



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, January 13, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of December 9, 2014
6. **Staff Report**
7. **Board Business** – Public Comment regarding update of Hilton Head Island Design Guide
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
  - A. **Alteration/Addition**
    - 1) DRB-002295-2014 – South State Bank (100 Exchange Street)
    - 2) DRB-002296-2014 – South State Bank (2 Palmetto Bay Road)
    - 3) DRB-002299-2014 – H&H Auto Body
    - 4) DRB-002332-2014 – New Awning (Up the Creek Pub & Grill)
  - B. **New Development – Conceptual**
    - 1) DRB-002341-2014 – Popeye’s Louisiana Kitchen
11. **Appearance by Citizens**
12. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island**  
**Design Review Board**  
**Minutes of the Tuesday, December 9, 2014 Meeting**  
**1:15p.m. – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Jake Gartner, Ron Hoffman, Galen Smith, Dale Strecker, Kyle Theodore and Brian Witmer

Board Members Absent: None

Town Council Present: Bill Harkins and Kim Likins

Town Staff Present: Jennifer Ray, Urban Designer  
Heather Colin, Development Review Administrator  
Teri Lewis, LMO Official  
Anne Cyran, Senior Planner  
Richard Spruce, Plans Examiner  
Rocky Browder, Environmental Planner  
Charles Cousins, Director of Community Development  
Shawn Colin, Deputy Director of Community Development  
Jill Foster, Deputy Director of Community Development  
Don Kirkland, Director of Economic Development  
Kathleen Carlin, Administrative Assistant

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**1. Call to Order**

Chairman Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

Ms. Ray stated that application DRB-002030-2014, Market at Hilton Head Island, has been withdrawn from the agenda at the applicant's request. The Board **approved** the revised agenda as submitted by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the November 18, 2014 meeting as submitted by general consent.

**6. Staff Report**

Ms. Ray stated that today's DRB meeting is the last meeting of the year. The next DRB meeting will be held on Tuesday, January 13, 2015.

## 7. Board Business

None

## 8. Old Business

### A. Alteration/Addition

#### 1) 5 Lagoon Road DRB-002014-2014

Ms. Ray stated that the project is located at 5 Lagoon Road. The Board approved the building portion of this project with conditions on November 18, 2014. At that time the Board directed the applicant to update their landscape plan for later review and approval by the Board. Since the November 18<sup>th</sup> meeting the applicant has made several changes to the landscape plan based on the Board's previous discussion.

Ms. Ray presented an in-depth overhead review of the revised landscape plan. The applicant has tightened up the spacing of the boxwood located along the edge of the parking lot. Additional boxwood has been added along the ramp at the front of the building adjacent to the parking area. The additional boxwoods were specified to be 5-gallon.

At the November 18<sup>th</sup> meeting the Board requested that additional consideration be given to intermediate level plantings. The proposed crepe myrtle trees and juniper ground cover shown on the previous landscape plan have been replaced with two types of 15-gallon Ligustrum. The Ligustrum will provide a good buffer between Lagoon Road and the parking lot. Additional Crepe Myrtle trees are proposed to be planted to the left of the building as well as in the parking lot islands. This is a change from the previous plan.

All of the existing palm trees will now remain with the exception of three palm trees that are located at the new access ramp. These palm trees will require mitigation on site. While the applicant is showing several additional Crepe Myrtle trees, these trees are not an even swap because they are not in the same tree category. These three trees can either be transplanted or three additional palms will be planted.

The applicant has suggested planting the palm trees in the buffer area alongside the parking lot. The applicant will work with the Natural Resource Planner in the field to make sure that this mitigation requirement is met. The applicant intends to plant all of the Crepe Myrtles and shrubs as shown on today's plan. The staff recommended that the landscape plan application be approved as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Ned Gilleland, property owner, and Mr. Todd Parrott, landscape architect, presented brief comments in support of the application. The Board complimented the completeness of today's landscape plan. The Board discussed several issues including the spacing of the boxwood as well as the number and the placement of the Palms. The Board recommended that the applicant stagger the placement of the shrubs between the parking lot and Lagoon Road.

The Board stated that there may be enough room between the bike path and the parking area for additional lower-level plant material. The space may be too tight between the parking area and the access ramp for the placement of boxwood. A different plant material may be more suitable in this location. The Board recommended that the proposed Ligustrum be replaced with a more natural native plant material such as wax myrtle or saw palms.

Following final comments by the Board, Chairman Sodemann requested public comments on the application and none were received. Chairman Sodemann then requested that a motion be made.

Mr. Witmer made a **motion to approve** application DRB-002014-2014 with the following conditions: (1) the applicant shall stagger the placement of shrubs located along the edge of the parking lot; (2) the applicant shall replace the Ligustrum with a more native species plant material. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 7-0-0.

## **B. New Development – Conceptual**

*(Mrs. Theodore recused herself from review of the following application due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record.)*

### 1) 1<sup>st</sup> Tee Boys & Girls Club DRB-001731-2014

Ms. Ray stated that this project is located at 151 Gumtree Road. The applicant proposes to construct a golf training facility on the Boys & Girls Club of Hilton Head Island property. The Board reviewed this project on October 28, 2014, but no action was taken at that time. The Board's comments focused on the aesthetics of the temporary building to be used for the pro shop.

Ms. Ray presented an in-depth overhead review of the revised submission including a review of the site plan and several photos of existing conditions and adjacent residential property.

The golf facility will be comprised of a practice range, putting green, chipping green, and a six hole, par-3 layout that can be used when the practice range is not in use. The practice range will feature a concrete strip along the rear of the tee for all-weather mats that can be used during inclement weather or when access to the grassed tee surface is restricted. The range will have target greens that double as par-3 greens. The putting surface of the large greens will be artificial, permeable turf. All disturbed areas will be grassed with a variety of Bermuda grass, typical of golf courses on the island.

The existing multi-purpose field and playground equipment will be relocated to accommodate the new golf facility and pedestrian circulation and landscape will be added to enhance the pro-shop and other areas of disturbance. There is a 45" specimen Oak tree on site and the pro shop and pedestrian circulation have been sited to avoid conflict with that Oak tree.

Another feature is the addition of the 'Lighted Path to Success' that incorporates an entry trellis at the beginning of the path from the parking lot into the site as well as sign/light bollards that symbolize and identify the nine core values of The First Tee Program.

Ms. Ray stated that the pro shop has been redesigned based on the Board's previous comments. The building is a 2,300 square foot building equipped with restrooms, office space, and a golf club fitting/instruction room. The pro shop is a modular building that is being donated to First Tee of the Lowcountry.

The applicant has enhanced the design of this modular building with several features including a stucco parapet wall with a 6/12 pitch. The applicant has also added vegetated screen walls, wood screen walls with vines planted, window shutters, wood stairs, a covered entry porch, a ramp with a trellis, and landscaping on either side of the building.

Ms. Ray presented a thorough review of all of the elevations. Ms. Ray described the screen walls, the Bermuda shutters, and detailing on both long sides of the building. Ms. Ray described the addition of the stucco parapet wall and the view from the parking lot. Ms. Ray also described details of the trellis, the wood ramp and the wood stairs.

Ms. Ray stated that additional trim has been added to help break up the rear elevation. The plan shows foundation planting. The staff recommends that additional vegetative screening be provided where the parapet wall is exposed on the long left side elevation. The staff also recommends that additional vegetative screening be placed at the parapet wall to screen the view from the basketball and tennis courts.

Ms. Ray described the changes that have been made to the maintenance building. Textured wall panels replace the corrugated metal wall panel. A gable vent has been added to the side elevations. The roof pitch has been changed from 2/12 to 6/12. Additional trim has been added to break up the rear elevation.

The conceptual landscape plan utilizes common and native plant materials including a mix of evergreen and flowering trees, shrubs and ground covers. Foundation planting is proposed as well as the substantial planting that is planned at the front entrance of the building. The applicant proposes to screen the rear side of the building with 15-gallon Ligustrum. The landscape plan also includes buffering along some adjacent property.

The staff recommended that the conceptual submittal be approved as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. David McAllister, Wood + Partners, Mr. Jason Broene, Court Atkins, and Mr. Trey Griffin, Wood + Partners, presented brief comments in support of the application. The Board complimented the quality of the revised submission. The Board discussed several issues including design improvements made to the modular building, the roof pitch, and the proposed removal of trees and other vegetation. The Board agreed with the staff's recommendation for natural vegetated screening to be placed along the stucco parapet wall. The Board recommended that the applicant select plant materials that are deer-resistant.

Following final comments by the Board, Chairman Sodemann requested public comments and none were received. Chairman Sodemann then requested that a motion be made.

Mr. Strecker made a **motion** to **approve** application DRB-001731-2014 with the following conditions: (1) the applicant shall modify the stucco wall at the sloped roof front entry; (2) the applicant shall preserve as many trees on site as possible. Mr. Witmer **seconded** the motion and the motion **passed** with a vote of 6-0-0.

**9. Unfinished Business**

None

**10. New Business**

*(Mrs. Theodore and Mr. Witmer recused themselves from review of the following application due to their professional conflicts of interest. A Conflict of Interest Form was completed and signed by both Mrs. Theodore and Mr. Witmer and attached to the record.)*

**A. New Development - Conceptual**

1) Shelter Cove Apartments DRB-000719-2014

Ms. Ray introduced the application and stated its location, 40 Shelter Cove Lane. This project includes two multi-family residential sites on either side of the new Shelter Cove Community Park and the Shelter Cove Towne Centre development.

Ms. Ray presented an in-depth overhead review of the application including the site analysis, an aerial photo of the site taken before construction and photos of neighboring properties showing the architectural style found within Shelter Cove. The size of the structure is similar to other residential structures within Shelter Cove.

Ms. Ray reviewed the survey showing the west site between the Newport Community, Shelter Cove Lane, the marshes of Broad Creek, and the new Shelter Cove Community Park. The east site shows the location of the existing Shelter Cove Park and is between the lagoon and the Veteran's Park. It is accessed from Shelter Cove Lane and has frontage on Broad Creek.

Ms. Ray reviewed the site analysis from the west site which has changed slightly since the submittal. Changes include the trees that are to remain on site. Pedestrian access to the park is provided along Shelter Cove Lane, Newport Drive and the edge of the marsh. The east site is the location of the existing Shelter Cove Park and is between the Lagoon and the Veteran's Park.

The east site analysis shows two specimen trees along the marsh edge as well as two trees that are scheduled to remain near the lagoon close to the Veteran's Park. Access is from Shelter Cove Lane with on street parking proposed. They are adjacent to the lagoon on either side with the marsh to the rear. There are pedestrian connections as well to both parks and along Shelter Cove Lane. The concept plan shows the project relative to the overall Shelter Cove Towne Centre development.

The east site will provide 210 luxury flats with a five story wrapped parking deck. One, two and three-bedroom units will have a mix of open and screened balconies in a configuration that takes advantage of the marsh views. The leasing office is situated in a two story building on Shelter Cove Lane. This structure will feel like a luxury coastal cottage welcoming you to the property and will transition visually from Shelter Cove Lane to the two-story building to the five story residential building. It will also help shield the parking deck from view.

The west site will comprise 30 luxury townhome style apartments grouped into buildings of six units, with private garage off-street parking spaces for each unit. These are two story buildings with large screen porches and expansive views of the marsh. These buildings will be similar in material and style to the east site but in a much smaller scale.

There is a focus on landscape design that makes the property an inviting destination. The public path wraps behind the buildings and follows the banks of the marsh and ties into the Shelter Cove Community Park from each direction. The pedestrian experience along this path will feature the visual interest of low lying plantings, shade trees, gardens, ponds, marsh and will pass by the private pools. The density has been approved already per the development agreement; however, the site is very tight especially on the east site. The staff notes that consideration should be given to these pedestrian spaces as this project progresses.

Ms. Ray described the private space for the residents and public space along the marsh edge and connecting to the parks on either side of the project. Ms. Ray stated that the balance between the private space and public space will be very important in how the landscape is treated and the scale of the space relative to the scale of the five story building will warrant significant consideration as this project progresses.

The applicant has submitted their Inspiration Boards which show images that reflect the architectural concept of an upscale coastal style. It blends well with the Shelter Cove Towne Centre Development as well as within Shelter Cove and the greater Hilton Head Island character.

The east site elevation shows the view from Shelter Cove Lane including the two-story leasing office with the five story multifamily residential building with parking behind with wrapping on the sides. The corner tower elevation is the corner closest to the lagoon. The materials include brick and fiber cement siding and details include large windows, brackets, overhanging balconies - all giving the building texture and depth and helping to break up that mass and give it more of a pedestrian scale. Detail is focused at eye level to help bring the building scale down and provide the tower feature to make reference to nautical features found around the island.

Ms. Ray stated that portions of the parking deck are exposed but they are adorned with shutters and paint to help disguise their function. Metal roofs, dormers, brick pavers, and drive under features keep the building warm and inviting and decrease the attention called to a parking deck.

Ms. Ray described the west elevation which shows the view of the park that goes across the lagoon. The renderings show all of that detail as well as a variety of materials. The west site elevation shows the two story buildings with large porches and a similar material and style as the east site. It is a smaller scale that compliments the adjacent Newport Community.

The Shelter Cove Harbour Company ARB has reviewed and approved the conceptual submittal. The staff recommends approval of the conceptual submittal with consideration for large scale plant material to balance the mass of it as well as consideration for protecting the public space and making the transition for pedestrians between private and public space.

Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Ms. Ellen Garland, architect, presented brief comments in support of the application. The Board complimented the quality of the conceptual submission. The applicant has done a good job at breaking up the mass of the buildings and is headed in a positive direction.

The Board discussed several issues including the massing of the buildings on the east site and parking arrangements on Shelter Cove Lane. Special consideration should be given to the street intersection at the east site. The existing plantings and mature trees should be maintained to the extent possible. The new plantings should be mature to help shield the building.

The Board recommended that consideration be given to the pedestrian promenade at the back side of the east side building. It should be as pedestrian friendly as possible. The Board presented comments regarding the architectural features of the older existing buildings in the area. The applicant might consider the introduction of stucco as a way of blending the buildings with the existing.

The Board also discussed the garage courtyards and the amount of hard paving. The applicant should consider incorporating additional landscaping in this area. The Board recommended that additional consideration be given to the west side elevation due to the amount of pavement. Extensive landscaping is recommended.

The Board discussed details of the five-story parking deck. The first two to three floors of the parking deck will be shielded by the leasing office. The fourth and fifth floors will have limited visibility. The Board inquired about covering the parking deck and the applicant stated that they are considering this possibility. The Board recommended that the applicant limit the visual impact of the parking deck as much as possible and stated that something beyond the row of Bermuda shutters may be needed.

The Board discussed the diagonal bracketing. Use of the octagonal structures should be either eliminated or reduced.

The Board agreed with staff's comments regarding the need for strong consideration to be given to private vs. public spaces. The Board stated that lighting will be a concern as the plan progresses. Subdued lighting is recommended. The Board also recommended that the colors be subdued and nature blending. The Board also presented comments regarding the brick, siding, and railing. The Board stated that they like the corner tower and the leasing office including the wings and the gables.

Following this discussion, Chairman Sodemann requested public comments on the application and the following were received: Mr. Aubrey Vaughn, Newport resident, presented comments regarding the specimen trees on site and urged the Board to protect as many of the trees as possible.

Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Strecker made a **motion to approve** application DRB-000719-2014 with the following conditions: (1) special consideration shall be given to public vs. private spaces; (2) special consideration shall be given to the street intersection at the east site; (3) modifications shall be made to the parking garage elevation on the east site; (4) special consideration shall be given to the west elevation of the east site building; (5) consideration shall be given to introducing stucco into the buildings; (6) the existing plantings and mature trees shall be maintained to the extent possible; (7) new plantings being incorporated shall be more mature; and (8) special consideration shall be given to

the pedestrian promenade at the back side of the east site building. Vice Chairman Gartner **seconded** the motion and the motion **passed** with a vote of 5-0-0.

*(Mrs. Theodore recused herself from review of the following application due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record.)*

2) Adventure Inn Redevelopment DRB-002162-2014

Ms. Ray introduced the application and stated its location, 41 South Forest Beach Drive. The applicant proposes to redevelop the old Adventure Inn site as a new resort facility.

Ms. Ray presented an in-depth overhead review of the application including the site plan and aerial photo. Ocean Dune Villas is located to the west of this project and Hilton Head Beach Villas is located to the east. The site surrounds the Carolina Beach Club condos.

The original building was demolished in 2008 and the existing property includes parking, a pool, and a series of outdoor decks. Photos show the existing site conditions as well as the neighboring architectural styles. The survey shows the parcel across South Forest Beach that currently includes some tennis courts and parking. The larger parcel includes parking close to South Forest Beach, the Carolina Beach Club condos, and the Ocean Dunes Villas. Ms. Ray identified the location of the existing pool.

The site analysis indicates the shared access on South Forest Beach. There are some specimen trees as well as some large trees shown on the site. There are also several open lawn spaces and dramatic views to the ocean.

Vacation Time of Hilton Head Island is looking to redevelop this property into a signature designation resort. The proposed buildings will consist of two six-level residential structures over screened parking that will be connected to on-site amenities and landscaping by colonnade trellises and walkways overlooking a central courtyard feature focusing on the preserved specimen Oak tree on site.

Additional buildings include a 5,000 square foot two story administration building as well as a 3,000 square foot pool, bar and grill with associated dining terrace, restroom, showers, and other support site amenities. There is a central terrace with raised planters, two main pools, and a series of wood decks and boardwalks overlooking the ocean and providing access to the beach. A new pool is proposed for the exclusive use of the Ocean Dunes Villas that will be constructed on a portion of the Adventure Inn site located between the beach and the Ocean Dunes tract.

A minimum of 184 parking spaces including 25 replacement spaces for the Carolina Beach Club along with approximately 70 bicycle parking spaces are shown on the plan. Parking for the new facility will be distributed under the two residential structures each hosting six floors of units over ground level parking as well as surface parking to the north along South Forest Beach Drive and to the east adjacent to the new administration registration building and next to the location of the possible new elevator for Carolina Beach Club and a new entry lobby.

The buildings are configured on the site to preserve the central green space and amenity area and focus on the preserved Oak trees and other existing trees in the center of the site. The applicant has taken care to preserve these feature trees and landscaping along the right of way on South Forest Beach as well and providing additional landscape

islands in front of the structures facing South Forest Beach Drive to provide the arrival experience. The theme of the landscape concept is layered color and tropical resort feel. Several of the plants are either native or commonly used on the island. Ornamental grasses, palms, and canopy trees are included in the landscape plan.

The applicant has provided an Image Board that shows the small, quiet pool concept. The feature pool concept is much larger and includes a splash water feature and palm plantings throughout. Site features include permeable paving, trellis swings, a spa and a fire pit.

The architectural features include trellises, awnings, and roof brackets supporting extended roof overhangs. These features are shown on the elevations and rendered in material such as oyster tone brick, masonry, stucco and board and batten. The features maintain the context of neutral tone colors prevalent to the island and seek inspiration from cultural influences such as sweet grass, oyster tabby, and other indigenous practices and materials. Ms. Ray presented a thorough review of all of the elevations and presented statements regarding the phasing plans.

Ms. Ray described the screening of the ground level parking. Some of the parking is screened with landscape materials and some is showing a metal screen. The applicant should provide additional detail on the metal screen for the Board to evaluate to determine if this element is in keeping with island character or not. An alternate material may be required for screening. The applicant has provided some good perspectives to give the Board a feel for how the buildings all come together.

Ms. Ray stated that this site had buildings of a similar size and scale located on it previously. The staff believes that the materials, colors, and detailing provided on these plans helps reduce the scale and mass of the proposed buildings.

The staff recommends that large scale plant material be provided to the project as the plans progress, especially to screen the first floor parking, the views from South Forest Beach, and the neighboring development. Sensitivity should be given by the applicant to lighting for compliance with sea turtle preservation requirements. The staff recommended approval of the conceptual application as submitted. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Trey Griffin, Wood + Partners, and Mark Timbes presented brief statements in support of the application. The Board complimented the quality of the conceptual submission. The applicant discussed the open area in the center, the pool, pavilion, fire pit, and views of the beach. The Board agreed with the staff's recommendation to shield the view of the parking from the building. The Board complimented the colors and the materials and discussed the proposed timeline for the construction of Phase I and Phase II.

The Board requested additional details regarding the backside of the administration building and the screening of the first floor parking including details regarding the proposed wire mesh screen. Lighting details will be important to the Board. The Board presented statements in concern of parking.

The Board stated that they like the Bermuda shutters and the pavilion. Mature plantings will be important to reduce the massing of the building. The applicant should maintain the buffer between the road and the buildings as much as possible. The applicant should look at the scale of the pavilion building. The Board complimented the administration building. The front and drop off area should be given the same attention to be as

inviting as possible.

The Board stated that the landscape courtyard could be made a little larger. The Board stated that the Carolina Building seems a little lost. The Board also stated their concern with the location of the stairs due to its impact on ocean views.

The Board stated that the colors for this project should not be too light. A darker color is recommended. The applicant should provide more contrast between the base and the upper or middle portion of the building to help break down the scale of the building. The applicant should consider shifting the east wing of the Phase II building towards the ocean, or otherwise increasing the vegetative buffer between the building and the parking.

Following final comments by the Board, Chairman Sodemann requested public comments on the application and none were received. Chairman Sodemann then requested that a motion be made.

Mr. Strecker made a **motion to approve** application DRB-002162-2014 with the following conditions: (1) consider the use of large scale plant material to balance the scale and the mass of the building; (2) consider shifting the east wing of the Phase II building towards the ocean, or otherwise increasing the vegetative buffer between the building and the parking; (3) avoid the white accent colors from being too white, tone them down to a darker color; (4) provide more contrast between the base and the upper or middle portion of the building to help break down the scale; (5) consider the shade of colors to avoid them coming across as too cool. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 6-0-0.

*(Mrs. Theodore recused herself from review of the following application due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record.)*

3) Pineland Station Redevelopment DRB-002163-2014

Ms. Ray introduced the application and stated its location, 430 William Hilton Parkway. The applicant proposes to redevelop the existing Pineland Station Shopping Center with the existing Starbucks and Stein Mart buildings remaining in their current locations while the remainder of the site will be redeveloped with new anchor buildings, tenant spaces, parking, pedestrian circulation, and landscaping.

Ms. Ray presented an in depth overhead review of the application including site photos showing the existing conditions from the main entry off of William Hilton Parkway and the parking, retail shops, the service area, and an office building at the corner of William Hilton Parkway and Mathews Drive.

Ms. Ray reviewed the site analysis. There are two existing curb cuts on William Hilton Parkway at the main entrance and at Starbuck's. There is also access off of Mathews Drive.

There are six existing buildings located on site. Some existing trees are located throughout the parking lot with a lot more trees in the rear toward the wetland area. There are a few specimen trees on the site. The proposed site plan indicates continued access from William Hilton Parkway and Mathews Drive with parking in a similar location to existing, but it has been adjusted to provide better flow as well as the focus of a primary entrance route and smaller pods of parking to break up the scale of the lot and

introduce some secondary materials. Ms. Ray presented comments regarding the proposed pavers vs. the existing 100% asphalt parking lot.

Additions to the site include a junior anchor at 13,000 square foot, a 46,500 square foot anchor store, a four-pump fuel center, and 23 additional leasable tenant spaces.

Staff comments had noted the possible need to relocate the fuel center off of direct access from William Hilton Parkway based on the comments from the pre-application conference. However, LMO interpretation has been provided allowing this site plan to remain as shown today. The service is primarily located to the rear of the mass of buildings with a few dumpsters located to serve the buildings on the front side of William Hilton Parkway.

Ms. Ray stated that screening, both architectural and landscape screening, of the service areas will be critical, especially for areas visible from Mathews Drive. The fuel center, as well as the back of house type areas, should be considered as the applicant moves into the final submittal for the project.

Ms. Ray reviewed the proposed changes to the materials including the pavers located in some of the parking areas closest to the building, as well as specialty paving in the plazas and some pedestrian spaces that will help bring this updated version to the shopping center.

Ms. Ray reviewed the conceptual landscaping plan that shows some heavier planting along William Hilton Parkway in lieu of what exists today as well as a lot of landscaping along the front of the buildings and a mix of palms and shade trees throughout the parking. Consideration should be given to the amount of hardscape and landscape, especially to the left of the anchor at buildings 110-125. Landscaping will be necessary to break up the large amount of paving and plaza spaces.

The conceptual submittal includes the main line of buildings from Stein Mart to Mathews Drive. The future buildings, located closer to William Hilton Parkway, and the fuel center will come as a future conceptual submittal.

The staff complimented the quality of the conceptual submission. The architectural concept is to revitalize the shopping center and provide an updated beach inspired aesthetic. Ms. Ray reviewed Elevations "A" (Stein Mart and the junior anchor). The entire exterior will be outfitted. Ms. Ray noted that the roof is mostly flat with some pitched roof sections. The staff recommended that the applicant consider adding some more pitched sections or more elevation changes specifically for the junior anchor.

Ms. Ray presented comments regarding the retail spaces from the Mathews Drive side which include lots of detailing and interest. The detail gets a little repetitive approaching the anchor. There is good movement both vertically and horizontally in the elevations. All of the proposed colors and materials are in keeping with the Town's Design Guide, especially with regard to the brick water table, stucco, stained wood siding, all in a palette of browns and greys. The applicant will submit the colors at the final review.

As this project moves from conceptual to final, the applicant should consider additional landscaping appropriate to the scale of this development. Screening of car bumpers, service areas, along William Hilton Parkway, as well as the high level of detail in both hardscape and landscape will be important. The staff recommended approval of the conceptual application as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Todd Theodore, Wood + Partners, and Mr. James Atkins, Court Atkins, presented statements in support of the application. The Board complimented the applicants on the improvements that are being made to this property.

The Board discussed the conceptual submittal and presented comments regarding the pervious paving to the left side of the anchor. The applicant needs to introduce as much landscaping as possible between the buildings and the parking area. The Board discussed the brick water table, the foundation, and the elevations. The Board stated that they like the differences in the roof lines and the tower feature but expressed concerns that it is too fat/squat. The Board also stated that they like the corner buildings and that they appreciate the elimination of the third curb cut.

The Board presented brief comments regarding the proposed lighting, the screening of dumpsters, parking, roof forms, and colors. The Board stated that they are looking forward to the final submission for this project.

Following final comments, Chairman Sodemann requested public comments and the following were received:

(1) Ms. Susan Murphy, Audubon Conservation Committee representative, urged the developer of this property to preserve as many trees on site as possible.

(2) Mr. Dave Desjardins, citizen, agreed with the need to preserve as many trees on the site as possible. Mr. Desjardins also presented statements in concern of traffic and safety issues.

Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Gartner made a **motion** to **approve** application DRB-002163-2014 with the following conditions: (1) attention shall be paid to landscaping in the parking areas and at the 278 street; (2) attention shall be paid to the repetitive nature of the rooflines throughout the entire building as well as the junior anchor roofline; (3) attention shall be paid to the dumpster screening at the fuel station and far left store front locations. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

## **B. Alteration/Addition**

*(Mrs. Theodore recused herself from review of the following application due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record.)*

### 1) SCTC Building 108 DRB-002151-2014

Ms. Ray introduced the application and stated its location within the Shelter Cove Towne Centre, 40 Shelter Cove Lane. Building 108 was formerly known as Building 109 when it originally appeared before the Board. It was considered a placeholder when this project was approved and was required to be resubmitted for approval when ready to develop. Ms. Ray presented background statements regarding the building's original pedestrian connection.

