



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, March 11, 2014

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

---

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of February 25, 2014
6. **Staff Report** – Shelter Cove Towne Centre Monument Signs
7. **Board Business**
8. **Unfinished Business**
  - A. DR 130052 – Reilleys Grill & Bar (So. HHI Location)
9. **New Business**
  - A. New Development - Conceptual
    - 1) DR 140007 – Shelter Cove Community Park
  - B. Minor External Change
    - 1) DR 140012 – Baynard Mausoleum
    - 2) DR 140014 – Shelter Cove Towne Centre
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island**  
**Design Review Board**  
**Minutes of the Tuesday, February 25, 2014 Meeting**  
**1:15p.m – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present:	Chairman Scott Sodemann, Jake Gartner, Tom Parker and Galen Smith
Board Members Absent:	Vice Chairman Deborah Welch, Todd Theodore and Jennifer Moffett
Town Council Present:	None
Town Staff Present:	Jennifer Ray, Urban Designer Heather Colin, Development Review Administrator Richard Spruce, Floodplain Administrator Kathleen Carlin, Administrative Assistant

---

**1. Call to Order**

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

Ms. Ray recommended a change be made in the review order of today's New Business items. The New Development Review application for Shelter Cove Community Park, DR140007, will be reviewed last. The Board **approved** the agenda as revised by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the February 11, 2014 meeting as **amended** by general consent.

**6. Staff Report**

- 1) Ms. Ray reported that the DRB meeting scheduled on Tuesday, July 22, 2014 is canceled due to a scheduling conflict in Council Chambers. There will be only one DRB meeting in the month of July.
- 2) Ms. Ray stated that in November 2013 the Board approved DR130046, Zip Line Hilton Head, for the aerial tree challenge course. Per the application, the entry tower was proposed to be painted to match the zip line towers with platforms and challenges constructed of treated wood to weather to match telephone poles. The installation is complete and the applicant has requested that the tower be unpainted like the platforms. The staff agrees with the applicant's proposal. The Board discussed the proposal and agreed with the staff's recommendation to leave the tower platforms untreated.

**7. Board Business**

None

**8. Unfinished Business**

None

**9. New Business**

**A. New Development – Conceptual Review**

**1. Hilton Head Presbyterian Church Additions – DR140008**

Ms. Ray introduced the application and stated its location, 235 William Hilton Parkway. Ms. Ray presented an in-depth overhead review of the project including a site analysis and photos of the existing conditions.

The applicant proposes to expand and renovate the existing building and construct a new free standing administration building. The church is located on William Hilton Parkway between Highway 278 and Bus Drive between the intersection of Gumtree Road and Wilborn Road. The site photos show the existing conditions and surrounding architecture.

The site analysis shows a 150 foot wide utility right-of-way on the property along the north property line (Bus Drive); no trees of any significance are located in this area. The south property line (Highway 278) is heavily wooded. The largest tree on the property is a 26-inch Pine which is located in the buffer along Highway 278. The majority of the property lies between 13 and 14 feet above sea level.

The site has an existing right turn only entrance and exit on Highway 278. The site has an existing primary entrance and exit on Bus Drive. A survey dated 09-12-12 shows defined wetland areas on the Northwest, Northeast and Southeast sides of the property. The Northwest and Southeast wetlands and their associated buffers will not be disturbed. Per the applicant, the Northeast wetlands are no longer classified as wetlands because of work that has occurred downstream by others. This has been documented by a wetlands consultant and submitted to the Army Corps for approval. The existing wetlands will not be impacted by this project.

The applicant has stated that because of continued growth and the need for more up-to-date facilities for preschool, children and youth, the church is planning to renovate their existing building and attach approximately 6,753 square feet of heated space to the facility. This new space will be used for meeting rooms, a youth room and an enlarged lobby. The project also features a large covered porch on the south side of the proposed building (facing Highway 278) with landscaping, trellis swings, and a fire pit.

The church also plans to construct a 2,520 square foot free-standing administration building on the western side of the site across the access driveway from Highway 278. The applicant proposes to increase the number of parking spaces from 61 to 142 spaces. The paving legend includes tabby finish concrete, pavers, reinforced turf, plantation mix with steel edging, playground mulch, and aggregate paving throughout the site.

The landscape opportunities are limited due to the power line easement; however, the Conceptual landscape plan does show heavily planted medians and buffers as well as foundation plantings at all of the buildings. The free-standing building will use the same colors and materials as planned for the existing building. Both buildings will receive new paint and new roofs. The staff recommends that the Conceptual application be approved as

submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. David McAbee, Architect, presented statements in support of the application. The Board and the applicant discussed several issues including the proposed change in color and trim. A couple of Board members stated concern with the light color as it appears a little stark. The Board and the applicant also discussed details related to the new administration building. The applicant presented hard samples of the proposed colors which indicated a more acceptable color choice than the rendering. The Board and the applicant also discussed the façade and the wall of clear glass. The Board also discussed the existing building detail including dormers. The roof structure at the new entry seems a little plain. Following final comments, Chairman Sodemann requested that a motion be made.

Mr. Gartner made a **motion to approve** the Hilton Head Presbyterian Church Additions New Development Conceptual application, DR 140008, as submitted with the applicant's consideration of the Board's comments. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 4-0-0.

## B. Minor External Change

### 1. North Service Yard – DR140009

Ms. Ray introduced the application and stated its location, 171 Squire Pope Road. Ms. Ray presented an in-depth overhead review of the project including several photos of the existing site conditions.

Marine Tech proposes to add a new service yard for the purpose of servicing and repairing boats. Ms. Ray reviewed the location of Marine Tech's Boat Port that was approved by the DRB on February 11, 2014.

The size of the new service yard is approximately 50 feet x 175 feet. The area is completely fenced with chain link fencing (the same as the existing yard) and will include privacy screening on the end facing the road. The enclosure will also consist of 20 feet rolling gates to match the existing yard.

The applicant will install a rolled out Marina Mat (Dalco 1080) within the fenced area, which can be driven over. According to the manufacture, this is a superior quality, nonwoven geo textile fabric that will allow for rain water drainage but will not pass particulate.

The applicant plans to relocate two existing crepe myrtle trees elsewhere on the site. Ms. Ray reviewed brief details regarding the Town of Hilton Head Island's agreement with the landowner, Mrs. Barbara Hudson. The agreement is related to development rights and it limits what the applicant can do on the property. A vegetative screening of all service areas is one of the conditions of the agreement. The applicant has offered to install Confederate Jasmine for additional screening for visual enhancement. The staff believes the proposed use is appropriate for the site. The staff recommended approval of the application with the condition that the Confederate Jasmine be planted 8 to 10 foot on center along the length of the fence on the sides that are exposed. The applicant was not present at the meeting for questions or comments from the Board.

The Board discussed the project including the location of the driveway, the Boat Port, and the existing fence. Following their discussion, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion to approve** the North Service Yard application, DR 140009, as submitted including the staff's recommendations regarding landscaping. Mr. Smith **seconded**

the motion and the motion **passed** with a vote of 4-0-0.

C. New Development – Conceptual Review Shelter Cove Community Park – DR 140007

Ms. Ray stated that Mr. Parker will recuse himself from review of this application due to his professional conflict of interest. This will leave the Board without a quorum of available members to review the application. Therefore, we will need to defer this application until the DRB meeting on March 11, 2014.

**10. Appearance by Citizens**

None

**11. Adjournment**

The meeting was adjourned at 2:00p.m.

Submitted By:

Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Administrative Assistance

\_\_\_\_\_  
Scott Sodemann  
Chairman



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Don Baker, AIA Company: Square Feet Island Architects  
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip 29928  
 Telephone: 290 6666 Fax: \_\_\_\_\_ E-mail: don@squarefeethi.com  
 Project Name: Reilleys Grill & Bar (So HHI Location) Project Address: 7 Glenwood Drive  
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 0 0 0 0 3 0 0 0 0  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number
- Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- \_\_\_\_\_ Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- \_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- \_\_\_\_\_ Context photographs of neighboring uses and architectural styles.
- \_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- \_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- ✓ \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- ✓ \_\_\_\_\_ Photographs and/or drawings of existing development. **(Submitted phase 1)**
- ✓ \_\_\_\_\_ Drawings of the proposed development – 11"x 17". **(Submitted phase 1)**
- ✓ \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name **(Submitted phase 1)**

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



24 FEB 2014

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
DATE

# NARRATIVE



## Reilley's GRILL & BAR



Reilley's has enjoyed an outdoor service area for many years. The bar and its environs are functionally and aesthetically worn out. With this submission to the HHI DRB, we propose to make improvements for bar service that will affect comfort, equipment, seating, and product storage and selection.



There are currently three canvas roofed structures in the outdoor service area. The largest one, located over the bar, is 508 s.f. and supported by 15 columns and a maze of tubular steel. This is to be replaced by a roof system designed of the same materials and color as the mansard that encompasses all of Reilley's Plaza. It will be supported by only 4 columns which will be trimmed to be similar to existing construction. An opaque wall facing towards the east will also be built and finished to resemble Reilley's front fascia which is stained wood with picture framing. The bar top will be a synthetic material such as corian finished dark to blend with the exterior materials.



Addendum, 24 FEB 2014: Considering our looming deadline of the St Patrick's Day parade, and in order to expedite the building permit process, we divided our DRB process into 2 phases. Phase 1 includes all that was previously approved. Phase 2 includes all items outstanding, which is just the Landscaping Plan, which is submitted herewith.

Submitted by

A handwritten signature in black ink, appearing to read 'Don Baker'.

Don Baker, AIA  
Square Feet Island Architects





## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Reilleys Grill & Bar – Alteration/Addition

DRB#: DR 130052

DATE: March 11, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The Reilley's Grill & Bar alteration/addition was approved with conditions by the DRB on December 16, 2013. One of the conditions was that a tree mitigation plan along with landscape plan is to be submitted to the DRB for review & approval. A landscape and mitigation plan has been prepared that includes a mix of native or commonly used evergreen shrubs, including flowering shrubs, and ground cover. Evergreen trees (Southern Magnolia and Yaupon Holly) have been proposed to mitigate the removal of pines necessary for construction of the bar area.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Wallace Mulling Company: Witmer Jones Keefer, Ltd.  
 Mailing Address: PO BOX 3086 City: Bluffton State: SC Zip: 29910  
 Telephone: 843-757-7411 Fax: \_\_\_\_\_ E-mail: Wallace@wjkltd.com  
 Project Name: Shelter Cove Park Project Address: 39 Shelter Cove Lane  
 Parcel Number [PIN]: R1 20 003 000 0097 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  Alteration/Addition  
 New Development – Final, indicate Project Number  Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- \_\_\_\_\_ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

2/4/14  
DATE



January 24, 2014

Jennifer Ray  
Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island, SC 29928

Shelter Cove Park will be a civic place for people to gather and enjoy the built and natural environment on Hilton Head Island. The design will honor the legacy and heritage of the low country while incorporating the attitude of forward progress by way of subtle contemporary detailing not uncommon to the architecture and style of Hilton Head Island.

The design objectives include:

- flexible and functional space to accommodate the variety of activities and events that will occur at the park
- Reducing design impacts to the existing environment
- Health, safety and welfare of the park users
- Considering the impacts of long term maintenance and upkeep

The following design features will be incorporated to achieve the design objectives:

1. **Water Feature** - Non-interactive centerpiece that will provide a visual connection between Shelter Cove Shopping Center and the Park located on the Marshes of Broad Creek
2. **A Bulk Head Promenade** - with walking/ viewing **pier** that has interpretive signage and a covered shelter that will be a desirable mid-island connection for park users to the Marshes of Broad Creek
3. A **Performance Pavilion** at the north end of the park adjacent to the existing lagoon, which will accommodate larger performances in the Park
4. A **Sunset Pavilion** with restrooms
5. A small **Playground** with multiple components that relate to Hilton Head Island specifically which facilitate fun and interactive learning into physical activity for children of various age groups and needs.
6. **4 Multi functional lawn** spaces of various sizes to serve as a passive park as well as space for community events/ festivals currently located at the existing Shelter Cove Park such as Wing Fest, Snow Day, etc.
7. 2 small **picnic shelters** and 2 **shade structures** to provide interest and refuge from the elements
8. Conservative and eco sensitive **Lighting** will be incorporated throughout the park in all the elements listed above in a way that is subtle yet effective in accenting these various elements while assuring the park is safe after dark.
9. **Interpretive Signage** that provides context to park patrons via identification of the various natural and built elements surrounding the park.

The layout and style of these park features will honor the legacy and heritage of the low country while incorporating the attitude of forward progress by way of some subtle contemporary detailing not uncommon to the architecture and style of Hilton Head Island. Building materials that are common to the region and other Hilton Head Island Parks, such as tabby concrete, savannah grey brick and wood will be incorporated into the park along with

14 Palmetto Way, Suite A  
Bluffton, SC 29910  
Tel: 843-757-7411

some contemporary materials like corten steel. The Park will be highly flexible and functional to accommodate the variety of activities and events that will occur there. While some tree removal and grading will be required to achieve flexibility in the layout of the park, significant specimen trees along the marsh front edge of the park will be preserved. New trees as well as other native and indigenous plantings will be incorporated to provide shade and buffering for adjacent residential uses. Drainage will be directed away from Broad Creek and into a system that promotes infiltration first and then overflow into existing capacity in nearby lagoons.

The goal of the park is to provide a successfully executed public place for people to enjoy on Hilton Head Island that is considerate of the health safety and welfare of its users as well as its long term maintenance and upkeep.

A handwritten signature in black ink that reads "W/T Milling". The signature is written in a cursive, flowing style.

