



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, January 14, 2014

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of December 10, 2013
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
 - A. Minor External Change
 - 1) DR 130054 – Captain Woody’s (Awning)
 - 2) DR 130055 – Neptune Drive Upgrade (Landscape & Lighting)
 - B. New Development - Conceptual
 - 1) DR 130056 – Mathews Drive Carwash
 - C. New Development - Final
 - 1) DR 130044 – Hilton Head Zaxby’s
 - D. Alteration/Addition
 - 1) DR130057 – Bluewater Resort & Marina
 - E. Signs
 - 1) DR130058 – The Plaza at Shelter Cove
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, December 10, 2013 Meeting
1:15p.m – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,
Jake Gartner, Tom Parker, Todd Theodore, and Galen Smith

Board Members Absent: Jennifer Moffett

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Nicole Dixon, Senior Planner
Richard Spruce, Floodplain Administrator
Kathleen Carlin, Administrative Assistant

1. Call to Order

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

The Board **approved** the agenda as revised by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the November 12, 2013 meeting as amended by general consent.

6. Staff Report

Ms. Ray stated that today's DRB meeting is the last meeting of the year. The next DRB meeting is scheduled on Tuesday, January 14, 2014 at 1:15p.m.

7. Board Business

None

8. Unfinished Business

A. Alterations/Additions

1. Group 3/Pyramids – DR 130040

Ms. Ray presented a brief review of the first application that was previously presented to the Board on September 24, 2013. Group 3/Pyramids has installed a fence consisting of 6 x 6 posts with welded wire mesh, planted with confederate jasmine along their property line. Based on comments provided by the Board on September 24th, the applicant proposes a more decorative fence including 6 x 6 wood posts with a decorative cap, horizontal top and bottom rails, and pickets, all stained Charleston Green to match other wood posts on site. The staff recommended

that the project be approved as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Michael Ruegamer presented brief comments in support of the application. The Board discussed the application and each Board member complimented the improved submission. Mr. Theodore suggested that the applicant consider adding a center post to the fence for added reinforcement (to reduce span from 10' o. c.). Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion to approve** the Group 3/Pyramids application, DR 130040, as submitted. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

9. New Business

A. New Development – Conceptual

1. Palmetto Dunes POA Office - DR 130050

Ms. Ray introduced the application and stated its location, 16 Queens Folly Road. Ms. Ray presented an in-depth overhead review of the application including a site plan and site photos. The goal of the proposed POA office is to bring administrative, security and community pass services together in one centralized facility. The applicant would like to pursue the Redevelopment Floating Zone which would bring the project within budget with a more efficient building and site plan.

Ms. Ray reviewed the site analysis including shared parking arrangements. The applicant has submitted a Conceptual landscape plan and site plan which are required for the Redevelopment Floating Zone process. The applicant will next apply for approval of a Zoning Map Amendment (ZMA) for approval by the Planning Commission, Planning & Development Standards Committee, and Town Council and then the applicant will return to the DRB with the full application for Final review.

The applicant's plan eliminates concerns regarding the condition of the existing fire station's structure. Currently the existing building footprint is +/- 7,840 square feet. The proposed new footprint is +/- 7,001 square feet. The existing impervious area is +/- 24,900 square feet and the proposed impervious area is +/- 24,200 square feet. The new plan utilizes existing access and exit points and existing setbacks.

Ms. Ray reviewed the new building and associated parking. The areas surrounding the proposed redevelopment are compatible uses and the orientation of the building and associated drives and parking provides better safety and efficiency. The staff recommended that the Conceptual application be approved as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Brian Witmer, Witmer, Jones, Keefer, presented statements in support of the application. The Board and the applicant discussed the project and each member of the Board complimented the quality of the Conceptual application. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion to approve** the Conceptual application for Palmetto Dunes POA Office, DR130050, as submitted. Mr. Gartner **seconded** the motion and the motion **passed** with a vote of 6-0-0.

B. Alteration/Addition

1. Exchange Street ATM – DR 130049

Ms. Ray introduced the application and stated its location, 100 Exchange Street in the First Federal Building. SCBT is in the process of requesting the relocation of the ATM unit at the 100 Exchange Street from its current location to the proposed new location just in front of the Drive Thru teller lanes. The ATM move is based on increased customer transactions and the need for one additional teller tube lane to keep up with the customer demands of the banking center.

Ms. Ray presented an in-depth overhead review of the application including aerial photos and site photos showing the existing conditions. The relocation of the ATM will result in two Laurel Oak trees being removed and a very small addition to the asphalt area to improve the flow to the proposed ATM Drive Lane within a current parking stall area that is not used. The parking for the building will be reduced by five parking spaces in order to lessen the impact to the current site.

The staff recommended approval of the application with the condition that the structure should have a better relationship to the building in color (beige versus yellow), materials (asphalt shingle roof or metal roof in a color complimentary to the building, not green), and style (building accents are linear/angular versus the round columns on the proposed ATM structure). The applicant for the project was not available at the meeting for questions or comments from the Board. Following staff's presentation, the Board discussed the project.

All of the Board members stated that they agree with the staff's recommendations regarding a need for the structure to have a better relationship to the building including the size of the columns and color of the roof. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion to approve** the Exchange Street ATM application, DR 130049, as submitted with conditions based on staff's recommendations. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 6-0-0.

2. South Beach Racquet Club – DR130051

Ms. Ray introduced the application and stated its location, 230 S. Sea Pines Drive. South Beach Racquet Club is applying to construct two structures on their property. The first structure is a +/- 806 square foot deck adjoining the existing pro shop and the second structure is a +/- 2,280 square foot bicycle storage facility. Ms. Ray presented an in-depth overhead review of the application including site photos of the existing conditions, the elevations, and the existing floor plan.

The purpose of the addition to the deck adjoining the building will be to provide a place for the players and their families to gather before and after their matches. This portion of land was chosen because, while being attached to the current building, it has a direct view onto the first and second clay court, and it also enjoys a direct view onto the lagoon opposite the courts. It is the owners' and the architect's intent that all new construction and materials match existing conditions. The new deck construction includes a total of +/- 806 square feet, of which +/- 480 square feet will be open air but under roof. Ms. Ray presented a thorough review of the

materials and the color palette. Ms. Ray stated that the Sea Pines ARB has approved the plan. The staff recommended approval of the project with additional review of the landscape plan included. The staff believes that the landscape plan should be done relative to the building rather than just scooted over. Following the staff's presentation, Chairman Sodemann requested that the applicants make their presentation.

Mr. Don Baker, Square Feet Island Architects, and Mr. Don Sigmon, landscape architect, presented statements in support of the application. Following the applicants' presentation, the Board discussed the application.

The Board stated that they agree with the staff's recommendations for the project. The size of the columns should be increased. The Board also discussed the elevations, the colors for the bike barn, and the existing vegetation. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Gartner made a **motion** to split the approval of the South Beach Racquet Club application. The building portion of the application is approved today with the following conditions: (1) the columns on the porch are to be a minimum size of 6x6; (2) one additional column is to be placed on each of the quadrants; (3) approval of the landscape portion of the application is still required. The landscape plan is to be submitted to and approved by the Board. Mr. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

3. Reilley's Grill & Bar (South HHI Location) – DR 130052

Ms. Ray introduced the application and stated its location, 7 Greenwood Drive. The applicant proposes to make improvements for bar service that will affect comfort, equipment, seating, and product storage and selection. Ms. Ray presented an in-depth review of the application including several site photos, vicinity map, site plan and landscaping plan.

There are currently three canvas roofed structures in the outdoor service area. The largest one, located over the bar, is 508 square feet and supported by 15 columns and a maze of tubular steel. This is to be replaced by a roof system designed of the same materials and color as the mansard that encompasses all of Reilley's Plaza. It will be supported by only four columns which will be trimmed to be similar to the existing construction. An opaque wall facing towards the east will also be built and finished to resemble Reilley's front fascia which is stained wood with picture framing. The top bar will be a synthetic material such as corian finished dark to blend with the exterior materials.

Ms. Ray reviewed the area that will be demolished at the end of the building. The new building is to replace canvas 1 topped steel tube canopy. The floor plan shows the proposed outside edge of the new canopy with finish to match the existing. The exterior elevations indicate extension of mansard and parapet with the same colors and materials with hard panel stucco columns with 1 x 4 frame trim and flute inset. The Reilley's Plaza logo is considered a sign and would not be allowed based on other existing signage.

The staff recommended approval of the application with the condition that a landscape plan be prepared and submitted for review and approval by the Board that addresses the treatment around the edges of the bar area, specifically at the new wall. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Don Baker, Square Feet Architects, and Mr. Jamie Booth, co-owner of the business, presented statements in support of the application. Following the applicants' presentation, the Board discussed the project. The Board stated that the project is a creative challenge to work

with. The Board stated some concern with expansion of the mansard roof and expansion of a non-conforming building. Appearance of the existing equipment on the roof is unsightly and screening of the equipment should be considered. The proposed solid wall should have an opening for better aesthetics. A good landscaping plan will be important to the project. Chairman Sodemann presented statements regarding the roof's compliance with the Design Guide and the Board's review of similar roofs in the past. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion** to **approve** the Reilley's Grill & Bar (South HHI Location), DR 130052, application with the following conditions: (1) the square protrusions out of the roof are to be eliminated; (2) the solid opaque wall across the end of the bar is to be restudied and resubmitted to the staff for review in an attempt to make it more open and blend in better with the rhythm of the existing architecture; (3) a tree mitigation plan along with a landscape plan is to be submitted to the DRB for review and approval. Vice Chairman Welch **seconded** the motion and the motion **passed** with a vote of 6-0-0.

(Mr. Parker and Mr. Theodore recused themselves from review of the following application, Whole Foods Market at Shelter Cove, DR 130053 due to their professional conflicts of interest. Conflict of Interest Forms were completed and signed by Mr. Parker and Mr. Theodore and attached to the record).

4. Whole Foods Market at Shelter Cove - DR 130053

Ms. Ray introduced the application and stated its location, 32 Shelter Cove Lane, The Plaza at Shelter Cove. The applicant proposes to renovate the former Piggly Wiggly store as a Whole Foods Market. Proposed improvements are limited to the façade and the interior of the building in this package. Ms. Ray presented an in-depth overhead review of the application including a vicinity map, site photos, and site plan. The site photos show existing site conditions of the shopping center which consists mostly of two tones of brick with stucco accents, mostly flat roof with pitched sections at two anchors and tile accents. The site plan shows the location of Whole Foods as the north anchor to the Plaza.

The Whole Food Market renovation will match the existing conditions. The Plaza at Shelter Cove Shopping Center emulates as well as all the beach community natural colors and tones with the beige and tan brickwork, the island stucco natural tan, Santiago rose Spanish tile at the overhanging canopy, classic bronze aluminum storefront prefinished, dark brown metal coping at the parapets, and painted steel channel gray accent bands of caviar and knitting needles which all come together in harmony with the existing site design theme while emulating the natural core values of Whole Foods Market. The design does blend into the existing plaza and conforms to a subtle visual impact while utilizing natural materials, textures, colors, and maintains the islands historical appearance and heritage. Whole Foods shows flowing form, minimal massing, personal scale, local materials, clean and simple details, and corresponding natural colors.

Ms. Ray reviewed the elevations and the entryway. The staff is concerned with the mostly flat roof as there is some disconnect with the newer roof and the older roof. The Shelter Cove ARB has approved the project with the condition that they get a sample of the proposed Douglas fir siding. The applicant decided to switch to IPE that will be more durable and easier to maintain. The staff recommends approval of the application with the condition that this section of elevation be reviewed to see if there are any changes that could be made to this or the remainder of the plaza for a better connection. Following the staff's presentation, Chairman Sodemann requested that the applicants make their presentation.

Mr. Don Patrick, Whole Foods Market, and Mr. Jason Kimball, architect, Greenberg Farrow, presented statements in support of the application. Mr. Kimball stated that the entry for this project is not a Whole Foods standard entryway. This design was selected strictly for Hilton Head Island. The applicant plans to remove the existing steps and grade the area to be handicap accessible. The stepping will not be necessary in the new design. Following the applicants' presentation, the Board discussed the project.

The Board presented statements regarding the proposed materials and colors. A couple of Board members felt that the colors should be toned down a bit. Other Board members stated that the proposed materials and colors suit the Hilton Head Island community. The rest of the Plaza at Shelter Cove should keep up with the look. A couple of Board members presented comments in concern of the flat roofs. Chairman Sodemann presented comments regarding the history of preference for a more sloping roof element. Chairman Sodemann stated concern with the roof's compliance with the Design Guide and past submissions of other flat roofs. The trellis is important to the proposed flat roof design.

Mr. Tom Parker, architectural consultant for the owners of the Plaza at Shelter Cove, presented statements regarding the owners wishes to update certain dated elements. The scale of the flat roof elements has been allowed previously as long as there are also slopes. The overall scale of the building should be considered when looking at the flat element.

Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion** to **approve** the Whole Foods Market application, DR 130053, as presented. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 4-0-0.

C. Minor External Change

(Mr. Theodore recused himself from review of the following application, Jos. A. Bank, DR 130048 due to his professional conflict of interest. Conflict of Interest Form was completed and signed by Mr. Theodore and attached to the record).

1. **Jos. A. Bank Awning (Shelter Cove Town Center) - DR 130048**

Ms. Ray introduced the application and stated its location, Shelter Cove Town Center, Building # 102. The Jos. A. Bank Building was approved with a striped fabric awning. The applicant proposes to install their standard green awning in lieu of the stripe fabric. Ms. Ray presented an in-depth overhead review of the application including site photos showing the existing conditions and recent construction. Four fabrics, all striped, were originally approved by the DRB for the project. Ms. Ray reviewed samples of the stripe and the solid awning fabrics. The proposed fabric complements the stucco and brick and looks good with the green paint. The staff recommended approval of the project with condition that more stripes be added for a better mix of several stripes and several solids versus (1) solid and (4) stripes. . Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Matt Mills, Blanchard & Calhoun, presented statements in support of the applicant. Mr. Mills stated that they agree with staff's recommendation regarding the need for a better mix of stripes and solid awnings in other areas of Shelter Cove Town Center. Following the applicant's presentation, the Board discussed the application.

Most Board members stated that they agree with the staff's recommendation regarding the

color. Mr. Gartner stated that he is concerned with the solid color as it does not seem compatible with Jos A. Banks colors. Mr. Parker stated that the Hunter Green color is in the family of acceptable colors. Following final comments, Chairman Sodemann requested that a motion be made.

Mr. Smith made a **motion** to **approve** Jos. A. Bank Awning application, DR130048, as submitted. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 5-0-0.

10. Appearance by Citizens

None

11. Adjournment

The meeting was adjourned at 3:00p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistance

Scott Sodemann
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Tommy Rosson Company: Coastal Canvas Products
 Mailing Address: 73 Ross Rd. City: SAVANNAH State: GA Zip: 31405
 Telephone: (912) 236-2416 Fax: (912) 232-7884 E-mail: trosson@coastalcanvas.net
 Project Name: Captain Woody's Project Address: 6 Target Rd.
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757. Jennifer R @ HiltonHeadIslandSC.gov

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name *(mailed Along with check)*

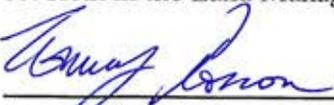
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11/26/13

DATE



COASTAL CANVAS

PRODUCTS

November 26, 2013

Attention: Design Review Board of Town of Hilton Head Island

RE: Captain Woody's Roof Awning, Proposed Awning (Minor External Change)

The proposed awning is to be fabricated of an aluminum frame with a vinyl-coated polyester cover material, *Patio 500*. The colors are to be 522 Beige with 513 Clear panels to allow natural light for the outdoor seating area. The awning is to extend 12" over the existing roof structure on all three sides. The front face of the awning is to be vertical, and the back of the structure is to be hipped. Please refer to the attached renderings and drawings for any additional details of the construction or overall appearance of the awning.

Thank you for your time and consideration on this matter, and please do not hesitate to call me with any additional questions or concerns regarding the project: (912) 508-7710.

Sincerely,

Tommy Rosson

Coastal Canvas Products
73 Ross Rd.
Savannah, GA 31405

912.236.2416 office

912.232.7884 fax



COASTAL CANVAS
PRODUCTS

2013-2014

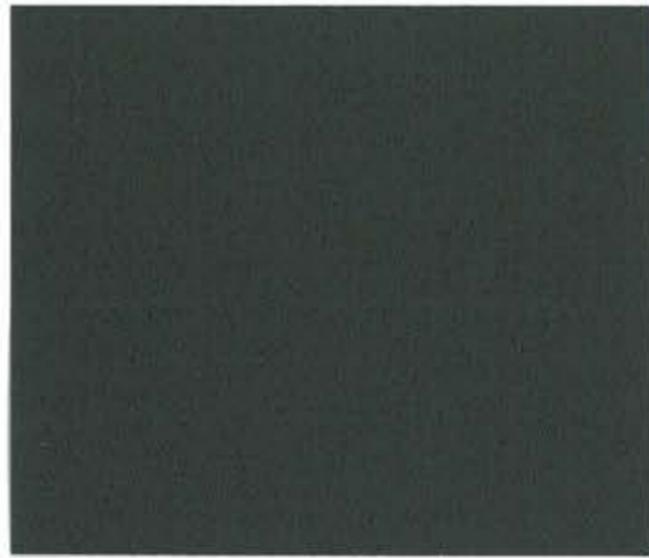
61" / Nominal 17.5 oz. per square yard. Put up on approximately 50 yard rolls.

Patio 500 is vinyl laminated to a 100% polyester weft inserted warp knit scrim. It has very good UV, and mildew resistance along with exceptional dimensional stability, tensile and tear strength. Patio 500 is backed by a five year limited warranty (excludes pattern 513 Clear).

Patio 500 fabrics are heat sealable and accept many types of graphics, including heat sealed inset fabric, sewn in inset fabric, silk screening, hand painting, and appliqué. Pressure sensitive adhesive vinyl graphics are not recommended.

Flame resistance meets or exceeds the standards of California Fire Marshal, NFPA 701 TM2, and ASTM E-84, Class A.

Patio500™



858508
508 BLACK



858513
513 CLEAR



858523
523 WHITE

858541
541 DESIGNER WHITE

858524
524 EGGSHELL



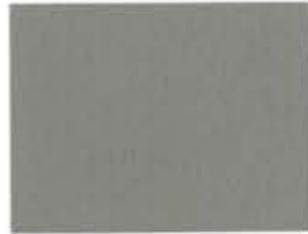
858522
522 BEIGE



858538
538 PARCHMENT



858537
537 CHAMPAGNE



858540
540 TIMBER



858528
528 PEWTER



858506
506 SLATE GRAY



858515
515 BUFF



858566
566 SUNFLOWER



858564
564 TEAL



858514
514 LIME GREEN



858567
567 JADE



858543
543 SPRUCE



858510
510 DARK GREEN



858562
562 EMERALD



858570
570 SUMMER IVY



858539
539 BAY BLUE



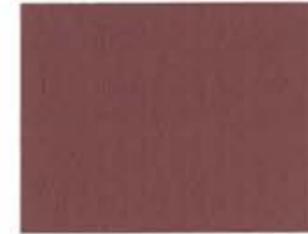
858503
503 ROYAL BLUE



858518
518 DUSKY BLUE



858536
536 COBALT BLUE



858527
527 BURGUNDY



858545
545 RUBY



858529
529 BRIGHT RED



858526
526 TERRA COTTA



858544
544 SUNSET ORANGE

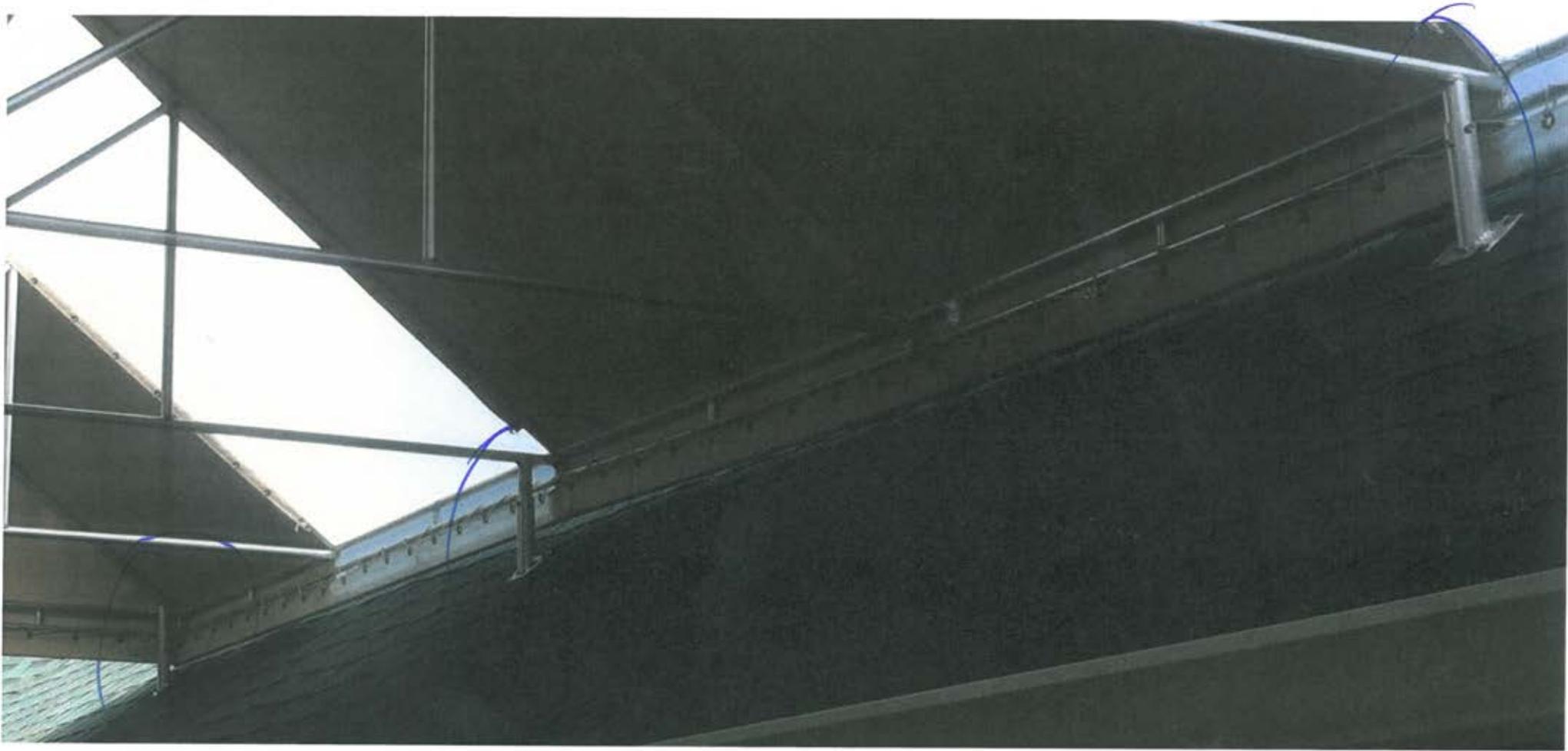


858516
516 BROWN



858525
525 ENGLISH BROWN

ROOF-MOUNT BRACKET DETAIL









NEW AWNING FOR:
CAPTAIN WOODY'S

6 TARGET ROAD
 HILTON HEAD ISLAND, SC 29928



73 ROSS ROAD
 PO BOX 22834
 SAVANNAH, GEORGIA 31403
 MAIN: 912 236 2416 FAX: 912 232 7884
 WWW.SHADESOLUTIONEXPERTS.COM

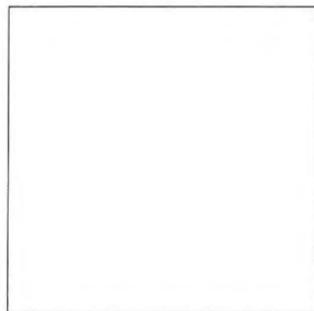
REVIEWED BY

THIS DRAWING IS THE PROPERTY OF CCP CO., INC. AND MUST BE USED ONLY IN CONNECTION WITH THE PROJECT FOR WHICH IT WAS PREPARED. UNAUTHORIZED USE OR REPRODUCTION IS STRICTLY FORBIDDEN.

PATIO 500 FABRICS:



522- BEIGE



513- CLEAR



FRONT, SIDE, PLAN
 &
 ISOMETRIC FRAME VIEW

DRAWN BY
 DAVE

DATE
 12/2/2013

JOB NUMBER
 0135700



73 ROSS ROAD PO BOX 22834 SAVANNAH, GEORGIA 31403
 MAIN: 912 236 2416 FAX: 912 232 7884 WWW.SHADESOLUTIONEXPERTS.COM

NEW AWNING FOR:

CAPTAIN WOODY'S

6 TARGET ROAD

HILTON HEAD ISLAND SC, 29928

BEAUFORT COUNTY HILTON HEAD, SC DECEMBER, 2013

SCALE
 3/8"=1'-0"

REVISION DATE	REASON

SHEET NO.

COVER



6 Target Rd, Hilton Head Island, SC 29928, USA

AWNING TO COVER THIS PORTION

Google earth

Imagery Date: 11/1/2012 32°09'29.52" N 80°45'48.63" W elev 13 ft eye alt 627 ft

REVIEWED BY

FRONT, SIDE, PLAN
&
ISOMETRIC FRAME VIEW

DRAWN BY
DAVE

DATE
12/2/2013

JOB NUMBER
0135700

COASTAL CANVAS
PRODUCTS

75 POCOS ROAD PO BOX 2884 BAYANASH GEORGIA 31403
MAIN 912 235 2116 FAX 912 232 7884 WWW.SHAREDESIGNEXPERTS.COM

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NEW AWNING FOR:

CAPTAIN WOODY'S

6 TARGET ROAD

HILTON HEAD ISLAND SC, 29928

BEAUFORT COUNTY

HILTON HEAD, SC

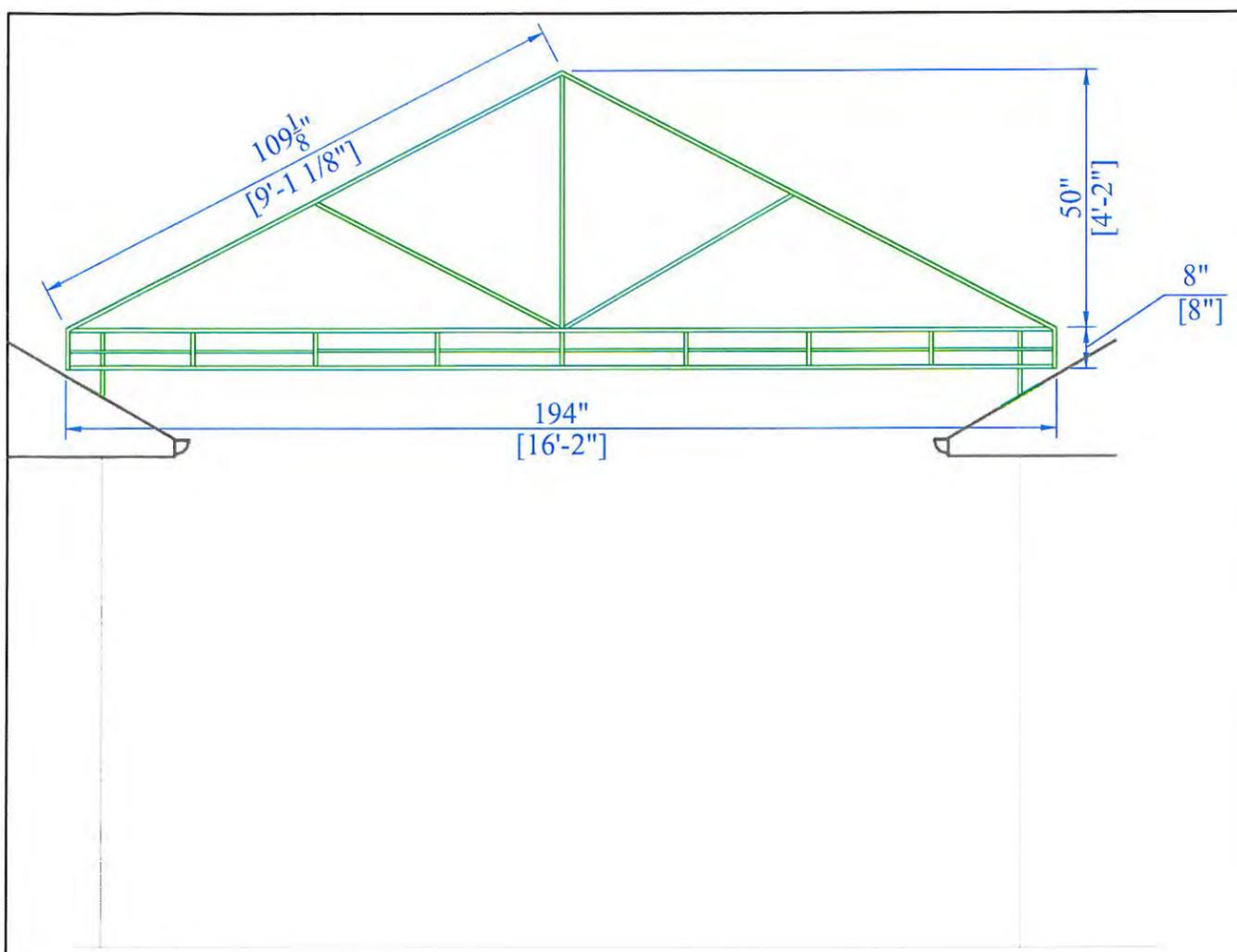
DECEMBER, 2013

SCALE
3/8"=1'-0"

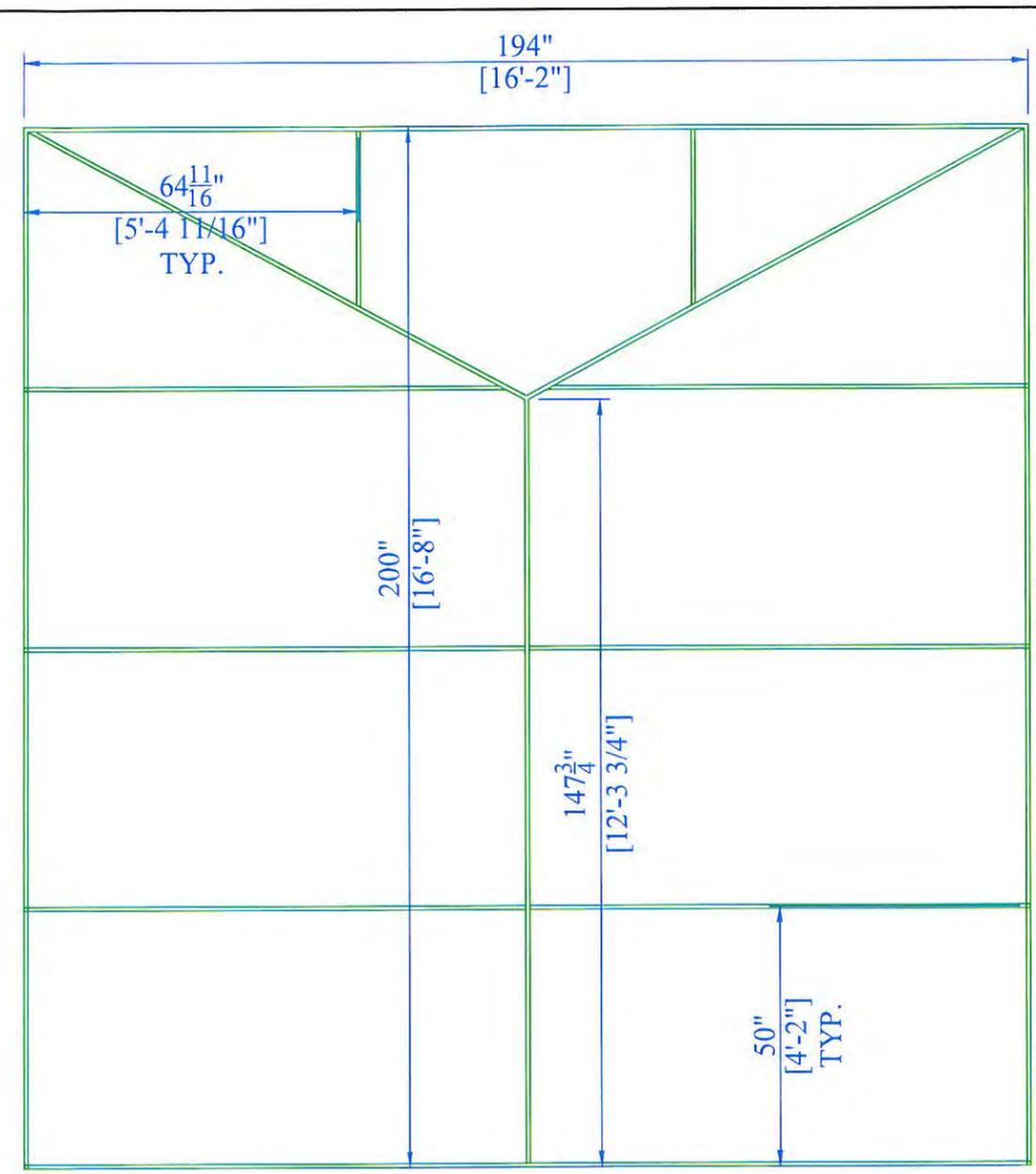
REVISION	DATE	REASON

SHEET NO.

SITE PLAN



FRONT ELEVATION



PLAN VIEW

REVIEWED BY

FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW

JOB NUMBER	0135700
DATE	12/2/2013
DRAWN BY	DAVE

COASTAL CANVAS PRODUCTS

73 ROSS ROAD PO BOX 22834 SAVANNAH GEORGIA 31403
 MAIN 912 236 2416 FAX 912 232 7884 WWW.SHADESOLUTIONEXPERTS.COM

NEW AWNING FOR:

CAPTAIN WOODY'S

6 TARGLET ROAD
 HILTON HEAD ISLAND SC, 29928

HILTON HEAD, SC
 BEAUFORT COUNTY
 DECEMBER, 2013

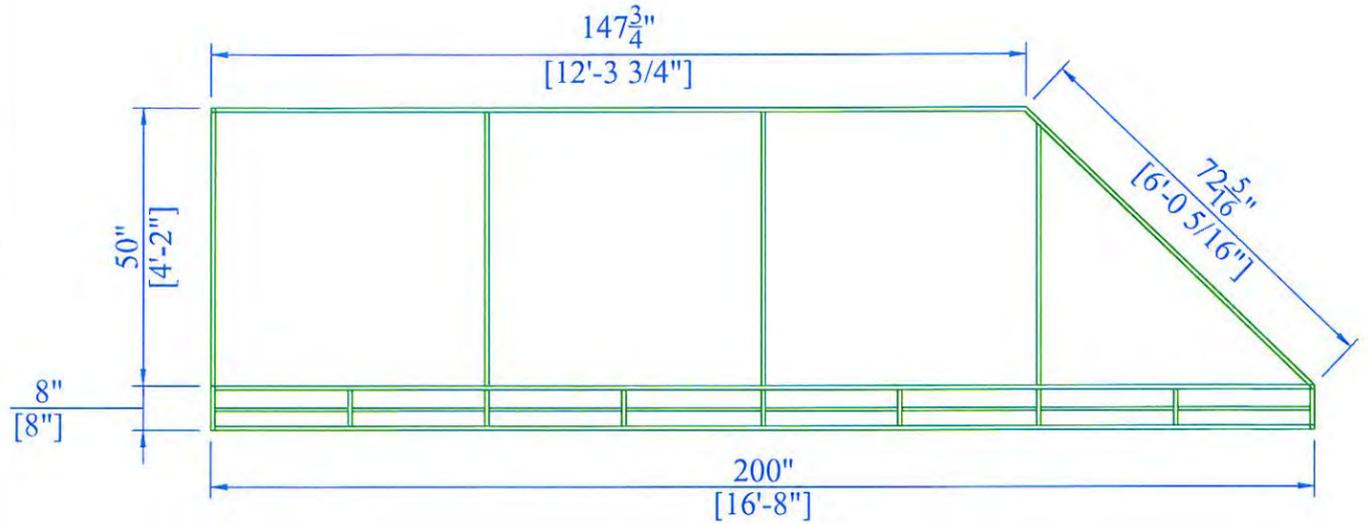
PART #		QUANTITY
1 of 1		1 EACH
DROP	BRACE	<p>FB-02 RIGID WRAP</p> <p>DETAIL OF FRAME TRUSS AND VAL ATTACHMENT VAL SIZE MAY VARY .REF TO WORK ORDER</p>
50"	3/4	
PROJ	PROJ	
200"	3/4	
WIDTH	H/R	
194"	3/4 AR	
VAL	F/B	
8"	3/4, 1/2"	
VAL PAT.	RAF./BOW	
RIGID WRAP	3/4	

SCALE		
3/8"=1'-0"		
REVISION	DATE	REASON

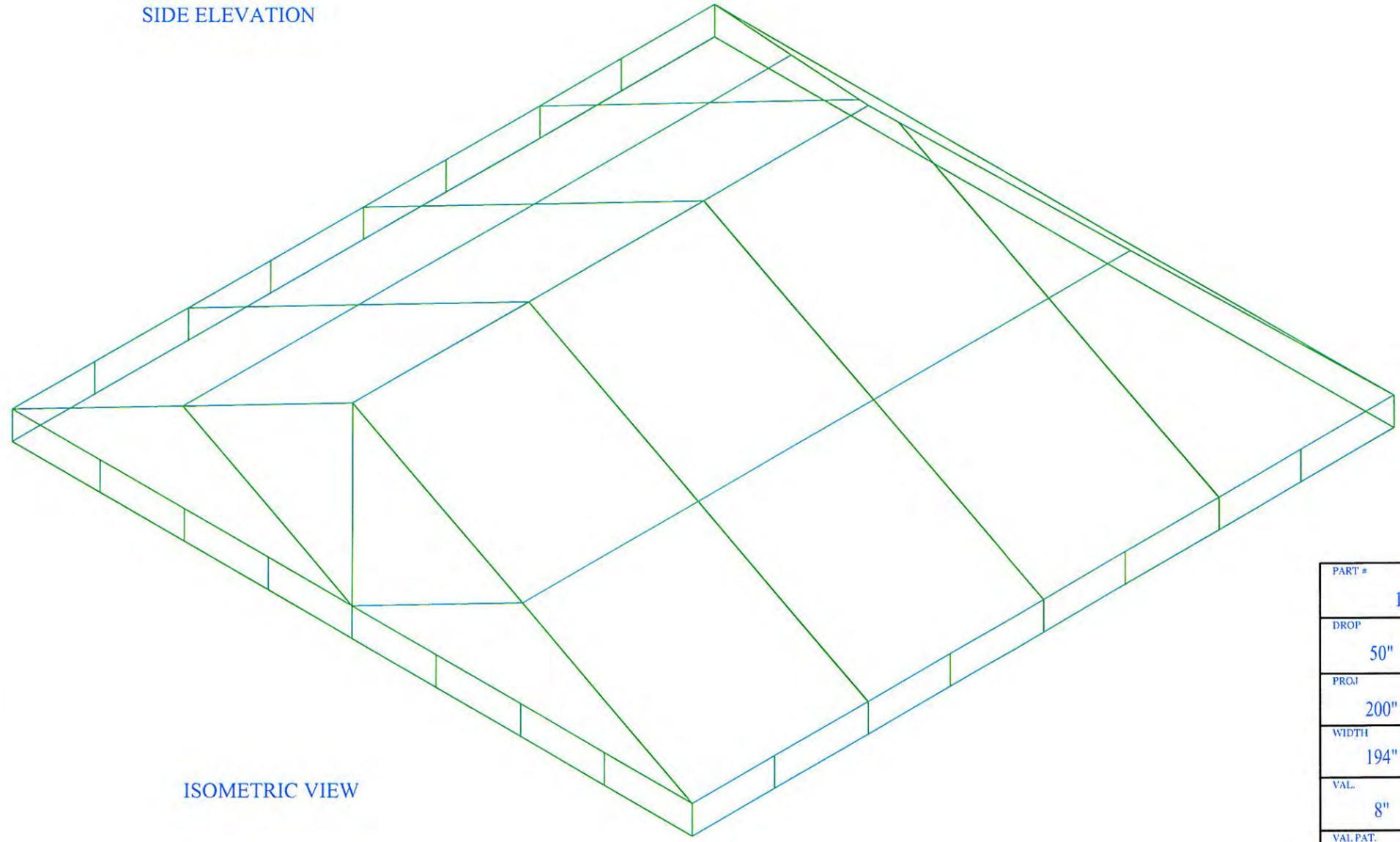
SHEET NO.

1

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SIDE ELEVATION



ISOMETRIC VIEW

PART #		QUANTITY
1 of 1		1 EACH
DROP	BRACE	
50"	3/4	
PROJ	PROJ	
200"	3/4	
WIDTH	H/R	
194"	3/4 AR	
VAL.	F/B	
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VAL. PAT.	RAF/BOW	
RIGID WRAP	3/4	

DETAIL OF FRAME TRUSS AND VAL ATTACHMENT VAL SIZE MAY VARY, REF TO WORK ORDER

REVIEWED BY

FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW

DRAWN BY DAVE	DATE 12/2/2013	JOB NUMBER 0135700
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COASTAL CANVAS PRODUCTS

71 ROSS ROAD PO BOX 2834 SAVANNAH GEORGIA 31403
 MAIN 912 275 2416 FAX 912 232 7804 WWW.SHADESOLUTIONSExperts.COM

NEW AWNING FOR:

CAPTAIN WOODY'S

6 TARGET ROAD
 HILTON HEAD ISLAND SC, 29928

BEAUFORT COUNTY HILTON HEAD, SC DECEMBER, 2013

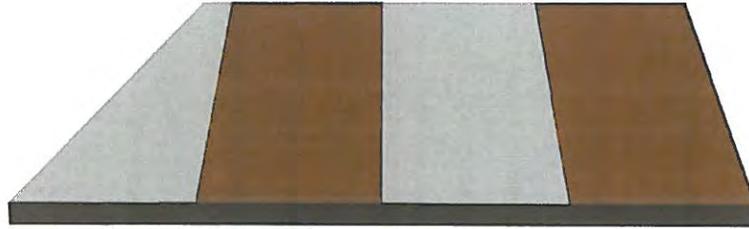
SCALE 3/8"=1'-0"

REVISION	DATE	REASON

SHEET NO.

