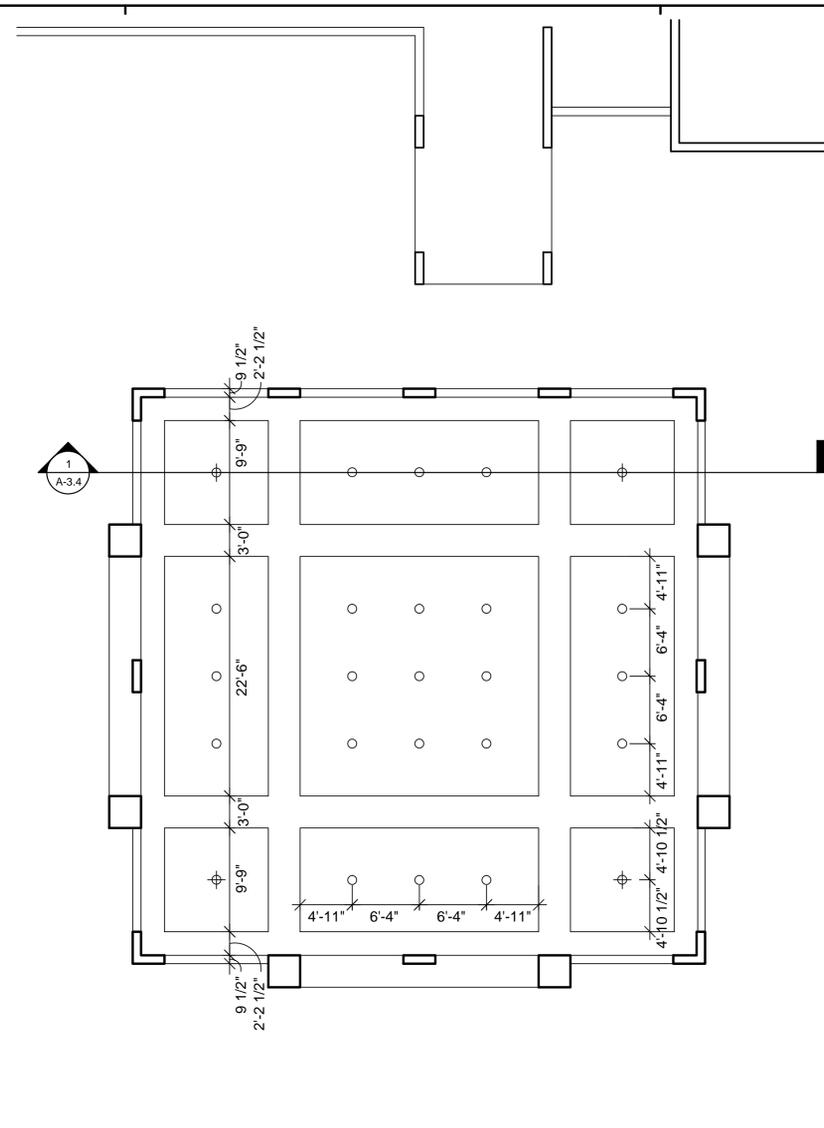
SHEET TITLE:
**COVERED POOL
PAVILION
DEMOLITION
FLOOR PLAN
ROOF PLAN**

DATE:
SCALE: 1/8" = 1'-0"
DRAWN:
JOB NO. 2981
FILE NAME:
SHEET

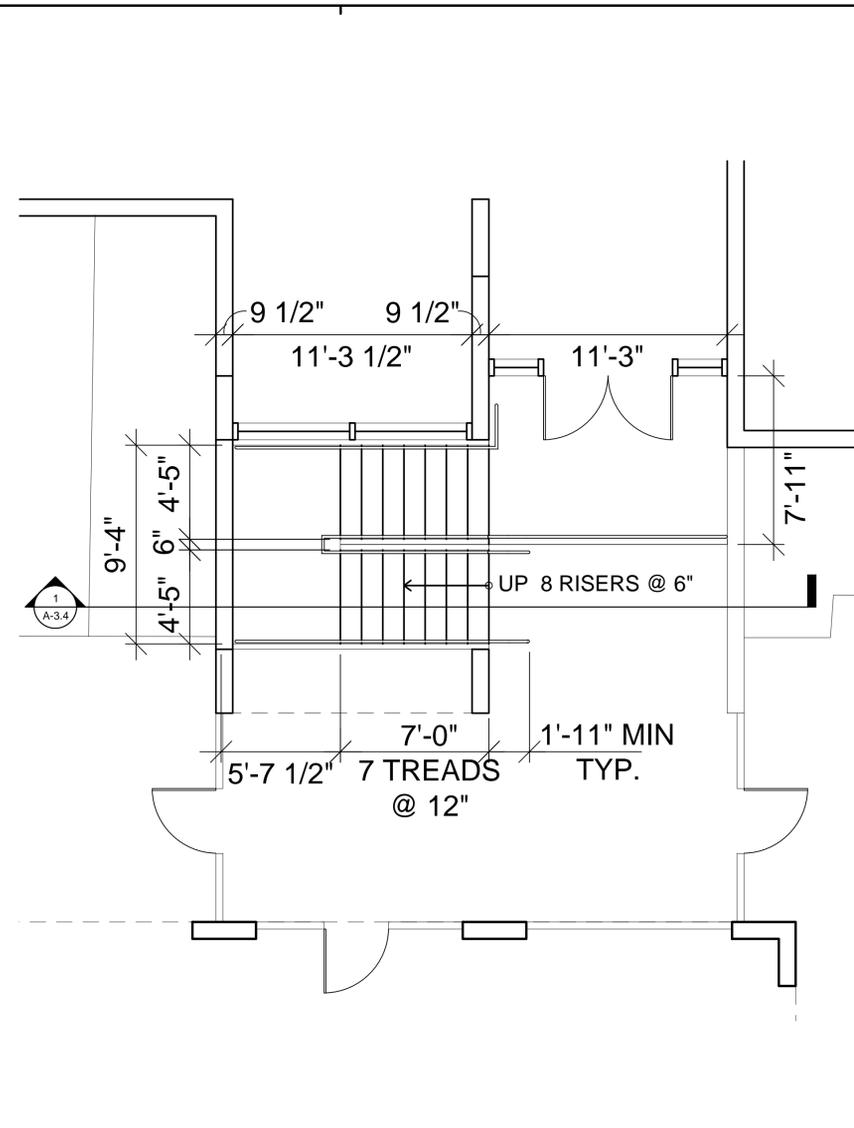
A-3.1b



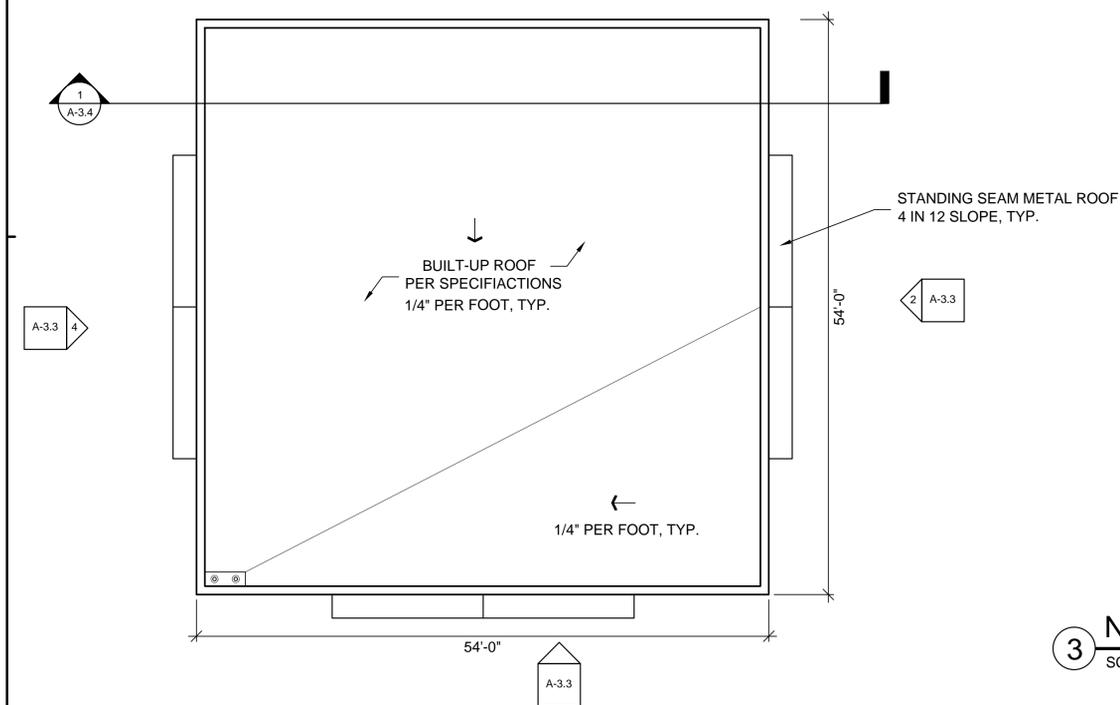
1 NEW CONSTRUCTION - FLOOR PLAN
SCALE: 1/8" = 1'-0"



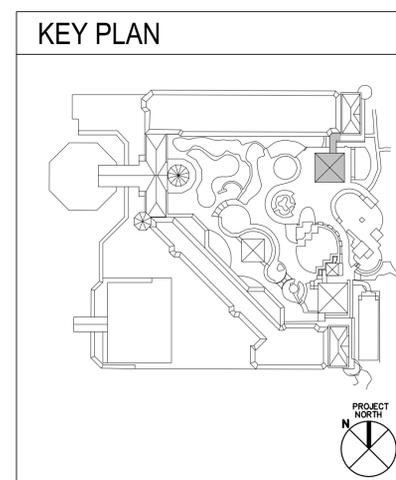
2 NEW CONSTRUCTION - RCP
SCALE: 1/8" = 1'-0"



4 NEW STAIR - FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 NEW CONSTRUCTION - ROOF
