



Town of Hilton Head Island Regular Design Review Board Meeting

November 10, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. Call to Order

2. Roll Call

3. Freedom of Information Act Compliance

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

4. Approval of Agenda

5. Approval of Minutes – Meeting of October 27, 2015

6. Staff Report

7. Board Business

8. Old Business

A. New Development – Final

- 1) DRB-001268-2015 – Golf Academy

9. Unfinished Business

10. New Business

A. Alteration/Addition

- 1) DRB-001954-2015 – Leamington Beach Club
- 2) DRB-001990-2015 – Hilton Head Beach and Tennis Remodel
- 3) DRB-002009-2015 – Seaside Villas II (Re-roof)

B. New Development – Conceptual

- 1) DRB-002000-2015 – Heritage Plaza Hotel Redevelopment
- 2) DRB-002019-2015 – Shelter Cove Apartments
- 3) DRB-002018-2015 – Premier Roofing

C. Sign

- 1) DRB-002010-2015 – Shipyard Plantation

D. New Development – Final

1) DRB-002016-2015 Home 2 Suites by Hilton

11. Appearance by Citizens

12. Adjournment

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, October 27, 2015 Meeting
1:15p.m. – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker,
Michael Gentemann, Debbie Remke, and Brian Witmer

Board Members Absent: Ron Hoffman and Kyle Theodore

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Richard Spruce, Plans Examiner
Chris Darnell, Landscape Associate
Anne Cyran, Senior Planner
Heather Colin, Development Review Administrator
Kathleen Carlin, Administrative Assistant

- 1. Call to Order**
Chairman Gartner called the meeting to order at 1:15p.m.
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
- 4. Approval of the Agenda**
The Board **approved** the agenda as submitted by general consent.
- 5. Approval of the Minutes**
The Board **approved** the minutes of the October 13, 2015 meeting as submitted by general consent.
- 6. Staff Report**
 - a) Ms. Ray stated that the staff will provide Board training immediately following today’s meeting. The topic is “Board Responsibilities and Etiquette.”
 - b) Ms. Ray stated that the town has hired a new staff member, Mr. Chris Darnell, Landscape Associate. As part of his duties, Mr. Darnell will be in charge of Minor Corridor Reviews as well as inspections of projects approved by the DRB with conditions.
- 7. Board Business**
None
- 8. Unfinished Business**
None

9. New Business

A. Alteration/Addition

1) Graves Warehouse DRB-001757-2015

Ms. Ray introduced the project and stated its location, 17 Dunnagan's Alley. The applicant proposes to renovate the exterior appearance of the existing building by providing a covered walkway and outdoor dining areas. Ms. Ray presented an in-depth overhead review of the application. The Sea Pines Commercial ARB has reviewed and approved the project with a strong suggestion that the exterior be re-painted to match. The staff recommends approval with the following conditions: (1) building be repainted consistently before addition of covered walkway; (2) provide manufacturer's cut sheets for all exterior lighting; (3) more landscaping and more variety should be included in landscape plan; (4) provide details or manufacturer's cut sheets for planters with proposed landscape material be submitted for review and approval. Following the staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Sam McCleskey and Mr. Robert Graves presented statements in support of the application and clarified questions regarding submitted details not used on the project. A future phase will include the addition of Bahama shutters and will modify existing doors and storefront. The building will be 100% sprinkled versus adding a fire wall extension. The paving at the outdoor seating and covered walkway will be saw cut concrete with broom finish and brick dividers. Following the applicant's presentation, Chairman Gartner invited comments from the Board.

The Board stated that this is an exciting project and will be a great improvement to the area. The Board discussed the outside wall mounted light fixtures and stated that manufacturer's cut sheets will be required. The Board stated that the stucco building needs to be painted and the applicant should submit color samples to the staff for review and approval. The Board stated that more variety in native plant material is needed with taller plant material needed in the parking lot. The number of Ligustrum should be reduced and replaced with native plant material. The landscaping between the street and the building should be beefed up.

Following final comments by the Board, Chairman Gartner made a **motion to approve** DRB-001757-2015 with the following conditions: (1) manufacturer's cut sheets for the wall mounted light fixtures are to be reviewed and approved by staff; (2) stucco buildings shall be painted with the paint color to be reviewed and approved by staff; (3) reduce the number of the Ligustrum and replace them with native and naturalized plant material; (4) specs for the landscaping pots shall be submitted to the for review and approval; (5) the project is to be 100% sprinkled. Mr. Gentemann **seconded** the motion and the motion **passed** with a vote of 5-0-0.

2) Outdoor Dining Patio (Wren – SCTC) DRB-001678-2015

Ms. Ray introduced the application and stated its location, 28 Shelter Cove Lane. This project was previously approved by the Board to add an outdoor patio with planter walls. Ms. Ray presented an in-depth overhead review of the revised application. The applicant proposes to revise the previously approved patio to shift away from the front of an adjacent building and add a covering over the patio. The Shelter Cove Company's ARB has reviewed and approved the revisions. The staff recommends approval with the condition that the applicant address the existing light fixture that will be in conflict with the proposed patio covering. Following staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Don Baker, Square Feet Island Architects, presented statements in support of the application. Mr. Baker stated that the site is situated between the front and side entry doors. Mr. Baker stated that the roof is a TPO flat roof and lighting will be can lights. The existing light fixture will be

removed so there will be no conflict with the proposed patio covering.

The Board discussed the application including the elevations, planter pilaster/columns, and existing sidewalk. The Board agreed that the post light should be eliminated. The Board confirmed that the planters are proposed to be lower than the columns and recommended the sidewalk should be moved for better consistency and the columns for the dining area should be symmetrical on the outside wall at the driving lane. The Board also recommended that the applicant consider saw-cutting a piece of the sidewalk for better blending. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Vice Chairman Strecker made a **motion** to **approve** DRB-001678-2015 with the following conditions: (1) the existing Palmetto Electric light fixture be removed or relocated; (2) the stucco pilasters/columns be evenly spaced at the driving lane side; (3) the planter and pilaster/columns heights and materials match the sections in lieu of what is shown on the elevations; (4) the existing sidewalk be widened where it is currently shown to taper at the new patio extension ensuring a consistent appearance matching the existing; (5) any new light fixtures, fans, or heaters be reviewed and approved by staff; (6) the new doors match the existing storefront. Mr. Gentemann **seconded** the motion and the motion **passed** with a vote of 5-0-0.

3) **Wendy's** DRB-001915-2015

Ms. Ray introduced the application and stated its location, 2 Nature's Way. The applicant proposes to renovate the existing restaurant to include installing nichiha wall panels over existing upper brickwork, painting existing metal fascia dark bronze, and painting existing sconces dark bronze. "Black out" screening will be added at two windows facing Pembroke Drive. Proposed revisions are per recommendations from corporate Wendy's while adhering to the town's Design Guides. Ms. Ray presented an in-depth overhead review of the application. The staff recommended approval with the condition that fascia and fixtures be painted to match existing roof color rather than dark bronze as submitted. Following staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Michael Griffiths, Architect, presented comments regarding the dark bronze paint color for the metal fascia. Following the applicant's presentation, Chairman Gartner requested statements from the Board.

The Board discussed the application and agreed that the proposed dark bronze color for the metal trim is too dark. The Board recommended that a different color be selected that matches the roof. Following final comments by the Board, Chairman Gartner requested that a motion be made.

Mr. Gentemann made a **motion** to **approve** DRB-001915-2015 with the following condition: (1) the paint color for the fascia and light fixtures will match the existing roof. Mr. Witmer **seconded** the motion and the motion **passed** with a vote of 5-0-0.

4) **Island Rec Center (Shelter Cove Community Park)** DRB-001923-2015

Ms. Ray introduced the application and stated its location, 39 Shelter Cove Lane. The applicant proposes to add a retractable awning to the Performance Pavilion. Ms. Ray presented an in-depth overhead review of the application. Shelter Cove Company's ARB has reviewed and approved the project. The staff recommends approval with the following conditions: (1) Sunbrella fabric in "Forest Green" should be replaced with fabric to match "Aged Copper" roof; (2) consider way to mount awning to beam under edge of roof. Following the staff's presentation, Chairman Gartner requested that the applicant make his presentation. Mr. Paul Conroy, Coastal Canvas Products, presented statements in support of the application. The applicant provided photos of fabric colors

and mounting materials for the Board's review. Following the applicant's presentation, Chairman Gartner requested statements from the Board.

The Board agreed that the proposed awning color should be changed to match the roof. The Board stated that the wood laminated beam is a very attractive feature of the project and should not be obstructed from view. The Board discussed the potential option of constructing a soffit for a soffit mount option. An under mount will not be as noticeable from a distance. The Board stated their concern with the aesthetics of the project and stated that a portable option may be preferred.

Following final comments by the Board, Chairman Gartner requested that a motion be made. Ms. Remke made a **motion** to **approve** DRB-001923-2015 with the following conditions: (1) the awning should be a retractable awning with the awning color matching the roof. Mr. Gentemann **seconded** the motion and the motion **failed** with a vote of 1-4-0. The Board recommended that the applicant consider a third option. The Board recommended that the mounting be integrated into the existing design so that it does not block or disrupt the laminated beam or exposed rafter tails. The applicant will restudy the project and may return to the Board at a later date.

10) Appearance by Citizens

None

11) Adjournment

The meeting was adjourned at 2:40p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Jake Gartner
Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Mr. Keith Bach Company: JPGA (Junior Players Golf Academy)
 Mailing Address: 154 Beach City Road, Suite B City: HHI State: SC Zip: 29926
 Telephone: 843.686.3355 Fax: 843.842.8220 E-mail: keithbach@pga.com
 Project Name: Golf Academy Project Address: 128 Beach City Rd
 Parcel Number [PIN]: R 5 1 0 0 0 4 0 0 0 0 3 3 6 0 0 0 0
 Zoning District: LC Overlay District(s): DRB
jenniferrar@hiltonheadisland.gov

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2015.09.08

DATE

From: [Christopher Bach](#)
To: [Ray Jennifer](#)
Subject: JPGA DRB Submittal - Part I
Date: Tuesday, October 27, 2015 12:00:01 PM
Attachments: [1_JPGA-LANDSCAPE.pdf](#)

Jennifer,

Please confirm that you have received all of the PDF's that are being sent.

Part I (this email) includes:

01_JPGA-Landscape

Part II includes:

02_JPGA-Site

03_JPGA-FP1 (First Floor Plan)

04_JPGA-RCP (Reflected Ceiling Plan)

05_JPGA-Elev (Building Elevations)

06_JPGA-Sec (Building Sections)

07_JPGA-5.0 (Wall Section)

08_JPGA-5.1 (Wall Section)

09_JPGA-5.1 (Wall Section)

With regard to the Town of HHI DRB Notice of Action (Project #DRB-001268-2015), dated September 22, 2015, we have addressed the "Specific Conditions" as noted:

(1) The 3:12 roof at the corners shall be resolved;

The 3:12 roof configuration and slopes have been resolved and graphically corrected in the Building Elevation Sheet A3.0. This condition appears on the north and south ends or "bumps" of the Fitness & Training Center Building. While the roof slope of 3:12 is maintained on the Courtyard side, the roof slope transitions to a 1.5:12 slope at Grid Lines #3 and #10. This roof slope is consistent with all dormer slopes. See Reflected Ceiling Plan for additional roof/eave/overhang information.

(2) Additional detailing shall be added at the rear façade of the Fitness & Training Center Building, suggest shutters in the closed position;

We studied the addition of "blind" or "blank" windows with closed shutters on the west elevation of the Fitness & Training Center Building, including the location, size and proportion related to the overall composition of this elevation. The biggest restriction are the interior glass mirrors that line the entire length of this wall.

These mirrors are used for fitness and training purposes.

We are showing the addition of four (4) 3'-0" x 3'-0" fixed glass windows in between the dormers as designed and reviewed earlier. These window sills are roughly 8'-0" off the finish floor, allowing the mirrors inside to "slide" underneath the sills. The added glass windows will bring in welcomed natural light into the space, with no "blind" shutters required.

(3) More shade trees shall be incorporated, particularly in the parking area and within the buffers;

Additional trees were incorporated into the Landscape Plan as recommended/required.

(4) Additional landscaping shall be added to the Finch Street side of the dumpster enclosure;

Additional landscaping was added to the Landscape Plan along Finch Street, as recommended/required.

(5) The building light fixtures shall be bronze;

As noted/provided in our June 30th DRB meeting/presentation, all building light fixtures (Georgian Colonial Lantern - Model No. O1013G) will have a "Dark Brass" patina/finish, that is similar to an oil-rubbed bronze finish.

All door and window hardware will also be oil-rubbed bronze, so that all metal finishes will match. See attached sample patina finish as offered by the light manufacturer. For finish only, not the actual light as provided earlier in a cut sheet.

(6) The size of the Viburnum shall be increased to 7-gallon at installation

This has been changed/noted on the "Planting Schedule" as well as the Dumpster area, as suggested.

(7) Suggest Tabby concrete to be used in lieu of broom finish concrete;

We have not changed the Keynotes (#3 and #4) on the Site Plan sheet C1.0 to reflect this suggested finish revision.

(8) Building details shall be brought back to the Board for review and approval.

We included a typical wall section at the Porch/Entrance, that occurs at each building around the Courtyard. See Reflected Ceiling Plan for additional roof/eave/overhang information. Please let us know if additional details are required and I would be happy to provide them.

Additionally, please note that on the sheet A3.0 Building Elevations, we needed to add mechanical intake/exhaust louvers at the gabled end of the buildings. We anticipated that these would be needed and did not want any vents/pipes daylighting through the roof. As shown and noted, these intake/exhaust wood slat louvers will be seamlessly integrated into the overall architectural composition of each gabled end, and will be painted to match the siding color.

Thank you for your time and consideration.

Best regards,
Chris

Christopher J. Bach

Peninsula Architects

6745 St. James Circle

Hudson, OH 44236

330.653.9612 (T)

330.687.1604 (C)

chrisbach@windstream.net

Plant Schedule				
Botanical Name	Common Name	Quantity	Size	Installed Size
Sabal Palm	Palmetto	9	14' -16' ct	
Acer rubrum	Red Maple	11	45 gal	10-12"x 3-4'
Quercus virginiana	Live Oak	15	45 gal	10-12"x 3-4'
Myrcis cerifera	Waxmyrtle	27	7 gal	36-42"x 24-30"
Illicium floridanum	Yellow Anise	9	7 gal	36-42"x 24-30"
Viburnum odoratissimum	Sweet Viburnum	3	7 gal	30-36"x 18-24"
Ilex vomitoria	Yaupon Holly	11	7 gal	36-42"x 24-30"
Ligustrum japonica	Waxleaf Ligustrum	8	7 gal	30-36"x 18-24"
Ilex cornuta 'Carissa'	Carissa Holly	22	7 gal	18-20" x15-18"
Loropetalum chinense 'Ruby'	Ruby Loropetalum	9	7 gal	24-30" x 18-24"
Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	18	3 gal	18-24" x12-15"
Azalea encore	Encore Azalea 'Twist'	18	3 gal	18-24" x 18-24"
Viburnum obovatum	Ms. Schillers Viburnum	30	3 gal	18-24" x12-15"
Ligustrum japonica	Waxleaf Ligustrum	29	3 gal	24-30" x 18-24"
Viburnum odoratissimum	Sweet Viburnum	45	3 gal	18-24" x 18-24"
Juniperus chinensis 'parsonii'	Parson's Juniper	30	3 gal	12-15" x15-18"
Ophiopogon japonicus	Mondo Grass	25	1 gal	6-8" x 6-8"

REFERENCE PLANT

BEACH CITY ROAD 66' R/W



SITE DATA: JPGA TRAINING FACILITY	
TOTAL SITE ACREAGE	1.18 AC.
TOTAL DISTURBED AREA	0.66 AC.
ZONING	LC
TMS#	510-0004-0336
EX. PERVIOUS AREA	\$1,400 SF 1.18 AC.
PROPOSED LOT COVERAGE	28,880 SF 0.66 AC.
PERCENT LOT COVERAGE	55.9%
PROP. IMPERVIOUS AREA	28,880 SF 0.66 AC
PERCENT IMPERVIOUS	58.0%
PROP. PERVIOUS PAVERS	
TOTAL BUILDING SQUARE FOOTAGE	10,970 S.F.
MAXIMUM ALLOWABLE DENSITY	27,000 S.F.
PROPOSED DENSITY	10,970 S.F.
PARKING	
MINIMUM PARKING REQUIRED	18 SPACES
PARKING PROVIDED	18 SPACES
BICYCLE PARKING REQUIRED	11 SPACES
BICYCLE PARKING PROVIDED	12 SPACES
BUILDING SETBACKS	
ALONG MINOR ARTERIAL(BEACH CITY)	50 FEET
ALONG OTHER STREETS (FINCH)	20 FEET
SIDE YARD	20 FEET
BUILDING HEIGHT -	
MAXIMUM BUILDING HEIGHT ALLOWED	45 FEET
BUILDING HEIGHT PROPOSED	26.5 FEET

LOT 13
R510 004 000 0348 0000
HERTZ REALTY CORPORATION
225 BRAE BLVD
PARK RIDGE, NJ 07656

GENERAL GRADING NOTES:

REFER TO SECTION 02110, 02210 & 02222 OF THE SPECIFICATIONS

COMPACTION & TESTING REQUIREMENTS:

STRIPPING:

UPON COMPLETION OF STRIPPING OPERATIONS, PROOFROLL THE EXPOSED SUBGRADE WITH A LOADED DUMPTRUCK WITH A MINIMUM LOADED WEIGHT OF 20 TONS.

FILLING:

PLACE FILL MATERIAL IN LOOSE 8" LAYERS AND COMPACT TO 95% STANDARD PROCTOR (100% FOR BUILDING PAD AREAS) WITH THE UPPERMOST 12" OF MATERIAL COMPACTED TO 100% STANDARD PROCTOR.

COMPACTION TESTING:

- BUILDING PAD AREAS:** ONE DENSITY TEST PER 5,000 SQUARE FEET OF FILL PLACEMENT, PER ONE FOOT OF FILL MATERIAL.
- PARKING AREAS:** ONE DENSITY TEST PER 10,000 SQUARE FEET OF FILL PLACEMENT, PER ONE FOOT OF FILL MATERIAL.

BORROW AREA:

THE BORROW MATERIAL SHALL BE CHECKED FOR SUITABILITY FOR COMPACTION AND APPROVED BY THE SOILS TESTING LABORATORY. ALL BORROW MATERIAL SHALL BE AT THE CONTRACTOR'S EXPENSE.

SUBGRADE FOR STONE BASE:

THE SUBGRADE SHALL BE PROOFROLLED IN THE PRESENCE OF THE ENGINEER USING A LOADED DUMPTRUCK WITH A MINIMUM LOADED WEIGHT OF 25 TONS.

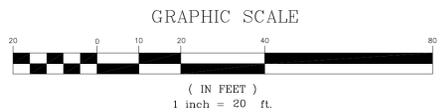
STONE BASE:

STONE BASE SHALL BE COMPACTED TO A DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T180. THE THICKNESS OF THE BASE SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS 0.1" OF THE BASE THICKNESS SPECIFIED ON THE PLAN

Landscape Plan



SITE GRADING DRAINAGE & EROSION CONTROL PLAN



THE PRESENCE, SIZE, AND LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON INFORMATION OBTAINED FROM PREVIOUS CONSTRUCTION PLANS AND VISIBLE ABOVE GROUND STRUCTURES. THE ACTUAL LOCATION, SIZE, AND TYPE OF MATERIAL MAY VARY UPON EXCAVATION. THERE MAY BE OTHER EXISTING UTILITIES ON THIS SITE NOT SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION. THE CONTRACTOR IS ADVISED TO CONTACT THE LOCAL UNDERGROUND UTILITY LOCATION SERVICE PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION.



STAMP: RELEASE FOR CONSTRUCTION DATE: RELEASE FOR PERMIT DATE: Other

TATE DESIGN GROUP
SITE DESIGN ENGINEERS
1821 Curtis Drive, North Augusta SC 29841
803.226.7979 Fax 803.310.6044
tatedesigngroup@gmail.com

NO. DATE REVISION
9-8-15

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NO.	DATE	REVISION
9-8-15		

JPGA GOLF FITNESS & TRAINING FACILITY
124 BEACH CITY ROAD
HILTON HEAD ISLAND, SC
PREPARED FOR:
JUNIOR PLAYERS GOLF ACADEMY

PROJECT NO: 15008.00.HH
DRAWN BY: MST
CHECKED BY: MST

GRADING PLAN

SHEET NO. **3**
OF 15

NOT FOR CONSTRUCTION

JPGA TRAINING FACILITY



REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

NOTES:

- A. CEILING HEIGHTS ARE REFERENCED FROM THE FLOOR BELOW, UNLESS NOTED OTHERWISE.
- B. LOCATION AND ARRANGEMENT OF ELEMENTS SHOWN IN CEILING ARE GOVERNED BY THIS PLAN. ALL DIMENSIONS ARE TO CENTERLINE OF ELEMENT UNLESS NOTED OTHERWISE.
- C. ALL CEILING FINISHES ARE INDICATED ON THIS PLAN.
- D. SEE FLOOR PLANS, INTERIOR ELEVATIONS AND ELECTRICAL FOR WALL LIGHT FIXTURES AND OTHER FIRE ALARM SYSTEM AND AND ELECTRICAL DEVICE LOCATIONS NOT SHOWN ON RCP.
- E. EXACT LOCATION OF ALL LIGHT FIXTURES, MECHANICAL DIFFUSERS, ACCESS PANELS, FIRE ALARM DEVICES AND OTHER DEVICES IN ALL CEILINGS SHALL BE VERIFIED AND COORDINATED WITH PENINSULA ARCHITECTS PRIOR TO INSTALLATION.
- F. REFER TO MECHANICAL DRAWINGS FOR DUCT LOCATIONS.
- G. CONTROL POINT FOR 2'X2' GRID CEILING SHALL BE VERIFIED AND COORDINATED WITH PENINSULA ARCHITECTS PRIOR TO CONSTRUCTION.
- H. REPLACE/PATCH GYPSUM BOARD AND/OR PLASTER CEILING AS REQUIRED. SEE DEMOLITION DRAWINGS AND COORDINATE WITH MECHANICAL AND ELECTRICAL WORK FOR EXTENT OF REMOVED CEILING REQUIRING REPLACEMENT.

KEYNOTES:

- 1 GYPSUM BOARD CEILING, PAINTED. SEE NOTE 'H'.
- 2 GYPSUM BOARD SOFFIT, PAINTED.
- 3 NEW 2'X2' LAY-IN ACT CEILING.
- 4 EXPOSED STRUCTURE, PAINTED.
- 5 EXPOSED WOOD RAFTERS AND DECKING, ALL PORCHES, EAVES, OVERHANGS. PAINTED.
- 6 LIGHT FIXTURE. SEE LEGEND.
- 7 CEILING FAN.
- 8 RECESSED CEILING PROJECTOR SCREEN. COORDINATE POWER/CABLES WITH ELECTRICAL WORK.
- 9 NEW CEILING-MOUNTED PROJECTOR. COORDINATE POWER/CABLES WITH ELECTRICAL WORK.
- 10 EXPOSED METAL SPIRAL DUCTWORK, PAINTED. SEE MECHANICAL DRAWINGS.

LEGEND:

- ⊕ INDICATES CEILING HEIGHT ABOVE FINISHED FLOOR (A.F.F.)
- RECESSED MOUNTED DOWNLIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- RECESSED DISPLAY CASE LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- RECESSED MOUNTED WALL-WASHER LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- ⊠ TOILET EXHAUST. SEE MECHANICAL DRAWINGS.
- ▬ LINEAR AIR DIFFUSER. SEE MECHANICAL DWGS.
- ⊗ SUPPLY AIR DIFFUSER. SEE MECHANICAL DWGS.
- ⊞ RETURN AIR DIFFUSER. SEE MECHANICAL DWGS.
- 2'X2' CEILING TILE/PANEL
- ▨ GYPSUM BOARD CEILING, PAINTED.

PENINSULA ARCHITECTS
P.O. Box 235 | 1775 Main Street | Peninsula, Ohio 44264
V 330.657.2800 | F 330.657.2419
www.pa-architects.com

JPGA GOLF FITNESS & TRAINING CENTER
124 Beach City Road
Hilton Head Island, SC 29926
LOT #1 Beach City Commercial Center

Date	
10/27/15	DRB SUBMITTAL
Scale	As Noted

A2.0
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KEYNOTES: ①

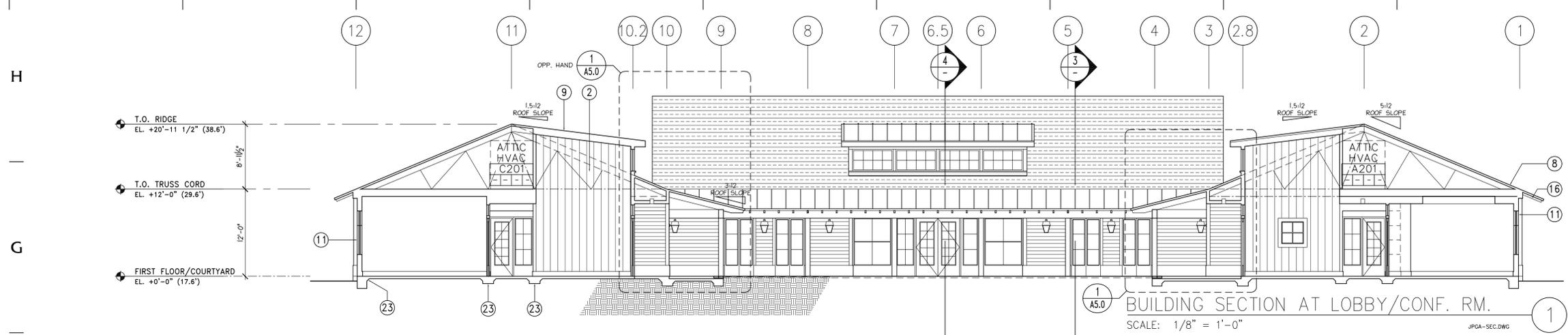
1. HARDIE LAP SIDING W/ 6" EXPOSURE, SMOOTH, PAINTED
2. HARDIE-BOARD AND BATTEN, SMOOTH, PAINTED
3. HARDIE-PLANK BOARD, SMOOTH, PAINTED
4. HARDIE-TRIM (4"), SMOOTH
5. HARDIE-TRIM (6"), SMOOTH
6. METAL FLASHING/DRIP EDGE
7. METAL STANDING SEAM ROOF
8. ASPHALT SHINGLE ROOF
9. SHED DORMER
10. CLERESTORY WINDOW, KOLBE ULTRA SERIES
11. FIXED WINDOW, KOLBE ULTRA SERIES
12. TRANSOM WINDOW, KOLBE ULTRA SERIES
13. DOOR/SIDE-LITE, KOLBE ULTRA SERIES
14. DOOR CANOPY WITH WOOD TIMBER BRACKETS, PAINTED
15. EXPOSED WOOD TIMBER BEAM, PAINTED
16. EXPOSED WOOD ROOF RAFTERS
17. WOOD paneled door and frame with CONCEALED PIVOT HINGES, PAINTED
18. EXTERIOR WALL-MOUNTED LANTERN LIGHT. SEE SPECIFICATION/CUT-SHEET
19. DUMPSTER ENCLOSURE/SCREEN WALL. HARDIE LAP SIDING AND TRIM BORARDS TO MATCH BUILDING DETAILS AND COLOR
20. OPEN BREEZE-WAY BEYOND
21. HARDIE-TRIM CLAD PORCH POST/COLUMN, PAINTED
22. EDGE OF BRICK PAVERS
23. CONTINUOUS CONCRETE FOOTER/SLAB. SEE STRUCTURAL DRAWINGS
24. INTAKE/EXHAUST WOOD SLAT LOUVERS. SEE MECHANICAL DRAWINGS

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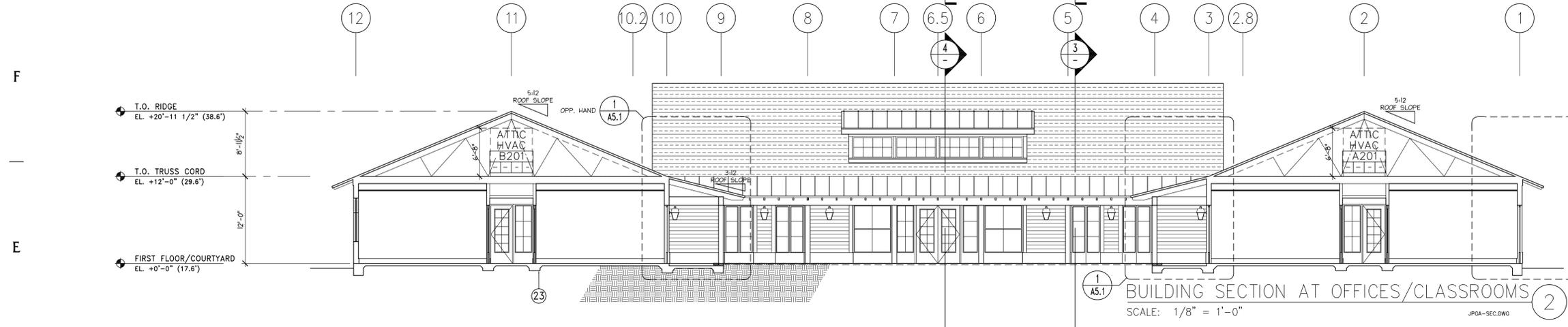
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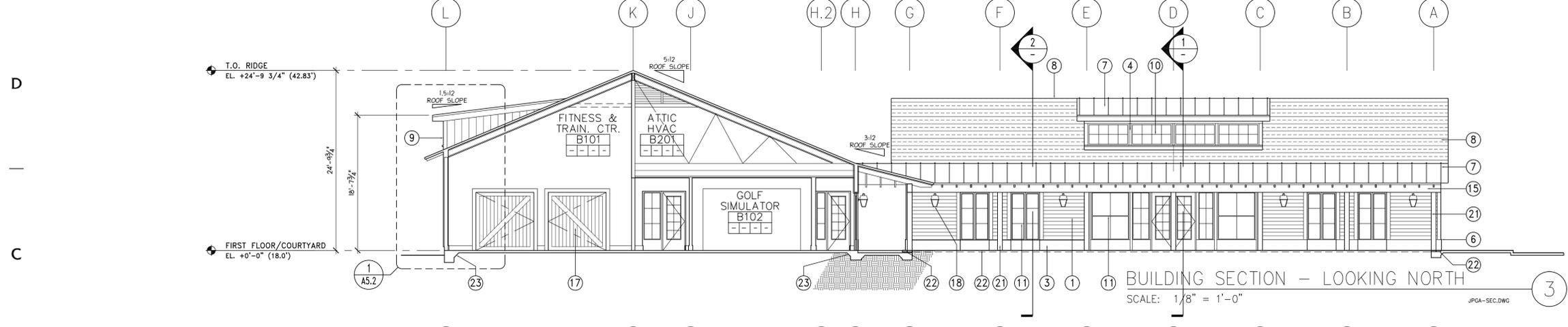
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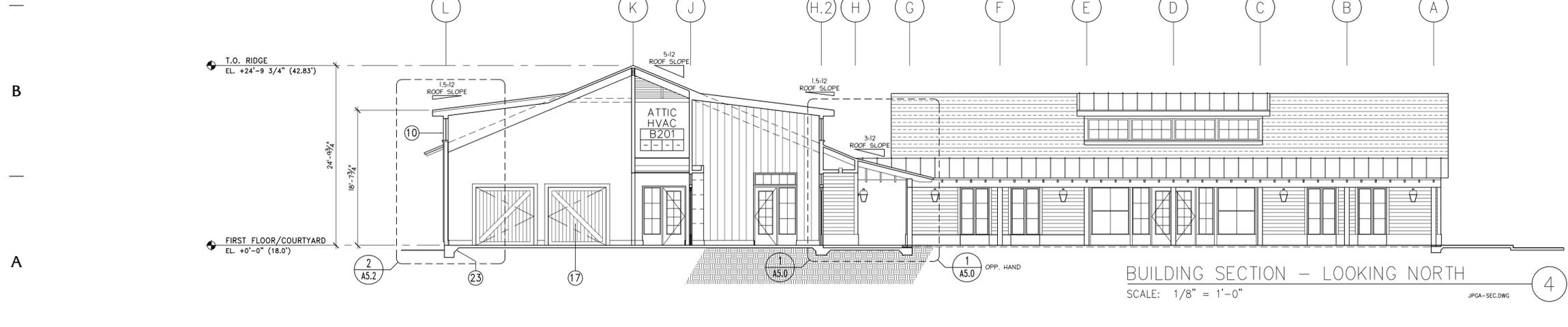
BUILDING SECTION AT LOBBY/CONF. RM.
SCALE: 1/8" = 1'-0"
JPGA-SEC.DWG



BUILDING SECTION AT OFFICES/CLASSROOMS
SCALE: 1/8" = 1'-0"
JPGA-SEC.DWG



BUILDING SECTION - LOOKING NORTH
SCALE: 1/8" = 1'-0"
JPGA-SEC.DWG



BUILDING SECTION - LOOKING NORTH
SCALE: 1/8" = 1'-0"
JPGA-SEC.DWG

KEY NOTES: ①

1. HARDIE LAP SIDING W/ 6" EXPOSURE, SMOOTH, PAINTED
2. HARDIE-BOARD AND BATTEN, SMOOTH, PAINTED
3. HARDIE-PLANK BOARD, SMOOTH, PAINTED
4. HARDIE-TRIM (4"), SMOOTH
5. HARDIE-TRIM (6"), SMOOTH
6. METAL FLASHING/DRIP EDGE
7. METAL STANDING SEAM ROOF
8. ASPHALT SHINGLE ROOF
9. SHED DORMER
10. CLERESTORY WINDOW, KOLBE ULTRA SERIES
11. FIXED WINDOW, KOLBE ULTRA SERIES
12. TRANSOM WINDOW, KOLBE ULTRA SERIES
13. GLASS DOOR AND METAL FRAME
14. DOOR CANOPY WITH WOOD TIMBER BRACKETS, PAINTED
15. EXPOSED WOOD TIMBER BEAM, PAINTED
16. EXPOSED WOOD ROOF RAFTERS
17. WOOD paneled door and frame with CONCEALED PIVOT HINGES, PAINTED
18. EXTERIOR WALL-MOUNTED LANTERN LIGHTS, SEE SPECIFICATION/CUT-SHEET
19. DUMPSTER ENCLOSURE/SCREEN WALL, HARDIE LAP SIDING AND TRIM BORARDS TO MATCH BUILDING DETAILS
20. OPEN BREEZE-WAY BEYOND
21. WOOD TIMBER PORCH POST/COLUMN, PAINTED
22. EDGE OF BRICK PAVERS
23. CONTINUOUS CONCRETE FOOTER/SLAB. SEE STRUCTURAL DRAWINGS

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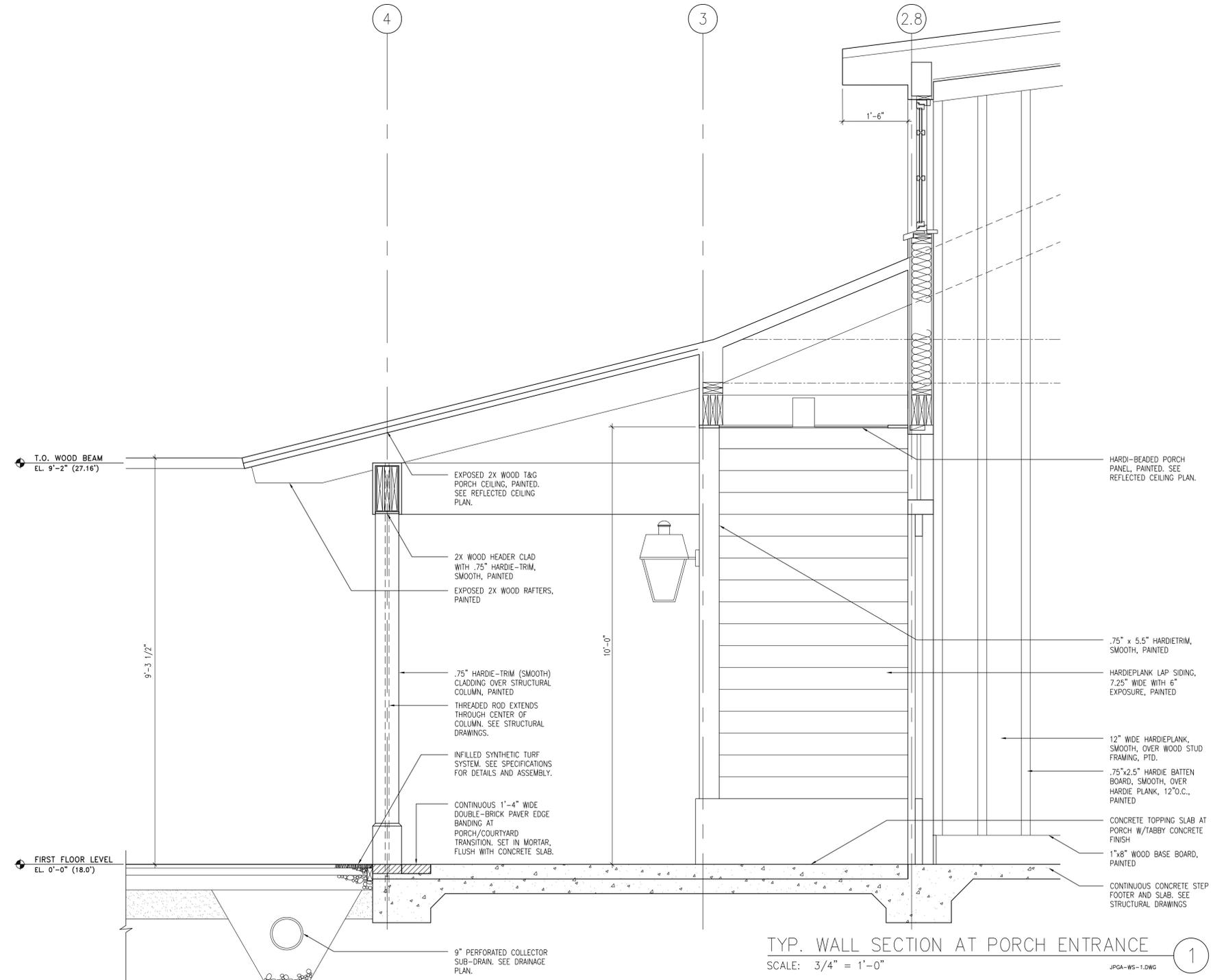
6

7

8

9

10



TYP. WALL SECTION AT PORCH ENTRANCE
 SCALE: 3/4" = 1'-0"

1

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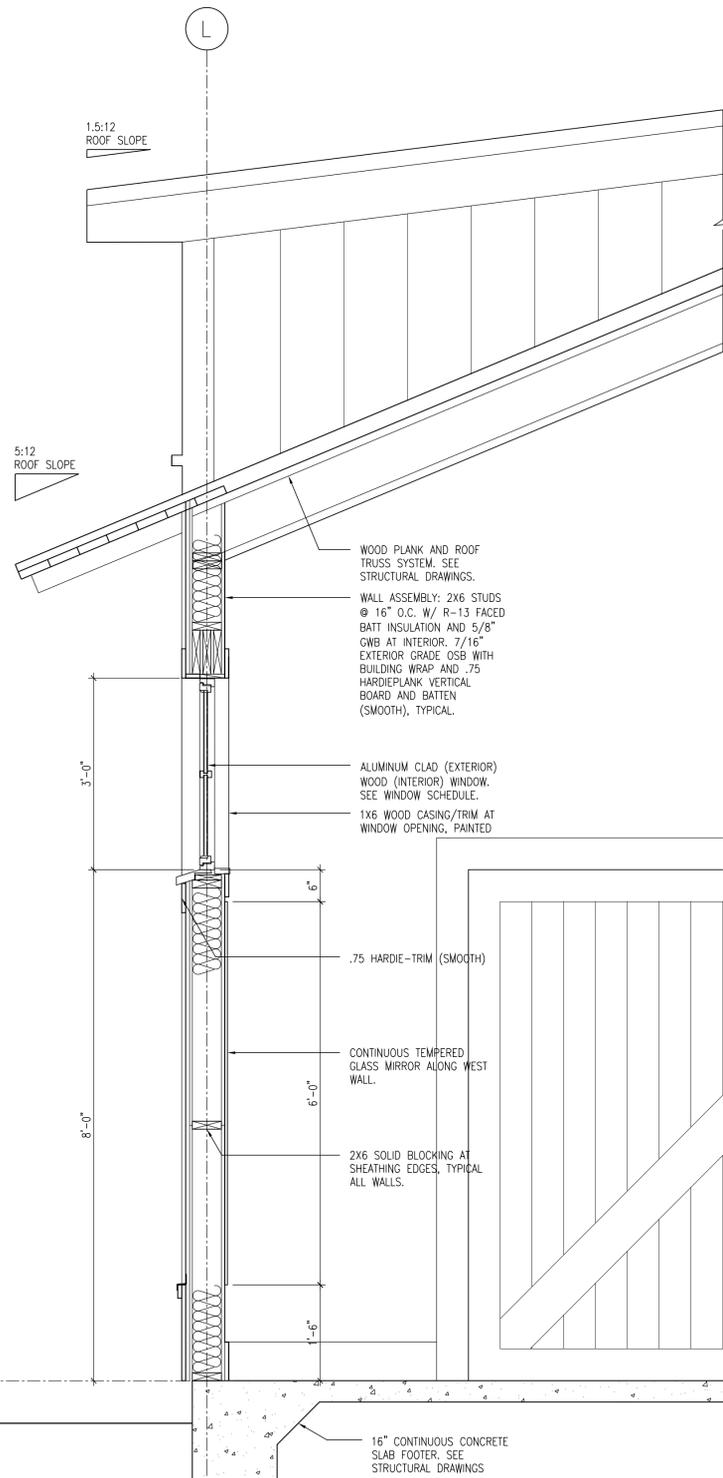
JPGA GOLF FITNESS & TRAINING CENTER

124 Beach City Road
 Hilton Head Island, SC 29926
 LOT #1 Beach City Commercial Center

Date	
10/27/15	DRB SUBMITTAL
Scale	As Noted

A5.0

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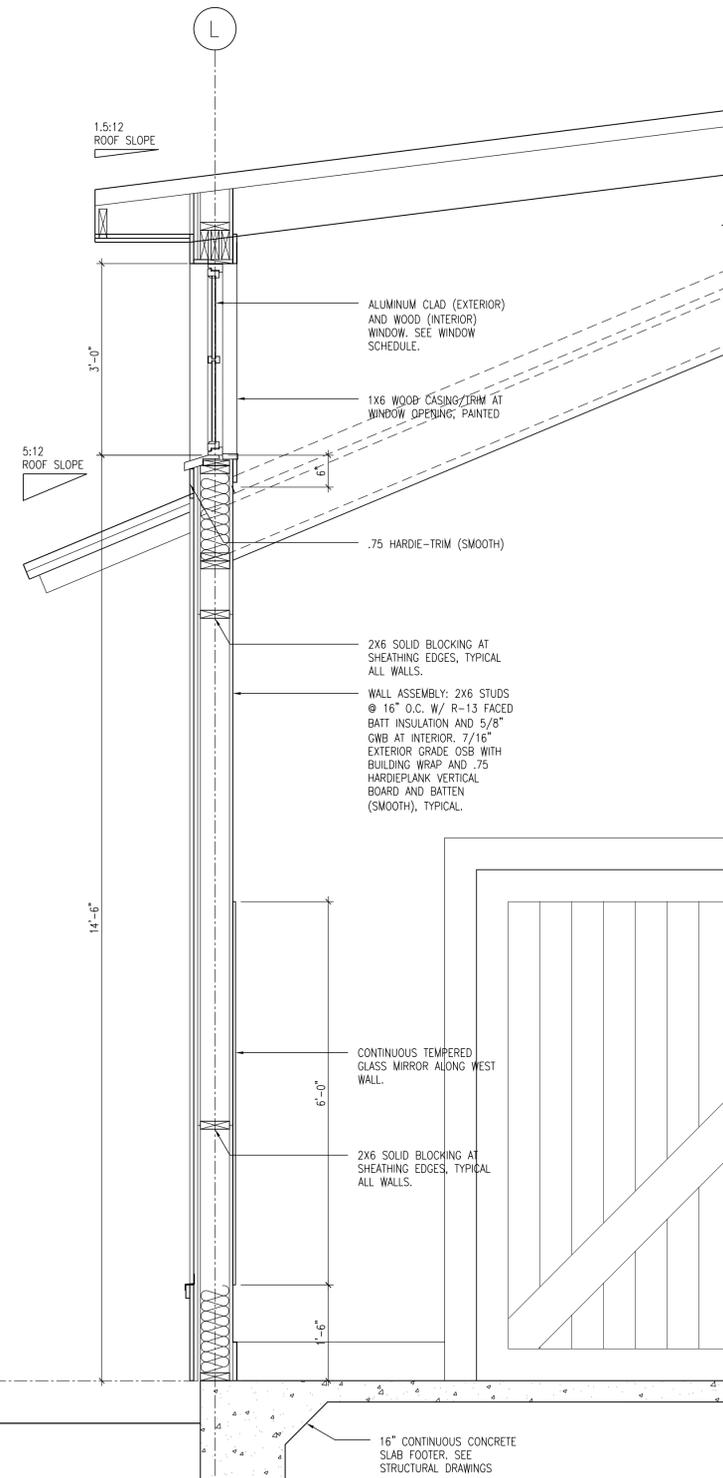


WALL SECTION AT WEST WALL WINDOW

SCALE: 3/4" = 1'-0"

JPGA-WS-3.DWG

1



WALL SECTION AT WEST WALL DORMER

SCALE: 3/4" = 1'-0"

JPGA-WS-3.DWG

2

Date	
10/27/15	DRB SUBMITTAL
Scale	As Noted

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Golf Academy – NEW DEVELOPMENT FINAL

DRB#: DRB-001268-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Revise spacing of shade trees added in parking lot and in buffer areas.
2. The size of the viburnum shall be increased to 7-gallon at installation, per pervious DRB conditions.

Applicant has revised plans to accommodate DRB's comments and conditions of approval:

- (1) The 3:12 roof at the corners has been resolved.
- (2) Additional detailing in the form of four additional windows has been added to the rear façade of the fitness center.
- (3) More shade trees have been added in the parking area and within buffers however the spacing on the trees will not accommodate long term growth of the trees.
- (4) 7-gallon wax myrtles were added on the Finch Street side of the dumpster enclosure.
- (5) Building light fixtures are proposed to be "dark brass" which is similar to oil-rubbed bronze.
- (6) The size of some viburnum was increased to 7-gallon however the plant schedule still indicates 3-gallon viburnum as well.
- (7) Sidewalks on the site plan were not changed to tabby concrete per the Board's recommendation, not condition.
- (8) Building details were provided for Board review and approval.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Tom Parker Company: Lee & Parker Architects
 Mailing Address: PO Box 5010 City: Hilton Head Is. State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: wtparker@hargray.com
 Project Name: Leamington Beach Club Project Address: #100 South Shore Lane
 Parcel Number [PIN]: R 520 016 000 0369 0000
 Zoning District: PD-1 Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

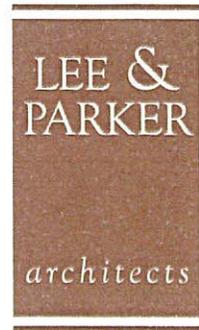
I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10/10/15

DATE



JAKIE H. LEE, AIA
W. THOMAS PARKER, JR., AIA

Leamington Beach Pavilion:

The attached project is located in Leamington @ #100 South Shore Drive. We are relocating the existing pavilion closer to the beach and raising it onto an elevated foundation to provide views of the beachfront along with golf cart parking below.

There also is a new restroom building at grade for use by homeowners when coming and going from the beach. The beach bath is less than 300 sq. ft.

Site work consists of a new fire hydrant on the pavilion side of the street, wider paved entrance drive for firetruck access, expanded vehicular parking, along with additional covered golf cart parking.

The landscaping will consist of mix of native and decorative plants that is meant to blend into the beachfront site along with requiring minimal maintenance. There will be the need to remove trees for this project as per the attached tree tally sheet and the mitigation plan for same.

Thank you for your time and consideration of this project, respectively submitted;

A handwritten signature in black ink, appearing to read "Tom Parker", with a stylized flourish at the end.

Tom Parker AIA LEED pa

**LEAMINGTON BEACH CLUB
#50 SOUTH SHORE DRIVE**

**LEE &
PARKER**
architects



ROOFING:
PAC CLAD
PATINA GREEN

WINDOWS:
N.A.

TRIM: CYPRESS
SHERWIN WILLIAMS
#SW2829 CLASSICAL WHITE

SIDING: CYPRESS
SHERWIN WILLIAMS
#SW2829 CLASSICAL WHITE

CEMENT STUCCO:
TOTAL WALL #3220
BASKET BEIGE
SAND FINISH

IVT108L

LED Wall Mount Mini Cylinder Downlight

LED | GEN²



For use with a single gang junction box

SPECIFICATION:

Example: IVT108L27-30ST-27-IPV100

IVT108L	SERIES LED Cylinder with 2" x 3" Canopy
	CCT
27	2700K
→ 30	3000K
35	3500K
40	4000K
	BEAM SPREAD
-12	12° Narrow Spot
-20	20° Spot
→ -30	30° Narrow Flood
-40	40° Flood
	FINISH¹
B	Black Aluminum
BR	Bronze Aluminum
→ ST	Brushed Stainless Steel
SU	Surface™ ²
	INPUT VOLTAGE
blank	120V
-27	277V
	ACCESSORY
-IPV100	45° Cutoff Directional Shield

Notes:

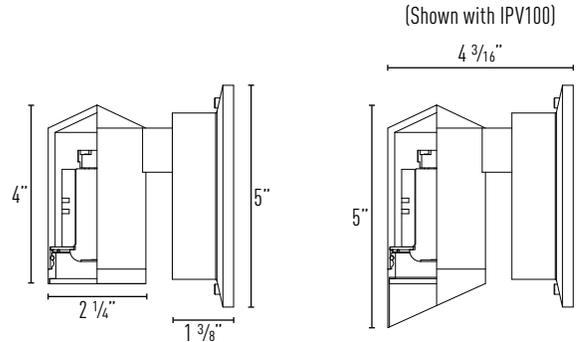
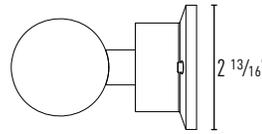
1. Custom powder coat finishes available, consult factory. Minimum order quantity apply.
2. See Surface™ simulated natural finishes submittal sheet for specification.

ACCESSORIES:

Luminaire will accommodate up to (2) 1 5/8" filters, media holder required.

LH3	MEDIA HOLDER Media Holder		
PFL1-S	FILTER MEDIA Prismatic Spread Lens	PL5-S	Amber Lens
PFL2-S	Linear Spread Lens	PL6-S	Red Lens
PFL3-S	Sand Blasted Lens	PL7-S	Yellow Lens
PFL4-S	Solite Lens	PL8-S	Green Lens
PFL16B-S	Black Hex Louver	PL9-S	Blue Lens

JOB NAME		CATALOG NUMBER	
NOTES		TYPE	



Catalog Number	System Wattage *	Delivered Lumens **
IVT108L40-12	3.8W	227 lm @ 4000K
IVT108L40-20	3.8W	235 lm @ 4000K
IVT108L40-30	3.8W	206 lm @ 4000K
IVT108L40-40	3.6W	191 lm @ 4000K

* System wattage include driver and LED module consumption.

** Delivered lumen output will vary depending on CCT.

DESCRIPTION

The Vortech mini cylinder downlight fixtures are available in 316 stainless steel or die-cast aluminum. The 316 stainless steel is of marine grade quality and has superior corrosion resistance. Die-cast aluminum is available in powder coated black or bronze. Custom powder coat finishes are available, consult factory. To ensure the natural appearance of stainless steel, regular cleaning is necessary.

FEATURES

- Aesthetic appearance
- Indoor / outdoor applications
- Back plate allows fixture to mount flush against the wall without exposed back plate

LED LIGHT ENGINE

- High output CREE XPG2 LED
- 3.8 Watts and 200+ lumens
- 9-15V AC/DC Input
- 2700K, 3000K, 3500K and 4000K
- 40,000 hours average rated life at 70% output
- 12° Narrow Spot, 20° Spot, 30° Narrow Flood and 40° Flood
- Field interchangeable optics
- IP67 Rated

ELECTRICAL (INTEGRAL 12V LED DRIVER)

- 120V or 277V input, must specify

MOUNTING

Rectangle canopy for 2" x 3" switch box

MAINTENANCE

Stainless steel requires regular cleaning and maintenance to prevent tarnishing or tea staining.

SURFACE™ SIMULATED NATURAL FINISHES

- Available in 12 standard wood grain powder coated finishes
- Consult factory

ACCESSORIES

LH3: Lens cap accommodates accessory holder. Allows the use of up-to (2) 1 5/8" media/color filters. Filters must be ordered separately.

IPV100: Directional shield provides 45° cutoff. Specify at the end of part number. Factory installed.

LISTING / WARRANTY

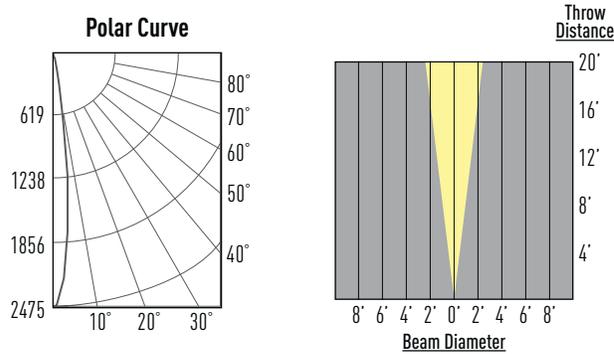
- ETL listed to US and Canadian standards for wet locations.
- 5-Year Intense Exterior Limited LED Warranty



JOB NAME		CATALOG NUMBER	
NOTES		TYPE	

IVT108L40-12 (12° Narrow Spot)

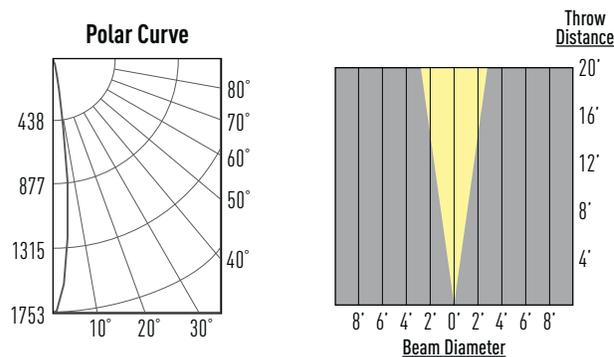
Report #: L11135001
 Luminaire Watts: 3.76W
 Luminaire Lumens: 226.76 lm
 Lumens Per Watt: 60
 Color Temperature: 3790K



Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	1'	1.9'	2.9'	3.8'	4.8'
Illuminance (fc)	155	38.7	17.2	9.7	6.2

IVT108L40-20 (20° Spot)

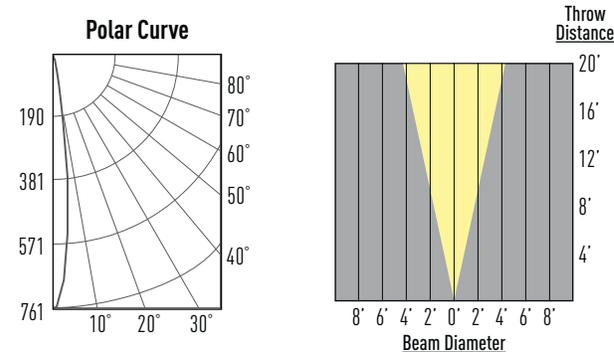
Report #: L11135002
 Luminaire Watts: 3.76W
 Luminaire Lumens: 235.44 lm
 Lumens Per Watt: 63
 Color Temperature: 3792K



Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	1.1'	2.2'	3.3'	4.5'	5.6'
Illuminance (fc)	110	27.4	12.2	6.8	4.4

IVT108L40-30 (30° Narrow Flood)

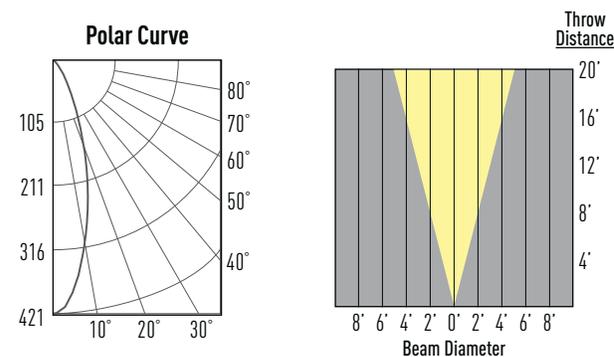
Report #: L11135003
 Luminaire Watts: 3.78W
 Luminaire Lumens: 205.83 lm
 Lumens Per Watt: 54
 Color Temperature: 3760K



Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	1.7'	3.4'	5.1'	6.8'	8.6'
Illuminance (fc)	47.6	11.9	5.3	3	1.9

IVT108L40-40 (40° Flood)

Report #: L11144201
 Luminaire Watts: 3.6W
 Luminaire Lumens: 191.12 lm
 Lumens Per Watt: 53
 Color Temperature: 3760K



Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	2.1'	4.2'	6.4'	8.6'	10.1'
Illuminance (fc)	26.3	6.6	2.9	1.6	1.1



All testing was conducted in accordance with LM-79-08, Approved Method: Electrical and Photometric Measurements of Solid-State Lighting Products as published by the Illuminating Engineering Society of North America (IESNA).

VORTECH LM-082114 P-10



Intense Lighting | 3340 E La Palma Ave. | Anaheim, CA 92806 | Phone: 1.800.961.5321 | Fax: 1.800.961.5322 | www.intenselighting.com
 Note: Specifications and dimensions subject to change without notice.



IVT113L

LED Wall Mount Mini Cylinder Up / Downlight

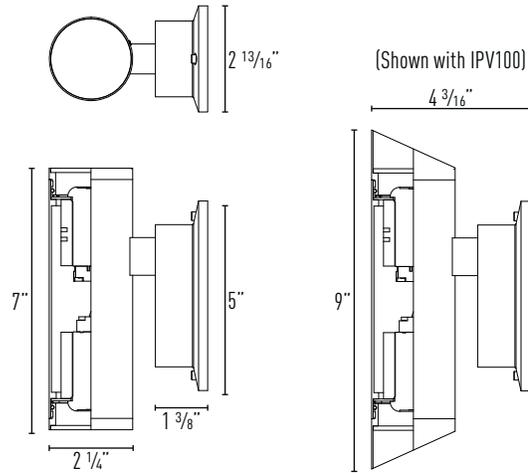
LED | GEN²



For use with a single gang junction box



JOB NAME		CATALOG NUMBER	
NOTES		TYPE	



SPECIFICATION:

Example: IVT113L27-30-20ST-27-IPV100

IVT113L	SERIES LED Cylinder with 4" Square Canopy
	CCT
27	2700K
→ 30	3000K
35	3500K
40	4000K
	UP LIGHT OPTIC
-12	12° Narrow Spot
-20	20° Spot
→ 30	30° Narrow Flood
-40	40° Flood
	DOWN LIGHT OPTIC
-12	12° Narrow Spot
-20	20° Spot
→ 30	30° Narrow Flood
-40	40° Flood
	FINISH¹
B	Black Aluminum
BR	Bronze Aluminum
→ ST	Brushed Stainless Steel
SU	Surface™ ²
	INPUT VOLTAGE
blank	120V
-27	277V
	ACCESSORY
-IPV100	45° Cutoff Directional Shield

Notes:

1. Custom powder coat finishes available, consult factory. Minimum order quantity apply.
2. See Surface™ simulated natural finishes submittal sheet for specification.

ACCESSORIES:

Luminaire will accommodate up to (2) 1 5/8" filters, media holder required.

LH3 MEDIA HOLDER
Media Holder

FILTER MEDIA
PFL1-S Prismatic Spread Lens
PFL2-S Linear Spread Lens
PFL3-S Sand Blasted Lens
PFL4-S Solite Lens
PFL16B-S Black Hex Louver

COLOR FILTERS
PL5-S Amber Lens
PL6-S Red Lens
PL7-S Yellow Lens
PL8-S Green Lens
PL9-S Blue Lens

Catalog Number	System Wattage *	Delivered Lumens Per LED **
IVT113L40-12-12	7.6W	227 lm per LED @ 4000K
IVT113L40-20-20	7.6W	235 lm per LED @ 4000K
IVT113L40-30-30	7.6W	206 lm per LED @ 4000K
IVT113L40-40-40	7.2W	191 lm per LED @ 4000K

* System wattage include driver and LED module consumption.

** Delivered lumen output will vary depending on CCT.

DESCRIPTION

The Vortech mini cylinder up / downlight fixtures are available in 316 stainless steel or die-cast aluminum. The 316 stainless steel is of marine grade quality and has superior corrosion resistance. Die-cast aluminum is available in powder coated black or bronze. Custom powder coat finishes are available, consult factory. To ensure the natural appearance of stainless steel, regular cleaning is necessary.

FEATURES

- Aesthetic appearance
- Indoor / outdoor applications
- Back plate allows fixture to mount flush against the wall without exposed back plate

LED LIGHT ENGINE

- High output CREE XPG2 LED
- 3.8 Watts and 200+ lumens per LED
- 9-15V AC/DC Input
- 2700K, 3000K, 3500K and 4000K
- 40,000 hours average rated life at 70% output
- 12° Narrow Spot, 20° Spot, 30° Narrow Flood and 40° Flood
- Field interchangeable optics
- IP67 Rated

ELECTRICAL (INTEGRAL 12V LED DRIVER)

- 120V or 277V input, must specify

MOUNTING

Rectangle canopy for 2" x 3" switch box

MAINTENANCE

Stainless steel requires regular cleaning and maintenance to prevent tarnishing or tea staining.

SURFACE™ SIMULATED NATURAL FINISHES

- Available in 12 standard wood grain powder coated finishes
- Consult factory

ACCESSORIES

LH3: Lens cap accommodates accessory holder. Allows the use of up-to (2) 1 5/8" media/color filters. Filters must be ordered separately.

IPV100: Directional shield provides 45° cutoff. Specify at the end of part number. Factory installed.

LISTING / WARRANTY

- ETL listed to US and Canadian standards for wet locations.
- 5-Year Intense Exterior Limited LED Warranty

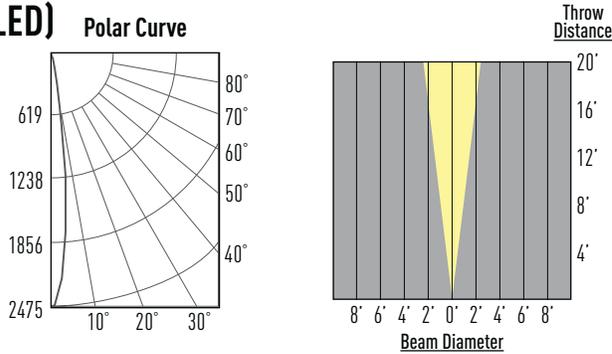


JOB NAME		CATALOG NUMBER	
NOTES		TYPE	

IVT113L40-12 (Per LED) Polar Curve

(12° Narrow Spot)

Report #: L11135001
 Luminaire Watts: 3.76W
 Luminaire Lumens: 226.76 lm
 Lumens Per Watt: 60
 Color Temperature: 3790K

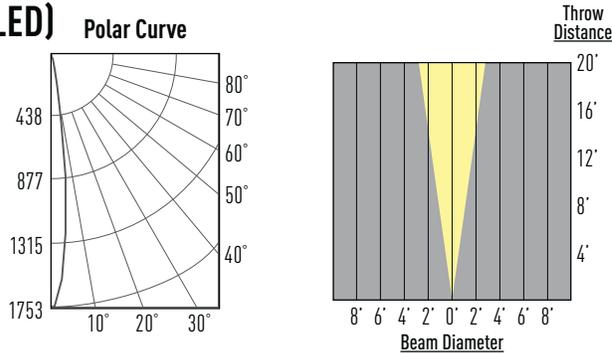


Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	1'	1.9'	2.9'	3.8'	4.8'
Illuminance (fc)	155	38.7	17.2	9.7	6.2

IVT113L40-20 (Per LED) Polar Curve

(20° Spot)

Report #: L11135002
 Luminaire Watts: 3.76W
 Luminaire Lumens: 235.44 lm
 Lumens Per Watt: 63
 Color Temperature: 3792K

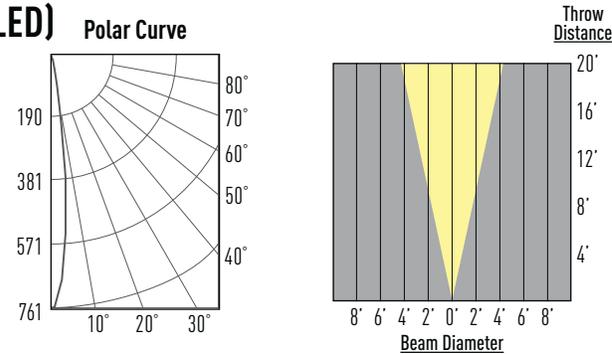


Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	1.1'	2.2'	3.3'	4.5'	5.6'
Illuminance (fc)	110	27.4	12.2	6.8	4.4

IVT113L40-30 (Per LED) Polar Curve

(30° Narrow Flood)

Report #: L11135003
 Luminaire Watts: 3.78W
 Luminaire Lumens: 205.83 lm
 Lumens Per Watt: 54
 Color Temperature: 3760K

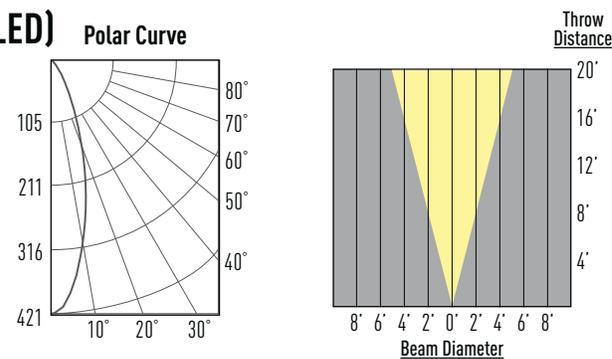


Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	1.7'	3.4'	5.1'	6.8'	8.6'
Illuminance (fc)	47.6	11.9	5.3	3	1.9

IVT113L40-40 (Per LED) Polar Curve

(40° Flood)

Report #: L11144201
 Luminaire Watts: 3.6W
 Luminaire Lumens: 191.12 lm
 Lumens Per Watt: 53
 Color Temperature: 3760K



Throw Distance (d)	4'	8'	12'	16'	20'
Beam Diameter	2.1'	4.2'	6.4'	8.6'	10.1'
Illuminance (fc)	26.3	6.6	2.9	1.6	1.1



All testing was conducted in accordance with LM-79-08, Approved Method: Electrical and Photometric Measurements of Solid-State Lighting Products as published by the Illuminating Engineering Society of North America (IESNA).



Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

step light

Catalog Number:

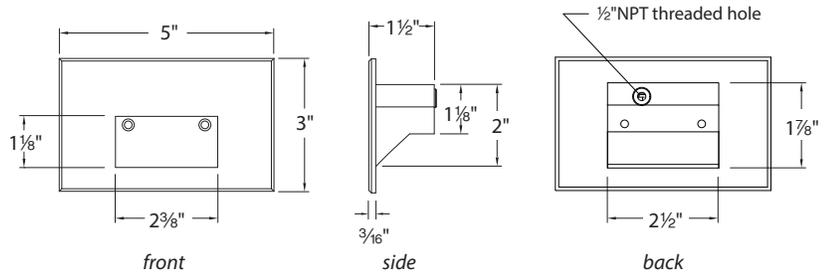
Project: Leamington Beach Pavillion

Location: #100 South Shore Drive

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- 316 marine grade cast stainless steel (SS) available
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 40,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty

SPECIFICATIONS

- Construction:** Die-cast aluminum or 316 marine grade cast stainless steel
- Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz
- Light Source:** 3000K CCT Samsung HV-AC High Power LED, CRI: 85
Optional color lenses. Total power consumption of 3.9W
- Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H
Includes bracket for J-Box mount.
- Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Skylark SELV-300P-WH and Leviton Vizia VPE04
- Standards:** IP66, UL & cUL Listed for wet locations

ORDER NUMBER

Model #	Light Color	Finish
WL-LED100 120V	C White 3000K	SS Stainless Steel
WL-LED100F 277V	AM Amber 610nm	BK Black
	RD Red 640nm	WT White
	BL Blue 450nm	BN Brushed Nickel
		BZ Bronze

Order number format: - -

Example: WL-LED100F-BL-SS

FINISHES



waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®

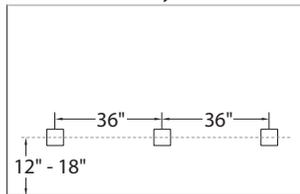
FIXTURE PERFORMANCE

Input Voltage	Light Color	Finish	Lumens
WL-LED100 120V	C White	SS Stainless Steel	45
		BK Black	31
		WT White	68
		BN Brushed Nickel	31
		BZ Bronze	32
	AM Amber	SS Stainless Steel	28
		BK Black	19
		WT White	38
		BN Brushed Nickel	19
		BZ Bronze	21
	RD Red	SS Stainless Steel	3
		BK Black	2
		WT White	4
		BN Brushed Nickel	2
		BZ Bronze	2
	BL Blue	SS Stainless Steel	5
BK Black		3	
WT White		8	
BN Brushed Nickel		3	
BZ Bronze		4	

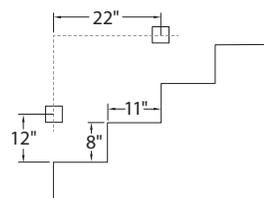
Input Voltage	Light Color	Finish	Lumens
WL-LED100F 277V	C White	SS Stainless Steel	37
		BK Black	25
		WT White	58
		BN Brushed Nickel	25
		BZ Bronze	27
	AM Amber	SS Stainless Steel	20
		BK Black	14
		WT White	29
		BN Brushed Nickel	14
		BZ Bronze	15
	RD Red	SS Stainless Steel	2
		BK Black	1.5
		WT White	3
		BN Brushed Nickel	1.5
		BZ Bronze	2
	BL Blue	SS Stainless Steel	4
BK Black		3	
WT White		6	
BN Brushed Nickel		3	
BZ Bronze		3	

SPACING RECOMMENDATIONS FOR OPTIMAL LIGHT DISTRIBUTION

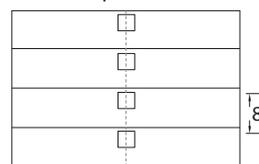
Corridors / Hallways



Stairs - Wall Mount



Stairs - Step Mount



Mount in center of stair as close to the upper tread as possible. For best results use one light per step for steps narrower than 5'.

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



October 12, 2015

Lee & Parker
10 Palmetto Business Park Rd #201
Hilton Head Island, SC 29928

Dear Tom,

As Chair of the Leamington ARB, it is my pleasure to inform you that your design for our new beach house has been approved by vote of our Architectural Review Board.

Best regards,

Richard B. Vanderveer, Ph.D.

Richard B. Vanderveer, Ph.D.
Chair, Leamington ARB

KICHLER®

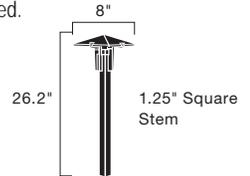
LED Forged



PROJECT:
TYPE:
ORDERING # :
COMMENTS:

FEATURES

- A mission style offering in Design Pro LED. A substantial design supported by thick cast construction.
- Cast Aluminum Housing
- 4 W / 5.8 VA Light Output, Integrated LEDs and Driver, 2950K (-150/+175), High CRI
- 9V - 15V AC/DC
- 24" of useable #18-2, SPT-1W leads. Cable connector supplied.
- 8" In-ground stake



ORDERING INFORMATION

EXAMPLE: 15803AZT (Product # & Finish)

PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)	OPTIONS & ACCESSORIES			
15803 Dimensions: 8" W x 26.2" L with 1.25" Square Stem	Cast Aluminum AZT - Textured Architectural Bronze™ 	4 W / 5.8 VA Note: Not for use with electronic transformers.	Integrated LEDs and Driver 2950K (-150 / +175) High CRI	24" of usable #18-2, SPT- 1-W leads. Cable connector supplied.	8" In-ground stake	15601AZT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Watertight Seal 15601BKT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Watertight Seal 15601BBR - Cast Brass Surface Mounting Flange, Neoprene Gasket For Watertight Seal  Flange For Tree / Surface Mounting 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BBR - Bronzed Brass Finish 			
Fixture Photometric (fc)									
Distance from Light	0'	1'	2'	3'	4'	5'	6'	7'	8'
Footcandles	4.23	2.35	1.50	0.83	0.51	0.35	0.22	0.17	0.10

NOTES

For Warranty Information,
 please visit www.landscapelighting.com

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.





**PROFESSIONAL
OUTDOOR LIGHTING**

Type: Tree Mounted Down Light

Model: 2216

Project: Leamington Beach House

SPECIFICATION SHEET

MODEL 2216 Landscape Series • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, copper-free aluminum.

SHROUD:

Die-cast, copper-free aluminum fitted to housing with dual silicone O-ring gaskets – providing a superior weather-tight seal.

FINISH:

Polyester powder-coat finish available in Black, Verde, Architectural Brick, Architectural Bronze, Light Bronze, Dark Bronze, Granite, Pewter, Terracotta, Rust, Hunter Green, Mocha, Weathered Bronze, Weathered Iron, and White.

SOCKET/LAMP HOLDER:

Top grade ceramic socket with nickel contacts, stainless steel springs, and Teflon-jacketed wire leads.

LENS:

Clear or frosted convex glass lens. Optical effect lenses are available; see accessories column on fixture ordering information chart.

LAMP TYPE:

MR-16 Halogen – 50W maximum. LN-20 BAB (20W) Standard.

MOUNTING:

Injection-molded, Noryl GTX® adjustable knuckle with ½" NPS stem. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

All fasteners are stainless steel.

WIRING:

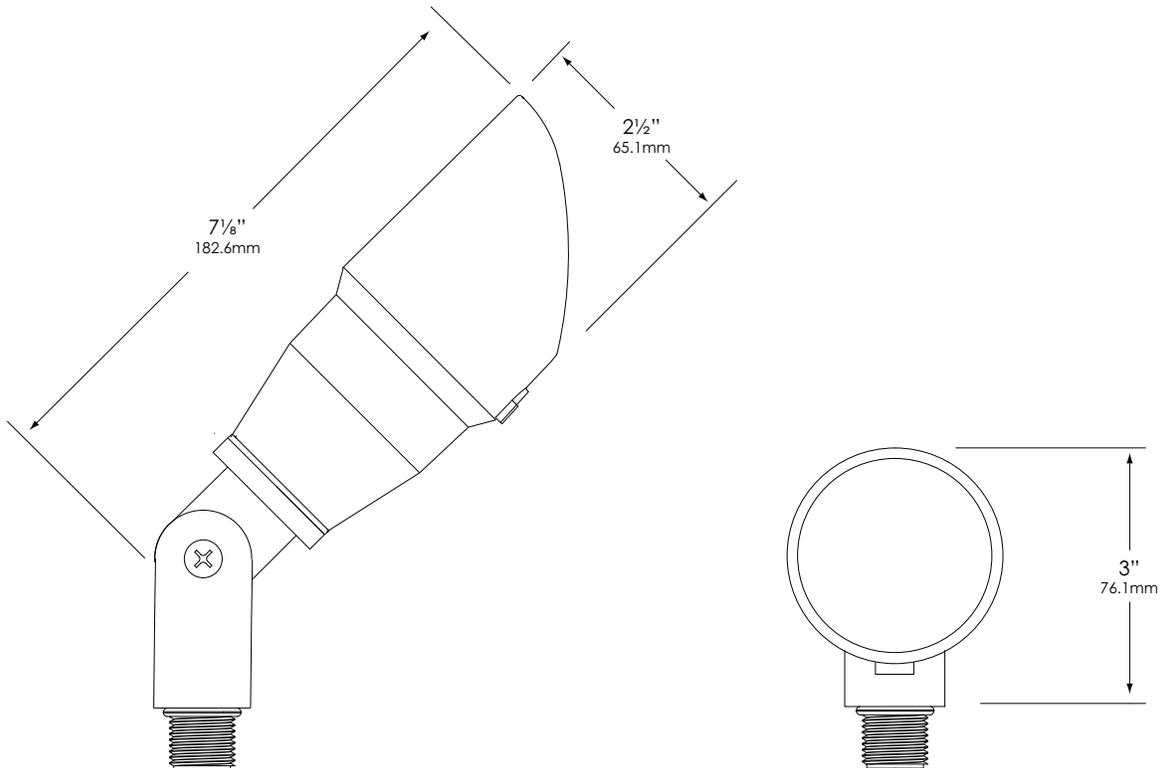
Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

CERTIFICATION:

UL Listed to U.S. and Canadian safety standards for low voltage landscape luminaires (UL 1838). Maximum wattages allowed by Underwriters Laboratories (UL) for U.S. and Canadian markets may vary. Maximum wattages specified are Underwriters Laboratories U.S. standard. Please contact Vista for any questions about maximum wattages allowed by UL Canadian standards.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2216 Landscape Series • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-2216-B-BAB-CFR

MOUNTING	MODEL	FINISH	LAMP	ACCESSORIES
GR- ABS ground stake WR- Wall-mount canopy TR- Tree-mount junction box	2216	B - Black G - Verde BR - Architectural Brick Z - Architectural Bronze LZ - Light Bronze DZ - Dark Bronze GT - Granite P - Pewter TC - Terracotta R - Rust HG - Hunter Green M - Mocha WB - Weathered Bronze WI - Weathered Iron W - White	BAB - 20W MR-16 Halogen 50W maximum LN-20 BAB (20W) Standard <i>(Please see lamp order code column on lamp guide, Vista product catalog.)</i>	BL – Flat Cool Blue lens SL – Flat Spread lens FT – Flat Clear lens CFR – Crowned Frosted lens LSL - Linear Spread Lens DBL – Flat Dark Blue lens GL – Flat Dark Green lens RL – Flat Red lens YL – Flat Amber lens HL – Honeycomb louver

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.









