



Town of Hilton Head Island Regular Design Review Board Meeting

October 27, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of October 13, 2015
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. Alteration/Addition
 - 1) DRB-001757-2015 – Graves Warehouse
 - 2) DRB-001678-2015 – Outdoor Dining Patio (Wren – SCTC)
 - 3) DRB-001915-2015 – Wendy’s
 - 4) DRB-001923-2015 – Island Rec Center (Shelter Cove Community Park)
11. **Appearance by Citizens**
12. **Adjournment**

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, October 13, 2015 Meeting
1:15p.m. – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present:	Chairman Jake Gartner, Vice Chairman Dale Strecker, Michael Gentemann, Ron Hoffman, Debbie Remke, Kyle Theodore and Brian Witmer
Board Members Absent:	None
Town Council Present:	None
Town Staff Present:	Jennifer Ray, Urban Designer Richard Spruce, Plans Examiner Charles Cousins, Director, Community Development Department Jill Foster, Deputy Director, Community Development Department Kathleen Carlin, Administrative Assistant

1. Call to Order

Chairman Gartner called the meeting to order at 1:15p.m.

2. Roll Call

3. Freedom of Information Act Compliance

4. Approval of the Agenda

Ms. Ray stated that application DRB-001757-2015, Graves Warehouse, is withdrawn. The applicant was unable to get their ARB approval on time. This application will appear on the October 27, 2015 agenda. The Board **approved** the agenda as amended by general consent.

5. Approval of the Minutes

The Board **approved** the minutes of the September 22, 2015 meeting as submitted by general consent.

6. Staff Report

Ms. Ray stated that the updated Design Guide was approved by Town Council on October 6, 2015 and is now in effect. The staff will provide hardcopies of the Design Guide for all Board members and will provide training at a later date.

7. Board Business

The Board reviewed the proposed 2016 Meeting Schedule. Chairman Gartner requested that a motion be made to approve the meeting schedule. Ms. Remke made a **motion** to **approve** the 2016 Meeting Schedule as submitted. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 7-0-0.

8. Unfinished Business

None

9. New Business

A. Alteration/Addition

1. **Ocean Gate repaint/re-roof** DRB-001821-2015

Ms. Ray introduced the application and stated its location, 2 North Sea Pines Drive. The applicant is proposing to repaint and reroof the gatehouse and its single ancillary kiosk. Ms. Ray presented an in-depth overhead review of the application including the roof material and proposed colors. The Sea Pines Plantation ARB has reviewed and approved the project and staff recommends approval as submitted. Following staff's presentation, Chairman Gartner invited the applicant to make his presentation. Applicant, Mr. David Henderson, stated that he has nothing to add to the staff's presentation. The Board discussed the application and stated that they agree with staff's recommendation for approval of the application. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Mr. Gentemann made a **motion** to **approve** DRB-001821-2015 as submitted. Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 7-0-0.

2. **Greenwood Gate repaint/re-roof** DRB-001824-2015

Ms. Ray introduced the application and stated its location, 46 Greenwood Drive. The applicant is proposing to repaint and reroof the gatehouse and its two ancillary kiosks consistent with proposed changes to Ocean Gate. Ms. Ray presented an in-depth overhead review of the application including the roof material and proposed colors. The Sea Pines Plantation ARB has reviewed and approved the project and staff recommends approval as submitted. Following staff's presentation, Chairman Gartner invited the applicant to make his presentation. Applicant, Mr. David Henderson, stated that he has nothing to add to the staff's presentation. Following brief comments by the Board, Chairman Gartner requested that a motion be made.

Mr. Gentemann made a **motion** to **approve** DRB-001824-2015 as submitted. Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 7-0-0.

3. **Renovation as law offices** DRB-001839-2015

Ms. Ray introduced the application and stated its location, 155 William Hilton Parkway. The applicant is proposing to redevelop the building for use as a law firm. Ms. Ray presented an in-depth overhead review of the project. The Town owns the site including parking and landscape areas, therefore, only the building is under review. Due to the building's age, location, and assessed value only minor modifications are planned. Primary alterations include removing the existing main entrance door with associated glass block and replacing it with storefront to match existing and removing the canopy on the front of the building. Following staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Jose Fuentes presented statements in support of the application including comments regarding the building color, and future improvements to access, parking, and landscaping. The Board discussed the application and presented comments regarding the addition of some landscaping. The Board stated that they appreciate the applicant's efforts to improve the site and the building. The Board suggested a lighter color choice, perhaps two different colors, to improve the aesthetics. The applicant stated that he plans to repaint the building. The staff

can assist the applicant with potential colors. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Mr. Hoffman made a **motion** to **approve** application DRB-001839-2015 as submitted. Mr. Gentemann **seconded** the motion and the motion **passed** with a vote of 7-0-0.

4. **St. Luke's Church** DRB-001840-2015

Ms. Ray introduced the application and stated its location, 50 Pope Avenue. The applicant proposes to enlarge the existing Parrish Hall, enclose an existing walkway beside the Columbarium, add on and improve the pre-school building, relocate the existing playground, as well as making some minor improvements to the existing parking areas. Ms. Ray presented an in-depth overhead review of the application and noted all colors and materials will match the existing and are well within the Design Guide. The Sea Pines Plantation ARB has reviewed and approved the project. The staff recommends approval as submitted. Following staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Sam McCleskey presented statement in support of the application. The applicant stated that that they want the project to be a seamless addition to the church. Mr. McCleskey presented statements regarding accessibility issues and stated that he has worked with Mr. Richard Spruce, Plans Examiner, on the project. The applicant stated that they would like to pull the steps on the back out slightly to improve accessibility. Due to state fire regulations for pre-schools, the applicant may be required to place a ramp on the front of the building. Mr. McCleskey presented details regarding the proposed ramp, handrail, and sidewalk and stated that he is hopeful the Board will permit the staff to approve the ramp addition pending a final decision on the required location.

The Board discussed the application. The Board stated that they like the project and that it fits seamlessly with the existing building. The Board discussed the issue of the proposed ramp and stated that they are not opposed to it being approved at the staff level. The Board also discussed the location of the relocated dumpster. Mr. Chris Darnell, landscape architect, presented comments regarding the new dumpster. The applicant plans to screen the dumpster from view with existing landscaping and proposed landscaping. The Board recommended that, due to its rather prominent location, a fence be placed around the dumpster. This will help tie in some detailing with the rest of the building. Mr. Darnell asked if the Board would consider a vegetative buffer, perhaps with a double staggered row of evergreen shrubs, instead of a fence. The Board stated that, given its exposure on Cordillo Parkway, they would prefer that a wood fence be installed around the dumpster in conjunction with vegetation.

The Board asked the applicant about some existing oak trees that are not shown on the survey. Mr. Darnell presented comments regarding the removal of trees. One tree that is scheduled to be removed has been labeled a hazard tree because it is leaning towards the existing Parrish Hall. Approximately 22 specimen sized trees on site will be preserved. Some diseased pine trees will be removed. The applicant is planning to install three additional live oak trees on site and stated that additional tree mitigation should not be required. The Board presented comments in concern of the large number of trees that are scheduled to be removed between Cordillo Parkway and the parking area. The Board preferred that the spaces to the left of the pavement in pine straw could have been located somewhere else in order to save more of the trees. The Board stated concern with how open the circular drop off area will become

compared to existing. The Board stated that they would like to see some low growing shrubs to help screen the area because the parking area will be very visible from the road.

Mr. Darnell presented comments regarding the turn around and the need for emergency vehicle access. The Board also presented comments regarding the handicap parking and reviewed the material for the parking area and the wood handrails. The applicant stated that there will be no new exterior decorative lighting. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Vice Chairman Strecker made a **motion to approve** application DRB-001840-2015 with the following conditions: (1) dumpster enclosure fencing is to be provided for review and approval by town staff; (2) modifications be made to parking adjacent to Cordillo Parkway to save as many trees as possible by reducing the parking by three or four spaces; (3) evergreen shrubs are to be added adjacent to the circular drop off area between it and Cordillo Parkway and Pope Avenue; (4) any ramp additions be submitted to town staff for review and approval; (5) any exterior decorative lighting is to be submitted to town staff for review and approval. Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 7-0-0.

(Ms. Theodore recused herself from review of the following application, DRB-001851-2015, due to a professional conflict of interest. A Conflict of Interest Form was completed, signed, and attached to the record.)

5. **World of Beers** - DRB-001851-2015

Ms. Ray introduced the application and stated its location, 30 Shelter Cove Lane, Building 140. Ms. Ray presented an in-depth overhead review of the application including an aerial view of the site.

The Board approved alterations to this building in February 2015 which included the addition of a trellis over outdoor seating. One of the conditions was to add planters which are included in today's submittal. The applicant is proposing to add a rail with gates around the patio and add a storefront folding door with glass and aluminum storefront that will match existing. The staff recommends that the metal and the wood railing be painted rather than be left natural. Ms. Ray presented details regarding the eight additional planters. The intent of the planters is to separate the sidewalk from the outdoor seating. The landscape plan has been updated.

Mr. Richard Spruce has noted that the applicant plans to have heaters hung from the trellis. The staff does not recommend approval of the heaters unless there is a way to conceal them. The utilitarian heaters are not in keeping with the style of the building or Shelter Cove Towne Centre. The staff recommends approval of the application with the following two conditions: (1) eliminate the heaters; (2) the wood and metal handrails be painted to match the building. Following the staff's presentation, Chairman Gartner requested that the applicant make his presentation. The applicant was not present at today's meeting.

The Board discussed the application including the colors and materials. The Board stated that they like the railing. The Board discussed the heaters and most members agreed with staff's concern with hanging them from the trellis unless there is a shield. Perhaps the heaters could be integrated more into the trellis detail and painted to match the trellis.

A couple of Board members stated a preference for SW 6159 “High Tea” paint color for the railing. If the gutter and downspouts are dark bronze, then the dark bronze color would be appropriate for the railing. The Board discussed the need for a pathway to the sidewalk which will affect the landscaping plan. The staff recommended that the gates be relocated to the long side of the patio rather than remove any landscaping. The Board agreed with the staff’s recommendation on this item. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Vice Chairman Strecker made a **motion to approve** application DRB-001851-2015 with the following conditions: (1) the railing and planters be painted to match the building SW 6159 “High Tea” color; (2) the heaters are to either be removed or integrated into the trellis detail; (3) the gates be relocated to the long side of the rail adjacent to the existing sidewalk. Mr. Gentemann **seconded** the motion and the motion **passed** with a vote of 6-0-0.

6. **Engel & Volkers** (7 New Orleans Road) DRB-001852-2015

Ms. Ray introduced the application and stated its location, 7 New Orleans Road. The applicant proposes to renovate this building into a realty company. Ms. Ray presented an in-depth overhead presentation including photos of existing conditions. Staff recommends that more native plant material be integrated into the plan as well as buffer plantings be updated to be consistent with LMO Sec. 16-5-103 (f). A cut-sheet for the proposed pavers should also be provided for review and approval.

The black and white colors are not in keeping with the neighborhood and they are not in keeping with the Design Guide. The staff recommends alternate colors that are more nature blending be selected. The staff recommends approval of the application with the following two conditions: (1) the landscape plan be updated to include more native plant material and enough plan material be included to meet LMO requirements; (2) select alternate colors that are more natural blending. Following the staff’s presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Mike Kronimus, KRA, Inc., presented statements in support of the application. The applicant discussed the preferred black and white color scheme. The applicant proposes to keep the site as existing except to clean up the landscaping. The applicant proposes to remove and replace the existing roofing, replace the existing patio and front stair surfaces with new coral stone, and remove and replace the existing handrails. All other railings at the ramp and rear emergency egress stair will be painted to match the new railings. A new painted wood trellis is proposed on the existing patio.

The Board discussed the application. The Board agreed with the staff that the white color is too white and should be muted to be consistent with the neighborhood and the Design Guide. The Board stated that the staff could work with the applicant to select an appropriate color. Perhaps the white could be a grayish color and the black could be a smoky gray. The Board recommended that the applicant use coquina instead of the coral stone as it is more durable. The railing detail can be worked out with staff’s approval. An updated exterior lighting and paver plan is needed. The applicant can work with the staff on these items. The Board agreed with the staff’s recommendations regarding landscaping requirements.

Following final comments, Chairman Gartner made a **motion to approve** DRB-001852-2015 with the following conditions: (1) the colors will be alternated from white and black to an

approved color per staff's confirmation; (2) the applicant will clarify railing detail, identify all materials and dimensions with staff's confirmation; (3) update landscape plan to meet LMO requirements in buffers; (4) provide cut-sheets for exterior lighting and paver details for staff's confirmation. Ms. Theodore **seconded** the **motion** and the motion **passed** with a vote of 7-0-0.

7. **151 Arrow Road** DRB-001854-2015

Ms. Ray introduced the application and stated its location, 151 Arrow Road. The applicant proposes to repaint their existing metal building. The proposed colors are SW 6191 "Contented" for the building and SW 7551 "Greek Villa" for the trim. The staff recommends approval as submitted. The applicant was not present for questions or comments.

The Board discussed the application. Several Board members stated concern with the white color being too white due to the building's size. The color should be toned down to more of a beige color. The staff can approve a more acceptable color. The gutters and downspouts should match the building color. The green color is acceptable. Other Board members stated that the color scheme is fine as submitted. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Ms. Remke made a **motion to approve** application DRB-001854-2015 with the following conditions: (1) the trim color should be a deeper shade than the proposed color; (2) the fascia, doors, and panels above the window should be the trim color. The roll up doors, downspouts, and body will all be the body color. Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 7-0-0.

8. **1020 William Hilton Parkway** DRB-001855-2015

Ms. Ray introduced the application and stated its location, 1020 William Hilton Parkway. The color scheme for the repaint of this building is the same as the previous application for the building located at 151 Arrow Road.

The Board discussed the application and presented statements regarding the orange roof shingles on this building. The applicant is not changing the material or the color of the roof at this time. The Board stated some concern with the proposed color palette against the orange roof. The Board suggested that the trim at the gable end be painted the trim color. The fascia and columns should be the trim color. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Ms. Theodore made a **motion to approve** application DRB-001855-2015 with the following conditions: (1) SW 7551 "Greek Villa" be adjusted to be less stark. The applicant should work with the staff to select the color; (2) the body of the building should be SW 6191 "Contented"; (3) the gabled ends of the building, where there are chevron shapes, as well as the louver, should be painted the same color as the body of the building; (4) the fascia, the trim, the columns, and the doors, should be painted the creamy color. Ms. Remke **seconded** the motion and the motion **passed** with a vote of 7-0-0.

B. New Development – Conceptual

(Ms. Theodore recused herself from review of the following application, DRB-001842-2015, Sea Turtle Marketplace, due to a professional conflict of interest. A Conflict of Interest Form was completed, signed, and attached to the record.)

1. **Sea Turtle Marketplace** DRB-001842-2015

Ms. Ray introduced the application and stated its location, 430 William Hilton Parkway. The applicant proposes to redevelop the former Pineland Station Shopping Center. This project received Conceptual approval in December 2014, however, the plans have changed to the point that they are back for another Conceptual review. Ms. Ray presented an in-depth overhead review of the application including existing conditions.

The staff recommends approval of the Conceptual submission with a strong condition that the roof forms and detailing be restudied and that the elevations be more in keeping with the Design Guide and island character. Following the staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Eric Walsnovich, Wood + Partners, and Mr. James Atkins, Court Atkins, presented statements in support of the application. The applicants discussed the site plan. The lift station may not be needed which will help the applicant to enhance the planted areas along William Hilton Parkway. The applicant may be able to pull some of the buildings forward towards William Hilton Parkway which should enhance the architecture. The Stein Mart façade renovation received Final approval in February 2015 and construction for this project is in progress. Demolition of existing buildings on site is also underway and will be redeveloped with new junior anchor buildings, retail tenant spaces, restaurant, parking, pedestrian circulation, and landscaping.

The elements include tabby stucco veneer, horizontal cementitious lap siding, metal trellis and covered walkways, Bermuda shutters, standing seam metal roofing, aluminum storefront doors and windows, and brick accents. Additional vertical elements may be needed.

The Board discussed the Conceptual submission including design elements, materials, and colors. Since the lift station may go away, the Board presented comments regarding a "pedestrian gateway". This might be a good opportunity to get people up off the leisure trail.

The Board recommended better refinement in the roof detail. The roofs seem too flat and in need of pitch. More depth on the roofline as you get further down is needed. The parapet on the backside should be broken up with some vertical elements. The elevations need additional detail. The hardscape should be simplified for better continuity in the pedestrian space. The Board recommended additional overstory trees added to the landscape plan. The F&G buildings (a mixture of retail and restaurant) will be very important and need to be more street friendly. The buildings may be too repetitive looking. The Board also discussed the outdoor dining and the need for adequate landscaping facing William Hilton Parkway. The Board stated that they believed the applicant is on the right path Conceptually, with the comments presented today taken into consideration. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Mr. Witmer made a **motion to approve** application DRB-001842-2015 with the following conditions: (1) introduce more architectural variety in building heights, roof lines, and parapet; (2) more variety is needed in buildings F & G; (3) restudy how they address William Hilton Parkway; and (4) simplify the hardscape design and materials. Mr. Gentemann **seconded** the motion and the motion **passed** with a vote of 6-0-0.

2. **Home 2 Suites by Hilton** DRB-001860-2015

Ms. Ray introduced the application and stated its location, 1 Marina Side Drive. The applicant proposes to redevelop this site including two hotels and a restaurant.

Ms. Ray presented an in-depth overhead review of the application including photos of existing conditions, conceptual site plan, and the elevations. The staff recommends approval of the Conceptual application with the following conditions: (1) the site plan be modified to be compliant with the LMO; (2) more natural materials be utilized; (3) additional details and more ways to break up the mass of the building be considered; and (4) significant landscaping should be incorporated into the plan. Following staff's presentation, Chairman Gartner requested that the applicant make his presentation.

The design team, Mr. Mandeem Singh, Mr. Tom Morgan and Mr. Mark Tate presented statements in support of the application. The applicants discussed Hilton's prototype design and prototype colors. The applicants presented hard samples of the proposed color palette for the Board's review. The applicant discussed the colors for the main body (medium brown) as well as the stripes (cream). The applicant stated that the parking islands will be adjusted to allow preservation of the specimen sized trees.

The Board discussed the application. Several Board members stated that there are too many colors and too many materials on this project. A good design has perhaps three materials and perhaps three colors. A couple of other Board members disagreed with the need to reduce the colors and stated that the selection of appropriate materials is the larger issue. All Board members agreed that they do not like the simulated brick. Even the use of genuine brick needs to be reduced because it is not a natural material found on the island. A limited use of Savannah brick might be appropriate. The use of hardi-plank, wood, and stucco are suitable materials. Board and batten would be helpful to add some additional interest to the building.

The Board stated that the tower elevation, the entry, and the roof need additional attention. The roof needs some additional pitch with perhaps some exposed rafters. The tower element is too dominant and the proportions of the building are problematic. A 3:12 eyebrow above that would simulate a roof would be helpful. The Board stated their concern with the pieces and parts of the mansard roof as it appears to be clipped onto the building. The service area or pool area might have a limited use of brick.

The Board stated their concern with the light at the top of the tower. This type of signature light component is inconsistent with island character. The Board also agreed with the staff's recommendations regarding the design of the building. The mass of the building needs to be broken up with additional design elements. The Board recommended the use of a window element to help give some architecture detail. The Board stated that they appreciate the applicant's efforts to save the specimen trees. The Board presented statements regarding the 10-ft. buffer area between the access road and the back of the parking. The also discussed the area between the access road and the building. The Board agreed with the staff's recommendations regarding landscaping and stated that plantings between the building and the parking will be important to the landscape plan. Some mature, vertical plantings will provide some needed height.

Finally, several Board members agreed that the tile provided by the applicant is not appropriate if used as a vertical element at the base of the building. The finish, the color and the material are not in keeping with island character. The material palette should be more natural and more simplified.

Following final comments, Chairman Gartner made a **motion to approve** Conceptual application DRB-001860-2015 with the following conditions: (1) consider the use of more natural materials; (2) the site must be compliant with the LMO; (3) provide additional details and ways to break up the mass of the building; (4) significant landscaping in both quantity and size should be incorporated into the plan; (5) landscaped areas beyond the parking lot island should be considered; (6) consider the simplification of the building, particularly the front face; (7) consider a limited use of colors rather than the colors submitted today.

Mr. Gentemann **seconded** the motion and the motion **passed** with a vote of 7-0-0.

10. Appearance by Citizens

a) Ms. Susan Murphy presented comments in concern of the need to preserve and protect as many trees as possible, particularly with regard to redevelopment of Pineland Station.

b) Ms. Francine Behr presented comments in concern of the need to preserve and protect as many trees as possible.

11. Adjournment

The meeting was adjourned at 4:45p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Jake Gartner
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 9/16/15
 Accepted by: KO
 DRB #: 1757-15
 Meeting Date: _____

Applicant/Agent Name: Robert L. Graves Company: _____
 Mailing Address: P.O. Box 5818 City: Hilton Head State: SC Zip: 29938
 Telephone: 843-341-2288 Fax: 843-341-2290 E-mail: rlgraves@hargray.com
 Project Name: Graves Warehouse Project Address: _____
 Parcel Number [PIN]: R5 52 015 000 0213 0000
 Zoning District: DCW Overlay District(s): Corridor

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

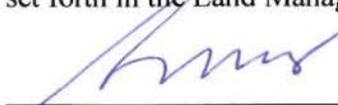
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

09.15-2015

DATE

**ROBERT L. GRAVES
DUNNAGAN'S ALLEY**

**GRAVES BUILDING
HILTON HEAD ISLAND, SOUTH CAROLINA**

PROJECT NARRATIVE

Dunnagan's Alley complex was constructed in the early 1970s for use as a cabinet and millwork shop and materials storage by a local construction company. The building was built in several phases and along with other buildings in the immediate area surrounded a paved common space. Since that time, the adjacent building has been sold to other owners who now share the paved area in between.

A few years ago, the Town of Hilton Head made improvements in the area, constructing a new park and traffic circle with a planned "walking district" for the existing buildings in the area.

In the past, the building was occupied by retail businesses and professional offices; currently, a portion of the building is being used as offices and storage and part is vacant at this time.

The Owner wishes to improve the exterior appearance, by providing an approximately 2,300 square foot covered walkway for tenants.

Roof: Metal Standing Seam to match McElroy Mansard Brown

Columns: Glidden "Tomorrows Taupe"



Fascia/Trim: Glidden Alencon Lace 20YY 60/104

A1794



Ceiling: Same as Fascia

Brick Base: English Oxford - Cherokee







FAT BABY'S
PIZZA & SUBS
1024 Wm. Hilton Pkwy



Flowers & Plants

WOODBRIDGE



20

GRAVES
Estate Planning
Attorneys



GRAVES
ESTATE PLANNING
ATTORNEYS

GRAVES
ESTATE PLANNING
ATTORNEYS







REVISIONS :

McCLESKEY AND ASSOCIATES ARCHITECTS PA
P.O. BOX 7125 HILTON HEAD ISLAND, SOUTH CAROLINA 29928 (843) 765-2222

DATE OF ISSUE : 05/05/2015 DRAWN BY : SLM CHECKED BY : SLM PROJECT NO. :1503

LANDSCAPE DEVELOPMENT FOR THE
GRAVES WAREHOUSE #19 DUNNAGENS
ALLEY, HILTON HEAD, S.C. 8/25/15.....

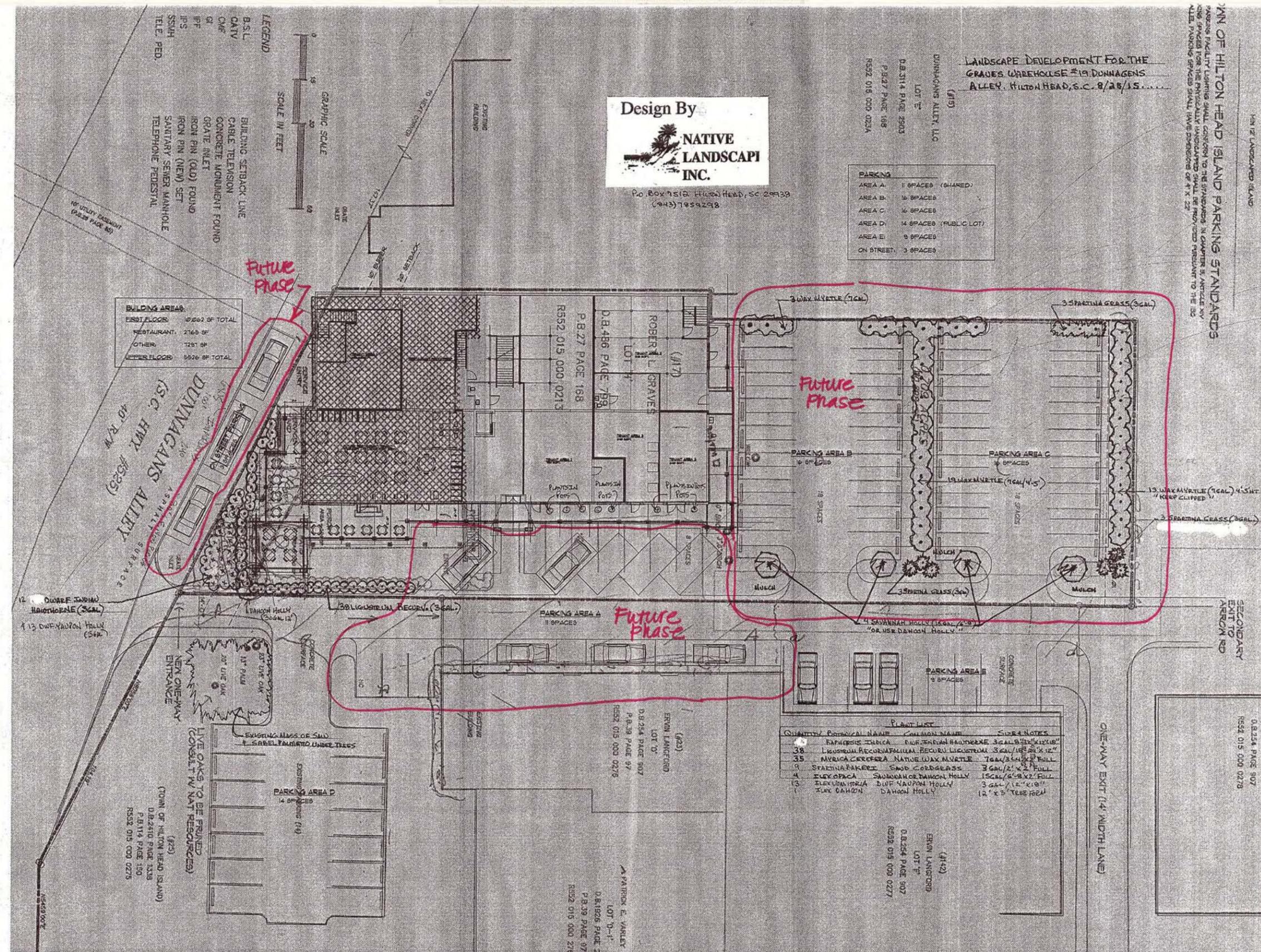
(#15)
DUNNAGENS ALLEY, LLC
LOT 17
D.B. 3114 PAGE 2903
P.B. 27 PAGE 188
R552 015 000 0224

PARKING

AREA A:	1 SPACES (SHARED)
AREA B:	16 SPACES
AREA C:	4 SPACES
AREA D:	14 SPACES (PUBLIC LOT)
AREA E:	9 SPACES
ON STREET:	3 SPACES

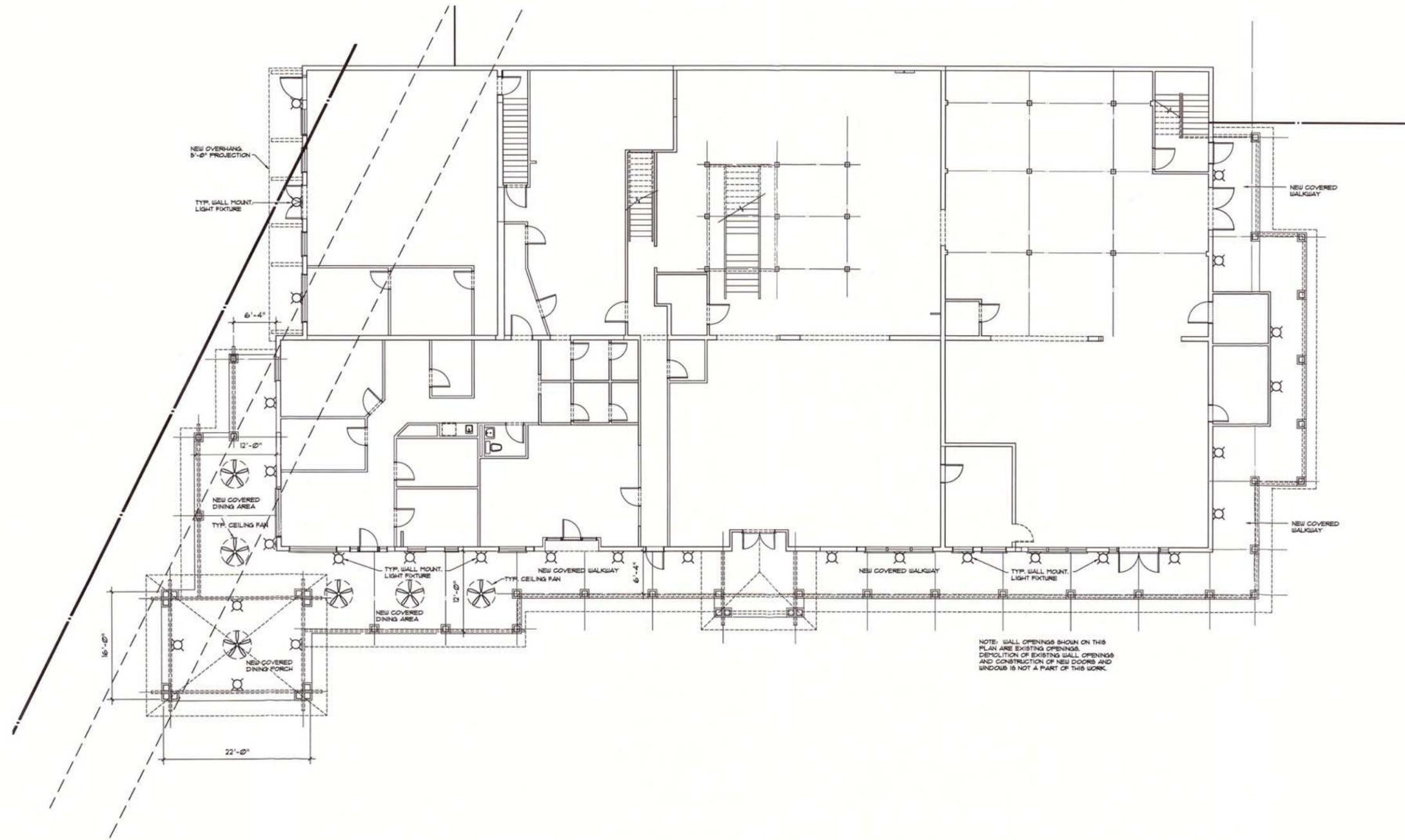


P.O. Box 9518 Hilton Head, SC 29928
(843) 765-9238



SITE PLAN
SCALE: 1/8" = 1'-0"

1
A-3



NOTE: WALL OPENINGS SHOWN ON THIS PLAN ARE EXISTING OPENINGS. DEMOLITION OF EXISTING WALL OPENINGS AND CONSTRUCTION OF NEW DOORS AND WINDOWS IS NOT A PART OF THIS WORK.