2

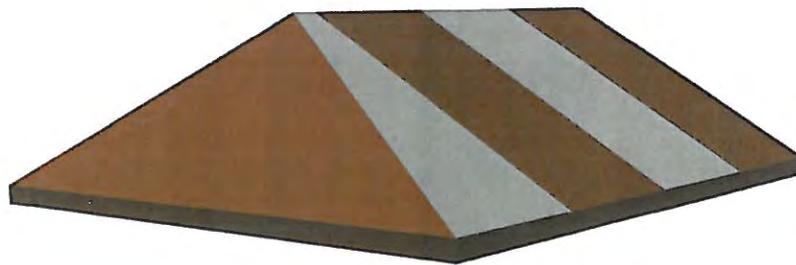
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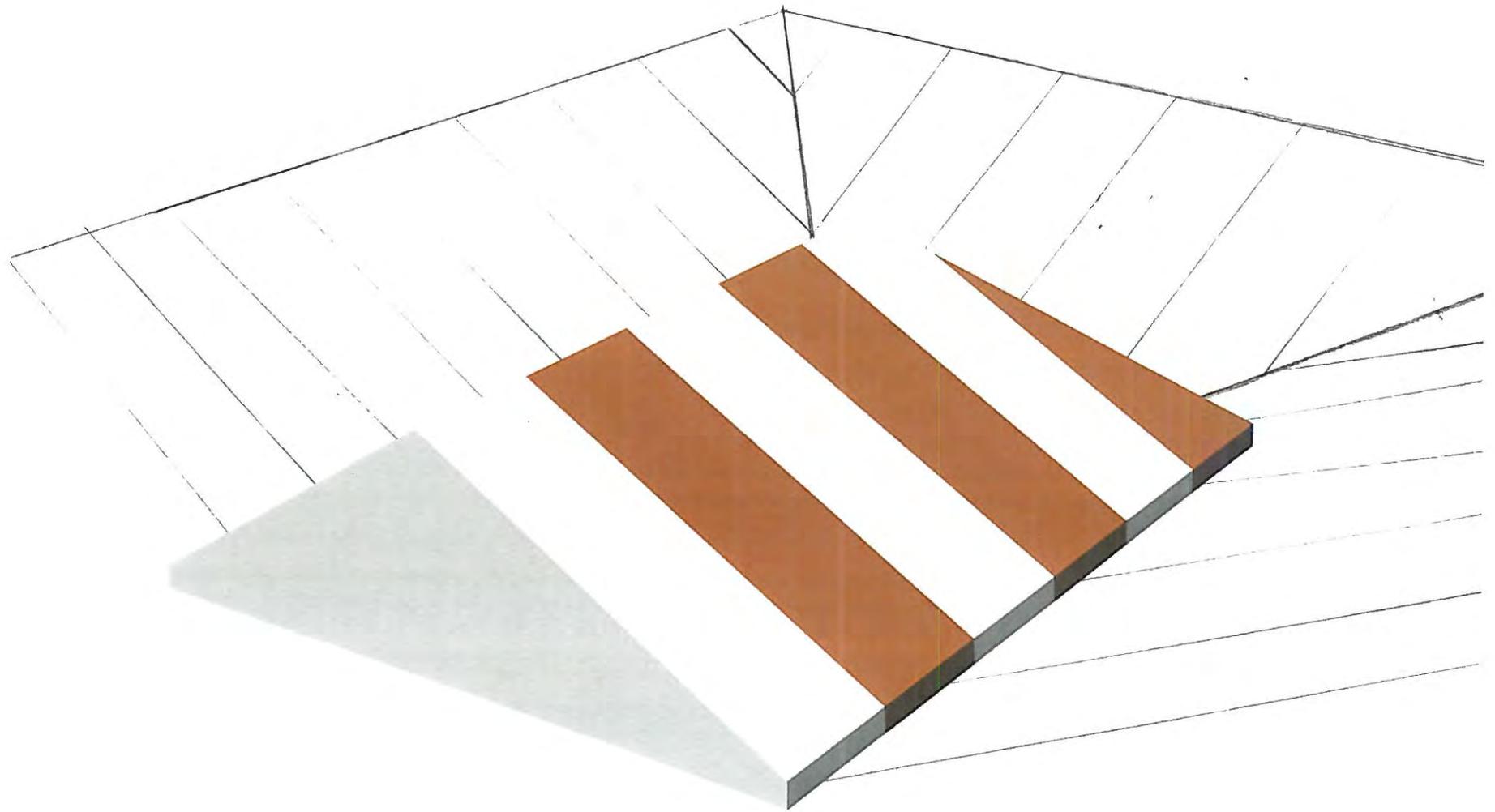
Side View



Front View



Rear View



COASTAL CANVAS

PRODUCTS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Captain Woody's – MINOR EXTERNAL CHANGE

DRB#: DR130054

DATE: January 14, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

Captain Woody's proposes to install an awning over the outdoor seating area. The proposed awning includes an aluminum frame with a vinyl-coated polyester cover material that will extend 12" over the existing roof structure on all three sides. Proposed colors are beige and clear to allow natural light for the seating area. Proposed awning appears to require removal of existing palm tree, but this is not indicated in narrative and may require mitigation.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 12.17.13
 Accepted by: SW
 App. #: DR 130055
 Meeting Date: _____

Applicant/Agent Name: JOHN P. BETTS Company: SHUTEER COVE HARBOUR CO
 Mailing Address: PO Box 6004 City: HHT State: SC Zip: 29930
 Telephone: 843-310-0471 Fax: 843-645-9516 E-mail: JBETTS@SHUTEERCOVEHC.COM
 Project Name: NEPTUNE DR. UPGRADE Project Address: NEPTUNE DRIVE
 Parcel Number [PIN]: RE20 012 00B 003 00000
 Zoning District: PUD 1 Overlay District(s): CDR

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number
- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

12/17/13

DATE



SHELTER COVE HARBOUR COMPANY

PO Box 6004
Hilton Head Island, SC 29938

Neptune Drive Upgrade Narrative

The Shelter Cove Harbour Company is applying for DRB approval for our proposed landscaping and up lighting project on Neptune Drive from the main front entrance on Hwy 278 to Harbourside Lane. It is anticipated that this project will be a phased process due to financial planning as outlined below:

1. Phase 1 – This phase will consist of tree removal, tree trimming and mitigation along with the installation on new up lighting at strategic locations. Mitigation has been addressed with Town staff and is incorporated into the plans.
2. Phase 2 – Complete landscape renovation of the median from Front entrance to Shelter Cove Lane per the submitted plans.
3. Phase 3 – Complete landscape renovation of the median from Shelter Cove Lane to Harbourside Lane per the submitted plans.

This community is 30 years old and as a result is in need to enhance its curb appeal.

Ray Jennifer

From: Browder Rocky <rockyb@hiltonheadislandsc.gov>
Sent: Tuesday, November 19, 2013 3:12 PM
To: Trey Griffin
Cc: John Betts
Subject: RE: SC Neptune Blvd- Tree Mitigation

Thanks Trey for the overview. I concur with your assessment of our site visit and look forward to working with you and John on the new landscaping for this area.

From: Trey Griffin [<mailto:TGriffin@woodandpartners.com>]
Sent: Tuesday, November 19, 2013 3:08 PM
To: Browder Rocky
Cc: John Betts
Subject: SC Neptune Blvd- Tree Mitigation

Rocky,

Thank you for meeting me on site to review mitigation requirements for tree removal along Neptune Blvd. I think we had a productive site walk and appreciate your willingness to work with us on tree replacement. To reconfirm our discussion and review of the flagged trees to be removed, we will only need to provide 7 replacement trees (6 cat 1 and 1 cat 2) to mitigate for removal of the trees that were not marked as hazardous. Mitigation is for those trees that did not meet the canopy requirements/guidelines discussed in the field. Wood+Partners will provide for the required mitigation and show proposed tree locations on our landscape enhancement plans. John will coordinate with the Town for any required landscape plan submittals and approvals.

Thanks again for your time,

Trey Griffin
Principal

Wood+Partners Inc.
Landscape Architects / Land Planners
Atlanta Hilton Head Island Tallahassee

AccuLite™

CARIBE LED RBF SERIES

40W LED ARCHITECTURAL FLOODLIGHT

Project: Shelter Cove Harbour Improvements

Fixture Type: _____

Location: _____

Contact/Phone: _____

Cat. No.: RBF-40L-41K-E12-W-BL

Accessories: _____

PRODUCT DESCRIPTION

The Caribe LED architectural floodlight is an energy efficient solution for landscape and façade lighting applications. Available with four different beam patterns the Caribe LED gives the architect flexibility of design. This fixture is ideal for façade lighting, columns and flag poles, as well as landscape and sign lighting. The LEDs provide not only energy efficiency but also long life and virtually zero maintenance, making this fixture an excellent choice for hard to reach areas. Acculite LED engines carry a 3 year limited warranty.

PRODUCT SPECIFICATIONS

Optics The Caribe LED is available with LED mounted optics that shape the beam, plus a glass lens to protect the LED components and make the fixture easy to clean

- Four different beam patterns (7x7 wide, 4x4 medium, 3x3 narrow, and 2x2 spot)
- LED lenses are board mounted
- Glass lens is mechanically secured and gasketed
- An array of visors and louvers is also available to tailor the beam pattern to the specific requirements of the installation.

Construction Specification grade die cast aluminum housing, door frame and mounting accessories

- Beveled edge door frame with full width concealed hinge
- ½" Stem and 2" slipfitter are marked with angles of inclination for consistent aiming throughout installation
- Tempered glass lens is secured mechanically and gasketed for easy replacement in case of damage.

Mounting Standard ½" stem mount or slip fitter 2" IPS (2-3/8" OD)



Finish Polyester powder coat • Designer colors are available

Electrical The luminaire is equipped with one 40W LED driver with universal 120-240 0.5A, 277VAC 0.2A, 50/60Hz input

- Driver provides power to the LEDs with an output of 12-24 VDC, 1400mA, max 40W
- Drivers are IP66 rated and RoHS compliant
- Driver operating temperature range is -30°C (-22°F) through 50°C (122°F)
- Total Harmonic Distortion (THD) 20% Max
- Power factor > 0.92 at full load, 115VAC, 230VAC
- Surge immunity > 1KVAC

Certification UL1598, CSA C22.2 250 • Suitable for wet locations • Union made • Driver meets UL879, cUL1310 Class 2, cUL • FCC CE (EN55015, EN61347)

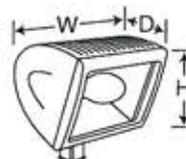
Specifications subject to change without notice.

ELECTRICAL DATA

	120V	277V
Input Power	37W	37W
Input Current - Max	0.42A	0.24A
Frequency	50/60Hz	50/60Hz
Minimum Starting Temperature	-30°C (-22°F)	-30°C (-22°F)

DIMENSIONS

Range	H	W	D
20 lb / 9.1 kg	8 3/4"	11"	8 5/8"
EPA = 0.00			



LED DATA

Ordering Code	System Watts	CCT	CRI	Luminaire Initial Absolute Lumens*
40L	40	4100K	80 Typical	1,558

* Lumen values based on 2 x 2 optics.

LED LUMEN DEPRECIATION

Ambient Temperature (°C)	L ₇₀ Hours
40°C	50,000

ORDERING INSTRUCTIONS

Series	Lamp/Watts	CCT	Voltage	Mounting	Beam Spread	Options
RBF	- 40L	- 41	E12	-	W	BL
RBF	40L 40W LED	41K 4100K	UN 120-277VAC E12 120V E27 277V (E12 & E27 for option F1 & PC only)	no suffix 1/2" stem SF Slip fitter 2" IPS (2 3/8" OD)	W Wide 7H x 7V M Medium 4H x 4V N Narrow 3H x 3V S Spot 2H x 2V	PC Photocontrol (must specify voltage) TP Tamper resistant hardware F1 Fused (must specify voltage) Finish no suffix Bronze BL Black WH White Custom colors - consult factory

ACCESSORIES (Order separately)

Bronze finish. Change "-BZ" to "-BL" black or "-WH" white.

Slipfitter Adapter Bronze finish
RBF-PTF Convert stem to slipfitter
 2" - 3" IPS (2 3/8" - 3 1/2" OD)

Vandal Shield Lexan®
RBF-S-LS

Top Visor Black finish
RBF-S-TV

Side Visor Black finish
RBF-S-SV

Horizontal Louver Black finish
RBF-S-HLV

Stanchion Bronze finish

RBF-STANCHION-color For 1/2" Stem

Wall Bracket 2" IPS (2 3/8" OD) tenon
WB-1-BZ Use with slipfitter or RBF-TA

RBF-PTF-BZ
 Slipfitter Adapter.
 Converts the 1/2" stem to slipfitter



RBF-S-TV
Top Visor

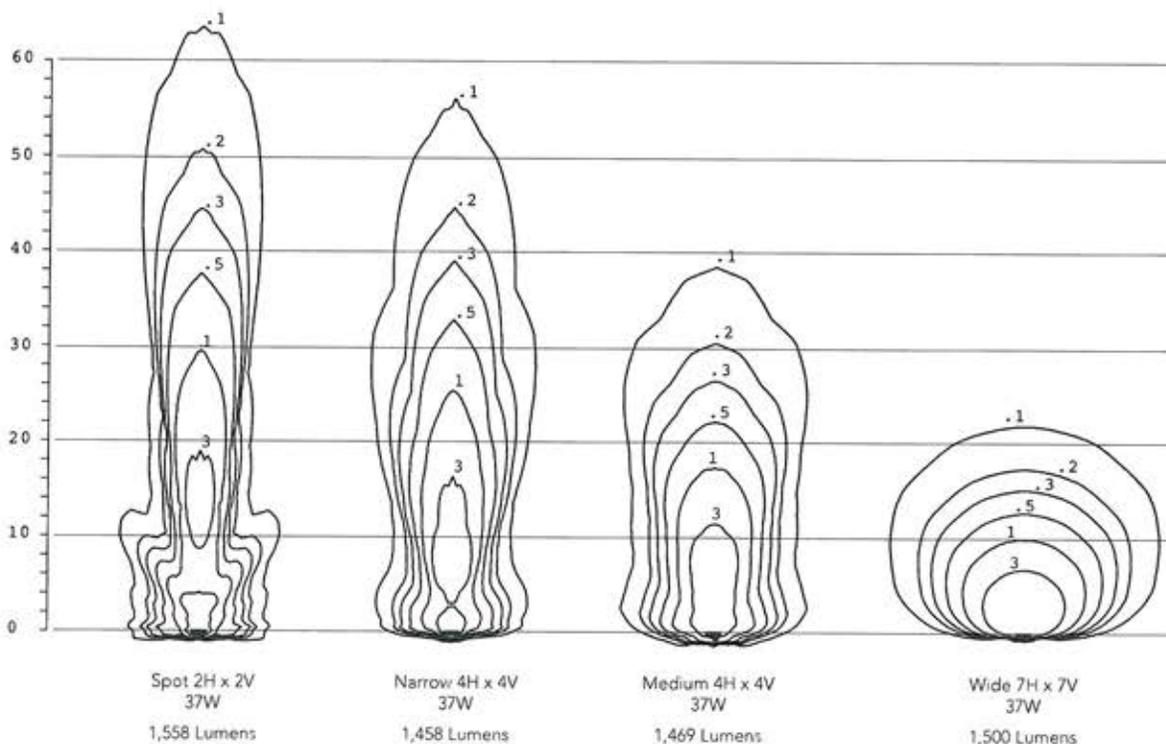


RBF-S-SV
Side Visor



RBF-S-HLV
Horizontal Louver

RBF-STANCHION-BZ
 Stanchion for poured concrete installations.
 Use with 1/2" stem fixture



Note: All photometry done by independent test lab according to IES LM-79-08



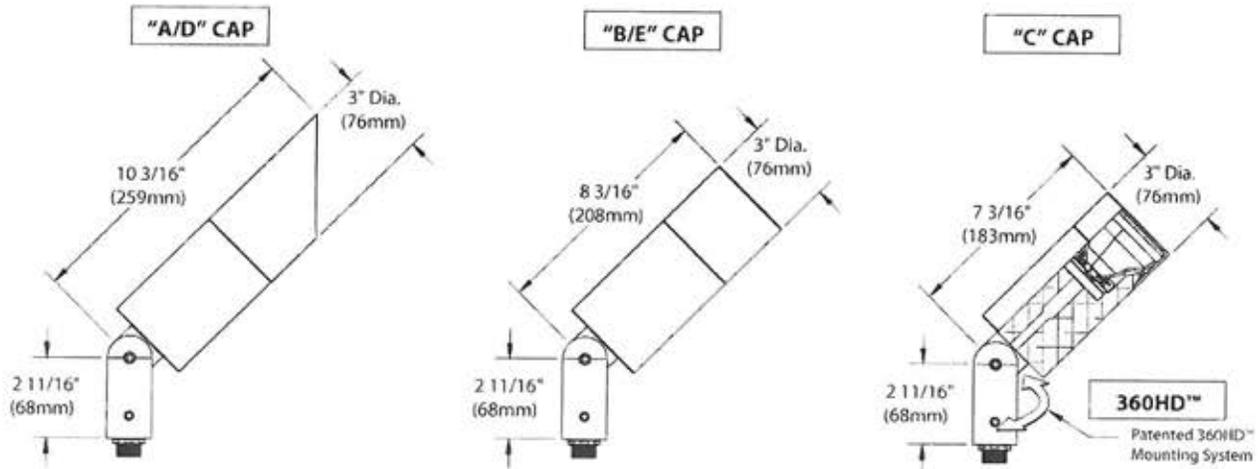


BKSSL
SOLID STATE LIGHTING powered by **XICATO**
MADE WITH SOLAR AND LED



DENALI™ FLOODLIGHT

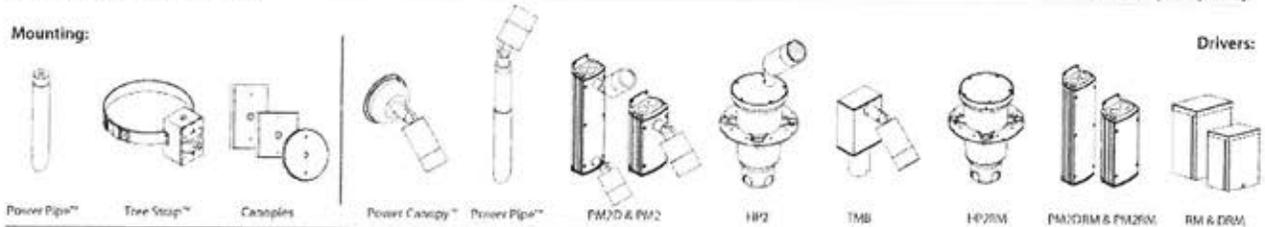
PROJECT:	Shelter Cove Harbour Improvements
TYPE:	DE-LED-x26-WFL-BLP-9-11-A



All dimensions indicated on this submittal are nominal.
Contact Technical Sales if you require more stringent specifications.

Accessories (Configure separately)

Mounting:



Drivers (Configure separately)

Drivers:

SPECIFICATIONS

GreenSource Initiative™

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced onsite. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult www.bklighting.com/greensource for program requirements.

Materials

Furnished in Copper-Free Aluminum (Type 6061-T6).

Body

Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. Integral knuckle for maximum mechanical strength. High temperature, silicone 'O' Ring provides water-tight seal.

Knuckle

Patented 360HD™ Mounting System features a mechanical taper-lock, which allows a full 180° vertical adjustment without the use of serrated teeth, which inherently limit aiming. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lb. static load prior to movement to ensure decades of optical alignment. 1/2" pipe thread for mounting. Bixial source control additionally provides 360° horizontal rotation in addition to vertical adjustment. 'Aim-And-Lock' Technology allows precision adjustment without the redundant tightening and loosening of knuckle screws.

Cap

Fully machined. Accommodates (2) lens or louvre media. Choose from 45° cutoff ('A' or 'D'), 1" deep bezel with 90° cutoff ('B' or 'E') or flush lens ('C') cap styles. 'A' and 'B' caps include weep-hole for water and debris drainage. 'D' and 'E' caps exclude weep-hole and are for interior use only.

Lens

Shock resistant, tempered, glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment.

BKSSL™

Integrated solid state system with 'x' technology is scalable for field upgrade. Modular design with electrical quick disconnects permit field maintenance.

LM-80 certified. Minimum 50,000 hour rated life at 70% of initial lumens (L70). BKSSL technology provides long life, significant energy reduction and exceptional thermal management.

Color Management

Corrected cold phosphor technology delivers near-perfect natural white light. Long term phosphor maintenance over product life. Exact color point conformity exceeds ANSI C78.377 standard. Provides uniform beam with no color variation over angle. Module exceeds 80 CRI (RA>80, R9>16).

Remote Driver

For use with remote LED driver. See remote driver submittal to determine remote distance and wiring requirements prior to detailing field installation of any remote wiring.

Optics

Interchangeable OPTIKIT™ modules permit field changes to optical distribution.

Wiring

Teflon™ coated, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

Hardware

Tamper-resistant, stainless steel hardware. 360HD™ hardware is additionally black oxide treated for additional corrosion resistance.

Finish

StarGuard™ (Pat. Pend.), a RoHS compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating. RoHS compliant.

Warranty

5 year limited warranty.

Certification and Listing

ETL tested to IESNA LM-79. Lighting Facts Registration per USDOE (www.lightingfacts.com). ETL Listed to ANSI/UL Standards 159B, 8750 and Certified to CAN/CSA Standard C22.2 No. 250. RoHS compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. Additionally suitable for installation within 4' of the ground. IP66 Rated. Made in USA.



Teflon is a registered trademark of DuPont Corporation.
Energy Star is a registered trademark of the United States Environmental Protection Agency.

B-K LIGHTING

40429 Brickyard Drive • Madera, CA 93636 • USA
559.438.5800 • FAX 559.438.5900
www.bklighting.com • info@bklighting.com

SUBMITTAL DATE
12-14-11

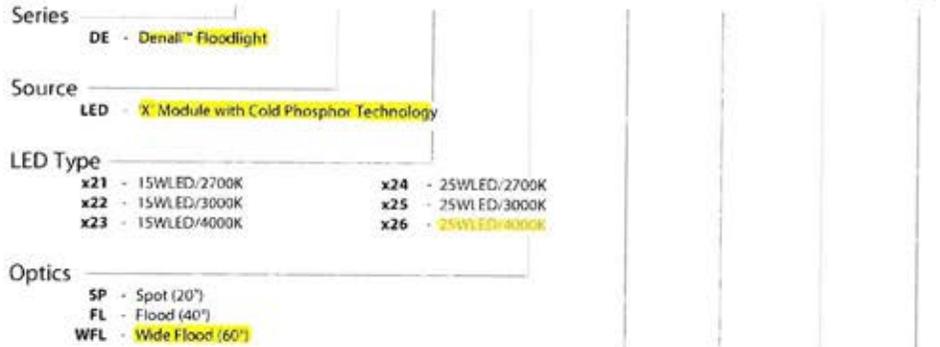
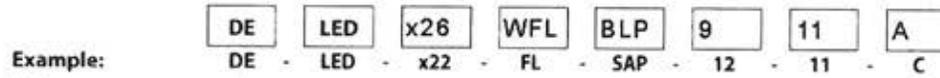
DRAWING NUMBER
SUB001113



DENALI™ FLOODLIGHT

PROJECT:	Shelter Cove Harbour Improvements
TYPE:	DE-LED-x26-WFL-BLP-9-11-A
CATALOG NUMBER:	
SOURCE:	
NOTES:	

CATALOG NUMBER LOGIC



Configure Separately

Driver Housing Required

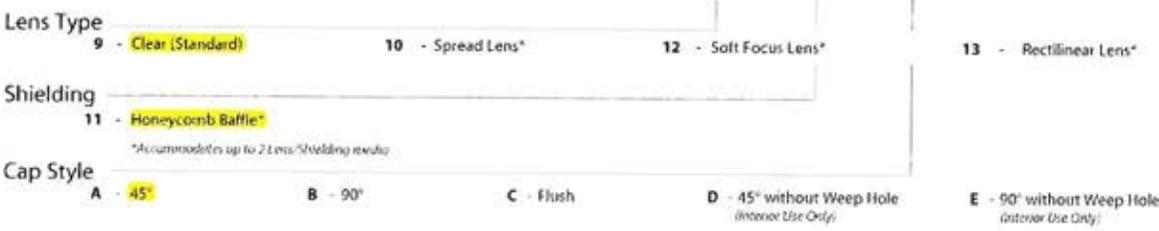
- HP2 - HP2 Housing
- HP2RM - HP2 Remote Housing
- PM2 - Universal Power Module 2
- PM2D - Universal Power Module 2 Dual
- PM2RM - Universal Power Module 2 Remote
- PM2DRM - Universal Power Module 2 Dual Remote
- PC - Power Canopy
- PPII - Power Pipe II
- TMB - Pole Mount or Tenon Mount
- RM - Remote Wall Mount
- DRM - Dual Remote Wall Mount

Standard Finish

Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	—
Verde	—	VER

Premium Finish

ABP - Antique Brass Powder	CMG - Cascade Mountain Granite	RMG - Rocky Mountain Granite
AMG - Aleutian Mountain Granite	CRI - Cracked Ice	SDS - Sonoran Desert Sandstone
AQW - Antique White	CRM - Cream	SMG - Sierra Mountain Granite
BCM - Black Chrome	HUG - Hunter Green	TXF - Textured Forest
BGE - Beige	MDS - Mojave Desert Sandstone	WCP - Weathered Copper
BPP - Brown Patina Powder	NBP - Natural Brass Powder	WIR - Weathered Iron
CAP - Clear Anodized Powder	OCP - Old Copper	Also available in RAL Finishes See Submittal SUB-1439-00



LM79 DATA

BK No.	CCT (Typ.)	CRI (Ra. Typ.)	Color Consistency	Input Watts (Typ.)
x21	2700K	>80	±40K	15
x22	3000K	>80	±50K	16
x23	4000K	>80	±70K	15
x24	2700K	>80	±40K	25
x25	3000K	>80	±50K	25
x26	4000K	>80	±70K	25

L70 DATA

Minimum Rated Life (hrs.) 70% of initial lumens (L70)
50,000
50,000
50,000
50,000
50,000
50,000

OPTICAL DATA

Beam Type	Angle
Spot	20°
Flood	40°
Wide Flood	60°

B-K LIGHTING	40429 Brickyard Drive • Madera, CA 93636 • USA 559.438.5800 • FAX 559.438.5900 www.bklighting.com • info@bklighting.com	SUBMITTAL DATE	DRAWING NUMBER
		12-14-11	SUB001113

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Client: _____
 Project name: Shelter Cove Harbour Improvements
 Order #: _____
 Type: LOG RO-120-48-40K-60x60-WAM12-BK-NO Qty: _____

FEATURES AND BENEFITS

Physical :

- Low copper content extruded aluminum housing
- Available in 1', 2', 3' or 4' sections
- Electro-statically applied polyester powder coat finish
- Machined aluminum end caps and silicone gaskets
- Stainless steel hardware
- Clear tempered glass
- 10° x 10°, 10° x 60°, 30° x 60° or 60° x 60° optics
- IP66
- Corrosion-resistant option for marine environments
- Meets 3G ANSI C136.31 Vibration standard for bridge applications



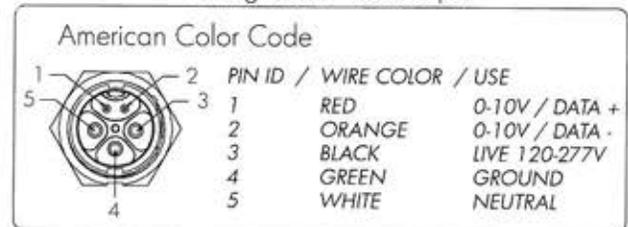
lumen talk

EcoSystem Enabled

Performance :

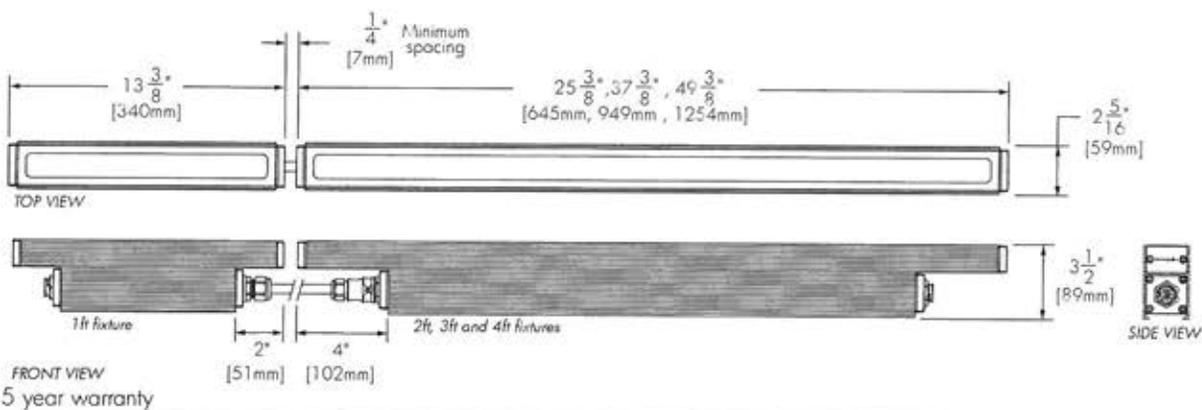
- Minimum 1fc (10.7 lux) @ 129 feet (39.3m) distance (4000K, 4' unit, 10° x 60° optic, HO version)
- 2,929 delivered lumens and 16,765 candelas at nadir (4000K, 4' unit, 10° x 60° optic, HO version)
- CRI values: 85+ (2700K), 80+ (3000K), 78+ (4000K)
- lumen maintenance 120,000 hrs (L70 @ 25°C)
- lumen measurements comply with LM - 79 - 08 standard
- Resolution per foot or per fixture (see page 5)
- Operating temperatures: -25° C to 50° C [-13F to 122F]

Wiring detail - female pin



Electrical :

- Line voltage luminaire for 120 to 277V
- Power and data in 1 cable (#16-5)
- Up to 88 feet with a single 120V power feed, HO version
- 5W/ft version meets ASHRAE standards for linear lighting on building facades
- 8.5W/ft Regular Output version
- 15.25W/ft High Output version
- Dimming options: 0-10 volt, DMX, DALI, lumentalk, or Lutron® EcoSystem® enabled



HOW TO ORDER

LOG RO	120	48	40K	60x60	WAM12	BK	NO	
Housing	Voltage	Length	Colors and color temperatures	Optic	Mounting Option	Finish	Dimming	Option
1	2	3	4	5	6	7	8	9
1					6			
						7		
							8	
								9

Housing:

LOG ASHRAE - lumenfacade™, 5W/ft ASHRAE compliant

LOG RO - lumenfacade™ Regular Output, 8.5W/ft

LOG HO - lumenfacade™ High Output, 15.25W/ft

Mounting Option:

SAM - Slim Adjustable Mounting

UMP - Fixed Mounting
(Suitable to use when **3GV** option is specified)

UMAS - Universal Adjustable Mounting
(Suitable to use when **3GV** option is specified)

WAM2 - Adjustable Wall Mounting 2"

WAM6 - Adjustable Extended Arm Mounting 6"

WAM12 - Adjustable Extended Arm Mounting 12"

Voltage:

120 - 120 volts

208 - 208 volts

240 - 240 volts

277 - 277 volts

7

Finish:

SI - Silver SandText

BK - Black SandText

WH - White

CC - Custom (please specify RAL color)

Length:

12 - 13 3/8 inches (340mm) (2 kg/4.5 lbs)

24 - 25 3/8 inches (645mm) (3.17 kg/7 lbs)

36 - 37 3/8 inches (949mm) (4.75 kg/10.5 lbs)

48 - 49 3/8 inches (1254mm) (6.35 kg/14 lbs)

8

Dimming:

NO - No Dimming

LT - Lumentalk Dimming
(available for 2', 3' and 4' lengths only)
(1% minimum dimming value)

DIM - 0-10V Dimming option
(10% minimum dimming value)

DMX 1FT - DMX Dimming option, resolution per foot
(1% minimum dimming value)

DMX 1FX - DMX Dimming option, resolution per fixture
(1% minimum dimming value)

DALI - DALI Dimming option
(1% minimum dimming value)

ES - Lutron® EcoSystem® Enabled Dimming
(available for 2', 3' and 4' lengths only)
(1% minimum dimming value)

Colors and Color temperatures:

27K - 2700K

30K - 3000K

35K - 3500K

40K - 4000K

RD - Red

GR - Green

BL - Blue

9

Option:

ETE - End-to-end configuration, no jumper cable needed

CRC - Corrosion-resistant Coating

3GV - 3G ANSI C136.31 Vibration Rating

N.B. Available with UMP and UMAS mounting options only.

Optics:

10x10 - 10° x 10°

*For best results use with HO fixtures at a 6-inch (15cm) setback from surface. Contact factory for application support.



10x60 - 10° x 60°



30x60 - 30° x 60°



60x60 - 60° x 60°



Shelter Cove Harbour Conceptual Plant Palette

Trees & Palms



Forest Pansey Redbud



Sago Palm



Cabbage Palm



Sylvester Palm (As Alternate)



Tuskegee Crape Myrtle



Tuskegee Crape
Myrtle Bloom

Shelter Cove Harbour Conceptual Plant Palette

Shrubs



Autumn Lilac Encore Azalea



Petite Delight Loropetalum



Variegated Ginger



Munchkin Oakleaf Hydrangea



Silver Saw Palmetto



Philodendron



Double Knockout Roses



Giant Elephant Ear

Shelter Cove Harbour Conceptual Plant Palette

Groundcovers



Asiatic Jasmine



Autumn Fern



Sun Stripe Agapanthus



Purple Heart Plant



Variegated Flax Lily



Variegated Asiatic Jasmine



Japanese Forest Grass

Shelter Cove Harbour Conceptual Plant Palette

Groundcovers



Ponytail Fern



Evergreen Giant Liriope



White African Iris



Imperial Blue Plumbago



Coontie



Creeping Rosemary



↑ ↘
ONLY

NO
PARKING
TOW
AWAY
ZONE
SC-23 1-15







SHELTER COVE HARBOUR
Waterfront Shopping and Dining















ANCHORAGE
ARTS CENTER
CAPTAIN'S QUARTERS
ELA'S GRILLE
Marriott VACATION CLUB
MAINSAIL
TRADEWINDS
YACHT CLUB VILLAS
HARBORSIDE LANE
SHOPPING/DINING

DISCOVERY LANE
SHOPPING/DINING
MARINA
COURT HOUSE
COURT HOUSE
ELA'S VILLAGE
BEACH CLUB RELAX

YIELD





INFORMATION
ARTS CENTER
CAPTAIN'S QUARTERS
FLA'S GRILLE
JANET'S REGION CLUB
MARKING
TRADEWINDS
YACHT CLUB VILLAS
HARBORHOUSE MARINE
SHOPPING/LOADING









MATCHLINE SHEET L2

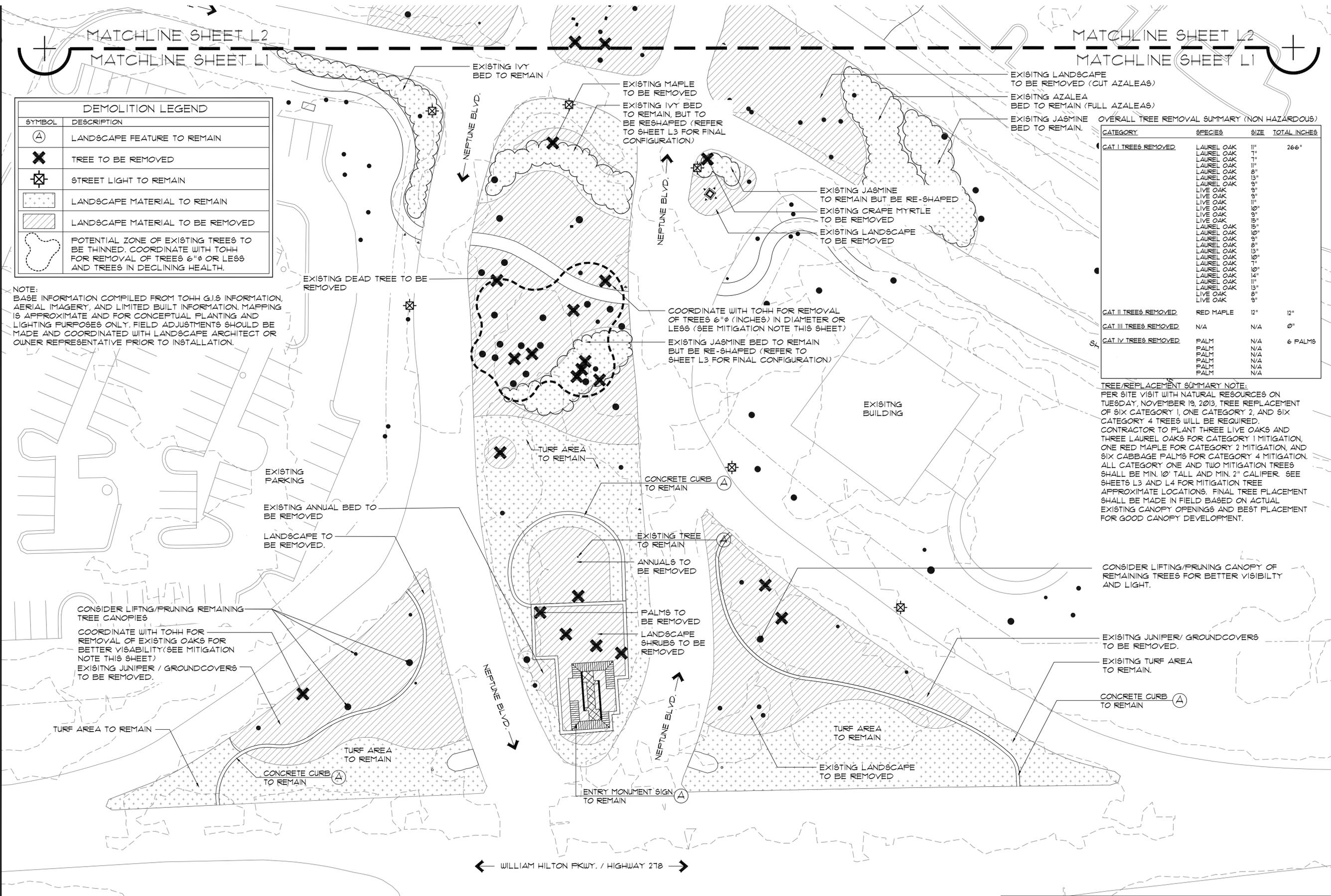
MATCHLINE SHEET L1

MATCHLINE SHEET L2

MATCHLINE SHEET L1

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
(A)	LANDSCAPE FEATURE TO REMAIN
X	TREE TO BE REMOVED
⊗	STREET LIGHT TO REMAIN
(+)	LANDSCAPE MATERIAL TO REMAIN
(-)	LANDSCAPE MATERIAL TO BE REMOVED
(-)	POTENTIAL ZONE OF EXISTING TREES TO BE THINNED. COORDINATE WITH TOHH FOR REMOVAL OF TREES 6"Ø OR LESS AND TREES IN DECLINING HEALTH.

NOTE:
 BASE INFORMATION COMPILED FROM TOHH G.I.S INFORMATION, AERIAL IMAGERY, AND LIMITED BUILT INFORMATION. MAPPING IS APPROXIMATE AND FOR CONCEPTUAL PLANTING AND LIGHTING PURPOSES ONLY. FIELD ADJUSTMENTS SHOULD BE MADE AND COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.



OVERALL TREE REMOVAL SUMMARY (NON HAZARDOUS)

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CAT I TREES REMOVED	LAUREL OAK	12"	266"
	LAUREL OAK		
CAT II TREES REMOVED	RED MAPLE	12"	12"
CAT III TREES REMOVED	N/A	N/A	0"
CAT IV TREES REMOVED	PALM	N/A	6 PALMS
	PALM		

TREE REPLACEMENT SUMMARY NOTE:
 PER SITE VISIT WITH NATURAL RESOURCES ON TUESDAY, NOVEMBER 19, 2013, TREE REPLACEMENT OF SIX CATEGORY 1, ONE CATEGORY 2, AND SIX CATEGORY 4 TREES WILL BE REQUIRED. CONTRACTOR TO PLANT THREE LIVE OAKS AND THREE LAUREL OAKS FOR CATEGORY 1 MITIGATION, ONE RED MAPLE FOR CATEGORY 2 MITIGATION, AND SIX CABBAGE PALMS FOR CATEGORY 4 MITIGATION. ALL CATEGORY ONE AND TWO MITIGATION TREES SHALL BE MIN. 10' TALL AND MIN. 2" CALIPER. SEE SHEETS L3 AND L4 FOR MITIGATION TREE APPROXIMATE LOCATIONS. FINAL TREE PLACEMENT SHALL BE MADE IN FIELD BASED ON ACTUAL EXISTING CANOPY OPENINGS AND BEST PLACEMENT FOR GOOD CANOPY DEVELOPMENT.

CONSIDER LIFTING/PRUNING CANOPY OF REMAINING TREES FOR BETTER VISIBILITY AND LIGHT.

EXISTING JUNIPER/ GROUNDCOVERS TO BE REMOVED.

EXISTING TURF AREA TO REMAIN.

CONCRETE CURB TO REMAIN

SHELTER COVE
 HARBOUR COMPANY
 Hilton Head Island, SC

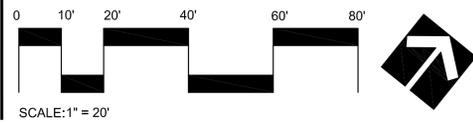
NEPTUNE BOULEVARD
 LANDSCAPE & LIGHTING ENHANCEMENTS
 Shelter Cove Harbour
 Hilton Head Island, South Carolina

DRAWN BY:
 BH
 CHECKED BY:
 TG

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#	REVISION	DATE	BY

DATE
 11-25-13
 PROJECT NUMBER
 01-13025
 SHEET TITLE
 CONCEPTUAL ANALYSIS,
 DEMO, GRUBBING, &
 TREE REMOVAL



BASE INFORMATION COMPILED FROM TOHH G.I.S INFORMATION, AERIAL IMAGERY, AND LIMITED BUILT INFORMATION. MAPPING IS APPROXIMATE AND FOR CONCEPTUAL PLANTING AND LIGHTING PURPOSES ONLY. FIELD ADJUSTMENTS SHOULD BE MADE AND COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.

