



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, June 11, 2013
1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of May 28, 2013
6. **Staff Report**
7. **Board Business**
Nomination and Election of Chairman, Vice Chairman, & Secretary for July 1, 2013 – June 30, 2014
8. **Unfinished Business**
9. **New Business**
 - A. New Development - Final
 - 1) DR 130012 – The Beach Club at Sea Pines Resort
 - B. Alteration/Addition
 - 1) DR 130022 – Holiday Inn Beachfront Grill
 - 2) DR 130023 – Kurama Outdoor Seating
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, May 28, 2013 Meeting
1:15p.m – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,
Todd Theodore and Galen Smith

Board Members Absent: Jennifer Moffett and Tom Parker, Excused
Jake Gartner

Council Members Present: None

Town Staff Present: Jennifer Ray, Urban Designer; Teri Lewis, LMO Official
Rocky Browder, Environmental Planner
Anne Cyran, Senior Planner; Nicole Dixon, Senior Planner
Kathleen Carlin, Secretary

1. Call to Order

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

The Board **approved** the agenda as presented by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the May 14, 2013 meeting as presented by general consent.

6. Staff Report

Ms. Ray stated that elections for Chairman and Vice Chairman for the new term, July 1, 2013 – June 30, 2014 are scheduled to be held on June 11, 2013.

7. Board Business

None

8. Unfinished Business

A. Alteration/Addition

1) **The Player's Club** – DR 130011

Ms. Ray stated that The Player's Club is located at 35 DeAllyon Avenue. This project was before the DRB on April 9th and withdrawn at the applicant's request. The resubmittal includes only modifications to the existing parking to add 8 spaces and revised landscaping plans for the area along DeAllyon Avenue and Cordillo Parkway. Building modifications have not been received

DRB approval yet and are not part of today's submittal. Ms. Ray presented an in-depth overhead review of the submission. Photos show the existing conditions along DeAllyon Avenue, some existing landscaping, an island for a new sign (the applicant is working on a sign application for a permanent sign), the area where a stucco wall was removed, existing landscape with berm at the corner of DeAllyon Avenue and Cordillo Parkway, and some existing trees along Cordillo Parkway. The applicant's as-built survey shows the existing conditions. The site plan shows the proposed parking revisions including changing drive aisles to one-way and angled spaces at 60 degrees resulting in an increase of +/- 8 parking spaces.

The proposed landscape plan utilizes some existing plant materials and adds a 12" berm with a combination of 7-gallon Ligustrum, sweet viburnum, and Formosa azaleas, as well as sago palms as accents. The 7-gallon evergreen plants are approximately 30" tall and on a 12" berm result in +/- 42" coverage. This combination will provide approximately the same coverage as the wall did. A photo of cars parked at DeAllyon Avenue show approximate 42" height of berm and plantings.

The staff recommends approval of this application with the condition that plants must be at least 30" height with a full spread at the time of installation. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Charlie Hartleman, Construction Manager, Spinnaker Development Group, presented statements in support of the application. The Board and the applicant discussed several issues including removal of the wall. Mr. Smith asked about the amount of landscaping in the angled parking area; the landscaping should be sufficient for screening purposes. Mr. Theodore presented statements regarding the wheel stops. Wheel stops should be required because they keep cars out of the landscaping. Mr. Theodore also presented comments regarding the need to protect the roots of trees in relationship to the berm. The applicant will work with Town staff on the placement of the berm. Vice Chairman Welch presented comments regarding the sufficiency of the 7-gallon plant material. Chairman Sodemann asked about the property lines in relationship to DOT requirements. Ms. Ray stated that DOT approval will be part of the expedited DPR process. At the completion of the discussion, Chairman Sodemann requested that a motion be made.

Mr. Theodore made a **motion** to **approve** the Player's Club application DR 130011 with the following conditions: (1) plant material is to be installed at a minimum of 30" height with full spread at the time of installation; (2) soil material for the berm is to be coordinated with Town staff with regard to protecting the roots of trees; (3) the applicant confirms that wheel stops will be installed at the parking spaces; (4) Town staff will approve the installation of plant material; the applicant will supplement additional plant material if required by staff. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 4-0-0.

9. New Business

A. Minor External Change

1) **Marsh Point Apartments** – DR 130020

Ms. Ray introduced the application and stated its location, 100-A Marsh Point Drive. Ms. Ray presented an in-depth overhead review of the application including an aerial view of the site and a community map showing the location of buildings. Photos show access to the site from Gum Tree Road (beside the Kangaroo-Pantry gas station, the Post Office, and Marsh Side Villas.)

The applicant is proposing to enhance and update the exterior of the buildings including replacement of damaged wood, the addition of plantation-style shutters on the front four windows

of each building, and fresh paint on all buildings. The photos show the existing residential buildings, currently a light greenish-tan with light brown trim.

The proposed color palette includes a Warm Khaki and Garrett Grey for the body and lattice of the buildings. A cream color is proposed for all trim including the stair rails, picket, and patio rails. A Dark Cavern color is proposed for the shutters and the front doors. The applicant proposes to paint the club house, the pool house, and the maintenance/storage building Warm Khaki. They propose to alternate Warm-Khaki and Garrett Grey for the 35-residential buildings.

Ms. Ray distributed hard samples of the proposed colors for the Board's review. The staff recommended that, based on the proximity of one building to another, that groups of buildings be painted the same color versus alternating color on each building. The staff recommended focusing the lighter building color (Warm Khaki) in the more shaded areas and the darker color (Garrett Grey) in the more sunny areas.

The other component of the exterior improvements is the proposed addition of plantation-style shutters to the four front windows of each building. The proposed shutters are wood, painted Dark Cavern (almost black) but less harsh and complementary to the new paint colors. Ms. Ray presented an illustration of the proposed wood shutter. The staff feels that the proposed shutter is too rustic in style and scale for a residence. A different type of shutter will add interest to the front of the buildings.

The staff recommended approval of the application with the condition that the building colors be grouped based on site conditions versus alternating, and that a shutter that is more appropriate in style, scale and grade be selected for the residential buildings. At completion of the staff's presentation, Chairman Sodemann requested that the applicant make her presentation.

Ms. Liz Buss, Carter-Haston, presented statements in support of the application. The Board and the applicant discussed the proposed color palette as well as the style and width of the proposed shutters. At completion of the Board's discussion, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion to approve** the Marsh Point Apartments application DR 130020 with the following conditions: (1) the applicant is to follow the staff's directions regarding painting the grouping of buildings; (2) the applicant is to adjust the shutter size so that they are wider and more appropriate. Mr. Theodore **seconded** the motion and the motion **passed** with a vote of 4-0-0.

2) **Big Chill Ice Vending Machine** – DR 130021

Ms. Ray introduced the application and stated its proposed location, 612 William Hilton Parkway. The applicant proposes to install an ice machine on the site that is currently for sale. Ms. Ray stated that the Board reviewed the same ice machine at a different location last year. Ms. Ray presented an in-depth overhead review of the application.

The ice vending machine is 200 square feet (8'4" wide x 24' long x 9' high). The partial plan shows the approximate location of the proposed vending machine +/- 22 feet from the property line. The location is also shown on aerial views. A photo of a car parked in the approximate location of the proposed ice vending machine was also shown.

The applicant proposes to add a 20" raised planter made of brown split faced block; the proposed planter would be 24-ft. long and 5-ft deep, located adjacent to the vending machine on the Highway 278 side of the ice machine. The planter would contain 5 fan palms and 7 Indian hawthorns. Ms. Ray presented another photo showing the proposed ice vending machine on site. The applicant has submitted color samples. They propose to paint the body of the machine

cream, the canopy light blue, and the lettering on the front of machine orange-red. The staff recommended denial of the application because it is not in keeping with the Town's Design Guide. The proposed colors are an improvement over existing; however, the location – a prominent location on a paved site on William Hilton Parkway with little opportunities for landscaped buffer and context (log cabin, Barnacle Bill's) – do not lend to the ice vending machine. The staff appreciates the applicant's efforts to add the planter and the paint; however, the project is still a 9' high x 8'-wide x 24' long box on a wide open site and is not in keeping with island character. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Patrick Mason presented statements in support of the application. The Board and the applicant discussed the project. The Board stated their concern with the prominent location. Mr. Smith, Mr. Theodore, Vice Chairman Welch and Chairman Sodemann all stated that the site is not appropriate for this type of use. The ice vending machine would be better suited on a location off of a minor rather than major arterial. At the completion of the discussion, Chairman Sodemann requested that a motion be made.

Mr. Smith made a **motion** that the Board **decline** approval of Big Chill Ice Vending Machine DR 130021 due to the location. Mr. Theodore **seconded** the motion. Before the Board could vote on the motion, the applicant asked to **withdraw** the application. The Board agreed that the applicant could withdraw the application.

10. Appearance by Citizens

None

11. Adjournment

The meeting was adjourned at 2:00p.m.

Submitted By:

Approved By:

Kathleen Carlin
Secretary

Scott Sodemann
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Kristen Mansfield Company: Wood + Partners Inc.
 Mailing Address: P.O. Box 23949 City: HHI State: SC Zip: 29925
 Telephone: 843.681.6618 Fax: 843.681.7086 E-mail: kmansfield@woodandpartners.com
 Project Name: The Beach Club at Sea Pines Resort Project Address: #87 North Sea Pines Drive
 Parcel Number [PIN]: R 5 0 0 1 7 0 0 A 0 0 1 A 0 0 0 0
 Zoning District: PD-1 Overlay District(s): Corridor Overlay

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number DR 130012 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

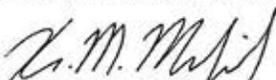
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

5.28.13

DATE

The Beach Club at Sea Pines Resort

#87 North Sea Pines Drive
Hilton Head Island, SC

DRB Final Review Project Narrative

May 28, 2013
Revised: June 3, 2013

Sea Pines Resort & Riverstone Properties is proposing to construct a new, casual beach club facility and community beach access that replaces the existing aging facility located on North Sea Pines Drive, adjacent to Marriott's Monarch Resort. The proposed beach club improvements aim to maintain the relaxed, beachside atmosphere of the current facility while updating existing amenities and providing new conveniences for patrons.

The existing property is 5.2 acres and contains 4 existing buildings of varying sizes and heights (totaling +/- 6,000 SF) and a series of outdoor decks (totaling +/- 9,500 SF) including an open air bar and awning covered dining areas. Most of the existing single story structures were relocated to the site several decades ago and a two story real estate building was added sometime later. The site is also adjacent to Sea Pines' 50' beach access corridor, sharing showers and a boardwalk access through the dunes. The beach club facility has served the community and Sea Pines Resort for many decades, providing beach access, limited parking, restrooms, retail sales, real estate sales, kids' camp, ocean side dining and entertainment.

Over time, the existing facilities have become inadequate for their intended uses, outdated, and difficult to maintain. Sea Pines Resort is looking to replace this existing facility with a new building consisting of approximately 15,691 SF of conditioned space and 11,892 SF of covered/unconditioned space, a covered outdoor bar and a series of outdoor decks and terraces.

The design concept was to create a 'casual destination' for families with great views of the ocean, providing open vistas and shaded areas for visitors to enjoy. Upon arrival to the beach club, visitors walk thru open breeze ways and covered corridors, visually connecting them to the project's prime amenity, the Atlantic Ocean. The various open air casual dining areas and terraces provide comfortable spaces for relaxation, dining, and social gatherings. Careful attention has been paid to providing optimal views to the ocean while screening utilitarian service areas.

The beach club at Sea Pines is designed as a 2 story building composed of three structures connected by open walkways and terraces overlooking the ocean that create a sense of arrival and a sense of place. Functions within the beach club will include a casual ocean grill with outdoor dining space, outdoor oceanfront bar, an upper level event space, retail shop and sales offices, public restrooms, fast casual concessions and an upper level ocean view bar / terrace.

The architecture of the beach club will be a relaxed Low Country aesthetic with traditional cedar siding, wood brackets, wood columns, wood shutters & louvers, and the regional Savannah grey brick used for durable base and pier detailing. The roof lines and details are inspired from the architecture found at Sea Pines. The color palette for the beach club will be a 'driftwood concept' color palette with light cream trim in harmony with the design standards of Sea Pines.

The plan also proposes additional covered outdoor eating and seating areas, a central terrace with raised planters and a series of wood decks and boardwalks overlooking the dunes and providing two access points to the beach.

The existing community beach access corridor will be enhanced with a wider pathway system to accommodate bicycle and pedestrian traffic, improved and organized bicycle parking, group and family beach showers, enhanced beach landscape, and boardwalk seating areas. In addition, a new dune crossover is proposed for more direct access to the beach club and outdoor covered bar area.

Most of the site is sandy with elevations ranging between 9' and 11'. The proposed buildings are to be slab on grade construction, with finish floor elevation set at 15.0' and the lower outdoor beachside deck set at 13.3'.

The proposed new site plan will result in 158 parking spaces and relocates existing handicap spaces. Pervious crushed shell to match existing parking stalls will be used for parking area modifications and permeable pavers will be used within the drop-off zone (re-using existing material).

Efficient and sustainable concepts will be used throughout the project. Storm water management will be handled through the existing storm water system and existing utility services will be upgraded as necessary.

DRB Materials, Lighting, and Furnishings The Beach Club at Sea Pines Resort

Hilton Head Island, SC

Vehicular Hardscape Materials:

Specialty Pavement:

Existing Pavers to be Re-used

- Pattern: 45 degree Herringbone with Single Header Border



Primary Drive Aisles:

Shell Stamped Asphalt with Shell Borders and Permeable Parking Stalls



Pedestrian Hardscape Materials:

Site Walks and Ramps:

Oyster Shell Concrete with Single Brick Border

Concrete: Oyster Shell Concrete (50:50 mix of #2 and #3 shell)



Brick:

- Manufacturer: Old Carolina Brick
- Color: Savannah Gray
- Pattern: Single Header Course



Pedestrian Hardscape Materials (Cont.):

Brick at Drop-Off/Entry:

- Manufacturer: Old Carolina Brick
- Color: Savannah Gray
- Pattern: 45 degree Herringbone with Single Header Border
- Joints: Hand Tight Joints in Paver Field and Mortar Joints in Border



Beach Access Walk:

Rocksalt Finish Concrete

- Color: Natural



Pedestrian Hardscape Materials (Cont.):

Bike Rack Paving:

Bermuda Stone with Oyster Shell Concrete Curb

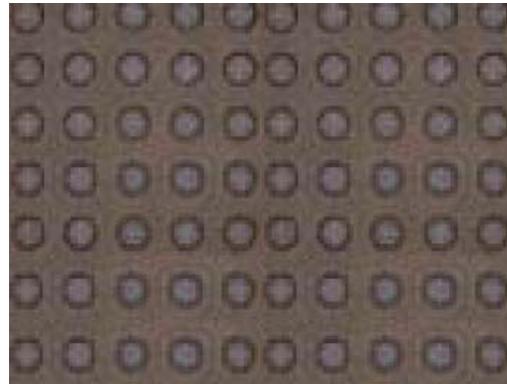
- Bermuda Stone Color: To Match Existing Parking



ADA Truncated Dome Tiles:

Step-Safe Detectable Warning Tiles

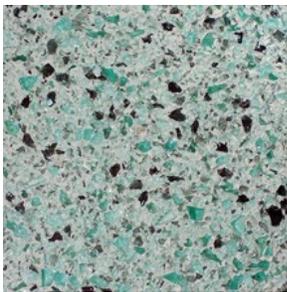
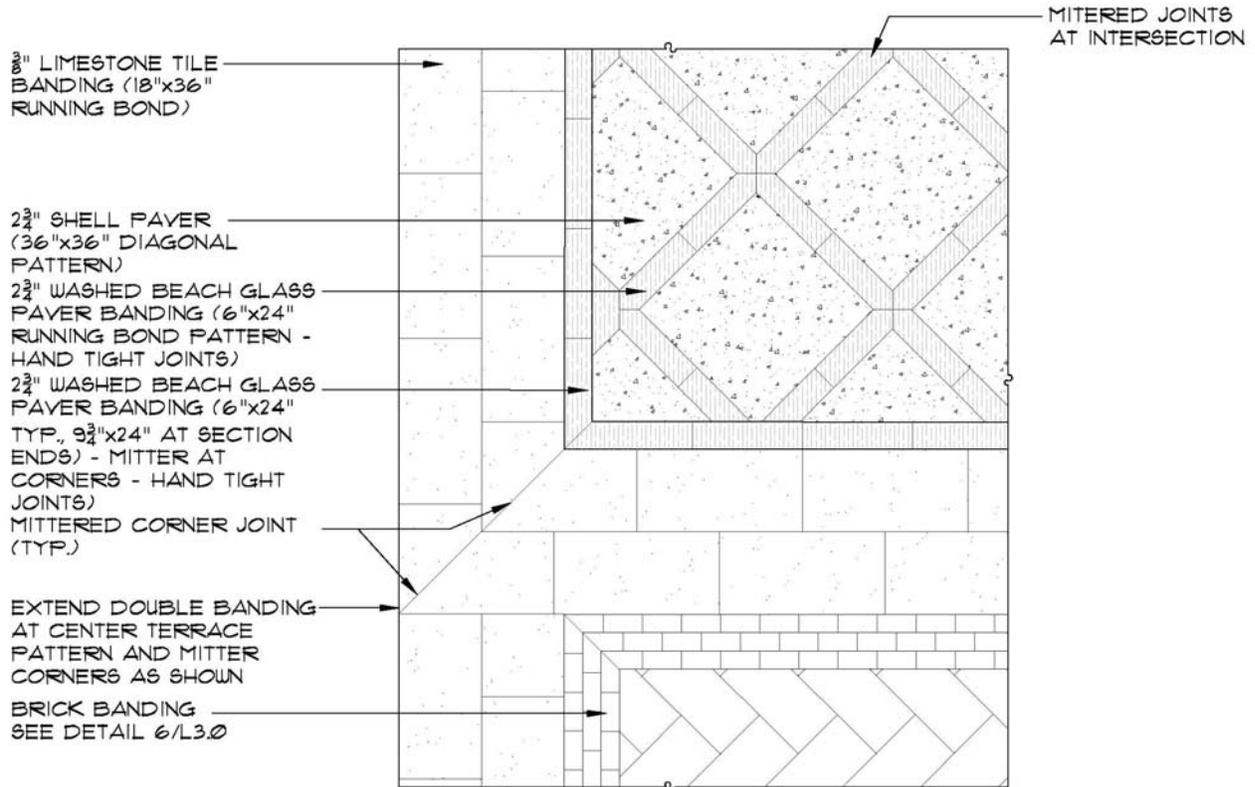
- Manufacturer: Castek, Inc./Transpo Industries, Inc.
- Individual Tile Size: 12"x12"x1/2"
- Color: Chocolate Brown



Chocolate Brown Color Sample

Pedestrian Hardscape Materials (Cont.):

Terrace Pavement (Specialty):



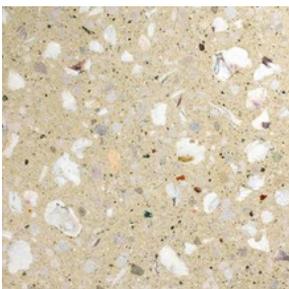
Washed Beach Glass Pavers

- Manufacturer: Wausau Tile
- Color: WG-20
- Pattern: Running Bond (6"x12")



Travertine Tile

- Manufacturer: Daltile
- Color: Peruvian Cream TS36
- Pattern: Running Bond (18"x36")

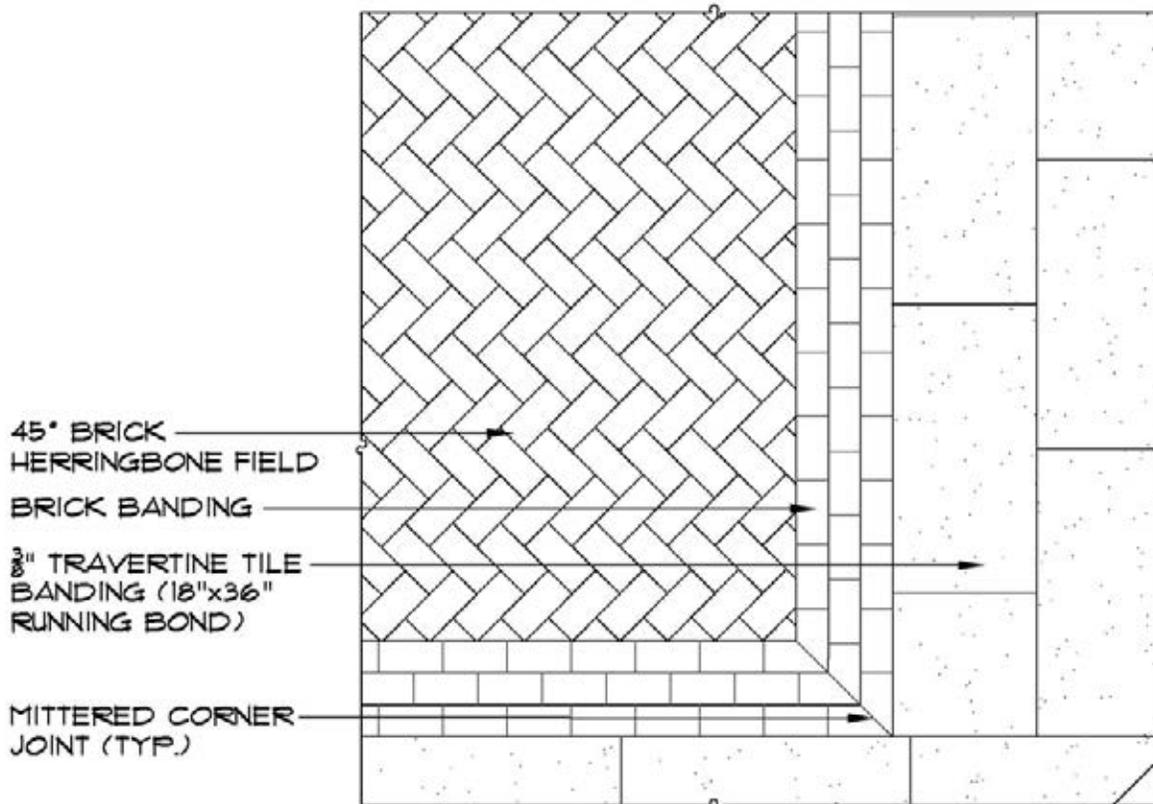


Shell Pavers

- Manufacturer: Wausau Tile
- Color: SEA-10
- Pattern: Diagonal (3'x3')

Pedestrian Hardscape Materials (Cont.):

Terrace Pavement:



Peruvian Cream Color Sample

Travertine Tile

- Manufacturer: Daltile
- Color: Peruvian Cream TS36
- Pattern: Running Bond (18"x36")



Savannah Gray Color Sample

Brick

- Manufacturer: Old Carolina Brick
- Color: Savannah Gray
- Pattern: 45 degree Herringbone w/
 Running Bond Banding
- Joints: Hand Tight Joints

Pedestrian Hardscape Materials (Cont.):
On-Grade Wood Deck with Oyster Shell Banding:
Decking: Ipe Decking



Concrete: Oyster Shell Concrete (50:50 mix of #2 and #3 shell)



Elevated Wood Deck:
Decking: Ipe Decking



Ipe Decking Color Sample



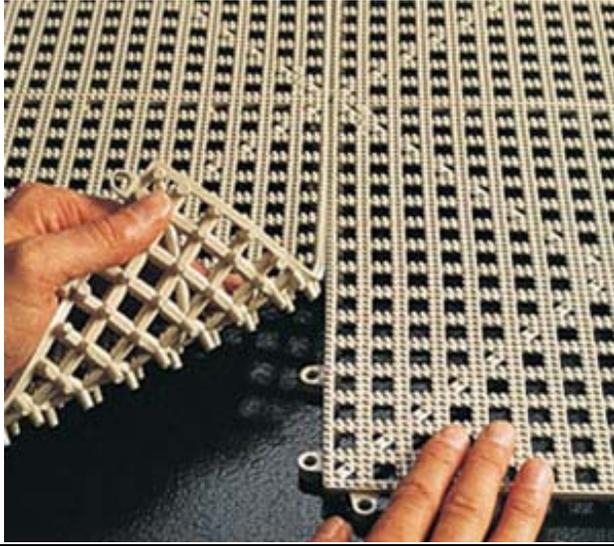
Cable Handrail (Similar)

Pedestrian Hardscape Materials (Cont.):

Shower Deck:

Dri-Deck Wet Floor System over Concrete Pad

- Manufacturer: Kendall Products
- Color: Almond



Site Furnishings:

Site Bench:

Country Casual Windermere 6' Bench

- Model #: 4503
- Color: Natural Teak



Site Furnishings (Cont.):

Trash Receptacles:

Country Casual Pyramid 22" Square Side Slot #7403

- Finish: Teak
- Surface Mount



Bike Rack:

Belson Ground Loop Bike Rack

- Model #: BR12
- Finish: Galvanized
- In Ground Mount
- 12 Bike Capacity

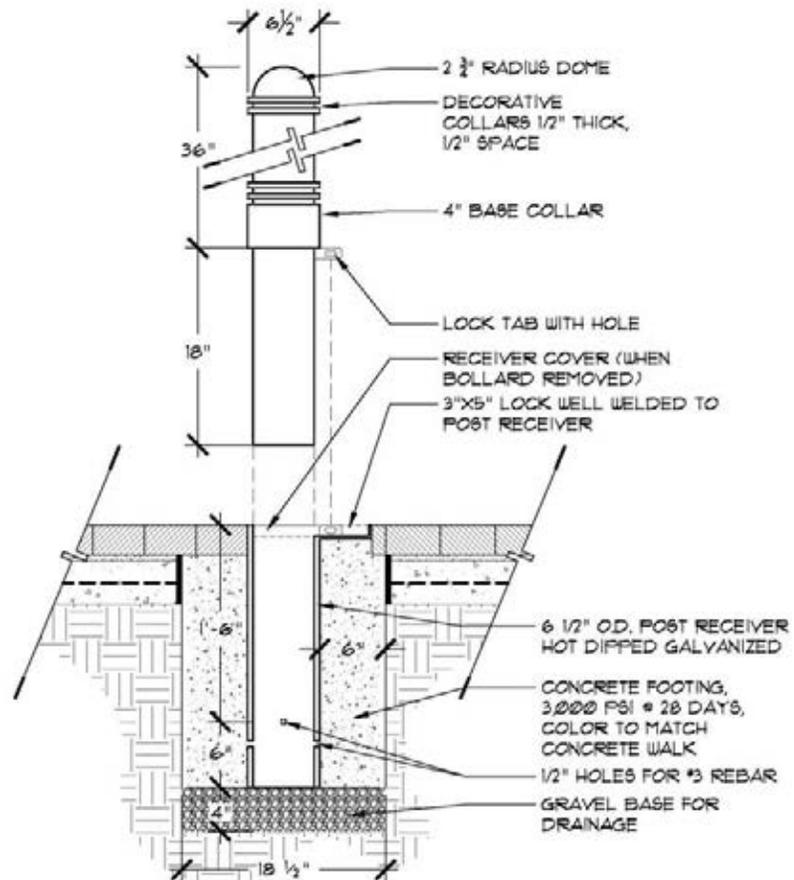


Site Furnishings (Cont.):

Removable Bollard:

Fairweather Site Furnishings Decorative Steel Bollard (Model B-3-6" Diameter)

- Color: Textured Rust



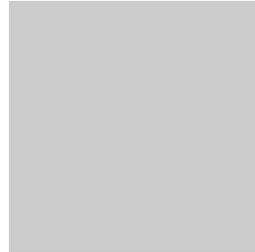
Textured Rust Color Sample

Site Furnishings (Cont.):

Drinking Fountain:

Most Dependable Fountains – Model #440 SM with Pet Fountain

- Color: Chrome
- Surface Mount



Chrome Color Sample

Site Furnishings (Cont.):

Gang Shower:

Most Dependable Fountains Model 590SMSS

- Color: Chrome



Site Furnishings (Cont.):

ADA Shower:

Most Dependable Fountains Model 564SMSS

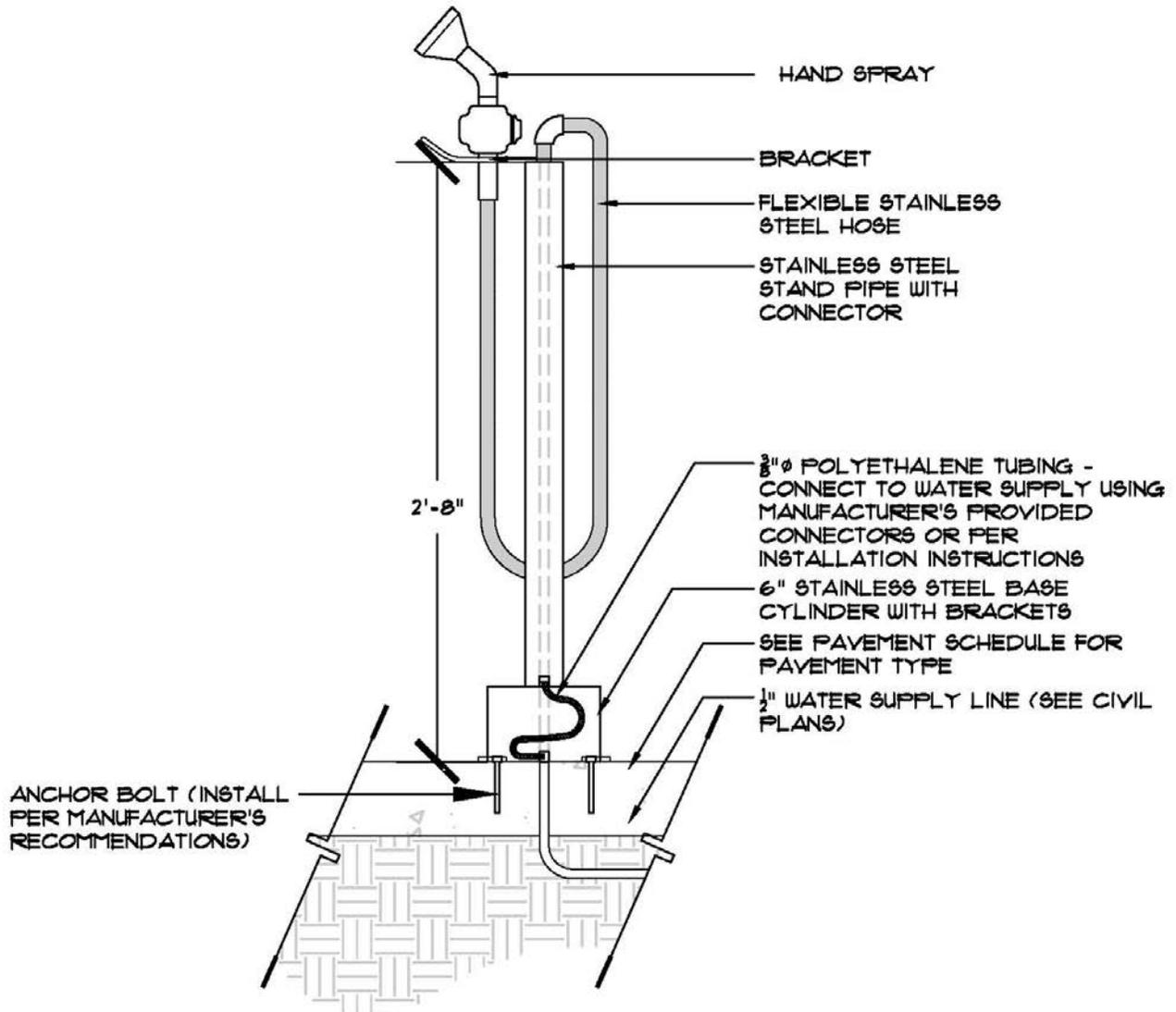
- Color: Chrome



Site Furnishings (Cont.):

Hand Shower Station:

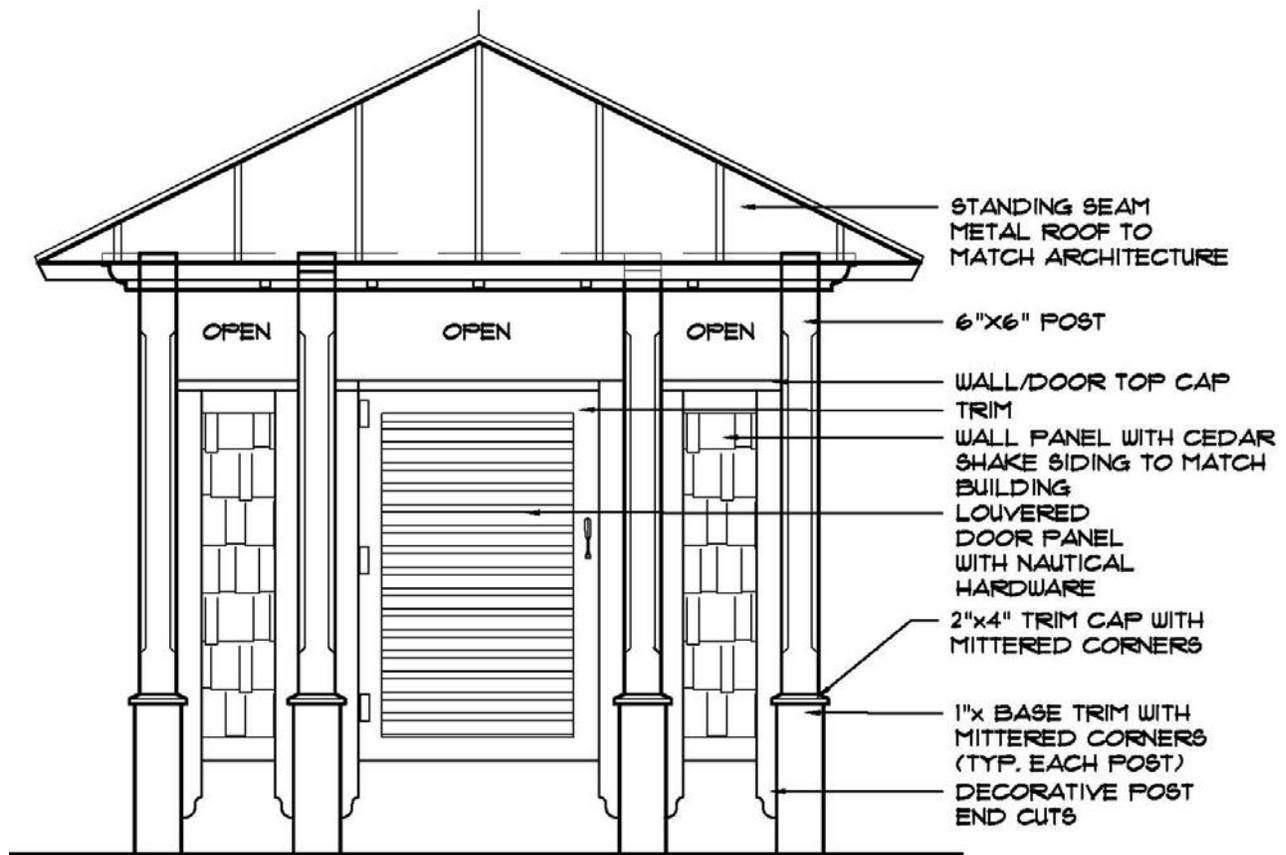
- Model #: FSH-0101
- Manufacturer: The Outdoor Shower Company, LLC
- Color: Stainless Steel



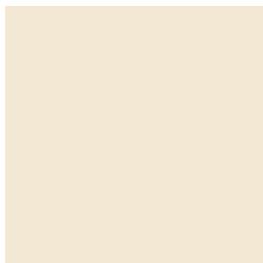
Site/Hardscape Materials:

Shower Cabana:

- Color Scheme:
 - Metal Roof: Match Architecture (Slate Gray)
 - Cedar Shake Siding: Match Architecture (Driftwood Gray Stain by Cabot Stain)
 - Interior Bead Board Siding: Match Architecture(Crisp Linen SW 6378)
 - Posts: Match Architecture(Crisp Linen SW 6378)
 - Trim: Match Architecture(Crisp Linen SW 6378)
 - Beams, Rafters, Blocking, Etc.: Match Architecture(Crisp Linen SW 6378)



FRONT ELEVATION

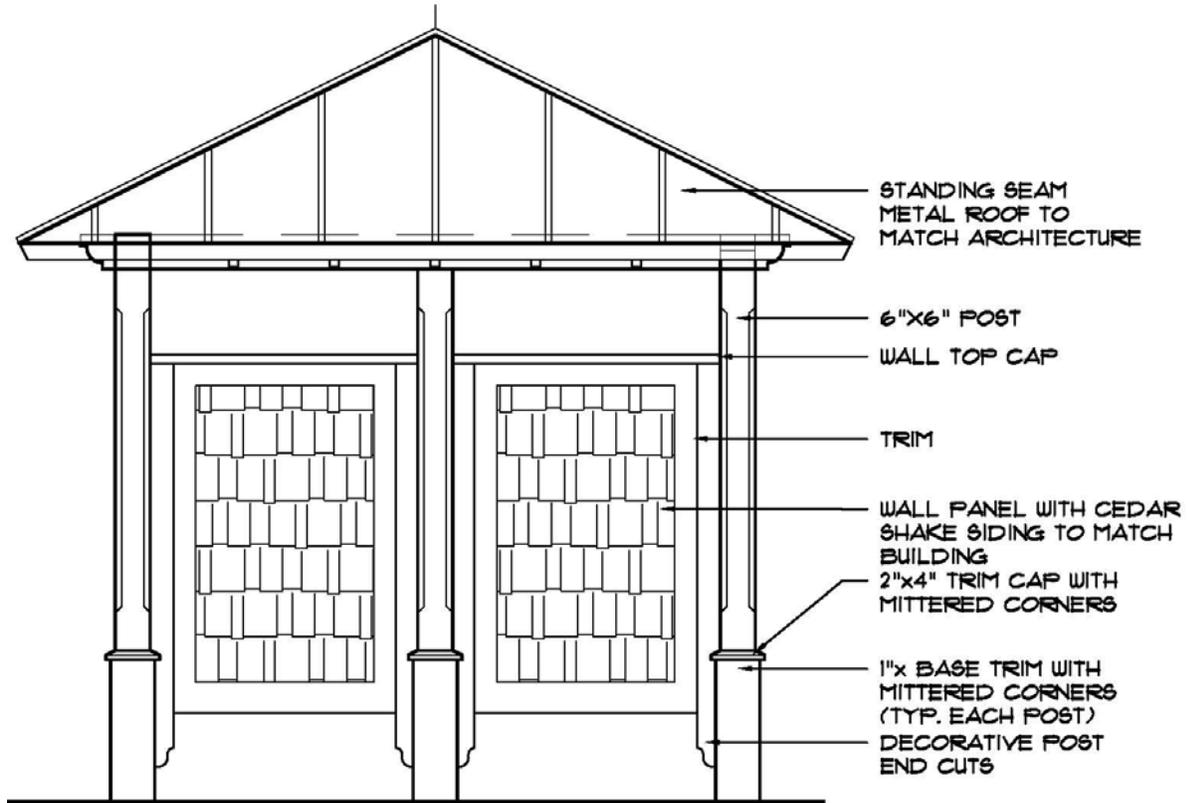


Crisp Linen SW6378
 Color Sample

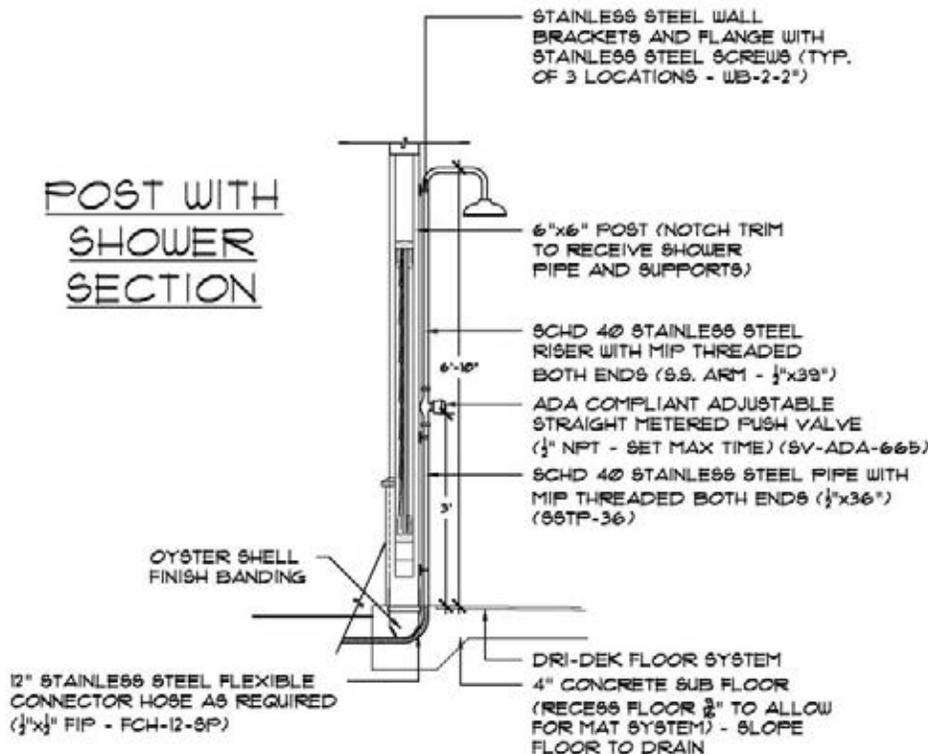


Driftwood Gray Color Sample

Site/Hardscape Materials (Cont.):
Shower Cabana (Cont.):



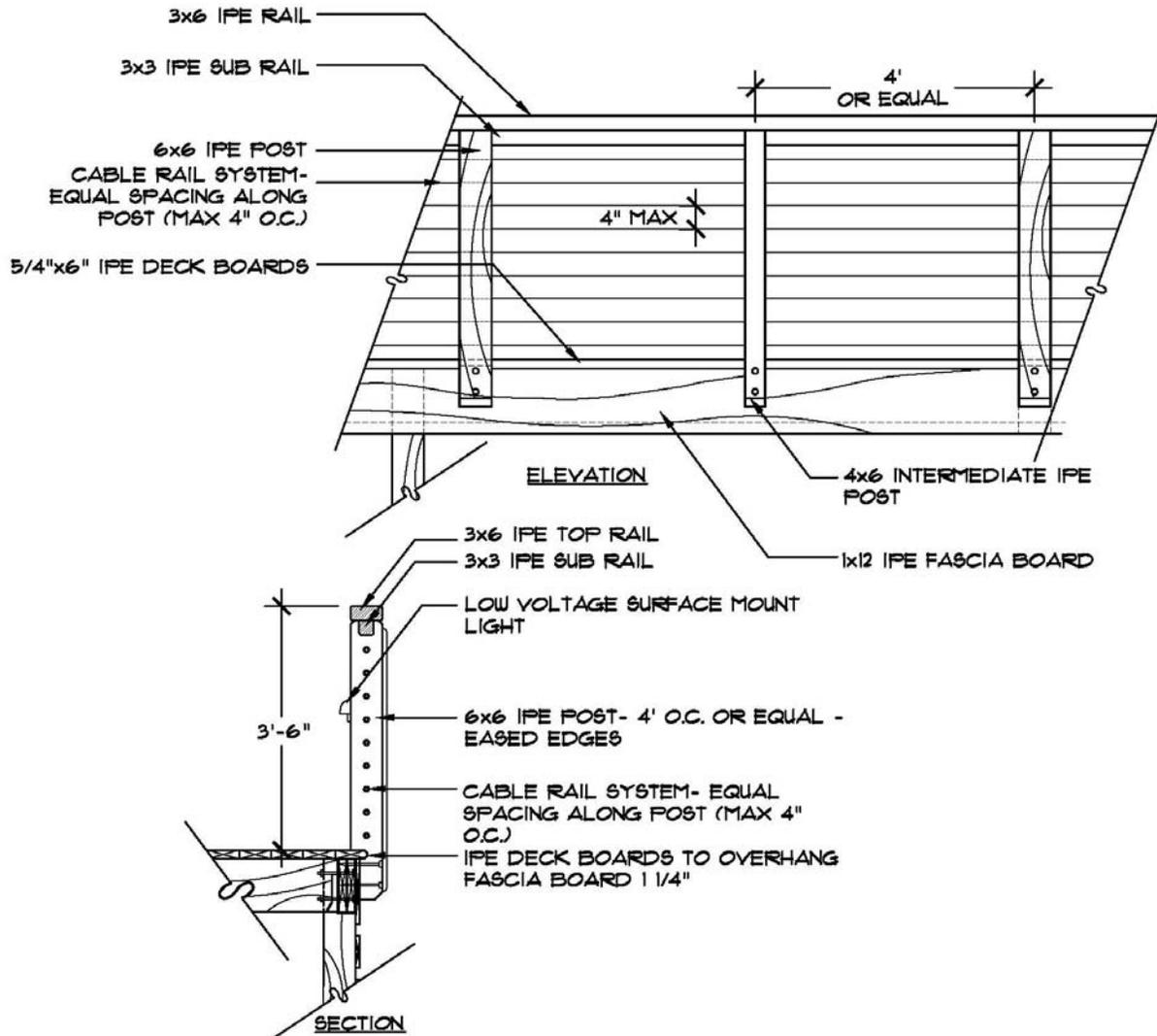
SIDE AND REAR ELEVATION



**POST WITH
SHOWER
SECTION**

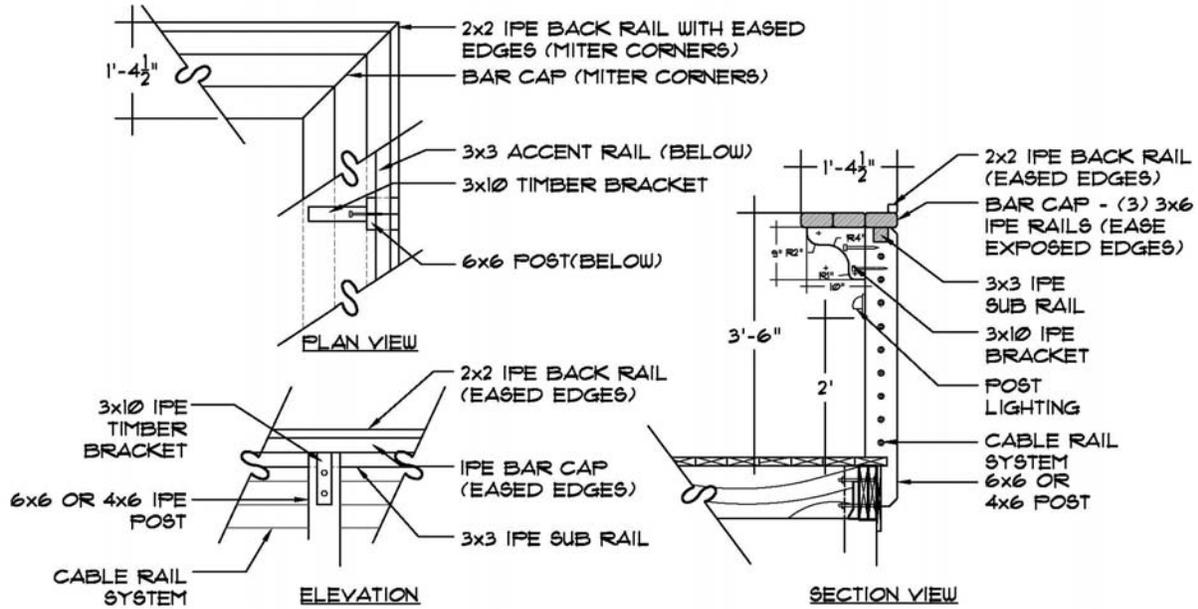
Site/Hardscape Materials (Cont.):

Cable Rail System:



Site/Hardscape Materials (Cont.):

Bar Top Rail System:

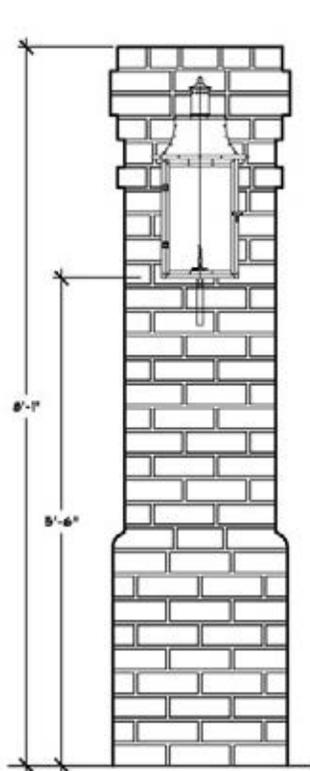


Brick Entry Column:

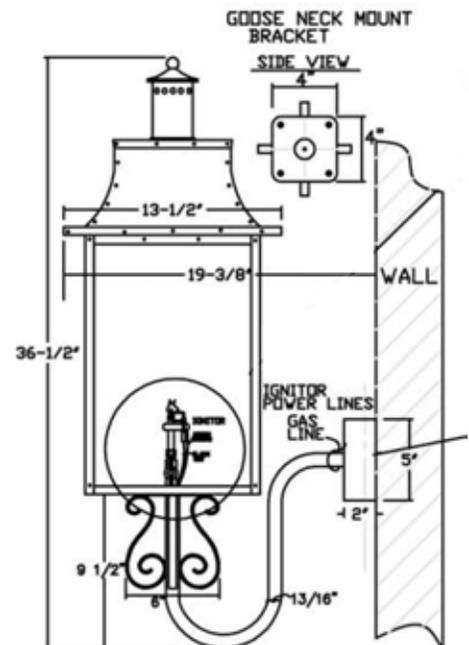
Brick: Old Carolina Brick

- Color: Savannah Gray

Gas Lantern: Savannah Copper Lanterns Forsythe Model #SCL-26 w/ Electric Ignition



Brick Color Sample

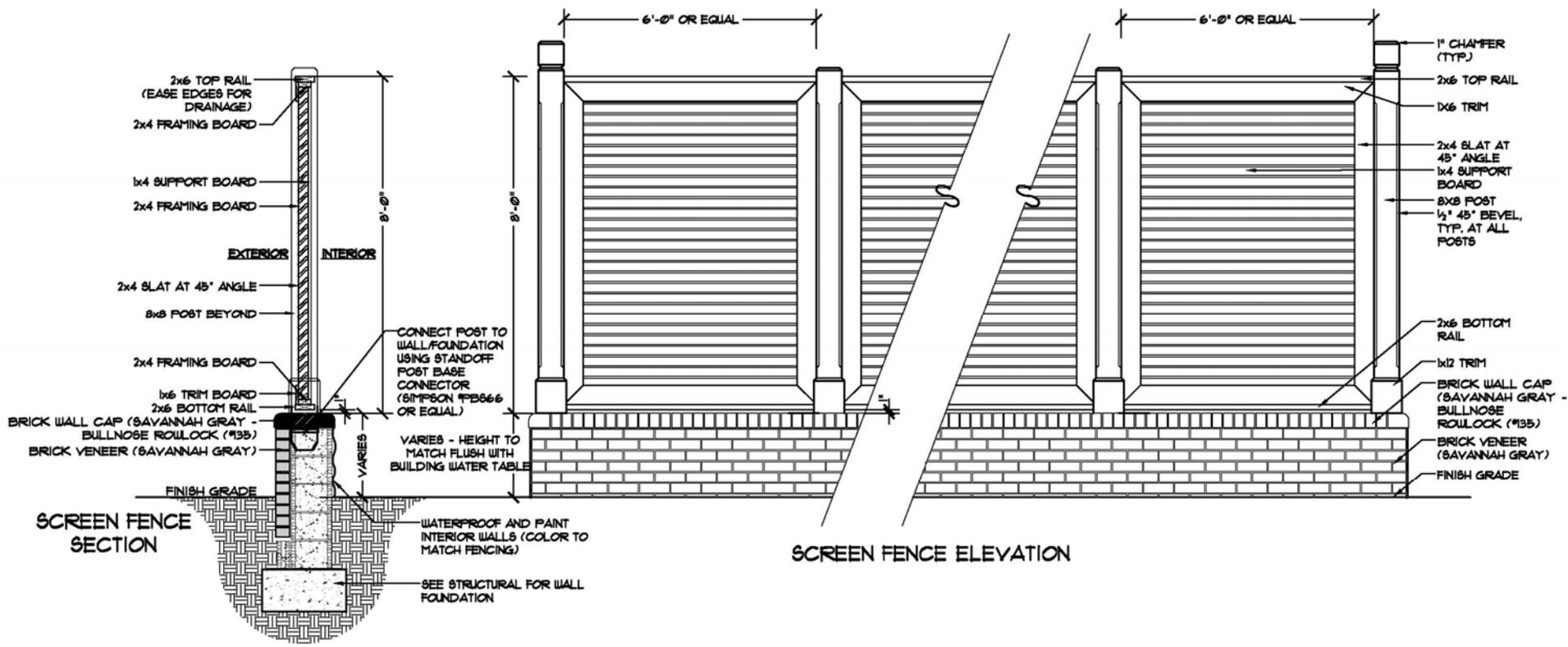


Site/Hardscape Materials (Cont.):

Service Yard Screen Fence:

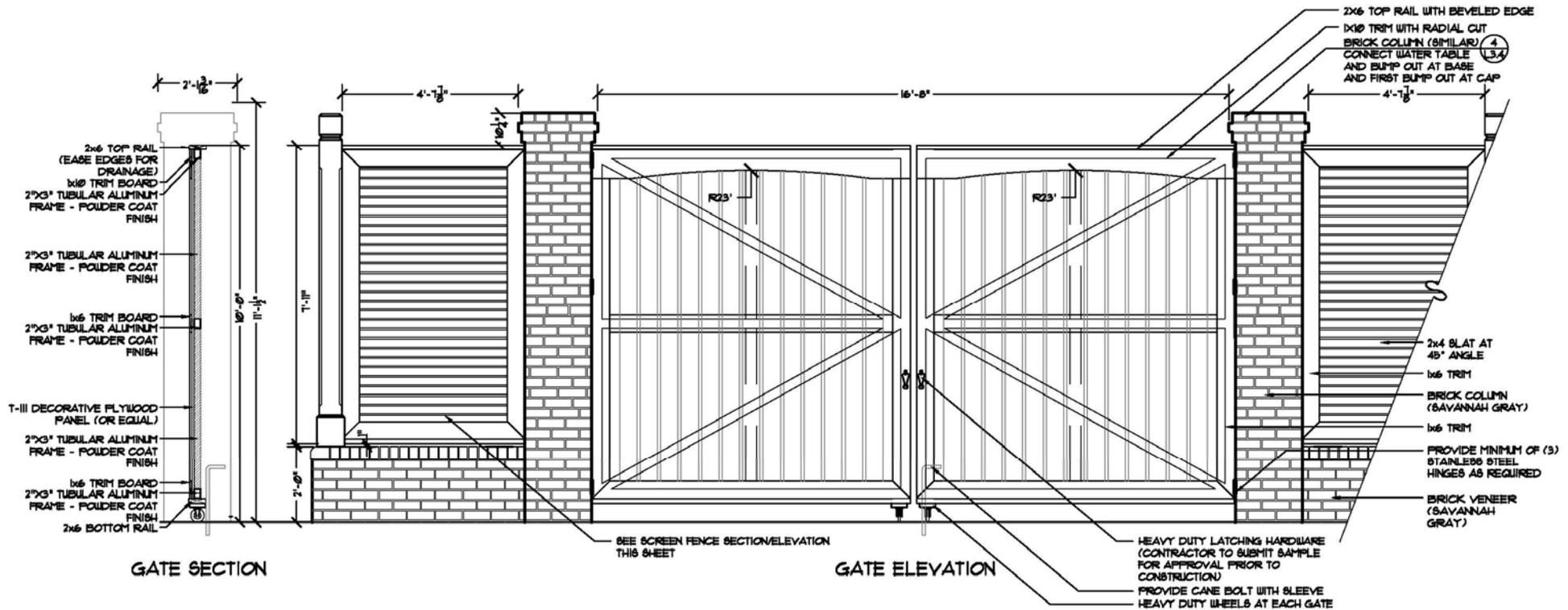
Brick: Old Carolina Brick

- Brick Color: Savannah Gray
- Post Color: Match Architecture (Silver Lining Stain by Cabot Stain)
- Rails, Cap, Slats Color: Match Architecture (Silver Lining Stain by Cabot Stain)
- Siding: Match Architecture (Silver Lining Stain by Cabot Stain)



Site/Hardscape Materials (Cont.):

Service Yard Screen Fence (Cont.):



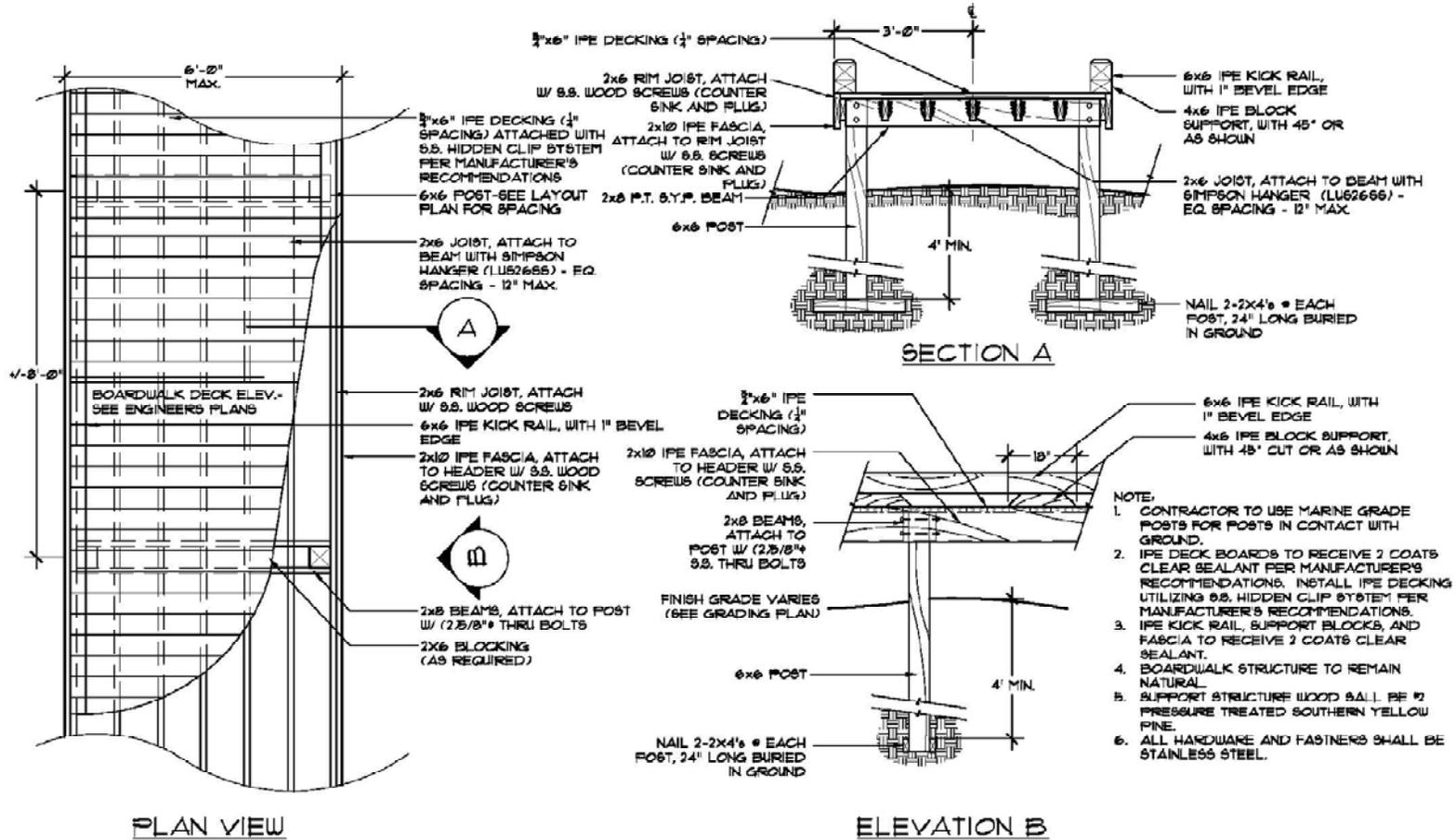
Silver Lining Color Sample



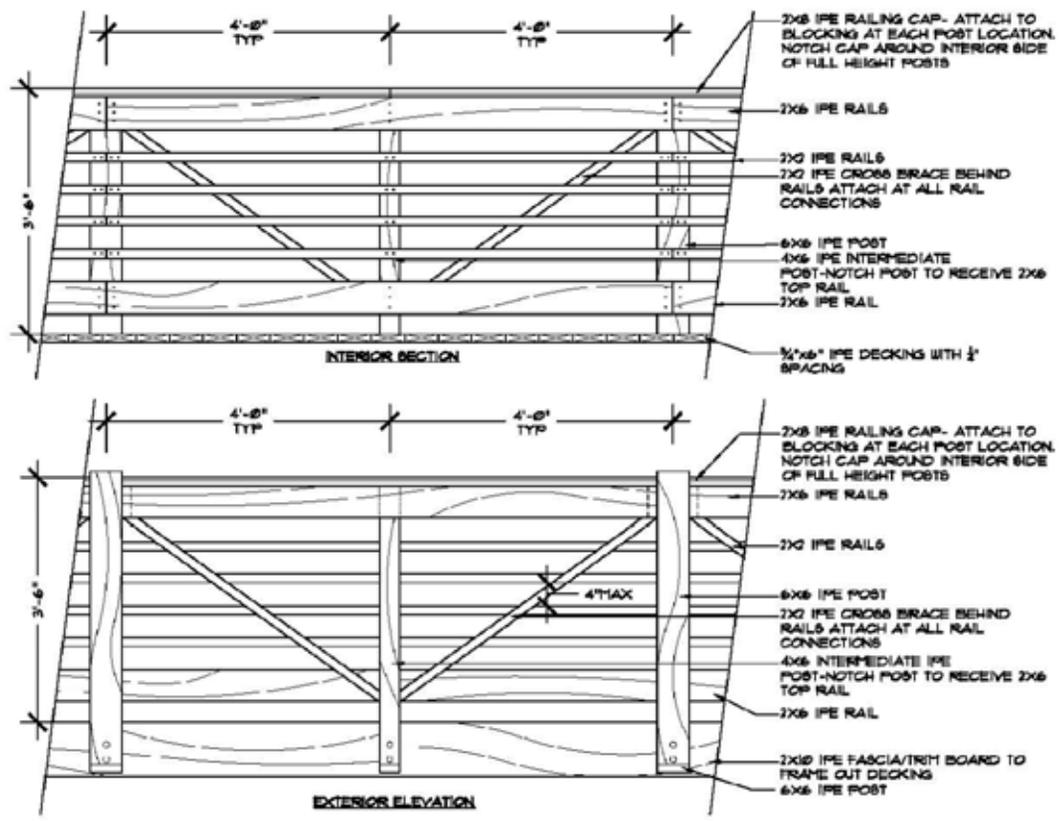
Brick Color Sample

Site/Hardscape Materials (Cont.):

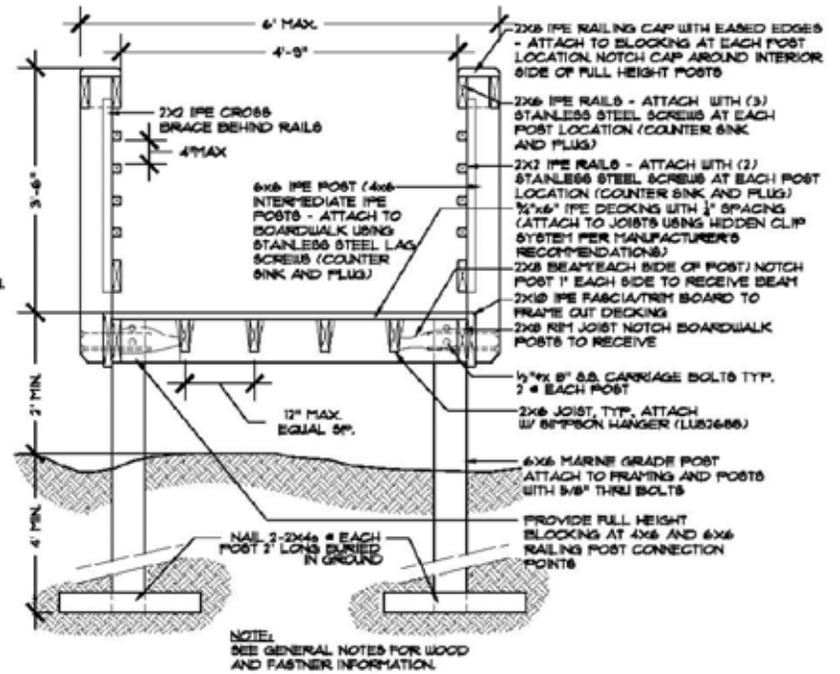
Dune Crossover Type 1:



Site/Hardscape Materials (Cont.):
Dune Crossover Type 2:



- NOTES:**
1. ALL HARDWARE AND FASTENERS SHALL BE STAINLESS STEEL.
 2. ALL WOOD IN CONTACT WITH GROUND SHALL BE MARINE GRADE.
 3. ALL WOOD FOR FRAMING SHALL BE 2 PRESSURE TREATED SOUTHERN YELLOW PINE AND SHALL BE LEFT NATURAL.
 4. ALL IPE SHALL RECEIVE TWO COATS SEALANT PER MANUFACTURER'S RECOMMENDATIONS.
 5. IPE DECKING SHALL BE FASTENED TO JOISTS USING STAINLESS STEEL HIDDEN CLIP SYSTEM WITH STAINLESS STEEL SCREWS PER MANUFACTURER'S RECOMMENDATIONS.
 6. TREAT ALL CUT BOARDS PER MANUFACTURER'S INSTRUCTIONS.

