



# Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, February 10, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

## REVISED AGENDA

---

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of January 27, 2015
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
  - A. **New Development – Final**
    - 1) DRB-000065-2015 – Popeye’s Louisiana Kitchen
  - B. **Alteration/Addition**
    - 1) DRB-000100-2015 – SCTC Building 140 (old #103)
    - 2) DRB-000139-2015 – Cedar Wells Apartments
11. **Appearance by Citizens**
12. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island**  
**Design Review Board**  
**Minutes of the Tuesday, January 27, 2015 Meeting**  
**1:15p.m. – Benjamin M. Racusin Council Chambers**

**DRAFT**

Board Members Present: Chairman Scott Sodemann, Vice Chairman Jake Gartner,  
Dale Strecker, Kyle Theodore and Brian Witmer

Board Members Absent: Ron Hoffman and Galen Smith

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Heather Colin, Development Review Administrator  
Nicole Dixon, Senior Planner  
Kathleen Carlin, Administrative Assistant

---

**1. Call to Order**

Chairman Sodemann called the meeting to order at 1:15p.m.

**2. Roll Call**

**3. Freedom of Information Act Compliance**

**4. Approval of the Agenda**

The Board **approved** the agenda as submitted by general consent.

**5. Approval of the Minutes**

The Board **approved** the minutes of the January 13, 2015 meeting as submitted by general consent.

**6. Staff Report**

Ms. Ray presented a brief update on the status of the proposed improvements to the Metropolitan Hotel. This project was reviewed by the Board in October 2014. The new owners of the hotel are anxious to begin making improvements to the building. The applicant proposes to remove the existing wood railing from the back building. New aluminum railing is proposed to be painted in a darker color than existing, which is in keeping with the surrounding area. These changes will be approved by staff under the Minor Corridor Review application process.

Following improvements to the rear of the building, the applicant will submit proposed improvements to the front building. These proposed changes will be submitted to the DRB for their review later in the year.

**7. Board Business**

**Hilton Head Island Design Guide**

Ms. Ray presented brief comments regarding proposed updates to the Hilton Head Island Design Guide. The Board reviewed the existing Design Guide and received public comments at their January 13, 2015 meeting. The staff has since received a couple of additional public comments.

Ms. Ray stated that the staff is ready to move forward with the proposed updates to the Design Guide. Based on the input received from some Board members regarding the magnitude of their review of the Design Guide, the staff will break up presentation of the proposed changes into sections. Individual sections include Site Design, Landscape, Architecture and Accessory Construction. One section at a time will be presented by the staff. The presentation dates have not yet been decided but will be scheduled with consideration for the length of the agenda.

**8. Old Business**

None

**9. Unfinished Business**

None

**10. New Business**

*(Ms. Theodore recused herself from review of the following application, DRB-000068-2015, due to a professional conflict of interest. A Conflict of Interest Form was completed and signed by Ms. Theodore and attached to the record).*

A. New Development – Final

1. **1<sup>st</sup> Tee Boys and Girls Club** - DRB-000068-2015

Ms. Ray introduced the Final review application and stated its location, 151 Gum Tree Road. Ms. Ray presented a brief review of the project. This project received Conceptual approval by the Board in December 2014. At that time the Board complimented the quality of the revised submission and approved the Conceptual application with the following conditions: (1) the applicant shall modify the stucco wall at the sloped roof front entry; and (2) the applicant shall preserve as many trees on site as possible.

Ms. Ray presented an in-depth overhead review of the Final application including the site plan and the existing development including the existing parking, the access from Gum Tree Road, and the existing building. The tennis courts and basketball courts will remain in their current location. The existing playground and multi-purpose field will be relocated to accommodate the proposed development. The training facility includes a practice range, putting green, chipping green, and a six hole, par-3 layout plus the pro shop and the maintenance building.

The enlarged site plan shows the access from the parking lot and includes a special feature – the lighted Path to Success which includes an entry trellis and nine sign light bollards that identify the nine core values of the 1<sup>st</sup> Tee program. The entry trellis uses 8 x 8 posts with 2 x 12 beams with an applied logo and sign at the top. The trellis is proposed to be stained “Field Stone” which will match the proposed color of the pro shop. The site plan also shows an existing trellis that will remain located very close to the pro shop. The staff recommends that this trellis be painted or stained to match the “Field Stone” to ensure continuity.

The sign light bollards are 5ft. tall oyster shell concrete with an inset panel that lists the core value and then a plaque in recognition of the donors. The cap and the down lights shown are black. The staff recommends that these be changed to bronze in order to match the other proposed and existing lights on site.

The site plan also shows the existing lagoon, an existing fence and an irrigation pump house and wet well that will be added to the project. The applicant's updated landscape plan shows a landscape with wax myrtle trees on either side. The putting surface of the large greens at the golf facility are proposed to be artificial permeable turf with the remainder grassed with a variety of Bermuda grass, typical of golf courses on the island.

Ms. Ray presented statements regarding the multi-purpose field and the location of a 10-ft. tall golf safety fence that includes green posts and green top rail and black netting. The staff recommends that the applicant consider adding a bottom rail as well. The fence itself and the associated netting will be virtually invisible from a distance.

The existing playground will need to be relocated. It will have additional new concrete sidewalk connections and a shredded wood safety surface. The hatch pattern shown on the site plan is a reinforced fire lane that extends to serve the pro shop.

The maintenance area on the site plan includes aggregate paving, the maintenance building and a fuel station (about 5-ft long and about 2-3/4 ft. tall and wide). The applicant has worked to save a lot of existing trees. They have focused their plantings in the more developed areas around the pro shop. Landscape material includes native plants or plants that have been traditionally used on the island including evergreen shrubs with pops of color. An American Holly tree has been added to help screen the end of the stucco parapet wall from view. The site plan takes advantage of existing open areas for the golf facility.

The pro shop building is approximately 2,300 sq. ft. with a floor plan that includes restrooms, office space, and a golf club fitting and instruction room. The building is a donated modular building but several architectural elements have been incorporated to enhance the appearance of this building. This includes parapet wall, vegetated screen walls, window shutters, a covered entry porch, wood stairs, a ramp with trellis frame work and landscape features as well to help soften the view of the modular building.

Ms. Ray presented photos showing the details of the wall section of the covered porch. Additional photos show the wood railing with a welded wire mesh. The applicant plans to use Bermuda shutters in an Old Essex dark green. Based on the Board's previous comments, the applicant has restudied the stucco parapet wall and is now providing an alternate front elevation. Ms. Ray presented an example of the proposed sign to be placed on the gable. The applicant has used this sign in their other locations.

The vegetative screen wall includes a 6 x 6 wood frame with wood lattice as well as intermediate frames and will be planted with confederate jasmine around the building. Ms. Ray presented additional details regarding the porch railing and wood skirting at the porch.

Ms. Ray distributed the proposed color board for the Board's review. The color board for the pro shop includes a bronze roof, "Pearl Ash", light tan for the exterior stucco, a "Fieldstone" for the stain for the wood columns, rafters, trellis, and screen walls, darker accent color for the handrails, "Old Essex Green" for the Bermuda shutters, and a dark brown stain for the horizontal and vertical wood skirting.

The maintenance building is approximately 1,000 sq. ft. and includes storage for equipment and tools. A metal roof is included as well as stucco veneer. The roof is 6 and 12 pitch. The elevation show a lot of detail for a small maintenance building including trim, painted gable vents, and a metal roof. An alternate elevation with an asphalt shingle roof has been submitted as well.

The color board for the maintenance building is very similar and includes the same colors for the stucco veneer, the same color bronze for the metal roof, and also the bronze for the gutters and downspouts and a dark brown for all of the accents and the doors.

The project includes very little lighting. There is a bronze sign light on the building at the gable logo sign and there is a bronze light at the main entry door. Several of the proposed light fixtures are shown as LED, which are not allowed per the LMO. Some of the fixtures appear to have a visible light source, which is also not allowed per the LMO. These minor issues will be addressed during the applicant's Development Review Plan process.

The staff complimented the applicant and their design team on the thoroughness of the Final submission. The staff recommended approval of the Final application with a couple of conditions: (1) the existing trellis should be painted or stained to match the proposed trellis and the proposed pro shop; (2) the applicant should consider bronze fixtures versus black fixtures on the lighted bollards. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. David McAllister, Wood + Partners, and Mr. Andy Harper, Court Atkins, presented statements in support of the application. The applicants discussed the alternate elevation options for the pro shop (gabled versus squared off versions). The applicants also discussed the shingles versus metal roof options for the maintenance building.

The Board complimented the thoroughness of the Final submission. The Board stated that they like the banding on the maintenance building. The Board then discussed the pro shop and stated that they prefer the pitched roof option. The Board discussed the cut ends on the trellis elements on the pro shop and the applicants stated that they will modify the new trellis to match the existing. The Board discussed the proposed color for the trellis and suggested a bit more of a contrast. The Board agreed with the staff's recommendation for an additional bottom rail on the fence. The Board also agreed with the staff's comments regarding the lighting. The Board complimented the landscape plan.

Mr. Mike Davis, 1<sup>st</sup> Tee Boys and Girls Club representative, presented comments in concern of cost overrun issues. It would be helpful to the applicant if they could be given two years to complete the proposed building improvements. Chairman Sodemann stated that the Board is required to comply with LMO requirements and the Design Guide. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Vice Chairman Gartner made a **motion** that application DRB-000068-2015 be **approved** with the following conditions: (1) the finish of the existing trellis feature at the entrance shall match the proposed colors; (2) the applicant shall change the proposed sign lighting from LED to an acceptable light; (3) all lights shall be bronze to match the existing. Mr. Strecker **seconded** the motion and the motion **passed** with a vote of 4-0-0.

## 11. Appearance by Citizens

None

**12. Adjournment**

The meeting was adjourned at 1:45p.m.

Submitted By:

Approved By:

---

Kathleen Carlin  
Administrative Assistant

---

Scott Sodemann  
Chairman

DRAFT



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	<u>KO</u>
Accepted by:	<u>1/13/15</u>
DRB #:	<u>15-2015</u>
Meeting Date:	_____

Applicant/Agent Name: Gale Brown Company: NCT Restaurants  
 Mailing Address: 73 Skull Creek Dr. B108 City: Hilton Head State: SC Zip: 29926  
 Telephone: 210-410-3668 Fax: \_\_\_\_\_ E-mail: Gale.BROWN6@GMAIL.COM  
 Project Name: Popeyes Louisiana Kitchen Project Address: 15 Park Lane  
 Parcel Number [PIN]: R550 015 00C 0230 0000  
 Zoning District: C-2 Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

R. Val Brown  
SIGNATURE

1/13/2015  
DATE

POPEYE'S LOUISIANA KITCHEN  
DESIGN REVIEW BOARD SUBMITTAL - JANUARY 27, 2015  
15 PARK LANE

## Proposed Improvements Narrative

### Site Plan

The proposed project is to redevelop this site into a new restaurant including a drive-through window and interior seating. The restaurant has been sited to minimize the impacts to existing trees, including the two specimen cypress trees and two large live oaks on the property. Extraneous existing pavement will be removed and a natural area is proposed to be provided in the middle of the site. Existing grades will be maintained to the extent practicable with the building FFE set at 14.1, above the minimum required elevation of 14.0. The grading of the property will be designed to balance the earthwork on-site to minimize construction traffic.

A new 8-foot connection to the existing multi-use path is proposed for use by pedestrians and bicyclists. A mulch walking trail is proposed to connect the multi-use trail to Park Lane for pedestrians at minimal impact to the natural environs. Crosswalks have been added to the plan to provide pedestrian connections between the parking on the northeast side of the site, the mulch walking path, and the entrance to the building. The connection to the multi-use path has been relocated to the center on the northwestern property line to allow cyclists and pedestrians more immediate access to the front door of the restaurant. The bike racks were also moved to the center of the site opposite the multi-use trail connection, adjacent to the walking path area.

The parking lot itself was softened by rounding the corners and edges. Impervious pavement was reduced by 3,584 square feet, specifically in the southwestern corner of the site and along the northwestern boundary, and where pervious pavers have replaced 3,074 square feet of impervious area. The total percent lot coverage is now proposed to be 47.1%, less than the 60% allowable for the district, and less than the previously existing 57.5% coverage when the former restaurant was in operation.

A tree island has been shown in the vicinity of an existing 24" live oak mimicking the pre-existing conditions. While some parking is still located within a 15-foot radius of the tree, the pavement will be less than what is there today. The outline of existing pavement is shown on the site plan as a dashed line for reference. The landscaping and sidewalk was removed from the front of the building to allow minimal intrusion into the 15-foot radius of the 32" live oak within the front buffer of the site. All pavement within the root zones of these two trees will be either pervious pavement or pervious concrete to allow water to continue to flow to the root zones.

Landscape areas were added around the back of house to provide a greener aesthetic.

The location of the dumpster was examined and no more suitable site was determined. If the dumpster moved to the northeastern side of the building it would be closer to an entrance door and the drive-through window. Any other location would require vehicular traffic to drive past the dumpster prior to driving past the front façade of the building. In its current location along a one-way exit-only drive we believe it will be as unobtrusive as possible.

## Proposed Improvements Narrative / page two

### Architectural Elements

The Popeyes restaurant design originated from a prototype building that is required by Popeyes corporate. After study of Hilton Head architecture vernacular and the neighborhood buildings around our site, we have redesigned our building changing roof lines, building detailing, balcony construction away from the wrought iron material, added an eight tall screen wall around the rear utility yard, and changed most all the prototype colors to more earth tone colors to comply with Hilton Head Design Guide. The stone wainscot from the Popeyes standard design was changing to brick of a chocolate color with the majority of the rest of wall area to be stucco or EIFS. The roof is to be a standing seam metal material with a Hunter Green color matching many of the metal roof colors on the Island. We kept our shutters on both back side walls which fits in with the Island vernacular as well also in the Hunter green color. We have followed most of the recommended revisions by the DRB, which included standardizing roof slopes of the standing seam metal roofs, increasing overhangs at the eaves where it was possible, added an accent band to the rear screen wall for more definition, and added decorative brackets under the balcony to tie it back to the building. There was a comment on the colors, but after careful consideration and conversation and additional touring of the Island particularly our immediate neighborhood, we felt our color scheme fit very well into our surroundings and blends well into the site. We feel we now have a building that is harmonious with the neighborhood and achieves the Island character.

### Landscape Development Plan

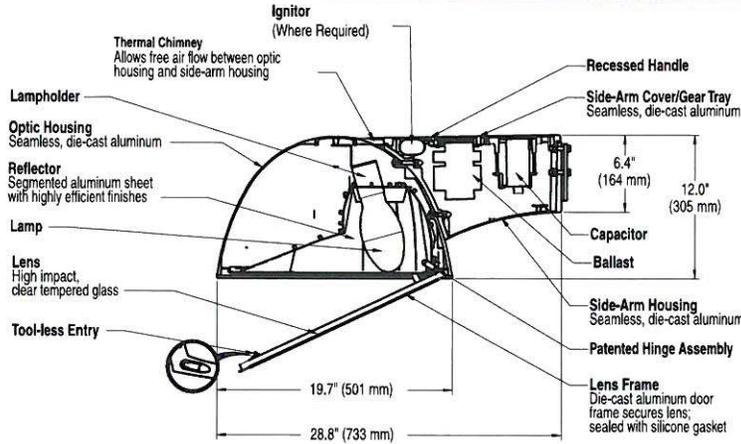
The final plan has three major tree canopies indicated with radius notes. This includes the Live Oaks with caliper inches of 36, 32 and 24. An arborist has reviewed the trees and concludes the trees are in good health could use some minor cleaning. This may be done before the conclusion of the project. All trees will be protected during construction. The 32 inch Live Oak will be have pervious paving materials where necessary to preserve the transpiration of the root system. Most if not all proposed plantings have been removed from within the drip lines of the Live Oaks and most of the other trees within the project area.

The landscape development plan has the detailed plant list. As requested it contains plant additions in the area of shared property line between the adjacent property parking lot and Sabal palmettos.

**SIDE-ARM MOUNT**

**AERODOME™ FORWARD THROW (TYPE IV)**

**AVV40-20  
SERIES**



**SPEC # WATTAGE CATALOG #**

**PULSE START METAL HALIDE**

<input type="checkbox"/>	SPEC #	150W PSMH	AVV4(c)615-(a)(b)
<input type="checkbox"/>	SPEC #	250W PSMH	AVV4(c)625-(a)(b)
<input type="checkbox"/>	SPEC #	320W PSMH	AVV4(c)632-(a)(b)
<input type="checkbox"/>	SPEC #	350W PSMH	AVV4(c)635-(a)(b)
<input type="checkbox"/>	SPEC #	400W PSMH	AVV4(c)640-(a)(b)

**METAL HALIDE**

<input type="checkbox"/>	SPEC #	175W MH	AVV4(c)417-(a)(b)
<input type="checkbox"/>	SPEC #	250W MH	AVV4(c)425-(a)(b)
<input type="checkbox"/>	SPEC #	400W MH	AVV4(c)440-(a)(b)

**HIGH PRESSURE SODIUM**

<input type="checkbox"/>	SPEC #	150W HPS	AVV4(c)515-(a)(b)
<input type="checkbox"/>	SPEC #	250W HPS	AVV4(c)525-(a)(b)
<input type="checkbox"/>	SPEC #	400W HPS	AVV4(c)540-(a)(b)

Specify (a) Voltage, (b) Options & (c) Mounting/Rotatable Optics.  
 ⚡ Reduced envelope lamp; ED28 for 320 – 400W PSMH & 400W MH.