Wallace Milling, CNU

cc: Matt Mills  
Tom Parker, Brian Witmer



**EXISTING BIKE RACKS, LIGHTING, WALKS - TABBY,  
PAVERS (KROGER AT SHELTER COVE)**



**EXISTING BIKE RACK (SHELTER COVE PARK)  
CAN POSSIBLY REUSE ON NEW SITE**



**EXISTING SHADE STRUCTURE - WOOD, COPPER CAPS;  
WALKS - BRICK AND TABBY (VETERANS MEMORIAL)**



**EXISTING WALKS - TABBY, BRICK PAVER BORDER  
(SHELTER COVE PARK)**



**INTERPRATIVE SIGNAGE INSPIRATION**



**SIGNAGE INSPIRATION (EXISTING AT COLIGNY BEACH PARK)**



**FOUNTAIN INSPIRATION FOR BACK OF FOUNTAIN  
(FACING MARSH)**



**FOUNTAIN INSPIRATION FOR FRONT OF  
FOUNTAIN (FACING SHELTER COVE LANE)**



**SPECIALTY PAVING INSPIRATION - TABBYP, PAVERS,  
PAVER BORDER (EXISTING KROGER AT SHELTER COVE)**



**STAIR INSPIRATION - BRICK TREADS AND RISERS  
(EXISTING AT COLIGNY BEACH PARK)**



**SPECIALTY PAVING INSPIRATION - PAVERS(EXISTING AT DROP OFF AREA SHELTER COVE LANE)**



**OTHER PAVING INSPIRATION - PRESSED LEAFS IN CONCRETE (EXISTING AT COLIGNY BEACH PARK)**



**PLAYGROUND INSPIRATION - CUSTOM WOOD STRUCTURES (EXISTING AT SEA PINES HARBOR TOWN)**



**PLAYGROUND INSPIRATION - "FREE PLAY"**



**PLAYGROUND INSPIRATION - NATURE THEMED**



**PLAYGROUND INSPIRATION - CUSTOM WOOD  
STRUCTURES**



**PLAYGROUND INSPIRATION - CUSTOM WOOD  
STRUCTURES (EXISTING AT SEA PINES HARBOR TOWN)**



**PLAYGROUND INSPIRATION - CUSTOM WOOD  
STRUCTURES**









FINE WINES & CHEESES

piggly wiggly

STARBUCKS COFFEE

SHELTER COVE COMMUNITY PARK

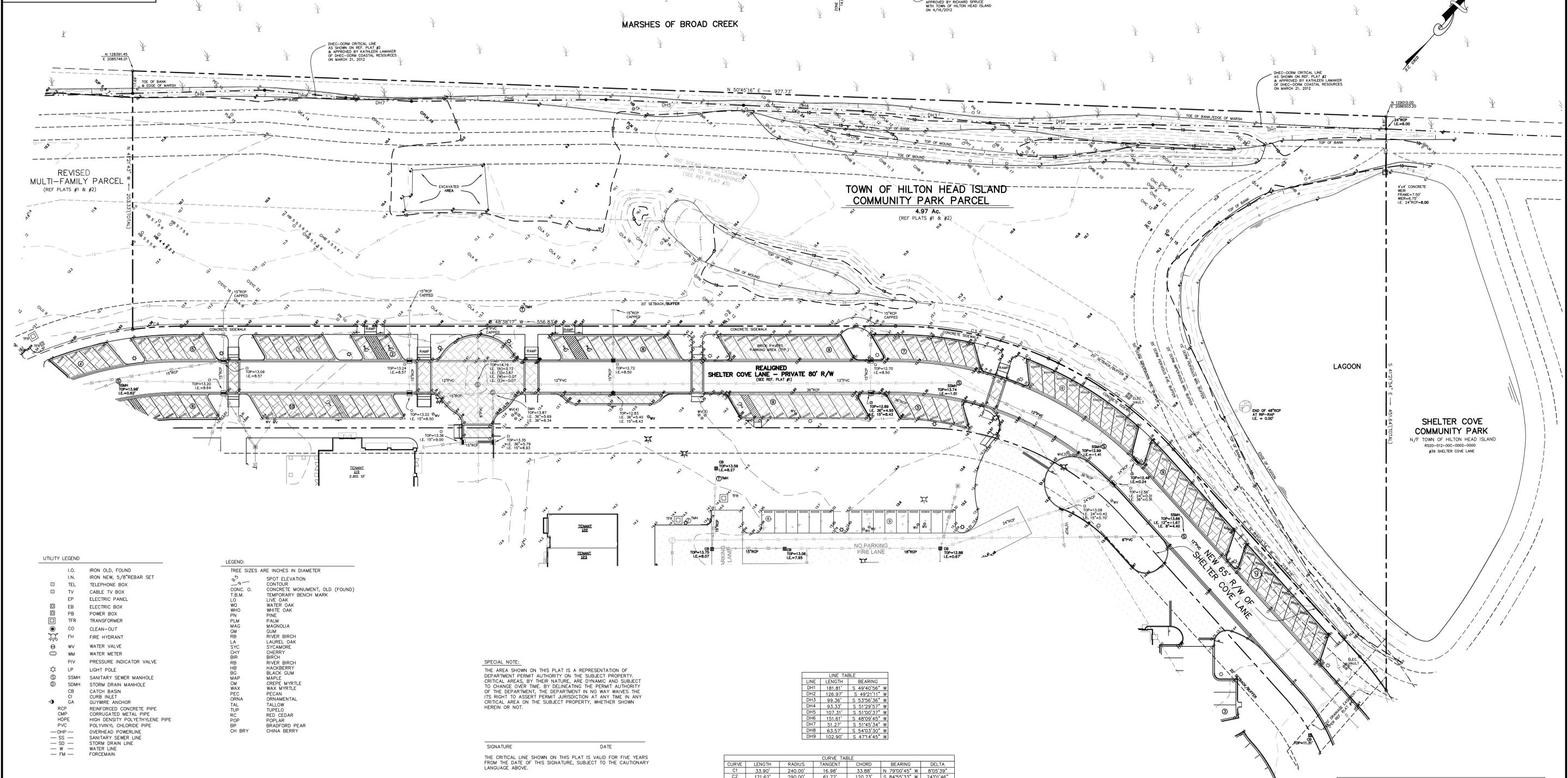
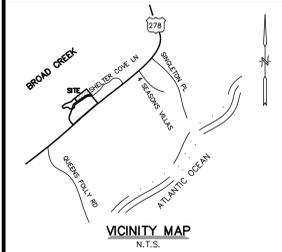
Town of Hilton Head Island

PHARMACY  
DRIVE THRU









**UTILITY LEGEND**

- I.O. IRON OLD, FOUND
- I.N. IRON NEW, 5/8" REBAR SET
- TEL TELEPHONE BOX
- TV CABLE TV BOX
- EP ELECTRIC PANEL
- EB ELECTRIC BOX
- PB POWER BOX
- TFR TRANSFORMER
- CO CLEAN-OUT
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- PV PRESSURE INDICATOR VALVE
- LP LIGHT POLE
- SSMH SANITARY SEWER MANHOLE
- SBMH STORM DRAIN MANHOLE
- CB CATCH BASIN
- CA CURB INLET
- CA COTWIRE ANCHOR
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- OH-P OVERHEAD POWERLINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- W WATER LINE
- FM FORDWAY

**LEGEND:**

TREE SIZES ARE INCHES IN DIAMETER

- SPOT ELEVATION
- CONTOUR
- CONC. O. CONCRETE MONUMENT, OLD (FOUND)
- T.B.M. TEMPORARY BENCH MARK
- LO LIVE OAK
- WO WATER OAK
- WHO WHITE OAK
- PN PINE
- PLM PALM
- MAG MAGNOLIA
- GM GUM
- RB RIVER BIRCH
- LA LAUREL OAK
- SYC SYCAMORE
- CHY CHERRY
- BIR BIRCH
- RB RIVER BIRCH
- HB HACKBERRY
- BG BLACK GUM
- MAP MAPLE
- CM CREPE MYRTLE
- WAX WAX MYRTLE
- RECAN RECAN
- ORNA ORNAMENTAL
- TAL TALLOW
- TUP TUPELO
- RC RED CEDAR
- POPLAR POPLAR
- BP BRADFORD PEAR
- CH BRY CHINA BERRY

**SPECIAL NOTE:**  
 THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES THE ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

**LINE TABLE**

LINE	LENGTH	BEARING
DH1	181.81'	S 49°40'56" W
DH2	128.97'	S 49°21'11" W
DH3	99.36'	S 53°56'36" W
DH4	93.33'	S 51°29'57" W
DH5	107.31'	S 41°00'37" W
DH6	151.61'	S 48°09'45" W
DH7	51.27'	S 51°45'34" W
DH8	63.97'	S 54°03'30" W
DH9	102.90'	S 47°14'45" W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	33.90'	240.00'	16.98'	33.88'	N 79°00'45" W	8°05'39"
C2	121.62'	290.00'	61.72'	120.73'	S 84°55'33" W	24°01'46"
C3	122.86'	290.00'	62.36'	121.94'	S 60°48'28" W	24°16'23"
C4	37.94'	290.00'	19.00'	37.91'	S 44°53'25" W	7°29'44"

- REFERENCE PLATS:**
- BOUNDARY RECONFIGURATION OF SHELTER COVE MALL AREA, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 9/24/2013, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 138, PG. 1, 12/20/2013.
  - SUBDIVISION PLAT OF SHELTER COVE MALL AREA, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 12/11/2013, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 138, PG. 2, 12/20/2013.
  - EASEMENT PLAT FOR THE RELOCATION OF HILTON HEAD GAS TURBINE-MARKET PLACE 15KV TRANSMISSION LINE ON THE LANDS OF SHELTER COVE HARBOUR COMPANY AND SHELTER COVE TOWNE CENTRE, LLC, HILTON HEAD ISLAND, SC DATED: 7/09/2013, BY: MARK R. RENEW, S.C.R.L.S. NO. 25347, RECORDED: PB 137, PG. 191, 12/13/2013.
  - SITE DEVELOPMENT PLANS FOR SHELTER COVE TOWNE CENTRE PHASE 1C, TOWN OF HILTON HEAD ISLAND, PREPARED FOR SHELTER COVE TOWNE CENTRE, LLC, PROJECT NUMBER 110221C, DATED: 2/28/2013, BY: WILLIAM G. POWELL, S.C.P.E. NO. 25124, WARD EDWARDS ENGINEERING.
  - PARTIAL UTILITY RECORD DRAWINGS FOR SHELTER COVE TOWNE CENTRE PHASES 1B & 1C, PREPARED FOR SHELTER COVE TOWNE CENTRE, LLC, PROJECT NUMBER 110221C, DATED: 8/9/2013, BY: WARD EDWARDS ENGINEERING.

**NOTES:**

- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE 8, 7 & 4-B, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.L.D. PANEL 14-C, COMMUNITY NO. 450250, MAP DATED 8/23/85. BASE ELEVATION 14.0' & 15.0'. FLOOD HAZARD ZONE AND BASE ELEVATION WERE VERIFIED BY RICHARD SPRUELL, PLANS REVIEW ADMINISTRATOR, TOWN OF HILTON HEAD ISLAND ON 4/16/2012.
- BUILDING SETBACKS WHICH EXIST FOR THIS PROPERTY, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- BEARINGS SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATES ESTABLISHED FROM GPS OBSERVATION. SEE REFERENCE PLAT #1 FROM RECORD BEARINGS.
- THERE IS CURRENT EARTH MOVING WORK ON THE SUBJECT PARCEL AT TIME OF SURVEY.

PREPARED FOR: SHELTER COVE TOWNE CENTRE, LLC & THE TOWN OF HILTON HEAD ISLAND  
 PARENT TAX PARCEL I.D. NO. R520-012-008-0026-0000

**TIDAL INFORMATION**  
 According to NOAA Station ID # 8669338  
 (Name: Broad Creek, SC, Location: 32° 11' 1" N, 80° 45' 2" W, 1983-2001 Epoch)  
 MHHW: 4.63  
 MHW: 4.22  
 MSL: 0.64  
 MLLW: 0.48  
 NGVD29: 0.00  
 MLLW: -3.26  
 MLLW: -3.49  
 (All elevations are relative to NGVD29)



**TREE & TOPOGRAPHIC SURVEY**

OF  
**4.97 ACRES, TOWN OF HILTON HEAD ISLAND**  
**COMMUNITY PARK PARCEL**

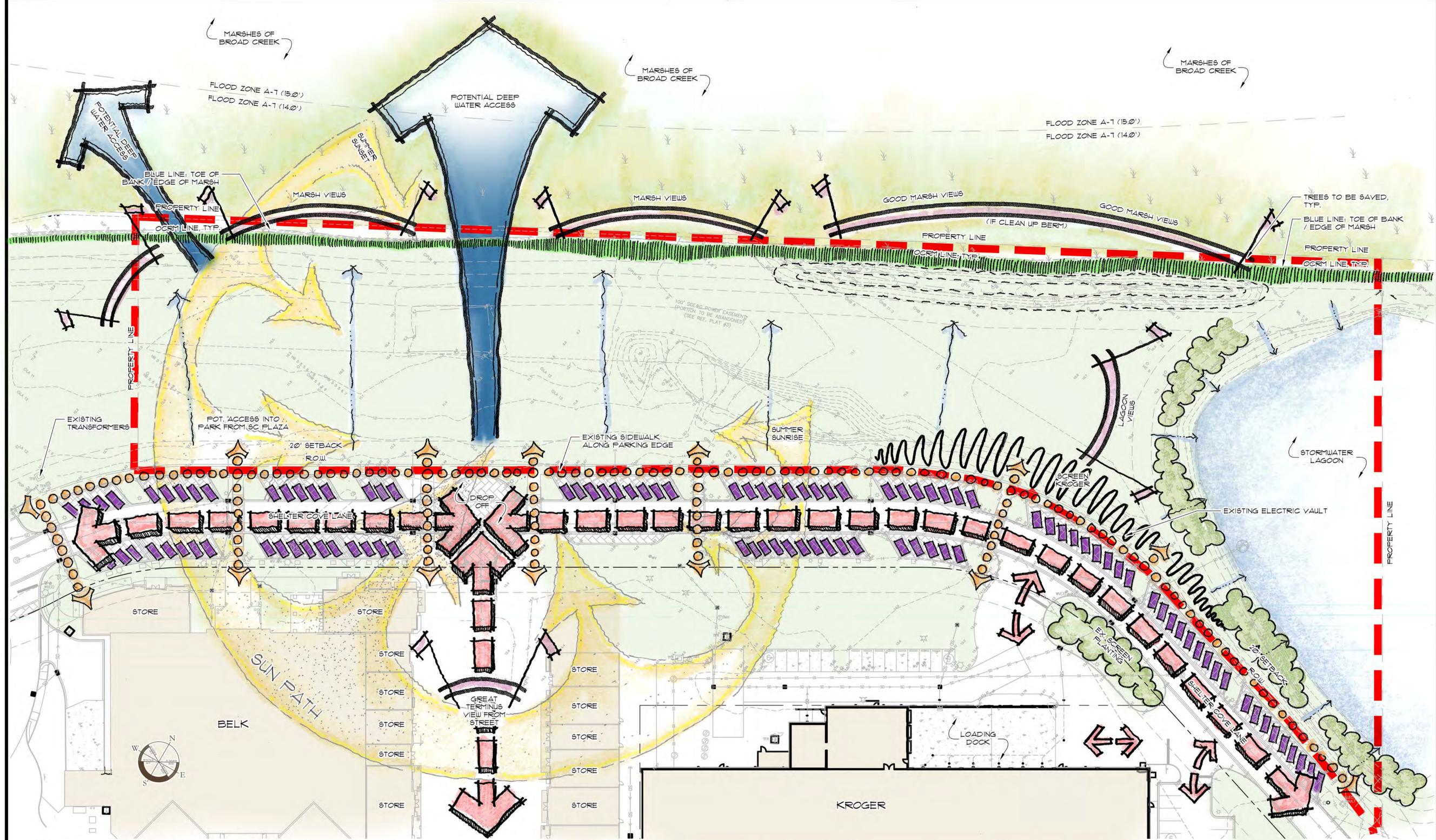
A SECTION OF  
**SHELTER COVE MALL AREA**  
**SHELTER COVE**

TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 30'      DATE: 01/02/2014      JOB NO: SC110040-0

**SC SURVEYING CONSULTANTS**

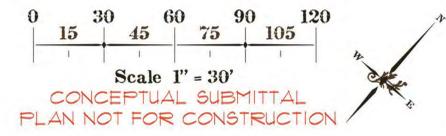
17 Sherrington Drive, Suite C, Bluffton, SC 29910  
 SC Telephone: (843) 815-3304 FAX: (843) 815-3305  
 GA Telephone: (912) 826-2775