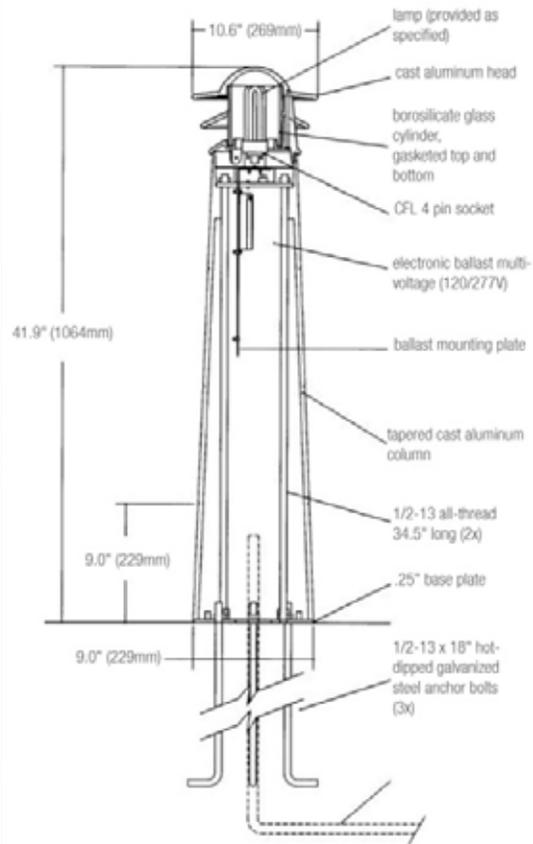


Site Lighting:

Bollard Lighting:

Forms + Surfaces Lighthouse Bollard (Model #L209-LED)

- Lamp Type: Amber (LED)
- Housing: Cast Aluminum
- Color: Rust Texture
- Finish: Powdercoat
- Surface Mounted
- Control: Timer



Amber Lamp Example



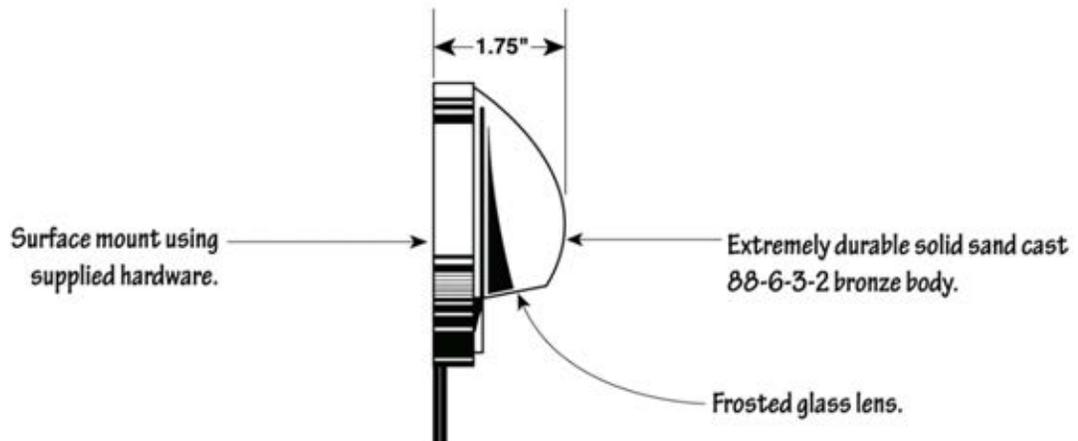
Rust Texture Color Sample

Site Lighting (Cont.):

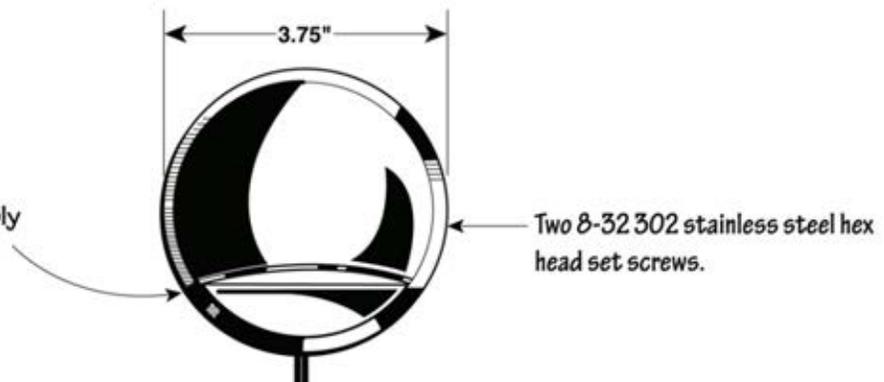
Deck Lighting (Post / Halfdome):

Beachside Lighting #CDL1LED1A

- Lamp Type: Cree XPE Amber (LED)
- Housing: Solid Bronze
- Color: Rust Texture
- Finish: Natural
- Surface Mounted
- Control: Timer



CDL1LED1:
Input power: 3.0W
Power Factor: 0.8W
(Size wire and power supply for 3.75W)

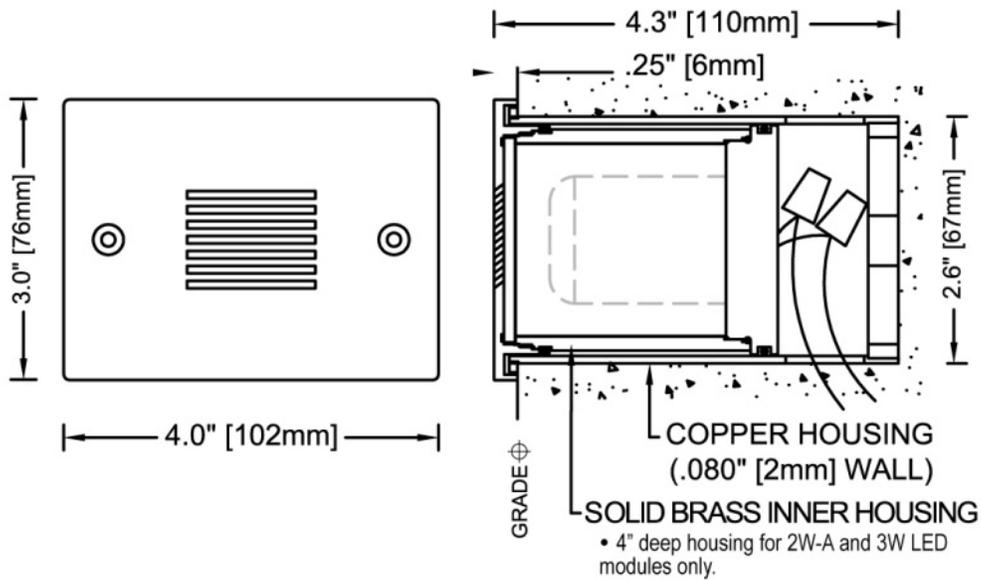


Site Lighting (Cont.):

Wall Light:

Beachside Lighting E9-RCL-4W-A-FL

- Lamp Type: Cree XP-E LED, 4 watt, Amber (1350K)
- Housing: Solid Brass Faceplate, Copper Outer Housing with Wiring Compartment
- Color: Brass
- Finish: Natural
- Control: Timer

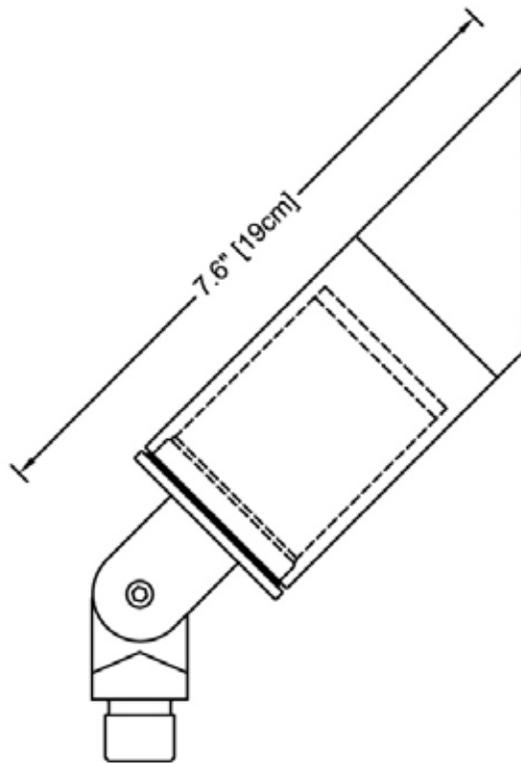


Site Lighting (Cont.):

Beachside/Turtle Friendly Accent Lighting (In-Ground):

Beachside Lighting E16 with BGS (Model # E16-4W-A-FL-BGS)

- Lamp Type: Amber (4 watt)
- Housing: All Brass Components
- Color: Brass
- Finish: Natural
- Control: Switch

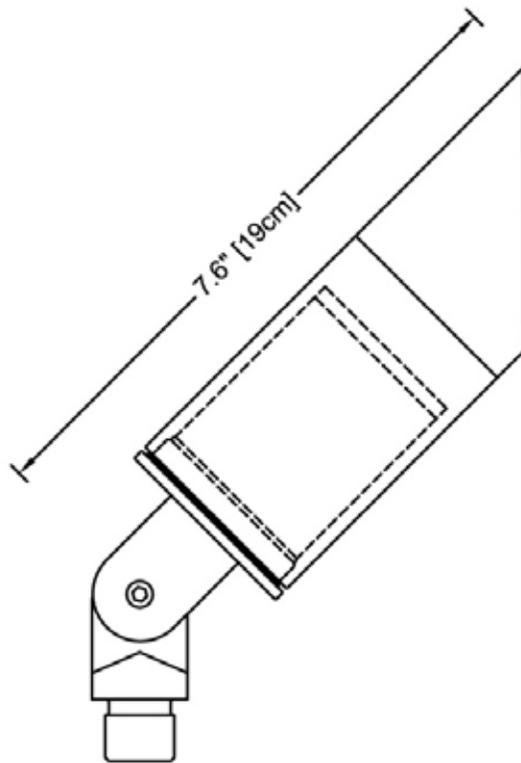


Site Lighting (Cont.):

Building Front Accent Lighting (In-Ground):

Beachside Lighting E16 with BGS (Model # E16-12W-FL-BGS)

- Lamp Type: LED (12 watt, Warm White 3,000K)
- Housing: All Brass Components
- Color: Brass
- Finish: Natural
- Control: Switch



PAVING SCHEDULE

CONCRETE WALK COLOR: NATURAL FINISH: ROCKSALT FINISH	TERRACE PAVEMENT (SPECIALTY) SEA SHELL AND WASHED GLASS PAVERS MANUFACTURER: WASHBURN TILE COLOR: SEA-SHELL (SEA SHELL PAVERS) US-20 (WASHED GLASS PAVERS) SIZE AND PATTERN: AS INDICATED (SEE DETAIL 3, SHEET L3.2)
AREAS OF 6' CONCRETE	TERRACE PAVEMENT TRAVERTINE PAVERS MANUFACTURER: CANTILE COLOR: PERUVIAN CREME SIZE AND PATTERN: AS INDICATED (SEE DETAIL 3, SHEET L3.2)
OYSTER SHELL CONCRETE (50.50 MIX OF 1/4 & 3/8 SHELLS) WITH SINGLE BRICK HEADER COURSE OLD CAROLINA BRICK COMPANY COLOR: SAVANNAH GRAY BORDER PATTERN: SINGLE HEADER COURSE (SEE DETAIL 3, SHEET L3.2)	ON-GRADE WOOD DECK WITH OYSTER SHELL BANDING (SEE DETAIL 3, SHEET L3.2)
PEDESTRIAN BRICK PAVEMENT BRICK PAVERS OLD CAROLINA BRICK COMPANY COLOR: SAVANNAH GRAY BORDER PATTERN: SINGLE HEADER COURSE FIELD PATTERN: 45° HERRINGBONE	ELEVATED WOOD DECK SEE KEY SHEET AND SITE KEY LEGEND FOR LOCATIONS (SEE DETAIL 3, SHEET L3.3)
BIKE RACK PAVING BERMUDA STONE WITH OYSTER SHELL CONCRETE CURB (SEE DETAIL 1, SHEET L3.2)	SHOWER DECK DRI-DECK LITE FLOOR SYSTEM OVER POURED IN PLACE CONCRETE PAD MANUFACTURED BY KENDALL PRODUCTS WWW.DRI-DECK.COM (800)348-3399 COLOR: ALMOND (SEE DETAIL 2, SHEET L3.2)
EXISTING VEHICULAR SPECIALTY PAVEMENT PAVERS TO BE RE-LAYED (SEE ENGINEER'S PLAN) FIELD PATTERN: 45° HERRINGBONE	PL PLANTER (SEE SITE KEY LEGEND FOR LOCATION AND DETAIL INFORMATION)
ADA DETECTABLE WARNING MANUFACTURER: CASTER INC./TRANSPO INDUSTRIES, INC. COLOR: CHOCOLATE BROWN (SEE DETAIL 6, SHEET L3.2)	

PAVING LEGEND:

CONTROL JOINT (SEE DETAIL 2, SHEET L3.2)
EXPANSION JOINT (SEE DETAIL 2, SHEET L3.2)

SITE FURNISHINGS SCHEDULE

BIKE RACK (18 TOTAL) BELSON MODEL #BR2 GROUND LOOP BIKE RACK 12 BIKE CAPACITY, IN-GROUND MOUNT FINISH: GALVANIZED (CONTRACTOR TO PROVIDE 8"x12" BELOW GRADE CURB FOR IN-GROUND MOUNTING)	BENCH (12 TOTAL) COUNTRY CASUAL UNDERHERE 6' BENCH M503 COLOR: NATURAL TEAK - PROVIDE SEALER PER MANUFACTURER'S RECOMMENDATIONS WWW.COUNTRYCASUAL.COM
TRASH/RECYCLE RECEPTACLE (3 TOTAL) COUNTRY CASUAL FURNITURE 22" SQUARE SIDE SLOT (25 GALLON) MODEL #1423 FINISH: TEAK LEFT OPENING ID: "RECYCLE" RIGHT OPENING ID: "WASTE"	GANG SHOWER (1 TOTAL) MOST DEPENDABLE FOUNTAINS MODEL #908986 4 SHOWER HEAD WITH (1) FOOTWASH AND 5.8. SURFACE CARRIER COLOR: CHROME WWW.MOSTDEPENDABLE.COM
REMOVABLE BOLLARD (3 TOTAL) FAIRWEATHER SITE FURNISHINGS MODEL 15-3-6" REMOVABLE WITH RECEIVER COLOR: LOCK UELL AND LOCK TAB WITH HOLE COLOR: TEXTURED RUBST (SEE DETAIL 10, SHEET L3.2)	ADA SHOWER (1 TOTAL) MOST DEPENDABLE FOUNTAINS MODEL #5645868 WITH GRAB BARS, SHOWERSEAT, FOOTWASH (1), AND 5.8. SURFACE CARRIER COLOR: CHROME WWW.MOSTDEPENDABLE.COM
GAS LANTERN (2 TOTAL) SAVANNAH COPPER LANTERNS FORMS THE MODEL #GL-26 W/ ELECTRIC IGNITION GOOSE NECK SCROLL MOUNT (SEE DETAIL 4, SHEET L3.4)	HAND SHOWER STATION (2 TOTAL) THE OUTDOOR SHOWER COMPANY, LLC MODEL #SH-9-010 WWW.THEOUTDOORSHOWERCO.COM
	HOSEBIB (2 TOTAL) (SEE DETAIL 5, SHEET L3.2)

SITE SUMMARY

TOTAL PARCEL ACREAGE: 5.2 ACRES
 TOTAL LIMIT OF DISTURBANCE ACREAGE: 1.8 ACRES
 PROPOSED AMOUNT OF IMPERVIOUS SURFACE (W/IN LIMITS OF DISTURBANCE): 60,941 SF
 PROPOSED AMOUNT OF OPEN SPACE (W/IN LIMITS OF DISTURBANCE): 16,398 SF
 EXISTING PARKING: 178 SPACES
 PROPOSED PARKING: 158 SPACES
 PARCEL NUMBER R550 011 00A 021A 0000 (BEACH CLUB SITE)
 PARCEL NUMBER R550 015 00A 0505 0000 (CSA CORRIDOR)

SITE KEY LEGEND

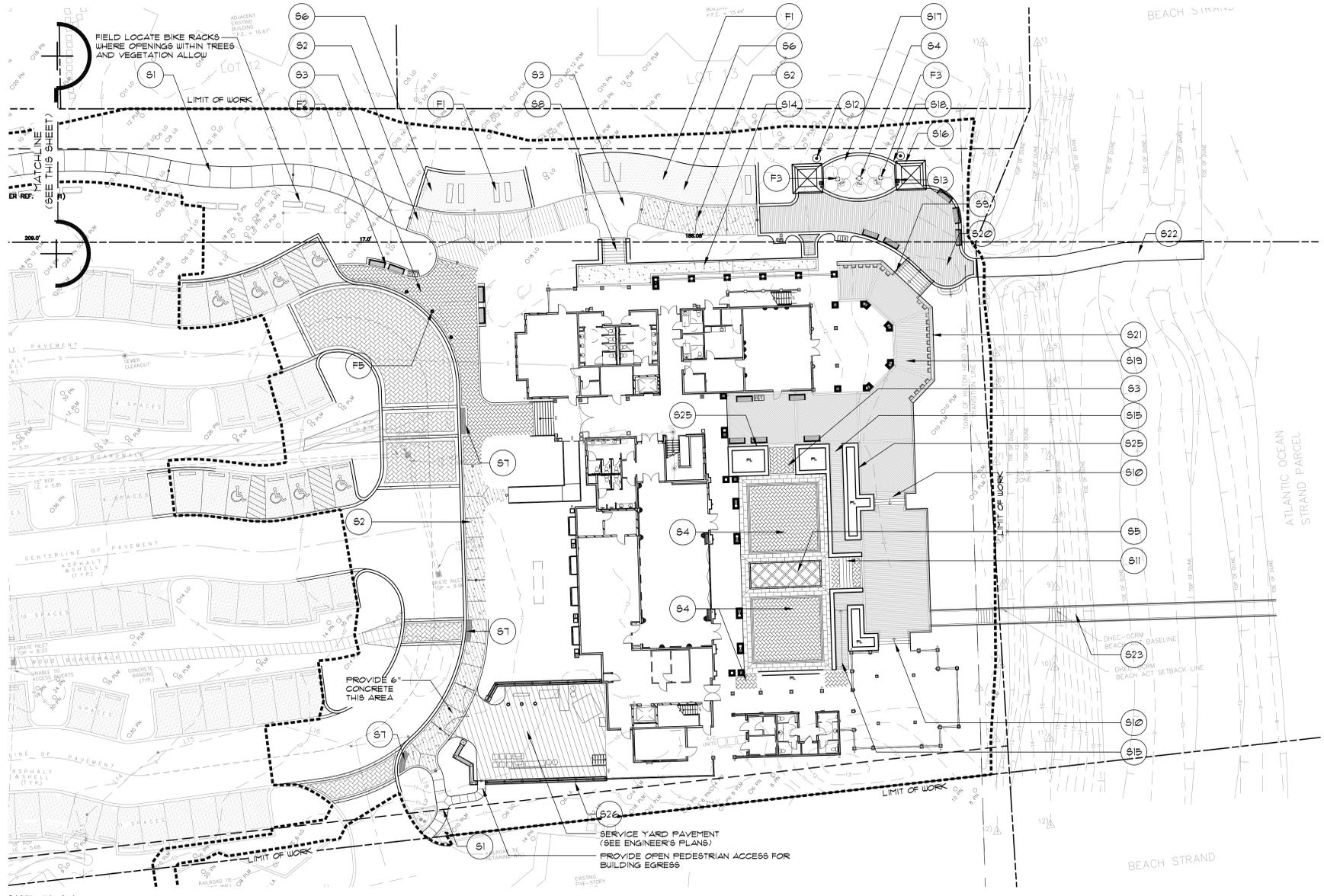
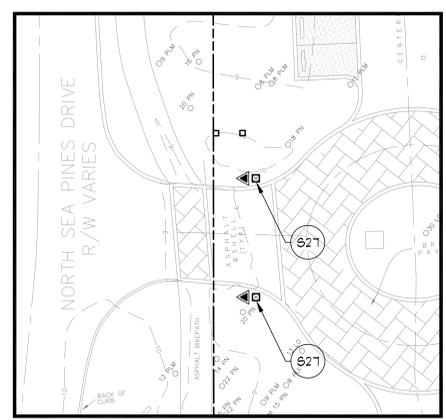
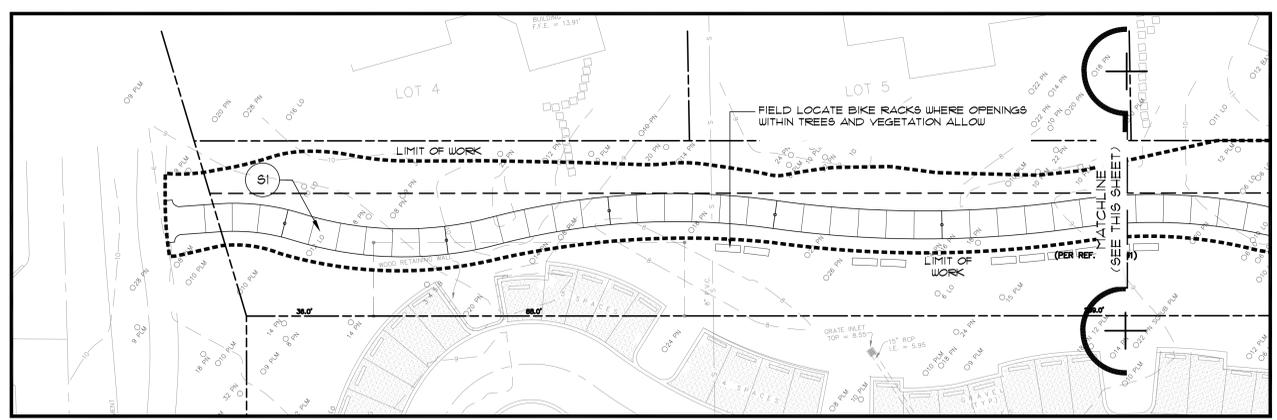
S1 CONCRETE WALK DETAIL 1/L3.2	S15 RAMP TYPE '2' DETAIL 6/L3.1
S2 OYSTER SHELL CONCRETE WALK WITH BRICK 3/L3.2	S16 SHOWER CABANA DETAIL 1/L3.2
S3 PEDESTRIAN BRICK PAVEMENT DETAIL 4/L3.2	S17 SHOWER DECK DETAIL 2/L3.2
S4 TERRACE PAVEMENT (TRAVERTINE + BRICK) DETAIL 6/L3.2	S18 BUILT-IN BENCH DETAIL 3/L3.2
S5 TERRACE PAVEMENT (SPECIALTY) DETAIL 5/L3.2	S19 WOOD DECK PLAN DETAIL 1/L3.3
S6 BIKE PAVING DETAIL 1/L3.2	S20 ON-GRADE WOOD DECK WITH CURB DETAIL 1/L3.3
S7 ADA DOME PAVERS DETAIL 8/L3.2	S21 DECK BAR RAIL DETAIL 4/L3.3
S8 STAIR TYPE '1' DETAIL 1/L3.1	S22 DUNE CROSSING TYPE '1' DETAIL 1/L3.4
S9 STAIR TYPE '2' DETAIL 2/L3.1	S23 DUNE CROSSING TYPE '2' DETAIL 2/L3.4
S10 STAIR TYPE '3' DETAIL 3/L3.1	S24 BRICK WALL DETAIL X/L3.3X
S11 STAIR TYPE '4' DETAIL 4/L3.1	S25 BRICK PLANTER WALL DETAIL X/L3.3X
S12 HOSEBIB DETAIL 5/L3.2	S26 SERVICE YARD SCREEN FENCE & GATE DETAIL 5/L3.4
S13 HAND SHOWER STATION DETAIL 4/L3.2	S27 BRICK ENTRY COLUMN WITH GAS LANTERN DETAIL 4/L3.4
S14 RAMP TYPE '1' DETAIL 5/L3.1	

FURNISHINGS:

F1 BIKE RACK (SEE FURNITURE SCHEDULE THIS SHEET)
F2 BENCH (SEE FURNITURE SCHEDULE THIS SHEET)
F3 GANG SHOWER (SEE FURNITURE SCHEDULE THIS SHEET)
F4 TWO-SIDED ADA SHOWER (SEE FURNITURE SCHEDULE THIS SHEET)
F5 REMOVABLE BOLLARD (SEE FURNITURE SCHEDULE THIS SHEET)

GENERAL SITE PLAN NOTES:

- THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADINGS NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER. LAWNES SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
- DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TINGING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
- CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.
- ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES ETC) SHALL BE INSTALLED AT ALL PIPES & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. SEE ENGINEERING PLANS.
- SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, ROADS, PARKING AND STORM DRAINAGE.
- SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- SEE IRRIGATION AND ELECTRICAL PLANS FOR LOCATION OF ELECTRICAL AND IRRIGATION CONDUIT SIZES AND LOCATIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
- ALL EXISTING TREES TO BE SAVED SHALL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
- TREE PROTECTION FENCES SHALL BE MAINTAINED IN PLACE AT ALL TIMES UNTIL WORK IS COMPLETED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
- CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
- DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. HARDCOPY INFORMATION SHALL PREVAIL.
- CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ELECTRICAL, ETC) WITH SUBSEQUENT DRAWINGS PRIOR TO CONCRETE INSTALLATION.
- PROPANE TANK TO BE SIZED BASED ON USAGE. CONTRACTOR TO COORDINATE WITH PROPANE SUPPLIER. SEE CIVIL DRAWINGS FOR SUPPLY LINE LOCATIONS.
- CONTRACTOR TO COORDINATE SEQUENCING OF USES AND MAINTAINING OF PUBLIC ACCESS TO BEACH AND SCHEDULING WITH SEASONAL USES.



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SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued include the general scope of the Project. The Contractor is responsible for complete and coordinated printing and Work and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work indicated in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES	
Permit Set	05.23.13

**PERMIT SET
NOT FOR CONSTRUCTION**

SEA PINES BEACH CLUB

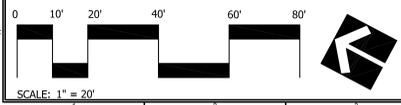
187 North Sea Pines Drive
 Hilton Head Island
 South Carolina, 29928
 Riverstone Partners

Site Plan / Keynote Sheet

TODD THEODORE	01-13005
Principal/Designer	Project No.
KRISTEN MANSFIELD	05/23/13
Project Manager	Date
TREY GRIFFIN	
Project Landscape Architect	

L1.0

PROJECT NUMBER: 20130007 PROJECT NAME: SEA PINES BEACH CLUB
 SHEET NUMBER: L1.0 - Site Plan / Keynote Sheet
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PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
MAGL	1	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	Cont.	1.5" Cal	5'-6"	3'-4"		Español Trellis Specimen
PHSV	3	Phoenix sylvatica / Sylvester Palm	B & B or Cont.		12'-14"	6'-8"		Specimen, 10' clear trunk
PITA	20	Pinus taeda / Loblolly Pine	B & B or Cont.	1.5" Cal	7'-8"	2'-3"		Strong central leader
PITT2	5	Pinus thunbergii 'Thunderhead' / Thunderhead Japanese Black Pine	B & B or Cont.	1.5" Cal	5'-6"	3'-4"		Strong central leader
PITT1	1	Pinus thunbergii 'Thunderhead' / Thunderhead Japanese Black Pine	B & B or Cont.	1.5" Cal	7'-8"	4'-5"		Strong central leader
QUVI	113	Quercus virginiana / Southern Live Oak	B & B	4" Cal	14'-16"	6'-8"		Full crown, strong central leader
SAPA	41	Sabal palmetto / Cabbage Palmetto	B & B		14'-18"			Height varies, smooth trunk

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS
ABRC	44	Abutilon x 'Rosa Creek' / Rosa Creek Abutilon	Cont.	18"-24"	18"-24"	Full
ALZV	21	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger	Cont.	18"-24"	18"-24"	Full
CARC	11	Callistemon rigidus 'Clemson Hardy' / Clemson Hardy Bottle Brush	Cont.	36"	24"-36"	Full
CHHU	2	Chamerops humilis / Dwarf European Fan Palm	Cont.	30"-36"	24"-36"	Specimen
CYRE	2	Cycas revoluta / Sago Palm	B & B or Cont.	3'-4"	3'-4"	Full, specimen
ILOV	13	Ilex vomitoria / Upright Yaupon Holly	B & B or Cont.	5'-6"	3'-4"	Full
ILVS	15	Ilex vomitoria 'Schillings Dwarf' / Dwarf Schillings Holly	Cont.	18"-24"	12"-18"	Full
MISV	6	Miscanthus sinensis 'Variegatus' / Variegated Maiden Grass	Cont.			Full
MYCE	44	Myrica cerifera / Wax Myrtle	B & B or Cont.	5'-6"	3'-4"	Full
NEOH	41	Nerium oleander 'Hardy Red' / Hardy Red Oleander	Cont.	36"-48"	24"-36"	Full
NEOP	25	Nerium oleander 'Petite Pink' / Petite Pink Oleander	Cont.	30"-36"	24"-36"	Full
PHSE	61	Philodendron selloum / Split Leaf Philodendron	Cont.	30"-36"	24"-36"	Full
ROOT	47	Rosemarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary	Cont.	18"-24"	12"-18"	Full
SERC	67	Serenoa repens 'Cinerea' / Silver Saw Palmetto	Cont.	22"-24"	18"-24"	Full

GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
ALHL	19	Aloe hybrid 'LEO 3711' / Super Red™ Aloe	1 gal	8"-10"	8"-10"	24"	Full pot
CYDC	491 sf	Cynodon dactylon 'Celebration' / Celebration Bermuda Grass	1 gal				Full pot
DITV	84	Dianella tasmanica 'Variegata' / Variegated Flax Lily	1 gal	12"-18"	10"-12"	24"	Full pot
DIVE	440	Dioscorea alata / African Iris	1 gal	18"-24"	12"-18"	30"	Full
GAPU	158	Gaillardia pulchella / Blanketflower	1 gal	8"-10"	6"-8"	18"	Full pot
GALW	31	Gaura lindheimeri 'Whirling Butterflies' / Pink Whirling Butterflies Gaura	1 gal	12"-18"	10"-12"	24"	Full
HEDE	31	Helianthus debilis / Dune Sunflower	1 gal	10"-12"	10"-12"	24"	Full
LACN	36	Lantana camara 'New Gold' / Gold Mound Lantana	1 gal	12"-14"	6"-8"	24"	Full pot
LIME	15	Liriodendron muscari 'Evergreen Giant' / Evergreen Giant Liriodendron	1 gal	12"-18"	10"-12"	24"	Full pot
PLAI	106	Plumbago auriculata 'Imperial Blue' / Plumbago	1 gal	18"-24"	12"-18"	36"	Full pot
SPBA	179	Spartina bakeri / Sand Cord Grass	1 gal	12"-18"	10"-12"	30"	Full pot
TRDN	33	Tripsacum dactyloides nana / Dwarf Fakahatchee Grass	1 gal	12"-18"	12"-18"	30"	Full
ZAPU	47	Zamia pumila / Coonite	3 gal				Full

MULCH QTY
 LONGLEAF PINE STRAW MULCH (3" DEPTH) 17,675 SF

TREE REMOVAL AREA 1 (BEACH CLUB SITE)

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LIVE OAK	6"	195"
	LIVE OAK	6"	
	LIVE OAK	7"	
	LIVE OAK	10"	
	LIVE OAK	10"	
	LIVE OAK	10"	
	LIVE OAK	6"	
	LIVE OAK	6"	
	LIVE OAK	10"	
	LIVE OAK	6"	
	LIVE OAK	6"	
	LIVE OAK	6"	
	LIVE OAK	8"	
	LIVE OAK	6"	
	LIVE OAK	6"	
	LIVE OAK	4"	
	LIVE OAK	6"	
	LIVE OAK	10"	
	LIVE OAK	12"	
	LIVE OAK	6"	
	LAUREL OAK	16"	
CATEGORY III TREES REMOVED	PINE	7"	46"
	PINE	10"	
	PINE	12"	
	PINE	10"	
	PINE	7"	
CATEGORY IV TREES REMOVED	PALM	12"	346"
	PALM	12"	
	PALM	10"	
	PALM	11"	
	PALM	13"	
	PALM	12"	
	PALM	14"	
	PALM	12"	
	PALM	10"	
	PALM	10"	
	PALM	10"	
	PALM	12"	
	PALM	12"	
	PALM	14"	
	PALM	10"	
	PALM	12"	

TREE REMOVAL AREA 2 (CSA CORRIDOR)

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LIVE OAK	10"	37"
	LIVE OAK	10"	
	LIVE OAK	10"	
	LIVE OAK	7"	
CATEGORY III TREES REMOVED	PINE	14"	152"
	PINE	18"	
	PINE	14"	
	PINE	12"	
	PINE	10"	
	PINE	12"	
	PINE	12"	
	PINE	6"	
	PINE	6"	
	PINE	6", 6"	
	PINE	8"	
	PINE	22"	
	PINE	6"	
	PINE	8"	
CATEGORY IV TREES REMOVED	PALM	12"	94"
	PALM	10"	
	PALM	8"	
	PALM	14"	
	PALM	12"	
	PALM	12"	
	PALM	12"	

TREE REPLACEMENT SUMMARY (TOTAL)

TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
1	216" LIVE OAK 16" LAUREL OAK	23	1 (1.5" CAL TREE) AND 11 (4" CAL TREES PROVIDED TO MEET REPLACEMENT REQ.)
2	0"	0	0
3	198" PINE	20	26
4	440" PALM	44	44

PLANTING SCHEDULE NOTES:

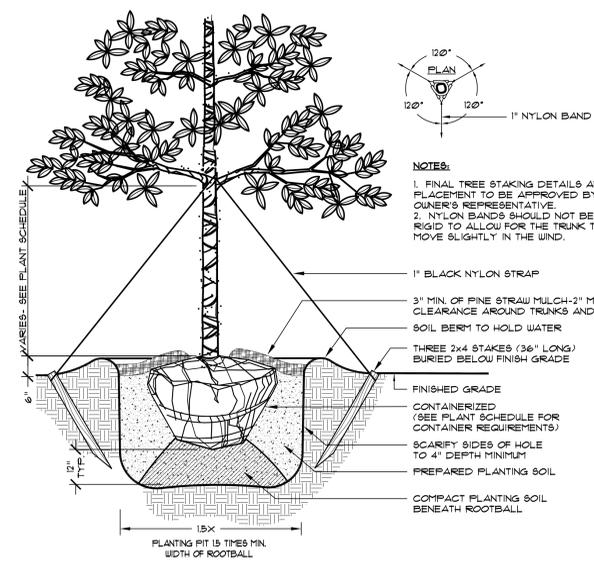
- CONTRACTOR IS RESPONSIBLE FOR DOING HIS/HER OWN QUANTITY TAKE OFFS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES.
- IF QUANTITY DISCREPANCIES OCCUR BETWEEN THE PLANS AND THE PLANTING SCHEDULE, THE CONTRACTOR SHALL USE THE GREATER QUANTITY FOR BIDDING PURPOSES. IF DISCREPANCIES OCCUR BETWEEN PLANT SPECIFICATIONS AS NOTED ON THE PLANT SCHEDULE AND WHAT IS SHOWN IN THE PLANS, THE SPECIFICATIONS ON THE PLANTING SCHEDULE SHALL TAKE PRECEDENCE OVER WHAT IS SHOWN ON THE PLANS.

