



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, November 4, 2014

1:15 p.m. – Benjamin M. Racusin Council Chambers

REVISED AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes**
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. **Alteration/Addition**
 - 1) DRB-001829-2014-Wyndham Vacation Rental
11. **Appearance by Citizens**
12. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: TOM CREWS Company: TOM CREWS ARCHITECTS, INC
 Mailing Address: 2 CORPUS CHRISTI STE 101 City: HILTON HEAD ISLAND State: SC Zip: 29928
 Telephone: 843-842-6009 Fax: 842-3561 E-mail: TCAHHI@AOL.COM
 Project Name: WYNDHAM VACATION RENTALS Project Address: 21 EXECUTIVE PARK ROAD
 Parcel Number [PIN]: R 552 015 000 22A 0000
 Zoning District: LIGHT COMMERCIAL Overlay District(s): DRB

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

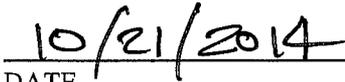
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE



DATE

WYNDHAM VACATION RENTALS

We are proposing to eliminate four small square fabric covered sections (along 12 8x8 columns) in the existing entry plaza and replace the remaining fabric roofs with wood rafters, exposed wood T&G decking and metal roofing. There are a number of green metal roofs in the neighborhood that we will match in color (Indy Green). We are also replacing a small side entry fabric roof with the same wood & metal design as indicated in the drawings.









WYNDHAM
VACATION RENTALS
WELCOME CENTER

GUEST
CHECK-IN
←





21

GUEST
CHECK-IN
←

JSL 497

BU17077

AVAV

KCCB



BEST SOURCE
W/SHARE
SALES



THE BEST SOURCE
FOR RESHARE
SALES



The Studio
Artistic Dining



10

POPE AVENUE EXECUTIVE PARK

bikramYOGA

FWA GROUP

LINKS Magazine

Site Map



Abbreviations

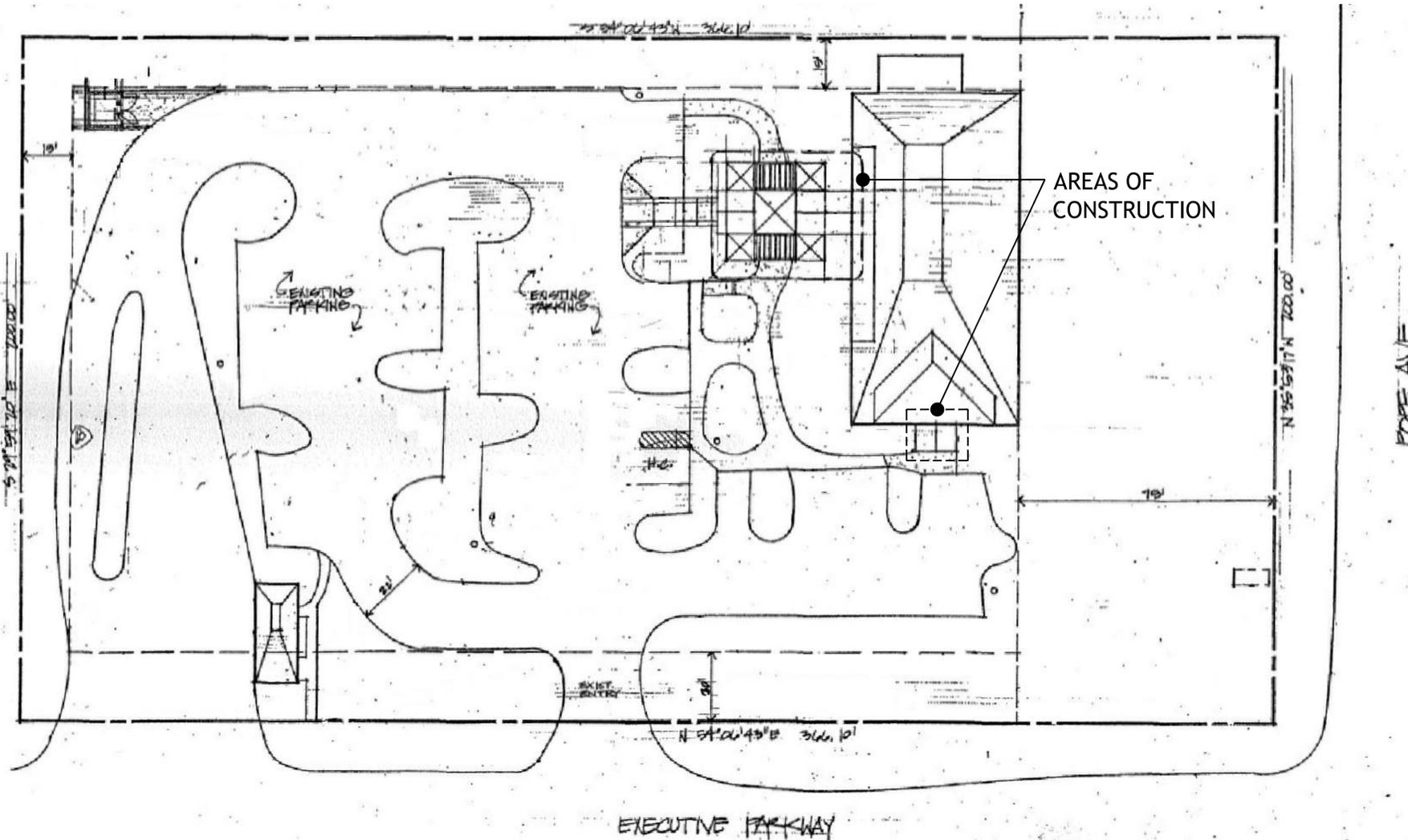
@	At	PERP.	Perpendicular
A.F.F.	Above Finished Floor	PLYWD	Plywood
A.M.S.L.	Above Means Sea Level	PLUMB.	Plumbing
BD.	Board	PR.	Pair
BLDG.	Building	P.S.I.	Pounds Per Square Inch
C.J.	Control Joint	BLDG.	Building
C.M.U.	Concrete Masonry Unit	P.T.	Preservative Treated
COMP.	Composite	R & S	Rod & Shelf
CONC.	Concrete	RAD.	Radius
CONT.	Continuous	REINF.	Reinforcing
DIA.	Diameter	REQ.	Required
DN.	Down	SIM.	Similar
ELEC.	Electrical	SL.	Slope
ELEV.	Elevation	SPEC.	Specifications
E.I.F.S.	Exterior Insulated Finish System	SPEC.	Above Finished Floor
E.J.	Expansion Joint	SQ.	Square
E.Q.	Equal	STRUCT.	Structural
EXT.	Exterior	T & G	Tongue & Groove
F.O.W.	Face of Wall	T.B.D.	To Be Determined
FTG.	Footing	T.G.E.P.	To the Greatest Extent Possible
GALV.	Galvanized	T.O.C.	Top of Concrete
GYP.	Gypsum	T.O.P.	Top of Plate
H.	Height	T.O.S.	Top of Slab
HORZ.	Horizontal	T.O.W.	Top of Wall
INT.	Interior	TRTD	Treated
MAX.	Maximum	TYP.	Typical
MECH.	Mechanical	U.N.O.	Unless Noted Otherwise
MIN.	Minimum	VERT.	Vertical
MTL.	Metal	W.	Width
O.C.	On Center	WD.	Wood

