



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, February 11, 2014

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of January 28, 2014
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
9. **New Business**
  - A. New Development - Conceptual
    - 1) DR 140001 – Chaplin Linear Park
  - B. Alteration/Addition
    - 1) DR 140002 – Boat Port
    - 2) DR 140003 – New York City Pizza
    - 3) DR 140004 – Shelter Cove Towne Centre Building 121
    - 4) DR 140005 – The Beach House
    - 5) DR 140006 – San Miguel’s Restaurant
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island  
Design Review Board  
Minutes of the Tuesday, January 28, 2014 Meeting  
1:15p.m – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deborah Welch,  
Jake Gartner, Jennifer Moffett, Tom Parker, Todd Theodore

Board Members Absent: Galen Smith

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Teri Lewis, LMO Official  
Richard Spruce, Floodplain Administrator  
Kathleen Carlin, Administrative Assistant

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**1. Call to Order**

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

The Board **approved** the agenda as revised by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the January 14, 2014 meeting as presented by general consent.

**6. Staff Report**

None

**7. Board Business**

None

**8. Unfinished Business**

None

*(Mr. Theodore recused himself from review of the following application, Harbour Town Golf Course Clubhouse, DR 130041, due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mr. Theodore and attached to the record).*

**9. New Business**

A. New Development – Final Review

**Harbour Town Golf Course Clubhouse – DR 130041**

Ms. Ray stated that the project is located at 11 Lighthouse Lane. Ms. Ray presented an in-depth overhead review of the application including an aerial photo of the site and the site plan. This

application received Conceptual approval by the Board in October 2013. Comments by the Board at that time were supportive and complimentary of the architectural elements for Conceptual review.

The objective of the Sea Pines Resort is to create a world class clubhouse for golf patrons as well as resort guest and residents. The Harbour Town Golf Course is ranked the second highest by PGA players as their most favorite course behind Augusta National, and is consistently ranked in the top 25 courses in the country. A golf course of such high quality needs to be complemented with a clubhouse facility of equal quality and amenities.

The proposed new site plan creates a landscape enhanced entrance into the clubhouse and provides a formal drop-off zone and Gentlemen Golfer's Plaza. The Gentlemen Golfer's Plaza extends beyond the drop-off zone, opening up into Golf Plaza and cart staging area. The site plan also proposes an event lawn that can be viewed from the clubhouse and used during special events. Parking is being modified between the Clubhouse and the Inn and also replaces the two existing tennis courts for additional spaces.

Ms. Ray presented a thorough review of the site plan. The materials are similar or the same as those reviewed/approved by the Board for other recent Sea Pines projects. Ms. Ray discussed the proposed materials and their location including pervious pavers, brick plazas, blue stone plazas and oyster shell concrete walks.

The landscape plan is a mix of palms and evergreen shrubs with layers of color used as accents. Sod is limited and included at the entrance on Lighthouse Lane and the event lawn north of the Plaza. The service area is heavily screened.

The lighting plan includes a mix of light types including bollard lights, wall lights, up lights on the palm trees and flag poles, as well as pathway lights.

The proposed three story structure includes the golf cart garage and storage on the ground level; Pro Shop, women's locker room, restaurant, private dining, restrooms and kitchen/back of house on main level; men's/Pro's locker room, multi-function rooms, restrooms and back of house on upper floor. The new Clubhouse will merge with the existing Conference Center.

The architecture is intended to portray an understated richness and patina found in other classic golf clubhouses. Wide expanses of windows allow an abundance of natural light into the interior spaces while providing excellent views of the golf course. Covered porches on the main and upper floors allow patrons to enjoy being outside, while being protected from the elements.

The existing Conference Center roof will be removed and replaced with a new slate roof that better complements the new Clubhouse. The new roofscape will fully cover the existing partially covered porches that face the practice green. This new covered area will provide additional pre-function space and will be a great place to enjoy the tournament during Heritage week. The exterior stucco finish will be removed and replaced with materials to match the new Clubhouse.

The proposed new Clubhouse exterior materials are intended to complement the context of Harbour Town and the overall Sea Pines community as well as evoke a sense of timeless tradition. Cement based scored stucco will be used on the ground and main floors. The upper floor will be covered with a shell impregnated stucco with a cast stone band separating the upper and lower floors.

In addition to the band, cast stone will be used for the window and door trim, columns and bases. Wood windows will be clad in a color to match the cast stone trim. Exterior doors will be stained mahogany. The main roof material will be a Vermont slate and the accent roofs will be covered in copper with a verde finish. Ms. Ray reviewed several images with the Board. Sea Pines ARB

has approved the project with conditions. The staff recommends that the project be approved as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Cliff McMackin, Director of Report Development for Sea Pines, presented brief statements in support of the application. The Board and the applicant discussed the project. Each of the Board members complimented the quality of the project. Chairman Sodemann and the applicant briefly discussed the changes since the last submission. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion** to **approve** the Final application for the Harbour Town Golf Course Clubhouse, DR130041 as submitted. Vice Chairman Welch **seconded** the motion and the motion **passed** with a vote of 5-0-0.

**10. Appearance by Citizens**

None

**11. Adjournment**

The meeting was adjourned at 1:30p.m.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Administrative Assistance

\_\_\_\_\_  
Scott Sodemann  
Chairman



**Town of Hilton Head Island**  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

**FOR OFFICIAL USE ONLY**  
 Date Received: 1/21/14  
 Accepted by: [Signature]  
 App. #: DR  
 Meeting Date: 2/11/14

Applicant/Agent Name: Jennifer Ray Company: TOHH  
 Mailing Address: one town center ct. City: HHI State: SC Zip: 29928  
 Telephone: 341-4605 Fax: \_\_\_\_\_ E-mail: jenniferr@hiltonheadisland  
 Project Name: Chaplin Linear Park Project Address: Town Hall sc.gov  
 Parcel Number [PIN]: R \_\_\_\_\_ \* will provide list of parcels  
 Zoning District: PR Overlay District(s): CO

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  Alteration/Addition  
 New Development – Final, indicate Project Number  Minor External Change

Submittal Requirements for *All* projects:

n/a Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

n/a Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.





## **Chaplin Greenway**

Design Review Board  
Feb. 11, 2014  
Conceptual Review

This greenway will link Veterans Memorial Park, and by extension the new waterfront park to the Atlantic beach. It is more than just a trail, this greenway is a destination park for visitors and residents. The trail is anchored at the East end by Veterans Memorial Park and the proposed parking and fishing dock facilities off Shelter Cove Lane. On the West end, the trail is anchored by proposed parking, beach facilities and beach access that also terminate Burkes Beach Road. By walking the length of this trail, pedestrians walk across a sea island.

During analysis of the site key areas or nodes were identified for their recreational, environmental or historic importance along with views and existing land use. This analysis along with safety considerations and accessibility influenced the trail alignment.

Along this trail the environmental, historic and cultural stories of Hilton Head Island will be told by the structures, in educational signs and by the land itself. The trail passes through vastly different environments from the dynamic folly, the marshes of Broad Creek, the maritime forest to the upland fields and successional forest where we can discuss the flora and fauna unique to those environments. This is also the historic location of Chaplin Plantation giving us the opportunity to talk about how the plantation was divided and sold to Native Islanders after the Civil War. Educational signs can describe how these native islands used the land and what they grew, hunted and fished. From here the discussion can move to the Gullah culture that existed prior to the Civil War, how it flourished afterwards and was influenced by the land and sea.

Historic architectural detailing, materials and forms were used to reinforce the storyline. The tabby facility buildings reflect the Gullah houses and the treehouse / lighthouse concept references back to early development of the island. Educational, informational and way finding signage will be unique to the greenway but will reference to existing town styles.

T:\Projects\201305\03\dwg\Files\_Out\DRB Conceptual\drb narrative.wpd



A wooden signpost stands in a grassy area. The signpost is made of light-colored wood and has a horizontal beam across the top. A sign is hanging from the beam. The sign has a dark background with white text. The text reads "THE VETERANS MEMORIAL" in large, bold, sans-serif capital letters. Below this, there is a horizontal line with a diamond shape in the center. Underneath the line, the text "at SHELTER COVE" is written in a smaller, sans-serif font. At the bottom of the sign, "COMMUNITY PARK" is written in the same large, bold, sans-serif capital letters as the top line. The background shows a wooden fence, tall grass, and trees under an overcast sky.

THE VETERANS  
MEMORIAL  
—◆—  
at SHELTER COVE  
COMMUNITY PARK



★ MEMORIAL DAY ★

The Memorial Day observance began in 1868, when General John G. Gardner of the U.S. Army ordered that the graves of soldiers who had died in the Civil War be decorated with flowers. The practice spread to other parts of the country, and by 1888, Memorial Day was being celebrated in many states. In 1968, Congress passed a law that designated the last Monday in May as the official day for Memorial Day observances. Today, Memorial Day is a federal holiday in the United States, and it is celebrated in many ways, including parades, picnics, and the playing of the national anthem.

★ VETERANS DAY ★

Veterans Day is a federal holiday in the United States that is observed on November 11th each year. It is a day to honor and remember the men and women who have served in the United States Armed Forces. The holiday was originally known as Armistice Day, and it was established in 1954. Today, Veterans Day is celebrated in many ways, including parades, picnics, and the playing of the national anthem.

★ THE HISTORY OF THE MEMORIAL ★

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35

35





Sea Front La

ROAD ENDS



LEGEND & SYMBOLS:

|  |   |
|--|---|
| <p>TREE SIZES ARE INCHES IN DIAMETER</p> <p>SPOT ELEVATION</p> <p>CONTOUR</p> <p>3" CONCRETE MONUMENT FOUND</p> <p>TEMPORARY BENCH MARK</p> <p>INVERT ELEVATION</p> <p>FINISHED FLOOR ELEVATION</p> <p>POLYVINYL CHLORIDE</p> <p>CORRUGATED PLASTIC PIPE</p> <p>REINFORCED CONCRETE PIPE</p> <p>HIGH DENSITY POLYETHYLENE PIPE</p> <p>LIVE OAK</p> <p>LAUREL OAK</p> <p>MAGNOLIA</p> <p>RED OAK</p> <p>PINE</p> <p>PALM</p> <p>WATER OAK</p> <p>CYPRESS</p> <p>WAX MYRTLE</p> <p>CEDAR</p> <p>TURKEY OAK</p> <p>GUM</p> <p>TUPELO</p> <p>BIRCH</p> <p>HOLLY</p> <p>HICKORY</p> | <p>ELECTRIC SERVICE</p> <p>ELECTRIC TRANSFORMER</p> <p>TELEPHONE SERVICE</p> <p>TELEVISION SERVICE</p> <p>WATER METER</p> <p>VALVE BOX</p> <p>IRRIGATION CONTROL VALVE</p> <p>SANITARY MANHOLE</p> <p>STORM MANHOLE</p> <p>FIRE HYDRANT</p> <p>UTILITY POLE</p> <p>GUY</p> <p>SIGN</p> <p>LIGHT POLE</p> <p>FLOOD LIGHT</p> <p>CATCH BASIN</p> <p>MAIL BOX</p> <p>—OHP— OVERHEAD POWER LINE</p> |
|--|---|

NOTES:

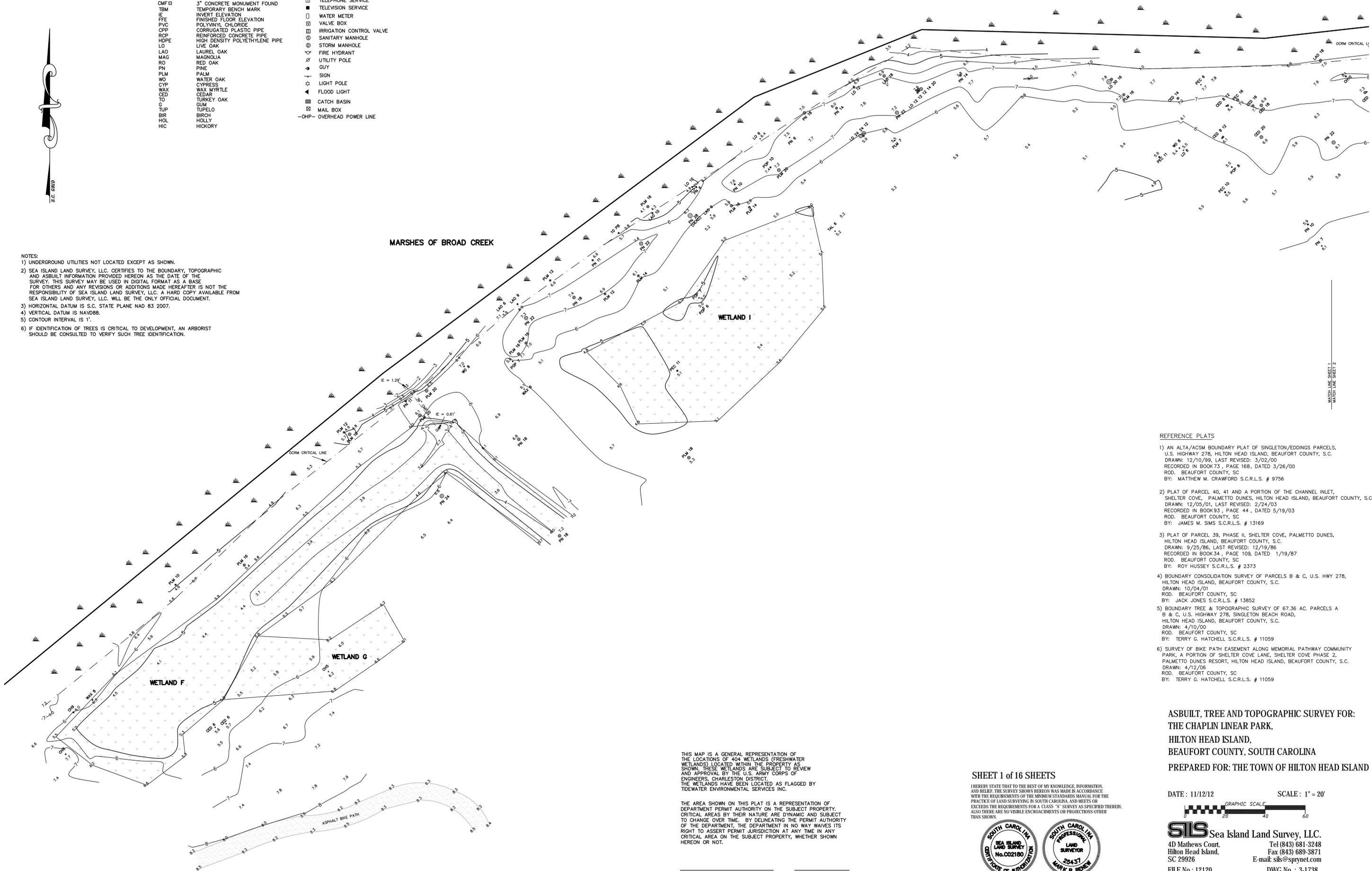
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
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- 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83 2007.
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MARSHES OF BROAD CREEK

WETLAND I

WETLAND G

WETLAND F



REFERENCE PLATS

- 1) AN ALTA/ACSM BOUNDARY PLAT OF SINGLETON/EDDINGS PARCELS, U.S. HIGHWAY 278, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 12/10/99, LAST REVISED: 3/02/00 RECORDED IN BOOK 73, PAGE 168, DATED 3/26/00 ROD. BEAUFORT COUNTY, SC BY: MATTHEW M. CRAWFORD S.C.R.L.S. # 9756
- 2) PLAT OF PARCEL 40, 41 AND A PORTION OF THE CHANNEL INLET, SHELTER COVE, PALMETTO DUNES, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 12/05/01, LAST REVISED: 2/24/03 RECORDED IN BOOK 93, PAGE 44, DATED 5/19/03 ROD. BEAUFORT COUNTY, SC BY: JAMES M. SIMS S.C.R.L.S. # 13169
- 3) PLAT OF PARCEL 39, PHASE II, SHELTER COVE, PALMETTO DUNES, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 9/25/86, LAST REVISED: 12/19/86 RECORDED IN BOOK 34, PAGE 109, DATED 1/19/87 ROD. BEAUFORT COUNTY, SC BY: ROY HUSSEY S.C.R.L.S. # 2373
- 4) BOUNDARY CONSOLIDATION SURVEY OF PARCELS B & C, U.S. HWY 278, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 10/04/01 ROD. BEAUFORT COUNTY, SC BY: JACK JONES S.C.R.L.S. # 13852
- 5) BOUNDARY TREE & TOPOGRAPHIC SURVEY OF 67.36 AC. PARCELS A & C, U.S. HIGHWAY 278, SINGLETON BEACH ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/10/00 ROD. BEAUFORT COUNTY, SC BY: TERRY G. HATCHELL S.C.R.L.S. # 11059
- 6) SURVEY OF BIKE PATH EASEMENT ALONG MEMORIAL PATHWAY COMMUNITY PARK, A PORTION OF SHELTER COVE LANE, SHELTER COVE PHASE 2, PALMETTO DUNES RESORT, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/12/06 ROD. BEAUFORT COUNTY, SC BY: TERRY G. HATCHELL S.C.R.L.S. # 11059

ASBLUT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

THIS MAP IS A GENERAL REPRESENTATION OF THE LOCATIONS OF 404 WETLANDS (FRESHWATER WETLANDS) LOCATED WITHIN THE PROPERTY AS SHOWN. THESE WETLANDS ARE SUBJECT TO REVIEW AND APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, CHARLESTON DISTRICT. THE WETLANDS HAVE BEEN LOCATED AS FLAGGED BY TIDEWATER ENVIRONMENTAL SERVICES INC.

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

SHEET 1 of 16 SHEETS

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



NOT VALID UNLESS EMBOSSED.

DATE: 11/12/12 SCALE: 1" = 20'



**SIL** Sea Island Land Survey, LLC.  
 40 Mathews Court, Tel (843) 681-3248  
 Hilton Head Island, SC 29926, Fax (843) 689-3871  
 E-mail: sils@splynet.com  
 FILE No.: 12120 DWG No.: 3-1738

LEGEND & SYMBOLS:

|                                   |   |                           |
|-----------------------------------|---|---------------------------|
| TREE SIZES ARE INCHES IN DIAMETER | ⊕ | ELECTRIC SERVICE          |
| ○                                 | ⊕ | ELECTRIC TRANSFORMER      |
| CMFB                              | ⊕ | TELEPHONE SERVICE         |
| TBM                               | ⊕ | TELEVISION SERVICE        |
| IE                                | ○ | WATER METER               |
| FFE                               | ⊕ | VALVE BOX                 |
| PVC                               | ⊕ | IRRIGATION CONTROL VALVE  |
| CPP                               | ⊕ | SANITARY MANHOLE          |
| RCP                               | ⊕ | STORM MANHOLE             |
| HDPE                              | ⊕ | FIRE HYDRANT              |
| LO                                | ⊕ | UTILITY POLE              |
| LAO                               | ⊕ | GUY                       |
| MAG                               | ⊕ | SIGN                      |
| RO                                | ⊕ | LIGHT POLE                |
| PN                                | ⊕ | FLOOD LIGHT               |
| PLM                               | ⊕ | CATCH BASIN               |
| WO                                | ⊕ | MAIL BOX                  |
| CYP                               | ⊕ | —OHP— OVERHEAD POWER LINE |
| WAX                               | ⊕ |                           |
| CED                               | ⊕ |                           |
| TO                                | ⊕ |                           |
| G                                 | ⊕ |                           |
| TUP                               | ⊕ |                           |
| BIR                               | ⊕ |                           |
| HOL                               | ⊕ |                           |
| HIC                               | ⊕ |                           |



MARSHES OF BROAD CREEK

CRITICAL AREA LAGOON

R520 012 00C 0002 0000  
TOWN OF HILTON HEAD ISLAND SC  
ONE TOWN CENTER CT  
HILTON HEAD ISLAND SC 29928

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SHEET 2 of 16 SHEETS

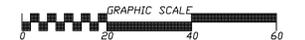
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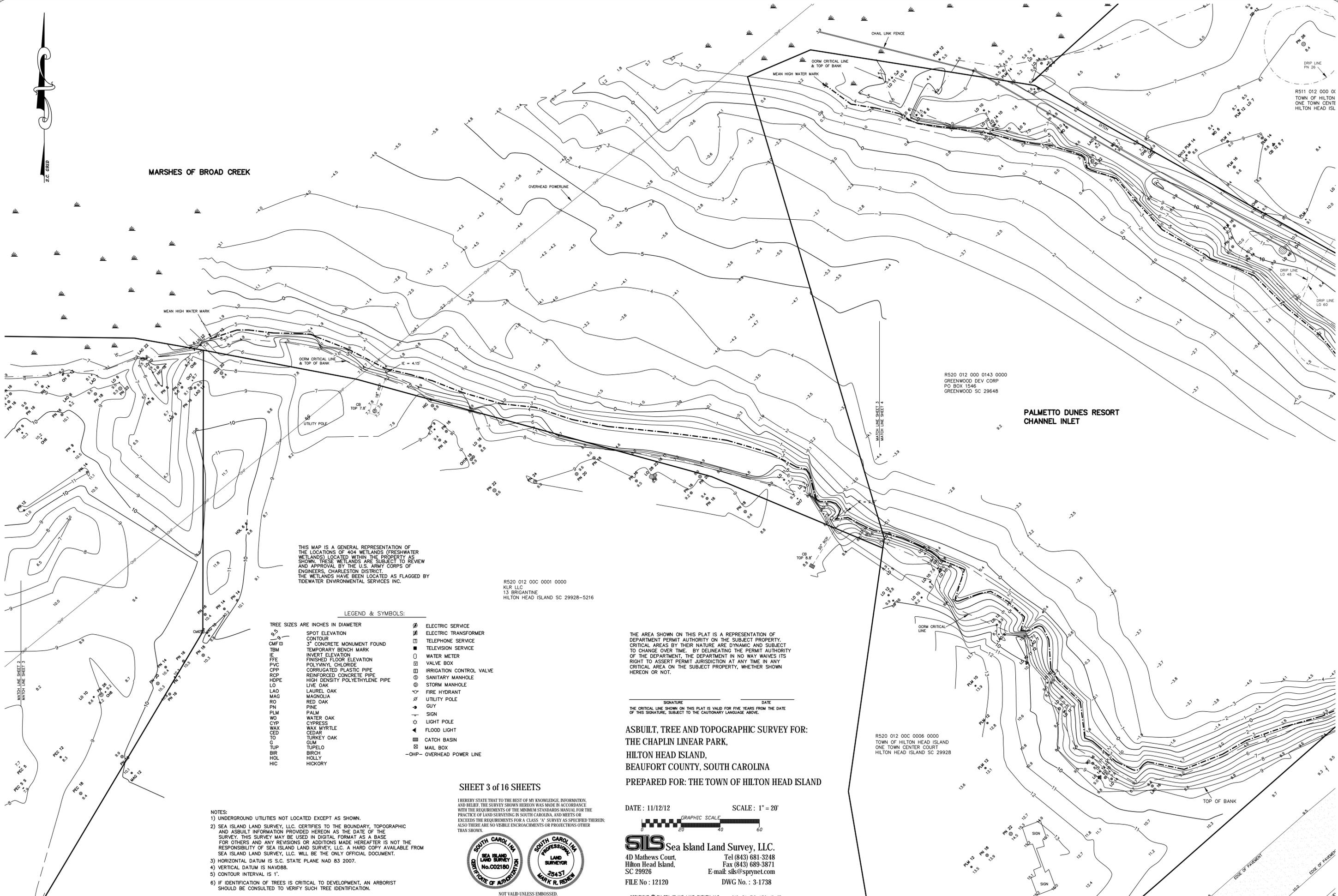
ASBLUIT, TREE AND TOPOGRAPHIC SURVEY FOR:  
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HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



**SILS** Sea Island Land Survey, LLC.  
4D Mathews Court, Tel (843) 681-3248  
Hilton Head Island, Fax (843) 689-3871  
SC 29926 E-mail: sils@sprynet.com  
FILE No. : 12120 DWG No. : 3-1738

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MARSHES OF BROAD CREEK

PALMETTO DUNES RESORT  
CHANNEL INLET

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R520 012 000 0001 0000  
KLR LLC  
13 BRIGANTINE  
HILTON HEAD ISLAND SC 29928-5216

R520 012 000 0143 0000  
GREENWOOD DEV CORP  
PO BOX 1546  
GREENWOOD SC 29648

LEGEND & SYMBOLS:

|   |   |
|---|---|
| <p>TREE SIZES ARE INCHES IN DIAMETER</p> <p>SPOT ELEVATION</p> <p>CONTOUR</p> <p>CMF 3" CONCRETE MONUMENT FOUND</p> <p>TBM TEMPORARY BENCH MARK</p> <p>IE INVERT ELEVATION</p> <p>FFE FINISHED FLOOR ELEVATION</p> <p>PVC POLYVINYL CHLORIDE</p> <p>CPP CORRUGATED PLASTIC PIPE</p> <p>RCP REINFORCED CONCRETE PIPE</p> <p>HDPE HIGH DENSITY POLYETHYLENE PIPE</p> <p>LO LIVE OAK</p> <p>LAO LAUREL OAK</p> <p>MAG MAGNOLIA</p> <p>RO RED OAK</p> <p>PN PINE</p> <p>PLM PALM</p> <p>WO WATER OAK</p> <p>CYP CYPRESS</p> <p>WAX WAX MYRTLE</p> <p>CED CEDAR</p> <p>TO TURKEY OAK</p> <p>G GUM</p> <p>TUP TUPELO</p> <p>BIR BIRCH</p> <p>HOL HOLLY</p> <p>HIC HICKORY</p> | <p>ELECTRIC SERVICE</p> <p>ELECTRIC TRANSFORMER</p> <p>TELEPHONE SERVICE</p> <p>TELEVISION SERVICE</p> <p>WATER METER</p> <p>VALVE BOX</p> <p>IRRIGATION CONTROL VALVE</p> <p>SANITARY MANHOLE</p> <p>STORM MANHOLE</p> <p>FIRE HYDRANT</p> <p>UTILITY POLE</p> <p>QUY</p> <p>SIGN</p> <p>LIGHT POLE</p> <p>FLOOD LIGHT</p> <p>CATCH BASIN</p> <p>MAIL BOX</p> <p>-OHP- OVERHEAD POWER LINE</p> |
|---|---|

SHEET 3 of 16 SHEETS

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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
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ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
THE CHAPLIN LINEAR PARK,  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



**SIS** Sea Island Land Survey, LLC.  
4D Mathews Court, Hilton Head Island, SC 29926  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: sis@sprynet.com  
FILE No.: 12120 DWG No.: 3-1738

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NOTES:

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- 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83 2007.
- 4) VERTICAL DATUM IS NAVD88.
- 5) CONTOUR INTERVAL IS 1'.
- 6) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

R511 012 000 00  
TOWN OF HILTON  
ONE TOWN CENTER  
HILTON HEAD ISL

MATCH LINE SHEET 3

MATCH LINE SHEET 4

MATCH LINE SHEET 1

MATCH LINE SHEET 2

MATCH LINE SHEET 5

MATCH LINE SHEET 6

MATCH LINE SHEET 7

MATCH LINE SHEET 8

MATCH LINE SHEET 9

EDGE OF PARCELS

EDGE OF PARCELS



ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE CHAPLIN LINEAR PARK,  
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 BEAUFORT COUNTY, SOUTH CAROLINA  
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DATE: 11/12/12 SCALE: 1" = 20'

GRAPHIC SCALE  
 0 20 40 60  
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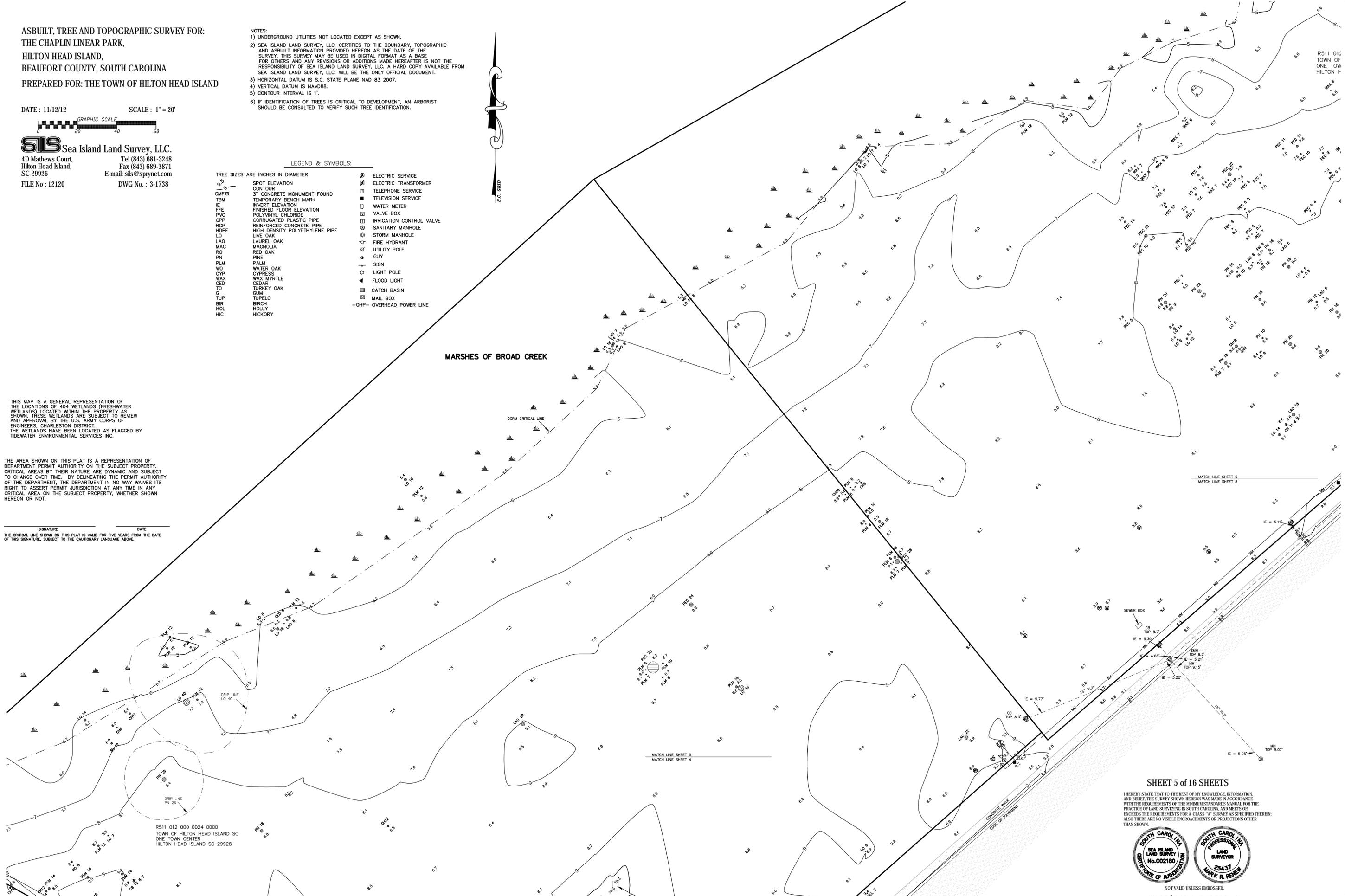
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LEGEND & SYMBOLS:

|      |                                |       |                          |
|------|--------------------------------|-------|--------------------------|
| ○    | SPOT ELEVATION                 | ⊕     | ELECTRIC SERVICE         |
| —    | CONTOUR                        | ⊕     | ELECTRIC TRANSFORMER     |
| ⊕    | 3" CONCRETE MONUMENT FOUND     | ⊕     | TELEPHONE SERVICE        |
| ⊕    | TEMPORARY BENCH MARK           | ⊕     | TELEVISION SERVICE       |
| IE   | INVERT ELEVATION               | ⊕     | WATER METER              |
| FFE  | FINISHED FLOOR ELEVATION       | ⊕     | VALVE BOX                |
| PVC  | POLYVINYL CHLORIDE             | ⊕     | IRRIGATION CONTROL VALVE |
| CPP  | CORRUGATED PLASTIC PIPE        | ⊕     | SANITARY MANHOLE         |
| RCP  | REINFORCED CONCRETE PIPE       | ⊕     | STORM MANHOLE            |
| HDPE | HIGH DENSITY POLYETHYLENE PIPE | ⊕     | FIRE HYDRANT             |
| LO   | LIVE OAK                       | ⊕     | UTILITY POLE             |
| LAO  | LAUREL OAK                     | ⊕     | GUY                      |
| MAG  | MAGNOLIA                       | ⊕     | SIGN                     |
| RO   | RED OAK                        | ⊕     | LIGHT POLE               |
| PN   | PINE                           | ⊕     | FLOOD LIGHT              |
| PLM  | PALM                           | ⊕     | CATCH BASIN              |
| WO   | WATER OAK                      | ⊕     | MAIL BOX                 |
| CYP  | CYPRESS                        | —OHP— | OVERHEAD POWER LINE      |
| WAX  | WAX MYRTLE                     |       |                          |
| CED  | CEDAR                          |       |                          |
| TO   | TURKEY OAK                     |       |                          |
| U    | TUPELO                         |       |                          |
| BIR  | BIRCH                          |       |                          |
| HOL  | HOLLY                          |       |                          |
| HIC  | HICKORY                        |       |                          |