**(a) VOLTAGE SUFFIX KEY**

D	120/277V
M	120/208/240/277V (Standard)
T	120/277/347V (Canada Only)
1	120V
2	277V
27	277V Reactor (PSMH Only)
3	208V
4	240V
5	480V
6	347V (Canada Only)

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

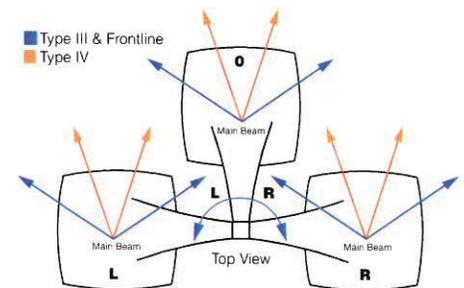
**(b) OPTIONS (factory-installed)**

-(a)F	Fusing
-(a)P	Button Photocell
-5P	External Photocell (for 480V)

Specify (a) Single Voltage — See Voltage Suffix Key

**(c) MOUNTING/ROTATABLE OPTICS**

O	Standard Configuration
L	Rotated Left of Standard Configuration
R	Rotated Right of Standard Configuration



**Notes**

**GENERAL DESCRIPTION**

Parking lot and roadway full cutoff luminaire for HID lamp, totally enclosed. Housing is seamless, die-cast aluminum. Electrical components are heat-sinked and contained in mounting arm assembly (direct mount configuration). Lens assembly consists of tool-less quick release frame constructed of rigid aluminum and high-impact, clear-tempered glass lens. High-temperature silicone gasket seals lens from water and insects.

**FINISH**

Exclusive DeltaGuard® finish features an E-coat epoxy primer with medium bronze ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

**ELECTRICAL**

Fixture includes clear, mogul-base lamp. 320 – 400W PSMH and 400W MH utilize the ED28 reduced envelope lamp. Pulse-rated porcelain enclosed, 4kv rated screw-shell-type lampholder with spring-loaded center contact. Lamp ignitor included where required. All ballast assemblies are high-power factor and use the following circuit type:

Reactor (277V PSMH)  
150 – 400W PSMH

CWA — Constant Wattage Autotransformer  
150 – 400W PSMH; 175 – 400W MH;  
150 – 400W HPS

**LABELS**

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations.

**PATENTS**

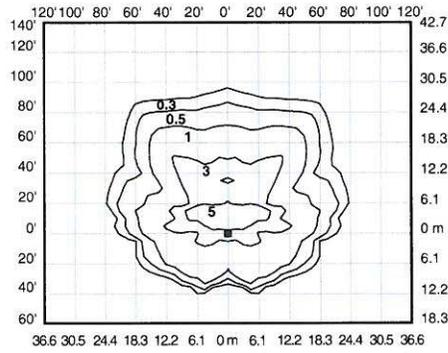
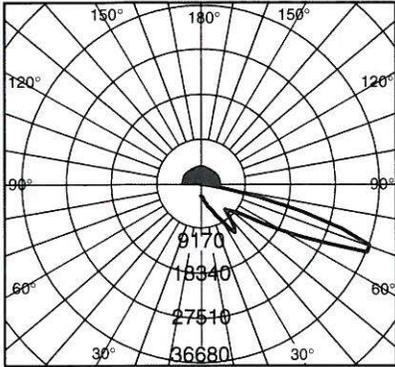
US 4,689,729; D531,882; Canada 108888; Other Patents Pending

**ACCESSORIES: (field-installed)**

AVRP-3	Round Pole Adaptor (fits 3" – 6" dia. pole)
SBL-AVV20C	External Full-Cutoff Shield
SBL-AVV20E	External Backlight Shield



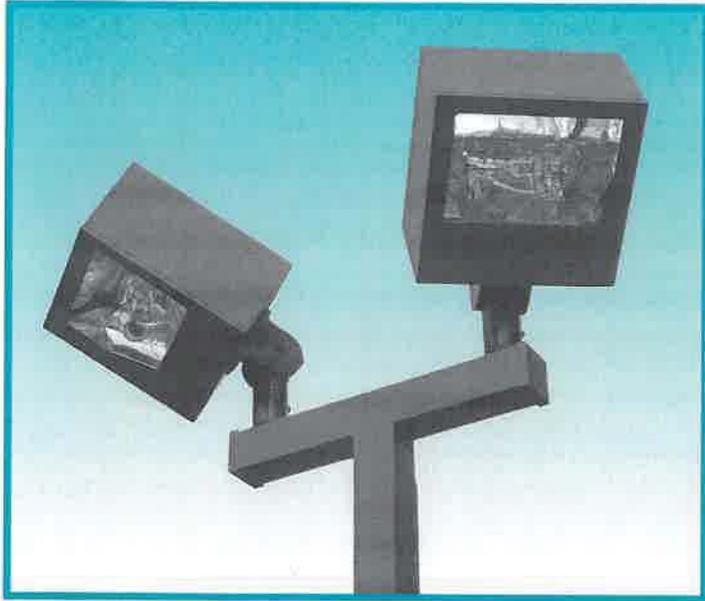
Isofootcandle plots show initial footcandles at grade. (Footcandles ÷ 0.0929 = Lux)



Lighting Sciences Inc.  
Certified Test Report No. LSI 23057  
Candlepower distribution curve of 400W PSMH  
AeroDome Light.

Isofootcandle plot of 400W PSMH AeroDome  
Light at 25' (7.6 m) mounting height.  
(Plan view)

# ASB SERIES

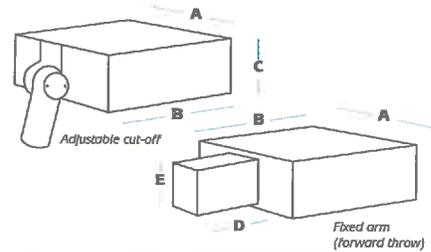


A fully adjustable and directional lighting system designed for maximum flexibility and the challenges of today's lighting needs. Adjustable mounting allows for up to 45° tilt above horizontal to optimize performance. Fixed arm mounting provides true cutoff in the same value-priced luminaire.



## Fixture Specifications

- Formed aluminum housing
- Access to lamp and ballast compartments through hinged door assembly
- One-piece tempered glass lens
- Optical system fabricated of polished aluminum; provides optimum efficiency for long and wide light distributions
- Luminaire finished in weatherproof powder-coat finish
- Type C includes adjustable tenon adapter
- Includes integral/adjustable light cut-off shield
- Consult factory for external glare shield options
- Includes lamp and arm (Type F)
- Available with photocell
- Suitable for wall mounting
- UL listed for wet locations



	A	B	C	D	E	EPA <sup>1</sup>
<b>400</b>	17.0°	17.0°	9.5"	10.0"	5.0"	1.44
<b>1000</b>	22.0°	22.0°	10.5"	10.0"	5.0"	2.54

## ORDERING INFORMATION

### SAMPLE CATALOG NUMBER

**ASB** | **X** | **XXXXXXXX** | **XX** | **XX**  
 Series | Type | Wattage/Source | Finish | Voltage

### SERIES

**ASB** Adjustable Shoe Box

### TYPE

**C** Adjustable cut-off  
**F** Fixed arm (forward throw)

### WATTAGE/SOURCE

**175PMH** 175 watt pulse start metal halide  
**250PMH** 250 watt pulse start metal halide  
**320PMH** 320 watt pulse start metal halide  
**1000MH** 1000 watt metal halide  
**250HPS** 250 watt high pressure sodium  
**400HPS** 400 watt high pressure sodium  
**1000HPS** 1000 watt high pressure sodium

### FINISH

**DB** Dark bronze  
**WH** White  
**BK** Black  
**PS** Platinum Silver

### VOLTAGE

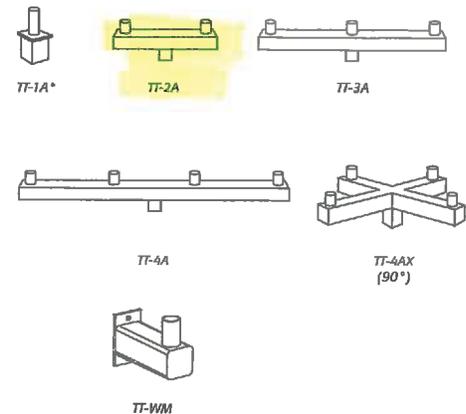
**MT** Multi-Tap ballast (120, 208, 240, 277V)  
**48** 480 volt

### ACCESSORIES

**PC** Field-installed photocell (specify voltage)  
**GS** Universal glare shield

<sup>1</sup> Consult factory for other wattages and Pulse Start availability.  
<sup>2</sup> Consult factory for other finishes.  
<sup>3</sup> EPA based on 30° tilt. For other EPA values, consult factory.

## MOUNTING BRACKET ORDERING INFORMATION



\* TT-1A not required with tenon top pole. Use only for retrofit (specify 4" or 5" pole).



A HUBBELL LIGHTING, INC. COMPANY

Performance Designed Lighting Products

1085 Johnson Drive • Buffalo Grove, IL 60089 • TOLL-FREE: 800-544-4848 • PHONE: 847-279-0627 • FAX: 847-279-0642

www.securitylighting.com

# SQUARE STRAIGHT STEEL POLES

## Specifications

### SSP SERIES

- Square straight steel shaft
- One-piece construction
- 2 3/8" OD tenons, or factory-drilled side mount
- Ground lug standard (3/8" 16 thread)
- Steel base plate
- Two-piece base cover
- Four L-shaped fully galvanized anchor bolts with nuts and washers, metal template
- Finished in weatherproof powder-coat paint
- Gasketed hand hole standard



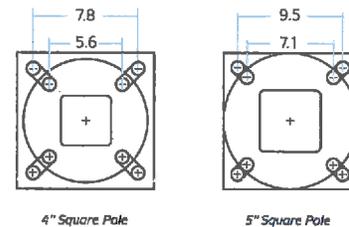
### ORDERING INFORMATION

Pole Catalog Number <sup>1</sup>	Height	Wind Load Rating <sup>2, 5</sup>				Pole Size	Base Square	Anchor Bolt Size <sup>3</sup>	Suggested Bolt Circle	Bolt Circle Range	Bolt Projection	Pole Weight <sup>4</sup> lbs
		90mph EPA	100mph EPA	110mph EPA	120mph EPA							
11 GAUGE												
SSP-4118-XXX-XX	18	13.8	10.6	8.2	6.3	4"	10.25"	3/4"	10.5"	8-11"	4"	147
SSP-4125-XXX-XX	25	6.4	4.3	2.7	1.4	4"	10.25"	3/4"	10.5"	8-11"	4"	190
SSP-5125-XXX-XX	25	8.8	5.9	3.6	1.9	5"	12"	1"	10.5"	10-13.5"	4"	231
7 GAUGE												
SSP-4725-XXX-XX	25	10.9	8.1	6.0	4.4	4"	11"	3/4"	10.5"	8-11"	4"	266
SSP-5722-XXX-XX	22	22.4	17.3	13.5	10.5	5"	12"	1"	10.5"	10-13.5"	4"	263
SSP-5728-XXX-XX	28	13.7	9.9	7.1	4.9	5"	12"	1"	10.5"	10-13.5"	4"	340
SSP-5730-XXX-XX	30	11.5	8.0	5.4	3.4	5"	12"	1"	10.5"	10-13.5"	4"	336

<sup>1</sup> Catalog Number, as listed, does not include tenons or machining for side mounting. Fixture mounting must be specified by substituting for all Xs in Catalog Number. Refer to Catalog Logic for top type and for mounting arrangements.  
<sup>2</sup> Maximum allowable ultimate and bracketing weight is determined by multiplying the EPA values above by 30 pounds.  
<sup>3</sup> Factory supplied template must be used when setting anchor bolts. Security Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template.

<sup>4</sup> Anchor bolt weights not included.  
<sup>5</sup> Allowable EPA loading based on AASHTO 2009 (LTS5) specifications; Group II Loading, 50 year recurrence internal calculations are based on 3-second-gust wind speed data.

#### BOLT TEMPLATE



### CATALOG LOGIC



#### SERIES

SSP-4118-XXX-XX

#### SHAFT SIZE SQUARE / GAUGE

41 4.0", 11 ga.

47 4.0", 7 ga.

51 5.0", 11 ga.

57 5.0", 7 ga.

#### NOMINAL POLE HEIGHT (in feet)

See ordering information above<sup>1</sup>

- NOTES:
- Aluminum poles available, consult factory.
  - All factory stocked poles are shipped as tenon tops unless drill mounting holes are specified.
  - Consult factory for available pole options (receptacle, mid-pole brackets, and banner mounting arm)

#### TOP TYPE

- 1** 2 3/8" OD Tenon<sup>2</sup>  
**5** Removable Tenon<sup>2</sup>  
**6** Side mount

#### MOUNTING ARRANGEMENT

- A** One Fixture  
**B** Two Fixtures at 90°  
**C** Two Fixtures at 180°  
**D** Three Fixtures at 90°  
**F** Four Fixtures at 90°  
**P** Tenons only

#### FIXTURE TYPE

- 0** None, tenon only  
**2** ASB-F, RSB-RCS/RCL, WL, MXC, SL, CRT1, CM, CM2

#### OPTION

- BLANK** Standard  
**GL** Hot Dip Galvanized

#### FINISH

- DB** Dark Bronze  
**BR** Black  
**WH** White  
**PS** Platinum Silver  
**00** Natural Galvanized Finish

- <sup>1</sup> Consult factory for other available pole heights.  
<sup>2</sup> Only for use with optional tenon top mounting brackets or ASB mounting brackets.

### ACCESSORY: TENON TOP MOUNTING BRACKET

Catalog Number	Description
TTF-10	Single
TTF-29	Twin 90°
TTF-28	Twin 180°
TTF-39	Triple 90°
TTF-30	Triple 120°
TTF-49	Quad 90°



A HUBBELL LIGHTING, INC. COMPANY

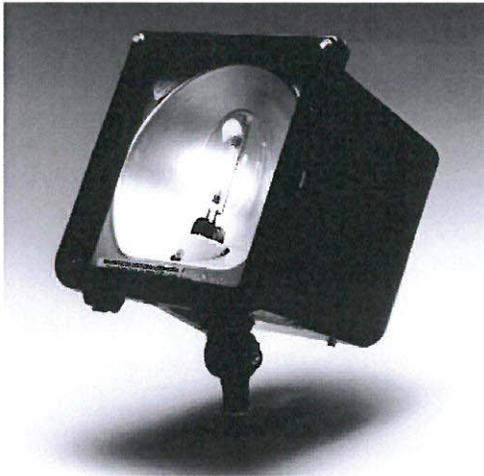
Performance Designed Lighting Products

1085 Johnson Drive • Buffalo Grove, IL 60089 • TOLL-FREE: 800-544-4848 • PHONE: 847-279-0627 • FAX: 847-279-0642

www.securitylighting.com

Rev. 1/12

## Microliter® Series



### High Pressure Sodium, Metal Halide

A compact HID floodlight for energy efficient outdoor lighting. Designed for applications such as building facades, sign lighting, display, landscape lighting, general and security lighting.