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L1

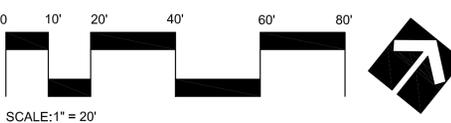
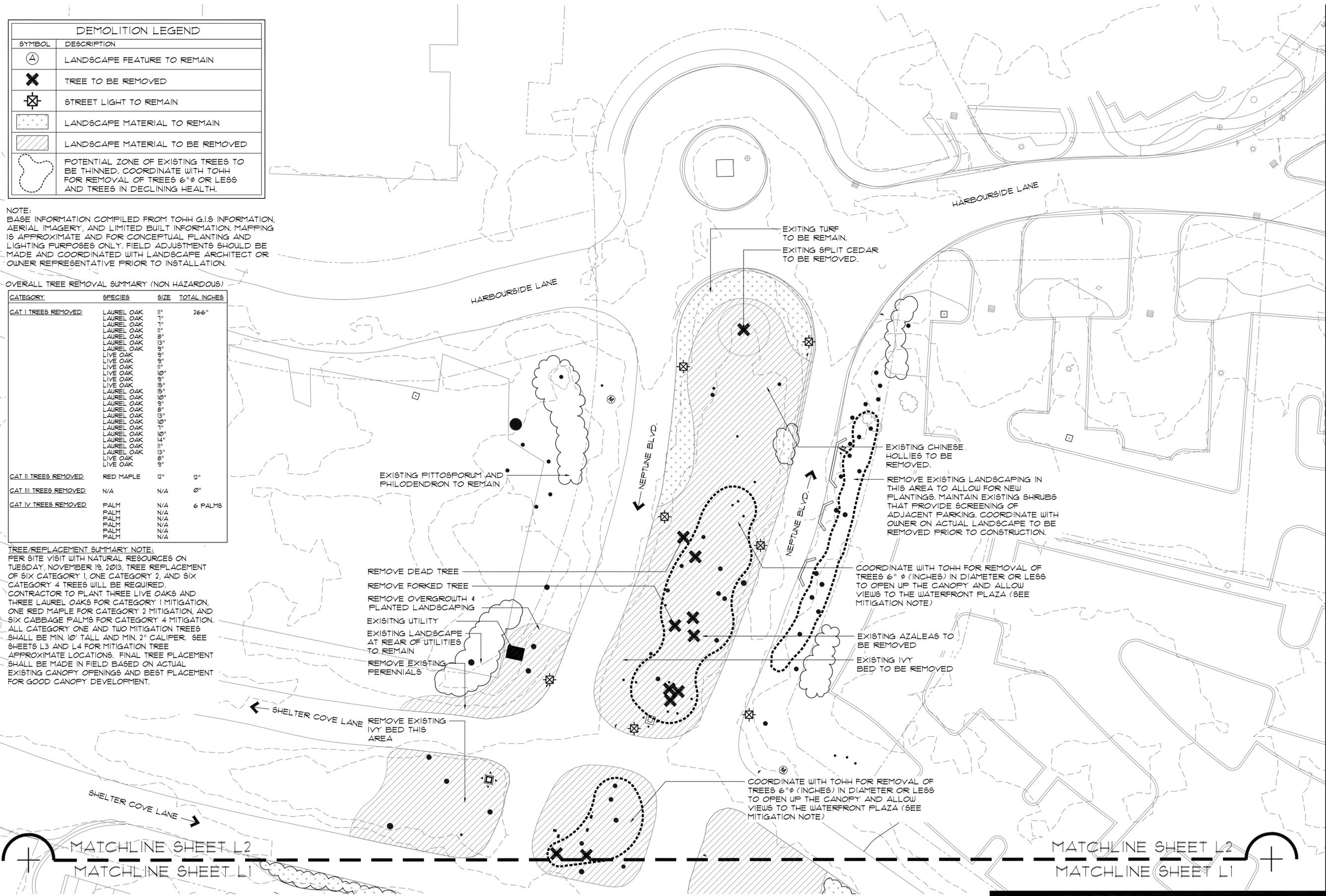
DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
(A)	LANDSCAPE FEATURE TO REMAIN
X	TREE TO BE REMOVED
⊗	STREET LIGHT TO REMAIN
[Dotted Pattern]	LANDSCAPE MATERIAL TO REMAIN
[Hatched Pattern]	LANDSCAPE MATERIAL TO BE REMOVED
[Dashed Outline]	POTENTIAL ZONE OF EXISTING TREES TO BE THINNED. COORDINATE WITH TOHH FOR REMOVAL OF TREES 6" Ø OR LESS AND TREES IN DECLINING HEALTH.

NOTE:
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	LIVE OAK		
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	LIVE OAK		
	LIVE OAK		
	LIVE OAK		
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	PALM		

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SHELTER COVE
 HARBOUR COMPANY
 Hilton Head Island, SC

NEPTUNE BOULEVARD
 LANDSCAPE & LIGHTING ENHANCEMENTS
 Shelter Cove Harbour
 Hilton Head Island, South Carolina

DRAWN BY:
 BH
 CHECKED BY:
 TG

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 SHEET TITLE
 CONCEPTUAL ANALYSIS,
 DEMO, GRUBBING, &
 TREE REMOVAL

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L2

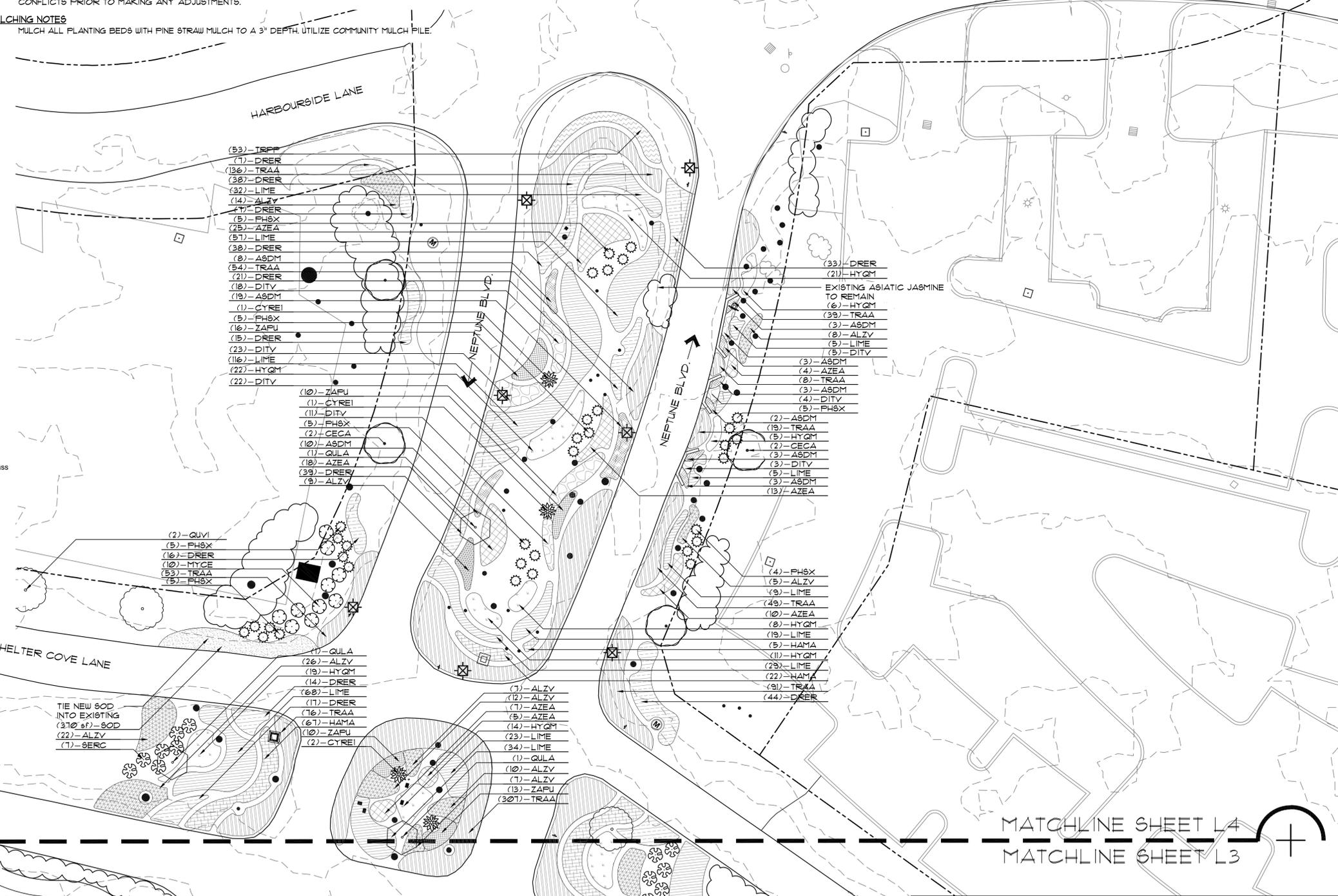
LEGEND	
SYMBOL	DESCRIPTION
●	APPROXIMATE LOCATION OF EXISTING TREE (TO REMAIN)
—	APPROXIMATE LOCATION OF EXISTING CONCRETE
☁	APPROXIMATE LOCATION OF EXISTING VEGETATION TO REMAIN

- GENERAL PLANTING NOTES:**
1. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 2. NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
 3. FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR WOOD FIBER MULCH.
 4. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY.
 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
 6. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
 7. WARRANT EXTERIOR PLANTS, FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 8. FURNISH NURSERY-GROWN EXTERIOR PLANT MATERIALS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 9. ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.
 10. ALL PLANTED AREAS TO RECEIVE 100% IRRIGATION COVERAGE. TIE INTO EXISTING IRRIGATION SYSTEM AS REQUIRED. IRRIGATION SYSTEM TO MEET ALL LOCAL AND NATIONAL PLUMBING AND ELECTRICAL CODES.
 11. CONTRACTOR TO AVOID ANY DAMAGE TO ALL EXPOSED TREE ROOTS. IF CONFLICTS WITH TREE ROOTS EXIST, CONTRACTOR SHALL NOT CUT TREE ROOTS AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO MAKING ANY ADJUSTMENTS.

- MULCHING NOTES**
1. MULCH ALL PLANTING BEDS WITH PINE STRAW MULCH TO A 3" DEPTH. UTILIZE COMMUNITY MULCH PILE.

PLANT SCHEDULE - SHELTER COVE LANE TO HARBOURSIDE LANE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
●	CECA	4	Cercis canadensis / Eastern Redbud
●	QUVI	2	Quercus virginiana / Live Oak
●	QULA	2	Quercus laurifolia / Laurel Oak
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME
☼	CYRE1	4	Cycas revoluta / Japanese Sago Palm
☼	MYCE	10	Myrica cerifera / Wax Myrtle
☼	PHSX	34	Philodendron selloum / Philodendron
☼	SERC	14	Serenoa repens 'Cinerea' / Silver Saw Palmetto
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME
▨	ALZV	135	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger
▨	ASDM	54	Asparagus densiflorus 'Myers' / Foxtail Fern
▨	AZEA	82	Azalea Encore 'Autumn Lilac' TM / Autumn Lilac Azalea
▨	DITV	86	Dianella tasmanica 'Variegata' / Variegated Flax Lily
▨	DRER	320	Dryopteris erythrosora / Autumn Fern
▨	HAMA	222	Hakonechloa macra / Japanese Forest Grass
▨	HYQM	126	Hydrangea quercifolia 'Munchkin' / Oakleaf Hydrangea
▨	LIME	521	Liriope muscari 'Evergreen Giant' / Evergreen Giant Border Grass
▨	TRAA	1,217	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine
▨	TRPP	53	Tradescantia pallida 'Purple Heart' / Purple Heart Plant
▨	ZAPU	49	Zamia pumila / Coontie
SOD/SEED	CODE	QTY	BOTANICAL NAME / COMMON NAME
▨	SOD	370 sf	Sod / Sod (To Match Existing)



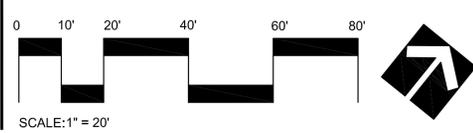
SHELTER COVE HARBOUR COMPANY
Hilton Head Island, SC

NEPTUNE BOULEVARD LANDSCAPE & LIGHTING ENHANCEMENTS
Shelter Cove Harbour
Hilton Head Island, South Carolina

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CHECKED BY: TG
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#	REVISION	DATE	BY

DATE: 11-25-13
PROJECT NUMBER: 01-13025
SHEET TITLE: SHELTER COVE LANE TO HARBOURSIDE LANE LANDSCAPE PLAN



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L4

MATCHLINE SHEET L7

MATCHLINE SHEET L6

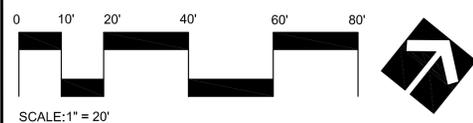
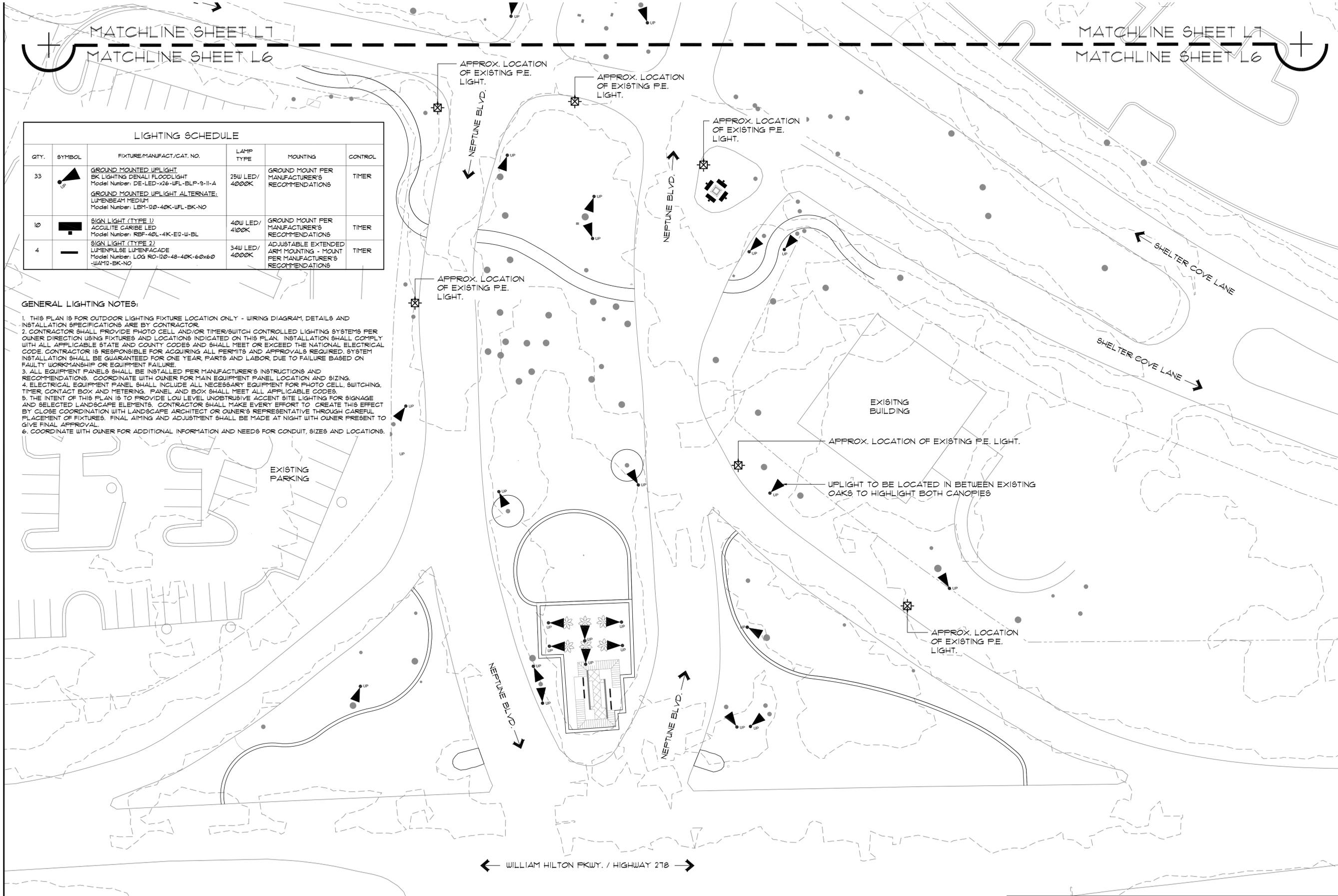
MATCHLINE SHEET L7

MATCHLINE SHEET L6

LIGHTING SCHEDULE					
QTY.	SYMBOL	FIXTURE/MANUFACT./CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
33		GROUND MOUNTED UPLIGHT BK LIGHTING DENALI FLOODLIGHT Model Number: DE-LED-x26-UPL-BLP-9-11-A GROUND MOUNTED UPLIGHT ALTERNATE: LUMENBEAM MEDIUM Model Number: LBM-120-40K-UPL-BK-NO	25W LED/ 4000K	GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS	TIMER
10		SIGN LIGHT (TYPE 1) ACULITE CARIBE LED Model Number: RBF-40L-4K-E12-U-BL	40W LED/ 4100K	GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS	TIMER
4		SIGN LIGHT (TYPE 2) LUMENPULSE LUMENFACADE Model Number: LOG RO-120-48-40K-60x60 -UAM12-BK-NO	34W LED/ 4000K	ADJUSTABLE EXTENDED ARM MOUNTING - MOUNT PER MANUFACTURER'S RECOMMENDATIONS	TIMER

GENERAL LIGHTING NOTES:

1. THIS PLAN IS FOR OUTDOOR LIGHTING FIXTURE LOCATION ONLY - WIRING DIAGRAM, DETAILS AND INSTALLATION SPECIFICATIONS ARE BY CONTRACTOR.
2. CONTRACTOR SHALL PROVIDE PHOTO CELL AND/OR TIMER/SWITCH CONTROLLED LIGHTING SYSTEMS PER OWNER DIRECTION USING FIXTURES AND LOCATIONS INDICATED ON THIS PLAN. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES AND SHALL MEET OR EXCEED THE NATIONAL ELECTRICAL CODE. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AND APPROVALS REQUIRED. SYSTEM INSTALLATION SHALL BE GUARANTEED FOR ONE YEAR, PARTS AND LABOR, DUE TO FAILURE BASED ON FACTORY WORKMANSHIP OR EQUIPMENT FAILURE.
3. ALL EQUIPMENT PANELS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE WITH OWNER FOR MAIN EQUIPMENT PANEL LOCATION AND SIZING.
4. ELECTRICAL EQUIPMENT PANEL SHALL INCLUDE ALL NECESSARY EQUIPMENT FOR PHOTO CELL, SWITCHING, TIMER, CONTACT BOX AND METERING. PANEL AND BOX SHALL MEET ALL APPLICABLE CODES.
5. THE INTENT OF THIS PLAN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE ACCENT SITE LIGHTING FOR SIGNAGE AND SELECTED LANDSCAPE ELEMENTS. CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE THROUGH CAREFUL PLACEMENT OF FIXTURES. FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH OWNER PRESENT TO GIVE FINAL APPROVAL.
6. COORDINATE WITH OWNER FOR ADDITIONAL INFORMATION AND NEEDS FOR CONDUIT, SIZES AND LOCATIONS.



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SHELTER COVE
HARBOUR COMPANY
Hilton Head Island, SC

NEPTUNE BOULEVARD
LANDSCAPE & LIGHTING ENHANCEMENTS
Shelter Cove Harbour
Hilton Head Island, South Carolina

DRAWN BY:
BH
CHECKED BY:
TG

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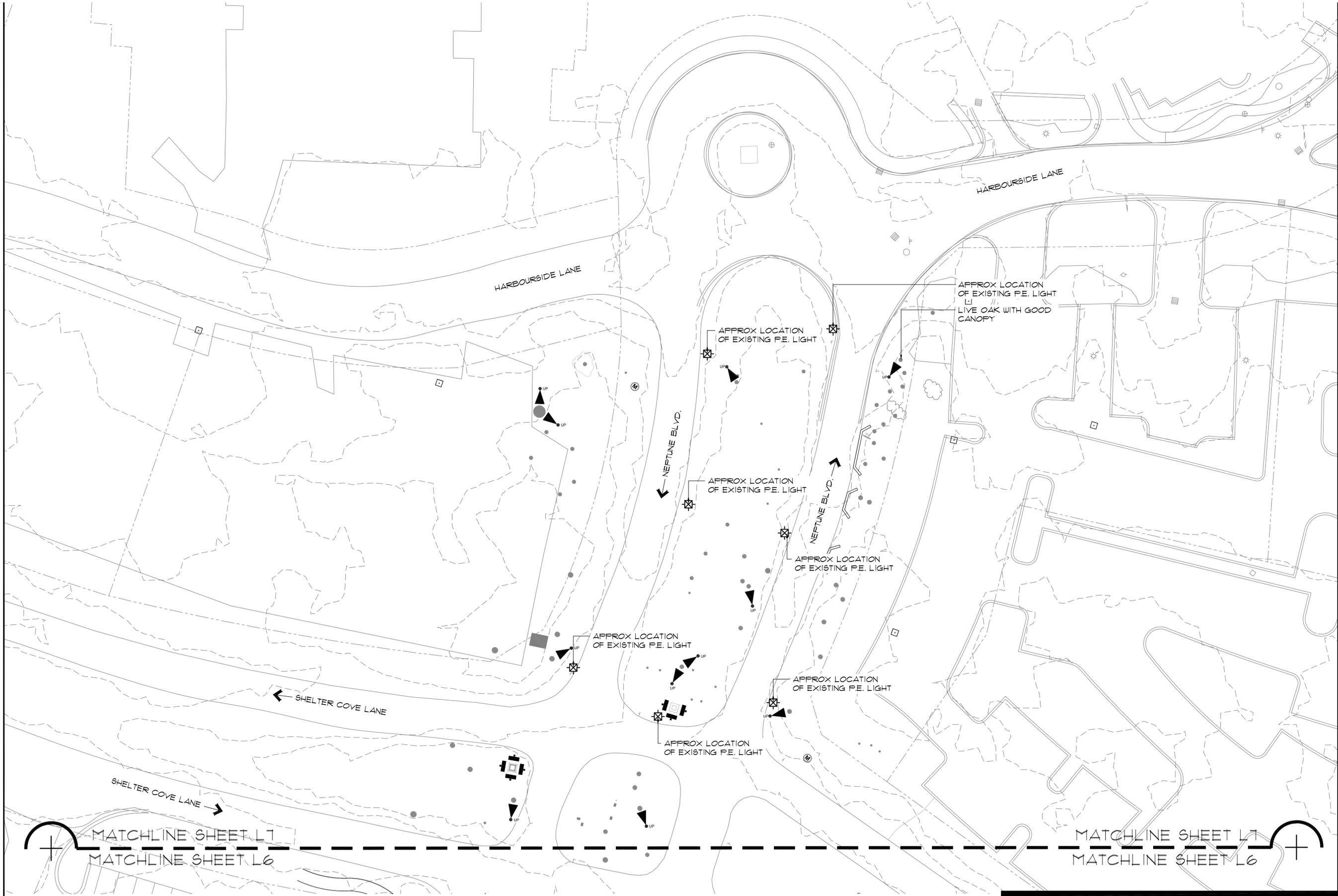
#	REVISION	DATE	BY

DATE
11-25-13
PROJECT NUMBER
01-13025
SHEET TITLE
SCHEMATIC
LIGHTING PLAN
& SCHEDULE

Wood+Partners Inc. **WPI**
Landscape Architects
Land Planners

PO Box 23619 Hilton Head Island, SC 29925
843.681.6318 Fax 843.681.7268 www.woodpartners.com

L6



**SHELTER COVE
HARBOUR COMPANY**
Hilton Head Island, SC

**NEPTUNE BOULEVARD
LANDSCAPE & LIGHTING ENHANCEMENTS**
Shelter Cove Harbour
Hilton Head Island, South Carolina

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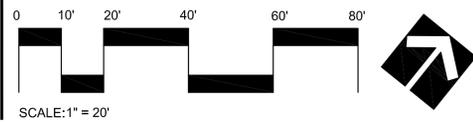
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SCHEMATIC
LIGHTING PLAN
& SCHEDULE

MATCHLINE SHEET L7
MATCHLINE SHEET L6

MATCHLINE SHEET L7
MATCHLINE SHEET L6



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L7

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Neptune Drive Upgrade – MINOR EXTERNAL CHANGE

DRB#: DR130055

DATE: January 14, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

The Shelter Cove Harbour Company proposes to upgrade the landscaping and lighting on Neptune Drive from the main front entrance on Highway 278 to Harbourside Drive in an effort to enhance its curb appeal. Phase 1 includes tree removal, tree trimming and mitigation, as well as new up-lighting.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Greg Beste Company: Greg Beste Architect
 Mailing Address: 1616 Rookery Way City: Hilton Head State: SC Zip: 29926
 Telephone: 843 441 0593 Fax: 843 681 9820 E-mail: gregbeste@gmail.com
 Project Name: Mathews Drive Carwash Project Address: 127 Mathews Dr.
 Parcel Number [PIN]: R _____ Overlay District(s): _____
 Zoning District: _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number

- Alteration/Addition
 Minor External Change

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

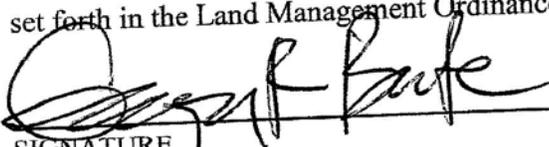
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

12/20/13

DATE

MATTHEWS DRIVE CAR WASH, 127 MATTHEWS DRIVE
TOWN OF HILTON HEAD ISLAND
CONCEPT DRB NARRATIVE

December 18, 2013

Project #130260

Existing Conditions

The Matthews Drive Car Wash is a proposed self-serve car wash located at 127 Matthews Drive, on the corner Matthews Drive and Power Alley, within the Industrial Park Subdivision. The proposed car wash parcel is 0.34 acres and was previously developed as a daycare. Currently the parcel is falling into disrepair, with the back portion of the building used as a contractor's office and the front portion essentially abandoned. The site has direct access to Power Alley and presently contains an existing building, mechanical systems, parking, walks, and chain link fencing.

The property is currently zoned CC (Commercial Center) and is preparing to submit for Conceptual DRB. There are no wetlands and minimal trees/vegetation on the property.

Water, Sewer, Telecommunications, and Electrical services all exist within the project area, along with access to existing storm drainage infrastructure.

Parking

Per Section 16-5-1209 of the Town's LMO, a car wash with an automatic wash shall provide 10 spaces per wash unit, which this parcel proposes. Additionally, vehicle stacking may be used to provide the required parking.

The current site plan allows for approximately 180' of stacking length, between the proposed connection to Power Alley and the entrance to the wash unit.

Access

Presently, the site has continual access along the building façade from Power Alley. The proposed plan will eliminate the existing asphalt along Power Alley and replace it with a single access point. Additionally, the parcel appears to have access rights to Matthews Drive, though it is not intending to use it.

Buffers & Setbacks

The existing structure and site infrastructure contains numerous non-conformities related to buffer and setback encroachments. Due to need for proper access, circulation, and stacking, the proposed site plan will also contain buffer and setback encroachments; however, the total encroachments will be less than currently exists.

A brief summary of existing and proposed buffer/setback encroachments:

- Buffers:
 - Existing:
 - 1,545 SF building
 - 1,195 SF paving
 - 2,740 SF total
 - Proposed:
 - 75 SF building
 - 2,620 SF paving
 - 2,695 SF total (45 SF decrease)
- Setbacks (areas in addition to previous buffer encroachments):
 - Existing:
 - 355 SF building
 - Proposed:
 - 170 SF building (185 SF decrease)

Fire Protection & Emergency Access

While the proposed site will not contain full circulation, because of the size of the parcel, the existing building maintains a minimum of 150' from both roadways. Also, there is an existing water main along the project side of both Matthews Drive and Power Alley; however, a hydrant has not been located. It is assumed the existing water and fire systems are suitable to serve the site. If a new hydrant is required it could be installed on either Matthews Drive or Power Alley.

Tree Removal & Mitigation

The subject site contains two existing trees: 1 14" Live Oak at the southwestern property corner and a 14" Pine at the southeastern property corner. Neither tree should be impacted by the proposed project.

The site will include a proposed landscape plan that should provide additional tree coverage.

Utilities

Existing water and sewer services, owned and maintained by Hilton Head PSD, are available for the subject parcel. Water service is available along the eastern shoulder of Matthews Drive (project side) from an existing 6" watermain and from the southern shoulder of Power Alley (project side) from an existing 8" watermain. Additionally, the existing building has a water service at the northwestern corner (intersection of Matthews Drive & Power Alley).

Sewer services are located the eastern should of Matthews Drive (project side) from an existing 36" sewer main. It is unsure how the existing building receives sewer service, though there is a clean-out in the rear of the building.

The proposed car wash will require a connection to either sewer or storm for any recycled water discharge. At this time, it is unsure which entity will ultimately receive any discharge.

Existing electrical services, owned and operated by Palmetto Electric, are in the project's vicinity, though it is unclear how the existing building receives electrical service. It is assumed all new services will connect to this existing system.

Existing cable television services, owned and operated by Time Warner Cable and/or Hargray Communications, are located along the southern boundary of the property, with the main service in the Matthews Drive right-of-way. It is assumed all new services will connect to this existing system.

Existing telecommunication services, owned and operated by Time Warner Cable and/or Hargray Communications, are in the project's vicinity, though it is unclear how the existing building receives telecommunication service. It is assumed all new services will connect to this existing system.

Drainage

The proposed parcel is located within the Industrial Park Subdivision, at the corner of Matthews Drive and Power Alley. The site is presently developed with an existing building, walks, and asphalt parking. The proposed project will demo the existing site infrastructure as part of the redevelopment. Ultimately, the redevelopment will replace the existing impervious area with less impervious coverage. By reducing the impervious coverage, the site will not require new stormwater detention BMPs.

The site will be graded such that the majority of runoff will sheet flow to the landscaper center of the site, where it will be collected in a series of inlets. These inlets will convey stormwater to an existing curb inlet located along Power Alley, near the intersection with Matthews Drive.

A brief breakdown of existing vs proposed impervious coverage:

- Existing
 - 4,815 SF building
 - 2,735 SF paving (walks & asphalt)
 - 7,550 SF total
- Proposed
 - 1,875 SF building (total including hardscape)
 - 2,245 SF paving
 - 4,120 SF total
- Difference: 3,430 SF decrease in impervious area

Additionally, the site proposes to utilize approximately 2,025 square feet of proposed pervious materials for paved surfaces within buffer areas.



West elevation of existing building along Mathews Drive, Power Alley on left.



West elevation of existing building along Mathews Drive, Power Alley and Shell Station on left.



Shell Station on left (north) of site at intersection of Power Alley and Mathews Drive.



Looking at adjacent buildings to the north of the site and Shell Station.



Looking south along Mathews Drive at adjacent Shell Station and Existing building on site beyond.



Looking south along Mathews Drive directly in front of site



Looking north along Mathews Drive directly in front of site.



Looking at site as approached from the south along Mathews Drive. Building in background is existing building on the site.



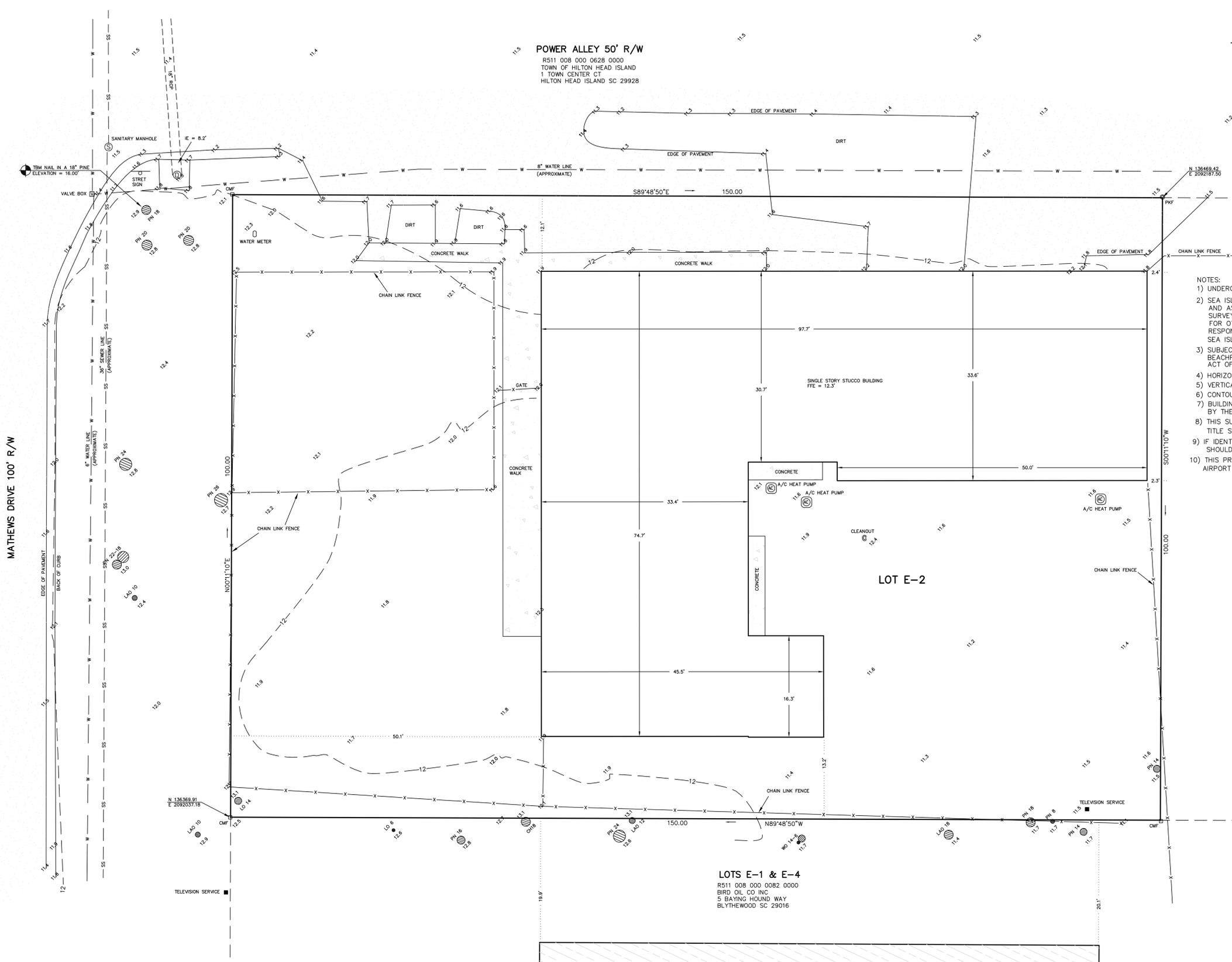
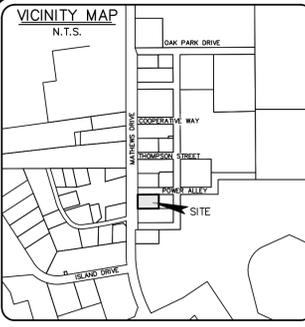
Looking west from the front of the site.



Looking west along Power Alley with existing building on left and Shell Station on right.



Back of Site, looking west with Power Alley on right and Mathews Drive beyond



- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
 - 5) VERTICAL DATUM IS NGVD29.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
 - 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
 - 10) THIS PROPERTY LIES EITHER PARTIALLY OR WHOLLY WITHIN THE HILTON HEAD ISLAND AIRPORT OVERLAY DISTRICT AND IS SUBJECT TO NOISE THAT MAY BE OBJECTIONABLE.

LOT E-3
(VACANT)
R511 008 000 0375 0000
MILLER DENNIE LAMAR
18 CLIFFORD MILLER DR
HILTON HEAD ISLAND SC 29926

LOTS E-1 & E-4
R511 008 000 0082 0000
BIRD OIL CO INC
5 BAYING HOUND WAY
BLYTHEWOOD SC 29016

ASBUILT, BOUNDARY,
TREE AND TOPOGRAPHIC SURVEY OF:
LOT E-2, INDUSTRIAL PARK SUBDIVISION,
MATHEWS DRIVE, HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: MMD ENTERPRISES

LEGEND & SYMBOLS:
TREE SIZES ARE INCHES IN DIAMETER

⊙	SPOT ELEVATION
—	CONTOUR
CMF ⊕	3" CONCRETE MONUMENT FOUND
PKF ⊕	P.K. NAIL FOUND
TBM	TEMPORARY BENCH MARK
IE	INVERT ELEVATION
FFE	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
LO	LIVE OAK
LAO	LAUREL OAK
PN	PINE
CH	WILD CHERRY
■	TELEVISION SERVICE
□	WATER METER
⊕	SANITARY MANHOLE
⊕	STORM MANHOLE
⊕	A/C HEAT PUMP
⊕	CLEANOUT

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



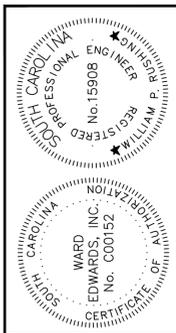
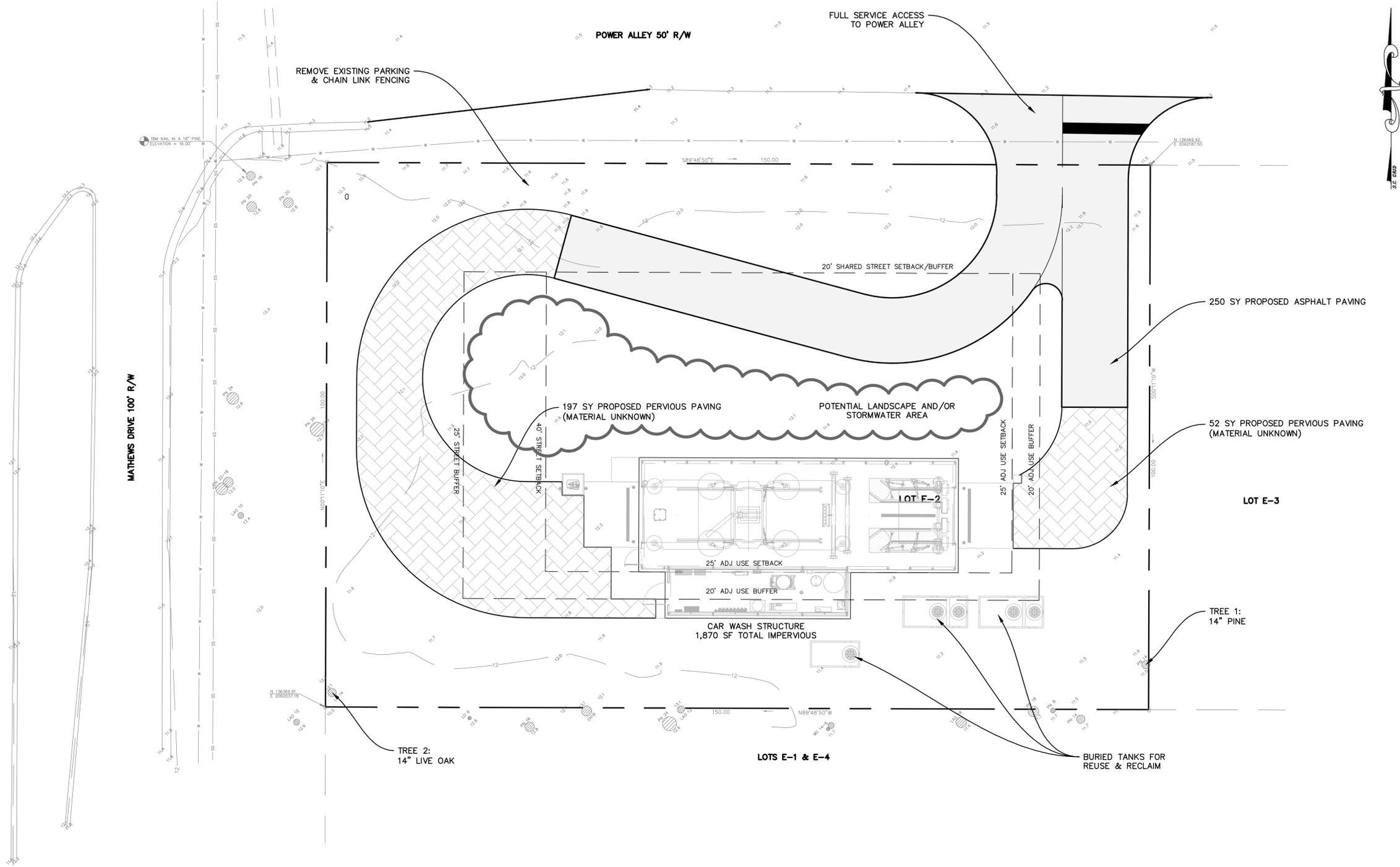
DATE: 10/08/13 SCALE: 1" = 8'
GRAPHIC SCALE

SILS Sea Island Land Survey, LLC.
4D Mathews Court, Tel (843) 681-3248
Hilton Head Island, SC 29926 Fax (843) 689-3871
E-mail: sils@sprynet.com
FILE No.: 13182 DWG No.: 5-1531

PROPERTY AREA = 0.34 AC. 15,000 S.F.
ADDRESS: # 127 MATHEWS DRIVE
DISTRICT: 511, MAP: 8, PARCEL: 86
THIS PROPERTY LIES IN F.E.M.A. ZONE A7
BASE FLOOD ELEVATION = 14.0'
COMMUNITY NO. 450250, PANEL 0008D, DATED: 9/29/06

REFERENCE PLAT
1) A PLAT SHOWING INDUSTRIAL PARK SUBDIVISION, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
DRAWN: AUGUST 1960
RECORDED IN BOOK 12, PAGE 73, DATED 8/30/60
ROD. BEAUFORT COUNTY, SC
BY: FRED C. HACK S.C.R.L.S. # 1377

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Ward Edwards
ENGINEERING
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2556
WWW.WARDEDWARDS.COM

MATHEWS DRIVE CAR WASH
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
DAVE ESSLER
Hilton Head Island, South Carolina
CONCEPTUAL DRB
CONCEPT SITE PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	<input type="checkbox"/> RELEASED FOR CONSTRUCTION
PROJECT #:	130260
DATE:	12/16/13
DESIGNED BY:	WGP
CHECKED BY:	GAB
SCALE:	1"=10'

SHEET



IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

Greg Beste, AIA, NCARB

66 Rookery Way

Hilton Head Island, SC 29926

843-441-0593

gregbeste@gmail.com

JOB _____

SHEET NO. _____

OF _____

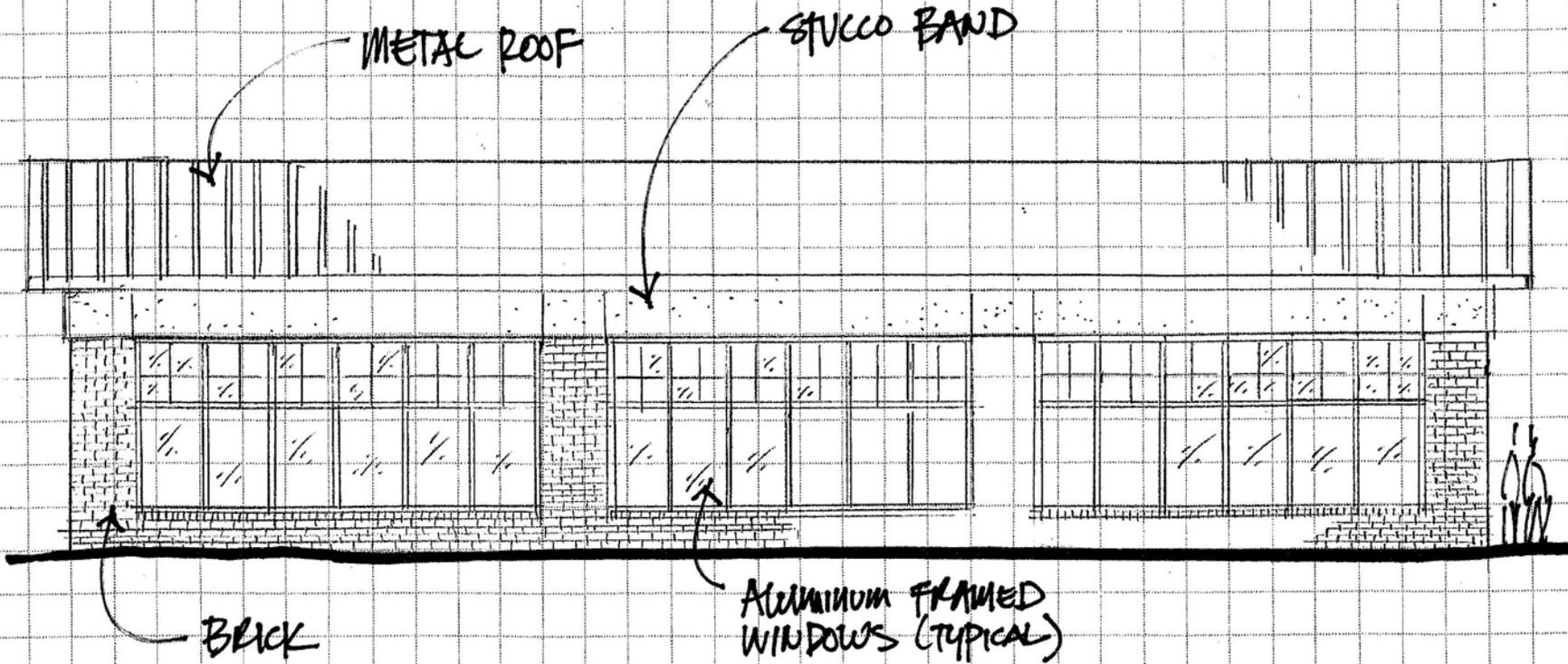
CALCULATED BY _____

DATE _____

CHECKED BY _____

DATE _____

SCALE _____



NORTH ELEVATION (POWER ALLEY)

