



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, March 26, 2013

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of March 12, 2013
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
  - A. New Development
    - 1) DR 130009 – TOHH Rowing & Sailing Center FINAL
  - B. Alteration/Addition
    - 1) DR 130010 – Graves Warehouse Redevelopment
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island  
Design Review Board  
Minutes of the Tuesday, March 12, 2013 Meeting  
1:15p.m – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,  
Jake Gartner, and Galen Smith

Board Members Absent: Jennifer Moffett, Tom Parker and Todd Theodore, Excused

Council Members Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Anne Cyran, Senior Planner  
Rocky Browder, Environmental Planner  
Kathleen Carlin, Secretary

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**1. Call to Order**

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

The Board **approved** the agenda as presented by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the February 26, 2013 meeting as presented by general consent.

**6. Staff Report**

Ms. Ray stated that the staff will provide Board training on Signs following the business meeting.

**7. Board Business**

None

**8. New Business**

A. New Development

**Palmetto Dunes New Gatehouse** - Conceptual Review DR120035

Ms. Ray introduced the application and stated its location on Queens Folly Road in Palmetto Dunes. The applicant proposes to install a new gatehouse to provide security to all Palmetto Dunes residents. Ms. Ray provided an in-depth overhead review of the application. Existing site photos show the location of the existing Fire Station # 6, which will become the new pass office, the view on Queens Folly Road along Highway 278 and the entrance to St. Andrews Common.

Ms. Ray reviewed photos of the prototype gatehouse and provided details with regard to the architecture, the materials, and the color palette, all of which match the existing gatehouses. Ms. Ray also reviewed the site analysis and provided details with regard to the access from Highway 278, the location of the existing fire station (which will become the new pass office), Dalmatian Lane which leads to the new fire station, and the entrance to St. Andrews Common. Ms. Ray also reviewed the location of several significant and specimen trees. The staff believes that steps should be taken to avoid impacts to the drip line of specimen trees. Consideration should also be given to the use of on-grade pavers where practical.

Ms. Ray reviewed the proposed Concept Plan and provided details with regard to the location of the gatehouse and the specialty paving crosswalk. The proposed materials for the gatehouse include a standing seam copper roof, stucco with sand finish, hardi-cement board panels, and Savannah Moss Queen Court brick. The staff recommended approval of the application as submitted for Conceptual review. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Brian Witmer, Witmer-Jones-Keefer, presented brief statements in support of the application. The Board and the applicant discussed a couple of items including the location of the gatehouse in relationship to the road. The applicant stated that the gatehouse will provide manned nighttime security from 11:00p.m to 7:00a.m. Mr. Gartner, Vice Chairman Welch, Mr. Smith and Chairman Sodemann all complimented the quality of the project. Chairman Sodemann stated that additional details regarding the lighting plan and the landscaping plan will be provided at Final review. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a motion to **approve** the Palmetto Dunes New Gatehouse Conceptual Review application DR120035 as submitted. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 4-0-0.

#### B. Alteration/Addition

##### **Kangaroo Express** – Mathews Drive DR130004

Ms. Ray stated that this application has been withdrawn at the applicant's request.

#### **9. Appearance by Citizens**

None

#### **10. Adjournment**

The meeting was adjourned at 1:40p.m.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Secretary

\_\_\_\_\_  
Scott Sodemann  
Chairman



**Town of Hilton Head Island**  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: KYLE THEODORE Company: WOOD + PARTNERS INC  
 Mailing Address: P.O. BOX 2394A City: HILTON HEAD State: SC Zip: 29925  
 Telephone: (813) 661-818 EXT. 236 Fax: (813) 7086 E-mail: KTHEODORE@WOODANDPARTNERS.COM  
 Project Name: TOHAI ROWING + SAILING CENTER Project Address: SQUIRE POPE ROAD  
 Parcel Number [PIN]: RS 11 007 000 003 B 0000 (004C,004D), RS11 007 0809 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- |  |  |
|--|--|
| <input type="checkbox"/> New Development – Conceptual                                | <input type="checkbox"/> Alteration/Addition   |
| <input checked="" type="checkbox"/> New Development – Final, indicate Project Number | <input type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee. New Development \$175. Alterations/Additions \$100. Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

\_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

\_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.

\_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.

\_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

\_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

\_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

\_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.

\_\_\_\_\_ Photographs and/or drawings of existing development.

\_\_\_\_\_ Drawings of the proposed development – 11"x 17".

\_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

3/12/13  
DATE

# Hilton Head Island Rowing and Sailing Center

Hilton Head Island, SC

## Project Narrative – DRB Final Submittal

March 26, 2013

### Background

The Town of Hilton Head Island is proposing to build a new park and rowing/sailing facility located on Squire Pope Road (parcels #R511 007 000 004C(004D) 0000, R511 007 000 003B 0000 & R511 007 0809 0000). The site is composed of several parcels and is currently undeveloped, with the exception of piers remaining from an old wooden dock. The property is approximately 7.8 acres in size. The site is wooded and contains a mix of trees, including pine, live oak and laurel oak, among others. There are several large specimen trees on site that have influenced the design and layout of site features. An existing wetland (.35 ac) and its associated buffer, located in the center of the property, will remain undisturbed.

### Design Intent

The proposed site plan consists of a paved access drive with pervious and grassed parking. As proposed, handicap parking will be asphalt. The park has two amenity areas; one dedicated to public use; the other is more utilitarian in nature containing open-air rowing and sailing boat storage, as well as canoe/kayak storage. The storage areas will be vinyl coated chain link fence with black wind screens to limit sight into the storage areas. A large “staging pad” has been provided for use by all groups for repairs and training. The largest fenced storage area (dedicated to rowing) is 4,200 SF in size.

The public use area is anchored by two buildings: the first is a bath house and storage building. It is approximately 800 sf and will primarily consist of stucco and wood veneer with a shingle roof. It will contain restrooms and a flexible storage space with sliding “barn type” doors that open onto an adjacent concrete pad. The second structure is a roofed, open air picnic pavilion. It is approximately 1,400 sf in size and will match the character of the bath house building in appearance and materials. The design of this structure takes its cues from the riggers and oars of the crew shells. Adjacent to the pavilion- and on the water side, is a fire pit for small gatherings. In addition, two charcoal grills are proposed for charcoal cooking. A nearby tire swing provides entertainment for children while waterside trellis swings provide other users with views of the water.

One of the main features of the site is the proposed access pier, fishing pier and floating dock. The proposed structure provides a separate space for neighborhood fishermen on the fixed pier while allowing safe and easy access for crew shells and sail boats into and out of the water on the floating dock. The floating dock is accessed by an aluminum gangway designed to meet ADA requirements. The fixed pier will be constructed of Southern Yellow Pine framing and decking with marine grade pilings. The proposed floating dock will be low profile and constructed of Southern Yellow Pine decking and framing. The handrail will be a wood and stainless steel cable railing system, similar in design to handrails used elsewhere on Town boardwalk projects.

The access drive, parking and structures were located utilizing existing site features and lessening the impact on the site's natural resources, specifically the live oak trees. The goal is to minimize the amount of grading and utility work to reduce site disturbance. All parking and structures are located to avoid buffers or setbacks as required by adjacent properties, roadways, wetlands and waterways. Access to the site is from Squire Pope Road and utilizes an existing curb cut location. The entrance to the site will consist of a metal vehicular swing-arm gate that can be secured when the park is closed. Minimal (for safety purposes, only) site lighting will be provided, as the park will close at sunset. A standard Town mast arm sign will be utilized to mark the park's entrance.

# CONSTRUCTION DOCUMENT PACKAGE FOR THE TOWN OF HILTON HEAD ISLAND ROWING AND SAILING CENTER

PREPARED FOR:

**Town of Hilton Head Island**  
Hilton Head Island, South Carolina  
May 1, 2013

PREPARED BY:

LAND PLANNING AND LANDSCAPE ARCHITECTURE  
**WOOD + PARTNERS INC.**

7 Lafayette Place Hilton Head Island, SC 29925 843.681.6618 Fax 843.681.7086



ARCHITECTURE  
**LEE & PARKER ARCHITECTS**

#10 Palmetto Business Park, Suite #210 Hilton Head Island, SC 29938 843.785.5171 Fax 843.785.7471

CIVIL ENGINEERING  
**WARD EDWARDS**

P.O. Box 381 Bluffton, SC 29910 843.837.5250 Fax 843.837.2558



DOCK ENGINEERING  
**APPLIED TECHNOLOGY AND MANAGEMENT**

P.O. Box 20336 Charleston, SC 29413 843.414.1040 Fax 843.414.0155



Parcel ID:

R511 007 000 004C(004D) 0000

R511 007 000 003B 0000

R511 007 0809 0000

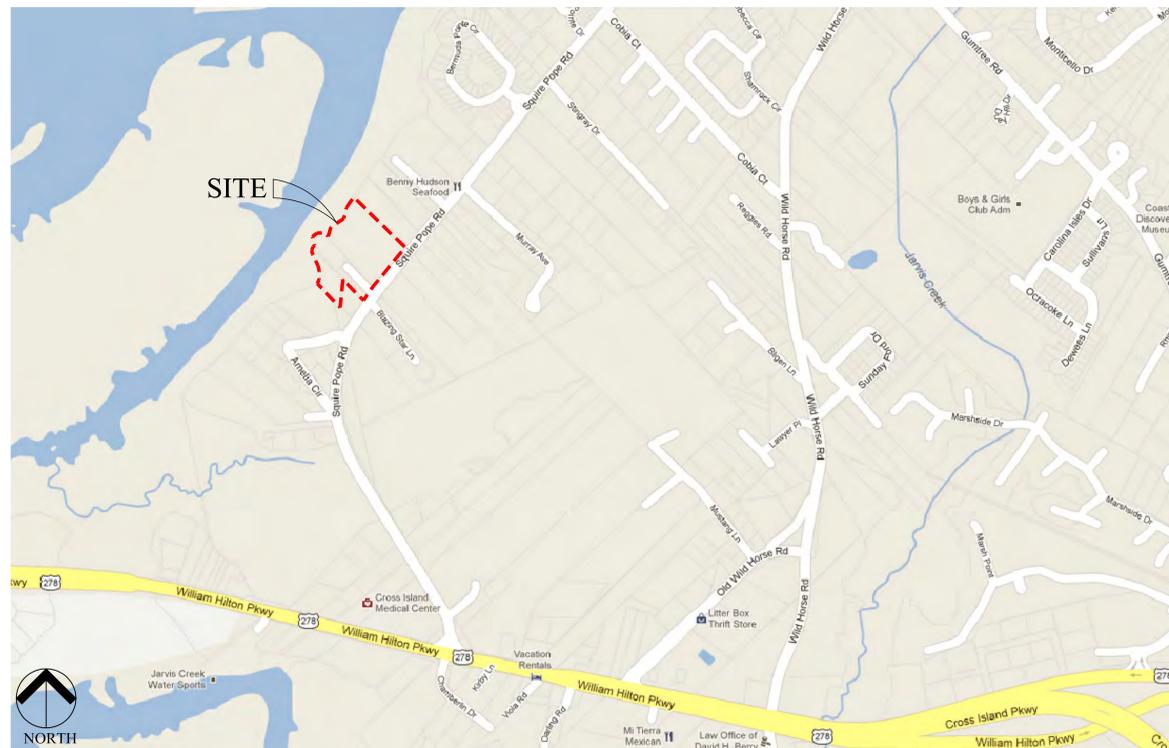
Flood Zone:

