



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, March 25, 2014

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of March 11, 2014
6. **Staff Report**
7. **Board Business**
8. **Unfinished Business**
 - A. Alteration/Addition
 - 1) DR 140004 – Shelter Cove Towne Centre – Building 121
9. **New Business**
 - A. Alteration/Addition
 - 1) DR 140015 – One Hot Mama's
 - B. Minor External Change
 - 1) DR 140016 – Resort Source (awning)
 - 2) DR 140017 – Frankie Bones (awning)
10. **Appearance by Citizens**
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, March 11, 2014 Meeting
1:15p.m – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Vice Chairman Deb Welch,
Jake Gartner, Jennifer Moffett, Tom Parker and Todd Theodore

Board Members Absent: Galen Smith

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Teri Lewis, LMO Administrator
Heather Colin, Development Review Administrator
Richard Spruce, Floodplain Administrator
Kathleen Carlin, Administrative Assistant

1. Call to Order

Chairman Scott Sodemann called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

The Board **approved** the agenda as presented by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the February 25, 2014 meeting as presented by general consent.

6. Staff Report

Mr. Theodore recused himself from review of the Staff's Report regarding the Shelter Cove Towne Center's monument signs due to a professional conflict of interest. A Conflict of Interest Form was completed, signed by Mr. Theodore, and attached to the record.

Ms. Ray presented background details regarding Shelter Cove Towne Center's monument signs that were previously reviewed and approved by the Board. The approved plan indicated four locations for the monument signs (a single sided sign at the intersection of Shelter Cove Lane and Highway 278 adjacent to the former Fuddrucker's building, two double sided monument signs on either side of the new right in/right out on Highway 278, and a double sided sign down near the second south-bound intersection of Shelter Cove Lane and Highway 278).

During construction and as the signs moved into the sign permit phase, the applicant decided that they would like to install three signs at this time instead of four signs. They are allowed to have a total of four signs with the condition that the existing Shelter Cove Mall monument signs are removed.

Ms. Ray presented an overhead review of the existing location of the sign on Highway 278. The other existing monument signs are located at in the medians at the entrances from Shelter Cove Lane. Ms. Ray stated that the applicant would like to keep the existing sign until some point in the future. The applicant is currently working on the panels and the finish for the new signs.

During the sign permit application process, the staff notified the applicant that they would be required to remove the existing monument signs within 10 days of the completed installation of the new signs. The staff directed the applicant that the monument sign issue would be brought before the Board today for their review and decision.

In addition, the applicant's approved plans called for a brick base with a pre-cast cap. The applicant would like to change this to a tabby stucco base with a brick cap. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

The applicant, Mr. Matt Mills, presented statements in support of the request. Mr. Mills discussed the applicant's reasons for wanting to install the new monument signs while still keeping the original Mall monument sign in place. The applicant presented comments regarding the construction in the area and Belk's desire to keep their existing signage place. The applicant and the Board also discussed the change in materials. The Board stated that they are in favor of the proposed materials.

The Board stated their concern with the applicant's request to leave the old monuments signs up when the new monument signs are installed. The Board stated that the signs will conflict with one another and it will be confusing. The Board and the applicant discussed the timeframe that the applicant feels that he will need. The Board encouraged the applicant to complete their work on the new monument signs as quickly as possible. The applicant indicated that about two months will be necessary.

Ms. Ray stated that the applicant has 45-days to complete their work following the issuance of the sign permit. The staff recommended allowing the existing signs to be removed within 10 days of installation of the new signs.

The Board stated that they cannot support an indefinite time for removal of the old monument signs. The sign's tenant panels will change over time as new tenants come in and old tenants leave. Following final discussion by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Welch made a **motion** to **approve** the tabby base with brick cap. The applicant may leave the existing monument sign up for 10 days following the expiration of the permit for the new monument signs and then it has to come down. Mr. Gartner **seconded** the motion and the motion **passed** with a vote of 5-0-0.

7. Board Business

None

8. Unfinished Business

A. Alteration/Addition

1. Reilley's Grill & Bar (South Hilton Head Island Location) – DR 130052

Ms. Ray presented background details regarding the Board's previous review of this project located at 7 Greenwood Drive. The Board approved the project on December 16, 2013 with the

condition that the tree mitigation plan and the landscaping plan would be presented to the Board for review and approval.

The applicant's plan has been prepared and includes a mix of native or commonly used evergreen shrubs including some flowering shrubs and ground cover. Evergreen trees including Southern Magnolia and Yaupon Holly have been proposed to mitigate the removal of pines. The applicant's proposal exceeds the requirements for the mitigation plan. The staff recommends approval of the plan as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Don Baker, Architect, presented statements in support of the mitigation and landscape plan. The Board and the applicant discussed the project. Following the Board's discussion, Chairman Sodemann requested that a motion be made.

Mr. Parker made a **motion** to **approve** the Reilley's Grill & Bar (South Hilton Head Island Location) application, DR 130052, as submitted. Vice Chairman Welch **seconded** the motion and the motion **passed** with a vote of 6-0-0.

9. New Business

A. New Development – Conceptual Review

Mr. Parker recused himself from the review of the following application, Shelter Cove Community Park, due to a professional conflict of interest. A Conflict of Interest Form was completed, signed by Mr. Parker and attached to the record.

1. Shelter Cove Community Park – DR140007

Ms. Ray introduced the application and stated its location, 39 Shelter Cove Lane. This project is part of the redevelopment of the Mall. The Shelter Cove Community Park is proposed to be relocated from its current location to a larger space directly behind the new Shelter Cove Towne Centre along Broad Creek.

Ms. Ray presented an in-depth overhead review of the project including the neighboring architectural style and existing conditions. The site analysis indicates potential deep water access and pedestrian access points from the new sidewalk adjacent to the on street parking. The park is intended to be a place for people to gather and enjoy the natural environment on Hilton Head Island. The design honors the heritage of the lowcountry while incorporating the attitude of progress with subtle detailing not uncommon to the architecture and style of Hilton Head Island. The concept plan was reviewed by the Parks & Rec. Commission, the Public Facilities Committee, and approved by Town Council in late fall 2013.

The objectives include a flexible, functional space to accommodate a variety of activities including special events that currently take place in Shelter Cove Community Park as well as day-to-day passive use. It also considers long-term maintenance and upkeep which the town will provide.

The design features included are a water feature and expanded drop off area, a performance pavilion, sunset pavilion with restrooms and playground, multi-functional event lawn spaces, shade structures, and interpretative signage.

Ms. Ray reviewed details of the proposed fixtures, furnishings, materials, fountain, and playground. The staff recommended approval of the project as submitted. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Tim Probst, Lee & Parker Architects, and Mr. Wallace Milling, Witmer Jones Keefer, presented brief comments in support of the application. The Board discussed the project and presented comments including reuse of the bike racks; removal of shade trees should be kept to a minimum; the size of the playground (bigger if possible); and the sunset pavilion appears more like a restroom building than a pavilion with restrooms. There is a lot of concrete sidewalk which is not in keeping with existing Town parks; consider a hierarchy of oyster shell concrete, oyster shell concrete with brick borders, and brick pavers. Proposed paving should engage the drop off area. Try not to block the view of the marsh with the fountain. Details regarding the fence and bollards were discussed.

The Board and the applicant discussed the bulkhead and the railing materials. The applicant presented details regarding the railings (cable rail with pressure treated wood). The Board and the applicant discussed the need and locations for shelters (for weather protection). The Board stated that they are looking forward to seeing the final submission of the project including the integration of landscaping into the performance pavilion. Plant life will be important to soften the area and make it feel more park-like. The Board and the applicant discussed the parking. Following final comments by the Board, Mr. Sodemann requested that a motion be made.

Mr. Theodore made a **motion** to **approve** the Shelter Cove Community Park conceptual application, DR 140007, with the condition that the applicant takes the Board's comments into consideration. Vice Chairman Welch **seconded** the motion and the motion **passed** with a vote of 5-0-0.

B. Minor External Change

1. Baynard Mausoleum – DR 140012

Ms. Ray presented an in-depth overhead review of the application, located at the intersection of Highway 278 and Mathews Drive, including photos of existing site conditions. In order to prevent additional damage to the roof of the structure, SCAD has recommended that a temporary poly cover be placed over the roof and the incorporation of two louvered panels in the existing door. The work will include construction of a 2 x 6 frame over the existing roof, covered with a brown poly tarp.

Ms. Ray distributed a sample of the proposed tarp material. The staff recommended approval of the application as submitted. The applicant was not present at the meeting for comments or questions from the Board.

The Board discussed the quality of the tarp material and stated their concern with the timeframe for use of the tarp. The Board stated concerns with the temporary tarp including the length of time that may be needed by the applicant to dry out the building. The Board stated that the color is fine. The material may not be suitable for weather conditions. It should not stay on the roof and wrap over the facade. Don't bring it down from the roof. Bring it only to the end of the roof. The Board discussed a time limit for the project.

Ms. Teri Lewis presented statements in concern of the time limit – the applicant will need to return to the Board if the timeframe is not met. Following the Board's discussion, Chairman Sodemann requested that a motion be made.

Mr. Gartner made a motion to **approve** the Baynard Mausoleum application, DR 140012, with the condition that the applicant has a limit of 60 days with the tarp on the project. Mr. Parker **seconded** the motion and the motion **passed** with a vote of 6-0-0.

Mr. Theodore recused himself from the review of the following application, Shelter Cove Towne Centre, due to a professional conflict of interest. A Conflict of Interest Form was completed, signed by Mr. Theodore, and attached to the record.

2. Shelter Cove Towne Centre – DR 140014

Ms. Ray stated that the applicant proposes to make some minor changes to the hardscape elements and awnings in order to promote continuity with the architecture of the building's design elements that are progressing as the project continues under construction. Ms. Ray presented an in-depth overhead review of the project including the site analysis.

The applicant requests that the columns identified as H-3 brick columns with a tabby section in the middle be eliminated; that smaller columns that were identified as H-5 columns associated with the knee wall be changed to a tabby column with a brick base; and that the knee wall be removed and replaced with a podocarpus hedge with benches in front of the hedge in locations where the knee wall was serving as a seat wall.

Staff's comment relative to the columns is that they were used to break up the space and bring in some pedestrian scale; staff questions whether something else should go in that space. The applicant should review the landscape plan and make changes if necessary due to the addition of the hedge. The applicant would like to replace the previously approved striped awnings with various solid awnings. Ms. Ray presented samples of the paint colors as well as the awning fabric for the Board's review. The applicant has selected a palette of other solids that the various tenants can choose from. The fabric includes a series of solid colors in earth tones. The staff is concerned that there may be too many colors. The staff recommends approval of the project with a condition regarding limiting the color palette by removing "Tuscan", "Aquamarine", and "Sky Blue".

The Board discussed the project and agreed with the staff's comments and recommendations regarding the color palette. The Tuscan color and the Aquamarine color may need to be eliminated from the color palette. The Board and the applicant discussed the landscape plan as related to architectural elements, the knee wall and the need for benches, and the vertical elements. Following final comments by the Board, Mr. Sodemann requested that a motion be made.

Mr. Parker made a **motion** to **approve** the Shelter Cove Towne Centre application, DR 140014, with the following conditions: (1) where the knee walls are being taken out and replaced with hedges, the location of the hedge be coordinated with the existing landscape plan; (2) where the knee wall comes out, benches additional to the initial submission will be added to the project; and (3) that the "Tuscan" and the "Aquamarine" colors be eliminated from the color palette. Mr. Gardner **seconded** the motion and the motion **passed** with a vote of 5-0-0.

10. **Appearance by Citizens**

None

11. **Adjournment**

The meeting was adjourned at 2:45p.m.

Submitted By:

Kathleen Carlin
Administrative Assistant

Approved By:

Scott Sodemann
Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Shelter Cove Towne Centre Company: Shelter Cove Towne Center LLC
 Mailing Address: 40 Shelter Cove Lane City: HH State: SC Zip: 29928
 Telephone: 686-209 Fax: 686-5581 E-mail: albritton@sheltercovecentre.com
 Project Name: Shelter Cove Towne Centre - Bldg 121 Project Address: 24 Shelter Cove Lane Hilton Head Island, SC
 Parcel Number [PIN]: R52001200B00260000 29928
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
- New Development – Final, indicate Project Number

- (To previously approved Development)
Alteration/Addition
- Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions and Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- Material/color samples of existing and proposed changes - 8 1/2" X 14" *Maximum*; Stating manufacturer and material name

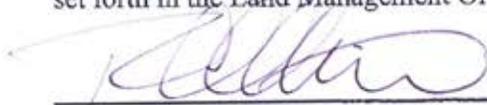
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO *will submit SOHCARB approval later.*

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

1-28-14

DATE

TO: Town of Hilton Head Island, DRB

FROM: Bill DeTorre

DATE: 03-09-14

RE: Poseidon Seafood, Shelter Cove Towne Ctr. Bldg. 121

Per our last meeting with the DRB dated 02-11-14 we have made the following changes to the design in keeping with the comments and concerns of the Board:

1. Roof color has been changed from "Colonial Red" to "Teal". (see sample)
2. Main roof pitch has been lowered by 6' and all dormers have been removed.
3. All roofs (upper and lower) have been changed to "Teal".
4. Portico "craftsman style" columns have been replaced with standard box columns and re-sized.
5. Column support omitted at second level hip roof has been added back.
6. Provided photo sample of the color and style of the proposed guard rail detail.
7. All store fronts have been changed to light aluminum,(same as Kroger).
8. Poseidon stucco logo has been removed from the East Elevation.
9. Re-sized second story porch column supports and bases.



ENVIRONMENTALLY SMART COLORS - DESIGNED ENERGY EFFICIENT

TERRA COTTA	AGED COPPER	SOLAR WHITE	SANDSTONE	SIERRA TAN
COLONIAL RED	PATINA GREEN	REGAL WHITE	ASH GRAY	MEDIUM BRONZE
*REGAL RED	*HEMLOCK GREEN	STONE WHITE	SLATE GRAY	MANSARD BROWN
*BURGUNDY	*HARTFORD GREEN	SLATE BLUE	CHARCOAL GRAY	DARK BRONZE
MATTE BLACK	EVERGREEN	*REGAL BLUE	*TEAL	

METALLIC COLORS

*SILVER	*COPPER	*CHAMPAGNE	*PRE-WEATHERED GALVALUME [®]

NON-PAINTED



WEATHERED METAL COLORS

*GALV-TEN [®] RAW	*COPPER-TEN [®] RAW	*COR-TEN AZ15 [®] RAW



Sheffield Metals International

CLEVELAND: 800.283.5262
ATLANTA: 800.929.9359
DALLAS: 877.853.4904
DENVER: 877.375.1477
www.WhyItsCooler.com

*Available at a slight price premium.
Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with either Kynar 500[®] or Hylar 5000[®] resins, which provide superior color retention, and allow us to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Silver, Champagne, and Pre-Weathered Galvalume. Metallics are warranted for chip, crack, and peel only. Please contact your representative for more information.

*Also available in Robust.





POSEIDON - BLDG. 121 & 122

38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD, SC 29928

DEVELOPED BY

BLANCHARD & CALHOUN COMMERCIAL

2743 PERIMETER PARKWAY
BUILDING 100, SUITE 370
AUGUSTA, GA 30909

ARCHITECT'S JOB NUMBER: 13914

ISSUE DATE:
01/10/2014

OWNER:

BLANCHARD + CALHOUN
2743 PERIMETER PARKWAY
BUILDING 100, SUITE 370
AUGUSTA, GA 30909

ARCHITECT:

NARRAMORE ASSOCIATES, INC.
DESIGNER OF RECORD: DAVID L. NARRAMORE, AIA
310 MILLS AVE., STE. 203
GREENVILLE, SC 29605
864.242.9881

CIVIL ENGINEER:

WARD EDWARDS ENGINEERING
P.O. BOX 381
BLUFFTON, SC 29910
843-837-5250

STRUCTURAL ENGINEER:

BRITT PETERS + ASSOCIATES
DESIGNER OF RECORD: STEVEN DOVER
101 W. CAMPERDOWN WAY SUITE 601
GREENVILLE, SC 29601
864-271-8869

MECHANICAL ENGINEER:

LeBLANC-WELCH
DESIGNER OF RECORD: DAVID C. BONDS
25 WOODS LAKE RD., STE. 405
GREENVILLE, SC 29607
864-271-6535

ELECTRICAL ENGINEER:

ROGER S. PASSMORE, P.E.
719 LAURENS RD., STE. 100
GREENVILLE, SC 29607
864-235-3374

PROJECT DATA			
GENERAL		OCCUPANCY CLASSIFICATION - ASSEMBLY A-2 MERCANTILE GROUP M	
BUILDING CODE REFERENCES THIS PROJECT WAS DESIGNED TO CONFORM TO THE FOLLOWING APPLICABLE CODES FOR THE LOCALITY.		CONSTRUCTION TYPE - IIB - SPRINKLED - UNPROTECTED	
INTERNATIONAL BUILDING CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL PLUMBING CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL ENERGY CONSERVATION CODE (2009) NATIONAL ELECTRICAL CODE (2011)		STRUCTURAL DESIGN CRITERIA SEISMIC USE GROUP II SEISMIC DESIGN CATEGORY C FLOOR: 100 PSF ROOF: 20 PSF	
BUILDING AREA LIMITATIONS		ASSEMBLY A-2	MERCANTILE - M
ALLOWABLE AREA (TABLE 503) (see note below modification formulas)	= 12,500 S.F.	= 9,500 S.F.	
+AREA INCREASE IBC 506.2 (___ x 75%)	= 9,375 S.F.	= 7,125 S.F.	
TOTAL ALLOWABLE AREA W/ AREA INCREASE	= 21,875 S.F.	= 16,625 S.F.	TOTAL=
TOTAL AREA PROVIDED	10,749 S.F. - O.K.	960 S.F. - O.K.	11,709 S.F. - O.K.
BUILDING HEIGHT LIMITATIONS			
ALLOWABLE BUILDING HEIGHT (TABLE 503)	= 55'		
ALLOWABLE NUMBER OF STORIES (TABLE 503)	= 3 STORIES		
ACTUAL BUILDING HEIGHT (HIGHEST PARAPET)	= ±48'-6 1/2"		
ACTUAL NUMBER OF STORIES	= 2 STORY		
EGRESS REQUIREMENTS		ASSEMBLY A-2	MERCANTILE - M
OCCUPANT LOAD = 30 S.F. PER OCCUPANT LOAD	(10,749 SF. GROSS) = 717	(960 SF. GROSS) = 32	TOTAL = 749 OCCUPANTS
OCCUPANT LOAD = 15 S.F. PER OCCUPANT LOAD			
(SEE TENANT UPFIT PLANS FOR EXACT SEAT COUNT)			

SHEET INDEX	
SHEET	DESCRIPTION
INDEX	INDEX & COVER
S0.0	GENERAL NOTES
S1.0	FOUNDATION PLAN
S1.1	SECOND FLOOR FRAMING PLAN
S1.2	ROOF FRAMING PLAN
S2.0	SPECIAL INSPECTIONS
S3.0	TYPICAL DETAILS
S3.1	TYPICAL DETAILS
S3.2	TYPICAL DETAILS
S4.0	SECTIONS
S4.1	SECTIONS
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A1.2	ROOF PLAN
A1.3	ROOF DETAILS
A1.4	DOOR SCHEDULE
A1.5	STOREFRONT DETAILS
A1.6	PLAN DETAILS
A1.7	PLAN DETAILS
A2.0	EXTERIOR ELEVATION
A2.1	EXTERIOR ELEVATION
A3.0	BUILDING SECTIONS
A3.1	WALL SECTIONS
A3.2	WALL SECTIONS
A3.3	WALL SECTIONS
A3.4	WALL SECTIONS
A6.0	UNIT PLAN - BUILDING 122
P1.0	PLUMBING PLANS
M1.0	HVAC PLAN / DETAILS
E1.0	ELECTRICAL PLAN

NARRAMORE ASSOCIATES, INC.
Architects & Planners



AMERICAN INSTITUTE OF ARCHITECTS



P.O. Box 8438, Greenville, SC 29604 Phone: 864.242.9881
310 Mills Ave, Suite 203, Greenville, SC 29605 Fax: 864.232.5202
email: plans@narramore-architects.com



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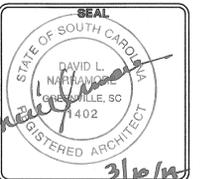
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P.O. Box 8438 Greenville, SC 29604
310 Mills Ave. Greenville, SC 29605

Phone: 864.242.9881
Fax: 864.232.5202

plans@narramore-architects.com

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Blanchard & Calhoun COMMERCIAL

2743 PERIMETER PKWY
BLDG 100 STE 370
AUGUSTA, GA 30909

POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

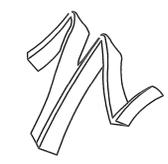
REVISIONS

- 1 02-06-14
- 2 02-14-14
- 3 02-25-14
- 4 03-10-14

DOCUMENT DATA
BUILDING 121
PROJECT NUMBER
13914
ISSUE DATE
01-10-14

SHELTER COVE
BLDG 121

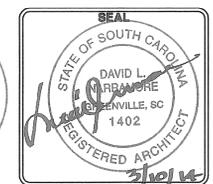
INDEX
INDEX
& COVER



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Phone: 864.242.9881
Fax: 864.232.5202
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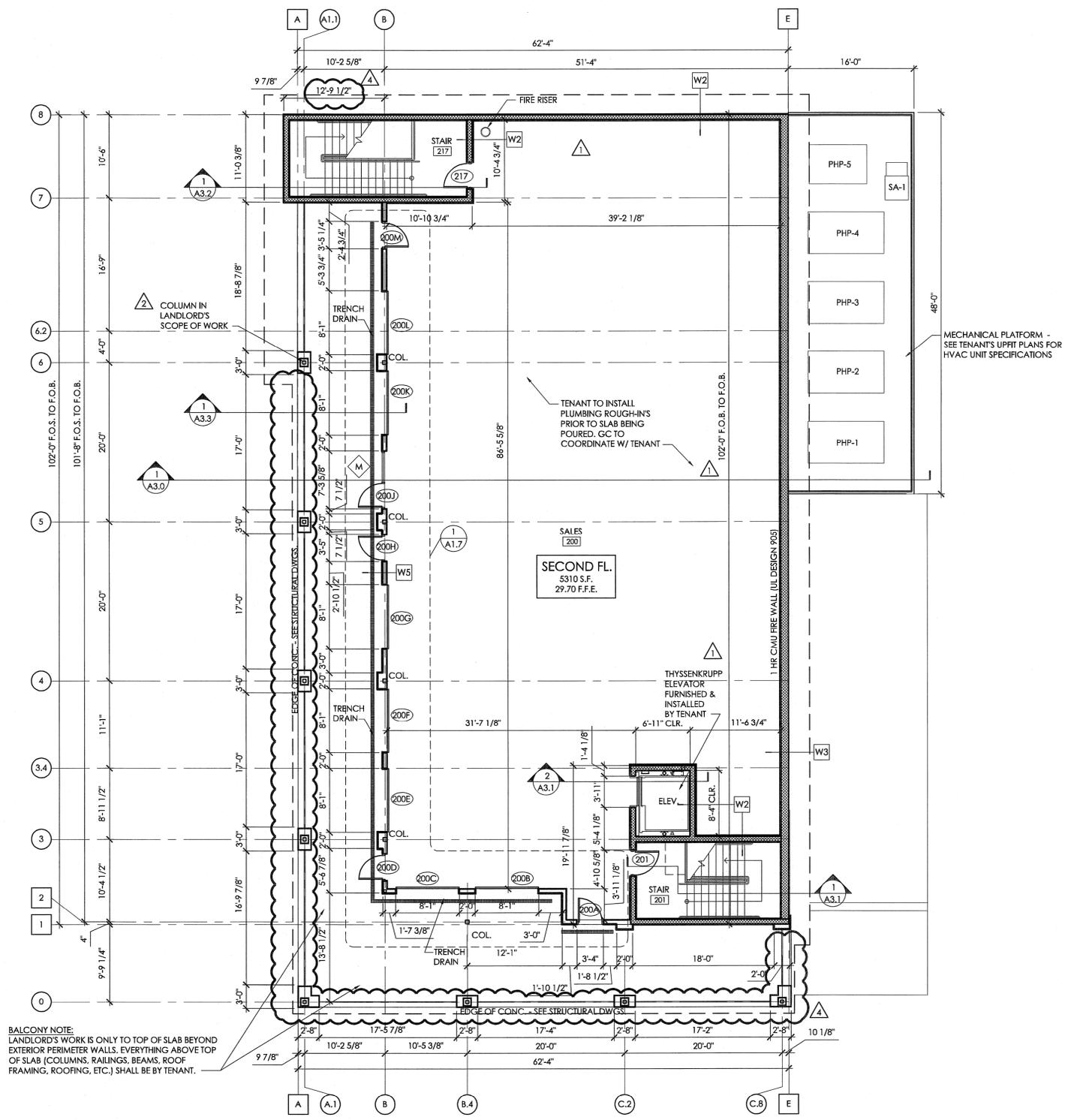
2743 PERIMETER PKWY
BLDG 100 STE 370
AUGUSTA, GA 30909

POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

REVISIONS	
1	02-06-14
2	02-14-14
3	02-25-14
4	03-10-14

DOCUMENT DATA	
BUILDING	121
PROJECT NUMBER	13914
ISSUE DATE	01-10-14

SHELTER COVE
HILTON HEAD, SC
A1.1
SECOND FLOOR PLAN
BUILDING 121



BALCONY NOTE:
LANDLORD'S WORK IS ONLY TO TOP OF SLAB BEYOND EXTERIOR PERIMETER WALLS. EVERYTHING ABOVE TOP OF SLAB (COLUMNS, RAILINGS, BEAMS, ROOF FRAMING, ROOFING, ETC.) SHALL BE BY TENANT.