SCALE: 1/8" = 1'-0"



REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

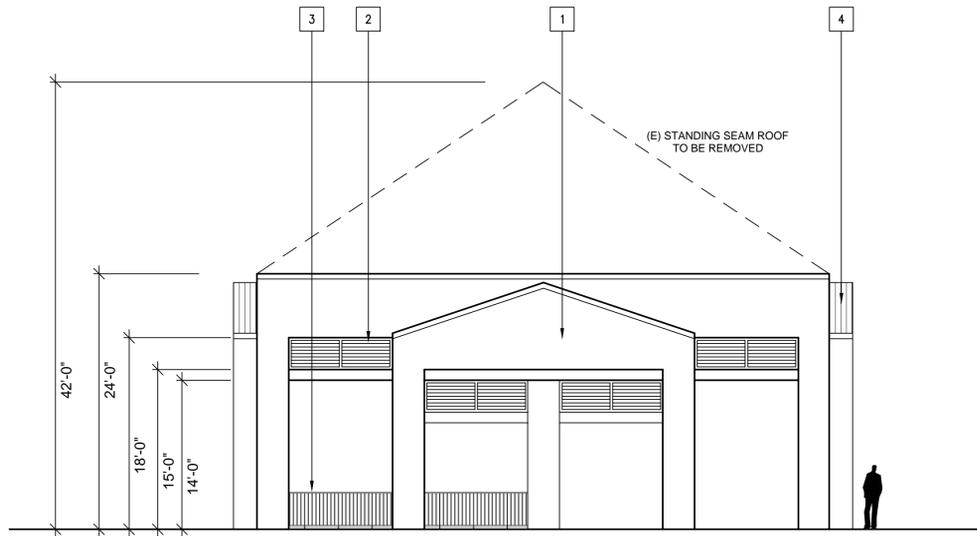
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**JOSEPH WONG
 ARCHITECT**
 2350 Fourth Avenue
 San Diego, California 92101-1006
 Phone (619) 233-9777 Fax (619) 237-0541

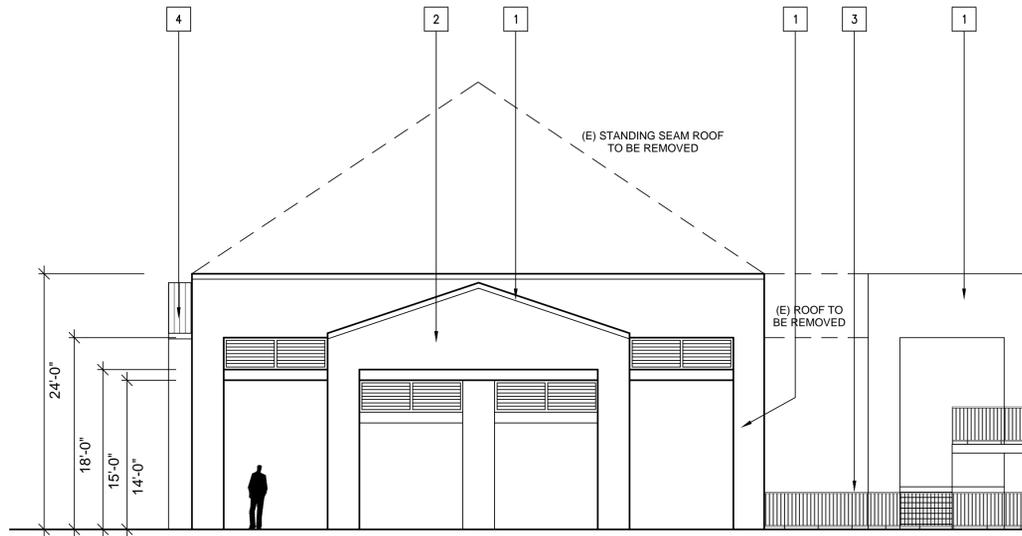
SHEET TITLE:
**COVERED POOL
 PAVILION
 & STAIR REPLACEMENT
 NEW CONSTRUCTION
 FLOOR PLAN**