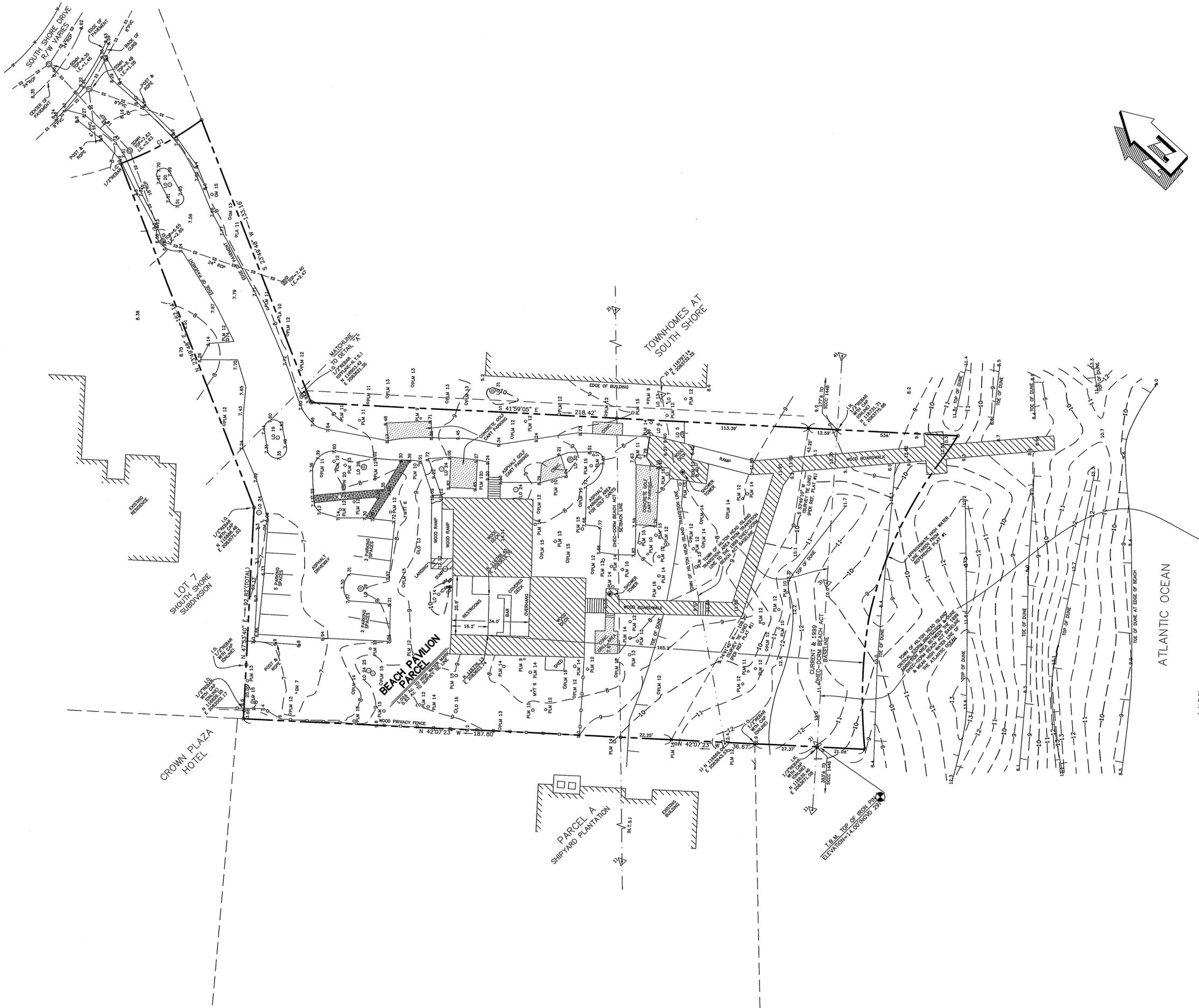












TOPOGRAPHIC INFORMATION TAKEN FROM AS BUILT, TOPOGRAPHIC & BEACH ACT DISCLOSURE SURVEY OF LEAMINGTON BEACH PAVILION BY SURVEYING CONSULTANTS, INC. DATED 8/15/2011 & REVISED 3/20/2014.

EXISTING CONDITIONS
 FOR
Leamington Club Beach House
 at Palmetto Dunes

HILTON HEAD ISLAND, SOUTH CAROLINA
 SCALE: 1" = 20' OCTOBER 12, 2015

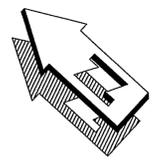


PREPARED BY
Cranston Engineering Group, P.C.
 ENGINEERS - PLANNERS - SURVEYORS

452 ELLIS STREET, AUGUSTA, GEORGIA 30901
 POST OFFICE BOX 2546, AUGUSTA, GEORGIA 30903
 TELEPHONE 706-722-1688
 FACSIMILE 706-722-8319
 mail@cranstonengineering.com

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SITE DATA
 SITE AREA = 1.02 ACRES
 MAX IMPERVIOUS COVER ALLOWED = (0.45 X 1.02 AC.) = 0.46 AC.
 POST CONSTRUCTION IMPERVIOUS COVER = 0.45 AC.

SITE PLAN
 FOR
Leamington Club Beach House
 at Palmetto Dunes

HILTON HEAD ISLAND, SOUTH CAROLINA
 SCALE: 1" = 20' OCTOBER 12, 2015



PREPARED BY
Cranston Engineering Group, P.C.
 ENGINEERS - PLANNERS - SURVEYORS

452 ELLIS STREET, AUGUSTA, GEORGIA 30901
 POST OFFICE BOX 2546, AUGUSTA, GEORGIA 30903
 TELEPHONE 706-722-1688
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 mail@cranstonengineering.com



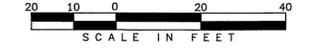
Dennis J. Welch
 10/13/15

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PAVING PLAN
FOR
Leamington Club Beach House
at Palmetto Dunes

HILTON HEAD ISLAND, SOUTH CAROLINA
SCALE: 1" = 20' OCTOBER 12, 2015



PREPARED BY
Cranston Engineering Group, P.C.
ENGINEERS - PLANNERS - SURVEYORS



452 ELLIS STREET, AUGUSTA, GEORGIA 30901
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FACSIMILE 706-723-8379
mail@cranstonengineering.com

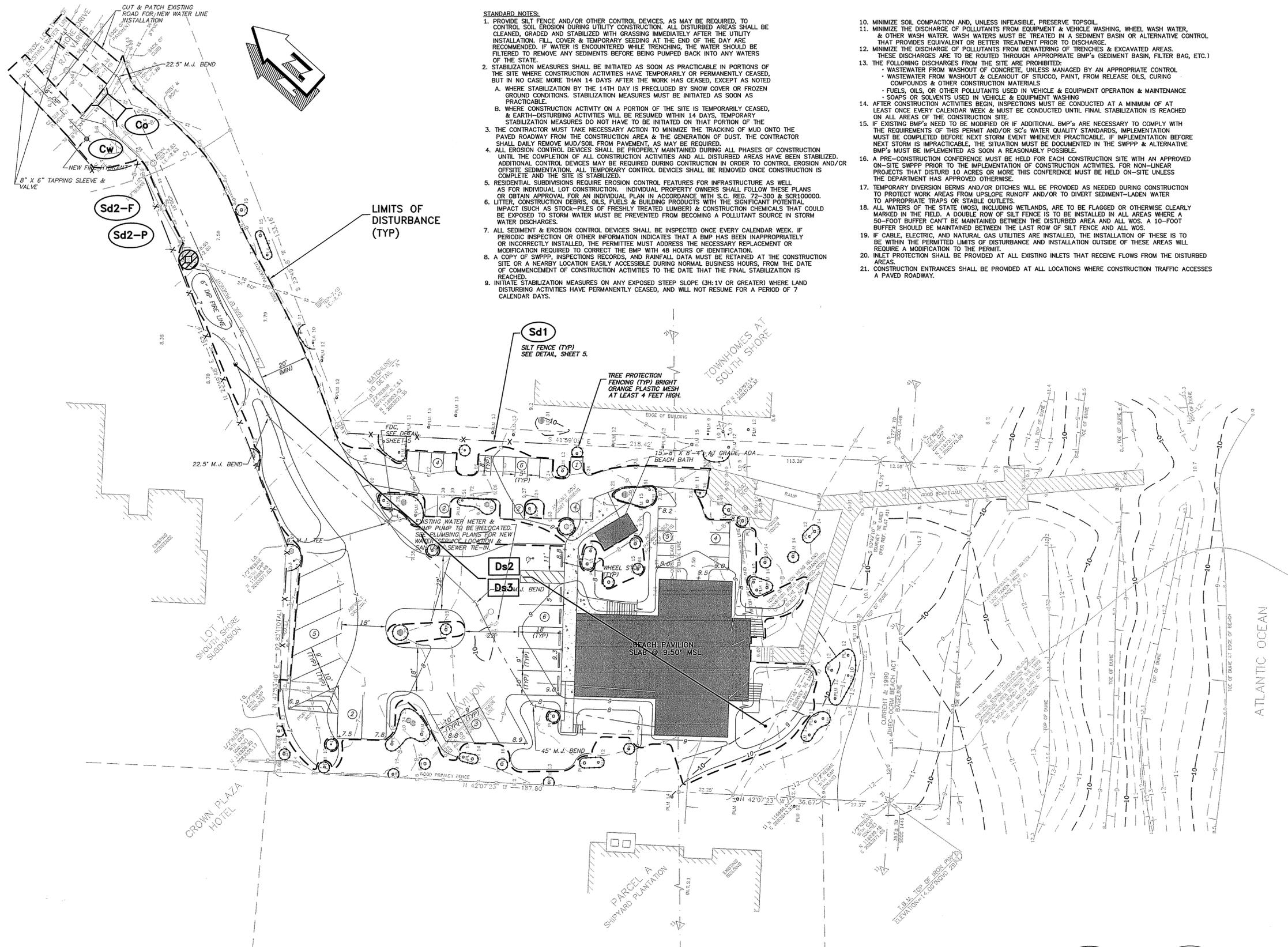


Dennis J. Welch
10/13/15

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STANDARD NOTES:

1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED.
 - A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
5. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 & SCR100000.
6. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT (SUCH AS STOCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
7. ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
8. A COPY OF SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT THE FINAL STABILIZATION IS REACHED.
9. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

10. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
11. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATER. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
12. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.).
13. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL
 - WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS & OTHER CONSTRUCTION MATERIALS
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE
 - SOAPS OR SOLVENTS USED IN VEHICLE & EQUIPMENT WASHING
14. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
15. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS A REASONABLY POSSIBLE.
16. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
17. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
18. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
19. IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
20. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED AREAS.
21. CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.

LIMITS OF DISTURBANCE (TYP)

Sd1
SILT FENCE (TYP)
SEE DETAIL SHEET 5.

Tree Protection
TREE PROTECTION FENCING (TYP) BRIGHT ORANGE PLASTIC MESH AT LEAST 4 FEET HIGH.

Ds2
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

Ds3
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

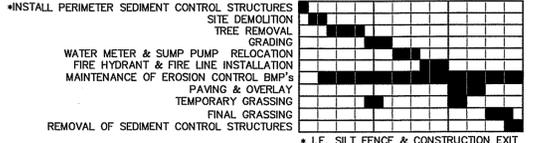
TREE CALCULATIONS
POST DEVELOPED

REQUIRED ADJUSTED CALIPER INCHES = 900 ACI/ACRE PERVIOUS SURFACE
 PERVIOUS SURFACE = SITE AREA - MAX. IMPERVIOUS COVER ALLOWED
 = 1.02 AC. - (0.45 X 1.02 AC.) = 0.56 AC.

REQUIRED ACI = 900 X 0.56
 = 504.0 ACI

POST DEVELOPMENT ACI (BASED ON TREES SAVED) = 1(271) + 0.75(44) + 0.50(674)
 = 641.0 ACI

MONTHS OF CONSTRUCTION ACTIVITIES



1. THE TIME AND PERIODS ABOVE ARE NOT EXACT OR READILY DETERMINABLE BUT IN ALL CASES SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE INCORPORATED INTO THE CONSTRUCTION IN THE SEQUENCE AS SHOWN ABOVE AND/OR AS DIRECTED BY TOWN OF HILTON HEAD ISLAND OR DHEC.
2. GRASSING WILL BE ACCEPTED WHEN A 95% COVER BY PERMANENT GRASSES IS OBTAINED AND WEEDS ARE NOT DOMINANT.
3. GRASSING OF CONSTRUCTION AREAS WILL COMMENCE AT COMPLETION OF EACH PHASE OF CONSTRUCTION OR IN THE SEQUENCE AS SHOWN ABOVE. IN ANY CASE, GRASSING OF ANY CONSTRUCTION AREA WILL BEGIN AT THE EARLIEST POSSIBLE DATE.

GRASSING REQUIREMENTS

1. SEEDING SCHEDULE: TEMPORARY SEEDING: APRIL 15 - AUGUST 31, BROWNTOP MILLET @ 40 LBS/ACRE. SEPTEMBER 1 - DECEMBER 15, RYE GRASS @ 55 LBS/ACRE. PERMANENT SEEDING: APRIL 1 - OCTOBER 15, A MIXTURE OF KENTUCKY 31 FESCUE @ 20 LBS/ACRE AND CREEPING RED FESCUE @ 20 LBS/ACRE, SEPTEMBER 1 TO OCTOBER 15, ADD A NURSE CROP OF ABRUZZI RYE @ 75 LBS/ACRE. OCTOBER 15 TO MARCH 30 SEED ABRUZZI RYE AT 100 LBS/ACRE. DOLOMITE LIME WILL BE INCORPORATED AT THE RATE OF 3000 POUNDS/ACRE.
2. FERTILIZER WILL BE A COMMERCIAL GRADE 10-10-10 INCORPORATED INTO THE SOIL AT A RATE OF 1500 POUNDS/ACRE.
3. FROM JUNE THROUGH AUGUST AND NOT LESS THAN 30 DAYS AFTER SEEDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATED) AT A RATE EQUAL TO 60 POUNDS OF AVAILABLE NITROGEN/ACRE.
4. ALL SEEDING AREAS WILL BE MULCHED WITH HAY OR STRAW AT A RATE OF 1500 POUNDS/ACRE.
5. SEEDING AND MULCHING MAY BE ACCOMPLISHED IN A SINGLE HYDROSEEDING OPERATION. SEEDING AREAS WILL BE MULCHED WITH HAY, STRAW OR WOOD CELLULOSE AT A RATE OF 1500 LBS/ACRE.

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing soil from tires thereby protecting streets.
Cw	CONCRETE WASHDOWN			Excavated area marked with orange fencing used for concrete washdown of trucks & trailers.
Sd2	INLET SEDIMENT TRAP			An area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, brush, burlap mat piles, grass, or a sediment fence. The barriers are usually temporary and inoperative.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			Establishing permanent vegetative cover such as trees, shrubs, vines, grasses, sod, or legumes on disturbed area.

* NOTE: [Ds2] AND [Ds3] SHALL BE PLACED IN ALL AREAS NOT INTENDED FOR PAVING.

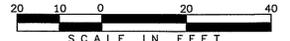
EROSION, SEDIMENTATION & POLLUTION CONTROL & TREE PROTECTION PLAN

FOR

Leamington Club Beach House at Palmetto Dunes

HILTON HEAD ISLAND, SOUTH CAROLINA

SCALE: 1" = 20' OCTOBER 12, 2015



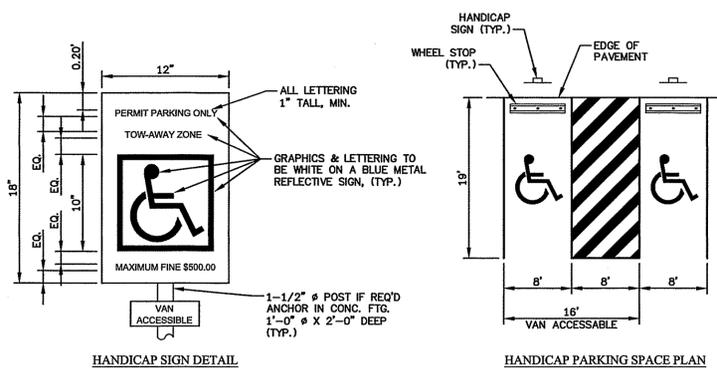
PREPARED BY

Cranston Engineering Group, P.C.
ENGINEERS - PLANNERS - SURVEYORS

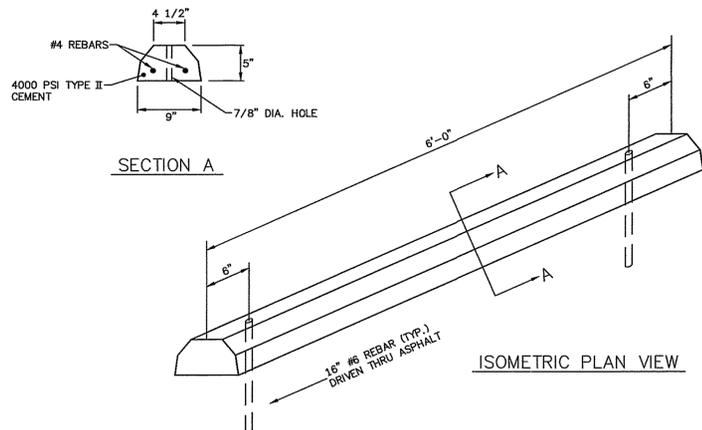
452 ELLIS STREET, AUGUSTA, GEORGIA 30901
POST OFFICE BOX 2546, AUGUSTA, GEORGIA 30908
TELEPHONE 706-722-1688
FACSIMILE 706-722-8279
mail@cranstonengineering.com



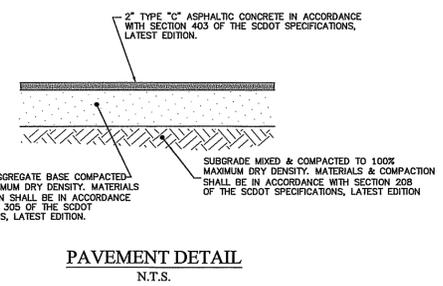
Dennis J. Welch
10/13/15



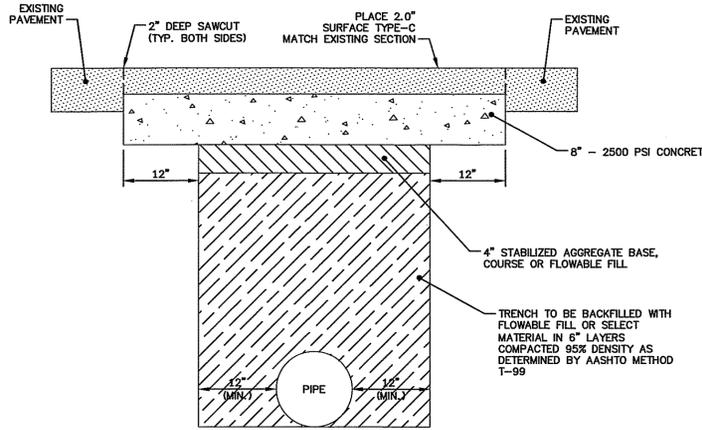
HANDICAP PARKING
N.T.S.



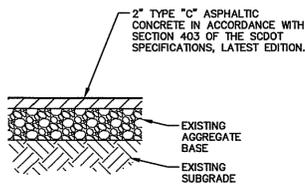
WHEEL STOP
N.T.S.



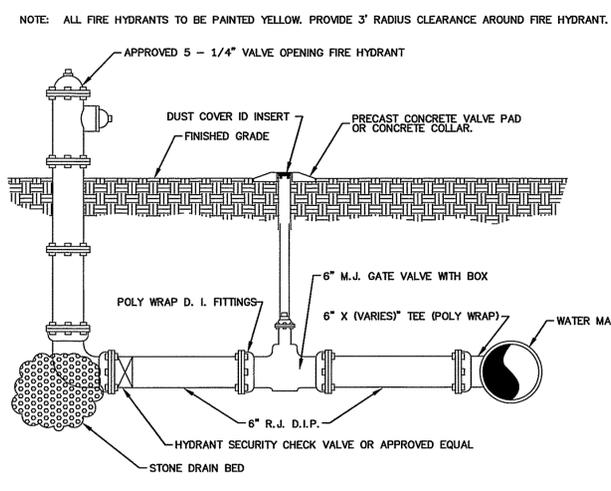
PAVEMENT DETAIL
N.T.S.



ASPHALT PAVEMENT CUT & PATCH DETAIL
N.T.S.



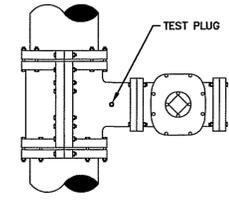
PARKING LOT ASPHALT OVERLAY DETAIL
N.T.S.



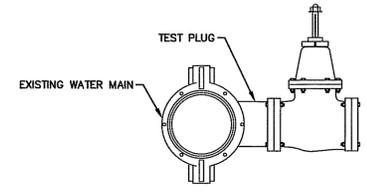
PROFILE VIEW

- NOTE: ALL FIRE HYDRANTS TO BE PAINTED YELLOW. PROVIDE 3' RADIUS CLEARANCE AROUND FIRE HYDRANT.
- NOTE:
1. POLYWRAP WILL BE 8.0 MIL THICK INSTALLED PER ANSI/AWWA C105/A21.5.
2. MULLER (SA - SERIES 9A.9), M&H (KENFLEX RESILIENT HINGED CHECK VALVE FIG 506) AND AMERICAN HYDRANT (SERIES 2100) SECURITY CHECK VALVES OR APPROVED EQUAL.
3. HYDRANT SECURITY CHECK VALVE MUST BE MADE BY THE SAME MANUFACTURER AS FIRE HYDRANT.

FIRE HYDRANT ASSEMBLY
N.T.S.



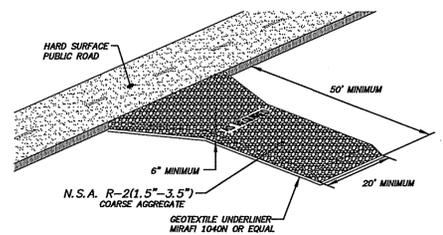
PLAN VIEW



PROFILE VIEW

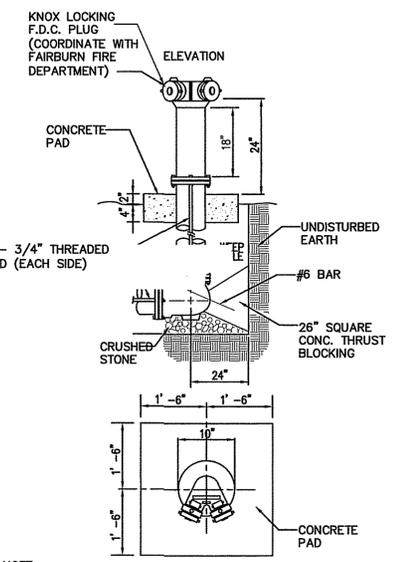
- NOTE:
1. TAPPING VALVE SHALL BE A FULL BODY DUCTILE IRON MUELLER T-2360 RESILIENT WEDGE GATE VALVE MJ X FL ENDS (6"-12"), MUELLER T-2361 RESILIENT WEDGE GATE VALVE MJ X FL (14"-48") OR APPROVED EQUAL.
2. TAPPING SLEEVE SHALL BE A MUELLER H-615 FOR SIZES 6" - 24", & MUELLER T-9 MJ FOR 30" AND 36".
3. TAPPING SLEEVE SHALL BE POLYWRAPPED.
4. TAPPING VALVE SHALL BE PRESSURE TESTED FOR ONE HOUR PRIOR TO TAPPING EXISTING MAIN.
5. TESTING PRESSURE SHALL BE 200 PSI.

TAPPING VALVE AND SLEEVE
N.T.S.



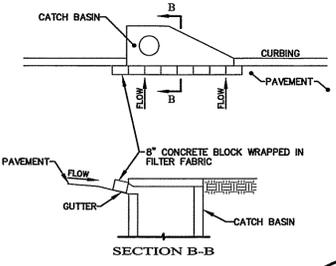
CRUSHED STONE CONSTRUCTION OUTLET
N.T.S.

INSPECTION & MAINTENANCE:
INSPECT CONSTRUCTION ENTRANCES ONCE EVERY CALENDAR WEEK, AND AFTER HEAVY USE. CHECK FOR MUD & SEDIMENT BUILDUP & PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING PERIODS OF WET WEATHER. MAINTENANCE IS REQUIRED MORE FREQUENTLY IN WET WEATHER CONDITIONS. RESHAPE THE STONE PAD AS NEEDED FOR DRAINAGE & RUNOFF CONTROL. IMMEDIATELY REMOVE MUD & SEDIMENT TRACKED OR WASHED ONTO PUBLIC BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.



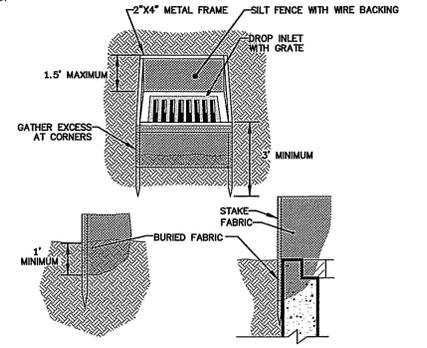
- NOTE:
1. CONCRETE SHALL BE CLEAR OF ALL NUTS AND BOLTS.
2. KEEP LANDSCAPING CLEAR ON ALL SIDES A MINIMUM OF 36 INCHES.
3. COORDINATE WITH FIRE MARSHALL FOR SIGNAGE AND LOCATION.
- REFERENCED STANDARDS:
2006 INTERNATIONAL FIRE CODE 912 FIRE DEPARTMENT CONNECTIONS
2002 NFPA 13 SECTION 6.8 FIRE DEPARTMENT CONNECTIONS
1003 NFPA 1963 STANDARD FIRE DEPARTMENT CONNECTIONS

FIRE DEPARTMENT CONNECTION
N.T.S.



INLET SEDIMENT TRAP
N.T.S.

Sd2-P



- NOTE:
1. FOR STAKES USE 2"x4" METAL WITH A MINIMUM LENGTH OF THREE FEET.
2. SPACE STAKES EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF THREE FEET APART, AND DRIVE THEM SECURELY INTO THE GROUND, APPROXIMATELY 18" DEEP.
3. TO PROVIDE NEEDED STABILITY TO THE INSTALLATION, FRAME WITH 2"x4" WOOD STRIPS AROUND THE CREST OF THE OVERFLOW AREA AT A MAXIMUM OF 1.5' ABOVE THE DROP INLET CREST.
4. PLACE THE BOTTOM 12" OF THE FABRIC IN A TRENCH AND BACK FILL THE TRENCH WITH AT LEAST 4" OF CRUSHED STONE, OR 12" OF COMPACTED SOIL.
5. FASTEN FABRIC SECURELY TO THE STAKES AND FRAME. JOINTS MUST BE OVERLAPPED TO THE NEXT STAKE.
6. THE TOP OF THE FRAME AND FABRIC MUST BE WELL BELOW THE GROUND ELEVATION DOWN SLOPE FROM THE DROP INLET TO KEEP RUNOFF FROM BYPASSING THE INLET. IT MAY BE NECESSARY TO BUILD A TEMPORARY DIKE ON THE DOWN SLOPE SIDE OF THE STRUCTURE TO PREVENT BYPASS FLOW.
7. FILTER FABRIC SHALL BE BELTON INDUSTRIES' BELTECH 940 OR APPROVED EQUAL AS DETERMINED BY THE SCDOT QUALIFIED PRODUCTS LIST.

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION
N.T.S.

Sd2-F

INSPECTION & MAINTENANCE:
INSPECTION SHOULD BE MADE EVERY CALENDAR WEEK. IF THE FABRIC BECOMES CLOGGED, IT SHOULD BE REPLACED. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE. TAKE CARE NOT TO DAMAGE OR UNDERCUT FABRIC WHEN REMOVING SEDIMENT.

MISCELLANEOUS DETAILS

FOR
Leamington Club Beach House
at Palmetto Dunes

HILTON HEAD ISLAND, SOUTH CAROLINA

SCALE: AS SHOWN OCTOBER 12, 2015

PREPARED BY

Cranston Engineering Group, P.C.
ENGINEERS - PLANNERS - SURVEYORS

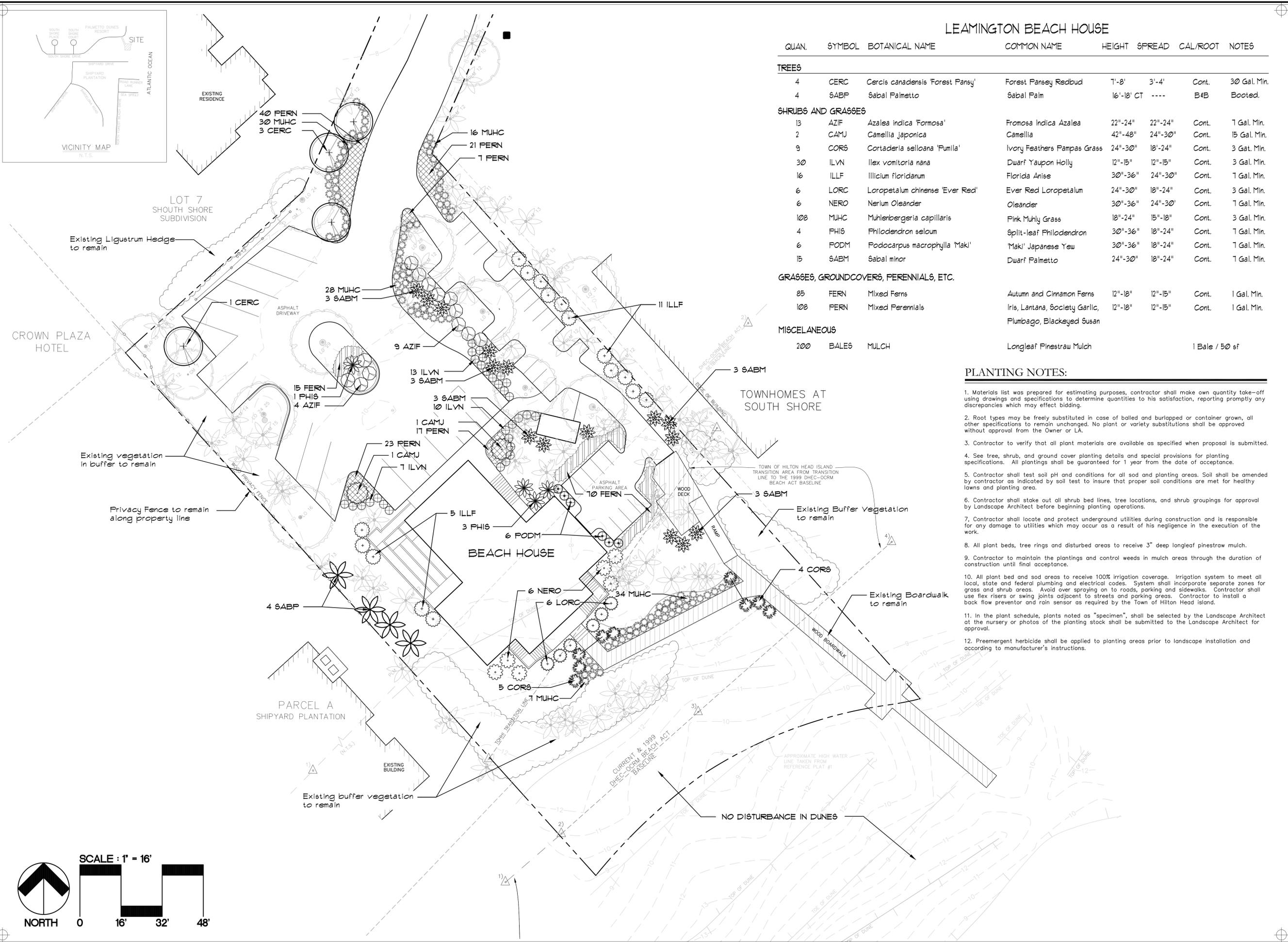
462 ELLIS STREET, AUGUSTA, GEORGIA 30901
POST OFFICE BOX 2546, AUGUSTA, GEORGIA 30903
TELEPHONE 706-722-1688
FACSIMILE 706-722-8379
mail@cranstonengineering.com



Dennis J. Welch
10/13/15



G:\VA-ACTIVE JOB FILES\2015\0349 - LEAMINGTON CLUB BEACH HOUSE SITE PLAN\VA-C-DRAWINGS\CIVIL\2015-0349-OVDWG 10/13/2015 2:42 PM



LEAMINGTON BEACH HOUSE

QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL/ROOT	NOTES
TREES							
4	CERC	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	7'-8'	3'-4'	Cont.	30 Gal. Min.
4	SABP	<i>Sabal Palmetto</i>	Sabal Palm	16'-18' CT	----	B4B	Booted.
SHRUBS AND GRASSES							
13	AZIF	<i>Azalea indica</i> 'Formosa'	Formosa Indica Azalea	22"-24"	22"-24"	Cont.	1 Gal. Min.
2	CAMJ	<i>Camellia japonica</i>	Camellia	42"-48"	24"-30"	Cont.	15 Gal. Min.
9	CORS	<i>Cortaderia selloana</i> 'Pumila'	Ivory Feathers Pampas Grass	24"-30"	18"-24"	Cont.	3 Gal. Min.
30	ILVN	<i>Ilex vomitoria</i> nana	Dwarf Yaupon Holly	12"-15"	12"-15"	Cont.	3 Gal. Min.
16	ILLF	<i>Illicium floridanum</i>	Florida Anise	30"-36"	24"-30"	Cont.	1 Gal. Min.
6	LORC	<i>Loropetalum chinense</i> 'Ever Red'	Ever Red Loropetalum	24"-30"	18"-24"	Cont.	3 Gal. Min.
6	NERO	<i>Nerium Oleander</i>	Oleander	30"-36"	24"-30"	Cont.	1 Gal. Min.
108	MUHC	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	18"-24"	15"-18"	Cont.	3 Gal. Min.
4	PHIS	<i>Philodendron seloum</i>	Split-leaf Philodendron	30"-36"	18"-24"	Cont.	1 Gal. Min.
6	PODM	<i>Podocarpus macrophylla</i> 'Maki'	'Maki' Japanese Yew	30"-36"	18"-24"	Cont.	1 Gal. Min.
15	SABM	<i>Sabal minor</i>	Dwarf Palmetto	24"-30"	18"-24"	Cont.	1 Gal. Min.
GRASSES, GROUNDCOVERS, PERENNIALS, ETC.							
85	FERN	Mixed Ferns	Autumn and Cinnamon Ferns	12"-18"	12"-15"	Cont.	1 Gal. Min.
108	FERN	Mixed Perennials	Iris, Lantana, Society Garlic, Plumbago, Blackeyed Susan	12"-18"	12"-15"	Cont.	1 Gal. Min.
MISCELLANEOUS							
200	BALES	MULCH	Longleaf Pinestraw Mulch				1 Bale / 50 sf

PLANTING NOTES:

- Materials list was prepared for estimating purposes, contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may affect bidding.
- Root types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged. No plant or variety substitutions shall be approved without approval from the Owner or LA.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and ground cover planting details and special provisions for planting specifications. All plantings shall be guaranteed for 1 year from the date of acceptance.
- Contractor shall test soil pH and conditions for all sod and planting areas. Soil shall be amended by contractor as indicated by soil test to insure that proper soil conditions are met for healthy lawns and planting area.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Landscape Architect before beginning planting operations.
- Contractor shall locate and protect underground utilities during construction and is responsible for any damage to utilities which may occur as a result of his negligence in the execution of the work.
- All plant beds, tree rings and disturbed areas to receive 3" deep longleaf pinestraw mulch.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- All plant bed and sod areas to receive 100% irrigation coverage. Irrigation system to meet all local, state and federal plumbing and electrical codes. System shall incorporate separate zones for grass and shrub areas. Avoid over spraying on to roads, parking and sidewalks. Contractor shall use flex risers or swing joints adjacent to streets and parking areas. Contractor to install a back flow preventor and rain sensor as required by the Town of Hilton Head Island.
- In the plant schedule, plants noted as "specimen", shall be selected by the Landscape Architect at the nursery or photos of the planting stock shall be submitted to the Landscape Architect for approval.
- Preemergent herbicide shall be applied to planting areas prior to landscape installation and according to manufacturer's instructions.

LEAMINGTO BEACH HOUSE
PALMETTO DUNES RESORT
100 SOUTH SHORE DRIVE
TOWN OF HILTON HEAD ISLAND

Patrick Rooney Associates, Inc.
Landscape Architecture
Land Planning
P.O. Box 21297
Hilton Head Island, SC 29925
843-681-4009
FAX 843-681-4029

REVISIONS:	NO.	DESCRIPTION:
DATE:		

PROJECT NO:

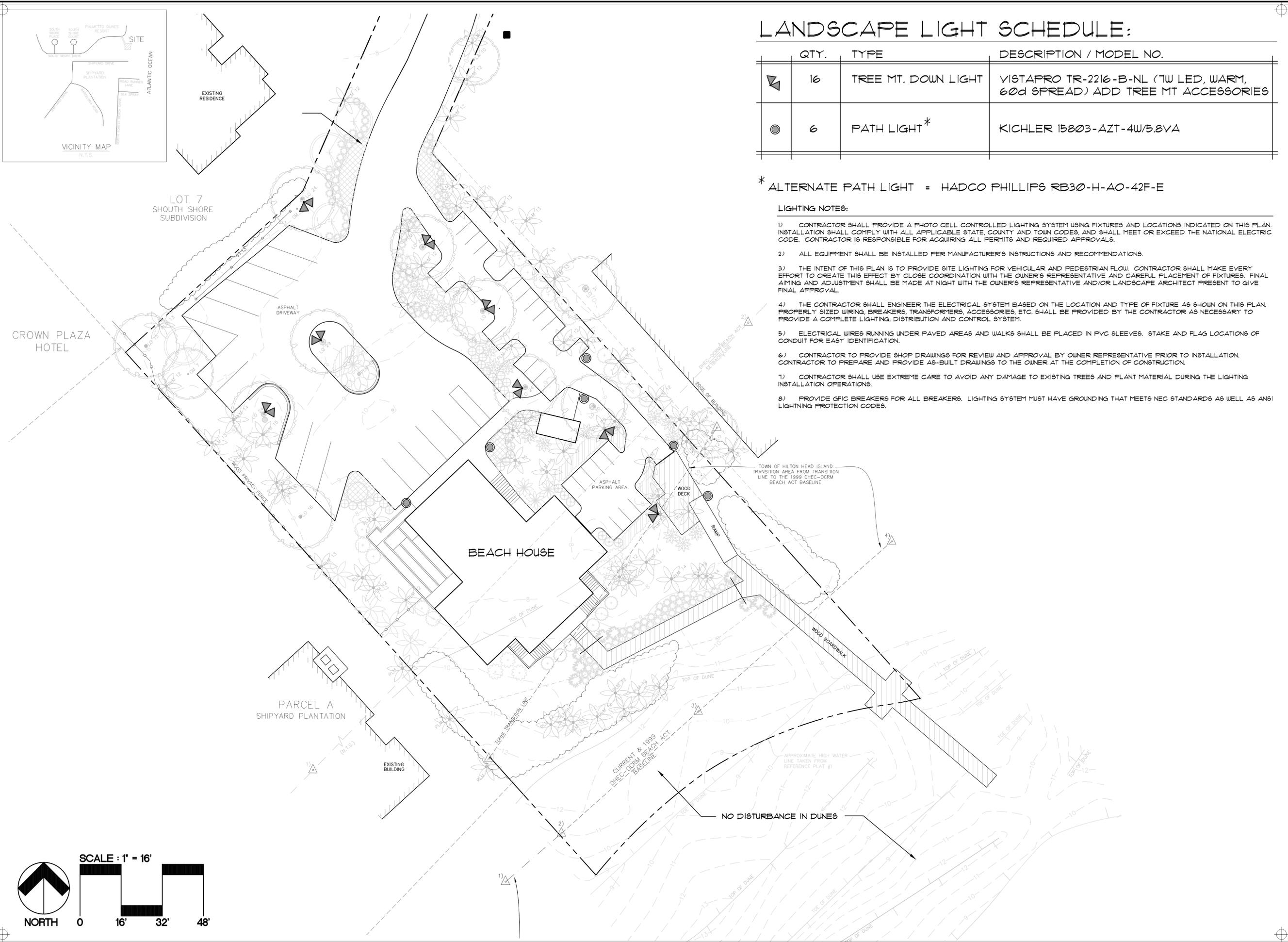
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APPROVED:

Landscape Plan

Sheet
1
of 2



LANDSCAPE LIGHT SCHEDULE:

QTY.	TYPE	DESCRIPTION / MODEL NO.
16	TREE MT. DOWN LIGHT	VISTAPRO TR-2216-B-NL (7W LED, WARM, 60d SPREAD) ADD TREE MT ACCESSORIES
6	PATH LIGHT*	KICHLER 15803-AZT-4W/5.8VA

* ALTERNATE PATH LIGHT = HADCO PHILLIPS RB30-H-AO-42F-E

LIGHTING NOTES:

- CONTRACTOR SHALL PROVIDE A PHOTO CELL CONTROLLED LIGHTING SYSTEM USING FIXTURES AND LOCATIONS INDICATED ON THIS PLAN. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY AND TOWN CODES, AND SHALL MEET OR EXCEED THE NATIONAL ELECTRIC CODE. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AND REQUIRED APPROVALS.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- THE INTENT OF THIS PLAN IS TO PROVIDE SITE LIGHTING FOR VEHICULAR AND PEDESTRIAN FLOW. CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE OWNER'S REPRESENTATIVE AND CAREFUL PLACEMENT OF FIXTURES. FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
- THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURE AS SHOWN ON THIS PLAN. PROPERLY SIZED WIRING, BREAKERS, TRANSFORMERS, ACCESSORIES, ETC. SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO PROVIDE A COMPLETE LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- ELECTRICAL WIRES RUNNING UNDER PAVED AREAS AND WALKS SHALL BE PLACED IN PVC SLEEVES. STAKE AND FLAG LOCATIONS OF CONDUIT FOR EASY IDENTIFICATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER REPRESENTATIVE PRIOR TO INSTALLATION. CONTRACTOR TO PREPARE AND PROVIDE AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL USE EXTREME CARE TO AVOID ANY DAMAGE TO EXISTING TREES AND PLANT MATERIAL DURING THE LIGHTING INSTALLATION OPERATIONS.
- PROVIDE GFCI BREAKERS FOR ALL BREAKERS. LIGHTING SYSTEM MUST HAVE GROUNDING THAT MEETS NEC STANDARDS AS WELL AS ANSI LIGHTNING PROTECTION CODES.

LEAMINGTO BEACH HOUSE
PALMETTO DUNES RESORT
100 SOUTH SHORE DRIVE
TOWN OF HILTON HEAD ISLAND

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Land Planning • Landscape Architecture
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REVISIONS:	NO.	DESCRIPTION:
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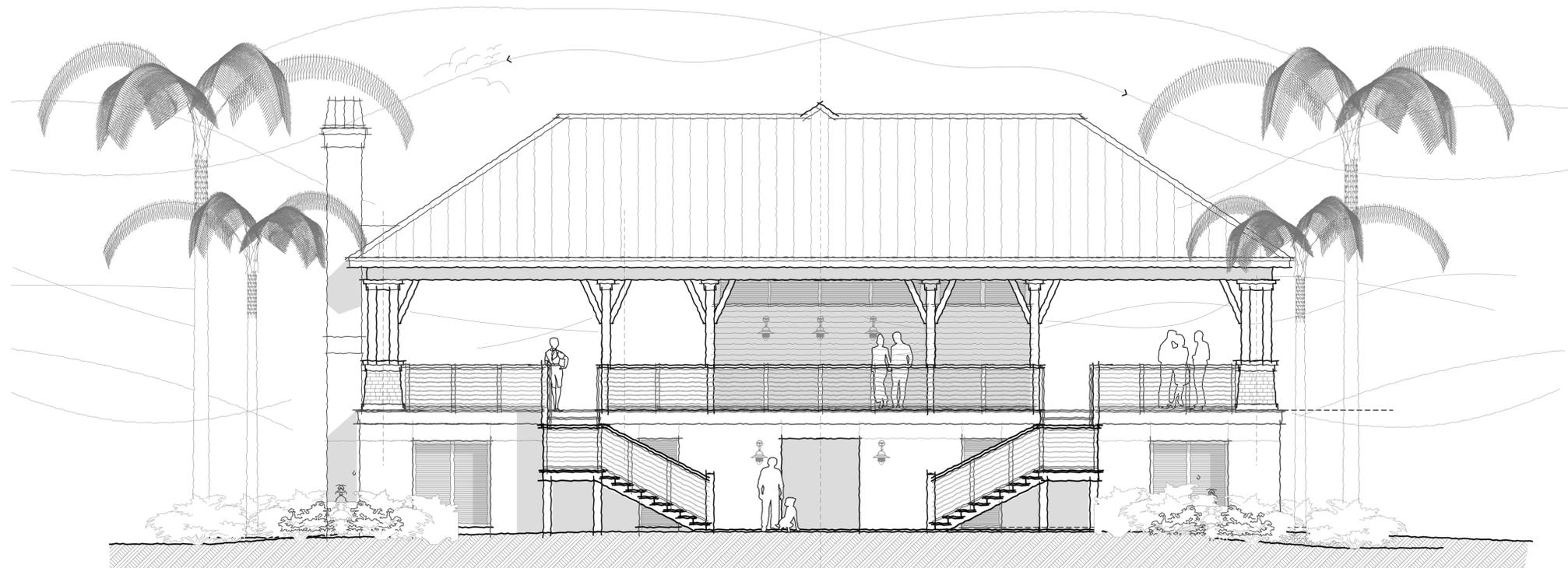
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APPROVED:

Landscape Lighting Plan

Sheet
2
of 2



ARTISTIC RENDERING-NOT FOR REFERENCE

LEAMINGTON BEACH PAVILLON

ARCHITECT	STRUCT. ENGINEER	MECH. & PLUMBING ENG.	ELEC. ENGINEER
Lee and Parker Architects Post Office Box 5010 Hilton Head Island, South Carolina 29933 843.785.5171 WTPARKER@HARGRAY.COM	Cranston Eng. Group, PC 14 Westbury Park Way, Ste. 202 Bluffton, South Carolina 29910 843.384.4731 MAIL@CRANSTONENGINEERING.COM	Engineered Systems 55 New Orleans Road Suite 200 Hilton Head Island, SC 29928 843/686-5300 jay@engineeredsystems.com	Engineered Systems 55 New Orleans Road Suite 200 Hilton Head Island, SC 29928 843/686-5300 jay@engineeredsystems.com

INDEX OF DRAWINGS:

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- T-1 TITLE SHEET
- D-1 GRADE LEVEL PLAN
- A-0 GRADE LEVEL PLAN
- A-1 OCEAN VIEW LEVEL
- A-2 ROOF PLAN & BEACH BATHROOM PLANS
- A-3 BUILDING ELEVATIONS
- A-4 BUILDING SECTIONS
- A-5 WALL SECTIONS
- A-6 DETAILS
- A-7 ENLARGED PLANS

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- S.2.0 FOUNDATION PLANS
- S.2.1 FRAMING PLANS
- S.2.2 ROOF FRAMING PLANS
- S.2.3 BEACH BATH ROOF FRAMING
- S.3.0 FOOTER DETAILS
- S.3.1 STRUCTURAL DETAILS
- S.4.0 CONNECTION DETAILS
- S.3.3 CONNECTION DETAILS

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- P-1 GRADE LEVEL WASTE PLAN
- P-2 OCEAN VIEW LEVEL WASTE PLAN
- P-3 BEACH BATH WASTE / SUPPLY
- P-4 PLUMBING DETAILS & NOTES

MECHANICAL:

- M-1 BEACH BATH VENTS & NOTES

ELECTRICAL:

- E-1 GRADE LEVEL POWER
- E-2 OCEAN VIEW POWER
- E-3 GRADE LEVEL LIGHTING
- E-4 OCEAN VIEW LIGHTING
- E-5 BEACH BATH LIGHTING & POWER
- E-6 SCHEDULES & NOTES

OCCUPANCY CALCULATIONS

1 st FLOOR			
USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
A3 ASSEMBLY	7 NET	980	140
2 nd FLOOR			
USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
STORAGE	300 GROSS	3360	11
TOTAL			151

PLUMBING CALCULATION

OCCUPANCY	TOTAL	MALE	FEMALE	LAV.	D.F.
A3 ASSEMBLY	151	3	3	2	2

DESIGN CRITERIA

DESCRIPTON:
THE PROJECT CONSISTS OF THE PARTIAL DEMOLITION OF DECKING & TRELLIS, RELOCATION OF THE ROOFED PORTION OF THE STRUCTURE & ELEVATING IT ON A NEW CMU FOUNDATION. ADDITION OF A NEW COVERED PORCH W/ GOLF CART PARKING BELOW.

Design Criteria for Code Compliance as of: 2012 IBC

PAVILION STRUCTURE:

Type of Construction: 5
Sprinkler: YES -Protected/Unprotected
Occupancy: MIXED A-3 & S-2

ALLOWABLE AREA (Table 503):

Building Floor Areas (Table 503)	Actual	Allowed
A-3	3,360 sqft	18,000 sqft
S-1	3,360 sqft	27,000 sqft

ALLOWABLE HEIGHTS (Table 503):

Building Height Above Grade:	Actual	Allowed
	29.0'	40.0'

Building Height in Stories: 2 2

A renovated beach pavilion for:
Leamington @ Palmetto Dunes
 North Shore Drive
 Hilton Head Island, S. C.

REVISIONS	DATE

DRAWN BY
TP
CHECKED BY

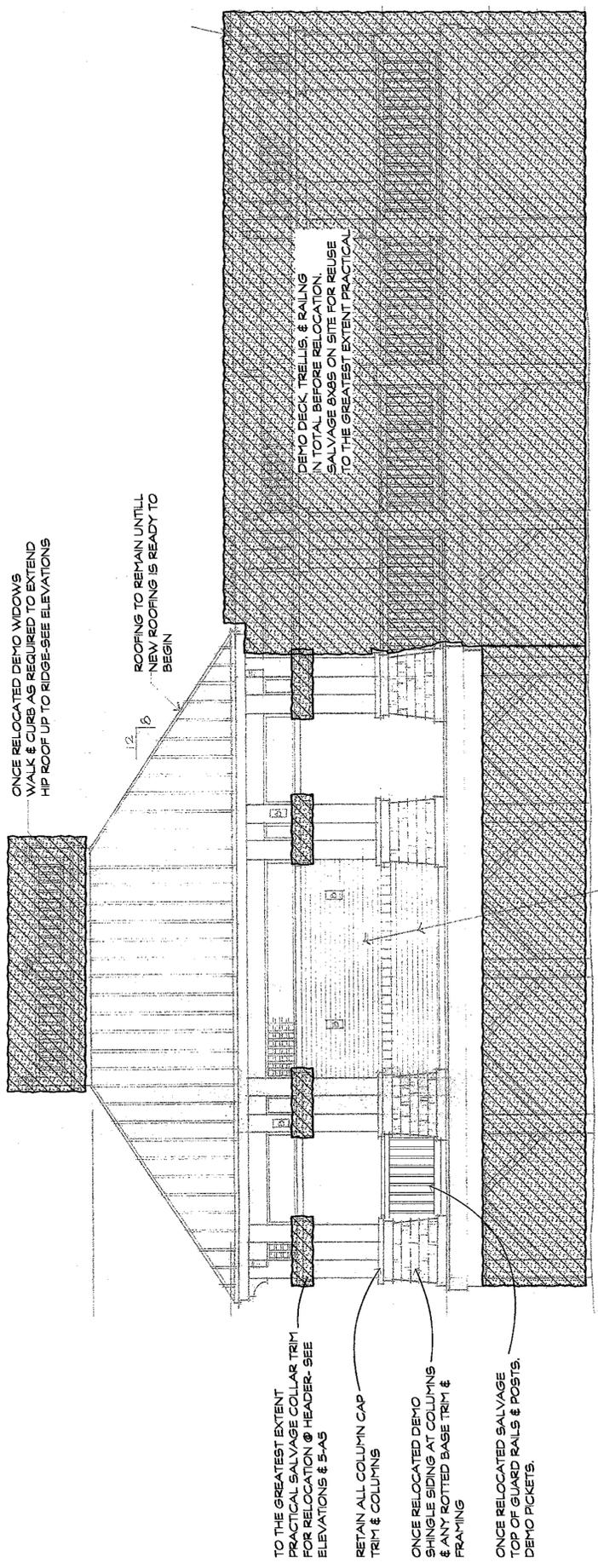
DATE OF ISSUE:
08/28/15

SCALE

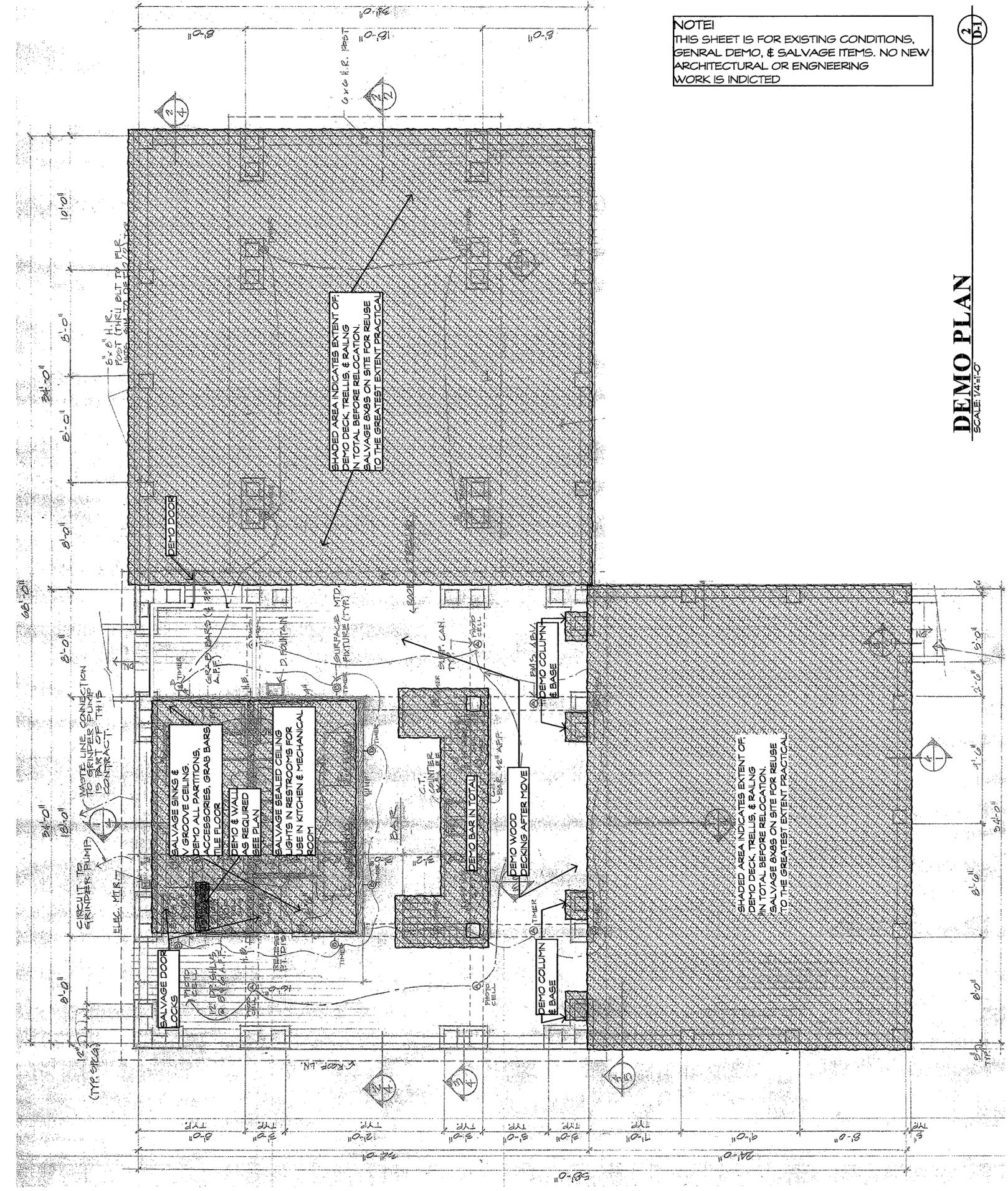
JOB NO.
1015

SHEET

T.1



DEMO ELEVATIONS-TYPICAL
SCALE: 1/4"=1'-0"



NOTE!
THIS SHEET IS FOR EXISTING CONDITIONS, GENERAL DEMO, & SALVAGE ITEMS. NO NEW ARCHITECTURAL OR ENGINEERING WORK IS INDICATED

DEMO PLAN
SCALE: 1/4"=1'-0"

REVISIONS	DATE

DRAWN BY
TP
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DATE OF ISSUE:
08/28/15
SCALE
JOB NO.
1015
SHEET

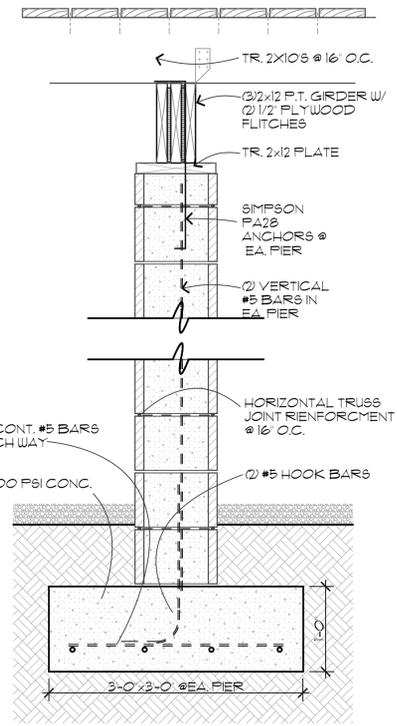
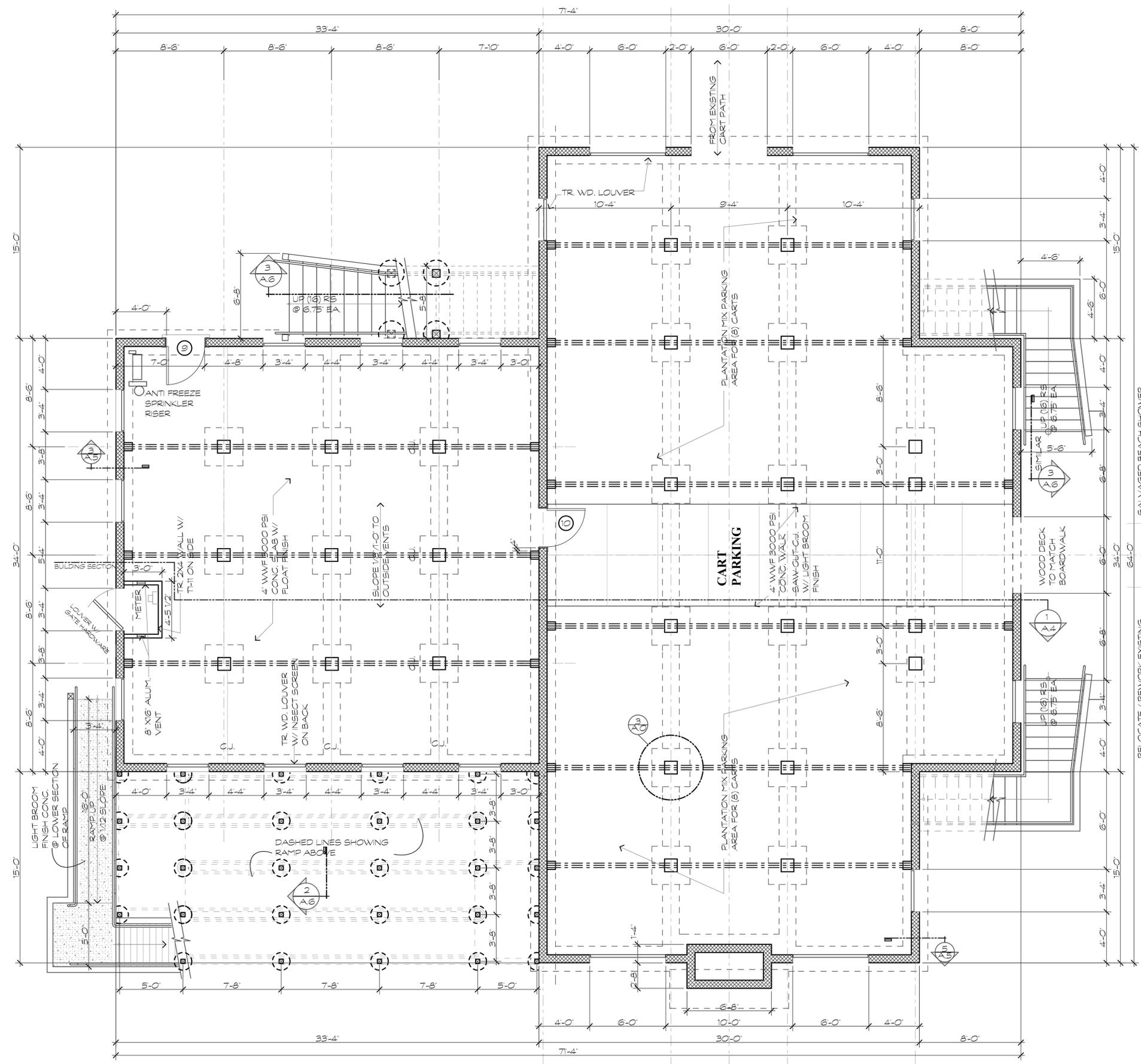
D.1
OF SHEETS

LEE & PARKER
architects
Post Office Box 5010
Hilton Head Island
South Carolina
29938
843.785.5171
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A renovated beach pavilion for:
Leamington @ Palmetto Dunes
North Shore Drive
Hilton Head Island, S. C.

REVISIONS	DATE

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GRADE LEVEL PLAN
SCALE: 1/4"=1'-0"

3
A-0

GRADE LEVEL PLAN
SCALE: 1/4"=1'-0"

4
A-0

DOOR SCHEDULE

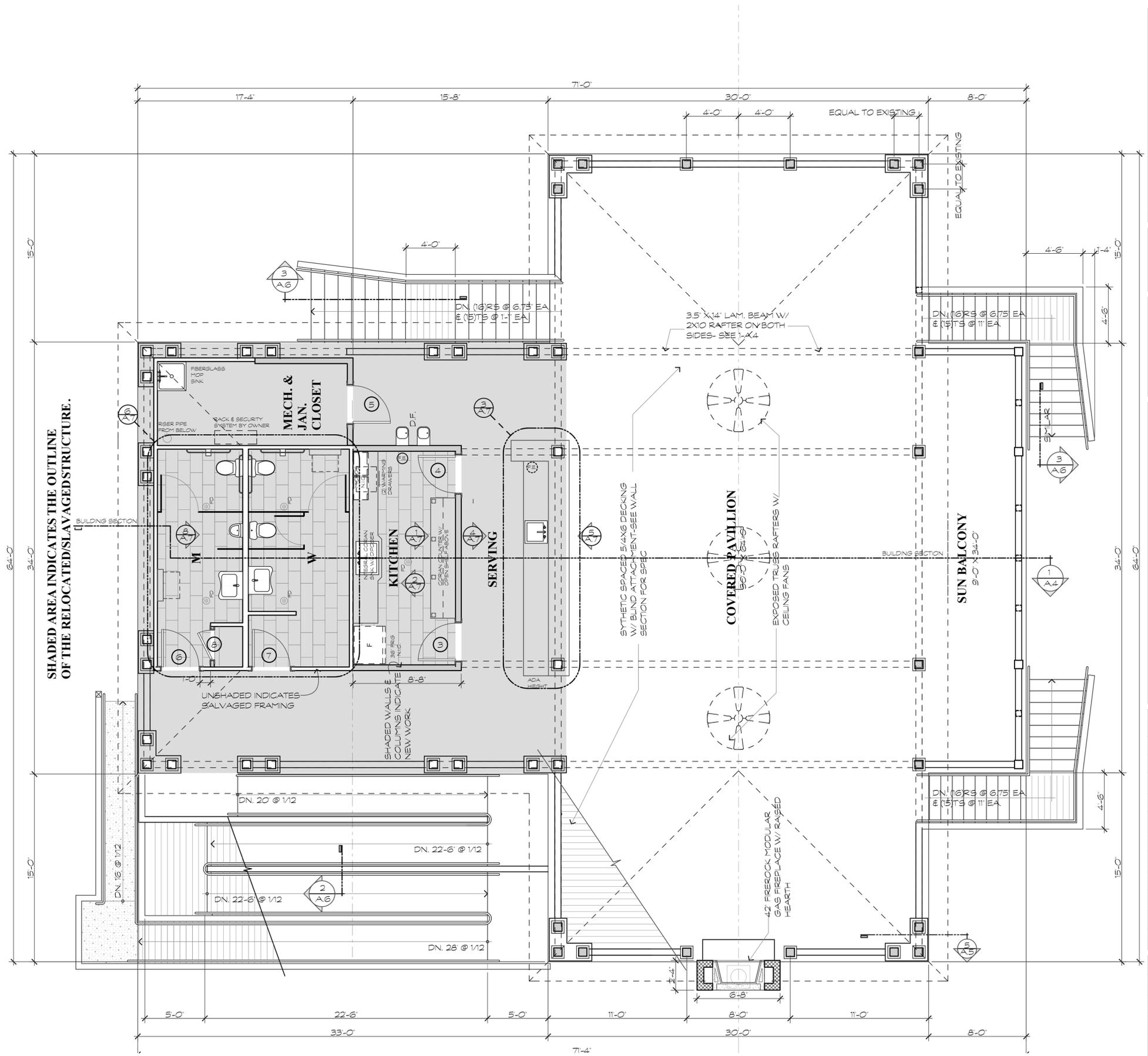
1. ALL DOORS TO BE THERMA TRUE SMOOTH STAR
2. ALL HARDWARE TO BE SCHLAGE & KEYED THE SAME

MARK	TYPE	SIZE	HARDWARE
ALL DOORS TO BE DP 60			
1	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	FE575 PLY 716 ACC
2	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	FE575 PLY 619 ACC
3	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	B60 COL. 716 W/ CLOSER/PUSH PULL & KICK PLATE
4	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	B60 COL. 716 W/ CLOSER/PUSH PULL & KICK PLATE
5	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	F51ACC716
6	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	FE575 PLY 716 ACC
7	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	FE575 PLY 619 ACC
8	6 PANEL FIBERGLASS	2'-6" x 6'-8" x 1 3/4"	F51ACC716
9	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	SALVAGED FROM EXISTING BATHS
10	6 PANEL FIBERGLASS	3'-0" x 6'-8" x 1 3/4"	SALVAGED FROM EXISTING BATHS

FINISH SCHEDULE

1. ALL TRIM TO MATCH EXISTING UNLESS NOTED OTHERWISE

ROOM NAME	FLOOR	WALL		CEILING			REMARKS
		Material	Base	Material	Finish	Height	
GRADE LEVEL							
CART PARKING	GRAVEL	NA	C.M.U.	UNFINISHED	EXPOSED W.D.	UNFINISHED	8'-0"
BEACH STORAGE	CONC.	NA	C.M.U.	UNFINISHED	UNFINISHED	UNFINISHED	8'-0"
OCEAN VIEW							
COVERED PAVILLION	SYNTH. WD.	NA	NA	WOOD	PAINT	VARIES	
JANITORIAL	EXISTING	EXISTING	EXISTING	PAINT	GYP. BD.	PAINT	9'-0" TYPE X 5/8
WOMENS	TILE	WOOD	WOOD	PAINT	EXISTING	PAINT	9'-0"
MENS	TILE	WOOD	WOOD	PAINT	EXISTING	PAINT	9'-0"
KITCHEN	LVT	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	9'-0" TYPE X 5/8



OCEAN VIEW LEVEL
SCALE: 1/4"=1'-0"

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A renovated beach pavilion for:
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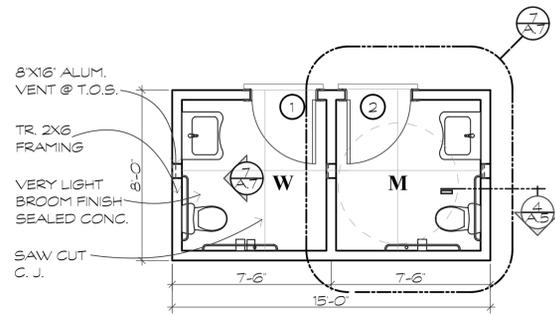
REVISIONS	DATE

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SHEET

A.1
OF SHEETS

REVISIONS	DATE

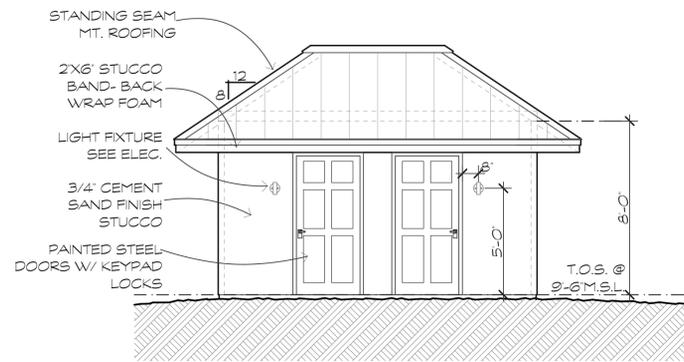
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DATE OF ISSUE: 08/28/15
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SHEET



BEACH BATH PLAN

SCALE: 1/4"=1'-0"

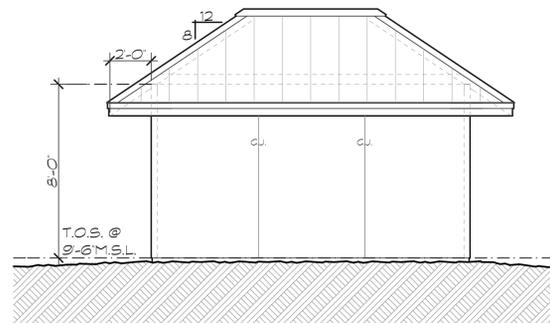
1
A-2



BEACH BATH ELEV.

SCALE: 1/4"=1'-0"

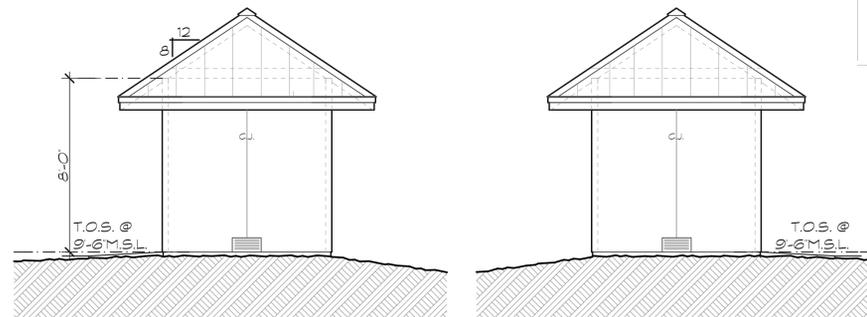
2
A-2



BEACH BATH ELEV.

SCALE: 1/4"=1'-0"

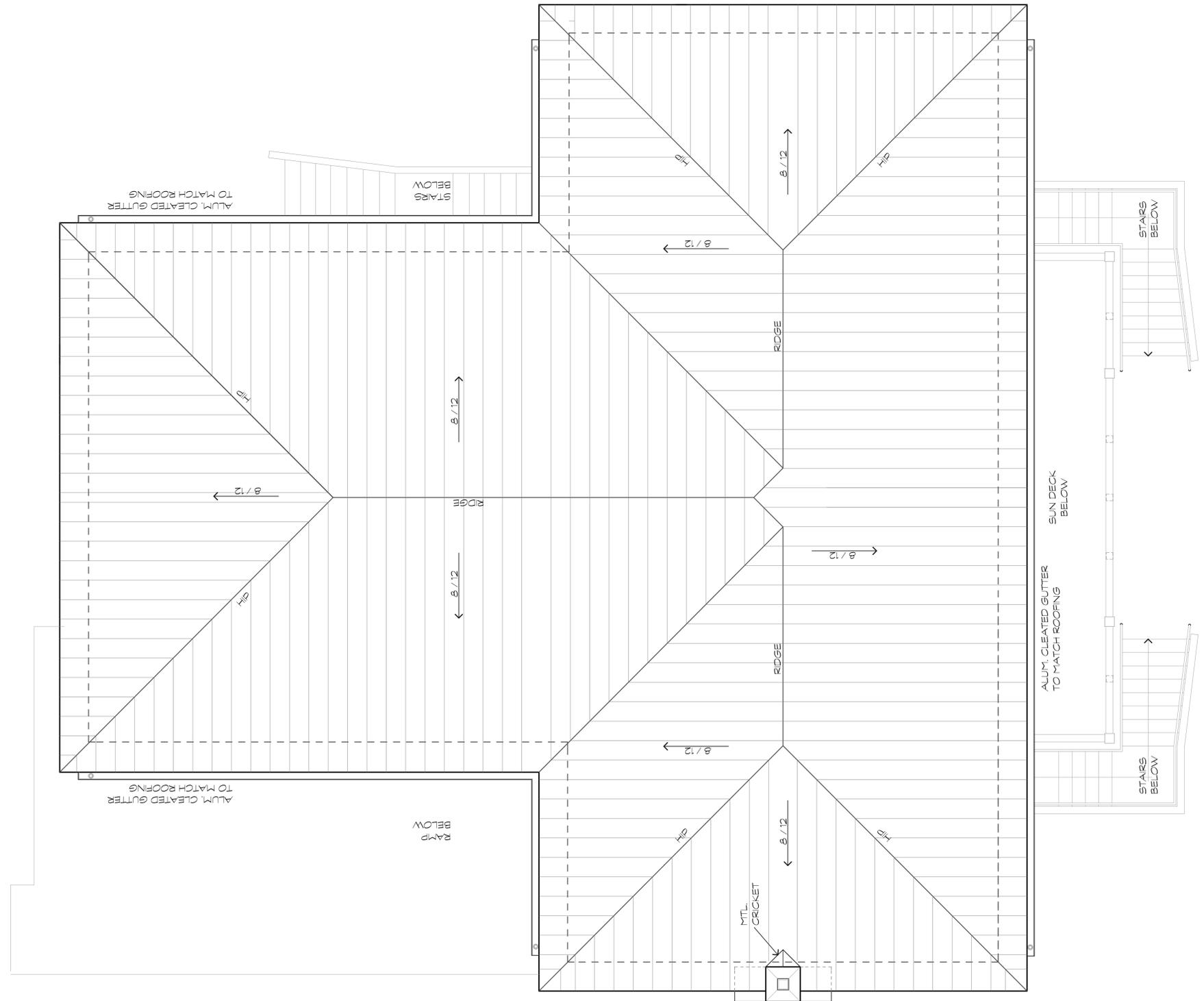
3
A-2



BEACH BATH ELEV.