MARSHES OF BROAD CREEK



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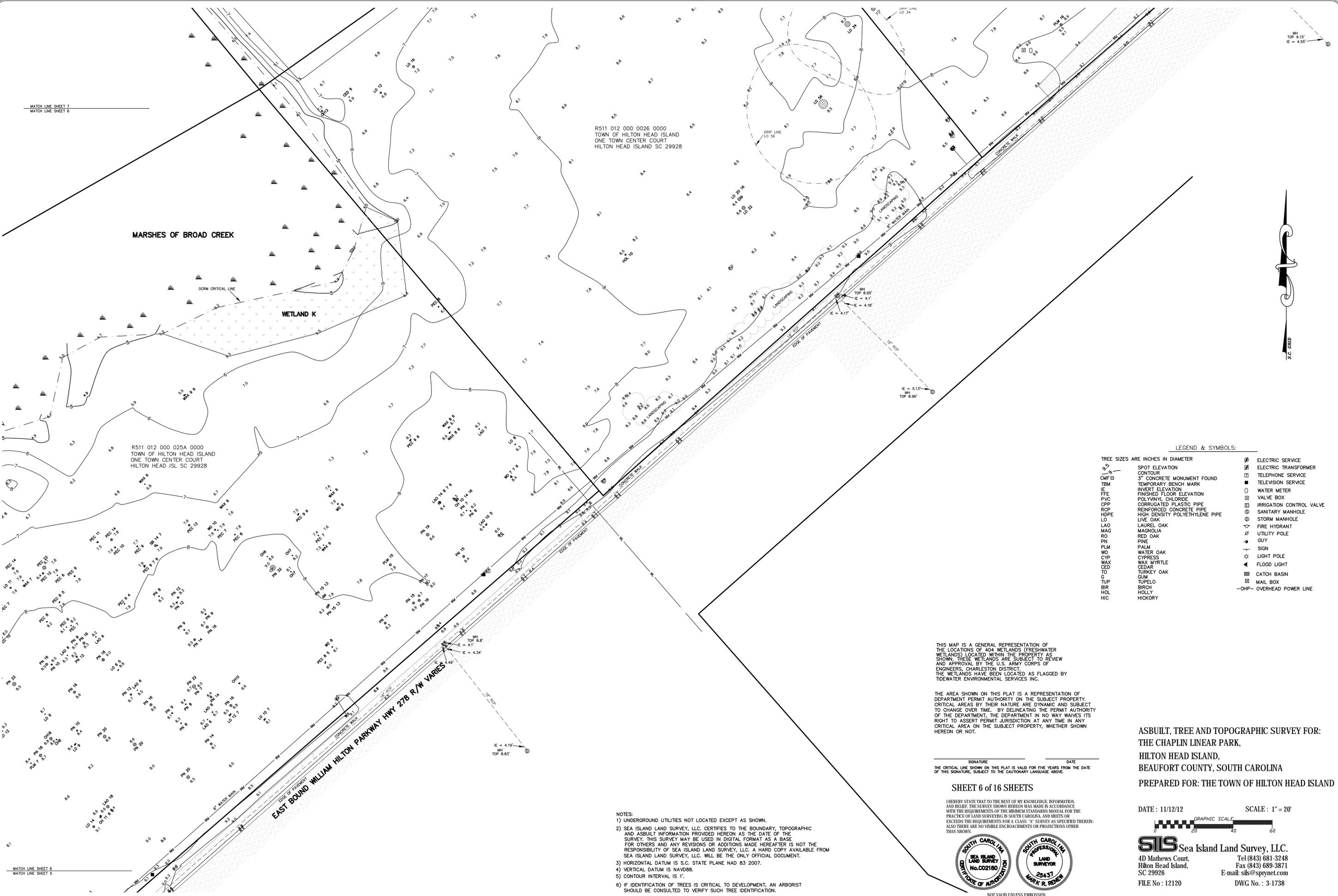
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
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R511 012 000 0024 0000  
 TOWN OF HILTON HEAD ISLAND SC  
 ONE TOWN CENTER  
 HILTON HEAD ISLAND SC 29928

SHEET 5 of 16 SHEETS

HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.





R511 012 000 0026 0000  
TOWN OF HILTON HEAD ISLAND  
ONE TOWN CENTER COURT  
HILTON HEAD ISLAND SC 29928

MARSHES OF BROAD CREEK

WETLAND K

R511 012 000 025A 0000  
TOWN OF HILTON HEAD ISLAND  
ONE TOWN CENTER COURT  
HILTON HEAD ISL SC 29928

EAST BOUND WILLIAM HILTON PARKWAY HWY 278 R/W VARIES

LEGEND & SYMBOLS:

|   |   |
|---|---|
| <p>TREE SIZES ARE INCHES IN DIAMETER</p> <p>SPOT ELEVATION</p> <p>CONTOUR</p> <p>3" CONCRETE MONUMENT FOUND</p> <p>TEMPORARY BENCH MARK</p> <p>INVERT ELEVATION</p> <p>FINISHED FLOOR ELEVATION</p> <p>POLYVINYL CHLORIDE</p> <p>CORRUGATED PLASTIC PIPE</p> <p>REINFORCED CONCRETE PIPE</p> <p>HDPPE</p> <p>LIVE OAK</p> <p>LAUREL OAK</p> <p>MAGNOLIA</p> <p>RED OAK</p> <p>PINE</p> <p>PALM</p> <p>WATER OAK</p> <p>CYPRESS</p> <p>WAX MYRTLE</p> <p>CEDAR</p> <p>TURKEY OAK</p> <p>GUM</p> <p>TUPELO</p> <p>BIRCH</p> <p>HOLLY</p> <p>HICKORY</p> | <p>ELECTRIC SERVICE</p> <p>ELECTRIC TRANSFORMER</p> <p>TELEPHONE SERVICE</p> <p>TELEVISION SERVICE</p> <p>WATER METER</p> <p>VALVE BOX</p> <p>IRRIGATION CONTROL VALVE</p> <p>SANITARY MANHOLE</p> <p>STORM MANHOLE</p> <p>FIRE HYDRANT</p> <p>UTILITY POLE</p> <p>GUY</p> <p>SIGN</p> <p>LIGHT POLE</p> <p>FLOOD LIGHT</p> <p>CATCH BASIN</p> <p>MAIL BOX</p> <p>-OHP- OVERHEAD POWER LINE</p> |
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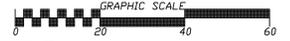


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ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
THE CHAPLIN LINEAR PARK,  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



**SILS** Sea Island Land Survey, LLC.  
4D Mathews Court, Tel (843) 681-3248  
Hilton Head Island, Fax (843) 689-3871  
SC 29926 E-mail: sils@sptynet.com  
FILE No. : 12120 DWG No. : 3-1738

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ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
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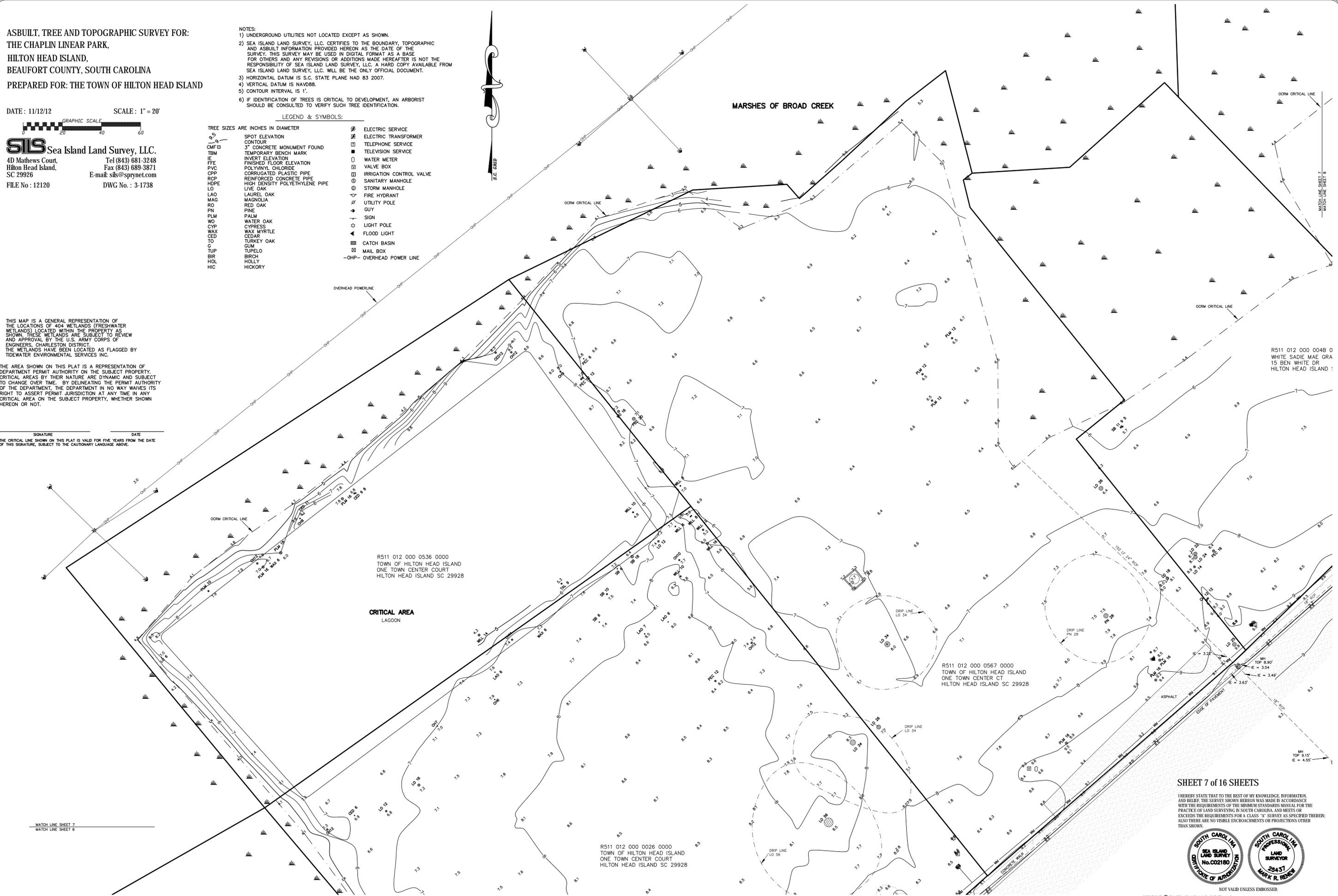
LEGEND & SYMBOLS:

|   |  |
|---|--|
| <p>TREE SIZES ARE INCHES IN DIAMETER</p> <ul style="list-style-type: none"> <li>○ SPOT ELEVATION</li> <li>— CONTOUR</li> <li>□ 3" CONCRETE MONUMENT FOUND</li> <li>○ TEMPORARY BENCH MARK</li> <li>▽ INVERT ELEVATION</li> <li>— FINISHED FLOOR ELEVATION</li> <li>— POLYVINYL CHLORIDE</li> <li>— CORRUGATED PLASTIC PIPE</li> <li>— REINFORCED CONCRETE PIPE</li> <li>— HIGH DENSITY POLYETHYLENE PIPE</li> <li>— LIVE OAK</li> <li>— LAUREL OAK</li> <li>— MAGNOLIA</li> <li>— RED OAK</li> <li>— PINE</li> <li>— PALM</li> <li>— WATER OAK</li> <li>— CYPRESS</li> <li>— WAX MYRTLE</li> <li>— CEDAR</li> <li>— TURKEY OAK</li> <li>— GUM</li> <li>— TUPELO</li> <li>— BIRCH</li> <li>— HOLLY</li> <li>— HICKORY</li> </ul> | <ul style="list-style-type: none"> <li>⊕ ELECTRIC SERVICE</li> <li>⊕ ELECTRIC TRANSFORMER</li> <li>⊕ TELEPHONE SERVICE</li> <li>⊕ TELEVISION SERVICE</li> <li>⊕ WATER METER</li> <li>⊕ VALVE BOX</li> <li>⊕ IRRIGATION CONTROL VALVE</li> <li>⊕ SANITARY MANHOLE</li> <li>⊕ STORM MANHOLE</li> <li>⊕ FIRE HYDRANT</li> <li>⊕ UTILITY POLE</li> <li>⊕ GUY</li> <li>⊕ SIGN</li> <li>⊕ LIGHT POLE</li> <li>⊕ FLOOD LIGHT</li> <li>⊕ CATCH BASIN</li> <li>⊕ MAIL BOX</li> <li>—OHP— OVERHEAD POWER LINE</li> </ul> |
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SHEET 7 of 16 SHEETS

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NOT VALID UNLESS EMBOSSED

R511 012 000 002C 0000  
 TOWN OF HILTON HEAD ISL FORD CLARENCE  
 ONE TOWN CENTER CT  
 HILTON HEAD ISLAND SC 29928

MATCH LINE SHEET 9  
 MATCH LINE SHEET 8

R511 012 000 0005 0000  
 FORD HELEN M  
 PO BOX 6262  
 HILTON HEAD ISLAND SC 29938

311 012 000 004B 0000  
 HITE SADIE MAE GRANT  
 BEN WHITE DR  
 TON HEAD ISLAND SC 29926

R510 012 000 0002 0000  
 TOWN OF HILTON HEAD ISLAND  
 ONE TOWN CENTER COURT  
 HILTON HEAD ISLAND SC 29928

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**SHEET 8 of 16 SHEETS**

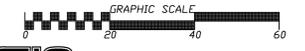
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 Tel (843) 681-3248 Fax (843) 689-3871  
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 FILE No.: 12120

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3' EASEMENT TO HARGRAY TELEPHONE CO. BEING MEASURED FROM BACK OF SIDEWALK

25' EASEMENT TO CAPITAL UTILITIES CORP. AND PALMETO ELECTRIC COOP. BEING MEASURED FROM 6" BACK OF SIDEWALK



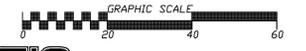
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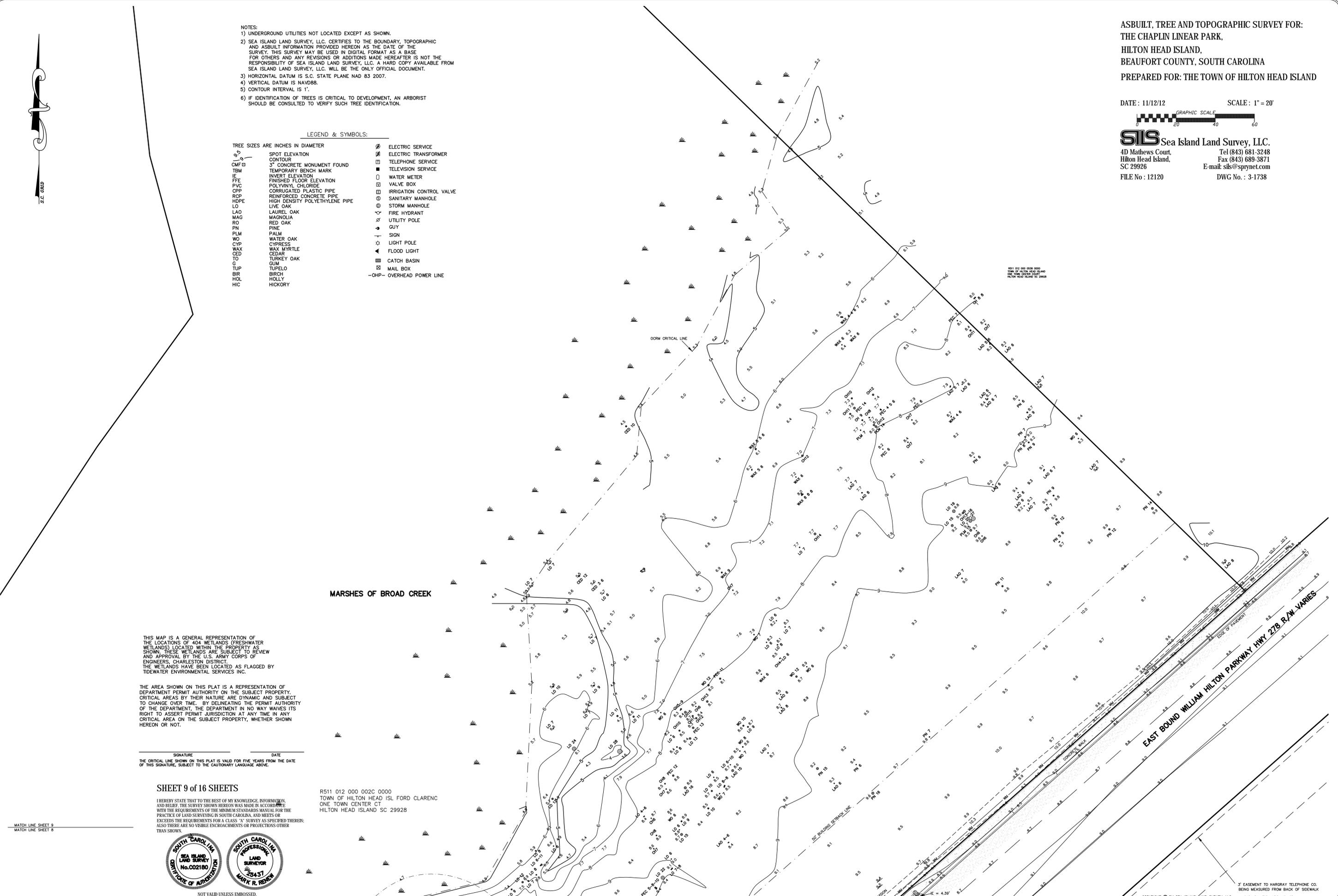
|                                   |   |                           |
|-----------------------------------|---|---------------------------|
| TREE SIZES ARE INCHES IN DIAMETER | ⊗ | ELECTRIC SERVICE          |
| ⊙                                 | ⊗ | ELECTRIC TRANSFORMER      |
| SPOT ELEVATION                    | ⊗ | TELEPHONE SERVICE         |
| CONTOUR                           | ⊗ | TELEVISION SERVICE        |
| 3" CONCRETE MONUMENT FOUND        | ⊗ | WATER METER               |
| TBM                               | ⊗ | VALVE BOX                 |
| IE                                | ⊗ | IRRIGATION CONTROL VALVE  |
| FFE                               | ⊗ | SANITARY MANHOLE          |
| PVC                               | ⊗ | STORM MANHOLE             |
| CPP                               | ⊗ | FIRE HYDRANT              |
| RCP                               | ⊗ | UTILITY POLE              |
| HDPE                              | ⊗ | GUY                       |
| LO                                | ⊗ | SIGN                      |
| LAO                               | ⊗ | LIGHT POLE                |
| MAG                               | ⊗ | FLOOD LIGHT               |
| RO                                | ⊗ | CATCH BASIN               |
| PN                                | ⊗ | MAIL BOX                  |
| PLM                               | ⊗ | -OHP- OVERHEAD POWER LINE |
| WO                                | ⊗ |                           |
| CYP                               | ⊗ |                           |
| WAX                               | ⊗ |                           |
| CED                               | ⊗ |                           |
| TO                                | ⊗ |                           |
| TUP                               | ⊗ |                           |
| BIR                               | ⊗ |                           |
| HOL                               | ⊗ |                           |
| HIC                               | ⊗ |                           |

ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



**SIS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Tel (843) 681-3248  
 Hilton Head Island, Fax (843) 689-3871  
 SC 29926 E-mail: sis@sprynet.com  
 FILE No: 12120 DWG No.: 3-1738



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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

**SHEET 9 of 16 SHEETS**

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

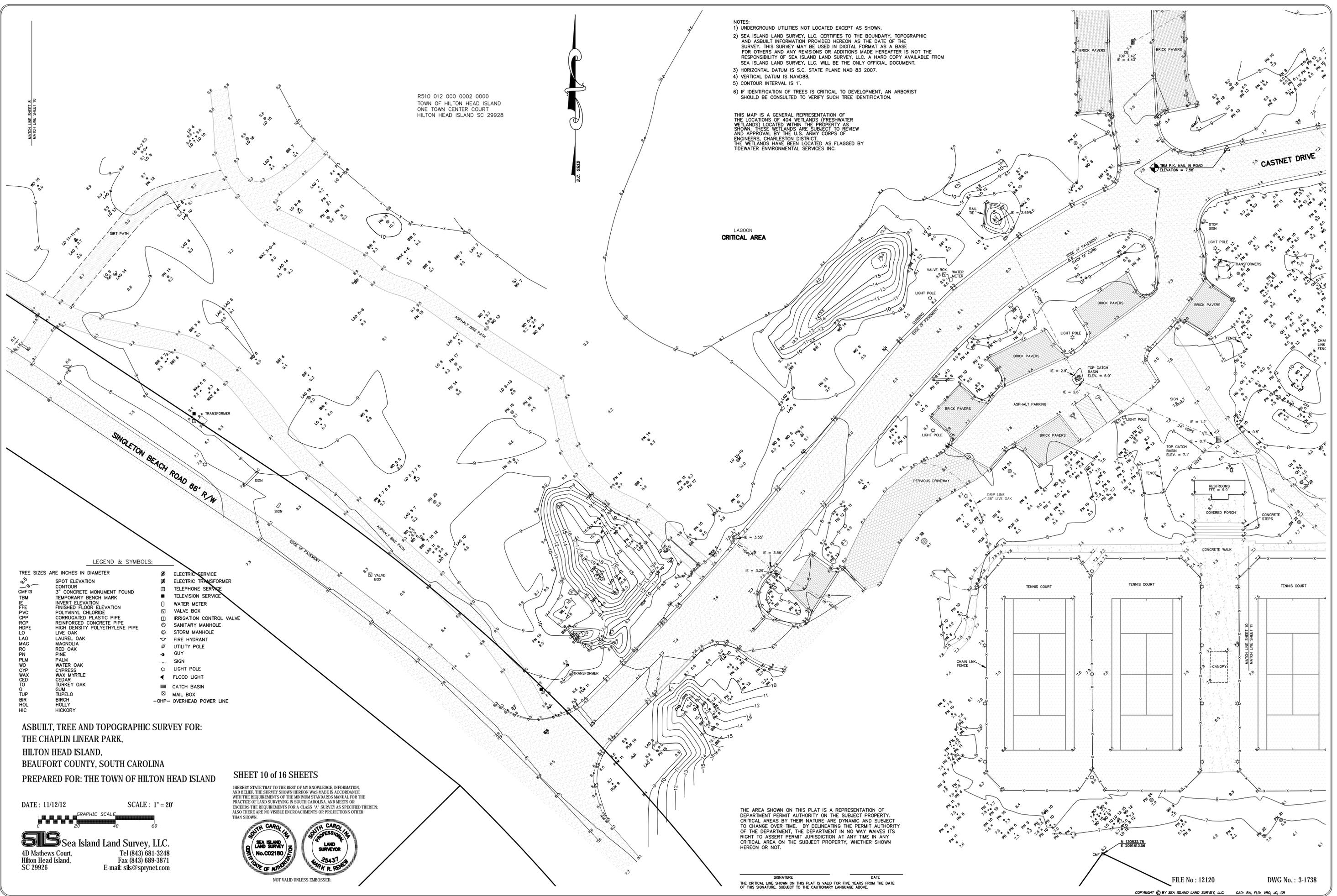
R511 012 000 002C 0000  
 TOWN OF HILTON HEAD ISL FORD CLARENCE  
 ONE TOWN CENTER CT  
 HILTON HEAD ISLAND SC 29928



R510 012 000 0002 0000  
 TOWN OF HILTON HEAD ISLAND  
 ONE TOWN CENTER COURT  
 HILTON HEAD ISLAND SC 29928

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) SEA ISLAND LAND SURVEY, LLC, CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83 2007.
  - 4) VERTICAL DATUM IS NAVD88.
  - 5) CONTOUR INTERVAL IS 1'.
  - 6) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

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LEGEND & SYMBOLS:

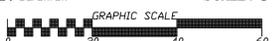
- |                                   |                                |                           |
|-----------------------------------|--------------------------------|---------------------------|
| TREE SIZES ARE INCHES IN DIAMETER | SPOT ELEVATION                 | ELECTRIC SERVICE          |
| CMF                               | CONTOUR                        | ELECTRIC TRANSFORMER      |
| TBM                               | 3" CONCRETE MONUMENT FOUND     | TELEPHONE SERVICE         |
| IE                                | TEMPORARY BENCH MARK           | TELEVISION SERVICE        |
| PVC                               | INVERT ELEVATION               | WATER METER               |
| CPP                               | FINISHED FLOOR ELEVATION       | VALVE BOX                 |
| ROP                               | POLYVINYL CHLORIDE             | IRRIGATION CONTROL VALVE  |
| HDPE                              | CORRUGATED PLASTIC PIPE        | SANITARY MANHOLE          |
| LO                                | REINFORCED CONCRETE PIPE       | STORM MANHOLE             |
| LAO                               | HIGH DENSITY POLYETHYLENE PIPE | FIRE HYDRANT              |
| MAG                               | LIVE OAK                       | UTILITY POLE              |
| RO                                | LAUREL OAK                     | GUY                       |
| PN                                | MAGNOLIA                       | SIGN                      |
| PLM                               | RED OAK                        | LIGHT POLE                |
| WO                                | PINE                           | FLOOD LIGHT               |
| CYP                               | PALM                           | CATCH BASIN               |
| WAX                               | WATER OAK                      | MAIL BOX                  |
| CD                                | CYPRESS                        | -OHP- OVERHEAD POWER LINE |
| TO                                | WAX MYRTLE                     |                           |
| C                                 | CEDAR                          |                           |
| TUP                               | TURKEY OAK                     |                           |
| BIR                               | CUM                            |                           |
| HOL                               | TUPELO                         |                           |
| HIC                               | BIRCH                          |                           |
|                                   | HOLLY                          |                           |
|                                   | HICKORY                        |                           |

ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

SHEET 10 of 16 SHEETS

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MAPPING STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

DATE: 11/12/12 SCALE: 1" = 20'



**SIS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Hilton Head Island, SC 29926  
 Tel (843) 681-3248 Fax (843) 689-3871 E-mail: sis@sprynet.com



NOT VALID UNLESS EMBOSSED.

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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
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FILE No.: 12120 DWG No.: 3-1738

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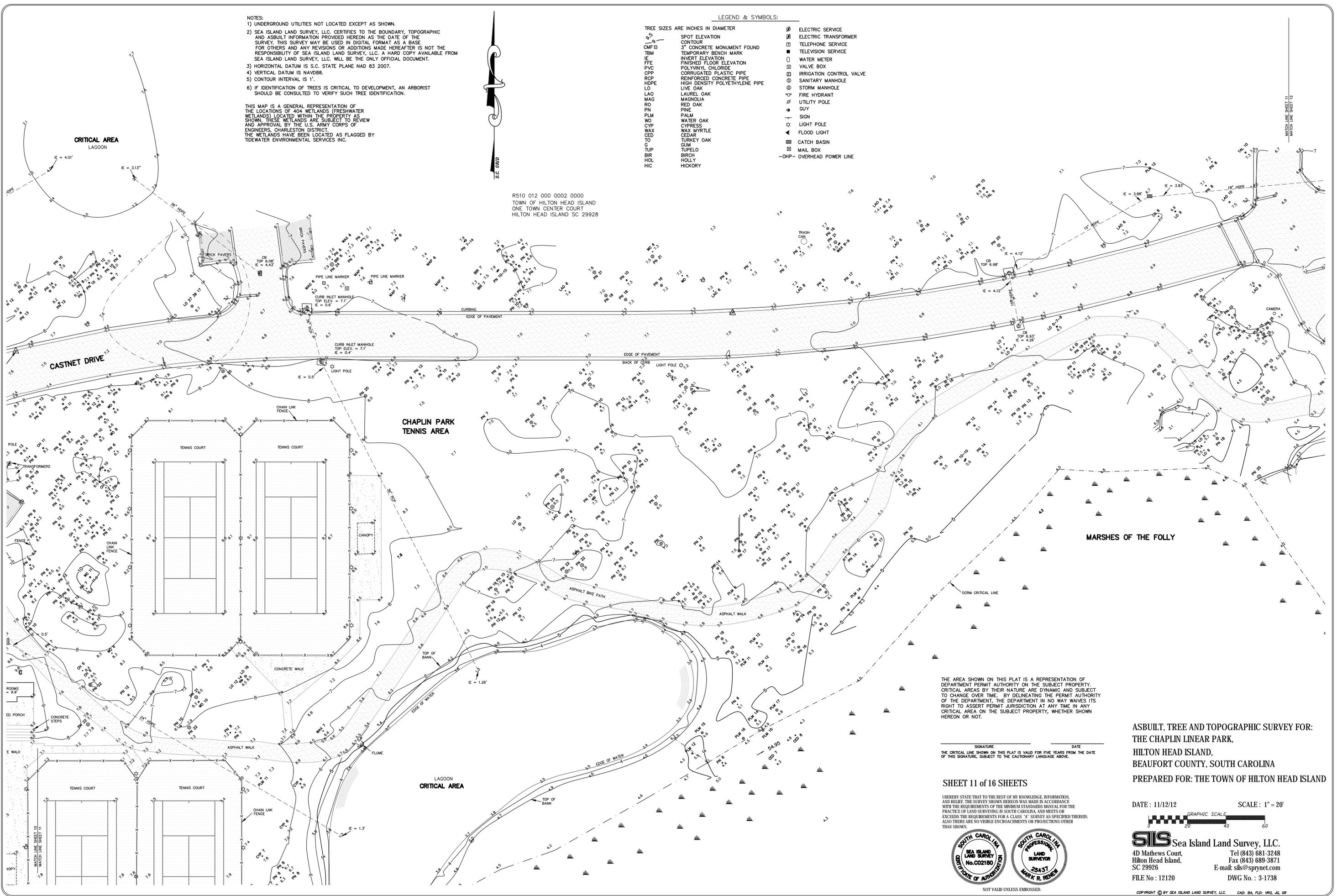
NOTES:  
 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.  
 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.  
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R510 012 000 0002 0000  
 TOWN OF HILTON HEAD ISLAND  
 ONE TOWN CENTER COURT  
 HILTON HEAD ISLAND SC 29928

LEGEND & SYMBOLS:

|   |                                   |   |                          |
|---|-----------------------------------|---|--------------------------|
| ○ | TREE SIZES ARE INCHES IN DIAMETER | ⊗ | ELECTRIC SERVICE         |
| ○ | SPOT ELEVATION                    | ⊗ | ELECTRIC TRANSFORMER     |
| — | CONTOUR                           | ☐ | TELEPHONE SERVICE        |
| — | 3" CONCRETE MONUMENT FOUND        | ☐ | TELEVISION SERVICE       |
| — | TEMPORARY BENCH MARK              | ○ | WATER METER              |
| — | INVERT ELEVATION                  | ⊗ | VALVE BOX                |
| — | FINISHED FLOOR ELEVATION          | ⊗ | IRRIGATION CONTROL VALVE |
| — | POLYVINYL CHLORIDE                | ⊗ | SANITARY MANHOLE         |
| — | CORRUGATED PLASTIC PIPE           | ⊗ | STORM MANHOLE            |
| — | REINFORCED CONCRETE PIPE          | ⊗ | FIRE HYDRANT             |
| — | HIGH DENSITY POLYETHYLENE PIPE    | ⊗ | UTILITY POLE             |
| — | LIVE OAK                          | ⊗ | GUY                      |
| — | LAUREL OAK                        | ⊗ | SIGN                     |
| — | MAGNOLIA                          | ⊗ | LIGHT POLE               |
| — | RED OAK                           | ⊗ | FLOOD LIGHT              |
| — | PINE                              | ⊗ | CATCH BASIN              |
| — | WATER OAK                         | ⊗ | MAIL BOX                 |
| — | CYPRESS                           | — | OVERHEAD POWER LINE      |
| — | WAX MYRTLE                        |   |                          |
| — | CEDAR                             |   |                          |
| — | TURKEY OAK                        |   |                          |
| — | GUM                               |   |                          |
| — | TUPELO                            |   |                          |
| — | BIRCH                             |   |                          |
| — | HOLLY                             |   |                          |
| — | HICKORY                           |   |                          |



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SHEET 11 of 16 SHEETS

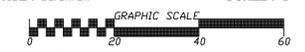
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NOT VALID UNLESS EMBOSSED.