DATE: 08-24-2012
 SCALE: 1/8" = 1'-0"
 DRAWN:
 JOB NO. 2981
 FILE NAME:
 SHEET

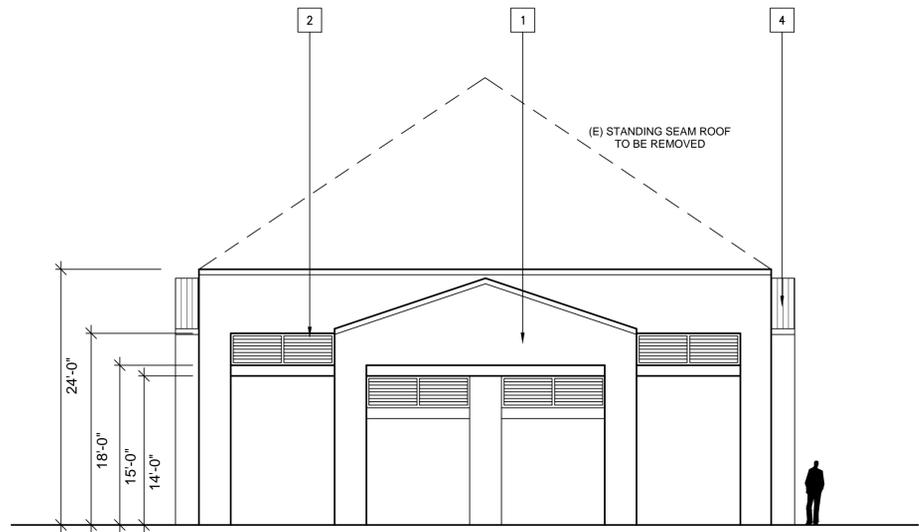
A-3.2



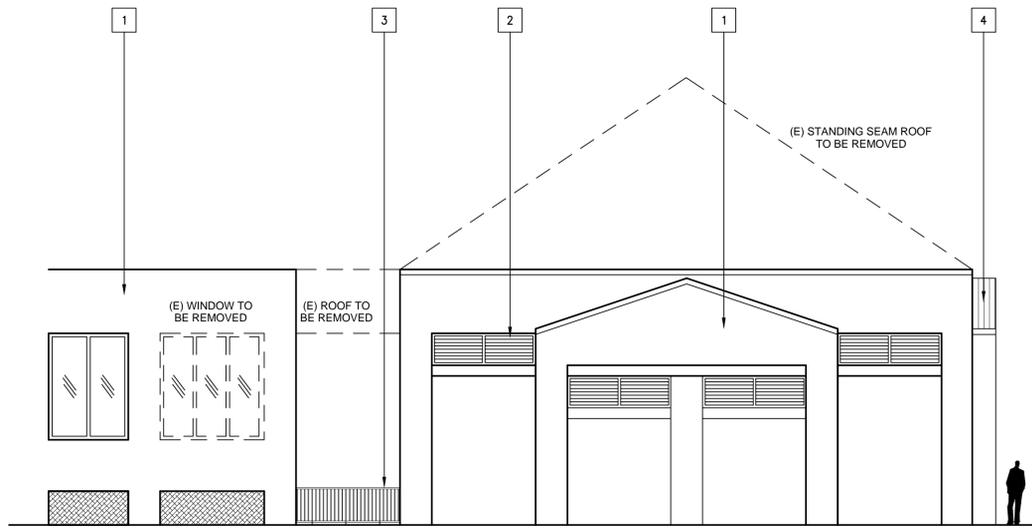
1 COVERED POOL - ELEVATION
SCALE: 1/8" = 1'-0"



2 COVERED POOL - ELEVATION
SCALE: 1/8" = 1'-0"



3 COVERED POOL - ELEVATION
SCALE: 1/8" = 1'-0"



4 COVERED POOL - ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 STUCCO
- 2 WOOD SHUTTERS
- 3 POOL FENCE
- 4 STANDING SEAM METAL ROOF, 4 IN 12 SLOPE

REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

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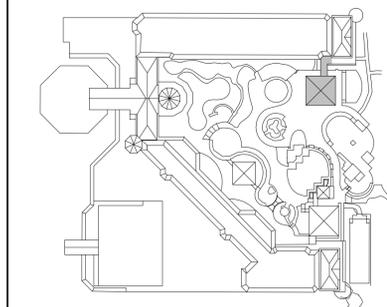
**JOSEPH WONG
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 San Diego, California 92101-1006
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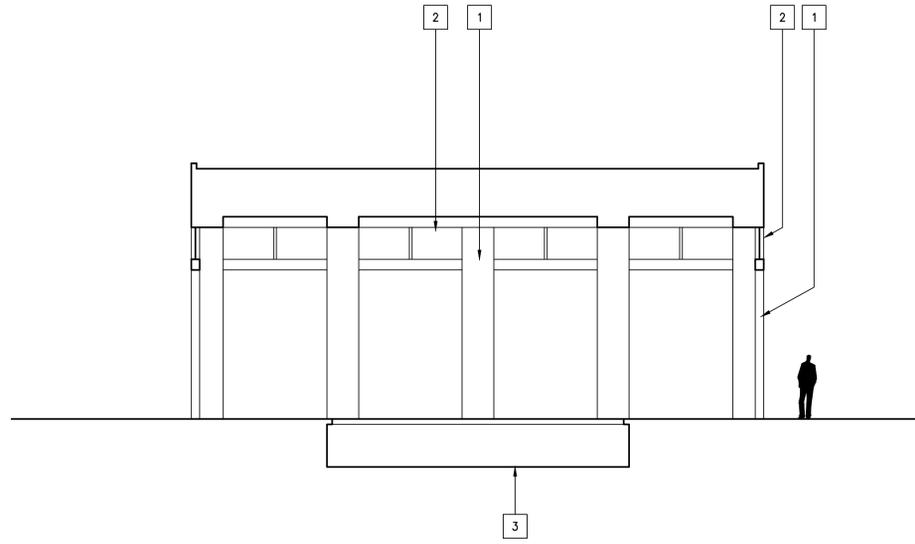
SHEET TITLE:
**COVERED POOL
 PAVILION
 & STAIR REPLACEMENT
 NEW CONSTRUCTION
 ELEVATIONS**