The original site plan included expanded pedestrian paving that connected to the plaza area on the front side of the development. The revised site plan shows this building separated from the future building to its left. The storage area was removed and

replaced with a smaller service area. Ms. Ray presented comments regarding the pedestrian access provided between the two parking lots through the ten foot sidewalk that runs adjacent to the building.

The staff is concerned that the sidewalk does not appear to have a relationship to either the plaza space on the front side or to the parking lot on the Shelter Cove Lane side. The staff recommends that this area be reconsidered and the same level of detailing, materials, and design given to this pedestrian connection as throughout Shelter Cove Towne Centre. The landscape plan was not revised as part of this submittal. Some minor modifications will be required as the sidewalk connection does not come through as it should. Landscaping should be added to the storage area in the rear at the service yard.

Ms. Ray stated that the building exterior only has minor changes. The main changes to the proposed building are color changes from “Great Green” to “Universal Khaki” and “Pacer White” trim. All of the proposed colors are used within the Shelter Cove Towne Centre. The floor plan shows the service area at the rear the building at the parking and Shelter Cove Lane. Detailing at the front is very similar to what is at Building 116 and Building 117. The building roof pitch of 7/12 has not changed.

Ms. Ray presented comments regarding the trellis detail. The right side elevation, where the pedestrian connection is located, does include some detailing. Some additional landscaping and potentially some additional detailing on this side are warranted since it is a two sided building.

The left side elevation is not that visible because of the adjacency of Building 110 beside it. The staff recommends additional detailing be added to those corners until the point that those buildings feel connected. The applicant has provided building sections for the Board’s review. Sections include bracketing and trim, detailing that is consistent throughout Towne Centre.

Ms. Ray stated that the light fixtures are consistent with the light fixtures already approved and installed at Shelter Cove Towne Center. The Shelter Cove Harbor Company ARB has approved the project as submitted.

The staff recommends approval of the application with the following conditions: (1) the site plan be revised to address the pedestrian connection; (2) the landscape plan should be revised accordingly; (3) consideration be given for additional landscaping on the rear or the Shelter Cove Lane side of the building; and (4) consideration should be given to additional detailing specifically to the rear face of the building. Following the staff’s presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Tom Parker, Lee & Parker Architects, presented statements in support of the application. The Board stated that they like today’s submission better than the original submission. The Board discussed several issues including the need for additional landscaping on the rear or the Shelter Cove Lane side of the building and the need for additional detailing specifically to the rear face of the building. Following final comments by the Board, Chairman Sodemann requested public comments on this application and none were received. Chairman Sodemann then requested that a motion be made.

Mr. Witmer made a **motion** to **approve** application DRB-002151-2014 as submitted. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 6-0-0.

*(Mrs. Theodore recused herself from review of the following application due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Mrs. Theodore and attached to the record.)*

### C. Sign

1) Grande Ocean Sales Center Sign DRB-001836-2014

Ms. Ray introduced the application and stated its location, 50 South Forest Beach Drive. The applicant proposes to install a sign for the approved Marriott Vacation Club Sales Gallery that was approved by the DRB earlier this summer.

Ms. Ray presented an in-depth overhead review of the application including a brief reminder of the building elevations. The application utilizes the buildings materials and colors in their sign. The sign elevation indicates stucco columns with a red cedar tongue and groove sign face and wood trellis. The trademark symbol indicating the Marriott Grande Ocean should be changed to match the same color as the background/sign face.

The logo is indicated to be a full-color dimensional logo in gold laser cut acrylic. The "Sales Gallery" font is 6" height and 1" thick aluminum in a dark bronze. The address is laser cut acrylic in dark bronze. For consistency sake, staff recommends that the same material be used on the logo and the title or the title and the address, but not to flip flop. The colors are to match the building. The sign face is "Portico" which is consistent with the building siding. The trellis and trim match the trellis features of Grande Ocean.

The site plan has already been approved by the DRB earlier this year. The site plan shows the location of the sign at the entrance from South Forest Beach. Ms. Ray presented the proposed light fixture for the sign. The other uplights on the site are specified to be bronze and the staff recommends that this light match. The landscape plan does not show the light. When the sign permit application is submitted, this landscape plan needs to be updated to show the actual location of the fixture. The landscaping around the sign is lirioppe and annuals. The staff recommends that the location of the fixture be placed in such a way that the landscaping is tall enough to screen the backside of the fixture.

Ms. Ray stated that the Forest Beach Owners Association ARB has reviewed and approved the sign application. The staff recommends approval of the sign with the following conditions: (1) the trademark symbol should be the same color as the background color; (2) a consistent material should be used for the logo and the name or the name and the address; (3) the light fixture should have the bronze finish; and (4) the landscape plan should be adjusted if necessary to make sure that the light fixture is shielded.

Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation. Mr. Todd Theodore, Wood+Partners, presented brief comments in support of the application.

Following the applicant's presentation, Chairman Sodemann requested public comments and none were received. Chairman Sodemann then requested that a motion be made.

Mr. Gartner made a **motion** to **approve** application DRB-001836-2014 with the following conditions: (1) the colors and the materials shall be consistent with the approved building; (2) the landscape plan shall be changed if necessary to accommodate the new sign; (3) the thickness and dimensional logo and address numbers shall be specified and in the same vein as the sales gallery to the address; (4) the lighting shall be

bronze to match approved site lighting. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 6-0-0.

**11. Appearance by Citizens**

None

**12. Adjournment**

The meeting was adjourned at 4:15p.m.

Submitted By:

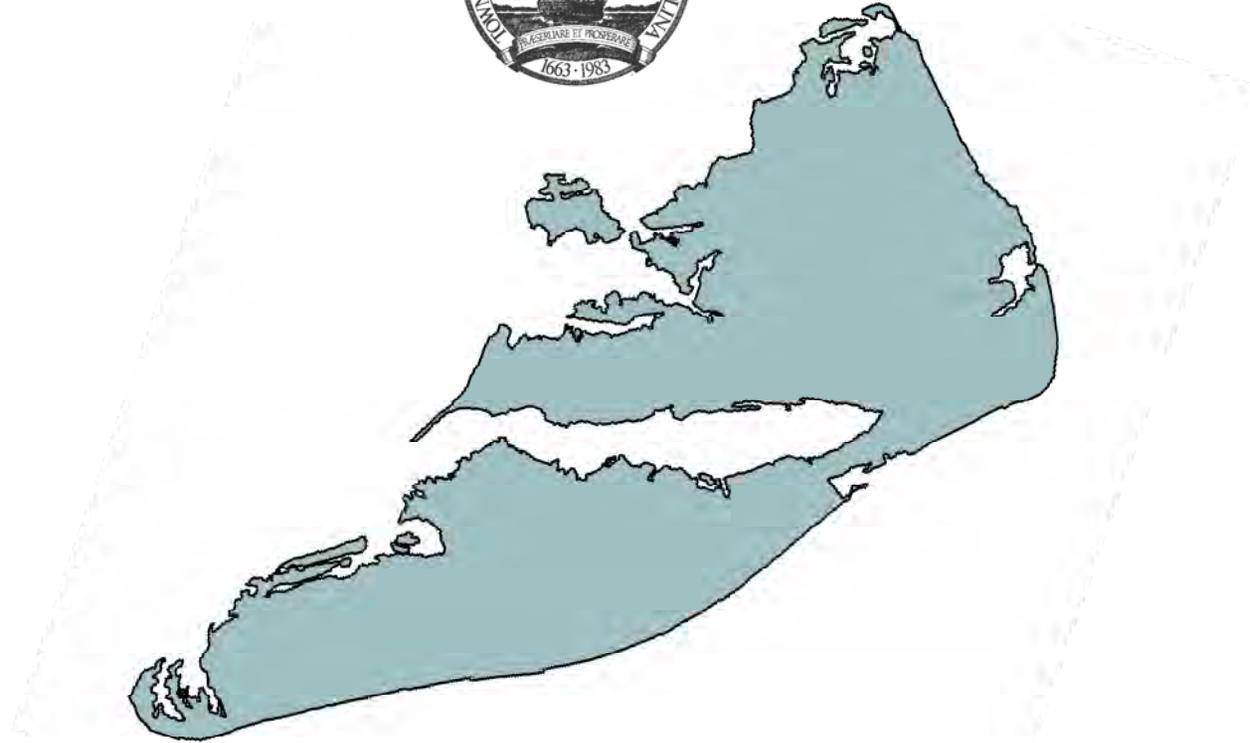
Approved By:

\_\_\_\_\_  
Kathleen Carlin  
Administrative Assistant

\_\_\_\_\_  
Scott Sodemann  
Chairman

DRAFT

# HILTON HEAD ISLAND DESIGN GUIDE



## ISLAND CHARACTER VISION STATEMENT

DEVELOPMENT SHALL EXHIBIT A HARMONIOUS RELATIONSHIP  
WITH THE NATURAL ENVIRONMENT BY BLENDING  
THE PRINCIPLES OF SENSITIVE SITE PLANNING,  
SKILLFUL ARCHITECTURAL DESIGN  
AND AN EMPHASIS ON LANDSCAPING THAT  
PRESERVES AND ENHANCES THE NATIVE VEGETATION.

**THE GOAL OF THIS DESIGN GUIDE  
IS TO PRESERVE THE ISLAND CHARACTER  
BY DIRECTING DEVELOPMENT TO:**

- ❖ PRESERVE SIGNIFICANT EXISTING SITE FEATURES, TREES AND VEGETATION.
- ❖ TREAT THE LANDSCAPE AS A MAJOR ELEMENT OF THE PROJECT.
- ❖ PROVIDE LANDSCAPING OF A SCOPE AND SIZE THAT IS IN PROPORTION TO THE SCALE OF THE DEVELOPMENT.
- ❖ DESIGN AND MAINTAIN LANDSCAPING IN ITS NATURAL SHAPE AND SIZE.
- ❖ DESIGN STRUCTURES APPROPRIATE FOR THEIR USE AND NEIGHBORHOOD.
- ❖ PROMOTE PEDESTRIAN SCALE AND CIRCULATION.

- ❖ DEMONSTRATE THE FUNDAMENTAL PRINCIPLES OF GOOD ARCHITECTURAL DESIGN.
- ❖ DESIGN STRUCTURES WITH SUBTLE VISUAL IMPACT AND UTILIZE NATURAL MATERIALS, TEXTURES AND COLORS.
- ❖ PROVIDE LIGHTING THAT IS ADEQUATE FOR SAFETY AND ENHANCES THE SITE.
- ❖ COORDINATE AND HARMONIZE THE DESIGN OF STRUCTURES, PARKING, AND SITE AMENITIES.
- ❖ PROVIDE CONTINUITY OF DESIGN ON ALL FACADES OF THE BUILDING.
- ❖ CONCEAL VISUALLY UNDESIRABLE UTILITIES AND EQUIPMENT.



## INTRODUCTION

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Hilton Head Island has long been recognized as an attractive place to live and visit. But what gives it its aesthetic appeal? Modern day development on the Island established a certain “look” based on our cultural and environmental heritage. The early developers, architects, landscape architects and planners recognized the importance of good design that was sensitive to the island’s history and natural environment. This theme evolved into what we today call Island Character.

Island Character is not a style of architecture. It can not be defined in simple terms or achieved by following a certain set of strict design requirements. Island Character is as much a process as it is an end product. It is also a philosophy about design; a philosophy that puts an emphasis on thorough consideration of all elements of a project.

This guide is meant to provide owners, developers and design professionals with an awareness of the major factors involved in order for projects to achieve an Island Character. Rather than an attempt to stifle good design it is meant to inspire the highest quality design. Its usefulness will depend on the extent that owners, developers and designers understand this concept and put forth the extra effort required to achieve Island Character.

# SITE DESIGN

A critical first step in achieving Island Character is a complete analysis of the site conditions. It is this information that will be the basis for determining how to design a project so that the result will compliment, not detract from, its surroundings. Frank Lloyd Wright instructed us to

*“build your house so that you may still look upon all that charmed you and lose nothing of what you saw before the house was built, but see more.”*

For a project to achieve Island Character a site analysis must be used to identify features and constraints to be considered in order to lose nothing but see more. At a minimum a site analysis must identify topography, existing vegetation, significant trees, setbacks, buffers, street orientation, access points, and possibly wetlands and view opportunities. Once identified these items shall form the basis for the site design. They will determine the optimum

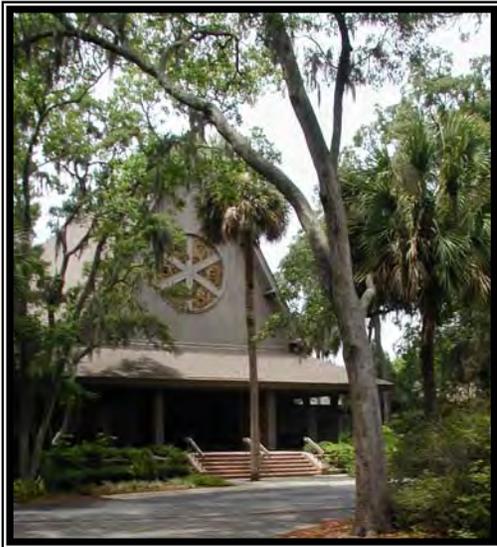
orientation of structures as well as the location of parking, storm water retention areas and other elements to be placed on the site. A good site design can not ignore

findings of the site analysis simply to satisfy the requirements of the development. This fact is the basis for achieving Island Character.



## Topography

While the island generally has little variation in topography it is important to identify the existing conditions in terms of drainage and flood elevation requirements. In consideration of the latter, innovative methods such as flood proofing and terracing should be utilized to reduce the effect of elevation requirements. Continuity of the pedestrian circulation between sites should also be maintained where appropriate. Where unique topographic variation does exist it should be identified in order to preserve it.

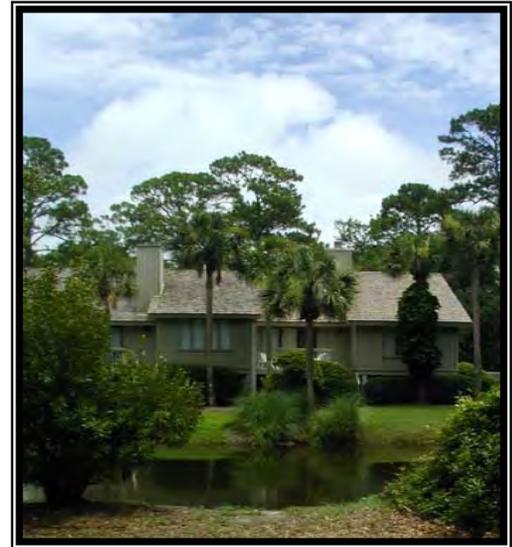


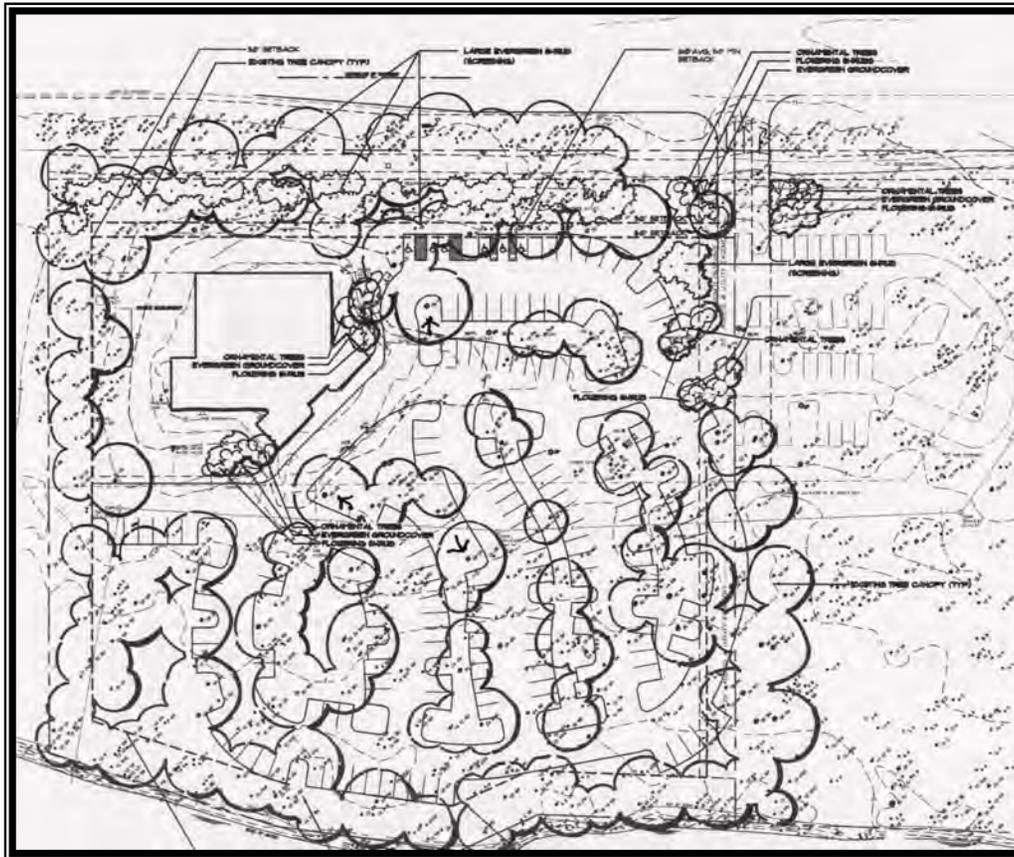
## Existing Vegetation & Significant Trees

Two of the most important site features that need to be identified are existing vegetation and significant trees. These are extremely important elements to be addressed in the placement of structures and other site features. In some cases the location of a specimen tree will be the dominant determining factor in the site design as well as the architecture of the structures. Existing vegetation that can be preserved, especially in buffers, adds significantly to the project's Island Character as well as reducing the cost of new landscaping.

## Setbacks & Buffers

Adjacent use and street setback lines are specified in LMO Chapter 5, Article VII. Buffers must be identified as required in LMO Chapter 5, Article VIII in order to establish the extent of site features such as parking spaces and storm water retention areas. (See the section for buffers in the landscape section.) These are not "build to" lines but simply define the area in which structures and other development are allowed. Projects that fill the buildable area with structures and paving will have a very difficult time in achieving Island Character.





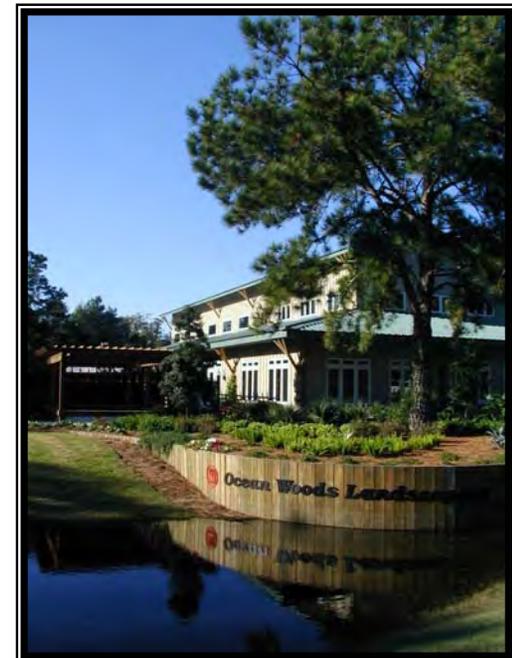
## Parking

Parking lot layout requirements are located in LMO Section 16-5-1206. Projects which require a large number of parking spaces should consider breaking the lot into several smaller areas separated by landscaped open space, other site features or structures. Where appropriate,

avoid large areas with rigid layouts but use staggered or meandering designs. This will help save trees, slow down vehicles and create site interest. When parking below buildings, provide adequate architectural and landscape screening to prevent a parking garage look.

## Storm Water Retention

While function is important in the design and location of these areas, aesthetic considerations must also be addressed. Whether dry or wet the shape and appearance should look natural and not detract from the overall site design. Consider planting native wetland vegetation where appropriate to filter runoff and provide visual interest.



## THE LANDSCAPE

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The landscape (the site's existing and new vegetation) plays an essential role in creating the Island Character. Its design and maintenance must therefore be given prominent attention starting at the conceptual phase of a project. Great care should be taken to preserve a variety of existing native trees and shrubs. Landscaping (planting of new vegetation) is to be used to supplement this existing vegetation and provide for a harmonious setting for the site's structures, parking areas or other construction. The landscape will contain three basic elements:

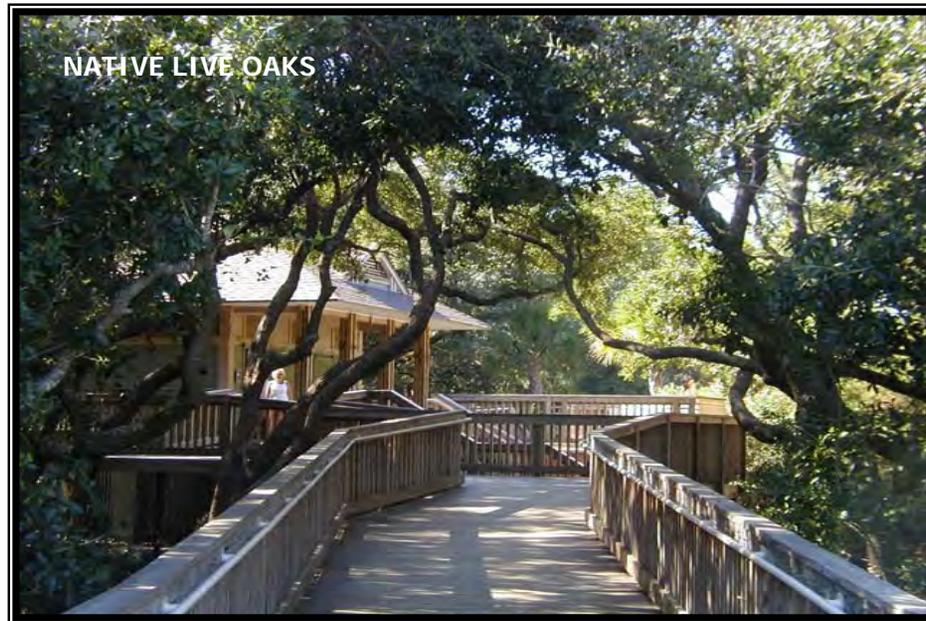


## Trees

Tree removal and replacement requirements are established in Article IV of Chapter 6 of the Town's LMO. While these minimum requirements must be adhered to, there are additional aesthetic considerations that must also be implemented when a tree removal or landscape plan is submitted. These include:

- preserving smaller under-story trees;
- requiring larger size replacement trees or additional trees depending on the size or number of existing trees or relationship to building mass and height;
- selection of particular species of replacement trees within a required category for screening or visual effect.

Top priority for the location of existing trees and new trees are street buffers, parking lots and between parking lots and the building. This is a major component of Island Character.



## Shrubs

Shrubs must be selected to compliment the natural setting, provide visual interest and screen less desirable elements of the project. The species used must take into consideration the site's growing conditions, existing vegetation types, and in some instances deer tolerance. While a variety of species is desirable for texture and color, emphasis must be given to overall order and continuity of the landscape plan. Seasonal availability and planting time period also need to be considered.

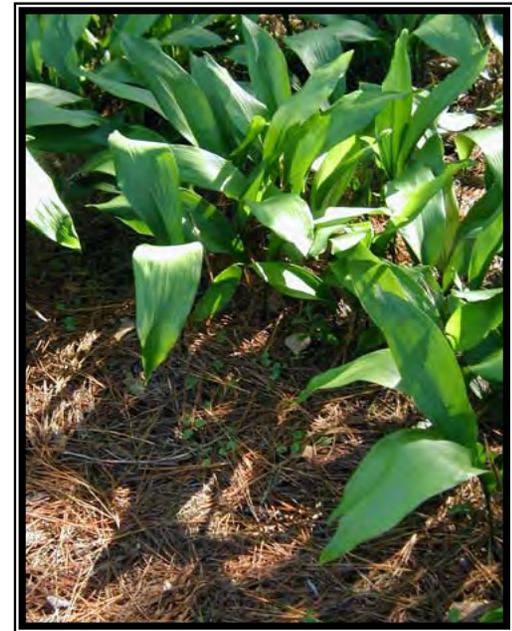


In general, native plants or plants that have historically been prevalent on the Island should be utilized. The number of plants will be determined by the scope of the project and the function of the landscaping. A variety of sizes is desirable to create a "layered" appearance for visual interest and a sense of depth. Placement of shrubs must also take into account the location of existing mature trees so as not to damage tree roots. Proper spacing and location are required to allow for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning.



## Groundcovers

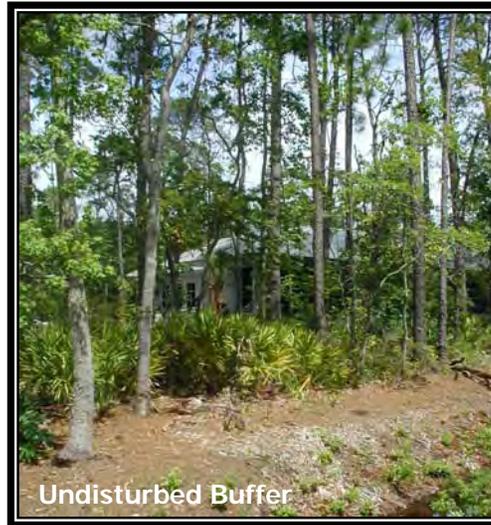
Groundcover plants should generally be a limited part of the landscape plan. When used, evergreen species with low maintenance needs are to be selected. Large grassed lawn areas encompassing a major portion of the site are to be avoided. Grass is appropriate as borders or around entrances and other focal points. Pine straw or other mulch should be used to stabilize areas and control weed growth.



## Buffers

The most important component of buffers is the vegetation they contain. Buffers can be classified into three basic types:

- **Undisturbed Buffers.** A buffer where all of the existing vegetation is neither removed nor pruned.
- **Natural Buffers.** A buffer where some existing vegetation is removed or pruned. Some additional plant materials may be added to natural buffers to enhance their appearance. Any additional plantings should be native species or species common to the Island and complimentary to the existing vegetation. Their placement should be designed so that they appear as if they were a part of the existing vegetation.
- **Landscaped Buffers.** A buffer where most of the vegetation has been planted. Planting may be more formal and may be shaped by more extensive pruning.



The buffer type most appropriate for Island Character is the natural buffer. Any of the three types however may be appropriate for the Island Character depending on the situation. Undisturbed buffers are appropriate next to undeveloped land, along wetland boundaries or for wildlife habitat. Landscaped buffers are more suited to limited areas such as around freestanding signs or driveway entrances and along more urban street frontages.

In determining the most appropriate buffer for a project the designer should take into account the adjacent development so as not to depart too dramatically from the neighborhood. It may be necessary to transition the buffer design in order to blend with an adjacent buffer or to vary the buffer type for site design reasons.

In some cases the LMO requires “structural elements” as part of a buffer. Typically this is a fence or screen of some type. When used these must be designed to complement the architectural design of the building(s) by the use of similar materials and detailing. They must be carefully located to avoid existing tree roots. Long straight expanses are not appropriate and the layout of the structural element should be varied for visual interest.