ASBLUIT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



**SILS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Hilton Head Island, SC 29926  
 Tel (843) 681-3248 Fax (843) 689-3871  
 E-mail: sils@sprynet.com  
 FILE No.: 12120 DWG No.: 3-1738

ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
**THE CHAPLIN LINEAR PARK,**  
**HILTON HEAD ISLAND,**  
**BEAUFORT COUNTY, SOUTH CAROLINA**  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

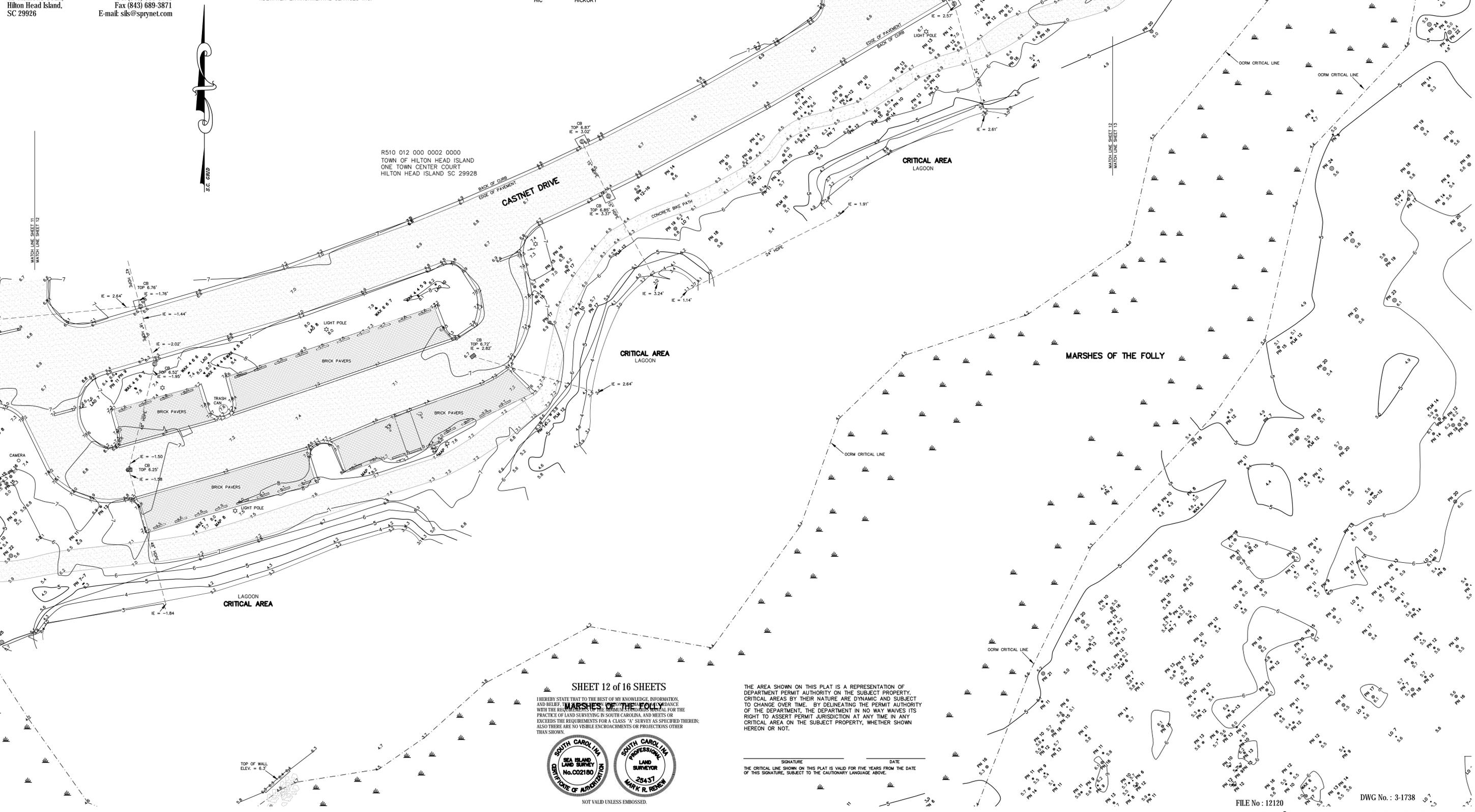
DATE: 11/12/12 SCALE: 1" = 20'

GRAPHIC SCALE  
 0 20 40 60  
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 Tel (843) 681-3248  
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- LEGEND & SYMBOLS:
- |                                   |                            |
|-----------------------------------|----------------------------|
| TREE SIZES ARE INCHES IN DIAMETER | ⊗ ELECTRIC SERVICE         |
| ○ SPOT ELEVATION                  | ⊗ ELECTRIC TRANSFORMER     |
| — CONTOUR                         | ⊗ TELEPHONE SERVICE        |
| ⊕ 3" CONCRETE MONUMENT FOUND      | ⊗ TELEVISION SERVICE       |
| ⊕ TEMPORARY BENCH MARK            | ⊗ WATER METER              |
| ⊕ INVERT ELEVATION                | ⊗ VALVE BOX                |
| ⊕ FINISHED FLOOR ELEVATION        | ⊗ IRRIGATION CONTROL VALVE |
| ⊕ POLYVINYL CHLORIDE              | ⊗ SANITARY MANHOLE         |
| ⊕ CORRUGATED PLASTIC PIPE         | ⊗ STORM MANHOLE            |
| ⊕ REINFORCED CONCRETE PIPE        | ⊗ FIRE HYDRANT             |
| ⊕ HIGH DENSITY POLYETHYLENE PIPE  | ⊗ UTILITY POLE             |
| ⊕ LIVE OAK                        | ⊗ GUY                      |
| ⊕ LAUREL OAK                      | ⊗ SIGN                     |
| ⊕ MAGNOLIA                        | ⊗ LIGHT POLE               |
| ⊕ RED OAK                         | ⊗ FLOOD LIGHT              |
| ⊕ PINE                            | ⊗ CATCH BASIN              |
| ⊕ PALM                            | ⊗ MAIL BOX                 |
| ⊕ WATER OAK                       | ⊗ OVERHEAD POWER LINE      |
| ⊕ WAX MYRTLE                      |                            |
| ⊕ CEDAR                           |                            |
| ⊕ TURKEY OAK                      |                            |
| ⊕ GUM                             |                            |
| ⊕ TUPELO                          |                            |
| ⊕ BIRCH                           |                            |
| ⊕ HOLLY                           |                            |
| ⊕ HICKORY                         |                            |



**SHEET 12 OF 16 SHEETS**

HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE INFORMATION CONTAINED ON THIS PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATION OF THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'A' SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



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 THE CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'

GRAPHIC SCALE  
 0 20 40 60  
**SIS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Hilton Head Island, SC 29926  
 Tel (843) 681-3248  
 Fax (843) 689-3871  
 E-mail: sis@sprynet.com

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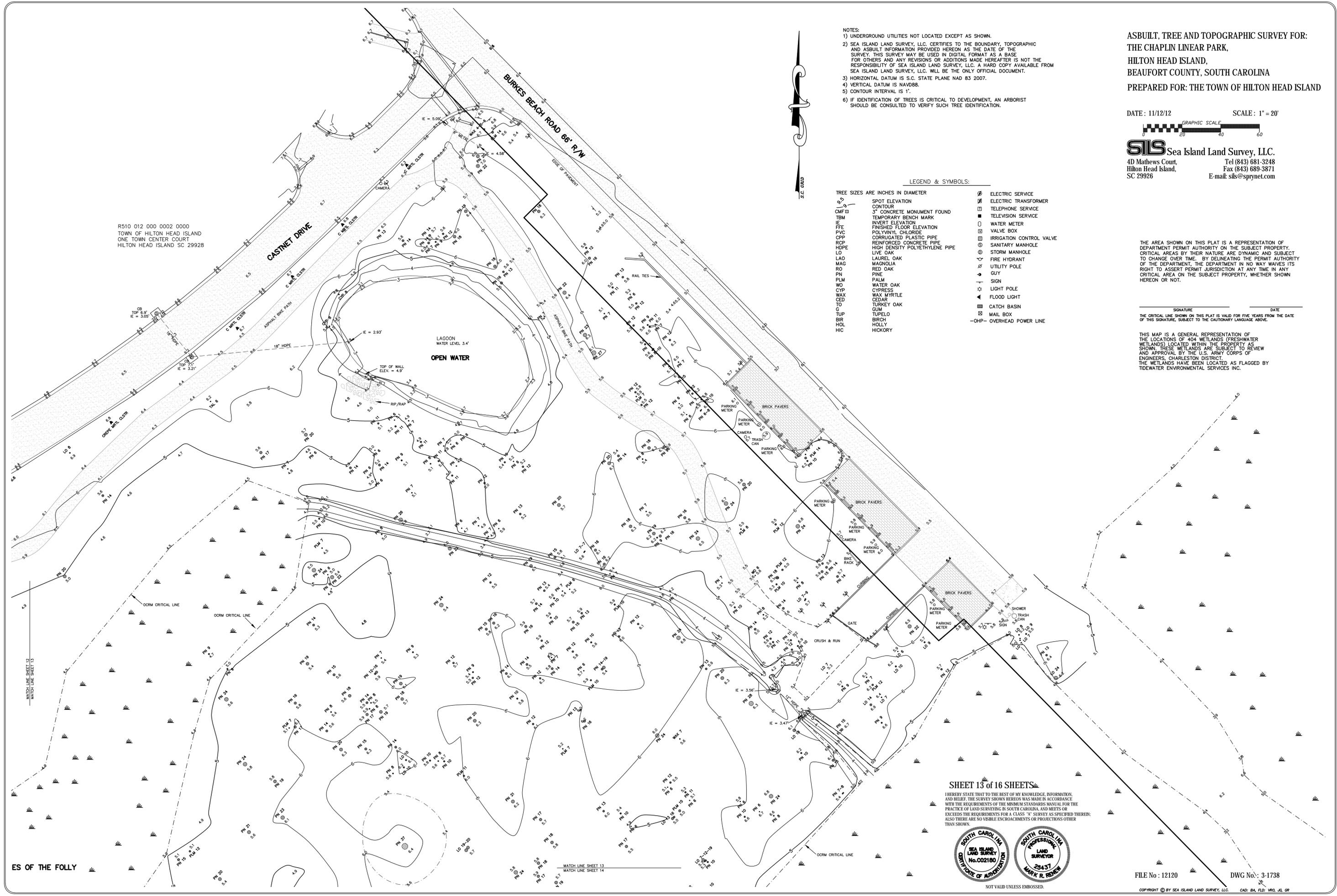
LEGEND & SYMBOLS:

- |                                   |   |                           |
|-----------------------------------|---|---------------------------|
| TREE SIZES ARE INCHES IN DIAMETER | ⊗ | ELECTRIC SERVICE          |
| SPOT ELEVATION                    | ⊙ | ELECTRIC TRANSFORMER      |
| CONTOUR                           | — | TELEPHONE SERVICE         |
| 3" CONCRETE MONUMENT FOUND        | ⊠ | TELEVISION SERVICE        |
| TEMPORARY BENCH MARK              | ⊡ | WATER METER               |
| INVERT ELEVATION                  | ⊕ | VALVE BOX                 |
| FINISHED FLOOR ELEVATION          | ⊖ | IRRIGATION CONTROL VALVE  |
| POLYVINYL CHLORIDE                | — | SANITARY MANHOLE          |
| CORRUGATED PLASTIC PIPE           | — | STORM MANHOLE             |
| REINFORCED CONCRETE PIPE          | — | FIRE HYDRANT              |
| HIGH DENSITY POLYETHYLENE PIPE    | — | UTILITY POLE              |
| LIVE OAK                          | ⊙ | GUY                       |
| LAUREL OAK                        | ⊙ | SIGN                      |
| MAGNOLIA                          | ⊙ | LIGHT POLE                |
| RED OAK                           | ⊙ | FLOOD LIGHT               |
| PINE                              | ⊙ | CATCH BASIN               |
| WATER OAK                         | ⊙ | MAIL BOX                  |
| CYPRESS                           | ⊙ | —OHP— OVERHEAD POWER LINE |
| WAX MYRTLE                        | ⊙ |                           |
| CEDAR                             | ⊙ |                           |
| TURKEY OAK                        | ⊙ |                           |
| GUM                               | ⊙ |                           |
| TUPELO                            | ⊙ |                           |
| BIRCH                             | ⊙ |                           |
| HOLLY                             | ⊙ |                           |
| HICKORY                           | ⊙ |                           |

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R510 012 000 0002 0000  
 TOWN OF HILTON HEAD ISLAND  
 ONE TOWN CENTER COURT  
 HILTON HEAD ISLAND SC 29928

SHEET 13 of 16 SHEETS  
 I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



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CRITICAL AREA  
LAGOON

MARSHES OF THE FOLLY

MATCH LINE SHEET 13  
MATCH LINE SHEET 14

R510 012 000 0002 0000  
TOWN OF HILTON HEAD ISLAND  
ONE TOWN CENTER COURT  
HILTON HEAD ISLAND SC 29928

MARSHES OF THE FOLLY

MARSHES OF THE FOLLY

MARSHES OF THE FOLLY

- NOTES:
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LEGEND & SYMBOLS:

|       |                                |   |                           |
|-------|--------------------------------|---|---------------------------|
| ○     | SPOT ELEVATION                 | ⊗ | ELECTRIC SERVICE          |
| —     | CONTOUR                        | ⊕ | ELECTRIC TRANSFORMER      |
| CMF B | 3" CONCRETE MONUMENT FOUND     | ☐ | TELEPHONE SERVICE         |
| TBM   | TEMPORARY BENCH MARK           | ☐ | TELEVISION SERVICE        |
| IE    | INVERT ELEVATION               | □ | WATER METER               |
| FFE   | FINISHED FLOOR ELEVATION       | □ | VALVE BOX                 |
| PVC   | POLYVINYL CHLORIDE             | □ | IRRIGATION CONTROL VALVE  |
| CPP   | CORRUGATED PLASTIC PIPE        | ⊗ | SANITARY MANHOLE          |
| RCP   | REINFORCED CONCRETE PIPE       | ⊗ | STORM MANHOLE             |
| HDPE  | HIGH DENSITY POLYETHYLENE PIPE | ⊗ | FIRE HYDRANT              |
| LO    | LIVE OAK                       | ⊗ | UTILITY POLE              |
| LAO   | LAUREL OAK                     | ⊗ | GUY                       |
| MAG   | MAGNOLIA                       | ⊗ | SIGN                      |
| RO    | RED OAK                        | ⊗ | LIGHT POLE                |
| PN    | PINE                           | ⊗ | FLOOD LIGHT               |
| PLM   | PALM                           | ⊗ | CATCH BASIN               |
| WO    | WATER OAK                      | ⊗ | GUM                       |
| CYP   | CYPRESS                        | ⊗ | MAIL BOX                  |
| WAX   | WAX MYRTLE                     | ⊗ | —OHP— OVERHEAD POWER LINE |
| CED   | CEDAR                          |   |                           |
| TO    | TURKEY OAK                     |   |                           |
| G     | GUM                            |   |                           |
| TUP   | TUPELO                         |   |                           |
| BIR   | BIRCH                          |   |                           |
| HOL   | HOLLY                          |   |                           |
| HIC   | HICKORY                        |   |                           |

THIS MAP IS A GENERAL REPRESENTATION OF THE LOCATIONS OF 404 WETLANDS (FRESHWATER WETLANDS) LOCATED WITHIN THE PROPERTY AS SHOWN. THESE WETLANDS ARE SUBJECT TO REVIEW AND APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, CHARLESTON DISTRICT. THE WETLANDS HAVE BEEN LOCATED AS FLAGGED BY TIDEWATER ENVIRONMENTAL SERVICES INC.

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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

SHEET 14 of 16 SHEETS

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



NOT VALID UNLESS EMBOSSED.

ASBLUIT, TREE AND TOPOGRAPHIC SURVEY FOR:  
THE CHAPLIN LINEAR PARK,  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



SIS Sea Island Land Survey, LLC.  
4D Mathews Court, Hilton Head Island, SC 29926  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: sils@sprynet.com

FILE No.: 12120 DWG No.: 3-1738  
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LEGEND & SYMBOLS:

|   |                                   |   |                           |
|---|-----------------------------------|---|---------------------------|
| ○ | TREE SIZES ARE INCHES IN DIAMETER | ⊕ | ELECTRIC SERVICE          |
| ○ | SPOT ELEVATION                    | ⊕ | ELECTRIC TRANSFORMER      |
| — | CONTOUR                           | ⊕ | TELEPHONE SERVICE         |
| □ | 3" CONCRETE MONUMENT FOUND        | ⊕ | TELEVISION SERVICE        |
| ⊕ | TEMPORARY BENCH MARK              | ⊕ | WATER METER               |
| ⊕ | INVERT ELEVATION                  | ⊕ | VALVE BOX                 |
| ⊕ | FINISHED FLOOR ELEVATION          | ⊕ | IRRIGATION CONTROL VALVE  |
| ⊕ | POLYVINYL CHLORIDE                | ⊕ | SANITARY MANHOLE          |
| ⊕ | CORRUGATED PLASTIC PIPE           | ⊕ | STORM MANHOLE             |
| ⊕ | REINFORCED CONCRETE PIPE          | ⊕ | FIRE HYDRANT              |
| ⊕ | HIGH DENSITY POLYETHYLENE PIPE    | ⊕ | UTILITY POLE              |
| ⊕ | LIVE OAK                          | ⊕ | GUY                       |
| ⊕ | LAUREL OAK                        | ⊕ | SIGN                      |
| ⊕ | MAGNOLIA                          | ⊕ | LIGHT POLE                |
| ⊕ | RED OAK                           | ⊕ | FLOOD LIGHT               |
| ⊕ | PINE                              | ⊕ | CATCH BASIN               |
| ⊕ | PALM                              | ⊕ | MAIL BOX                  |
| ⊕ | WATER OAK                         | ⊕ | -OHP- OVERHEAD POWER LINE |
| ⊕ | CYPRESS                           |   |                           |
| ⊕ | WAX MYRTLE                        |   |                           |
| ⊕ | CEDAR                             |   |                           |
| ⊕ | TURKEY OAK                        |   |                           |
| ⊕ | GUM                               |   |                           |
| ⊕ | TUPELO                            |   |                           |
| ⊕ | BIRCH                             |   |                           |
| ⊕ | HOLLY                             |   |                           |
| ⊕ | HICKORY                           |   |                           |

NOTES:  
 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.  
 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.  
 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83 2007.  
 4) VERTICAL DATUM IS NAVD88.  
 5) CONTOUR INTERVAL IS 1'.  
 6) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

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SHEET 15 of 16 SHEETS  
 ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:  
 CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 11/12/12 SCALE: 1" = 20'



**SILS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Hilton Head Island, SC 29926  
 Tel (843) 681-3248 Fax (843) 689-3871  
 E-mail: sils@sprynet.com

MARSHES OF THE FOLLY

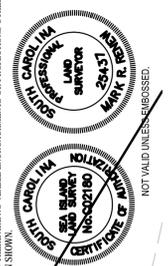
MARSHES OF THE FOLLY

R510 012 000 0002 0000  
 TOWN OF HILTON HEAD ISLAND  
 ONE TOWN CENTER COURT  
 HILTON HEAD ISLAND SC 29928

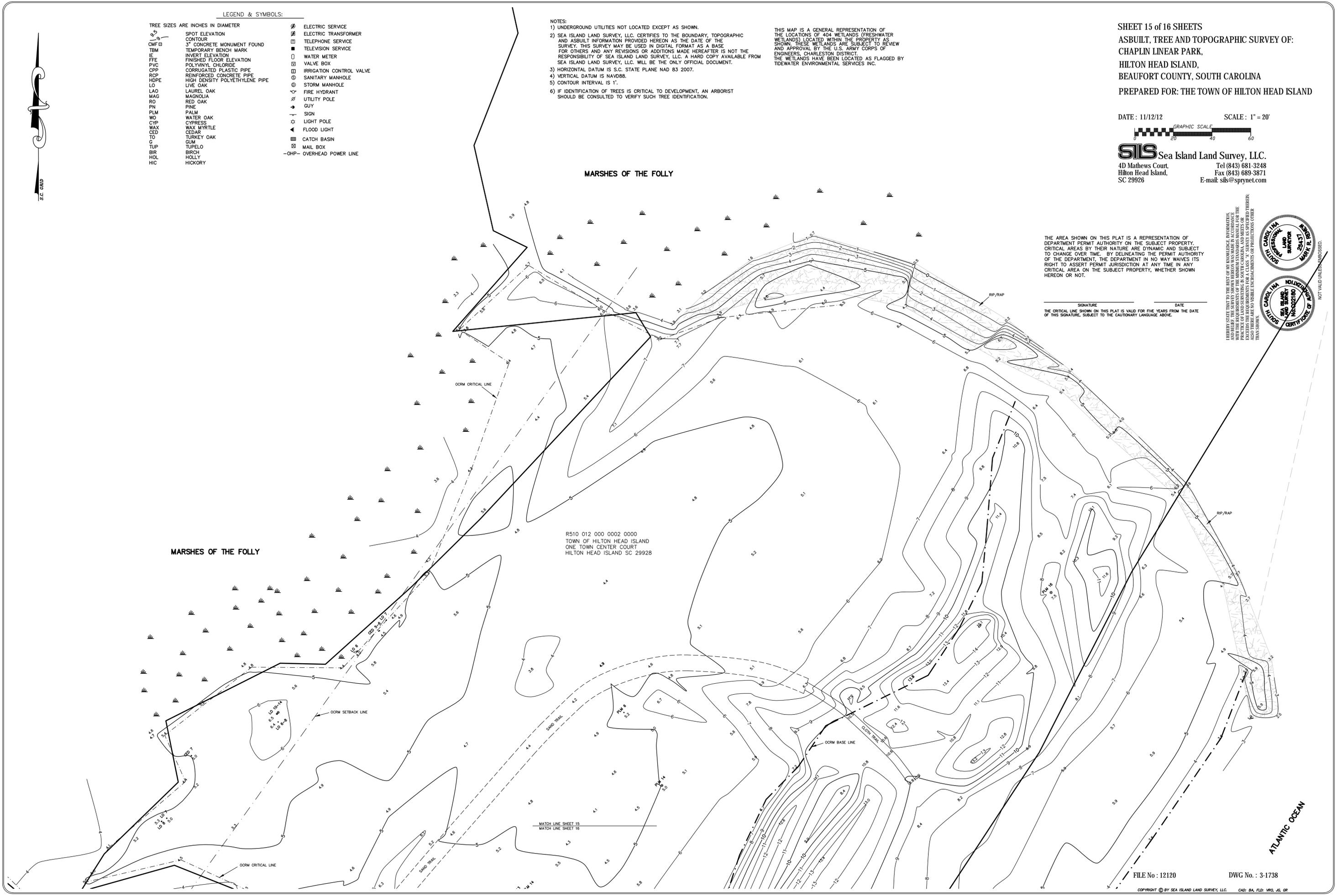
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ADDRESS: 404 W. MATHES COURT, HILTON HEAD ISLAND, SC 29926  
 TEL: (843) 681-3248 FAX: (843) 689-3871  
 E-MAIL: SILS@SPRYNET.COM  
 THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAL STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND ALL APPLICABLE RULES, REGULATIONS AND ORDINANCES THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



NOT VALID UNLESS EMBOSSED



ATLANTIC OCEAN

**LOT 38**  
 R510 012 000 0409 0000  
 CAMMA ALBERT J TRUSTEE ALBERT J  
 3370 BIG B RD  
 ZANESVILLE OH 43701

**LOT 39**  
 R510 012 000 0407 0000  
 DAO DAVID TERESA  
 PO BOX 1476  
 ELIZABETHTOWN KY 42702

**LOT 40**  
 R510 012 000 0406 0000  
 DWJ TRUST  
 1861 SPRUCE AVE  
 LONGMONT CO 80501

**COLLIER COURT**  
 50' R/W

**COLLIER BEACH ROAD**  
 40' R/W

**LOT 1**  
 R510 012 000 0394 0000  
 COLLIER BEACH LLC  
 PO BOX 328  
 STANFORD KY 40484

**LOT 2**

**LOT 3**

**LOT 4**

**LOT 5**

**LOT 6**

MATCH LINE SHEET 15  
 MATCH LINE SHEET 16

R510 012 000 011B 0000  
 COOPER AGATHA A  
 1929 MILLS B LANE BLVD  
 SAVANNAH 31405-2961



**ATLANTIC OCEAN**

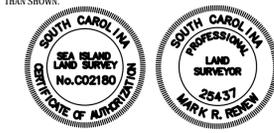
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**ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND**

**SHEET 16 of 16 SHEETS**

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DATE: 11/12/12 SCALE: 1" = 20'  
 GRAPHIC SCALE: 0 20 40 60

**SILS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Tel (843) 681-3248  
 Hilton Head Island, SC 29926 Fax (843) 689-3871  
 E-mail: sils@sprynet.com  
 FILE No.: 12120 DWG No.: 3-1738

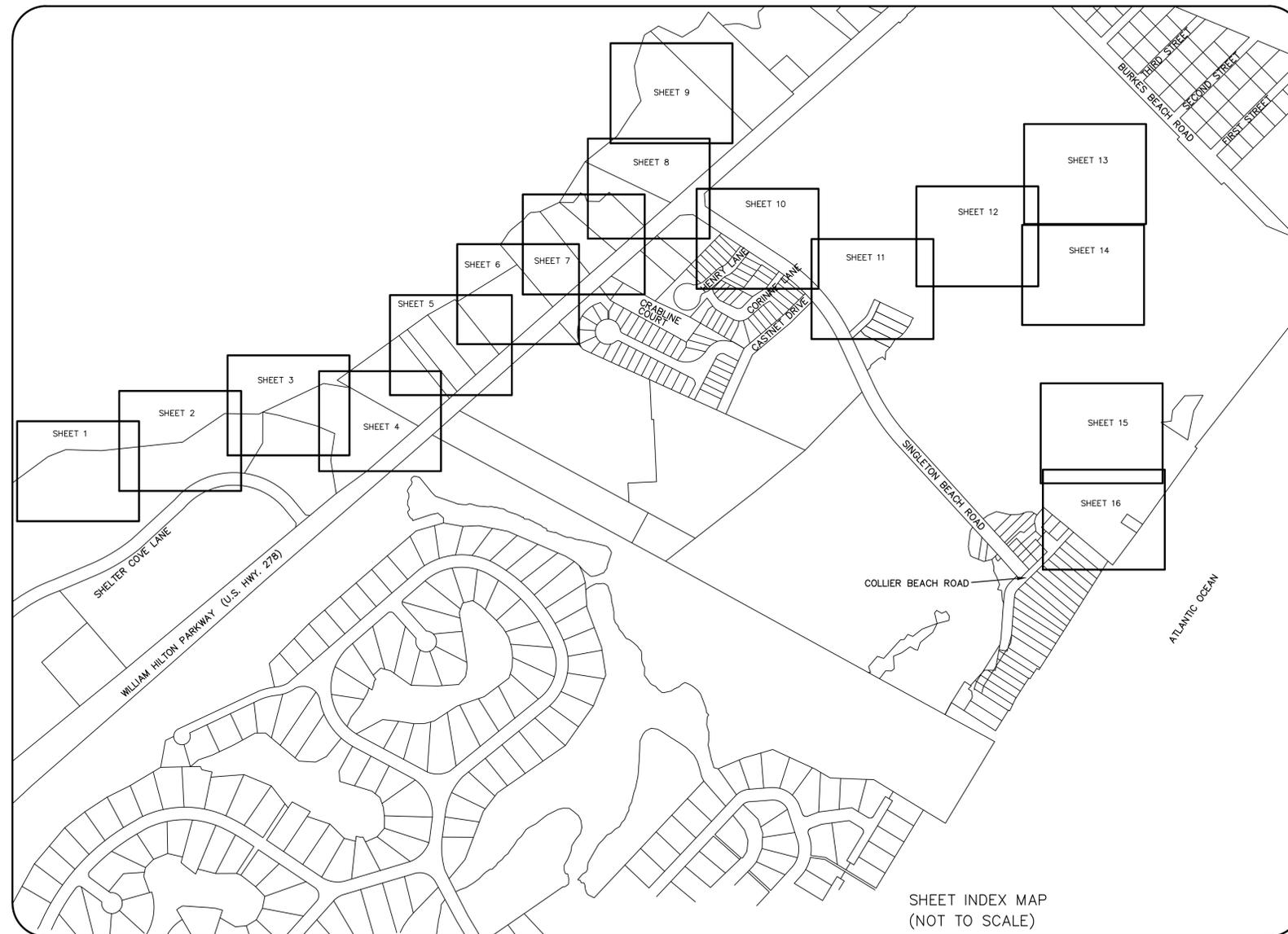
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  - 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83 2007.
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**LEGEND & SYMBOLS:**

|                                     |                            |
|-------------------------------------|----------------------------|
| TREE SIZES ARE INCHES IN DIAMETER   | ⊗ ELECTRIC SERVICE         |
| ○ SPOT ELEVATION                    | ⊗ ELECTRIC TRANSFORMER     |
| — CONTOUR                           | ☎ TELEPHONE SERVICE        |
| CMF 3" CONCRETE MONUMENT FOUND      | ⊠ TELEVISION SERVICE       |
| TBM TEMPORARY BENCH MARK            | ⊡ WATER METER              |
| IE INVERT ELEVATION                 | ⊡ VALVE BOX                |
| FFE FINISHED FLOOR ELEVATION        | ⊡ IRRIGATION CONTROL VALVE |
| PVC POLYVINYL CHLORIDE              | ⊡ SANITARY MANHOLE         |
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| HDPE HIGH DENSITY POLYETHYLENE PIPE | ⊡ UTILITY POLE             |
| LO LIVE OAK                         | ⊡ GUY                      |
| LAO LAUREL OAK                      | ⊡ SIGN                     |
| MAG MAGNOLIA                        | ⊡ LIGHT POLE               |
| RO RED OAK                          | ⊡ FLOOD LIGHT              |
| PN PINE                             | ⊡ CATCH BASIN              |
| PLM PALM                            | ⊡ MAIL BOX                 |
| WO WATER OAK                        | —OHP— OVERHEAD POWER LINE  |
| CYP CYPRESS                         |                            |
| WAX WAX MYRTLE                      |                            |
| CED CEDAR                           |                            |
| TO TURKEY OAK                       |                            |
| G GUM                               |                            |
| TUP TUPELO                          |                            |
| BIR BIRCH                           |                            |
| HOL HOLLY                           |                            |
| HIC HICKORY                         |                            |



**ASBUILT, TREE AND TOPOGRAPHIC SURVEY FOR:  
 THE PROPOSED CHAPLIN LINEAR PARK,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA**

**PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND  
 JOB ORDER NO. 65**

DATE : 11/12/12

SCALE : 1" = 20'

**SILS** Sea Island Land Survey, LLC.

4D Mathews Court,  
 Hilton Head Island,  
 SC 29926

Tel (843) 681-3248  
 Fax (843) 689-3871  
 E-mail: sils@spynet.com

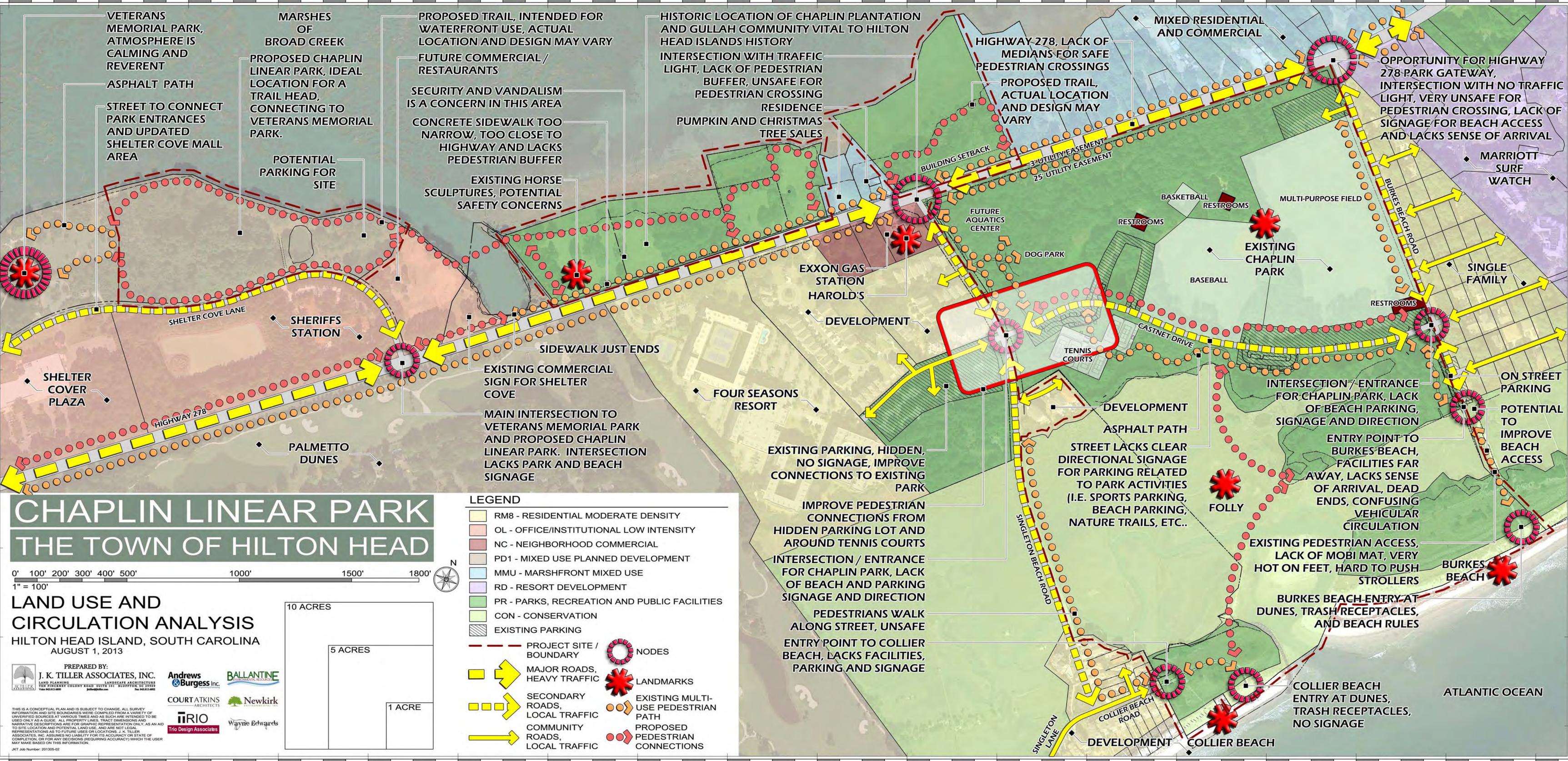
FILE No : 12120

DWG No. : 3-1738

HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83 (2007).