Project Notes

- A. These Construction Drawings (CD's) and related documents, as a whole, work with and reference themselves and therefore shall not be separated. Each Trade shall be issued full sets of CD's and Specifications.
- B. Due to inconsistencies in the printing process these Construction Drawings are not to be scaled.
- C. In the case that Tom Crews Architects (TCA) has not been awarded "Administration of the Contract" for this project under the form of agreement between Owner and Architect as described under AIA Document A201-1997, Article 4: "Administration of the Contract" or similar document it will be the Owners responsibility, with the General Contractors approval, to provide an "Agents Representative" to take on the responsibilities as described under AIA Document A201-1997, Article 4: "Administration of the Contract". Therefore, the Owner waives TCA of any responsibilities for providing services as described under AIA Document A201-1997, Article 4: "Administration of the Contract" or problems and/or claims and disputes that arise for not having said responsibility.
- D. TCA waives any and all responsibility and liability for problems which arise from the failure to follow the drawings, related documents, the use of specified products, materials and methods of construction and the design intent they convey, or from any other failures to obtain and/or follow TCA's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.
- E. TCA has received information that has aided in the design of this project. TCA cannot and does not guarantee the accuracy of any such information and therefore waives any and all responsibility and liability pertaining to such information. These documents where done in good faith and every attempt has been made to provide a complete and accurate representation of such conditions as it pertains under the Instruments of Service as well as drawn in accordance with all local, state and federal regulations.
- F. It is understood that the Contractor for this project shall comply with, and require all Subcontractors to comply with State and Town Contractors License Law, and be duly registered and licensed there under.
- G. It is understood that the General Contractor and all Subcontractors have read and understands all conditions pertaining to these Contract Documents, has read and understands all prevailing codes and regulations under which this project is to be constructed and implicitly agrees to all conditions stated. Further more, the information contained within these Contract Documents in no way releases the General Contractor and all Subcontractors from the responsibility of visiting the site and verifying completely all conditions relating to and affecting the scope of work as described.
- H. It is the responsibility of the General Contractor, prior to providing a bid or price, to review the existing conditions along with these Contract Documents to confirm that all the information provided is complete and accurate and that all work can be built as documented. If there are any discrepancies and if additional information is required to provide an accurate bid it is the General Contractors obligation and responsibility to report to TCA and to obtain clarification or be responsible for the same.
- I. Unless stated otherwise, it is the responsibility of the General Contractor for this project to assume full responsibility for providing all costs associated with this project including but not limited to labor and overtime costs, project fees, materials, equipment as well as assuring that all materials, fixtures, equipment and other items be installed in accordance with manufacturer's recommended specifications. All work will be done in a safe and quality workmanship like manner and meet all local, state and federal requirements.
- J. The General Contractor for this project is responsible for scheduling and coordinating the different trades and phases of the construction process in a systematic manner to insure safety and maximize economy of construction. Beginning of work by any trade shall constitute the acceptance and the responsibility for the work being done.
- K. The General Contractor for this project is responsible for scheduling and coordinating with property and/or building management and adjacent tenants and/or neighbors in order to minimize the disruption of ongoing operations. The General Contractor is to provide and maintain safety barriers to ensure the safety of employees and public as well as to provide protection, as required, to prevent any type of damage or contamination to any adjacent properties and furthermore, will be obligated to fix any damage due to negligence in the process of construction.
- L. The General Contractor and Subcontractors shall take all precautions not to interfere with the structural integrity of the building. Work affecting or changing any of the buildings structural components shall proceed only at the Structural Engineer's discretion in writing and stamped as required. TCA specifically will not give direction of any kind in regards to altering structural components.
- M. The General Contractor and Subcontractors shall take all precautions not to interfere with existing or new work done by a different trade. Any work that is required that would effect or change work, either existing or new, to plumbing, mechanical or electrical (PM&E) shall proceed only at the PM&E Engineer's discretion in writing and stamped as required. TCA specifically will not give direction of any kind in regards to altering plumbing, mechanical or electrical components to commercial buildings.
- N. Life safety systems may not be included with these Construction Documents. The General Contractor is responsible for identifying and locating all existing life safety systems including but not limited to, fire sprinkler system, emergency lighting system, fire, smoke and CO2 detection systems and the location of fire extinguishers and/or coordinate for new life safety systems as described and, if applicable, connecting to existing systems. Provide shop drawings as required. The General Contractor is responsible that these systems meet any and all requirements as dictated by local, state and federal codes.
- O. Any discrepancies, conflicts or need for clarification that arise during the construction process shall be brought to TCA's attention by the General Contractor immediately by phone and in writing with their evaluations and recommendations with any necessary photos or field sketches sufficient to clearly describe said discrepancies or conflicts affecting construction of this project. This information shall be provided to TCA at no additional cost to the Client.
- P. The General Contractor shall provide for the legal removal and disposal of all rubbish and debris from the building and the site associated with the construction of this project. Completing the scope of work removing all construction debris from the project job site and any adjacent properties.
- Q. The General Contractor shall maintain at the job site an up to date copy of all information pertaining to this project including but, not limited to, construction drawings, specifications, Architect's Supplemental Instructions (ASI), change orders, field reports, and approved shop drawings.
- R. At the end of the project the General Contractor shall provide the Owner with a copy of the construction documents labeled "AS BUILT". This set of documents will show and include all significant changes made during the construction process that are not referenced in the original construction documents. This information shall include but, not be limited to, utilities located underground or concealed within the structure or utilities not referenced within the construction documents.