SCALE: 1/4"=1'-0"

4
A-2



ROOF PLAN

SCALE: 1/4"=1'-0"

5
A-2

REVISIONS	DATE

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SCALE
JOB NO. 1015
SHEET



FRONT ELEVATION

SCALE: 1/4"=1'-0"

1
A-3



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"

2
A-3

LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"

3
A-3

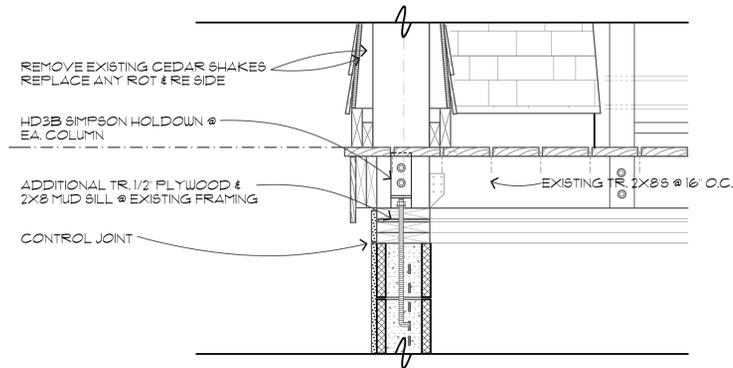
OCEAN SIDE ELEVATION

SCALE: 1/8"=1'-0"

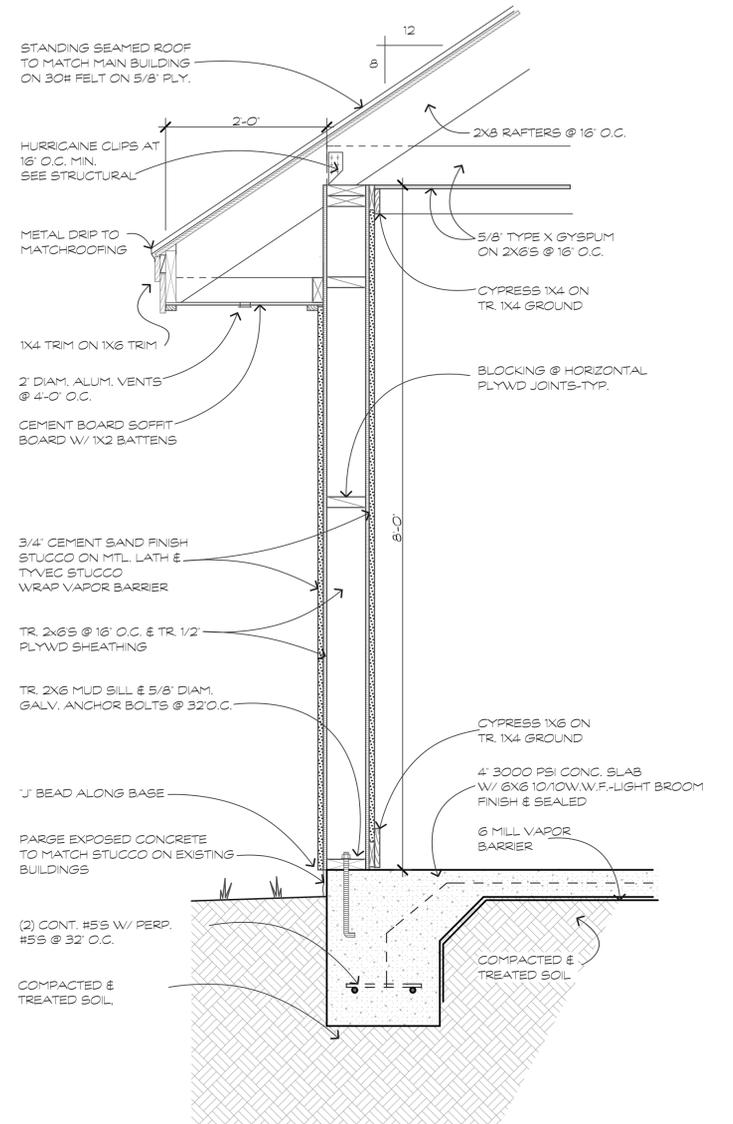
4
A-3

REVISIONS	DATE

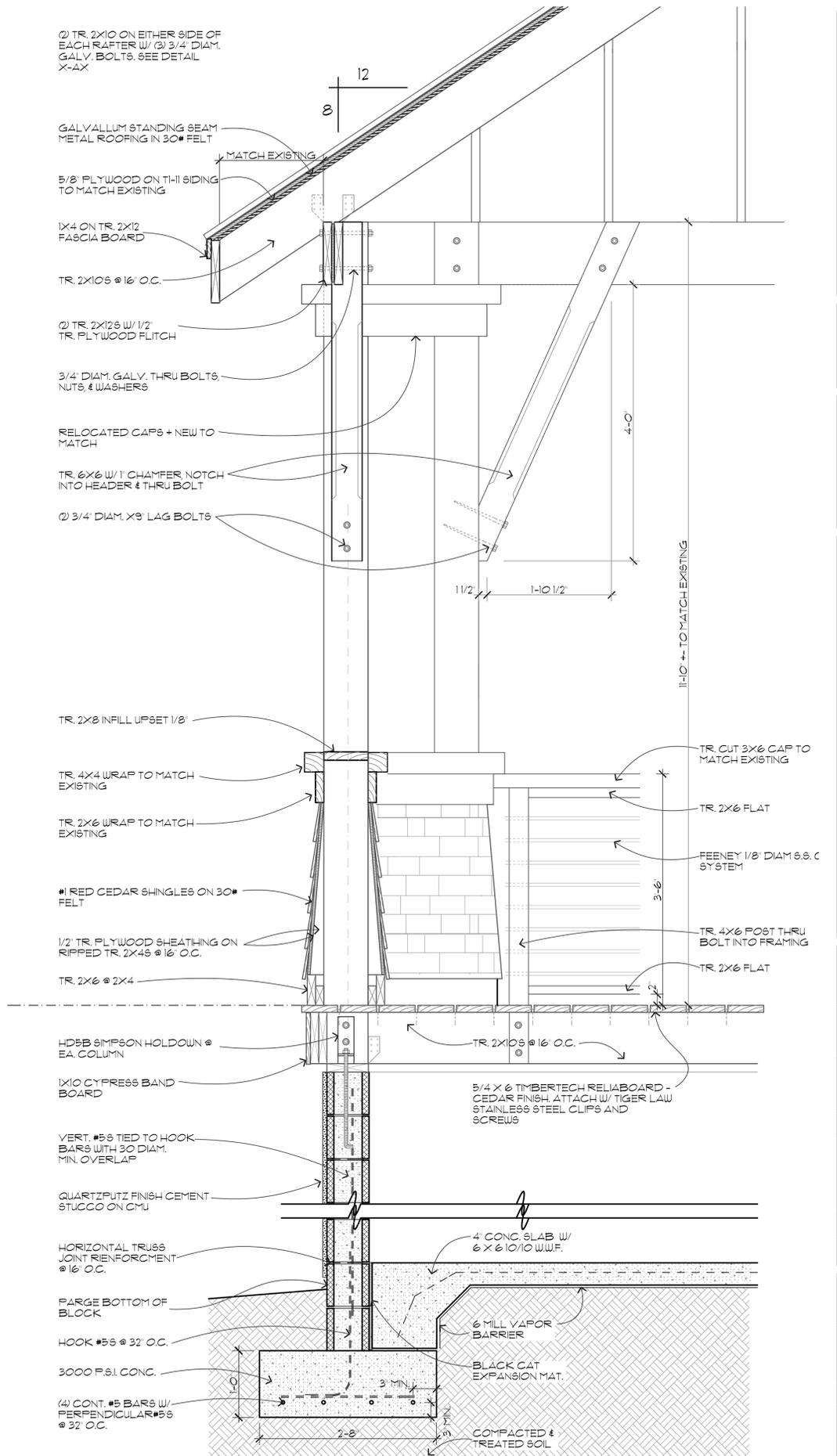
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DATE OF ISSUE: 08/28/15
SCALE
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SHEET



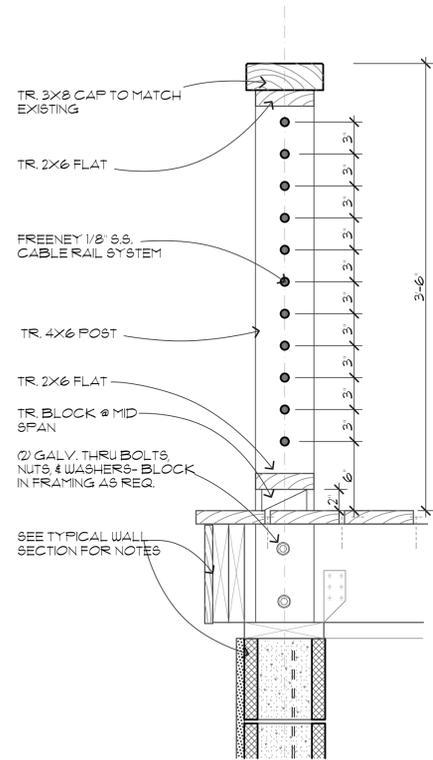
BEARING @ EXISTING BUILDING 3
SCALE: 1/4"=1'-0" A-5



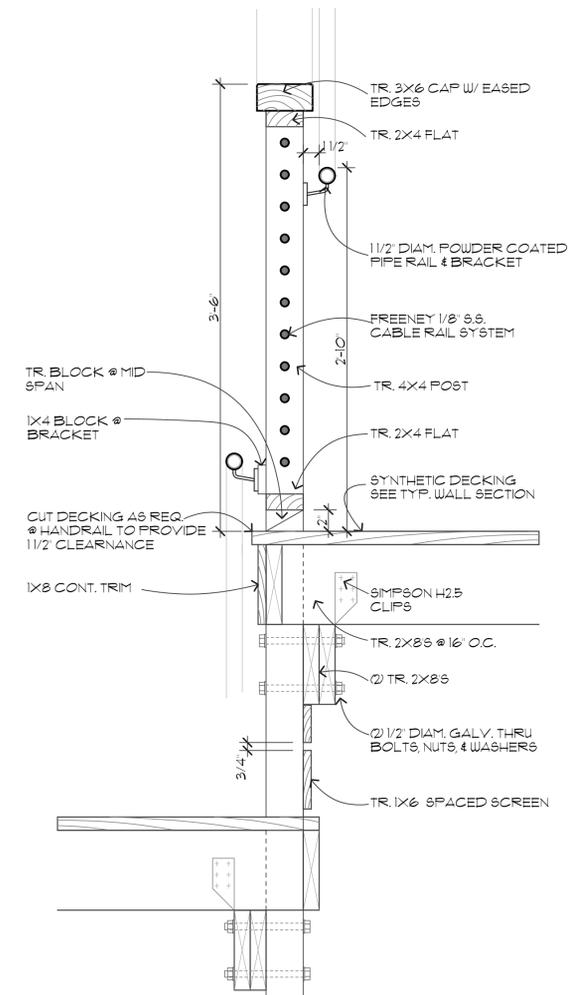
BEACH BATH HOUSE SECTION 4
SCALE: 1/4"=1'-0" A-5



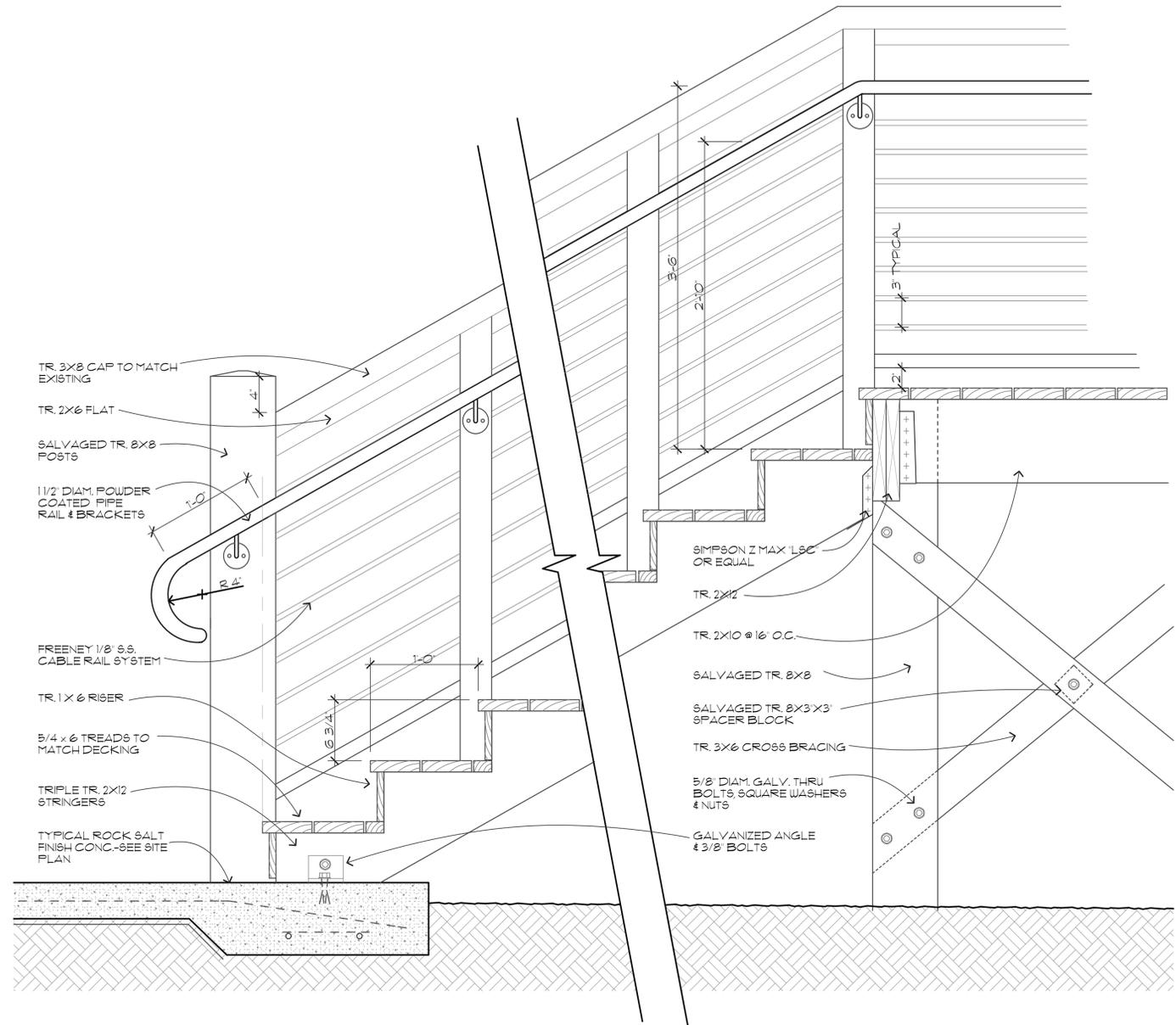
TYP. WALL SECTION 5
SCALE: 1/4"=1'-0" A-5



HANDRAIL
SCALE: 1/2"=1'-0"
1
A-6



RAMP HANDRAIL
SCALE: 1/2"=1'-0"
2
A-6



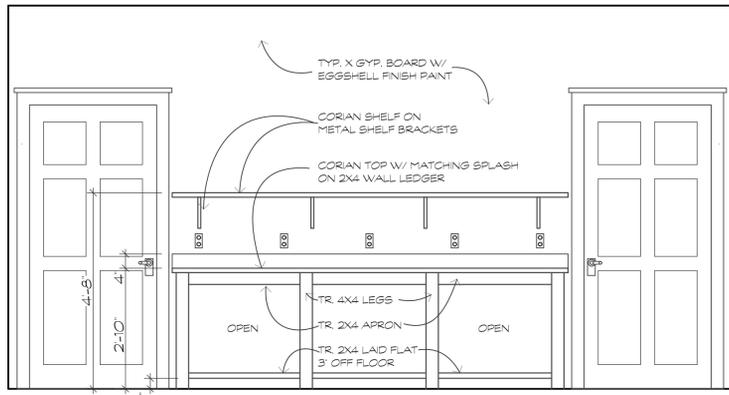
STAIR SECTION DETAIL
SCALE: 1/2"=1'-0"
2
A-6

REVISIONS	DATE

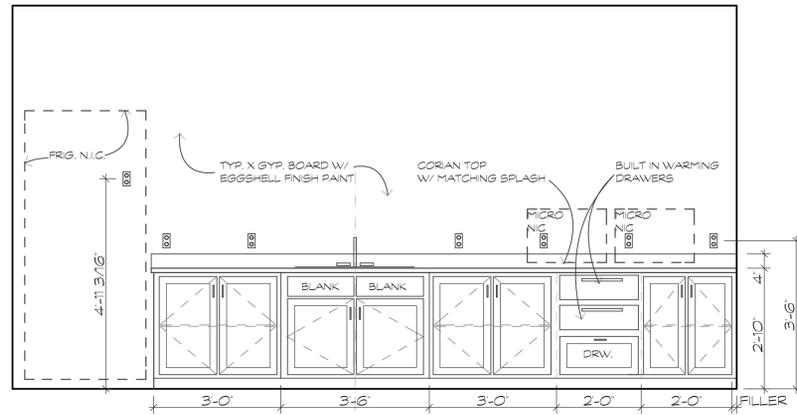
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SCALE
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SHEET

REVISIONS	DATE

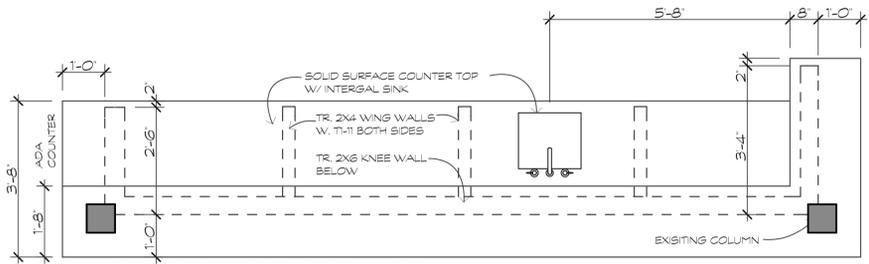
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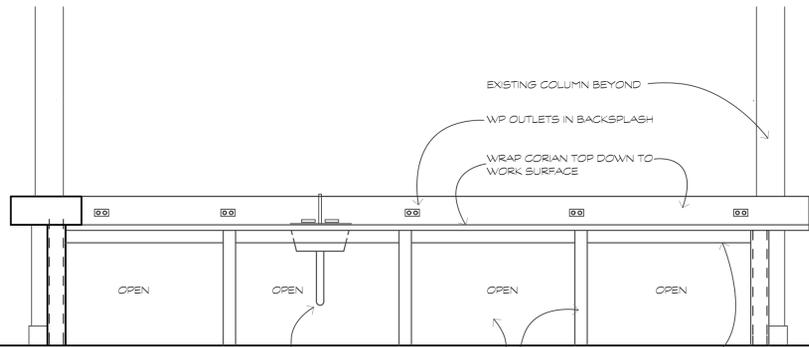
KITCHEN ELEVATIONS
SCALE: 1/2"=1'-0"



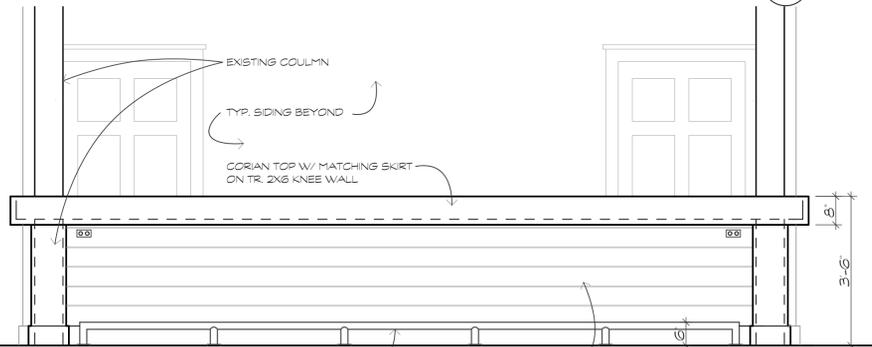
KITCHEN ELEVATIONS
SCALE: 1/2"=1'-0"



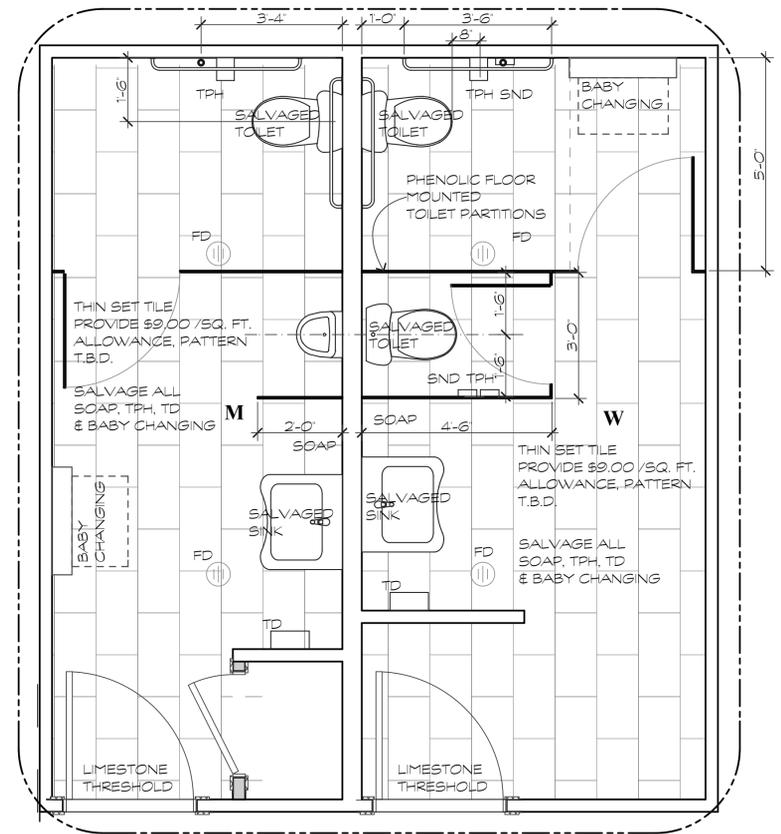
SERVING PLAN
SCALE: 1/2"=1'-0"



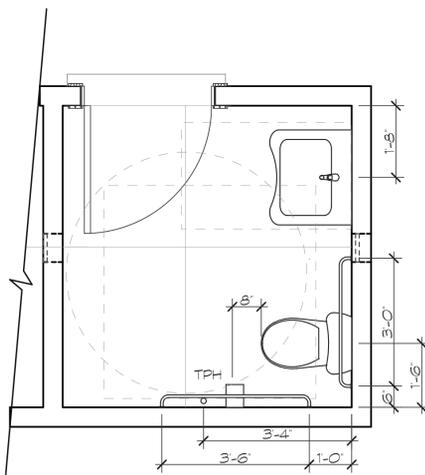
SERVING ELEVATION
SCALE: 1/2"=1'-0"



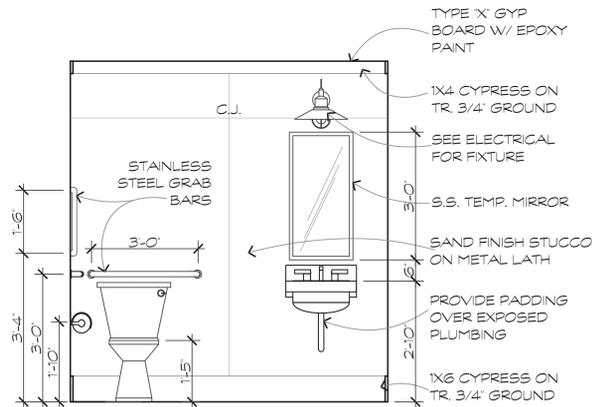
SERVING ELEVATION
SCALE: 1/2"=1'-0"



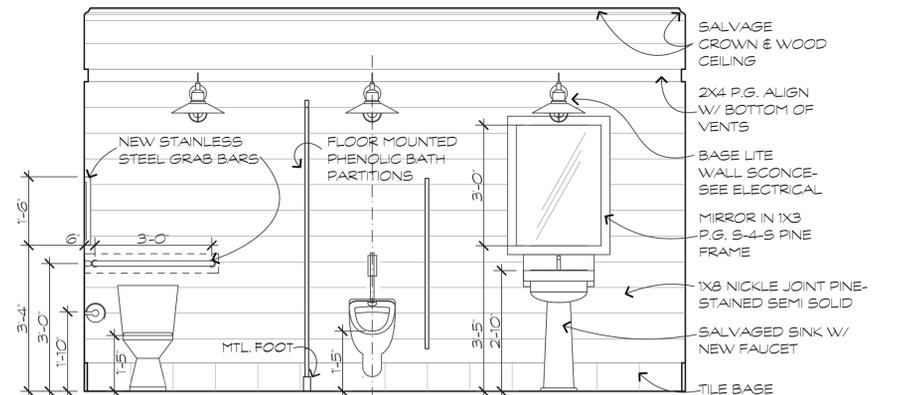
ENLARGED BATH PLAN
SCALE: 1/2"=1'-0"



BEACH BATHROOM ELEVATION
SCALE: 1/2"=1'-0"



TYPICAL BATHROOM ELEVATION
SCALE: 1/2"=1'-0"

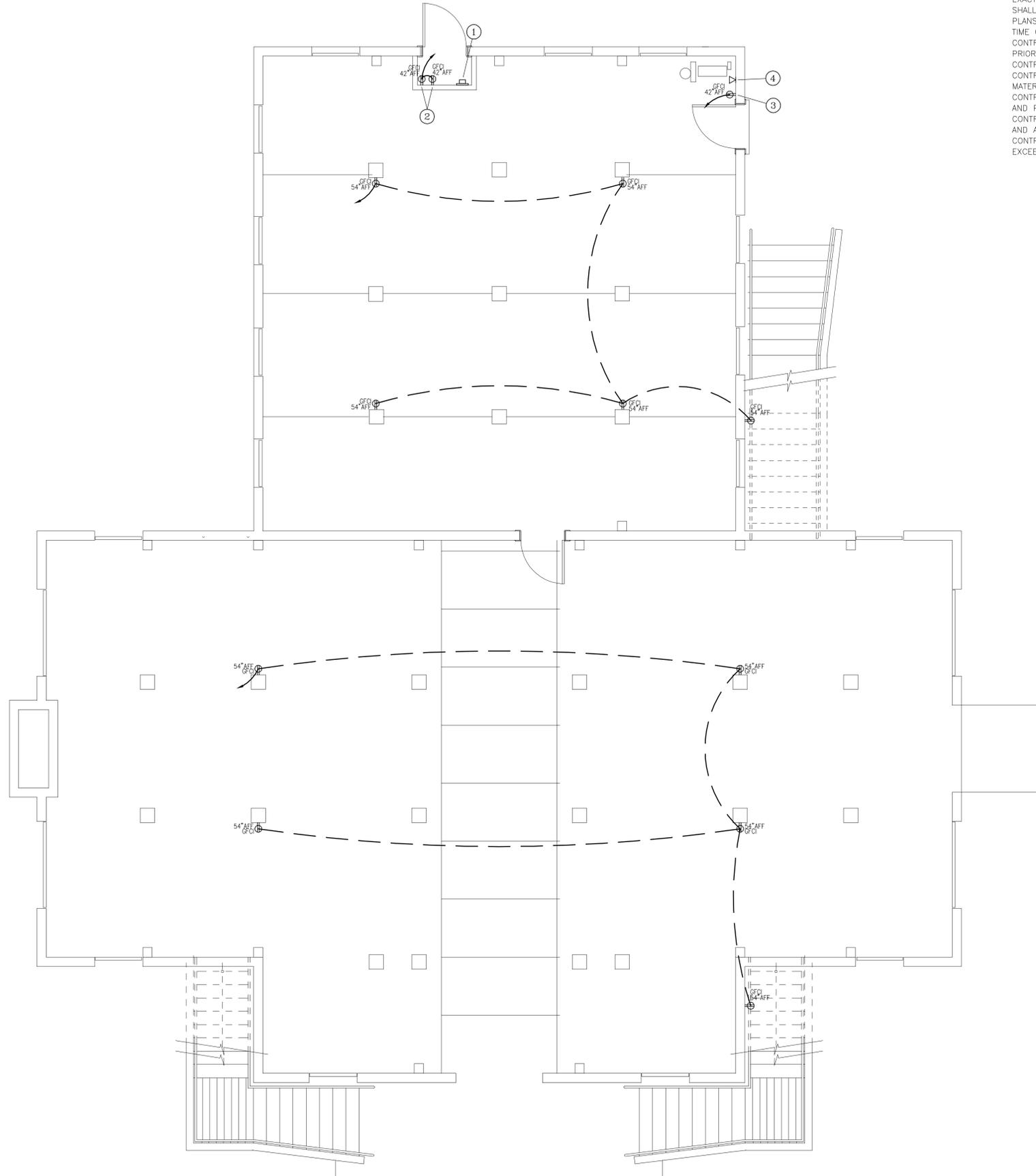


8
A-7

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	240 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLIX RECEPTACLE
	TELEPHONE OUTLET
	COMPUTER OUTLET
	DATA/TELEPHONE OUTLET
	SPST SWITCH
	DIMMER SWITCH
	DPST SWITCH
	THREE-WAY SWITCH
	DUAL TECHNOLOGY MOTION SENSOR SWITCH
	FLUORESCENT
	STRIP FLUORESCENT
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	EXHAUST FAN
	EXHAUST FAN/LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	PUSH BUTTON
	DOOR BELL
	JUNCTION BOX
	FLOOR COMPUTER OUTLET
	FLOOR DUPLEX RECEPT.
	FLOOR TELEPHONE OUTLET
	SMOKE DETECTOR
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE

GENERAL ELECTRICAL NOTES:

THIS DRAWING IS SCHEMATIC ONLY IN NATURE. EXACT ROUTING AND SIZE OF CONDUITS AND CONDUCTORS SHALL DEPEND ON LOCAL CONDITIONS AND CODE REQUIREMENTS. PLANS ARE BASED ON INFORMATION SUPPLIED BY OWNER AT THE TIME OF DESIGN.
 CONTRACTOR TO VERIFY SYSTEM REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION.
 CONTRACTOR TO VERIFY OWNER'S FIXTURE AND LAMP REQUIREMENTS. CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL EQUIPMENT AND MATERIALS FROM AREAS DISMANTLED.
 CONTRACTOR SHALL DISCARD ALL EXISTING CIRCUIT BREAKERS AND PROVIDE NEW DEVICES FOR ALL CIRCUITS ON THESE DRAWINGS. CONTRACTOR TO TAKE LOAD READINGS ON ALL PANEL FEEDERS AND ARRANGE CIRCUITS TO BALANCE LOADS WITHIN 5%.
 CONTRACTOR TO VERIFY EXISTING ELECTRICAL SYSTEM MEETS OR EXCEEDS CURRENT CODE REQUIREMENTS.



NOTES (THIS SHEET ONLY):

KEYED NOTES DESIGNATED BY ○

- ① RELOCATE EXISTING METER TO THIS LOCATION
- ② NEW RECEPTACLE FOR IRRIGATION SYSTEM
- ③ DEDICATED RECEPTACLE FOR SPRINKLER SYSTEM
- ④ TELEPHONE-PROVIDE 3/4" CONDUIT W/PULLWIRE TO 6" ABOVE CEILING



DESIGNED BY: RL
 CAD BY: RL
 CHECKED BY: JRO

ENGINEERED SYSTEMS
 55 NEW ORLEANS ROAD
 SUITE 200
 HILTON HEAD ISLAND, SC 29928
 843/686-5300

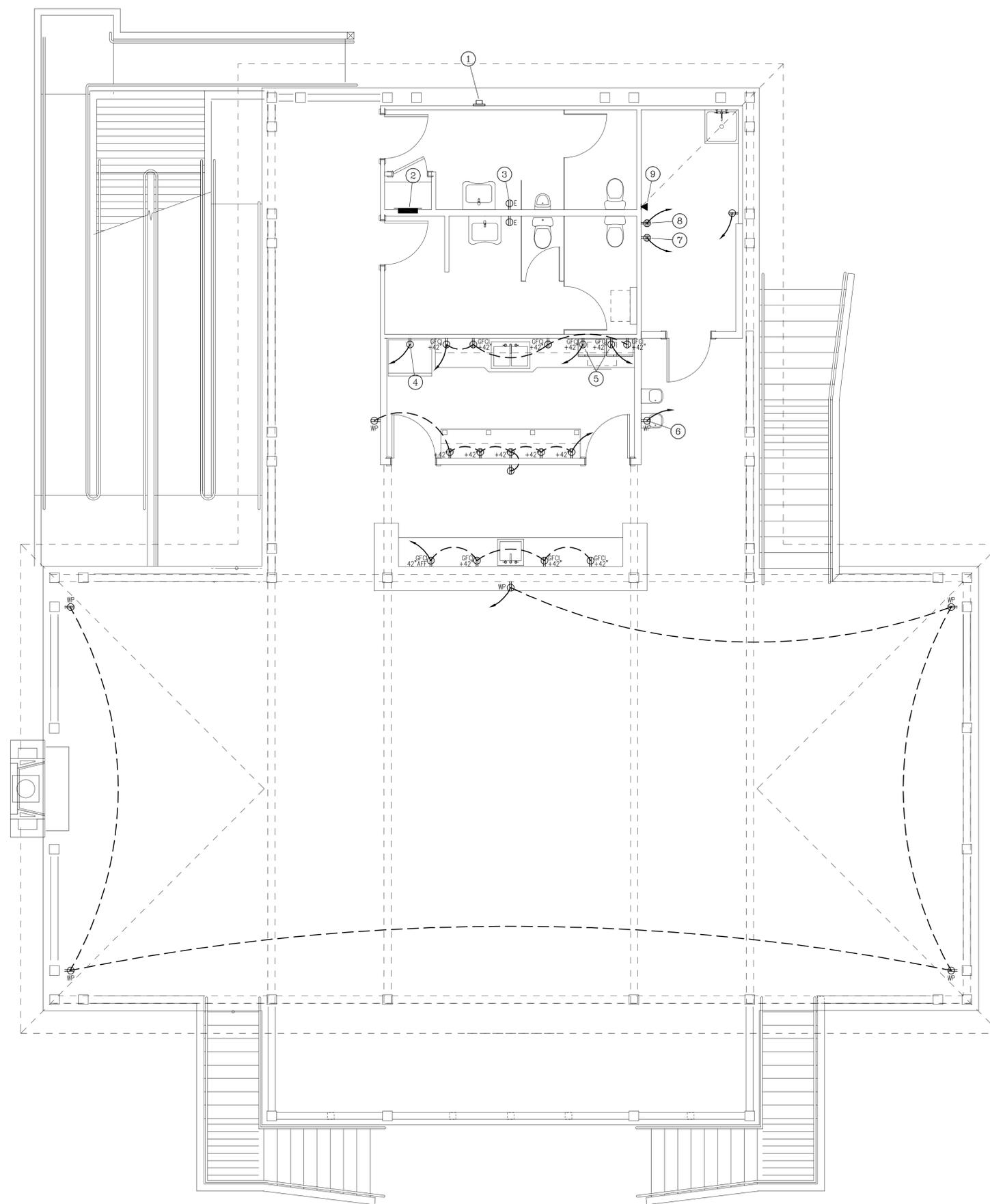
A RENOVATED BEACH PAVILLION FOR:
LEAMINGTON @ PALMETTO DUNES
 HILTON HEAD ISLAND, SOUTH CAROLINA

REVISION#	0	1
DATE	10/09/15	10/15/15
DESCRIPTION	DESIGN DEVELOPMENT	ISSUED FOR PERMIT

PROJECT NUMBER
 215154
 DRAWING
E-1
 SHEET NUMBER
 1 OF 6

GRADE LEVEL
 ELECTRICAL POWER DISTRIBUTION PLAN
 1/4"=1'-0"

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	240 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLEX RECEPTACLE
	TELEPHONE OUTLET
	COMPUTER OUTLET
	DATA/TELEPHONE OUTLET
	SPST SWITCH
	DIMMER SWITCH
	DPST SWITCH
	THREE-WAY SWITCH
	DUAL TECHNOLOGY MOTION SENSOR SWITCH
	FLUORESCENT
	STRIP FLUORESCENT
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	EXHAUST FAN
	EXHAUST FAN/LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	PUSH BUTTON
	DOOR BELL
	JUNCTION BOX
	FLOOR COMPUTER OUTLET
	FLOOR DUPLEX RECEPT.
	FLOOR TELEPHONE OUTLET
	SMOKE DETECTOR
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE



GENERAL ELECTRICAL NOTES:

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DESIGNED BY: RL
 CAD BY: RL
 CHECKED BY: JRO

ENGINEERED SYSTEMS
 55 NEW ORLEANS ROAD
 SUITE 200
 HILTON HEAD ISLAND, SC 29928
 843/686-5300

A RENOVATED BEACH PAVILLION FOR:
LEAMINGTON @ PALMETTO DUNES
 HILTON HEAD ISLAND, SOUTH CAROLINA

NOTES (THIS SHEET ONLY):

KEYED NOTES DESIGNATED BY ○

- ① EXISTING ELECTRICAL METER TO BE RELOCATED TO LOCATION SHOWN ON SHEET E-1
- ② EXISTING ELECTRICAL PANEL TO REMAIN
- ③ EXISTING RECEPTACLE TO REMAIN. TYPICAL OF RECEPTACLES MARKED "E"
- ④ NEW DEDICATED RECEPTACLE FOR REFRIGERATOR
- ⑤ NEW DEDICATED RECEPTACLE FOR MICROWAVE
- ⑥ NEW DEDICATED RECEPTACLE FOR WATER COOLER
- ⑥ NEW DEDICATED RECEPTACLE FOR WATER COOLER
- ⑦ NEW DEDICATED QUAD RECEPTACLE FOR SECURITY SYSTEM
- ⑧ NEW DEDICATED QUAD RECEPTACLE FOR COMPUTER NETWORK
- ⑨ COMPUTER-PROVIDE 3/4" CONDUIT W/PULLWIRE TO 6" ABOVE CEILING

OCEAN VIEW LEVEL
 ELECTRICAL POWER DISTRIBUTION PLAN

1/4"=1'-0"

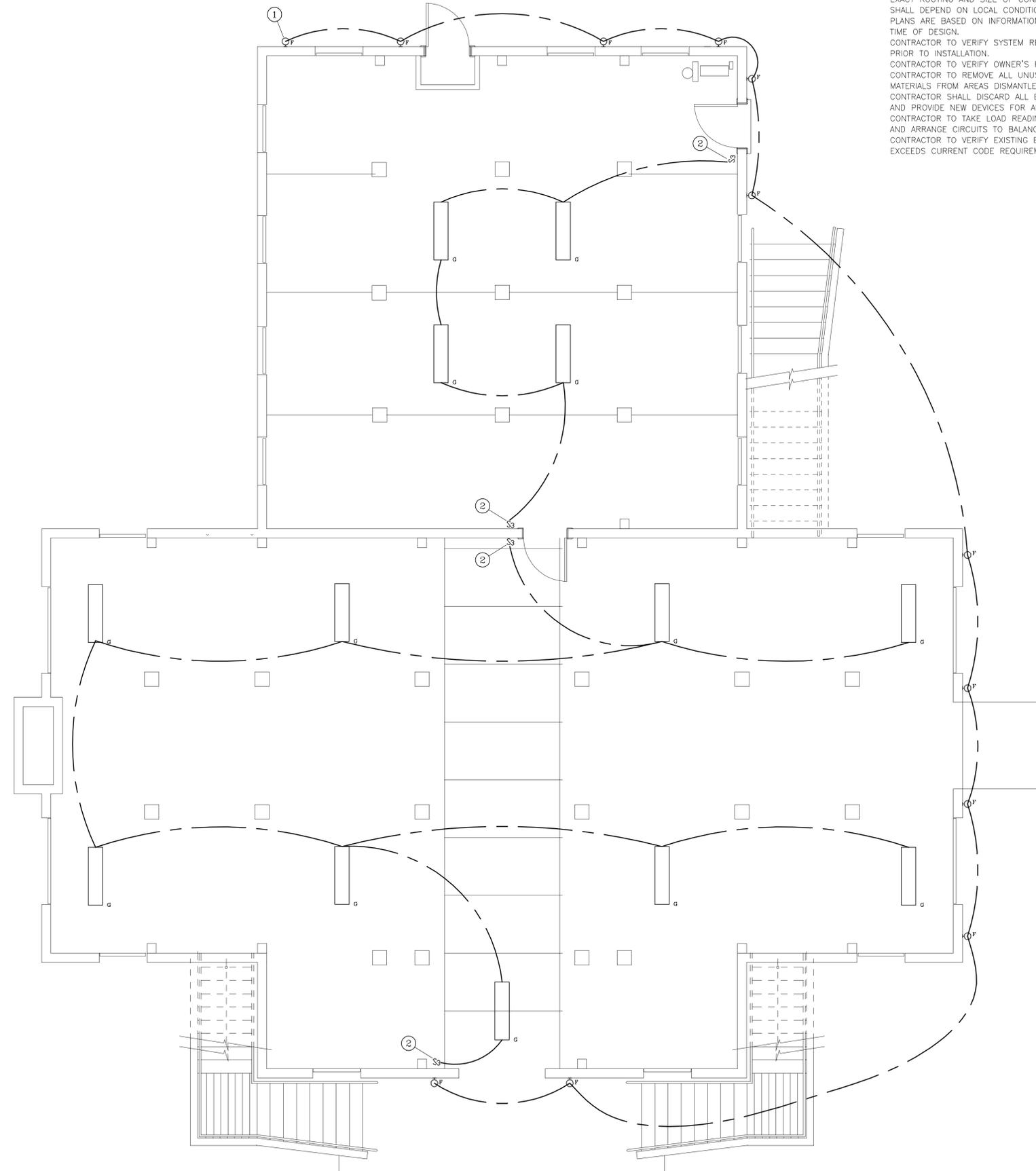
REVISION#	DATE	DESCRIPTION
0	10/09/15	DESIGN DEVELOPMENT
1	10/15/15	ISSUED FOR PERMIT

PROJECT NUMBER
 215154
 DRAWING
E-2
 SHEET NUMBER
 2 OF 6

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	240 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLEX RECEPTACLE
	TELEPHONE OUTLET
	COMPUTER OUTLET
	DATA/TELEPHONE OUTLET
	SPST SWITCH
	DIMMER SWITCH
	DPST SWITCH
	THREE-WAY SWITCH
	DUAL TECHNOLOGY MOTION SENSOR SWITCH
	FLUORESCENT
	STRIP FLUORESCENT
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	EXHAUST FAN
	EXHAUST FAN/LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	PUSH BUTTON
	DOOR BELL
	JUNCTION BOX
	FLOOR COMPUTER OUTLET
	FLOOR DUPLEX RECEPT.
	FLOOR TELEPHONE OUTLET
	SMOKE DETECTOR
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE

GENERAL ELECTRICAL NOTES:

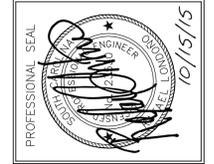
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NOTES (THIS SHEET ONLY):

KEYED NOTES DESIGNATED BY ○

- ① CONNECT TO PHOTOCELL/TIMER CIRCUIT. SEE DETAIL SHEET E-6
- ② BOTTOM OF SWITCH TO BE 54" AFF MIN. (ABOVE FLOOD ELEVATION)



DESIGNED BY: RL
 CAD BY: RL
 CHECKED BY: JRO

ENGINEERED SYSTEMS
 55 NEW ORLEANS ROAD
 SUITE 200
 HILTON HEAD ISLAND, SC 29928
 843/686-5300

A RENOVATED BEACH PAVILLION FOR:
LEAMINGTON @ PALMETTO DUNES
 HILTON HEAD ISLAND, SOUTH CAROLINA

REVISION#	DATE	DESCRIPTION
0	10/09/15	DESIGN DEVELOPMENT
1	10/15/15	ISSUED FOR PERMIT

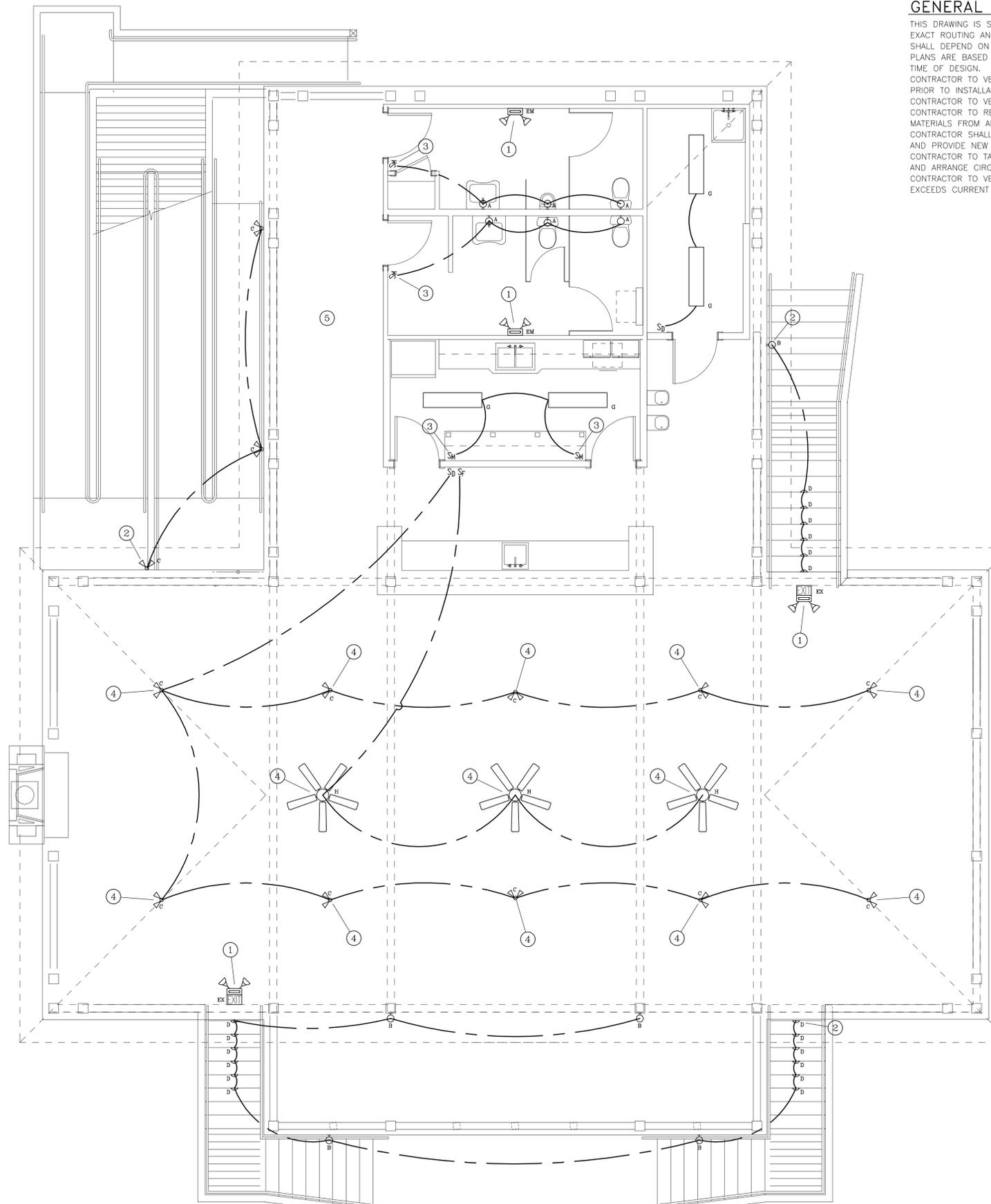
PROJECT NUMBER
 215154
 DRAWING
E-3
 SHEET NUMBER
 3 OF 6

GRADE LEVEL LIGHTING PLAN
 1/4"=1'-0"

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	240 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLEX RECEPTACLE
	TELEPHONE OUTLET
	COMPUTER OUTLET
	DATA/TELEPHONE OUTLET
	SPST SWITCH
	DIMMER SWITCH
	DPST SWITCH
	THREE-WAY SWITCH
	DUAL TECHNOLOGY MOTION SENSOR SWITCH
	FLUORESCENT
	STRIP FLUORESCENT
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	EXHAUST FAN
	EXHAUST FAN/LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	PUSH BUTTON
	DOOR BELL
	JUNCTION BOX
	FLOOR COMPUTER OUTLET
	FLOOR DUPLEX RECEPT.
	FLOOR TELEPHONE OUTLET
	SMOKE DETECTOR
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE

GENERAL ELECTRICAL NOTES:

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 CONTRACTOR TO VERIFY EXISTING ELECTRICAL SYSTEM MEETS OR EXCEEDS CURRENT CODE REQUIREMENTS.



NOTES (THIS SHEET ONLY):

KEYED NOTES DESIGNATED BY ○

- ① CONNECT TO LOCAL UNSWITCHED LIGHTING CIRCUIT
- ② CONNECT TO PHOTOCELL/TIMER CIRCUIT. SEE DETAIL SHEET E-6
- ③ DUAL TECHNOLOGY MOTION SENSOR SWITCH
- ④ SEE ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS
- ⑤ EXISTING LIGHTING TO BE REUSED TO THE GREATEST EXTENT POSSIBLE



DESIGNED BY: RL
 CAD BY: RL
 CHECKED BY: JRO

ENGINEERED SYSTEMS
 55 NEW ORLEANS ROAD
 SUITE 200
 HILTON HEAD ISLAND, SC 29928
 843/686-5300

A RENOVATED BEACH PAVILLION FOR:
LEAMINGTON @ PALMETTO DUNES
 HILTON HEAD ISLAND, SOUTH CAROLINA

DESCRIPTION	DESIGN DEVELOPMENT
ISSUED FOR PERMIT	
DATE	10/09/15
	10/15/15
REVISION#	0
	1

PROJECT NUMBER
 215154
 DRAWING
E-4
 SHEET NUMBER
 4 OF 6

OCEAN VIEW LEVEL
 LIGHTING PLAN

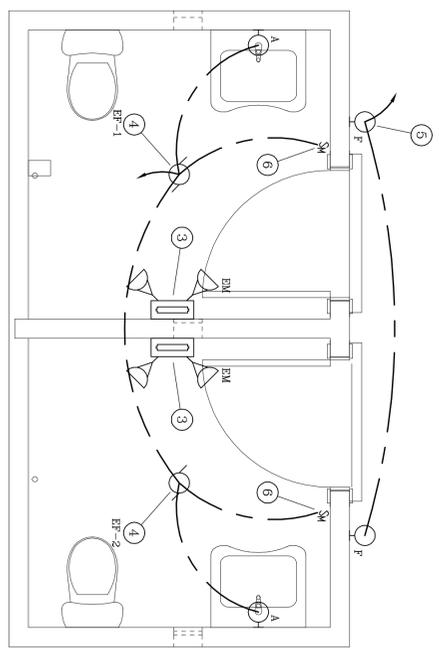
1/4"=1'-0"

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE-GFI
	240 V RECEPTACLE
	WATER PROOF RECEPT. GFI
	QUADRUPLEX RECEPTACLE
	TELEPHONE OUTLET
	COMPUTER OUTLET
	DATA/TELEPHONE OUTLET
	SPST SWITCH
	DIMMER SWITCH
	DPST SWITCH
	THREE-WAY SWITCH
	DUAL TECHNOLOGY MOTION SENSOR SWITCH
	STRIP FLUORESCENT
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	EXHAUST FAN
	EXHAUST FAN/LIGHT
	DISCONNECT
	FLUSH MOUNTED PANEL
	SURFACE MOUNTED PANEL
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT & EMERGENCY LIGHT
	SWITCH LEG
	HOME RUN TO PANEL
	POWER LEG
	PUSH BUTTON
	DOOR BELL
	JUNCTION BOX
	FLOOR COMPUTER OUTLET
	FLOOR DUPLEX RECEPT.
	FLOOR TELEPHONE OUTLET
	SMOKE DETECTOR
	CABLE TV OUTLET
	TRACK LIGHT
	SPECIAL RECEPTACLE

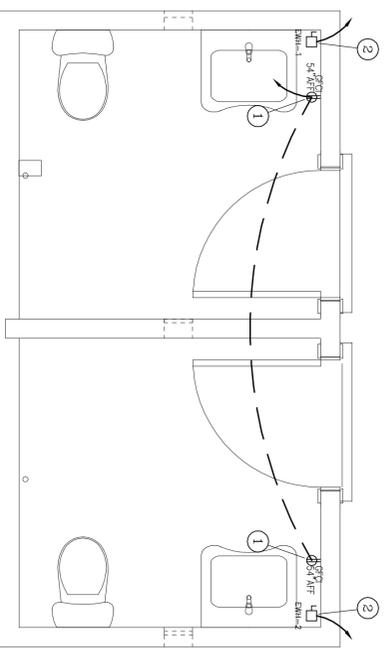
NOTES (THIS SHEET ONLY):

KEYED NOTES DESIGNATED BY ○-

- ① BOTTOM OF RECEPTACLE TO BE 5'-4" AFF MIN. (ABOVE FLOOD ELEVATION)
- ② DISCONNECT FOR INSTANT WATER HEATER, BOTTOM OF RECEPTACLE TO BE 5'-4" AFF MIN. (ABOVE FLOOD ELEVATION)
- ③ CONNECT TO LOCAL UNSWITCHED LIGHTING CIRCUIT
- ④ CEILING EXHAUST FAN, EXHAUST DUCT TO EXTERIOR WALL, CAP W/INSECT SCREEN & BACKDRIFT DAMPER, VERIFY LOCATION W/ARCHITECT
- ⑤ CONNECT TO PHOTOCELL/TIMER CIRCUIT, SEE DETAIL SHEET E-6
- ⑥ DUAL TECHNOLOGY MOTION SENSOR SWITCH



BEACH BATH LIGHTING PLAN
1/2"=1'-0"



BEACH BATH ELECTRICAL POWER DISTRIBUTION PLAN
1/2"=1'-0"

GENERAL ELECTRICAL NOTES:

THIS DRAWING IS SCHEMATIC ONLY IN NATURE. EXACT ROUTING AND SIZE OF CONDUITS AND CONDUCTORS SHALL DEPEND ON LOCAL CONDITIONS AND CODE REQUIREMENTS. PLANS ARE BASED ON INFORMATION SUPPLIED BY OWNER AT THE TIME OF DESIGN.
CONTRACTOR TO VERIFY SYSTEM REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION.
CONTRACTOR TO VERIFY OWNER'S FIXTURE AND LAMP REQUIREMENTS.
CONTRACTOR TO REMOVE ALL UNUSED ELECTRICAL EQUIPMENT AND MATERIALS FROM AREAS DISMANTLED.
CONTRACTOR SHALL DISCARD ALL EXISTING CIRCUIT BREAKERS AND PROVIDE NEW DEVICES FOR ALL CIRCUITS ON THESE DRAWINGS.
CONTRACTOR TO TAKE LOAD READINGS ON ALL PANEL FEEDERS AND ARRANGE CIRCUITS TO BALANCE LOADS WITHIN 5%
CONTRACTOR TO VERIFY EXISTING ELECTRICAL SYSTEM MEETS OR EXCEEDS CURRENT CODE REQUIREMENTS.

NOTE:
PROVIDE POWER FROM MAIN BUILDING

NOTE:
PROVIDE POWER FROM MAIN BUILDING

A RENOVATED BEACH PAVILLION FOR:
LEAMINGTON @ PALMETTO DUNES
HILTON HEAD ISLAND, SOUTH CAROLINA

ENGINEERED SYSTEMS
55 NEW ORLEANS ROAD SUITE 200
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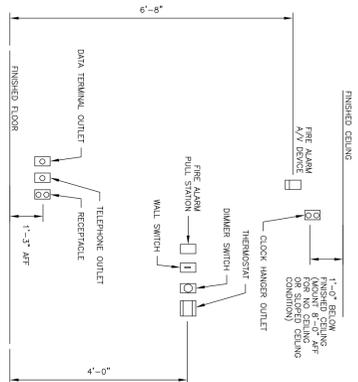
DESIGNED BY: RL
CAD BY: RL
CHECKED BY: JRO

PROFESSIONAL SEAL

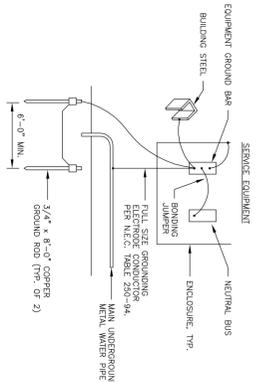
CORPORATE SEAL

REVISION#	DATE	DESCRIPTION
0	10/09/15	DESIGN DEVELOPMENT
1	10/15/15	ISSUED FOR PERMIT

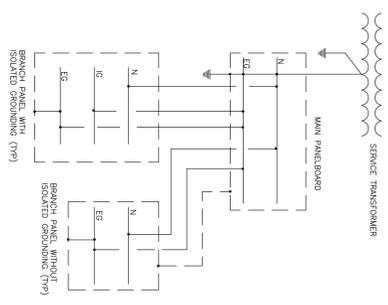
PROJECT NUMBER
215154
DRAWING
E-5
SHEET NUMBER
5 OF 6



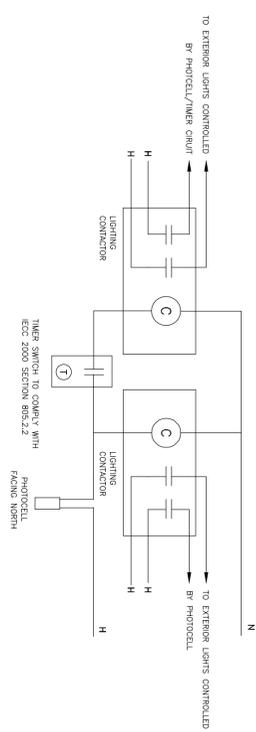
MOUNTING HEIGHTS
SCHEMATIC ONLY



GROUNDING ELECTRODE DETAIL
SCHEMATIC ONLY



GROUNDING DIAGRAM
SCHEMATIC ONLY



EXTERIOR LIGHTING PHOTOCELL/TIMER CIRCUIT DIAGRAM
SCHEMATIC ONLY

GENERAL ELECTRICAL NOTES

1. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF N.E.C. AND ALL LOCAL CODES AND ORDINANCES.
2. ALL MATERIALS SHALL BE NEW AND OF DOMESTIC ORIGIN AND SHALL BEAR UNDERWRITERS LABEL WHERE APPLICABLE.
3. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS MANNER. THE COMPLETED SYSTEM IS TO BE FULLY INSULATED AND PROTECTED AGAINST WEATHER AND MECHANICAL DAMAGE. ALL WORK MUST BE A CONDITION OF THE SUB CONTRACT.
4. ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
6. CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND WITHOUT DELAY TO ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
7. EMERGENCY & EXIT LIGHTS TO BE POWERED FROM UNSWITCHED LOCAL LIGHTING CIRCUIT PER NEC 700-12 (c)
8. EXTEND 3/4" C ABOVE CEILING TO JUNCTION BOX FOR ALL TELEVISION, TELEPHONE AND SOUND SYSTEM OUTLETS, WITH PULLWIRE UNLESS OTHERWISE NOTED.
9. ELECTRICAL INSTALLATION TO MEET ALL STANDARD REQUIREMENTS OF LOCAL POWER AND TELEPHONE COMPANIES.
10. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING, UNLESS OTHERWISE NOTED. ALL CONDUCTORS SHALL BE COPPER WITH THIN/THHN INSULATION UNLESS OTHERWISE INDICATED. ALL THIN/THHN SHALL BE #8 AND LARGER TO BE STRANDED.
11. ALL UNDERGROUND RACEWAYS SHALL BE GALVANIZED RIGID STEEL CONDUIT. ALL UNDERGROUND RACEWAYS SHALL BE IDENTIFIED BY MARKINGS INDICATED TO COMPLY WITH GOVERNING AUTHORITIES.
12. OUTLET BOXES SHALL BE RECESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THERMOPLASTIC INLET OR RECESSED LOCATIONS AND BE OF SPECIFIC CONFIGURATION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILING WHENEVER POSSIBLE.
13. DISCONNECT SWITCHES SHALL BE H.P. RATED, GENERAL DUTY, QUICK-MAKE, LOCATION (WEATHERPROOF, EXPLOSION PROOF, ETC.).
14. ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. MANUFACTURER'S CATALOG NUMBERS LISTED ARE LENTON, HOWEVER, ACCEPTED COLOR OF DEVICES SHALL BE DICTATED BY ARCHITECT/OWNER.
- A. SWITCHES: SINGLE POLE-1-LETON #5621-2 / THREE WAY-LETON #5623-2
- B. RECEPTACLES: DUPLEX OUTLET-LETON #16362 OR 16382-16.
- C. DIMMERS: LUPRON NOVA SERIES
- NOTE: ALL REQUIRED DEVICES SHALL MATCH IN COLOR AND STYLE.
15. ALL RACEWAYS AND PIPES, SPACED IN OR THROUGH ANY CONCRETE SLAB SHALL BE SPACED A MINIMUM OF THREE TIMES THE DIAMETER OF THE LARGEST RACEWAY.
16. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
17. FURNISH AND INSTALL DISCONNECT SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING SYSTEM AS SHOWN ON PLANS. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH MECHANICAL CONTRACTOR REGARDING SPLIT SYSTEM AND CONDENSATE PUMP CONNECTIONS.
18. ALL SWITCH GEAR SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. SYSTEM DESIGN IS BASED ON THE "SQUARE D" CO.; HOWEVER, COMPARABLE DEVICES BY WESTINGHOUSE/CHALLENGER, G.E., AND THE WILL BE ACCEPTABLE.
19. ALL UNDERGROUND PVC CONDUIT RUNS SHALL HAVE RIGID STEEL ELBOWS AND RIGID STEEL SECTIONS AT SLAB PENETRATIONS WHERE SUBJECT TO POSSIBLE AN ALKALI AND RUST-RESISTANT BITUMASTIC PAINT. COPPER NO. 50 AND THREADS SHALL BE COATED WITH ZINC CHROMATE.
20. THE ELECTRICAL CONTRACTOR SHALL MEET AND COORDINATE WITH THE LOCAL POWER COMPANY AT THE SITE PRIOR TO CONSTRUCTION. AT THAT TIME, THE CONTRACTOR SHALL COORDINATE ALL RELATED WORK WITH THE UTILITY COMPANY'S RESPONSIBILITIES TO MEET THE OWNERS SCHEDULE.
21. ALL ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN AN APPROVED RACEWAY. MANUFACTURER OF 120 VOLT CIRCUITS ALLOWED IN A COMMON CONDUIT SHALL BE IDENTIFIED ON THE PLANS. ALL CONDUIT SHALL BE IDENTIFIED BY MARKINGS INDICATED TO COMPLY WITH GOVERNING AUTHORITIES.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT PENETRATIONS THROUGH ROOF AND FLOOR SLABS.
23. ELECTRICAL POWER SUPPLY FOR RECESSED SWITCH RECEPTORS AND OTHER FIRE ALARM REQUIREMENTS SHALL BE FROM A DEDICATED CIRCUIT BREAKER.
24. ELECTRICAL CONTRACTOR TO PROVIDE PERMANENT TYPED CIRCUIT USE LIST IN EACH PANEL.
25. EXTEND TWO (2) 1" C FROM EACH PANEL, W/PULLWIRE, TO ATTIC JUNCTION BOX (FOR FUTURE CIRCUITS)
26. LOAD DATA IS BASED ON INFORMATION GIVEN ENGINEER AT THE TIME OF DESIGN, VERIFY ALL EQUIPMENT NAMEPLATE RATINGS BEFORE ORDERING.
27. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
28. ALL SERVICE ENTRANCE DISCONNECTS SHALL BE PERMANENTLY LABELED FOR THE SPACE THEY SERVE.
29. SIGNAGE SHALL BE PROVIDED FOR ALL ELECTRICAL PANELS STATING THERE WILL BE NO STORAGE WITHIN 36" OF PANELS.
30. ELECTRICAL WIRING SHALL BE IN IN A CONDUIT SYSTEM, PER APPLICABLE SECTIONS OF THE NEC MUNICIPAL AND COUNTY ORDINANCES.

MARK	MANUFACTURER	MODEL	LAMP	REMARKS
A	BASELITE	DBTCGR/49/26W	(1)-26W CFL	DECORATIVE WALL MOUNTED FIXTURE
B	INTENSE	W7108130-30ST	(1)-3.8W LED	LED WALL MOUNT MINI CYLINDER DOWNLIGHT
C	SPJ LIGHTING	SP150-06	(1)-18.5W SORBA LED PAR 38	DIAL HEAD FLOOD LIGHT
D	WAC LIGHTING	WL-LED100-C-SS	(1)-3.8W LED	STEP LIGHT
EM	DURAGUARD	EWVLEP8BTRC	EMVLED	EMERGENCY LIGHT
E	INTENSE	W711310-06	(1)-7.6W LED	EMERGENCY LIGHT/EXIT SIGN COMBINATION
F	INTENSE	W711310-06	1/2W LED	LED WALL MOUNT MINI CYLINDER UP/DOWNLIGHT
H	HUNTER	BRIDGEPORT 52	52" CEILING FAN	

LIGHT FIXTURE SCHEDULE

PROJECT NUMBER 215154	DATE 10/09/15	DESCRIPTION DESIGN DEVELOPMENT
DRAWING SHEET NUMBER E-6	DATE 10/15/15	DESCRIPTION ISSUED FOR PERMIT
6 OF 6		

A RENOVATED BEACH PAVILLION FOR:
LEAMINGTON @ PALMETTO DUNES
HILTON HEAD ISLAND, SOUTH CAROLINA

ENGINEERED SYSTEMS
55 NEW ORLEANS ROAD SUITE 200
HILTON HEAD ISLAND, SC 29928
843/686-5300

DESIGNED BY: RL
CAD BY: RL
CHECKED BY: JRO

PROFESSIONAL SEAL
[Signature]
10/15/15



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Leamington Beach Club – ALTERATION/ADDITION

DRB#: DRB-009154-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Add landscaping at end of angled parking and in front of ramp adjacent to parking area.
2. Tree down lights should be bronze to match path lights and to better blend in to tree trunk mounting.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed alteration matches existing building conditions in colors, materials, and details.
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Natural materials include stucco and wood. Colors match existing.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Extent of existing hip roof to be extended up.
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8/12 proposed

Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include stucco, wood, and metal. Colors include beige, green, and creamy white.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Siding, steps, columns, louvers, brackets, etc
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No windows. Wood louvers at bottom level openings
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brushed stainless steel
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Beach bath includes same 8/12 pitched metal roof, same stucco, and same colors.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Many existing live oaks and palms to remain. Existing landscape buffer adjacent to property line to remain.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide additional landscaping at end of angled parking in conjunction with (1) CERC.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Evergreen and flowering shrubs and grasses
Provides overall order and continuity of the	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Landscape plan				
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Palm, anise, ferns, grasses, etc
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No grassed lawn
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Mixed perennials at entrance to parking lot and entrance to building

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 11.26.15
 Accepted by: AMH W
 DRB #: 001990-2015
 Meeting Date: _____

Applicant/Agent Name: Rick Bohrer Company: R. Bohrer General Contractors
 Mailing Address: 10 Sentry Oak Lane City: Hilton Head State: SC Zip: 29926
 Telephone: 843-681-5464 Fax: 843-681-5909 E-mail: rbohrer318@aol.com
 Project Name: Hilton Head Beach and Tennis Parade Project Address: 40 Folly Field Rd.
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
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Alterations/Additions

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- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

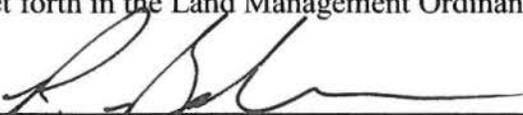
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10/22/15

DATE

NARRATIVE

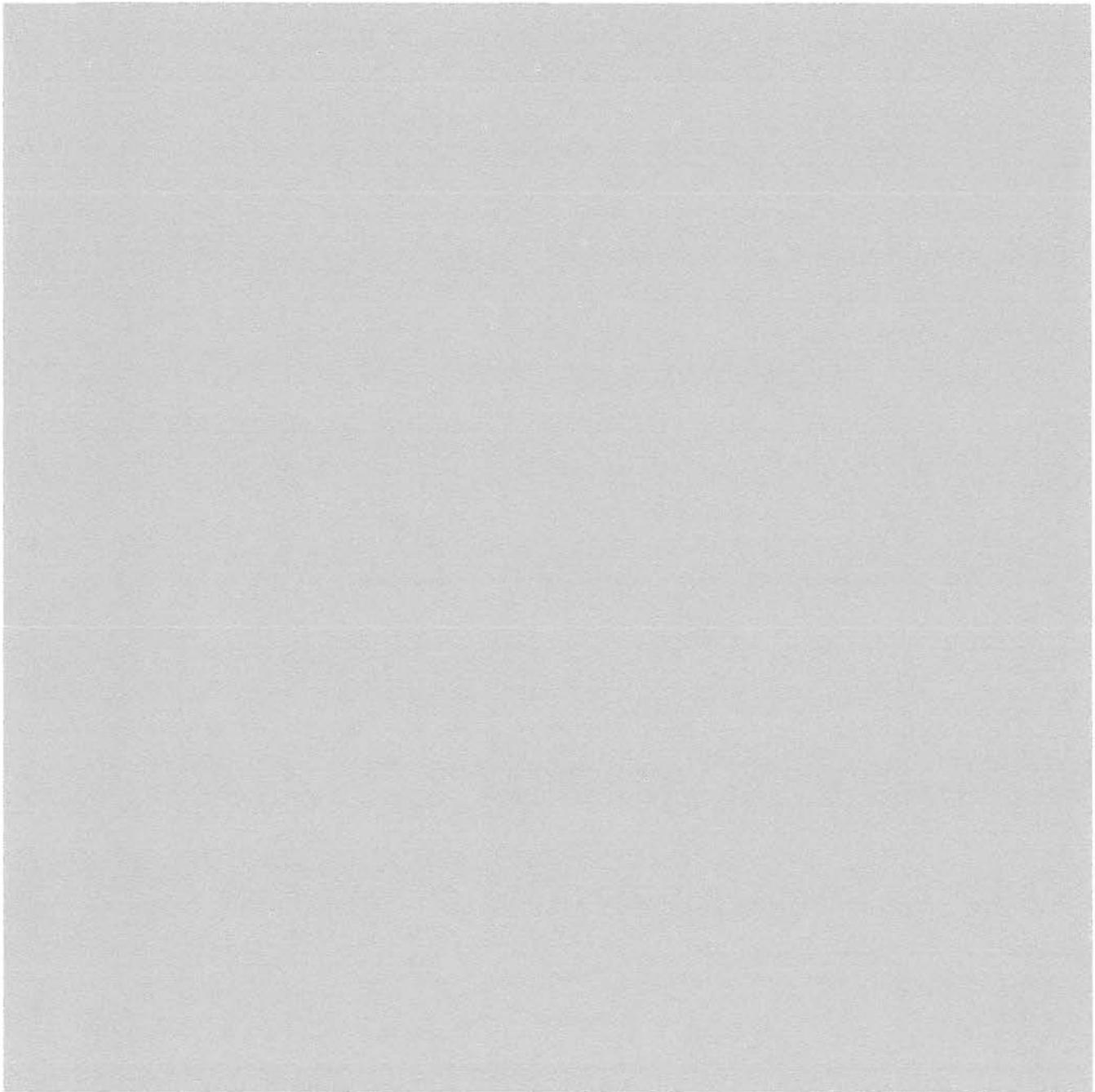
REMODEL FRONT ENTRANCE OF HILTON HEAD BEACH AND TENNIS RESORT

Hilton Head Beach and Tennis Resort was first constructed in 1981. Since that time, little or nothing has been done to maintain or update the exterior of the Convention Center, located at the front entrance of the resort. The front entrance and adjoining handicap ramp is in various stages of disrepair; the old asphalt flat roof is leaking and rotting in various areas, the stamped concrete walking surface is blistering and coming loose creating a tripping hazard. The handicap ramp is not per code as of today's standards. The old pressure treated structure is dark and dingy. Please review the pictures of the existing front entrance and you will understand what is there now.

It is the desire of the resort to update the front entrance of the convention center and bring the handicap ramp up to code. The roof will be redesigned to a gable design with a standing seam metal roof. The underside of the roof will have exposed stained, 1x6 boards and exposed truss details. The existing columns will be trimmed out in 1x material. To complete the transformation, the stamped concrete walking surface will be removed, the front steps will be reconfigured and new handrails/handicap rails will be installed. The entire walking surface (including the handicap ramp) will be resurfaced with Savannah Gray brick with Buff mortar. There is existing landscaping in place but the exposed handicap ramp area will be re-landscaped in order to conceal much of the ramp surface and handicap rails.

The color selections are in keeping with a light, beachy theme with Navajo White trim, a transparent Navajo white stain on the underside of the roof. This color will complement the existing color of the Convention Center. The standing seam metal roof will be a Patina Green color with the walking surface and steps completed with Savannah Gray Brick.

We believe this update of the Convention Center will enhance the overall appearance of the resort as well as make the Convention Center more accessible for the handicapped.



Patina Green

Roof Color



More saving.
More doing.

Your Store: **Hilton Head #1115**
Use **Current Location** or [find store](#)

BEHR Premium Plus Ultra Model # 1822U Internet # 202181251

8 oz. #1822 Navajo White Interior/Exterior Paint Sample

★★★★★ (4) [Write a Review](#) [Questions & Answers \(2\)](#)

\$2.94 /each

PRODUCT NOT SOLD IN STORES

Trim Color



[Open Expanded View](#)

[Click Image to Zoom](#)



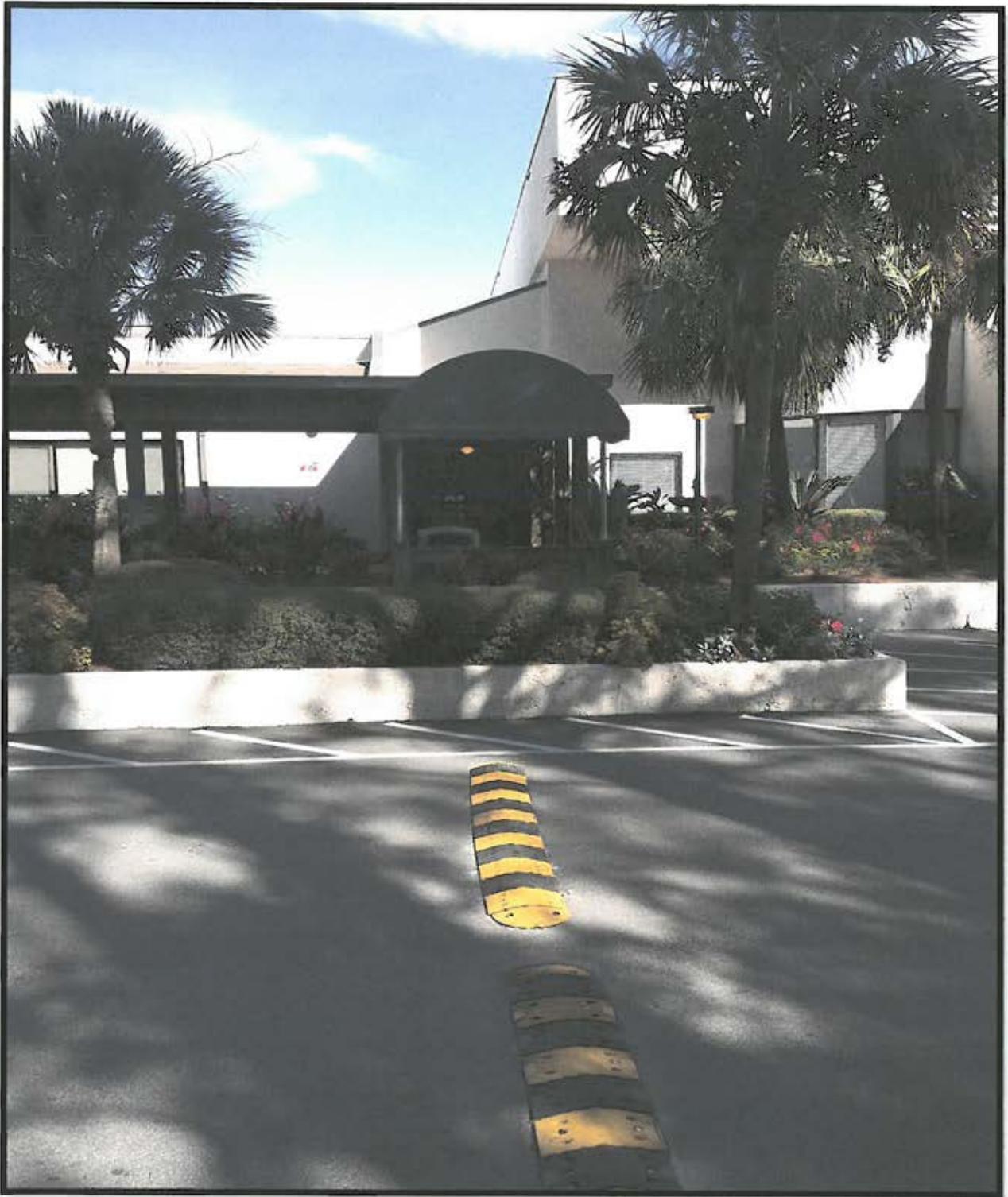
PRODUCT OVERVIEW Model # 1822U Internet # 202181251

The Behr Ultra 8 oz. Navajo White Interior/Exterior Paint Tester # 1822 offers the perfect way to preview your chosen color before you paint an entire surface area. The 8 oz. sample is a low-VOC paint and primer in 1. This ready-to-go tester provides up to 16 sq. ft. of coverage. The paint has a flat sheen and can be used on almost any interior and exterior surface.