**SITE ANALYSIS KEY**

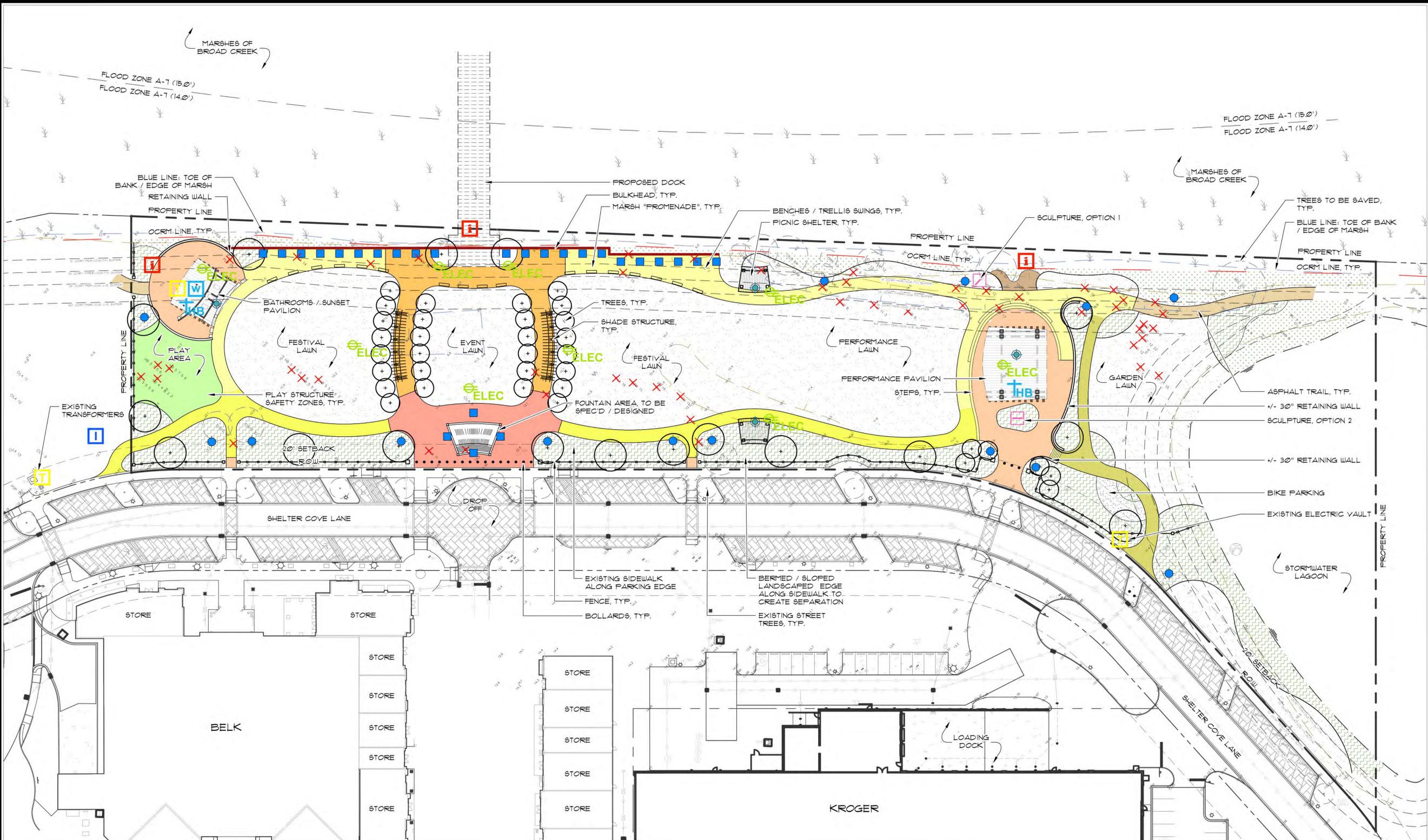
- EXISTING VEHICULAR CIRCULATION
- EXISTING PEDESTRIAN CIRCULATION
- EXISTING PARKING
- STEEP MARSH EDGE
- EXISTING MARSHSIDE BERM
- EXISTING / NATURAL DRAINAGE

NOTE:  
NO SPECIMEN TREES ON SITE



SITE DEVELOPMENT PLANS  
 FOR  
**SHELTER COVE PARK**  
 HILTON HEAD ISLAND, SOUTH CAROLINA

DRAWING TITLE:	SITE ANALYSIS
DATE:	02-04-14
PROJECT NO.:	1314.02
DRAWN BY:	MY/MG/JC
CHECKED BY:	WM/BU
REVISIONS:	
DRAWING NUMBER:	1 of 1

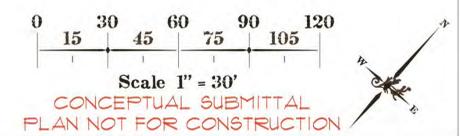


SITE DEVELOPMENT PLANS  
 FOR  
**SHELTER COVE PARK**  
 HILTON HEAD ISLAND, SOUTH CAROLINA

- LEGEND:**
- ELECTRICAL, FIXTURES TO MATCH EXISTING ON SHELTER COVE MALL SITE
  - HOSE BIB, FIXTURES TO MATCH EXISTING ON SHELTER COVE MALL SITE
  - PATH / POST / AREA LIGHT
  - ACCENT / SPOT / FLOOD / WALL LIGHT
  - ARCHITECTURE LIGHTING
  - EXISTING / PROPOSED TRANSFORMER
  - WATER / PLUMBING
  - IRRIGATION METER
  - INTERPRETIVE SIGNAGE

- PAVING KEY:**
- SPECIALTY PAVING AT MAIN ENTRANCE PAVERS WITH PAVER BORDER BASE AND SURFACE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND MEDIUM SIZE TRUCKS WITH TRAILERS FOR MOST EVENTS
  - SPECIALTY PAVING (TABBY WITH PAVER BORDER) BASE AND SURFACE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND MEDIUM SIZE TRUCKS WITH TRAILERS FOR MOST EVENTS
  - SPECIALTY PAVING (TABBY WITH PAVER BORDER) BASE AND SURFACE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND MAINTENANCE VEHICLES
  - PICTURE FRAME CONCRETE WALK WAYS, BROOM FINISH BASE AND SURFACE TO BE ABLE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND MAINTENANCE VEHICLES
  - PICTURE FRAME CONCRETE WALK WAYS, BROOM FINISH BASE AND SURFACE TO BE ABLE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND MEDIUM SIZE TRUCKS WITH TRAILERS FOR MOST EVENTS
  - PICTURE FRAME CONCRETE WALK WAYS, BROOM FINISH BASE AND SURFACE TO BE ABLE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND LARGE TRUCKS / SEMI-TRUCKS FOR LARGE EVENTS
  - ASPHALT (BIKE PATH / TRAIL) BASE AND SURFACE TO ACCOMMODATE PEDESTRIAN TRAFFIC AND MAINTENANCE VEHICLES
  - PLAY GROUND SURFACE (ARTIFICIAL TURF)
  - COMPACTED GRAVEL MIX AT BIKE PARKING
  - MULCHED PATH AT SEATING / OVERLOOK AREAS

- LANDSCAPED AREAS:**
- SOD AREAS
  - LANDSCAPED / PLANTED AREAS, MAY OR MAY NOT INCLUDE SOD
  - NATURALIZED / UNDISTURBED AREAS



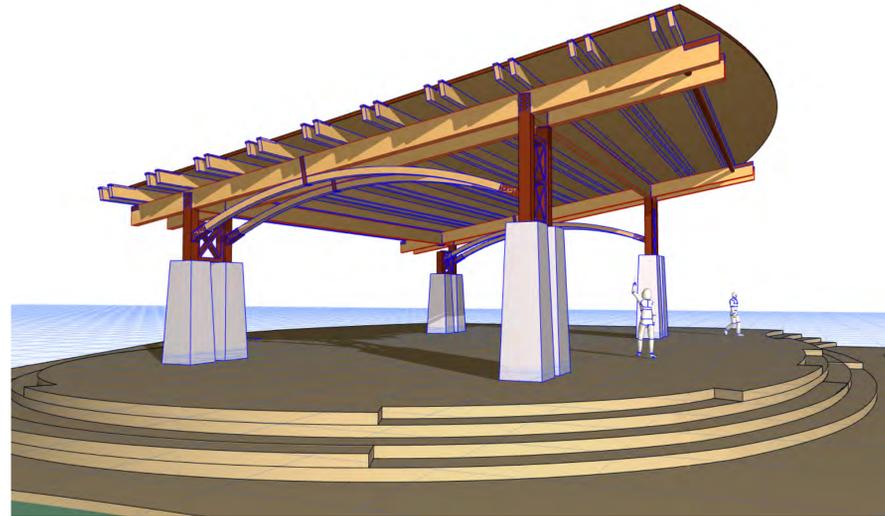
DRAWING TITLE:	SITE PLAN
DATE:	02-04-14
PROJECT NO.:	1374.02
DRAWN BY:	MY
CHECKED BY:	WM/BU
REVISIONS:	
DRAWING NUMBER:	L 1 9 1

REVISIONS	DATE

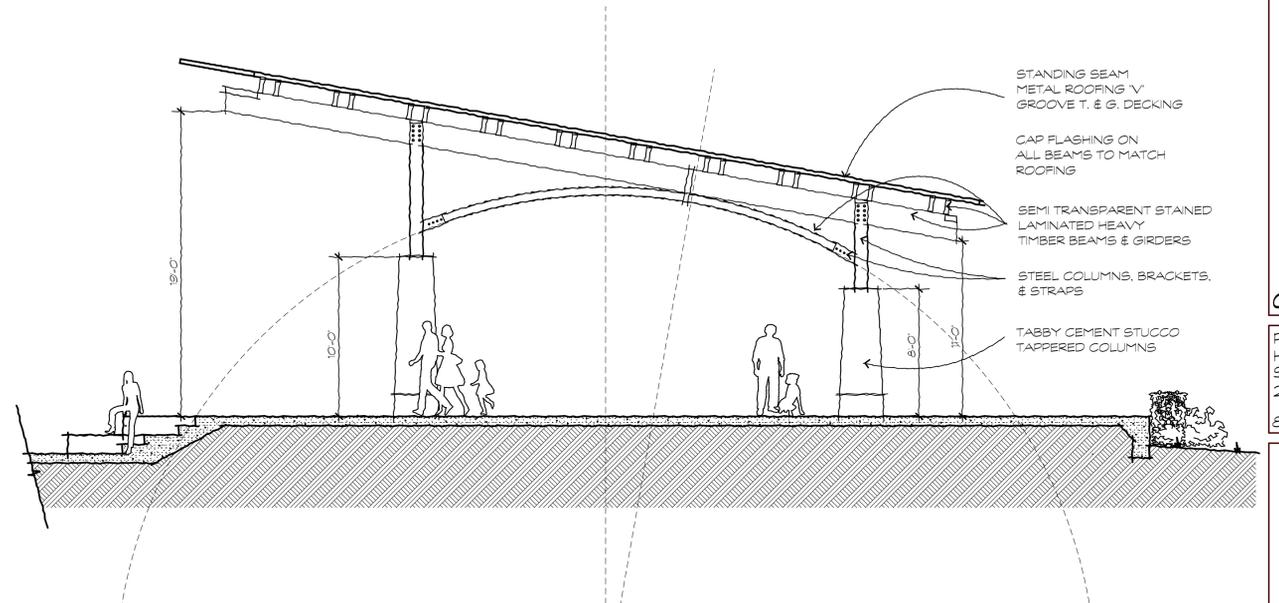
DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
02/11/14  
SCALE  
JOB NO.  
1311  
SHEET