An Alteration / Addition for: - WYNDHAM VACATION RENTALS -

21 Executive Park Road - Hilton Head Island - South Carolina



1 SITE PLAN
T1.1 SCALE: 1"=20'-0"

Project Narrative

An alteration / addition to the front and side entry canopies to a building located at 21 Executive Park Road. The project includes removing the existing canvas tops and replacing them with a solid metal roof. The project also includes replacing a portion of the existing front walkway and removing some of the vertical columns at the front.

Development Team

Architect: Tom Crews Tom Crews Architects 2 Corpus Christi, Ste. 101 Hilton Head Island, SC 29928	SC License #: 3640 Town of HHI License #: 3028 Bus: 843-842-6009 Fax: 843-842-3561	Contractor: Joe Highsmith Highsmith Construction, Inc. 4 Executive Park Road Hilton Head Island, SC. 29928	SC License #: G114444 Town of HHI License #: Bus: 843-765-2743 Fax:
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Code Summary

2012 EDITION - INTERNATIONAL BUILDING CODE
2011 EDITION - NATIONAL ELECTRIC CODE
EXTENT OF CONSTRUCTION: EXISTING ENTRY AREAS
OCCUPANCY CLASSIFICATION: B Business (IBC - Section 304)
ATYPE OF CONSTRUCTION: Type V-B, Unprotected (IBC - Section 602.3)

Area Calculations

NOTE: THERE WILL BE NO ADDITIONAL SQUARE FOOTAGE ADDED TO THE EXISTING BUILDING.

Drawing Index

SHT.	SHEET CONTENTS
T1.1	TITLE SHEET AND SITE PLAN
C1.1	LANDSCAPE PLAN
A1.1	DEMOLITION AND FLOOR PLANS
A1.2	ROOF PLAN
A2.1	ELEVATIONS

Architecture
Tom Crews Architects
2 Corpus Christi Pl., Ste. 101
Hilton Head Island, SC 29928
843-842-6009

ARCHITECTURAL FIRM
ARCHITECT'S SEAL
COMPANY SEAL

An Alteration/Addition for:
Wyndham Vacation Resorts
21 Executive Park Road
Hilton Head Island, South Carolina

D.R.B. REVIEW
DATE: 10/21/2014
DATE SUBMITTED TO: 10/21/2014
D.R.B. REVIEW
ISSUE DATE OF PROGRESS PRINTS

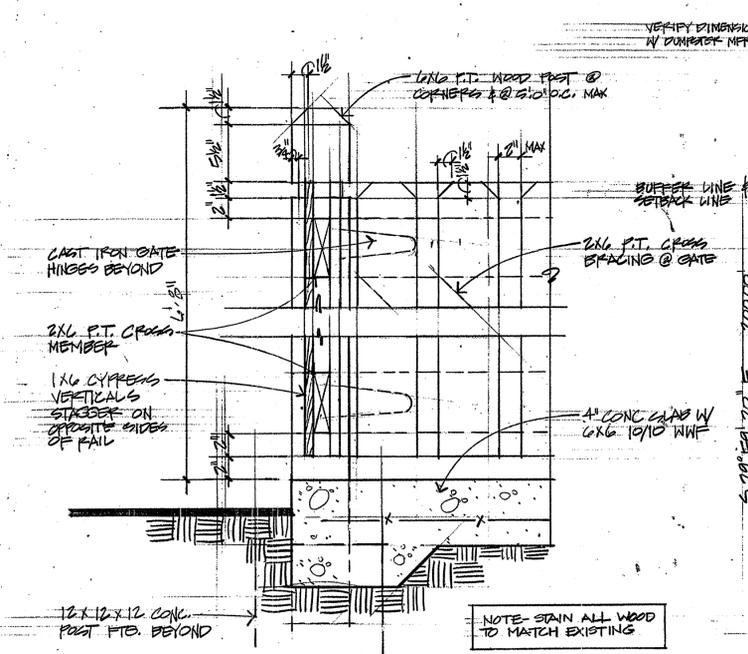
DRAWN BY: DCN
CHECKED BY: TZC
T1.1
TITLE AND SITE PLAN
Tom Crews Architects ©
TCA PROJECT NUMBER:
1424