- Die cast aluminum construction
- Tempered glass lens
- 1/2" threaded knuckle mounting (1/2-14 NPS)
- High temperature silicone gasketing
- Rotatable optics
- Medium base lamps included
- One piece hydroformed parabolic reflector
- Exclusive Anodal® reflector finish
- NPF or HPF ballasts
- Tamper resistant screws, captive
- Hubbell Gard® treated external hardware
- Bronze Lektrocote® finish
- UL 1598 wet location listed
- CSA Certified for outdoor and indoor use

### ORDERING INFORMATION - Lamp included.

Catalog Number <sup>1</sup>	Watts	NEMA Beam Spread H° x V°	Lamp Type	Voltage	Weight		EPA		Ballast Type <sup>2</sup>
					lbs.	kg	ft. <sup>2</sup>	m <sup>2</sup>	
<b>NORMAL POWER FACTOR, HIGH PRESSURE SODIUM</b>									
MIC-0050S-651	50	5 (95°) x 6 (111°)	Coated	120 NPF	8	3.7	.71	.1	RX
MIC-0070S-651	70	5 (90°) x 6 (102°)	Coated	120 NPF	9	4.1	.71	.1	RX
MIC-0100S-651	100	5 (71°) x 3 (34°)	Clear	120 NPF	9	4.1	.71	.1	RX
MIC-0150S-651	150	5 (71°) x 3 (34°)	Clear	120 NPF	10	4.6	.71	.1	RX
<b>HIGH POWER FACTOR, HIGH PRESSURE SODIUM</b>									
MIC-0050S-259	50	5 (95°) x 6 (111°)	Coated	120/277 <sup>4</sup>	10	4.6	.71	.1	AL
MIC-0070S-256	70	5 (90°) x 6 (102°)	Coated	120/277/347 <sup>3</sup>	11	5.0	.71	.1	AL
MIC-0070S-258	70	5 (90°) x 6 (102°)	Coated	120/208/240/277 <sup>4</sup>	11	5.0	.71	.1	AL
MIC-0100S-256	100	5 (71°) x 3 (34°)	Clear	120/277/347 <sup>3</sup>	13	5.9	.71	.1	AL
MIC-0100S-258	100	5 (71°) x 3 (34°)	Clear	120/208/240/277 <sup>4</sup>	13	5.9	.71	.1	AL
MIC-0150S-256	150	5 (71°) x 3 (34°)	Clear	120/277/347 <sup>3</sup>	14	6.4	.71	.1	AL
MIC-0150S-258	150	5 (71°) x 3 (34°)	Clear	120/208/240/277 <sup>4</sup>	14	6.4	.71	.1	AL
<b>HIGH POWER FACTOR, METAL HALIDE</b>									
MIC-0070H-326	70	2 (22°) x 2 (19°)	Clear	120/277/347 <sup>3</sup>	11	5.0	.71	.1	AL
MIC-0070H-328	70	2 (22°) x 2 (19°)	Clear	120/208/240/277 <sup>4</sup>	11	5.0	.71	.1	AL
MIC-0070H-356	70	5 (81°) x 4 (60°)	Clear	120/277/347 <sup>3</sup>	11	5.0	.71	.1	AL
MIC-0070H-358	70	5 (81°) x 4 (60°)	Clear	120/208/240/277 <sup>4</sup>	11	5.0	.71	.1	AL
MIC-0100H-326	100	2 (27°) x 3 (32°)	Clear	120/277/347 <sup>3</sup>	13	5.9	.71	.1	AL
MIC-0100H-328	100	2 (27°) x 3 (32°)	Clear	120/208/240/277 <sup>4</sup>	13	5.9	.71	.1	AL
MIC-0100H-356	100	5 (86°) x 4 (62°)	Clear	120/277/347 <sup>3</sup>	13	5.9	.71	.1	AL
MIC-0100H-358	100	5 (86°) x 4 (62°)	Clear	120/208/240/277 <sup>4</sup>	13	5.9	.71	.1	AL
MIC-0175H-336	175	3 (32°) x 3 (36°)	Clear	120/277/347 <sup>3</sup>	14	6.4	.71	.1	CWA
MIC-0175H-338	175	3 (32°) x 3 (36°)	Clear	120/208/240/277 <sup>4</sup>	14	6.4	.71	.1	PLA
MIC-0175H-356	175	6 (103°) x 5 (81°)	Clear	120/277/347 <sup>3</sup>	14	6.4	.71	.1	CWA
MIC-0175H-358	175	6 (103°) x 5 (81°)	Clear	120/208/240/277 <sup>4</sup>	14	6.4	.71	.1	PLA
<b>NORMAL POWER FACTOR, MERCURY VAPOR</b>									
MIC-0100C-651	100	5 (90°) x 6 (102°)	Coated	120 NPF	9	4.1	.71	.1	AL

1. Lamp included

2. Ballasts are Class H, -40°F starting (HPS), -30°F starting (MH).

3. Luminaires are shipped wired for 347V.

4. Luminaires are shipped wired for 277V, easily changed to other voltages in the field.

Note: Order accessories separately. For electrical data see Technical Section - HID Ballasts.



# Microliter® Series

Sample Catalog Number

## MICROLITER SERIES CATALOG LOGIC

<b>MIC</b>	<b>- 0100</b>	<b>S</b>	<b>- 2</b>	<b>5</b>	<b>8</b>	<b>- PC</b>
series	wattage	lamp type	ballast type	beam distribution	voltage	options

### WATTAGE

<b>0050</b>	50W HPS
<b>0070</b>	70W HPS / 70 MH
<b>0100</b>	100W HPS / 100 MH / 100 MV
<b>0150</b>	150W HPS
<b>0175</b>	175W MH

### LAMP TYPE

<b>S</b>	High Pressure Sodium
<b>H</b>	Metal Halide
<b>C</b>	Mercury Vapor

### BALLAST TYPE

<b>2</b>	HPF
<b>3</b>	HPF
<b>6</b>	NPF

### BEAM DISTRIBUTION

<b>2</b>	Narrow (Type 2) 70 and 100W MH only.
<b>3</b>	Narrow (Type 3)
<b>5</b>	Wide (Type 5)

### VOLTAGE

<b>1</b>	120V NPF
<b>6</b>	Tri-Tap 120/277/347V (HPF only). Wired 347V <sup>2</sup>
<b>8</b>	Quad-Tap 120/208/240/277V (HPF only) Wired 277V <sup>2</sup>
<b>9</b>	Dual-Tap 120/277V 50 HPS (HPF only)

### OPTIONS <sup>2</sup>

<b>PC</b>	Photocontrol (120V only)
-----------	--------------------------

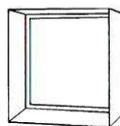
Note: Order accessories separately. See Accessories.

1. Factory installed option, must be ordered with the fixture by adding the appropriate suffix.
2. Units with PC option wired 120V.

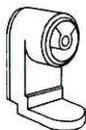
## ACCESSORIES - Must be ordered separately

Catalog Number	Description	Weight	
		lbs.	kg
<b>MIC-GS-2<sup>1</sup></b>	Glare shield (360°) bronze	.8	.3
<b>MIC-TB</b>	Crossarm trunnion box. Half yoke with large wiring box for mounting to any flat surface.	.8	.3
<b>MIC-SPC-2<sup>1</sup></b>	Polycarbonate shield assembly.	—	—
<b>S-302-M51</b>	Pole top slipfitter for 1/2" swivel knuckle. Slipfits 2 3/8" OD pipe. Bronze finish.	.8	.3

1. For independent use only, consult factory for combinations.



MIC-GS-2



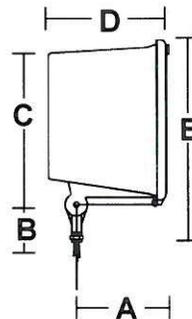
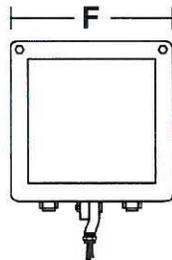
MIC-TB



MIC-SPC-2



S-302-M51



Microliter Series

A	B	C	D	E	F
4-7/8"	12-1/2"	9-1/4"	7-3/8"	12-1/8"	9-1/4"
124 mm	64 mm	235 mm	187 mm	308 mm	235 mm



PROJECT :
TYPE :
ORDERING # :
COMMENTS :

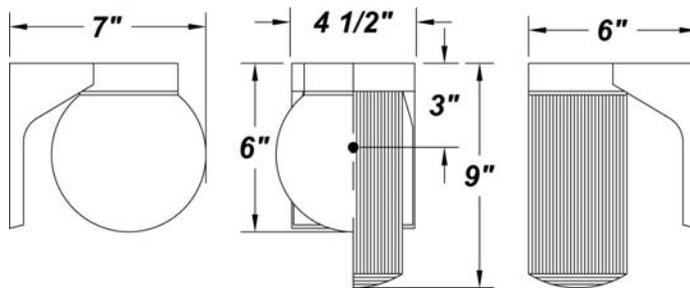
**NIBLICK**



COMPACT FLUORESCENT

**FEATURES**

- Brushed Chrome Housing
- Clear Ribbed Polycarbonate Jar Diffuser
- Lamps Included
- Mounts Directly to 4" Junction Box (By Others)
- Mounting Hardware Included
- ETL Listed Wet Location



**ORDERING INFORMATION**

Example : (NK113 - 120N - 41K) Chrome is Standard Finish

PRODUCT	SOURCE/WATTAGE	VOLTAGE	DIFFUSER	FINISH	OPTIONS
Niblick	NK113Q - (1) 13W Q 2-Pin Biax Magnetic Only (Globe Required) NK113 - (1) 13W 2-Pin Biax Magnetic Only NK118Q - (1) 18W QE NK126Q - (1) 26W QE	120N - 120V NPF Magnetic 120E - 120V Electronic  NOTE: 277V Magnetic or Electronic NOT Available	JC - Clear Jar Polycarbonate Lens (Standard) JW - White Jar Polycarbonate Lens GC - Clear 6" Ribbed Polycarbonate Globe GW - White 6" Polycarbonate Globe	CH - Chrome (Standard) SM - Matte Silver TB - Textured Black AC - Antique Copper AS - Antique Silver BT - Bronze Mist CP - Copper KC - Kenworth Chrome SN - Sand SW - Swedish Steel BZ - Textured Bronze TW - Textured White  RAL Colors or Custom Match - Consult Factory	41K - 4100K Color Temp. 35K - 3500K Color Temp. 27K - 2700K Color Temp. (Standard) F - Fused PCL120 - Photocell 120V

**REPLACEMENT PARTS** PART NO.

Clear Ribbed Jar Polycarbonate Diffuser	34024
White Ribbed Jar Polycarbonate Diffuser	3402460
Clear 6" Ribbed Polycarbonate Globe Diffuser	34030
White 6" Polycarbonate Globe Diffuser	3402960

**NOTES**

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

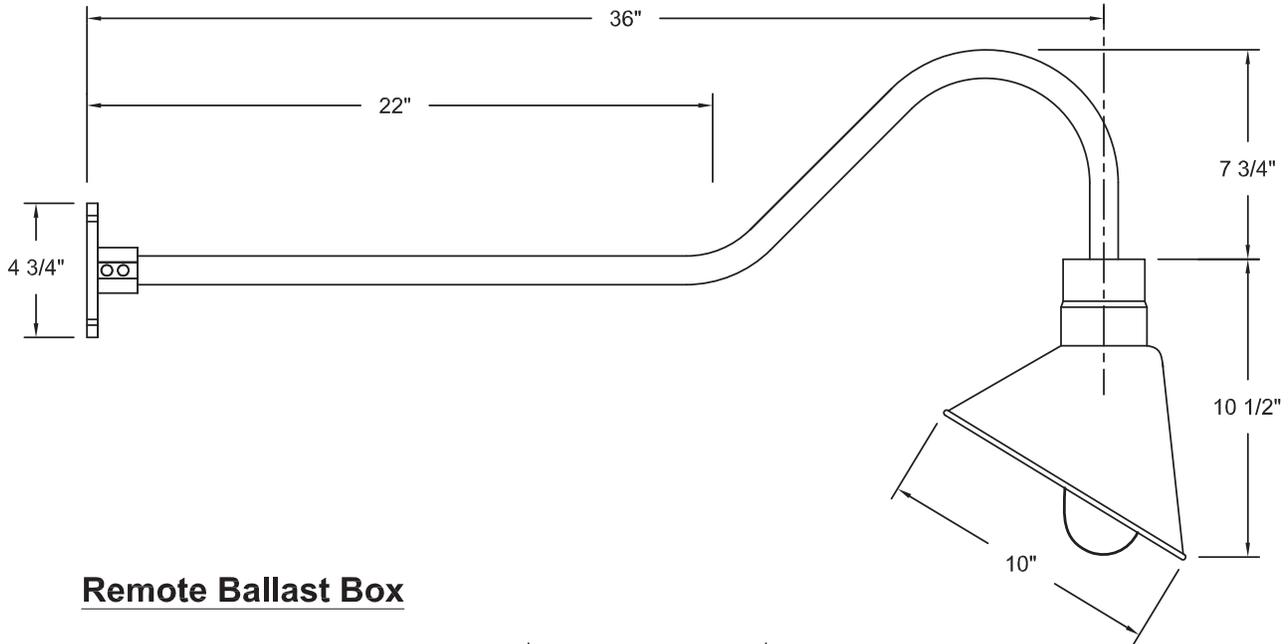




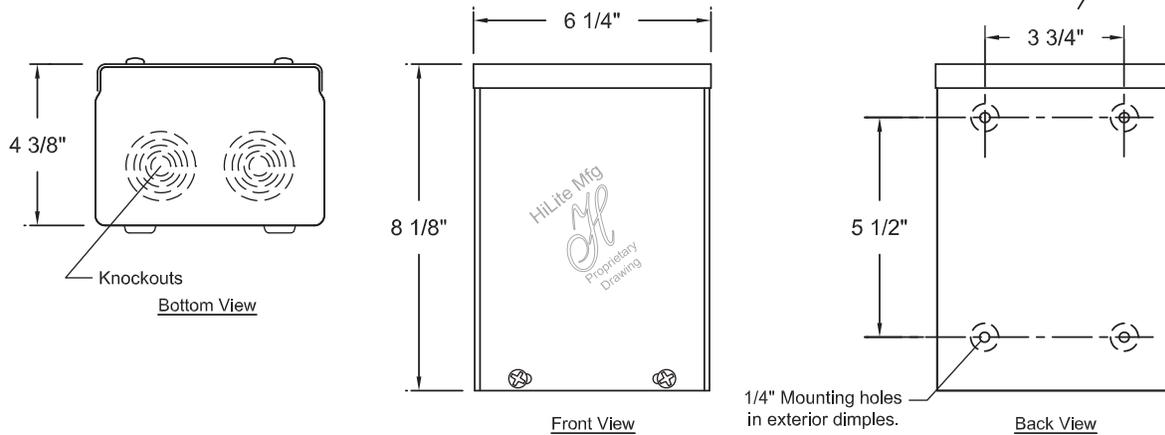
# HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue  
 Chino, California 91710  
 Telephone: (909) 465-1999  
 Toll Free: (800) 465-0211  
 Fax: (909) 465-0907  
 www.hilitemfg.com

Job Name:	Popeyes
Type:	H
Quantity:	



## Remote Ballast Box



Item Number	Wattage	Voltage
H-811/C/GU/602-100MH	100W/MH	120, 208, 240, 277V

**Material**  
 Aluminum

**Finish**  
 602 (Evergreen)

**Lamp/Socket**  
 1- Medium Base 4-KV  
 Metal Halide

**Mounting**  
 Wall Mounted

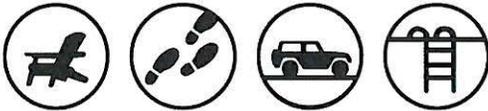
Note: Do not remove ballast from enclosure. Do not mount ballast more than 10' from socket. If further distance is required, a long range ignitor/ballast is available at an extra cost.

# Aqua - Bric

TRANSITIONAL COLLECTION 



## APPLICATIONS



TRANSITIONAL COLLECTION 

Basic in form, with a clean, modular shape, Aqua-Bric® permeable pavers are an attractive, yet practical choice, easily adaptable to a wide range of design options. Strength and durability are combined with environmental compatibility, reducing water run-off, and ADA compliance for [Floor or Ground Surface standards](http://www.ada.gov/regs2010/2010ADAStandards/2010ADAstandards.htm#pgfid-1006158) (<http://www.ada.gov/regs2010/2010ADAStandards/2010ADAstandards.htm#pgfid-1006158>).

## SPECS

### AQUA-BRIC

4-15/16 x 9 7/8 x 3 1/8



*Square foot varies depending on installation. All measurements are approximate.  
Contact your local Belgard dealer for details.*

## COLOR

### FOSSIL BEIGE



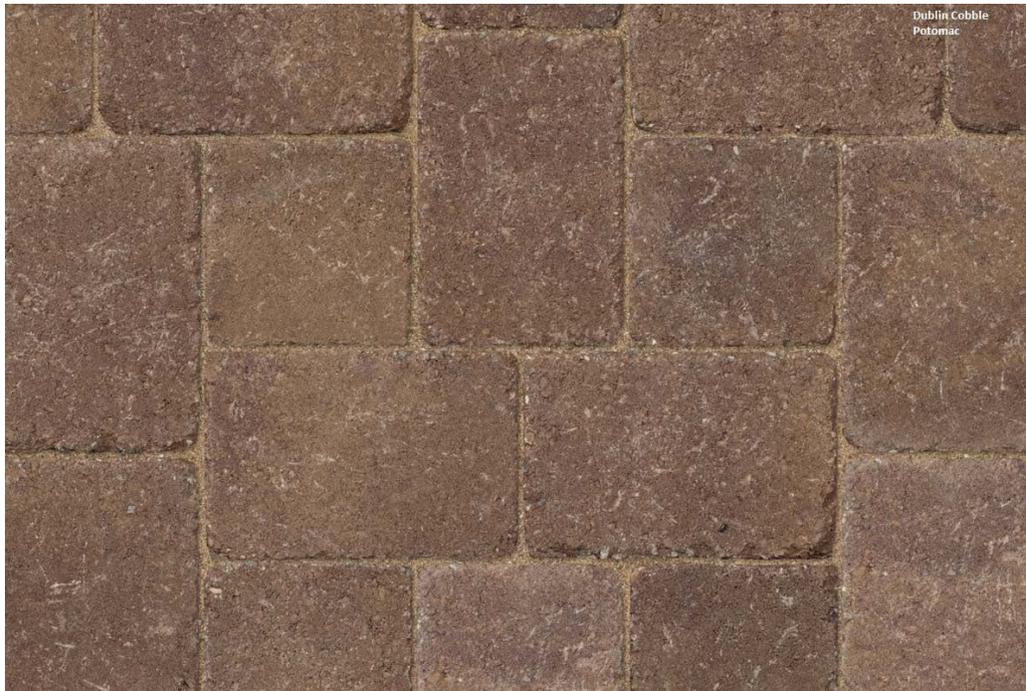


## ALTERNATE COLORS

### LOW COUNTRY



### POTOMAC



# ELECTRIC VEHICLE CHARGING STATION

## TURNING GARAGES INTO FILLING STATIONS OF THE FUTURE

MODEL EVSE-RS

### FEATURES

- Industry standard SAE-J1772 connector
- Auto restart in event of power outage
- Americans with Disabilities Act (ADA) compliant installation
- Integrated cable stowage
- Underwriters Laboratory (UL) listed
- Breakaway safety cable
- Optional pedestal mount configurations
- Network communication options (EVSE-RS+)

### SERVICE AND INSTALLATION

- Expanding network of independent certified, trained electricians\*
- Convenient customer site assessments and installation
- Electricians with local code and permitting knowledge



The EVSE-RS Charging Station charges all SAE J1772-compliant vehicles – including both electric vehicle (EV) and plug-in hybrid (PHEV) models – in the convenience of the home garage, workplace, condominium, apartment, or retail parking structure. The Home Charging Station safely and reliably delivers AC power to the vehicle's on-board charger and features a weather-resistant NEMA 3R enclosure for indoor and outdoor installations.