GENERAL PLANTING DETAIL NOTES:

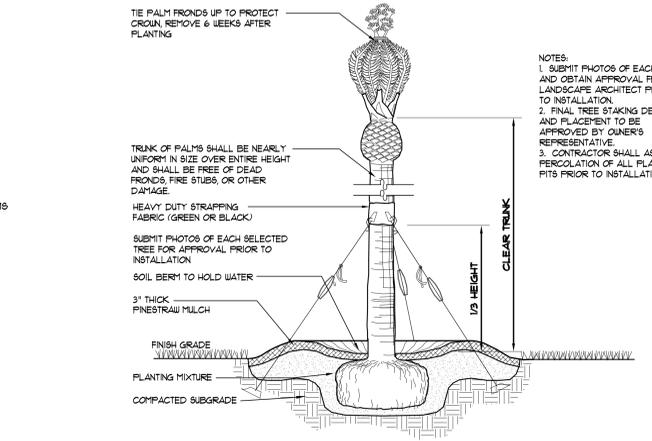
- ALL DIMENSIONS PROVIDED FOR WOODEN MATERIALS ARE NOMINAL.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC, OR WIRE MESH. WIRE BASKETS MUST BE COMPLETELY REMOVED PRIOR TO INSTALLATION.
- ROOTBALLS SHALL BE SET 1"-2" ABOVE FINISHED GRADE AND SET PLUMB TO THE HORIZON.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL, REMOVE ROCKS, STUMPS, OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY, OR OTHER MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT OWNER'S REPRESENTATIVE PRIOR TO PLANTING. A SOIL TEST TO CONFIRM ADHERENCE TO THE SPECIFICATIONS FOR ANY STOCKPILED OR IMPORTED SOIL WILL BE REQUIRED. SEE SPECIFICATIONS FOR REQUIRED TESTING DATA AND AMEND THE SOIL AS REQUIRED BY THE SOIL TEST.
- SOIL BERM'S SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE PLANTING PIT WITH A HEIGHT AND WIDTH OF 6".
- MULCH SHALL BE A 3" DEEP LAYER PLACED TO THE EDGE OF THE TRUNK FLARE, AROUND THE BASE OF SHRUB, OR SOLIDLY AROUND GROUNDCOVER. MULCH SHALL BE AT A MINIMUM 2" CLEARANCE FROM TREE TRUNKS AND SHRUB STEMS.
- STRAPPING SHALL BE MINIMUM 1" WIDE BLACK NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, AND FLEXIBLE PLASTIC OR RUBBER, SECURELY FASTENED TO WOODEN STAKES. ALL WOODEN STAKES OR EARTH ANCHORS SHALL BE LOCATED BEYOND THE EDGE OF SOIL RING.

LANDSCAPE DEMOLITION NOTES:

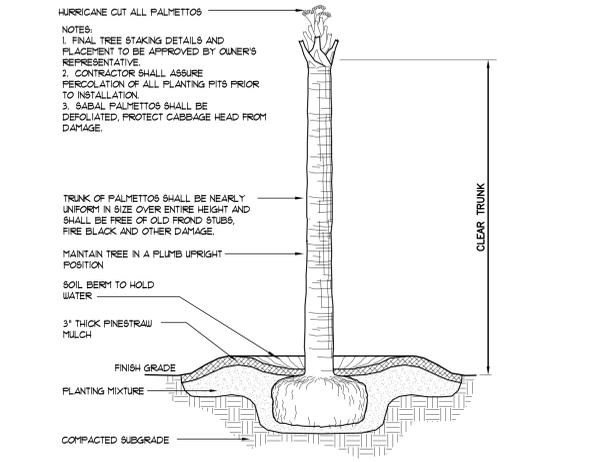
- CONTRACTOR RESPONSIBLE FOR REMOVING ALL EXISTING LANDSCAPING WITHIN DISTURBANCE AREA UNLESS SPECIFICALLY NOTED TO REMAIN.
- SITE CONTRACTOR TO COORDINATE WITH LANDSCAPE CONTRACTOR ON REMOVAL.
- CONTRACTOR RESPONSIBLE FOR DISPOSING OF ALL LANDSCAPE DEMO MATERIAL FROM SITE. LANDSCAPE DEMO MATERIAL UNDER 18" DIAMETER TO BE TAKEN TO COMMUNITY MULCHING CENTER.



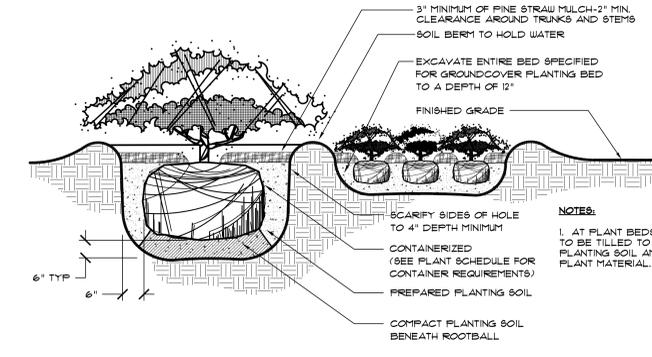
1 SHADE TREE PLANTING
 L.4.1 NOT TO SCALE



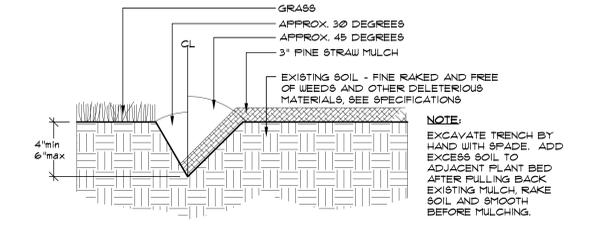
2 SPECIMEN PALM TREE
 L.4.1 NOT TO SCALE



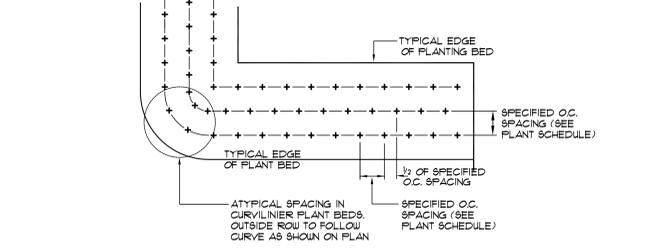
3 PALM TREE PLANTING
 L.4.1 NOT TO SCALE



4 SHRUB AND GROUNDCOVER PLANTING
 L.4.1 NOT TO SCALE



6 TYPICAL PLANTING BED EDGE TRENCH
 L.4.1 NOT TO SCALE



7 TYPICAL GROUNDCOVER SPACING
 L.4.1 NOT TO SCALE

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SCOPE DOCUMENTS
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ISSUANCES	
Permit Set	05.23.13

**PERMIT SET
 NOT FOR CONSTRUCTION**

SEA PINES BEACH CLUB

187 North Sea Pines Drive
 Hilton Head Island
 South Carolina, 29928

Riverstone Partners

Planting Schedule and Details

TODD THEODORE	01-13005
Project Manager	Project No.
KRISTEN MANSFIELD	05/23/13
Project Manager	Date
TREY GRIFFIN	
Project Landscape Architect	

L.4.1

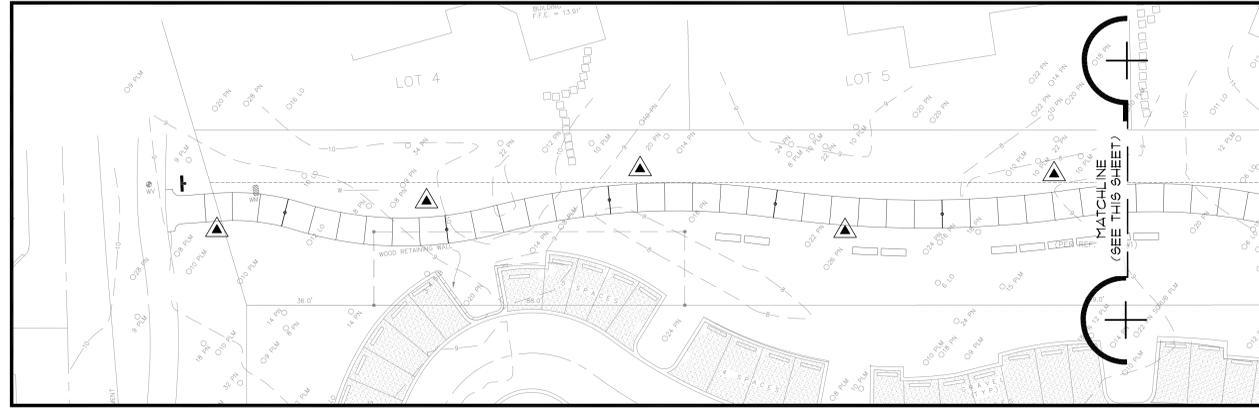
PROJECT NUMBER: 20120007 PROJECT NAME: SEA PINES BEACH CLUB
 SHEET NUMBER: L.4.1 - Planting Schedule and Details
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 6/2/2013 3:08:15 PM

LIGHTING SCHEDULE					
NO. REQ'D	SYMBOL	FIXTURE/MANUFACT./CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
25		WALL MOUNTED STEPLIGHT BEACHSIDE LIGHTING MODEL #E6-RCL-4U-A-FL NATURAL FINISH	4 WATT (AMBER)	RECESSED WALL MOUNT PER MANUFACTURER'S RECOMMENDATIONS	TIMER
20		POST / HALDDOME (8M.) POST LIGHTING LLC MODEL #C3-LEDIA NATURAL FINISH	LED (AMBER)	PER MANUFACTURER'S RECOMMENDATIONS	TIMER
18		LIGHTHOUSE BOLLARD FORMS + SURFACES MODEL # L208-LED (AMBER) RUST TEXTURE FINISH	LED (AMBER)	BOLT TO FOOTING PER MANUFACTURER'S RECOMMENDATION	TIMER
4		ACCENT TREE UPLIGHT BEACHSIDE LIGHTING MODEL # E16-4U-A-FL-BG6 NATURAL FINISH	4 WATT (AMBER)	GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS	SWITCH
8		ACCENT TREE UPLIGHT BEACHSIDE LIGHTING MODEL # E16-12U-FL-BG6 NATURAL FINISH	12 WATT LED	GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS	SWITCH
7		GFCI OUTLET WITH COVER SEE DETAIL 4/L3.2		PER MANUFACTURER'S RECOMMENDATIONS	
2		GAS LANTERN SAVANNAH COPPER LANTERNS FORBYTHE MODEL #GL-26 W/ ELECTRIC IGNITION	GAS	SCROLL MOUNT ON COLUMN (SEE DETAIL 4, SHEET L3.4)	TIMER

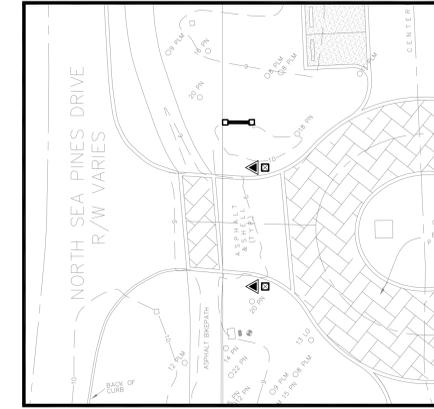
NOTE: SEE ELECTRICAL PLANS FOR WIRING (INCLUDING PALMETTO ELECTRIC'S PARKING LOT WIRING) AND CIVIL PLANS FOR CONDUIT UNDER PAVEMENTS.

GENERAL SITE ELECTRICAL NOTES:

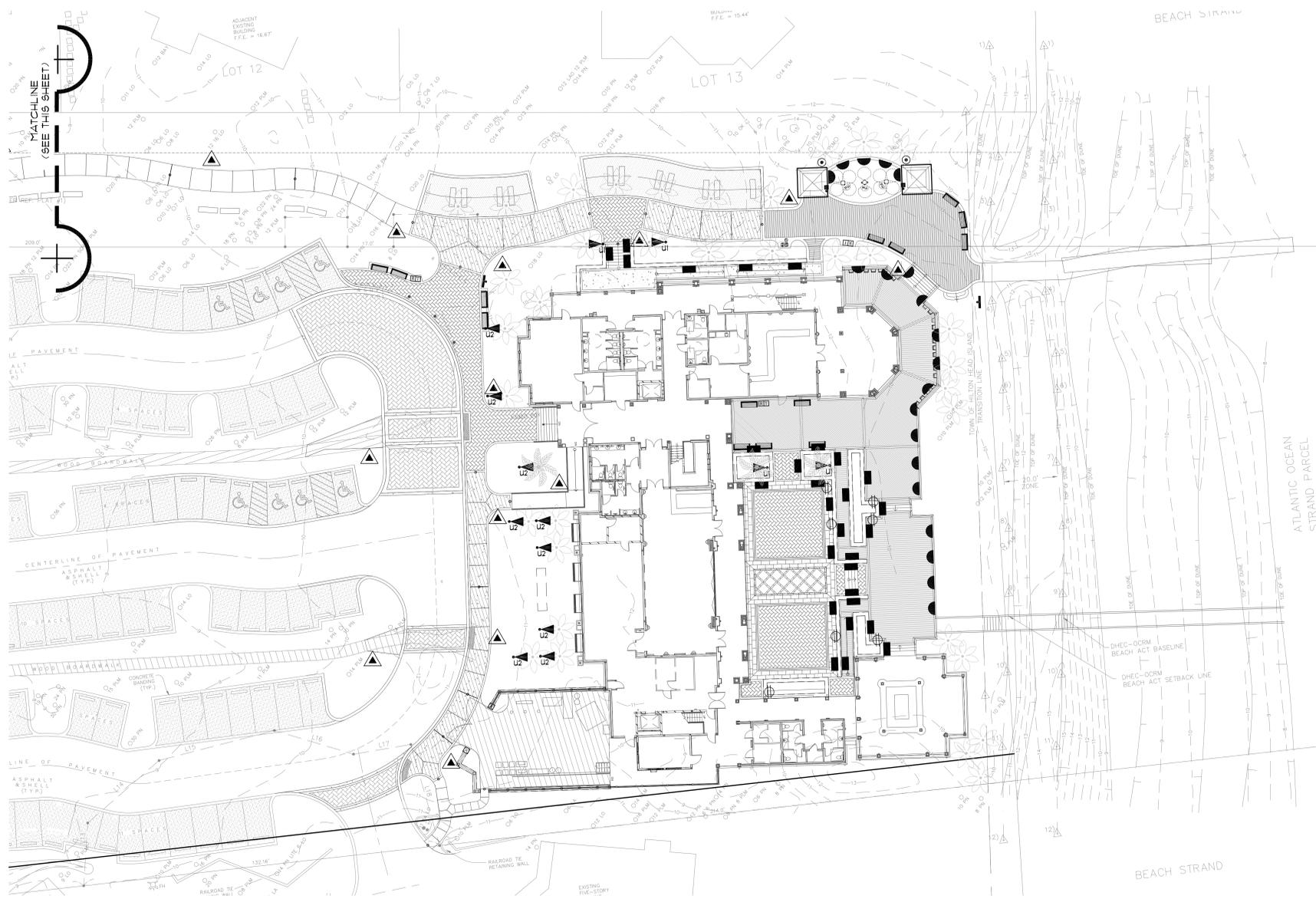
- THIS LIGHTING PLAN IS FOR LIGHTING FIXTURE LOCATIONS ONLY - WIRING DIAGRAMS, DETAILS AND INSTALLATION SPECIFICATIONS ARE BY ELECTRICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE TIMER OR SWITCH CONTROLLED LIGHTING SYSTEMS USING FIXTURES AND LOCATIONS NOTED ON THIS PLAN. COORDINATE WITH OWNER'S REPRESENTATIVE FOR PREFERRED SWITCHING OPTIONS. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES AND SHALL MEET OR EXCEED THE NATIONAL ELECTRICAL CODE. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AND APPROVALS AS REQUIRED. SYSTEM SHALL BE GUARANTEED FOR 1 YEAR, PARTS AND LABOR. DUE TO FAILURE BASED ON FAULTY WORKMANSHIP OR EQUIPMENT FAILURE.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE AND PROPERTY ENGINEER FOR CONNECTION AND CIRCUITING TO EXISTING EQUIPMENT/ELECTRICAL PANELS.
- THE INTENT OF THIS PLAN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING FOR PEDESTRIAN FLOW AND LIGHTING OF SELECTED ARCHITECTURAL ELEMENTS. FINAL AIMING AND ADJUSTING SHALL BE MADE AT NIGHT.
- CONTRACTOR SHALL HAND DIG ANY TRENCHES FOR WIRE ADJACENT TO EXISTING TREES.



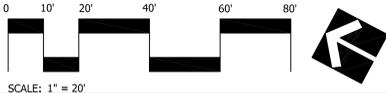
BEACH WALK CONNECTION



ENTRY ENLARGEMENT



LIGHTING PLAN



SCALE: 1" = 20'

PLAN IS SUBJECT TO CHANGE.

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SCOPE DOCUMENTS
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ISSUANCES	
Permit Set	05.23.13

**PERMIT SET
NOT FOR CONSTRUCTION**

SEA PINES BEACH CLUB

187 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

Lighting Plan

TODD THEODORE	01-13005
Principal-in-Charge	Project No.
KRISTEN MANSFIELD	05/23/13
Project Manager	Date
TREY GRIFFIN	
Project Landscape Architect	

L6.0

PROJECT NUMBER: 20120007 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: L6.0 - Lighting Plan
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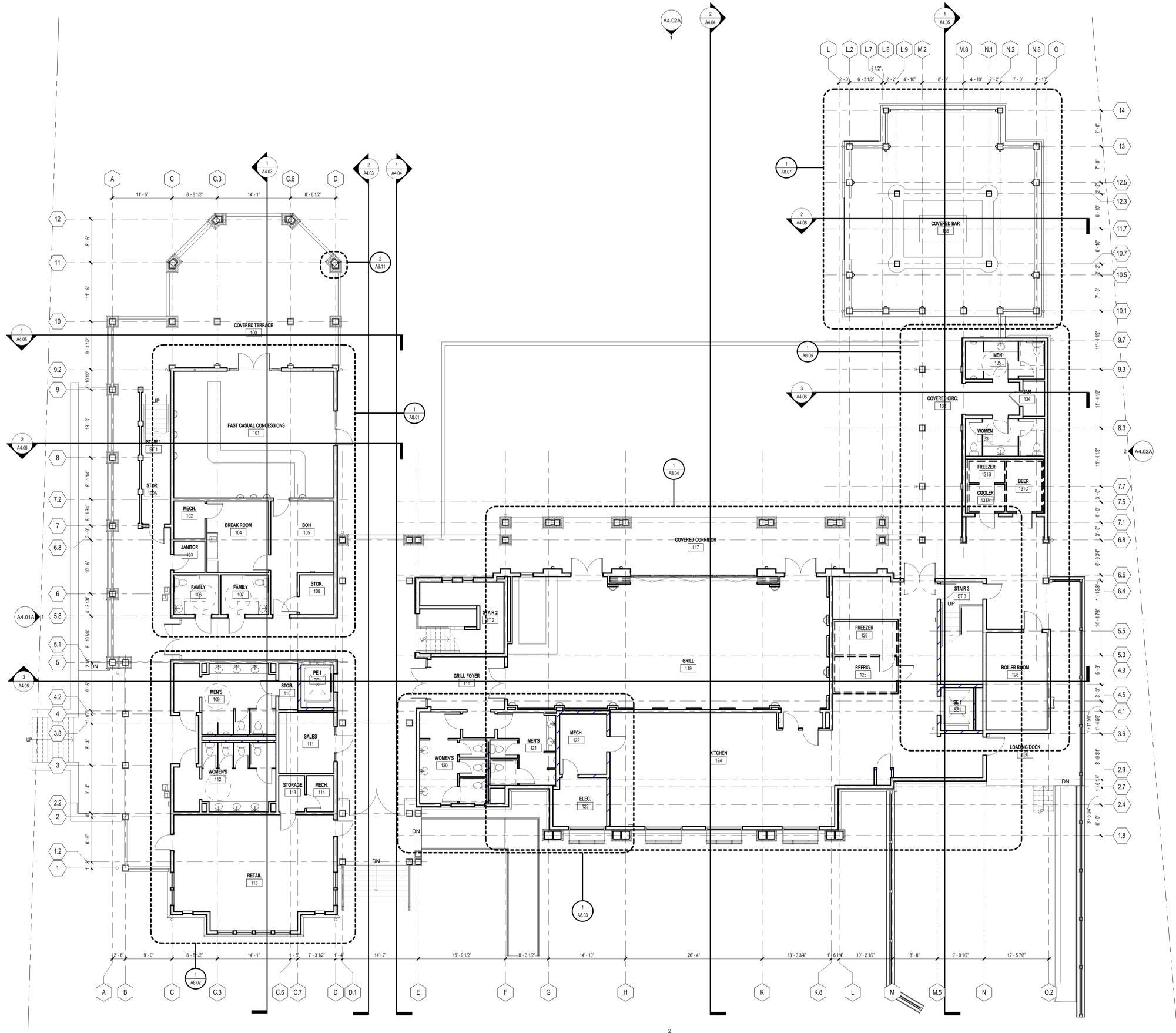


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
50%	Construction Document Set	09/03/2013



1 LEVEL 1 FLOOR PLAN
A2.01 SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

FIRST FLOOR PLAN

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A2.01

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A2.01 - FIRST FLOOR PLAN
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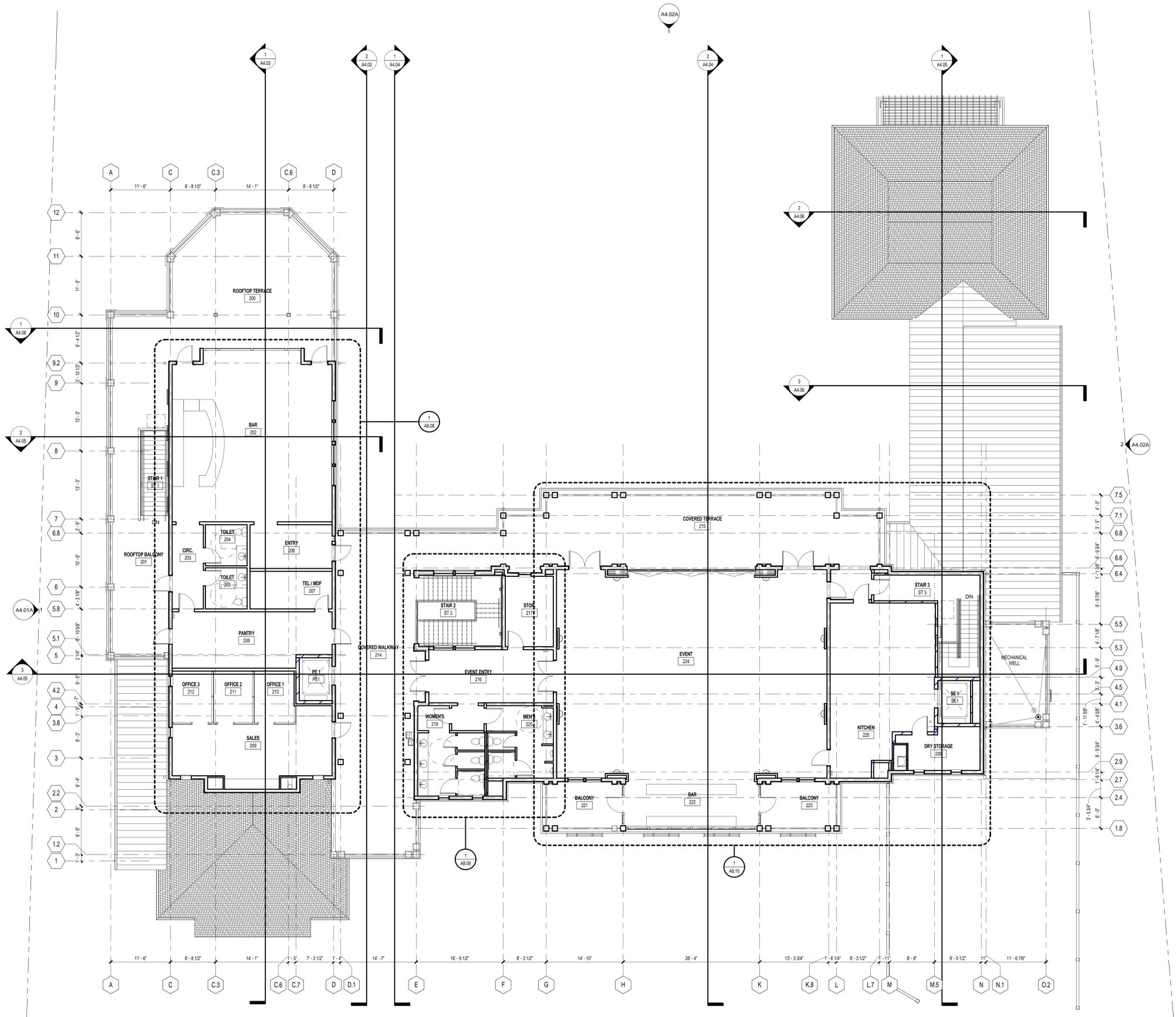


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	50% Construction Document Set	09/03/2013



1 LEVEL 2 FLOOR PLAN
A2.02 SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

SECOND FLOOR PLAN

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A2.02

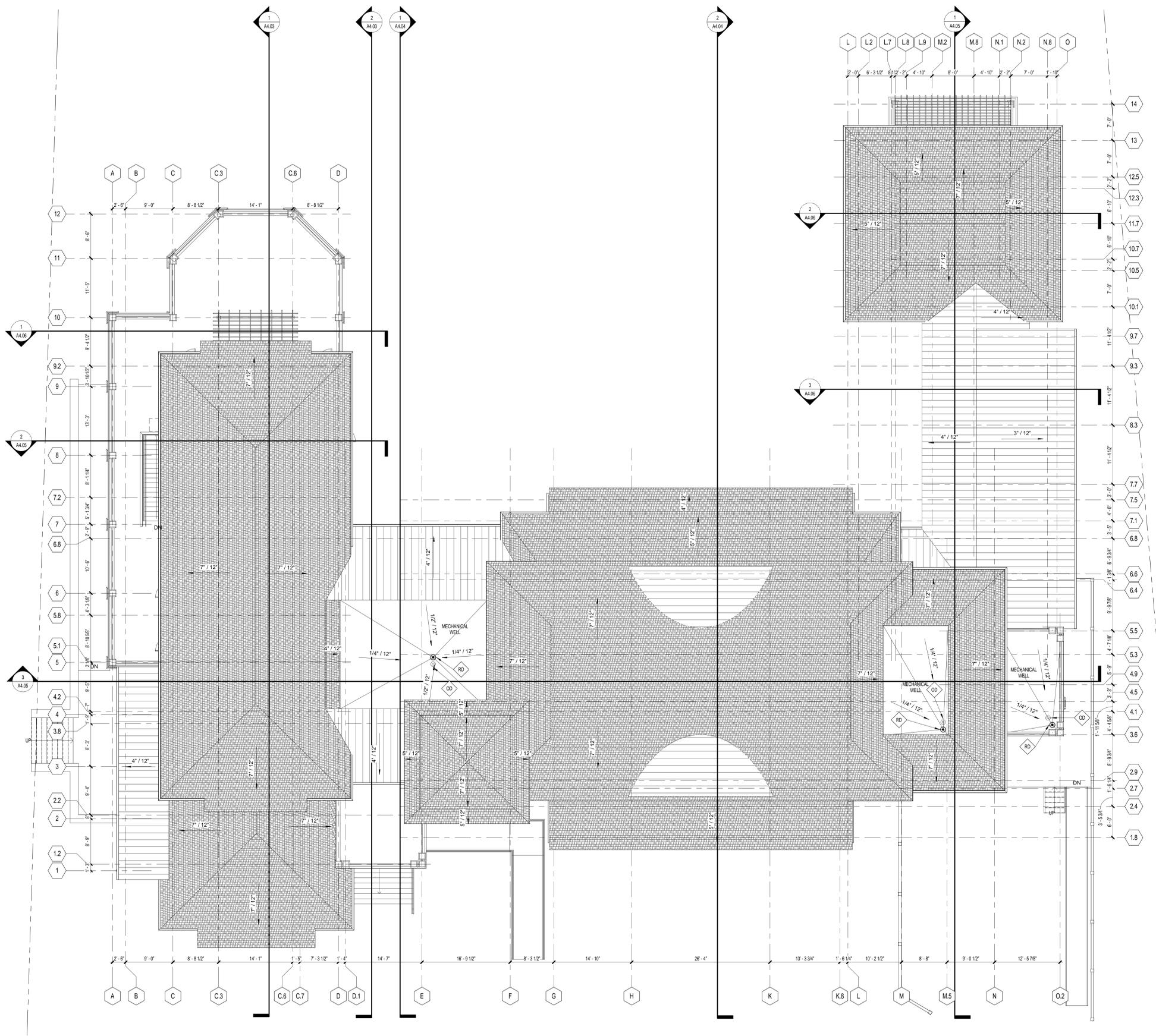
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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
	50% Construction Document Set	06/03/2013



1 ROOF FLOOR PLAN
A2.03 SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

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ROOF PLAN

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A2.03

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A2.03 - ROOF PLAN
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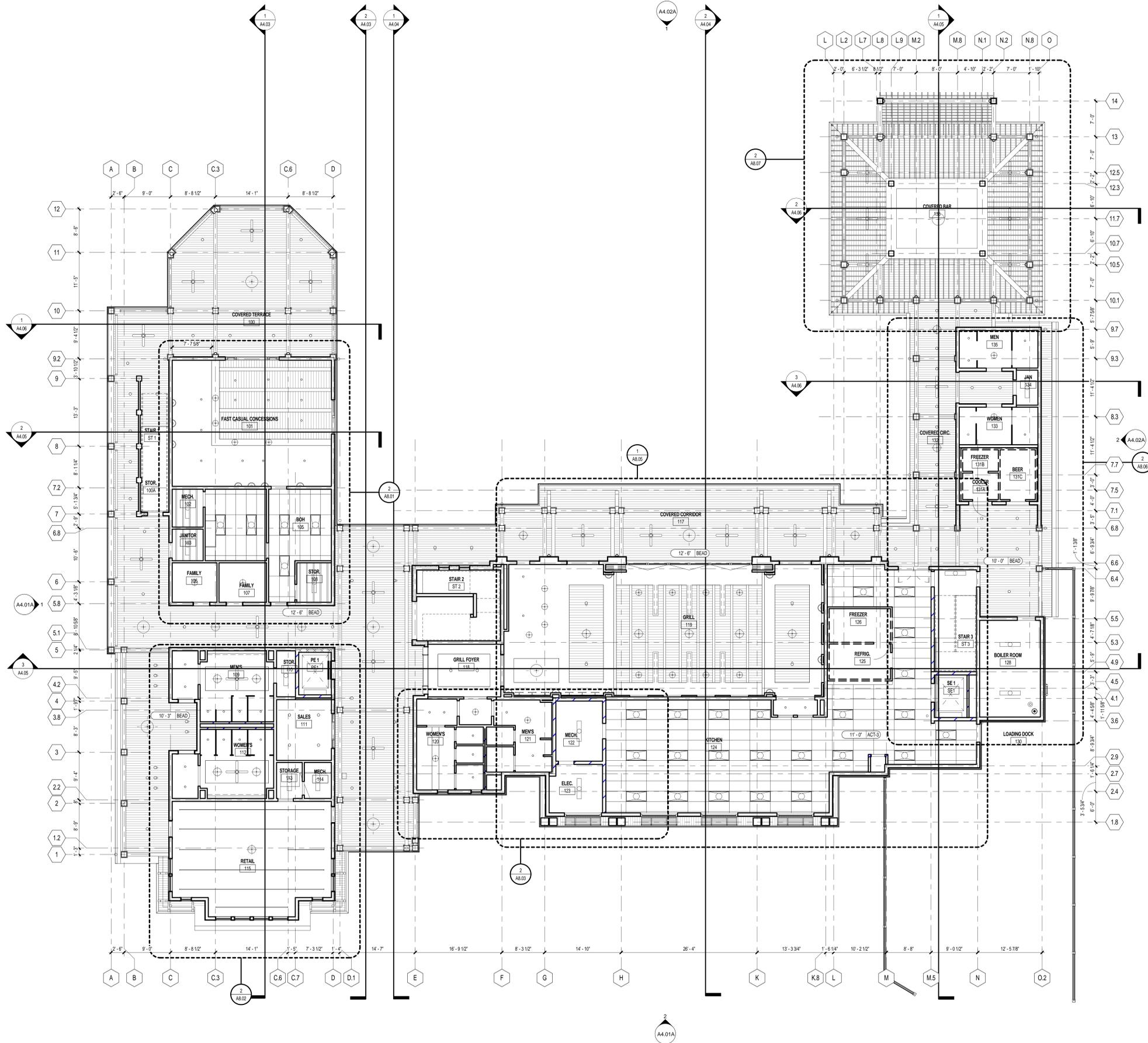