A
B
C
D
E
F

2 3 4 5 6 7 8

CORDILLO PARKWAY

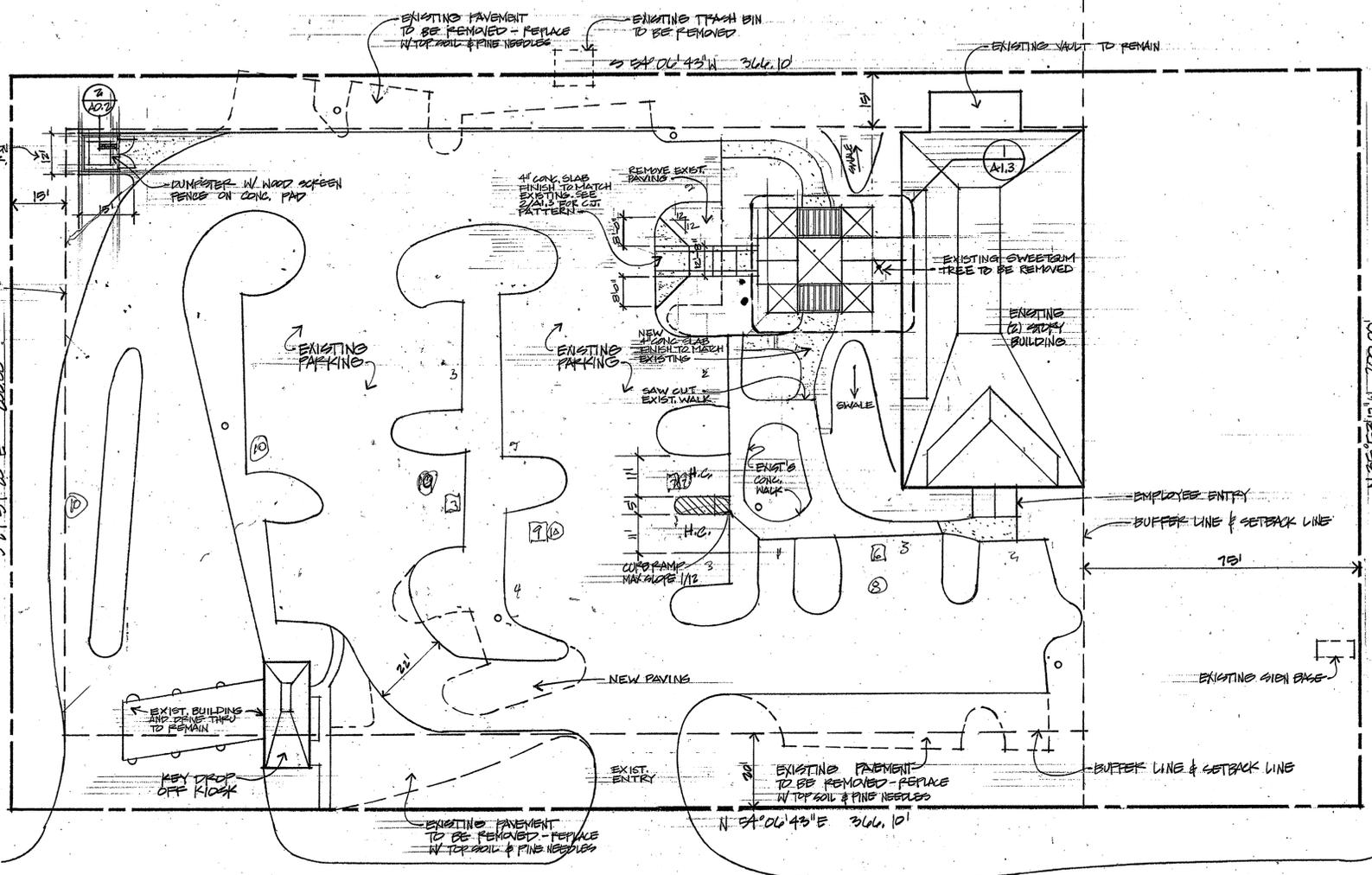
POPE AVE



② DETAIL @ FENCE
1/2" = 1'-0"

SITE DATA:

ZONING	C-5
BUILDING SQUARE FOOTAGE	7561 S.F.
REQUIRED PARKING (4.4 SPACES/1,000 SF FLOOR AREA)	34 CARS
PARKING PROVIDED	34 CARS



EXECUTIVE PARKWAY

① SITE PLAN
1" = 20'-0"

NOTE: ALL SURVEY INFORMATION TAKEN FROM AS-BUILT SURVEY PROVIDED BY SEA ISLAND ENGINEERING DATED 4.7.93



Shoreline Rental Company
VACATION HOME & VILLA RENTALS

FO Box 6278, Hilton Head Island, SC 29928

Project No. 3015

Drawing No. A02

ARCHITECTURAL SITE PLAN

Post Office Box 7606 / Hilton Head Island, South Carolina 29928 / 803-686-2020

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Print Date
4/14/15 PROCESS SET
4/14/15 PROCESS SET
4/14/15 PROCESS SET
10/19/13 ISSUED FOR PERMIT

A

B

C

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2

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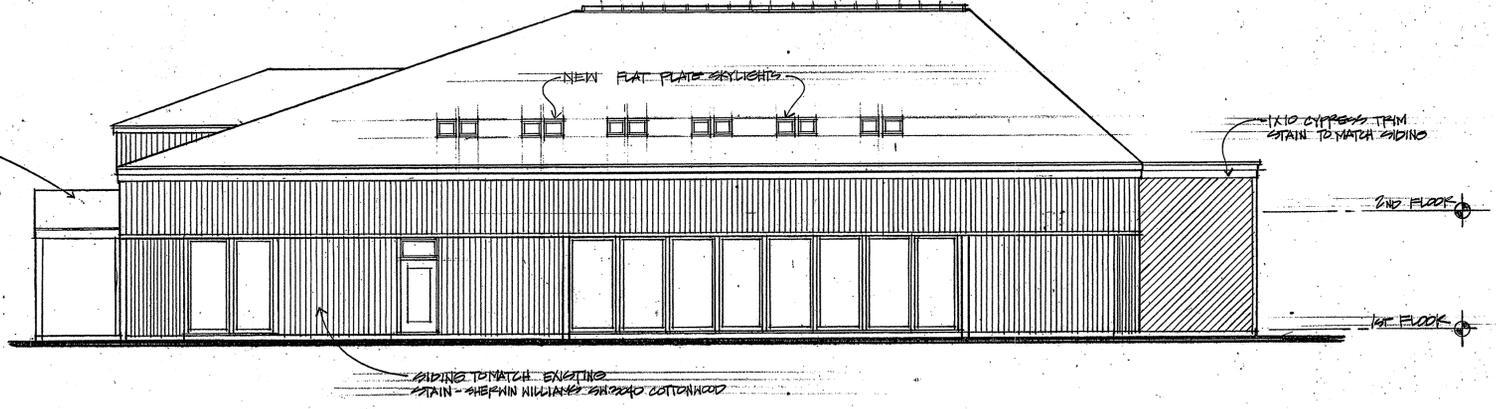
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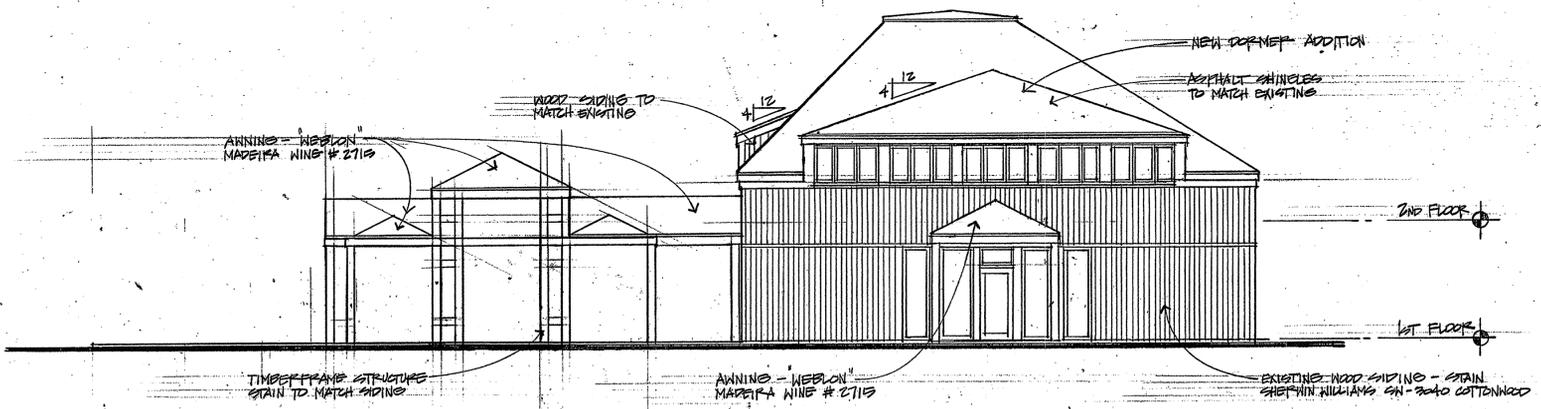
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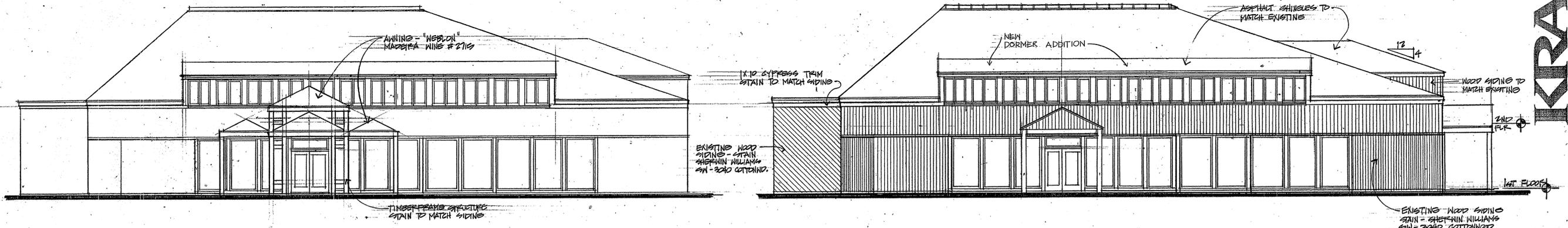
ANNING - NEBLON
MADEIRA WINE # 2715