A7(14)

A9(15)

INDEX TO DRAWINGS:

COVER	
L1	KEYNOTE PLAN
L2	DETAILS
L3	DETAILS
L4	PLANTING PLAN
L5	SITE FURNISHINGS
A.1	BATH HOUSE
A.2	PICNIC PAVILION
D1	PIER/DOCK ELEVATION
D2	PIER/DOCK PLAN
L11	PARKING LOT LIGHTING PLAN



LOCATION MAP

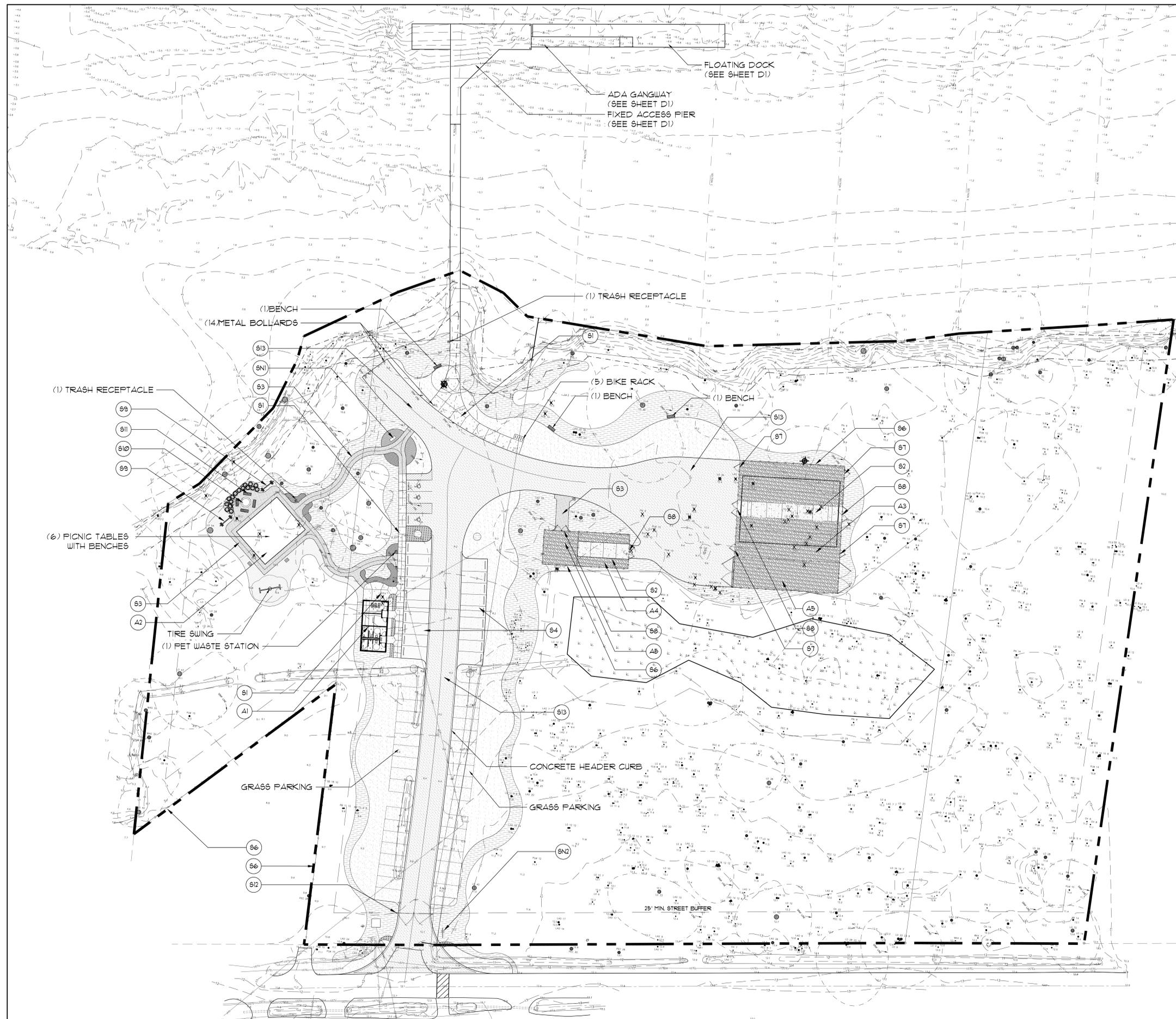
GENERAL NOTES:

1. SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, BUILDINGS, ROADS, PARKING AND FACILITIES.
2. SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
6. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
7. TREE PROTECTION FENCES SHALL BE MAINTAINED IN PLACE AT ALL TIMES UNTIL WORK IS COMPLETED.
8. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
9. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.
11. ALL WALKS AND PAVED AREAS SHALL HAVE POSITIVE DRAINAGE.
12. ALL 4" CONCRETE WALKS SHALL BE 3000 PSI, UNLESS OTHERWISE NOTED. 6" CONCRETE SHALL BE 3500 PSI, UNLESS OTHERWISE NOTED.
13. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS.
14. ALL WOOD, IN CONTACT WITH GROUND, UNLESS OTHERWISE SPECIFIED, SHALL BE SOUTHERN YELLOW PINE, SPIB GRADE NO2 COMMON OR BETTER, S4S, SIZED AS SHOWN ON DRAWINGS, TREATED AWPB LP22, 10% MAXIMUM MOISTURE CONTENT.
15. BOLTS, THREADED RODS, WASHERS, AND NUTS SHALL BE HOT-DIPPED GALVANIZED.
16. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH GALVANIZED NUTS, BOLTS, AND WASHERS.
17. ALL NAILS SHALL BE HOT-DIPPED GALVANIZED. FINISH NAILS SHALL BE ANNULAR ALLOY ALUMINUM.
18. ALL WELDS CONTINUOUS.
19. ALL ANGLES MEASURE 90 DEGREES UNLESS OTHERWISE NOTED.
20. WALKS TO BE STAKED OUT USING DIGITAL INFORMATION PROVIDED BY WOOD+PARTNERS.

Town of Hilton Head Island  
One Town Center Court Hilton Head Island, SC 29928  
843.341.4600



Know what's below.  
Call before you dig.



- SITE WORK:**
- S1 4" CONCRETE SIDEWALK  
DETAIL 1/L2
  - S2 6" CONCRETE PAD  
DETAIL 2/L2
  - S3 CRUSHED SHELL PATH W/ METAL EDGE  
DETAIL 5/L2
  - S4 GRANITE FINES PARKING W/ OYSTER SHELL TOPDRESS  
DETAIL 6/L2
  - S5 GRAVEL STORAGE YARD  
DETAIL 8/L2
  - S6 CHAINLINK FENCE  
DETAIL 9/L2
  - S7 CHAINLINK FENCE - SINGLE GATE  
DETAIL 10/L2
  - S8 CHAINLINK FENCE - DOUBLE GATE  
DETAIL 11/L2
  - S9 WOOD TRELLIS SWING  
DETAIL 1/L3
  - S10 FIREPIT - ADD ALTERNATE #1  
DETAIL 2/L3
  - S11 BUILT-IN WOOD BENCH  
DETAIL 3/L3
  - S12 VEHICULAR ENTRY GATE  
DETAIL 6/L3
  - S13 ASPHALT ENTRANCE DRIVE  
DETAIL 7/L2

- SITE KEY LEGEND:**
- ARCHITECTURE:**
- A1 BATH HOUSE  
SEE ARCHITECTURE DRAWINGS - SHEET A1
  - A2 PICNIC PAVILION  
SEE ARCHITECTURE DRAWINGS - SHEET A2
  - A3 BOAT SHELL STORAGE YARD  
(GRAVEL WITH 6" CONCRETE PAD)
  - A4 SMALL BOAT STORAGE YARD  
(GRAVEL WITH 6" CONCRETE PAD)
  - A5 CANOE/KAYAK STORAGE YARD  
(GRAVEL)
  - A6 TRAILER STORAGE YARD  
(GRAVEL)

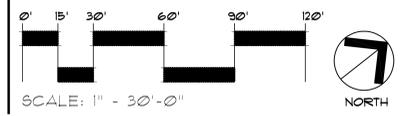
- SIGNAGE:**
- SN1 INFORMATION KIOSK  
DETAIL 4/L3
  - SN2 ENTRY IDENTIFICATION SIGNAGE  
DETAIL 3/L3

- PAVING LEGEND:**
- 4" CONCRETE WALK W/ BROOM FINISH  
COLOR: NATURAL  
DETAIL: 1/L2
  - 6" CONCRETE PAD  
COLOR: NATURAL  
DETAIL: 2/L2
  - CRUSHED SHELL PATH  
DETAIL: 5/L2
  - GRAVEL PARKING  
DETAIL: 8/L2
  - GRANITE FINES PARKING  
DETAIL: 6/L2
  - ASPHALT DRIVE  
DETAIL: 7/L2
  - CONTROL JOINT  
SEE DETAIL 3/L2
  - EXPANSION JOINT  
SEE DETAIL 4/L2

**FURNISHINGS SCHEDULE:**

QTY.	DESCRIPTION
3	6" BENCH MANUF. WABASH VALLEY MODEL: CN430(D) - IN-GROUND COLOR: BLACK
6	PICNIC TABLE WITH BENCHES MANUF. WABASH VALLEY MODEL: FT100(D) COLOR: BLACK
3	TRASH RECEPTACLE MANUF. WABASH VALLEY MODEL: LR300(D) - FT110 - LR100 COLOR: BLACK
5	BIKE RACK MANUF. UESCOAT, INC. MODEL: BIKELOOP-S1 COLOR: BLACK
1	TIRE SWING MANUF. MIRACLE RECREATION MODEL: T14-852 COLOR: BLACK
1	PET WASTE STATION MANUF. PILOT ROCK MODEL: FUS-DOG1010
2	CHARCOAL GRILL MANUF. PILOT ROCK MODEL: F-1000/S B13

**PROGRESS SET - NOT FOR CONSTRUCTION**



SURVEY INFORMATION, COMPILED FROM SURVEY BY SEA ISLAND LAND SURVEY, LLC.  
FILE 7-1242 DATED 11/06/12.  
PLAN IS SUBJECT TO CHANGE.