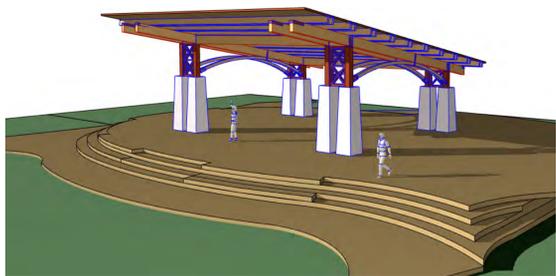
VIEW FROM PARK



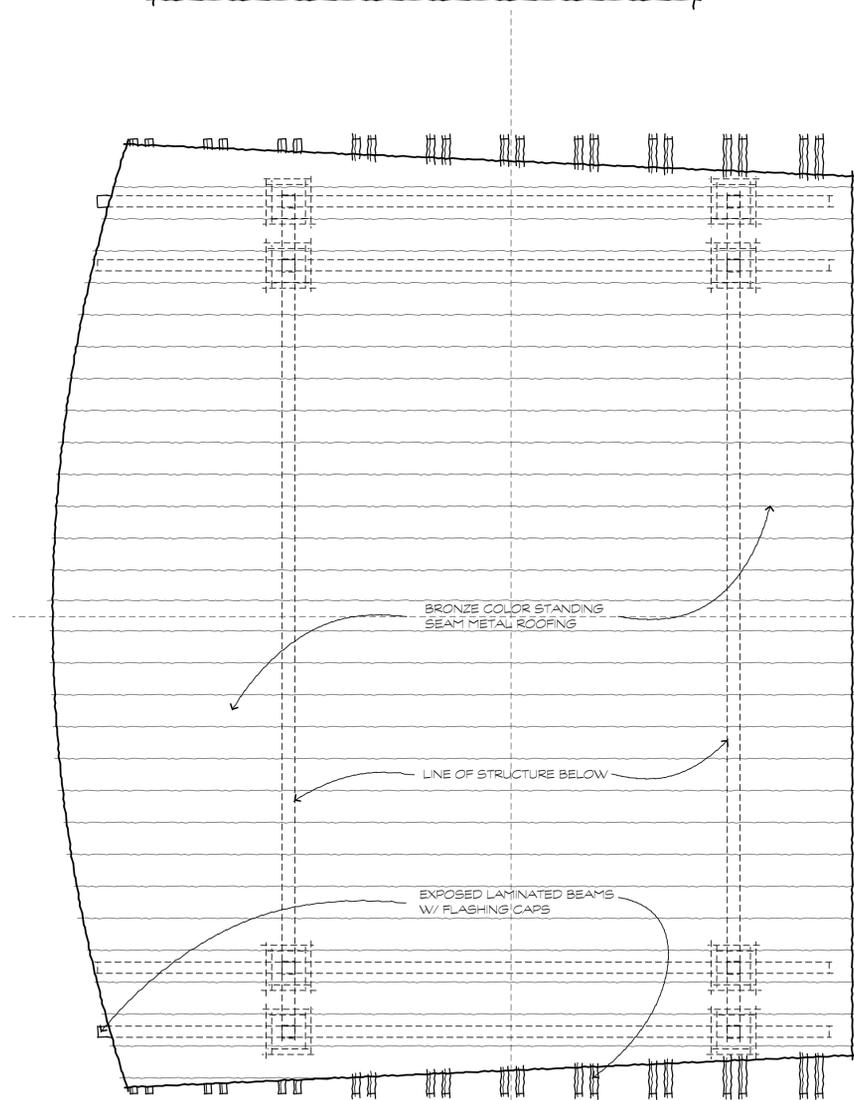
VIEW FROM PARK



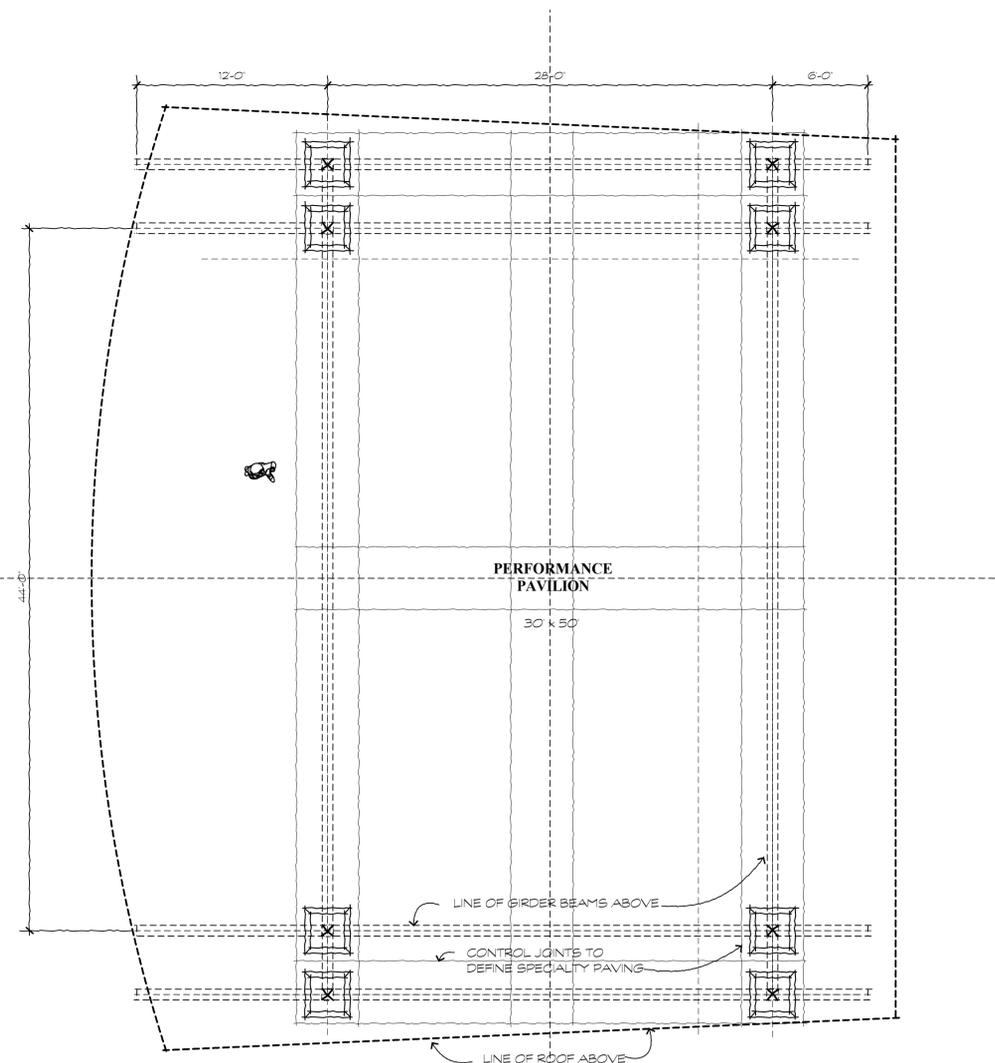
RIGHT SIDE ELEVATION



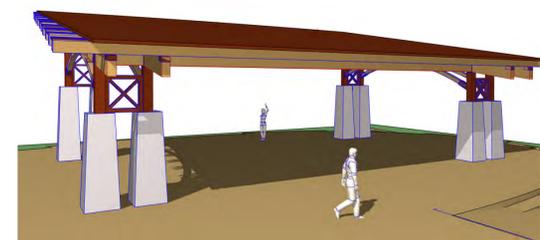
VIEW FROM STREET



ROOF VIEW



PLAN VIEW



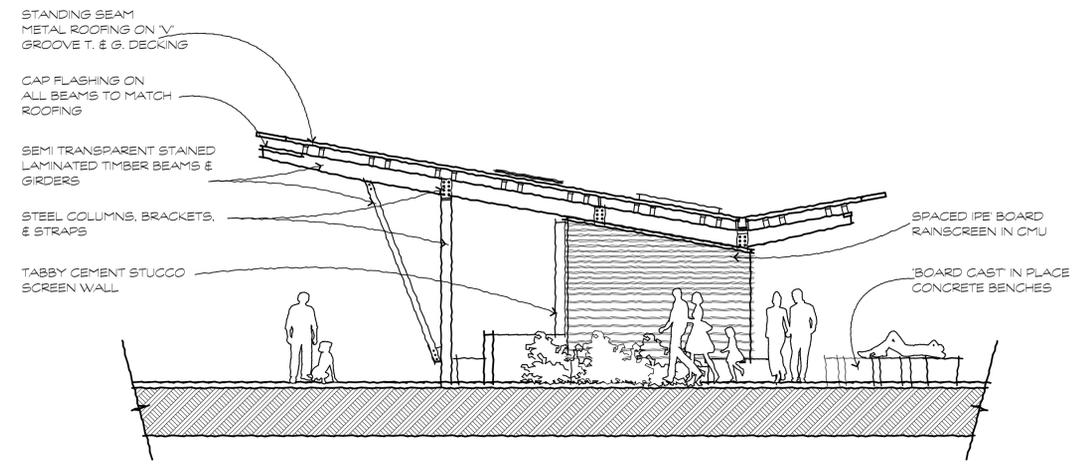
VIEW FROM LAGOON



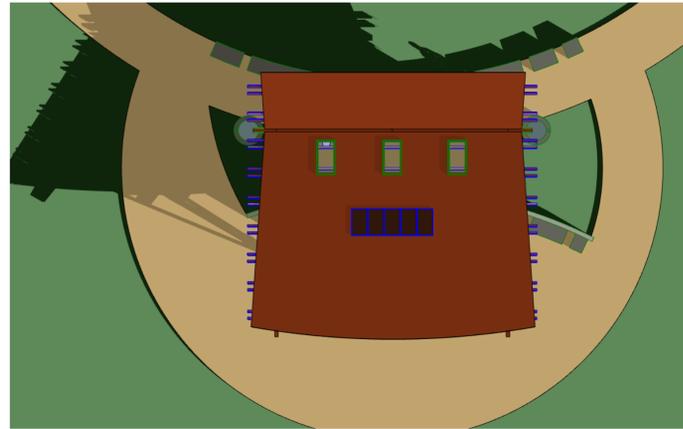
VIEW FROM MARSH



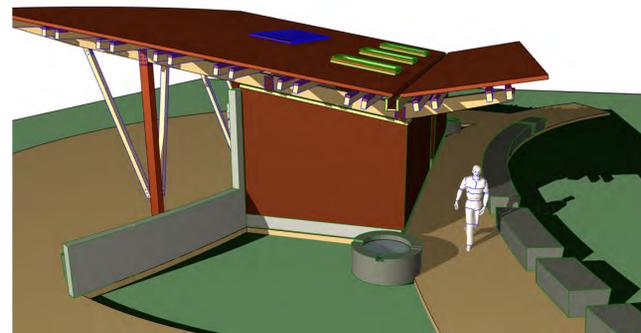
VIEW FROM WALK



RIGHT SIDE ELEVATION



VIEW FROM SPACE



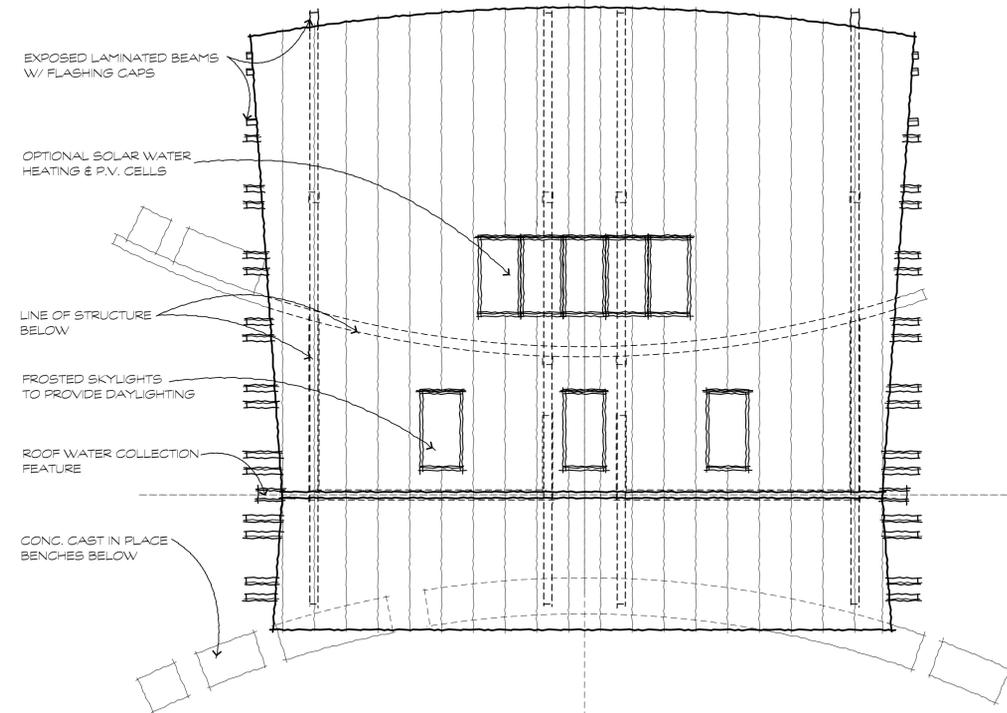
PLAYGROUND VIEW



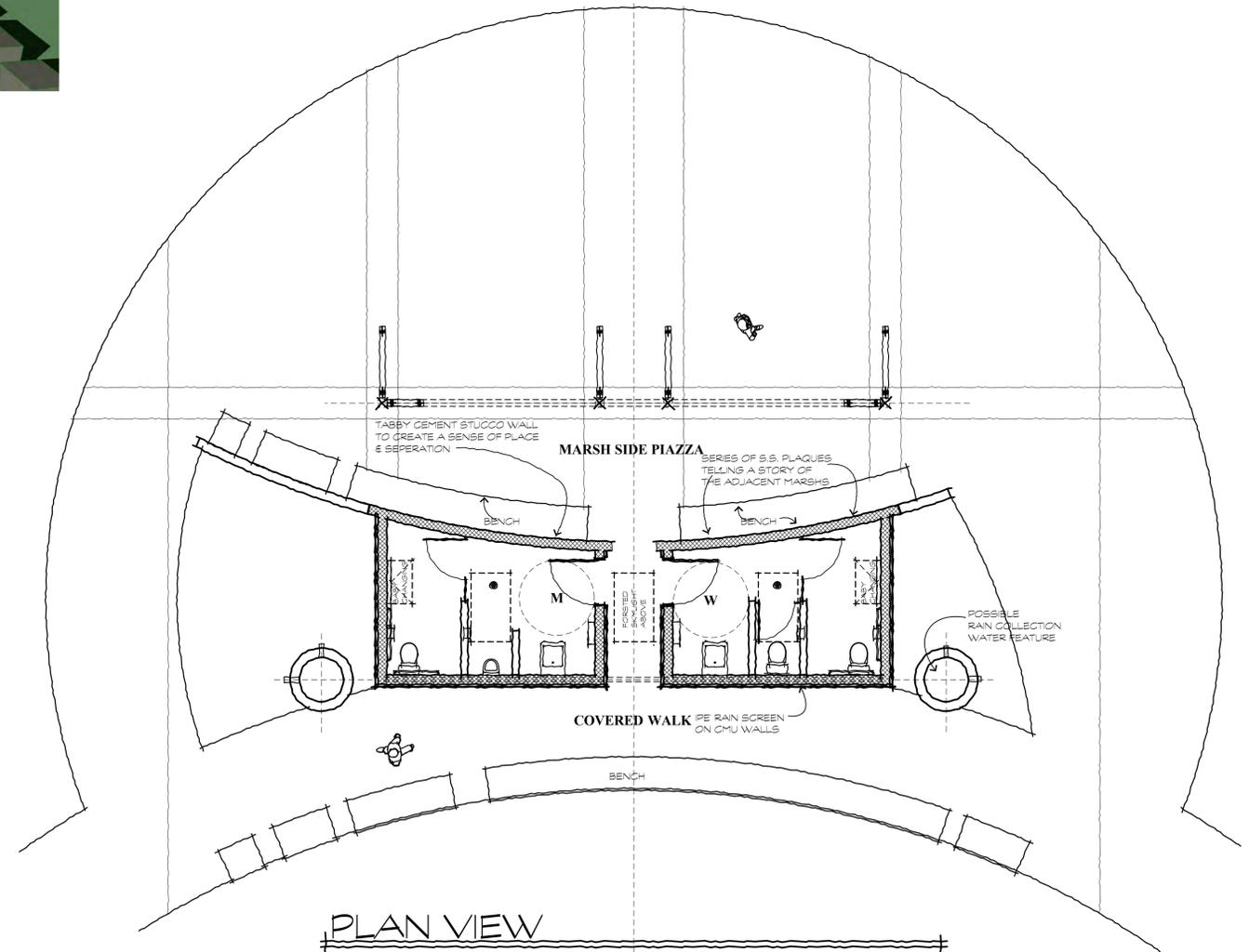
IPE RAIN SCREEN



BOARD CAST CONC.



ROOF VIEW

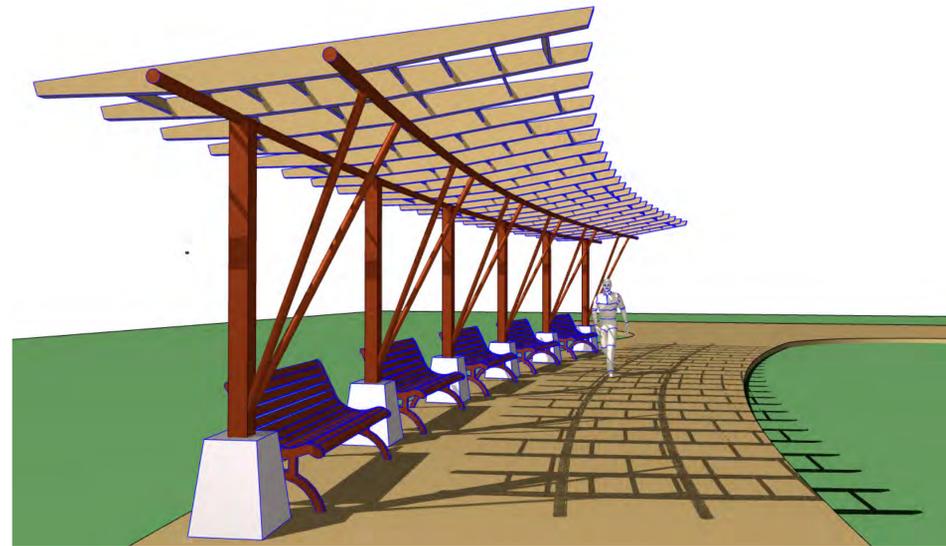


PLAN VIEW

A NEW PARK PROJECT :  
**SUNSET PAVILLION**  
39 SHELTER COVE LANE  
HILTON HEAD ISLAND, SC

REVISIONS	DATE

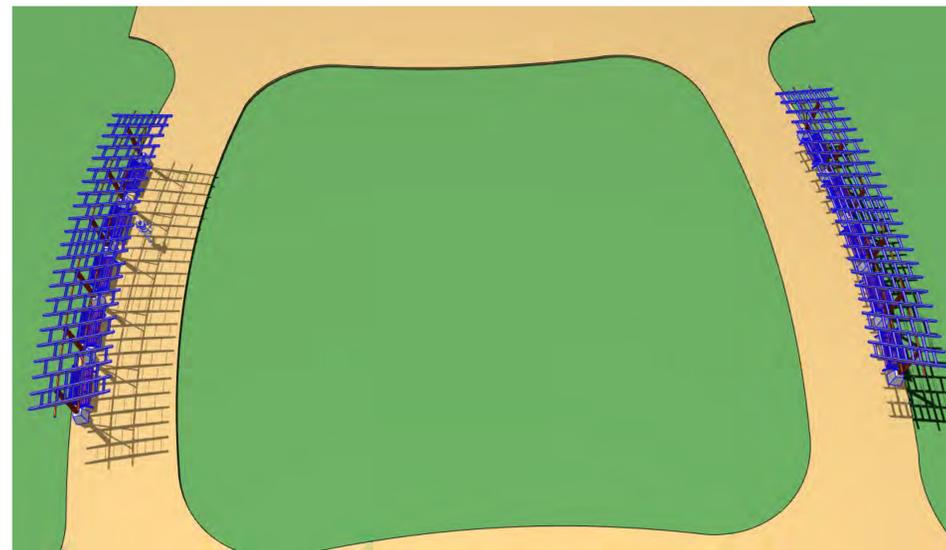
DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
02/1/14  
SCALE  
JOB NO.  
1311  
SHEET