DATE	08-24-2012
SCALE:	1/8" = 1'-0"
DRAWN:	
JOB NO.	2981
FILE NAME:	
SHEET	

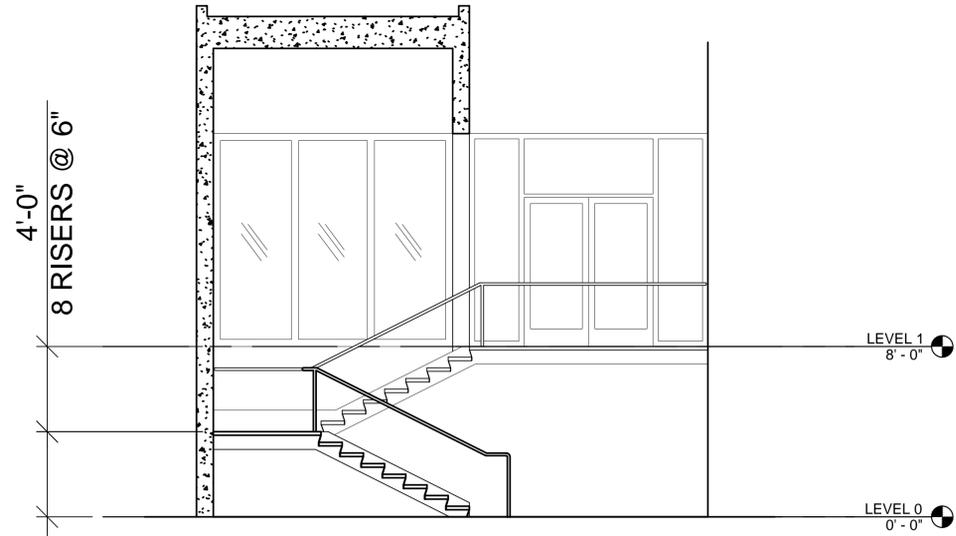
A-3.3

KEY PLAN





1 NEW CONSTRUCTION - SECTION
SCALE: 1/8" = 1'-0"

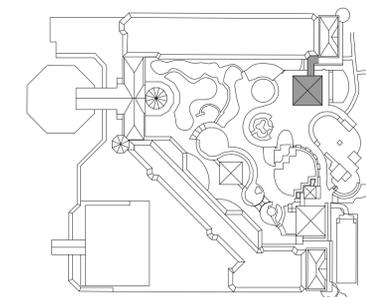


1 NEW CONSTRUCTION - STAIRS
SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 STUCCO
- 2 WOOD SHUTTERS
- 3 POOL

KEY PLAN



REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
WESTIN
HILTON HEAD ISLAND
RESORT AND SPA
2 GRASSLAWN AVENUE
HILTON HEAD, SOUTH CAROLINA

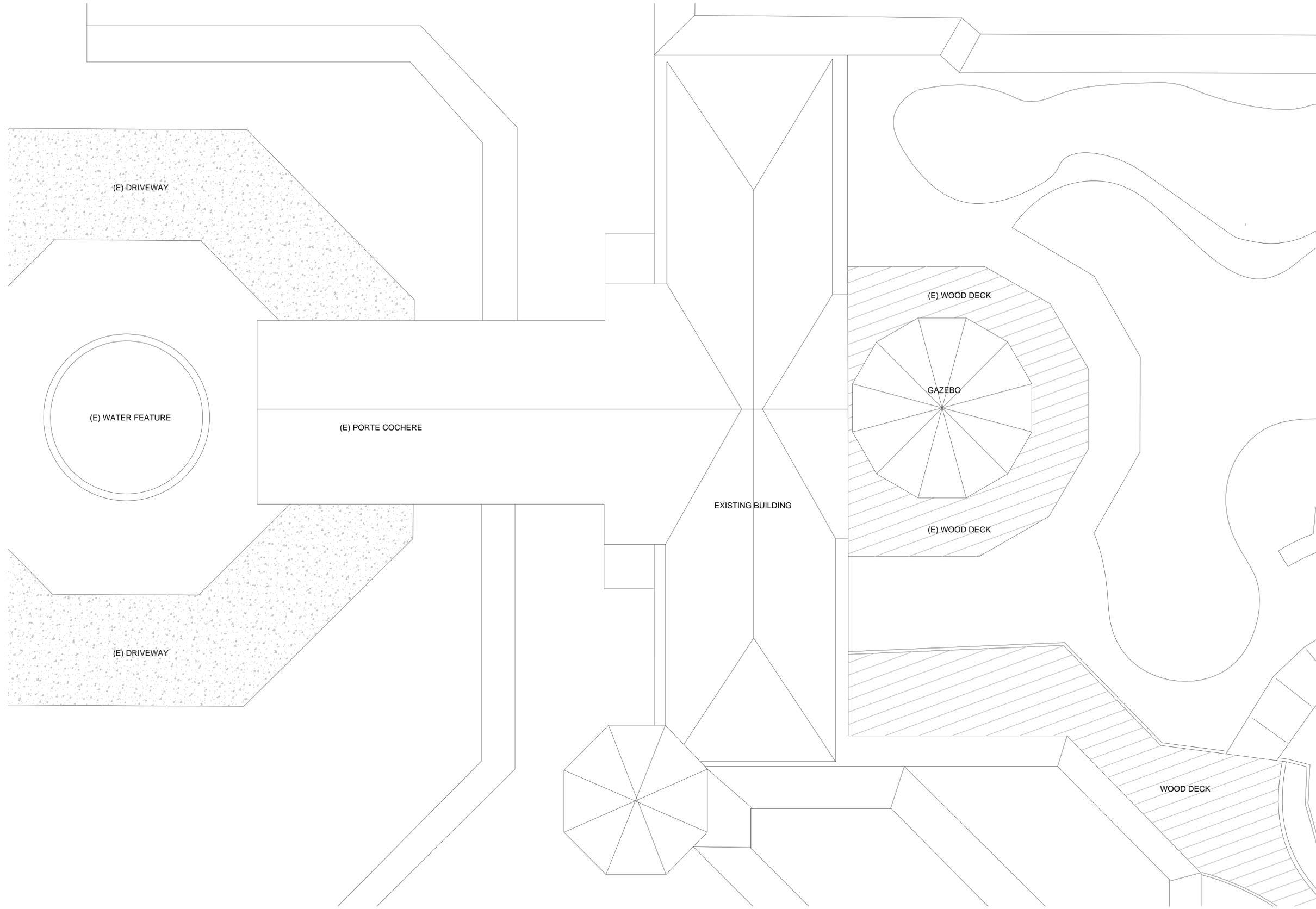
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SHEET TITLE:
COVERED POOL
PAVILION
& STAIR REPLACEMENT
SECTIONS