3 NOT USED

2 NOT USED

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH



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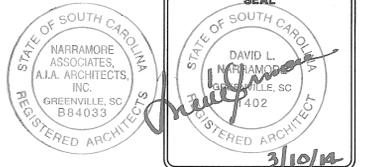
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310 Mills Ave. Greenville, SC 29605

Phone: 864.242.9881
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2743 PERIMETER PKWY
BLDG 100 STE 370
AUGUSTA, GA 30909

POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

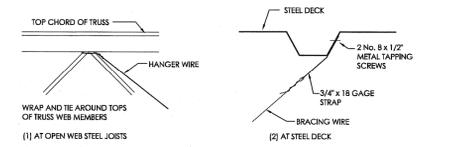
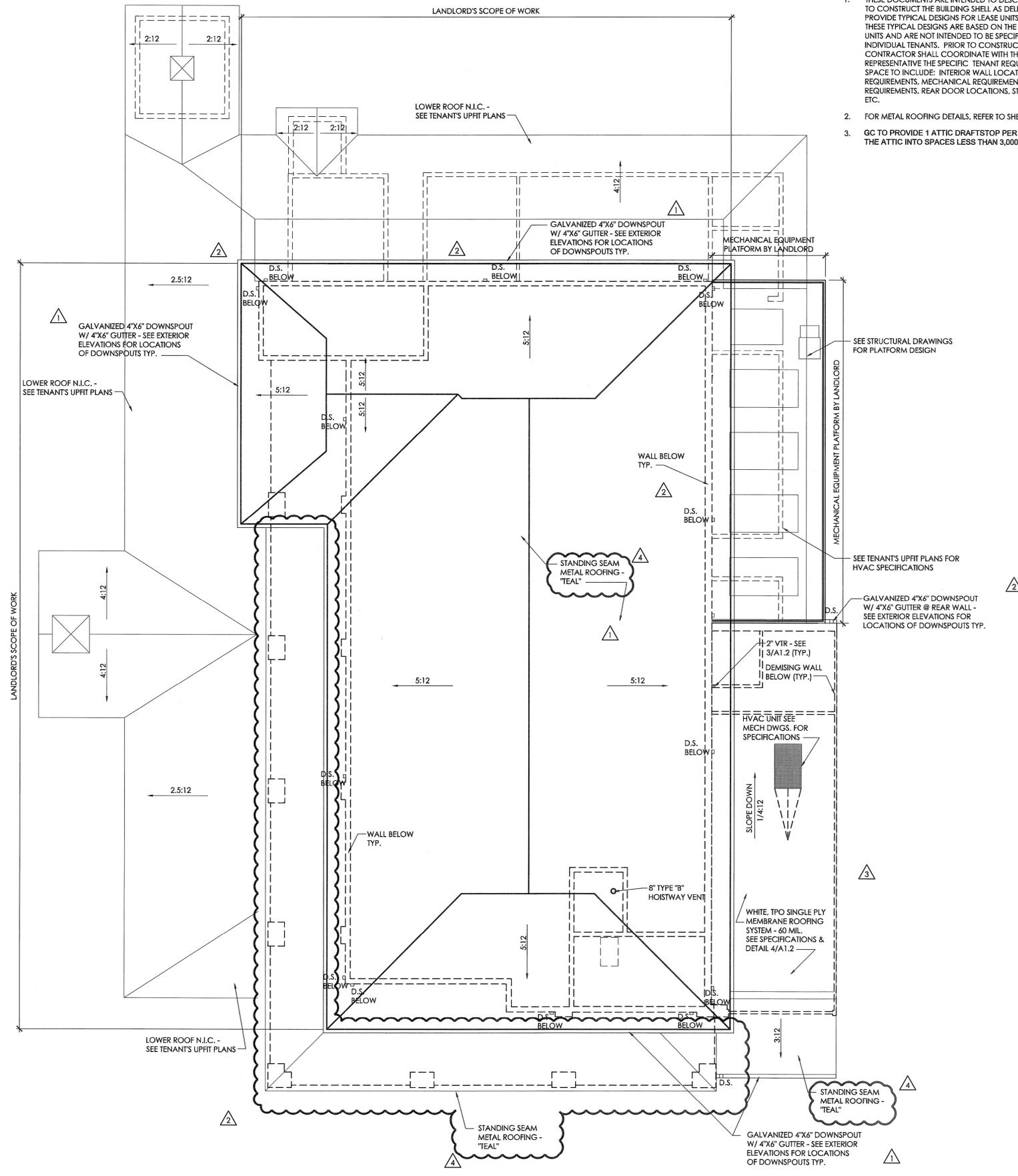
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1	02-06-14
2	02-14-14
3	02-25-14
4	03-10-14

DOCUMENT DATA	
BUILDING 121	PROJECT NUMBER
13914	ISSUE DATE
	01-10-14

SHELTER COVE
HILTON HEAD, SC
A1.2
ROOF PLAN
BUILDING 121

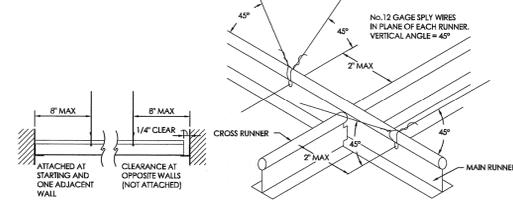
GENERAL NOTES:

- THESE DOCUMENTS ARE INTENDED TO DESCRIBE THE WORK REQUIRED TO CONSTRUCT THE BUILDING SHELL AS DELINEATED, AS WELL AS PROVIDE TYPICAL DESIGNS FOR LEASE UNITS OF THE SIZES INDICATED. THESE TYPICAL DESIGNS ARE BASED ON THE OWNER'S STANDARD LEASE UNITS AND ARE NOT INTENDED TO BE SPECIFICALLY DESIGNED FOR INDIVIDUAL TENANTS. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SPECIFIC TENANT REQUIREMENTS FOR EACH SPACE TO INCLUDE: INTERIOR WALL LOCATIONS, TOILET REQUIREMENTS, MECHANICAL REQUIREMENTS, POWER & LIGHTING REQUIREMENTS, REAR DOOR LOCATIONS, STOREFRONT REQUIREMENTS, ETC.
- FOR METAL ROOFING DETAILS, REFER TO SHEET A1.3
- GC TO PROVIDE 1 ATTIC DRAFTSTOP PER CODE TO SUBDIVIDE THE ATTIC INTO SPACES LESS THAN 3,000.



LOCATION OF BRACING WIRES

NTS

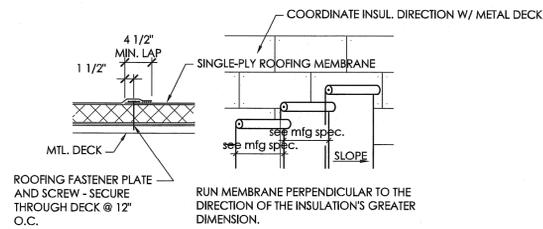


RUNNERS @ WALLS

NTS

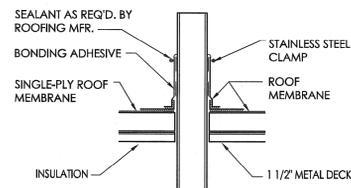
TYPICAL CEILING BRACING

NTS



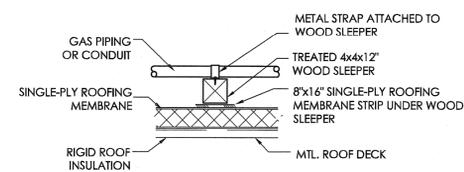
4 ROOFING LAYOUT PLAN

NTS



3 VENT STACK FLASHING

NTS



2 ROOF PIPING SLEEPER

NTS

1 ROOF PLAN

SCALE: 1/8" = 1'-0"





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HILTON HEAD ISLAND, SC 29928

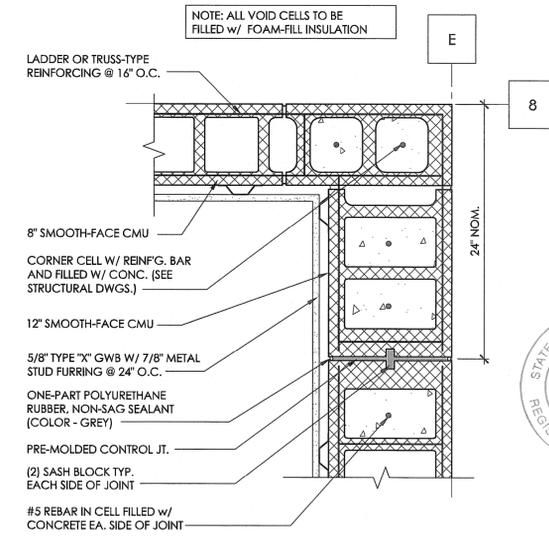
REVISIONS	
1	02-06-14
2	02-14-14
4	03-10-14

DOCUMENT DATA	
BUILDING 121	PROJECT NUMBER
13914	ISSUE DATE
01-10-14	

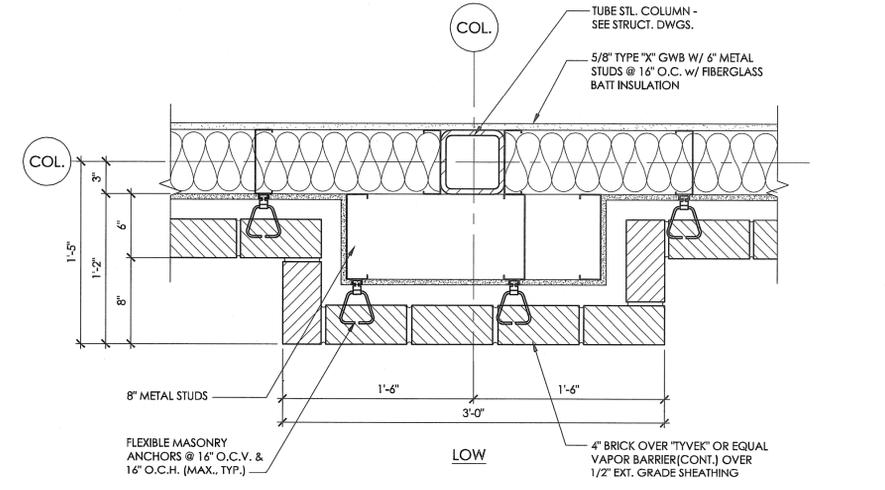
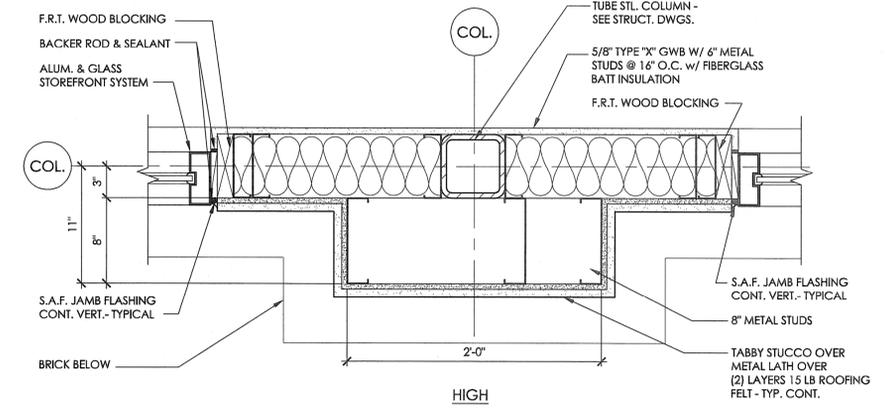
SHELTER COVE
HILTON HEAD, SC

A1.6

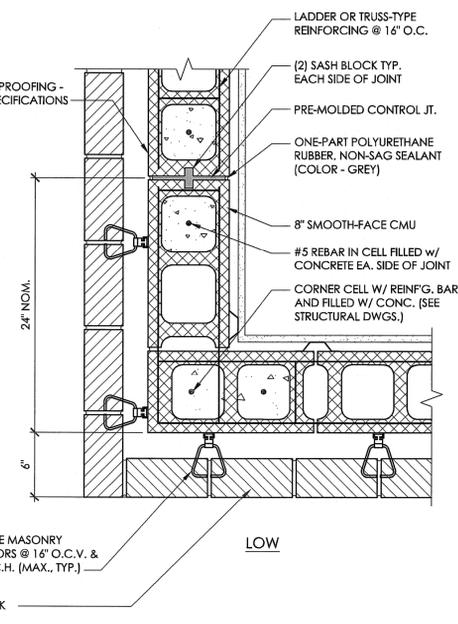
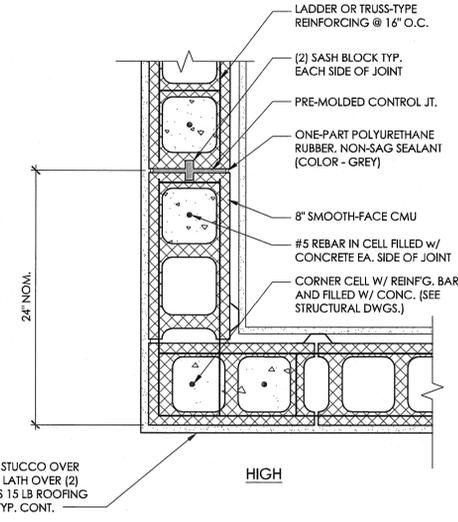
PLAN DETAILS
BUILDING 121



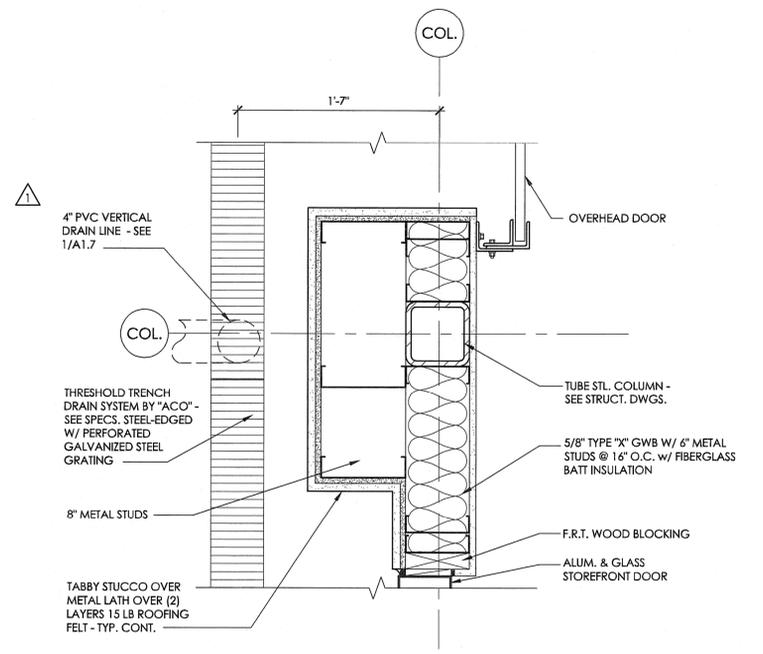
2 PLAN DETAIL
SCALE: 1 1/2"=1'-0"



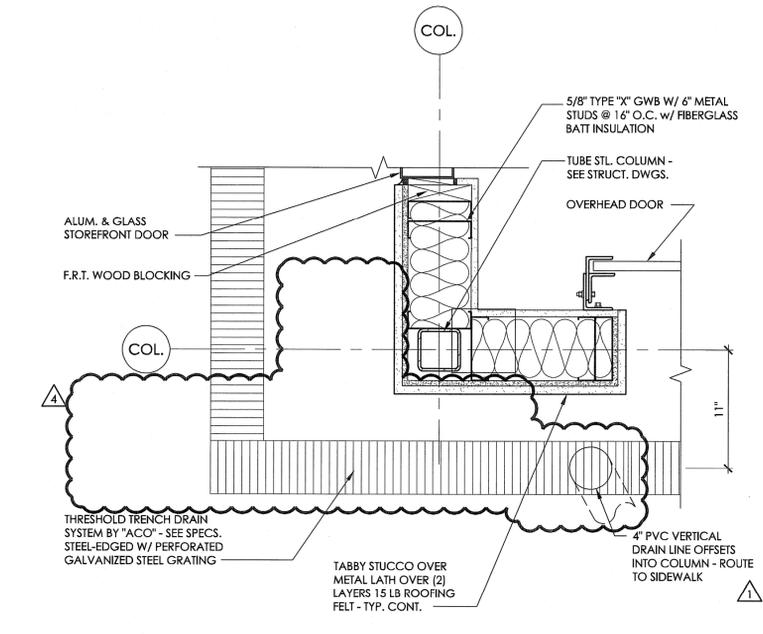
1 PLAN DETAIL
SCALE: 1 1/2"=1'-0"



3 PLAN DETAIL
SCALE: 1 1/2"=1'-0"



5 PLAN DETAIL
SCALE: 1 1/2"=1'-0"



4 PLAN DETAIL
SCALE: 1 1/2"=1'-0"

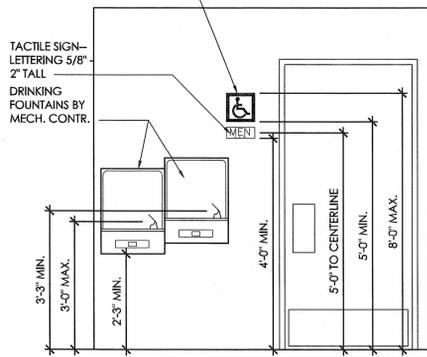
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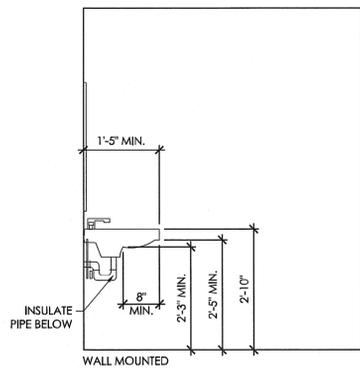
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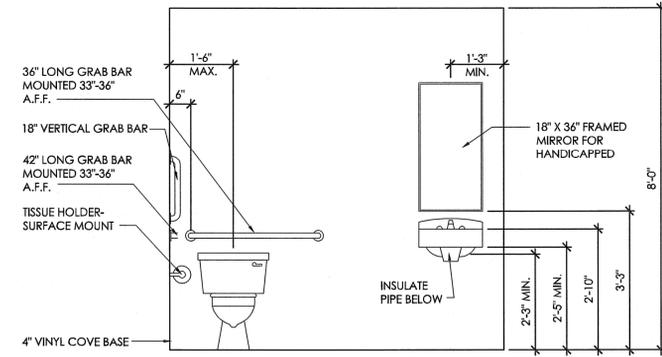
INTERNATIONAL SYMBOL OF ACCESSIBILITY ADJACENT TO LATCH SIDE OF DOOR, 6" HEIGHT MIN.



