



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, January 27, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of January 13, 2015
6. **Staff Report**
7. **Board Business** – Hilton Head Island Design Guide update
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. **New Development** – Final
 - 1) DRB-000068-2015 – 1st Tee Boys and Girls Club
11. **Appearance by Citizens**
12. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, January 13, 2015 Meeting
1:15p.m. – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Ron Hoffman, Galen Smith,
Dale Strecker, Kyle Theodore and Brian Witmer

Board Members Absent: Vice Chairman Jake Gartner

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Teri Lewis, LMO Official
Anne Cyran, Senior Planner
Nicole Dixon, Senior Planner
Richard Spruce, Plans Examiner
Charles Cousins, Director Community Development
Brian Hulbert, Staff Attorney
Kathleen Carlin, Administrative Assistant

1. Call to Order

Chairman Sodemann called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

The Board **approved** the agenda as submitted by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the December 9, 2014 meeting as amended by general consent.

6. Staff Report

None

7. Board Business

Public Comment regarding the update of the Hilton Head Island Design Guide

Ms. Ray stated that the Hilton Head Island Design Guide is due for an update. The Design Guide was published in August 2003 and has not been updated since that time. "Island Character" has not changed since 2003 nor have the goals of the Design Guide. The intent of the update is to clarify some items that the staff believes can be better communicated to the public. The staff recommends that additional photos and additional examples be included in the updated Design Guide. The staff also recommends that some references regarding what has changed in the new LMO be included in the Design Guide.

Ms. Ray presented a brief overhead review of the current Design Guide. Sustainability is an important element that needs to be included in the Design Guide. The landscaping section should include an extensive list of native plants as well as the requirements for native plants in certain areas. Lighting should include a list of DRB pre-approved lighting fixtures. The staff believes that the sections on site design, landscape, architecture, and accessory construction should remain in the Design Guide and be updated as appropriate.

The process today is to request public comments on the Design Guide. The Town's website also contains a link for public comments. When public comments have been received by the staff, within the next two weeks, staff will bring the comments back to the Board for their review. Following a final review of the updated Design Guide by the Board, the Design Guide will be forwarded to Town Council for their consideration. Following the staff's presentation, Chairman Sodemann requested public comments on the Design Guide and the following were received:

(1) Ms. Susan Murphy, representative of the Audubon Conservation Committee, encouraged the Board to include environmental issues such as air and water quality, wildlife preservation, and the preservation of tree canopies; (2) Mr. Frank Babel, Hilton Head Island Bicycle Advisory Committee, encouraged the Board to include guidelines for bike racks and bike parking, especially in commercial areas; (3) Mr. Harvey Geiger presented comments in concern of roadway safety issues and vegetative design issues at traffic circles; (4) Mr. Dave DesJardins presented statements in concern of safety issues related to the airport's flight path including the removal of trees; (5) Truitt Rabun, Truitt Rabun Associates, presented statements regarding the need to incorporate a set of guidelines that addresses uniformity in the public realm, site lighting standards including LED, maintenance within the public domain, and flood insurance rate maps; (6) Mr. Peter Ovens presented statements regarding the need for neighbor notification for Design Review Board submittals.

Following the receipt of all public comments, Ms. Ray requested comments from the Board on the Design Guide and none were received. Chairman Sodemann encouraged the Board to forward any comments or recommendations that they may have to staff via the Town's website.

8. Old Business

None

9. Unfinished Business

None

10. New Business

A. Alteration/Addition

1. South State Bank (100 Exchange Street) - DRB-002295-2014

Ms. Ray introduced the application and stated its location, 100 Exchange Street. The applicant proposes to repaint the existing building. Ms. Ray presented an in-depth overhead review of the application including an aerial photo of the site, a site analysis, and several photos showing the existing conditions.

The existing building is beige stucco with a burgundy storefront. The neighboring buildings on Exchange Street and Main Street are a similar color, light beige stucco with light trim. The applicant proposes to paint the walls "Revere Pewter", which is very similar to the existing color. The proposed accent color for the storefront is "Glacier White" instead of burgundy. Ms. Ray distributed hard samples of the proposed colors to

the Board for their review. The proposed colors are in context with the neighborhood and in keeping with the Design Guide.

Ms. Ray stated that the Palmetto Hall Commercial ARB has reviewed and approved the project as submitted. The staff recommended that the project be approved as submitted. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Glenn Dill, representative of Cambridge Building Corporation, presented statements in support of the application. The Board discussed the project. The Board stated concern that the "Glacier White" trim color may be too white for the project. The Board recommended that either "Grande Teton White" or "Lancaster Whitewash" be used instead of "Glacier White". Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Strecker made a **motion** that application DRB-002295-2014 be **approved** with the condition that "Glacier White" be replaced with either "Grand Teton White" or "Lancaster Whitewash" for the trim color. Mrs. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

2. **South State Bank (2 Palmetto Bay Road)** - DRB-002296-2014

Ms. Ray introduced the application and stated its location, 2 Palmetto Bay Road. The applicant proposes to re-paint the exterior of the building located at the intersection of Sea Pines Circle, Palmetto Bay Road, and Dunnagan's Alley.

Ms. Ray presented an in-depth overhead review of the application including an aerial photo, a site analysis and photos of existing conditions. This application is very similar to the previous application. The existing building is beige stucco with burgundy storefront. The surrounding buildings are similar beige stucco; however, some of the buildings have a bronze storefront instead of a burgundy storefront.

The applicant is proposing "Revere Pewter" for the walls and "Glacier White" for the trim and storefront. The proposed colors are in keeping with the Design Guide. The Sea Pines Commercial ARB has reviewed and approved the project as submitted. The staff recommends that the project be approved as submitted. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation. Mr. Glenn Dill, representative of Cambridge Building Corporation, presented brief comments in support of the application.

As with the previous application, the Board stated their concern that "Glacier White" may be too white for the trim of the building. The Board recommended that either "Grande Teton White" or "Lancaster Whitewash" be used instead. The Board also presented comments regarding the color of the screened service area. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mrs. Theodore made a **motion** that application DRB-002296-2014 be **approved** with the following conditions: (1) "Lancaster Whitewash" or "Grand Teton White" is to be used instead of "Glacier White" for the trim color; (2) the screened service area is to be painted "Revere Pewter". Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

3. **H&H Auto Body** - DRB-002299-2014

Ms. Ray introduced the application and stated its location, 17 Cardinal Road. The applicant is proposing a 1,750 sq. ft. single story addition to the existing single story metal building. The site is zoned Light Industrial.

Ms. Ray presented an in-depth overhead review of the application including a site analysis and photos of existing site conditions. The site plan shows the location of the proposed addition as well as the location of the existing building. The design, colors and the materials will match the existing. Ms. Ray stated that there are no changes to the right side elevation or to the front elevation. The rear elevation indicates that the roof pitch continues on to the addition.

Ms. Ray stated that the Palmetto Headlands Property Owners Association ARB has reviewed and approved the project as submitted. Staff recommends approval of the application with a couple of conditions: (1) the two above ground tanks are in conflict with the building addition and will need to be relocated elsewhere on the site. The tanks will need to be protected with bollards, which is a Fire & Building Codes requirement. In conjunction with the relocation and protection of the tanks, the staff recommends that they be screened from view with either landscaping and or a fenced dumpster enclosure type fence.

Photos indicate that cars are parked in several areas that are indicated as landscape areas and buffers areas from the originally approved plan. There is also a three foot landscape buffer shown on the plan adjacent to the building. These areas are currently grass and/or dirt and not actually planted. The staff recommends approval of the application with the condition that these landscaped areas and the 3-ft. landscape buffer be planted with material so that they function as a landscape buffer rather than as a parking area. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. David Nash, Tom Crews Architects, presented statements in support of the application. The Board discussed a couple of issues including relocation and screening of the LP tanks. The applicant stated that they are unsure of the new location of the tanks at this time. The Board stated that the site is rather tight. The Board agreed with the staff's recommendation to add landscaping in the median areas where the cars are currently parked.

To expedite the approval process, the Board suggested that they approve the structure portion of the application today and allow the relocation of the tanks and the landscape and fencing portion of the application to be approved by staff at a later time. Staff clarified that the landscape and fencing portions of the project are allowed to be approved by staff as a Minor Corridor Review. At the completion of the discussion, Chairman Sodemann requested that a motion be made.

Mr. Strecker made a **motion** to **approve** DRB-002299-2014 with the following conditions: (1) materials and colors are to match the existing; (2) add landscaping in the island/ buffer areas; (3) adding screen for the above ground tanks. These conditions can be approved by the staff. Mrs. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

4. **New Awning (Up the Creek Pub & Grill) - DRB-002332-2014**

Ms. Ray introduced the application and stated its location, 18 Simmons Road. Ms. Ray presented an in-depth overhead review of the application including a site analysis and photos of existing conditions. The applicant proposes to add a retractable awning on the outside deck. Photos show the existing conditions. The site plan shows the location of the deck, the overhang, and where the awning would attach. The proposed retractable awning would cover the majority of the deck. The retractable awning is 35-ft. long with an 11-ft. 6" overhang. The proposed color for the retractable awning is marine blue.

The staff supports the retractable awning for this location; however, based on the staff's review of the Design Guide, staff recommends that an alternate color be chosen that is more complementary to the building (either burgundy or brown).

Ms. Ray presented a burgundy color option that is more complementary to the red brick of the roof. Ms. Ray distributed a hard sample of the recommended color for the Board's review. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Vito LoGrasso and Mr. Patrick Mann presented statements in support of the application. The Board stated that they agree with the staff's concern with the marine blue color for the awning. The Board stated that they prefer a color in the burgundy family. The Board directed the applicant to select either the burgundy color or a cocoa brown color as recommended by the staff. At the completion of the Board's discussion, Chairman Sodemann requested that a motion be made.

Mr. Hoffman made a **motion** to **approve** application DRB-002332-2014 with the following condition: the applicant select either the burgundy color or the cocoa brown color for the awning as recommended by the staff. The cocoa brown color is preferred. Mr. Smith **seconded** the motion and the motion **passed** with a vote of 6-0-0.

B. New Development – Conceptual

1. **Popeye's Louisiana Kitchen - DRB-002341-2014**

Ms. Ray introduced the application and stated its location, 15 Park Lane. Ms. Ray presented an in-depth overhead review of the application. The site is 1.4 acres and is located at the corner of William Hilton Parkway and Park Lane. The applicant proposes to construct a 2,695 sq. ft. restaurant with a drive-through window and associated parking.

The site was previously developed as a restaurant. The building has been demolished; some asphalt parking and some associated paving remain. There are two specimen cypress trees located on the site where a parking lot island was previously located. Photos show some of the existing buffer between the site and Park Lane that will remain as well as some of the adjacent properties.

The restaurant has been sited to minimize impact to the existing specimen cypress trees. Existing grades are maintained to the extent practical. In and out access to the restaurant is provided from Park Lane. Ms. Ray reviewed the location of the dumpster area which is screened from view of Highway 278.

Ms. Ray stated that the site presented many challenges for the applicant's design team including circulation, the elevation of the existing site, the specimen trees, and the required parking. The applicant has worked diligently with staff through multiple pre-application conferences and meetings are in preparation of today's Board review.

The staff's only comments relative to the site plan is that there is a great deal of paving. Any reductions that can be made in the amount of paving would be helpful. There are a lot of jagged corners in the pavement and smoothing those out and softening the edges would be a plus. Ms. Ray stated that the applicant also has some pedestrian connections showing provisions for an 8-ft. connection from the Town's bike path to the site. Some of these connections do not quite meet up and some consideration should be given to the pedestrian crossing to the restaurant. Ms. Ray described the bike racks as shown on the far right corner of the site. Per the new LMO, this is not an acceptable location for the bike racks. The bike racks need to be moved closer to the entrance of the restaurant.

The landscape plan includes a mix of overstory trees including live oaks, savannah holly and magnolia. The plan also includes a mix of understory trees including wax myrtles, cherry laurels, yaupon hollies, and flowering shrubs. Ms. Ray reviewed landscaping options for the buffer. The staff recommends that there be a better transition from formal to less formal landscaping in the buffer locations. The staff also recommended additional landscaping to shield the parking area from the adjacent property.

Ms. Ray presented a thorough review of the elevations. The south elevation is the service site of the building that faces Park Lane. The right side elevation faces the adjacent office building. The left side elevation shows the view as you turn onto Park Lane and into the site. All of the facades include pretty equal detail.

Ms. Ray presented hard samples of the proposed color palette which is inspired by the adjacent office building and the hotel. "Manila" is the proposed color for the main wall; "Lion Yellow" for the trim; "Rustic Brick" for the accent band between the main wall and the dark brown brick, with dark green "Rain Forest Foliage" used for the shutters and the standing seam metal roof. The color images show how the colors go together and they are consistent with the Design Guide. The building has been designed to incorporate island aesthetics and island character with the corporate Popeye's brand.

Details include a pitched roof, metal awnings, standing seam metal roof, overhangs, and shutters. Materials include scored EFIS, standing seam metal, glass windows with an aluminum storefront, brick wainscot, and vinyl shutters.

All of the storefront is proposed to be a dark bronze. The fixtures will be dark bronze. The colors and materials are in keeping with the Design Guide. The staff recommended approval of the Conceptual application with the suggestion that the pavement continue to be studied as the applicant moves into Final to see if there are any opportunities for reducing the amount of pavement while still providing the required amount of parking.

Also consideration for additional study of the pedestrian connections should be given to make sure that pedestrians can move through the site and get through the doors of the restaurant. Following staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Ms. Gale Brown, Mr. Terry Owens, Mr. Guy Payne, and Ms. Pamela Little presented statements in support of the application. The applicants stated their appreciation to the staff for their assistance and guidance throughout the process. The Board stated their appreciation to the design team for their willingness to adapt to the goals of island

character, island aesthetics, and the community. The Board discussed the Conceptual submission including the awning structure at the drive-thru which will match the roof color. The Board also discussed the bollards and recommended that the bollards be brown or brick color in order to be nature blending. The Board presented statements in concern of the health of the existing cypress trees as related to the amount of pavement. The preliminary planting plan shows plantings under the tree canopies which also is a concern.

The Board discussed the roof and recommended a little more design simplification and continuity. Increased roof overhangs were also recommended. The steel tubular frames in the awnings over the windows should not be visible. The Board discussed landscaping and the addition of palms was recommended. The Board also discussed the location of the bike rack. The Board stated that if balconies are used, additional bracketing may be a good idea. A couple of Board members stated that the balconies do not add much to the project and are out of character for the island. The Board stated that the proposed green should be darker and more in character with the island. The manila yellow color should be toned down slightly, if possible. The Board agreed with the staff's recommendations regarding additional landscaping including the preservation of specimen trees. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Strecker made a motion to **approve** Conceptual application DRB-002341-2014 with the following conditions: (1) the roofing shall be simplified with less roof forms and consistent slopes; (2) reduce the scale and height of the building, if possible; (3) modify the canopy at the drive through window; (4) study the color selections to make them more nature blending; (5) maximize distance and provide buffer between the paving and the 32" live oak and the 24" live oak on the site; (6) provide additional landscaping between the building and the paving, if possible; (7) provide more detailed planting information; (8) relocate the bike racks as recommended by the staff; (9) study smoothing the edges of the pavement as recommended by the staff; and (10) modify the roof overhangs, if possible. Mrs. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. Appearance by Citizens

None

11. Adjournment

The meeting was adjourned at 2:35p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Scott Sodemann
Chairman

From: [hhiweb](#)
To: [Ray Jennifer](#)
Subject: Public Comment Submitted
Date: Thursday, January 08, 2015 5:46:22 PM

Design Guide Update

This plan sounds great on paper, particularly the sections about trees, other landscaping, and parking lots. Where was this plan when the Kroger's complex was being planned?? I hope we (the town and residents) have better luck with the Pineland Station and other future development plans. Thanks.

Barbara Clune
P. O. 7022, HHI 29938



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: David McAllister Company: Wood and Partners Inc.
 Mailing Address: 7 Lafayette Place City: HHI State: SC Zip: 29925
 Telephone: 843.681.6618 Fax: 843.681.7086 E-mail: dmcallister@woodandpartners.com
 Project Name: 1st Tee Boys and Girls Club Project Address: 151 Gumtree Road
 Parcel Number [PIN]: R 510 007 000 0271 0000 R510 007 000 0023 0000 R510 007 000 0392 0000
 Zoning District: RM-4 Overlay District(s): Corridor Overlay

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|--|--|
| <input type="checkbox"/> New Development – Conceptual | <input type="checkbox"/> Alteration/Addition |
| <input checked="" type="checkbox"/> New Development – Final, indicate Project Number
DRB-001731 | <input type="checkbox"/> Minor External Change |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- Final site development plan meeting the requirements of Sec. 16-3-303.F.
- Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 1/2"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

David Medeiros

SIGNATURE

1-13-15

DATE

The First Tee of the Lowcountry – Boys & Girls Club

#151 Gumtree Road
Hilton Head Island, SC

DRB Final Project Narrative

January 13, 2015

The First Tee of the Lowcountry wishes to construct a training facility on the Boys & Girls Club of Hilton Head Island property (parcel number R510 007 000 0271 0000) and two parcels to be leased to the Club by the Town of Hilton Head Island (parcel numbers R510 007 000 0023 0000 and R510 007 000 0392 0000). The golf facility will be part of The First Tee program; an international non-profit organization whose mission is positive youth development through the game of golf (www.thefirsttee.org). The facility will also be open to the public when it is not being used by the First Tee program.

The golf facility will be comprised of a practice range, putting green, chipping green, and a six hole, par-3 layout that can be used when the practice range is not in use. The practice range will feature a concrete strip along the rear of the tee for all-weather mats that will be used during inclement weather or when access to the grassed tee surface is restricted. The range will have target greens that double as the par-3 greens. The putting surface of the large greens will be artificial, permeable turf. All disturbed areas will be grassed with a variety of Bermuda grass, typical of golf courses on the island.

There will be a pro shop building on site (+/- 2,310 SF), equipped with restrooms, office space, and a golf club fitting/instruction room. The pro shop is a modular building that has been donated to the First Tee of the Lowcountry. Architectural design elements will be incorporated to enhance the appearance of the modular building including a parapet and vegetated screen walls, window shutters, covered entry, porch, wood stairs, a ramp with trellis framework and landscaping features on each elevation of the building. The addition of an American Holly and maintaining the existing vegetation adjacent to the tennis court will be used to screen the side of the parapet wall. A small maintenance building (+/- 1,000 SF) for equipment and tool storage and a maintenance area are also being accommodated for onsite.

The existing multi-purpose field and playground equipment will be relocated to accommodate the new golf facility and pedestrian circulation and landscape will be added to enhance the pro shop and other areas of disturbance. Another feature is the addition of 'The Lighted Path to Success' that incorporates an entry trellis at the path from the parking lot into the site as well as sign/light bollards that symbolize and identify the nine core values of The First Tee Program. Those values are: honesty, integrity, sportsmanship, respect, confidence, responsibility, perseverance, courtesy, and judgment.