The EV Charging Station can be installed by one of our independent certified licensed electricians who also facilitate necessary permitting and inspection, and provide information about EVSE-RS use to the customer. An optional module is available to enable WiFi, Zigbee, or cellular network connectivity.

SPECIFICATION	EVSE-RS
Connector	SAE J1772 compliant
Voltage	208VAC to 240VAC
Frequency	60/50Hz
Output Current	30A max
Input Current	40A max
Operating Temperature	-22°F to 122°F -30°C to 50°C
Storage/Transit Temperature	-40°F to 140°F -40°C to 60°C
Relative Humidity	Up to 95% non-condensing
Dimensions	12" x 12" x 8" (approximate)
Weight	10 lbs. (excl. cable)
Cord Length	Up to 25' available
Enclosure	NEMA 3R
Regulatory Compliance	UL, cUL, CE, CTick listed

Information and specifications subject to change.

\* Installation services available in certain areas;  
contact AV for additional information.





**ADDRESSING NOTES:**

1. THE STREET ADDRESS WILL NEED TO BE POSTED ON ANY NEW SIGNAGE AND BE VISIBLE FROM THE STREET.
2. THE COLOR OF THE ADDRESS NUMBERS MUST CONTRAST WITH THE BACKGROUND MATERIAL.
3. ADDRESS MUST BE POSTED WITHIN 20 FEET OF THE PROPERTY LINE AND CLEARLY VISIBLE FROM THE STREET.
4. NUMBERS ARE TO BE REFLECTIVE.
5. NUMBERS ARE TO BE A MINIMUM OF 4 INCHES IN HEIGHT.
6. NUMBERS ARE TO BE A MINIMUM OF 1/4 INCH IN WIDTH.

**FLOOD NOTE:**

1. THIS SITE IS SHOWN TO BE WITHIN AN AREA OF FLOOD HAZARD AS DEPICTED ON FEMA FIRM PANEL NUMBER 450250 0013 D REVISED SEPTEMBER 29, 1986.
2. THE SITE FALLS WITHIN AN A7 (14) FLOOD ZONE PER THE OFFICIAL TOWN OF HILTON HEAD FIRM ZONE MAP.

**URBAN DESIGN NOTE:**

1. DUMPSTER ENCLOSURE TO COMPLEMENT BUILDING ARCHITECTURE IN COLOR AND MATERIALS AND SHOULD INCLUDE LANDSCAPE SCREENING AS WELL.

**DEVELOPMENT NOTES**

1. THIS PROJECT WILL REQUIRE A MAJOR DEVELOPMENT PLAN REVIEW APPLICATION PURSUANT TO LMO APPENDIX D-4.
2. STANDARD PARKING SPACES SHALL BE 9' X 18'. COMPACT SPACES SHALL BE 9' X 15'.
3. WHEEL STOPS ARE REQUIRED AT THE END OF ALL PARKING SPACES WHERE THERE IS NO CURBING.
4. PARKING SPACES SHALL BE MARKED WITH WHITE PAINTED LINES, EXCEPT WHERE ACCESSIBILITY REQUIREMENTS REQUIRE THAT SPACES BE DELINEATED IN BLUE. PAINTED YELLOW LINES ARE FOR MARKING "NO PARKING" AREAS.

**SITE DATA:**

TOTAL SITE AREA	61,336 SF = 1.409 ACRES
TOTAL DISTURBED AREA	45,255 SF = 1.04 ACRES
EXG. IMPERVIOUS AREA (INC. PRE-EX BLDG)	35,280 SF = 0.81 ACRES
PROP. LOT COVERAGE	28,867 SF = 0.66 ACRES
PERCENT LOT COVERAGE	47.1%
PROP. IMPERVIOUS AREA	25,793 SF = 0.59 ACRES
PERCENT IMPERVIOUS	42.1%
PROP. PAVERS AREA	3,074 SF = 0.07 ACRES
TOTAL BUILDING SQUARE FOOTAGE	2,695 SF
MAXIMUM ALLOWABLE DENSITY	10,000 GFA/NET ACRE
PROPOSED DENSITY	1,913 GFA/NET ACRE

**ZONING**

EXISTING ZONING	C-2
-----------------	-----

**PARKING**

RESTAURANT	
MIN. PARKING REQUIRED	1 SPACE/100 GSF = 27 SPACES
PARKING PROVIDED	29 SPACES
BICYCLE PARKING REQUIRED	11 SPACES
BICYCLE PARKING PROVIDED	12 SPACES

**BUILDING SETBACKS**

ALONG MAJOR ARTERIAL STREET (HWY 278)	50 FEET
ALONG OTHER STREETS (PARK LANE)	20 FEET
SIDE YARD	20 FEET

**BUILDING HEIGHT**

MAXIMUM BUILDING HEIGHT ALLOWED	45 FEET
BUILDING HEIGHT PROPOSED	26.5' FEET



P.O. BOX 921503 NORCROSS, GA 30010  
(770) 729-1631 FAX (770) 864-1831  
www.ecowise-inc.com

**Popeye's Louisiana Kitchen**

FOR  
**NCT Restaurants**  
73 SKULL CREEK DRIVE  
HILTON HEAD, SC 29926  
(210) 410-3668



TOWN OF HILTON HEAD  
BEFORE  
JUDITH CAROLINA

15 PARK LANE



SCALE: 1" = 20'  
DATE: NOV. 24, 2014  
PROJECT: 14-036

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
-1	12/8/14	PL	TOWN COMMENTS
-2	12/20/14	PL	TOWN & CLIENT COMMENTS
-3	1/21/15	PL	DRB COMMENTS

This drawing is the property of EcoWise Civil Design and Consulting, Inc. and is not to be reproduced without permission from EcoWise Civil Design and Consulting, Inc. This drawing is to be used for this project only.

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

SOUTH CAROLINA TEMPORARY PERMIT NO. 2014025 ISSUED NOV. 10, 2014

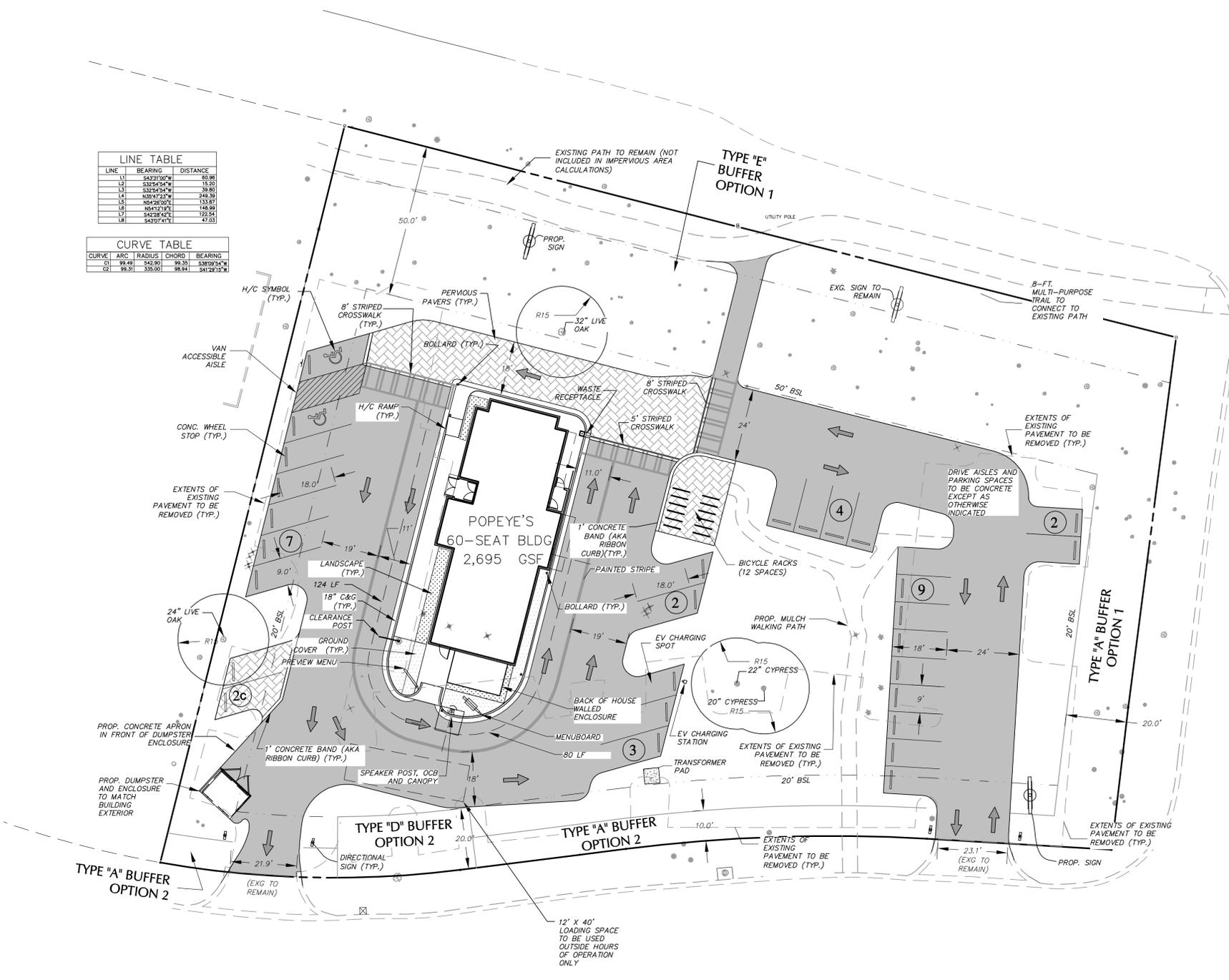
**CONCEPTUAL SITE PLAN**

**CSP 6**

SHEET TITLE AND NUMBER

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

SOUTH CAROLINA TEMPORARY COA PERMIT NO. 20140017 ISSUED NOV. 10, 2014



**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S42°31'50"W	62.98
L2	S33°24'54"W	15.20
L3	S33°24'54"W	39.80
L4	N30°47'22"W	244.50
L5	N65°26'00"E	133.87
L6	N04°17'19"E	148.99
L7	S42°28'34"E	122.54
L8	S43°07'41"E	47.03

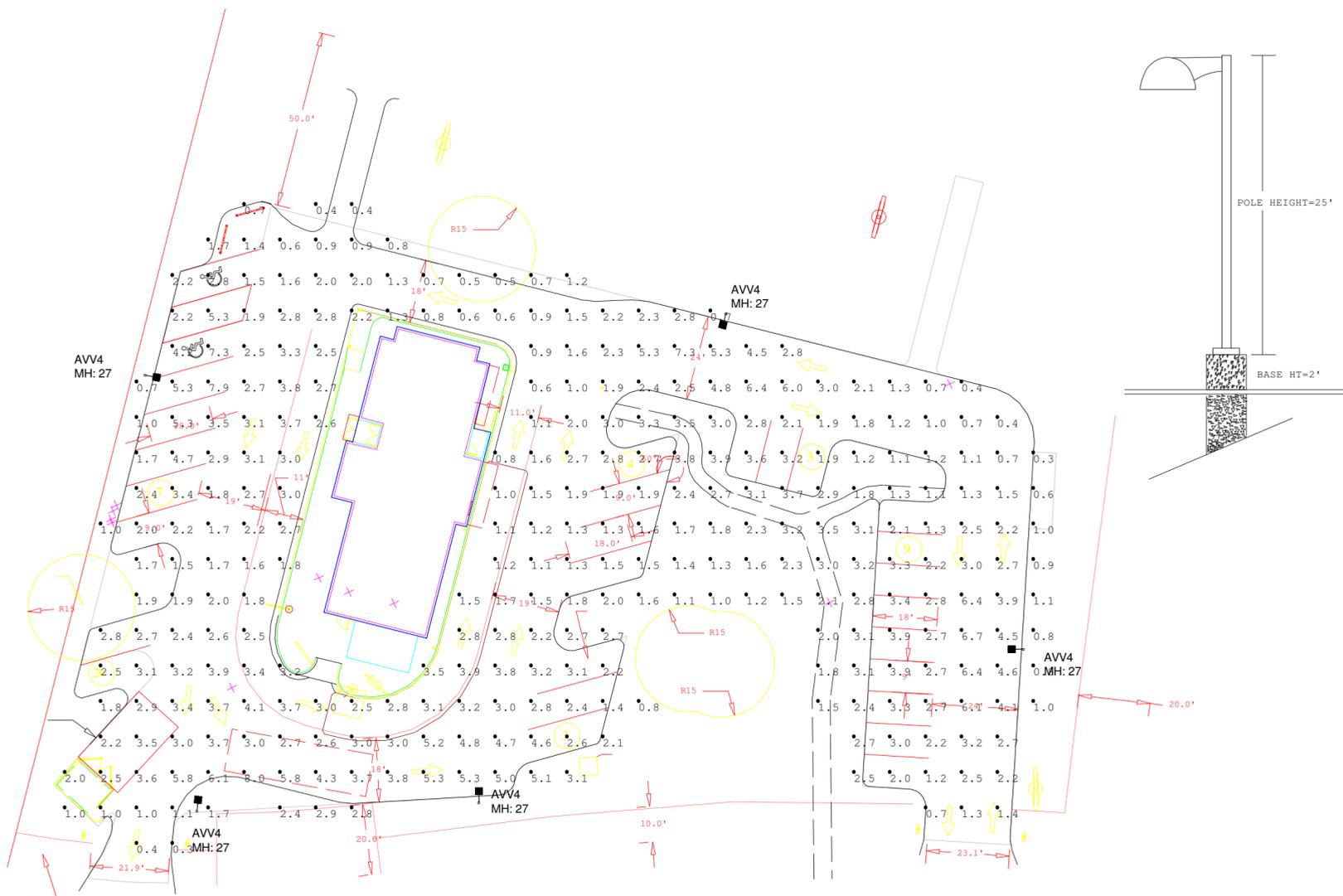
**CURVE TABLE**

CURVE	ARC	RADIUS	CHORD	BEARING
C1	99.49	441.90	99.30	S89°06'54"W
C2	99.31	336.00	98.84	S41°29'12"W

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
□	5	AVV4	SINGLE	44000	0.750	2250	AVV40640-M 400W PSMH W/ SBL-AVV20EBZ BACKLIGHT SHIELD

Pole Schedule:  
 (5) CL-SSP-4011-25-D1 (25' X 4" STEEL SQUARE POLE)  
 (5) SBL-AVV20EBZ (BACKLIGHT SHIELD)  
 PROPOSED POLES MEET 110 MPH SUSTAINED WINDS.

Footcandles calculated using predicted lumen values after 50K hours of operation					
Label	Avg	Max	Min	Avg/Min	Max/Min
Grade	2.50	8.0	0.3	8.33	26.67



Xref Exist.dwg



1200 92nd Street - Sturtevant, WI 53177  
 www.cree.com - (800) 236-6800

Project Name: POPEYE'S - Hilton Head Island, SC

Customer No: 01926

Date: 1/14/2015

Scale: 1"=30'

Footcandles calculated at grade

Filename: V:\Common\AppEng\NAT\POP-HHCTNG.AGI

Layout by: TIFFANY GENTRY

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

**ADDRESSING NOTES:**

1. THE STREET ADDRESS WILL NEED TO BE POSTED ON ANY NEW SIGNAGE AND BE VISIBLE FROM THE STREET.
2. THE COLOR OF THE ADDRESS NUMBERS MUST CONTRAST WITH THE BACKGROUND MATERIAL.
3. ADDRESS MUST BE POSTED WITHIN 20 FEET OF THE PROPERTY LINE AND CLEARLY VISIBLE FROM THE STREET.
4. NUMBERS ARE TO BE REFLECTIVE.
5. NUMBERS ARE TO BE A MINIMUM OF 4 INCHES IN HEIGHT.
6. NUMBERS ARE TO BE A MINIMUM OF 1/4 INCH IN WIDTH.

**FLOOD NOTE:**

1. THIS SITE IS SHOWN TO BE WITHIN AN AREA OF FLOOD HAZARD AS DEPICTED ON FEMA FIRM PANEL NUMBER 450250 0013 D REVISED SEPTEMBER 29, 1986.
2. THE SITE FALLS WITHIN AN A7 (14) FLOOD ZONE PER THE OFFICIAL TOWN OF HILTON HEAD FIRM ZONE MAP.

**URBAN DESIGN NOTE:**

1. DUMPSTER ENCLOSURE TO COMPLEMENT BUILDING ARCHITECTURE IN COLOR AND MATERIALS AND SHOULD INCLUDE LANDSCAPE SCREENING AS WELL.