1/8"

Greg Beste, AIA, NCARB

66 Rookery Way

Hilton Head Island, SC 29926

843-441-0593

gregbeste@gmail.com

JOB _____

SHEET NO. _____

OF _____

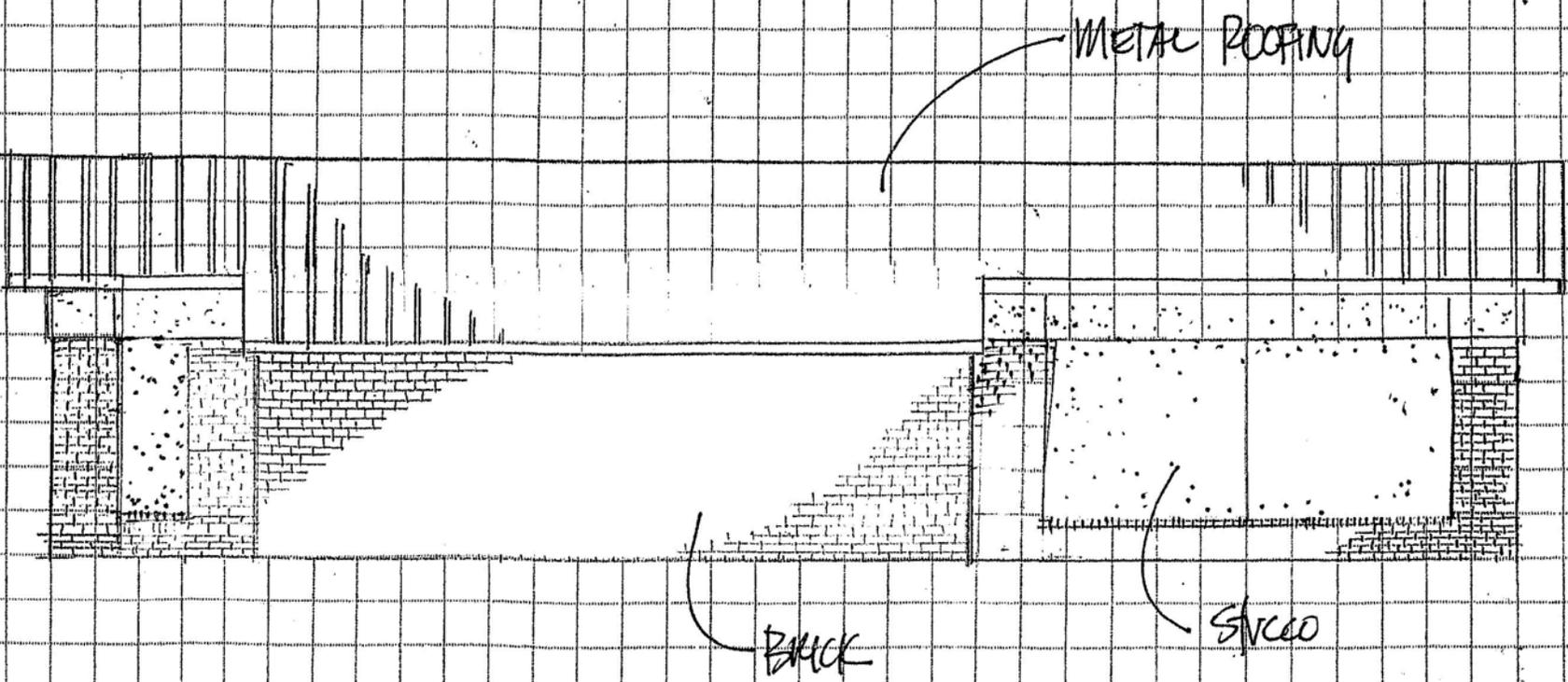
CALCULATED BY _____

DATE _____

CHECKED BY _____

DATE _____

SCALE _____



SOUTH ELEVATION
1/8"

Greg Beste, AIA, NCARB

66 Rookery Way
Hilton Head Island, SC 29926
843-441-0593
gregbeste@gmail.com

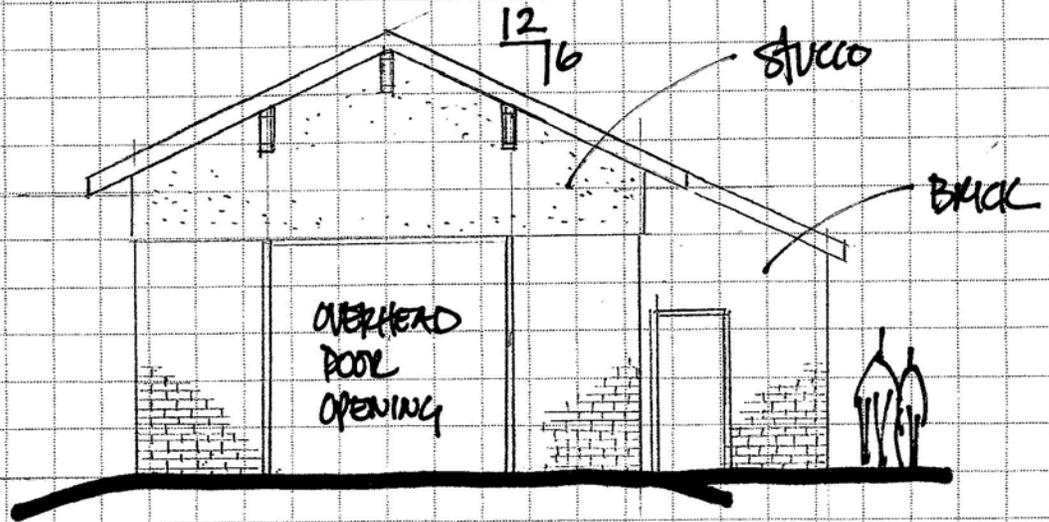
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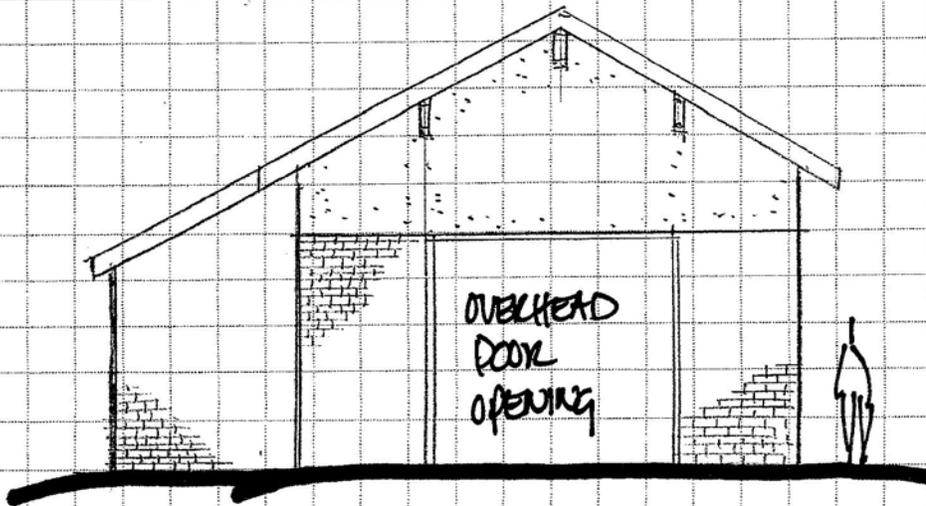
CHECKED BY _____ DATE _____

SCALE _____



WEST ELEVATION (MATTHEWS DRIVE)

1/8"



EAST ELEVATION

1/8"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Mathews Drive Carwash – NEW DEVELOPMENT
CONCEPTUAL

DRB#: DR130056

DATE: January 14, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Uses brick and stucco; colors are not specified but will be required for final submittal.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All facades have some detail/interest; amount varies based on use.
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Windows are long to be able to see into car wash.
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown. Lighting plan with cut sheets will be required for final submittal.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Little-to-no landscaping shown on plans; landscape plan with plant schedule will be required for final submittal.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Only two trees are existing on site and are proposed to remain.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

prevalent on the Island are utilized				
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Proposed drive aisle is located in front and rear buffers and will require a buffer from the BZA; drive aisle will be required to be constructed of pervious material and remaining buffer landscaped to bring it more into compliance.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: VICTOR TALLEY Company: HILL FOLEY ROSS & ASSOC.
 Mailing Address: 3600 PLEASANT HILL RD City: DULUTH State: GA Zip: 30096
 Telephone: 770.622.9858 Fax: 7.622.9535 E-mail: VTALLEY@HFRAA.COM
 Project Name: HILTON HEAD ZAXBYS Project Address: HWY. 278 & YACHT COVE DR.
 Parcel Number [PIN]: R 520 011 000 01 66 000 9 MARINA SIDE E PR
 Zoning District: COMMERCIAL CENTER CC Overlay District(s): CORRIDOR OVERLAY (COO2)

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|--|--|
| <input type="checkbox"/> New Development – Conceptual | <input type="checkbox"/> Alteration/Addition |
| <input checked="" type="checkbox"/> New Development – Final, indicate Project Number | <input type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- ____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- ____ Photographs and/or drawings of existing development.
- ____ Drawings of the proposed development – 11"x 17".
- ____ Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

VICTOR TALLEY ASSOC/PA
HILL FOLEY ROSE & ASSOC.
ARCHITECTS & ENGINEERS

DATE

12.30.13



November 26, 2013

RE: Hilton Head Island - Resubmittal
Proposed New Zaxby's Restaurant

To whom it may Concern:

The proposed design for the Zaxby's Restaurant in Hilton Head Island has been modified per the board member's comments at the original Preliminary Site and Architectural review meeting as listed below:

Exterior Color Scheme modification:

The dark red field color and red brick wainscot have been replaced with a Dove grey field, utilizing off white/ beige trim boards, corner trim, eaves, fascia boards and brackets. A subtle color combination that we feel underscores the beachy, nautical, casual feeling of the Hilton Head Island culture. The corresponding brick has been replaced with "Mosswood", a custom tumbled brick with mottled tones of putty, sandy browns, charcoal greys, accented by a buff color mortar, which coordinates with the trim boards and brackets.

Metal roofing modification:

The corrugated metal roofing profile has been replaced with a more traditional Standing Seam metal in a galvalume / silver color that compliments the new exterior color scheme.

Yacht Cove Drive additional Architectural elements:

Two additional faux vertical windows with matching abbreviated canopies and decorative brackets with chamfered or beveled ends have been added to the elevation facing Yacht Cove Drive. These windows provide a rhythm and design cues that correlate to the existing Architecture, as well providing a visual accent to the traffic along Yacht Cove Drive. This modification also provides an Architectural break in the length of the façade.

Parapet / Gable height transition:

To add an intermediate step from the height of the existing cornices to the Gabled elements, a secondary "tiered" cornice has been utilized, thereby softening the transition to the peak of the gables, and strengthening the character of the original design.

Please see the attached revised rendering and materials for reference. Should you have any questions or comments please feel free to contact me at 770-407-6900.

Sincerely,
Jeffrey T. Hill R.A.
South Carolina registration number
SC6470



elegant • enduring • energy efficient • sustainable • lifetime transferable warranty



PAC-CLAD® Steel

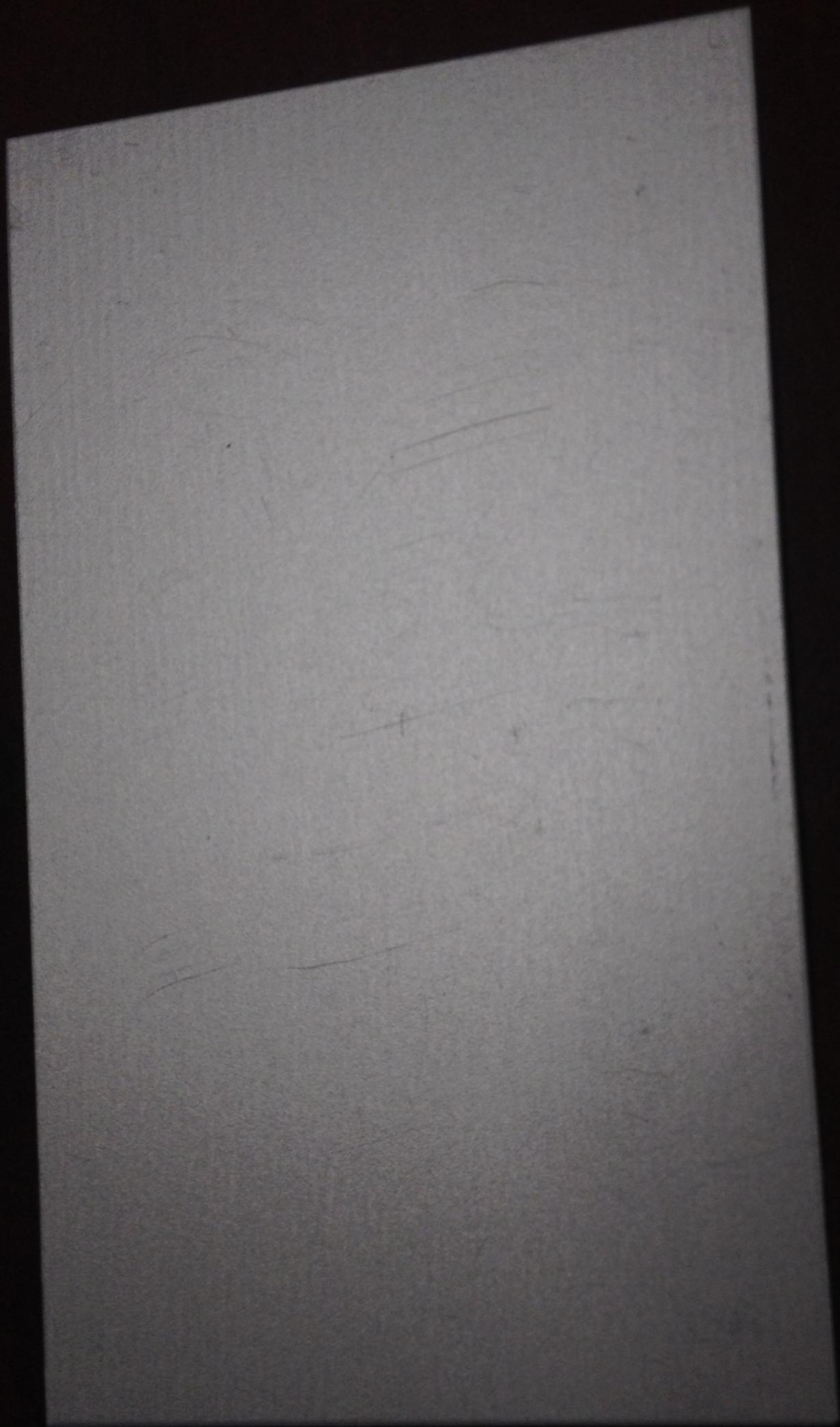
Kynar 500®

- | | |
|--|---|
| <input type="checkbox"/> Arcadia Green | <input type="checkbox"/> Mansard Brown |
| <input type="checkbox"/> Bone White | <input type="checkbox"/> Matte Black |
| <input type="checkbox"/> Burgundy | <input type="checkbox"/> Medium Bronze |
| <input type="checkbox"/> Cardinal Red | <input type="checkbox"/> Military Blue |
| <input type="checkbox"/> Colonial Red | <input type="checkbox"/> Musket Gray |
| <input type="checkbox"/> Dark Bronze | <input type="checkbox"/> Sandstone |
| <input type="checkbox"/> Forest Green | <input type="checkbox"/> Sierra Tan |
| <input type="checkbox"/> Hartford Green | <input type="checkbox"/> Slate Gray |
| <input type="checkbox"/> Hemlock Green | <input type="checkbox"/> Stone White |
| <input type="checkbox"/> Interstate Blue | <input type="checkbox"/> Teal |
| | <input type="checkbox"/> Terra Cotta |
| | <input checked="" type="checkbox"/> <i>Silver</i> |



**Petersen
Aluminum
Corporation**

1005 Tonne Road, Elk Grove Village, IL 60007
1-800-PAC-CLAD FAX: 1-800-722-7150



AccuLite™

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

PRODUCT DESCRIPTION

Beauty & Style The ultimate in stylish lighting design, the Alari™+ luminaire provides a graceful transition from ground to sky. The sweeping curves and elegant lines creates a daytime appeal not normally found in a luminaire of this type. Designer colors are available.

Premium Performance The precision engineered multi-faceted optical package ensures precise light control, high light levels and superior uniformity. High reflectance reflector materials are employed to achieve outstanding performance levels. An exciting new option, AccuLite's high transmission (98%) glass lens increases offers even higher levels of performance. The full complement of beam spreads makes Alari™+ the ideal choice for elegant high performance lighting

PRODUCT SPECIFICATIONS

Premium Optics Miro 4", 95% enhanced specular aluminum
 • Precision engineered multi-faceted reflectors ensures precise light control and superior uniformity
 • Heat resistant tempered glass lens

Vertical Metal Halide Lamp Position Base up metal halide lamps give 10% to 20% more light and lamp life is up to 25% longer than the same lamp mounted horizontally

High Transmission Lens 98% efficient high transmission glass lens is optional

Rotatable Optics Alari+ optics can be rotated in increments of 90°

Low EPA The Alari™+ luminaire features a sleek, low-resistance profile

"Dark Sky" Friendly Full cut-off • International Dark Sky Association Seal of Approval for dark sky friendly full cut-off luminaires

Tool-Less Relamping Snap action door latch

High/Low Switching The Alari HID luminaires can be ordered with a dual capacitor and controller that allows the fixtures to switch from full light output to approximately 50% of the light output, delivering approximately 40% energy reduction when the fixture operates in the low light output mode • The fixtures can be switched from High to Low with an external switch (supplied by others) or with an occupancy sensor that detects movement • AccuLite offers an infrared motion sensor accessory that can be mounted on the pole at about 15' from the ground • The sensor communicates with the fixtures at the top of the pole and switches them to High or Low light settings based on occupancy • One sensor can operate multiple fixtures (up to 2 fixtures) • To order the fixture with the High/Low option add the suffix "HL" to the fixture part number. The motion sensor is an accessory and has to be ordered separately using part number HILOOCSESW • The sensor is only available in a bronze finish.

Construction Die cast aluminum • Stainless steel external hardware
 • Removable hinged door • Power tray ballast mounting system

Easy Mounting Two bolt keyhole mounting

Finish Baked polyester powder coat • Corporate colors are available

EISA AccuLite 175W - 400W Pulse Start MH luminaires are designed and built to Energy Independence & Security Act standards

Lampholder HID - specification grade medium base porcelain

Ballast HPF Magnetic - 70W thru 200W • Suitable for low temperature starting • Probe start MH -30°C, Pulse Start MH -40°C, HPS -40°C

Certification Certified to UL1598/CSA C22.2 250 • IP65 • IDA Full Cut-Off • Suitable for wet locations

Rev - 7/12

ALARI+™

PARKING, ROADWAY & AREA LIGHTING

HIGH PERFORMANCE ROTATABLE OPTICS,
MAGNETIC BALLAST, VERTICAL LAMP

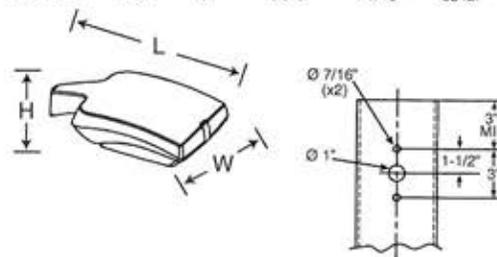
Cat. No.: _____

Accessories.: _____



DIMENSIONS

	EPA	L	W	H	Weight
AP1 Series	0.8 ft'	23"	14"	5 7/8"	30 lb.
AP2 Series	1.2 ft'	32"	18 5/8"	7 9/16"	52 lb.



ORDERING INFORMATION

MAGNETIC BALLAST, VERTICAL LAMP

Cat. No.:

Accessories:



PRODUCT CODES

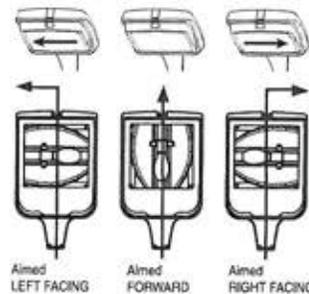
Series	Lamp Wattage/Type	Ballast	Distribution	Options
AP2	320PS	U27	5H	L
Vertical Lamp AP2 - 70W - 200W	Pulse Start Metal Halide† AP2 - MEDIUM BASE 70PS, 100PS, 150PS ED17 Ⓢ {200PS ED17 Probe Start Metal Halide AP2 - MEDIUM BASE Ⓢ {175MH BD17 High Pressure Sodium AP2 - MEDIUM BASE 70HP, 100HP, 150HP E17	Magnetic - QT† Quad Tap 120V, 208V, 240V, 277V - TT Tri Tap 120V, 277V, 347V - 480† - 480V	Vertical Lamp Rotatable Optical Systems 95% reflectance AP2 SERIES - AV Asymmetrical - SV Square	Rotate Optics - RL Left Facing - RR Right Facing High Transmission Glass Lens - HT Lens permits 98% light transmission Lamp - CL Coated HID lamp - L Clear HID lamp By others Compact fluorescent Photocontrol - PC Replace suffix "-QT" & "-TT" with line voltage suffix (Max 347V) Quartz Auxiliary - Q Double contact bayonet base Quartz lamp not included Emergency Ballast - Dual Function Lamp For use with one or two CF lamps. Replace voltage suffix "UN" with line voltage suffix, 120V or 277V only The CF lamp(s) operate off the CF ballast, the lamp selected for dual function also operates off the emergency ballast. - EMB Min. 0°C (32°F) - EMX Min. -18°C (0°F) Internal House Side Shield - SH For back light cut-off of forward throw (suffix "-FT") optics only. For other distributions use the external shield Terminal Block & Ground Lug - TB 14 AWG to 6 AWG Fuse Holder Supplied with fuse Replace voltage suffix "-U27" with line voltage suffix - F1 Single pole - Line to neutral - F2 Two pole - Line to line Color No Suffix Bronze, standard - BL Black - SL Silver - WH White Designer Colors Consult Factory Hi/Lo HID controller - HL Switches light output between High and Low light setting. Requires accessory motion sensor HILOOCSENSW

ACCESSORIES

(Order separately)

Description	Catalog #
Wall Mount Bracket	A-WMB-color
Round Pole Adapter Fits 3" to 4" pole Fits 5" to 6" pole	A-RPA34-color A-RPA56-color
Post Top Adapter Fits 2" IPS (2-3/8" o.d.) and 2-1/2" IPS (2-7/8" o.d.) tenons.	A-PTF-color
External House Side Shield Distribution suffix FT (Forward Throw) Use internal shield	See Options
Polycarbonate Guard Fits A1 & AP1 Series Fits A2 & AP2 Series	A1-HSS A2-HS
Pole Mounted IR Motion Sensor Switches the fixture between High and Low light settings. Requires fixture with "HL" option	A1-L5 A2-L5 HILOOCSENSW

ROTATABLE OPTICS



Patented

† Metal Halide :

Ⓢ EISA: 200W Pulse Start MH meets Energy Independence Security Act (EISA) requirements. 150W wet location luminaires are EISA exempt.

‡ Lamp Socket Protector:

Required in Canada when using 208V, 240V & 480V - add suffix "-LSP."

◆ ITEMS MARKED WITH A MAPLE LEAF ARE ONLY AVAILABLE IN CANADA
175W Probe Start MH lamps do not meet the EISA standard.



1300 S. Wolf Road • Des Plaines, IL 60018 • Phone (847) 827-9880 • Fax (847) 827-2925

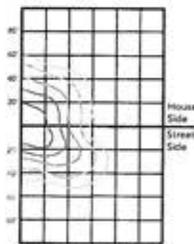
220 Chrysler Drive • Brampton, Ontario • Canada L6S 6B6 • Phone (905) 792-7335 • Fax (905) 792-0064

Visit us at www.junolightinggroup.com Specifications are subject to change with out notice

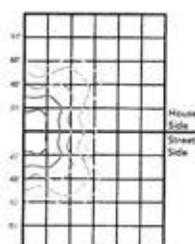
©2012 Juno Lighting, LLC



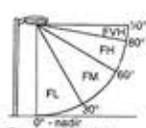
VERTICAL LAMP



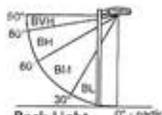
AP2-175MH-Q1-AV-HT
Vertical Lamp,
High Transmission Glass
20' Mounting Height



AP2-175MH-Q1-SV-HT
Vertical Lamp,
High Transmission Glass
20' Mounting Height



Forward Light



Back Light



Up Light

Optical Assembly	AV	SV	
Lamp	175PS	175PS	
Lamp Lumens	17,500	17,500	
Forward Light			
Luminaire Lumens	6,864	6,337	
% Lamp Lumens	39.3%	36.2%	
Low	FL (0° - 30°)	4.5%	3.9%
Mid	FM (30° - 60°)	20.1%	18.0%
High	FH (60° - 80°)	14.3%	13.9%
Very High	FVH (80° - 90°)	0.5%	0.4%
Back Light			
Luminaire Lumens	5,560	6,377	
% Lamp Lumens	31.8%	36.4%	
Low	BL (0° - 30°)	5.1%	3.9%
Mid	BH (30° - 60°)	18.0%	18.0%
High	BH (60° - 90°)	8.5%	14.1%
Very High	BVH (80° - 90°)	0.1%	0.4%
Up Light			
Luminaire Lumens	0	0	
% Lamp Lumens	0.0%	0.0%	
Low	UL (90° - 100°)	0.0%	0.0%
High	UH (100° - 180°)	0.0%	0.0%
Trapped Light			
Luminaire Lumens	5,056	4,786	
% Lamp Lumens	28.9%	27.4%	



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ANCHOR BOLTS

Anchor Bolts are fabricated from carbon steel bar conforming to AASHTO M314 Grade-55 or ASTM F1554 Grade-55. Bolts have an "L" bend on one end and are galvanized a minimum of 12 inches on the threaded end. Four anchor bolts are provided per pole. Each anchor bolt is furnished with two hex nuts and two flat washers.

ANCHOR BASE

The anchor base (base plate) is fabricated from structural quality hot rolled carbon steel plate conforming to ASTM A36. The base plate telescopes the pole shaft and is circumferentially welded top and bottom. The base is provided with a slotted anchor bolt opening that enables a range of bolt circles to be utilized. The pole chart information lists bolt circle ranges for each pole type.

POLE SHAFT

The pole shaft is fabricated from weldable grade hot rolled commercial quality carbon steel and is supplied in 11 gauge (0.1196") or 7 gauge (0.1793") material thickness having a guaranteed minimum yield strength of 55,000 psi. Shafts are of one-piece construction with a full length longitudinal high frequency electric resistance weld. The shaft is uniformly square in cross section with flat sides, rounded corners (.75" per corner), and no taper.

HANDHOLE

The reinforcing handhole rim consists of a rectangular shaped tubing material having a nominal 2.5" x 5" opening. It is provided with a steel attachment bar, steel cover, and one round head machine screw. The handhole is welded in the pole shaft and is located 1'-6" above the base.

ELECTRICAL GROUND

A nut holder is provided near the handhole and includes a 0.5"-13 UNC hex head bolt and nut.

FULL BASE COVER (STANDARD)

The standard full base cover is fabricated from ABS plastic. It is a two-piece cover secured together with two plastic hand push rivets.

POLE TOP CAP (STANDARD)

A removable top cap is provided and is used in conjunction with drilled pole shafts for accommodation of a direct mounted luminaire arm attachment.

POLE TOP TENON (OPTIONAL)

Pole top tenons are fabricated from structural quality hot rolled carbon steel with a guaranteed minimum yield strength of 30,000 psi. A pole top plate and tenon of weldable grade hot rolled commercial quality carbon steel is circumferentially welded to the top of the pole shaft. This plate provides an internal weather resistant wiring raceway into the pole top tenon. Standard sizes are of either 2.38" O.D. x 4" long (P2) or 4" O.D. x 6" long (P4) steel tubing.

STANDARD FINISH

Standard finishes available are galvanized, prime coat (powder), and finish coat (powder). For information regarding the scope and application of these coatings please refer to page 5.

FASTENING HARDWARE

All structural fasteners are galvanized high strength carbon steel. All other fasteners are galvanized or zinc plated carbon steel or stainless steel.

DESIGN

The standards shown in this section are designed to withstand dead loads and theoretical dynamic loads developed by variable wind speeds,

as charted, with an appropriate gust factor under the following conditions:

The wind velocities are based on 10 mph increments from 80 mph through 100 mph (reference wind map). Standards to be located in areas of known abnormal conditions require special consideration. For example: coastal areas, airports, and areas of special winds such as the Chinook Winds along the eastern slope of the Rocky Mountains.

Standards are designed for ground mounted applications. Standards mounted on structures (such as bridges and buildings) also necessitate special consideration requiring Valmont's recommendation.

Height correction factors and drag coefficients are applied to the entire structure. An appropriate safety factor is maintained based on the minimum yield strength of the material incorporated in the standard.

Valmont Industries, Inc. reserves the right to install various, engineer approved, material hanging accommodations to facilitate the manufacturing process. If this method is not acceptable, Valmont Industries, Inc. must be notified by the customer prior to manufacturing.

FATIGUE RESISTANT PRODUCT

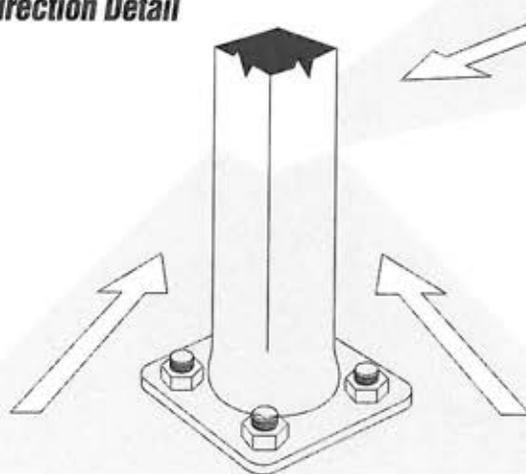
This product was specially designed to reduce the effects of fatigue in the welded connection between the pole shaft and base plate. Square poles, by the very nature of their shape, are more susceptible to fatigue at this critical joint than in any other geometric pole shape or design. By flaring out the shaft, and creating a round section at this critical welded connection point, the stress and resulting fatigue occurring at this point is more evenly distributed and thus enhances the structures longevity and overall performance.

Nominal Mounting Height (ft)	Shaft				Pole Base				Anchor Bolts	80MPH w/1.3 Gust		90MPH w/1.3 Gust		100MPH w/1.3 Gust	
	Designation Number	Base O.D. (in)	Wall Thk. (ga)	Struct. Weight (lbs)	Bolt Circle Dia. (in)	± (in)	Square (in)	Thk. (in)	Dia. x Lngth. x Hk. (in)	Max. EPA (ft ²)	Max. Weight (lbs)	Max. EPA (ft ²)	Max. Weight (lbs)	Max. EPA (ft ²)	Max. Weight (lbs)
10	400Q100	4.00	11	75	8.5	0.5	8.25	0.75	.75 x 17 x 3	30.6	765	23.8	595	18.9	473
12	400Q120	4.00	11	90	8.5	0.5	8.25	0.75	.75 x 17 x 3	24.4	610	18.8	470	14.8	370
14	400Q140	4.00	11	100	8.5	0.5	8.25	0.75	.75 x 17 x 3	19.9	498	15.1	378	11.7	293
16	400Q160	4.00	11	115	8.5	0.5	8.25	0.75	.75 x 17 x 3	15.9	398	11.8	295	8.9	223
18	400Q180	4.00	11	125	8.5	0.5	8.25	0.75	.75 x 17 x 3	12.6	315	9.2	230	6.7	168
20	400Q200	4.00	11	140	8.5	0.5	8.25	0.75	.75 x 17 x 3	9.6	240	6.7	167	4.5	150
	500Q200	5.00	11	185	11.0	1.0	11.00	1.00	.75 x 17 x 3	17.7	443	12.7	343	9.4	235
	500W200	5.00	7	265	11.0	1.0	11.00	1.00	.75 x 17 x 3	28.1	703	21.4	535	16.2	405
25	400Q250	4.00	11	170	8.5	0.5	8.25	0.75	.75 x 17 x 3	4.8	150	2.6	100	1.0	50
	400W250	4.00	7	245	8.5	0.5	8.25	0.88	.75 x 17 x 3	10.8	270	7.7	188	5.4	135
	500Q250	5.00	11	225	11.0	1.0	11.00	1.00	.75 x 17 x 3	9.8	245	6.3	157	3.7	150
	500W250	5.00	7	360	11.0	1.0	11.00	1.00	.75 x 17 x 3	18.5	463	13.3	333	9.5	238
30	400W300	4.00	7	291	8.5	0.5	8.25	0.75	.75 x 17 x 3	6.7	168	4.4	110	2.6	65
	500Q300	5.00	11	265	11.0	1.0	11.00	1.00	.75 x 17 x 3	4.7	150	2.0	50	-	-
	500W300	5.00	7	380	11.0	1.0	11.00	1.00	.75 x 17 x 3	10.7	267	6.7	167	3.9	100
	600W300	6.00	7	520	12.0	1.0	12.50	1.00	1.00 x 36 x 4	19.0	475	13.2	330	9.0	225
35	500W350	5.00	7	440	11.0	1.0	11.00	1.00	.75 x 17 x 3	5.9	150	2.5	100	-	-
	600W350	6.00	7	540	12.0	1.0	12.50	1.00	1.00 x 36 x 4	12.4	310	7.6	190	4.2	105
40	600W400	6.00	7	605	12.0	1.0	12.50	1.00	1.00 x 36 x 4	7.2	180	3.0	75	-	-

DS330 NOTES:

1. All designs provided with 2.5" x 5" nominal handhole.
2. Structure weight is a nominal value which includes the pole shaft and base plate only.
3. Maximum weight and EPA values are based on side mounted fixtures only. Consult Valmont on loading criteria for pole top mounted luminaires and/or brackets.

Wind Direction Detail



WIND DIRECTION ACROSS FLATS

Maximum weight and EPA values are determined by analyzing stress from two wind directions as shown. Due to the increased area and reduced section properties, stress levels across the points generally control the allowable loads.

WIND DIRECTION ACROSS POINTS

Valmont is widely recognized throughout the industry as the leader in product design. The DS330 square steel lighting pole is just another example why.

INCREASED PERFORMANCE

The unique bell-shaped base minimizes the effects of pole vibration by improving the fatigue performance of the shaft to base plate connection.

HOW WE DID IT

We evenly distributed the stress by flaring out the bottom 4" of the pole shaft and creating a round section at the critical welded connection point.

UPDATED EXTERIOR DESIGN

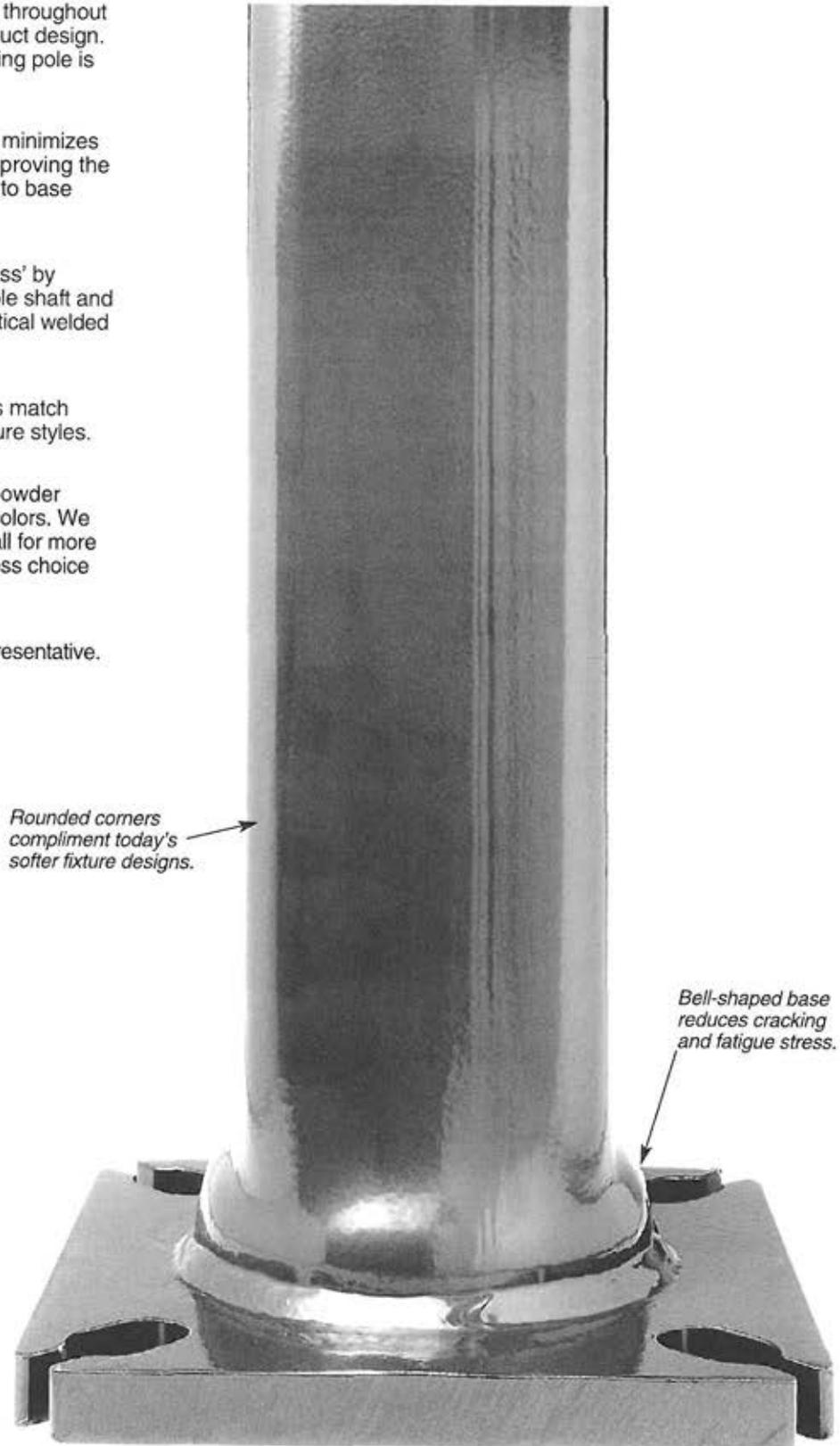
The DS330's rounded corners match many of today's softer corner fixture styles.

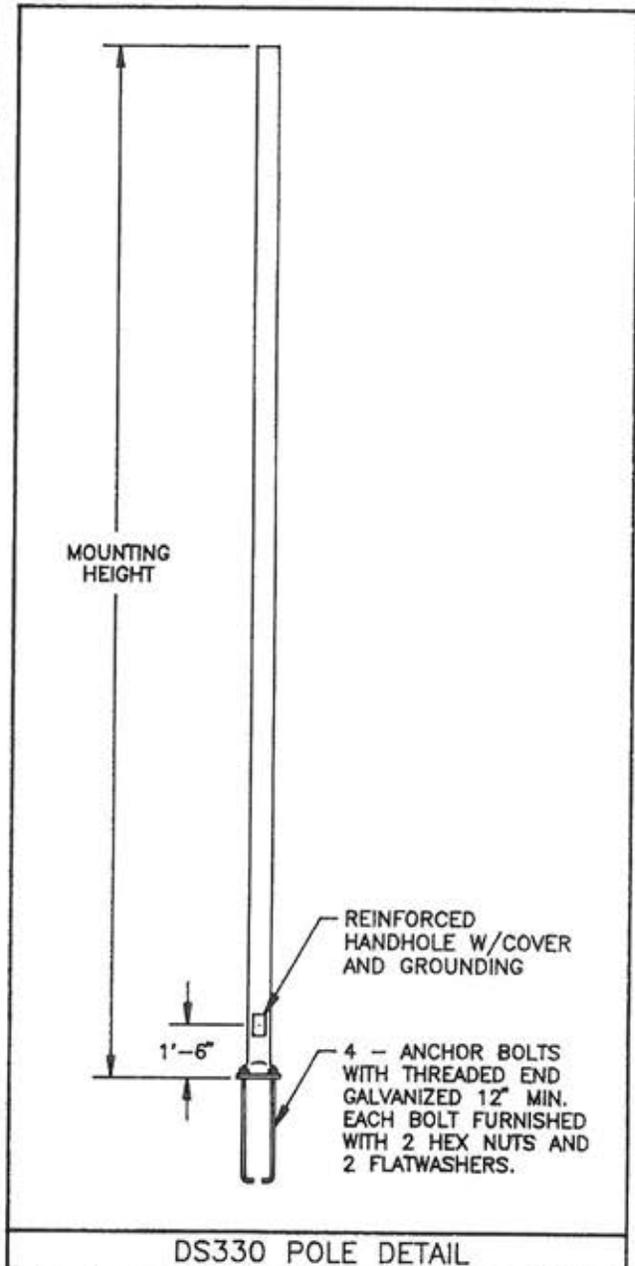
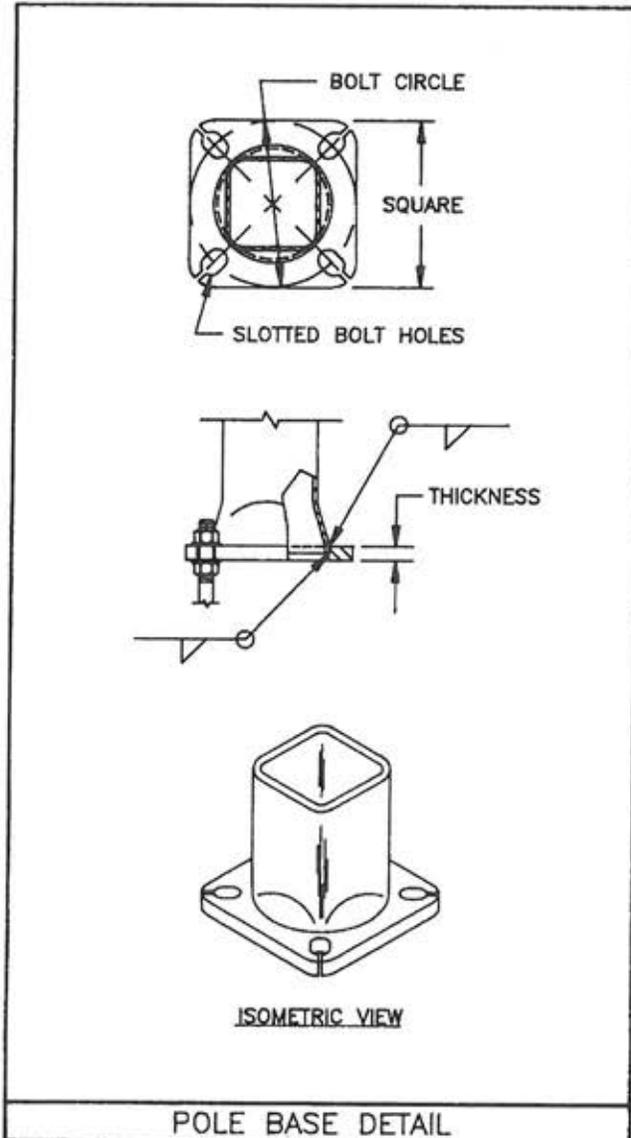
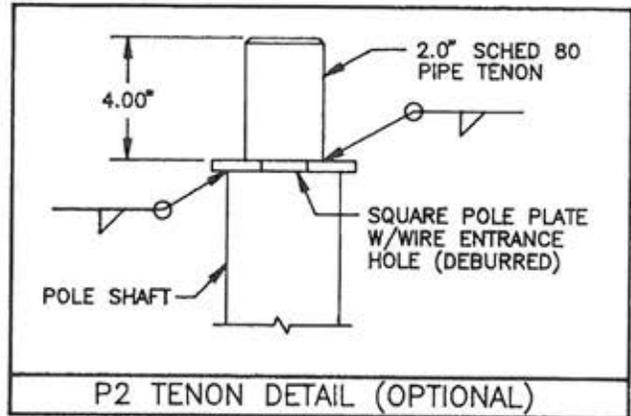
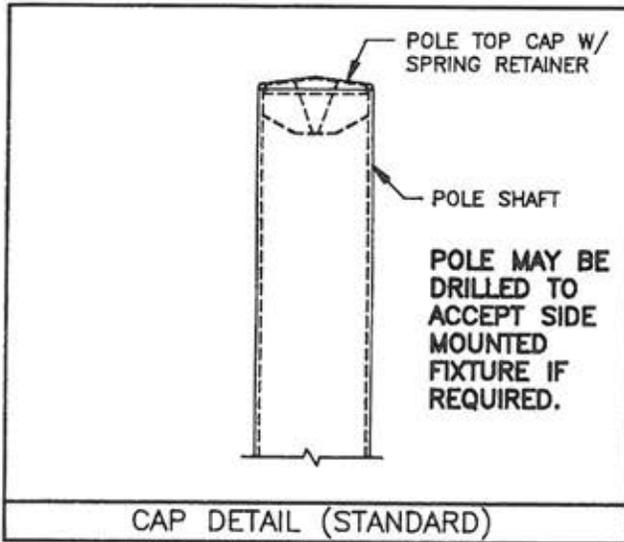
ENDLESS CHOICE OF COLORS

Valmont delivers top quality powder coatings in an endless choice of colors. We can match any color you need. Call for more information about Valmont's endless choice of colors.