There is a 45" specimen Live Oak on site and the pro shop and additional pedestrian circulation have been sited to avoid conflict with that oak. A new pond will be dug to provide the fill material for the golf features, provide for storm water runoff storage, and to serve as a source of irrigation water for the golf features. PSD has indicated that effluent water is not available at the project location but does exist approximately ½ mile away. The irrigation system design will ultimately allow for a future effluent connection.

Site construction is planned to begin around March 1, 2015 and be completed by the end of July, 2015. The grow-in of the grasses will continue throughout the summer of 2015 with an anticipated facility opening around October 1, 2015.

METAL ROOFING
MCELROY METAL 5-V CRIMP (PATRICIAN BRONZE)



STUCCO VENEER
DRYVIT (106 PEARL ASH - SANDBLAST FINISH)



METAL HANDRAILS
SHERWIN WILLIAMS (VIRTUAL TAUPE SW7039)



WOOD COLUMNS / RAFTERS / RAILING
CABOT STAIN: SEMI-TRANSPARENT FINISH (FIELDSTONE)



EXTERIOR PAINT (MOBILE UNIT)
SHERWIN WILLIAMS CUSTOM MATCH (DRYVIT PEARL ASH)



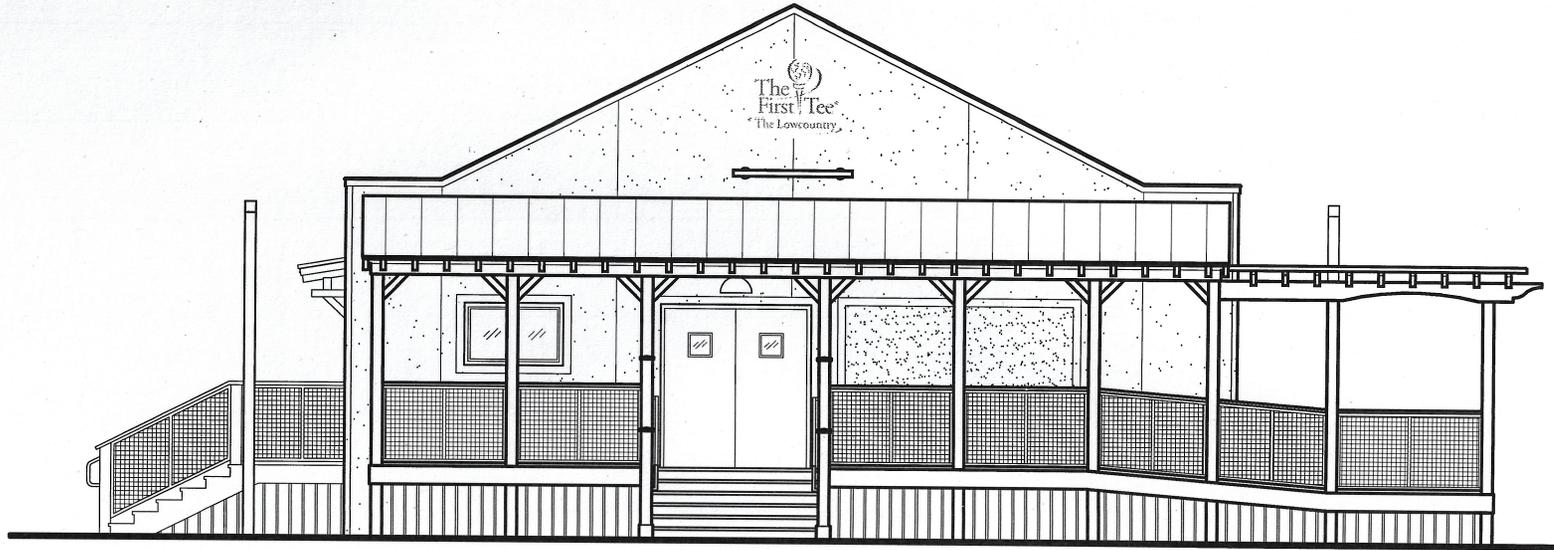
BERMUDA SHUTTERS
TIMBERLANE BERMUDAS (OLD ESSEX GREEN TL-43)



PT SCREEN WALLS / TRELLIS / DECKING
CABOT STAIN: SEMI-TRANSPARENT FINISH (FIELDSTONE)



HORIZ. & VERT. WOOD SKIRTING
CABOT STAIN: SOLID FINISH (BARK)



**THE FIRST TEE OF THE LOWCOUNTRY
PRO SHOP BUILDING**

BOYS AND GIRLS CLUB, HILTON HEAD ISLAND, SC

PROPOSED EXTERIOR MATERIALS & COLORS

JANUARY 13, 2015

COURT ATKINS
ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910
P: 843.815.2557 F: 843.815.2547



DESCRIPTION

- LED asymmetric distribution
- Extruded aluminum housing
- Die-cast aluminum end-caps
- Die-cast adjustable mounting arms
- Alanod® MIRO® 4 aluminum reflector
- Extruded, lightly diffused acrylic lens standard
- Electrostatically applied polyester powder coat paint finish

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Housing is corrosion-resistant Type 6063-T6 aluminum extrusion with die-cast aluminum end caps. End caps are secured by concealed stainless steel fasteners. Housing, end caps and lens are sealed with single, closed cell silicone gaskets. Stainless steel hardware is standard.

Reflector

Reflector is constructed from highly specular Alanod® MIRO® 4 aluminum with minimum 95% reflectance.

Aiming

Fixture includes the PointGrab2™ lockable aiming system, providing minimum 180 degree vertical adjustment of the fixture housing in 5 degree increments. The aiming feature locks securely in place by means of a stainless steel locking mechanism.

Lens

A lightly diffused acrylic lens is standard, constructed of impact-resistant, U.V. stabilized virgin acrylic to prevent discoloration.

Electrical

LED fixtures use .92 power factor UL 1310 Class 2 AC to DC driver with built-in dimming. Integral LED lamp modules are easily replaceable in the field.

Mounting

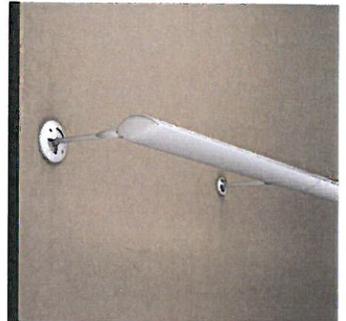
Fixture includes Slide-N-Mount™ adjustable, lockable mounting arms (patent pending), constructed from Type 383 die-cast aluminum. Support structure by others.

Finish

Fixture housing is finished using electrostatically applied polyester powdercoat paint. Consult factory for custom colors.

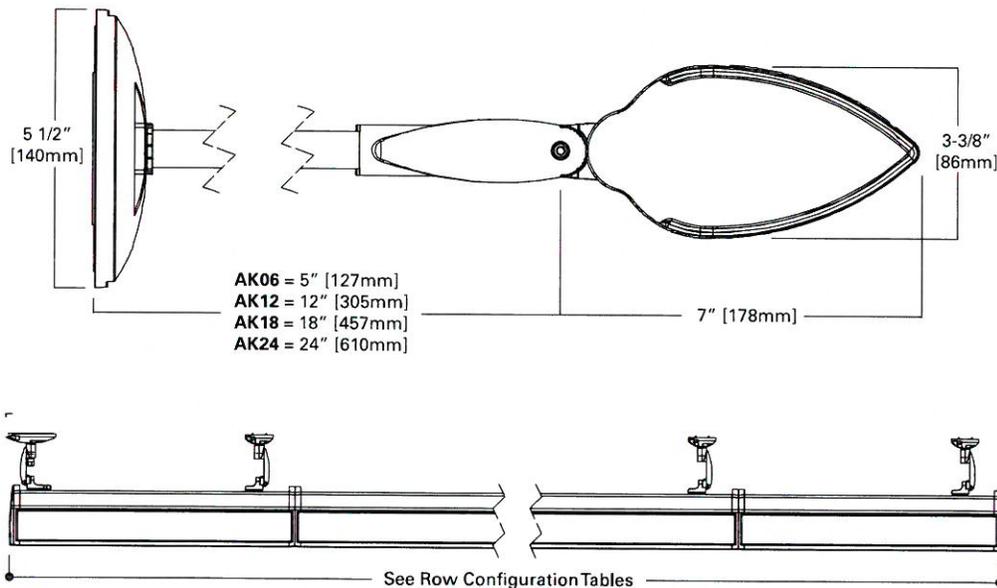
Labels

UL / cUL listed for use in damp locations.



ARROWLINEAR LED

Extra Small Integral
Continuous Row
CANTILEVER



First Tee of the Lowcountry Pro Shop
Parapet Wall Light Fixture w/
Bronze Finish

DESCRIPTION

694-WP Classic Quarter Sphere features bronze construction and is available in two sizes.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Material

Solid bronze with a 1/8" white acrylic diffuser for CFL/Incandescent and clear tempered refractive glass for MH.

Finish

Natural bronze or two component polyurethane paint, 2.5 mil nominal thickness for superior protection against fade or wear.
Standard: Natural Bronze (NBZ) [Sustainable Design].
Note: Bronze will weather to a dark bronze patina.
Premium: Aluminum Paint (ALP), Black Paint (BK), Bronze Metallic Paint (BM), Dark Platinum Paint (DP), Gold Metallic Paint (GM), Graphite Metallic Paint (GRM), Grey Paint (GY), Verdigris (VG), White Paint (WH) or Custom Color (CC).

Optics

Refer to www.shaperlighting.com for complete photometrics.

Ballast

Integral electronic HPF, multi-volt 120/277V (347V Canada), thermally protected with end-of-life circuitry to accommodate the specified lamp wattage. Metal halide ballast are HPF core & coil type, multi-volt 120/277V for the specified lamp wattage. 347V ballast for metal halide - Contact factory.

Lamp/Socket

12": One (1) 26W or 32W (GX24q-3) triple CFL lamp, or one (1) 75W A-19 lamp.
16": Two (2) 26W or 32W (GX24q-3) triple CFL lamps, one (1) 50W ED-17 metal halide lamp or two (2) 75W A-19 lamps.
CFL socket injection molded plastic. MH socket ceramic pulse-rated, 4KV. INC socket fired ceramic rated for 660W/250V. Lamps furnished by others.

Installation

Supplied with a mounting back for a standard 4" J-box or stucco ring. Optional rear (through wall) feed conduit mounting.

Options

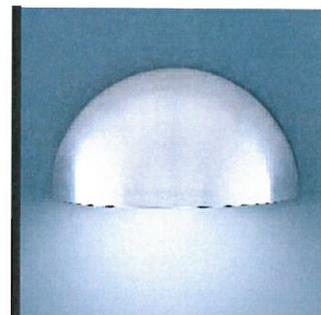
Rear (through wall) Feed Conduit Mounting (C), Quartz Restrike - MH only (QR), Clear Tempered Glass - for full cut-off (TGL) [Dark Sky Compliant].

Labels

U.L. and C.U.L. listed for wet location.

Modifications

Shaper's skilled craftspeople with their depth of experience offer the designer the flexibility to modify standard exterior wall luminaires for project specific solutions. Contact the factory regarding scale options, unique finishes, mounting, additional materials/colors, or decorative detailing.



694-WP SERIES

Exterior Wall Luminaire
Classic Quarter Downlight



Shaper Lighting certifies that its products satisfy the requirements of Section 1605 of the American Recovery and Reinvestment Act (also known as the ARRA Buy American provision).



Shaper offers a selection of exterior luminaires that are "Dark Sky Compliant". The IESNA (Illuminating Engineering Society of North America) defines Full Cut-Off as fixtures with light distributions of 0% candela at 90° and 10% at 80°. Full Cut-Off luminaires carry the endorsement of the International Dark-Sky Association (IDA) for their effectiveness in limiting the detrimental effects of sky glow, also referred to as "Light Pollution". Many exterior luminaires offer a clear, tempered glass option that meets the IES criteria for Full Cut-Off.



Shaper has a long-standing history of offering environmentally-friendly fixtures. The copper and bronze alloys used in our exterior luminaires feature up to 98% recycled content, contribute less undesirable air emissions compared to painted aluminum and are easy to recycle.

First Tee of the Lowcountry Pro Shop
Main Entry Door Light Fixture
694-16-WP Standard w/
Natural Bronze Finish

ORDERING INFORMATION

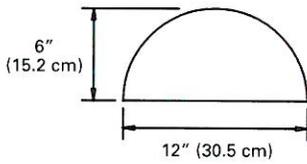
Sample Number: 694-16-WP-CFL/2/32-277V-GRM-C

Series 694 = Classic Quarter Sphere	Size 12" 16"	Mounting Type WP = Exterior Wall	Lamp CFL/1/(26/32W-Triple) ¹ CFL/2/(26/32W-Triple) ² INC/1/75 ¹ INC/2/75 ² MH/1/50 ²	Voltage 120V 277V ³ 347V ⁴	Finish ^{5, 6} <u>Standard</u> NBZ = Natural Bronze <u>Premium</u> ALP = Aluminum Paint BK = Black BM = Bronze Metallic Paint CC = Custom Color DP = Dark Platinum Paint GM = Gold Metallic Paint GRM = Graphite Metallic Paint GY = Grey VG = Verdigris WH = White	Options C = Rear (through wall) Feed Conduit Mounting QR = Quartz Restrike ⁷ TGL = Sandblasted Tempered Glass Lens ⁸
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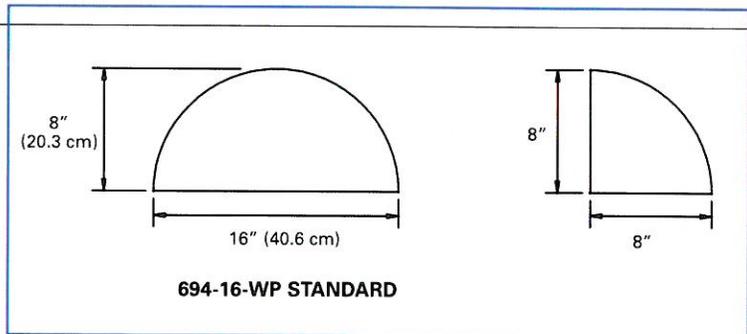
Notes:

- ¹ Available in 12".
- ² Available in 16".
- ³ CFL and MH only.
- ⁴ Available with CFL only.
- ⁵ Premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.
- ⁶ Bronze will weather to a dark bronze patina.
- ⁷ Available with MH lamping only.
- ⁸ For CFL and INC lamping (TGL is standard with MH lamping).

MOUNTING TYPE



694-12-WP STANDARD



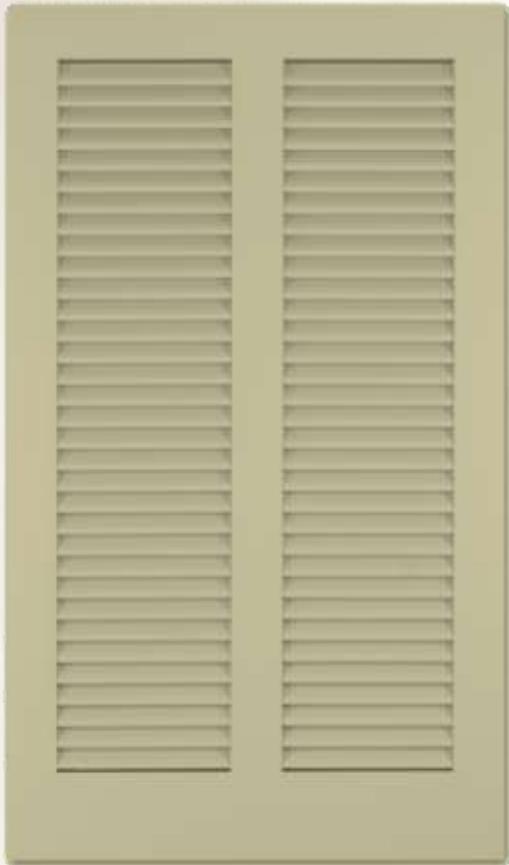
694-16-WP STANDARD

COMPANION PRODUCTS



641-WP

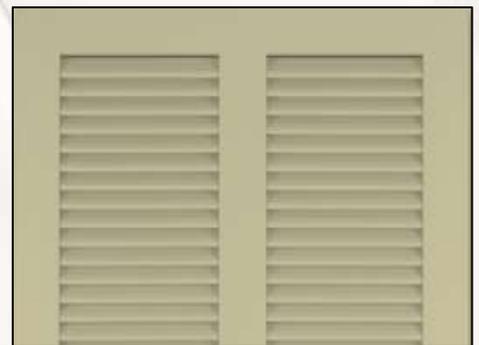
Our Endurian Line



ONCE UPON A TIME, we thought that wood was the only way to craft the finest shutters ever made. That is, until we discovered new state-of-the-art synthetic materials that mimic wood in ways we never imagined. Thus, our Endurian line was born: the world's first fully customizable maintenance-free shutters. Each Endurian Bermuda shutter is hand-crafted and assembled by the finest craftsmen. And once painted, with our environmentally-friendly water-based paint, only the

termites can tell the difference between our wood and our Endurian shutters. Bermuda shutters are the ideal choice for warmer climates by offering the functionality and features of shutters while also

providing coverage and shade of awnings. Not only do they provide you with the perfect breeze through your home, but also the privacy you need without restricting the view. Endurian Bermuda shutters are also the ideal shutters for all homes by the water because of their water resistance and durability.



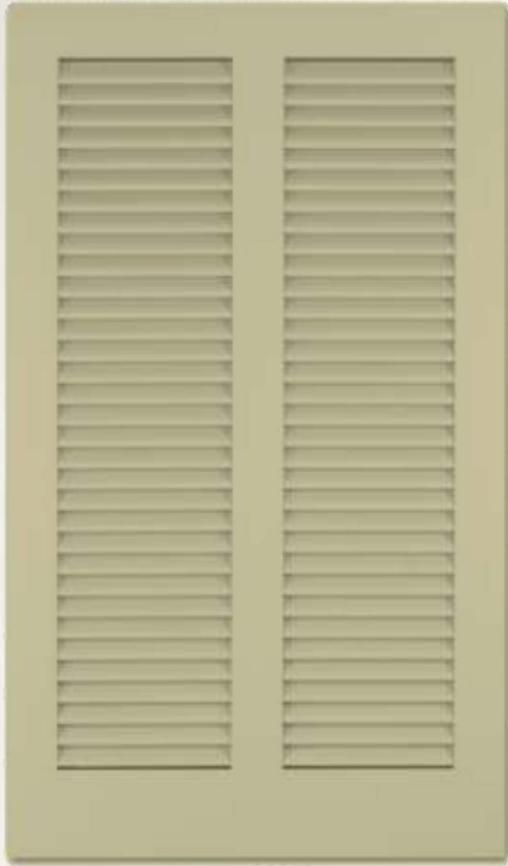
Shown in a BS1 Bermuda Style painted in Khaki Stone. Multiple Shutter Styles and Options are available.