④ POPE AVE. ELEVATION
1/8" = 1'-0"



③ EXECUTIVE PARKWAY ELEVATION
1/8" = 1'-0"



② ENTRY ELEVATION
1/8" = 1'-0"

① ENTRY ELEVATION (CANOPY NOT SHOWN)
1/8" = 1'-0"

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Post Office Box 7606 / Hilton Head Island, South Carolina 29938 / 803-686-2020

KRA
KEANE ROBINSON ARCHITECTS, INC.

Shoreline Rental Company
VACATION HOME & VILLA RENTALS

PO Box 6275 Hilton Head Island, SC 29938

Print Date
9-24-95
1-29-95
10-18-95
10-18-95

PROGRESS SET
ASB REVIEW
ONLINE REVIEW
ISSUED FOR PERMIT

Revision

Date

No.

ELEVATIONS

Drawn by: PMB

Checked by:

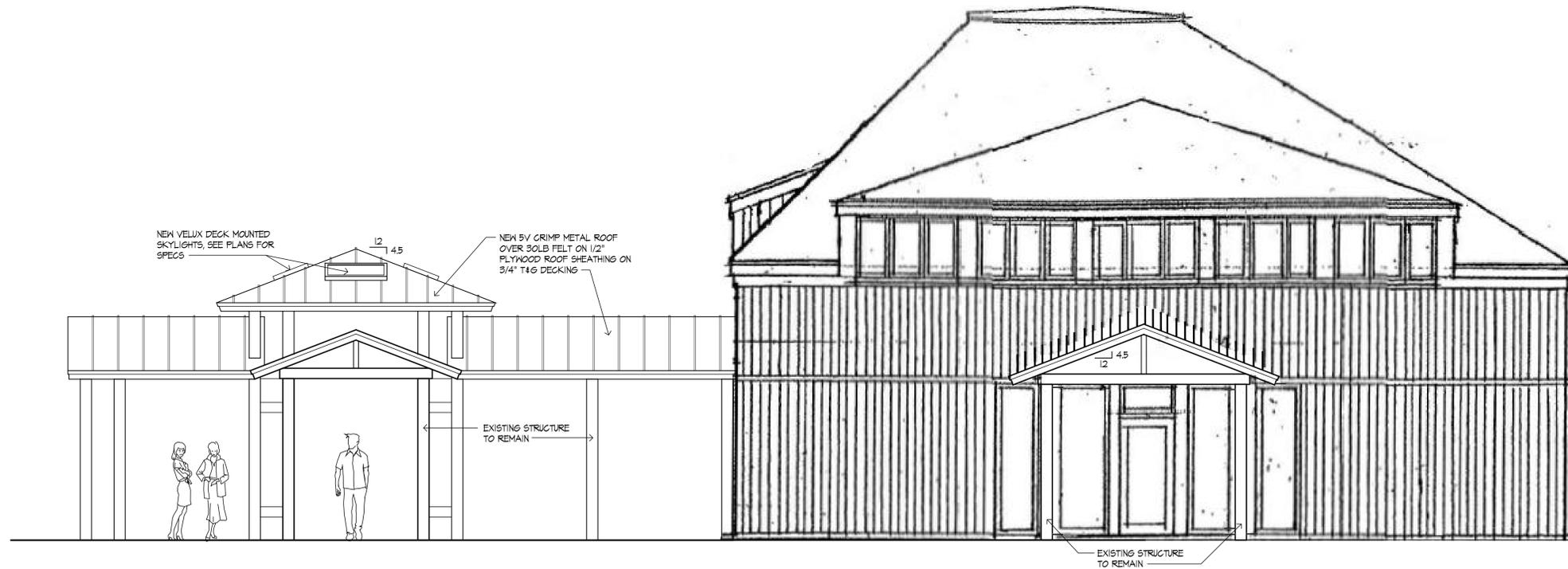
Date

10-25-95

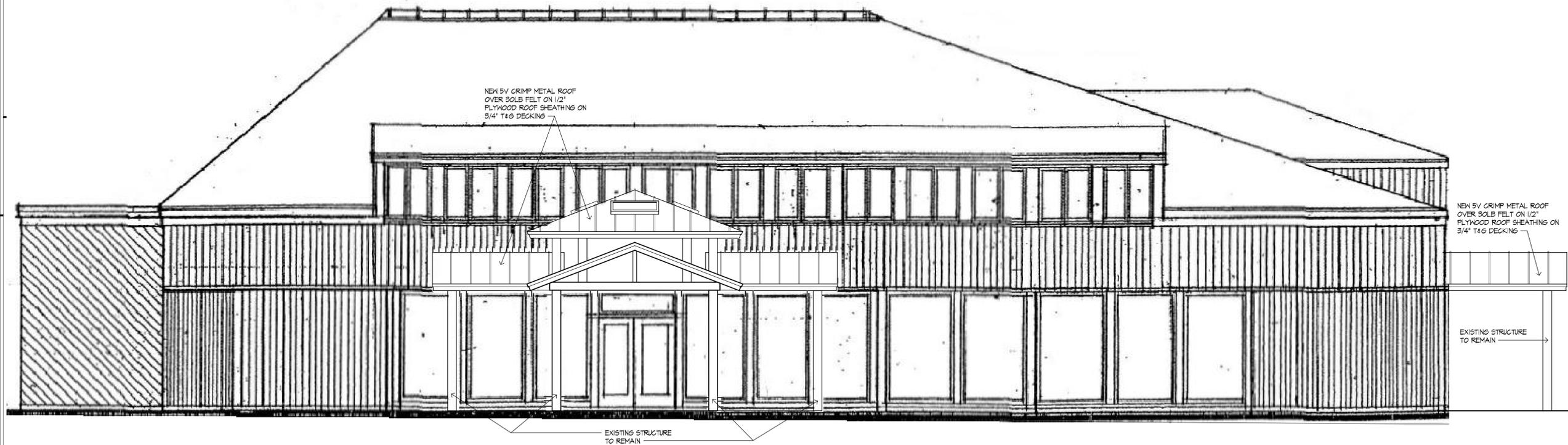