**Wood+Partners Inc. WPI**  
Landscape Architects  
Land Planners  
PO Box 23940 • Hilton Head Island, SC 29923  
843.681.6616 • Fax 843.681.7386 • www.woodpartners.com

Town of Hilton Head Island  
One Town Center Court  
Hilton Head Island, SC 29928

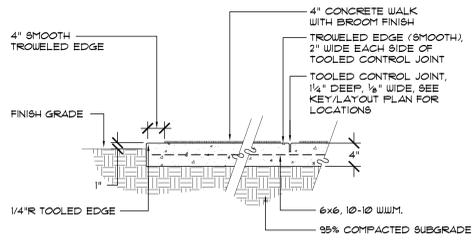
CONSTRUCTION DOCUMENTS  
**TOHHI ROWING & SAILING CENTER**  
Hilton Head Island, South Carolina

DRAWN BY:  
TT  
CHECKED BY:  
KT  
This drawing is an instrument of service & remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

#	REVISION	DATE	BY

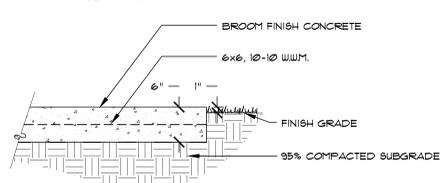
DATE  
05-01-2013  
PROJECT NUMBER  
01-12033  
SHEET TITLE  
Keynote  
Plan  
SHEET NUMBER  
**L1**

- NOTES:  
 1. PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.  
 2. SEE LAYOUT PLAN FOR LOCATION OF EXPANSION AND CONTROL JOINTS.

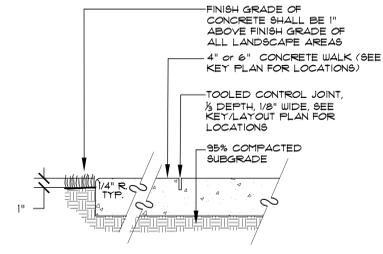


1 4" CONCRETE SIDEWALK  
 SCALE 1" = 1'-0"

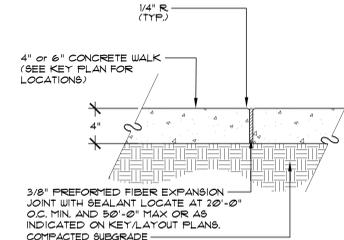
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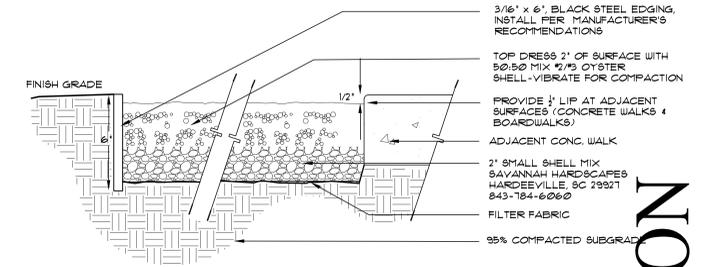
2 6" CONCRETE PAD  
 SCALE 1" = 1'-0"



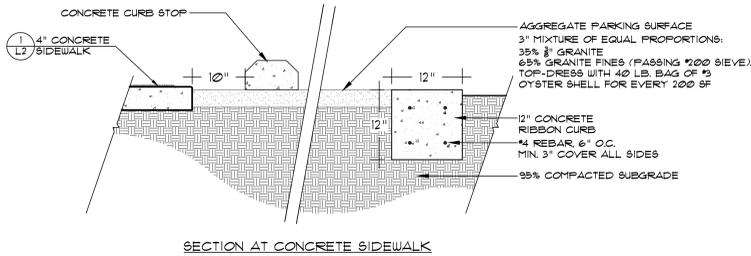
3 CONTROL JOINT  
 SCALE 1 1/2" = 1'-0"



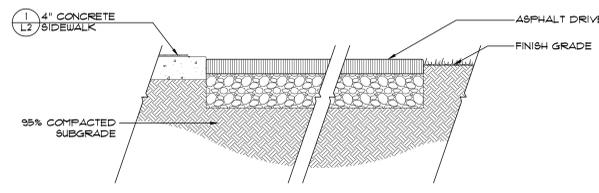
4 EXPANSION JOINT  
 SCALE 1 1/2" = 1'-0"



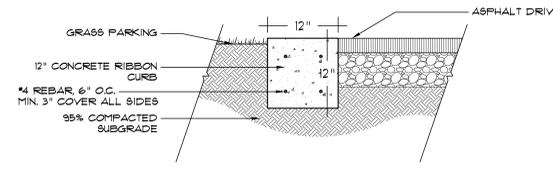
5 CRUSHED SHELL PATH W/ METAL EDGE  
 SCALE 3" = 1'-0"



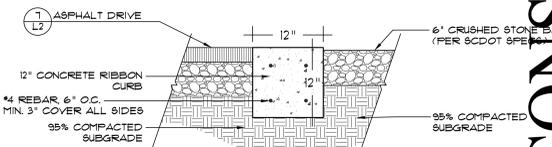
SECTION AT CONCRETE SIDEWALK



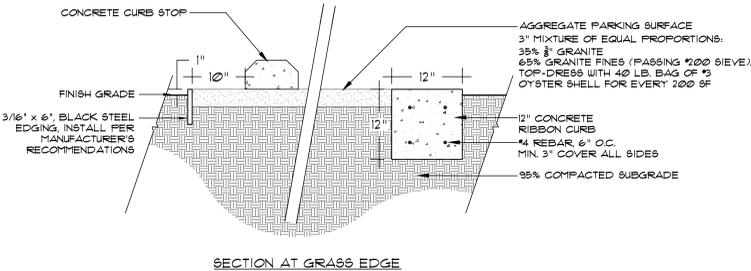
SECTION AT CONCRETE SIDEWALK



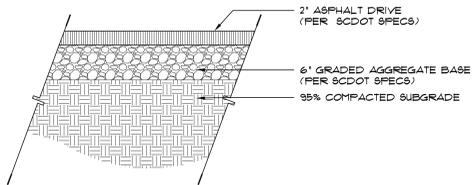
SECTION AT GRASS EDGE



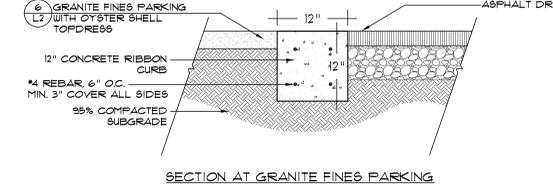
SECTION AT ASPHALT DRIVE



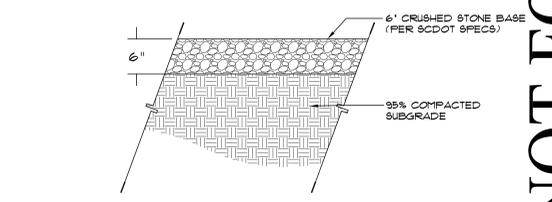
SECTION AT GRASS EDGE



SECTION AT ASPHALT ENTRANCE DRIVE



SECTION AT GRANITE FINES PARKING

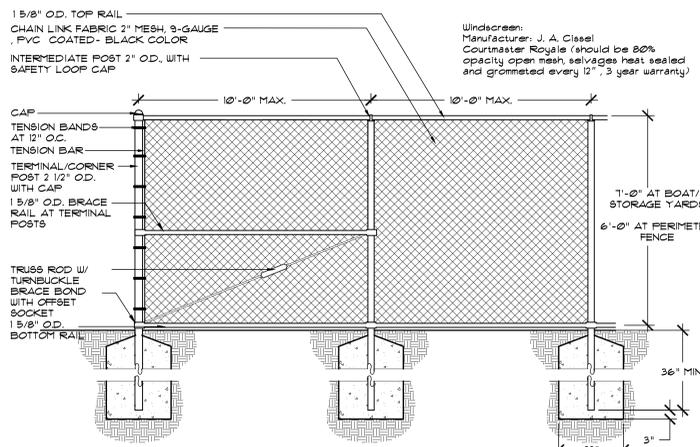


SECTION AT GRAVEL STORAGE YARD

6 GRANITE FINES PARKING W/ OYSTER SHELL TOPDRESS  
 SCALE 1" = 1'-0"

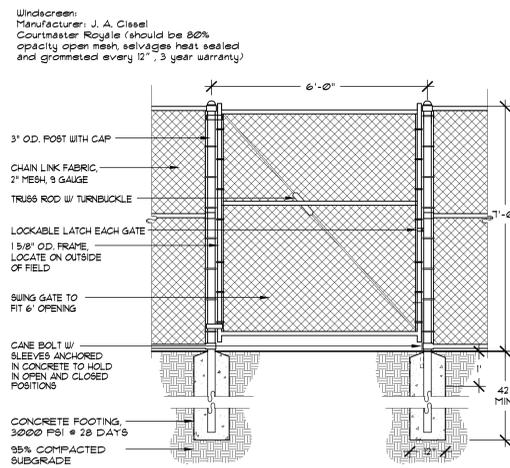
7 ASPHALT ENTRANCE DRIVE  
 SCALE 1" = 1'-0"

8 GRAVEL STORAGE YARD  
 SCALE 1" = 1'-0"



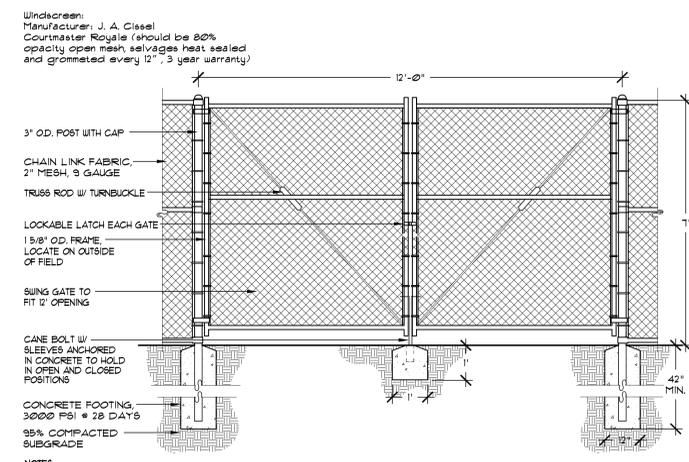
- NOTES:  
 1. ALL FENCING, GATES, ASSOCIATED FASTENERS AND HARDWARE SHALL BE PVC COATED - BLACK COLOR, UNLESS OTHERWISE NOTED ON PLANS.  
 2. FENCING AT BOAT/STORAGE YARDS TO RECEIVE WIND SCREEN FABRIC.  
 3. ALL CHAIN LINK FENCING SHALL BE KNUCKLE-BY-KNUCKLE AT TOP & BOTTOM.  
 4. TIES TO BE 6 GAUGE PVC COATED BLACK & INSTALLED EVERY 10' ON TOP, BOTTOM, & INTERMEDIATE RAILS.