Find more resources at www.Timberlane.com

090613-ENB

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Shown in a BS1 Bermuda Style painted in Khaki Stone. Multiple Shutter Styles and Options are available.

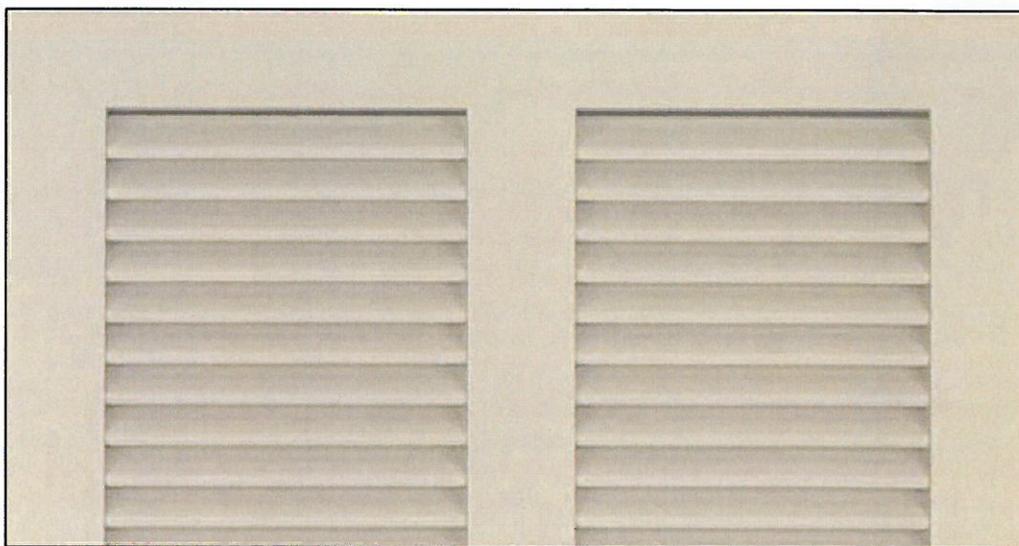


Find more resources at www.Timberlane.com

090613-ENB

ENDURIAN™ SHUTTER SPECIFICATIONS

ENDURIAN SHUTTERS ARE AVAILABLE IN COUNTLESS STYLES AND CONFIGURATIONS and are all built to order. Endurian Bermuda shutters will compliment any home by the water and will weather the toughest storms. For complete availability, please visit www.Timberlane.com or contact us at 800.250.2221



AVAILABILITY & TECHNICAL SPECIFICATIONS:

Raw Material:	Proprietary PVC Extrusions, Pultruded Fiberglass, & High Performance Exterior Wood Composite (based on shutter style)	Top Rail Width:	2-1/2"
Custom Rail Placement:	Available	Mid Rail Width:	Varies by Style
Custom Rail Width:	Available	Bottom Rail Width:	Varies by Style
Custom Stile Width:	Available	Louver Thickness:	3/8"
Thickness:	1-5/16 th	Stile Width:	2-1/2"
Minimum Shutter Width:	12"	Options:	Varies by Style
Maximum Shutter Width:	60"	Top Hinge:	Yes
Maximum Shutter Length:	96"	Louver Spacing:	Varies by Style
Size Increments:	1/8"	Primer:	Alkyd based primer
		Paint:	Water-based elastomeric (flexible) acrylic emulsion
		Colors:	24 Standard colors and Custom Color Matching

WARRANTY: Lifetime limited warranty against defects in material and workmanship (10-year prorated on paint finish). Visit Timberlane.com for complete warranty information.



Find more resources at www.Timberlane.com

00612 111

ENDURIAN BERMUDA STYLES



BS2



BS1

Color Selection: Old Essex Green



BS3



BS4

First Tee of the Lowcountry Pro Shop
Exterior Window Bermuda Shutter by Timberlane
Color: Old Essex Green



Find more resources at www.Timberlane.com

01/13/10

A VIBRANT ARRAY OF COLORS INCLUDING

COLONIAL TIMES BLUE.

Although back then, it was just called blue



Prich Black
TL-60



Antique Bottle Green, TL-46



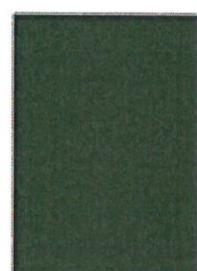
Charleston Proper Green, TL-48



Old Essex Green
TL-43



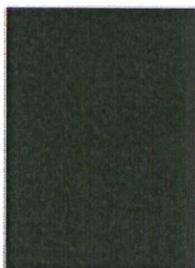
Emerald Green
TL-41



Envy Green
TL-40



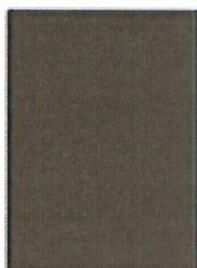
Holly Green
TL-49



Trail Green
TL-81



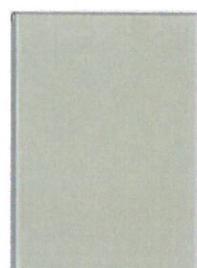
Slate Stone
TL-83



Olive Green
TL-47



Khaki Stone
TL-91



Sage Grass
TL-86



Colonial Times Blue, TL-36



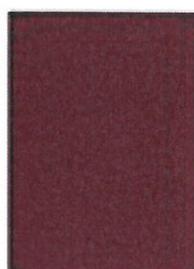
Blue Lagoon
TL-31



Black Plum
TL-73



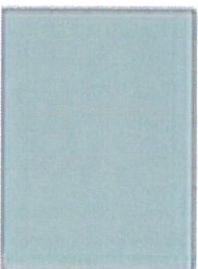
Chocolate Brownie, TL-62



Country Red
TL-22



Really Red
TL-29



Blue Topaz
TL-34



Rain Drop
TL-09



Lemon Meringue
TL-55



Ballet Slipper
TL-58



Porcelain White
TL-07



So White
TL-01



First Tee of the Lowcountry Pro Shop
Railing w/ Welded Wire Mesh Example



First Tee Logo for
Gable Sign



First Tee Logo Gable
Sign Example



Proposed Existing
Modular Unit
for Pro Shop

METAL ROOFING

MCELROY METAL 5-V CRIMP (PATRICIAN BRONZE)



SHINGLE ROOFING - ALTERNATE

GAF TIMBERLINE (WEATHERED WOOD)



STUCCO VENEER/FASCIA/SOFFIT/TRIM

DRYVIT (106 PEARL ASH - SANDBLAST FINISH)



GUTTERS & DOWNSPOUTS

COLOR TO MATCH MCELROY METAL PATRICIAN BRONZE



ROLLING SERVICE DOORS

WAYNE DALTON (BROWN)



PAINTED HOLLOW METAL DOOR

SHERWIN WILLIAMS (BLACK BEAN SW6006)



PAINTED CONCRETE BOLLARDS

SHERWIN WILLIAMS (BLACK BEAN SW6006)



ALUMINUM GABLE VENT

SHERWIN WILLIAMS (BLACK BEAN SW6006)



**THE FIRST TEE OF THE LOWCOUNTRY
MAINTENANCE BUILDING**

BOYS AND GIRLS CLUB, HILTON HEAD ISLAND, SC

PROPOSED EXTERIOR MATERIALS & COLORS

JANUARY 13, 2015

COURT ATKINS
ARCHITECTS



P.O. Box 3978 Bluffton, SC 29910
P: 843.815.2557 F: 843.815.2547

Wall Pack, Full Cutoff, 100 W

LUMAPRO



Price:
\$283.25 / each

Deliver one time only

Save Time & Auto-Reorder Every 1 Month

[Check Availability](#)

1 [Add to Cart](#)

[+ Add to List](#)

Add Repair & Replacement Coverage for \$55.95 each.

☆☆☆☆ Be the first to write a review | [Ask & Answer](#)

How can we improve our Product Images?

Compare

Item # **4GWG7**

Mfr. Model # **4GWG7**

UNSPSC # **39111605**

Catalog Page # **711**

Shipping Weight **17.64 lbs.**

Country of Origin **China** | *Country of Origin is subject to change.*

Technical Specs

Item	Wall Pack	Suggested Lamp Item No.	1E674
Lamp Type	Metal Halide	Reflector Material	Aluminum
Lamp Watts	100	Housing Material	Die Cast Aluminum
Voltage	120 /277	Mounting	Cast-in template for Mounting Directly Over a 4" Recessed Outlet Box or Use 1/2" Surface Conduit
Socket Type	Medium	Housing Finish	Architectural Bronze Powder Coat
Length	14-1/4"	Ambient Temp. Range	-22 Degrees to 104 Degrees F
Width	11-1/2"	Light Distribution	Type IV with Full Cutoff
Height	9-1/4"	Standards	CSA Listed for Wet Locations
Lamp Included / Lamp Not Included	Lamp Included		

How can we improve our Technical Specifications?

Compliance and Restrictions

This product contains a chemical that is regulated under California Proposition 65.

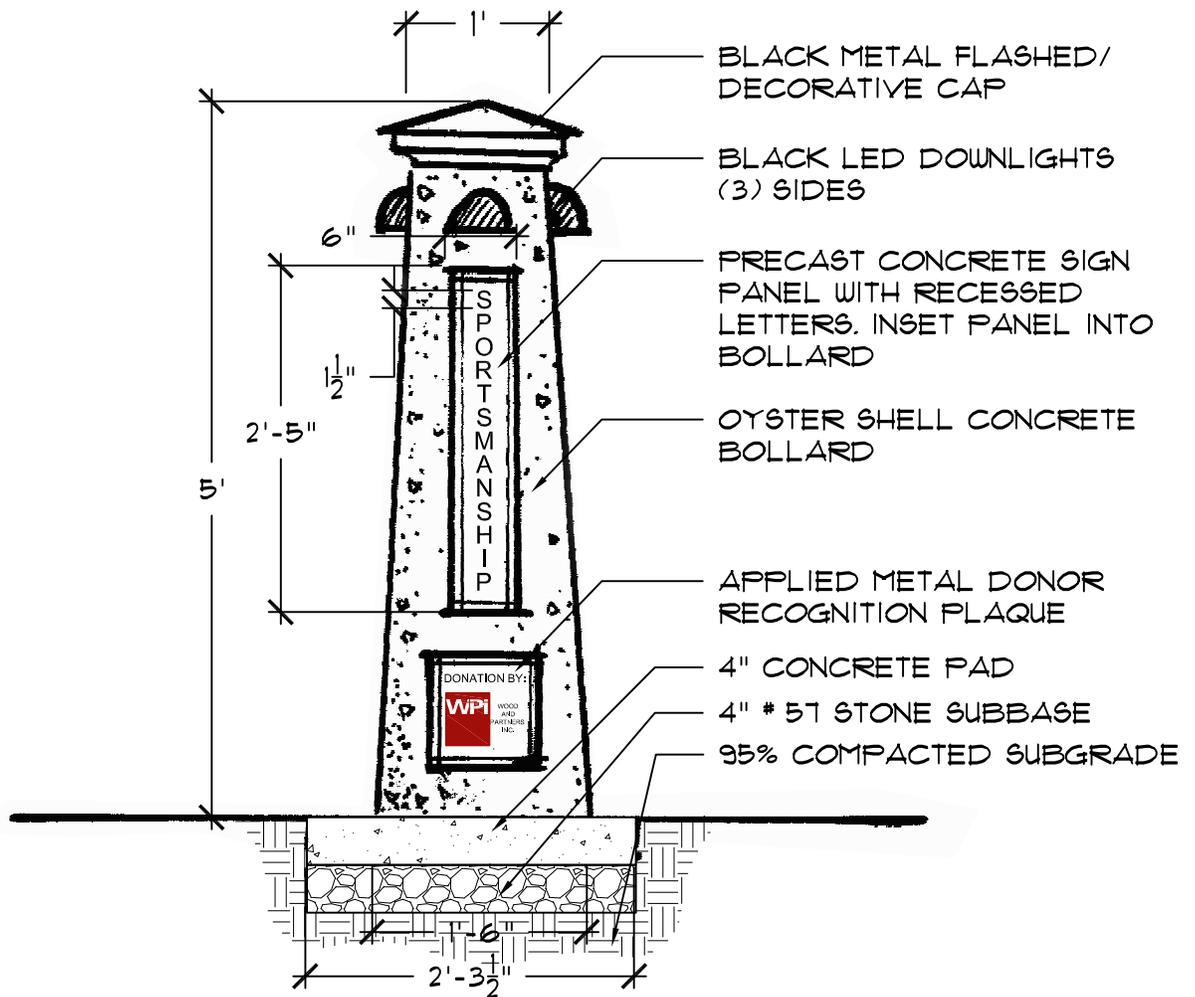
Warning: This product contains a chemical known to the State of California to cause cancer.

Warning: This product contains a chemical known to the State of California to cause birth defects or other reproductive harm.

Alternate Products

Compare

First Tee of the Lowcountry
Maintenance Building
Exterior Light Fixture Cut Sheet



NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL AND CONDUIT ANCHORAGE OF BOLLARD TO CONCRETE / BRICK PADS.

SIGN/LIGHT BOLLARD

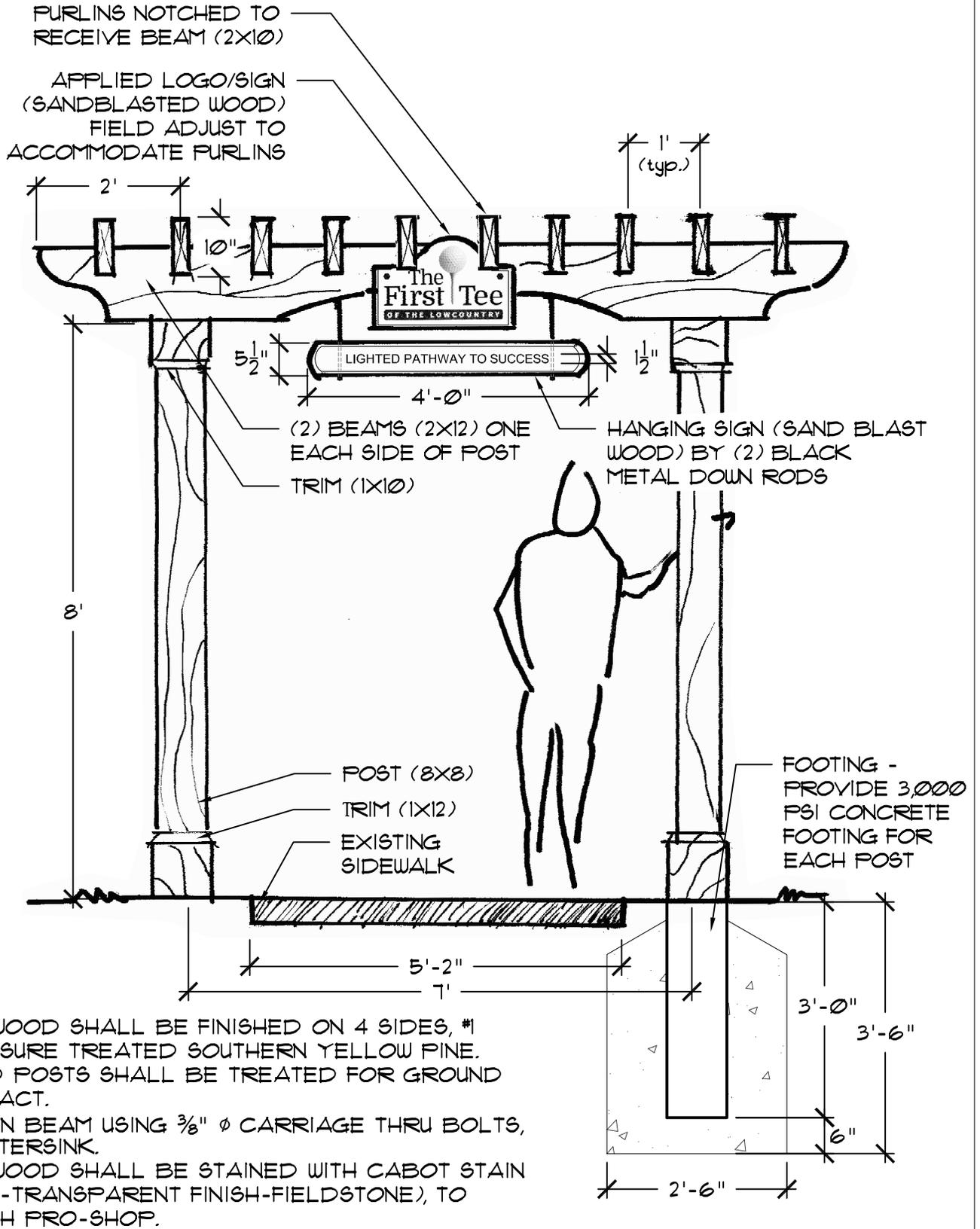


SCALE: 3/4"=1'

January 13, 2015



Existing Trellis



ENTRYWAY TRELLIS



SCALE: 1/2"=1'

January 13, 2014



10' Golf Safety Fence



10' Golf Safety Fence



FloBoy™

SMALL AND MID-SIZE VFD PUMP PACKAGES

- For lift, boost and well applications
- Delivered in three to four weeks

Save time, energy and money with FloBoy,™ the easier way to be green.

FloBoy is the system of choice for small to mid-size lift, boost and well pump applications, and supports rainwater and stormwater harvesting. It is equipped with VFD technology for improved system efficiency, simple touch screen controls, highly accurate flowmeter technology for precision irrigation and control, and pressure and safety controls to prevent water waste and system piping damage. Use the Flowtronex Online Configurator for fast and easy access to pricing, drawings and specifications for your project submittals. Order it online and have your configured FloBoy delivered to you in 3 to 4 weeks. The FloBoy is supported by our 24/7 factory-certified FlowNet® global service network.

New, easy-to-use touch screen interface with status, events and historical information

Operable in "auto" and "hand" manual modes

The industry's safest and most robust disconnect provides 65KA of fused protection for motor and controls

FloBoy S

Ideal for smaller landscapes, residential and commercial projects.

Flow Rates up to 250 gpm
Pressures up to 140 psi
Voltages 208 V, 230 V, 460 V
Compact dimensions 52" x 40" x 44.25"

Easy-to-use touch screen controls

- Password protected.
- Intuitive access to reports, settings, configurations and pump status.
- Shows real-time operational data.
- View graphs and alarm history.