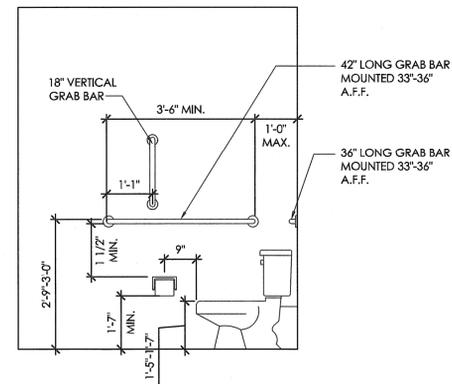
7 ADA SIGN & DRINKING FOUNTAIN ELEVATION (TYP)
SCALE: 1/2"=1'-0"



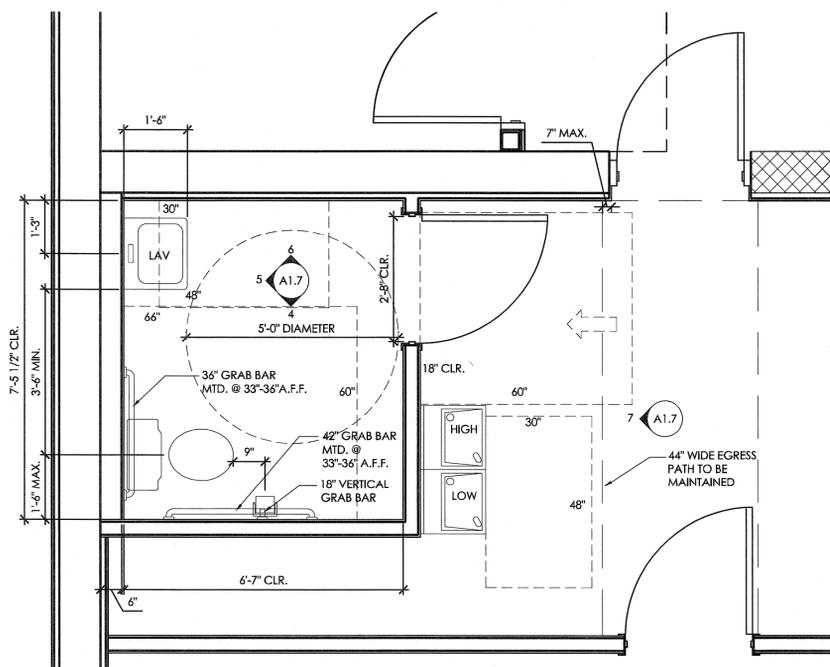
6 RESTROOM ELEVATION
SCALE: 1/2"=1'-0"



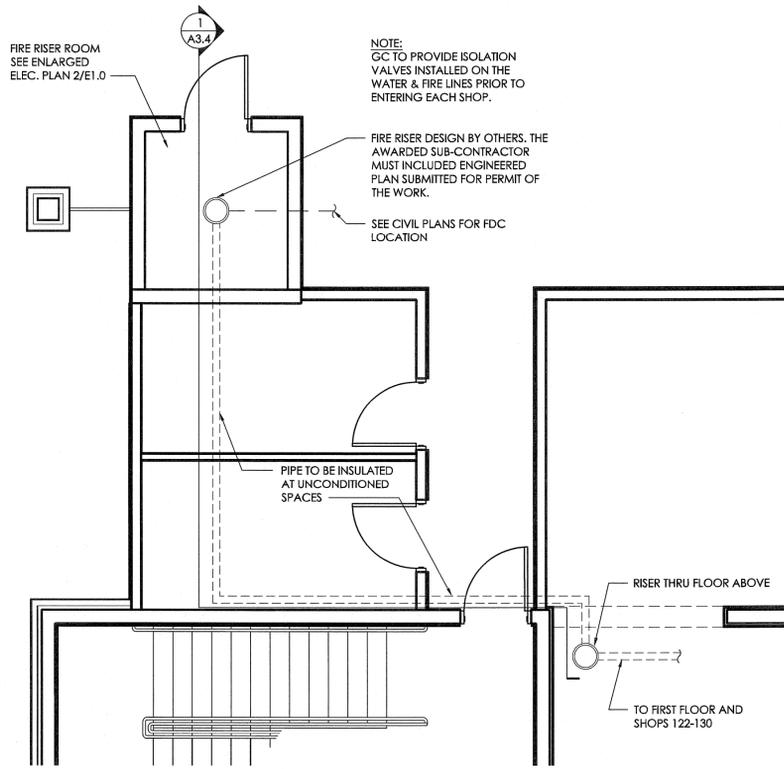
5 RESTROOM ELEVATION
SCALE: 1/2"=1'-0"



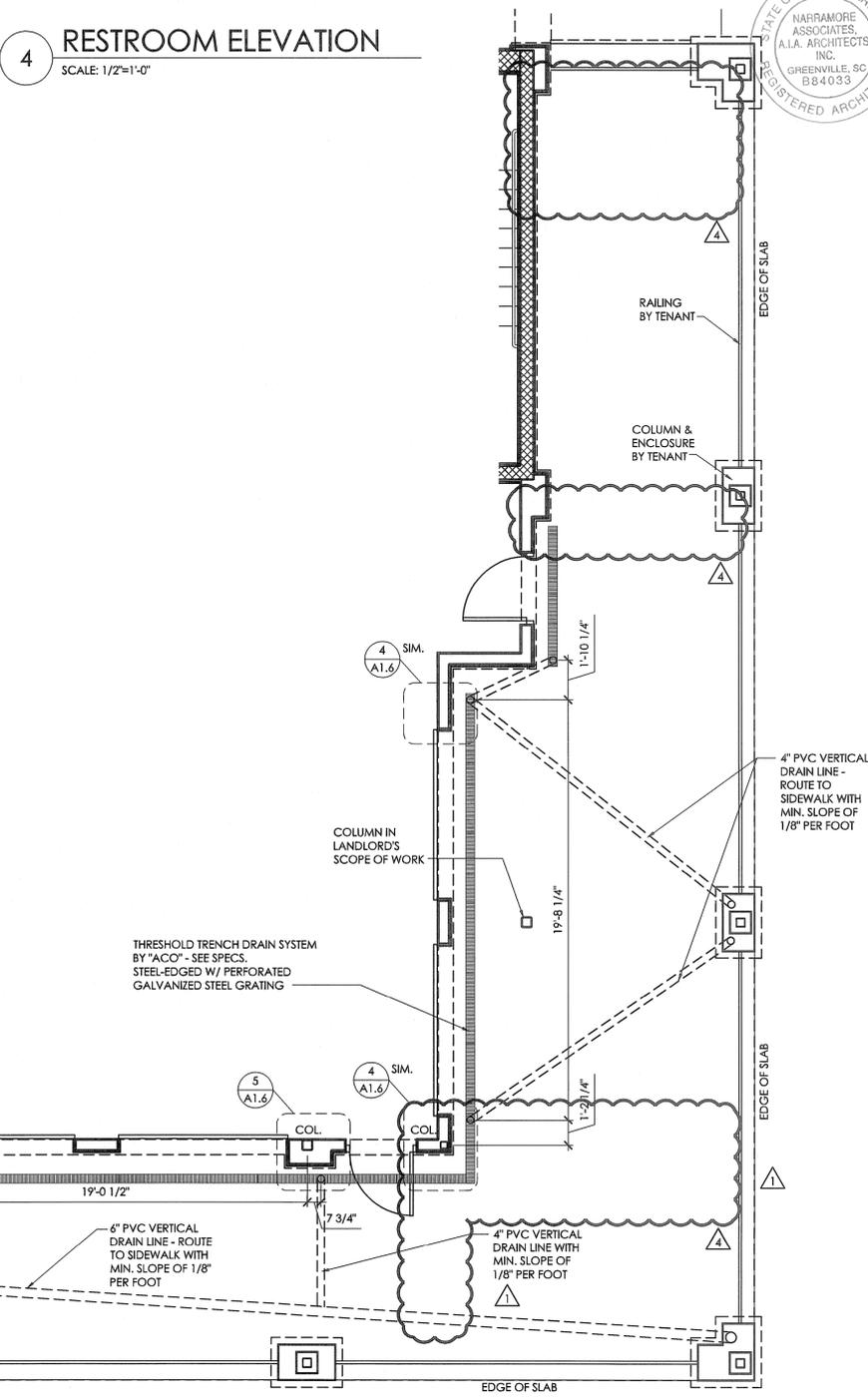
4 RESTROOM ELEVATION
SCALE: 1/2"=1'-0"



3 BUILDING 122 ENLARGED RESTROOM PLAN
SCALE: 1/2"=1'-0"



2 SPRINKLER RISER ROOM ENLARGED PLAN
SCALE: 1/4"=1'-0"



1 ENLARGED PLAN
SCALE: 1/4"=1'-0"

RESTROOM NOTES:

1. ALL DIMENSIONS TO WALLS ARE TO FACE OF GYP. BOARD OR FACE OF MASONRY.
2. 5/8" TYPE "X" GYPSUM WALLBOARD ALONG UNIT DEMISING WALL SHALL BE INSTALLED CONTINUOUS PRIOR TO FRAMING TOILET ROOM WALLS (SEE FLOOR PLAN).
3. OTHER WALLS OF TOILET ROOMS SHALL BE 1/2" GYPSUM WALLBOARD ON 3 5/8" METAL STUDS @ 16" O.C.
4. PROVIDE ALL MISCELLANEOUS WOOD BLOCKING AS REQUIRED FOR TOILET FIXTURES AND ACCESSORIES. WALL BRACING FOR GRAB BARS SHALL BE SUFFICIENT TO WITHSTAND SHEAR FORCE OF 250 LBS.
5. PROVIDE ONE (1) WALL-MOUNTED TOILET TISSUE DISPENSER FOR EACH WATER CLOSET.
6. WHERE TOILET FIXTURES BACK MASONRY WALL (SEE OVERALL FLOOR PLAN). CONTRACTOR SHALL PROVIDE 6" METAL STUD CHASE WALL LOCATED AS REQUIRED TO ALLOW PROPER INSTALLATION OF ALL FIXTURES.
7. ALL ENLARGED TOILET ROOM PLANS ARE GENERAL ROTATION OR OPPOSITE HAND LAYOUT MAY OCCUR. REFER TO OVERALL FLOOR PLAN FOR EXACT ORIENTATION.

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38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

REVISIONS

1	02-06-14
2	02-14-14
3	03-10-14

DOCUMENT DATA

BUILDING 121
PROJECT NUMBER 13914
ISSUE DATE 01-10-14

SHELTER COVE
HILTON HEAD, SC

A1.7

PLAN DETAILS
BUILDING 121

EXTERIOR FINISH SCHEDULE

CMU SCHEME:
PAINTED TO MATCH TABBY STUCCO

BRICK SCHEME:
BRICK - "STEEPLECHASE" BY BORAL

MORTAR SCHEME:
ALL MORTAR SHALL BE "DESERT BUFF" BY HOLCIM OR EQUAL

STUCCO:
TABBY STUCCO - "IVORY BUFF"

SIDING:
SW #7042 "SHOJI WHITE"

TRIM:
SW #6199 "RARE GRAY"

FASCIA, COLUMNS, GUTTERS, & DOWNPOUTS:
SW #7075 "WEB GRAY"

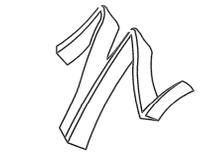
METAL ROOFING AND COPING:
STANDING SEAM METAL ROOFING - "TEAL" BY PAC-CLAD, HIGH SEAM PANEL

STOREFRONT SYSTEM:
ALL GLASS SHALL BE 1" LOW-E INSULATED GLASS W/ALUMINUM FRAMES - COLOR CLEAR ANODIZED ALUMINUM

NOTE:
ALL ELECTRICAL EQUIPMENT, AND DOORS ARE TO BE PAINTED TO MATCH ADJACENT WALLS.

GENERAL NOTES:

1. ALL STOREFRONT OPENINGS AND OVERHEAD DOORS SHALL RECEIVE A CORRUGATED GALVANIZED STEEL STORM PANEL SYSTEM WITH PERMANENT EXTRUDED ALUMINUM TRACK SYSTEM BY EASTERN METAL SUPPLY OR EQUAL. HURRICANE PANEL SUBCONTRACTOR SHALL SUBMIT AN COMPLETE ENGINEERED DESIGN TO THE CITY FOR REVIEW AND APPROVAL. SEE SPECIFICATIONS. BASIS OF DESIGN IS STORM PANEL SYSTEM BY STORM SOLUTIONS OF THE LOWCOUNTRY - (843) 227-1027 OR EQUAL.
2. GC TO PROVIDE 1 ATTIC DRAFTSTOP PER CODE TO SUBDIVIDE THE ATTIC INTO SPACES LESS THAN 3,000 SQ.FT.



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POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

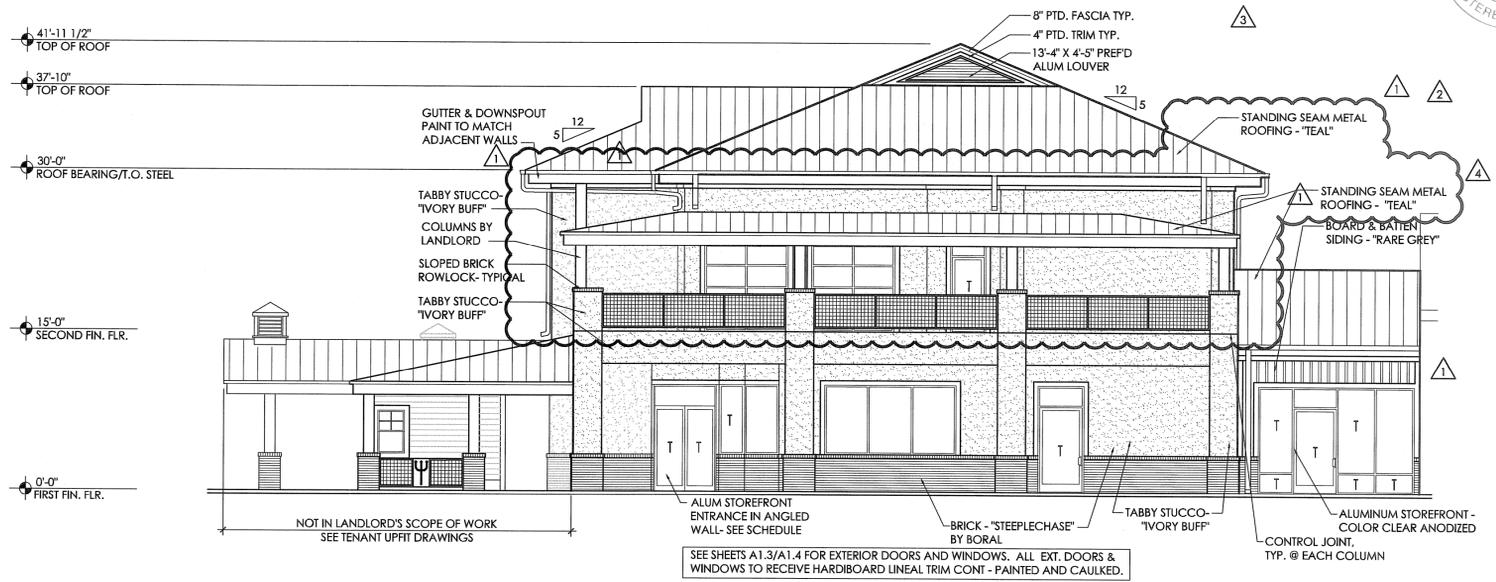
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3	02-25-14
4	03-10-14

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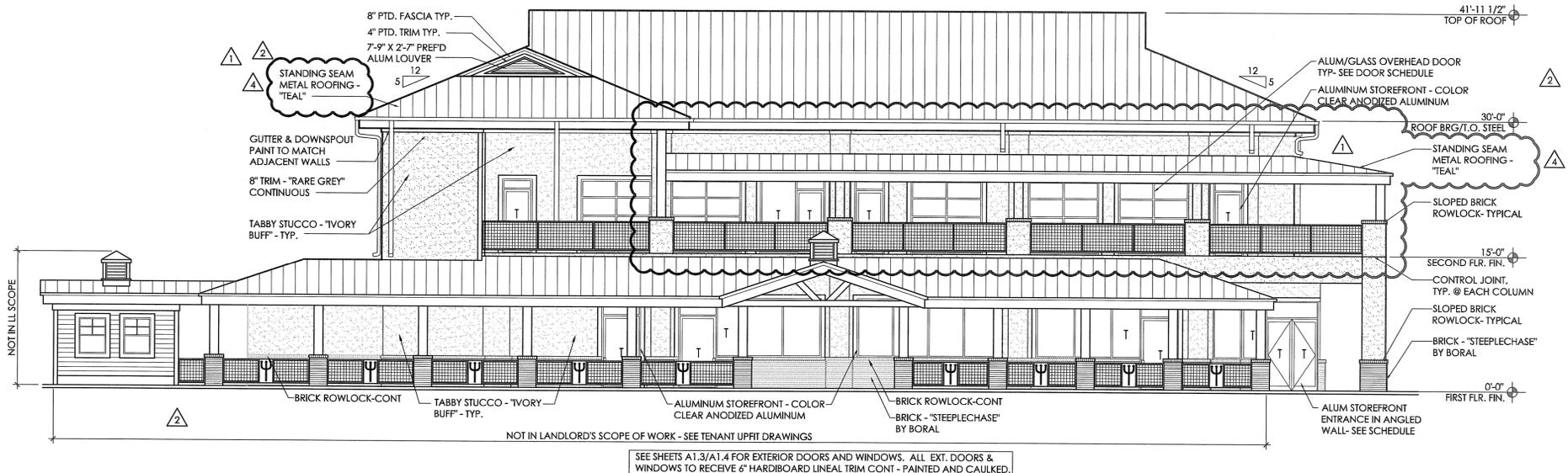
BUILDING 121
PROJECT NUMBER 13914
ISSUE DATE 01-10-14

SHELTER COVE
HILTON HEAD, SC
A2.0
EXTERIOR ELEVATION
BUILDING 121



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
ALL CONSTRUCTION ON BALCONIES ABOVE TOP OF SLAB BEYOND FACE OF EXTERIOR BUILDING WALLS (CONTAINING CONDITIONED SPACE) SHALL BE BY TENANT. THIS INCLUDES ALL COLUMNS, BEAMS, RAFTERS, ROOF, HANDRAILS, AND BALUSTER SCREENS.



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

CMU SCHEME:
PAINTED TO MATCH TABBY STUCCO

BRICK SCHEME:
BRICK - "STEEPLECHASE" BY BORAL

MORTAR SCHEME:
ALL MORTAR SHALL BE "DESERT BUFF" BY HOLCIM OR EQUAL

STUCCO:
TABBY STUCCO - "IVORY BUFF"

SIDING:
SW #7042 "SHOJI WHITE"

TRIM:
SW #6199 "RARE GRAY"

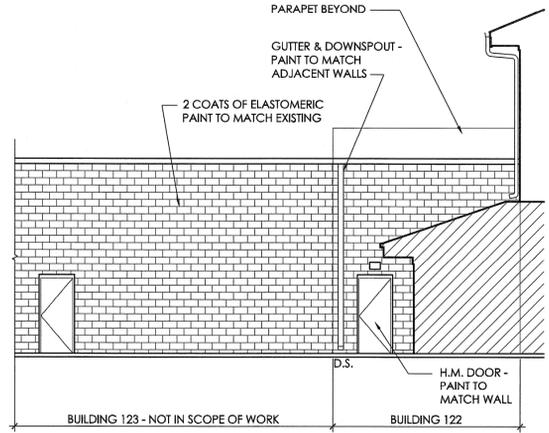
FASCIA, COLUMNS, GUTTERS, & DOWNPOUTS:
SW #7075 "WEB GRAY"

METAL ROOFING AND COPING:
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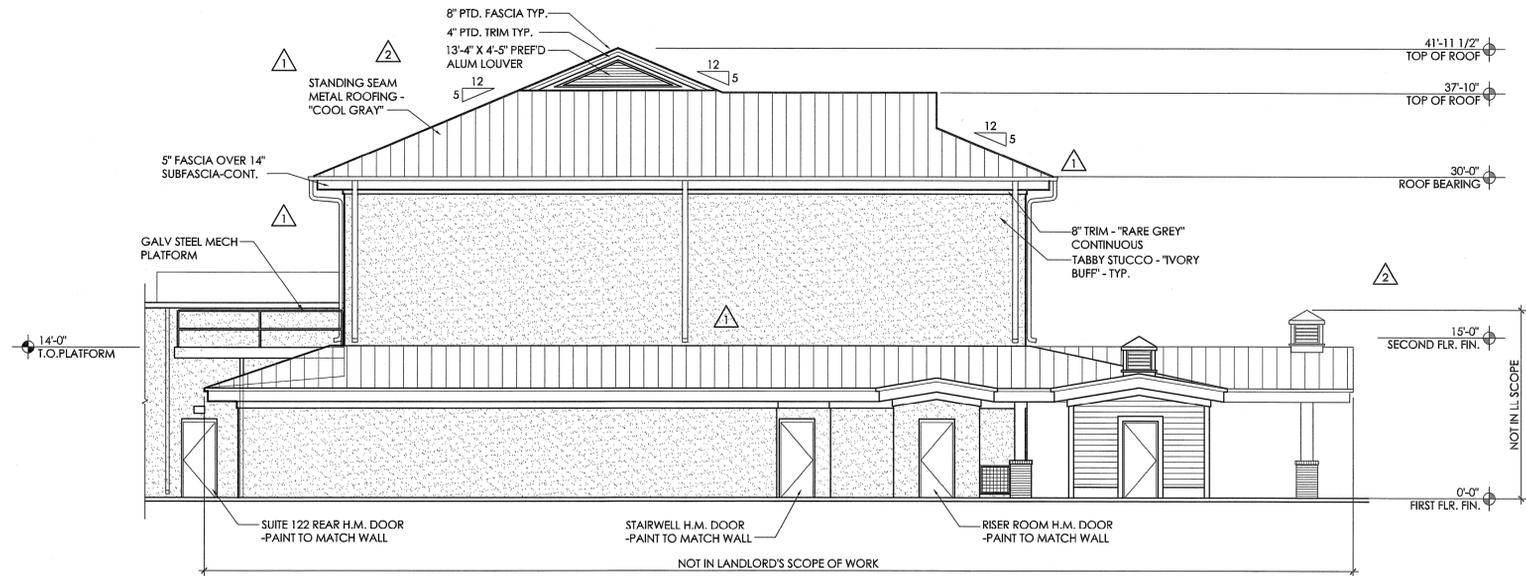
STOREFRONT SYSTEM:
ALL GLASS SHALL BE 1" LOW-E INSULATED GLASS W/ALUMINUM FRAMES - COLOR CLEAR ANODIZED ALUMINUM

NOTE:
ALL ELECTRICAL EQUIPMENT, AND DOORS ARE TO BE PAINTED TO MATCH ADJACENT WALLS.

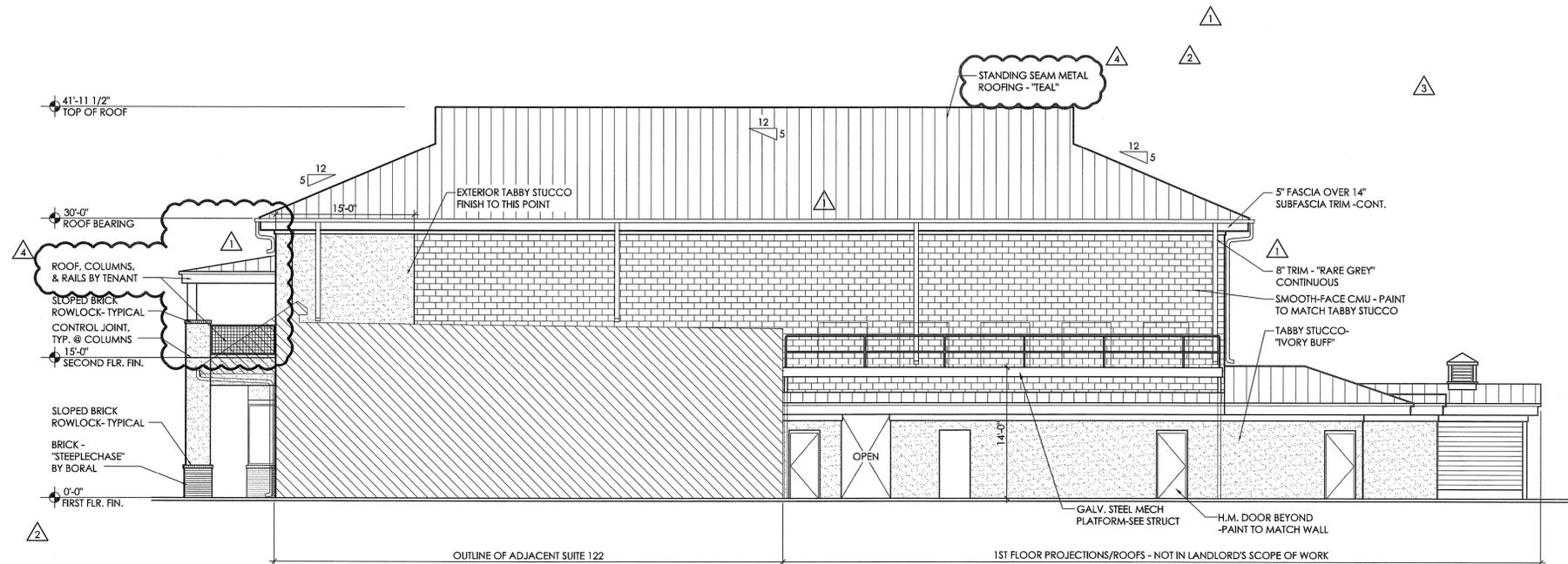
- GENERAL NOTES:**
- ALL STOREFRONT OPENINGS AND OVERHEAD DOORS SHALL RECEIVE A CORRUGATED GALVANIZED STEEL STORM PANEL SYSTEM WITH PERMANENT EXTRUDED ALUMINUM TRACK SYSTEM BY EASTERN METAL SUPPLY OR EQUAL. HURRICANE PANEL SUBCONTRACTOR SHALL SUBMIT AN COMPLETE ENGINEERED DESIGN TO THE CITY FOR REVIEW AND APPROVAL. SEE SPECIFICATIONS. BASIS OF DESIGN IS STORM PANEL SYSTEM BY STORM SOLUTIONS OF THE LOWCOUNTRY - (843) 227-1027 OR EQUAL.
 - GC TO PROVIDE 1 ATTIC DRAFTSTOP PER CODE TO SUBDIVIDE THE ATTIC INTO SPACES LESS THAN 3,000 SQ.FT.