FLOOR PLAN - NEW COVERED WALKWAY AND DINING AREAS
 SCALE: 1/8" = 1'-0"

1
A-1

ISSUED FOR REVIEW
 DATE REVISED 9/12/2015
 NOT FOR CONSTRUCTION

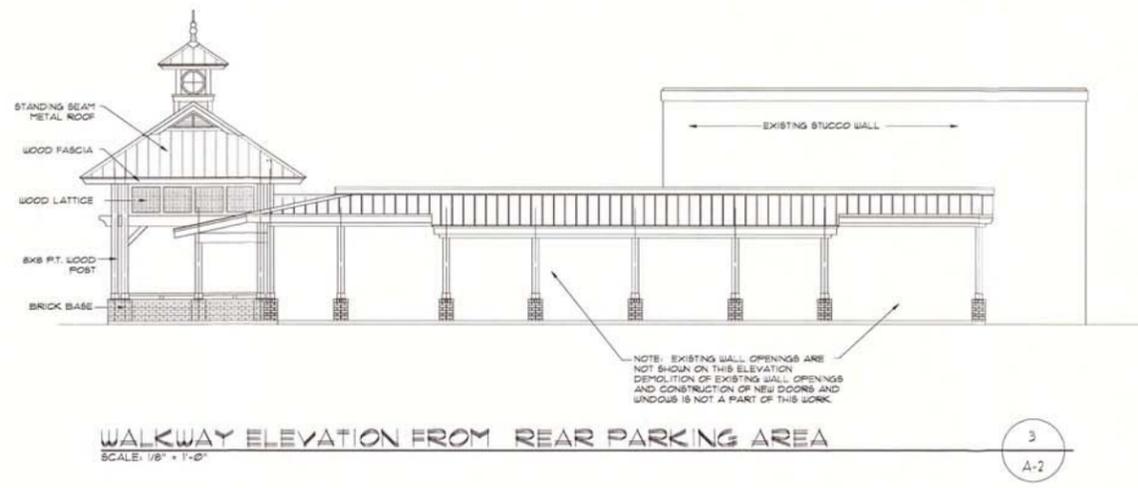
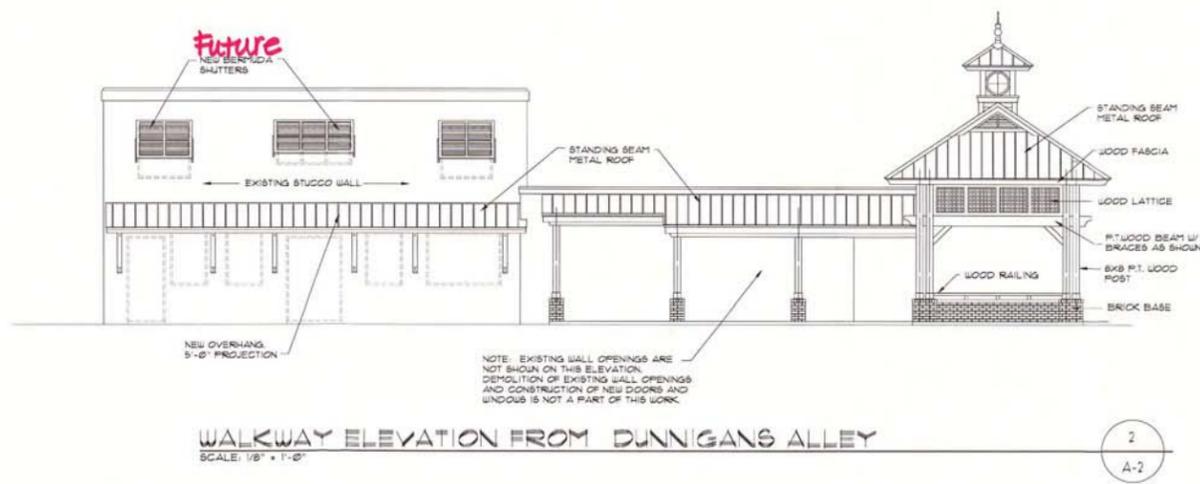
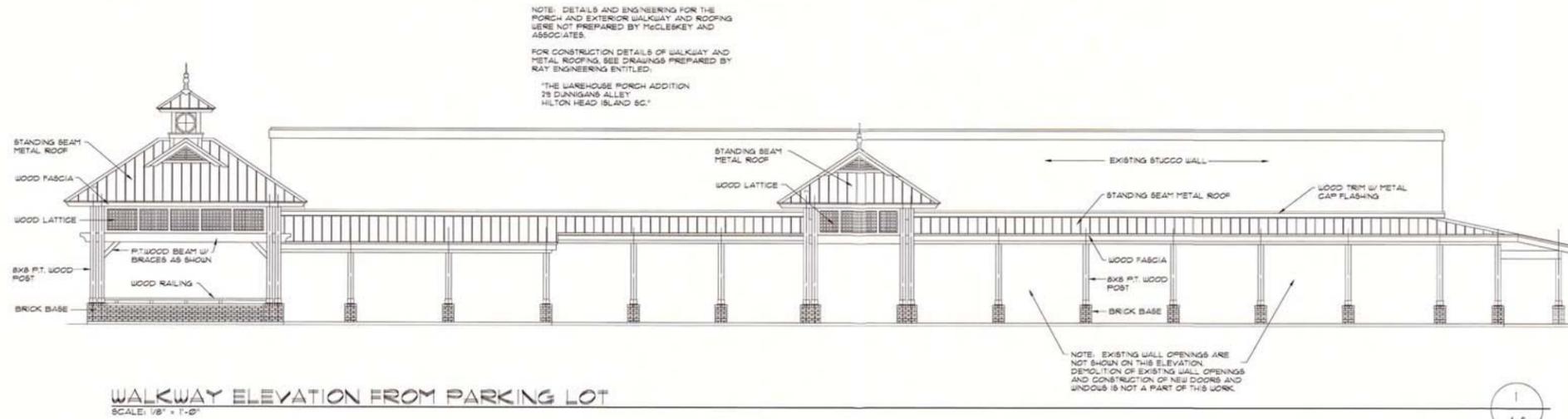
GRAVES WAREHOUSE
 19 DUNNAGEN'S ALLEY
 HILTON HEAD ISLAND, SC

REVISIONS :

McCLESKEY AND ASSOCIATES ARCHITECTS PA
 P.O. BOX 7125
 HILTON HEAD ISLAND, SOUTH CAROLINA 29928
 (843) 785-2222

A-1

DATE OF ISSUE : 05/05/2015
 DRAWN BY : SILM
 CHECKED BY : SILM
 PROJECT NO. : 1503



GRAVES WAREHOUSE
 19 DUNNAGAN'S ALLEY
 HILTON HEAD ISLAND, SC

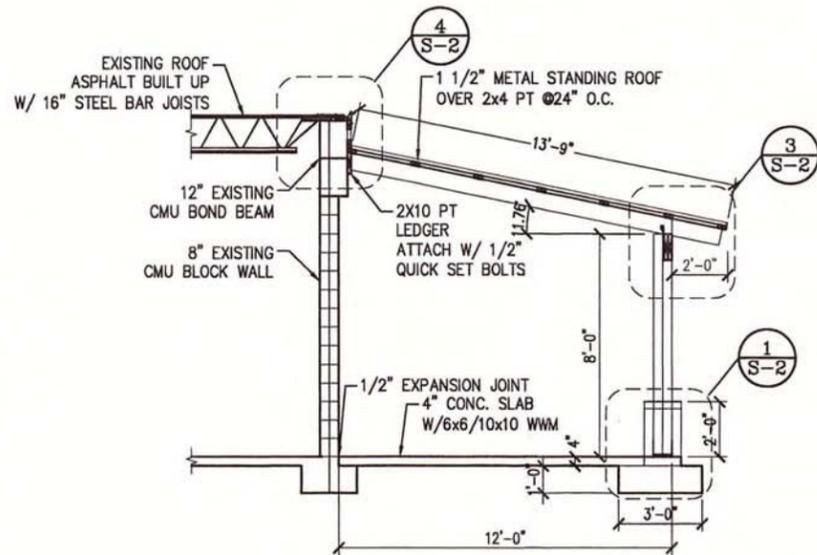
REVISIONS :

McCLESKEY AND ASSOCIATES ARCHITECTS P.A.
 HILTON HEAD ISLAND, SOUTH CAROLINA 29928
 P.O. BOX 7125 (843) 765-2222

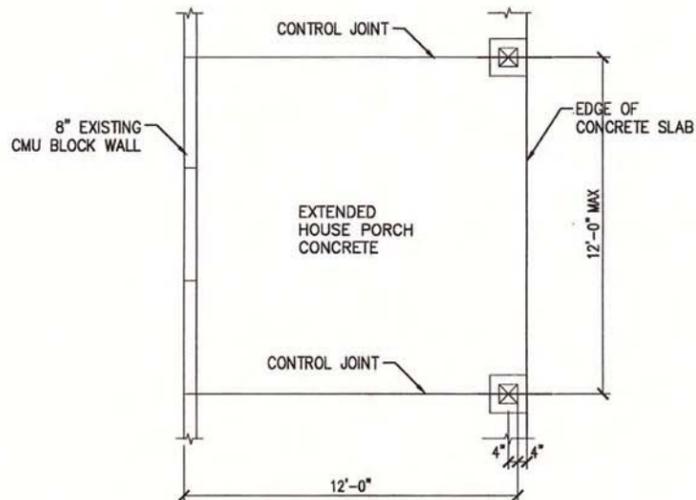
DATE OF ISSUE : 05/05/2015 DRAWN BY : SJM CHECKED BY : SJM PROJECT NO. : 1503

ISSUED FOR REVIEW
 DATE REVISED 9/12/2015
 NOT FOR CONSTRUCTION

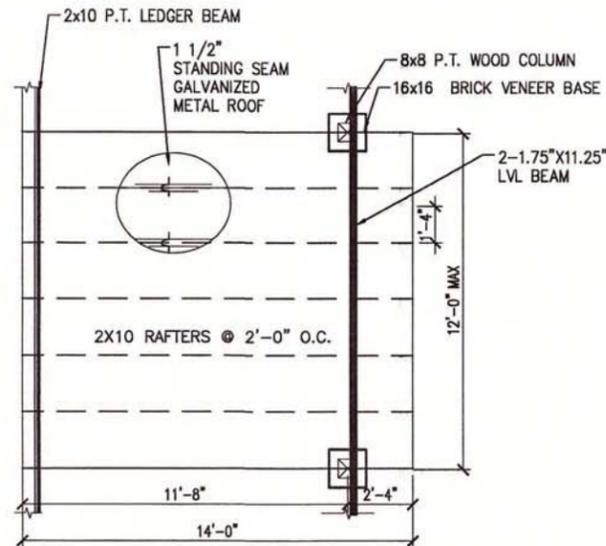
A-2



2 TYPICAL SECTION
S-1 SCALE 1/4" = 1'-0"



1 FLOOR PLAN - TYP. BAY
S-1 SCALE 1/4" = 1'-0"



3 FRAMING PLAN - TYP. BAY
S-1 SCALE 1/4" = 1'-0"

RAY ENGINEERING, INC.
CONSULTING ENGINEERS
3985 STEVE REYNOLDS BLVD
BUILDING A
NORCROSS, GA 30093
TEL: 770.923.1122
FAX: 770.923.0099
WWW.RAY-ENGINEERING.COM

SCALE: 1/4"=1'-0"
DATE: 07/14/2015
DRAWN BY: NR/DK
REVISED:

SEAL:

FOR CONSTRUCTION
Steven W. Roy, PE
South Carolina License 17501

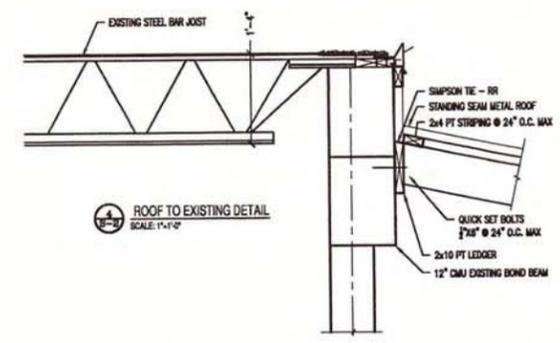
OWNER/DEVELOPER:
The Seacrest Development Co
Robert L Graves
P.O. Box 5818
Hilton Head Island, S.C. 29938
Tel. : (843) 341-2288
Fax : (843) 341-2290

THE WAREHOUSE
PORCH
ADDITION

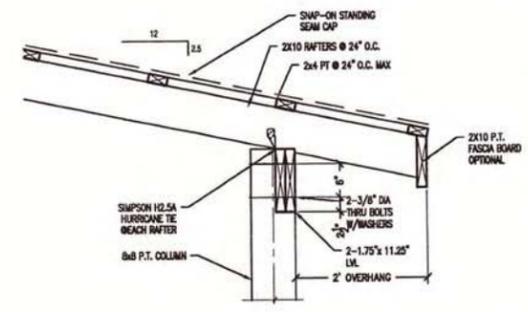
29 Dunnagans Alley,
HILTON HEAD ISLAND,
S.C.

FLOOR PLAN
TYP. SECTION
FRAMING

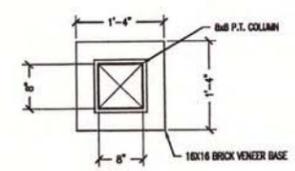
S-1



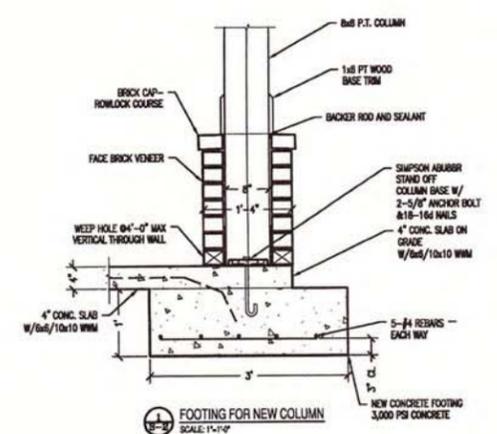
4 ROOF TO EXISTING DETAIL
SCALE: 1/4\"/>



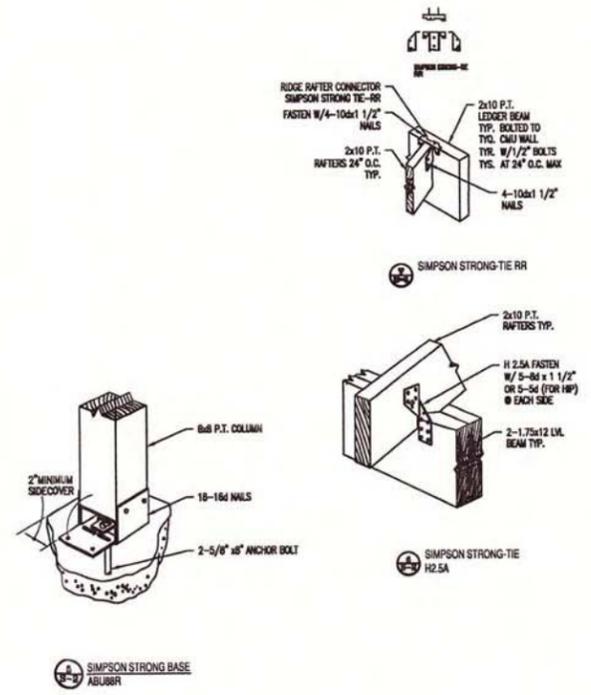
5 COLUMN DETAIL AT ROOF
SCALE: 1/4\"/>



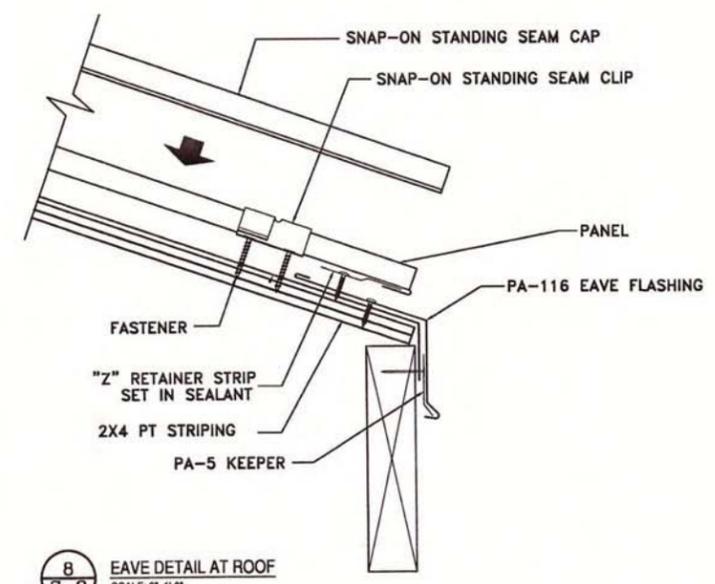
6 PLAN DETAIL AT COLUMN
SCALE: 1/4\"/>



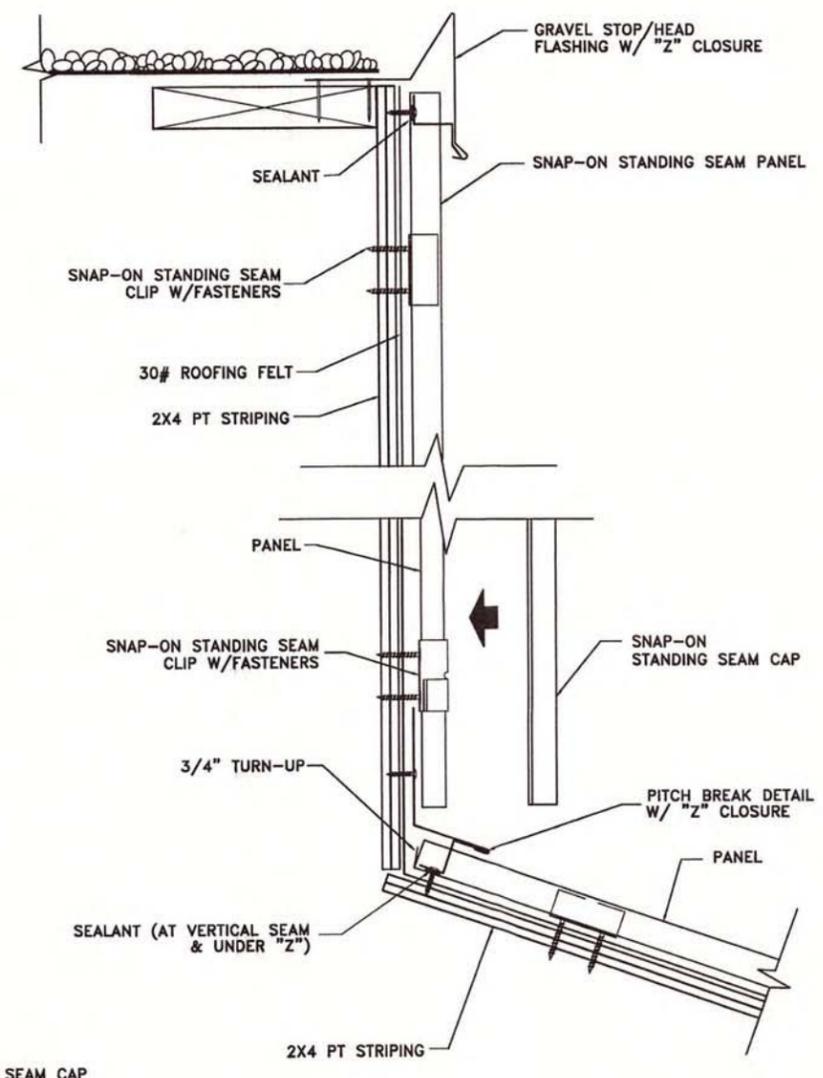
7 FOOTING FOR NEW COLUMN
SCALE: 1/4\"/>



8 SIMPSON STRONG-TIE ABUBBR



8 S-2 EAVE DETAIL AT ROOF
SCALE: 3/4\"/>



9 S-2 HEAD DETAIL AT ROOF
SCALE: 1/4\"/>

RAY ENGINEERING, INC.
CONSULTING ENGINEERS
3995 STEVE REYNOLDS BLVD
NORCROSS, GA 30093
TEL: 770.923.1122
FAX: 770.923.0099
WWW.RAY-ENGINEERING.COM

SCALE:	AS SHOWN
DATE:	07/14/2015
DRAWN BY:	NR/DK
REVISED:	

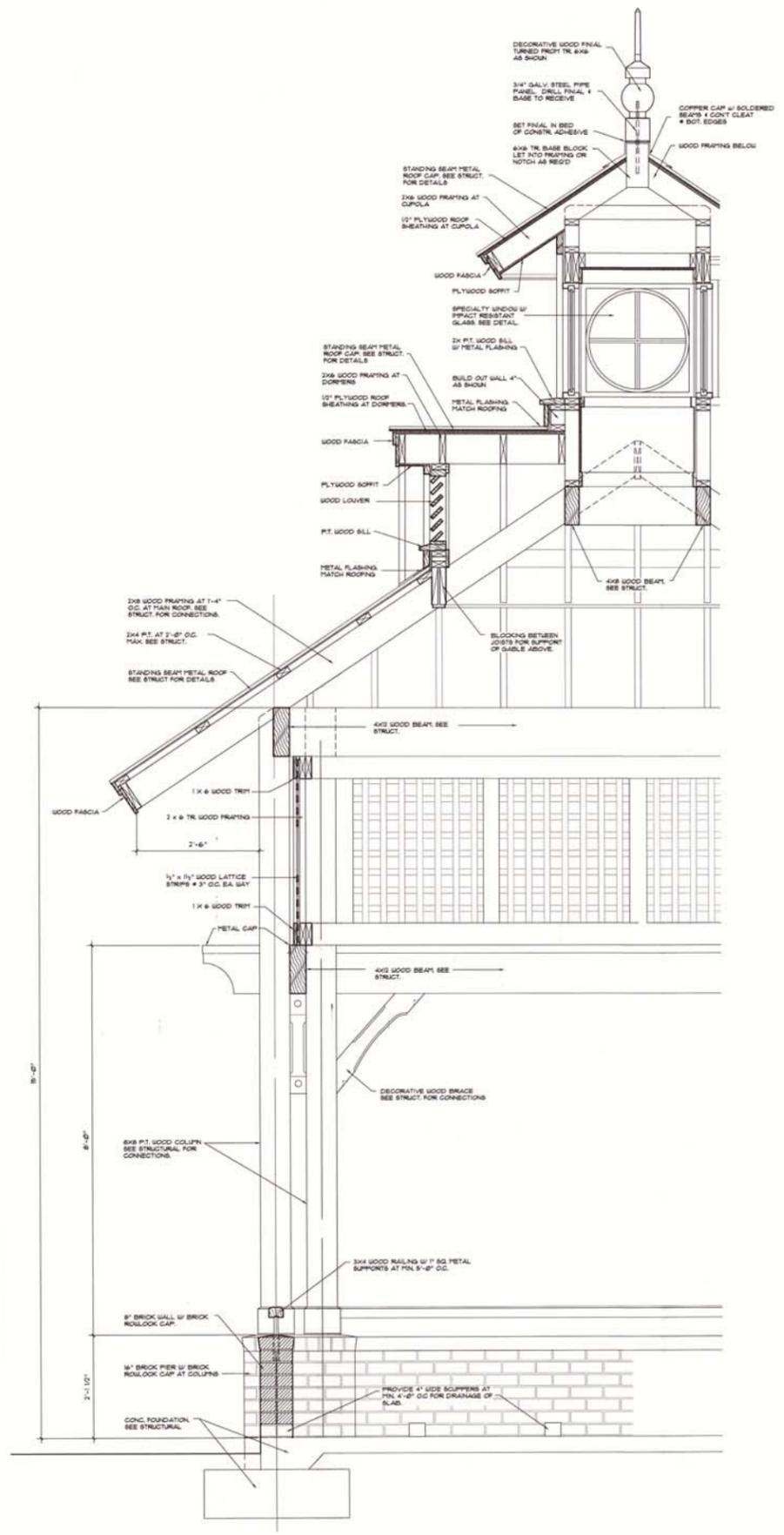
SEAL:

 7/14/15
 Steven W. Ray, PE
 South Carolina License 17501

OWNER/DEVELOPER:
 The Seacrest Development Co
 Robert L. Graves
 P.O. Box 5818
 Hilton Head Island, S.C. 29938
 Tel.: (843) 341-2288
 Fax: (843) 341-2290

THE WAREHOUSE
 PORCH
 ADDITION
 29 Dunnagans Alley,
 HILTON HEAD ISLAND,
 S.C.

DETAILS
 S-2



ISSUED FOR REVIEW
 DATE REVISED 9/23/2015
 NOT FOR CONSTRUCTION

SECTION AT NEW COVERED DINING PORCH
 SCALE: 1/4" = 1'-0"

1
 A-3

A-3

McCLESKEY AND ASSOCIATES ARCHITECTS PA
 P.O. BOX 7125 HILTON HEAD ISLAND, SOUTH CAROLINA 29928 (843) 785-5225
 DATE OF ISSUE : 05/05/2015 DRAWN BY : SLM CHECKED BY : SLM PROJECT NO. :1503

REVISIONS :

--	--

GRAVES WAREHOUSE
 19 DUNNAGEN'S ALLEY
 HILTON HEAD ISLAND, SC

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Graves Warehouse – ALTERATION/ADDITION

DRB#: DRB-001757-2015

DATE: October 13, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Consider repainting building before addition of covered walkway as building currently contains multiple colors.
2. Provide manufacturer's cut sheets for all exterior lighting.
3. Suggest more variety in landscape plan, specifically in lieu of (38) Ligustrum.
4. Provide details or manufacturer's cut sheets for planters including landscape plan indicating proposed landscape material.

Applicant proposes to renovate existing building by providing covered walkway and outdoor dining areas. Details include 8x8 wood columns with brick base, wood details including finial, louvers, decorative braces, and lattice, and standing seam metal roof. Colors are muted and nature blending.

Building permit plans review notes that the building is currently split in two by a fire wall. The rear portion of the building is sprinklered. The applicant has the option to extend the fire wall through the canopy addition and sprinkler just the rear portion of the canopy or they can sprinkler the entire structure at this time. If they choose to extend the fire wall, this wall will change the appearance drastically.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Don Baker, AIA Company: SQUARE FEET ISLAND ARCHITECTS
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip: 29928
 Telephone: 290 6666 Fax: _____ E-mail: donl@squarefeethhi.com
 Project Name: Outdoor Dining Patio Project Address: 28 Shelter Cove La, Suite 109
 Parcel Number [PIN]: R _____
 Zoning District: PD-1 Overlay District(s): COR

*** CHANGES TO HHI DRB-000827-2015 ***

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 _____ Concept Approval – Proposed Development Alteration/Addition
 _____ Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

01 SEPT 2015

DATE

NARRATIVE

WREN

A new restaurant is coming to Shelter Cove Towne Center. In expectation of it, we offer this Narrative of the site improvements.

The site is approximately 1,035 gsf, situated between the front and side entry doors; 550 sf pf it is to be under an awning. The intent of the design is to define the Restaurant's outdoor space comprised of building materials already included in the existing adjacent construction, including:

Brick Planters using same color brick at the building's wainscot.

Anchor points of the perimeter, finished with stucco and brick tops to match existing site conditions.

Brushed concrete patio, finished light green to match the color at the adjacent Belk's entrance.

The perimeter vertical supports for the awning are to match those seen in the picture below.



Photos of existing conditions

Submitted by

A handwritten signature in black ink, appearing to read "Don Baker".

Don Baker, AIA
Square Feet Island Architects



HHI DRB-000827-2015





SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

October 6, 2015

Roni Allbritton
Shelter Cove Towne Centre
40 Shelter Cove Lane, Suite 180
Hilton Head Island, SC 29928

RE: Wren Patio Revisions Unit 109

Dear Roni,

The Shelter Cove Company's ARB is in receipt of the patio revisions for Wren in unit 109.

The ARB has reviewed and approved the changes as submitted.