Lockable doors for easy access to controls and programming

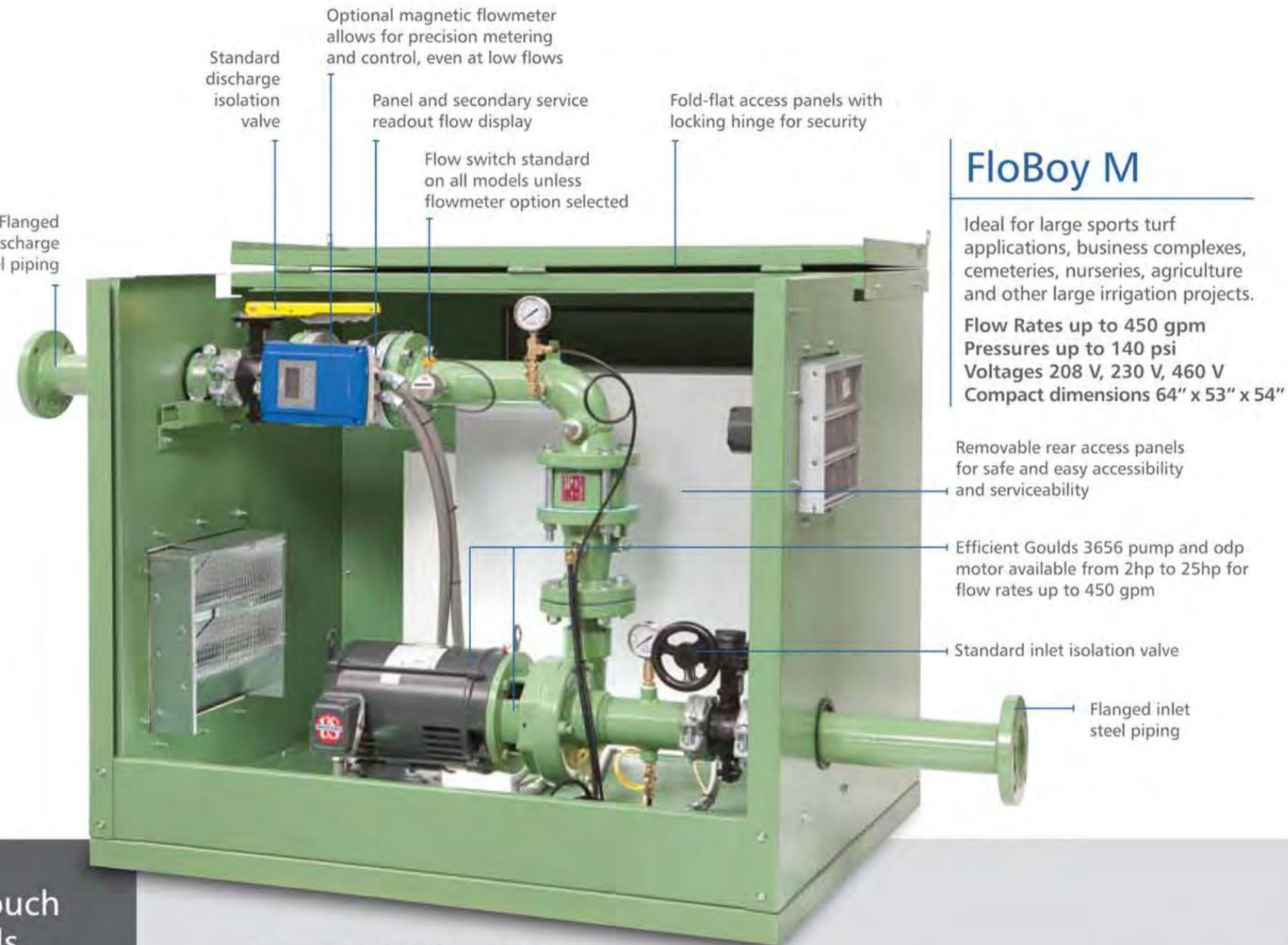
Easy access VFD/bypass control pad

NEMA 4 electrical enclosure

Powder coated carbon steel base and enclosure, ventilated with exhaust fan and intake louver

THIS PRODUCT IS NOT INTENDED FOR POTABLE WATER APPLICATIONS.

Flanged discharge steel piping



FloBoy M

Ideal for large sports turf applications, business complexes, cemeteries, nurseries, agriculture and other large irrigation projects.

Flow Rates up to 450 gpm
Pressures up to 140 psi
Voltages 208 V, 230 V, 460 V
Compact dimensions 64" x 53" x 54"

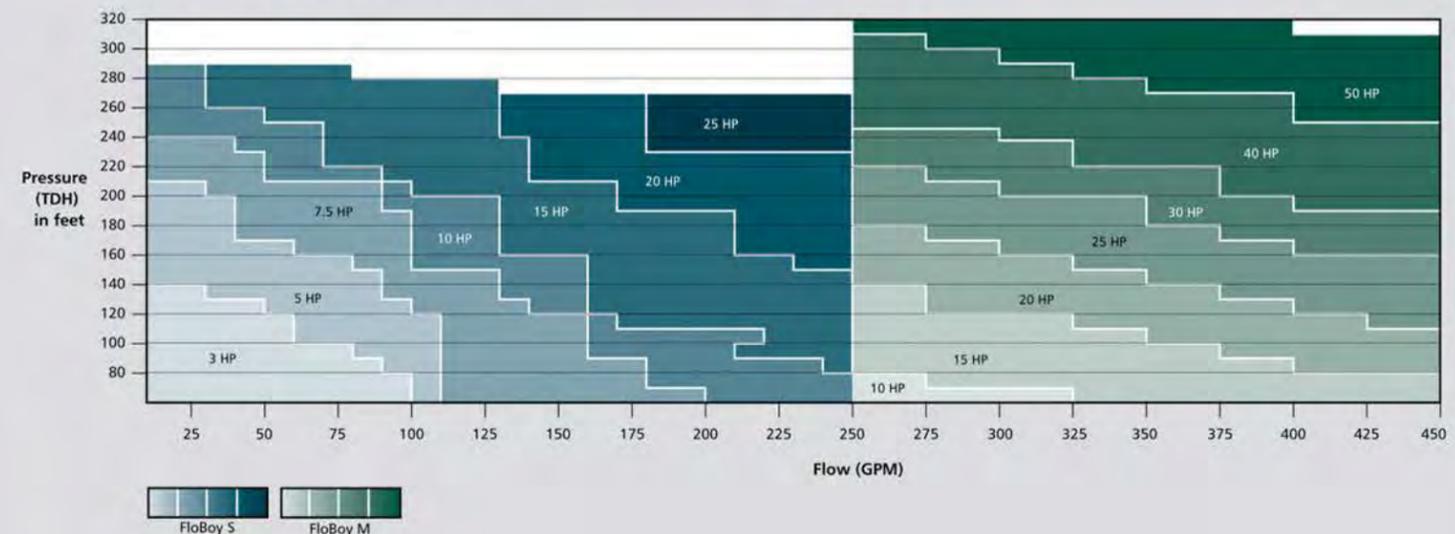
Removable rear access panels for safe and easy accessibility and serviceability

Efficient Goulds 3656 pump and odp motor available from 2hp to 25hp for flow rates up to 450 gpm

Standard inlet isolation valve

Flanged inlet steel piping

Pump Selection Chart



Part 1 – General

1.10 Manufacturer. The pumping station shall be manufactured by ITT Flowtronex Inc. of Dallas, TX, USA, 800-786-7480 or equal approved by the purchaser prior to bid opening.

Part 2 - Mechanical

- 2.00 Scope.** Pump station shall be a completely skid-mounted unitized pump station, with an enclosure built by a single manufacturer. All equipment including, but not limited to, pumps, motors, piping, filters, valves, instrumentation and controls shall be mounted on a common structural aluminum base to form a complete operating pumping station. The base of the enclosure shall be mounted on a concrete pad supplied by others, of sufficient size and strength to support pump system.
- 2.10 Station Base.** The pump station base shall be designed and fabricated to provide proper structural support for all attached equipment. Pump station base shall be manufactured of #12-gauge carbon steel.
- 2.20 Piping.** Pump inlet and discharge piping shall be constructed from schedule 40, ASTM, A120, ASTM A53, or API 5L steel pipe or heavier.
- 2.30 Enclosure.** The Pumping system enclosure shall be of a weather-resistant nature. The main housing shall be of solid sheet construction punched on the sides with louvers for ventilation. The lid shall have a double hinge system that will prevent accidental closure and will accept a padlock.
- 2.40 Fan.** A fan shall be mounted on the enclosure. The purpose of the fan is to exhaust heat that the motor produces.
- 2.50 Bolts.** All bolts used in the assembly of the pumping system shall be unichrome plated to retard corrosion. The bolts shall meet SAE J429 Grade 5 and ASTM A449 specifications.

Part 3 - Pumps and Motors

- 3.00 Scope.** Pump station manufacturer shall strictly adhere to the following specifications.
- 3.10 Pumps.** Horizontal end-suction centrifugal pumps shall be of the back pull-out design to allow access to the impeller without disturbing the piping arrangement. Pumps shall be as manufactured by Goulds.™ The casing/volute shall be manufactured of ASTM A48 class 25-35 close-grained cast iron or AISI type 316L stainless steel, precision machined to modern hydraulic standards.
- 3.20 Motors.** Motors shall be NEMA JM, JP, or C face ODP design with 200 degree, C-rated, high efficiency, moisture-resistant copper windings impregnated with high-temperature polyester insulation resin. Motors shall have locked-shaft end bearings for longer life and positive end play control.

Part 4 – Valves and Gauges

- 4.00 Scope.** Pump station manufacturer shall strictly adhere to the following specifications.
- 4.10 System Discharge Isolation Valve.** An isolation valve shall be installed to isolate the irrigation system from the pump station.
- 4.20 Suction Pressure Gauge.** Gauge shall be silicon filled to reduce wear due to vibration. Accuracy shall be within 2%.
- 4.30 Discharge Pressure Gauge.** All gauges shall be silicon filled to reduce wear due to vibration. Accuracy shall be within 2%.

Part 5 - Electrical

- 5.00 Scope and Codes.** Control panel with controls shall be built in accordance to N.E.C., U.L., and E.T.L. standards. The pump station, including electrical components and enclosure, shall be labeled as a complete U.L. Listed assembly with manufacturers U.L. label applied to the pump station. All equipment and wiring shall be mounted within the enclosure and labeled for proper identification. A complete wiring circuit and legend, with all terminals, components, and wiring identification, shall be provided.
- 5.10 Control Enclosure.** All branch circuit protection equipment, disconnect, wiring and controls shall be mounted in a single NEMA 4 enclosure. All components shall be labeled for proper identification and shall be accessible from the front of the enclosure for ease in maintenance and adjustment. Complete drawings shall be provided showing the location and identification of all components.
- 5.20 Station Disconnect.** A three-pole main station disconnect shall be mounted in the control enclosure to completely disconnect the incoming power. This shall also house the fusing that protects the control system. These fuses shall be time-delayed for the appropriate amperage. This disconnect will be suitable for use as a service entrance disconnect.
- 5.30 Control Power.** Power for the controls shall be provided by a control power transformer which will not be used for any other external load. The control power transformer shall be protected on the primary and secondary side by current limiting fuses of adequate size and voltage rating.
- 5.40 Short Circuit Current Rating.** U.L. rated control assembly shall be rated to withstand no less than 50 KA of short-circuit current.

Part 6 - Controls

- 6.10 Controls.** All control logic shall be handled by the HMI with integrated central controller. HMI features shall include Mono STN LCD, 16 shade, blue, 320 x 240 pixel, CCFT backlight lifetime: approximately 50,000h at 25 deg. C, and analog touch membrane. Operator interface providing graphical data entry and read-out capabilities.
- 6.20 Variable Frequency Drive.** Variable frequency drive shall be an ABBTM model ACS550 or preapproved equal.
- 6.30 Skid Wiring.** All station wiring for the motor and control(s) circuits shall be completed by the pump station manufacturer. All other wiring, including incoming power and external irrigation control wiring, shall be the responsibility of the owner or contractor.

Part 7 – Testing

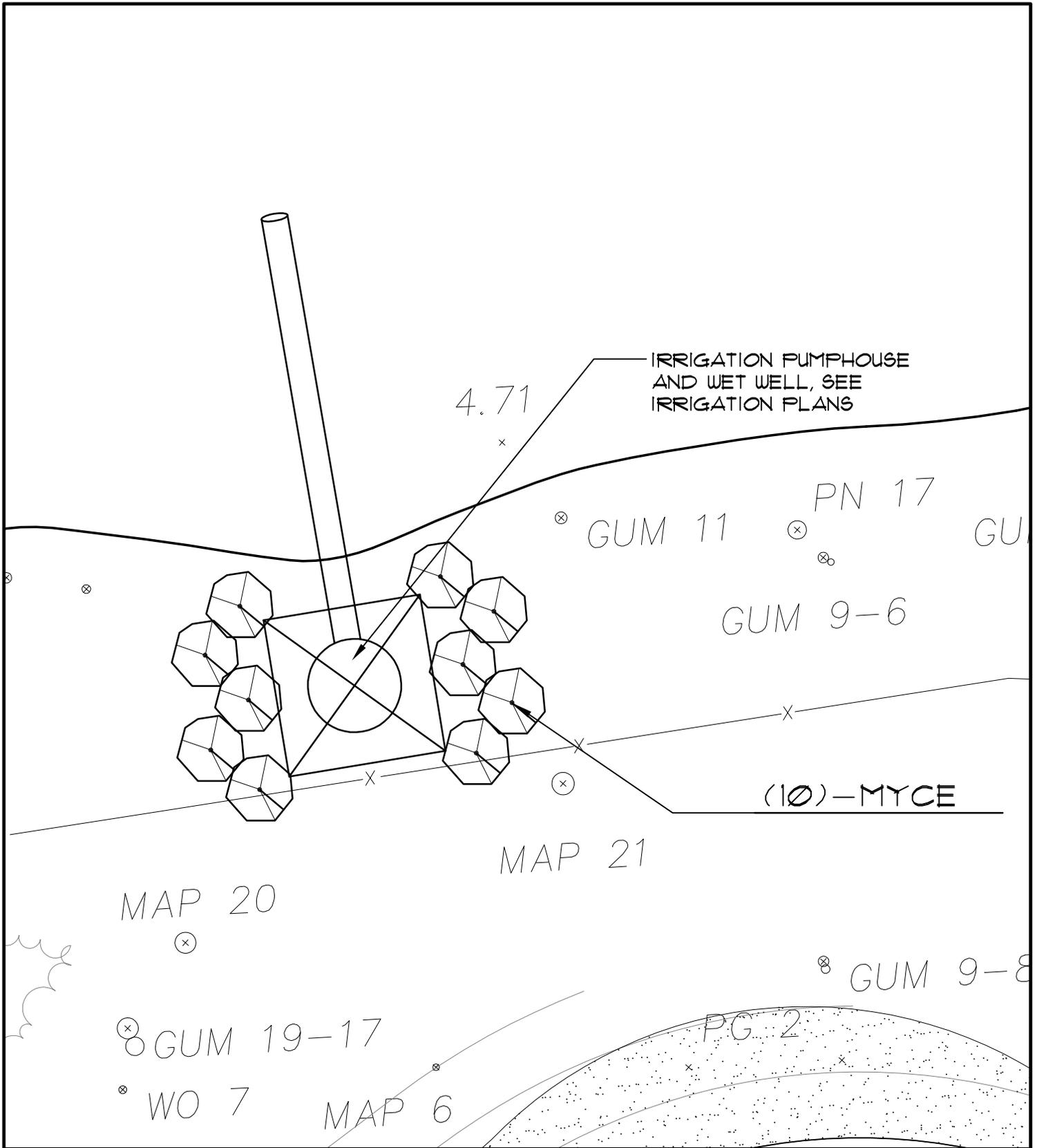
- 7.00 Run Testing.** The pumping system shall be completely run-tested prior to shipment to verify the performance. A complete test of the pumping system shall include operation at condition point flow, pressure, voltage, and amperage.

Part 9 - Optional Skid-Mounted and Control Integrated Equipment

- 9.10 Flow Meter Magnetic Flowmeter.** The pump station shall have a flow sensor installed, which shall be utilized for control and to display the pump station flow rate, and to display total flow through the pump station controller operator interface device (OID).



Xylem, Inc.
10661 Newkirk Street
Dallas, TX 75220
Phone: 800-786-7480
www.xylem.com/brands/flowtronex



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SHEET TITLE:
Planting Plan

SHEET NUMBER:

1
OF **1**

PROJECT NO.: 01-14030
DATE DRAWN: 1.13.15
DRAWN BY: DM
CHECKED BY: KT
REVISED BY:

DATE REVISIONS

DATE	REVISIONS

SUPPLEMENTAL SKETCH
FOR
THE FIRST TEE OF
THE LOWCOUNTRY
HILTON HEAD ISLAND, SC

Wood+Partners Inc. WPI
Landscape Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7068 ■ www.woodandpartners.com