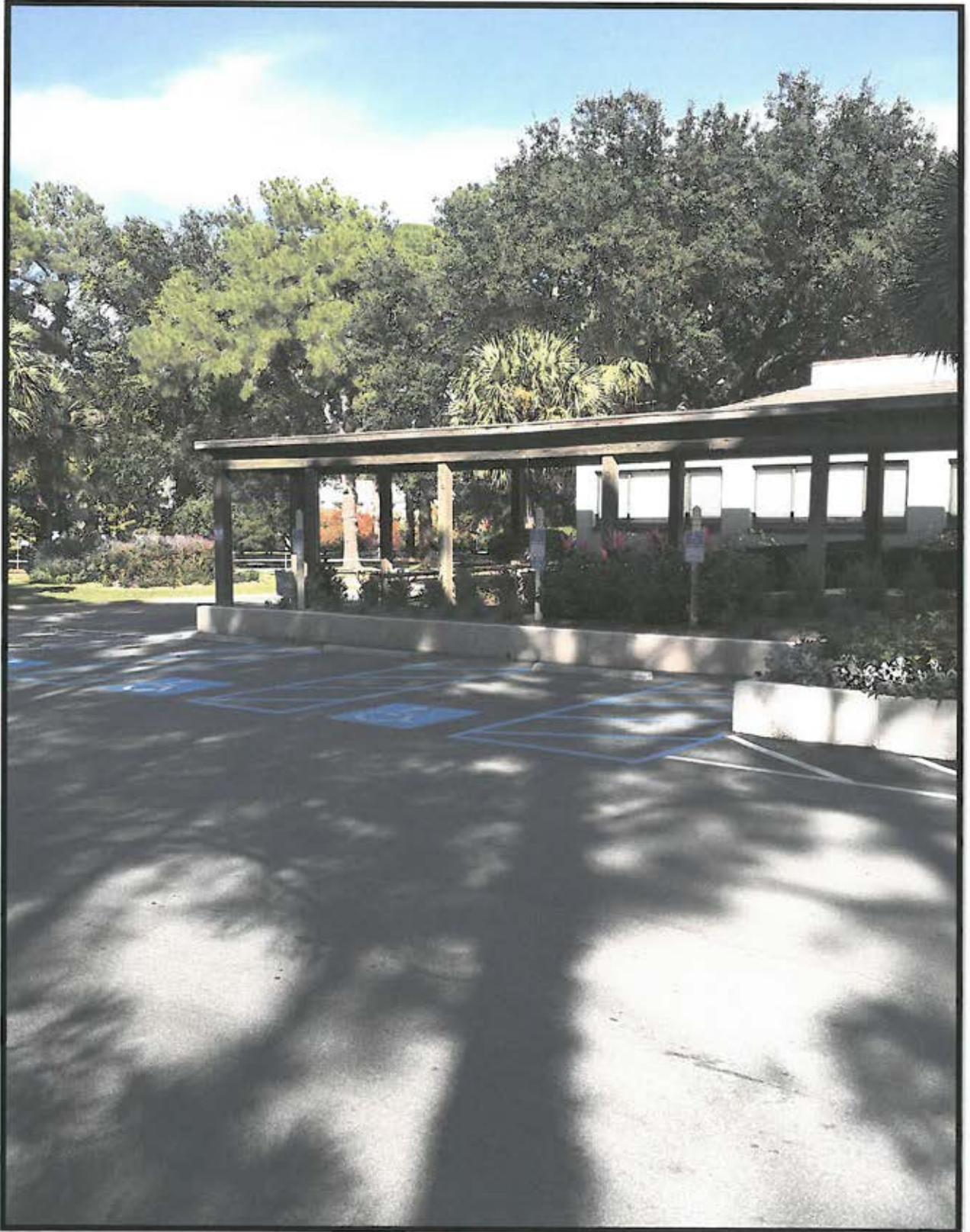
California residents: see [Proposition 65 information](#)

- 8 oz. ready-to-go tester is all you need to test the color
- Flat sheen
- Covers up to 16 sq. ft. for an accurate idea of whole-room coverage
- Low VOC for safer air quality
- Can be tested on almost any interior or exterior surface
- High-performance paint and primer in 1 developed using NANOGUARD technology
- Note: On-screen and printer color representations may vary from actual colors
- Note: Liquid samples are not returnable but are an invaluable resource to help you select the right paint color
- Actual paint colors may vary from on-screen and printer representations
- Click the image below to explore Interior Paint





FRONT ENTRANCE OF CONVENTION CENTER



HANDICAP RAMP AND ROOF COVERING



HANDICAP RAMP



HANDICAP RAMP SHOWING STAMPED CONCRETE WALKING SURFACE



EXISTING STEPS AND RAILING

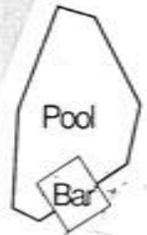


FRONT ENTRANCE TO CONVENTION CENTER

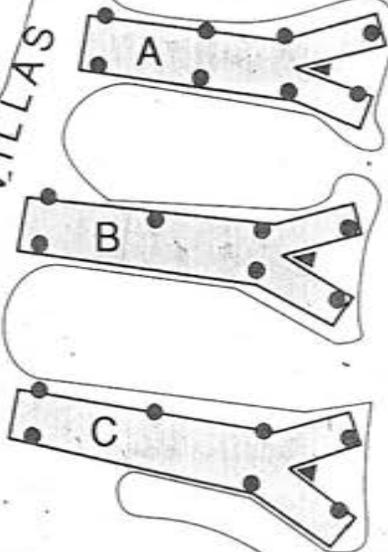


FRONT STEPS AND HANDRAILS

Atlantic Ocean



OCEAN VILLAS



Picnic Area
Playground

TENNIS VILLAS



Folly Field Road

To U.S. 278 →

HILTON HEAD ISLAND BEACH & TENNIS RESORT

40 Folly Field Road, Hilton Head Island, SC 29928
(803) 842-4402

- Stairway
- ▲ Elevator

Hilton Head Beach and Tennis Resort Entry Renovation
 40 Folly Field Road
 Hilton Head Island, SC
 Beaufort County



KRA architecture + design

1 843 815 2021
 2 843 706 8480
 www.krac.com
 KRA architecture + design
 2 Vender Plazaville Road
 Bluffton, SC 29910

Stamped By:

Drawn By:

Checked By:

Date: 10.14.15

Revisions:

NO.	DESCRIPTION

Project No: 15147

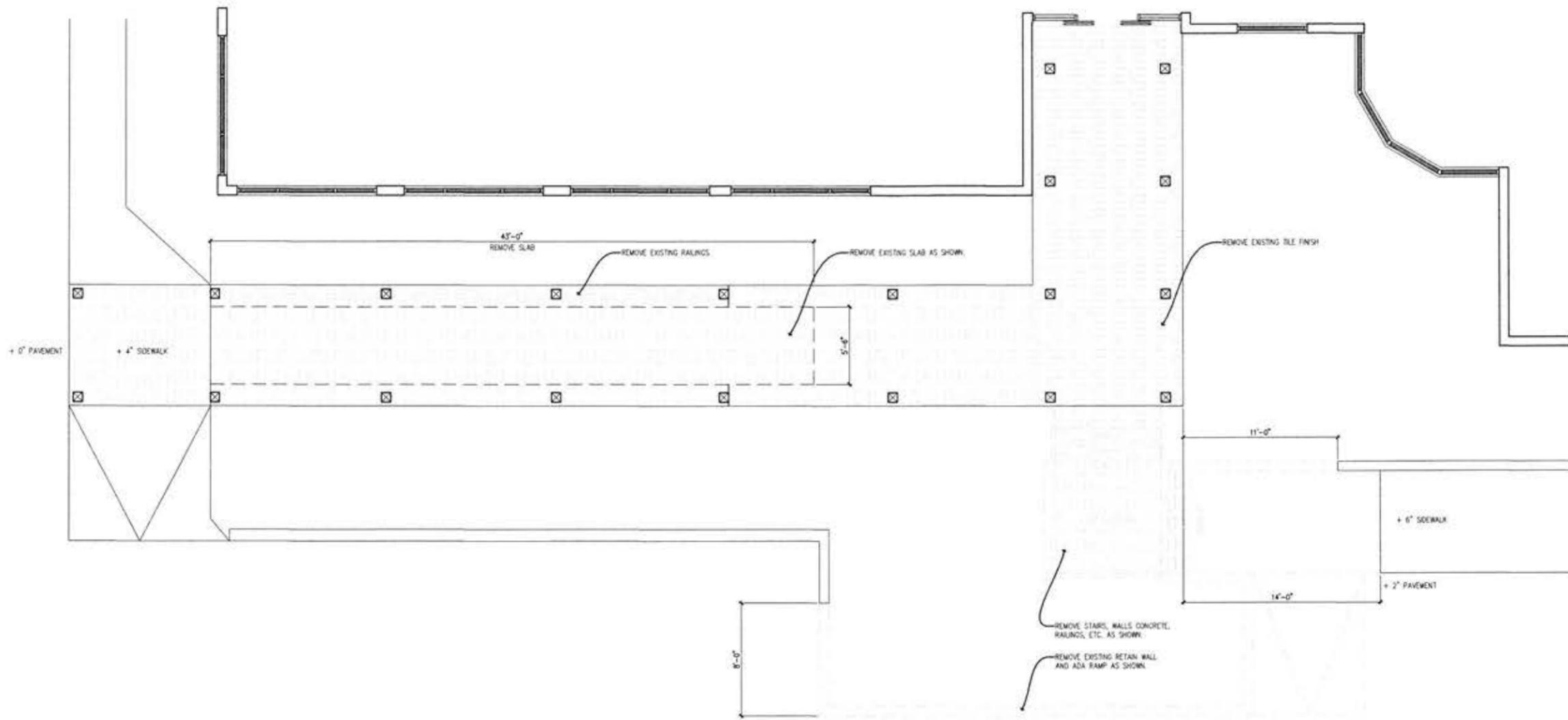
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Drawing Title:

DEMOLITION PLAN AND ELEVATION

Sheet No: **D1.1**

Scale: AS NOTED



1 DEMOLITION ENTRY PLAN
 D1.1 1/4" = 1'-0"



2 DEMOLITION ELEVATION
 D1.1 1/4" = 1'-0"

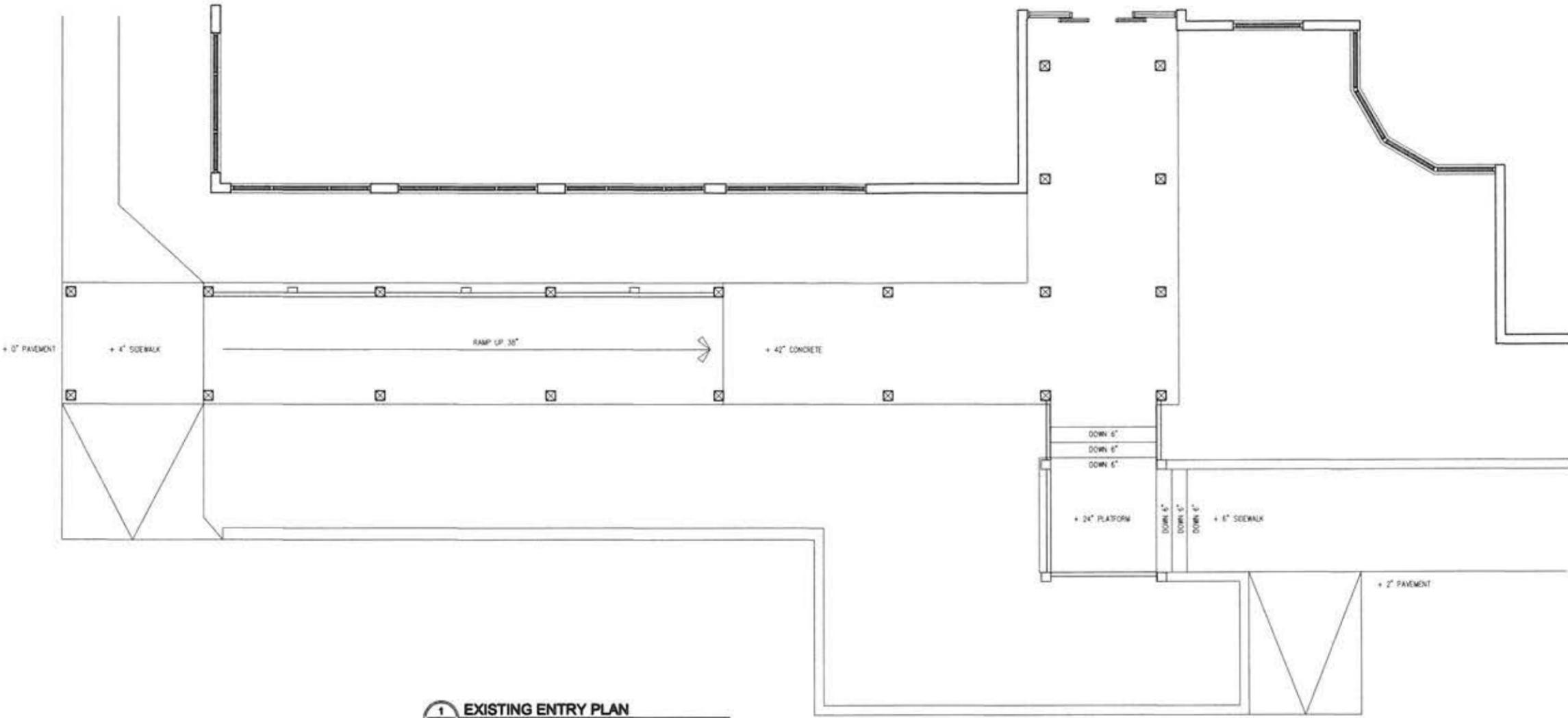
Hilton Head Beach and Tennis Resort
Entry Renovation

40 Folly Field Road
Hilton Head Island, SC
Beaufort County

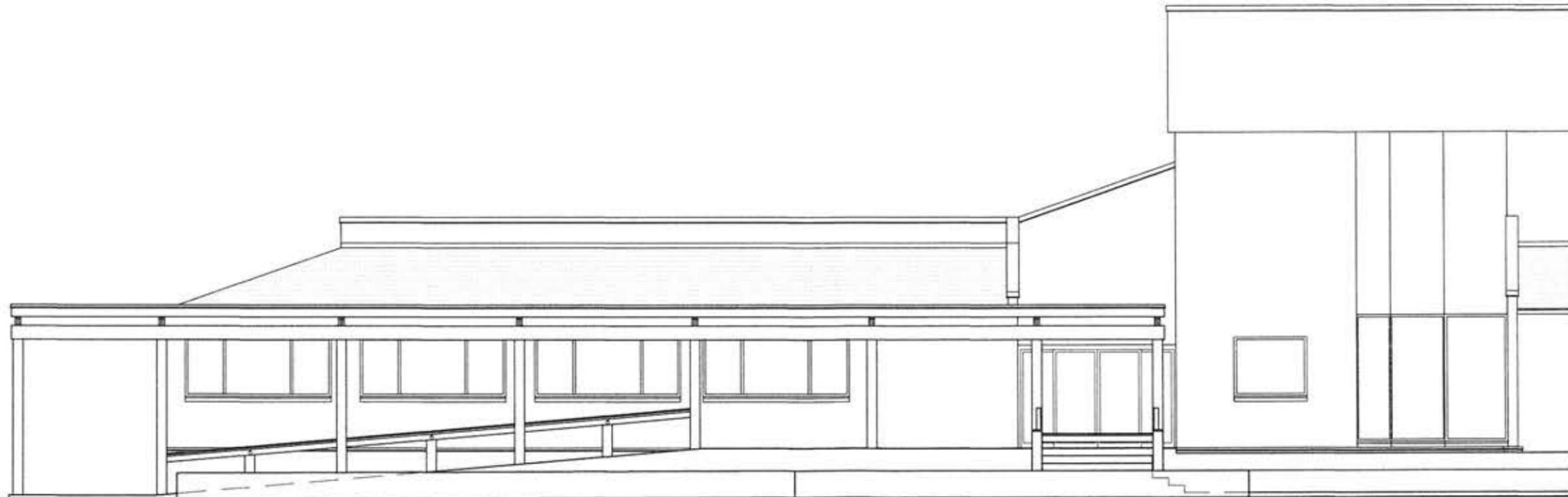


KRA architecture + design

1 843.815.2021
1 843.706.9480
www.krac.com
KRA architecture + design
2 Vestal Renovation Road
Bluffton, SC 29910



1 EXISTING ENTRY PLAN
EX1
1/4" = 1'-0"



2 EXISTING ENTRY ELEVATION
EX1
1/4" = 1'-0"

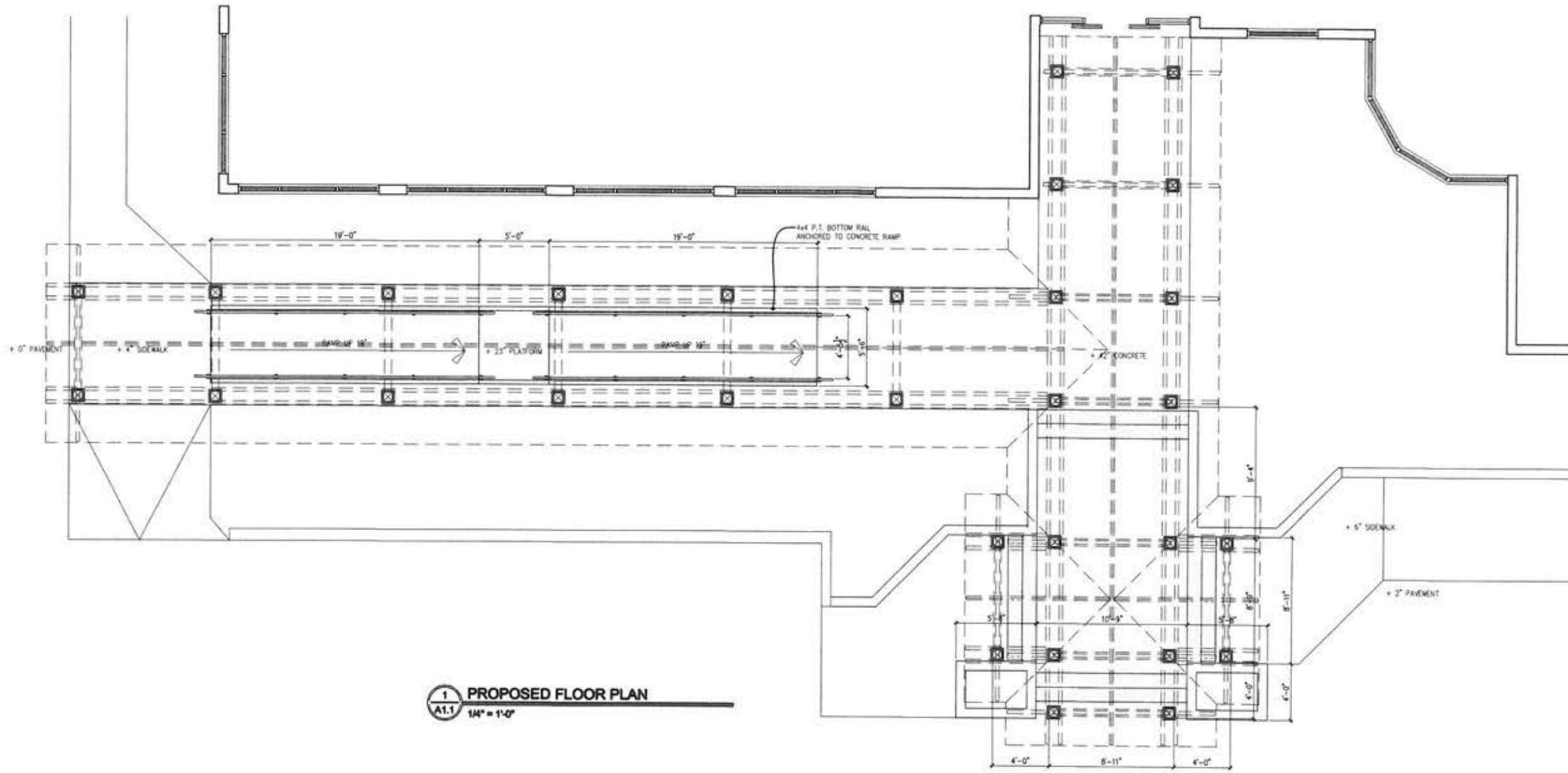
Stamped By: _____
 Drawn By: _____
 Checked By: _____
 Date: 10.14.15
 Revisions:

No.	Description

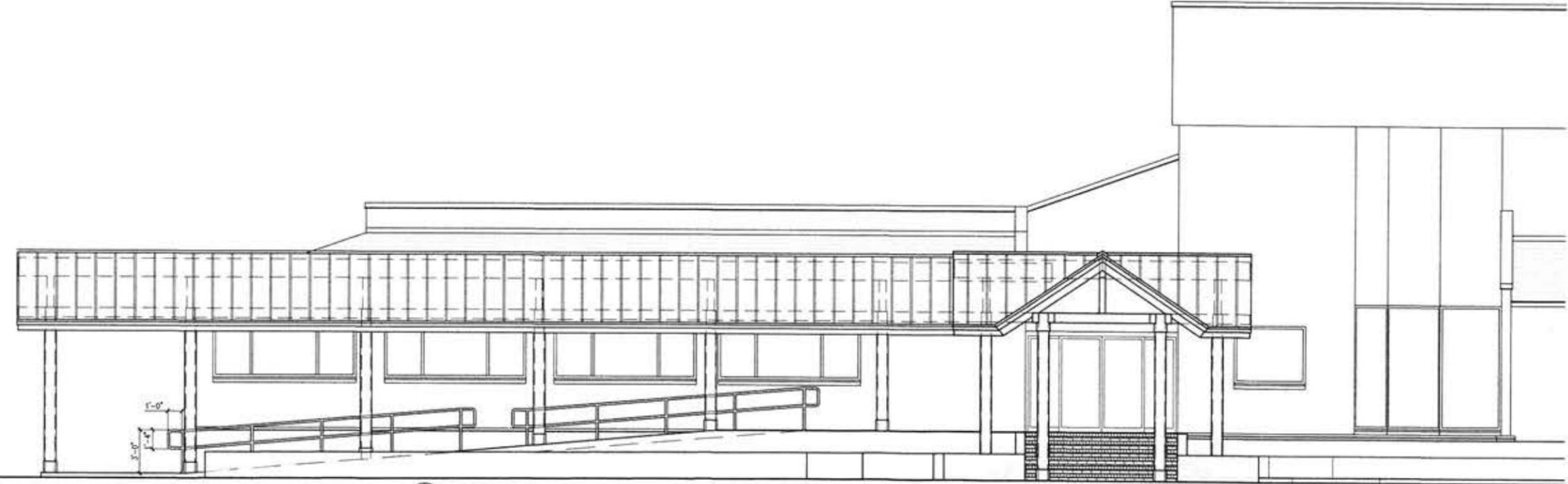
Project No. 15147
 File Name: _____
 Drawing Title: _____

EXISTING
CONDITIONS

Sheet No. **EX1**
 Scale: AS NOTED



1 PROPOSED FLOOR PLAN
A1.1 1/4" = 1'-0"



2 PROPOSED ELEVATION
A2.0 1/4" = 1'-0"

Hilton Head Beach and Tennis Resort Entry Renovation
40 Folly Field Road
Hilton Head Island, SC
Beaufort County



KRA architecture + design

KRA architecture + design
2 Vander Platten Road
Bluffton, SC 29910
T 843.816.2021
F 843.706.9480
www.krac.com

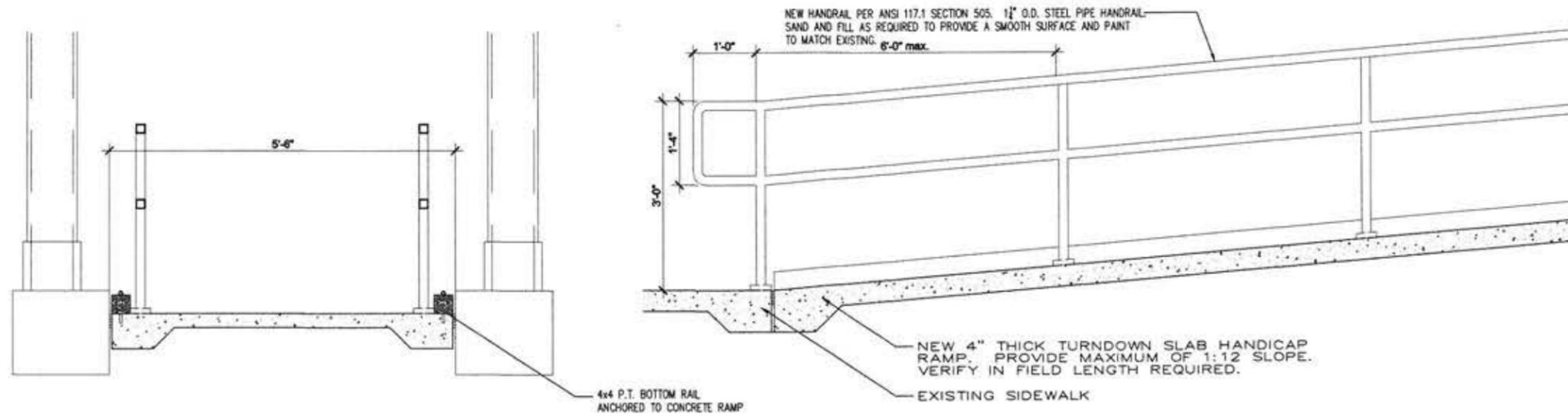
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 Design By: _____
 Checked By: _____
 Date: 10.14.15
 Revisions

No.	Description

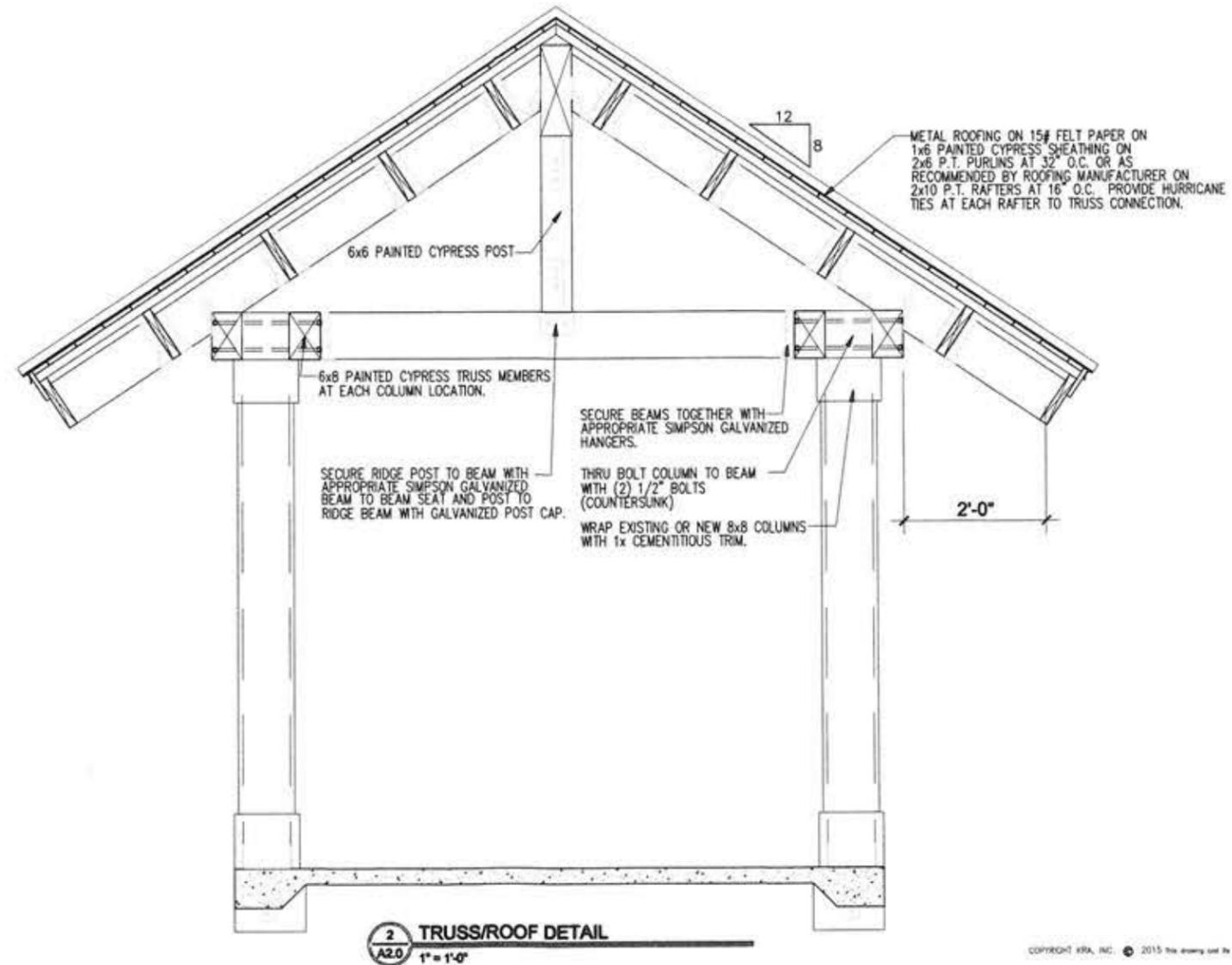
Project No. 15147
 File Name: _____
 Drawing Title: _____

PROPOSED FLOOR PLAN AND DETAILS

Sheet No. **A1.1**
 Scale: AS NOTED



1 PROPOSED RAMP DETAILS
A2.0 1" = 1'-0"



2 TRUSS/ROOF DETAIL
A2.0 1" = 1'-0"

Hilton Head Beach and Tennis Resort Entry Renovation

40 Folly Field Road
Hilton Head Island, SC
Beaufort County



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2 Vander Platten Road
Bluffton, SC 29910

Stamped By:

Drawn By:

Checked By:

Date: 10.14.15

Revisions

No.	Description

Project No. 15147

File Name:

Drawing Title:

**PROPOSED
DETAILS**

Sheet No. **A2.0**

Scale: AS NOTED

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head Beach & Tennis Resort -
ALTERATION/ADDITION

DRB#: DRB-001990-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Navajo White should be replaced with SW 6056 "Polite White" or equal to match existing adjacent stucco.
2. Roof color should match existing green awnings.
3. Consider raising the roof at the landing and steps above the roof at the ramp.
4. A landscape plan for area adjacent to entrance shall be submitted for review and approval.
5. Provide lighting plan and manufacturer's cut sheets for any proposed exterior lighting.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider raising the roof over the landing and steps above the roof over the handicapped ramp.
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No lighting shown
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape Plan is not included in submittal

MISC COMMENTS/QUESTIONS

The new canopy will have to be sprinklered.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 10/27/15
 Accepted by: JR
 DRB #: 2009-2015
 Meeting Date: 11/10/15

Applicant/Agent Name: Gary Fons Company: Vacation Time
 Mailing Address: P.O. Box 5646 City: Hilton Head Island State: SC Zip: 29938
 Telephone: (843) 785-5151 Fax: (843) 785-7806 E-mail: GWFHIF@HOTMAIL.COM
 Project Name: Seaside Villas II Project Address: 23 South Forest Beach
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

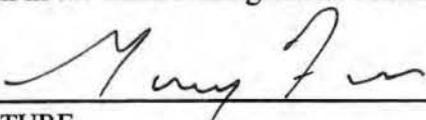
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10-27-15

DATE

**VACATION TIME OF HILTON HEAD ISLAND, INC.
PROPERTY MANAGEMENT**

PO Box 7225 Hilton Head Island, SC 29938
Phone (843) 785-5151 Fax (843) 785-7806

Town of Hilton Head Island
Community Development department
One Town Center Court
October 20, 2015

Gentlemen,

On behalf of the Seaside Villas II Owners association located at 23 S. forest beach drive I am making application for a mansard roof change to the existing building. They wish to replace the old and failing wooden shake shingles with a new standing seem metal roof. They have had to deal with a bat infestation in the mansard cavity and want to move on this ASAP. The basic footprint, colors and general layout of the building will not change. It is only the new covering on the existing mansard that will change. The color they have selected is a medium bronze (sample attached) that matches the balcony railings and blends in with the color scheme of the building. The roofing company who has been chosen to do the job is Howe Roofs out of Fort Mill S.C. Should you have any questions or concerns please call me at 843-684-2029. Since Seaside Villas is trying to expedite this request due to the bat problem. I would respectfully request your response as soon as possible. Thank You!

Gary Fons
Managing Agent

Sea Side Villas II - ARB Approval

Forest Beach Owners Association

Mon 10/26/2015 6:06 PM

Inbox

To: gwfhhi@hotmail.com <gwfhhi@hotmail.com>;

Cc: jenniferr@hiltonheadislandsc.gov <jenniferr@hiltonheadislandsc.gov>;

Gary - Per our conversations, this email represents your ARB approval from the Forest Beach Owners' Association for the planned re-roofing of the existing shake mansard located at Sea Side Villas II, 23 South Forest Beach DR, Hilton Head Island, SC, in the Central Forest Beach Subdivision. This approval is based upon the application dated October 15, 2015 along with the narrative and metal seam roofing material/color provided on the same date

Our approval is contingent upon the following:

- 1) Approval by the Town of Hilton Head Island and any applicable DRB approvals.
- 2) All materials and colors are to be as specified in the application/narrative received.
- 3) Only the scope of the identified project, as listed in the submitted documents, is approved. Any additional changes to the project will require an additional ARB submittal and approval. Additional review fees and/or compliance deposits may be applicable.

Once completed, a written notification must be received by the Association advising us of the projects completion in order to complete our file.

A copy of this approval has been forwarded to Jennifer Ray at the Town of Hilton Head Island. Please forward a copy to your builder for their files.

If you have any questions, please contact me.

Sincerely,

John D. Snodgrass

Executive Director,
Forest Beach Owners' Association, Inc

STRUCTURAL CALCULATIONS

Seaside Villas II

South Forest Beach Dr.
Hilton Head Island, SC 29928

Prepared for:

Vacation Time of Hilton Head

October 26, 2015



Prepared by:



Cranston Engineering Group, P.C.
ENGINEERS - PLANNERS - SURVEYORS

14 WESTBURY PARK WAY, SUITE 202
BLUFFTON, SOUTH CAROLINA 29910
TELEPHONE 843-815-3191
FACSIMILE 843-815-8192
mail@cranstonengineering.com

TABLE OF CONTENTS

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Introduction and Assumptions	Page 3
Design Criteria	Page 4
Calculations	Page 9
Drawing SK1	Page 11

INTRODUCTION AND ASSUMPTIONS

- The purpose of this analysis is to analyze the wind forces for the renovation of mansard framing on an existing roof of a multi-story, multi-family residential building. The main wind force resisting system load on the existing structure will remain unchanged therefore no additional lateral resisting elements are necessary. However, the roofing system on the mansard will be replaced causing a components and cladding load change to the mansard framing.
- This analysis includes component and cladding pressures, framing member sizes, and uplift connection requirements.
- General building dimensional and finish information was provided during a site meeting with Mr. Gary Fons on September 23, 2015. Mansard dimensional information was obtained from a site visit on October 19, 2015. Connections or components not specified in this report shall be left as originally constructed.
- This analysis uses the applicable sections of the *2012 International Residential Code* and *ASCE 7-10 Minimum Design Loads for Buildings and Other Structures*.
- The existing building is approximately 90 feet wide by 390 feet long and 40 feet high.

DESIGN CRITERIA

WIND LOADING (ASCE7-10)

In accordance with ASCE7-10 incorporating Errata No. 1 and Errata No. 2

Using the directional design method

Tedds calculation version 2.0.15



Building data

Type of roof Flat
 Length of building $b = 390.00$ ft
 Width of building $d = 90.00$ ft
 Height to eaves $H = 40.00$ ft
 Mean height $h = 40.00$ ft

General wind load requirements

Basic wind speed $V = 145.0$ mph
 Risk category II
 Velocity pressure exponent coeff (Table 26.6-1) $K_d = 0.85$
 Exposure category (cl.26.7.3) D
 Enclosure classification (cl.26.10) Enclosed buildings
 Internal pressure coef +ve (Table 26.11-1) $GC_{pi,p} = 0.18$
 Internal pressure coef -ve (Table 26.11-1) $GC_{pi,n} = -0.18$
 Gust effect factor $G_f = 0.85$

Topography

Topography factor not significant $K_{zt} = 1.0$
 Velocity pressure equation $q = 0.00256 \times K_z \times K_{zt} \times K_d \times V^2 \times 1\text{psf}/\text{mph}^2$

Velocity pressures table

z (ft)	K_z (Table 27.3-1)	q_z (psf)
15.00	1.03	47.12
25.00	1.12	51.24
40.00	1.22	55.82

Peak velocity pressure for internal pressure

Peak velocity pressure – internal (as roof press.) $q_i = 55.82$ psf

Pressures and forces

Net pressure $p = q \times G_f \times C_{pe} - q_i \times GC_{pi}$
 Net force $F_w = p \times A_{ref}$

Roof load case 1 - Wind 0, GC_{pi} 0.18, -C_{pe}

Zone	Ref. height (ft)	Ext pressure coefficient C _{pe}	Peak velocity pressure q _p , (psf)	Net pressure p (psf)	Area A _{ref} (ft ²)	Net force F _w (kips)
A (-ve)	40.00	-0.90	55.82	-52.75	7800.00	-411.42
B (-ve)	40.00	-0.90	55.82	-52.75	7800.00	-411.42
C (-ve)	40.00	-0.50	55.82	-33.77	15600.00	-526.79
D (-ve)	40.00	-0.30	55.82	-24.28	3900.00	-94.69

Total vertical net force $F_{w,v} = -1444.31$ kips

Total horizontal net force $F_{w,h} = 0.00$ kips

Walls load case 1 - Wind 0, GC_{pi} 0.18, -C_{pe}

Zone	Ref. height (ft)	Ext pressure coefficient C _{pe}	Peak velocity pressure q _p , (psf)	Net pressure p (psf)	Area A _{ref} (ft ²)	Net force F _w (kips)
A ₁	15.00	0.80	47.12	22.00	5850.00	128.68
A ₂	25.00	0.80	51.24	24.80	3900.00	96.71
A ₃	40.00	0.80	55.82	27.91	5850.00	163.26
B	40.00	-0.50	55.82	-33.77	15600.00	-526.79
C	40.00	-0.70	55.82	-43.26	3600.00	-155.73
D	40.00	-0.70	55.82	-43.26	3600.00	-155.73

Overall loading

Projected vertical plan area of wall $A_{vert,w,0} = b \times H = 15600.00$ ft²

Projected vertical area of roof $A_{vert,r,0} = 0.00$ ft²

Minimum overall horizontal loading $F_{w,total,min} = p_{min,w} \times A_{vert,w,0} + p_{min,r} \times A_{vert,r,0} = 249.6$ kips

Leeward net force $F_l = F_{w,wb} = -526.8$ kips

Windward net force $F_w = F_{w,wA_1} + F_{w,wA_2} + F_{w,wA_3} = 388.6$ kips

Overall horizontal loading $F_{w,total} = \max(F_w - F_l + F_{w,h}, F_{w,total,min}) = 915.4$ kips

Roof load case 2 - Wind 0, GC_{pi} -0.18, -0C_{pe}

Zone	Ref. height (ft)	Ext pressure coefficient C _{pe}	Peak velocity pressure q _p , (psf)	Net pressure p (psf)	Area A _{ref} (ft ²)	Net force F _w (kips)
A (+ve)	40.00	-0.18	55.82	1.51	7800.00	11.75
B (+ve)	40.00	-0.18	55.82	1.51	7800.00	11.75
C (+ve)	40.00	-0.18	55.82	1.51	15600.00	23.51
D (+ve)	40.00	-0.18	55.82	1.51	3900.00	5.88

Total vertical net force $F_{w,v} = 52.90$ kips

Total horizontal net force $F_{w,h} = 0.00$ kips

Walls load case 2 - Wind 0, GC_{pi} -0.18, -0C_{pe}

Zone	Ref. height (ft)	Ext pressure coefficient C _{pe}	Peak velocity pressure q _p , (psf)	Net pressure p (psf)	Area A _{ref} (ft ²)	Net force F _w (kips)
A ₁	15.00	0.80	47.12	42.09	5850.00	246.23
A ₂	25.00	0.80	51.24	44.89	3900.00	175.07

Zone	Ref. height (ft)	Ext pressure coefficient C_{pe}	Peak velocity pressure q_p , (psf)	Net pressure p (psf)	Area A_{rel} (ft ²)	Net force F_w (kips)
A ₃	40.00	0.80	55.82	48.00	5850.00	280.81
B	40.00	-0.50	55.82	-13.67	15600.00	-213.33
C	40.00	-0.70	55.82	-23.16	3600.00	-83.39
D	40.00	-0.70	55.82	-23.16	3600.00	-83.39

Overall loading

Projected vertical plan area of wall

$$A_{vert_w_0} = b \times H = 15600.00 \text{ ft}^2$$

Projected vertical area of roof

$$A_{vert_r_0} = 0.00 \text{ ft}^2$$

Minimum overall horizontal loading

$$F_{w,total_min} = p_{min_w} \times A_{vert_w_0} + p_{min_r} \times A_{vert_r_0} = 249.6 \text{ kips}$$

Leeward net force

$$F_l = F_{w,wB} = -213.3 \text{ kips}$$

Windward net force

$$F_w = F_{w,wA_1} + F_{w,wA_2} + F_{w,wA_3} = 702.1 \text{ kips}$$

Overall horizontal loading

$$F_{w,total} = \max(F_w - F_l + F_{w,h}, F_{w,total_min}) = 915.4 \text{ kips}$$

Roof load case 3 - Wind 90, GC_{pi} 0.18, $-C_{pe}$

Zone	Ref. height (ft)	Ext pressure coefficient C_{pe}	Peak velocity pressure q_p , (psf)	Net pressure p (psf)	Area A_{rel} (ft ²)	Net force F_w (kips)
A (-ve)	40.00	-0.90	55.82	-52.75	1800.00	-94.94
B (-ve)	40.00	-0.90	55.82	-52.75	1800.00	-94.94
C (-ve)	40.00	-0.50	55.82	-33.77	3600.00	-121.57
D (-ve)	40.00	-0.30	55.82	-24.28	27900.00	-677.40

Total vertical net force

$$F_{w,v} = -988.86 \text{ kips}$$

Total horizontal net force

$$F_{w,h} = 0.00 \text{ kips}$$

Walls load case 3 - Wind 90, GC_{pi} 0.18, $-C_{pe}$

Zone	Ref. height (ft)	Ext pressure coefficient C_{pe}	Peak velocity pressure q_p , (psf)	Net pressure p (psf)	Area A_{rel} (ft ²)	Net force F_w (kips)
A ₁	15.00	0.80	47.12	22.00	1350.00	29.70
A ₂	25.00	0.80	51.24	24.80	900.00	22.32
A ₃	40.00	0.80	55.82	27.91	1350.00	37.68
B	40.00	-0.20	55.82	-19.54	3600.00	-70.33
C	40.00	-0.70	55.82	-43.26	15600.00	-674.81
D	40.00	-0.70	55.82	-43.26	15600.00	-674.81

Overall loading

Projected vertical plan area of wall

$$A_{vert_w_90} = d \times H = 3600.00 \text{ ft}^2$$

Projected vertical area of roof

$$A_{vert_r_90} = 0.00 \text{ ft}^2$$

Minimum overall horizontal loading

$$F_{w,total_min} = p_{min_w} \times A_{vert_w_90} + p_{min_r} \times A_{vert_r_90} = 57.6 \text{ kips}$$

Leeward net force

$$F_l = F_{w,wB} = -70.3 \text{ kips}$$

Windward net force

$$F_w = F_{w,wA_1} + F_{w,wA_2} + F_{w,wA_3} = 89.7 \text{ kips}$$

Overall horizontal loading

$$F_{w,total} = \max(F_w - F_l + F_{w,h}, F_{w,total_min}) = 160.0 \text{ kips}$$

Roof load case 4 - Wind 90, GC_{pl} -0.18, +c_{pe}

Zone	Ref. height (ft)	Ext pressure coefficient C _{pe}	Peak velocity pressure q _p , (psf)	Net pressure p (psf)	Area A _{ref} (ft ²)	Net force F _w (kips)
A (+ve)	40.00	-0.18	55.82	1.51	1800.00	2.71
B (+ve)	40.00	-0.18	55.82	1.51	1800.00	2.71
C (+ve)	40.00	-0.18	55.82	1.51	3600.00	5.43
D (+ve)	40.00	-0.18	55.82	1.51	27900.00	42.05

Total vertical net force F_{w,v} = **52.90 kips**

Total horizontal net force F_{w,h} = **0.00 kips**

Walls load case 4 - Wind 90, GC_{pl} -0.18, +c_{pe}

Zone	Ref. height (ft)	Ext pressure coefficient C _{pe}	Peak velocity pressure q _p , (psf)	Net pressure p (psf)	Area A _{ref} (ft ²)	Net force F _w (kips)
A ₁	15.00	0.80	47.12	42.09	1350.00	56.82
A ₂	25.00	0.80	51.24	44.89	900.00	40.40
A ₃	40.00	0.80	55.82	48.00	1350.00	64.80
B	40.00	-0.20	55.82	0.56	3600.00	2.01
C	40.00	-0.70	55.82	-23.16	15600.00	-361.35
D	40.00	-0.70	55.82	-23.16	15600.00	-361.35

Overall loading

Projected vertical plan area of wall

$A_{vert, w, 90} = d \times H = 3600.00 \text{ ft}^2$

Projected vertical area of roof

$A_{vert, r, 90} = 0.00 \text{ ft}^2$

Minimum overall horizontal loading

$F_{w, total, min} = p_{min, w} \times A_{vert, w, 90} + p_{min, r} \times A_{vert, r, 90} = 57.6 \text{ kips}$

Leeward net force

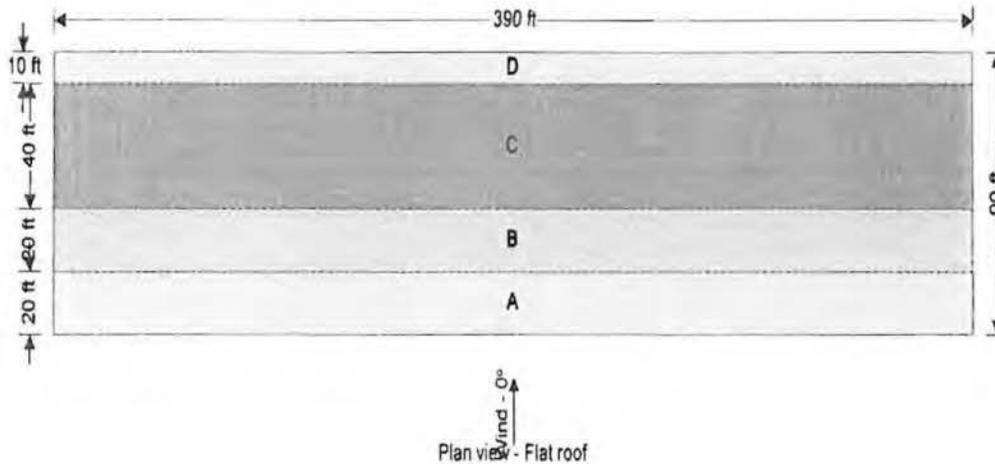
$F_l = F_{w, wB} = 2.0 \text{ kips}$

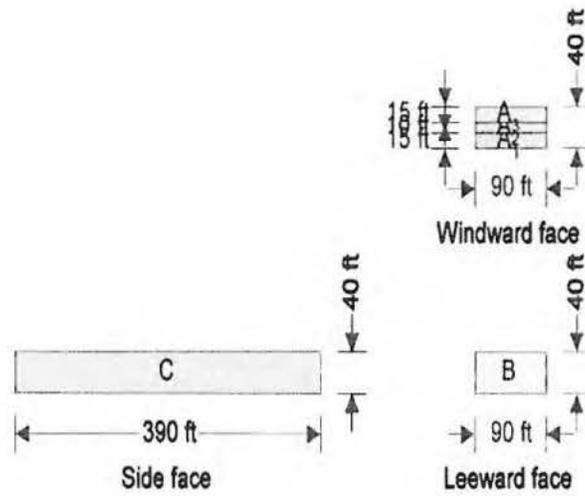
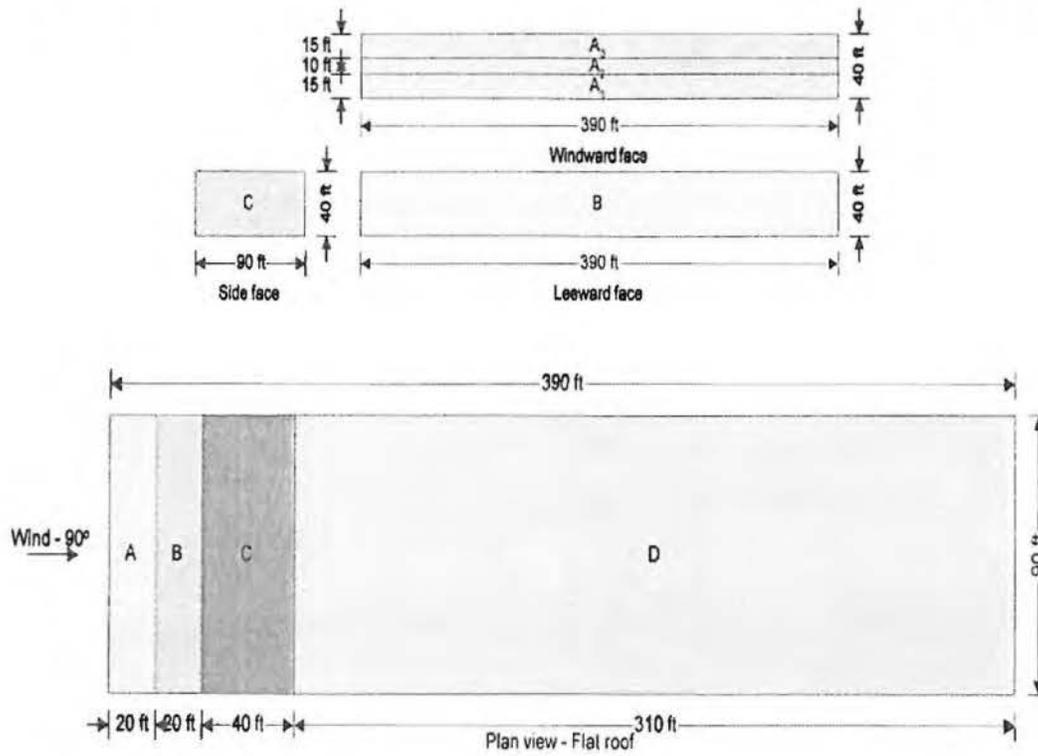
Windward net force

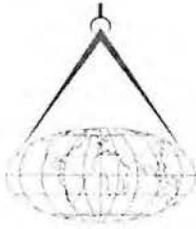
$F_w = F_{w, wA_1} + F_{w, wA_2} + F_{w, wA_3} = 162.0 \text{ kips}$

Overall horizontal loading

$F_{w, total} = \max(F_w - F_l + F_{w, h}, F_{w, total, min}) = 160.0 \text{ kips}$







PROJECT TITLE: SEASIDE VILLAS II

COMP: _____ DATE: _____

WORK DESCRIPTION: TRUSS CONNECTIONS

COMP: JCY DATE: 10/20/15

ROOF OVERHANG COMPONENTS & CLADDING:

ASCE 7-10 § 30.10

$$P = q_h [(G C_p) - (G C_{p_i})]$$

$$q_h = 0.00256 (1.22) (10) (35) (145)^2$$

$$= 55.8 \text{ PSF}$$

EXP. D
h = 40'

$G C_p = 1.7$; $\theta < 7$ MAIN ROOF
ZONE 2

$$G C_{p_i} = \pm 0.18$$

$$P_{max} = 55.8 (1.7 + 0.18) = 105. \text{ PSF}$$

$$W_1 = 105 (1.33) = 139.6 \text{ PLF}$$

ROOF PARAPET CLC

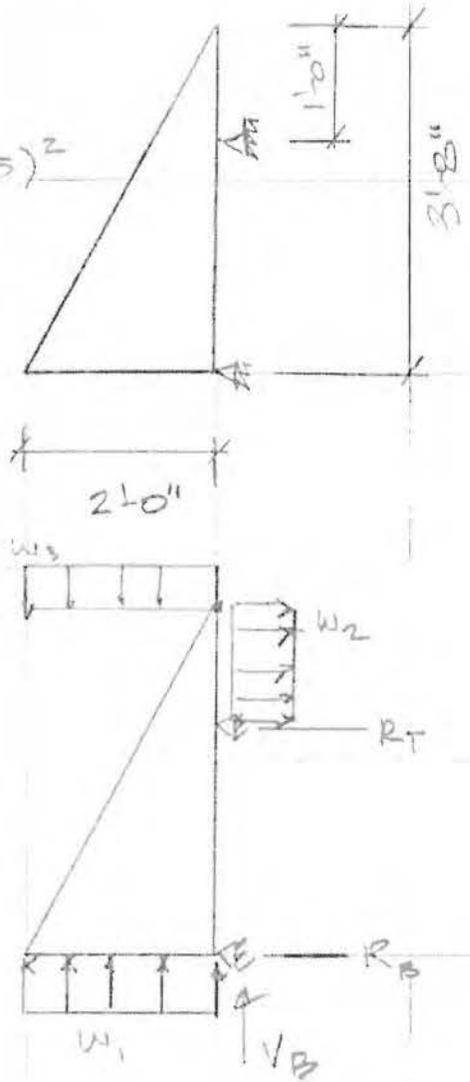
ASCE 7-10 § 30.9

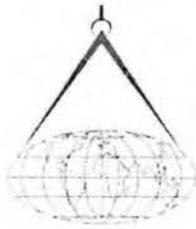
$$q_p = 55.8 \text{ PSF}$$

$$P_{max} = 105 \text{ PSF}$$

$$W_2 = 105 (1.33) = 139.6 \text{ PLF}$$

$$W_3_{DL} = 10 \text{ PSF} (1.33) = 13.3 \text{ PLF}$$





Cranston Engineering Group, P.C.
ENGINEERS PLANNERS SURVEYORS

JOB #
15-0415

PAGE 10 OF _____ PAGES
COMP: _____ DATE: _____
COMP: fy DATE: 10/26/15

PROJECT TITLE: SEASIDE VILLAS II
WORK DESCRIPTION: TRUSS CONNECTIONS

TRUSS 0.6 D + 0.6 W

$\sum M_B^+$

$$0.6 \left[139.6 (1) (3.167) + \frac{139.6 (2)^2}{2} \right] = 432.8 \text{ ft}\cdot\#$$

NEGLECT DL

$$R_T = \frac{432.8}{2.67} = 162 \#$$

0.45 W
D + 0.75 L + 0.75 (0.6 W)

$$W_2 = [10 + 0.75 (20)] 1.33 = 33.3 \text{ PLF}$$

$\sum M_B^+$

$$- \frac{33.3 (2)^2}{2} - 0.45 (721.3) = 391 \text{ ft}\cdot\# < 432.8 \text{ ft}\cdot\#$$

$R_B = R_T = 187 \# \leftarrow \rightarrow$
 $V_B = V_T = 67 \# \downarrow$

W/UPLIFT 0.6 D + 0.6 W

$$W_3 = 0.6 (10 - 52.5) 1.33 = -34 \text{ PLF}$$

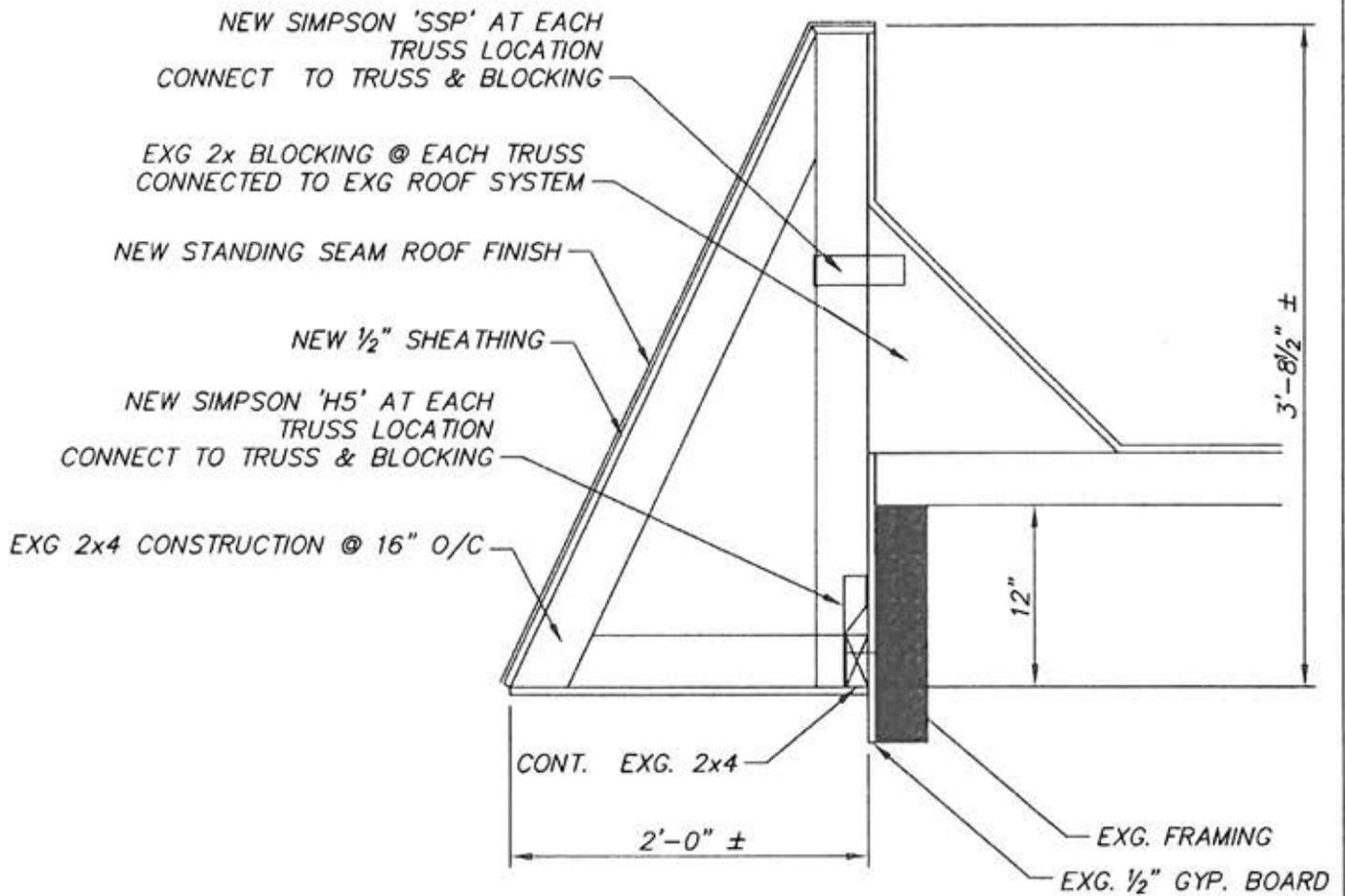
$\sum M_B^+$

$$- 432.8 - 34 \frac{(2)^2}{2} = 500.8 \text{ ft}\cdot\#$$

$$R_T = \frac{500.8}{2.67} = 187 \# \text{ CONTINUOUS}$$

USE SIMPSON 'HS' @ BOT
" 'SSP' @ TOP





1 EXISTING TRUSS DETAIL
 SK1 NOT TO SCALE



Cranston Engineering Group, P.C.
 ENGINEERS - PLANNERS - SURVEYORS
 14 Wadsway Park Way, Ste. 202
 Bluffton, South Carolina 29910
 TELEPHONE: 843-815-3191 FACSIMILE: 843-815-3192
 info@cranstonengineering.com

JOB NAME
SEASIDE VILLAS II

JOB NO.
 2015-0415

DATE
 10-27-15

SHEET
SK1

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sea Site Villas II – ALTERATION/ADDITION

DRB#: DRB-002009-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

Applicant proposes to re-roof existing multi-family building and replace existing wood shingle roof with medium bronze standing seam metal roof. Proposed color matches existing balcony handrails.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
App. #: DR	_____
Meeting Date:	_____

Applicant/Agent Name: Todd Theodore Company: Wood and Partners
 Mailing Address: 7 Lafayette Place City: HHI State: SC Zip: 29926
 Telephone: 681-6618 x 230 Fax: 681-7086 E-mail: ttheodore@woodandpartners.com
 Project Name: Heritage Plaza Hotel Redevelopment Project Address: 81 Pope Avenue
 Parcel Number [PIN]: R 552 018 000 0010 0000
 Zoning District: Coligny Resort Overlay District(s): Corridor Overlay

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual Alteration/Addition
 New Development – Final, indicate Project Number Minor External Change

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.

_____ Final site development plan meeting the requirements of Sec. 16-3-303.F.

_____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

_____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.

_____ Photographs and/or drawings of existing development.

_____ Drawings of the proposed development – 11”x 17”.

_____ Material/color samples of existing and proposed changes - 8 ½”X 14” *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10/26/2014

DATE

Heritage Plaza Hotel Renovation

#81 Pope Avenue
Hilton Head Island, SC

Design Review Board Project Narrative

October 26, 2015

HHI Partners, LLC is proposing to renovate the existing Heritage Plaza mixed use commercial center located at 81 Pope Avenue. The existing +/- 40,000 SF facility, located on 3.77 acres was built nearly 40 years ago, many of the buildings are aging and no longer practical in today's market. The property is zoned Coligny Resort and is located across Pope Avenue from the future Coligny park and is surrounded by adjacent commercial on the sides and Coligny Villas to the rear.

The proposed development includes a new 6 story hotel to be located towards the rear of the site while four existing buildings and businesses are to remain (+/- 16,500 SF). Four existing structures (+/- 23,500 SF) and surrounding parking on the west (back) side of the site will be demolished to provide space for the new hotel. The hotel will have +/- 104 guest rooms, ground level meeting rooms, dining spaces, support services and a rooftop terrace with a swimming pool and outdoor bar.

The design intent of the proposed building is to have a village friendly scale, breaking down the facade through the use of brick and stucco, architectural detailing, balcony railings and numerous sloped standing seam metal roof sections with generous overhangs and bracketed supports. The hotel's drop-off porte-cochere is located on axis with the main entry and will provide site lines to and from Pope Avenue. Existing buildings to remain, include Sage Room, New York City Pizza, Plantation Café & Deli, Bicycle Billy's and Visitor Center. These buildings are planned to be renovated in the near future and their associated parking will be tied into the proposed renovations.

The site plan incorporates an enhanced entry corridor off of Pope Avenue, with sidewalks, streetscaping and pervious paved parking spaces. The hotel's drop-off will be aligned with a new pedestrian friendly entry drive corridor off of Pope Avenue and will interconnect with adjacent parking areas and the Town's pedestrian and bike pathway system. The existing surrounding parking will be enhanced with landscape islands and an integral sidewalk system that interconnecting the adjacent uses. The perimeter of the property will be cleaned up, with enhanced buffer plantings and the existing broken fence along the rear of the property will be replaced with a more visually appealing architectural fence.

Storm water management will consist of the use of permeable pavers, vegetated swales and a new underground collection system.

**HERITAGE PLAZA - HOTEL REDEVELOPMENT
EXISTING SITE & CONTEXT PHOTOS
DRB 10-27-15**



**HERITAGE PLAZA - HOTEL REDEVELOPMENT
EXISTING SITE & CONTEXT PHOTOS
DRB 10-27-15**



Coligny Plaza Gas Station



Adjacent Lagoon Road Commercial



On Site - Plantation Cafe



On Site - New York City Pizza

**HERITAGE PLAZA - HOTEL REDEVELOPMENT
EXISTING SITE & CONTEXT PHOTOS
DRB 10-27-15**



On Site - Buildings to be Demolished



On Site - Existing Driveway



On Site - Existing Buildings to be Demolished



Adjacent Lagoon Road Commercial Building

**HERITAGE PLAZA - HOTEL REDEVELOPMENT
EXISTING SITE & CONTEXT PHOTOS
DRB 10-27-15**



On Site - Rear Parking & Buildings to be Demolished



On Site - Rear Parking & Sage Restaurant (to Remain)



On Site - Side of Sage Restaurant



On Site - Buildings to be Demolished

**HERITAGE PLAZA - HOTEL REDEVELOPMENT
EXISTING SITE & CONTEXT PHOTOS
DRB 10-27-15**



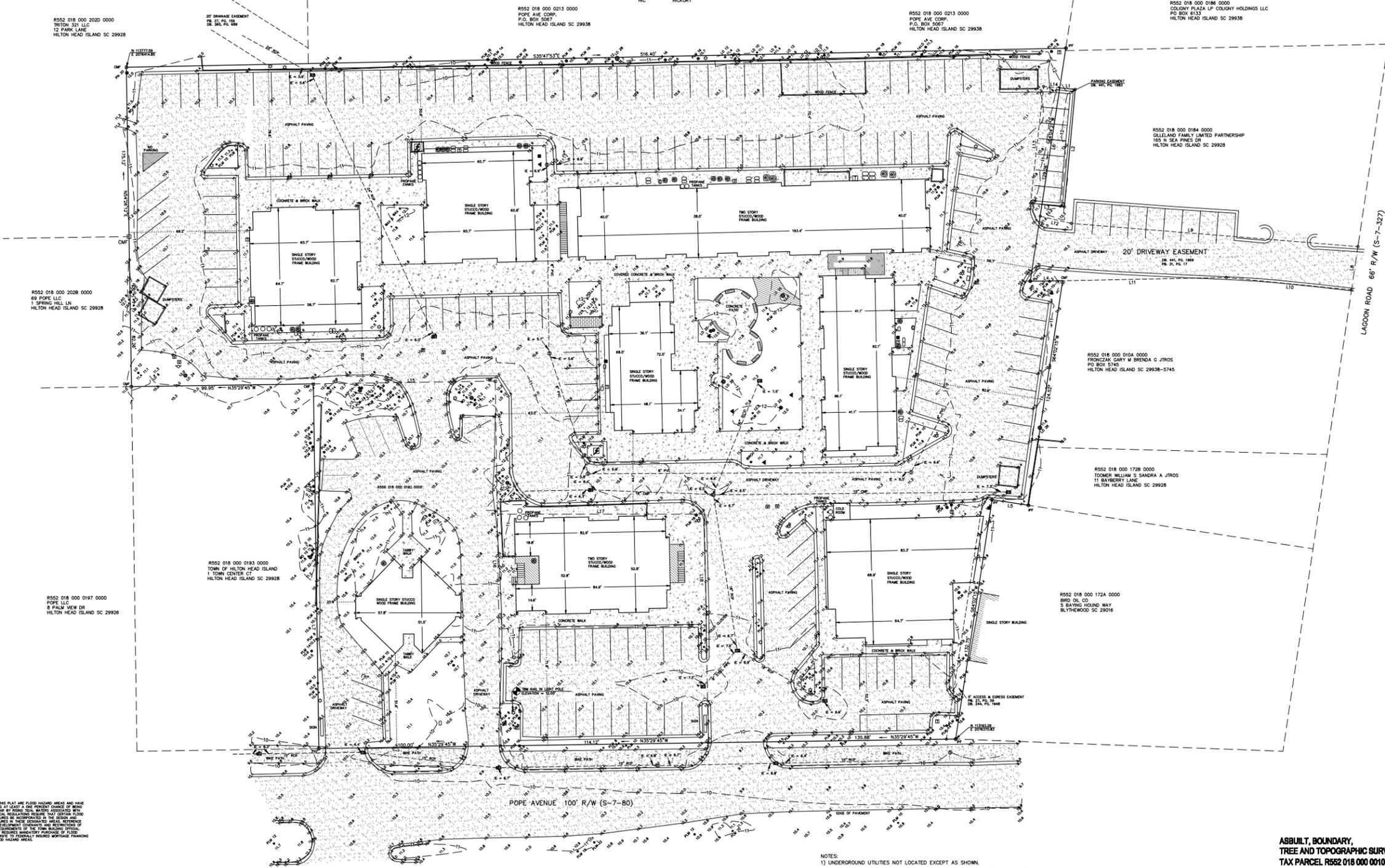


LEGEND & SYMBOLS:
TREE SIZES ARE INCHES IN DIAMETER

SPOT ELEVATION	ELECTRIC SERVICE
CONTOUR	ELECTRIC TRANSFORMER
CONCRETE MONUMENT FOUND	TELEPHONE SERVICE
1/2" IRON PIN FOUND	TELEVISION SERVICE
1/4" IRON PIN FOUND	WATER METER
TEMPORARY BENCH MARK	VALVE BOX
INVERT ELEVATION	IRRIGATION CONTROL VALVE
POLYVINYL CHLORIDE	SANITARY MANHOLE
CONVULSED METAL WIRE	STONE MANHOLE
REINFORCED CONCRETE PIPE	STORM MANHOLE
HIGH DENSITY POLYETHYLENE PIPE	CLEANOUT
LIVE OAK	FIRE HYDRANT
LAUREL OAK	UTILITY POLE
MADONIA	90'
RED OAK	90W
PINE	90W
WATER OAK	90W
WHITE OAK	90W
WAX MYRTLE	90W
CECIL	90W
TURKEY OAK	90W
GUM	90W
TUPelo	90W
BIRCH	90W
HOLLY	90W
HICKORY	90W

LINE TABLE

LINE	LENGTH	BEARING
L1	8.57	N 20°16'17" W
L2	64.72	N 80°35'22" E
L3	12.44	S 28°24'43" E
L4	17.81	S 82°27'45" E
L5	20.23	N 25°27'45" W
L6	44.64	S 84°54'17" W
L7	200.00	N 84°54'17" E
L8	24.00	S 83°32'00" W
L9	158.11	S 80°32'22" E
L10	69.10	N 20°10'09" W
L11	90.50	N 25°46'44" W
L12	17.50	N 81°30'37" W
L13	64.45	N 81°45'20" E
L14	8.94	N 20°17'17" W
L15	100.00	N 35°29'45" W
L16	200.00	N 84°54'17" E
L17	113.76	S 34°38'21" E
L18	125.35	S 54°20'00" W



NOTE: ALL AREAS ON THIS PLAN ARE FLOOD HAZARD AREAS AND HAVE BEEN IDENTIFIED AS SUCH BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND THE SOUTH CAROLINA DEPARTMENT OF NATURAL RESOURCES (SCDNR). THESE AREAS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND DO NOT CONSTITUTE A WARRANTY OF ANY KIND. THE CLIENT IS ADVISED THAT THE CONSTRUCTION OF THIS PROJECT MAY AFFECT THE FLOOD HAZARD AREAS SHOWN ON THIS PLAN. IN ADDITION, FEDERAL LAW REQUIRES MANDATORY PURCHASE OF FLOOD INSURANCE AS A PRECONDITION TO FINANCING ANY DEVELOPMENT IN THESE DESIGNATED FLOOD HAZARD AREAS.

REFERENCE PLAT:
1) ASBUILT PLAN OF HERITAGE PLAZA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 8/29/78, REVISED: 10/2/78, RECORDED IN BOOK 27, PAGE 59, DATED: 9/29/78, BY: E.H. FRIEDLESEN P.E.&L.S. 4624

PROPERTY AREA = 3.789 Ac. (TOTAL)
ADDRESS: 81 POPE AVENUE
DISTRICT: 552, MAP: 018, PARCEL: 10
THIS PROPERTY LIES IN F.E.M.A. ZONE A7
BASE FLOOD ELEVATION = 14.0'
COMMUNITY NO. 450260, PANEL 0013D, DATED: 9/29/86

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF THIS SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREON IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
 - 5) VERTICAL DATUM IS NGVD29.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED COMMERCIAL DEVELOPMENT.
 - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
 - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 10) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.



ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:
TAX PARCEL R552 018 000 0010 0000,
HERITAGE PLAZA, HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: HHI PARTNERS, LLC

DATE: 1/27/15 SCALE: 1" = 20'
SEA ISLAND LAND SURVEY, LLC
4D Matthews Court, Hilton Head Island, SC 29928
Tel: (843) 691-3298 Fax: (843) 696-3071 E-mail: sil@silnet.com
FILE No.: 044876 DWG No.: 2-1731

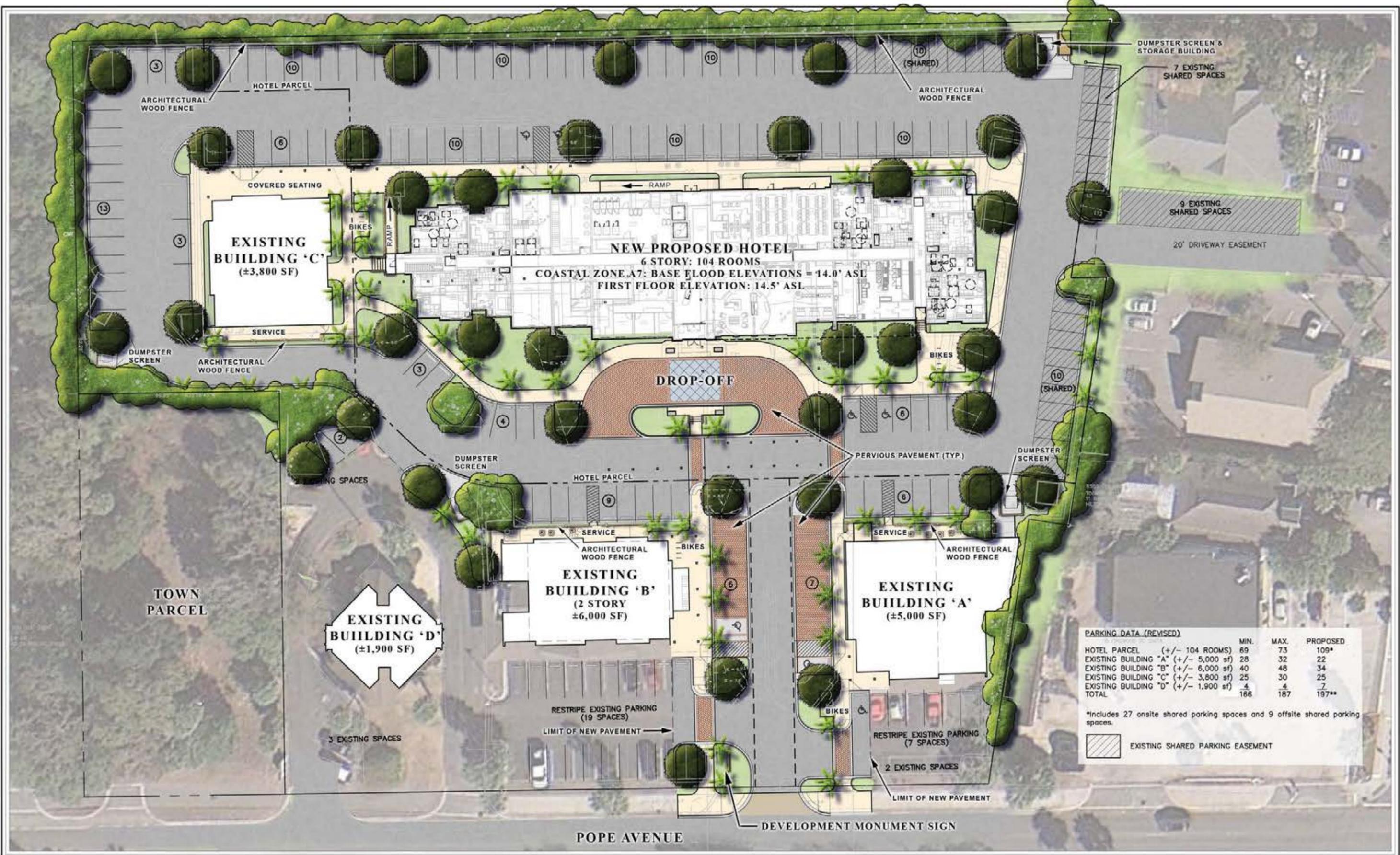


Legend

- Pedestrian Circulation
- Vehicular Circulation
- Entrance/Exit
- Outdoor Gathering Space
- Existing Building
- Significant Trees
- Intersection



Heritage Plaza
 Site Analysis
 October 27, 2015



PARKING DATA (REVISED)

	MIN.	MAX.	PROPOSED
HOTEL PARCEL (+/- 104 ROOMS)	69	73	109*
EXISTING BUILDING "A" (+/- 5,000 sf)	28	32	22
EXISTING BUILDING "B" (+/- 6,000 sf)	40	48	34
EXISTING BUILDING "C" (+/- 3,800 sf)	25	30	25
EXISTING BUILDING "D" (+/- 1,900 sf)	4	4	7
TOTAL	166	187	197**

*Includes 27 onsite shared parking spaces and 9 offsite shared parking spaces.

