



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, October 28, 2014

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes**
  - A. Meeting of September 23, 2014
  - B. Meeting of October 14, 2014
6. **Staff Report** – Board Training & November meeting schedule reminder
7. **Board Business** – Adoption of DRB Schedule of Meetings 2015
8. **Unfinished Business**
  - A. **Alteration/Addition**
    - 1) DR 120014 – Hilton Head Airport Tree Mitigation Plan
9. **New Business**
  - A. **New Development – Conceptual**
    - 1) DRB-001731-2014 – 1<sup>st</sup> Tee Boys & Girls Club
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island**  
**Design Review Board**  
**Minutes of the Tuesday, September 23, 2014 Meeting**  
**1:15p.m. – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Jake Gartner, Ron Hoffman, Galen Smith, Dale Strecker and Kyle Theodore

Board Members Absent: Brian Witmer

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer; Teri Lewis, LMO Official  
Gregg Alford, Town Attorney; Brian Hulbert, Staff Attorney  
Heather Colin, Development Review Administrator  
Richard Spruce, Plans Examiner  
Charles Cousins, Director of Community Development  
Kathleen Carlin, Administrative Assistant

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**1. Call to Order**

Chairman Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

Ms. Ray corrected a typo under New Business, Alteration/Addition, for application DRB-001479-2014, Shelter Cove Town Center. The correct building number is 104. The Board **approved** the agenda as corrected by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the September 9, 2014 meeting as submitted by general consent.

**6. Staff Report**

None

**7. Board Business**

None

**8. Unfinished Business**

**A. Alteration/Addition**

Red Rover Inn – DRB-001157-2014

Ms. Teri Lewis presented opening statements on behalf of staff. At the DRB meeting on August 12, 2014 there was some question as to whether or not this application could be heard by the DRB. The question was whether or not the application had been reviewed by one or

more applicable Architectural Review Board(s). At that time the staff advised the DRB to go ahead and review the proposed project and provide the applicant with any comments that they may have. The staff recommended that the Board not take action on the application until the outstanding issue was resolved.

Since the August 12<sup>th</sup> meeting, the attorney for the Red Rover Inn researched the issue to find out if there is an applicable ARB associated with this property. The attorney found out that the property is subject to the review of the Sea Pines Commercial ARB. The applicant has since received approval for this project from the Sea Pines Commercial ARB.

The attorney also found out that the Palmetto Bay Center's Owners Association ARB is not currently operational. The staff believes that since the Palmetto Bay Center's Owners ARB is not currently operational, the Red Rover Inn has satisfied their ARB obligations and the Board can proceed with taking action on the application today. Chairman Sodemann thanked Ms. Lewis for her statements and requested that Ms. Ray make her presentation.

Ms. Ray stated that this project is located at 25 Bow Circle. Ms. Ray presented an overhead review of the presentation made to the Board on August 12, 2014. The applicant proposes to renovate an existing two story wood framed building formerly occupied by PSD into a facility for daycare, boarding and grooming of dogs.

Ms. Ray reviewed several photos of existing site conditions including the building's front entrance, the side entrance, the view from Bow Circle, and the existing parking lot. The majority of the work will be to the interior of the building including the removal and replacement of walls and improvements to water and waste services.

The exterior work is limited to the windows and doors, shutters, a privacy fence, and small miscellaneous amenities. Ms. Ray reviewed details regarding the privacy fence and the small miscellaneous amenities which are waste stations with lights.

The highlights of the exterior work are the windows which will be removed and replaced. The shutters are being closed to conceal and insulate the walls and limit noise to within the building. The window trims will be maintained and painted in the same color as existing.

Ms. Ray reviewed the elevations and the wood fence. The wood fence is 6'-6" with shutters similar to the building to continue the look of the building. The wood fence has a cap and some wood trim. The lap siding on the fence will match the building. All of the finishes will be stained to match the building.

Ms. Ray reviewed details of the waste control stations including the wood posts with a goose neck light fixture, the sign, a bag dispenser, and trash receptacle. The staff recommended that the posts be left natural or stained or painted to match the building color.

At the August 12<sup>th</sup> meeting the Board agreed with staff's recommendation for submitting a landscape plan to freshen up the overgrown, tired landscaping around the building. The existing trees will remain as is but the rest of the landscaping will be removed and replaced with evergreen plant material. The landscape plan includes native materials and materials commonly used on the island. Some of the plant material will have seasonal interest. Ms. Ray reviewed the locations of the landscape material on the landscape plan.

As part of the landscape plan the applicant is proposing to cut some of the existing pavement to create a landscape bed adjacent to the proposed fence. Staff recommends that the cut in the pavement should have a nice smooth transition.

The staff recommended that the project be approved as submitted with consideration given to the staff's comments. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

The applicant for this project, Mr. Don Baker, is unavailable today. His representative, Mr. Tom Crews, Architect, presented statements in support of the application. The applicant agreed with the staff's suggestions. Following Mr. Crews' brief presentation, Chairman Sodemann requested comments from the Board.

The Board discussed the project and agreed with the staff's comments regarding staining the pet station posts in order to match the building. The Board also discussed the shutters on the wood fence. Most Board members agreed that the shutters are unnecessary and should be removed from the fence. Following these comments, Chairman Sodemann requested public comments and the following were received:

- 1) Tom Taylor, Esq., presented statements in opposition to the application on behalf of Chester C. Williams, Esq., agent, for the Church of Christ. Mr. Taylor stated that the Church objects to the DRB's consideration of this application based on the letters sent by Chester C. Williams, Esq., to Ms. Teri Lewis, LMO Official.

Mr. Taylor reviewed several exhibits that were submitted today on behalf of the Church (Exhibit # 1, Exhibit # 2, and Exhibit # 3). Mr. Taylor stated that the Palmetto Bay Center ARB is not dissolved, although they are currently not operational. Mr. Taylor stated that a notice from this ARB is required and has not been received by the applicant. Mr. Taylor stated that the DRB should decline taking action on this application until the above issues are resolved.

Gregg Alford, Town Attorney, presented statements in response to Mr. Taylor's comments. Mr. Alford stated that the Church of Christ is also without an approval letter from the Palmetto Bay Center's ARB for their property. The Palmetto Bay Center's ARB does not functionally exist and should not be an issue in deciding this application. The applicant has received the Sea Pines Commercial ARB approval for the project. Mr. Alford recommended that the Board accept the LMO Administrator's decision regarding this application.

- 2) Mr. Joe Hendrix, elder of the Church of Christ, stated his opposition to the application based on concerns with excessive noise and odors resulting from this business.
- 3) Mr. James Marsh, member of the Church of Christ, also stated his objection to the project based on concerns regarding excessive noise and odors associated with the business.

Following these public comments, Chairman Sodemann stated that the Design Review Board is responsible only for reviewing the aesthetics of a project. The Board has no

jurisdiction over legal issues. The DRB will rely on the legal recommendations provided by the Town's attorney. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Gartner made a **motion** to **approve** application DRB-001157-2014 as submitted with the following conditions: (1) the shutters shall be removed from the fence; and (2) the applicant shall stain the waste station posts to match the building color. Mrs. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

## 9. Old Business

None

## 10. New Business

### A. Alteration/Addition

#### 1) Shelter Cove Town Centre Building 104 – DRB-001479-2014

Ms. Ray introduced the application and stated its location, 40 Shelter Cove Lane. Ms. Ray presented an in-depth overhead review of the application. This project was originally submitted as part of the overall package that was approved in February 2013.

As tenants have been secured by Shelter Cove Towne Centre, changes have been made along the way. Those changes have been submitted for various buildings within Towne Center. In April 2014 the applicant submitted a revised plan. This plan was submitted with the flat roof elevation and no action was taken by the DRB on this building because it was determined not to meet the intent of the Design Guide.

The applicant returned in May 2014 with a resubmittal based on the Board's comments relative to the flat roof. The Board approved this submittal with some minor conditions. During the building permit process the elevations changed from what the DRB had approved and therefore the applicant is back today with another revised elevation.

The changes include reducing the top of the steel from 20' to 13'-4". The applicant has increased the roof slope from 5 and 12 to 8 and 12. The top of the roof only changed from 29'-10" to 29'-11" so the overall height has changed very little.

The north and south elevations were revised to have an open gable design and the applicant added a sloped standing seam metal awning with wood braces. The applicant has increased the main roof overhang to 3'. The applicant has also removed the transom windows, revised the top of the store front to be 11', and increased the louver sizes.

The staff's initial concern in seeing this submittal was what appeared to be a lot of roof on the building. Over half of the building is roof when you look at the flat elevations. This would be especially a concern looking across the parking lot that is in front of Kroger toward the east elevation of this building.

The applicant has submitted a perspective rendering that does help lessen the impact to the roof. They show that in perspective the pitch is not as obviously flat on as you see in the elevation, and there is not as much concern from staff since there is some relief between the different building elements. However, one of the elements on the previous

building that tied it to the other buildings within Shelter Cove Town Centre was the flat metal awning. It was breaking up all of the pitch and it is seen throughout Town Centre on several buildings. Staff recommended some consideration for keeping that flat metal awning as opposed to the sloped standing seam metal awnings.

Ms. Ray stated that the Shelter Cove Architectural Review Board has approved the proposed changes. The staff recommended approval of the application with consideration for the flat awnings versus the sloped. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Mark Senn presented statements in support of the application including comments regarding the elevations and the roof. Mr. David Narramore, Architect, presented comments regarding the sloped roof and flat awnings. The applicant stated that building 104 is designed with a sloped standing-seam metal roof similar to adjacent free-standing buildings in the area. Following the applicant's presentation, Chairman Sodemann requested comments from the Board.

The Board stated their appreciation to the applicant for the perspective rendering. The Board discussed the roof pitch and stated their concern with the proportion of the roof to the body of the building. The Board recommended that a lower roof pitch of 6 or 7 and 12 be considered. Most Board members agreed that 8 and 12 is too steep. The Board complimented the larger overhangs.