DATE: 08-24-2012
SCALE: 1/8" = 1'-0"
DRAWN:
JOB NO.: 2981
FILE NAME:
SHEET:

A-3.4



EXISTING CONDITIONS - SITE PLAN
 SCALE 1" = 10'

REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

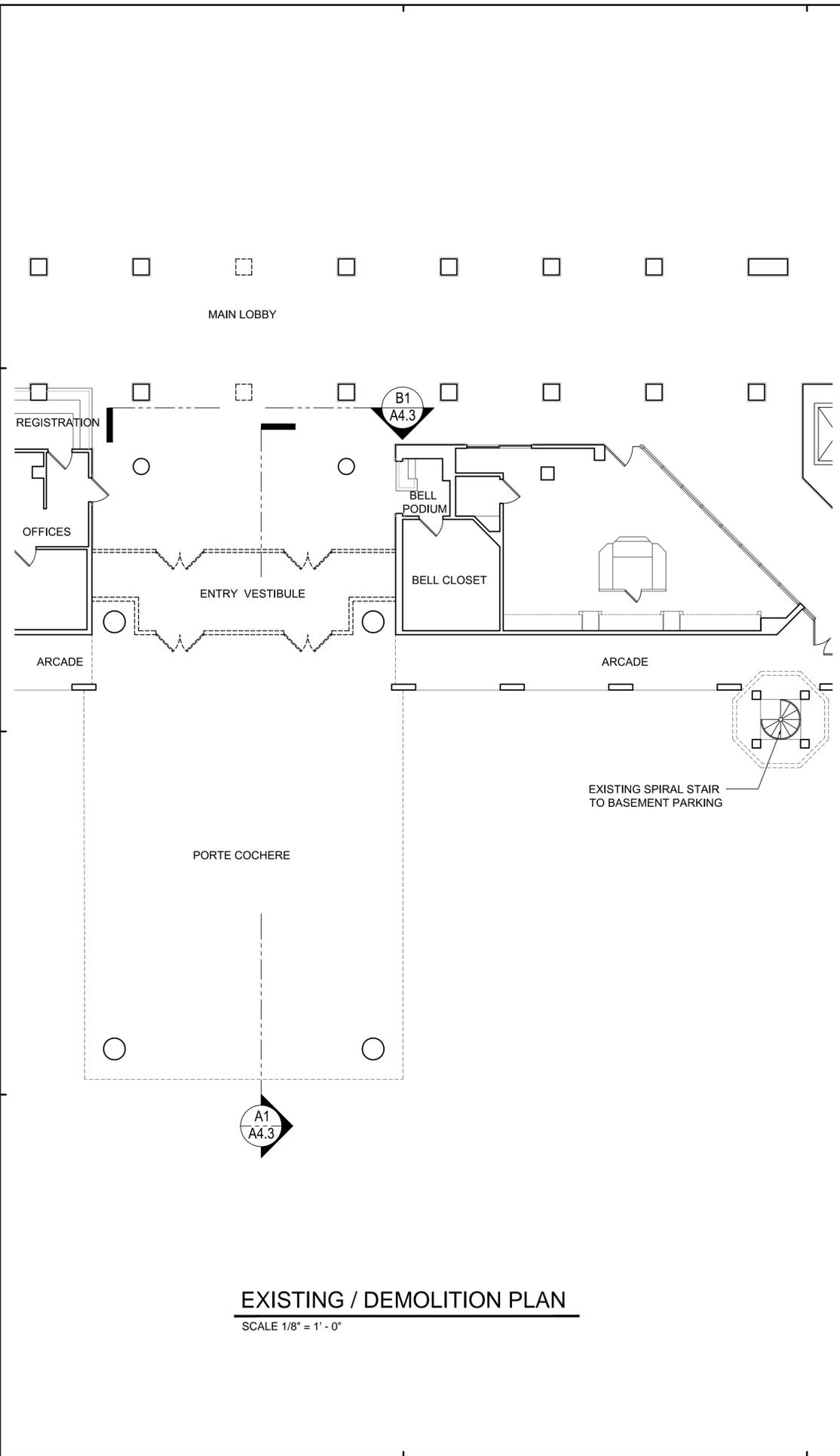
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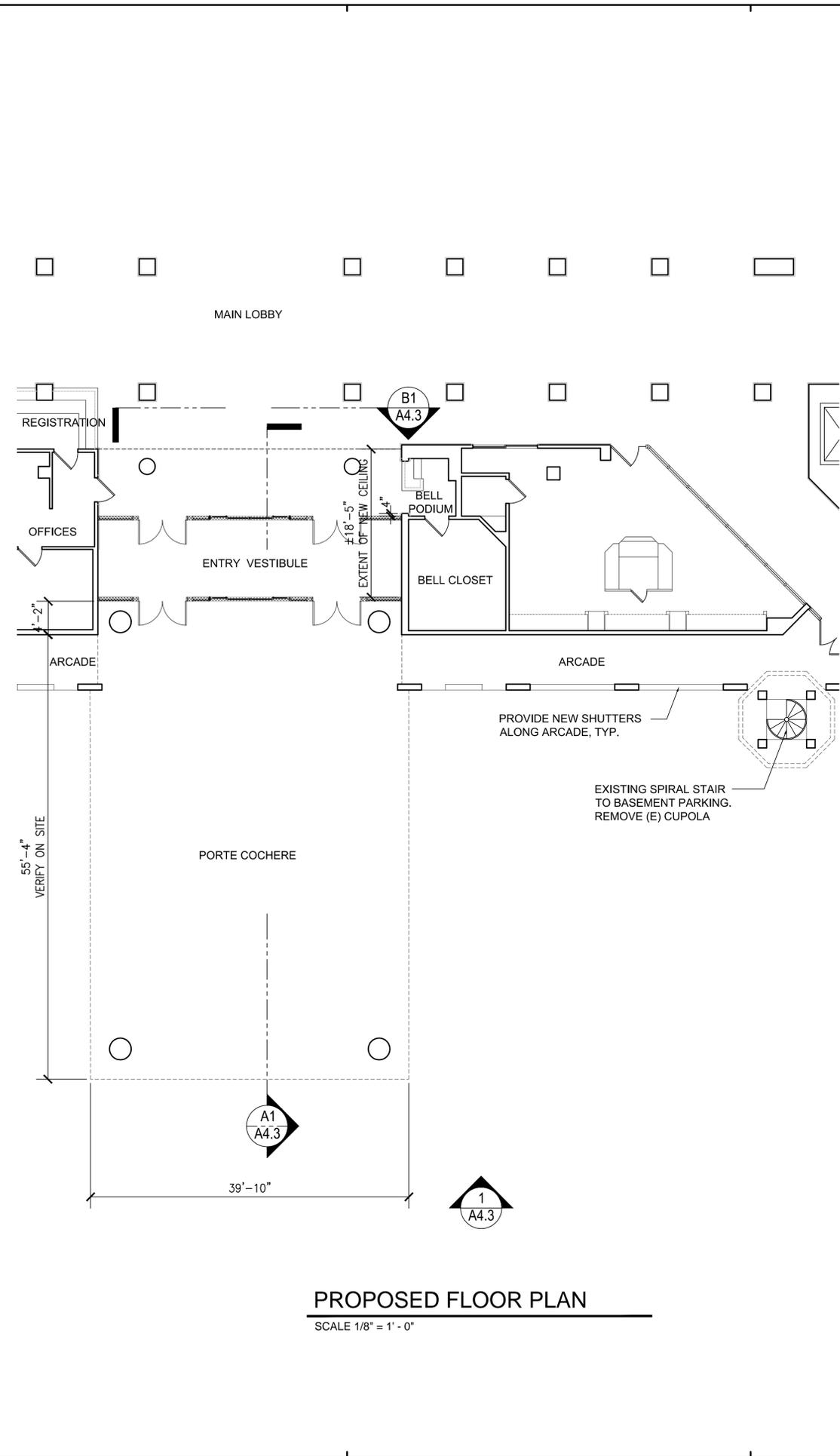