9 CHAIN LINK FENCE  
 SCALE 1/2" = 1'-0"



- NOTES:  
 1. ALL FENCING, GATES, ASSOCIATED FASTENERS AND HARDWARE SHALL BE PVC COATED - BLACK COLOR, UNLESS OTHERWISE NOTED ON PLANS.  
 2. FENCING AT BOAT/STORAGE YARDS TO RECEIVE WIND SCREEN FABRIC.  
 3. ALL CHAIN LINK FENCING SHALL BE KNUCKLE-BY-KNUCKLE AT TOP & BOTTOM.  
 4. TIES TO BE 6 GAUGE PVC COATED BLACK & INSTALLED EVERY 10' ON TOP, BOTTOM, & INTERMEDIATE RAILS.

10 CHAIN LINK FENCE - SINGLE GATE  
 SCALE 1/2" = 1'-0"



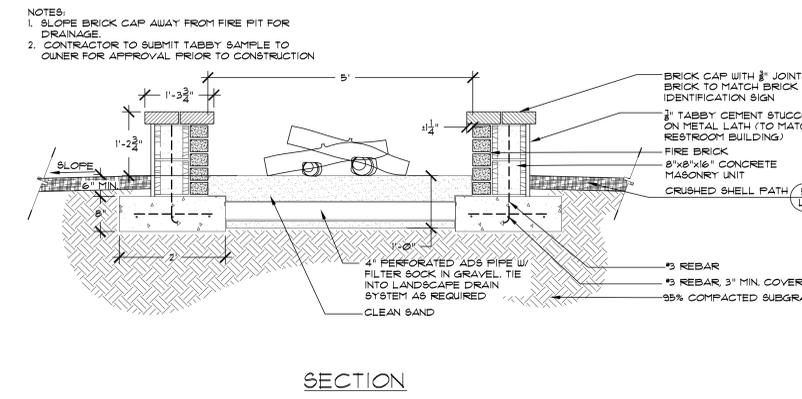
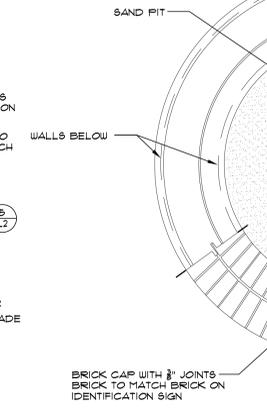
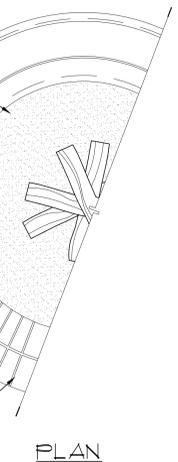
- NOTES:  
 1. ALL FENCING, GATES, ASSOCIATED FASTENERS AND HARDWARE SHALL BE PVC COATED - BLACK COLOR, UNLESS OTHERWISE NOTED ON PLANS.  
 2. FENCING AT BOAT/STORAGE YARDS TO RECEIVE WIND SCREEN FABRIC.  
 3. ALL CHAIN LINK FENCING SHALL BE KNUCKLE-BY-KNUCKLE AT TOP & BOTTOM.  
 4. TIES TO BE 6 GAUGE PVC COATED BLACK & INSTALLED EVERY 10' ON TOP, BOTTOM, & INTERMEDIATE RAILS.

11 CHAIN LINK FENCE - DOUBLE GATE  
 SCALE 1/2" = 1'-0"

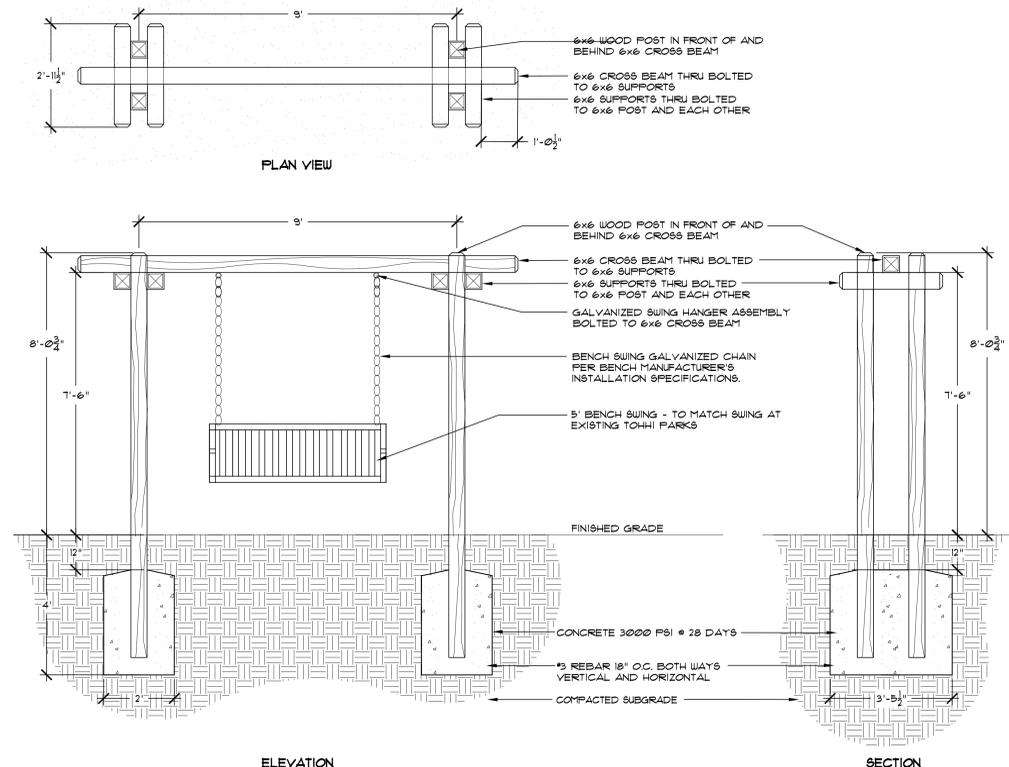
#	REVISION	DATE	BY

**PROGRESS SET - NOT FOR CONSTRUCTION**

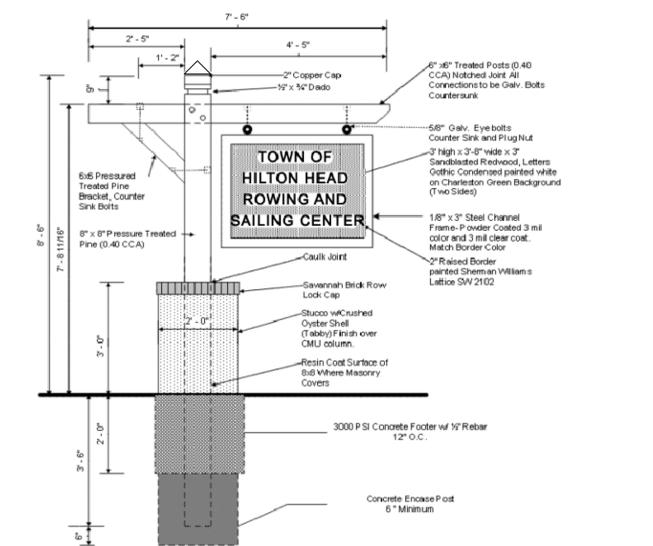
**PROGRESS SET - NOT FOR CONSTRUCTION**



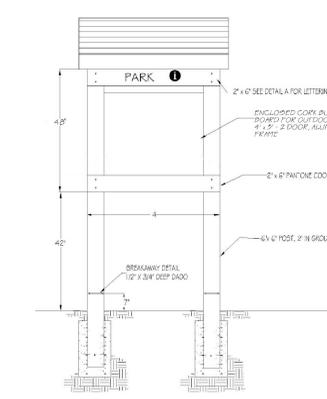
**2 FIRE PIT**  
SCALE 3/4" = 1'-0"



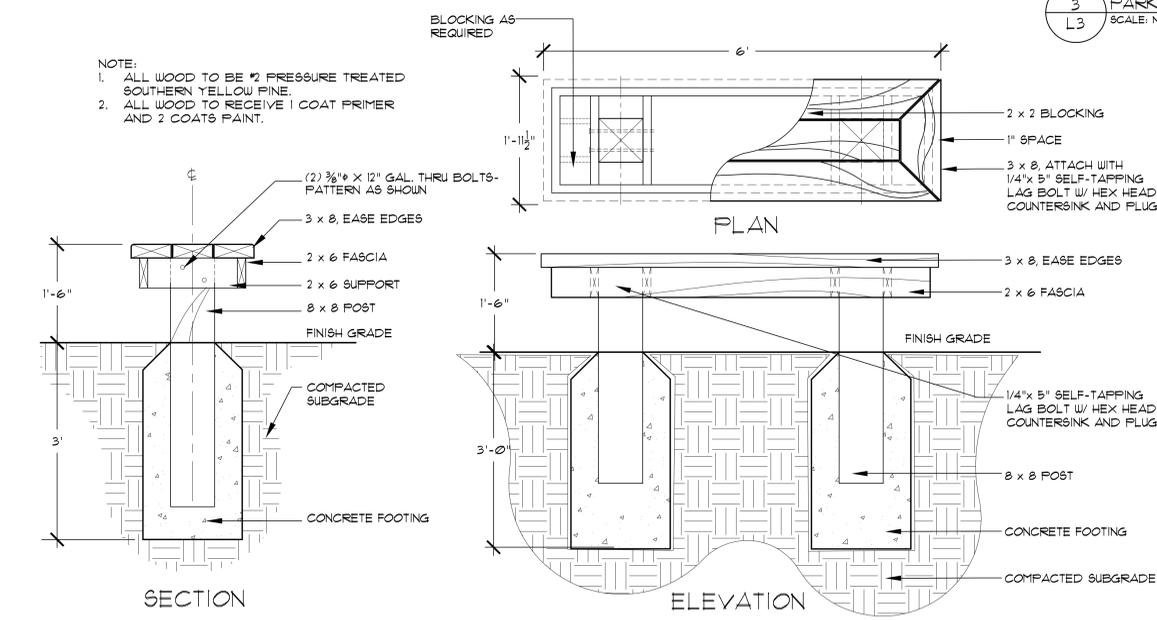
**1 WOOD TRELLIS SWING**  
SCALE 1/2" = 1'-0"