**DEVELOPMENT NOTES**

1. THIS PROJECT WILL REQUIRE A MAJOR DEVELOPMENT PLAN REVIEW APPLICATION PURSUANT TO LMO APPENDIX D-4.
2. STANDARD PARKING SPACES SHALL BE 9' X 18'. COMPACT SPACES SHALL BE 9' X 15'.
3. WHEEL STOPS ARE REQUIRED AT THE END OF ALL PARKING SPACES WHERE THERE IS NO CURBING.
4. PARKING SPACES SHALL BE MARKED WITH WHITE PAINTED LINES, EXCEPT WHERE ACCESSIBILITY REQUIREMENTS REQUIRE THAT SPACES BE DELINEATED IN BLUE. PAINTED YELLOW LINES ARE FOR MARKING "NO PARKING" AREAS.

**PLANT LIST**

PLANT SYMBOL / NAME	GENUS / SPECIE	QUANTITY	SIZE	NOTE
AJ / Asiatic Jasmine	Trachelospermum asiaticum	205	5 - 1' height	
AN / Yellow Anise	Illicium parviflorum	9	4 - 5' height	
BB / Bottlebrush	Callistemon citrinus	3	4 - 5' height	
DB / Dwarf Burford Holly	Ilex burfordii nana	10	2 - 2.5' height	
EG / Ev Giant Liriope	Liriope muscari 'ev. giant'	100	5 - 1' height	
FA / Formosa Azalea	Azalea indica 'formosa'	38	2 - 3' height	
FV / Fragrant Viburnum	Viburnum odoratissimum	19	2 - 3' height	
HF / Holly Fern	Cyrtomium falcatum	21	1 - 1.5' height	
LO / Live Oak	Quercus virginiana	2	8 - 10' height	
PC / Yew Podocarpus	Podocarpus macrophytus	11	3 - 4' height	
RC / Southern Red Cedar	Juniperus virginiana	7	5 - 6' height	
SH / Savannah Holly	Ilex opaca 'Savannah'	3	8 - 10' height	
SP / Sabal Palm	Sabal palmetto	3	12- 14' height	
SV / Sandankwa Viburnum	Viburnum suspensum	99	2 - 3' height	
WM / Wax Myrtle	Myrica cerifera	11	5 - 6' height	
YH / Yaupon Holly	Ilex vomitoria	36	2 - 3' height	
LAWN / Centipede	Eremochloa specie	4,500	Sod	Square Feet



**EcoWise Civil Design and Consulting, Inc.**

P.O. BOX 921503 NORCROSS, GA 30010  
(770) 729-1631 FAX (770) 864-1831  
www.ecowise-inc.com

**Popeye's Louisiana Kitchen**

FOR  
NCT Restaurants

73 SKULL CREEK DRIVE  
HILTON HEAD, SC 29926  
(210) 410-3668

TOWN OF HILTON HEAD  
BE SOUTH CAROLINA



15 PARK LANE



SCALE: 1" = 20'  
DATE: NOV. 24, 2014  
PROJECT: 14-036

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
-1	12/8/14	PL	TOWN COMMENTS
-2	12/20/14	PL	TOWN & CLIENT COMMENTS
-3	1/21/15	PL	DRB COMMENTS

This drawing is the property of EcoWise Civil Design and Consulting, Inc. and is not to be reproduced without permission from EcoWise Civil Design and Consulting, Inc. This drawing is to be used for this project only.



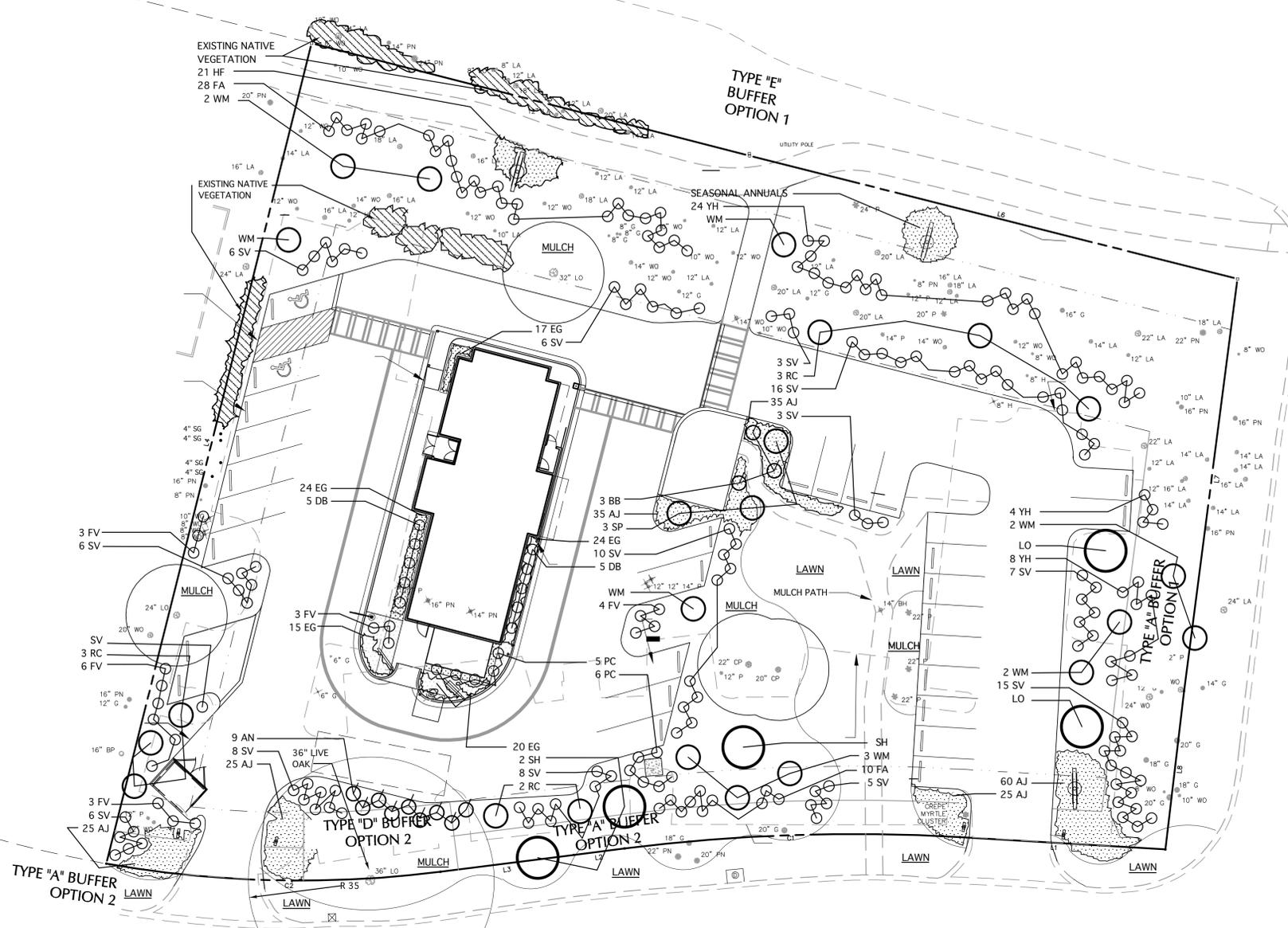
01/26/15

SC LAR LICENSE NUMBER 348

**LANDSCAPE PLAN**

**LDP • I**

SHEET TITLE AND NUMBER



**LANDSCAPE DEVELOPMENT PLAN**

SCALE: 1" = 20' - 0"

**PLAN NOTES**

1. The site is to be graded to provide run-off to drain inlets and / or swales as needed to prevent ponding or erosion.
2. All existing / new plantings and lawn are to be automatically irrigated with 100% coverage and controlled with a 'rain sensor.'
3. All existing / new plantings as well as unplanted areas are to be covered with pine needle with a thickness of no less than four inches.

**Jackson & Small Associates**  
Landscape Architecture

Alan H. Jackson, LLC Michael S. Small, LLC  
Island Postal Center PO Box 1788  
13 Bow Circle, PMB 209 Tybee Island, GA 3132  
Hilton Head Island, SC 29928 912-704-1118  
843-338-3017 [ajax16@mac.com](mailto:ajax16@mac.com) [michaelsmall.asia@gmail.com](mailto:michaelsmall.asia@gmail.com)

# SPECIFICATIONS:

## DIVISION 7: THERMAL AND MOISTURE PROTECTION

SECTION 7C: SHEET METAL WORK  
 GENERAL PROVISION  
 1. SCOPE: FURNISH AND INSTALL GRAVEL STOPS, FLASHING, PARAPET CAP, DOWNSPOUTS, AND GUTTERS.  
 A. ROOFING MEMBRANE FLASHING IS INCLUDED IN SECTION 7B: MEMBRANE ROOFING.

MATERIALS  
 1. MATERIALS SHEET METAL: .032 ALUMINUM.  
 2. NAIL FASTENERS: 1 3/4" X 11 GAUGE GALVANIZED, STAINLESS STEEL, OR ALUMINUM ROOFING NAILS MAY BE USED FOR FASTENERS INTO WOOD WHEN CONCEALED ONLY.  
 3. WASHERS: NEOPRENE  
 4. SCREW FASTENERS: CORROSION-RESISTANT, SELF-TAPPING, HEX HEAD SCREW, 1/4" MINIMUM DIAMETER WITH SUFFICIENT LENGTH TO PENETRATE 1" MINIMUM INTO WOOD OR 1/2" MINIMUM INTO STEEL. PROVIDE NEOPRENE SEALING WASHER FOR EXPOSED FASTENING.

PERFORMANCE  
 1. INSTALLATION: EXPOSED FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS. VERIFY WITH POPEYES REPRESENTATIVE.

### SECTION 7D: STANDING SEAM CANOPY

PART 1 - GENERAL  
 1.0 SUBMITTALS  
 A. SUBMIT FOR APPROVAL SAMPLES, SHOP DRAWINGS, PRODUCT DATA.  
 QUALITY ASSURANCE  
 A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

WARRANTY  
 METAL ROOF SYSTEM MANUFACTURER, UPON FINAL ACCEPTANCE FOR PROJECT, FURNISH A WARRANTY COVERING BARE METAL AGAINST RUPTURE, STRUCTURAL FAILURE AND PERFORATION DUE TO NORMAL ATMOSPHERIC CORROSION EXPOSURE FOR A PERIOD OF 20 YEARS.  
 PART 2 - PRODUCTS (UC-4 SERIES, AS MANUFACTURED AND SPECIFIED BY UNA-CLAD, METAL ROOF SYSTEMS.)  
 2.0 MATERIALS  
 A. METAL ROOF SYSTEM PROFILE:  
 1. UC-4 "NO CLIP", 1 1/2" HIGH BATTENS x 1/2" RIB TO RIB. (SMALL BATTEN-SB)  
 2. CONCEALED FASTENER  
 B. GAUGE:  
 1. .028 GAUGE - STEEL  
 C. TEXTURE:  
 1. SMOOTH.  
 D. FINISH:  
 1. PREMIUM FLUOROCARBON COATING PRODUCED WITH KYNAR 500 OR HYLAR 5000 RESIN (20 YEAR WARRANTY.)  
 E. MANUFACTURER:  
 1. UNA-CLAD OR EQUAL.

### PART 3 - EXECUTION

3.0 INSTALLATION  
 A. COMPLY WITH SMACNA SHEET METAL MANUAL RECOMMENDATIONS. COMPLY WITH ACCESSORY MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE INSTALLATION WITH ROOFING SYSTEM TO ENSURE WEATHERTIGHT PERFORMANCE.  
 B. ANCHOR SECURELY TO STRUCTURE TO WITHSTAND INWARD AND OUTWARD LOADS.  
 C. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.  
 SECTION 9G: EIFS  
 PART 1 GENERAL  
 1.01 DESCRIPTION  
 A. DESIGN REQUIREMENTS: THE STRUCTURAL WALL SYSTEM TO WHICH THE EIFS IS ATTACHED SHALL MEET L240 MAXIMUM ALLOWABLE DEFLECTION CRITERIA AND APPLICABLE BUILDING CODE REQUIREMENTS.  
 1.02 SUBMITTALS  
 A. SUBMIT SAMPLES FOR APPROVAL AS DIRECTED BY OWNER.  
 1.03 DELIVERY, STORAGE AND HANDLING  
 A. ALL EIFS MATERIALS SHALL BE DELIVERED IN THEIR ORIGINAL SEALED CONTAINERS BEARING MANUFACTURER'S NAME AND IDENTIFICATION OF PRODUCT WITH WRITTEN APPLICATION INSTRUCTIONS AND APPROPRIATE HEALTH, HAZARD, AND SAFETY DATA.  
 B. ALL EIFS READY-MIXED MATERIALS SHALL BE PROTECTED FROM EXTREME HEAT, SUN AND FROST. FACTORY PROPORTIONED BAGGED MATERIALS SHALL BE STORED OFF THE GROUND AND PROTECTED FROM MOISTURE.  
 1.04 JOB CONDITIONS  
 A. ALL EIFS MATERIALS SHALL NEVER BE APPLIED IF AMBIENT AND SURFACE TEMPERATURES CANNOT BE KEPT ABOVE 40° F DURING APPLICATION AND DRYING PERIOD. FOR INSTALLATION IN TEMPERATURES LESS THAN 40° F SUPPLEMENTARY HEAT SHALL BE PROVIDED. THE INSTALLED EIFS MATERIALS SHALL BE PROTECTED FROM EXPOSURE TO RAIN AND FREEZING UNTIL DRY.  
 1.11 WARRANTY  
 A. PROVIDE MANUFACTURER'S STANDARD LABOR AND MATERIAL WARRANTY.  
 PART 2 PRODUCTS  
 2.01 MANUFACTURERS  
 A. STO CORP.  
 B. DRYVIT SYSTEMS, INC.  
 2.02 ADHESIVES  
 A. DISPERSION ADHESIVE - NONCEMENTITIOUS, ACRYLIC BASED ADHESIVE.  
 2.03 INSULATION BOARD  
 A. NOMINAL 1.0 lb/cubic feet (16 kg/cubic meter) EXPANDED POLYSTYRENE (EPS) INSULATION BOARD IN COMPLIANCE WITH ASTM C 578 TYPE I REQUIREMENTS, AND EIMA GUIDELINE SPECIFICATION FOR EXPANDED POLYSTYRENE (EPS) INSULATION BOARD.  
 2.04 BASE COAT  
 A. ONE-COMPONENT POLYMER MODIFIED CEMENTITIOUS BASE COAT WITH FIBER REINFORCEMENT AND LESS THAN 33% PORTLAND CEMENT CONTENT BY WEIGHT.  
 2.05 REINFORCING MESHES  
 A. STANDARD MESH  
 1. STO MESH - NOMINAL 4.5 oz/sq.yd. (163 g/sq.meter), SYMMETRICAL, INTERLACED OPEN-WEAVE GLASS FIBER FABRIC MADE WITH MINIMUM 25 PERCENT BY WEIGHT ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS.  
 B. HIGH IMPACT MESH  
 1. STO INTERMEDIATE MESH (MESH C) - NOMINAL 11.0 oz/sq.yd. HIGH IMPACT, INTERWOVEN, OPEN WEAVE GLASS FIBER FABRIC WITH ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS.  
 2.06 PRIMER  
 A. STO PRIMER  
 ACRYLIC BASED PRIMER (FOR STO ACRYLIC BASED FINISHES)

2.07 FINISH COAT  
 A. STO ACRYLIC BASED TEXTURED WALL COATING. SEE E.I.F.S. FORMULAS FOR FINISH COLOR.  
 2.08 JOB MIXED INGREDIENTS  
 A. PORTLAND CEMENT: ASTM C 150, TYPE I.  
 B. WATER: CLEAN AND POTABLE.