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
	50% Construction Document Set	09/03/2013



1 LEVEL 1 REFLECTED CEILING PLAN
A3.01 SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

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FIRST FLOOR REFLECTED CEILING PLAN

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A3.01

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A3.01 - FIRST FLOOR REFLECTED CEILING PLAN
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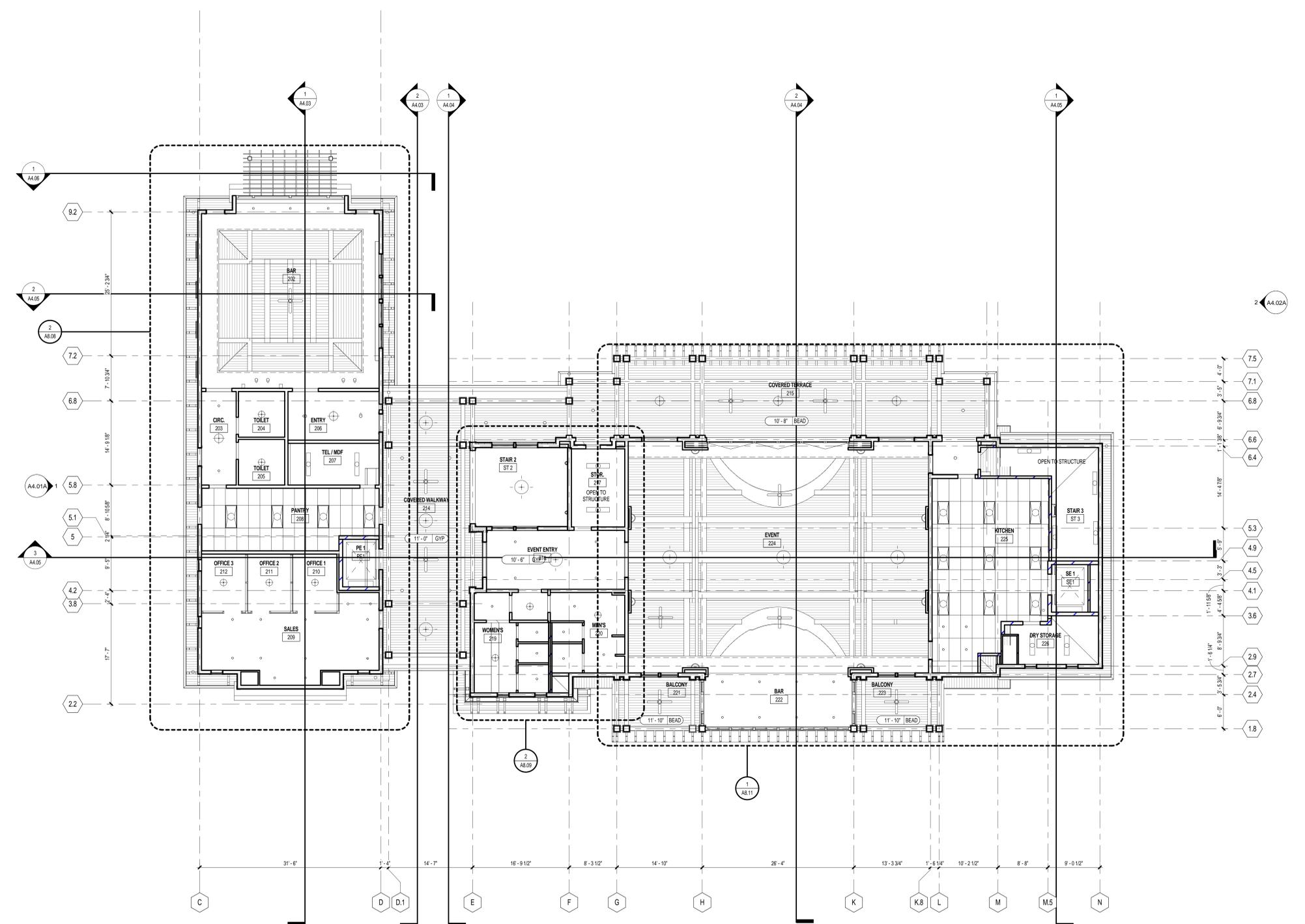


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
50%	Construction Document Set	06/03/2013



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1 LEVEL 2 REFLECTED CEILING PLAN
A3.02 SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

SECOND FLOOR REFLECTED CEILING PLAN

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

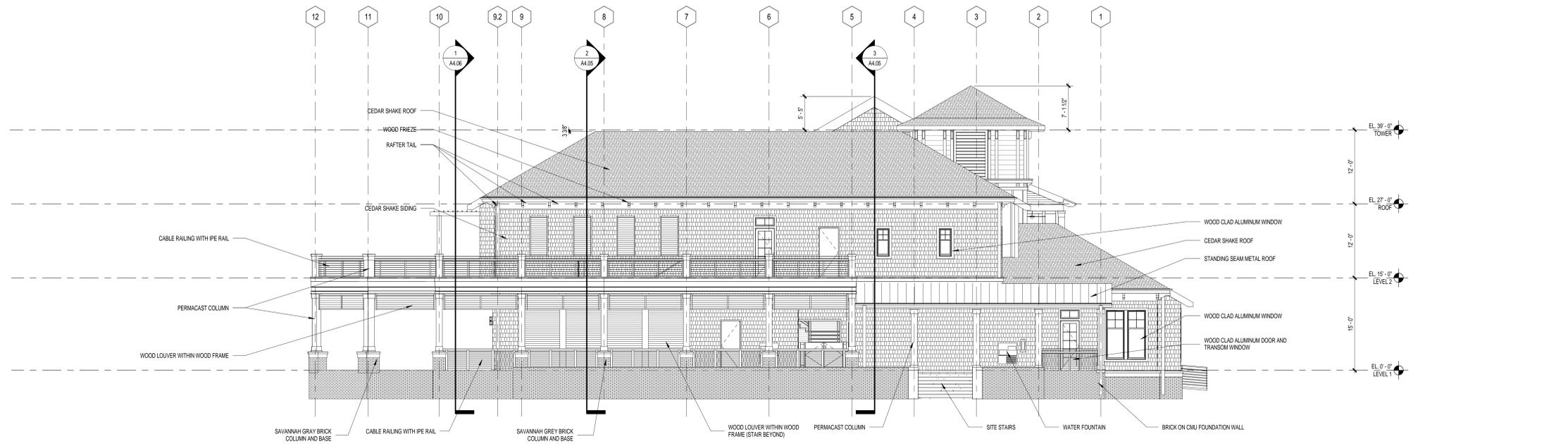
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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
50%	Construction Document Set	09/03/2013



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

OVERALL BUILDING ELEVATIONS

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A4.01

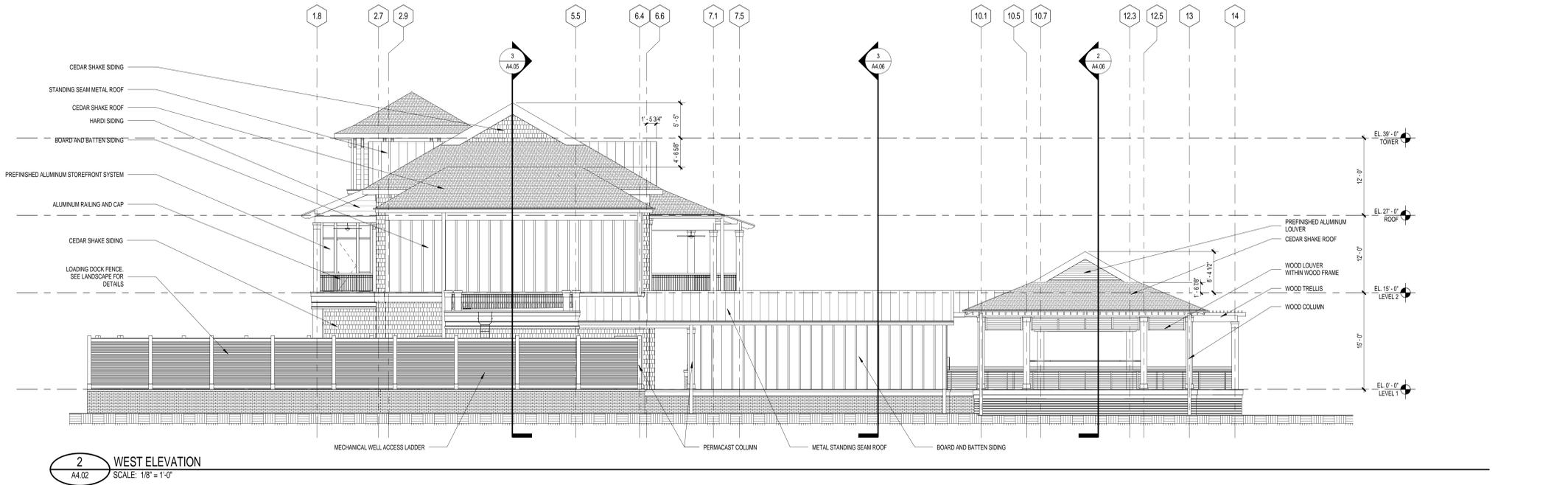
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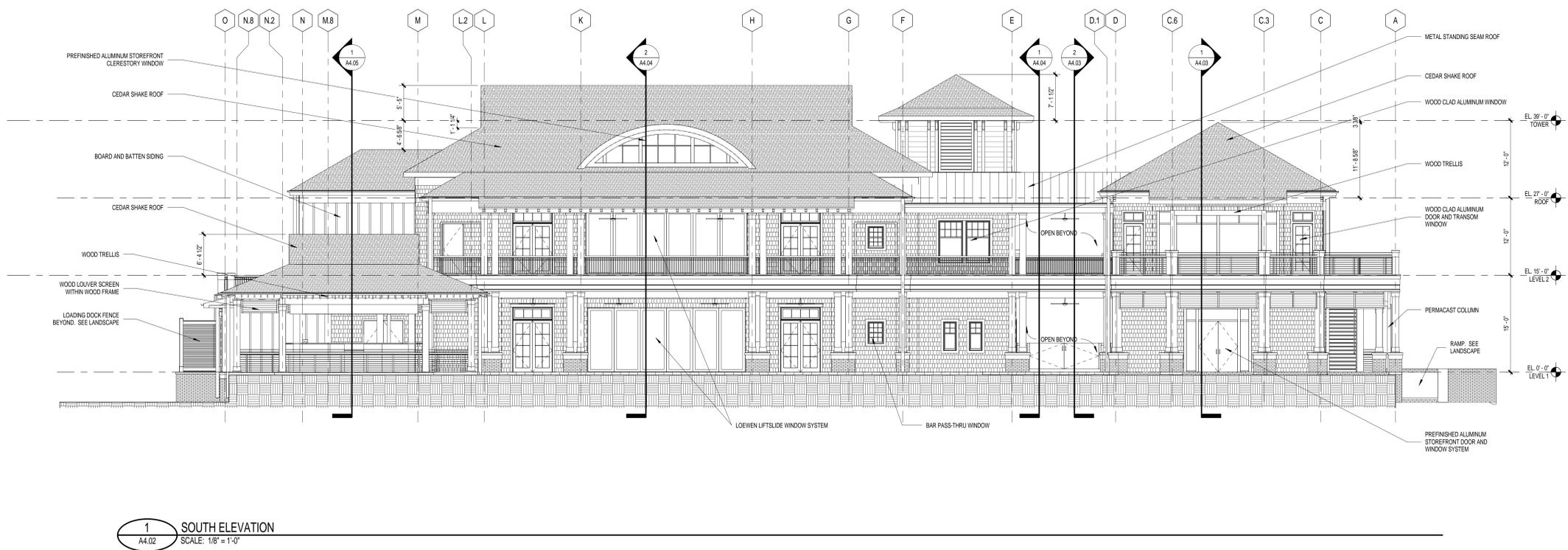
SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
	50% Construction Document Set	09/03/2013



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928
Riverstone Partners

OVERALL BUILDING ELEVATIONS

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A4.02

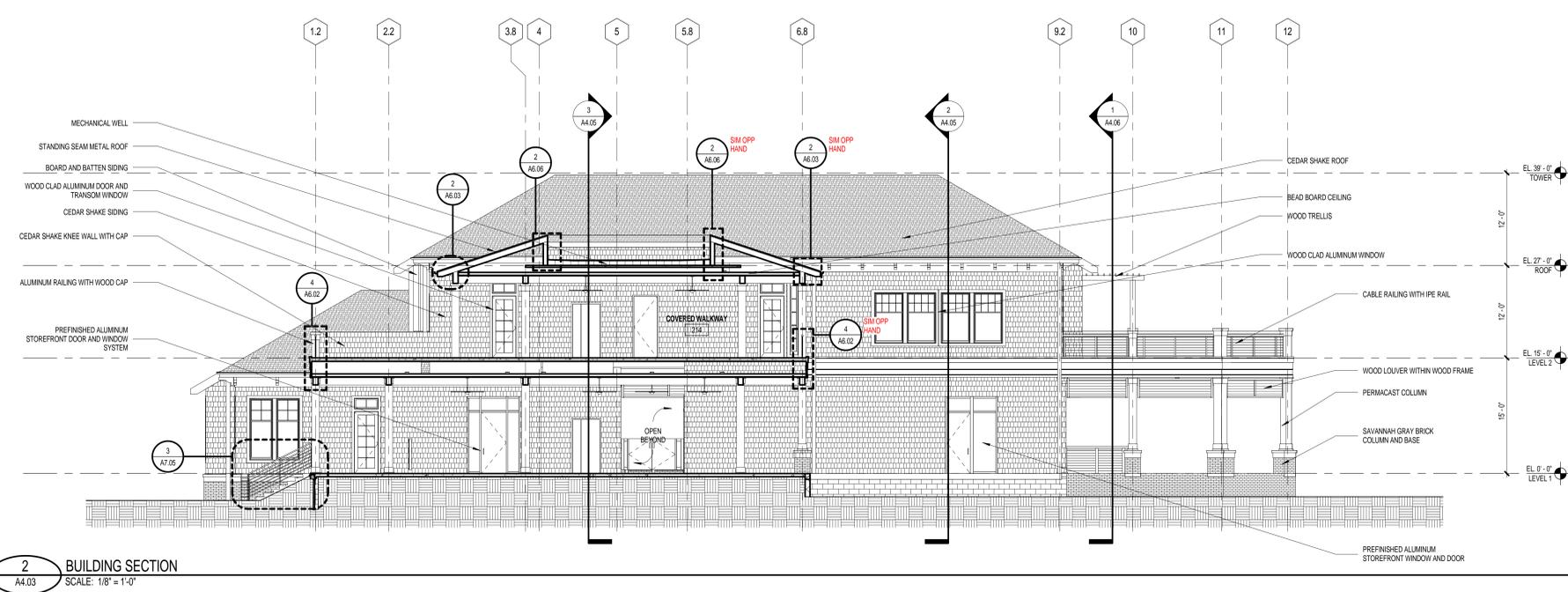
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SHEET NUMBER: A4.02 - OVERALL BUILDING ELEVATIONS
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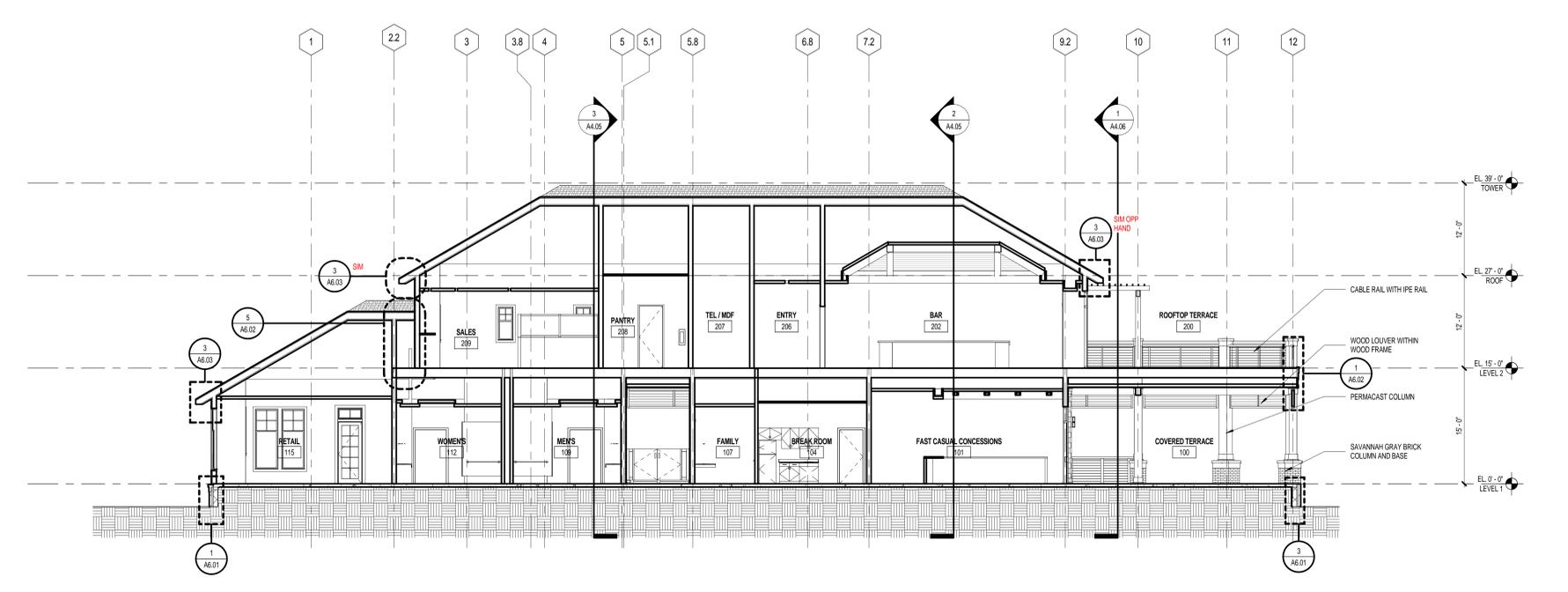
SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	50% Construction Document Set	09/03/2013



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION
SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

BUILDING SECTIONS

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A4.03

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A4.03 - BUILDING SECTIONS
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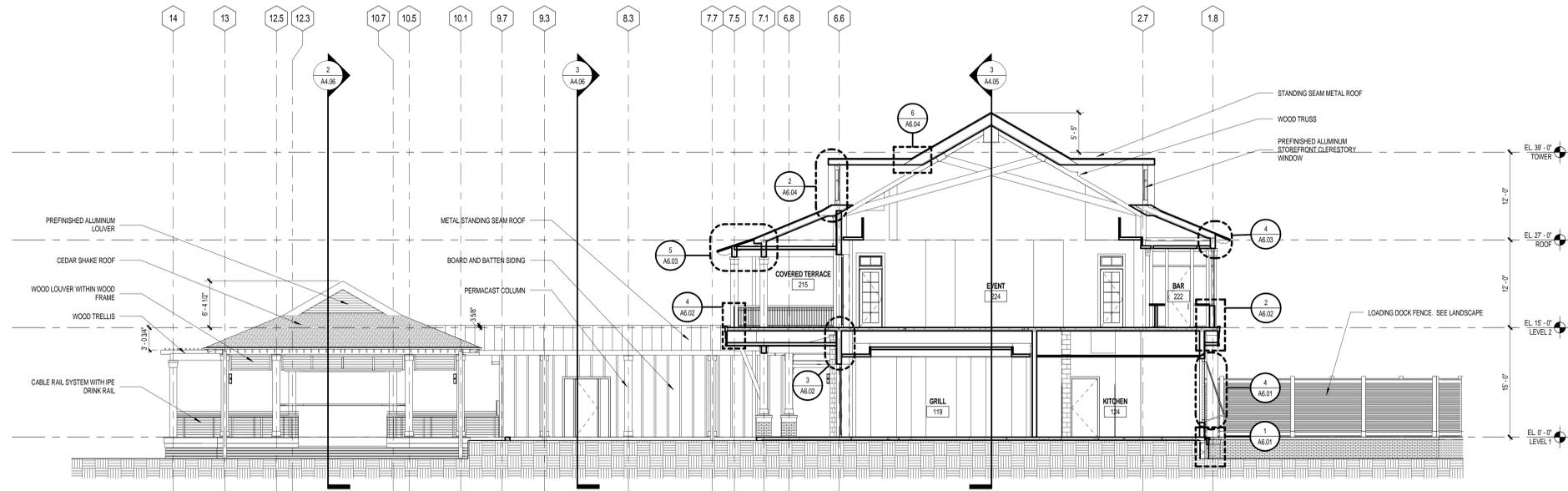


SCOPE DOCUMENTS

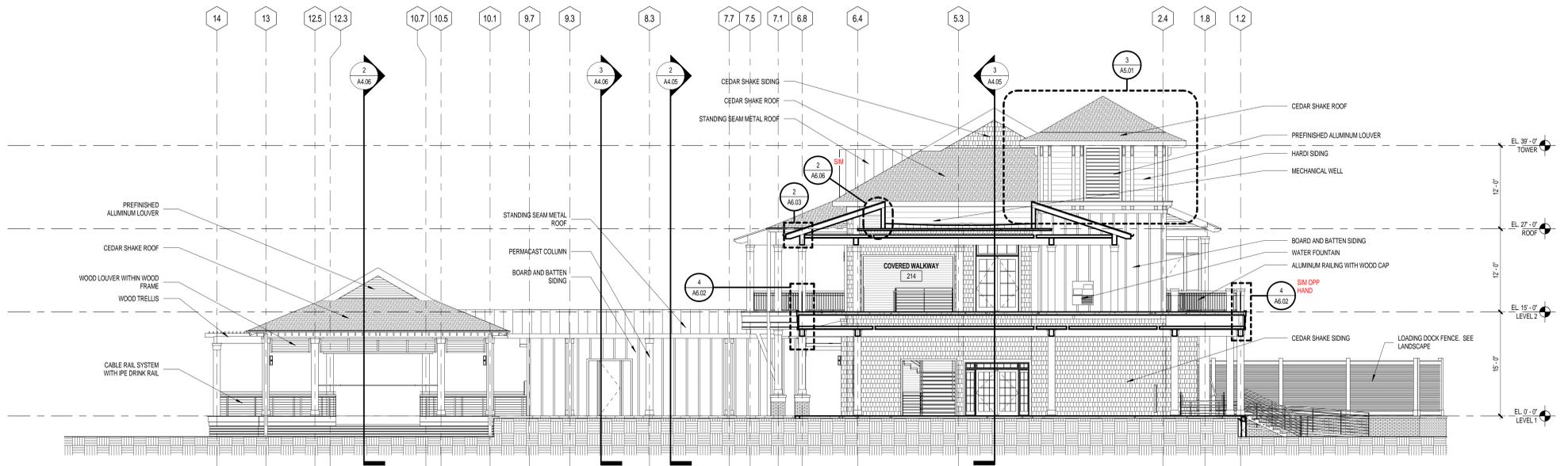
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ISSUANCES

No.	Drawing Issue Description	Date
50%	Construction Document Set	09/03/2013



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION
SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

BUILDING SECTIONS

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A4.04

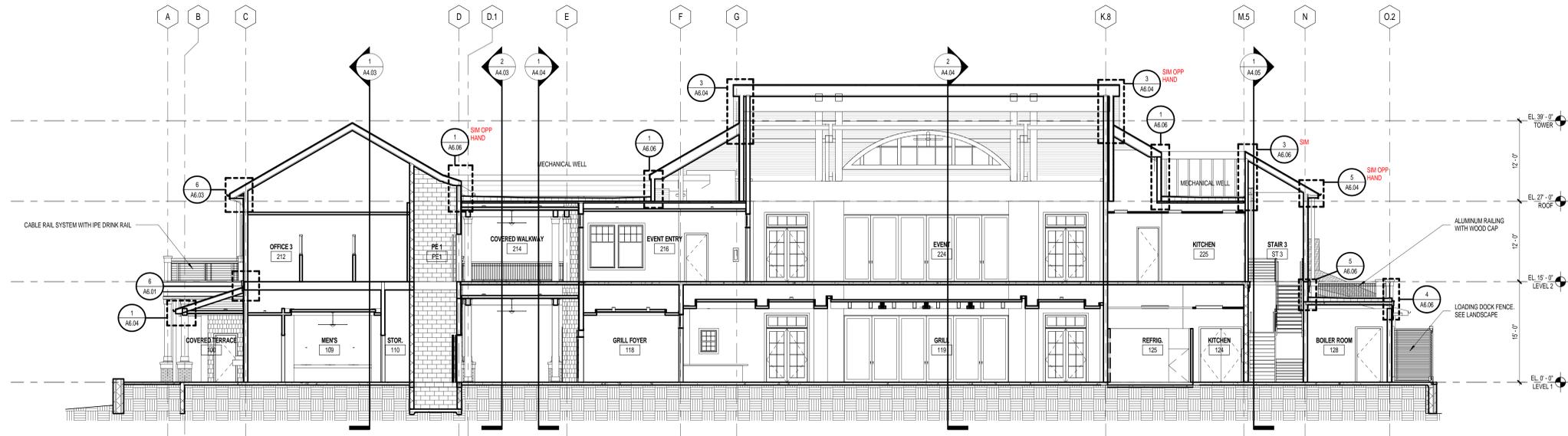


SCOPE DOCUMENTS

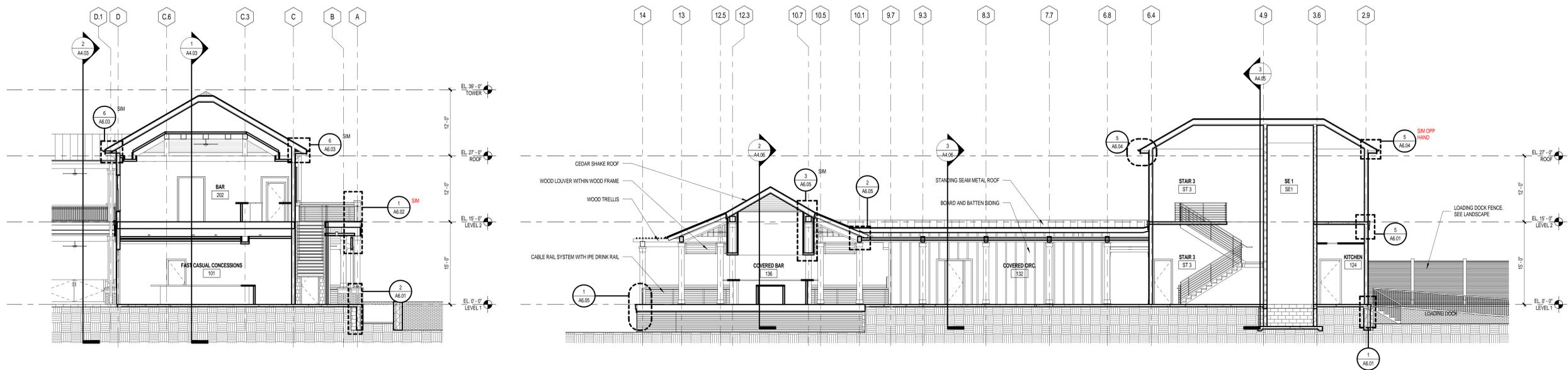
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
50%	Construction Document Set	05/03/2013



3 BUILDING SECTION
A4.05 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
A4.05 SCALE: 1/8" = 1'-0"

1 BUILDING SECTION
A4.05 SCALE: 1/8" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

BUILDING SECTIONS

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

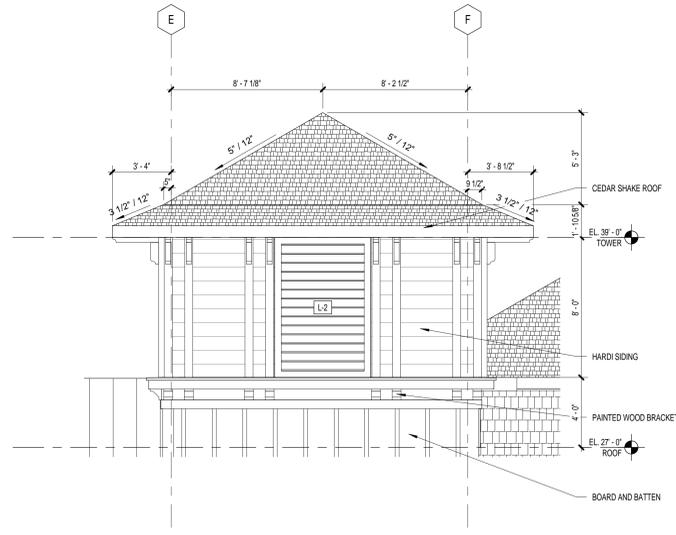
A4.05



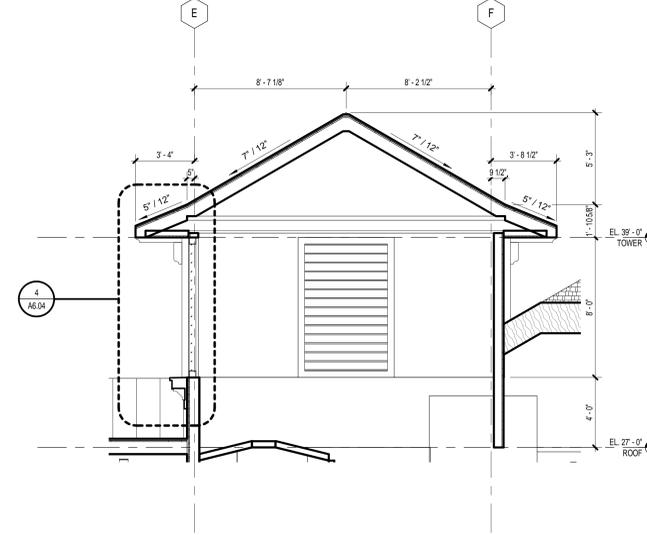
SCOPE DOCUMENTS

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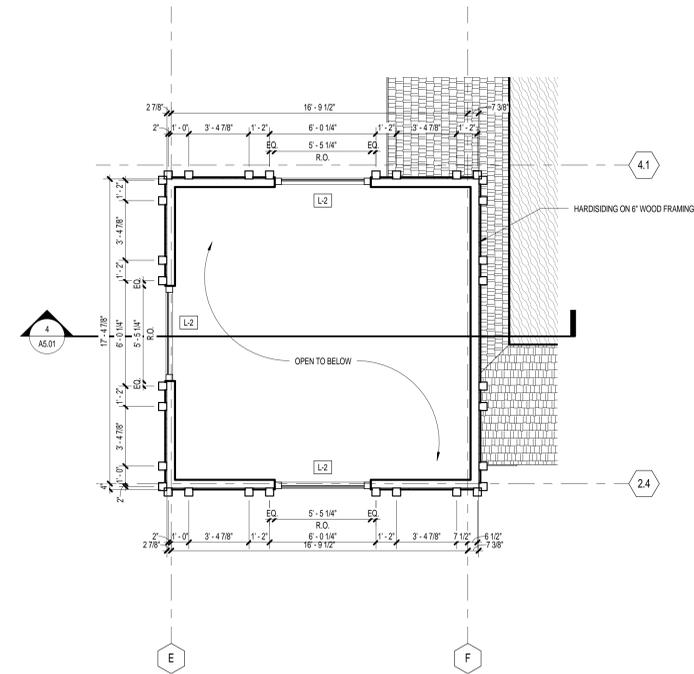
ISSUANCES		
No.	Drawing Issue Description	Date
4	50% Construction Document Set	09/03/2013