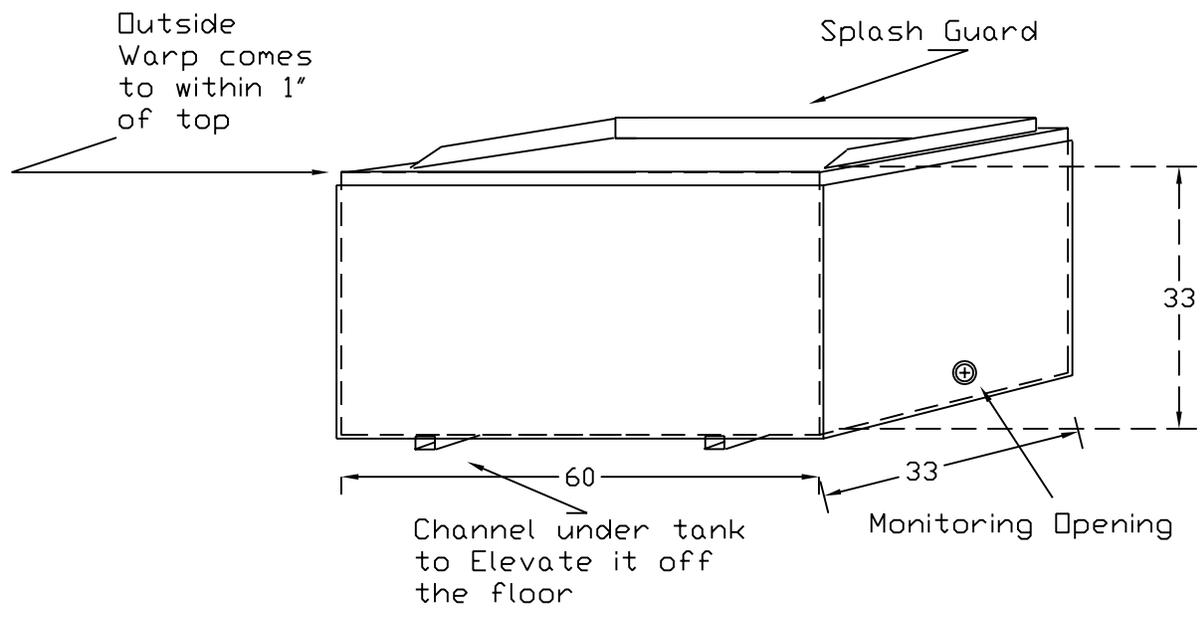
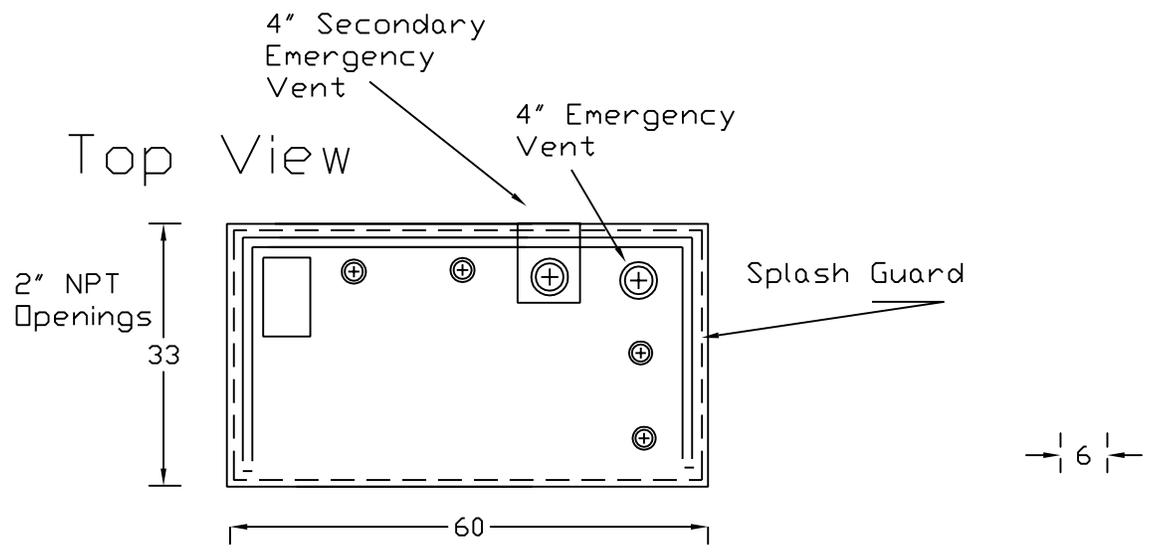
Fuel Tank at Maintenance Building

Tank Information

ZONE	REV	DESCRIPTION	DATE	APPROVED
		12 Gauge Carbon Steel Construction, UL142 Listed, Red Primer coating	June 2009	

FINAL APPROVED DRAWING
 BY: _____
 DATE: _____

Top View



280DWWB

280 Gallon Work Bench Tank, Double Wall construction, standard openings, channel under tank, red primer coating

1333 North Douglas St
 Florence, SC 29501
 Telephone (843) 669-3381
 Fax (843) 664-9118

UL142 Listed	For Stationery Use Only	REV
SCALE	M Moran	SHEET



Existing Trellis



10' Golf Safety Fence



10' Golf Safety Fence



FloBoy™

SMALL AND MID-SIZE VFD PUMP PACKAGES

- For lift, boost and well applications
- Delivered in three to four weeks

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Part 3 - Pumps and Motors

- 3.00 Scope.** Pump station manufacturer shall strictly adhere to the following specifications.
- 3.10 Pumps.** Horizontal end-suction centrifugal pumps shall be of the back pull-out design to allow access to the impeller without disturbing the piping arrangement. Pumps shall be as manufactured by Goulds.™ The casing/volute shall be manufactured of ASTM A48 class 25-35 close-grained cast iron or AISI type 316L stainless steel, precision machined to modern hydraulic standards.
- 3.20 Motors.** Motors shall be NEMA JM, JP, or C face ODP design with 200 degree, C-rated, high efficiency, moisture-resistant copper windings impregnated with high-temperature polyester insulation resin. Motors shall have locked-shaft end bearings for longer life and positive end play control.

Part 4 – Valves and Gauges

- 4.00 Scope.** Pump station manufacturer shall strictly adhere to the following specifications.
- 4.10 System Discharge Isolation Valve.** An isolation valve shall be installed to isolate the irrigation system from the pump station.
- 4.20 Suction Pressure Gauge.** Gauge shall be silicon filled to reduce wear due to vibration. Accuracy shall be within 2%.
- 4.30 Discharge Pressure Gauge.** All gauges shall be silicon filled to reduce wear due to vibration. Accuracy shall be within 2%.

Part 5 - Electrical

- 5.00 Scope and Codes.** Control panel with controls shall be built in accordance to N.E.C., U.L., and E.T.L. standards. The pump station, including electrical components and enclosure, shall be labeled as a complete U.L. Listed assembly with manufacturers U.L. label applied to the pump station. All equipment and wiring shall be mounted within the enclosure and labeled for proper identification. A complete wiring circuit and legend, with all terminals, components, and wiring identification, shall be provided.
- 5.10 Control Enclosure.** All branch circuit protection equipment, disconnect, wiring and controls shall be mounted in a single NEMA 4 enclosure. All components shall be labeled for proper identification and shall be accessible from the front of the enclosure for ease in maintenance and adjustment. Complete drawings shall be provided showing the location and identification of all components.
- 5.20 Station Disconnect.** A three-pole main station disconnect shall be mounted in the control enclosure to completely disconnect the incoming power. This shall also house the fusing that protects the control system. These fuses shall be time-delayed for the appropriate amperage. This disconnect will be suitable for use as a service entrance disconnect.
- 5.30 Control Power.** Power for the controls shall be provided by a control power transformer which will not be used for any other external load. The control power transformer shall be protected on the primary and secondary side by current limiting fuses of adequate size and voltage rating.
- 5.40 Short Circuit Current Rating.** U.L. rated control assembly shall be rated to withstand no less than 50 KA of short-circuit current.

Part 6 - Controls

- 6.10 Controls.** All control logic shall be handled by the HMI with integrated central controller. HMI features shall include Mono STN LCD, 16 shade, blue, 320 x 240 pixel, CCFT backlight lifetime: approximately 50,000h at 25 deg. C, and analog touch membrane. Operator interface providing graphical data entry and read-out capabilities.
- 6.20 Variable Frequency Drive.** Variable frequency drive shall be an ABBTM model ACS550 or preapproved equal.
- 6.30 Skid Wiring.** All station wiring for the motor and control(s) circuits shall be completed by the pump station manufacturer. All other wiring, including incoming power and external irrigation control wiring, shall be the responsibility of the owner or contractor.

Part 7 – Testing

- 7.00 Run Testing.** The pumping system shall be completely run-tested prior to shipment to verify the performance. A complete test of the pumping system shall include operation at condition point flow, pressure, voltage, and amperage.

Part 9 - Optional Skid-Mounted and Control Integrated Equipment

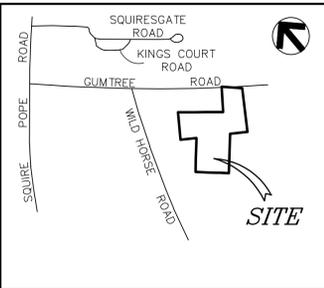
- 9.10 Flow Meter Magnetic Flowmeter.** The pump station shall have a flow sensor installed, which shall be utilized for control and to display the pump station flow rate, and to display total flow through the pump station controller operator interface device (OID).



Xylem, Inc.
10661 Newkirk Street
Dallas, TX 75220
Phone: 800-786-7480
www.xyleminc.com/brands/flowtronex



Fuel Tank at Maintenance Building



VICINITY MAP - N.T.S.

GUMTREE ROAD



LEGEND

BC	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CB	CATCH BASIN
CD	CEDAR
CH	CHERRY
CHINA (BERY)	CHINABERRY
CMF	CONCRETE MONUMENT FOUND
DI	DROP INLET
ELEC. BOX	ELECTRIC BOX
GI	GRATE INLET
GM	GUM
HACK	HACKBERRY
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
IW	IRONWOOD
LAO	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
MAP(L)	MAPLE
MH	MANHOLE
MP	MAPLE
MYRTL	WAX MYRTLES
PA	PALMETTO
PAL	PALM
PG	PIG
PN	PINE
PN	PINE
RCP	REINFORCED CONCRETE PIPE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TALLO	TALLOW TREE
TB	TOP OF BANK
TELE. PED.	TELEPHONE PEDESTAL
TRANS	TRANSFORMER
WC	WILD CHERRY
W MYR	WAX MYRTLE
WHO	WHITE OAK
WY	WAX MYRTLE
WY	WATER VALVE
-X-	FENCE

- NOTES:**
- THIS LOT LIES IN ZONE "A-7", B.F.E. = 14.0' PER F.I.R.M. PANEL 0002-D, COMMUNITY NO. 450250, REVISED: 9/29/86.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
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 - PLAT OF 2.645 ACRES ON WILD HORSE ROAD BY: COASTAL SURVEYING CO., INC. DATED: 01/05/82 FILE: J-17538-17856 RECORDED AT: P.B.129 PAGE 75
 - PLAT OF CAROLINA ISLES BY: THOMAS & HUTTON ENG. CO. DATED: 01/31/08 FILE: J-17538-17856 RECORDED AT: P.B.129 PAGE 185-187
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LABEL DESCRIPTIONS (TYP.)

--->	TREE LOCATION
18.4 ---	GROUND ELEVATION
PN 18 ---	TREE SPECIES & DIAMETER (IN)



LINE TABLE

LINE	BEARING	LENGTH
L1	S171°43'W	7.08
L2	S36°17'28"W	46.31
L3	S81°44'46"W	38.08
L4	S84°46'01"W	40.64
L5	S38°26'32"W	25.73
L6	S82°01'12"W	75.96
L7	S50°14'04"W	12.85
L8	S50°14'04"W	48.49
L9	N34°45'34"W	36.13
L10	N17°36'34"E	40.18
L11	N02°56'27"E	57.35
L12	N01°55'38"W	36.57
L13	N19°01'19"W	46.70
L14	N09°04'51"E	39.69
L15	N05°57'23"E	45.98
L16	N72°46'07"E	43.78
L17	N67°22'23"E	41.24
L18	N51°24'09"E	54.35
L19	N45°02'47"E	33.06
L20	N63°45'54"E	32.49
L21	N84°02'02"E	70.47
L22	S25°23'08"E	47.08
L23	S14°46'37"W	44.79
L24	S12°11'27"W	37.05
L25	S37°22'22"W	38.57
L26	S17°14'43"W	44.38
L27	N28°35'58"W	35.48
L28	N42°02'35"E	50.15
L29	N75°58'54"E	42.57
L30	S34°39'20"E	42.10
L31	S09°01'35"E	41.30
L32	S07°22'23"E	40.91
L33	N82°51'15"W	49.27
L34	N15°06'31"W	24.74
L35	N2°39'41"E	40.29
L36	S28°18'06"W	58.45
L37	S31°17'34"E	7.87
L38	S44°12'24"E	37.89
L39	N42°08'03"E	26.03
L40	N33°44'44"E	43.39
L41	N30°28'48"E	65.81
L42	N38°48'58"E	81.58
L43	N19°19'19"E	52.44
L44	S89°38'55"E	51.08
L45	S60°52'53"E	58.84
L46	S65°13'06"E	70.33
L47	S19°31'33"E	67.03
L48	S94°46'02"E	36.29
L49	S15°16'12"E	42.91
L50	S03°38'13"E	33.26
L51	S88°17'08"E	44.66
L52	S88°39'39"W	39.96
L53	S47°42'42"W	24.91
L54	S42°58'14"W	39.91
L55	S39°02'18"W	35.86
L56	S60°07'20"W	57.74
L57	S03°05'01"E	81.52
L58	S81°38'10"W	51.00
L59	S64°04'49"W	29.48
L60	N07°01'24"E	51.55
L61	N58°18'44"W	61.08
L62	N75°46'32"W	24.34
L63	N55°59'29"W	54.96
L64	N55°46'17"W	54.99
L65	N63°15'56"E	28.39
L66	N61°59'58"E	43.34
L67	S61°08'01"E	23.50
L68	S11°32'09"E	32.62
L69	S32°03'19"E	29.49
L70	S42°01'12"E	18.67
L71	S22°17'12"E	7.44
L72	S27°16'35"W	20.39
L73	S89°17'55"E	17.77
L74	N01°54'04"W	28.46
L75	N39°23'13"W	56.32
L76	N49°28'35"W	51.06
L77	N47°03'58"W	60.12
L78	N45°24'24"W	75.37
L79	N44°36'49"W	81.95
L80	N41°58'45"W	81.24
L81	N45°21'17"W	28.47
L82	N41°30'25"W	7.81
L83	N09°02'09"E	9.07
L84	N19°17'22"E	10.20
L85	N45°40'48"E	42.46
L86	N42°38'11"E	31.44
L87	N28°17'00"E	25.05
L88	N32°31'12"E	7.44
L89	N80°02'44"E	18.67
L90	N50°37'56"E	19.93
L91	N47°12'52"E	45.57
L92	N45°09'17"E	80.34
L93	N43°10'07"E	67.05
L94	N44°59'06"E	71.47
L95	N45°22'42"E	48.61
L96	N35°02'31"E	19.48
L97	N32°10'30"E	9.53
L98	N07°41'40"E	9.02
L99	N04°17'53"W	7.34
L100	S80°07'44"W	44.68
L101	N40°15'34"E	89.80
L102	N44°18'29"W	7.01

PREPARED FOR: **BOYS & GIRLS CLUB OF THE LOWCOUNTRY**

A TREE AND TOPOGRAPHIC LAND SURVEY OF
27.241 ACRES ON GUM TREE ROAD

A PORTION OF THE
FAIRFIELD AREA

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 100'
DATE: 01/14
JOB No.: 51,231B

SURVEYED BY: LC
DRAWN BY: MRD
CHECKED BY: TWW

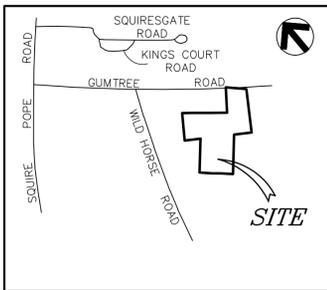


"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

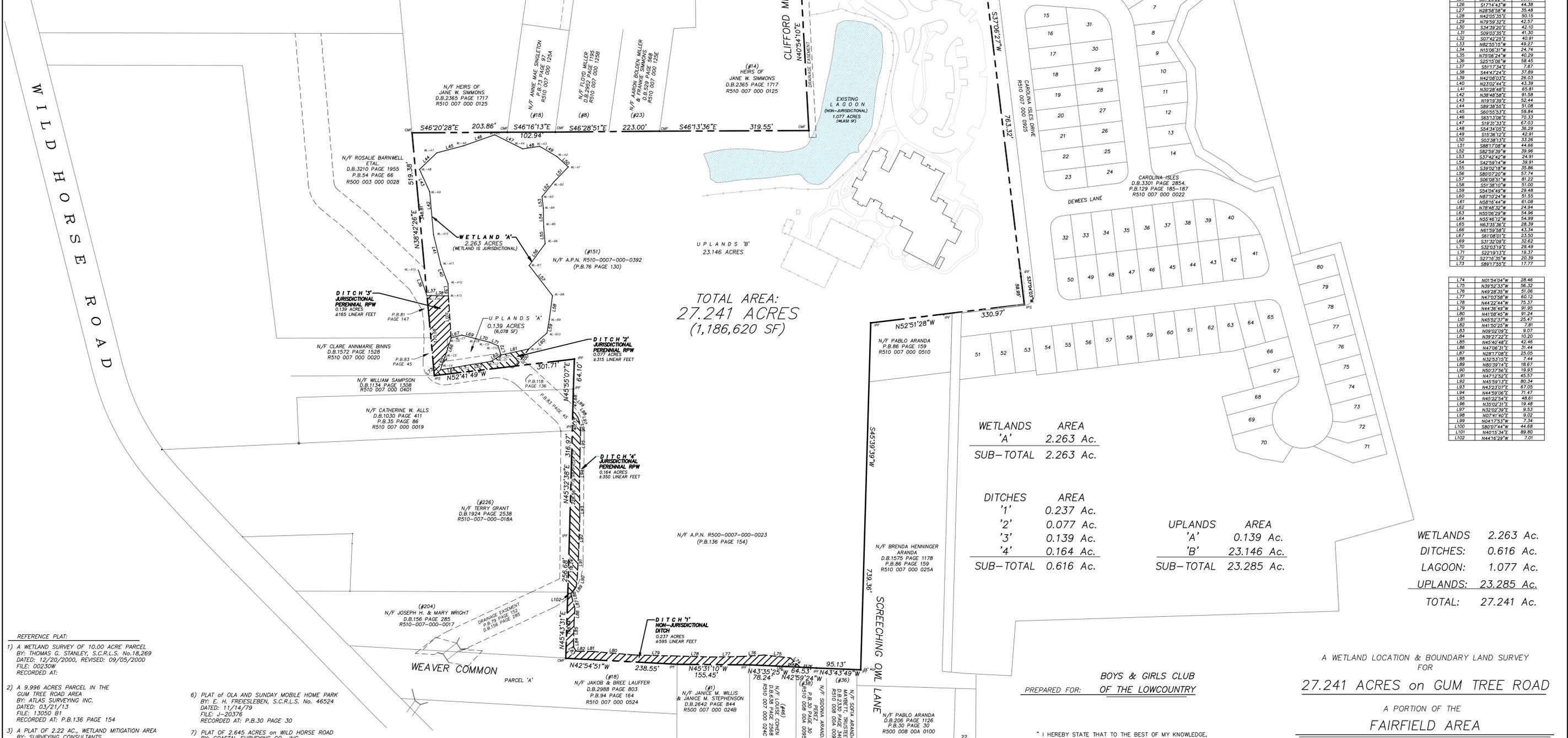
ONE FOOT CONTOUR INTERVAL

MICHAEL R. DUNIGAN
S.C.R.L.S. No. 11,905

Z:\BOUNDARIES\2014\Boys-Girls Club Site\51231 BASE-T&T.dwg 6/25/2014 8:23:19 AM EDT



VICINITY MAP - N.T.S.



TOTAL AREA:
27.241 ACRES
(1,186,620 SF)

WETLANDS 'A'	2.263 Ac.
SUB-TOTAL	2.263 Ac.
DITCHES '1'	0.237 Ac.
DITCHES '2'	0.077 Ac.
DITCHES '3'	0.139 Ac.
DITCHES '4'	0.164 Ac.
SUB-TOTAL	0.616 Ac.
UPLANDS 'A'	0.139 Ac.
UPLANDS 'B'	23.146 Ac.
SUB-TOTAL	23.285 Ac.

WETLANDS	2.263 Ac.
DITCHES:	0.616 Ac.
LAGOON:	1.077 Ac.
UPLANDS:	23.285 Ac.
TOTAL:	27.241 Ac.