EXISTING SHARED PARKING EASEMENT



PLAN IS SUBJECT TO CHANGE

HERITAGE PLAZA - HOTEL REDEVELOPMENT
HILTON HEAD ISLAND, SOUTH CAROLINA
DATE: 10-27-15

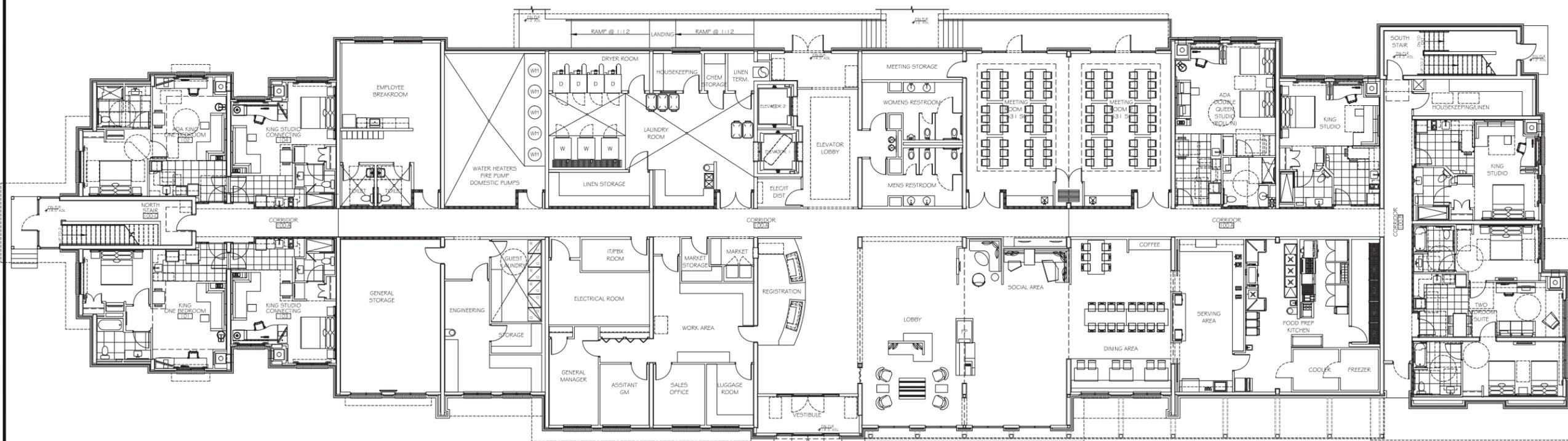
Wood Partners Inc. WPI
Landscape Architects
Land Planners

PO Box 2569 • Hilton Head Island, SC 29928
903.681.0018 • Fax 903.681.708 • www.woodpartners.com

SQUARE FOOTAGE	
FLOOR	HEATED & COOLED
FIRST FLOOR	18,187
SECOND FLOOR	16,574
THIRD FLOOR	17,727
FOURTH FLOOR	17,727
FIFTH FLOOR	17,727
SIXTH FLOOR	2,925
TOTALS	90,867

GUESTROOM MIX	FLOOR					TOTAL	RATIO	SF PER
	1	2	3	4	5			
ONE BEDROOM KING SUITE	1	2	2	2	2	9	8%	
KING STUDIO CONNECTING	2	2	2	2	2	10	9%	
KING STUDIO	2	3	3	3	2	13	13%	
DOUBLE QUEEN STUDIO	1	15	16	16	16	64	62%	
TWO BEDROOM SUITE	-	1	1	1	-	3	3%	
ADA ONE BEDROOM KING SUITE	-	-	-	-	-	1	> 1%	
ADA KING STUDIO	-	-	-	-	-	1	> 1%	
ADA DOUBLE QUEEN STUDIO	1	-	1	1	-	3	3%	
ADA TWO BEDROOM SUITE	1	-	-	-	-	1	> 1%	
TOTALS	8	23	25	25	23	104		

THIS DRAWING IS PRELIMINARY, AND NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



BREAKFAST AREA CALCULATIONS

- 2 LINEAR FEET PER 10 GUESTROOMS: 104/10 = 10.4X2 = 20.8 (48' PROVIDED)
- PROTOTYPE PROVIDES 38 SEATS/127 ROOMS = 1 SEAT/3.3 ROOMS.
- PROPOSED DESIGN PROVIDES 48/104 ROOMS = 1 SEAT/2.1 ROOMS.
- MEETING ROOM CAN BE SETUP FOR OVERFLOW DINING WITH AN ADDITIONAL 72 SEATS FOR A TOTAL OF 120

1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
JOB TRUE NORTH

Owner:

2743 PERIMETER PARKWAY
B-100 #378
AUGUSTA, GEORGIA 30909

Project:
Residence Inn®
Marriott
HILTON HEAD ISLAND

HILTON HEAD ISLAND, SC

FIRST FLOOR PLAN

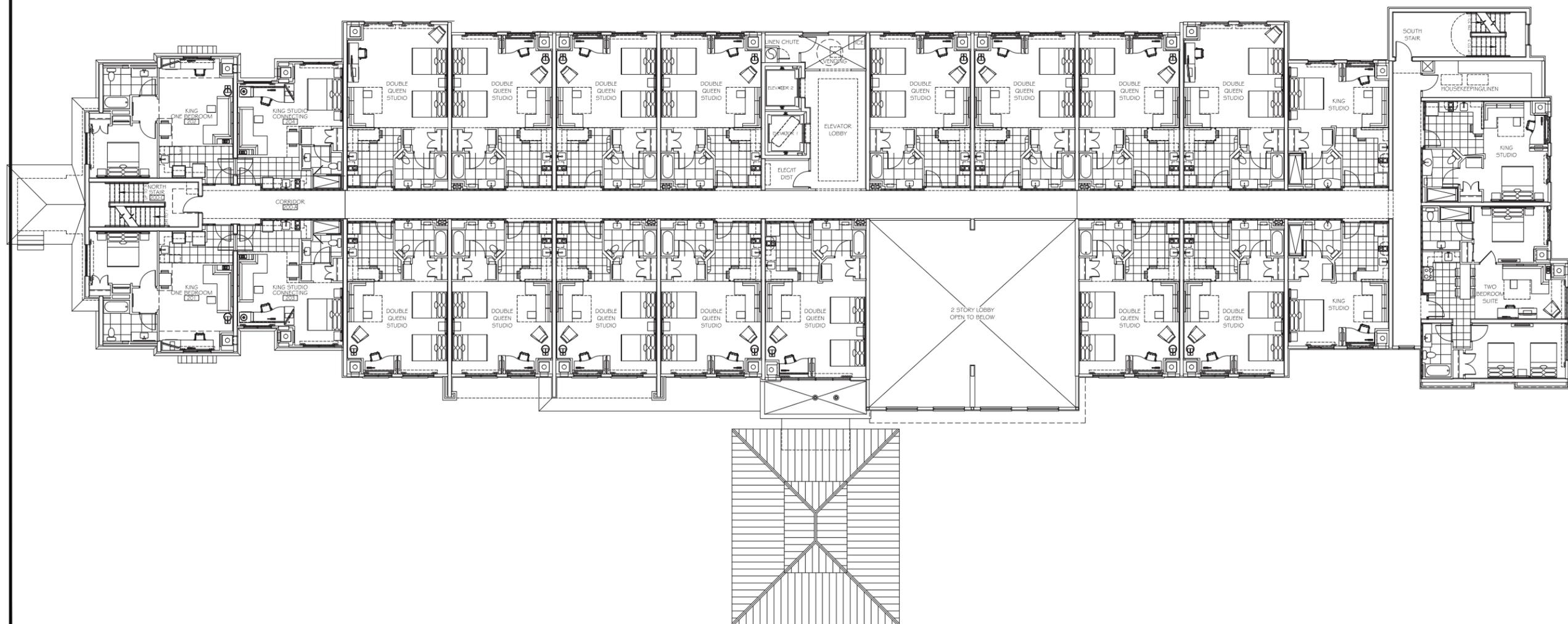
DESIGN DEVELOPMENT
job no.: 14029
date:
by: T.E.R.
app: R.W.P.
file name: HHI-A1.1.DWG
sheet no.:

A-1.1

THIS DRAWING IS PRELIMINARY, AND NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

FLOOR	SQUARE FOOTAGE	
	HEATED & COOLED	
FIRST FLOOR	18,187	
SECOND FLOOR	16,574	
THIRD FLOOR	17,727	
FOURTH FLOOR	17,727	
FIFTH FLOOR	17,727	
SIXTH FLOOR	2,925	
TOTALS	90,867	

GUESTROOM MIX ROOM TYPE	FLOOR					TOTAL	RATIO	SF PER
	1	2	3	4	5			
ONE BEDROOM KING SUITE	1	2	2	2	2	9	8%	
KING STUDIO CONNECTING	2	2	2	2	2	10	9%	
KING STUDIO	2	3	3	3	2	13	13%	
DOUBLE QUEEN STUDIO	1	15	16	16	16	64	62%	
TWO BEDROOM SUITE	-	1	1	1	-	3	3%	
ADA ONE BEDROOM KING SUITE	-	-	-	-	-	1	> 1%	
ADA KING STUDIO	-	-	-	-	1	1	> 1%	
ADA DOUBLE QUEEN STUDIO	1	-	1	1	-	3	3%	
ADA TWO BEDROOM SUITE	1	-	-	-	-	1	> 1%	
TOTALS	8	23	25	25	23	104		



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
JOB TRUE NORTH

No.	Date	Revision

Owner:

2743 PERIMETER PARKWAY
B-100 #378
AUGUSTA, GEORGIA 30909

Project:



HILTON HEAD ISLAND, SC

SECOND FLOOR PLAN

DESIGN DEVELOPMENT

job no.: 14029

date:

by: T.E.R.

opp: R.W.P.

file name: HHI-AT.2.DWG

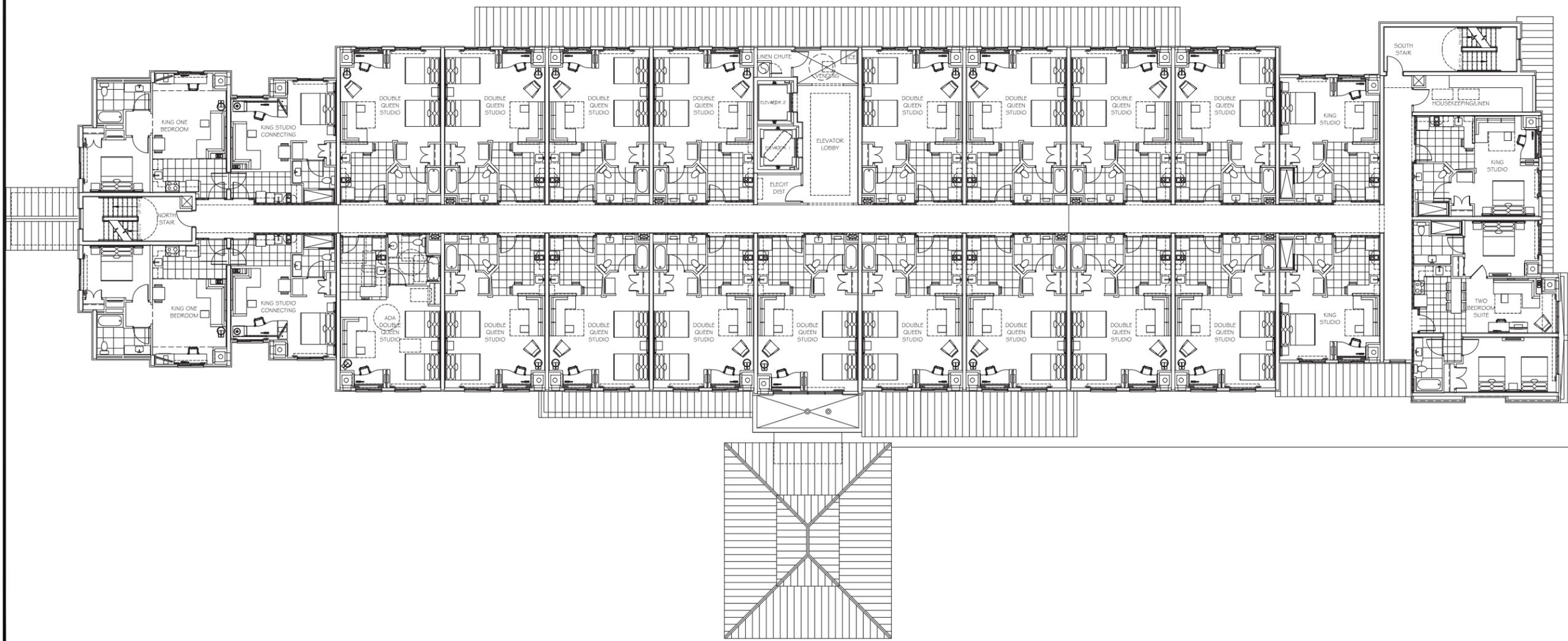
sheet no.:

A-1.2

THIS DRAWING IS PRELIMINARY, AND NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

FLOOR	SQUARE FOOTAGE	
	HEATED & COOLED	
FIRST FLOOR	18,187	
SECOND FLOOR	16,574	
THIRD FLOOR	17,727	
FOURTH FLOOR	17,727	
FIFTH FLOOR	17,727	
SIXTH FLOOR	2,925	
TOTALS	90,867	

ROOM TYPE	FLOOR					TOTAL	RATIO	SF PER
	1	2	3	4	5			
ONE BEDROOM KING SUITE	1	2	2	2	2	9	8%	
KING STUDIO CONNECTING	2	2	2	2	2	10	9%	
KING STUDIO	2	3	3	3	2	13	13%	
DOUBLE QUEEN STUDIO	1	15	16	16	16	64	62%	
TWO BEDROOM SUITE	-	1	1	1	-	3	3%	
ADA ONE BEDROOM KING SUITE	-	-	-	-	-	1	> 1%	
ADA KING STUDIO	-	-	-	-	1	1	> 1%	
ADA DOUBLE QUEEN STUDIO	1	-	1	1	-	3	3%	
ADA TWO BEDROOM SUITE	1	-	-	-	-	1	> 1%	
TOTALS	8	23	25	25	23	104		



1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
JOB TRUE NORTH

No. Date Revision

Owner:

2743 PERIMETER PARKWAY
B-100 8378
AUGUSTA, GEORGIA 30909

Project:
Residence Inn
Marriott
HILTON HEAD ISLAND

HILTON HEAD ISLAND, SC

THIRD FLOOR PLAN

DESIGN DEVELOPMENT

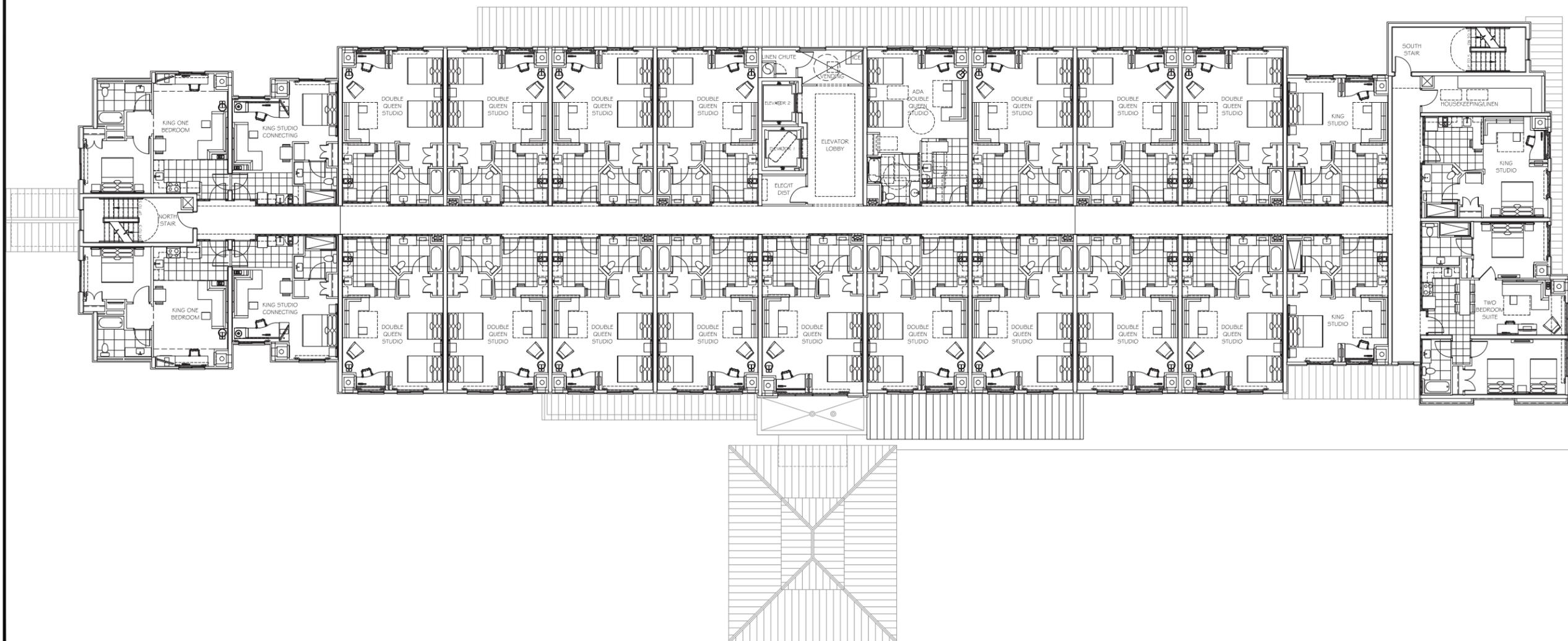
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date:
by: T.E.R.
opp: R.W.P.
file name: HHI-AT_3.DWG
sheet no.:

A-1.3

THIS DRAWING IS PRELIMINARY, AND NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

FLOOR	SQUARE FOOTAGE	
	HEATED & COOLED	
FIRST FLOOR	18,187	
SECOND FLOOR	16,574	
THIRD FLOOR	17,727	
FOURTH FLOOR	17,727	
FIFTH FLOOR	17,727	
SIXTH FLOOR	2,925	
TOTALS	90,867	

ROOM TYPE	FLOOR					TOTAL	RATIO	SF PER
	1	2	3	4	5			
ONE BEDROOM KING SUITE	1	2	2	2	2	9	8%	
KING STUDIO CONNECTING	2	2	2	2	2	10	9%	
KING STUDIO	2	3	3	3	2	13	13%	
DOUBLE QUEEN STUDIO	1	15	16	16	16	64	62%	
TWO BEDROOM SUITE	-	1	1	1	-	3	3%	
ADA ONE BEDROOM KING SUITE	-	-	-	-	-	1	> 1%	
ADA KING STUDIO	-	-	-	-	-	1	> 1%	
ADA DOUBLE QUEEN STUDIO	1	-	1	1	-	3	3%	
ADA TWO BEDROOM SUITE	1	-	-	-	-	1	> 1%	
TOTALS	8	23	25	25	23	104		



1 FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
JOB TRUE NORTH

No.	Date	Revision

Owner:

2743 PERIMETER PARKWAY
B-100 #378
AUGUSTA, GEORGIA 30909

Project:



HILTON HEAD ISLAND, SC

FOURTH FLOOR PLAN

DESIGN DEVELOPMENT

job no.: 14029

date:

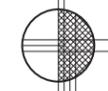
by: T.E.R.

opp: R.W.P.

file name: HHI-A1.4.DWG

sheet no.:

A-1.4

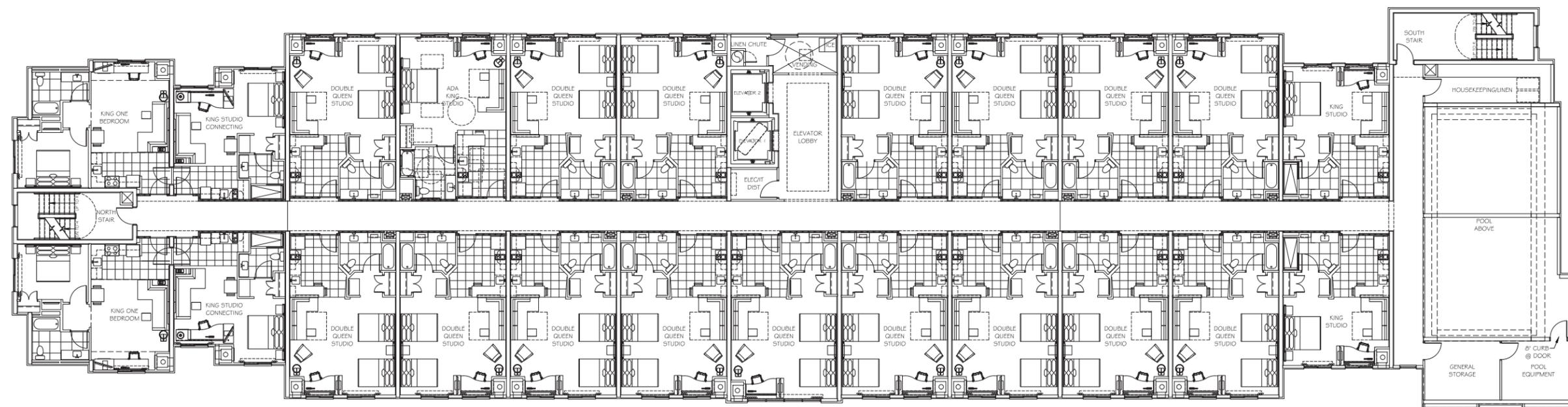


346 Lakeview Drive
Duluth, GA 30006
770-449-8509
770-449-8501 Fax

FLOOR	SQUARE FOOTAGE	
	HEATED & COOLED	
FIRST FLOOR	18,187	
SECOND FLOOR	16,574	
THIRD FLOOR	17,727	
FOURTH FLOOR	17,727	
FIFTH FLOOR	17,727	
SIXTH FLOOR	2,925	
TOTALS	90,867	

ROOM TYPE	FLOOR					TOTAL	RATIO	SF PER
	1	2	3	4	5			
ONE BEDROOM KING SUITE	1	2	2	2	2	9	8%	
KING STUDIO CONNECTING	2	2	2	2	2	10	9%	
KING STUDIO	2	3	3	3	2	13	13%	
DOUBLE QUEEN STUDIO	1	15	16	16	16	64	62%	
TWO BEDROOM SUITE	-	1	1	1	-	3	3%	
ADA ONE BEDROOM KING SUITE	-	-	-	-	-	1	> 1%	
ADA KING STUDIO	-	-	-	-	1	1	> 1%	
ADA DOUBLE QUEEN STUDIO	1	-	1	1	-	3	3%	
ADA TWO BEDROOM SUITE	1	-	-	-	-	1	> 1%	
TOTALS	8	23	25	25	23	104		

THIS DRAWING IS PRELIMINARY, AND NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Owner:

2743 PERIMETER PARKWAY
B-100 8378
AUGUSTA, GEORGIA 30909

Project:



HILTON HEAD ISLAND, SC

FIFTH FLOOR PLAN

DESIGN DEVELOPMENT

job no.: 14029

date:

by: T.E.R.

opp: R.W.P.

file name: HHI-AT.5.DWG

sheet no.:

A-1.5

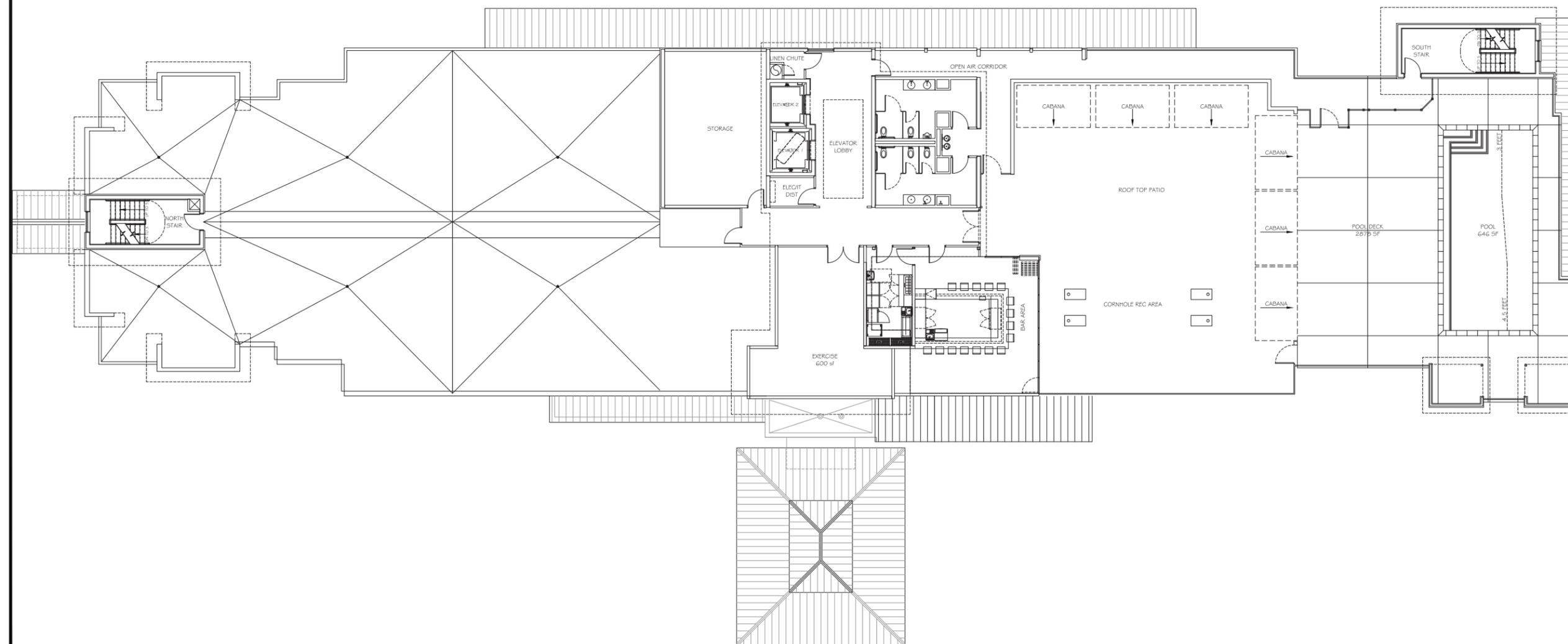
1 FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
JOB TRUE NORTH



FLOOR	SQUARE FOOTAGE	
	HEATED & COOLED	
FIRST FLOOR	18,187	
SECOND FLOOR	16,574	
THIRD FLOOR	17,727	
FOURTH FLOOR	17,727	
FIFTH FLOOR	17,727	
SIXTH/FLOOR	2,925	
TOTALS	90,867	

ROOM TYPE	FLOOR					TOTAL	RATIO	SF PER
	1	2	3	4	5			
ONE BEDROOM KING SUITE	1	2	2	2	2	9	8%	
KING STUDIO CONNECTING	2	2	2	2	2	10	9%	
KING STUDIO	2	3	3	3	2	13	13%	
DOUBLE QUEEN STUDIO	1	15	16	16	16	64	62%	
TWO BEDROOM SUITE	-	1	1	1	-	3	3%	
ADA ONE BEDROOM KING SUITE	-	-	-	-	-	1	> 1%	
ADA KING STUDIO	-	-	-	-	1	1	> 1%	
ADA DOUBLE QUEEN STUDIO	1	-	1	1	-	3	3%	
ADA TWO BEDROOM SUITE	1	-	-	-	-	1	> 1%	
TOTALS	8	23	25	25	23	104	> 1%	

THIS DRAWING IS PRELIMINARY, AND NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



1 SIXTH FLOOR/ROOF PLAN
SCALE: 1/8" = 1'-0"



TRUE NORTH

No. Date Revision

Owner:

2743 PERIMETER PARKWAY
S-100 #378
AUGUSTA, GEORGIA 30909

Project:



HILTON HEAD ISLAND, SC

SIXTH FLOOR/ROOF PLAN

DESIGN DEVELOPMENT

job no.: 14029

date:

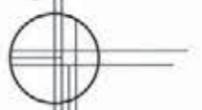
by: T.E.R.

app: R.W.P.

file name: HHI-AT.6.DWG

sheet no.:

A-1.6



REAR ELEVATION
SCALE: 3/32" = 1'-0"



FRONT ELEVATION
SCALE: 3/32" = 1'-0"

No. Date Revision

Owner:

Project:
RESIDENCE
INN

HILTON HEAD,
S.C.

job no.: 14029
date: 10/2/15
by: CP
app:
file name:
sheet no.:



RESIDENCE INN by MARRIOTT

HILTON HEAD ISLAND, SOUTH CAROLINA

BRICK VENEER

CHEROKEE BRICK AND TILE MOSSTOWN MODULAR
W/ BORAL WHITE MORTAR

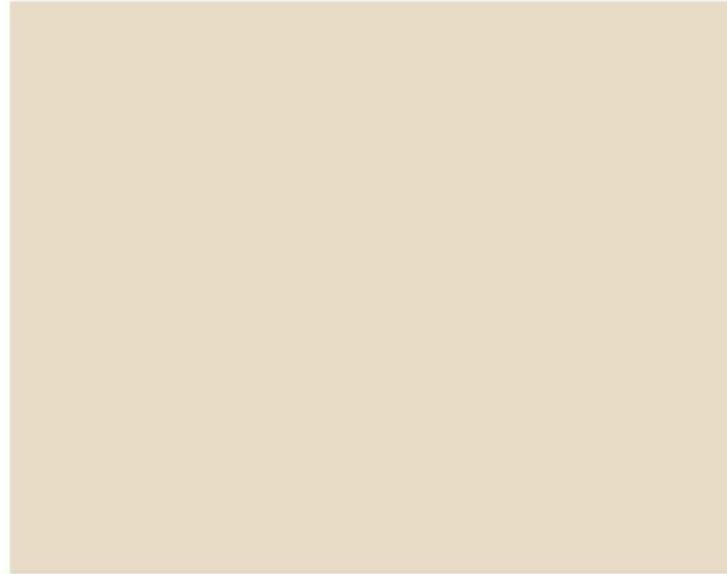


METAL ROOF/RAILINGS/WINDOW FRAMES ROMAN BRONZE



ACCENT METAL RAILINGS AT ROOF SILVER

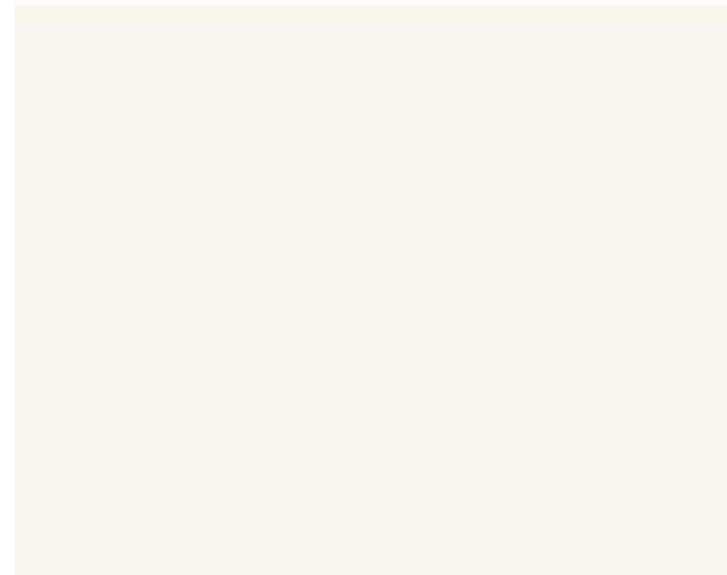
EIFS COLOR 1 ANTIQUE WHITE



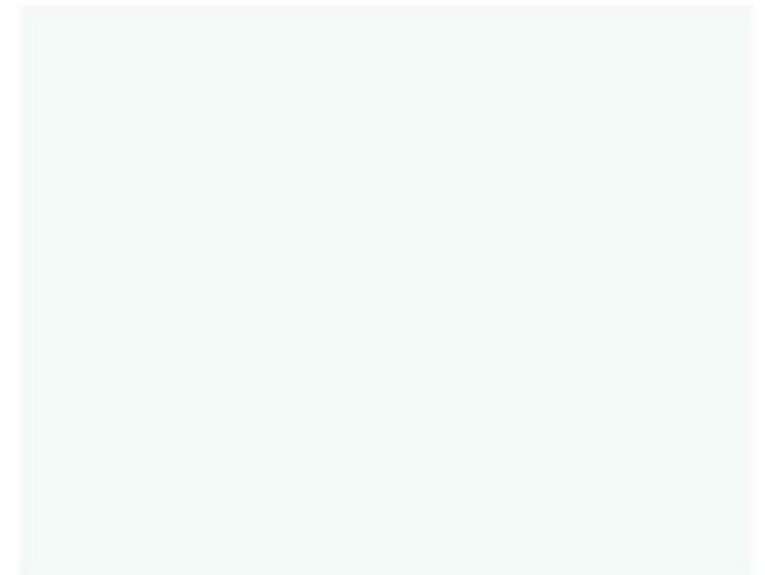
EIFS COLOR 2 BELIEVABLE BUFF

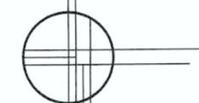


EIFS COLOR 3 ANTIQUE WHITE WITH 50% MORE WHITE



GLAZING COLOR PPG SOLARBAN 70XL CLEAR GLAZING





REAR ELEVATION
SCALE: 3/32" = 1'-0"



FRONT ELEVATION
SCALE: 3/32" = 1'-0"

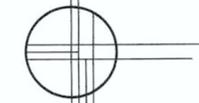
No.	Date	Revision

Owner:

Project:
RESIDENCE
INN

HILTON HEAD,
S.C.

job no.: 14029
date: 10/2/15
by: CP
app:
file name:
sheet no.:



WEST END ELEVATION

SCALE: 3/32" = 1'-0"



EAST END ELEVATION

SCALE: 3/32" = 1'-0"

No. Date Revision

Owner:

Project:
RESIDENCE
INN

HILTON HEAD,
S.C.

job no: A029

date: 10/2/15

by: CP

app:

file name:

sheet no.:

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Heritage Plaza Hotel Redevelopment -
NEW DEVELOPMENT - CONCEPTUAL

DRB#: DRB-002000-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Re-evaluate EFIS color 3 and consider darker shade.
2. Re-evaluate amount of brick used on building, especially on central element.
3. Include landscaping of size and scale to balance mass of building.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include brick and stucco. Colors include cream and beige.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Combination of 6/12 pitched roof sections and flat roof sections
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include brick and stucco.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Implied wood brackets, shutters, etc.
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown on conceptual submittal.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Redevelopment project with little area for landscaping.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Include landscaping of size and scale to balance scale of building.
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Landscape plan				
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D.
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Where new sidewalks (brick walkways) cross traffic patterns, detectable warning devices will be required and these shall be contrasting in color with the surrounding materials.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Roni Allbritton Company: Shelter Cove II
 Mailing Address: 40 Shelter Cove Lane City: Hilton Head State: SC Zip: 29928
 Telephone: 843-686-3090 Fax: 843-686-5581 E-mail: allbritton@sheltercove-townecentre.com
 Project Name: Shelter Cove Apartments Project Address: _____
 Parcel Number [PIN]: R 52001200600260000 _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

_____ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10-27-15

DATE

NILES BOLTON ASSOCIATES

October 26, 2015

Re: **Shelter Cove Apartments - East #2**
DRB Conceptual Review Narrative
NBA Project No. 113046.00

The Shelter Cove Apartment Project includes two multifamily residential sites that flank the Veterans Memorial Park. The East #2 site, East of the Veterans Park, will provide 104 luxury flats in a 4-story building with a 4-story wrapped parking deck. One, two and three bedroom units will have a mix of open and screened balconies in a configuration that takes advantage of the beautiful marsh views. The Architecture is an upscale coastal style that blends well with the Shelter Cove Mall Development and compliments the greater Hilton Head Island context. Materials such as brick and fiber cement siding, large windows, brackets, and overhanging balconies will give the building texture and depth. As a result of previous conversations concerning scale, we have further stepped the building down to 3-stories on the facade facing Shelter Cove Lane. All parking for residents and guests will be provided within the structured parking deck.

While colors are not specifically represented at this point. They will be subdued and fitting for the island context. The colors, materials and design will also mimic the East #1 building so the community as a whole is tied together visually. The parking deck will feature an accent drive under feature which will help to hide visibility of the deck itself.

In addition to the building experience, there is a focus on landscape design that makes the property an even more inviting destination. The public path will wrap behind the buildings and follow the banks of the marsh providing waterfront access and views. The multi-use path will also serve as emergency service access for the buildings. The pedestrian experience along this path will feature the visual interest of low lying plantings, shade trees, gardens, wetlands, marsh and a pass by the luxury property amenity area. Landscaping and subtle grade changes will be artfully used to delineate public and private areas.

Overall, the design features of this project will strive to celebrate the beauty and uniqueness of the property while respecting the public experience and the greater Hilton Head design context.

Atlanta
3060 Peachtree Rd. N.W.
Suite 600
Atlanta, GA 30305
404 365 7600

Alexandria
300 North Lee St.
Suite 502
Alexandria, VA 22314
703 836 0915

San Jose
325 South First St.
Suite 301
San Jose, CA 95113
408 278 1249

SURROUNDING CONTEXT



NEWPORT COMMUNITY



NEWPORT COMMUNITY



MAINSAIL COMMUNITY



HARBORSIDE COMMUNITY



EXECUTIVE PARK



WATERSEDGE COMMUNITY

SURROUNDING CONTEXT



SHELTER COVE MALL



SHELTER COVE MALL



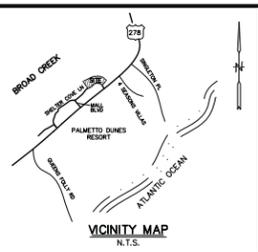
SHELTER COVE MALL



SHELTER COVE MALL



SHELTER COVE PARK



CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C11	337.92'	378.17'	181.18'	326.79'	S 71°34'29" W	51°11'52"
C12	363.27'	1024.77'	183.56'	361.37'	S 58°08'45" W	20°18'38"
C13	67.48'	1024.77'	33.80'	67.37'	S 68°11'25" W	3°46'42"

LEGEND	
SPOT ELEVATION	SPOT ELEVATION
IRON OIL FOUND	3"x3" CONCRETE MONUMENT FOUND
T.B.M.	TEMPORARY BENCH MARK
P.B.	POWER BOX
TFR	TRANSFORMER
CO	CLEAN-OUT
FH	FIRE HYDRANT
WV	WATER VALVE
WM	WATER METER
LP	LIGHT POLE
PP	POWER POLE
SSMH	SANITARY SEWER MANHOLE
SSMH	STORM DRAIN MANHOLE
CB	CATCH BASIN
CI	CURB INLET
E	INVERT ELEVATION
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
HDCPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE PIPE
SS	UNDERGROUND SANITARY SEWER LINE
SD	UNDERGROUND STORM DRAIN LINE
OHP	OVERHEAD POWER TRANSMISSION WIRES
WL	UNDERGROUND WATERLINE
BSP	BROOK
CED	CEDAR
PNE	PINE
PEC	PECAN
HKB	HACKBERRY
FLM	FLAMINGO
CHY	CHERRY
WAX	WAX MYRTLE
LO	LIVE OAK
TD	TURKEY OAK
LA	LAUREL OAK
W	WILLOW
H	HICKORY

SPECIAL NOTE:
THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES THE ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

SIGNATURE _____ DATE _____
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

DHEC-OCRM CRITICAL LINE TABLE		
LINE	LENGTH	BEARING
D11	17.34'	S 72°11'26" W
D12	26.09'	S 81°13'39" W
D13	42.75'	S 84°30'24" W
D14	48.22'	S 86°45'19" W
D15	18.27'	N 84°09'14" W
D16	29.25'	N 73°51'06" W
D17	43.41'	S 89°25'56" W
D18	35.71'	S 70°39'41" W
D19	17.50'	S 85°30'20" W
D20	40.40'	S 49°15'56" W
D21	28.01'	S 56°35'42" W
D22	36.94'	S 50°15'04" W
D23	46.84'	S 61°27'54" W
D24	39.72'	S 60°16'57" W
D25	26.26'	S 89°22'28" W
D26	8.84'	S 49°02'53" W
D27	0.81'	N 28°00'30" W
D28	25.01'	S 81°59'26" W
D29	9.12'	S 49°17'06" W
D30	12.19'	S 33°02'36" W
D31	17.39'	N 66°43'14" W
D32	14.60'	N 78°25'50" W
D33	41.70'	S 79°59'41" W
D34	39.51'	S 83°19'34" W
D35	44.80'	S 83°04'54" W
D36	50.80'	S 84°35'31" W
D37	34.78'	S 87°01'56" W
D38	22.80'	S 86°23'56" W
D39	34.09'	S 80°39'30" W
D40	35.57'	S 86°42'20" W
D41	48.40'	N 85°25'17" W
D42	41.85'	N 89°21'32" W
D43	37.60'	N 88°13'51" W
D44	36.20'	S 88°17'58" W
D45	46.53'	S 81°31'04" W
D46	42.66'	S 56°10'36" W
D47	46.78'	S 54°29'11" W
D48	66.42'	S 54°15'09" W
D49	43.68'	S 56°50'47" W
D50	40.80'	S 49°25'11" W
D51	22.37'	S 56°30'11" W
D52	32.00'	S 50°50'09" W
D53	32.28'	S 52°03'42" W
D54	90.21'	S 46°56'11" W
D55	34.09'	S 50°28'25" W
D56	34.82'	S 51°23'24" W
D57	9.72'	S 44°39'01" E
D58	30.30'	N 55°44'50" E
D59	16.74'	N 70°41'50" E
D60	22.96'	S 28°48'55" E
D61	24.53'	N 81°43'34" E
D62	24.60'	N 40°26'30" E
D63	15.07'	N 41°14'46" E
D64	38.34'	N 52°14'32" E
D65	43.37'	N 53°17'00" E
D66	27.72'	N 35°45'02" E
D67	3.52'	S 31°21'10" E
D68	28.48'	N 82°04'28" E
D69	31.97'	S 48°40'17" E
D70	24.31'	S 44°41'27" E
D71	13.80'	S 11°58'10" E
D72	37.44'	S 24°38'28" E
D73	28.71'	S 34°14'02" E
D74	22.97'	S 58°00'01" E
D75	26.14'	S 71°19'20" E
D76	30.70'	S 55°21'28" E
D77	36.77'	S 46°48'26" E
D78	26.53'	S 52°20'53" E
D79	29.38'	S 52°00'28" E
D80	63.92'	S 43°06'11" E
D81	42.13'	S 40°00'49" E
D82	30.68'	S 46°44'14" E
D83	40.24'	S 40°47'41" E
D84	0.05'	S 84°20'17" E
D85	6.49'	N 49°32'13" E
D86	11.62'	N 46°13'52" E
D87	44.10'	N 40°21'34" E
D88	43.38'	N 42°34'35" E
D89	36.16'	N 38°08'23" E
D90	45.00'	N 41°22'31" E
D91	50.87'	N 49°30'12" E
D92	40.56'	N 45°18'22" E
D93	47.78'	N 38°31'36" E
D94	72.06'	N 48°57'51" E
D95	46.50'	N 39°33'49" E
D96	34.96'	N 50°41'47" E
D97	20.49'	N 53°10'17" E
D98	20.01'	N 26°40'25" E
D99	18.86'	N 79°49'29" E
D100	38.10'	S 53°33'50" W
D101	54.50'	S 49°49'29" W
D102	43.31'	S 47°43'11" W
D103	47.88'	S 51°42'28" W
D104	34.75'	S 47°21'55" W
D105	36.50'	S 57°13'48" E
D106	45.92'	S 33°16'42" E
D107	28.43'	S 28°35'27" E
D108	21.22'	S 11°31'04" E
D109	18.71'	S 11°58'57" E
D110	19.99'	S 46°11'40" W
D111	17.67'	S 44°04'14" W
D112	26.60'	N 68°31'23" W
D113	42.24'	N 32°37'38" W
D114	44.02'	N 22°26'14" W
D115	33.72'	N 05°17'40" W
D116	31.71'	N 34°47'02" E
D117	28.64'	N 75°56'13" E

DHEC-OCRM CRITICAL LINE TABLE (FROM OTHER PLATS CONTAINED BEFORE PROJECT LIMITS)		
LINE	LENGTH	BEARING
D1	17.34'	S 72°11'26" W
D2	26.09'	S 81°13'39" W
D3	42.75'	S 84°30'24" W
D4	48.22'	S 86°45'19" W
D5	18.27'	N 84°09'14" W
D6	29.25'	N 73°51'06" W
D7	43.41'	S 89°25'56" W
D8	35.71'	S 70°39'41" W
D9	17.50'	S 85°30'20" W
D10	40.40'	S 49°15'56" W
D11	28.01'	S 56°35'42" W
D12	36.94'	S 50°15'04" W
D13	46.84'	S 61°27'54" W
D14	39.72'	S 60°16'57" W
D15	26.26'	S 89°22'28" W
D16	8.84'	S 49°02'53" W
D17	0.81'	N 28°00'30" W
D18	25.01'	S 81°59'26" W
D19	9.12'	S 49°17'06" W
D20	12.19'	S 33°02'36" W
D21	17.39'	N 66°43'14" W
D22	14.60'	N 78°25'50" W
D23	41.70'	S 79°59'41" W
D24	39.51'	S 83°19'34" W
D25	44.80'	S 83°04'54" W
D26	50.80'	S 84°35'31" W
D27	34.78'	S 87°01'56" W
D28	22.80'	S 86°23'56" W
D29	34.09'	S 80°39'30" W
D30	35.57'	S 86°42'20" W
D31	48.40'	N 85°25'17" W
D32	41.85'	N 89°21'32" W
D33	37.60'	N 88°13'51" W
D34	36.20'	S 88°17'58" W
D35	46.53'	S 81°31'04" W
D36	42.66'	S 56°10'36" W
D37	46.78'	S 54°29'11" W
D38	66.42'	S 54°15'09" W
D39	43.68'	S 56°50'47" W
D40	40.80'	S 49°25'11" W
D41	22.37'	S 56°30'11" W
D42	32.00'	S 50°50'09" W
D43	32.28'	S 52°03'42" W
D44	90.21'	S 46°56'11" W
D45	34.09'	S 50°28'25" W
D46	34.82'	S 51°23'24" W
D47	9.72'	S 44°39'01" E
D48	30.30'	N 55°44'50" E
D49	16.74'	N 70°41'50" E
D50	22.96'	S 28°48'55" E
D51	24.53'	N 81°43'34" E
D52	24.60'	N 40°26'30" E
D53	15.07'	N 41°14'46" E
D54	38.34'	N 52°14'32" E
D55	43.37'	N 53°17'00" E
D56	27.72'	N 35°45'02" E
D57	3.52'	S 31°21'10" E
D58	28.48'	N 82°04'28" E
D59	31.97'	S 48°40'17" E
D60	24.31'	S 44°41'27" E
D61	13.80'	S 11°58'10" E
D62	37.44'	S 24°38'28" E
D63	28.71'	S 34°14'02" E
D64	22.97'	S 58°00'01" E
D65	26.14'	S 71°19'20" E
D66	30.70'	S 55°21'28" E
D67	36.77'	S 46°48'26" E
D68	26.53'	S 52°20'53" E
D69	29.38'	S 52°00'28" E
D70	63.92'	S 43°06'11" E
D71	42.13'	S 40°00'49" E
D72	30.68'	S 46°44'14" E
D73	40.24'	S 40°47'41" E
D74	0.05'	S 84°20'17" E
D75	6.49'	N 49°32'13" E
D76	11.62'	N 46°13'52" E
D77	44.10'	N 40°21'34" E
D78	43.38'	N 42°34'35" E
D79	36.16'	N 38°08'23" E
D80	45.00'	N 41°22'31" E
D81	50.87'	N 49°30'12" E
D82	40.56'	N 45°18'22" E
D83	47.78'	N 38°31'36" E
D84	72.06'	N 48°57'51" E
D85	46.50'	N 39°33'49" E
D86	34.96'	N 50°41'47" E
D87	20.49'	N 53°10'17" E
D88	20.01'	N 26°40'25" E
D89	18.86'	N 79°49'29" E
D90	38.10'	S 53°33'50" W
D91	54.50'	S 49°49'29" W
D92	43.31'	S 47°43'11" W
D93	47.88'	S 51°42'28" W
D94	34.75'	S 47°21'55" W
D95	36.50'	S 57°13'48" E
D96	45.92'	S 33°16'42" E
D97	28.43'	S 28°35'27" E
D98	21.22'	S 11°31'04" E
D99	18.71'	S 11°58'57" E
D100	19.99'	S 46°11'40" W
D101	17.67'	S 44°04'14" W
D102	26.60'	N 68°31'23" W
D103	42.24'	N 32°37'38" W
D104	44.02'	N 22°26'14" W
D105	33.72'	N 05°17'40" W
D106	31.71'	N 34°47'02" E
D107	28.64'	N 75°56'13" E

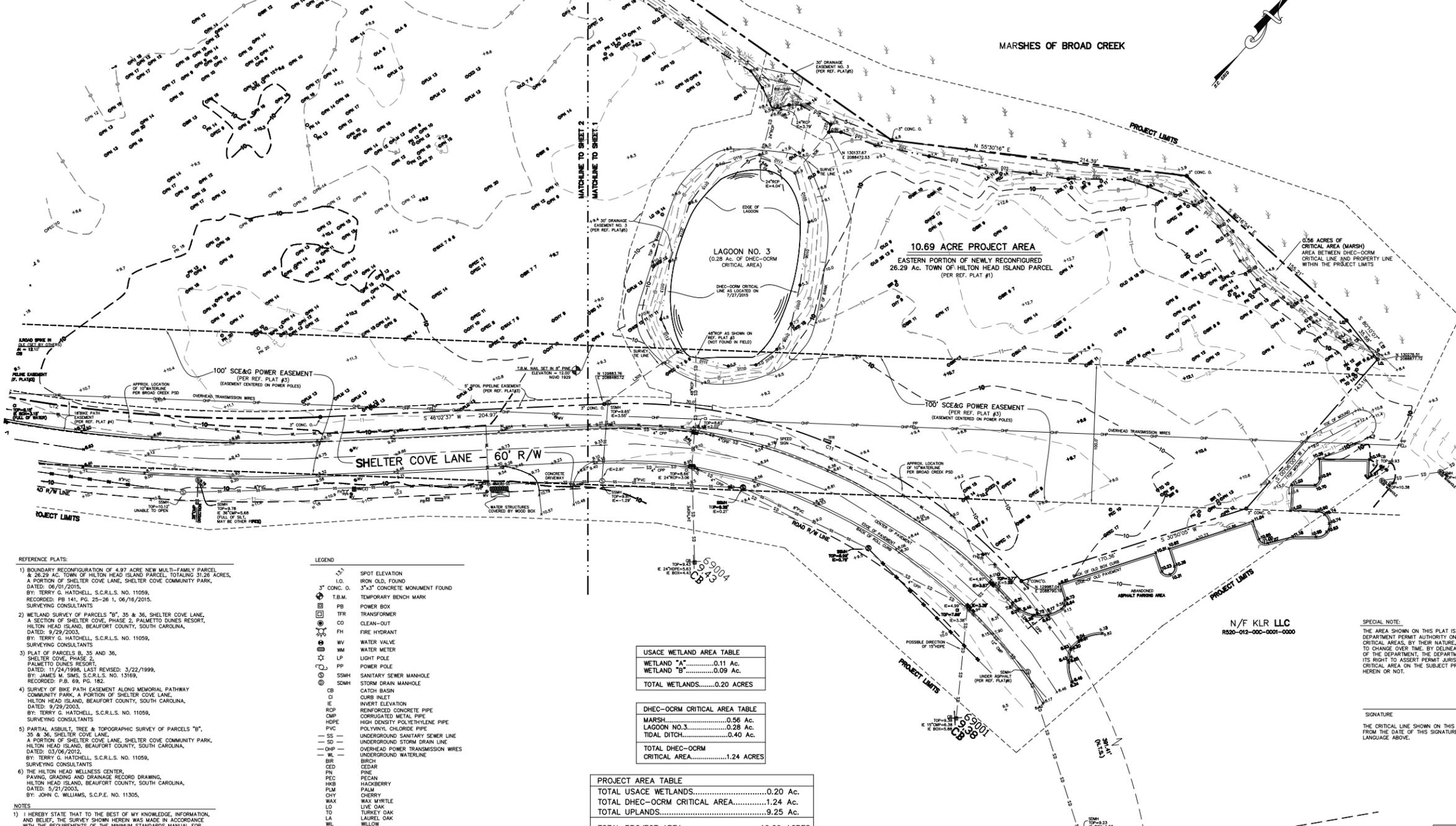
WETLAND LINE TABLE		
LINE	LENGTH	BEARING
W201	20.34'	S 45°09'17" E
W202	32.71'	S 29°03'48" E
W203	31.50'	S 53°03'08" W
W204	26.78'	S 51°37'49" W
W205	24.34'	S 83°17'41" W
W206	17.94'	N 64°37'31" W
W207	30.33'	N 18°02'34" W
W208	11.83'	N 52°31'13" W
W209	28.20'	N 83°17'38" E
W210	29.26'	N 71°02'00" E
W211	28.54'	N 48°59'28" E
W212	17.72'	S 64°08'14" W
W213	20.31'	S 87°09'40" W
W214	19.25'	S 74°04'02" W
W215	12.08'	N 80°15'10" W
W216	14.51'	S 14°26'50" W
W217	14.56'	S 89°23'13" W
W218	24.78'	S 55°58'14" E
W219	20.36'	S 84°29'26" E
W220	7.66'	S 154°03'11" E
W221	16.58'	N 85°48'17" W
W222	16.64'	N 58°44'55" W
W223	16.80'	N 205°3'42" E
W224	25.39'	N 07°13'18" E
W225	32.18'	N 13°37'46" W
W226	24.30'	N 255°53'2" E
W227	11.29'	N 58°54'15" E
W228	7.16'	N 32°51'43" E

SURVEY LINE TABLE		
LINE	LENGTH	BEARING
L301	14.81'	S 56°48'17" E
L302	20.67'	N 30°18'10" W
L303	38.44'	S 30°17'19" E
L304	26.15'	S 11°43'14" W
L305	84.89'	S 13°31'43" W
L306	38.24'	N 07°46'54" W
L307	37.50'	S 62°09'56" E
L308	27.58'	S 05°00'07" W

DHEC-OCRM CRITICAL LINE TABLE		
LINE	LENGTH	BEARING
D1	17.34'	S 72°11'26" W
D2	26.09'	S 81°13'39" W
D3	42.75'	S 84°30'24" W
D4	48.22'	S 86°45'19" W
D5	18.27'	N 84°09'14" W
D6	29.25'	N 73°51'06" W
D7	43.41'	S 89°25'56" W
D8	35.71'	S 70°39'41" W
D9	17.50'	S 85°30'20" W
D10	40.40'	S 49°15'56" W
D11	28.01'	S 56°35'42" W
D12	36.94'	S 50°15'04" W
D13	46.84'	S 61°27'54" W
D14	39.72'	S 60°16'57" W
D15	26.26'	S 89°22'28" W
D16	8.84'	S 49°02'53" W
D17	0.81'	N 28°00'30" W
D18		



MUNICIPALITY MAP
N.T.S.



CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C11	337.92'	378.17'	181.18'	326.79'	S 71°34'29" W	51°11'52"
C12	363.27'	1024.77'	183.56'	361.37'	S 56°08'45" W	20°18'38"
C13	67.98'	1024.77'	33.80'	67.37'	S 68°11'29" W	3°46'42"

LINE	LENGTH	BEARING
W201	20.34'	S 45°09'17" E
W202	32.71'	S 29°03'48" E
W203	31.50'	S 53°03'08" W
W204	26.78'	S 51°37'49" W
W205	24.34'	S 63°10'41" W
W206	17.84'	N 64°37'31" W
W207	30.33'	N 18°02'34" W
W208	11.83'	N 52°31'15" W
W209	28.20'	N 53°17'36" E
W210	29.28'	N 71°02'00" E
W211	29.54'	N 48°39'59" E
W212	17.72'	S 64°08'14" W
W213	20.31'	S 87°09'40" W
W214	19.20'	S 70°40'00" W
W215	12.06'	N 80°15'10" W
W216	14.01'	S 14°28'50" W
W217	14.56'	S 09°29'53" W
W218	24.78'	S 25°58'14" E
W219	20.36'	S 64°29'26" E
W220	7.46'	S 15°45'01" W
W221	16.58'	N 89°48'17" W
W222	16.64'	N 58°44'56" W
W223	16.80'	N 20°57'42" W
W224	26.30'	N 07°31'16" W
W225	32.18'	N 12°37'46" W
W226	16.80'	N 22°50'52" E
W227	11.62'	N 55°25'15" E
W228	7.16'	N 32°51'43" E

LINE	LENGTH	BEARING
L301	14.81'	S 56°48'17" E
L302	20.67'	N 30°18'10" W
L303	38.44'	S 30°17'59" E
L304	28.15'	S 114°31'14" W
L305	64.89'	S 13°31'43" W
L306	38.94'	N 01°48'50" E
L307	37.50'	S 62°09'56" E
L308	27.98'	S 05°00'07" W

LINE	LENGTH	BEARING
D11	22.34'	S 78°17'26" W
D12	26.09'	S 81°33'56" W
D13	22.78'	S 84°30'23" W
D14	28.07'	S 86°45'19" W
D15	18.92'	N 84°09'14" W
D16	29.50'	N 73°51'06" W
D17	23.41'	S 89°21'36" W
D18	35.71'	N 70°04'11" W
D19	17.50'	S 65°30'20" W
D20	40.45'	S 49°15'56" W
D21	29.01'	S 30°35'42" W
D22	36.84'	S 55°30'41" W
D23	36.94'	S 61°27'35" W
D24	19.20'	S 80°49'51" W
D25	26.28'	S 69°22'56" W
D26	8.84'	S 49°05'33" W
D27	5.81'	N 28°00'50" W
D28	25.01'	S 81°38'26" W
D29	9.12'	S 49°17'06" W
D30	19.19'	S 33°02'26" W
D31	17.39'	N 66°43'14" W
D32	14.60'	N 78°26'50" W
D33	41.70'	S 33°02'26" W
D34	39.51'	S 83°15'34" W
D35	44.86'	S 83°04'54" W
D36	50.80'	S 81°33'56" W
D37	34.78'	S 87°01'56" W
D38	22.80'	S 80°21'56" W
D39	34.09'	S 82°02'26" W
D40	35.57'	S 86°42'00" W
D41	49.40'	N 85°25'17" W
D42	41.85'	N 89°21'51" W
D43	37.60'	N 88°15'51" W
D44	36.20'	S 88°37'58" W
D45	46.53'	S 81°33'56" W
D46	42.66'	S 56°10'36" W
D47	56.78'	S 54°29'31" W
D48	64.45'	S 41°44'44" W
D49	43.68'	S 56°50'47" W
D50	40.26'	S 49°25'23" W
D51	39.44'	S 50°00'00" W
D52	39.00'	S 50°00'00" W
D53	32.78'	S 52°25'14" W
D54	37.50'	S 62°09'56" E
D55	34.09'	S 50°26'29" W
D56	34.92'	S 51°32'24" W
D57	9.22'	N 44°30'01" E
D58	30.30'	N 55°44'50" E
D59	16.74'	N 70°27'29" E
D60	22.96'	S 28°38'54" W
D61	24.53'	N 61°43'34" E
D62	24.60'	N 40°26'56" E
D63	15.07'	N 41°44'44" W
D64	38.34'	N 52°14'32" E
D65	53.37'	N 53°17'09" E
D66	42.72'	N 48°40'17" E
D67	4.52'	S 31°21'10" E
D68	20.48'	S 56°14'00" E
D69	31.97'	S 28°12'06" E
D70	24.31'	S 44°41'27" E
D71	13.69'	S 11°58'10" W
D72	22.44'	S 28°12'06" E
D73	28.71'	S 34°14'01" E
D74	22.57'	S 58°00'01" E
D75	26.14'	S 71°14'25" E
D76	30.00'	S 50°00'00" E
D77	36.77'	S 46°48'28" E
D78	26.83'	S 52°25'14" E
D79	29.38'	S 50°00'00" E
D80	63.93'	S 43°08'27" E
D81	46.13'	S 40°24'24" E
D82	30.68'	S 46°44'14" E
D83	22.24'	S 40°17'44" E
D84	10.05'	S 84°20'17" W
D85	5.49'	N 49°01'31" E
D86	11.63'	N 46°13'52" W
D87	34.15'	N 40°24'34" W
D88	43.38'	N 42°34'35" W
D89	36.16'	N 38°08'33" W
D90	45.06'	N 41°42'31" W
D91	50.97'	N 48°20'21" W
D92	40.58'	N 45°18'22" W
D93	47.78'	N 39°31'36" W
D94	72.06'	N 48°21'51" W
D95	46.50'	N 39°33'49" W
D96	34.86'	N 50°41'47" W
D97	20.49'	N 53°17'09" W
D98	20.01'	N 28°40'55" W
D99	18.56'	S 79°46'23" W
D100	38.10'	S 33°15'50" W
D101	54.59'	S 49°49'29" W
D102	43.31'	S 47°43'21" W
D103	47.98'	S 51°42'25" W
D104	34.75'	S 47°21'50" W
D105	36.58'	S 37°13'58" E
D106	49.92'	S 33°14'47" E
D107	28.43'	S 28°35'27" E
D108	21.22'	S 11°51'26" E
D109	18.71'	S 11°58'21" E
D110	19.99'	S 46°11'40" W
D111	37.84'	S 64°04'14" W
D112	26.60'	N 68°33'31" W
D113	42.24'	N 32°37'58" W
D114	44.04'	N 22°26'14" W
D115	33.72'	N 05°17'40" W
D116	31.71'	N 34°47'02" E
D117	28.64'	N 75°26'23" E

REFERENCE PLATS:

- BOUNDARY RECONFIGURATION OF 4.97 ACRE NEW MULTI-FAMILY PARCEL & 28.29 AC. TOWN OF HILTON HEAD ISLAND PARCEL, TOTALING 33.26 ACRES, A SECTION OF SHELTER COVE LANE, SHELTER COVE COMMUNITY PARK, DATED: 06/01/2015, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 141, PG. 25-26 & 1, 06/18/2015, SURVEYING CONSULTANTS
- WETLAND SURVEY OF PARCELS "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z", SHELTER COVE LANE, A SECTION OF SHELTER COVE LANE, SHELTER COVE COMMUNITY PARK, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 9/29/2003, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, SURVEYING CONSULTANTS
- PLAT OF PARCELS B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, SHELTER COVE PHASE 2, PALMETTO DUNES RESORT, DATED: 11/24/1998, LAST REVISED: 3/22/1999, BY: JAMES M. SIMS, S.C.R.L.S. NO. 13169, RECORDED: P.B. 69, PG. 182, SURVEYING CONSULTANTS
- SURVEY OF BEE PATH EASEMENT ALONG MEMORIAL PATHWAY COMMUNITY PARK, A PORTION OF SHELTER COVE LANE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 9/29/2003, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, SURVEYING CONSULTANTS
- PARTIAL ABSULT, TREE & TOPOGRAPHIC SURVEY OF PARCELS "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z", SHELTER COVE LANE, A PORTION OF SHELTER COVE LANE, SHELTER COVE COMMUNITY PARK, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 03/06/2012, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, SURVEYING CONSULTANTS
- THE HILTON HEAD WELLNESS CENTER, PAVING, GRADING AND DRAINAGE RECORD DRAWING, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 5/23/2003, BY: JOHN C. WILLIAMS, S.C.P.E. NO. 11305, SURVEYING CONSULTANTS

NOTES:

- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE B-1-A, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FLOOD PANEL 1-E-1, COMMUNITY NO. 450250, MAP DATED 8/29/96, BASE ELEVATION 14.0' & 15.0' FLOOD HAZARD ZONE AND BASE ELEVATION WERE VERIFIED BY RICHARD SPRUCE, PLANS REVIEW ADMINISTRATOR, TOWN OF HILTON HEAD ISLAND ON 4/16/2012.
- BUILDING SETBACKS WHICH EXIST FOR THIS PROPERTY, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- BEARINGS SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATES ESTABLISHED FROM GPS OBSERVATION. SEE REFERENCE PLAT #1 FROM RECORD BEARINGS.
- THE VERTICAL DATUM IS BASED ON NAVD 1929 DATUM.
- ALL BUFFERS AND SETBACKS AREA SUBJECT TO THE TERMS IN THE APPROVED DEVELOPMENT AGREEMENT DATED OCTOBER 16, 2012 PER THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT.
- THE UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM A COMBINATION OF FIELD LOCATIONS OF ABOVE GROUND MARKINGS, ABSULT RECORD DRAWINGS AND GIS DRAWINGS FROM THE TOWN OF HILTON HEAD ISLAND ENGINEERING DEPARTMENT AND BROAD CREEK PUBLIC SERVICE DISTRICT. THE UNDERGROUND UTILITIES ARE APPROXIMATE AND SHOWN TO THE BEST OF FIRMS ABILITY. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE ACTUAL LOCATION OF ANY OF THE UNDERGROUND UTILITIES.
- THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHTS-OF-WAY, SETBACKS, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

LEGEND:

- SPOT ELEVATION
- IRON OLD, FOUND
- 3"x3" CONCRETE MONUMENT FOUND
- T.B.M. TEMPORARY BENCH MARK
- P.B. POWER BOX
- T.F.R. TRANSFORMER
- CO CLEAN-OUT
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- LP LIGHT POLE
- PP POWER POLE
- SSMH SANITARY SEMER MANHOLE
- SDMH STORM DRAIN MANHOLE
- CB CATCH BASIN
- CI CURB INLET
- IE INVERT ELEVATION
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- SS UNDERGROUND SANITARY SEWER LINES
- SD UNDERGROUND STORM DRAIN LINE
- CHP OVERHEAD POWER TRANSMISSION WIRES
- WK UNDERGROUND WATERLINE
- BR BIRCH
- CD CEDAR
- PN PINE
- REC RECAN
- HKB HACKBERRY
- PLM PALM
- CHY CHERRY
- WX WAX MYRTLE
- LO LIVE OAK
- TO TURKEY OAK
- LA LAUREL OAK
- WL WILLOW
- HL HICKORY

USACE WETLAND AREA TABLE

WETLAND "A".....	0.11 Ac.
WETLAND "B".....	0.09 Ac.
TOTAL WETLANDS.....	0.20 ACRES

DHEC-OCRM CRITICAL AREA TABLE

WETLAND.....	0.56 Ac.
LAGOON NO.3.....	0.28 Ac.
TIDAL DITCH.....	0.40 Ac.
TOTAL DHEC-OCRM CRITICAL AREA.....	1.24 ACRES

PROJECT AREA TABLE

TOTAL USACE WETLANDS.....	0.20 Ac.
TOTAL DHEC-OCRM CRITICAL AREA.....	1.24 Ac.
TOTAL UPLANDS.....	9.25 Ac.
TOTAL PROJECT AREA.....	10.69 ACRES

TIDAL INFORMATION

According to NOAA Station ID # 866939 (Name: Broad Creek, SC, Location: 32° 11' 11" N, 80° 45' 25" W, 1983-2001 Epoch)

MHHW: 4.63
MHW: 4.22
MST: 0.64
MVL: 0.48
NGVD29: 0.00
MFW: 3.36
MFLW: 3.49
(All elevations are relative to NGVD29)

TOWN OF HILTON HEAD LMO SECTION 16-5-1402 DISCLOSURE STATEMENT

Some or all areas on this plot are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tides associated with possible hurricanes. Local regulations require that certain floor hazard protective measures in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance on a prerequisite to federally insured mortgage financing in these designated flood hazard areas.

PREPARED FOR: SHELTER COVE II LLC & THE TOWN OF HILTON HEAD ISLAND

WESTERN PORTION OF TAX PARCEL I.D. NO. R520-012-00C-0002-0000

ADDRESS: #69 SHELTER COVE LANE



SCALE: 1" = 30'

ASBULT, TREE & TOPOGRAPHIC SURVEY

OF

10.69 ACRE PROJECT AREA

BEING THE

WESTERN PORTION OF RECONFIGURED TOWN OF HILTON HEAD ISLAND PARCEL

TAX PARCEL I.D. NO. R520-012-00C-0002-0000

A SECTION OF

SHELTER COVE LANE

TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 30' DATE: 08/06/2015 JOB NO: SC03147F

SURVEYING CONSULTANTS

17 Sherbrooke Drive, Suite C, Bluffton, SC 29915
SC Telephone: (843) 815-3304 FAX: (843) 815-3305
GA Telephone: (843) 806-6666

SIGNATURE _____ DATE _____

THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

SPECIAL NOTE:

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME, BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES THE ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.



LEGEND	
	Proposed Property Line
	Development Zone
	25' OCRM Impervious Minimum Buffer
	50' OCRM Impervious Average Buffer
	Santee Cooper Transmission Easement
	Views
	Specimen Trees
	Tree Canopy
	Existing Access
	Water/ Marsh/ Wetlands
	Power Pole

Project No: 01-14043 Date: 10-25-15 Scale: 1" = 30'

Page Title: Site Analysis



SHELTER COVE TOWNE CENTRE APARTMENTS: BUILDING SITE 2
 Hilton Head Island, South Carolina

WIPi
 Wood+Partners Inc.
 Landscape Architects
 Land Planners

Document is preliminary and subject to change.
 2015 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC 29925 Tel. 843-681-6618 Fax 843-681-7086, www.woodandpartners.com

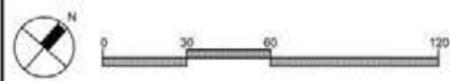


Project No: 01-14043

Date: 10/27/15

Scale: 1" = 30'-0"

Page Title: EAST #2 CONCEPTUAL SITE PLAN



SHELTER COVE APARTMENTS
Hilton Head Island, South Carolina



Document is preliminary and subject to change.
2015 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC 29926 Tel: 843-681-6618 Fax: 843-681-7086, www.woodpartners.com









DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Apartments –
NEW DEVELOPMENT CONCEPTUAL

DRB#: DRB-002019-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Add landscaping to balance scale and mass of building.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building is 4-story with 4-story wrapped parking deck. Majority of trees are being removed and edges are clear for pedestrian and emergency access.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include brick, fiber cement siding, wood. Colors are muted.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Not specified.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brick, siding, metal, wood, glass
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brackets, railings, shutters
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>10/27/15</u>
Accepted by:	_____
DRB #:	<u>2018-2015</u>
Meeting Date:	_____

Applicant/Agent Name: MACK FRASER Company: SOUTHERN DRAW, PLLC
 Mailing Address: 313 MATTHEWS DR. City: HILTON HEAD State: SC Zip: 29928
 Telephone: 843-388-9324 Fax: — E-mail: MACK@SDDBLCC.COM
 Project Name: PREMIER ROOFING Project Address: 85 ARROW RD. HHI, SC. 29928
 Parcel Number [PIN]: R DIST. 552, MAP 14 PARCELS 838 & 839
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10/27/15

DATE

One Town Center Court
Hilton Head Island, SC 29928
Attention Jennifer B. Ray
Southern Draw, PLLC
31 B Mathews Drive
Hilton head SC 29926
(843) 930-9660

Premier Roofing
85 Arrow Rd
Hilton Head Island, SC 29928

To Whom It May Concern,

Premier Roofing is seeking “conceptual approval” from the Hilton Head Design Review Board on November 10, 2015 for exterior renovations and additions to the commercial property located at 85 Arrow Road, Hilton Head Island. We will be adding a handicapped ramp, a new showroom entrance and canopy, a new ramp to the warehouse and updating to hardi siding, as well as correcting any additional maintenance issues that may need to be addressed.

Respectfully Yours,

Mack Fraser





RESERVED FOR
MAIL ADDRESS ONLY
NO TYPING

FDC

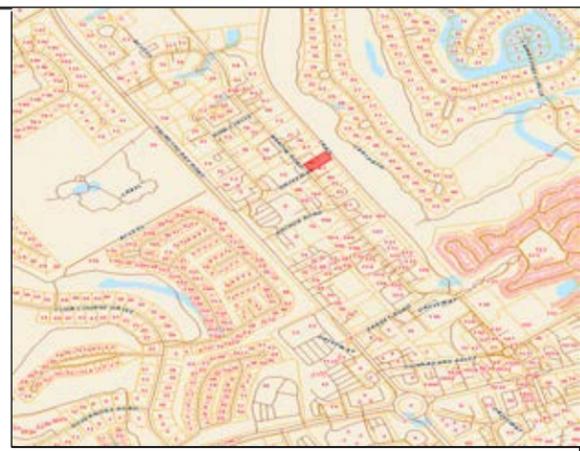
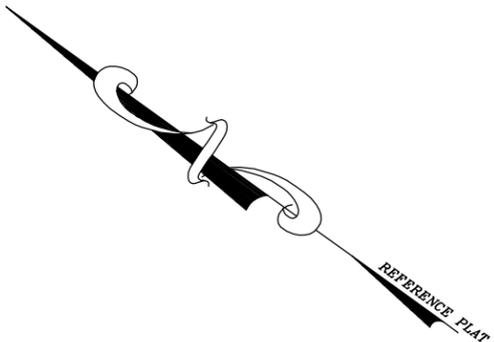






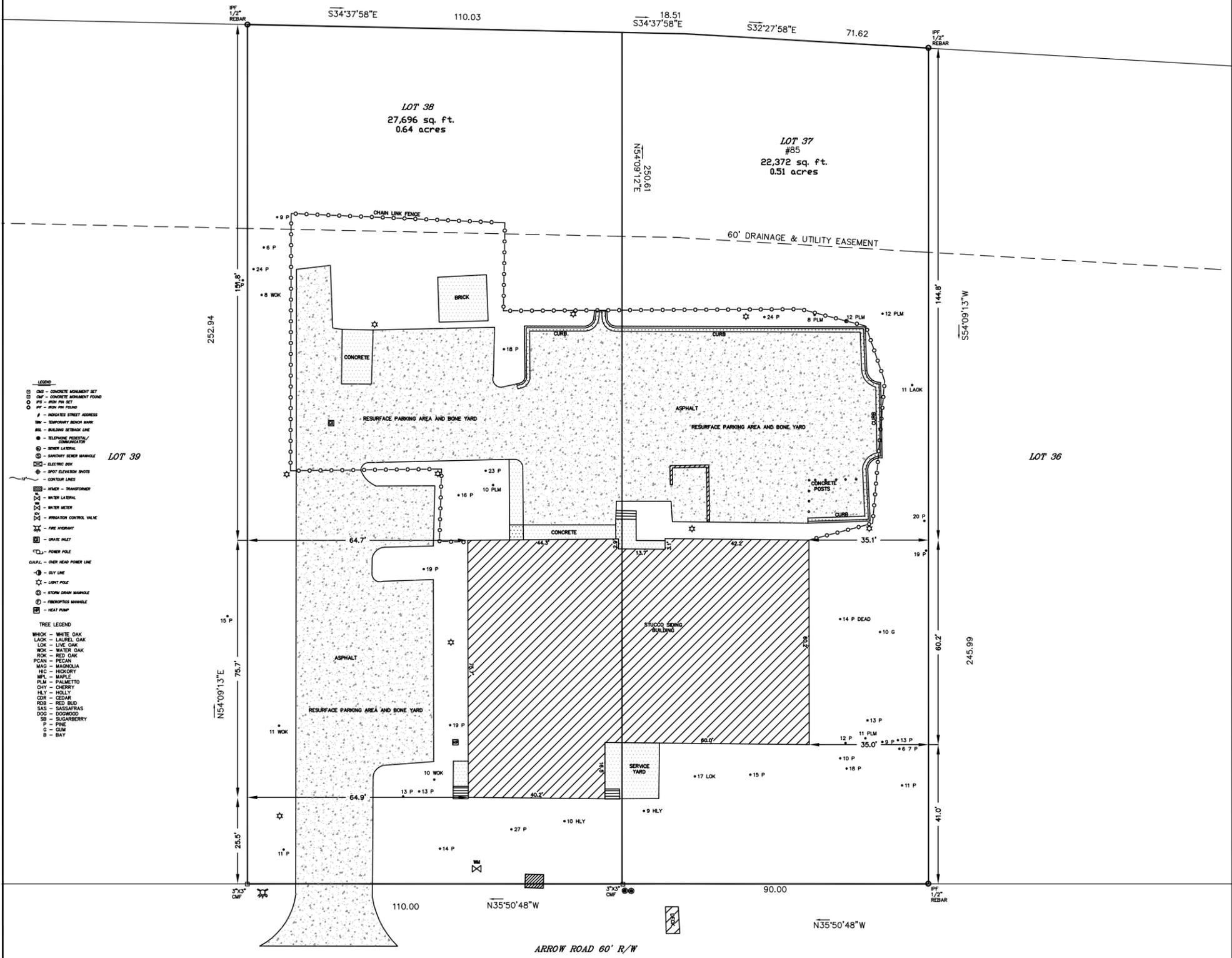




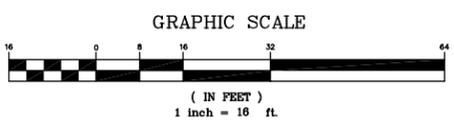


LOCATION MAP NOT TO SCALE

WEXFORD PLANTATION
GOLF COURSE



- LEGEND**
- CONCRETE FOUNDATION SET
 - CONCRETE FOUNDATION
 - IRON PIPE SET
 - IRON PIPE FOUND
 - INDICATED STREET ADDRESS
 - TEMPORARY BOUNDARY MARK
 - BOUNDARY SETBACK LINE
 - TELEPHONE FEEDER/CONDUIT
 - SEWER LATERAL
 - SANITARY SEWER MANHOLE
 - ELECTRIC BOX
 - SPOT ELEVATION SHOTS
 - CONTOUR LINES
 - FENCE - TRANSFORMER
 - WATER LATERAL
 - WATER METER
 - IRRIGATION CONTROL VALVE
 - FIRE HYDRANT
 - GRAVE INLET
 - POWER POLE
 - OVER HEAD POWER LINE
 - GUY LINE
 - LIGHT POLE
 - STORM DRAIN MANHOLE
 - SEWER MANHOLE
 - HEAT PUMP
- TREE LEGEND**
- WOK - WHITE OAK
 - LAK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PKAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - CDT - CEDAR
 - ROB - RED BUD
 - SAS - SASSAPARILLA
 - DOG - DOGWOOD
 - SUG - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



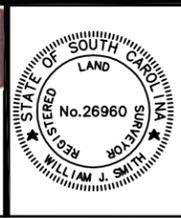
DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 14, 2015

T-SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@argrey.com
Phone 843-757-2650 Fax 843-757-5758
JDB No. 15-247A



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

PREMIER PROFESSIONAL INVESTMENTS, LLC

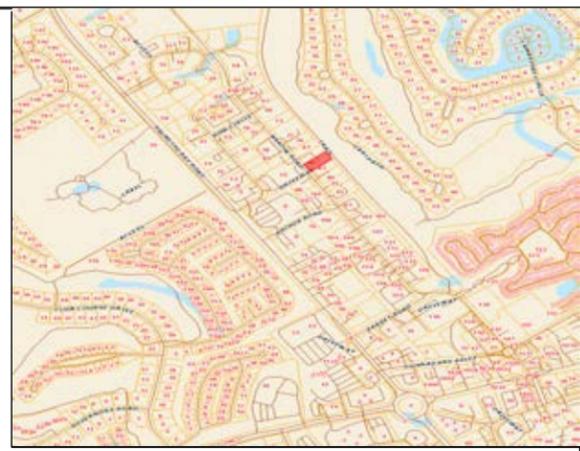
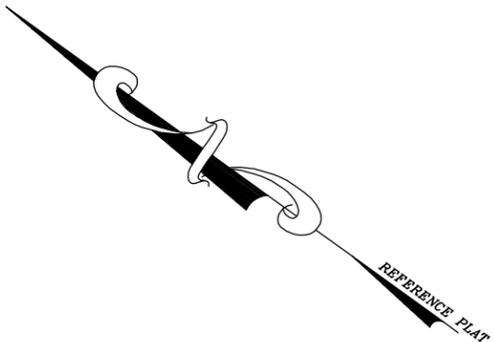
AN AS-BUILT & PARTIAL TREE SURVEY ON LOTS 37 & 38 ARROW ROAD, A PORTION OF PHASE I, PALMETTO BAY CENTER, TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 552, MAP 14, PARCELS 838 & 839

Notes:

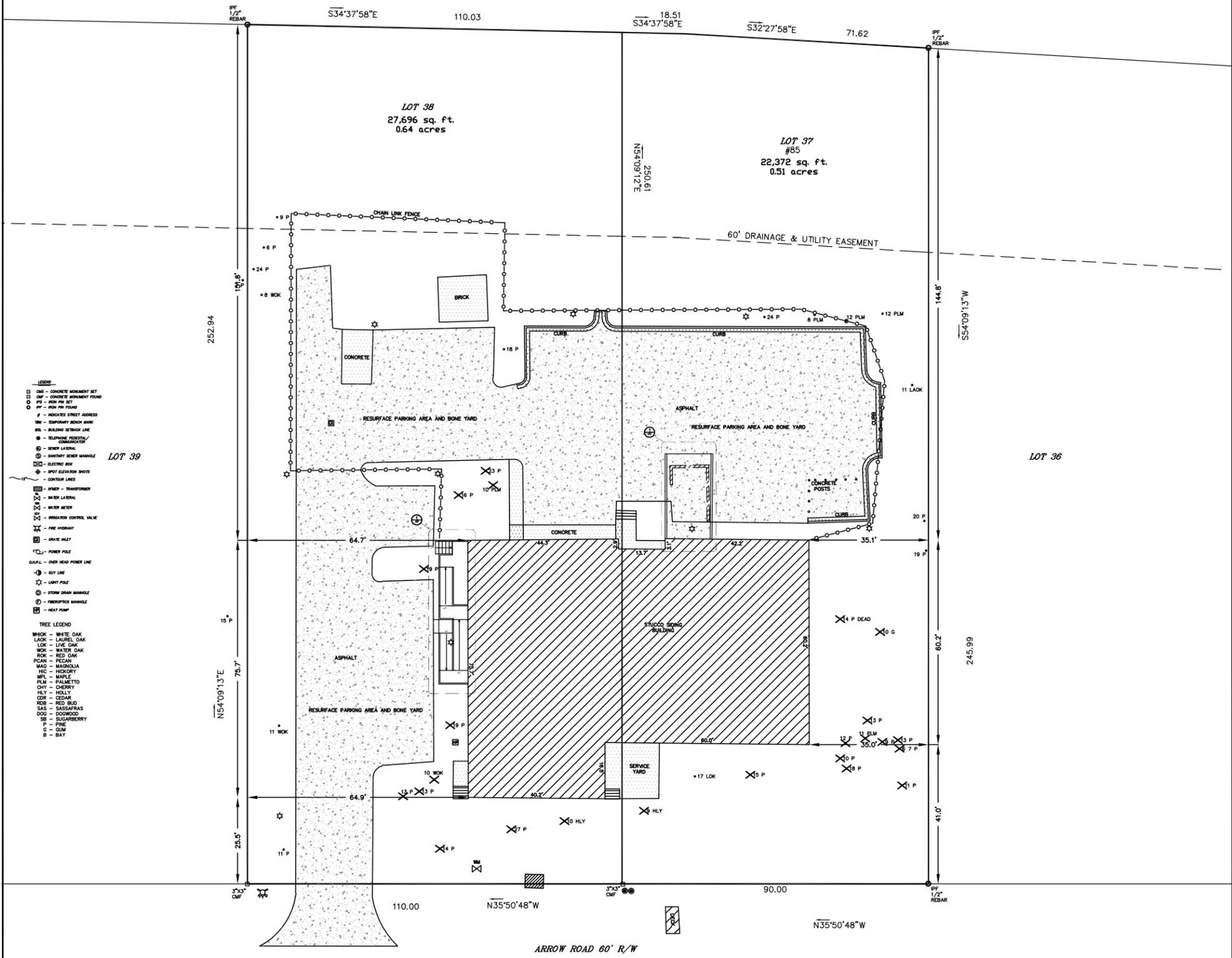
1. According To FEMA Flood Insurance Rate Map # 450250 0013 D This Lot Appears To Lie In A Federal Flood Plain Zone A7, Minimum Required Elevation 14 Ft. MVD289
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat 552
PLAT BOOK 28 AT PAGE 190

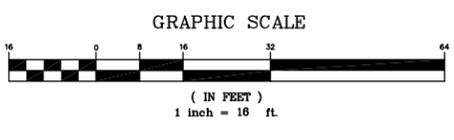


LOCATION MAP NOT TO SCALE

WEXFORD PLANTATION
GOLF COURSE



- LEGEND**
- - CONCRETE ANCHORAGE SET
 - - CONCRETE ANCHORAGE FOUND
 - - IRON PIN SET
 - - IRON PIN FOUND
 - - INDICATES STREET ADDRESS
 - - TEMPORARY BENCH MARK
 - - BUILDING SETBACK LINE
 - - TELEPHONE FEEDS/CONDUIT
 - - SEWER LATERAL
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 - - MAPLE
 - - PALMETTO
 - - CHERRY
 - - HOLLY
 - - CEDAR
 - - RED BUD
 - - SASSAPARILLA
 - - DOGWOOD
 - - SUGARBERRY
 - - PINE
 - - CUM
 - - BAY



DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 14, 2015

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WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

PREMIER PROFESSIONAL INVESTMENTS, LLC

AN AS-BUILT & PARTIAL TREE SURVEY ON LOTS 37 & 38 ARROW ROAD, A PORTION OF PHASE I, PALMETTO BAY CENTER, TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 552, MAP 14, PARCELS 838 & 839

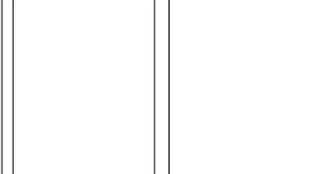
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Reference Plat 52
PLAT BOOK 28 AT PAGE 190



31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865-386-9324
 724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865-573-1148