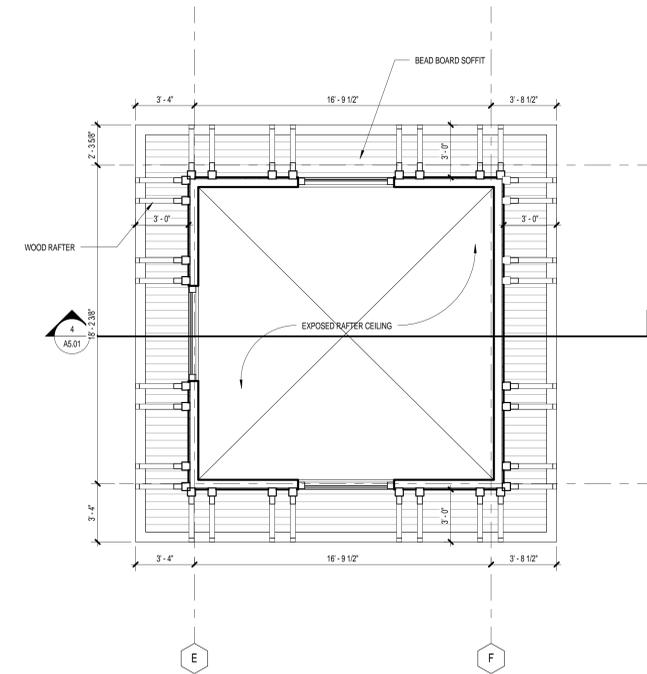
3 ENLARGED TOWER ELEVATION
SCALE: 1/4" = 1'-0"



4 TOWER BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 TOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 TOWER REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

ENLARGED BUILDING
ELEVATIONS AND SECTIONS

BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A5.01

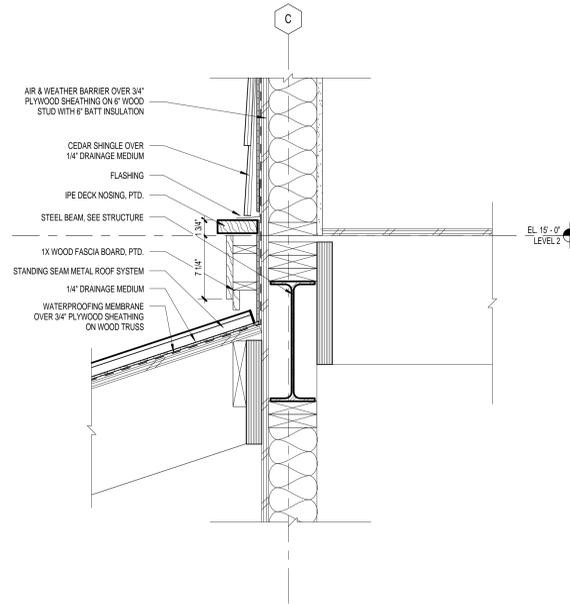


SCOPE DOCUMENTS

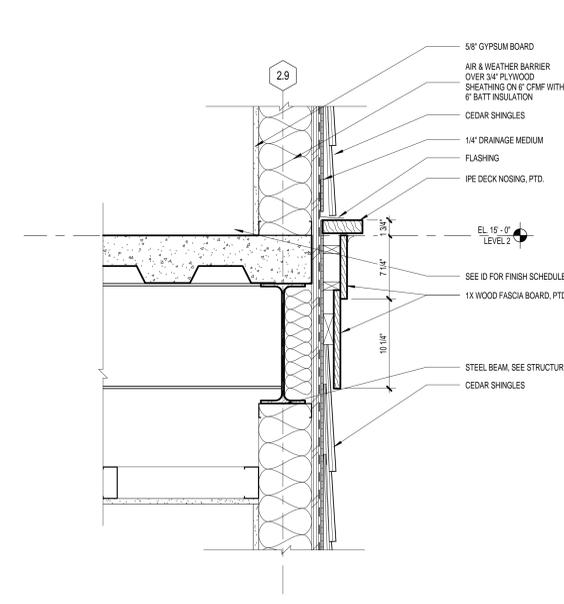
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

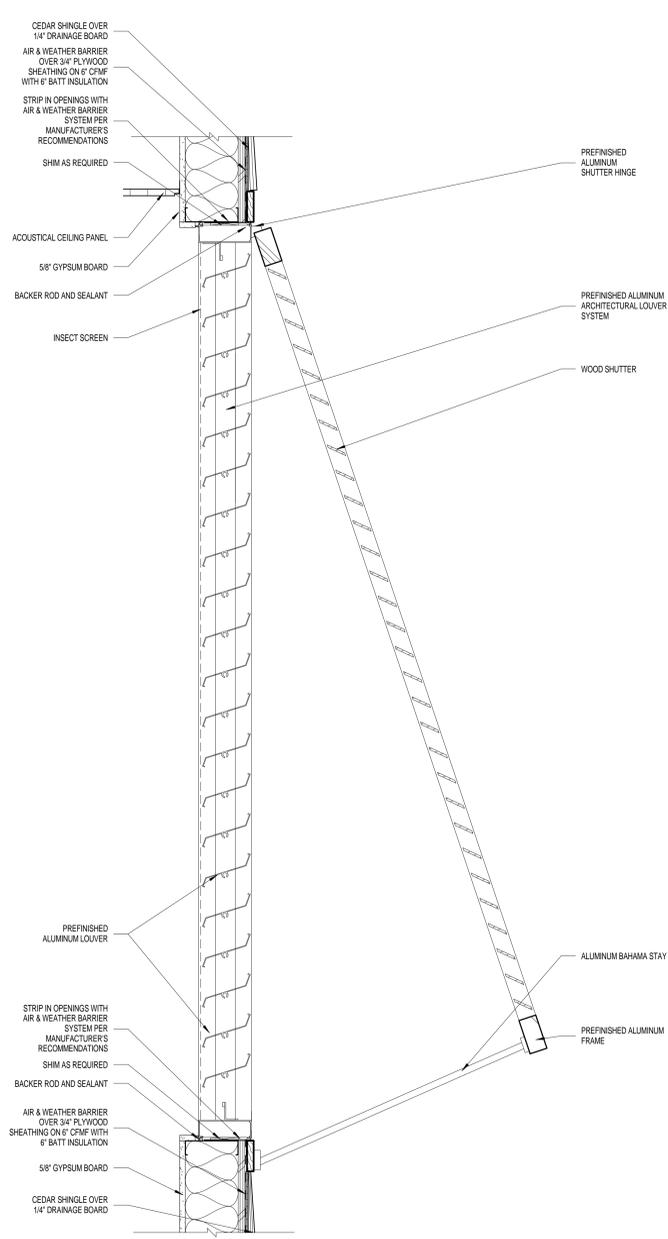
No.	Drawing Issue Description	Date
50%	Construction Document Set	09/03/2013



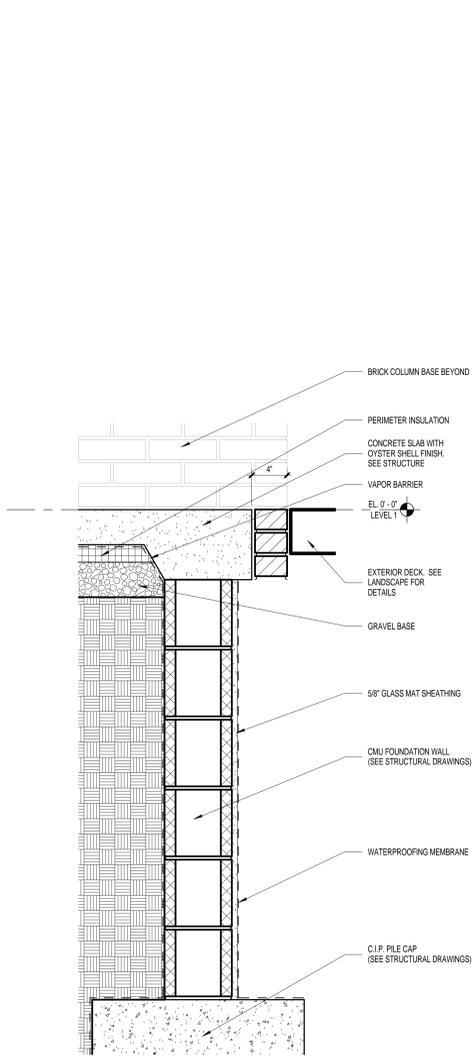
6 SECTION DETAIL AT SECOND FLOOR SLAB
A4.03/A6.01 SCALE: 1 1/2" = 1'-0"



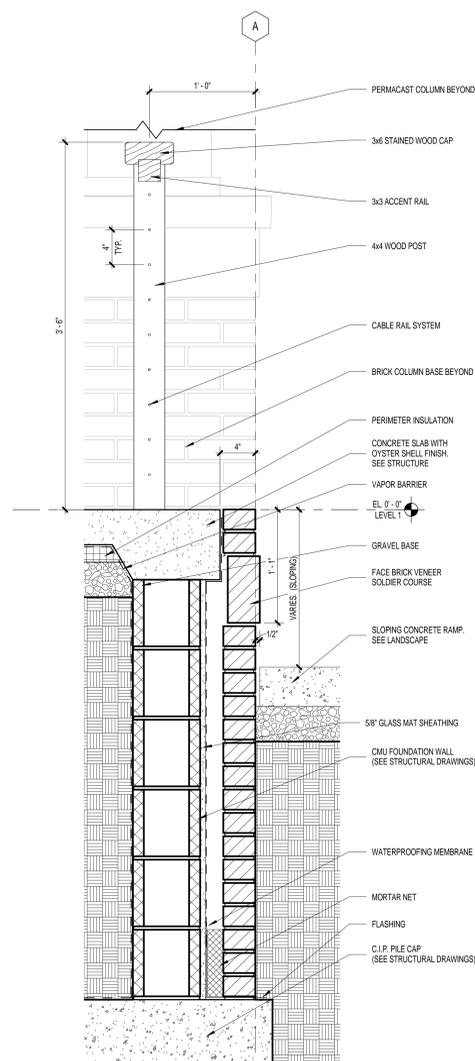
5 SECTION DETAIL AT SECOND FLOOR SLAB
A4.03/A6.01 SCALE: 1 1/2" = 1'-0"



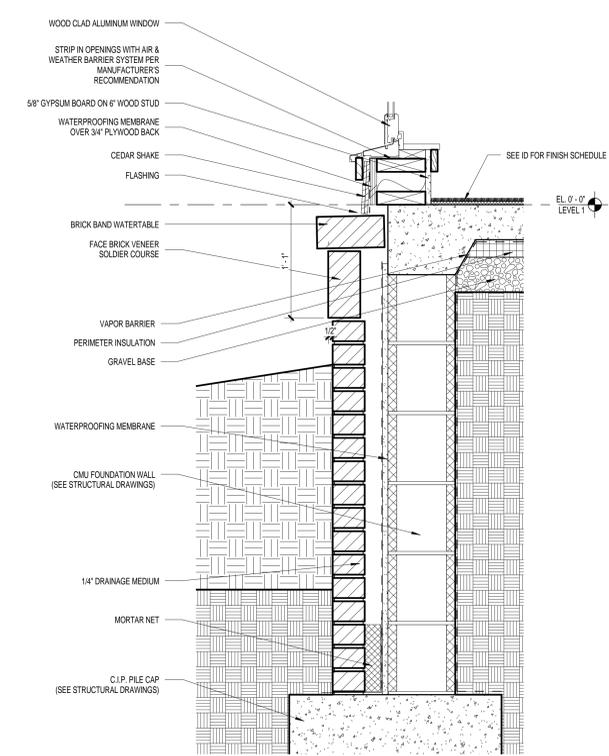
4 SECTION DETAIL AT BAHAMA SHUTTER
A4.04/A6.01 SCALE: 1 1/2" = 1'-0"



3 SECTION DETAIL AT FIRST FLOOR SLAB
A4.03/A6.01 SCALE: 1 1/2" = 1'-0"



2 SECTION DETAIL AT FIRST FLOOR SLAB
A4.03/A6.01 SCALE: 1 1/2" = 1'-0"



1 SECTION DETAIL AT FIRST FLOOR SLAB
A4.03/A6.01 SCALE: 1 1/2" = 1'-0"

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A6.01 - SECTION DETAILS
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SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

SECTION DETAILS

BOB NEAL	20120007.02
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	06/07/2013
Project Manager	Date
ADAM TOAL	
Project Architect	
ZACH WILSON	
Staff Architect	

A6.01

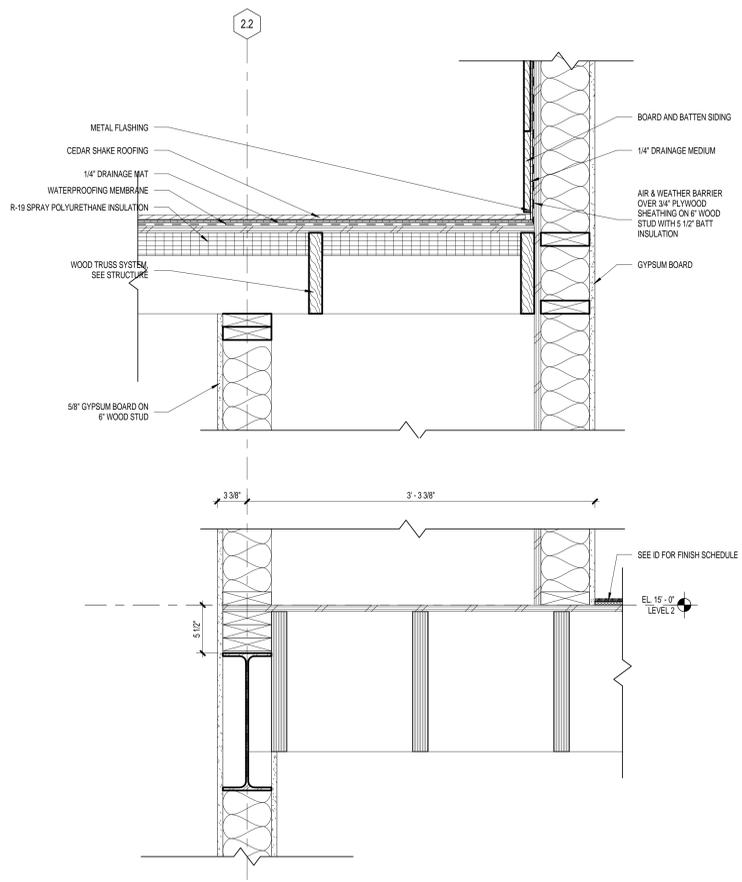


SCOPE DOCUMENTS

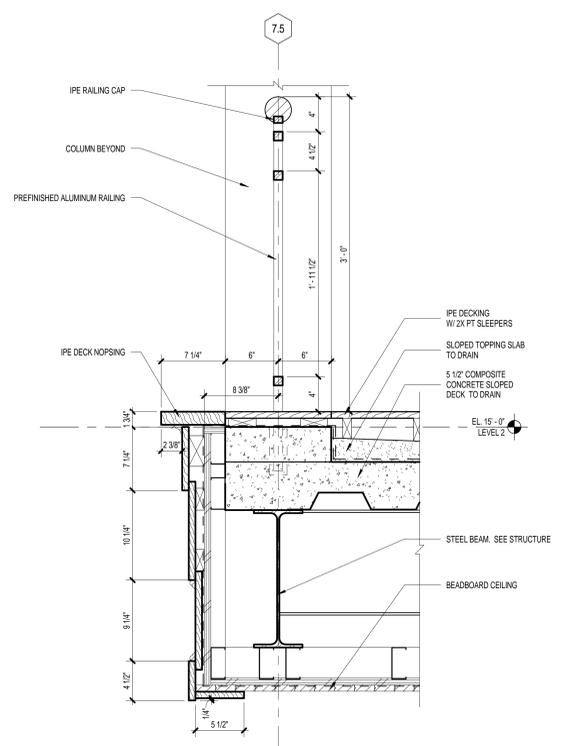
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

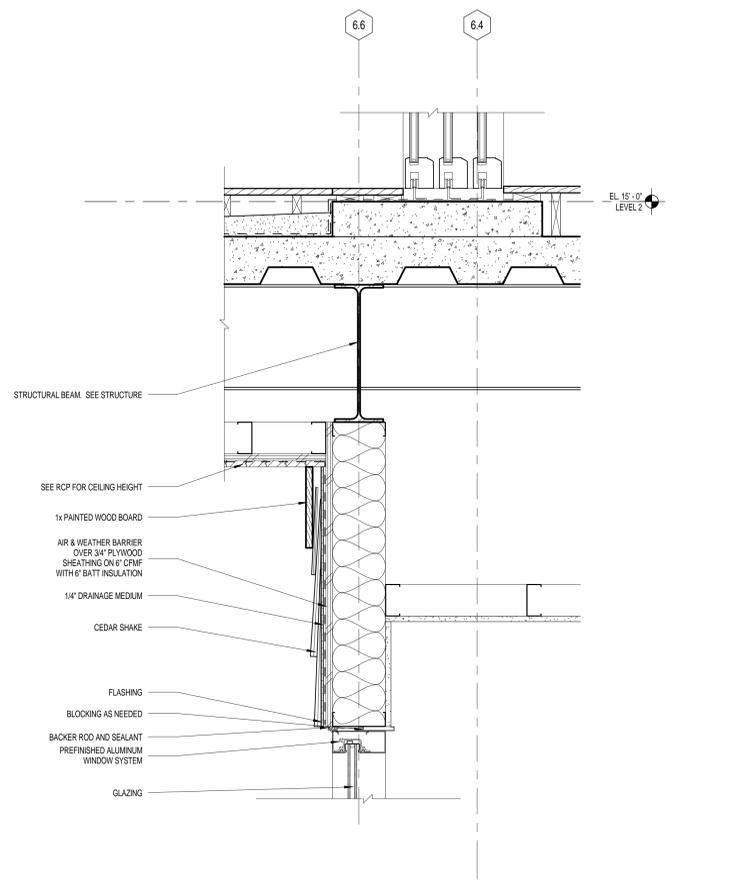
No.	Drawing Issue Description	Date
1	50% Construction Document Set	06/03/2013



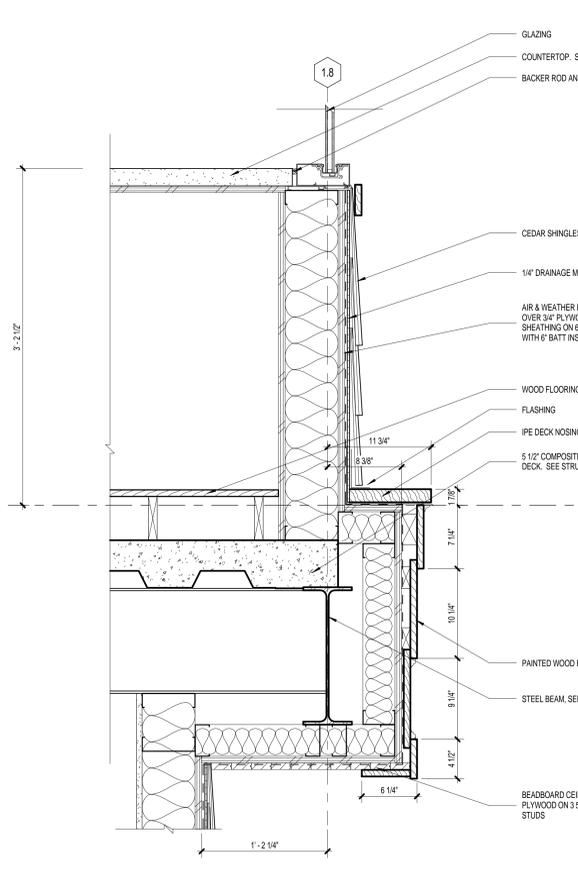
5 SECTION DETAIL AT SECOND FLOOR
SCALE: 1 1/2" = 1'-0"



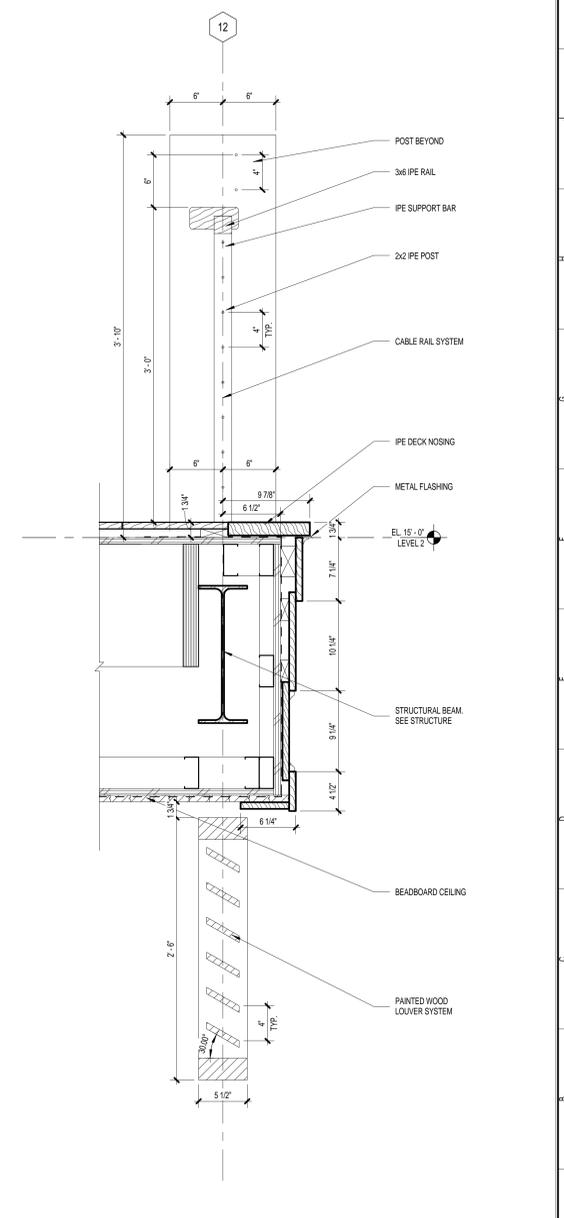
4 SECTION DETAIL AT SECOND FLOOR TERRACE
SCALE: 1 1/2" = 1'-0"



3 SECTION DETAIL AT SECOND FLOOR EVENT BAR TERRACE
SCALE: 1 1/2" = 1'-0"



2 SECTION DETAIL AT SECOND FLOOR EVENT BAR
SCALE: 1 1/2" = 1'-0"



1 SECTION DETAIL AT SECOND FLOOR BAR TERRACE
SCALE: 1 1/2" = 1'-0"

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A6.02 - SECTION DETAILS
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SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

SECTION DETAILS

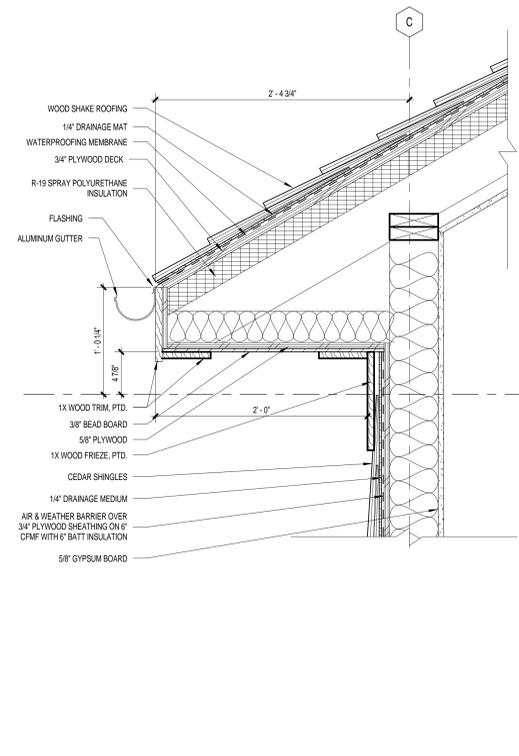
BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A6.02

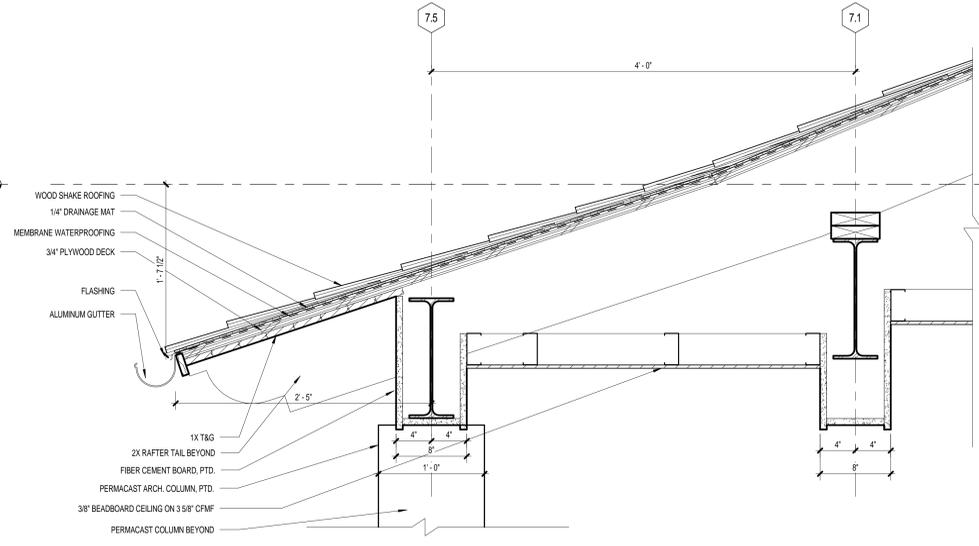


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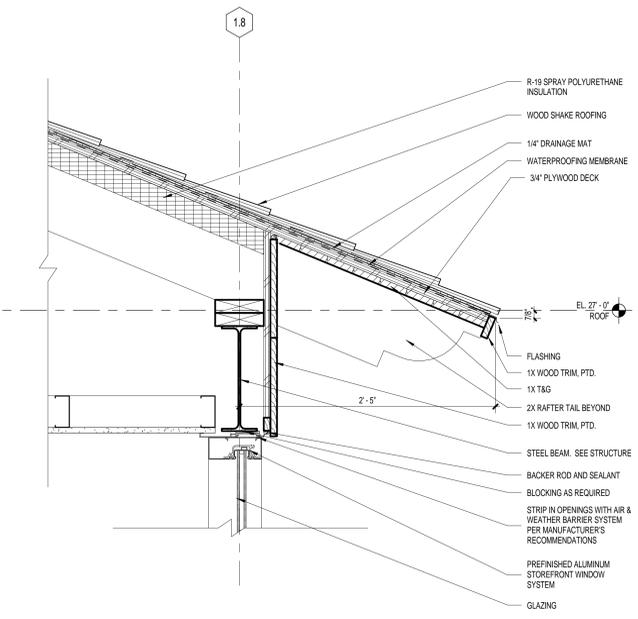
ISSUANCES		
No.	Drawing Issue Description	Date
	50% Construction Document Set	09/03/2013



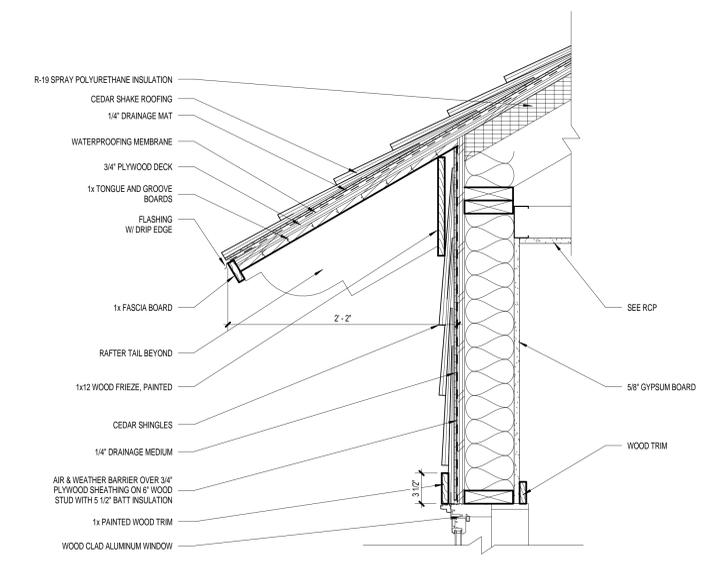
6 SECTION DETAIL AT ROOF
A4.04/A6.03 SCALE: 1 1/2" = 1'-0"



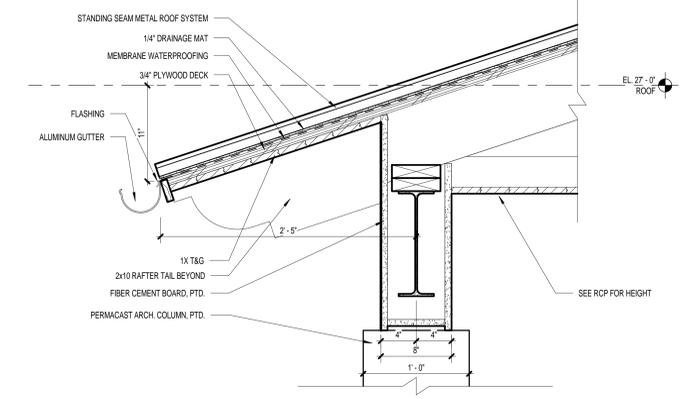
5 SECTION DETAIL AT SECOND FLOOR EVENT TERRACE ROOF
A4.04/A6.03 SCALE: 1 1/2" = 1'-0"



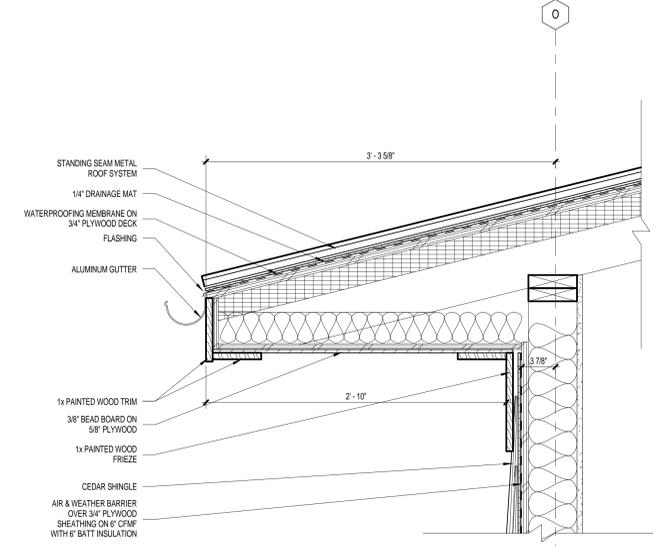
4 SECTION DETAIL AT SECOND FLOOR EVENT BAR ROOF
A4.04/A6.03 SCALE: 1 1/2" = 1'-0"



3 SECTION DETAIL AT ROOF
A4.03/A6.03 SCALE: 1 1/2" = 1'-0"



2 SECTION DETAIL AT ROOF
A4.03/A6.03 SCALE: 1 1/2" = 1'-0"



1 SECTION DETAIL AT ROOF
A4.06/A6.03 SCALE: 1 1/2" = 1'-0"

PROJECT NUMBER: 20120007.03 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A6.03 - SECTION DETAILS
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SEA PINES BEACH CLUB

87 North Sea Pines Drive
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South Carolina, 29928

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SECTION DETAILS

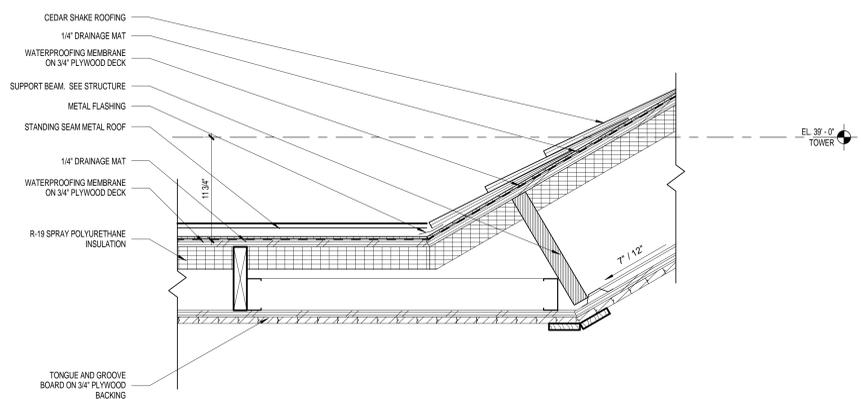
BOB NEAL Principal-in-Charge	20120007.02 Project No.
MANNY DOMINGUEZ Project Manager	06/07/2013 Date
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A6.03