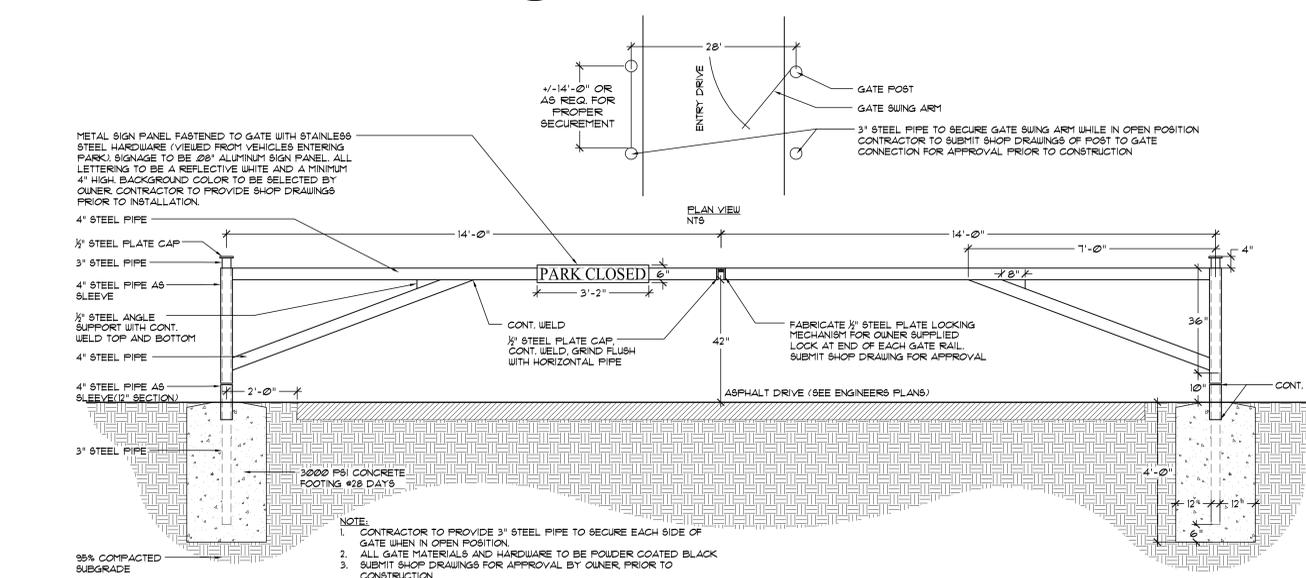
**3 PARK IDENTIFICATION SIGN**  
SCALE: N.T.S.



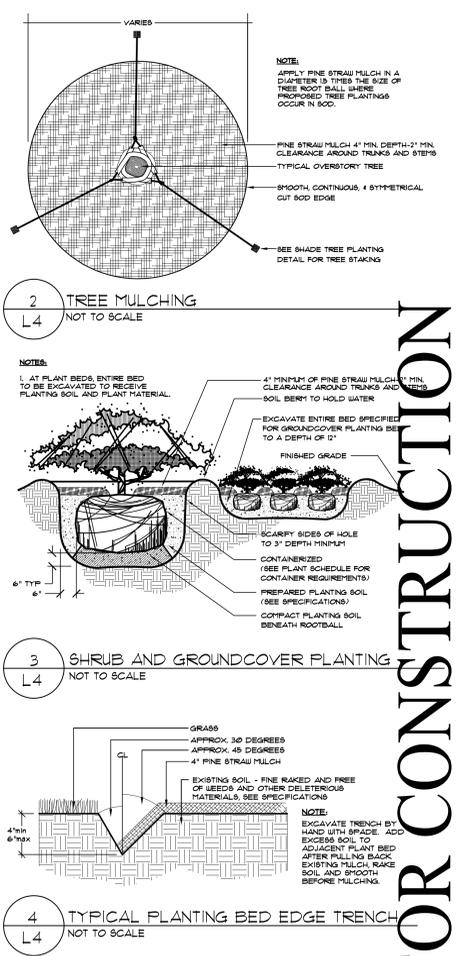
**4 INFORMATION KIOSK**  
SCALE: N.T.S.



**5 BUILT IN WOOD BENCH**  
SCALE 1" = 1'-0"



**6 VEHICULAR ENTRY GATE**  
SCALE 1/2" = 1'-0"



**NOTE:**  
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.  
2. NYLON BANDS SHOULD NOT BE SET RIDGE TO ALLOW FOR THE TRUNK TO MOVE SLIGHTLY IN THE WIND.

**NOTE:**  
1. AT PLANT BEDS ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.  
2. EXCAVATE ENTIRE BED SPECIFIED FOR GRASS/COVER PLANTING BED TO A DEPTH OF 12".

**NOTE:**  
EXCAVATE TRENCH BY HAND WITH SHOVE. ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER FILLING BACK. EXISTING MULCH, RAKE SOIL AND SMOOTH BEFORE MULCHING.

**PLANT SCHEDULE:**

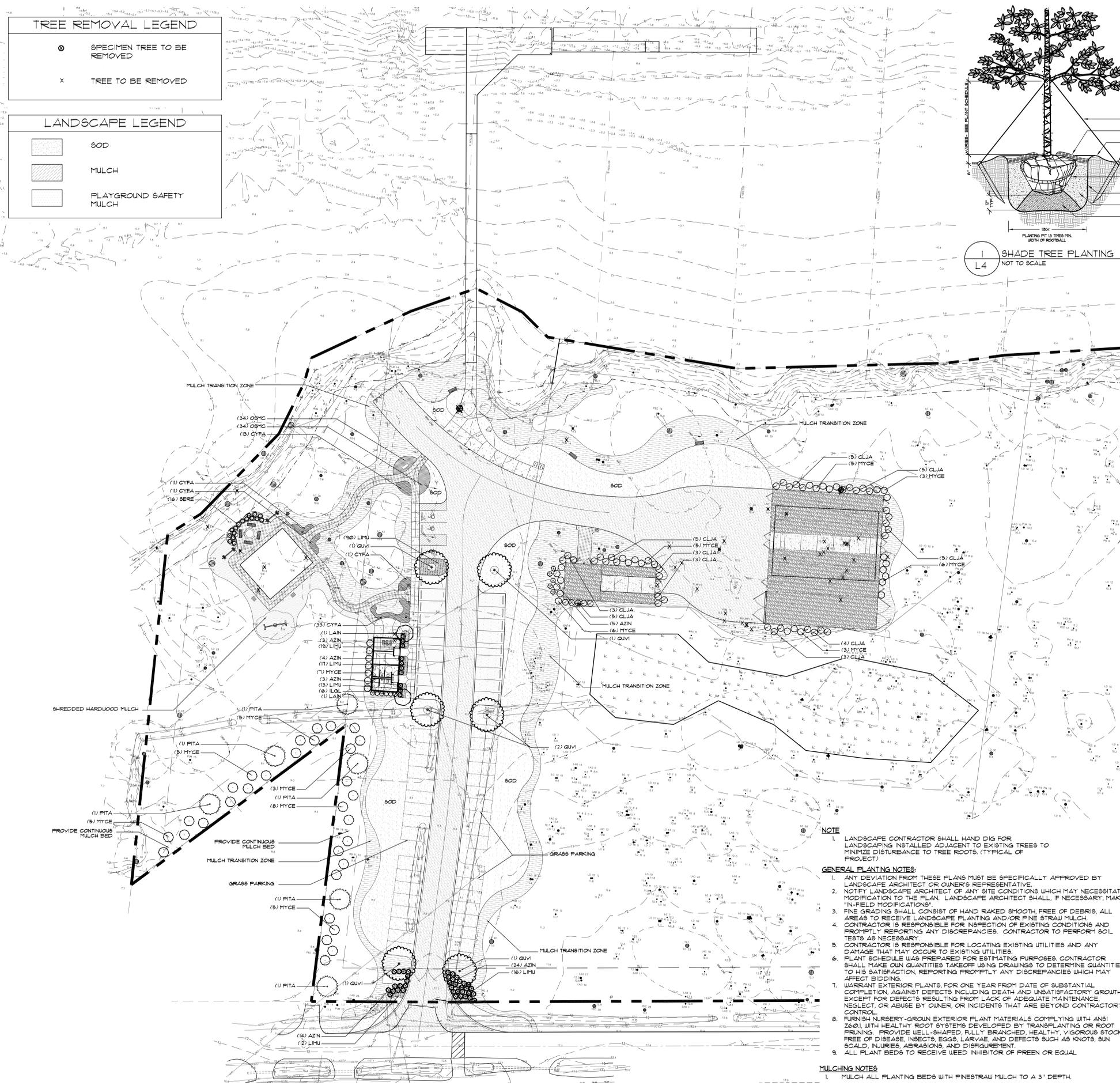
TREES							
QUAN	ABBRV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
2	LAN	Lagerstroemia indica Natchez' / Crape Myrtle	8-10'	-	cont.	As Shown	15 - 2" cal Multi-Trunk Specimen
6	PITA	Pinus taeda / Loblolly Pine	8-10'	-	cont.	As Shown	15 - 2" cal Strong Central Leader
6	QUEV	Quercus virginiana / Live Oak	10-12'	4'	cont.	As Shown	2.5" cal Strong Central Leader

SHRUBS							
QUAN	ABBRV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
53	AZIN	Azalea indica 'Formosa' / Formosa Azalea	18"-24"	18"-24"	cont.	As Shown	
41	CLJA	Claytonia japonica / Claytonia	24"-36"	36"	cont.	As Shown	
6	ILGL	Ilex glabra Inkberry Holly	24"-36"	18"-24"	cont.	As Shown	
66	MYCE	Myrica cerifera Wax Myrtle	36"-42"	24"-36"	cont.	As Shown	
16	SERE	Saranea repens 'Silver' / Silver Saw Palmetto	24"-36"	24"-36"	1 Gal.	As Shown	

GROUNDCOVERS							
QUAN	ABBRV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
79	CYFA	Cyrtomium falcatum / Holly Fern	12"-18"	12"-18"	1 Gal.	30" O.C.	Full pot
169	LIMU	Liriope muscari 'Big Blue' / Big Blue Liriope	12"-18"	12"-18"	1 Gal.	18" O.C.	Full pot
68	OSMC	Osmondia cinnamomea / Cinnamon Fern	12"-18"	18"-12"	cont.	24" O.C.	Full pot

SOD							
QUAN	ABBRV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
2166	19F	SOD	Cynodon dactylon / Common Bermuda	N/A	N/A	N/A	Lay sod squares edge to edge.