Project No. 3015

Drawing No. AZ1

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1 EXECUTIVE PARK ELEVATION
A2.1 SCALE: 1/4"=1'-0"



2 ENTRY ELEVATION
A2.1 SCALE: 1/4"=1'-0"

Architecture

Tom Crews Architects
2 Corpus Christie Pl., Ste. 101 Hilton Head Island, SC 29928
843-842-6009

ARCHITECTURAL FIRM

ARCHITECT'S SEAL

COMPANY SEAL

An Alteration/Addition for:
Wyndham Vacation Resorts
21 Executive Park Road
Hilton Head Island, South Carolina

PROJECT NAME & LOCATION

D.R.B. REVIEW
DATE: 10/21/2014
DATE SUBMITTED TO: 10/21/2014
D.R.B. REVIEW

ISSUE DATE OF PROGRESS PRINTS

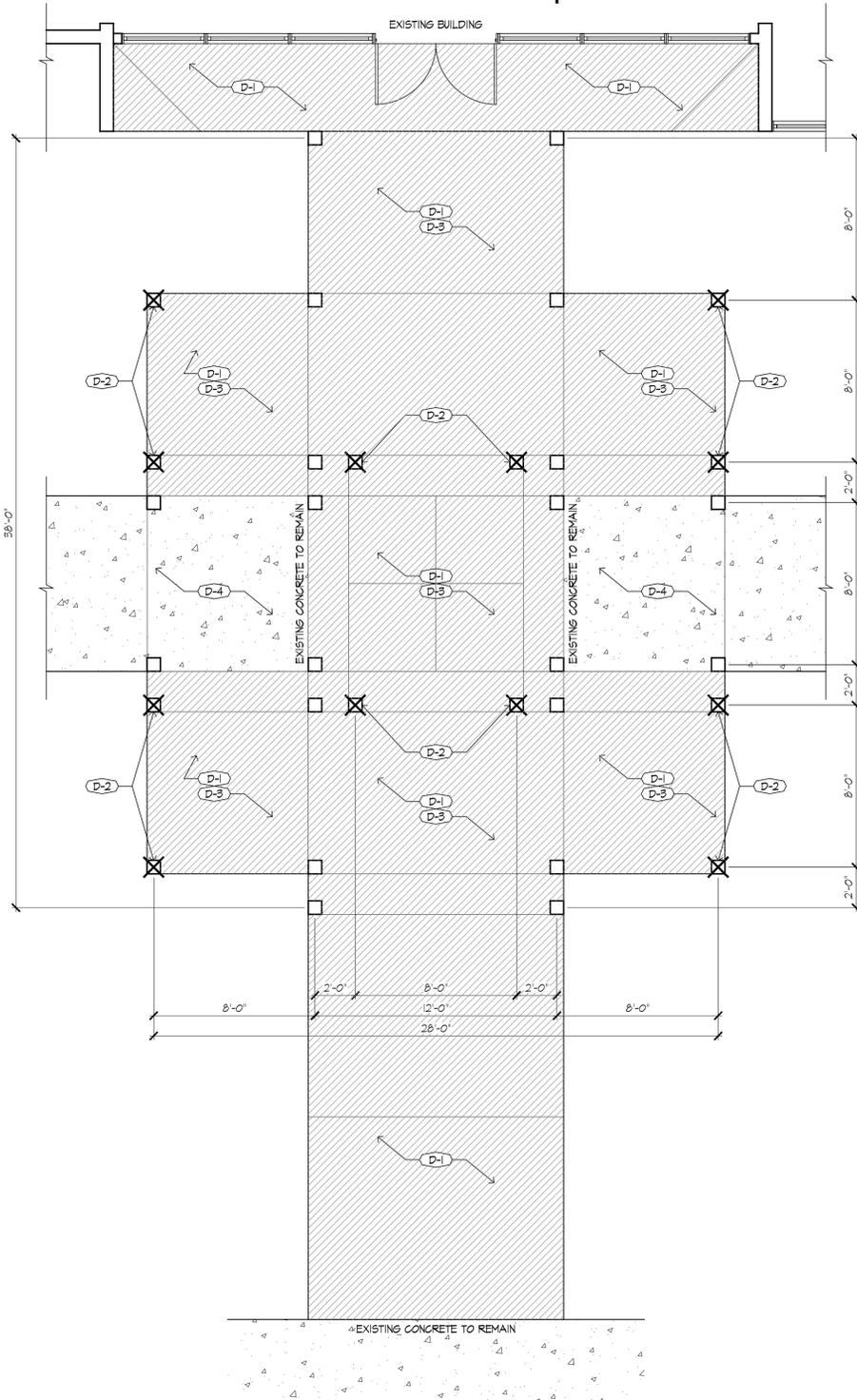
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CHECKED BY: TZC