Please notify the SCHC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,

John P. Betts
Manager

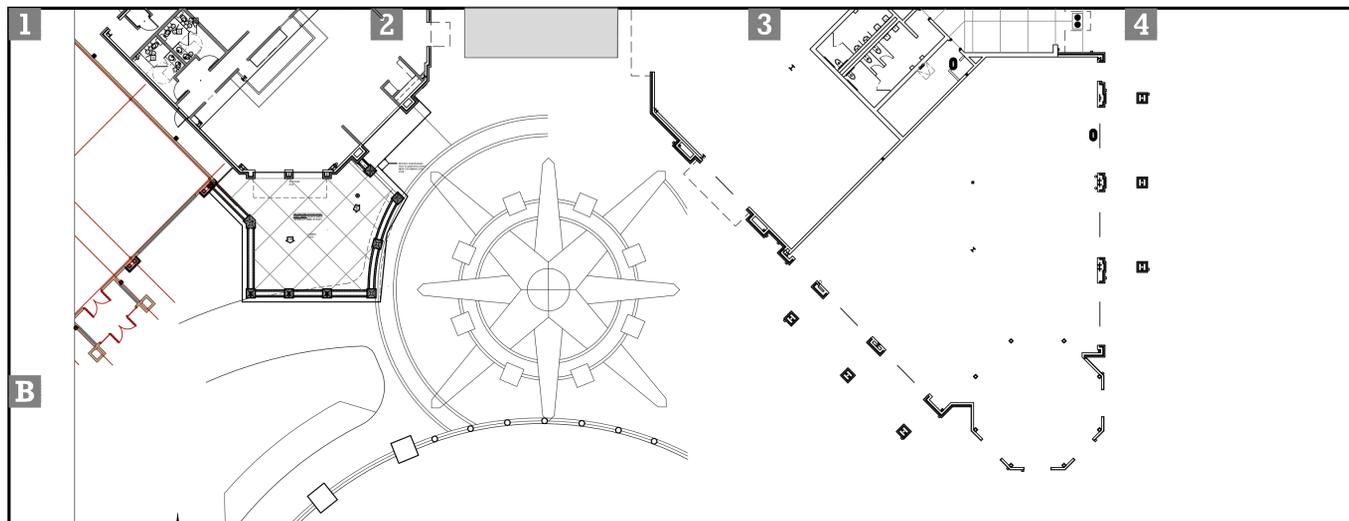
Cc: Mr. Scott Foster, Chairman
SCHCARB Committee

WREN

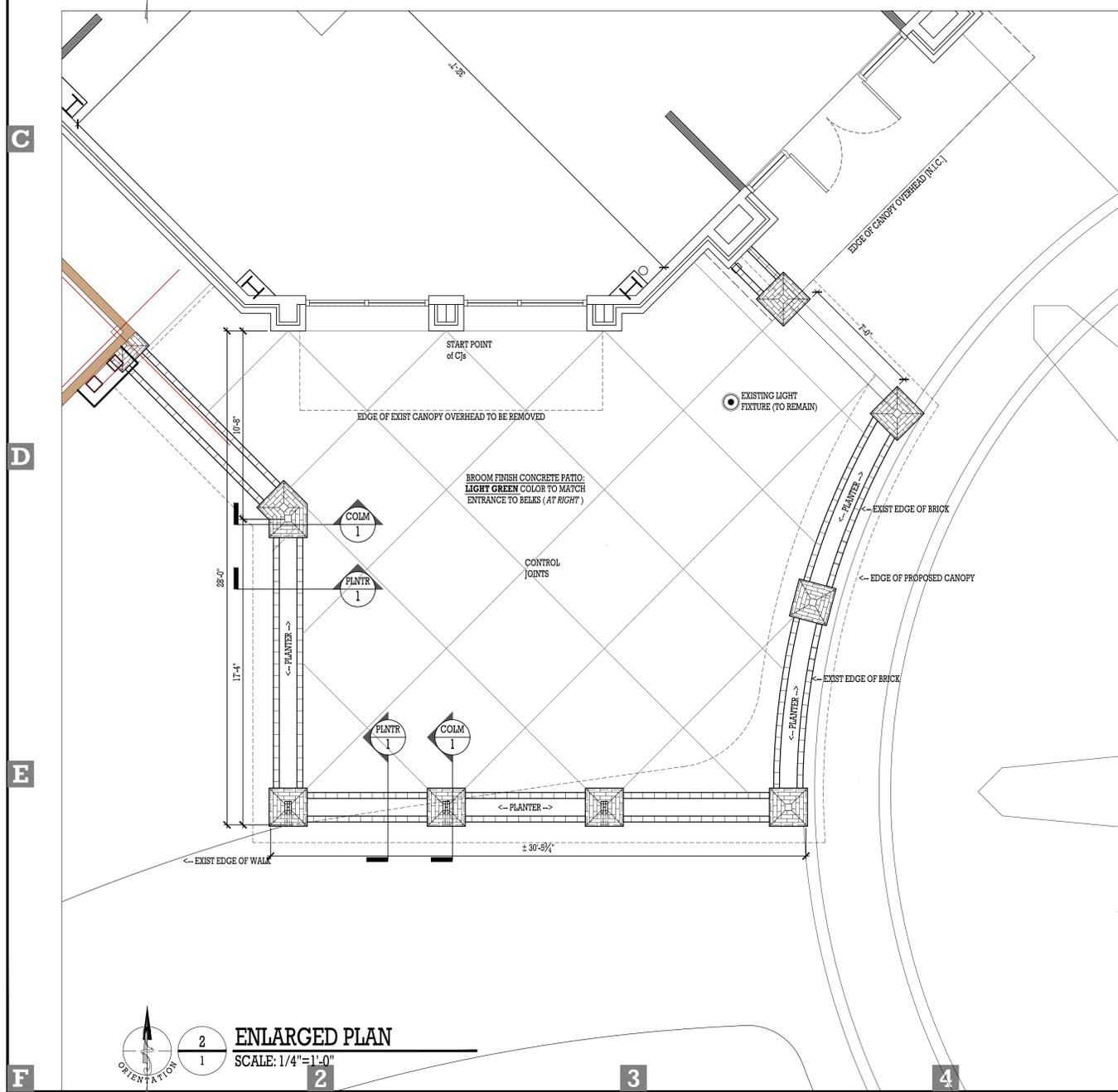


PICTURES OF EXISTING CONDITIONS
PICTURES OF EXISTING CONDITIONS

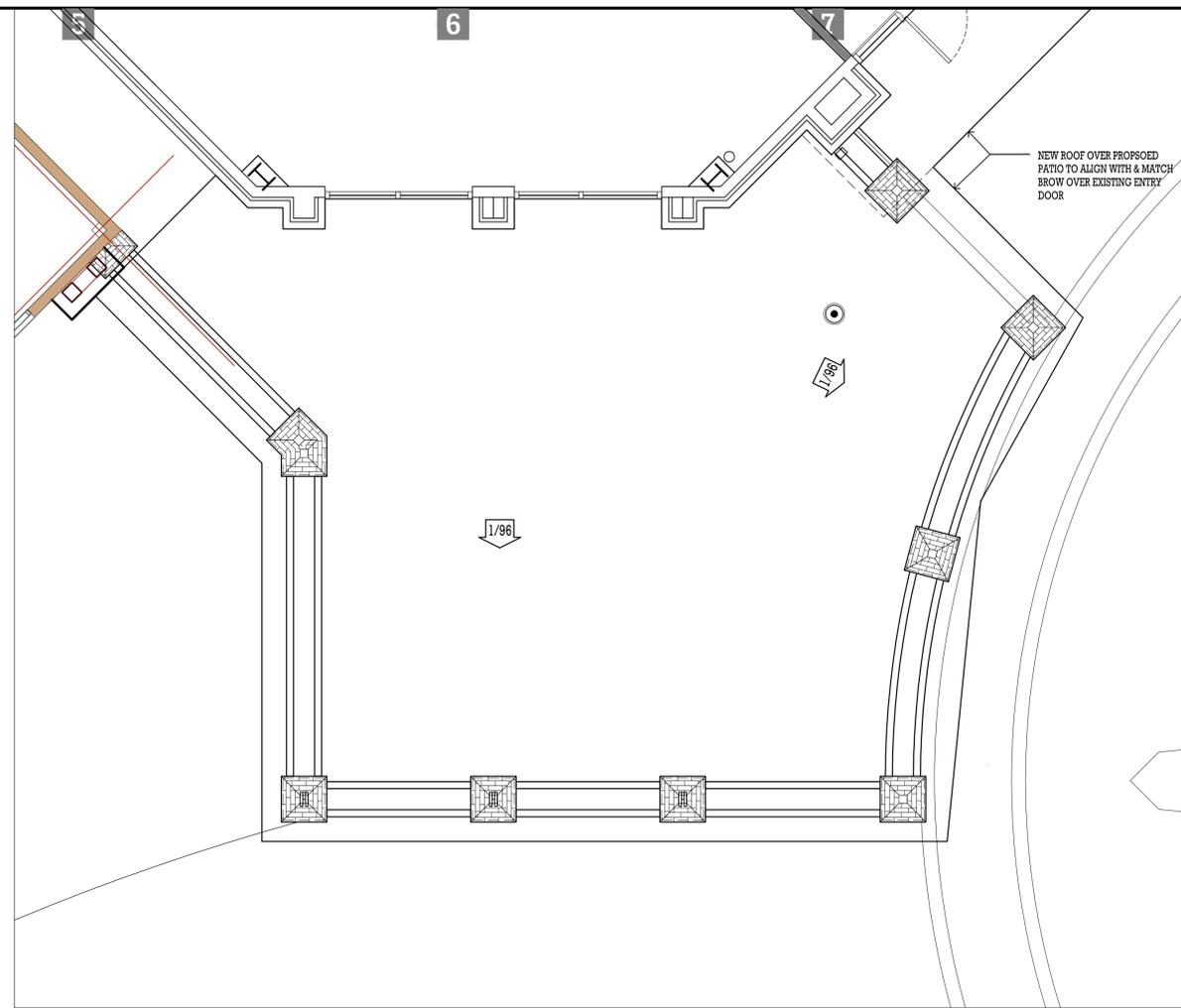




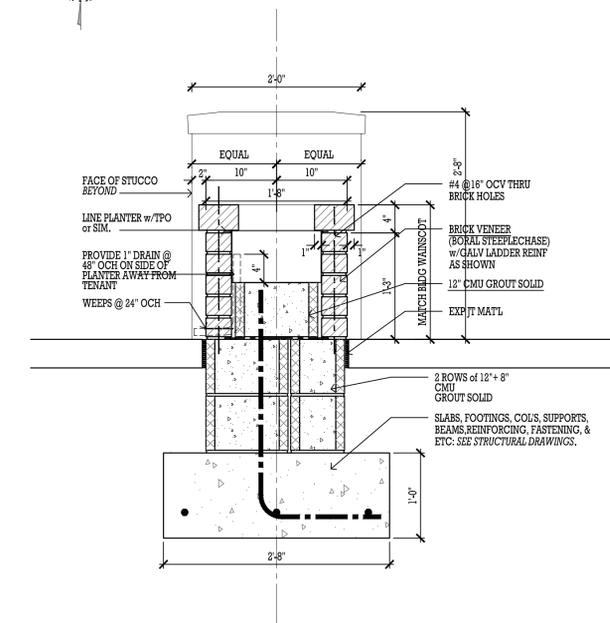
1
1
AREA PLAN
SCALE: 1"=20'-0"



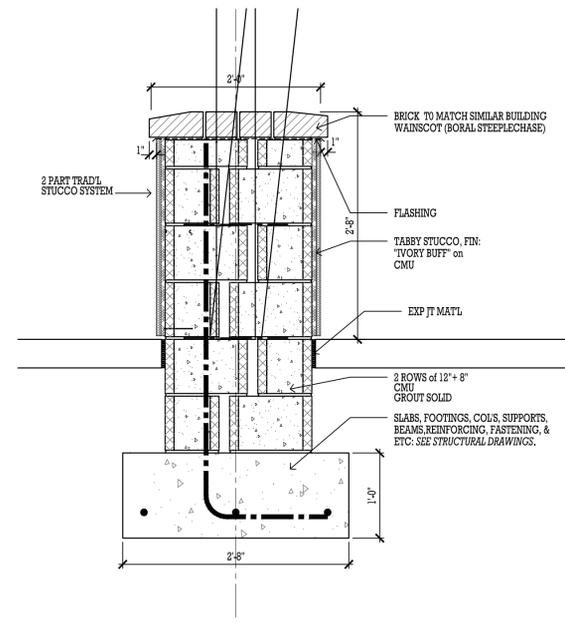
2
1
ENLARGED PLAN
SCALE: 1/4"=1'-0"



R
1
ROOF PLAN
SCALE: 1/4"=1'-0"



PLTR
1
**SECTION THRU
PLANTER**
SCALE: 1"=1'-0"



COLM
1
**SECTION THRU
PILASTER**
SCALE: 1"=1'-0"



Square Feet Island Architects
Don Baker, AIA
10 East Garrison Place
Hilton Head, SC 29928
843-290-6666
843-363-3663
don1@squarefeethhi.com
HHI Bus Lic. # BLN0400739

**PRELIMINARY
INFORMATION**
*Not For
Construction*

A New Restaurant:
WREN
Building 110 Shelter Cove Towne Center
38 Shelter Cove Lane
Hilton Head Island, SC 29928
PROP. I.D.:

Copyright 2015, by Square Feet
Note: All ideas, concepts, and designs described herein belong solely to the designer named on this page. These ideas, concepts, and designs are to be used only on this project. Any other use constitutes fraud, and the author of these drawings will prosecute any violations to the fullest extent of the law. Likewise the author of these drawings can not be held responsible for any unauthorized use of these drawings.

Project Number WRN
Issue Date 29 SEPT 2015
Issuance HHI DRB REVISION OF HHI PROJECT #: DRB-000827-2015

Drawing History:
1. 14 APRIL 2015 HHI DRB
2. 05 MAY 2015 HHI DRB STAFF CMNTS
3. 01 SEPT 2015 HHI DRB
4. 14 SEPT 2015 HHI DRB rev
5. 29 SEPT 2015 HHI DRB rev
6.
7.
Sheet Title:
PLANS AND SECTIONS

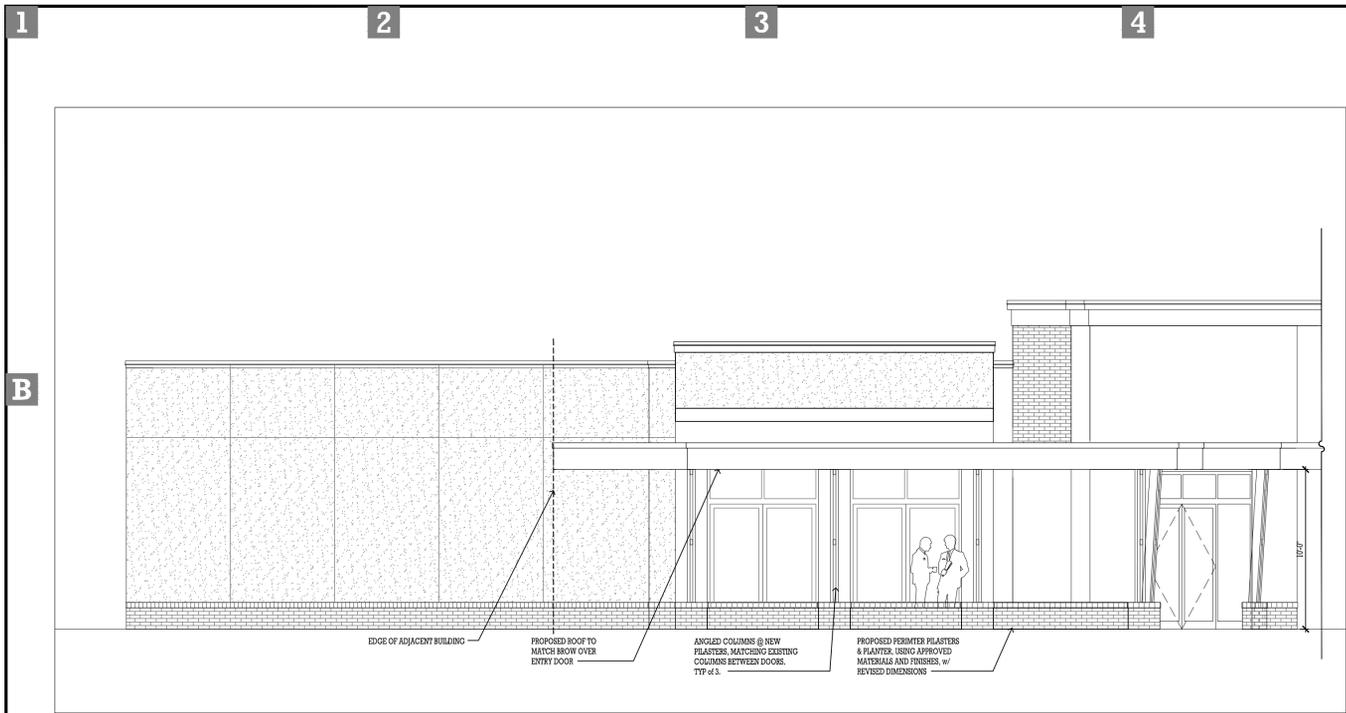
SHEET



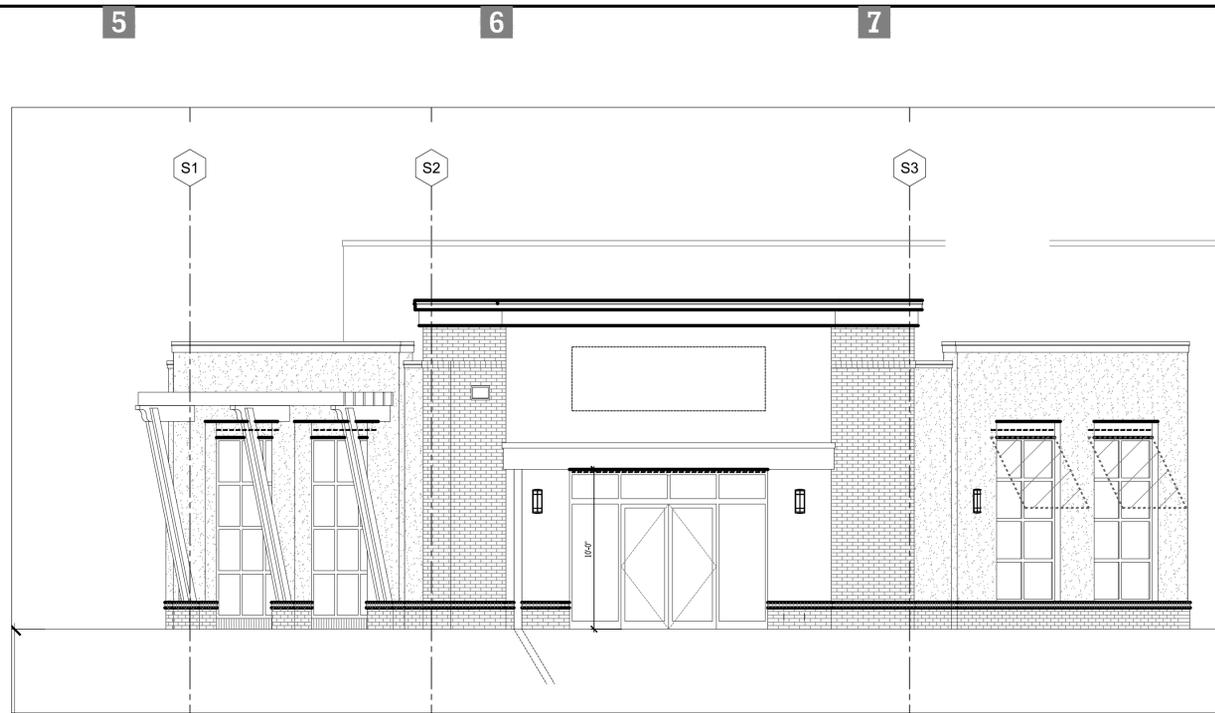


Square Feet Island Architects
 Don Baker, AIA
 10 East Garrison Place
 Hilton Head, SC 29928
 843-290-6666
 843-363-3663
 don1@squarefeethi.com
 HHI Bus Lic. # BLN0400739

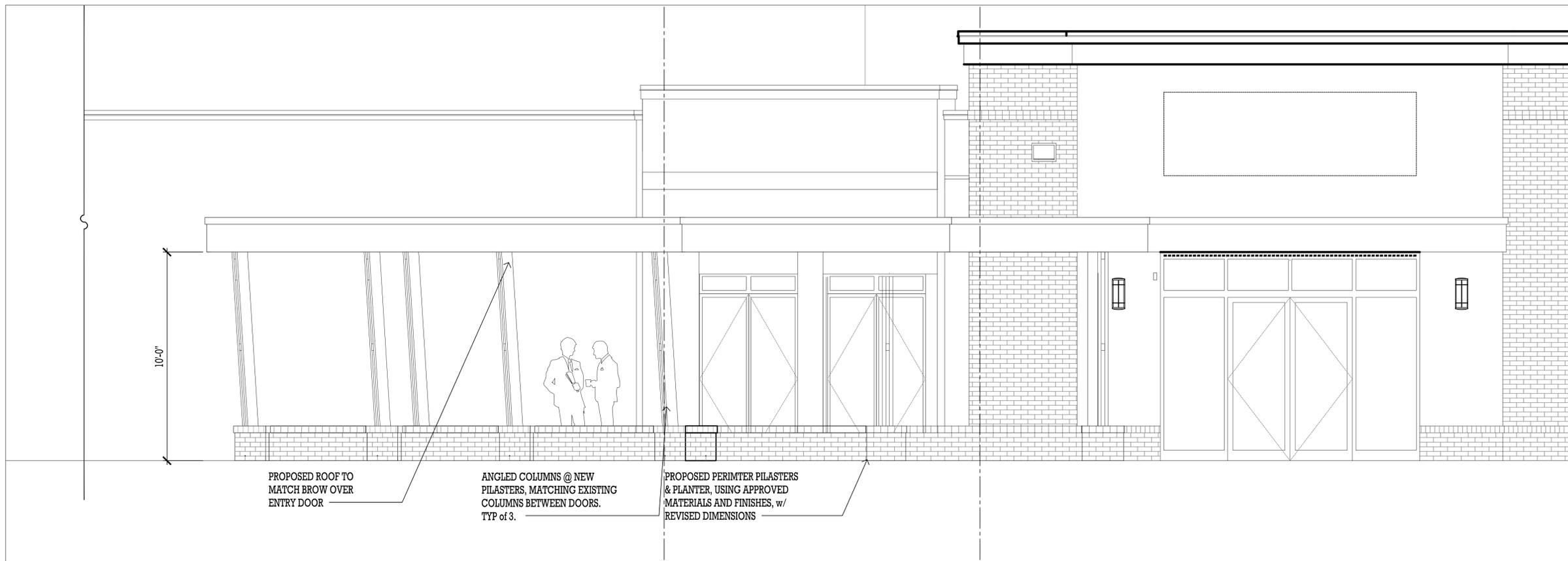
**PRELIMINARY
 INFORMATION**
*Not For
 Construction*



**EXTERIOR ELEVATION
 SOUTH: @ PERIMETER (PROPOSED)**
 S2p
 2 SCALE: 3/16"=1'-0"



**EXTERIOR ELEVATION
 SOUTH EAST (EXISTING)**
 SEx
 2 SCALE: 3/16"=1'-0"



**EXTERIOR ELEVATION
 SOUTH EAST (PROPOSED)**
 SEp
 2 SCALE: 3/16"=1'-0"

A New Restaurant:
WREN
 Building 110 Shelter Cove Towne Center
 38 Shelter Cove Lane
 Hilton Head Island, SC 29928
 PROP. I.D.:

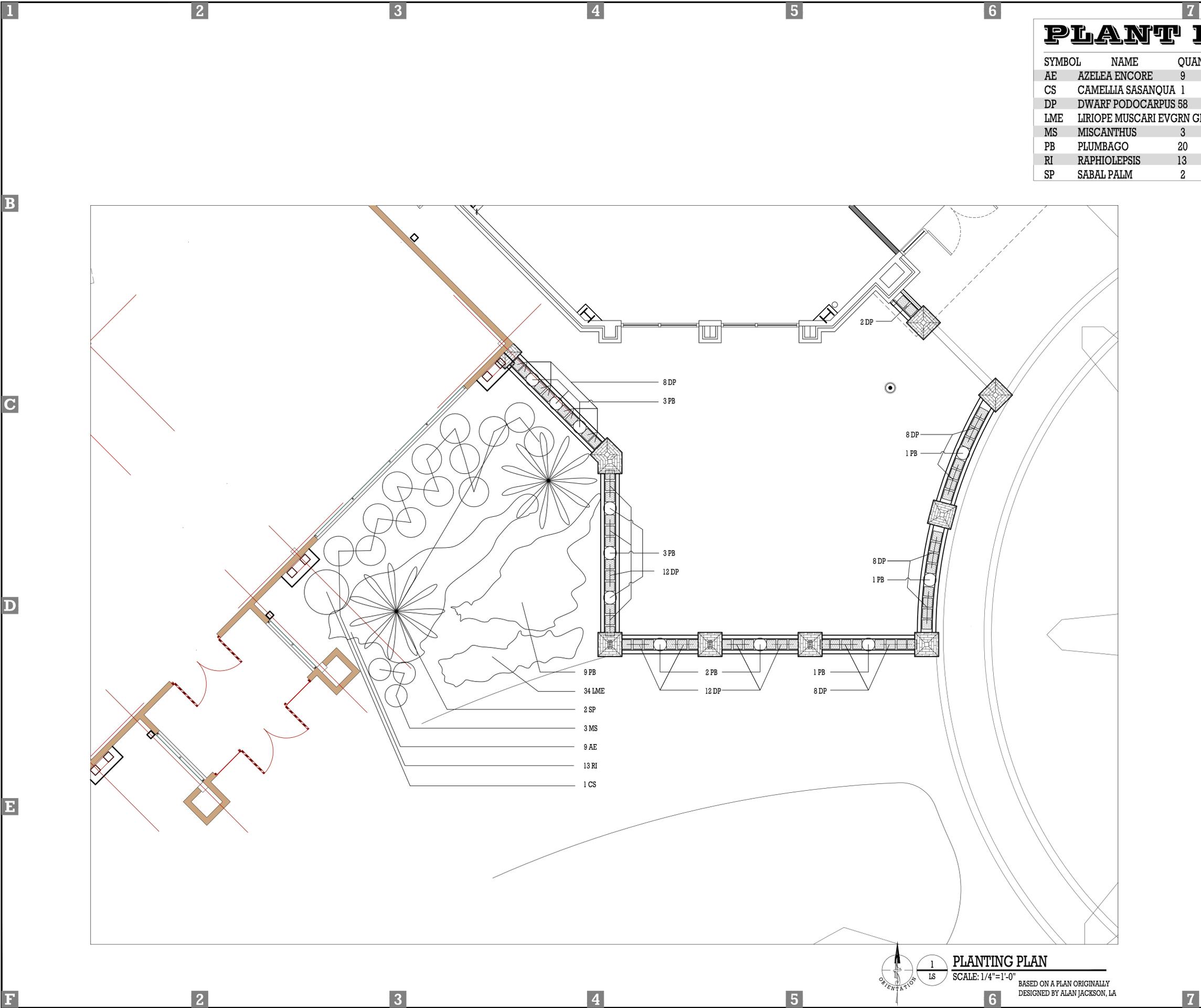
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Project Number WRN
 Issue Date 29 SEPT 2015
 Issuance HHI DRB REVISION OF HHI PROJECT #: DRB-000827-2015

Drawing History:
 1. 14 APRIL 2015 HHI DRB
 2. 06 MAY 2015 HHI DRB STAFF CMNTS
 3. 01 SEPT 2015 HHI DRB
 4. 14 SEPT 2015 HHI DRB rev
 5. 29 SEPT 2015 HHI DRB rev
 6.
 7.
 Sheet Title:
 EXTERIOR ELEVATIONS
 & SECTION

SHEET





PLANT LIST

SYMBOL	NAME	QUAN	SIZE	NOTE
AE	AZELEA ENCORE	9	1-1.5' Ht	Autumn Embers
CS	CAMELLIA SASANQUA	1	1-1.5' Ht	Yuletide
DP	DWARF PODOCARPUS	58	1.5-2' Ht	
LME	LIRIOPE MUSCARI EVGRN GIANT	34	1-1.5' Ht	
MS	MISCANTHUS	3	1-1.5' Ht	Adagio Dwarf
PB	PLUMBAGO	20	1-1.5' Ht	Imperial Blue
RI	RAPHIOLEPSIS	13	1.5-2' Ht	Alba
SP	SABAL PALM	2	16-18' Ht	-

SQUARE FEET
 Square Feet Island Architects
 Don Baker, AIA
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 Hilton Head, SC 29928
 843-290-6666
 843-363-3663
 donl@squarefeethi.com
 HHI Bus Lic. # BLN0400739

PRELIMINARY INFORMATION
Not For Construction

A New Restaurant:
WREN
 Building 110 Shelter Cove Towne Center
 38 Shelter Cove Lane
 Hilton Head Island, SC 29928
 PROP. I.D.:

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 Note: All ideas, concepts, and designs described herein belong solely to the designer named on this page. These ideas, concepts, and designs are to be used only on this project. Any other use constitutes fraud, and the author of these drawings will prosecute any violators to the fullest extent of the law. Likewise the author of these drawings can not be held responsible for any unauthorized use of these drawings.

Project Number WRN
 Issue Date 22 SEPT 2015
 Issuance HHI DRB REVISION of HHI PROJECT #: DRB-000827-2015

Drawing History:
 1. 14 APRIL 2015 HHI DRB
 2. 05 MAY 2015 HHI DRB STAFF CMNTS
 3. 01 SEPT 2015 HHI DRB
 4. 14 SEPT 2015 HHI DRB rev
 5. 22 SEPT 2015 HHI DRB rev
 6.
 7.
 Sheet Title:
 LANDSCAPE PLAN

PLANTING PLAN
 SCALE: 1/4"=1'-0"
 BASED ON A PLAN ORIGINALLY DESIGNED BY ALAN JACKSON, LA

SHEET
LS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Outdoor Dining Patio (SCTC-Wren)

DRB#: DRB-001678-2015

DATE: September 22, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Address existing light fixture that will be in conflict with proposed patio covering.