MULCH							
QUAN	ABBRV	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
23,382	9F	MULCH	FINESTRAW MULCH				4" MIN. DEPTH Quantity * includes new and existing areas.
2,151	19F	MULCH	SHREDDED HARDWOOD MULCH				4" MIN. DEPTH Playground area depth based on manufacturer's recommendation.

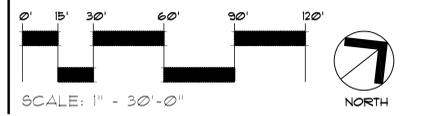


**NOTE**  
1. LANDSCAPE CONTRACTOR SHALL HAND DIG FOR LANDSCAPING INSTALLED ADJACENT TO EXISTING TREES TO MINIMIZE DISTURBANCE TO TREE ROOTS. (TYPICAL OF PROJECT)

**GENERAL PLANTING NOTES:**  
1. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.  
2. NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".  
3. FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINE STRAW MULCH.  
4. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY.  
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.  
6. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.

**WARRANTY EXTERIOR PLANTS, FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.**  
8. FURNISH NURSERY-GROWN EXTERIOR PLANT MATERIALS COMPLYING WITH ANSI Z602, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHARED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.  
9. ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF FREON OR EQUAL.

**MULCHING NOTES**  
1. MULCH ALL PLANTING BEDS WITH FINESTRAW MULCH TO A 3" DEPTH.



SURVEY INFORMATION, COMPILED FROM SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 7-1242 DATED 11/06/12.  
PLAN IS SUBJECT TO CHANGE.



METAL BENCH



PICNIC TABLE

(Representative image)



TIRE SWING

**ultra site**  
A PLAYSCAPE COMPANY

**Bollard Collection**

The perfect combination of style and security. High-quality steel bollards can be manufactured to meet the exact needs of any installation.

- Engineered to meet the needs of any space
- Traditional and contemporary designs available
- Durable steel bollards that provide a balance of security and timeless design

**Newport Series**

- 6" diameter
- Available in 3' and 4' heights
- 1 and 2 Loop options available for use with chain
- Available in surface mount (SM) and inground (S) mount options

3' 4'  
6" Diameter 2603 2604

METAL BOLLARD



CHARCOAL GRILL



Bike Racks

Webcoast's standard bike racks are individual units made of galvanized tubing, then coated with thermo-plastic to prevent rust and scratches. Bike racks come standard with surface mounting plates, but can be ordered with inground capabilities.

BIKE RACK LOOP

**DogIPot — Economical Pet Waste Collection System**

The DogIPot light weight, polyethylene pet waste removal stations are built to commercial quality standards for use everywhere dogs and their owners go.

**The complete DogIPot Pet Waste Station includes:**

- Junior Bag Dispenser (400 litter bag storage capacity). Forest green color.
- Two rolls (200 bags each) of opaque green Oxo-Biodegradable litter pick up bags.
- Trash Receptacle with Lid, 10 gallon size. Forest green color.
- One box (50 count) heavy duty liner bags.
- Signage: 18" x 12" aluminum Pet Waste sign, plus instruction signage.
- Fiberglass 4' to 8' telescoping mounting post. Assembly and mounting instructions.
- Order the Complete Pet Waste Station, **Model PWS-DOGI1010**.

For areas where you have your own trash receptacles you can install just the litter bag dispenser. Pet owners can take a bag, use it as they exercise their pet, and dispose of it in the nearest trash receptacle.

Order the DogIPot Junior Bag Dispenser only, **Model PWS-DOGI1007-2** (includes two rolls of 200 bags each).

Order bag refills:

- **Model PWS-DOGI1402** Litter Pick Up Bags, 8' x 13" long, opaque green, oxo-biodegradable. 200 bags per box. Minimum order one case of ten boxes (2000 bags).
- **Model PWS-DOGI1404** Receptacle Liner Bags, 10 gal., opaque black, draw tape close, box of 50 bags.

60 **Pilot Rock** PARK • STREET • CAMP SITE PRODUCTS

Toll Free: 800-762-5002 • FAX: 712-225-5796

PET WASTE STATION



TRASH RECEPTACLE

(Representative image)

PROGRESS SET - NOT FOR CONSTRUCTION

Town of Hilton Head Island  
One Town Center Court  
Hilton Head Island, SC 29928

CONSTRUCTION DOCUMENTS  
TOHHI ROWING & SAILING CENTER  
Hilton Head Island, South Carolina

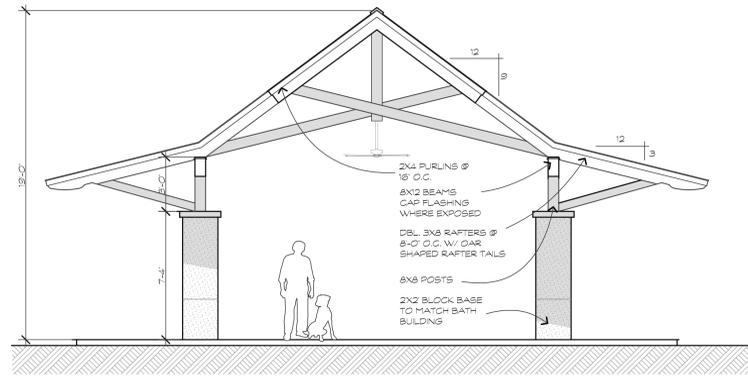
DRAWN BY:  
TT  
CHECKED BY:  
KT

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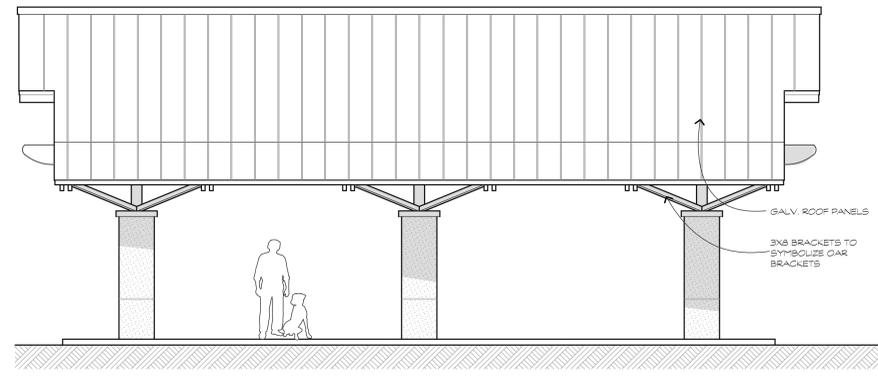
#	REVISION	DATE	BY