**Wetland Buffer**



**Adjacent Use Buffer**



**Structural Buffer Element**



*"THE ARCHITECTURAL  
DESIGN AND CONSTRUCTION PHILOSOPHY...  
IS THAT BUILDINGS SHOULD BE UNOBTRUSIVE IN FORM AND COLOR  
IN ORDER TO COMPLIMENT THEIR NATURAL SETTING.  
THE MAIN CONCERN IS THAT THE TOTAL COMMUNITY BE HOMOGENEOUS  
IN FEELING IN A PARK-LIKE SETTING  
AND FREE FROM THE DISCORDANT ARCHITECTURAL SHAPES AND COLORS  
WHICH VIE FOR ATTENTION AND ATTEMPT TO CREATE GREATER VISUAL IMPACT  
THAN A NEIGHBOR'S."*

*CHARLES FRASER*

## **ARCHITECTURE**

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To achieve Island Character the architectural design of structures shall be visually harmonious with the overall natural appearance, history and cultural heritage of Hilton Head Island. Structures must be designed to be unobtrusive and set into the natural environment. They should demonstrate a strong relationship to the outside and avoid appearing foreign to the site. The use or function of a structure will also be a determining factor in its design but need not sacrifice the

intent of Island Character. A light industrial building can exhibit good Island Character as well as an office or multifamily project.

The context of the structure must also be taken into account and consideration shall be given to compatibility with other development in the area. Distinctive vernacular styles like Georgian or Mediterranean are to be avoided except where already established in defined neighborhoods such as Shelter

Cove or Main Street. "Franchise" or "theme" architecture is not appropriate for the Island. In addition, all sides of a structure should be given the same design consideration as the entrance or street façade.

More specifically, structures shall demonstrate the general principles of good design including but not limited to those dealing with form, mass, scale, materials, detail and colors.

**Form.** The form or shape of structures should usually avoid monotonous unbroken planes or unrelieved repetition of shape. Visual interest and shadow play can be created by several techniques including the use of offsetting planes with a variety of depths. Roof form is also a key element to achieve Island Character. Typically gable, hip or shed roof forms are desirable with a minimum pitch of 6/12. In larger structures a variety of forms can provide greater visual interest and break up large roof planes. Flat roof designs should generally not be used unless concealed within another roof or other architectural element. Overhangs of sufficient depth and in proportion to the façade height can also be important to roof form and for shadow play.



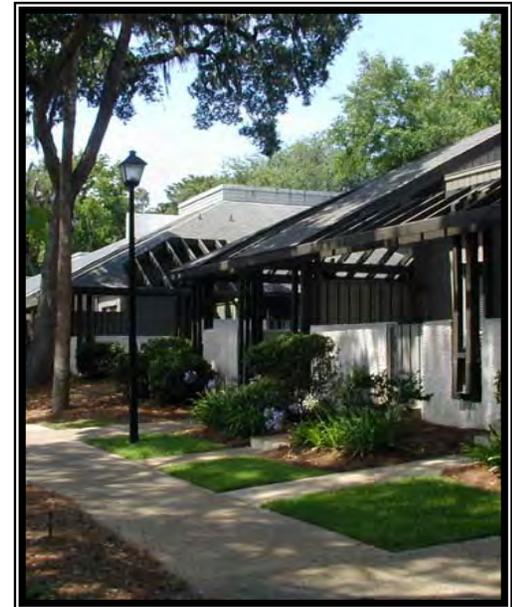
**Mass.** The structure shall not be of such mass that it dominates its surroundings or adjacent development. Architectural form and detailing must be used to reduce the appearance of the mass of the structure. While height limits are established in Chapter 5 of the LMO, upper areas of taller structures should be designed to minimize their visual appearance. Larger structures will require a greater degree of sensitivity to site location and inclusion of larger forms of landscaping.



**Scale.** The proportions of a structure shall be such that a sense of human scale is established. That is, the size of architectural elements should not be overpowering and should relate to pedestrian circulation. Nor should they create a sense of confinement or confusion. A horizontal emphasis and limited vertical treatment can be used to control scale. Architectural elements such as trellises, canopies, terraces or porches at grade level are also important to consider in achieving human scale.

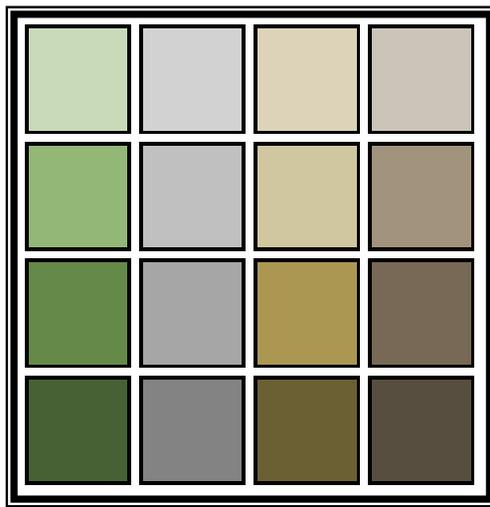
**Materials.** Generally materials common to the area or historically present should be selected. A variety of compatible contrasting textures should be used to provide visual interest. Single material façades are usually not appropriate. Materials should be arranged in logical fashion (lighter above heavier) and in relationship to other materials in terms of percentage (not equal or dominating.) Reflective materials other than glass must be avoided. The use of wood or wood simulating materials is strongly encouraged.

**Detail.** Architectural details must be given adequate consideration. Clean, simple, appropriate details are desirable while excessive ornamentation is to be avoided. Details should be consistent with the design concept for the entire structure. Their purpose should be to provide visual interest, scale or architectural expression. Elements such as shutters or dormers should be functional so as not to appear as false features. Window openings must be in proportion to the façade or façade element and have a unified relationship in overall design.



**Color: Context:** The overall exterior color scheme must be selected to be harmonious with the neighborhood and blend with the natural surroundings of the site. Earth tones must be chosen as the predominate colors. Colors shall not be used to cause the structure to stand out from others or its background. Consideration must be given to the compatibility of colors with those existing in the vicinity. The size of the structure and the amount of shading it will receive are also a factor in selection of colors.

**EXAMPLE:** Colors that may be approved on sites with good tree coverage providing adequate shading may not be approved on a site in bright sun.



**EARTH TONES**

**Color: Hue:** Any accent colors shall be of analogous tints, shades or tones that are low in intensity or brightness. Primary, secondary and highly saturated, bright tertiary colors should be avoided. Accent colors may only be approved for very limited use where appropriate to highlight a feature of the design or provide visual interest. The number of such colors shall be limited to no more than two and must be compatible within the overall color scheme.

**EXAMPLE:** A small area of brighter color may be appropriate to emphasize an architectural detail but would not be approved for a larger area.

**Color: Contrast:** Exterior color schemes must avoid placing together colors with values that are highly contrasting. Subtle levels of contrast are desirable to emphasize architectural elements or to provide visual interest. The use of black, white or off-white may be approved only for very limited use where a high level of contrast is warranted.

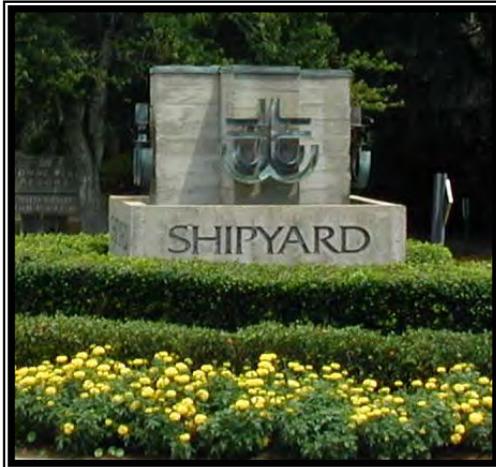
**EXAMPLE:** On a two-story structure a slightly darker wall color on the bottom story may help reduce the visual height of the building.

**VARIATIONS OF HUE**



# ACCESSORY CONSTRUCTION

Thought must also be given to the design and placement of other elements that may be part of a project with the aim being to achieve overall coordination. These may include signs, awnings, sculpture & fountains, lighting and utilities and equipment.



**Signs.** Signs are an important element to most commercial buildings and developments. Too often no allowance is made in the design of projects for the placement of such signs. Many of the principles for good design of structures also apply to signs. Sign design does not begin with a blank sheet of paper. The materials, details and colors of the building are all starting points for the sign design. In other words, signs should reflect the design of the project they are intended to identify.

The size and number of signs will be determined by LMO Chapter 5, Article XIII. Signs should serve to identify the business or development and not act as advertisements. Tenant signs should be uniform in design and placed on the façade of the



tenant space. Lighting, if used, must be completely shielded from streets and pathways. Bright colors and reflective surfaces should be avoided or very limited in size.

Freestanding or monument signs should be placed in logical locations near the project's entrance drive. They should provide strong visual interest, three dimensional design and high quality, durable construction. Vinyl copy on painted plywood supported by 4X4 wood posts does not demonstrate Island Character. Adequate landscaping must be provided to blend the sign into the site. For façade signs adequate wall space must be provided in a location that will allow the sign to function properly while also appear as if it "belongs" with the building.



**Awnings.** Fabric awnings may be appropriate if integral to the architectural design of the structure and not a dominant feature. If used they should have substantial structural support and not just metal pipes. Only high quality fade-resistant fabric may be used and periodic replacement must be ensured. Color and pattern choices are critical in designing a successful awning. Bright colors or elaborate patterns are generally not desirable. Awnings should not be incorporated solely to provide space for sign copy.



**Sculpture & Fountains.**

Projects are encouraged to create interesting outdoor spaces that include appropriate items of visual interest such as sculpture or fountains. While it is not intended to limit artistic expression certain parameters are necessary. The design of such items must be in keeping with the size and scale of the project and not dominate the site. They should generally be subtle in material and color. Fountains should have natural forms that reflect their island location. In the design of sculpture, themes based on the culture and history of the Island are most appropriate.



**Lighting.** Hilton Head Island is noted for its lack of glaring excessive lights. Strict requirements for general site lighting are specified in LMO Chapter 5, Article XIV. However, other decorative type lighting is allowed if limited in scope and properly designed. The goal is to add to the visual quality of the development without detracting from the beauty of the night sky. Such lighting may include concealed low wattage landscape up lights for significant trees or shrubbery at an entryway. Low bollard type lighting can be used to illuminate walkways and drive aisles. Important architectural elements can be softly illuminated to add emphasis at night. Incandescent lamps are preferred over metal halide.



LANDSCAPE LIGHT

**Utilities & Equipment.** All utility or service lines must be underground or concealed within the structure. Exposed wires, pipes or conduits are not acceptable. Any transformers, meters, compressors or utility cabinets must be located in a non-prominent location and screened from view.

Solid waste receptacles must be located in a non-prominent location and screened from view. In most cases a fence as described elsewhere in this guide will be required.

Vending machines or other such equipment if placed on the exterior should be concealed from view of the street or parking area.



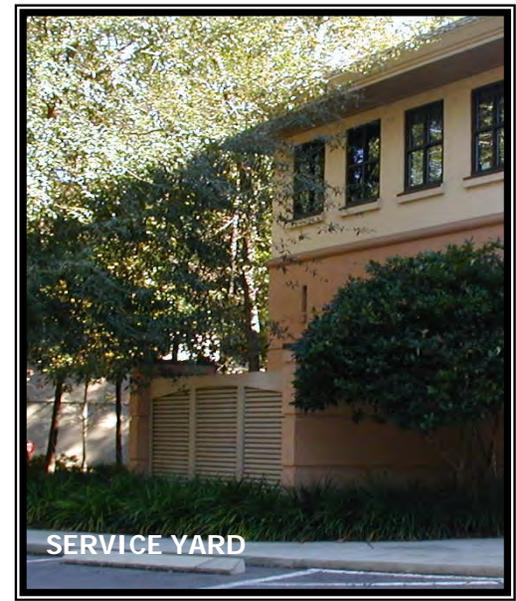
DUMPSTER ENCLOSURE



WALKWAY LIGHT



POLE LIGHT



SERVICE YARD

# NOTES:

# **ACKNOWLEDGEMENTS**

## **DESIGN REVIEW BOARD MEMBERS**

NEIL GORDON, AIA, CHAIRMAN  
J. R. RICHARDSON, VICE CHAIRMAN  
THOMAS LOOSBROCK, AIA  
LYNN MULKEY, Phd  
FLORENCE ALLBAUGH  
SUE THOMS  
STEVE CLARK  
ALEX SINEATH, FORMER CHAIRMAN

## **TOWN STAFF**

EDWIN B. DRANE, AIA, AICP

PUBLISHED BY THE TOWN OF HILTON HEAD ISLAND  
AUGUST 2003

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McCLESKEY & ASSOCIATES (PAGE 14)



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<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: GLENN DILL CAMBRIDGE BUILDING Company: CAMBRIDGE BUILDING  
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 Telephone: 843 816 0912 Fax: 843 341 2446 E-mail: dillinternet@aol.com  
 Project Name: SOUTH STATE BANK Project Address: 100 EXCHANGE ST. HILTON HEAD SC  
 Parcel Number [PIN]: R  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

**Submittal Requirements for *All* projects:**

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

**Additional Submittal Requirements:**

- Concept Approval – Proposed Development**
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  - A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
  - A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
  - Context photographs of neighboring uses and architectural styles.
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**Alterations/Additions**

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Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

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- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

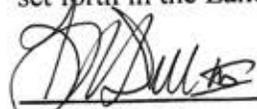
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO - No Conflicts

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

12-10-14  
DATE



### NARRATIVE

This narrative is to describe the nature of the work to be performed on 2 Palmetto Bay Road. This work is requested to begin on or about January 22, 2015.

The scope of this work is to repaint the exterior of the building. All walls would be painted in "Revere Pewter" which is not significantly different than the existing color (see the "before pictures" [exhibit 2] and "after pictures" [exhibit 3] and the color board [exhibit 1]) attached hereto.

These nature blending colors blend nicely with the other buildings in the immediate proximity. Contrast between the storefront and its glass has been mitigated by selecting a cool white (Glacier White) and is less prominent than exhibit 3 seems to indicate.

These color changes cause the building more in line with the trademark colors of the South State Bank chain of banks while maintaining a subdued, rich, visual experience.

**From:** [Glenn](#)  
**To:** [Ray Jennifer](#)  
**Cc:** [andrea@cambridgebuilding.com](mailto:andrea@cambridgebuilding.com)  
**Subject:** Fwd: 100 Exchange Street  
**Date:** Thursday, December 18, 2014 5:45:57 AM

---

Here is the POA approval from CSA for the 100 exchange street site.

Kindest Regards  
Glenn Dill  
SR PM  
Cambridge Building  
843-816-0912  
Sent from my iPhone

Begin forwarded message:

**From:** Hank Johnson [REDACTED]  
**Date:** December 17, 2014 at 1:25:10 PM EST  
**To:** Andrea Farmer [REDACTED], Glenn Dill  
[REDACTED]  
**Subject: Re: 100 Exchange Street**

Andrea and Glenn,

The request is approved to repaint the Bank as described in your December 12, 2014, letter with color attachments.

My pleasure to work with you.  
Hank

Hank Johnson  
Community Manager  
Palmetto Hall Commercial  
843.384.8607  
866.525.2501 fx

On 12/17/14 10:36 AM, "Andrea Farmer"  
[REDACTED]  
wrote:

-----Original Message-----

**From:** Andrea Farmer  
[REDACTED]

**Sent:** Friday, December 12, 2014 2:41 PM

BENJAMIN MOORE®  
COLOR PREVIEW®  
HC



BENJAMIN MOORE®  
COLOR PREVIEW®  
AC





SOUTH STATE BANK

GLACIER WHITE

REVERE PEWTER

SOUTH STATE BANK

GLACIER WHITE

EXHIBIT 3







SOUTH STATE BANK

847 46FM





S  
SOUTH  
STATE  
BANK

100 EXCHANGE STREET







## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: South State Bank – 100 Exchange Street –  
ALTERATION/ADDITION

DRB#: DRB-002295-2014

DATE: January 13, 2015

RECOMMENDATION:    Approval     Approval with Conditions     Denial

Applicant proposes to repaint the exterior of the building. All walls would be painted “HC-172 Revere Pewter” and all trim, including existing burgundy aluminum storefront, would be painted “AC-40 Glacier White”. The proposed colors are in keeping with the Design Guide and are similar to other buildings in the area.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: GENO DILL Company: 2 PALMETTO I  
 Mailing Address: 2 PALMETTO BAY City: HILTONHEAD State: SC Zip: 29938  
 Telephone: 843 816 0912 Fax: 843 341 2446 E-mail: dillinternet@aol.com  
 Project Name: SOUTH STATE BANK Project Address: 2 PALMETTO BAY RD. HILTON HEAD SC  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

\_\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

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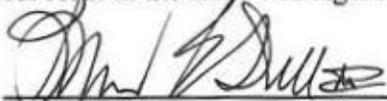
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*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO - no conflicts

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

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SIGNATURE

12-10-14

DATE



### NARRATIVE

This narrative is to describe the nature of the work to be performed on 100 Exchange Street. This work is requested to begin on or about January 22, 2015.

The scope of this work is to repaint the exterior of the building. All walls would be painted in "Revere Pewter" which is not significantly different than the existing color (see the "before pictures" [exhibit 2] and "after pictures" [exhibit 3] and the color board [exhibit 1]) attached hereto.

These nature blending colors blend nicely with the other buildings in the immediate proximity. Contrast between the storefront and its glass has been mitigated by selecting a cool white (Glacier White) and is less prominent than exhibit 3 seems to indicate.

These color changes cause the building more in line with the trademark colors of the South State Bank chain of banks while maintaining a subdued, rich, visual experience.

December 16, 2014

Cambridge Building, Inc.  
Attn: Glenn Dill  
Sent to: [dillinternet@aol.com](mailto:dillinternet@aol.com)

Re: CARB Approval for repainting of South State Bank @ 2 Palmetto Bay Road

Dear Glenn:

The Sea Pines Commercial ARB approves your plans to repaint the walls of the South State Bank building "Revere Pewter" and the trim "Glacier White".

If you have any questions please feel free to call/email.

Sincerely,



David Henderson  
Director of Special Projects  
[wildlife@csaseapines.com](mailto:wildlife@csaseapines.com)

BENJAMIN MOORE  
COLOR PREVIEW  
HC



BENJAMIN MOORE  
COLOR PREVIEW  
AC





SOUTH STATE BANK

GLACIER WHITE

REVERE PEWTER

SOUTH STATE BANK

EXHIBIT 3





**SOUTH STATE BANK**





OPEN

OPEN

New Name.  
New Home.  
Familiar Faces.  
South State

New Name.  
New Home.  
Familiar Faces.  
South State



**SOUTH STATE BANK**



**SOUTH  
STATE  
BANK**

**2 PALMETTO BAY ROAD**









## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: South State Bank – 2 Palmetto Bay Road –  
ALTERATION/ADDITION

DRB#: DRB-002296-2014

DATE: January 13, 2015

RECOMMENDATION:    Approval     Approval with Conditions     Denial

Applicant proposes to repaint the exterior of the building. All walls would be painted “HC-172 Revere Pewter” and all trim, including existing burgundy aluminum storefront, would be painted “AC-40 Glacier White”. The buildings in this area typically have darker trim and bronze aluminum storefront, but the proposed colors are in keeping with the Design Guide and consistent with what is proposed for the other branch location.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: TOM CREWIS Company: TOM CREWIS ARCHITECTS  
 Mailing Address: 2 CORPUS CHRISTI, STE. 101 City: HILTON HEAD State: SC Zip: 29928  
 Telephone: 843-842-6009 Fax: 843-842-3561 E-mail: TCAHHI@AOL.COM  
 Project Name: H & H AUTO BODY Project Address: 17 CARDINAL ROAD  
 Parcel Number [PIN]: R  
 Zoning District: LIGHT INDUSTRIAL Overlay District(s): CORRIDOR

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
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\_\_\_\_\_  
SIGNATURE

12/18/2014  
\_\_\_\_\_  
DATE



Tom Crews ■ Architects

**PROJECT:  
H&H AUTO BODY**

17 Cardinal Road (Lot 24)  
Hilton Head Island, SC 29926

Project Narrative:

This project will be a 1750 SF, single story, addition to an existing single story metal building located at 17 Cardinal Road that will have the same use as the existing building. The proposed addition will be on the left side to infill over an existing concrete slab, affecting the left and rear elevations. All exterior materials and colors will match existing materials to the greatest extent possible. No tree or vegetation will be disturbed, and no other existing site conditions will be altered.

**CONFIDENTIALITY NOTICE**

THIS MESSAGE IS INTENDED EXCLUSIVELY FOR THE INDIVIDUAL(S) OR ENTITY(IES) TO WHICH IT IS ADDRESSED. THIS COMMUNICATION MAY CONTAIN INFORMATION THAT IS PROPRIETARY, PRIVILEGED, CONFIDENTIAL OR OTHERWISE LEGALLY EXEMPT FROM DISCLOSURE. IF YOU ARE NOT THE NAMED ABOVE, YOU ARE NOT AUTHORIZED TO READ, PRINT, RETAIN, COPY OR DISSEMINATE THIS MESSAGE OR ANY PART OF IT. IF YOU HAVE RECEIVED THIS MESSAGE IN ERROR, PLEASE NOTIFY THE SENDER IMMEDIATELY AND DISCARD ALL COPIES OF THIS MESSAGE.

**Dale Waters [ H&H Auto Body ]**

---

**From:** Hank Johnson [REDACTED]  
**Sent:** Tuesday, October 21, 2014 5:22 PM  
**To:** [REDACTED]  
**Cc:** CMS  
**Subject:** Approval of lot 24/17 cardinal Road expansion/addition

The materials provided for the expansion of the 70'x25' structure is approved by the PHPOA-ARB at the Fall meeting today. Please proceed with the building contractor to apply to the Town to obtain a permit.

**Hank Johnson**  
**Community Manager**  
**PO Box 5874**  
**Hilton Head Island, SC 29938**  
**843.384.8607 (cell)**  
**866.525.2501 (fx)**

Subj: **RE: Land Disturbance Permit-17 Cardinal Rd, Hilton Head Island, SC**  
Date: 10/10/2013 10:17:25 A.M. Eastern Daylight Time  
From: [nicoled@hiltonheadislandsc.gov](mailto:nicoled@hiltonheadislandsc.gov)  
To: [TCAHHI@aol.com](mailto:TCAHHI@aol.com)

Tom, this email is fine, just submit it with your DPR application, thanks!

Nicole Dixon, CFM  
*Senior Planner*  
Community Development Department  
Town of Hilton Head Island  
One Town Center Court  
Hilton Head Island, SC 29928  
843-341-4686  
fax 843-842-8908

---

**From:** TCAHHI@aol.com [mailto:TCAHHI@aol.com]  
**Sent:** Wednesday, October 09, 2013 5:15 PM  
**To:** Dixon Nicole  
**Subject:** Fwd: Land Disturbance Permit-17 Cardinal Rd, Hilton Head Island, SC

Nicole,

This is the response to our request at this point. Will this response suffice or do we need to apply for a formal letter as described?

We have the new As-Built Survey completed and I expect to have a hard copy tomorrow.

Thank you,

Tom

**Tom Crews Architects, inc.**  
**2 Corpus Christi, Ste 101**  
**Hilton Head Island, SC 29928**  
**843-842-6009/ofc**  
**843-842-3561/fax**

---

From: [hickss@dhec.sc.gov](mailto:hickss@dhec.sc.gov)  
To: [TCAHHI@aol.com](mailto:TCAHHI@aol.com)  
Sent: 10/9/2013 3:57:19 P.M. Eastern Daylight Time  
Subj: Re: Land Disturbance Permit-17 Cardinal Rd, Hilton Head Island, SC

Tom-

The scope of work described, converting 1750 SF of concrete slab to 1750 SF of engineered metal building, would not require a permit coverage letter for construction stormwater discharges. Appropriate best management practices need to be in place during construction activities to control and treat drainage from the construction area. If you need a formal letter from DHEC, the following form and instructions include our submittal requirements <http://www.scdhec.gov/administration/library/D-0451.pdf>. Submittal items are on the last page of the instructions. A formal letter is not required by DHEC for this type project.

Shannon Hicks, PE

Manager, Coastal Stormwater Permitting Section

SCDHEC-Bureau of Water

P: 843-953-0240 / F: 843-953-0201

[hickss@dhec.sc.gov](mailto:hickss@dhec.sc.gov)

<http://www.scdhec.gov/stormwater>

On Fri, Oct 4, 2013 at 3:05 PM, <[TCAHHI@aol.com](mailto:TCAHHI@aol.com)> wrote:  
Shannon,

Thank you for talking with me regarding this project.

Business name: H & H Auto Body

Address: 17 Cardinal Rd, Hilton Head Island, SC

The information that I have from the Site Plan (attached) indicates: District 510, Map 8, Parcel 283.

The project consists of extending an existing engineered metal building structure over an existing (original construction) concrete slab 25 ft. x 70 ft. behind the existing Office area. It is noted as "Covered Staging Area 1,750 Sq. Ft." on the site plan, however it is not presently covered. The drawing represents the area well.

All utilities are in place and no new utilities will be required. We plan no further land disturbance.

Please advise our next steps. If you need further information, I will be happy to provide it.