3 EAST ELEVATION BLDG 122
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

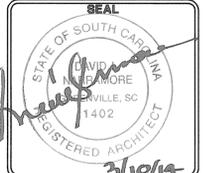


1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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310 Mills Ave. Greenville, SC 29605
Phone: 864.242.9881
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POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
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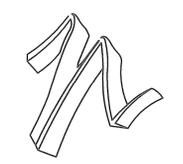
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1	02-06-14
2	02-14-14
3	02-25-14
4	03-10-14

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ISSUE DATE 01-10-14

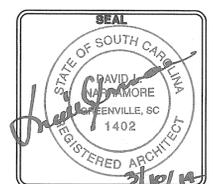
SHELTER COVE
HILTON HEAD, SC
A2.1
EXTERIOR ELEVATION
BUILDING 121



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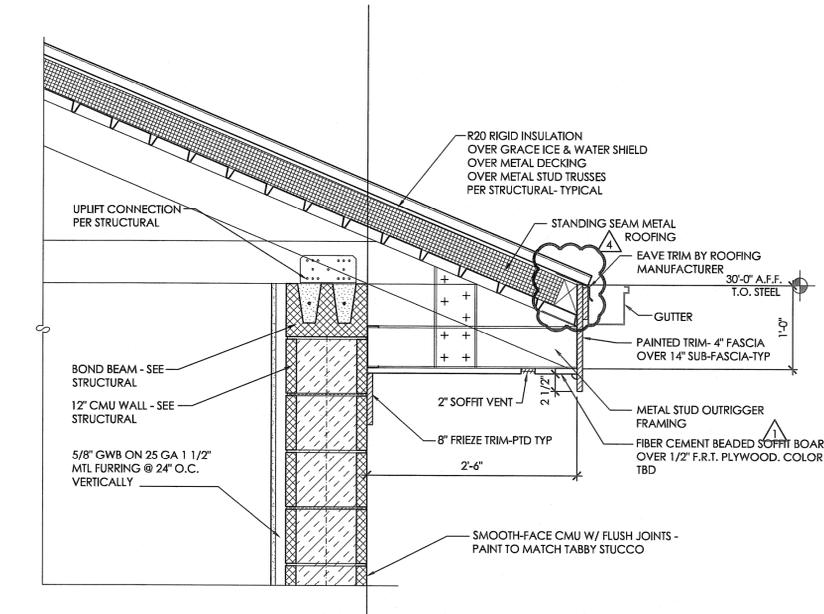
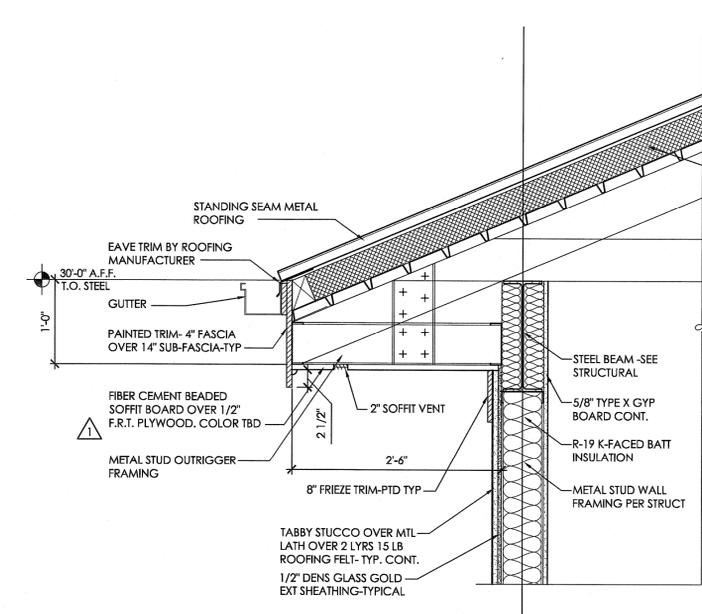
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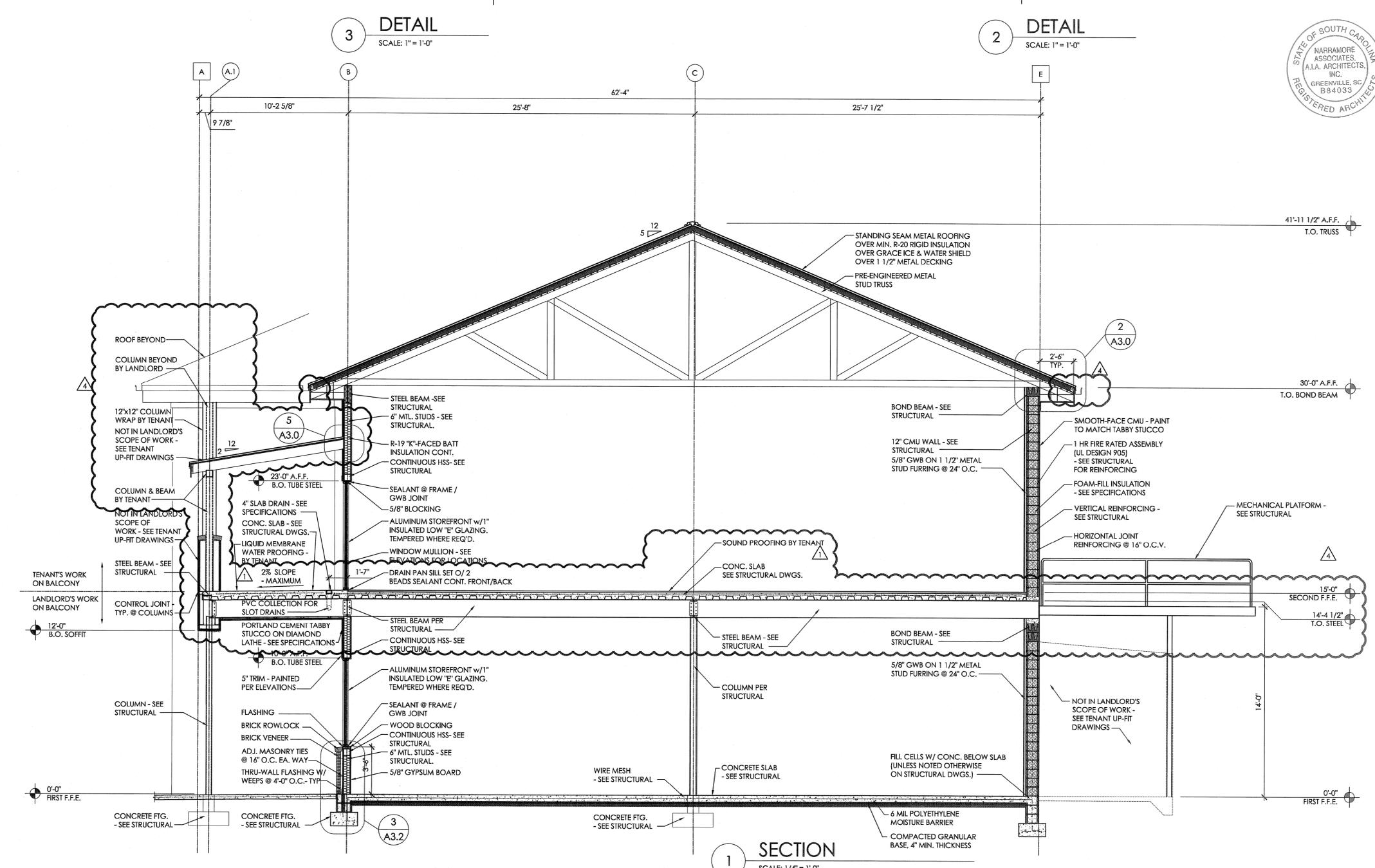
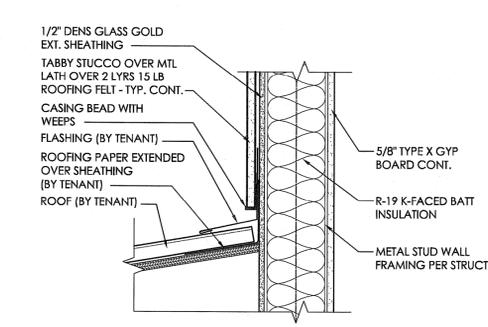
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3	02-25-14
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13914	ISSUE DATE
	01-10-14

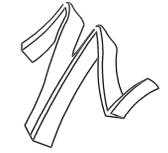
SHELTER COVE
HILTON HEAD, SC
A3.0
BUILDING SECTIONS
BUILDING 121



4 NOT USED



REVISIONS
DOCUMENT DATA
PROJECT NUMBER
ISSUE DATE
SHELTER COVE
HILTON HEAD, SC
A3.0
BUILDING SECTIONS
BUILDING 121



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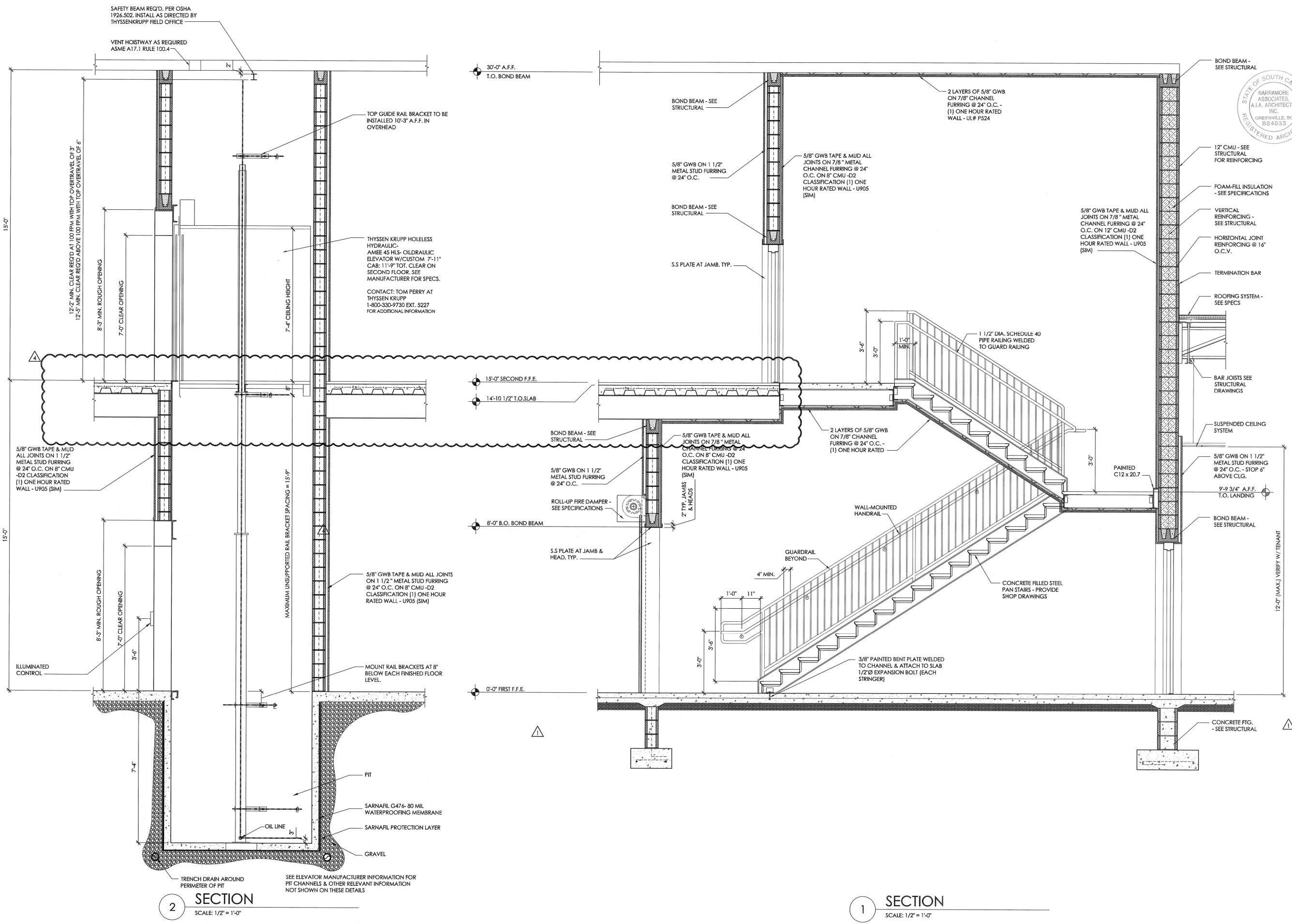
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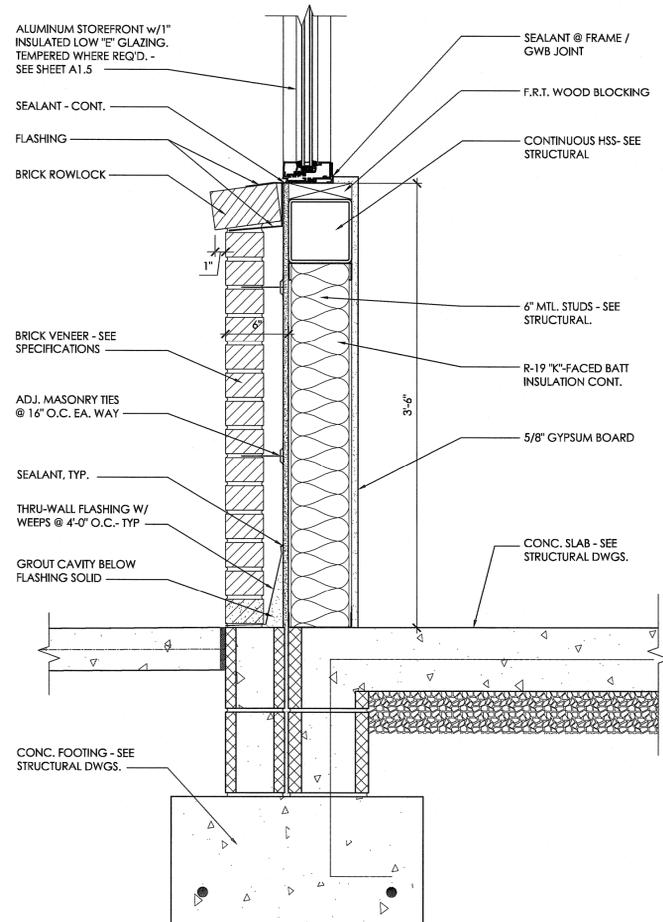
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REVISIONS
02-06-14
03-10-14

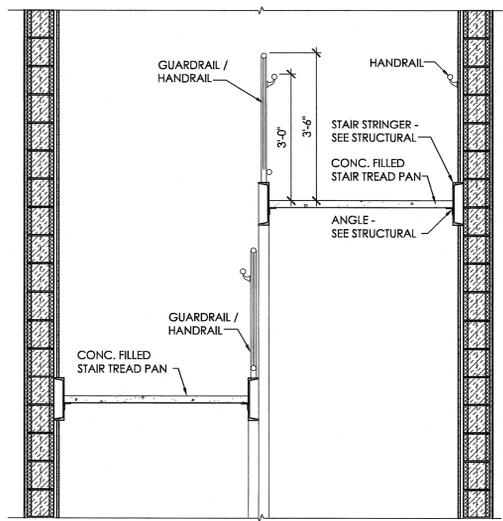
DOCUMENT DATA
BUILDING 121
PROJECT NUMBER 13914
ISSUE DATE 01-10-14

SHELTER COVE
HILTON HEAD, SC
A3.1
BUILDING SECTIONS
BUILDING 121

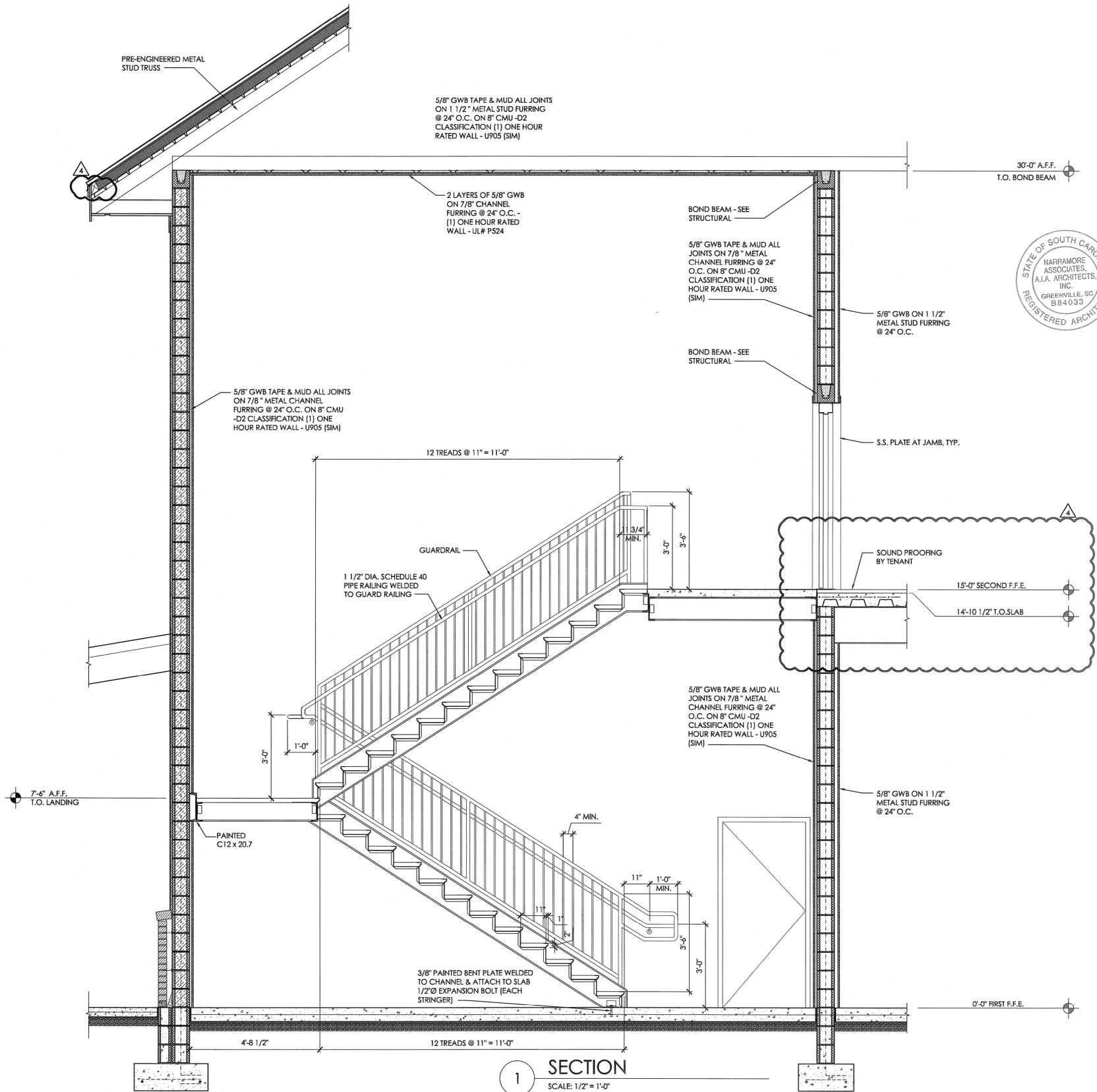




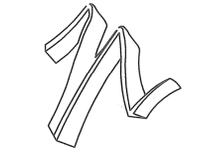
3 DETAIL
SCALE: 1 1/2" = 1'-0"



2 SECTION
SCALE: 3/4" = 1'-0"



1 SECTION
SCALE: 1/2" = 1'-0"



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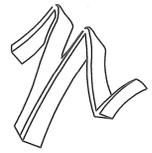
Blanchard & Calhoun COMMERCIAL
2743 PERIMETER PKWY
BLDG 100 STE 370
AUGUSTA, GA 30909

POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

REVISIONS
4 03-10-14

DOCUMENT DATA
BUILDING 121
PROJECT NUMBER 13914
ISSUE DATE 01-10-14

SHELTER COVE
HILTON HEAD, SC
A3.2
BUILDING SECTIONS
BUILDING 121



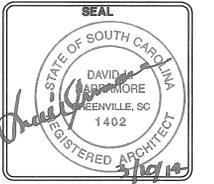
NARRAMORE ASSOCIATES, INC.
Architects & Planners



P.O. Box 8438 Greenville, SC 29604
310 Mills Ave. Greenville, SC 29605

Phone: 864.242.9881
Fax: 864.232.5202
elane@narramore-architects.com

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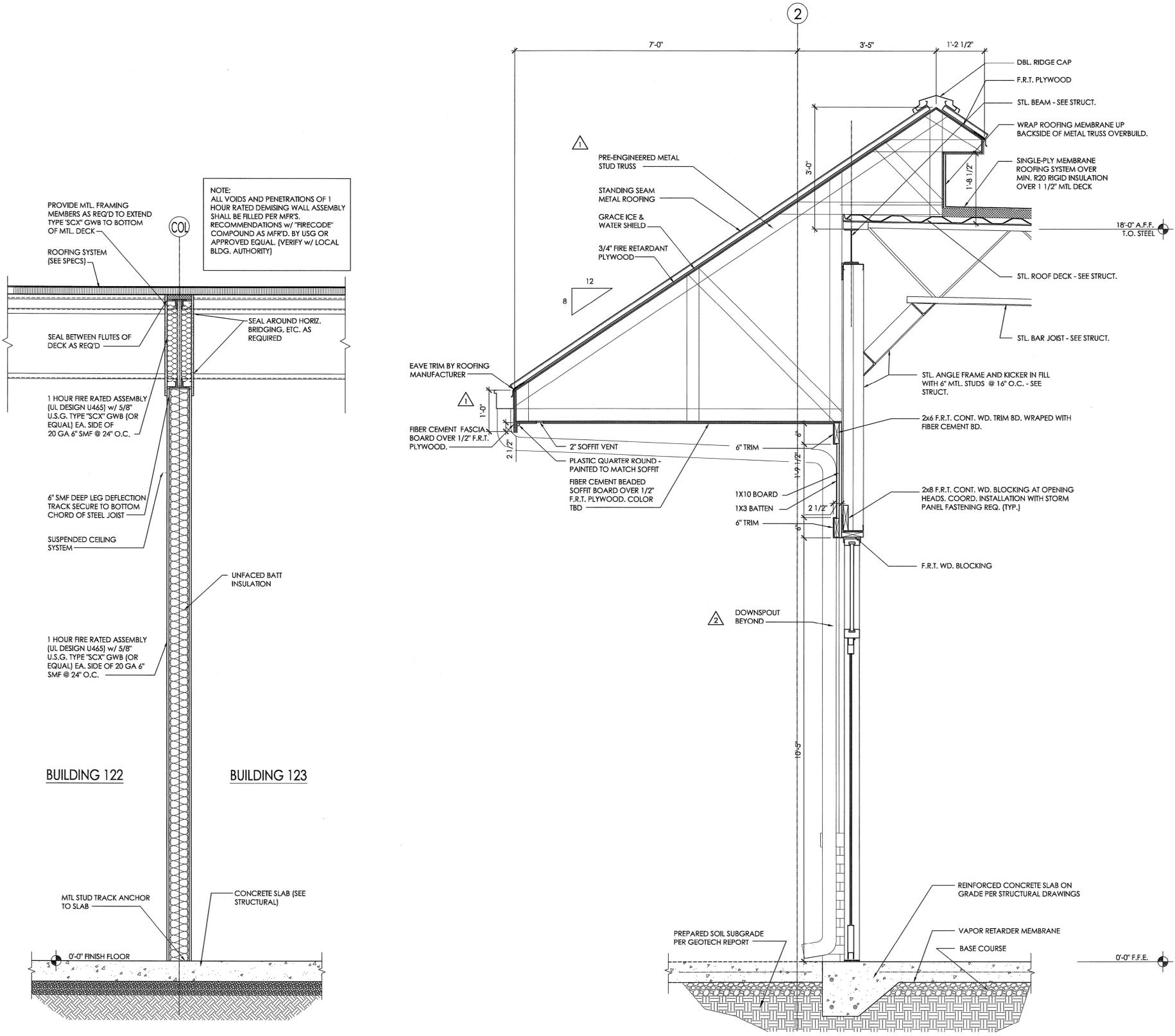
Blanchard & Calhoun COMMERCIAL
2143 PERIMETER PKWY
BLDG 100 STE 370
AUGUSTA, GA 30909