Applicant proposes to revise previously approved patio to shift away from front of adjacent building. Patio design including enclosure walls are in keeping with Design Guide and previous approvals. Per previous DRB conditions of approval a more consistent small hedge is to be planted in planters surrounding patio. A roof structure to match existing brow over entry door is proposed over patio for covered outdoor seating.

Shelter Cove Company's ARB has reviewed/approved the revisions.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MICHAEL GRIFFITH Company: MICHAEL GRIFFITH, ARCHITECT
 Mailing Address: 792 GOLFSIDE DRIVE City: SEBRING State: FL Zip: 33870
 Telephone: 843.815.4282 Fax: N/A E-mail: GRIFFARCH@AOL.COM
 Project Name: WENDY'S Project Address: 2 NATURE'S WAY, HHI, SC
 Parcel Number [PIN]: R510 007 000 0253 0000
 Zoning District: L3 Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

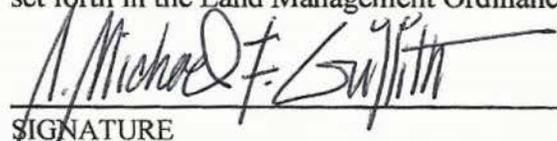
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

10-9-15
DATE

WENDY'S PROJECT NARRATIVE

October 9, 2015

NAME OF ALTERATION: Wendy's
ASSIGNED STREET ADDRESS: 2 Nature's Way. Hilton Head island, SC
TYPE OF DEVELOPMENT: ALTERATION
DISTRICT: 510 MAP: 7 PARCEL: 253
ZONING DISTRICT:

AN ALTERATION IS PROPOSED TO THE EXISTING WENDY'S, LOCATED AT 2 NATURE'S WAY, HILTON HEAD ISLAND, SC.

THE EXISTING BUILDING WAS CONSTRUCTED IN THE LATE NINTIES AND IS IN NEED OF AN EXTERIOR "UP-GRADE".

THE OWNER'S ARE REQUESTING APPROVAL FOR EXTERIOR RENOVATIONS PER RECOMMENDATIONS FROM CORPORATE WENDY'S, WITH THE UNDERSTANDING THAT THE REVISIONS NEED TO ADHERE TO GUIDELINES AS SET FORTH WITHIN THE TOWN OF HILTON HEAD'S COORIDOR OVERLAY DISTRICT AND LMO STANDARDS.

THE CURRENT RESTAURANT IS CONSTRUCTED WITH BRICK EXTERIOR WALLS; BRONZE COLORED STORE-FRONT DOOR AND WINDOW FRAMES WITH TINTED GLASS AND DARK PAINTED METAL MANSARD ROOFS. MANSARDS ROOF ALSO SHIELD THE VIEW OF ROOFTOP MECHANICAL SYSTEMS AND ARE NOT SCHEDULED IN THE SCOPE OF WORK..

EXTERIOR LIGHTING FIXTURES ARE SURFACED MOUNTED – TOP AND BOTTOM LIGHTING (WALL WASHERS) ONLY. NO LIGHTING FIXTURES ARE TO BE ADDED.

THE SITE IS WOODED AND SLIGHTLY VISABLE FROM TRAFFIC ON HWY 278. MONUMENT SIGNS ARE LOCATED ON BOTH 278 AND PEMBROKE DRIVE. NO LANDSCAPING REVISIONS ARE PROPOSED. NOR ARE CHANGES TO THE PHYSICAL SIZE OF THE MONUMENT SIGNS SCHEDULED. EACH SIGN IS CURRENTLY LESS THAN 40SF.

THE DESIGN REQUEST WILL BE TO ADD HORIZONTALLY APPLIED FIBER CEMENT BOARD SIDING OVER EXISTING EXTERIOR UPPER BRICKWORK USING NICHHA WALL PANELS. THE PANELS WILL BE INSTALLED ON OSB BOARD BUILT ON PRESSURE TREATED WOOD FRAMING ANCHORED OVER THE EXISTING WOOD SIDING AND SPLIT-FACED ACCENT BLOCKS. THE SMOOTH SATIN FINISH OF THE PANELS WILL BE PAINTED 'VINTAGE WOOD CEDAR' COLOR FROM WENDY'S COLOR PALLET.

ALL EXISTING METAL FACSIA'S ARE SCHEDULED TO BE PAINTED DARK BRONZE TO MATCH KAWNEER DARK BRONZE #40. MANSARD ROOFS SHIELDING THE MECHANICAL EQUIPMENT ARE NOT SCHEDULED TO BE REPAINTED.

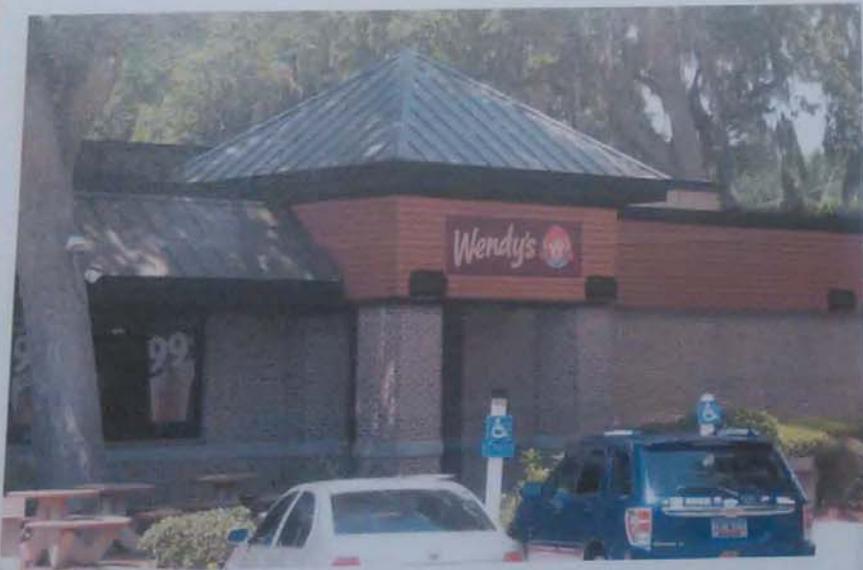
ALL EXISTING EXTERIOR LIGHT SCONSES WILL BE PAINTED KAWNEER DARK BRONZE #40.

DUE TO INTERIOR RENOVATIONS, TWO OF THE WINDOW PANES FACING PEMBROKE DRIVE WILL REQUIRE "BLACK OUT" SCREENING FOR A NEW FIREPLACE ON THE INTERIOR. THE SCREENING MATERIAL WILL BE A POLYCARBONATE FILM APPLIED TO THE EXISTING THERMOPANE WINDOW ON THE INTERIOR. THE MATERIAL HAS BEEN PREVIOUSLY USED ON HILTON HEAD ISLAND WITH SUCCESS AT VARIOUS COMMERCIAL BUSINESS ESTABLISHMENTS (WISE GUYS, KIL WINS ICE CREAM SHOP @ SHELTER COVE, MARLIN'S AT PALMETTO BAY MARINA AND SEA PINES MARINA).

ALSO NOTE THAT NEW WENDY'S SIGNAGE WILL REPLACE THE EXISTING SIGNAGE IN GRAPHICS ONLY, NOT SIZE AND REVIEWED VIA ANOTHER REVIEW PROCESS.

THIS CONCLUDES THE WENDY'S NARRATIVE

EXTERIOR FINISHES #5090 HILTON HEAD ISLAND, SC



Metal Trim



Facade



Sign Background Color



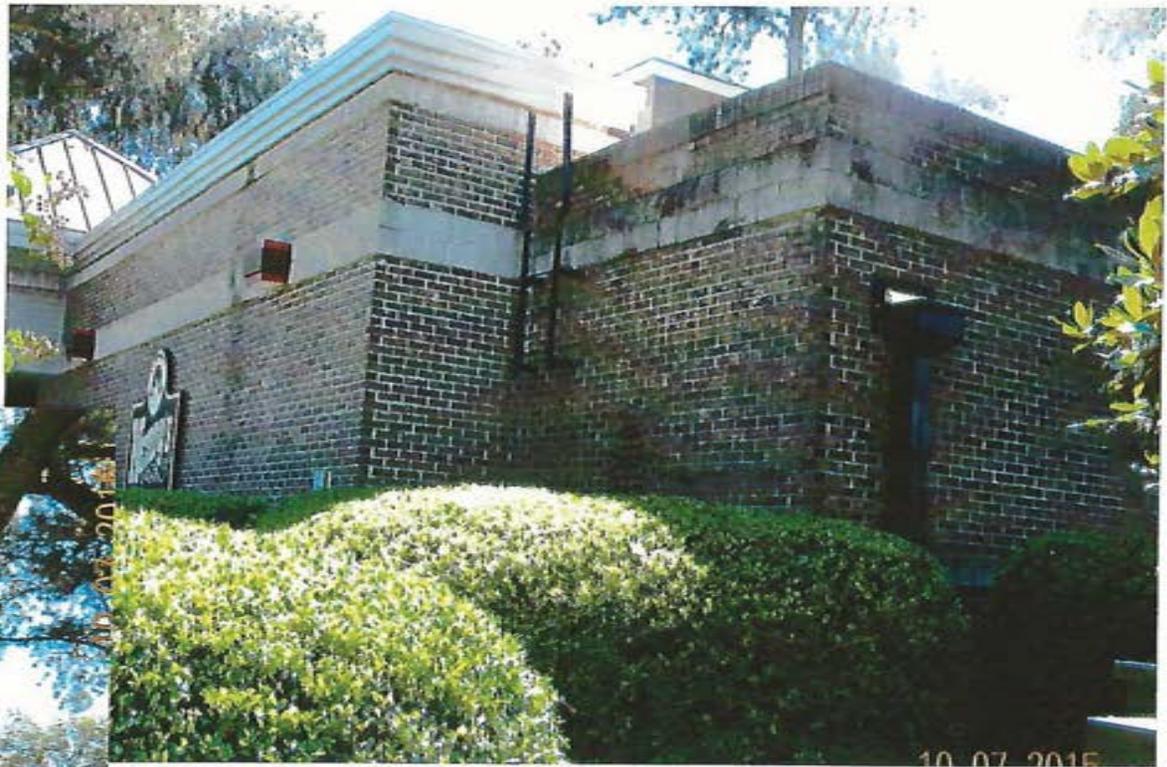
FRONT ELEVATION
(FACING PEMBROKE DRIVE)



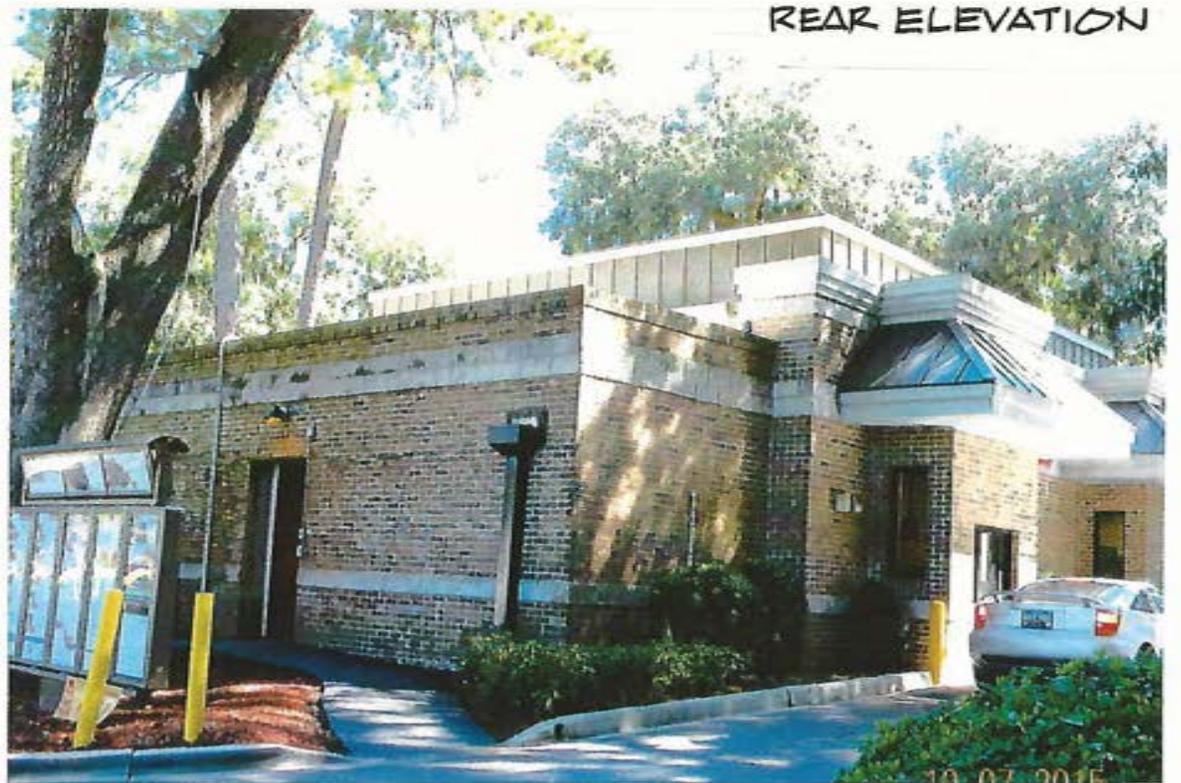
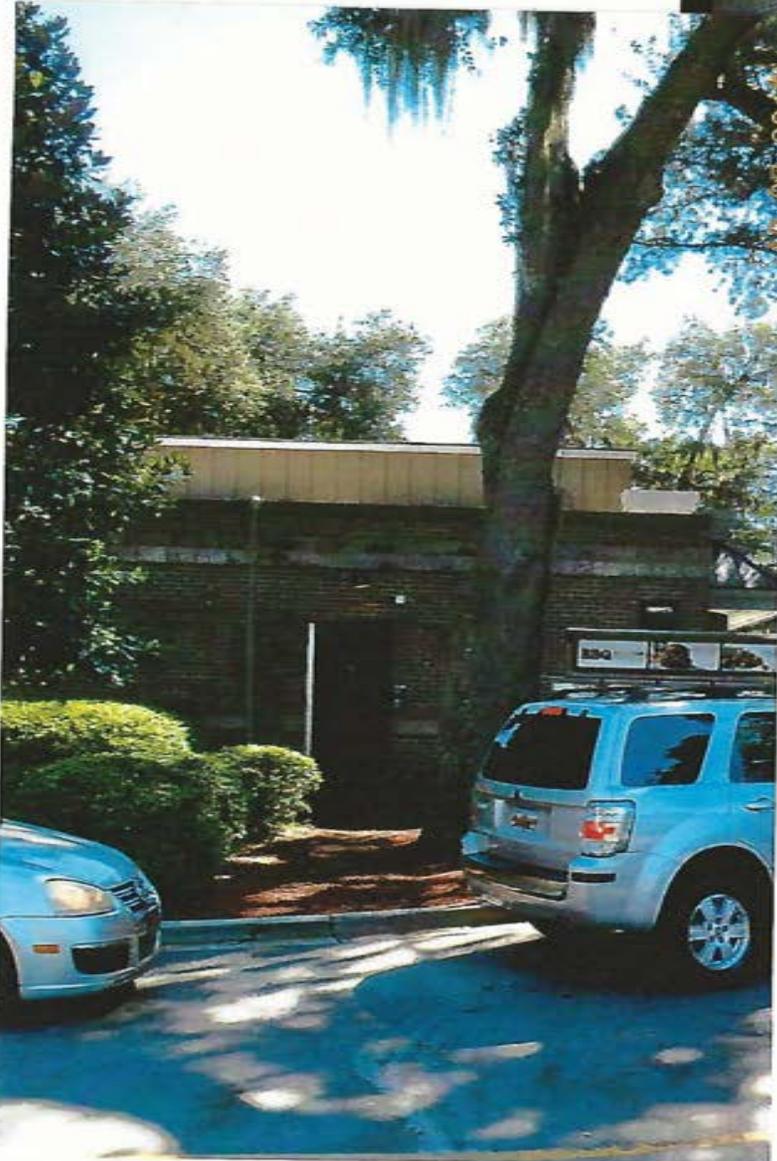
RIGHT SIDE ELEVATION
(FACING HWY 278)



LEFT SIDE ELEVATION
(FACING NATURE'S WAY)



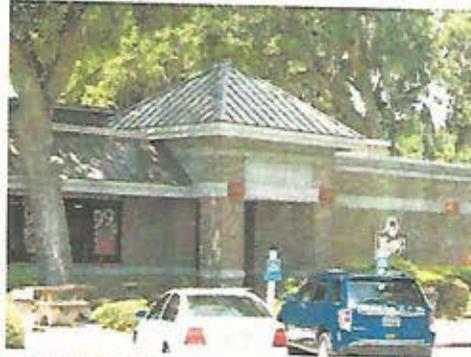
REAR ELEVATION





Entry View

Existing



dark bronze
Nichiha
wooden signage
(as required)

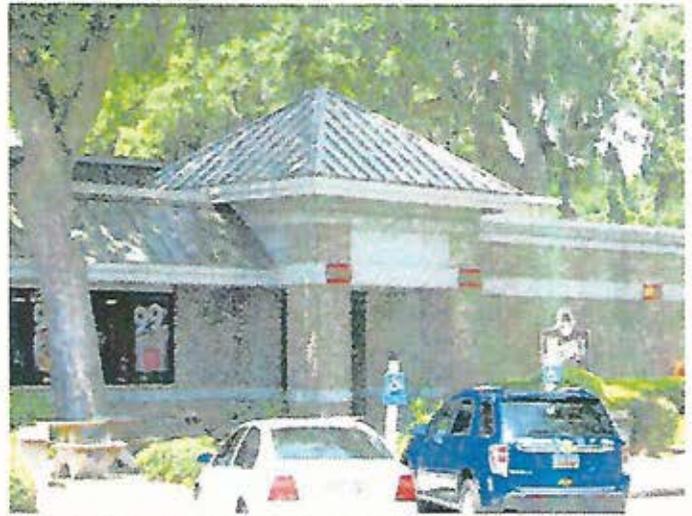
Proposed





Entry View

Existing



dark bronze

Nichiha

wooden signage
(as required)

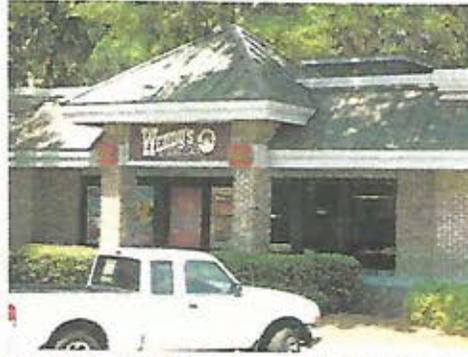
Proposed



#5090 HILTON HEAD, SC

Front View

Existing

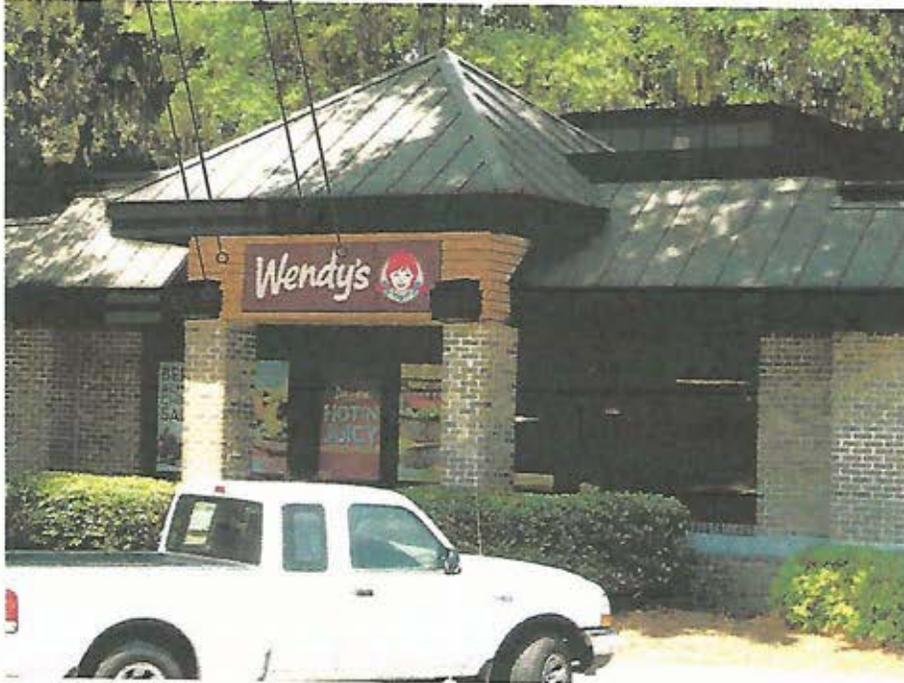


dark bronze

Nichiha

wooden signage
(as required)

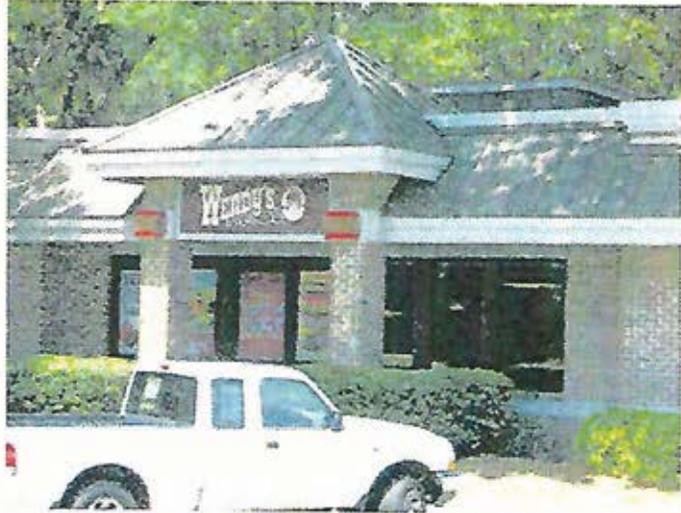
Proposed



#5090 HILTON HEAD, SC

Front View

Existing

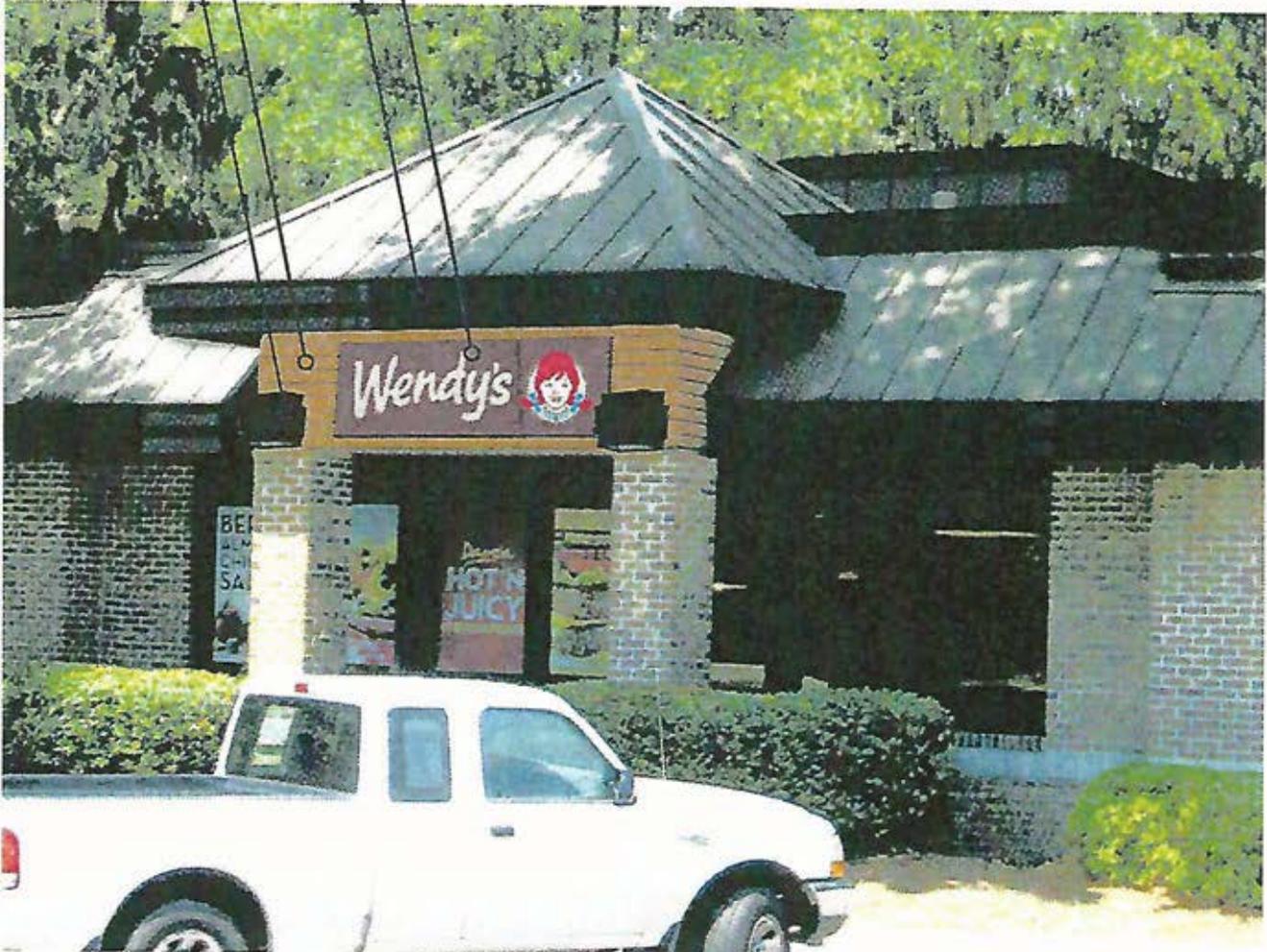


dark bronze

Nichiha

wooden signage
(as required)

Proposed



OPTION LIST □ = OPTION NOT INCLUDED IN SET ■ = OPTION INCLUDED IN SET

INTERIOR OPTIONS				EXTERIOR OPTIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
■ BACKLIT MENU BOARD	□ DOUBLE SIDED GRILL	□ MUSIC W/ CEILING MOUNTED SPEAKERS	■ RAISED CAMEL COLORED CENTER CEILING IN DINING ROOM	■ NEW BUILDING SIGNAGE	□ PUW VESTIBULE	□ PUW AWNING AT PAY WINDOW	
■ BACKLIT QUEUING BOARD	□ 30 LB FRYER	□ BANQUETTE SEATING (EXCEPT FOR 3076)	□ SELF-SERVE DRINKS ONE FREESTYLE IN DT	■ REMOVE DIRECTIONALS	□ PATIO	□ FRONT AND PUW FINISH (EIFS)	
■ BACKLIT RHR	□ NEXT GEN POS W/ ALOHA	□ NEW KITCHEN FLOORING	□ RAISED CEILING IN FRONT OF BLADE	□ LANDSCAPING	□ RED BLADE IN ACM	□ FULL HEIGHT VISION GLASS	
■ SELF-SERVE DRINK - TWO FREESTYLE	□ WOOD LOOK PORCELAIN PLANK TILE	□ NEW KITCHEN CEILING	■ NEW FOH CEILING GRID AND TILES	□ 20'-0" BLADE AT FRONT	□ METAL PANEL ABOVE WINDOWS	■ NEW CORRUGATED PANELS	
■ CONDIMENT STAND 13'-2"	■ 1 FIREPLACE, 1 TV / LOUNGE SEATING	□ NEW KITCHEN FRP		■ ORDER STATION CANOPY	□ TWO PICK UP WINDOWS	■ PAINT (E) WALL SCANCES	
■ COUNTER CLOCKWISE QUEUE	■ ARTPACK	□ WINDOW BLINDS		□ PUW AWNING	□ RAISED PUW BLADE		
■ SEPARATION OF ORDER/PAY FROM PICKUP	■ WIFI SERVICE W/ DEDICATED WIFI BAR	□ RED BLADE IN ACM IN LIEU OF HP LAM		□ EXPANDED 6'-0" PUW	□ BLADE BACK DESIGN		

GENERAL NOTES

- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT OF RECORD. FLOOR PLAN BY ARCHITECT OF RECORD SUPERSEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CERAMIC TILE, V.C.T., ETC
- INTERIOR DIMENSIONS ARE TO THE FACE OF NEW STUD, UNLESS NOTED OTHERWISE.
- COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT.
- CONTRACTOR IS REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNERS REPRESENTATIVE TO REVIEW SPECIFIC REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO FOLLOW THE LOCAL RULES AND REGULATIONS.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT/EGRESS LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- EXISTING WORK: WITH PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE AND RETURN OF PROPER CREDIT, EXISTING WORK WHICH FITS THE SCHEME MAY BE RE-USED.
- DEMOLITION: REMOVE INTERIOR PARTITIONS, CASEWORK, STOREFRONTS, CEILING, FINISHED FLOORING AND OTHER ITEMS NOT USED IN NEW SCHEME. REMOVE UTILITIES, ELECTRICAL, PLUMBING, PIPING AS REQUIRED BACK TO EXISTING CONSTRUCTION AND TERMINATE & OR CAP AS REQUIRED BY LOCAL AUTHORITIES.
- SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD AND COORDINATED WITH THE OWNERS REPRESENTATIVE PRIOR TO CUTTING/CORING.
- DURING ALL PHASES OF THE WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF THIS STORE OR NEIGHBORS.
- "TYP" MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- PROVIDE PORTABLE FIRE EXTINGUISHER(S) IN ACCORDANCE WITH NFPA 10, WITH U.L. LABEL AND A RATING OF NOT LESS THAN 2-A WITH 7.5 FT. TRAVEL DISTANCE TO ALL POSITIONS OF RESTAURANT OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR. PROVIDE CLASS K FIRE EXTINGUISHER WITHIN 30 FT. OF COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT.
- EXTERIOR BUILDING SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY LOCAL AUTHORITIES. EXTERIOR SIGNS ARE NOT WITHIN THE SCOPE OF BUILDING DEPARTMENT APPROVAL.
- PRIOR TO COMMENCEMENT OF WORK - OBTAIN A COPY OF THE BUILDING CONSTRUCTION PERMIT FROM THE JURISDICTION HAVING AUTHORITY (JHA) AND A COPY OF THE SET OF CONSTRUCTION DOCUMENTS SIGNED AND SEALED BY A LICENSED DESIGN PROFESSIONAL FOR ALL DISCIPLINES AS REQUIRED AND USED TO OBTAIN THE BUILDING PERMIT.
- IF REQUIRED BY LOCAL JURISDICTION - SPRINKLER, LIFE SAFETY, AND FIRE ALARM SYSTEMS ARE TO BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL BY LOCALLY LICENSED DESIGN PROFESSIONAL. THE DESIGN OF SYSTEM(S) MUST COMPLY TO LOCAL, STATE, AND NATIONAL CODES.
- EXISTING ENERGY MANAGEMENT SYSTEM (VERIFY IN FIELD) TO REMAIN IN STORE AND BE FULLY FUNCTIONAL AND OPERATIONAL AT COMPLETION OF REMODEL PROJECT.
- COORDINATE SALVAGE AND REUSE OF EXISTING FIXTURES AND EQUIPMENT WITH WENDY'S OR FRANCHISEE REPRESENTATIVE.
- GC IS RESPONSIBLE FOR FINDING AND LOCATING ALL UNDERGROUND UTILITIES IN AREAS OF EXCAVATION PRIOR TO DIGGING. ACCIDENTAL INTERRUPTION OF THESE SERVICES DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE GC. PRIOR TO DIGGING, GC TO CALL LOCAL UTILITY LOCATION SERVICE.