Sincerely,

Tom

**Tom Crews Architects, inc.**  
**2 Corpus Christi, Ste 101**  
**Hilton Head Island, SC 29928**  
**843-842-6009/ofc**  
**843-842-3561/fax**

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Diamond Transportation

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119390

243 2E2

Coca-Cola





H&H AUTO BODY



04 11 2014



04 11 2014



04 11 2014



04 11 2014

# An Addition For: - H&H Auto Body -

17 Cardinal Road (Lot 24) - Hilton Head Island - South Carolina



**Tom Crews Architects**  
2 Corpus Christi, Suite 101 Hilton Head Island, SC 29928  
843-842-6009 843-842-3561 (fax)

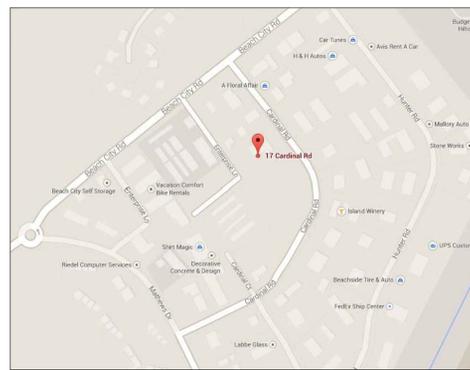
*Architecture*  
**Tom Crews Architects**  
2 Corpus Christi Pl., Ste. 101 Hilton Head Island, SC 29928  
843-842-6009

ARCHITECTURAL FIRM

ARCHITECT'S SEAL

COMPANY SEAL

## Site Map



## Abbreviations

@	At	PERP.	Perpendicular
A.F.F.	Above Finished Floor	PLYWD	Plywood
A.M.S.L.	Above Means Sea Level	PLUMB.	Plumbing
BD.	Board	PR.	Pair
BLDG.	Building	P.S.I.	Pounds Per Square Inch
C.J.	Control Joint	BLDG.	Building
C.M.U.	Concrete Masonry Unit	P.T.	Preservative Treated
COMP.	Composite	R & S	Rod & Shelf
CONC.	Concrete	RAD.	Radius
CONT.	Continuous	REINF.	Reinforcing
DIA.	Diameter	REQ.	Required
DN.	Down	SIM.	Simular
ELEC.	Electrical	SL.	Slope
ELEV.	Elevation	SPEC.	Specifications
E.I.F.S.	Exterior Insulated Finish System	SPEC.	Above Finished Floor
E.J.	Expansion Joint	SQ.	Square
E.Q.	Equal	STRUCT.	Structural
EXT.	Exterior	T & G	Tongue & Groove
F.O.W.	Face of Wall	T.B.D.	To Be Determined
FTG.	Footing	T.G.E.P.	To the Greatest Extent Possible
GALV.	Galvanized	T.O.C.	Top of Concrete
GYP.	Gypsum	T.O.P.	Top of Plate
H.	Height	T.O.S.	Top of Slab
HORZ.	Horizontal	T.O.W.	Top of Wall
INT.	Interior	TRTD	Treated
MAX.	Maximum	TYP.	Typical
MECH.	Mechanical	U.N.O.	Unless Noted Otherwise
MIN.	Minimum	VERT.	Vertical
MTL.	Metal	W.	Width
O.C.	On Center	WD.	Wood

## Project Notes

- These Construction Drawings (CD's) and related documents, as a whole, work with and reference themselves and therefore shall not be separated. Each Trade shall be issued full sets of CD's and Specifications.
- Due to inconsistencies in the printing process these Construction Drawings are not to be scaled.
- In the case that Tom Crews Architects (TCA) has not been awarded "Administration of the Contract" for this project under the form of agreement between Owner and Architect as described under AIA Document A201-1997, Article 4, "Administration of the Contract" or similar document it will be the Owners responsibility, with the General Contractors approval, to provide an "Agents Representative" to take on the responsibilities as described under AIA Document A201-1997, Article 4, "Administration of the Contract". Therefore, the Owner waives TCA of any responsibilities for providing services as described under AIA Document A201-1997, Article 4, "Administration of the Contract" or problems and/or claims and disputes that arise for not having said responsibility.
- TCA waives any and all responsibility and liability for problems which arise from the failure to follow the drawings, related documents, the use of specified products, materials and methods of construction and the design intent they convey, or from any other failures to obtain and/or follow TCA's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.
- TCA has received information that has aided in the design of this project. TCA cannot and does not guarantee the accuracy of any such information and therefore waives any and all responsibility and liability pertaining to such information. These documents were done in good faith and every attempt has been made to provide a complete and accurate representation of such conditions as it pertains under the Instruments of Service as well as drawn in accordance with all local, state and federal regulations.
- It is understood that the Contractor for this project shall comply with, and require all Subcontractors to comply with State and Town Contractors License Law, and be duly registered and licensed there under.
- It is understood that the General Contractor and all Subcontractors have read and understands all conditions pertaining to these Contract Documents, has read and understands all prevailing codes and regulations under which this project is to be constructed and implicitly agrees to all conditions stated. Further more, the information contained within these Contract Documents in no way releases the General Contractor and all Subcontractors from the responsibility of visiting the site and verifying completely all conditions relating to and affecting the scope of work as described.
- It is the responsibility of the General Contractor, prior to providing a bid or price, to review the existing conditions along with these Contract Documents to confirm that all the information provided is complete and accurate and that all work can be built as documented. If there are any discrepancies and if additional information is required to provide an accurate bid it is the General Contractors obligation and responsibility to report to TCA and to obtain clarification or be responsible for the same.
- Unless stated otherwise, it is the responsibility of the General Contractor for this project to assume full responsibility for providing all costs associated with this project including but not limited to labor and overtime costs, project fees, materials, equipment as well as assuring that all materials, fixtures, equipment and other items be installed in accordance with manufacturer's recommended specifications. All work will be done in a safe and quality workmanship like manner and meet all local, state and federal requirements.
- The General Contractor for this project is responsible for scheduling and coordinating the different trades and phases of the construction process in a systematic manner to insure safety and maximize economy of construction. Beginning of work by any trade shall constitute the acceptance and the responsibility for the work being done.
- The General Contractor for this project is responsible for scheduling and coordinating with property and/or building management and adjacent tenants and/or neighbors in order to minimize the disruption of ongoing operations. The General Contractor is to provide and maintain safety barriers to ensure the safety of employees and public as well as to provide protection, as required, to prevent any type of damage or contamination to any adjacent properties and furthermore, will be obligated to fix any damage due to negligence in the process of construction.
- The General Contractor and Subcontractors shall take all precautions not to interfere with the structural integrity of the building. Work affecting or changing any of the buildings structural components shall proceed only at the Structural Engineer's discretion in writing and stamped as required. TCA specifically will not give direction of any kind in regards to altering plumbing, mechanical or electrical components to commercial buildings.
- The General Contractor for this project is responsible for scheduling and coordinating with property and/or building management and adjacent tenants and/or neighbors in order to minimize the disruption of ongoing operations. The General Contractor is to provide and maintain safety barriers to ensure the safety of employees and public as well as to provide protection, as required, to prevent any type of damage or contamination to any adjacent properties and furthermore, will be obligated to fix any damage due to negligence in the process of construction.
- The General Contractor and Subcontractors shall take all precautions not to interfere with existing or new work done by a different trade. Any work that is required that would effect or change work, either existing or new, to plumbing, mechanical or electrical (PM&E) shall proceed only at the PM&E Engineer's discretion in writing and stamped as required. TCA specifically will not give direction of any kind in regards to altering plumbing, mechanical or electrical components to commercial buildings.
- Life safety systems may not be included with these Construction Documents. The General Contractor is responsible for identifying and locating all existing life safety systems including but, not limited to, fire sprinkler system, emergency lighting system, fire, smoke and CO2 detection systems and the location of fire extinguishers and/or coordinate for new life safety systems as described and, if applicable, connecting to existing systems. Provide shop drawings as required. The General Contractor is responsible that these systems meet any and all requirements as dictated by local, state and federal codes.
- Any discrepancies, conflicts or need for clarification that arise during the construction process shall be brought to TCA's attention by the General Contractor immediately by phone and in writing with their evaluations and recommendations with any necessary photos or field sketches sufficient to clearly describe said discrepancies or conflicts affecting construction of this project. This information shall be provided to TCA at no additional cost to the Client.
- The General Contractor shall provide for the legal removal and disposal of all rubbish and debris from the building and the site associated with the construction of this project. Completing the scope of work requires removing all construction debris from the project job site and any adjacent properties.
- The General Contractor shall maintain at the job site an up to date copy of all information pertaining to this project including but, not limited to, construction drawings, specifications, Architects Supplemental Instructions (ASI), change orders, field reports, and approved shop drawings.
- At the end of the project the General Contractor shall provide the Owner with a copy of the construction documents labelled "AS BUILT". This set of documents will show and include all significant changes made during the construction process that are not referenced in the original construction documents. This information shall include but, not be limited to, utilities located underground or concealed within the structure or utilities not referenced within the construction documents.

## Project Narrative

Adding an conditioned addition to an existing building over an existing slab.

## Development Team

Architect:  
Tom Crews SC License # 3540  
Tom Crews Architects Town of HHI License # 3028  
2 Corpus Christi, Ste. 101 Bus: 843-842-6009  
Hilton Head Island, SC 29928 Fax: 843-842-3561

## Code Summary

2012 EDITION - INTERNATIONAL BUILDING CODE (IBC)  
2011 EDITION - NATIONAL ELECTRIC CODE (NEC)  
2009 EDITION - ICC/ANSI A117.1

<b>OCCUPANCY CLASSIFICATION:</b>	"B" and "S-2" (IBC - Sections 304 and 311)
<b>TYPE OF CONSTRUCTION:</b>	Type 5B, Unprotected (IBC - Section 602.2)
<b>FIRE RATINGS:</b>	Type 5B, (IBC - Table 601)
<b>SPRINKLER REQUIREMENTS:</b>	X > 30', No rating Required (IBC - Table 602)
<b>OCCUPANT LOAD:</b>	Unsprinkled 34 Total Occupants (IBC - Section, Table 1004.1.2) Business: 1,250 / 100 gross = 12.5 = 13 Storage: 10,156 / 500 gross = 20.3 = 21 100' (IBC - Table 1014.3)
<b>COMMON PATH OF EGRESS</b>	2 required, 2 provided (IBC - Table 1015.1)
<b>EXIT &amp; EXIT ACCESS DOORWAYS</b>	300' Max. (IBC - Table 1016.2)
<b>EXIT ACCESS TRAVEL DISTANCE</b>	140 mph, Surface Roughness B; Exposure B (IBC - Section 1609)
<b>WIND LOADS:</b>	Type C (IBC - Section 1613)
<b>SEISMIC DESIGN CATEGORY:</b>	(IBC Table 2902.1)
<b>PLUMBING COUNT:</b>	MALE FEMALE
<b>REQUIREMENTS:</b>	REQD PROV. REQD PROV.
<b>LAVATORIES:</b>	1 2 1 2
<b>WATER CLOSETS:</b>	2 2 2 2
<b>DRINKING FOUNTAINS:</b>	0
<b>OTHER:</b>	1 Service Sink Provided

## Area Calculations

EXISTING HEATED SQ. FT. = 9,770 SQ. FT.  
NEW HEATED SQ. FT. = 1,978 SQ. FT.  
TOTAL EXISTING HEATED SQ. FT. = 11,748 SQ. FT.

NOTE: THERE WILL BE NO ADDITIONAL IMPERVIOUS FOOTAGE ADDED TO THE SITE.

## Drawing Index

### SHT. SHEET CONTENTS

- T1.1 TITLE SHEET
- C1.1 SITE PLAN
- A1.1 PROPOSED FLOOR PLAN
- A1.2 ELEVATIONS

An Addition for:  
**H&H Auto Body**  
17 Cardinal Road (Lot 24)  
Hilton Head Island, South Carolina

PROJECT NAME & LOCATION

**DRB REVIEW**  
DATE: 12/18/2014

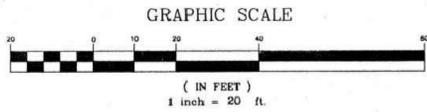
DATE SUBMITTED TO:  
09/10/2014 ABB REVIEW  
12/18/2014 DRB REVIEW

ISSUE DATE OF PROGRESS PRINTS

DRAWN BY: DCN CHECKED BY: TZC

**T1.1**  
TITLE

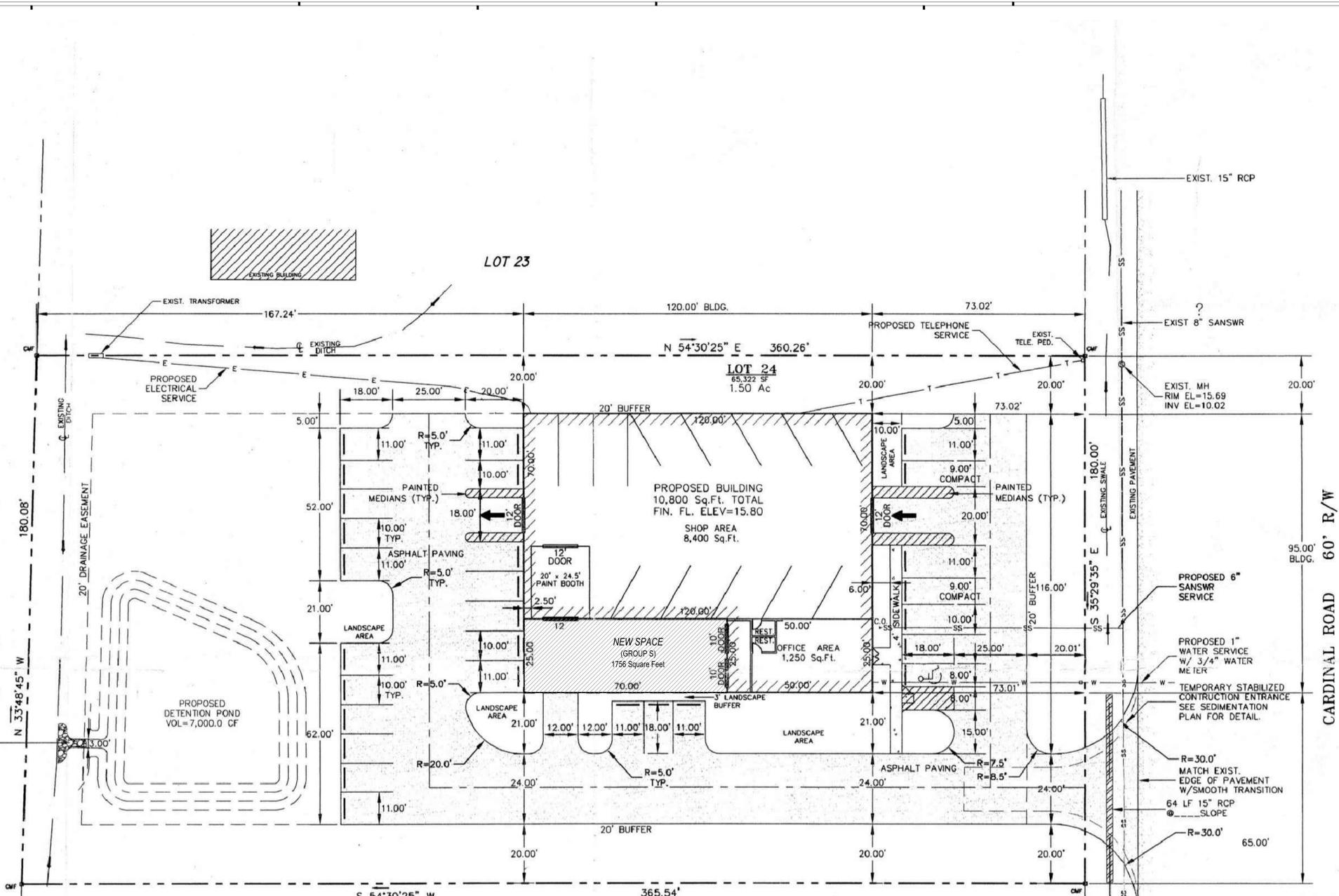
Tom Crews Architects ©  
TCA PROJECT NUMBER:  
1329



THE SURVEY DATA SHOWN IS REPRODUCED FROM A PLAT PREPARED BY T-SQUARE GROUP, INC. AND PREPARED FOR DOUG MALLORY, COLLISION REPAIR SPECIALIST, INC., BEING A TREE & TOPOGRAPHIC SURVEY OF LOT 24, CARDINAL RD., PHASE 4, PALMETTO HEADLANDS COMMERCIAL TRACT, PALMETTO DUNES RESORT, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DATED MAY 16, 1997. REFER TO SURVEY FOR LEGAL OR OFFICIAL INFORMATION. DISTRICT 510, MAP 8, PARCEL 283. REF. PLAT: BY ROY HUSSEY, DATED AUGUST, 1984. FLOOD PLAIN: THIS LOT APPEARS TO LIE IN A FEDERAL FLOOD PLAIN ZONE AZ. MINIMUM REQUIRED ELEVATION 14 FT. NGVD29.

NOTE: WETLANDS FROM A PLAT BY COASTAL SURVEYING CO. DATED 4/15/1994 JOB # 25930B, NOT VERIFIED BY T-SQUARE GROUP, INC.

N/F  
GENE WILEY



1 SITE PLAN  
C1.1 SCALE: 1"=20'-0"

LEGEND	
CRUSHED GRANITE	
ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
EXISTING SPOT ELEVATION	
WATERLINE	
SAN. SEWER	
UNDERGROUND ELECTRIC LINE	
UNDERGROUND TELEPHONE	
PROP STM SEWER	
STONE RIP RAP	
SILT FENCE	
TOP OF PAVEMENT	
TOP OF CURB	
TOP OF SIDEWALK	
FINISHED GRADE	
EXISTING CONTOUR	
PROPOSED CONTOUR	

PARKING REQUIREMENTS	
REQUIRED PARKING=	
OFFICE AREA = 1,200 SQ.FT.	
1 SPACE PER EMPLOYEE	= 8.0
PARKING FOR STORAGE	
1 SPACE PER VEHICLE	= 4.0
SHOP AREA = 10 SERVICE BAYS	
1 SPACE PER BAY	= 41.0
TOTAL PARKING	= 23.0
PARKING PROVIDED=	
PARKING BAYS	= 11.0
STANDARD SPACES	= 25.0
COMPACT SPACES	= 2.0
H/C 16'X18' SPACE	= 1.0
TOTAL PARKING	= 39.0

TABLE OF DEVELOPMENT AREAS	
IMPERVIOUS AREA:	
BUILDING & SIDEWALKS	11,720 S.F.
ASPHALT PAVING	18,307 S.F.
TOTAL IMPERVIOUS AREA	30,027 S.F. (46% TOTAL SITE)
PERVIOUS AREA:	
BUFFERS & REMAINING AREA	35,295 S.F. (54% TOTAL SITE)
TOTAL SITE AREA	65,322 S.F.

**Architecture**  
Tom Crews Architects  
2 Corpus Christie Pl., Ste. 101 Hilton Head Island, SC 29928  
843-842-5509

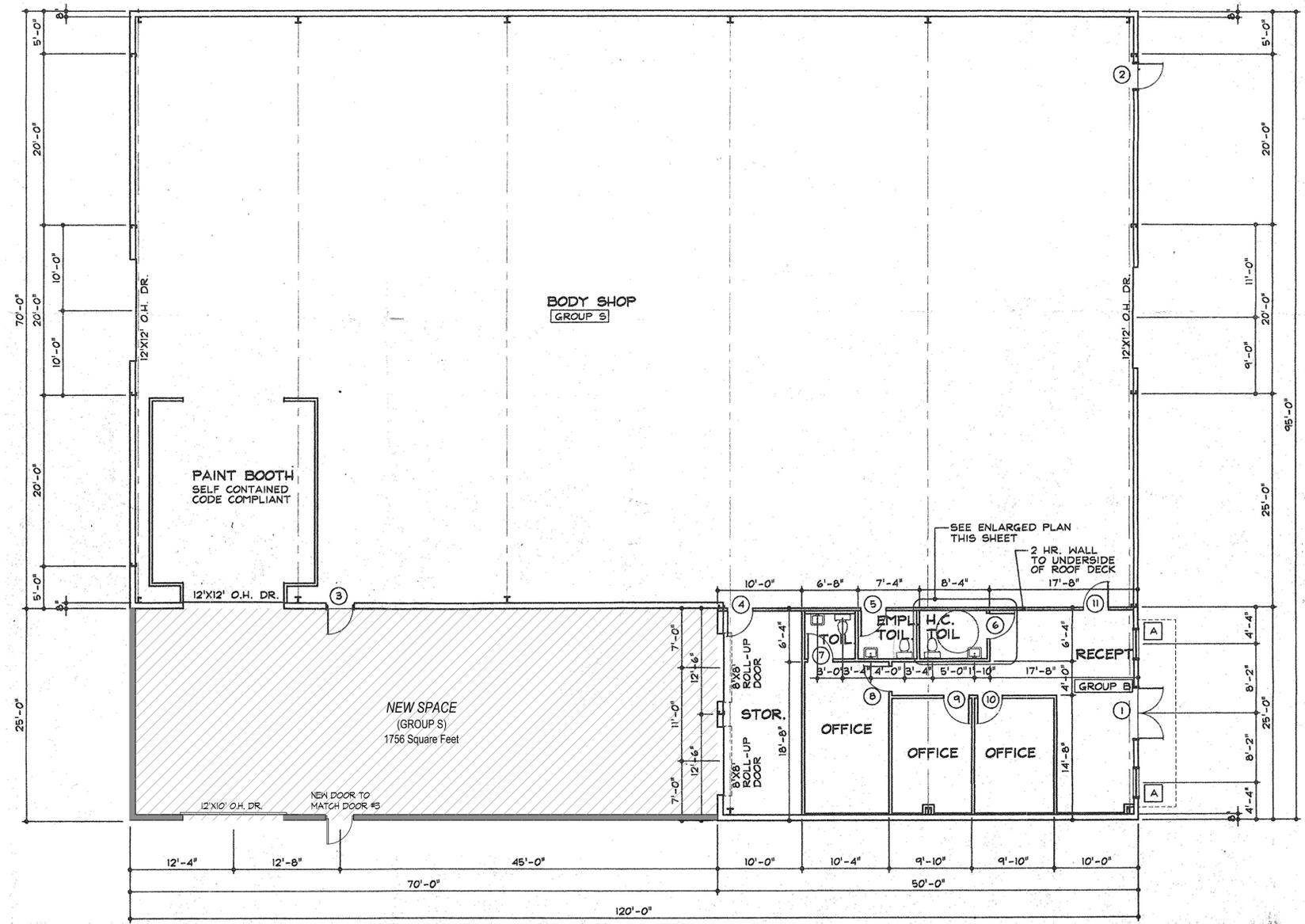
ARCHITECT'S SEAL  
COMPANY SEAL

An Addition for:  
**H&H Auto Body**  
17 Cardinal Road (Lot 24)  
Hilton Head Island, South Carolina

**DRB REVIEW**  
DATE: 12/18/2014  
DATE SUBMITTED TO:  
09/10/2014 ARB REVIEW  
12/18/2014 DRB REVIEW

DRAWN BY: DCN CHECKED BY: TZC  
**C1.1**  
SITE PLAN  
Tom Crews Architects ©  
TCA PROJECT NUMBER:  
1329

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1 PROPOSED FLOOR PLAN  
 A1.1 SCALE: 1/8"=1'-0"

*Architecture*  
**Tom Crews Architects**  
 2 Corpus Christie Pl., Ste. 101 Hilton Head Island, SC 29928  
 843-842-5009

ARCHITECT'S SEAL  
 COMPANY SEAL

An Addition for:  
**H&H Auto Body**  
 17 Cardinal Road (Lot 24)  
 Hilton Head Island, South Carolina

**DRB REVIEW**  
 DATE: 12/18/2014  
 DATE SUBMITTED TO:  
 09/10/2014 ABB REVIEW  
 12/18/2014 DRB REVIEW

ISSUE DATE OF PROGRESS PRINTS

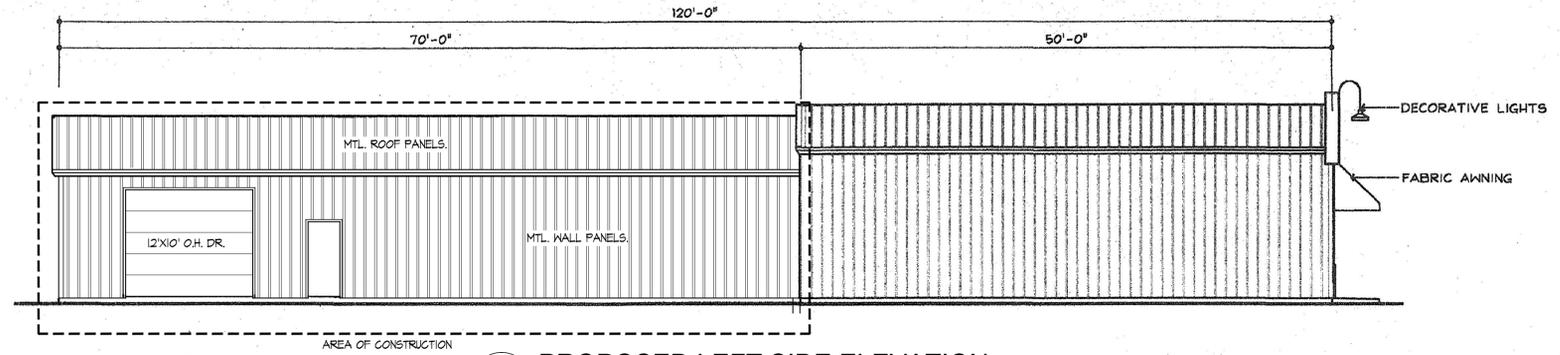
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**A1.1**  
 FLOOR PLANS

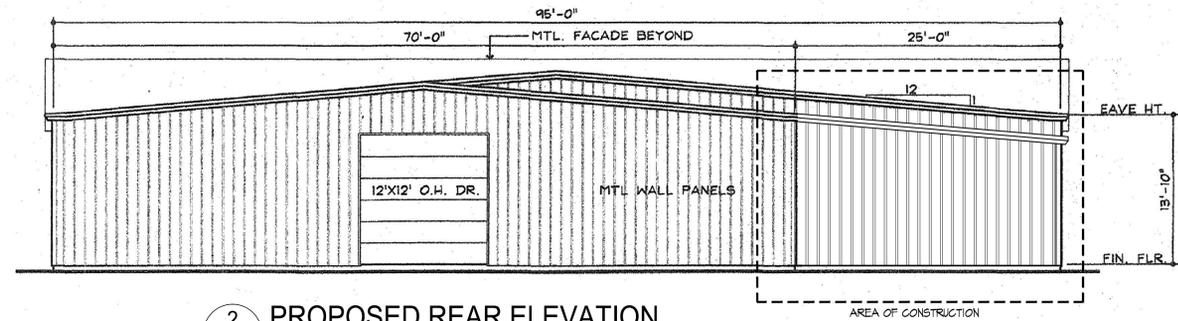
Tom Crews Architects ©  
 TCA PROJECT NUMBER:  
 1329

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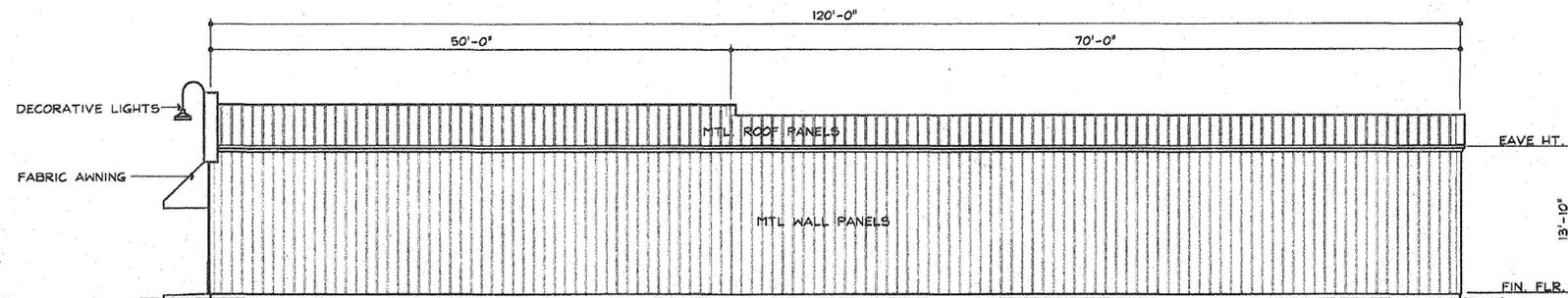
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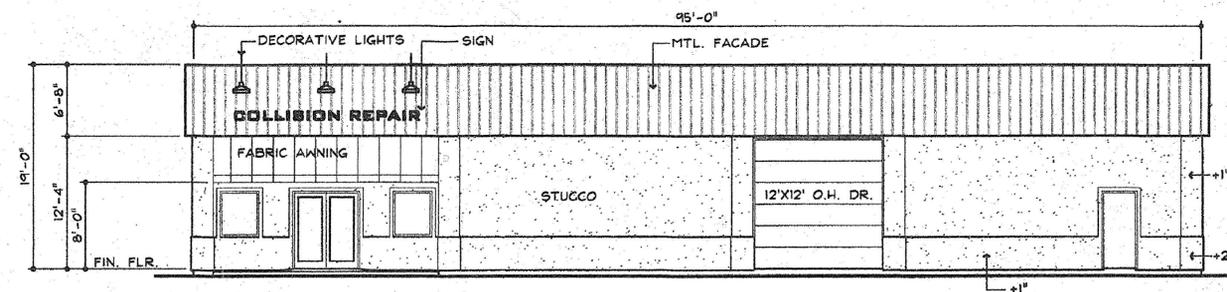
1 PROPOSED LEFT SIDE ELEVATION  
A2.1 SCALE: 1/8"=1'-0"



2 PROPOSED REAR ELEVATION  
A2.1 SCALE: 1/8"=1'-0"



3 RIGHT SIDE ELEVATION  
A2.1 SCALE: 1/8"=1'-0" (NO WORK TO REMAIN THE SAME)



4 FRONT ELEVATION  
A2.1 SCALE: 1/8"=1'-0" (NO WORK TO REMAIN THE SAME)

*Architecture*  
Tom Crews Architects  
2 Corpus Christie Pl., Ste. 101 Hilton Head Island, SC 29928  
843-842-5511 fax

ARCHITECT'S SEAL

COMPANY SEAL

An Addition for:  
**H&H Auto Body**  
17 Cardinal Road (Lot 24)  
Hilton Head Island, South Carolina

PROJECT NAME & LOCATION

**DRB REVIEW**  
DATE: 12/18/2014

DATE SUBMITTED TO:  
09/10/2014 ABB REVIEW  
12/18/2014 DRB REVIEW

ISSUE DATE OF PROGRESS PRINTS

DRAWN BY: DCN CHECKED BY: TZC

**A2.1**  
ELEVATIONS

Tom Crews Architects ©

TCA PROJECT NUMBER:  
1329

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## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval, conditions, or denial.*

**PROJECT NAME:** H&H Auto Body – ALTERATION/ADDITION

**DRB#:** DRB-002299-2014

**DATE:** January 13, 2015

**RECOMMENDATION:** Approval  Approval with Conditions  Denial

**RECOMMENDED CONDITIONS:**

- 1) Proposed location of relocated LP tanks should be shown on plan and additional screening (either fence or landscape or combination) should be provided.
- 2) Plant material should be added to existing areas marked “Landscape Area” and “3’ Landscape Buffer”.