A2.1
ELEVATIONS

Tom Crews Architects ©
TCA PROJECT NUMBER:
1424

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1 DEMOLITION PLAN
A1.1 SCALE: 1/4"=1'-0"

Demolition Notes

1. Refer also to Project Notes.
2. All demolition shall coincide with all new construction as described in these construction documents.
3. Base bid shall include all demolition work as described in these construction documents.
4. Demolition work shall be limited to areas indicated on drawings and care shall be given to prevent damage to any materials or fixtures that are to remain. Any damage to the existing supporting structure, materials or fixtures that was not specified to be removed as per the demolition plan and notes will be the General Contractor's (G.C.) responsibility to repair at no additional cost to the Owner. Any repairs shall match what was existing to the greatest extent possible and be approved by the owner or, the repairs are to coincide with any new construction. All repairs shall be done in accordance with all local, state and federal regulations.
5. Any work done to a fire rated assembly, including but not limited to, the existing supporting structure, walls, floors, ceilings and openings such as doors and windows, will require the General Contractor to patch and/or replace any materials necessary to maintain the required fire rating.
6. When required, the G.C. is responsible for temporarily shoring or otherwise supporting any existing construction that is to remain while new work is being installed. Locate temporary supports in a way that prevents movement or settlement as well as any other damage to the existing structure. The G.C. will be responsible for repairing any damage caused by such movement or settlement. Removal of temporary supports shall be allowed only when new construction is efficient to support the remaining structure.
7. It is encouraged that the G.C. salvage and reuse existing items including but, not limited to, structural items, utilities, fixtures and equipment so long as these items are acceptable and their reinstallation continue to be safe, serviceable, and meet all local, state and federal regulations. Items not meeting these requirements should be cleaned and repaired, if reasonable, or removed and replaced to match existing or as described.
8. It will be the responsibility of the G.C. to take inventory of salvaged items and to store such materials off the ground in a safe and protected area free of contaminants that could further harm these items. These salvaged materials, if acceptable and serviceable, will be reused as indicated on the construction documents and/or in a similar condition in which they were removed from.
9. It will be the responsibility of the G.C. to remove any utilities that have been abandoned. Abandoned plumbing that can not be removed shall be capped within walls or below the slab. Existing plumbing drains or stacks may be reused to connect to new fixtures if said plumbing meets all current code requirements.
10. Refer also to Demolition Legend.

Demolition Legend

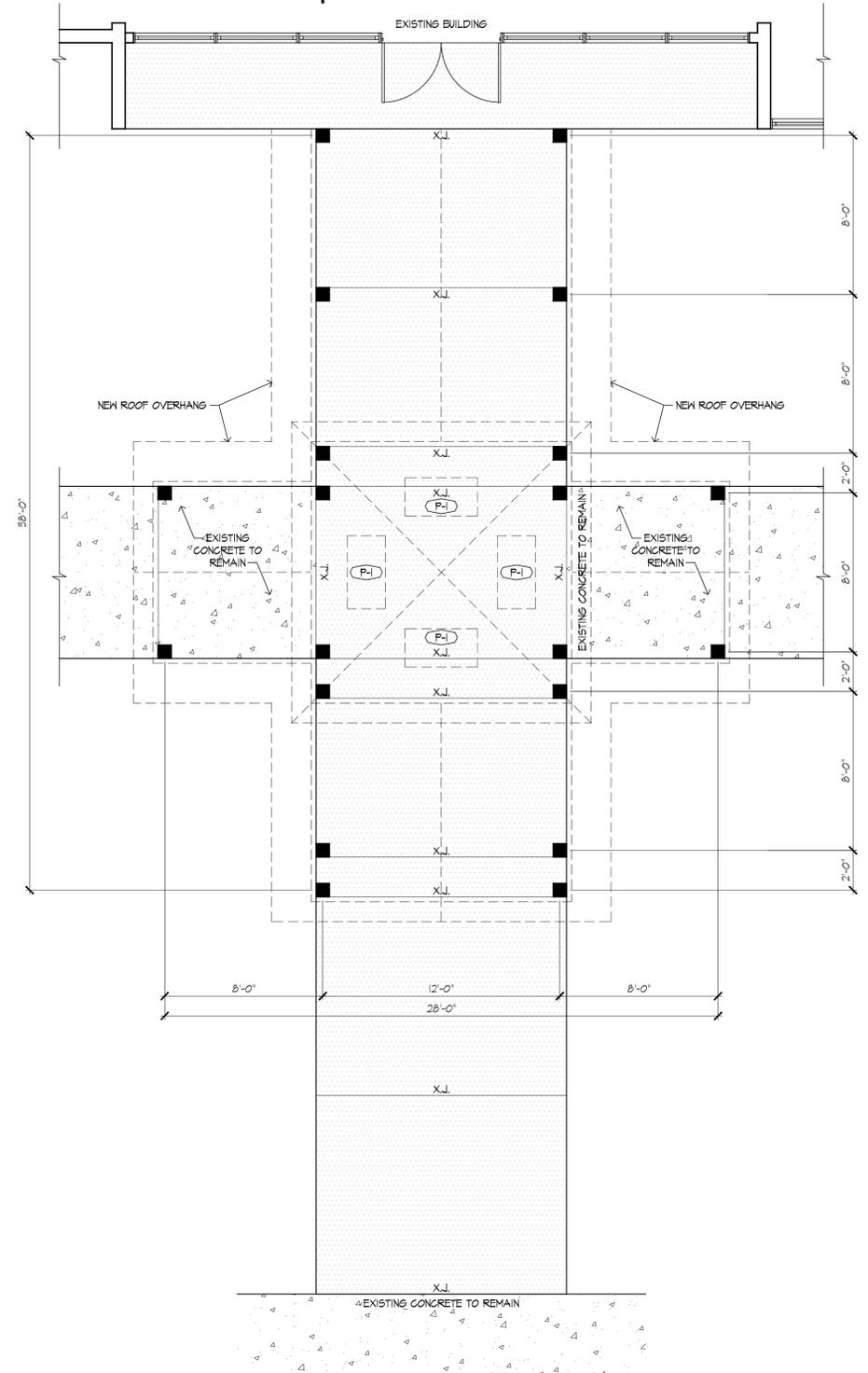
- Demolition, concrete walk to be removed:
- Columns to be removed:
- Columns to remain:
- D-1 Remove existing concrete and wood dividers as indicated.
 - D-2 Remove existing 8x8 columns and post base connectors.
 - D-3 Remove existing canvas top and the metal support structure that pertains to the canvas.
 - D-4 Remove wood trellis.