SHEET TITLE:
**PORTE COCHERE /
 ENTRY VESTIBULE
 EXISTING CONDITIONS,
 SITE PLAN**

DATE	08-24-2012
SCALE:	1/8" = 1'-0"
DRAWN:	
JOB NO.	2981
FILE NAME:	
SHEET	



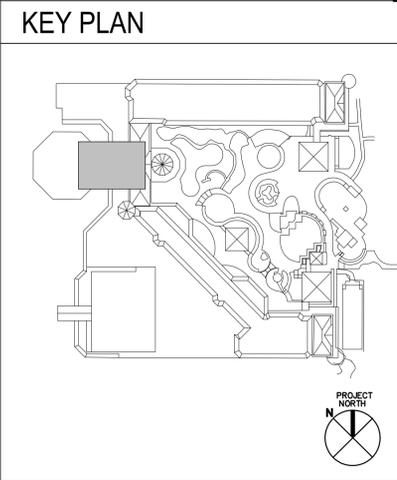
EXISTING / DEMOLITION PLAN
SCALE 1/8" = 1' - 0"



PROPOSED FLOOR PLAN
SCALE 1/8" = 1' - 0"

LEGEND

	EXISTING WALL TO REMAIN
	WALL/GLASSWALL TO BE REMOVED
	COLUMN TO BE REMOVED
	DOOR TO BE REMOVED
	NEW GLASS WALL PER PLAN



REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
**WESTIN
 HILTON HEAD ISLAND
 RESORT AND SPA**
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

I/We (the Architect) represent that the plans indicated or represented by this drawing are based on, and the information on which they are based, and were created, evolved, prepared, checked, approved, issued, or otherwise used by us or our consultants in connection with, the specified project. We do not warrant, however, that the information is complete, accurate, or that the drawings, designs, or specifications are free from errors or omissions. We do not warrant that the drawings, designs, or specifications will be suitable for the intended use without the written permission of the Architect. Contractors shall verify all dimensions on these drawings and be responsible for all dimensions shown. This office must be notified of all errors or omissions in these drawings and conditions shown by these drawings.

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SHEET TITLE:
**PORTE COCHERE/
 ENTRY VESTIBULE
 FLOOR PLANS**

DATE	08-24-2012
SCALE:	1/8" = 1'-0"
DRAWN:	
JOB NO.	2981
FILE NAME:	
SHEET	

A-4.2

KEY NOTES

- 1 EXISTING WALL/DOOR TO BE DEMOLISHED
- 2 EXISTING GLASS ROOF TO BE DEMOLISHED
- 3 NEW WALL / DOOR
- 4 NEW SHUTTERS ALONG ARCADE
- 5 WESTIN DECAL

REVISIONS:

DRB SUBMITTAL 2012.08.24

PROJECT NAME:
WESTIN
HILTON HEAD ISLAND
RESORT AND SPA
 2 GRASSLAWN AVENUE
 HILTON HEAD, SOUTH CAROLINA

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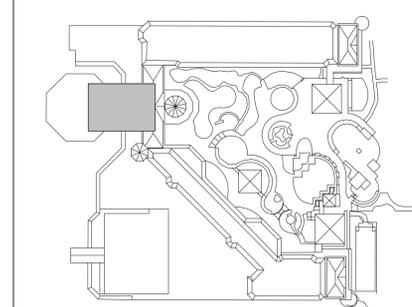
JOSEPH WONG
ARCHITECT
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SHEET TITLE:
**PORTE COCHERE/
 ENTRY VESTIBULE
 EXTERIOR ELEVATION,
 SECTIONS**

DATE	08-24-2012
SCALE:	1/8" = 1'-0"
DRAWN:	
JOB NO.	2981
FILE NAME:	
SHEET	

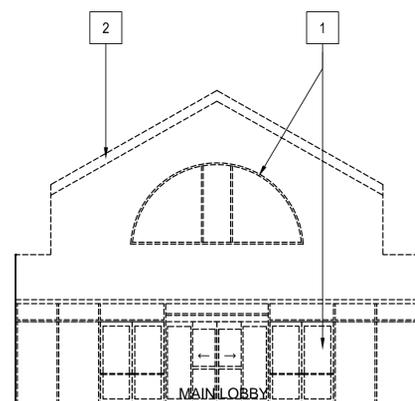
A-4.3

KEY PLAN



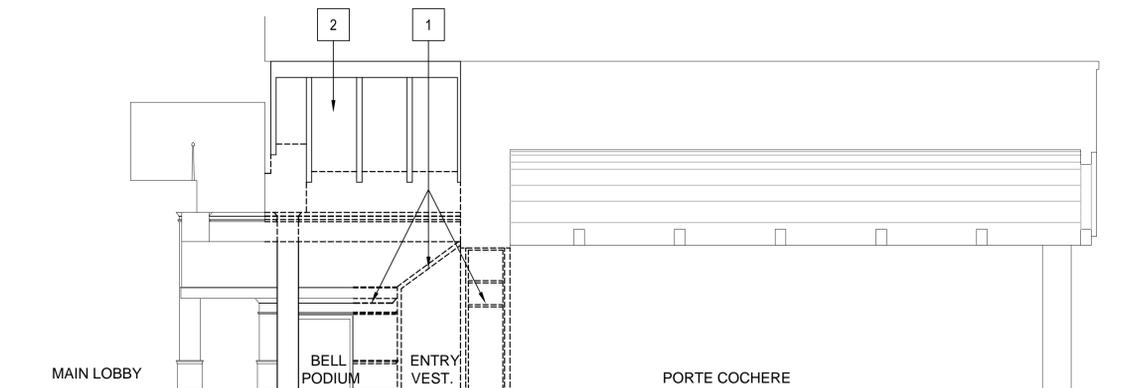
ELEVATION - 1

SCALE 1/8" = 1' - 0"