VERTICAL DATUM IS NAVD88.





VETERANS MEMORIAL PARK, ATMOSPHERE IS CALMING AND REVERENT  
 ASPHALT PATH  
 STREET TO CONNECT PARK ENTRANCES AND UPDATED SHELTER COVE MALL AREA  
 MARSHES OF BROAD CREEK  
 PROPOSED CHAPLIN LINEAR PARK, IDEAL LOCATION FOR A TRAIL HEAD, CONNECTING TO VETERANS MEMORIAL PARK.  
 POTENTIAL PARKING FOR SITE  
 PROPOSED TRAIL, INTENDED FOR WATERFRONT USE, ACTUAL LOCATION AND DESIGN MAY VARY  
 FUTURE COMMERCIAL / RESTAURANTS  
 SECURITY AND VANDALISM IS A CONCERN IN THIS AREA  
 CONCRETE SIDEWALK TOO NARROW, TOO CLOSE TO HIGHWAY AND LACKS PEDESTRIAN BUFFER  
 HISTORIC LOCATION OF CHAPLIN PLANTATION AND GULLAH COMMUNITY VITAL TO HILTON HEAD ISLANDS HISTORY  
 INTERSECTION WITH TRAFFIC LIGHT, LACK OF PEDESTRIAN BUFFER, UNSAFE FOR PEDESTRIAN CROSSING  
 RESIDENCE  
 PUMPKIN AND CHRISTMAS TREE SALES  
 HIGHWAY-278, LACK OF MEDIANS FOR SAFE PEDESTRIAN CROSSINGS  
 PROPOSED TRAIL, ACTUAL LOCATION AND DESIGN MAY VARY  
 MIXED RESIDENTIAL AND COMMERCIAL  
 OPPORTUNITY FOR HIGHWAY 278-PARK GATEWAY, INTERSECTION WITH NO TRAFFIC LIGHT, VERY UNSAFE FOR PEDESTRIAN CROSSING, LACK OF SIGNAGE FOR BEACH ACCESS AND LACKS SENSE OF ARRIVAL  
 MARRIOTT SURF WATCH  
 BASKETBALL RESTROOMS  
 MULTI-PURPOSE FIELD  
 BURKES BEACH ROAD  
 SINGLE FAMILY  
 EXISTING CHAPLIN PARK  
 BASEBALL  
 RESTROOMS  
 EXXON GAS STATION HAROLD'S  
 DEVELOPMENT  
 DOG PARK  
 TENNIS COURTS  
 CASTNET DRIVE  
 RESTROOMS  
 INTERSECTION / ENTRANCE FOR CHAPLIN PARK, LACK OF BEACH PARKING, SIGNAGE AND DIRECTION  
 ON STREET PARKING  
 POTENTIAL TO IMPROVE BEACH ACCESS  
 EXISTING HORSE SCULPTURES, POTENTIAL SAFETY CONCERNS  
 SHELTER COVE LANE  
 SHERIFFS STATION  
 SIDEWALK JUST ENDS  
 EXISTING COMMERCIAL SIGN FOR SHELTER COVE  
 MAIN INTERSECTION TO VETERANS MEMORIAL PARK AND PROPOSED CHAPLIN LINEAR PARK. INTERSECTION LACKS PARK AND BEACH SIGNAGE  
 PALMETTO DUNES  
 SHELTER COVER PLAZA  
 HIGHWAY 278

SHEDDING  
 DEVELOPMENT  
 EXISTING PARKING, HIDDEN, NO SIGNAGE, IMPROVE CONNECTIONS TO EXISTING PARK  
 IMPROVE PEDESTRIAN CONNECTIONS FROM HIDDEN PARKING LOT AND AROUND TENNIS COURTS  
 INTERSECTION / ENTRANCE FOR CHAPLIN PARK, LACK OF BEACH AND PARKING SIGNAGE AND DIRECTION  
 PEDESTRIANS WALK ALONG STREET, UNSAFE  
 ENTRY POINT TO COLLIER BEACH, LACKS FACILITIES, PARKING AND SIGNAGE  
 DEVELOPMENT  
 ASPHALT PATH  
 STREET LACKS CLEAR DIRECTIONAL SIGNAGE FOR PARKING RELATED TO PARK ACTIVITIES (I.E. SPORTS PARKING, BEACH PARKING, NATURE TRAILS, ETC..  
 FOLLY  
 ENTRY POINT TO BURKES BEACH, FACILITIES FAR AWAY, LACKS SENSE OF ARRIVAL, DEAD ENDS, CONFUSING VEHICULAR CIRCULATION  
 EXISTING PEDESTRIAN ACCESS, LACK OF MOBI MAT, VERY HOT ON FEET, HARD TO PUSH STROLLERS  
 BURKES BEACH ENTRY AT DUNES, TRASH RECEPTACLES, AND BEACH RULES  
 COLLIER BEACH ENTRY AT DUNES, TRASH RECEPTACLES, NO SIGNAGE  
 ATLANTIC OCEAN  
 BURKES BEACH  
 COLLIER BEACH  
 SINGLETON BEACH ROAD  
 SINGLETON LANE  
 COLLIER BEACH ROAD  
 DEVELOPMENT

# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD

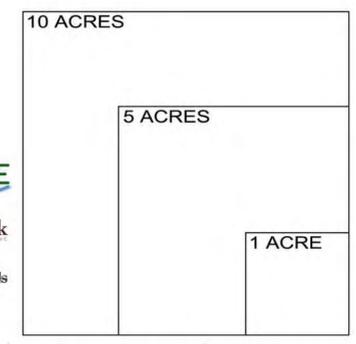
0' 100' 200' 300' 400' 500' 1000' 1500' 1800'  
 1" = 100'

### LAND USE AND CIRCULATION ANALYSIS

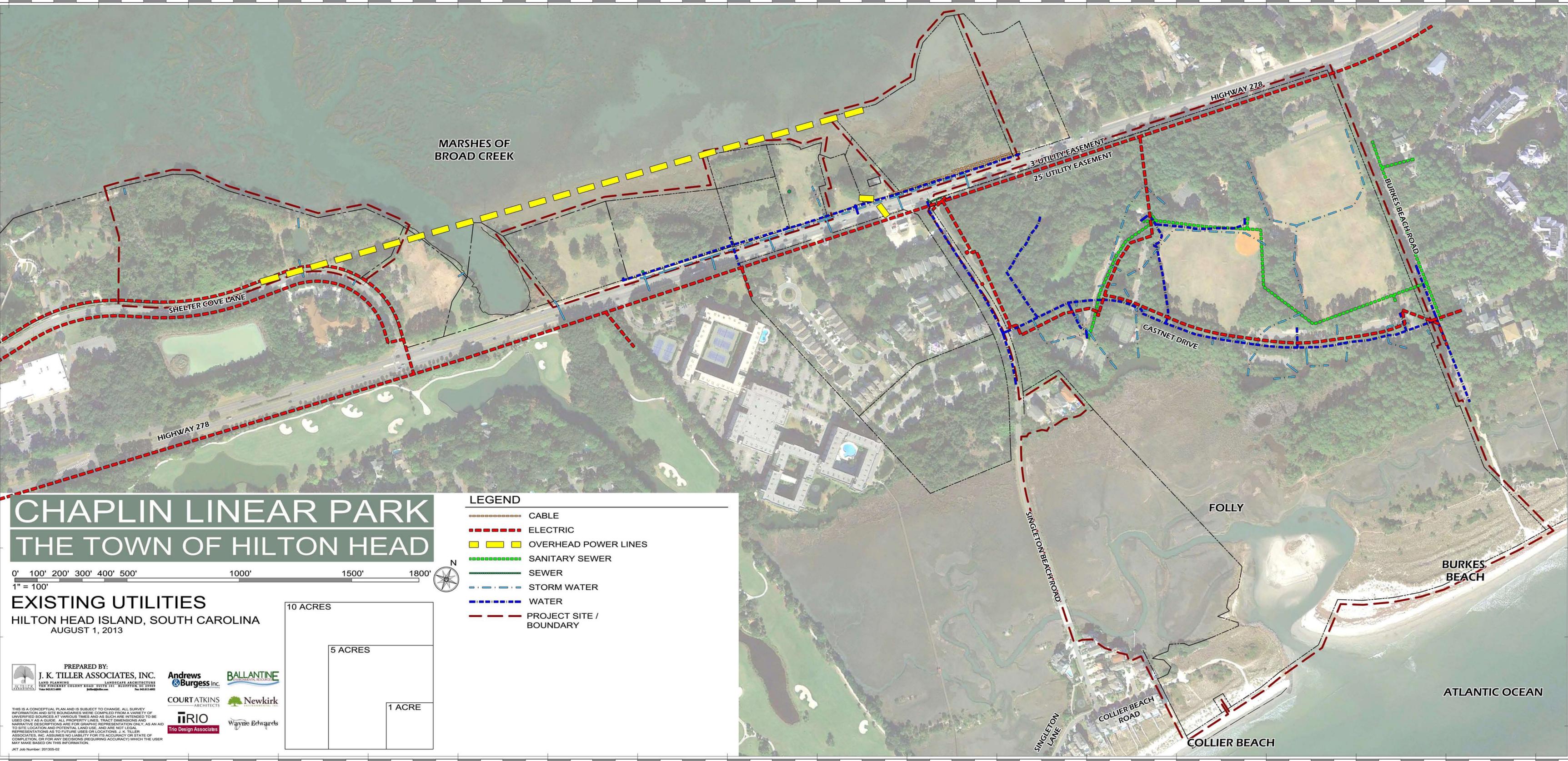
HILTON HEAD ISLAND, SOUTH CAROLINA  
 AUGUST 1, 2013

PREPARED BY:  
**J. K. TILLER ASSOCIATES, INC.**  
 LAND PLANNING AND ARCHITECTURE  
 1000 W. KINGSTON COLONY ROAD, SUITE 100, BLUFFTON, SC 29910  
 803.853.4800  
 www.jktiller.com

ANDREWS BURGESS INC.  
 BALLANTINE ARCHITECTS  
 COURT ATKINS ARCHITECTS  
 NEWKIRK ARCHITECTS  
 TIRIO ARCHITECTS  
 WAYNE EDWARDS ARCHITECTS



- LEGEND**
- RM8 - RESIDENTIAL MODERATE DENSITY
  - OL - OFFICE/INSTITUTIONAL LOW INTENSITY
  - NC - NEIGHBORHOOD COMMERCIAL
  - PD1 - MIXED USE PLANNED DEVELOPMENT
  - MMU - MARSHFRONT MIXED USE
  - RD - RESORT DEVELOPMENT
  - PR - PARKS, RECREATION AND PUBLIC FACILITIES
  - CON - CONSERVATION
  - EXISTING PARKING
  - PROJECT SITE / BOUNDARY
  - MAJOR ROADS, HEAVY TRAFFIC
  - SECONDARY ROADS, LOCAL TRAFFIC
  - COMMUNITY ROADS, LOCAL TRAFFIC
  - NODES
  - LANDMARKS
  - EXISTING MULTI-USE PEDESTRIAN PATH
  - PROPOSED PEDESTRIAN CONNECTIONS



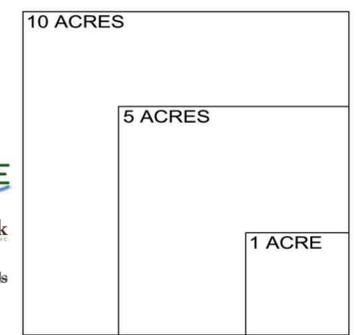
# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD

0' 100' 200' 300' 400' 500' 1000' 1500' 1800'

1" = 100'

**EXISTING UTILITIES**  
 HILTON HEAD ISLAND, SOUTH CAROLINA  
 AUGUST 1, 2013



**LEGEND**

- ..... CABLE
- ELECTRIC
- OVERHEAD POWER LINES
- ..... SANITARY SEWER
- SEWER
- STORM WATER
- WATER
- PROJECT SITE / BOUNDARY

PREPARED BY:  
**J. K. TILLER ASSOCIATES, INC.**

**Andrews Burgess Inc.**

**BALLANTINE**

**COURT ATKINS ARCHITECTS**

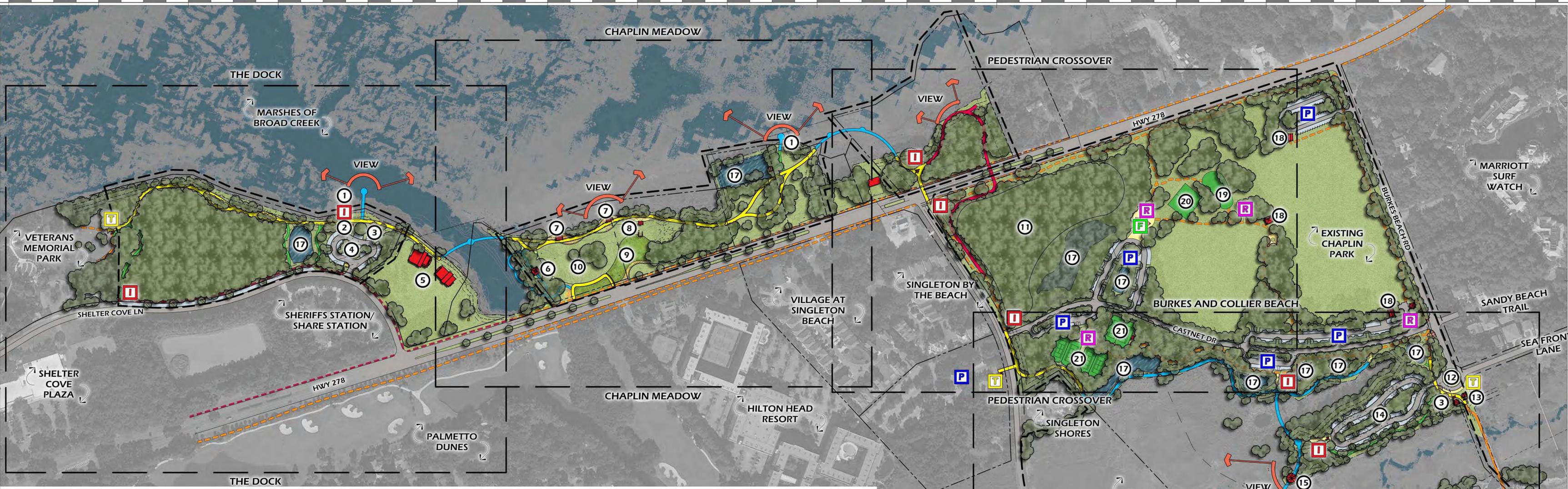
**Newkirk**

**TIRIO**

**Wayne Edwards**

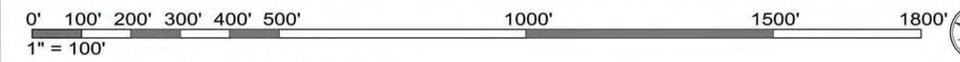
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JKT Job Number: 201305-02



# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD



### TRAIL SCHEMATIC MASTER PLAN

HILTON HEAD ISLAND, SOUTH CAROLINA  
SEPTEMBER 20, 2013

PREPARED BY:  
**J. K. TILLER ASSOCIATES, INC.**

**Andrews Burgess Inc.**

**BALLANTINE**

**COURT ATKINS ARCHITECTS**

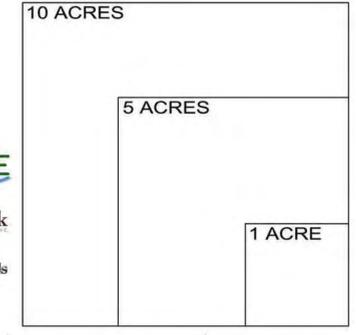
**Newkirk**

**TIRIO**

**Wayne Edwards**

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JKT Job Number: 201305-02



### LEGEND

- SHARED TRAIL (16' WIDE)
- NATURE TRAIL (PERVIOUS, 6' WIDE)
- BOARDWALKS (6'-10' WIDE)
- HWY 278 CROSS OVER (FUTURE, 10' WIDE)
- WALKWAYS (ACCESS, 10' WIDE)
- EXISTING WALKS (SIDEWALK, TRAIL, BEACH ACCESS)
- PROPOSED TRAIL (TOHHI)
- PROJECT SITE / BOUNDARY
- I INFORMATION KIOSK
- T TRAIL HEAD / KIOSK
- F EXISTING CONCESSIONS
- P EXISTING PARKING
- R EXISTING RESTROOMS
- 1 DOCK / PIER
- 2 PLAZA / NODE
- 3 RESTROOMS
- 4 PARKING +/- 55 SP.
- 5 FUTURE RESTAURANTS / COMMERCIAL
- 6 TREE HOUSE
- 7 MARSH OVERLOOK
- 8 GULLAH CULTURAL PARK
- 9 MARSH TACKY SCULPTURE
- 10 OPEN / EVENT LAWN
- 11 FUTURE AQUATICS CENTER
- 12 BURKES BEACH DROP OFF
- 13 CHANGING ROOMS
- 14 PARKING +/- 150 SP.
- 15 NATURE LOOKOUT
- 16 FUTURE BEACH ACCESS
- 17 EXISTING LAGOON
- 18 EXISTING PAVILION
- 19 EXISTING PLAY STRUCTURE
- 20 EXISTING BASKETBALL COURTS
- 21 EXISTING TENNIS COURTS



# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD

0' 50' 100' 150' 200' 250' 500' N  
 1" = 50'

**THE DOCK**  
**SCHEMATIC PLAN**  
 HILTON HEAD ISLAND, SOUTH CAROLINA  
 SEPTEMBER 20, 2013

PREPARED BY:  
**J. K. TILLER ASSOCIATES, INC.**  
 LAND PLANNING LANDSCAPE ARCHITECTURE  
 100 W. BAYVIEW COLONY ROAD SUITE 101 SUFFOLK, VA 23063  
 Tel: 804.815.1000 Fax: 804.815.4000

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**BALLANTINE**  
 ENVIRONMENTAL RESOURCES

**COURT ATKINS**  
 ARCHITECTS

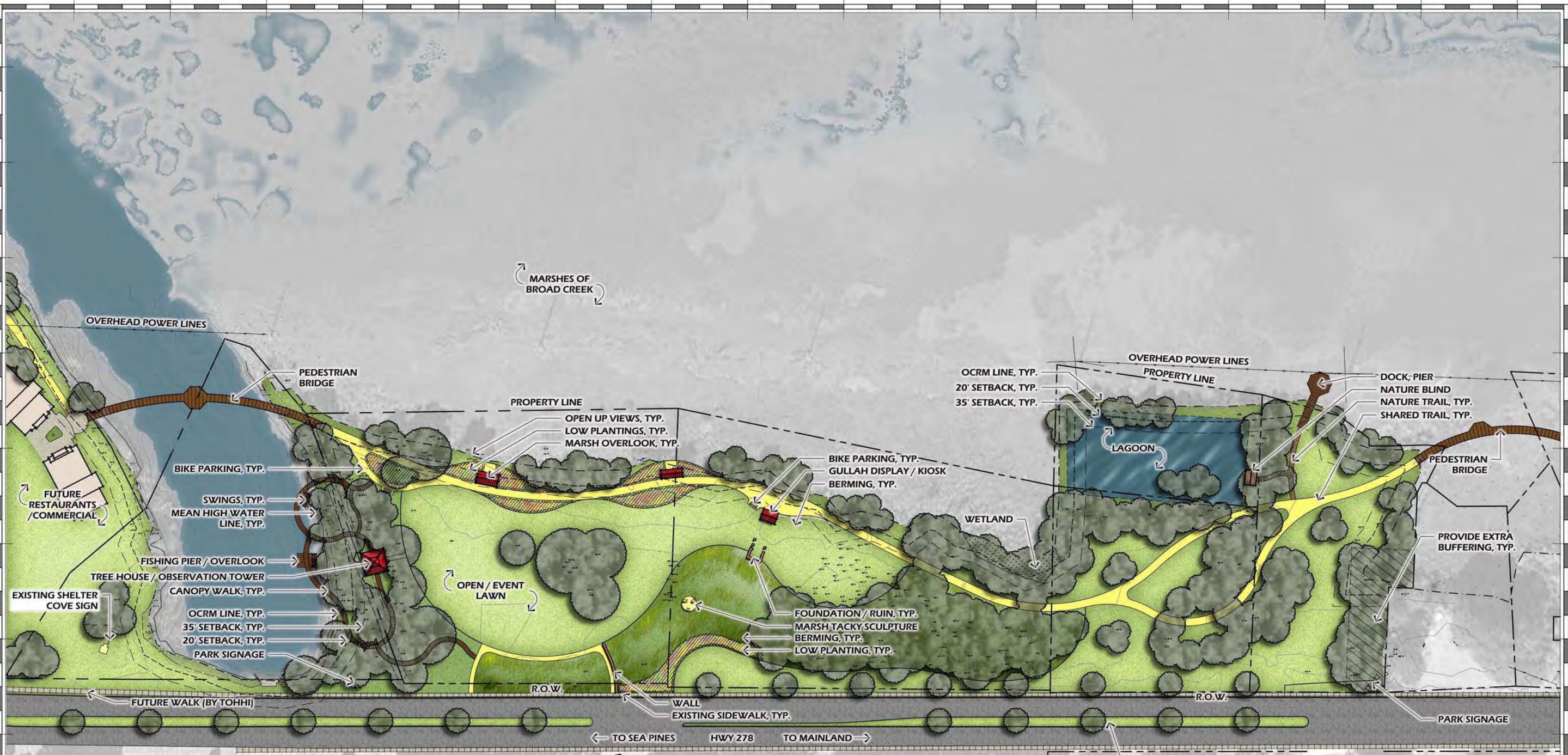
**Newkirk**  
 ENVIRONMENTAL INC.

**TIRIO**  
 Trio Design Associates

**Wayne Edwards**

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 JKT Job Number: 201309-03

← TO SEA PINES HWY 278 TO MAINLAND →



# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD

0' 50' 100' 150' 200' 250' 500' N  
1" = 50'

**CHAPLIN MEADOW**  
**SCHEMATIC PLAN**  
 HILTON HEAD ISLAND, SOUTH CAROLINA  
 SEPTEMBER 20, 2013

PREPARED BY:  
**J. K. TILLER ASSOCIATES, INC.**  
LAND PLANNING LANDSCAPE ARCHITECTURE  
 LAW FIRM COLONY ROAD SUITE 101 BLUFFTON, SC 29915  
 843.661.1000

**Andrews & Burgess Inc.**  
ARCHITECTS

**BALLANTINE**  
ENVIRONMENTAL RESOURCES

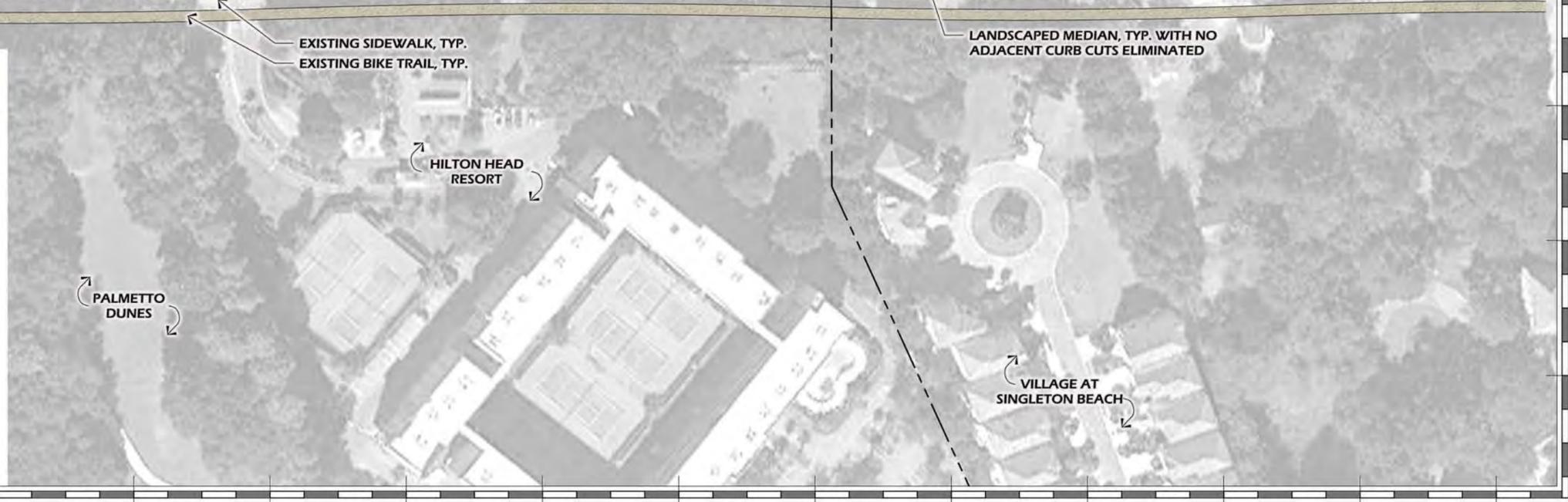
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ARCHITECTS

**Newkirk**  
ENVIRONMENTAL INC.

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Trio Design Associates

**Wayne Edwards**

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 JKT Job Number: 201305-03





# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD

0' 50' 100' 150' 200' 250' 500' N  
1" = 50'

**PEDESTRIAN CROSSOVER SCHEMATIC PLAN**  
HILTON HEAD ISLAND, SOUTH CAROLINA  
SEPTEMBER 20, 2013

PREPARED BY:  
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LAND PLANNING LANDSCAPE ARCHITECTURE  
100 W. WILSON ROAD SUITE 101 SUFFOLK, VA 23063  
757.533.4000

**Andrews & Burgess Inc.**  
ARCHITECTS

**BALLANTINE**  
ENVIRONMENTAL RESOURCES

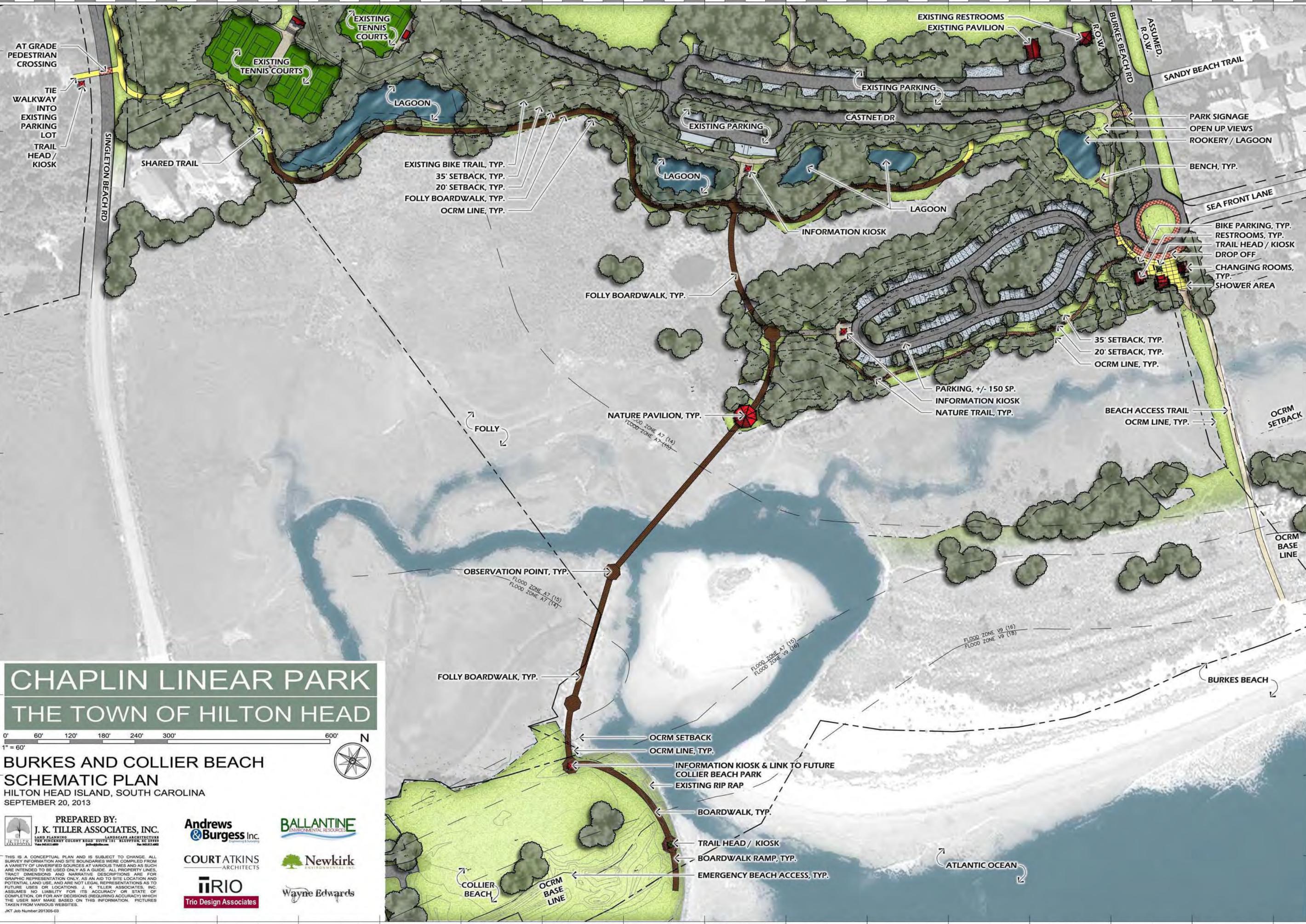
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ARCHITECTS

