



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, November 12, 2013
1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of October 22, 2013
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A. New Development – Conceptual
 - 1) DR 130044 – Hilton Head Zaxby's
 - B. Alteration/Addition
 - 1) DR 130042 – The Beach House
 - 2) DR 130046 – Zip Line Hilton Head
 - 3) DR 130047 – Aunt Chiliads
 - C. Minor External Change
 - 1) DR 130048 – Jos. A. Bank Awning
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, October 22, 2013 Meeting
1:15p.m – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch, Jennifer Moffett, Tom Parker, Todd Theodore, and Galen Smith

Board Members Absent: Jake Gartner

Town Council Present: Bill Harkins

Town Staff Present: Jennifer Ray, Urban Designer
Heather Colin, Development Review Administrator
Jayme Lopko, Senior Planner; Nicole Dixon, Senior Planner
Brian Hulbert, Staff Attorney
Teri Lewis, LMO Official
Kathleen Carlin, Administrative Assistant

1. Call to Order

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

Ms. Ray reported that within the past 24-hours three applicants have requested that their applications be removed from today's agenda: (1) Application for Appeal APL130007, Bennali's Sandal & Hat Company, has decided not to contest the decision on the signs; (2) Hilton Head Zaxby's, DR130044, has requested that their application be placed on a future agenda due to working out some legal issues regarding the property; and (3) The Beach House, DR130042, their ARB approval letter was not received by the staff in time for placement on today's agenda. This application will appear on the Board's November 12th agenda.

The Board **approved** the agenda as revised by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the October 8, 2013 meeting as presented by general consent.

6. Staff Report

None

7. Board Business

None

8. Unfinished Business

None

9. New Business

A. New Development - Final

Hilton Head Plantation Telecommunications Facility – DR130032

Ms. Ray introduced the application and stated its location, 68 Dolphin Head Drive. This project received Conceptual approval by the Board on September 10, 2013.

Ms. Ray presented an in-depth overhead review of the Final review application including aerial photos of the site. The aerial photos show the locations of Dolphin Head Drive, White Tail Deer Lane, single-family residential, and Dolphin Head Golf Course holes # 11 and # 1.

The site is mostly wooded with tall pines and saw palmettos. The applicant proposes to install a stealth monopine tower, 140-ft. in height. The site plan shows access from Dolphin Head Drive via 14-ft. asphalt road. This is a change from gravel on the Conceptual submittal. Plans include a 39 x 60-ft. gravel compound with a wood fence surrounding the compound. The wood fence will be a minimum of 10-ft. tall. The 140-ft. tall monopine tower will be located inside the fenced compound.

The existing leisure trail is proposed to be relocated behind the tower. Per the Board's comments at the last meeting, the radius at the transitions from the existing trail into the new trail has been softened. The elevation indicates the 140-ft. monopine tower to be painted a dark brown. There is an option to add a bark type material to the pole with the intent that it will blend in with the existing pine trees.

The details show the wood board fence, 10' minimum, intended to screen the buildings inside the compound. The fence will be painted a Nantucket Grey per a condition of the Hilton Head Plantation's ARB. FCC regulations do require certain signage including 'private property', 'no trespassing', and the FCC registration number. These signs will be located outside of the compound. The signs are listed under the incidental sign category and are under 4-ft. in size.

Ms. Ray reviewed the applicant's landscape plan. The existing pines, palmetto palms, and hardwood trees will remain. The applicant has added additional landscaping on the open space side of the pathway as previously requested by the Board. The new plant material will be installed at a large size. The palmetto palms will be a minimum of 4-ft. tall and the pines will be installed at a minimum of 8-ft. tall.

Ms. Ray reviewed the elevations showing the proposed building. The building is located inside the fence and will not be visible unless someone is inside the compound. Ms. Ray reviewed a photo showing what the faux pine branches are intended to look like. The pine branches are on poles 5 - 6 ft. long. Ms. Ray distributed hard samples of the proposed bark material, the pebble finish, and the wood fence color for the Board's review.

Ms. Ray stated the Hilton Head Plantation ARB has approved the application with the condition that the installed wood fence be painted Nantucket Grey and that the plant material be installed at a large size.

Ms. Ray briefly reviewed the public comments that have been received by staff. The staff has received 316 letters in favor of the project and 17 letters in opposition. One of the letters in

opposition includes a petition with 57 signatures. The staff recommended that the application be approved as submitted. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Terry Thomas, E. M. Enterprises Contractors, Inc. presented statements in support of the application. Mr. Parker and Mr. Thomas discussed the color of the faux bark. The applicant stated the faux bark can be tinted any color to match the existing pines. All of the Board members stated that they like the project. Following the applicant's presentation, Chairman Sodemann requested public comments. The following residents presented statements in opposition to the application:

(1) Mr. Jim Scheider presented statements in opposition on behalf of a number of property owners living 100-150-ft. of the project; (2) Mr. Brad Wainwright; (3) Ms. Elaine Genson; (4) Mr. Jeffrey Kaplan; (5) Mr. David Premo; and (6) Ms. Lynn Moss presented statements in opposition based on the 100-ft. notification requirements, the affected parties living outside of the 100-ft. notification requirement, and the negative impact on property values.

Chairman Sodemann reported that the Design Review Board has jurisdiction over only the aesthetics of a project. The Design Review Board has no jurisdiction over land uses or POA covenants.

Mr. Parker asked Ms. Ray to clarify the submittal requirements for the Final review of this application. Ms. Ray described the submittal requirements for the Final review of an application and stated the requirements for the Final review of this project were met.

Following public comments, Chairman Sodemann requested comments from the Board. All of the Board members stated that they like the project. At the completion of comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion** to **approve** the Hilton Head Plantation Telecommunications Facility application, DR130032, with the condition that the faux bark be painted a grey color that will match the existing pine trees. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

B. New Development – Conceptual

(Mr. Theodore recused himself from review of the following application, Harbour Town Golf Clubhouse, due to a professional conflict of interest. A Conflict of Interest Form was completed, signed by Mr. Theodore, and attached to the record.)

Harbour Town Golf Clubhouse – DR130041

Ms. Ray introduced the application and stated its location, 11 Lighthouse Lane. The objective of the Sea Pines Resort is to create a world class clubhouse for golf patrons as well as resort guest and residents. The Harbour Town Golf Course is ranked the second highest by PGA players as their most favorite course behind Augusta National, and is consistently ranked in the top 25 courses in the country. A golf course of such high quality needs to be complemented with a clubhouse facility of equal quality and amenities.

Ms. Ray presented an in-depth overhead review of the application. The photos show neighboring uses and architectural styles including the Inn at Harbour Town, the Sea Pines Racquet Club, the Lighthouse Promenade and the adjacent villas, the Harbour Town Yacht Basin, and the adjacent villas.

The survey shows the existing Clubhouse, the Conference Center, the practice green, the drop off, the parking, and the Inn. Ms. Ray reviewed the applicant's plan showing the buildings in relationship to each other (the Inn, the Conference Center, the Clubhouse, and the Lighthouse).

The site analysis prepared shows key features such as significant trees as well as pedestrian and vehicular circulation.

The design of the new Clubhouse is intended to capture the spirit and history of the Heritage Golf Tournament. The "golfers' entry" is located on the east end making it convenient and inviting for Inn guests as well as for golfers arriving via car. The main entry is located on the north side of the building and is on axis with the Lighthouse. The existing Clubhouse axis and alignment to the Lighthouse has not only been maintained but enhanced and celebrated in the design of the new clubhouse.

The plan provides a formal drop-off zone as well as a gentleman's plaza. The plaza extends beyond the drop-off, opening into the plaza and cart staging area. Also included is an event lawn that can be viewed from the Clubhouse and used during special events. Parking has been modified slightly between the Clubhouse and the Inn, and also replaces two of the existing tennis courts for additional parking.

The entry at Lighthouse Lane is proposed to have a raised pedestrian crossing where the Trolley stops. The Promenade will include a new boardwalk with enhanced landscaping and seating. The proposed three-story structure includes a golf cart garage and storage at the ground level, a pro-shop, women's locker room, restaurant, private dining, toilet rooms, and kitchen and back-of-house activities on the main floor; and men's/Pro's locker room, multi-function rooms, toilet rooms, and back-of-house on the upper floor.

The existing Conference Center roof will be removed and replaced with a new slate roof that better complements the new Clubhouse. The exterior stucco on the Conference Center will be removed and replaced with materials to match the new Clubhouse.

The proposed new Clubhouse exterior materials are intended to compliment the context of Harbour Town and the overall Sea Pines community as well as evoke a sense of timeless tradition. Cement-based scored stucco will be used on the ground and main floors. The upper floor will be covered with a shell-impregnated stucco with a cast stone band separating the upper and lower floors. In addition to the band, cast stone will be used on the window and door trim, columns and bases. Wood windows will be clad in a color to match the cast stone trim. Exterior doors will be stained mahogany. The main roof material will be a Vermont slate and the accent roofs will be covered in copper with a verde finish.

Ms. Ray reviewed details of the elevations. The architecture and landscaped environment is intended to portray an understated richness and patina found in classic golf clubhouses. Wide expanse of windows allow an abundance of natural light into the interior spaces while providing amazing views out to the golf course. Covered porches on the main and upper floors allow patrons to enjoy being outside, while being protected from the elements. The main floor patio will accommodate outdoor seating for the restaurant patrons or an inviting place for gathering.

The Sea Pines ARB has issued a preliminary approval with the conditions that the applicant restudy the scale and proportions of the handrails so they read as very substantial plus the horizontal bands should be more substantial.

The staff recommends approval of this Conceptual application as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Cliff McMackin, Director of Resort Development, Sea Pines Resort, presented statements

in support of the application. The applicant presented comments regarding the timeline for the project.

Mr. Smith, Ms Moffett and Vice Chairman Welch stated that they like the project and complimented the architectural elements.

Mr. Parker and Mr. Grady Woods, architect for the project, discussed details of the metal roof. The applicant intends to use real copper in a pre-patina finish. The slate will be real in a grey-based color.

Chairman Sodemann stated that he thinks the handrails look nice. They should be consistent with the porch handrails of the Conference Center.

Chairman Sodemann and Ms. Kristen Mansfield, Wood + Partners, briefly reviewed the landscaping plan for the project. The landscape plan will be submitted at Final review of the project. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a motion to **approve** the Harbour Town Golf Clubhouse application, DR130041, as submitted. Ms. Moffett **seconded** the motion and the motion **passed** with a vote of 5-0-0.

C. Alteration/Addition

The Fidelity Building – DR 130043

Ms. Ray introduced the application and stated its location, 807 William Hilton Parkway, in the Plantation Center. The applicant is proposing to install an elevator at the existing building. Ms. Ray presented an in-depth overhead review of the application including site photos and elevations.

The site photos show existing conditions and location of the proposed addition. The location was chosen due to convenience of parking and existing stairway to the second floor. The project will have limited impact on the site with no changes to existing parking or lighting and only marginal changes to existing landscape.

One tree and a few shrubs will need to be removed to accommodate the addition. The survey shows existing conditions. The site plan shows the location of the addition in the front corner of the building, adjacent to the existing stair entry to the second floor.

A model story of four perspective views was prepared indicating the new pit and stair openings, the elevation equipment, the elevator massing study, and a roof perspective. The design is intended to match the existing size, scale, and finishes of the existing structure. The staff recommends approval of the application with the condition that a landscape plan indicating the proposed changes be submitted for review and approval. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Dan Ogden, D. L. Ogden Architecture, LLC, presented statements in support of the application. The applicant stated the addition of the new two-story elevation will be an important feature in attracting tenants to the facility as well as providing barrier-free access to the existing second floor. The design is intended to match the existing size, scale and finish of the existing structure in order to maintain an appropriate context for this type of facility and surrounding neighborhood. Following the applicant's presentation, Chairman Sodemann requested comments from the Board.

Mr. Smith presented statements regarding the need for additional landscaping at the front of the building. Ms. Moffett agreed with Mr. Smith's comments regarding landscaping requirements.

Mr. Theodore and Vice Chairman Welch agreed with the comments presented so far by the Board. Mr. Parker recommended that additional design be given to the front of the building. The current submission does not seem to meet the intent of the Design Guide. The creation of a third element would help the project. Mr. Parker and the applicant discussed the recommended design addition.

Chairman Sodemann agreed with the concerns presented by Mr. Parker. There is something that can be done to bring an element to the project besides a stucco rectangle. An architectural quality seems to be missing from the project right now.

Following final comments by the Board, the applicant stated that he would like to *withdraw* the application for additional study. The applicant will resubmit the project at a later date.

D. Minor External Change

Tidepointe Entry Landscaping – DR 130045

Ms. Ray introduced the application and stated the location, 700 Tidepointe Way. Ms. Ray presented an in-depth overhead review of the application including aerial photos of the site. The site includes 57 cottages, 10 verandas, 2 villas, the clubhouse, and the care center.

The applicant proposes to renovate the 60 acre site by using native/prevalent landscape material, adding aquatic plants at lagoon edges, considering views from villa windows, and massing flowers in strategically placed beds. The first phase will focus on entrance with other phases to follow over several years. The site photos show existing conditions at the entrance, along Tidepointe Way, the spa, the clubhouse, the villas, the care center, courtyards, verandas and cottages. Ms. Ray reviewed the areas that are scheduled for improvements.

The main entrance area is currently heavily wooded. Many of the existing pines will be removed (a significant portion of them are poor specimens with defects). The trees will be replaced with highly value species.

The applicant plans to retain the existing plants to the extent possible with some flexibility toward an aesthetically pleasing overall design. The plant material will be native to the extent possible. The plant material will be low maintenance, sustainable, and ecologically fitting for the area. The lagoons will be planted at their edges with appropriate aquatic plants such as grasses, blue flag iris, lizard tail, and pickerelweed. Along Tidepointe Way the applicant plans to clean up the understory, remove vines and small trees and add azaleas, camellia, saw palms, grasses and ground cover. The applicant plans to improve the entrance to cottages and verandas at Freshwater Lane.

Ms. Ray reviewed the trees that are scheduled for removal. The applicant plans to replace the overgrown vegetation and overgrown hedges. The applicant plans to make improvements in parking. The staff recommended approval of the application. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. David Chidboy, Director of Engineering for Tidepointe, presented statements in support of the application.

The applicant and the Board discussed several issues including the selection of plant material and the removal of trees. Following the applicant's presentation, Chairman Sodemann requested comments from the Board.

Mr. Theodore stated that some of the plant palette is more ornamental rather than native. The applicant should be careful with plants that are attractive to deer. The other Board members stated that they like the plan. Chairman Sodemann and the applicant discussed the timeframe for the project. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Theodore made a **motion** to **approve** the Tidepointe Entry Landscaping application, DR 130045, as submitted. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. Appearance by Citizens

None

11. Adjournment

The meeting was adjourned at 2:30p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistance

Scott Sodemann
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: VICTOR TALLEY Company: HILL FORT POSSI & ASSOC.
 Mailing Address: 3600 PLEASANT HILL DR City: DULUTH State: GA Zip: 30096
 Telephone: 770.622.9058 Fax: 7.622.9535 E-mail: VTALLEY@HFFRAA.COM
 Project Name: HILTON HEAD ZARBS Project Address: HWT 270 & YACHT COVE DR.
 Parcel Number [PIN]: R 520 011 000 0166 0000 HILTON HEAD ISLAND, SC.
 Zoning District: COMMERCIAL CENTER (CC) Overlay District(s): CORRIDOR OVERLAY (COR)

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

4 MARINA SIDE DR.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE VICTORIA TALLEY Assoc. AIA 10.7.2013 DATE
 HILTON HEAD ISLAND ASSOC.
 ARCHITECTS & ENGINEERS



September 4th, 2013

RE: Hilton Head Island
Proposed New Zaxby's Restaurant

To whom it may Concern:

The intent of the proposed design of the new Zaxby's Fast Casual Restaurant in Hilton Head is to provide Island residents and visitors with the opportunity to enjoy a rich dining experience, consisting of the highest quality foods combined with a warm and inviting dining atmosphere, while also blending with and complimenting existing Island Architecture and infrastructure.

The current design for the proposed Zaxby's Restaurant in Hilton Head Island incorporates many of the Architectural features proposed in the Hilton Head Island Design Guide, as listed below:

Roof:

The Roofs incorporated in the design are of a medium to low pitch, utilizing galvanized metal roofing detailing, with ample overhangs and eaves, as well as decorative brackets at the eave line, which correspond to traditional Hilton Head Island Architecture, character and flair. The roof style is also complimented by the use of a separate style of cornice treatment along the remainder of the buildings parapet walls; including cornices with a decorative stepped profile that provide contrast to the broad, expansive eaves and decorative painted wood brackets at the higher Architectural elements. The building's massing is varied, with slightly higher elements including gabled roofs providing prominence to features such as main and side entry points, as well as a dining area "nook", that is expressed in plan as well as elevation.

Decorative Features:

The design incorporates such elements as decorative painted 4x4 wood brackets with chamfered, beveled ends, low shed roof canopies for decoration and sun protection at the window locations, and decorative metal railings to accent the drive-thru entry door. Synthetic stucco cornices with stepped profiles adorn the building in numerous locations, and a board and batten look with decorative galvanized gooseneck light fixtures provide wall-wash night time lighting, and are installed at varying heights creating interest and further enforcing the design content. A wainscot treatment in brick surrounds the building, further emphasizing massing, and providing delineation of Architectural elements, as well as sound Architectural composition. Earth tone colors are used throughout to correlate to Island Architecture.

Windows:

Storefront windows utilize divided light mullions to break up the expanse of glass. Mullions are of a lighter contrasting color to stucco trim or wall color, thereby enhancing the design and complimenting the overall color palette. The storefront color as well as galvalume metal roofing, and gooseneck wall accent fixtures, are all of the same color and texture which solidifies the design. High vertical windows/storefront accent the main entrances and dining nook while framed window openings, indicative of traditional architectural trim work, are used throughout.

Wall Finishes:

Wall finishes consist of synthetic stucco walls with brick articulated bases and banding accent trim, or board and batten style treatments. Wall planes are shifted frequently providing design interest and Architectural complexity.

Higher Architectural elements at entry points provide emphasis as primary design elements, and add complexity to Architectural massing.

Please see the attached rendering and materials board for reference. Should you have any questions or comments please feel free to contact me at 770-407-6900.



Sincerely,
Jeffrey T. Hill R.A.
South Carolina registration number
SC6470

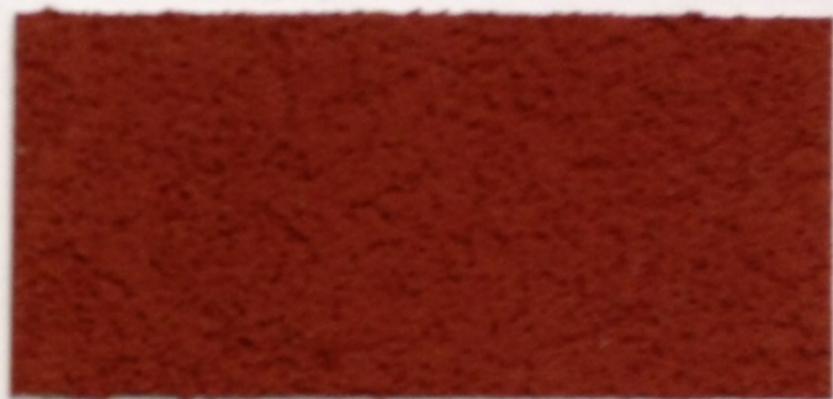




ROOFING: GALVANIZED/
GALVALUME



GROUT: COOSA "ANTIQUE BUFF"



EIFS: STO - 130D STOLIT DARK /
SW2839 "ROY CROFT COPPER RED"



PREFINISHED MTL COPING: BERRIDGE
COLOR TO MATCH ACCENT PAINT



ACCENT PAINT:
SHERWIN - WILLIAMS
SW 7307



BRICK: GENERAL SHALE "COMMONWEALTH"



Site Analysis

The property is located at 4 Marina Side Drive at the southwest intersection of William Hilton Parkway and Yacht Cove Drive. The proposed development includes a Zaxby's Restaurant with a drive thru. The property is currently zoned Commercial Center (CC) which allows for a development of this type. A Special Exception was granted on June 24, 2013 for the drive thru.

The existing trees have been identified on the survey as well as the conceptual site plan. A majority of the existing trees will remain. There is an existing pine tree and a Laurel Oak within the parking area at the northeast corner of the site that will be removed.

Access to the site will be from Yacht Cove Drive and Marina Side Drive with no direct access from William Hilton Parkway. There is an existing shared access within an easement located at the southwest corner of the site that will remain.

There are no significant topographical issues on the subject property. The property drains to the southwest corner of the site where it is collected in an existing storm drain system.

The proposed parking area meets the Town's Ordinance. The minimum parking spaces required includes 38 spaces and the maximum spaces allowed is 46. The proposed parking field includes 40 spaces. New landscaping will be provided around the parking area and perimeter per the Town's Landscape Ordinance. The impervious surface is 64.8% and the open space is 35.2% which exceeds the Town requirement.









E.F. MARCHETTI
COMMERCIAL

AVAILABLE

18431837-9634

A red rectangular sign with white text and a logo. The logo consists of a white square containing the letters 'P' and 'S' in a stylized font. To the right of the logo, the words 'Public Storage' are written in a bold, white, sans-serif font. The sign is supported by two white vertical posts.

PS Public Storage

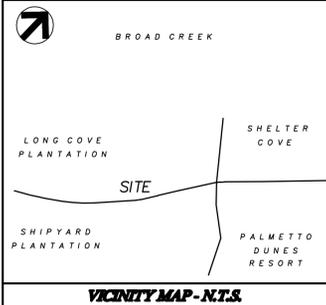




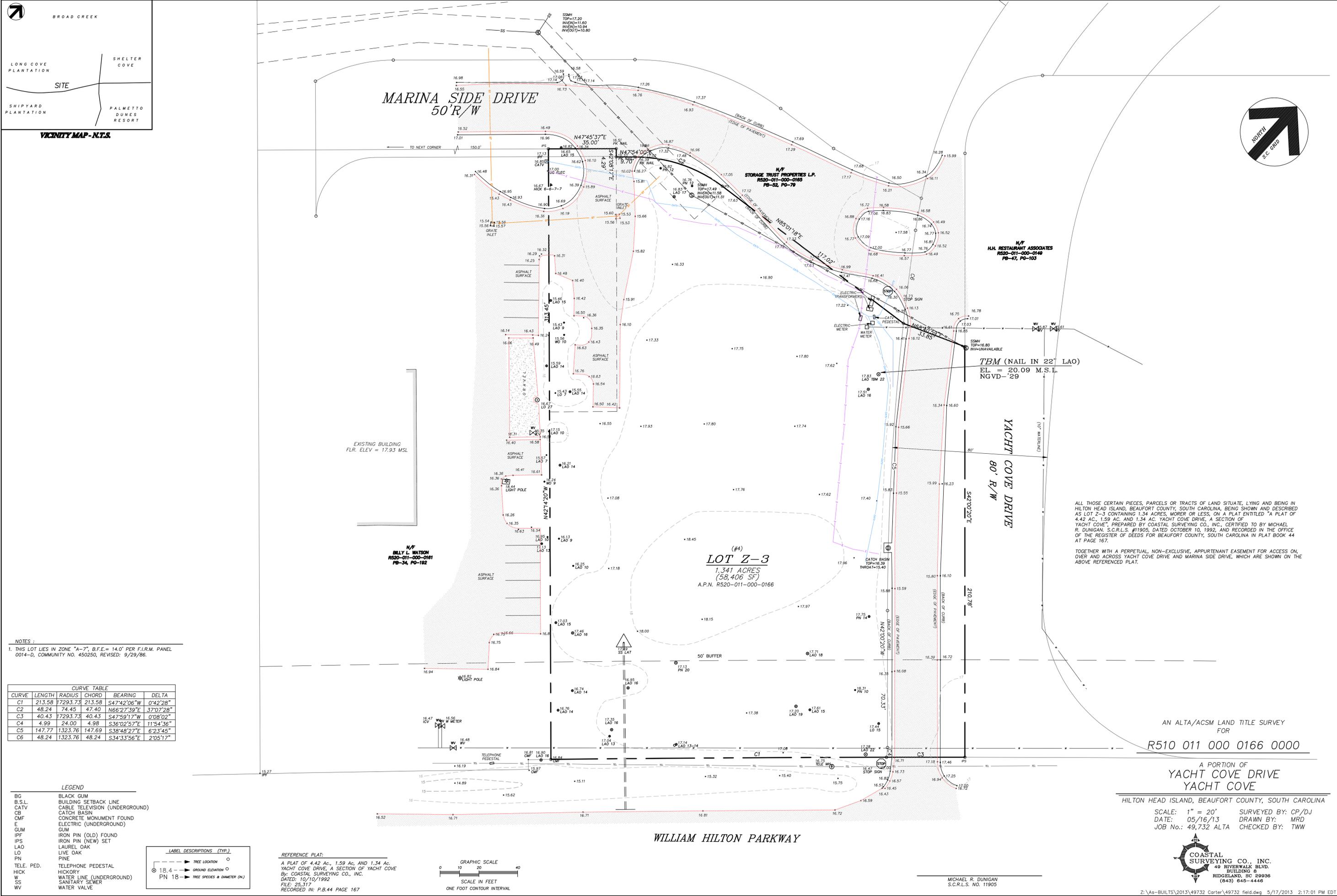
HILTON HEAD DINER







VICINITY MAP - N.T.S.



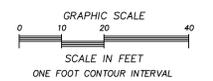
NOTES:
 1. THIS LOT LIES IN ZONE "A-7", B.F.E. = 14.0' PER F.I.R.M. PANEL 0014-D, COMMUNITY NO. 450250, REVISED: 9/29/86.

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	213.58	17293.73	213.58	S47°42'06"W	0°42'28"
C2	48.24	74.45	47.40	N66°27'39"E	37°07'28"
C3	40.43	17293.73	40.43	S47°59'17"W	0°08'02"
C4	4.99	24.00	4.98	S36°02'57"E	11°54'36"
C5	147.77	1323.76	147.69	S38°48'27"E	6°23'45"
C6	48.24	1323.76	48.24	S34°33'56"E	2°05'17"

LEGEND	
BG	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION (UNDERGROUND)
CB	CATCH BASIN
CMF	CONCRETE MONUMENT FOUND
E	ELECTRIC (UNDERGROUND)
GUM	GUM
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
LAO	LAUREL OAK
LO	LIVE OAK
PN	PINE
TELE. PED.	TELEPHONE PEDESTAL
HICKORY	HICKORY
W	WATER LINE (UNDERGROUND)
SS	SANITARY SEWER
WV	WATER VALVE

LABEL DESCRIPTIONS (TYP.)	
○	TREE LOCATION
○ 18.4	GROUND ELEVATION
PN 18	TREE SPECIES & DIAMETER (IN)

REFERENCE PLAT:
 A PLAT OF 4.42 AC., 1.59 AC. AND 1.34 AC. YACHT COVE DRIVE, A SECTION OF YACHT COVE BY: COASTAL SURVEYING CO., INC. DATED: 10/10/1992 FILE: 25.317 RECORDED IN: P.B.44 PAGE 167



ALL THOSE CERTAIN PIECES, PARCELS OR TRACTS OF LAND SITUATE, LYING AND BEING IN HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, BEING SHOWN AND DESCRIBED AS LOT Z-3 CONTAINING 1.34 ACRES, MORE OR LESS, ON A PLAT ENTITLED "A PLAT OF 4.42 AC., 1.59 AC. AND 1.34 AC. YACHT COVE DRIVE, A SECTION OF YACHT COVE", PREPARED BY COASTAL SURVEYING CO., INC., CERTIFIED TO BY MICHAEL R. DUNIGAN, S.C.R.L.S. #11905, DATED OCTOBER 10, 1992, AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR BEAUFORT COUNTY, SOUTH CAROLINA IN PLAT BOOK 44 AT PAGE 167.

TOGETHER WITH A PERPETUAL, NON-EXCLUSIVE, APPURTENANT EASEMENT FOR ACCESS ON, OVER AND ACROSS YACHT COVE DRIVE AND MARINA SIDE DRIVE, WHICH ARE SHOWN ON THE ABOVE REFERENCED PLAT.

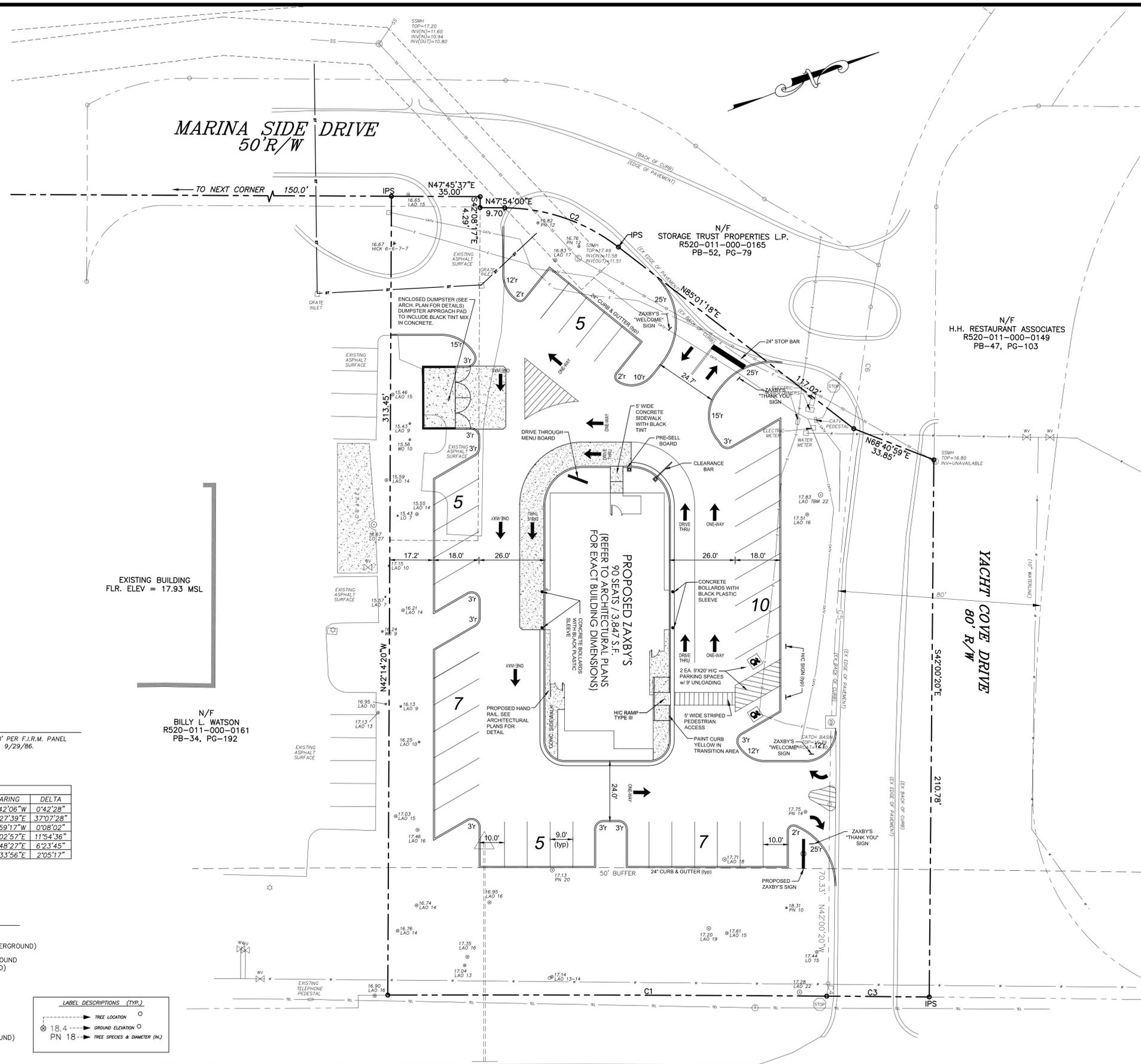
AN ALTA/ACSM LAND TITLE SURVEY FOR
 R510 011 000 0166 0000

A PORTION OF
 YACHT COVE DRIVE
 YACHT COVE

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 20'
 DATE: 05/16/13
 JOB No.: 49,732 ALTA
 SURVEYED BY: CP/DJ
 DRAWN BY: MRD
 CHECKED BY: TWW

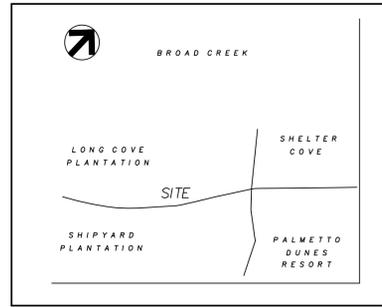


MICHAEL R. DUNIGAN
 S.C.R.L.S. NO. 11905



MARINA SIDE DRIVE
50' R/W

WILLIAM HILTON PARKWAY



LOCATION MAP

PROJECT NOTES:

OWNER / DEVELOPER:
Out Parcel Holdings, LLC
1040 Founders Boulevard
Athens, GA 30606
Contact: Kathy Brooks
Tel. (706) 353-8107

ENGINEER:
Carter Engineering Consultants, Inc.
1551 Jennings Mill Rd. Building 500 Suite B
Bogart, GA 30622
Contact: Jeff Carter, P.E.
jeff@carterengineering.net
Tel. (706) 559-7430

Property located at 4 Marina Side Drive
Proposed use is a restaurant with drive-thru
Proposed building height is 20'

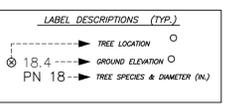
Zoning: Commercial Center (CC), Corridor Overlay (COR)
Map/Parcel: R520 011 000 0166 0000
Total Acreage: 1.341 acres (58,406 s.f.)
Impervious Area = 37,871 s.f. (64.8%)
Open Space = 20,535 s.f. (35.2%)

PARKING DATA
MINIMUM PARKING PER CITY
1 SPACE PER 1,000 S.F. = 38 SPACES
MAXIMUM PARKING PER CITY
38 X 1.2 = 46 SPACES
TOTAL PARKING SPACES PROVIDED = 40 SPACES
(2 handicap spaces provided)

NOTES:
1. THIS LOT LIES IN ZONE "A-7", B.F.E. = 14.0' PER F.I.R.M. PANEL 0014-D, COMMUNITY NO. 450250, REVISED: 9/29/86.