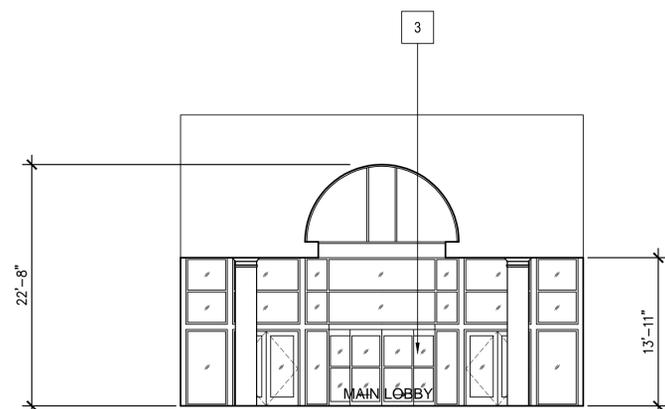
EXISTING / DEMOLITION SECTION - B

SCALE 1/8" = 1' - 0"



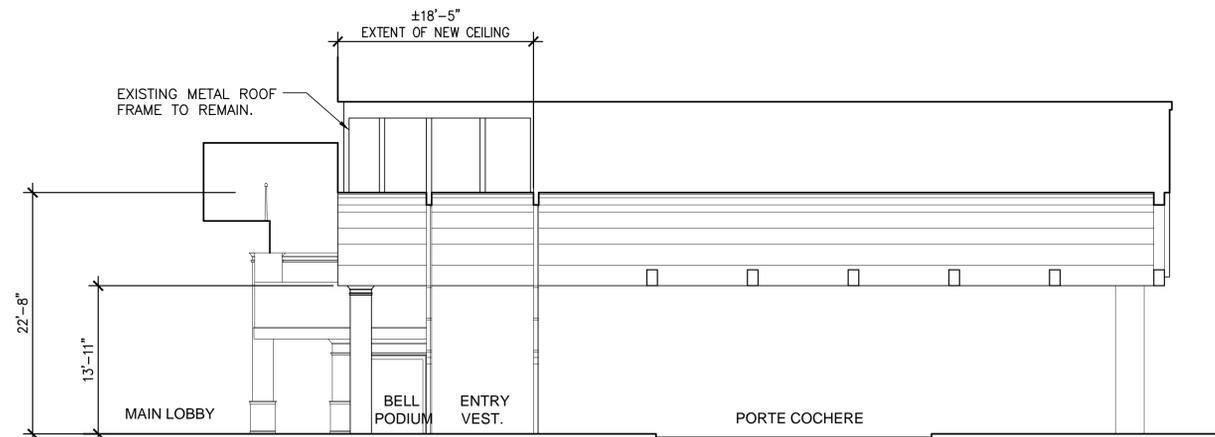
EXISTING / DEMOLITION SECTION - A

SCALE 1/8" = 1' - 0"



PROPOSED SECTION - B1

SCALE 1/8" = 1' - 0"



PROPOSED SECTION - A1

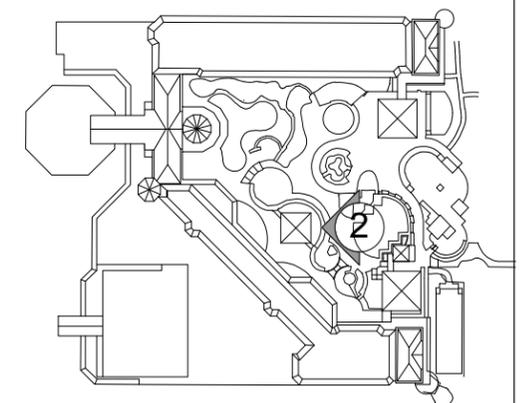
SCALE 1/8" = 1' - 0"