QUESTIONS?

Contact your local Valmont representative.





Juno

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

6" TC 900 LUMEN LED DOWNLIGHT NEW CONSTRUCTION

TC922LEDG3 RECESSED HOUSING

OPEN TRIMS



PRODUCT DESCRIPTION

Dedicated LED new construction housing with integral light engine • Shallow housing allows for fit in 2 x 6 construction • TC housing design for use in non-insulated areas • If installed where insulation is present, the insulation must be pulled back 3" from all sides of the TC housing • LED housing is designed to provide 50,000 hours of life and is compatible with many standard Juno trims • 5 year limited warranty on LED components.

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Comparable light output to 26W compact fluorescent while consuming less than 18W*



PRODUCT SPECIFICATIONS

LED Light Engine LED array integrated to one piece high purity aluminum, thermally conductive housing provides uninterrupted heat transfer to ensure long life of the LED • Replaceable light engine mounts directly to housing and incorporates the latest generation, high lumen output LED array • LEDs are binned to standards that exceed ENERGY STAR® requirements yielding superior fixture to fixture color uniformity • 2700K, 3000K, 3500K or 4100K color temperatures available • 83 CRI typical.

Optical System Computer-optimized reflector design with high reflectance white finish coupled with a high transmission diffusing lens conceals the LEDs and produces uniform aperture luminance • Deep regression of lens produces a low glare, efficient system that can produce over 900 lumens with select trims [see page 2 for details] using less than 18W* • Wide flood distribution shipped as standard with optional optic accessories available and sold separately.

Aesthetic Trim Selections Compatible with wide selection of existing Juno trims • Shadow free, knife edge design blends seamlessly into ceiling.

LED Driver Universal voltage driver that accommodates input voltage from 120-277 volts AC at 50/60Hz is standard and is dimmable with the use of most 0-10V dimmers • Power factor > 0.9 at 120V input • Optional Lutron Hi-Lume® A-Series driver accommodates 120-277 volts AC at 50/60Hz • Mounted between the i-box and housing for easy access and cool operation • For a list of compatible dimmers, see JUNOTCLEDG3-9-DIM.

Emergency Battery Option Battery factory assembled to housing with remote mounted test switch included • Drives LED array for 90 minutes to meet Life Safety Code (NFPA-LSC), National Electrical Code (NEC) and UL requirements • Provides 50% light output in emergency mode.

Life Rated for 50,000 hours at 70% lumen maintenance.

Labels ENERGY STAR® Qualified to luminaires V1.1 requirements when used with select baffle and cone trims • Certified to the high efficiency requirements of California T24-2008 with select trims • UL listed for U.S. and Canada through-branch wiring, damp locations • Union made • UL and cUL listed.

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Product specifications subject to change without notice.

HOUSING FEATURES

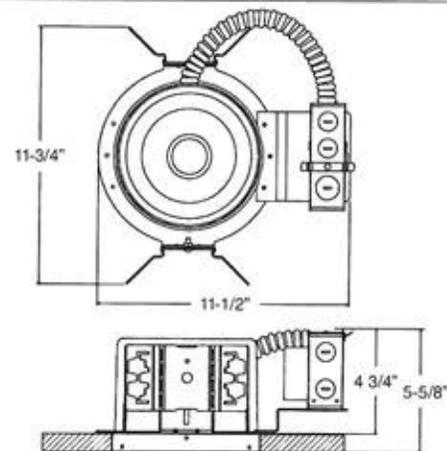
Housing Designed for use in TC applications (non-insulated) • Aluminum housing • Housing is vertically adjustable to accommodate up to a 2" ceiling thickness.

Junction Box Pre-wired junction box provided with (5) 1/8" and (1) 3/4" knockouts and ground wire, UL listed and cUL listed for through-branch wiring, maximum 8 No. 12 AWG 90° C branch circuit conductors (4 in, 4 out) • Junction box provided with removable access plates • Knockouts equipped with pryout slots.

Mounting Frame 16-gauge galvanized steel mounting ring equipped with vertically adjustable mounting brackets that accept 1/2" conduit or "C" channels (HB-26 or HB-50), linear flat bars (LB-27) or Real Nail® 3 bar hangers (HB-1).

*Nominal input wattage @ 120V with standard universal voltage driver under stable operating conditions

DIMENSIONS



6 7/8" CEILING CUTOUT

ELECTRICAL DATA

STANDARD UNIVERSAL VOLTAGE DRIVER (-U)

	120V	277V
Input Power	17.9W (+/-5%)	18.3W (+/-5%)
Input Current - Max	0.15A	0.07A
Frequency	50/60Hz	50/60Hz
EMI/RFI	FCC Title 47 CFR, Part 15, Class A (Commercial)	FCC Title 47 CFR, Part 15, Class A (Commercial)
Minimum starting temp	-40°C (-40°F)	-40°C (-40°F)

UNIVERSAL VOLTAGE DRIVER WITH EMERGENCY OPTION (-UBR)

	120V	277V
Input Power	21.2W (+/-5%)	21.5W (+/-5%)
Input Current - Max	0.33A	0.30A
Frequency	50/60Hz	50/60Hz
EMI/RFI	FCC Title 47 CFR, Part 15, Class A (Commercial)	FCC Title 47 CFR, Part 15, Class A (Commercial)
Minimum starting temp	0°C (32°F)	0°C (32°F)

LUTRON HI-LUME® LED DRIVER (-L)

	120V	277V
Input Power	17.6W (+/-5%)	18.5W (+/-5%)
Input Current - Max	0.15A	0.08A
Frequency	50/60Hz	50/60Hz
EMI/RFI	FCC Title 47 CFR, Part 15, Class A (Commercial)	FCC Title 47 CFR, Part 15, Class A (Commercial)
Minimum starting temp	0°C (32°F)	0°C (32°F)

LUTRON HI-LUME® LED DRIVER WITH EMERGENCY OPTION (-LBR)

	120V	277V
Input Power	20.8W (+/-5%)	21.5W (+/-5%)
Input Current - Max	0.33A	0.30A
Frequency	50/60Hz	50/60Hz
EMI/RFI	FCC Title 47 CFR, Part 15, Class A (Commercial)	FCC Title 47 CFR, Part 15, Class A (Commercial)
Minimum starting temp	0°C (32°F)	0°C (32°F)

6" TC 900 LUMEN LED DOWNLIGHT NEW CONSTRUCTION

TC922LEDG3 RECESSED HOUSING OPEN TRIMS

ORDERING INFORMATION: Housing, trim and accessories each ordered separately.

Example: **TC922LEDG3-27K-UBR**

Example: **24W-WH**

Catalog No.	Color Temp.	Voltage	Options
TC922LEDG3	27K 2700K 3K 3000K 35K 3500K 41K 4100K	U Universal Voltage 120-277V (0-10V dimming) L Lutron Hi-Lume Dimmable Driver	BR Emergency Battery Backup w/ Remote Switch CP Chicago Plenum

Trim/Description

	24W-WH Conical White Baffle	
	24B-WH^{1, 2} Conical Black Baffle	
	24B-SC^{1, 2} Conical Black Baffle	
	24B-ABZ^{1, 2} Conical Black Baffle	
	24B-BL^{1, 2} Conical Black Baffle	
	27C-WH Conical Cone in Clear Alzak [®]	
	27G-WH Conical Cone in Gold Alzak [®]	
	27B-WH^{1, 2} Conical Cone in Black Alzak [®]	
	27PT-SC Conical Cone in Pewter Alzak [®]	
	27W-WH Conical Cone in Gloss White	
	27HZ-WH Conical Cone in Haze	
	27WHZ-WH Conical Cone in Wheat Haze	
	27WHZ-ABZ Conical Cone in Wheat Haze	
	9024W-WH White Octagonal w/ White Baffle	9524-SC Chrome Bond
	9324-SC Luminous Disc (Frosted)	9702 Luminous Collar (Frosted)

¹Not ENERGY STAR rated.
²Not T24 rated

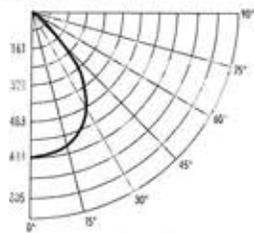
Example: **HB-26**

Accessories		LED Optics	
Cat. #	Description	Cat. #	Description
HB-1	Two 13 7/8" - 25" Reel Nail [®] 3 bar hangers	LEDOPTICG3-M	Medium Flood Optic (50°)
HB-26	Two 26" C-channel bar hangers	LEDOPTICG3-N	Narrow Flood Optic (37°)
HB-50	Two 50" C-channel bar hangers	LEDOPTICG3-S	Spot Optic (10°)
LB-27	Two 27" linear bar hangers		

Trim Size: 24, 27, 9324, 9524 - 7 3/8" O.D.; 9702 - 7 1/4" O.D.; 9024 - 8" O.D.
Trim Finish: ABZ - Classic Aged Bronze, BL - Black, SC - Satin Chrome, WH - White.
Alzak is a registered trademark of Alcoa Corp.
Note: In Canada when insulation is present, Type IC fixtures must be used.

PHOTOMETRIC REPORT

Test Report #: PT09121202R
Catalog No: TC922LEDG3-35K-U
with 24W-WH Trim and Standard Wide Flood Optic
Luminaire Spacing Criterion: 1.16
Luminaire LPW: 57



CANDLEPOWER DISTRIBUTION (Candelas)

Degrees Vertical	0°
0	644
5	639
15	600
25	540
35	413
45	179
55	83
65	43
75	25
85	5
90	0

Multiplier: 27K - 0.93
3K - 0.99
41K - 1.01

AVERAGE INITIAL FOOTCANDLES

Multiple Units (Square Array, 60"x60" room)
Ceiling 80% Wall 50% Floor 20%

Spacing	RCR1	RCR3	RCR5
4.0'	69	57	47
5.0'	44	37	30
6.0'	31	25	21
7.0'	25	21	17
8.0'	20	16	14
9.0'	15	12	10
10.0'	11	9	8

ZONAL LUMEN SUMMARY

Zone	Lumens	%Lamp	%Fixture
0-30°	478	N/A	46.5
0-40°	727	N/A	70.8
0-60°	950	N/A	92.5
0-90°	1027	N/A	100.0

INITIAL FOOTCANDLES

(One Unit, 17.9W, 77.5° Beam)

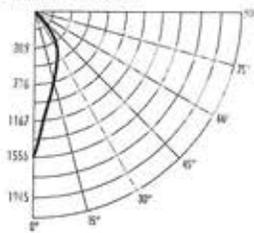
Distance to Illuminated Plane (Feet)	Footcandles Beam Center	Beam Diameter
4	40.3	6.4'
6	17.9	9.6'
8	10.1	12.8'
10	6.4	16.1'

LUMINANCE (Average cd/m²)

Degrees	Average 0° Luminance
45	13836
55	7928
65	5543
75	5324
85	3162

PHOTOMETRIC REPORT

Test Report #: PT09121203R
Catalog No: TC922LEDG3-35K-U
with 27C-WH Trim and Standard Wide Flood Optic
Luminaire Spacing Criterion: 0.48
Luminaire LPW: 60



CANDLEPOWER DISTRIBUTION (Candelas)

Degrees Vertical	0°
0	1556
5	1234
15	785
25	613
35	439
45	166
55	50
65	9
75	0
85	0
90	0

Multiplier: 27K - 0.93
3K - 0.99
41K - 1.01

AVERAGE INITIAL FOOTCANDLES

Multiple Units (Square Array, 60"x60" room)
Ceiling 80% Wall 50% Floor 20%

Spacing	RCR1	RCR3	RCR5
4.0'	74	59	50
5.0'	48	38	32
6.0'	33	26	22
7.0'	27	21	18
8.0'	21	17	14
9.0'	16	13	11
10.0'	12	10	8

ZONAL LUMEN SUMMARY

Zone	Lumens	%Lamp	%Fixture
0-30°	617	N/A	57.2
0-40°	884	N/A	81.9
0-60°	1069	N/A	99.0
0-90°	1080	N/A	100.0

INITIAL FOOTCANDLES

(One Unit, 17.9W, 30.7° Beam)

Distance to Illuminated Plane (Feet)	Footcandles Beam Center	Beam Diameter
4	97.3	2.2'
6	43.2	3.3'
8	24.3	4.4'
10	15.6	5.5'

LUMINANCE (Average cd/m²)

Degrees	Average 0° Luminance
45	12862
55	4805
65	1141
75	0
85	0

Fixtures tested to IES recommended standard for solid state lighting per LM-79-08. Photometric performance on a single unit represents a baseline of performance for the fixture. Results may vary in the field.



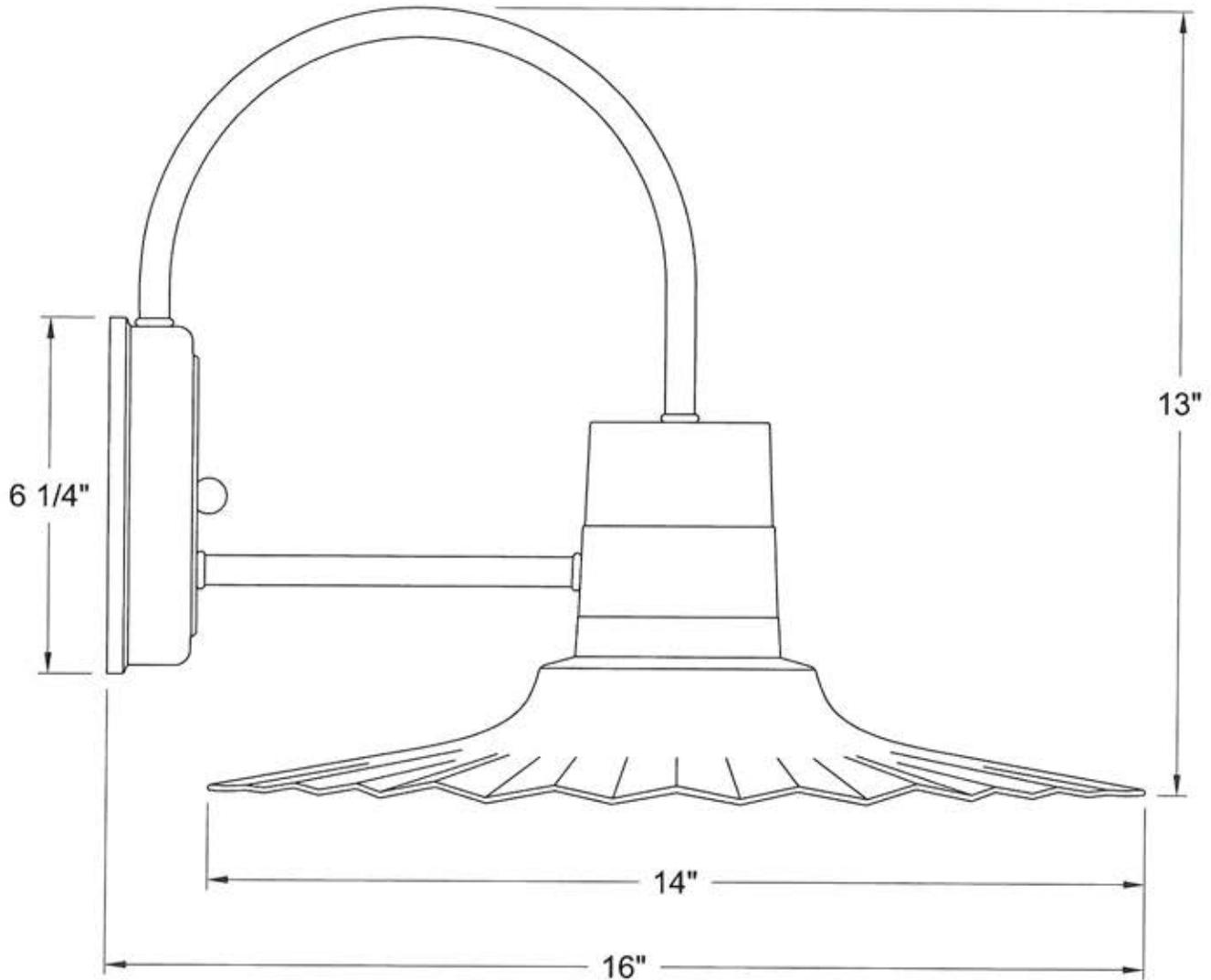
1300 S. Wolf Road • Des Plaines, IL 60018 • Phone (847) 827-9880 • Fax (847) 827-2925
220 Chrysler Drive • Brampton, Ontario • Canada L6S 6B6 • Phone (905) 792-7335 • Fax (905) 792-0064
Visit us at www.junolightinggroup.com



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 Telephone: (909) 465-1999
 Toll Free: (800) 465-0211
 Fax: (909) 465-0907
 www.hilitemfg.com

JOB NAME:		
SCALE:	DATE:	TYPE:
N.T.S.	07/09/2013	
DRAWN BY:	QTY:	
S.M.		
SHEET:		REV:



Item Number	Wattage	Voltage
H-19414-B-96/25WLBL	10W	120V

Finish	Mounting	Lamp/Socket
96-Galvanized	Wall Mount	1-MED Base 25W max INC

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PERIMALITER® LED WALLPACKS

PGM3/PVL3

Cat.#

Job

Type



HUBBELL
Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:

Perimeter lighting for safety, security and identity - LED units provide 60-70% energy savings over typical pulse start wallpacks. Uses include office buildings, shopping centers, restaurants, schools, warehouses, parking garages and other commercial applications

Construction:

- The die-cast aluminum housing provides firm mounting over recessed junction boxes 1/2" side hubs included for surface conduit wiring. Housing includes a top hub for use with button photo controls for dusk-to-dawn control. The construction not only provides a rigid mount but an excellent heat sink for the LED system, allowing proper operating temperature for optimum performance and long life

- Two door options are available: A cast aluminum and prismatic borosilicate glass assembly for typical commercial applications and an all polycarbonate, one-piece, vandal resistant door for use in non-supervised locations

- Standard finish is dark bronze textured powder paint. The PGM3 version is available in alternate finishes of black, white, gray and platinum silver

- LEDs with CCT of 5100K, 4200K and 3000K are available

Optics/Electrical

LED:

- Drivers are 120-277V universal voltage 50/60Hz and have dimming capability standard. Drivers and light engine are easily accessible for future servicing

- A thirty LED light 5100K engine produces over 5600 lumens (82 LPW) out of the PGM3 (4800 lumens (69 LPW) for PVL3) with asymmetric distribution for typical mounting heights of 12-15 feet. The lateral spread allows typical spacing of three to four times the mounting height with excellent uniformity.

- 34w versions also available, see chart below for lumen outputs

Listings:

Listed to UL 1598 for use in wet locations

Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

PRODUCT IMAGE(S)

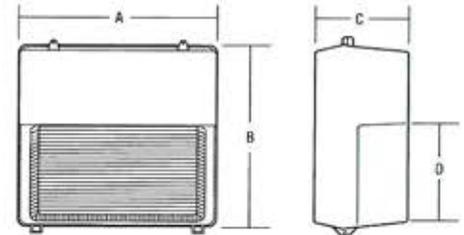


PGM

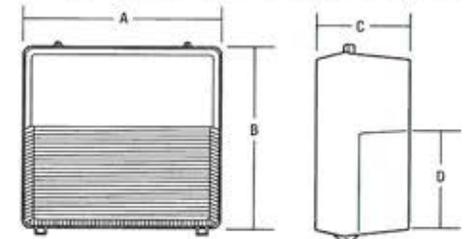


PVL

DIMENSIONS



	A	B	C	D
PGM3	14 ⁷ / ₈ "	15"	8"	6 ¹³ / ₁₆ "
LED	378 mm	381 mm	203 mm	173 mm



	A	B	C	D
PVL3	14 ⁷ / ₈ "	15"	8"	7 ⁷ / ₁₆ "
LED	378 mm	381 mm	203 mm	189 mm

CERTIFICATIONS/LISTINGS



ORDERING INFORMATION ORDERING EXAMPLE: PGM3-30LU-5K-BZ

Catalog Number	Construction	Wattage	Drive Current	Voltage	Color Temperature	Lumens	LPW	Weight lbs. (kg)
PGM3 LED								
PGM3-30LU-5K-BZ	Glass Refractor	69	700ma	120-277v	5100K	5678	82	16
PGM3-30LU-5K-035-BZ	Glass Refractor	34	350ma	120-277v	5100K	3209	96	15
PGM3-30LU-4K-BZ	Glass Refractor	69	700ma	120-277v	4200K	5157	69	16
PGM3-30LU-4K-035-BZ	Glass Refractor	34	350ma	120-277v	4200K	2955	88	15
PGM3-30LU-3K-BZ	Glass Refractor	71	700ma	120-277v	3000K	3932	56	16
PGM3-30LU-3K-035-BZ	Glass Refractor	34	350ma	120-277v	3000K	2338	69	15
PVL3 LED								
PVL3-30LU-5K-BZ	Polycarbonate Refractor	69	700ma	120-277v	5100K	4873	69	11
PVL3-30LU-5K-035-BZ	Polycarbonate Refractor	34	350ma	120-277v	5100K	2757	81	10
PVL3-30LU-4K-BZ	Polycarbonate Refractor	69	700ma	120-277v	4200K	4505	66	11
PVL3-30LU-4K-035-BZ	Polycarbonate Refractor	34	350ma	120-277v	4200K	2614	78	10
PVL3-30LU-3K-BZ	Polycarbonate Refractor	71	700ma	120-277v	3000K	3490	49	11
PVL3-30LU-3K-035-BZ	Polycarbonate Refractor	34	350ma	120-277v	3000K	2089	62	10

Notes: *Units are universal voltage 50/ 60 hz. Change "U" to 347v or 480v for those voltage options. On PGM3, for alternate finishes, change BZ to BL-Black, WH-White, GR-Gray, PS-Platinum Silver



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Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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PGM/PVLED 7/13

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	OPERATING HOURS					L70 (hours)
	0	25,000	50,000	TM-21-11 ¹	100,000	
25°C / 77°F	1.00	0.97	0.95	0.95	0.92	539,000

1. Projected per IESNA TM-21-11 ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

OPTIONS & ACCESSORIES

OPTION (order as separate part #)

Catalog Number	Description
SP	Surge Protector 10KA

REPLACEMENT PARTS

(order as separate part #)

Catalog Number	Description
200-0180-9904	Replacement lens/door PVL3
800-3399-0104	Replacement lens/door PGM3

ACCESSORIES

(order as separate part #)

Catalog Number	Description
PBT-1	Photo control, button type, 120V
PBT-234	Photo control, button type, 208, 240, 277V
PG-PS ¹	Polycarbonate shield for refractor for PGM3
PG-WG ¹	Wire guard for refractor for PGM3
PVL3V	Full cut-off visor, formed aluminum, bronze finish

1 Guard & shield can be used on the same fixture

LIGHTING FACTS

LED lighting facts
4400 Lumens

Light Output (Lumens) 4400
Watts 66.1
Lumens per Watt (Efficacy) 64

Color Accuracy
Color Rendering Index (CRI) 72

Light Color
Color Temperature (K) 5000 (Daylight)

Warranty** Yes

** See www.lightingfacts.com/products for details.

LED lighting facts
5252 Lumens

Light Output (Lumens) 5252
Watts 68.1
Lumens per Watt (Efficacy) 77

Color Accuracy
Color Rendering Index (CRI) 71

Light Color
Color Temperature (K) 4900 (Daylight)

Warranty** Yes

** See www.lightingfacts.com/products for details.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head Zaxby's - NEW DEVELOPMENT FINAL

DRB#: DR 130044

DATE: January 14, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site is mostly cleared.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DRB made comments at conceptual submittal regarding amount of flat roof; little to no changes to roof plan.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Roofs are "medium to low pitch" (5/12). Cornice treatment included along parapet walls.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Architectural elements include 4x4 wood brackets, low shed roof canopies, decorative metal railings, cornices with stepped profiles, etc.
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brick, stucco, siding, glass, metal
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood brackets, board and batten look-siding
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Includes clear and grey-tint class
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Details for dumpster/service area screen required for final submittal.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Important to screen view from Yacht Cove/Marina Side Drive.
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

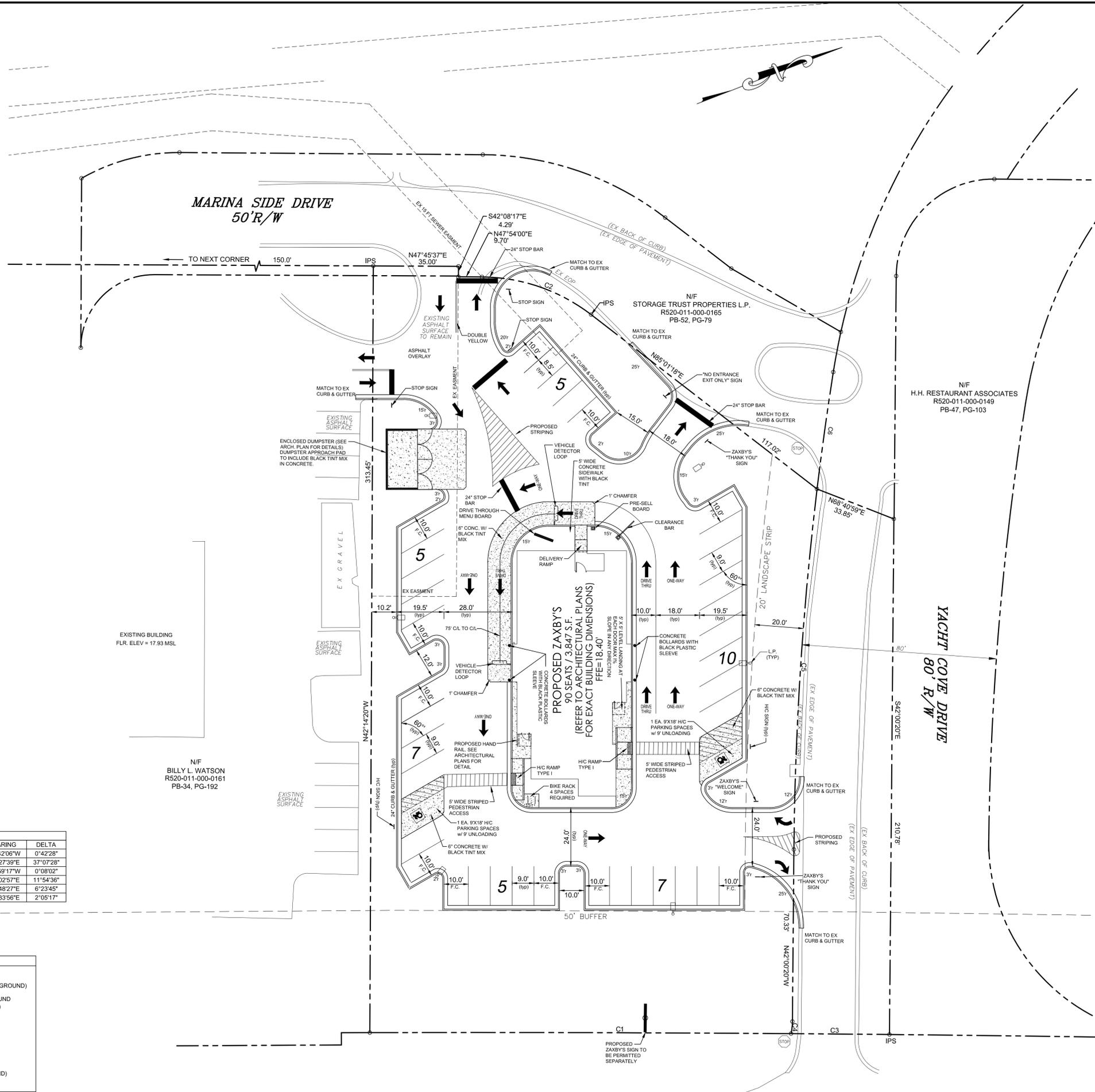
appearance for visual interest and a sense of depth				
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Annuals limited but location not shown on plan.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Project requires written notice of action from Yacht Cove ARB.
Signage will require approval of a sign permit application.



MARINA SIDE DRIVE
50' R/W

YACHT COVE DRIVE
80' R/W

N/F
STORAGE TRUST PROPERTIES L.P.
R520-011-000-0165
PB-52, PG-79

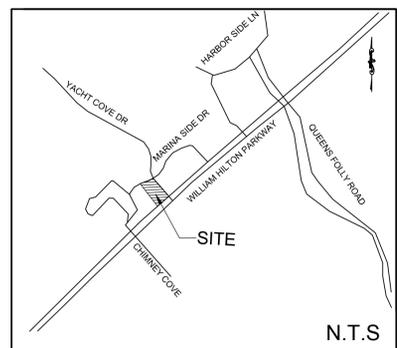
N/F
H.H. RESTAURANT ASSOCIATES
R520-011-000-0149
PB-47, PG-103

N/F
BILLY L. WATSON
R520-011-000-0161
PB-34, PG-192

PROPOSED ZAXBY'S
90 SEATS / 3,847 S.F.
REFER TO ARCHITECTURAL PLANS
FOR EXACT BUILDING DIMENSIONS
FFE=18.40'

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	213.58	17293.73	213.58	S47°42'06"W	0°42'28"
C2	48.24	74.45	47.40	N66°27'39"E	37°07'28"
C3	40.43	17293.73	40.43	S47°59'17"W	0°08'02"
C4	4.99	24.00	4.98	S36°02'57"E	11°54'36"
C5	147.77	1323.76	147.69	S38°48'27"E	6°23'45"
C6	48.24	1323.76	48.24	S34°33'56"E	2°05'17"

LEGEND	
BG	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION (UNDERGROUND)
CB	CATCH BASIN
CMF	CONCRETE MONUMENT FOUND
E	ELECTRIC (UNDERGROUND)
GUM	GUM
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
LAO	LAUREL OAK
LO	LIVE OAK
PN	PINE
TELE. PED.	TELEPHONE PEDESTAL
HICK	HICKORY
W	WATER LINE (UNDERGROUND)
SS	SANITARY SEWER
WV	WATER VALVE



LOCATION MAP

PROJECT NOTES:

OWNER / DEVELOPER:
Out Parcel Holdings, LLC
1040 Founders Boulevard
Athens, GA 30606
Contact: Kathy Brooks
Tel. (706) 353-8107

ENGINEER:
Carter Engineering Consultants, Inc.
1551 Jennings Mill Rd. Building 500 Suite B
Bogart, GA 30622
Contact: Mark Campbell, P.E.
mark@carterengineering.net
Tel. (706) 559-7430

Property located at 4 Marina Side Drive, Town of Hilton Head Island, South Carolina
Proposed use is a restaurant with drive-thru
Proposed building height is 20'
Zoning: Commercial Center (CC), Corridor Overlay (COR)
Tax Map No.: R520 011 000 0166 0000
Boundary and topographical information obtained from field run survey by Coastal Surveying Co., Inc., dated May 16, 2013 TEL. (843) 645-4445
Total tract contains 1.341 acres, disturbed area = 0.76 acres
The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.
It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.
The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.
This property is located in flood zone "A-7", B.F.E. = 14.0 ft per FEMA FIRM Panel 0014-D, Community No. 400290, dated September 29, 1996.

PARKING DATA
MINIMUM PARKING REQUIRED
1" SPACE PER 100 S.F. = 3,847 / 100 SPACES = 39 SPACES REQUIRED
TOTAL PARKING SPACES PROVIDED = 39 SPACES
(2 handicap spaces provided)

UNDERGROUND UTILITIES DISCLAIMER
Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

SITE DATA
TOTAL SITE AREA = 1.341 AC
IMPERVIOUS AREA = 0.66 AC
IMPERVIOUS COVERAGE = 49%
BUILDING COVERAGE = 6.6%

NOTE: ALL DELIVERIES WILL BE DONE DURING NON-BUSINESS HOURS

811 Know what's below
Call before you dig
dial 811

GRAPHIC SCALE
SCALE 1" = 20'

REVISION BLOCK:

#	DATE	DESCRIPTION
A	08/11/13	DESIGN REVIEW BOARD
B	11/22/13	CITY SUBMITTAL
C	12/03/13	ADDRESS PRE-APPLICATION COMMENTS



Carter Engineering Consultants, Inc.
1551 Jennings Mill Rd
Building 500, Suite B
Bogart, GA 30622
P: 706.559.7430
F: 706.559.7435
www.carterengineering.net

SITE DEVELOPMENT PLANS
for
OUT PARCEL HOLDINGS, LLC
4 MARINA SIDE DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA

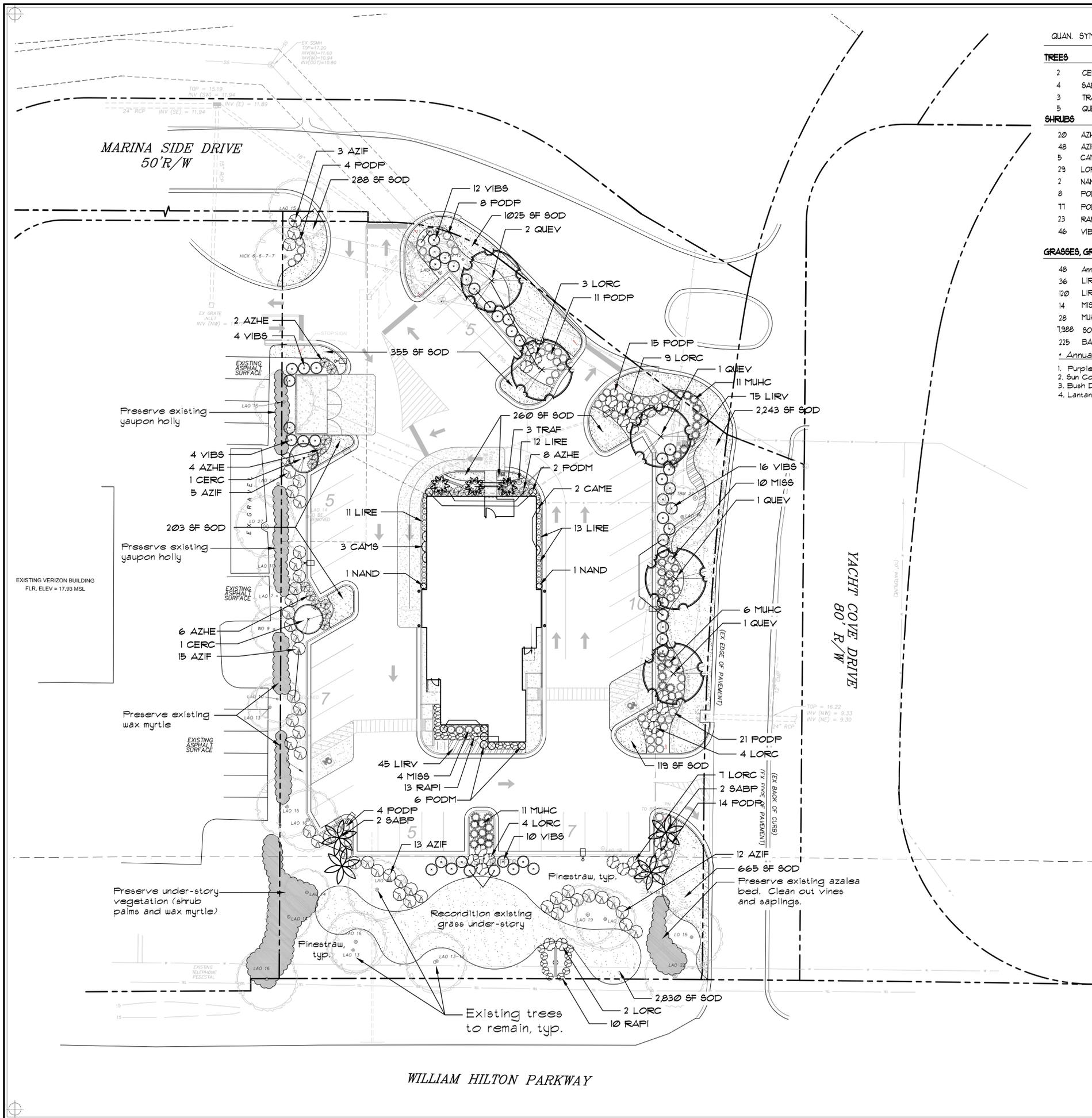
PROJECT NAME:
ZAXBY'S

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
3

PROJECT NUMBER:
13798ZAX

DATE:
9/11/13



ZAXBY'S HILTON HEAD PLANT SCHEDULE:

QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL/ROOT	NOTES
TREES							
2	CERC	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6' Min.	4'-5'	B4B	Full - Well Branched.
4	SABP	Sabal palmetto	Sabal Palm (Booted)	10'-14'	----	B4B	Booted - vary heights
3	TRAF	Trachycarpus fortunei	Windmill Palm	5' Min.	3' Min.	B4B	2' trunk Min.
5	QUEV	Quercus virginiana	Live Oak	12' Min.	4'-5'	B4B	3' Cal. - Well Branched.
SHRUBS							
20	AZHE	Azalea hybrida 'Encore'	Encore Azalea	18" Min	15"-18"	Cont.	1 Gal. Min. - White
48	AZIF	Azalea indica 'Formosa'	Formosa Azalea	36" Min.	24"-30"	Cont.	1 Gal. Min - Purple
5	CAME	Camellia saasanqua Espaller	Camellia on trellis	30"-36"	30"-36"	Cont.	1 Gal. Min. w/trellis
23	LORC	Loropetalum chinense 'Ever Red'	Ever Red Chinese Fringe	36" Min.	24"-30"	Cont.	1 Gal. Min.
2	NAND	Nandina domestica 'Obsession'	Obsession Nandina	20"-24"	15"-18"	Cont.	1 Gal. Min.
8	PODM	Podocarpus macrophyllus 'Maki'	Maki Shrubby Yew	30"-36"	18"-24"	Cont.	1 Gal. Min.
11	PODP	Podocarpus sp. 'Fringles Dwarf'	Fringles Dw. Podocarpus	15" Min.	12" Min.	Cont.	3 Gal. Min.
23	RAPI	Rhaphiolepis indica 'Snow White'	Snow White Indian Hawthorn	12"-15"	12"-15"	Cont.	3 Gal. Min.
46	VIBS	Viburnum suspensum	Sandarkua Viburnum	36" Min.	24"-30"	Cont.	1 Gal. Min.

GRASSES, GROUNDCOVERS, PERENNIALS, ETC.

48	Annuals	Selections and Locations by Owner				Cont.	4" pots
36	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12"-15"	12"-15"	Cont.	3 Gal. - 24" o.c.
120	LIRV	Liriope muscari 'Aztec Grass'	Aztec Grass Liriope	10"-12"	10"-12"	Cont.	Fints - 18" o.c.
14	MIS6	Miscanthus sinensis 'Adagio'	Evergreen Giant Liriope	12"-15"	12"-15"	Cont.	3 Gal. Min.
28	MUHC	Muhlenbergia capillaris	Muhly Grass	12"-15"	12"-15"	Cont.	3 Gal. Min.
1888	SOD	Eremochloa ophiuroides	Centipedegrass				
225	BALES	MULCH (3" depth min.)	Longleaf Pinestraw Mulch				1 Bale / 50 sf

*** Annual Bed Suggestions:**

- Purple Angelonia (24)
- Sun Coleus Burgundy (12)
- Bush Daisy - (6)
- Lantana New Gold (6)

PLANTING NOTES:

- Materials list was prepared for estimating purposes, Contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
- Tree types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and groundcover planting details and special provisions for planting specifications.
- Soil shall be amended by Contractor as indicated by soil test to achieve proper soil conditions for optimum plant growth.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Owner's Representative before beginning planting operations.
- All plant beds to receive 3" deep pinestraw mulch.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- All plant beds and sod areas to receive 100% irrigation coverage.
- In the plant schedule, plants noted as 'specimen', shall be selected by the Owner's Representative at the nursery or photos of the planting stock shall be submitted to the Owner's Representative for approval.
- Pre-emergent herbicide shall be applied to planting areas prior to landscape installation and according to manufacturer's instructions.
- Plant bed shall be tested for pH and amended prior to installation.
- See notes on drawings for selective underbrushing and tree work to be performed as part of this contract.