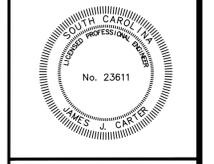
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	213.58	17293.73	213.58	S47°42'06"W	0°42'28"
C2	48.24	74.45	47.40	N66°27'39"E	37°07'28"
C3	40.43	17293.73	40.43	S47°59'17"W	0°08'02"
C4	4.99	24.00	4.98	S36°02'57"E	11°54'36"
C5	147.77	1323.76	147.69	S38°48'27"E	6°23'45"
C6	48.24	1323.76	48.24	S34°33'56"E	2°05'17"

- LEGEND**
- BG BLACK GUM
 - B.S.L. BUILDING SETBACK LINE
 - CATV CABLE TELEVISION (UNDERGROUND)
 - CB CATCH BASIN
 - CMF CONCRETE MONUMENT FOUND
 - E ELECTRIC (UNDERGROUND)
 - GUM GUM
 - IPF IRON PIN (OLD) FOUND
 - IPS IRON PIN (NEW) SET
 - LAO LAUREL OAK
 - LO LIVE OAK
 - PN PINE
 - TELE. PED. TELEPHONE PEDESTAL
 - HICK HICKORY
 - W WATER LINE (UNDERGROUND)
 - SS SANITARY SEWER
 - WV WATER VALVE



REVISION BLOCK:

#	DATE	DESCRIPTION
1	08/11/13	DESIGN REVIEW BOARD



CARTER ENGINEERING CONSULTANTS

Carter Engineering Consultants, Inc.
1551 Jennings Mill Rd
Building 500, Suite B
Bogart, GA 30622
P: 706.559.7430
F: 706.559.7435
www.carterengineering.net

SITE DEVELOPMENT PLANS
for
OUT PARCEL HOLDINGS, LLC
4 MARINA SIDE DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA

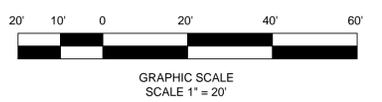
PROJECT NAME:
ZAXBY'S

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
1

PROJECT NUMBER:
13798ZAX

DATE:
9/11/13



EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3-5/8" x 2-1/4" x 7 5/8" RUNNING BOND

- 1 COLOR: BRICK - COMMONWEALTH (GENERAL SHALE) APPROVED ALTERNATE - M/S CHEROKEE NATCHEZ (CHEROKEE BRICK) MORTAR - "COOSA ANTIQUE BUFF"

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE IN.

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

DUR-O-WALL HORIZ REINF. ON CMU FENCE
DUR-O-WALL, DA 210 / DA 720 TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2 STO TO HAVE "SWIRL" FINISH STO BRAND EIFS ON CMU, OR SHEATHING: "STO ESSENCE" SPEC. E100 ICC EVALUATION REPORT NO. ESR-1720

2F = FIELD COLOR: STO 130D STOLT DARK / SW 2839 "ROYCROFT COPPER RED" NO SUBSTITUTIONS)

2A = ACCENT COLOR: EIFS CORNERS, CORNICE, FREIZE & TRIM, DECORATIVE BRACKETS, BEAMS OR PURLINS. - PAINT SHERWIN WILLIAMS "BALANCED BEIGE" SW 7037

3 [HARDIE] CORNER BOARDS, CORNICE, FRIEZE & TRIM - PAINT SHERWIN WILLIAMS "BALANCED BEIGE" SW 7037

4 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING COLOR; COPINGS: MATCH SURROUNDING CORNICE COLOR ROOFING @ REAR AWNING: GALVANIZED / GALVALUME MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYMAR 500 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX.
- B. MM SYSTEMS, TUCKER, GA.
- C. MBCI
- D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- 5 STOREFRONT: WINDOWS & ENTRANCE DOORS

ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS

APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3
CLEAR - NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- 6 SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW: ROUGH OPENING = 4'-0" WIDE x 5'-8" HIGH QUICKSERV MODEL SC-4030 SELF-CLOSING HORIZ. SLIDER WINDOW FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

QUICKSERV-DIVISION OF MCE SYSTEMS CORP. P.O. BOX 40466, HOUSTON, TX 77240-0466 P. 800-388-8307 F. 713-462-1936 STOREFRONT & SLIDER ALSO BY: QUALITY GLASS P. 706-548-4481

- 7 GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBCI PBC OR EQUIV.)

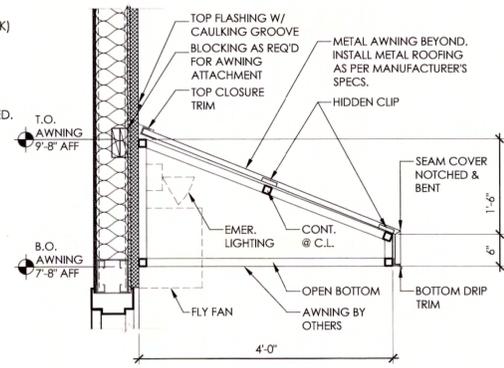
- 8 GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

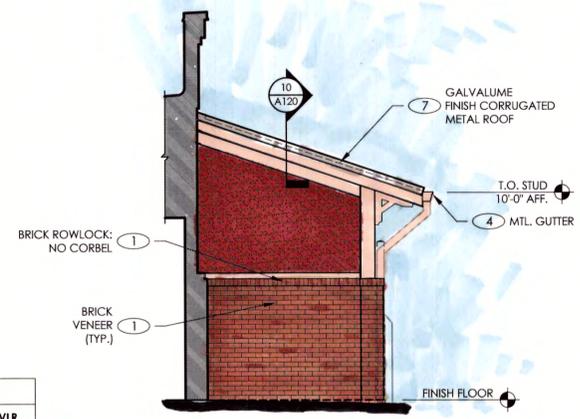
- 9 LADDER, PAINT FIELD COLOR

GLAZING, REFER TO SHEET A117

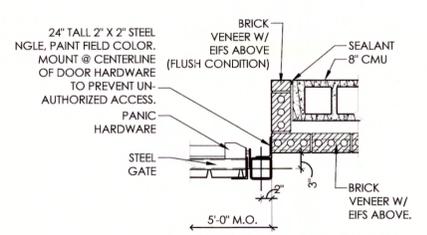
DOORS, REFER TO SHEET A115



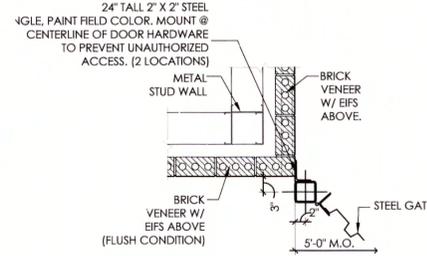
5 REAR AWNING DETAIL
A105 3/4" = 1'-0"



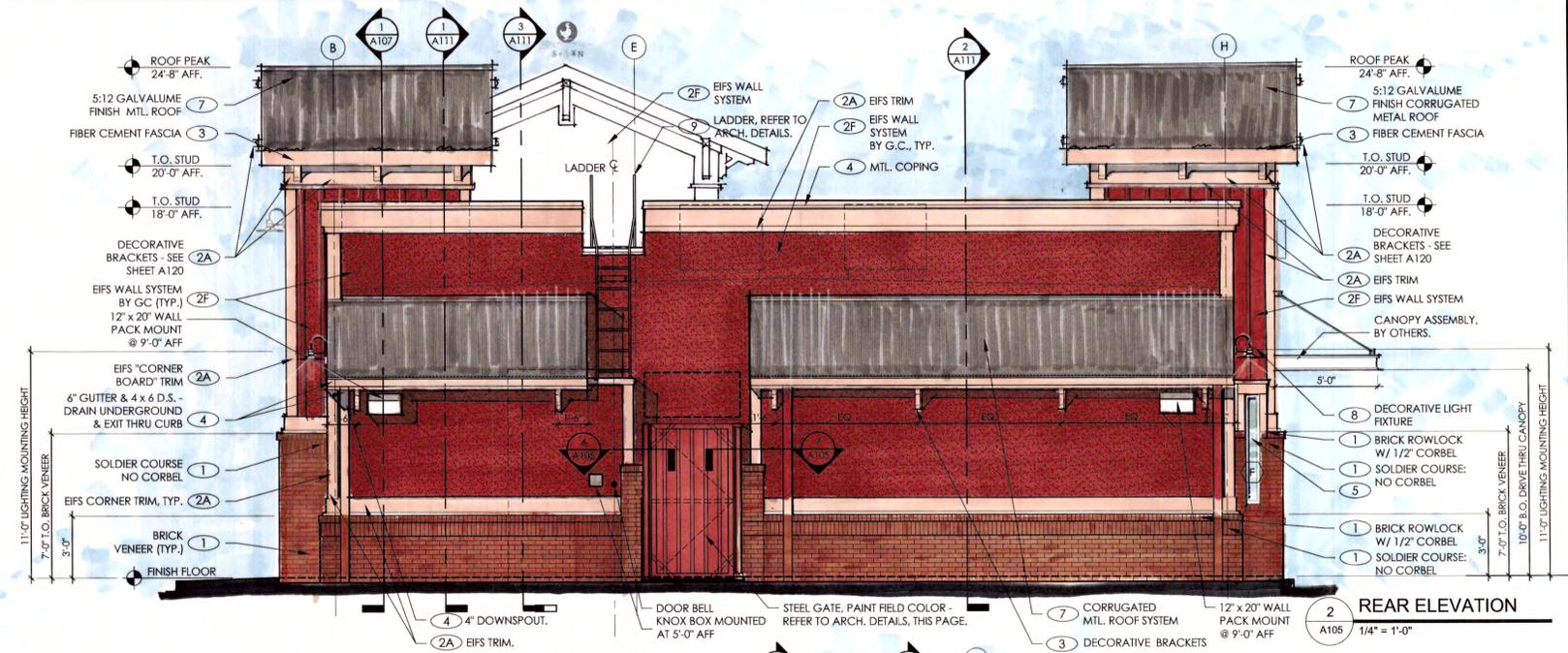
8 REAR ELEVATION @ CAN WASH
A105 1/4" = 1'-0"



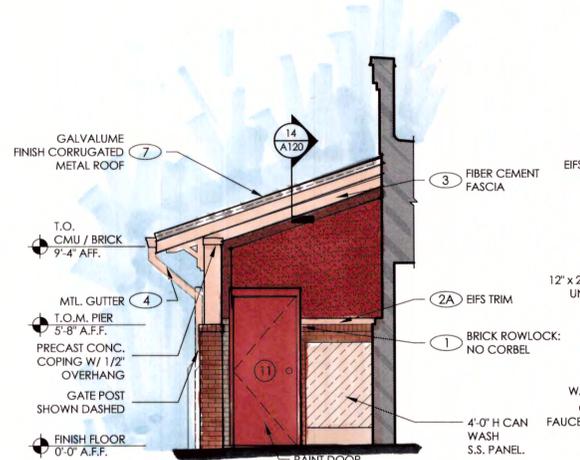
6 GATE STRIKE JAMB DETAIL
A105 3/4" = 1'-0"



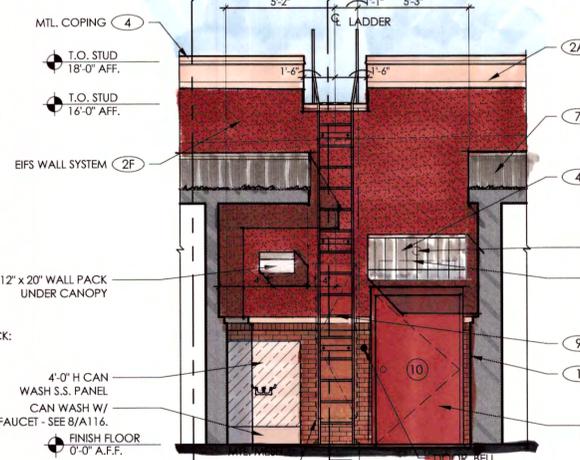
7 GATE HINGE JAMB DETAIL
A105 3/4" = 1'-0"



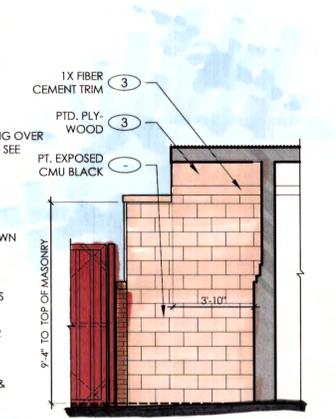
2 REAR ELEVATION
A105 1/4" = 1'-0"



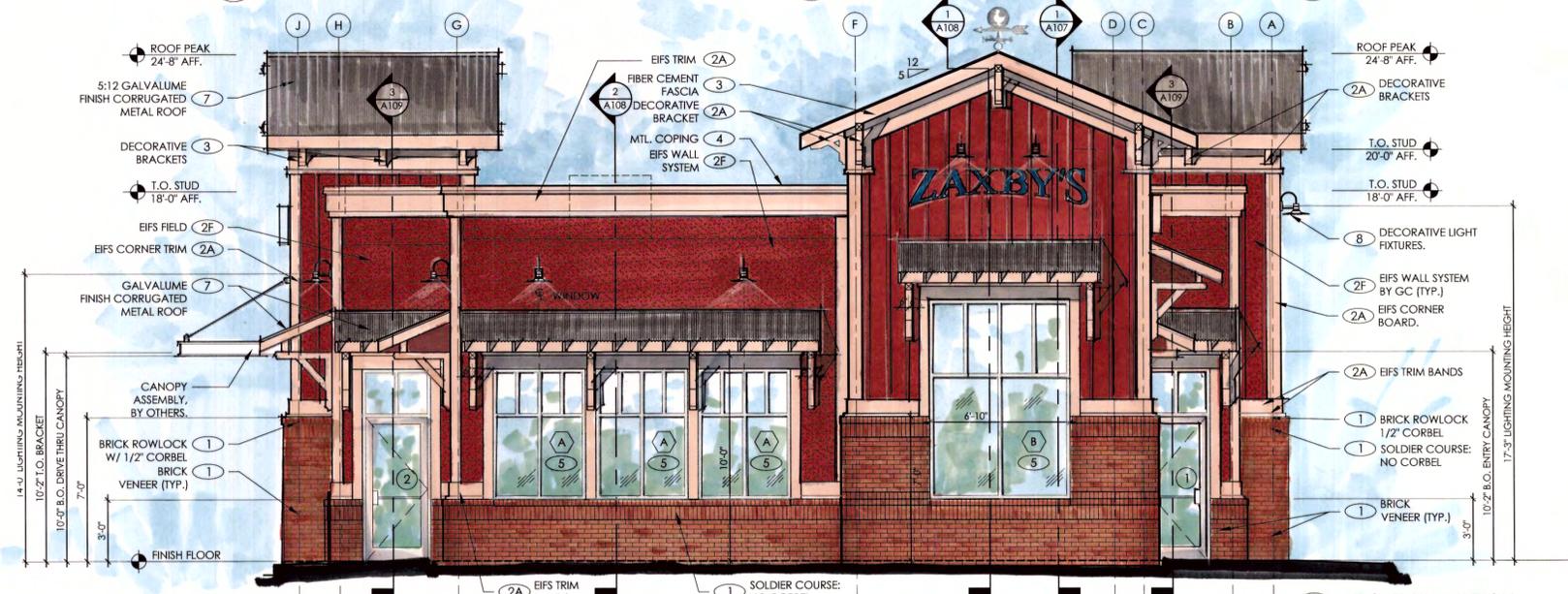
4 REAR ELEVATION @ CAN WASH
A105 1/4" = 1'-0"



3 REAR ELEVATION (HIDDEN)
A105 1/4" = 1'-0"



9 ELEVATION
A105 1/4" = 1'-0"



1 FRONT ELEVATION
A105 1/4" = 1'-0"

HR HILLFOLEYROSSI & ASSOCIATES
ARCHITECTURE ENGINEERING
3680 Pleasant Hill Road Suite 200
Duluth, Georgia 30096
p 770.622.9858 f 770.622.9535
www.hillfoleyrossi.com

ZAXBY'S
This drawing and all reproductions thereof are the property of Zaxby's Franchising Incorporated (ZFI) and are not to be used for any other project without the written consent of ZFI.

NOT FOR CONSTRUCTION
ISSUE / REVISIONS:

DATE	DESCRIPTION
XX.XX.XX	REVISION DESCRIPTION

SEAL:
These plans constitute a Prototype only and are not to be used for construction purposes without appropriate site-specific modifications to these prototype plans. Zaxby's Franchising Incorporated (ZFI) shall have no liability as a result of the use of these prototype plans for construction purposes without the appropriate site-specific modifications.

PROJECT NAME & ADDRESS

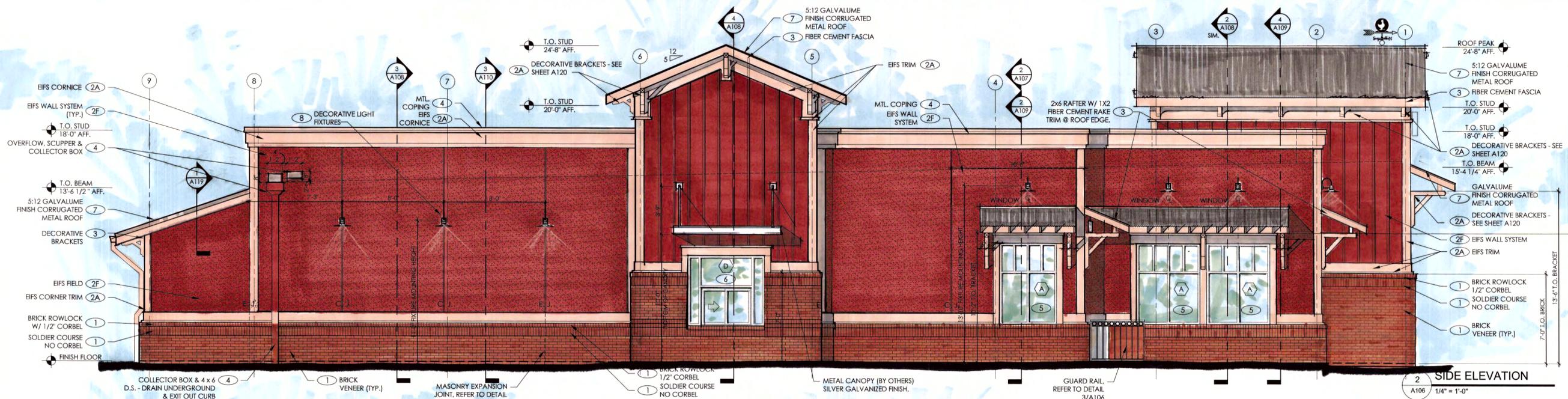
ZAXBY'S
90 MODEL
US HWY 278 & YACHT COVE DRIVE
HILTON HEAD ISLAND, SC

PROTOTYPE SERIES
90 SL (C) - SDT
SHEET TITLE:
FRONT & REAR EXTERIOR ELEVATIONS

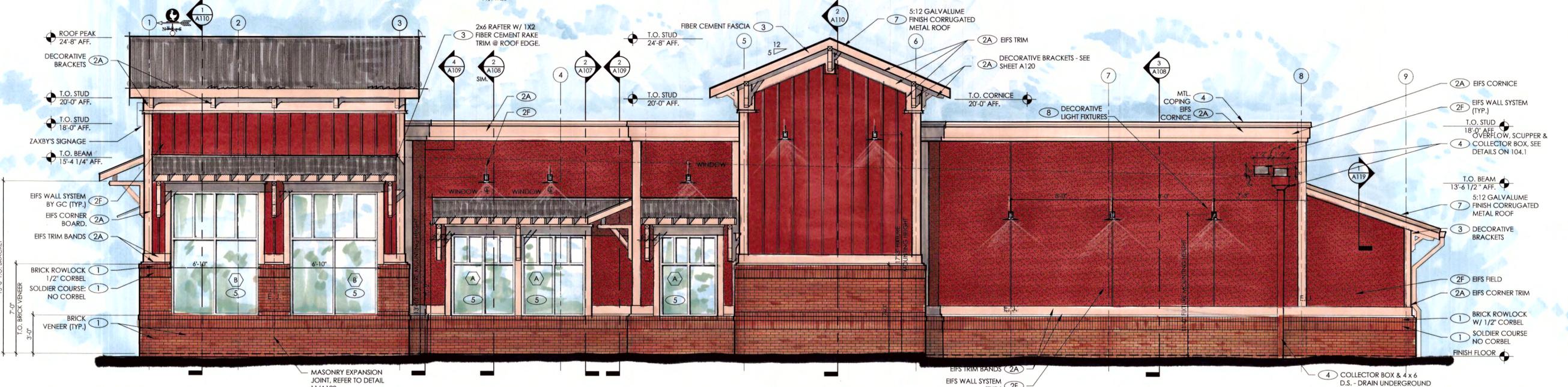
PROJECT #:
13-827.00

A105

H:\Card_L_Architectural\13113-827 00 Hilton Head\10 Drawings\90-A105 Front & Rear Elevations.dwg, 7/22/2013 3:15:46 PM, valsky



2 SIDE ELEVATION
 A106 1/4" = 1'-0"



1 SIDE ELEVATION
 A106 1/4" = 1'-0"

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 MORTAR - "COOSA ANTIQUE BUFF"

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

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 DUR-O-WALL, DA 210 / DA 720 TRIANGULAR MTL. WALL TIES (OR EQUAL)
 @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS.
 ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

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 STO BRAND EIFS ON CMU, OR SHEATHING:
 "STO ESSENCE" SPEC. E100
 ICC EVALUATION REPORT NO. ESR-1720

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 NO SUBSTITUTIONS

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 BEAMS OR PURLINS. - PAINT SHERWIN WILLIAMS "BALANCED BEIGE" SW 7037

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 A. BERRIDGE MANUF. CO., HOUSTON, TX.
 B. MM SYSTEMS, TUCKER, GA.
 C. MBICI
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 P. 800-388-8307 F. 713-462-1936
 STOREFRONT & SLIDER ALSO BY:
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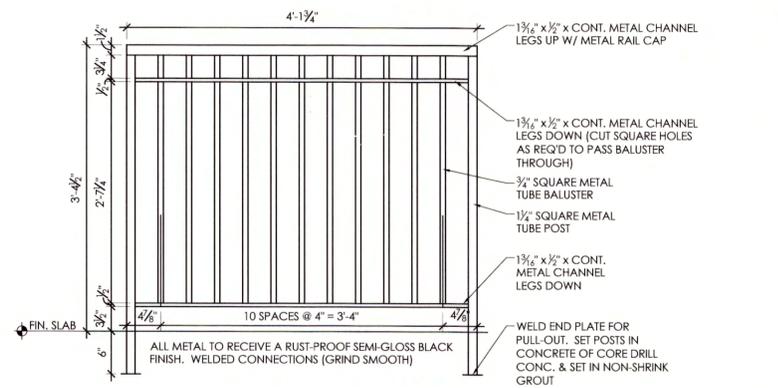
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- 9 LADDER, PAINT FIELD COLOR

- GLAZING, REFER TO SHEET A117

- DOORS, REFER TO SHEET A115



3 DECORATIVE METAL GUARD RAIL
 A106 1" = 1'-0"



HFR
HILLFOLEYROSSI & ASSOCIATES, LLC

ARCHITECTURE
ENGINEERING

ZAXBY'S
HILTON HEAD ISLAND, SOUTH CAROLINA

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head Zaxby's - NEW DEVELOPMENT CONCEPTUAL DRB#: DR 130044

DATE: October 22, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building character/detailing appropriate = yes; building colors appropriate = no
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site is mostly cleared.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Natural materials = yes; natural colors = no
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Roofs are "medium to low pitch" (5/12). Cornice treatment included along parapet walls.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Architectural elements include 4x4 wood brackets,

and architectural elements				low shed roof canopies, decorative metal railings, cornices with stepped profiles, etc.
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brick, stucco, siding, glass, metal
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood brackets, board and batten look-siding
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Includes clear and grey-tint class
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Decorative galvanized goose-neck fixtures on building; no site lighting shown on conceptual submittal. Will require lighting plan and cut sheets of all fixtures for final submittal.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Details for dumpster/service area screen required for final submittal.

LANDSCAPE DESIGN- None included in conceptual submittal. Landscape plan with plant schedule required for final submittal.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Project required and received a special exception in May, 2013 for drive-thru. Applicant has not submitted for Pre-App or DPR and has not been reviewed by all staff reviewers. The site plan does not include provisions for storm drainage and proposes two additional curb cuts (one on Yacht Cove Drive and one on Marina Side Drive) that will require review/approval. Numerous signs shown on site plan and building façade signs will require review/approval as part of sign permit application.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: PATRICK ROONEY Company: PATRICK ROONEY ASSOCIATES, INC
 Mailing Address: P.O. Box 21297 City: HHI State: SC Zip: 29925
 Telephone: 384-9240 Fax: 681-4029 E-mail: pat@rooney-associates.com
 Project Name: THE BEACH HOUSE Project Address: _____
 Parcel Number [PIN]: R 553 018 000 003A 0000
 Zoning District: OFB Overlay District(s): COR

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number

- Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Submitted to Forest Beach ARB, awaiting review
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name *MATERIALS & COLORS TO MATCH EXISTING*

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

9/29/13
DATE

PATRICK ROONEY ASSOCIATES, INC.

land planning • landscape architecture

PROJECT NARRATIVE

For

Miscellaneous Pool and Entry Improvements

At

The Beach House

1 South Forest Beach Drive, Hilton Head Island, SC

9/27/3013

The Owners of The Beach House (AGRE NV HH Property Owner LLC) wish to make some alterations to their property at 1 South Forest Beach Drive. The property, formerly known as the Holiday Inn Oceanfront, has many challenges with regard to being one of the most popular public beach locations (along with Coligny Beach Park), while still trying to maintain some sense of privacy for the guest staying at the hotel. Most of these proposed site adjustments are an attempt to try to protect or improve the hotel guest's privacy and experience while still accommodating public access to the Tiki Hut area. The proposed improvements are concentrated at two primary areas.

ENTRY AREA IMPROVEMENTS

The current site does not provide the required number of parking spaces needed for the all uses that exist on the site. There appears to be very little opportunity to add parking without further compounding other non-conformities related to maximum impervious coverage, buffers and required parking dimensions.

The only possible area to consider a parking adjustment is near the front entrance and is indicated on the Site Development Plans prepared by Ward Edwards Engineering. These plans illustrate a proposed reconfiguration of the parking islands and paving materials to allow for up to 4 additional parking spaces, while decreasing the overall impervious coverage for the site. This proposal also illustrates a one-way in, one-way out vehicular circulation pattern to better control unauthorized vehicles from accessing the hotel's parking facilities. In addition, this layout would eliminate a drive aisle width non-conformity that currently exists at the northern exit lane from the parking lot. This entry and parking proposal does not completely eliminate all the Town non-conformities related to parking lot dimensions, but it will improve on the current conditions by adding 4 additional parking spaces, while increasing the amount of landscape and pervious areas on the site.

Finally, two pervious pedestrian walkways are proposed to provide access from The Beach House to the adjacent Coligny Beach Park path system. These paths are an attempt to create better pedestrian connectivity to the Coligny area while reducing further damage to the Coligny plantings caused by the pedestrian cutting through at multiple locations between the two properties.

POOL AREA IMPROVEMENTS

The pool area is where the most common conflicts arise between hotel guests and the general beach public. Until recently, it was just a free for all condition, where there was no segregation between these

P.O. Box 21297 • Hilton Head Island, SC 29925-1297

Phone: 843.681-4009 Fax 843.681.4029 E-mail: pat@rooney-associates.com

two groups and where the guest experience would often suffer. A fence separating the pool area from the Tiki Hut was installed over Memorial Day and seems to be working well. The Owners would like to continue with additional improvements to improve the usability of the limited space available for the pool deck and Tiki Hut area.

The attached plans propose the following changes to the pool and Tiki Hut area:

- 1) **Tiki Hut Area:** The Tiki Hut area will remain generally the same except a decomposed granite screening material surface (similar to Plantation mix) will be applied to the existing sand outdoor dining area. In addition, two small raised wood planter boxes will be removed, 3 palms will be relocated, and additional landscaping will be installed around the perimeter of the area. These minor changes should provide fewer obstacles for service to patrons using the outside tables in this area.
- 2) **Pool side dining area:** This area is already used by hotel guests, on a daily basis, for outdoor dining and morning continental breakfast that is served from just inside the adjacent building. The proposed improvements will provide an even greater opportunity to open up the indoor/outdoor functionality by adding two roll up glass doors (See architectural elevations). On the poolside of the building, two foundation plant beds will be removed to accommodate circulation through to the inside, a gas log fire pit is proposed to extend the use of this area in the fall and winter months, and an area on the northeastern corner of the building will be renovated with new landscaping and pervious surfaces. Some minimal existing landscaping (mostly located under the overhang) is proposed to be removed and replaced with pervious pavers to match the existing pool deck, while other areas around the pool, will receive new landscaping or converted to pervious pavers to mitigate the loss of these landscape beds.
- 3) **Multi-function area:** This fenced in sand area (located on the southeastern corner of the property) has been typically utilized for beach games and more private sun bathing during the peak season. This area will continue to function in this way but some native landscaping will be added and the ocean side fence will be renovated to eliminate the pickets and replace with a cable rail fence to create more transparency for better visibility to the ocean.
- 4) **Additional Sun Bathing Area near Kids Pool:** This area is somewhat disorganized, but is typically used for overflow sun bathing on a small grass area behind the kids pool. This area is not very usable in its current condition, as it contains some scattered and outdated landscaping (Cannas, Palms and a few shrubs). The Owners would like to preserve the existing palms in their current location, add a hedge along the perimeter of the space (to screen the adjacent parking area, and create a more private sun bathing area), and add two arbor/swings. The area would be defined with a timber edge, with the scattered shrubs removed from the center of the space, and the grass reconditioned.
- 5) **Louver screens at the Pool Restrooms:** The restroom layout was not designed to provide much privacy, as the toilets are visible to the outside when the exterior doors are opened up. To provide more privacy, two louvered partitions are proposed to be located at the roof eaves line while maintaining adequate clearance around the pool edge.

These proposed improvements are intended to provide better functionality to entrance and pool areas of the hotel. The Owners are committed to continuing with additional improvements to upgrade the hotel facilities and guest experience. These improvements are being submitted for review by the Town, Forest Beach Owners Association, SCDOT and SCDHEC. Please contact Patrick Rooney if you have any questions or wish to discuss this project further.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 3019 Landscape Series • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, copper free aluminum.

SHROUD:

Available with medium shroud (M) or without shroud (N).

FINISH:

Polyester powder-coat finish available in Black, Verde, Architectural Brick, Architectural Bronze, Light Bronze, Dark Bronze, Granite, Pewter, Terracotta, Rust, Hunter Green, Mocha, Weathered Bronze, Weathered Iron, and White.

LENS:

Clear soda lime glass.

LAMP TYPE:

Nine (9) White High Output LED emitters, with Vista exclusive driver, powered to operate for 50,000 hours. Available in Warm (W) or Cool (C) color temperatures.

OPTICS:

Injection-molded optical grade acrylic available in Spot (SP), Flood (FL), and Wide Flood (WF) distributions.

ELECTRICAL:

12VAC input, constant current driver output, consuming 17 system watts.

MOUNTING:

Injection-molded, Noryl® GTX adjustable knuckle with 1/2" NPS stem. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

All fasteners are stainless steel.

WIRING:

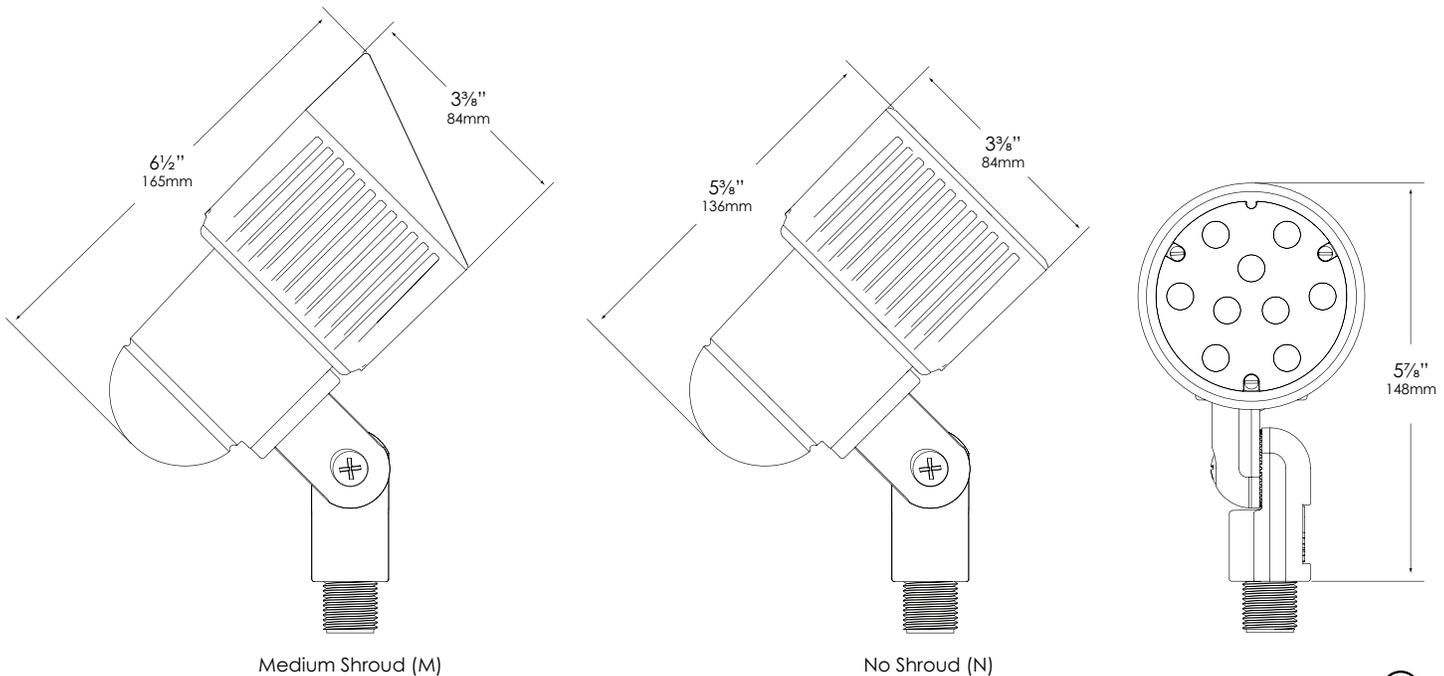
Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

CERTIFICATION:

UL Listed to U.S. and Canadian safety standards for low voltage landscape luminaires (UL 8750). Maximum wattages allowed by Underwriters Laboratories (UL) for U.S. and Canadian markets may vary. Maximum wattages specified are Underwriters Laboratories U.S. standard. Please contact Vista for any questions about maximum wattages allowed by UL Canadian standards.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 3019 Landscape Series • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-3019-B-W-FL-M

MOUNTING	MODEL	FINISH	COLOR TEMP	DISTRIBUTION	SHROUD	ACCESSORIES
GR - ABS ground stake TR - Tree mount J-box WR - Wall mount canopy	3019	B - Black G - Verde BR - Architectural Brick Z - Architectural Bronze LZ - Light Bronze DZ - Dark Bronze GT - Granite TC - Terracotta R - Rust HG - Hunter Green M - Mocha WB - Weathered Bronze WI - Weathered Iron W - White	W - Warm C - Cool	SP - Spot FL - Flood WF - Wide Flood	M - Medium N - No shroud	LS - Long Shroud

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 3013 Landscape Series • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, copper free aluminum.

SHROUD:

Available with medium shroud (M) or without shroud (N).

FINISH:

Polyester powder-coat finish available in Black, Verde, Architectural Brick, Architectural Bronze, Light Bronze, Dark Bronze, Granite, Pewter, Terracotta, Rust, Hunter Green, Mocha, Weathered Bronze, Weathered Iron, and White.

LENS:

Clear soda lime glass.

LAMP TYPE:

Three (3) White High Output LED emitters, with Vista exclusive driver, powered to operate for 50,000 hours. Available in Warm (W) or Cool (C) color temperatures.

OPTICS:

Injection-molded optical grade acrylic available in Spot (SP), Flood (FL), and Wide Flood (WF) distributions.

ELECTRICAL:

12VAC input, constant current driver output, consuming 5 system watts.

MOUNTING:

Injection-molded, Noryl® GTX adjustable knuckle with 1/2" NPS stem. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

All fasteners are stainless steel.

WIRING:

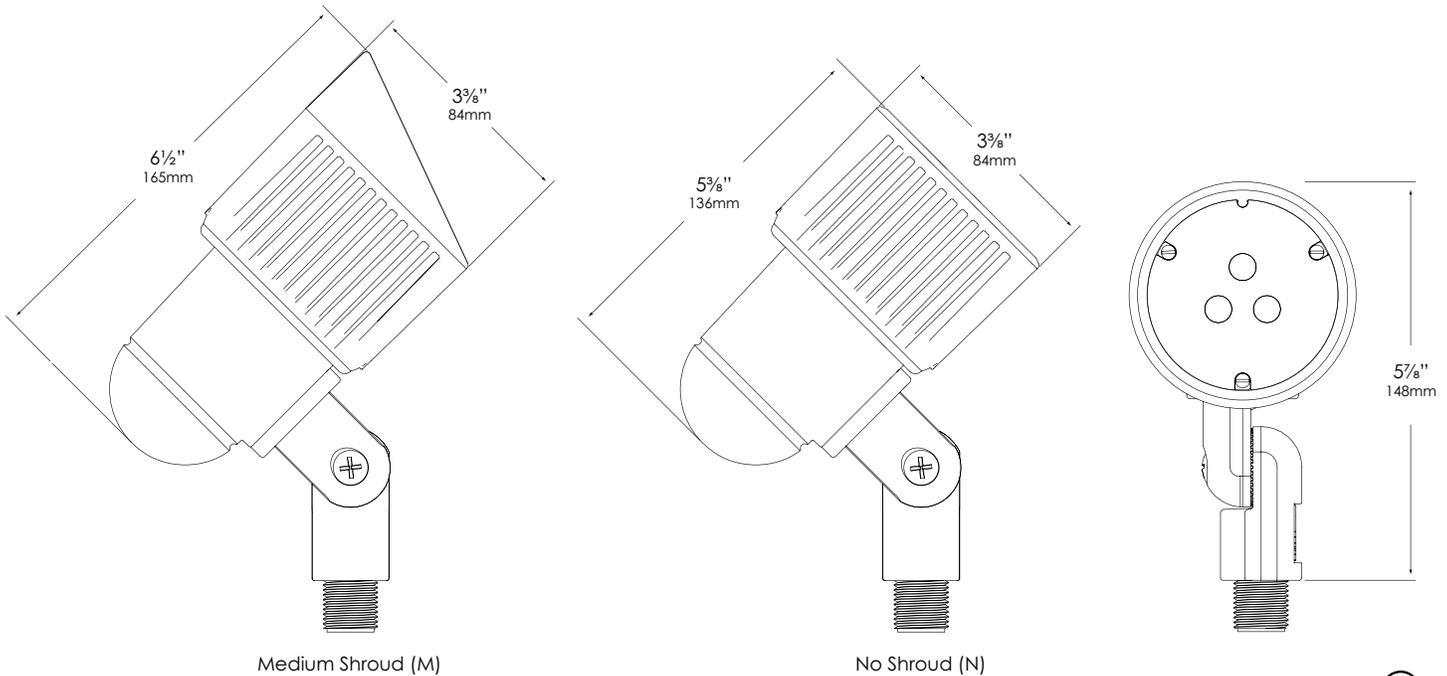
Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

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MODEL 3013 Landscape Series • Up & Accent Lights

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GR - ABS ground stake TR - Tree mount J-box WR - Wall mount canopy	3013	B - Black G - Verde BR - Architectural Brick Z - Architectural Bronze LZ - Light Bronze DZ - Dark Bronze GT - Granite TC - Terracotta R - Rust HG - Hunter Green M - Mocha WB - Weathered Bronze WI - Weathered Iron W - White	W - Warm C - Cool	SP - Spot FL - Flood WF - Wide Flood	M - Medium N - No shroud	LS - Long Shroud

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.































Coligny Beach Park
Redevelopment
Town of Hilton Head Island



Please Excuse our Disorder as we Improve
our Existing Beach Park -
Limited Pedestrian Access is Available -
Proceed With Care

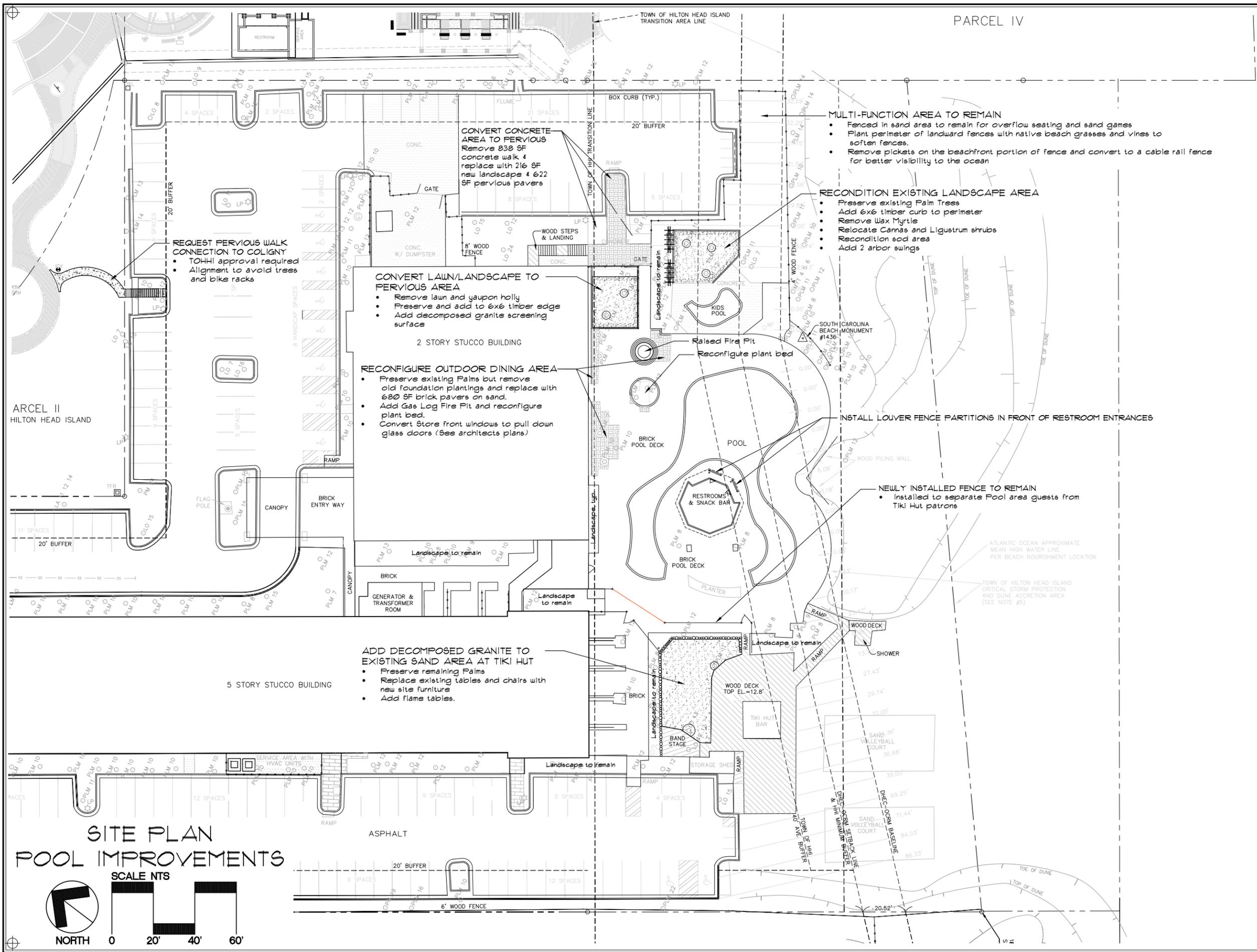
Contractor: Bix Construction Co., Inc.
For Project Updates Visit:
www.hiltonheadislandsc.gov
or Call: (843) 341-4688

COLIGNY
BEACH
PARK

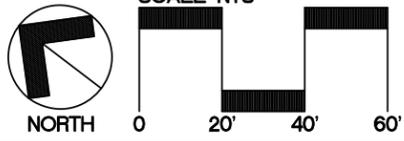


Hilton
Head
Island
OCEAN





**SITE PLAN
 POOL IMPROVEMENTS**



ATLANTIC OCEAN

THE BEACH HOUSE
 FORMERLY HOLIDAY INN OCEANFRONT
 HILTON HEAD ISLAND, SC
 A GRE NV HH PROPERTY OWNER LLC

Patrick Rooney Associates, Inc.
 Land Planning • Landscape Architecture
 P.O. Box 21297
 Hilton Head Island, SC 29925
 843-681-4009
 FAX 843-681-4029

REVISIONS:	NO.	DESCRIPTION:
DATE:		

PROJECT NO:
 10553-00

ISSUE DATE:
 9/27/2013

DRAWN:
 pmr

APPROVED:

Site Plan
 Pool
 Improvements

Sheet
2
 of 4

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GENERAL NOTES:

- BOUNDARY INFORMATION TAKEN FROM SURVEY PROVIDED BY SURVEY CONSULTANTS ON 2/25/2013 JOB NO. SC088626. LOCATED AT THE BEACH HOUSE, HILTON HEAD ISLAND, 8554162000000000.
- TOPOGRAPHIC DATA PROVIDED BY SURVEY CONSULTANTS ON 2/25/2013 JOB NO. SC088626.
- APPROXIMATE LOCATION OF CERTAIN EXISTING UNDERGROUND UTILITY LINES AND STRUCTURES ARE SHOWN ON THE PLANS FOR INFORMATION ONLY. ADDITIONAL UNDERGROUND LINES OR STRUCTURES MAY EXIST THAT ARE NOT SHOWN. CALL PALMETTO UTILITY PROTECTION SERVICE AT 1-888-721-7877 BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THRU FRIDAY AT LEAST THREE WORKING DAYS BEFORE COMMENCING CONSTRUCTION. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITH IN AND NEAR THE CONSTRUCTION SITE.
- COMPLY WITH SOUTH CAROLINA UNDERGROUND UTILITIES DAMAGE PREVENTION ACT (S.C. CODE ANN. 56-35-10, CT-BEQ, SUPP. 1976, NOTIFICATION OF INTENT TO EXCAVATE MAY BE GIVEN BY CALLING THE TOLL FREE NUMBER, 1-800-822-2363).
- PROTECT BENCH MARKS AND MONUMENTS FROM DAMAGE DURING CONSTRUCTION OPERATIONS. REPLACE ANY BENCH MARKS OR MONUMENTS DAMAGED OR DESTROYED AS A RESULT OF CONTRACTORS OPERATIONS AT NO COST TO THE OWNER.
- OFF-STREET PARKING FOR THE CONTRACTOR'S EMPLOYEES AND AUTHORIZED VISITORS TO THE SITE MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO WEIGHT LIMITS PRESCRIBED FOR ALL PUBLIC ROADS WHEN MAKING EQUIPMENT AND MATERIALS TO AND FROM THE PROJECT SITE. DAMAGES TO EXISTING PAVEMENT DUE TO THE CONTRACTORS CONSTRUCTION OPERATIONS OR IMPROPER TRANSPORTATION OF MATERIALS AND EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- AT LEAST ONE DRIVING LANE ON PUBLIC ROADS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. TRAFFIC LANES WILL ONLY BE CLOSED WITH THE EXPRESS WRITTEN CONSENT OF THE AGENCY HAVING JURISDICTION OVER THE ROADWAY. NOTIFY AGENCY HAVING JURISDICTION AT LEAST 5 DAYS BEFORE CLOSING ANY DRIVING LANES TO TRAFFIC. PROVIDE TRAFFIC CONTROL DEVICES, SIGNAGE AND FLAGMEN AS REQUIRED TO ENSURE PUBLIC SAFETY.
- CONTRACTOR SHALL COORDINATE DEMOLITION, CLEARING AND CONSTRUCTION OF IMPROVEMENTS TO MINIMIZE INTERFERENCE WITH VEHICULAR AND PEDESTRIAN TRAFFIC AND WITH OPERATIONS OF EXISTING FACILITIES.

WATER AND SEWER LINE CONSTRUCTION:

- ALL WATER AND SEWER LINE CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND SOUTH CAROLINA REQUIREMENTS, STANDARDS AND SPECIFICATIONS.
- BWSA WILL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF ALL WATER AND SEWER SYSTEM CONSTRUCTION AND FOR ACCEPTANCE FOR OPERATION AND MAINTENANCE.
- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFY OWNERS AND FOR FIELD VERIFICATION OF BOTH HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCING CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOTIFY THE PROJECT ENGINEER, IF CONFLICTS WITH EXISTING STRUCTURES REQUIRE THAT PROPOSED UTILITIES BE RELOCATED.
- THE CONTRACTOR MUST NOTIFY BWSA FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION, INSPECTION OR TESTING OF THE WATER DISTRIBUTION SYSTEM.
- PIPE, FITTINGS, VALVES AND APPURTENANCES FOR WATER AND SEWER LINES SHALL ALL BE IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY TECHNICAL SPECIFICATIONS.
- INSTALLATION OF WATER AND SEWER LINES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL MECHANICAL RESTRAINTS ON ALL BENDS, PLUGS AND TEES OF OR LARGER ON WATER LINES AND SANITARY SEWER FORCE MAIN.
- ALL WATER MAINS SHALL BE STERILIZED AND PRESSURIZED IN ACCORDANCE WITH BWSA SPECIFICATIONS.
 - SEPARATION OF WATER MAINS AND SEWERS
 - PARALLEL INSTALLATION: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER MAINS AT LEAST 10-FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY WATER OR SANITARY SEWER FORCE MAIN. THE DISTANCE BEING MEASURED IS A HORIZONTAL PLANE BETWEEN THE OUTSIDE SURFACES OF THE PIPES.
 - CROSSINGS: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER LINES CROSSING SANITARY SEWERS OR SANITARY SEWER FORCE MAINS TO MAINTAIN A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE OUTSIDE SURFACES OF THE PIPES. THIS SHALL BE THE CASE WHETHER THE WATER LINE IS ABOVE OR BELOW THE SANITARY SEWER LINE. WHEREVER POSSIBLE LOCATE THE WATER LINE ABOVE THE SEWER LINE. WHERE A NEW WATER LINE CROSSES A NEW SEWER LINE, PLACE A FULL LENGTH OF DUCTILE IRON PIPE FOR BOTH THE WATER AND THE SEWER LINE AT THE CROSSING WITH BOTH PIPES POSITIONED SO THAT THE JOINTS ON EACH ARE AS FAR AS POSSIBLE FROM THE POINT OF CROSSING. WHERE A NEW WATER LINE CROSSES AN EXISTING SEWER LINE, PLACE ONE FULL LENGTH OF DUCTILE IRON PIPE OVER THE WATER LINE SO THAT THE JOINTS ARE AS FAR FROM THE POINT OF CROSSING AS POSSIBLE.
- THE CONTRACTOR SHALL CUT AND PATCH EXISTING PAVEMENT AS REQUIRED FOR THE INSTALLATION OF UTILITIES LINES.
- SANITARY MANHOLE RIM GRADES SHOWN ARE APPROXIMATE. ADJUST RIM ELEVATIONS TO BE FINISH WITH FINISHED GRADE.
- THE CONTRACTOR UNDER THIS CONTRACT SHALL NOT MAKE ANY CONNECTIONS TO THE EXISTING WATER OR SANITARY SEWER SYSTEMS UNLESS EXPRESSLY AUTHORIZED TO DO SO BY THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY. ALL WATER AND SEWER IMPROVEMENTS UNDER THIS CONTRACT MUST BE CONSTRUCTED COMPLETE, TESTED, INSPECTED AND APPROVED BY THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY BEFORE ANY AUTHORIZATION TO CONNECT WILL BE GIVEN. COORDINATION OF TESTING, INSPECTION AND CONNECTIONS WITH THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY IS THE RESPONSIBILITY OF THE CONTRACTOR UNDER THIS CONTRACT.
- ALL WATER MAINS SHALL BE INSTALLED WITH THIRTY-SIX INCHES (36") MINIMUM COVER FROM FINISHED GRADE. MAXIMUM DEPTH SHALL BE FIVE FEET (5'). WHERE WATER MAINS MAY CONFLICT WITH OTHER UTILITIES, THE WATER MAIN CROSSING SHALL BE CONSTRUCTED WITH DUCTILE IRON PIPE, MECHANICAL JOINT 450-325, BENDS AND MECHANICAL RESTRAINTS.

SITE CLEARING AND DEMOLITION:

- NO CLEARING SHALL OCCUR WITHIN DESIGNATED BUFFER ZONES, TREE PROTECTION ZONES, OUTSIDE OF THE PROPERTY LINES OR BEYOND THE CLEARING LINES UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS.
- ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS.
- THE CONTRACTOR SHALL INSTALL A CONTINUOUS LINE OF FLAGGING OR FENCING ALONG THE LIMITS OF CLEARING PRIOR TO COMMENCING ANY CLEARING, DEMOLITION OR CONSTRUCTION WORK ON THE PROJECT.
- EXERCISE CAUTION DURING CLEARING OPERATIONS TO AVOID FELLING TREES INTO DESIGNATED TREE PROTECTION ZONES.
- NO BURNING WILL BE ALLOWED WITHIN 50 FEET OF A TREE PROTECTION ZONE OR TREE DRIP LINE.
- SELECTIVE CLEARING AREAS SHALL BE CLEARED OF ALL BRUSH AND UNDERSTORY GROWTH.

TREE PROTECTION-HILTON HEAD ISLAND

- ONLY THOSE TREES APPROVED FOR REMOVAL IN ACCORDANCE WITH THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE AND SO DESIGNATED ON THE DRAWINGS FOR REMOVAL, ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS. ALL TREES NOT DESIGNATED ON THE PLANS FOR REMOVAL MUST BE PRESERVED.
- THE CONTRACTOR IS RESPONSIBLE FOR MARKING THE TREES DESIGNATED TO BE PRESERVED AND THOSE TO BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN CHAPTER 6, ARTICLE IV, SECTION 16-44-03 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- PRIOR TO COMMENCING ANY CLEARING OR CONSTRUCTION OPERATIONS ON THE SITE, THE CONTRACTOR SHALL ERECT TREE PROTECTION BARRIERS AROUND EACH TREE OR GROUP OF TREES DESIGNATED FOR PRESERVATION IN ACCORDANCE WITH THE DETAILS ON THE PLANS AND THE REQUIREMENTS CONTAINED IN CHAPTER 6, ARTICLE IV, SECTION 16-44-04 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- A TREE PROTECTION ZONE SHALL BE ESTABLISHED IN ACCORDANCE WITH THE PROVISIONS CONTAINED IN CHAPTER 6, ARTICLE IV, SECTION 16-44-03 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE FOR EACH EXISTING TREE DESIGNATED FOR PRESERVATION. THE MINIMUM TREE PROTECTION ZONE SHALL BE A CIRCULAR AREA CENTERED ON THE TREE AND HAVING A RADIUS OF THE GREATER OF 5-FT. OR ONE-HALF FOOT PER INCH OF (DIAMETER AT BREAST HEIGHT), THE SIZE OR CONCENTRATION OF THE TREE PROTECTION ZONE MAY BE ADJUSTED AT THE DISCRETION OF THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR.
- THE AREA WITHIN THE TREE PROTECTION ZONE MUST REMAIN OPEN AND UNPAVED. NO CHANGES OF GRADE WILL BE ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT FOR A 2-INCH CUT OR 2-INCH FILL OF TOPSOIL, SOIL OR MULCH. ANY ACTIVITY WITHIN THE TREE PROTECTION ZONE IS SUBJECT TO APPROVAL BY THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION ZONE:
 - PLACEMENT OR STORAGE OF ANY SOIL, DEBRIS, OILS, FUEL, PAINTS, BUILDING MATERIALS OR ANY OTHER MATERIALS.
 - BURNING.
 - VEHICLE PARKING.
 - PAVING.
 - TRIMMING FOR UTILITIES.
- WHERE UTILITY LINES MUST PASS THRU THE TREE PROTECTION ZONE, THEY SHALL BE INSTALLED BY HORIZONTAL BORING BENEATH THE ROOTS OF THE TREE.
- WHERE IT IS NECESSARY FOR MACHINERY AND EQUIPMENT TO PASS WITHIN THE TREE PROTECTION ZONE, APPROVAL MUST BE OBTAINED FROM THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. SPECIAL MEASURES WILL BE REQUIRED TO PROTECT THE ROOTS FROM EXCESSIVE COMPACTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING A STAKING INSPECTION WITH THE TOWN OF HILTON HEAD ISLAND PRIOR TO CLEARING. THE FOLLOWING MUST BE COMPLETED BEFORE THE INSPECTION:
 - ALL BUILDING EDGES, SIDEWALKS, PAVED AREAS AND UTILITY LINES STAKED.
 - TREE PROTECTION BARRIERS INSTALLED.
 - TREES TO BE PRESERVED MARKED WITH BLUE FLAGGING AND THOSE TO BE REMOVED MARKED WITH RED FLAGGING.
 - ALL SILT FENCE INSTALLED PER THE APPROVED PLAN.

SITE GRADING AND DRAINAGE:

- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 24-HOUR NOTICE TO ALL RESPECTIVE UTILITY COMPANIES FOR FIELD VERIFICATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SEQUENCING AND CONSTRUCTION TECHNIQUES SHALL PREVENT OBSERVATION OF STORM SEWERS, POOLING IN TRAFFIC AREAS OR RISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
- FULL WIDTH OF STREET AND ROAD RIGHTS-OF-WAY MUST BE CLEARED AND GRADED AS SHOWN IN THE DETAILS ON THE DRAWINGS.
- SUBGRADE PREPARATION: TOP SOIL SHALL BE REMOVED FROM PAVED AREAS TO A MINIMUM DEPTH OF 4". ALL EXCAVATION SHALL BE TO SUBGRADE LEVELS.
- ALL UTILITY PIPE LINES, CONDUITS AND SILVEYS UNDER PAVED AREAS MUST BE IN PLACE PRIOR TO COMPLETION OF THE ROADWAY SUBGRADE COMPACTION.
- FINISH GRADING SHALL INCLUDE THE REFINEMENT OF TOPSOIL OVER UNPAVED AREAS NOT OCCUPIED BY BUILDINGS OR STRUCTURES AND FINE GRADING AROUND BUILDINGS, ADJACENT TO WALKS, CURBS, GUTTERS AND STRUCTURES TO ASSURE POSITIVE DRAINAGE.

SOIL-ECOCORR SEDIMENT AND EROSION CONTROL: STANDARD NOTES (REVISED DEC-2010):

- IF NECESSARY, SLOPES WHICH EXCEED DIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPAIRS OR MODIFICATIONS REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION AREAS AND ALL DISTURBED AREAS. SILT FENCES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. SILT FENCES AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FULL COVER AND TEMPORARY SEEDING AT THE TIME ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRIMMING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED UPON CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH SECTION 16-44-03 AND 16-44-04.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT AND WATER TO APPROPRIATE TRAPS OR STABLE AREAS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF FLAGGING IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKS OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTION RECORDS, AND BEMP SHALL BE MAINTAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION OF THE CONSTRUCTION SITE IS COMPLETED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR TEMPORARILY CEASED, AND WILL NOT REQUIRE FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND UNLESS INFEASIBLE, PRESSURE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM SPRINKLING AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR TREATMENT CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHESES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- IF A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES, FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE, THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

WORK ON SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY

- COMPLY WITH ALL SPECIAL PROVISIONS CONTAINED IN THE DEPARTMENT OF TRANSPORTATION ENFORCEMENT PERMIT ISSUED FOR THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL WORK ON DOT RIGHTS-OF-WAY WITH THE DISTRICT ENGINEERING REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A DOT APPROVED TRAFFIC CONTROL PLAN FOR SITE ACCESS AND FOR CONSTRUCTION ON DEPARTMENT OF TRANSPORTATION RIGHTS-OF-WAY. ALL TRAFFIC CONTROL DEVICES MUST COMPLY WITH DEPARTMENT OF TRANSPORTATION MINIMUM REQUIREMENTS, LIGHTS, SIGNS, FLAGMEN AND ALL OTHER TRAFFIC CONTROL DEVICES MUST CONFORM TO THE REQUIREMENTS CONTAINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PROVIDE ALL REGULATORY SIGNS, PAVEMENT STRIPING AND MARKINGS, AS REQUIRED BY THE SOUTH CAROLINA DOT DISTRICT ENGINEERING INSPECTOR. ALL SIGNS MUST CONFORM TO THE REQUIREMENTS CONTAINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND TO THE SOUTH CAROLINA DOT STANDARD DETAILS WITH RESPECT TO COLOR, SIZE, REFLECTIVITY, HEIGHT AND PLACEMENT.
- ALL PAVEMENT MARKINGS ON DOT RIGHTS-OF-WAY SHALL BE THERMOPLASTIC (25 MIL THICKNESS) AND MUST COMPLY WITH THE REQUIREMENTS IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. PLACEMENT SHALL BE IN ACCORDANCE WITH SOUTH CAROLINA DOT STANDARD DRAWINGS 603-3 AND 603-4, AS APPLICABLE.
- ALL PAVEMENT MARKINGS TO BE REMOVED MUST BE GRADUATED BY GRINDING.

DRY UTILITY CONDUITS FOR ELECTRIC, TELEPHONE AND CABLE TV:

- ALL DRY UTILITY CONDUIT ENDS SHALL BE CAPPED AND MARKED WITH A STEEL REBAR STAKE IMBEDDED ONE (1) FOOT BELOW THE SURFACE.
- 4" MINIMUM DEPTH FOR ALL ELECTRICAL CONDUITS.
- MARK 1/4" MINIMUM 12" VERTICAL CLEARANCE WHEN CROSSING WATER, SEWER, AND STORM DRAIN LINES.
- MARK 1/4" MINIMUM 18" HORIZONTAL CLEARANCE WHEN PARALLELING WATER, SEWER AND STORM DRAIN LINES.
- EXTEND CONDUIT BEYOND PAVEMENT, CURBS, AND SIDEWALKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS. REFER TO APPROVED BUILDING PLANS FOR THE EXACT LOCATION OF ALL SERVICE CONNECTIONS. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARDS TO THE INSTALLATION OF UTILITIES AND CONDUIT.
- LOCATIONS SHOWN ON THE PLANS FOR PROPOSED DRY UTILITY CONDUITS ARE APPROXIMATE ONLY. ALL DIMENSIONING AND STAKING SHOULD BE BASED ON ECONOMICAL AND PRACTICAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE RESPECTIVE UTILITY REPRESENTATIVES PRIOR TO ANY CONDUIT INSTALLATION.
- TRANSFORMER PADS SHALL BE LOCATED AND DIRECTED BY THE RESPECTIVE UTILITY REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.
- NOTIFY THE ENGINEER IF CONFLICTS WITH EXISTING OR PROPOSED STRUCTURES REQUIRE THAT PROPOSED UTILITIES BE RELOCATED.