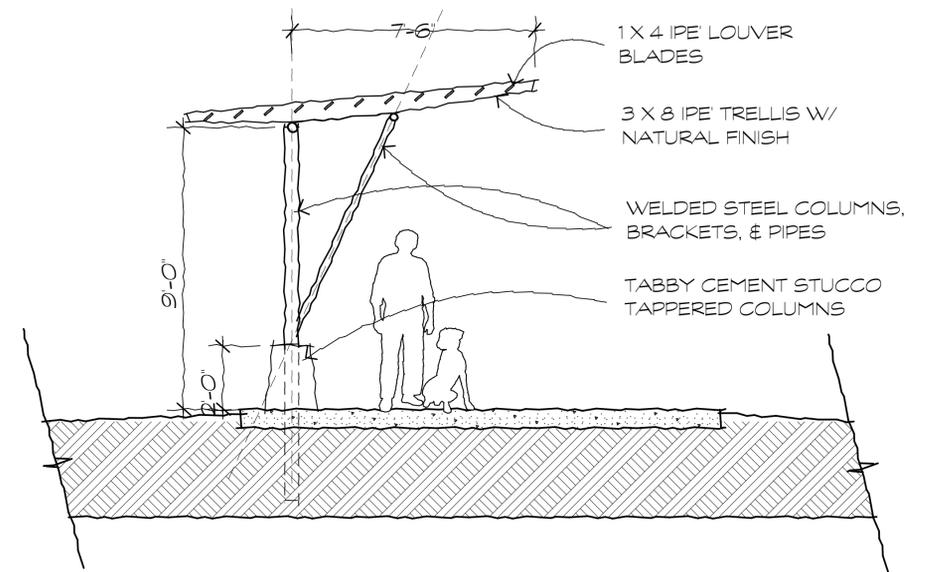
VIEW DOWN WALK



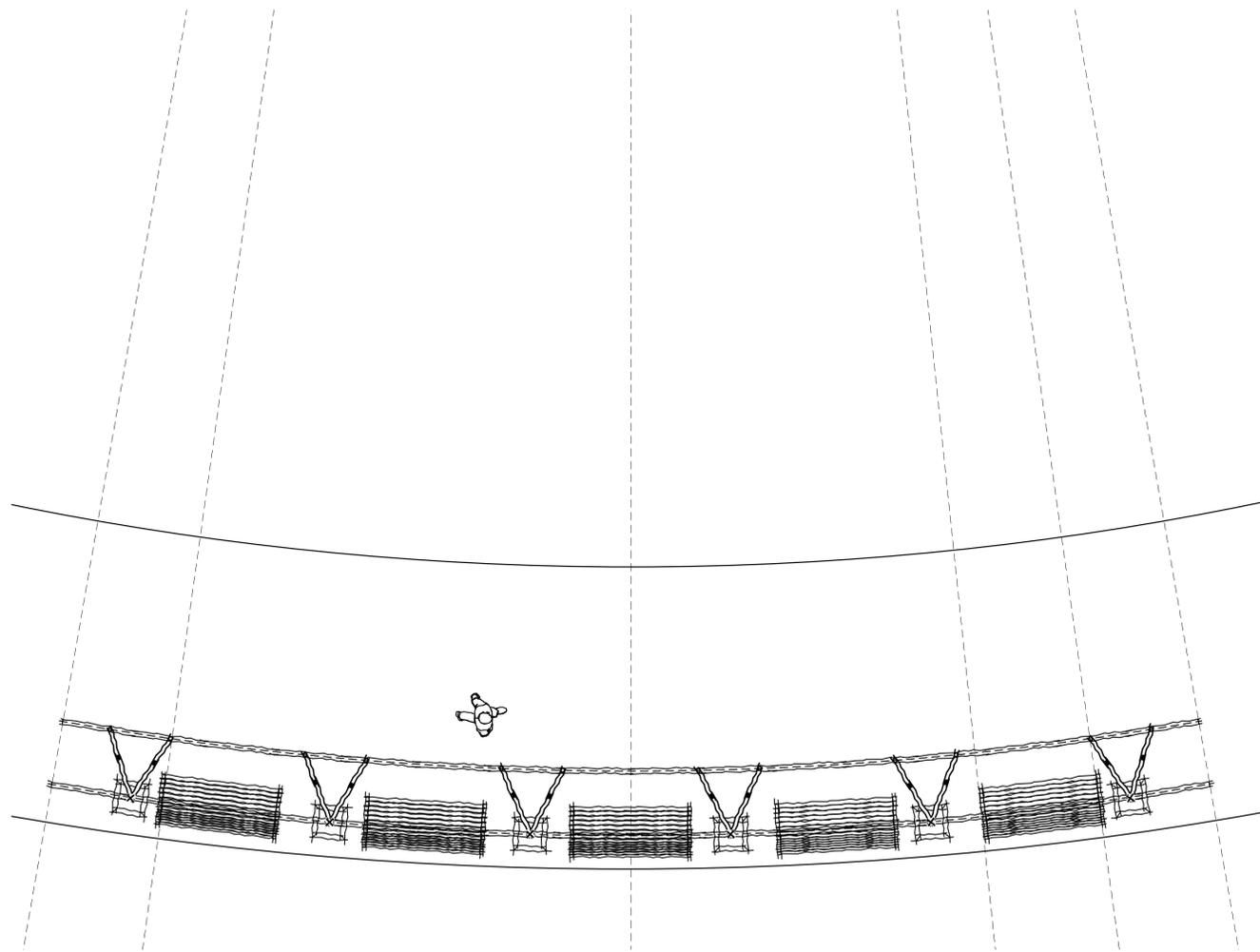
VIEW THRU STRUCTURE TO LAWNS



AXONIMETRIC VIEW OF LAWN



RIGHT SIDE ELEVATION



PLAN VIEW

REVISIONS	DATE

DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
02/11/14  
SCALE  
JOB NO.  
1311  
SHEET

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Park – NEW DEVELOPMENT CONCEPTUAL

DRB#: DR140007

DATE: February 25, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

and architectural elements				
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Landscaping is conceptual only at this time; complete landscape plans including plant schedule are required with final submittal.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a "layered"	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

appearance for visual interest and a sense of depth				
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large grassed areas are included due to proposed use of park.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

Buildings should not exceed 300 square feet if they are located below the C base flood elevation.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY  
 Date Received: 2/24/14  
 Accepted by: RO  
 App. #: DR 140012  
 Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Kyle Mulligan Company: Kyle Mulligan Const. Co.  
 Mailing Address: PO Box 21496 City: Hilton Head State: SC Zip: 29925  
 Telephone: 422-2921 Fax: 6895177 E-mail: kyle.mulligan2921@gmail.com  
 Project Name: 210N Mausoleum Project Address: Hwy 278 + Matthews Drive  
 Parcel Number [PIN]: R510 008 0000 0018 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): 574 Wm Hilton

**DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number  
 Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- Photographs and/or drawings of existing development.
- Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Kyle Mulligan  
SIGNATURE

2-21-14  
DATE

Town of Hilton Head, Community Development Department

February 24, 2014

To Whom It May Concern:

This request for permit approval is for work to be accomplished for the Heritage Library Foundation, Inc. of Hilton Head Island.

The work focuses on recommendations provided by the Preservation Department of the Savannah College of Art and Design (SCAD) for the Baynard Mausoleum located on the Zion Chapel of Ease cemetery grounds at the corner of Mathews Drive and Route 278. The mausoleum is the oldest, intact, standing structure on the Island, hence the immediate need for the work requested. This structure and the cemetery are an important part of Hilton Head Island history.

To preclude further deterioration to the mausoleum roof SCAD has recommended a temporary poly cover be placed over the roof and the incorporation of two louvered panels in the existing copper clad door. Both of these measures are designed to facilitate drying out of the roof and interior of the mausoleum. The long term plan is to remove the mausoleum roof panels, restore the integrity of the walls and corner columns, and to then reset the roof panels. This final work should preserve this historic structure well into the future.

Description of the Proposed Work:

Construct a 2" x 6" treated wood framework over the existing roof panels and cover the roof with a brown poly tarp (sample provided) to preclude further entry of rain water into the mausoleum through the leaking roof panels. The framework is necessary to keep the tarp off the roof panels and to allow them to dry. Additionally, two louvered panels will be cut into the existing mausoleum door to assist in the drying process.

Thank you,

Kyle Mulligan

**From:** Kyle Mulligan <kylemulligan2921@gmail.com>  
**To:** Ribaut53 <Ribaut53@aol.com>  
**Subject:** Town of Hilton Head Community Development Department  
**Date:** Sat, Feb 22, 2014 7:18 am

---

Town of Hilton Head Community Development Department

To whom it may concern:

The Heritage library is working with SCAD's engineering department to preserve the condition of the Zion Mausoleum.

SCAD has suggested covering the roof with poly and putting two louvered panels in the copper clad panel (that was the location of the once door that has long been missing) the existing 3/4" plywood covered with copper was put on about 23 years ago.

The short term plan is to cover the roof with a poly tarp to keep the rain and moisture out as the concrete roof panels have settled or are slipping off and rain is getting in and the moisture is causing rapid deterioration of the stone walls inside and out. And install two pressure treated louvered panels

Description of per posed work,  
Build 2" x 6" frame work over said concrete roof panels and cover with brown poly tarp to keep out the rain water until long term repair can be made. And cut in two louvered panels into the plywood that covers the opening

The long term plan is to remove the roof and re-set the concrete roof panels to keep out water and restore as it once was.

Thank you, Kyle Mulligan



**THE BAYNARD MAUSOLEUM.** The imposing gabled mausoleum with its protecting iron fence fixed in granite posts immediately attracts the attention of visitors to Zion Cemetery. Above its door, once elegantly fitted with a pair of full-length white marble doors, are raised letter: WM. E. BAYNARD— Integrity and uprightness.

By 1846 when he built the mausoleum, through inheritance and purchase, William Eddings Baynard of Edisto Island had become one of the Islands major landowners holding multiple plantations throughout Hilton Head from Spanish Wells to Braddock Point. The Baynard family made their home in the large tabby mansion originally owned by Captain John Stoney (now the Stoney-Baynard Ruins in Sea Pines). At some point in the years following the invasion of Hilton Head Island at the beginning of The Civil War grave robbers broke into and desecrated the mausoleum. A newspaper account from 1932 described the vault as *“a handsome affair with room for many coffins. Two of the coffins are form fitting and made of metal. These have rusted and fallen to pieces. Other coffins have been desecrated . . . Several of the tiniest . . . which are also open, contain only a gruesome dust.”* Now the vault stands empty but for memories.

4/11/2012—ewa

### HELP PRESERVE THE BAYNARD MAUSOLEUM

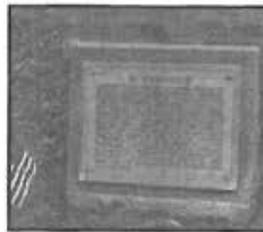
The years have not been kind to The Baynard Mausoleum, the oldest extant structure on the Island. Over time it has seriously deteriorated and is in need of the attention of architects and engineers expert in historic preservation and renovation to preserve it for the future.

YOU CAN HELP IN THIS EFFORT BY DONATING TO **The Heritage Library Foundation, Inc.**, marked for the **“BAYNARD CHALLENGE.”**

Check may be sent to The Heritage library, 852 William Hilton Parkway, Hilton Head Island, SC 29928 or you may donate online at:

[www.heritagelib.org](http://www.heritagelib.org)

### REVOLUTION WAR PATRIOT GRAVES and MEMORIALS AT ZION CEMETERY



John Stoney



James Davant



Charles Davant



Isaac Baldwin



## ZION

### CHAPEL OF EASE AND CEMETERY

*Site of a Chapel of St. Luke's Parish*

An Antebellum Historic Property on  
Hilton Head Island, South Carolina

### *A Brief Sketch of the Origins*

### *of Zion Chapel of Ease*

By

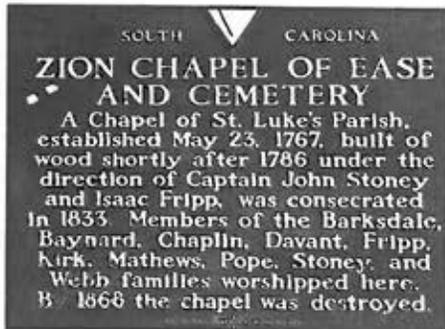
*Rev. Robert E. H. Peebles, Chairman Emeritus, The Historical*

*Society of Hilton Head Island, and*

*Edward W. Altstaetter, Chairman, History Programs,*

*The Heritage Library Foundation, Inc.*





**ZION CHAPEL OF EASE— HILTON HEAD ISLAND, SOUTH CAROLINA— SITE OF AN HISTORIC ANTEBELLUM EPISCOPAL PARISH CHURCH AND GRAVEYARD**

"We're marching to Zion, beautiful Zion," sang the Gospel hymn writer, recalling the sacred hill in Jerusalem with its royal residence of King David and his successors. Eighteenth century Hilton Head Islanders, longing for a period of peace after the violence of the Revolutionary War years (1775-1783), looked at the lovely grove of live oaks, cedars and magnolias at the head of Broad Creek and called it Zion. There a small group of island planters, for the good of their souls, built a chapel of brick and wood in 1787. They were joined by other Islanders, one of whom, James Davant, would lose his wife Lydia in 1795. Lydia would become the first Islander to be buried in Zion's cemetery. Subsequently, throughout the years leading to the Civil War she would be joined by other members of the island community, young and old. A total of 45 graves and two memorials are located under the shade of Zion's sheltering trees. No longer an active cemetery the most recent burial occurred by special permission of the Hilton Head island Historical Society in 1991. There were two other burials in the Twentieth Century, one in 1905 and the other in 1923.

**ST. LUKE'S PARISH CHURCH OF ENGLAND GRANVILLE COUNTY,** was established by an Act of the Colonial Assembly passed 23 May 1767. It had formerly been a part of St. Helena's Parish. Nothing was done until after the Revolutionary War when William Hort settled his family on the May River in 1786 and was joined by John Bull, James Garvey and others in building a parish church on four acres given by John Bull. An Act of incorporation was secured from the Legislature 29 Feb 1788. By this time St. Luke's had become a parish of the Episcopal Church in America.



**ZION CHAPEL OF EASE.** At about the same time through the influence of Captain John Stoney and Mr. Isaac Fripp another congregation was formed and a church of wood, on a brick foundation, 40 x 30 ft. was built on Hilton Head Island. Divine Service was performed alternately at each Church (St. Luke's Parish Church and Zion Chapel of Ease,) and since there was no Parsonage, the Minister resided with his parishioners.

In 1833 the Rt. Rev. Nathaniel Bowen, Third Bishop of South Carolina, consecrated Zion Chapel, it having been, the record cryptically says, "thrown out of use as to the worship for which it had been originally erected, but now happily recovered." Diocesan records show that Divine Services were regularly held in Zion Church until November 1861 when invasion of the island by federal armed forces necessitated the flight of the Island's white population. When the Rev. Dr. James Stoney (1820—1870), a great-grandson of Captain John Stoney, builder of Zion Chapel, was able to return to his rectorship of the Church of the Cross in Bluffton in 1867, his

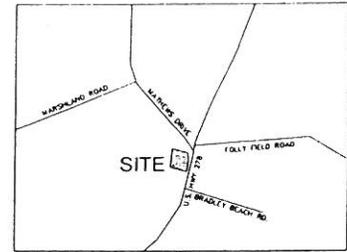
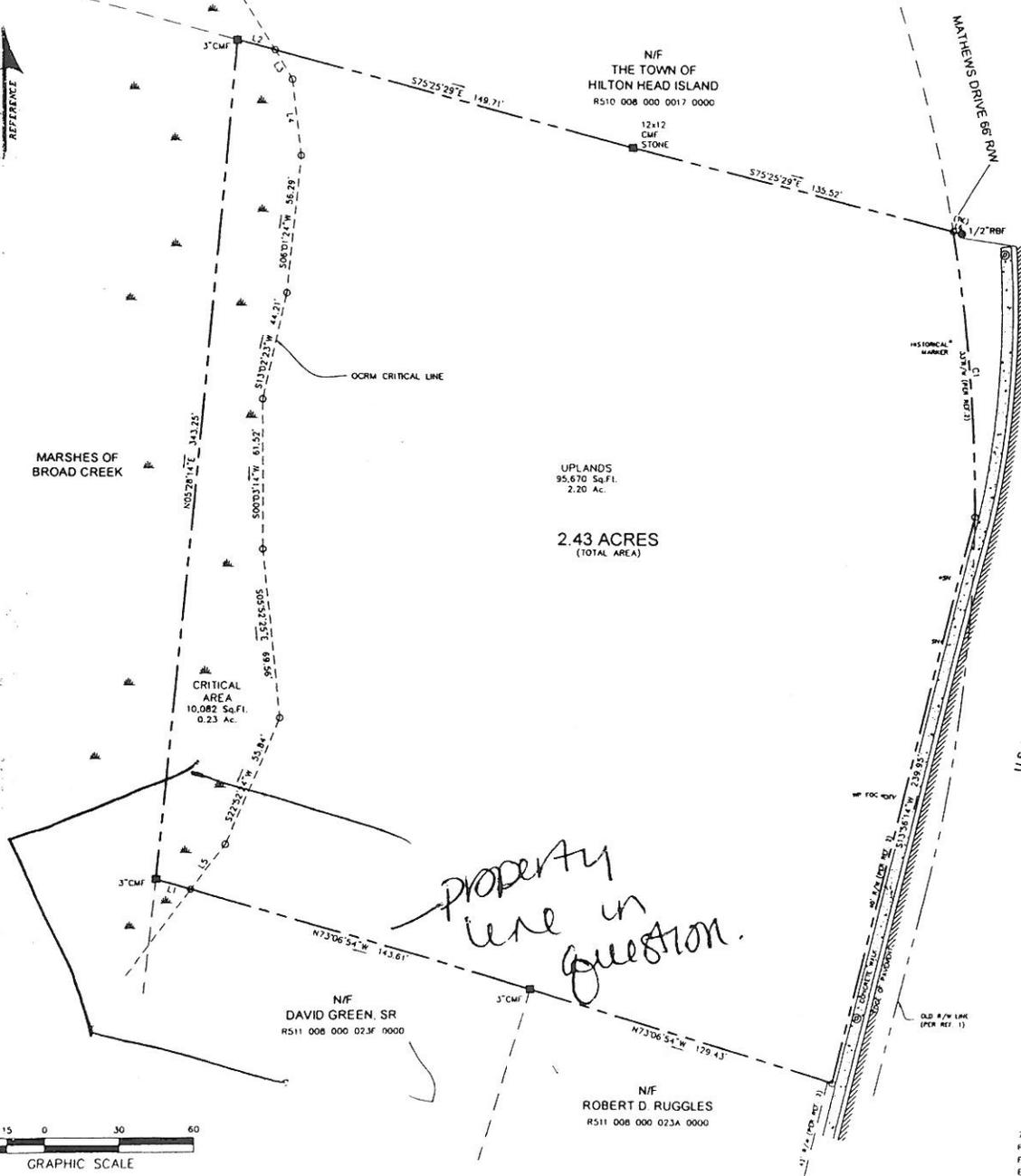
1868 report says that Zion Chapel, having been built of wood, had entirely disappeared, its Eucharistic silver and all its furnishings, altar, prayer desks, pulpit, pews stolen.