POSEIDON - BLDG. 121 & 122
38 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

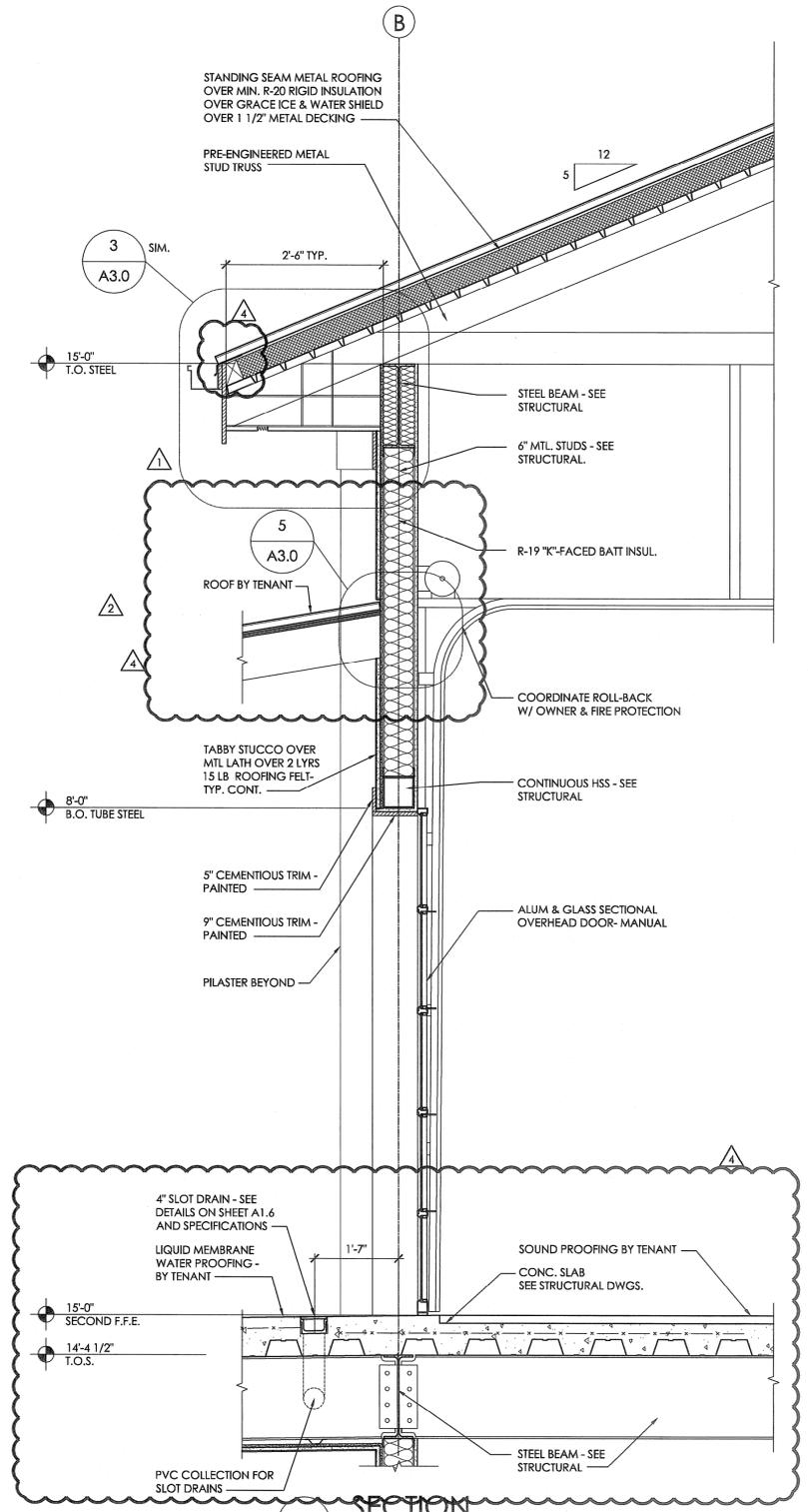
REVISIONS	
1	02-06-14
2	02-14-14
3	02-25-14
4	03-10-14

DOCUMENT DATA	
BUILDING 121	PROJECT NUMBER
13914	ISSUE DATE
01-10-14	

SHELTER COVE
HILTON HEAD, SC
A3.3
BUILDING SECTIONS
BUILDING 121 & 122



SECTION 2
SCALE: 3/4" = 1'-0"



SECTION 1
SCALE: 3/4" = 1'-0"

1 HR DEMISING WALL UL ASSEMBLY: U465

SECTION 3
SCALE: 3/4" = 1'-0"



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310 Mills Ave. Greenville, SC 29605

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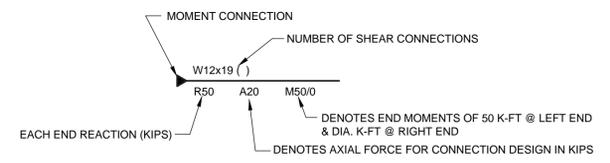
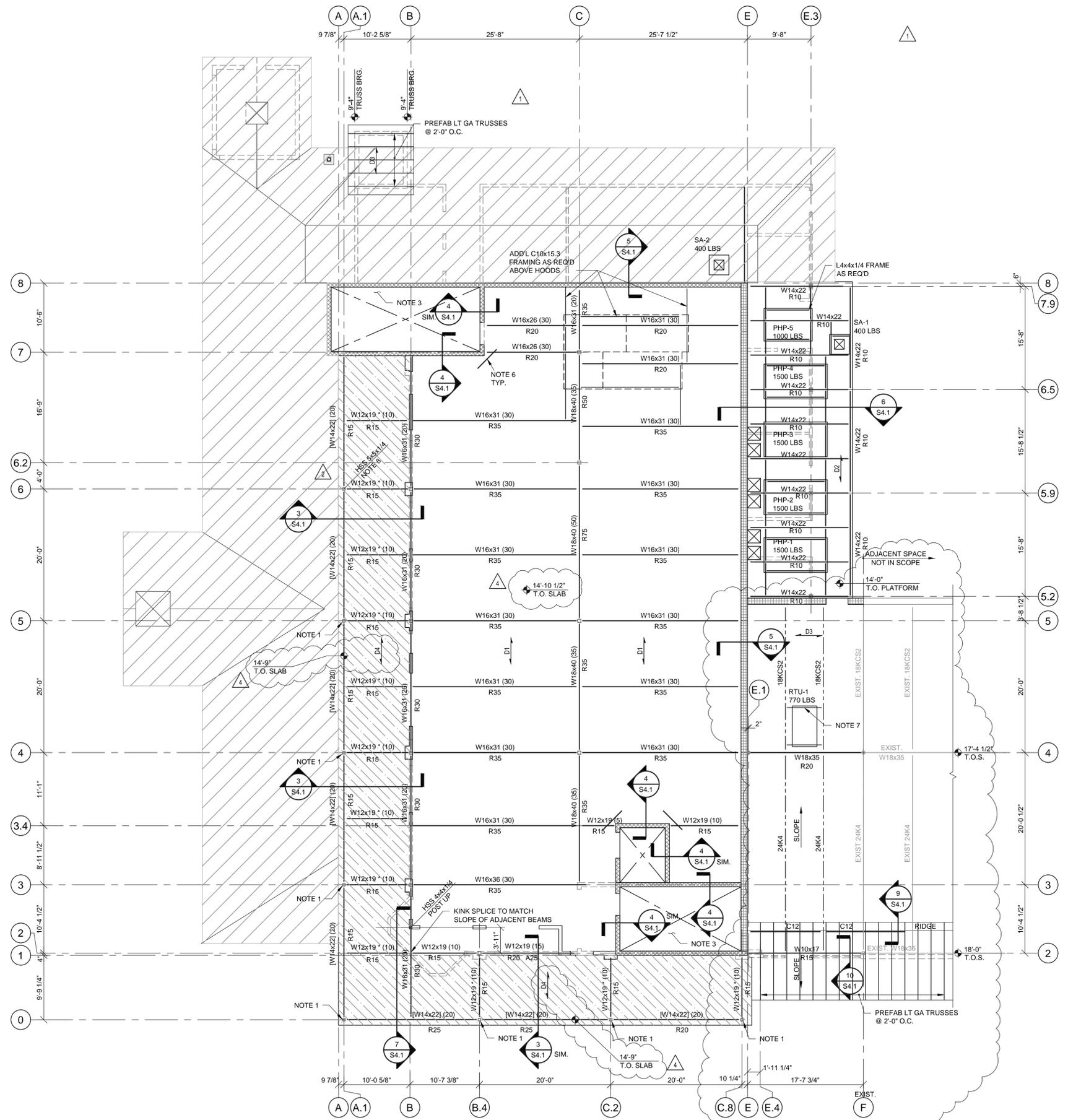
THE POSEIDON - BLDG. 121
24 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

REVISIONS	
1	02-06-14
2	02-17-14
4	03-10-14

DOCUMENT DATA	
BUILDING 121	PROJECT NUMBER
13914	ISSUE DATE
	12-08-13

SHELTER COVE
BLDG 121
S1.1
SECOND FLOOR
FRAMING PLAN

BRITT PETERS AND ASSOCIATES, INC.
consulting engineers
101 W. Camperdown Way
Suite 601
Greenville, SC 29601
(864) 271-8869
Fax (864) 233-5140
www.brittpeters.com
BPA Job No. 13421



NOTE: LOADS SHOWN ARE FACTORED LOADS

SECOND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

- ← DENOTES SPAN DIRECTION OF METAL DECK
- ▭ DENOTES SCOPE BY TENANT
- ▨ SLOPE TOP OF SLAB TO DRAIN. SEE ARCHITECTURAL.
- D1 DENOTES 3" NWT CONCRETE ON 3" VLI 20 GA COMPOSITE METAL DECK REINF. W/ 6x6-W2.1xW2.1 WWR
- D2 DENOTES BAR GRATING GW 150A SMOOTH, GALV., WELDED, 1 1/2"x1/8" @ 1 3/16" O.C. CROSS BARS AT 4" O.C.
- D3 DENOTES SPAN DIRECTION OF 1 1/2-22 GA. METAL ROOF DECK. REFER TO TYPICAL DETAILS FOR CONNECTION.
- D4 DENOTES 4 1/2" NWT CONCRETE ON 3" VLI 20 GA COMPOSITE METAL DECK REINF. W/ 6x6-W2.1xW2.1 WWR
- ▭ DENOTES SLOPE STEEL BEAMS

- NOTES**
1. REFER TO TENANT DRAWINGS FOR COLUMN ABOVE SECOND FLOOR.
 2. TYPICAL TOP OF STEEL EL. = 14'-4 1/2". BEAMS WITH [] HAVE TOP OF STEEL EL. = 14'-3".
 3. METAL STAIRS BY SUPPLIER.
 4. REFER TO S3.1 FOR STEEL BEAM CMU POCKET CONNECTIONS
 5. PROVIDE ADDITIONAL SLAB STEEL REINFORCEMENT OVER INTERIOR GIRDERS PER DETAIL ON S3.2.
 6. #4 X 4'-0" LONG REBAR AT RE-ENTRANT CORNER.
 7. REFER TO DETAIL 12/S4.1 FOR ROOF TOP CURB SUPPORT FRAME. REINFORCE JOIST FOR CONCENTRATED LOAD AS REQ'D PER DETAIL 11/S4.1.
 8. COLUMN BY LANDLORD.



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Architects & Planners

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AUGUSTA, GA 30909

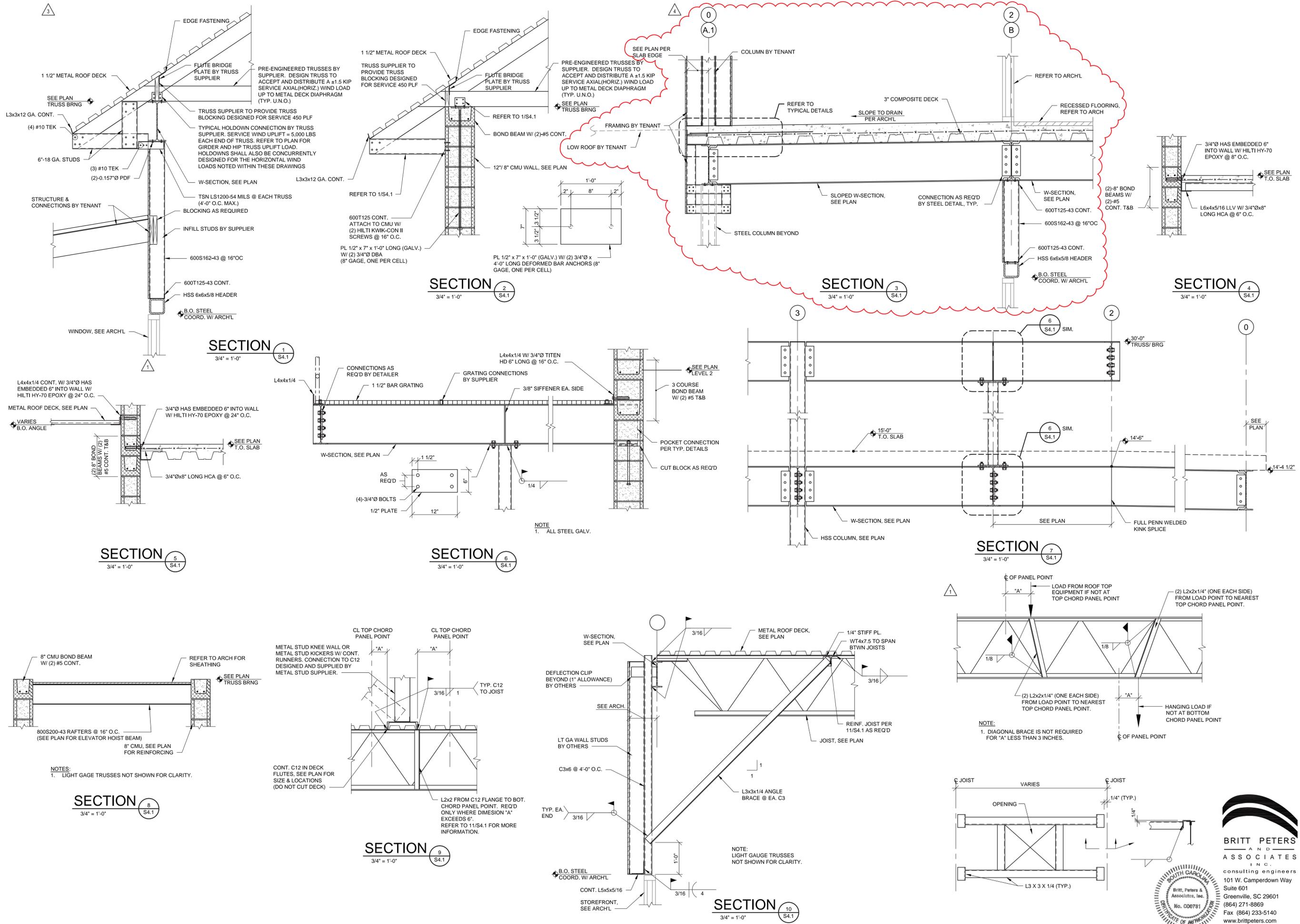
THE POSEIDON - BLDG. 121
24 SHELTER COVE LANE
HWY. 278, MILE MARKER 8
HILTON HEAD ISLAND, SC 29928

REVISIONS	
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DOCUMENT DATA	
BUILDING 121	PROJECT NUMBER
13914	ISSUE DATE
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SHELTER COVE
BLDG 121
S4.1
SECTIONS

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consulting engineers
101 W. Camperdown Way
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Greenville, SC 29601
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BPA Job No. 13421



EXTERIOR FINISH SCHEDULE

BRICK SCHEME:

BRICK - " STEEPLECHASE" BY BORAL

MORTAR SCHEME:

ALL MORTAR SHALL BE "DESERT BUFF"
BY HOLCIM OR EQUAL

STUCCO:

TABBY STUCCO - "IVORY BUFF"

SIDING:

SW #7042 "SHOJI WHITE"

TRIM

SW #6199 "RARE GRAY"

FASCIA, COLUMNS, AND GUTTERS/DOWNSPOUTS

SW #7075 "WEB GRAY"

METAL ROOFING AND COPING:

STANDING SEAM METAL ROOFING - "TEAL"
BY PAC-CLAD

STOREFRONT SYSTEM:

ALL GLASS SHALL BE 1" LOW-E
INSULATED GLASS W/ CLEAR ANODIZED
ALUMINUM FRAMES

NOTE:

ALL ELECTRICAL EQUIPMENT, AND DOORS ARE TO BE
PAINTED TO MATCH ADJACENT WALLS.



BUILDING 121 - NORTH ELEVATION



BUILDING 121 - WEST ELEVATION



**Blanchard
& Calhoun**
COMMERCIAL

SHELTER COVE TOWNE CENTRE

HILTON HEAD ISLAND, SC

NARRAMORE ASSOCIATES, INC.
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AMERICAN INSTITUTE OF ARCHITECTS

P.O. Box 8438, Greenville, SC 29604 Phone: 864.242.9881
310 Mills Ave, Suite 203, Greenville, SC 29605 Fax: 864.232.5202
email: plans@narramore.net

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: SCTC Building 121 – ALTERATION/ADDITION

DRB#: DR 140004

DATE: March 25, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

The Applicant proposes modify the approved elevations for Building 121 and has revised plans based on the DRB comment from the February 11, 2014 meeting. Staff recommends applicant provide a revised site plan to show how the building changes affect the site as well as an elevation that includes the adjacent buildings to evaluate how the revised colors, materials, and design of Building 121 complements the adjacent building. No exterior lighting is shown on elevations.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 3-11/14
 Accepted by: KD
 App. #: DR 14005
 Meeting Date: 3/25/14

Applicant/Agent Name: Don Baker, AIA Company: Square Feet Island Architects
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip 29928
 Telephone: 290 6666 Fax: _____ E-mail: don@squarefeethi.com
 Project Name: One Hot MAMA'S Project Address: 7 Glenwood Drive
 Parcel Number [PIN]: R552015000000030000
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for *All* projects:

- N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- ✓ _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- ✓ _____ Photographs and/or drawings of existing development.
- ✓ _____ Drawings of the proposed development – 11"x 17".
- ✓ _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



11 MAR 2014

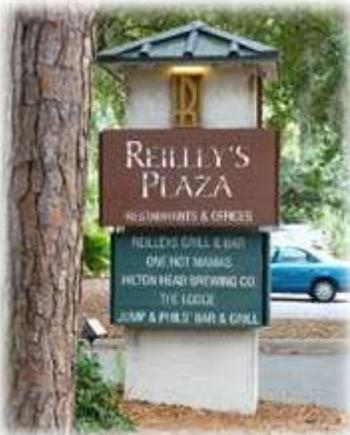
SIGNATURE

DATE

NARRATIVE



One Hot MAMA's American Grille



One Hot Mams has been located in Reilley's Plaza at the entrance to Sea Pines since 2005. There has been much success, especially following the appearance of one of the Owners, Orchid Paulmeier, on the Food Channel.

With this project, the Owners wish to improve their service to their customers eating outdoors. Specifically, the adjacent area to the north of the Dining Room will be converted to outdoor dining by the addition of a 619 square foot standing seam metal roof. Under the roof will be 8 or 9 tables for seating for about 35 customers. The roof will be supported by exposed wood roof trusses, which will be supported by wood

posts with a brick skirt to match an existing condition at the Plaza. The perimeter of the dining area will be partially enclosed by a +/- 36" tall wall of an painted, expanded mesh metal material that is selected as it matches existing material on the interior. All new materials and colors, such as siding, metal roof, bricks, and wood stain will be designed and specified to be a match to current preexisting conditions at One Hot Mama's.



Submitted by

Don Baker, AIA
Square Feet Island Architects
290 6666
don@squafrefeethi.com





REILLEYS PLAZA: SITE PICTURES



ONE HOT MAMAS: EXTERIOR ELEVATIONS

NORTH [SUBJECT] ELEVATION

NORTH [SUBJECT] ELEVATION

EAST [CUSTOMER ENTRY] ELEVATION



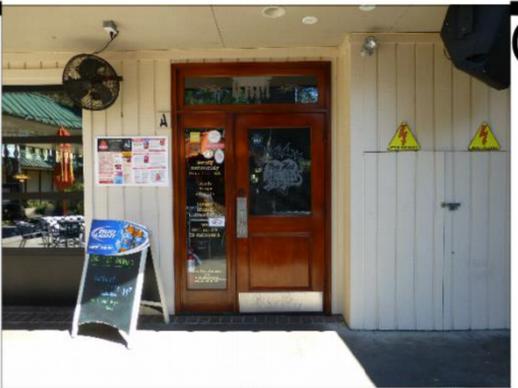
EAST [FORMAL ENTRANCE] ELEVATION



INTERIOR VIEWS



NEW ROOFING & SIDING MATERIALS WILL MATCH EXISTING CONDITIONS



NEW DOOR TO NEW OUTSIDE DINING WILL MATCH EXISTING CUSTOMER DOOR

COLORS & MATERIALS



Square Feet Island Architects
Don Baker, AIA
10 East Garrison Place
Hilton Head, SC 29928

843-363-3663
843-290-6666
843-363-6888

don@squarefeethi.com HHI
Bus Lic. # BLN0400739

PRELIMINARY INFORMATION
Not For Construction

Minor Improvements to:
ONE HOT MAMAS

7 Greenwood Drive
Hilton Head Plaza
Hilton Head Island,
South Carolina 29928



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Project Number RPhm14
Issue Date 13 MARCH 2014
Issuance HHI DRB, XDPR

Revisions:
1. 13 MARCH 2014 HHI DRB, XDPR
2.
3.
4.
5.