The Board stated some concern with fascia details (the header supporting the roof structure). The Board discussed the base of the building and stated that a reveal may be needed. The Board also discussed the screen wall. The Board stated that a wood service yard is preferred versus the proposed aluminum tube caps. The aluminum tube caps are considered too industrial for this location. Additionally, the service yard should be tall enough to screen the equipment beyond. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Gartner made a **motion** to **approve** application DRB-001479-2014 as submitted with the following conditions: (1) the screened wall detail for the service yard shall be a wood detail to match the adjacent building instead of the aluminum tubes; (2) the bracket detail for the overhang shall be set behind the fascia in the header behind the framing on the outside of the awning. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 5-1-0.

2) One Hot Mama's – DRB-001438-2014

Ms. Ray introduced the application and stated its location, 7 Greenwood Drive. This project received DRB approval in March 2014 to add outdoor seating on the side of the building. That project was not constructed and the applicant has returned with a new proposal. Ms. Ray presented an in-depth overhead review of the application.

The proposed improvements include removal of the existing fireplace, removal of the fabric canopy over the outdoor bar, extending the mansard roof into the courtyard, replacing the outdoor service bar, and replacing the half- height garage door with a full-

height garage door to match the existing one.

Ms. Ray reviewed the site plan including the limits of construction. Ms. Ray identified the locations of the fireplace, the extension of the mansard roof, and the extension of the outdoor bar and outdoor seating.

Ms. Ray reviewed the elevations including the location of the full garage door, the new brick bar, and the outdoor seating area. The columns will match the existing. The staff recommended that the applicant consider relocating the bar to retain the existing landscape area. The sprinkler system will have to be extended under the new canopy and the glazing in the new door will have to be impact resistant.

The staff noted that the proposed bar extends beyond the existing paved area. Consideration should be given for retaining any bit of existing landscaping because the entire plaza has very little contributing landscaping, especially as you get further into the property. Any landscaped area that can be retained or enhanced will go a long way in breaking up the hardscape.

Ms. Ray stated that today's proposal is an improvement over the proposal submitted in March 2014. The staff recommended that the application be approved as submitted with consideration given to the staff's comments. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Chris Moscola, representative for the project, presented statements in support of the application. The applicant presented comments regarding their need to increase seating. The applicant discussed several issues including the brick fireplace and landscaping issues. The applicant would like to improve the functionality and the aesthetics of the area. Following the applicant's comments, Chairman Sodemann requested comments from the Board.

The Board stated that they agree with the staff's recommendation to retain open space and enhance some of the existing landscaping. The Board agreed that today's submission is a better proposal than the one reviewed in March 2014. The Board recommended that the existing landscaping be retained. Enhanced landscaping should be considered along the main entrance path. Column details should match the existing. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Strecker made a **motion** to **approve** application DRB-001438-2014 as submitted with the condition that the new columns match the existing columns. The applicant should consider enhancing the existing landscaping along the main entrance path. Mrs. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

*(Mrs. Theodore recused herself from review of the following application, Harbour Town Golf Course Clubhouse, DRB-00015000-2014, due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record).*

3) Harbour Town Golf Clubhouse – DRB-0015000-2014

Ms. Ray introduced the application and stated its location, 11 Lighthouse Lane. Ms. Ray presented an in-depth overhead review of the application. In January 2014 the DRB approved New Development Final for the clubhouse portion of the project. When that

project came through as New Development Conceptual, the applicant had included the promenade that connects the clubhouse to the yacht basin. This part of the project lagged behind when the application came in for Final review.

This portion of the project has now been finalized and is submitted for review. Today's application includes landscape and hardscape throughout the corridor. Ms. Ray reviewed several landscaping issues. The existing pavement and plant material will be removed. Existing trees will be trimmed as necessary to enhance views of the lighthouse.

Ms. Ray reviewed the site survey as well as several photos showing existing site conditions. The site plan shows the proposed promenade as well as the location of bike racks and the expanded paved area at Lighthouse Lane. The pathway is an oyster shell concrete sidewalk with a brick border at the transitions to existing walkways.

Ms. Ray reviewed the proposed brick plaza area with bluestone borders around the planter and a brick wall with columns. This plan does not have steps or a ramp from the yacht basin to the clubhouse. The grade will be made up throughout the plaza. The staff believes that this is an improvement over existing.

All of the materials will match the existing and what has previously been approved. The brick columns and the brick wall will have the same detail as before. Ms. Ray reviewed details of the oyster shell concrete, the Savannah Grey brick, the 45-degree Herringbone pattern, the double brick border, and the bluestone border. The bike racks, in a rust texture finish, are located near Lighthouse Lane.

Ms. Ray stated that the plant material is the same plant palette with lots of color and texture. The plant material will help soften the walls. The lighting plan shows the proposed pathway bollards in the same rust texture finish as the bike racks. Ms. Ray stated that the Sea Pines ARB has approved the project. Staff recommended that the application be approved as submitted. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Cliff McMackin, Director of Resort Development for Sea Pines Resort, and Ms. Kristen Mansfield, Wood + Partners, presented statements in support of the application. The applicants discussed the landscape plan and the redevelopment of the existing pathway. Following the applicants' presentation, Chairman Sodemann Chairman Sodemann requested comments from the Board.

The Board complimented the project. The Board stated that they like the bollards and the elimination of the steps from the plan. The proposal is a big improvement to the site. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Smith made a **motion** to **approve** application DRB-0015000-2014 as submitted. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 5-0-0.

## **B. Minor External Change**

### 1) Publix Landscape Renovation – DRB-001497-2014

Ms. Ray introduced the application and stated its location, 11 Palmetto Bay Road. The

applicant is proposing to renovate the landscaping at the entire Island Crossing Shopping Center. Ms. Ray presented an in-depth overhead review of the application including the demolition plan and several photos of existing site conditions.

The existing landscaping is dated, overgrown, and diseased in some areas. The existing landscaping is a security concern in several vehicular and pedestrian areas. Overgrown landscaping adjacent to the drive aisles and sidewalks poses a hazard to drivers and pedestrians due to poor visibility. Additionally, years of maintenance failures and pruning has degraded the health and aesthetics of the landscaping.

Ms. Ray reviewed the demolition plan that shows the trees that will remain. There are a few trees that will be removed mostly due to poor health. As part of the permitting process, the applicant will need to provide calculations of tree removal for review by the Natural Resources Department. The majority of the trees will remain. Two canopy trees will be removed due to poor health. The turf areas within the parking islands will remain.

The proposed renovation will consist of removing approximately 80 -90% of the existing ornamental shrubs in the parking lot, streetscape, and building foundations. New landscaping will be installed in these areas to re-establish an aesthetically pleasing landscape. All of the proposed trees and shrubs will be irrigated by utilizing both existing irrigation and proposed irrigation.

The staff recommended that another palm be substituted for the Lady Palms, as Lady Palms are not typically found outdoors on the island. The staff also recommended that the Arborvitae be replaced with a more suitable plant material as this plant it is not native or used regularly to the island. Staff also recommended that some consideration be given for additional pedestrian access. Staff recommended some stepping stones or sidewalk access be placed in the two areas shown on the plan.

Ms. Ray reviewed the applicant's plans for installing a retaining wall. There is an existing wood retaining wall that is failing in this area. The staff would typically recommend a masonry wall such as stucco; however, there is some precedent for the product in this particular area. Ms. Ray presented a photo of the proposed material. The staff recommended approval with consideration of the staff's comments. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Dennis Terry, Landscape Architect Consultant, presented statements in support of the application. The applicant discussed several issues including safety concerns and improved aesthetics for the area. The applicant stated that he agrees with staff's recommended changes. Following the applicant's presentation, Chairman Sodemann requested comments by the Board.

The Board stated that the proposed landscape plan is a big improvement over existing site conditions. The Board discussed the removal of two canopy trees and stated some concern with a lack of shade trees. The Board discussed the staff's recommendation for additional pedestrian access. The Board agreed with the staff's recommendation for some stepping stones or sidewalk in the two areas shown on the plan.

The Board recommended that the applicant consider some taller plantings in the landscape plan. The Board discussed the need to screen the view of the parking area. Taller plant materials (taller than 3-ft.) are recommended at the location of Palmetto Bay Road because the parking area should be screened as much as possible. The Board discussed various plant materials including Azaleas and Ligustrum. The Board recommended that the applicant mix in some additional plant materials to provide additional height and screening of the parking lot.

The Board discussed the retaining wall. The Board stated that they would prefer to see a more suitable material for the retaining wall such as stucco or lowcountry grey brick. The applicant stated his reasons for selecting the split-faced keystone material. Following their discussion, the Board stated that the final selection of material should be at the applicant's discretion. At the completion of the Board's discussion, Chairman Sodemann requested that a motion be made.

Mrs. Theodore made a **motion** to **approve** application DRB-001497-2014 with the following conditions: (1) the applicant shall replace the Lady Palms and Arborvitae with a more suitable plant material; (2) the applicant shall consider a 10 - 20% introduction of larger scale plants along the Palmetto Road side of the project; (3) the applicant shall follow the staff's recommendation for implementing a walkway connector between the parking lot and the Five Guys building. Mr. Smith **seconded** the motion and the motion passed with a vote of 6-0-0.

**11. Appearance by Citizens**

None

**12. Adjournment**

The meeting was adjourned at 3:10p.m.