Worst of all for Zion Chapel was the fact that all of its members were dispersed, dispossessed of their homes and property, never to return to beautiful Hilton Head Island again. *Today, Only the Cemetery remains.*

**SAMPLE**



↑ NORTH  
REFERENCE



LINE TABLE		
LABEL	BEARING	DISTANCE
L1	S73°06'54\"/>	

CURVE TABLE					
LABEL	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	665.67'	117.19'	117.03'	N64°32'28\"/>	

REFERENCES:  
 1. A PLAT OF THE ZION CHAPEL OF EASE  
 DATE: 4/28/75  
 BY: RICHARD L. STROMAN, S.C.P.L.S. No. 5496  
 RECORDED IN: PB. 23, PG. 128  
 2. D.O.T. PLANS, PROJ. 105-1037(72)  
 FILE 7.408

NOTES:  
 1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE A-7.  
 MINIMUM ELEVATION 14'. BASED ON PANEL 0014-D.  
 COMMUNITY No. 450250.  
 2. NOT ALL IMPROVEMENTS ARE SHOWN.

LEGEND:  
 ■ CONCRETE MONUMENT FOUND  
 ● IRON REBAR FOUND  
 ○ 5/8" REBAR SET  
 ⊙ STORM DRAIN MANHOLE  
 \* FOC \* WITNESS POST-FIBER OPTIC CABLE  
 ⊕ CABLE TELEVISION JUNCTION BOX  
 - - - SIGH

THE AREA SHOWN HEREON IS A GENERAL REPRESENTATION OF DHEC-OCRM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY GENERALLY DELINEATING THE PERMIT AUTHORITY OF THE DHEC-OCRM, THE OFFICE OF OCRM IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION IN ANY CRITICAL AREA OF THE SUBJECT PROPERTY WHETHER SHOWN OR NOT.

*W. H. Green, Jr.*  
 SIGNATURE DATE 4-21-05

The critical line shown on this plat is valid for three years from the date of this signature, subject to the cautionary language above.

PREPARED FOR HILTON HEAD HISTORICAL SOCIETY  
 A BOUNDARY SURVEY OF  
 2.43 ACRES  
 U.S. HIGHWAY 278  
 TAX PARCEL No. R510 008 000 0018 0000  
 HILTON HEAD ISLAND  
 BEAUFORT COUNTY, SOUTH CAROLINA



FIELD CHECK: WHC  
 DATE: 4-8-05  
 SCALE: 1"=80'  
 PROJECT No.: 05028  
 FILE: 0502801.WHC

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

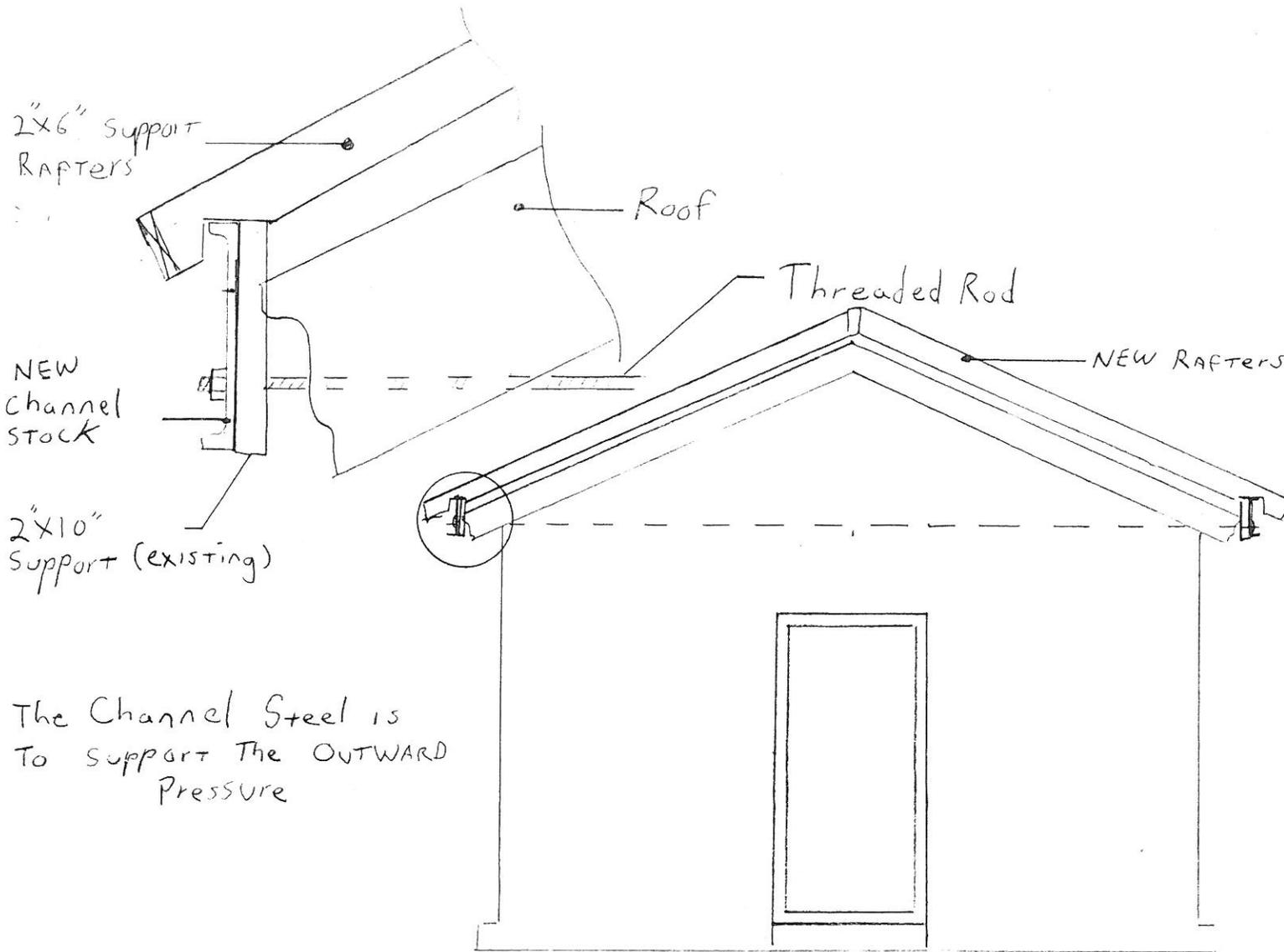
*W. H. Green, Jr.* 4/21/05  
 WILLIAM H. GREEN, JR.  
 S.C.P.L.S. No. 22744  
 NOT VALID UNLESS COMPLETED WITH SEAL



**ATLAS**  
 SURVEYING & MAPPING, INC.

7 KINGS COURT HILTON HEAD ISLAND, SC 29926  
 PHONE: (843) 384-8857  
 FAX: (843) 681-1922  
 E-MAIL: BGRAT@ATLASSURVEYING.COM

*Property line in question.*



Kyle Mulligan Construction  
 843 422 2921

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Baynard Mausoleum – Minor External Change

DRB#: DR 140012

DATE: March 11, 2014

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The Heritage Library Foundation, Inc. of Hilton Head Island requests to add a temporary 2x6 treated wood framework with poly cover over the mausoleum roof, as well as incorporate two louvered panels in the existing copper clad door. Both of these measures are designed to facilitate drying out of the roof and interior, and were recommended by the Preservation Department of SCAD. The long term plan is to remove the roof panels, restore the integrity of the walls and corner columns, and then to reset the roof panels in order to preserve the historic structure.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

#DR140014

FOR OFFICIAL USE ONLY	
Date Received:	2.25.14
Accepted by:	SARAH W
App. #: DR	130034
Meeting Date:	

Applicant/Agent Name: Roni Allbritton Company: Shelter Cove Towne Centre, LLC  
 Mailing Address: 40 Shelter Cove Ln City: HH State: SC Zip: 29928  
 Telephone: 686-3090 Fax: 686-5581 E-mail: allbritton@sheltercove-towne-centre.com  
 Project Name: Shelter Cove Towne Ctr Project Address: 40 Shelter Cove Ln  
 Parcel Number [PIN]: R 520 012 008 0026 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

### DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual  
 New Development – Final, indicate Project Number  
 Alteration/Addition  
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.  
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**New Development – Conceptual Approval**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**New Development – Final Approval**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- \_\_\_\_\_ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions *and* Minor External Changes**

- \_\_\_\_\_ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- \_\_\_\_\_ Photographs and/or drawings of existing development.
- \_\_\_\_\_ Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

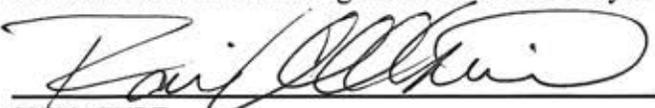
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

2-24-14  
\_\_\_\_\_  
DATE

Given the size and scale of Shelter Cove Towne Centre, various design and development plans were completed at different stages of the development. Specifically, the landscaping / hardscape plans for the retail portion of the development were completed prior to the completion of the architectural plans for the retail. These plans were also completed prior to the development of any of the design elements for the park or multifamily portions of the project.

**Now that the architectural themes and design criteria for the remainder of the project have been established, it is the developers desire to amend certain aspects of the hardscape elements in order to promote continuity with the architecture of the buildings and the design elements of the park. By use of consistent materials and design elements, the proposed changes should improve the aesthetics of Shelter Cove Towne Centre.**

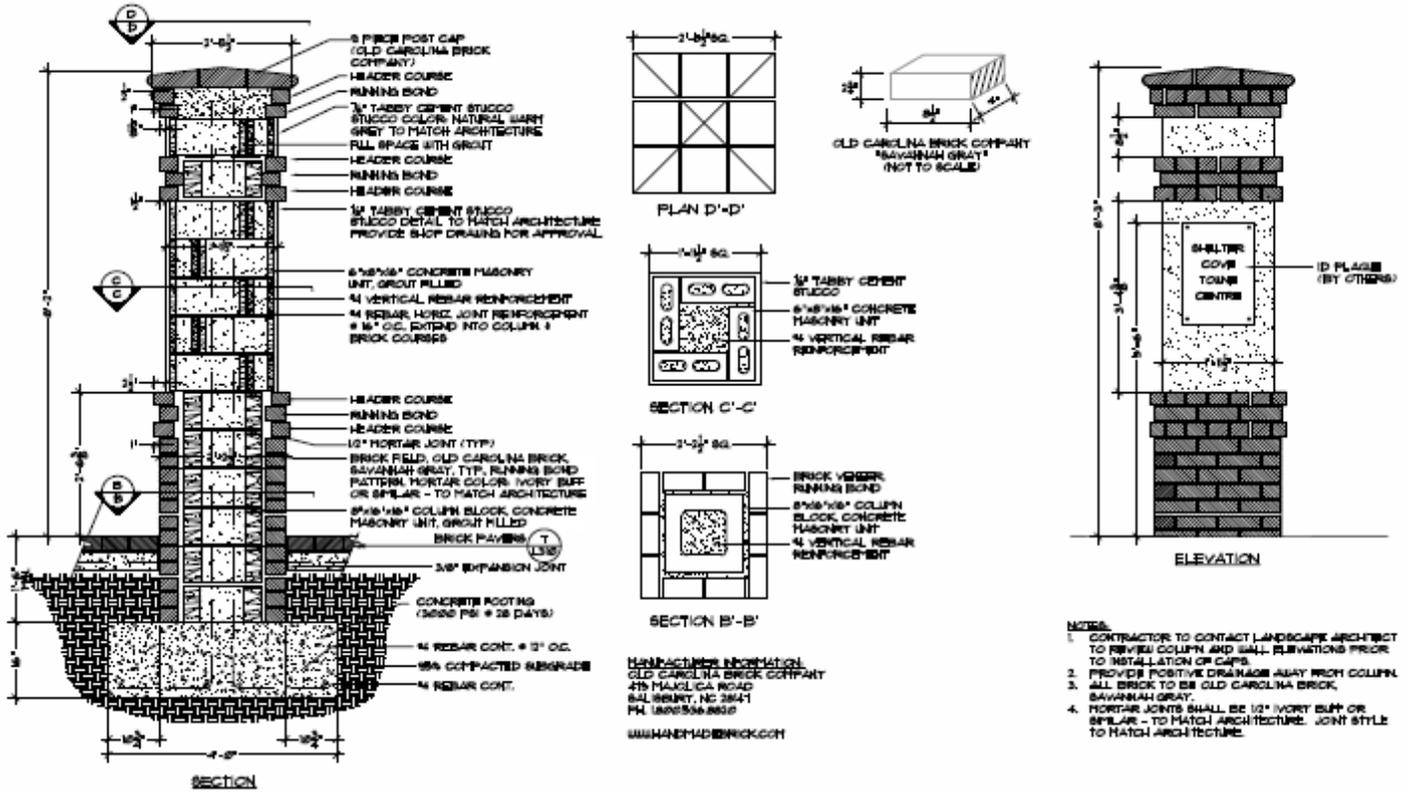
First, the developer requests that the columns identified as H3 on the landscape drawings be eliminated and that the smaller columns identified as H5 be changed to a tabby column with a brick cap. The developer also requests that the wall sections between the H5 columns (labeled as H4) be changed to a podocarpus hedge. Benches will be added to replace any seating provided by the H4 knee walls.

Secondly, the developer requests that the various striped awnings be replaced with solid colored awnings recommended by the project architect.