### PART 3 EXECUTION

A. UNDER ALL CIRCUMSTANCES SHALL ANY OF THE PRODUCTS BE ALTERED BY ADDING ANY ADDITIVES, EXCEPT FOR SMALL AMOUNTS OF CLEAN WATER AS DIRECTED ON LABEL. ANTIFREEZE, ACCELERATORS, RAPID BINDERS, ETC., ARE FORBIDDEN.  
 B. THE SURFACE TO RECEIVE THE EIFS SHALL BE STRUCTURALLY SOUND, CLEAN, DRY AND FREE OF WARRPAGE, RESIDUAL MOISTURE OR DAMAGE FROM MOISTURE. SURFACES SHALL BE UNIFORM, WITH NO IRREGULARITIES GREATER THAN 1/8" IN 4'-0". SURFACES SHALL BE INSPECTED FOR COMPLIANCE WITH THE FOLLOWING REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS:  
 1. PLYWOOD SHEATHING SHALL MEET A.P.A. (AMERICAN PLYWOOD ASSOCIATION) REQUIREMENTS FOR EXTERIOR OR EXPOSURE 1 CLASSIFICATION, APA DESIGN AND CONSTRUCTION GUIDELINES SHALL BE FOLLOWED FOR STORAGE, HANDLING AND INSTALLATION. MANUFACTURER'S PUBLISHED RECOMMENDATIONS SHALL BE FOLLOWED FOR SHALL BE FOLLOWED FOR STORAGE, HANDLING, STORAGE, HANDLING, INSTALLATION AND PROTECTION. ANY SHEATHING NOT IN COMPLIANCE SHALL BE REPLACED TO CONFORM WITH SPECIFICATION REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS.  
 2. CONCRETE, MASONRY OR PLASTER SURFACES SHALL BE PROPERLY CURED AND FREE OF DIRT, DUST, OIL, GREASE, MILDEW, FUNGUS, LATENCY, PAINT, EFFLORESCENCE AND ANY OTHER CONTAMINANT. ANY SURFACES NOT IN COMPLIANCE SHALL BE CORRECTED PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF THE EIFS.  
 C. AFTER SATISFACTORY INSPECTION OF SURFACES AND CORRECTION OF ANY DEVIATIONS FROM SPECIFICATION REQUIREMENTS, THE EIFS INSTALLATION MAY BEGIN PER MANUFACTURER'S INSTRUCTIONS.  
 D. THE STARTER STRIP OF MESH SHALL BE WIDE ENOUGH TO ADHERE 4" OF MESH ONTO THE WALL, BE ABLE TO WRAP AROUND THE BOARD EDGE AND COVER APPROXIMATELY 4" ON THE OUTSIDE SURFACE OF THE BOARD. THIS "BACKWRAP" PROCEDURE SHALL BE FOLLOWED AT ALL EXPOSED BOARD EDGES IN ACCORDANCE WITH DETAILS (EXAMPLE-WINDOW AND DOOR HEADS AND JAMBS).  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

1. PLYWOOD SHEATHING SHALL MEET A.P.A. (AMERICAN PLYWOOD ASSOCIATION) REQUIREMENTS FOR EXTERIOR OR EXPOSURE 1 CLASSIFICATION, APA DESIGN AND CONSTRUCTION GUIDELINES SHALL BE FOLLOWED FOR STORAGE, HANDLING AND INSTALLATION. MANUFACTURER'S PUBLISHED RECOMMENDATIONS SHALL BE FOLLOWED FOR SHALL BE FOLLOWED FOR STORAGE, HANDLING, STORAGE, HANDLING, INSTALLATION AND PROTECTION. ANY SHEATHING NOT IN COMPLIANCE SHALL BE REPLACED TO CONFORM WITH SPECIFICATION REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS.  
 2. CONCRETE, MASONRY OR PLASTER SURFACES SHALL BE PROPERLY CURED AND FREE OF DIRT, DUST, OIL, GREASE, MILDEW, FUNGUS, LATENCY, PAINT, EFFLORESCENCE AND ANY OTHER CONTAMINANT. ANY SURFACES NOT IN COMPLIANCE SHALL BE CORRECTED PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF THE EIFS.  
 C. AFTER SATISFACTORY INSPECTION OF SURFACES AND CORRECTION OF ANY DEVIATIONS FROM SPECIFICATION REQUIREMENTS, THE EIFS INSTALLATION MAY BEGIN PER MANUFACTURER'S INSTRUCTIONS.  
 D. THE STARTER STRIP OF MESH SHALL BE WIDE ENOUGH TO ADHERE 4" OF MESH ONTO THE WALL, BE ABLE TO WRAP AROUND THE BOARD EDGE AND COVER APPROXIMATELY 4" ON THE OUTSIDE SURFACE OF THE BOARD. THIS "BACKWRAP" PROCEDURE SHALL BE FOLLOWED AT ALL EXPOSED BOARD EDGES IN ACCORDANCE WITH DETAILS (EXAMPLE-WINDOW AND DOOR HEADS AND JAMBS).  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.  
 F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.  
 G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE. WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION, THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.  
 H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.  
 I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16"; WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2'-0" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED, ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.  
 J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.  
 K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:  
 1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).  
 2. AVOID APPLICATION IN DIRECT SUNLIGHT.  
 3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.  
 4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS; COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.  
 5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER ANY GROOVES ARE CUT).  
 6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.  
 7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.  
 8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.  
 L. STO EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE. USING STO INTERMEDIATE MESH: USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT.  
 E. APPLY THE ADHESIVE TO THE BACK OF THE INSULATION BOARD. STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED AND COPYRIGHTED BY PHILIP PECORD, ARCHITECT AND MAY NOT BE REPRODUCED, COPIED, OR DULICATED WITHOUT PRIOR WRITTEN CONSENT. ANY UNAUTHORIZED USE OR DISCLOSURE OF THE PROPRIETARY INFORMATION CONTAINED HEREIN MAY SUBJECT SUCH PERSONS TO CRIMINAL AND CIVIL PENALTIES AND DAMAGES.

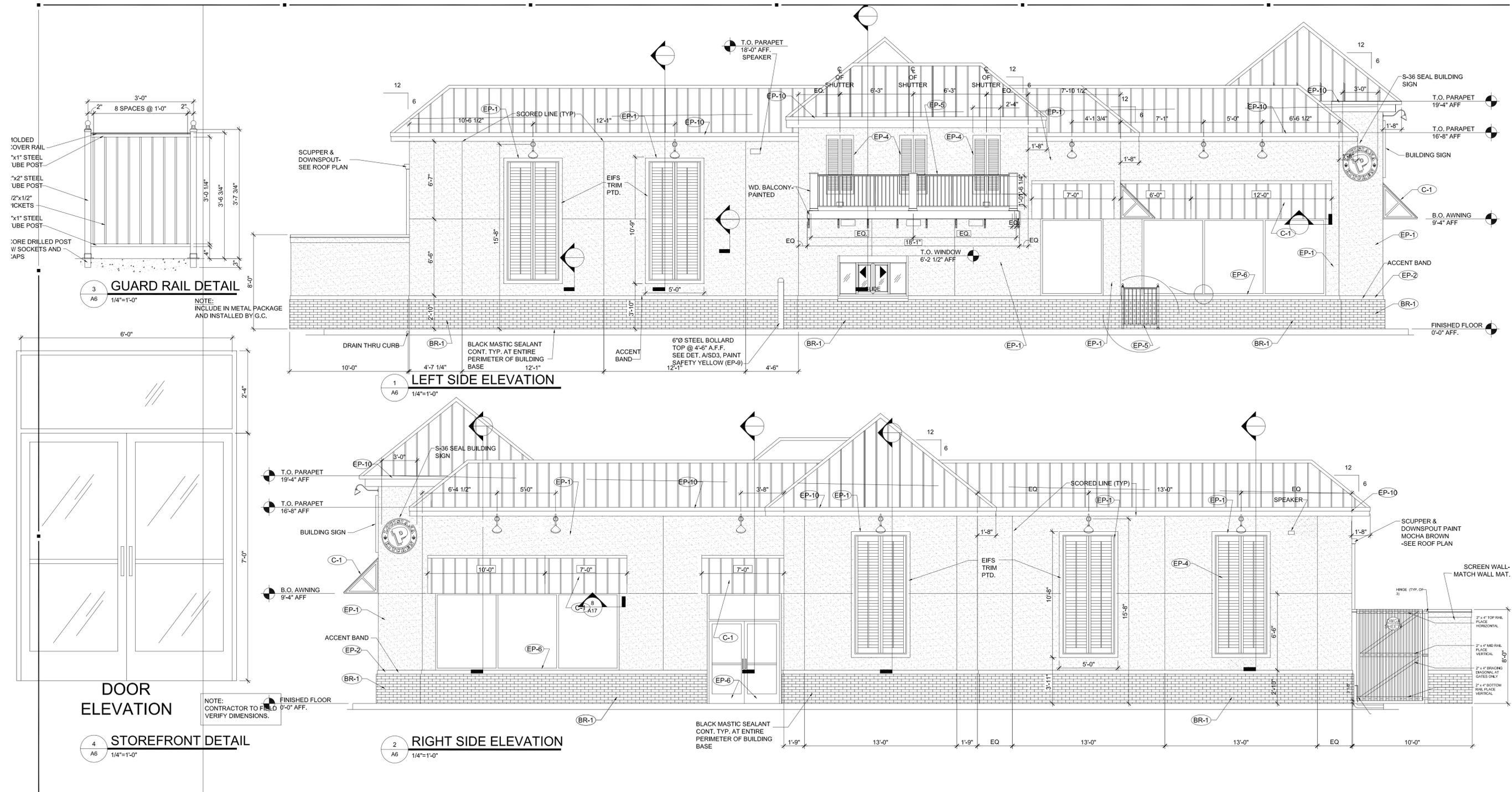
Philip Pecord, Architect  
 2342 SYON DRIVE  
 MEMPHIS, TENNESSEE 38119



POPEYES

POPEYES LOUISIANA KITCHEN  
 15 PARK ALNE  
 HILTON HEAD, S.C.

PROJECT NUMBER  
 SCALE AS SHOWN  
 SHEET NUMBER  
**A6**  
 OF  
 DATE OF ORIGINAL ISSUE  
 11/12/2014



**SPECIFICATIONS**

**SECTION 8A: ALUMINUM ENTRANCE, STOREFRONT**  
 GENERAL PROVISIONS  
 SCOPE: FURNISH AND INSTALL THE ALUMINUM ENTRANCE AND STOREFRONT SYSTEMS PER NATIONAL ACCOUNTS AND APPLICABLE DRAWINGS.  
 MATERIALS  
 1. ALUMINUM STOREFRONT AND ENTRANCE FRAMES: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.  
 2. ALUMINUM ENTRANCE DOORS: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.  
 3. PANIC HARDWARE: WHEN PANIC HARDWARE IS REQUIRED ON EXTERIOR DOORS, THE PANIC DEVICE IS ON EXTERIOR ENTRY DOORS WHEN SPECIFIED IN HARDWARE SCHEDULE.  
 4. DRIVE-THRU SERVICE WINDOW: THE DRIVE-THRU SERVICE WINDOW WILL BE SUPPLIED & INSTALLED BY G.C. VERIFY EXACT TYPE OF WINDOW WITH PLANS. BRONZE FINISH.  
 WINDOW TO BE:  
 A. BASE BID - 'QUICK SERV' M.C.E. WINDOW FLUSH MOUNT.  
 B. OPTION (VERIFY WITH OWNER) - READY ACCESS  
 5. MISCELLANEOUS FLASHING/TRIM: ALUMINUM HEAD, SILL, COLUMN AND WALL TRIM. SEE EXTERIOR ELEVATIONS FOR FINISH.  
 PERFORMANCE  
 1. INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. PLACE IN CORRECT LOCATION AS SHOWN IN THE DETAILS. LEVEL, SQUARE, AND PLUMB AT PROPER ELEVATIONS AND IN ALIGNMENT WITH OTHER WORK. MAINTAIN SPACE IN HEAD POCKET FOR 1/4" HEAD DEFLECTION. INSURE FRAMING PROFILES MEET INSTALLATION REQUIREMENTS OF GLAZING UNITS TO MAINTAIN WARRANTY. SEE SECTION 8-B: GLAZING.

**SECTION 8D: GLAZING**  
 GENERAL PROVISIONS  
 1. SCOPE: FURNISH AND INSTALL GLASS IN STOREFRONT AND DRIVE-THRU SERVICE WINDOW.  
 2. QUALITY CONTROL: ALL GLASS BROKEN DURING INSTALLATION OR DURING CONSTRUCTION PRIOR TO FINAL DELIVERY OF THE BUILDING TO THE OWNER SHALL BE REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER. GLASS SHOULD BE DELIVERED WITH LABELS PROMINENTLY DISPLAYED AND THEY SHALL BE LEFT IN PLACE UNTIL THE OWNER'S REPRESENTATIVE INSPECTS IT.  
 MATERIALS  
 1. STOREFRONT GLAZING - REFER TO CONSTRUCTION DRAWINGS AND NOTES.  
 PERFORMANCE  
 1. INSTALLATION: INSTALL GLAZING WITH MANUFACTURER'S INSTRUCTIONS TO PROVIDE COMPLIANCE WITH LOCAL CODE REQUIREMENTS INCLUDING WIND RESISTANCE, 25 PSF MIN., SNOW LOAD, 20 PSF MIN. GLAZING PANELS SHALL BE INSTALLED.  
 2. ALLOW FOR 1/4" MINIMUM HEAD DEFLECTION DUE TO LIVE LOAD.  
 3. GUARANTEES AND WARRANTIES: AT THE COMPLETION OF THE GLAZING, PROVE THE INSTALLATION WATERTIGHT BY SPRAYING ALL JOINTS WITH A GARDEN HOSE WITH NOZZLE SET FOR MAXIMUM PRESSURE. PROVIDE ADDITIONAL CAULKING OR SEALANT, OR RESET GLASS AS NECESSARY TO EFFECT A WATERTIGHT JOB.

**EXTERIOR FINISH NOTES**

E.I.F.S. WALL TEXTURE FINISH		STO COLORS	
Manuf.	Texture	NA10-0016 - DELIGHTFUL GOLDEN	
STO	STO ESSENCE SWIRL	NA01-0081 - EXOTIC RED	
DRYVIT	QUARTZ PUTZ	NA10-0017 - MOCHA BROWN	

FINISH NOTES		DRYVIT COLORS	
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:			
* STANDING SEAM ROOF		POPE051020 - DELIGHTFUL GOLDEN	
* D/T WINDOW CANOPY RAILING		POPE021028S - EXOTIC RED	
* CLEARANCE BAR		POPE031020S - MOCHA BROWN	
* MENU CANOPY			
* GUARD RAIL			
* AWNINGS			
* SHUTTERS			