**PREMIER ROOFING
 WAREHOUSE
 &
 SHOWROOM**
 85 Arrow Road
 Hilton Head SC 29928

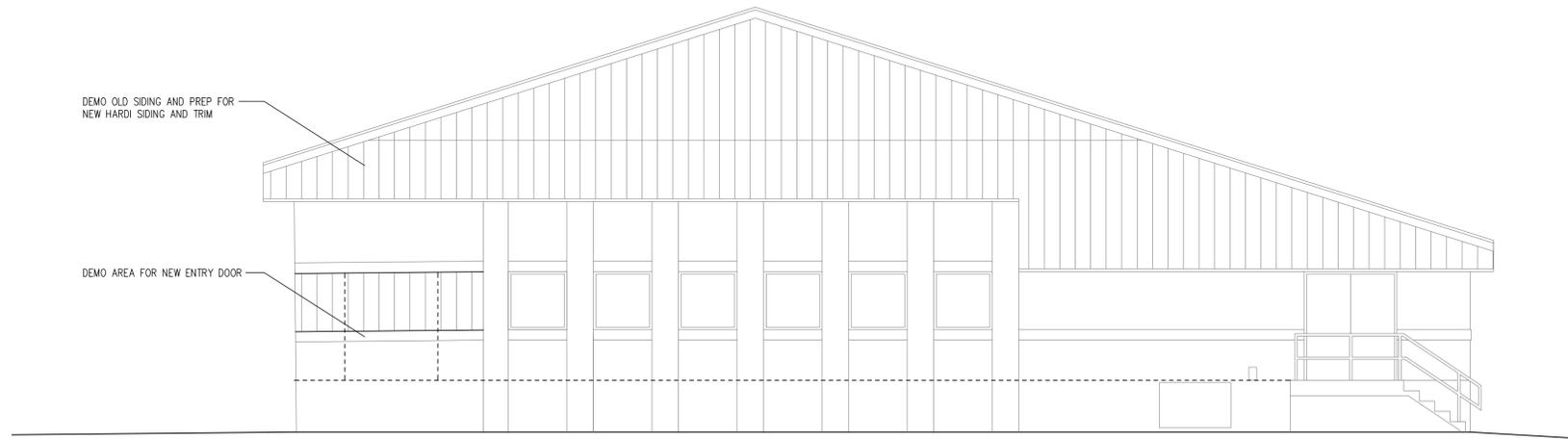
Owner
 Mr. Derek Holland

MAIN FLOOR PLAN

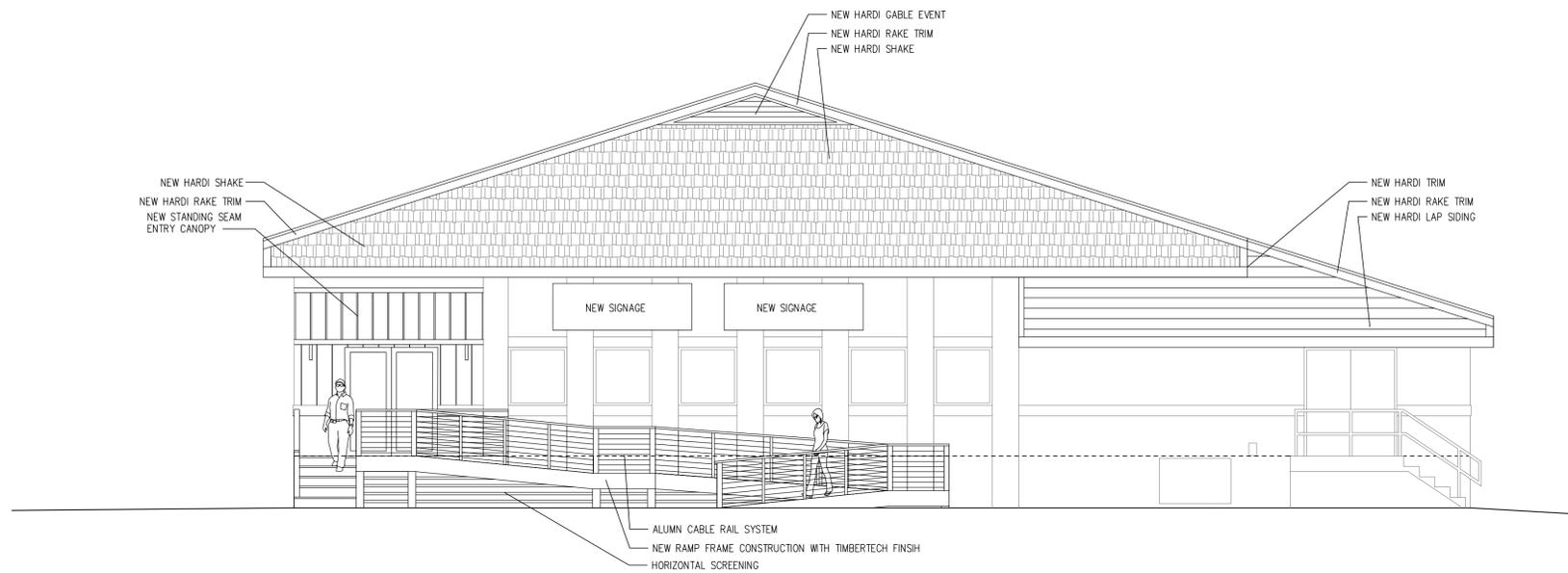
Project number
 Date 10.27.15
 Drawn by RMF
 Checked by RLJ

A1

Scale



1 EXISTING BUILDING FRONT ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW FRONT ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
&
WAREHOUSE
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

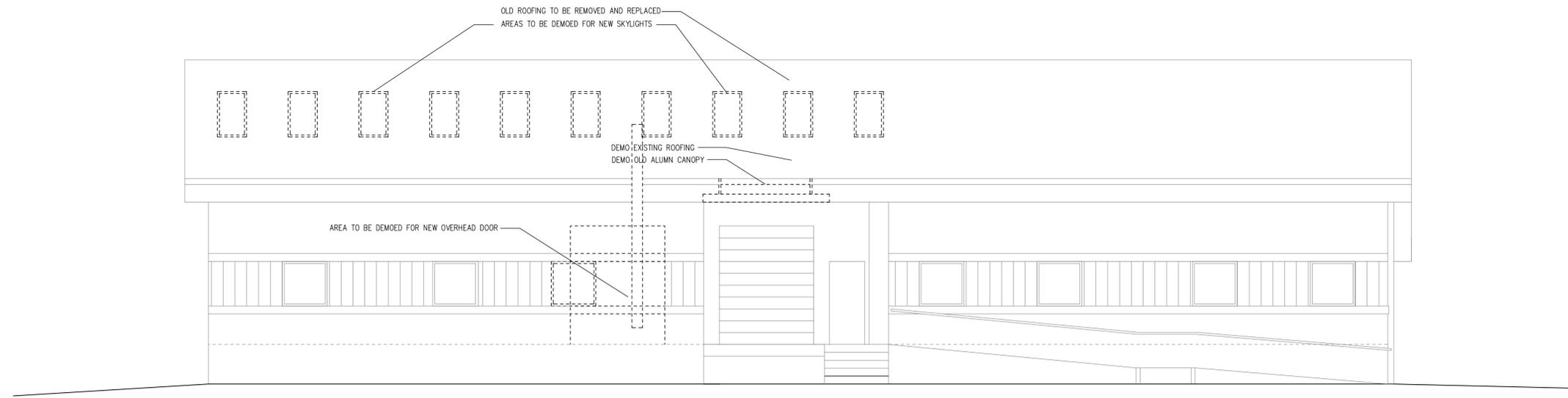
Owner
Mr. Derek Holland

Elevation Renovation
Plans

Project number
Date 10.27.15
Drawn by RMF
Checked by RLJ

A2

Scale



1 EXISTING BUILDING LEFT SIDE ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW LEFT SIDE ELEVATION
3/16" = 1'-0"

southern *arrow*

724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
&
WAREHOUSE
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

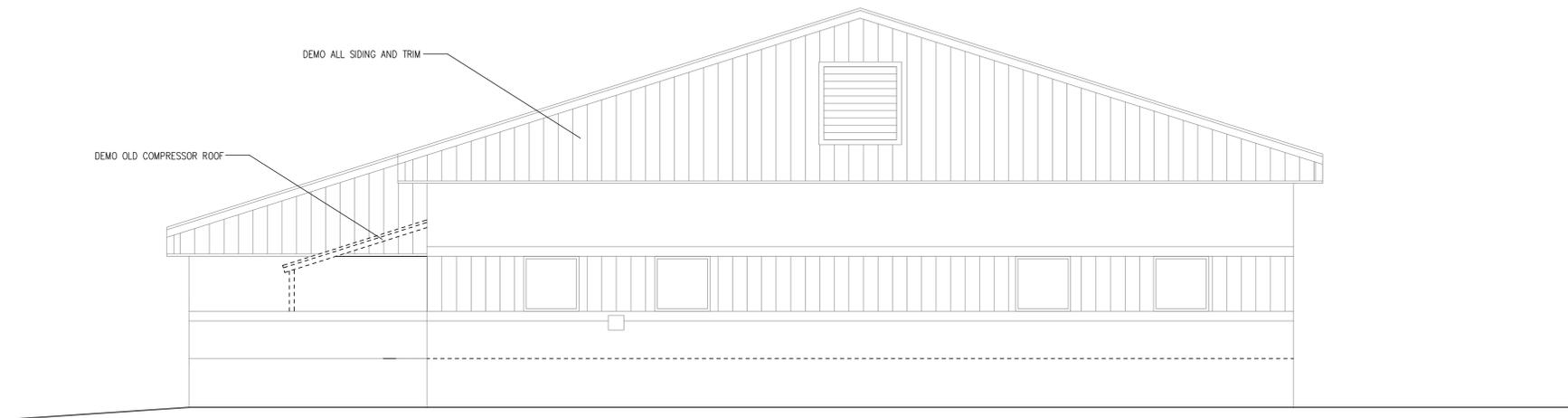
Owner
Mr. Derek Holland

Elevation Renovation
Plans

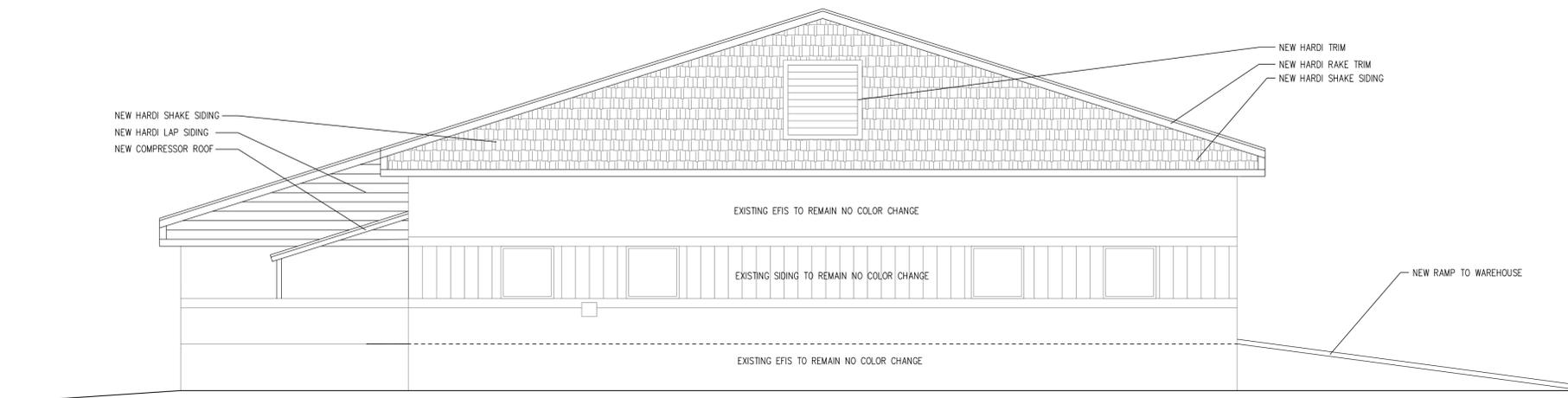
Project number
Date 10.27.15
Drawn by RMF
Checked by RLJ

A3

Scale



1 EXISTING BUILDING REAR ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW REAR ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
&
WAREHOUSE
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

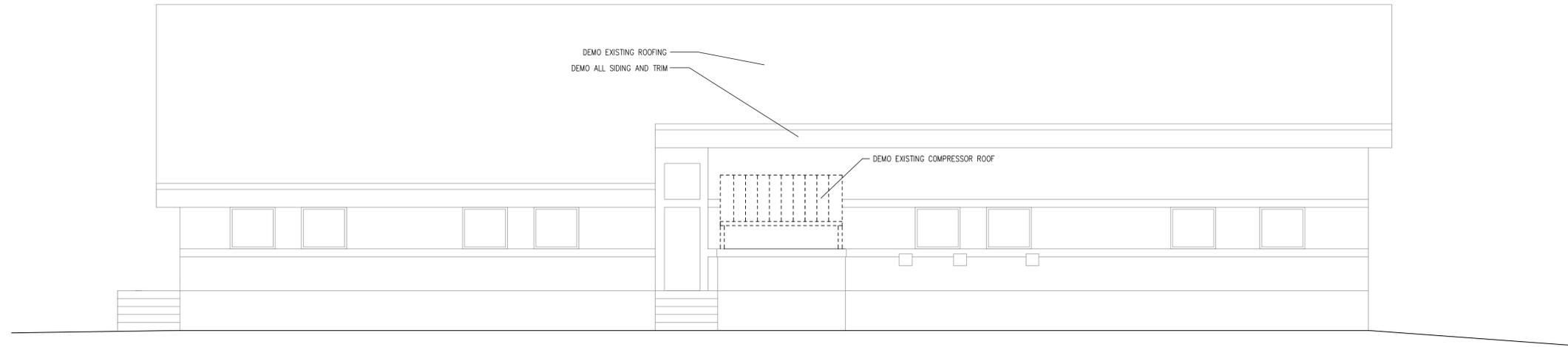
Owner
Mr. Derek Holland

Elevation Renovation
Plans

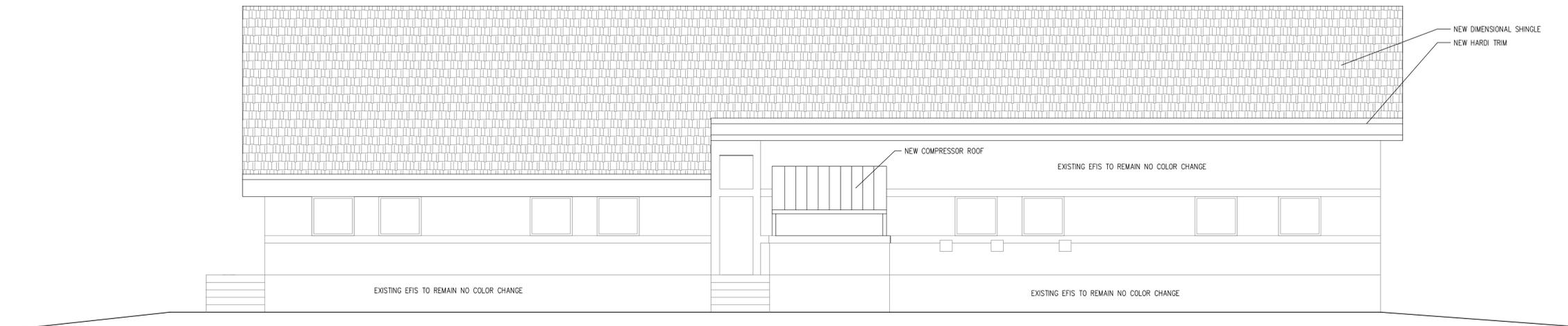
Project number
Date 10.27.15
Drawn by RMF
Checked by RLJ

A4

Scale



1 EXISTING RIGHT SIDE ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW RIGHT SIDE ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29926 865.388.9324

**PREMIER ROOFING
&
WAREHOUSE
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

Owner
Mr. Derek Holland

Elevation Renovation
Plans

Project number
Date 10.27.15
Drawn by RMF
Checked by RLJ

A5

Scale

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Premier Roofing - NEW DEVELOPMENT CONCEPTUAL

DRB#: DRB-002018-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Screen rear service yard to the right of the chain link fence.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include hardi-siding/trim products, metal roof and shingle roof. Colors not specified. Provide material and color samples of all new materials for final submittal.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown. Provide cut sheet of any proposed exterior light fixtures.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape plan, including new plantings in the island in front of the new door and to the right of the ramp, is required for final submittal.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Screen rear service yard to the right of the chain link fence.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

All proposed signage will require a separate Sign Permit application.
Wherever a turn occurs on the ramp, the landings must be 60” x 60”. The ones shown are 48” wide.
The ramp on the rear will require guardrails on both sides. These can be the two rail systems for storage or industrial buildings.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	10/27/15
Accepted by:	DH
App. #: DR	2010-2015
Meeting Date:	11/10/15

Applicant/Agent Name: Jack Winarchick Company: Hilton Head Signs
 Mailing Address: PO Box 21410 City: Hilton Head State: SC Zip: 29926
 Telephone: 843-681-3513 Fax: 843-681-5521 E-mail: Jack@hiltonheadsigns.com
 Project Name: Shipyard Plantation Project Address: 10 Shipyard Dr.
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

DESIGN REVIEW BOARD (DR) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- New Development – Conceptual
 New Development – Final, indicate Project Number
 Alteration/Addition
 Minor External Change

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-3-1004. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

_____ Filing Fee, New Development \$175, Alterations/Additions \$100, Minor External \$50 cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

New Development – Conceptual Approval

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-3-405, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

New Development – Final Approval

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-4-503.
- _____ Final site development plan meeting the requirements of Sec. 16-3-303.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Sec. 16-3-304 and Sec. 16-3-305.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions *and* Minor External Changes

- _____ A written narrative describing how project conforms to design guidelines of Section 16-4-503.
- _____ Photographs and/or drawings of existing development.
- _____ Drawings of the proposed development – 11"x 17".
- _____ Material/color samples of existing and proposed changes - 8 ½"X 14" *Maximum*; Stating manufacturer and material name

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Section 16-3-106.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

10/22/15
DATE

The scope of this job is to update the two existing monuments located in the median of each entrance to Shipyard Plantation. These are the last, remaining, cast concrete monuments constructed before the Town of Hilton Head was incorporated. The intent is to update the look of the existing monuments while keeping some of the historic elements and Shipyard identity. The ARB desired brick as the primary finish material to match the details of the main office (Savannah Brown typical to the area). This is well established along the Highway 278 corridor for other main signs, Town signs and road details. The size, shape and general configuration will remain with the original steel anchor logo elements. These steel logos will be painted bronze to match the trim and hardware on the office building. The remaining concrete areas will be covered with teak, the brown hues integrating with the brick, bronze and was a natural fit with the nautical name and logo elements. These materials and application maintain the original look and utilize the historic elements. This is a four sided structure in it's current configuration. A base wall of brick will be added up to the sign band on three sides, remaining open at the back for maintenance and access. The existing band will receive a detail row of brick (top and bottom) to frame the sign face area. A brick detail cap will finish the top of the structure. The sign faces will be teak matching the center of the structure. The front and side faces will carry 2" deep ,halo lit, channel letters matching the current size and location. These will be finished beige to match the grout and the lighting will be reduced to approximately half the output of a typical façade sign letter. This lighting will be subdued at night reducing glare yet remaining safe and visible. Ground mounted spot lighting will soften the inner corners of the center pylon and subtly frame the logos at night. Current ground lighting will be removed and the landscaping will remain. We feel these minor improvements create a warm and inviting "low country" entrance with modern visibility yet maintains the old world charm and character of the original design.

SHIPYARD PLANTATION

September 25, 2015

To Whom It May Concern:

Please be advised that the Shipyard Architectural Review Board has approved Hilton Head Sign's conceptual drawings for the entrance sign renovations. Please feel free to contact me with any further questions or comments regarding this issue.

Regards,



Meredith Simmons
Director of Operations



SW 7055
Enduring Bronze

246-C7

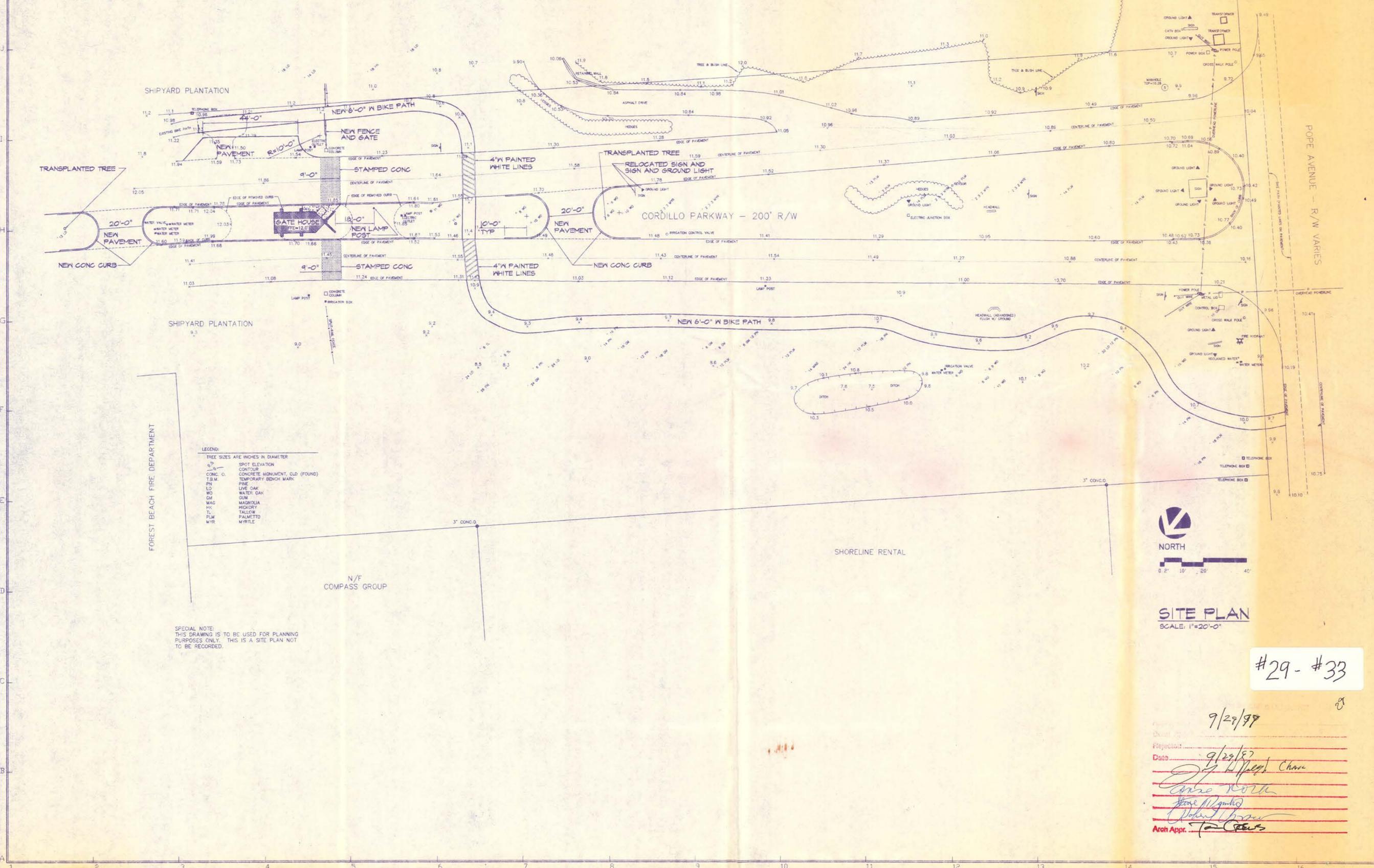
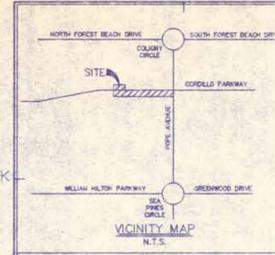
SW 6119
Antique White

263-C6



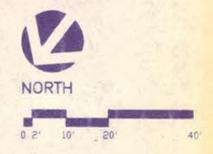
SHIPYARD





- LEGEND:
- TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONTOUR
 - CONC. C. CONCRETE MONUMENT, OLD (FOUND)
 - T.B.M. TEMPORARY BENCH MARK
 - P.W. PINE
 - L.O. LIVE OAK
 - W.O. WATER OAK
 - O.M. OLM
 - M.A.G. MAGNOLIA
 - H.Y. HICKORY
 - T.L. TALLOW
 - P.M. PALMETTO
 - M.Y.R. MYRTLE

SPECIAL NOTE:
THIS DRAWING IS TO BE USED FOR PLANNING PURPOSES ONLY. THIS IS A SITE PLAN NOT TO BE RECORDED.



SITE PLAN
SCALE: 1"=20'-0"

#29- #33

9/29/97

9/29/97

John W. [Signature]

Chris Roth

[Signature]

Arch Appr. [Signature]

Date 9/22/97
Drawn by REL
Checked by TZC
Project # 9420

Architecture

Tom Crews Architects
109 Professional Building
Hilton Head Island, SC 29928
803-662-9059

SHIPYARD PLANTATION
POPE AVENUE GATE RENOVATION

HILTON HEAD ISLAND, SOUTH CAROLINA

Revision # Date Description
09/22/97 CRC SUBMITTAL

DRAWING
SITE PLAN

SHEET NUMBER
A1



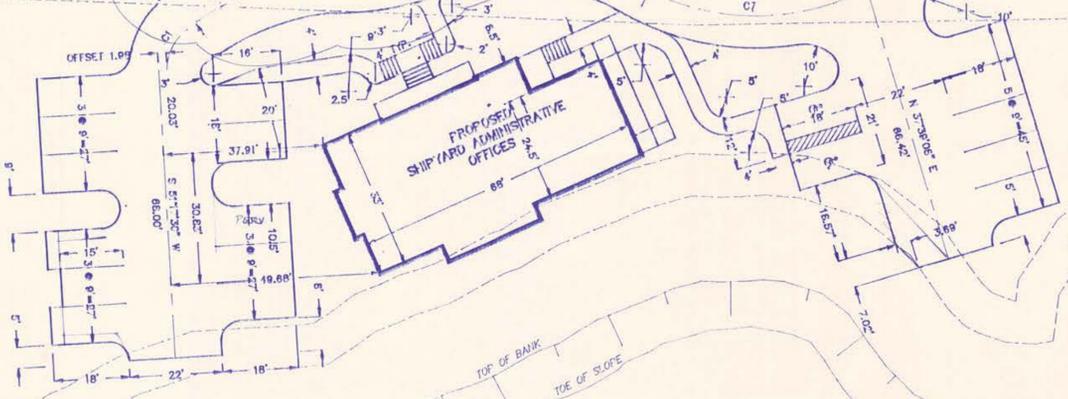
SHIPYARD DRIVE (R/W VARIES)

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	11.00	11.00	5.97	10.60	N 62°27'54" W	54°53'49"
C2	68.68	22.85	11.11	21.42	N 47°29'07" W	18°23'10"
C3	67.16	15.25	6.34	13.24	S 35°51'00" W	10°12'48"
C4	67.50	11.85	5.24	10.45	S 51°43'27" W	08°52'42"
C5	67.50	10.45	5.24	10.45	N 29°11'44" W	46°28'52"
C6	60.50	49.05	25.96	47.71	S 43°08'59" W	71°08'04"
C7	57.50	74.40	43.44	28.08	N 67°35'19" W	14°49'38"
C8	101.00	26.14	13.14	26.08		

T.B.M. ELEV. 10.51

SHIPYARD DRIVE (R/W VARIES)

EAST BOUND LANE U.S. HWY. 278 (WILLIAM HILTON PARKWAY)



LAGOON TOP OF WATER ELEV. 2.80'

LAGOON WATER SURFACE ELEV. 2.40'

- STAKING NOTES:
- ALL RADII ARE 5' UNLESS OTHERWISE SHOWN.
 - ALL DIMENSIONS ARE TO THE EDGE OF PAVING, FACE OF BUILDING, OR BACK OF CURB UNLESS OTHERWISE SHOWN.
 - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
 - BOUNDARY INFORMATION WAS OBTAINED FROM A SURVEY PLAT PERFORMED BY COASTAL SURVEYING ON APRIL 24, 1990.

TOWN OF HILTON HEAD ISLAND, SC
Community Development Department Approval

Certified By: [Signature] Date: 5-30-08

Conditions: Planning Emergency
Permitting per LMO chapter 9

Disclaimer:
The Town of Hilton Head Island makes an expressed declaration of policy that the public regulation of land is entirely separate of and independent of private restrictions. This approval in no way implies that the proposed development is in conformance with any restrictive covenants, private easements or deed restrictions.

1 of 2 pgs



STAKING PLAN

CONNOR-HINBLEY, INC.
engineers • planners • surveyors
200 BLENKINSHIP PARK
P.O. BOX 381
BLUFFTON, SOUTH CAROLINA 29910
803.787-6500 / FAX 803.787-2508

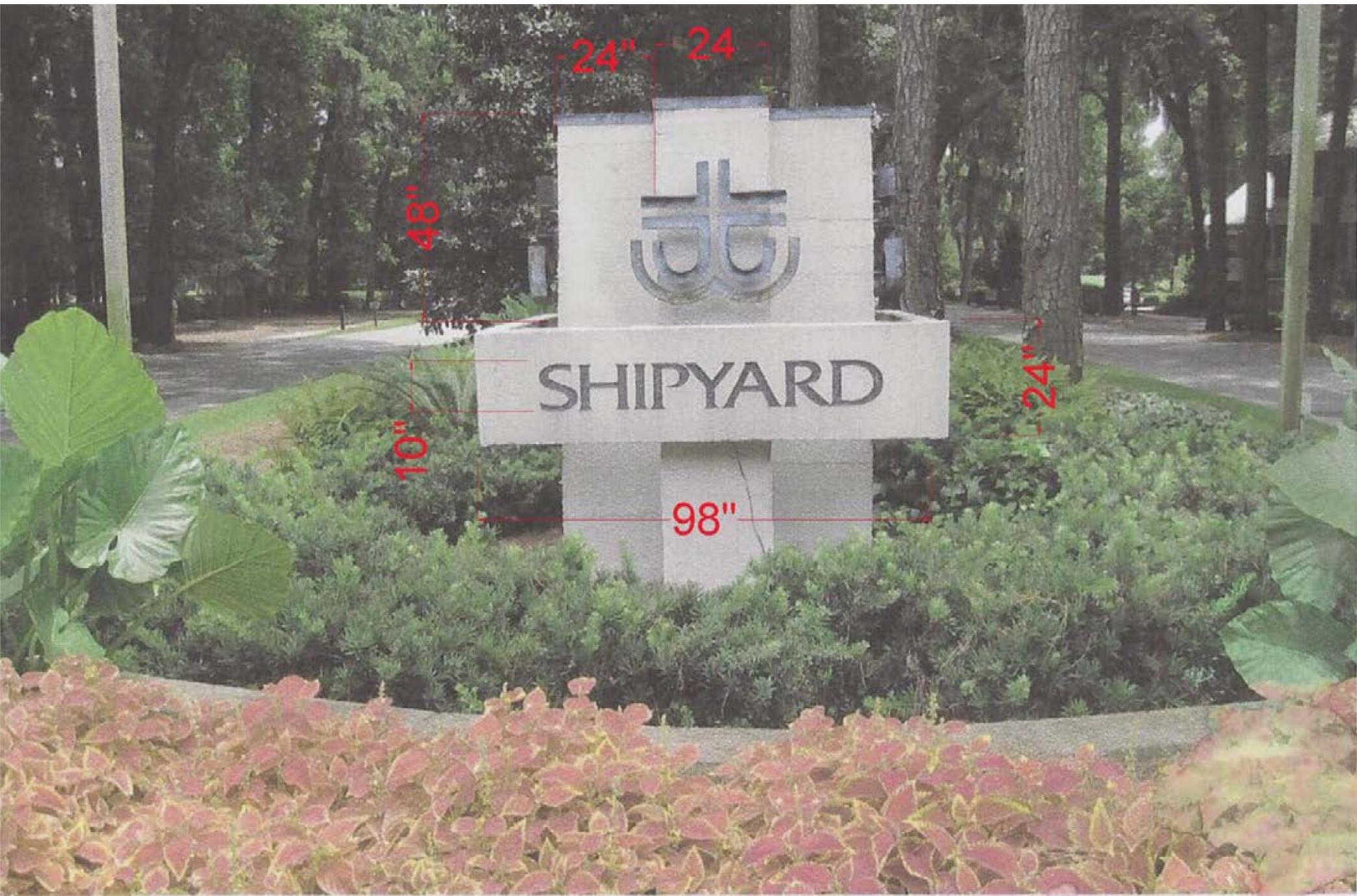


STAKING PLAN

THE SHIPYARD WELCOME CENTER AT SHIPYARD PLANTATION HILTON HEAD ISLAND, SOUTH CAROLINA



11-13-90
11-14-90
CHIVE



24" 24"

48"

10"

98"

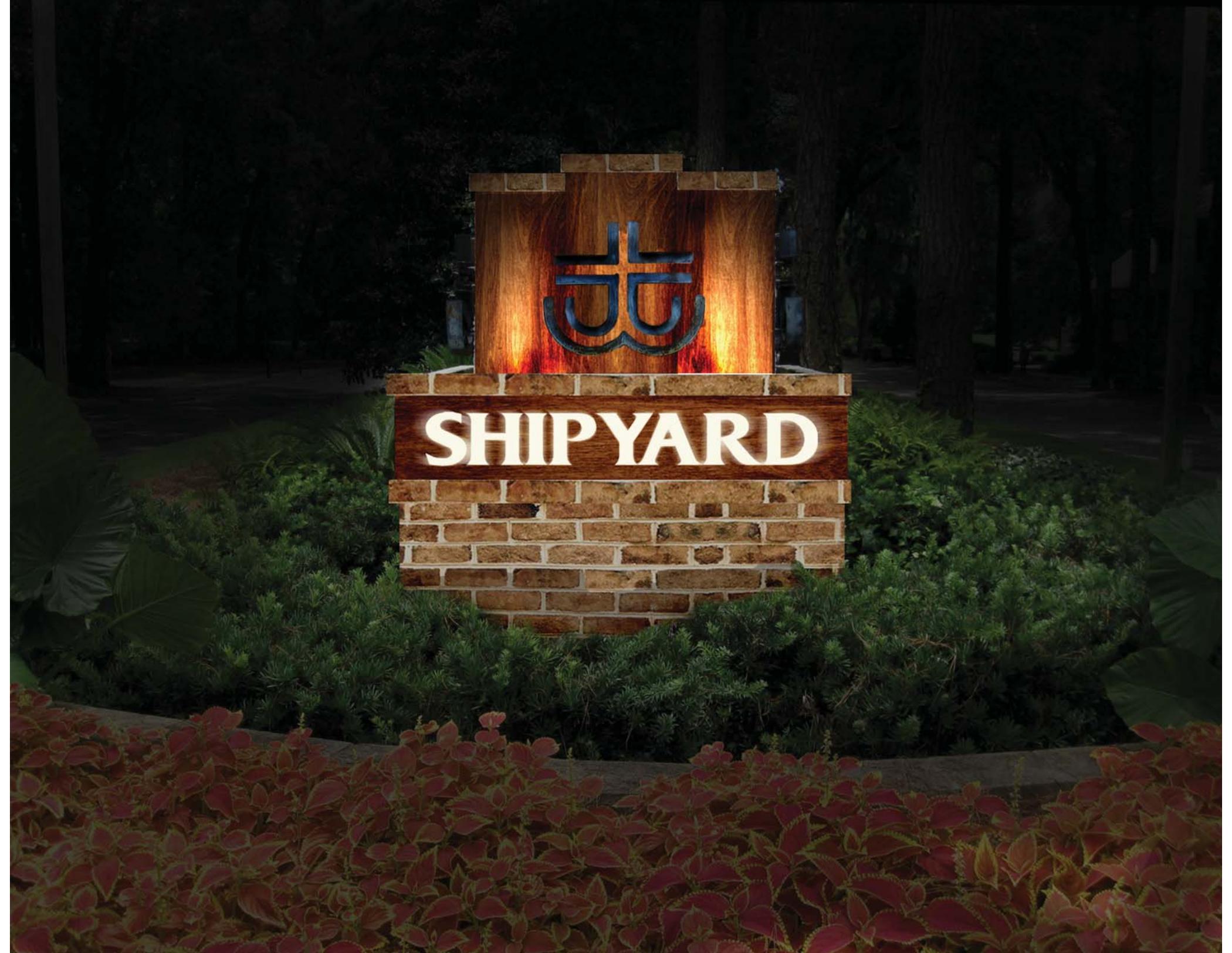
24"



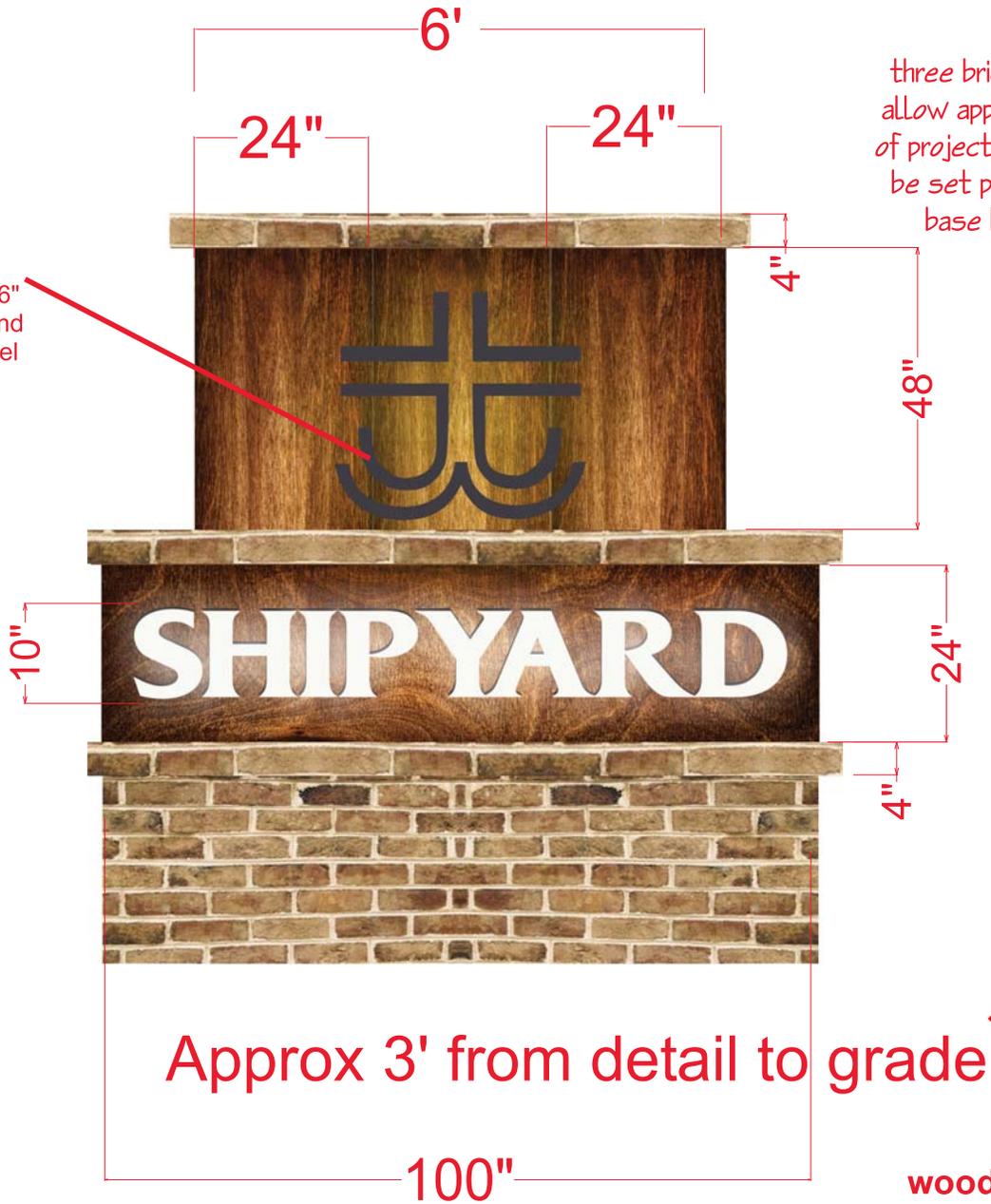
SHIPYARD



SHIPYARD



existing logo is 36" wide by 30" tall and is made of 4" steel angle iron on 4" offset studs



three brick detail bands allow approx two inches of projection from base to be set perpendicular to base brick layout.

2" THICK 10" TALL CHANNEL LETTERS SOLID FACE, SPACED 2" OFF BASE BACK LIT WITH WHITE led standard aluminum letter

wood panels are epoxy clear coated satin attached to existing concrete via standard furring strip method.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shipyard Plantation - SIGN

DRB#: DRB-002010-2015

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

Shipyard Planation proposes to renovate the existing concrete entrance signs at William Hilton Parkway and Cordillo Parkway. Proposed materials are Savannah Gray brick, teak with satin clear coated epoxy, channel letters in SW6119 "Antique White" and a steel logo in SW 7055 "Enduring Bronze". Colors and materials are in keeping with the Shipyard Office. Existing landscaping will remain.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: HARINDERJIT SINGH Company: HILTON HEAD SUITES, INC.
 Mailing Address: 2651 PERIMETER PKWY City: AUGUSTA State: GA Zip: 30309
 Telephone: 706 650 0061 Fax: 706 650 0064 E-mail: hsingh@southeastretina.com
 Project Name: HOME 2 SUITES BY HILTON Project Address: 1 MARINA SIDE DRIVE 28560
 Parcel Number [PIN]: R520 011 000 01320000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO *ONLY HEIGHT REQUIREMENTS MENTIONED IN NARRATIVE.*

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

10/27/15

DESIGN NARRATIVE - REVISED FOR DRB FINAL APPROVAL

HOME -2 BY HILTON HOTELS

ONE MARINA SIDE DRIVE

We realize that the words Corporate Prototype are not well received on Hilton Head Island. MRP Design Group is experienced at Hotel and Restaurant Design, but we also know that cookie cutter copies of what went in the last town will not suffice, and shouldn't, when the Goal is Hilton Head Island Character.

Fortunately, Hilton Hotels is sensitive to some of the same Aesthetic Concepts as found in the Hilton Head Island Design Guide. Here is an excerpt straight from their Guideline Document for Building Exterior:

“The Exterior Color Philosophy blends a Natural Palette with Contrast and Texture intended to provide Visual Appeal and a Distinctive Look from the Street. The Color Palette must be Familiar to the Region and be Harmonious with Natural Materials Found Nearby.”

Throughout their Standards, Hilton uses Socially Soft Words like “Well-being, Wellness, Sustainability, Oasis, Freedom, and Engaging”. Nevertheless, Hilton is also appealing to the current traveler with words like “Next Generation, Cutting Edge, Consistency, Style, Clean” that bring to mind the Modern, and lean toward the more Sleek Look for the Young Current Traveler. The materials of the Home 2 product in the Guidelines have texture and relief, but the predominant theme is more Linear and Horizontal

We have tried to use the concept with words that match Island Character and step away from the sleek. The Hilton Hotel Guidelines make a good attempt by offering 8 different color palettes to choose from, but the contrast is sometimes a little “Loud” and the “Flat, Horizontal Shapes” are pictured the same for each Option. Just because a Hotel is primarily a Box of 89 Boxes, doesn't mean it has to look like that on the surface. We took away some of the Extreme Colors they recommend and moved to the Neutrals and Naturals. We took the Flat Roof and gave it Various Pitches. We turned their Travel Beacon Tower, which acts like a searchlight, and made it into a Low Key, Muted Clear-Story, with suggestions of a Lighthouse without the intense Light. Since the Concept Presentation, we changed the scale of the windows of the Tower to be more like a Light House and less like an Air Traffic Control Tower. We also changed the proportions of the Tower to be more narrow. We raised the Main Building Mansard off the Main Parapet to stand alone and changed the Pitches of all the sloped roofs to be more like the

Low Pitch Island Look. We added more Trellises, Some Island-Type Shutters, Some Intermediate Gables for interest in the Mansard and extended the Mansard around the entire building for consistency. We also added another Tower in the Back of the Building for Interest and Balance. We simplified the Color Scheme with Fewer, Simpler Earthy Colors. We changed out the Tile Base to be a Light Brown “Mosstown” Brick with Dark Brown Accents. We removed the Metal Accent Bands and Imitation Brick and changed them to two subtle tones of Hardy Plank. In all, the Elevations have more Finesse as a result of the First Concept Review by the DRB.

Our New Material Choices and Colors are Keyed on the Color Board and include the following:

- A. SIDING - FIELD MATERIAL, TEXTURED HARDY PLANK, COLOR: SHERWIN WILLIAMS (SW) – TONY TAUPE SW 7038
- B. WINDOW AWNING – METAL JALOUSE SHUTTERS WITH COLOR TO MATCH TOWER ACCENT OR ALTERNATE TOWER ACCENT, COLORS: UNDERSEAS SW 6214 –OR- KIWI SW 6737
- C. STANDING SEAM METAL ROOFS – BERRIDGE, COLOR: DARK BRONZE
- D. TRIM – TEXTURED HARDY PLANK, COLOR: ACCESSIBLE BEIGE SW 7036
- E. ACCENT EIFS / SAND TEXTURE, COLOR: ACCESSIBLE BEIGE SW 7036
- F. SIDING – ACCENT BAND, SMOOTH HARDY PLANK, COLOR: SMOKEHOUSE SW 7040
- G. TOWER ACCENT - EIFS / SAND TEXTURE, COLOR: UNDERSEAS SW 6214 –OR- KIWI SW 6737
- H. TOWER – FIELD MATERIAL, EIFS / STUCCO TEXTURE, COLOR: BENJAMIN MOORE MIDSUMMER NIGHT (BM) 2234-20
- I. TRELIS – CEDAR STAINED, COLOR: VARATHANE KONA
- J. ACCENT BRICK – BORAL, COLOR: CATAWBA RIDGE
- K. FIELD BRICK – CHEROKEE BRICK, COLOR: MOSSTOWN
- L. STOREFRONT – NEWCASTLE, CLEAR GLASS, WHITE ALUMINUM FRAME

With these changes to the Home 2 Prototype, we feel like we have accomplished the Goals of Hilton Hotels and Hilton Head simultaneously.

As for height, we would like to ask for Administrative Variance. The Floor to Floor Height cannot be reduced and still leave enough room for the utilities at each level. So, to accomplish the look of Island Character at the top of the main building Mansard we need the 10% Variance above 45 Feet. We will stay just below this 49'-6" Height. At the "Lighthouse", we ask for the Variance for Towers and Spires of 20% Administratively, keeping the four-sided peak right at 54'-0".

As for the Site Analysis, Our Civil has this to say:

Hilton Home 2 Suites Development

Hilton Home 2 Suites is a proposed 99 room 4-story hotel development project along Marina Side Drive located on Hilton Head Island, SC. The property is 5.64 acres located on the north side of William Hilton Parkway. This will be a redevelopment of an existing commercial property formerly known as the Motel 6 site.

Hilton Home 2 Suites will consist of construction of a new 4-story hotel and outdoor swimming pool area. The access will be re-built with sufficient access to serve the entire development proposed. Pervious brick pavers will be constructed adjacent to all existing specimen trees and each of the crosswalks for the proposed buildings.

In addition to the Home 2, a Marriott Springhill is proposed with 96 rooms 4-story hotel located on the same property toward the rear of the property.

The property is currently zoned (LC) light commercial district. The property lies with the FEMA zone "A-7" with a minimum base elevation of 14 feet above sea level. Average relief of topography from 12.0' to 18.0' vertical elevation of the site. The project consists of 2.78 acres of pavement and 1.83 acres of open space within the development. The property does not include any wetlands or critical areas within the development.

Existing 50' primary road and 20' secondary road buffers will be maintained on the site from William Hilton Parkway.

The development will consist of three phases of construction with the first phase constructing the Hilton Home 2 and pad elevations for the remaining construction. Marriot Springhill will be constructed several months following the construction of the new Home 2. A proposed restaurant will also be constructed on the site in character with the development.

The proposed development will be consistent and in character with the adjacent and adjoining properties. This development will enhance the overall type of development serving the surrounding properties.

An overall storm water management plan will address the drainage from the proposed parking and proposed hotels utilizing a proposed on-site lagoon for storm water runoff.

The units have been situated to easily direct storm water away from the residential structures while protecting the existing freshwater wetlands.

Public water service is available from Broad Creek Public Service District and will be served by an existing 8-inch waterline. Public sanitary sewer service is also available within the development. There is an existing 100' powerline easement that will be maintained through the back portion of the development.

Maintenance responsibilities will consist of a commercial property owner's association responsible for the upkeep of the open space areas and the retention pond. The dedicated improvements consist of the water, sewer and utility services throughout the development.

Unique elements such as specimen trees within the development will be maintained and protected during construction of the project. There are several large specimen trees both 36" and 34" live oaks that will be isolated in interior and exterior island spaces with protection to the drip lines. Tree protection will be utilized providing safe construction practices near the specimen trees. Extra Islands have been added to the plan to give back, or save more of the existing trees

OPEN SPACE AND PUBLIC DEDICATION

A property owner's association will be formed to own and maintain the open space and common areas within the development. The owner will create a commercial owner's association which will maintain the detention areas on site.

Total Property	5.64 ac
Hotel Areas	1.38 ac
Open Space	1.83 ac
Parking Area	2.78 ac
Impervious Area	3.38 ac
Percent Impervious	60.0 %
Open Space	1.05 ac
Percent Open Space	16 %

Parkway Square® Pedestrian Horizontal LED – PKWM

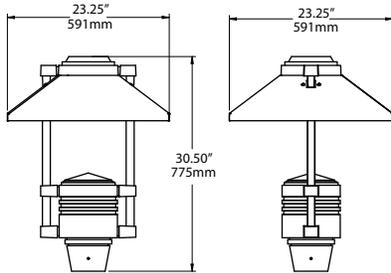
TYPE

FEATURES

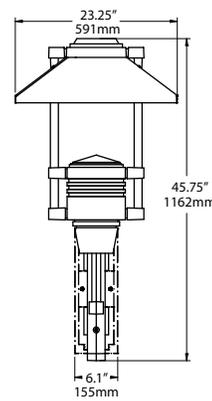
- Reliable, uniform, glare free illumination
- Types II, III, IV, V distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- Integral thermal protection
- 13 standard powder coat finishes



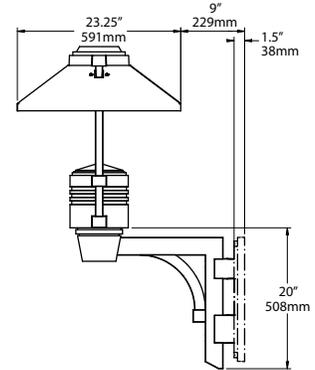
SPECIFICATIONS



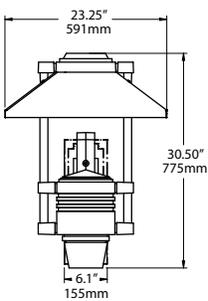
POST TOP
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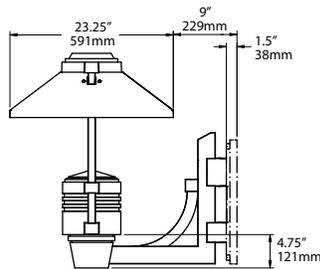
PSA-TU
(Top of Arm Mounted Luminaire
Upward Swept Arm Design)
WT: 65 lbs. EPA: 2.83



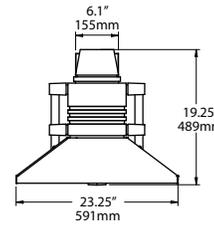
PSWM-TU
(Top of Wall Mounted Luminaire
Upward Swept Arm Design)
WT: 69 lbs. EPA: 3.05



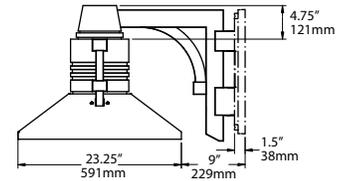
PSA-TD
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Downward Swept Arm Design)
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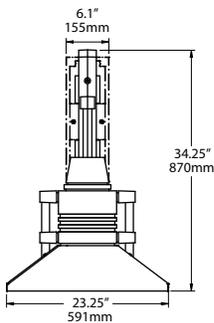
PSWM-TD
(Top of Wall Mounted Luminaire
Downward Swept Arm Design)
WT: 69 lbs. EPA: 3.05



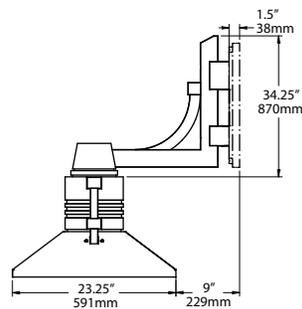
PSA-BU
(Below Arm Mounted Luminaire
Upward Swept Arm Design)
WT: 65 lbs. EPA: 2.54



PSWM-BU
(Below Wall Mounted Luminaire
Upward Swept Arm Design)
WT: 69 lbs. EPA: 2.76



PSA-BD
(Below Arm Mounted Luminaire
Downward Swept Arm Design)
WT: 65 lbs. EPA: 2.54



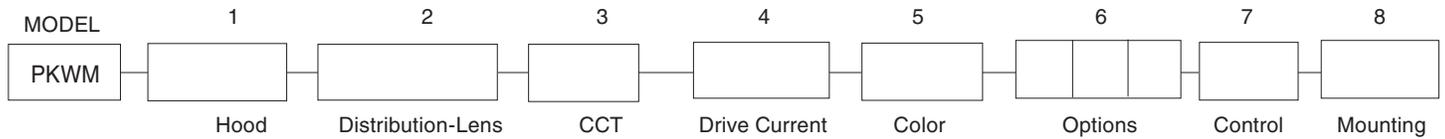
PSWM-BD
(Below Wall Mounted Luminaire
Downward Swept Arm Design)
WT: 69 lbs. EPA: 2.76



ARCHITECTURAL AREA LIGHTING
16555 East Gale Ave. | City of Industry | CA 91745
P 626.968.5666 | F 626.369.2695 | www.aal.net
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JOB	_____
TYPE	_____
NOTES	_____

ORDERING INFORMATION



1. HOOD

- ANGLLED
- ANG

2. DISTRIBUTION

Horizontal LED – Clear Lens

- Y2HC
- Y3HC
- Y4HC
- Y5HC

Horizontal LED – Diffused Lens

- Y2HD
- Y3HD
- Y4HD
- Y5HD

3. COLOR TEMPERATURE

- 32LED-3K
- 32LED-4K
- 32LED-5K

4. DRIVE CURRENT (120-277 VAC input)

- 700 (688mA, 73 watts)
- 500 (500mA, 53 watts)

5. COLOR

- | | |
|------------------------------|--|
| <input type="checkbox"/> AWT | <input type="checkbox"/> CRT |
| <input type="checkbox"/> BLK | <input type="checkbox"/> MAL |
| <input type="checkbox"/> MTB | <input type="checkbox"/> MDG |
| <input type="checkbox"/> DGN | <input type="checkbox"/> ATG |
| <input type="checkbox"/> DBZ | <input type="checkbox"/> LGY |
| <input type="checkbox"/> WRZ | <input type="checkbox"/> RAL/PREMIUM COLOR |
| <input type="checkbox"/> BRM | <input type="checkbox"/> CUSTOM COLOR |
| <input type="checkbox"/> VBL | |

6. OPTIONS

FUSING

- FS1 (Single fuse holder)

HOOD FINISH

- COP (Copper)
- STS (Stainless steel)

7. CONTROL

SCP (Sensor Control Programmable) pole accessory is available to provide occupancy detection for outdoor applications meeting California Title 24. For complete spec sheet and ordering information, visit www.aal.net/products/sensor_control_programmable/

8. MOUNTING – Standard mounting slips over a 4"/100mm open top square pole or tenon or may choose one

TENON MOUNT

- TA23 (Tenon adapter slips over 2 3/8" O.D x 4" long tenon. Required for poles by others or used in conjunction with TEN pole option by AAL.)

WALL MOUNT

- PSWM-TU (Fixture above with arm mounted up)
- PSWM-TD (Fixture above with arm mounted down)
- PSWM-BU (Fixture below with arm mounted up)
- PSWM-BD (Fixture below with arm mounted down)

POLE MOUNTED ARM – mounts to the side of a square pole or to the side of a 4"od pole (specify)

- PSA-TU (Fixture above with arm mounted up)
- PSA-TD (Fixture above with arm mounted down)
- PSA-BU (Fixture below with arm mounted up)
- PSA-BD (Fixture below with arm mounted down)

Visit www.aal.net for Arms, Poles & Accessories Specification Guide

LUMINAIRE PERFORMANCE

Optical System	Lens	Distribution	Light Engine	Luminaire Performance Data												Drive Current (ma)	System Watts			
				3K			4K			5K										
				Delivered Lumens	Efficacy (lm/w)	Bug Rating	Delivered Lumens	Efficacy (lm/w)	Bug Rating	Delivered Lumens	Efficacy (lm/w)	Bug Rating								
YLED	Clear Lens	TYPE 2	Y2HC	4,116	58	1	0	1	5,374	75	1	0	1	5,834	82	2	0	2	700	71
		TYPE 3	Y3HC	4,087	57	1	0	1	5,336	75	1	0	1	5,794	81	1	0	1		
		TYPE 4	Y4HC	3,988	56	1	0	1	5,206	73	1	0	1	5,653	79	1	0	1		
		TYPE 5	Y5HC	3,941	55	2	0	1	5,139	72	3	0	1	5,580	78	3	0	1		
		TYPE 2	Y2HC	3,192	64	1	0	1	4,168	83	1	0	1	4,525	91	1	0	1		
		TYPE 3	Y3HC	3,170	63	1	0	1	4,140	83	1	0	1	4,494	90	1	0	1		
		TYPE 4	Y4HC	3,097	62	1	0	1	4,044	81	1	0	1	4,404	88	1	0	1		
	TYPE 5	Y5HC	3,057	61	2	0	1	3,992	80	2	0	1	4,346	87	2	0	1	500	50	
	Diffused Lens	TYPE 2	Y2HD	3,306	46	1	0	1	4,311	60	1	0	1	4,681	66	2	0			1
		TYPE 3	Y3HD	3,211	45	1	0	1	4,187	59	1	0	1	4,546	64	1	0			1
		TYPE 4	Y4HD	3,181	45	1	0	1	4,148	58	1	0	1	4,504	63	2	0			1
		TYPE 5	Y5HD	3,101	44	1	0	1	4,054	57	2	0	1	4,428	62	2	0			1
		TYPE 2	Y2HD	2,569	51	1	0	1	3,350	67	1	0	1	3,638	73	1	0			1
		TYPE 3	Y3HD	2,500	50	1	0	1	3,260	65	1	0	1	3,539	71	1	0			1
		TYPE 4	Y4HD	2,468	49	1	0	1	3,222	64	1	0	1	3,710	74	1	0	1		
TYPE 5	Y5HD	2,412	48	1	0	1	3,149	63	1	0	1	3,509	70	1	0	1				

ELECTRICAL CHARACTERISTICS

Optical System	Ordering Code	Electrical Characteristics								Inrush Current				Dimming	
		LED Drive mA	System Watts	Amps AC		Min. Power Factor	Max THD (%)	Operating Temp. Range	120V		277V		Dimming Range	Source Current out of 0-10V Purple Wire	
				120	277				Ipeak (A)	T(@50% of Ipeak)	Ipeak (A)	T(@50% of Ipeak)			
YLED	32LED	700	688	71	0.6	0.3	0.9	15	-30°C TO +60°C	50	142 µs	116	138 µs	5% to 10%	150 µA
		500	500	50	0.4	0.2									

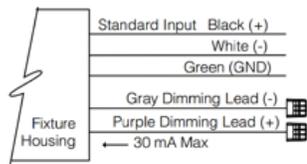
LED COLOR

Consult factory for Amber, Turtle Friendly, Gulf Coast and Observatory applications.

	Ordering Code		
	3K	4K	5K
CCT Average	3000K	4000K	5000K
CRI Minimum	≥ 80	≥ 70	≥ 70

WIRING LEADS

Luminaires not configured with wiHUBB or photo-control shall be provided with 0-10 purple and gray dimming leads.



TM-21 LIFETIME CALCULATION

Optical System	Ordering Code	Ambient Environment °C	Projected Lumen Maintenance (% vs. Khrs)					Reported L70
			15	25	50	60	100	
YLED	32LED	15	98	97	96	95	93	>60Khrs
		25	96	96	94	93	90	
		40	96	94	91	90	86	



ARCHITECTURAL AREA LIGHTING
 16555 East Gale Ave. | City of Industry | CA 91745
 P 626.968.5666 | F 626.369.2695 | www.aal.net
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JOB	_____
TYPE	_____
NOTES	_____

SPECIFICATIONS

HOUSING

- All housing components shall be cast aluminum, sealed with continuous silicone rubber gaskets.
- Hoods shall be of fabricated construction with seamless blended outside corners. Optional natural stainless steel and or natural copper hoods shall have a horizontal brushed grain. Natural copper hoods shall naturally oxidize over time.
- Secondary lens shall be clear flat tempered soda lime glass.
- All internal and external hardware shall be stainless steel.

OPTICAL

- LEDs shall be mounted to a metal printed circuit board assembly (MCPCB) with a uniform conformal coating over the panel surface and electrical features.
- LED optics shall be clear injection molded PMMA acrylic.
- MCPCB and optic shall be sealed to a die-cast anodized aluminum heat sink with an injection molded silicone rubber gasket. IP66.

ELECTRICAL

- Luminaires shall have integral surge protection that shall be U.L. recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J.
- Drivers shall be U.L. recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC.
- Drivers shall not be compatible with current sourcing dimmers, consult factory for current list of known compatible dimming systems, approved dimmers include Lutron Diva AVTV, Lutron Nova NFTV and NTFTV.
- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array shall have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.

CONTROLS

- SCP shall have an integral surge protection device with a current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Sensor not intended for use with additional photo-control, wireless control or dimming systems.

SERVICING

- Gear compartment shall be accessed via the removal of four 1/4-20 fasteners. Driver and surge suppressor shall be mounted to a pre-wired tray with quick disconnects that may be removed from the gear compartment.

ARM MOUNTING

- Luminaire shall be attached to the arm assembly with four 1/4-20 stainless steel bolts. The connection shall be sealed with a silicone compression gasket.
- Pole mounted arms shall bolt to a square pole or a 4"/100mm diameter round pole and secured with two bolts with a minimum 3/8-16 thread size, hardware by others.
- Wall mounted arms and brackets shall require mounting hardware by others.

FINISH

- Luminaire finish shall consist of a five stage pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish.
- Luminaire finish shall meet the AAMA 2604-05 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

CERTIFICATION

- Luminaire shall be listed with ETL for outdoor, wet location use, UL1598, UL 8750 and Canadian CSA Std. C22.2 no.250.

WARRANTY / TERMS AND CONDITIONS OF SALE

Download:

<http://www.hubbelling.com/resources/warranty/>



DESCRIPTION

6 inch LED recessed medium beam downlight with 50° cut off specially designed for LED technology. Two-stage reflector system produces smooth distribution with excellent light control and low aperture brightness. Lumen packages include 1000, 1500, 2000 and 3000 lumens with color temperatures of 2700K, 3000K, 3500K, 4000K.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Lower Shielding Reflector

Self-flanged, spun .050" thick aluminum lower reflector in combination with a lensed upper optical chamber provides superior lumen output with minimal source brightness. Available in all Portfolio Alzak® finishes.

Trim Retention

Lower reflector is retained with two torsion springs holding the flange tightly to the finished ceiling surface.

Plaster Frame / Collar

New Construction Housing: Die cast aluminum 1-1/2" deep collar accommodates ceiling materials up to 2".

Universal Mounting Bracket

Accepts 1/2" EMT, C channel and bar hangers and adjusts 5" vertically from above and below the ceiling.

Junction Box

(4) 1/2" and (2) 3/4" trade size pry outs positioned to allow straight conduit runs. Listed for (8) #12

AWG (four in, four out) 90°C conductors and feed thru branch wiring.

Thermal

Extruded aluminum heat sink conducts heat away from the LED module for optimal performance and long life.

LED

LED system contains a plurality of high brightness white LED's combined with a high reflectance upper reflector and convex transitional lens producing even distribution with no pixilation. Rated for 50,000 hours at 70% lumen maintenance. Auto resetting, thermally protected, LED's are turned off when safe operating temperatures are exceeded. Color variation within 3-step MacAdam ellipses. Flexible disconnect allows for tool-less replacement of LED engine from below ceiling. Available in 80 or 90 CRI.

Driver

Combination 120-277V 0-10V or

120V trailing edge phase cut driver provides flicker free dimming from 100% to 10%. Optional 1% 0-10V, Fifth Light, DMX or Lutron® Ecosystem. Driver can be serviced from above or through the aperture.

Code Compliance

Thermally protected and cULus listed for protected wet locations. IP66 rated when used with IP66 gasket kit accessory. Optional City of Chicago environmental air (CCEA) marking for plenum applications. EMI/RFI emissions per FCC 47CFR Part 18 Class B consumer limits. Non-IC rated - Insulation must be kept 3" from top and sides of housing. RoHS Compliant. Photometric testing completed in accordance with IES LM 79 standards. LED life testing completed in accordance with LM 80 standards.

Warranty

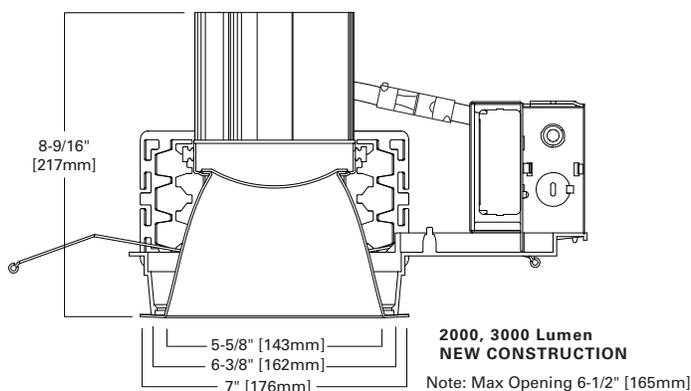
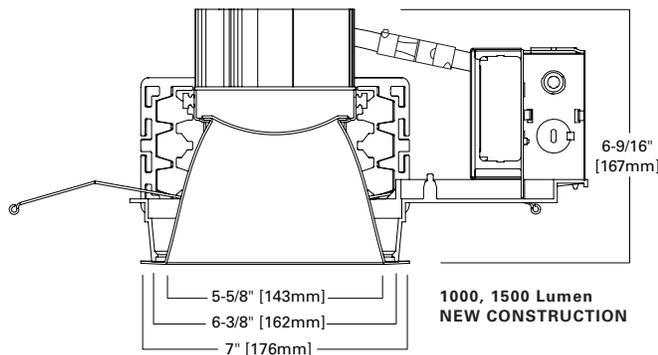
5 year warranty on LED housings, LED Modules and LED Trims.



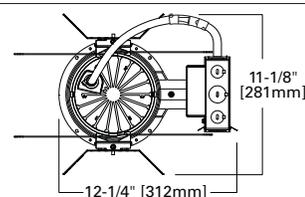
**LD6A10 LD6A15
LD6A20 LD6A30
6LM**

1000, 1500 Lumen LED
2000, 3000 Lumen LED

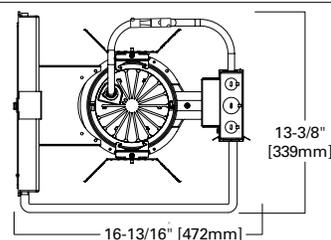
**6-Inch
Medium Beam Downlight
New Construction**



TOP VIEW - NEW CONSTRUCTION



TOP VIEW - NEW CONSTRUCTION WITH BATTERY



Refer to ENERGY STAR® Qualified Products List.



ORDERING INFORMATION

EXAMPLE: LD6A15D010TE ERM6A15835 6LM0L1=6" LED Medium Beam Reflector, 1500 Lumen 3,500 K Color with Universal 120 - 277V, 0 - 10 Driver

Housing	Lumens ¹	Driver	Options ^{3,4}	Power Module	CRI	Color
LD6A=6" Aperture, LD6ACP=6" Aperture	1000, 1500, 2000 and 3000 Lumen D010TE=120-277V 0-10V 10% Dimming or Trailing Edge 120V Dimming D5LT=Fifth Light® (DALI) 0% Dimming DE010=1 to 100% Dimming, 120-277V 50/60Hz, 0-10V DL3=1 to 100% Dimming, 120-277V Lutron® Hi-Lume, Ecosystem or 3 Wire DLT=Hi-Lume Forward Phase 2-wire Dimming 120V DMX=DMX 0% Dimming	1000, 1500 and 2000 Lumen D010TR=120-277V 0-10V 10% Dimming or Leading Edge 120V Dimming	EMBOD=7W Bodine® Emergency Module with Remote Test Switch IEMBOD=7W Bodine® Emergency Module with Integral Test Switch EM7=7W Emergency Module with Remote Test Switch EM14=14W Emergency Module with Remote Test Switch IEM7=7W Emergency Module with Integral Test Switch IEM14=14W Emergency Module with Integral Test Switch	ERM6A10=6", 1000 Lumen Module for Medium Beam Reflector ERM6A15=6", 1500 Lumen Module for Medium Beam Reflector ERM6A20=6", 2000 Lumen Module for Medium Beam Reflector ERM6A30=6", 3000 Lumen Module for Medium Beam Reflector	8=80 CRI 9=90 CRI	27=2700° K 30=3000° K 35=3500° K 40=4000° K 27CP=2700° K, Chicago Plenum 30CP=3000° K, Chicago plenum 35CP=3500° K, Chicago Plenum 40CP=4000° K, Chiago Plenum

Reflector	Finish	Options	Accessories
6LM0=6" Medium Reflector, Polymer Trim Ring 6LM1=6" Medium Reflector, Self-flanged 6LM0E=6" Medium Reflector, Polymer Trim Ring for use with IEM Integral Emergency Option 6LM1E=6" Medium Reflector, Self-flanged for use with IEM Integral Emergency Option	LI=Specular Clear H=Semi-Specular Clear WMH=Warm Haze G=Specular Gold WH=Wheat WHH=Wheat Haze GP=Graphite GPH=Graphite Haze	B=Specular Black W=Gloss White 6LM0, 6LM0E Only BB=Black Baffle WB=White Baffle	Self-flanged Only WF=White Painted Flange HB26=C-channel Bar Hanger, 26" Long, Pair HB50=C-channel Bar Hanger, 50" Long, Pair RMB22=Wood Joist Bar Hanger, 22" Long, Pair H347=347 To 120V Step Down Transformer, 75VA H347200=347 to 120V Step Down Transformer, 200VA Housings, Specify Slope HSA6=Slope Adapter for 6" Aperture Housings, Specify Slope TRM6=Metal Trim Ring, Specify Color ² TRR6=Trimless Trim Ring ² DT6=Deco Trim ² LGSKT6IP66= P66 Gasket Kit

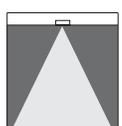
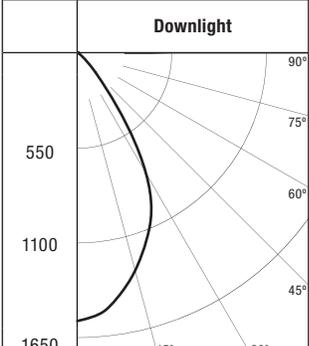
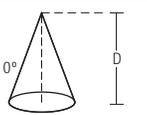
- Notes:** 1 Nominal Lumens will vary depending on selected color, driver and reflector finish.
 2 Order trim with polymer trim ring (Consult specification sheet for color ordering information and options).
 3 Not available with Chicago Plenum.
 4 Not CSA approved.

ENERGY

ENERGY DATA	
Sound Rating: Class A standards (Values at non-dimming line voltage)	
Minimum Starting Temperature: -30°C (-22°F)	
EMI/RFI: FCC Title 47 CFR, Part 15, Class B (Consumer)	
Input Voltage: UNV (120V - 277V)	
Power Factor: >0.90 (at nominal input 120-277 VAC & 100% of Rated Output Power)	
3000 Lumen D010TE	2000 Lumen D010TE
Input Power: 43.6W THD: <17%	Input Power: 31.5W THD: <20%
120V Input Current: .37A 277V Input Current: .16A	120V Input Current: .27A 277V Input Current: .12A
Maximum Non-IC Ambient Continuous	Maximum Non-IC Ambient Continuous
Input Frequency: 50/60Hz	Input Frequency: 50/60Hz
1500 Lumen D010TE	1000 Lumen D010TE
Input Power: 22.4W THD: <20%	Input Power: 14.1W THD: <20%
120V Input Current: .12A 277V Input Current: .09A	120V Input Current: .12A 277V Input Current: .06A
Maximum Non-IC Ambient Continuous	Maximum Non-IC Ambient Continuous
Input Frequency: 50-60Hz	Input Frequency: 50-60Hz

Lumens	120V		277V	
	Inrush (A)	Duration (ms)	Inrush (A)	Duration (ms)
900/1000	0.486	0.4	0.848	0.182
1300/1500	0.717	1.58	0.531	1.24
1800/2000	0.832	0.405	1.25	0.788
2800/3000	1.09	0.3	1.23	0.294

PHOTOMETRICS

Test Number P135434 Platform LD6A15D010TE Element ERM6A15835 6LM1H Lumens 1421 Efficacy 62.9 Lm/W SC 0.9 	CANDLEPOWER DISTRIBUTION 	CONE OF LIGHT  <table border="1"> <thead> <tr> <th>D</th> <th>FC</th> <th>L</th> <th>W</th> </tr> </thead> <tbody> <tr> <td>5.5'</td> <td>51</td> <td>5</td> <td>5</td> </tr> <tr> <td>7'</td> <td>32</td> <td>6.4</td> <td>6.4</td> </tr> <tr> <td>8'</td> <td>24</td> <td>7.2</td> <td>7.2</td> </tr> <tr> <td>9'</td> <td>19</td> <td>8.2</td> <td>8.2</td> </tr> <tr> <td>10'</td> <td>16</td> <td>9</td> <td>9</td> </tr> <tr> <td>12'</td> <td>11</td> <td>11</td> <td>11</td> </tr> </tbody> </table>	D	FC	L	W	5.5'	51	5	5	7'	32	6.4	6.4	8'	24	7.2	7.2	9'	19	8.2	8.2	10'	16	9	9	12'	11	11	11	CANDELA TABLE <table border="1"> <thead> <tr> <th>Degrees Vertical</th> <th>Candela</th> </tr> </thead> <tbody> <tr><td>0</td><td>1549</td></tr> <tr><td>5</td><td>1514</td></tr> <tr><td>15</td><td>1306</td></tr> <tr><td>25</td><td>1023</td></tr> <tr><td>35</td><td>493</td></tr> <tr><td>45</td><td>123</td></tr> <tr><td>55</td><td>27</td></tr> <tr><td>65</td><td>8</td></tr> <tr><td>75</td><td>2</td></tr> <tr><td>85</td><td>0</td></tr> <tr><td>90</td><td>0</td></tr> </tbody> </table>	Degrees Vertical	Candela	0	1549	5	1514	15	1306	25	1023	35	493	45	123	55	27	65	8	75	2	85	0	90	0	ZONAL LUMEN SUMMARY <table border="1"> <thead> <tr> <th>Zone</th> <th>Lumens</th> <th>%Fixture</th> </tr> </thead> <tbody> <tr><td>0-30</td><td>969</td><td>68.2</td></tr> <tr><td>0-40</td><td>1280</td><td>90.1</td></tr> <tr><td>0-60</td><td>1410</td><td>99.2</td></tr> <tr><td>0-90</td><td>1421</td><td>100.0</td></tr> <tr><td>90-180</td><td>0</td><td>0.0</td></tr> <tr><td>0-180</td><td>1421</td><td>100.0</td></tr> </tbody> </table>	Zone	Lumens	%Fixture	0-30	969	68.2	0-40	1280	90.1	0-60	1410	99.2	0-90	1421	100.0	90-180	0	0.0	0-180	1421	100.0	LUMINANCE <table border="1"> <thead> <tr> <th>Average Candela Degrees</th> <th>Average 0° Luminance</th> </tr> </thead> <tbody> <tr><td>45</td><td>11339</td></tr> <tr><td>55</td><td>3048</td></tr> <tr><td>65</td><td>1220</td></tr> <tr><td>75</td><td>403</td></tr> <tr><td>85</td><td>0</td></tr> </tbody> </table>	Average Candela Degrees	Average 0° Luminance	45	11339	55	3048	65	1220	75	403	85	0
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PHOTOMETRICS

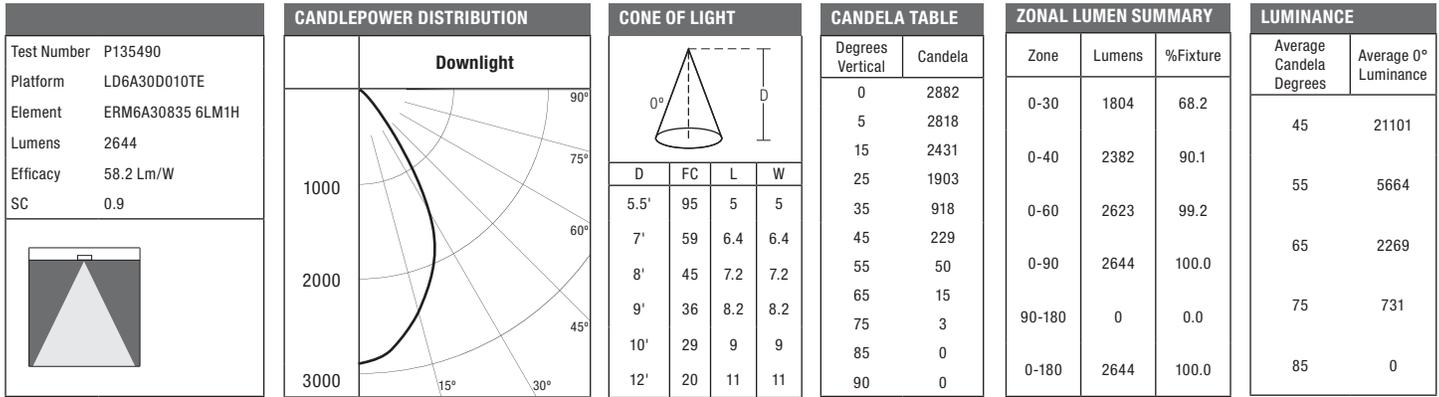
Test Number P135314 Platform LD6A15D010TE Element ERM6A15835 6LM1LI Lumens 1592 Efficacy 70.4 Lm/W SC 0.8	CANDLEPOWER DISTRIBUTION 	CONE OF LIGHT <table border="1"> <thead> <tr> <th>D</th> <th>FC</th> <th>L</th> <th>W</th> </tr> </thead> <tbody> <tr><td>5.5'</td><td>73</td><td>4.4</td><td>4.4</td></tr> <tr><td>7'</td><td>45</td><td>5.6</td><td>5.6</td></tr> <tr><td>8'</td><td>34</td><td>6.4</td><td>6.4</td></tr> <tr><td>9'</td><td>27</td><td>7.2</td><td>7.2</td></tr> <tr><td>10'</td><td>22</td><td>8</td><td>8</td></tr> <tr><td>12'</td><td>15</td><td>9.6</td><td>9.6</td></tr> </tbody> </table>	D	FC	L	W	5.5'	73	4.4	4.4	7'	45	5.6	5.6	8'	34	6.4	6.4	9'	27	7.2	7.2	10'	22	8	8	12'	15	9.6	9.6	CANDELA TABLE <table border="1"> <thead> <tr> <th>Degrees Vertical</th> <th>Candela</th> </tr> </thead> <tbody> <tr><td>0</td><td>2195</td></tr> <tr><td>5</td><td>2219</td></tr> <tr><td>15</td><td>1968</td></tr> <tr><td>25</td><td>1176</td></tr> <tr><td>35</td><td>409</td></tr> <tr><td>45</td><td>33</td></tr> <tr><td>55</td><td>4</td></tr> <tr><td>65</td><td>1</td></tr> <tr><td>75</td><td>1</td></tr> <tr><td>85</td><td>0</td></tr> <tr><td>90</td><td>0</td></tr> </tbody> </table>	Degrees Vertical	Candela	0	2195	5	2219	15	1968	25	1176	35	409	45	33	55	4	65	1	75	1	85	0	90	0	ZONAL LUMEN SUMMARY <table border="1"> <thead> <tr> <th>Zone</th> <th>Lumens</th> <th>%Fixture</th> </tr> </thead> <tbody> <tr><td>0-30</td><td>1286</td><td>80.8</td></tr> <tr><td>0-40</td><td>1550</td><td>97.4</td></tr> <tr><td>0-60</td><td>1590</td><td>99.9</td></tr> <tr><td>0-90</td><td>1592</td><td>100.0</td></tr> <tr><td>90-180</td><td>0</td><td>0.0</td></tr> <tr><td>0-180</td><td>1592</td><td>100.0</td></tr> </tbody> </table>	Zone	Lumens	%Fixture	0-30	1286	80.8	0-40	1550	97.4	0-60	1590	99.9	0-90	1592	100.0	90-180	0	0.0	0-180	1592	100.0	LUMINANCE <table border="1"> <thead> <tr> <th>Average Candela Degrees</th> <th>Average 0° Luminance</th> </tr> </thead> <tbody> <tr><td>45</td><td>3072</td></tr> <tr><td>55</td><td>489</td></tr> <tr><td>65</td><td>170</td></tr> <tr><td>75</td><td>277</td></tr> <tr><td>85</td><td>0</td></tr> </tbody> </table>	Average Candela Degrees	Average 0° Luminance	45	3072	55	489	65	170	75	277	85	0
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PHOTOMETRICS



EM MULTIPLIER DATA

LUMENS	EM MULTIPLIER	
	7	14
900/1000	0.50	0.99
1300/1500	0.29	0.57
1800/2000	0.22	0.44
2800/3000	0.16	0.32

DESCRIPTION

4 inch LED recessed medium beam downlight with 50° cut off specially designed for LED technology. Two-stage reflector system produces smooth distribution with excellent light control and low aperture brightness. Lumen packages include 900, 1300, 1800 and 2800 lumens with color temperatures of 2700K, 3000K, 3500K, 4000K.