LEGEND

DESCRIPTION	EXISTING	PROPOSED
LINE TYPES		
CENTURLINE		
CONTOUR LINE		
CURB & GUTTER (standard)		
CURB & GUTTER (roll curb)		
DITCH CENTERLINE		
DRAIN LINE		
EASEMENT		
FORCE MAIN		
PAVEMENT		
PROPERTY LINE		
SEWER LINE		
WATER LINE		

TYPICAL SYMBOLS	
TREE	
TREE TO BE REMOVED	
TREE PROTECTION	
SPOT ELEVATION	
TOP OF PAVING	
TOP OF CURB	
TOP OF WALK	
DIRECTION OF FLOW	

STRUCTURE SYMBOLS	
WEIR INLET	
CATCH BASIN	
CURB INLET	
CURB INLET (WITH GRATE)	
STORM DRAIN JUNCTION BOX	
STORM DRAIN MANHOLE	
STORM GRATE INLET	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER WYE	

WATER SYSTEM SYMBOLS	
WATER METER	
WATER VALVE	
REDUCER	
STOP INDICATOR VALVE	
FIRE HYDRANT	
BLOWOFF HYDRANT	
YARD HYDRANT	
FIRE DEPART. CONNECT. (FDC)	
CAP	
PLUG	

MATERIAL SYMBOLS	
PROPOSED DEMOLITION	
PROPOSED SIDEWALK/CONCRETE	
EXISTING WETLANDS	
PROPOSED AGGREGATE/STONES	
PROPOSED ASPHALT (STANDARD ASPHALT)	
PROPOSED ASPHALT (HEAVY DUTY)	
PERVIOUS PAVERS	

SEQUENCE OF CONSTRUCTION ACTIVITIES PROJECT PHASING

ESTIMATED START DATE: 09/20/13 ESTIMATED COMPLETION DATE: 10/27/13

- INSTALL TREE PROTECTION AND DELINEATE CLEARING LIMITS
- INSTALL PERMITTER CONTROLS FOR SOIL EROSION
- PROVIDE SITE DRAINAGE WITH DIVERSION DITCHES, SWALES AND DRAINS
- CLEAR AND GRUB SITE, INCLUDING DEMOLITION TO LIMITS, AS SHOWN
- STRIP AND STOCKPILE TOP SOIL FOR USE IN LANDSCAPE AREAS AND BERMS
- COMPLETE SITE GRADING FOR PARKING AREAS AND LANDSCAPE BERMS
- COMPLETE UTILITY INSTALLATION
- CONSTRUCT NEW CURB AND GUTTER AND PAVEMENT
- FINISH GRADING AND FINAL GRASSING AND LANDSCAPING
- REMOVE SEDIMENT CONTROLS AFTER SITE HAS BEEN STABILIZED



EROSION & SEDIMENT CONTROL LEGEND

DESCRIPTION	SYMBOL
EROSION PREVENTION	
LAND GRADING:	
SURFACE ROUGHENING:	
TOPSOILING:	
TEMPORARY SEEDING:	
MULCHING:	
ECB OR TRM:	
FORM:	
BPM:	
PERMANENT SEEDING:	
SODDING:	
RPRAP:	
OUTLET PROTECTION:	
DUST CONTROL:	
POLYACRYLAMIDE (PAM):	
SEDIMENT CONTROL	
SEDIMENT BASH:	
TEMPORARY SEDIMENT TRAP:	
ROCK SEDIMENT DIKE:	
ROCK CHECK DAM:	
SEDIMENT TUBE:	
SILT FENCE:	
REINFORCED SILT FENCE:	
TYPE A-FABRIC INLET PROTECTION:	
TYPE A-SEDIMENT TUBE INLET PROTECTION:	
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	
TYPE D - RIGID INLET FILTERS:	
TYPE E - SURFACE COURSE CURB INLET FILTER:	
TYPE F - INLET TUBE:	
RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	
RPRAP-LINED CHANNELS:	
ECB OR TRM-LINED CHANNELS:	
PAVED CHANNELS:	
PIPE SLOPE DRAINS:	
TEMPORARY STREAM CROSSING OR SWALE:	
PERMANENT DIVERSION DITCH:	
DIVERSION DIKE OR BERM:	
LEVEL SPREADER:	
SUBSURFACE DRAIN:	

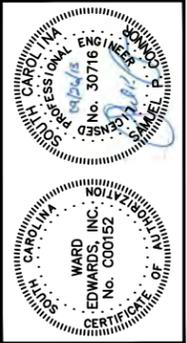
STANDARD ABBREVIATIONS

AC	ACRE	MECHANICAL JOINT
ADT	AVERAGE DAILY TRAFFIC	N
ASPH	ASPHALT	NBP
BEG	BEGIN	NR
BN	BENCHMARK	NC
BOB	BOTTOM OF BANK	ND
BOI	BOTTOM OF INLET	NO
BR	BEARING	OHP
BT	BURIED TELEPHONE	PAVT
B/C	BANK	PC
C & G	CURB AND GUTTER	PCC
CATV	CABLE TELEVISION	PERP
CB	CATCH BASIN	PERP
CI	CURB INLET	PL
CONST	CONSTRUCTION	PL
CORR	CORRECTION	PL
CP	CUBIC FEET	PRCST
CV	CUBIC YARD	PT
DA	DRAINAGE AREA	PVC
DBI	DITCH BOTTOM INLET	PV
DOL	DOUBLE	Q
DHW	DESIGN HOURLY VOLUME	R
DI	DROP INLET	R OR RAD
DI OR D	DIAMETER	R
DIP	DUCTILE IRON PIPE	R
DIT	DITCH	RDWY
D#	DIAMETER ELEVATION	RFG OR REGD
E	EAST OR EXTERNAL DISTANCE	R
EGL	EXISTING GRADE LINE	S
EL OR ELEV	ELEVATION	S
EMBK	EMBANKMENT	SAHM
ENGR	ENGINEER	SA
EN	EASEMENT	SB
ESNT	ENDWALL	SDR
EW	EXISTING	SE
F & I	FURNISH AND INSTALL	SHW
FES	FLARED END SECTION	SHW
FSH	FIRE HYDRANT	SSH
FM	FORCE MAIN	STA
FT	FOOT OR FEET	SUBGR
FT	FOOT	SUR
GR	GRADE	SW OR SWK
GRD	GRADE	TC
GRD RT	GRADE RIGHT	TCE
HDPE	HIGH DENSITY POLYETHYLENE	TEL
HDWL	HEADWALL	TEMP
HORIZ	HORIZONTAL	TEMP
HP	HIGH POINT	TOP
HW	HIGHWAY	TOP OF PAVEMENT
HWY	HIGHWAY</	

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STRAND BLOCK 6C
PARCEL IV

N/F TOWN OF HILTON HEAD ISLAND
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DEED BOOK 524-1377



NO.	DESCRIPTION	DATE
1	RELEASED FOR OC&M & SC&OT PERMITTING	08/09/13
2	RELEASED FOR TOHHI PERMITTING	09/26/13
3		
4		
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6		
7		

Ward Edwards
ENGINEERING

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THE BEACH HOUSE
HILTON HEAD, SOUTH CAROLINA

AGRE NV HH PROPERTY OWNERS, LLC
WESTPORT, CT

EXISTING CONDITIONS PLAN

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PROJECT #:	130233
DATE:	09/26/13
DESIGNED BY:	SPC
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SCALE:	1"=30'

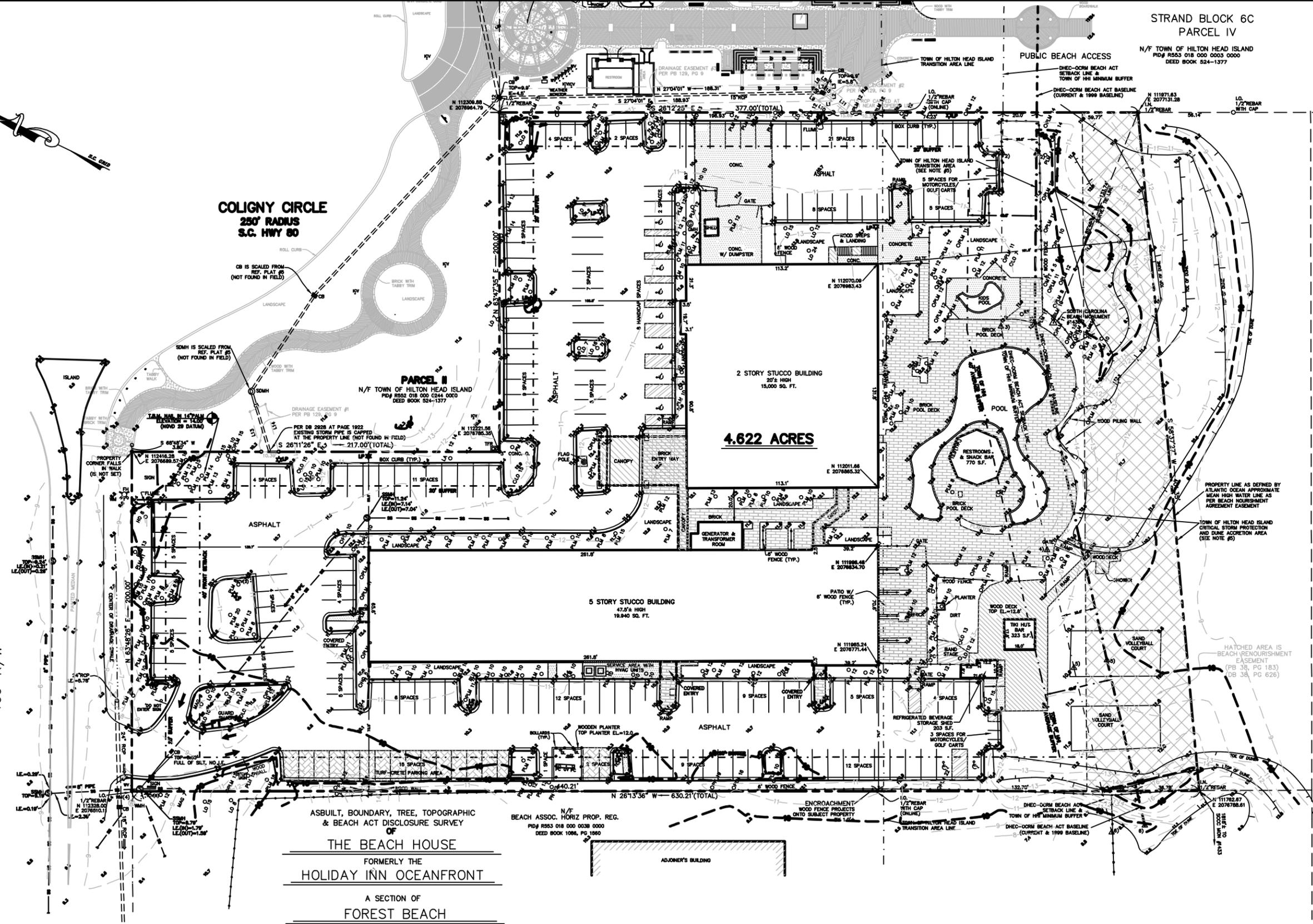
SHEET
C.03



COLIGNY CIRCLE
250' RADIUS
S.C. HWY 80

SOUTH FOREST BEACH DRIVE
100' R/W

ATLANTIC OCEAN

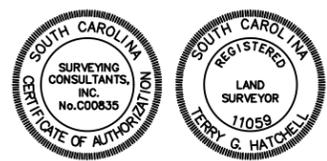


ASBUILT, BOUNDARY, TREE, TOPOGRAPHIC
& BEACH ACT DISCLOSURE SURVEY
OF
THE BEACH HOUSE
FORMERLY THE
HOLIDAY INN OCEANFRONT
A SECTION OF
FOREST BEACH
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

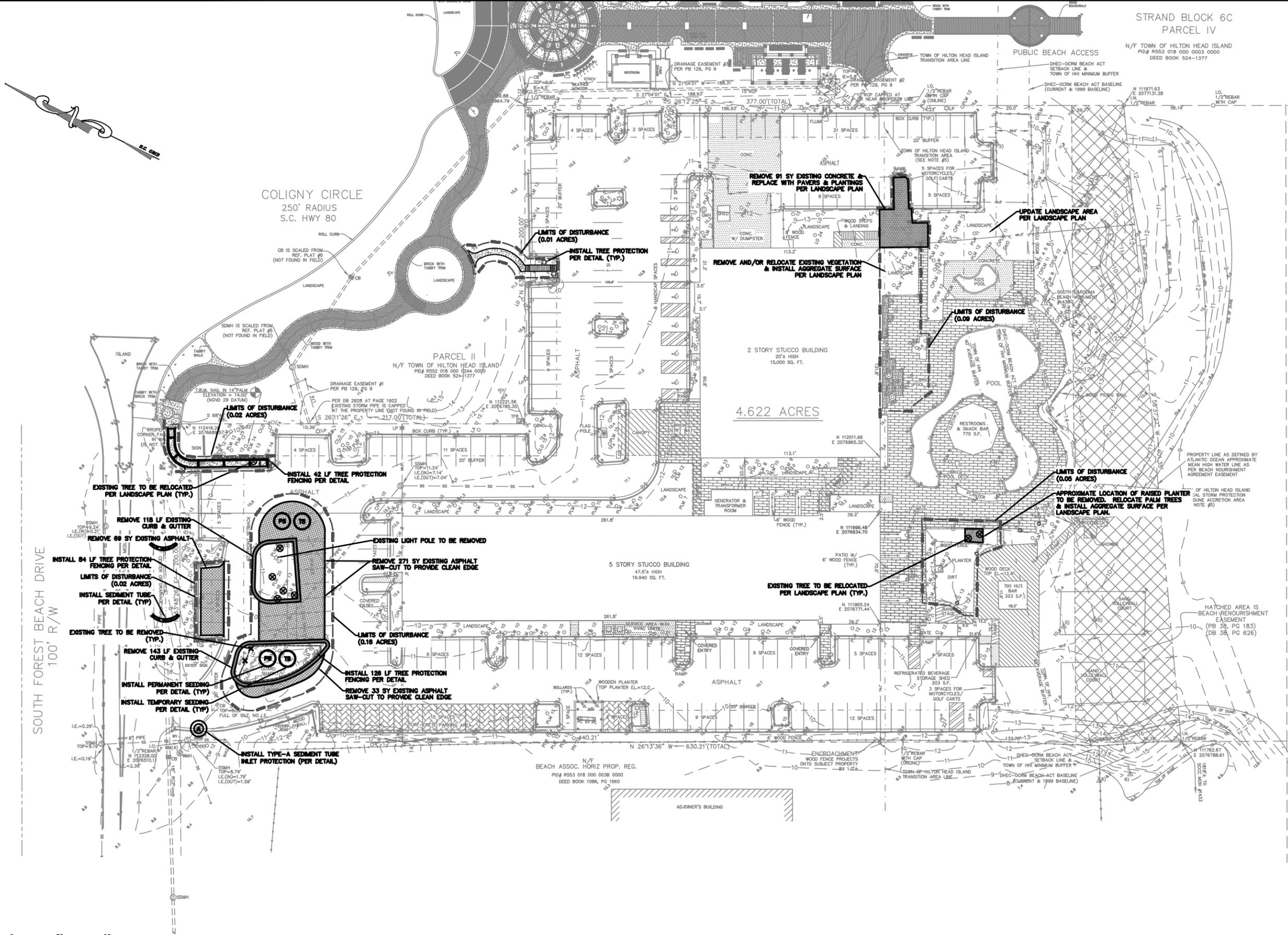
SCALE: 1" = 30' DATE: 2/25/2013 JOB NO: SC88062H
REVISED: 3/11/2013; REMOVED 50' B.S.L. FROM BEACH ACT BASELINE AND ADDED TOWN OF HHI 20' MINIMUM AND 40' AVERAGE BUFFERS
REVISED: 3/20/2013; TO REVISE ZONING AND PARKING DATA NOTE #2
REVISED: 5/15/2013; TO SHOW TREE & TOPOGRAPHIC SURVEY

SG SURVEYING CONSULTANTS

17 Sherrington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3304 FAX: (843) 815-3306
GA Telephone: (912) 898-8776



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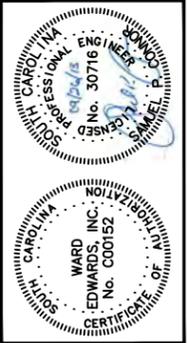
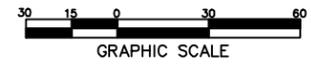
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COLIGNY CIRCLE
250' RADIUS
S.C. HWY 80

4.622 ACRES

ATLANTIC OCEAN

SOUTH FOREST BEACH DRIVE
100' R/W



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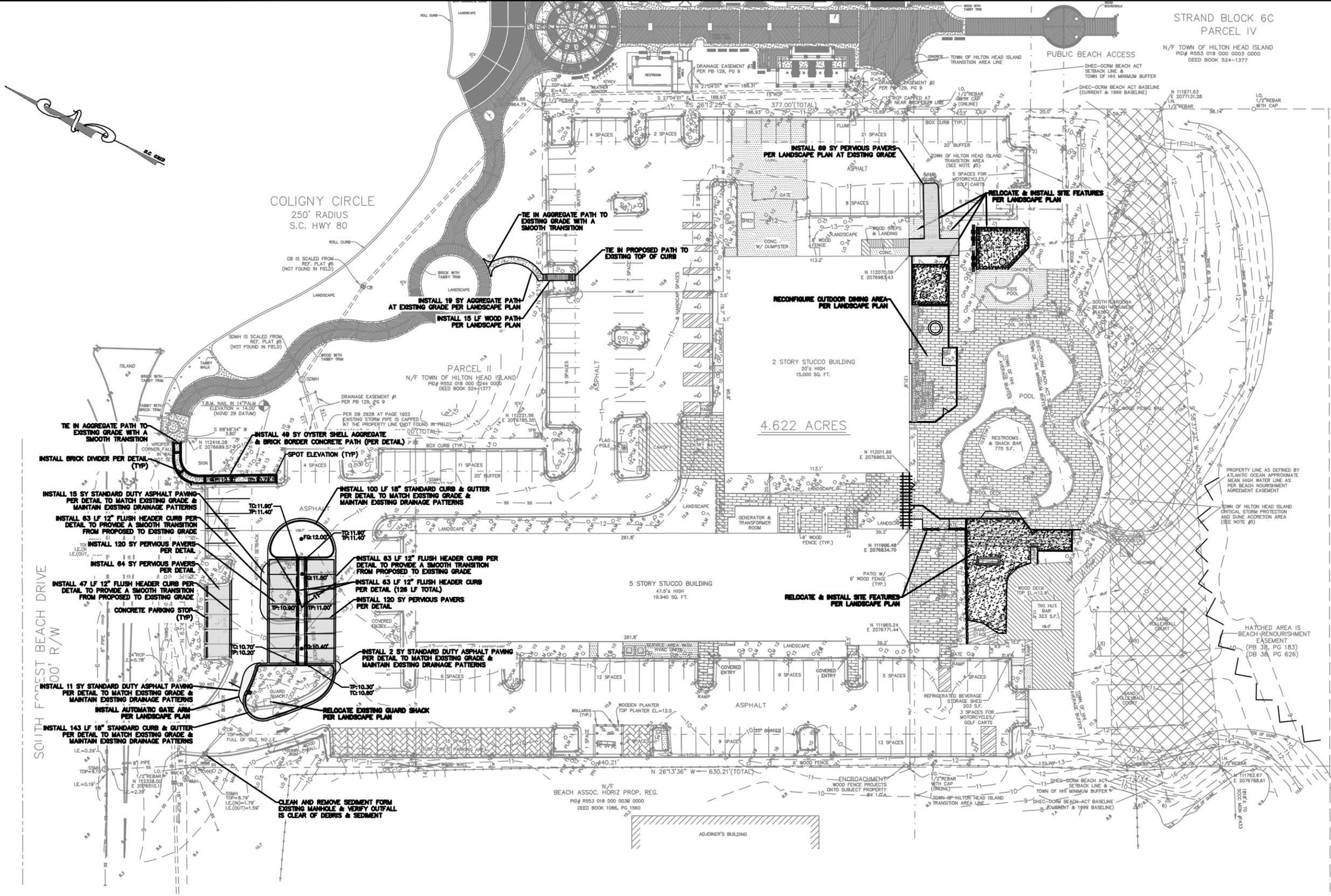
DEMO & EROSION CONTROL PLAN

NOT FOR CONSTRUCTION	
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SHEET
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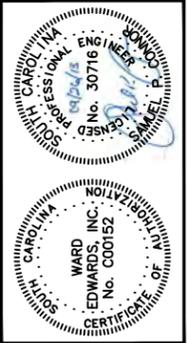
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COLIGNY CIRCLE
250' RADIUS
S.C. HWY 80

4.622 ACRES

ATLANTIC OCEAN

SOUTH FOREST BEACH DRIVE
100' R/W



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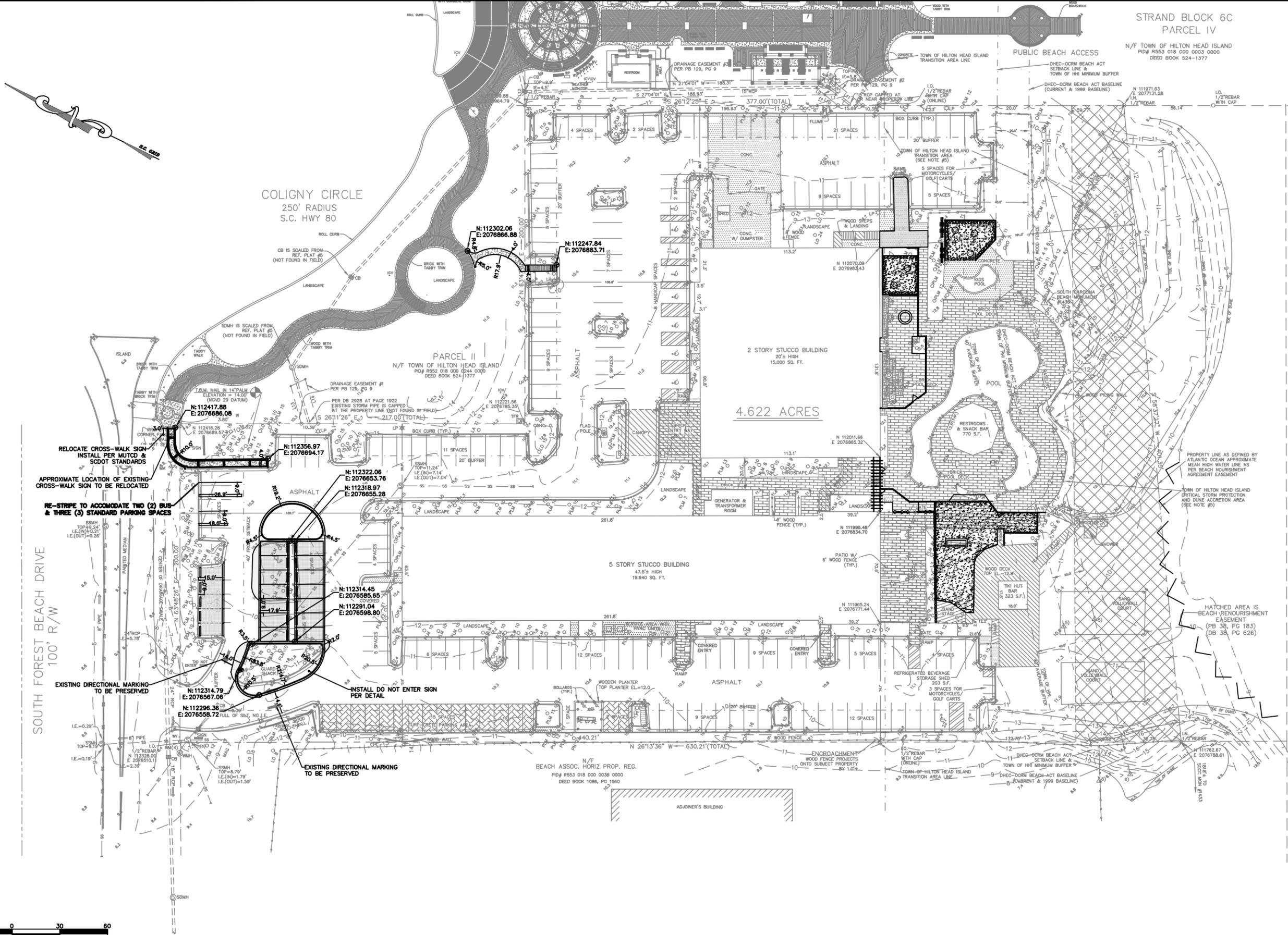
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PAVING GRADING & DRAINAGE PLAN

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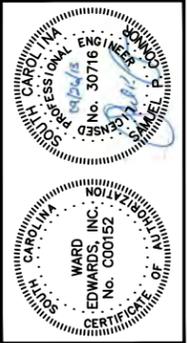
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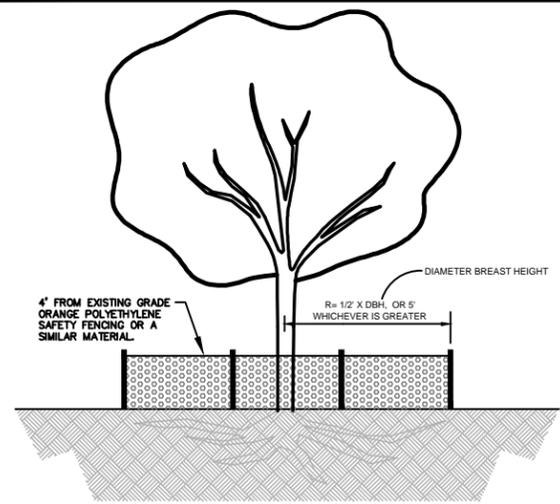
THE BEACH HOUSE
HILTON HEAD, SOUTH CAROLINA
AGRE NV HH PROPERTY OWNERS, LLC
WESTPORT, CT
STAKING PAVEMENT MARKING & SIGNAGE PLAN

NOT FOR CONSTRUCTION	RELEASED FOR CONSTRUCTION
PROJECT #:	130233
DATE:	09/26/13
DESIGNED BY:	SPC
CHECKED BY:	PRM
SCALE:	1"=30'

SHEET
C.06

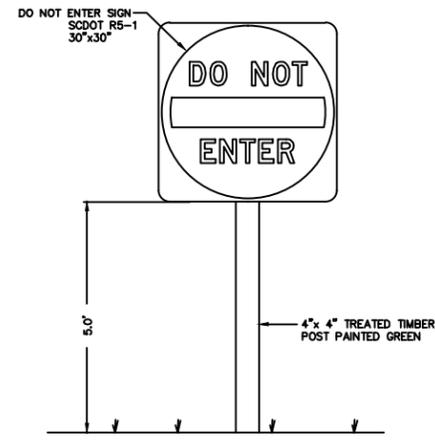
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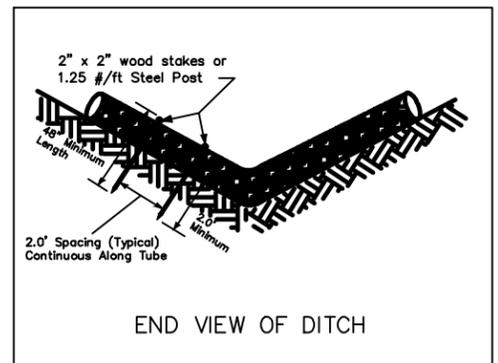


TREE PROTECTION DETAIL

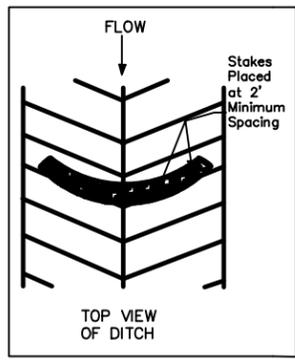
DETAIL #02915-008



DO NOT ENTER SIGN



END VIEW OF DITCH



TOP VIEW OF DITCH

South Carolina Department of Health and Environmental Control
SEDIMENT TUBE
 STANDARD DRAWING NO. SC-05 Page 1 of 3
 APPROVED BY: [Signature] SIGNED: [Signature] DATE: AUGUST, 2008

SEDIMENT TUBE
Description:
 Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber or hardwood mulch. Straw, pine needle and leaf mulch-filled sediment tubes are not permitted under this specification.
When and Where to Use It:
 Install sediment tubes along contours, in drainage conveyance swales, and around inlets to help reduce the effects of soil erosion by energy dissipation and retain sediment.
Materials:
 Sediment tubes for ditch checks and Type A Inlet Structure Filters exhibit the following properties:
 Produced by a Manufacturer experienced in sediment tube manufacturing.
 Composed of compacted geotextiles, curled excelsior wood, natural coconut fibers, hardwood mulch or a mix of these materials enclosed by a flexible netting material.
 Straw, straw fiber, straw bales, pine needles and leaf mulch are not allowed under this specification.
 Utilizes outer netting that consists of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable materials. Diameter ranging from 18-inches to 24-inches.
 Curled excelsior wood, or natural coconut rolled erosion control products (RECPs) that are rolled up to create a sediment tube are not allowed under this specification.
Installation:
 Install over bare soil, mulched areas or erosion control blankets.
 Be composed of geotextiles, curled excelsior wood, natural coconut fiber or hardwood mulch enclosed by a flexible netting material. Straw, straw fiber, straw bales, pine needles and leaf mulch are not allowed.
 The minimum diameter should be 18 inches.
 Sediment tubes should be staked using wooden stakes (2-inch x 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) a minimum of 48-inches in length placed on 2-foot centers.
 Stakes should be intertwined with the outer mesh on the downstream side and driven in the ground to a minimum depth of 1.5 feet leaving less than 1 foot of stake exposed above the sediment tube. Always refer to the Manufacturer's recommendations for the staking detail.
 Install all sediment tubes insuring that no gaps exist between the soil and the bottom of the sediment tube. The ends of adjacent sediment tubes should be lapped 6-inch to prevent flow and sediment from passing through the field joint. In no situations should sediment tubes be stacked on top of one another.
 Construct a trench that is 20% of the tube diameter to install the tube in.
 Avoid damage to sediment tubes while installing them. If the sediment tube becomes damaged during installation, a stake should be placed on both sides of the damaged area terminating the tube segment and a new tube segment should be installed. Should be installed in swales or drainage ditches perpendicular to the flow of water. Sediment tubes should continue up the side slopes a minimum of 1 foot above the design flow depth. Sediment tubes should be spaced according to the following table.

SEDIMENT TUBE SPACING

SLOPE	MAXIMUM SEDIMENT TUBE SPACING
LESS THAN 2%	150-FEET
2%	100-FEET
3%	75-FEET
4%	60-FEET
5%	40-FEET
6%	30-FEET
GREATER THAN 6%	25-FEET

South Carolina Department of Health and Environmental Control
SEDIMENT TUBE
 STANDARD DRAWING NO. SC-05 Page 2 of 3
 APPROVED BY: [Signature] SIGNED: [Signature] DATE: AUGUST, 2008

SEDIMENT TUBE
 SEDIMENT TUBE LENGTH SELECTED SHOULD MINIMIZE THE NUMBER OF SEDIMENT TUBES NEEDED TO SPAN THE WIDTH OF THE DRAINAGE CONVEYANCE.
 IF THE DITCH CHECK LENGTH (PERPENDICULAR TO THE WATER FLOW) IS 15 FEET, THEN ONE 15 FOOT SEDIMENT TUBE IS PREFERRED COMPARED TO TWO OVERLAPPING 10 FOOT SEDIMENT TUBES.
 SEDIMENT TUBES FOR DITCH CHECKS SHOULD REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION AND ROOT SYSTEMS HAVE COMPLETELY DEVELOPED AND CAN SURVIVE ON THEIR OWN.

Inspection and Maintenance:
 Check dams should be inspected every 7 calendar days and within 24-hours after each storm that produces 1/8-inches or more of rain to ensure continued effectiveness.
 Large debris, trash, and leaves should be removed.

If erosion causes the edges to fall to a height equal to or below the height of the center, repairs should be made immediately.
 Remove accumulated sediment from the upstream side of the sediment tube when the sediment has reached a height of approximately one-third of the exposed height of the tube (measured at the center).
 Accumulated sediment should be removed prior to removing sediment tubes.

Sediment Tube removal should be completed only after the contributing drainage area has been completely stabilized. Permanent vegetation should replace areas from which gravel, stone, sediment tubes, or other materials have been removed.

South Carolina Department of Health and Environmental Control
SEDIMENT TUBE
 STANDARD DRAWING NO. SC-05 Page 3 of 3
 APPROVED BY: [Signature] SIGNED: [Signature] DATE: AUGUST, 2008

PERMANENT SEEDING - COASTAL

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
ATLANTIC COASTAL PANICGRASS	15 LBS/AC PLS												
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS (ALAMO)	8 LBS/AC PLS												
LITTLE BLUESTEM	4 LBS/AC												
SERICA LESPEDEZA	20 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
WEEPING LOVEGRASS	8 LBS/AC												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
RYE, GRAIN	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
CLOVER, CRIMSON (ANNUAL)	5 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	10 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	12 LBS/AC												
KOBE LESPEDEZA (ANNUAL)	10 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	20 LBS/AC												
BERMUDA, COMMON	6 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS	8 LBS/AC PLS												
LITTLE BLUESTEM	3 LBS/AC PLS												
INDIANGRASS	3 LBS/AC PLS												

(PS) PERMANENT SEEDING - COASTAL

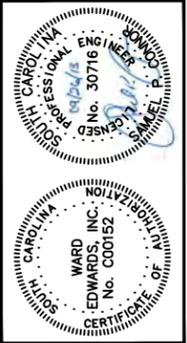
DETAIL 02370-010

TEMPORARY SEEDING - COASTAL

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	40 LBS/AC												
RYE, GRAIN	56 LBS/AC												
RYEGRASS	50 LBS/AC												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET	40 LBS/AC												
JAPANESE MILLET	8 LBS/AC												
RYE, GRAIN OR OATS	56 LBS/AC												
RYEGRASS	75 LBS/AC												
RYEGRASS	50 LBS/AC												

(TS) TEMPORARY SEEDING - COASTAL

DETAIL 02370-011



NO.	DESCRIPTION	DATE
1	RELEASED FOR TOHHI PERMITTING	09/26/13
2	RELEASED FOR OCRM & SCDOT PERMITTING	08/09/13
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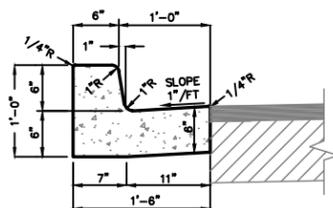
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THE BEACH HOUSE
 HILTON HEAD, SOUTH CAROLINA
 AGRE NV HH PROPERTY OWNERS, LLC
 WESTPORT, CT
CONSTRUCTION DETAILS

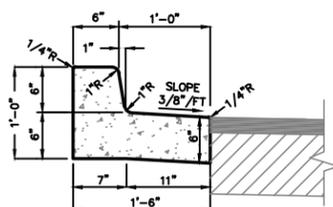
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<input type="checkbox"/>	RELEASED FOR CONSTRUCTION
PROJECT #:	130233
DATE:	09/26/13
DESIGNED BY:	SPC
CHECKED BY:	PRM
SCALE:	AS NOTED

SHEET
C.07

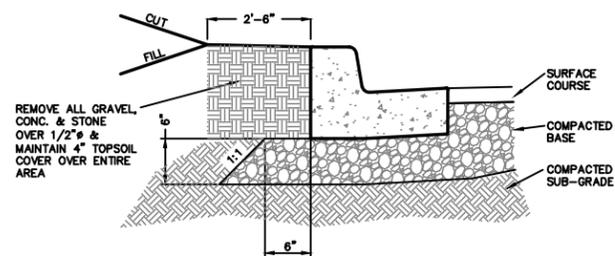
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NORMAL GUTTER



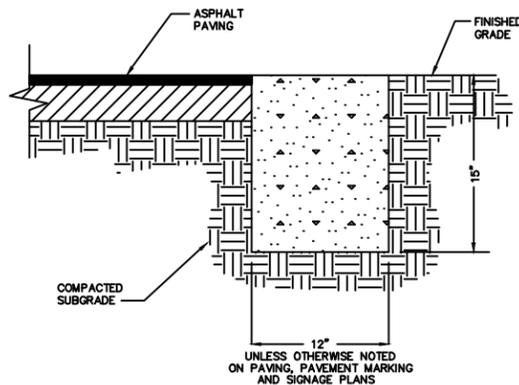
PITCHED GUTTER



18" CURB AND GUTTER

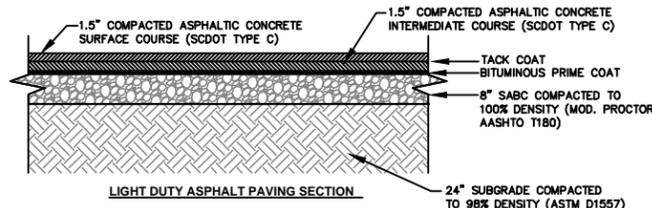
DETAIL 03300-004A

- NOTES:**
1. USE NORMAL OR PITCHED GUTTER AS REQUIRED TO MATCH PAVING SLOPE.
 2. ALL CONCRETE SHALL BE 3,000 PSI.
 3. PROVIDE CONTRACTION JOINTS EVERY TEN FEET (10').
 4. PROVIDE EXPANSION JOINTS EVERY FIFTY (50') FEET AND AT ALL TANGENT POINTS.
 5. PROVIDE EXPANSION JOINTS WHERE CURB ABUTS SIDEWALKS OR OTHER RIGID STRUCTURES.
 6. EXPANSION JOINTS SHALL BE 1/2" WITH PRE-MOLDED JOINT FILLER.
 7. TOOL ALL EXPOSED EDGES & JOINTS TO 1/4" RADIUS.
 8. PROVIDE LIGHT BROOM FINISH.