DATE  
05-01-2013  
PROJECT NUMBER  
01-12033  
SHEET TITLE  
Site Furnishings

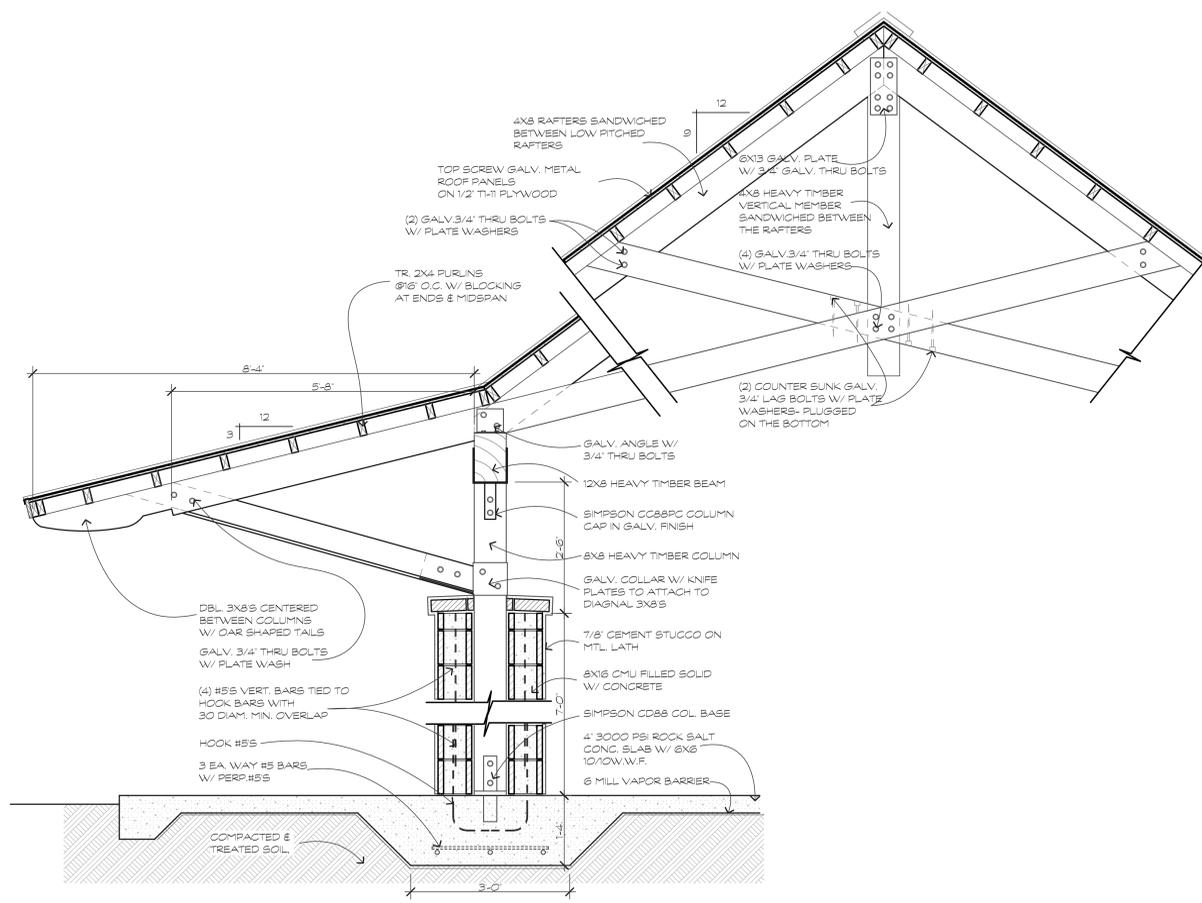




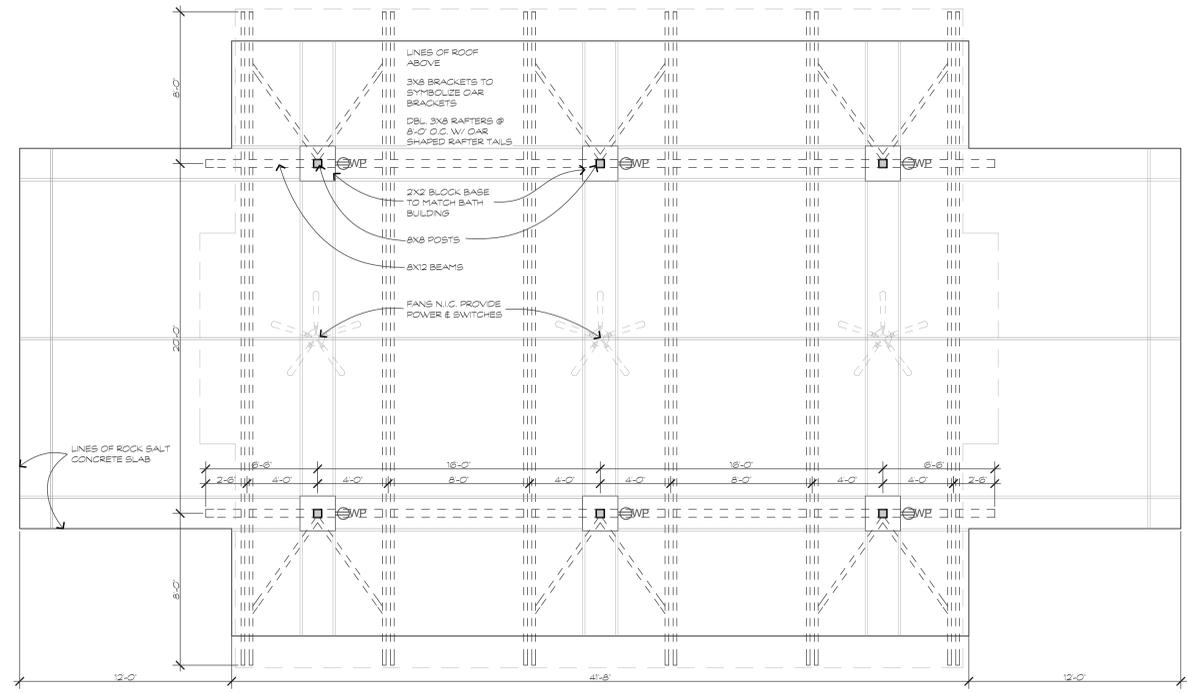
**REAR ELEVATION**  
SCALE: 1/4"=1'-0"  
④  
A-2



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"  
③  
A-2



**BUILDING SECTION**  
SCALE: 3/4"=1'-0"  
⑤  
A-2



**FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
①  
A-2

**PROGRESS SET - NOT FOR CONSTRUCTION**

Town of Hilton Head Island  
One Town Center Court  
Hilton Head Island, SC 29928

CONSTRUCTION DOCUMENTS  
**TOHHI ROWING & SAILING CENTER**  
Hilton Head Island, South Carolina



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#	REVISION	DATE	BY

DATE: 05-01-2013  
PROJECT NUMBER: 01-12033  
SHEET TITLE

**LEE & PARKER** architects  
**Wood+Partners Inc. WPI** Landscape Architects Land Planners  
PO Box 2290 • Hilton Head Island, SC 29928  
843.681.6618 • Fax 843.681.7011 • www.woodpartners.com

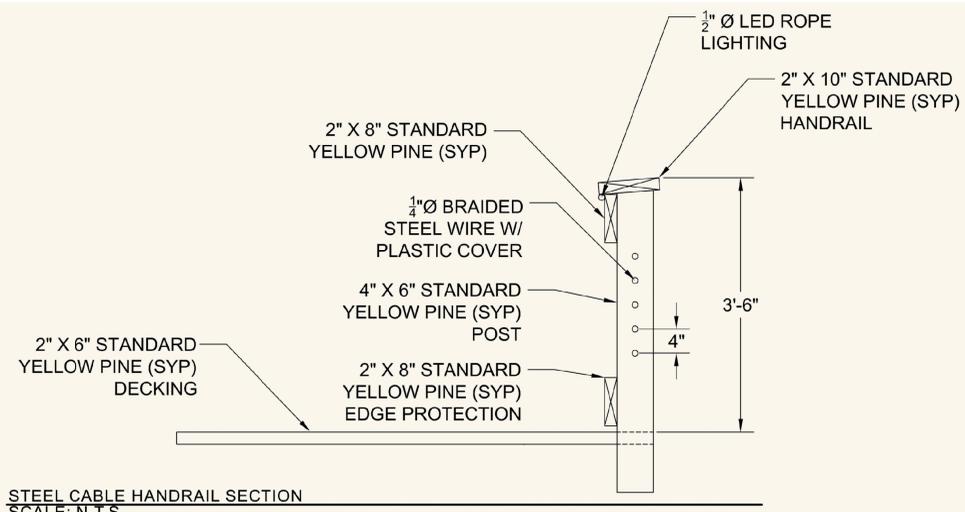
**PAVILION**  
**A.2**





TIDAL DATUMS		
DATUM	ABBREVIATION	ELEVATION (FT NAVD88)
MEAN HIGHER HIGH WATER	MHHW	3.491
MEAN HIGH WATER	MHW	3.094
NORTH AMERICAN VERTICAL DATUM	NAVD88	0
MEAN SEA LEVEL	MSL	-0.243
MEAN TIDE LEVEL	MTL	-0.540
MEAN LOW WATER	MLW	-1.183
MEAN LOWER LOW WATER	MLLW	-4.409

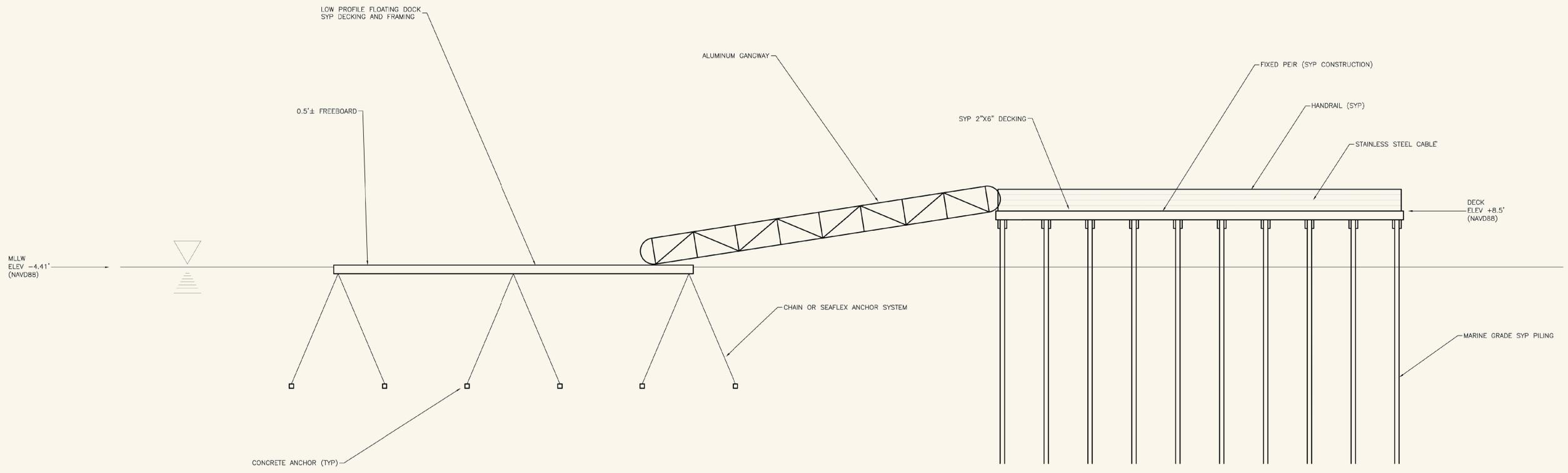
SOURCE: PUBLISHED NOAA BENCHMARK DATA SHEET FOR STATION #8669133 SKULL CREEK SOUTH



STEEL CABLE HANDRAIL SECTION  
SCALE: N.T.S.



WOOD AND STAINLESS STEEL CABLE HANDRAIL SYSTEM



NOTES  
 1. THESE PLANS ARE CONCEPTUAL IN NATURE AND NOT FOR USE IN BIDDING OR CONSTRUCTION  
 2. VERTICAL ELEVATIONS SHOWN ARE IN FEET RELATIVE TO NORTH AMERICAN VERTICAL DATUM (1988). SITE AND BATHYMETRIC SURVEY CONDUCTED BY SEA ISLAND LAND SURVEY, LLC, DATED NOV. 6, 2012

Town of Hilton Head Island  
 One Town Center Court  
 Hilton Head Island, SC 29928

SCHEMATIC DESIGN PACKAGE  
**TOHHI ROWING & SAILING CENTER**  
 Hilton Head Island, South Carolina

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#	REVISION	DATE	BY

DATE  
 PROJECT NUMBER  
**01-12033**  
 SHEET TITLE



PO Box 2040 Hilton Head Island, SC 29925  
 843.881.6218 Fax 843.881.7380 www.woodpartners.com

SHEET NUMBER  
**D2**

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: TOHH Rowing & Sailing Center – NEW DEVELOPMENT  
FINAL REVIEW

DRB#: 130009

DATE: March 26, 2013

RECOMMENDATION:    Approval             Approval with Conditions             Denial

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilizes existing site features to lessen impact on site's natural resources
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tabby stucco, wood, metal
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Control joints, accent recessed brick
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Picnic Pavilion roof pitch is 9/12 and 3/12. Bath House/Storage Building roof pitch is 4/12.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tabby shell cement stucco, wood trim, galvanized metal roof
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Louvers, barn doors
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No windows due to building use (restroom, storage, open air picnic pavilion)
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Picnic Pavilion will match character of Bath House building in appearance and materials.

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilizes existing wooded areas and supplements in high-use areas.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Screen of cleyera and wax myrtle is used at storage areas.
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plant palette includes crape myrtle, live oak, loblolly pine, wax myrtle, holly, saw palmetto, etc.