SPECIFICATION FEATURES

Lower Shielding Reflector

Self-flanged, spun .050" thick aluminum lower reflector in combination with a lensed upper optical chamber provides superior lumen output with minimal source brightness. Available in all Portfolio Alzak® finishes.

Trim Retention

Lower reflector is retained with two torsion springs holding the flange tightly to the finished ceiling surface.

Plaster Frame / Collar

New Construction Housing: Die cast aluminum 1-1/2" deep collar accommodates ceiling materials up to 2".

Universal Mounting Bracket

Accepts 1/2" EMT, C channel and bar hangers and adjusts 5" vertically from above and below the ceiling.

Junction Box

(4) 1/2" and (2) 3/4" trade size pry outs positioned to allow straight

conduit runs. Listed for (8) #12 AWG (four in, four out) 90°C conductors and feed thru branch wiring.

Thermal

Extruded aluminum heat sink conducts heat away from the LED module for optimal performance and long life.

LED

LED system contains a plurality of high brightness white LED's combined with a high reflectance upper reflector and convex transitional lens producing even distribution with no pixilation. Rated for 50,000 hours at 70% lumen maintenance. Auto resetting, thermally protected, LED's are turned off when safe operating temperatures are exceeded. Color variation within 3-step MacAdam ellipses. Flexible disconnect allows for tool-less replacement of LED engine from below ceiling. Available in 80 or 90 CRI.

Catalog #		Type
Project		
Comments		Date
Prepared by		

Driver

Combination 120-277V 0-10V or 120V trailing edge phase cut driver provides flicker free dimming from 100% to 10%. Optional 1% 0-10V, Fifth Light, DMX or Lutron® Ecosystem. Driver can be serviced from above or through the aperture.

Code Compliance

Thermally protected and cULus listed for protected wet locations. IP66 rated when used with IP66 gasket kit accessory. Optional City of Chicago environmental air (CCEA) marking for plenum applications. EMI/RFI emissions per FCC 47CFR Part 18 Class B consumer limits. Non-IC rated - Insulation must be kept 3" from top and sides of housing. RoHS Compliant. Photometric testing completed in accordance with IES LM 79 standards. LED life testing completed in accordance with LM 80 standards.

Warranty

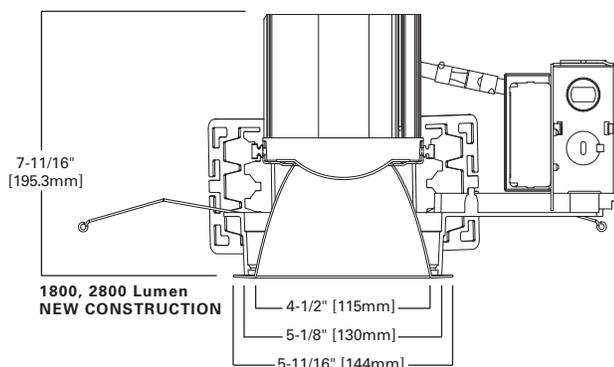
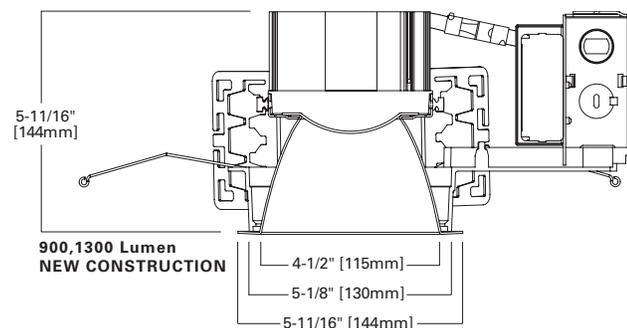
5 year warranty.



LD4A09 LD4A13 LD4A18 LD4A28 4LM

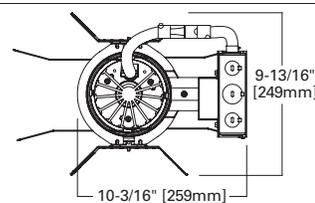
900, 1300 Lumen LED
1800, 2800 Lumen LED

4-Inch
Medium Beam Downlight
New Construction

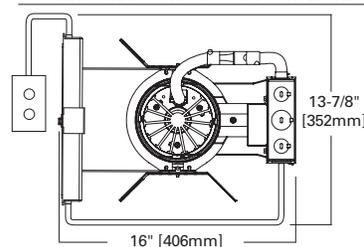


Note: Max Opening 4-3/8" [111mm]

TOP VIEW - NEW CONSTRUCTION



TOP VIEW - NEW CONSTRUCTION WITH BATTERY



Refer to ENERGY STAR® Qualified Products List.

ORDERING INFORMATION

EXAMPLE: LD4A13D010TE ERM4A13835 4LM0LI=4" LED Medium Beam Reflector Lens, 1300 lumen, 3,500 K Color with Universal 120 - 277V, 0 - 10 Driver

Housing	Lumens ¹	Driver	Options ^{3,4}	Power Module	CRI	Color
LD4A=4" Aperture LD4ACP=4" Aperture, Chicago Plenum	909=900 Lumens 13=1300 Lumens 18=1800 Lumens 28=2800 Lumens	900, 1300, 1800 and 2800 Lumen D010TE=120-277V 0-10V 10% Dimming or Trailing Edge 120V Dimming D5LT=Fiht Light® (DALI) 0% Dimming DE010=1 to 100% Dimming, 120-277V 50/60Hz, 0-10V DL3=1 to 100% Dimming, 120-277V Lutron® Hi-Lume, Ecosystem or 3 Wire DLT=Hi-Lume Forward Phase 2-wire Dimming 120V DMX=DMX 0% Dimming	EMBOD=7W Bodine® Emergency Module with Remote Test Switch IEMBOD=7W Bodine® Emergency Module with Integral Test Switch EM7=7W Emergency Module with Remote Test Switch EM14=14W Emergency Module with Remote Test Switch IEM7=7W Emergency Module with Integral Test Switch IEM14=14W Emergency Module with Integral Test Switch	ERM4A09=4", 900 Lumen Module for Medium Beam Reflector ERM4A13=4", 1300 Lumen Module for Medium Beam Reflector ERM4A18=4", 1800 Lumen Module for Medium Beam Reflector ERM4A28=4", 2800 Lumen Module for Medium Beam Reflector	8=80 CRI 9=90 CRI	27=2700° K 30=3000° K 35=3500° K 40=4000° K 27CP=2700° K, Chicago Plenum 30CP=3000° K, Chicago Plenum 35CP=3500° K, Chicago Plenum 40CP=4000° K, Chicago Plenum

Reflector	Finish	Options	Accessories
4LM0=4" Medium Reflector Lens Assembly, White Polymer Trim Ring 4LM1=4" Medium Reflector, Self-flanged 4LM0E=4" Medium Reflector Lens Assembly, White Polymer Trim Ring for Integral Emergency Option 4LM1E=4" Medium Reflector Self-flanged for Integral Emergency Option	LI=Specular Clear H=Semi-Specular Clear WMH=Warm Haze G=Specular Gold WH=Wheat WHH=Wheat Haze GP=Graphite GPH=Graphite Haze	B=Specular Black W=Gloss White 4LM0 Only BB=Black Baffle WB=White Baffle	Self-flanged Only WF= White Painted Flange HB26=C-channel Bar Hanger, 26" Long, Pair HB50=C-channel Bar Hanger, 50" Long, Pair RMB22=Wood Joist Bar Hanger, 22" Long, Pair H347= 347 to 120V Step Down Transformer, 75VA

Notes: 1 Nominal Lumens will vary depending on selected color, driver and reflector finish.
2 Order trim with polymer trim ring (Consult specification sheet for color ordering information and options)

ENERGY

ENERGY DATA					
Sound Rating: Class A standards (Values at non-dimming line voltage)					
Minimum Starting Temperature: -30°C (-22°F)					
EMI/RFI: FCC Title 47 CFR, Part 15, Class B (Consumer)					
Input Voltage: UNV (120V - 277V)					
Power Factor: >0.90 (at nominal input 120-277 VAC & 100% of Rated Output Power)					
2800 Lumen D010TE			1800 Lumen D010TE		
Input Power: 43.4W	THD: <17%	Input Power: 31.5W	THD: <20%		
120V Input Current: .36A	277V Input Current: .16A	120V Input Current: .27A	277V Input Current: .06A		
Maximum Non-IC Ambient Continuous			Maximum Non-IC Ambient Continuous		
Input Frequency: 50/60Hz			Input Frequency: 50/60Hz		
1300 Lumen D010TE			900 Lumen D010TE		
Input Power: 22.4W	THD: <20%	Input Power: 14.1W	THD: <20%		
120V Input Current: .12A	277V Input Current: .09A	120V Input Current: .12A	277V Input Current: .06A		
Maximum Non-IC Ambient Continuous			Maximum Non-IC Ambient Continuous		
Input Frequency: 50/60Hz			Input Frequency: 50/60Hz		

Lumens	120V		277V	
	Inrush (A)	Duration (ms)	Inrush (A)	Duration (ms)
900/1000	0.486	0.4	0.848	0.182
1300/1500	0.717	1.58	0.531	1.24
1800/2000	0.832	0.405	1.25	0.788
2800/3000	1.09	0.3	1.23	0.294

PHOTOMETRICS

Test Number P133802 Platform LD4A13D010TE Element ERM4A13835 4LM1H Lumens 1453 Efficacy 64.3 Lm/W SC 0.8	CANDLEPOWER DISTRIBUTION		CONE OF LIGHT				CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE		
	Downlight		Diagram				Degrees Vertical	Candela	Zone	Lumens	%Fixture	Average Candela Degrees	Average 0° Luminance	
	650	90°	0°	D	FC	L	W	0	1879	0-30	1039	71.5	45	14513
	1300	75°	5.5'	62	4.2	4.2	5	1814	0-40	1334	91.8	55	3296	
		60°	7'	38	5.4	5.4	15	1447	0-60	1445	99.4			
	1950	45°	8'	29	6.2	6.2	25	1032	0-90	1453	100.0	65	1499	
		30°	9'	23	7	7	35	467	90-180	0	0.0			
				10'	19	7.8	7.8	45	105	0-180	1453	100.0	75	602
				12'	13	9.4	9.4	55	19					
								65	7					
							75	2					85	0
							85	0						
							90	0						

PHOTOMETRICS

Test Number P133714 Platform LD4A13D010TE Element ERM4A13835 4LM1LI Lumens 1558 Efficacy 68.9 Lm/W SC 0.7	CANDLEPOWER DISTRIBUTION 		CONE OF LIGHT 		CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE																																																																																					
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Test Number P133834 Platform LD4A18D010TE Element ERM4A18835 4LM1H Lumens 2218 Efficacy 67.6 Lm/W SC 0.8	CANDLEPOWER DISTRIBUTION 		CONE OF LIGHT 		CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE																																																																																					
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Test Number P133746 Platform LD4A18D010TE Element ERM4A18835 4LM1LI Lumens 2507 Efficacy 76.4 Lm/W SC 0.7	CANDLEPOWER DISTRIBUTION 		CONE OF LIGHT 		CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE																																																																																					
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Test Number P133858 Platform LD4A28D010TE Element ERM4A28835 4LM1H Lumens 2599 Efficacy 57.2 Lm/W SC 0.8	CANDLEPOWER DISTRIBUTION 		CONE OF LIGHT 		CANDELA TABLE		ZONAL LUMEN SUMMARY			LUMINANCE																																																																																					
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PHOTOMETRICS

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EM MULTIPLIER DATA

LUMENS	EM MULTIPLIER	
	7	14
900/1000	0.50	0.99
1300/1500	0.29	0.57
1800/2000	0.22	0.44
2800/3000	0.16	0.32

NSO VERTICAL EYELID

VR ARCHITECTURAL SERIES

WALL LUMINAIRE

INCANDESCENT / FLUORESCENT / HPS / MH
9-7/8" x 13-3/4"



PROJECT:

RESIDENCE INN

TYPE:

DD

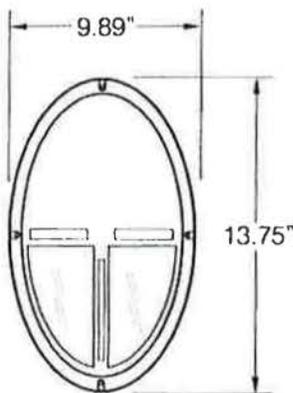
PRODUCT NUMBER:

NSOV S 1 26Q RF UN BK

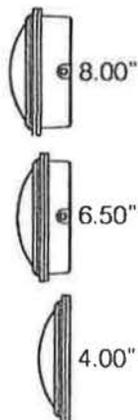
APPROVED BY:

DATE:

DIMENSIONAL DATA



HOUSING DEPTHS:



DESCRIPTION

The NSOV Eye High Abuse fixture is a quality driven luminaire that excels at providing vandal resistant performance with uncomplicated style. The NSOV Eye is composed of a cast aluminum housing and a polycarbonate lens. This delivers an aesthetically attractive fixture while maintaining strength. By design the luminaire dissipates the kinetic energy from a physical impact throughout the fixture to keep its integrity. The housing is available in three depths to accommodate various lamping options. Integral weep holes allow for liquids in contact with the face to drain out from the front of the fixture. The lens is injection molded from a UV stabilized polycarbonate with an integral gasket. This fixture utilizes a J-Box knockout and level bar for a quick and easy install saving labor cost and time. This allows for functionality at an exceptional value.

APPLICATION

- Public Areas
- Corridors
- Walls
- Stairways
- Schools
- Underpasses

SPECIFICATION FEATURES

HOUSING:

Die cast, one piece in low copper, high magnesium marine application aluminum alloy.

LENS:

.125" thick, injection molded lens w/ radial prisms, to provide superior illumination. Lenses are molded from UV stabilized polycarbonate.

BALLAST:

Electronic cold weather is standard for CFL. HPF is standard for HID and MH lamping

REFLECTOR:

.40" thk. white aluminum for high reflectivity.

GASKET:

One piece die cut .188" thick, black EPDM foam rubber with adhesive backing to affix to housing. Extruded and spliced EPDM ribbed rubber gasket for lens.

FASTENERS:

Tamper resistant Torx head screws with center pin reject.

FINISH:

Extremely durable oven baked polyester powdercoat following a 5 stage iron phosphate pre-treatment in Black, Bronze, or White color.

LABEL:  



Notes

Specifications and Dimensions are subject to change without notice. For additional options and dimensional details please consult your New Star Lighting Representative. For specific electronic ballast, specify brand and catalog number. The New Star Promise will repair or replace any high abuse fixture when installed according to New Star's instructions for the life of the original installation if the fixture should fail due to physical abuse.


www.newstarlighting.com





"Home2 Suites is a shining example of the next generation of hotel brands—one with an acutely tuned conscience. Home2 is keenly aware of the impact that our hotels have on our communities and on the environment. It is this heightened commitment that takes our service to the next level."
 - Hilton Worldwide

Island Character

"The architectural design and construction philosophy... is that buildings should be unobtrusive in form and color in order to complement their natural setting. The main concern is that the total community be homogeneous in feeling in a park like setting and free from the discordant architectural shapes and colors which vie for attention and attempt to create greater visual impact than a neighbor's." - Charles Fraser

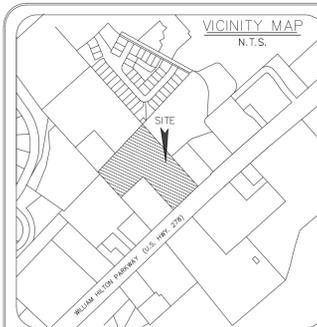


Architectural Context

Town of Hilton Head Island

Concept Approval - Proposed Development





R520 011 000 147A 0000
BROAD CREEK PUBLIC SERVICE DISTRICT
PO BOX 5878
HILTON HEAD ISLAND SC 29938

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	40.00	17288.73	40.00	S47°03'02"W	0°07'57"
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C3	23.00	17288.73	23.00	S46°31'23"W	0°04'34"

R520 011 000 0165 0000
STORAGE TRUST PROPERTIES LP PUBLIC S
PO BOX 25025
GLENDALE CA 91201-5025

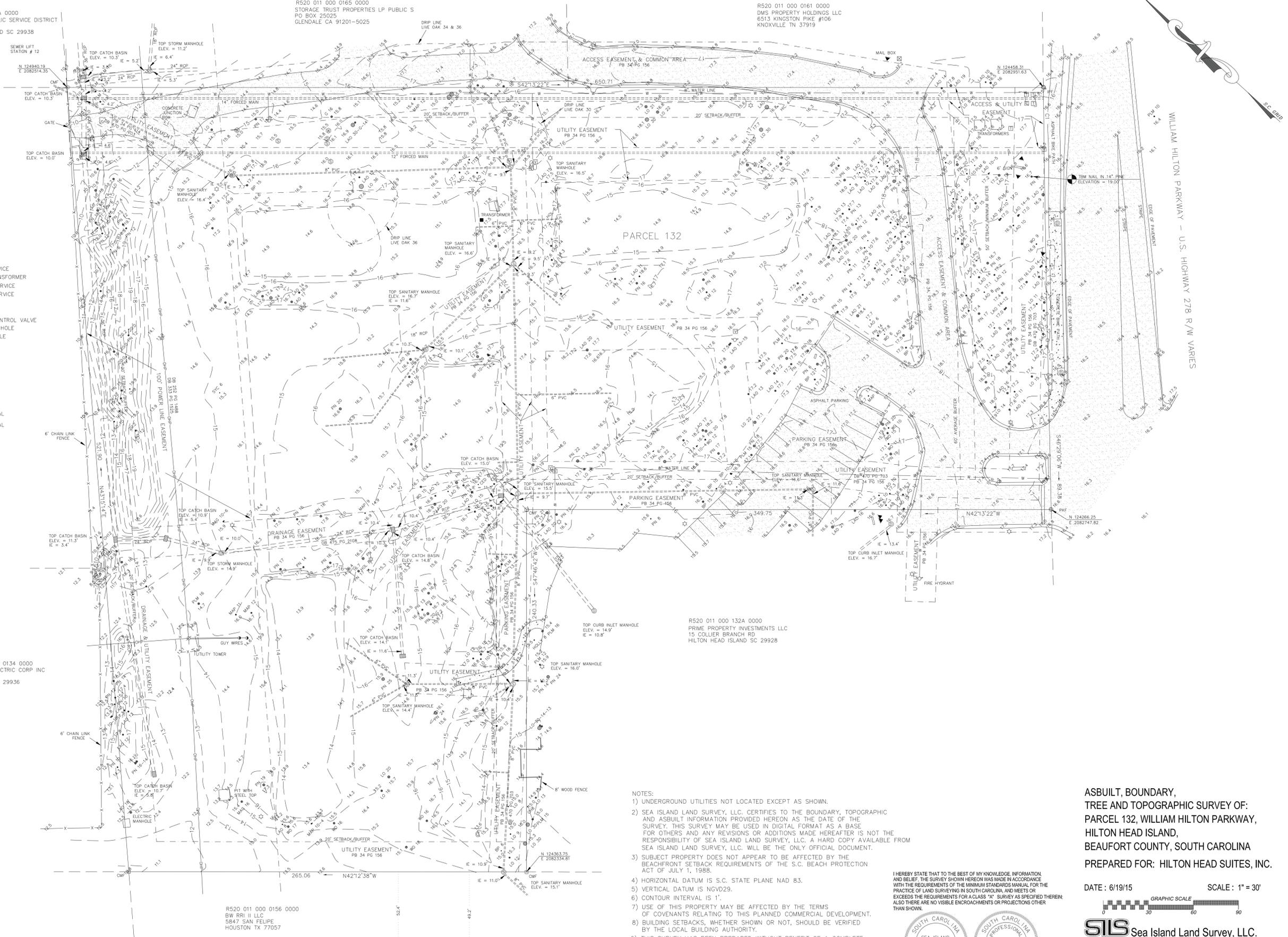
R520 011 000 0161 0000
DMS PROPERTY HOLDINGS LLC
6513 KINGSTON PIKE #106
KNOXVILLE TN 37919

R520 011 000 0123 0000
BROAD CREEK PSD
PO BOX 5878
HILTON HEAD ISLAND SC 29938

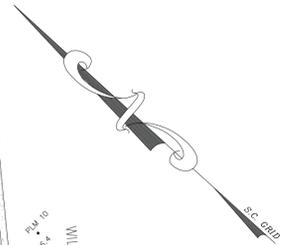
LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

- | | | | |
|------|--------------------------------|---|--------------------------|
| 9.5 | SPOT ELEVATION | ⚡ | ELECTRIC SERVICE |
| CMF | CONTOUR | ⚡ | ELECTRIC TRANSFORMER |
| IPF | 3" CONCRETE MONUMENT FOUND | ☎ | TELEPHONE SERVICE |
| PKF | 1/2" IRON PIN FOUND | ☎ | TELEVISION SERVICE |
| TBM | P.K. NAIL FOUND | ⊠ | WATER METER |
| IE | TEMPORARY BENCH MARK | ⊠ | VALVE BOX |
| FFE | INVERT ELEVATION | ⊠ | IRRIGATION CONTROL VALVE |
| PVC | FINISHED FLOOR ELEVATION | ⊠ | SANITARY MANHOLE |
| CPP | POLYVINYL CHLORIDE | ⊠ | STORM MANHOLE |
| RCP | CORRUGATED PLASTIC PIPE | ⊠ | FIRE HYDRANT |
| HDPE | REINFORCED CONCRETE PIPE | ⊠ | UTILITY POLE |
| LO | HIGH DENSITY POLYETHYLENE PIPE | ⊠ | GUY |
| LAO | LIVE OAK | ⊠ | SIGN |
| MAG | LAUREL OAK | ⊠ | LIGHT POLE |
| RO | MAGNOLIA | ⊠ | CATCH BASIN |
| PN | RED OAK | ⊠ | MAIL BOX |
| FLM | PINE | ⊠ | CLEANOUT |
| WO | PALM | ⊠ | SEWER LATERAL |
| WHO | WATER OAK | ⊠ | WATER LATERAL |
| WAX | WHITE OAK | ⊠ | |
| CD | WAX MYRTLE | ⊠ | |
| TO | CEDAR | ⊠ | |
| TUP | TURKEY OAK | ⊠ | |
| BIR | GUM | ⊠ | |
| HOL | TUPLO | ⊠ | |
| HIC | BIRCH | ⊠ | |
| | HOLLY | ⊠ | |
| | HICKORY | ⊠ | |



WILLIAM HILTON PARKWAY - U.S. HIGHWAY 278 R/W VARIES



REFERENCE PLATS

- 1) A PLAT OF 5.64 ACRES, KNIGHTS INN TRACT, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 1/26/87 RECORDED IN BOOK 34, PAGE 156 ROD. BEAUFORT COUNTY, SC BY: JERRY L. RICHARDSON S.C.R.L.S. # 4784
- 2) ALTA/ACSM LAND TITLE SURVEY OF MOTEL 6 # 1129, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 7/03/07 ROD. BEAUFORT COUNTY, SC BY: MARK R. RENEW S.C.R.L.S. # 25437

PROPERTY AREA = 5.64 AC. 245,732 S.F.
ADDRESS: 830 WILLIAM HILTON PARKWAY
DISTRICT: 520, MAP: 11, PARCEL: 132
THIS PROPERTY LIES IN F.E.M.A. ZONE A7
BASE FLOOD ELEVATION = 14.0'
COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, L.L.C. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, L.L.C. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
 - 5) VERTICAL DATUM IS NGVD29.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED COMMERCIAL DEVELOPMENT.
 - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
 - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



ASBLUIT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF: PARCEL 132, WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA PREPARED FOR: HILTON HEAD SUITES, INC.

DATE: 6/19/15 SCALE: 1" = 30'
GRAPHIC SCALE
SIS Sea Island Land Survey, L.L.C.
4D Mathews Court, Hilton Head Island, SC 29926
Tel (843) 681-3248
Fax (843) 689-3871
E-mail: sis@sprynet.com
FILE No.: 07205/2 DWG No.: 3-1994
COPYRIGHT © BY SEA ISLAND LAND SURVEY, L.L.C. CAD: BA, FL, AC, VRO

TRAFFIC CONTROL & SIGNAGE:

- ① DIRECTION ARROW (TYP.)
- ② HANDICAP PAVEMENT SYMBOLS (TYP.)
- ③ HANDICAP SIGN (TYP. 2 SPACES)
- ④ 24" WIDE STOP BAR (TYP.)
- ⑤ PAVEMENT STRIPING 4" WHITE
- ⑥ 30" STOP SIGN (R1-1)
- ⑦ 30" DO NOT ENTER SIGN (R5-1)
- ⑧ MONUMENT SIGNAGE
- ⑨ HANDICAP ACCESSIBLE CROSSWALK
- ⑩ 24" WHITE THERMOPLASTIC LETTERS
- ⑪ DRIVE THRU SIGN

SITE NOTES:

- ① HANDICAP RAMP
- ② PARKING STOPS (TYP.)
- ③ CURB AND SIDEWALK
- ④ CONCRETE SIDEWALK
- ⑤ DUMPSTER ENCLOSURE
- ⑥ CONCRETE APRON
- ⑦ BOLLARDS
- ⑧ ASPHALT PAVEMENT
- ⑨ EXISTING FIRE HYDRANT
- ⑩ MENU BOARD AND SPEAKER POST
- ⑪ PRE-MENU BOARD
- ⑫ CLEARANCE BAR
- ⑬ SENSOR LOOP
- ⑭ PATIO AND SEATING
- ⑮ DRIVE THROUGH (SEE ARCHITECTURAL PLANS)
- ⑯ DRAINAGE STRUCTURES
- ⑰ TRANSFORMER PAD
- ⑱ LIGHT POLE
- ⑲ BIKE RACKS

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	DELTA
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C3	23.00	17288.73	23.00	S46°31'23"W 0°04'34"

URBAN DESIGN NOTE:

1. DUMPSTER ENCLOSURE TO COMPLEMENT BUILDING ARCHITECTURE IN COLOR AND MATERIALS AND SHOULD INCLUDE LANDSCAPE SCREENING AS WELL.

ADDRESSING NOTES:

- 1. THE STREET ADDRESS WILL NEED TO BE POSTED ON ANY NEW SIGNAGE AND BE VISIBLE FROM THE STREET.
- 2. THE COLOR OF THE ADDRESS NUMBERS MUST CONTRAST WITH THE BACKGROUND MATERIAL.
- 3. ADDRESS MUST BE POSTED WITHIN 20 FEET OF THE PROPERTY LINE AND CLEARLY BE VISIBLE FROM THE STREET.
- 4. NUMBERS ARE TO BE REFLECTIVE.
- 5. NUMBERS ARE TO BE A MINIMUM OF 4 INCHES IN HEIGHT.
- 6. NUMBERS ARE TO BE A MINIMUM OF 1/2 INCHES IN WIDTH.



STAMP: RELEASE FOR CONSTRUCTION DATE: RELEASE FOR PERMIT DATE: Other

TATE DESIGN GROUP
 SITE DESIGN ENGINEERS
 1821 Curtis Drive, North Augusta SC 29841
 803.226.7979 Fax 803.310.6044
 tatedesigngroup@gmail.com

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 This drawing and its reproductions are the property of the Engineers and may not be reproduced, published, or used in any way without the written permission of the Engineers.

NO.	DATE	REVISION
10-	25-	15

HOME 2 SUITES
HILTON WORLDWIDE
HILTON HILTON PARKWAY
HILTON HEAD ISLAND, SC
 PREPARED FOR:
SINGH INVESTMENT GROUP

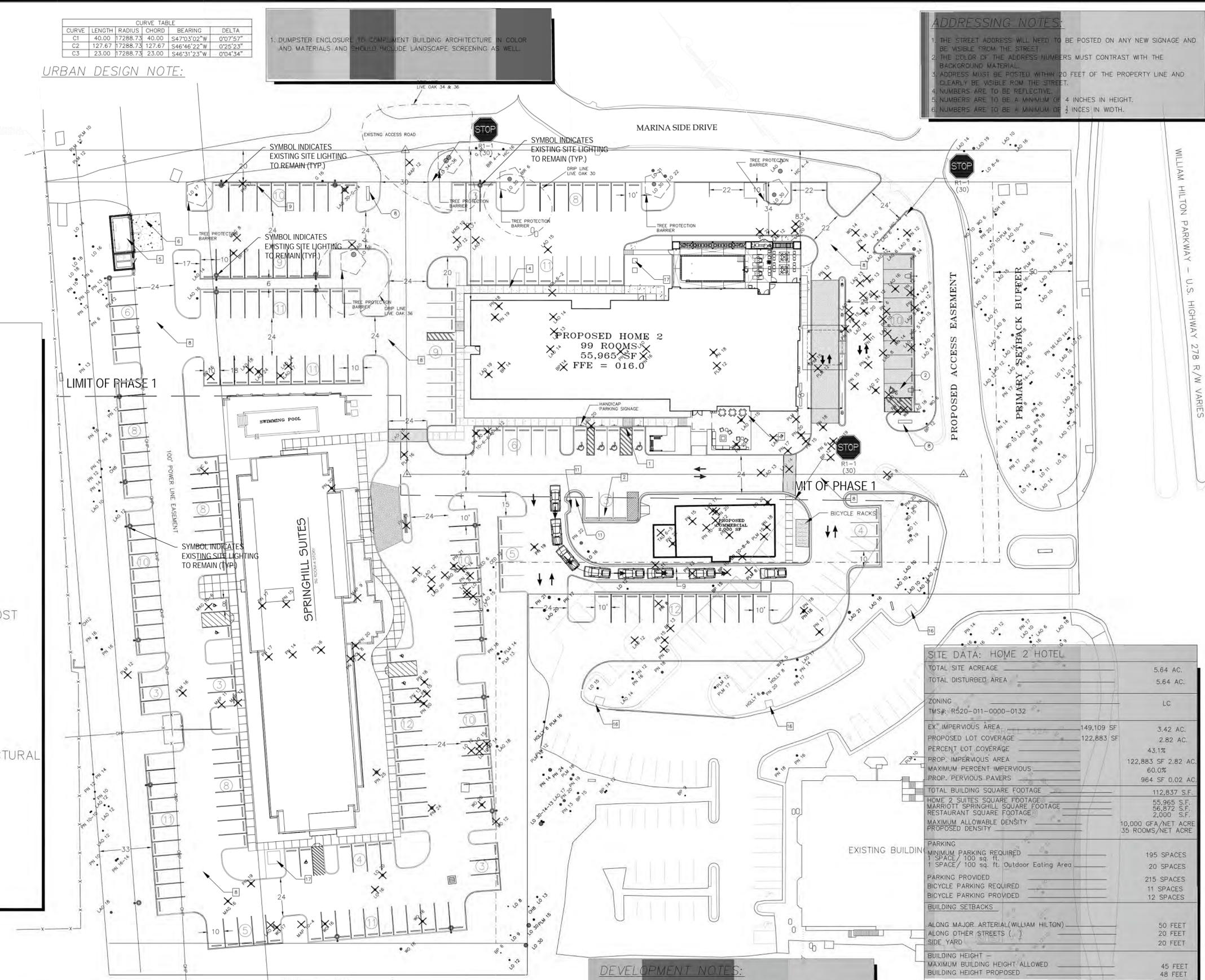
PROJECT NO: 15015.00.HH
 DRAWN BY: MST
 CHECKED BY: MST
 SITE PLAN
 SHEET NO. **C4** OF 15



Know what's below.
 Call before you dig.

FLOOD NOTE:

- 1. THIS SITE IS SHOWN TO BE WITHIN AN AREA OF FLOOD HAZARD AS DEPICTED ON FEMA FIRM PANEL NUMBER 450250 0014 D REVISED SEPTEMBER 29, 1986.
- 2. THE SITE FALLS WITHIN AN A-1 (1%) FLOOD ZONE PER THE OFFICIAL TOWN OF HILTON HEAD FIRM ZONE MAP.

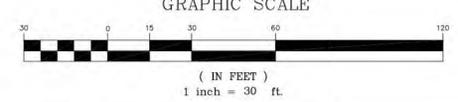


SITE DATA: HOME 2 HOTEL	
TOTAL SITE ACREAGE	5.64 AC.
TOTAL DISTURBED AREA	5.64 AC.
ZONING	LC
TMS#: R520-011-0000-0132	
EX. IMPERVIOUS AREA	149,109 SF 3.42 AC.
PROPOSED LOT COVERAGE	122,883 SF 2.82 AC.
PERCENT LOT COVERAGE	43.1%
PROP. IMPERVIOUS AREA	122,883 SF 2.82 AC.
MAXIMUM PERCENT IMPERVIOUS	60.0%
PROP. PERVIOUS PAVERS	964 SF 0.02 AC.
TOTAL BUILDING SQUARE FOOTAGE	112,837 S.F.
HOME 2 SUITES SQUARE FOOTAGE	55,965 S.F.
MARRIOTT SPRINGHILL SQUARE FOOTAGE	56,872 S.F.
RESTAURANT SQUARE FOOTAGE	2,000 S.F.
MAXIMUM ALLOWABLE DENSITY	10,000 GFA/NET ACRE
PROPOSED DENSITY	35 ROOMS/NET ACRE
PARKING	
MINIMUM PARKING REQUIRED	195 SPACES
1 SPACE/ 100 sq. ft.	
1 SPACE/ 100 sq. ft. Outdoor Eating Area	20 SPACES
PARKING PROVIDED	215 SPACES
BICYCLE PARKING REQUIRED	11 SPACES
BICYCLE PARKING PROVIDED	12 SPACES
BUILDING SETBACKS	
ALONG MAJOR ARTERIAL (WILLIAM HILTON)	50 FEET
ALONG OTHER STREETS ()	20 FEET
SIDE YARD	20 FEET
BUILDING HEIGHT	
MAXIMUM BUILDING HEIGHT ALLOWED	45 FEET
BUILDING HEIGHT PROPOSED	48 FEET

DEVELOPMENT NOTES:

- 1. STANDARD PARKING SPACES SHALL BE 9' X 18'. COMPACT SPACES SHALL BE 9' X 15'.
- 2. WHEEL STOPS ARE REQUIRED AT THE END OF ALL PARKING SPACES WHERE THERE IS NO CURBING.
- 3. PARKING SPACES ARE MARKED WITH WHITE PAINTED LINES, EXCEPT WHERE ACCESSIBILITY REQUIREMENTS REQUIRE THAT SPACES BE DELINEATED IN BLUE.
- 4. DUMPSTER ENCLOSURE TO COMPLEMENT BUILDING ARCHITECTURE IN COLOR AND MATERIALS AND SHALL BE SCREENED WITH LANDSCAPING.

SITE LAYOUT GRAPHIC SCALE

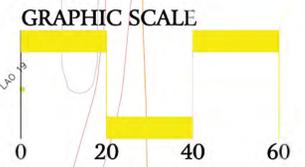
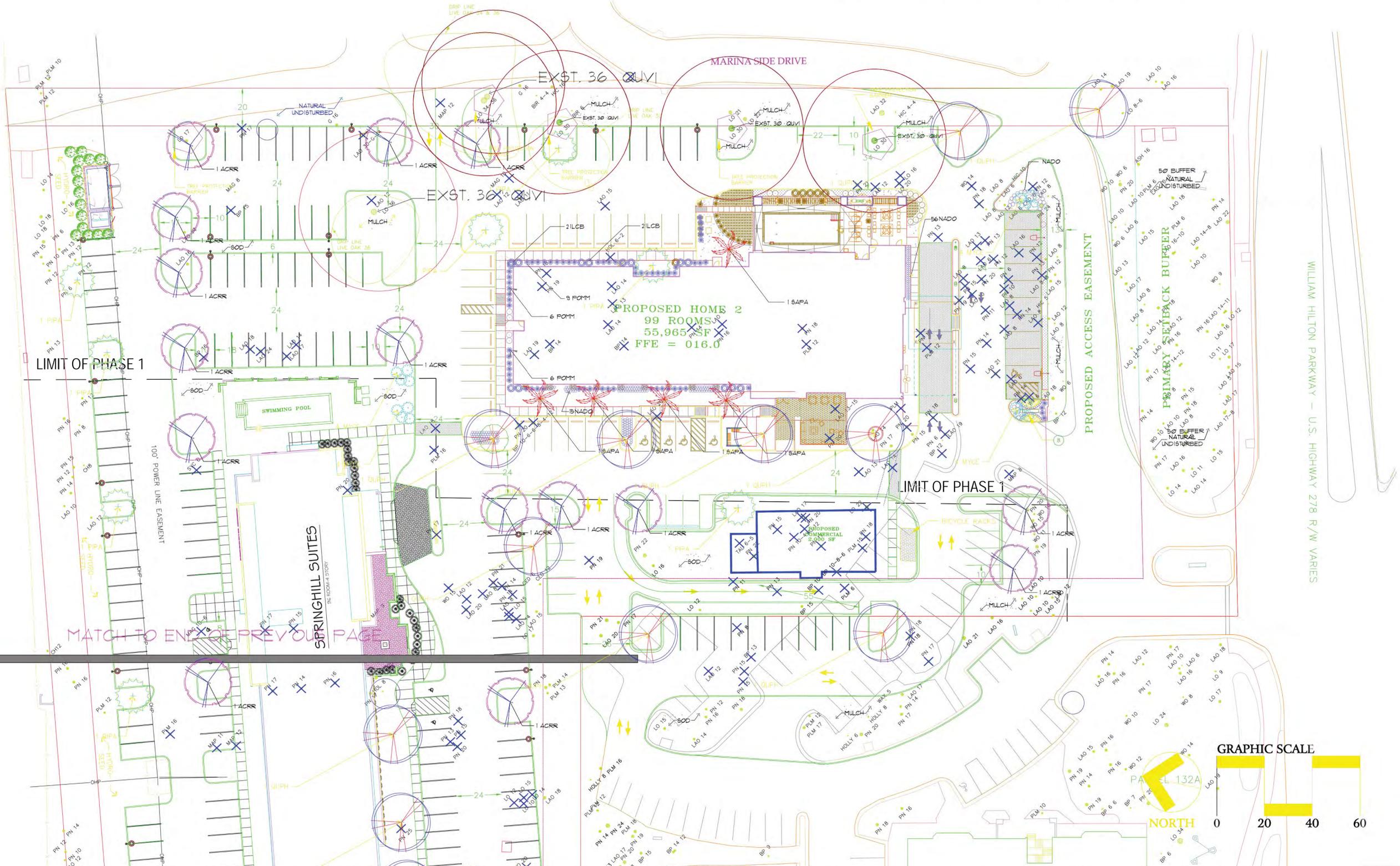


NOT FOR CONSTRUCTION

HOME 2 SITE PLAN

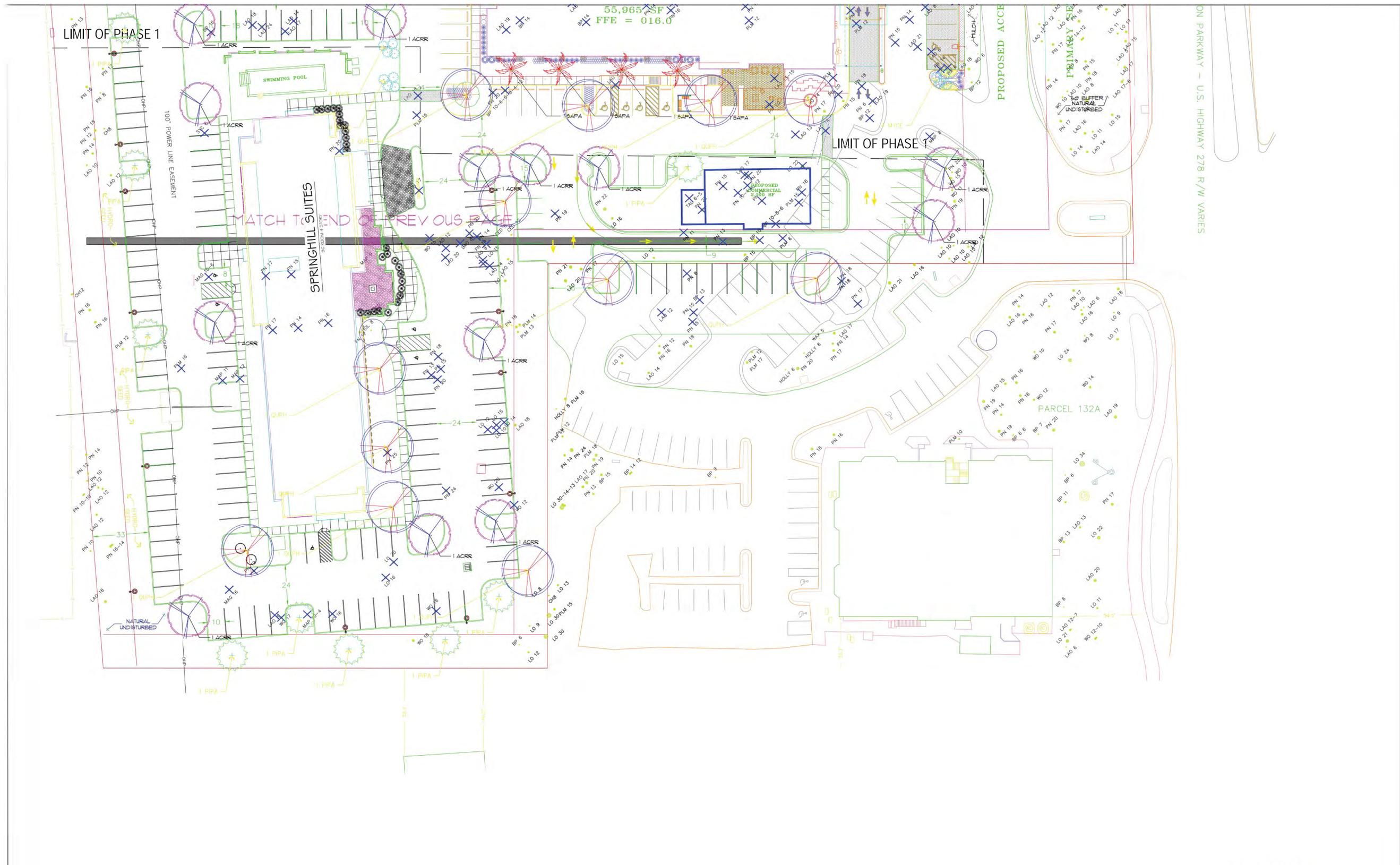
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	40.00	17288.73	40.00	S47°03'02"W	0°07'57"
C2	127.67	17288.73	127.67	S46°46'22"W	0°25'23"
C3	23.00	17288.73	23.00	S46°31'23"W	0°04'34"

NOTE:
 * NO SOD UNDER SPECIMEN TREES *
 1" WATER METERS TO BE INSTALLED FOR IRRIGATION TO BE SUPPLIED BY BROAD CREEK PUBLIC SERVICE DISTRICT.

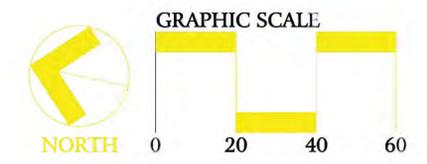


HILTON HOME 2
 Conceptual Plan
 Hilton Head Island.

Sheet Title:
 Plant Plan
 Job Number:



NOTE:
 * NO SOD UNDER SPECIMEN TREES *
 1" WATER METERS TO BE INSTALLED FOR IRRIGATION TO BE SUPPLIED BY HILTON HEAD PUBLIC SERVICE DISTRICT.



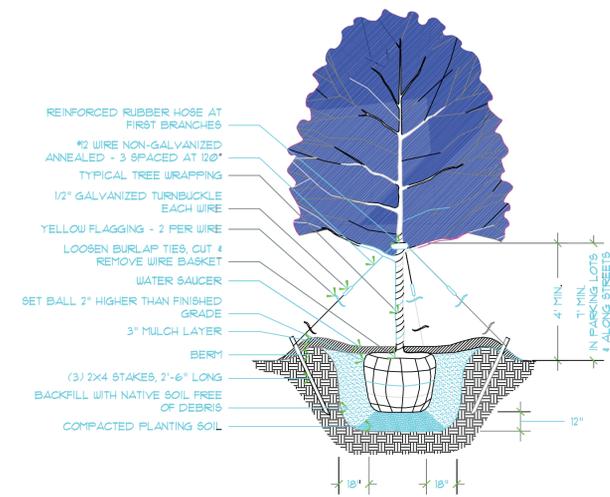
HILTON HOME 2
 Conceptual Plan
 Hilton Head Island, South Carolina

Sheet Title:
 Plant Plan

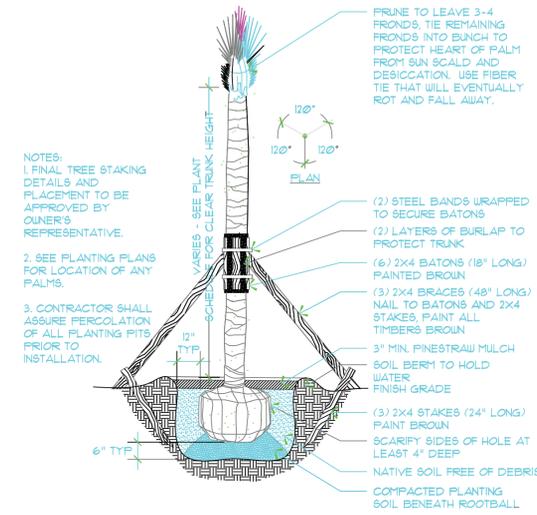
Job Number:

PLANT SCHEDULE

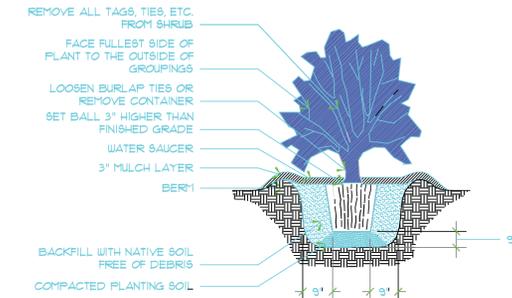
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CALIFER	HEIGHT	SPREAD	ROOTS	NOTES
TREES								
ACFR	25	<i>Acer Rubrum</i> 'Red Sunset'	Red Sunset Red Maple	3.0"	12-14'	6-7'	B&B	
M4SB	31	<i>Magnolia soulangiana</i> 'Brozzoni'	Saucer Magnolia		5-6'	3-4'	B&B	
MYCE	15	<i>Myrica cerifera</i>	Wax Myrtle		3-4'	30-36"	1 gal.	LIMB UP TO TREE FORM
SAPA	5	Sabal Palmetto	Palmetto		12-14'		BR	Booted
PIPA	19	<i>Pinus palustris</i>	Longleaf Pine	2.0"	8'-10'	4'-5'	Cont.	
QUPH	7	<i>Quercus phellos</i>	Willow Oak	3.0"	14'-16'	7'-8'	B&B	
SHRUBS								
ILCB	84	<i>Ilex cornuta</i> 'Burfordii nana'	Dwarf Burford Holly		24-30"	18-24"	3 GAL.	
ILVO	272	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly		24-30"	18-24"	3 GAL.	
LIJA	40	<i>Ligustrum japonicum</i>	Japanese Privet		24-30"	18-24"	3 GAL.	
NADO	149	<i>Nandina domestica</i>	Nandina		24-30"	15-18"	3 GAL.	
POM1	182	<i>Podocarpus macrophyllus</i> naki	Podocarpus		3-4'	15-18"	3 GAL.	
GROUND COVERS, VINES + PERENNIALS								
LIME	2852	<i>Liriodie muscarii</i> 'Evergreen Giant'	Evergreen Giant Lily Turf				PH1	PLANT AT 18" O.C.
HECA	244	<i>Hedra ciliaris</i>	Algerian Ivy					PLANT 1' O.C.
SOD	16782	St. Eremochloa ophiuroides	Centipede Grass					
MULCH + IRRIGATION								
MULCH	23014	SF	3" DEEP LONGLEAF PINE STRAW MULCH					
IRR	SF		100% COVERAGE OF ALL PLANT BED AND SOD AREAS					



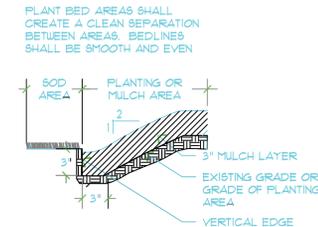
1 Tree Planting
Not to Scale



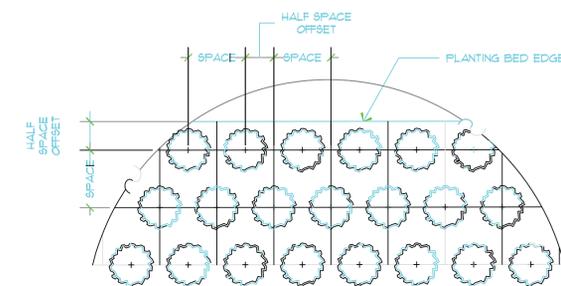
2 Palmetto Tree Planting
Not to Scale



3 Shrub Planting
Not to Scale



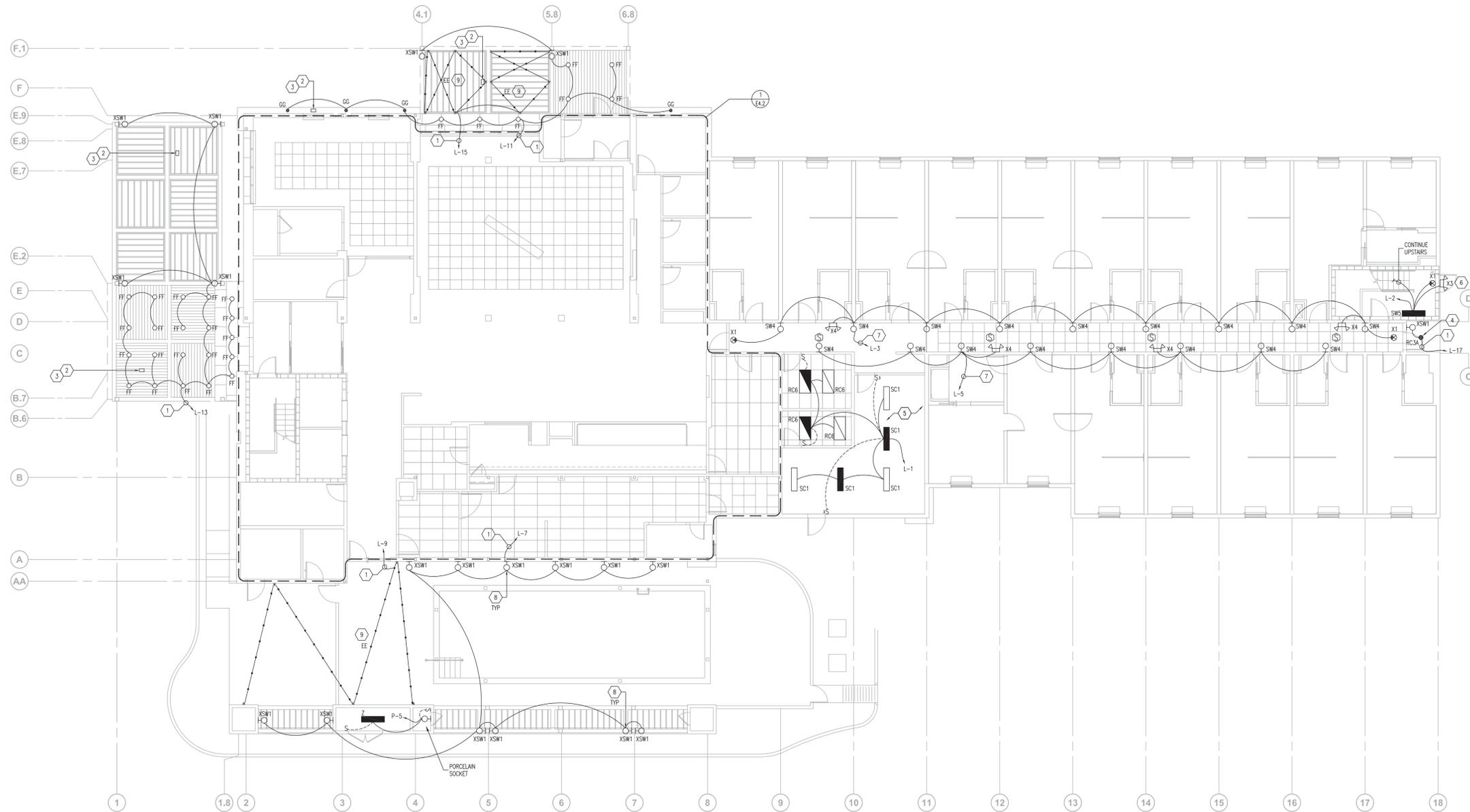
4 Sod / Plant Bed Edge Detail
Not to Scale



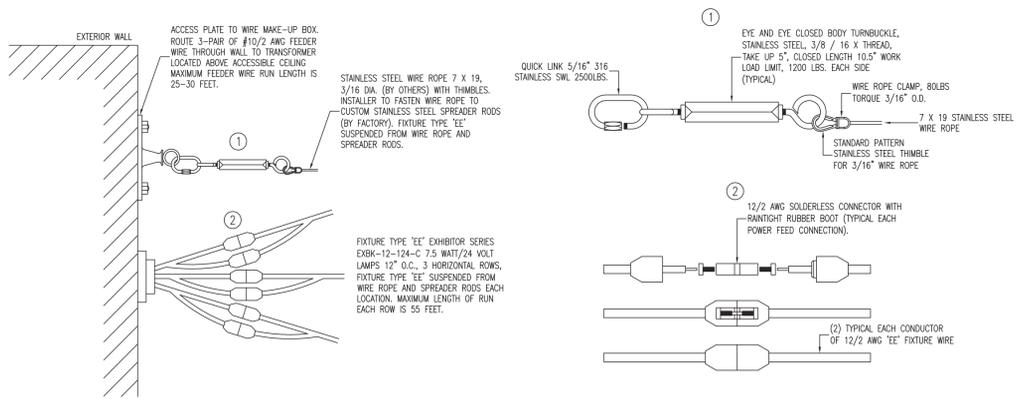
5 Ground Covers, Annuals & Perennials
Not to Scale

PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINE STRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.



1 MAIN FLOOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"



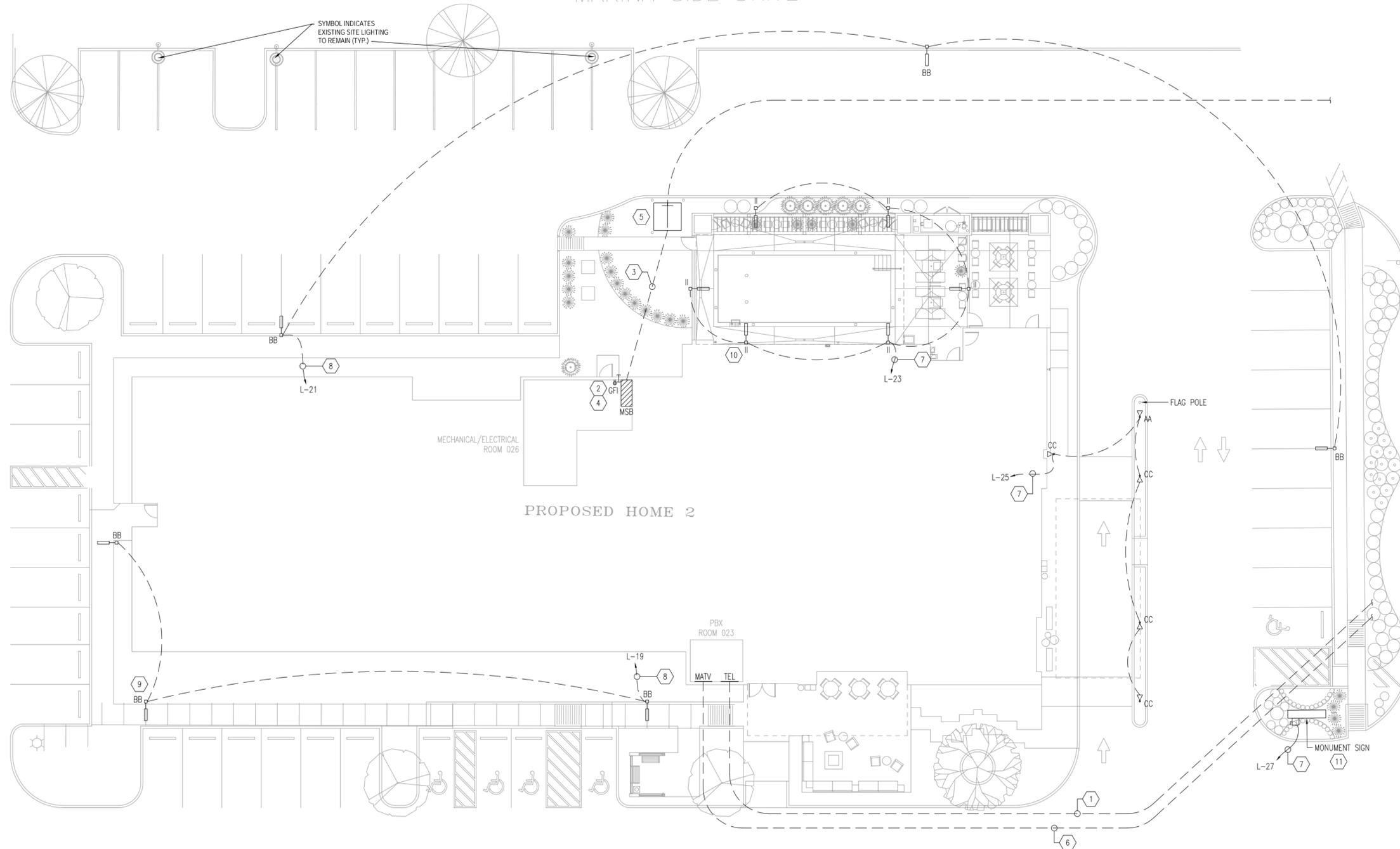
2 FESTOON LIGHTING MOUNTING DETAIL
SCALE: N.T.S.

- KEYED NOTES:
- 1 PROVIDE 2#10, 1#100-3/4" CONDUIT THROUGHOUT CIRCUIT. EXTEND AND CONNECT THROUGH CONTACTOR FOR CONTROL VIA ASTRONOMICAL TIMECLOCK.
 - 2 SURFACE MOUNTED SPEAKER-MOUNT TO SIDE OF WOOD TRELLIS MEMBERS WHERE SHOWN AT OPEN CANOPIES
 - 3 ROUTE EMPTY 3/4" CONDUIT TO DATA ROOM FOR MUSIC/PA FEED.
 - 4 SOLID FILL DENOTES FIXTURE SUPPLIED WITH BATTERY BACKUP BALLAST.
 - 5 COORDINATE LOCATION OF TYPE 'SC1' FIXTURES WITH HVAC DUCTWORK.
 - 6 TYPE 'X3' DECORATIVE EXTERIOR EMERGENCY LIGHT. LOCATE 6" ABOVE DOOR HEADER TO BOTTOM.
 - 7 USE #10 WIRE THROUGHOUT CIRCUIT.
 - 8 PER NEC 410.10(D) GFCI PROTECTION IS REQUIRED ONLY WHERE SPECIFIED IN THE INSTALLATION INSTRUCTIONS FOR THE LUMINAIRE.
 - 9 FESTOON LIGHTING-FIXTURE TYPE 'EE'. SEE DETAIL 2 SHEET E2.1.



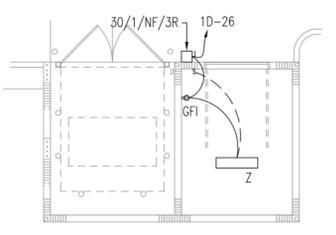
DATE	DESCRIPTION
2.13.13	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL
2.13.13	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL
2.13.13	FOR HILTON REVIEW - 50%.

MARINA SIDE DRIVE



PROPOSED ACCESS EASEMENT

1 SITE ELECTRICAL PLAN
SCALE: 1" = 10'-0"



2 STORAGE & TRASH ENCLOSURE PLAN
SCALE: N.T.S.

KEYED NOTES:

- 1 TWO (2) 4" SCH 40 PVC WITH PULLWIRE FOR TELEPHONE SERVICE. TERMINATE AS SHOWN. BURY 24" BELOW GRADE. VERIFY EXACT LOCATION AND REQUIREMENTS OF TERMINATION POINT WITH LOCAL TELEPHONE COMPANY BEFORE BID. ADDITIONAL COST AFTER BID DATE SHALL BE BORNE BY E.C.
- 2 PROVIDE GFI PROTECTED POWER FOR IRRIGATION SYSTEM IN ELECTRICAL ROOM. CONNECT TO CIRCUIT 1D-24. PROVIDE ONE (1) 1" PVC CONDUIT STUBBED FROM ELECTRICAL ROOM UNDER SLAB AND CAPPED ABOVE GROUND. VERIFY LOCATIONS BEFORE ROUGH-IN. SEE ALSO SHEET E1.1.
- 3 SEE ELECTRICAL RISER DIAGRAM SHEET E5.1 FOR SERVICE SECONDARY REQUIREMENTS.
- 4 ELECTRICAL CONTRACTOR SHALL PROVIDE 3/4" PVC CONDUIT FROM IRRIGATION CONTROLLER TO RAIN SENSOR. LOCATION TO BE FIELD VERIFIED.
- 5 NEW PAD MOUNTED TRANSFORMER.
- 6 TWO (2) 4" SCH 40 PVC WITH PULLWIRE FOR FUTURE FIBER AND CATV SERVICE. VERIFY EXACT LOCATION AND REQUIREMENTS OF TERMINATION POINT WITH LOCAL CATV COMPANY BEFORE BID. ADDITIONAL COST AFTER BID DATE SHALL BE BORNE BY E.C.
- 7 PROVIDE 2#10, 1#10G-3/4" THROUGHOUT CIRCUIT. EXTEND AND CONNECT THROUGH CONTACTOR FOR CONTROL VIA ASTRONOMICAL TIME CLOCK.
- 8 PROVIDE 2#8, 1#10G-3/4" THROUGHOUT CIRCUIT. EXTEND AND CONNECT THROUGH CONTACTOR FOR CONTROL VIA ASTRONOMICAL TIME CLOCK.
- 9 SEE EXTENDED POLE BASE DETAIL 7 SHEET E6.1 (TYPICAL 6 PLACES).
- 10 SEE FLUSH POLE BASE DETAIL 6 SHEET E6.1 (TYPICAL 6 PLACES).
- 11 PROVIDE POWER TO MONUMENT SIGNS. USE CIRCUIT L-40. FIELD VERIFY SCOPE OF WORK. USE # 10 WIRE THROUGHOUT CIRCUIT. EXTEND AND CONNECT THROUGH CONTACTOR FOR CONTROL VIA ASTRONOMICAL TIME CLOCK.

NOTE: CONTRACTOR TO COORDINATE DEPTH AND PATH OF UNDERGROUND CONDUITS WITH STRUCTURAL PIERS AND GRADE BEAMS.



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FOR HILTON REVIEW
PRELIMINARY DESIGN

DATE	DESCRIPTION
01.15.18	FOR HILTON REVIEW - PRELIMINARY FINAL SUBMITTAL
02.13.18	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL
03.16.18	FOR HILTON REVIEW - 95%

DRAWN BY: KJW
CHK'D BY: EUG
SEAL:

PROJECT NAME AND ADDRESS

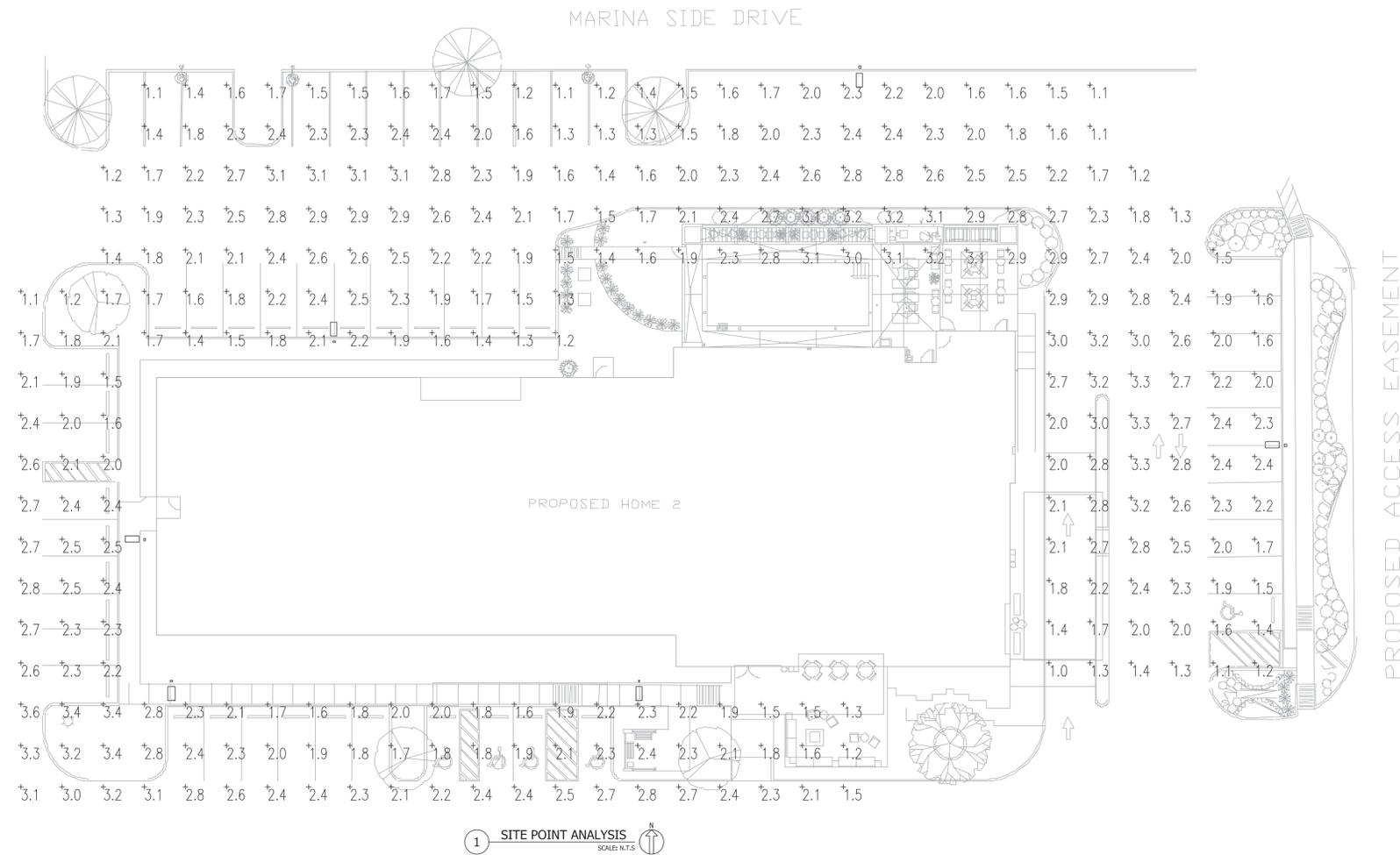
HOME2 SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

SHEET TITLE

SITE ELECTRICAL PLAN

PROJECT NO: 15033

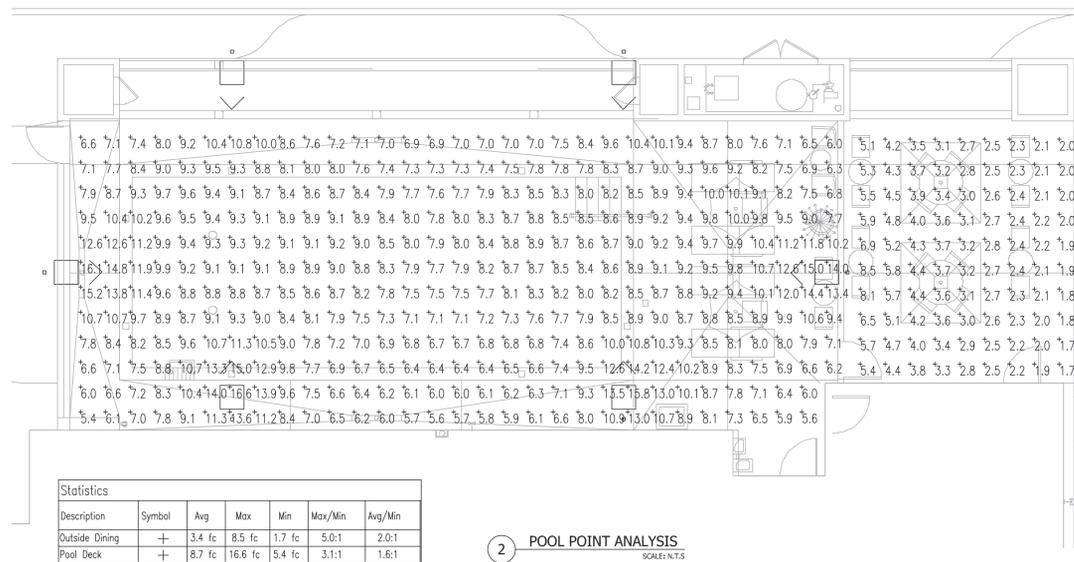
E0.1



1 SITE POINT ANALYSIS
SCALE: N.T.S.

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
	BB	6	Lithonia Lighting	CSX2 LED 120C 700 40K TFTM HS	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDES OPERATED AT 700mA AND PRECISION MOLDED ACRYLIC FORWARD THROW LENS WITH HOUSE SIDE SHIELD	LED	1	CSX2_LED_12 OC_700_40K_TFTM_HS.iies	ABSOLUTE	0.91	268

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	2.2 fc	3.6 fc	1.0 fc	3.6:1	2.2:1



2 POOL POINT ANALYSIS
SCALE: N.T.S.



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FOR HILTON REVIEW
PRELIMINARY DESIGN

ISSUES/REVISIONS	
DATE	DESCRIPTION
2.13.15	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL
2.13.15	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL
2.13.15	FOR HILTON REVIEW - 50% PLAN

DRAWN BY: KJW
CHECKED BY: EIG
SEAL:

PROJECT NAME AND ADDRESS

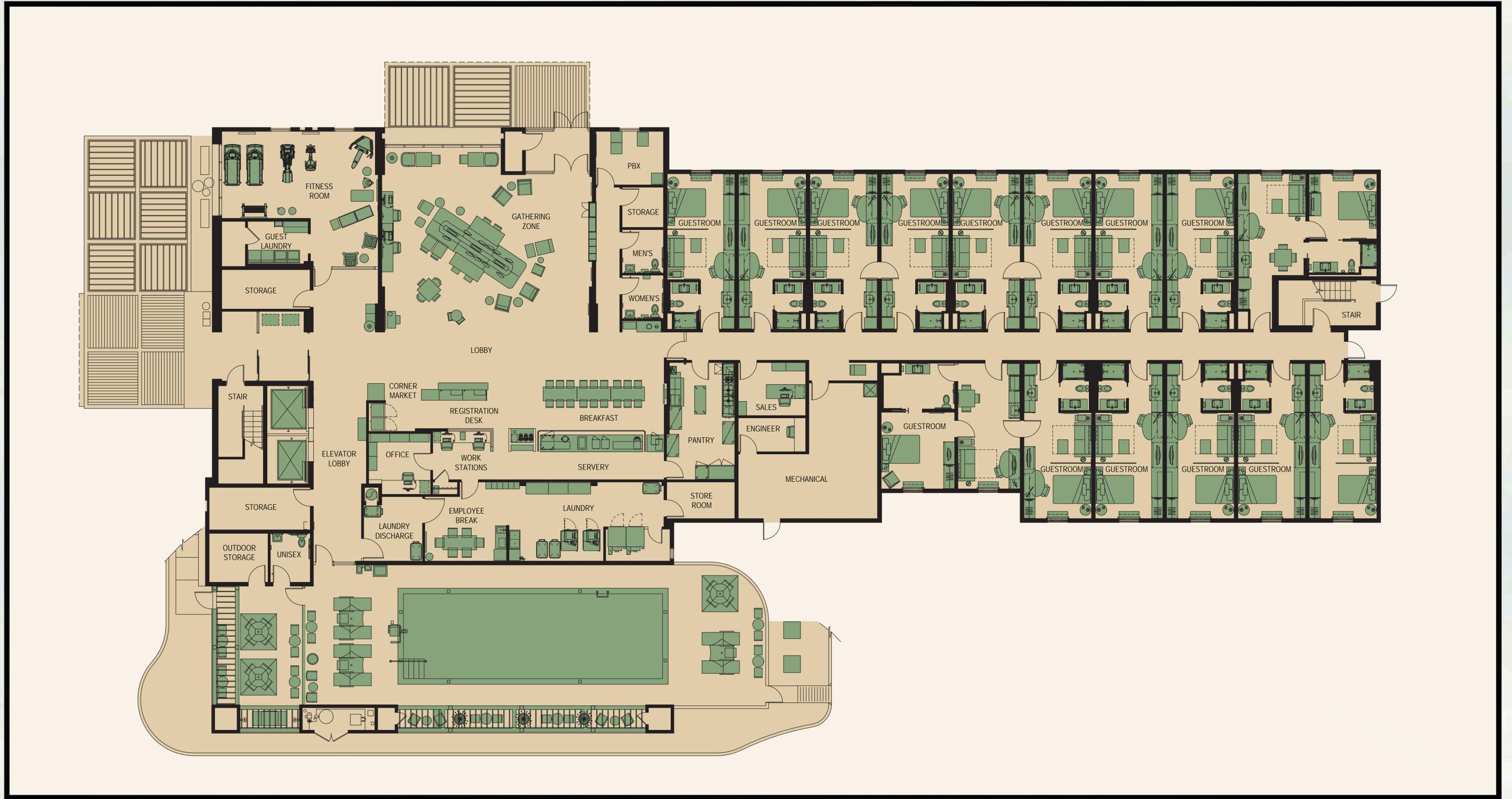
HOME 2 SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

SHEET TITLE

POINT ANALYSIS PLAN

PROJECT NO: 15033

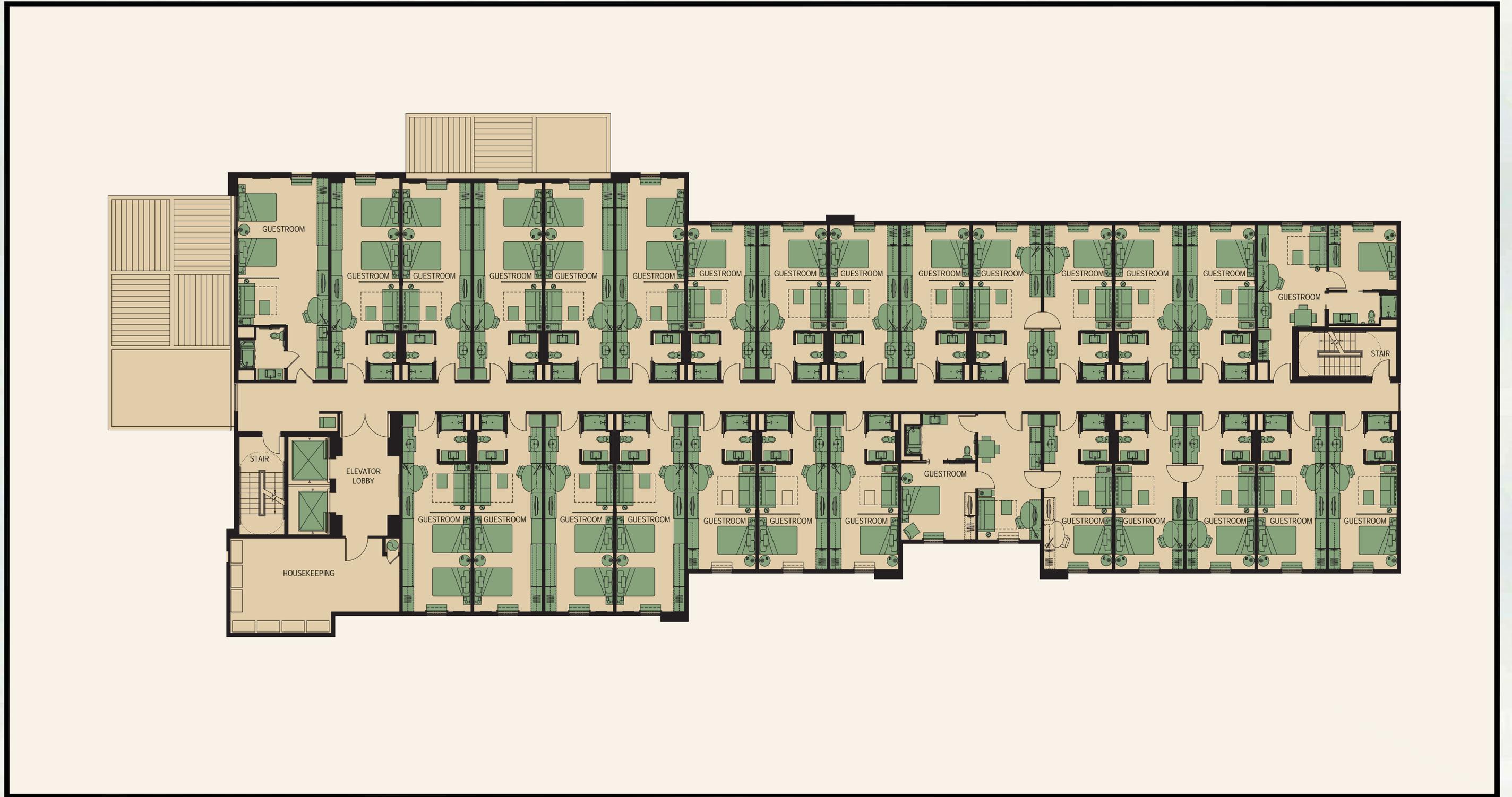
E0.2



Proposed Main Level Floor Plan - 1/8"=1'-0"