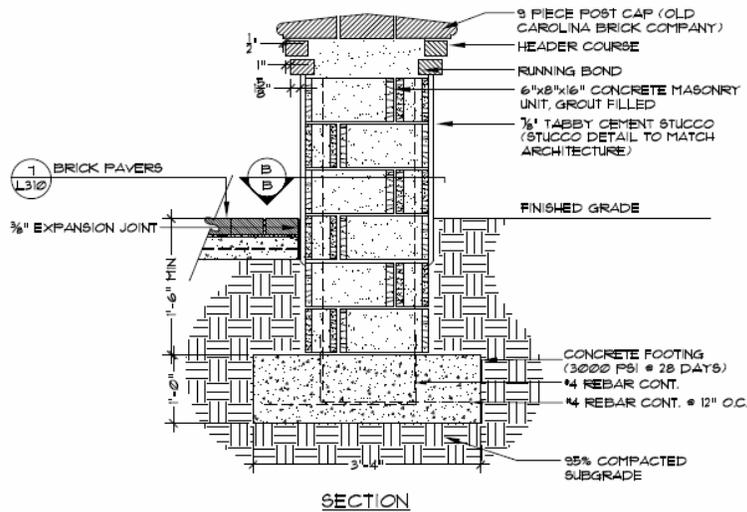
Other factors that support making these changes are as follows:

- Contributing factors to remove H-3 columns:
  - The H-3 columns block the architecture of the buildings
  - The H-3 columns did not provide lighting or seating opportunities for patrons
  - The H-3 column signage counts towards signage available for the remainder of the project
  - Removing the H-3 columns will create a less crowded and cleaner presentation to the public and to our patrons
- Contributing factors to change the H-5 columns and replace certain H4 kneewalls with a podocarpus hedge:
  - Preliminary park plans indicate that tabby columns and walls will be used
  - The project has a great deal of hardscape details in the plan, by replacing certain H4 kneewalls with a podocarpus hedge, the separation of hardscape and softscape can still be achieved and the project will benefit from more landscape elements.
- Contributing factors to change the awnings to solid colors:
  - Solid colored awnings will simplify architectural facades that are already very detailed
  - Solid colored awnings will tie in better with the solid colored awning approved for Jos. A. Banks

H3 Columns to be removed:



H5 columns and knee wall



3 COLUMN AT KNEE WALL  
 SCALE 3/4" = 1'-0"

# AWNING FABRIC OPTIONS

## SHELTER COVE TOWNE CENTRE



TUSCAN



TRESCO CLAY



TRESCO BRICK



FOREST GREEN



QUAMABINE



SKY BLUE



ASPEN



ALPINE



BLACK

**LEGEND/PAVING KEY**

- OTTER 6-ELL CONCRETE (5 1/2" BELL)
- CONCRETE - COARSE BRUSHED BROOK FINISH
- INTEGRAL COLOR AND COLOR HARDENER CONCRETE - COARSE BRUSHED BROOK FINISH  
SCOFFED CHORDIX AD MIXTURE  
COLOR: SHADOU SLATE C-31  
EQUIVALENT TO 6X4 BACK MIX DESIGN  
SCOFFED COLOR HARDENER  
COLOR: TERRA COTTA A-28  
DOSAGE RATE OF COLOR HARDENER BEFORE FINAL BROOK FINISH
- INTEGRAL COLOR AND COLOR HARDENER CONCRETE - COARSE BRUSHED BROOK FINISH  
SCOFFED CHORDIX AD MIXTURE  
COLOR: ADOBE TAN C-31  
EQUIVALENT TO 6X4 BACK MIX DESIGN  
SCOFFED COLOR HARDENER  
COLOR: TERRA COTTA A-28  
DOSAGE RATE OF COLOR HARDENER BEFORE FINAL BROOK FINISH
- INTEGRAL COLOR AND COLOR HARDENER CONCRETE - COARSE BRUSHED BROOK FINISH  
SCOFFED CHORDIX AD MIXTURE  
COLOR: ADOBE TAN C-31  
EQUIVALENT TO 6X4 BACK MIX DESIGN  
SCOFFED COLOR HARDENER  
COLOR: TERRA COTTA A-28  
DOSAGE RATE OF COLOR HARDENER BEFORE FINAL BROOK FINISH
- PEDESTRIAN SPECIALTY PAVEMENT  
BRICK PAVERS  
OLD CAROLINA BRICK COMPANY (OR EQUIVALENT)  
COLOR: SAVANNAH GRAY  
FIELD PATTERN: 45° HERRINGBONE
- SINGLE BORDER BRICK PAVERS  
OLD CAROLINA BRICK COMPANY (OR EQUIVALENT)  
COLOR: SAVANNAH GRAY  
BORDER PATTERN: HEADER COURSE
- DOUBLE BORDER BRICK PAVERS  
OLD CAROLINA BRICK COMPANY (OR EQUIVALENT)  
COLOR: SAVANNAH GRAY  
BORDER PATTERN: HEADER COURSE
- PERMEABLE PAVERS  
FINE HALL BRICK  
STONE PAVE PERMEABLE PAVEMENT (OR EQUIVALENT)  
COLOR: FULL RANGE RED  
FIELD PATTERN: 45° HERRINGBONE  
BORDER PATTERN: SINGLE HEADER COURSE (SEE CIVIL PLANS)
- TRUNCATED DOME ADA DETECTABLE WARNING PAVEMENT  
FINE HALL ADA TRUNCATED DOME PAVERS (OR EQUIVALENT)  
COLOR: RED
- TRUNCATED DOME ADA DETECTABLE WARNING TILE 6" STEP-SAFE TILES (OR EQUIVALENT)  
SIZE: 6" x 6" x 1/2"  
COLOR: CHOCOLATE BROWN

- BOARDWALK
- ASPHALT BIKE PATH
- EXPANSION JOINT
- CONTROL JOINT
- PLANT BED

**SITE FURNISHINGS SCHEDULE**

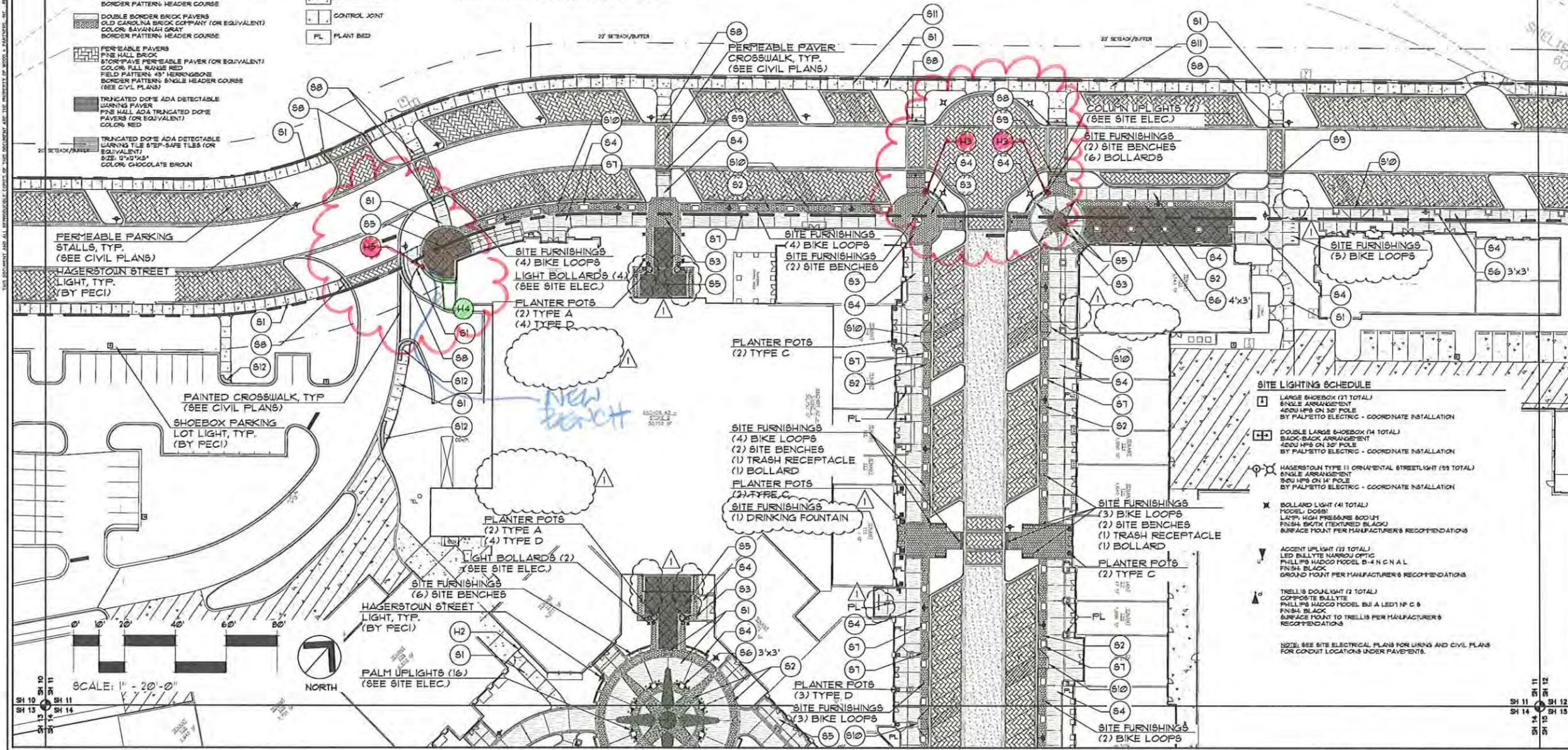
- SITE BENCH (18 TOTAL - SITE (6 TOTAL - KROGER) / 2)
- BIKE LOOP (55 TOTAL)  
MADRAK  
1/2" BIKE RACK (OR EQUIVALENT)  
MODEL: 40038-15-18  
FINISH: 1/2" BIELD  
COLOR: BLACK  
N GROUND MOUNT PER MANUFACTURER'S SPECIFICATIONS
- TRASH RECEPTACLE (1 TOTAL)  
55 GALLON  
MODEL: 1912-5061  
FINISH: DURAGUAT  
COLOR: ONYX  
SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
- DRINKING FOUNTAIN (2 TOTAL)  
MOST DEFENDABLE FOUNTAINS (OR EQUIVALENT)  
FINISH: POWDER COAT  
COLOR: TEXTURED BLACK  
SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
- PLANTER POTS - TYPE A (4 TOTAL)  
EXISTING 48" DIA. ROUND VESSEL  
TERRA COTTA  
CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN)
- PLANTER POTS - TYPE B (4 TOTAL)  
EXISTING 36" DIA. TAPERED VESSEL  
TERRA COTTA  
CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN)
- PLANTER POTS - TYPE C (6 TOTAL)  
QUICK CRETE PRODUCTS  
RIVERSIA ROUND - MODEL: 12R-RV328P  
COLOR: EMERALD BAY GREEN W/ HYCRETE  
TEXTURE: SMOOTH  
SEALER: MATTE SEALER AND INTERIOR WATER SEALANT  
CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN) AND PROVIDE OWNER WITH MAINTENANCE GUIDE AND WARRANTY SHEET FROM MANUFACTURER
- PLANTER POTS - TYPE D (14 TOTAL)  
QUICK CRETE PRODUCTS  
RIVERSIA ROUND - MODEL: 12R-RV328P  
COLOR: EMERALD BAY GREEN W/ HYCRETE  
TEXTURE: SMOOTH  
SEALER: MATTE SEALER AND INTERIOR WATER SEALANT  
CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN) AND PROVIDE OWNER WITH MAINTENANCE GUIDE AND WARRANTY SHEET FROM MANUFACTURER
- USFS MAILBOX

**SITE KEY LEGEND:**

- 91 CONCRETE WALK  
DETAIL 1/1.310
- 92 SPECIALTY BRICK PAVEMENT WITH SINGLE BAND  
DETAIL 6/1.310
- 93 SPECIALTY BRICK PAVEMENT WITH DOUBLE BAND  
DETAIL 1/1.310
- 94 CONCRETE WALK W/ SINGLE BRICK BORDER  
DETAIL 4/1.310
- 95 CONCRETE WALK W/ DOUBLE BRICK BORDER  
DETAIL 5/1.310
- 96 GENERIC TREE WELL  
DETAIL 1/1.311
- 97 STREET TREE WELL  
DETAIL 2/1.311
- 98 HANDICAP RAMP W/ TILE TRUNCATED DOME - TYPE F  
DETAIL 3/1.311
- 99 HANDICAP RAMP W/ PAVEMENT TRUNCATED DOME - TYPE F  
DETAIL 4/1.311
- 910 CONCRETE CURB RAMP - TYPE A  
DETAIL 5/1.311
- 911 CONCRETE CURB RAMP - TYPE B  
DETAIL 6/1.311
- 912 CONCRETE CURB RAMP - TYPE D  
DETAIL 1/1.311
- 913 ASPHALT BIKE PATH  
DETAIL 1/1.312
- 914 WOOD BOARDWALK  
DETAIL 3/1.312
- 915 AT GRADE WOOD DECK  
DETAIL 4/1.312

**HARDSCAPE:**

- H1 N.I.C.
- H2 SCREEN FENCE AND DOUBLE GATE  
DETAIL 1/1.314
- H3 ENTRY COLUMN  
DETAIL 2/1.313
- H4 BRICK KNEE WALL  
DETAIL 1/1.314
- H5 COLUMN AT KNEE WALL  
DETAIL 3/1.313
- H6 WOOD BENCH  
DETAIL 2/1.314



SCALE: 1" = 20'-0"



NO.	DESCRIPTION	DATE	PLAN REVISIONS
1	GENERAL REVISIONS	6/17/2013	
2	KROGER REVISIONS	8/28/2013	

**Wood + Partners Inc.**  
 Landscape Architects  
 Land Planners

101 Star 2015 • 4000 Peachtree Dunwoody Rd, Suite 200  
 Atlanta, GA 30328 • 404.252.1111 • www.woodpartners.com

SHELTER COVE TOWN CENTRE PHASE 1C  
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
 SHELTER COVE TOWN CENTRE, LLC  
 Augusta, Georgia

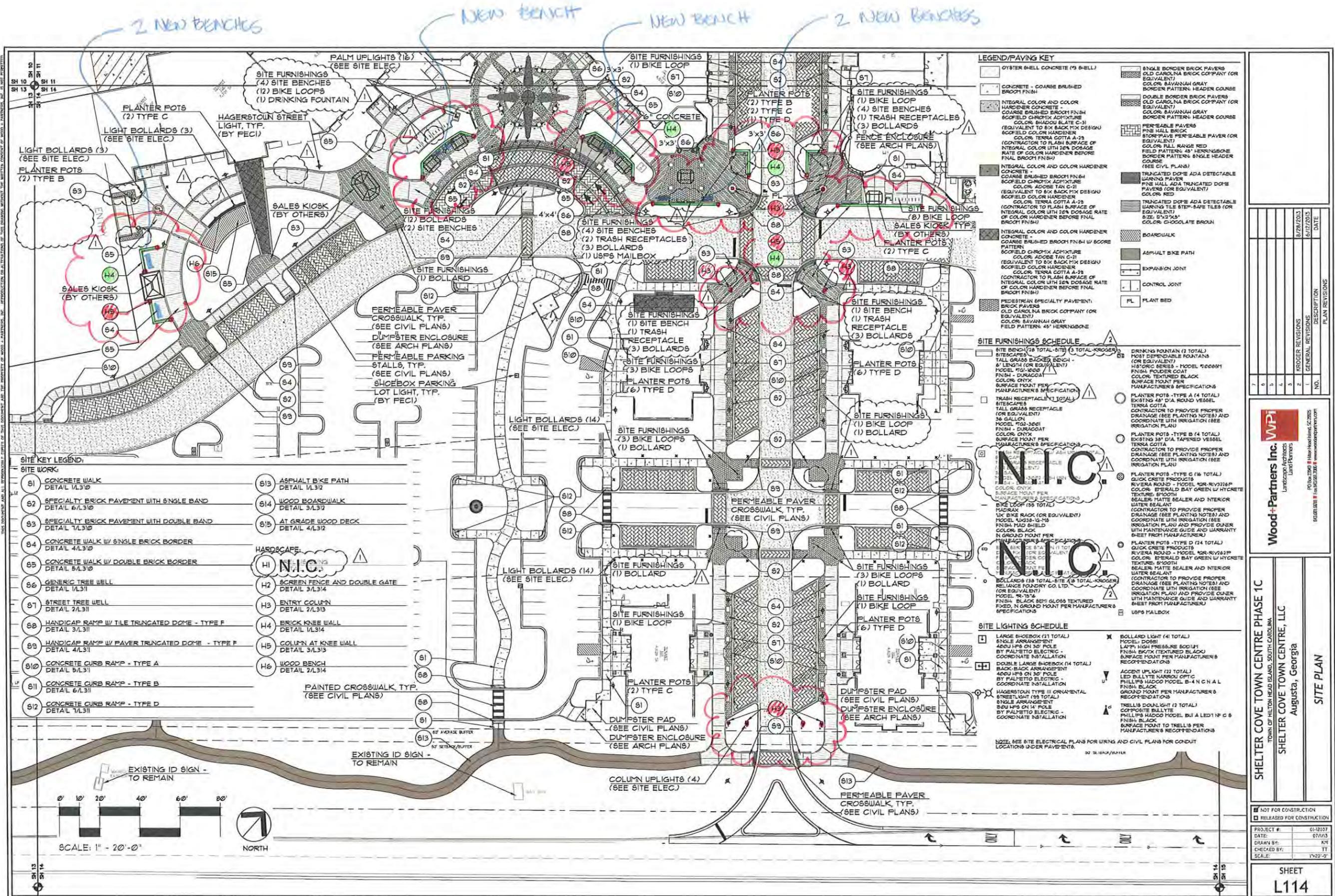
**SITE PLAN**

NOT FOR CONSTRUCTION  
 RELEASED FOR CONSTRUCTION

PROJECT #: 01-2237  
 DATE: 07/11/13  
 DRAWN BY: KH  
 CHECKED BY: TT  
 SCALE: 1/8" = 1'-0"