Submitted By:

Approved By:

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Kathleen Carlin  
Administrative Assistant

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Scott Sodemann  
Chairman

**Town of Hilton Head Island**  
**Design Review Board**  
**Minutes of the Tuesday, October 14, 2014 Meeting**  
**1:15p.m. – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Jake Gartner, Ron Hoffman, Galen Smith, Dale Strecker, Kyle Theodore and Brian Witmer

Board Members Absent: None

Town Council Present: Bill Harkins

Town Staff Present: Jennifer Ray, Urban Designer  
Brian Hulbert, Staff Attorney  
Nicole Dixon, Senior Planner  
Bob Klein, Building Official  
Rocky Browder, Environmental Planner  
Richard Spruce, Plans Examiner  
Charles Cousins, Director of Community Development  
Kathleen Carlin, Administrative Assistant

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**1. Call to Order**

Chairman Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

**5. Approval of the Minutes**

The Board deferred the approval of the draft September 23, 2014 meeting minutes until the October 28, 2014 meeting.

**6. Staff Report**

Ms. Ray stated that the staff will provide Board training on Tuesday, October 28, 2014, immediately following the regular DRB meeting. Ms. Teri Lewis, LMO Official, will review the revisions made to the new LMO that will affect the Design Review Board. DRB members who attend the training will receive one credit hour toward state mandated training requirements.

Ms. Ray reminded the Board that the regular DRB meeting schedule will change in November. Due to the Veteran's Day holiday and the Thanksgiving Day holiday, the Board will meet on the first and third Tuesdays of the month instead of the second and fourth Tuesdays. November meeting dates are November 4<sup>th</sup> and November 18<sup>th</sup>.

7. **Board Business**

None

8. **Unfinished Business**

None

9. **New Business**

*(Mrs. Kyle Theodore recused herself from review of the following application, DRB-001575-2014, due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record.)*

**A. Alteration/Addition**

1) Boat Storage Shed – DRB-001575-2014

Ms. Ray introduced the project and stated its location, 133 Squire Pope Road. The applicant proposes to add a boat storage shed inside the existing fenced storage area at the Town's Rowing and Sailing Center at Squire Pope Community Park. Ms. Ray presented an in-depth overhead review of the application including the updated master plan showing the location of the proposed additional building.

The boat storage shed is intended to provide shelter for rowing shells, oars, small sailing vessels, and other equipment used in the development of competitive youth rowing and sailing. Existing plans show the approved restroom building and the open air picnic shelter. Both structures are under construction. The proposed structure has been designed to match the other buildings on site in style, color and materials. Ms. Ray reviewed the color board for the proposed structure

Elevations show treated 6 x 6 posts, exposed rafters, and a galvanized metal roof with a 4 and 12 pitch. The trusses and detailing are consistent with the details on the picnic shelter. The building section and detail shows the cut treated 3 x 6 racks as well as the wood posts. The trim is all treated wood in the natural finish.

Ms. Ray presented details regarding the lights proposed for under the canopy and also at the corners of the building. Staff recommended that the application be approved as submitted.

Ms. Ray stated that the applicant is currently going through the approval process to allow the storage shed to be located on Town property. The project will then undergo building plan review before the applicant can begin construction. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Tom Parker, Lee & Parker Architects, presented statements in support of the application. The Board and the applicant discussed a couple of issues including the location of the florescent lighting fixtures mounted on the bottom of the trusses. The Board recommended that the florescent lighting fixtures and the corner lighting fixtures be recessed as much as possible. The applicant agreed with this recommendation. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Gartner made a **motion** to **approve** application DRB-001575-2014 as submitted. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

**B. Minor External Change**

1) Metropolitan Hotel repaint – DRB-001633-2014

Ms. Ray introduced the project and stated the locations of the buildings, 36 South Forest Beach Road and 11 Lemoyne Avenue. Ms. Ray presented an in-depth overhead review of the application including photos showing the locations and the color schemes of adjacent properties.

The applicant proposes to repaint both buildings to be a consistent color. Over time the colors have faded out and have been in various levels of repair, repaint, and care. The applicant would like to have a fresh updated and consistent appearance for both buildings.

The applicant proposes Sherwin Williams 6142 “Macadamia” for the building body color and Sherwin Williams 6164 “Svelte Sage” for the railings. The applicant is also proposing an alternate railing siding color, Sherwin Williams Custom Color Formula “Metro Hotel Red”. The staff recommended that the red color not be used. Ms. Ray presented samples of the proposed paint colors for the Board’s review.

The staff is concerned that there is a lot of railing on the buildings and recommended that either a lighter color or a darker color be used on the railing instead of “Svelte Sage”. Ms. Ray distributed a color chart for the Board’s review.

The staff recommended that the application be approved with the Sherwin Williams 6142 “Macadamia” for the building color. A lighter or darker color is recommended for the railing. Ms. Ray stated that the Forest Beach Owners Association has reviewed and approved the project as submitted. Following the staff’s presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Bob Stavinski presented statements in support of the application. The applicant stated they are happy to comply with the staff’s recommendation regarding an alternate paint color for the railing.

The Board discussed the project and agreed with the staff that the red color should not be considered for the railing. The Board stated that they like “Macadamia” for the building. The Board agreed that a darker color for the railing is preferred. The Board stated that they like “Connected Gray” for the railings. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Strecker **made** a motion to **approve** DRB-001633-2014 with the condition that Sherwin Williams 6142 “Macadamia” is used for the building and Sherwin Williams 6165 “Connected Gray” is used for the railing. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 7-0-0.

**10. Appearance by Citizens**

None

**11. Old Business**

## A. Alteration/Addition

### 1) Hilton Head Airport Tree Mitigation Plan – DR120014

Ms. Ray introduced the application and stated the locations along Beach City Road and Dillon Road. This project was reviewed and approved by the Design Review Board in May 2012. It involved re-planting buffer areas adjacent to the airport along Beach City Road and Dillon Road.

The approved plan includes approximately 1,300 trees, including Little Gem Magnolia, American Holly, Wax Myrtle, Yaupon Holly, and Southern Red Cedar. The Notice of Action included the requirement that the Design Review Board shall visit the site at the completion of the installation to determine if there are any voids in coverage. If voids in coverage are determined, additional plant material is required.

The applicant has installed 249 trees to date and has requested the evaluation by the Board take place at this time. The Town's Environmental Planner, Mr. Rocky Browder, has been working with the applicant and will present his thoughts on current conditions. After Mr. Browder's presentation is made, the staff and the Board will adjourn and reconvene the meeting on site to walk the sections along Beach City Road and Dillon Road. Following their site visit the Board can determine if there are any voids that need to be filled in.

Mr. Rocky Browder stated that he has been working with the airport and the applicant on the project. Mr. Browder stated that a surprising amount of emergent growth has come back to the site during the three years.

Mr. Browder stated that the applicant put trees in based on the contractual agreement. The staff worked with the applicant and received some clarification regarding the lack of mechanized equipment dealing with wetland areas and wetland buffer areas. The applicant has subsequently planted a lot more trees.

Mr. Browder stated that he has walked the site since that time and has not been able to identify any other areas where trees could go in where there could be a reasonable hope that they would survive because of the amount of trees and the amount of emergent growth.

The Board discussed the amount of time that the applicant had from the time of the cutting and the time when the landscape plan was actually approved. The Board presented comments regarding a mitigation plan as well as the unmet portion of the mitigation agreement. The Board discussed the purpose of the barrier both visual and sound.

Mr. Browder stated that a 2-inch irrigation system is in place at this time and will remain for a period of one to two years. Irrigation was part of the package that was approved. The warranty for trees is one year from date of installation.

The Board adjourned their meeting in Council Chambers at this time for the purpose of meeting on site. The Board stated that they hope to make a recommendation on site with regard to next steps.

At the conclusion of the site visit, the Board decided not to make a decision until additional information could be received regarding the contractual obligations. The Board adjourned their meeting on site.

**12. Adjournment**

The meeting was adjourned on site at 3:00p.m.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Administrative Assistant

\_\_\_\_\_  
Scott Sodemann  
Chairman

DRAFT

# TOWN OF HILTON HEAD ISLAND

## DESIGN REVIEW BOARD

### 2015 REGULAR MEETING SCHEDULE

DRB Powers and Duties	Application Procedures
<p>The Design Review Board has the following powers:</p> <p>A. To review applications for certain sign permits and major corridor Development Reviews;</p> <p>B. To periodically review and recommend for adoption such amendments to the Land Management Ordinance as it may deem appropriate.</p> <p>C. To review and decide appeals on <b>Official</b> decisions on Sign Permits and Minor Corridor Permits.</p>	<p>All applications must be completed and submitted not later than <b>12:00pm</b> 14 days prior to the meeting date at which the application will be reviewed.</p> <p>An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum requirements for acceptance.</p> <p>Application Check-In Conferences must be scheduled by appointment with the Community Development Department staff.</p>

#### MEETING DATES:

- January 13, 2015
- January 27, 2015
- February 10, 2015
- February 24, 2015
- March 10, 2015
- March 24, 2015
- \*April 28, 2015
- May 12, 2015
- May 26, 2015
- June 9, 2015
- June 23, 2015
- July 14, 2015
- July 28, 2015
- August 11, 2015
- August 25, 2015
- September 8, 2015
- September 22, 2015
- October 13, 2015
- October 27, 2015
- \* November 10, 2015
- \* December 8, 2015

#### APPLICATION DEADLINES:

- December 30, 2014
- January 13, 2015
- January 27, 2015
- February 10, 2015
- February 24, 2015
- March 10, 2015
- April 14, 2015
- April 28, 2015
- May 12, 2015
- May 26, 2015
- June 9, 2015
- June 30, 2015
- July 14, 2015
- July 28, 2015
- August 11, 2015
- August 25, 2015
- September 8, 2015
- September 29, 2015
- October 13, 2015
- October 27, 2015
- November 24, 2015

\* April has only one meeting due to the RBC Heritage.

\* November and December have only one meeting each due to the Holidays.