Applicant proposes to add +/- 1,750 SF to existing building. Colors, materials, and architectural style will match existing. Existing areas indicated as “Landscape Area” or “3’ Landscape Buffer” on plan are currently used for parking. Landscape materials should be added to preserve island for planting versus parking.

The LP tanks located next to the existing roll-up door will have to be relocated. These will have to be located per NFPA 58 and protected per the fire code with bollards. You may request this location to be screened.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	12/29/14
Accepted by:	JR
DRB #:	2332-2014
Meeting Date:	1/13/15

Applicant/Agent Name: Vito LaGrasso Company: Up The Creek Pub & Grill  
 Mailing Address: 18 Simmons Rd City: Hilton Head State: SC Zip: 29926  
 Telephone: 843-681-3635 Fax: 843-689-9451 E-mail: Vito@upthecreekpubandgrill.com  
 Project Name: New Awning Project Address: 18 Simmons Rd HHI, SC  
 Parcel Number [PIN]: R510 011 000 007F 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

12/23/14  
\_\_\_\_\_  
DATE

**Vito LoGrasso**

---

**From:** pgfreedman@aol.com  
**Sent:** Sunday, December 21, 2014 10:02 PM  
**To:** [REDACTED]  
**Subject:** UTC awning narrative

To the members of the DRB,

The following is a narrative from Roger Freedman, owner of Broad Creek Marina, ZipLine Hilton Head, Aerial Adventure Hilton Head and Up the Creek Pub & Grill:

As owner of Broad Creek Marina and our adjacent restaurant, Up the Creek Pub & Grill, we continue to be committed to creating an eco-friendly environment that doesn't interfere with the beauty found on our property. We have tried to work with all the natural colors which include blue reflecting water and green reflecting trees.

Up the Creek Pub & Grill has had a massive brick red roof since it was built more than 20 years ago. To downplay that, we have added handsome "marine blue" umbrellas on our outside deck. The enclosed photos show the Restaurant's roof and umbrellas.

We would like to replace the "marine blue" umbrellas with a retractable awning in the "marine blue" color. We have enclosed a swatch of that color palate.

We hope you will consider this option since it is much more tasteful and appropriate than adding another massive amount of brick red color or other colors which we think will be less suitable.

Thank you for your consideration and cooperation.

Roger Freedman  
Owner and CEO  
**Broad Creek Marina Adventures**



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY  
 Date Received: 12/5/14  
 Accepted by: JR  
 DRB #: 2215-2014

Applicant/Agent Name: Vito LoGrasso Company: Broad Creek Marine  
 Mailing Address: PO Box 21584 City: Hilton Head State: SC Zip: 29925  
 Telephone: (843) 681-3625 Fax: 689-9451 E-mail: Robbin@broadcreekmarineht.com  
 Project Name: Retractable Awning Project Address: 18 Simmons Rd.  
 Parcel Number [PIN]: R510 011 000 007E 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MINOR SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

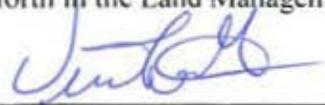
Submittal Requirements for *All* projects:  
 \_\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.  
 Filing Fee: Minor External Change \$50; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Corridor Review, Minor**  
 \_\_\_\_\_ Photographs and/or drawings of existing development.  
 \_\_\_\_\_ Site Plan (1"=30' minimum scale) showing location of existing development.  
 \_\_\_\_\_ Drawings, material samples and/or color samples of proposed changes.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO

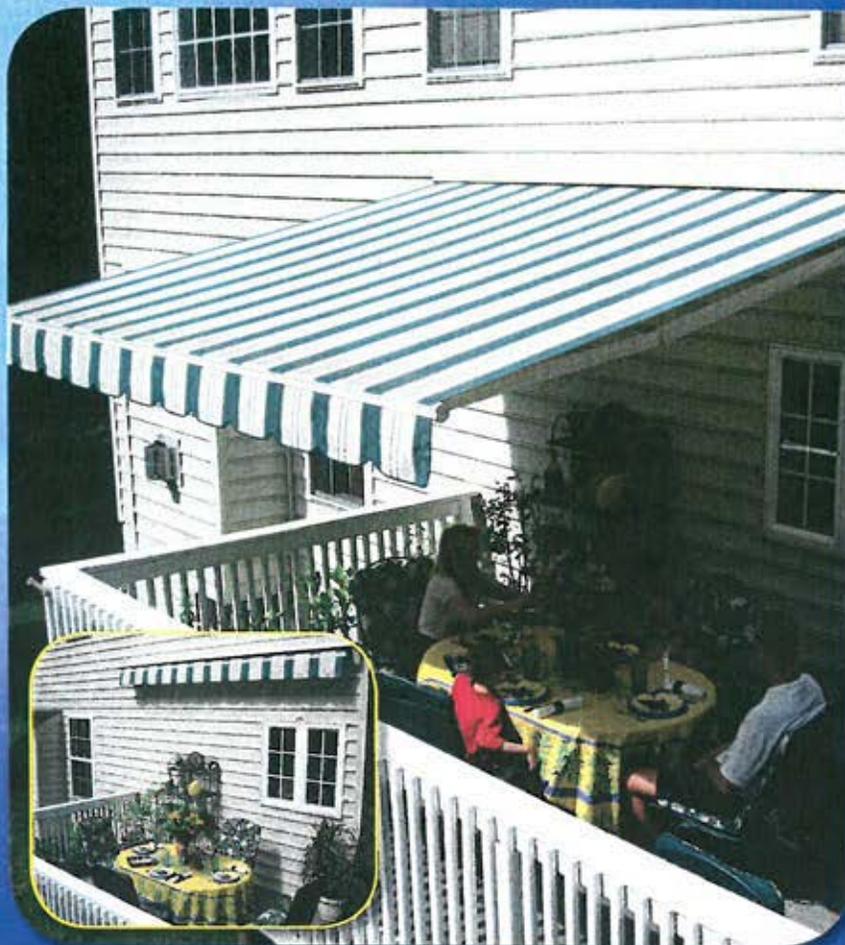
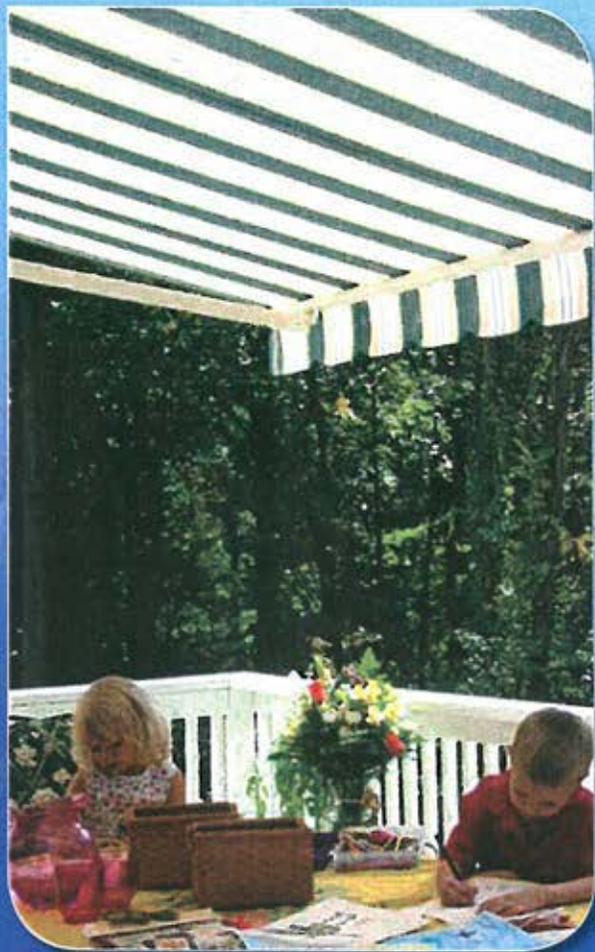
To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
 SIGNATURE

11/6/14  
 DATE

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A Sunair® retractable lateral arm awning is the ideal shading solution for decks and patios. They can be conveniently mounted on the wall, soffit or roof for additional headroom. With a simple hand crank or the convenience of an optional motor, your awning will instantly protect you and your family from the elements. On cloudy days or when not in use, your Sunair® awning is completely self-storing. It eliminates the need for seasonal removal and storage. With over 30 years of experience, SUNAIR® is the innovator in the industry. We have engineered the most durable arm systems, using the strongest materials and the most sophisticated arm design.

## ADD VALUE TO YOUR HOME:

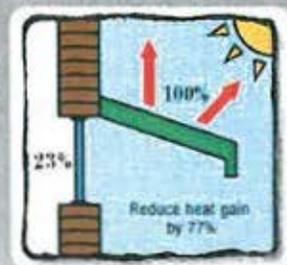
A SUNAIR® Lateral Arm Awning offers the ideal solution for creating a comfortable outdoor environment the whole family can enjoy. Imagine staying cool on your deck and protecting your family from the sun's harmful rays. Finally you can enjoy cookouts and entertaining the way it is meant to be with a Sunair® Retractable Awning.

## ENERGY SAVINGS:

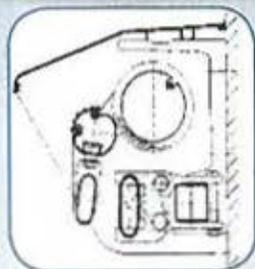
You can reduce sunlight and glare through your windows by up to 94% and reduce heat gain by as much as 77%. Awnings can reduce cooling energy by as much as 17% in moderate climates. You can also reduce your utility bills.

## SUN PROTECTION:

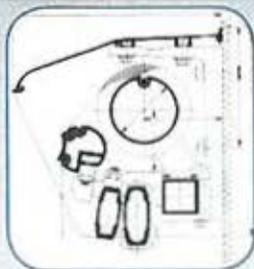
A SUNAIR® awning provides you and your family with 99% UV protection, while also protecting furniture and carpeting from fading. Now you can enjoy the outdoors without worry.



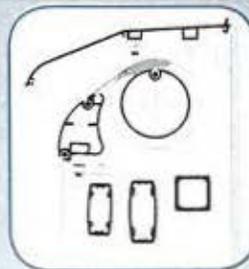
## Sunchoice®



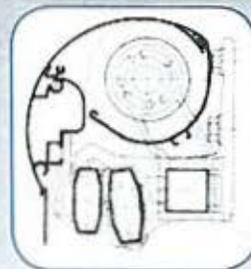
## Sunstar®



## Sunair®



## Suntube®



- Economical lateral arm awning
- Double cable arm design
- Die- cast components
- 7:1 worm gear with stop
- Aluminum support and roller tube
- Motorized or manual
- 5yr year limited frame warranty
- Optional aluminum hood system
- Coated cable standard
- Frame colors: white, mocha

### Max Size:

24 ft. Wide  
10 ft. Projection

- Robust lateral arm awning
- Double cable arm design
- Forged elbow, shoulder and arm components
- 7:1 worm gear with stop
- Aluminum support and roller tube
- Motorized or manual
- 8yr year limited frame warranty
- Optional aluminum hood system
- Stainless steel cable standard
- Frame colors: white, mocha, and ivory

### Max Size:

24 ft. Wide  
11' 6" Projection

- Highest quality lateral arm awning
- Double cable arm design
- Forged elbow, shoulder and arm components
- Double cable arm design components
- 4:1 / 8:1 bevel gear with stop for most efficient operation
- Aluminum support and roller tube
- Motorized or manual
- 15yr year limited frame warranty
- Optional aluminum hood system
- Stainless steel cable standard
- \*available in all (9) frame colors and custom RAL Colors as well

(Inquire with Sunair)

Max Size: 35 ft. Wide  
14' Projection

(special order wider units)

- Highest quality lateral arm awning
- Double cable arm design
- Forged elbow, shoulder and arm components
- 4:1 / 8:1 bevel gear with stop for most efficient operation
- Aluminum support and roller tube
- Motorized or manual
- 15yr year limited frame warranty
- Semi-cassette enclosure
- Stainless steel cable standard
- \*available in all (9) frame colors and custom RAL Colors as well

(Inquire with Sunair)

Max Size:  
20 ft. Wide  
13' Projection

# Here is why the SUNAIR® awning is the best on the market

## SUNAIR® FEATURES

## SUNAIR® BENEFITS

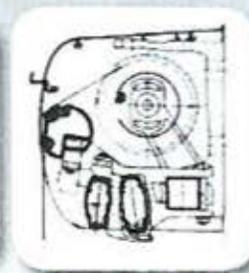
ARMS		All arm parts under stress are made of forged aluminum, including the shoulder, elbow, and arm components. All arms 8' 7" and above use three heavy duty steel springs.	Forged aluminum arm components are stronger than all die castings or extrusions, resulting in a stronger awning against the elements. Three heavy duty steel springs provide better arm tension and longer arm life.
FLEXIBILITY		Sunair® uses only the strongest materials, yet is engineered for flexibility with a unique two way movable front arm attachment.	Our unique two way movable front arm attachment relieves strain and increases flexibility and strength in the arm, which reduces wind damage.
ELBOW		The Sunair® uses twin, stainless, high quality aircraft cable. The hinge is triple angled with an elliptical cable radius.	Twin cables are far superior to a single cable, because cable wear is reduced, allowing better arm and fabric tension. The elliptical cable radius increases tension as the awning extends. These angles help keep the fabric from dragging on the arms.
PROFILES & PAINT		All extrusions and components are exclusively made of the highest quality aluminum. The parts are first chromate treated and then electro statically powder coated.	Aluminum extrusions are strong, yet will not corrode over time like steel. This equates to a longer lasting awning. Chromating gives better powder adhesion and holds up better against the elements, resisting cracking and peeling.
GEARS		Manually operated Sunair® units use a heavy duty 4:1 ratio bevel gear with a stop. A 8:1 gear is used on larger widths.	The 4:1 gear is the most efficient gear made. This gear minimizes the time and effort needed in operating a manual awning. The stop eliminates fabric damage due to over rolling.
THREAD		All fabrics are sewn with Tenara® thread. This thread is manufactured from GORE-Tex and is clear, making it nearly invisible.	Tenara® thread is made of Teflon and will not deteriorate from exposure to the elements. The clear thread is nearly invisible on most fabric colors.

## FABRICS

Choose from our exclusive PARA Tempotest® fabric collection. Hundreds of premium grade solid and striped 100% acrylic fabric colors are available to choose from. You will find a fabric to suit your needs and taste. Acrylic fabric is more attractive and breathes better than other fabrics. Acrylic fabric is also resistant to fading and mildew, and has a water repellant Teflon coating. Other fabrics are also available.



Standard Hood



Decora Hood



# SUNAIR®

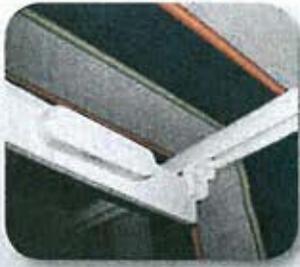
AWNINGS & SOLAR SCREENS



SUNPROOFING AMERICA!™

# MOTORS

By motorizing your Sunair® awning you can extend and retract your awning effortlessly. In fact, motorizing your awning will increase your usage of the product and overall satisfaction. The motors also do not require any maintenance. With a flick of a switch or remote, the awning will extend or retract automatically. A standard wall switch or RTS remote control is available with the optional SOMFY Plug-In motors, eliminating the need for an electrician.



Sunis Sun Sensor



SOMFY MOTORS feature an integrated radio receiver that allows you to operate the awning by remote. With the optional SUNIS sun sensor and EOLIS wire free motion/wind sensor the awning automatically extends and retracts with the sun's intensity and exposure to excessive wind.



Standard Switch



Remote Control

# VALANCE PLUS

Is an optional roll down valance. This valance is great for extra shade on western exposures when the sun is low on the horizon. Acrylic or mesh fabrics are available for the Valance Plus, as well as manual or motorized control.



# FRAME COLORS



CUSTOM COLORS ARE AVAILABLE



**SUNPROOFING AMERICA!™**

**SOLTIS'86**  
SOLAR PROTECTION

**MERMET**

# OPTIONS

## SUNAIR® XP CROSSOVER ARMS

Sometimes the area on the wall to mount the awning is very narrow, yet a larger projection is desired. The Sunair® XP offers the ability to overlap the arms in order to fit larger projection arms onto a narrow frame. This cross-arm version is available when the desired projection exceeds the width.



Call Us for a FREE in-home estimate!



**AUTHORIZED DEALER:**

[www.SunairAwnings.com](http://www.SunairAwnings.com)

Sunair® reserves the right to change engineering without notice ©2012 Sunair® Awnings & Screens.

Sunair® Awnings, 7785 Rt. 175 Jessup, MD 20794

©2012 Awnings Unlimited Inc.

Jessup, MD 410.799.1145 Phoenix, AZ

### 3.3 · Table of Loads on Awning Fastening Plugs, Based on Type of Attachment

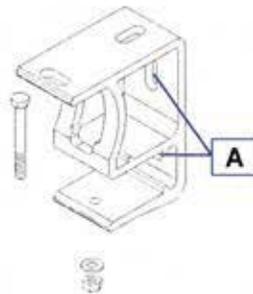
#### **i** INFORMATION AND PRECAUTIONS

The calculations of the plugs were made taking into account Class 2 wind resistance as per standard EN 13561.

#### **i** INFORMATION AND PRECAUTIONS

The wall plug calculations for R-Pitch and R-90 have been performed with the extruded square wall/ceiling bracket, taking into consideration that holes (A) are used for wall installation.

### WALL INSTALLATION



WALL INSTALLATION OF R-PITCH AND R-90									
Extraction load on anchoring devices (KN)	WIDTH (m)								
	2.5	3	3.5	4	4.5	5	5.5	6	
PROTRUSION (m)	1,35	1.54	1.80	2.07	2.33	2.60	2.86	3.12	3.39
	1,6	2.14	2.50	2.87	3.23	3.60	3.96	4.32	4.69
	1,85	2.80	3.27	3.75	4.23	4.71	5.19	5.67	6.15
	2,1	3.59	4.20	4.81	5.42	6.03	6.64	7.26	7.87
	2,35		5.19	5.95	6.71	7.47	8.23	8.99	9.74
	2,6		6.26	7.19	8.11	9.03	9.95	10.87	11.80
	2,85			8.56	9.66	10.76	11.86	12.96	14.06
	3,10			10.10	11.40	12.70	13.99	15.29	16.59
	3,35				13.61	15.12	16.62	18.13	19.64
	3,60				15.63	17.36	19.10	20.83	22.57

Tempotest 13



h 120 cm | h 47"



Tempotest 407/13



h 120 cm | h 47"



Tempotest 75



h 120 cm | h 47"



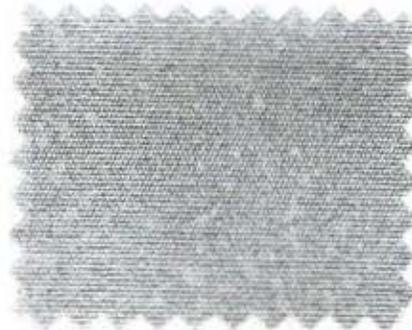
Tempotest 87



h 120 cm | h 47"



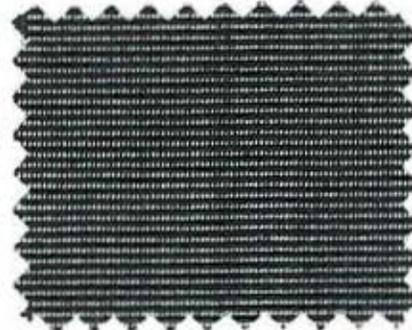
Tempotest 79



h 120 cm | h 47"



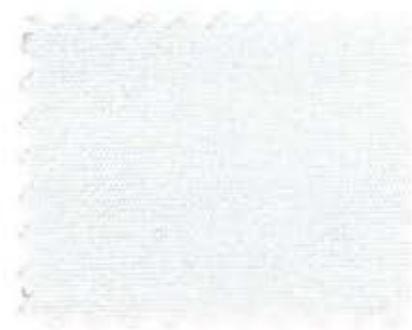
Tempotest 407/79



h 120 cm | h 47"



Tempotest 15/79

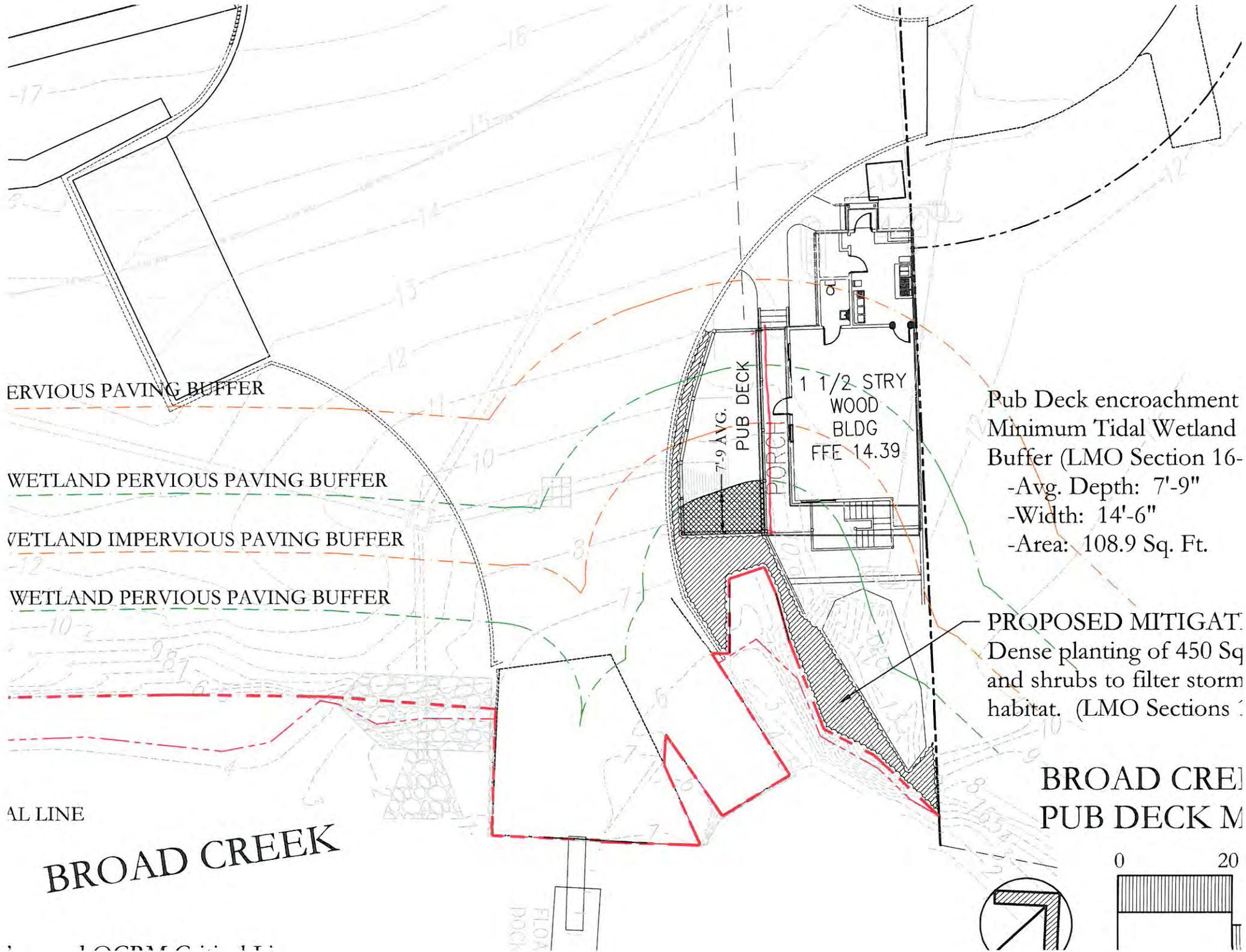


h 120 cm | h 47"









PERVIOUS PAVING BUFFER

WETLAND PERVIOUS PAVING BUFFER

WETLAND IMPERVIOUS PAVING BUFFER

WETLAND PERVIOUS PAVING BUFFER

NORMAL LINE

BROAD CREEK

FLOOR DOOR

7'-9" AVG.