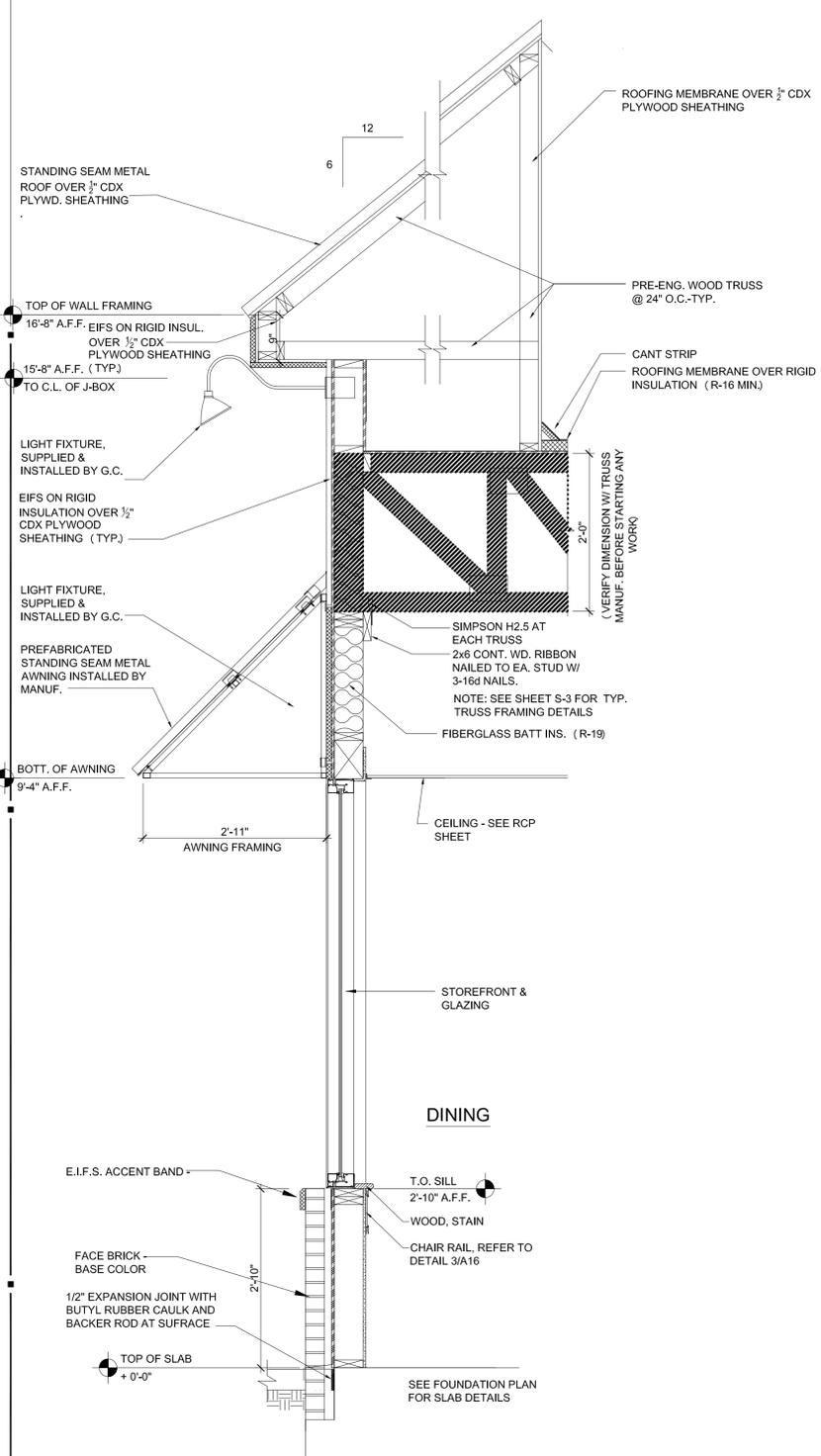
  

THE FOLLOWING COMPONENTS TO BE MANUFACTURED AND INSTALLED BY THE GENERAL CONTRACTOR	
* LADDER	
* DUMPSTER GATES	

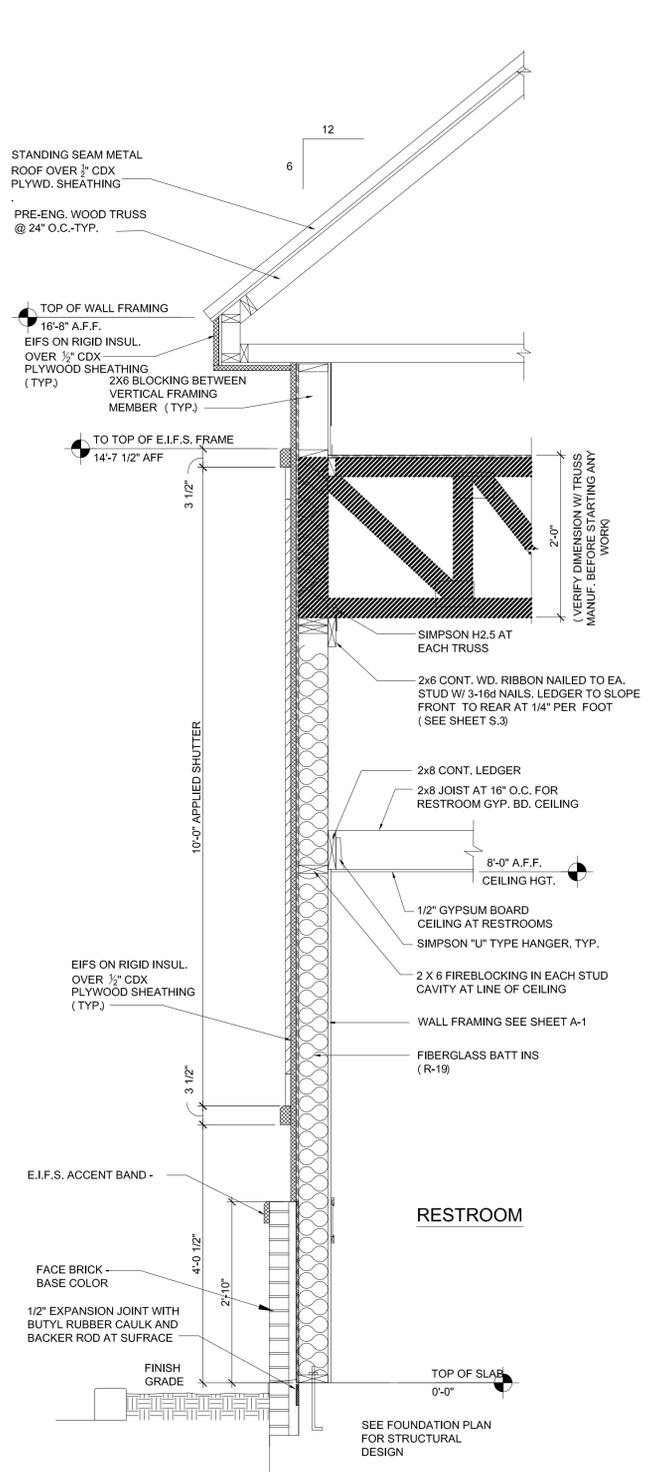
**Popeyes LK - Exterior Finish Schedule**  
 New Construction and Reimaging  
 Update: 12/15/2014

Mark	Location	Supplier / Manuf.	Material	Specification	Color	Finish / Notes
EP-1	MAIN WALL SURFACE ABOVE ACCENT TRIM	STO / DRYVIT / BENJAMIN MOORE	PAINT / EIFS FORMULA	#2158-50	MANILLA	185
EP-2	ACCENT TRIM		EIFS / METAL / PAINT	#2091-20	RUSTIC BRICK	185
EP-3	WANTSOT BELOW ACCENT TRIM	CHEROKEE BRICK & TILE CO.	BRICK	53-05-203	VELOUR BROWN	MODULAR
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	12" VINYL SHUTTERS	L2-VINYL	RAINFORREST FOLIAGE	185
EP-5	BALCONY AND RAILINGS	RAILING VENDOR / FYPON	PAINT	#2158-50	MANILLA	SMOOTH
EP-10	PARAPET CAP	STO / DRYVIT / BENJAMIN MOORE	EIFS / METAL / PAINT	#2158-60	LION YELLOW	185
EP-6	STOREFRONT GLAZING	YKK AP	ANODIZED ALUMINUM	#YBSN	DARK BRONZE	21-28 DAYS
EP-6	STOREFRONT GLAZING	BENJAMIN MOORE	METAL / PAINT	#64	RM BRONZETONE	M29
EP-7	DUMPSTER WALLS/GATES	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	M29
EP-8	BOLLARDS	BENJAMIN MOORE	METAL / PAINT	#2107-20	MOCHA BROWN	M29
EP-9	ANTI-GRAFITI	BENJAMIN MOORE	PAINT	ALIPHATIC ACRYLIC URETHANE	CLEAR GLOSS	M74-00/M75
C-1	STANDING SEAM CANOPY	BENJAMIN MOORE	PAINT	#2040-10	RAINFORREST FOLIAGE	185

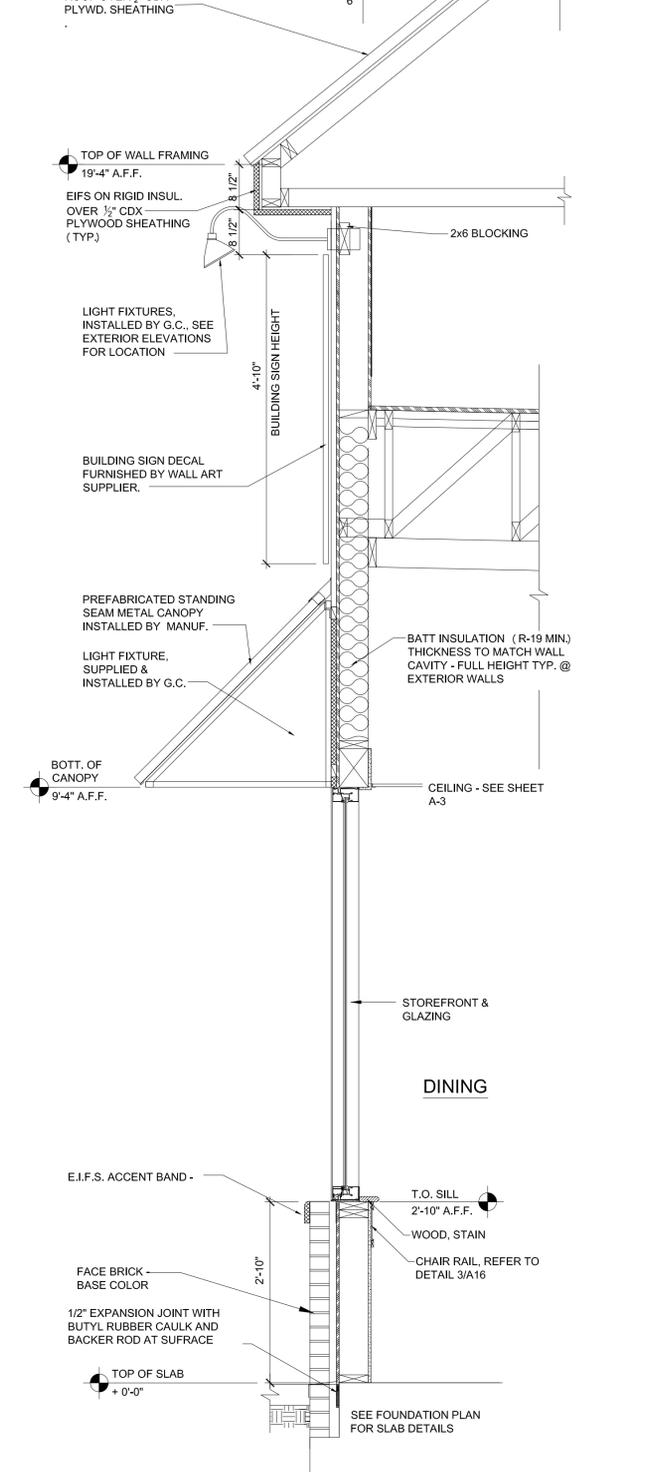
**NOTE:**  
 HATCHING INDICATES PREFAB. WOOD TRUSS @ 24" O.C. TO BE DESIGNED PER LOADS ON SHEET S-2



1 SECTION @ WINDOW  
 A9 3/4"=1'-0"



2 SECTION @ EXTERIOR SIDE WALL  
 A9 3/4"=1'-0"



3 SECTION @ EXTERIOR FRONT WALL  
 A9 3/4"=1'-0"

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED AND COPYRIGHTED BY PHILIP P. RECORD, ARCHITECT AND MAY NOT BE USED, COPIED, REPRODUCED, OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT. ANY UNAUTHORIZED USE OR DISCLOSURE OF THE PROPRIETARY INFORMATION CONTAINED HEREIN MAY SUBJECT SUCH PERSONS TO CRIMINAL AND CIVIL PENALTIES AND DAMAGES.

Phillip Record, Architect  
 2342 STON DRIVE  
 MEMPHIS, TENNESSEE 38119



POPEYES LOUISIANA KITCHEN  
 15 PARK ALNE  
 HILTON HEAD, S.C.

PROJECT NUMBER  
 SCALE AS SHOWN  
 SHEET NUMBER  
**A9**  
 DATE OF ORIGINAL ISSUE  
 11/12/2014

1. MANUFACTURER TO OBTAIN CERTIFIED STRUCTURAL ENGINEER STAMPED DRAWINGS STATING THAT THE INSTALLED CANOPY IS RATED FOR THE LOCAL WIND LOAD ZONE, WITH STATIC LOAD CAPACITY OF 20 PSG IN ADDITION TO THE WEIGHT OF THE STRUCTURE.
2. INSTALL AWNING LIGHTING TO MEET LOCAL CODES.

(2) 2x6 BLOCKING CONT. -  
COORDINATE WITH  
AWNING SUPPLIER

3/8"Ø x 4" SCREW THROUGH  
1/2" PVC SLEEVE INTO WOOD  
STRUCTURE

STANDING SEAM METAL  
ROOF AND FLASHING  
SYSTEM PER METAL ROOF  
MANUFACT.

4  
A11

1"x1"x.10" SQ. ALUMINUM TUBING  
AWNING FRAME AT 4'-0" O.C. OR  
PER MANUF. RECOMMENDATIONS.  
6063-T5 ALLOY-ESP BRONZE  
FINISH.

LIGHT FIXTURE, SUPPLIED  
& INSTALLED BY G.C.

OFFSET CLEAT & FASTENER

9'-4"±  
BOTTOM OF AWNING

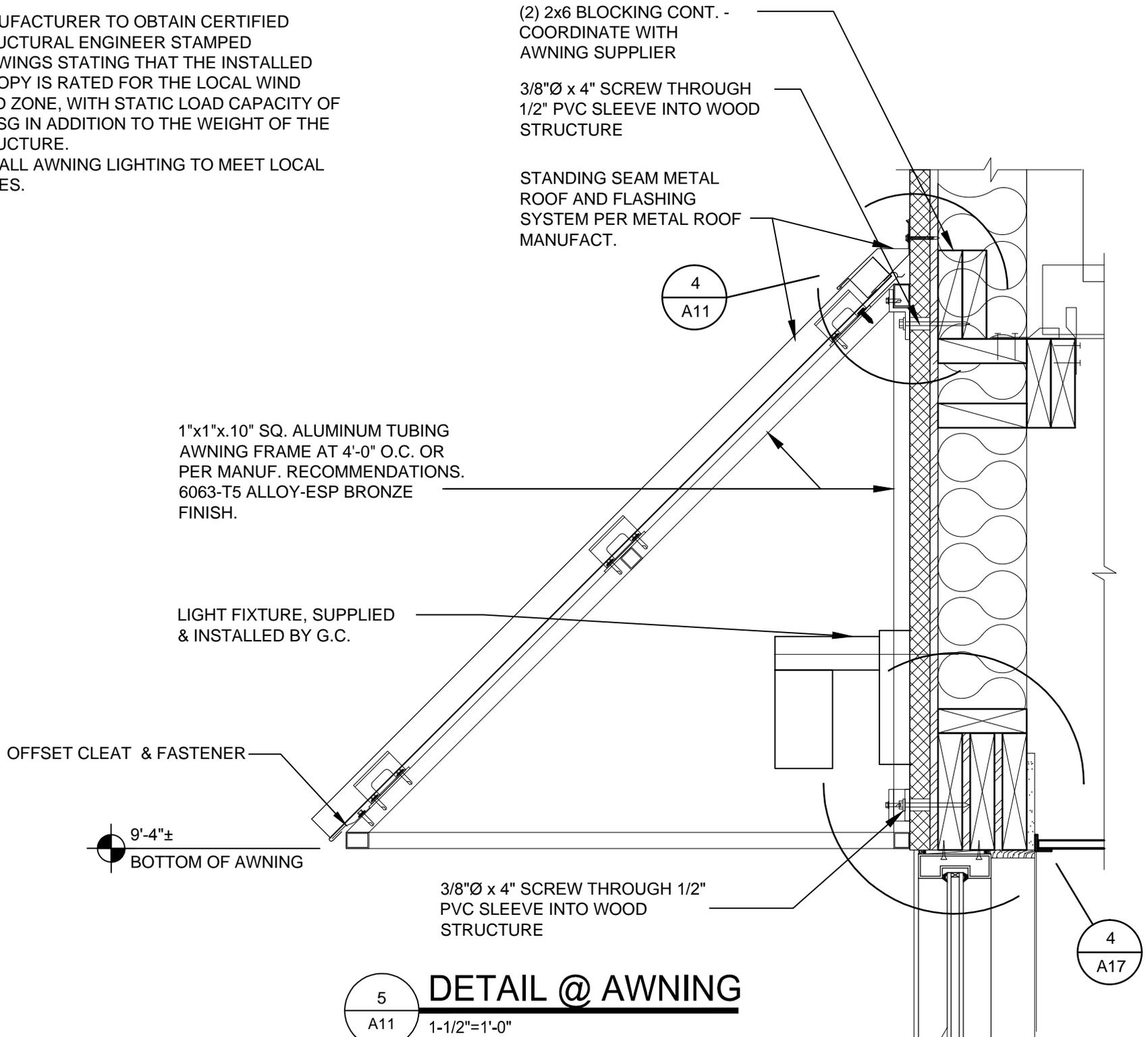
3/8"Ø x 4" SCREW THROUGH 1/2"  
PVC SLEEVE INTO WOOD  
STRUCTURE

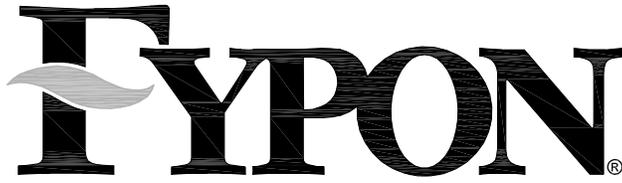
4  
A17

5  
A11

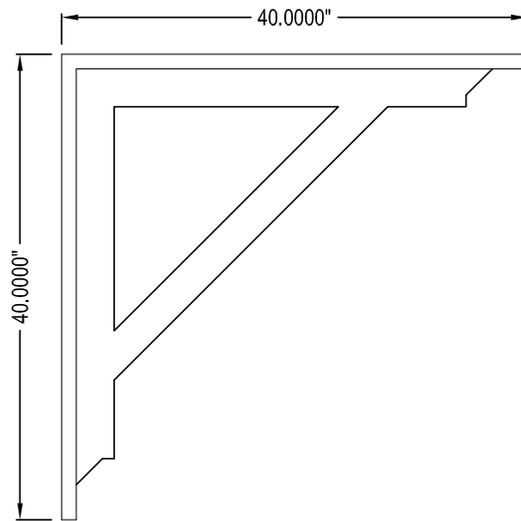
## DETAIL @ AWNING

1-1/2"=1'-0"

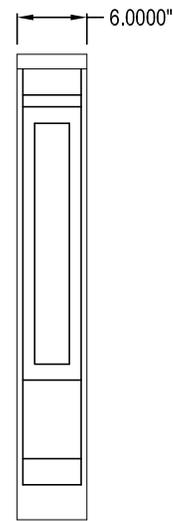




FYPON LTD.  
 1750 INDIAN WOOD CIRCLE  
 MAUMEE, OH 43537  
 TOLL FREE: 1-800-446-3040  
 www.fypon.com



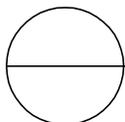
PROFILE



ELEVATION

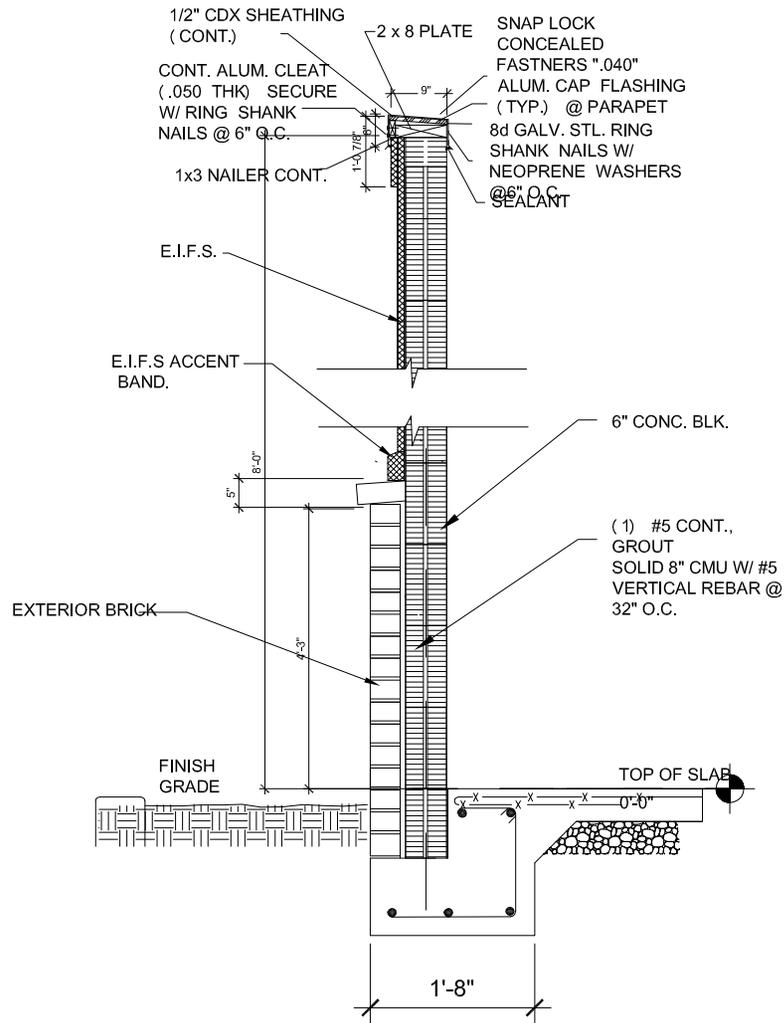
NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.