DESCRIPTIVE SUMMARY OF WORK

THE WORK INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT TO REMODEL THE INTERIOR OF AN EXISTING RESTAURANT FOR THE "OWNER". THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS, ALL MECHANICAL AND ELECTRICAL REVISIONS FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.

ABBREVIATIONS

ACM	CENTERLINE ALUMINUM COMPOSITE PANEL	I.D.	INSIDE DIAMETER
ACT	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
ADJ.	ADJUSTABLE	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	KES	KITCHEN EQUIPMENT SUPPLIER
ALUM.	ALUMINUM	LAM	LAMINATE
A.O.R.	ARCHITECT OF RECORD	LB(S)	POUND(S)
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
BD.	BOARD	MECH.	MECHANICAL
BLDG.	BUILDING	MFR.	MANUFACTURER
BLKG.	BLOCKING	MGR.	MANAGER
BO	BOTTOM OF	MIN.	MINIMUM
BM.	BEAM	MISC	MISCELLANEOUS
BOT.	BOTTOM	MTL.	METAL
CAB.	CABINET	N.	NORTH
CER.	CERAMIC	N.L.C.	NOT IN CONTRACT
CLG.	CEILING	N.T.S.	NOT TO SCALE
CLKG.	CAULKING	(N)	NEW
CLR.	CLEAR	NO.	NUMBER
COL.	COLUMN	NOM.	NOMINAL
CONC.	CONCRETE	O.D.	OUTSIDE DIAMETER
CONT.	CONTINUOUS	OPNG.	OPENING
DBL.	DOUBLE	OPP.	OPPOSITE
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE
DIA.	DIAMETER	PLAS.	PLASTER
DIM.	DIMENSION	PLYWD.	PLYWOOD
DNDUNO	DO NOT DEMOLISH UNLESS NOTED OTHERWISE	FR.	PAIR
DR.	DOOR	PT.	POINT
DS.	DOWNSPOUT	P.T.	PRESSURE-TREATED
DWG.	DRAWING	RAD.	RADIUS
(E)	EXISTING	REF.	REFERENCE
EA.	EACH	REG.	REGISTER
ELEV.	ELEVATION	REQD.	REQUIRED
ELEC.	ELECTRICAL	RM.	ROOM
EMER.	EMERGENCY	S.	SOUTH
EQ.	EQUAL	S.C.	SOLID CORE
F.M.A.S.	FACE OF MASONRY	S.F.	SQUARE FOOT
F.E.	FIRE EXTINGUISHER	S.S.	STAINLESS STEEL
F.O.	FACE OF	SCHED.	SCHEDULE
F.O.F.	FACE OF FINISH	SHT.	SHEET
F.O.S.	FACE OF STUDS	SM.	SIMILAR
F/F	FINISH TO FINISH	SPEC.	SPECIFICATION
F.R.	FIRE RETARDANT	SQ.	SQUARE
FIN.	FINISH	STD.	STANDARD
FL.	FLOOR	STL.	STEEL
FLUOR.	FLUORESCENT	STOR.	STORAGE
FT.	FOOT, FEET	SUSP.	SUSPENDED
F.V.	FIELD VERIFY	T.C.	TIME CLOCK
G.B.	GRAB BAR	T.O.	TOP OF
G.C.	GENERAL CONTRACTOR	TEL.	TELEPHONE
GA.	GAUGE	THK.	THICK
GL.	GLASS	TYP.	TYPICAL
GYP.	GYP(SUM	U.N.O.	UNLESS NOTED OTHERWISE
H.	HIGH	VERT.	VERTICAL
H.C.	HOLLOW CORE	V.L.F.	VERIFY IN FIELD
H.M.	HOLLOW METAL	W.	WEST
HC.	HANDICAPPED	W	WITH
HDWD.	HARDWOOD	W/C	WATER CLOSET
HORIZ.	HORIZONTAL	WO	WITHOUT
HGT.	HEIGHT	WR	WATER RESISTANT
H.T.	HANGER-TIGHT UNIT	WD.	WOOD
HVAC	HEATING, VENTILATION, AIR CONDITIONING		

SYMBOLS LEGEND

00	NEW GRID LINE	XXX	FINISH TAG
1	WINDOW MARK	XXX	EQUIPMENT TAG
1	DOOR MARK	1	REVISION SYMBOL
8	CEILING FINISH CODE	☁	REVISION CLOUD
8'-0"	CEILING HEIGHT		
0 1A	SECTION REFERENCE SHEET NUMBER	↑	NORTH ARROW
0 1A	DETAIL REFERENCE SHEET NUMBER		
0 1A	ELEVATION REFERENCE SHEET NUMBER		
0/1A	ELEVATION NUMBER & DIRECTION SHEET NUMBER		
+5'-9" T.O. PARAPET	ELEVATION HEIGHT TARGET LOCATION IN SPACE		
NAME1 NAME2 101A	ROOM NAME ROOM NUMBER		
0 1A	DETAIL REFERENCE SHEET NUMBER		

CODE DATA AND SQUARE FOOTAGE

STORE TYPE: WENDY'S 5090

LOCATION: 2 NATURE'S WAY, HILTON HEAD ISLAND, SC

BUILDING LEVEL: 1 OF 1

APPLICABLE CODES:

BUILDING:	2012 INTERNATIONAL BUILDING CODE
PLUMBING:	2012 INTERNATIONAL PLUMBING CODE
ELECTRICAL:	2011 NATIONAL ELECTRIC CODE
MECHANICAL:	2012 INTERNATIONAL MECHANICAL CODE
FIRE:	2012 INTERNATIONAL FIRE CODE
GAS:	2012 INTERNATIONAL FUEL GAS CODE
ENERGY:	2009 INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY:	ADAAG/ANSI A117.1.2009

OCCUPANCY GROUP: A-2 RESTAURANT

BUILDING SUMMARY:
EXISTING: 3,634 SF
BUILDING AREA INCLUDED IN CONTRACT: 1,980 SF

OCCUPANCY CALCULATIONS:

FLOOR	USE	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	NUMBER OF OCCUPANTS	TOTAL EXITS REQUIRED 2
1 OF: 1	DINING	1362 SF.	1/15	91	TOTAL EXITS PROVIDED 3
1 OF: 1	KITCHEN	1249 SF.	1/200	6	
1 OF: 1	SERVICE AREA	296 SF.	1/200	1	
TOTAL NUMBER OF OCCUPANTS:					98

CONSTRUCTION TYPE: COMBUSTIBLE VB

FIRE RESISTIVE REQUIREMENTS: EXTERIOR BEARING WALL.....(0 HOUR)
ROOF CONSTRUCTION.....(0 HOUR)
CEILING.....(0 HOUR)

FIRE SPRINKLERS: NOT REQUIRED

MAX TRAVEL DISTANCE: 60'

EGRESS CALCULATIONS: 98 OCCUPANTS x 0.2' = 19.6' EGRESS WIDTH REQ'D
108' EGRESS WIDTH PROVIDED
THE LOSS OF ONE REQUIRED MEANS OF EGRESS SHALL NOT REDUCE THE EGRESS CAPACITY TO LESS THAN 50% OF WHAT WOULD BE REQUIRED BY 2012 INTERNATIONAL BUILDING CODE.

TEMPLATE ISSUE LOG

SEE CORRESPONDING REVISION NARRATIVE FOR SPECIFIC INFO

ISSUE NUMBER	ISSUE NAME	ISSUE NUMBER	ISSUE NAME
ORIGINAL			

SHEET INDEX

REVISION	DESCRIPTION	REVISION				
		1	2	3	4	5
G1.1	COVER SHEET					
D1.1	DEMOLITION FLOOR PLAN					
D2.1	DEMOLITION REFLECTED CEILING PLAN					
AS1.1	ARCHITECTURAL SITE PLAN					
A1.1	FLOOR PLAN					
A1.2	REFLECTED CEILING PLAN					
A2.1	EXTERIOR ELEVATIONS					
AS.1	WALL SECTIONS					

SITE MAP



PROJECT TEAM | DIRECTORY

CLIENT	BAS REALTY
	7 SIMMONSVILLE RD. BLUFFTON, SC 29910
	CONTACT: JIM SABA/DeWAYNE WALKER TEL: 843-384-5237/843-540-3476 FAX: -
ARCHITECT	MICHAEL GRIFFITH 792 GOLFSIDE LN SEBRING, FL 33870 CONTACT: TEL: 843-815-4282 FAX: N/A
STORE DESIGN	WENDY'S- 2 NATURE'S WAY HILTON HEAD ISLAND, SC 29926 CONTACT: JIM SABA/DeWAYNE WALKER TEL: 843-384-5237/843-815-6536 FAX: -
MEP ENGINEER	SMITH - VANDENBULCK, LLC 5 OGLETHORPE PROF. BLDG. #130 SAVANNAH, GA 31406 CONTACT: CHARLIE VANDENBULCK TEL: 912-354-5249 FAX: -
STRUCTURAL ENGINEER	N/A - - CONTACT: - TEL: - FAX: -
GENERAL CONTRACTOR	VENTURE CONSTRUCTION 3660 PEACHTREE INDUSTRIAL BLVD. NORCROSS, GA 30071 CONTACT: MIKE BENZ TEL: 770-441-2404 FAX: -

VICINITY MAP



SITE NUMBER:	5090
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 RS
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2016
FURNITURE PACKAGE:	2014
DESIGN BULLETINS: THRU DB 2014-04	

MICHAEL GRIFFITH
ARCHITECT
792 GOLFSIDE LN
SEBRING, FL 33870
843-815-4282
griffith@goi.com

PROJECT TYPE: **5090**
REMODEL

REV.	DATE	DESCRIPTION

ISSUE DATE: 10/09/2015
PROJECT NUMBER: 1515
DRAWN BY: DB
CHECKED BY: MG



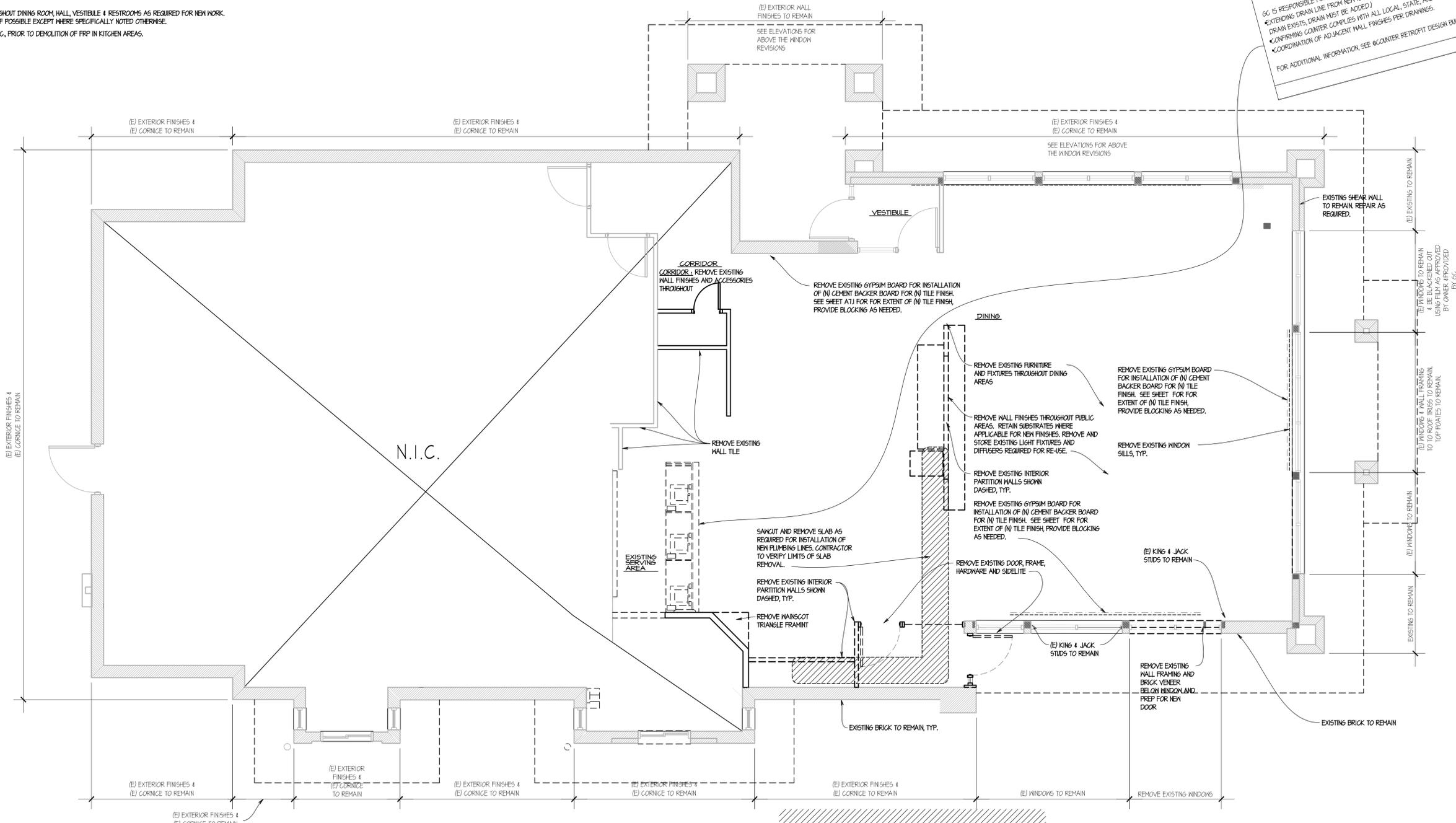
SHEET NAME: **COVER SHEET**

SHEET NUMBER: **G1.1**

DEMOLITION GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO IMPLEMENT NEW WORK, AS SHOWN ON OTHER DRAWINGS. THIS PLAN INDICATES ONLY THE APPROXIMATE DEMOLITION REQUIRED FOR COMPLETION OF THIS REMODEL. EXISTING CONDITIONS NOT SHOWN OR NOTED SHALL REMAIN UNCHANGED UNLESS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH LEVEL AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.
- CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY WENDY'S REPRESENTATIVE AND ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE CODES TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
- BEFORE DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, NOTIFY THE LOCAL UTILITY COMPANY AND WENDY'S REPRESENTATIVE IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
- HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO WENDY'S REPRESENTATIVE.
- WENDY'S VENDOR TO REMOVE F.F.A.E. PRIOR TO G.C.'S DEMOLITION START. G.C. TO PROTECT AND SHRINK-WRAP REMAINING F.F.A.E. NOT AFFECTED BY REMODEL WORK FOR DURATION OF REMODEL. G.C. TO COORDINATE WITH WENDY'S REPRESENTATIVE.
- REMOVE EXISTING FLOOR & WALL FINISHES AS NOTED AND AS REQUIRED FOR NEW FINISHES. CLEAN, PREP, AND REPAIR SUBSTRATES TO SPECIFICATION REQUIREMENTS OF NEW SCHEDULE FINISHES.
- DISCONNECT AND/OR REMOVE UNUSED / ABANDONED ELECTRICAL CIRCUITS FROM ELECTRICAL SOURCE PER CODE.
- CAP, DISCONNECT AND/OR REMOVE PLUMBING LINES NOTED FOR DEMOLITION ACCORDANCE WITH CODE.
- WHENEVER REQUIRED BY LOCAL AUTHORITIES AND AS DIRECTED BY WENDY'S REPRESENTATIVE UNUSED UTILITIES SHALL BE REMOVED IN THEIR ENTIRETY.
- REMOVE (E) FINISHES AND TRIM THROUGHOUT DINING ROOM, HALL, VESTIBULE & RESTROOMS AS REQUIRED FOR NEW WORK. EXISTING GYPSUM BOARD TO REMAIN IF POSSIBLE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- MARK EXISTING OUTLETS, SWITCHES, ETC., PRIOR TO DEMOLITION OF FRP IN KITCHEN AREAS.

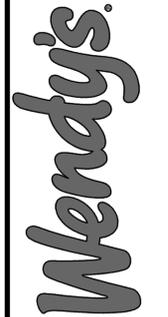
FRONT COUNTER REUSE NOTE:
FRONT COUNTER IS TO BE REUSED. A RETROFIT KIT TO BE SUPPLIED BY KED (OWNER PROVIDED) AND WILL INCLUDE:
 • NEW SOLID SURFACE COUNTER TOP INSTALLED BY EQUIPMENT INSTALLER (OWNER).
 • NEW P-LAM PANEL FACING ON SUBSTRATE INSTALLED BY EQUIPMENT INSTALLER (OWNER).
 • SHELVEY PACKAGE AS REQUIRED FOR ORDERPICKY AND PICK-UP SEPARATION INSTALLED BY EQUIPMENT INSTALLER (OWNER).
 • UNDER-COUNTER ICE BIN INSTALLED BY EQUIPMENT INSTALLER (OWNER).
 G.C. IS RESPONSIBLE FOR:
 • EXTENDING DRAIN LINE FROM NEW ICE BIN TO EXISTING FLOOR DRAIN. (IF NO FLOOR DRAIN EXISTS, DRAIN MUST BE ADDED.)
 • CONFIRMING COUNTER COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 • COORDINATION OF ADJACENT WALL FINISHES PER DRAWINGS.
 FOR ADDITIONAL INFORMATION, SEE @COUNTER RETROFIT DESIGN BULLETIN.



SITE NUMBER:	5090
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 R5
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS: THRU DB 2014-04	

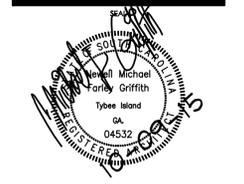
MICHAEL GRIFFITH
 ARCHITECT
 792 GOLFSIDE LN
 SEBRING, FL 33870
 843-815-4282
 griffarch@aol.com

PROJECT TYPE: **5090**
REMODEL



REV.	DATE	DESCRIPTION
▲		
▲		
▲		

ISSUE DATE: 10/09/2015
 PROJECT NUMBER: 1515
 DRAWN BY: DG
 CHECKED BY: MG



SHEET NAME:
DEMOLITION FLOOR PLAN

SHEET NUMBER:
D1.1

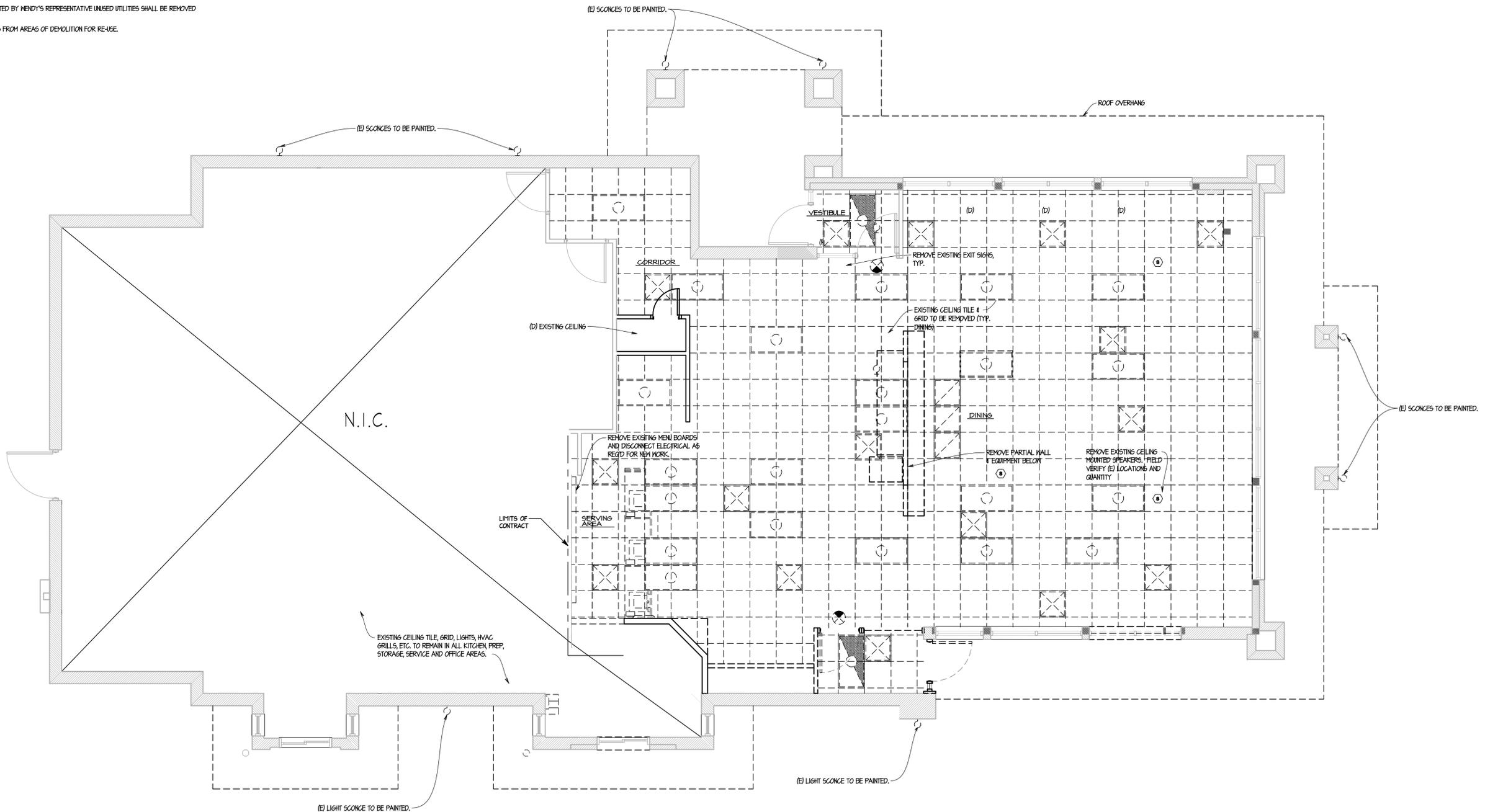


DEMOLITION GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION WORKS REQUIRED TO IMPLEMENT NEW WORK, AS SHOWN ON OTHER DRAWINGS. THIS PLAN INDICATES ONLY THE APPROXIMATE DEMOLITION REQUIRED FOR COMPLETION OF THIS REMODEL. EXISTING CONDITIONS NOT SHOWN OR NOTED SHALL REMAIN UNCHANGED UNLESS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL, AND UNNOTICEABLE TRANSITION BETWEEN NEW AND EXISTING FINISHES.
2. VERIFY FIELD CONDITIONS AND NOTIFY WENDY'S REPRESENTATIVE AND ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE CODES TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
4. BEFORE DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, NOTIFY THE LOCAL UTILITY COMPANY AND WENDY'S REPRESENTATIVE IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
5. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO EPA STANDARDS) PRIOR TO DEMOLITION.
6. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
7. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
8. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
9. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
10. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
11. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
12. REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO WENDY'S REPRESENTATIVE.
13. WENDY'S VENDOR TO REMOVE FF.H.E. PRIOR TO G.C.'S DEMOLITION START, G.C. TO PROTECT AND SHRINK-WRAP REMAINING FF.H.E. NOT AFFECTED BY REMODEL WORK FOR DURATION OF REMODEL, G.C. TO COORDINATE WITH WENDY'S REPRESENTATIVE.
14. PRIOR TO BID SUBMISSION, THE G.C. SHALL MAKE A SITE VISIT TO REVIEW THE DEMOLITION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO SITE WORK, EXTERIOR & INTERIOR OF THE EXISTING STRUCTURE. REVIEW DRAWINGS FOR DEMOLITION REQUIREMENTS / UTILITY RELOCATIONS. COORDINATE DEMOLITION WITH WENDY'S REPRESENTATIVE.
15. REMOVE EXISTING WALL FINISHES AS NOTED AND AS REQUIRED FOR NEW FINISHES. CLEAN, PREP, AND REPAIR SUBSTRATES TO SPECIFICATION REQUIREMENTS OF NEW SCHEDULE FINISHES.
16. DISCONNECT AND/OR REMOVE UNUSED / ABANDONED ELECTRICAL CIRCUITS FROM ELECTRICAL SOURCE PER CODE.
17. WHENEVER PRACTICAL TO DO SO AND/OR AS DIRECTED BY WENDY'S REPRESENTATIVE UNUSED UTILITIES SHALL BE REMOVED IN THEIR ENTIRETY.
18. REMOVE AND STORE DIFFUSERS AND LIGHT FIXTURES FROM AREAS OF DEMOLITION FOR RE-USE.