All meetings are held in Council Chambers at 1:15p.m on the **second & fourth** Tuesdays of each month.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Kristen Mansfield Company: Wood and Partners Inc.  
 Mailing Address: 7 Lafayette Place City: HHI State: SC Zip: 29925  
 Telephone: 843.681.6618 Fax: 843.681.7086 E-mail: kmansfield@woodandpartners.com  
 Project Name: 1st Tee Boys and Girls Club Project Address: 151 Gumtree Road  
 Parcel Number [PIN]: R 510 007 000 0271 0000 R510 007 000 0023 0000 R510 007 000 0392 0000  
 Zoning District: RM-4 Overlay District(s): Corridor Overlay

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> New Development – Conceptual          | <input type="checkbox"/> Alteration/Addition   |
| <input type="checkbox"/> New Development – Final, indicate Project Number | <input type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

**Additional Submittal Requirements:**

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

**Additional Submittal Requirements:**

**Alterations/Additions *and* Minor External Changes**

- \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10-7-2014

DATE

# **The First Tee of the Lowcountry – Boys & Girls Club**

#151 Gumtree Road  
Hilton Head Island, SC

## **DRB Conceptual Project Narrative**

October 7, 2014

The Boys & Girls Club of Hilton Head Island wishes to construct a First Tee Training Facility on their property (parcel number R510 007 000 0271 0000) and two parcels to be leased to the Club by the Town of Hilton Head Island (parcel numbers R510 007 000 0023 0000 and R510 007 000 0392 0000). The golf facility will be part of The First Tee program, and international non-profit organization whose mission is positive youth development through the game of golf ([www.thefirsttee.org](http://www.thefirsttee.org)). The facility will also be open to the public when it is not being used by the First Tee program.

The golf facility will be comprised of a practice range, putting green, chipping green, and a six hole, par-3 layout that can be used when the practice range is not in use. The practice range will feature a concrete strip along the rear of the tee for all-weather mats that will be used during inclement weather or when access to the grassed tee surface is restricted. The range will have target greens that double as the par-3 greens. The putting surface of the large greens will be artificial, permeable turf. All disturbed areas will be grassed with a variety of Bermuda grass, typical of golf courses on the island.

There will be a pro shop building on site (+/- 1,951 SF), equipped with restrooms, office space, and a golf club fitting/instruction room. The pro shop is a modular unit that has been donated to the First Tee of the Lowcountry for use until such time as funds can be raised for a more custom building. A small maintenance building for equipment and tool storage and a maintenance area are also being accommodated for onsite.

The existing multi-purpose field and playground equipment shall be relocated to accommodate the new golf facility and pedestrian circulation and landscape will be added to enhance the pro-shop and other areas of disturbance. Another feature is the creation of 'The Lighted Path to Success' that incorporates an entry trellis at the path from the parking lot into the site as well as sign/light bollards that symbolize and identify the nine core values of The First Tee Program: honesty, integrity, sportsmanship, respect, confidence, responsibility, perseverance, courtesy, and judgment.

There is a 45" specimen Live Oak on site and the pro-shop and additional pedestrian circulation have been sited to avoid conflict with the specimen oak. A new pond will be dug to provide the fill material for the golf features, provide for storm water runoff storage, and shall serve as a source of irrigation water for the golf features. PSD has indicated that effluent water is not available at the project location but does exist approximately ½ mile away. The irrigation system design will ultimately allow for a future effluent connection.

Site construction is planned to begin around March 1, 2015 and be completed by the end of July, 2015. The grow-in of the grasses will continue throughout the summer of 2015 with an anticipated facility opening around October 1, 2015.



Boys & Girls Club



Boys & Girls Club



Existing Picnic Area and Sports Courts



Existing Playground (re-use)



Existing Playground (re-use)



Existing Swings (re-use)



Specimen Oak



Existing Open Lawn



Adjacent Residential Property (Opposite Gum Tree Road)



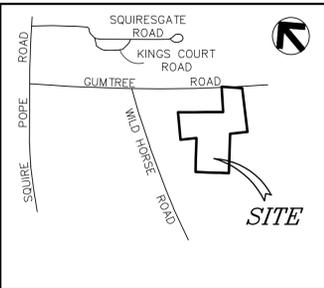
Adjacent Residential Property (Opposite Gum Tree Road)



Adjacent Residential Property (Carolina Isles)



Adjacent Residential Property (Carolina Isles)



VICINITY MAP - N.T.S.

# GUMTREE ROAD



**LEGEND**

BC	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CB	CATCH BASIN
CD	CEDAR
CH	CHERRY
CHINA (BERY)	CHINABERRY
CMF	CONCRETE MONUMENT FOUND
DI	DROP INLET
ELEC. BOX	ELECTRIC BOX
GI	GRATE INLET
GM	GUM
HACK	HACKBERRY
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
IW	IRONWOOD
LAO	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
MAP(L)	MAPLE
MH	MANHOLE
MP	MAPLE
MYRTL	WAX MYRTLES
PA	PALMETTO
PAL	PALM
PG	PIG
PN	PINE
PN	PINE
RCP	REINFORCED CONCRETE PIPE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TALLO	TALLOW TREE
TB	TOP OF BANK
TELE. PED.	TELEPHONE PEDESTAL
TRANS	TRANSFORMER
WC	WILD CHERRY
W MYR	WAX MYRTLE
WHO	WHITE OAK
WM	WAX MYRTLE
WY	WATER VALVE
-X-	FENCE

- NOTES:**
- THIS LOT LIES IN ZONE "A-7", B.F.E. = 14.0' PER F.I.R.M. PANEL 0002-D, COMMUNITY NO. 450250, REVISED: 9/29/86.
  - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
  - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

- REFERENCE PLAT:**
- A WETLAND SURVEY OF 10.00 ACRE PARCEL BY: THOMAS G. STANLEY, S.C.R.L.S. No. 18,269 DATED: 12/20/2000, REVISED: 09/05/2000 FILE: 00230W RECORDED AT:
  - A 9.996 ACRES PARCEL IN THE GUM TREE ROAD AREA BY: ATLAS SURVEYING INC. DATED: 03/21/13 FILE: 13050 B1 RECORDED AT: P.B.136 PAGE 154
  - A PLAT OF 2.22 AC., WETLAND MITIGATION AREA BY: SURVEYING CONSULTANTS DATED: 08/04/2000 FILE: 98184C RECORDED AT: P.B.76 PAGE 130
  - A BOUNDARY SURVEY OF 34.93 ACRES ON GUM TREE ROAD BY: COASTAL SURVEYING CO., INC. DATED: 04/30/97, REVISED: 09/30/97 FILE: 28,980 RECORDED AT: P.B.65 PAGE 190
  - A TREE & TOPOGRAPHIC SURVEY OF 10.00 ACRES OFF GUM TREE ROAD BY: THOMAS & HUTTON ENG. CO. DATED: 12/11/07 FILE: J-20376 RECORDED AT:
  - PLAT OF OLA AND SUNDAY MOBILE HOME PARK BY: E. H. FRIESLEBEN, S.C.R.L.S. No. 46524 DATED: 11/14/79 FILE: J-20376 RECORDED AT: P.B.30 PAGE 30
  - PLAT OF 2.645 ACRES ON WILD HORSE ROAD BY: COASTAL SURVEYING CO., INC. DATED: 01/05/82 FILE: J-17538-17856 RECORDED AT: P.B.129 PAGE 75
  - PLAT OF CAROLINA ISLES BY: THOMAS & HUTTON ENG. CO. DATED: 01/31/08 FILE: J-17538-17856 RECORDED AT: P.B.129 PAGE 185-187
  - ALTA/ACSM SURVEY OF 6.590 AC. A SECTION OF PARCEL 1, 25.61 AC. BY: THOMAS & HUTTON ENG. CO. DATED: 09/23/98 FILE: 98184B-1 RECORDED AT: P.B.89 PAGE 135

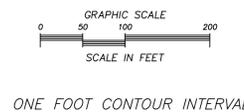
**LABEL DESCRIPTIONS (TYP.)**

--->	TREE LOCATION
18.4 ---	GROUND ELEVATION
PN 18 ---	TREE SPECIES & DIAMETER (IN.)