IRRIGATION NOTES:

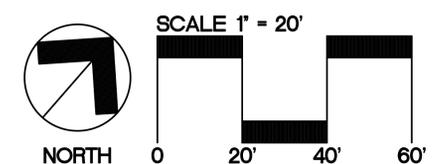
The irrigation system will conform to the following standards:

- Provide 100% coverage of plant beds, grass areas and buffers. Irrigation system to meet all local and national plumbing and electrical codes.
- Provide electric automatic timer control and Rain Sensor to system. Coordinate location of controller with Owner.
- Provide Town of Hilton Head Island County approved backflow preventer and 1 1/2" meter service for irrigation system.
- Incorporate zones that separate grass areas from plant beds.
- Avoid spraying roads, parking and walks.
- Utilize swing-joints and/or flex-risers on all heads next to roads, parking and walks.
- Contractor will provide 3 sets of as-built irrigation drawings after construction is complete and approved by the Owner.
- Head locations must be setback from edge of streets a minimum of 3' and protected with concrete colars.

TREE REPLANTING CALCULATIONS

TOTAL SITE AREA.....	113 acres
(Minus Yacht Cove Dr. & Veriston access road)	
MAXIMUM IMPERVIOUS COVERAGE.....	65%
TOTAL SITE CAL INCHES REQUIRED.....	356"
TOTAL POST DEVELOPMENT CAL INCHES REMAIN.....	382" (In Buffer)
TOTAL SUPPLEMENTAL CAL INCHES REQUIRED.....	8"
TOTAL REPLACEMENT CAL INCHES REQUIRED.....	5.4"
TOTAL CAL INCHES REQUIRED.....	13.4"
TOTAL CAL INCHES PROVIDED ON PLAN.....	15" (Broadleaf Evergreens)

LANDSCAPE PLAN:



ZAXBY'S HILTON HEAD
4 MARINA SIDE DRIVE
HILTON HEAD ISLAND, SC
OUT-PARCEL HOLDINGS, LLC

Patrick Rooney Associates, Inc.
Land Planning • Landscape Architecture
843-681-4009
P.O. Box 21297
Hilton Head Island, SC 29925
FAX 843-681-4029

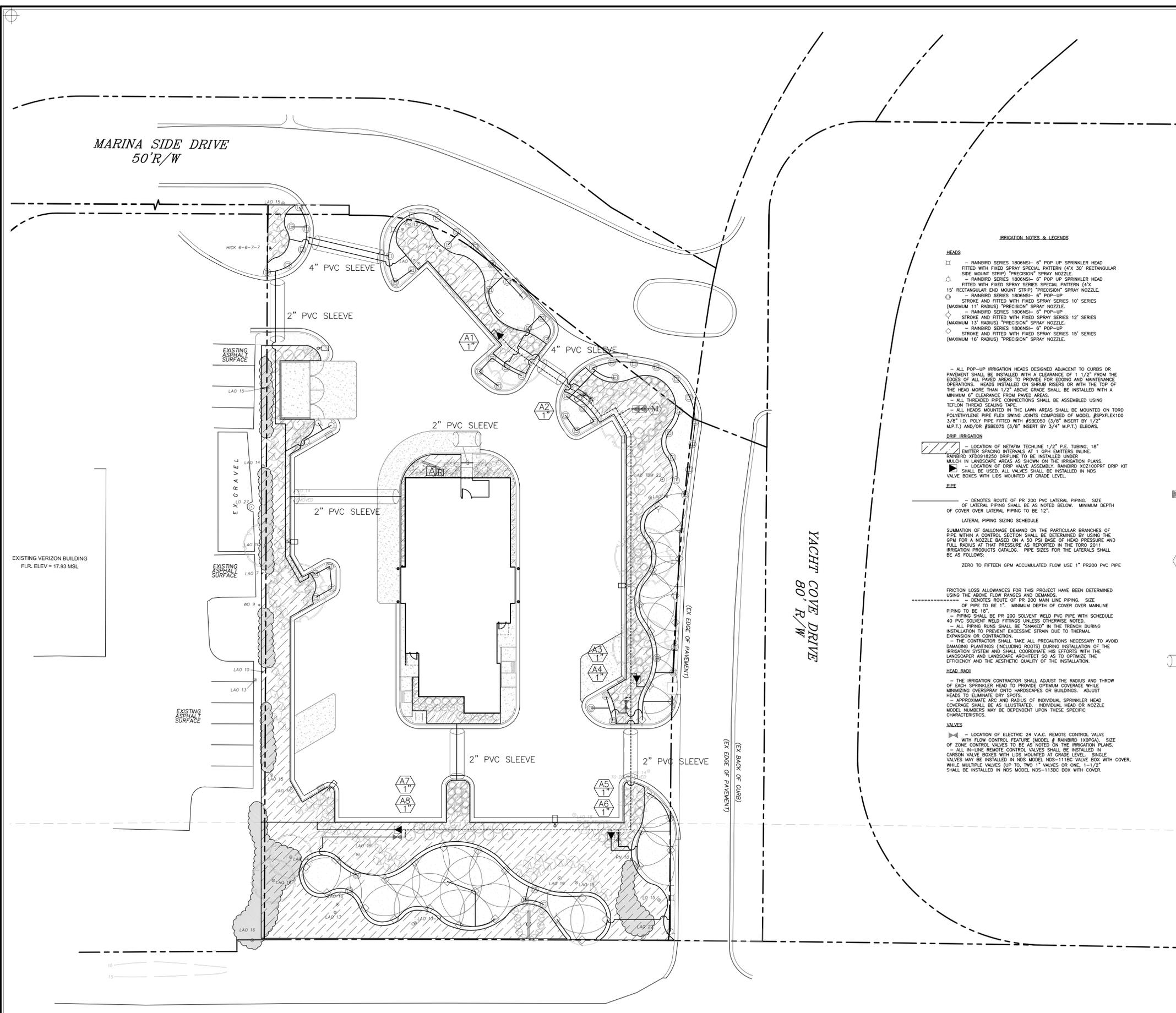
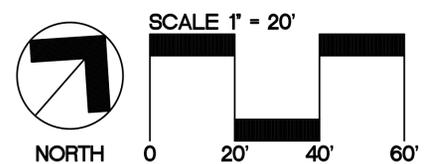
REVISIONS:	NO.	DESCRIPTION:
DATE:		

PROJECT NO:
10461
ISSUE DATE:
12/19/13

DRAWN:
pmr
APPROVED:

Landscape Plan

Sheet
L.01
Of 3



IRRIGATION NOTES & LEGENDS

HEADS

- RAINBIRD SERIES 180RNSL- 6" POP UP SPRINKLER HEAD FITTED WITH FIXED SPRAY SERIES SPECIAL PATTERN (4'x3" RECTANGULAR SIDE MOUNT STRIP) "PRECISION" SPRAY NOZZLE.
- RAINBIRD SERIES 180RNSL- 6" POP UP SPRINKLER HEAD FITTED WITH FIXED SPRAY SERIES SPECIAL PATTERN (4'x15' RECTANGULAR END MOUNT STRIP) "PRECISION" SPRAY NOZZLE.
- RAINBIRD SERIES 180RNSL- 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY SERIES 10' SERIES (MAXIMUM 11" RADIUS) "PRECISION" SPRAY NOZZLE.
- RAINBIRD SERIES 180RNSL- 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY SERIES 12' SERIES (MAXIMUM 13" RADIUS) "PRECISION" SPRAY NOZZLE.
- RAINBIRD SERIES 180RNSL- 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY SERIES 15' SERIES (MAXIMUM 16" RADIUS) "PRECISION" SPRAY NOZZLE.

— ALL POP-UP IRRIGATION HEADS DESIGNED ADJACENT TO CURBS OR PAVEMENT SHALL BE INSTALLED WITH A CLEARANCE OF 1 1/2" FROM THE EDGES OF ALL PAVED AREAS TO PROVIDE FOR EDGING AND MAINTENANCE OPERATIONS. HEADS INSTALLED ON SHRUB RISERS OR WITH THE TOP OF THE HEAD MORE THAN 1/2" ABOVE GRADE SHALL BE INSTALLED WITH A MINIMUM 6" CLEARANCE FROM PAVED AREAS.

— ALL THREADED PIPE CONNECTIONS SHALL BE ASSEMBLED USING TEFLON THREAD SEALING TAPE.

— ALL HEADS MOUNTED IN THE LAWN AREAS SHALL BE MOUNTED ON TORO POLYETHYLENE PIPE FLEX SWING JOINTS COMPOSED OF MODEL #SPXFLX100 3/8" I.D. POLY PIPE FITTED WITH #SB8050 (3/8" INSERT BY 1/2" M.P.T.) AND/OR #SB8075 (3/8" INSERT BY 3/4" M.P.T.) ELBOWS.

DRIP IRRIGATION

- LOCATION OF NETAFIM TECHLINE 1/2" P.E. TUBING, 18" EMITTER SPACING INTERVALS AT 1 GPH EMITTERS IN-LINE. RAINBIRD XT50918250 DRIPLINE TO BE INSTALLED UNDER MULCH IN LANDSCAPE AREAS AS SHOWN ON THE IRRIGATION PLANS.
- LOCATION OF DRIP VALVE ASSEMBLY. RAINBIRD XZ100PRF DRIP KIT SHALL BE USED. ALL VALVES SHALL BE INSTALLED IN NDS VALVE BOXES WITH LIDS MOUNTED AT GRADE LEVEL.

PIPE

- DENOTES ROUTE OF PR 200 PVC LATERAL PIPING. SIZE OF LATERAL PIPING SHALL BE AS NOTED BELOW. MINIMUM DEPTH OF COVER OVER LATERAL PIPING TO BE 12".

LATERAL PIPING SIZING SCHEDULE

SUMMATION OF GALLONAGE DEMAND ON THE PARTICULAR BRANCHES OF PIPE WITHIN A CONTROL SECTION SHALL BE DETERMINED BY USING THE GPM FOR A NOZZLE BASED ON A 50 PSI BASE OF HEAD PRESSURE AND FULL RADIUS AT THAT PRESSURE AS REPORTED IN THE TORO 2011 IRRIGATION PRODUCTS CATALOG. PIPE SIZES FOR THE LATERALS SHALL BE AS FOLLOWS:

- ZERO TO FIFTEEN GPM ACCUMULATED FLOW USE 1" PR200 PVC PIPE

FRICITION LOSS ALLOWANCES FOR THIS PROJECT HAVE BEEN DETERMINED USING THE ABOVE FLOW RANGES AND DEMANDS.

- DENOTES ROUTE OF PR 200 MAIN LINE PIPING. SIZE OF PIPE TO BE 1". MINIMUM DEPTH OF COVER OVER MAINLINE PIPING TO BE 18".
- PIPING SHALL BE PR 200 SOLVENT WELD PVC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS UNLESS OTHERWISE NOTED.
- ALL PIPING RUNS SHALL BE "SHAWED" IN THE TRENCH DURING INSTALLATION TO PREVENT EXCESSIVE STRAIN DUE TO THERMAL EXPANSION OR CONTRACTION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGING PLANTINGS (INCLUDING ROOTS) DURING INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL COORDINATE HIS EFFORTS WITH THE LANDSCAPER AND LANDSCAPE ARCHITECT SO AS TO OPTIMIZE THE EFFICIENCY AND THE AESTHETIC QUALITY OF THE INSTALLATION.

HEAD RADI

- THE IRRIGATION CONTRACTOR SHALL ADJUST THE RADIUS AND THROW OF EACH SPRINKLER HEAD TO PROVIDE OPTIMUM COVERAGE WHILE MINIMIZING OVERTSPRINT ONTO HANDSCAPES OR BUILDINGS. ADJUST HEADS TO ELIMINATE DRY SPOTS.
- APPROXIMATE ARC AND RADIUS OF INDIVIDUAL SPRINKLER HEAD COVERAGE SHALL BE AS ILLUSTRATED. INDIVIDUAL HEAD OR NOZZLE CHARACTERISTICS.

VALVES

- LOCATION OF ELECTRIC 24 V.A.C. REMOTE CONTROL VALVE WITH FLOW CONTROL FEATURE (MODEL # RAINBIRD 1X0PQA). SIZE OF ZONE CONTROL VALVES TO BE AS NOTED ON THE IRRIGATION PLANS.
- ALL IN-LINE REMOTE CONTROL VALVES SHALL BE INSTALLED IN CARSON VALVE BOXES WITH LIDS MOUNTED AT GRADE LEVEL. SINGLE VALVES MAY BE INSTALLED IN NDS MODEL NDS-1118C VALVE BOX WITH COVER. WHILE MULTIPLE VALVES (UP TO TWO 1" VALVES OR ONE 1-1/2" SHALL BE INSTALLED IN NDS MODEL NDS-1138C BOX WITH COVER.

24 VAC CONTROL WIRING

- ALL 24 V.A.C. CONTROL WIRING SHALL BE SINGLE STRAND COPPER WIRE WITH POLYETHYLENE FIBER DIRECT BURIAL INSULATION RATED FOR 300 V.A.C. VALVE "COMMON" WIRES SHALL HAVE WHITE INSULATION WHILE VALVE "HOT" WIRES SHALL HAVE INSULATION RED IN COLOR. THE "COMMON" WIRES SHALL BE #14 AWG. "HOT" WIRES SHALL BE #14 AWG. VALVE WIRING SHALL FOLLOW MAINLINE PIPING WHERE FEASIBLE AND SHALL BE LAID IN A COMMON TRENCHLINE WITH THE MAINLINE PIPING AND IN THE BOTTOM OF THE TRENCH. WIRING SHALL BE "BUNDLED" AND TAPED AT INTERVALS OF APPROXIMATELY TEN FEET. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.
- WIRE SPLICES SHALL BE KEPT TO AN ABSOLUTE MINIMUM. WHERE MAJOR CONCENTRATIONS OF SPLICES ARE NECESSARY SAID SPLICES SHALL BE PLACED IN A NDS MODEL NDS-1118C VALVE BOX WITH COVER INSTALLED AT GRADE LEVEL. SPLICES AT VALVE LOCATIONS SHALL BE MADE INSIDE OF THE VALVE BOX. ALL SPLICE LOCATIONS SHALL BE NOTED ON THE AS BUILT PLAN.
- WIRE RUNS SHALL BE INSTALLED WITH ENOUGH SLACK AND/OR OCCASIONAL EXPANSION LOOPS TO PREVENT EXCESSIVE STRAIN DUE TO THERMAL CONTRACTION.
- ALL WIRE SPLICES SHALL BE MADE USING UL APPROVED DIRECT BURIAL CONNECTORS AND WATERPROOFING MATERIALS. ALL ELECTRICAL WORK SHALL BE INSTALLED ACCORDING TO CODE.

CONTROLLER

- LOCATION OF THE IRRIGATION CONTROLLER. THE CONTROLLER SHALL BE ESPRIME 8-STATIONS REQUIRED. THE CONTROLLER SHALL BE MOUNTED IN THE APPROXIMATE LOCATION SHOWN ON THE PLAN.
- LOCATION OF THE RAINBIRD WIRELESS RAIN SENSOR COMBO.
- ALL ELECTRICAL CONNECTIONS AND INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.
- ALL 120 VAC WIRING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE ELECTRICAL CODE REQUIREMENTS.

NOTE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A 120 VAC POWER CIRCUIT AT THE CONTROLLER LOCATION. THE POWER SOURCE SHALL BE CAPABLE OF SUPPORTING A 10 AMPERE LOAD AT 120 VAC.

BACKFLOW PREVENTION

- DENOTES THE LOCATION OF REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY. THE BACKFLOW SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE BACKFLOW SHALL BE 1" IN SIZE. THE BACKFLOW ASSEMBLY SHALL BE INSTALLED DOWNSSTREAM OF THE IRRIGATION METER AS SHOWN ON THE LAYOUT. THE UNIT MUST BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE CODE REQUIREMENTS AND SHALL HAVE APPROVED COVER.

WATER SUPPLY

- DENOTES THE PROPOSED LOCATION OF THE PROPOSED IRRIGATION METER. THE METER SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE METER SHALL BE 1" IN SIZE. SINCE THE WATER SUPPLY FOR THE SYSTEM SHALL BE POTABLE WATER, THE CONTRACTOR WILL BE REQUIRED TO INSTALL BACKFLOW PREVENTION DEVICE WHICH WILL BE LOCATED DOWNSSTREAM OF THE IRRIGATION METER AS NOTED ON PLAN.
- THE IRRIGATION SYSTEM SHALL BE CAPABLE OF DELIVERING 15 GPM MAXIMUM WITH ONE STATION OPERATING WITH 50 PSI AT THE BASE OF THE HEAD FOR OPTIMUM PERFORMANCE OF THE IRRIGATION SYSTEM AS DESIGNED AND SPECIFIED.
- * NOTE - IF THE WATER SUPPLY IS NOT CAPABLE OF THE DESIGNED CAPACITY (FLOW AND/OR PRESSURE), THE IRRIGATION SYSTEM WILL NEED TO BE REDESIGNED, WHICH MAY ALTER THE IRRIGATION MATERIAL ESTIMATE.

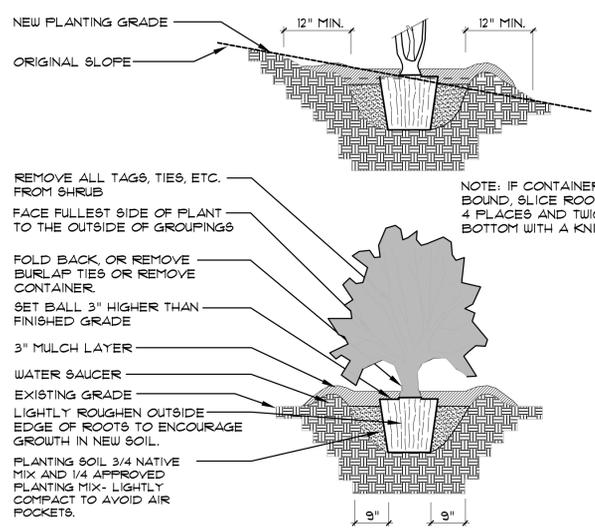
SLEEVING

- DENOTES LOCATION OF PVC SLEEVES FOR IRRIGATION PIPING. SIZE OF SLEEVES TO BE AS NOTED.
- WHERE WIRE RUNS OCCUR, A SEPARATE PVC ELECTRICAL CONDUIT SLEEVE SHALL BE USED FOR 24 VAC WIRING PER ELECTRICAL CODE. SIZE OF PVC WIRE SLEEVES TO BE AS NOTED ON LAYOUT.
- WHERE IRRIGATION PIPING CROSSES SIDEWALKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING A SLEEVE 2 SIZES LARGER THAN THE PIPE THAT IS CROSSING.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR TO INSURE PROPER INSTALLATION OF BOTH THE IRRIGATION SYSTEM WITH THE LANDSCAPE AND HANDSCAPE.

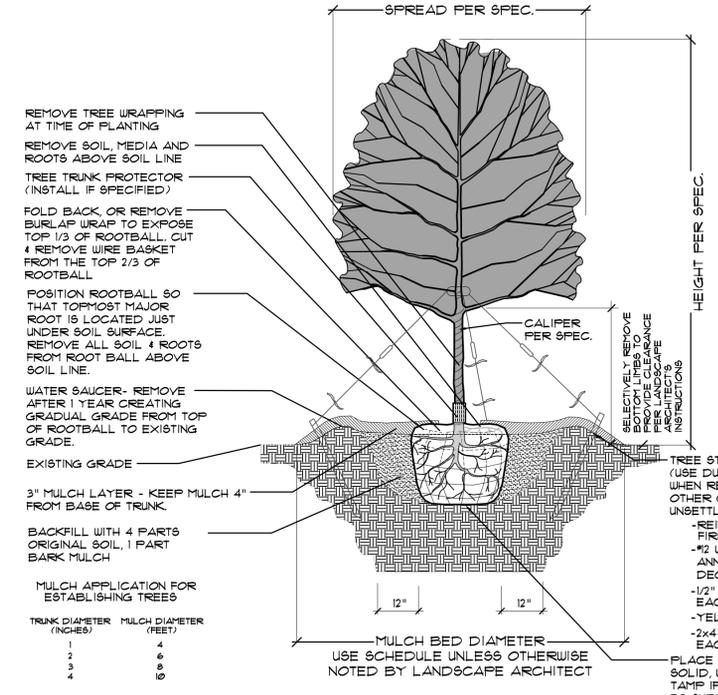
NOTE: THE IRRIGATION SYSTEM IS DISPLAYED SCHEMATIC IN NATURE. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO MAKE MINOR ADJUSTMENTS IN THE FIELD. THESE MINOR ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER BUT SHALL BE MADE ONLY AFTER NOTIFICATION IS MADE TO THE OWNER OR HIS REPRESENTATIVE.

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE SO THAT HE IS AWARE OF ANY SPECIAL CONDITIONS WHICH EXIST THAT MAY AFFECT HIS BID PROPOSAL AND SHALL THEREAFTER BE RESPONSIBLE FOR ALL COST INCURRED IN RELATION TO THE INSTALLATION.
- THIS DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWINGS SUPPLIED BY THE CLIENT OF RECORD WITH DESIGN CRITERIA BEING SET BY THE CLIENT AND/OR PROJECT OWNER (I.E. AREA TO BE IRRIGATED, MANUFACTURER'S EQUIPMENT TO BE EMPLOYED, WATER SOURCE (LOCATION, FLOW & PRESSURE) CAPACITIES, ELECTRICAL POWER AVAILABILITY FOR IRRIGATION SYSTEM USE, ETC.). SMITH TURF & IRRIGATION BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR APPLICATION WHICH MIGHT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SMITH TURF & IRRIGATION IN RELATION TO THIS SPECIFIC PROJECT UNLESS OTHERWISE NOTED.

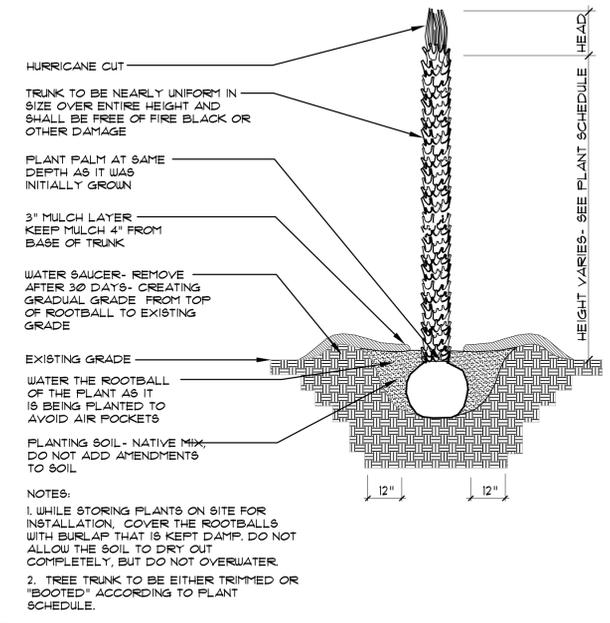
TREE OR SHRUB PLANTING ON A SLOPE



1 SHRUB PLANTING
L3 SCALE: NTS

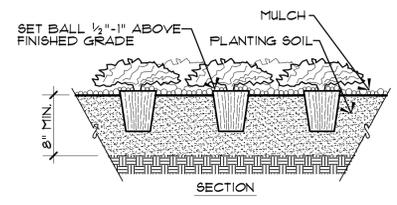
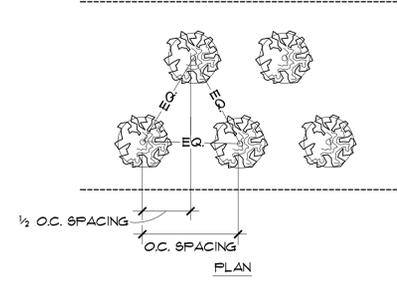


2 TREE PLANTING DETAIL
L3 SCALE: NTS

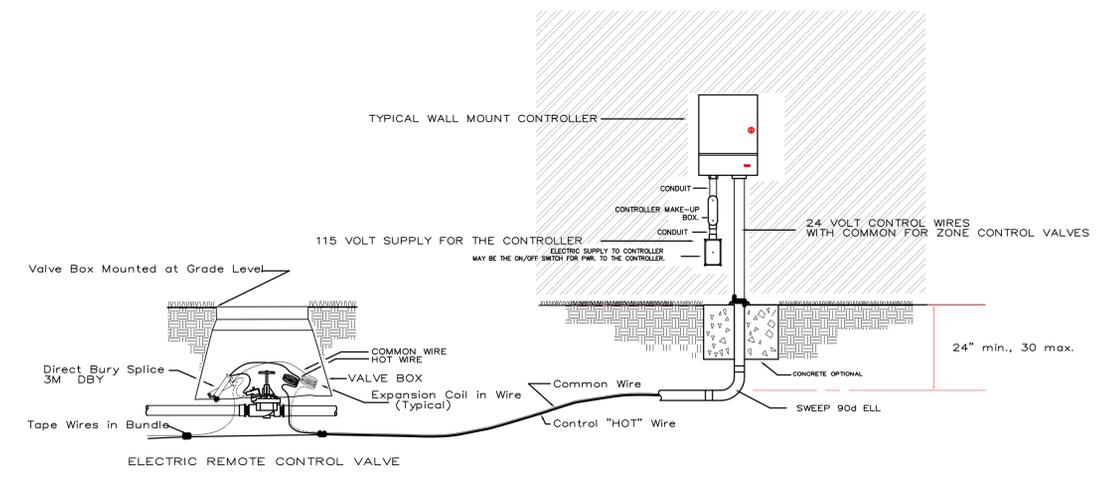


3 PALM TREE PLANTING
L3 SCALE: NTS

- NOTES:
1. PREPARE PLANTING BED WITH 8" LAYER OF PLANT SOIL MIXTURE.
2. PLACE PLANTS IN PREPARED BEDS, SPACING AS SPECIFIED.
3. SLICE & LOOSEN ROOT BOUND ROOT BALLS.

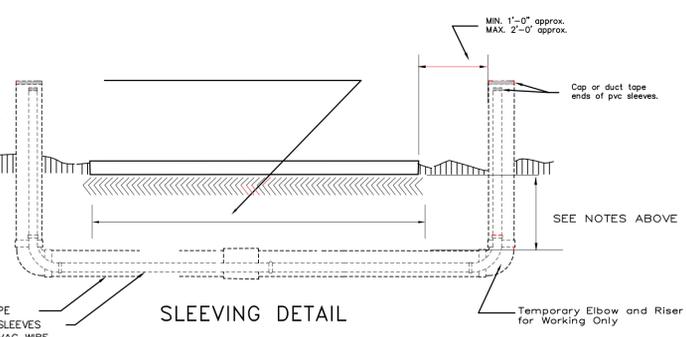


4 GROUNDCOVER PLANTING
L3 SCALE: NTS

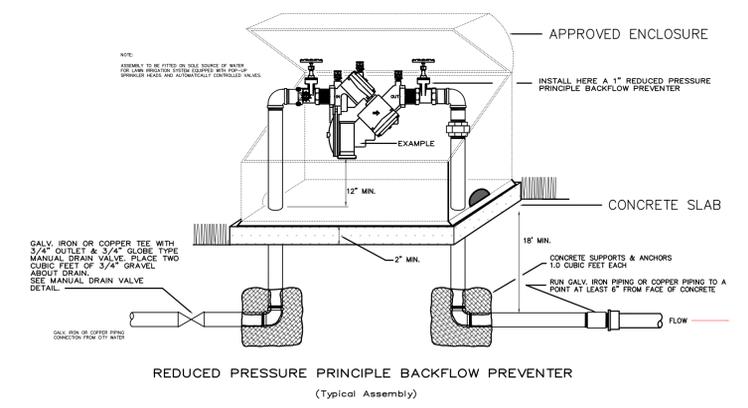


Electric Controller and Remote Control Valve Assembly

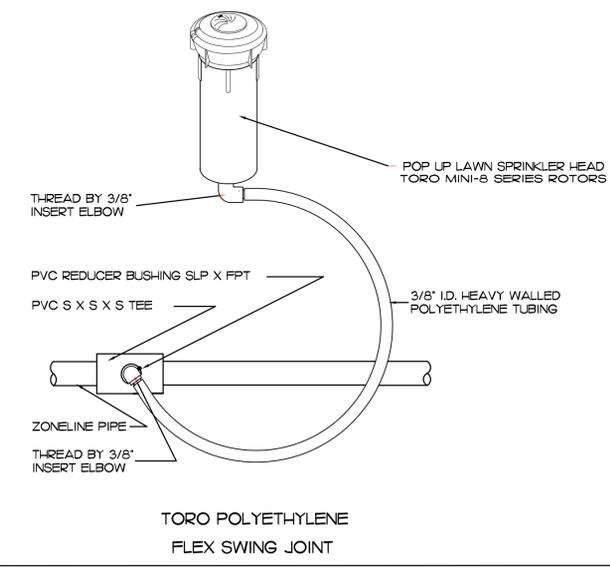
- NOTES: UNDER NON-VEHICULAR TRAFFIC HARDSCAPES
Direct Bury 120vac Wire - 18" min In Depth w/ Separate Wire Sleeve
Direct Bury 24vac Wire - 12" min In Depth w/ Separate Wire Sleeve
- NOTES: UNDER VEHICULAR TRAFFIC HARDSCAPES
Streets, Highways, Roads, Alleys, Driveways and Parking Lots.
Direct Bury 120vac Wire - 24" - 30" In Depth w/ Separate Wire Sleeve
Direct Bury 24vac Wire - 24" - 30" In Depth w/ Separate Wire Sleeve
- NOTES: UNDER ALL OTHER AREAS
Direct Bury 120vac Wire - 24" - 30" In Depth
Direct Bury 24vac Wire - 12" - 24" In Depth



5 TYPICAL IRRIGATION DETAILS
L3 SCALE: NTS



REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (Typical Assembly)



REVISIONS:	NO:	DESCRIPTION:
DATE:		

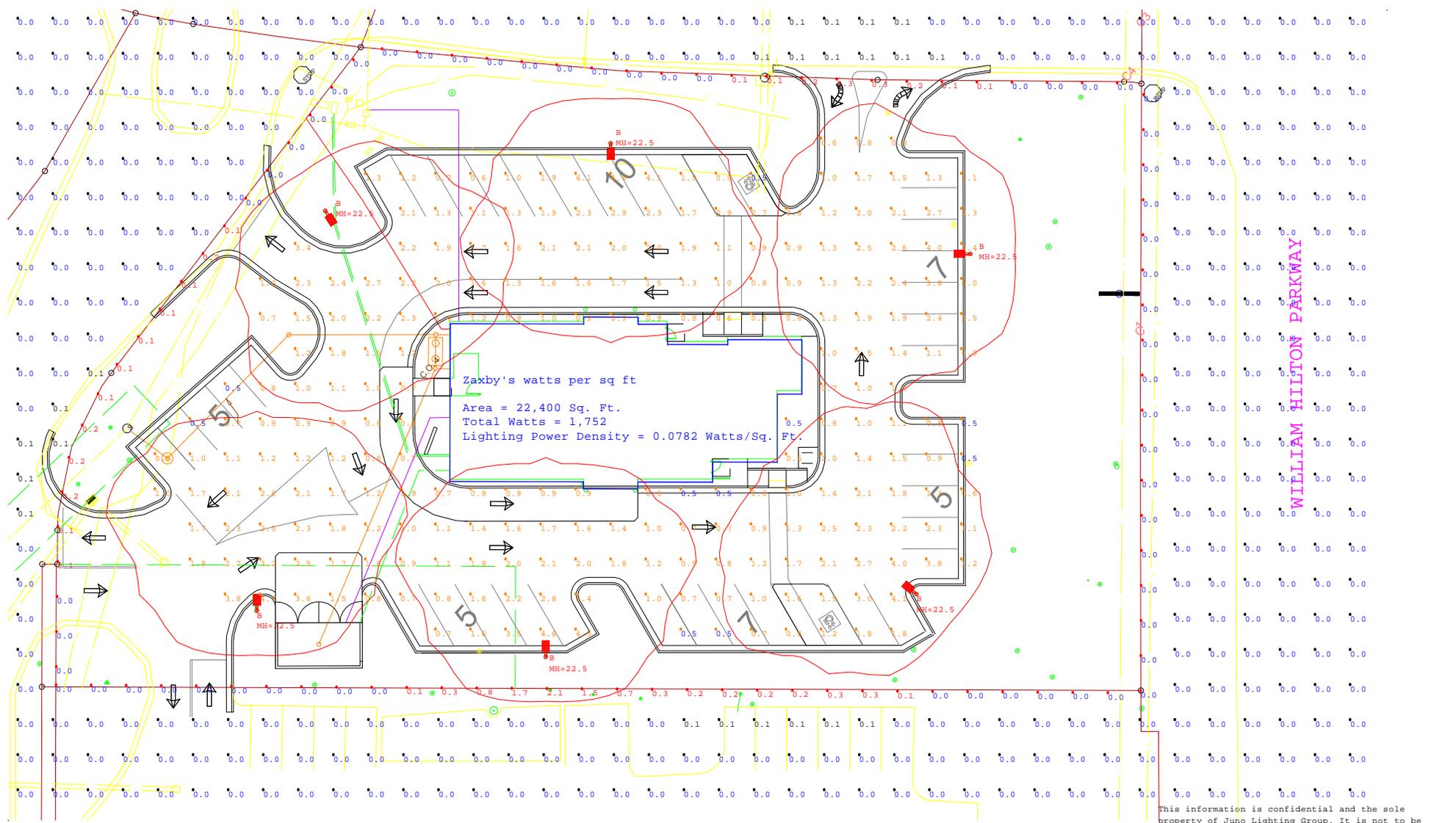
PROJECT NO:
10461
ISSUE DATE:
12/19/13

DRAWN:
pmf
APPROVED:

Planting
Details

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Beyond prop line	0.00	0.1	0.0	N.A.	N.A.
Property line	0.13	2.1	0.0	N.A.	N.A.
Parking lot	1.58	4.6	0.5	3.16	9.20

Luminaire Schedule						
Qty	Label	Description	Lumens	LLF	Symbol	Watts
6	B	AP2-250PS-QT-FT	22000	0.750		292



Scale: 1 inch= 40 Ft.

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220 Chrysler Drive
Brampton, Ontario
L6S 6B6
Tel: (905) 792-7335
email: ljorge@
junolightinggroup.com

Client:

EFFICIENCY 3 LTG
MICHELLE RILEY

Project:
ZAXBY'S HILTON HEAD SC
PARKING LOT LIGHTING
MAINTAINED HORIZONTAL FC
SHOWN AT GRADE LEVEL

Scale:

Date: 2013-12-19

Project No:
13-322-ELC4 (3578)

Drawn by: LJ

The calculation and results thereof, shown in this report, are based on information provided by the customer. The output figures are only as accurate as the input data. Therefore design parameters such as room reflectances, size, mounting height, depreciation factors, orientation and tilt must be verified. Juno Lighting Group disclaims all implied warranties with regard to actual installed light levels as compared to those calculated based on inaccurate or incomplete data

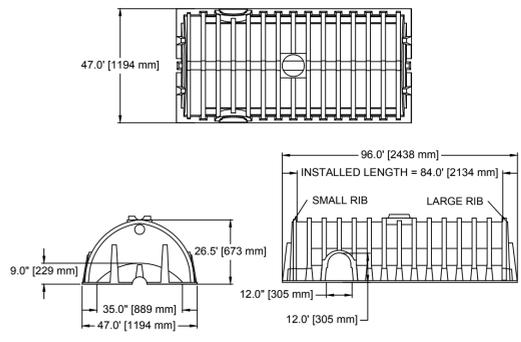
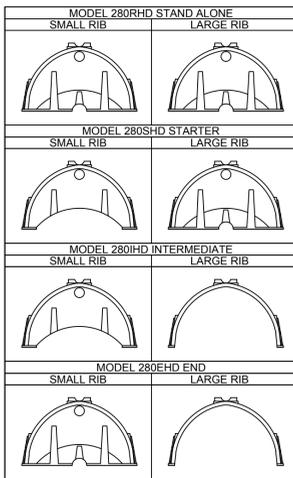
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CULTEC RECHARGER 280 SPECIFICATIONS

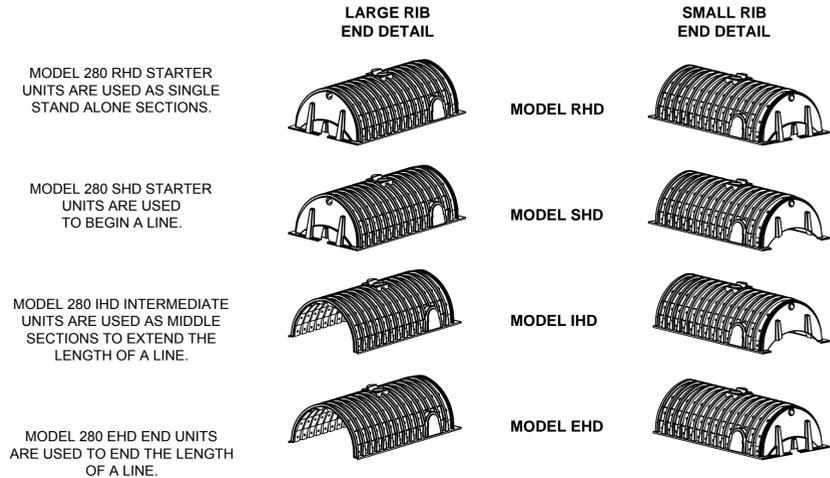
- GENERAL**
CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBER MAY BE USED FOR RETENTION, DEFLECTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.
- CHAMBER PARAMETERS**
- THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4418 OR 1-800-428-5822)
 - THE CHAMBER WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE).
 - THE CHAMBER WILL BE ARCHED IN SHAPE.
 - THE CHAMBER WILL BE OPEN BOTTOMED.
 - THE CHAMBER WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 280HD SHALL BE 28.5 INCHES (851 MM) TALL, 47 INCHES (1194 MM) WIDE AND 12 FEET (3.66 M) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 280HD SHALL BE 7 FEET (2.13 M).
 - MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 18 INCHES (457 MM).
 - THE CHAMBER WILL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL WILL BE 12 INCHES (305 MM) HIGH BY 12 INCHES (305 MM) WIDE. MAXIMUM ALLOWABLE PIPE SIZE IN THE SIDE PORTAL IS 10 INCHES (254 MM).
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 18 INCHES (457 MM) WIDE AND 24 INCHES (614 MM) LONG.
 - THE NOMINAL STORAGE VOLUME OF THE RECHARGER 280HD CHAMBER WILL BE 6.079 FT³ / FT (0.260 M³ / M), WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 280HD SHALL BE 42.553 FT³ / UNIT (1.205 M³ / UNIT), WITHOUT STONE.
 - THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.260 M³ / M), WITHOUT STONE.
 - THE RECHARGER 280HD CHAMBER WILL HAVE EIGHTY-TWO DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
 - THE RECHARGER 280HD CHAMBER SHALL HAVE 15 CORRUGATIONS.
 - THE ENDWALL OF THE CHAMBER, WHEN PRESENT, WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
 - THE RECHARGER 280HD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
 - THE RECHARGER 280HD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 MM) HIGH X 35 INCHES (889 MM) WIDE.
 - THE RECHARGER 280HD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 MM) HIGH X 35 INCHES (889 MM) WIDE.
 - THE RECHARGER 280HD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN ENDWALL HAVING NO SEPARATE END PLATES OR END WALLS.
 - THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE RECHARGER 280HD AND ACT AS CROSS FEED CONNECTIONS.
 - CHAMBERS MUST HAVE HORIZONTAL STIFFENING OR REDUCTION STEPS BETWEEN THE RIBS.
 - THE CHAMBER WILL BE DESIGNED TO WITHSTAND ASHTO H-20 LOAD RATING WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 - HEAVY DUTY UNITS ARE DESIGNATED BY A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
 - THE CHAMBER WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
 - THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
 - THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.
 - THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.

71 @B7 <J @: ' 71& : 998 7 CBB97 HCF DFC81 7 HGD97 @ # 5 HCBG

- CHAMBER PARAMETERS**
- THE CHAMBER WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4418 OR 1-800-428-5822)
 - THE CHAMBER WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE).
 - THE CHAMBER WILL BE ARCHED IN SHAPE.
 - THE CHAMBER WILL BE OPEN BOTTOMED.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 18 INCHES (457 MM) WIDE AND 24 INCHES (614 MM) LONG.
 - THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.260 M³ / M), WITHOUT STONE.
 - THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
 - THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER 280HD CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
 - THE CHAMBER WILL BE DESIGNED TO WITHSTAND ASHTO H-20 LOAD RATING WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 - THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.
- 71 @B7 BC' & @ DC @B H M B B 9 @ B F**
- GENERAL**
CULTEC NO. 20L POLYETHYLENE LINER IS DESIGNED AS AN IMPROVED UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS (INCLUDING THE CULTEC MANIFOLD FEATURE).
- LINER PARAMETERS**
- THE LINER WILL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4418 OR 1-800-428-5822)
 - THE LINER WILL BE BLACK IN APPEARANCE.
 - THE LINER WILL HAVE A NOMINAL THICKNESS OF 20 MIL (0.51 MM)
 - THE LINER WILL HAVE A WEIGHT OF 53 LBS/SQY (453 G/M²)
 - THE LINER WILL HAVE A TENSILE STRENGTH @ BREAK 12.24 C/M² OF 75 LBS (334 N) PER ASTM D2835 TESTING METHOD.
 - THE LINER WILL HAVE AN ELONGATION AT BREAK OF 800% PER ASTM D2835 TESTING METHOD.
 - THE LINER WILL HAVE A TEAR RESISTANCE OF 11 LBF (49 N) PER ASTM D1004 TESTING METHOD.
 - THE LINER WILL HAVE A HYDROSTATIC RESISTANCE OF 100 PSF (489 KPA) PER ASTM D711 TESTING METHOD.
 - THE LINER WILL HAVE A PUNCTURE RESISTANCE OF 30 LBF (133 N) PER ASTM D4852 TESTING METHOD.
 - THE LINER WILL HAVE A VOLATILE LOSS OF <1% PER ASTM D1003 TESTING METHOD.
 - THE LINER WILL HAVE A DIMENSIONAL STABILITY OF <2% PER ASTM D1024 TESTING METHOD.
 - THE LINER WILL HAVE A MAXIMUM USE TEMPERATURE OF 180 F (80 C).
 - THE LINER WILL HAVE A MINIMUM USE TEMPERATURE OF 700 F (370 C).
 - THE LINER WILL HAVE A PERM RATIO OF 0.041 U.S. PERMS (0.027 METRIC PERMS) PER ASTM E96 METHOD A.
 - THE LINER WILL CONSIST OF A BLENDED LINEAR POLYETHYLENE.
 - THE LINER WILL NOT CONTAIN PLASTICIZERS.



CULTEC RECHARGER 280HD CHAMBER STORAGE = 6.079 CF/FT [0.565 m³/m]
 INSTALLED LENGTH ADJUSTMENT = 1.0' [0.3048 m]
 ALL RECHARGER 280HD HEAVY DUTY UNITS ARE MARKED WITH A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. SIDE PORTAL ACCEPTS CULTEC HVLV FC-24 FEED CONNECTOR.

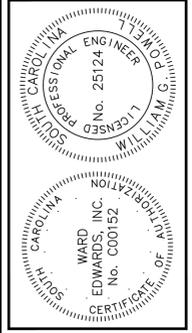


MODEL 280 RHD STARTER UNITS ARE USED AS SINGLE STAND ALONE SECTIONS.

MODEL 280 SHD STARTER UNITS ARE USED TO BEGIN A LINE.