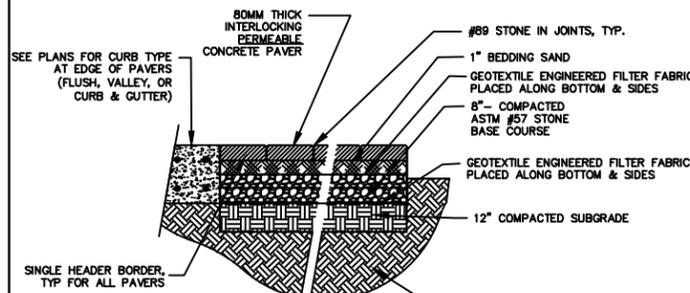


FLUSH HEADER CURB

DETAIL 03300-005



LIGHT DUTY ASPHALT PAVING SECTION

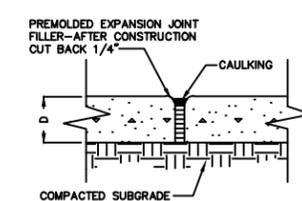


PERMEABLE CONCRETE PAVERS

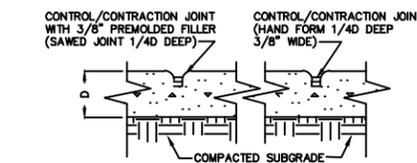
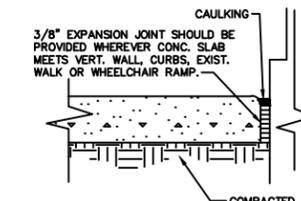
- NOTES:**
1. AREAS SHOWN TO CONTAIN OYSTER CASTING SHALL CONTAIN THE FOLLOWING:
 - 1.1. CRUSHED OYSTER SHELL TO BE HAND CAST IN WEAR SURFACE AT APPROXIMATE RATE OF 3 LBS PER SY
 - 1.2. CEMENT POWDER TO BE HAND CAST IN WEAR SURFACE AT APPROXIMATE RATE OF 0.5 LBS PER SY
 2. AREAS SHOWN AS PERMEABLE PAVERS SHALL CONTAIN THE FOLLOWING:
 - 2.1. PAVER: LOWCOUNTRY PAVER 80MM INTERLOCKING WATERSHED PERMEABLE PAVES, OR APPROVED EQUAL (APPROVAL BY ENGINEER)
 - 2.2. PATTERN: 45° HERRINGBONE
 - 2.3. COLOR: BY OWNER
 - 2.4. INSTALLED PER ICPI SPECIFICATIONS

TYPICAL PAVING SECTIONS

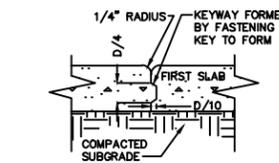
NOTE: D = 4"



ISOLATION EXPANSION JOINT



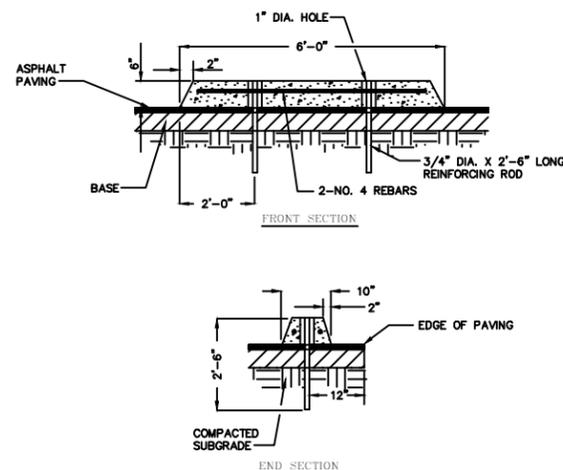
CONTROL/CONTRACTION JOINT



CONSTRUCTION JOINT

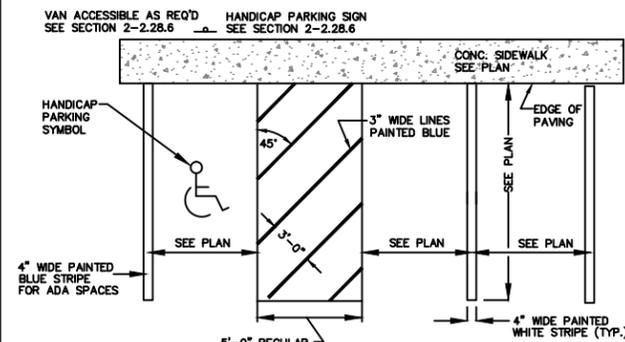
CONCRETE JOINTS

DETAIL 03300-007



PRECAST CONCRETE WHEELSTOP

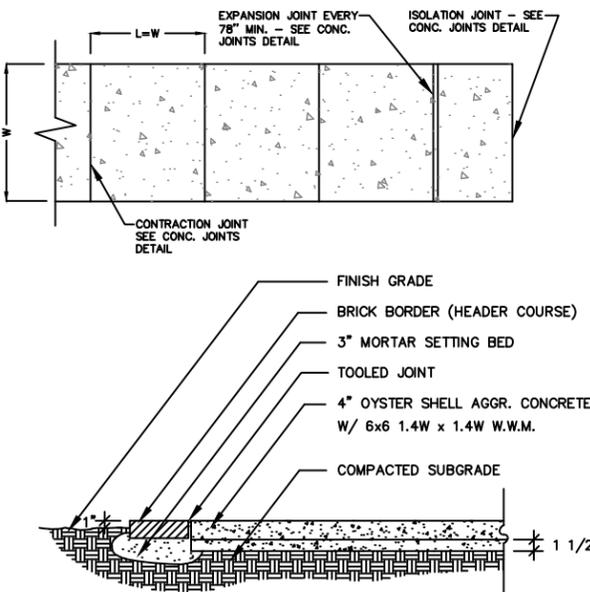
DETAIL 03300-009



- NOTES:**
1. ALL ARROWS AND STRIPING TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT.
 2. ALL ARROWS TO BE IN ACCORDANCE WITH SCDOT STANDARD 625-410-00.

PARKING SPACE STRIPING

DETAIL 02740-007

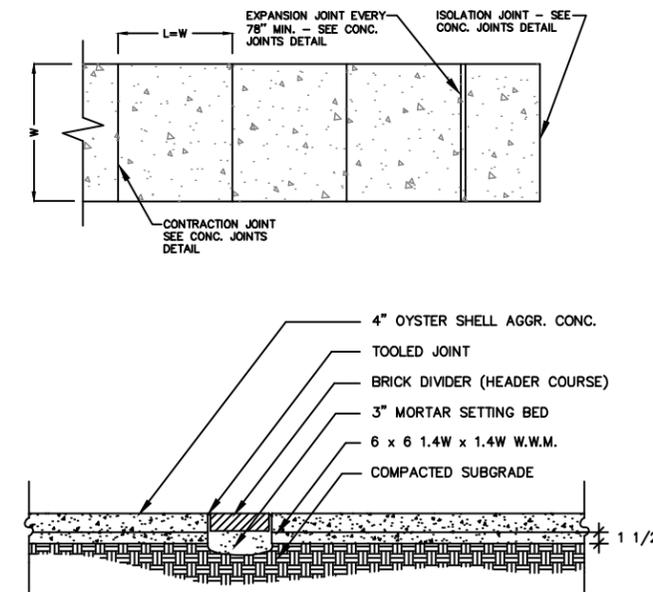


BRICK BORDER

- NOTES:**
1. W = VARIES, REFER TO STAKING PLAN.
 2. L = WIDTH OF PAVING UNLESS OTHERWISE INDICATED ON PLAN.
 3. SLOPE = AS INDICATED ON GRADING PLAN, NOT TO EXCEED 2% CROSS OR 8.33% LONGITUDINAL.
 4. ALL CONCRETE SHALL BE CLASS A 3000 PSI.

CONCRETE SIDEWALK

DETAIL 03300-022



BRICK DIVIDER

- NOTES:**
1. W = VARIES, REFER TO STAKING PLAN.
 2. L = WIDTH OF PAVING UNLESS OTHERWISE INDICATED ON PLAN.
 3. SLOPE = AS INDICATED ON GRADING PLAN, NOT TO EXCEED 2% CROSS OR 8.33% LONGITUDINAL.
 4. ALL CONCRETE SHALL BE CLASS A 3000 PSI.

BRICK DIVIDER

DETAIL 03300-022



NO.	DESCRIPTION	DATE
1	RELEASED FOR OCRM & SCDOT PERMITTING	08/09/13
2	RELEASED FOR TOHHI PERMITTING	09/26/13
3		
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7		

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THE BEACH HOUSE
 HILTON HEAD, SOUTH CAROLINA
 AGRE NV HH PROPERTY OWNERS, LLC
 WESTPORT, CT
 CONSTRUCTION DETAILS

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

PROJECT #:	130233
DATE:	09/26/13
DESIGNED BY:	SPC
CHECKED BY:	PRM
SCALE:	AS NOTED

SHEET
C.08

BEACH HOUSE PLANT SCHEDULE

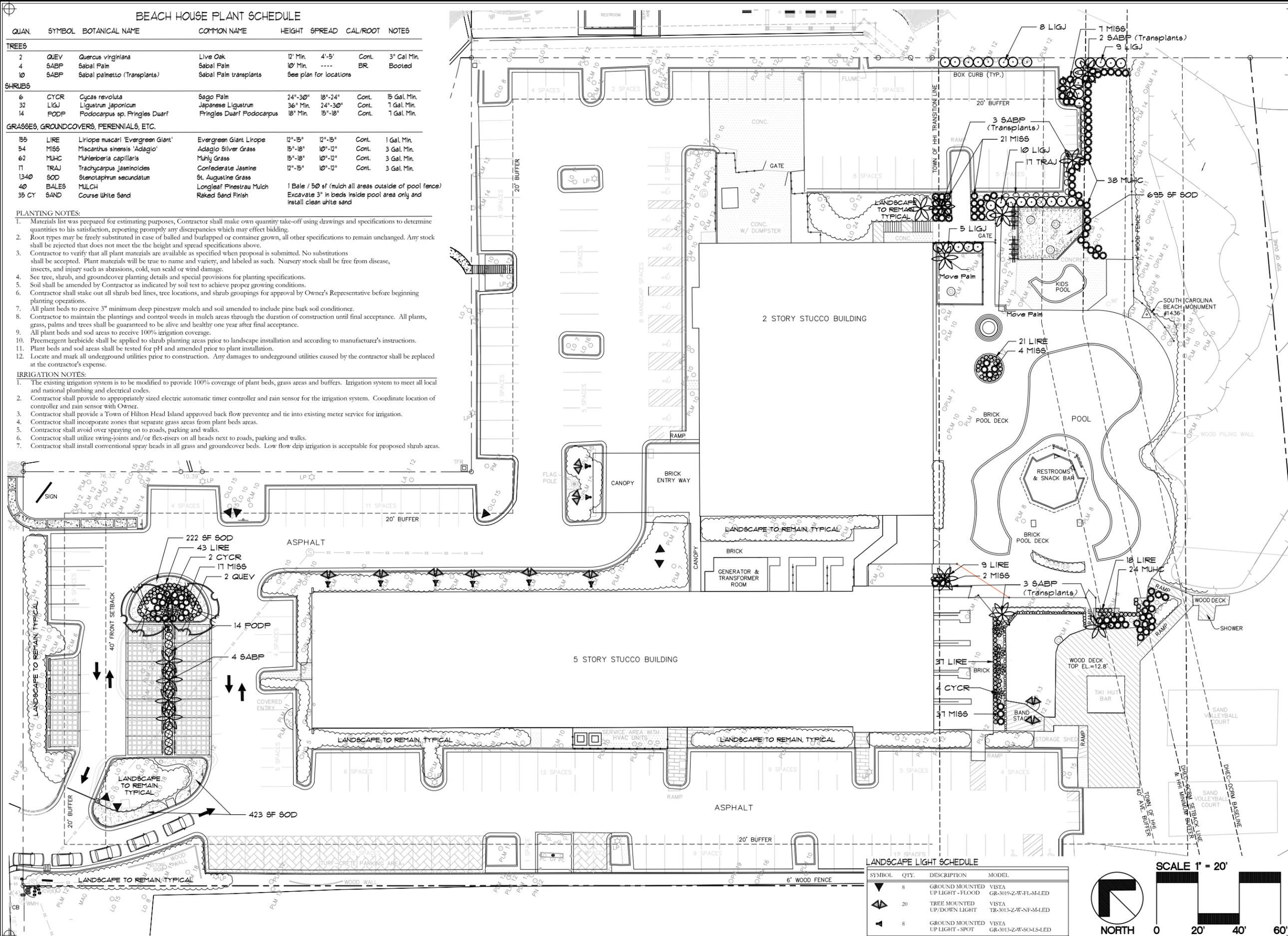
QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL./ROOT	NOTES
TREES							
2	QUEV	<i>Quercus virginiana</i>	Live Oak	12' Min.	4'-5'	Cont.	3" Cal Min.
4	SABP	Sabal Palm	Sabal Palm	10' Min.	----	BR	Booted
10	SABP	Sabal palmetto (Transplants)	Sabal Palm transplants	See plan for locations			
SHRUBS							
6	CYCR	<i>Cycas revoluta</i>	Sago Palm	24"-30"	18"-24"	Cont.	15 Gal. Min.
32	LIGJ	<i>Ligustrum japonicum</i>	Japanese Ligustrum	36" Min.	24"-30"	Cont.	1 Gal. Min.
14	FODP	<i>Fodocarpus</i> sp. Pringles Dwarf	Pringles Dwarf Podocarpus	18" Min.	15"-18"	Cont.	1 Gal. Min.
GRASSES, GROUNDCOVERS, PERENNIALS, ETC.							
155	LIRE	<i>Liriope muscari</i> 'Evergreen Giant'	Evergreen Giant Liriope	12"-15"	12"-15"	Cont.	1 Gal. Min.
54	MIS6	<i>Miscanthus sinensis</i> 'Adagio'	Adagio Silver Grass	15"-18"	10"-12"	Cont.	3 Gal. Min.
62	MUHC	<i>Muhlenbergia capillaris</i>	Muhly Grass	15"-18"	10"-12"	Cont.	3 Gal. Min.
11	TRAJ	<i>Trachycarpus jasminoides</i>	Confederate Jasmine	12"-15"	10"-12"	Cont.	3 Gal. Min.
1340	SOD	<i>Stenotaphrum secundatum</i>	St. Augustine Grass				
40	BALES	MULCH	Longleaf Pinestraw Mulch	1 Bale / 50 sf (mulch all areas outside of pool fence)			
35 CY	SAND	Course White Sand	Raked Sand Finish	Excavate 3" in beds inside pool area only and install clean white sand			

PLANTING NOTES:

- Materials list was prepared for estimating purposes, Contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
- Root types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged. Any stock shall be rejected that does not meet the the height and spread specifications above.
- Contractor to verify that all plant materials are available as specified when proposal is submitted. No substitutions shall be accepted. Plant materials will be true to name and variety, and labeled as such. Nursery stock shall be free from disease, insects, and injury such as abrasions, cold, sun scald or wind damage.
- See tree, shrub, and groundcover planting details and special provisions for planting specifications.
- Soil shall be amended by Contractor as indicated by soil test to achieve proper growing conditions.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Owner's Representative before beginning planting operations.
- All plant beds to receive 3" minimum deep pinestraw mulch and soil amended to include pine bark soil conditioner.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance. All plants, grass, palms and trees shall be guaranteed to be alive and healthy one year after final acceptance.
- All plant beds and sod areas to receive 100% irrigation coverage.
- Preemergent herbicide shall be applied to shrub planting areas prior to landscape installation and according to manufacturer's instructions.
- Plant beds and sod areas shall be tested for pH and amended prior to plant installation.
- Locate and mark all underground utilities prior to construction. Any damages to underground utilities caused by the contractor shall be replaced at the contractor's expense.

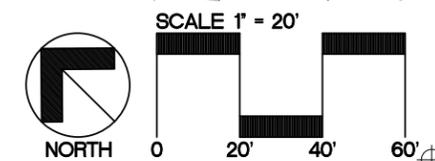
IRRIGATION NOTES:

- The existing irrigation system is to be modified to provide 100% coverage of plant beds, grass areas and buffers. Irrigation system to meet all local and national plumbing and electrical codes.
- Contractor shall provide to appropriately sized electric automatic timer controller and rain sensor for the irrigation system. Coordinate location of controller and rain sensor with Owner.
- Contractor shall provide a Town of Hilton Head Island approved back flow preventer and tie into existing meter service for irrigation.
- Contractor shall incorporate zones that separate grass areas from plant beds areas.
- Contractor shall avoid over spraying on to roads, parking and walks.
- Contractor shall utilize swing-joints and/or flex-risers on all heads next to roads, parking and walks.
- Contractor shall install conventional spray heads in all grass and groundcover beds. Low flow drip irrigation is acceptable for proposed shrub areas.



LANDSCAPE LIGHT SCHEDULE

SYMBOL	QTY.	DESCRIPTION	MODEL
▲	8	GROUND MOUNTED UP LIGHT - FLOOD	VISTA GR-3019-Z-W-FL-M-LED
◀▶	20	TREE MOUNTED UP/DOWN LIGHT	VISTA TR-3013-Z-W-NF-M-LED
▲	8	GROUND MOUNTED UP LIGHT - SPOT	VISTA GR-3013-Z-W-SO-L8-LED



THE BEACH HOUSE
FORMERLY HOLIDAY INN OCEANFRONT
HILTON HEAD ISLAND, SC
AGRE NV HH PROPERTY OWNER LLC

Patrick Rooney Associates, Inc.
Land Planning • Landscape Architecture
843-681-4009
FAX 843-681-4029
P.O. Box 21297
Hilton Head Island, SC 29925

REVISIONS:

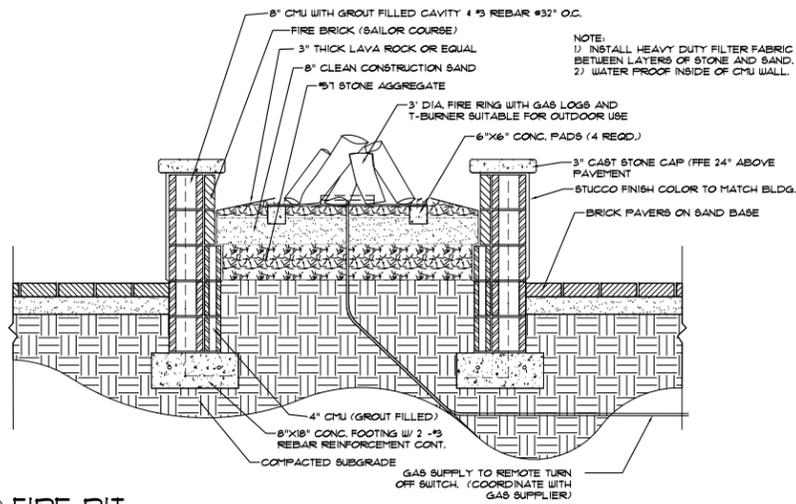
DATE	NO.	DESCRIPTION:

PROJECT NO:
10455-00
ISSUE DATE:
9/27/2013

DRAWN:
pmr
APPROVED:

LANDSCAPE PLAN

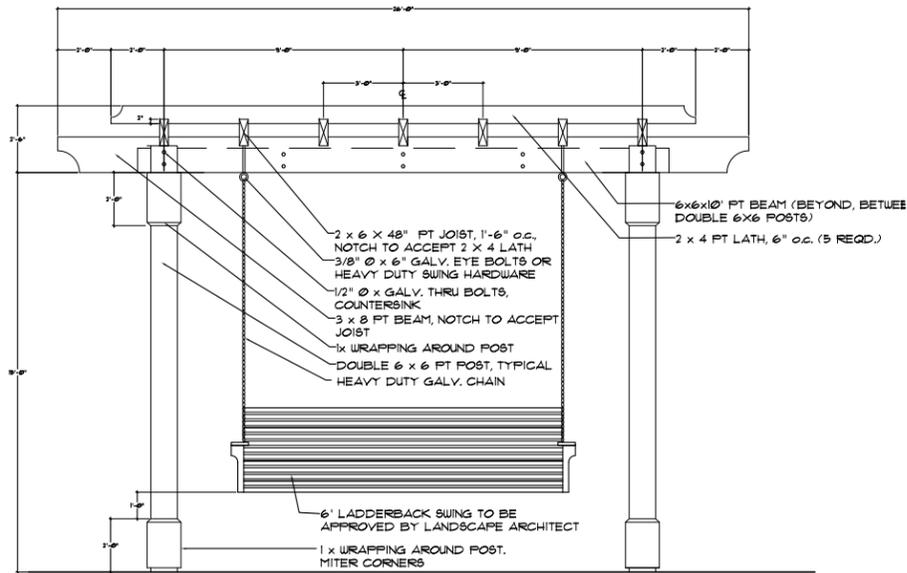
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Of 4



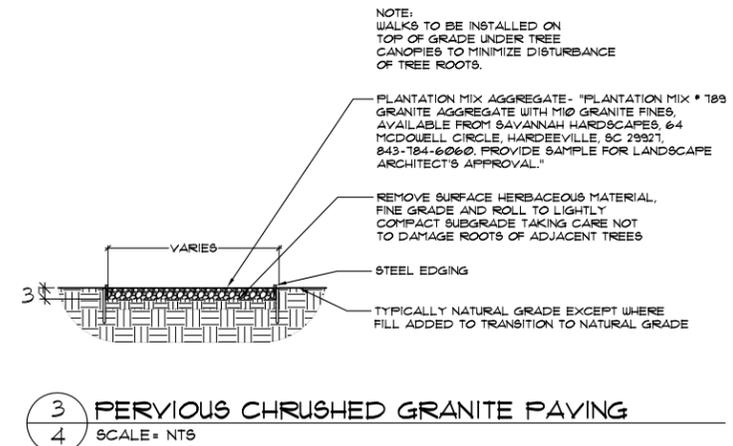
1 FIRE PIT
4 SCALE = NTS



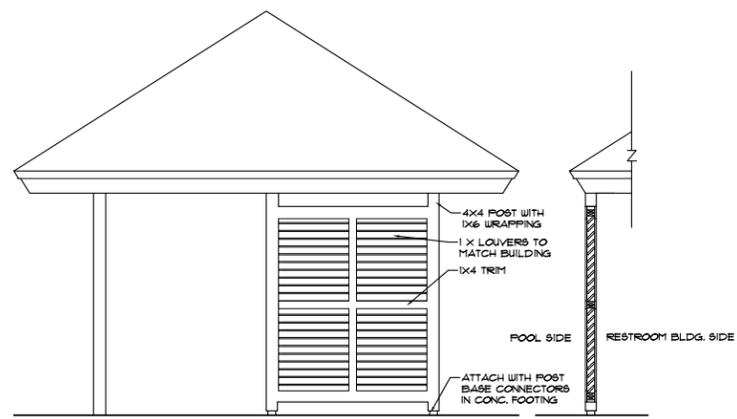
PROPOSED LANDSCAPE LIGHT



2 ARBOR/SWING
4 SCALE = NTS



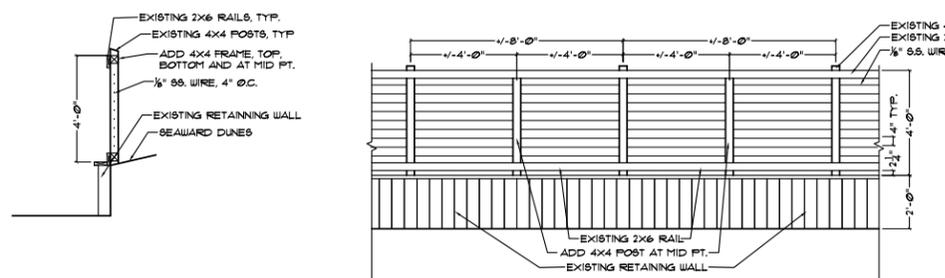
3 PERVIOUS CRUSHED GRANITE PAVING
4 SCALE = NTS



4 LOUVER PARTITION TO SCREEN RESTROOM OPENING
4 SCALE = NTS



EXISTING POOL HOUSE/RESTROOM BUILDING



5 CABLE RAIL FENCE (Oceanfront section only)
4 SCALE = NTS



EXISTING FENCE/RETAINING WALL

THE BEACH HOUSE
FORMERLY HOLIDAY INN OCEANFRONT
HILTON HEAD ISLAND, SC
AGRE NV HH PROPERTY OWNER LLC

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843-681-4009
FAX 843-681-4029

REVISIONS:	NO.	DESCRIPTION:
DATE:		

PROJECT NO:
10459-00

ISSUE DATE:
9/27/2012

DRAWN:
pmr

APPROVED:

Construction
Details

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Beach House – ALTERATION/ADDITION

DRB#: DR 130042

DATE: October 22, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

The owners of The Beach House propose some alterations to the property. Existing parking lot islands are proposed to be reconfigured to provide up to 4 additional parking spaces while decreasing overall impervious coverage for site.

Two pedestrian connections are proposed to link The Beach House to the TOHH's Coligny Beach Park. This will require separate approval from the TOHH Town Council as well as SCDOT.

Existing sand area and wood planters at the Tiki Hut are proposed to be replaced with granite screenings.

Outdoor dining area will be reconfigured with brick pavers & store-front windows will be converted to pull-down glass doors. Adjacent lawn/landscape area will be converted to granite screening surface. Applicant should reconsider removal of landscape areas without the replacement of additional landscaping in other areas.

The area around the kiddie pool will be reorganized to remove scattered shrubs, recondition sod, and add two arbor swings.

Pickets are proposed to be removed from ocean-front fence and converted to cable rail. Due to large number of existing fence types on site, applicant should reconsider changes to this fence section.

Louver screens are proposed to be added at Pool Restrooms. These louvers will be painted to match the building and will provide more privacy to the restrooms.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 10/29/13
 Accepted by: DH
 App. #: DR 130046
 Meeting Date: _____

Applicant/Agent Name: Roger Friedman Company: Broad Creek Marina of H. Head LLC
 Mailing Address: P.O. Box 21584 City: H. Head State: S.C. Zip: 29925
 Telephone: 843-681-3625 Fax: 843-689-9451 E-mail: FFCINT@aol.com
 Project Name: 21st Ave H. Head Project Address: 33 Broad Creek Marina Way
 Parcel Number [PIN]: R510 011 000 0379 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number

- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

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- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
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- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

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- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
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Alterations/Additions *and* Minor External Changes

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- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

Broad Creek Marina-Design Review Board

Broad Creek Marina is where ZipLine Hilton Head is located and is now planning the next phase of development, an aerial tree challenge course (See attached article "Tree-mendous" to see what it is. We have the opportunity space to provide another unique eco-tourism recreational activity. Currently there less than 20 aerial adventure parks in the United States however, they are very popular in Europe and will see a rapid growth in the United States. Recently, the San Diego Zoo opened one and we have an opportunity to be an early provider of this attraction . In addition this compliments the Zipline activity because it allow participants from the age of 5 years old as compared to the Zipline which has a minimum age requirement of 10. It will also have a much lower price point. Thus it will it will create a activity for the entire family. In addition, this activity is will be very attractive to Corporations for team building activities as well and should be an added attraction for conventions and regional businesses.

The planned activity will have 5 course with different 4 different levels of challenges. The course will have a single entry tower and each course will have ten events and will be connected to trees and telephone poles. The entry tower will be painted to match the zipline towers.

The platforms and challenges will be constructed of treated wood.

Broad Creek Marina-ZipLine Hilton Head

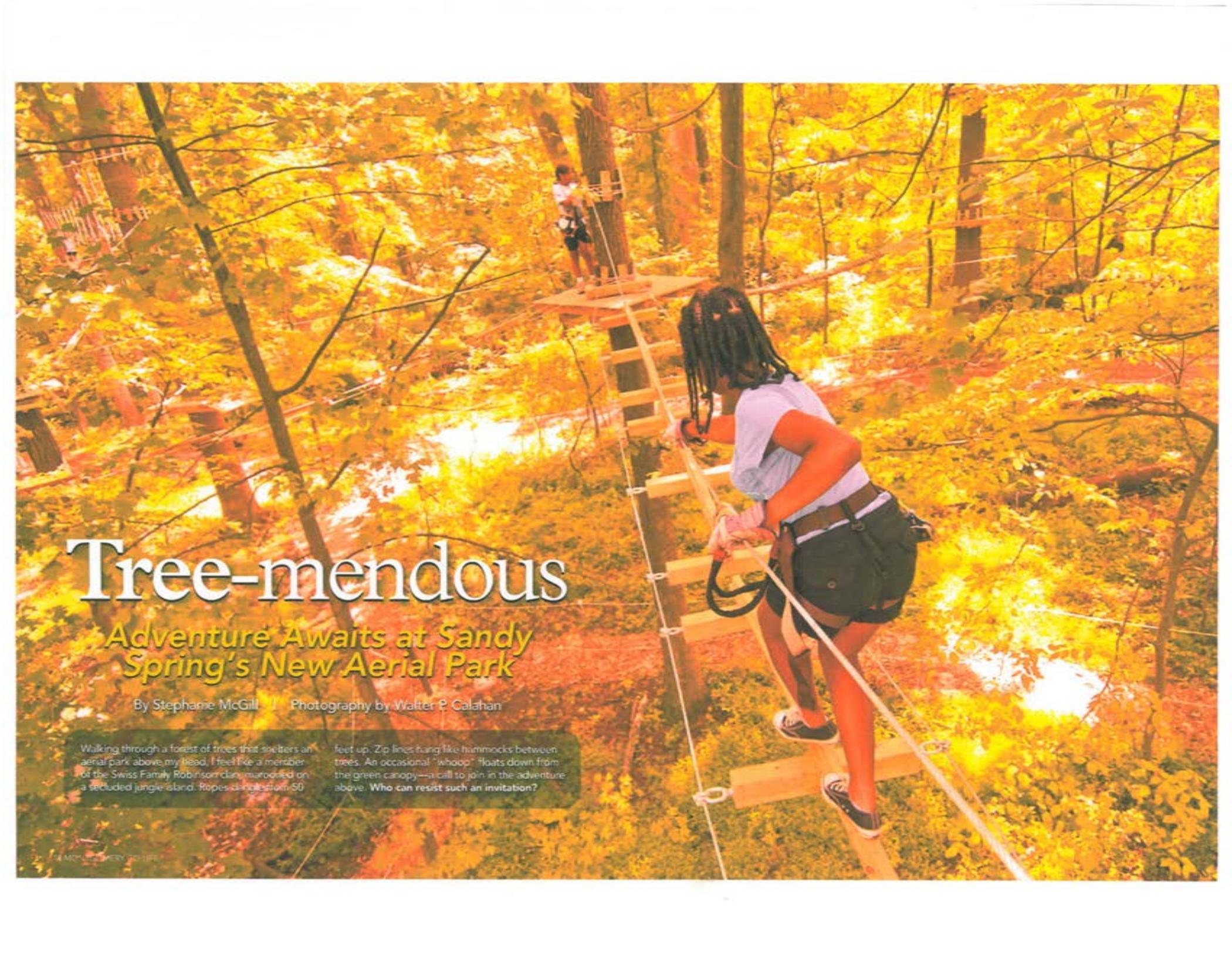
Aerial Adventure Course

1. Broad Creek Marina Site Plan- Aerial Adventure Course Location
 - A. Site Plan 8.5X11
2. Aerial Adventure Course lay out
3. Course Entry Tower
4. Pole Tower
5. Site Pictures





10.21.2013 09:36

A woman with long braids, wearing a light blue t-shirt and dark shorts, is climbing a wooden ladder that is part of an aerial park. She is wearing a safety harness and holding onto a rope. The ladder is suspended between trees. In the background, another person is visible on a platform. The forest is filled with trees with vibrant autumn foliage in shades of yellow, orange, and red. The scene is brightly lit, suggesting a sunny day.

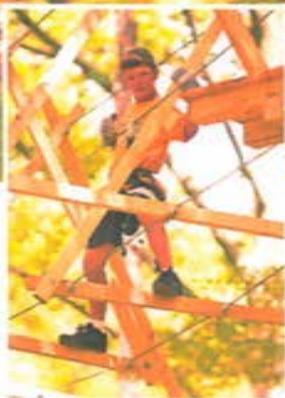
Tree-mendous

Adventure Awaits at Sandy Spring's New Aerial Park

By Stephanie McGill | Photography by Walter P. Calahan

Walking through a forest of trees that shelters an aerial park above my head, I feel like a member of the Swiss Family Robinson clan, marooned on a secluded jungle island. Ropes dangle from 50

feet up. Zip lines hang like hammocks between trees. An occasional "whoop" floats down from the green canopy—a call to join in the adventure above. Who can resist such an invitation?



Top: Each ropes course ends with a thrilling—and cooling—zip-line ride. **Above, middle:** Alec Boyle side steps. **Above:** Matthew Allen walks the plank.

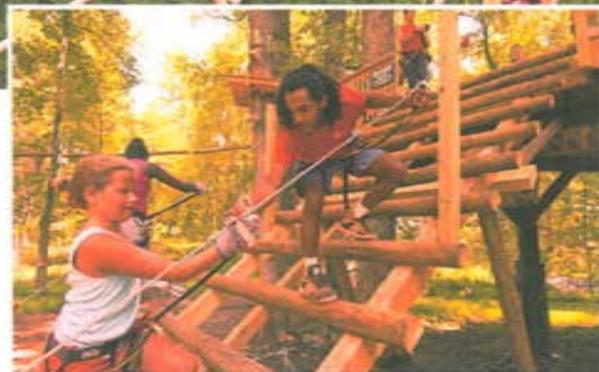
Since the North American introduction of this sport that is the stuff of childhood fantasies, rope climbing has become more and more popular, attracting experienced climbers and land-lovers alike. The Sandy Spring chapter of this story—the recent construction of the largest aerial forest adventure park in North America on the grounds of Sandy Spring Friends School—actually began in Switzerland. Bahman Azarm was there attending a school reunion with his family when his daughter, who had never cared much for outdoor sports, discovered an unlikely passion in the land of ski slopes: rope climbing. The story winds up from there. Azarm's Connecticut-based construction company, Outdoor Ventures, started building obstacle ropes courses on the East Coast, and it recently completed its most ambitious project yet: the five-acre aerial

adventure park owned and operated by Sandy Spring Friends School, which opened in late July.