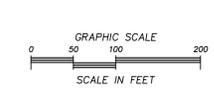
LINE	BEARING	LENGTH
L1	S171443"W	1.08
L2	S361728"W	46.01
L3	S914440"W	38.08
L4	S414601"W	40.64
L5	S262632"W	25.71
L6	S581912"W	75.96
L7	S501404"W	12.85
L8	S501404"W	48.69
L9	N344534"W	38.13
L10	N373634"E	40.18
L11	N522627"E	57.35
L12	N015538"W	39.37
L13	N192019"W	46.70
L14	N092451"W	39.69
L15	N553725"E	45.98
L16	N724607"E	43.78
L17	N571231"E	41.24
L18	N512409"E	54.35
L19	N452247"E	33.06
L20	N534554"E	32.49
L21	N894206"E	70.47
L22	S232308"E	47.08
L23	S144657"W	44.79
L24	S121127"W	37.05
L25	S172927"W	38.57
L26	S171443"W	44.38
L27	N262632"W	35.46
L28	N420815"E	50.13
L29	N793932"E	42.57
L30	S343920"E	42.10
L31	S090335"E	41.30
L32	S074226"E	40.91
L33	N622615"E	49.27
L34	N160631"W	24.74
L35	N752624"W	40.29
L36	S251505"E	58.45
L37	S817234"E	7.87
L38	S444224"E	37.63
L39	N420815"E	28.03
L40	N230244"E	43.39
L41	N362846"E	63.81
L42	N364636"E	91.58
L43	N191939"E	52.44
L44	S893535"E	51.08
L45	S605533"E	59.84
L46	S651106"E	70.33
L47	S193115"E	67.03
L48	S543405"E	36.29
L49	S123612"E	42.91
L50	S213011"E	33.99
L51	S881706"W	44.66
L52	S823939"W	39.98
L53	S174242"W	24.91
L54	S423914"W	39.91
L55	S392012"W	35.88
L56	S802720"W	57.74
L57	S063091"W	81.22
L58	S118810"W	51.00
L59	S540449"W	29.48
L60	N871024"W	51.55
L61	N591844"W	61.08
L62	N784832"W	24.94
L63	N520629"W	54.96
L64	N546112"W	54.99
L65	N633536"E	28.39
L66	N113038"E	43.34
L67	S010901"E	23.50
L68	S313209"E	32.62
L69	S320197"E	29.49
L70	S221911"E	19.37
L71	S271635"W	20.39
L72	S891756"E	17.77

L74	N013404"W	28.46
L75	N393233"W	56.32
L76	N492635"W	51.58
L77	N470358"W	60.72
L78	N442744"W	75.37
L79	N442644"W	72.81
L80	N410845"W	91.24
L81	N452377"W	25.47
L82	N118201"E	7.21
L83	N892029"E	9.07
L84	N392722"E	10.20
L85	N454046"E	42.46
L86	N473631"E	31.44
L87	N281708"E	25.55
L88	N323151"E	7.44
L89	N803914"E	18.67
L90	N502756"E	18.83
L91	N471252"E	45.57
L92	N452611"E	80.34
L93	N332072"E	67.05
L94	N445926"E	71.47
L95	N452254"E	48.61
L96	N330211"E	18.48
L97	N320239"E	9.53
L98	N074140"E	9.02
L99	N041725"W	7.34
L100	S800744"W	44.68
L101	N401634"E	89.80
L102	N441222"W	7.01

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- LEGEND
- B.S.L. BUILDING SETBACK LINE
 - CMF CONCRETE MONUMENT FOUND
 - IPF IRON PIN (OLD) FOUND
 - IPS IRON PIN (NEW) SET
 - (WL-D6) WETLAND FLAGGED POINT, TYPICAL



PREPARED FOR:
BOYS & GIRLS CLUB
OF THE LOWCOUNTRY

REVISOR: 08/15/14 TO SHADE WETLANDS
REVISOR: 08/13/14 TO UPDATE WETLANDS+DISTANCES
REVISOR: 07/14/14 TO UPDATE WETLANDS
REVISOR: 05/13/14 TO UPDATE WETLANDS

MICHAEL R. DUNIGAN
S.C.R.L.S. No. 11905

A WETLAND LOCATION & BOUNDARY LAND SURVEY FOR
27.241 ACRES ON GUM TREE ROAD
A PORTION OF THE
FAIRFIELD AREA
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 100'
DATE: 02/19/14
JOB No.: 51,231WETLAND

SURVEYED BY: LC
DRAWN BY: MRD
CHECKED BY: TWW

COASTAL SURVEYING CO., INC.
49 RIVERWALK BLVD.
BUILDING 8
RIDGELAND, SC 29936
(843) 645-4446

Z:\BOUNDARIES\2014\Boys-Girls Club Site\51231 Wetland Plat-revised-081514.dwg 8/15/2014 7:38:15 AM EDT



MATCHLINE: MATCH SHEET L4.0

MATCHLINE: MATCH SHEET L4.0

P.B.118
PAGE 136

P.B.83 PAGE 45

WETLAND

OPEN FIELD

N/F A.P.N. R500-0007-000-0023
(P.B.136 PAGE 154)

N/F BRENDA HENNINGER
ARANDA
D.B.1575 PAGE 1178
P.B.86 PAGE 159
R510 007 000 025A

LIMITS OF GRASSING FOR GOLF COURSE

SCREECHING OWL

SCREECHING OWL LANE

0 15' 30' 60' 90' 120'



PLAN IS SUBJECT TO CHANGE.

BOYS AND GIRLS CLUBS
OF THE LOWCOUNTRY
171 Gumtree Road
Hilton Head Island, South Carolina

PERMIT DRAWINGS
THE FIRST TEE OF THE
LOWCOUNTRY
Hilton Head Island, South Carolina

DRAWN BY:
DM
CHECKED BY:
KT

This drawing is an instrument of service & remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

#	REVISION	DATE	BY

DATE
1.13.15
PROJECT NUMBER
01-14030
SHEET TITLE
PLANTING
PLAN

Wood+Partners Inc. **WPI**
Landscape Architects
Land Planners

PO Box 23849 Hilton Head Island, SC 29925
843.681.6616 Fax 843.681.7096 www.woodpartners.com

SHEET
NUMBER
L4.1

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
ACRU	11	Acer rubrum 'Florida Flame' / Red Maple 'Florida Flame'	B & B or Cont.	2"Cal		10'	4'-5'	Strong central leader
CECF	8	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B or Cont.	1"Cal		6'-8'	4'-5'	Full, Specimen
ILOP	13	Ilex opaca 'Greenleaf' / American Holly 'Greenleaf'	B & B or Cont.	2"Cal		10'	4'-6'	Full
LANA	2	Lagerstroemia x 'Natchez' / Natchez Crape Myrtle	B & B or Cont.	1"Cal		6'-8'	3'-4'	Multi stem, 3 stems
MAGD	4	Magnolia grandiflora 'D.D. Blanchard' TM / Southern Magnolia	B & B or Cont.	2"Cal		10'	5'-6'	Full to Ground
NYSEW	6	Nyssa sylvatica 'Wildfire' / Black Gum	B & B or Cont.	2"Cal		10'	4'-5'	Full, specimen
PITA	12	Pinus taeda / Loblolly Pine	B & B or Cont.	1"Cal		6'-8'	3'-4'	Strong central leader
TADA	52	Taxodium distichum 'Autumn Gold' / Autumn Gold Bald Cypress	B & B or Cont.	4"Cal		10'	5'-6'	Strong central leader
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
ALZV	12	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger	3 gal	24"-36"	24"-30"	Full pot		
AZEN	18	Azalea Encore TM Sangria / Encore Azalea Sangria	3 gal	24"-30"	24"-30"	Full pot		
MYC2	9	Myrica cerifera / Wax Myrtle	15 gal	5'-6"	4'-5"	Full pot		
MYCE	40	Myrica cerifera / Wax Myrtle	7 gal	36"-42"	24"-36"	Full pot		
POMA	57	Podocarpus macrophyllus / Japanese Yew	7 gal	30"-36"	24"-30"	Full		
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
CEHP	23	Cephalotaxus harringtonia prostrata / Prostrate Plum Yew	3 gal	24"	24"-36"	24" o.c.	Full pot	
CYFA	28	Cytisium falcatum / Holly Fern	1 gal	16"-18"	10"-12"	24" o.c.	Full pot	
DIVE	32	Dielsia vegeta / African Iris	1 gal	18"-24"	12"-18"	30" o.c.	Full	
LIMB	119	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal	12"-14"	6"-8"	16" o.c.	Full pot	
TRJA	24	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine	1 gal	8"-12"	8"-12"	18" o.c.	Full pot	
SOD/SEED	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
SOD	22,580 sf	Cynodon dactylon 'Tif 419' / Bermuda Grass	sod					

WET MIX * QTY: 806 SF

Canna 'Tropicana Gold' / Tropicanna Gold Lily	75
20% 1 gal@ 18" oc, 12"-18" HT, 10"-12" SPR	
Iris virginica / Blue Flag Iris	75
20% 1 gal@ 18" oc, 12"-18" HT, 10"-12" SPR	
Juncus effusus / Soft Rush	226
60% 1 gal@ 18" oc, 12"-18" HT, 10"-12" SPR	

*PLANTS SHALL BE RANDOMLY BUT EVENLY SPACED WITHIN PLANT MIXES AS SPECIFIED BELOW TO ACHIEVE A BALANCED, NATURALIZED APPEARANCE.

TREE REMOVAL/REPLACEMENT SUMMARY

TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES REQUIRED AFTER 60% GOLF COURSE REDUCTION	# REPLACEMENT TREES PROVIDED
1	199" LIVE OAK 13" LAUREL OAK	21	8	52 cat. 1. w/ 4" cal. 17 cat. 1 w/ 2" cal. 69 (121 Total) 113 Overage
2	1072" SWEET GUM 1252" MAPLE 202" WATER OAK 148" IRONWOOD 111" RIVER BIRCH 46" BLACK GUM 40" PECAN 21" PERSIMMON 9" WHITE OAK	290	116	17 cat. 2 + 99 cat. 1 Overage 116 Total
3	887" PINE 99" PALM	99	40	12 cat. 3 + 14 cat. 1 Overage 26 (40 Total)
4	251" CHERRY	25	10	10 cat. 4

PLANTING SCHEDULE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DOING HIS/HER OWN QUANTITY TAKE OFFS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES.
- IF QUANTITY DISCREPANCIES OCCUR BETWEEN THE PLANS AND THE PLANTING SCHEDULE, THE CONTRACTOR SHALL USE THE GREATER QUANTITY FOR BIDDING PURPOSES. IF DISCREPANCIES OCCUR BETWEEN PLANT SPECIFICATIONS AS NOTED ON THE PLANT SCHEDULE AND WHAT IS SHOWN IN THE PLANS, THE SPECIFICATIONS ON THE PLANTING SCHEDULE SHALL TAKE PRECEDENCE OVER WHAT IS SHOWN ON THE PLANS.

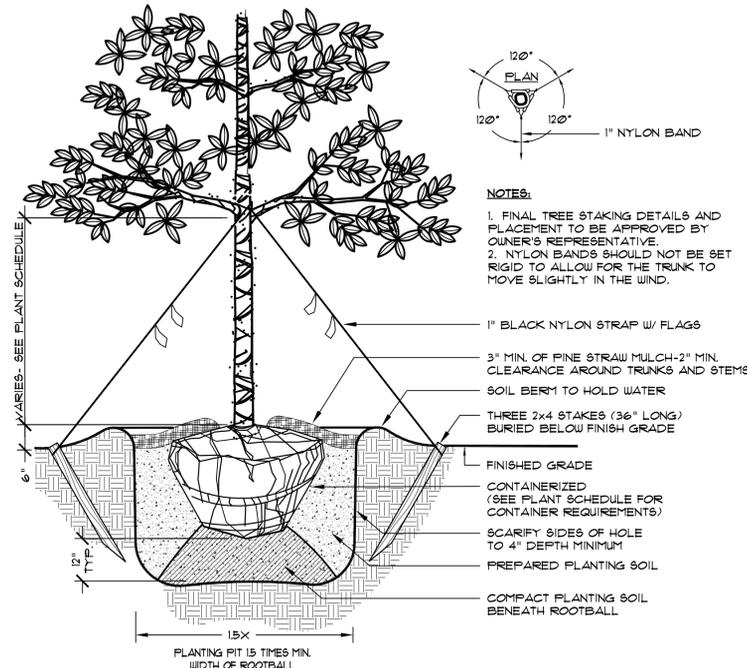
GENERAL PLANTING DETAIL NOTES:

- ALL DIMENSIONS PROVIDED FOR WOODEN MATERIALS ARE NOMINAL.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC, OR WIRE MESH. WIRE BASKETS MUST BE COMPLETELY REMOVED PRIOR TO INSTALLATION.
- ROOTBALLS SHALL BE SET 1"-2" ABOVE FINISHED GRADE AND SET PLUMB TO THE HORIZON.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS, OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMPE TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY, OR OTHER MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT OWNER'S REPRESENTATIVE PRIOR TO PLANTING. A SOIL TEST TO CONFIRM ADHERENCE TO THE SPECIFICATIONS FOR ANY STOCKPILED OR IMPORTED SOIL WILL BE REQUIRED. SEE SPECIFICATIONS FOR REQUIRED TESTING DATA AND AMEND THE SOIL AS REQUIRED BY THE SOIL TEST.
- SOIL BERMS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE PLANTING PIT WITH A HEIGHT AND WIDTH OF 6".
- MULCH SHALL BE A 3" DEEP LAYER PLACED TO THE EDGE OF THE TRUNK FLARE, AROUND THE BASE OF SHRUBS OR SOLIDLY AROUND GROUNDCOVER. MULCH SHALL BE AT A MINIMUM 2" CLEARANCE FROM TREE TRUNKS AND SHRUB STEMS.
- STRAPPING SHALL BE MINIMUM 1" WIDE BLACK NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, AND FLEXIBLE PLASTIC OR RUBBER, SECURELY FASTENED TO WOODEN STAKES. ALL WOODEN STAKES OR EARTH ANCHORS SHALL BE LOCATED BEYOND THE EDGE OF SOIL RING.
- THE GRADE AT SIDEWALK EDGE ADJACENT TO SPECIMEN OAK SHALL BE FEATHERED BACK AS NECESSARY USING A SANDY LOAM SOIL.

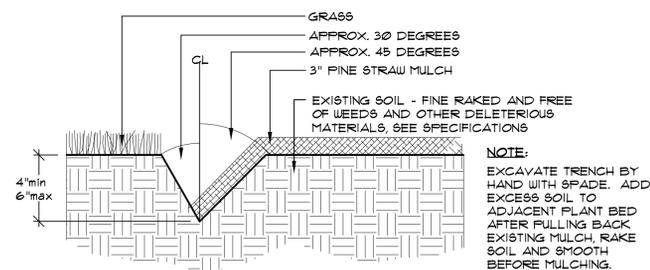
LANDSCAPE DEMOLITION NOTES:

- CONTRACTOR RESPONSIBLE FOR REMOVING ALL EXISTING LANDSCAPING WITHIN DISTURBANCE AREA UNLESS SPECIFICALLY NOTED TO REMAIN.
- SITE CONTRACTOR TO COORDINATE WITH LANDSCAPE CONTRACTOR ON REMOVAL.
- CONTRACTOR RESPONSIBLE FOR DISPOSING OF ALL LANDSCAPE DEMO MATERIAL FROM SITE. LANDSCAPE DEMO MATERIAL UNDER 18" DIAMETER TO BE TAKEN TO COMMUNITY MULCHING CENTER.

PLAN IS SUBJECT TO CHANGE.

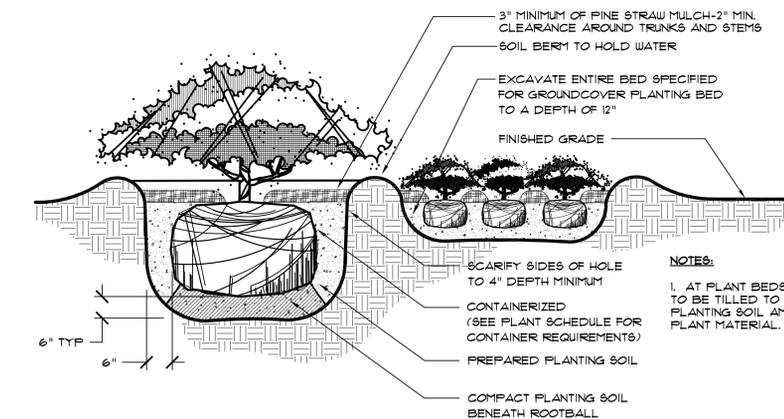


1 SHADE TREE PLANTING
L4.1 NOT TO SCALE

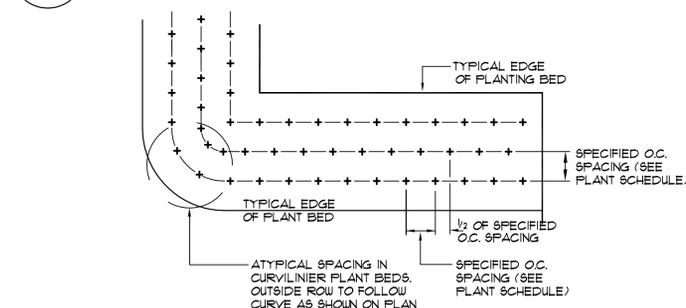


5 TYPICAL PLANTING BED EDGE TRENCH
L4.1 NOT TO SCALE

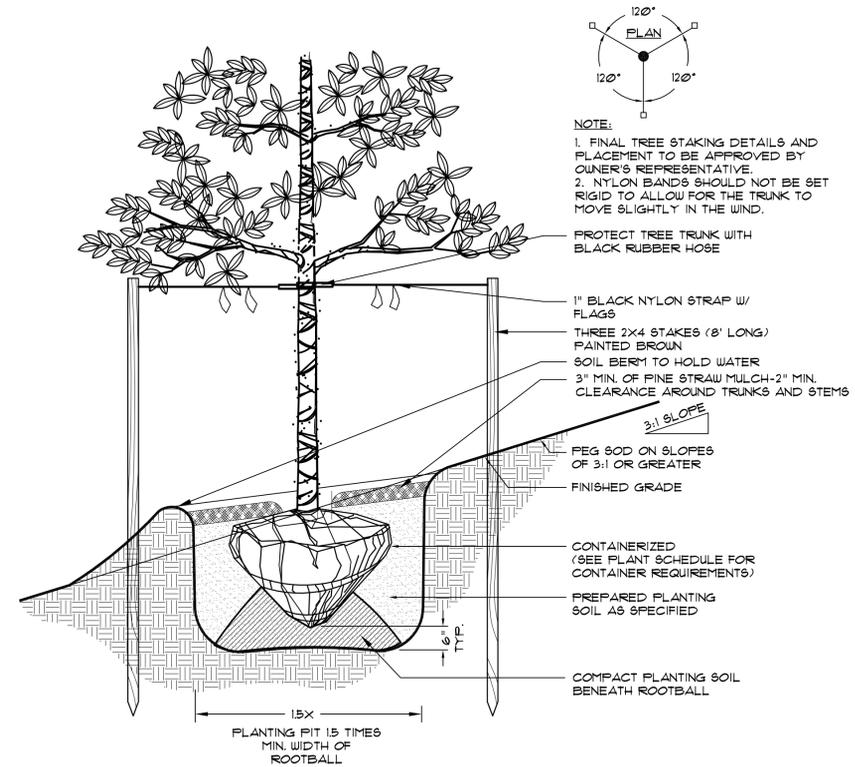
2 SHADE TREE PLANTING ON SLOPE
L4.1 NOT TO SCALE



4 SHRUB AND GROUNDCOVER PLANTING
L4.1 NOT TO SCALE



6 TYPICAL GROUNDCOVER SPACING
L4.1 NOT TO SCALE



BOYS AND GIRLS CLUBS
OF THE LOWCOUNTRY
171 Gumtree Road
Hilton Head Island, South Carolina

PERMIT DRAWINGS
THE FIRST TREE OF THE
LOWCOUNTRY
Hilton Head Island, South Carolina

DRAWN BY:
DM
CHECKED BY:
KT

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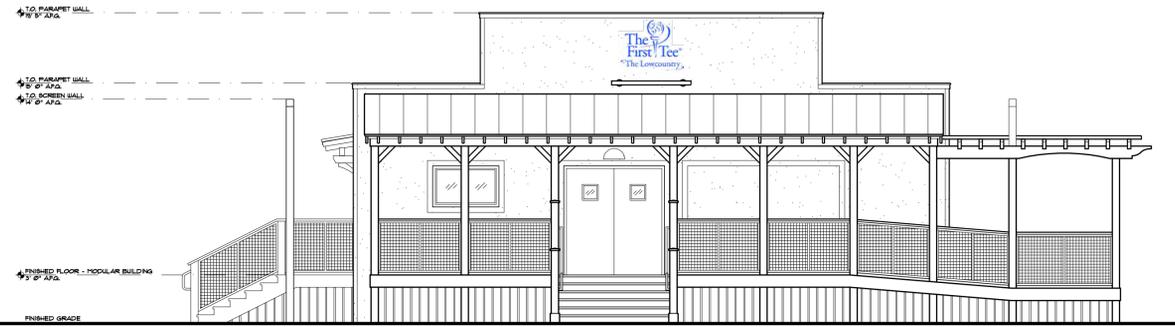
#	REVISION	DATE	BY

DATE
1.13.15
PROJECT NUMBER
01-14030
SHEET TITLE
PLANT DETAILS

Wood+Partners Inc. **WPI**
Landscape Architects
Land Planners

PO Box 23849 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7096 ■ www.woodpartners.com

SHEET NUMBER
L4.2

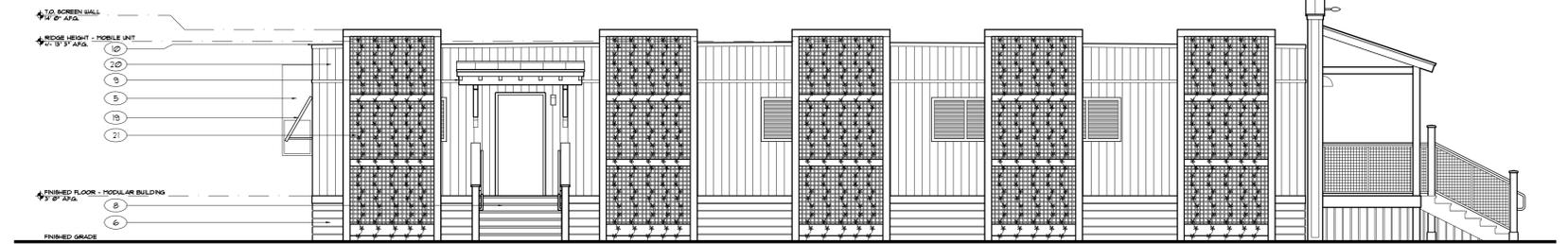


E Alternate Parapet Wall Front Elevation (East)
Scale: 3/16" = 1'-0"

EXTERIOR MATERIALS LEGEND	
MATERIAL	
1	5-CRIMP METAL ROOFING (MCELROY METALS - PATRICIAN BRONZE)
2	P.T. WOOD TRELLIS (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
3	P.T. 6x6 WOOD COLUMN (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
4	MODULAR BUILDING SLIDING WINDOW
5	EXISTING WALL MOUNTED HVAC UNIT (SCREENED WITH MAX MYRTLE)
6	HORIZONTAL P.T. 1x6 WOOD SCREEN WITH 3/4" SPACING (CABOT STAIN - SOLID - BARK)
7	P.T. WOOD ACCESS PANEL (CABOT STAIN - SOLID - BARK)
8	P.T. WOOD STAIR (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
9	P.T. WOOD AWNING (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE) WITH 5-V CRIMP METAL ROOF (MCELROY METALS - PATRICIAN BRONZE)
10	MODULAR BUILDING EPDM ROOF
11	2" GALVANIZED WELDED WIRE MESH
12	VERTICAL P.T. 1x6 WOOD SCREEN WITH 3/4" SPACING (CABOT STAIN - SOLID - BARK)
13	P.T. WOOD RAILING (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
14	P.T. WOOD RAMP (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
15	3x6 EXPOSED RAFTERS (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
16	STUCCO PARAPET WALL (DRYVIT - PEARL ASH)
17	POST MOUNTED CUSTOM 'FIRST TEE' LOGO SIGN
18	4" WALL MOUNTED SIGN LIGHT FIXTURE (COOPER LIGHTING - AMERTIX - ARROWHEAD LINEAR LED - BRONZE FINISH)
19	COMPOSITE BERMUDA SHUTTER (TIMBERLANE - OLD ESSEX GREEN)
20	MODULAR BUILDING METAL WALL PANEL - PAINTED (SHERWIN WILLIAMS - CUSTOM MATCH TO DRYVIT PEARL ASH)
21	P.T. WOOD LATTICE SCREEN WALL w/ VEGETATION (CABOT STAIN - SEMI TRANSPARENT - FIELDSTONE)
22	METAL COPING (COLOR TO MATCH PATRICIAN BRONZE)
23	WALL MOUNTED DOWNLIGHT (COOPER LIGHTING - 644-KP-SERIES - NATURAL BRONZE FINISH)



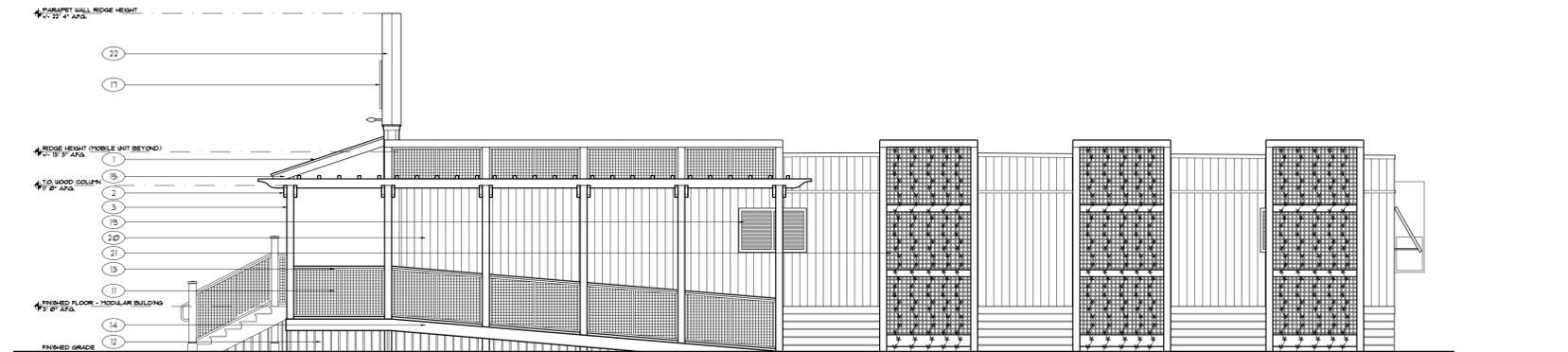
A Front Elevation (East)
Scale: 3/16" = 1'-0"



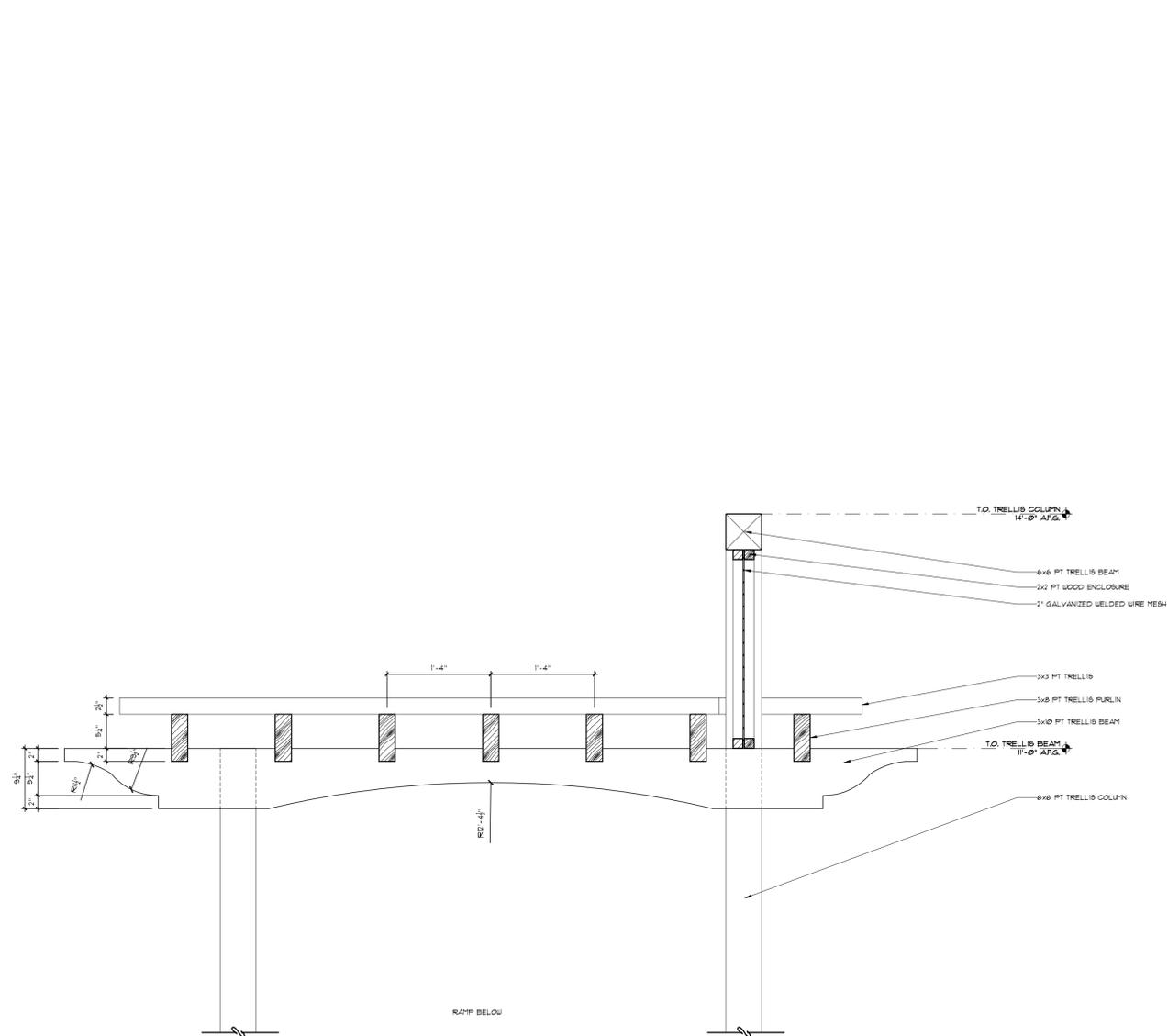
B Left Side Elevation (South)
Scale: 3/16" = 1'-0"



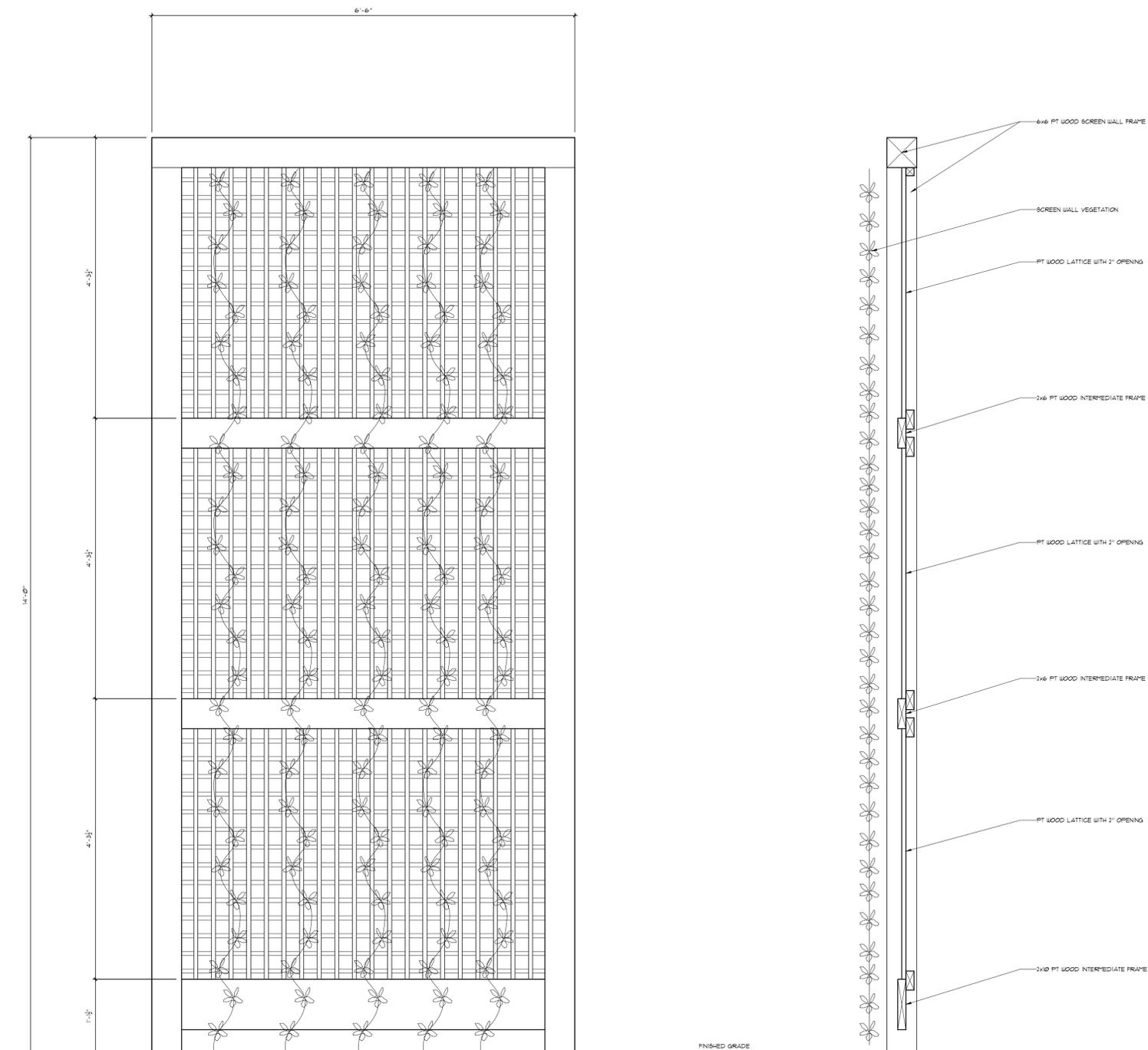
C Rear Elevation (West)
Scale: 3/16" = 1'-0"



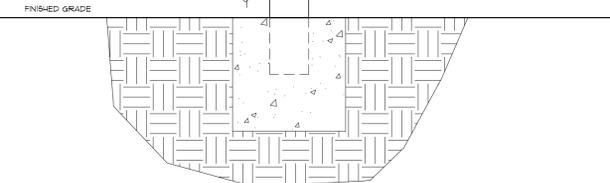
D Right Side Elevation (North)
Scale: 3/16" = 1'-0"



A Trellis Detail @ Ramp
Scale: 1-1/2" = 1'-0"

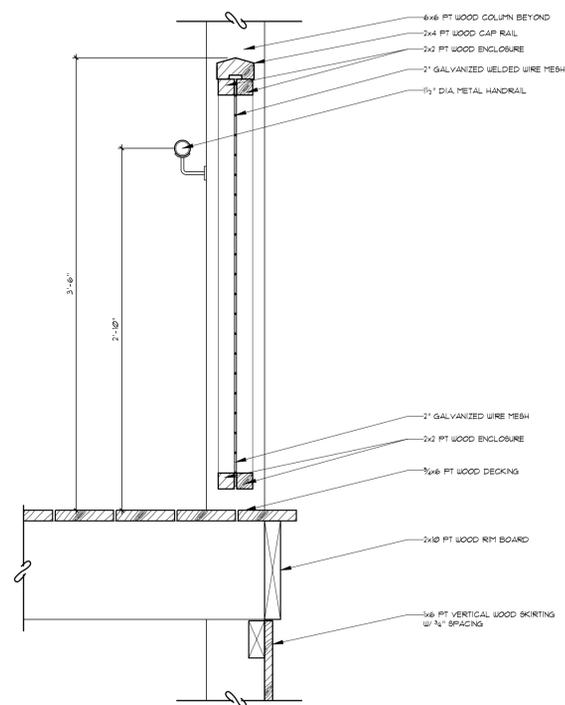


B Screen Wall Elevation & Section
Scale: 1" = 1'-0"