Sheet Title:
PROPOSED SITE
DEMOLITION PLAN

SHEET
**PICTURES
AND
MATERIALS**



Square Feet Island Architects
 Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928

843-363-3663
 843-290-6666
 843-363-6888

don@squarefeethi.com HHI
 Bus Lic. # BLN0400739

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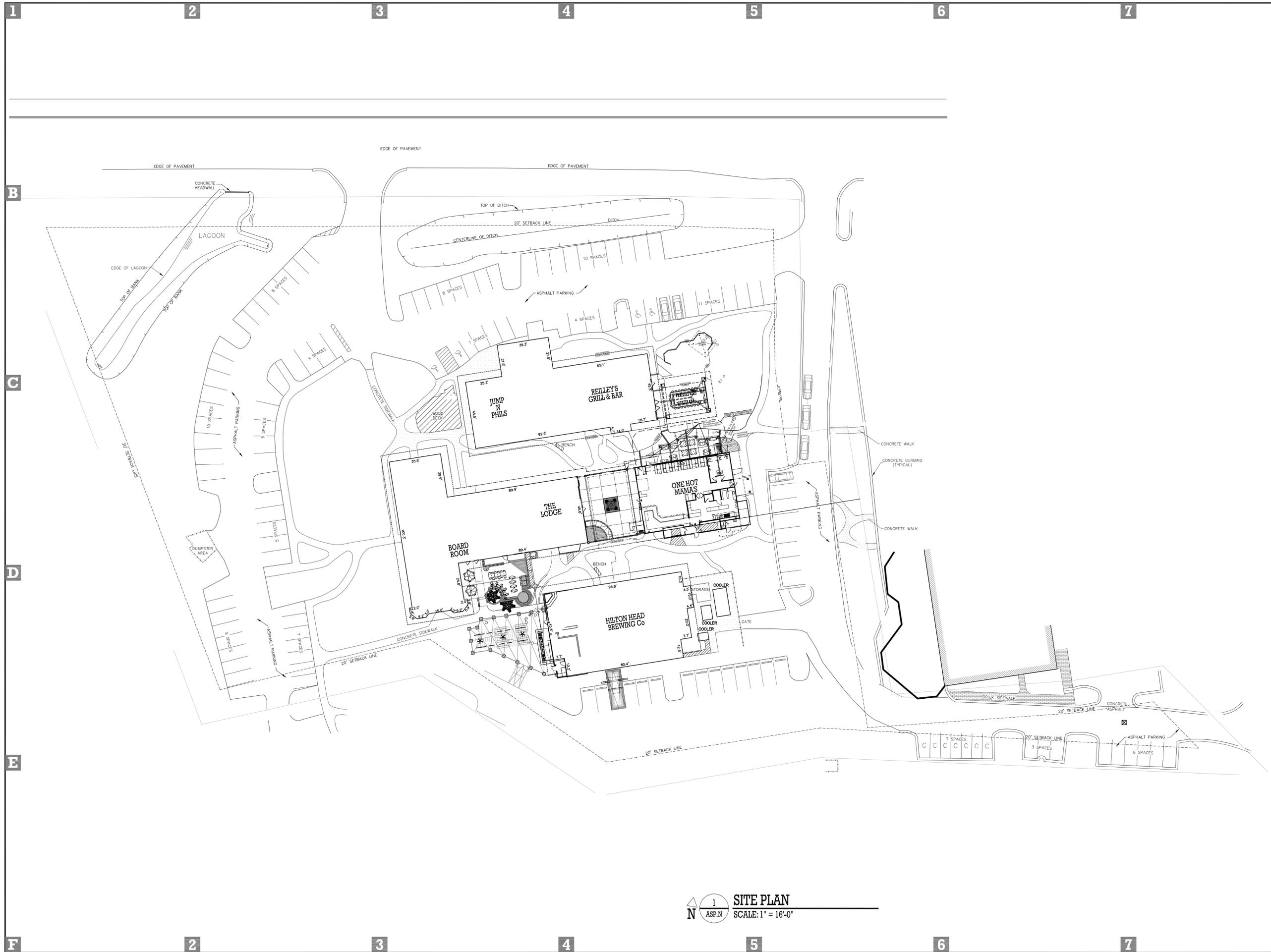
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 Issue Date 13 MARCH 2014
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Revisions:
 1. 13 MARCH 2014 HHI DRB, XDPR
 2.
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Sheet Title:
 DEMOLITION SITE PLAN

1 SITE PLAN
 ASP-N SCALE: 1" = 16'-0"

SHEET
ASP-D



Square Feet Island Architects
 Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928

843-363-3663
 843-290-6666
 843-363-6888

don@squarefeethi.com HHI
 Bus Lic. # BLN0400739

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D

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E

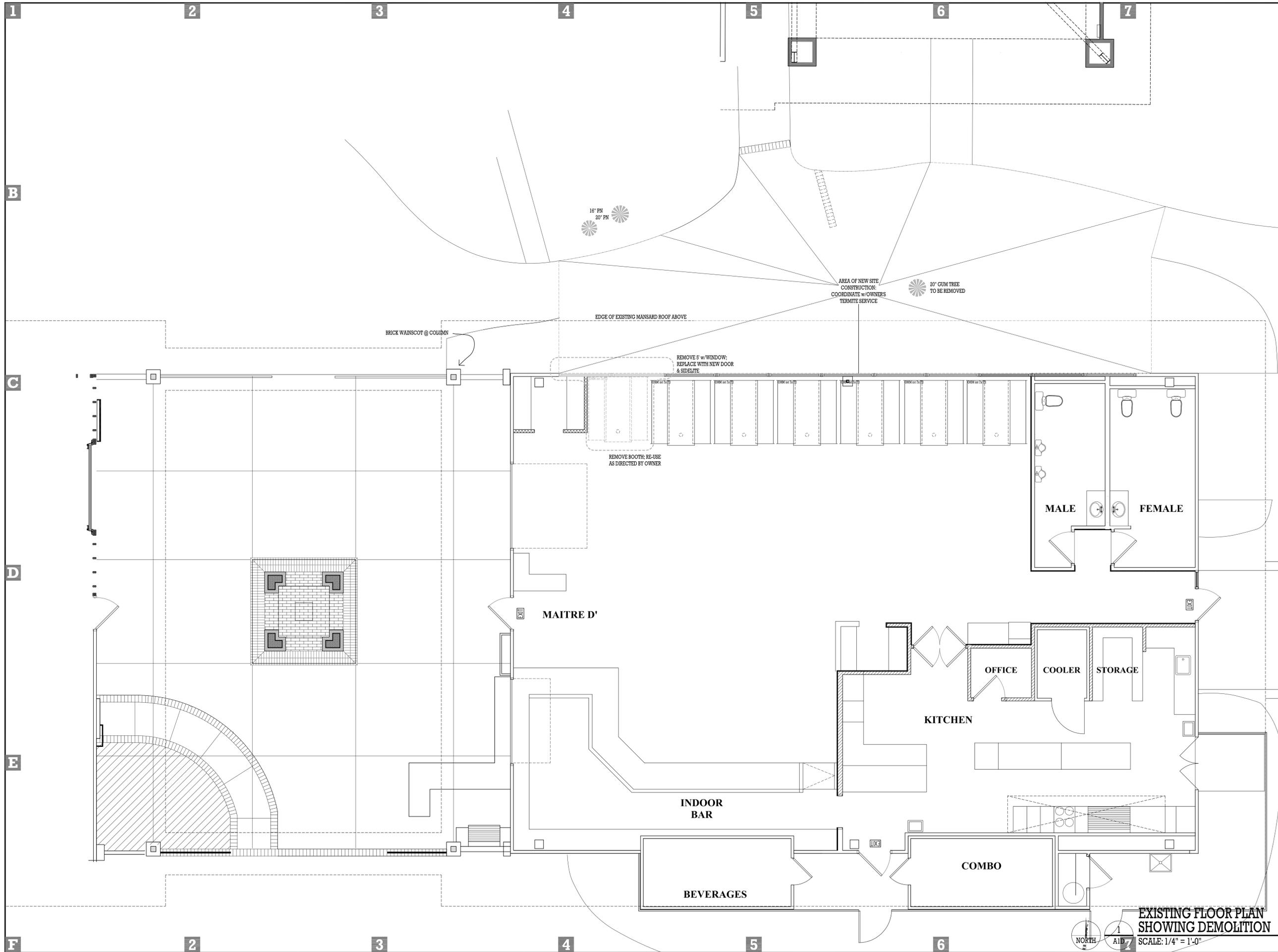
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 1. 13 MARCH 2014 HHI DRB, XDPR
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Sheet Title:
 NEW WORK SITE PLAN

1 SITE PLAN
 ASP-N SCALE: 1" = 16'-0"

SHEET

ASP-N



Square Feet Island Architects
 Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928

843-363-3663
 843-290-6666
 843-363-6888

don@squarefeethi.com HHI
 Bus Lic. # BLN0400739

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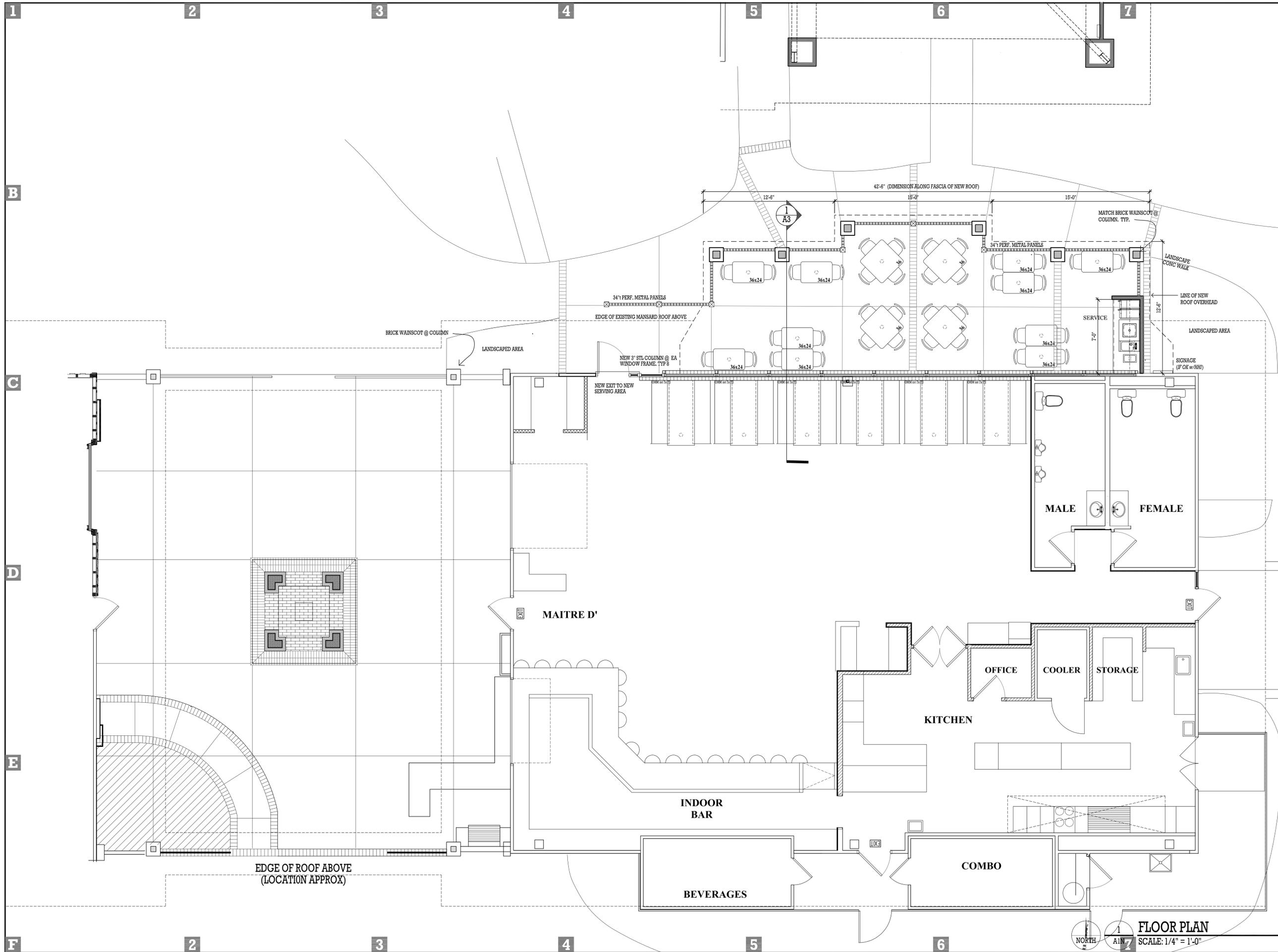
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Revisions:
 1. 13 MARCH 2014 HHI DRB, XDPR
 2.
 3.
 4.
 5.

Sheet Title:
 EXISTING FLOOR PLAN
 SHOWING DEMOLITION WORK

EXISTING FLOOR PLAN
 SHOWING DEMOLITION
 SCALE: 1/4" = 1'-0"





SQUARE FEET
 Square Feet Island Architects
 Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928
 843-363-3663
 843-290-6666
 843-363-6888
 don@squarefeethi.com HHI
 Bus Lic. # BLN0400739

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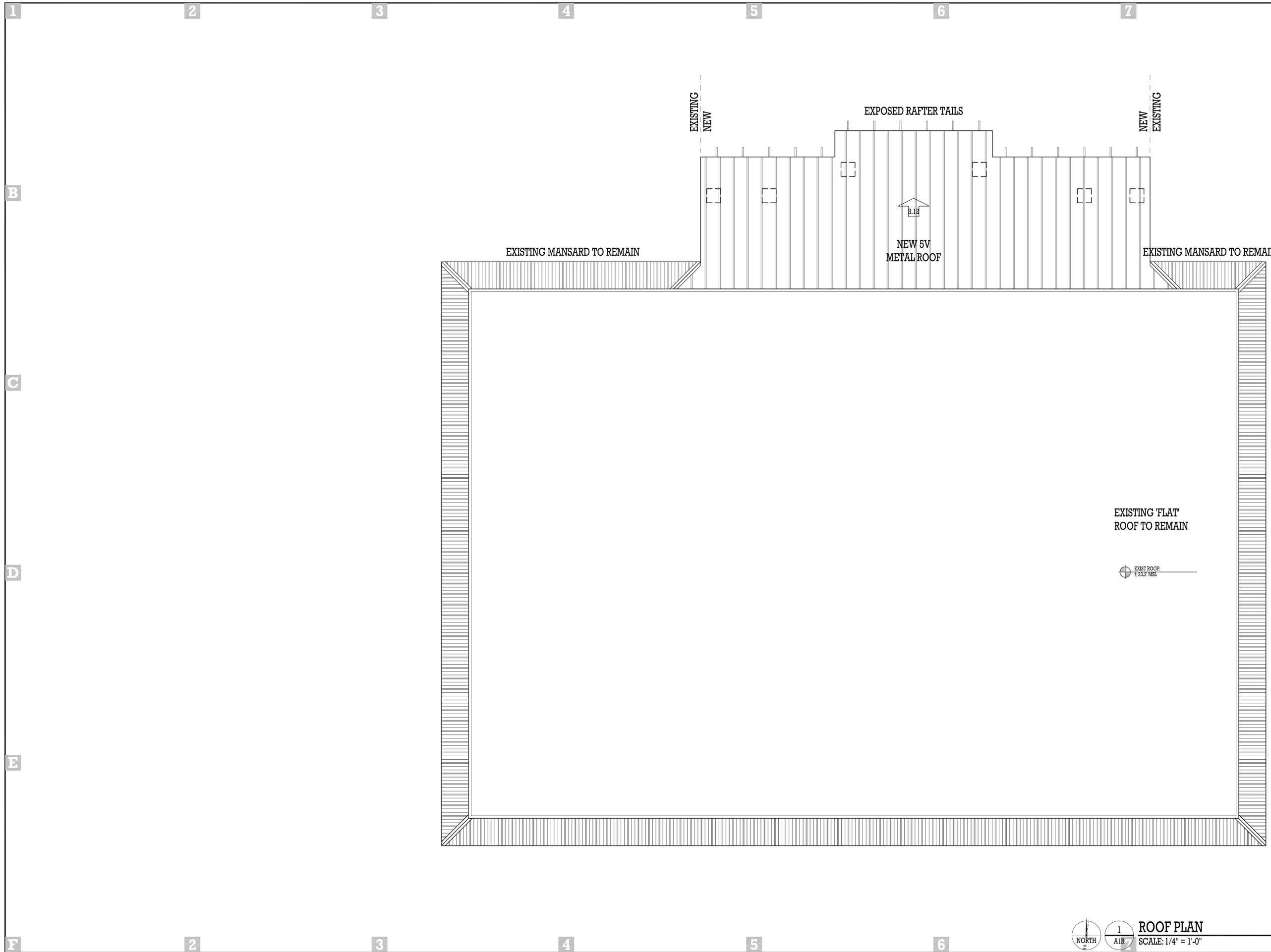
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 Issue Date: 13 MARCH 2014
 Issuance: HHI DRB, XDPR

Revisions:
 1. 13 MARCH 2014 HHI DRB, XDPR
 2.
 3.
 4.
 5.

Sheet Title:
 NEW WORK FLOOR PLAN

SHEET
A1N
 8

FLOOR PLAN
 SCALE: 1/4" = 1'-0"



Square Feet Island Architects
 Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928

843-363-3663
 843-290-6666
 843-363-6888

don@squarefeethi.com HHI
 Bus Lic. # BLN0400739

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PRELIMINARY INFORMATION
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Minor Improvements to:
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D

EXISTING FLAT ROOF TO REMAIN

EXIST ROOF:
 ± 23.2' MSL

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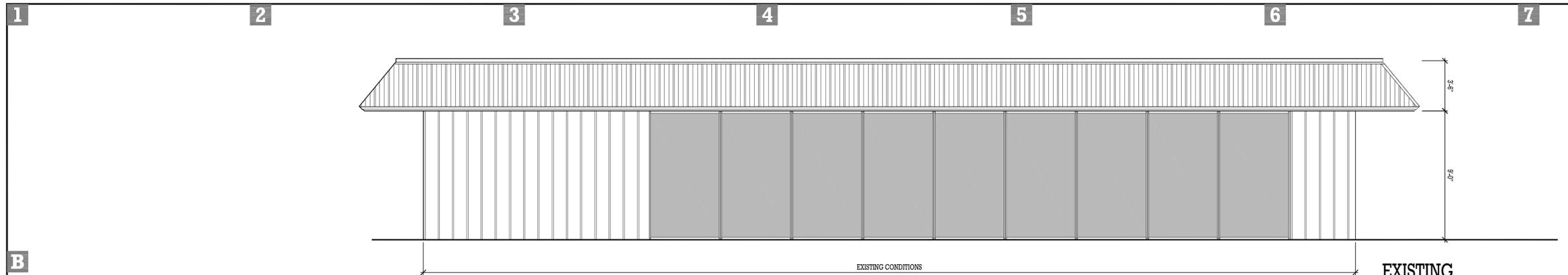
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Revisions:
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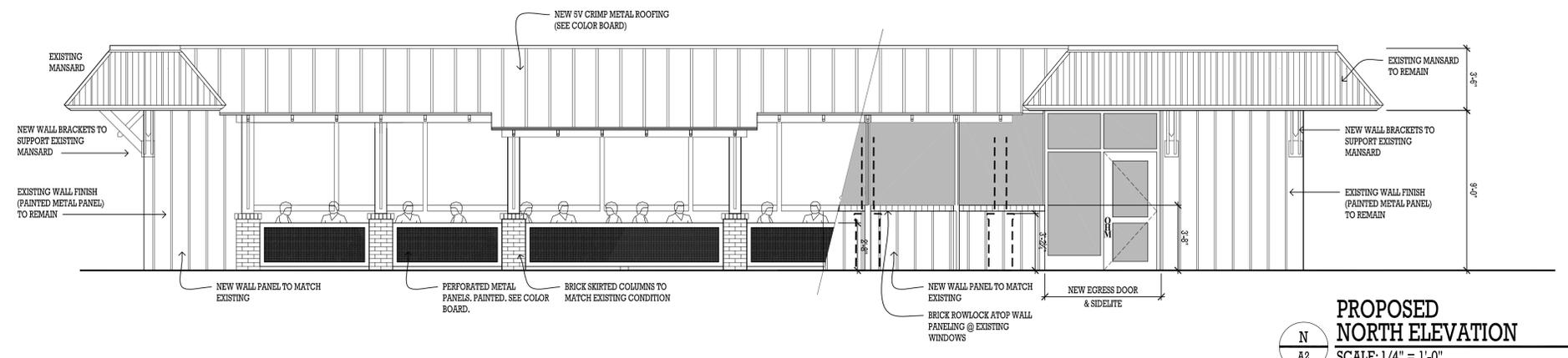
Sheet Title:
 NEW WORK ROOF PLAN

NORTH
 1 AIR ROOF PLAN
 SCALE: 1/4" = 1'-0"

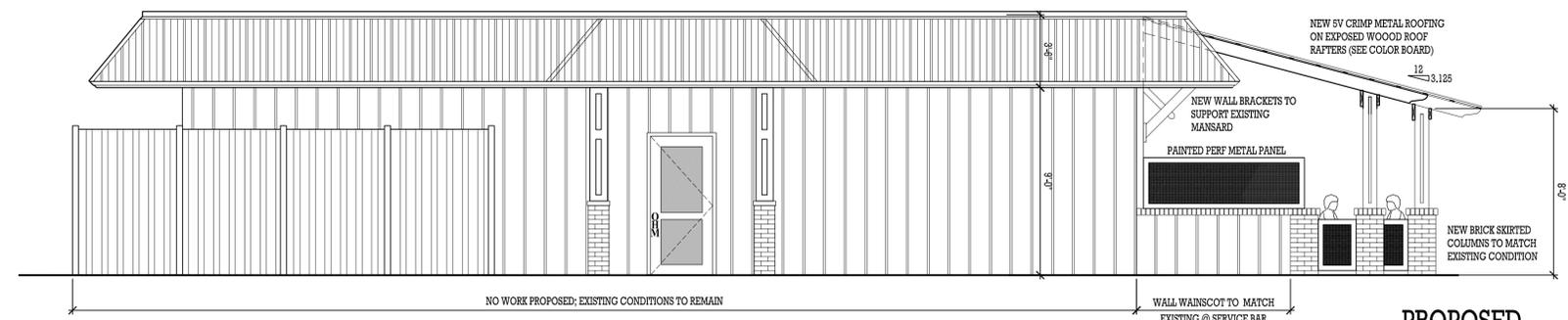
SHEET
A1R
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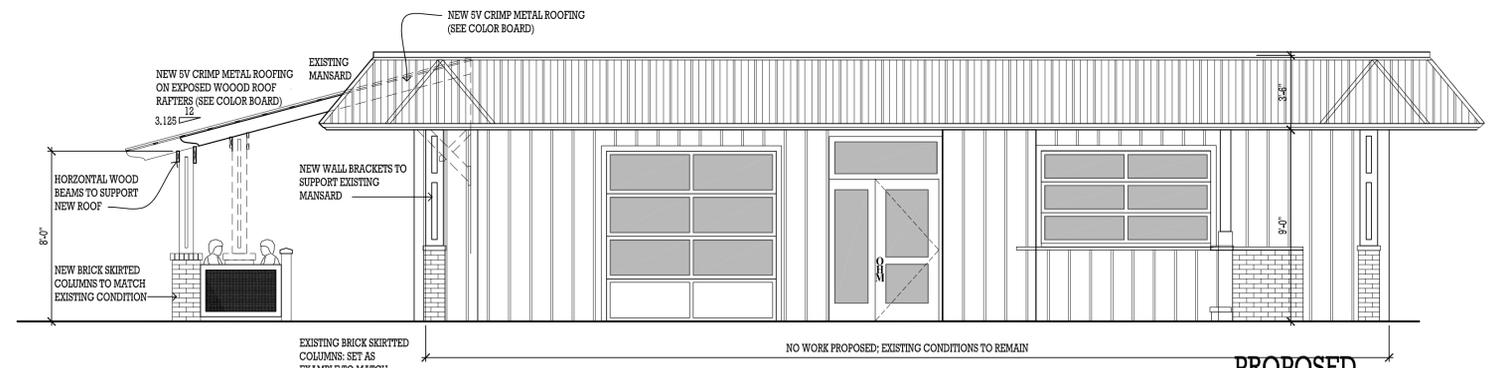
EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



Square Feet Island Architects
Don Baker, AIA
10 East Garrison Place
Hilton Head, SC 29928
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Bus Lic. # BLN0400739

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Sheet Title:
EXTERIOR ELEVATIONS

SHEET
A2

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: One Hot Mama's – ALTERATION/ADDITION

DRB#: DR 140015

DATE: March 25, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

The Applicant proposes create covered outdoor dining adjacent to the north end of the existing Dining Room. All proposed materials will be designed and specified to match existing conditions at One Hot Mama's and Reilley's Plaza. Provide landscape plan and photo/cut sheet of proposed perforated metal panels.