DEMO RCP LEGEND

	FLUORESCENT LIGHT FIXTURE		HANGING LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE ON NIGHT LIGHT CIRCUIT		RECESSED CAN LIGHT FIXTURE
	SUSPENDED ACOUSTICAL CEILING TILE		WALL MOUNTED LIGHT FIXTURE
	SUPPLY AIR DIFFUSER		EXIT LIGHT FIXTURE
	RETURN AIR DIFFUSER		CEILING RECESSED EMERGENCY FLOOD LIGHT
			WALL MOUNTED EMERGENCY FLOOD LIGHT AND EXIT LIGHT
			ROOF MOUNTED FLOOD LIGHT
			CEILING SPEAKER
		(E)	EXISTING TO REMAIN
		(R)	RELOCATED EXISTING FIXTURE
		(D)	EXISTING TO BE REMOVED



SITE NUMBER:	5090
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 R5
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS: THRU DB	2014-04

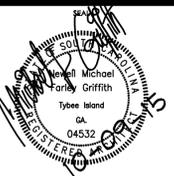
MICHAEL GRIFFITH
 ARCHITECT
 792 GOLFSPIDE LN
 SEBRING, FL 33870
 843-815-4282
 griffarch@aol.com

PROJECT TYPE: **5090**
REMODEL



REV.	DATE	DESCRIPTION
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ISSUE DATE: 10/09/2015
 PROJECT NUMBER: 1515
 DRAWN BY: DB
 CHECKED BY: MG



SHEET NAME:
DEMOLITION REFLECTED CEILING PLAN

SHEET NUMBER:
D2.1



SITE NUMBER:	6060
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 R5
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS:	THRU DB 2014-04

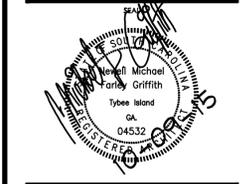
MICHAEL GRIFFITH
 ARCHITECT
 792 COLFISIDE LN
 SEBRING, FL 33870
 843-815-4282
 griffarch@aol.com

PROJECT TYPE: **5090**
REMODEL



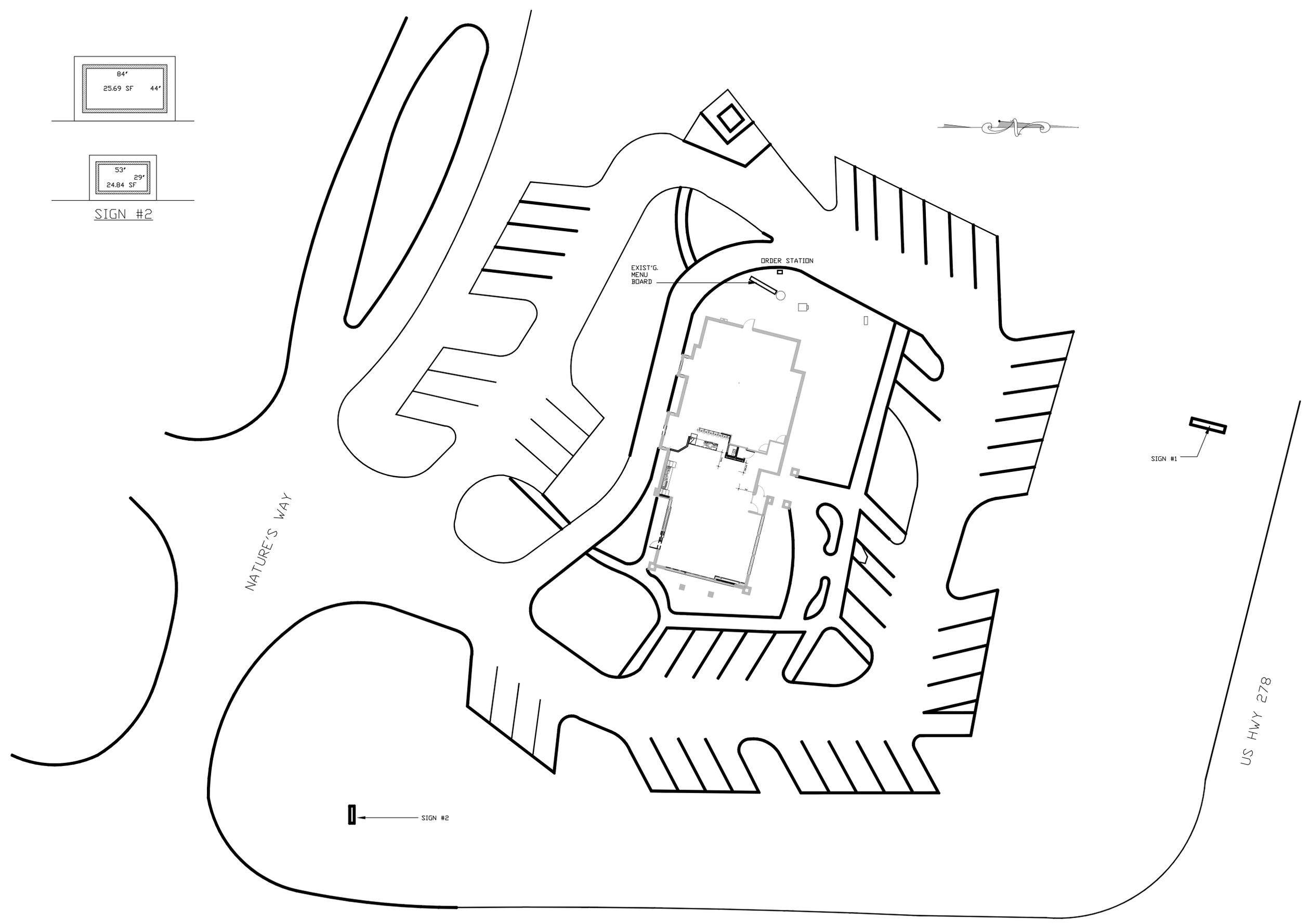
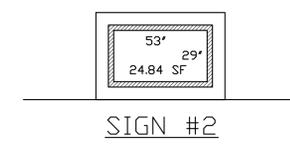
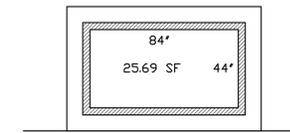
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ISSUE DATE 10/09/2015
 PROJECT NUMBER 1515
 DRAWN BY DB
 CHECKED BY MG



SHEET NAME
**ARCHITECTURAL
 SITE PLAN**

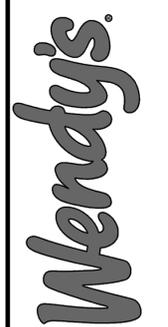
SHEET NUMBER
AS1.1



SITE NUMBER:	5090
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 R5
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS: THRU DB	2014-04

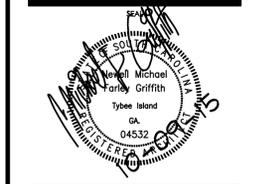
MICHAEL GRIFFITH
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PROJECT TYPE: **5090**
REMODEL



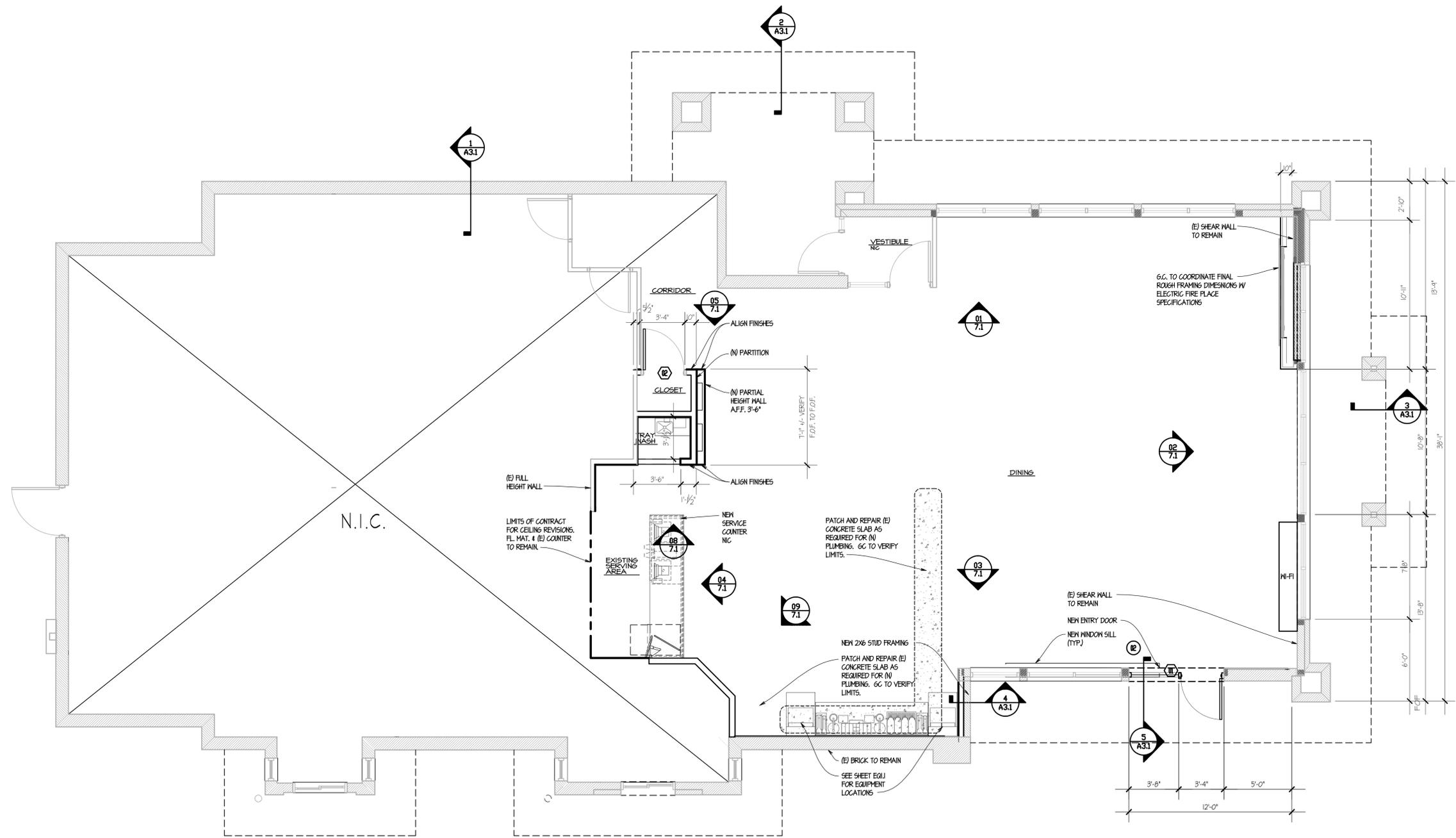
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ISSUE DATE: 10/09/2015
 PROJECT NUMBER: 1515
 DRAWN BY: DB
 CHECKED BY: MG



SHEET NAME
FLOOR PLAN
 SHEET NUMBER

A1.1



SITE NUMBER: 5090
 BASE MODEL: 3480
 ASSET TYPE: FRANCHISEE
 CLASSIFICATION: REMODEL
 OWNER: BAS REALTY, LLC
 BASE VERSION: 2015 JUN 01 R5
 UPGRADE CLASSIFICATION:
 UM STANDARD BASE
 PROJECT YEAR: 2015
 FURNITURE PACKAGE: 2014
 DESIGN BULLETINS: THRU DB 2014-04

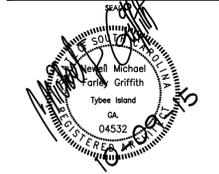
MICHAEL GRIFFITH
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 SEBRING, FL 33870
 843-815-4282
 griffarch@aol.com

PROJECT TYPE: **5090**
REMODEL

Wendy's

REV.	DATE	DESCRIPTION
▲		
▲		
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ISSUE DATE: 10/09/2015
 PROJECT NUMBER: 1515
 DRAWN BY: DB
 CHECKED BY: MG



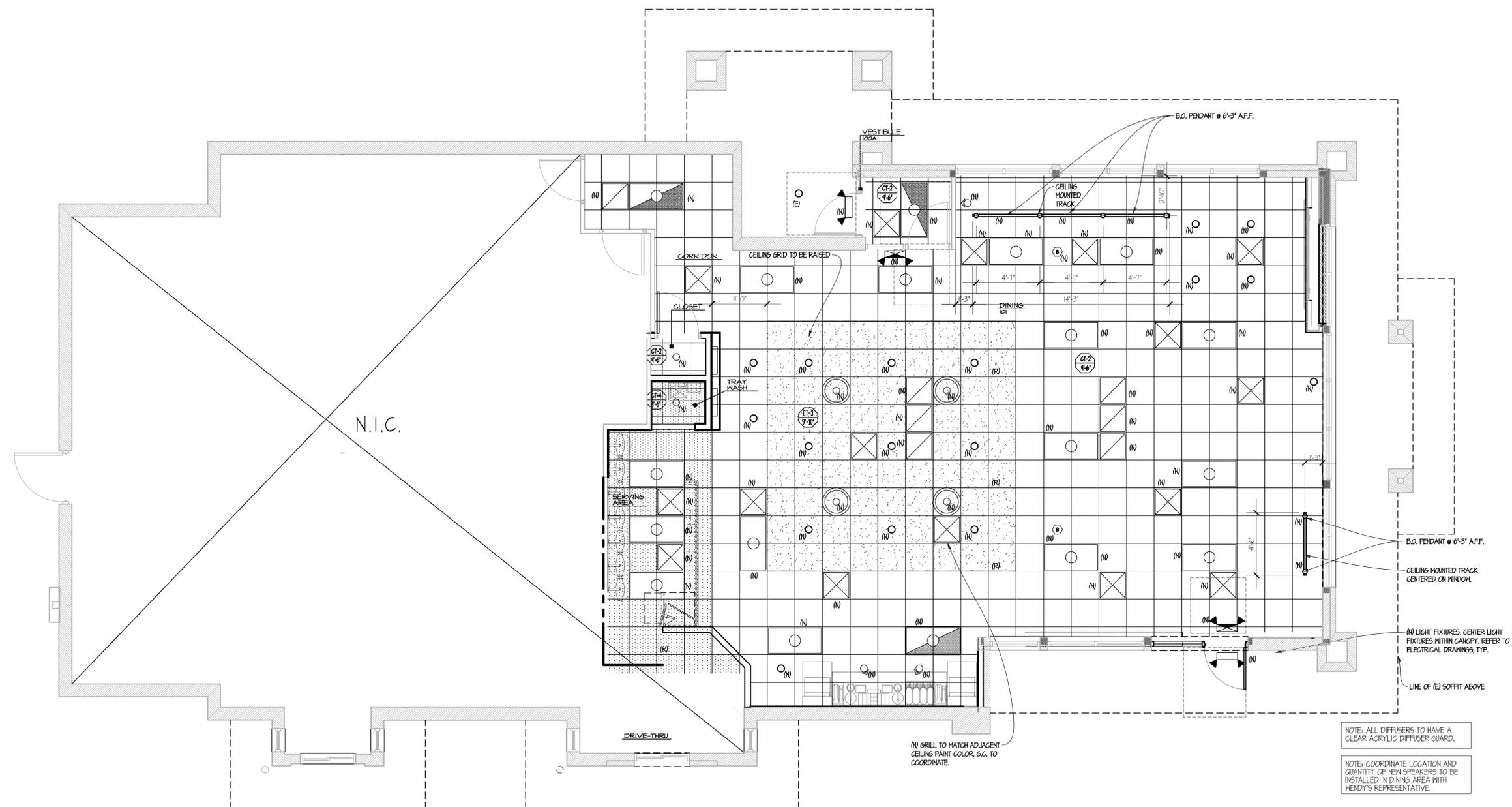
SHEET NAME:
REFLECTED CEILING PLAN

SHEET NUMBER:
A1.2

- GENERAL NOTES**
- HOLD DOWN CLIPS SHALL BE PROVIDED FOR CEILING TILES IN NEW WORK.
 - SEE INTERIOR FINISH SPECIFICATIONS FOR CEILING TILE.
 - REFER TO ELECTRICAL AND/OR HVAC DRAWINGS FOR ADDITIONAL INFORMATION REGARDING FIXTURES, DEVICES AND EQUIPMENT SHOWN ON THIS PLAN.
 - FRONT OF HOUSE ACT CEILING TILE AND GRID IS TO BE REPLACED WITH NEW TILE.
 - CLEAN AND RE-LAMP EXISTING FIXTURES TO REMAIN TO BE RELOCATED.
 - TYPICAL: RECESSED CAN FIXTURES TO BE CENTERED IN CEILING TILE, UNO.
 - CENTER NEW CEILING GRID WITHIN ROOM AREA UNLESS NOTED / DIMENSIONED OTHERWISE.
 - LOCATIONS OF EMERGENCY LIGHTING SHOWN FOR REFERENCE, FINAL LOCATIONS AND QUANTITIES TO BE APPROVED BY LOCAL FIRE INSPECTOR.
 - SEE FINAL APPROVED SECURITY PLAN FOR LOCATIONS OF CEILING MOUNTED CAMERAS AND MONITORS.

RCP LEGEND

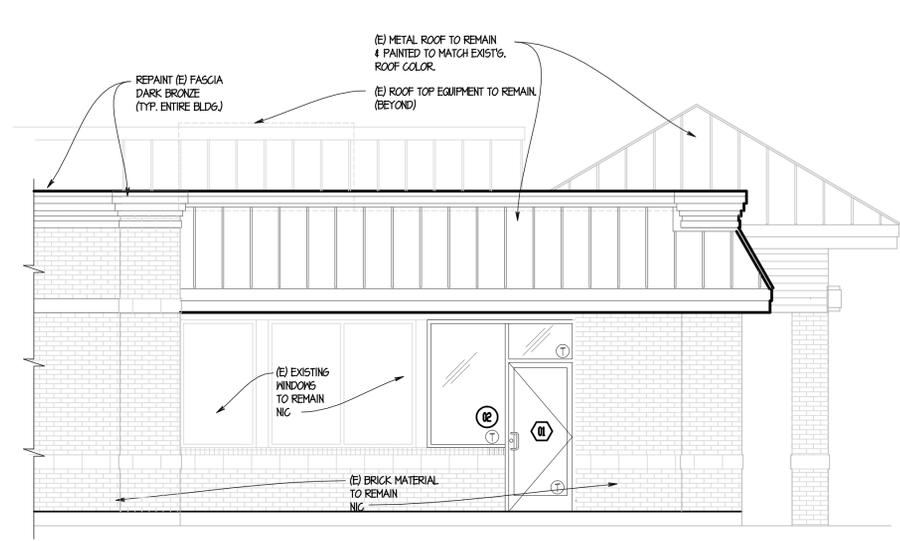
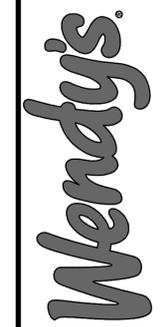
	FLUORESCENT LIGHT FIXTURE		NEW PENDANT LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE ON NIGHT LIGHT CIRCUIT		NEW PENDANT LIGHT FIXTURE
	NEW WASHABLE SUSPENDED ACOUSTICAL CEILING TILE, CT-1		RECESSED OR WALL WASH CAN LIGHT FIXTURE
	NEW SUSPENDED ACOUSTICAL CEILING TILE, CT-2		WALL MOUNTED LIGHT FIXTURE
	NEW SUSPENDED ACOUSTICAL CEILING TILE, CT-3		EXIT LIGHT FIXTURE
	NEW WASHABLE SUSPENDED ACOUSTICAL CEILING TILE, CT-4		WALL MOUNTED EMERGENCY FLOOD LIGHT AND EXIT LIGHT
	SUPPLY AIR DIFFUSER		GROUND MOUNTED FLOOD LIGHT
	RETURN AIR DIFFUSER		ROOF MOUNTED FLOOD LIGHT
			CEILING SPEAKER
		(E)	EXISTING TO REMAIN
		(R)	RELOCATED EXISTING FIXTURE
		(N)	NEW FIXTURE



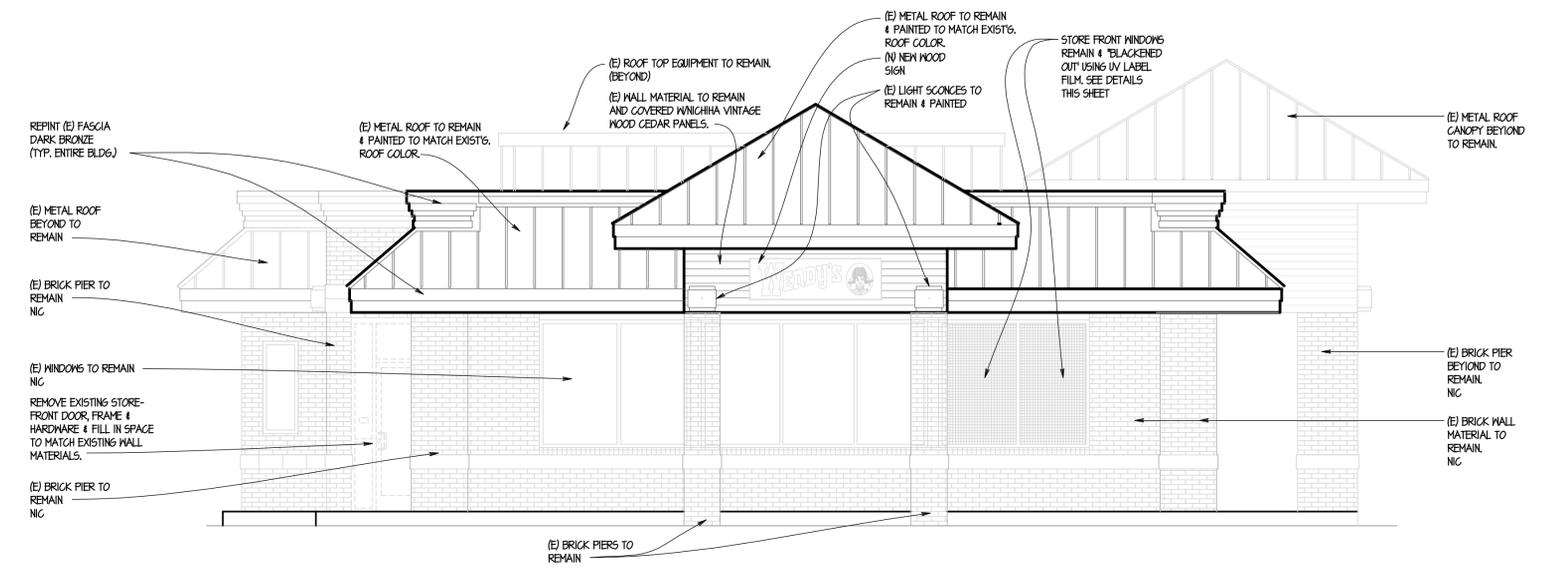
SITE NUMBER:	5090
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 R5
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS:	THRU DB 2014-04

MICHAEL GRIFFITH
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 843-815-4282
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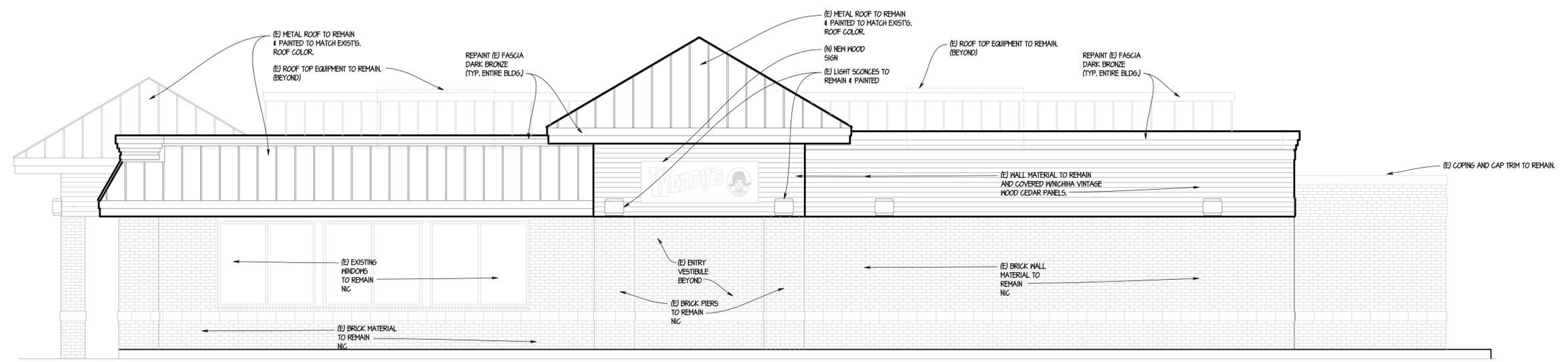
PROJECT TYPE: **5090**
REMODEL



03 PARTIAL LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0" (FACING NATURE'S WAY)



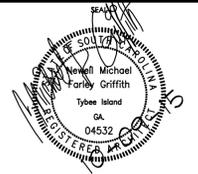
01 FRONT ELEVATION
 SCALE: 1/4" = 1'-0" (FACING FEMEROCK DRIVE)



02 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0" (FACING ROUTE 216)

REV.	DATE	DESCRIPTION

ISSUE DATE 10/09/2015
 PROJECT NUMBER 1515
 DRAWN BY DB
 CHECKED BY MG

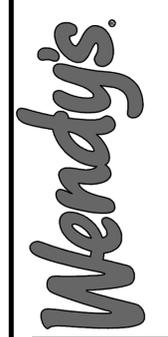


SHEET NAME
ELEVATIONS
 SHEET NUMBER
A2.1

SITE NUMBER:	5090
BASE MODEL:	3480
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	REMODEL
OWNER:	BAS REALTY, LLC
BASE VERSION:	2015 JUN 01 R5
UPGRADE CLASSIFICATION:	UM STANDARD BASE
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS:	THRU DB 2014-04

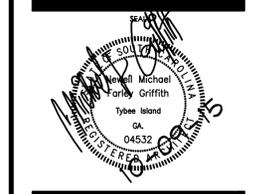
MICHAEL GRIFFITH
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PROJECT TYPE: **5090**
REMODEL



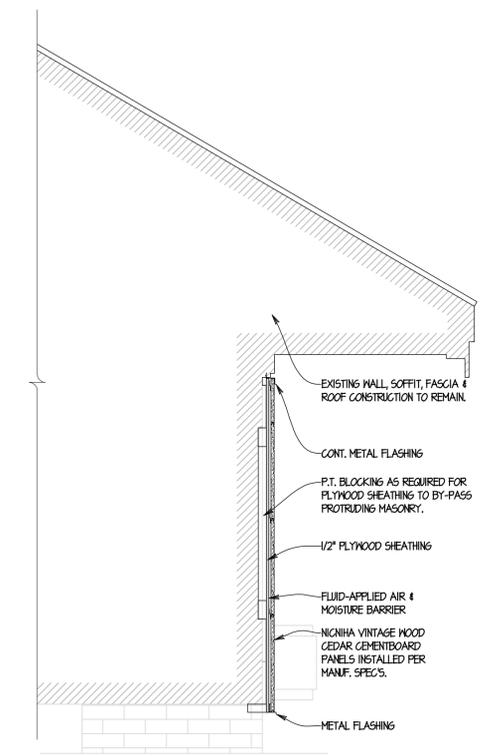
REV.	DATE	DESCRIPTION
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ISSUE DATE: 10/09/2015
 PROJECT NUMBER: 1515
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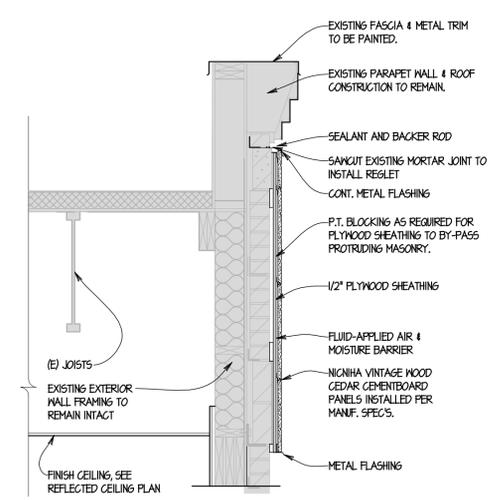


SHEET NAME:
WALL SECTIONS
 SHEET NUMBER:

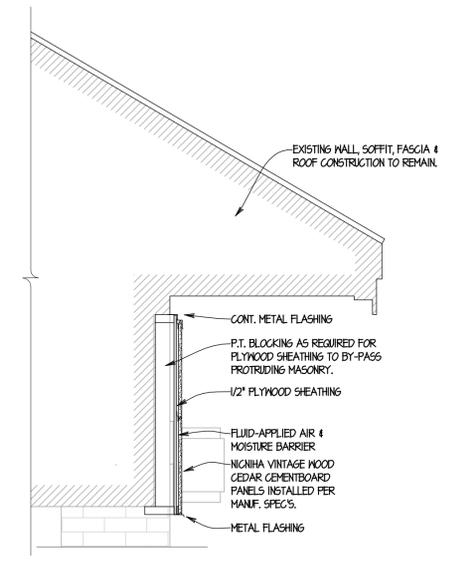
A3.1



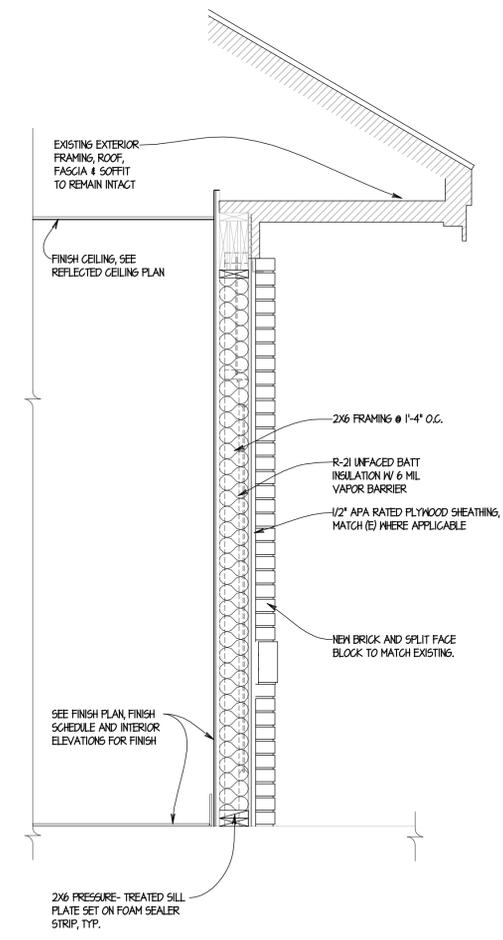
02 PARTIAL WALL SECTION
 SCALE: 3/4" = 1'-0"



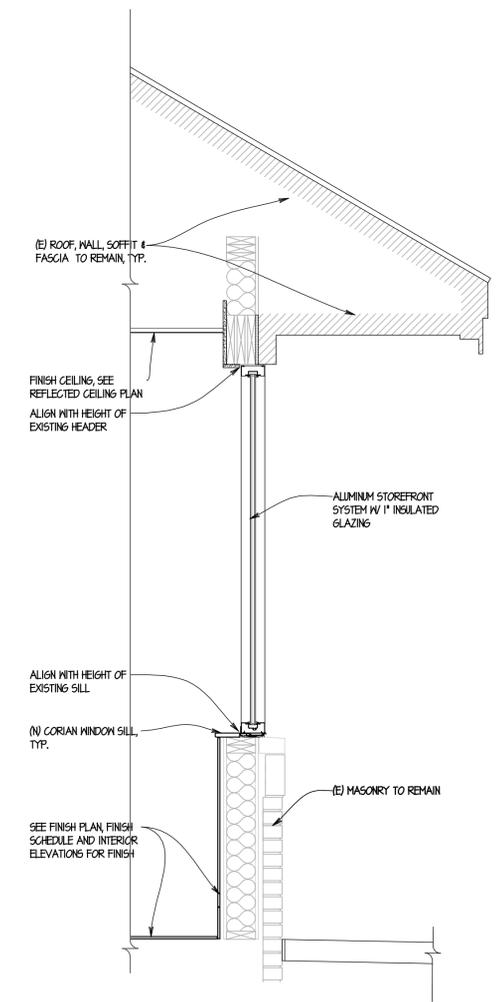
01 PARTIAL WALL SECTION
 SCALE: 3/4" = 1'-0"



03 PARTIAL WALL SECTION
 SCALE: 3/4" = 1'-0"



04 WALL SECTION
 SCALE: 3/4" = 1'-0"



05 WALL SECTION
 SCALE: 3/4" = 1'-0"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Wendy's – ALTERATION/ADDITION

DRB#: DRB-001915-2015

DATE: October 27, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Dark bronze paint for metal fascia and light fixtures will be high contrast to existing roof (medium bronze) and proposed "Vintage Wood Cedar" applied panels. Consider painting fascia and fixtures to match existing roof color.

Applicant proposes to renovate existing Wendy's to include installing nichia wall panels over existing upper brickwork, painting existing metal fascia dark bronze, and painting existing sconces dark bronze. "Black out" screening will be added at two windows facing Pembroke Drive.