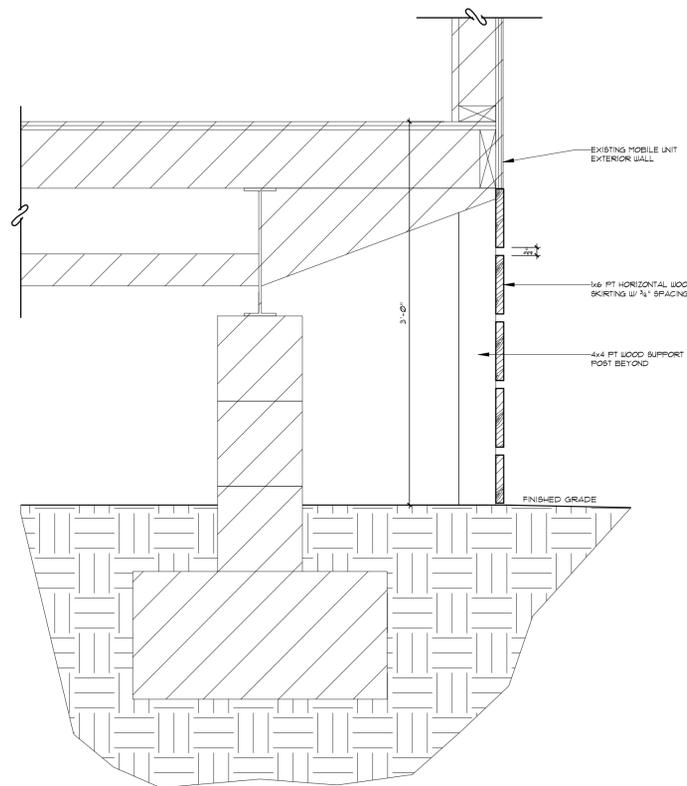


The First Tee of the Lowcountry Pro Shop
JANUARY 13, 2015

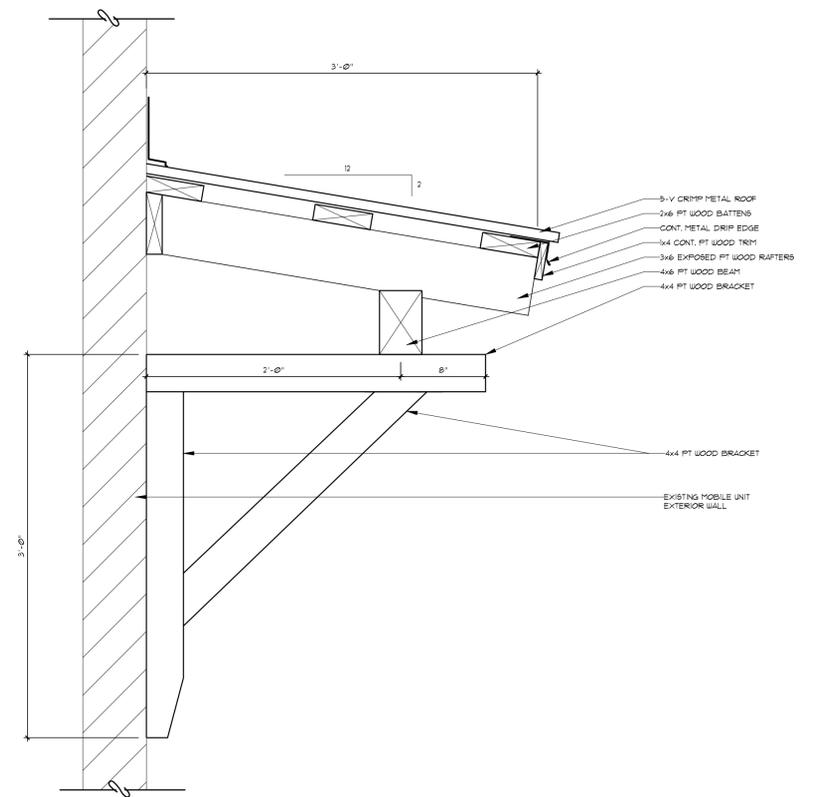
COURT ATKINS
ARCHITECTS
P.O. Box 3978 Bluffton, SC 29910
P: 843.815.2557 F: 843.815.2547



A Porch Railing Detail
Scale: 1-1/2" = 1'-0"



B Horizontal Wood Skirt Detail
Scale: 1-1/2" = 1'-0"



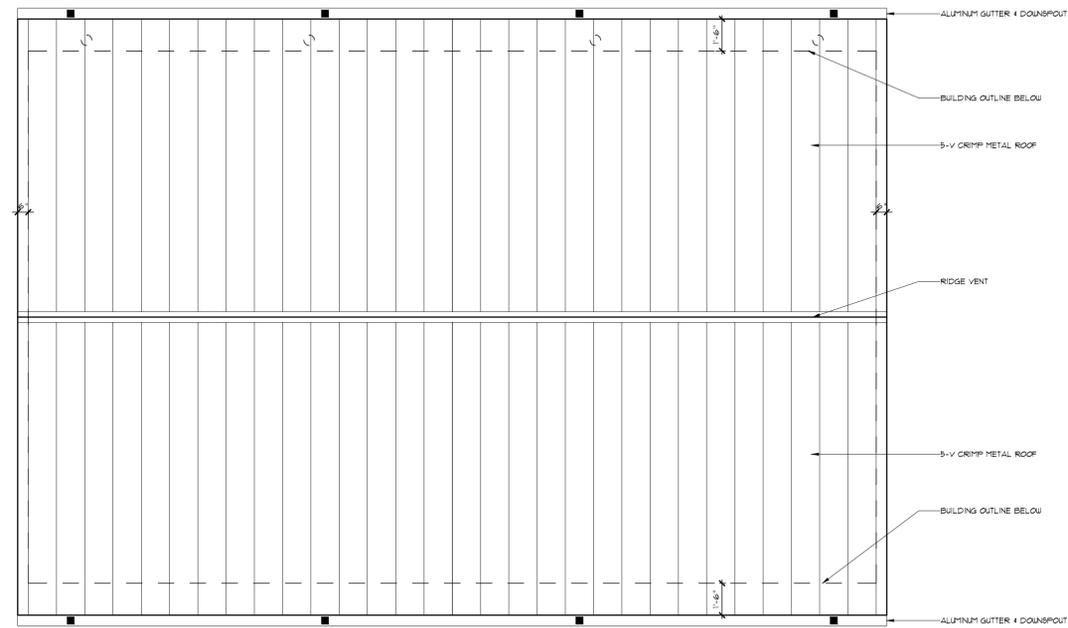
C Side Entry Awning Detail
Scale: 1-1/2" = 1'-0"

The First Tee of the Lowcountry Pro Shop

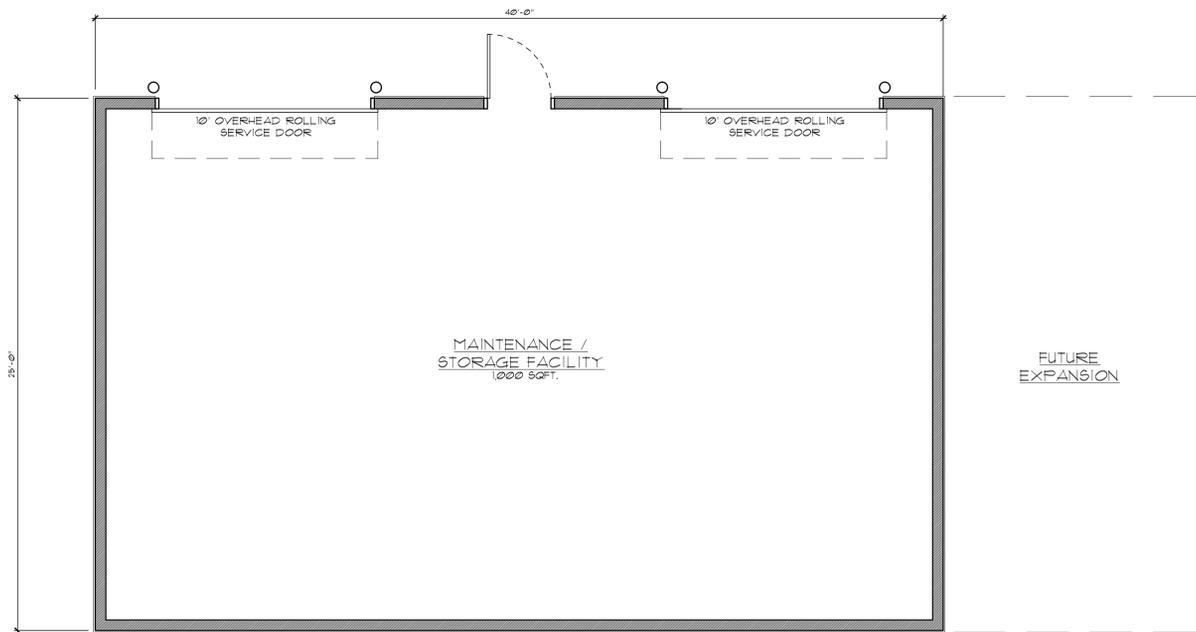
JANUARY 13, 2015

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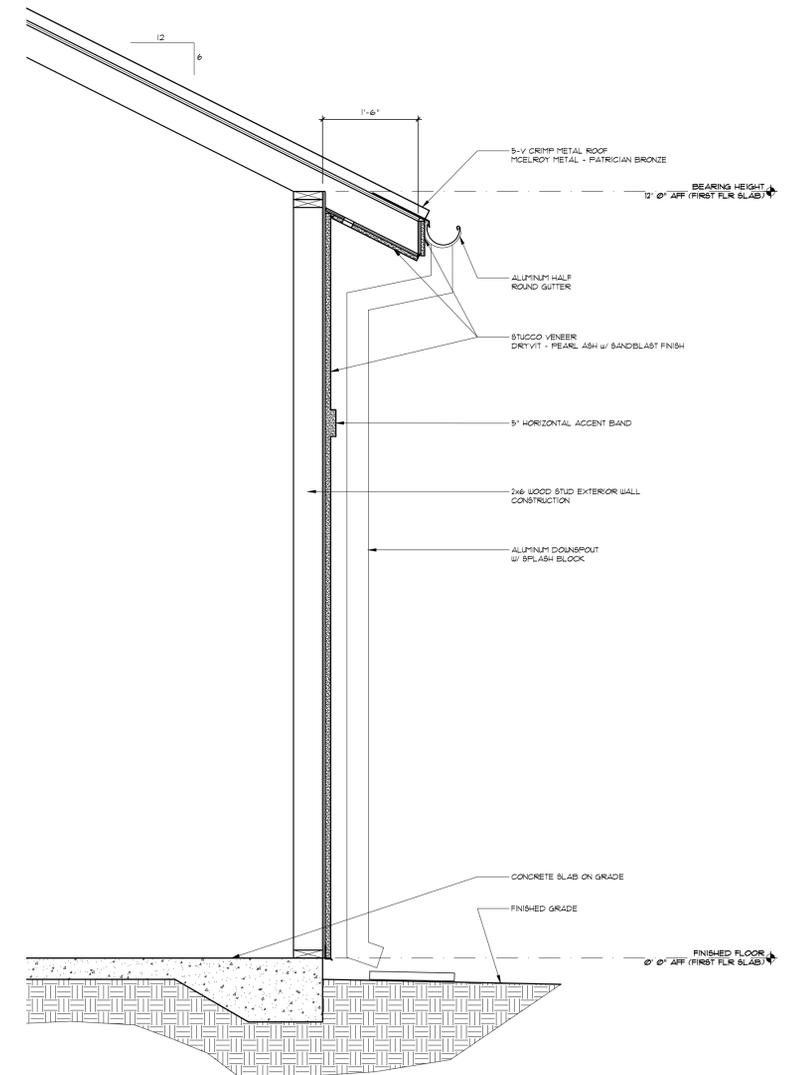
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B Roof Plan
Scale: 1/4" = 1'-0"



A Floor Plan
Scale: 1/4" = 1'-0"



C Typical Wall Section
Scale: 3/4" = 1'-0"

The First Tee of the Lowcountry Maintenance Facility

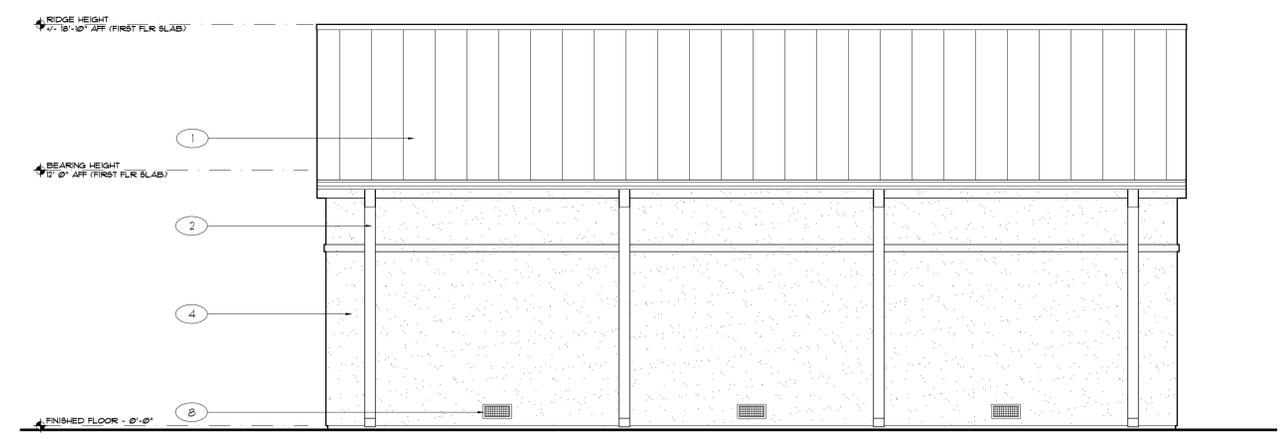
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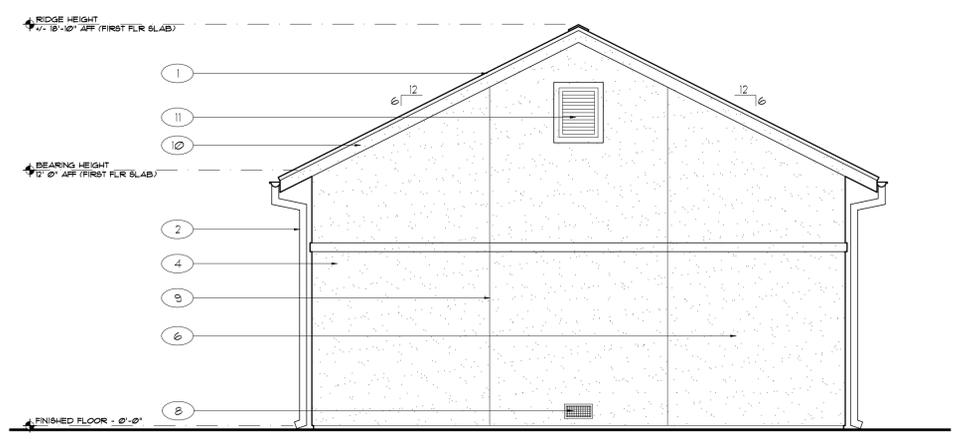
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EXTERIOR MATERIALS LEGEND

MATERIAL	
1	5-V CRIMP METAL ROOF; MCELROY METAL - PATRICIAN BRONZE
2	ALUMINUM HALF-ROUND GUTTER AND DOWNSPOUT; COLOR TO MATCH METAL ROOF
3	WALL MOUNTED LIGHT FIXTURE; WALL PACK BY LUMAPRO - ARCHITECTURAL BRONZE POWDER COAT
4	STUCCO VENEER; DRYVIT - PEARL ASH w/ SANDBLAST FINISH
5	OVERHEAD ROLLING SERVICE DOOR; WAYNE DALTON - BROWN
6	PAINTED EXT. HOLLOW METAL DOOR; SHERWIN WILLIAMS, SW6006 BLACK BEAN
7	PAINTED CONCRETE BOLLARD; SHERWIN WILLIAMS, SW6006 BLACK BEAN
8	PRE-FINISHED SMART VENT; COLOR - WHEAT
9	1/2" "V" REVEAL
10	STUCCO RAKE, FASCIA, AND SOFFIT; DRYVIT - PEARL ASH w/ SANDBLAST FINISH
11	PAINTED GABLE VENT; SHERWIN WILLIAMS, SW6006 BLACK BEAN



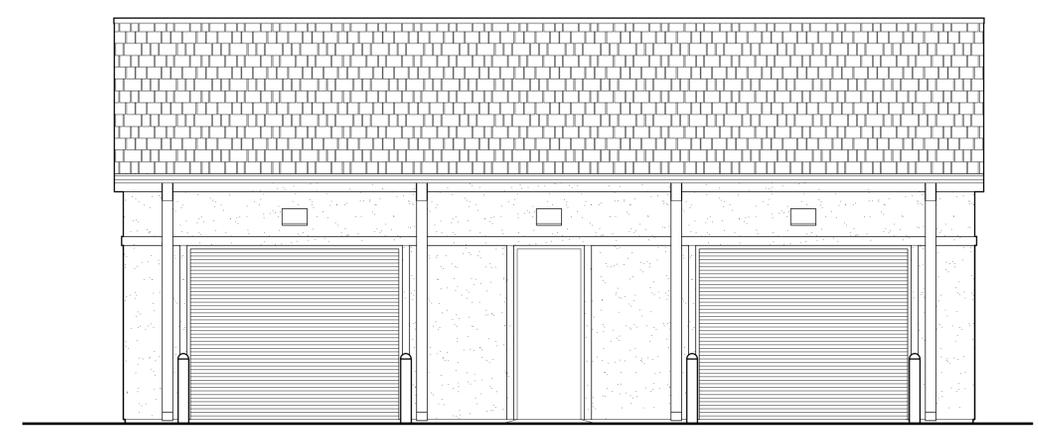
(B) Rear Elevation
Scale: 1/4" = 1'-0"



(C) Left & Right Side Elevation
Scale: 1/4" = 1'-0"



(A) Front Elevation
Scale: 1/4" = 1'-0"



(D) Alternate Front Elevation w/ Asphalt Shingles
Scale: 1/4" = 1'-0"

The First Tee of the Lowcountry Maintenance Facility

JANUARY 13, 2015

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 1st Tee Boys and Girls Club – NEW DEVELOPMENT
FINAL

DRB#: DRB-000068-2015

DATE: January 27, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Finish of proposed Trellis Feature at Entrance is proposed to match clubhouse building. Consider staining existing trellis to match clubhouse building and proposed trellis.
2. Change proposed sign light from LED to other type of light allowed by LMO.
3. All proposed lights are bronze with the exception of the lighted bollards. Consider bronze lights on the bollard.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood, stucco, glass, vines; Beige, brown, bronze, and green.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Alternate parapet wall front elevation provided.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Roof is mostly flat; 6/12 stucco parapet wall added. Alternate parapet wall front elevation provided.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building does not have overhangs, but added trellis, awnings, and wood screen walls provide visual relief.
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trellis, awnings, wood screen walls, and Bermuda shutters added to building.
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Mostly metal – wall panels and awning roof and stainless steel wire mesh. Some wood elements added – trellis, columns, awning, screen. Stucco parapet wall added.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood trellis, wood columns, wood screen
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HVAC units are wall mounted on rear elevation; Bermuda shutters added.
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed sign light is LED; LED lights are not allowed per LMO.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	An American Holly was added to screen end of stucco parapet wall.

Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<i>NATURAL RESOURCE PROTECTION</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing open lawn areas are being converted to practice range, chipping green, etc.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed replacement/mitigation is based on 60% reduction for golf courses.
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Proposed "First Tee" logo sign will require sign permit application to be reviewed/approved by staff.