**SHEET L111**

IF THIS SHEET IS LESS THAN 22" x 30" IT IS A REDUCED PRINT, SCALE ACCORDINGLY



**LEGEND/PAVING KEY**

[Symbol]	OYSTER SHELL CONCRETE (9 SHELL)	[Symbol]	SINGLE BORDER BRICK PAVERS (OR EQUIVALENT) COLOR: SAVANNAH GRAY BORDER PATTERN: HEADER COURSE
[Symbol]	CONCRETE - COARSE BRUSHED BROOK FINISH	[Symbol]	DOUBLE BORDER BRICK PAVERS (OR EQUIVALENT) COLOR: SAVANNAH GRAY BORDER PATTERN: HEADER COURSE
[Symbol]	INTEGRAL COLOR AND COLOR HARDENER COARSE BRUSHED BROOK FINISH SCOFFED CHROMIUM ADORNATURE COLOR: ADORBE TAN C-31 EQUIVALENT TO 8X BACK FHX DESIGN SCOFFED COLOR HARDENER	[Symbol]	PERMEABLE PAVERS STOP-PAVE PER-SEAL PAYER (OR EQUIVALENT) COLOR: FULL RANGE RED FIELD PATTERN: 45° HERRINGBONE BORDER PATTERN: SINGLE HEADER COURSE (SEE CIVIL PLANS)
[Symbol]	INTEGRAL COLOR AND COLOR HARDENER COARSE BRUSHED BROOK FINISH SCOFFED CHROMIUM ADORNATURE COLOR: ADORBE TAN C-31 EQUIVALENT TO 8X BACK FHX DESIGN SCOFFED COLOR HARDENER	[Symbol]	TRUNCATED DOME ADA DETECTABLE WARNING TILE STEP-SAFE TILES (OR EQUIVALENT) 3/8" D x 2 1/2" W COLOR: CHOCOLATE BROWN
[Symbol]	INTEGRAL COLOR AND COLOR HARDENER COARSE BRUSHED BROOK FINISH W/ SCORE PATTERN SCOFFED CHROMIUM ADORNATURE COLOR: ADORBE TAN C-31 EQUIVALENT TO 8X BACK FHX DESIGN SCOFFED COLOR HARDENER	[Symbol]	BOARDWALK
[Symbol]	INTEGRAL COLOR AND COLOR HARDENER COARSE BRUSHED BROOK FINISH W/ SCORE PATTERN SCOFFED CHROMIUM ADORNATURE COLOR: ADORBE TAN C-31 EQUIVALENT TO 8X BACK FHX DESIGN SCOFFED COLOR HARDENER	[Symbol]	ASPHALT BIKE PATH
[Symbol]	INTEGRAL COLOR AND COLOR HARDENER COARSE BRUSHED BROOK FINISH W/ SCORE PATTERN SCOFFED CHROMIUM ADORNATURE COLOR: ADORBE TAN C-31 EQUIVALENT TO 8X BACK FHX DESIGN SCOFFED COLOR HARDENER	[Symbol]	EXPANSION JOINT
[Symbol]	INTEGRAL COLOR AND COLOR HARDENER COARSE BRUSHED BROOK FINISH W/ SCORE PATTERN SCOFFED CHROMIUM ADORNATURE COLOR: ADORBE TAN C-31 EQUIVALENT TO 8X BACK FHX DESIGN SCOFFED COLOR HARDENER	[Symbol]	CONTROL JOINT
[Symbol]	PEDESTRIAN SPECIALTY PAVEMENT: BRICK PAVERS OLD CAROLINA BRICK COMPANY (OR EQUIVALENT) COLOR: SAVANNAH GRAY FIELD PATTERN: 45° HERRINGBONE	[Symbol]	PLANT BED

**SITE FURNISHINGS SCHEDULE**

[Symbol]	DRINKING FOUNTAIN (2 TOTAL) POST DEFENSIBLE FOUNTAINS (OR EQUIVALENT) HISORIC SERIES - MODEL 9000041 FINISH: POWDER COAT COLOR: TEXTURED BLACK SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
[Symbol]	PLANTER POTS - TYPE A (4 TOTAL) EXISTING 48" DIA ROUND VESSEL TERRA COTTA CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN)
[Symbol]	PLANTER POTS - TYPE B (4 TOTAL) EXISTING 38" DIA TAPERED VESSEL TERRA COTTA CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN)
[Symbol]	PLANTER POTS - TYPE C (16 TOTAL) QUICK CRETE PRODUCTS RIVERA ROUND - MODEL ROR-RV216P COLOR: EMERALD BAY GREEN W/ HYCRETE TEXTURE: SMOOTH SEALER: MATTE SEALER AND INTERIOR WATER SEALANT CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN) AND PROVIDE OWNER WITH MAINTENANCE GUIDE AND WARRANTY SHEET FROM MANUFACTURER
[Symbol]	PLANTER POTS - TYPE D (24 TOTAL) QUICK CRETE PRODUCTS RIVERA ROUND - MODEL ROR-RV262P COLOR: EMERALD BAY GREEN W/ HYCRETE TEXTURE: SMOOTH SEALER: MATTE SEALER AND INTERIOR WATER SEALANT CONTRACTOR TO PROVIDE PROPER DRAINAGE (SEE PLANTING NOTES) AND COORDINATE WITH IRRIGATION (SEE IRRIGATION PLAN) AND PROVIDE OWNER WITH MAINTENANCE GUIDE AND WARRANTY SHEET FROM MANUFACTURER
[Symbol]	USPS MAILBOX

**SITE LIGHTING SCHEDULE**

[Symbol]	LARGE SHOEBOX (11 TOTAL) SINGLE ARRANGEMENT 400 LUMENS ON 30' POLE BY PALMETTO ELECTRIC - COORDINATE INSTALLATION	[Symbol]	BOLLARD LIGHT (4 TOTAL) MODEL: DOSEI LAMP: HIGH PRESSURE SODIUM FINISH: BLACK TEXTURED BLACK SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
[Symbol]	DOUBLE LARGE SHOEBOX (14 TOTAL) BACK-BLACK ARRANGEMENT 400 LUMENS ON 30' POLE BY PALMETTO ELECTRIC - COORDINATE INSTALLATION	[Symbol]	ACCENT UPLIGHT (22 TOTAL) LED BULLYTE NARROW OPT PHILLIPS HADCO MODEL B-4 N C N A L FINISH: BLACK GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS
[Symbol]	HAGERSTOWN TYPE III ORNAMENTAL STREETLIGHT (99 TOTAL) SINGLE ARRANGEMENT 800 LUMENS ON 14' POLE BY PALMETTO ELECTRIC - COORDINATE INSTALLATION	[Symbol]	TRELLIS DOWNLIGHT (12 TOTAL) COMPOSITE BULLYTE PHILLIPS HADCO MODEL BU A LED1 N C 8 FINISH: BLACK SURFACE MOUNT TO TRELLIS PER MANUFACTURER'S RECOMMENDATIONS

**SITE KEY LEGEND**

[Symbol]	CONCRETE WALK DETAIL 1/L3/0	[Symbol]	ASPHALT BIKE PATH DETAIL 1/L3/2
[Symbol]	SPECIALTY BRICK PAVEMENT WITH SINGLE BAND DETAIL 6/L3/0	[Symbol]	WOOD BOARDWALK DETAIL 3/L3/2
[Symbol]	SPECIALTY BRICK PAVEMENT WITH DOUBLE BAND DETAIL 7/L3/0	[Symbol]	AT GRADE WOOD DECK DETAIL 4/L3/2
[Symbol]	CONCRETE WALK W/ SINGLE BRICK BORDER DETAIL 4/L3/0	[Symbol]	CONCRETE CURB RAMP - TYPE A DETAIL 5/L3/1
[Symbol]	CONCRETE WALK W/ DOUBLE BRICK BORDER DETAIL 5/L3/0	[Symbol]	CONCRETE CURB RAMP - TYPE B DETAIL 6/L3/1
[Symbol]	GENERIC TREE WELL DETAIL 1/L3/1	[Symbol]	CONCRETE CURB RAMP - TYPE D DETAIL 7/L3/1
[Symbol]	STREET TREE WELL DETAIL 2/L3/1		
[Symbol]	HANDICAP RAMP W/ TILE TRUNCATED DOME - TYPE F DETAIL 3/L3/1		
[Symbol]	HANDICAP RAMP W/ PAVEMENT TRUNCATED DOME - TYPE F DETAIL 4/L3/1		

**HARDSCAPE**

[Symbol]	SCREEN FENCE AND DOUBLE GATE DETAIL 3/L3/4
[Symbol]	ENTRY COLUMN DETAIL 2/L3/3
[Symbol]	BRICK KNEE WALL DETAIL 1/L3/4
[Symbol]	COLUMN AT KNEE WALL DETAIL 3/L3/3
[Symbol]	WOOD BENCH DETAIL 2/L3/4

**WOOD + PARTNERS Inc.**  
Landscape Architects  
Land Planners

**WPI**  
Wood + Partners Inc.  
Landscape Architects  
Land Planners

PROJECT # 01-1037  
DATE 07/11/13  
DRAWN BY: KJ  
CHECKED BY: TT  
SCALE: 1"=20'-0"

**SHELTER COVE TOWN CENTRE PHASE 1C**  
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
**SHELTER COVE TOWN CENTRE, LLC**  
Augusta, Georgia

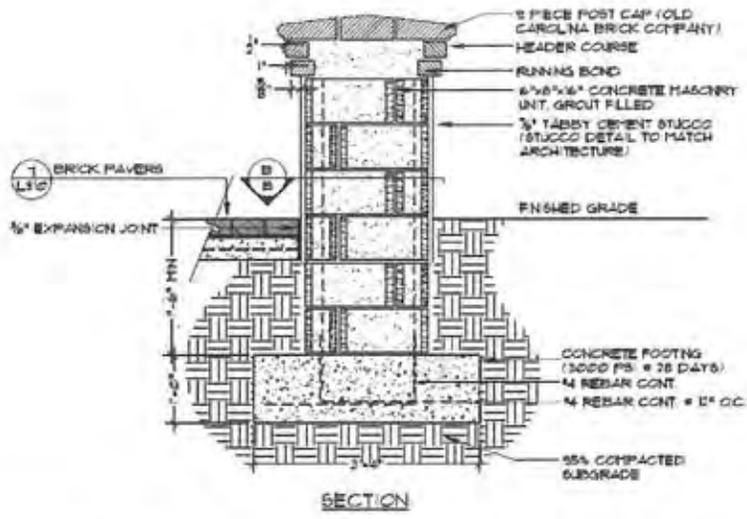
**SITE PLAN**

DATE: 8/28/2013  
DESCRIPTION: PLAN REVISIONS  
NO. 1  
GENERAL REVISIONS  
2  
KROGER REVISIONS  
3  
NO.

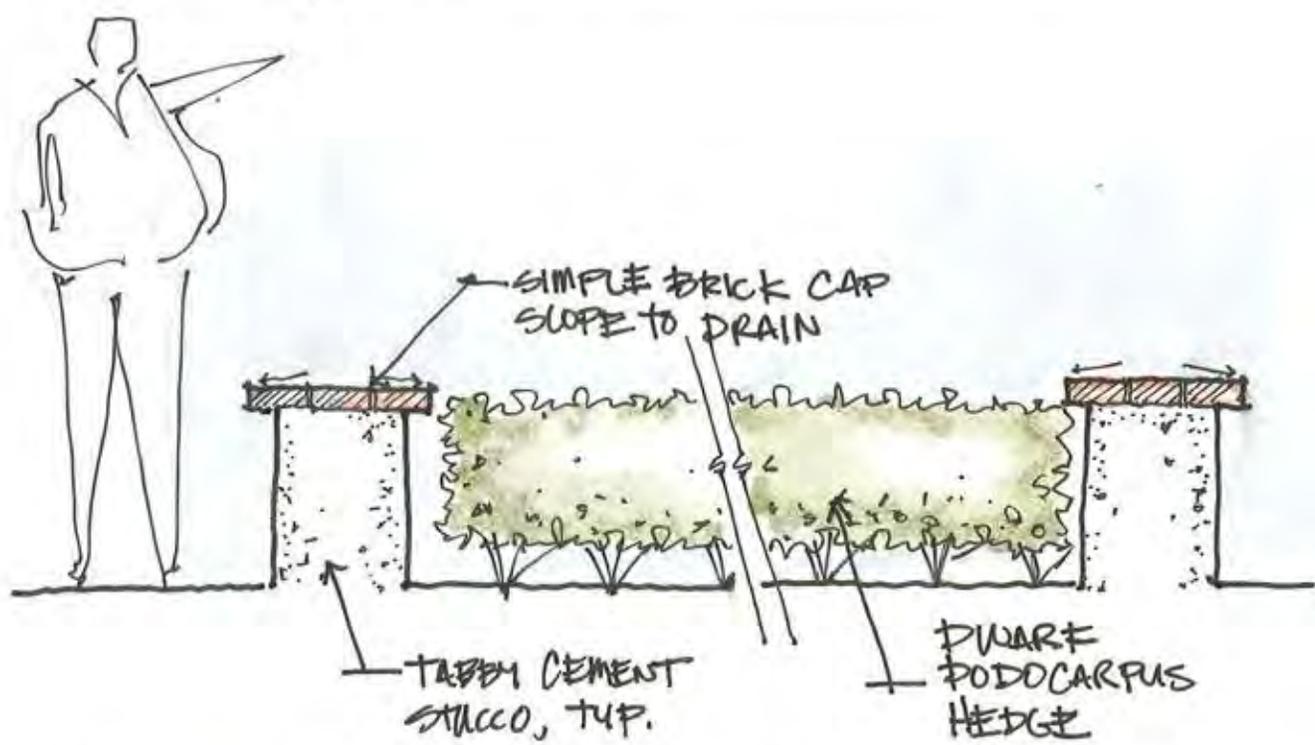
NOT FOR CONSTRUCTION  
RELEASED FOR CONSTRUCTION

**SHEET L114**

IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT, SCALE ACCORDINGLY



3 COLUMN AT KNEE WALL  
 L313 SCALE 3/4" = 1'-0"



PROPOSED COLUMN / HEDGE

TABBY COLUMN EXAMPLE



PODOCARPUS EXAMPLE



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Towne Centre – Minor External Change\_

DRB#: DR 140014

DATE: March 11, 2014

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

The developer of Shelter Cove Towne Centre proposes to make some changes to previously approved plans including:

1. Eliminating large columns located at intersections of “Main Street” at Shelter Cove Lane, William Hilton Parkway, and the driveway connecting Kroger & Belk.
2. Changing the small columns to tabby stucco with brick caps.
3. Eliminating the cheek wall between the small columns and replacing it with a podocarpus hedge. Benches would be added where appropriate to provide seating lost due to eliminating the cheek wall.
4. Replacing striped awnings with solid colored awnings, to be selected on a case-by-case basis from a palette of 9 colors.

Staff recommends the following:

1. Propose something to take the place of the large columns as a punctuation point, i.e. continue the line of palm trees.
2. Tabby stucco with brick caps are appropriate for small columns.
3. Re-evaluate the landscape adjacent to the proposed hedge. In most locations the back of the knee wall was planted with a low shrub.
4. Reconsider addition of brighter colors, including “Tuscan”, “Sky Blue”, and “Aquamarine”. Provide color sample board for comparison of paint palette to fabric palette.