Town of Hilton Head Island
 Community Development Department
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 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: JOSHUA BECKER Company: Coastal Canvas products LLC
 Mailing Address: 73 ROSS RD City: SAV State: GA Zip: 31405
 Telephone: 912 236 2416 Fax: _____ E-mail: CAD3@COASTALCANVAS.NET
 Project Name: RESORT SOURCE Project Address: 20 Executive Park Rd. Suite 100
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

3/18/14
DATE

Narrative for Franky Bones and Resort Source:

Each of our awnings will respect existing conditions and match as best as possible the adjacent awnings, including color and shape. They will be harmonious with the natural surroundings, and their masses shall not overwhelm the existing structure. Our materials, while not native or wood, will not overwhelm the existing architecture. Earth tones shall be chosen, and in the case of Franky Bones, predominantly a grey.

Our awnings will not disrupt the topography, any existing vegetation, or interfere with any setback or buffers.

While our awnings will increase storm water runoff, slightly, they are not large enough to make a substantial impact on the environment.

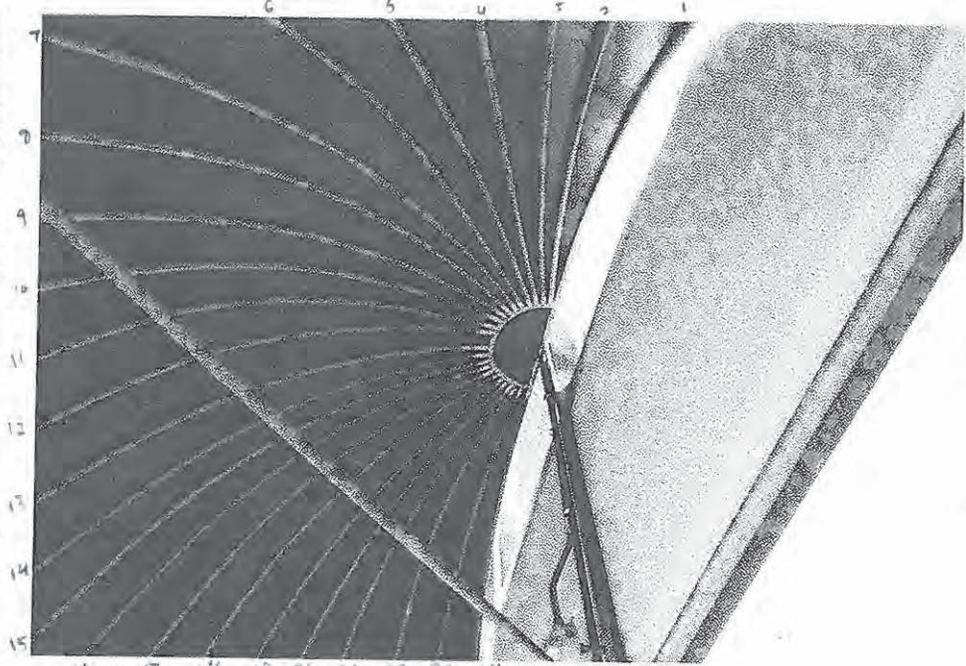
Thanks,

Joshua Beckler

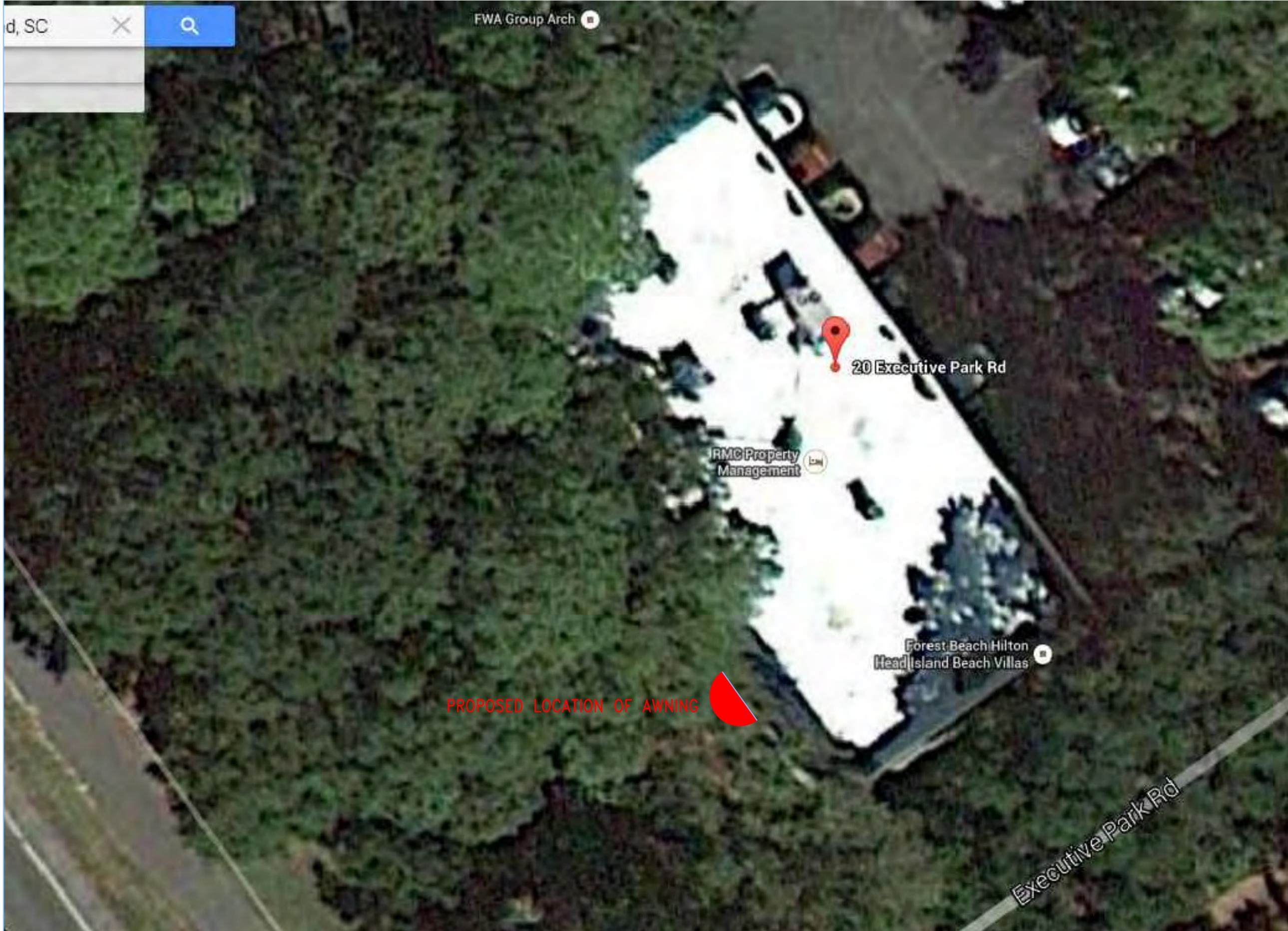




The Studio
Artistic Dining



Front bar?
lace bar/AR on headrad



REVIEWED BY

FRONT, SIDE, PLAN
&
ISOMETRIC FRAME VIEW

DRAWN BY
JBECKLER

DATE
3/12/14

JOB NUMBER
0140110



A NEW AWNING
FOR
RESORT SOURCE

SCALE

$\frac{1}{8}'' = 1'-0''$

REVISION	DATE	REAS

SHEET NO.

E1

MITTAL FOR:



73 ROSS ROAD
PO BOX 22834
SAVANNAH, GEORGIA 31403
MAIN: 912 236 2416 FAX: 912 232 7884
WWW.COASTALCANVAS.NET

A NEW AWNING FOR
**RESORT SOURCE
TIMESHARE RESALES**
220 EXECUTIVE PARK ROAD SUITE 100
HILTON HEAD ISLAND, SC 29928

GENERAL NOTES:

- A. NEW AWNING TO REPLACE EXISTING AWNING
- B. AWNING CLEARANCE TO BE THE SAME AS EXISTING AWNING
- C. AWNING COVER TO BE COASTLINE PLUS GREEN
- D. GRAPHICS AND LOGO TO BE LESS THAN 2½FT²

SUBMITTAL REVIEW

- APPROVED**
EXECUTION MAY PROCEED AS SHOWN.
- APPROVED AS NOTED**
EXECUTION MAY PROCEED BASED ON NOTES INDICATED.
- APPROVED AS NOTED WITH FILE COPY**
EXECUTION MAY PROCEED BASED ON NOTES INDICATED.
CORRECT SUBMISSION TO RESUBMIT FOR RECORD PURPOSES ONLY.
- NOT APPROVED**
RESUBMIT FOR APPROVAL.
- REVIEW FOR INFORMATION**
APPROVAL NOT REQUIRED. ACCEPTED FOR INFORMATION ONLY.

SIGNATURE:

DATE:

THIS DRAWING IS THE PROPERTY OF CCP CO., INC. AND
MAY BE USED ONLY FOR THE PROJECT AND LOCATION
AND AS SPECIFIED BY CCP CO., INC. ANY
USE OR REPRODUCTION IS STRICTLY PROHIBITED.

REVIEWED BY

FRONT, SIDE, PLAN
&
ISOMETRIC FRAME VIEW

DRAWN BY
J DEDIC

DATE
03-05-2014

JOB NUMBER
140810



73 ROSS ROAD PO BOX 22834 SAVANNAH, GEORGIA 31403
MAIN: 912 236 2416 FAX: 912 232 7884 WWW.COASTALCANVAS.NET

A NEW AWNING
FOR

**RESORT SOURCE
TIMESHARE RESALES**
20 EXECUTIVE PARK ROAD, SUITE 100
HILTON HEAD ISLAND, SC 29928

MARCH 2014

BEAUFORT

SCALE

NONE

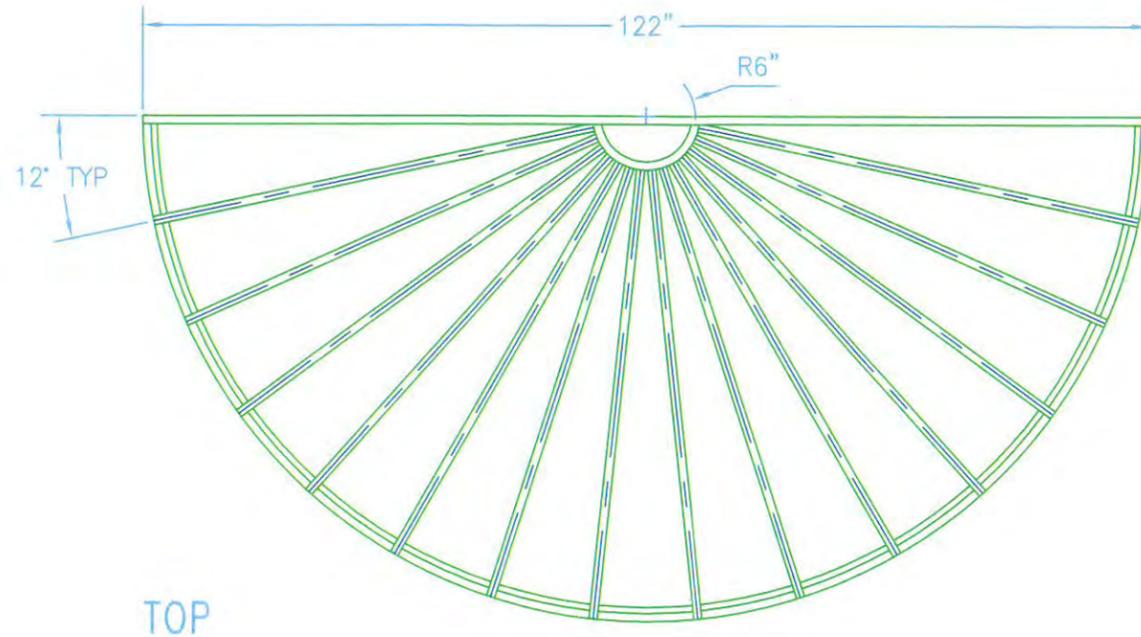
REVISION	DATE	REASON

SHEET NO.

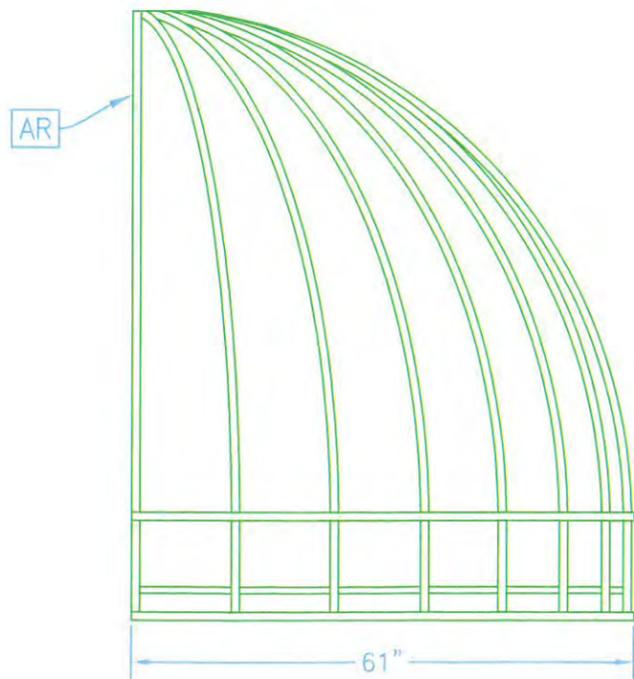
COVER



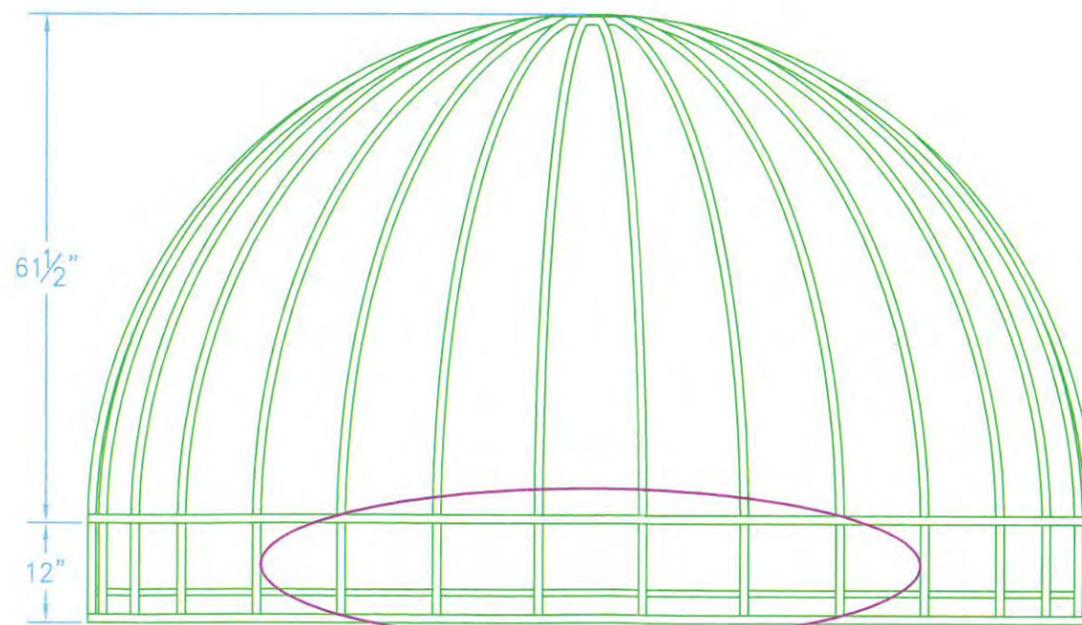
GRAPHICS DETAIL



TOP



SIDE

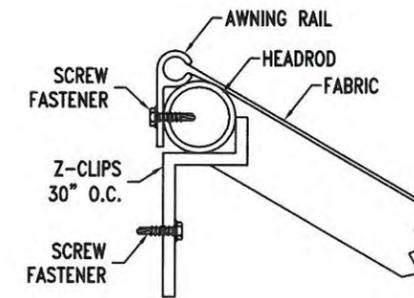


FRONT

GRAPHICS DETAIL



VALANCE PATTERN



HEADROD DETAIL
NOT TO SCALE

NOTE: CANVAS COVER IS REMOVABLE AND IS TO BE RMOVED BY CUSTOMER BEFORE 74MPH (OR HIGHER) WIND EVENT.

THE FRAME AND ANCHORING METHOD IS DESIGNED TO WITHSTAND 120MPH WINDLOADS.

PART #	1-A-1		QUANTITY	1 REQUIRED	
DROP	61"	BRACE	3/4"		VALANCE
PROJ	61"	PROJ	3/4"		
WIDTH	122"	H/R	3/4"		
VAL	10"	F/B	3/4"		
VAL PAT	RIGID	RAF/BOW	3/4"		
FB-02 RIGID WRAP DETAIL OF FRAME TRUSS AND VAL ATTACHMENT SIZE MAY VARY, REF TO WORK ORDER					

THIS DRAWING IS THE PROPERTY OF CCP CO., INC. AND MUST BE USED ONLY IN CONNECTION WITH OUR WORK. USE AS SPECIFIED BY CCP CO., INC. UNAUTHORIZED USE OR REPRODUCTION IS STRICTLY PROHIBITED.

REVIEWED BY

FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW	DRAWN BY	J DEDIC	DATE	03-05-2014	JOB NUMBER	140810

A NEW AWNING FOR
**RESORT SOURCE
 TIMESHARE REALES**
 20 EXECUTIVE PARK ROAD, SUITE 100
 HILTON HEAD ISLAND, SC 29928

BEAUFORT MARCH 2014

SCALE		
NONE		
REVISION	DATE	REASON
SHEET NO.		
1 OF 1		

73 ROSS ROAD PO BOX 22834 SAVANNAH, GEORGIA 31403
 MAIN: 912.236.2416 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Resort Source – MINOR EXTERNAL CHANGE

DRB#: DR 140016

DATE: March 25, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

The Applicant proposes to install a new awning at Resort Source to replace an existing awning. Plans note that colors and materials are proposed to match existing; however existing awning on same side of building includes a white scallop drop. Staff recommends that the proposed awning should match the existing awning in style as well as color and material. Additionally, the applicant will be required to submit a sign permit application for the proposed logo.



drift wood grey + black
coastline plus

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>3-11-14</u>
Accepted by:	<u>ICW</u>
App. #: DR	<u>140017</u>
Meeting Date:	_____

Applicant/Agent Name: JOSHUA BECKER Company: COASTAL CANVAS PRODUCTS, LLC
 Mailing Address: 73 ROSS RD City: SAV State: GA Zip: 31405
 Telephone: 912 236 2416 Fax: _____ E-mail: CAD3@COASTALCANVAS.NET
 Project Name: FRANKY BONES Project Address: 1513 MAINST. HHI 29926
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

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- New Development – Conceptual
 New Development – Final, indicate Project Number
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A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

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SIGNATURE

3/11/14
DATE

Narrative for Franky Bones and Resort Source:

Each of our awnings will respect existing conditions and match as best as possible the adjacent awnings, including color and shape. They will be harmonious with the natural surroundings, and their masses shall not overwhelm the existing structure. Our materials, while not native or wood, will not overwhelm the existing architecture. Earth tones shall be chosen, and in the case of Franky Bones, predominantly a grey.

Our awnings will not disrupt the topography, any existing vegetation, or interfere with any setback or buffers.

While our awnings will increase storm water runoff, slightly, they are not large enough to make a substantial impact on the environment.

Thanks,

Joshua Beckler

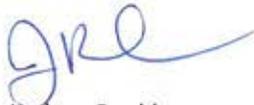
Town of Hilton Head
Community Development Department
3/11/14

I write to notify you of our narrative for the awnings for Franky Bones and Resource Source.

Both awnings are singular, standard, aluminum awnings, with fabric covers.

The color choices and drawings are documented in the attached files.

Thanks,



Joshua Beckler

Coastal Canvas



FABRIC NAME drift wood + Pirate black
FABRIC COLOR grey Black
FABRIC NO. CP2719 CP 2745
DATE _____

Narrative for Franky Bones and Resort Source:

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Our awnings will not disrupt the topography, any existing vegetation, or interfere with any setback or buffers.

While our awnings will increase storm water runoff, slightly, they are not large enough to make a substantial impact on the environment.