**Newkirk**  
ENVIRONMENTAL INC.

**TIRIO**  
Trio Design Associates

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JKT Job Number: 201309-03



# CHAPLIN LINEAR PARK

## THE TOWN OF HILTON HEAD

0' 60' 120' 180' 240' 300' 600' N  
1" = 60'

**BURKES AND COLLIER BEACH**  
**SCHEMATIC PLAN**  
 HILTON HEAD ISLAND, SOUTH CAROLINA  
 SEPTEMBER 20, 2013

PREPARED BY:  
**J. K. TILLER ASSOCIATES, INC.**  
LAND PLANNING LANDSCAPE ARCHITECTURE  
 LAW FIRM COLONY ROAD SUITE 101 BLUFFTON, SC 29915  
 TEL: 843.861.0000 FAX: 843.861.0000

**Andrews & Burgess Inc.**  
ARCHITECTS

**BALLANTINE**  
ENVIRONMENTAL RESOURCES

**COURT ATKINS**  
ARCHITECTS

**Newkirk**  
ENVIRONMENTAL

**TIRIO**  
Trio Design Associates

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 JKT Job Number: 201305-03

# PARK CHARACTER

A LINEAR PARK CONNECTING THE CULTURAL, HISTORIC AND ENVIRONMENTAL ELEMENTS OF HILTON HEAD ISLAND, PROVIDING EXPLORATION OF THESE AMENITIES FROM THE MARSH TO THE BEACH



ARCHITECTURAL INSPIRATION



ARCHITECTURAL INSPIRATION



NATURE BLIND



LOOK OUTS



SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



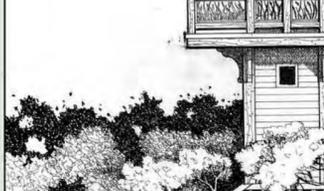
SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



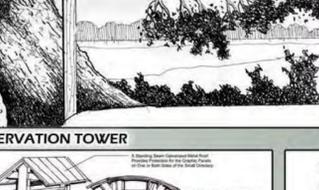
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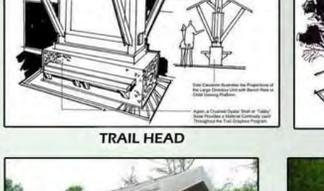
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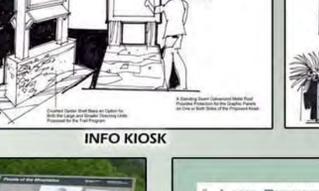
SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



SHARED TRAIL



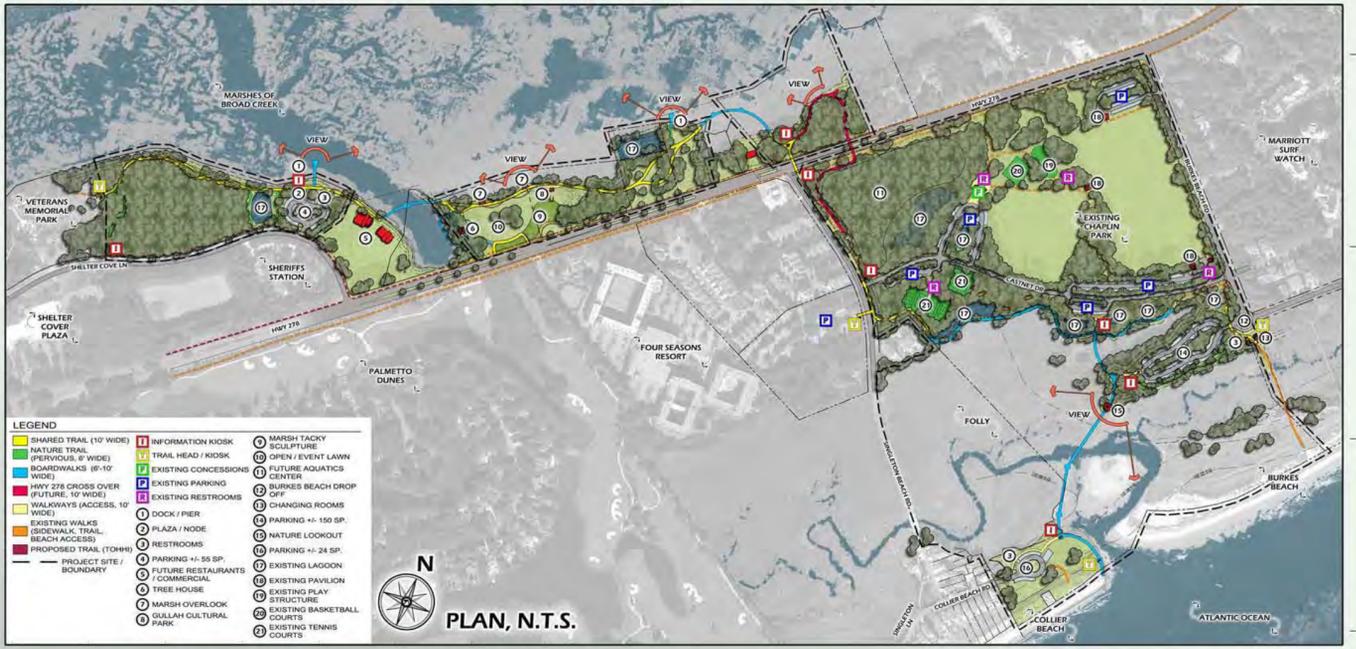
SHARED TRAIL



DESIGN INSPIRATION

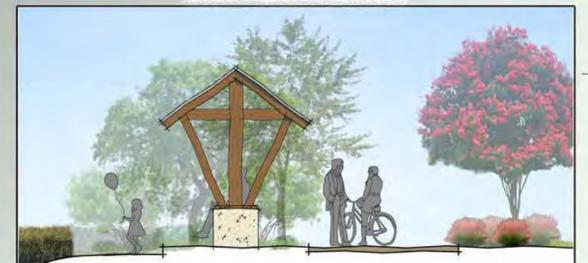
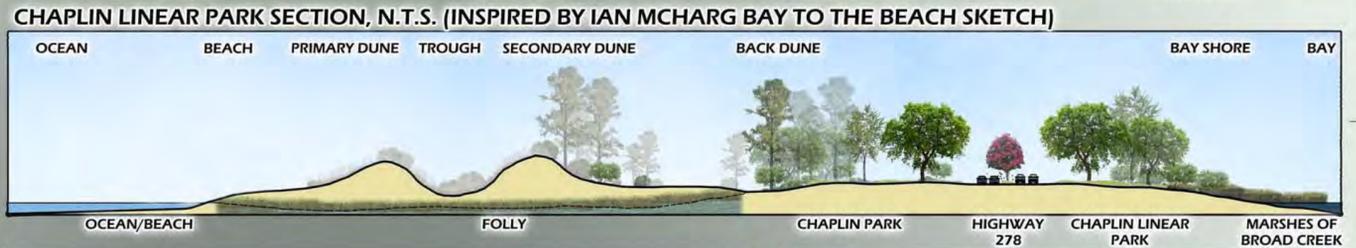
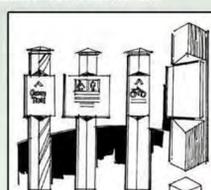
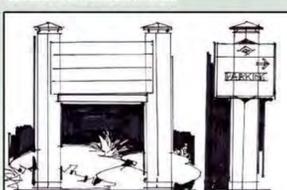
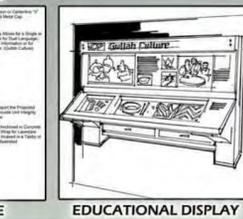
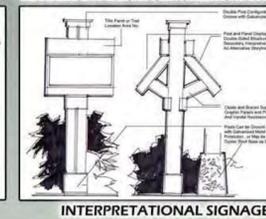
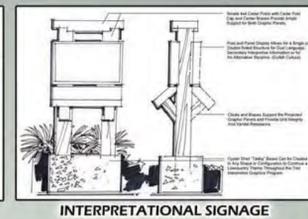
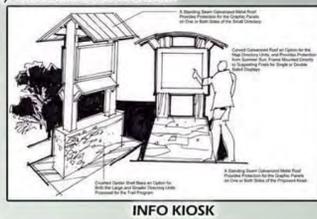
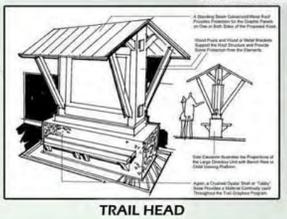
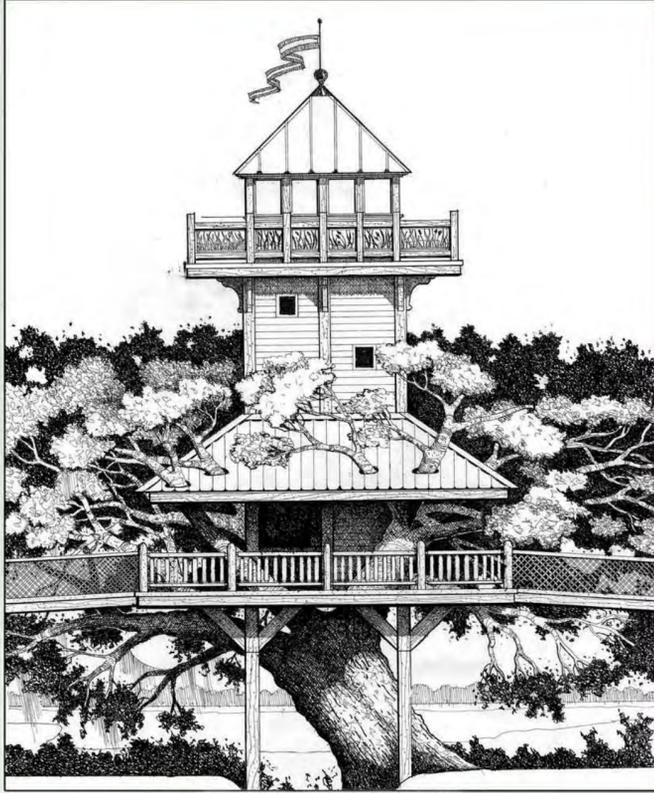


SCULPTURAL INSPIRATION



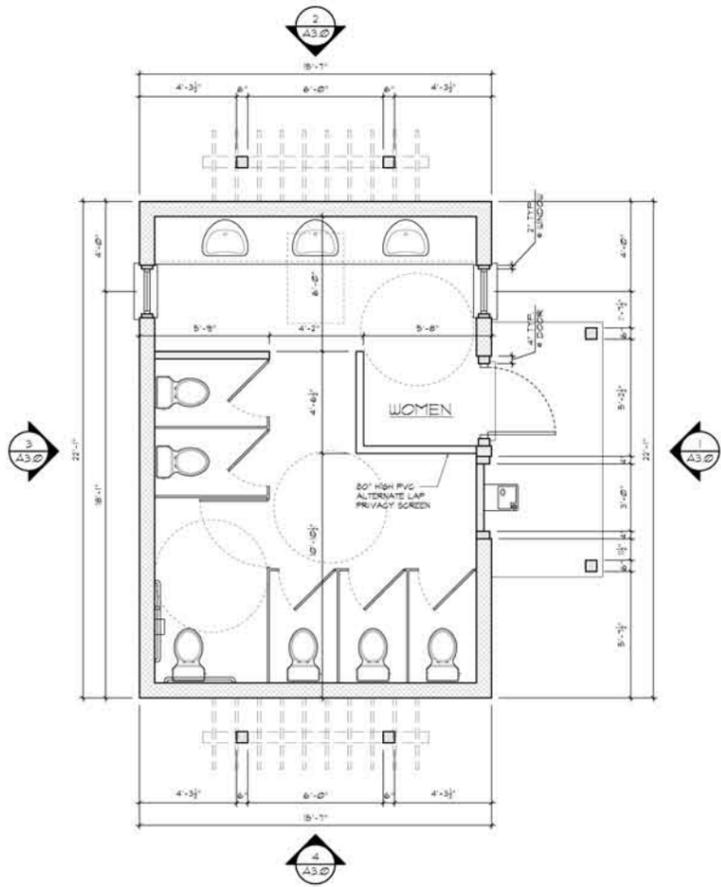
# PARK ELEMENTS

KEEPING WITH THE LOW COUNTRY VERNACULAR, AND HILTON HEAD ISLAND AESTHETIC, BLENDING BUILT STRUCTURES WITH THE NATURAL ENVIRONMENT

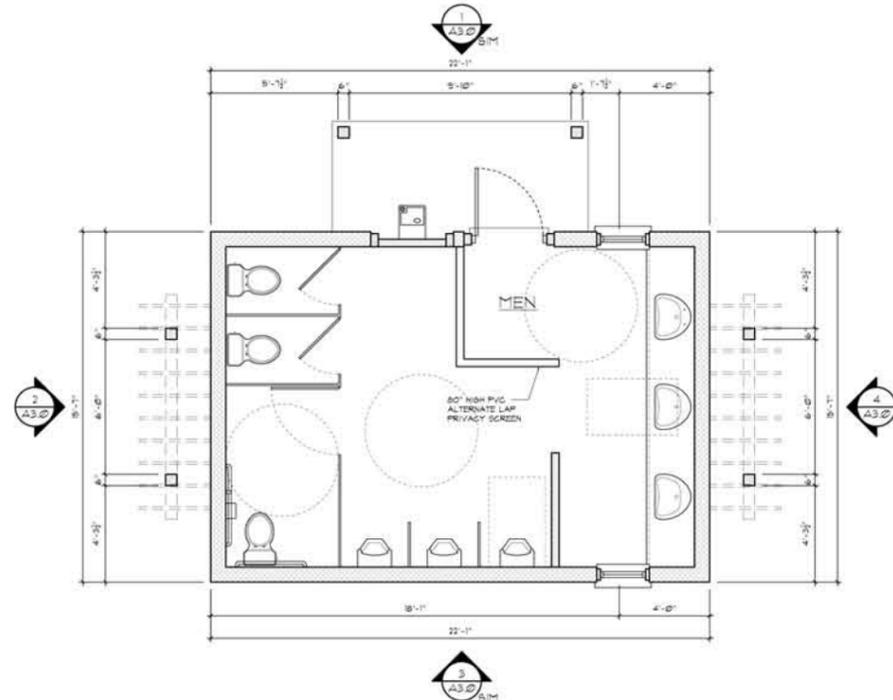


# CHAPLIN LINEAR PARK

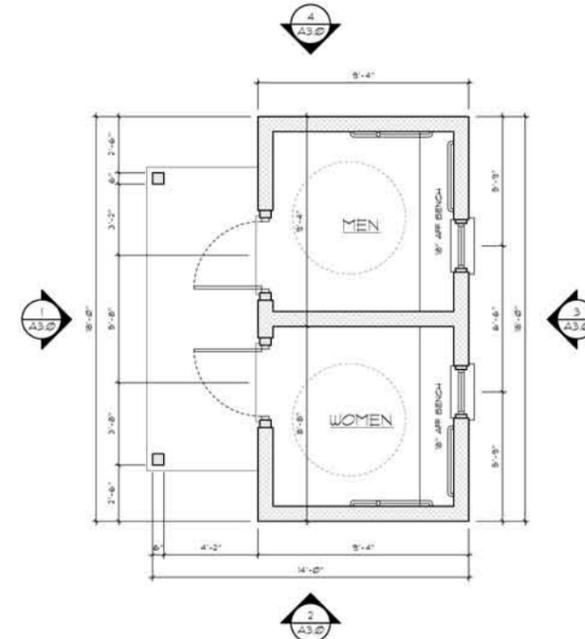
## THE TOWN OF HILTON HEAD



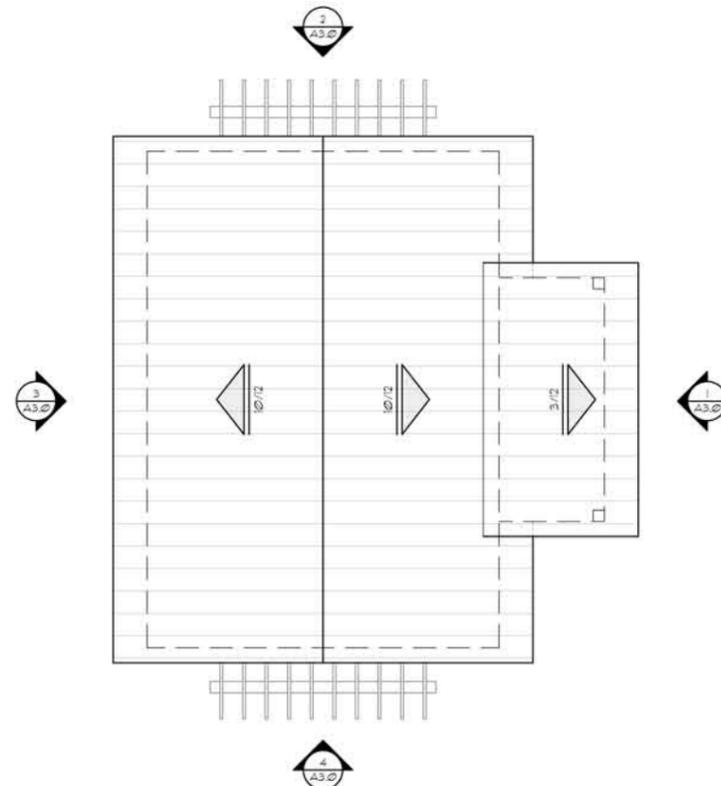
1  
A2.1  
BURKES BEACH  
WOMEN'S RESTROOM PLAN  
SCALE 1/4" = 1'-0"



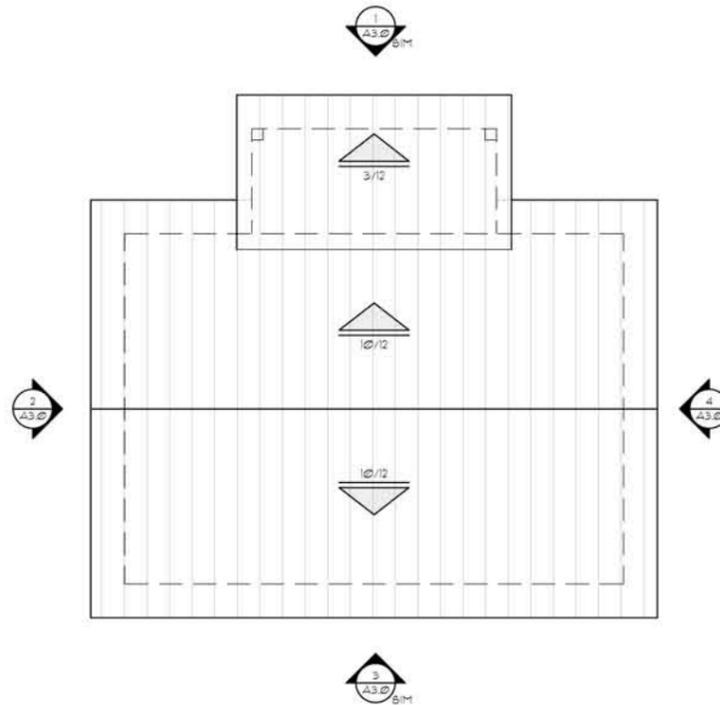
3  
A2.1  
BURKES BEACH  
MEN'S RESTROOM PLAN  
SCALE 1/4" = 1'-0"



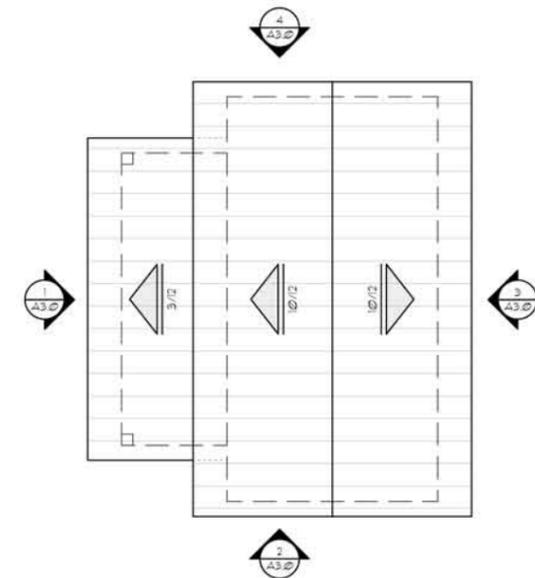
5  
A2.1  
BURKES BEACH  
CHANGING ROOM PLANS  
SCALE 1/4" = 1'-0"



2  
A2.1  
BURKES BEACH  
WOMEN'S RESTROOM ROOF PLAN  
SCALE 1/4" = 1'-0"



4  
A2.1  
BURKES BEACH  
MEN'S RESTROOM ROOF PLAN  
SCALE 1/4" = 1'-0"



6  
A2.1  
BURKES BEACH  
CHANGING ROOM ROOF PLANS  
SCALE 1/4" = 1'-0"

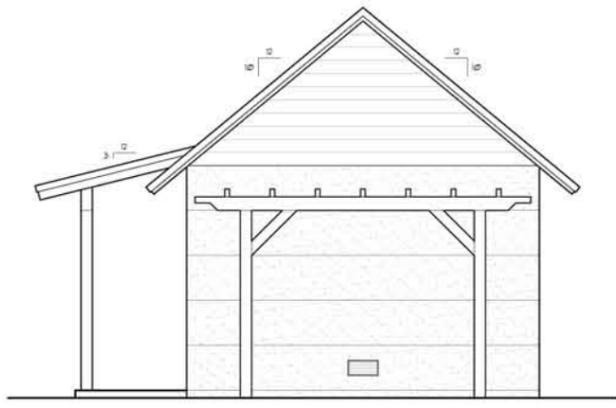
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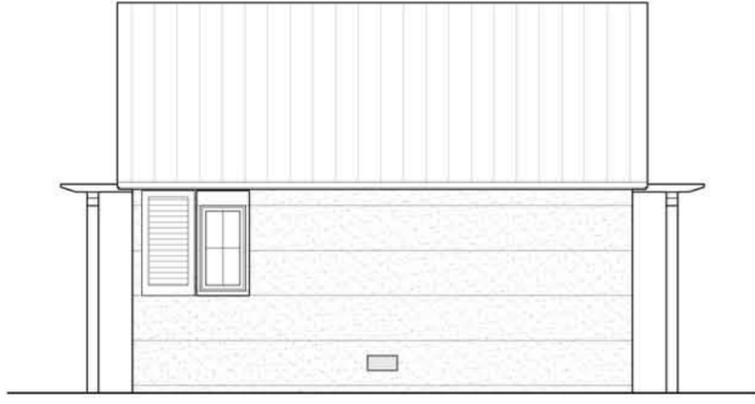
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|------------------------------------|-------------|
| PROJECT NO.                        | 13-044      |
| DATE                               | 9/4/2013    |
| DRAWN BY                           |             |
| CHECKED BY                         |             |
| SHEET NO.                          | <b>A2.1</b> |
| BURKES BEACH<br>FLOOR & ROOF PLANS |             |



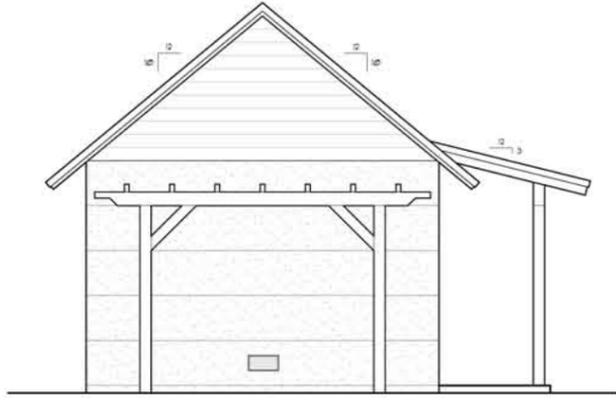
1  
A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
RESTROOM FRONT ELEVATION



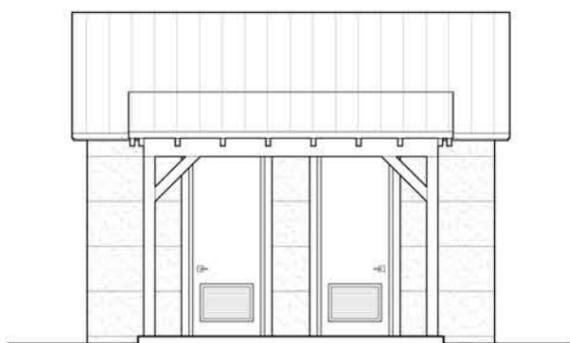
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A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
RESTROOM RIGHT ELEVATION



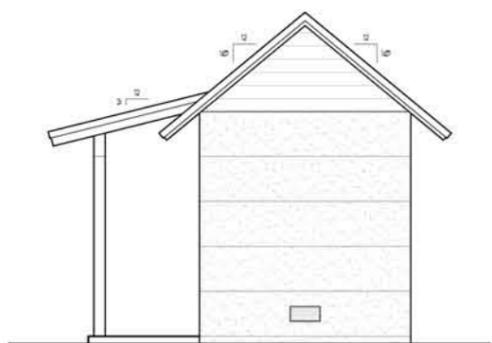
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A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
RESTROOM REAR ELEVATION



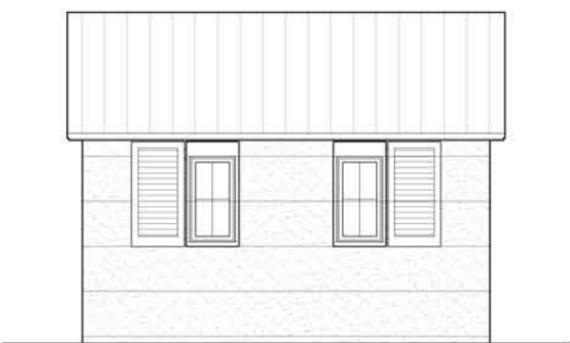
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A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
RESTROOM LEFT ELEVATION



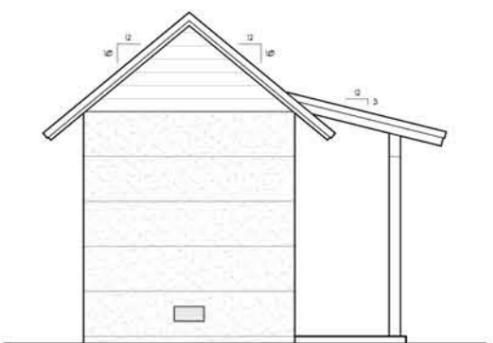
5  
A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
DRESSING ROOMS  
FRONT ELEVATION



6  
A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
DRESSING ROOMS  
RIGHT ELEVATION



7  
A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
DRESSING ROOMS  
REAR ELEVATION



8  
A2.2 SCALE 1/4" = 1'-0"  
BURKES BEACH  
DRESSING ROOMS  
LEFT ELEVATION

**COURT ATKINS**  
ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910  
P: 843.815.2557 F: 843.815.2547

CHAPLIN LINEAR PARK  
10 PICKNEY COLONY RD.  
TOWN OF HILTON HEAD ISLAND, BLUFFTON, SC 29910

REVISIONS

SEAL

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PROJECT NO.  
13-044

DATE  
9/4/2013

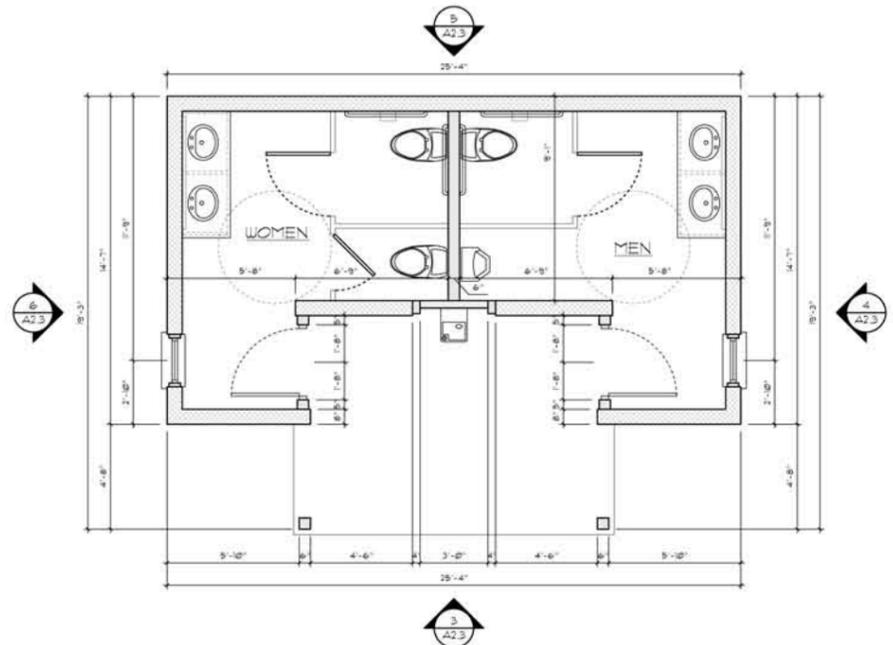
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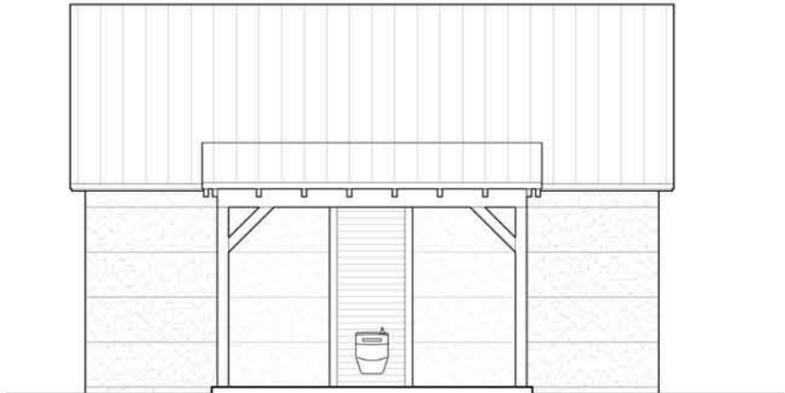
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**A2.2**

BURKES BEACH  
EXTERIOR ELEVATIONS



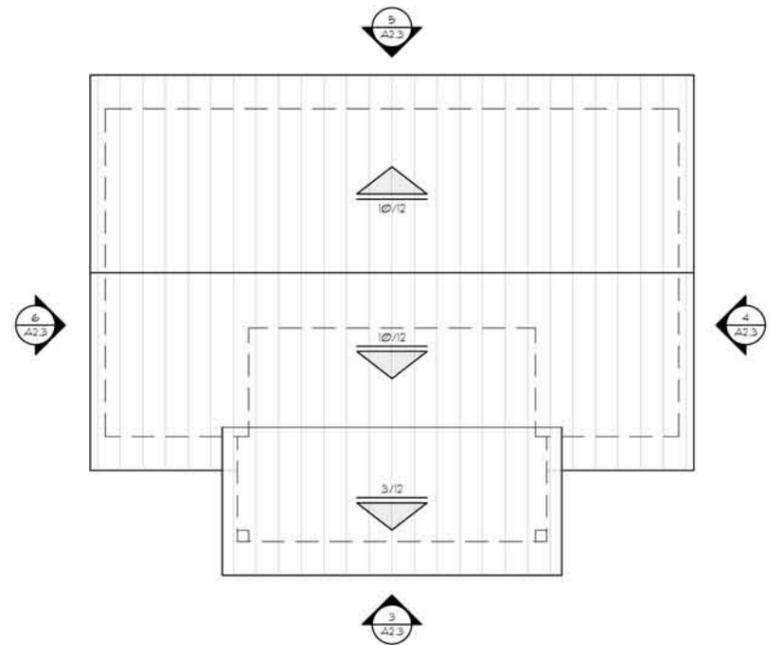
1  
A2.3  
COLLIER & PLAZA AREA  
RESTROOM FLOOR PLAN  
SCALE 1/4" = 1'-0"