Ben Samuels, park manager, sits beneath a white canopy about two hundred feet away from the aerial park and explains that Sandy Spring Friends School's Adventure Park imitates some of the finest aerial parks in Germany, Switzerland and France. It is actually a ropes course hybrid; aerial parks lack the traditional structure of ropes courses, giving climbers greater freedom and opportunity for self-exploration. The Sandy Spring Adventure Park offers 10 ropes obstacle courses—from low to high ropes—and is distinguished as one of the few North American ropes parks designed and built by Bahman Azarm's Outdoor Ventures. "It is one of the biggest aerial forest parks in the world," Samuels says.



"It is one of the biggest aerial forest parks in the world ..."



Top: Soshana Bandlur walks away from the central deck on the green trail. **Above:** Instructor Chad Henry helps Brooke Alden with her safety hook.

Such an enthralling attraction resides in a quiet spot, one owned by the Quaker community at Sandy Spring Friends School. For Bill Mena, director of auxiliary programs at the school, the aerial park is an environmentally friendly use of the forest that gives students an opportunity to practice the traditional Quaker principles of peace, integrity

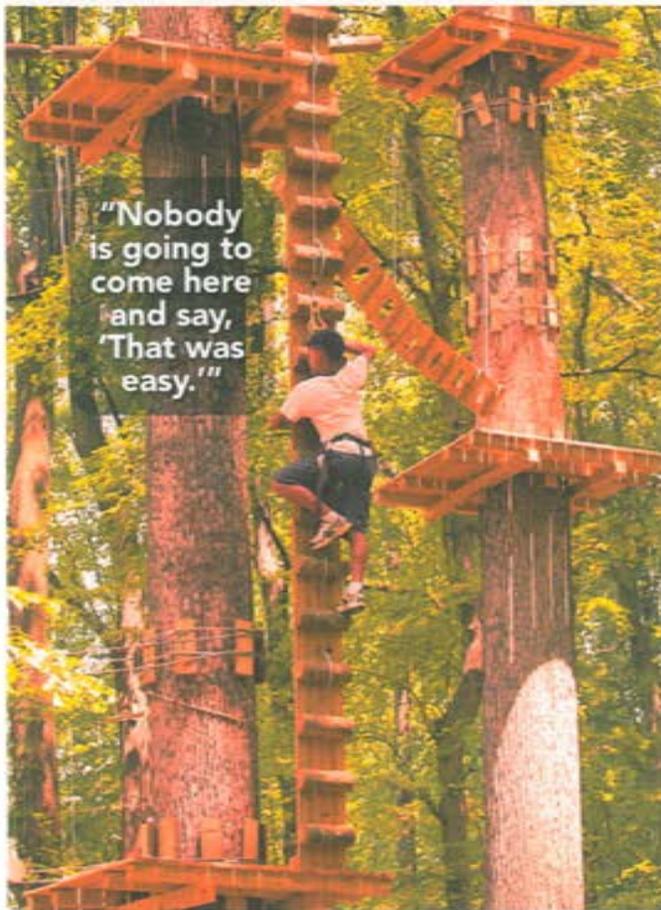
and stewardship. In many communities—from private and public schools to businesses and behavioral treatment facilities—rope climbing has gained a reputation as a character-building sport. "For corporate team building, it's really about communication and building trust," Samuels says. "It's like the trust fall."

When Samuels, a leather-tanned man in his mid-thirties, speaks about the park, his eyes light with excitement and his voice quickens with enthusiasm. He has been climbing since he was 15, feeding his appetite for outdoor adventure and his love for protecting the environment, and he now might be considered a ropes obstacle course expert. He points out that, contrary to popular belief, aerial parks are designed to preserve the integrity of wooded areas—and not to destroy them. Rather than drill cable holes into the trees, builders at The Sandy Spring Adventure Park wrapped cables around the trees, and they cut down harmful vines that were lettered around trunks, strangling trees' growth. Gerhard Komenda, one of only a few bio-dynamic foresters in the world, consulted with builders on the safest way to construct the park without harming the forest.



IN THE SWING OF THINGS

Before venturing on the course, Samuels instructs me on routine safety procedures. Each climber is equipped with a harness, two lanyard clips and a zip line pulley. "The main safety rule in the park is to always stay clipped in," Samuels says. Standard procedure dictates that before climbers ascend to the upper levels, such as the blue or the black diamond levels, they must first complete the yellow or green course. Sandy Spring Adventure Park will soon be the first to install German-manufactured locks that prevent climbers from un-clipping both lanyards at once.



"Nobody is going to come here and say, 'That was easy.'"

Obstacles vary in difficulty on each course, according to level. Beginners on the yellow course, the easiest in the park, are confronted with 12 obstacles constructed of logs, planks and barrels. On any other East Coast ropes course, yellow would be considered a challenge—but not at Sandy Spring Adventure Park. Here, the most difficult course is the double black diamond, whose highest platform sits at 50 feet above the ground. Those brave enough to attempt this course find themselves balancing on wooden disks that hang from the bottom of ropes and scaling up nets on all fours. According to Samuels, so far only a few people have been able to complete the double black diamond course. "You're really going to be challenged," Samuels says about the high-wire course. "Nobody is going to come here and say, 'That was easy.'"

Embarking on the green course for my first climb, I am informed that for beginners, this is an "adventurous" move. As I begin the course by grasping my way up the bars on a wooden ladder, I repeat to myself the instructions: "Click—hook the first lanyard onto the marked red point on the cables. Then—click—repeat this step with the second lanyard, and don't look down." So I look around me instead. I'm standing next to tulip poplars, oaks and maples whose tops

touch the sky as wispy clouds weave in and out from behind clusters of sun-kissed green leaves. Peaceful yet exhilarating, this grand view gives me the illusion that I'm on top of the world when in reality, I'm standing stiffly on a lumber platform.

Though the course might have you hanging onto your lanyards for dear life, you're safe as long as your harness is secure and your lanyards are clipped onto the red tape marked along the cables. Samuels admits, however, that like all sports, rope climbing comes with its own inherent risks. "We take a lot of risks in our lives for granted," he says. "People die from their cars, and rope climbing is the same as a lot of life-and-death situations." Statistically, someone who pioneers his or her way through a ropes course is choosing a safer route than an athlete who plays school sports on a regular basis. When Samuels tells me these things, he speaks as an experienced climber who admits he isn't afraid of climbing even the highest obstacle in the park. But it's difficult to disengage from doubt and fear when you're not accustomed to heights and stand suspended on a wooden log 30 feet from the ground.

Unlike many ropes courses, Sandy Spring Adventure Park allows climbers to conquer the course without hands-on supervision from an instructor. Samuels explains that an unguided ropes course allows climbers to grapple their way down through nets and across tightropes using their own mental strength. But there's always a safety net below: attentive park staffers who wait to rescue any climber who loses his or her nerve.

A zip line marks the end of the course, carrying me to solid ground where a

group of middle school girls wait to take their turns in the heights. What awaits them is an adventure taken straight from the pages of a childhood storybook, one whose end never satisfies you and only leaves you thirsting for more. Later as I drive away from the park, I grip my steering wheel with renewed self-confidence as along the roadside I pass telephone cables that slope in like zip lines. They seem to be calling to me. "Turn around," they seem to cry. "The adventure is back there!"



Facing page, top: Alec Boyle has the blue trail pegged. Facing page, bottom: The more challenging trails have multiple levels that reach very high into the trees. Above: Each ropes course presents different obstacles.

Join the High-Wire Act

Where: Sandy Spring Friends School, 16923 Norwood Road, Sandy Spring. Entrance to Sandy Spring Adventure Park is through the green gates between the main school entrance and the Park Police property.

When: Open daily through Sept. 10, and then Saturdays and Sundays only from Sept. 11 through Nov. 30. Hours are 9 a.m. to 8 p.m., weather and daylight permitting. Tickets are valid for 3 hours, and ticket sales end at 6 p.m.

Course requirements: For ages 8 and up and individuals weighing no more than 275 lbs.

Clothing: Wear well-fitting attire that won't tangle in cables or ropes, and tie back long hair. Sneakers or hiking shoes are required.

Tickets: Individual and group admission prices are available. For groups of 15 or more, call to make advance reservations.

More information: Visit www.sandyspringadventurepark.org or call 240-389-4FUN.

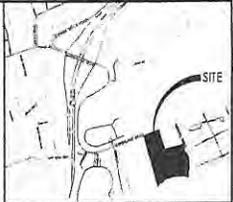
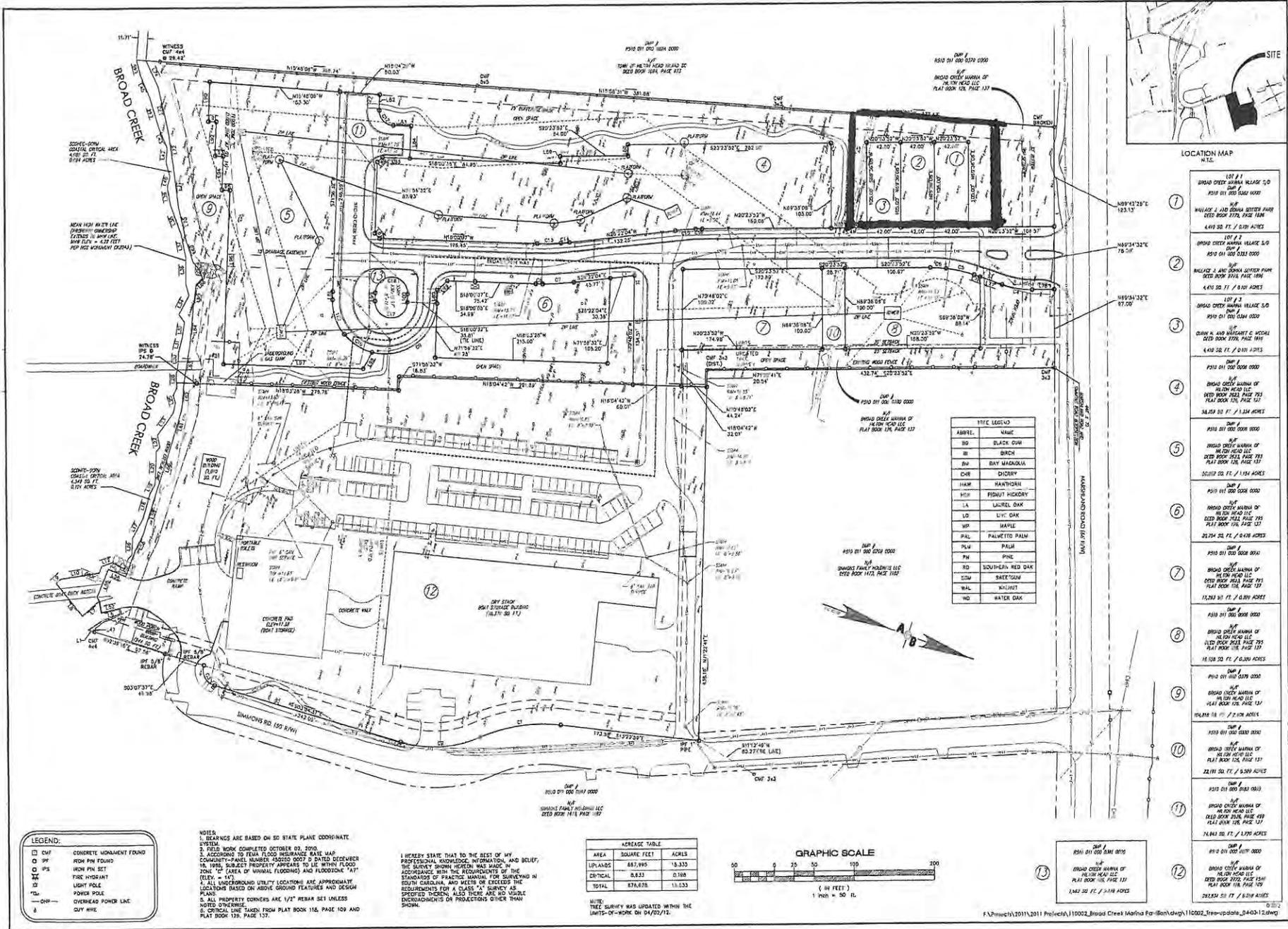












LOCATION MAP
N.T.C.

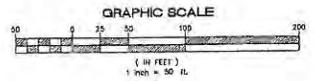
- 1 BROAD CREEK MARINA RELEASE S/D
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- 2 BROAD CREEK MARINA RELEASE S/D
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- 11 BROAD CREEK MARINA RELEASE S/D
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4.610 SQ. FT. / 0.104 ACRES
- 12 BROAD CREEK MARINA RELEASE S/D
P&S 01 000 0000 0000
4.610 SQ. FT. / 0.104 ACRES

TYPE LEGEND

ABBREV.	NAME
BD	BLACK OAK
B	BIRCH
BM	BAY MADONNA
DBR	DOGWOOD
HAW	HAWTHORN
HR	HORSEWOOD
LA	LAUREL OAK
LD	LIVE OAK
MP	MAPLE
PA	PALMETTO PALM
PLM	PALM
PN	PECAN
NO	NOYALRED OAK
CM	CANE
SH	SHREVE OAK
WAL	WALNUT
WD	WATER OAK

ACREAGE TABLE

AREA	SQUARE FEET	ACRES
UPLANDS	687,895	15.333
CRITICAL	8,833	0.198
TOTAL	696,728	15.531



LEGEND:

- ☐ CWF CONCRETE MONUMENT FOUND
- HP HIGH PINE FOUND
- HP HIGH PINE SET
- TIRE HYDRANT
- LIGHT POLE
- POWER POLE
- OVERHEAD POWER LINE
- CWF WIRE

NOTES:
 1. BEARINGS ARE BASED ON SD STATE PLANE COORDINATE SYSTEM.
 2. TREE WORK COMPLETE BY 08/20/11.
 3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 45007 DATED DECEMBER 16, 1988, SUBJECT PROPERTY APPEARS TO BE WITHIN FLOOD ZONE 10 (AREA OF MINIMAL FLOODING AND FLOODING "A1" (ELEV. + 14').
 4. APPROXIMATE TREE LOCATIONS ARE APPROXIMATELY LOCATIONS BASED ON ABOVE GROUND FEATURES AND DESIGN PLAN.
 5. ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS NOTED OTHERWISE.
 6. CRITICAL LINE TAKEN FROM PLAT BOOK 116, PAGE 109 AND PLAT BOOK 129, PAGE 137.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND WITHIN OR EXCESS OF THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO USABLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.

PLAN REVISIONS

NO.	DESCRIPTION	DATE
1	INCREASED TREE SURVEY AREA	05/02/11
2		
3		
4		
5		
6		
7		
8		

THESE AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF ANDREW BURGESS INC. NO PART OF THESE DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR WRITTEN CONSENT.

Andrews & Burgess Inc.
 Engineering & Surveying

1714 Shawhan Road
 Beaufort, NC 28520
 252-753-6666
 Fax: 252-753-6666

BOUNDARY, TREE AND ASBUILT SURVEY
 Proposed For
 BROAD CREEK MARINA
 of HILTON HEAD, ILLC

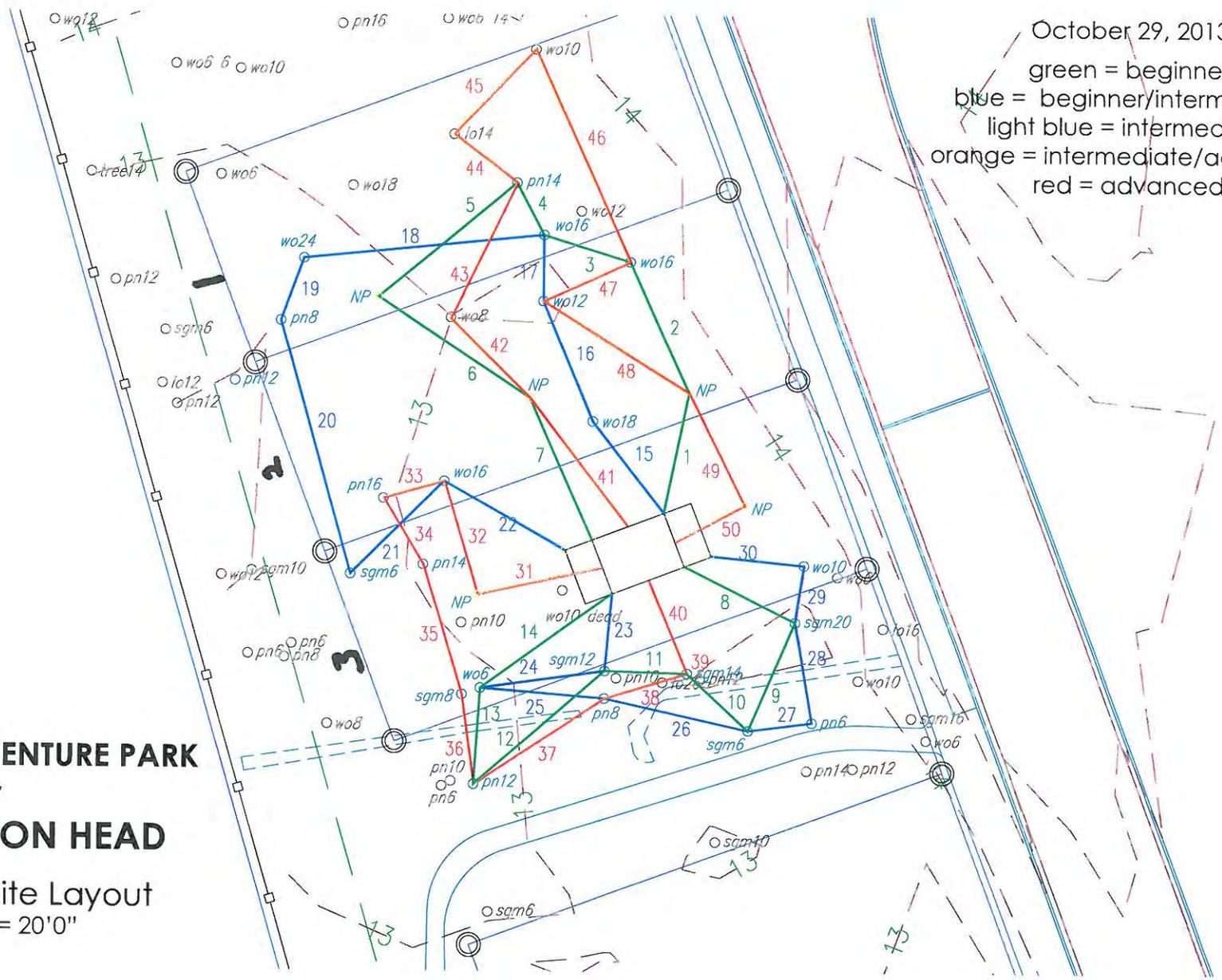
BROAD CREEK MARINA VILLAGE
 TOWN OF HILTON HEAD ISLAND
 BEAUFORT COUNTY, SC

Date Drawn: 03/11/11
 Last Revised: 04/05/12
 Drawn By: H. Bickel
 Engineer: G. Burgess

SHEET #:
 1 of 2
 JOB: 110002

An AERIAL ADVENTURE PARK for ZIPLINE HILTON HEAD

Preliminary Site Layout
scale : 1" = 20'0"



October 29, 2013
green = beginner
blue = beginner/intermediate
light blue = intermediate
orange = intermediate/advanced
red = advanced

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: ZipLine Hilton Head – ALTERATION/ADDITION

DRB#: DR 130046

DATE: November 12, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

Broad Creek Marina, home to ZipLine Hilton Head, proposes to install an aerial tree challenge course to provide “another unique eco-tourism recreational activity.” The course will have a single entry tower which will be painted to match the zipline towers. The platforms and challenges will be constructed of treated wood.



Town of Hilton Head Island
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 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Don Baker, AIA Company: Square Feet Island Architects
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip: 29928
 Telephone: 290 6666 Fax: _____ E-mail: don@squarefeethi.com
 Project Name: Aunt Chiladas Project Address: 60 Pope Avenue
 Parcel Number [PIN]: R5 5 2 0 1 8 0 0 0 2 0 2 B 0 0 0 0
 Zoning District: CCW Overlay District(s): _____

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Project Category:

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I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

29 OCT 2013

DATE



Narrative: Aunt Chilada's & A New Seafood Restaurant

▪ A SHORT HISTORY AND PROPERTY DESCRIPTION

Located at 69 Pope Avenue in Hilton Head's CCW district, the subject property was originally developed in 1977 and operated as a Western Sizzler. The building was typical of the steak house of that era with its low slung, low slope roof and brick foundation. In 1988 the facility was purchased and converted to Aunt Chilada's Easy Street Café. The building was given a more Mexican theme with stucco finish, cast columns supporting large arches, a 22 feet tall bell tower, highlighting an antique, arched-top wood door. Improvements to the property since 1988 have been primarily functional. The north and west perimeter of the property are still screened by native oak, myrtle, and pine trees.

The building is 6,736 square feet, consisting of a 16 seat bar with 16 surrounding tables. The dining room seats approximately 100. There are no outdoor facilities other than a five tables at the main entrance.

▪ PROJECT GOALS

As the island has been changing, it is now time to make improvements to the facility. All the improvements to the project are designed to comply with the regulations on Hilton Head Project. Some of the improvements are proposed to make the facility more attractive to guests and Islanders, and to make the restaurant more viable in the Coligny Walking District.

Some of the proposed improvements are overdue, such as upgrading the quality and quantity of landscaping and pervious grade finishes. Presently the site does not meet HHI LMO requirements of pervious/impervious conditions. The proposed plans include upgrades to the site to meet LMO criteria. There is no intention to remove the 3 large oak trees; the palms that can be transplanted will be.

Many of the changes will be aesthetic as described below.

▪ PROJECT DESCRIPTION

The dining opportunity will be divided so the customer will have these choices:

1. The current indoor Mexican restaurant
2. A new outdoor serving area for the above, to be located in front on the Pope Avenue side.
3. A new indoor seafood restaurant
4. A new outdoor serving area for the above, to be located in the rear of the site.

▪ DETAILS

MEXICAN RESTAURANT INDOORS

- (Minor changes proposed)

MEXICAN RESTAURANT OUTDOORS



A serving bar, capacity 18, will be added. It will be under a 390 s.f. roof which will be an extension of the existing. The roof will be supported by stucco finished columns designed to match the building. There will be inverse-arch short wall infill between the columns; the infill is designed to be a variation of the arch top windows at the west and south walls. The 'floor' finish will be brushed concrete with heavy wood insets. This is all to be located behind front setback of the property. In the CCW setback, we propose a 550 sf pressure treated wood deck over pervious soils with a planter of seasonal varieties located at the Pope Avenue side of the wall described above. To facilitate the new decking, the existing sign will be located to the front corner of the setback at the approach side of Pope Avenue. The large trees will be protected during construction; and new floor finishes will not intrude on their roots. The front area will also be enhanced with additional plantings appropriate to the location.

Patrons will approach the new area from the existing tower by a new path with dense plantings with some Mexican theme, but still common to our area, such as yucca, and prickly pear cactus, and intermixed with windmill palms, and variegated shell ginger.

NEW INDOOR SEAFOOD RESTAURANT

The existing Dining Room (building north) will become a new seafood restaurant. The existing exterior will be completely gutted of its stucco, Mexican columns, arches and too-tall parapet. It will be replaced with board and batten siding, standing seam metal roofing elements with the same 2/12 slope as the front of the building, with shutters, other elements, and a range of colors belonging in the Hilton Head Lowcountry. (Colors will also be changed at Aunt Chilada's to make this all blend.) The uncomfortable west facing windows will have shutters placed over them, the transoms above will be maintained. The entry will have a human-scale gable roof over it.

A NEW OUTDOOR SERVING AREA FOR THE SEAFOOD

At the northwest corner of the building, a new outdoor dining experience is proposed. It is positioned so that its presence is visible to cars coming in the driveway from Pope Avenue. This south side facing Pope and the west side will have a perimeter wainscot of 1x 6 with an inscribed fish profile, punctuated by round drums fabricated to look like Intercoastal Waterway daymarkers. At the ends of these walls wainscot will be vertical steel pilasters measuring 21"r x 8' tall. The north and east elevations will be 8' tall walls consisting of prefinished metal siding with patterned wood fish scale siding above. About 725 sf of standing seam metal roof mentioned above will continue over the rear (east) end so that half of the outside dining is covered. The floor will be finished with permeable pavers set into area of brushed concrete.

Submitted by

A handwritten signature in blue ink, appearing to read "Dan Baker". The signature is fluid and cursive, written over a light blue horizontal line.



Don Baker, AIA
Square Feet Island Architects





Front View as Seen from Pope Avenue



Left View as Seen from Parking
(Will totally change)



Left front



Pope Avenue Sign (Relocate)



Left-mid



Entry tower (No change)

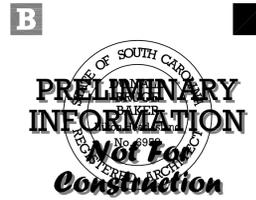


Composite Left View as Seen from Parking
(The arched area at left will be replaced)



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Improvements to:
Aunt Chiladas
69 Pope Avenue
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Hilton Head Island, SC 29928
PIN R552 018 000 202B 0000

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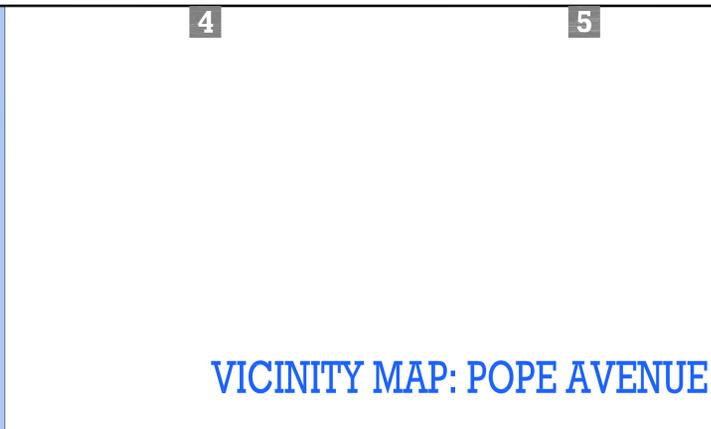
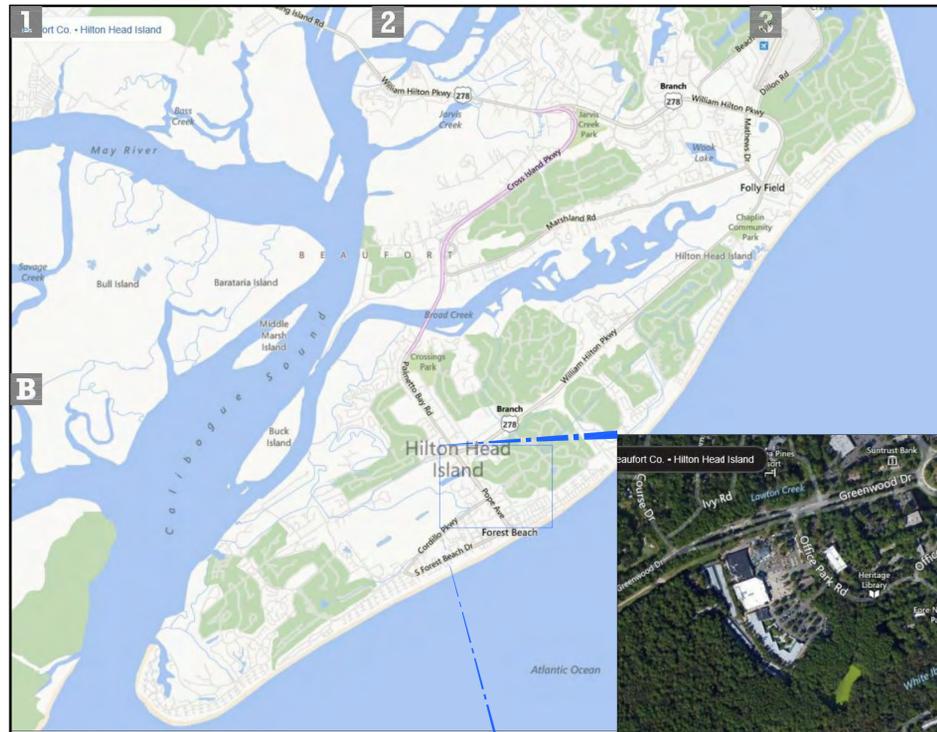
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Issue Date 28 OCT 2013
Issuance

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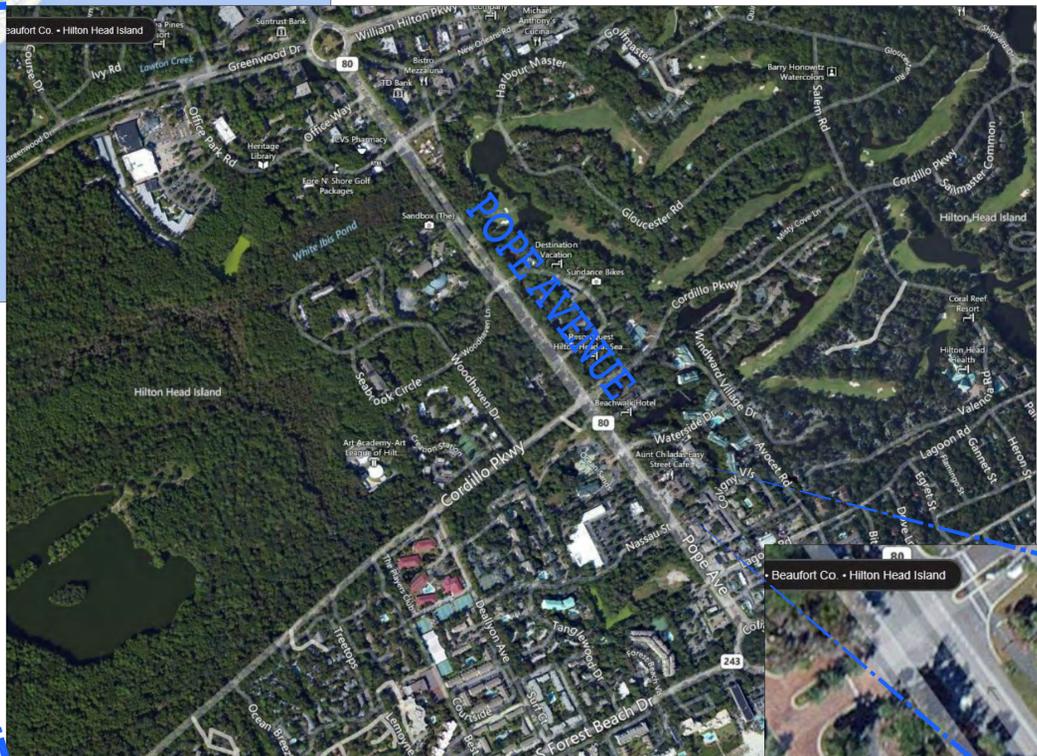
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PICTURES OF EXISTING

All pictures were taken Sept-Oct, 2013

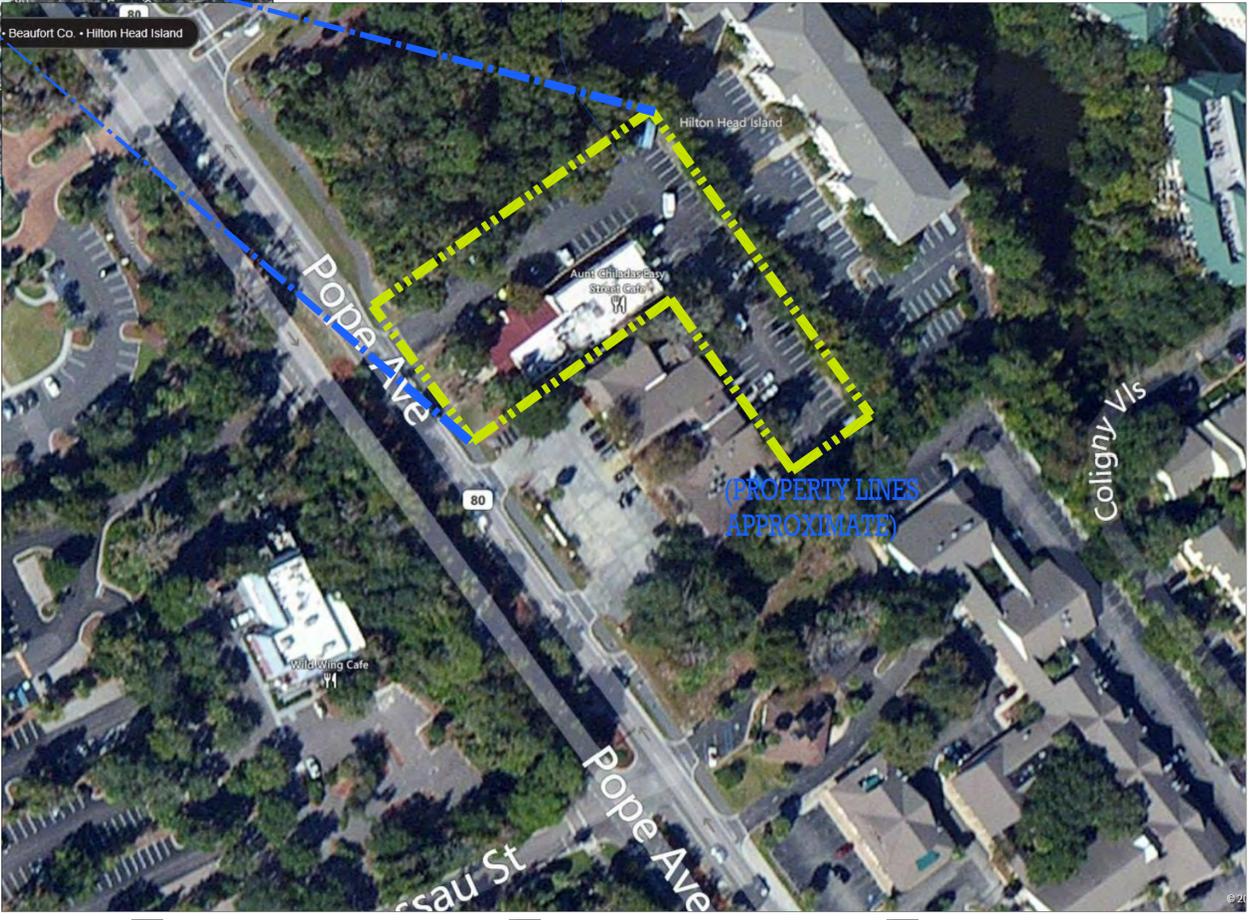
SHEET
PICTURES
OF EXISTING



VICINITY MAP: POPE AVENUE



SUBJECT PROPERTY



(PROPERTY LINES APPROXIMATE)