PUB DECK

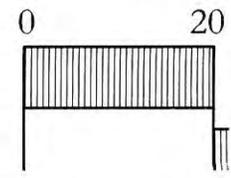
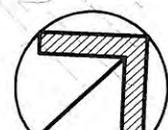
1 1/2 STRY  
WOOD  
BLDG  
FFE 14.39

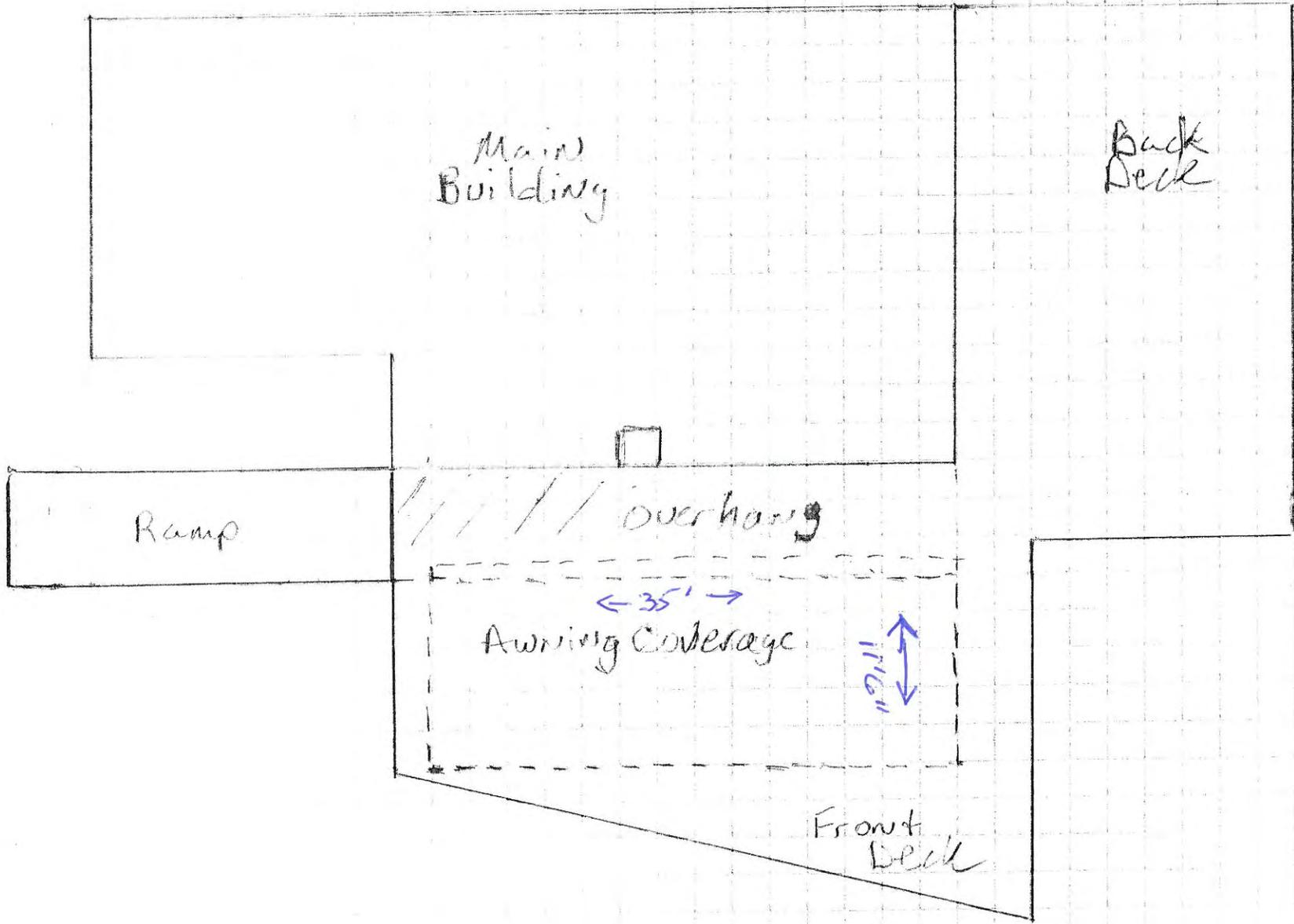
PORCH

Pub Deck encroachment  
Minimum Tidal Wetland  
Buffer (LMO Section 16-  
-Avg. Depth: 7'-9"  
-Width: 14'-6"  
-Area: 108.9 Sq. Ft.

PROPOSED MITIGATION  
Dense planting of 450 Sq  
and shrubs to filter storm  
habitat. (LMO Sections 16-17)

BROAD CREEK  
PUB DECK MITIGATION





Main Building

Back Deck

Ramp

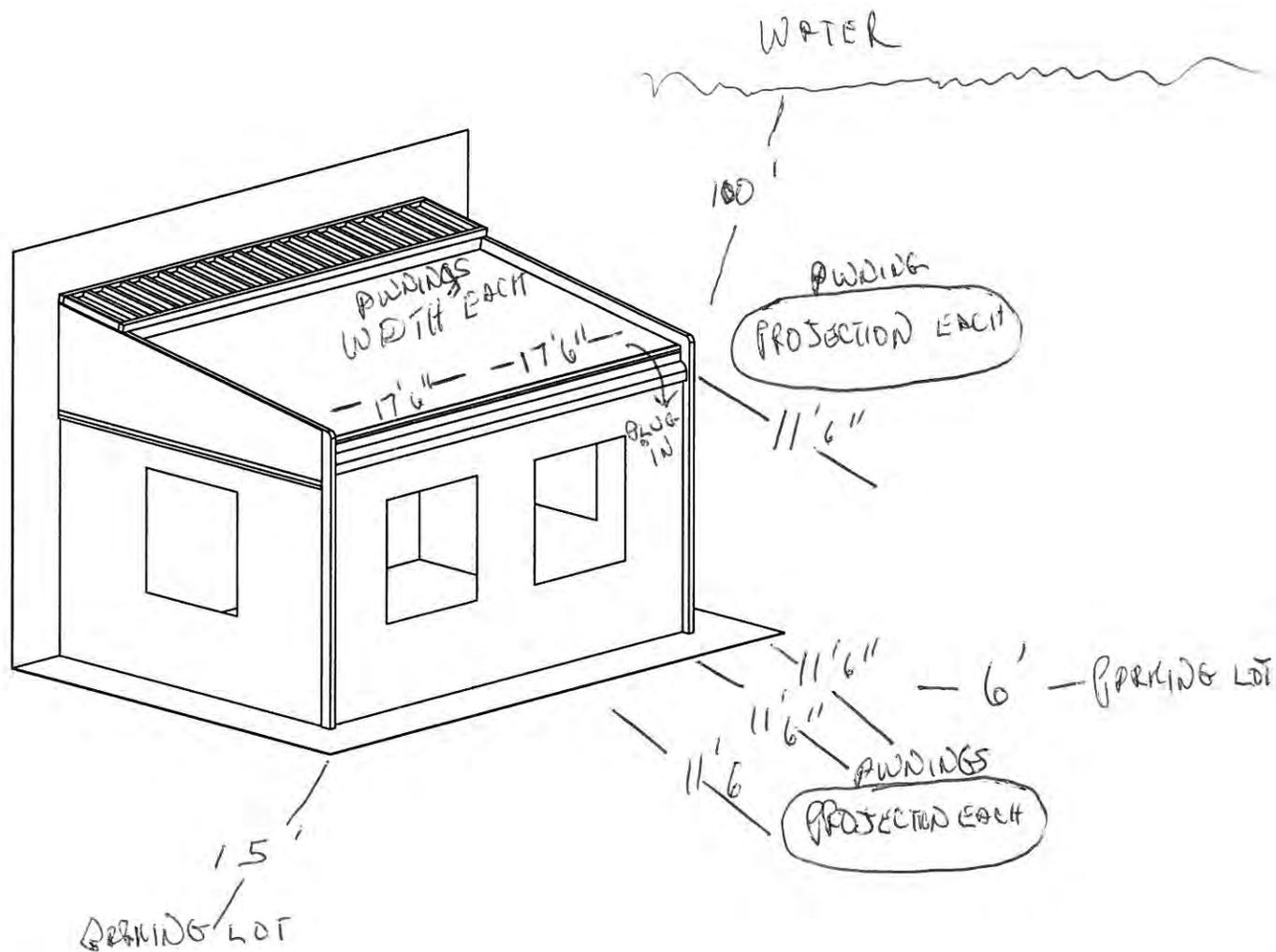
Overhang

← 35' →

Awning Coverage

10'

Front Deck



2-RETRACTABLE AWNINGS / W/MOTION SENSORS \*

Rif. Cliente: UP THE CREEK



Larghezza (L) cm.	Profondità (P) cm.	Altezza Posteriore (B)	Altezza Anteriore (C)
Campata 1 (LC1)	Campata 2 (LC2)	Campata 3 (LC3)	
Data	100		
File	Alu1C_0403		

COLOR DARK BLUE

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: New Awning (Up the Creek Pub & Grill) –  
ALTERATION/ADDITION

DRB#: DRB-002332-2014

DATE: January 13, 2015

RECOMMENDATION:    Approval               Approval with Conditions               Denial  

### RECOMMENDED CONDITIONS:

- 1) Select an alternate awning color, i.e. “brick red” that is more complementary to the existing building and more in keeping with the Design Guide.

Applicant proposes to install a retractable awning to replace the existing umbrellas on the deck adjacent to the building. Applicant has chosen “marine blue” color to complement the adjacent water and to break up the mass of the “brick red” metal roof. Staff recommends a color that is more complementary to the building (i.e. “brick red”) should be selected to be more in keeping with the Design Guide.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	12-30-14
Accepted by:	KO
DRB #:	2341-1-1
Meeting Date:	

Applicant/Agent Name: Gale Brown Company: NCT Restaurants  
 Mailing Address: 73 Skull Creek Drive 3108 City: Hilton Head State: SC Zip: 29926  
 Telephone: (210) 410-3668 Fax: \_\_\_\_\_ E-mail: galebrown60@gmail.com  
 Project Name: Popeye's Louisiana Kitchen Project Address: 15 Park Lane  
 Parcel Number [PIN]: R55001500C 02300000  
 Zoning District: C-2 Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:

- Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - \_\_\_\_\_ Proposed landscaping plan.
- For wall signs:
- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
  - \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
*Renda Aale Brown*  
SIGNATURE

\_\_\_\_\_  
*12/29/2014*  
DATE

**POPEYE'S LOUISIANA KITCHEN**  
**DESIGN REVIEW BOARD SUBMITTAL - DECEMBER 30, 2014**  
**15 PARK LANE**

**Site Analysis**

The existing site is comprised of Lots 1 and 2 in the Shipyard Plantation within the Town of Hilton Head, South Carolina. The site was previously developed into a restaurant with associated utilities and parking. The site has moderate grades sloping from the northwestern property line along US Highway 278 towards the southeastern property line along Park Lane. The site is bounded by US Highway 278 to the northwest, Park Lane to the northeast and southeast, and an office building to the southwest. The former building has been demolished but the asphalt parking spaces and associated paving remain on site as well as some stairs and other associated improvements. A hotel is located to the southeast across Park Lane from this site.



Viewing towards NE across the Site in existing condition as seen from the western property corner. This is the approximate location of the proposed building SW elevation.

POPEYE'S LOUISIANA KITCHEN

DESIGN REVIEW BOARD SUBMITTAL - DECEMBER 30, 2014

15 PARK LANE



Viewing towards NE of existing *Cypress trees within Site to remain. Note the wood retaining wall and asphalt to be removed and replaced with planting.*

Two specimen trees have been identified on-site. Both are cypress trees and are located in the center of the property where a parking island previously existed. Additional trees are located in the 50-foot buffer along Highway 278 and in the 20-foot buffers along Park Lane.



Viewing from center of Site towards NE over parking lot to be modified and *Cypress trees to remain. Note the existing buffer within property to remain and accross Park Lane the existing buffer from Leamington and canal.*

POPEYE'S LOUISIANA KITCHEN  
DESIGN REVIEW BOARD SUBMITTAL - DECEMBER 30, 2014  
15 PARK LANE



*Viewing into Site towards South from bike path. Note existing sign for previous business / building, native tree buffer and pampas grass on berm to remain.*



*Viewing Site from SE across William Hilton Parkway from median. Note the existing sign, native tree buffer and open space within the interior of Site to be preserved.*

No wetlands, streams, or low-lying areas have been identified on-site. The site is expected to drain to the same structures within Park Lane as it did in the pre-existing condition and stormwater treatment will continue to be treated as it was in the pre-existing condition.

**POPEYE'S LOUISIANA KITCHEN**  
**DESIGN REVIEW BOARD SUBMITTAL - DECEMBER 30, 2014**  
**15 PARK LANE**

**Proposed Improvements Narrative**

The proposed project is to redevelop this site into a new restaurant including a drive-through window and interior seating. The restaurant has been sited to minimize the impacts to existing trees, including the two specimen cypress trees, on the property. Extraneous existing pavement will be removed and an open space is proposed to be provided in the middle of the site. Existing grades will be maintained to the extent practicable with the building FFE set at 14.1, above the minimum required elevation of 14.0. The grading of the property will be designed to balance the earthwork on-site to minimize construction traffic.

A new 8-foot connection to the existing multi-use path is proposed for use by pedestrians and bicyclists. A mulch walking trail is proposed to connect the multi-use trail to Park Lane for pedestrians at minimal impact to the natural environs.

The exterior of the building has been designed to incorporate the local aesthetic into the corporate Popeye's brand. The adjacent office building and Park Lane Hotel have been used as inspiration for the color palette.

The landscape development is to include over/under story trees and shrubs to be installed within the buffers that surround the property on three sides of the property. Only nine trees that consist of sweetgums, pines, water oak and river birch and one ornamental palm are to be removed for the project. Nine native trees are to be planted within the buffers and Site as shown on landscape development plan.

POPEYE'S LOUISIANA KITCHEN

DESIGN REVIEW BOARD SUBMITTAL - DECEMBER 30, 2014

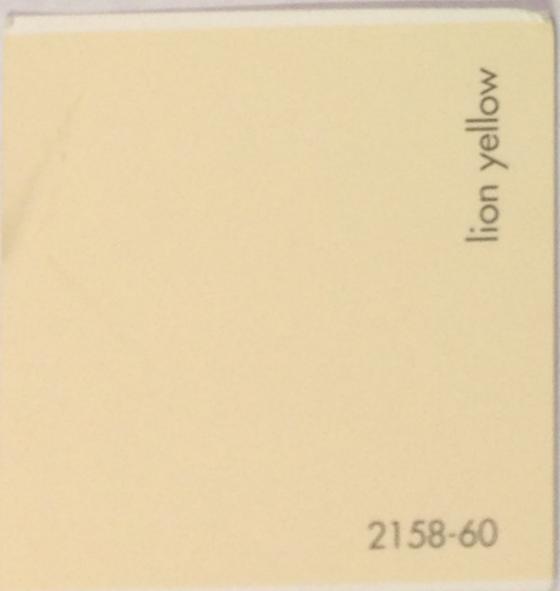
15 PARK LANE



*Existing Park Lane Hotel immediately opposite site across Park Lane*



*Adjacent Office Building to the southwest of the property*



**Popeyes LK - Exterior Finish Schedule**

*New Construction and Reimaging*

Update: **12/15/2014**

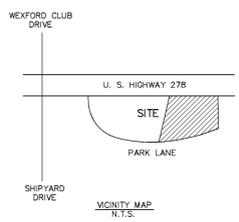
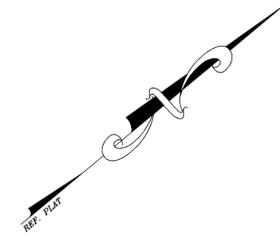
Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE ACCENT TRIM	STO / DRYVIT / BENJAMIN MOORE	PAINT / EIFS FORMULA	#2158-50	MANILLA	185
EP-2	ACCENT TRIM	BENJAMIN MOORE	EIFS / METAL / PAINT	#2091-20	RUSTIC BRICK	185
EP-3	WAINSCOT BELOW ACCENT TRIM	CHEROKEE BRICK & TILE CO.	BRICK	53--05-203	VELOUR BROWN	MODULAR
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	12" VINYL SHUTTERS	L2-VINYL	RAINFOREST FOLIAGE	185
EP-5	BALCONY AND RAILINGS	RAILING VENDOR / FYPON	PAINT	#2158-50	MANILLA	SMOOTH
EP-10	PARAPET CAP	STO / DRYVIT / BENJAMIN MOORE	EIFS / METAL / PAINT	#2158-60	LION YELLOW	185
EP-6	STOREFRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#YB5N	DARK BRONZE	21-28 DAYS
EP-6	STOREFRONT GLAZING	BENJAMIN MOORE	METAL / PAINT	#64	RM BRONZETONE	M29
EP-7	DUMPSTER WALLS/GATES	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	M29
EP-8	BOLLARDS	BENJAMIN MOORE	METAL / PAINT	RM SAFETY YELLOW	RM SAFETY YELLOW	M29
EP-9	ANTI-GRAFFITI	BENJAMIN MOORE	PAINT	ALIPHATIC ACRYLIC URETHANE	CLEAR GLOSS	M74-00/M75
C-1	STANDING SEAM CANOPY	BENJAMIN MOORE	PAINT	#2040-10	RAINFOREST FOLIAGE	185











U. S. HIGHWAY 278  
R / W VARIES

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S43°31'00"W	60.68
L2	S32°54'54"W	15.20
L3	S32°54'54"W	39.80
L4	N35°41'23"W	249.39
L5	N44°28'00"E	133.87
L6	N54°21'19"E	148.89
L7	S42°28'42"E	122.54
L8	S43°07'41"E	47.03

CURVE TABLE				
CURVE	ARC	RADIUS	CHORD	BEARING
C1	99.49	542.90	99.35	S38°02'54"W
C2	99.31	335.00	98.84	S41°29'15"W

- LEGEND**
- WO - WATER OAK
  - LO - LIVE OAK
  - LA - LAUREL OAK
  - PN - PINE
  - H - HICKORY
  - G - GUM
  - BH - BIRCH
  - BP - BRADFORD PEAR
  - CP - CYPRESS
  - P - PALMETTO

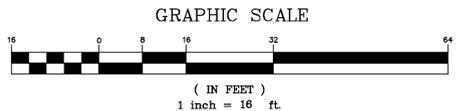
LOT 3

LOTS 1 & 2  
(1.409 ACRES)  
(61,366 SQ. FT.)  
ST. ADDRESS NO. 15

PARK LANE  
50' R/W

SURVEYED FOR:  
MS. GALE BROWN

PARK LANE 50' R/W



NOTE: This lot lies in a Federal Flood Plain Zone AZ. Minimum Req. Elevation 14.0 Ft. MSL.

Reference Plat: A PLAT OF CENTRAL PARK COMMERCIAL CENTER PREPARED BY COASTAL SURVEYING CO., INC. DATED 08/13/81, REVISED 07/22/85, RECORDED IN BOOK 84 AT PAGE 153.

A TREE AND TOPO SURVEY

LOTS 1 & 2, #15 PARK LANE  
CENTRAL PARK COMMERCIAL CENTER  
TOWN OF HILTON HEAD ISLAND  
BEAUFORT COUNTY-SOUTH CAROLINA

RUDY W. WHEELER  
S. C. Prof. Land Surveyor No. 7263  
I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



JOB NO. 14-074T  
FILE NO.  
SCALE 1" = 16'  
DATE JUNE 3, 2014  
OFFICE CK. FIELD CK.

ATLANTIC SURVEYING CO.  
P.O. BOX 5985  
HILTON HEAD ISLAND, SC 29938  
(843) 785-6262  
FAX (843) 785-9062

**ADDRESSING NOTES:**

1. THE STREET ADDRESS WILL NEED TO BE POSTED ON ANY NEW SIGNAGE AND BE VISIBLE FROM THE STREET.
2. THE COLOR OF THE ADDRESS NUMBERS MUST CONTRAST WITH THE BACKGROUND MATERIAL.
3. ADDRESS MUST BE POSTED WITHIN 20 FEET OF THE PROPERTY LINE AND CLEARLY VISIBLE FROM THE STREET.
4. NUMBERS ARE TO BE REFLECTIVE.
5. NUMBERS ARE TO BE A MINIMUM OF 4 INCHES IN HEIGHT.
6. NUMBERS ARE TO BE A MINIMUM OF 1/4 INCH IN WIDTH.

**FLOOD NOTE:**

1. THIS SITE IS SHOWN TO BE WITHIN AN AREA OF FLOOD HAZARD AS DEPICTED ON FEMA FIRM PANEL NUMBER 450250 0013 D REVISED SEPTEMBER 29, 1986.
2. THE SITE FALLS WITHIN AN A7 (14) FLOOD ZONE PER THE OFFICIAL TOWN OF HILTON HEAD FIRM ZONE MAP.

**URBAN DESIGN NOTE:**

1. DUMPSTER ENCLOSURE TO COMPLEMENT BUILDING ARCHITECTURE IN COLOR AND MATERIALS AND SHOULD INCLUDE LANDSCAPE SCREENING AS WELL.

**DEVELOPMENT NOTES**

1. THIS PROJECT WILL REQUIRE A MAJOR DEVELOPMENT PLAN REVIEW APPLICATION PURSUANT TO LMO APPENDIX D-4.
2. STANDARD PARKING SPACES SHALL BE 9' X 18'. COMPACT SPACES SHALL BE 9' X 15'.
3. WHEEL STOPS ARE REQUIRED AT THE END OF ALL PARKING SPACES WHERE THERE IS NO CURBING.
4. PARKING SPACES SHALL BE MARKED WITH WHITE PAINTED LINES, EXCEPT WHERE ACCESSIBILITY REQUIREMENTS REQUIRE THAT SPACES BE DELINEATED IN BLUE. PAINTED YELLOW LINES ARE FOR MARKING "NO PARKING" AREAS.

**SITE DATA:**

TOTAL SITE AREA \_\_\_\_\_ 61,336 SF = 1.409 ACRES  
 TOTAL DISTURBED AREA \_\_\_\_\_ 45,255 SF = 1.04 ACRES  
 EXG. IMPERVIOUS AREA (NOT INC. BLDG) \_\_\_\_\_ 35,280 SF = 0.81 ACRES  
 PROP. IMPERVIOUS AREA \_\_\_\_\_ 29,377 SF = 0.67 ACRES  
 PROP. IMPERVIOUS COVERAGE \_\_\_\_\_ 47.5%

TOTAL BUILDING SQUARE FOOTAGE \_\_\_\_\_ 2,695 SF  
 MAXIMUM ALLOWABLE DENSITY \_\_\_\_\_ 10,000 GFA/NET ACRE  
 PROPOSED DENSITY \_\_\_\_\_ 1,913 GFA/NET ACRE

**ZONING**  
 EXISTING ZONING \_\_\_\_\_ C-2

**PARKING**  
 RESTAURANT  
 MIN. PARKING REQUIRED \_\_\_\_\_ 1 SPACE/100 GSF = 27 SPACES  
 PARKING PROVIDED \_\_\_\_\_ 29 SPACES  
 BICYCLE PARKING REQUIRED \_\_\_\_\_ 11 SPACES  
 BICYCLE PARKING PROVIDED \_\_\_\_\_ 12 SPACES

**BUILDING SETBACKS**  
 ALONG MAJOR ARTERIAL STREET (HWY 278) \_\_\_\_\_ 50 FEET  
 ALONG OTHER STREETS (PARK LANE) \_\_\_\_\_ 20 FEET  
 SIDE YARD \_\_\_\_\_ 20 FEET

**BUILDING HEIGHT**  
 MAXIMUM BUILDING HEIGHT ALLOWED \_\_\_\_\_ 45 FEET  
 BUILDING HEIGHT PROPOSED \_\_\_\_\_ 26.5' FEET



P.O. BOX 921503 NORCROSS, GA 30010  
 (770) 729-1631 FAX (770) 864-1831  
 www.ecowise-inc.com

**Popeye's Louisiana Kitchen**

FOR  
**NCT Restaurants**  
 73 SKULL CREEK DRIVE  
 HILTON HEAD, SC 29926  
 (210) 410-3668



TOWN OF HILTON HEAD  
 BEFORE THE  
 ZONING BOARD

15 PARK LANE

0 10' 20' 40' 60'  
 SCALE: 1" = 20'  
 DATE: NOV. 24, 2014  
 PROJECT: 14-036

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
-1	12/8/14	PL	TOWN COMMENTS
-2	12/20/14	PL	TOWN & CLIENT COMMENTS

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SOUTH CAROLINA TEMPORARY PERMIT NO. 2014025 ISSUED NOV. 10, 2014

**CONCEPTUAL SITE PLAN**

**CSP 4**

SHEET TITLE AND NUMBER

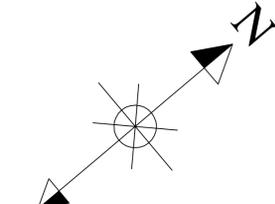
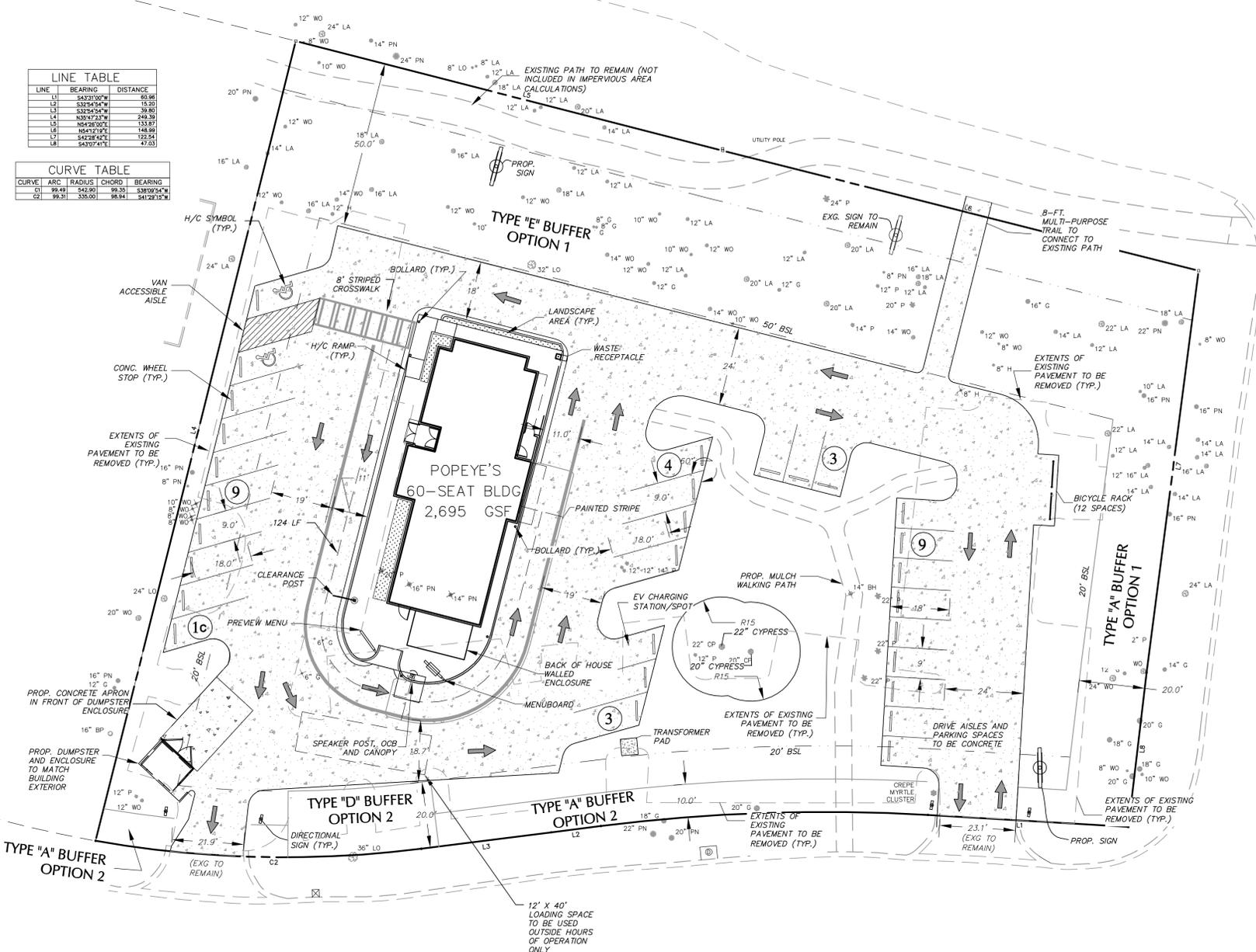
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SOUTH CAROLINA TEMPORARY COA PERMIT NO. 20140017 ISSUED NOV. 10, 2014

LINE	BEARING	DISTANCE
L1	S43°31'50"W	69.98
L2	S33°54'54"W	15.20
L3	S33°54'54"W	39.80
L4	N50°47'23"W	244.50
L5	N65°26'00"E	133.87
L6	N54°17'19"E	148.99
L7	S43°28'34"E	122.54
L8	S43°07'41"E	47.03

CURVE	ARC	RADIUS	CHORD	BEARING
C1	99.49	443.90	99.30	S89°06'54"W
C2	99.31	336.00	98.84	S41°29'12"W



**ADDRESSING NOTES:**

1. THE STREET ADDRESS WILL NEED TO BE POSTED ON ANY NEW SIGNAGE AND BE VISIBLE FROM THE STREET.
2. THE COLOR OF THE ADDRESS NUMBERS MUST CONTRAST WITH THE BACKGROUND MATERIAL.
3. ADDRESS MUST BE POSTED WITHIN 20 FEET OF THE PROPERTY LINE AND CLEARLY VISIBLE FROM THE STREET.
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6. NUMBERS ARE TO BE A MINIMUM OF 1/2 INCH IN WIDTH.