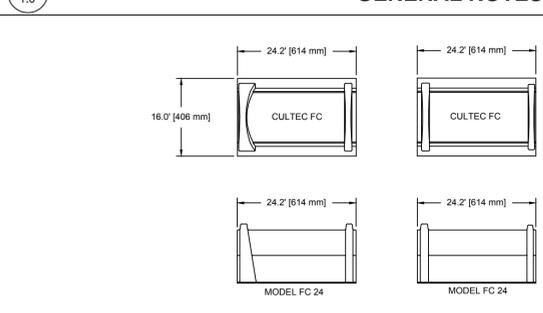
MODEL 280 IHD INTERMEDIATE UNITS ARE USED AS MIDDLE SECTIONS TO EXTEND THE LENGTH OF A LINE.

MODEL 280 EHD END UNITS ARE USED TO END THE LENGTH OF A LINE.

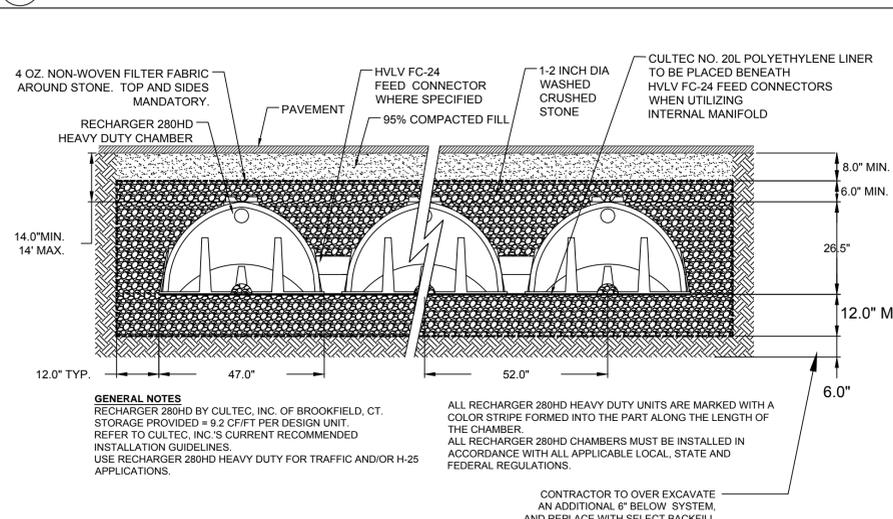


NO.	DATE	DESCRIPTION	PLAN REVISIONS
7			
6			
5			
4			
3			
2			
1			

GENERAL NOTES



CULTEC RECHARGER 280HD HEAVY DUTY THREE VIEW

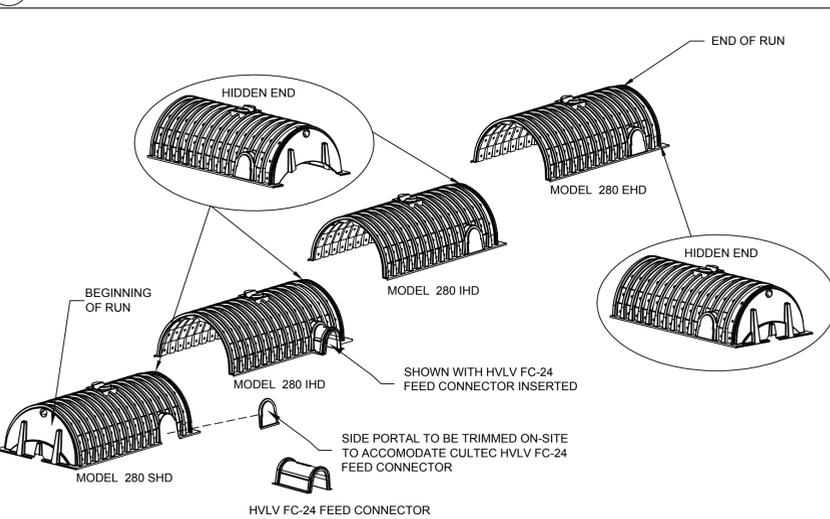


GENERAL NOTES
 RECHARGER 280HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 9.2 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 280HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

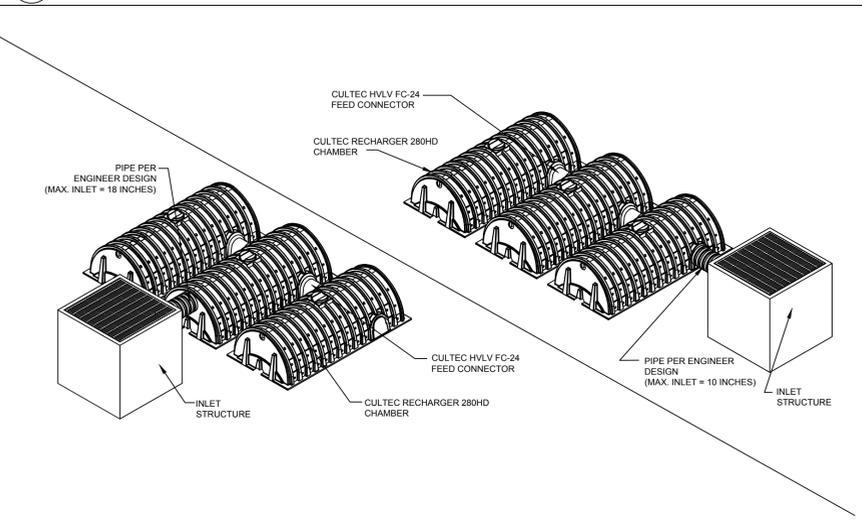
ALL RECHARGER 280HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 280HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

CONTRACTOR TO OVER EXCAVATE AN ADDITIONAL 6" BELOW SYSTEM, AND REPLACE WITH SELECT BACKFILL.

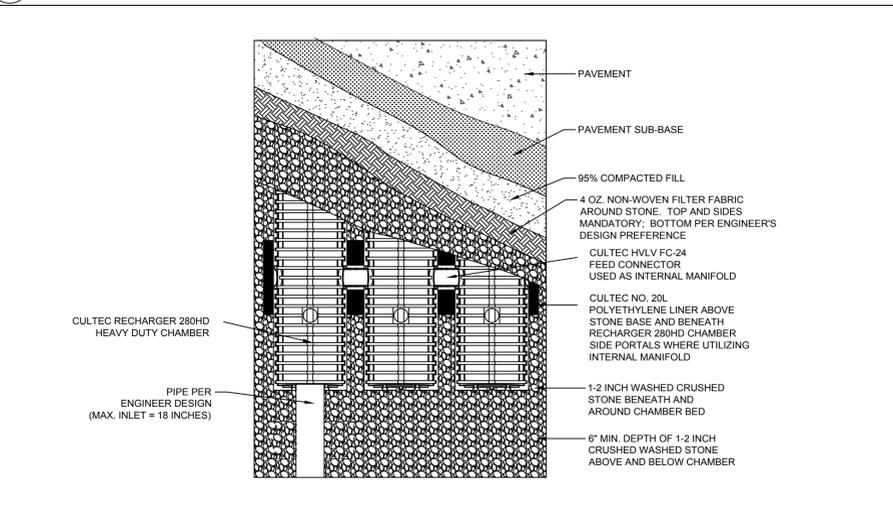
CULTEC RECHARGER 280HD HEAVY DUTY END DETAIL INFORMATION



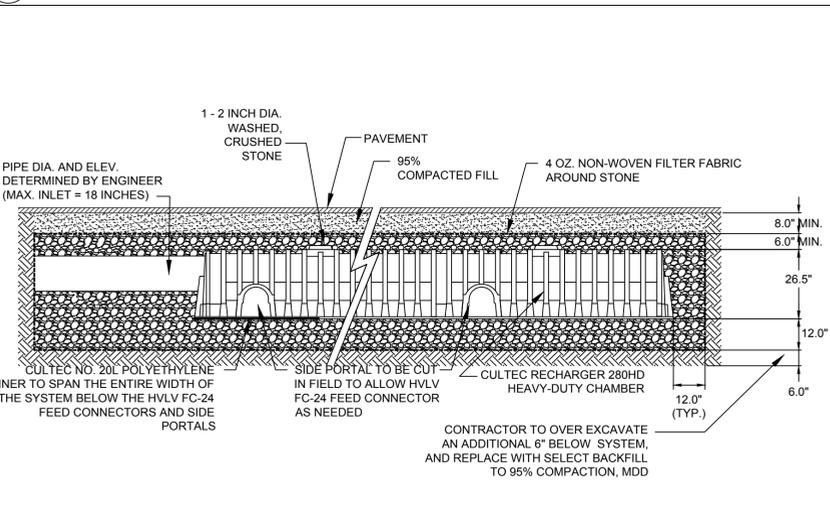
CULTEC HVLV FC 24 FEED CONNECTOR THREE VIEW



CULTEC RECHARGER 280HD HEAVY DUTY TYPICAL CROSS SECTION



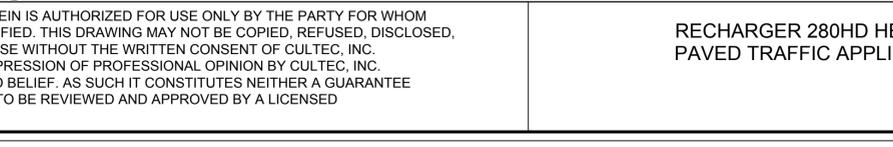
CULTEC RECHARGER 280HD HEAVY DUTY TYPICAL INTERLOCK



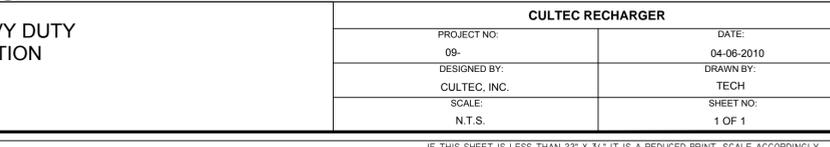
CULTEC TYPICAL INLET CONNECTIONS



CULTEC RECHARGER 280HD HEAVY DUTY PLAN VIEW



CULTEC INTERNAL MANIFOLD DETAIL



CULTEC, Inc.
 Subsurface Stormwater Management Systems
 P.O. Box 280 PH: (203) 775-4416
 878 Federal Road PH: (800) 4-CULTEC
 Brookfield, CT 06804 FX: (203) 775-1462
 www.cultec.com tech@cultec.com

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RECHARGER 280HD HEAVY DUTY PAVED TRAFFIC APPLICATION

CULTEC RECHARGER	
PROJECT NO:	DATE:
09:	04-06-2010
DESIGNED BY:	DRAWN BY:
CULTEC, INC.	TECH
SCALE:	SHEET NO.:
N.T.S.	1 OF 1

SHEET C.11H

CONSTRUCTION DETAILS	
PROJECT #:	130261
DATE:	12/20/12
DESIGNED BY:	CAT
CHECKED BY:	WGP
SCALE:	NTS

Ward Edwards ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (803) 837-5250 / FAX (843) 837-2558
 WWW.WARDEDWARDS.COM

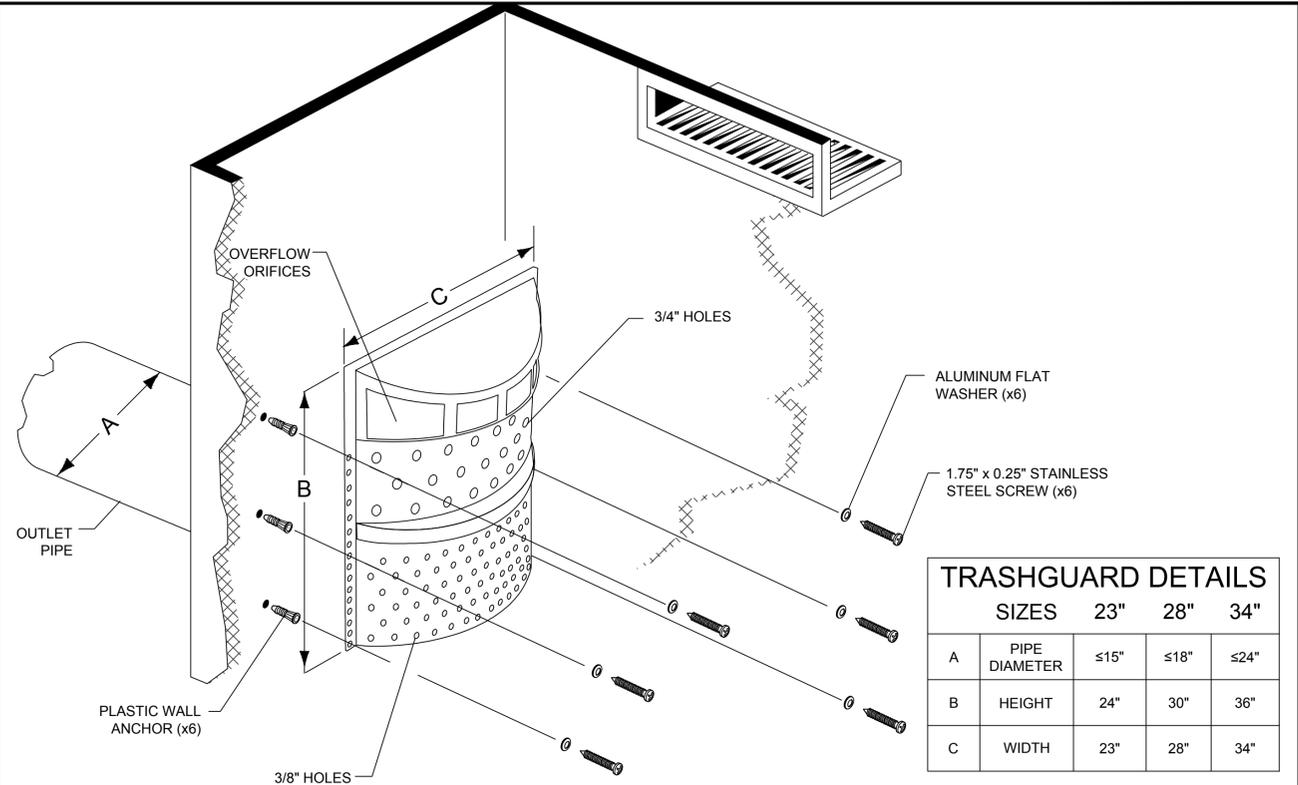
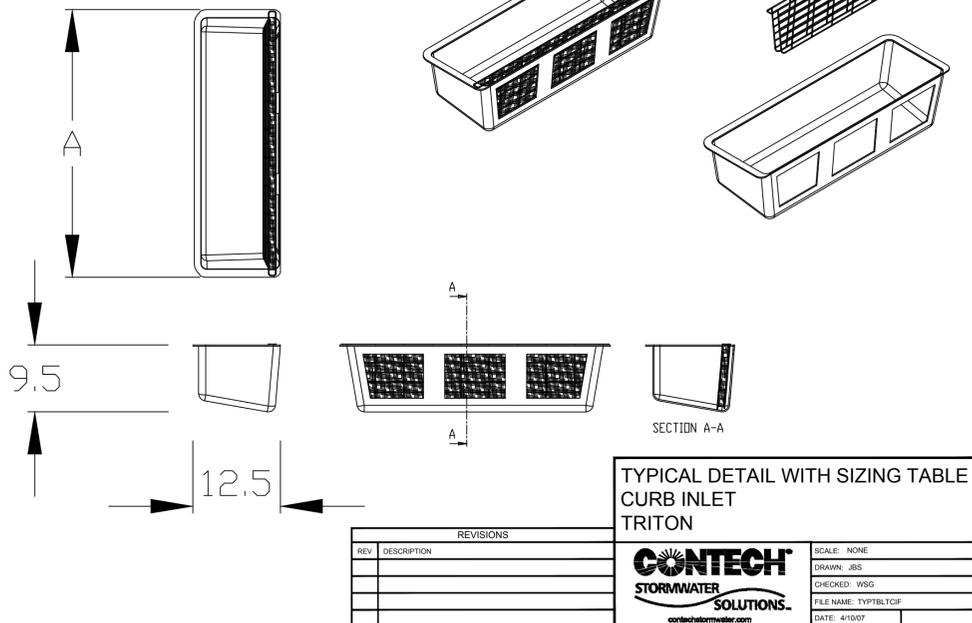
ZAXBY'S
 HILTON HEAD ISLAND, SOUTH CAROLINA
 OUTPARCEL HOLDINGS, LLC
 HILTON HEAD ISLAND, SC
CONSTRUCTION DETAILS

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- NOTES
1. ALL DIMENSIONS ARE IN FEET. CUSTOM SIZES ALSO AVAILABLE.
 2. UNITS ARE CONSTRUCTED FROM HIGH DENSITY POLYETHYLENE PLASTIC WITH UV INHIBITORS. OVER 40% RECYCLED CONTENT.
 3. DISPOSABLE MEDIA-PAK IS CONSTRUCTED OF DURABLE GEOTEXTILE FABRIC, WOVEN WITH PERFORATED POLYPROPYLENE.
 4. MEDIA-PAK CAGE IS CONSTRUCTED USING 8 GAUGE TYPE 304 STAINLESS STEEL.
 5. FILTER BODY IS SECURED TO INSIDE WALL USING (2) 1/4" THICK BRACKETS PER SECTION, ATTACHED USING 3/8" X 3" EXPANSION ANCHOR BOLTS.
 6. OPTIONAL STORMWEB, DESIGNED FOR CAPTURING LARGER TRASH AND DEBRIS.
 7. FILTER MEDIA IS NON-HAZARDOUS PER EPA AND OSHA STANDARDS.
 8. FILTER SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 9. PLEASE REFER TO MANUFACTURER RECOMMENDATIONS FOR AN APPROVED MAINTENANCE PROGRAM.

STANDARD DIMENSIONS

MODEL #	A*
TRC2	2.00
TRC2.5	2.50
TRC3	3.00
TRC3.5	3.50
TRC4	4.00
TRC5	5.00
TRC6	6.00
TRC7	7.00
TRC8	8.00
TRC9	9.00
TRC10	10.00
TRC12	12.00
TRC14	14.00
TRC21	21.00
TRC28	28.00

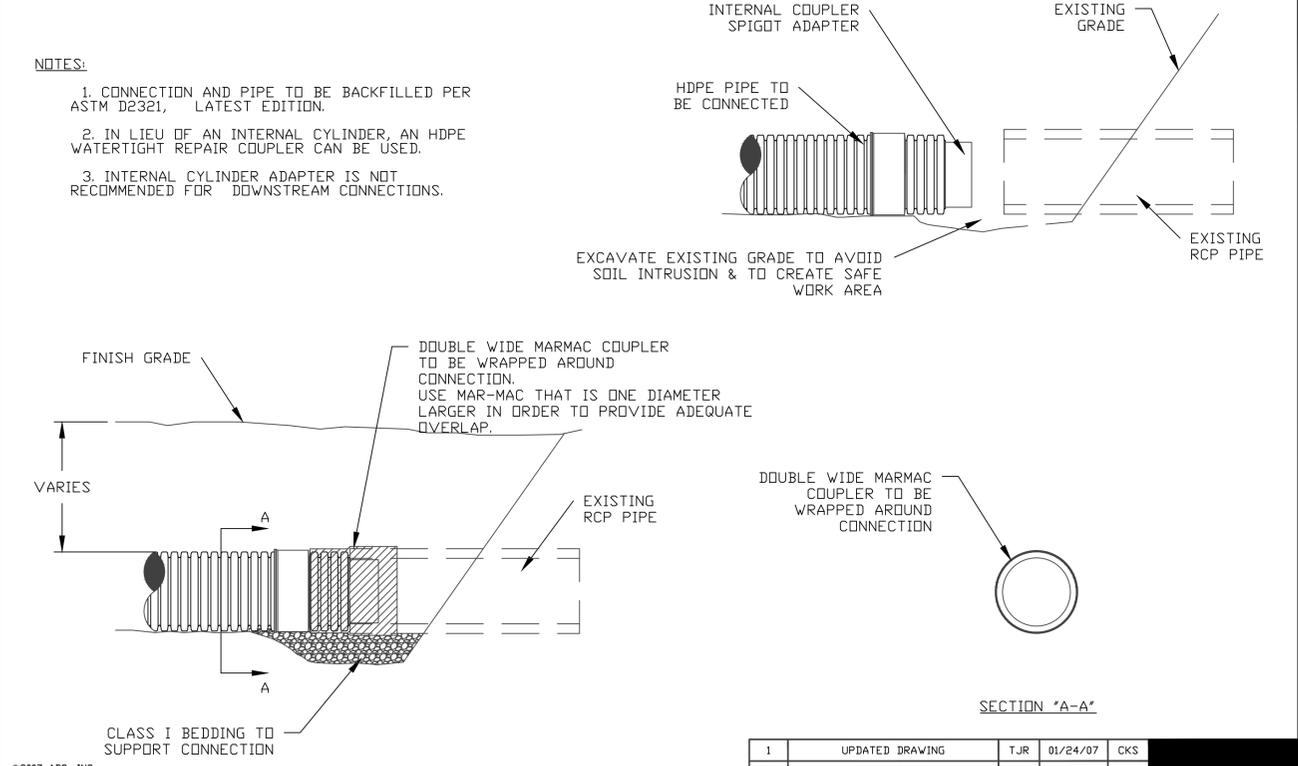
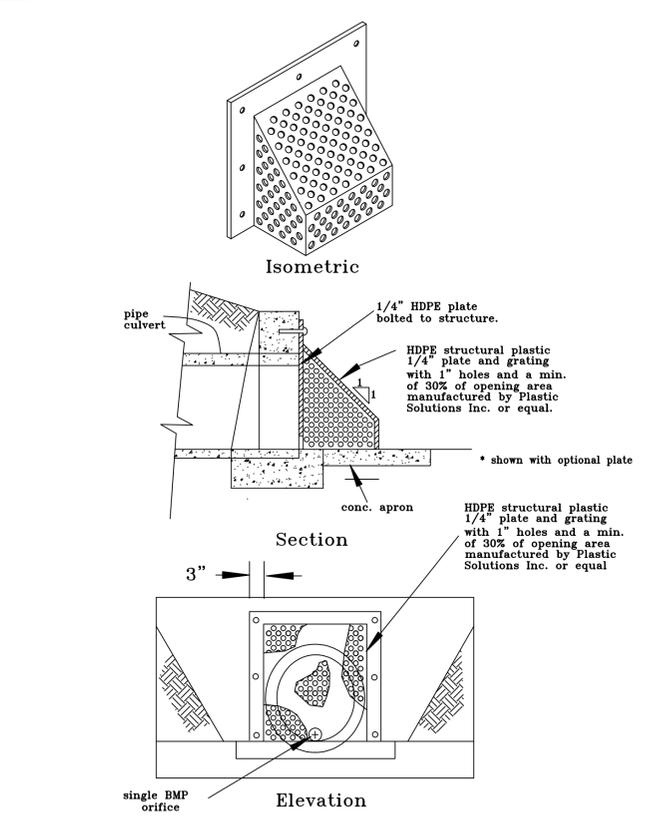
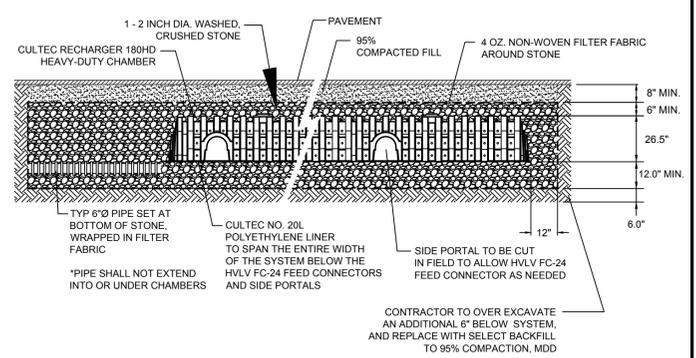


TRASHGUARD

STANDARD DETAIL FOR FLAT-BOTTOM CATCH BASINS

PATENT NUMBER 7276156

ENVIRONMENTAL
Customer Focused, Environmentally Committed
1-800-448-3636



TYPICAL PIPE CONNECTION TO CULTEC BED

BMP TRASH RACK

PLASTIC SOLUTIONS INC.
P.O. Box 4386
Winchester VA 22604
877-877-5727
www.plastic-solution.com

ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

REV.	DESCRIPTION	BY	MM/DD/YY	CHK'D
1	UPDATED DRAWING	TJR	01/24/07	CKS

DRAWING NUMBER: STD-604

HDPE TO REINFORCED CONCRETE PIPE CONNECTION DETAIL (MARMAC)

ADS 4640 TRUEMAN BLVD. HILLIARD, OHIO 43026
ADVANCED DRAINAGE SYSTEMS, INC.

WARD EDWARDS, INC.
ENGINEERING
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2558
WWW.WARDEDWARDS.COM

NO.	DESCRIPTION	DATE

Ward Edwards ENGINEERING
HILTON HEAD ISLAND, SOUTH CAROLINA
OUTPARCEL HOLDINGS, LLC
HILTON HEAD ISLAND, SC

ZAXBY'S
HILTON HEAD ISLAND, SOUTH CAROLINA
OUTPARCEL HOLDINGS, LLC
HILTON HEAD ISLAND, SC

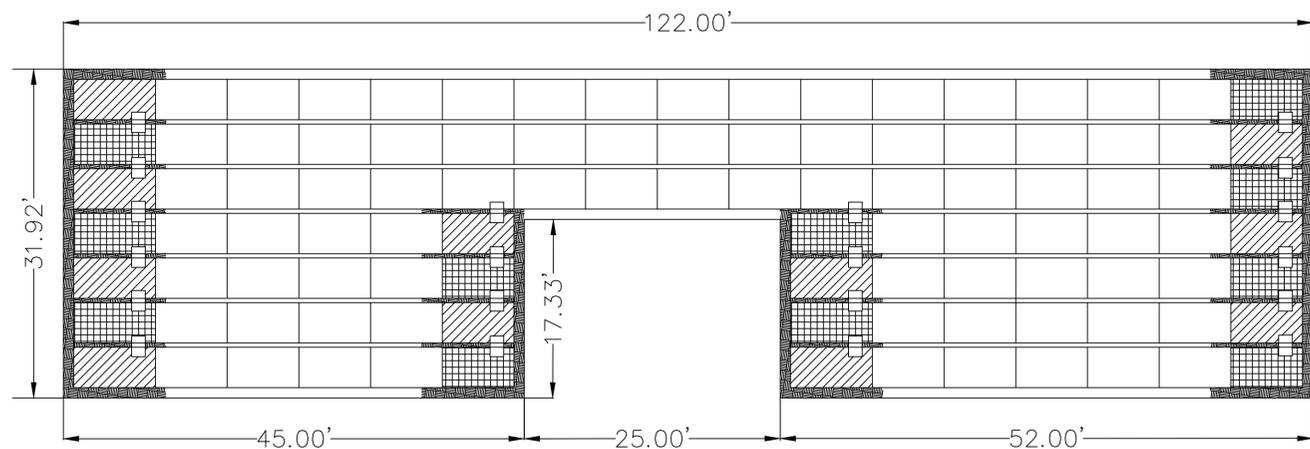
CONSTRUCTION DETAILS

PROJECT #: 130261
DATE: 12/20/13
DESIGNED BY: CAT
CHECKED BY: WGP
SCALE: NTS

SHEET C.111

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**71 @#97 F97<5F; 9F# & \$<8
STORMWATER BED**



STORMBED A

MATERIALS LIST		
RECHARGER 280SHD STARTER	11	PIECES
RECHARGER 280HD INTERMEDIATE	45	PIECES
RECHARGER 280EHD END	11	PIECES
HVLV FC-24 FEED CONNECTORS	11	PIECES
CULTEC NO. 410 FILTER FABRIC	0	SQUARE YARDS
CULTEC NO. 20L POLYETHYLENE LINER	0	LINEAL FEET
1 1/2 - 2 INCH DIAMETER BROKEN STONE	0	CUBIC YARDS
VOLUME OF EXCAVATION	0	CUBIC YARDS

CULTEC RECHARGER® 280HD LEGEND	
	RECHARGER 280SHD STARTER
	RECHARGER 280HD INTERMEDIATE
	RECHARGER 280EHD END
	HVLV FC-24 FEED CONNECTORS
	CULTEC NO. 20L POLYETHYLENE LINER

CULTEC STORMWATER MANAGEMENT SYSTEM

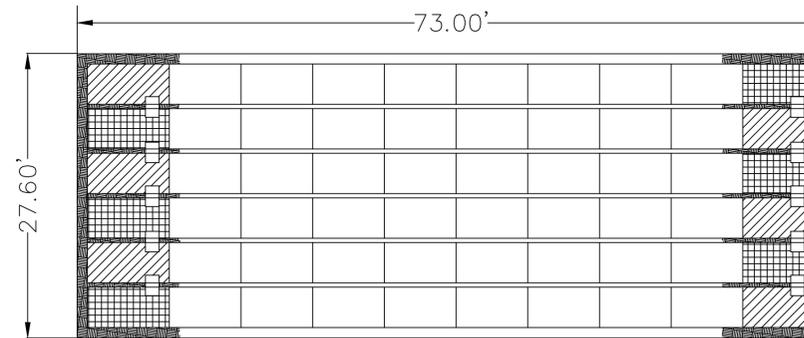
CULTEC, Inc.
Subsidiary Stormwater Management Systems
P.O. Box 280
878 Federal Road
Brookfield, CT 06804
www.cultec.com

THIS DRAWING WAS PREPARED TO SUPPORT THE DESIGN ENGINEER FOR THE PROPOSED SYSTEM. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER TO ASSURE THAT THE STORMWATER SYSTEMS DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE CULTEC PRODUCTS ARE DESIGNED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. CULTEC, INC. DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS. THE DESIGNING ENGINEER IS RESPONSIBLE FOR ALL DESIGN DECISIONS.

PALMETTO MEDICAL
CULTEC BED: B

CULTEC RECHARGER 280HD	
PROJECT NO: 110262	DATE: 09/25/12
DESIGNED BY: CULTEC, INC.	DRAWN BY: STORMGENIE
SCALE: N.T.S.	SHEET NO: 1 OF 3

**71 @#97 F97<5F; 9F# & \$<8
STORMWATER BED**



STORMBED B

MATERIALS LIST		
RECHARGER 280SHD STARTER	6	PIECES
RECHARGER 280HD INTERMEDIATE	38	PIECES
RECHARGER 280EHD END	6	PIECES
HVLV FC-24 FEED CONNECTORS	6	PIECES
CULTEC NO. 410 FILTER FABRIC	0	SQUARE YARDS
CULTEC NO. 20L POLYETHYLENE LINER	0	LINEAL FEET
1 1/2 - 2 INCH DIAMETER BROKEN STONE	0	CUBIC YARDS
VOLUME OF EXCAVATION	0	CUBIC YARDS

CULTEC RECHARGER® 280HD LEGEND	
	RECHARGER 280SHD STARTER
	RECHARGER 280HD INTERMEDIATE
	RECHARGER 280EHD END
	HVLV FC-24 FEED CONNECTORS
	CULTEC NO. 20L POLYETHYLENE LINER

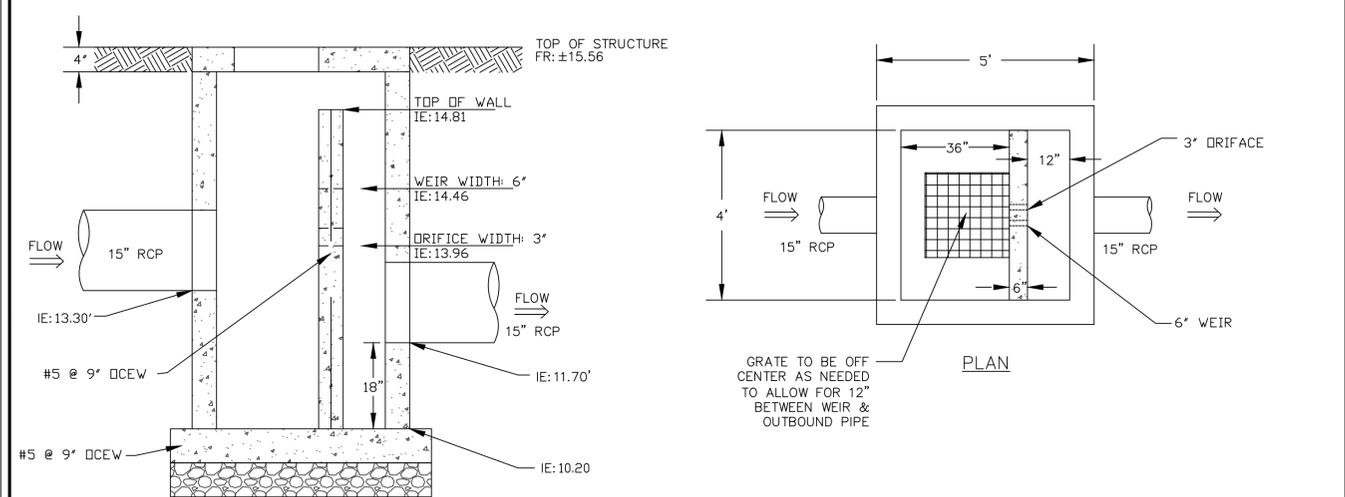
CULTEC STORMWATER MANAGEMENT SYSTEM

CULTEC, Inc.
Subsidiary Stormwater Management Systems
P.O. Box 280
878 Federal Road
Brookfield, CT 06804
www.cultec.com

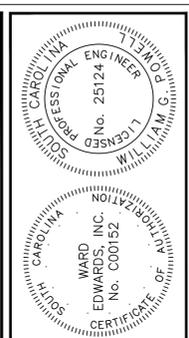
THIS DRAWING WAS PREPARED TO SUPPORT THE DESIGN ENGINEER FOR THE PROPOSED SYSTEM. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER TO ASSURE THAT THE STORMWATER SYSTEMS DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE CULTEC PRODUCTS ARE DESIGNED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. CULTEC, INC. DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS. THE DESIGNING ENGINEER IS RESPONSIBLE FOR ALL DESIGN DECISIONS.

PALMETTO MEDICAL
CULTEC BED: D

CULTEC RECHARGER 280HD	
PROJECT NO: 110262	DATE: 09/25/12
DESIGNED BY: CULTEC, INC.	DRAWN BY: STORMGENIE
SCALE: N.T.S.	SHEET NO: 3 OF 3



OUTLET STRUCTURE DETAIL - SDGI: A0
NOT TO SCALE



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards
ENGINEERING
P.O. BOX 381 • BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2558
WWW.WARDEDWARDS.COM

ZAXBY'S
HILTON HEAD ISLAND, SOUTH CAROLINA
OUTPARCEL HOLDINGS, LLC
HILTON HEAD ISLAND, SC
CONSTRUCTION DETAILS

PROJECT #:	130261
DATE:	12/20/13
DESIGNED BY:	CAT
CHECKED BY:	WGP
SCALE:	NTS

SHEET
C.11J

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3-5/8" x 2-1/4" x 7 5/8" RUNNING BOND

- 1 COLOR: BRICK - MOSSWOOD (BORAL BRICK)
MORTAR - BUFF BRICK (BORAL BRICK)

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

DUR-O-WALL HORIZ REINF. ON CMU FENCE
DUR-O-WALL, DA 210 / DA 720 TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2 STO TO HAVE "SWIRL" FINISH
STO BRAND EIFS ON CMU, OR SHEATHING:
"STO ESSENCE" SPEC. E100
ICC EVALUATION REPORT NO. ESR-1720

2F = FIELD COLOR: PAINT SHERWIN WILLIAMS "DORIAN GRAY", SW 7017

2A = ACCENT COLOR - EIFS CORNERS, CORNICE, FRIEZE & TRIM, DECORATIVE BRACKETS, BEAMS OR PURLINS: PAINT SHERWIN WILLIAMS "TOQUE WHITE", SW 7003

3 (HARDIE) CORNER BOARDS, CORNICE, FRIEZE & TRIM: PAINT SHERWIN WILLIAMS "TOQUE WHITE", SW 7003

4 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR
ROOFING @ REAR AWNING: GALVANIZED / GALVALUME
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR
0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX.
- B. PAC-CLAD
- C. MBCI
- D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

5 STOREFRONT: WINDOWS & ENTRANCE DOORS

ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS

APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3
CLEAR - NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

6 SELF-CLOSING & TEMPERED GLASS
DRIVE-THRU WINDOW: ROUGH OPENING = 4'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4030 SELF-CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

QUICKSERV-DIVISION OF MCE SYSTEMS CORP.
P.O. BOX 40466, HOUSTON, TX 77240-0466
P. 800-388-8307 F. 713-462-1936
STOREFRONT & SLIDER ALSO BY:
QUALITY GLASS P. 706-548-4481

7 GALVALUME STANDING SEAM METAL ROOF

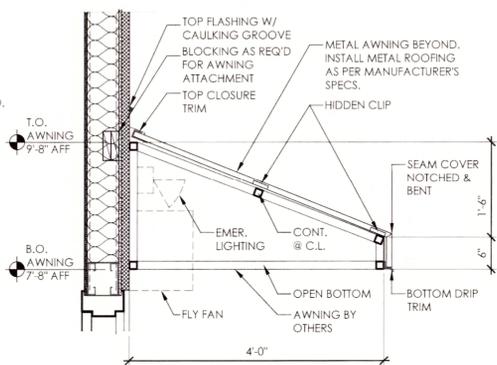
8 GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

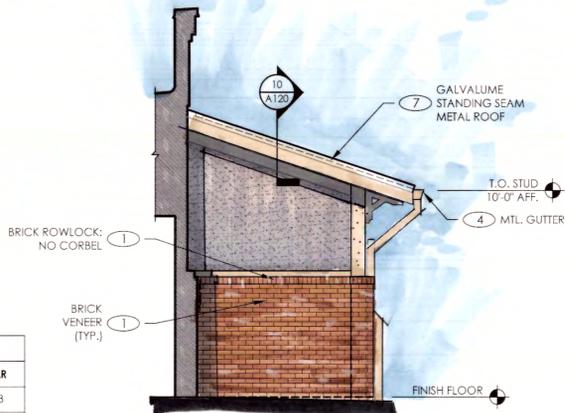
9 LADDER, PAINT FIELD COLOR

GLAZING, REFER TO SHEET A117

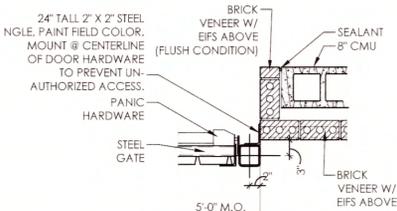
DOORS, REFER TO SHEET A115



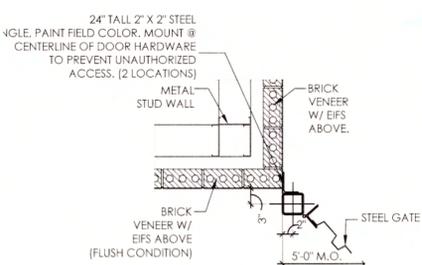
5 REAR AWNING DETAIL
A105 3/4" = 1'-0"



8 REAR ELEVATION @ CAN WASH
A105 1/4" = 1'-0"



6 GATE STRIKE JAMB DETAIL
A105 3/4" = 1'-0"

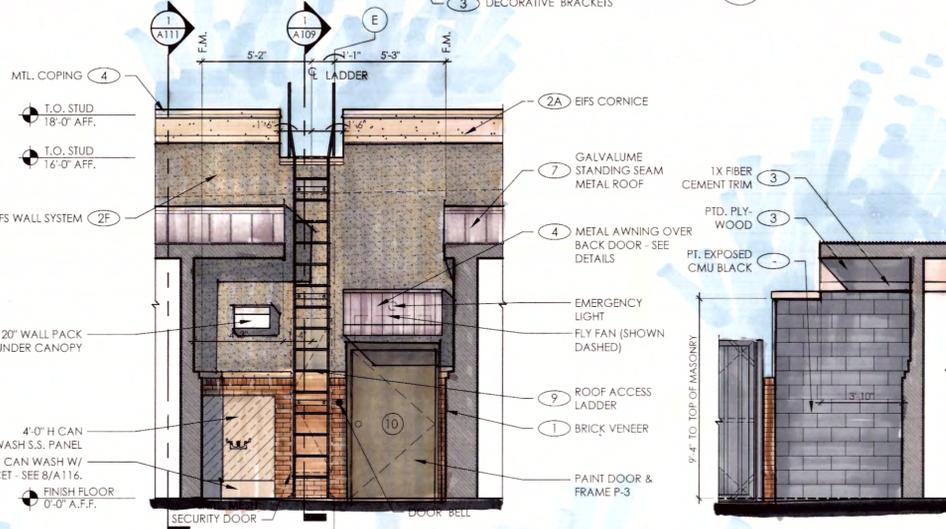


7 GATE HINGE JAMB DETAIL
A105 3/4" = 1'-0"



NOTE:
ALL EXTERIOR FIXTURES SHALL BE CUT-OFF FIXTURES TO COMPLY WITH HILTON HEAD LIGHTING ORDINANCE.