ISLAND REC CENTER

RE: JENNIFER RAY



Town of Hilton Head Island
Community Development Department

One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	10.13.15
Accepted by:	JR
DRB #:	1923-2015
Meeting Date:	

CL #5924 \$100.00 pd

Applicant/Agent Name: JOSHUA BECKLER Company: COASTAL CANVAS PRODUCTS
 Mailing Address: PO BOX 22834 City: SAVANNAH State: GA Zip: 31403
 Telephone: 912-236-2416 Fax: 912-232-7884 E-mail: JBECKLER@COASTALCANVAS.NET
 Project Name: ISLAND REC CENTER Project Address: (29) SHELTER COVE BAND SHELL
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____
 per Suzanne Brown, addressing

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

Concept Approval – Proposed Development

Final Approval – Proposed Development

Alteration/Addition

Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100 Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

10/2/15

DATE

Jennifer B. Ray, ASLA
Urban Designer
Town of Hilton Head Island
(843) 341-4665 phone
(843) 842-8908 fax

RE: Narrative Islands Rec Center

The Islands Rec Center requests approval for a 20' wide retractable awning to cover band members during band events. The awning itself is a roof mount and bronze in color to match the existing structural members of the shelter. The cover will be Forest Green to match the roof color.

The predominance of time, the awning will be retracted into a contained hood unit, from profile, approximately 6" tall and 8" wide. From the front of the unit one will see a bronze hood, front bar, and a Forest Green valance hanging. No other components will be visible.

During special events, approximately 20-25 times per year per Frank Soule, the awning will have a projected length of 16'-5". From the ground level, one will see 2-3 bronze arms and a Forest Green cover.

Thank you for your consideration,



Joshua Beckler
912.236.2416 ext 111
Coastal Products, LLC
73 Ross Rd
Savannah, GA 31405

 COASTAL CANVAS
PRODUCTS



FABRIC NAME _____
FABRIC COLOR Forest Green
FABRIC NO. _____
DATE _____



GENERAL INFORMATION

HOURS OF OPERATION

Eclipse headquarters is available to you Monday through Friday from 8:00 am to 5:00 pm (EST)

CONTACT US

Phone:	845.692.7070	800.501.3850
Fax:	845.692.7010	800.536.2966
Sales Team Direct Contacts:		
John Dearden	914.475.5379	jdearden@eclipseawning.com
Scott Martin	914.475.4977	smartin@eclipseawning.com
Ryan Gabel	845.248.8557	rgabel@eclipseawning.com
Kevin Wagner	513.600.8446	kwagner@eclipseawning.com
Zach Pretekin	720.309.6378	zpretekin@eclipseawning.com

STANDARD DELIVERY INFORMATION

We will ship your orders using a common carrier. Please note we reserve the option to add fuel surcharges during the season if necessary. Delivery to a residential address is also available for an upcharge. To have the freight company provide a notification call will carry a charge. **Please inspect your deliveries and sign for your delivery with possible concealed damage if the box appears damaged in any way.** In case of damage, please arrange for the carrier to inspect the goods to determine the amount of damage for your freight claim. Please call us if you need any assistance.

ORDERING

Please order your Eclipse products via fax, e-mail or our extranet. "Written" documentation of your order will help us serve you better. We want to make exactly what you need.

CONFIRMATION

Let us know how you would like your orders and shipments confirmed -- daily or weekly, by fax or e-mail. If you request order confirmation and you do not receive them, please contact us immediately.

CHANGES AND CANCELLATIONS

Fabric will often be ordered the day your order is received -- or at the latest, the morning after your order has been placed. Our quick production time creates a very narrow window for changes and/or cancellations. We will have a \$50.00 restocking charge for fabric that has not been cut. If the fabric has been cut, we will charge 10% of the unit cost for the fabric. Please call as soon as possible with changes or cancellations. **We will do everything possible to keep your order on schedule and keep charges to a minimum.**

GENERAL INFORMATION

RETURNS AND WARRANTY

Call Eclipse for authorization to return any defective or damaged parts and/or fabric repairs. We need to know what is headed our way and will need to determine what is covered under the warranty. You can find a copy of the warranty in your handbook.

PLATINUM PROTECTION PLANS

The Platinum Protection Plan (extended warranty) can be purchased for Eclipse, Eclipse SC, Butterfly and E-Lite units (\$75 per arm), Total Eclipse units (\$109 per arm) and Drop Arms (\$75 per unit). This plan covers the original purchaser only: Lifetime on the framework and hardware, 10 years on the fabric, 8 years on the motor and electronics and 5 years on the frame finish.

The Platinum Protection PLUS Plan (extended warranty) can be purchased for Eclipse, Eclipse SC and Butterfly units (\$115 per arm), Total Eclipse units (\$159 per arm) and Drop Arms (\$115 per unit). This plan covers the original purchaser only: Lifetime on the framework, hardware, fabric cover, motor and electronics and 5 years on the frame finish. All prices listed are based on 2011-2012 wholesale pricing.

RECOVER PRICING

Recover pricing is based on use of standard Sunbrella or Dickson fabrics. The Eclipse, E-Lite, Eclipse SC, Butterfly, Ultimate Eclipse and Total Eclipse recovers are based on a per square foot price. The Eclipse Drop Arm recover is also based on the square foot price, but will be calculated by the width and cut size since the fabric is long enough to project past 90 degrees. See the current Eclipse Wholesale Pricebook for pricing.

Eclipse Awning Model Comparison



Item	E-Lite	Eclipse	Total Eclipse	Eclipse SC	Ultimate Eclipse
Description/Application	Entry level/residential use	Premium grade/residential use	Heavy duty/commercial grade	Premium grade semi cassette/residential & commercial use	Superior grade for residential & commercial use
Unit Width	up to 32'	up to 40'	up to 40'	up to 22'	up to 22' as a Semi Cassette, 40' without
Width Increments	By the inch	By the 1/4 inch	By the 1/4 inch	By the 1/4 inch	By the 1/4 inch
Unit Projection	8'2", 10'0", 11'6"	5'0", 7'4", 9'0", 10'6", 11'6", 13'0"	13', 14'9", 16'6"	5'0", 7'4", 9'0", 10'6", 11'6"	10'0", 11'6", 13'0"
Cross Arm Option	No	Yes up to 11'6"	No	No	No
Drop Shade Option	No	Yes up to 11'6" x 22' wide	Yes, all projections up to 22' wide	No	No
Unit Operation	Motorized or manual gear	Motorized or manual gear	Motorized or manual gear	Motorized or manual gear	Motorized or manual gear
Aluminum Protective Hood Option	Yes - 10.25" wide	Yes - 10.25" wide	Yes - 14.25" wide	Incorporated into the unit	For Semi Cassette - Incorporated into the unit
Arm Tension System	Twin PVC coated cables	9 cable ABT belt system	11 cable ABT belt system	9 cable ABT belt system	11 cable ABT belt system
Arm Cycle Life Expectancy	5,000 cycles	60,000 cycles	60,000 cycles	60,000 cycles	60,000 cycles
Arm Tension Closing Force (per arm)	246 lbs.	311 lbs.	400 lbs.	311 lbs.	375 lbs.
Arm Spring Tension	639 lbs.	890 lbs.	1800 lbs.	890 lbs.	925 lbs
Wind Class Rated - Max	Class II rated 52lbs/24 mph	Class III rated 81lbs/30 mph	Class III rated 81lbs/30 mph	Class III rated 81lbs/30 mph	Class III rated 81lbs/30 mph
Arm Wall Thickness (avg)	.070"	.10"	.20"	.10"	.20"
Unit Weight (per foot)	12 lbs.	15 lbs.	20 lbs.	18 lbs.	25 lbs.
Arm Shoulder	One piece extruded	Two piece cast design - 3 lbs each	Three piece cast design - 8 lbs each	Two piece cast design - 3 lbs each	Two piece cast design - 6 lbs each
Torsion Bar	1.58" (40mm) x .120" - aluminum	1.58" (40mm) x .120" - aluminum	2.0" (50mm) x .125" - steel	1.58" (40mm) x .120" - aluminum	2.0" (50mm) x .125" - steel
Fabric Options	13 Standard, custom fabrics available for an upcharge	All custom fabrics	All custom fabrics	All custom fabrics	All custom fabrics
Frame Warranty (non prorated)	5 years	10 years	10 years	10 years	Lifetime
Fabric Warranty (non prorated)	5 to 8 years - depending on brand	8 years	8 years	8 years	8 years
Platinum Protection Availability	Yes	Yes	Yes	Yes	N/A
Platinum Protection PLUS Availability	No	Yes	Yes	Yes	Yes
Product Assembly	USA	USA	USA	USA	USA
China Sourced Components	No	No	No	No	No
Frame Colors	White & Camel	White, Camel, Bronze, Ivory	White, Camel, Bronze, Ivory	White, Camel, Broze	White, Camel
Lunar Lighting & Heater Option	Yes	Yes	Yes	Yes	Yes
Mounting Options	Wall, Soffit, Roof	Wall, Soffit, Roof	Wall, Soffit, Roof	Wall, Soffit, Roof	Wall, Soffit, Roof

General Specifications – Retractable Awnings

CSI Section 107313 (previously 10536)

Part 1 - GENERAL

- A. Summary:** Retractable awnings that are self-supporting, lateral spring loaded arm system. These awnings are retracted when not in use and are self-storing by design. The fabric rolls off the round roller tube as the awning is extended. The unit's arms provide outward pressure to keep the fabric taut. The awning mounts directly to any flat surface, under a soffit or can be roof mounted when limited mounting height is available. Retractable awnings typically can come up to 40' wide in a single unit and can project up to 16'6" out. Retractable awnings can be manually operated with a removable crank handle or can be motorized, operated by a wall switch, remote control or be fully incorporated into an automation system.
- B. Manufacturer:** Shall furnish all awnings, electrical control components and accessories for complete installation and single source responsibility.

Eclipse Awning Systems, LLC
1760 Route 211 East
Middletown, NY 10941
800.501.3850

Part II - PRODUCT

- A. Fabric:** Typical exterior applications utilize 100% acrylic fabrics such as Sunbrella manufactured by Glen Raven Mills or other exterior grade fabric awning material that carries a minimum five (5) year manufacturer's warranty against rot, mildew or excessive fading. Fabric from the manufacturer shall be typically 47" wide - 60" wide goods are also available in limited color selection. Sewing thread to connect the fabric panels shall be computerized lock-stitched. Thread to be Gore Tenara® brand or equal. Fabric color or pattern as selected by Architect will be incorporated into the awning. Based on the city's requirements, the architect is to specify if the fabric must be flame retardant to meet California Fire Marshal requirements or equal. When required, shall meet or exceed the requirements of the National Fire Protection Association (NFPA) test #701 and the California Administrative Code, Title 19, Public Safety, Subchapter 8, Article 4, Section 1237, paragraph (b) as amended in 1986 and as modified by the State Fire Marshal.
- B. Framework:** Aluminum construction with stainless steel fasteners grade 18-8 or better. Frame finish consisting of pretreated, polyester powder coating that is THC-free to qualicoat® specifications. Extruded aluminum components consist of 6005 T5, cast parts are robotically controlled, vacuum injected and heat treated. Spring loaded retractable arms not to have raw exposed arm cables, covered in PVC or equivalent. Frame components to ISO 9001:2000 standards for quality. Components also meet EN13561 for safety.

C. Operation: Manual: shall utilize Geiger worm or beveled gear to operate unit with detachable crank handle.

Motorized: Tubular motor shall be asynchronous capacitor start and run, single phase type operating on 120V-60HZ. They shall have planetary type gears, solenoid activated disc brakes and built-in limit switch units. Each motor must be thermally protected, tubular in shape and totally enclosed within the roller tube. Most motors operate at either 14 RPM or 20 RPM and shall also be UL recognized and CSA certified for safe operation.

Motor Control: 3- position keyed wall switch (open, stop, closed). Switch and plate in white, ivory or black finish. Switch and plate specified under Division 16, "Electrical".

PART III - SUBMITTALS

A. Product Data: submit manufacturer's descriptive literature indicating materials, finishes, construction and installation instructions, and data verifying that product meets requirements specified. Include manufacturer's recommendations for maintenance and cleaning.

B. Shop Drawings: indicate fasteners, installation methods and clearance at head, jamb and sill for each mounting condition. Wiring diagrams of motorized components or units available upon request.

C. Samples: submit minimum 8" wide by 10" long fabric sample including materials and accessories for complete installation and operation. Submit manufacturer's color samples for color selection by an Architect.

PART IV - QUALITY ASSURANCE

A. Responsibility: awning manufacturer shall furnish all electrical control equipment, and accessories for a complete installation and single source responsibility.

B. Supplier: the manufacturer, subsidiary or licensed agent shall be approved to supply the products specified and to honor any claims against the product presented in accordance with the warranty.

C. Installer: shall be qualified to install the specified products by prior experience, demonstrated performance and acceptance of any requirement of Eclipse Awning Systems or any subsidiary or licensed agent. The installer shall be responsible for an acceptable installation.

PART V - DELIVERY, STORAGE AND HANDLING

A. Deliver to project site in manufacturer's original packaging.

B. Handle and Store: to prevent damage to materials, finishes and operating mechanisms.

PART VI – JOB CONDITIONS

- A.** Prior to awning installation, building shall be completed on the exterior
- B.** Square and uniform mounting areas are required for optimal product performance.

PART VII - EXECUTION

Inspection and Preparation:

- A1. Awning Installer:** shall be responsible for inspection of site, approval of mounting surfaces, installation conditions and field measurements prior to shade installation.
- A2. Other Affected Trades:** shall receive relevant submittal drawings and installation instructions.

Installation:

- B1. Install:** Awnings to be level and plumb and in accord with manufacturer's product data and approved by shop drawings.
- B2. Clean:** finished installation and removal of all spots, smears and stains, etc. and eliminate all resulting debris from the site.

Maintenance:

- C1. Fabrics:** Exterior mounted acrylic fabrics require occasional maintenance. Fabric cover can be cleaned while still on an awning frame or, size permitting, they can be removed for cleaning . It can be periodically brushed in place, or cleaned with soapy water or a mild detergent and a soft brush, followed by a thorough rinsing with clean water. Complete cleaning instructions should be followed by the fabric manufacturer.
- C2. Framework:** requires occasional rinsing of the framework with fresh water. Framework can be hand waxed to preserve the frame's finish. Moving components may require occasional lubrication. Avoid spraying lubricants on the fabric.

Warranty:

- D1. Eclipse provides a manufacturer's standard (10) year written warranty** against defects in material and workmanship, beginning at date of substantial completion. Electrical components and motors are warranted for a period of five years only. For more details, see manufacturer's standard warranty.

Technical Services:

- E1.** Eclipse maintains a toll free number, (800) 501.3850 and Web Site (www.eclipseawnings.com), with complete technical data. For awnings and motorized control solutions ask for the engineering department.

PART VIII -STANDARD INSTALLATION INSTRUCTIONS

Tools you will need for an Eclipse® installation:

Allen Wrenches: 4mm, 6mm, 7mm, 12mm

3/16" (motor bracket)

Open/Box Wrenches: 13mm

Tools you will need for a Total Eclipse® installation:

Allen Wrenches: 5mm, 6mm, 8mm

3/16" (motor bracket)

Open/Box Wrenches: 17mm, 22mm

Lag Screw Recommendation:

Attaching the lag screws to the most solid part of the structure available is key for an installation that will stand the test of time. When installing (on any surface) you want no less than 2 ½" of lag into the stud, roof rafter or header board. Any thing less than the 2 ½" will compromise the integrity of the installation. Always remove all material that can compress and allow the bracket to "rock"; install the bracket on a strong level surface.

Mounting Height:

Allowing for the front bar of the unit to be 7' off the ground you should mount the unit according to projection by the following guide. The bottom of the bracket should be your point of reference.

Projection Mounting Height

Projection	Mounting Heights
5-0	8-0
7-4	8-3
9-0	8-9
10-6	9-3
11-6	9-6
13-0	9-6
14-9	10-0
16-6	10-6

Bracket Placement:

Before attaching the brackets to the house, make sure that the unit can be installed where it is supposed to go, based on the location of the brackets. There are certain areas of the awning where either the end bracket or the arm shoulder will impede the square tube from entering the installation brackets. Begin this process by matching the width of the awning to the area of the house designated for installation. Mark with a pencil where the awning will go, then determine the location of the available studs or roof rafters. Once you figure out where you can put brackets on the wall match them up with where you can put them on the awning. Do your best to bookend each shoulder for maximum strength. The best location for the install brackets is no less than 8" and no more than 16" to both sides of the arm shoulder.

Attaching the Brackets to the Wall:

Determine the height of your installation, measure the exact height on both ends of the install site and use a chalk line to ensure level bracket placement.

Take the 6mm bolt out of each bracket.

Mark the holes that need to be drilled by placing the bottom of the installation bracket on the chalk line and marking the openings.

Pre-drill the lag screw holes to prevent splitting the studs. (1/4" drill bit)

Lag the brackets to the wall leveling each bracket before fully tightening the lag bolts.

Put the Unit Up:

With the fabric on top, lift the unit up and place the square (torsion) bar in the brackets.

Make sure the square tube slides all the way to the back of the bracket, insert and tighten the 6mm bolt.

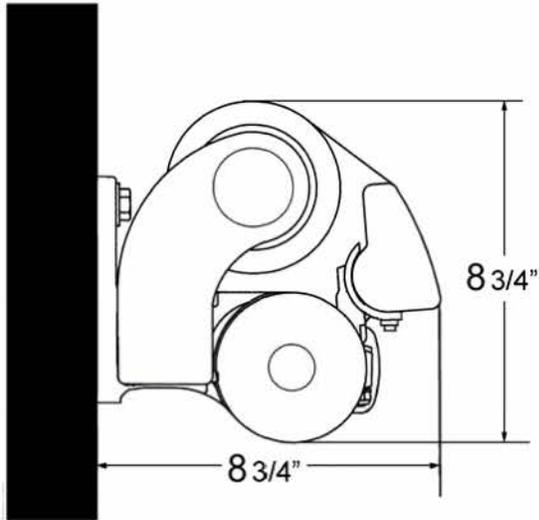
END OF SECTION 10636

PART IX – PRODUCT VIEW DRAWINGS

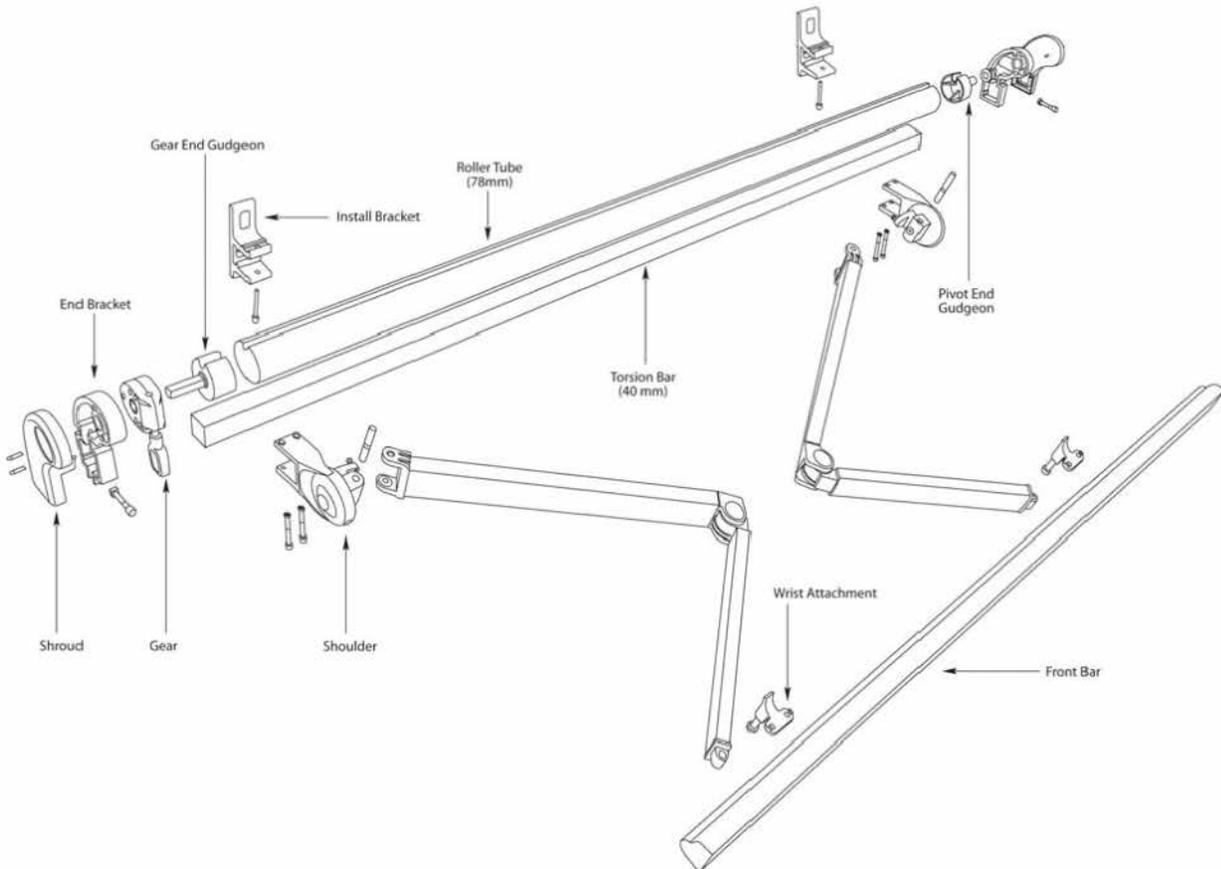
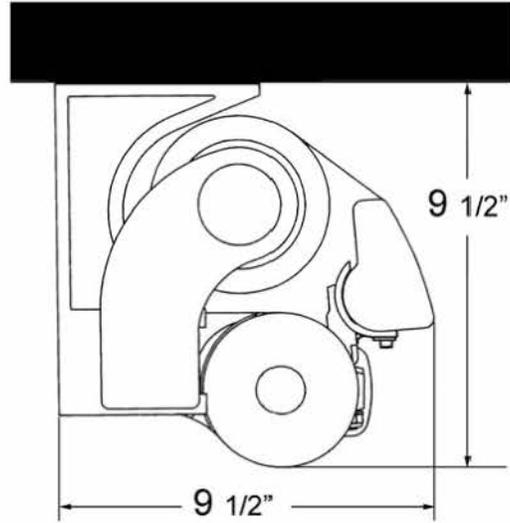
ECLIPSE UNIT SIDE VIEWS

Projections 5'0", 7'4", 9'0", 11'6", 13'0" up to 40' wide

WALL MOUNT

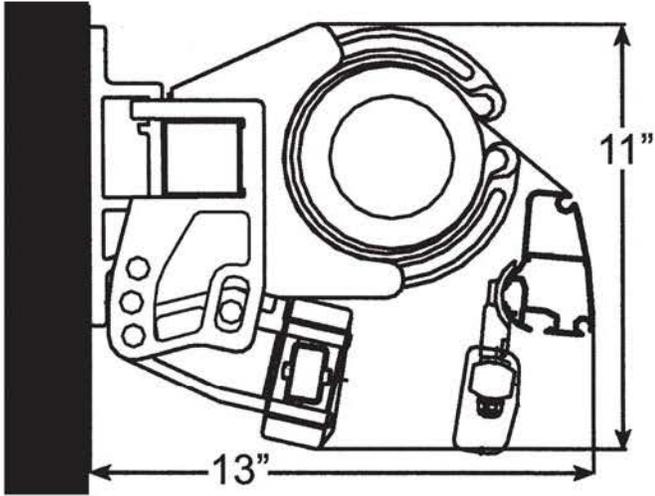


SOFFIT/EAVE MOUNT

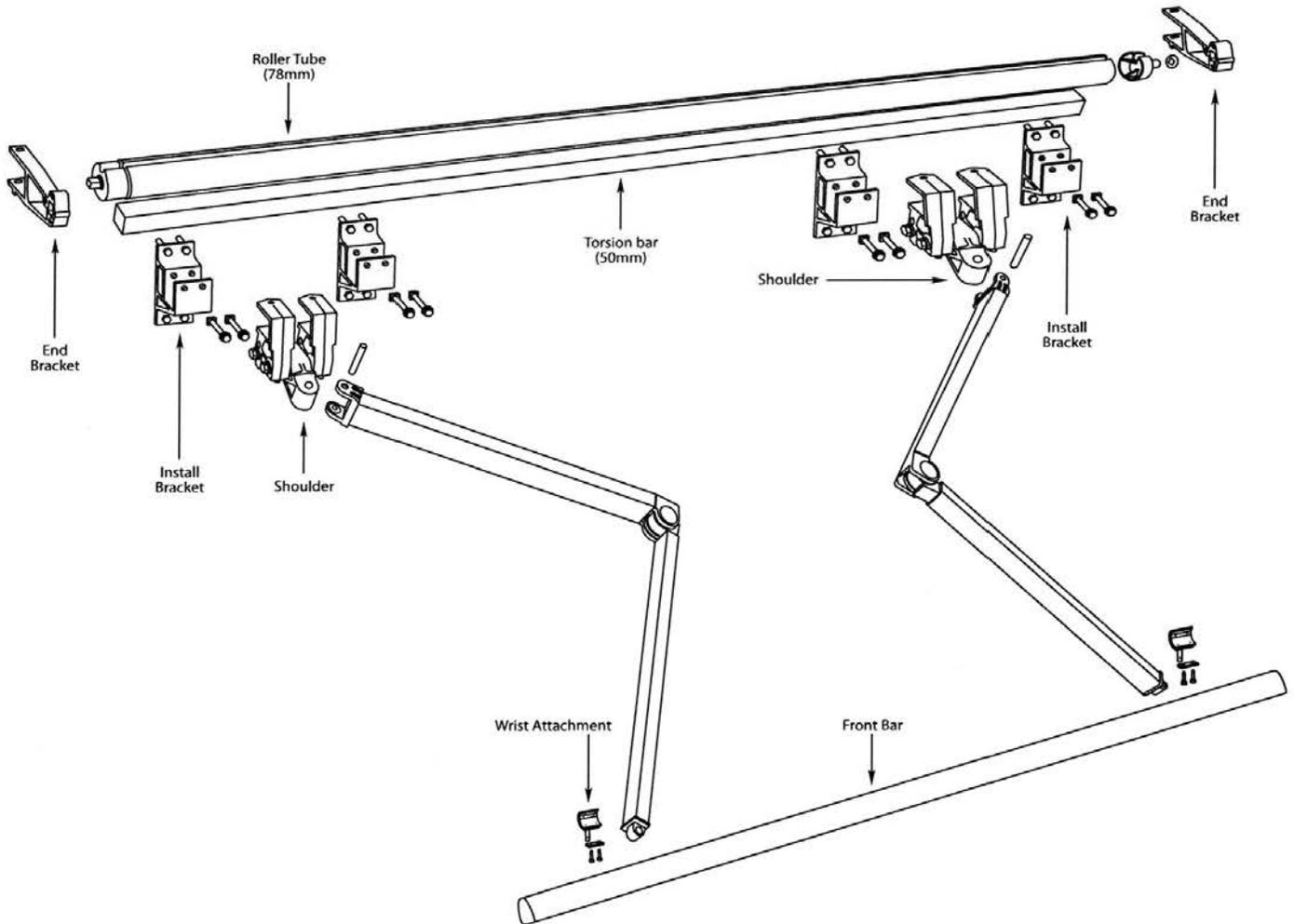
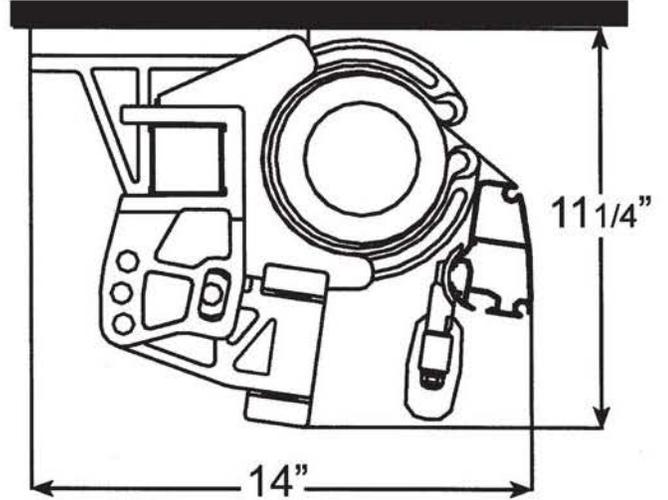


TOTAL ECLIPSE UNIT SIDE VIEWS
13'0", 14'9" & 16'6" projections, up to 40' wide

WALL MOUNT



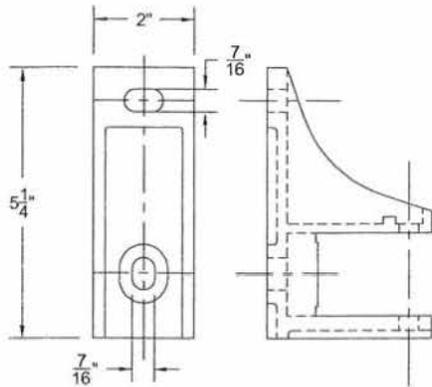
SOFFIT/EAVE MOUNT



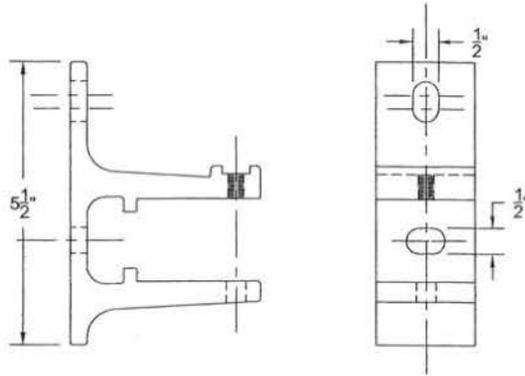


Eclipse Awning Installation Bracket Dimensions

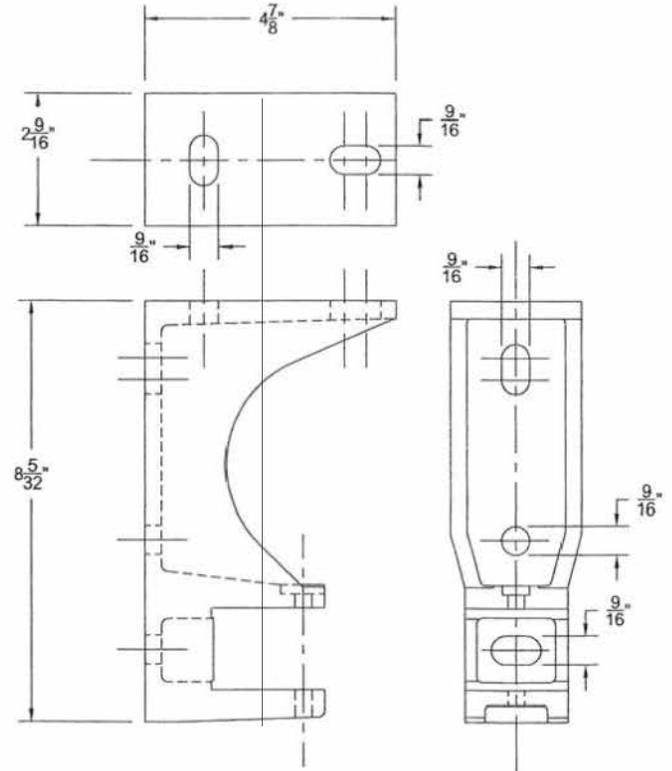
Eclipse
 1760 Route 211 East
 Middletown NY 10941
 800.501.3850



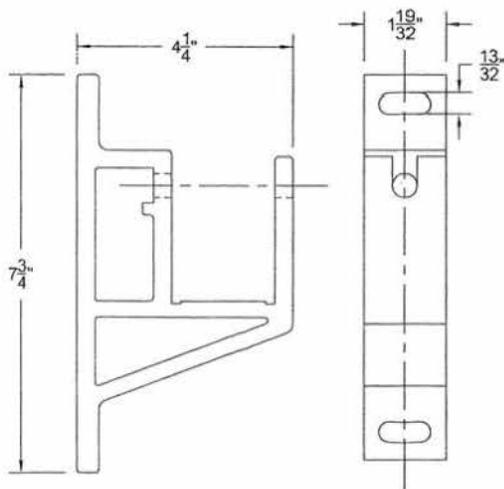
1 "LL" ANCHOR BRACKET
 4 N.T.S.