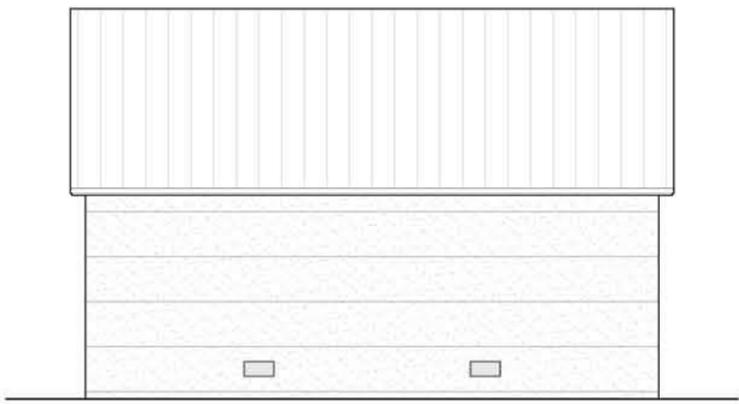
3  
A2.3  
COLLIER & PLAZA AREA  
RESTROOM FRONT ELEVATION  
SCALE 1/4" = 1'-0"



4  
A2.3  
COLLIER & PLAZA AREA  
RESTROOM RIGHT ELEVATION  
SCALE 1/4" = 1'-0"



2  
A2.3  
COLLIER & PLAZA AREA  
RESTROOM ROOF PLAN  
SCALE 1/4" = 1'-0"



5  
A2.3  
COLLIER & PLAZA AREA  
RESTROOM REAR ELEVATION  
SCALE 1/4" = 1'-0"



6  
A2.3  
COLLIER & PLAZA AREA  
RESTROOM LEFT ELEVATION  
SCALE 1/4" = 1'-0"

**COURT ATKINS**  
ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910  
P: 843.815.2557 F: 843.815.2547

CHAPLIN LINEAR PARK  
10 PICKNEY COLONY RD.  
TOWN OF HILTON HEAD ISLAND, BLUFFTON, SC 29910

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PROJECT NO.  
13-044

DATE  
9/4/2013

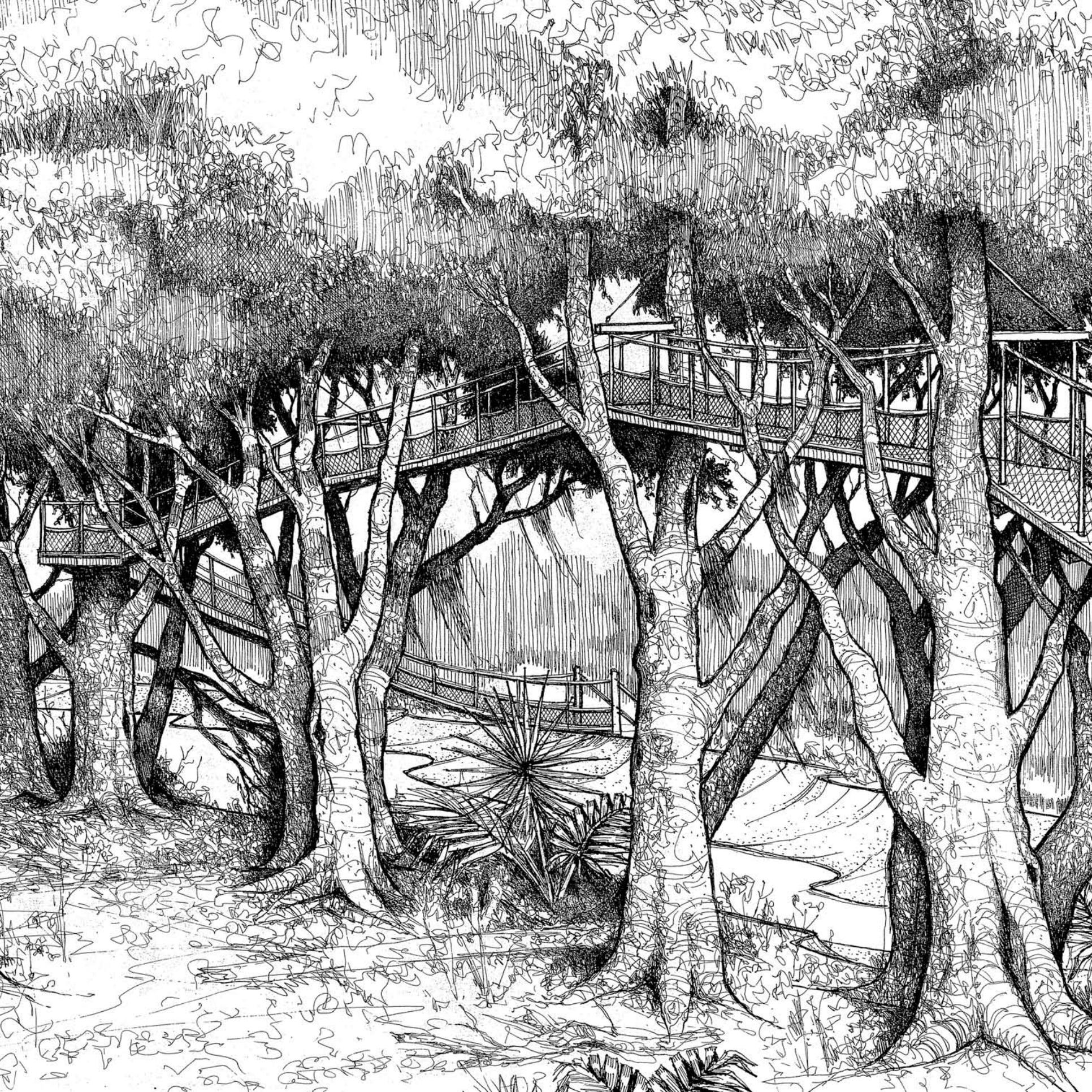
DRAWN BY

CHECKED BY

SHEET NO.

**A2.3**

COLLIER BEACH & PLAZA  
PLANS & ELEVATIONS





W. EDWARDS · 2013

SCALE -  $\frac{3}{8}$ " = 1'-0"

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Chaplin Linear Park – NEW DEVELOPMENT CONCEPTUAL      DRB#: DR 140001

DATE: February 11, 2014

RECOMMENDATION:      Approval       Approval with Conditions       Denial

The Applicant proposes construct a linear park linking the Veteran Memorial Park and Shelter Cove Community Park to the existing Chaplin Park and Collier Beach Park. Phase 1 elements include a 16' wide paved trail, two parking areas, pedestrian bridge and boardwalk, and items associated with "The Dock" including restrooms, fishing pier, and plaza.



Town of Hilton Head Island  
Community Development Department

One Town Center Court  
Hilton Head Island, SC 29928  
Phone: 843-341-4757 Fax: 843-842-8908  
www.hiltonheadislandsc.gov

|                       |       |
|-----------------------|-------|
| FOR OFFICIAL USE ONLY |       |
| Date Received:        | _____ |
| Accepted by:          | _____ |
| App. #: DR            | _____ |
| Meeting Date:         | _____ |

Applicant/Agent Name: Kristy Carr Company: Marine Tech Services  
 Mailing Address: 171 Squire Pope Rd Ste C City: HHT State: SC Zip: 29926  
 Telephone: 843-842-2187 Fax: 843-316-3010 E-mail: info@marinetechhhi.com  
 Project Name: Boat Port Project Address: 171 Squire Pope Rd HHT, SC 29926  
 Parcel-Number [PIN]: R511 007 000 002B 0000  
 Zoning District: Waterfront mixed use Overlay District(s): Corridor Overlay District

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number  
 Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303:F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"x 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Kristy Carr  
SIGNATURE

1/23/14  
DATE



# Marine Tech Services

Sail & Motor Yacht Systems

## PROJECT NARRATIVE

Marine Tech Services would like to purchase/construct a steel structure for use as a boat port and respectfully submit this project for your review.

The intention of the boat port is to provide protection for our employees from weather (rain and direct sun) as well as protection for vessels while being serviced in our yard. The structure will be situated in the rearmost corner of our service yard to minimize visibility and align with our existing 20' access gate. Our yard is currently enclosed by chain link fence with black privacy screening.

### **PRODUCT DETAILS:**

SIZE: 20' Wide x 12' High (13' @ peak) x 50' Long

FRAME: 12 Gauge Galvanized Steel (20 Year Steel Warranty)

ROOF: 24 Gauge Painted Galvanized Steel

ANCHORING: Concrete Anchor Bolts w/ Epoxy on Concrete Slab

ENGINEERING: Certified Frame to meet 150 mph Wind Speeds

COLOR: Beige or Brown to match building exterior and wooded background; or as preferred by DRB.



## **Roofing and Siding Colors**



Proposed  
Location

50'

20'

Existing  
20' wide









The image shows the exterior of a single-story building with a gabled roof and a central entrance. The building has a light-colored, vertically-paneled facade. A sign above the entrance reads "MARINE TECH SERVICES". The entrance is a dark-framed glass door. To the right of the door is a lattice planter box with some dried plants. The foreground is a paved area, and there are trees in the background.

**MARINE TECH  
SERVICES**













## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Boat Port – ALTERATION/ADDITION

DRB#: DR 140002

DATE: February 11, 2014

RECOMMENDATION:    Approval     Approval with Conditions     Denial

The Applicant proposes to install an open-air steel structure for use as a boat port, providing protection for employees from weather while vessels are being serviced in the existing fenced yard. Recommend roof color match existing building color.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

| FOR OFFICIAL USE ONLY |         |
|-----------------------|---------|
| Date Received:        | 1/28/14 |
| Accepted by:          | OH      |
| App. #: DR            | 140003  |
| Meeting Date:         | 2/11/14 |

Applicant/Agent Name: ROBERT M. SAXTON Company: NYCP, INC.  
 Mailing Address: P.O. DRAWER 1129938 City: H.H.I. State: SC Zip: 29938  
 Telephone: 816-7300 Fax: \_\_\_\_\_ E-mail: ROBERTMSAXTON@YAHOO.COM  
 Project Name: NEW YORK CITY PIZZA Project Address: 81 POPE AVE.  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ Overlay District(s): DRB

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number  
 Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\_\_\_\_\_ Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- \_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- \_\_\_\_\_ Context photographs of neighboring uses and architectural styles.
- \_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- \_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



## **NARRATIVE IN SUPPORT OF MODIFICATIONS TO 81 POPE AVENUE**

Applicant desires to modify subject property by removing the existing upper floor and roof and constructing an outdoor oriented dining facility.

Approximately half of the resulting area will be covered and will contain a kitchen, bar and toilets. The outdoor portion will support casual dining areas. New access stairs will be constructed at locations of existing stairs.

The exterior lower floor stucco will be painted. The new upper level will be surfaced with Hardiplank. The roof will be standing seam metal. Off hour enclosure of open spaces will be by overhead doors. New handrails will be glass to enable pedestrians to view upper floor activity and diners to better view their surroundings. The canopies, as depicted, are in lieu of a roof to define a limit to the upper level. They will be uplit and glow to announce the presence of the use.

Awnings shade the lower windows replacing the existing roof overhang. The existing awning over the lower entrance will be replaced by a larger one emphasizing the entrance location.

Since this construction is to accompany modifications to other buildings on the site, color selections will be brought to this board as they are developed. Lighting details will also be submitted as developed.



NEW ORLEANS  
RESTAURANT

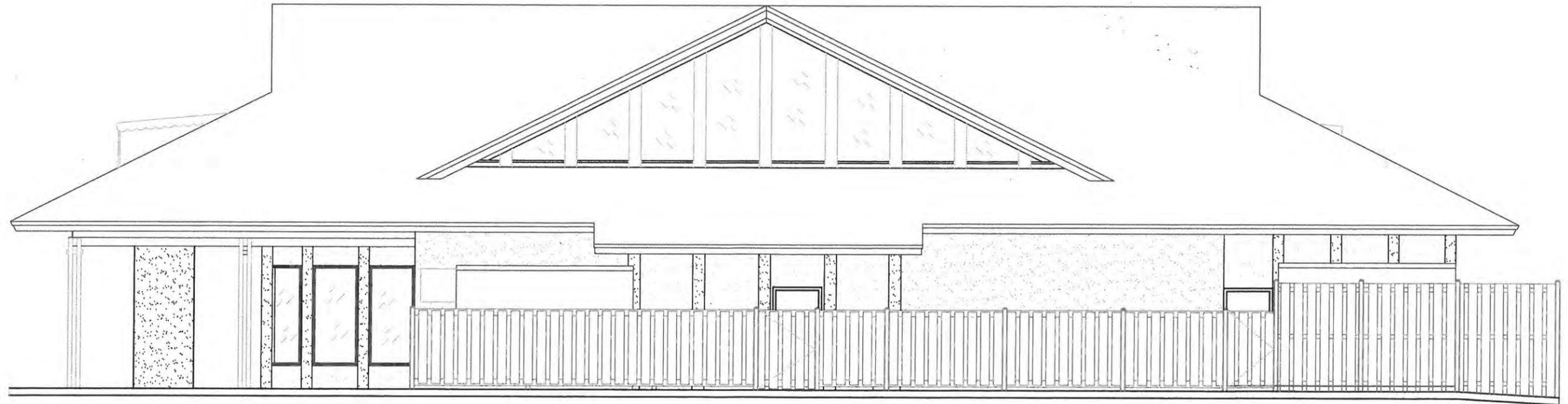




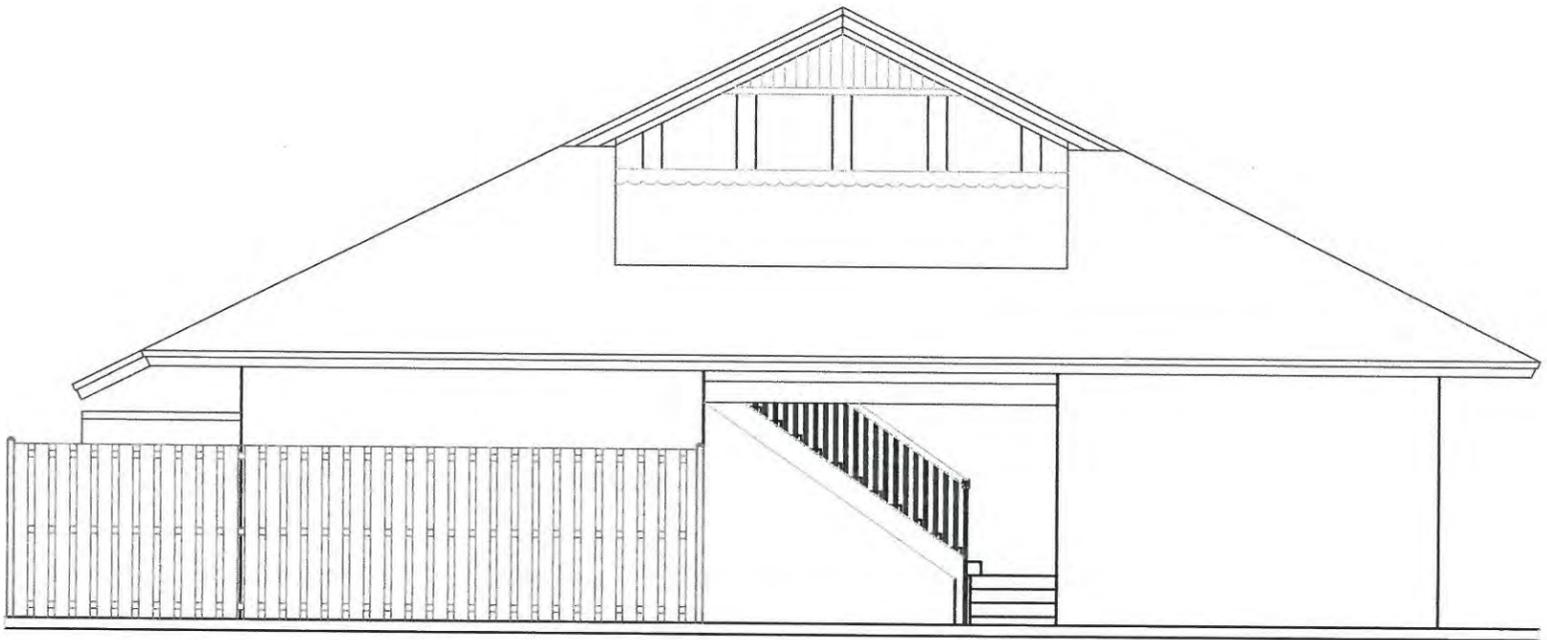
NEW YORK CITY PIZZA  
PIZZA RESTAURANT  
1978



POPE AVE. ELEVATION



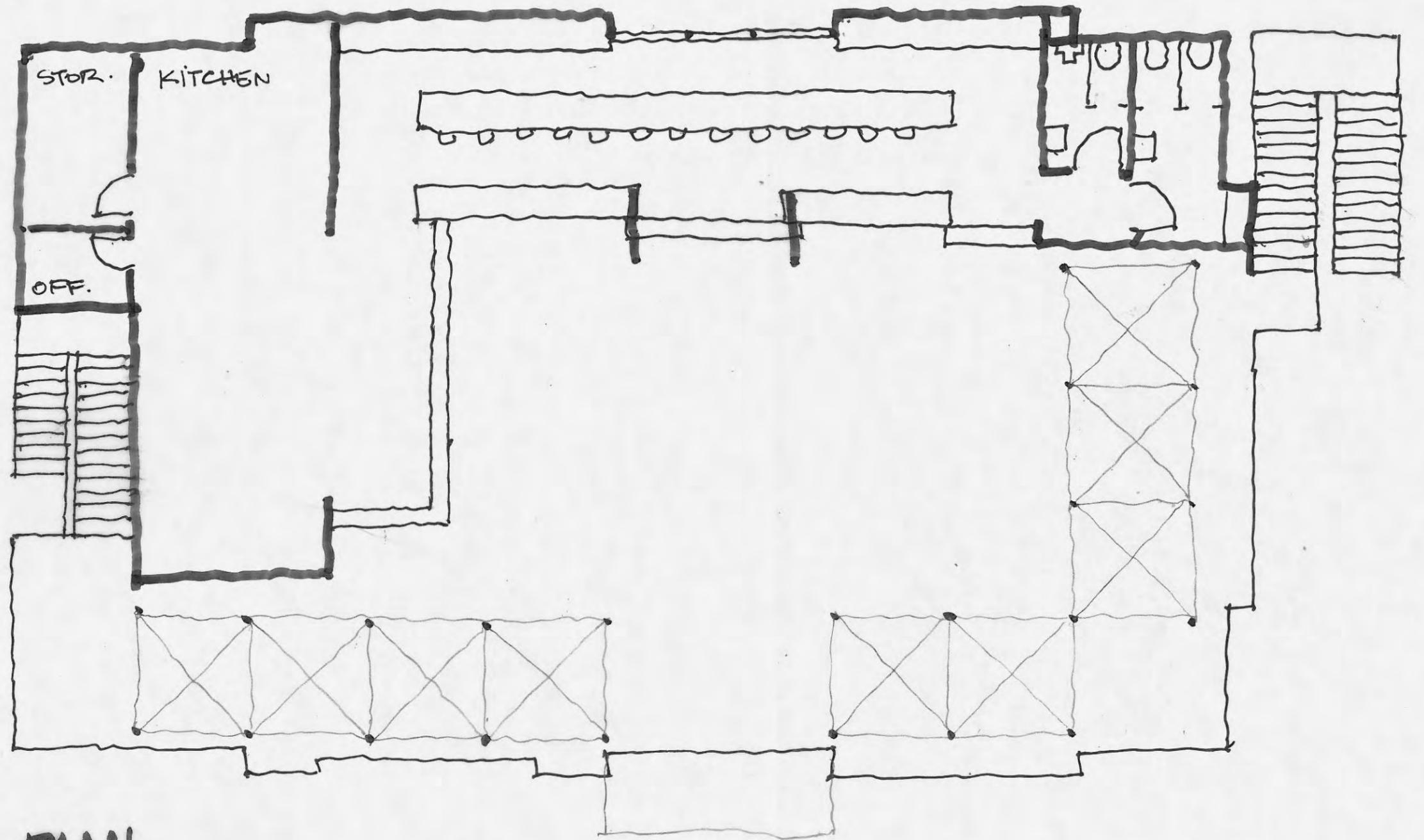
REAR



SIDE



SIDE

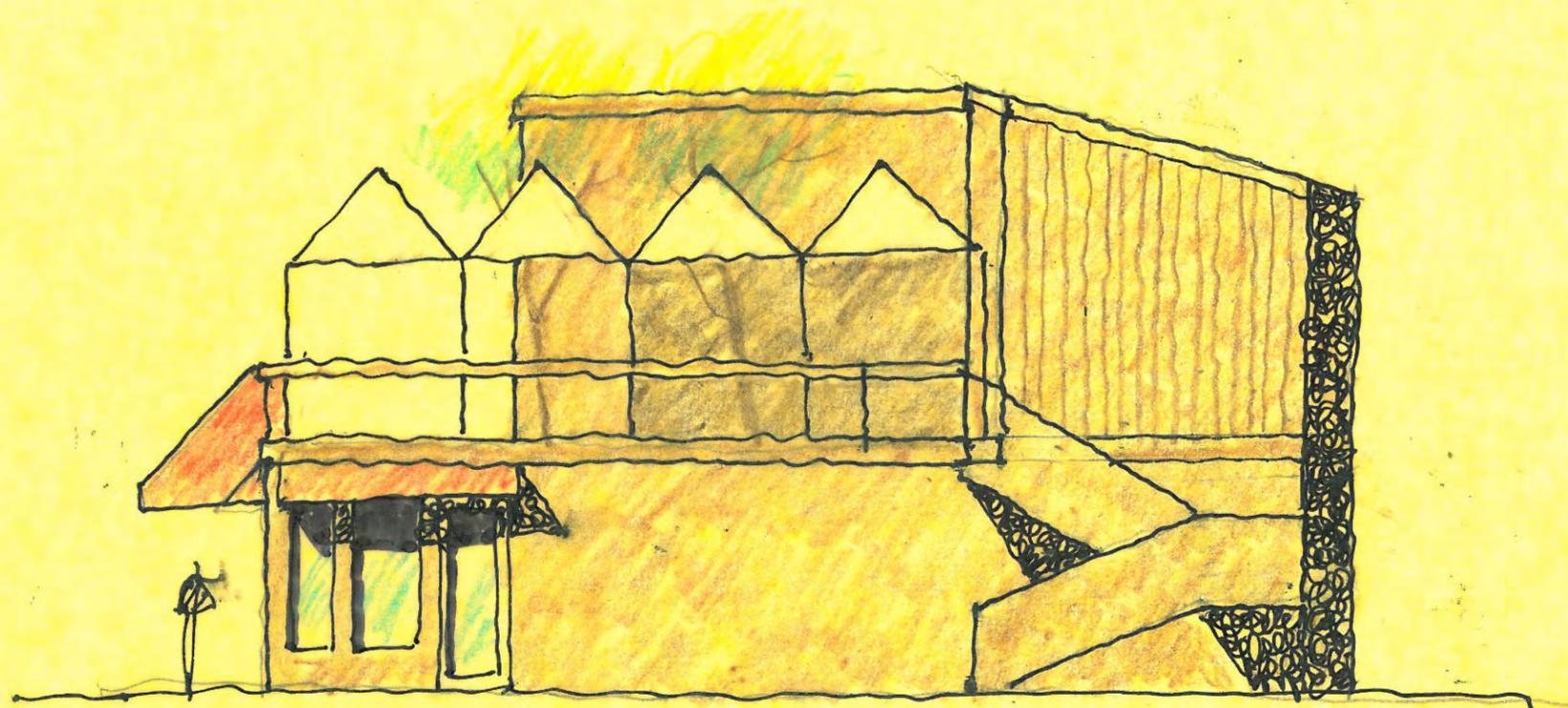


PLAN

7.1  
2/10  
2.4  
1.0  
11.



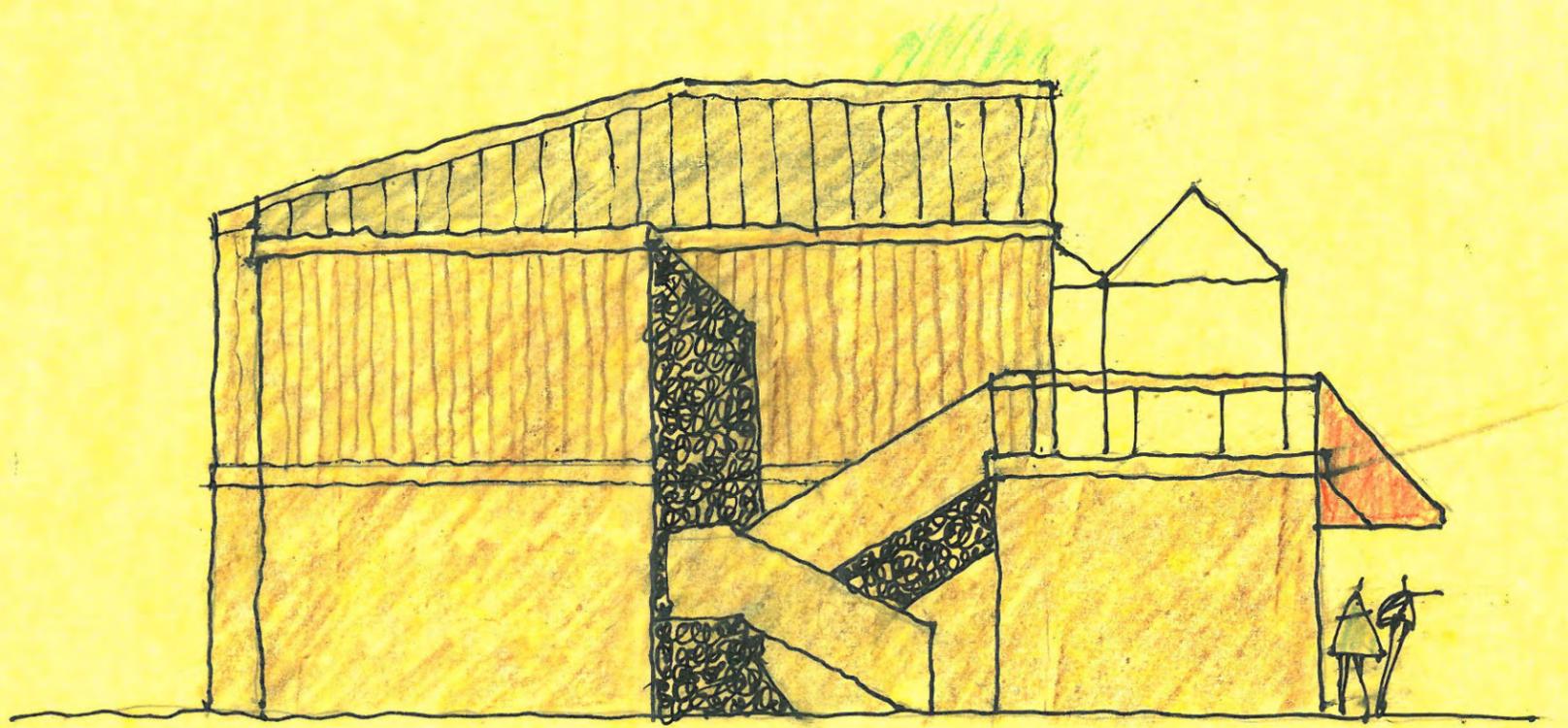
POPE AVE.



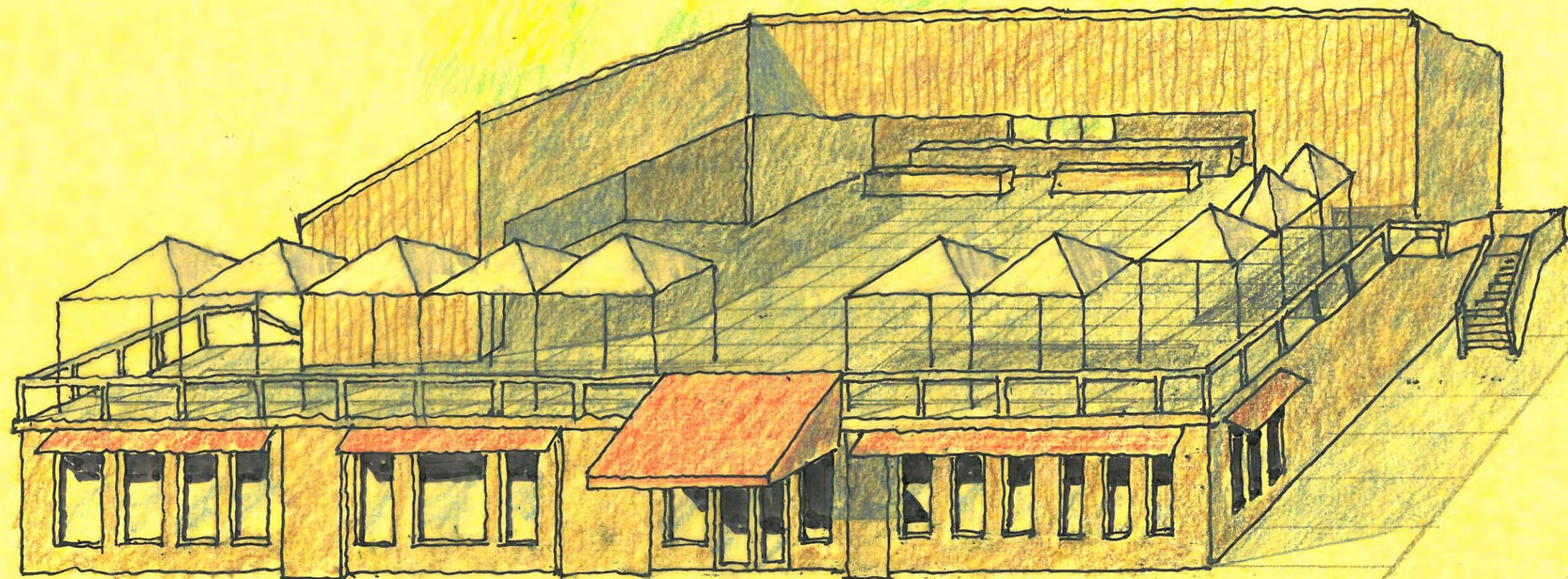
SIDE



REAR



SIDE



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: New York City Pizza – ALTERATION/ADDITION

DRB#: DR 140003

DATE: February 22, 2014

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

Staff recommends no action be taken and project return to DRB when additional information is received and package is complete.

| <b>ARCHITECTURAL DESIGN</b>   |                                     |                                     |                                     |  |
|---|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <b>DESIGN GUIDE/LMO CRITERIA</b>                                      | <b>Complies Yes</b>                 | <b>No</b>                           | <b>Not Applicable</b>               | <b>Comments or Conditions</b>  |
| Structure is designed to be appropriate to the neighborhood           | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | Concept is appropriate for neighborhood. More attention needed on semi-enclosed space. |
| Promotes pedestrian scale and circulation                             | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            |  |
| Design is unobtrusive and set into the natural environment            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |  |
| Utilizes natural materials and colors                                 | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Materials include stucco and hardi-plank. Colors unknown.                              |
| Avoids distinctive vernacular styles                                  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            |  |
| Design is appropriate for its use                                     | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            |  |
| All facades are have equal design characteristics                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |  |
| Avoids monotonous planes or unrelieved repetition                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |  |
| Has a strong roof form with enough variety to provide visual interest | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |  |
| Minimum roof pitch of 6/12  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |  |

|   |                                     |                                     |                                     |   |
|---|-------------------------------------|-------------------------------------|-------------------------------------|---|
| Overhangs are sufficient for the façade height.                                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |   |
| Forms and details are sufficient to reduce the mass of the structure                | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |   |
| Human scale is achieved by the use of proper proportions and architectural elements | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |   |
| Utilizes a variety of materials, textures and colors                                | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Materials include stucco, hardi-plank, standing seam metal roof, fabric awnings, and glass handrails. Colors unknown. |
| Incorporates wood or wood simulating materials                                      | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            |   |
| Windows are in proportion to the facade   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | Existing first floor windows are in proportion to façade.   |
| Details are clean, simple and appropriate while avoiding excessive ornamentation    | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | Little to no ornamentation.   |
| Utilities and equipment are concealed from view                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |   |
| Decorative lighting is limited and low wattage and adds to the visual character     | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | None shown at this time.  |
| Accessory elements are design to coordinate with the primary structure              | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            |   |



Town of Hilton Head Island  
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|                       |       |
|-----------------------|-------|
| FOR OFFICIAL USE ONLY |       |
| Date Received:        | _____ |
| Accepted by:          | _____ |
| App. #: DR            | _____ |
| Meeting Date:         | _____ |

Applicant/Agent Name: Shelter Cove Towne Centre Company: Shelter Cove Towne Center LLC  
 Mailing Address: 40 Shelter Cove Lane City: HH State: SC Zip: 29928  
 Telephone: 686-209 Fax: 686-5581 E-mail: albritton@sheltercovecentre.com  
 Project Name: Shelter Cove Towne Centre - Bldg 121 Project Address: 24 Shelter Cove Lane Hilton Head Island, SC  
 Parcel Number [PIN]: R52001200B00260000 29928  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 New Development – Conceptual  
 New Development – Final, indicate Project Number  
 (To previously approved Development)  
 Alteration/Addition  
 Minor External Change

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- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
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Additional Submittal Requirements:

**Alterations/Additions and Minor External Changes**

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- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
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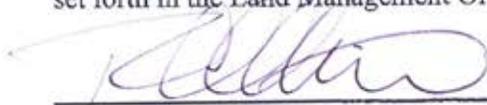
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.** YES  NO *will submit SOHCARB approval later.*

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

1-28-14  
\_\_\_\_\_  
DATE

NARRAMORE ASSOCIATES, INC.