**LINE TABLE**

LINE	BEARING	LENGTH
L1	S174°43'W	7.08
L2	S36°17'28"W	46.31
L3	S81°44'46"W	38.08
L4	S84°46'01"W	40.84
L5	S38°26'32"W	25.73
L6	S82°01'12"W	75.96
L7	S50°14'04"W	12.85
L8	S50°14'04"W	48.49
L9	N34°45'34"W	36.13
L10	N17°36'34"E	40.18
L11	N02°56'27"E	57.35
L12	N01°55'38"W	36.57
L13	N19°01'19"W	46.70
L14	N09°04'51"E	39.69
L15	N05°57'23"E	45.98
L16	N72°46'07"E	43.78
L17	N67°22'23"E	41.24
L18	N51°24'09"E	54.35
L19	N45°02'47"E	33.06
L20	N63°45'54"E	32.49
L21	N84°02'02"E	70.47
L22	S25°23'08"E	47.08
L23	S14°46'37"W	44.79
L24	S12°11'27"W	37.05
L25	S37°22'22"W	38.57
L26	S17°14'43"W	44.58
L27	N28°35'58"W	35.48
L28	N42°02'35"E	50.15
L29	N75°58'54"E	42.57
L30	S34°39'20"E	42.10
L31	S09°01'35"E	41.30
L32	S07°22'23"E	40.91
L33	N82°51'15"W	49.27
L34	N15°06'31"W	24.74
L35	N2°36'11"E	40.29
L36	S28°18'06"W	58.45
L37	S31°17'34"E	7.87
L38	S44°12'24"E	37.89
L39	N42°08'03"E	26.03
L40	N33°44'44"E	43.39
L41	N30°28'48"E	65.81
L42	N38°48'58"E	81.58
L43	N19°19'19"E	52.44
L44	S89°38'55"E	51.08
L45	S60°52'53"E	58.84
L46	S65°13'06"E	70.33
L47	S19°31'33"E	67.03
L48	S24°42'02"E	36.29
L49	S15°16'12"E	42.91
L50	S03°38'13"E	33.26
L51	S88°17'08"E	44.66
L52	S88°39'39"W	39.96
L53	S47°42'42"W	24.91
L54	S42°58'14"W	39.91
L55	S39°02'18"W	35.86
L56	S60°07'20"W	57.74
L57	S03°05'01"E	81.52
L58	S81°38'10"W	51.00
L59	S64°04'49"W	29.48
L60	N07°01'24"E	51.55
L61	N58°18'44"W	61.08
L62	N25°46'32"E	24.34
L63	N55°59'29"W	54.96
L64	N55°46'12"W	54.99
L65	N63°11'56"E	28.39
L66	N61°59'58"E	43.34
L67	S61°08'01"E	23.50
L68	S31°32'09"E	32.62
L69	S32°03'19"E	29.49
L70	S42°03'12"E	18.67
L71	S22°17'12"E	7.44
L72	S27°16'35"W	20.39
L73	S89°17'55"E	17.77
L74	N01°54'04"W	28.46
L75	N39°23'13"W	56.32
L76	N49°28'35"W	51.06
L77	N47°03'58"W	60.12
L78	N45°24'24"W	75.37
L79	N44°36'49"W	81.95
L80	N41°58'45"W	81.24
L81	N45°21'17"W	28.47
L82	N41°30'25"W	7.81
L83	N09°02'09"E	9.07
L84	N19°17'22"E	10.20
L85	N45°40'48"E	42.46
L86	N42°36'11"E	31.44
L87	N28°17'00"E	25.05
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L89	N80°02'44"E	18.67
L90	N50°37'56"E	19.93
L91	N47°12'52"E	45.57
L92	N45°09'17"E	80.34
L93	N43°10'07"E	67.05
L94	N44°59'06"E	71.47
L95	N45°22'42"E	48.61
L96	N35°02'31"E	19.48
L97	N32°10'30"E	9.53
L98	N07°41'40"E	9.02
L99	N04°17'53"W	7.34
L100	S80°07'44"W	44.68
L101	N40°15'34"E	89.80
L102	N44°18'29"W	7.01



PREPARED FOR: **BOYS & GIRLS CLUB OF THE LOWCOUNTRY**

A TREE AND TOPOGRAPHIC LAND SURVEY OF  
**27.241 ACRES ON GUM TREE ROAD**

A PORTION OF THE  
**FAIRFIELD AREA**

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

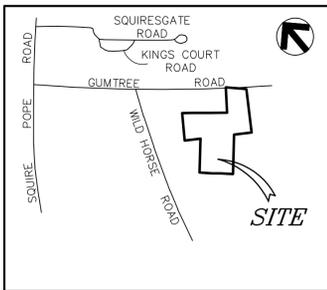
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DATE: 01/14  
JOB No.: 51,231B

SURVEYED BY: LC  
DRAWN BY: MRD  
CHECKED BY: TWW

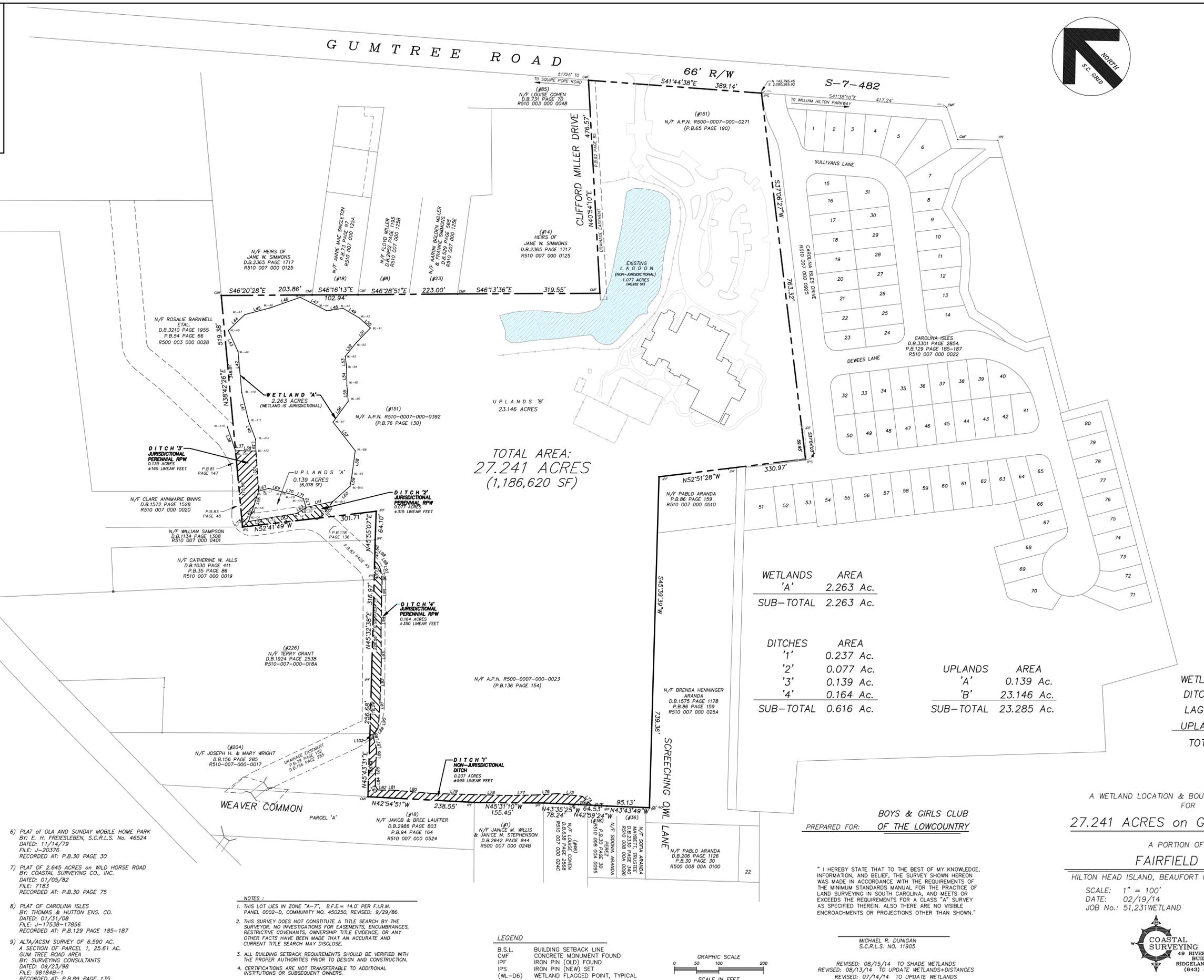


"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN  
S.C.R.L.S. No. 11,905



- VICINITY MAP - N.T.S.
- WILD HORSE ROAD
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  - 7) PLAT OF 2.845 ACRES ON WILD HORSE ROAD BY: COASTAL SURVEYING CO., INC. DATED: 01/05/82 FILE: 7183 RECORDED AT: P.B.30 PAGE 75
  - 8) PLAT OF CAROLINA ISLES BY: THOMAS & HUTTON ENG. CO. DATED: 01/31/08 FILE: J-17638-17856 RECORDED AT: P.B.129 PAGE 185-187
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L7	S501404"W	12.85
L8	S501404"W	48.69
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L12	N015538"W	39.37
L13	N192019"W	46.70
L14	N092412"E	39.69
L15	N553725"E	45.98
L16	N724607"E	43.78
L17	N571231"E	41.24
L18	N512409"E	54.35
L19	N453247"E	33.06
L20	N534554"E	32.49
L21	N894206"E	70.47
L22	S232308"E	47.08
L23	S144657"W	44.79
L24	S121127"W	37.05
L25	S172927"W	38.57
L26	S171443"W	44.38
L27	N265858"W	35.46
L28	N420815"E	50.17
L29	N793932"E	42.57
L30	S343920"E	42.10
L31	S090335"E	41.30
L32	S074225"E	40.91
L33	N625815"E	49.27
L34	N160631"W	24.74
L35	N750624"W	40.29
L36	S251500"E	58.45
L37	S817234"E	7.87
L38	S444242"E	37.63
L39	N420815"E	28.03
L40	N230244"E	43.39
L41	N362846"E	63.81
L42	N364636"E	91.58
L43	N191939"E	52.44
L44	S893535"E	51.08
L45	S605533"E	59.84
L46	S651106"E	70.33
L47	S193115"E	67.03
L48	S543405"E	36.29
L49	S123612"E	42.91
L50	S233811"E	33.99
L51	S881706"W	44.66
L52	S823939"W	39.98
L53	S174242"W	24.91
L54	S423914"W	39.91
L55	S392012"W	35.88
L56	S802720"W	57.74
L57	S063091"W	81.22
L58	S118810"W	51.00
L59	S540449"W	29.48
L60	N871024"W	51.55
L61	N591844"W	61.08
L62	N784832"W	24.94
L63	N520629"W	54.96
L64	N546112"W	54.99
L65	N633536"E	28.39
L66	N130828"E	43.34
L67	S810901"E	23.50
L68	S313209"E	32.62
L69	S320197"E	29.49
L70	S221911"E	19.37
L71	S271635"W	20.39
L72	S891756"E	17.77