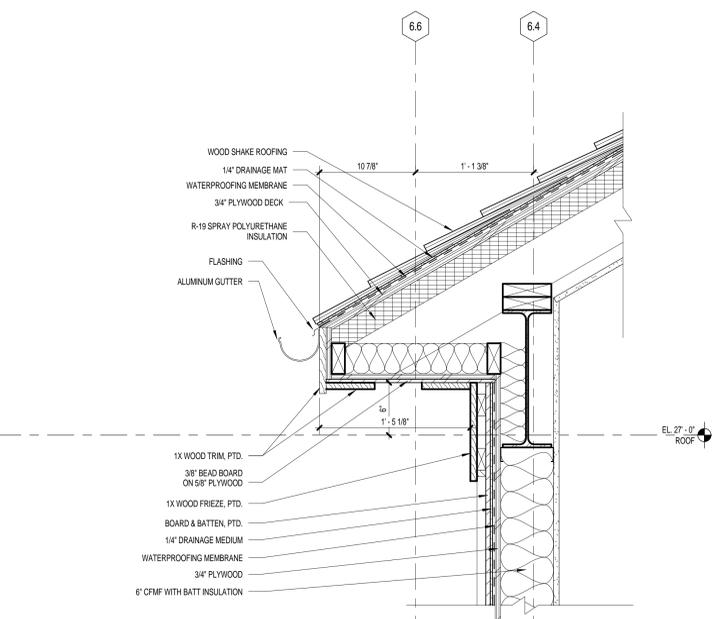


© Copyright Cooper Carry 2013
SCOPE DOCUMENTS
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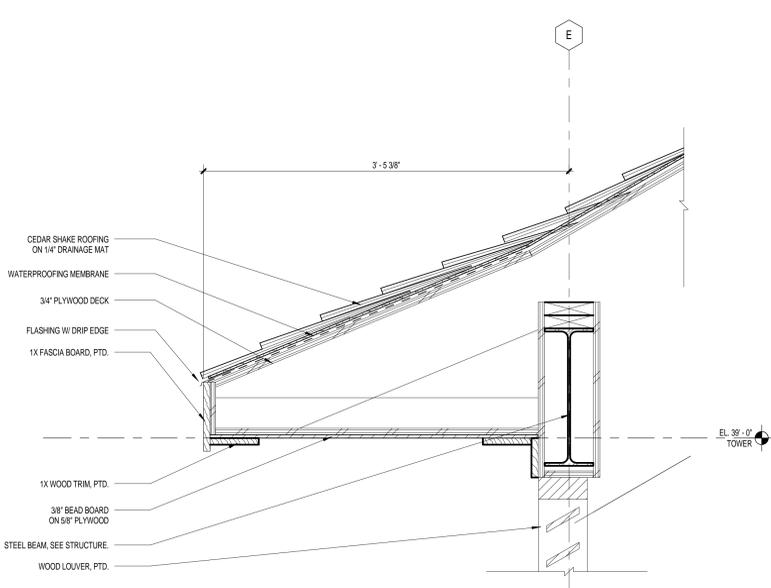
ISSUANCES		
No.	Drawing Issue Description	Date



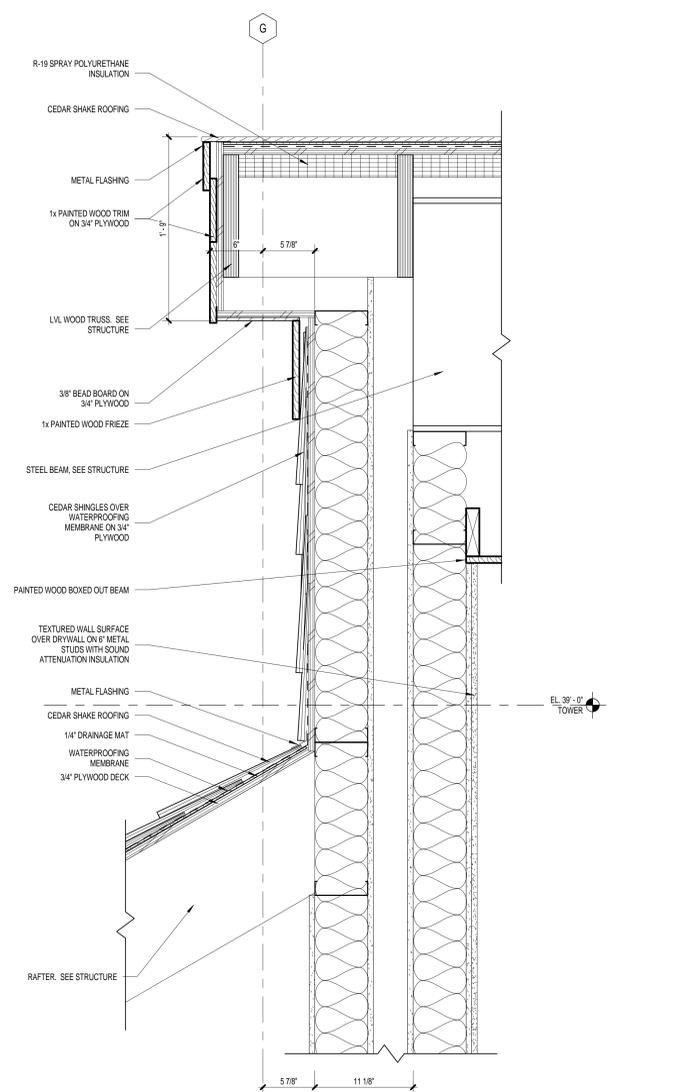
6 SECTION DETAIL AT DORMER
SCALE: 1 1/2" = 1'-0"



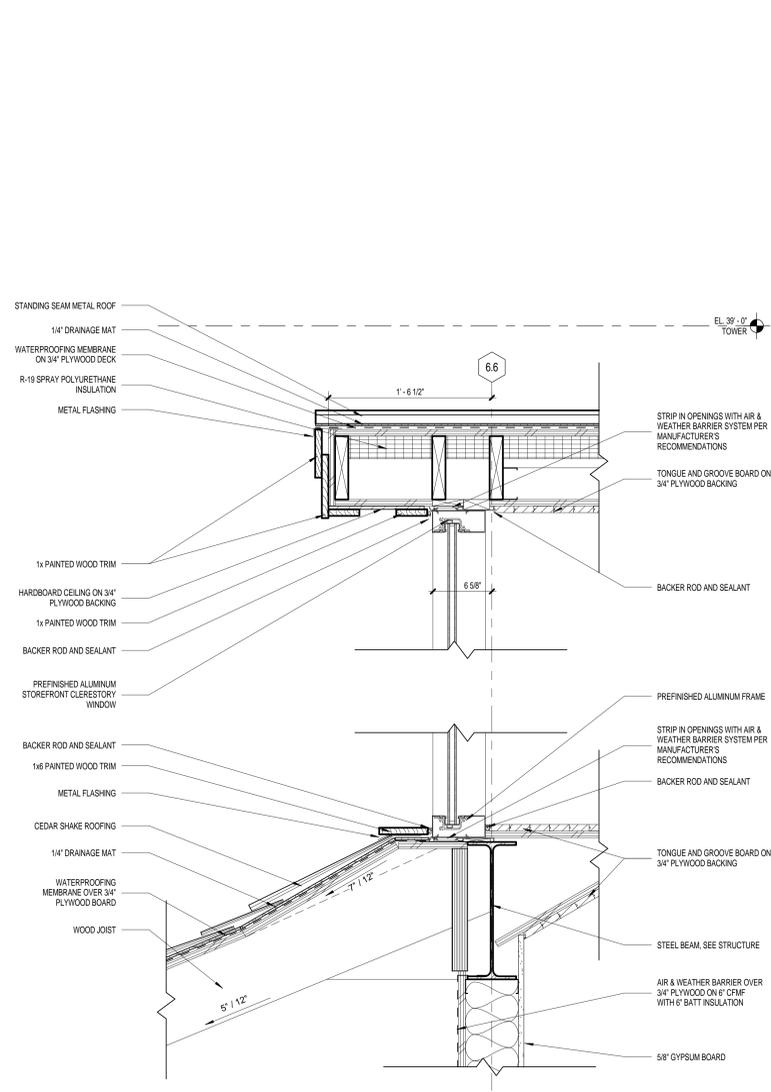
5 SECTION DETAIL AT ROOF
SCALE: 1 1/2" = 1'-0"



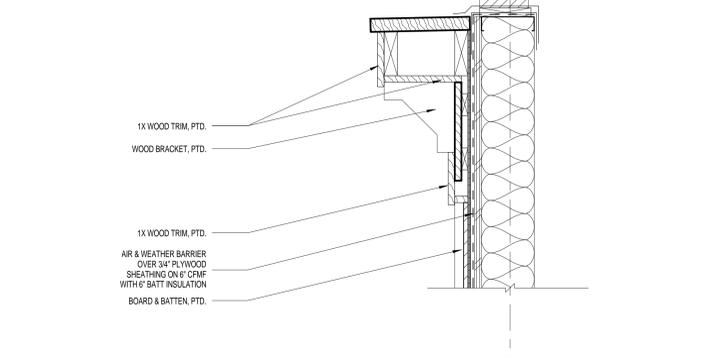
4 SECTION DETAIL AT TOWER
SCALE: 1 1/2" = 1'-0"



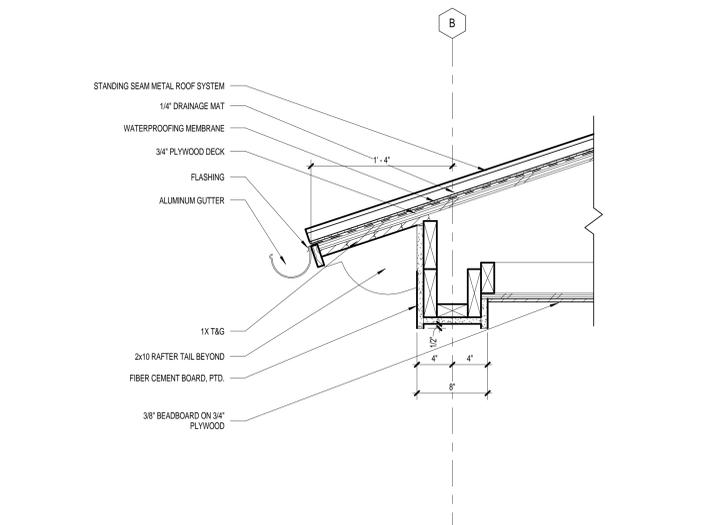
3 SECTION DETAIL AT EVENT ROOF
SCALE: 1 1/2" = 1'-0"



2 SECTION DETAIL AT EVENT DORMER WINDOW
SCALE: 1 1/2" = 1'-0"



4 SECTION DETAIL AT TOWER
SCALE: 1 1/2" = 1'-0"



1 SECTION DETAIL AT ROOF
SCALE: 1 1/2" = 1'-0"

SEA PINES BEACH CLUB

87 North Sea Pines Drive
Hilton Head Island
South Carolina, 29928

Riverstone Partners

SECTION DETAILS

BOB NEAL Principal-in-Charge	20120007.02
MANNY DOMINGUEZ Project Manager	06/07/2013
ADAM TOAL Project Architect	
ZACH WILSON Staff Architect	

A6.04

PROJECT NUMBER: 20120007.02 PROJECT NAME: SEA PINES BEACH CLUB
SHEET NUMBER: A6.04 SECTION DETAILS
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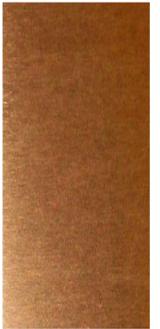
Copper Samples – Gutter / Downspouts



Cedar Shake Roof Palette



Metal Roof at Low roof



Cedar Stain A



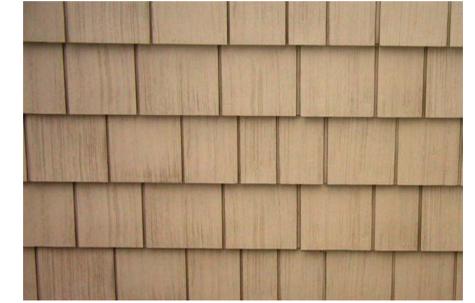
Cedar Stain B



Trim, Fascia



Window cladding



Cedar Siding Palette



IPE Wood sample



Savannah Gray Brick – Color Range

PROJECT N° 20120007

REVISION N°

DATE May 28, 2013

Material Palette

The Beach Club at Sea Pines Resort

Key	Item	Material	Color	Color Name	Description
R1	Roofing	Cedar shingle		natural	Watkins Certi - Split Premium
R2	Roofing	Metal Roofing		natural	Metal Roofing system
S1	Cedar siding	Cedar Siding		Driftwood Gray	Cabot- Semi transparent stain- 16300 series (Low VOC)
S2	Board and Batten	Wood		Driftwood Gray	Cabot Solid Stain - 16300 series (Low VOC)
TR1	Wood trim, Fascia,	Wood		Silver Lining	Cabot Paint or similar - 16300 series (Low VOC)
WD1	Window	Aluminum clad		Linen	Loewen Metal finish
D2	Sliding Doors	Aluminum clad		Linen	Loewen Lift and Slide series



Public Access - North Elevation



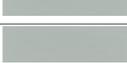
Arrival - West Elevation

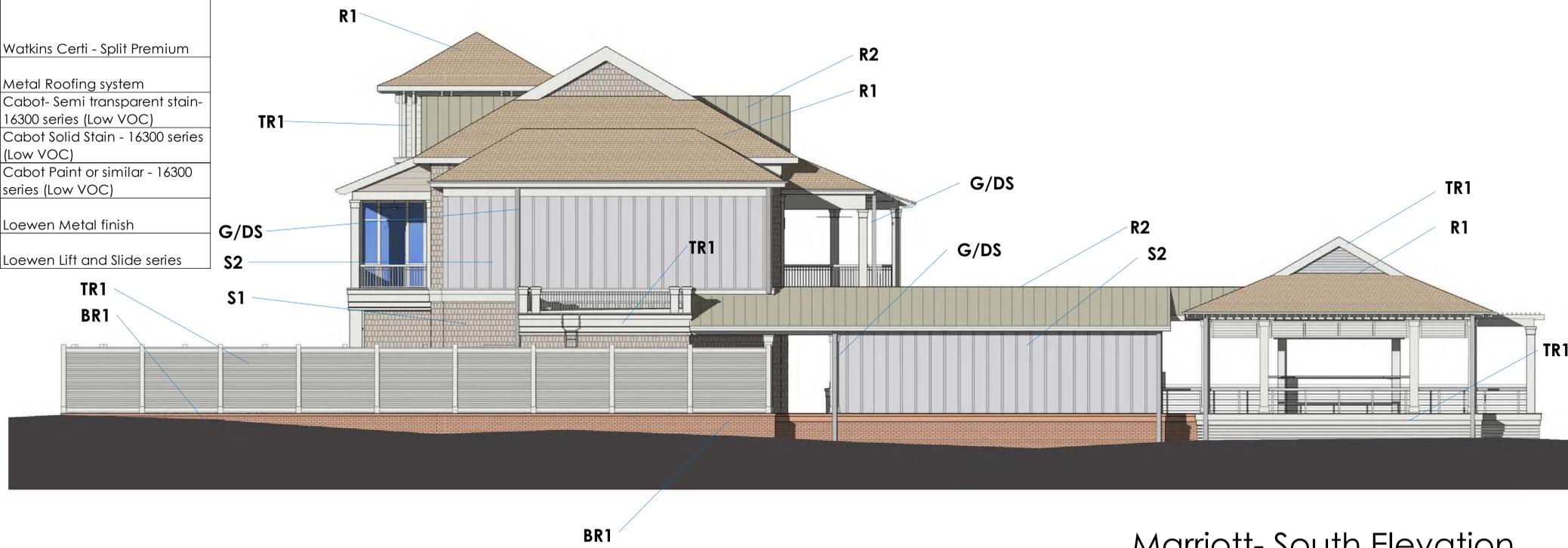
PROJECT N° 20120007 | REVISION N° | DATE May 28, 2013

Elevations

The Beach Club at Sea Pines Resort



Key	Item	Material	Color	Color Name	Description
R1	Roofing	Cedar shingle		natural	Watkins Certi - Split Premium
R2	Roofing	Metal Roofing		natural	Metal Roofing system
S1	Cedar siding	Cedar Siding		Driftwood Gray	Cabot- Semi transparent stain- 16300 series (Low VOC)
S2	Board and Batten	Wood		Driftwood Gray	Cabot Solid Stain - 16300 series (Low VOC)
TR1	Wood trim, Fascia,	Wood		Silver Lining	Cabot Paint or similar - 16300 series (Low VOC)
WD1	Window	Aluminum clad		Linen	Loewen Metal finish
D2	Sliding Doors	Aluminum clad		Linen	Loewen Lift and Slide series



Marriott- South Elevation



Beachside - East Elevation

PROJECT N° 20120007 | REVISION N° | DATE May 28, 2013

Elevations

The Beach Club at Sea Pines Resort





PROJECT N° 20120007

REVISION N°

DATE May 28, 2013

3-D View

The Beach Club at Sea Pines Resort



PROJECT N° 20120007

REVISION N°

DATE May 28, 2013

3-D View

The Beach Club at Sea Pines Resort



PROJECT N° 20120007

REVISION N°

DATE May 28, 2013

3-D Views

The Beach Club at Sea Pines Resort

May 28, 2013

Mr. Steve Birdwell
Sea Pines Resort
P.O. Box 7000
Hilton Head Island, SC 29938

Re: SEA PINES BEACH CLUB

Dear Steve:

The Sea Pines Architectural Review Board approved the plans submitted for the redevelopment of the Sea Pines Beach Club with the following conditions and comments:

- The board and batten siding should match the photo example shown instead of the graphic representation on the plans.
- Submit exterior colors on site for review. The colors submitted may be too light considering the size of the building and the lack of sufficient tree canopy.

You may call me if you have any questions.

Sincerely,



Ken Rabon
Administrator

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Beach Club at Sea Pines Resort -
NEW DEVELOPMENT FINAL

DRB#: DR 130012

DATE: June 11, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include cedar shake siding & roof, wood, and brick. Color palette is a “driftwood concept” with light cream trim.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	West elevation has less detail, however it is the service side of the building (restrooms, freezer, coolers, boiler room, loading dock, etc).
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Majority of roof is 7/12 (cedar shake shingles); some sections are 5/12 (cedar shake shingles) 4/12 & 3/12

				(standing seam metal roof).
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Overhangs vary from 2'-0" to 2'-10".
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include cedar siding, wood, and brick. Color palette is a "driftwood concept" with light cream trim.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	brackets, columns, shutters, louvers, cedar shake shingles, board & batten siding
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Accessory element materials include wood, cedar shake siding, standing seam metal, and brick to match the architecture.

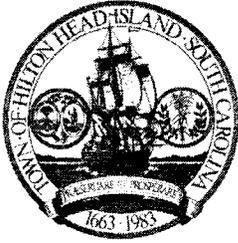
LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed native plants include live oak, southern magnolia, loblolly pine, cabbage palmetto, wax myrtle, yaupon holly, and sand cord grass.
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Shrubs in buffer areas around existing trees will be field located to avoid conflicts and fill in gaps.
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Evergreen groundcovers include ‘super red’ aloe, variegated flax lily, African iris, coontie, and ‘evergreen giant’ lirioppe.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lawn is limited to area near main entrance.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing buffer is being supplemented with live oak, loblolly pine, and wax myrtle in natural areas (adjacent to parking lot). Additional buffer is used adjacent to bike racks and showers including silver saw palmetto, loblolly pine, split leaf philodendron, oleander, and thunderhead Japanese black pine.
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Ornamentals and Annuals are used in high-traffic pedestrian zones.

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Quantities will be verified during DPR process.
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS

The Sea Pines ARB has reviewed and given approved of the plans with the conditions that the board & batten siding match the photo example versus the graphic representation on the plans and that the exterior colors will be reviewed on site (the colors submitted may be too light considering the size of the building and the lack of sufficient tree canopy).



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 Community Development Department
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 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: DAN BODA Company: ACRE NV HH Property Owner LLC
 Mailing Address: 30 Narrows Rd City: Westport State: CT Zip: 06880
 Telephone: 203 883-1154 Fax: 203 291-1005 E-mail: DBODA@NVHE.COM
 Project Name: Hedley in Beachfront Grill Project Address: #1 SOUTH FOREST BEACH DR
 Parcel Number [PIN]: R 553-018-000-003A-0000
 Zoning District: GOW CFB Overlay District(s): NONE

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development - Conceptual
- New Development - Final, indicate Project Number
- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development - Conceptual Approval

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"–1/0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development - 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

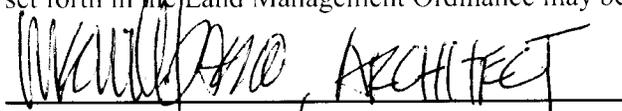
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

5/29/13
DATE

NARRATIVE

Wednesday, May 29, 2013

TO: HHI DRB

RE: Alterations to Holiday Inn Beachfront Grill Structure

The small freestanding octagonal structure in the pool area presently houses pool equipment, two restrooms, and a limited-service grill for poolside guests. Some replacement and repositioning of the interior service facilities and equipment is planned, as well as a new service counter with operable exterior louvered top-hinged wood shutters replacing the variety of window types presently existing. The restroom doors will also be upgraded.

The exterior appearance will also be improved with new machine-cut cedar shake siding on all sides, and a standing-seam metal roof, as shown in the attached typical elevation view. The color scheme will be essentially retained.

The owners would like to make these various improvements as soon as possible, before the 4th of July holidays, and an expedited review is requested.

Thank you for your consideration.

Merrill Pasco
Architect

RESTROOMS

SHACK

The Shack

- Shack burger 9
- Treat the entrance
- Brunch pig 11
- Sunbath onion 11
- From the garden 9

• Dogs

- > classic 9
- > pizza 10
- > Quik-dink 11

• Greens 8

- > Caesar
- > mixed salad
- > pizza onion

• Breakfast 7

- > chicken pizza
- > pulled cheese
- > cheese burger
- > hot dog
- > french fries
- > french fries
- > french fries
- > french fries



NO SMOKING



BEACH GRILL

HOLIDAY INN, HILTON HEAD

MERRILL PASCO, ARCHITECT

MAY 22, 2013 1/4" SCALE 1 OF 2

DHEC COMPLIANCE NOTES & FINISH SCHEDULE

All plumbing shall comply with the International Plumbing Code. Water supply and wastewater disposal shall be from/to the Hilton Head Public Service District. Hot water heaters shall be sized for a) 145 gph (kitchen) and b) 70 gph (bars) at 100 degree F rise. Back siphonage protection shall be provided as appropriate. Hand wash lavatories shall be equipped with hot/cold mixing faucets, soap, and sanitary towels. Mop sink (min 2'x 3') with hot and cold water and vacuum breaker to be provided at solid waste disposal area.

All exterior doors and service windows shall be equipped with self-closers or approved air curtains; all toilet doors shall be equipped with self-closers.

Minimum of 20 foot-candles shall be provided on all working surfaces in working and toilet areas, 10 foot-candles 30" above the floor in all dining and storage areas.

Counter-mounted equipment shall be installed on 4" legs, sealed to the counter, or portable; floor-mounted equipment shall be mounted on 6" legs, on casters, on raised platforms, or sealed to the floor; casters shall be the preferred arrangement. Sealed equipment shall be adequately spaced to facilitate cleaning. All equipment shall have flexible utility connections with quick disconnects. Wall-mounted sinks shall be adequately braced and securely attached and sealed to the wall.

Any shelving shall be 6" above the floor or enclosed; wood shelving shall be smooth, washable and non-absorbent.

Floors shall be sealed concrete with ceramic tile covered base in food prep/storage areas. Wall finish shall be washable and/or FRP panel in food prep/storage areas. Ceilings/soffits shall be washable-finish.

LOCATION MAP



SCOPE OF WORK:

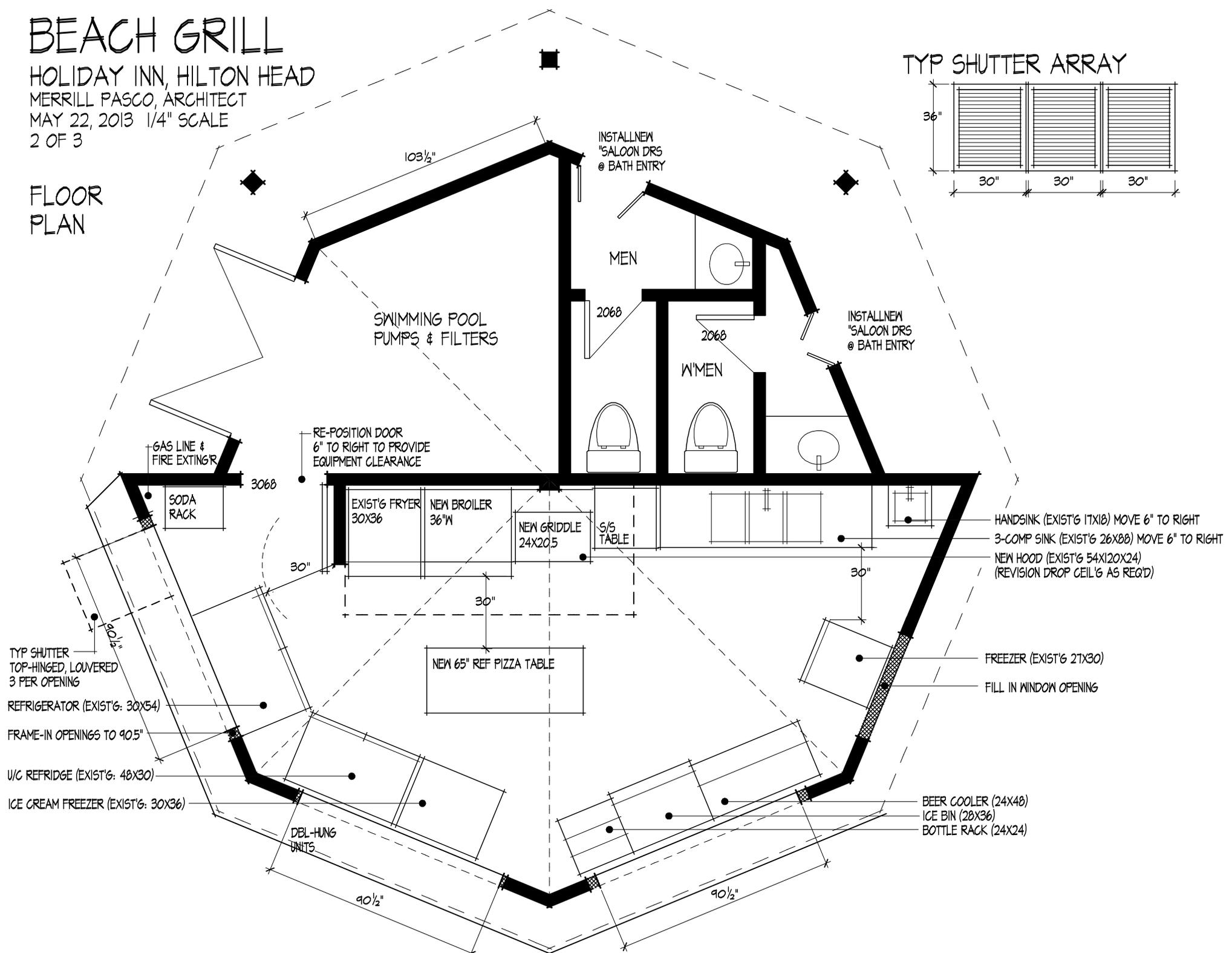
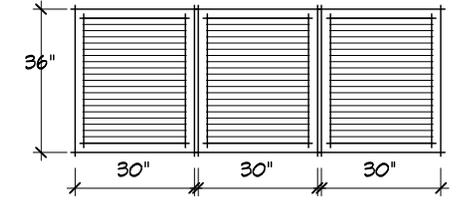
REMOVE ALL EQUIPMENT & HOOD; CLEAN ALL SURFACES (FLOORS, WALLS, CEILINGS).
REMOVE/RE-INSTALL DOOR & CASING WHERE INDICATED W/ SELF CLOSING HARDWARE
REMOVE "FLOATING" SOFFIT AS NECESSARY TO ACCOMMODATE NEW 10' HOOD LENGTH.
MODIFY MECHANICAL STUB-INS FOR SINK SUPPLY & DRAINS, WHERE NOTED.
RE-INSTALL, CONNECT, & SEAL SINKS TO REAR WALL.
INSTALL NEW VENTILATION HOOD W/ EXHAUST FAN, DUCTING, & POWER.
LOCATE ALL MOBILE EQUIPMENT WHERE SHOWN.

BEACH GRILL

HOLIDAY INN, HILTON HEAD
 MERRILL PASCO, ARCHITECT
 MAY 22, 2013 1/4" SCALE
 2 OF 3

FLOOR PLAN

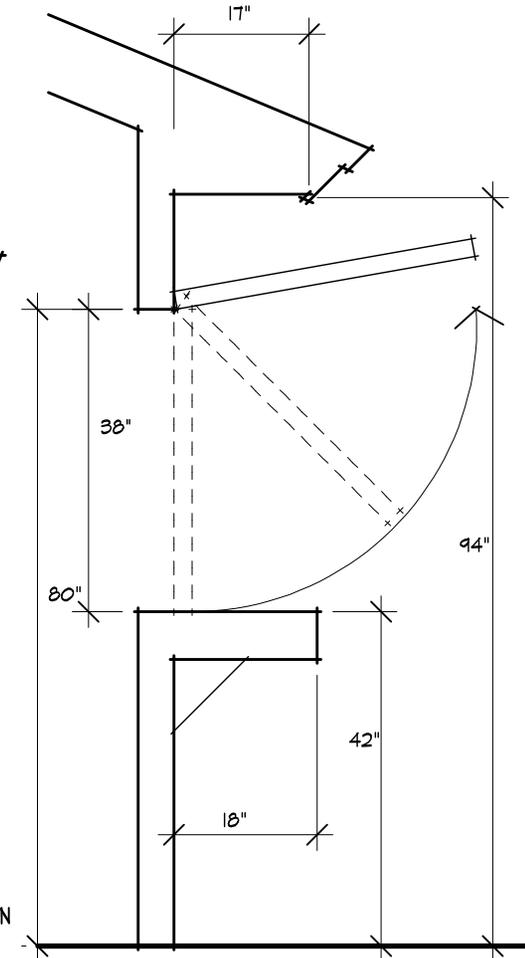
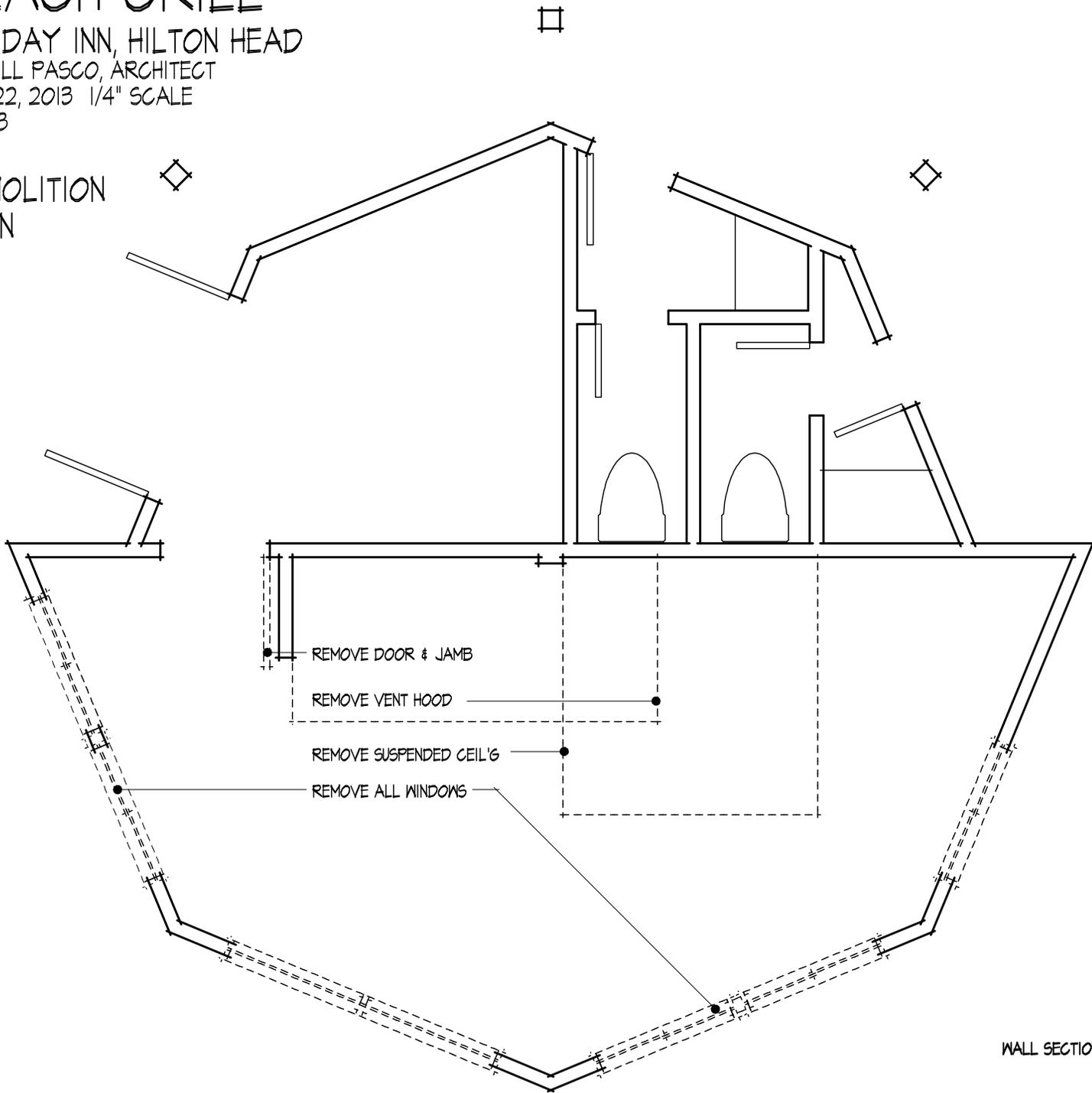
TYP SHUTTER ARRAY



BEACH GRILL

HOLIDAY INN, HILTON HEAD
MERRILL PASCO, ARCHITECT
MAY 22, 2013 1/4" SCALE
3 OF 3

DEMOLITION PLAN

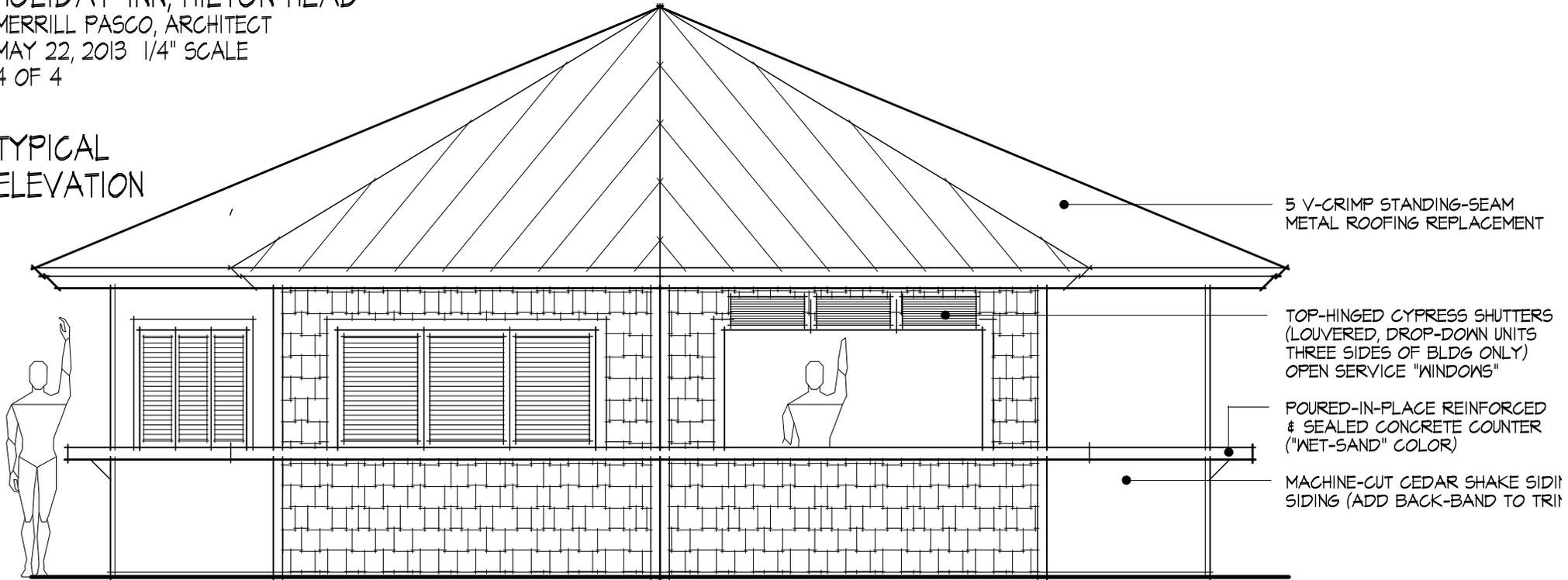


WALL SECTION

BEACH GRILL

HOLIDAY INN, HILTON HEAD
 MERRILL PASCO, ARCHITECT
 MAY 22, 2013 1/4" SCALE
 4 OF 4

TYPICAL ELEVATION



EXIST'G PHOTO

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Holiday Inn Beachfront Grill – ALTERATION/ADDITION

DRB#: DR 130022

DATE: June 11, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

The Holiday Inn proposes to renovate the existing beachfront grill structure including the addition of a new service counter with operable louvered wood shutters, new restroom doors, new machine-cut cedar shake siding, and a standing seam metal roof. The proposed color scheme is in keeping with the existing structure, however the existing wood siding and shingle roof are more in keeping with the adjacent structures/ materials than cedar shake siding and metal roof. Reconsider the addition of cedar shake siding and metal roof.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 5/28/13
 Accepted by: DH
 App. #: DR 30023
 Meeting Date: _____

Applicant/Agent Name: Tom SHIMADA Company: Yui LLC A/B/K KURAMA JAPANESE RES
 Mailing Address: P.O. Bx 23943 City: HILTON HEAD State: SC Zip: 29925
 Telephone: (843) 298-5846 Fax: (843) 842-8086 E-mail: TSSHIM@aol.com
 Project Name: KURAMA OUTDOOR SEATING Project Address: 9 PALMETTO BAY RD, HHI, SC 29928
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

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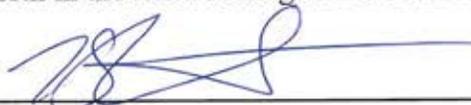
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SIGNATURE

5/28/13

DATE



*9 Palmetto Bay Road
Hilton Head, SC 29928
(843)785-4955*

May 29, 2013

Attn: Jennifer Ray, Town of Hilton Head Urban Designer

Re: 9 Palmetto Bay Road Outdoor Seating Area- Kurama Japanese Restaurant

For over twenty years, Kurama Japanese Restaurant has served the community with its authentic Japanese cuisine. Currently, the owners of the restaurant are proposing to enhance its customers dining experience by offering an outdoor dining area in order to compete with the other neighboring restaurants which offer similar seating options such as Captain Woody's, The Smokehouse and Gillian's Seafood Restaurant.