Architects & Planners

AMERICAN INSTITUTE OF ARCHITECTS



January 30, 2014

To Whom It May Concern,

**Shelter Cove Towne Centre - Building 121 Narrative of Design Conformance**

Building 121 has been designed by Narramore Associates to harmonize with both island vernacular style and the Shelter Cove Towne Centre to provide a pleasant and inviting atmosphere for patrons. The 2 story, hipped roof structure has been broken up into several masses with varying roof pitches, extensive balconies, and compound materials. Seamed metal roofing, brick veneer, siding, and tabby stucco materials have been used to convey the local vernacular style. The colors for brick, siding, and stucco have been chosen to match the balance of the Town Centre structures for a strong contextual connection. Roof lines at both first and second stories reduce the scale of the building to the pedestrian level. The building includes large expanses of covered patio on both levels to connect its interiors with the lush natural surroundings and the surrounding development. Our office believes that this building achieves Island Character through the many aspects above and ranging from overall massing down to ornate handrail detailing.

Sincerely,

David L. Narramore, President

SHELTER COVE TOWNE CENTRE – BUILDING 121

24 SHELTER COVE LANE  
HILTON HEAD ISLAND, SC 29928

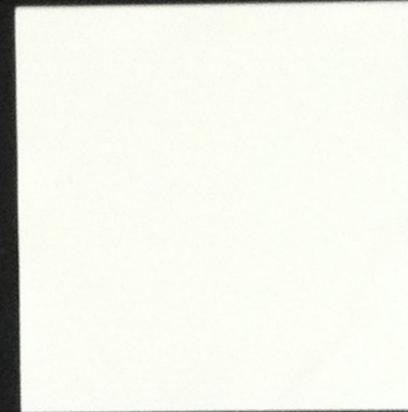
STOREFRONT TO MATCH "BRITE RED" METAL ROOFING



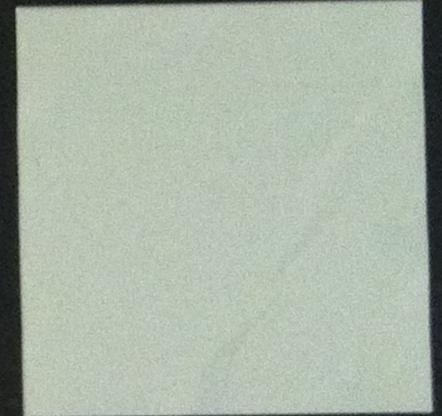
MCELROY STANDING SEAM METAL ROOFING - "BRITE RED"

TABBY STUCCO - "IVORY BUFF"  
(CURRENTLY USED ELSEWHERE ON PROJECT)

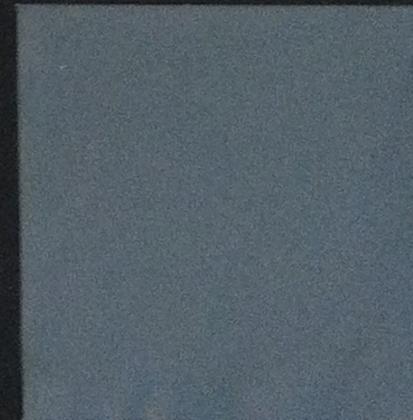
BORAL BRICK - "STEEPLECHASE"  
(CURRENTLY USED ELSEWHERE ON PROJECT)



SHERWIN WILLIAMS #7042 "SHOJI WHITE"



SHERWIN WILLIAMS #6199 "RARE GRAY"



SHERWIN WILLIAMS #7075 "WEB GRAY"



**SHELTER COVE HARBOUR COMPANY**

PO Box 6004  
Hilton Head Island, SC 29938

February 3, 2014

Roni Allbritton  
Shelter Cove Towne Centre  
40 Shelter Cove Lane, Suite 180  
Hilton Head Island, SC 29928

RE: Building 121 Submittal

Dear Roni,

The Shelter Cove Harbour Company's ARB is in receipt of your application for the above reference project at your property.

The ARB met and approved the project as submitted with the following condition:

1. The SCARB desires that the applicant resubmit another sample for the roof and window trim of the building as the "Deep Red" color is too bright in comparison with the other preapproved colors of the development. Something along the lines of the metal roof at Disney would be more appropriate.

Please notify the SCHC office at (843) 310-0431 or by email at [jbetts@sheltercovehc.org](mailto:jbetts@sheltercovehc.org) upon selection on the new material.

With Kindest Regards,

John P. Betts  
Manager

Cc: Mr. Scott Foster, Chairman  
SCHCARB Committee

**EXTERIOR FINISH SCHEDULE**

**CMU SCHEME:**  
PAINTED TO MATCH TABBY STUCCO

**BRICK SCHEME:**  
BRICK - "STEEPLECHASE" BY BORAL

**MORTAR SCHEME:**  
ALL MORTAR SHALL BE "DESERT BUFF"  
BY HOLCIM OR EQUAL

**STUCCO:**  
TABBY STUCCO - "IVORY BUFF"

**SIDING:**  
SW #7042 "SHOJI WHITE"

**TRIM & FACIA:**  
SW #6199 "RARE GRAY"

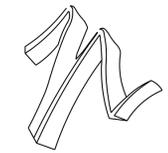
**EXPOSED STEEL COLUMNS:**  
SW #7075 "WEB GRAY"

**METAL ROOFING AND COPING:**  
STANDING SEAM METAL ROOFING - "BRITE RED"  
HIGH SEAM PANEL BY MCELROY METAL

PORCH ROOFS BY TENANT- GALVALUME

**STOREFRONT SYSTEM:**  
ALL GLASS SHALL BE 1" LOW-E  
INSULATED GLASS W/ALUMINUM FRAMES -  
COLOR TO MATCH "BRITE RED" METAL ROOFING

**NOTE:**  
ALL ELECTRICAL EQUIPMENT, DOORS, AND DOWNSPOUTS ARE TO BE  
PAINTED TO MATCH ADJACENT WALLS.



**NARRAMORE ASSOCIATES, INC.**  
Architects & Planners

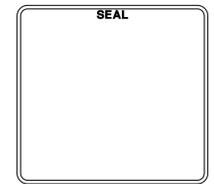
AMERICAN INSTITUTE OF ARCHITECTS

P.O. Box 8438 Greenville, SC 29604  
310 Mills Ave. Greenville, SC 29605

Phone: 864.242.9881  
Fax: 864.232.5202

plans@narramore-architects.com

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2743 PERIMETER PKWY  
BLDG 100 STE 370  
AUGUSTA, GA 30909

**POSEIDON - BLDG. 121**  
24 SHELTER COVE LANE  
HWY. 278, MILE MARKER 8  
HILTON HEAD ISLAND, SC 29928

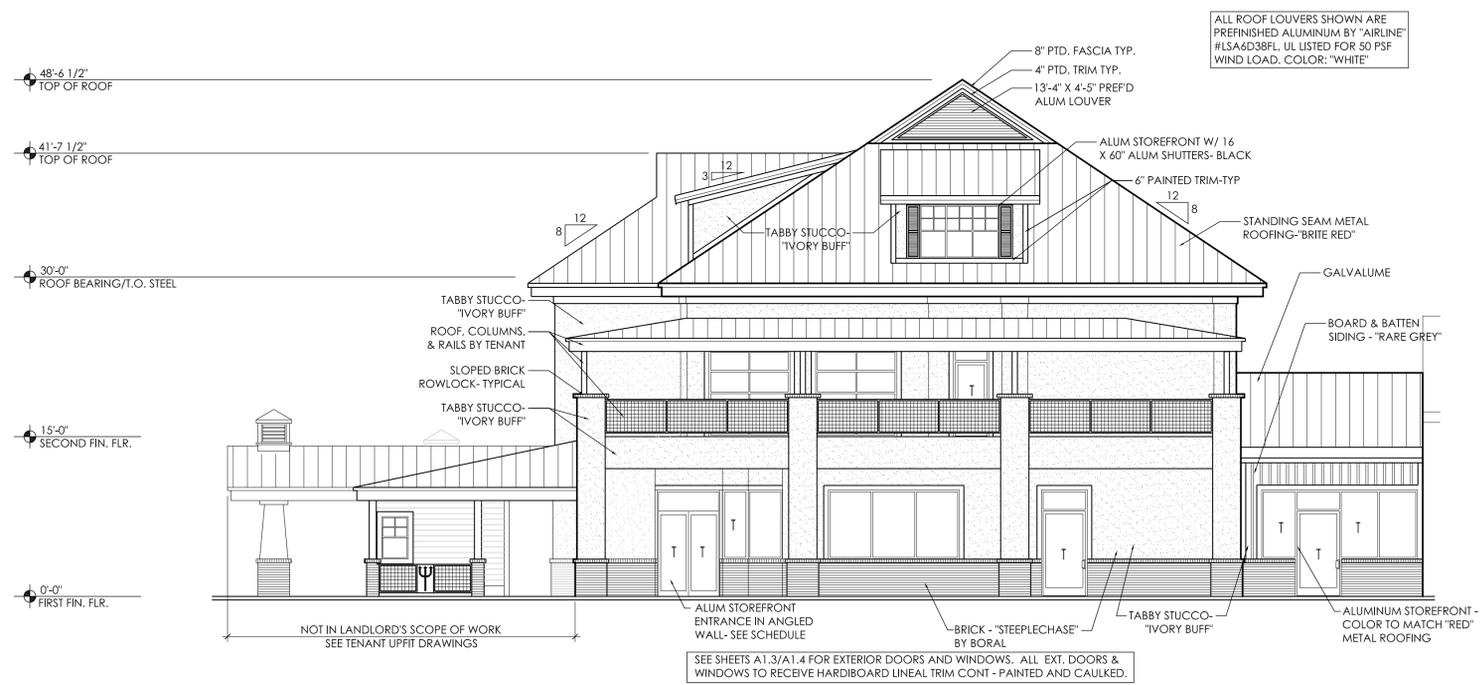
**REVISIONS**

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**DOCUMENT DATA**

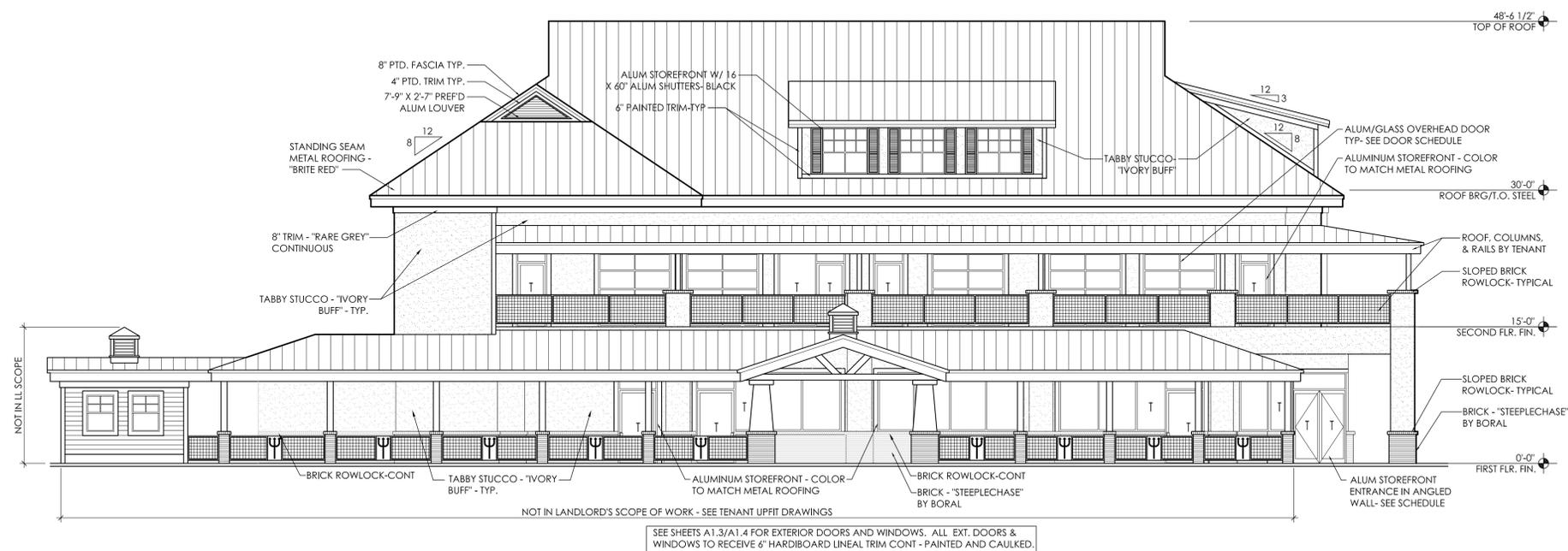
|                       |
|-----------------------|
| BUILDING 121          |
| <b>PROJECT NUMBER</b> |
| 13914                 |
| <b>ISSUE DATE</b>     |
| 01-10-14              |

SHELTER COVE  
HILTON HEAD, SC  
**A2.0**  
EXTERIOR ELEVATION  
BUILDING 121



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**NOTE:**  
ALL CONSTRUCTION ON BALCONIES ABOVE TOP OF SLAB BEYOND  
FACE OF EXTERIOR BUILDING WALLS (CONTAINING CONDITIONED  
SPACE) SHALL BE BY TENANT. THIS INCLUDES ALL COLUMNS, BEAMS,  
RAFTERS, ROOF, HANDRAILS, AND BALUSTER SCREENS.



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

**CMU SCHEME:**  
PAINTED TO MATCH TABBY STUCCO

**BRICK SCHEME:**  
BRICK - "STEEPLECHASE" BY BORAL

**MORTAR SCHEME:**  
ALL MORTAR SHALL BE "DESERT BUFF"  
BY HOLCIM OR EQUAL

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TABBY STUCCO - "IVORY BUFF"

**SIDING:**  
SW #7042 "SHOJI WHITE"

**TRIM & FACIA:**  
SW #6199 "RARE GRAY"

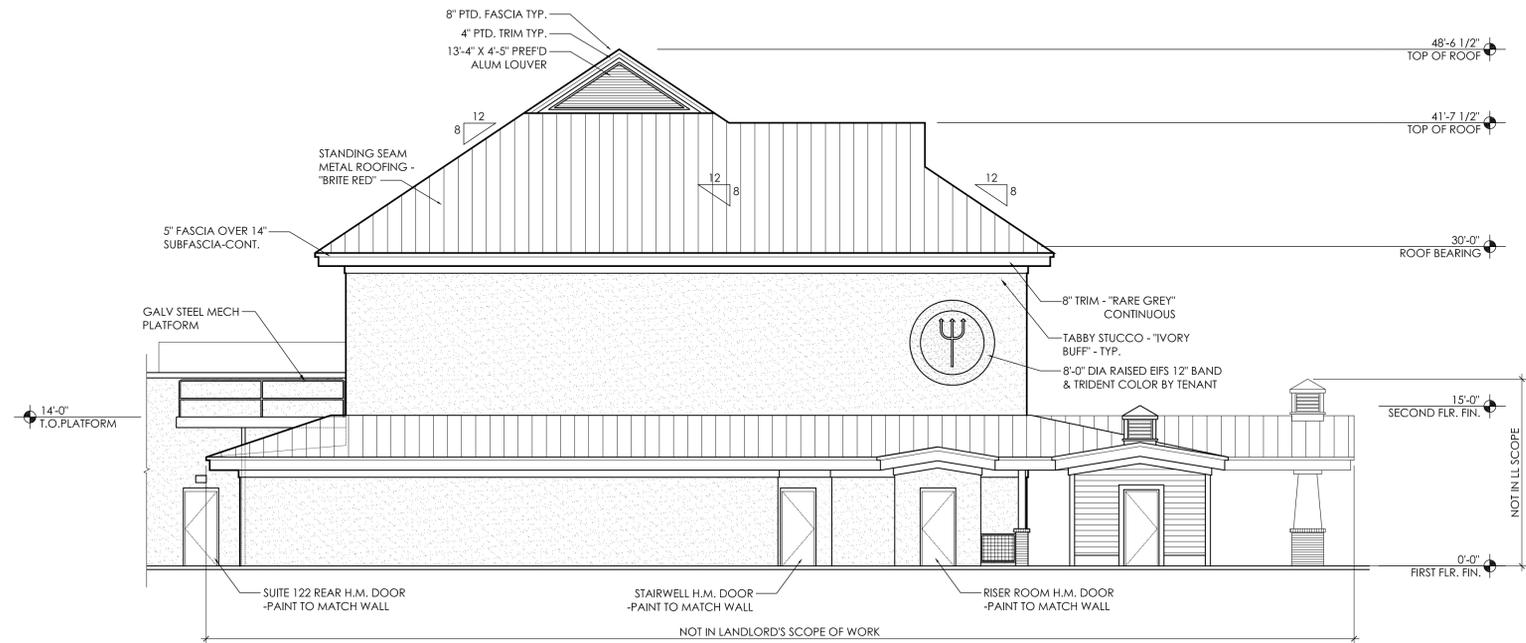
**EXPOSED STEEL COLUMNS:**  
SW #7075 "WEB GRAY"

**METAL ROOFING AND COPING:**  
STANDING SEAM METAL ROOFING - "BRITE RED"  
HIGH SEAM PANEL BY MCELROY METAL

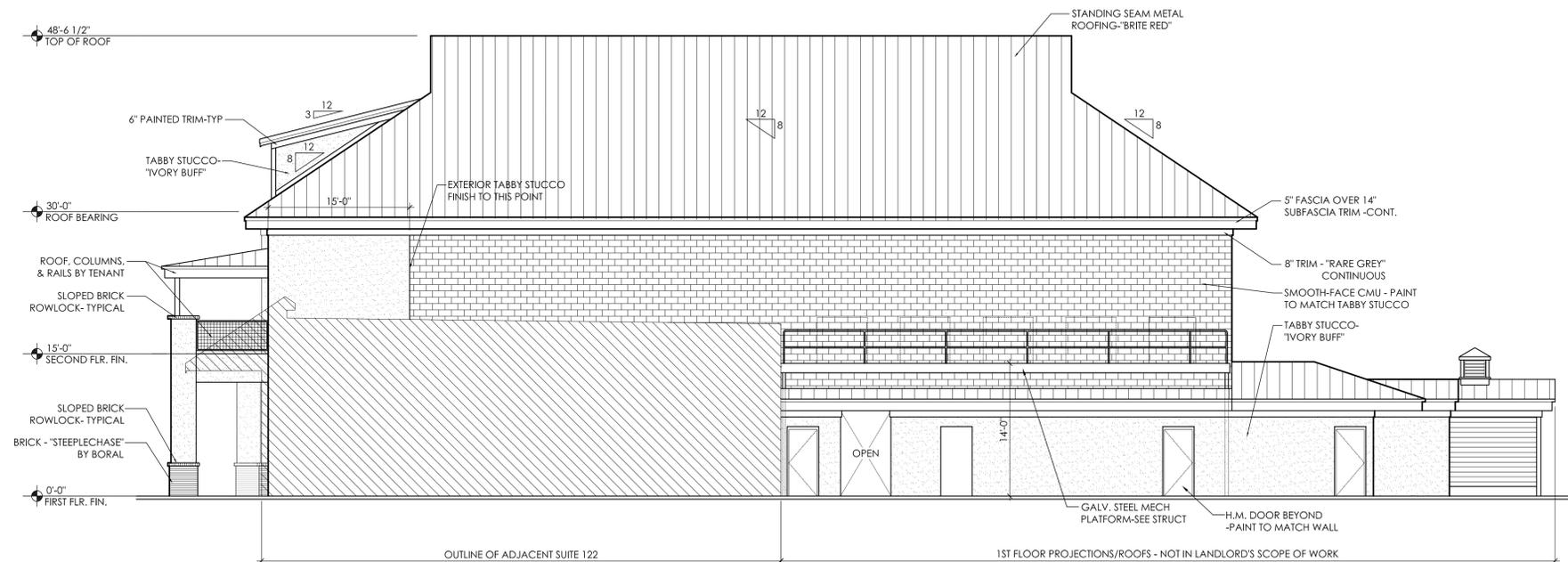
**PORCH ROOFS BY TENANT - GALVALUME**

**STOREFRONT SYSTEM:**  
ALL GLASS SHALL BE 1" LOW-E  
INSULATED GLASS W/ALUMINUM FRAMES -  
COLOR TO MATCH "BRITE RED" METAL ROOFING

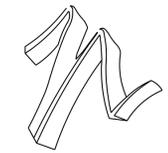
**NOTE:**  
ALL ELECTRICAL EQUIPMENT, DOORS, AND DOWNSPOUTS ARE TO BE  
PAINTED TO MATCH ADJACENT WALLS.



**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NARRAMORE ASSOCIATES, INC.**  
Architects & Planners

AMERICAN INSTITUTE OF ARCHITECTS

P.O. Box 8438 Greenville, SC 29604  
310 Mills Ave. Greenville, SC 29605

Phone: 864.242.9881  
Fax: 864.232.5202  
plans@narramore-architects.com

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**SEAL**

**Blanchard & Calhoun COMMERCIAL**

2743 PERIMETER PKWY  
BLDG 100 STE 370  
AUGUSTA, GA 30909

**POSEIDON - BLDG. 121**

24 SHELTER COVE LANE  
HWY. 278, MILE MARKER 8  
HILTON HEAD ISLAND, SC 29928

**REVISIONS**

**DOCUMENT DATA**

|                         |
|-------------------------|
| BUILDING 121            |
| PROJECT NUMBER<br>13914 |
| ISSUE DATE<br>01-10-14  |

SHELTER COVE  
HILTON HEAD, SC

**A2.1**

EXTERIOR ELEVATION  
BUILDING 121

## EXTERIOR FINISH SCHEDULE

### BRICK SCHEME:

BRICK - "STEEPLECHASE" BY BORAL

### MORTAR SCHEME:

ALL MORTAR SHALL BE "DESERT BUFF"  
BY HOLCIM OR EQUAL

### STUCCO:

TABBY STUCCO - "IVORY BUFF"

### SIDING:

SW #7042 "SHOJI WHITE"

### TRIM & FACIA

SW #6199 "RARE GRAY"

SW #7075 "WEB GRAY"

### METAL ROOFING AND COPING:

STANDING SEAM METAL ROOFING- "BRITE RED"  
HIGH SEAM PANEL BY MCELROY METAL

### GALVALUME

### STOREFRONT SYSTEM:

ALL GLASS SHALL BE 1" LOW-E  
INSULATED GLASS W/ALUMINUM FRAMES -  
COLOR TO MATCH "BRITE RED" METAL ROOFING

### NOTE:

ALL ELECTRICAL EQUIPMENT, DOORS, AND  
DOWNSPOUTS ARE TO BE PAINTED TO MATCH  
ADJACENT WALLS.



BUILDING 121 - NORTH ELEVATION



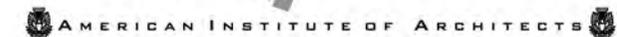
BUILDING 121 - WEST ELEVATION



## SHELTER COVE TOWNE CENTRE

HILTON HEAD ISLAND, SC

**NARRAMORE ASSOCIATES, INC.**  
Architects & Planners



P.O. Box 8438, Greenville, SC 29604 Phone: 864.242.9861  
310 Mills Ave, Suite 203, Greenville, SC 29605 Fax: 864.232.6202  
email: plans@narramore.net

## EXTERIOR FINISH SCHEDULE

### BRICK SCHEME:

BRICK - "STEEPLECHASE" BY BORAL

### MORTAR SCHEME:

ALL MORTAR SHALL BE "DESERT BUFF"  
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TABBY STUCCO - "IVORY BUFF"

### SIDING:

SW #7042 "SHOJI WHITE"

### TRIM & FACIA

SW #6199 "RARE GRAY"

SW #7075 "WEB GRAY"

### METAL ROOFING AND COPING:

STANDING SEAM METAL ROOFING- "COLONIAL RED"  
HIGH SEAM PANEL BY McELROY METAL

### GALVALUME

### STOREFRONT SYSTEM:

ALL GLASS SHALL BE 1" LOW-E  
INSULATED GLASS W/ALUMINUM FRAMES -  
COLOR TO MATCH "COLONIAL RED" METAL ROOFING

### NOTE:

ALL ELECTRICAL EQUIPMENT, DOORS, AND  
DOWNSPOUTS ARE TO BE PAINTED TO MATCH  
ADJACENT WALLS.



BUILDING 121 - NORTH ELEVATION



BUILDING 121 - WEST ELEVATION



## SHELTER COVE TOWNE CENTRE

HILTON HEAD ISLAND, SC

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email: plans@narramore.net

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: SCTC Building 121 – ALTERATION/ADDITION

DRB#: DR 140005

DATE: February 11, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The Applicant proposes modify the approved elevations for Building 121 including breaking up the hipped roof structure into several masses with varying roof pitches and extensive balconies; replacing the cool grey roof with red roof and replacing green trim/details with grey; replacing the cable rail with a black mesh handrail; replacing the second story trellis with solid roof over second floor dining; and adding a roof structure for first floor dining. Reconsider column supports on second floor roof overhang (appear too narrow); battered column and cupola feature on end of first floor roof structure (style change from remainder of building); and roof & storefront color (too bright). Shelter Cove Harbor Company ARB issued a conditional approval based on an alternate roof color.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

|                              |       |
|------------------------------|-------|
| <b>FOR OFFICIAL USE ONLY</b> |       |
| Date Received:               | _____ |
| Accepted by:                 | _____ |
| App. #: DR                   | _____ |
| Meeting Date:                | _____ |

Applicant/Agent Name: Rick S. Papadopoulos Company: Alan Woods  
 Mailing Address: 67 Lillian Cemetery Rd City: Hilton State: SC Zip: 29926  
 Telephone: 843-682-4000 Fax: 1682-4012 E-mail: r.s.papadopoulos@acewood.com  
 Project Name: The Knott House Project Address: 1 South Forest Drive  
 Parcel Number [PIN]: R 553 018 000 003A 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number

Amendment to Approved Set  
 Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

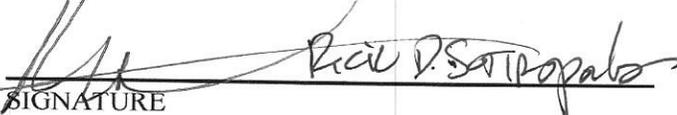
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

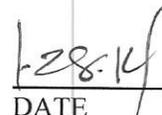
*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

  
DATE



# OCEAN WOODS LANDSCAPING

67 Union Cemetery Road

Hilton Head Island, SC 29926

**PROJECT: The Beach House  
1 South Forest Beach  
Hilton Head Island, SC**

## **NARRATIVE**

**The landscape plan set is being re-submitted to DRB for the following requested changes and additions to the previously approved plan set by the owners.**

### **Frontage Landscape Changes**

- 1. Minor changes to the plant pallet.**
- 2. The existing Sabal Palmetto shown on the approved set as “transplanted” are to be mitigated to the rear beach seating area as shown on Sheet L-1.**

### **Rear Landscape Changes/Additions**

- 3. Plant pallet modified to be more consistent with the front landscape and the branding of the Beach House. Beach Sand mulching in all beds.**
- 4. New planting bed at Pool Deck. A new 12” plant bed space with wood bollards that are consistent with other bollards used on site will be added to separate the bar over-flow from hotel and the pool deck lounge seating. There would be (2) new gas tiki torches to match existing tiki torches on-site. (See photo)**
- 5. Install Pervious Paver Sitting Areas and Pervious Walks as shown previously approved with Civil Plan set are to remain with the exception of item #4.**
- 6. Install a new 12” high stage/deck in the Tiki-Bar sand seating area.**
- 7. Modify existing stage for seating by installing steps, post and rope.**
- 8. Fire Pit and Fire Tables are previously approved in landscape plan set.**
- 9. Owner/Agent has applied for OCRM permit for Dune Work. This work is for the removal of invasive/non-native vegetation as well as removal of over-grown holly hedge and replacement with native dune vegetation. This permit is field under an amendment to an existing permit already approved. OCRM-13-169-W. (See attached amendment to permit)**
- 10. Add wood gate and fence section to Sand Seating Area along the Coligny Ocean front corner for pedestrian egress. Mitigation Palms are to be installed in this same area. Fence modifications are to match the existing fence style.**



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# OCEAN WOODS LANDSCAPING

67 Union Cemetery Road Hilton Head Island, South Carolina 29926  
 ph 843.682.4000 fx 843.682.4012 www.oceanwoods.com



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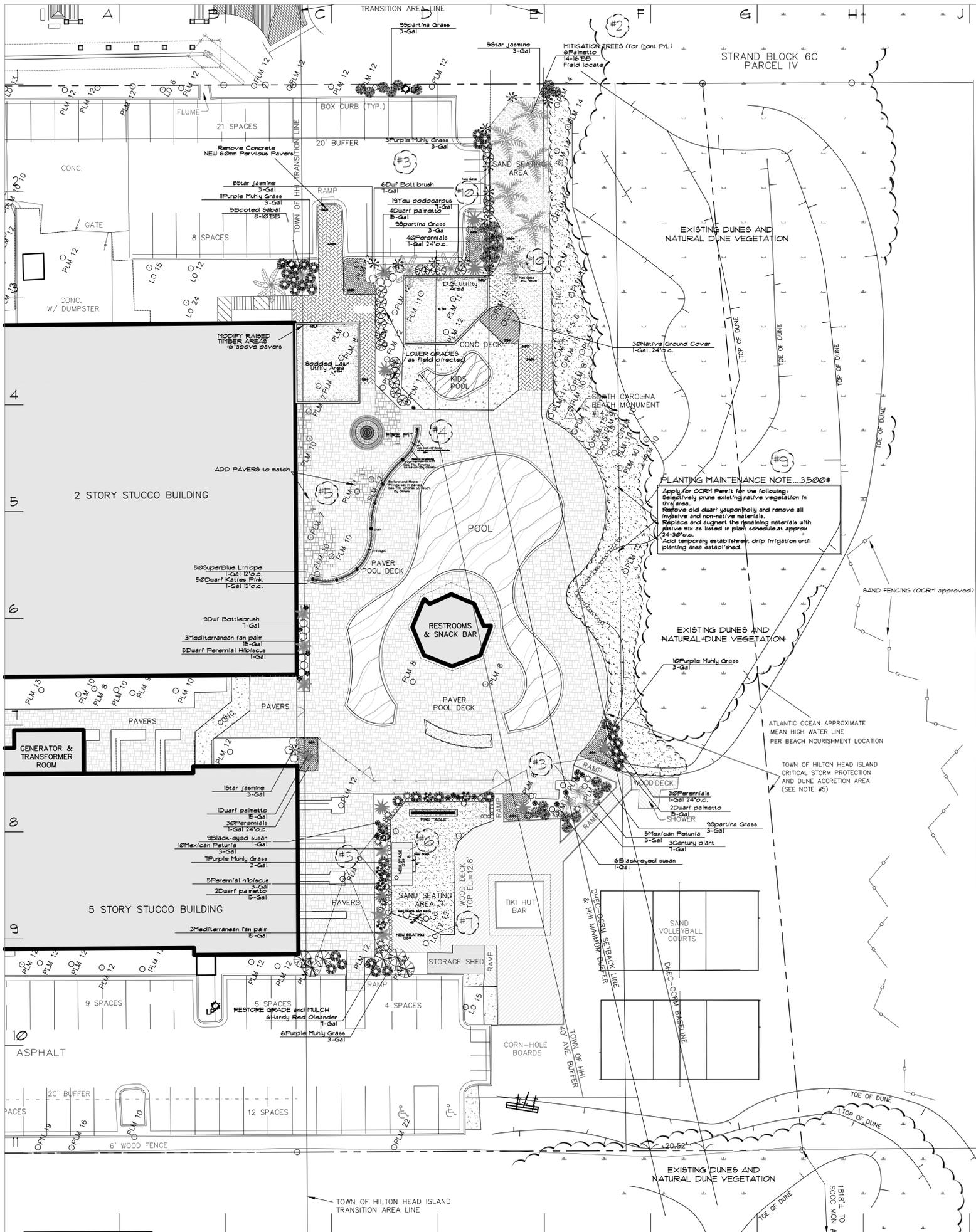
Landscape Working Drawings for:

# The BEACH HOUSE at Coligny

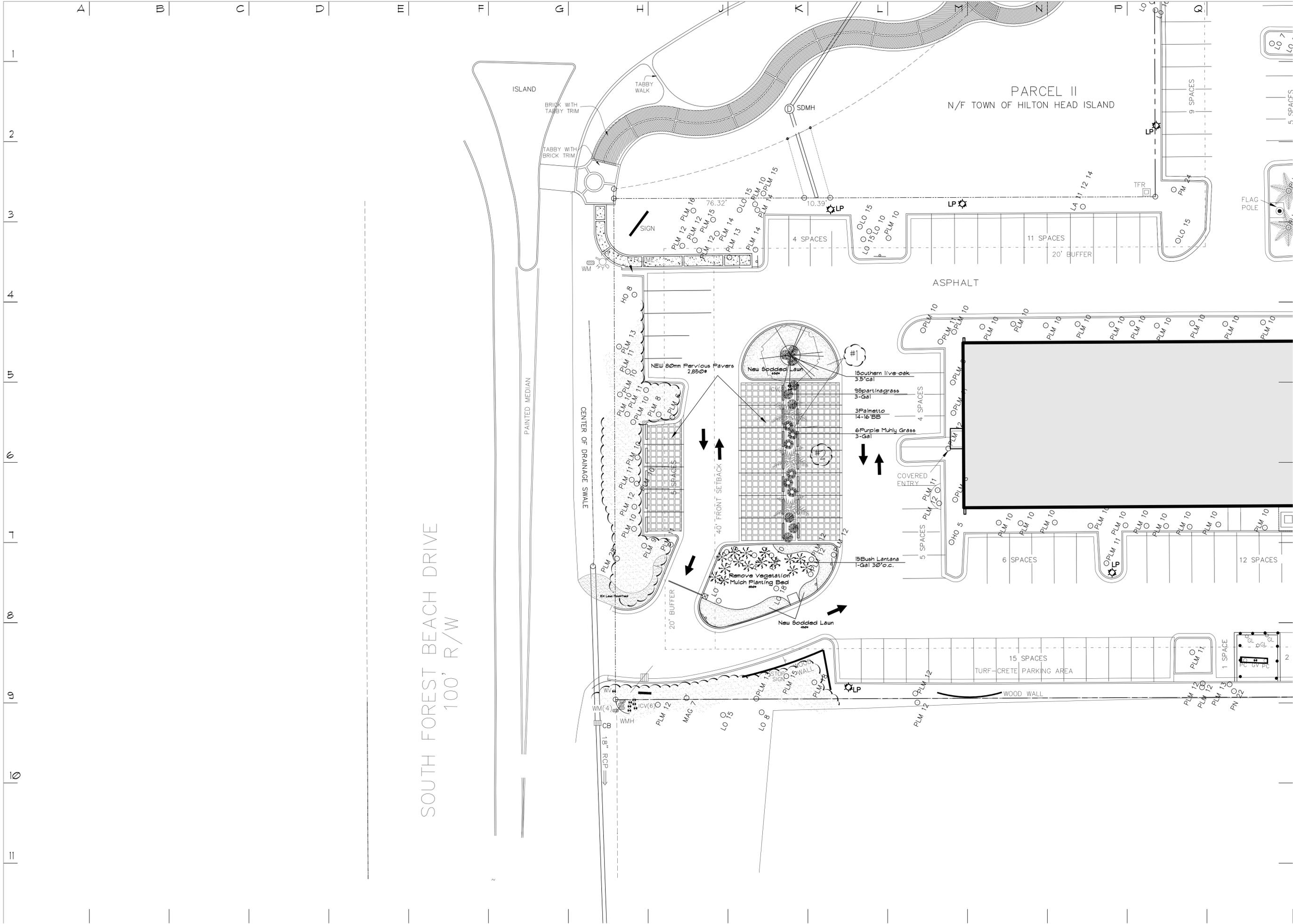
Hilton Head Island, SC

By: R. Sotiropoulos  
 Scale: 1" = 20'-0"  
 Date: 11.6.13  
 Revs: 1126.13  
 Revs: 124.14

Sht:



| Symbol   | Quantity | Scientific Name                   | Common Name              | Planting Size  |
|----------|----------|-----------------------------------|--------------------------|----------------|
| (Symbol) | 3        | Agave americana                   | Century plant            | 7-Gal          |
| (Symbol) | 15       | Callistemon rigidus 'Little John' | Dwarf Bottlebrush        | 7-Gal          |
| (Symbol) | 7        | Chamaerops humilis                | Mediterranean fan palm   | 15-Gal         |
| (Symbol) | 10       | Hibiscus moscheutos               | Perennial hibiscus       | 3-Gal          |
| (Symbol) | 5        | Hibiscus nana                     | Dwarf Perennial Hibiscus | 1-Gal          |
| (Symbol) | 44       | Muhlenbergia capillaris rubra     | Purple Muhly Grass       | 3-Gal          |
| (Symbol) | 6        | Nerium oleander 'Hardy Red'       | Hardy Red Oleander       | 7-Gal          |
| (Symbol) | 19       | Fodocarpus macrophyllus           | Yew podocarpus           | 1-Gal          |
| (Symbol) | 1        | Quercus virginiana                | Live Oak                 | 3.5' cal.      |
| (Symbol) | 15       | Ruellia brittoniana               | Mexican Petunia          | 3-Gal          |
| (Symbol) | 15       | Rudbeckia hirta                   | Black-eyed susan         | 1-Gal          |
| (Symbol) | 9        | Sabal minor                       | Dwarf palmetto           | 15-Gal         |
| (Symbol) | 10       | Sabal palmetto                    | Palmetto                 | 14-18' BB      |
| (Symbol) | 36       | Spartina Bakerii                  | Spartina Grass           | 3-Gal          |
| (Symbol) | 14       | Trachelospermum jasminoides       | Star jasmine             | 3-Gal          |
| (Symbol) | 5        | Sabal palmetto                    | Booted Sabal palmetto    | 8-10' BB       |
| (Symbol) | 30       | Native Ground Cover               | TBD                      | 1-Gal          |
| (Symbol) | 50       | Liriope muscarii 'SuperBlue'      | SuperBlue Liriope        | 1-Gal          |
| (Symbol) | 50       | Ruellia brittoniana 'Duf Katies'  | Dwarf Katie Pink         | 1-Gal          |
| (Symbol) | 100      | Native Perennials                 | TBD                      | 1-Gal          |
| (Symbol) | 15       | Lantana camara 'Dallas Red'       | Bush Lantana             | 1-Gal          |
| (Symbol) | 700      | DUNE VEGETATION MIX               | See Mix Below            | 4'PT/1-Gal Mix |
|          |          |                                   | Uniola paniculata        | 4'PT           |
|          |          |                                   | Borrchia frutescens      | 4'PT           |
|          |          |                                   | Gallardia spp            | 1-Gal          |
|          |          |                                   | Panicum virgatum         | 1-Gal          |
|          |          |                                   | Conradina canadensis     | 1-Gal          |



SOUTH FOREST BEACH DRIVE  
100' R/W

By: R. Sotiropoulos  
Scale: 1" = 16'-0"  
Date: 11.6.13  
Revs: 11.26.13  
Revs: 1.24.14

Landscape Working Drawings for:  
**The BEACH HOUSE**  
at Coligny  
Hilton Head Island, SC

**OCEAN WOODS LANDSCAPING**

67 Union Cemetery Road Hilton Head Island, South Carolina 29926  
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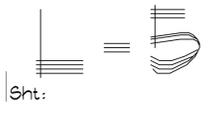
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 ph 843.682.4000 fx 843.682.4012 www.oceanwoods.com



Hardscape Working Drawings for:  
**The BEACH HOUSE**  
 at Coligny  
 Hilton Head Island, SC

By: R. Sotiropoulos  
 Scale: 1" = 10'-0"  
 Date: 11/6/13  
 Revs: 11/13/13 Fire  
 Revs: 12/4/14



#9

ATLANTIC OCEAN APPROXIMATE  
 MEAN HIGH WATER LINE  
 PER BEACH NOURISHMENT LOCATION

TOWN OF HILTON HEAD ISLAND  
 CRITICAL STORM PROTECTION  
 AND DUNE ACCRETION AREA  
 (SEE NOTE #5)

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Beach House – ALTERATION/ADDITION

DRB#: DR 140005

DATE: February 11, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The Applicant proposes modify the recently approved plans by making changes to the plant pallet, separating the hotel bar overflow from the pool deck lounge searing, installing a new stage in the tiki-bar area, and adding a wood gate and fence section at the sand seating area. The majority of the proposed modifications are in keeping with the theme of the recently approved project; the plant palette has grown to include more than double the types of plants. Consider a foundation of reliable evergreen materials and grasses in mass and use specimens as accents.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
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 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

|                              |       |
|------------------------------|-------|
| <b>FOR OFFICIAL USE ONLY</b> |       |
| Date Received:               | _____ |
| Accepted by:                 | _____ |
| App. #: DR                   | _____ |
| Meeting Date:                | _____ |

Applicant/Agent Name: Ricardo Serrapalma Company: Ocean Woods  
 Mailing Address: 107 Ocean Community Rd City: Hilton State: SC Zip: 29926  
 Telephone: 843 682 4000 Fax: 682 4012 E-mail: R.Serrapalma@OceanWoods.com  
 Project Name: San Nicolas Beach Project Address: 9 Harbour Side Lane  
 Parcel Number [PIN]: R 524 P 12 P 4 B P 72 P 4 P 4 Unit 1  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

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Project Category:  
 New Development – Conceptual  
 New Development – Final, indicate Project Number  
 Alteration/Addition  
 Minor External Change

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A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

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**New Development – Final Approval**

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**Alterations/Additions *and* Minor External Changes**

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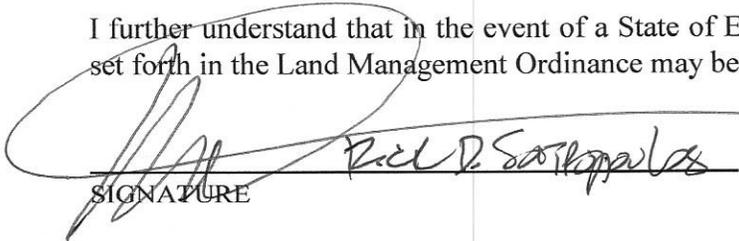
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

1.28.14  
DATE



# OCEAN WOODS LANDSCAPING

67 Union Cemetery Road

Hilton Head Island, SC 29926

**PROJECT: San Miguel's Restaurant  
Shelter Cove Harbour  
Hilton Head Island, SC**

## **NARRATIVE**

### **Existing Conditions**

**An existing planter and retired water feature exist on the rear side of the outdoor bar and seating area at San Miguel's Restaurant in Shelter Cove Marina. The Owner's desire to renovate the space to increase functionality and improve appearance of the space.**

### **Project Scope of Work**

- 1. Remove the plant materials and demolition of the hardscape as shown.**
- 2. All new hardscape surfaces are to match existing surfaces found at the site as to provide a seamless transition to the renovated space.**
- 3. Fill existing walled service area with gravel and soil to create new planter.**
- 4. All new hardscape surfaces are to match existing surfaces found at the site as to provide a seamless transition to the renovated space.**
- 5. Install Pervious Paver Sitting Area as shown.**
- 6. Install new poured in place concrete steps and railings for access to new space.**
- 7. Remove partial planter walls, re-build new stucco planter walls as shown and add additional access to the space.**
- 8. Allow for excessive over-flow drainage and sheet flow to evacuate from space through a drainage pipe as shown.**
- 9. Modify the existing irrigation system as needed to provide 100% coverage to all new and remaining plant materials.**
- 10. Add new landscape lighting for safety and highlighting existing landscape elements.**
- 11. Install new plantings as shown.**
- 12. Mulch the scope of work affected using shredded hardwood mulch at a thickness of 3".**



**SHELTER COVE HARBOUR COMPANY**

PO Box 6004  
Hilton Head Island, SC 29938

January 17, 2014

Angela Coleman  
Greenwood Communities & Resorts  
PO Box 5628  
Hilton Head Island, SC 29938

RE: San Miguel's Outside Seating Area Upgrade

Dear Angela,

The Shelter Cove Harbour Company's ARB is in receipt of your application for the above reference project at your property. We commend GCR and its' tenants efforts in the upkeep and enhancements of the commercial space at Harbourside 3.

The ARB met and approved the project per the plans submitted from Oceanwoods Landscaping.

Please notify the SCHC office at (843) 310-0431 or by email at [jbetts@sheltercovehc.org](mailto:jbetts@sheltercovehc.org) upon completion so that final review for compliance can be conducted.

With Kindest Regards,

John P. Betts  
Manager

Cc: Mr. Scott Foster, Chairman  
SCHCARB Committee





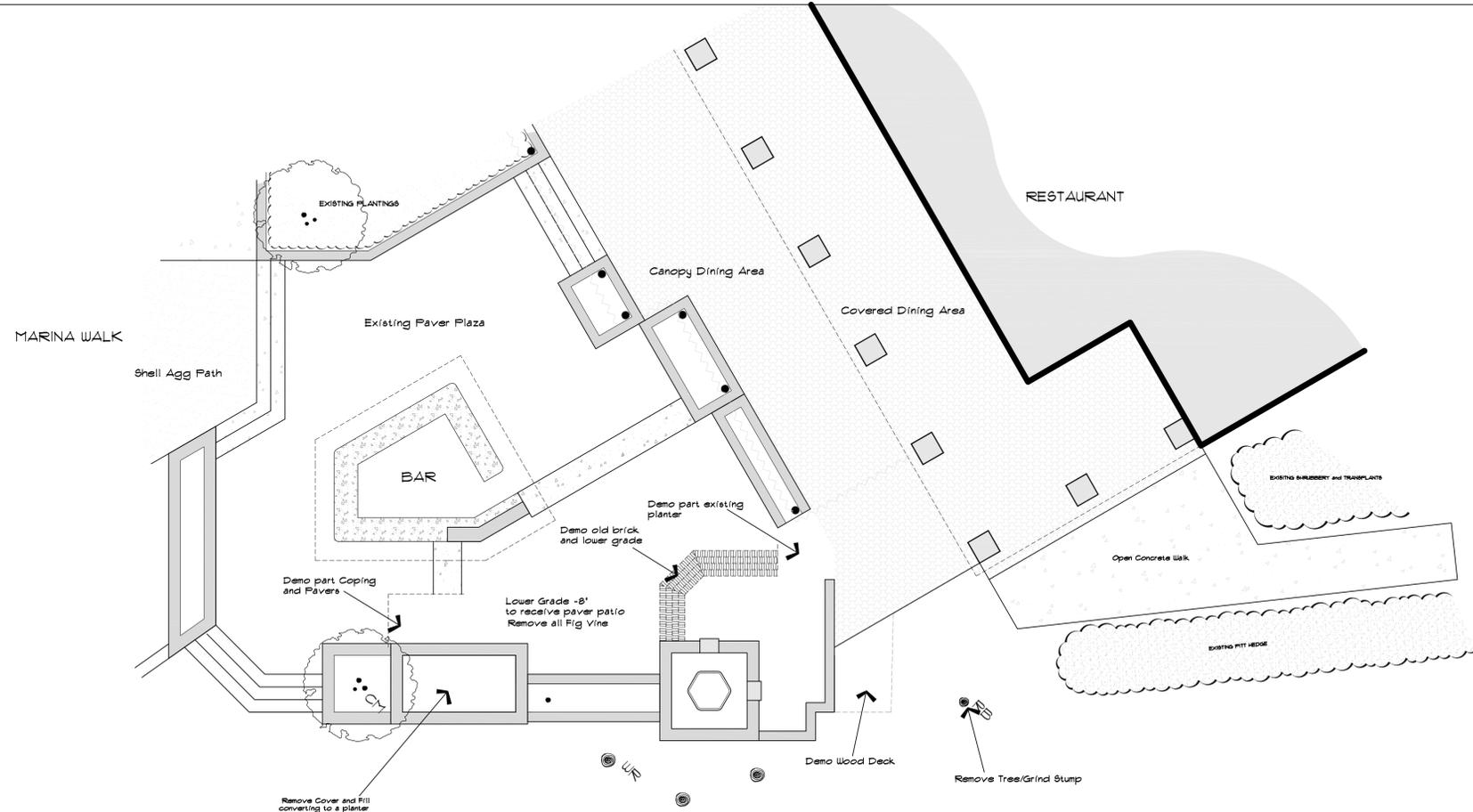




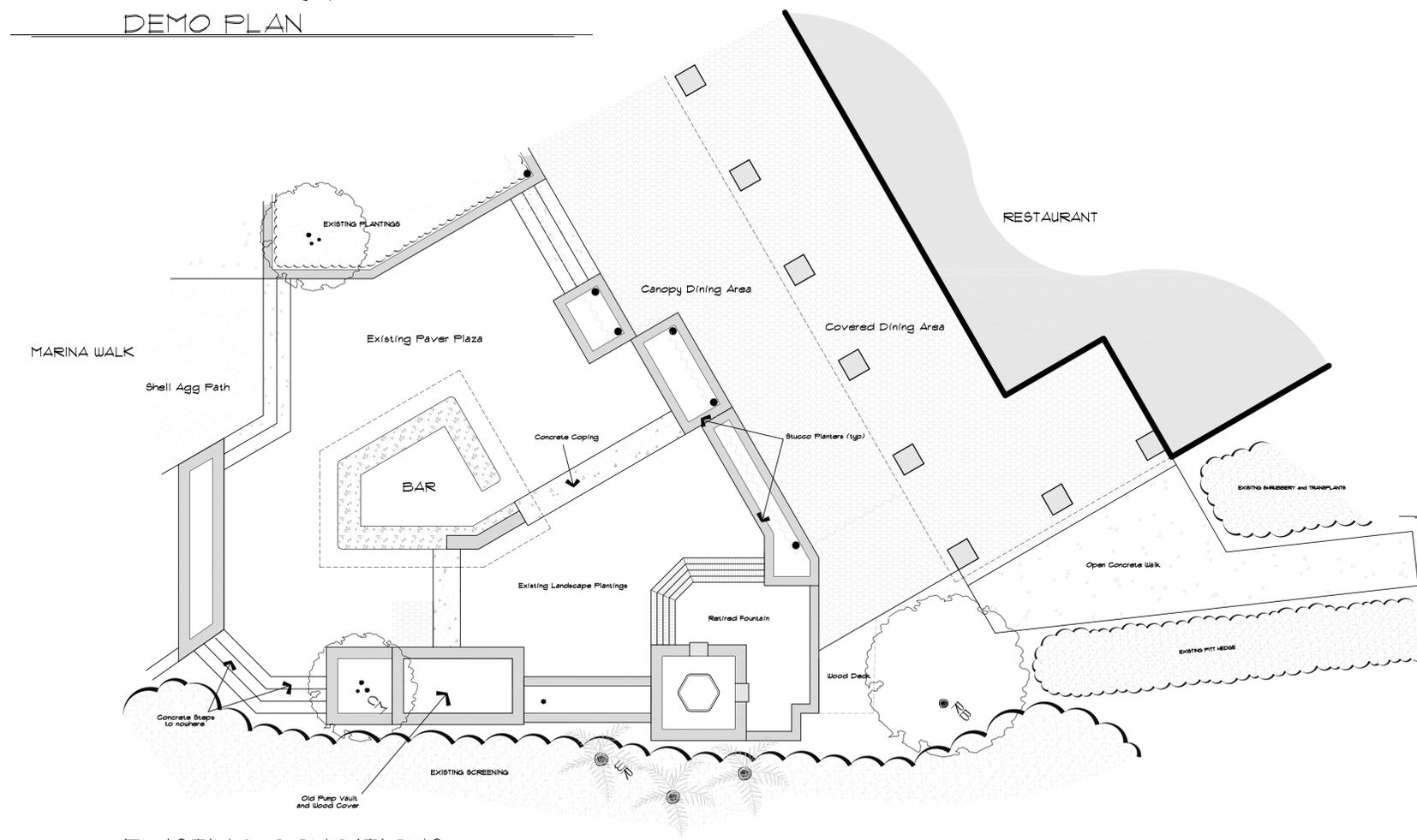




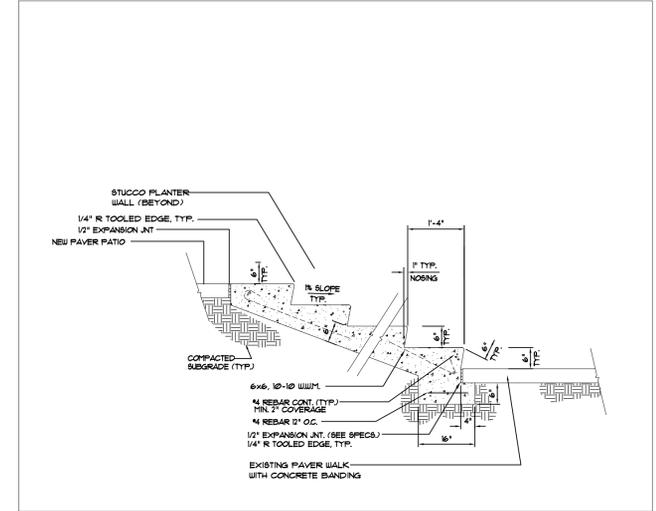




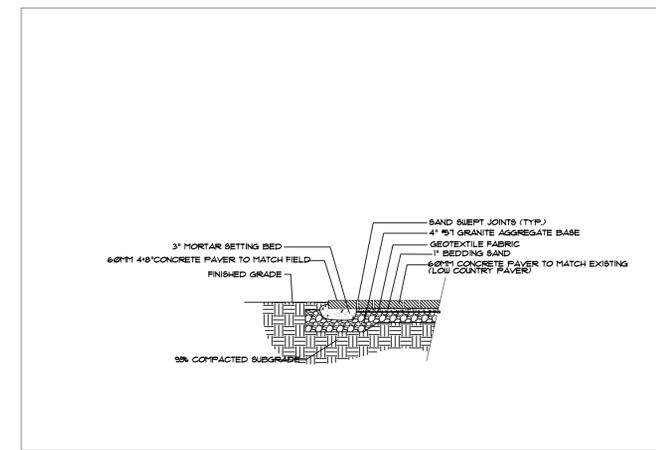
DEMO PLAN



EXISTING CONDITIONS



Paired in Place Concrete Steps



Previous Concrete Pavers



Existing Site Steps



New Proposed Step Location



Existing Paver



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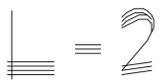
**OCEAN WOODS LANDSCAPING**  
 67 Union Cemetery Road Hilton Head Island, South Carolina 29926  
 ph 843.682.4000 fx 843.682.4012 www.oceanwoods.com

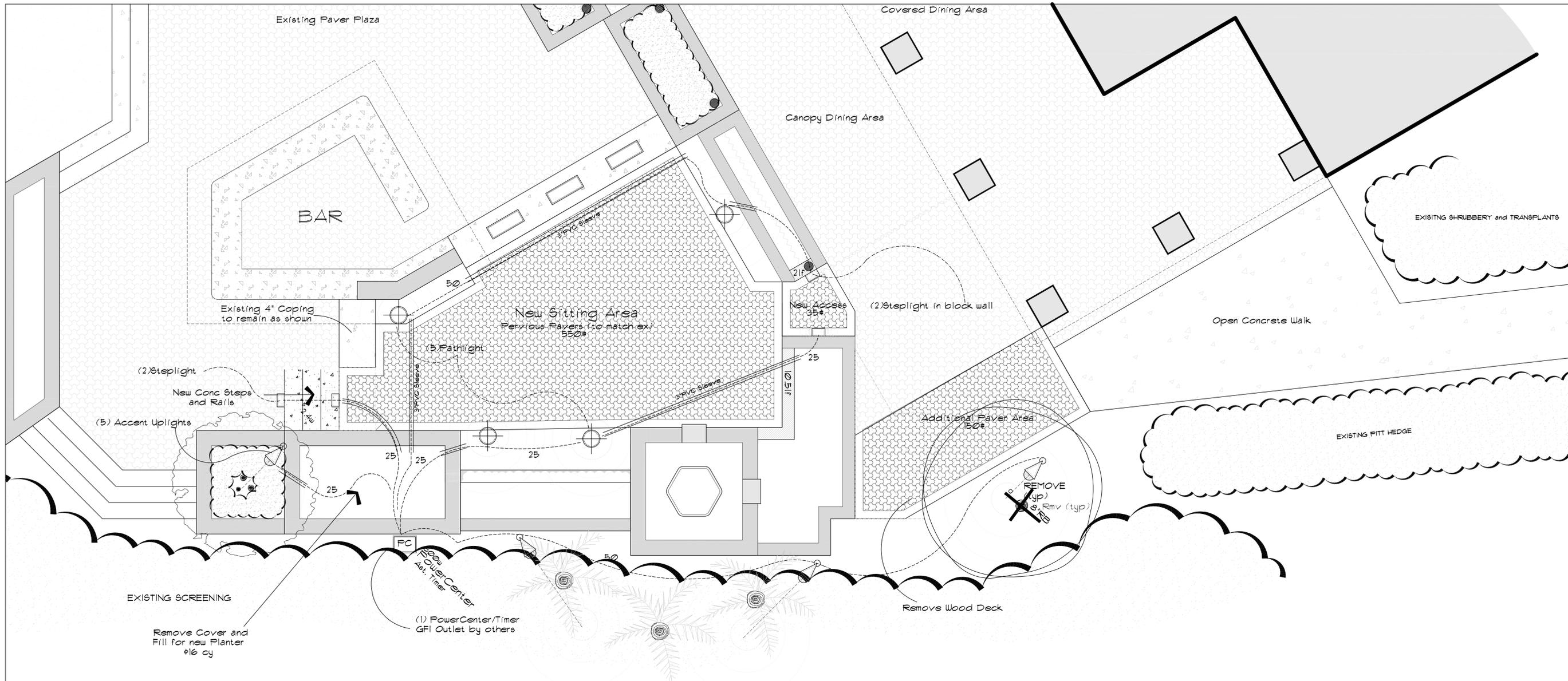


Existing Site Conditions, Demo and Details for:  
**San Miguel's Shelter Cove Marina**  
 Hilton Head, South Carolina

By: R. Sotiropoulos  
 Scale: 1"=8'-0"  
 Date: 3.20.12  
 Revs: 12.16.13  
 Revs: 11.13.14

Sht:





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A Landscape Irrigation and Lighting Plan for:

**San Miguel's Shelter Cove Marina**  
 Hilton Head, South Carolina

**LANDSCAPE LIGHTING SCHEDULE**

| Symbol | Qty | Description               | Manufacturer   | Model-Specification | Wattage.....Total |
|--------|-----|---------------------------|----------------|---------------------|-------------------|
| FC     | 1   | Lighting Transformer      | Coastal Source | LLTRANS300GNAA      | 300w              |
|        | 1   | Intermatic Timer          |                | DT-620              |                   |
|        | 5   | Brass LED Accent Uplights | Coastal Source | LLCBT16VBR-DC       | 6.0w 2700k 30.0w  |
|        | 5   | Brass LED Pathlights      | Coastal Source | LLPLCHMR16MVB-Y     | 1.5w 3000k 7.5w   |
|        | 4   | Brass LED Steplights      | Coastal Source | LLSTPLTYB           | 3.0W 3000K 12.0w  |



**COASTAL SOURCE**  
 DEFYING THE ELEMENTS

**MR16 BULLET**

LLCBT16

**MR16 BULLET**  
 DIRECTIONAL DOWNLIGHT  
 Size (H x W): 5.5in x 2.5in Weight: 4 lbs  
 Construction: Solid Brass Voltage: 12-15V  
 Finish: Beaded Natural, Vintage Brass, & White  
 Shroud: 360 Rotational with O-ring  
 Bulb: MR16 (LED Recommended)  
 Wattage: Maximum 50 Watts  
 Lens: Clear Convex Glass  
 Mounting: 1/8" Brass Stake  
 Wire: Marine-Grade Tinned Wire  
 Warranty: 5-Year Limited Warranty

**CS OFFICE LOCATIONS**

New Jersey: 1270 Glen Avenue, Moorestown, NJ 08057  
 Florida: 11450 Overseas Highway, Marathon, FL 33050

If you ever have a question or experience a problem, call us at 1-800-719-1996. You will always be pleased you purchased a Coastal Source product.

**COASTAL SOURCE**  
 DEFYING THE ELEMENTS

**CHINA HAT PATH LIGHT**

7" - LLPLCHMR16SM  
 9" - LLPLCHMR16LG

**CHINA HAT PATH LIGHT**  
 LARGE MR16 AREA LIGHT  
 Size (H x W): 23in x 7in Weight: 5 lbs  
 9" Size (H x W): 23in x 9in Weight: 5 lbs  
 Construction: Solid Brass Voltage: 12-15V  
 Finish: Beaded Natural & Vintage Brass  
 Shroud: Reflective Powder Coat Interior  
 Bulb: MR16 (LED Recommended)  
 Wattage: Maximum 50 Watts  
 Lens: Clear Convex Glass  
 Mounting: 1/8" Brass Stake  
 Wire: Marine-Grade Tinned Wire  
 10-Year Limited Warranty

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 Florida: 11450 Overseas Highway, Marathon, FL 33050

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**COASTAL SOURCE**  
 DEFYING THE ELEMENTS

**LED STEP LIGHT**

LLSTEP

**LED STEP LIGHT**  
 SURFACE MOUNT  
 Size (H x W): 3.25in x 8.375in Weight: 2.5 lbs  
 Construction: Brass Voltage: 12-15V  
 Finish: Beaded Natural & Vintage Brass  
 Bulb: Replaceable LED Module  
 Wattage: 3.5 Watts (200lm)  
 Mounting: Surface Mount  
 Wire: Marine-Grade Tinned Wire  
 10-Year Limited Warranty

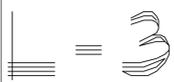
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 Scale: 1"=4'-0"  
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Sh:



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: San Miguel's Restaurant – ALTERATION/ADDITION

DRB#: DR 140006

DATE: February 11, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The Applicant proposes remove an existing planter and retired water feature to renovate the space, increasing functionality and improving appearance. A new pervious paver seating area will be added adjacent to the existing outdoor bar. Hardscape materials will match existing surfaces. Landscape materials are in keeping with the Shelter Cove area.