L74	N015404"W	28.46
L75	N393233"W	56.32
L76	N492635"W	51.58
L77	N470358"W	60.72
L78	N442744"W	75.37
L79	N445846"E	42.46
L80	N410845"W	91.24
L81	N455237"W	25.47
L82	N118291"E	7.21
L83	N892029"E	9.07
L84	N392722"E	10.20
L85	N454046"E	42.46
L86	N470631"E	31.44
L87	N281708"E	25.55
L88	N323151"E	7.44
L89	N803914"E	18.67
L90	N502756"E	18.83
L91	N471252"E	45.57
L92	N452917"E	80.34
L93	N332072"E	67.05
L94	N445926"E	71.47
L95	N452924"E	48.61
L96	N330211"E	18.48
L97	N320239"E	9.53
L98	N074140"E	9.02
L99	N041725"W	7.34
L100	S800744"W	44.68
L101	N401634"E	89.80
L102	N441222"W	7.01

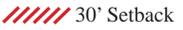
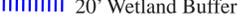
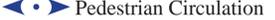
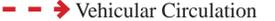
PREPARED FOR:  
**BOYS & GIRLS CLUB OF THE LOWCOUNTRY**

SCALE IN FEET  
 0 50 100 200

REVISOR: 08/15/14 TO SHADE WETLANDS  
 REVISOR: 08/13/14 TO UPDATE WETLANDS+DISTANCES  
 REVISOR: 07/14/14 TO UPDATE WETLANDS  
 REVISOR: 05/13/14 TO UPDATE WETLANDS



**Legend**

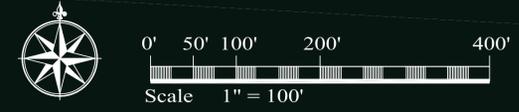
-  30' Setback
-  20' Wetland Buffer
-  Pedestrian Circulation
-  Vehicular Circulation
-  Wetland
-  Playground
-  Sports Court
-  Outdoor Gathering Space
-  Building
-  Significant Trees
-  Area of Dense Canopy
-  Open Lawn



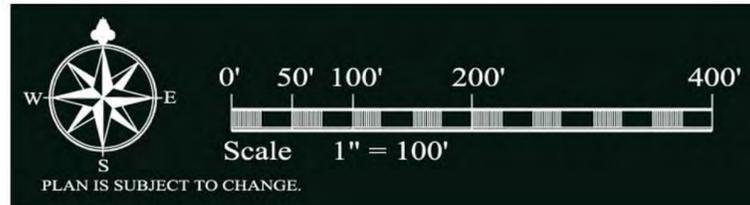
# FIRST TEE DRIVING RANGE SITE ANALYSIS

BOYS & GIRLS CLUB  
 Hilton Head Island, SC  
 October 7, 2014

Prepared By:  
**Wood + Partners Inc. WPI**  
 Landscape Architects  
 Land Planners



PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.



# THE FIRST TEE OF THE LOWCOUNTRY

BOYS & GIRLS CLUB  
Hilton Head Island, SC

October 7, 2014

Prepared By:  
**Wood + Partners Inc. WPI**  
Landscape Architects  
Land Planners

**CLYDE JOHNSTON DESIGNS, INC.**  
GOLF COURSE ARCHITECTURE



FLOOR PLAN

# The First Tee of the Lowcountry Pro Shop

OCTOBER 7, 2014

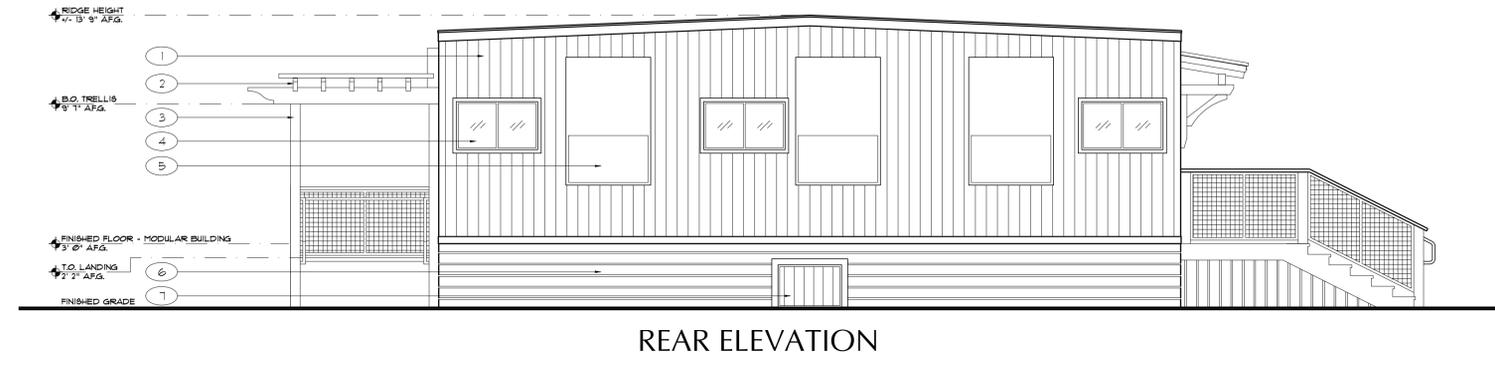
2,310 SQFT.

SCALE 1/4" = 1'-0"

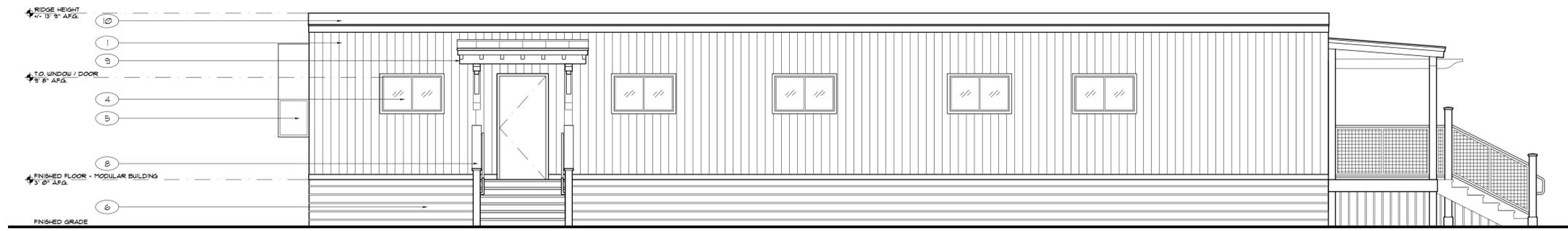
**COURT ATKINS**  
ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910  
P: 843.815.2557 F: 843.815.2547

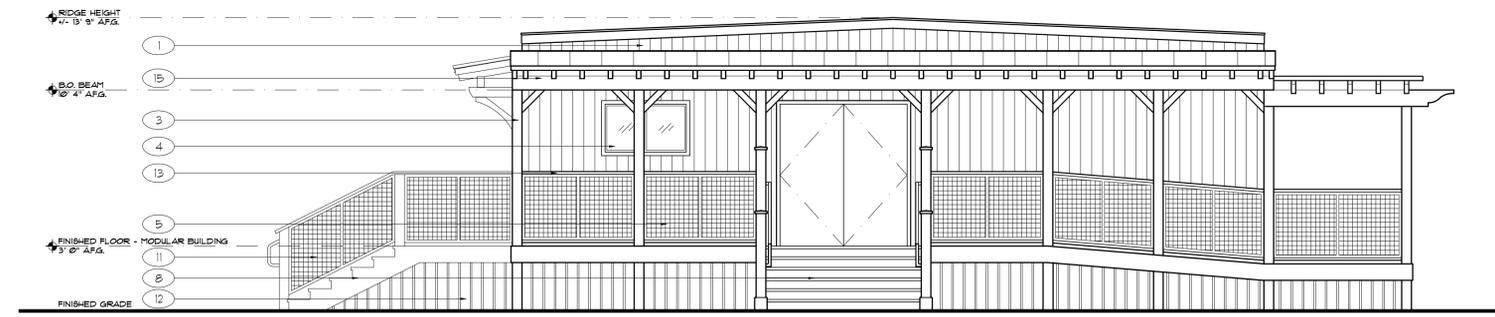
EXTERIOR MATERIALS LEGEND	
MATERIAL	
1	MODULAR BUILDING METAL WALL PANEL
2	P.T. WOOD TRELLIS
3	P.T. WOOD COLUMN
4	MODULAR BUILDING SLIDING WINDOW
5	WALL MOUNTED HVAC UNIT
6	HORIZONTAL P.T. WOOD SCREEN WITH 1" SPACING
7	P.T. WOOD ACCESS PANEL
8	P.T. WOOD STAIR
9	P.T. WOOD AWNING WITH METAL ROOF
10	MODULAR BUILDING EPDM ROOF
11	STAINLESS STEEL WIRE MESH
12	VERTICAL P.T. WOOD SCREEN WITH 1" SPACING
13	P.T. WOOD GUARDRAIL
14	P.T. WOOD RAMP
15	P.T. WOOD SHED ROOF (METAL)



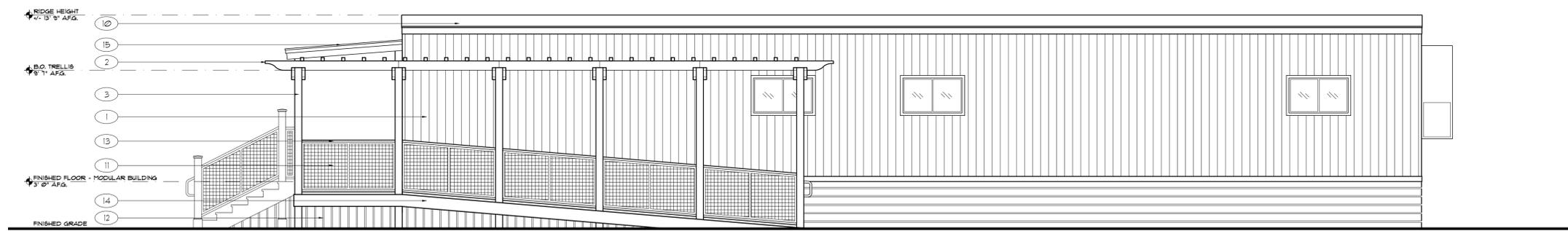
REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION

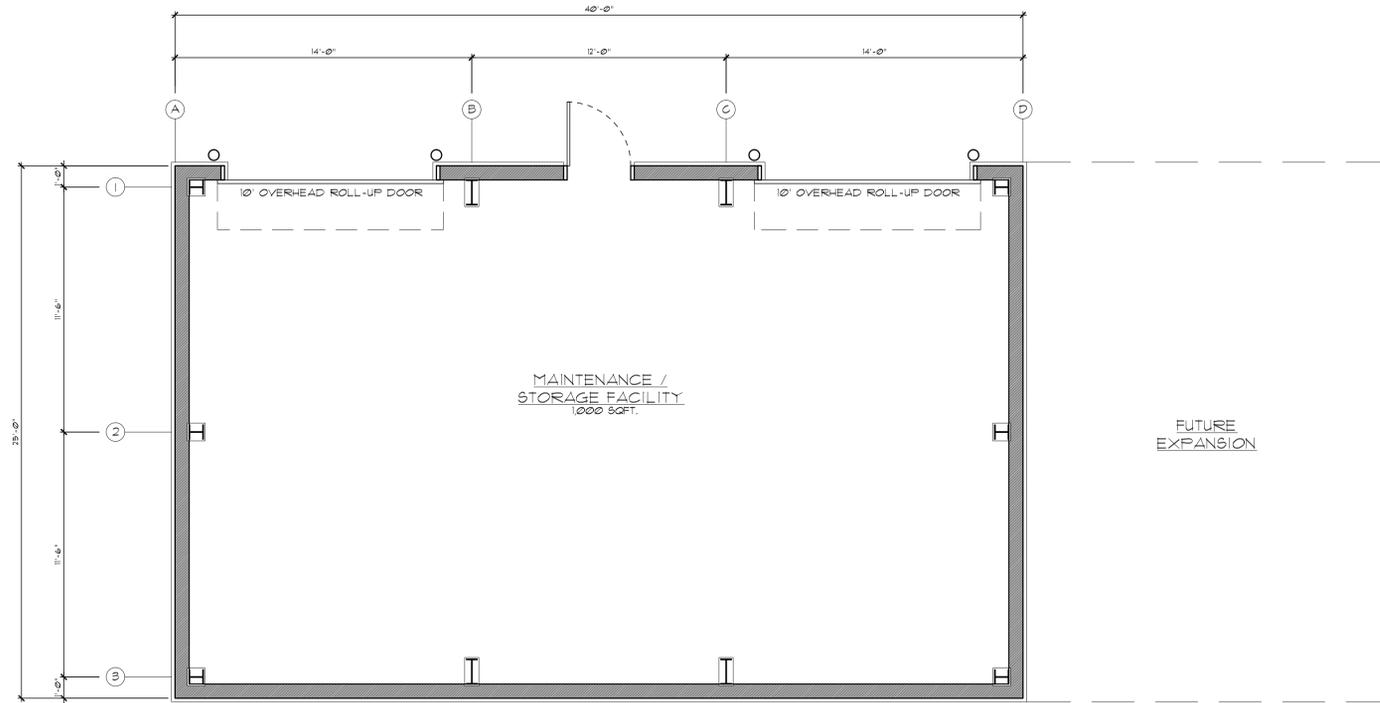
# The First Tee of the Lowcountry Pro Shop

OCTOBER 7, 2014

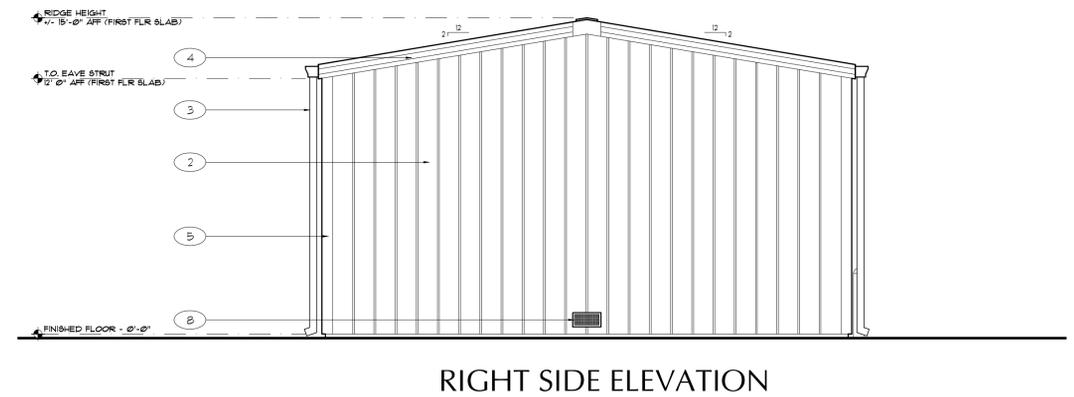
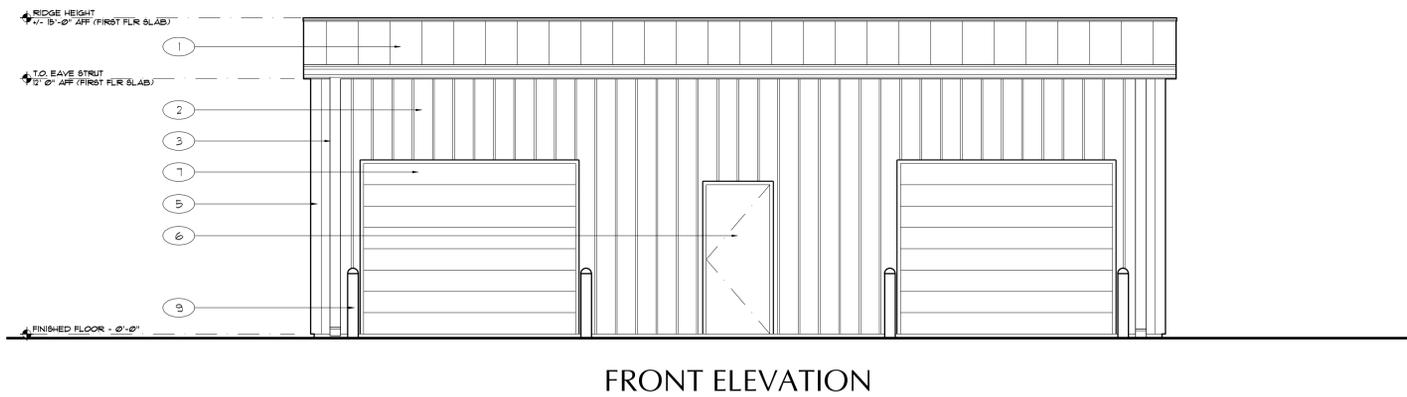
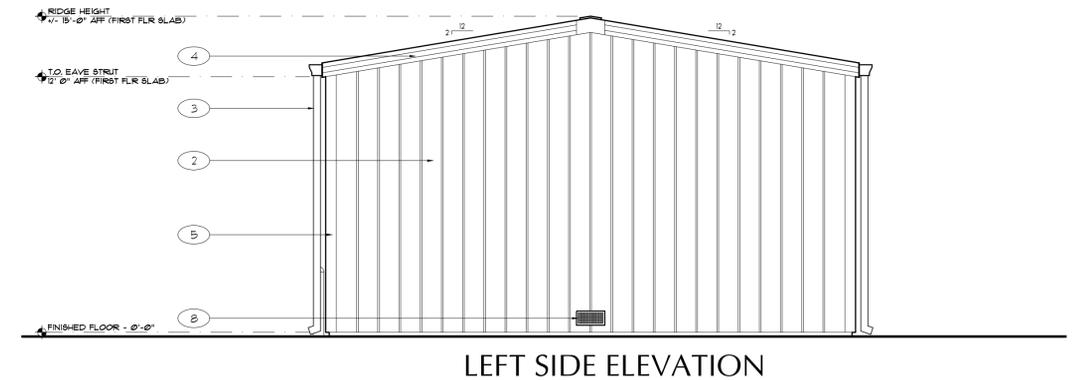
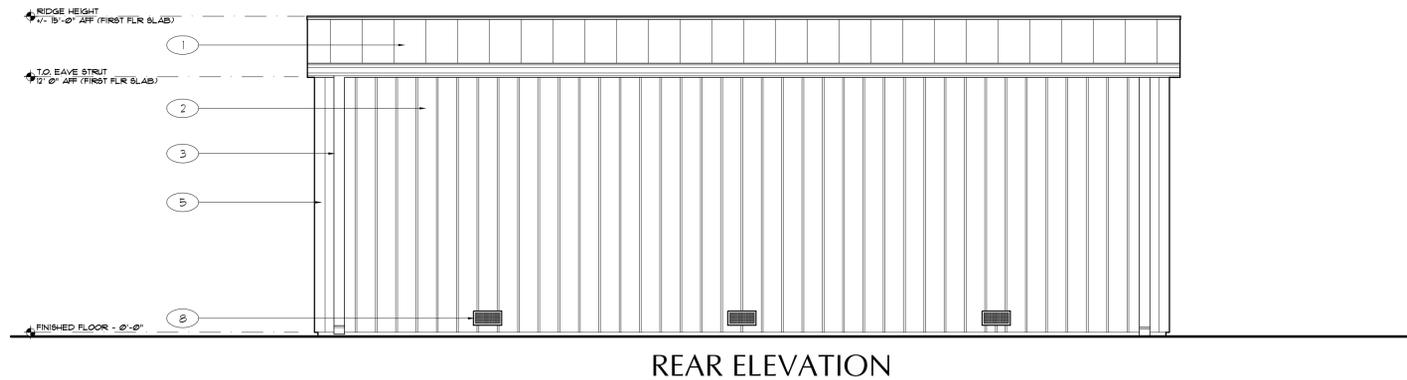
SCALE 1/4" = 1'-0"