A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed groundcovers include holly fern, big blue lirioppe, and cinnamon fern.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Grassed lawn areas are limited to grass parking area and edge of parking/roadway.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Buffer at adjacent residential area includes pine and wax myrtle.
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

Proposed pavilion and bath house/storage buildings are located within canopy of several specimen/significant trees. Efforts should be taken to minimize impact to trees. Staff will meet with Applicant on-site to discuss options.
Plan proposes to remove two specimen trees. One tree is known to be dead/dying. Removal of other tree (laurel oak at storage area) will require variance or identification of tree as dead/dying.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

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Date Received:	3.12.13
Accepted by:	AJH
App. #: DR	130010
Meeting Date:	

owe \$100.00

Applicant/Agent Name: Robert L. Graves Company: \_\_\_\_\_  
 Mailing Address: P.O. Box 5818 City: Hilton Head State: SC Zip: 29938  
 Telephone: 843-341-2288 Fax: 341-2290 E-mail: joywalker@hargray.com  
 Project Name: Graves Warehouse Redev. Project Address: 19 Dunnagan's Alley  
 Parcel Number [PIN]: R522 015 000 0213 0000  
 Zoning District: DCW Overlay District(s): Corridor

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number  
 Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.  
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

#### New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

03-06-2013  
\_\_\_\_\_  
DATE

**ROBERT L. GRAVES**  
**P.O. BOX 5818**  
**HILTON HEAD ISLAND, SOUTH CAROLINA 29938**  
**Office :843 341-2288 · Cell: 843-422-2990**  
**FAX: (843) 341-2290**

March 11, 2013

Ms. Jennifer Ray  
Urban Designer  
Town of Hilton Head Island  
One Town Centre Court  
Hilton Head Island, SC 29928

Subject: Graves Warehouse Redevelopment  
Dunnagan's Alley

Reference: Application DR Submittal

Dear Jennifer,

Enclosed, please find the following:

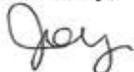
1. Application for the above-reference project
2. Narrative
3. Photographs of existing building
4. Drawings
5. Metal roof color

The following are approvals pending and should have this week:

1. DHEC
2. SCDOT

If you have any further concerns or comments, please do not hesitate to give me a call (office) 341-2288 or (cell) 368-7109.

Sincerely,



Joy C Walker

Enclosures:

**GRAVES WAREHOUSE  
DUNNAGANS COMMERCIAL WALKING DISTRICT**

**PROJECT NARRATIVE**

This redevelopment project envisages converting warehouse and existing office space within the Town's Dunnagan's Alley Commercial Walking District (DCW) into a public food and beverage facility commensurate with its guidelines and those established by the 2006 Tiller & Associates study adopted by the Town for this area.

Approximately 3,700 square feet of first floor space fronting both Dunnagan's Alley and a public parking lot adjoining Arrow Road just north of the new traffic circle will be converted into a 100+-seat restaurant with both indoor and outdoor dining facilities. The longer "public" face of the project fronts an alleyway that will be redeveloped as a pedestrian zone, retaining a one-way access lane for emergency vehicles and servicing the rear of an adjacent warehouse structure owned by others and not included in this project. An easily accessible public roof terrace with similar facilities overlooking and further contributing to ambience could be included in a second phase of development.

This will be the first project in the area to be redeveloped under the LMO's DCW special district. After a preliminary meeting with Planning staff and study of the enabling regulations in Sec 16-4-220: *The purpose of this district is to provide for commercial and mixed use development within a compact area which provides for enhanced pedestrian movement between properties.*

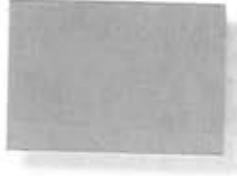
It appears that the intent of the ordinance is to encourage a mixed-use, year-round alfresco pedestrian zone, with extensive use of setbacks and buffers for attractive public activities and facilities (under four feet in height). These goals, as well as handsome landscape planting, are represented in our plans for the project.

We look forward to working with Town staff to finalize plans for implementing what we are convinced will be a model adaptive re-use facility, and an attractive addition to a critical redevelopment area of our Town.

**19 DUNNAGAN'S ALLEY  
EXTERIOR FINISH SCHEDULE**

Siding: Stucco to match existing texture and color

Roof: Metal: Dimensional Metals, Inc. DMI DynaClad  
Color: Stone



STONE  
TSR = .33 SRI = 35

19  
DUNNAGAN'S ALLEY

ST. JAMES'  
THRIFT SHOP  
THE CHURCH HOUSE



19  
DUNNAGAN'S ALLEY  
ST. LUKE'S  
THRIFT SHOP  
THE CHURCH HOUSE





The Home Depot  
WOODBRIDGE

THE HOME DEPOT



THRIFT SHOP  
ONE DOLLAR A DAY

Plummet Gallery  
WEDDINGS



EXIST'G CURB'G  
 NEW CURB FOR ACCESS LANE CENTER'D ON PROP LINE

14'-0" ACCESS LANE (ONE WAY)

ADJACENT ST SETBACK RE CH 5 C (16-5-402)

# SIDENWALK CAFE

## PROPOSAL FOR GRAVES WAREHOUSE

### DUNNAGAN'S ALLEY, HHI, SC

EXISTING WAREHOUSE AREA BEING RE-DESIGNED 2,541 SF\*  
 PROPOSED PORCH/OUTDOOR DINING AREA 894 SF  
 FENCED GARDEN AND ENTRY AREAS 972 SF  
 TOTAL: 4,407 SF

\* EXCLUDES PHASE 2 1ST FLOOR DINING (INCLUDES KITCHEN, STORAGE, RESTROOMS)

RAILROAD TIE CURB'G TO BE REMOVED

EXIST'G BIRCH TREE

RAISED FIRE PIT

GARDEN

(SERVICE)

FOYER

SILL: +30", HEIGHT: 4'-7"

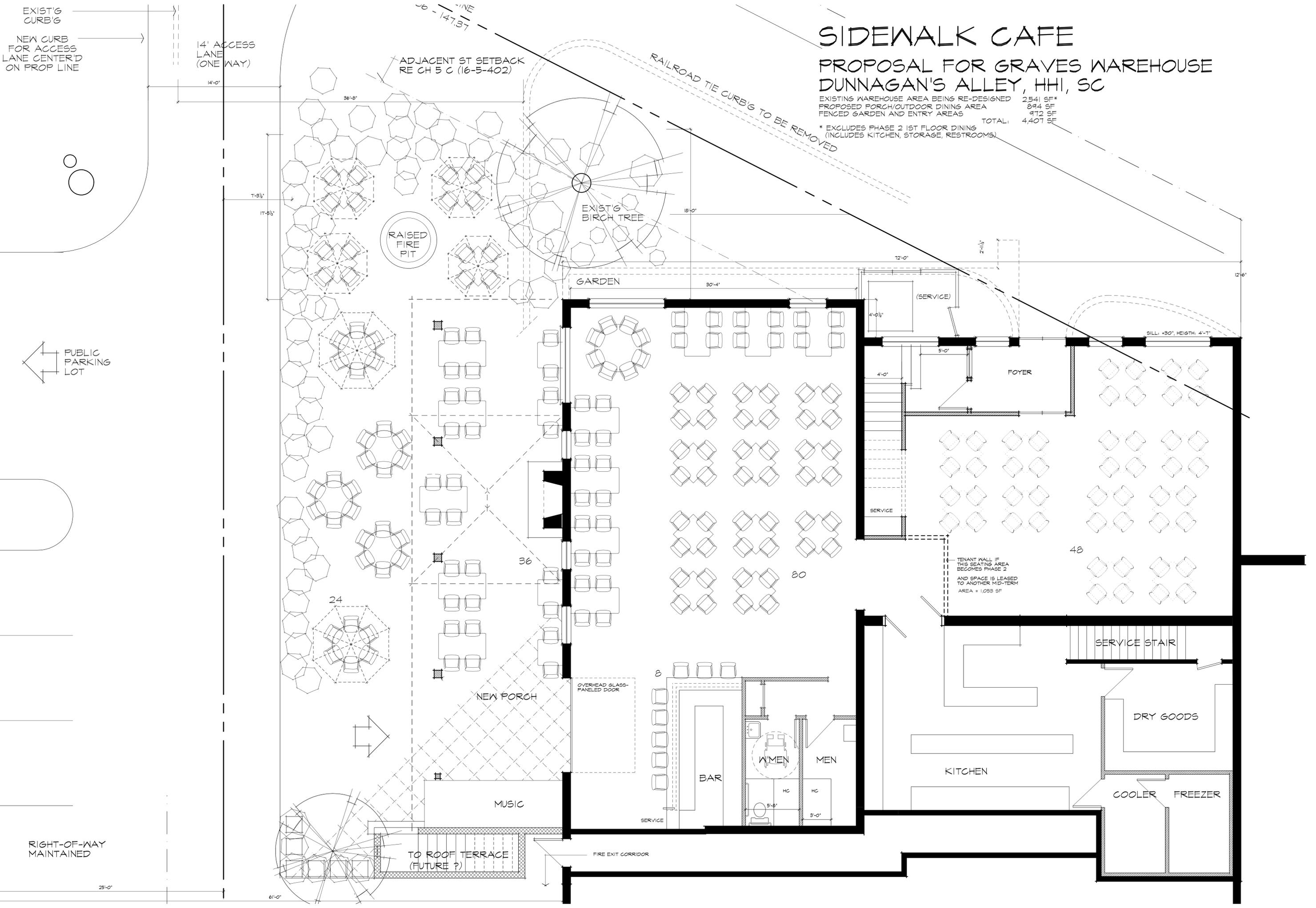
PUBLIC PARKING LOT

— TENANT WALL IF THIS SEATING AREA BECOMES PHASE 2 AND SPACE IS LEASED TO ANOTHER MID-TERM AREA = 1,055 SF

RIGHT-OF-WAY MAINTAINED

TO ROOF TERRACE (FUTURE ?)

FIRE EXIT CORRIDOR





## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Graves Warehouse Redevelopment – ALTERATION/ADDITION    DRB#: 130010

DATE: March 26, 2013

RECOMMENDATION:    Approval               Approval with Conditions               Denial  

<b>ARCHITECTURAL DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff has had numerous meetings with Applicant regarding project & opportunity for redevelopment in this area. Limited information is available for comment or approval at this time.
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

structure				
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Elevation implies metal roof, brick fireplace, and stucco building, as well as glass & wood.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Implied in elevation.
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None submitted. Required for approval.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***LANDSCAPE DESIGN***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No landscaping is specified on plans. A complete landscape plan including plant schedule is required for approval.

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

Based on the building's assessed value & the value of proposed renovations, major structural changes may be required to dry flood-proof the building.  
Proposed relocation of curb cut will have negative impacts on existing tree; impacts include those to the roots as well as the amount of trimming that might be needed to allow proper clearance for vehicles. Relocation of curb cut will require Town Council approval.

A complete submittal, including but not limited to building elevations, landscape plan, material selections, etc will be required before the project can be approved.