Floor Plan Notes

1. Refer also to Project Notes.
2. Plans are based on original construction documents and/or information provided by others and not "as-builts" conditions. All dimensions must be field verified and discrepancies brought to the attention of the "Owner's Representative" as required.
3. All dimensions are to face of stud or column line unless noted otherwise (UNO).
4. All dimensions noted as "Dimensions to Maintain" (DTM) shall be built so that the clear finished construction shall meet the dimension as indicated.
5. Any work that requires off site manufacturing shall be required to take field measurements as required and submit shop drawings to the "Owner's Representative" prior to assembly of any product or be responsible for the same. This would include but, not be limited to handrails, guardrails, cabinets, shelves, manufactured trusses, etc.
9. Refer also to the Floor Plan Legend.

Floor Plan Legend

- New salt finish concrete walk:
- New expansion joint:
- P-1 New "Velux" deck mounted FS SO1skylights, installed as per manufacture's recommendations, Velux adhesive underlayment and flashing, to prevent moisture penetration. Zone 2; DP Rating = 69; Tempered.



2 PROPOSED PLAN
A1.1 SCALE: 1/4"=1'-0"

Architecture
Tom Crews Architects
2 Corpus Christie Pl., Ste. 101
Hilton Head Island, SC 29928
843-842-6009
843-842-3656 Fax

ARCHITECTURAL FIRM

ARCHITECT'S SEAL

COMPANY SEAL

An Alteration/Addition for:
Wyndham Vacation Resorts
21 Executive Park Road
Hilton Head Island, South Carolina

PROJECT NAME & LOCATION

D.R.B. REVIEW
DATE: 10/21/2014
DATE SUBMITTED TO: 10/21/2014
D.R.B. REVIEW

ISSUE DATE OF PROGRESS PRINTS

DRAWN BY: DCN CHECKED BY: TZC

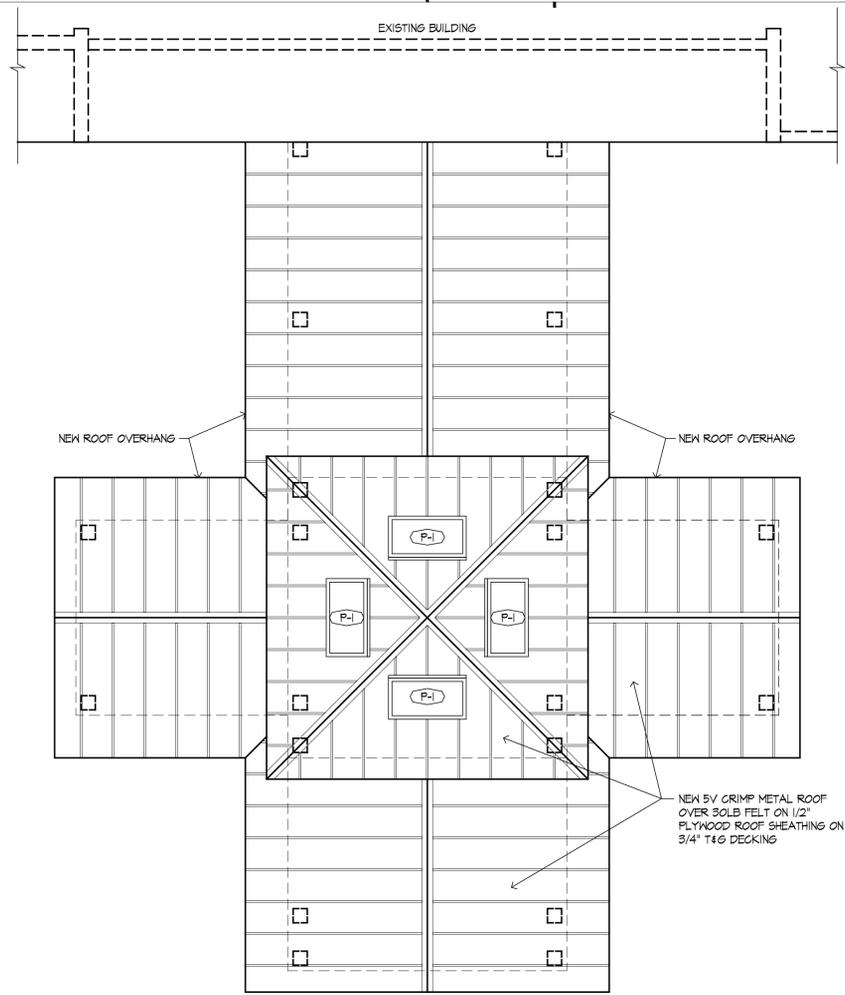
A1.1

PLANS

Tom Crews Architects ©
TCA PROJECT NUMBER:
1424

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1 ROOF PLAN
 A1.2 SCALE: 1/4"=1'-0"

Architecture
Tom Crews Architects
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ARCHITECT'S SEAL
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An Alteration/Addition for:
Wyndham Vacation Resorts
 21 Executive Park Road
 Hilton Head Island, South Carolina

D.R.B. REVIEW
 DATE: 10/21/2014
 DATE SUBMITTED TO:
 10/21/2014 D.R.B. REVIEW

ISSUE DATE OF PROGRESS PRINTS

DRAWN BY: DCN CHECKED BY: TZC

A1.2
 ROOF PLAN

Tom Crews Architects ©
 TCA PROJECT NUMBER:
 1424

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Wyndham Vacation Rentals – ALTERATION/ADDITION

DRB#: DRB-001829-2004

DATE: November 4, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

Applicant proposes to eliminate fabric awnings and replace them with green metal roofing, wood rafters, and exposed wood T&G decking. Minimal landscape improvements are included to reduce maintenance and add color accents. Landscape plan should be updated to reflect proposed changes.