The proposed outdoor seating area will be constructed alongside the existing structure and will seat approximately 25 people. The overall dimensions of the deck will be approximately 43 feet by 12 feet, and it will be constructed with a composite decking material with a wood railing that will be in line with the current exterior of the building. Attached are digital samples of the materials. Access to the outdoor seating area will be available through an existing area near the front door as well as a new storefront opening which is to be constructed next to the exterior shoji screen façade. Thanks to the accessibility of the Staples parking lot, there are ample parking spots available to handle the possible increase of patrons to the restaurant. In addition, the entire deck area will be encased by the existing retaining wall, so no additional structures besides the deck itself will have to be built or moved.

Thank you for your assistance with our plans, and we look forward to working with you on this project.

Regards,

Tom Shimada
President, Yui LLC d/b/a Kurama Japanese Restaurant



**Benjamin Moore - Elk Horn
Match Existing Railing Color**



Teak Composite Decking Color

**Kurama Japanese Restaurant - Deck Addition
Materials Board**



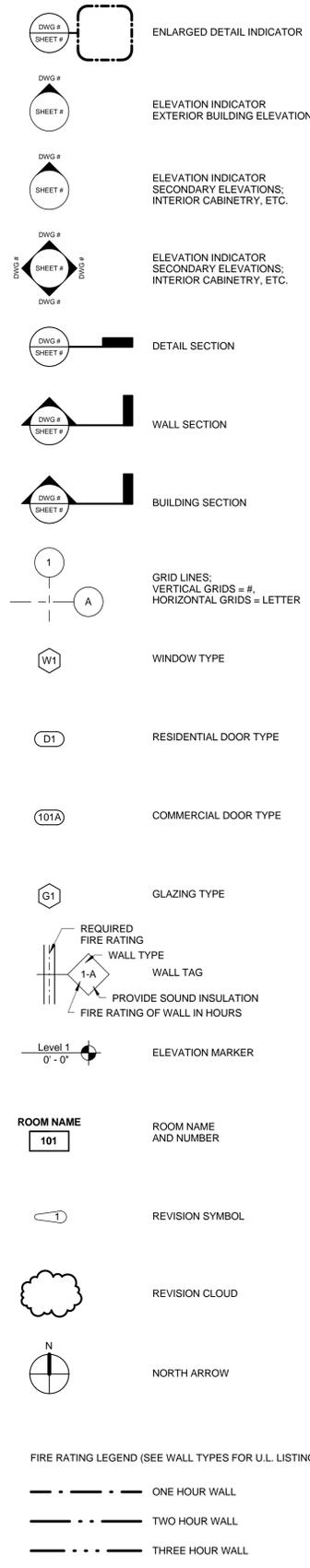
843-785-4955

843-785-4955

30







A.	ACRE	PCT	PORCELAIN TILE
A/C	AIR CONDITIONING	PEJ	PREFORMED EXPANSION JOINT
ACPS	ACOUSTICAL	PG BD	PEG BOARD
ACT	ACOUSTICAL CEILING PANEL SYSTEM	PL	PLATE
ADA	ACOUSTICAL CEILING TILE	PLY WD	PLYWOOD
ADJ	AMERICAN DISABILITIES ACT	PLAM	PLASTIC LAMINATE
AFF	ADJUSTABLE	PLST	PLASTER
ALT	ABOVE FINISH FLOOR	PLUM	PLUMBING
ALUM	ALTERNATE	PME	PLUMBING / MECHANICAL / ELECTRICAL
APPROX	ALUMINUM	PNL	PANEL
ARCH	APPROXIMATELY	PREFAB	PREFABRICATED
AWW	ARCHITECT	PREMANUF	PREMANUFACTURED
AWC	AT VARIANCE WITH	P	PAINT
AWCT	ACOUSTICAL WALL COVERING	PT	PRESSURE TREATED
	ACOUSTICAL WALL TILE	PTD	PAPER TOWEL DISPENSER
		PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PVC	POLYVINYL CHLORIDE
BETW	BETWEEN	QT	QUARRY TILE
BLDG	BUILDING	QTY	QUANTITY
B.O.	BOTTOM OF		
B.O.S.	BOTTOM OF STEEL	R	RISER
BRK	BRICK	R/A	RETURN AIR
BRNG	BEARING	RAG	RETURN AIR GRILLE
B.U.R.	BUILT UP ROOF	RB	RUBBER BASE
		R&S	ROD AND SHELF
		R/W	RIGHT OF WAY
		RAD	RADIUS
		RB FL	RUBBER FLOOR
		RECP	RECEPTACLE
		REINF	REINFORCED / REINFORCING
		RESB	RESILIENT BASE
		REQD	REQUIRED
		RO	ROUGH OPENING
		SCHED	SCHEDULE
		SCR	SCREEN
		SD	STORM DRAIN
		SECT	SECTION
		SF	SQUARE FEET / FOOT
		SIM	SIMILAR
		SI	SOUND INSULATION
		SPEC	SPECIFICATION
		SPKR	SPEAKER
		SQ	SQUARE
		STD	STANDARD
		SS	STAINLESS STEEL
		ST	STAIN
		STN	STONE
		STOR	STORAGE
		SWD	STACK WASHER / DRYER
		T	TREAD
		T&G	TONGUE AND GROOVE
		TB	TACK BOARD
		TEMP	TEMPERED
		TERR	TERRAZZO
		TLT	TOILET
		THRU	THROUGH
		TI	THERMAL INSULATION
		T.O.	TOP OF
		T.O.R.	TOP OF ROOFING
		T.O.P.	TOP OF PLATE
		T.O.S.	TOP OF STEEL
		T.O.W.	TOP OF WALL
		TS	TACK STRIP
		TTD	TOILET TISSUE DISPENSER
		TWAC	THROUGH WALL AIR CONDITIONER
		U	UPHOLSTERY
		UL	UNDERWRITERS LABORATORY
		UNO	UNLESS OTHERWISE NOTED
		VERT	VERTICAL
		VCT	VINYL COMPOSITION TILE
		VF	VINYL FLOORING
		VIF	VERIFY IN FIELD
		YTR	VENT THROUGH ROOF
		VWC	VINYL WALL COVERING
		W	WITH
		WASH	WASHER
		W/C	WATER CLOSET / TOILET
		WD	WOOD
		WC	WALL COVERING
		WH	WATER HEATER
		WHP	WALL HUNG HEAT PUMP
		W/O	WITHOUT
		WOM	WALK OFF MAT
		WWF	WELDED WIRE FABRIC
		WSHP	WATER SOURCE HEAT PUMP
		XFMR	TRANSFORMER
INT	INTERIOR		
INSUL	INSULATION		
JAN	JANITOR		
JT	JOINT		
LAM	LAMINATE		
LINF	LINOLEUM FLOORING		
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
MIR	MIRROR		
MANUF	MANUFACTURER		
MATL	MATERIAL		
MBR	MODIFIED BITUMEN ROOFING		
MC	MEDICINE CABINET		
MECH	MECHANICAL		
MIN	MINIMUM		
MLDG	MOULDING		
MO	MASONRY OPENING		
MRBL	MARBLE		
MR	MOISTURE RESISTANT		
MTL	METAL		
NIC	NOT IN CONTRACT		
NO	NUMBER		
NTS	NOT TO SCALE		
OC	ON CENTER		
OPH	OPPOSITE HAND		
OPP	OPPOSITE		

GENERAL NOTES

- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- B. FOR WHERE DOOR DIMENSIONS ARE NOT DESIGNATED, AS SHOWN ADJACENT TO WALL, SET DOOR 4" FROM WALL TO JAMB INCLUDING FRAME. WHERE SHOWN IN MIDDLE OF WALL, SET DOOR IN CENTER OF SAME WALL.
- C. UNLESS NOTED OTHERWISE ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR INFORMATION PURPOSES ONLY.
- D. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES, CASEWORK, ACCESSORIES AS REQUIRED.
- E. GENERAL CONTRACTOR SHALL REVIEW & IMPLEMENT U.L. RATED ASSEMBLIES NOTED HEREIN.
- F. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO WORK BEING STARTED. GC SHALL ISSUE AN RFI FOR ANY AND ALL QUESTIONS ON THE PLANS.
- G. GC SHALL PERFORM ALL WORK PER CURRENT STATE AND LOCAL CODES.



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Murrells Inlet, SC 29576
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KARAMA RESTAURANT

**KARAMA RESTAURANT
DECK ADDITION**
9 PALMETTO BAY ROAD
HILTON HEAD ISLAND 29928

REVISIONS

SHEET TITLE

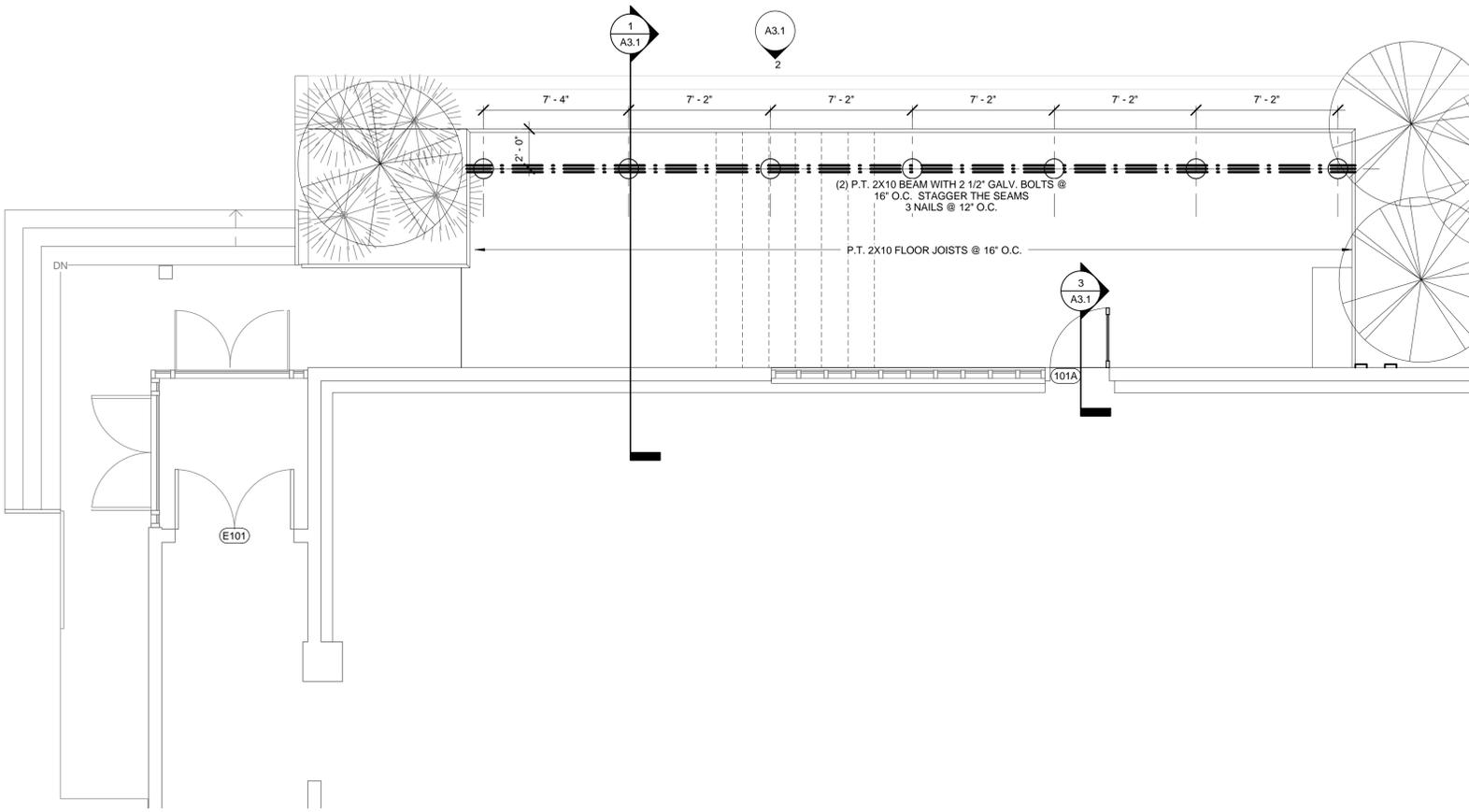
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PROJECT NUMBER: 1319
DATE: 5-28-2013
DRAWN BY: Author
CHECKED BY: Checker
SCALE: 1/2" = 1'-0"

SHEET NO.
A0.0



1 FOUNDATION AND FRAMING PLAN
A0.1 1/4" = 1'-0"

REVISIONS

SHEET TITLE

FOUNDATION PLAN

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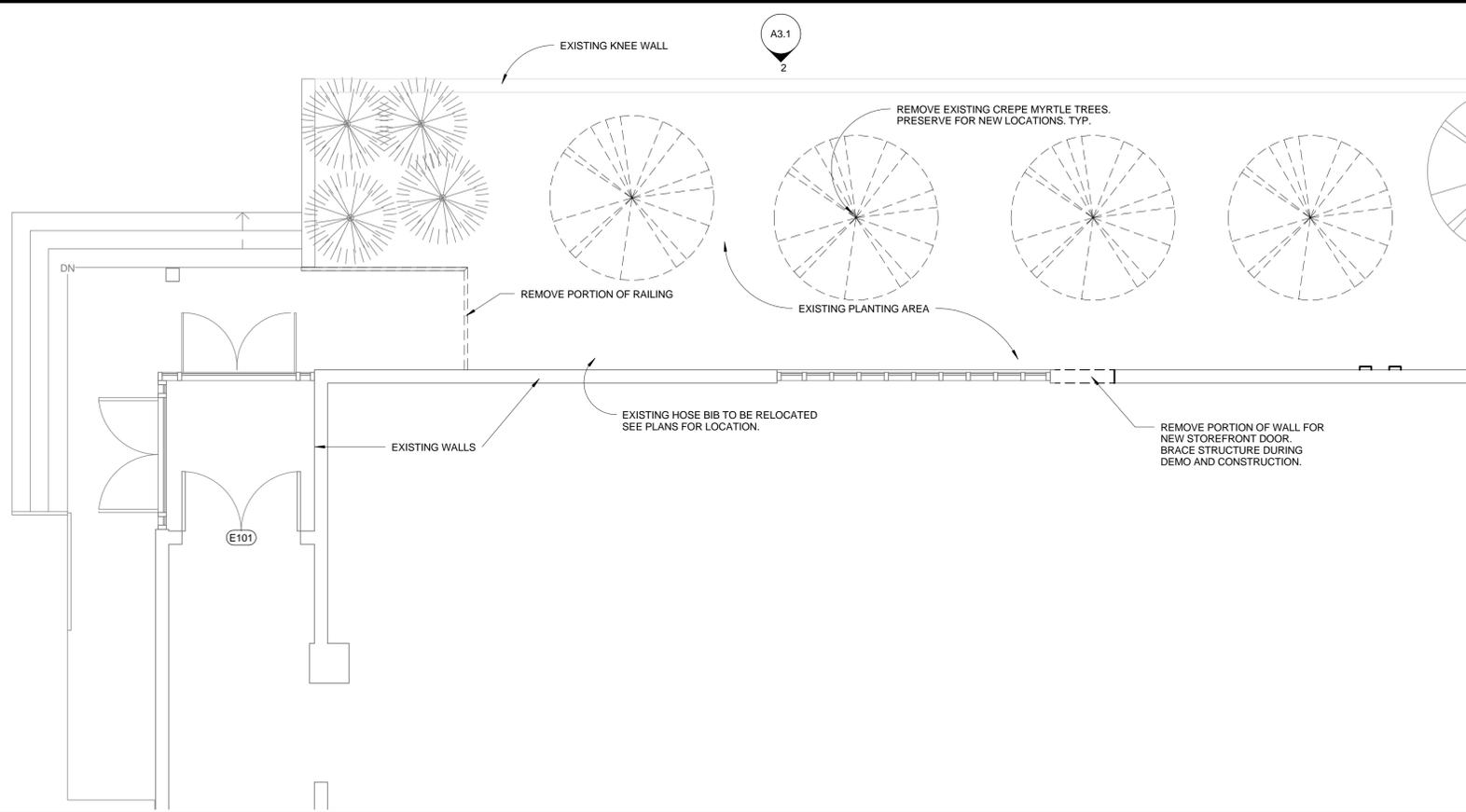
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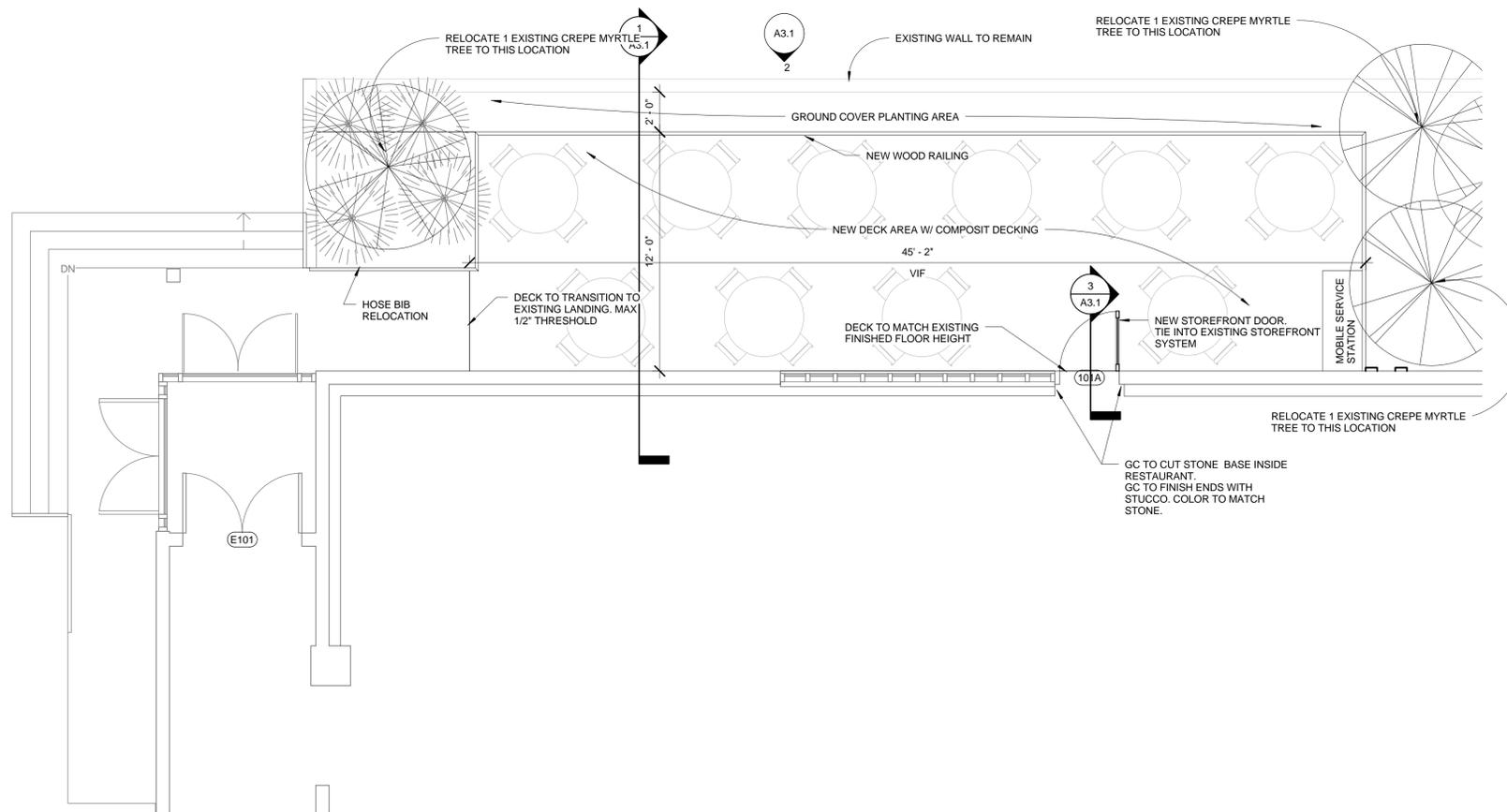
PROJECT NUMBER: 1319
DATE: 5-28-2013
DRAWN BY: Author
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SCALE: 1/4" = 1'-0"

SHEET NO.

A0.1



1 DEMO PLAN
A1.1 1/4" = 1'-0"



2 FIRST FLOOR
A1.1 1/4" = 1'-0"

REVISIONS

SHEET TITLE

**DEMO PLAN AND
FLOOR PLAN**

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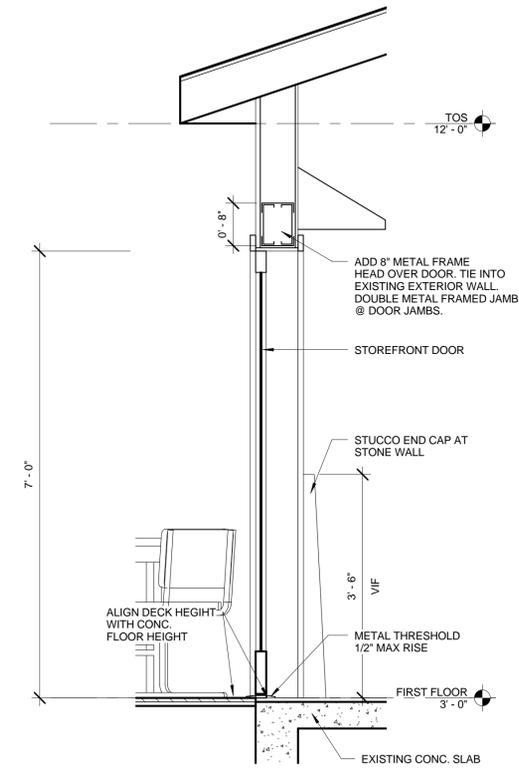
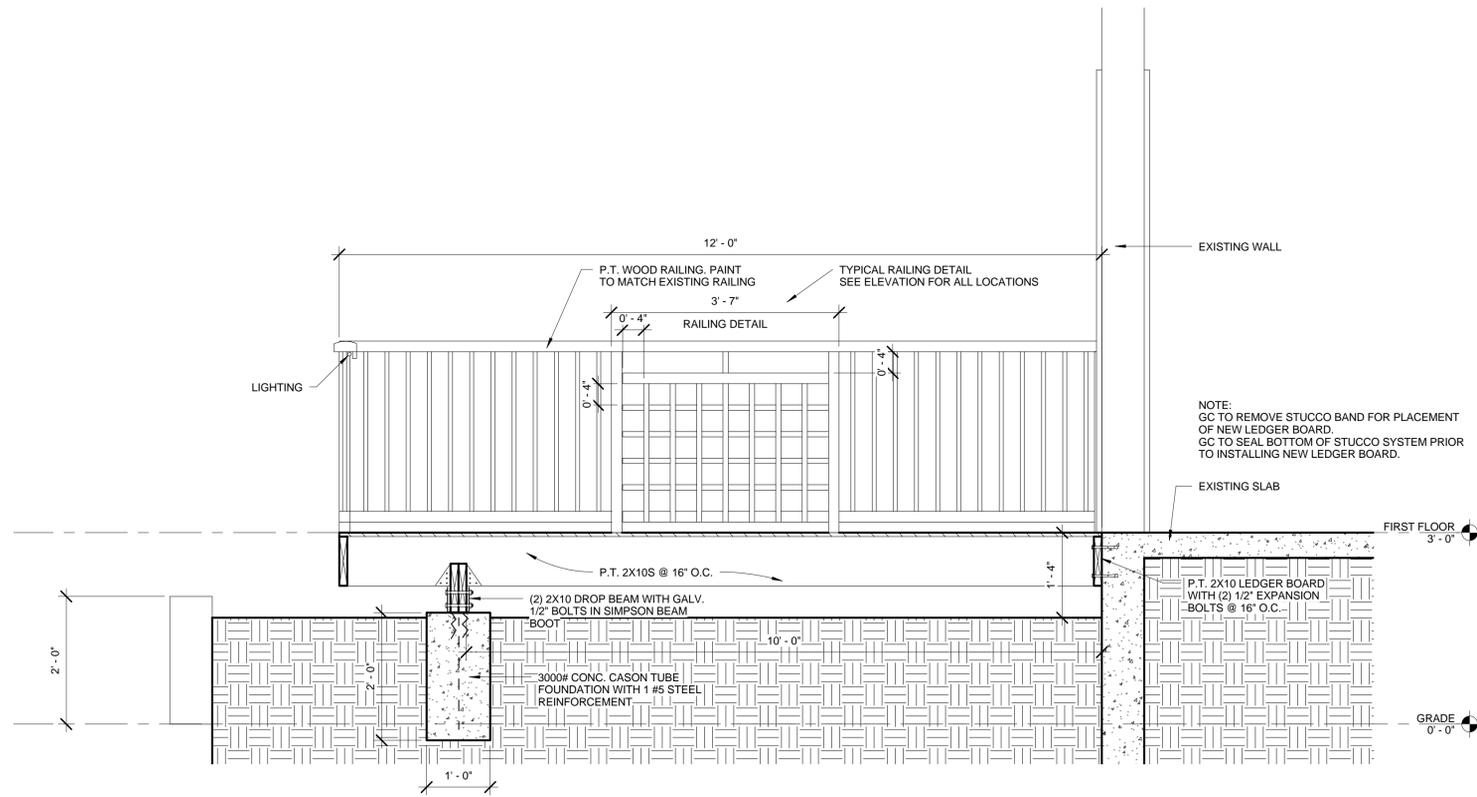
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PROJECT NUMBER: 1319
DATE: 5-28-2013
DRAWN BY: Author
CHECKED BY: Checker
SCALE: 1/4" = 1'-0"

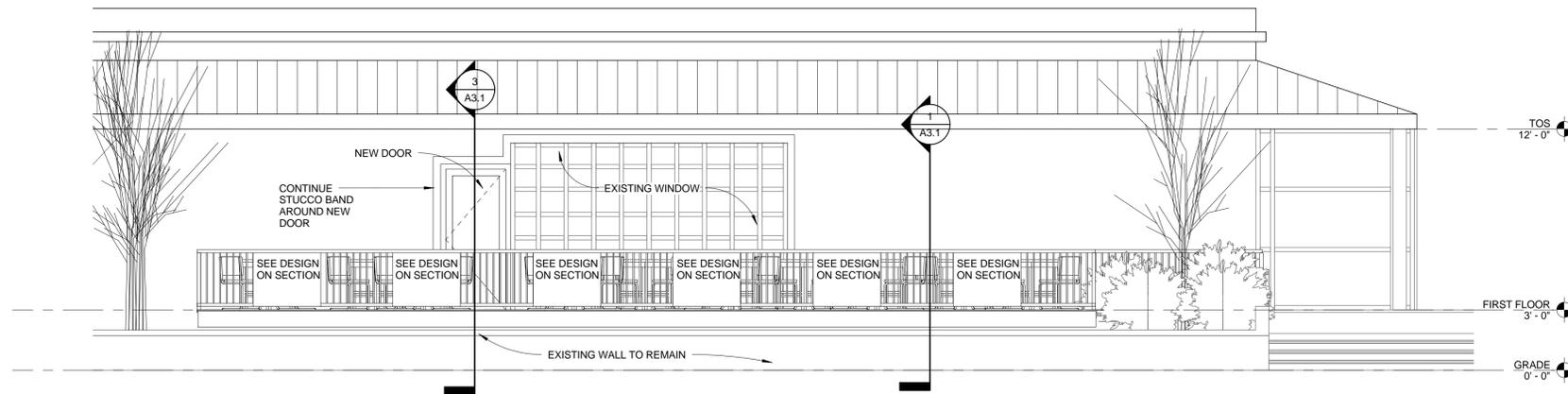
SHEET NO.

A1.1



1 SECTION @ DECK
A3.1 3/4" = 1'-0"

3 DOOR DETAIL
A3.1 3/4" = 1'-0"



2 EXTERIOR ELEVATION
A3.1 1/4" = 1'-0"

REVISIONS

SHEET TITLE
**SECTIONS AND
DETAILS**

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PROJECT NUMBER: 1319
DATE: 5-28-2013
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

SHEET NO.
A3.1

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Kurama Outdoor Seating – ALTERATION/ADDITION

DRB#: DR 1300203

DATE: June 11, 2013

RECOMMENDATION: Approval Approval with Conditions Denial

Kurama Japanese Restaurant proposed to offer an outdoor dining area adjacent to the existing structure. The proposed design and materials are in keeping with the existing structure. However, the proposed dining area will eliminate the majority of the existing landscape planter on that side of the building. Additional landscaping should be considered to offset the loss of existing plant material.