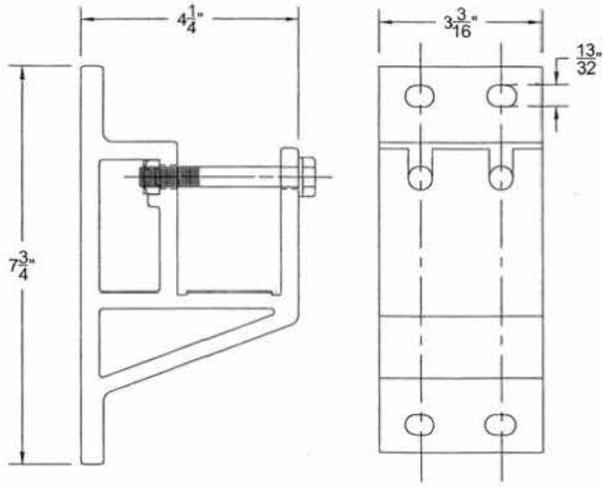
2 "EC" ANCHOR BRACKET
 4 N.T.S.



5 SOFFIT ANCHOR BRACKET
 4 N.T.S.

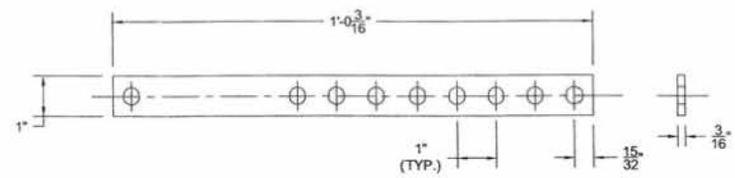
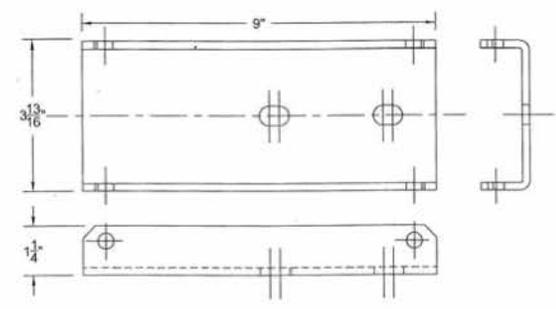
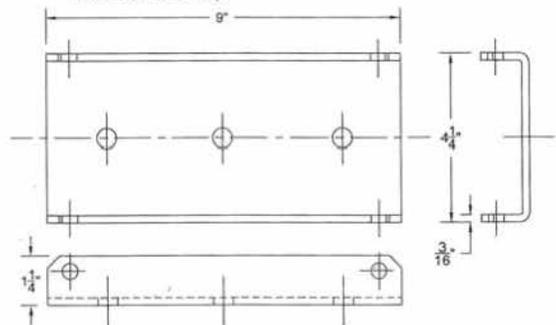
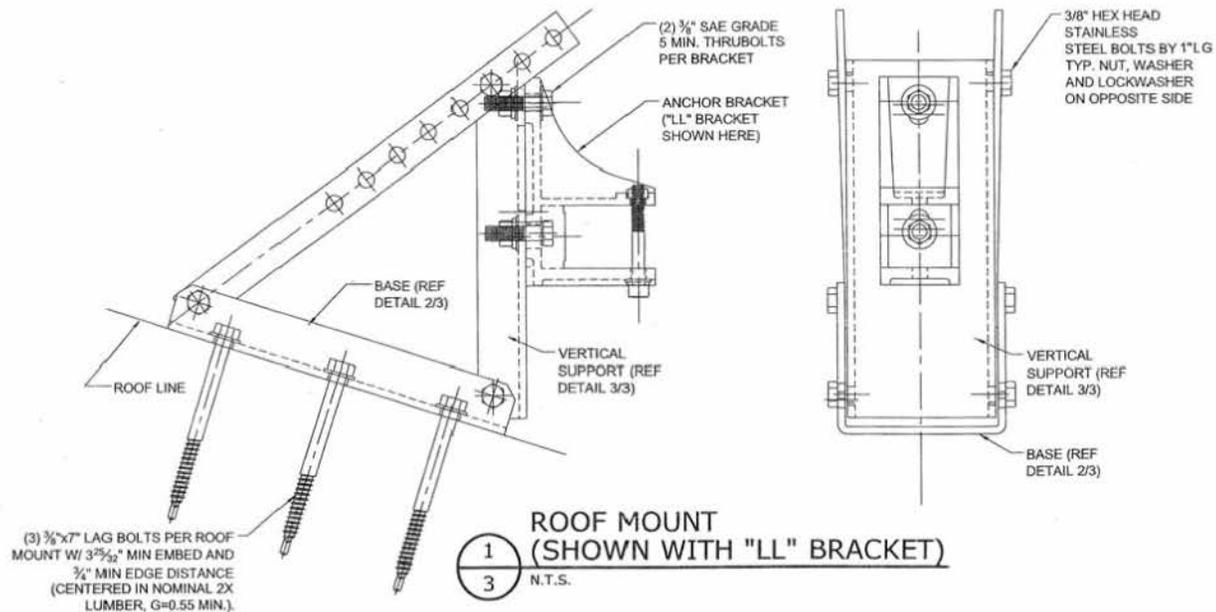


3 "TOTAL ECLIPSE" SINGLE ANCHOR BRACKET
 4 N.T.S.



4 "TOTAL ECLIPSE" DOUBLE ANCHOR BRACKET
 4 N.T.S.

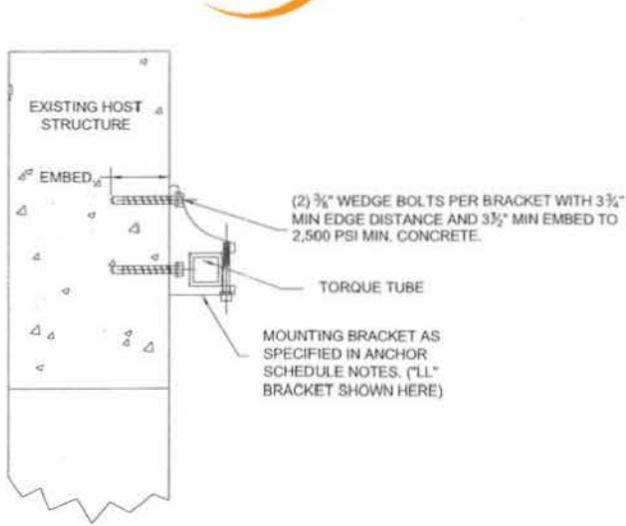
Eclipse Awning Roof Mount Bracket Details - Typical Installations



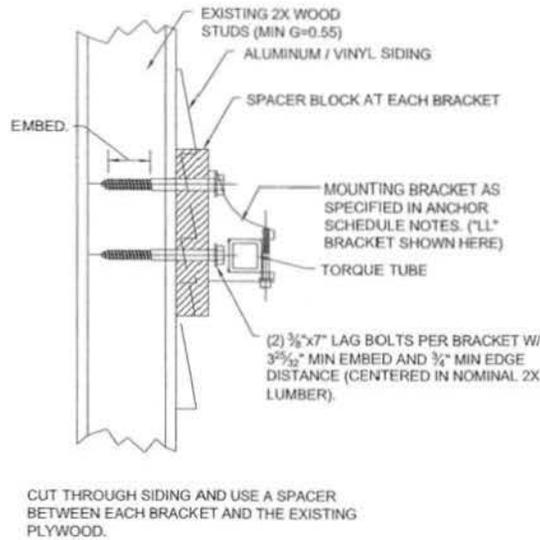


Eclipse Awning Installation Bracket Attachment Options - Typical

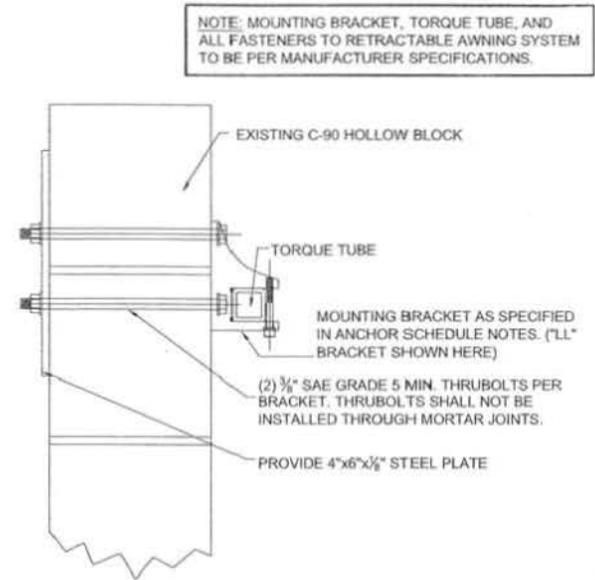
Eclipse
1760 Route 211 East
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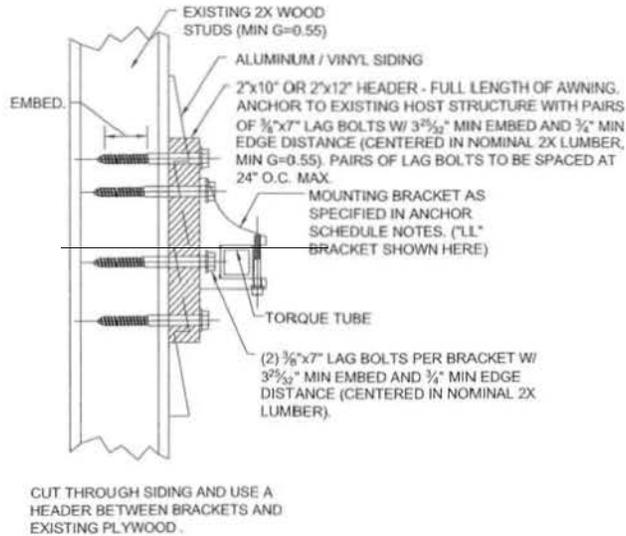
1 MOUNT TO CONCRETE
2 N.T.S. VERT SECTION



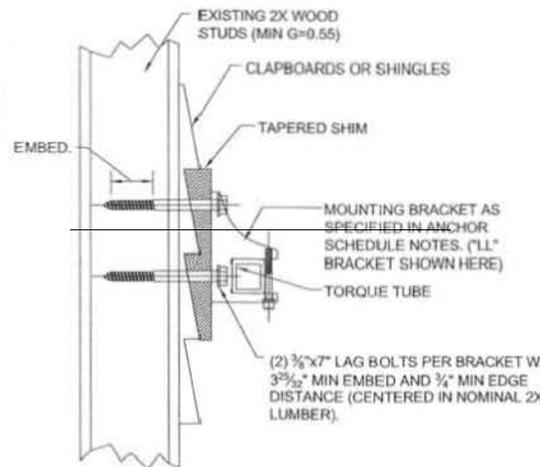
2 MOUNT TO WOOD STUDS THROUGH SIDING
2 N.T.S. VERT SECTION



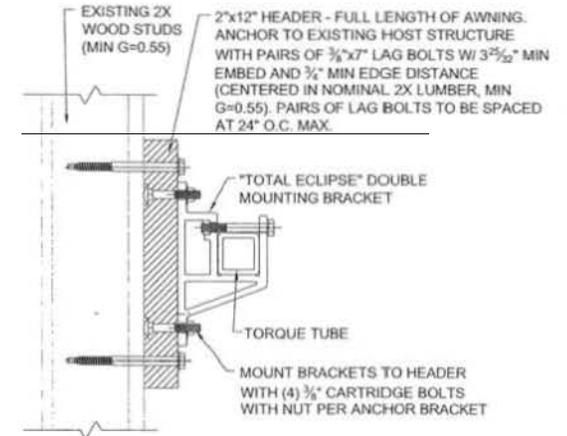
3 MOUNT TO C-90 HOLLOW MASONRY BLOCK
2 N.T.S. VERT SECTION



4 MOUNT TO WOOD STUDS THROUGH HEADER
2 N.T.S. VERT SECTION



5 MOUNT TO WOOD STUDS THROUGH CLAPBOARDS
2 N.T.S. VERT SECTION



6 MOUNT THROUGH HEADER FOR PROJECTIONS 13'-0" AND GREATER
2 N.T.S. VERT SECTION

NOTE: MOUNTING BRACKET, TORQUE TUBE, AND ALL FASTENERS TO RETRACTABLE AWNING SYSTEM TO BE PER MANUFACTURER SPECIFICATIONS.



SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

October 12, 2015

Mr. Frank Soule
Island Rec Center PO Box 22593
Hilton Head Island, SC 29925

RE: Retractable Awning at SC Community Park Pavillion

Dear Frank

The Shelter Cove Company's ARB is in receipt of the proposal to add a retractable awning for the pavilion at Shelter Cove Community Park.

The ARB has reviewed and approved the awning as submitted.

Please notify the SCHC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,



John P. Betts
Manager

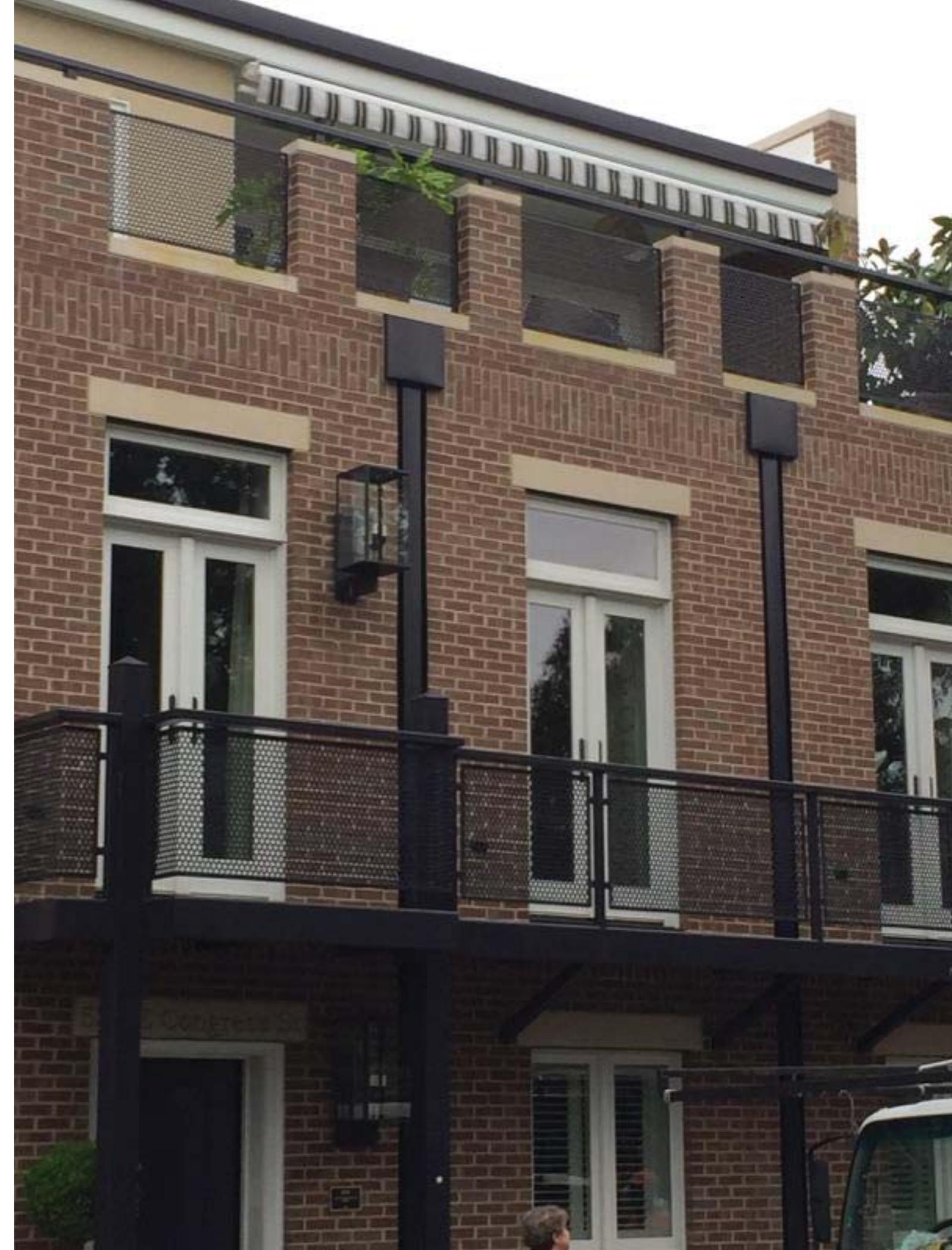
Cc: Mr. Scott Foster, Chairman
SCCARB Committee



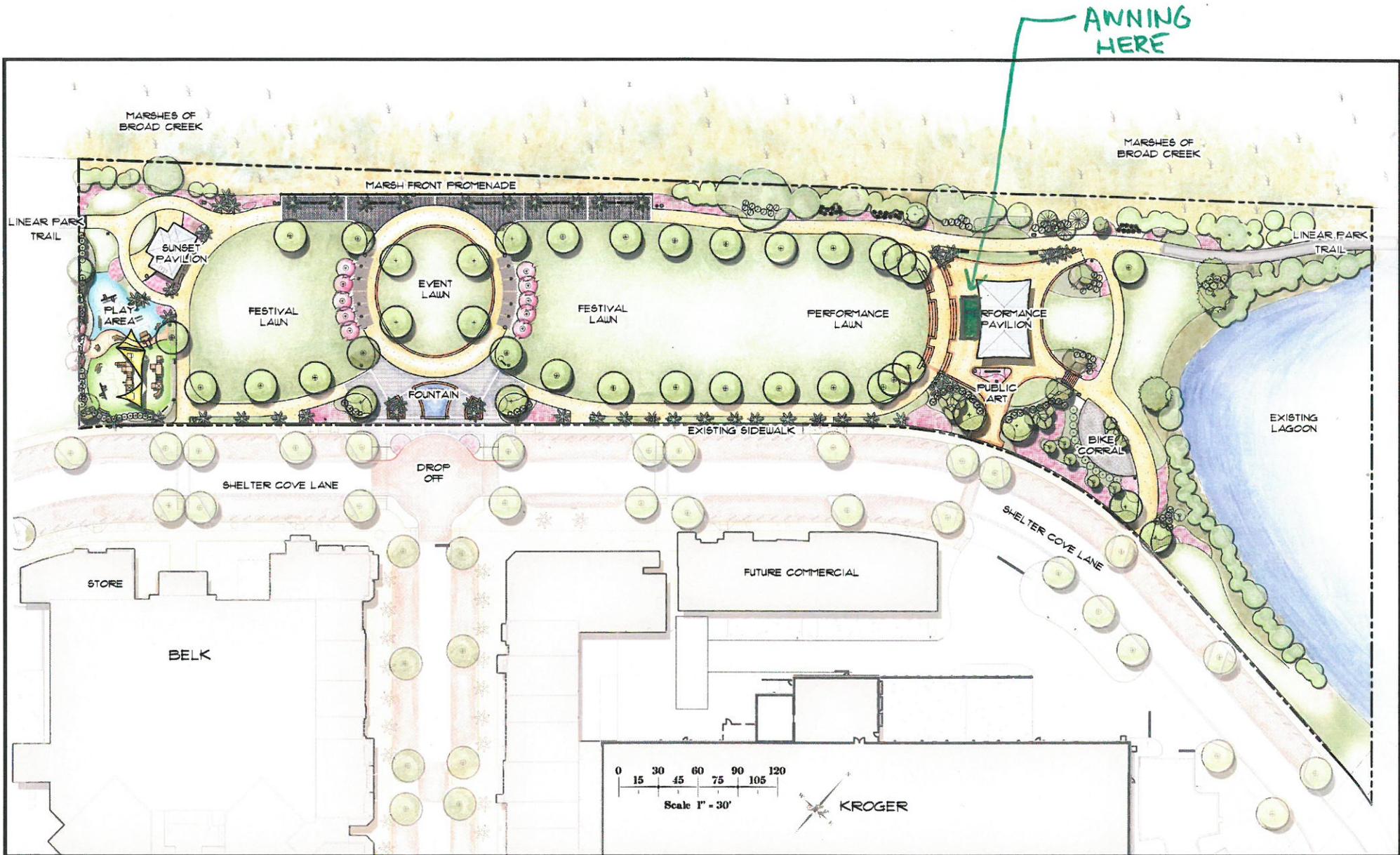












Prepared for:

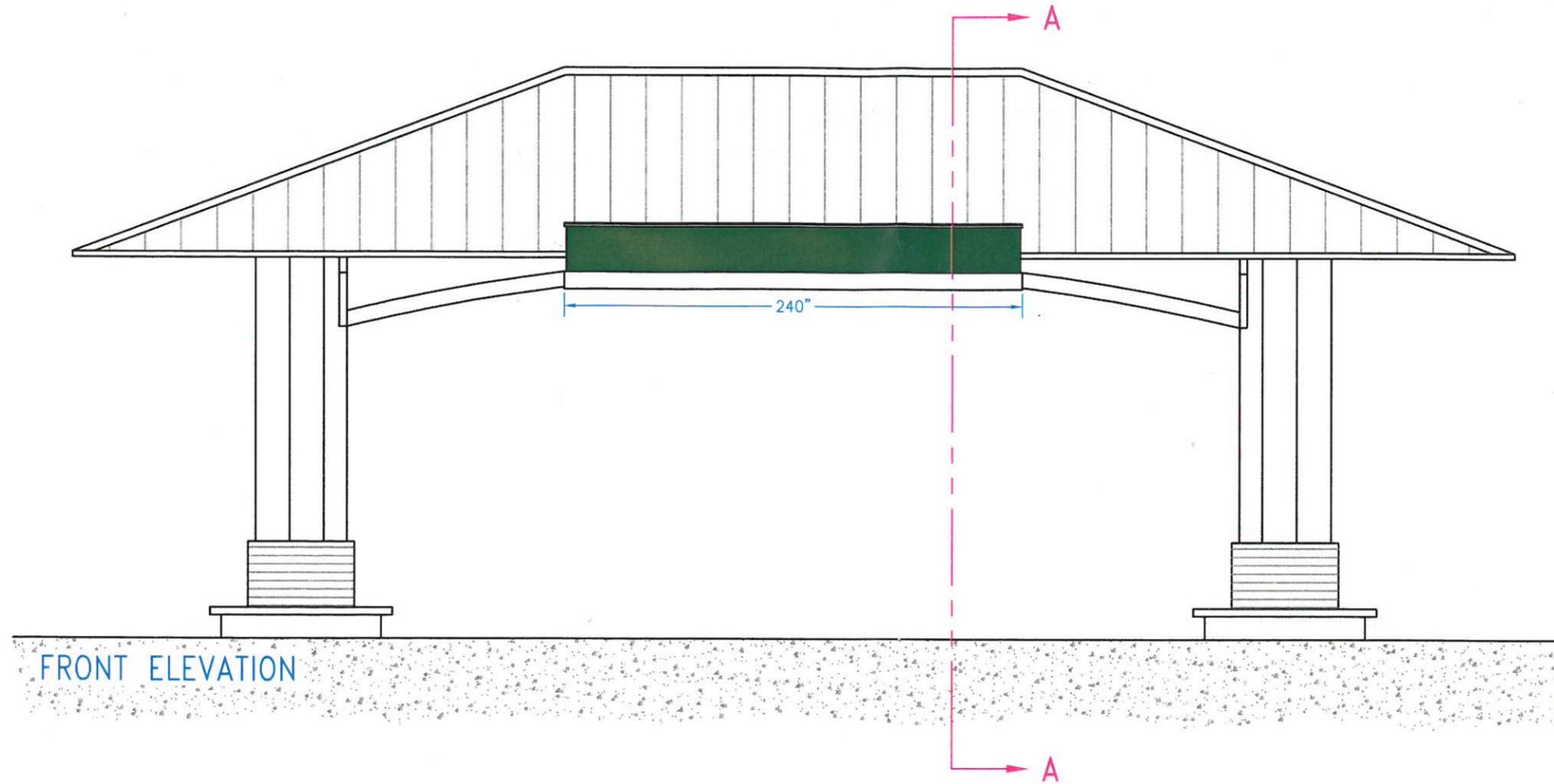


SITE DEVELOPMENT PLAN
FOR
SHELTER COVE COMMUNITY PARK
HILTON HEAD ISLAND, SOUTH CAROLINA

Prepared by:

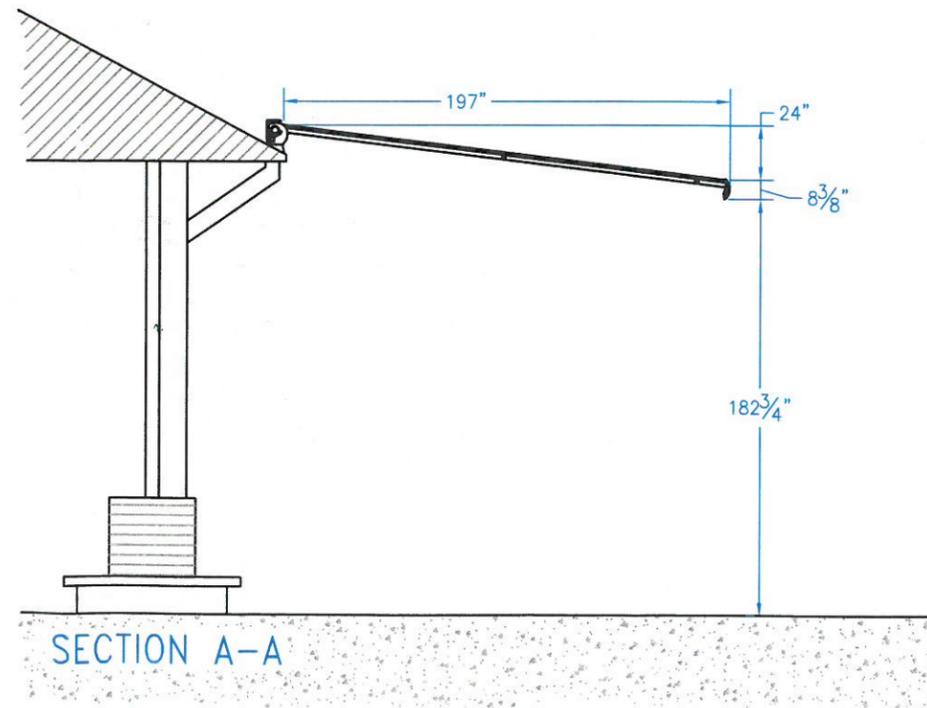


112 Palmetto Way, Suite A • Bluffton, South Carolina 29910 • ph 843.737.7411



FRONT ELEVATION

- GENERAL NOTES:
 A. COVER COLOR: SUNBRELLA FOREST GREEN (4637)
 B. FRAME COLOR: BRONZE
 C. ROOF MOUNT WITH 1/4"x4" SMS



SECTION A-A

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REVIEWED BY

FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW

DRAWN BY: J DEDIC
 DATE: 10-01-15
 JOB NUMBER: 15543

COASTAL CANVAS PRODUCTS
 73 ROSS ROAD PO BOX 22834 SAVANNAH, GEORGIA 31403
 MAIN: 912 236 2416 FAX: 912 232 7884 WWW.COASTALCANVAS.NET

A NEW AWNING FOR ISLAND REC CENTER

32.186881, -80.720927
 HILTON HEAD ISLAND, SC 29928

BEAUFORT OCTOBER 2015

SCALE		
NONE		
REVISION	DATE	REASON

SHEET NO.
PERMIT

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Island Rec Center (Shelter Cove Community Park) –
ALTERATION/ADDITION

DRB#: DRB-001923-2015

DATE: October 27, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Sunbrella fabric in “Forest Green” should be replaced with fabric to match “Aged Copper” roof.
2. Consider way to mount awning to beam under edge of roof.

Applicant proposes add a retractable awning to the performance pavilion at the Shelter Cove Community Park for use during special events. Awning frame is proposed in bronze to match pavilion structural members with a green fabric awning to match the roof.

The Shelter Cove Company ARB has reviewed and approved the submittal.