4 REAR ELEVATION @ CAN WASH
A105 1/4" = 1'-0"



3 REAR ELEVATION (HIDDEN)
A105 1/4" = 1'-0"

9 ELEVATION
A105 1/4" = 1'-0"

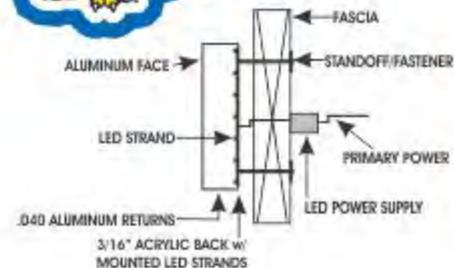


1 FRONT ELEVATION
A105 1/4" = 1'-0"





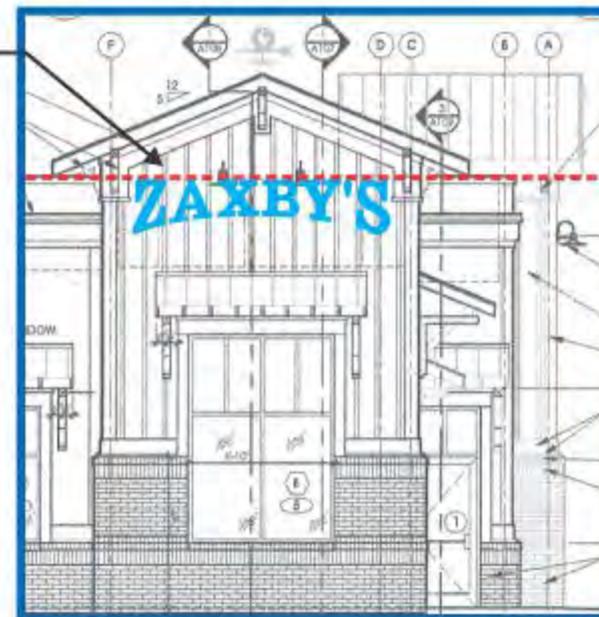
SQ FT-29.2



SPECIFICATIONS:
SIGN IS TO BE INDIVIDUALLY LIT REVERSE LED CHANNEL LETTERS. LETTERS ARE TO BE ALUMINUM FABRICATED (.040" RETURNS & .040" FACES)

COLOR PLACEMENT
FACE COLOR - ZAXBY'S BLUE
RETURN COLOR - ZAXBY'S BLUE
LED COLOR - WHITE

NEW LOCATION ON FRONT OF BUILDING



SIGN SIZE ON BUILDING IS APPROXIMATE

scale: 1/2"-1'

REVERSE LED CHANNEL LETTERS



SIGN SIZE ON BUILDING IS APPROXIMATE

www.langsigns.com

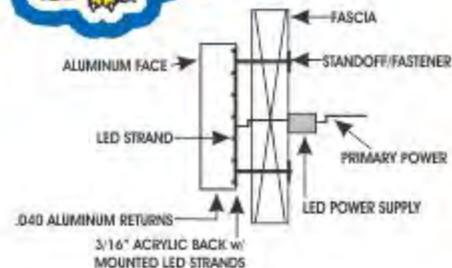


"Serving The Southeast Since 1929"

CEO: RICHIE ROSEBUSH
DESIGN: NEIL TANNER



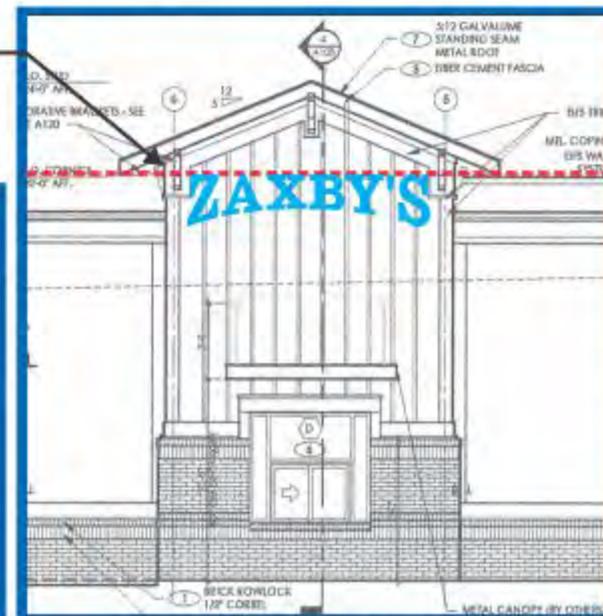
SQ FT-29.2



SPECIFICATIONS:
SIGN IS TO BE INDIVIDUALLY LIT REVERSE LED CHANNEL LETTERS. LETTERS ARE TO BE ALUMINUM FABRICATED (.040\"/>

COLOR PLACEMENT
FACE COLOR - ZAXBY'S BLUE
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NEW LOCATION ON FRONT OF BUILDING



SIGN SIZE ON BUILDING IS APPROXIMATE

scale: 1/2\"/>

REVERSE LED CHANNEL LETTERS

SIGN SIZE ON BUILDING IS APPROXIMATE

www.langsigns.com

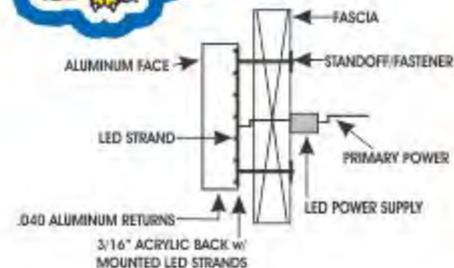


"Serving The Southeast Since 1929"

CEO: RICHIE ROSEBUSH
DESIGN: NEIL TANNER



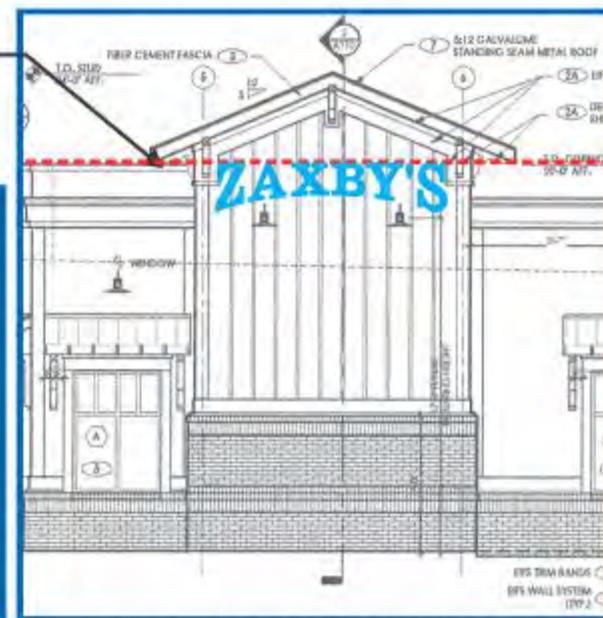
SQ FT-29.2



SPECIFICATIONS:
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COLOR PLACEMENT
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RETURN COLOR - ZAXBY'S BLUE
LED COLOR - WHITE

NEW LOCATION ON FRONT OF BUILDING



SIGN SIZE ON BUILDING IS APPROXIMATE

scale: 1/2\"/>

REVERSE LED CHANNEL LETTERS

SIGN SIZE ON BUILDING IS APPROXIMATE

www.langsigns.com



"Serving The Southeast Since 1929"

CEO: RICHIE ROSEBUSH
DESIGN: NEIL TANNER



SQ FT-40



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www.langsigns.com

scale: 1/2"-1'



"Serving The Southeast Since 1929"

CEO: RICHIE ROSEBUSH
DESIGN: NEIL TANNER



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 12/30/13
 Accepted by: DH
 App. #: DR 130057
 Meeting Date: 1-14-14

Applicant/Agent Name: CHARLIE HALTERMAN Company: BLUEWATER RESORTS MARINA, LLC
 Mailing Address: PO Box 6899 City: HILTON HEAD State: SC Zip: 29938
 Telephone: (843) 247-1215 Fax: (843) 785-6178 E-mail: chalterman@spinnakerresorts.com
 Project Name: BLUEWATER RESORTS MARINA Project Address: 10 BLUEWATER MARINA DRIVE
 Parcel Number [PIN]: R511 003 000 00 26 0000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

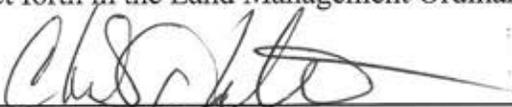
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

DATE

December 16, 2013

Bluewater Resort and Marina, LLC. is requesting review and approval of the design and color scheme of the new pool equipment buildings and restrooms to be located at 10 Bluewater Marina Drive.

The design is compatible with the other approved buildings on site. The materials will be the same. Standing seam roof, cementitious siding, and hard coat stucco. The colors will match the previously approved sample boards.

Thank you for your consideration of this request,

Charlie Halterman

A handwritten signature in black ink, appearing to read "Charlie Halterman", with a long horizontal flourish extending to the right.

Construction Manager

Bluewater Pool Buildings Color Chart

Roof – Pac-Clad Military Blue



▲ Military Blue

Siding – BM HC 172 – Revere Pewter



Stucco – BM AC 32 – Pismo Dunes

POOL DECK - BM AC 32 - PISMO DUNES



Trim – BM Super White

POOL FENCE - BM SUPER WHITE

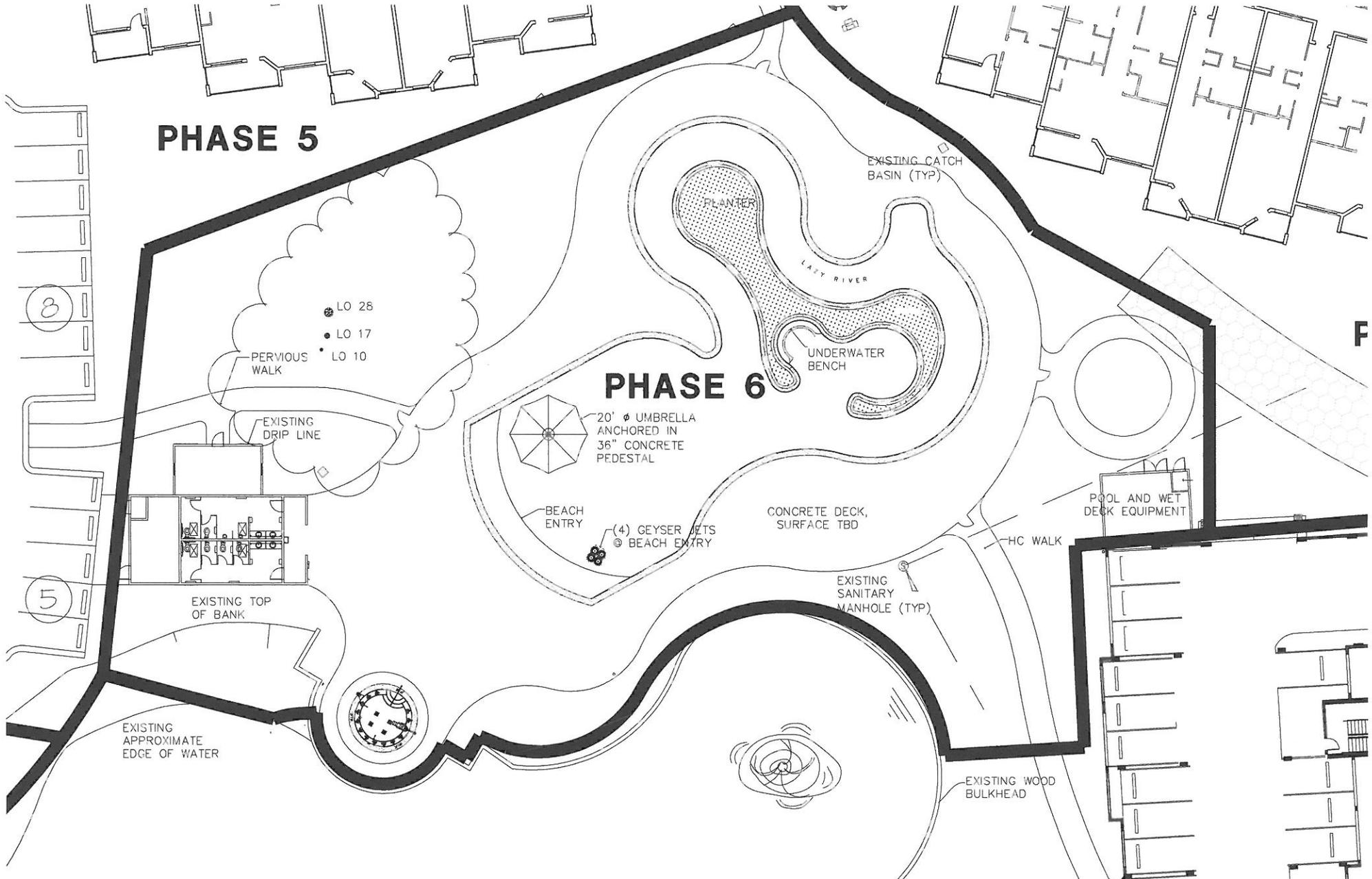


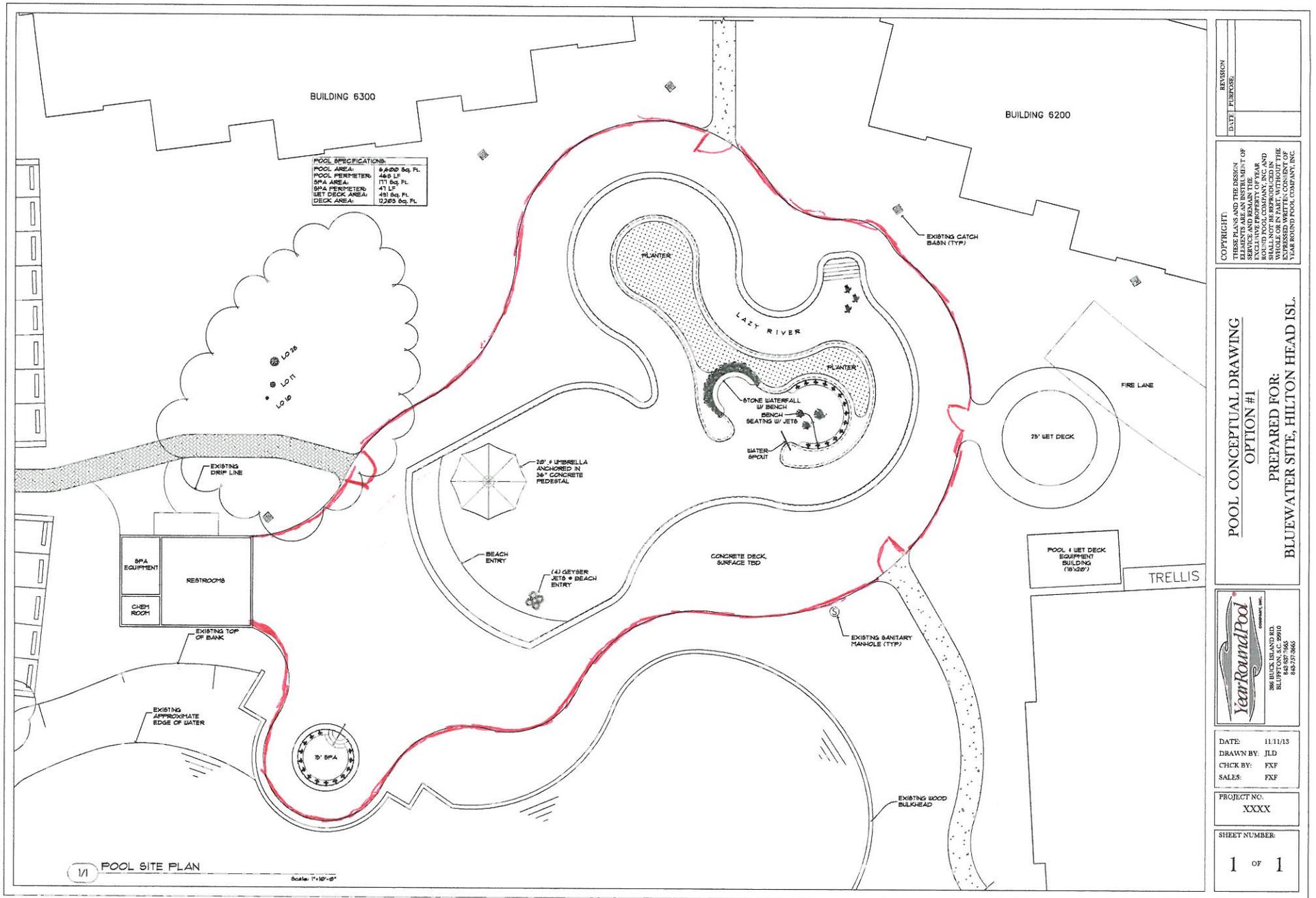
HANDRAIL STYLE FOR POOL TO MATCH BLDG.



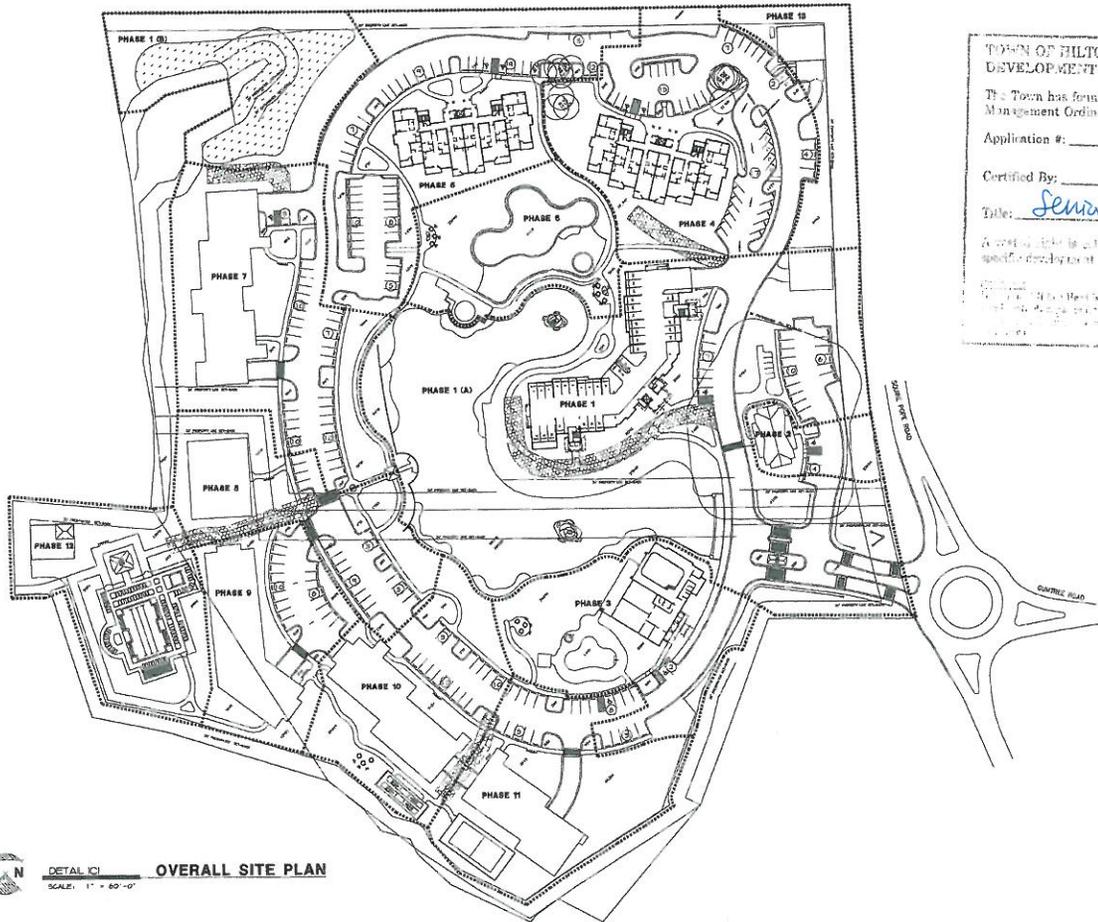
PHASE 5

PHASE 6





POOL FENCE OUTLINE - FENCE WILL BE 48" ALUMINUM W/ SELF CLOSING GATES TO MATCH THE BUILDING HANDRAILS



revised plans

TOWN OF HILTON HEAD ISLAND, SC
 DEVELOPMENT PLAN APPROVAL

The Town has found this plan to be in compliance with the Town's Land Management Ordinance and has authorized this approval.

Application #: DPR040011

Certified By: Mark Cain

Title: Senior Planner Date: 5-17-13

A caveat is hereby established for two (2) years upon the final approval of a site specific development or plan of development plan.



DETAIL C1
 SCALE: 1" = 60'-0"

OVERALL SITE PLAN

TOTAL AREA: 795,342 S.F.
 474,879 S.F. PERVIOUS
 320,463 S.F. IMPERVIOUS

NOTE:
 SEE CIVIL ENGINEERING AND SURVEY PLANS BY OTHERS
 FOR SITE UTILITIES, GRADING AND SETBACK DIMENSIONS

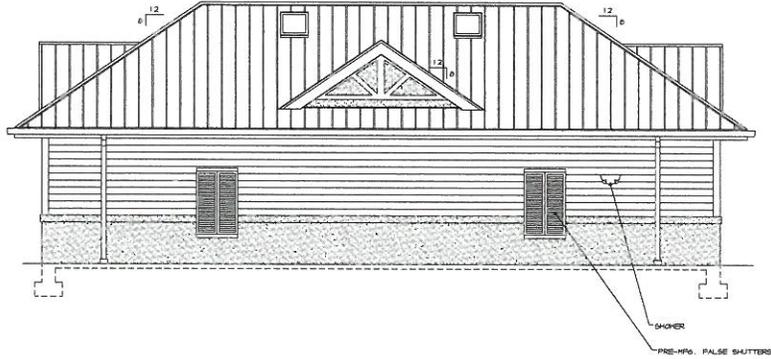


GENERAL DESIGN INC. ARCHITECTURE
 1000 N. BUSINESS CTR. BRANSON, MISSOURI 65606
 PH. (417) 334-1999 FAX (417) 334-0746 EMAIL: AVI@GENERALDESIGNINC.COM

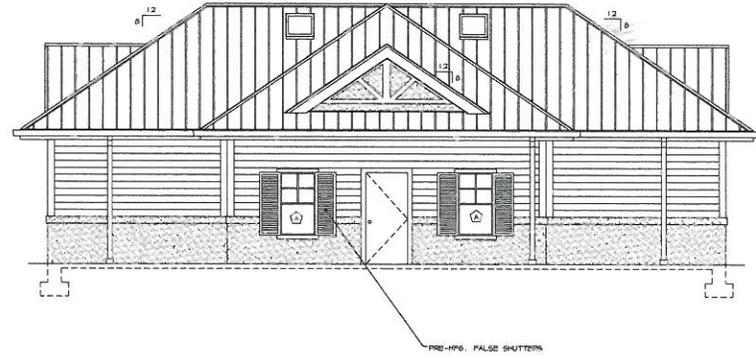
BLUEWATER SITE
 1000 N. BUSINESS CTR. BRANSON, MISSOURI 65606
 PH. (417) 334-1999 FAX (417) 334-0746

CT 0002

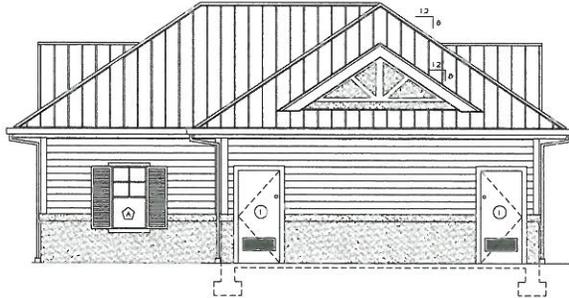
ROOF & SHUTTERS - MILITARY BLUE (PAC CLAD)
 TRIM - WHITE
 STUCCO - BM AC-32 (PRIMO DUNES)
 SIDING - BM HC-172 (REVERE PEXTER)



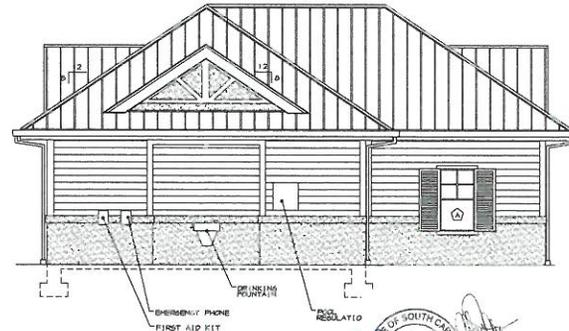
DETAIL 1A2 FRONT BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



DETAIL 2A2 BACK BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



DETAIL 4A2 RT. SIDE BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

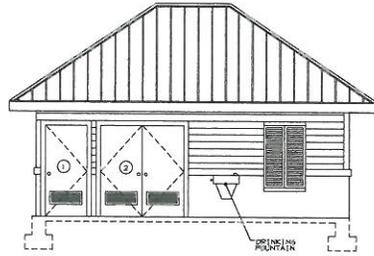


THIS MEDIA SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT
 THESE DRAWINGS ARE PROVIDED ONLY FOR THE CONVENIENCE OF CLIENTS TO EXPLAIN THE GENERAL INTENT AS PART OF THE PROCESS OF DEVELOPING THE CONSTRUCTION DOCUMENTS. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT AND ENGINEERS WHETHER THE PROJECT FOR WHICH THEY ARE DEVELOPED IS EXECUTED OR NOT. THESE DRAWINGS ARE NOT TO BE USED ON OTHER PROJECTS. THESE DRAWINGS ARE NOT FINISHED AND HAVE NOT BEEN FINALLY REVIEWED FOR CONFORMANCE WITH CODES. THE DIMENSIONS AND STRUCTURAL CALCULATIONS HAVE NOT BEEN FINALIZED.

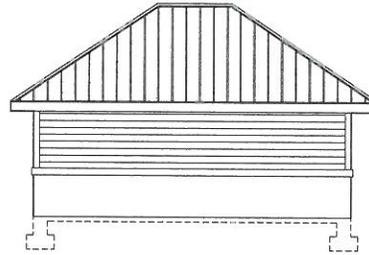
IN MISSOURI - GENERAL DESIGN AND RESTORATION, INC. NO. 000214
GENERAL DESIGN INC. ARCHITECTURE
 1000 N. BUSINESS 65 BRANSON, MISSOURI 65616
 PH. (417) 334-9999 FAX (417) 334-0746 EMAIL: AJW@GENERALDESIGNINC.COM



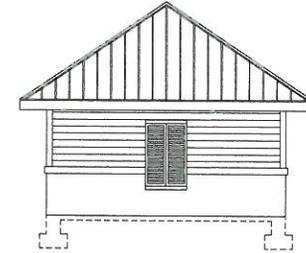
PRELIMINARY
 NOT FOR CONSTRUCTION, RECORDING,
 PERMITS, BIDDING OR IMPLEMENTATION
BLUEWATER RESORT
 1000 N. BUSINESS 65 BRANSON, MISSOURI 65616
 02/23



DETAIL 1A3 **FRONT BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"



DETAIL 2A3 **REAR BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"



DETAIL 3A3 **TYP. END BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"

THIS MEDIA SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT

THESE DRAWINGS ARE PROVIDED SOLELY FOR THE CONVENIENCE OF CONSULTANTS OR OWNERS IN ORDER TO EXPLAIN THE GENERAL INTENT AS PART OF THE PROCESS OF DEVELOPING THE CONSTRUCTION DOCUMENTS. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT AND ENGINEERS WHETHER THE PROJECT FOR WHICH THEY ARE DEVELOPED IS EXECUTED OR NOT. THESE DRAWINGS ARE NOT TO BE USED ON OTHER PROJECTS. THESE DRAWINGS ARE NOT FINISHED AND HAVE NOT BEEN FINALLY REVIEWED FOR CONFORMANCE WITH CODES. THE DIMENSIONS AND STRUCTURAL CALCULATIONS HAVE NOT BEEN FINALIZED.



IN MISSOURI - GENERAL DESIGN AND RESTORATION INC. NO. 000214
GENERAL DESIGN INC. ARCHITECTURE

1000 N. BUSINESS 65 BRANSON, MISSOURI 65616

PH: (417) 334-9999 FAX: (417) 334-0746 EMAIL: AWJ@GENERALDESIGNINC.COM



PRELIMINARY
NOT FOR CONSTRUCTION, RECORDING
PURPOSES, BIDDING OR IMPLEMENTATION
BLUEWATER RESORT
BRANSON, MISSOURI

A3
06/21/18

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Bluewater Resort & Marina – ALTERATION/ADDITION

DRB#: DR130057

DATE: January 14, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

Bluewater Resort and Marina, LLC proposes to modify its original plans in order to separate pool equipment and restrooms in two buildings versus one as shown on the original plans. Building design and materials are compatible with other buildings on site.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: ALEX SINEATH Company: DES SINEATH, INC.
 Mailing Address: 14 SPARROW HAWK CT. City: HHI State: SC Zip: 29926
 Telephone: 843 384 8200 Fax: N/A E-mail: DES SINEATH@POADRUNNER.COM
 Project Name: THE PUZA AT SHELTER COVE Project Address: 50 SHELTER COVE LANE
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

VSIN

- | | |
|--|--|
| <input type="checkbox"/> New Development – Conceptual | <input type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> New Development – Final indicate Project Number | <input type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island. SIN PERMIT FEE \$175.00

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
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Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

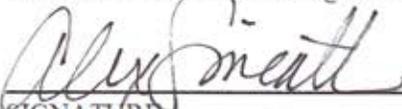
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A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

12.19.13

DATE

December 31, 2013

Town of Hilton Head Island
Design Review Board

RE: The Plaza at Shelter Cove- New Monument Signage

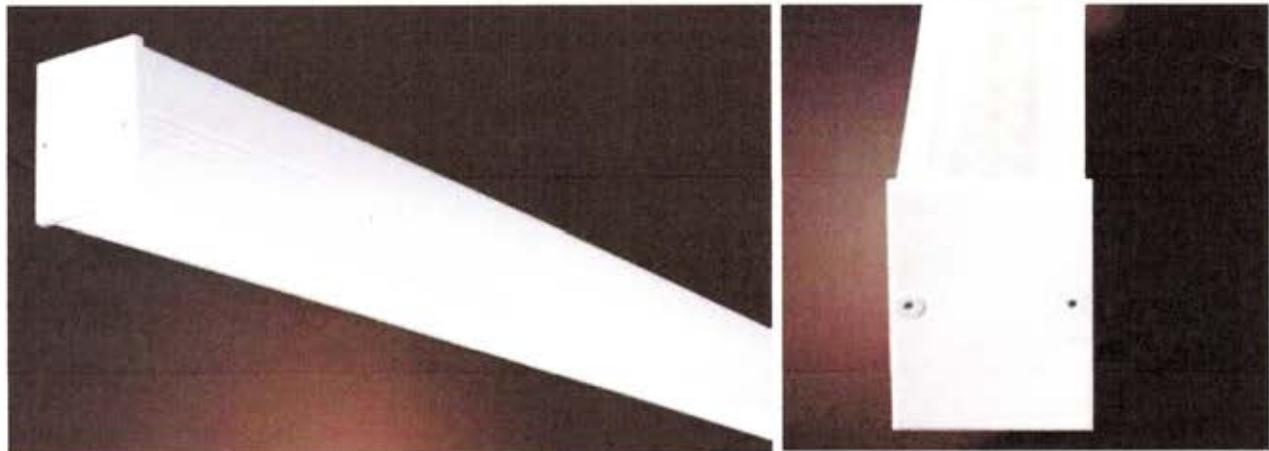
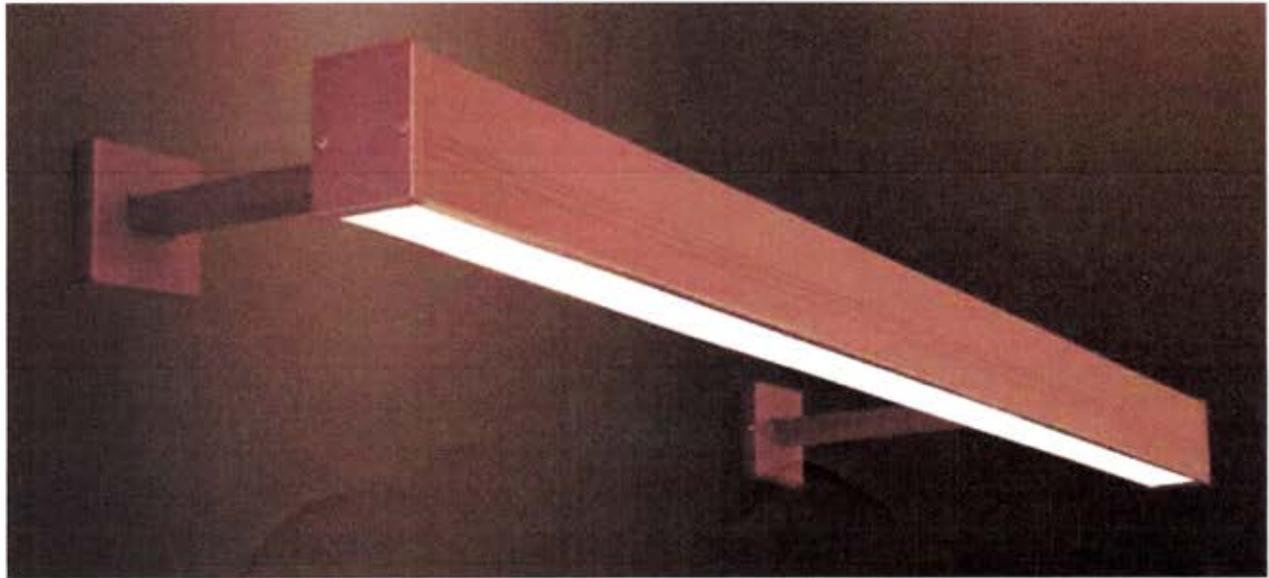
The Plaza at Shelter Cove proposes to construct new freestanding monument signs for the plaza. The new monuments correspond to new façade being created for Whole Foods.

The monument signs located along William Hilton Parkway are planned to utilize the existing planters/ locations. A secondary identification sign is proposed for Shelter Cove Lane.

The structures are masonry with colors and details that relate to the architecture. The primary panel at the top is to wood to match the façade of Whole Foods. The tenant identification panels are sandblasted western red cedar with the copy raised from the blasted wood grain background. The primary monuments incorporate a metal band around the top matching Whole Foods. LED lights mounted on the inside of the band will graze the back of the panel allowing the silhouetted letters to be legible at night.

The main body of the monuments are to be illuminated from the bottom with lights that are concealed within the planter or base of the monuments.

MEDLEY® VIEW



THE PUZZ @ SHETER COVE.
LIGHTS CONGEALD @ BASE OF SIGNS.

THE PLIZA@SHELTER COVE

CONGEALED LIGHTS BEHIND STEEL BAND



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CORONIS 240 Waterproof High Output LED Strip Light

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GALLERY VIDEO



SKU: EL-12V-COR-WP

Very High Output
Bright task lighting
Indoor and Outdoor use
[UL #E348280](#)

[Product Info Sheet](#)

Suggested Accessories



[LED Light Bar Adapter Cable](#)
\$3.99



[LED Light Bar Extension Cables](#)
\$0.99



[Waterproof LED Splitter Plug](#)
\$3.49

1 review

Product Options

Color:
Warm White

Length:
9.5 ft. spool

Qty: 1



[LIVE CHAT](#)
or call:
1.877.564.5051

OVERVIEW REVIEWS TECH SPECS FAQs WIRING DIAGRAMS LIGHTING FACTS

Not for use in chlorinated water, salt water, or treated water.

[UL #E348280](#)

Similar Products



SUPERLUME
Waterproof LED
Light Bar
\$45.99

Spool Length: 9.5 ft.
Spool Weight: 0.535 lb.
Width: 0.4 in.
Depth: 0.2 in.
Chip Spacing: 0.3 in. (between centers)
0.2 in. (between edges)

Input Voltage: 12V DC
Energy Consumption per foot: 2.88W / 240mA
Max. Length on one run: 16.4 ft.

Chip Type: 3528 SMD
Cutttable: every 3 chips / 1 in.
Beam Angle: 120°



THE PLAZA
AT SHELTER COVE
piggly wiggly
T.J. maxx



THE PLAZA
AT SHELTER COVE
piggly wiggly
T.J. maxx



STUCCO STRUCTURE



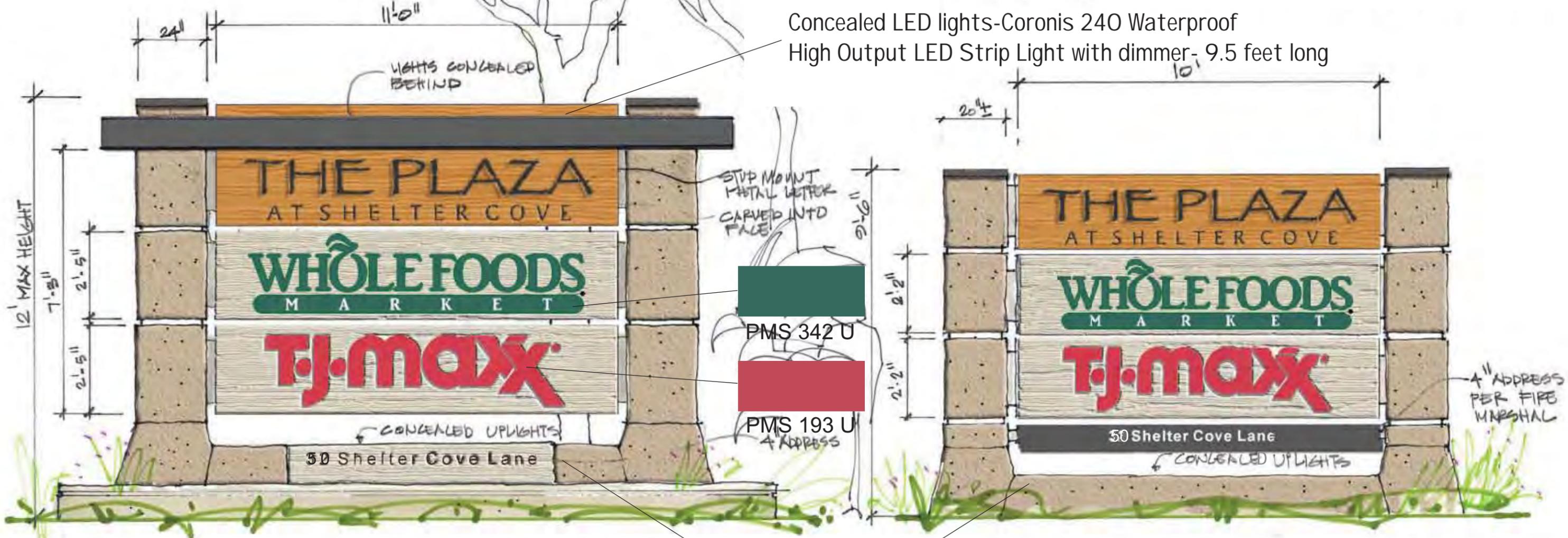
TENANT PANELS MATCH FASCIA SW GLOSS RICEGRAIN

NOTE: PROVIDE TENANT CORPORATE PREFERENCE FOR COLOR. MAY HAVE TO ADJUST FOR T.O.H.H.

GENERAL NOTES:

PROPOSED DESIGN RELATES TO FACADE OF WHOLE FOODS. COLORS & MATERIALS TO MATCH.

TENANT PANELS SANDBLASTED WESTERN RED CEDAR. COPY RAISED.



PRIMARY IDENTIFICATION MONUMENT

SCALE = 3/8" = 1'-0" 0 1 2 3 4 5

2. DOUBLE-FACED MONUMENTS ALONG 275 FRONTAGE TO REPLACE EXISTING MONUMENTS. PLANTER TO REMAIN

SECONDARY IDENTIFICATION MONUMENT

Concealed Lights: Medley View(2)MVW-12-40K-100-CES-48-DIM-1-TBR

1. DOUBLE-FACED MONUMENT, SHELTER COVE LANE

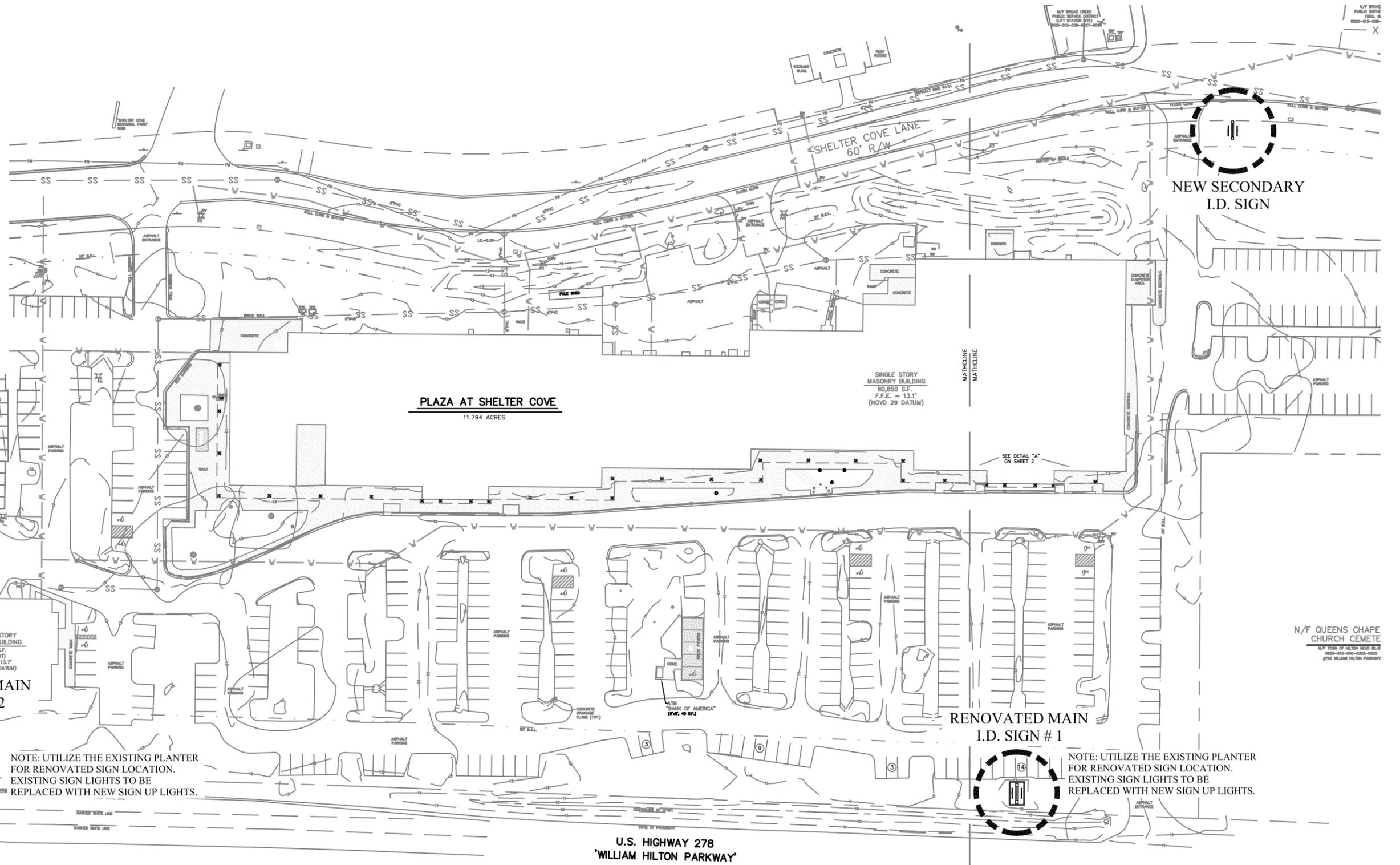
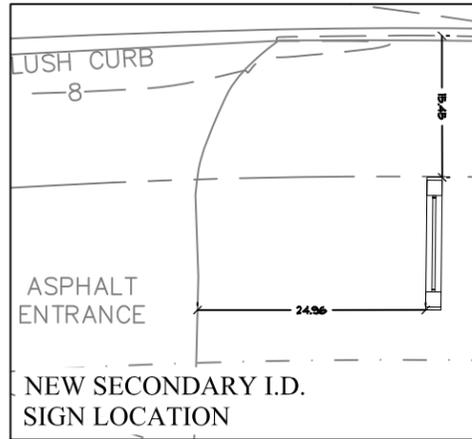
NOTE: 3 TOTAL FREESTANDING MONUMENTS ALLOWED PER L.M.O.

PROPOSED NEW I.D. MONUMENTS. THE PLAZA@SHELTER COVE

Note: Address to be 50 Shelter Cove Lane

© DESIGNATH NOV. 20, 2013 Revised 12-18-13

SIGN LEGEND
 SIGN UP LIGHT:
 (2) PER SIGN, (1) PER SIDE



Project No: 01-13028

Date: 12.31.13

Scale: N.T.S.

Page Title: Renovated & New Site I.D. Signage Location Map


 Document is preliminary and subject to change.
 2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC 29926 Tel. 843-681-6618 Fax 843-681-7086, www.woodandpartners.com

THE PLAZA AT SHELTER COVE
 Hilton Head Island, South Carolina



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Plaza at Shelter Cove – SIGN

DRB#: DR130058

DATE: January 14, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

The Plaza at Shelter Cove proposes to construct new freestanding monument signs for the plaza; two to replace the existing monuments on William Hilton Parkway and one new sign on Shelter Cove Lane. The sign structures are proposed to be masonry with colors and details to relate to the architecture, including the recently approved alteration for Whole Foods. Consider the addition of a cap on the secondary identification sign (in a dark color to match the metal band on the primary sign). Remove the trademark note from the tenant panels. Provide a landscape plan for the secondary identification monument.