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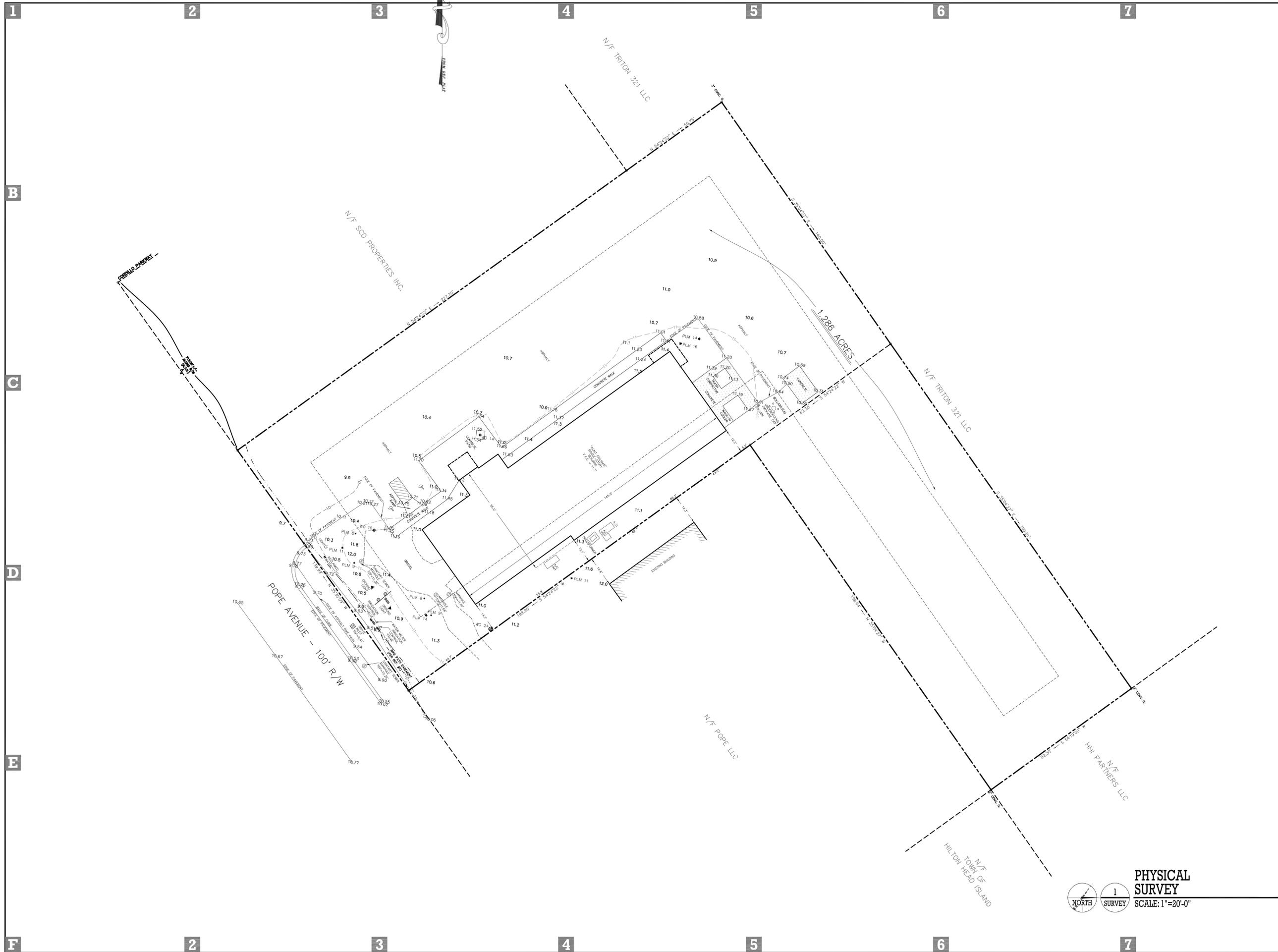
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Sheet Title:
 PROJECT LOCATION MAP



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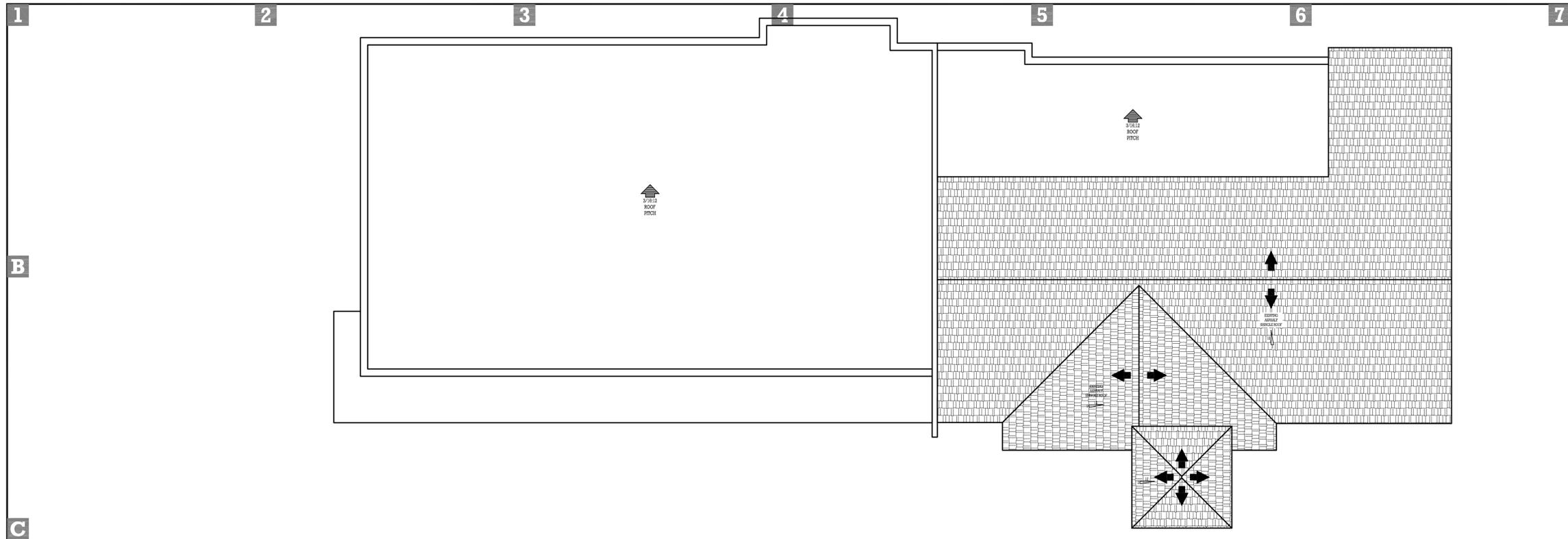
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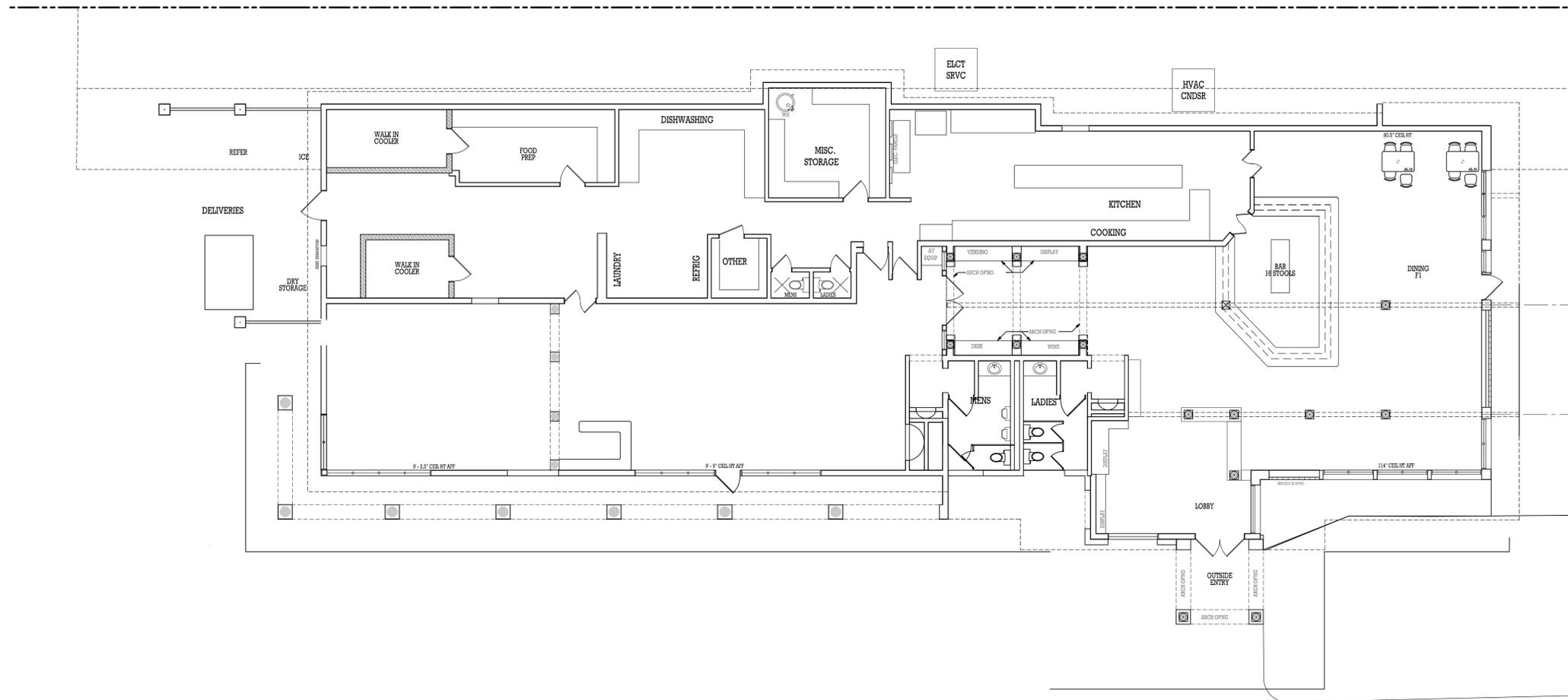
Sheet Title:
 PHYSICAL SURVEY

PHYSICAL SURVEY
 SCALE: 1"=20'-0"

SHEET
SURVEY



EXISTING ROOF PLAN
 SCALE: 1/8"=1'-0"



EXISTING FLOOR PLAN
 SCALE: 1/8"=1'-0"



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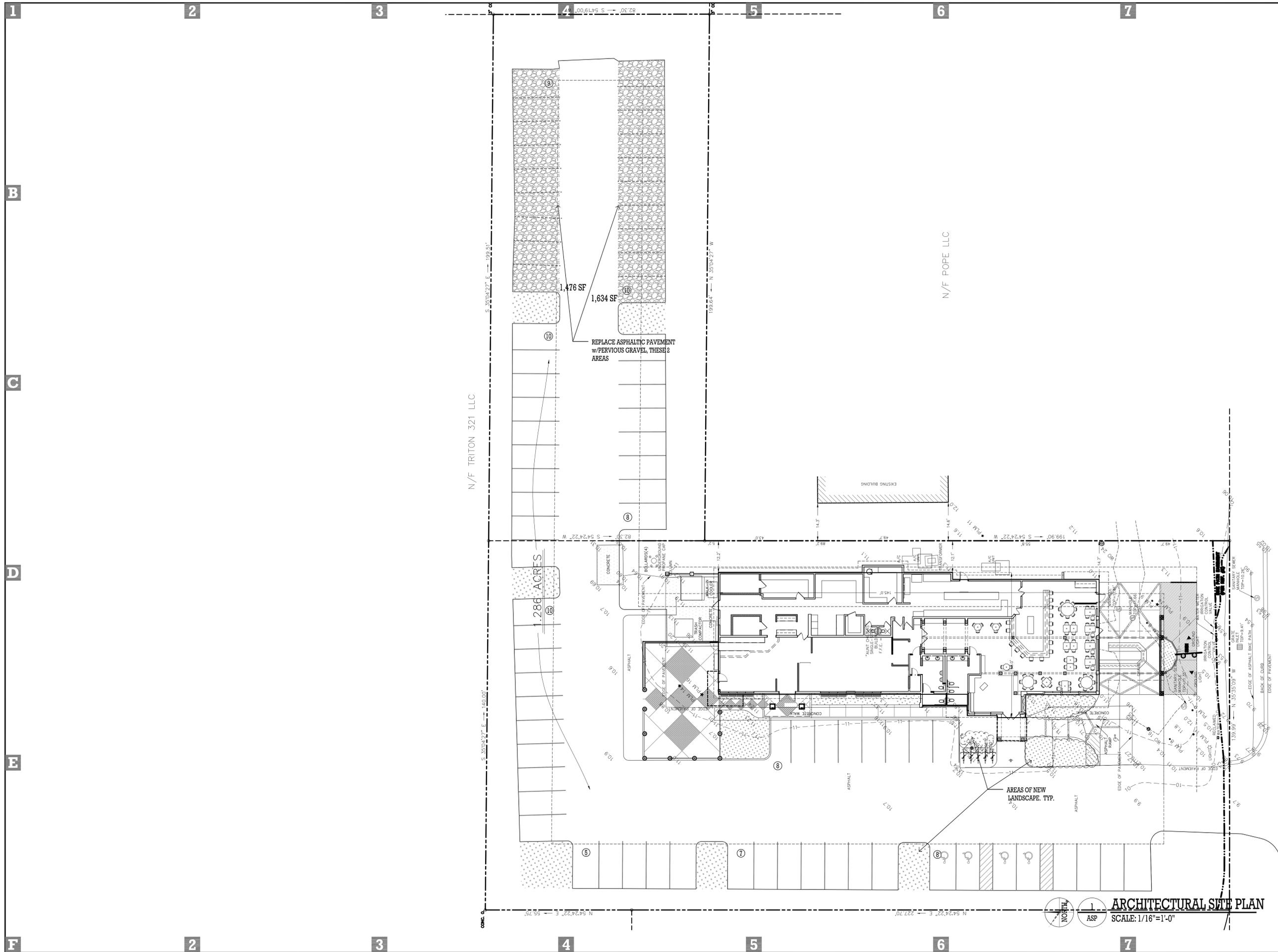
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Sheet Title:
 PLANS



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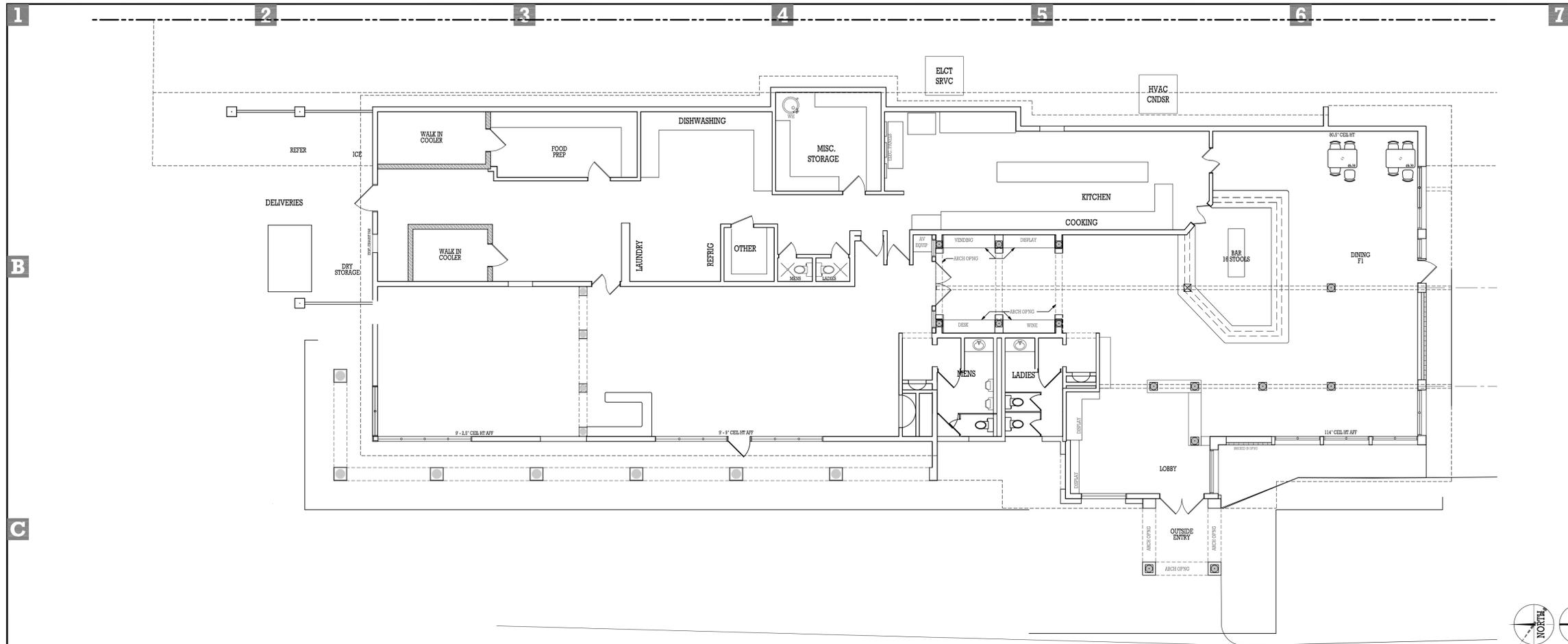
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1 ARCHITECTURAL SITE PLAN
 ASP SCALE: 1/16"=1'-0"

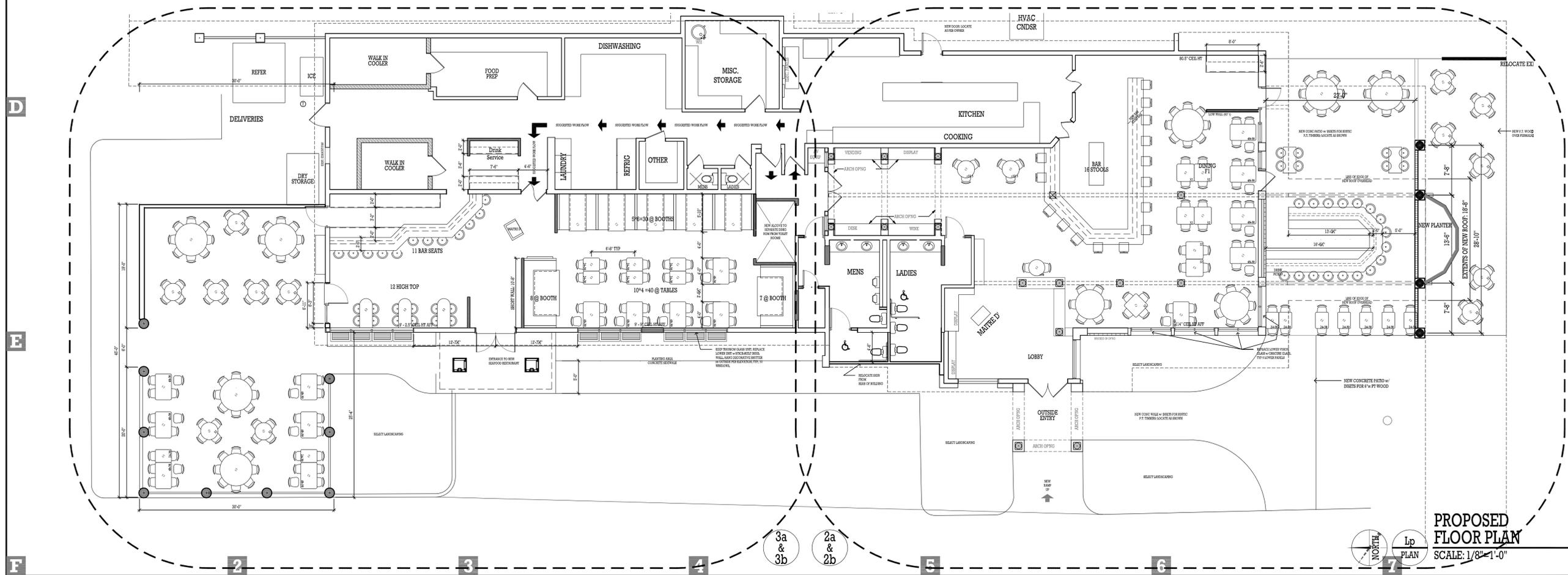
SHEET
ASP



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EXISTING FLOOR PLAN
 SCALE: 1/8"=1'-0"



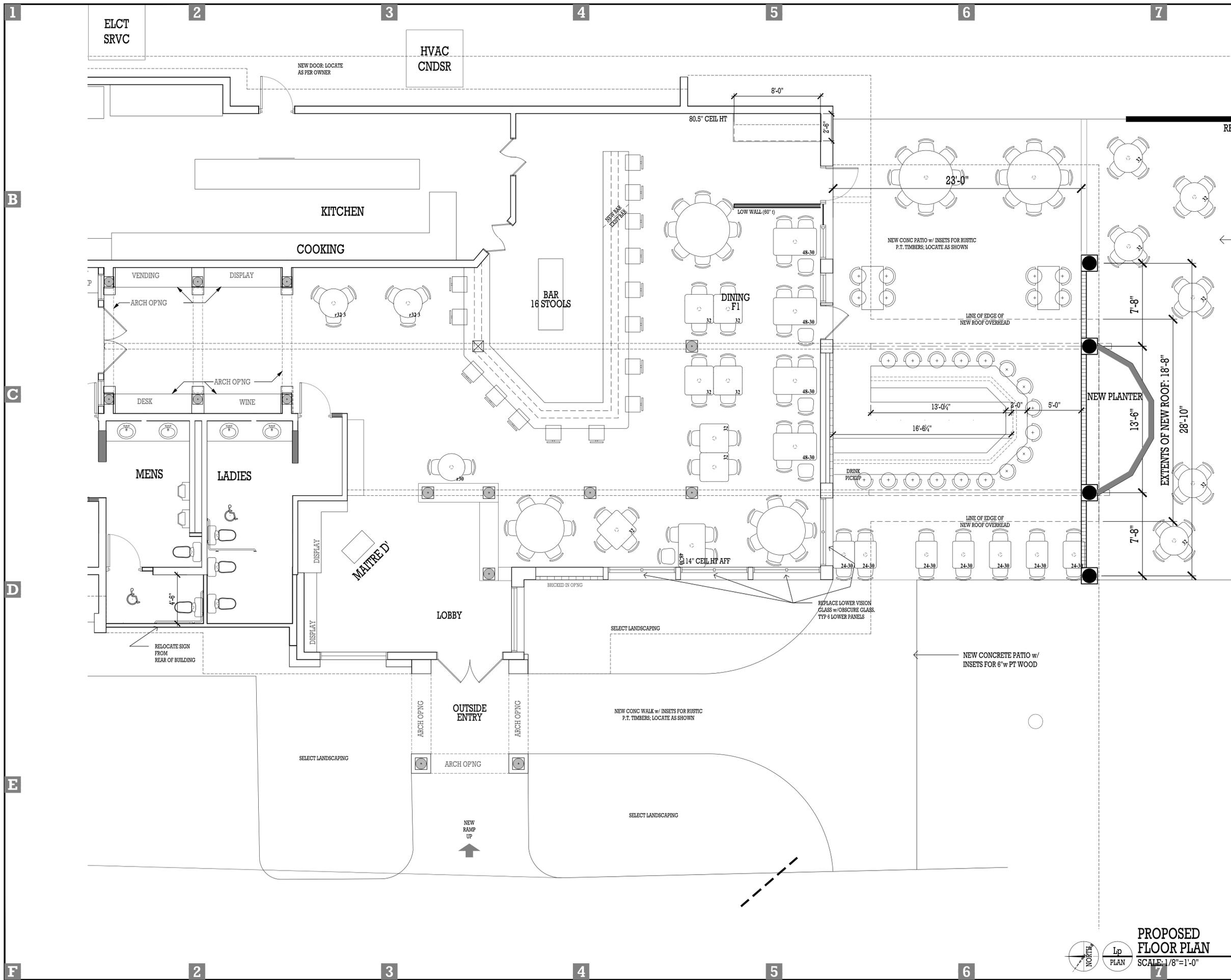
PROPOSED FLOOR PLAN
 SCALE: 1/8"=1'-0"

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Sheet Title:
 EXISTING & NEW FLOOR PLANS



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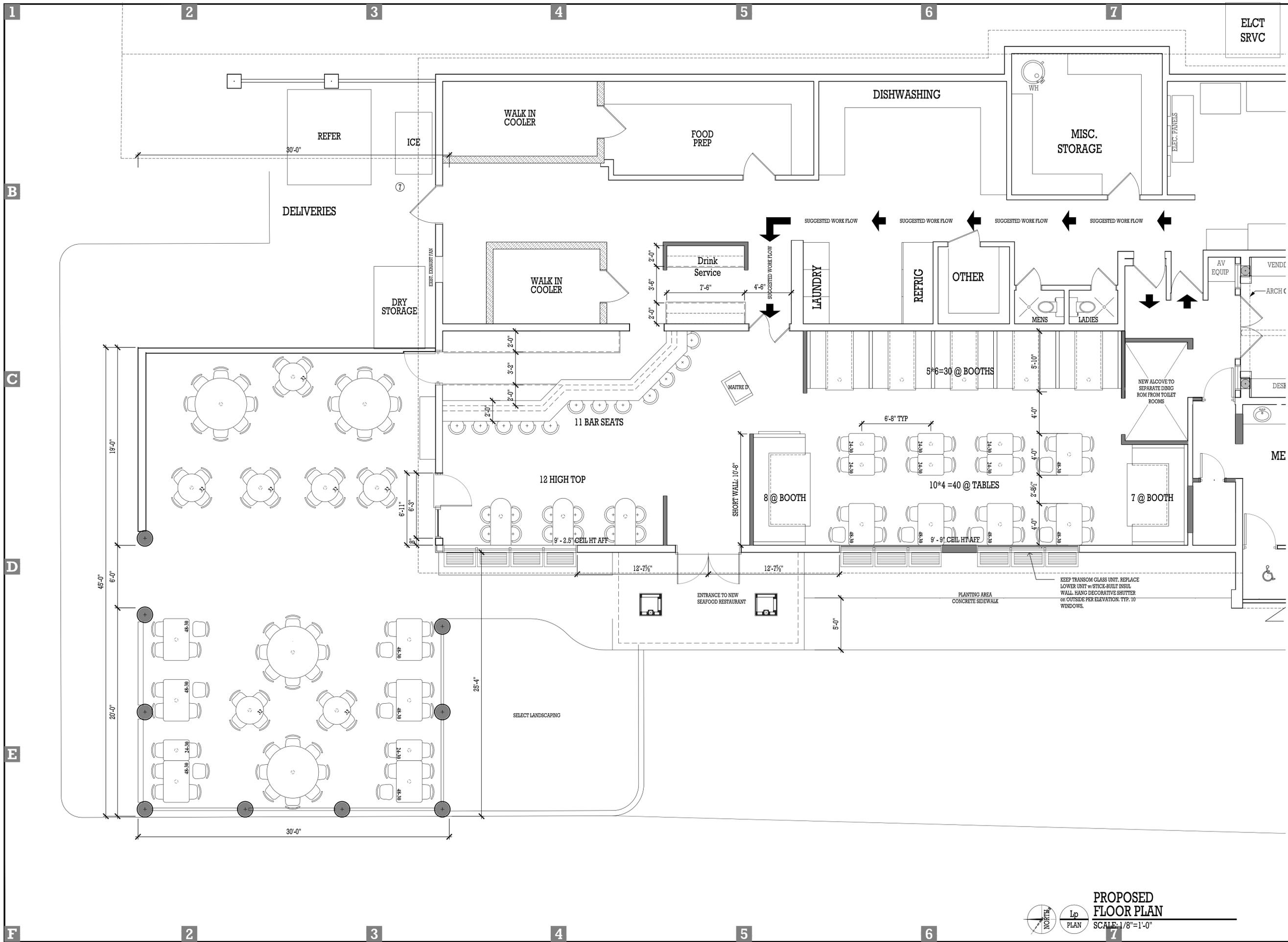
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Sheet Title:
 ENLARGED LAYOUT PLAN:
 AUNT CHILADAS

PROPOSED FLOOR PLAN
 SCALE: 1/8"=1'-0"

SHEET
PLAN 2a



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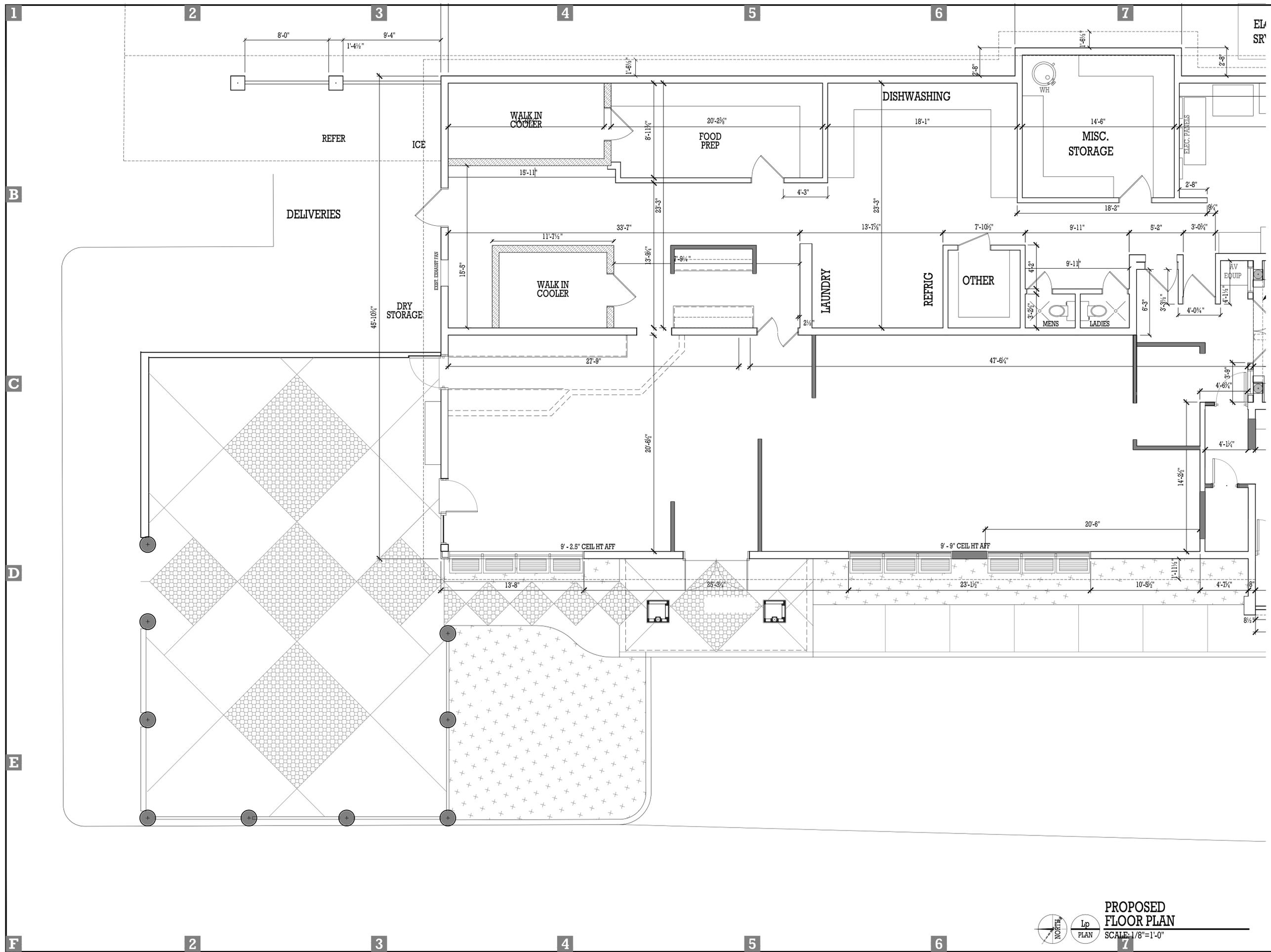
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Sheet Title:
 ENLARGED LAYOUT PLAN:
 GULF STREAM

PROPOSED FLOOR PLAN
 SCALE: 1/8"=1'-0"

SHEET
PLAN 3a



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Sheet Title:
 OUTDOOR GRADE FINISHES:
 GULF STREAM

PROPOSED FLOOR PLAN
 SCALE: 1/8"=1'-0"

SHEET
PLAN 3b



Rx
PLAN
EXISTING ROOF PLAN
SCALE: 1/8"=1'-0"

Rp
PLAN
PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"