**FLOOD NOTE:**

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**URBAN DESIGN NOTE:**

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**CONCEPT PLANT LIST**

SYMBOL	VARIETIES	QUANTITY
	LIVE OAK, SAVANNAH HOLLY, MAGNOLIA	9
	WAX MYRTLE, CHERRY LAUREL, YAUPON HOLLY	30
	LIGUSTRUM, CHERRY LAUREL, NELLIE S. HOLLY	13
	SUS. VIBURNUM, AZALEA, YAUPON HOLLY	276
	AS. JASMINE, DWF. YAUPON, EV. GIANT LIRIOPE	500

**SITE DATA:**

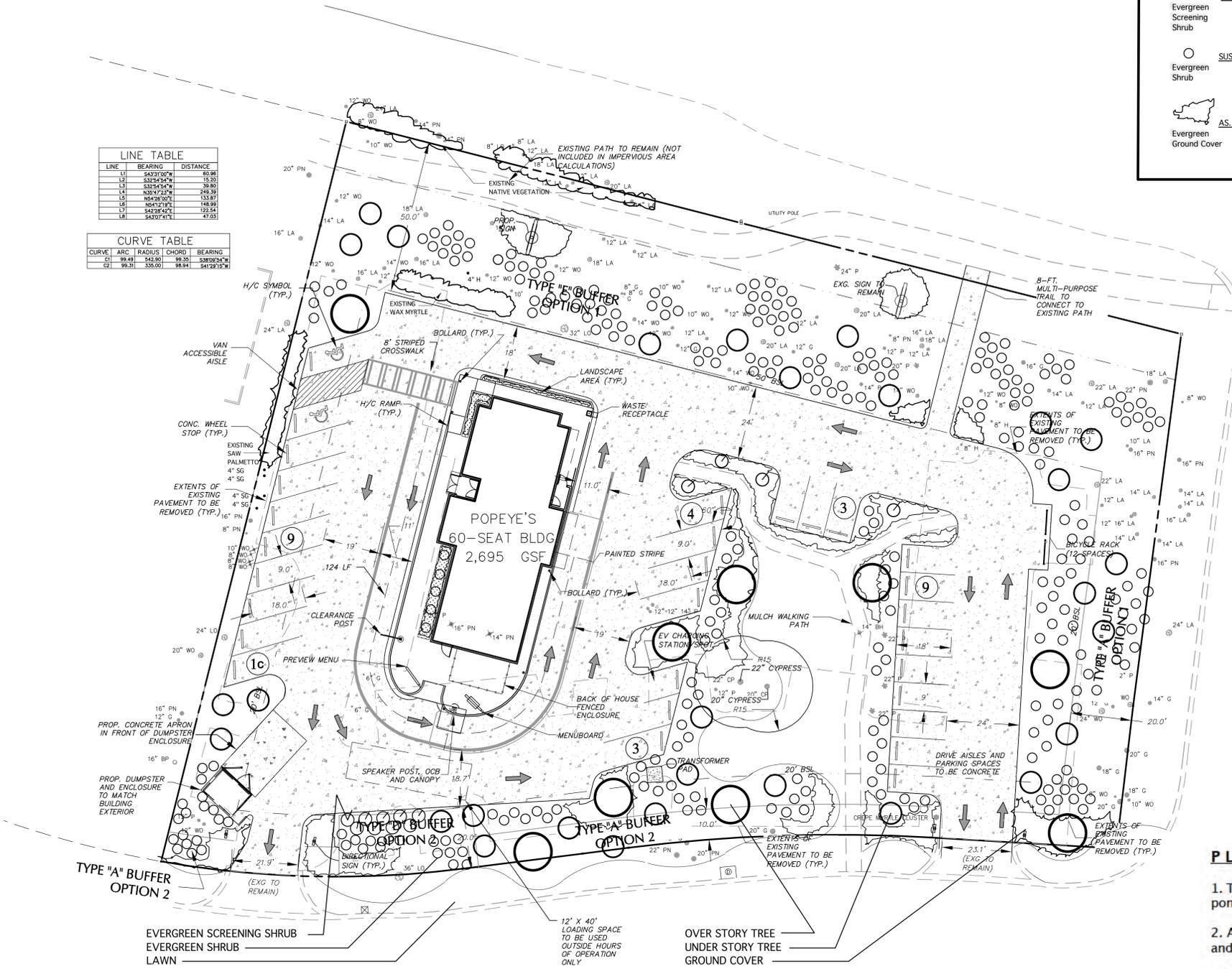
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EXG. IMPERVIOUS AREA (NOT INC. BLDG)	35,280 SF = 0.81 ACRES
PROP. IMPERVIOUS AREA	29,377 SF = 0.67 ACRES
PROP. IMPERVIOUS COVERAGE	47.3%
TOTAL BUILDING SQUARE FOOTAGE	2,695 SF
MAXIMUM ALLOWABLE DENSITY	10,000 GFA/NET ACRE
PROPOSED DENSITY	1,913 GFA/NET ACRE
ZONING	C-2
EXISTING ZONING	C-2
<b>PARKING</b>	
RESTAURANT	
MIN. PARKING REQUIRED	1 SPACE/100 GSF = 27 SPACES
PARKING PROVIDED	29 SPACES
BICYCLE PARKING REQUIRED	11 SPACES
BICYCLE PARKING PROVIDED	12 SPACES
<b>BUILDING SETBACKS</b>	
ALONG MAJOR ARTERIAL STREET (HWY 278)	50 FEET
ALONG OTHER STREETS (PARK LANE)	20 FEET
SIDE YARD	20 FEET
<b>BUILDING HEIGHT</b>	
MAXIMUM BUILDING HEIGHT ALLOWED	45 FEET
BUILDING HEIGHT PROPOSED	26.5 FEET

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S43°31'00"W	60.96
L2	S33°28'36"W	12.00
L3	S32°54'54"W	30.80
L4	N8°42'30"W	248.39
L5	N64°50'00"E	133.87
L6	S64°12'19"E	148.89
L7	S52°28'42"E	127.54
L8	S43°07'41"E	47.03

**CURVE TABLE**

CURVE	ARC	RADIUS	CHORD	BEARING
C1	99.49	142.00	99.30	S48°00'00"W
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**PLAN NOTES**

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2. All existing / new plantings and lawn are to be automatically irrigated with 100% coverage and controlled with a 'rain sensor.'
3. All existing / new plantings as well as unplanted areas are to be covered with pine needle with a thickness of no less than four inches.

**Jackson & Small Associates**  
Landscape Architecture

Alan H. Jackson, Ilc  
Island Postal Center  
13 Bow Circle, PMB 209  
Hilton Head Island, SC 29928  
843-338-3017 [ajax16@mac.com](mailto:ajax16@mac.com)

Michael S. Small, Ilc  
PO Box 1788  
Tybee Island, GA 3132  
912-704-1118  
[michaelsmall.asia@gmail.com](mailto:michaelsmall.asia@gmail.com)

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

SC LAR LICENSE NUMBER 348

**CONCEPTUAL LANDSCAPE DEVELOPMENT PLAN**  
SCALE: 1" = 20' - 0"

**EcoWise Civil Design and Consulting, Inc.**  
P.O. BOX 921503 NORCROSS, GA 30010  
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**Popeye's Louisiana Kitchen**  
FOR  
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73 SKULL CREEK DRIVE  
HILTON HEAD, SC 29926  
(210) 410-5668

TOWN OF HILTON HEAD  
BEAUFORT COUNTY  
SOUTH CAROLINA

15 PARK LANE

0 10' 20' 40' 60'

SCALE: 1" = 20'  
DATE: NOV. 24, 2014  
PROJECT: 14-036

**REVISIONS:**

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-2	12/20/14	PL	TOWN & CLIENT COMMENTS

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12/30/14

SC LAR LICENSE NUMBER 348

**CONCEPTUAL LANDSCAPE PLAN**

**CLP 5**

SHEET TITLE AND NUMBER

**ADDRESSING NOTES:**

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	AS. JASMINE, DW. YALPON, EV. GIANT LROPE	500

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TOWN OF HILTON HEAD ISLAND  
 HILTON HEAD, SOUTH CAROLINA

SCALE: 1" = 20'  
 DATE: NOV. 24, 2014  
 PROJECT: 14-036

**REVISIONS:**

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12/30/14  
 SC LAR LICENSE NUMBER 348

**CONCEPTUAL LANDSCAPE PLAN**

**CLP 5**

SHEET TITLE AND NUMBER



**PLAN NOTES**

1. The site is to be graded to provide run-off to drain inlets and / or swales as needed to prevent ponding or erosion.
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 Landscape Architecture

Alan H. Jackson, Jr.  
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 843-338-3017 alan@jacksonsmall.com

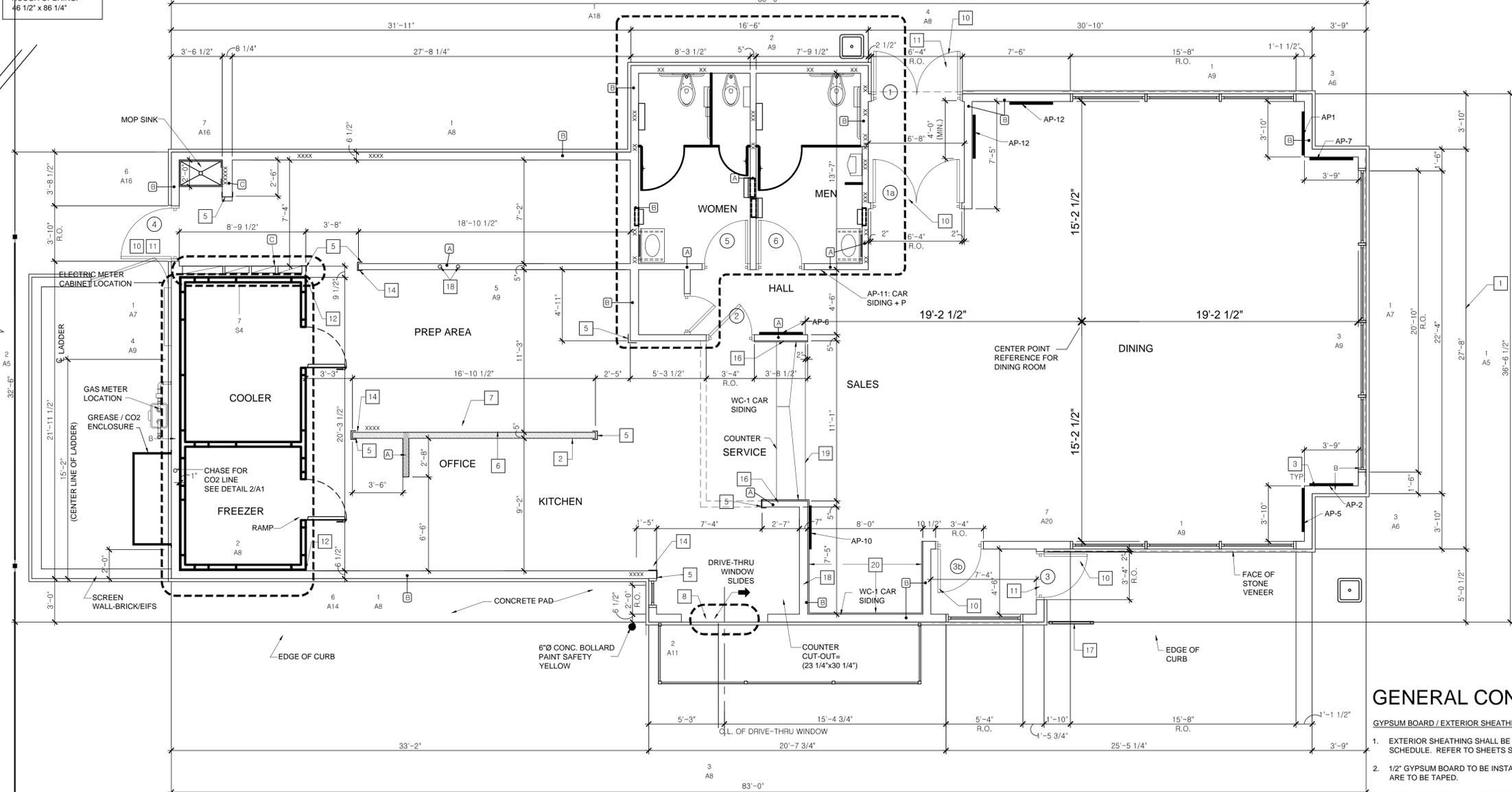
Michael S. Small, Jr.  
 PO Box 1788  
 Tybee Island, GA 31322  
 912-704-1118  
 michael@jacksonsmall.com

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SOUTH CAROLINA TEMPORARY COA  
 PERMIT NO. 20140017 ISSUED NOV. 10, 2014

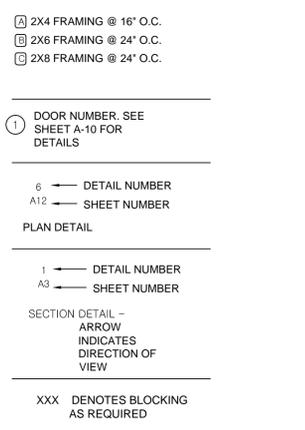
**CONCEPTUAL LANDSCAPE DEVELOPMENT PLAN**  
 SCALE: 1" = 20' - 0"

NOTE:  
LOCKNET DOOR (4)  
ROUGH OPENING:  
46 1/2" X 86 1/4"



1 FLOOR PLAN  
1/4"=1'-0"

FRAMING SYMBOLS



CONSTRUCTION KEY NOTES

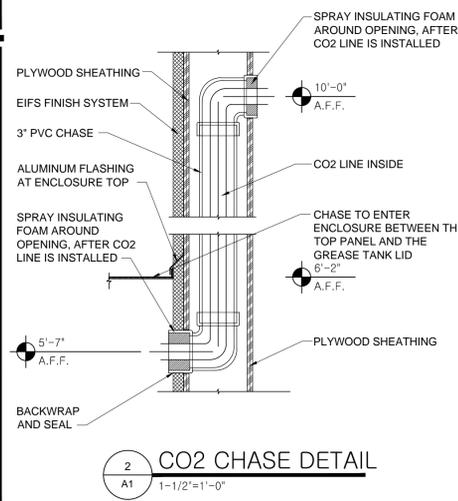
- DIMENSIONS ARE SHOWN:  
1) EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.  
2) INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL. U.N.O..
- INSTALL 3'-0" W X 8'-0" H X 18 GA STAINLESS STEEL PANEL BEHIND OVENS. REFER TO INTERIOR KITCHEN ELEVATIONS AND EQUIPMENT PLAN FOR EXACT LOCATION.
- ALL GYPSUM BOARD BELOW FINISHED CEILING HEIGHT IS TO BE PREPARED FOR PAINTING OR WALLCOVERING AS INDICATED ON INTERIOR ELEVATIONS AND FINISH SCHEDULE. SEE GEN. CONSTR. NOTES FOR DINING AREA
- DIVIDER WALL- FURNISHED WITH SEATING PACKAGE
- GENERAL CONTRACTOR (G.C.) TO PROVIDE 2"x2"x4'-0" HIGH CORNER GUARDS ON ALL OUTSIDE CORNERS @ KITCHEN WALL. PROVIDE COMPLETE WRAP ON END WALLS. - SEE DETAIL 2-A2.
- HOOD WALL TO BE CONSTRUCTED WITH 3/8"x16 GAUGE (GA.) METAL STUDS AT 24" o.c. AND 1/2" DURAROCK ON HOOD WALL SIDE.
- G.C. TO INSTALL 18 GA. STAINLESS STEEL PANELS ON WALL. REFER TO MECHANICAL HOOD DRAWINGS FOR PANEL SIZES.
- ELECTRIC DRIVE-THRU WINDOW SHOWN. G.C TO PROVIDE JUNCTION BOX UNDERNEATH THE WINDOW. VERIFY REQUIRED ROUGH-IN AND ELECT. REQUIREMENTS W/MANUF. DRAWINGS.
- HANDICAP ACCESS TO BUILDING IS DESIGNED ACCORDING TO APPLICABLE CODE. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.
- ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
- PROVISIONS FOR EXIT DISCHARGE LIGHTING ARE SHOWN ON THE LIGHTING PLAN.
- PROVIDE STAINLESS STEEL ENCLOSURE AT WALK-IN FREEZER AND COOLER CORNERS. SEE DETAILS SHEET A13.
- ALL GLAZING WITHIN A 24" ARC OF DOORS WHOSE BOTTOM IS LESS THAN 60" ABOVE THE FLOOR AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET.
- PORTABLE FIRE EXTINGUISHER PER NFPA-10 INSTALLED BY OTHERS ON SITE AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
- PROVIDE 1/2" PLYWOOD SHEATHING AT (3) PLYWOOD SHELVES AS DIMENSIONED ON ELEVATION 4/A9.
- SOLID SURFACE SPLASH GUARD.
- GUARDRAIL. SEE DETAIL 3/A2.
- SEE P1 SHEET FOR SODA LINE CHASES.
- WOOD HEADER ABOVE COUNTER STAINED TO MATCH CR-1 (SERVES AS BOUNDARY FOR CEILING CHANGE BETWEEN KITCHEN AND DINING).
- CERAMIC WALL TILE IF REQUIRED BY LOCAL CODE. COORDINATE WITH CORPORATE.

SPECIFICATIONS  
DIVISION 9: FINISHES

- SECTION 9A: GYPSUM WALLBOARD
- GENERAL PROVISIONS
- SCOPE: FURNISH AND INSTALL GYPSUM WALLBOARD AS A SUBSTRATE FOR OTHER FINISH MATERIALS ON ALL INTERIOR WALLS AND THE INTERIOR PORTIONS OF EXTERIOR WALLS. FURNISH AND INSTALL GYPSUM BOARD SUSPENDED CEILING WITH HANGERS AND SUPPORTS.
  - MATERIALS
1. MATERIAL NAMES ARE BASED ON A NATIONAL GYPSUM GOLD BOND STA-SMOOTH BEVEL EDGE SYSTEM. USE GOLD BOND OR EQUAL SYSTEM BY U.S. GYPSUM.
- WALLS (EXCEPT WHERE NOTED): 1/2" STA-SMOOTH GYPSUM WALLBOARD
- WALLS WHERE NOTED: 1/2" THICK TAPERED EDGE MR (MOISTURE RESISTANT) GYPSUM WALLBOARD
- DROPPED CEILING WHERE NOTED: 1/2" STA-SMOOTH GYPSUM WALLBOARD
- FIRE RATED WHERE NOTED OR REQUIRED BY CODE: 5/8 FIRE SHIELD (GYPSUM WALLBOARD)
- FASTENERS:
    - GWB-54 1-5/8" LONG ANNULAR RING SHANK NAILS MEETING THE REQUIREMENTS OF ASTM C-380.
    - 1-1/4" LONG TYPE-W DRYWALL SCREWS TO WOOD STUDS.
    - 1-1/4" LONG TYPE-S DRYWALL SCREWS TO INTERIOR METAL STUDS.
    - 1-1/4" LONG TYPE-S12 CORROSION RESISTANT SCREWS FOR EXTERIOR GYPSUM SHEATHING TO METAL STUDS.
  - JOINT TREATMENT COMPOUND SHALL BE READY MIXED. JOINT TAPE SHALL BE CROSS FIBERED, PERFORATED, FEATHER EDGED. CORNER BEADS SHALL BE GALVANIZED STEEL ROLL-FORMED U-SHAPED CHANNELS.
  - HANGERS AND SUPPORTS: 2X4 WOOD FRAMING. SUBSTITUTION: FOR STEEL TRUSS BUILDINGS 1-1/2" CARRYING CHANNELS, 3/4" FURRING CHANNELS, 8 GAGE HANGER WIRES, 16 GAGE TIE WIRES, AND 1" TYPE S SCREWS.
- PERFORMANCE
- INSTALLATION
    - CUTTING WALLBOARD: GYPSUM WALLBOARD SHALL BE CUT BY SCORING AND BREAKING, OR BY SAWING, WORKING FROM THE FACE SIDE. WHERE BOARD MEETS PROJECTING SURFACES, IT SHALL BE SCRIBED NEATLY.
    - INSTALLING WALLBOARD: GYPSUM WALLBOARD SHALL BE APPLIED AT RIGHT ANGLES TO FRAMING MEMBERS. BOARDS OF MAXIMUM PRACTICAL LENGTH SHALL BE USED SO THAT AN ABSOLUTE MINIMUM NUMBER OF END JOINTS OCCUR. WALLBOARD JOINTS AT OPENINGS SHALL BE LOCATED SO THAT NO END JOINT SHALL ALIGN WITH EDGES OF OPENINGS. END JOINTS SHALL BE STAGGERED.
    - FASTENING WALLBOARD: ATTACH WITH SCREWS OR NAILS SPACED APPROXIMATELY 8" o.c. THE NAILS SHALL BE DRIVEN HOME WITH THE HEAD SLIGHTLY BELOW THE SURFACE OF THE BOARD IN A DIMPLE FORMED BY THE DRIVING TOOL.
    - FASTENING EXTERIOR GYPSUM SHEATHING: ATTACH TO METAL STUDS WITH SCREWS @ 12" o.c. WITH HEAD FLUSH WITH SURFACE.
    - JOINTS FINISHING: JOINT COMPOUND, QUICK-TREAT, AND TOPPING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH PRINTED INSTRUCTIONS CONTAINED IN THE PACKAGE. A UNIFORMLY THIN LAYER OF JOINT COMPOUND SHALL BE APPLIED OVER THE JOINT UNDER THE TAPE TO PROVIDE PROPER BOND. CEILING AND WALL ANGLES AND INSIDE CORNER ANGLES SHALL BE REINFORCED WITH THE TAPE FOLDED TO CONFORM TO THE ANGLE AND EMBEDDED IN THE COMPOUND. AFTER THE COMPOUND IS THOROUGHLY DRY, APPROXIMATELY TWENTY FOUR (24) HOURS FOR REGULAR COMPOUND, 2-1/2 HOURS FOR QUICK TREAT, THE TAPE SHALL BE COVERED WITH A COAT OF JOINT COMPOUND OR TOPPING COMPOUND SPREAD OVER THE TAPE APPROXIMATELY 3" ON EACH SIDE OF TAPE, AND FEATHERED OUT AT THE EDGE. AFTER THOROUGHLY DRY, APPLY ANOTHER CROWN OVER JOINTS. THIS COAT SHALL BE SMOOTH AND THE EDGES FEATHERED APPROXIMATELY 3" BEYOND THE PRECEDING COAT. ALLOW EACH APPLICATION OF COMPOUND TO JOINTS AND NAIL HEADS TO DRY, THEN SAND IF NECESSARY. ALL WALLBOARD AND TREATED AREAS SHALL BE SMOOTH AND READY FOR PAINTING OR WALLCOVERING.

GENERAL CONSTRUCTION NOTES

- GYPSUM BOARD / EXTERIOR SHEATHING NOTES:
- EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD NAILED IN ACCORDANCE WITH THE STRUCTURAL NAILING SCHEDULE. REFER TO SHEETS S-4.
  - 1/2" GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR WALLS WHERE PLYWOOD IS NOT REQUIRED. ALL JOINTS ARE TO BE TAPED.
  - GYPSUM BOARD SHALL BE TYPE "WMR" IN ALL AREAS TO RECEIVE WALL TILE OR FRP PANELS.
  - WALLS TO RECEIVE TILE BASE SHALL HAVE 1/2" USG "DUROCK" INSTALLED TO 18" AFF.
- INSULATION NOTES:
- ALL EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MATCH DEPTH OF WALL CAVITY.
- KITCHEN WALL NOTES:
- PROVIDE 1/2" PLYWOOD FROM 1'-6" AFF TO 9'-6" AFF IN ALL KITCHEN WALLS.
  - PROVIDE 1/2" PLYWOOD FROM FLOOR TO 3'-2" AFF AT INTERIOR TOILET ROOM WALLS.
- DINING AREA NOTES:
- PLASTIC LAMINATE TO ADHERE TO 1/2" PLYWOOD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF.
  - VINYL WALL COVERING ON 1/2" GYPSUM BOARD.
- BLOCKING NOTES:
- "xxxxxxx" INDICATES BLOCKING REQUIRED IN WALL FOR PLUMBING LINES AND RESTROOM ACCESSORIES. BLOCKING SHALL BE FIRE RETARDANT WHERE REQUIRED BY CODE.
  - CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURERS' CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES KITCHEN EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.
- FRAMING NOTES:
- CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL, AND SOFFIT FRAMING. WHERE USED, METAL FRAMING TO BE 25 GA. UNLESS NOTED OTHERWISE (U.N.O.).
  - REFER TO FRAMING NOTES FOR WALL SECTIONS.
  - ALL INTERIOR WOOD FRAMING TO BE #2 SPRUCE, FIR OR WHITE PINE. WHERE REQUIRED BY CODE, FRAMING SHALL BE #2 FIRE RETARDANT YELLOW PINE. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING.
  - ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESSURE TREATED.
  - ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS U.N.O.
  - ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ 5/8" DIA. EXPANSION ANCHORS AT 6'-0" O.C. SEE STRUCTURAL DWGS. FOR SHEAR WALL ANCHORS.



2 CO2 CHASE DETAIL  
1-1/2"=1'-0"

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POPEYES

POPEYES LOUISIANA KITCHEN  
15 PARK ALLE  
HILTON HEAD, S.C.

PROJECT NUMBER  
SCALE  
AS SHOWN  
A1  
DATE OF ORIGINAL ISSUE  
11/12/2014

# SPECIFICATIONS:

## DIVISION 7: THERMAL AND MOISTURE PROTECTION

GENERAL PROVISION  
SECTION 70: SHEET METAL WORK

1. SCOPE: FURNISH AND INSTALL GRAVEL STOPS, FLASHING, PARAPET CAP, DOWNSPOUTS, AND GUTTERS.

A. ROOFING MEMBRANE FLASHING IS INCLUDED IN SECTION 7B: MEMBRANE ROOFING.

MATERIALS  
1. MATERIALS SHEET METAL: .032 ALUMINUM.  
2. NAIL FASTENERS: 1 3/4" X 11 GAUGE GALVANIZED, STAINLESS STEEL, OR ALUMINUM ROOFING NAILS MAY BE USED FOR FASTENERS INTO WOOD WHEN CONCEALED ONLY.  
3. WASHERS: NEOPRENE  
4. SCREW FASTENERS: CORROSION-RESISTANT, SELF-TAPPING, HEX HEAD SCREW, 1/4" MINIMUM DIAMETER WITH SUFFICIENT LENGTH TO PENETRATE 1" MINIMUM INTO WOOD OR 1/2" MINIMUM INTO STEEL. PROVIDE NEOPRENE SEALING WASHER FOR EXPOSED FASTENING.

PERFORMANCE  
1. INSTALLATION: EXPOSED FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS. VERIFY WITH POPEYES REPRESENTATIVE.