**COURT ATKINS**  
ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910  
P: 843.815.2557 F: 843.815.2547



EXTERIOR MATERIALS LEGEND	
○	MATERIAL
1	PRE-ENGINEERED METAL BUILDING STANDING SEAM METAL ROOF
2	PRE-ENGINEERED METAL BUILDING STANDARD CORRUGATED METAL WALL PANEL
3	PRE-ENGINEERED METAL BUILDING METAL GUTTER AND DOWNSPOUT
4	PRE-ENGINEERED METAL BUILDING FASCIA AND RAKE TRIM
5	PRE-ENGINEERED METAL BUILDING CORNER TRIM
6	EXTERIOR HOLLOW METAL DOOR - PAINTED
7	PRE-FINISHED OVERHEAD ROLL-UP DOOR
8	PRE-FINISHED SMART VENT
9	CONCRETE BOLLARDS - PAINTED



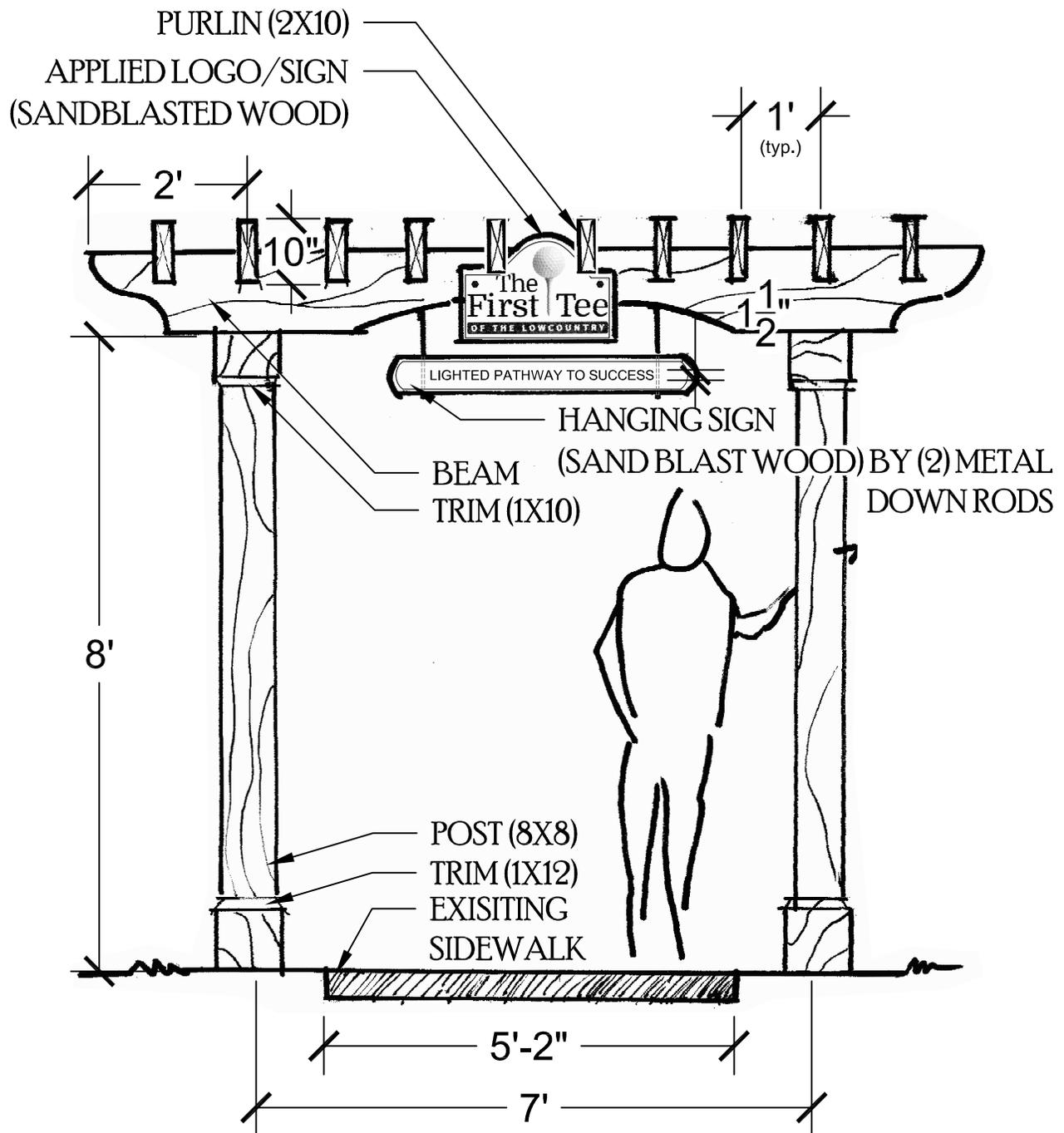
# The First Tee of the Lowcountry Maintenance Facility 1,000 SQFT.

OCTOBER 7, 2014

SCALE 1/4" = 1'-0"

**COURT ATKINS**  
ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910  
P: 843.815.2557 F: 843.815.2547

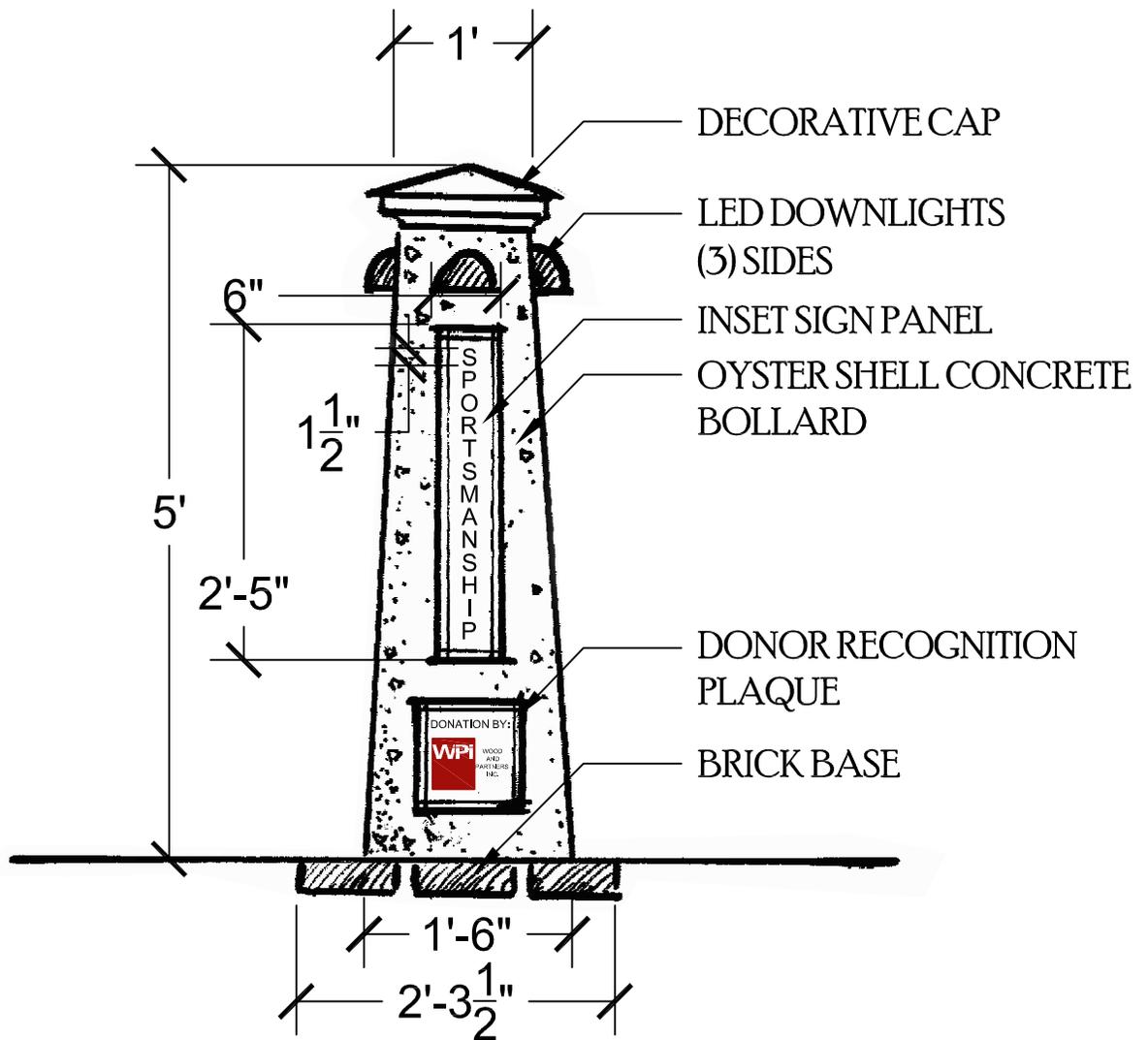


# ENTRYWAY TRELLIS



SCALE: 1/2"=1'  
 PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.

August 13, 2014



# SIGN/LIGHT BOLLARD



SCALE: 3/4"=1'

PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.

August 13, 2014

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 1<sup>st</sup> Tee Boys and Girls Club – New Development Conceptual

DRB#: DRB-001731-2014

DATE: October 28, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Some wood; no colors.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Roof is mostly flat.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building does not have overhangs, but added trellis and awnings provide relief.
Forms an details are sufficient to reduce the mass of the	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

structure				
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trellis and wood awning added to building.
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Mostly metal – wall panels and awning roof and stainless steel wire mesh. Some wood elements added – trellis, columns, awning, screen.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	HVAC units are wall mounted on rear elevation.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown on conceptual submittal.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

prevalent on the Island are utilized				
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing open lawn areas are being converted to practice range, chipping green, etc.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***