Town of Hilton Head Island

Concept Approval - Proposed Development



Proposed Typical Floor Plan - 1/8"=1'-0"

Town of Hilton Head Island

Concept Approval - Proposed Development

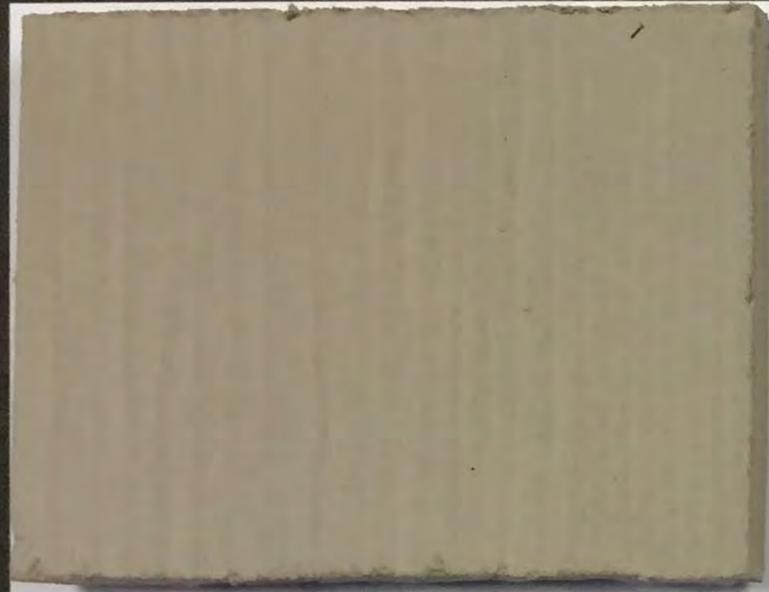
"Development shall exhibit a harmonious relationship with the natural environment by blending the principles of sensitive architectural design and an emphasis on landscaping that preserves and enhances the native vegetation."
- Hilton Head Island Character Vision Statement



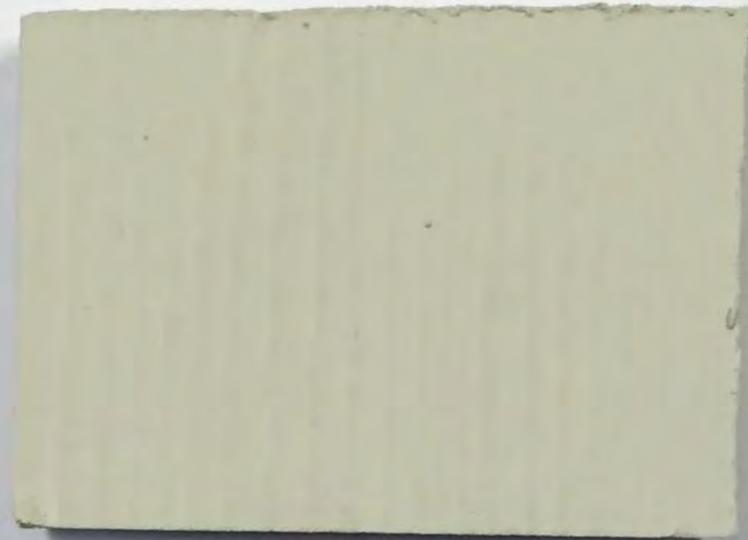
Proposed Exterior Design

Town of Hilton Head Island

Concept Approval - Proposed Development



A Siding
Tony Taupe
SW 7038



D Hardy Plank Trim
Accessible Beige
SW 7036



C Metal Roof
Berridge
Dark Bronze



F Accent Band
Smokehouse
SW 7040



E E.I.F.S. Accent
Accessible Beige
SW 7036



I Trellis
Stained Cedar
Varathane Kona

Proposed Exterior Materials

Town of Hilton Head Island

Concept Approval - Proposed Development

(B) Tower Accent and Awning
(G) Underseas SW 6214

(B) Alternate Tower
(H) Accent and Awning
Kiwi SW 6737

(H) Tower
Benjamin Moore
Midsummer Night 2234-20

(L) Clear Glass
w/ White S.F.
Frame

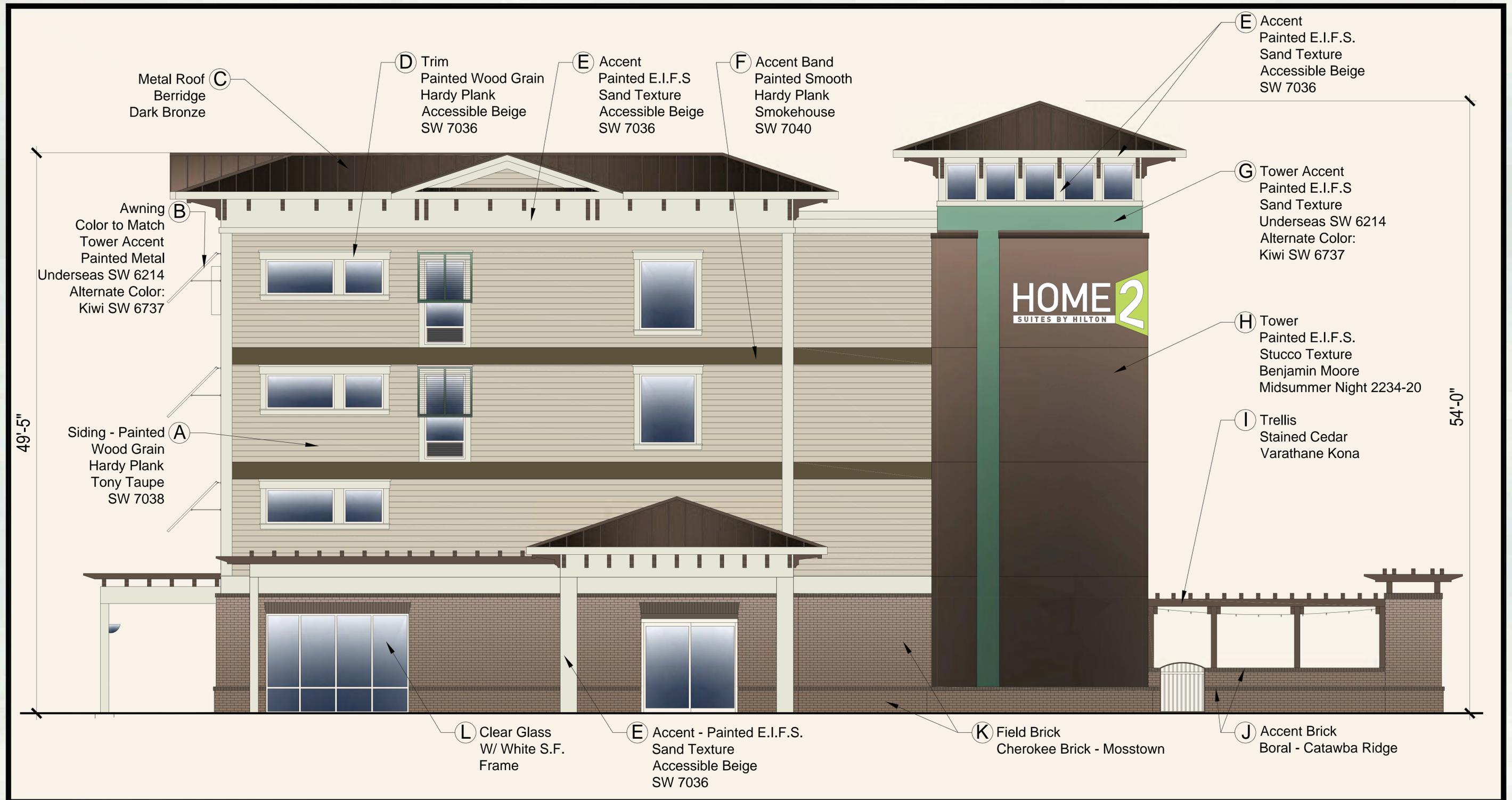
(J) Accent Brick
Boral - Catawba Ridge

(K) Field Brick
Cherokee Brick - Mosstown

Proposed Exterior Materials

Town of Hilton Head Island

Concept Approval - Proposed Development

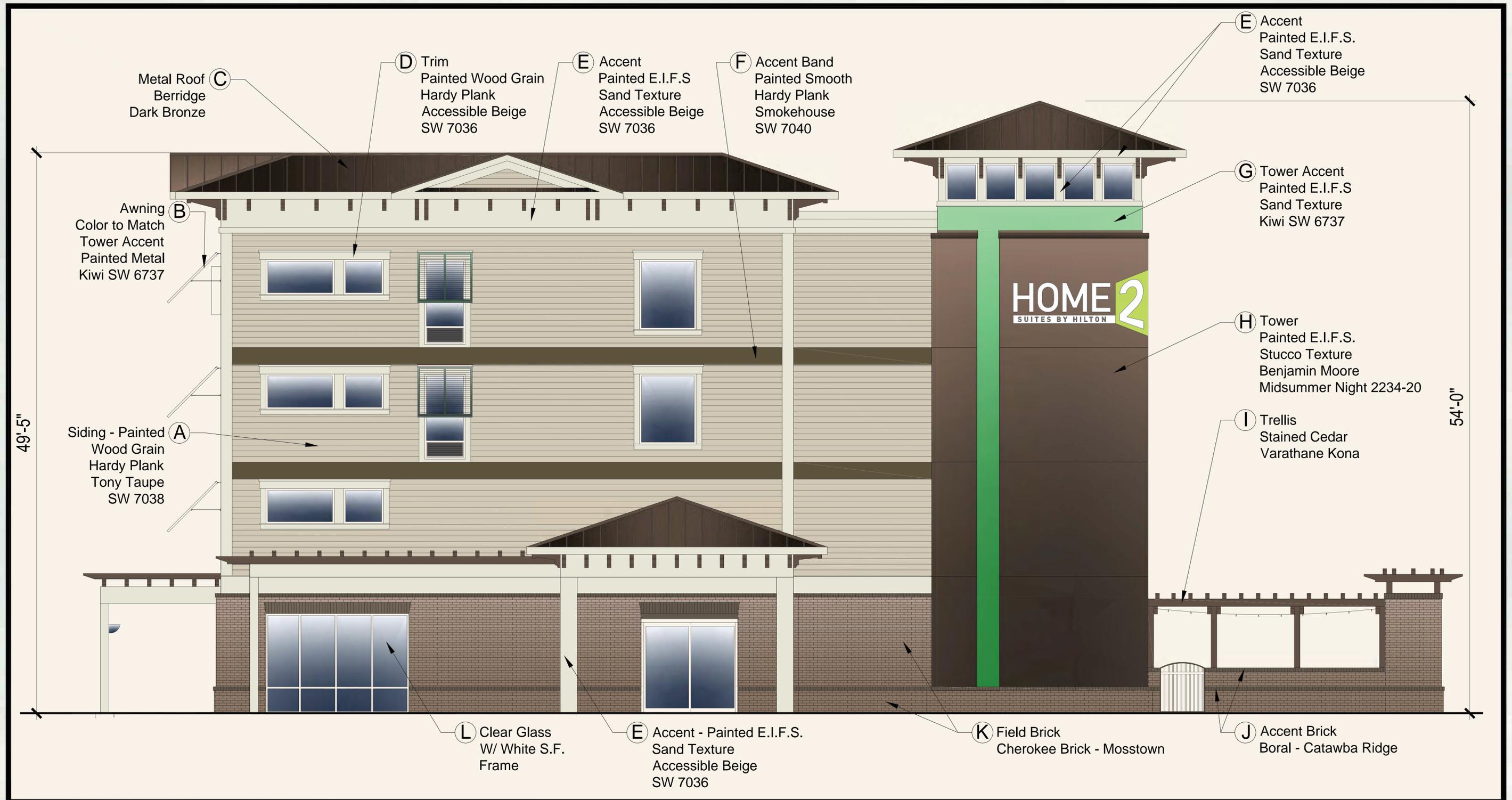


Proposed Front Elevation - 1/4" = 1'-0"

Town of Hilton Head Island

Concept Approval - Proposed Development





Proposed Front Elevation

Town of Hilton Head Island

Concept Approval - Proposed Development





Proposed Side Elevations - 1/8" = 1'-0"

Town of Hilton Head Island

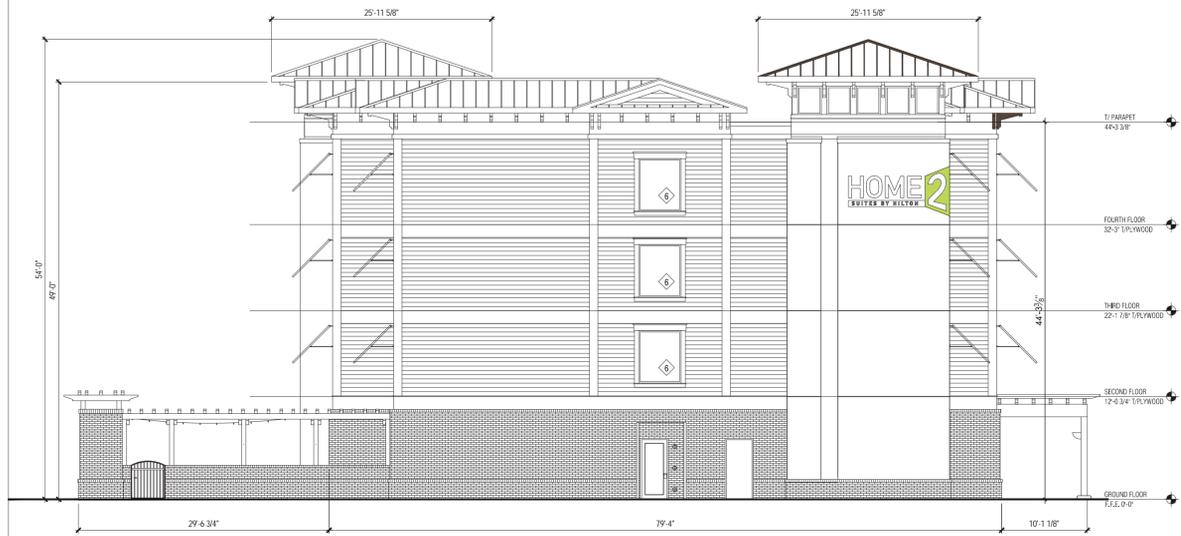
Concept Approval - Proposed Development



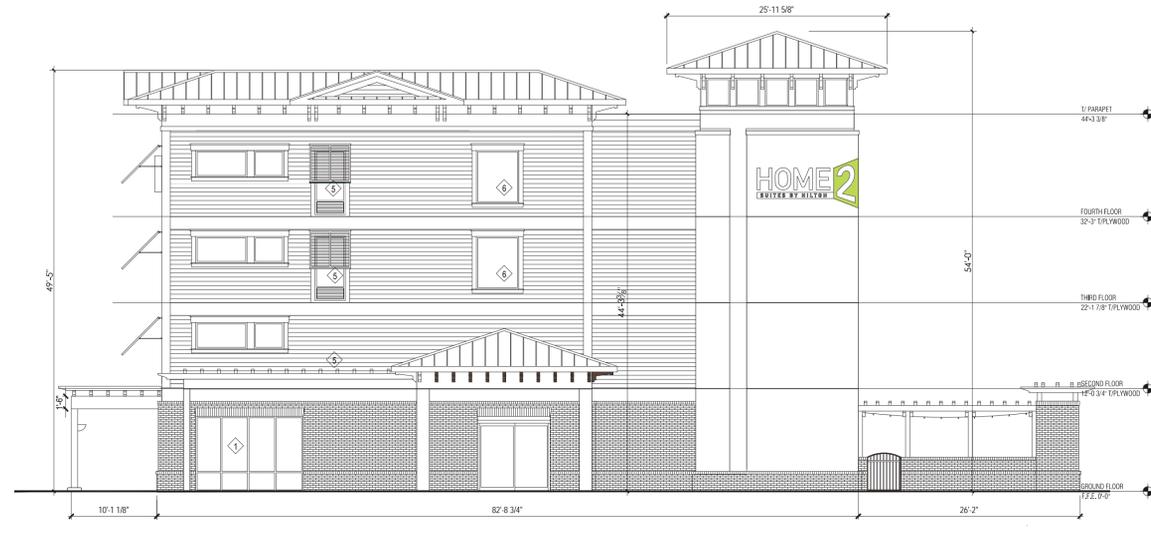
Proposed Rear Elevation - 1/8"=1'-0"

Town of Hilton Head Island

Concept Approval - Proposed Development



1K REAR ELEVATION
A5.01 SCALE: NOT TO SCALE Scheme A



8K FRONT ELEVATION
A5.01 SCALE: 1/8" = 1'-0"



1F RIGHT SIDE ELEVATION
A5.01 SCALE: NOT TO SCALE Scheme A



1A LEFT SIDE ELEVATION
A5.01 SCALE: 1/8" = 1'-0"



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FOR HILTON REVIEW
DESIGN DEVELOPMENT

ISSUES/REVISIONS

DATE	DESCRIPTION
6.13.15	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL
8.31.15	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL

DRAWN BY: PLB
CHKD BY: TEM
SEAL:

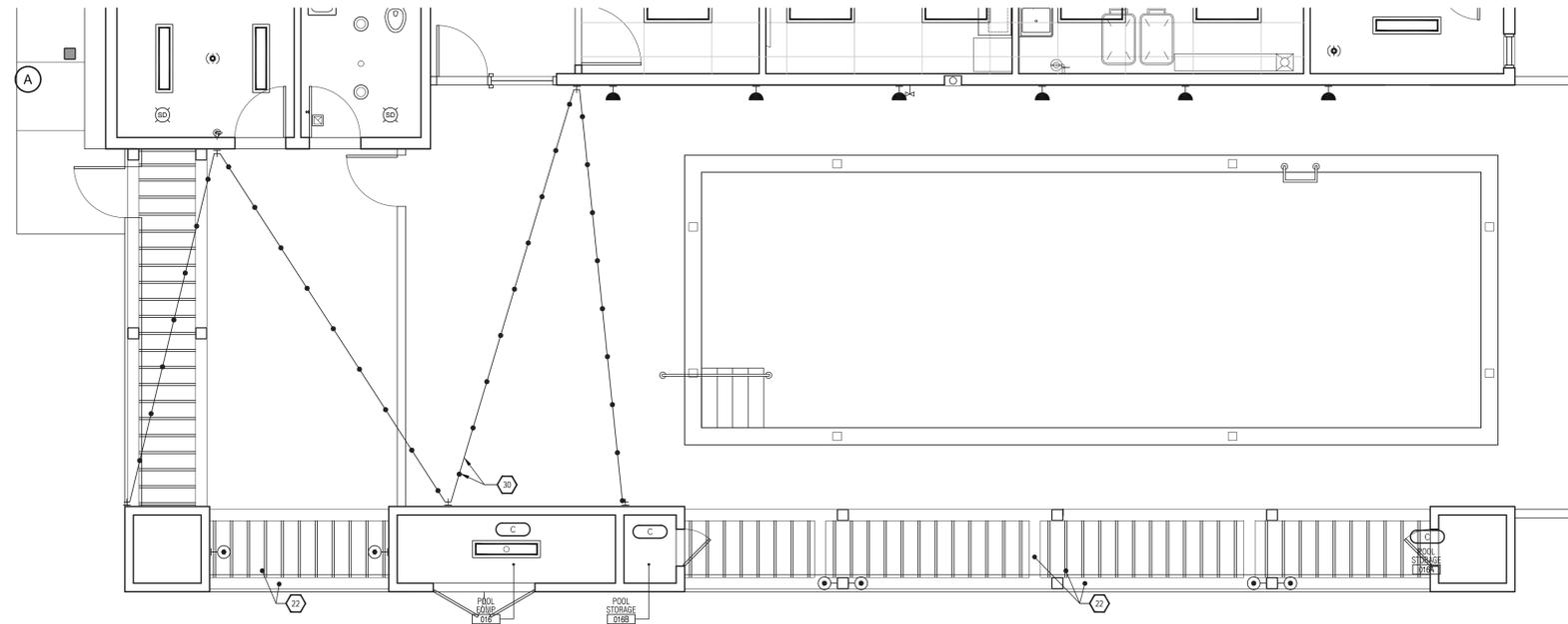
PROJECT NAME AND ADDRESS

HOME 2 SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
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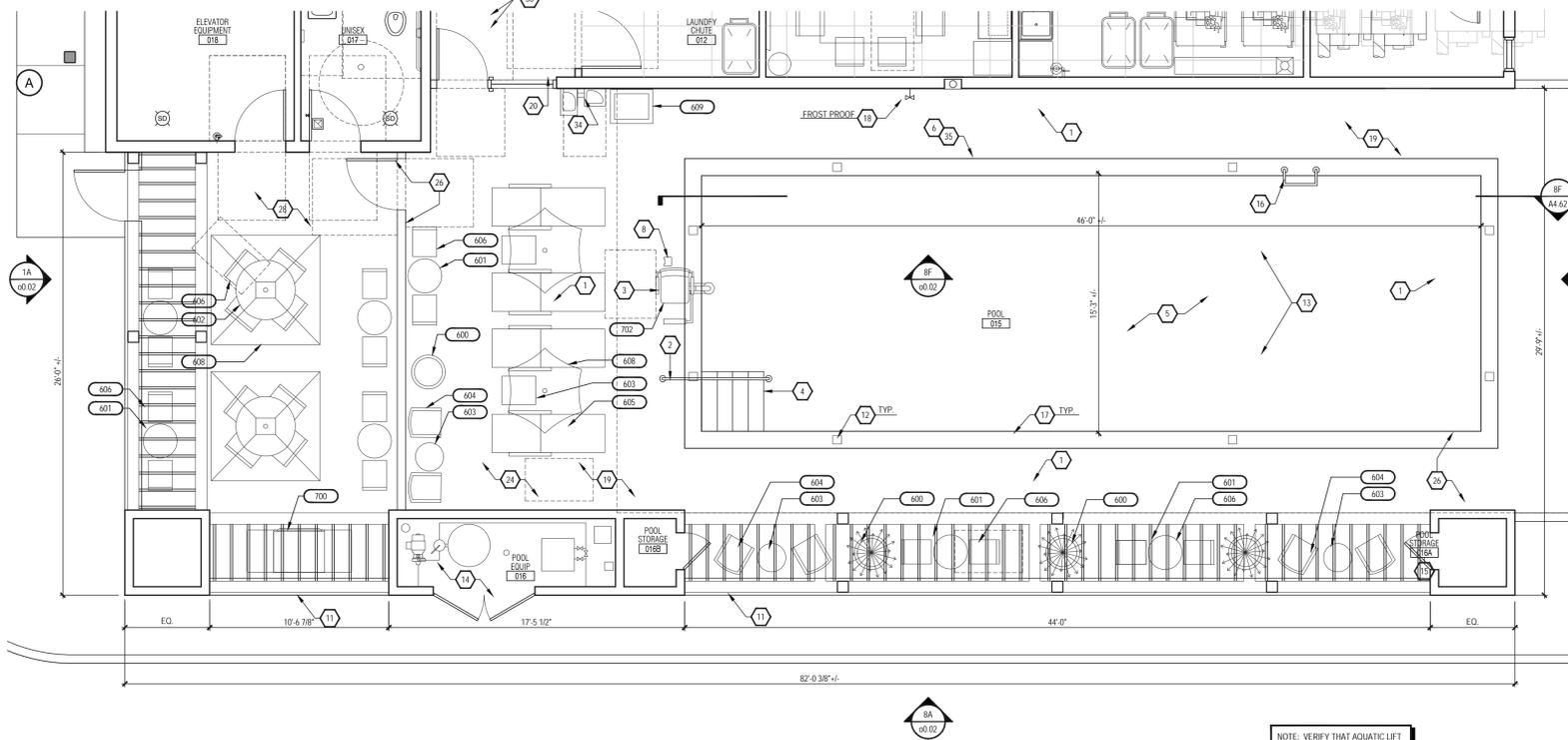
SHEET TITLE
EXTERIOR
ELEVATIONS

PROJECT NO: 15044

A5.01



1H ENLARGED CEILING AND POWER PLAN - EXTERIOR POOL
SCALE: 1/4" = 1'-0"



1A ENLARGED CONSTRUCTION AND FURNITURE PLAN - EXTERIOR POOL
SCALE: 1/4" = 1'-0"

KEY NOTES:

- 1 FLUSH MOUNTED SPEAKER GATED FOR DAMP ENVIRONMENTS
- 2 STAINLESS STEEL HANDRAIL TO COMPLY WITH ACCESSIBILITY REQUIREMENTS
- 3 PROVIDE A FRESH POOL LIFT TO PROVIDE AN ACCESSIBLE MEANS OF ENTRY TO THE POOL. PROVIDE LIFT LOCATION TO COMPLY WITH ACCESSIBILITY STANDARDS. REFER TO HADD FOR FURTHER INFO.
- 4 SEAR ENTRY TO POOL TO COMPLY WITH ACCESSIBILITY REQUIREMENTS
- 5 SWIMMING POOL
- 6 JOINTS WHERE THE DECK MEET THE POOL MUST BE WATER TIGHT
- 7 STAINLESS STEEL HAND DUCT
- 8 FLUSH BODY WYBRANT
- 9 RECESSED CLG. LIGHT FOR WET LOCATIONS W/ SHATTER PROOF LENS
- 10 EXPOSED WOOD CEILING STRUCTURE OVER POOL, GULNAM BEAMS WITH 5/8" GLOSS CLEAR COAT WITH TAG COATING
- 11 PARTIAL HEIGHT WALL W/ PRECAST COPING - REFER TO ELOPS
- 12 POOL DEPTH MARKINGS AS REQUIRED BY CODE. VERIFY FLUSH WITH POOL POOL COPING. DECK LOCATION ALSO INDICATES CORRESPONDING POOL WALL. THE LOCATION, DECK AND WALL TILES TO BE ALIGNED. POOL CONTRACTOR TO VERIFY POOL DEPTHS PRIOR TO INSTALLING TILES.
- 13 POOL BOTTOM DRAIN
- 14 POOL EQUIPMENT
- 15 POOL CHEMICAL CLOSET - EVERYTHING IN THIS ROOM TO BE RATED FOR CORROSION ENVIRONMENT'S (DOOR, DRAWER AND HARDWARE, PIPES, PIPE SUPPORTS, SHELVES, LIGHTS, ETC.)
- 16 LADDER
- 17 BRICK COPING AT PERIMETER OF POOL
- 18 TAMPER RESISTANT, RECESSED HOSE BIBB MOUNT TOP AT -12" A.F.F.
- 19 SLOPE POOL DECK TOWARD AREA DRAIN EXTEND WATERPROOFING OVER STRUCTURAL SLAB AND INTO LOWER BODY OF DRAIN. SLOPE OF POOL DECK NOT TO EXCEED 1/8" PER FOOT RECOMMENDED IN EITHER DIRECTION PER ACCESSIBILITY REQUIREMENTS
- 20 SHOWING COUNTERTOPS, LEADING EDGES OF BATH ACCESSIBLE AND NON-ACCESSIBLE FOUNTAIN SHOULD BE NO HIGHER THAN 2" PER ACCESSIBILITY REQUIREMENTS
- 21 SURFACE MOUNTED DOWNLIGHT - RUN EXPOSED POWER SUPPLY CONDUIT UP TIGHT AGAINST CORNER OF DECKING AND BEAM TO MINIMIZE SIGHT LINES
- 22 PRIME AND PAINTED TUBE STEEL CANOPY WITH STAINED WOOD TRILLES RIVEL SYSTEM TO BE LIFTED BY SCOWLES
- 23 UNDERMOUNT LIGHTING - WASTAGE PER LOCAL CODE
- 24 DECKS MUST BE INSTALLED IN RELIEF JOINTS FOR THERMAL MOVEMENT & POTENTIAL SETTLING
- 25 PROVIDE CONT. VAPOR BARRIER BEHIND POOL CEILING FINISHES
- 26 POOL PRIMER REFERENCE AS REQUIRED BY CODE W/ 3" GATE
- 27 EDGE OF POOL BELOW DRAINAGE IN FOR REFERENCE
- 28 SLOPE CONCRETE DECK AWAY FROM BUILDING. SLOPE OF POOL DECK NOT TO EXCEED 1/8" (AS RECOMMENDED) IN EITHER DIRECTION PER ACCESSIBILITY REQUIREMENTS
- 29 WALL RETURN GRILLE - REFER TO ELEVATIONS
- 30 EXTERIOR LIGHT STRING - REFER TO ELEVATIONS FOR BLOCKING REQUIREMENTS FOR LIGHTING SYSTEM MOUNTING HARDWARE - REFER TO FIXTURE LEGEND
- 31 GYP. BD. VEE REVEAL
- 32 ROOF MOUNTED EXHAUST FAN GRILLE
- 33 EXPANSION JOINT IN COPING 1" MAX SEPARATION
- 34 HOUSE TELEPHONE LOCATION
- 35 JOINTS WHERE THE POOL OR WALK POOL COPING MEETS THE DECK MUST BE PROTECTED FROM THE RELATIVE PRESSURE OF ADJOINING DECK MOVEMENT
- 36 EXTERIOR POOL REQUIRES INTERIOR AND EXTERIOR CARD READER ACCESS FOR BUILDING SECURITY AND POOL SAFETY

FURNISHINGS LEGEND:

- | | |
|-----|----------------|
| 406 | PLANTER |
| 407 | 2 TOP TABLE |
| 408 | DINING TABLE |
| 409 | SIDE TABLE |
| 408 | BAR CHAIR |
| 405 | CHAISE LOUNGE |
| 406 | DINING CHAIR |
| 407 | BARBECUE CHAIR |
| 408 | UMBRELLA |
| 409 | TOWEL RACK/BIN |
| 700 | GAS GRILL |
| 701 | TRIEE GRATE |
| 702 | AQUATIC LIFT |

SYMBOL / FIXTURE KEY

DESIGNATED REDD CLEAR FLOOR SPACE PER ACCESSIBILITY REQS. REFER TO DETAIL ON SHEET AS NOW REFERENCE TO FLOOR APPROACH CLEARANCES. VERIFY REDD CLEAR FLOOR SPACE FOR ALL ACCESSIBLE EQUIPMENT, FURNITURE & AREAS AS DEFINED BY ACCESSIBILITY AS INDICATED WITH A LETTER KEYNOTE. REFER TO HADD FOR FURTHER INFO.

GENERAL NOTES:

1. REFER TO FRAC PACKAGE FOR FURNITURE, BUILT IN MILLWORK & FINISH SPECS.
2. SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE.
3. PROVIDE EMERGENCY LIGHTING PER LOCAL CODE.
4. WALL DEVICES TO BE MOUNTED AT 12" A.F.F. TYPICAL UNLESS OTHERWISE NOTED.
5. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITION GUESTROOM, GUESTROOM BATH, GUESTROOM KITCHEN & INDOOR POOL REQS.
6. POOL ENCLOSURE TO BE SEPARATED FROM THE REST OF THE BLDG. BY A VAPOR BARRIER ON THE POOL SIDE OF THE WALL. LOCATE POOL AREA EXTERIOR WALL VAPOR BARRIER ON THE POOL SIDE OF THE WALL. CARE MUST BE TAKEN TO AVOID MOISTURE BUILD UP IN THE WALL OR CEILING CAVITY. ANY PENETRATIONS OF THE BARRIER MUST BE MINIMIZED.

CEILING LEGEND:

- CEILING HEIGHT
- (X'X" C) CEILING FINISH
- A. PRIME & PAINTED GYPSUM BOARD
- B. PRIME & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
- C. OPEN TO UNDERSIDE OF FLOOR / ROOF SYSTEM ABOVE - PAINT ALL ELEMENTS - IF ELEMENT INDICATED MAY BE "APPROXIMATE" & FOR GEN. REF. ONLY - REFER TO SECTIONS
- D. 2x2 LAY IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.
- E. 2x2 LAY IN CEILING GRID SYSTEM SUSPENDED FROM STRUCTURE. INFILLED WITH 1/2" WYLL FACE GYPSUM BOARD PANELS.
- F. UNDERSIDE OF FLOOR / ROOF SYSTEM - PRIME & PAINTED TO RECEIVE FINAL FINISH



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FOR HILTON REVIEW
DESIGN DEVELOPMENT

ISSUES/REVISIONS	DATE	DESCRIPTION
0.1.0	15	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL
0.07	15	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL

DRAWN BY: PLB
CHKD BY: TEM
SEAL:

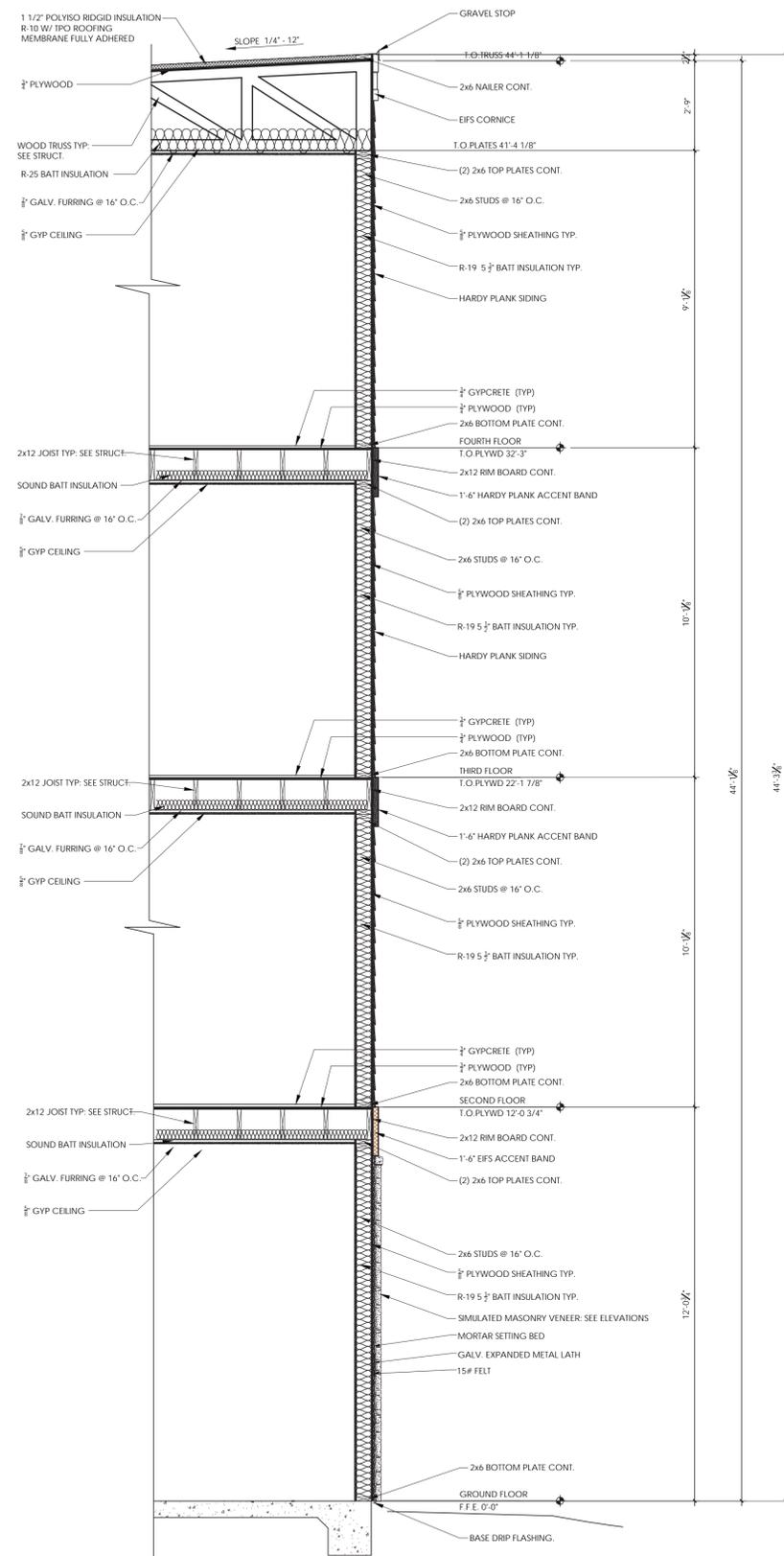
PROJECT NAME AND ADDRESS

HOME 2 SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

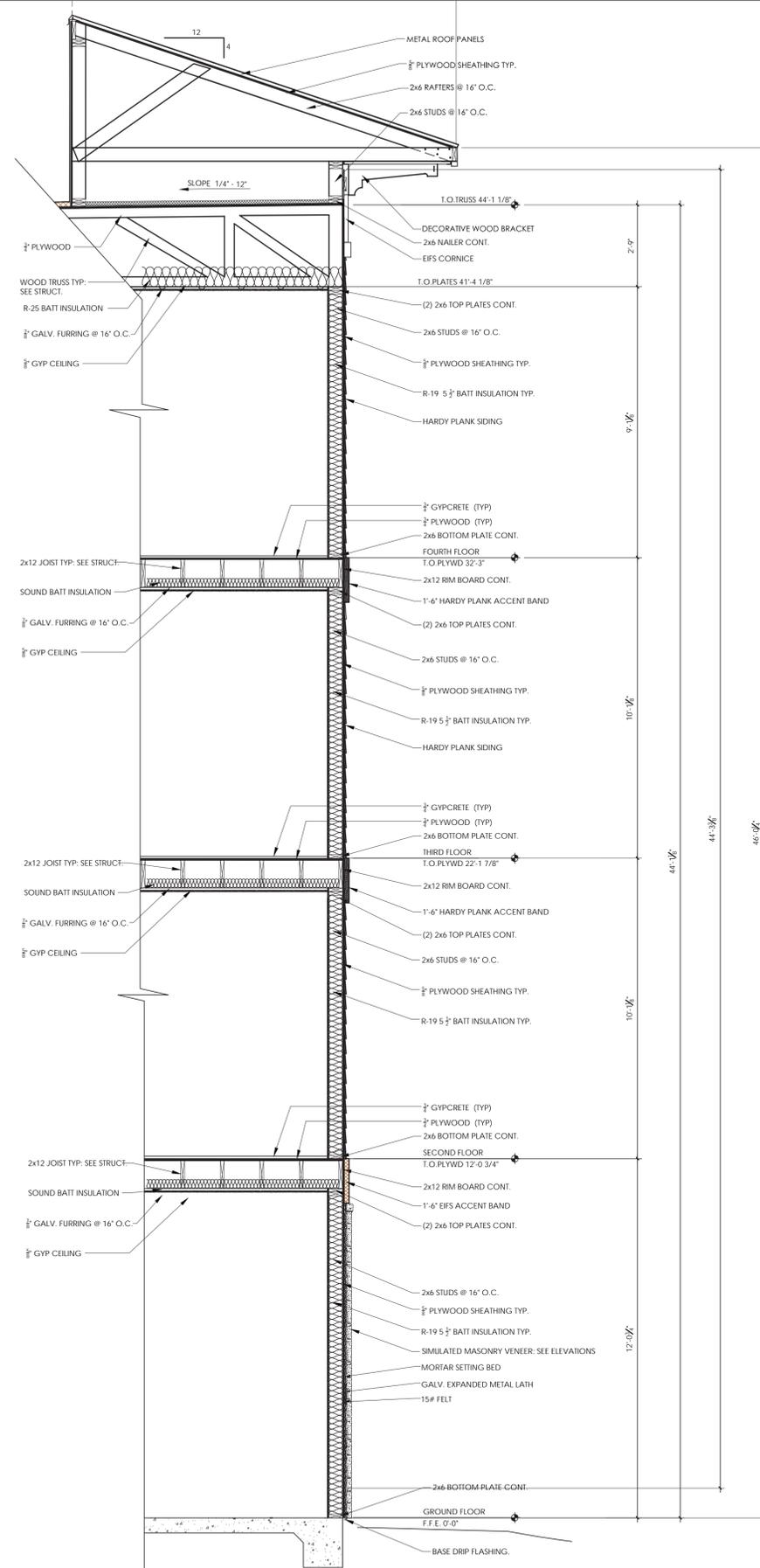
SHEET TITLE
ENLARGED POOL PLANS

PROJECT NO: 15044

A4.60



2 WALL SECTION
A6.02 1/2"=1'-0"



1 WALL SECTION
A6.02 1/2"=1'-0"

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FOR HILTON REVIEW
DESIGN DEVELOPMENT

ISSUES/REVISIONS	DATE	DESCRIPTION
6.13.15	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL	
02.07.15	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL	

DRAWN BY: PLB
CHKD BY: TEM
SEAL:

PROJECT NAME AND ADDRESS

HOME2
SUITES BY HILTON

ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

SHEET TITLE
WALL SECTIONS

PROJECT NO: 15044

A6.02

ARCHITECT OF RECORD:

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FOR HILTON REVIEW
DESIGN DEVELOPMENT

DATE	DESCRIPTION
6.13.15	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL
02.07.16	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL

DRAWN BY: PLB
CHKD BY: TEM
SEAL:

PROJECT NAME AND ADDRESS

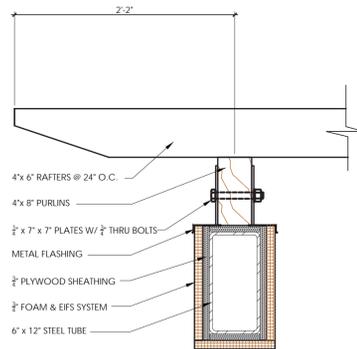
HOME2
SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

SHEET TITLE

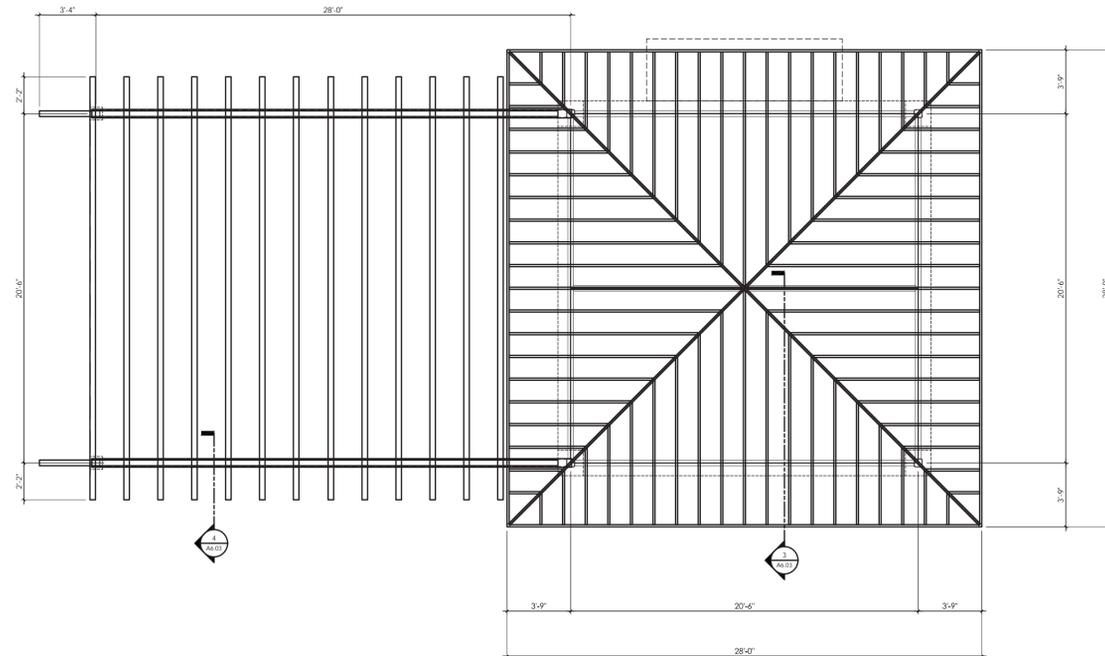
CANOPY & TRELLIS
ELEVATIONS & DETAILS

PROJECT NO: 15044

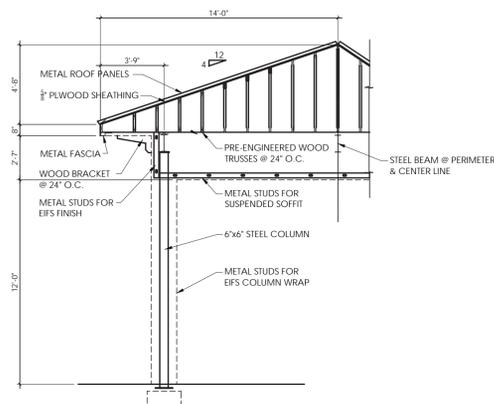
A6.03



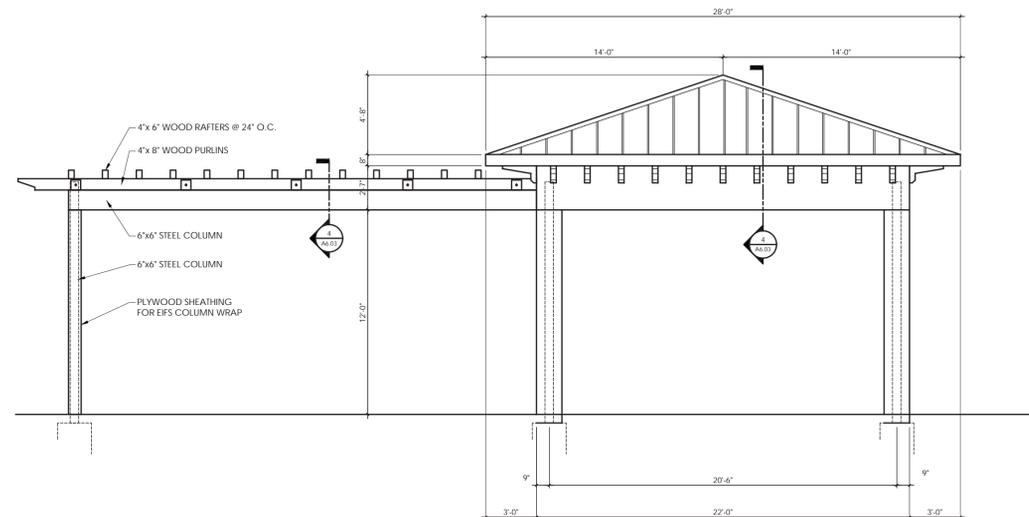
4 TRELLIS SECTION
A6.03 1 1/2"=1'-0"



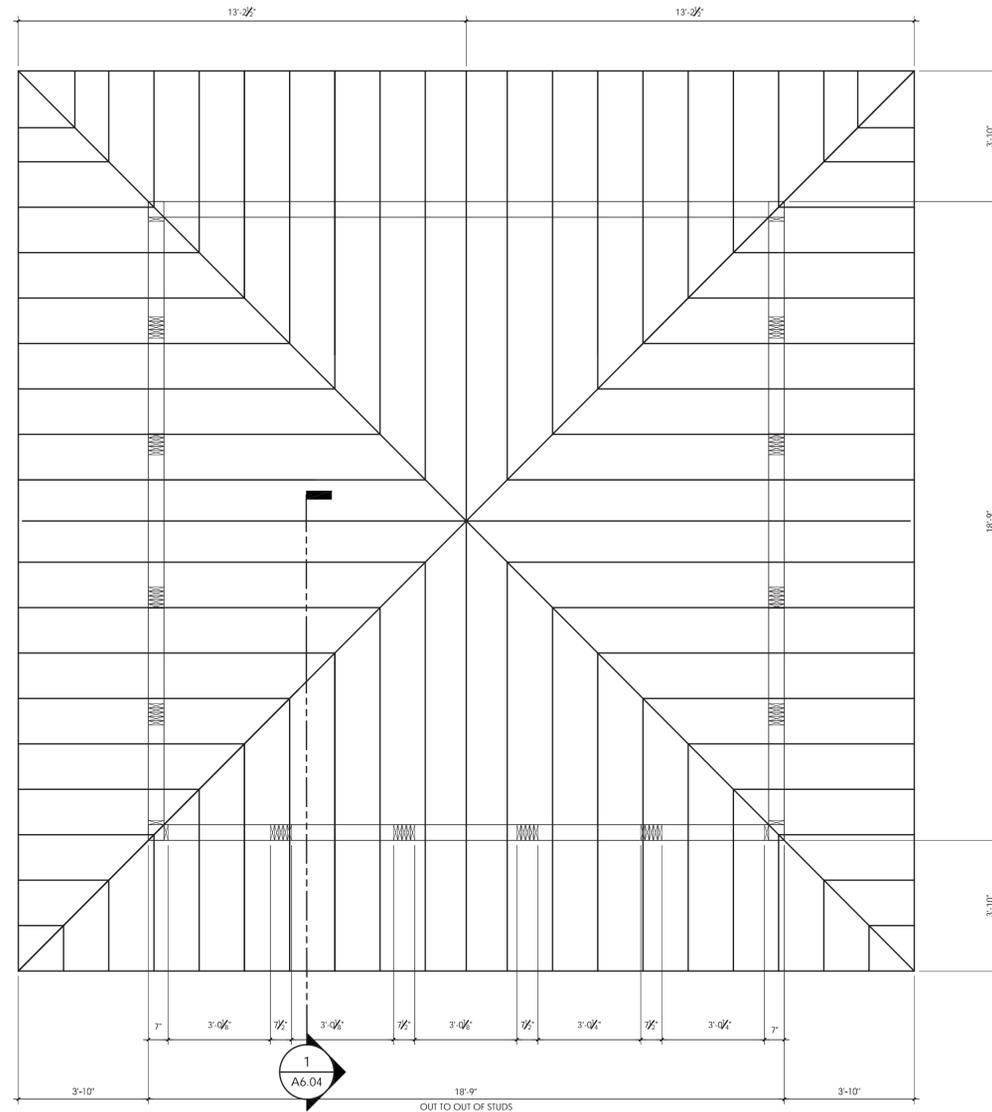
1 CANOPY & TRELLIS PLAN
A6.03 1/4"=1'-0"



3 CANOPY SECTION
A6.03 1/4"=1'-0"

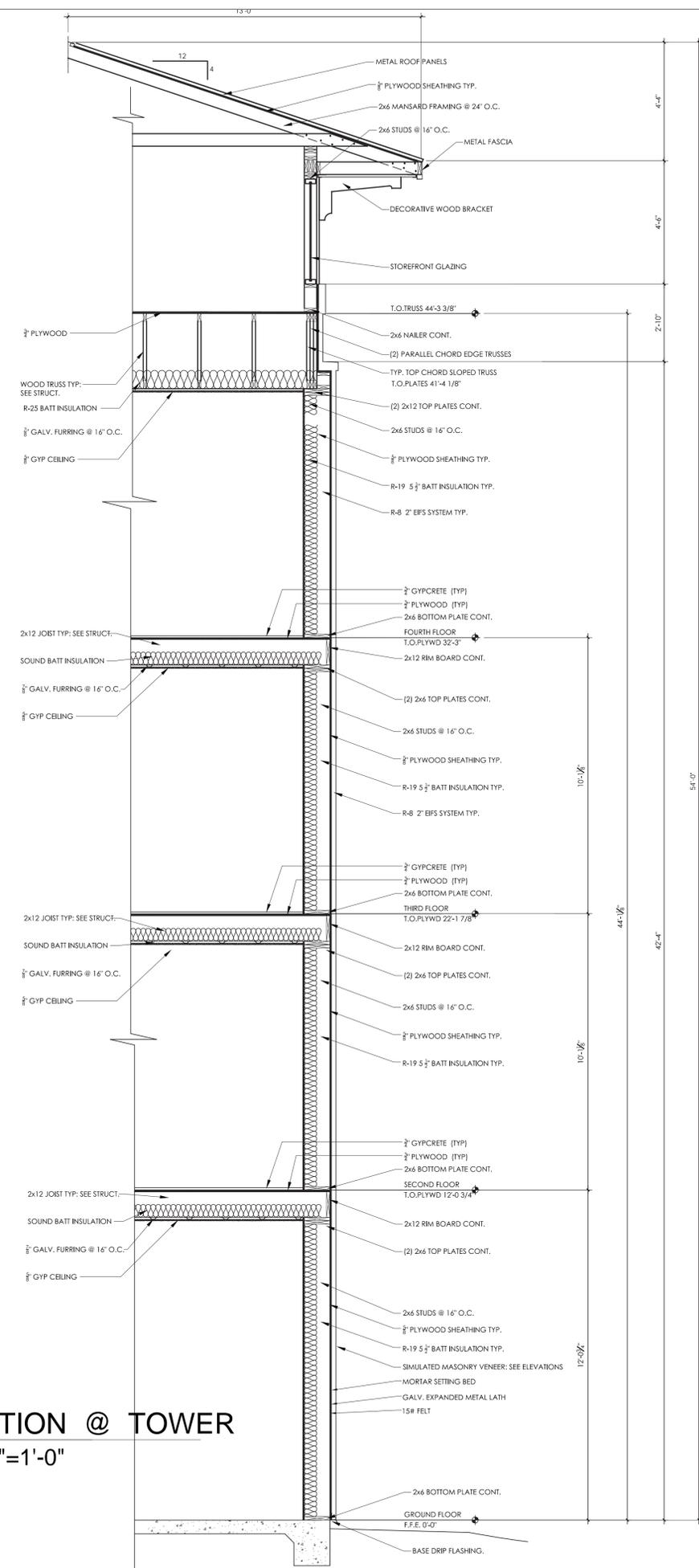


2 CANOPY & TRELLIS ELEVATION
A6.03 1/4"=1'-0"



2 FRAMING PLAN @ TOWER
A6.04 1/2"=1'-0"

NOTE:
OUT TO OUT DIMENSIONS
OF TOWER WALLS TO BE
VERIFIED.



1 WALL SECTION @ TOWER
A6.04 1/2"=1'-0"

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FOR HILTON REVIEW
DESIGN DEVELOPMENT

DATE	DESCRIPTION
6.13.15	FOR HILTON REVIEW - PRELIMINARY PLAN SUBMITTAL
10.07.15	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL

DRAWN BY: PLB
CHKD BY: TEM
SEAL:

PROJECT NAME AND ADDRESS

HOME2
SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

SHEET TITLE
WALL SECTION @ TOWER
PROJECT NO: 15044

ARCHITECT OF RECORD:

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0.07.15	FOR HILTON REVIEW - DESIGN DEVELOPMENT SUBMITTAL

DRAWN BY: PLB
CHKD BY: TEM
SEAL:

PROJECT NAME AND ADDRESS

HOME2
SUITES BY HILTON
ONE MARINA SIDE DRIVE
HILTON HEAD, SOUTH CAROLINA
INN CODE: HHHHT

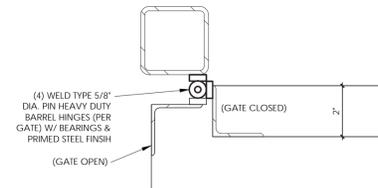
SHEET TITLE

DUMPSTER ENCLOSURE
SECTIONS & DETAILS

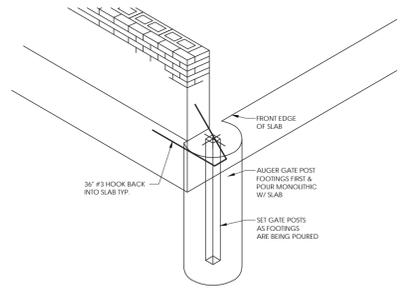
PROJECT NO: 15044

A6.07

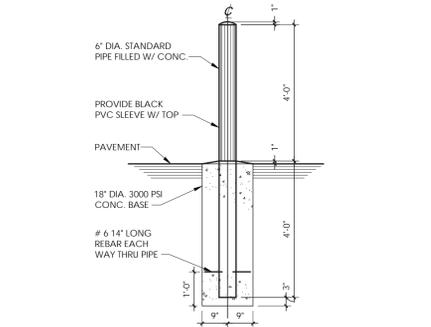
5 HINGE DETAIL
A6.07 3"=1'-0"



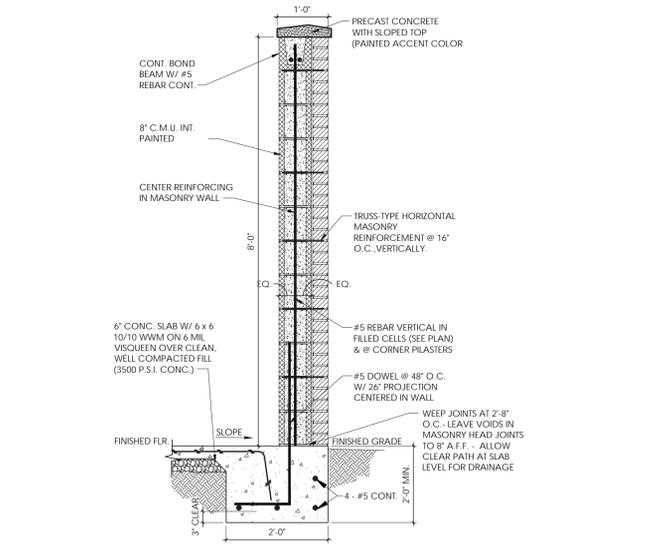
4 POST FOOTING
A6.07 NTS



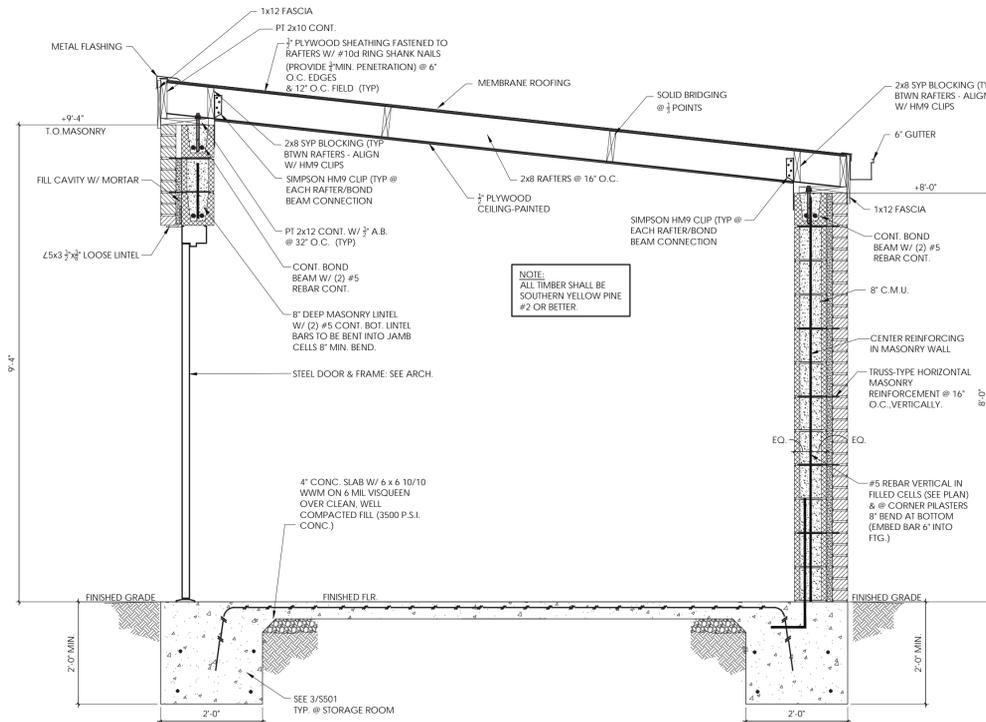
4 BOLLARD DETAIL
A6.07 1/2" = 1'-0"



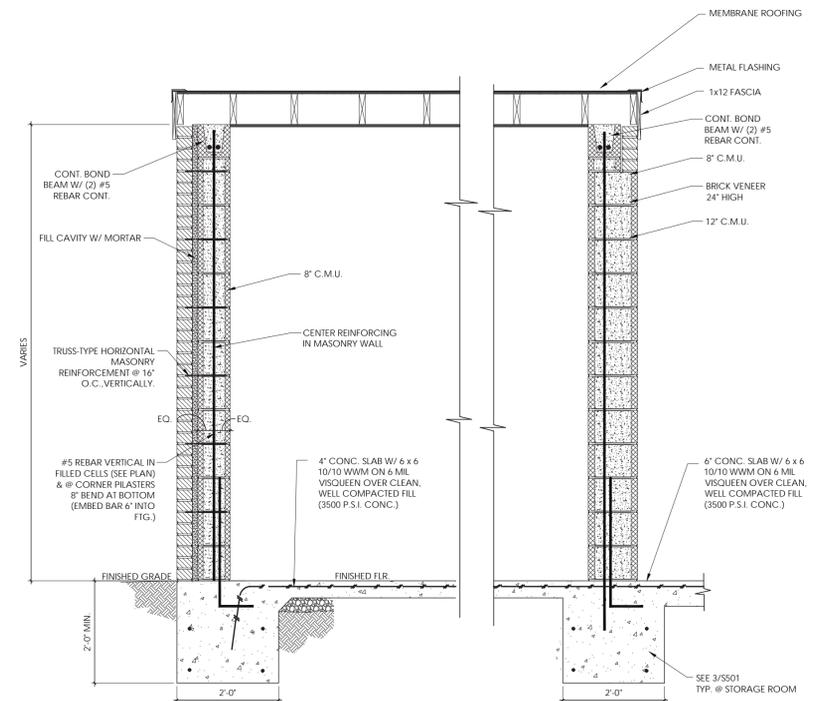
3 SECTION @ DUMPSTER WALL
A6.07 3/4"=1'-0"



2 STORAGE ROOM SECTION
A6.07 3/4"=1'-0"



1 STORAGE ROOM CROSS SECTION
A6.07 3/4"=1'-0"



Exterior Signage Implementation Guide

Purpose: The exterior signage program aims to create global awareness of the Hilton Worldwide brands. This document outlines the basic principles to achieve effective signs that attract and guide clients. All exterior signage is trademarked and must be produced by an approved signage vendor to ensure quality and consistency of materials, logos, colors and typefaces as well as insurances. Examples of all signs for your brand are given on the following pages.

High-level & Mid-level Signs

Implementation: High- & Mid-level channel letters and logos should be positioned on the building to maximize medium/long distance visibility. They should be applied to the main and/or secondary facade of the building so that at least one sign is visible from any approach and key vantage points. Their size should be maximized but suit the proportion, lines and style of the building. Ideal minimums: High-level min. 2000mm capitalized letter height to ensure 1km visibility; Mid-level min. 1000mm capitalized letter height to ensure 500m visibility. To achieve maximum impact, all signs must have high contrast against their backdrop. Dual color signs (day/night) available for all brands makes this possible. On multi-colored facades the same sign designs should be implemented across the whole building for consistency. In non-Roman script countries, these signs should be either dual language or in the script of the country.

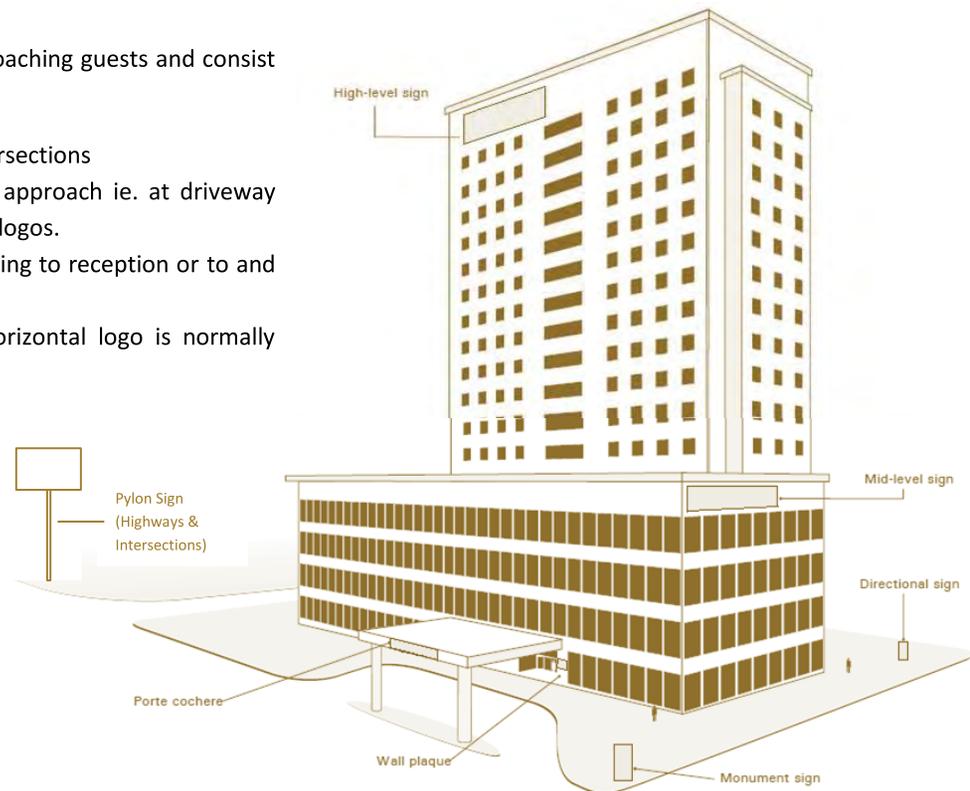
Low-level & Ground level Signs

Implementation: Low- & Ground Level Signs are to be positioned for approaching guests and consist of the following:

- Pylon Signs: On- and off-premise at strategic locations i.e. highway intersections
- Monument Signs: Used on-site to clearly identify the building upon approach i.e. at driveway entry These show the property location logo and may contain 3rd party logos.
- Directional Signs: Used to guide guests once on premise i.e. from parking to reception or to and from other key locations.
- Porte Cochère/Canopy Sign: as height is normally restricted, the horizontal logo is normally suitable

Welcome Signs

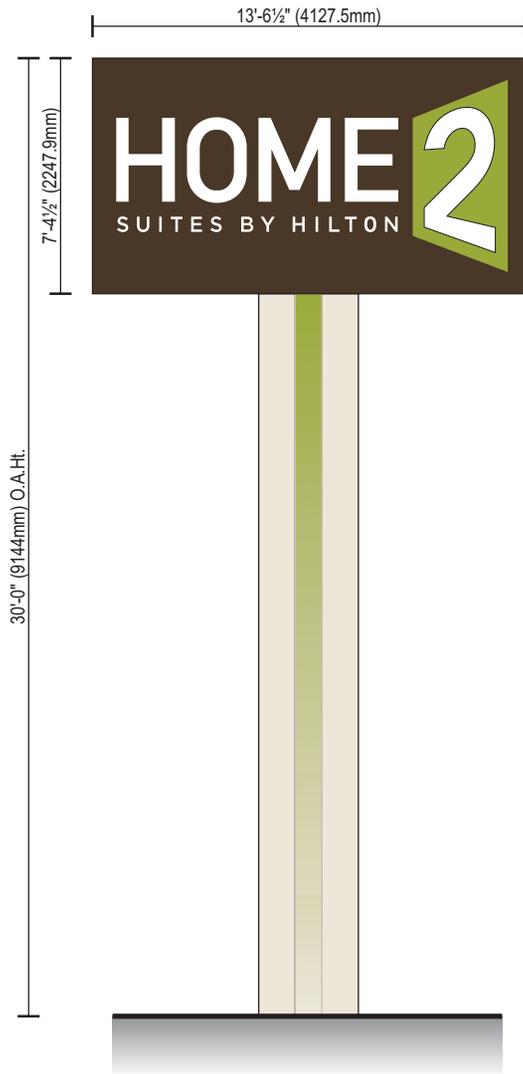
Implementation: Welcome signs are comprised of wall plaques, Flat Cut Out metal letters and door vinyls (also used for safety purposes). These signs give the guest a sense of arrival once he has found the main entrance to the hotel. They should be discreet, elegant and work in harmony with one another – avoid over signing the entrance. Materials used must suit the building and be durable.



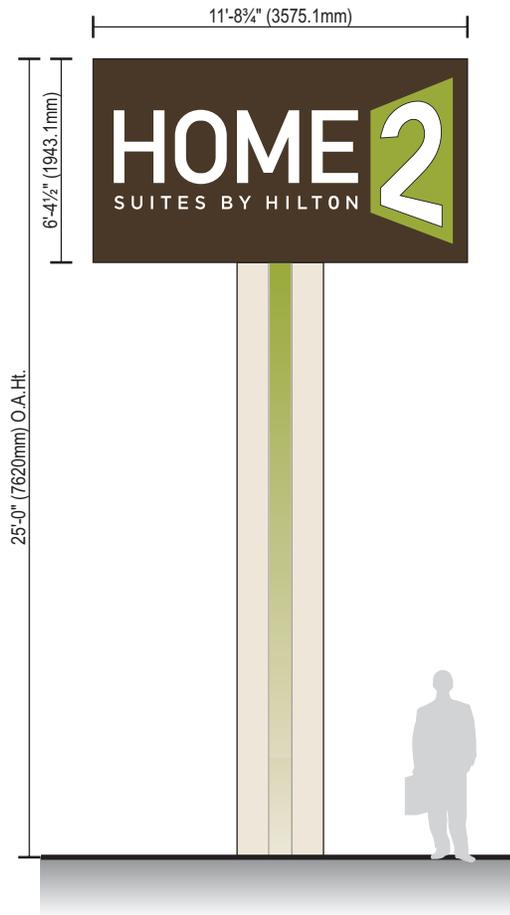


TEMP SITE SIGN

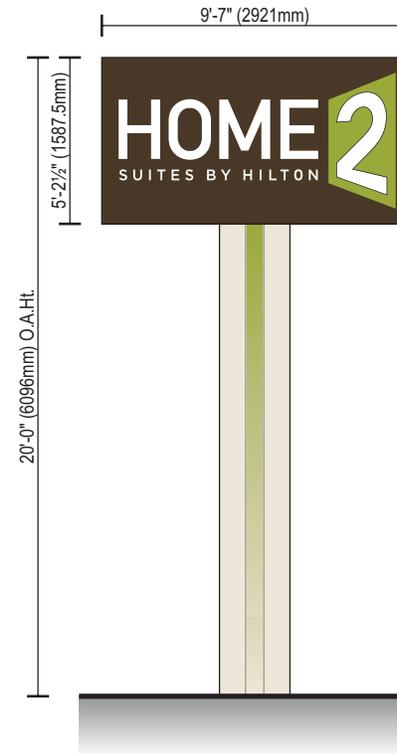
32 square feet (2.97 sq. M.)



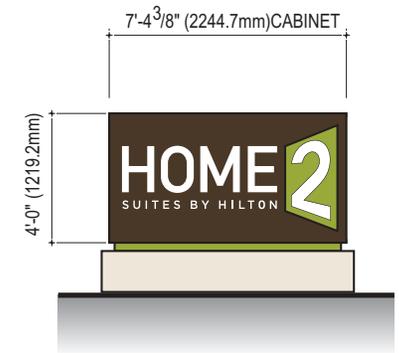
D/F PYLON SIGN P-100



D/F PYLON SIGN P-75

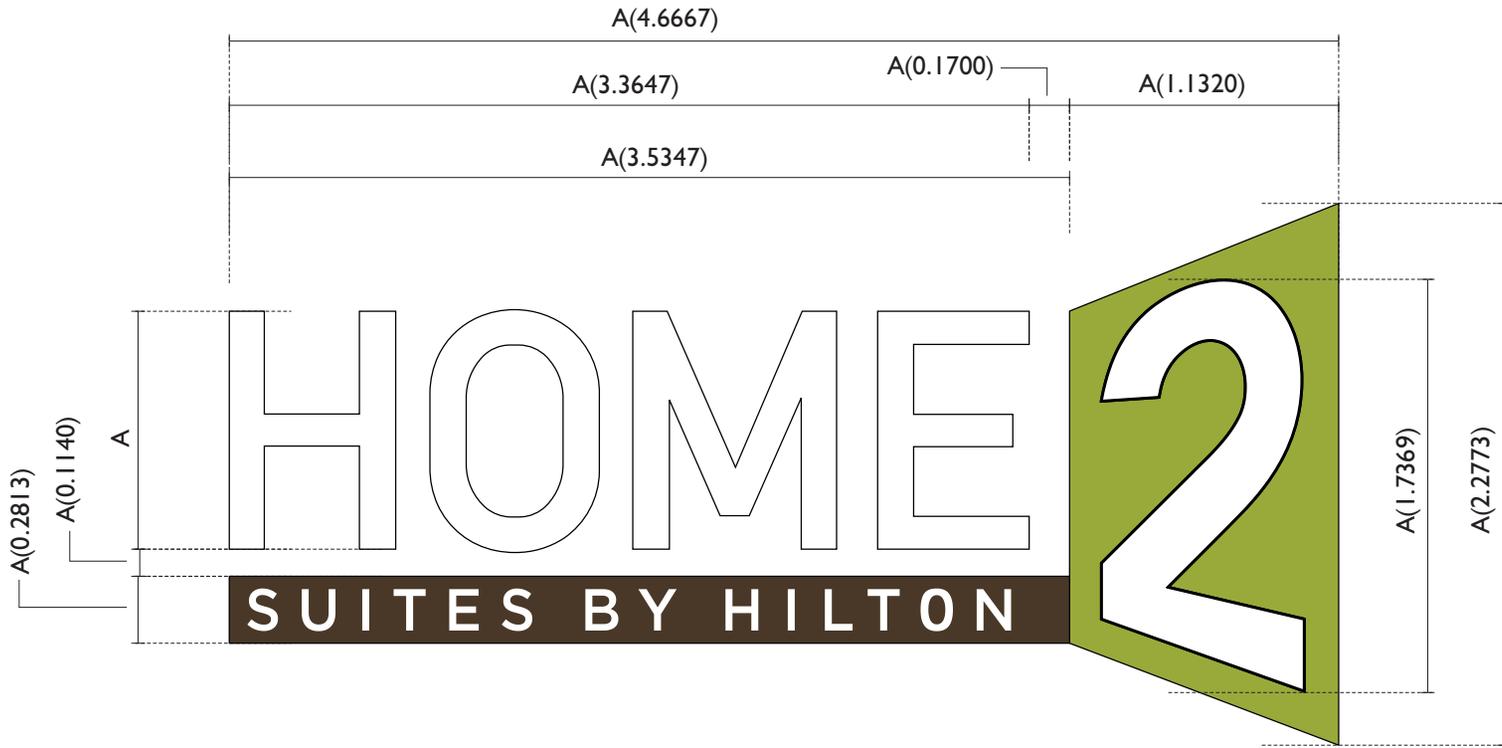


D/F PYLON SIGN P-50



D/F MONUMENT SIGN





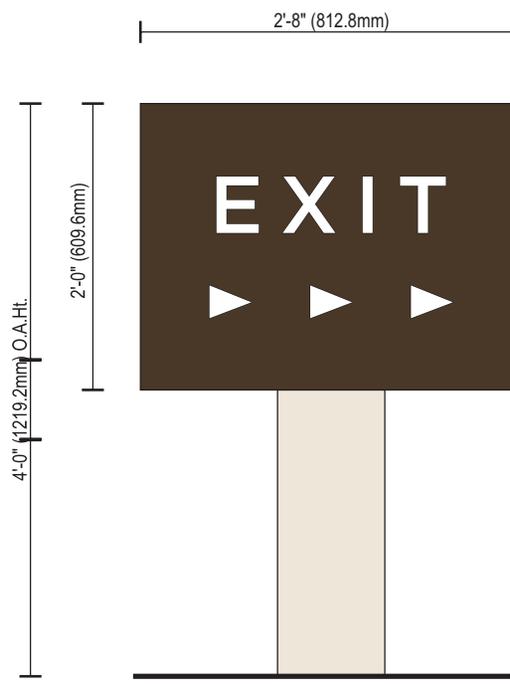
CHANNEL LETTER DISPLAY





D/F NON-ILLUMINATED DIRECTIONAL

5.33 Sq.Ft. (0.50 Sq. M.)



D/F NON-ILLUMINATED DIRECTIONAL

5.33 Sq.Ft. (0.50 Sq. M.)

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Home 2 Suites by Hilton – NEW DEVELOPMENT-FINAL

DRB#: DRB-002016

DATE: November 10, 2015

RECOMMENDATION: Approval Approval with Conditions * Denial

*Site plan, landscape plan, details, and colors/materials should be included in DRB’s review/approval.

RECOMMENDED CONDITIONS:

1. Provide a site plan that identifies all proposed materials and meets the requirements of the LMO including adequate dimension of parking lot islands and location of phase 1 bike racks. Site plan should be consistent with building floor plan in terms of location of doors, walls, etc.
2. Provide a landscape plan that meets the requirements of the LMO and includes call-out for each plant grouping. Pedestrian areas including front of the building and patio areas should include landscaping. Landscaping of an appropriate size and scale should be provided to balance mass of building. This warrants plant materials larger than 3-gallon shrubs. Include more variety in landscape plan including native plant material. Ensure landscape plan is consistent with site plan in terms of sidewalk locations, etc. Verify allowed planting within power line easement.
3. Adequate screening should be provided for all utilities including transformers. Dumpster screen should be modified to include other building materials and/or detail, i.e. brick base with stucco or hardi-plank siding and adequately screen dumpsters inside. Specify color for gates; suggest bronze.
4. Proposed lighting should match existing lighting to remain (bronze shoebox style fixture on bronze pole).
5. Select color other than “white” for window frame to be more in keeping with Design Guide.
6. Provide detail for pool fence and gates as well as pool equipment and storage rooms.
7. Provide color/material samples for all exterior materials including pool area.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies		Comments or Conditions
---------------------------	----------	--	------------------------

	Yes	No	Not Applicable	
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Applicant has taken comments from conceptual review and revised the building based on the DRB's recommendations and based on the Design Guide. The color and material palette has been simplified and details have been added to break up the mass of the building.
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include brick, EFIS, Hardie siding, metal roof. Colors include beige, taupe, smokehouse, dark bronze with green accent.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Not specified
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Siding, louvers, trellis
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Color other than white should be selected for window frame.
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider bronze fixtures on building to match bronze metal roof. Additional site lighting should match existing.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster enclosure is brick. Consider brick base with stucco or siding to better complement building. Trellis should be wood/stucco without exposed steel.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plant material needs to be larger than 3-gallon at time of installation.
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Site contains few existing trees, many are proposed to remain.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No buffer plantings shown.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide screening of utilities including transformer pad.
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	More variety should be included.
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Majority of plantings are medium shrubs.
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No buffer plantings shown.

Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No plant material at building entrances. Plant material at sign/site entrance not identified.
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NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS
