



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, February 26, 2013

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of February 12, 2013
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A. Alteration/Addition
 - 1) DR 130007 – Frosty Frog
 - B. New Development
 - 1) DR 130009 – TOHH Rowing and Sailing Center CONCEPTUAL
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, February 12, 2013 Meeting
1:15p.m – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,
Jake Gartner, Tom Parker, Galen Smith and Todd Theodore

Board Members Absent: Jennifer Moffett, Excused

Council Members Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Heather Colin, Development Review Administrator
Teri Lewis, LMO Official
Shawn Colin, Deputy Director, Community Development Department
Rocky Browder, Environmental Planner
Richard Spruce, Plans Review Administrator
Kathleen Carlin, Secretary

- 1. Call to Order**
Chairman Scott Sodemann called the meeting to order at 1:15p.m.
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
- 4. Approval of the Agenda**
The Board **approved** the agenda as presented by general consent.
- 5. Approval of the Minutes**
The Board **approved** the minutes of the January 22, 2013 meeting as **amended** by general consent.
- 6. Staff Report**
None
- 7. Board Business**
None
- 8. Unfinished Business**
None
- 9. New Business**
(Mr. Parker and Mr. Theodore recused themselves from review of the following application, Shelter Cove Towne Center Phase 1-C Final Hardscape and Landscape, DR120030, due to professional conflicts of interest. A Conflict of Interest Form was completed and signed by Mr. Parker and Mr. Theodore and attached to the record.)

A. New Development

1) **Shelter Cove Towne Center** Phase 1C Final Hardscape and Landscape DR120030

Ms. Ray stated that the Board provided Conceptual approval of this project on November 13, 2012. The Board reviewed Final Architecture for the project on January 22, 2013, but action on Final Architecture could not be taken by the Board because staff had not received the required approval letter from the Shelter Cove ARB. The staff has received the required approval letter from the Shelter Cove ARB and action by the Board on Final Architecture may be taken today along with Final review of Hardscape and Landscape.

Ms. Ray presented an in-depth overhead review of the application. The applicant states in their narrative that this project contains enhanced streetscape elements such as on-street parking, ornamental street lights, specialty paving, canopy street trees, other plant materials and strategically located site furniture. The enhanced streetscape aids in bringing a pedestrian scale to the project through its connection with building mass, detailing, and materials. Local and regional materials such as oyster shell concrete, Old Carolina Brick, and tabby stucco preserve the island character and Low Country aesthetics.

Ms. Ray presented the key features of the Hardscape and Landscape plan. Ms. Ray reviewed the locations of Shelter Cove Lane, the entrance to Newport, the existing asphalt, the new asphalt parking lot, new concrete sidewalk on the park side of Shelter Cove Lane, and on street parking that is brick paver parking.

Ms. Ray then reviewed the Main Street area, the location of the Kroger building, the Belk II store, and the main pedestrian corridor. The streetscape includes angled brick parking, oyster shell concrete sidewalks with brick banding, accent features, street lights along Shelter Cove Lane as well as along Main Street, planters, pots and street furnishings. Ms. Ray also reviewed the location of standard asphalt paving along Shelter Cove Lane; Main Street is oyster shell asphalt with brick on-street parking.

Ms. Ray reviewed the back corner of Kroger including the service area, and the location of the new park with and on street parking and a concrete sidewalk along Shelter Cove Lane. Mr. Ray also reviewed the front corner of the project showing the location of Shelter Cove Lane, the new fuel center, the existing Belk parking, and existing Belk store. Ms. Ray reviewed the location of the new concrete sidewalks with brick banding, the existing sidewalk in front of Belk's, and the proposed asphalt bike path around the trees, with connection into the parking lot at strategic locations.

Ms. Ray also reviewed the continuation of Main Street, the four stand-alone buildings in front, and the new right in/right out curb cut on Highway 278. The new oyster shell asphalt continues down Main Street as well as the new street that runs in front of Kroger, Belk, and the new shops.

At the entrance to Belk II there are more decorative features including oyster shell concrete with brick banding and colored concrete as well as a wood deck for performance space, and a drop off. This edge is treated the same as Main Street with the on-street brick paver parking, a brick edge with alternating landscape planters and street lights, and oyster shell concrete sidewalk with brick banding.

Ms. Ray then reviewed the entrance into Kroger. It has the same type of brick pavers and oyster shell concrete between the drive and the front of the store. The crosswalks are a painted striped crosswalk. The applicant proposes a painted/striped cross-walk versus a brick paver crosswalk due to concerns with grocery carts on pavers. Ms. Ray reviewed details of the proposed pedestrian walks. Some of the proposed details are oyster shell with a single brick border, oyster shell with double brick border, and a couple of types of specialty brick pavement with either a single band or a double band. There are two different types of truncated domes at the end of their handicap ramps. There is a standard Town handrail at the boardwalk section, and a wood deck in front of the Belk side of the

development. Also in this area they have some trellis swings, tabby base with a brick path, and then a wood trellis with a swing. There are some entry columns with a brick base, continuing the brick and tabby, with a cap. There is a curb bench with knee walls and a proposed screen fence.

Ms. Ray reviewed samples of the materials being used for permeable pavers in the parking areas and the Old Carolina brick. Samples of the colored concrete were also reviewed. The colors and materials coordinate with the proposed building materials.

The applicant proposes bollards in areas where the power lines go through the parking lot on the front side of the store between the front side of the mall and Highway 278 to keep people from driving in this area. Planter pots are sprinkled throughout the development including some existing pots from inside the mall supplemented with new ones. This completed the review of the Hardscape portion of the application.

Ms. Ray then reviewed the landscaping portion of the application. Ms. Ray reviewed the entrance to Newport with some additional landscaping that is being proposed on Shelter Cove Lane and the top of their lagoon. A good landscaping mix is proposed to help screen the fuel center. Landscape plants contain a mix of native materials and plants historically used on the island, along with pots and planters with accent color in special places, and a good evergreen framework. The streetscape along Shelter Cove Lane consists of a mix of Oak trees on the park side of the sidewalk, along with low shrubs and ground cover in the islands between on street parking. The landscaping along Main Street includes palms with liriopse and Confederate Jasmine and planters adjacent to the building.

Ms. Ray reviewed the back corner and the elevation of Kroger. A buffer is included to help screen the service area. The materials include live oak trees, pines, wax myrtles, eastern red cedar, and other dense evergreen materials that will help screen the area. Ms. Ray reviewed landscaping for the area between the fuel center and parking, and Shelter Cove Lane. This consists of existing pines and oak trees with additional oak trees, oleander, yaupon holly, saw palms and azaleas. The proposed material includes native materials as well as supplemental materials that are thick to help provide a good buffer in the area. Ms. Ray also reviewed the existing and proposed locations of the power lines and easements. In this area the applicant will use lower vegetative materials.

Ms. Ray stated that there is no new landscaping shown for the Belk stores. This could be a good opportunity for Belk to help tie in with the rest of the new work that is being done. Ms. Ray continued with her review of the plantings for Main Street including shade trees and lots of accent color.

Ms. Ray stated that the applicant submitted their lighting plan showing two different types of overhead fixtures (overhead shoebox style fixtures in brown and more decorative fixtures in black). Ms. Ray reviewed the site lighting plan including the cut sheets for the fixtures as well as some other site lighting including bollard lights and some accent up lights and down lights. Based on the Board's previous comments regarding the style of the proposed light fixtures, a more contemporary lighting plan is proposed for the buildings.

Ms. Ray reviewed the proposed dumpster areas. They are very similar to the buildings with brick and stucco base, some brick walls, some horizontal siding, all in colors that complement the brick building that they are adjacent to. The staff recommended that a standard color be selected for the dumpster enclosure for consistency and so as not to call attention to the dumpster areas.

Ms. Ray presented an update to one of the sample boards. Previously the Board requested samples of the awning fabric and samples are available today. The colors are consistent with the Design Guide.

Ms. Ray stated that the applicant has also provided perspectives of the north and west Kroger walls. Ms. Ray presented details regarding the location of the drive-through pharmacy at Kroger. Landscaping details were reviewed. Mature landscaping will screen this building. The wall and

service area will receive a good deal of landscaping including evergreen materials to help screen the wall.

The applicant is proposing a white vinyl fence to be located at the back of Kroger's service area. This type of fencing is not in keeping with the Design Guide. A wood or masonry fence should be used. The staff recommended approval of the application with a few conditions.

With regard to the buildings that are called "Place -holder" buildings (#105, 106, and 109), staff recommended that these items return to the Board for review when finalized. Additional detail and design characteristics are needed for these buildings. When plans are finalized for the kiosks, they should return to the Board for review. Staff recommended that only one color be used for the dumpster enclosures. Lastly, staff recommended that additional landscaping be required for the entrance to Belk's. Following staff's presentation, Chairman Sodemann requested that the applicants make their presentation.

Ms. Kristen Mansfield and Mr. Trey Griffin, with Wood + Partners, presented statements in support of the application. The Board discussed several issues with the applicants. Mr. Smith inquired about plans for the north side of the Kroger building. Ms. Kim Traylor, with the Kroger Company, responded with comments regarding the north side of the building. Mr. Smith stated that he is still concerned with the blank wall at Kroger. Mr. Smith and Mr. Griffin discussed landscape materials and plans to screen the back side of Kroger including the service yard.

Vice Chairman Welch inquired about signage plans along Highway 278. Ms. Mansfield stated that the signage package will be submitted at a later date. Accent landscaping details will also be included in the package. Vice Chairman Welch inquired about plans for the wood bike path including the potential need for handrails. The style of the swings should be somewhat similar to the swings at Coligny Beach. Landscaping and signage should relate to a tropical feeling rather than ornamental.

Vice Chairman Welch stated that she liked the character of the dumpster screening areas as proposed. The dumpster areas should relate to the buildings that they are associated with. Each dumpster screening area should be dealt with on an individual basis. Vice Chairman Welch recommended that the Board conduct an on-site inspection for final approval of landscaping. Vice Chairman Welch also inquired about a maintenance plan for the future.

Mr. Matt Mills, Blanchard & Calhoun, presented statements on behalf of the applicant. Mr. Mills stated his opposition to the suggestion of an inspection by the DRB following the final installation of landscaping. Mr. Mills stated that budgetary considerations and functionality should be considered. The applicant stated that they believe the landscaping plan is very generous. Vice Chairman Welch agreed with staff's concerns regarding the white vinyl fence. Vice Chairman Welch agreed with Mr. Smith's concerns with the view of the back of building. This area needs to be treated in a better way for public viewing by those enjoying the new park.

Mr. Gartner agreed that the fence behind Kroger needs to be wood, masonry or a combination of both materials. The white vinyl should not be allowed. Mr. Gartner agreed that the dumpster service yard should complement each of the buildings as proposed by the applicant. The pedestrian hardscape design was discussed with Ms. Mansfield. Mr. Gartner agreed that additional landscaping at the Belk's entrance is needed to better tie the store into the new project.

Mr. Mark Senn, Blanchard & Calhoun, presented comments regarding the existing landscaping at the entrance to Belk's. There is not much room for additional landscaping here. Mr. Gartner stated that additional landscaping at the Belk location should be part of the discussion for future review.

Chairman Sodemann stated his agreement with many of the points that have already been provided by the Board, especially with regard to the dumpster screen area. Chairman Sodemann and the

applicant discussed the location of the up lights and accent lighting. Chairman Sodemann stated that when additional information for the kiosk is available, this item should return to the Board for review.

The applicant stated that a mock-up of colors, materials, and patterns will be reviewed by the applicant and owner for accuracy with the plans. Chairman Sodemann agreed that the screen fence needs to be wood or masonry or a combination of both materials. The staff is authorized to approve the final fence details. "Place holder Buildings (# 105, 106 and 109) should return to the Board for review. Final details for the kiosks should also return to the Board for review. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion to approve** the Shelter Cove Towne Centre Phase 1-C Final Review application for Hardscape, Landscape and Architecture with the following conditions: (1) the service area fence located behind Kroger should be made of wood, masonry, or a combination of both materials to coordinate with the building design. The staff will approve the final fence design; (2) The style of each dumpster enclosure should be consistent with the buildings that they are adjacent to; (3) the kiosks and "Place-holder" Buildings (105, 106, and 109) will return to the Board for review; (4) At the completion installation of the landscaping, the applicant will consider any recommendations for additional landscaping that are made by the Town. Mr. Gartner **seconded** the motion and the motion **passed** with a vote of 4-0-0.

B. Alteration/Addition

1) Vine - DR130003

Ms. Ray introduced the application and stated its location, 1 N. Forest Beach in Coligny Plaza. Ms. Ray presented an in-depth overhead review of the application including photos of the completed project. The applicant has installed a patio enclosure for this restaurant that consists of a permanent hinged door frame and panel, as well as fabric curtains that can be drawn up and down depending on the weather.

Ms. Ray presented details of the permanent door, the curtains, the fabric, and clear window. The fabric is a green and tan stripe awning fabric. This work was completed prior to receiving approval by the DRB. The Forest Beach ARB has reviewed drawings for the project and they have approved the project. Staff is concerned with the aesthetics of the project because the building is part of a large complex and is not a stand alone building. The staff does not believe that the project is not in keeping with the rest of Coligny Plaza. The staff recommended that the application be approved with conditions: the roll-up curtains should be constructed of clear vinyl and the permanent door should be removed. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Stephen Hamile, business owner, presented statements in support of the application. The applicant discussed the design of the door and the fabric curtains with the Board. The applicant stated that he believes that the project is consistent with surrounding businesses. The Board discussed the aesthetics of the project of the project with the applicant. Mr. Hamile stated that he has no objection to retracting the curtains during the day if that is what the Board desires with the exception of windy days.

Mr. Smith stated his concern that the work was completed without receiving approval by the Town. The applicant stated that he believed his vendor, Coastal Canvas, had received approval from the Town on his behalf. Mr. Smith stated concern that the project is not in keeping with the Design Guide or island character. Mr. Theodore stated that he has the same concerns as Mr. Smith. The stripes are too busy and carnival tent like. A more uniform color, perhaps a green, would be

preferred. The canvas drop-down awning outside of the fence is a problem.

Vice Chairman Welch recommended that the applicant consider placing the canvas drop-down awning on the inside of the fence instead of the outside. This would probably make it less objectionable and less tent-like. The Board stated that this is a good recommendation and agreed with this suggestion. Vice Chairman Welch stated that Coligny Plaza is not necessarily impacted by the project due to Coligny's eclectic style. Vice Chairman Welch agreed that the door should be changed. Some wood elements are needed to break up the canvas.

Mr. Parker agreed with Vice Chairman Welch's statements regarding the project. Mr. Parker stated that he is opposed to the door. Keep the curtains rolled up during the day and down at night time. Mr. Parker stated he is not that opposed to the project due to Coligny's eclectic style.

Mr. Gartner stated that he agrees with the Board's statements presented so far. Mr. Gartner stated that the panels should be rolled up and the front door needs to be changed. The Board agreed that the panels should be rolled up regardless and they should be placed on the inside of the fence.

Chairman Sodemann stated his agreement with the statements presented by the Board. Chairman Sodemann also requested that the applicant rethink the functionality of space in front of the door when the door is eliminated. Lastly, Mr. Richard Spruce presented statements on behalf of staff with regard to the requirement for two exits. A second door will be required.

Following final discussion by the Board, Chairman Sodemann recommended that the applicant withdraw today's application for needed design revisions. The applicant agreed to **withdraw** the application and will resubmit the project at a later date.

2) Kangaroo Express 71 Mathews Drive - DR130004

Ms. Ray introduced the application and stated its location, 71 Mathews Drive. The Pantry is proposing major investment in five Hilton Head Island stores. Ms. Ray presented an in-depth overhead review of the application including an aerial view of the site, existing site photos, and renderings of the proposed new design.

The applicant is proposing to re-clad their stores with a vintage brick veneer, horizontal cement board siding, and trim that resembles classic island character. The design incorporates removing the mansard roof that has defined the stores since they were built in the 1970's to 1980's. The applicant states in their narrative that the proposed design builds up the fascia and breaks up with a regular pattern of trim and horizontal cement board siding. The main entrance to the stores are bumped out to provide depth to the façade and transitions to a stucco or EIFS system, the box frame for the company sign logo will be recessed to provide an additional depth to the fascia. Ms. Ray presented a sample of the proposed materials (cedar, brick) and proposed colors for the horizontal siding, the main fascia frame, and the crown trim color, and Colonial red as accent color. Ms. Ray reviewed the elevations; no detail has been provided for the sides of the stores. The staff stated that all of the colors are consistent with the Design Guide and are an improvement over the existing.

Ms. Ray reviewed the proposed lighting fixtures including cut sheets. Shoe box lighting is proposed for the parking lot, with additional fixtures proposed for the front of the building. Featured lighting is designed to complement island character.

Mr. Ray stated that the applicant proposes to replace the existing mansard roof with a flat parapet roof. Flat roofs are discouraged by the Design Guide. The flat parapet roof is proposed for the installation of signage. Roof signs are not permitted per the Sign Ordinance so this configuration should be restudied. Ms. Ray stated that the long, flat brick wall on the side of the building (viewed from Highway 278) should be restudied as well. Relief is needed in this area perhaps with a brick

base or water table with trim and then painted stucco above in a complementary color. This may help break up the edge and also help give some definition to the front elevation. Any adjacent dumpster screen, any service area, any walls, or fencing should be painted in a complementary color.

The lighting package needs to be submitted to staff with more detail, including colors of fixtures, and photo-metrics that will be reviewed by staff to make sure that the lighting levels are appropriate. Additionally, the submittal does not show any changes to the fuel canopy. The proposed changes to the building might be able to be incorporated into the fuel canopy and columns so there is a relationship with the existing building. The staff recommended that the application be approved with the conditions listed above. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Timothy Reed, representative of The Pantry, and Mr. Doug Kirby, architect, with LMHT Associates, presented statements in support of the application. The Board and the applicants discussed several issues regarding the proposed improvements.

Mr. Gartner complimented the colors and the materials. The proposed design, however, seems too plain and needs to be restudied. Mr. Gartner agreed with staff's comments regarding the fuel canopy. It needs to have more of a relationship to the new store.

Mr. Parker complimented the applicant on making improvements to the stores. The colors and the materials are a great improvement. However, the flat roof is a problem. The mansard roof is preferred to the flat roof design as it's a better solution to a box-type building. The proposed flat roof amplifies the boxy building. Reconditioning or reconfiguring the mansard roof would be a much better solution over the flat roof. Marquees, unfortunately, are also not allowed under the Design Guidelines. A façade sign would be okay; however, a sign inside the roof is not allowed. The canopy needs to have a better relationship to the building.

Mr. Theodore stated that he agrees with the comments presented so far; the building is too boxy and the flat roof is out of character for Hilton Head Island. Mr. Theodore recommended a bronze or black color for the lighting package. The landscaping needs to be freshened up.

Mr. Smith recommended that the applicant keep the existing mansard roof instead of replacing it with the parapet roof. The mansard roof is a much better solution and should be upgraded as needed (repainting or replacing). The proposed building design is too heavy and inappropriate for Hilton Head Island.

Vice Chairman Welch agreed with the comments previously made by the Board. The Board stated that details for the fuel canopy are still needed and working drawings are still needed.

Chairman Sodemann stated that he agrees with all of the comments presented so far. The Board agreed with the idea of keeping the existing mansard roof form and the roof material be replaced or re-painted. The proposed brick needs to be carefully detailed as it relates to the existing windows.

Mr. Richard Spruce presented statements on behalf of staff regarding approval of the vertical requirements. At completion of the Board's discussion, Chairman Sodemann recommended that the applicant withdraw the application for needed revisions.

The applicant agreed to **withdraw** the application for needed revisions. The application will be resubmitted at a later date.

3) **Kangaroo Express** 1 Gum Tree Road - DR130005

The applicant agreed to **withdraw** the application for needed revisions based on the discussion of

DR130004. The application will be submitted at a later date.

C. Minor External Change

1) Kangaroo Express Repaint - DR130006

Ms. Ray introduced the application and stated the three store locations: 151 Arrow Road, 6 Palmetto Bay Road, and 1-B Regency Parkway. The applicant proposes to paint these three existing stores. Ms. Ray presented an in-depth overhead review of the application. The proposal includes a two-tone paint scheme very similar to the colors reviewed in the Pantry's earlier submittal. The proposed colors are consistent with the Design Guide.

Ms. Ray reviewed samples of the paint scheme. The base of the stores will be painted a brown color up to the sill of the window or storefront of the store. The remaining body of the building will be painted a khaki color up to the roof/mansard condition. The mansard will be painted a grey color. There is a trim on some of the buildings that will be painted the Colonial red color. The fuel canopy will be painted a color complementary to the individual building. Ms. Ray presented photos showing the existing conditions at each of the locations.

The staff recommended approval of the application with some conditions. The separation between the colors needs to be addressed better. The Arrow Road store specifically does not have a base or trim piece that will break up the two colors. The Colonial Red trim color should be extended on the trim at the Palmetto Bay store (#0855). The fuel canopy frame at the Regency Parkway (#3377) store should be painted Grey Tweed to be consistent with the other canopy and roof colors. Any adjacent accessory structures should also be repainted to be consistent with the proposed color scheme (specifically, the dumpster enclosure at the Regency Parkway store). Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Timothy Reed, representative of The Pantry, and Mr. Doug Kirby, architect, with LMHT Associates, presented statements in support of the application. The Board discussed the application with the applicants. The board complimented the improvements that are proposed for the stores.

Mr. Gartner complimented the color scheme and stated his agreement with the staff's recommendations regarding the fuel canopy. Mr. Parker stated that he agrees with the staff's comments and with the Board's comments presented so far. Mr. Theodore stated that he also agrees with the statements provided so far. Vice Chairman Welch, Mr. Theodore, and Mr. Smith also stated their agreement.

Chairman Sodemann also presented statements in agreement with those already presented. Chairman Sodemann stated that something needs to be done about the horizontal band issue. At the completion of staff's presentation, Chairman Sodemann requested that a motion be made.

Mr. Gartner made a **motion to approve** the Kangaroo Express repaint application with these stores with the following conditions: (1) the separation between the base color and the body color needs to be a stucco band at the Arrow Road store; (2) the Colonial red trim color should be extended on the Palmetto Bay store; (3) the canopy frame on the fuel station at the Regency Parkway store should be painted Grey Tweed to be consistent with the roof on that store; (4) adjacent accessory structures should also be repainted to be consistent with the proposed color scheme. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 6-0-0.

2) Sands Village Repaint - DR120033

Ms. Ray introduced the application and stated its location, 21 Lagoon Road. The applicant is proposing to repaint their buildings and slightly change their primary color scheme. Ms. Ray

presented an in-depth overhead review of the application. Two different shades of existing brown trim and railings are to remain. The applicant originally proposed to change from taupe to light green. However, based on the Board's previous comments, the applicant has revised their application and proposes a color combination that is appropriate based on the Design Guide. The staff recommended that the application be approved as submitted. The applicant for this project was not available for comments or questions from the Board.

The Board discussed the application with staff and compared the proposed color scheme against the project's existing color scheme. Mr. Parker stated his concern with the proposed shade of paint for the mansard, as the new color is too light. A white roof is not in keeping with island character or the Design Guide. The other Board members agreed that the new mansard color should not be any lighter than the existing color. At the completion of the Board's discussion, Chairman Sodemann requested that a motion be made.

Mr. Smith made a **motion to approve** the Sands Village Repaint application with the condition that the new color for the mansard roof is not to be any lighter than the existing roof color. The body color is approved as submitted. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 6-0-0.

D. Sign

1) **Reilley's Plaza** Directional Sign - DR130008

Ms. Ray introduced the application and stated its location, 7 Greenwood Drive. Ms. Ray presented an in-depth overhead review of the application. Ms. Ray identified the location of the applicant's proposed directory sign. The proposed sign includes a 12-foot post with multiple arrows attached to it indicating the names of various businesses within the plaza and the distances to those locations. The project was originally submitted as a free-standing directional sign.

The staff reviewed it based on the Design Guide and the sign ordinance and the following comments were provided to the applicant: the colors and materials should be complementary to the adjacent structures; the sign needed to be made of high quality materials that must reference the adjacent buildings and signs, materials, and colors and overall design; the colors should be limited to three; the colors should be found within the existing development, the siding, trim, roof, etc.; that the materials be durable (wood, stucco or brick, would be appropriate especially with the high traffic area that is proposed); the tenant panels should be on sign frames between the posts; and the maximum height of a free-standing sign of this size is eight feet.

The staff met with the applicant to discuss these conditions, and the applicant requested that the application be reviewed by the DRB. The applicant would like the project to be reviewed as art rather than as a sign. The application does not meet the requirements for a sign. The project includes a variety of colors and the lettering is vinyl in the fonts that each of the businesses has. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Tom Reilley, business owner, presented statements in support of the application. The Board and the applicant discussed the intent of the project. The Board agreed that the project should be considered a piece of art and not a sign. Mr. Smith stated that the project may have too many colors. Mr. Theodore stated that it should be considered as a piece of art considering its environment. The colors are a part of the fun experience of this environment. Vice Chairman Welch agreed with Mr. Theodore's comments. Mr. Parker and Mr. Gartner also agreed with Mr. Theodore's comments. Chairman Sodemann also agreed. Following final discussion by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion** to **approve** the Reilley's Plaza Directional Sign application as a piece of art and not as a sign. The application is approved as submitted. Mr. Theodore **seconded** the motion and the motion **passed** by a vote of 6-0-0.

9. Appearance by Citizens

None

10. Adjournment

The meeting was adjourned at 3:20p.m.

Submitted By:

Approved By:

Kathleen Carlin
Secretary

Scott Sodemann
Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: TIMOTHY PROBST Company: LEE & PARKER ARCHITECTS
 Mailing Address: 10 PALMHEAD BIX. PARK City: HILTON HEAD State: SC Zip: 29910
 Telephone: 843-785-5171 Fax: _____ E-mail: TPROBST@HARCUBAY.COM
 Project Name: FROSTY FRAG Project Address: 1 NORTH FOREST BEACH SUITE 115
 Parcel Number [PIN]: R55201800000090038
 Zoning District: CENTRAL FOREST BEACH Overlay District(s): COLONY COMMERCIAL WALKING

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number
- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2/1/13

DATE

APPLICATION NARRATIVE
For
New Outdoor Space for the Frosty Frog
Coligny Plaza, Parcel #1
Hilton Head Island, South Carolina

Acreage: 9.567acres

Zoning: CFB (Central Forest Beach)

Project Description:

Demolition of the existing walks, wood deck, and canvas canopy over the walks and replacing them with:

- New Trex decking with retractable canvas awnings within a wood beam grid.
- New green wire mesh wall to allow for vegetation to grow on it to screen the new space from the existing walkway. The vegetation will be housed in planter boxes on the backside of new benches.
- New sand laid paver walkway around the deck and bike rack area.

Number of Buildings: 16

Number of Stories: 1

Parking:

We are using the parking for the existing building.

Project Phasing:

The overall project will be completed in one phase.

Vehicle Access:

The proposed building will not change any vehicle access.

Underground Utilities:

The renovation will not require additional utilities.

Maintenance Responsibilities:

The owner will be responsible for maintaining the development in accordance with all Town requirements and guidelines.

New Lighting

We are adding adjustable lights on the bottom of the new beams, under seating lighting, and wall washing lights at the green wall. We are including these cut sheets in the submittal.



VIEW TOWARDS NEW BEACH AREA



VIEW FROM EXISTING WALKWAY



VIEW OF FRONT/ RIGHT CORNER



VIEW TOWARDS NEW OVERHEAD DOOR

NEW OUTDOOR SPACE
AT THE FROSTY FROG

EXISTING SITE PHOTOS

LEE &
PARKER

architects

[home](#)

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Volume Lighting

SEARCH

[Chandelier](#)

[Home](#) > [Outdoor](#) > V8860

[Hall & Foyer](#)

[Mini-Pendant](#)

[Pendant](#)

[Close to Ceiling](#)

[Bath & Vanity](#)

[Wall Sconce](#)

[Outdoor](#)

[Energy Saving](#)

[Under Cabinet](#)

[Recessed](#)

[Track](#)

[Ceiling Fan](#)

[Glass and Shade](#)

[Download 2012 Catalog](#)

V8860



Item# V8860-5

Product Description

black
6½"W x 11"H x 5½"E
Frosted ribbed glass

[HOME](#) | [SEND EMAIL](#)

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Photographs and drawings herein and on each individual page are the property of Volume Lighting and may not be reproduced without written consent.



DL-FLEX-OD & DL-FLEX-ODHO

LED FLEXIBLE LINEAR WET LOCATION
DL-FLEX-OD STATIC SERIES

Type	B
Project	
Catalog No.	



DESCRIPTION

DL-FLEX-OD & DL-FLEX-ODHO is an outdoor lighting system featuring a variety of control options. Made of highly flexible material that can conform to most surfaces. For best results, make bends on center between the LEDs with a bend angle no less than 45 degrees.

SPECIFICATIONS

Beam Angle	120°
Input Voltage	24V DC
Lamp Life	50,000 hours
Dimensions (per section)	11-7/8"L x 1/2"W x 3/16"H
LEDs (per ft)	18
LED Spacing	5/8"
Operating Temperature *	-22°F - 140°F
Max Run †	DL-FLEX-OD : 30 ft
	DL-FLEX-ODHO : 20 ft
Min Run †	6 LEDs, ~4" (White, Blue, Green)
	9 LEDs, ~6" (Red, Yellow)
Mounting	Clips or Channel
Environment ‡	Dry, Damp, and Wet location
Certifications	US LISTED
Warranty	5 Years – see published warranty terms for detailed information.

* Exceeding the operating temperature values may damage the LEDs by reducing the lifespan, lumen output, and adversely impact color consistency. It is recommended adequate airflow and heatsinking be taken into consideration in the installation and application of this product. Improper thermal management may lead to premature product failure.

† Single runs can not exceed max run values. Cuts can only be made on the cutting mark. Can not be joined after cut. Use end cap and sealant after cut.

‡ This product cannot be submersed in water.

LUMEN DATA

Part Number	Color Temp *	Watts (per ft)	Lumens (per ft)	Efficacy (lm/W)
DL-FLEX-OD	Warm White	1.4	115	82
	Neutral White	1.4	120	86
	Cool White	1.4	125	89
DL-FLEX-ODHO	Warm White	3	185	62
	Neutral White	3	190	63
	Cool White	3	195	65

* Warm White: 3000-3400K, Neutral White: 3500-4000K, Cool White: 4500-5000K

FEATURES

- Low power consumption, low heat output.
- No UV/IR radiation emitted, no mercury.
- For a 90° bend or tighter, do so at the cutting mark.

APPLICATIONS

- Outdoor gardens
- Path and contour marking
- Outdoor display lighting
- Bathroom lighting
- Signage
- Accent and edge lighting
- Backlighting



www.jescolighting.com
support@jescolighting.com
Tech Support: 855.592.0029

6625 Traffic Ave
Glendale, NY 11385
Main Line: 800.527.7796
Fax Line: 855.592.0029

219 South 6th Ave
City of Industry, CA 91746
Main Line: 855.654.0110
Fax Line: 626.333.2955

Rev 3
10/3/2012

Specifications subject to change without notice.



DL-FLEX-OD & DL-FLEX-ODHO

LED FLEXIBLE LINEAR WET LOCATION
DL-FLEX-OD STATIC SERIES

Type	
Project	
Catalog No.	

ORDERING INFORMATION

Step	Length (ft)	Model	Color
1 Specify the fixture and length	1 to 30	DL-FLEX-OD	-WW (3000 – 3400K)
		DL-FLEX-ODHO	-CW (4500 – 5000K)
			-NW* (3500 – 4000K)
			-R† Red
			-Y† Yellow
			FG† Green
			-B† Blue

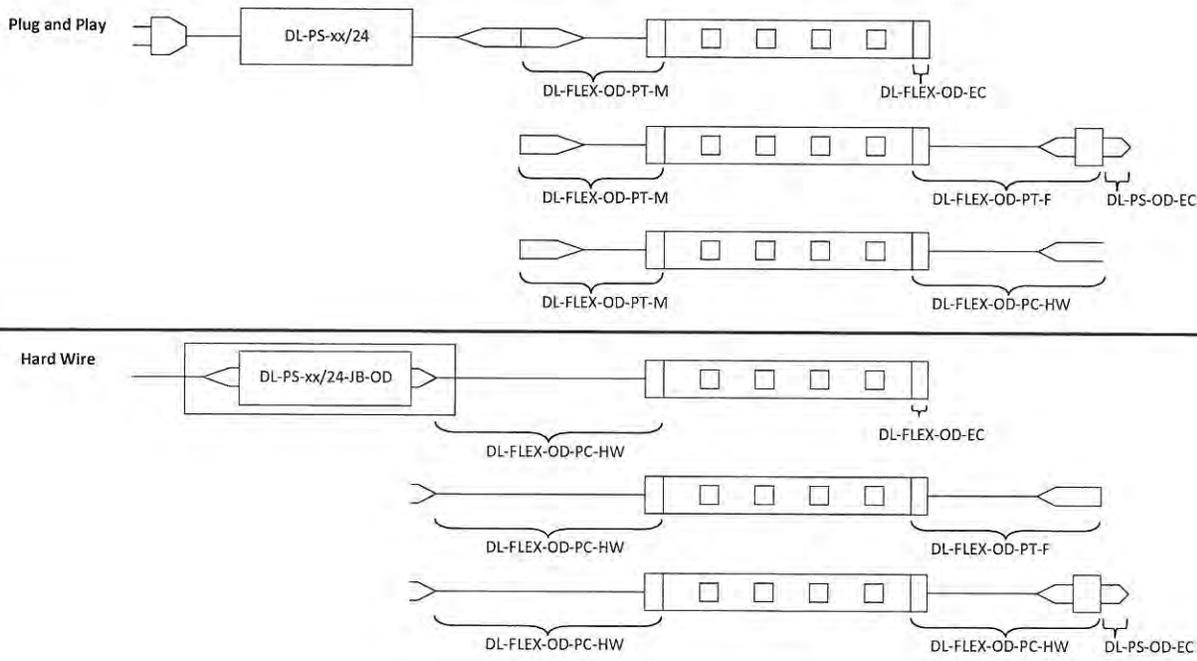
Step	Input Type	Description	Application
2 Specify the input connection	DL-FLEX-OD-PT-M	Wet location male connector	Plug and Play
	DL-FLEX-OD-PC-HW	Bare wire	Hard Wire

Step	Output Type	Description	Application
3 Specify the output connection	DL-FLEX-OD-PT-F	Wet location female connector	Plug and Play
	DL-PS-OD-EC	Wet location female connector end cap	Terminate open connector
	DL-FLEX-OD-PC-HW	Bare wire	Hard Wire
	DL-FLEX-OD-EC	End Cap	End the run

* Custom order. Consult factory for availability.
† Not available for DL-FLEX-ODHO

Example	QTY	Part Number	Order Description
	12	DL-FLEX-OD-WW	One 12 ft run of Warm White FLEX-OD with plug and play connectors.
	1	DL-FLEX-OD-PT-M	
	1	DL-FLEX-OD-PT-F	
	18	DL-FLEX-OD-WW	One 18 ft run of Warm White FLEX-OD with an input connector and end cap.
	1	DL-FLEX-OD-PT-M	
	1	DL-FLEX-OD-EC	

WIRING DIAGRAMS – For reference purposes only. Not for installation. Not to scale.



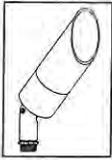
www.jescolighting.com
support@jescolighting.com
Tech Support: 855.592.0029

6625 Traffic Ave
Glendale, NY 11385
Main Line: 800.527.7796
Fax Line: 855.592.0029

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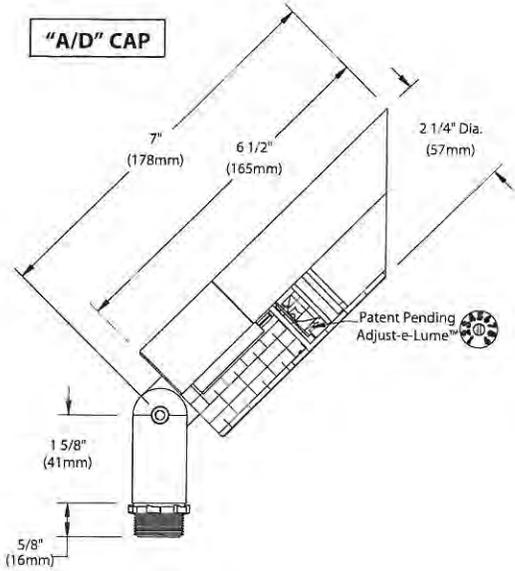
BKSSL
SOLID STATE LIGHTING

the power of  with **adjust-e-lume™** TECHNOLOGY

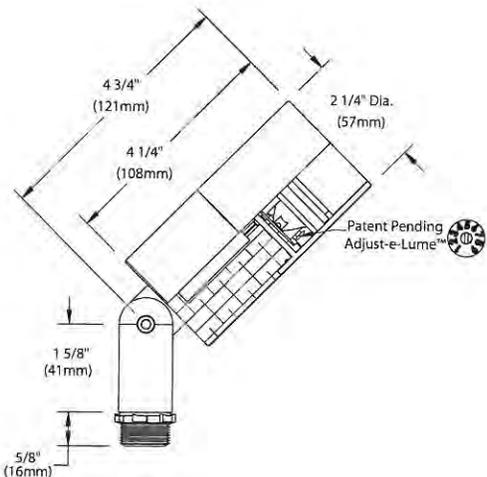
DELTA STAR™

PROJECT:	
TYPE:	

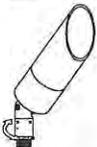
"A/D" CAP



"B/E" CAP



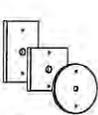
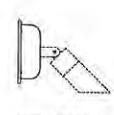
360 SL™



Horizontal Rotation
(Optional 360SL™ Knuckle)

Accessories (Configure separately)

Mounting:



Remote Transformers:



All dimensions indicated on this submittal are nominal. Contact Technical Sales if you require more stringent specifications.

SPECIFICATIONS

GreenSource Initiative™

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced onsite. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult www.bklighting.com/greensource for program requirements.

Materials

Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 360) or Stainless Steel (Type 304).

Body

Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. Integral knuckle for maximum mechanical strength. High temperature, silicone 'O' Ring provides water-tight seal.

Knuckle

The LOCK™ (Locking 'O' Ring Compression Knuckle) is comprised of two components. The first is integral to the body and features an interior, machined taper. The second is machined from solid billet and features a second, reverse angle taper. The resultant mechanical taper-lock allows a full 180° vertical adjustment without the use of serrated teeth, which inherently limit aiming. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lb. static load prior to movement to ensure decades of optical alignment. 1/2" pipe thread for mounting.

Optional 360SL™ additionally provides biaxial source control with 360° horizontal rotation in addition to vertical adjustment.

Cap

Fully machined. Accommodates [1] lens or louver media. Choose from 45° cutoff ('A' or 'D'), or 1" deep bezel with 90° cutoff ('B' or 'E') cap styles. 'A' and 'B' caps include weep-hole for water and debris drainage. 'D' and 'E' caps exclude weep-hole and are for interior use only.

Lens

Shock resistant, tempered, glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment. Specify soft focus (#12) or rectilinear (#13) lens.

BKSSL™

Integrated solid state system with 'e' technology is scalable for field upgrade. Modular design with electrical quick disconnects permit field maintenance. High power, forward throw source complies with ANSI C78.377 binning requirements. Exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components.

Integral non-dimming driver. Minimum 50,000 hour rated life at 70% of initial lumens (L70). BKSSL technology provides long life, significant energy reduction and exceptional thermal management.

Adjust-e-Lume™ (Pat. Pending)

Integral electronics allows dynamic lumen response at the individual fixture. Indexed (100% to 25% nom.) lumen output. Maintains output at desired level or may be changed as conditions require. Specify factory preset output intensity.

Optics

Interchangeable OPTIKIT™ modules permit field changes to optical distribution. Color-coded for easy reference: Narrow Spot (NSP) = Red. Spot (SP) = Green. Medium Flood (MFL) = Yellow. Wide Flood = Blue.

Remote Transformer

For use with 12VAC  remote transformer.

Wiring

Teflon® coated, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

Hardware

Tamper-resistant, stainless steel hardware. LOCK™ aiming screw is additionally black oxide treated for additional corrosion resistance.

Finish

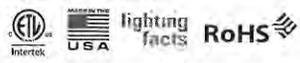
StarGuard® (Pat. Pend.), a RoHs compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish. Stainless steel components are available in handcrafted metal finish. (Brushed finish for interior use only).

Warranty

5 year limited warranty.

Certification and Listing

ITL tested to IESNA LM-79. Lighting Facts Registration per USDOE (www.lightingfacts.com). ETL Listed to ANSI/UL Standard 1838 and UL Standard 8750. Certified to CAN/CSA Standard C22.2 No. 9, CSA TIL B-58B. RoHs compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. Suitable for installation within 4' of the ground. IP66 Rated. Made in USA.



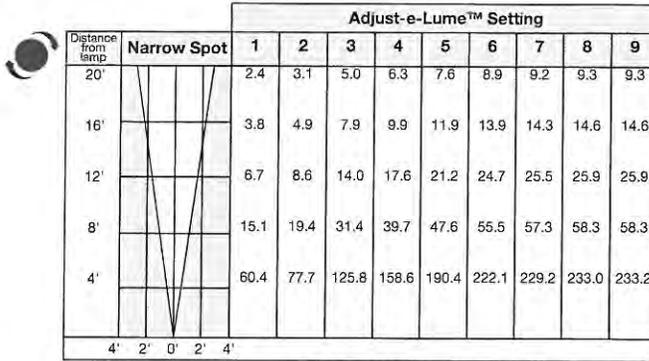
*Teflon is a registered trademark of DuPont Corporation. *Energy Star is a registered trademark of the United States Environmental Protection Agency.

B-K LIGHTING	40429 Brickyard Drive • Madera, CA 93636 • USA 559.438.5800 • FAX 559.438.5900 www.bklighting.com • info@bklighting.com	SUBMITTAL DATE	DRAWING NUMBER
		12-13-11	SUB000930

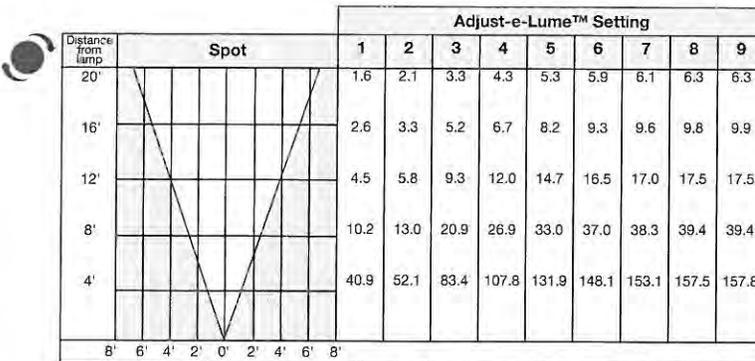
Select OptiKit™ for desired distribution

- RED  **Narrow Spot (NSP)**
- GREEN  **Spot (SP)**
- YELLOW  **Medium Flood (MFL)**
- BLUE  **Wide Flood (WFL)**

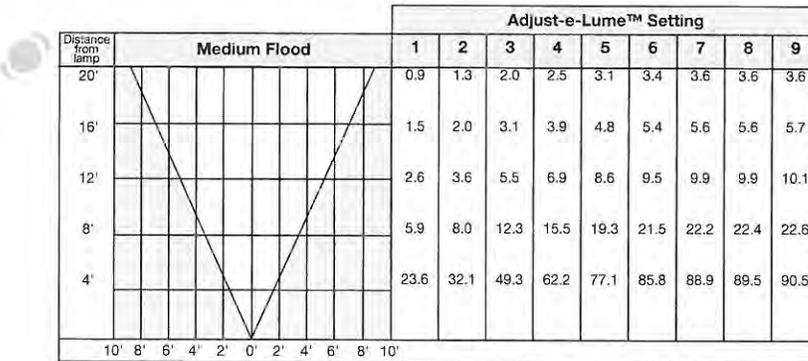
Set adjust-e-lume™ Dial to desired output



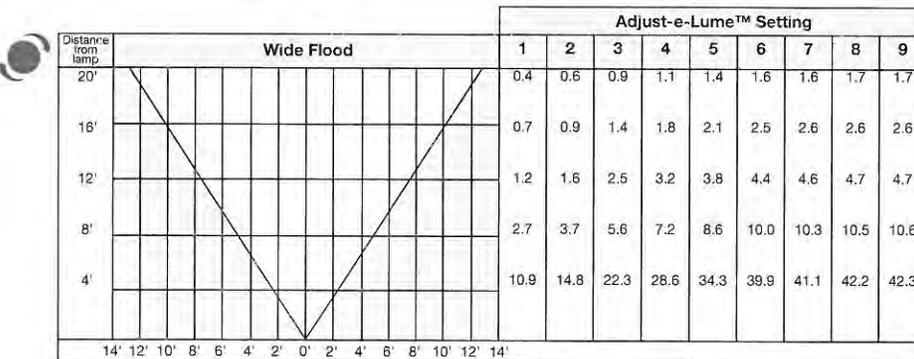
Note: If using No. 11 honeycomb baffle multiply footcandle values by .80



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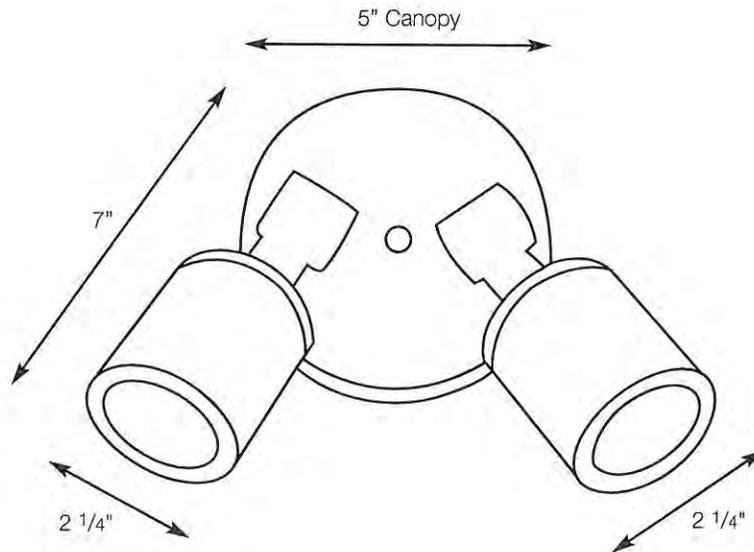
TYPE "D"



SPECIFICATION SHEET

SPJ51-12

Directional Down Light



MODEL: SPJ51-12
MATERIAL : Solid Brass
FINISH : Specify
ELECTRICAL : 12v
SOCKET : All Weather Ceramic
LAMP : MR-16 50W Max. (not included)
MOUNTING : Surface Canopy Mounted



DRAWN BY: MMC

BASE DESIGN: SPJ

DATE: 01-10-10

SPJ LIGHTING INC.

2107 Chico Avenue
South El Monte, CA 91733
(800) 469-3637 FAX: (626) 433-4839

TYPE "F"



Forever Bright

SPECIFICATION FEATURES



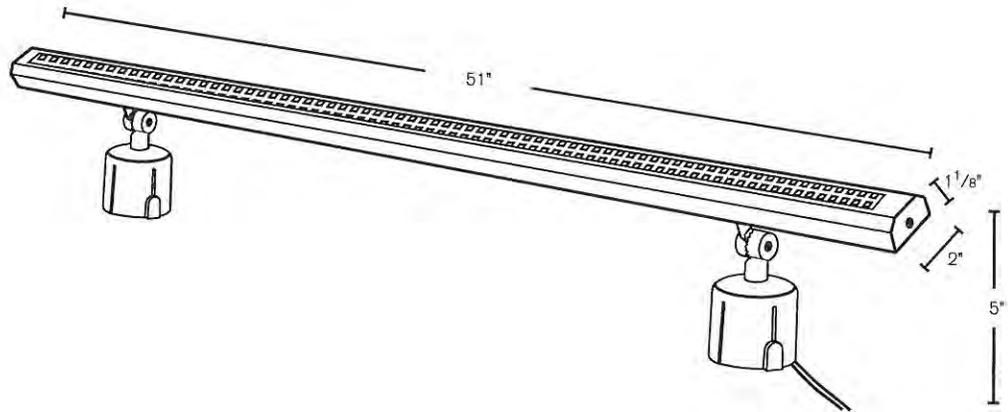
Model: **SPJ-LSL-48**

Sign Liter

- Finish:** Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".
- Trims:** Solid Brass or Copper
- Lens:** Opal white UV rated or clear sandblasted
- Housing:** Solid brass
- Electrical:** Available in 9v-18v, 120v & 277v
- Labels:** ETL Standard Wet Label
C-ETL

DESCRIPTION

- Model#:** SPJ-LSL-48
- Lamp:** 16W-FB-LED Strip
- Color Temp:** 3000 k
- Electrical:** 9-18V, 120V, 277V



ORDERING INFORMATION



WWW.SPJLIGHTING.COM



From: [Forest Beach Owners Association](#)
To: [REDACTED]; [Horsman Donna](#); [Ray Jennifer](#)
Subject: Frosty Frog - ARB Approval - New Decking
Date: Monday, February 18, 2013 8:07:06 PM

Patrick - The Forest Beach Owners' Association ARB has reviewed your submission for the improvements related to the removal and replacement of the existing exterior decking at The Frosty Frog in Coligny Plaza, including the addition of new decking. The Association has reviewed and approved this project as submitted based upon the documents supplied to us with our application dated 2/6/13.

Approval for the removal of trees, as outlined on the plans and in our meeting of 2/11/13 is approved subject to the approval by The Town of Hilton Head Island and any mitigation measures they may require.

We will not be issuing any other written permits for this project unless specifically requested. This email, or a copy of it, will serve as the Associations permit and approval for this project.

If you have any questions, please contact me at 843-785-5565.

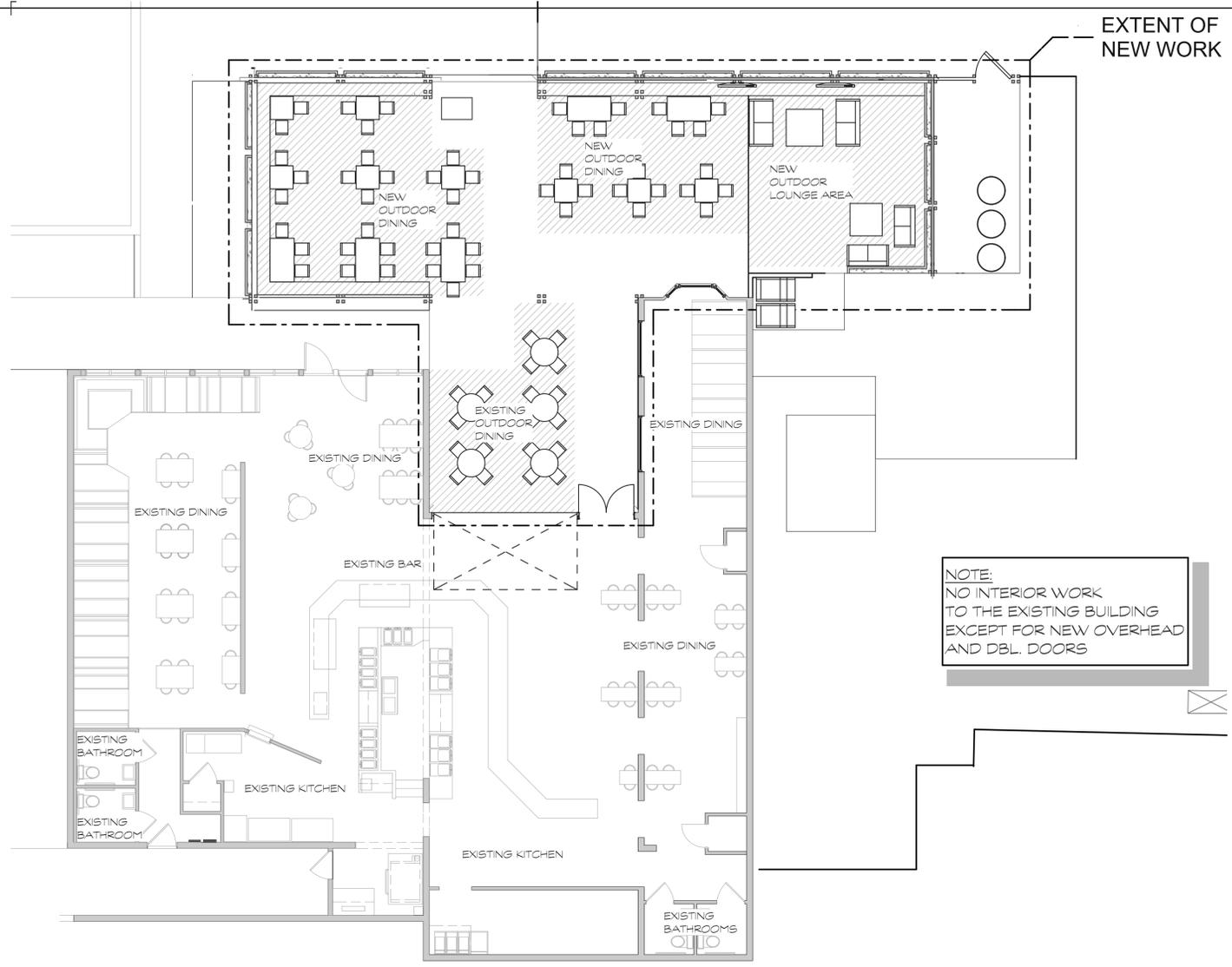
Please notify us in writing (email) when this project is complete so that we may do a final inspection and close our records on this project.

Any changes to the plans submitted must be approved, in writing, by the Association prior to their implementation. Failure to do so may result in a covenant violation.

If you have any questions, please contact me at 843-785-5565 or via email.

Please forward a copy of this email to your architect for their records as I do not have their email address. Please also provide a copy of this approval to your contractor and have a copy available at the site during construction.

John D. Snodgrass,
Executive Director,
Forest Beach Owners' Association, Inc.



CODE ANALYSIS:

OCCUPANCY CALCULATIONS

EXISTING INTERIOR SPACES

USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
A2 ASSEMBLY	5 NET (STANDING)	360	72
A2 ASSEMBLY	15 NET (TABLES AND CHAIRS)	1,245	83
KITCHEN	200 GROSS	1,185	6

EXISTING OUTDOOR SPACE

USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
A2 ASSEMBLY	15 NET (TABLES AND CHAIRS)	290	20

NEW OUTDOOR SPACE

USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
A2 ASSEMBLY	15 NET (TABLES AND CHAIRS)	1265	84
TOTAL			265

OCCUPANCY KEY

A2 ASSEMBLY (TABLES & CHAIRS)	[Hatched Pattern]
-------------------------------	-------------------

PLUMBING CALCULATION *NOTE: SEE 403.3 FOR EQUAL DIVISION OF BATHROOMS

OCCUPANCY	TOTAL	MALE	FEMALE	LAV.
A3 ASSEMBLY	265	2	2	2

DESIGN CRITERIA

DESCRIPTON:
 WE ARE ADDING A LARGER FRONT DECK AND NEW WOOD TRELLIS STRUCTURE TO HOUSE A CANVAS RETRACTABLE ROOF TO EXISTING 1 STORY WOOD STRUCTURE.

Design Criteria for Code Compliance as of: IBC 2006
 Occupancy: Assembly
 Type of Construction: 5 Protected/Unprotected
 Sprinkler: YES

LEE & PARKER

architects
 Post Office Box 5010
 Hilton Head Island
 South Carolina 29938
 843.785.5171

FROSTY FROG EXTERIOR DECK ADDITION

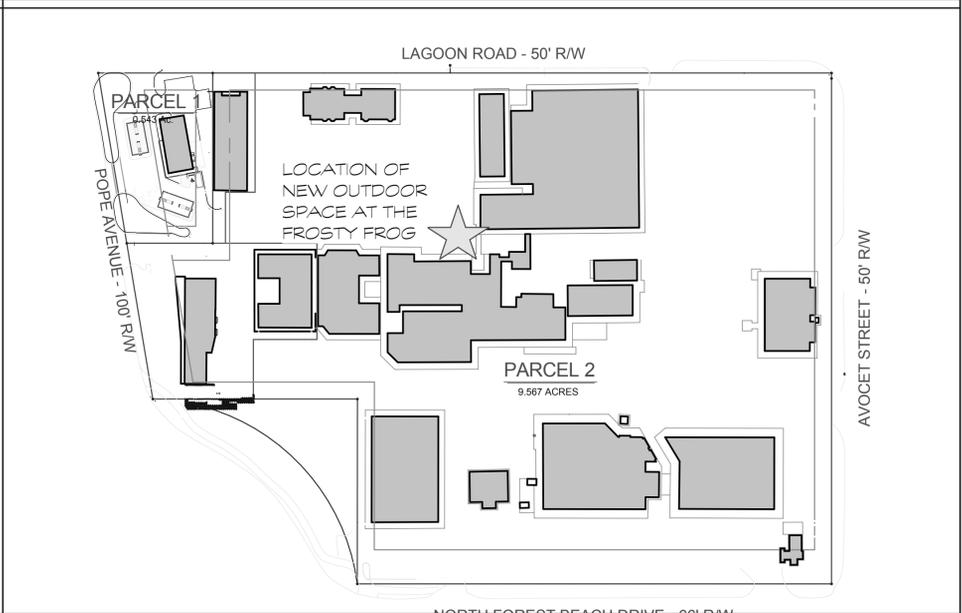
INDEX OF DRAWINGS

- ARCHITECTURAL:**
 C-0 COVER SHEET
 A-0 FRAMING PLAN/ DEMO PLAN
 A-1 FLOOR PLAN
 A-2 ELEVATIONS
 A-3 DECK DETAILS

ELECTRICAL:

- E-1 POWER PLAN
 E-2 LIGHTING PLAN

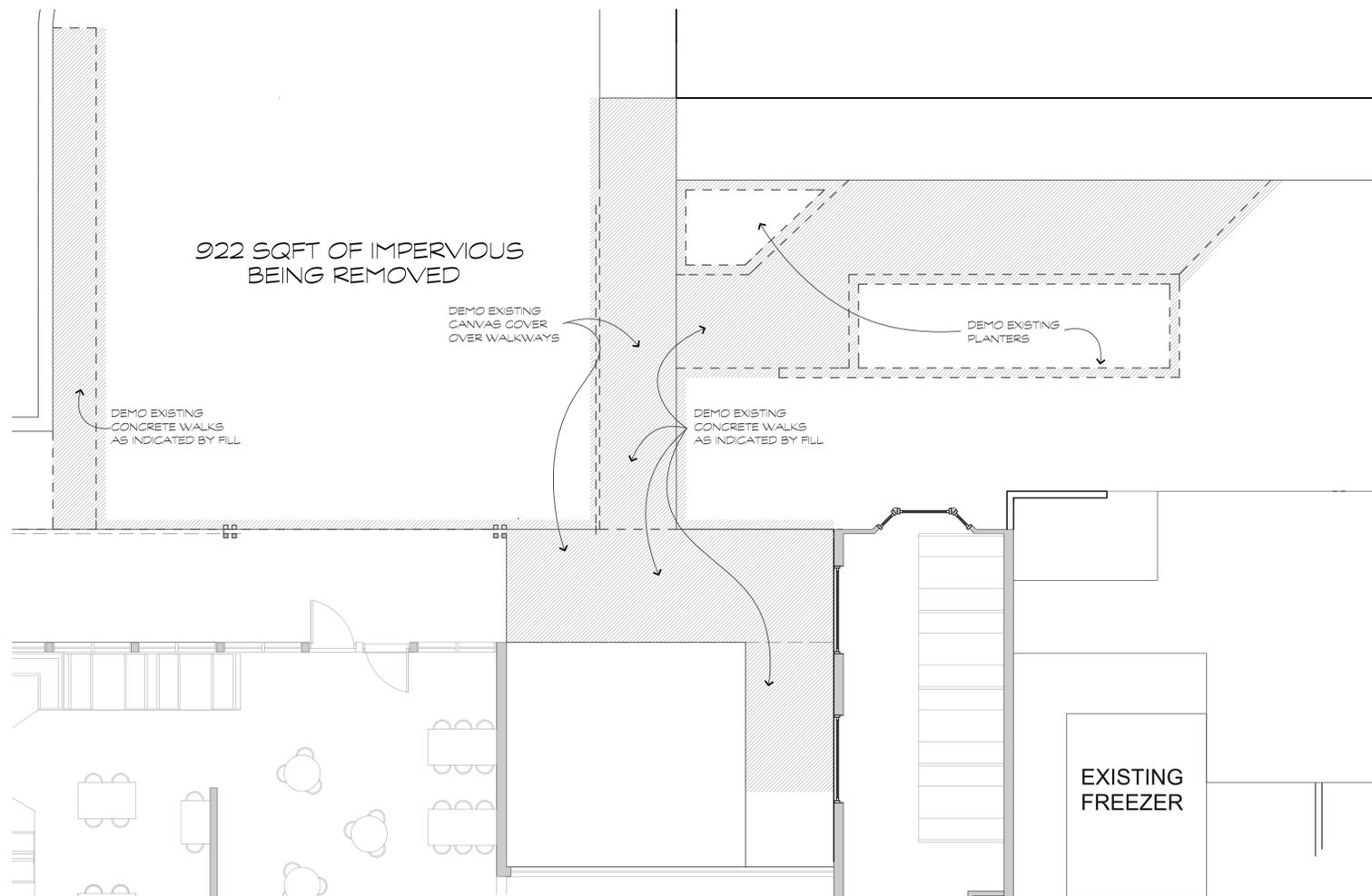
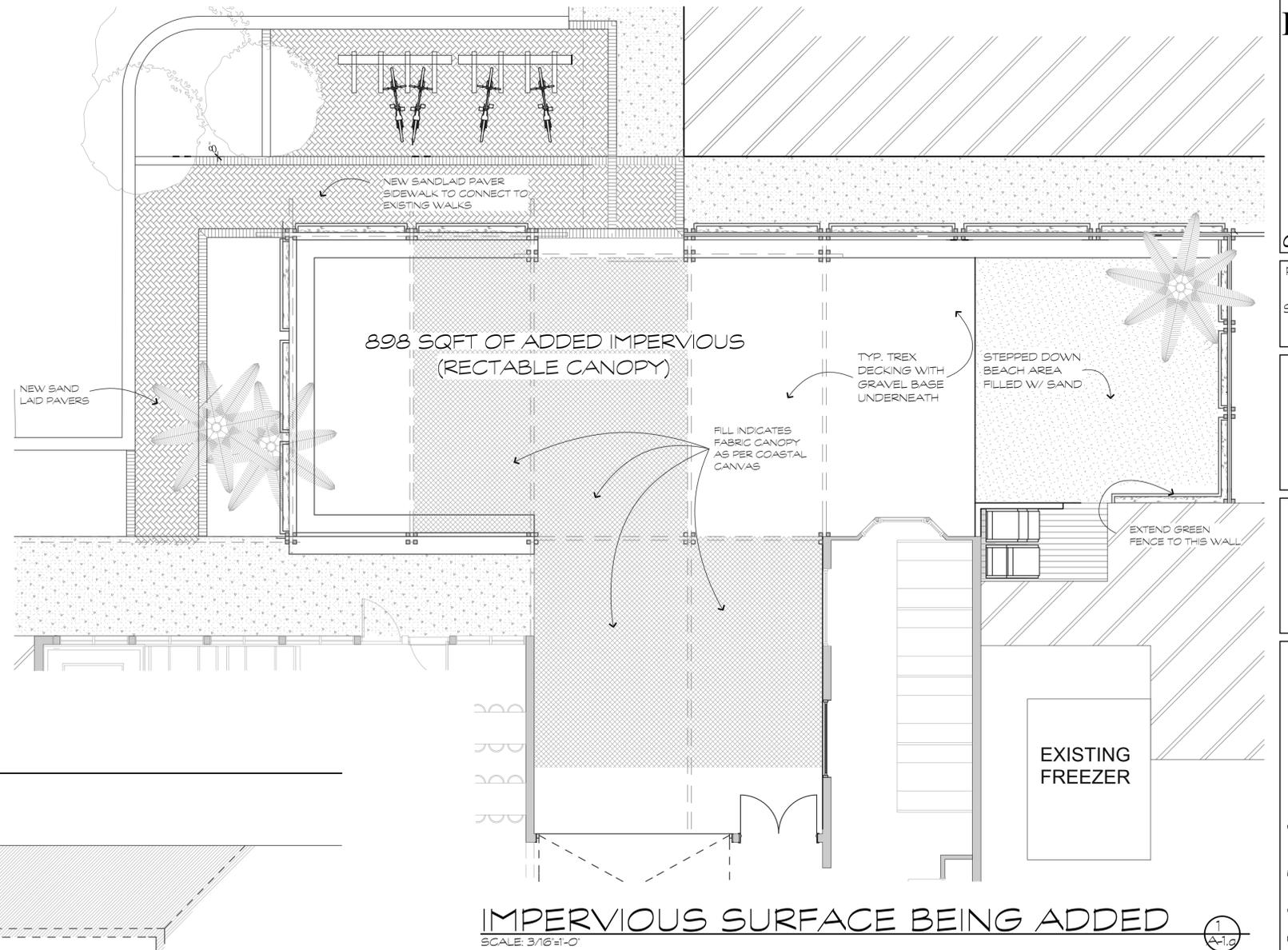
VICINITY MAP



REVISIONS	DATE

DRAWN BY: TP
 CHECKED BY: TP
 DATE OF ISSUE: 1/24/13
 SCALE:
 JOB NO.
 SHEET
C.0
 OF SHEETS

A New Outdoor Space for:
The Frosty Frog
 Coligny Plaza
 Hilton Head Island, S. C.



A New Outdoor Space for:
The Frosty Frog
Coligny Plaza
Hilton Head Island, S. C.

REVISIONS	DATE

DRAWN BY
TP

CHECKED BY
TP

DATE OF ISSUE:
1/24/13

SCALE

JOB NO.

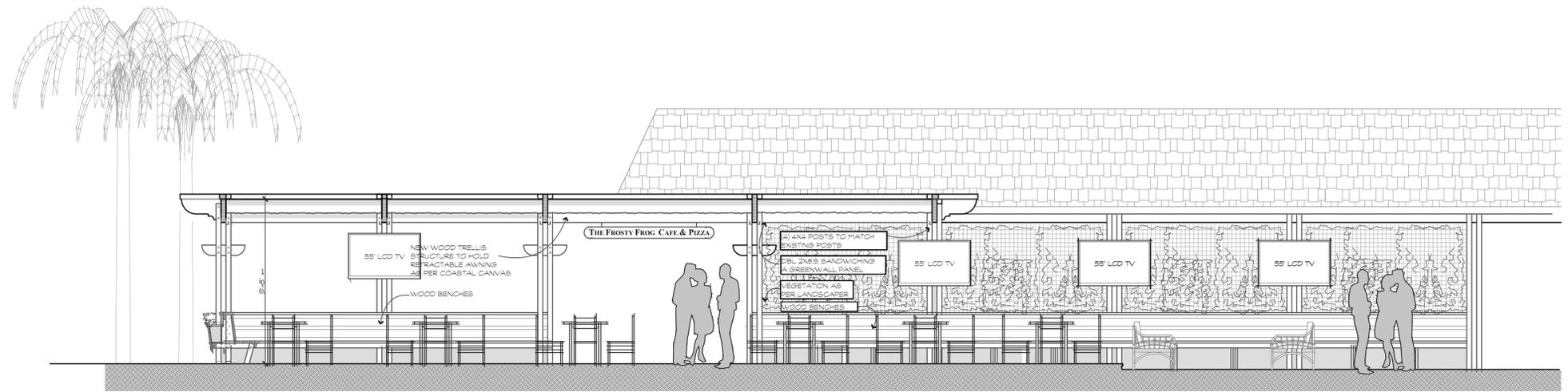


Corradi
OUTDOOR LIVING SPACE



Corradi
OUTDOOR LIVING SPACE

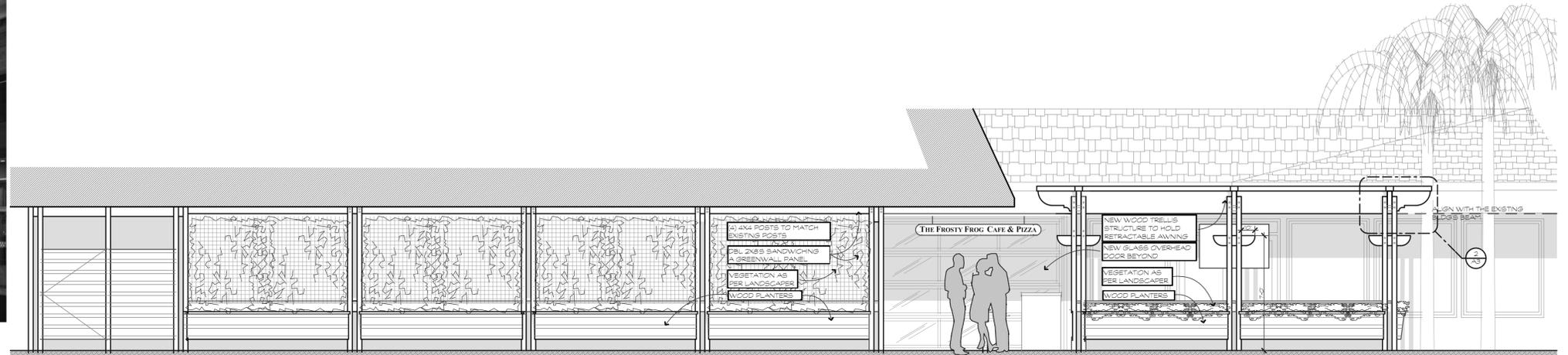
CANOPY FABRIC EXAMPLE



GREEN WALL (BEACH SIDE)

SCALE: 1/4"=1'-0"

1
A-2



GREEN WALL (WALKWAY SIDE)

SCALE: 1/4"=1'-0"

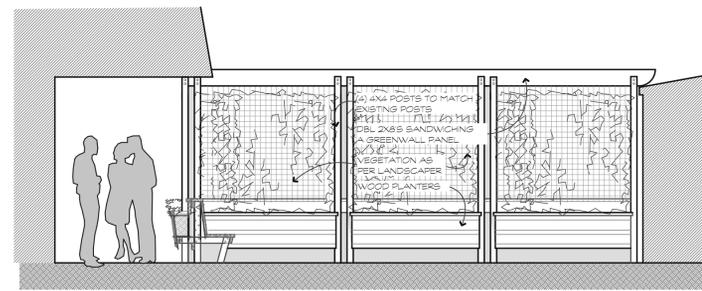
2
A-2



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

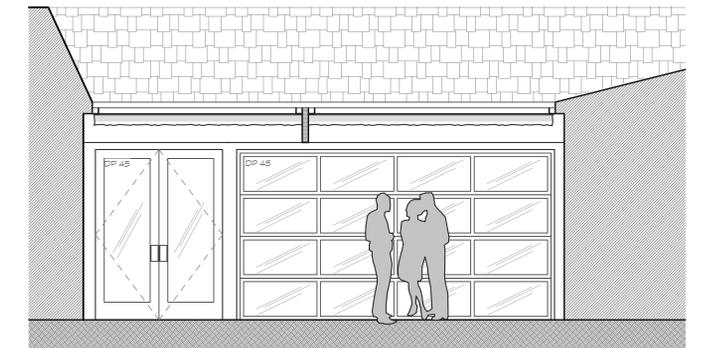
3
A-2



END WALL ELEVATION

SCALE: 1/4"=1'-0"

4
A-2



GARAGE DOOR ELEVATION

SCALE: 1/4"=1'-0"

5
A-2

LEE &
PARKER

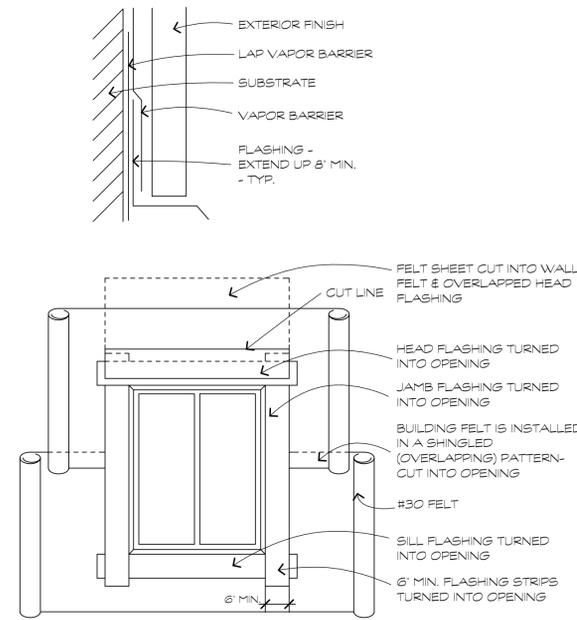
architects

Post Office Box 5010
Hilton Head Island
South Carolina 29928
843.785.5171

A New Outdoor Space for:
The Frosty Frog
Coligny Plaza
Hilton Head Island, S. C.

REVISIONS	DATE

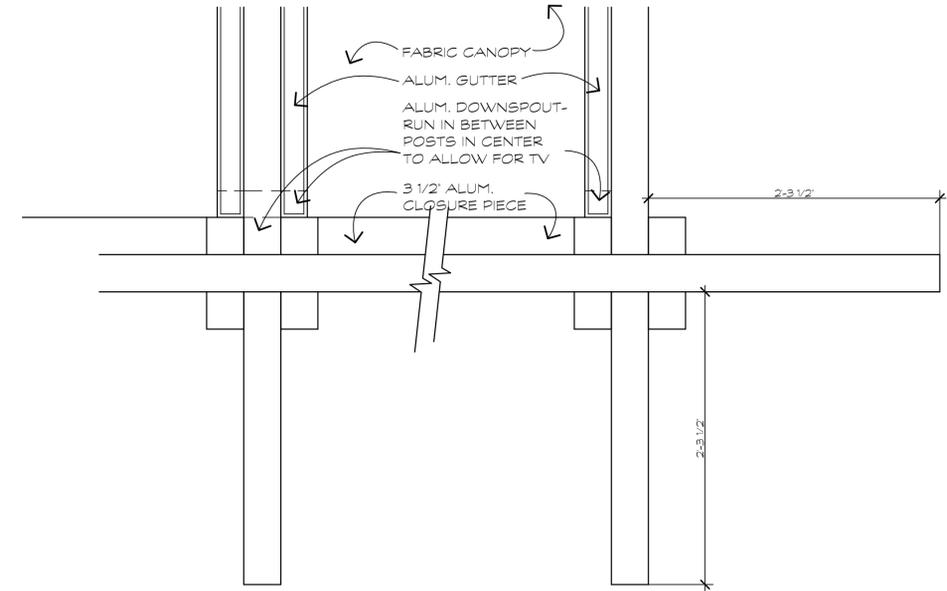
DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE:
1/24/13
SCALE
JOB NO.
SHEET
A.2
OF SHEETS



FLASHING DETAIL

SCALE: N.T.S.

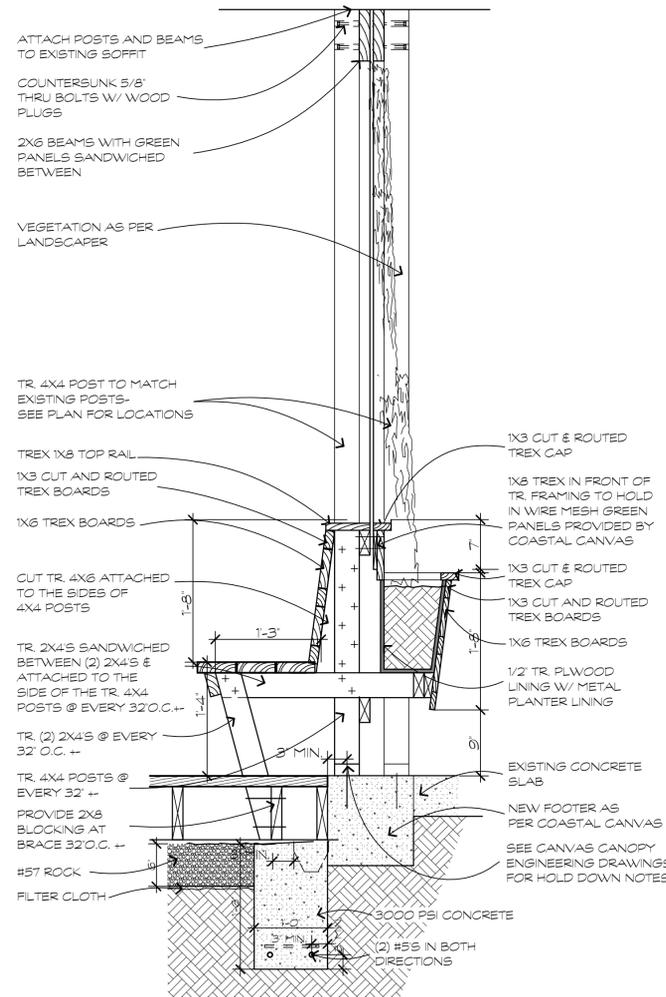
4
A-3



POST/ BEAM PLAN

SCALE: 1 1/2"=1'-0"

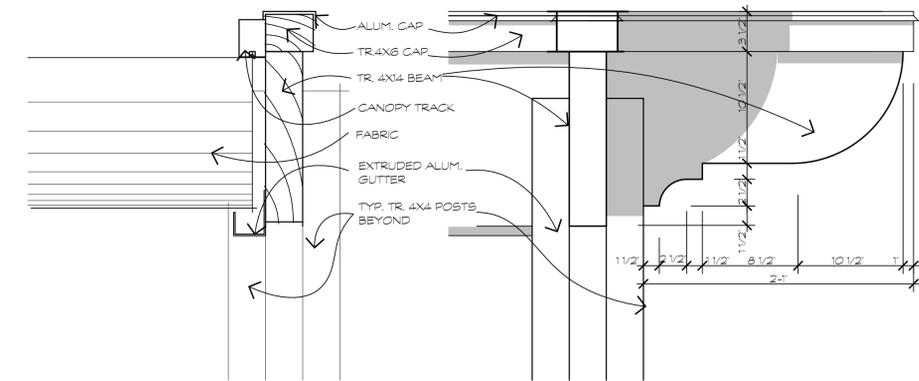
1
A-3



BENCH/GREEN WALL DETAIL

SCALE: 1"=1'-0"

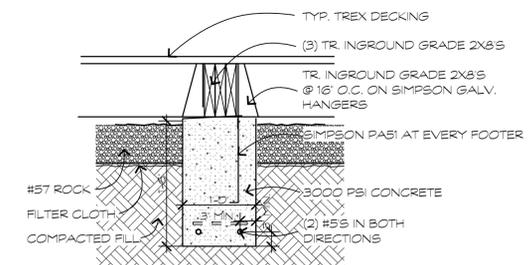
5
A-3



POST/BEAM SECTION & ELEV.

SCALE: 1 1/2"=1'-0"

2
A-3



TYP. DECK FOOTER

SCALE: 1"=1'-0"

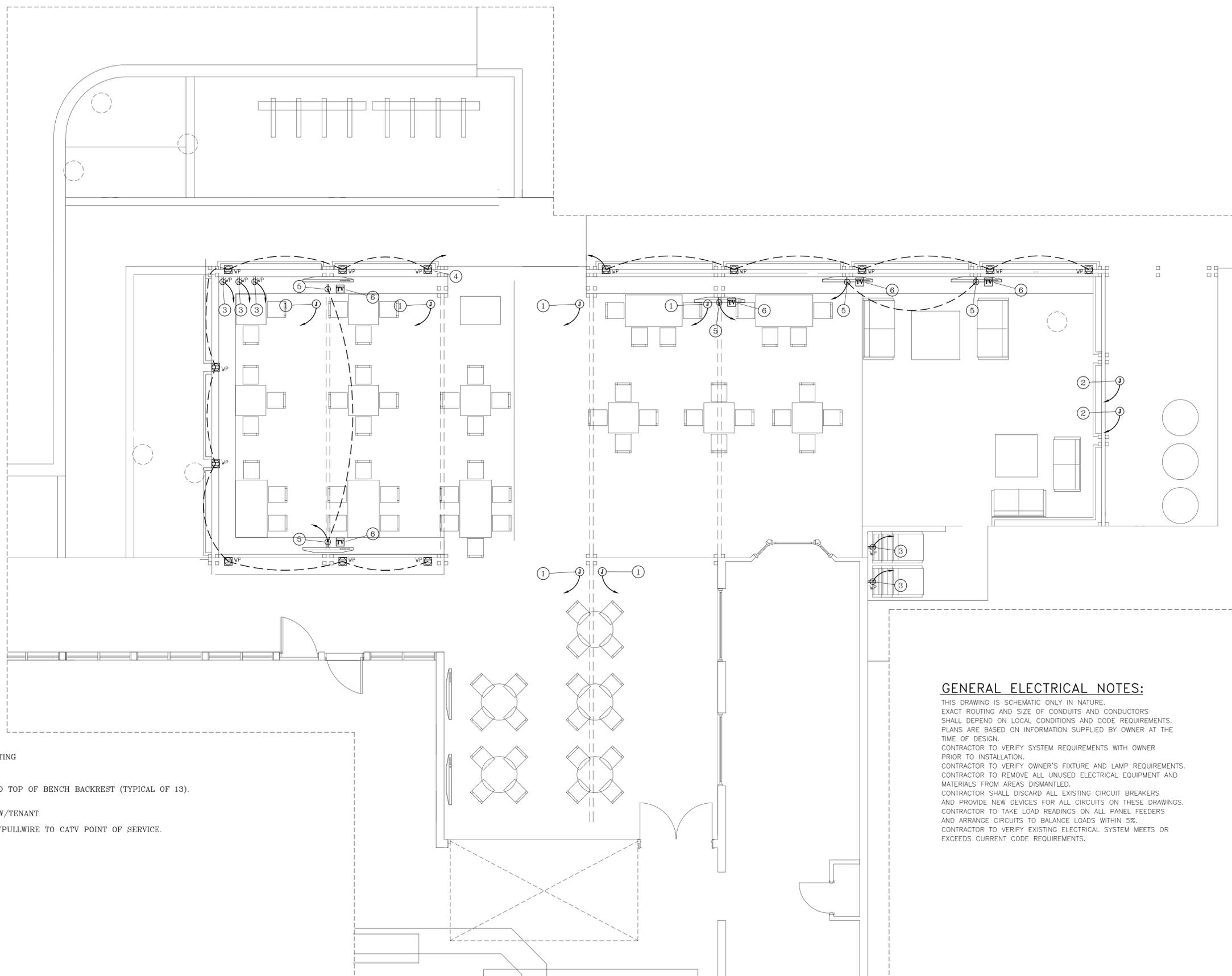
3
A-3

A New Outdoor Space for:
The Frosty Frog
Coligny Plaza
Hilton Head Island, S. C.

REVISIONS	DATE

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE:
1/24/13
SCALE
JOB NO.
SHEET
A.3
OF SHEETS

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	208 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLEX RECEPTACLE
	LINEAR LIGHT FIXTURE
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	JUNCTION BOX
	FLOOR DUPLEX RECEPT.
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE



NOTES (THIS SHEET ONLY):

KEYED NOTES DESIGNATED BY ○

- ① JUNCTION BOX FOR AWNING
- ② JUNCTION BOX FOR FUTURE LANDSCAPE LIGHTING
- ③ DEDICATED CONVENIENCE RECEPTACLE
- ④ WATERPROOF FLOOR RECEPTACLE MOUNTED TO TOP OF BENCH BACKREST (TYPICAL OF 13).
COORDINATE LOCATION W/TENANT
- ⑤ RECEPTACLE FOR TV. COORDINATE LOCATION W/TENANT
- ⑥ CABLE TV OUTLET—PROVIDE 3/4" CONDUIT W/PULLWIRE TO CATV POINT OF SERVICE.
COORDINATE LOCATION W/TENANT

GENERAL ELECTRICAL NOTES:

THIS DRAWING IS SCHEMATIC ONLY IN NATURE. EXACT ROUTING AND SIZE OF CONDUITS AND CONDUCTORS SHALL DEPEND ON LOCAL CONDITIONS AND CODE REQUIREMENTS. PLANS ARE BASED ON INFORMATION SUPPLIED BY OWNER AT THE TIME OF DESIGN. CONTRACTOR TO VERIFY SYSTEM REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION. CONTRACTOR TO VERIFY OWNER'S FIXTURE AND LAMP REQUIREMENTS. CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL EQUIPMENT AND MATERIALS FROM AREAS DISMANTLED. CONTRACTOR SHALL DISCARD ALL EXISTING CIRCUIT BREAKERS AND PROVIDE NEW DEVICES FOR ALL CIRCUITS ON THESE DRAWINGS. CONTRACTOR TO TAKE LOAD READINGS ON ALL PANEL FEEDERS AND ARRANGE CIRCUITS TO BALANCE LOADS WITHIN 5%. CONTRACTOR TO VERIFY EXISTING ELECTRICAL SYSTEM MEETS OR EXCEEDS CURRENT CODE REQUIREMENTS.

ELECTRICAL POWER DISTRIBUTION PLAN

1/4"=1'-0"

CORPORATE SEAL

PROFESSIONAL SEAL

DESIGNED BY: RL
CAD BY: RL
CHECKED BY: JRO

ENGINEERED SYSTEMS

55 NEW ORLEANS ROAD
SUITE 200
HILTON HEAD ISLAND, SC 29928
843/686-5300

A AN ADDITION FOR:

FROSTY FROG CAFE
HILTON HEAD ISLAND, SOUTH CAROLINA

DESCRIPTION
DESIGN DEVELOPMENT
ISSUED FOR PERMITTING

DATE
01/18/13
01/23/13

REVISION#
0
1

PROJECT NUMBER
213101
DRAWING

E-1

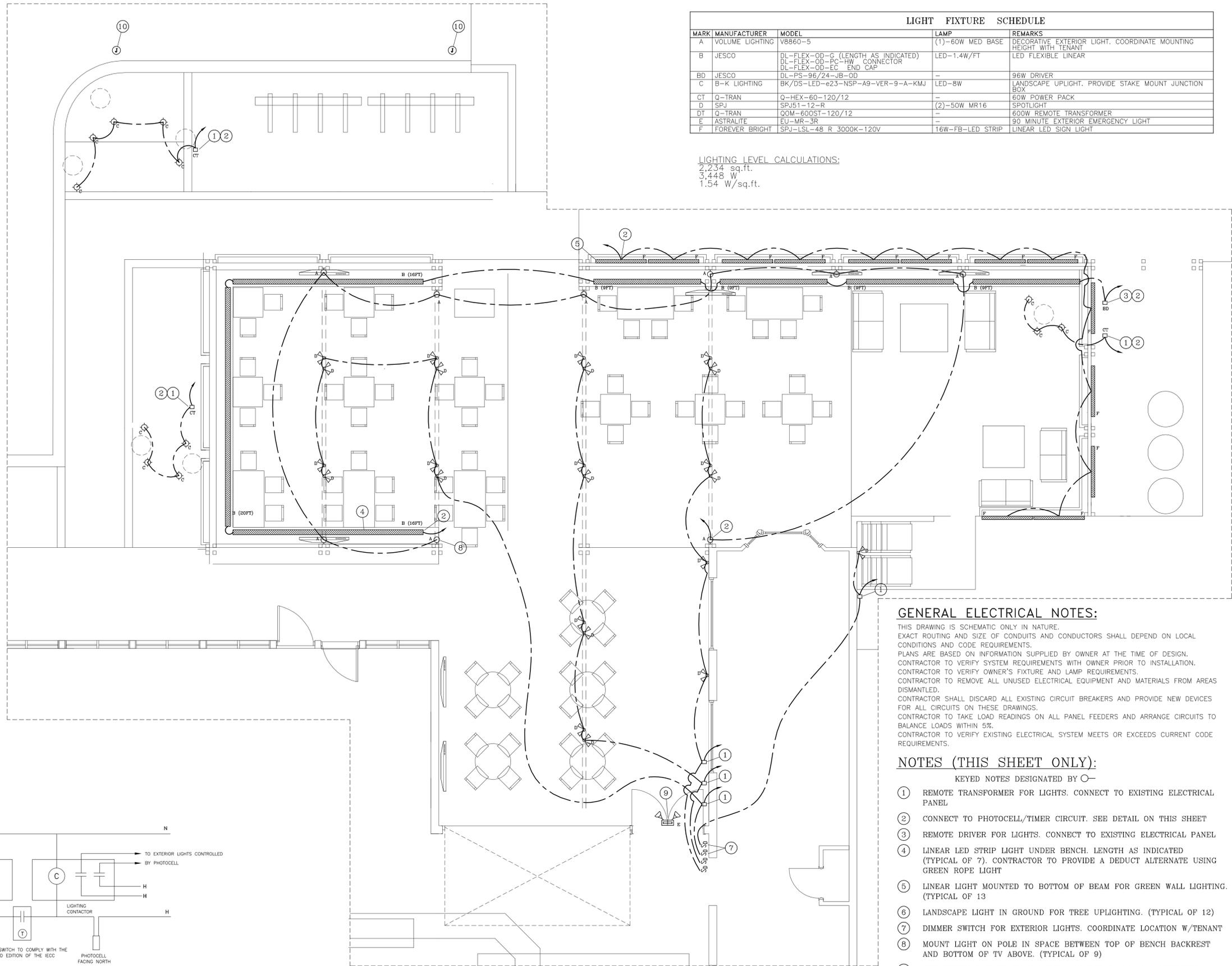
SHEET NUMBER

1 OF 2

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	208 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLEX RECEPTACLE
	LINEAR LIGHT FIXTURE
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	JUNCTION BOX
	FLOOR DUPLEX RECEPT.
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE

LIGHT FIXTURE SCHEDULE				
MARK	MANUFACTURER	MODEL	LAMP	REMARKS
A	VOLUME LIGHTING	V8860-5	(1)-60W MED BASE	DECORATIVE EXTERIOR LIGHT. COORDINATE MOUNTING HEIGHT WITH TENANT
B	JESCO	DL-FLEX-OD-C (LENGTH AS INDICATED) DL-FLEX-OD-PC-HW CONNECTOR DL-FLEX-OD-EC END CAP	LED-1.4W/FT	LED FLEXIBLE LINEAR
BD	JESCO	DL-PS-96/24-JB-OD	-	96W DRIVER
C	B-K LIGHTING	BK/DS-LED-e23-NSP-A9-VER-9-A-KMJ	LED-8W	LANDSCAPE UPLIGHT. PROVIDE STAKE MOUNT JUNCTION BOX
CT	Q-TRAN	Q-HEX-60-120/12	-	60W POWER PACK
D	SPJ	SPJ51-12-R	(2)-50W MR16	SPOTLIGHT
DT	Q-TRAN	QOM-600ST-120/12	-	600W REMOTE TRANSFORMER
E	ASTRALITE	EU-MR-3R	-	90 MINUTE EXTERIOR EMERGENCY LIGHT
F	FOREVER BRIGHT	SPJ-LSL-48 R 3000K-120V	16W-FB-LED STRIP	LINEAR LED SIGN LIGHT

LIGHTING LEVEL CALCULATIONS:
 2,234 sq.ft.
 3,448 W
 1.54 W/sq.ft.

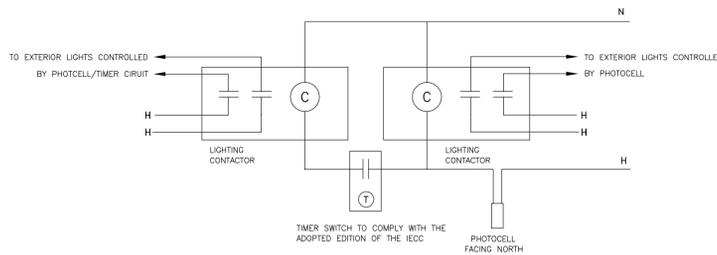


GENERAL ELECTRICAL NOTES:

THIS DRAWING IS SCHEMATIC ONLY IN NATURE. EXACT ROUTING AND SIZE OF CONDUITS AND CONDUCTORS SHALL DEPEND ON LOCAL CONDITIONS AND CODE REQUIREMENTS. PLANS ARE BASED ON INFORMATION SUPPLIED BY OWNER AT THE TIME OF DESIGN. CONTRACTOR TO VERIFY SYSTEM REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION. CONTRACTOR TO VERIFY OWNER'S FIXTURE AND LAMP REQUIREMENTS. CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL EQUIPMENT AND MATERIALS FROM AREAS DISMANTLED. CONTRACTOR SHALL DISCARD ALL EXISTING CIRCUIT BREAKERS AND PROVIDE NEW DEVICES FOR ALL CIRCUITS ON THESE DRAWINGS. CONTRACTOR TO TAKE LOAD READINGS ON ALL PANEL FEEDERS AND ARRANGE CIRCUITS TO BALANCE LOADS WITHIN 5%. CONTRACTOR TO VERIFY EXISTING ELECTRICAL SYSTEM MEETS OR EXCEEDS CURRENT CODE REQUIREMENTS.

NOTES (THIS SHEET ONLY):

- KEYED NOTES DESIGNATED BY ○
- REMOTE TRANSFORMER FOR LIGHTS. CONNECT TO EXISTING ELECTRICAL PANEL
 - CONNECT TO PHOTOCELL/TIMER CIRCUIT. SEE DETAIL ON THIS SHEET
 - REMOTE DRIVER FOR LIGHTS. CONNECT TO EXISTING ELECTRICAL PANEL
 - LINEAR LED STRIP LIGHT UNDER BENCH. LENGTH AS INDICATED (TYPICAL OF 7). CONTRACTOR TO PROVIDE A DEDUCT ALTERNATE USING GREEN ROPE LIGHT
 - LINEAR LIGHT MOUNTED TO BOTTOM OF BEAM FOR GREEN WALL LIGHTING. (TYPICAL OF 13)
 - LANDSCAPE LIGHT IN GROUND FOR TREE UPLIGHTING. (TYPICAL OF 12)
 - DIMMER SWITCH FOR EXTERIOR LIGHTS. COORDINATE LOCATION W/TENANT
 - MOUNT LIGHT ON POLE IN SPACE BETWEEN TOP OF BENCH BACKREST AND BOTTOM OF TV ABOVE. (TYPICAL OF 9)
 - NEW EXTERIOR EMERGENCY LIGHT. CONNECT TO LOCAL UNSWITCHED LIGHTING CIRCUIT
 - JUNCTION BOX FOR OWNER PROVIDED POLE LIGHT. CONNECT TO EXISTING CIRCUIT



EXTERIOR LIGHTING PHOTOCELL/TIMER CIRCUIT DIAGRAM
 SCHEMATIC ONLY

LIGHTING PLAN
 1/4"=1'-0"

CORPORATE SEAL

PROFESSIONAL SEAL

DESIGNED BY: RL
 CAD BY: RL
 CHECKED BY: JRO

ENGINEERED SYSTEMS
 55 NEW ORLEANS ROAD
 SUITE 200
 HILTON HEAD ISLAND, SC 29928
 843/686-5300

A AN ADDITION FOR:
FROSTY FROG CAFE
 HILTON HEAD ISLAND, SOUTH CAROLINA

DESCRIPTION: DESIGN DEVELOPMENT ISSUED FOR PERMITTING
 DATE: 01/16/13 01/23/13
 REVISION# 0 1

PROJECT NUMBER: 213101
 DRAWING: E-2
 SHEET NUMBER: 2 OF 2

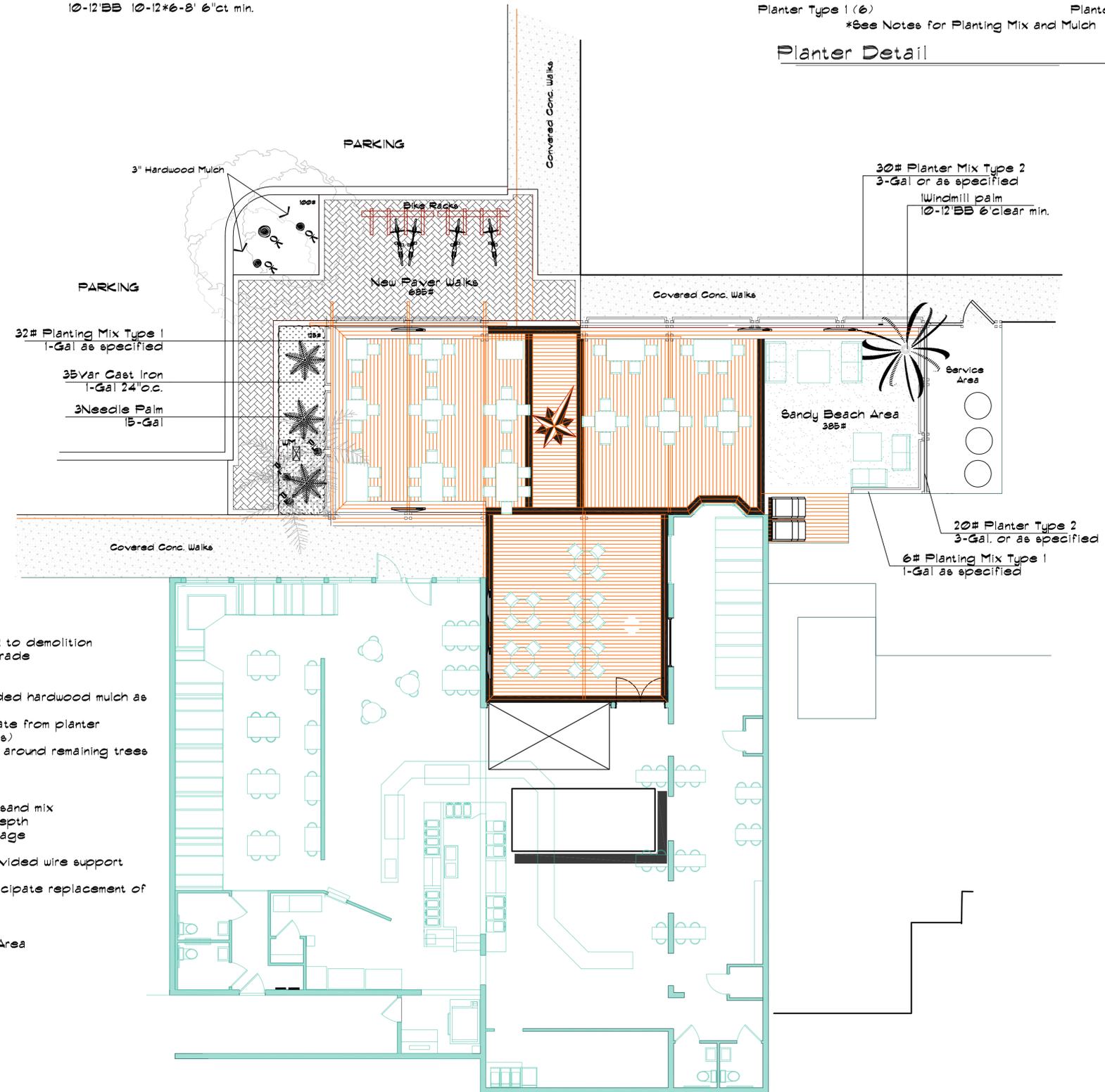
PLANT MATERIALS SCHEDULE

Symbol	Qty	Scientific Name	Common Name	Planting Size
☼	35	Aepidietra eliator variegata	Var Cast Iron Plan	1-Gal 10-12*4-5"
☼	30	Asparagus meyerii	Foxtail Fern	1-Gal 6-8*8-10"
☼	12	Clematis x jackmanii	Purple clematis	1-Gal 12-18*4-6" staked
☼	3	Rapidophyllum hystrix	Needle Palm	15-Gal 36-40*24-30"
☼	21	Thunbergia battiecombii	Blue Sky Vine	3-Gal 18-24*12-18" staked
☼	14	Trachelospermum asiaticum 'Tri-Color'	Variegated Jasmine	1-Gal 6-8*6-8" staked
☼	1	Trachycarpus fortunei	Windmill palm	10-12"BB 10-12*6-8' 6"ct min.

- 5 Foxtail Fern (30)
1-Gal 12" o.c.
- 2 Purple clematis (12)
1-Gal Staked
- 3 Blue Sky Vine (21)
3-Gal Staked
- 2 Var Asiatic Jasmine (14)
1-Gal Staked



Planter Type 1 (6)
*See Notes for Planting Mix and Mulch
Planter Type 2 (7)



GENERAL NOTES

TREE PROTECTION AND GRADING NOTES

All remaining trees to be protected using protection fencing PRIOR to demolition
All landscape areas are to be fine graded as needed to original grade

PLANTING NOTES

All mulching in planted areas (outside of planters) is to be 3" shredded hardwood mulch as needed
All plantings are to have a dedicated drip irrigation coverage separate from planter micro-drip coverage (refer to supplemental irrigation plan for details)
All care to be given to retain the existing root mass as undisturbed around remaining trees during irrigation and planting operations

PLANTER NOTES

Planter Mix for all planters to be a 1/3 peat, 1/3 organic compost and 1/3 sand mix
Planter mulching materials is to be 2-3" coarse Pine Nuggets at 2" depth
All planters are to receive a dedicated micro-drip irrigation coverage
Liner and drainage to be provided by others (see arch plans)
All planted vines are to be staked and carefully run through the provided wire support structure staked and tied as required to promote even coverage
Long term maintenance of vines: Encourage mixed coverage and anticipate replacement of vines on a 3-5 year rotating cycle

BEACH SAND AREA

Provide a dedicated drip line to palm planted inside Beach Sand Area



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OCEAN WOODS LANDSCAPING
67 Union Cemetery Road Hilton Head Island, South Carolina 29926
ph 843.682.4000 fx 843.682.4012 www.oceanwoods.com



A Landscape Plan for:
The FROSTY FROG
Coligny Plaza
Hilton Head Island, South Carolina

By: R. Sotiropoulos
Scale: 1"=8'-0"
Date: 2.18.13
Rev: _____
Rev: _____

Ent:



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Frosty Frog – ALTERATION/ADDITION

DRB#: DR 130007

DATE: February 26, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian connections have been considered, however walkway at end wall elevation will feel constricted.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	New deck will consume a large portion of open space in this corner of Coligny Plaza.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood deck (trex), trellis, and planters
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Retractable fabric awning
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood, glass, fabric, metal, pavers
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed fabric awning is creamy color.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping is limited to planters (mix of vines and ground cover) and deck adjacent to parking lot.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Landscaping will require regular maintenance to keep vines growing on green wall.
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plan makes good use of planters where there isn't space for in-ground landscaping.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lots of variegated plant material
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

The canvas awnings covering the assembly area will have to be sprinklered and the canvas shall be fire-retardant material.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Kyle Theodore Company: WOOD + PARTNERS INC.
 Mailing Address: P.O. BOX 23949 City: HILTON HEAD State: SC Zip: 29925
 Telephone: 601-6618 Ext: 236 Fax: 601-7080 E-mail: KTHEODORE@WOODANDPARTNERS.COM
 Project Name: TOHHI ROWING + SAILING CENTER Project Address: SEQUIE POPE ROAD
 Parcel Number [PIN]: R 5 1 1 0 0 7 0 0 0 0 0 3 B 0 0 0 0 (004C, 004D) RS11 007 0809 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number
- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

2/4/13
DATE

Hilton Head Island Rowing and Sailing Center

Hilton Head Island, SC

Project Narrative – DRB Conceptual Submittal

February 5, 2013

Background

The Town of Hilton Head Island is proposing to build a new park and rowing/sailing facility located on Squire Pope Road (parcels #R511 007 000 004C(004D) 0000, R511 007 000 003B 0000 & R511 007 0809 0000). The site is composed of several parcels and is currently undeveloped, with the exception of piers remaining from an old wooden dock. The property is approximately 7.8 acres in size. The site is wooded and contains a mix of trees, including pine, live oak and laurel oak, among others. There are several large specimen trees on site that have influenced the design and layout of site features. An existing wetland (.35 ac) and its associated buffer, located in the center of the property, will remain undisturbed.

Design Intent

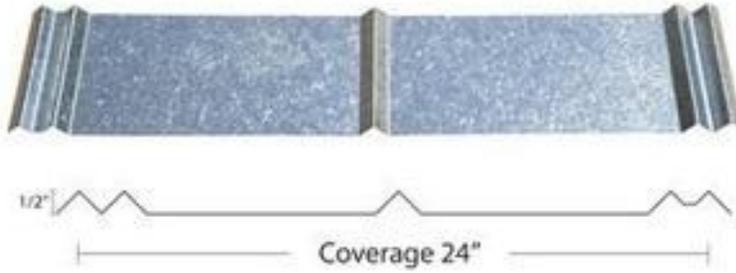
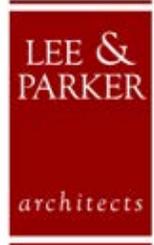
The proposed site plan consists of a paved access drive with pervious and grassed parking. As proposed, handicap parking will be asphalt. The park has two amenity areas; one dedicated to public use; the other is more utilitarian in nature containing open-air rowing and sailing boat storage, as well as canoe/kayak storage. The storage areas will be vinyl coated chain link fence with black wind screens to limit sight into the storage areas. A large “staging pad” has been provided for use by all groups for repairs and training. The largest fenced storage area (dedicated to rowing) is 4,200 SF in size.

The public use area is anchored by two buildings: the first is a bath house and storage building. It is approximately 800 sf and will primarily consist of stucco and wood veneer with a shingle roof. It will contain restrooms and a flexible storage space with sliding “barn type” doors that open onto an adjacent concrete pad. The second structure is a roofed, open air picnic pavilion. It is approximately 1,400 sf in size and will match the character of the bath house building in appearance and materials. The design of this structure takes its cues from the riggers and oars of the crew shells. Adjacent to the pavilion- and on the water side, is a fire pit for small gatherings. In addition, two charcoal grills are proposed for charcoal cooking. A nearby tire swing provides entertainment for children while waterside trellis swings provide other users with views of the water.

One of the main features of the site is the proposed access pier, fishing pier and floating dock. The proposed structure provides a separate space for neighborhood fishermen on the fixed pier while allowing safe and easy access for crew shells and sail boats into and out of the water on the floating dock. The floating dock is accessed by an aluminum gangway designed to meet ADA requirements. The fixed pier will be constructed of Southern Yellow Pine framing and decking with marine grade pilings. The proposed floating dock will be low profile and constructed of Southern Yellow Pine decking and framing. The handrail will be a wood and stainless steel cable railing system, similar in design to handrails used elsewhere on Town boardwalk projects.

The access drive, parking and structures were located utilizing existing site features and lessening the impact on the site's natural resources, specifically the live oak trees. The goal is to minimize the amount of grading and utility work to reduce site disturbance. All parking and structures are located to avoid buffers or setbacks as required by adjacent properties, roadways, wetlands and waterways. Access to the site is from Squire Pope Road and utilizes an existing curb cut location. The entrance to the site will consist of a metal vehicular swing-arm gate that can be secured when the park is closed. Minimal (for safety purposes, only) site lighting will be provided, as the park will close at sunset. A standard Town mast arm sign will be utilized to mark the park's entrance.

COLOR BOARD FOR: Rowing & Sailing



ROOFING:
5 VEE CRIMP METAL
GALVANIZED



WINDOWS:
NONE

SIDING:
TABBY SHELL CEMENT
STUCCO



TRIM: WOOD
SHERWIN WILLIAMS
PRIOLEAU'S WHARF
DCR094



GUTTERS:
GALVANIZED

Hilton Head Island Rowing and Sailing Center

Hilton Head Island, SC

Site Photos – DRB Conceptual Submittal

February 5, 2013



View towards existing curb cut at Squire Pope Road



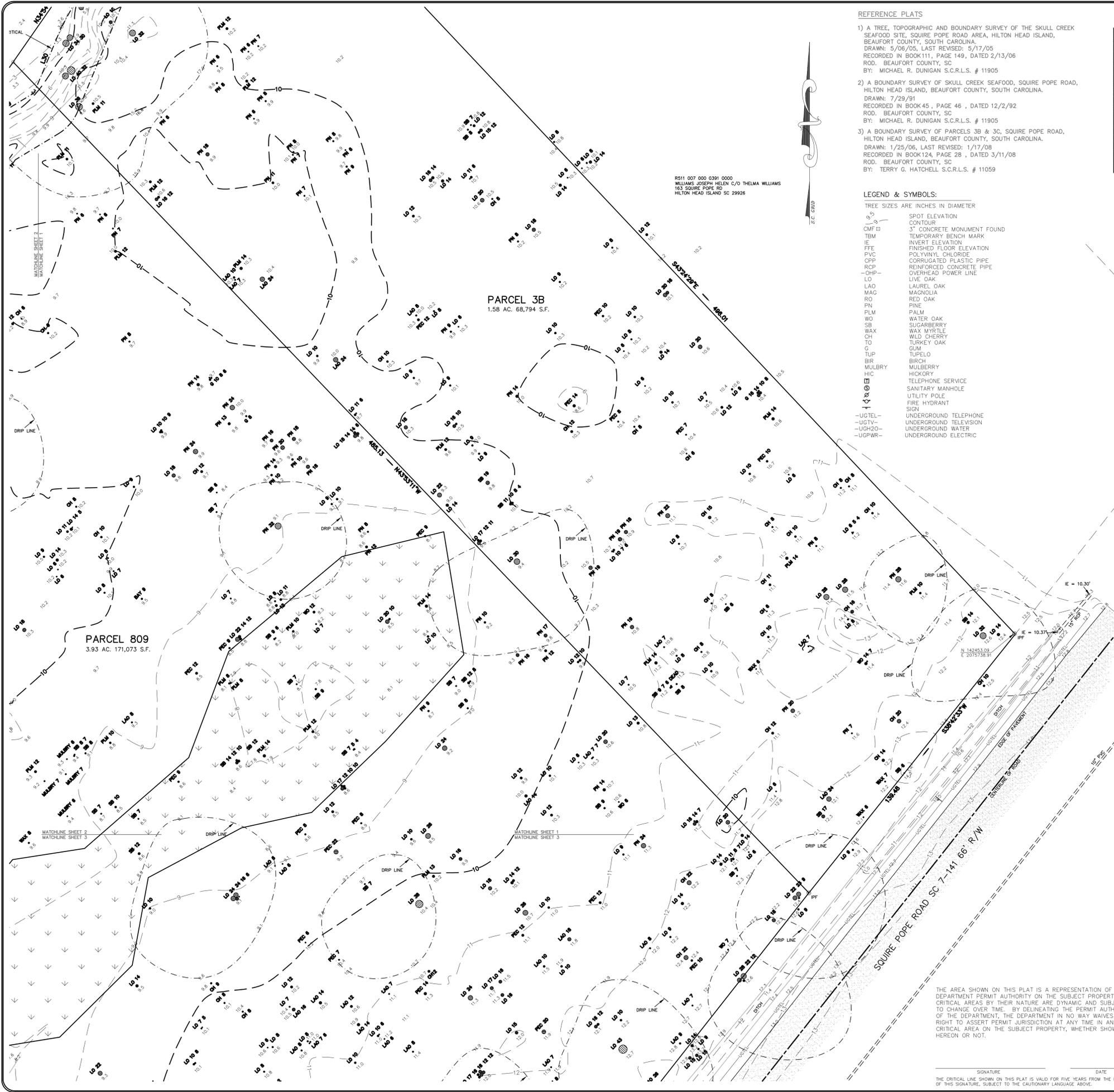
View towards water and proposed pier location



View towards proposed picnic pavilion location and existing trees to remain



View of frontage along marsh



REFERENCE PLATS

1) A TREE, TOPOGRAPHIC AND BOUNDARY SURVEY OF THE SKULL CREEK SEAFOOD SITE, SQUIRE POPE ROAD AREA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
 DRAWN: 5/06/05, LAST REVISED: 5/17/05
 RECORDED IN BOOK 111, PAGE 149, DATED 2/13/06
 ROD. BEAUFORT COUNTY, SC
 BY: MICHAEL R. DUNIGAN S.C.R.L.S. # 11905

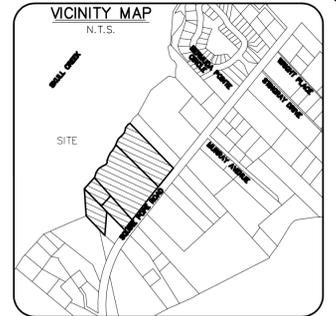
2) A BOUNDARY SURVEY OF SKULL CREEK SEAFOOD, SQUIRE POPE ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
 DRAWN: 7/29/91
 RECORDED IN BOOK 45, PAGE 46, DATED 12/2/92
 ROD. BEAUFORT COUNTY, SC
 BY: MICHAEL R. DUNIGAN S.C.R.L.S. # 11905

3) A BOUNDARY SURVEY OF PARCELS 3B & 3C, SQUIRE POPE ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
 DRAWN: 1/25/06, LAST REVISED: 1/17/08
 RECORDED IN BOOK 124, PAGE 28, DATED 3/11/08
 ROD. BEAUFORT COUNTY, SC
 BY: TERRY G. HATCHELL S.C.R.L.S. # 11059

LINE TABLE			LINE TABLE		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	29.20	N 09°27'44" E	L23	15.07	N 32°27'51" E
L2	57.26	N 03°34'13" W	L24	25.91	N 07°30'37" W
L3	34.82	N 16°46'20" W	L25	32.07	N 44°30'55" E
L4	24.73	N 25°40'11" W	L26	41.68	N 34°58'46" E
L5	22.89	N 25°04'48" W	L27	39.28	N 33°50'12" E
L6	31.58	N 17°12'24" E	L28	38.29	N 35°05'16" E
L7	17.83	N 34°58'25" E	L29	25.48	N 58°56'23" E
L8	16.76	N 17°10'36" E	L30	30.21	N 22°39'08" E
L9	19.53	N 19°30'19" E	L31	32.85	N 29°40'55" E
L10	40.07	N 02°51'30" W	L32	32.88	N 41°29'35" E
L11	19.11	N 53°56'01" E	L33	44.99	N 37°06'17" E
L12	19.26	S 70°25'00" E	L34	8.87	N 35°01'12" E
L13	45.71	S 48°20'23" E			
L14	32.07	N 29°40'55" E			
L15	14.07	N 19°12'05" W			
L16	10.42	N 13°28'16" E			
L17	5.75	N 54°41'28" E			

TOTAL PROPERTY AREA = 7.82 AC. 340,542 S.F. (TO HIGH WATER MARK)
 ADDRESS: 133, 135, 137, 141 & 151 SQUIRE POPE ROAD
 DISTRICT: 511, MAP: 7, PARCELS: 3B, 4C, 4D, 4G & 809
 THIS PROPERTY LIES IN F.E.M.A. ZONE A9-15.0' & A7-14.0'
 COMMUNITY NO. 450250, PANEL 0002D, DATED: 9/29/86

- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CONTOUR
 - CMF 3" CONCRETE MONUMENT FOUND
 - TBM TEMPORARY BENCH MARK
 - IE INVERT ELEVATION
 - FFE FINISHED FLOOR ELEVATION
 - PVC POLYVINYL CHLORIDE
 - CPP CORRUGATED PLASTIC PIPE
 - RCP REINFORCED CONCRETE PIPE
 - OHP OVERHEAD POWER LINE
 - LO LIVE OAK
 - LAO LAUREL OAK
 - MAG MAGNOLIA
 - RO RED OAK
 - PN PINE
 - PLM PALM
 - WO WATER OAK
 - SB SUGARBERRY
 - WAX WAX MYRTLE
 - CH WILD CHERRY
 - TO TURKEY OAK
 - G GUM
 - TUP TUPELO
 - BR BIRCH
 - MUL MULBERRY
 - HIC HICKORY
 - TELEPHONE SERVICE
 - SANITARY MANHOLE
 - UTILITY POLE
 - UGTEL— UNDERGROUND TELEPHONE
 - UGTV— UNDERGROUND TELEVISION
 - UGH2O— UNDERGROUND WATER
 - UGPWR— UNDERGROUND ELECTRIC



- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - HORIZONTAL DATUM IS S.C. STATE PLANE (NAD 83) 2007.
 - VERTICAL DATUM IS NAVD88.
 - CONTOUR INTERVAL IS 1'.
 - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
 - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

**BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:
 PARCELS 3B, 4C, 4D, 4G & 809, SQUIRE POPE ROAD,
 HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA**

PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND
 CONTRACT NO. C28-2010 JOB NO. 39

DATE: 11/06/12 SCALE: 1" = 20'

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

SOUTH CAROLINA LAND SURVEYOR
 No. C02180

SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR
 25437
 MARK R. REVEN

NOT VALID UNLESS EMBOSSED.

SILS Sea Island Land Survey, LLC.
 4D Mathews Court, Tel (843) 681-3248
 Hilton Head Island, SC 29926 Fax (843) 689-3871
 E-mail: sils@sprynet.com
 FILE No.: 10068/4 DWG No.: 7-1242

GRAPHIC SCALE: 0 20 40 60

COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: BA, FLD: DL, PH

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

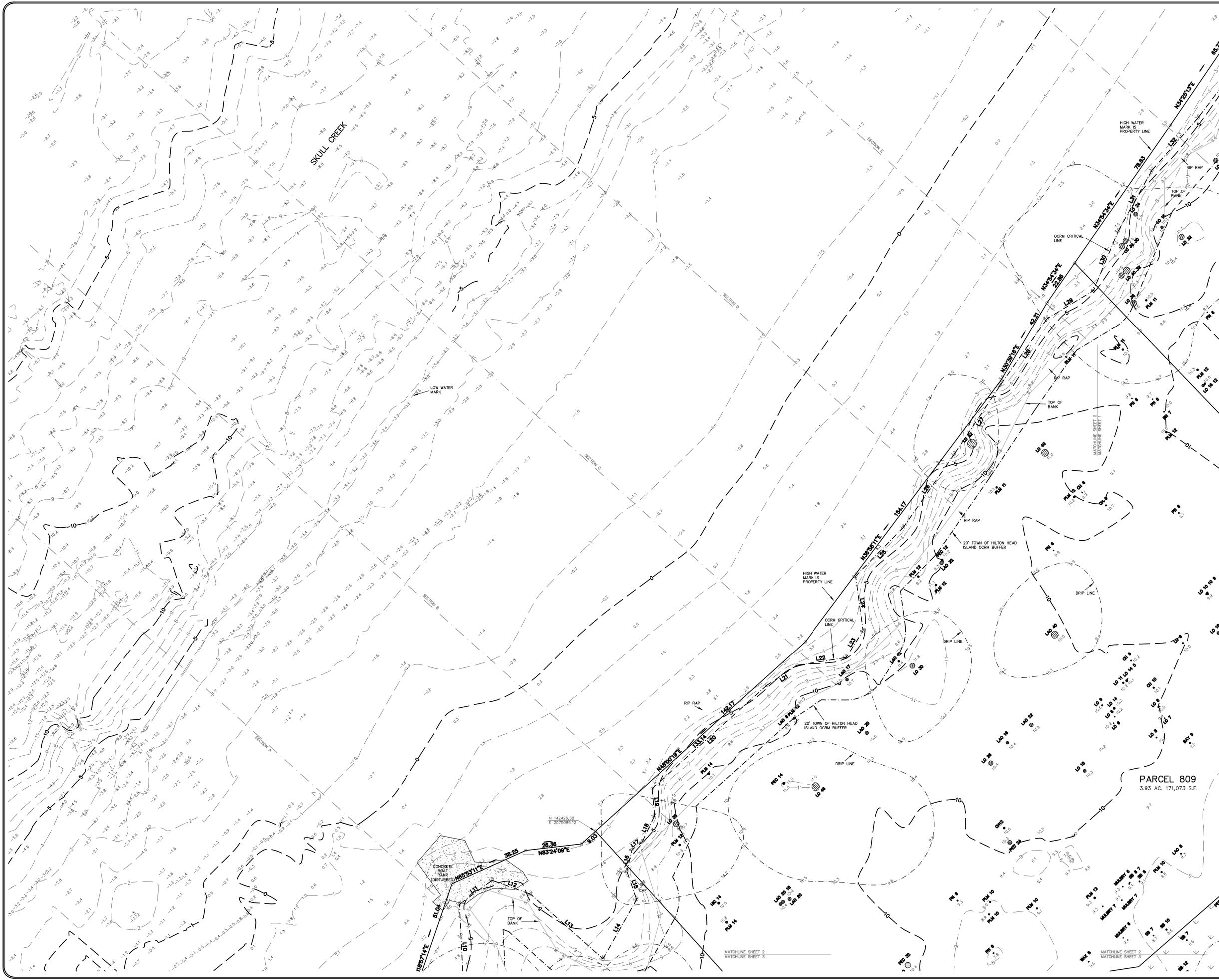
SIGNATURE _____ DATE _____
 THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

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○	SPOT ELEVATION
—	CONTOUR
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F.F.E.	FINISHED FLOOR ELEVATION
PVC	POLYVINYL CHLORIDE
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SB	SUGARBERRY
WAX	WAX MYRTLE
CH	WILD CHERRY
T	TURKEY OAK
G	GUM
TUP	TUPELO
BIR	BIRCH
MULB	MULBERRY
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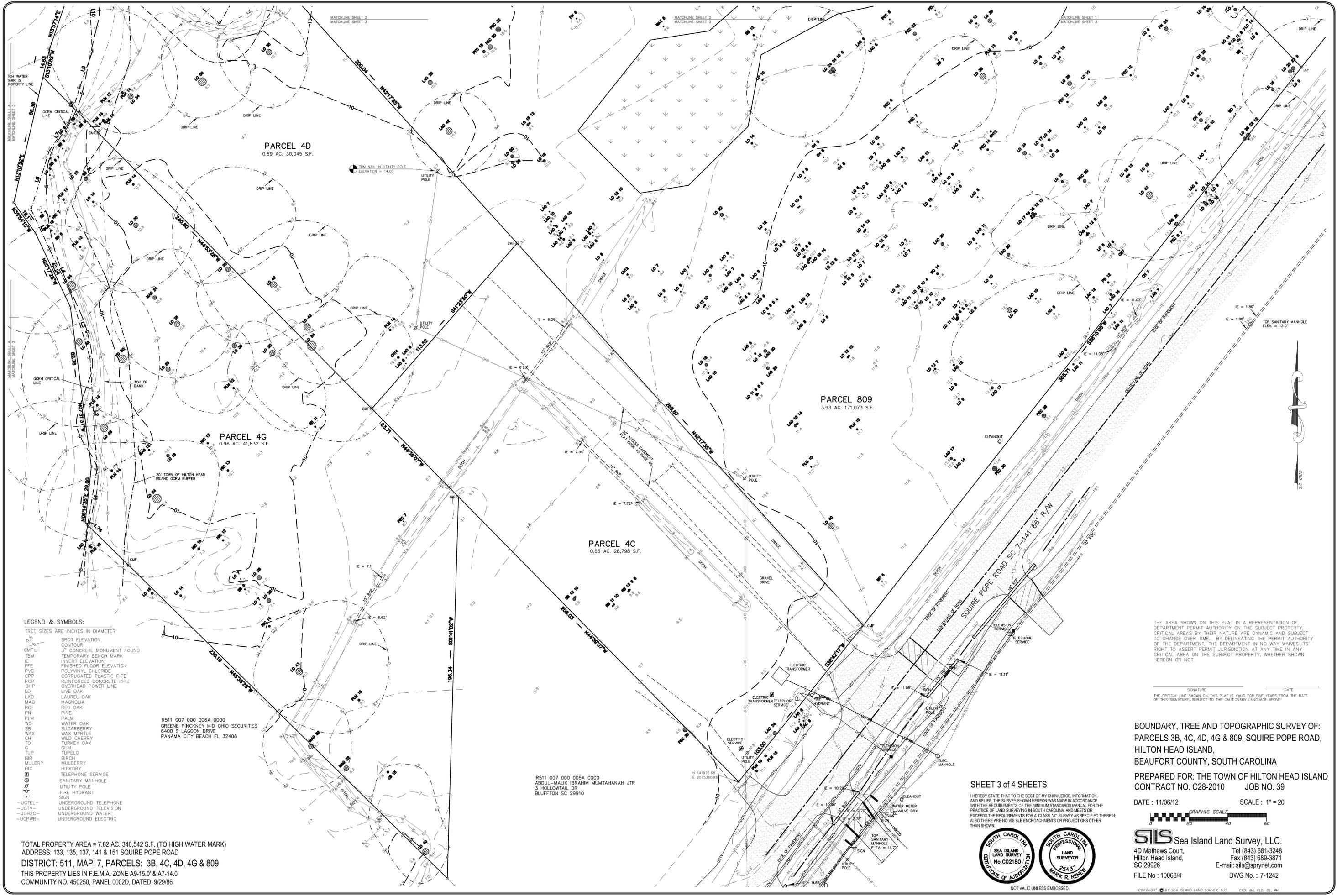
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SHEET 2 of 4 SHEETS
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 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND
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DATE: 11/06/12 SCALE: 1" = 20'
 GRAPHIC SCALE: 0 20 40 60

SILS Sea Island Land Survey, LLC.
 4D Mathews Court, Tel (843) 681-3248
 Hilton Head Island, SC 29926, Fax (843) 689-3871
 E-mail: sils@sprynet.com
 FILE No.: 10068/4 DWG No.: 7-1242



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R511 007 000 006A 0000
 GREENE PINCKNEY MID OHIO SECURITIES
 6400 S LAGOON DRIVE
 PANAMA CITY BEACH FL 32408

R511 007 000 005A 0000
 ASDUL-MALK IBRAHIM MUMTAHANAH JTR
 3 HOLLOWTAIL DR
 BLUFFTON SC 29910

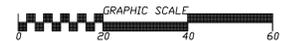
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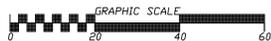
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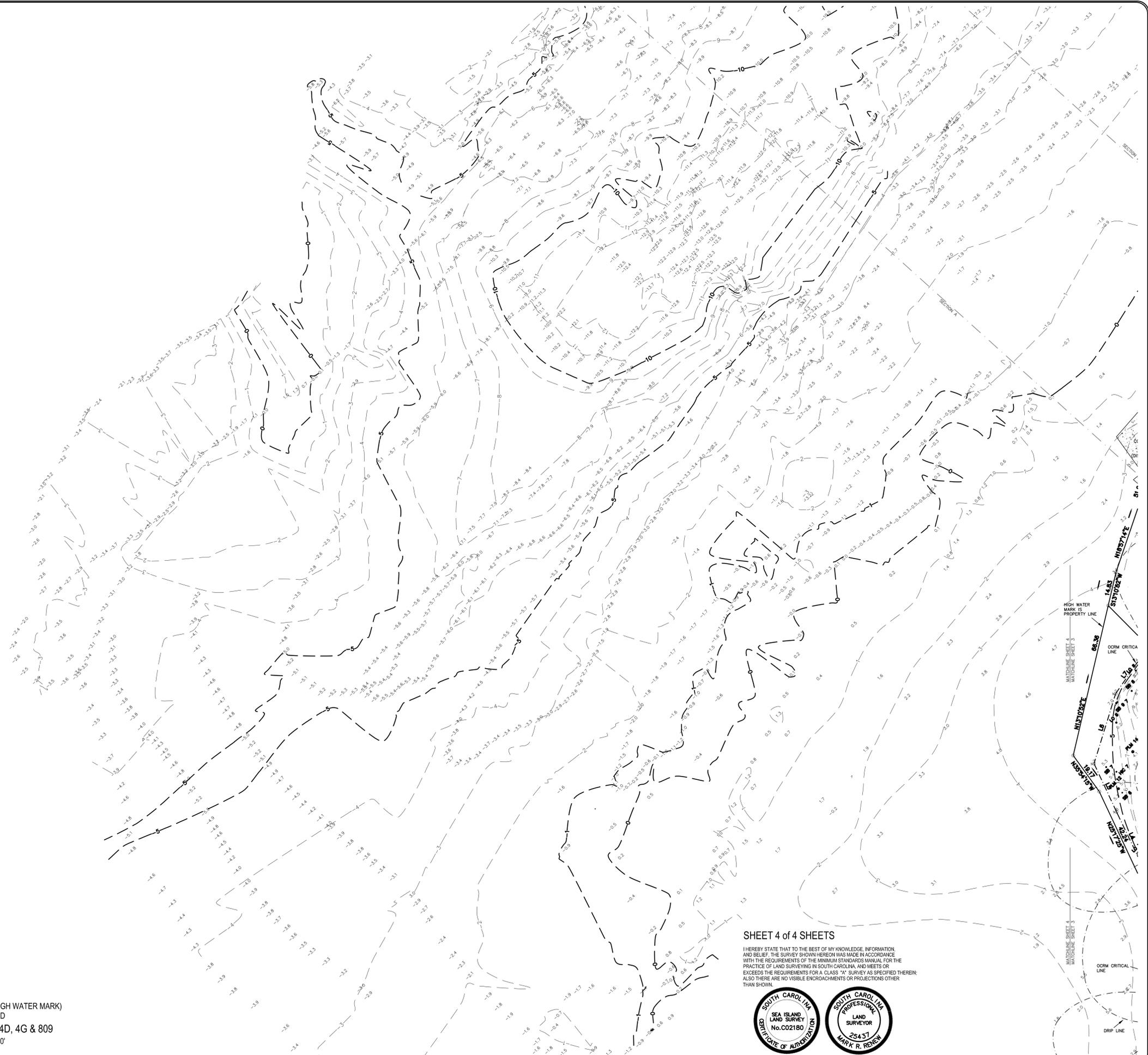
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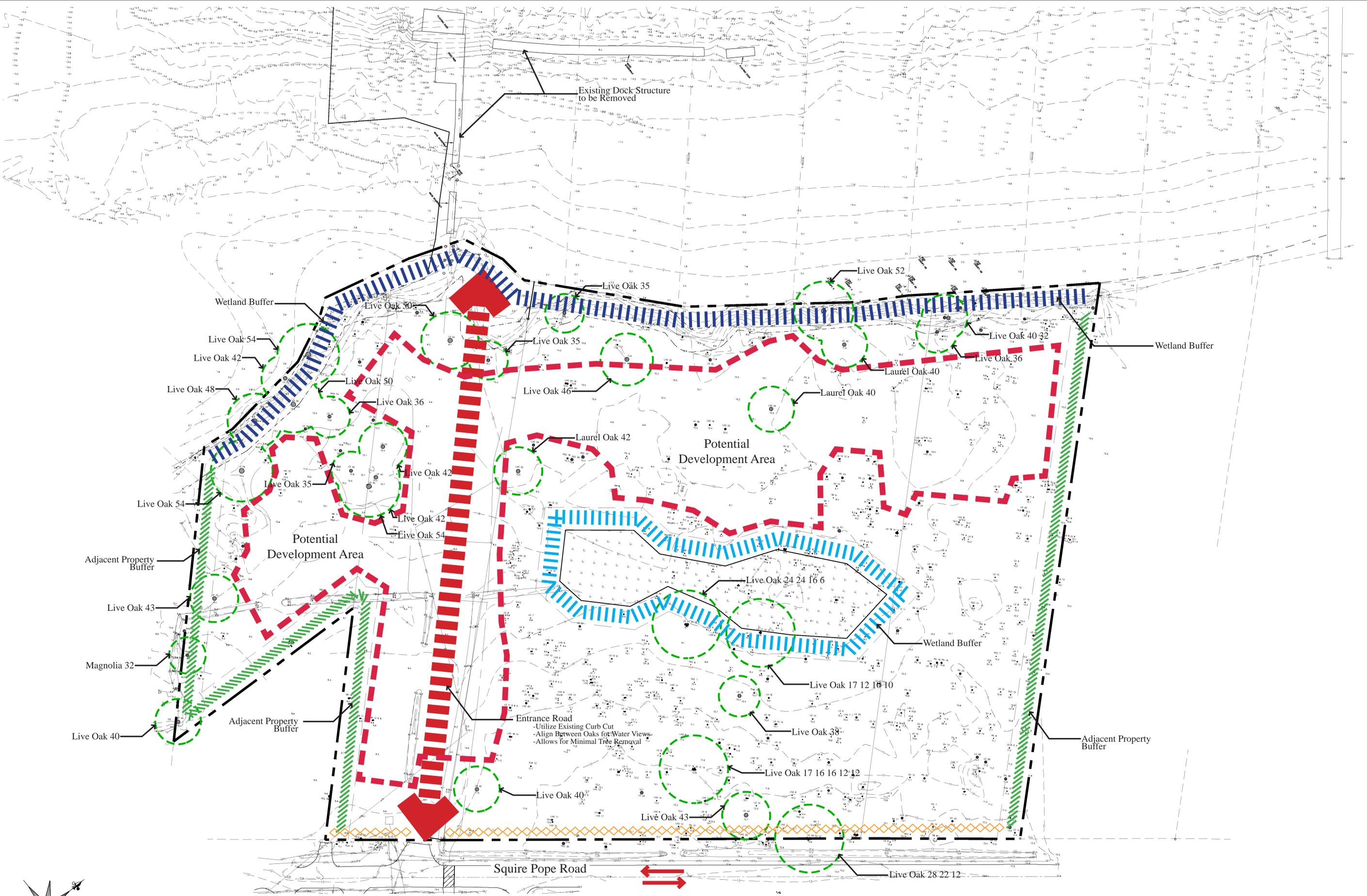
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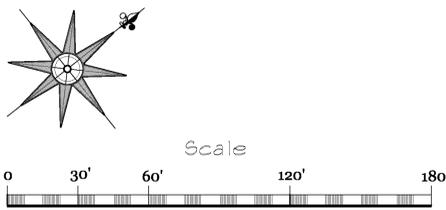
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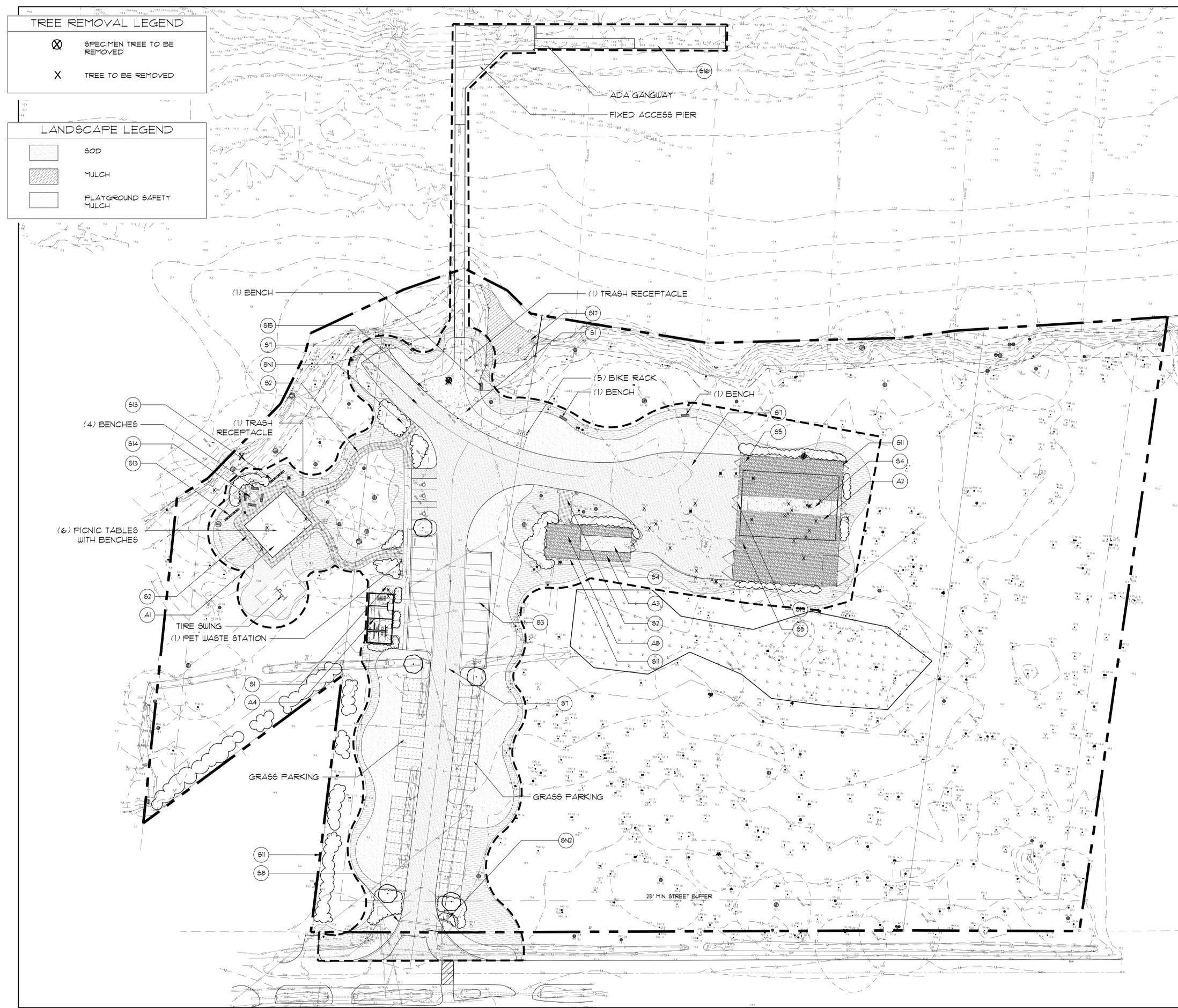
DWG No. : 7-1242



TOHHI Rowing and Sailing Center

Site Analysis
December 1, 2012





TREE REMOVAL LEGEND

	SPECIMEN TREE TO BE REMOVED
	TREE TO BE REMOVED

LANDSCAPE LEGEND

	SOD
	MULCH
	PLAYGROUND SAFETY MULCH

SITE WORK:

S1	4" CONCRETE SIDEWALK DETAIL X/LX
S2	CRUSHED SHELL PATH W/ METAL EDGE DETAIL X/LX
S3	GRANITE SHELL FINES PARKING W/ CONCRETE HEADER CURB DETAIL X/LX
S4	6" CONCRETE DETAIL X/LX
S5	GRAVEL STORAGE DETAIL X/LX
S6	
S7	ASPHALT WITH SHELL DRIVE AISLE DETAIL X/LX
S8	VEHICULAR ENTRY GATE DETAIL X/LX
S9	DECORATIVE PEDESTRIAN GATE DETAIL X/LX
S10	
S11	1" VINYL COATED CHAINLINK FENCE DETAIL X/LX
S12	
S13	TRELLIS SWING DETAIL X/LX
S14	FIREPIT DETAIL X/LX
S15	METAL BOLLARDS DETAIL X/LX
S16	FLOATING DOCK BY OTHERS
S17	POTENTIAL RESTORED MARSH GRASS PLANTINGS
S18	
S19	EXPANSION JOINT DETAIL X/LX

SITE KEY LEGEND:

ARCHITECTURE:

A1	PICNIC PAVILION SEE ARCHITECTURE DRAWINGS - SHEET A2
A2	BOAT SHELL STORAGE YARD WITH 6" CONCRETE PAD
A3	SMALL BOAT STORAGE YARD (GRAVEL)
A4	BATH HOUSE SEE ARCHITECTURE DRAWINGS - SHEET A1
A5	CANOE/KAYAK STORAGE YARD (GRAVEL)
A6	TRAILER STORAGE YARD (GRAVEL)

SIGNAGE:

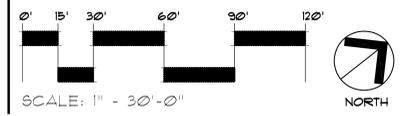
SNI	INFORMATION KIOSK DETAIL X/LX
SN2	ENTRY IDENTIFICATION SIGNAGE DETAIL X/LX

PAVING LEGEND:

	4" CONCRETE WALK W/ OYSTER SHELL FINISH COLOR:NATURAL DETAIL:X/LX		PERVIOUS PAVING PATTERN: RUNNING BOND STYLE: DETAIL:X/LX
	6" CONCRETE DRIVE COLOR:NATURAL DETAIL:X/LX		PERVIOUS PAVING PATTERN: HERRINGBONE STYLE: DETAIL:X/LX
	CRUSHED SHELL PATH DETAIL:X/LX		ASPHALT W/ INTEGRATED OYSTER SHELL DETAIL:X/LX
	GRAVEL PARKING DETAIL:X/LX		CONTROL JOINT SEE DETAIL X/LX
	GRANITE FINES PARKING DETAIL:X/LX		EXPANSION JOINT SEE DETAIL X/LX

FURNISHINGS SCHEDULE:

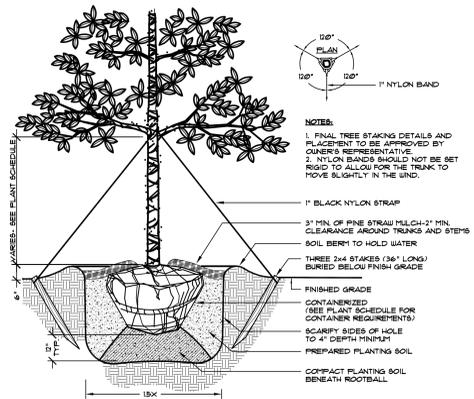
QTY.	DESCRIPTION
9	6' BENCH MANUF: MODEL: COLOR:
6	PICNIC TABLE WITH BENCHES-(BY OWNER) MANUF: MODEL: COLOR:
2	TRELLIS SWING SEE DETAIL X/LX
3	TRASH RECEPTACLE MANUF: MODEL: COLOR:
1	BIKE RACK MANUF: MODEL: COLOR:
1	TIRE SWING MANUF: MODEL: COLOR:
1	PET WASTE STATION MANUF: MODEL: COLOR:



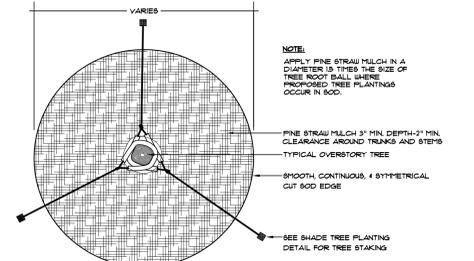
SURVEY INFORMATION, COMPILED FROM SURVEY BY SEA ISLAND LAND SURVEY, LLC.
FILE 7-1242 DATED 11/06/12.
PLAN IS SUBJECT TO CHANGE.



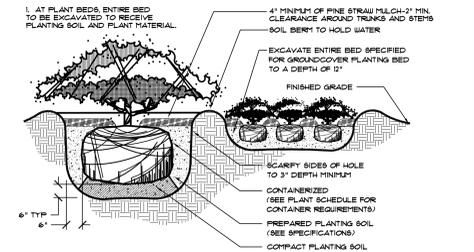
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- TREES:**
 AMERICAN/SAVANNAH HOLLY
 CRAPE MYRTLE
 LIVE OAK
 SABAL PALM
- SHRUBS:**
 AZALEA
 COASTAL LEUCOTHOE
 DWARF YAUPOIN HOLLY
 INDIAN HAWTHORNE
 DOUBLE KNOCK-OUT ROSE
 MULLY GRASS
 SAW PALMETTO
 VIBURNUM
- GROUNDCOVERS:**
 ASIATIC JASMINE
 DAYLILY
 HOLLY FERN
 JUNIFER
 LIRIOPE



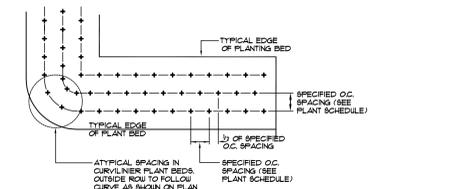
1 SHADE TREE PLANTING
 L4 NOT TO SCALE



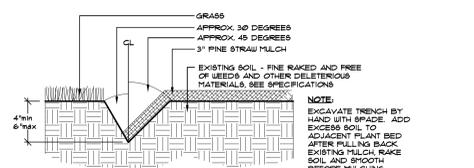
2 TREE MULCHING
 L4 NOT TO SCALE



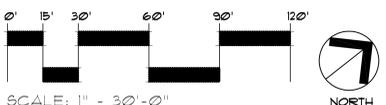
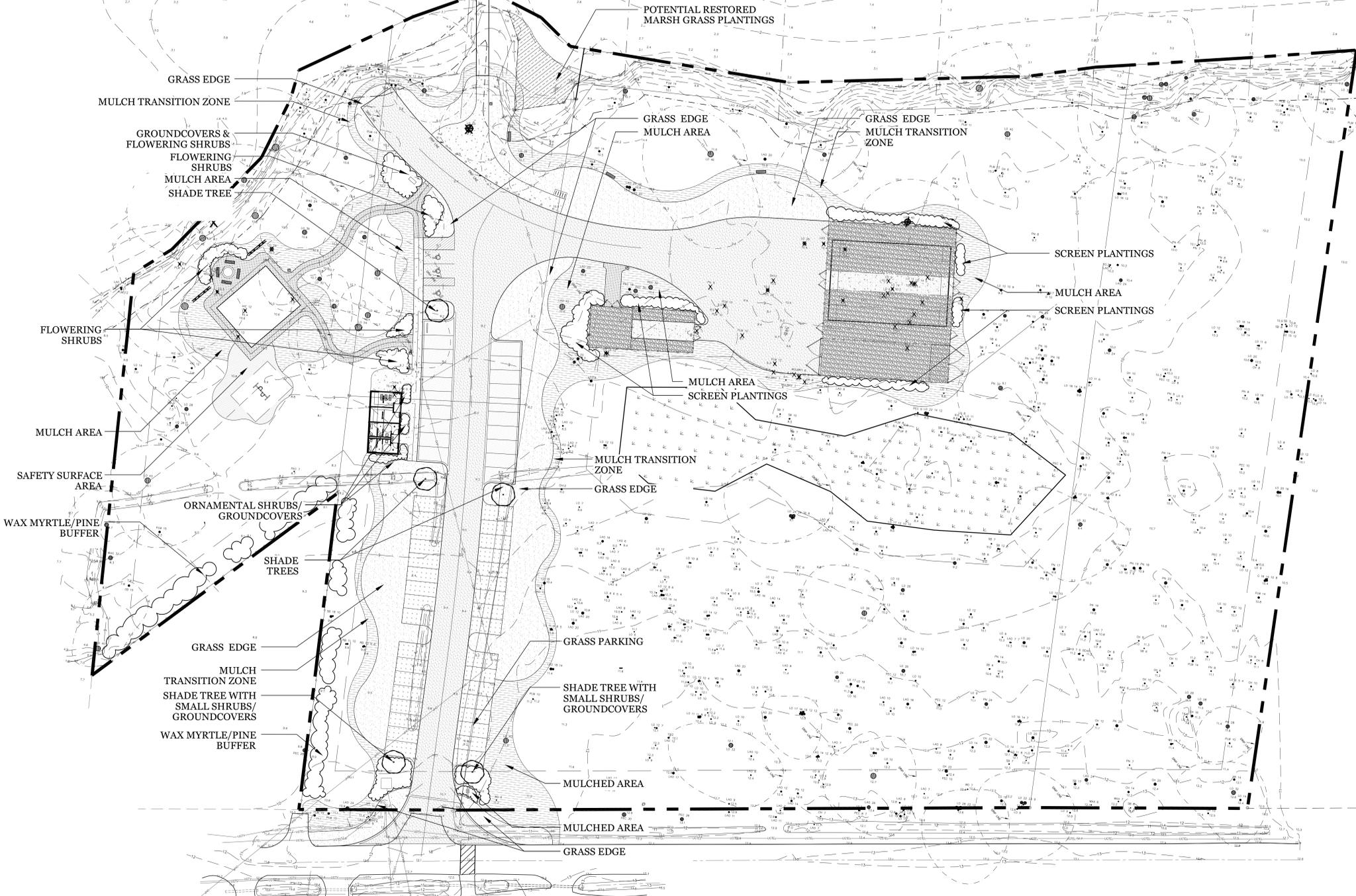
3 SHRUB AND GROUNDCOVER PLANTING
 L4 NOT TO SCALE



4 TYPICAL GROUNDCOVER SPACING
 L4 NOT TO SCALE



5 TYPICAL PLANTING BED EDGE TRENCH
 L4 NOT TO SCALE



SURVEY INFORMATION, COMPILED FROM SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 7-1242 DATED 11/06/12.
 PLAN IS SUBJECT TO CHANGE.

Town of Hilton Head Island
 One Town Center Court
 Hilton Head Island, SC 29928

TOHHI ROWING & SAILING CENTER
 Hilton Head Island, South Carolina

SCHEMATIC DESIGN PACKAGE

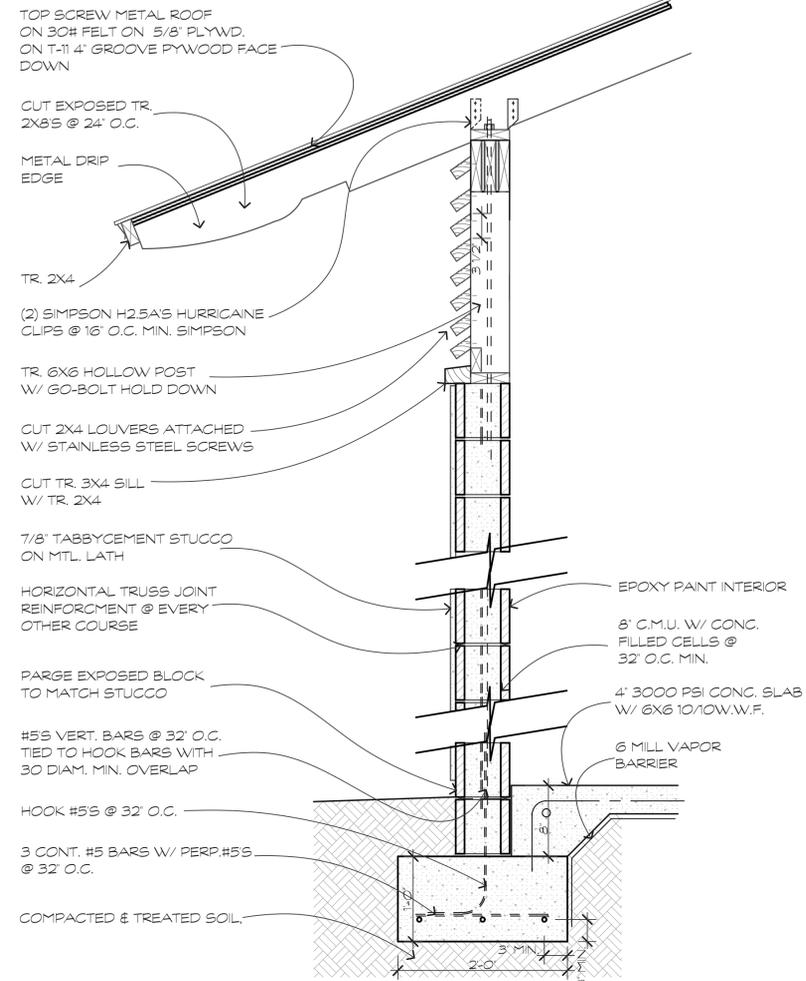
DRAWN BY: XX
 CHECKED BY: XX
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#	REVISION	DATE	BY

DATE: 02-05-2012
 PROJECT NUMBER: 01-12033
 SHEET TITLE: Planting Plan

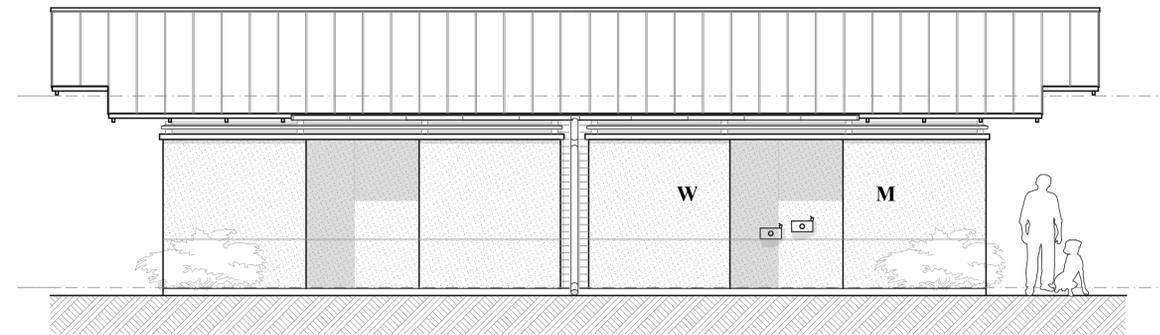
Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners
 PO Box 2340 • Hilton Head Island, SC 29928
 843.881.8618 • Fax 843.881.7086 • www.woodpartners.com

SHEET NUMBER
L4 of 00

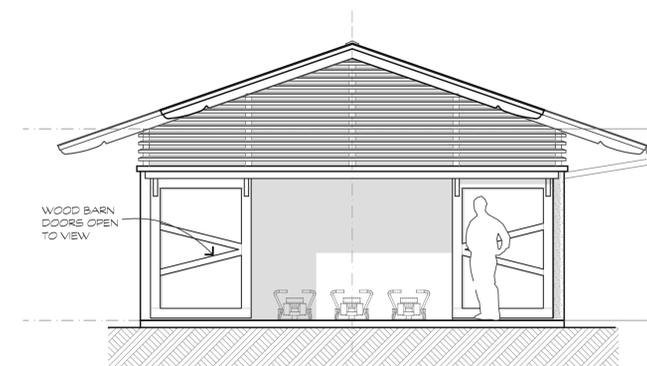


WALL SECTION
SCALE: 1/4"=1'-0" 5

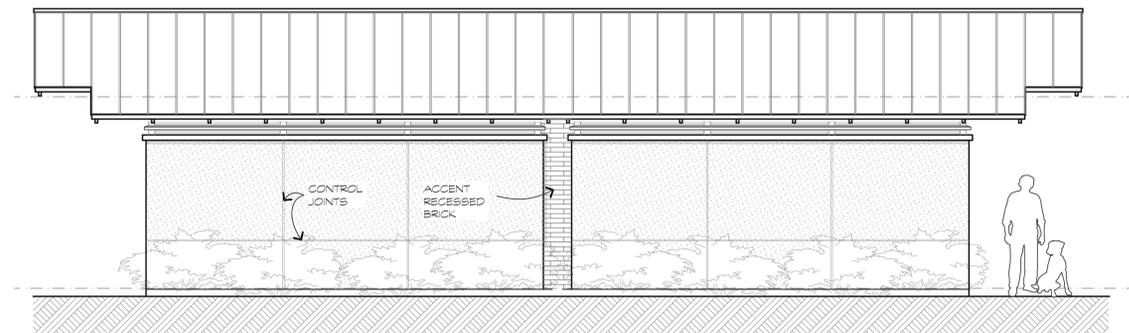
PROVIDE AN ALLOWANCE FOR:
 -EMERGENCY EGRESS LIGHTING
 -VANDAL PROOF TASK LIGHTING (INTERIOR)
 -LIGHTING FOR EXTERIOR BY SITE DESIGN. NO BLDG. MOUNTED FIXTURES



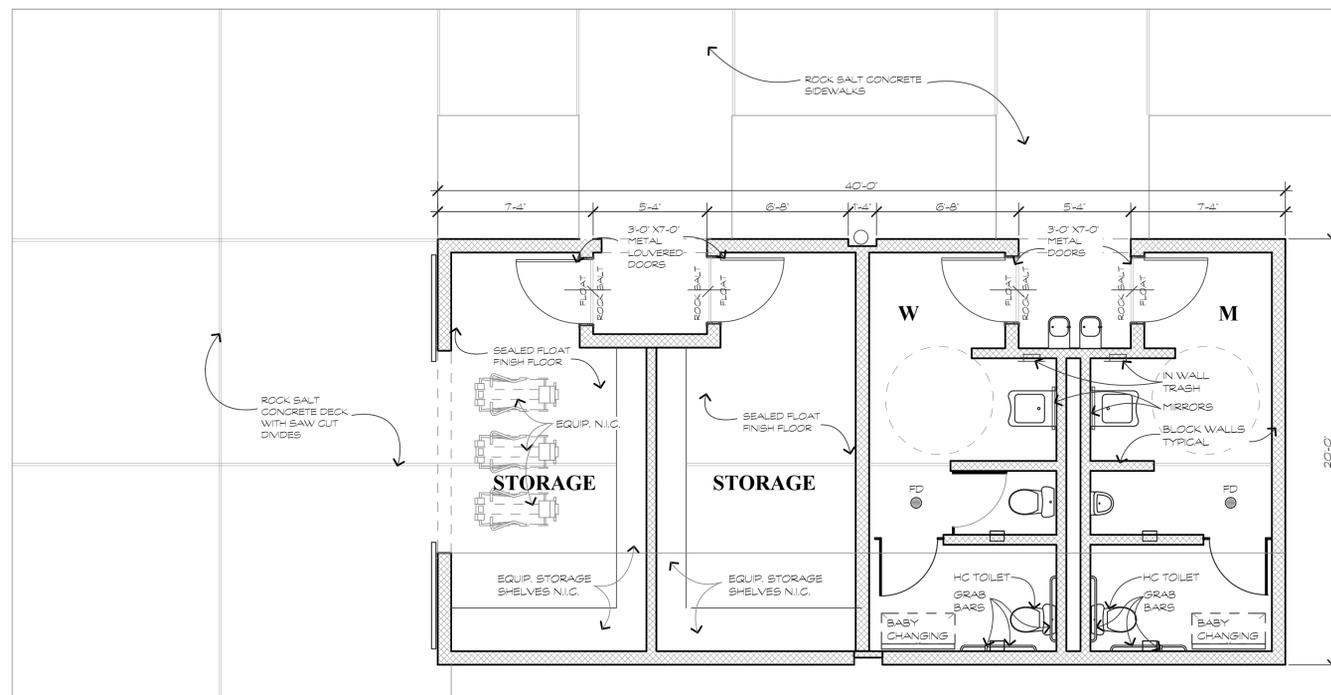
FRONT ELEVATION
SCALE: 1/4"=1'-0" 1



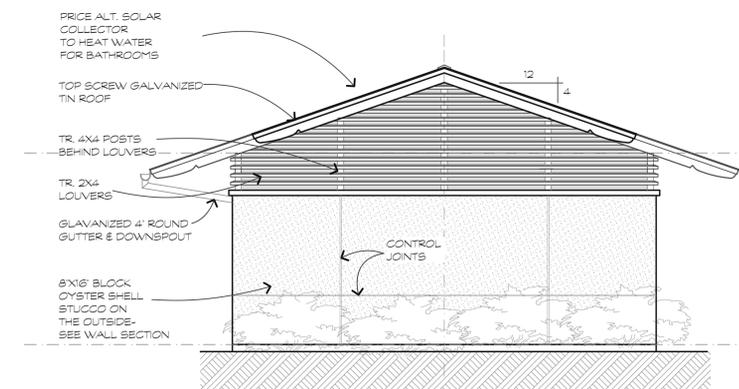
WATER SIDE ELEVATION
SCALE: 1/4"=1'-0" 2



REAR ELEVATION
SCALE: 1/4"=1'-0" 3



FLOOR PLAN
SCALE: 1/4"=1'-0" 6



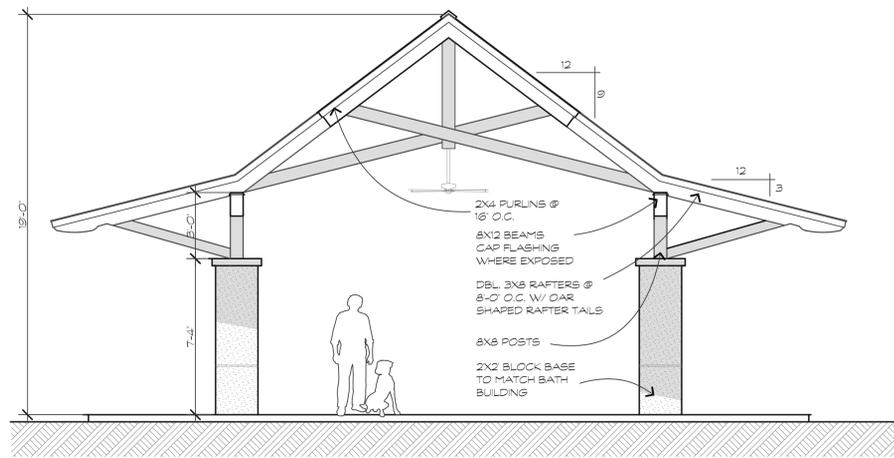
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0" 4

DRAWN BY:
T.P.
CHECKED BY:
W.T.P.

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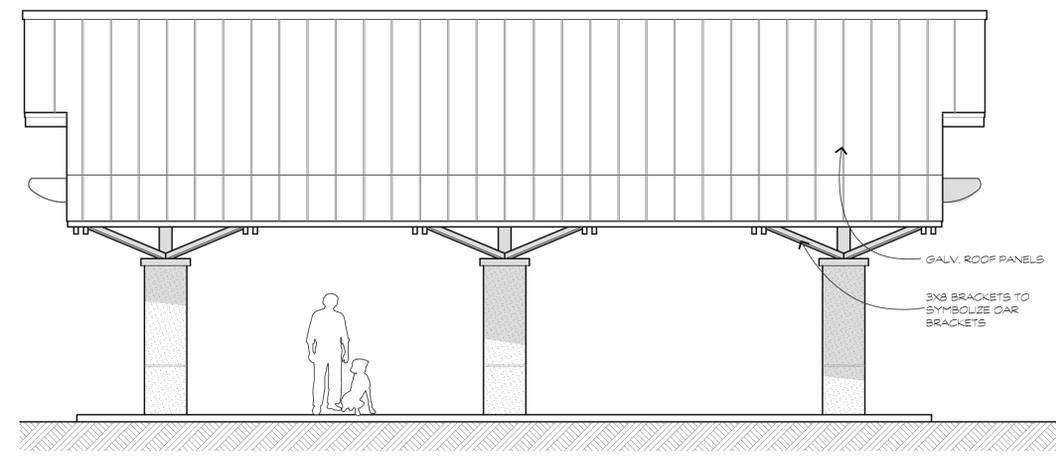
#	REVISION	DATE	BY

DATE
02/05/13
PROJECT NUMBER
01-12033
SHEET TITLE
BATH HOUSE



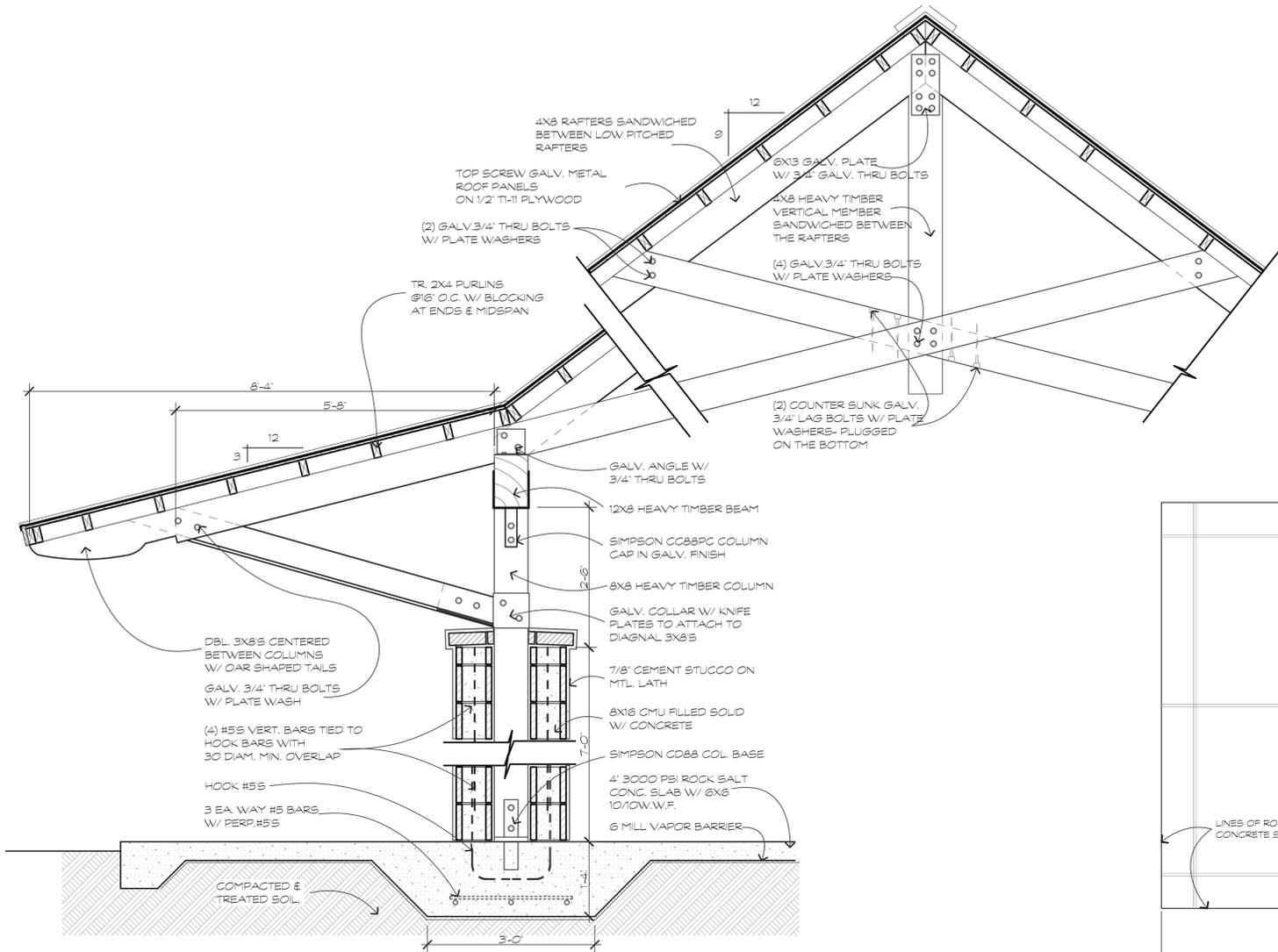
LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

2



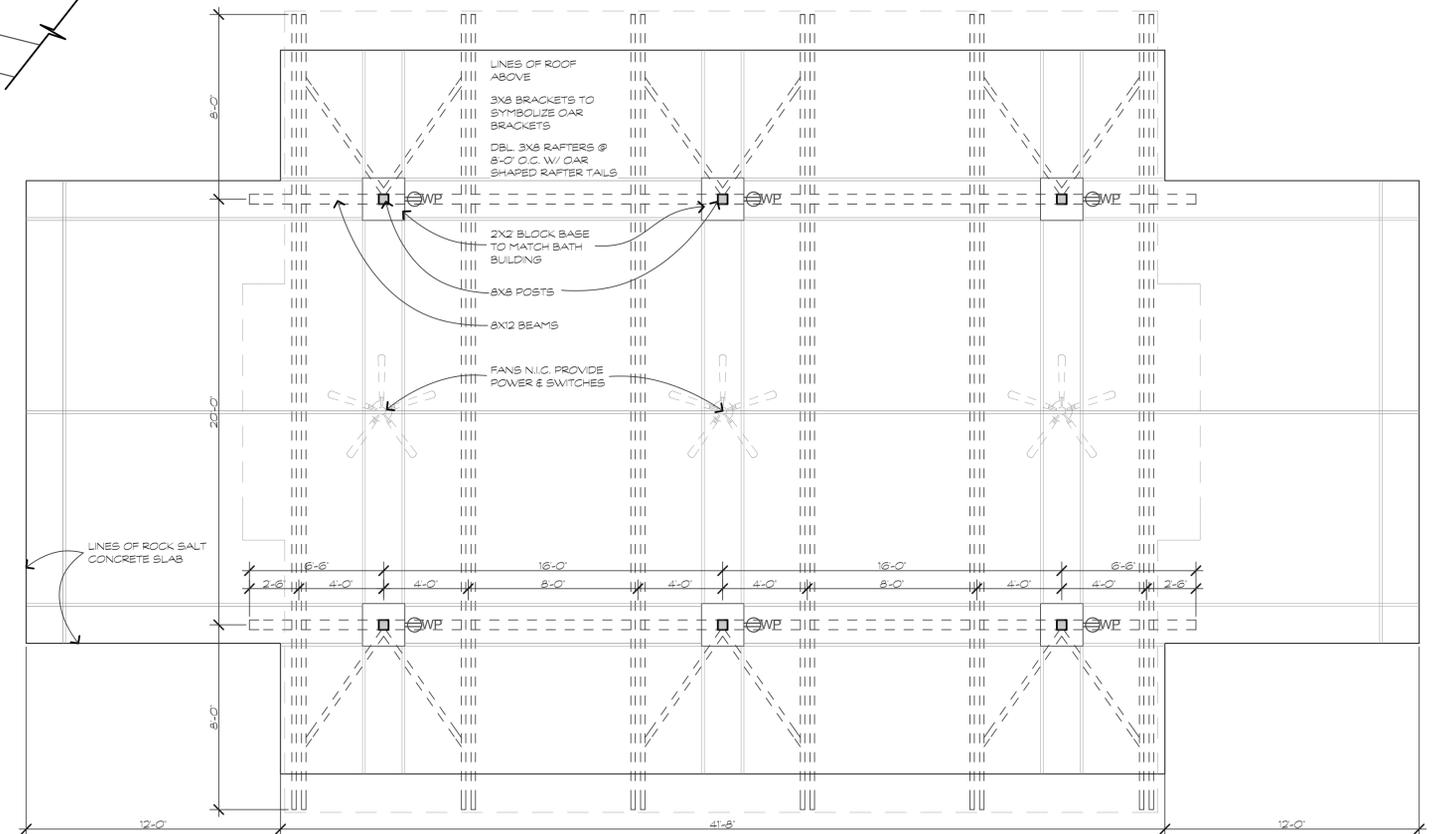
FRONT ELEVATION
 SCALE: 1/4"=1'-0"

3



BUILDING SECTION
 SCALE: 3/4"=1'-0"

5



FLOOR PLAN
 SCALE: 1/4"=1'-0"

1

DRAWN BY:
 T.P.
 CHECKED BY:
 W.T.P.
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#	REVISION	DATE	BY

DATE
 02/05/13
 PROJECT NUMBER
 01-12033
 SHEET TITLE

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: TOHH Rowing & Sailing Center – NEW DEVELOPMENT
CONCEPTUAL REVIEW

DRB#: 130009

DATE: February 26, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilizes existing site features to lessen impact on site's natural resources
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tabby stucco, wood, metal
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Control joints, accent recessed brick
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Picnic Pavilion roof pitch is 9/12 and 3/12. Bath House/Storage Building roof pitch is 4/12.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tabby shell cement stucco, wood trim, galvanized metal roof
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Louvers, barn doors
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No windows due to building use (restroom, storage, open air picnic pavilion)
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Picnic Pavilion will match character of Bath House building in appearance and materials.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilizes existing wooded areas
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Only plant massing indicated due to Conceptual submittal.
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a "layered"	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

appearance for visual interest and a sense of depth				
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed mulch area and screen plantings at storage areas appear to encroach in wetland buffer.
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

The buildings may be required to have flood vents; it is unclear where they were to be places and what flood zone this is in.