08.31.2012

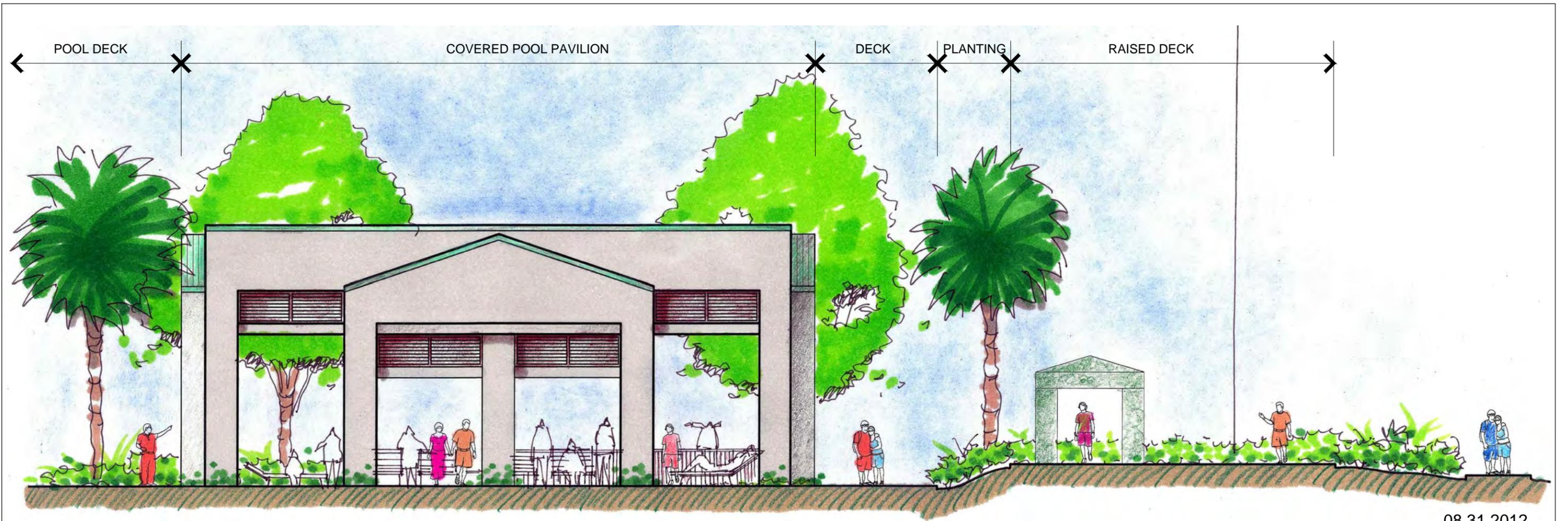
MID-LEVEL BAR ELEVATION
NOT TO SCALE

KEY PLAN



WESTIN HILTON HEAD ISLAND RESORT AND SPA
2 GRASSLAWN AVENUE, HILTON HEAD, SC 29928

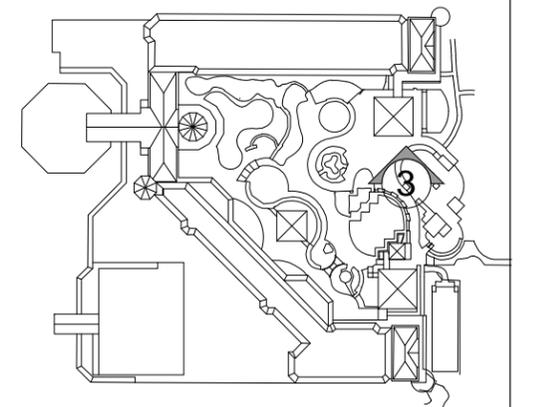
JOSEPH WONG ARCHITECT
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PHONE (619) 233-6777 FAX (619) 237-0541



08.31.2012

COVERED POOL PAVILION ELEVATION
 NOT TO SCALE

KEY PLAN



WESTIN HILTON HEAD ISLAND RESORT AND SPA
 2 GRASSLAWN AVENUE, HILTON HEAD, SC 29928

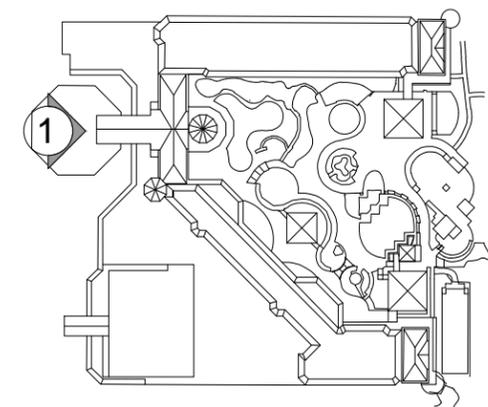
JOSEPH WONG ARCHITECT
 2359 FOURTH AVE. SAN DIEGO, CA 92101-1606
 PHONE (619) 233-6777 FAX (619) 237-0541



08.31.2012

PORTE COCHERE ELEVATION
NOT TO SCALE

KEY PLAN



WESTIN HILTON HEAD ISLAND RESORT AND SPA
2 GRASSLAWN AVENUE, HILTON HEAD, SC 29928

JOSEPH WONG ARCHITECT
2359 FOURTH AVE. SAN DIEGO, CA 92101-1606
PHONE (619) 233-6777 FAX (619) 237-0541

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Westin Hilton Head Island Resort and Spa –
ALTERATION & ADDITION

DRB#: DR 120025

DATE: September 11, 2012

RECOMMENDATION: Approval Approval with Conditions Denial

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

and architectural elements				
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	When a portion of the existing hedge is removed, additional shrubs may need to be planted to fill in/finish the end of the planter.
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

account in placement of shrubs so as not to damage tree roots				
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Bryan C. Dorshimer Company: IMC Resort Services Inc.
 Mailing Address: 2 Corpus Christi #352 City: HHS State: SC Zip: 29928
 Telephone: 843-785-4775 Fax: 785-3961 E-mail: Bryan@IMCResortServices
 Project Name: Springwood HPR. Project Address: 36 DeAllyon Ave.
 Parcel Number [PIN]: R553 013 000 0238 0048
 Zoning District: Central Forest Beach Overlay District(s): Corridor

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE *Agent for Springwood, LLC.*

8/27/12
DATE

DRB NARRATIVE

SPRINGWOOD VILLAS, HPR

August 28, 2012

The Board and owners at Springwood Villas, Horizontal Property Regime are requesting the installation of a 6 ft high, green vinyl chain link fence. The fence would be installed between Springwood property and the Town's natural area along Cordillo Parkway. Although very beautiful the Town's land is a haven for maladjusted characters and over the years the owners have experienced a severe number of criminal acts including but not limited to vandalism and/or theft of personal property. The primary purpose for the installation of the fence is to deter and/or eliminate foot traffic trespassing on Springwood property. A combined effort between Coral Sands and Springwood has resulted in the installation of a vinyl fence along their perimeter and has greatly improved the security; the Board and owners are requesting this additional fencing in hopes of the same progress. Thank you so much for your consideration and please feel free to call if a site visit is necessary.

Bryan Dorshimer

From: Jonathan Gray [jgray@graybarfence.com]
Sent: Thursday, August 25, 2011 7:55 PM
To: Bryan Dorshimer
Subject: Springwood Development,HH

August 25,2011

Bryan, Installing,

1400' 6x9x2 Green vinyl Fencing
1 3/8" Top rail Green
1 5/8" Line post Green
2 1/2" End/Corner post Green
All post to be set in concrete
Labor/Materials
Total\$11,215.00

Thank You,

Jonathan Gray

Jonathan Gray, VP
Graybar Fence Co., Inc.
PO Box 272
Port Royal, SC 29935
Phone 843-525-6172 Fax 843-525-1767
Email: jgray@graybarfence.com
Website: www.graybarfence.com



← 72 - 79
↑ 73 - 84
→ 85 - 120
No Pets Allowed
On Springside Property

NO PARKING
FIRE LANE





MAYTAG

2

68











DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Springwood Villas HPR – MINOR EXTERNAL CHANGE

DRB#: DR 120026

DATE: September 11, 2012

RECOMMENDATION: Approval Approval with Conditions Denial

6' high, green vinyl coated chain link fence located within existing landscaping is an appropriate material for proposed use & location. Fence installation will require some clearing/trimming. Contractor to meet with Natural Resource Planner, Rocky Browder, in field before any clearing/trimming take place. Applicant will be required to request that Town Council adopt an Ordinance granting an encroachment easement for fence construction on Town of Hilton Head property.