SECTION 7D: STANDING SEAM CANOPY

PART 1 - GENERAL  
1.0 SUBMITTALS  
A. SUBMIT FOR APPROVAL SAMPLES, SHOP DRAWINGS, PRODUCT DATA.  
QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS, DELIVER, HANDLE, STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

WARRANTY  
METAL ROOF SYSTEM MANUFACTURER, UPON FINAL ACCEPTANCE FOR PROJECT, FURNISH A WARRANTY COVERING BARE METAL AGAINST RUPTURE, STRUCTURAL FAILURE AND PERFORATION DUE TO NORMAL ATMOSPHERIC CORROSION EXPOSURE FOR A PERIOD OF 20 YEARS.

PART 2 - PRODUCTS (UC-4 SERIES, AS MANUFACTURED AND SPECIFIED BY UNA-CLAD, METAL ROOF SYSTEMS.)

2.0 MATERIALS  
A. METAL ROOF SYSTEM PROFILE:  
1. UC-4 "NO CLIP", 1 1/2" HIGH BATTENS x 12" RIB TO RIB. (SMALL BATTEN-SB)  
2. CONCEALED FASTENER  
B. GAUGE:  
1. .026 GAUGE - STEEL  
C. TEXTURE:  
1. SMOOTH  
D. FINISH:  
1. PREMIUM FLUOROCARBON COATING PRODUCED WITH KYMAR 600 OR HYLAR 5000 RESIN (20 YEAR WARRANTY.)  
E. MANUFACTURER:  
1. UNA-CLAD OR EQUAL.

PART 3 - EXECUTION  
3.0 INSTALLATION  
A. COMPLY WITH SMOCKA SHEET METAL MANUAL RECOMMENDATIONS. COMPLY WITH ACCESSORY MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE INSTALLATION WITH ROOFING SYSTEM TO ENSURE WEATHERTIGHT PERFORMANCE.  
B. ANCHOR SECURELY TO STRUCTURE TO WITHSTAND INWARD AND OUTWARD LOADS.  
C. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.

## DIVISION 9: FINISHES

SECTION 9G: EIFS

PART 1 GENERAL  
1.01 DESCRIPTION  
A. DESIGN REQUIREMENTS: THE STRUCTURAL WALL SYSTEM TO WHICH THE EIFS IS ATTACHED SHALL MEET L/240 MAXIMUM ALLOWABLE DEFLECTION CRITERIA AND APPLICABLE BUILDING CODE REQUIREMENTS.

1.02 SUBMITTALS  
A. SUBMIT SAMPLES FOR APPROVAL AS DIRECTED BY OWNER.

1.03 DELIVERY, STORAGE AND HANDLING  
A. ALL EIFS MATERIALS SHALL BE DELIVERED IN THEIR ORIGINAL SEALED CONTAINERS BEARING MANUFACTURER'S NAME AND IDENTIFICATION OF PRODUCT WITH WRITTEN APPLICATION INSTRUCTIONS AND APPROPRIATE HEALTH, HAZARD, AND SAFETY DATA.  
B. ALL EIFS READY-MIXED MATERIALS SHALL BE PROTECTED FROM EXTREME HEAT, SUN AND FROST. FACTORY PROPORTIONED BAGGED MATERIALS SHALL BE STORED OFF THE GROUND AND PROTECTED FROM MOISTURE.

1.04 JOB CONDITIONS  
A. ALL EIFS MATERIALS SHALL NEVER BE APPLIED IF AMBIENT AND SURFACE TEMPERATURES CANNOT BE KEPT ABOVE 40° F DURING APPLICATION AND DRYING PERIOD. FOR INSTALLATION IN TEMPERATURES LESS THAN 40° F SUPPLEMENTARY HEAT SHALL BE PROVIDED. THE INSTALLED EIFS MATERIALS SHALL BE PROTECTED FROM EXPOSURE TO RAIN AND FREEZING UNTIL DRY.

1.11 WARRANTY  
A. PROVIDE MANUFACTURER'S STANDARD LABOR AND MATERIAL WARRANTY.

PART 2 PRODUCTS  
2.01 MANUFACTURERS  
A. STO CORP.  
B. DRYVIT SYSTEMS, INC.

2.02 ADHESIVES  
A. DISPERSION ADHESIVE - NONCEMENTITIOUS, ACRYLIC BASED ADHESIVE.

2.03 INSULATION BOARD  
A. NOMINAL 1.0 lb/cubic feet (16 kg/cubic meter) EXPANDED POLYSTYRENE (EPS) INSULATION BOARD IN COMPLIANCE WITH ASTM C 578 TYPE I REQUIREMENTS, AND EIMA GUIDELINE SPECIFICATION FOR EXPANDED POLYSTYRENE (EPS) INSULATION BOARD.

2.04 BASE COAT  
A. ONE-COMPONENT POLYMER MODIFIED CEMENTITIOUS BASE COAT WITH FIBER REINFORCEMENT AND LESS THAN 33% PORTLAND CEMENT CONTENT BY WEIGHT.

2.05 REINFORCING MESHES  
A. STANDARD MESH  
1. STO MESH - NOMINAL 4.5 oz/sq.yd. (163 g/sq.meter), SYMMETRICAL, INTERLACED OPEN-WEAVE GLASS FIBER FABRIC MADE WITH MINIMUM 25 PERCENT BY WEIGHT ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS.  
B. HIGH IMPACT MESH  
1. STO INTERMEDIATE MESH (MESH C) - NOMINAL 11.0 oz/sq.yd. HIGH IMPACT, INTERWOVEN, OPEN WEAVE GLASS FIBER FABRIC WITH ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS.

2.06 PRIMER  
A. STO PRIMER  
ACRYLIC BASED PRIMER (FOR STO ACRYLIC BASED FINISHES)

2.07 FINISH COAT  
A. STO ACRYLIC BASED TEXTURED WALL COATING. SEE E.I.F.S. FORMULAS FOR FINISH COLOR.

2.08 JOB MIXED INGREDIENTS  
A. PORTLAND CEMENT: ASTM C 150, TYPE I.  
B. WATER: CLEAN AND POTABLE.

### PART 3 EXECUTION

A. UNDER NO CIRCUMSTANCES SHALL ANY OF THE PRODUCTS BE ALTERED BY ADDING ANY ADDITIVES, EXCEPT FOR SMALL AMOUNTS OF CLEAN WATER AS DIRECTED ON LABEL. ANTIFREEZE, ACCELERATORS, RAPID BINDERS, ETC., ARE FORBIDDEN.

B. THE SURFACE TO RECEIVE THE EIFS SHALL BE STRUCTURALLY SOUND, CLEAN, DRY AND FREE OF WARPAGE, RESIDUAL MOISTURE OR DAMAGE FROM MOISTURE. SURFACES SHALL BE UNIFORM, WITH NO IRREGULARITIES GREATER THAN 1/8" IN 4'-0". SURFACES SHALL BE INSPECTED FOR COMPLIANCE WITH THE FOLLOWING REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS:

1. PLYWOOD SHEATHING SHALL MEET A.P.A. (AMERICAN PLYWOOD ASSOCIATION) REQUIREMENTS FOR EXTERIOR OR EXPOSURE 1 CLASSIFICATION. APA DESIGN AND CONSTRUCTION GUIDELINES SHALL BE FOLLOWED FOR STORAGE, HANDLING AND INSTALLATION. MANUFACTURER'S PUBLISHED RECOMMENDATIONS SHALL BE FOLLOWED FOR STORAGE, HANDLING, STORAGE, HANDLING, INSTALLATION AND PROTECTION. ANY SHEATHING NOT IN COMPLIANCE SHALL BE REPLACED TO CONFORM WITH SPECIFICATION REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS.

2. CONCRETE, MASONRY OR PLASTER SURFACES SHALL BE PROPERLY CURED AND FREE OF DIRT, DUST, OIL, GREASE, MILDEW, FUNGUS, LATENCY, PAINT, EFFLORESCENCE AND ANY OTHER CONTAMINANT. ANY SURFACES NOT IN COMPLIANCE SHALL BE CORRECTED PER MANUFACTURER'S INSTRUCTIONS.

C. AFTER SATISFACTORY INSPECTION OF SURFACES AND CORRECTION OF ANY DEVIATIONS FROM SPECIFICATION REQUIREMENTS, THE EIFS INSTALLATION MAY BEGIN PER MANUFACTURER'S INSTRUCTIONS.  
D. THE STARTER STRIP OF MESH SHALL BE WIDE ENOUGH TO ADHERE 4" OF MESH ONTO THE WALL. BE ABLE TO WRAP AROUND THE BOARD EDGE AND COVER APPROXIMATELY 4" ON THE OUTSIDE SURFACE OF THE BOARD. THIS "BACKWRAP" PROCEDURE SHALL BE FOLLOWED AT ALL EXPOSED BOARD EDGES IN ACCORDANCE WITH DETAILS (EXAMPLE-WINDOW AND DOOR HEADS AND JAMBS).

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.

E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD, STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.

F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.

G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD BACKWRAPPING PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.

H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.

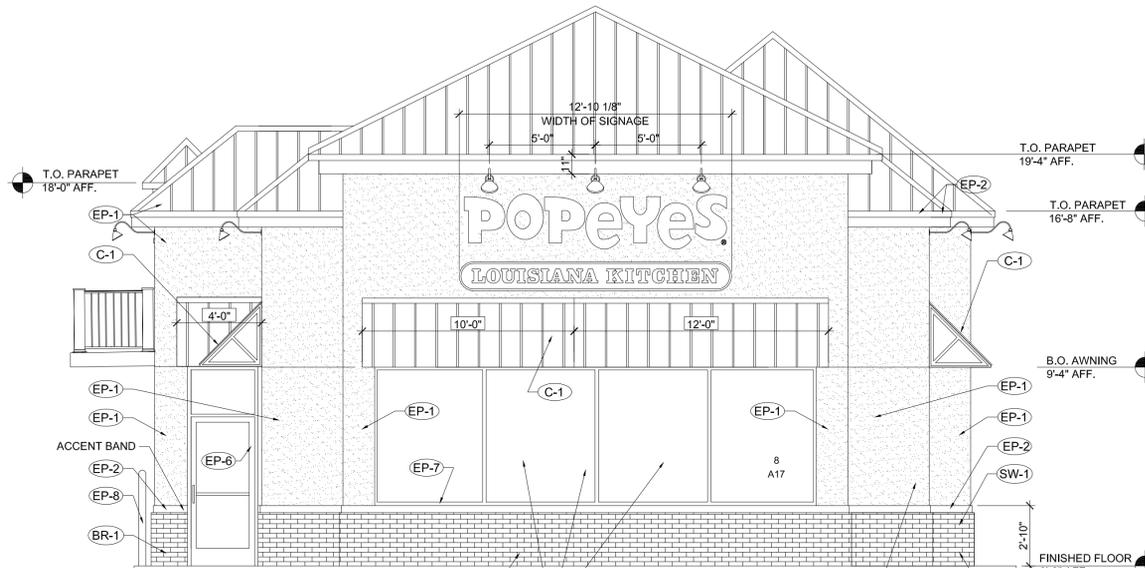
I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16" WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2-1/2" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED. ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.

J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:

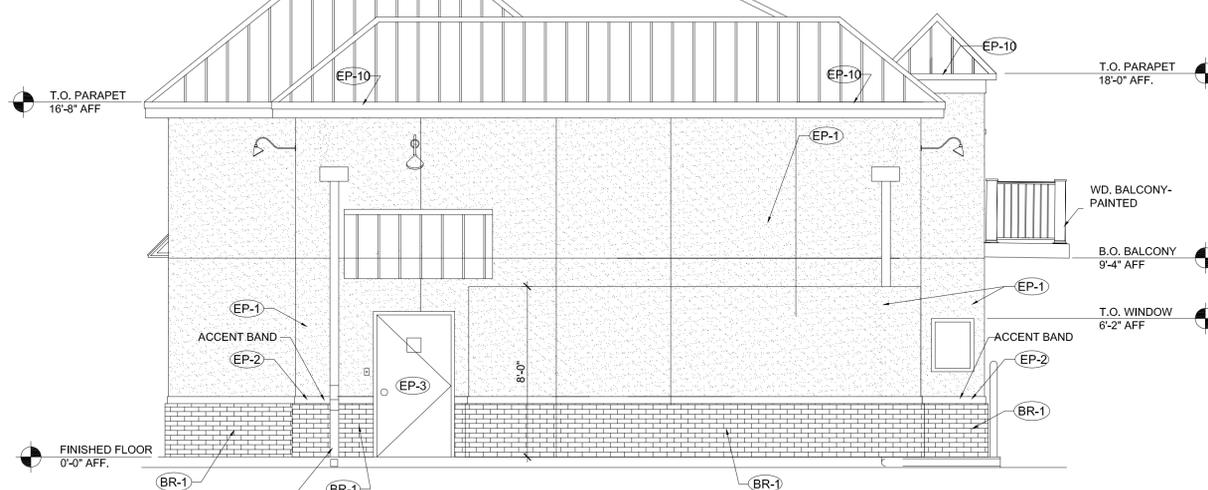
1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STIR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.

5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.

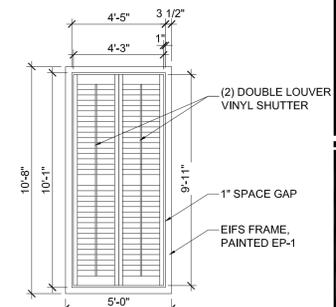
L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE, USING STO INTERMEDIATE MESH. USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.



1 NORTH ELEVATION  
A5 1/4"=1'-0"



2 SOUTH ELEVATION  
A5 1/4"=1'-0"



3 SHUTTER DETAIL  
A5 1/4"=1'-0"

### EXTERIOR FINISH NOTES

E.I.F.S. WALL TEXTURE FINISH	
Manuf.	Texture
STO	STO ESSENCE SWIRL for GOLDEN, BROWN COLOR
STO	STOLTIT 130D, FINE SAND for RED COLOR
DRYVIT	QUARTZ PUTZ

FINISH NOTES	
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:	
*	STANDING SEAM ROOF
*	D/I/ WINDOW CANOPY RAILING
*	CLEARANCE BAR
*	MENU CANOPY
*	GUARD RAIL
*	AWNINGS
*	SHUTTERS

Popeyes LK - Exterior Finish Schedule						
New Construction and Reimaging						Update: 12/15/2014
Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE ACCENT TRIM	STO / DRYVIT / BENJAMIN MOORE	PAINT / EIFS FORMULA	#2158-50	MANILLA	185
EP-2	ACCENT TRIM	BENJAMIN MOORE	EIFS / METAL / PAINT	#2091-20	RUSTIC BRICK	185
EP-3	WANTSOT BELOW ACCENT TRIM	CHEROKEE BRICK & TILE CO.	BRICK	63-05-203	VELOUR BROWN	MODULAR
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	12" VINYL SHUTTERS	L2-VINYL	RAINFORREST FOLIAGE	185
EP-5	BALCONY AND RAILINGS	RAILING VENDOR / FYPON	PAINT	#2158-50	MANILLA	SMOOTH
EP-10	PARAPET CAP	STO / DRYVIT / BENJAMIN MOORE	EIFS / METAL / PAINT	#2158-60	LION YELLOW	185
EP-6	STOREFRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#YBSN	DARK BRONZE	21-28 DAYS
EP-6	STOREFRONT GLAZING	BENJAMIN MOORE	METAL / PAINT	#64	RM BRONZETONE	M29
EP-7	DUMPSTER WALLS/GATES	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	M29
EP-8	BOLLARDS	BENJAMIN MOORE	METAL / PAINT	RM SAFETY YELLOW	RM SAFETY YELLOW	M29
EP-9	ANTI-GRAFFITI	BENJAMIN MOORE	PAINT	ALIPHATIC ACRYLIC URETHANE	CLEAR GLOSS	M74-00M75
C-1	STANDING SEAM CANOPY	BENJAMIN MOORE	PAINT	#2040-10	RAINFORREST FOLIAGE	185

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POPEYES

POPEYES LOUISIANA KITCHEN  
15 PARK ALNE  
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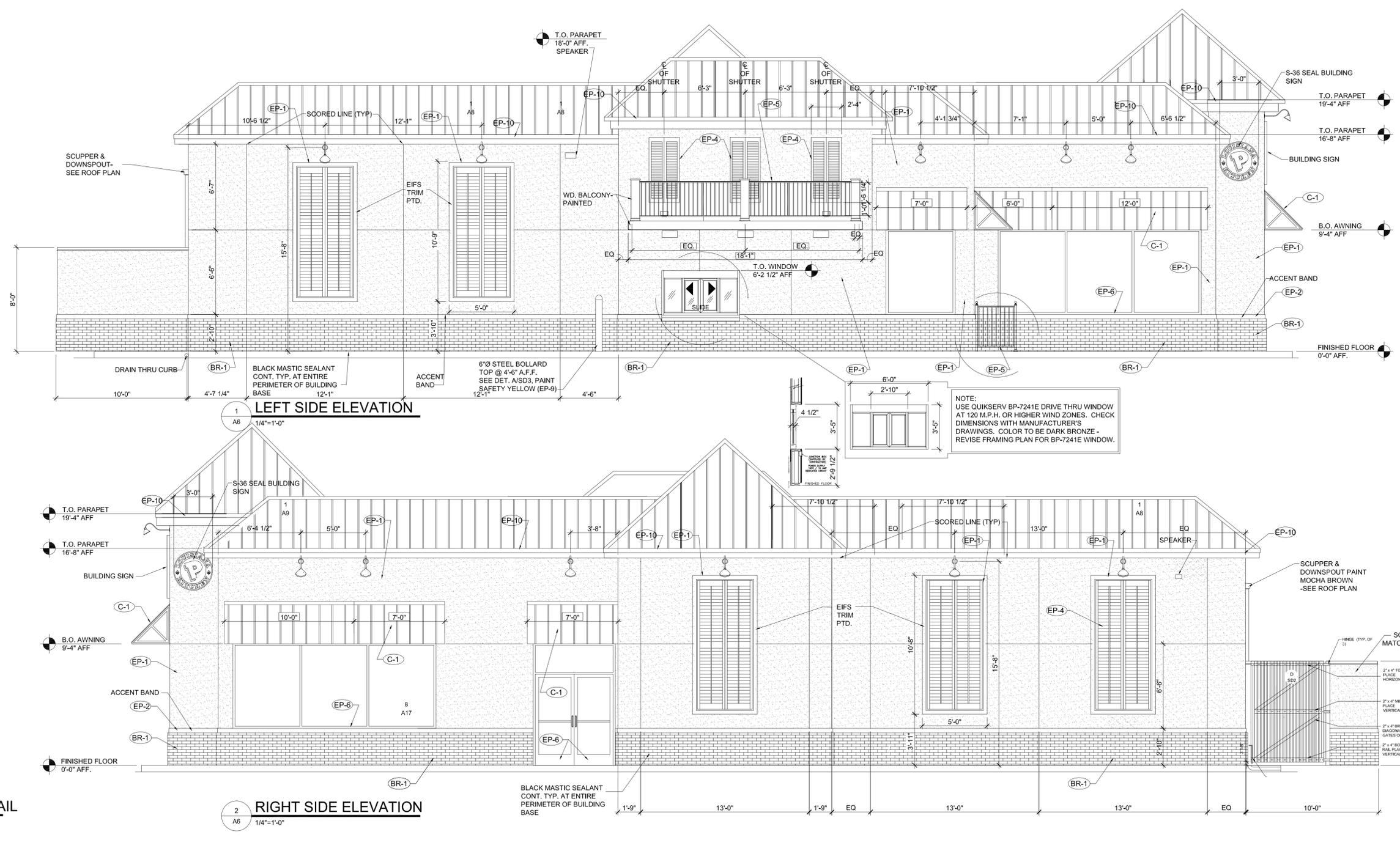
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POPEYES LOUISIANA KITCHEN  
15 PARK ALNE  
HILTON HEAD, S.C.



3 GUARD RAIL DETAIL  
A6 1/4"=1'-0"

4 STOREFRONT DETAIL  
A6 1/4"=1'-0"

**SPECIFICATIONS**

**SECTION 8A: ALUMINUM ENTRANCE, STOREFRONT**  
GENERAL PROVISIONS  
SCOPE: FURNISH AND INSTALL THE ALUMINUM ENTRANCE AND STOREFRONT SYSTEMS PER NATIONAL ACCOUNTS AND APPLICABLE DRAWINGS.  
MATERIALS  
1. ALUMINUM STOREFRONT AND ENTRANCE FRAMES: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.  
2. ALUMINUM ENTRANCE DOORS: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.  
3. PANIC HARDWARE: WHEN PANIC HARDWARE IS REQUIRED ON EXTERIOR DOORS, THE PANIC DEVICE IS ON EXTERIOR ENTRY DOORS WHEN SPECIFIED IN HARDWARE SCHEDULE.  
4. DRIVE-THRU SERVICE WINDOW: THE DRIVE-THRU SERVICE WINDOW WILL BE SUPPLIED & INSTALLED BY G.C. VERIFY EXACT TYPE OF WINDOW WITH PLANS. BRONZE FINISH.  
WINDOW TO BE:  
A. BASE BID - QUICK SERV M.C.E. WINDOW FLUSH MOUNT.  
B. OPTION (VERIFY WITH OWNER) - READY ACCESS  
5. MISCELLANEOUS FLASHING/TRIM: ALUMINUM HEAD, SILL, COLUMN AND WALL TRIM. SEE EXTERIOR ELEVATIONS FOR FINISH.  
PERFORMANCE  
1. INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. PLACE IN CORRECT LOCATION AS SHOWN IN THE DETAILS. LEVEL, SQUARE, AND PLUMB AT PROPER ELEVATIONS AND IN ALIGNMENT WITH OTHER WORK. MAINTAIN SPACE IN HEAD POCKET FOR 1/4" HEAD DEFLECTION. INSURE FRAMING PROFILES MEET INSTALLATION REQUIREMENTS OF GLAZING UNITS TO MAINTAIN WARRANTY. SEE SECTION 8D: GLAZING.

**SECTION 8D: GLAZING**  
GENERAL PROVISIONS  
1. SCOPE: FURNISH AND INSTALL GLASS IN STOREFRONT AND DRIVE-THRU SERVICE WINDOW.  
2. QUALITY CONTROL: ALL GLASS BROKEN DURING INSTALLATION OR DURING CONSTRUCTION PRIOR TO FINAL DELIVERY OF THE BUILDING TO THE OWNER SHALL BE REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER. GLASS SHOULD BE DELIVERED WITH LABELS PROMINENTLY DISPLAYED AND THEY SHALL BE LEFT IN PLACE UNTIL THE OWNER'S REPRESENTATIVE INSPECTS IT.  
MATERIALS  
1. STOREFRONT GLAZING - REFER TO CONSTRUCTION DRAWINGS AND NOTES.  
PERFORMANCE  
1. INSTALLATION: INSTALL GLAZING WITH MANUFACTURER'S INSTRUCTIONS TO PROVIDE COMPLIANCE WITH LOCAL CODE REQUIREMENTS INCLUDING WIND RESISTANCE, 25 PSF MIN., SNOW LOAD, 20 PSF MIN. GLAZING PANELS SHALL BE INSTALLED.  
ULTRA VIOLET DEGRADATION LEVELS ARE TO MEET MANUFACTURER'S REQUIREMENTS TO VALIDATE MATERIALS REPLACEMENT WARRANTY.  
2. ALLOW FOR 1/4" MINIMUM HEAD DEFLECTION DUE TO LIVE LOAD.  
3. GUARANTEES AND WARRANTIES: AT THE COMPLETION OF THE GLAZING, PROVIDE THE INSTALLATION WATERTIGHT BY SPRAYING ALL JOINTS WITH A GARDEN HOSE WITH NOZZLE SET FOR MAXIMUM PRESSURE. PROVIDE ADDITIONAL CAULKING OR SEALANT, OR RESET GLASS AS NECESSARY TO EFFECT A WATERTIGHT JOB.

**EXTERIOR FINISH NOTES**

E.I.F.S. WALL TEXTURE FINISH	
Manuf.	Texture
STO	STO ESSENCE SWIRL
DRYVIT	QUARTZ PUTZ

**FINISH NOTES**  
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:

- STANDING SEAM ROOF
- DIT WINDOW CANOPY RAILING
- CLEARANCE BAR
- MENU CANOPY
- GUARD RAIL
- AWNINGS
- SHUTTERS

THE FOLLOWING COMPONENTS TO BE MANUFACTURED AND INSTALLED BY THE GENERAL CONTRACTOR

- LADDER
- DUMPSTER GATES

**Popeyes LK - Exterior Finish Schedule**  
New Construction and Reimaging  
Update: 12/15/2014

Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE ACCENT TRIM	STO / DRYVIT / BENJAMIN MOORE	PAINT / EIFS FORMULA	#2158-50	MANILLA	185
EP-2	ACCENT TRIM	EIFS / METAL / PAINT		#2091-20	RUSTIC BRICK	185
EP-3	WAINSCOT BELOW ACCENT TRIM	CHEROKEE BRICK & TILE CO.	BRICK	53-05-203	VELOUR BROWN	MODULAR
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	12" VINYL SHUTTERS	L2-VBNVL	RAINFORREST FOLIAGE	185
EP-5	BALCONY AND RAILINGS	RAILING VENDOR / FYRON	PAINT	#2158-50	MANILLA	SMOOTH
EP-10	PARAPET CAP	STO / DRYVIT / BENJAMIN MOORE	EIFS / METAL / PAINT	#2158-40	LION YELLOW	185
EP-6	STOREFRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#1B5H	DARK BRONZE	21-28 DAYS
EP-6	STOREFRONT GLAZING	BENJAMIN MOORE	METAL / PAINT	#64	RM BRONZETONE	M29
EP-7	DUMPSTER WALLS/GATES	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	M29
EP-8	BOLLARDS	BENJAMIN MOORE	METAL / PAINT	RM SAFETY YELLOW	RM SAFETY YELLOW	M29
EP-9	ANTI-GRAFFITI	BENJAMIN MOORE	PAINT	ALIPHATIC ACRYLIC URETHANE	CLEAR GLOSS	M74-00/M75
C-1	STANDING SEAM CANOPY	BENJAMIN MOORE	PAINT	#2040-10	RAINFORREST FOLIAGE	185

# POPEYES HILTON HEAD, SC.



NORTH ELEVATION



SOUTH ELEVATION

# POPEYES HILTON HEAD, SC.



WEST ELEVATION



EAST ELEVATION

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

**PROJECT NAME:** Popeye’s Louisiana Kitchen – NEW DEVELOPMENT-  
CONCEPTUAL

**DRB#:** DRB-002341-2014

**DATE:** January 13, 2015

**RECOMMENDATION:** Approval  Approval with Conditions  Denial

**RECOMMENDED CONDITIONS:**

- 1) Suggest restudy of amount of pavement and smoothing the edge of pavement.
- 2) Consider pedestrian connections between bike path, mulch walking path, and building.

<b>ARCHITECTURAL DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building materials include EFIS, brick, vinyl shutters, aluminum storefront, glass, and metal roof. Building colors are cream, brick red, brown, and dark green.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider clustering “evergreen shrub” more in side buffer (near north east property line).
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site’s structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recommend additional landscaping (if none existing) between property line and parking (along south west property line).
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Mostly evergreen with some color accents.
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	T.B.D.
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

Location of bike rack may not be compliant with LMO. This will be reviewed by Development Review & Zoning.