Thanks,

Joshua Beckler



Frankie
Bones
RESTAURANT
& LOUNGE

Fabulous Frankie Bones

AIR CONDITIONED

1301

WiseGuys



CONDITIONED

WG
WiseGuys

WiseGuys

WiseGuys

Big wheels + small price

HOPS

SEAFOOD

MARTINIS

Please See
Hostess for
Patio
Seating











Please See
Hostess for
Patio
Seating



Please See
Hostess for
Patio
Seating

MARTINI'S

SEAFOOD

CHIPS

SHRIMP





WiseGuys

PROPOSED LOCATION OF AWNING
105'
165'

REVIEWED BY

FRONT, SIDE, PLAN &
ISOMETRIC FRAME VIEW

DRAWN BY JBECKLER DATE 3/12/14 JOB NUMBER 0140110

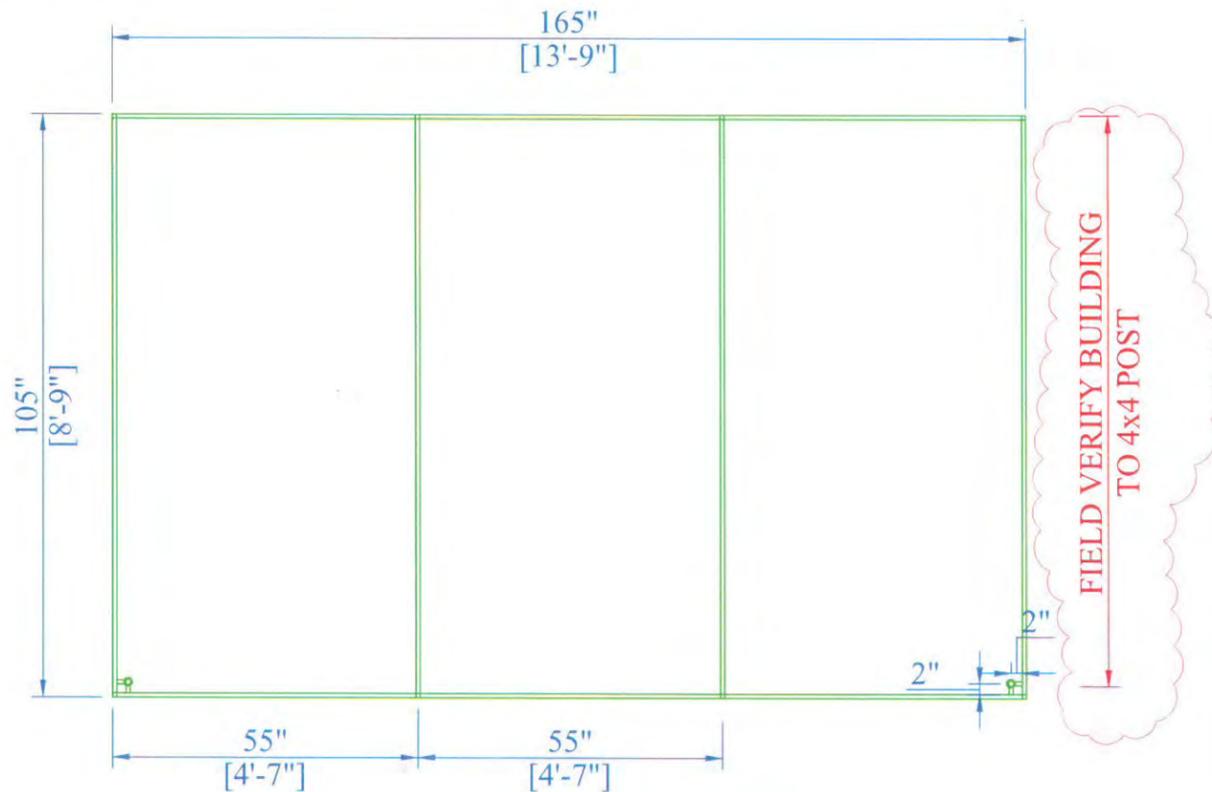


A NEW AWNING FOR
FRANKY BONES

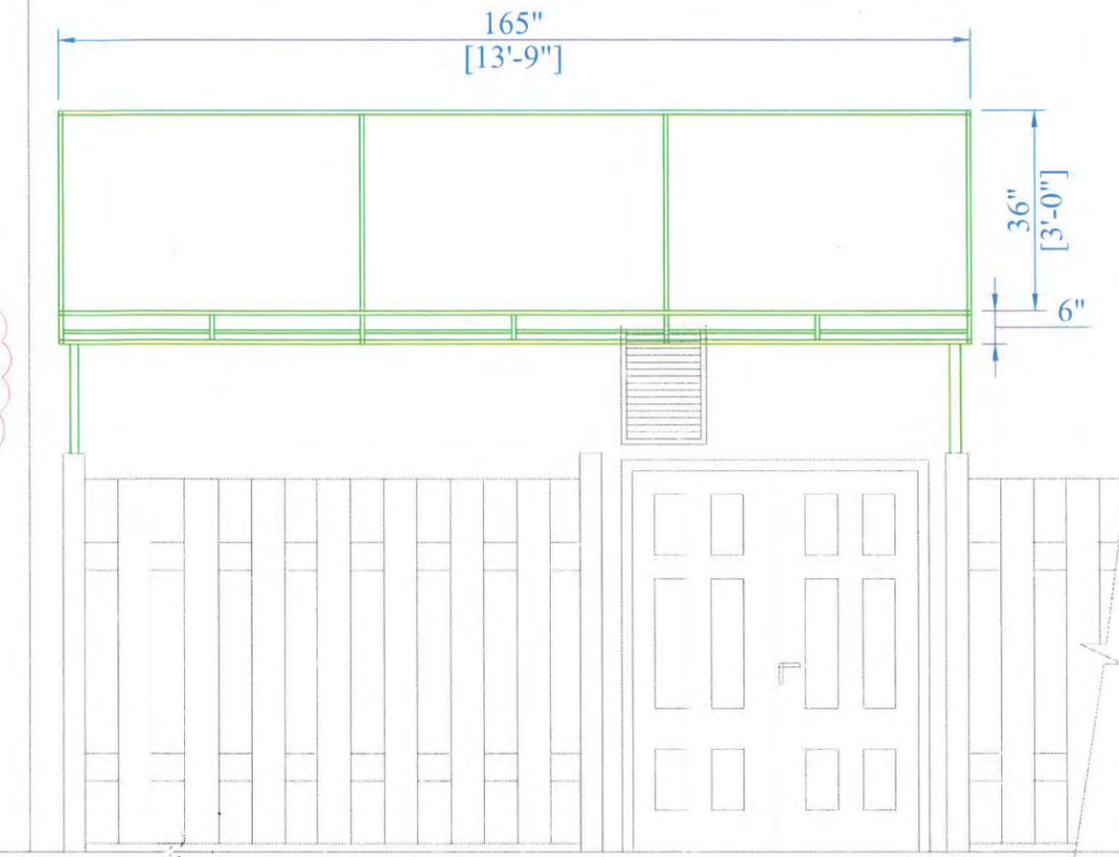
SCALE		
	$\frac{1}{8}'' = 1'-0''$	$1'' = 1'-0''$
REVISION	DATE	REAS

SHEET NO.

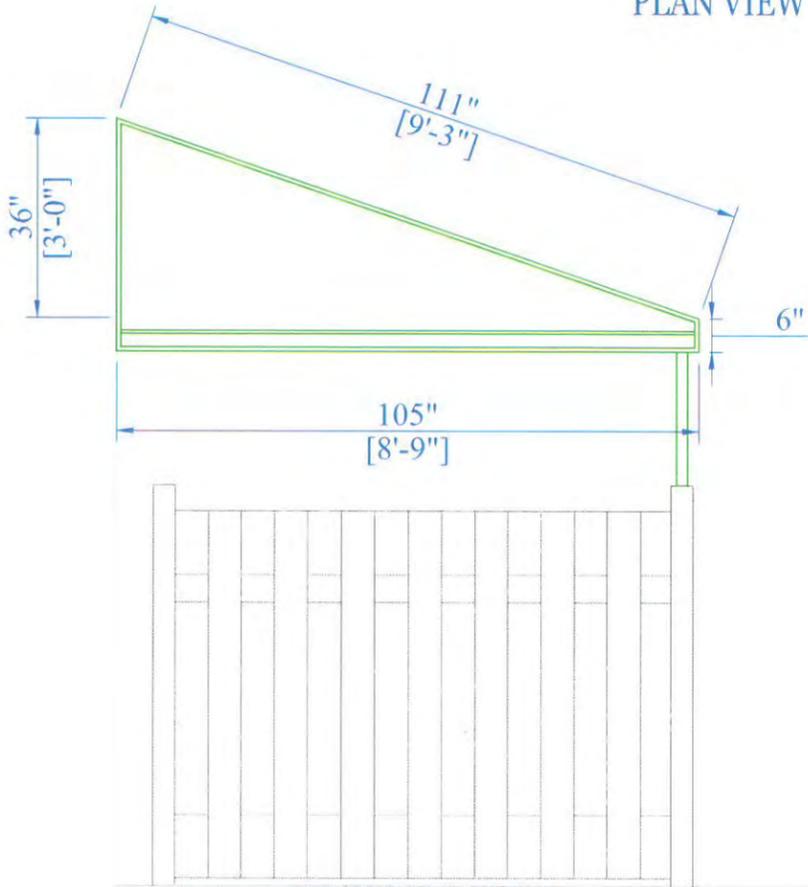
E1



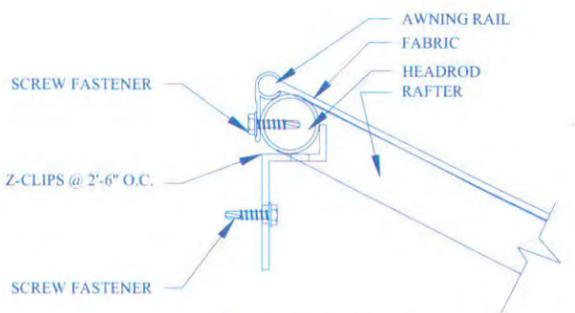
PLAN VIEW



FRONT ELEVATION



SIDE ELEVATION



HEADROD DETAIL NOT TO SCALE

NOTE: CANVAS COVER IS REMOVABLE AND IS TO BE REMOVED BY CUSTOMER BEFORE 74 MPH (OR HIGHER) WIND EVENT.

THE FRAME AND ANCHORING METHOD IS DESIGNED TO WITHSTAND 120 MPH WINDLOADS.

ISOMETRIC VIEW NOT TO SCALE

PART #		QUANTITY
1 of 1		1 EACH
DROP	BRACE	 FB-02 RIGID WRAP
36"	3/4"	
PROJ	PROJ	
105"	3/4"	
WIDTH	H/R	
165"	3/4"	
VAL	F/B	DETAIL OF FRAME TRUSS AND VAL ATTACHMENT VAL. SIZE MAY VARY. REF TO WORK ORDER
6"	3/4"	
VAL PAT.	RAF./BOW	
RIGID WRAP	3/4"	

REVIEWED BY

ISOMETRIC FRAME VIEW

ISOMETRIC VIEW NOT TO SCALE

A NEW AWNING

FRANKIE BONES

1513 MAIN STREET

HILTON HEAD, SC 29926

BEAUFORT COUNTY

HILTON HEAD

JUNE, 2013

SCALE 3/8"=1'-0"

REVISION	DATE	REASON

SHEET NO.

1 of 3

CO AL CANVAS PRODUCTS

71 BOSS ROAD PO BOX 2384 SAVANNAH GEORGIA 31403

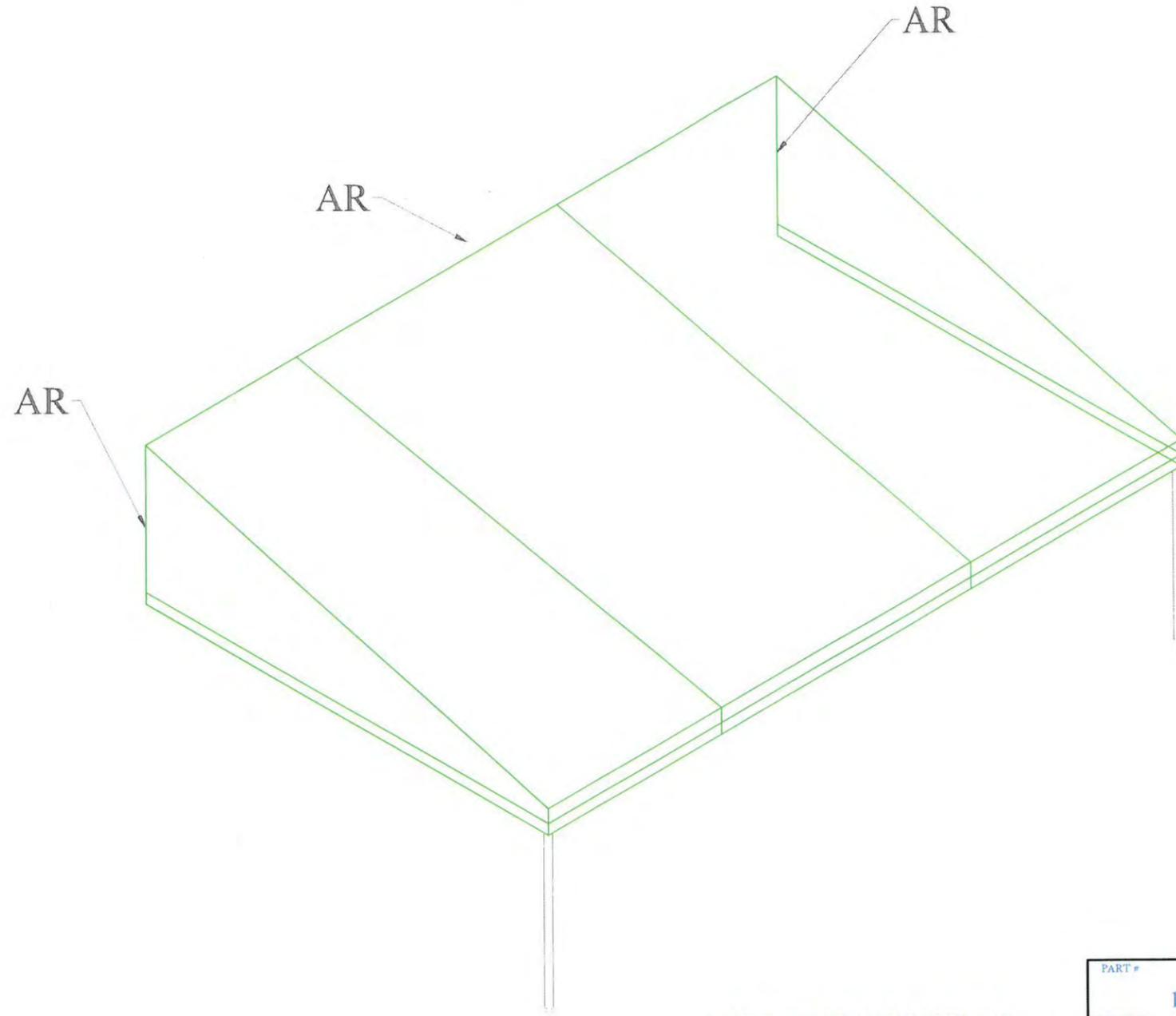
MAIN 912 238 2418 FAX 912 232 7884 WWW.SHADESOLUTIONEXPERTS.COM

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DRAWN BY DAM

JOB NUMBER 0132840

DATE 06 17/2013



ISOMETRIC VIEW
NOT TO SCALE

NOTE: CANVAS COVER IS
REMOVABLE AND IS TO BE
REMOVED BY CUSTOMER
BEFORE 74 MPH (OR HIGHER)
WIND EVENT.

THE FRAME AND ANCHORING
METHOD IS DESIGNED TO
WITHSTAND 120 MPH
WINDLOADS.

PART #		QUANTITY
1 of 1		1 EACH
DROP	BRACE	 <p>FB-02 RIGID WRAP</p> <p>DETAIL OF FRAME TRUSS AND VAL ATTACHMENT VAL. SIZE MAY VARY .REF TO WORK ORDER</p>
36"	3/4"	
PROJ	PROJ	
105"	3/4"	
WIDTH	H/R	
165"	3/4"	
VAL.	F/B	
6"	3/4"	
VAL.PAT.	RAF./BOW	
RIGID WRAP	3/4"	

REVIEWED BY

ISOMETRIC FRAME VIEW

DRAWN BY
DAM

06 17/2013

JOB NUMBER
0132840

CO AL CANVAS
PRODUCTS

70 ROSES ROAD PO BOX 2834 SAVANNAH, GEORGIA 31403
MARI 912 235 2415 FAX 912 232 7814 WWW.SHADESOLUTIONEXPERTS.COM

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USED ONLY IN CONNECTION WITH OUR WORK, AND AS SPECIFIED BY
CCP CO., INC. UNAUTHORIZED USE OR REPRODUCTION IS STRICTLY PROHIBITED.

A NEW AWNING

FRANKIE BONES
1513 MAIN STREET
HILTON HEAD, SC 29926

JUNE, 2013

HILTON HEAD

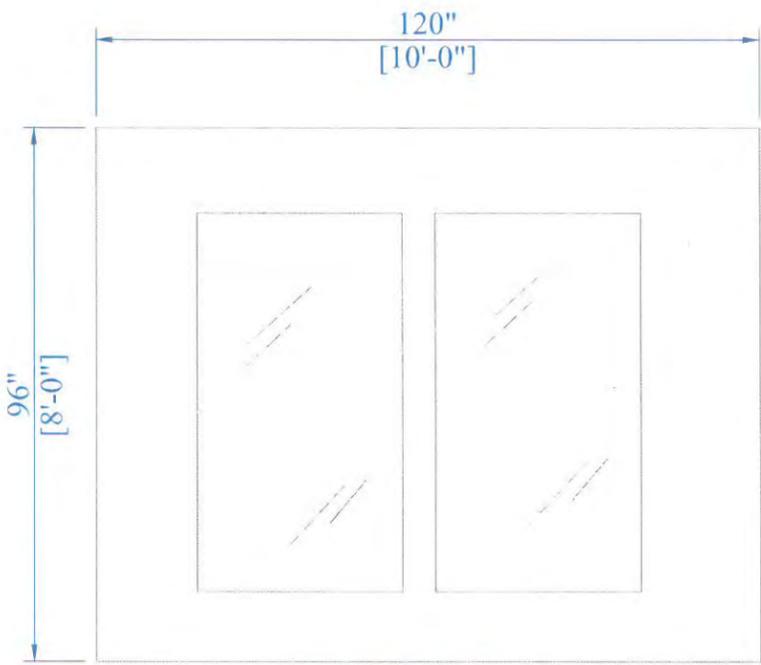
BEAUFORT COUNTY

SCALE
3/8"=1'-0"

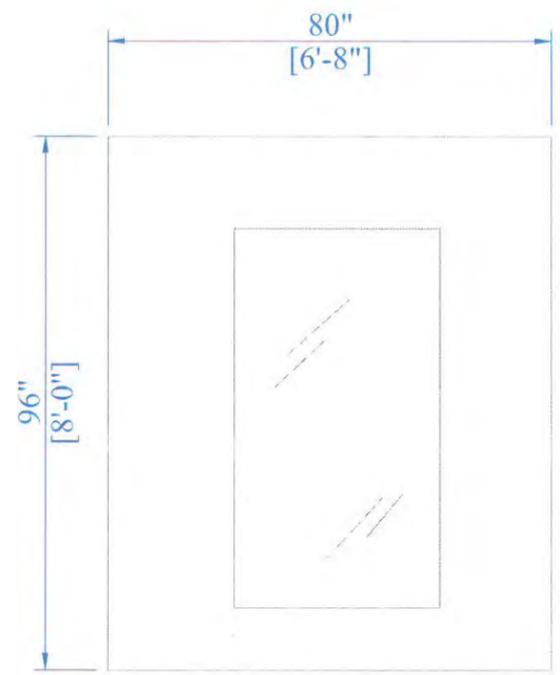
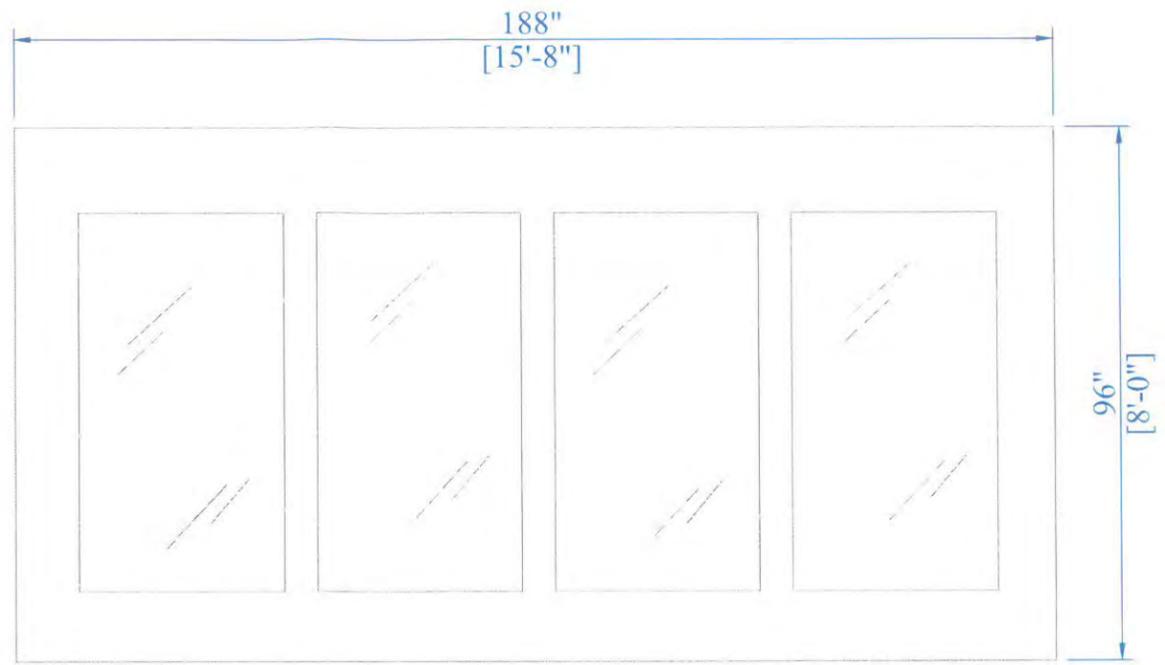
REVISION	DATE	REASON

SHEET NO.

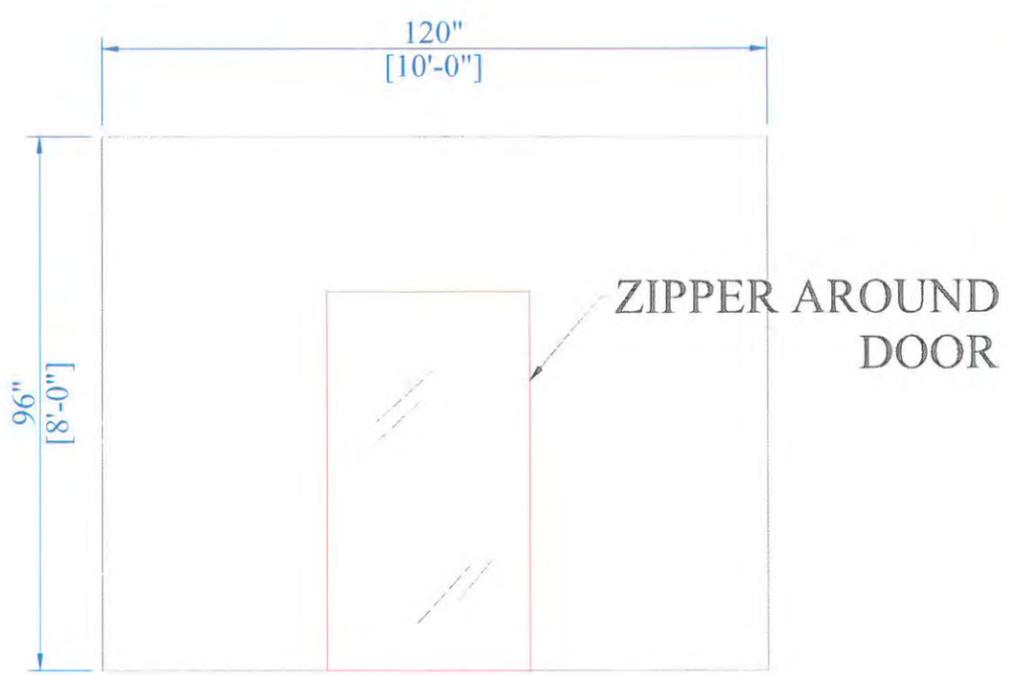
2 of 3



2 REQUIRED



ROLL-UP CURTAINS FOR OUTSIDE CANOPY



NOTE: CANVAS COVER IS REMOVABLE AND IS TO BE REMOVED BY CUSTOMER BEFORE 74 MPH (OR HIGHER) WIND EVENT.

THE FRAME AND ANCHORING METHOD IS DESIGNED TO WITHSTAND 120 MPH WINDLOADS.

REVIEWED BY		<small>THIS DRAWING IS THE PROPERTY OF CCP CO., INC. AND MUST BE USED ONLY IN CONNECTION WITH OUR WORK, AND AS SPECIFIED BY CCP CO., INC. UNAUTHORIZED USE OR REPRODUCTION IS STRICTLY PROHIBITED.</small>	
ISOMETRIC FRAME VIEW	DRAWN BY	06 17/2013	CO. AL. CANVAS PRODUCTS <small>73 BOSS ROAD, PO BOX 22834 SAVANNAH, GEORGIA 31403 MAIN 912 241 2415 FAX: 912 232 7884 WWW.SHADESOLUTIONEXPERTS.COM</small>
	JOB NUMBER	0132840	
A NEW AWNING FRANKIE BONES 1513 MAIN STREET HILTON HEAD, SC 29926		HILTON HEAD	JUNE, 2013
SCALE		3/8"=1'-0"	
REVISION	DATE	REASON	
SHEET NO.			
3 of 3			



grey

black

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Frankie Bones – MINOR EXTERNAL CHANGE

DRB#: DR 140017

DATE: March 25, 2014

RECOMMENDATION: Approval Approval with Conditions Denial

The Applicant proposes to install a new awning over the service area that will replace an existing smaller awning. Colors and materials are proposed to match existing. Additionally, the applicant proposes to install roll-up curtains for the outdoor canopy. The applicant should submit plans showing the location of the proposed roll-up curtains and coordinate with the Building Plans Examiner and the Fire Marshal regarding any potential code issues.