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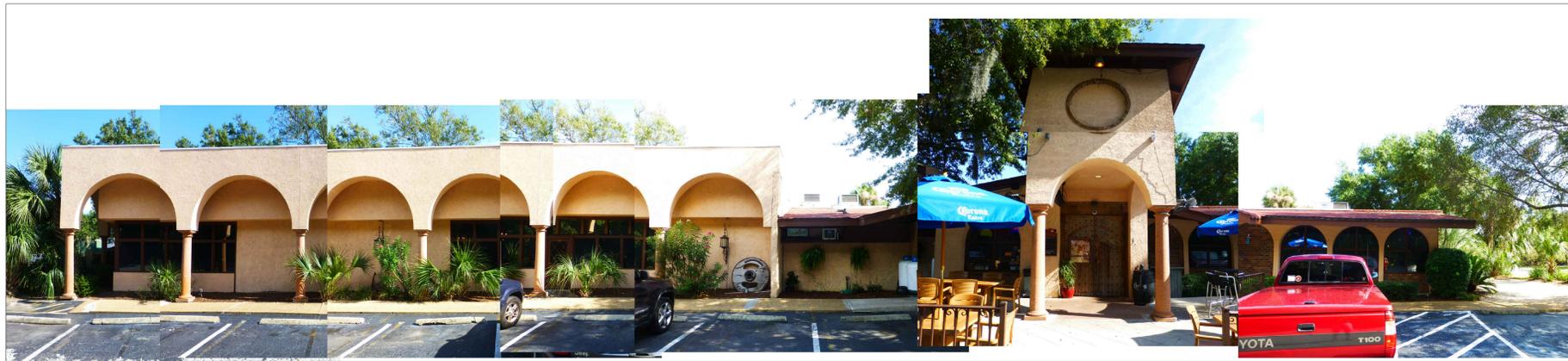
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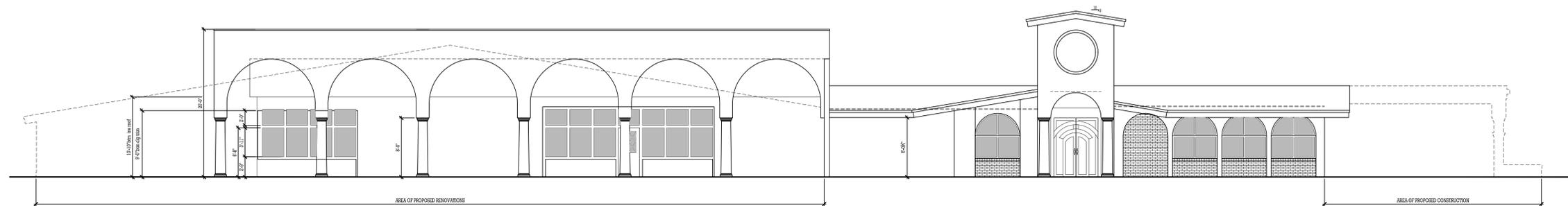
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ROOF PLANS

SHEET
PLAN 4

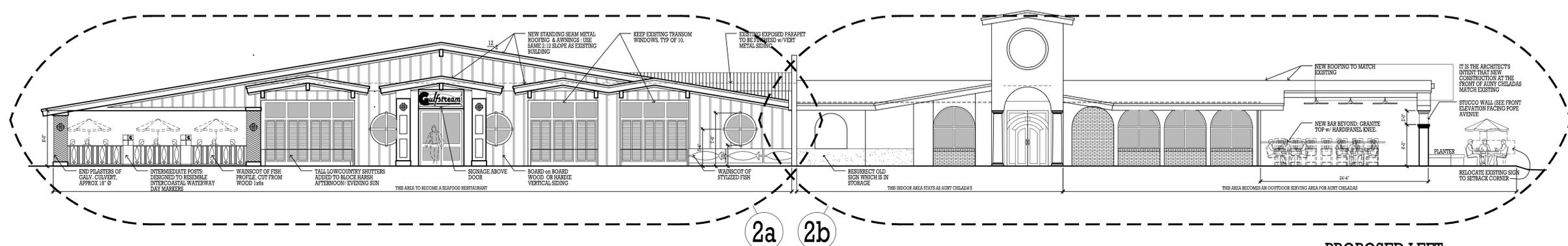
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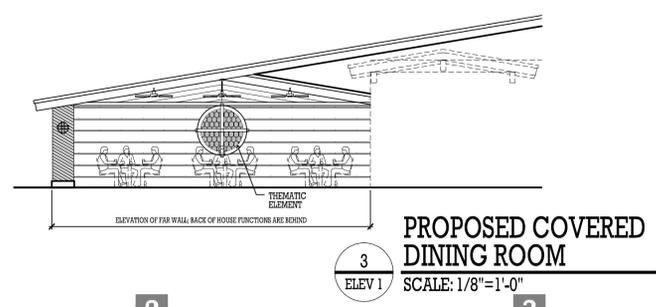
1
ELEV 1
PHOTO of LEFT EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



2x
ELEV 1
EXISTING LEFT EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



2p
ELEV 1
PROPOSED LEFT EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



3
ELEV 1
PROPOSED COVERED DINING ROOM
SCALE: 1/8"=1'-0"

2 3 4 5 6 7 8

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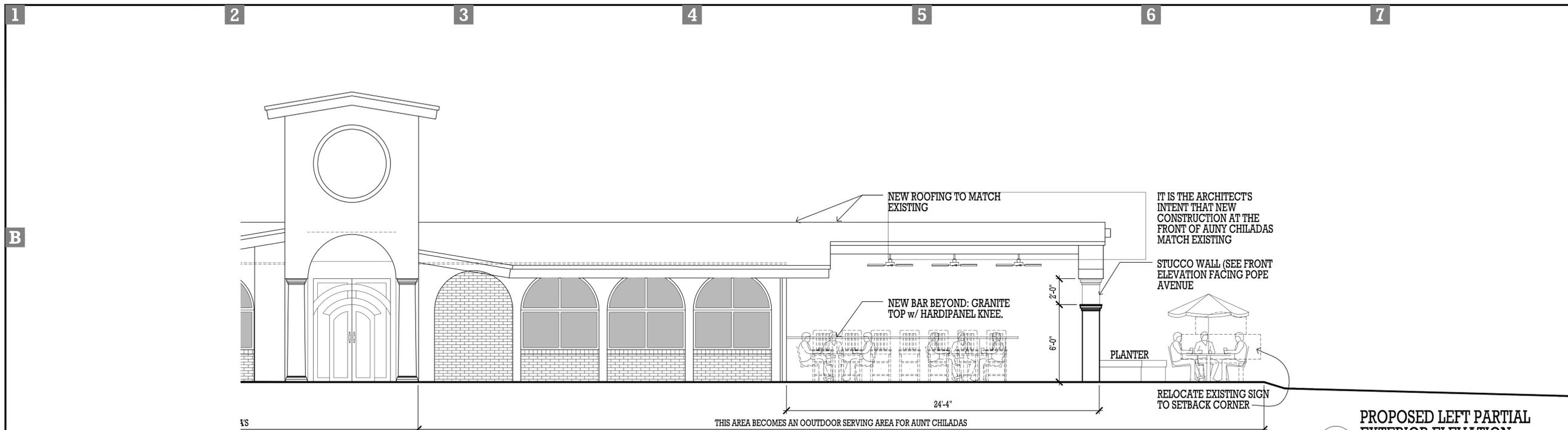
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Sheet Title:
EXTERIOR ELEVATIONS

SHEET
ELEV 1



PROPOSED LEFT PARTIAL EXTERIOR ELEVATION
 2b
 ELEV SCALE: 1/8"=1'-0"



INTERCOASTAL DAYMARKER



PROPOSED LEFT PARTIAL EXTERIOR ELEVATION
 2a
 ELEV SCALE: 1/8"=1'-0"



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Sheet Title:
 EXTERIOR ELEVATIONS

SHEET
ELEV 2

1 2 3 4 5 6 7

B

C

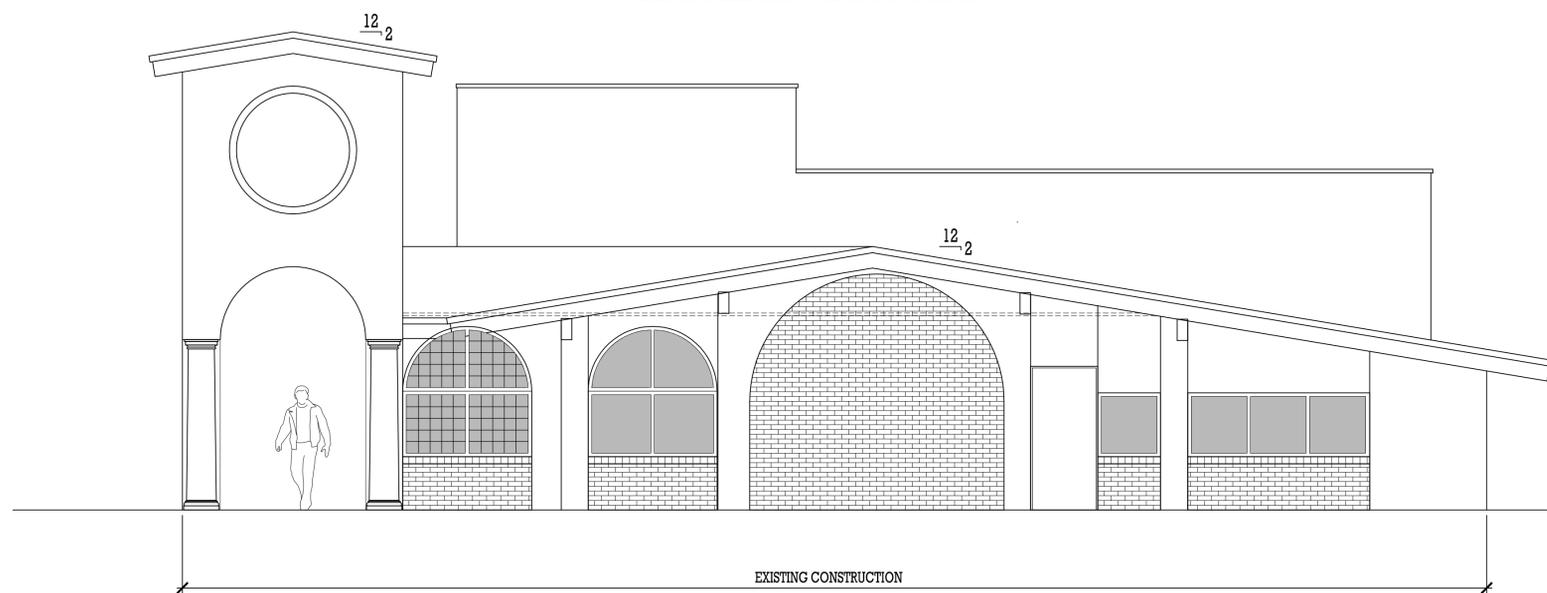
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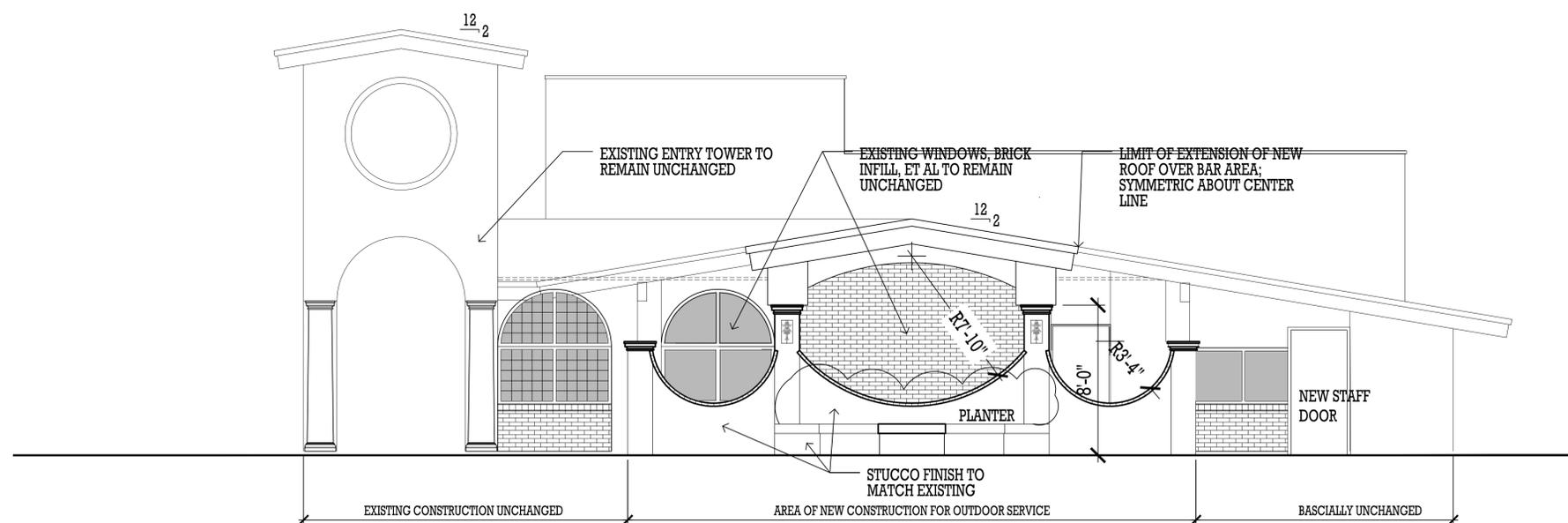
F



EXISTING ELEVATION ALONG POPE AVE



EXISTING ELEVATION FACING POPE AVENUE
SCALE: 1/8"=1'-0"



PROPOSED ELEVATION FACING POPE AVENUE
SCALE: 1/8"=1'-0"

2 3 4 5 6 7



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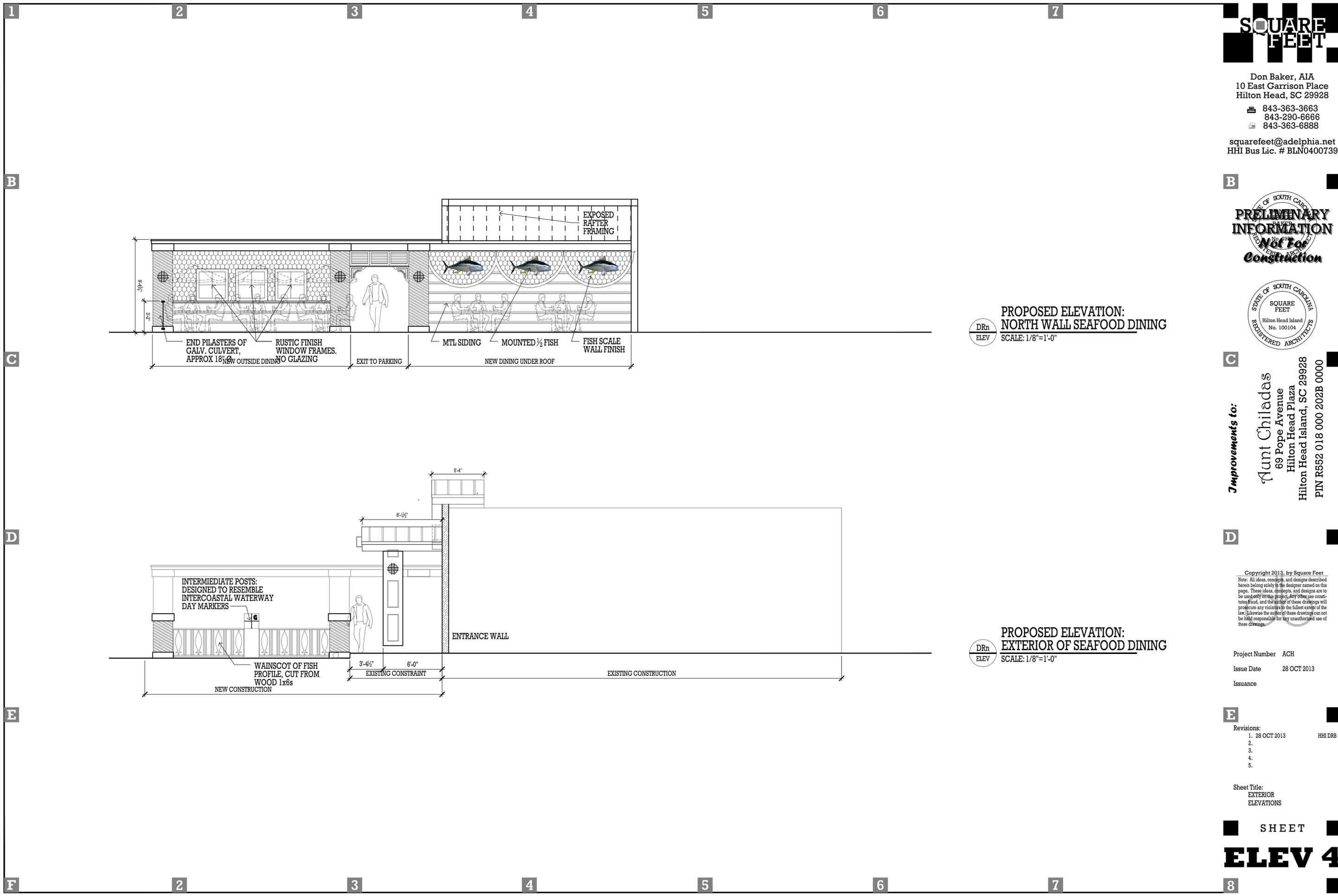
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Sheet Title:
EXTERIOR
ELEVATIONS

SHEET
ELEV 3

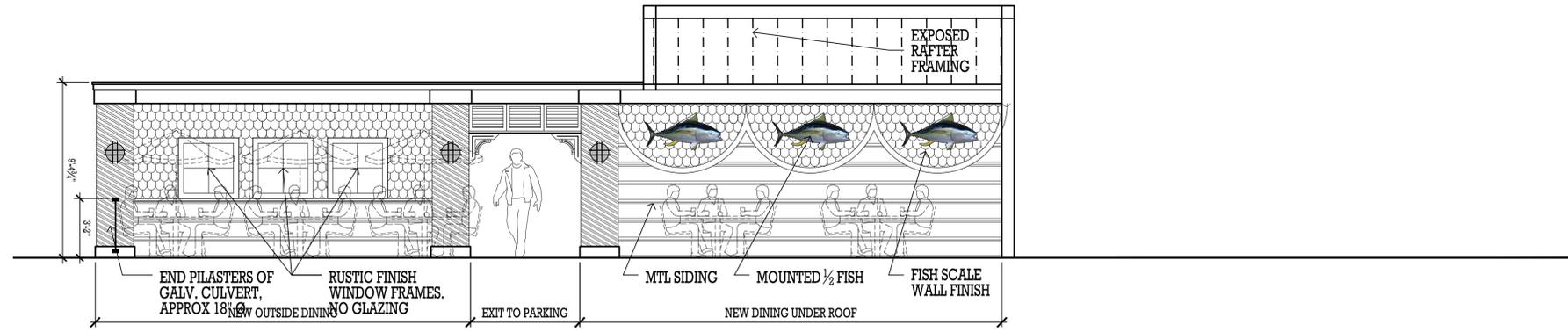


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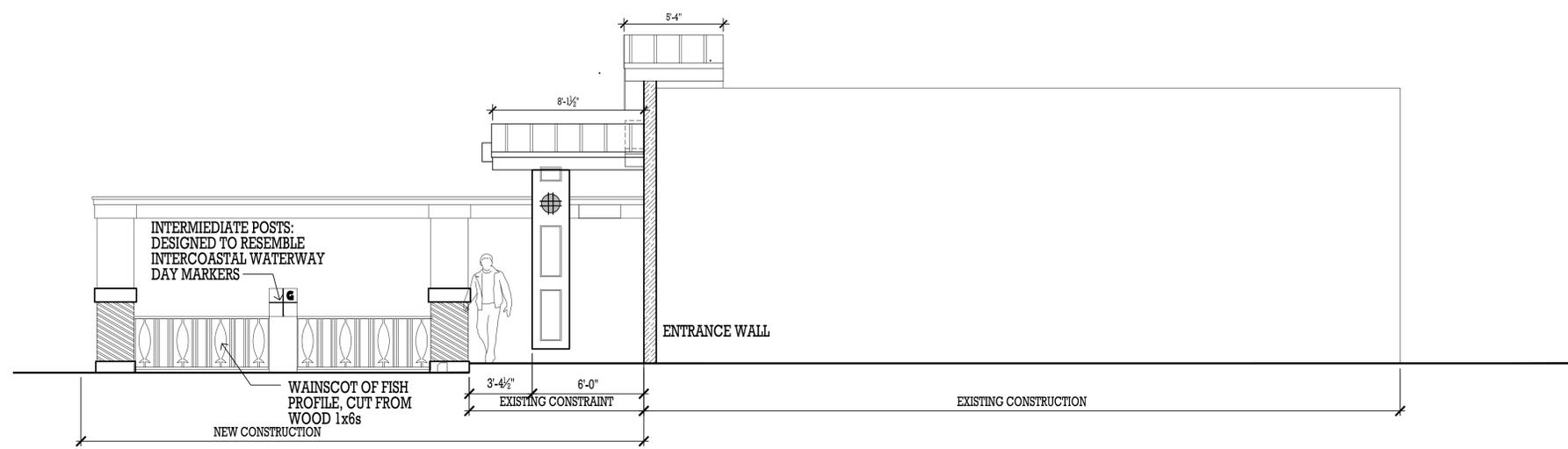


DRn
 ELEV
**PROPOSED ELEVATION:
 NORTH WALL SEAFOOD DINING**
 SCALE: 1/8"=1'-0"



Improvements to:
 Aunt Chiladas
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DRn
 ELEV
**PROPOSED ELEVATION:
 EXTERIOR OF SEAFOOD DINING**
 SCALE: 1/8"=1'-0"



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Sheet Title:
 EXTERIOR
 ELEVATIONS

SHEET
ELEV 4

Gulfstream

ENTRY DOOR, SHUTTERS, METAL ROOF
ENGLERT SLATE BLUE or
ST BARTS SW 7614

DOOR, WINDOW & FASCIA TRIM
MODEST WHITE
SW 6084

WOOD VERT SIDING
MINDFUL GRAY
SW 7016

PAVERS
LOW COUNTRY PAVERS
DAUFUSKIE BLEND



Aunt Chilada's

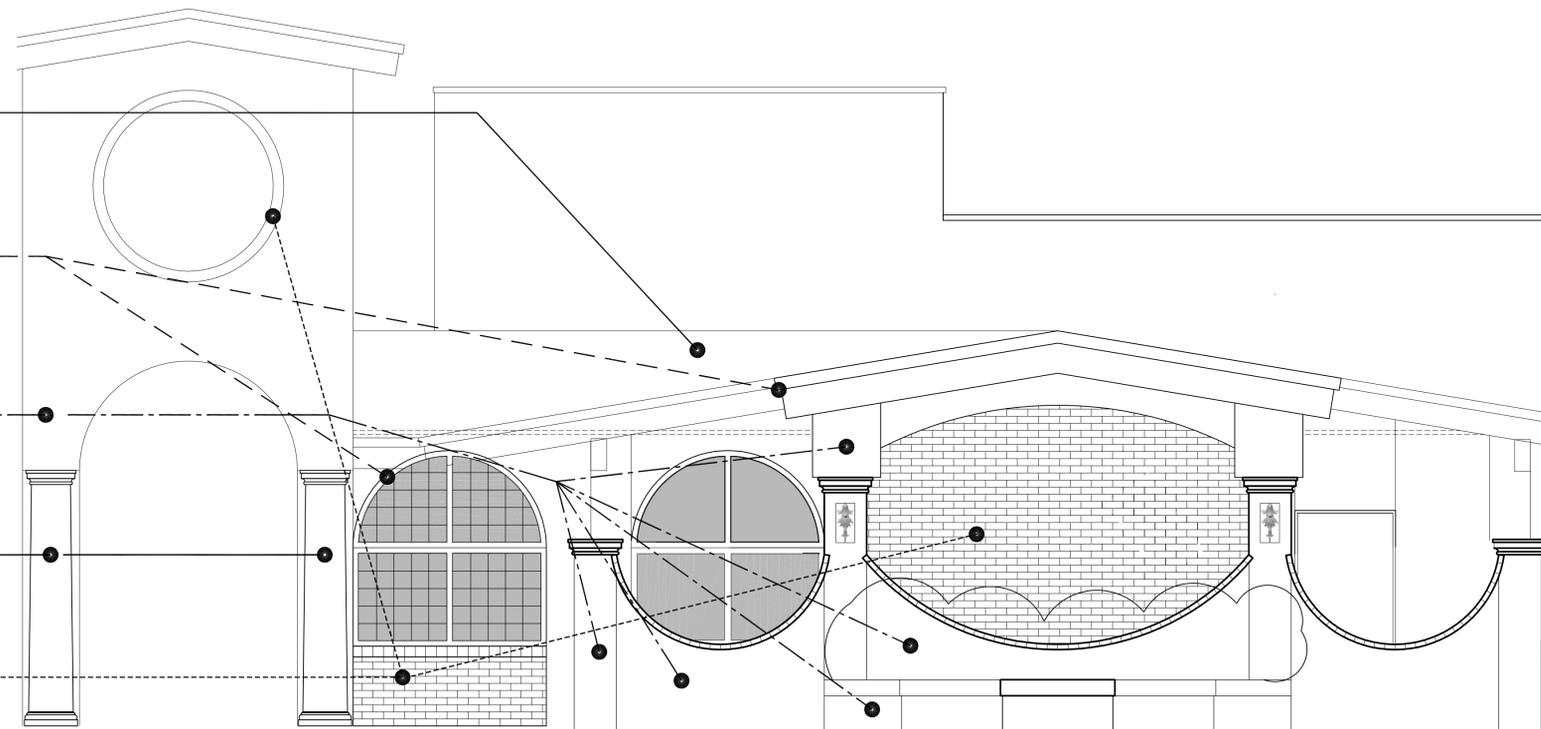
EXISTING ROOF TO REMAIN:
CERTAIN TEED GEORGIAN BRICK

WINDOW TRIM, ROOF FASCIA
NUT HATCH
SW 6088

STUCCO WALLS
SAND DUNE
SW 6086

EXISTING STONE COLUMNS
TO REMAIN

EXISTING BRICK
TO REMAIN



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Sheet Title:
EXTERIOR COLOR FINISHES

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Aunt Chiladas – ALTERATION/ADDITION

DRB#: DR 130047

DATE: November 12, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	New roof same slope as existing 2/12
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

and architectural elements				
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stucco, wood, glass, metal, brick
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Board-on-board or hardie vertical siding, tall lowcountry shutters
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lots of ornamentation/thematic elements
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Transplanting existing palms on-site
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: MATT MILLS Company: SHELTER COVE TOWN CENTRE LLC
 Mailing Address: 2743 Perimeter Pkwy City: AUGUSTA State: GA Zip: 30909
 Telephone: 706 373 9007 Fax: 706 722 6960 E-mail: mmills@bccommercial.com
 Project Name: SHELTER COVE TOWN CENTRE Project Address: SHELTER COVE LANE
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

_____ Final site development plan meeting the requirements of Sec. 16-3-303.F.

_____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

A written narrative describing how project conforms to design guidelines of Section 16-4-503.

Photographs and/or drawings of existing development.

Drawings of the proposed development - 11"x 17". *PREVIOUSLY SUBMITTED*

Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*;
Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

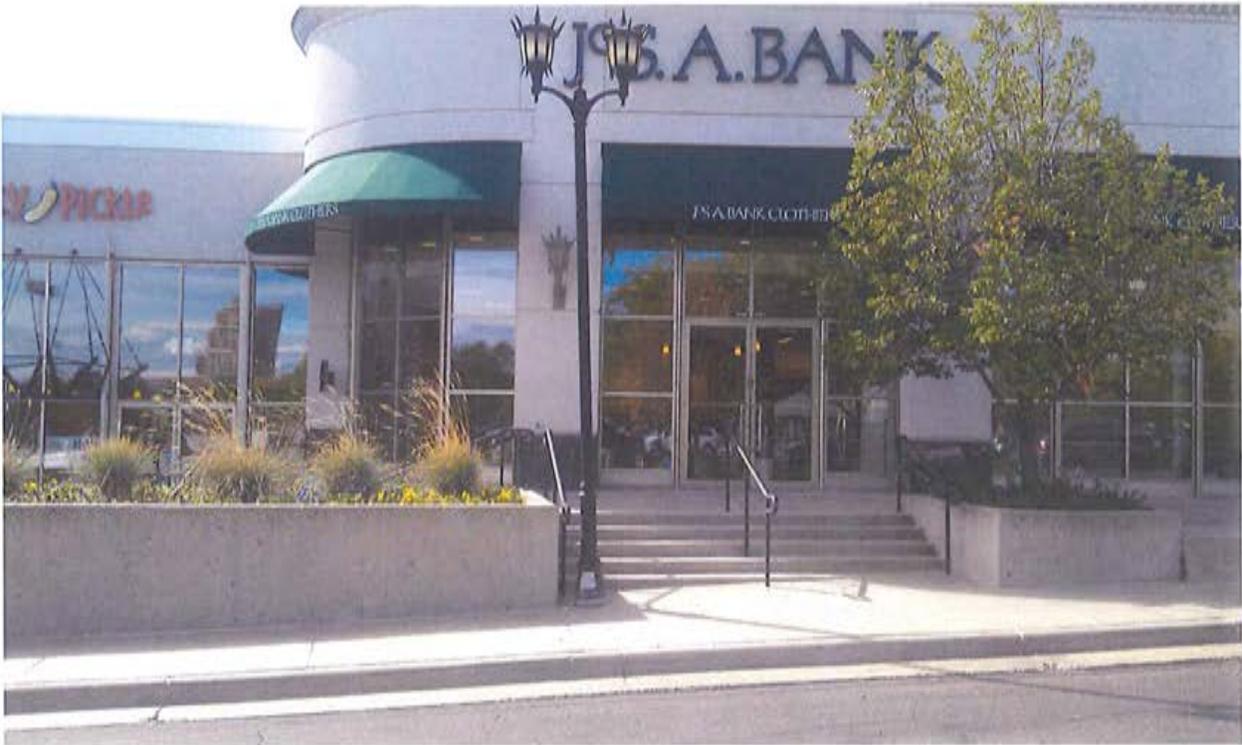
SIGNATURE

DATE

10/29/13

Owner wishes to substitute the material approved for the awnings on Building 102 (Jos. Banks Building) with Jos. Bank's standard green awning

Requested substitute material:





MSTSD

MSTSD, INC.
1716 Poplarwood Road, Suite 200
Savannah, Georgia 31406
912.428.1000

Issue Date
01-28-2013
Revised 01-29-13

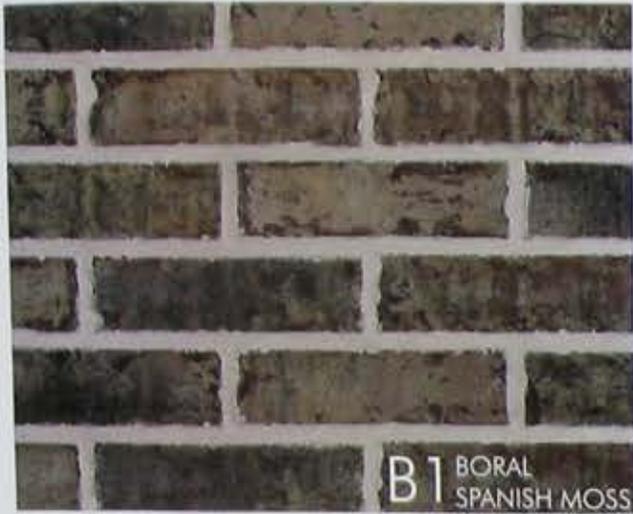
DESIGN REVIEW BOARD
FINAL APPROVAL
SUBMITTAL

SHELTER COVE
TOWNE CENTRE

BLANCHARD &
CALHOUN

TOWN OF HILTON HEAD
ISLAND

EXTERIOR MATERIALS



B1 BORAL SPANISH MOSS



B2 BORAL OUTER BANKS



B3 BORAL BASTILLE



AWNING FABRIC



B4 BORAL SAVANNAH GRAY



B6 GENERAL SHALE MORNING SMOKE



B7 BORAL SANTA FE



B8 BORAL CORDOBA



BK1 CAROLINA CERAMICS SHADOW GREY VELOUR



BK2 CAROLINA CERAMICS SABLE VELOUR



KB5 CHEROKEE OXFORD



KB6 CHEROKEE FRENCH COUNTRY GRAY

MARK	ITEM	COLOR	COLOR NAME & NUMBER
R1	Shingle Roof		Natural grey
B1	Rustic brick		Boral_Spanish Moss
TB	Tabby Stucco		
P4	Structure		SW 6471 Hazel
P3	Fascia, trim		SW 6172 Hardware
P14	Wall		SW 6115 Total Tan



R1 Shingle Roof



TB Tabby Stucco



B1 Boral_Spanish Moss



West Elevation, Building 102





J.S. A. BANK

ly Pickle

J.S.A. BANK CLOTHIERS

J.S. A. BANK CLOTHIERS

NIK CLOTHIER



JOS. A. BANK

JOS. A. BANK CLOTHIERS

PICKLE

NO
OP





Jos. A.

JOS. A. BANK CLOTHIERS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Jos. A. Bank Awning – MINOR EXTERNAL CHANGE

DRB#: DR 130048

DATE: November 12, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

Shelter Cove Town Centre proposes to change the awning fabric on building 102 from striped to Jos. A. Bank’s “standard green awning” - Sunbrella “Forest Green” #6037. A fabric sample is required to ensure the green fabric complements the building colors (brick, stucco, and paint trim). Additionally, four awning fabrics (all striped) were chosen, and approved, to provide both variety and consistency throughout the project. Consideration should be given to how a solid fabric on one building works with striped fabric on all of the other buildings with awnings.