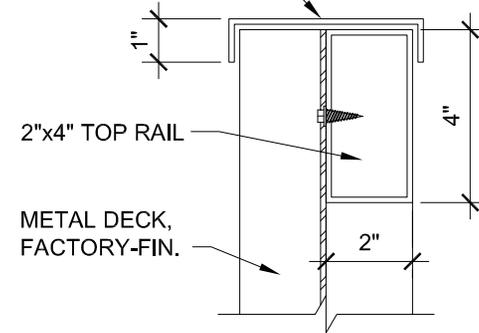
**DECORATIVE MILLWORK, BRACKETS**

BKT5X5X3S: BRACKET 5-1/2X5-1/2X3-1/2 WOOD GRAIN, ELEVATION AND PROFILE

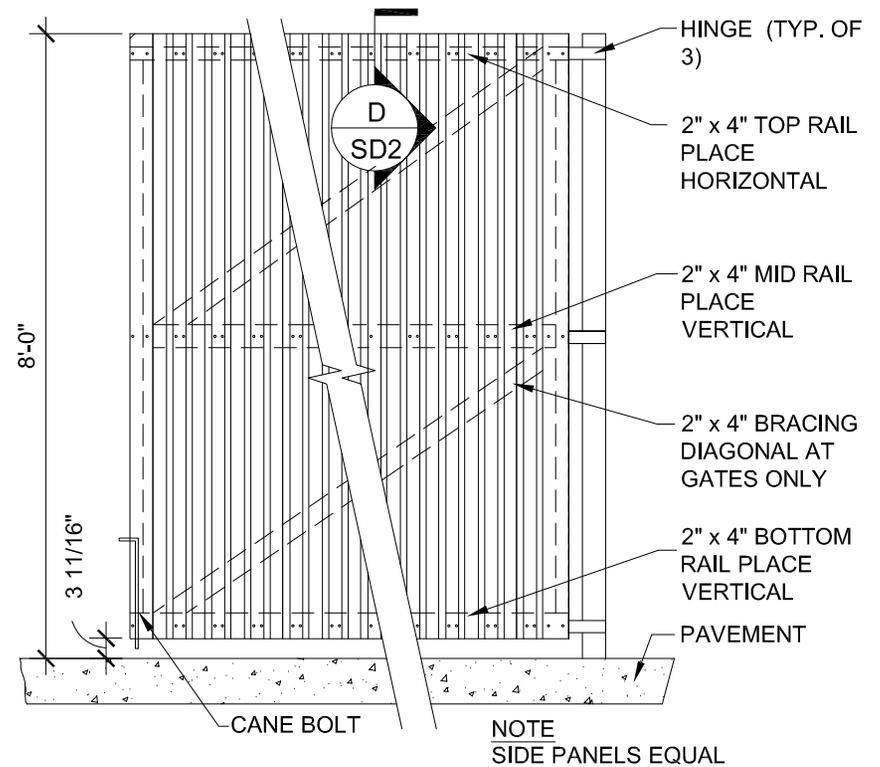


**G**  
SD1 NTS  
**DUMPSTER/SCREEN WALL SECTION**

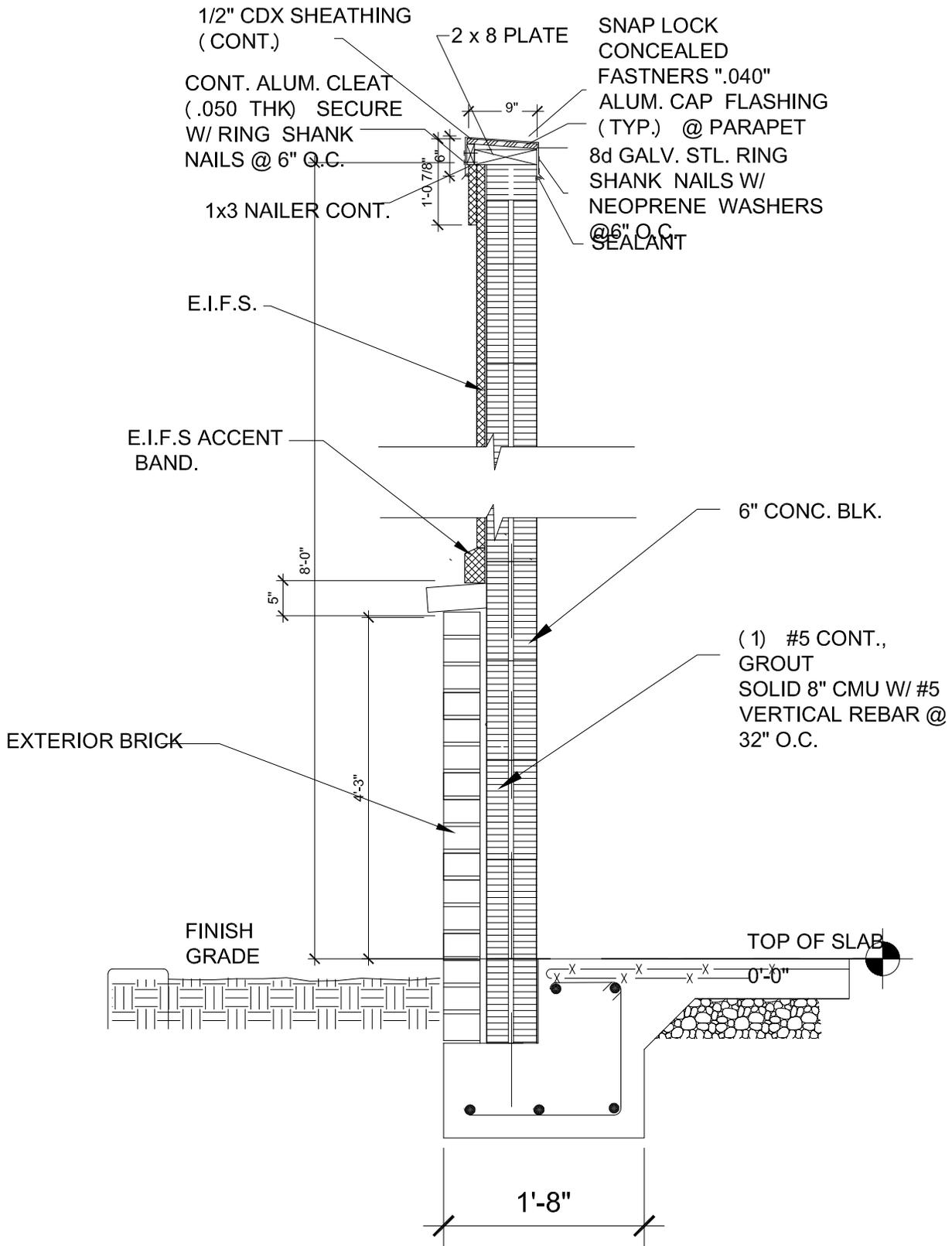
FACTORY-FIN. FLASHING, TYP. AT TOP OF WALL PANELS



**H**  
SD1 NTS  
**FLASHING DETAIL**



**J**  
SD1 NTS  
**DUMPSTER ENCLOSURE & GATE ELEV.**



G  
SD1

# DUMPSTER/SCREEN WALL SECTION

NTS

# POPEYES HILTON HEAD, SC.



WEST ELEVATION



EAST ELEVATION

# POPEYES HILTON HEAD, SC.



NORTH ELEVATION



SOUTH ELEVATION

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

**PROJECT NAME:** Popeye’s Louisiana Kitchen – NEW DEVELOPMENT-  
FINAL

**DRB#:** DRB-000065-2015

**DATE:** February 10, 2015

**RECOMMENDATION:** Approval  Approval with Conditions  Denial

**RECOMMENDED CONDITIONS:**

- 1) Restudy & resubmit lighting plan that is cohesive and includes limited fixtures types, colors, etc. Refer to LMO Section 16-5-108.
- 2) Consider larger bracket at drive-thru window.
- 3) Consider addition of overstory trees in parking lot islands.

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building materials include EFIS, brick, vinyl shutters, aluminum storefront, glass, and metal roof. Building colors are cream, brick red, brown, and dark green.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof slopes have been standardized and simplified.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	+/- 1'-8" overhang added.
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brackets were added to balcony at drive-thru window but proportionally are too small. Tubular steel frame at awning is visible.
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There are too many varieties of lights (fixture type, light type, fixture color, etc.) proposed. There appear to be too many lights on the building (both above and below awning).
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No information submitted regarding canopy.

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider addition of overstory trees in parking lot islands. LMO section 16-5-107 G re parking lot landscaping.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Mostly evergreen with some color accents.
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Live Oak, So. Red Cedar, Sabal Palmetto, Wax Myrtle
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	T.B.D. during Development Plan Review
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

Plans have a note as to the flood zone this is in. The plans do not show any elevations or changes to elevations that would show compliance with the 14' requirement. If the building is shown at grade and it has to be elevated three to four feet it could change the appearance.

Pervious pavers have been added near/under tree canopies.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Roni Allbritton Company: Shelter Cove Towne Centre  
 Mailing Address: 40 Shelter Cove Lane City: HH State: SC Zip: 29928  
 Telephone: 686-3090 Fax: 686-5581 E-mail: allbritton@sheltercovetownecentre.com  
 Project Name: SCTC Project Address: Blvd 140 (old #103)  
 Parcel Number [PIN]: R 520 013 00B 0024 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development  
 Final Approval – Proposed Development

- Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

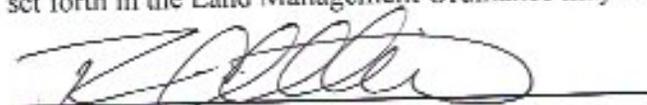
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

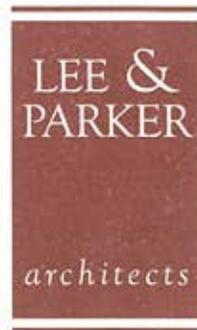
**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

1-19-15  
DATE



JAKIE H. LEE, AIA  
W. THOMAS PARKER, JR., AIA

**Building #140:**

The attached project is located on William Hilton parkway in Shelter Cove Towne Center. The 4,800 sq. ft. building has been revised from the previously approved structure. We have made these changes to better respond to the exciting site conditions and more closely meet the intent of the design guide.

The exterior changes consist of the following: 1. The building has a low pitch roof that matches the pitch of the front two buildings. This allows the roof lines of the iconic corner buildings to be visible from the entry drive. 2. The colors have been changed to create a more sophisticated look that blends with the in place color schemes of this corner. 3. A flat roof section behind a slope roof parapet has been incorporated so that if a food service tenant moves in the vent and equipment will be screened.

Thank-you for your time and consideration of this project.

A handwritten signature in blue ink, appearing to read "W. Thomas Parker Jr.", with a long horizontal line extending to the right.

W. Thomas Parker Jr. AIA LEEDap

# BUILDING #140 SHELTER COVE TOWN CENTER

LEE &  
PARKER  
*architects*



STANDING SEAM MTL: PAC CLAD AGED COPPER  
TRM: S-ERWIN WILLIAMS MUSLIN #6133  
SDNG: S-ERWIN WILLIAMS HIGH TEA #6159

STOREFRONT: CAWNEER C-AMPAGNE  
BRICK BORA  
MORTAR: BONE BEADED JOINT  
PRECAST: LIMESTONE COLOR / FINISH





**SHELTER COVE HARBOUR COMPANY**

PO Box 6004  
Hilton Head Island, SC 29938

January 23, 2015

Roni Allbritton  
Shelter Cove Towne Centre  
40 Shelter Cove Lane, Suite 180  
Hilton Head Island, SC 29928

RE: Building 140

Dear Roni,

The Shelter Cove Harbour Company's ARB is in receipt of the building plans for tenant space 140 per the 12/28/2014 package from Lee & Parker.

The ARB has reviewed and approved the building plans as submitted.

Please notify the SCHC office at (843) 310-0431 or by email at [jbetts@sheltercovehc.org](mailto:jbetts@sheltercovehc.org) should you have any questions.

With Kindest Regards,

John P. Betts  
Manager

Cc: Mr. Scott Foster, Chairman  
SCHCARB Committee

These documents & designs are the property of Lee & Parker Architects & are not to be used or reproduced thereof or for designs, working drawings, or construction of buildings without the written authorization from the copyright owner Lee & Parker Architects 2014copyright C



# A NEW SHELL FOR BUILDING #140

## INDEX OF DRAWINGS:

### ARCHITECTURAL:

- C-0 TITLE SHEET
- A-1 FLOOR PLAN
- A-2 ROOF PLAN AND DETAILS
- A-3 ELEVATIONS
- A-4 ELEVATIONS
- A-5 BUILDING SECTIONS
- A-6 WALL SECTIONS
- A-7 OUTLINE SPECIFICATIONS

### STRUCTURAL:

- S100 STRUCTURAL NOTES
- S200 FOUNDATION PLAN
- S201 ROOF PLAN
- S300 STRUCTURAL DETAILS
- S301 STRUCTURAL DETAILS
- S302 STRUCTURAL DETAILS

### ELECTRICAL:

- E001 ELECTRICAL NOTES
- E100 ELECTRICAL PLANS

### PLUMBING & MECHANICAL:

- M-1 PLUMBING PLANS AND NOTES

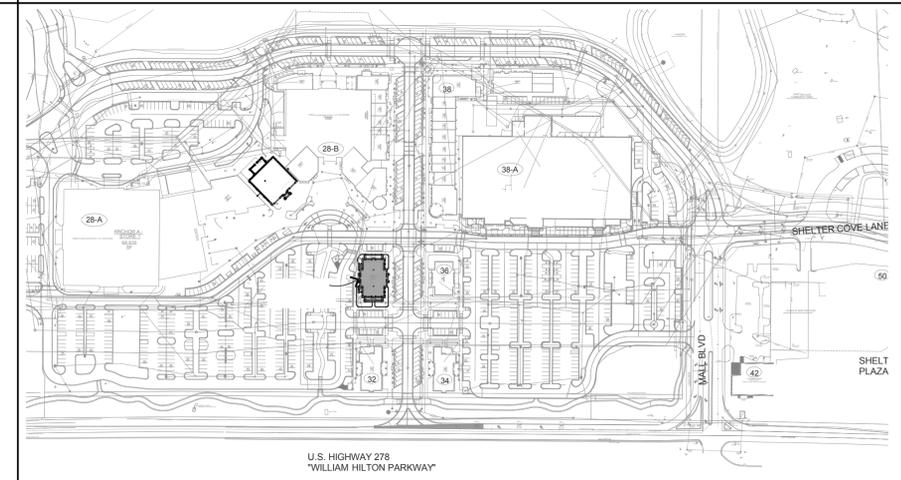
## DESIGN CRITERIA

### DESCRIPTION:

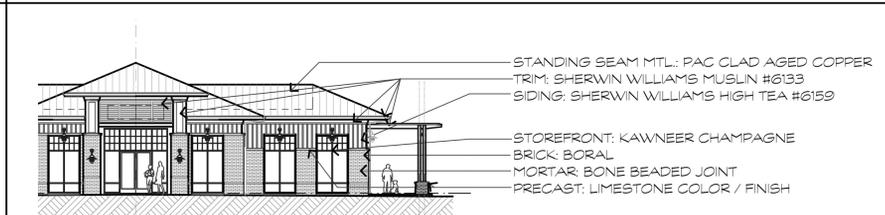
### Design Criteria for Code Compliance as of: 2012 IBC

Type of Construction:	Protected/Unprotected	
Sprinkler:	Protected/Unprotected	
Occupancy:	Mercantile	
ALLOWABLE BUILDING AREAS (Table 503):	Actual	Allowed
Building Floor Areas		
Allowable Areas Increase:	NOT NEEDED	
ALLOWABLE HEIGHTS (Table 503):	Actual	Allowed
Building Height Above Grade:		
Building Height in Stories:		

## VICINITY PLAN:



## COLOR KEY:



A NEW BUILDING SHELL:  
**BUILDING #140**  
 Towne Center @ Shelter Cove  
 Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

DATE OF ISSUE: \_\_\_\_\_

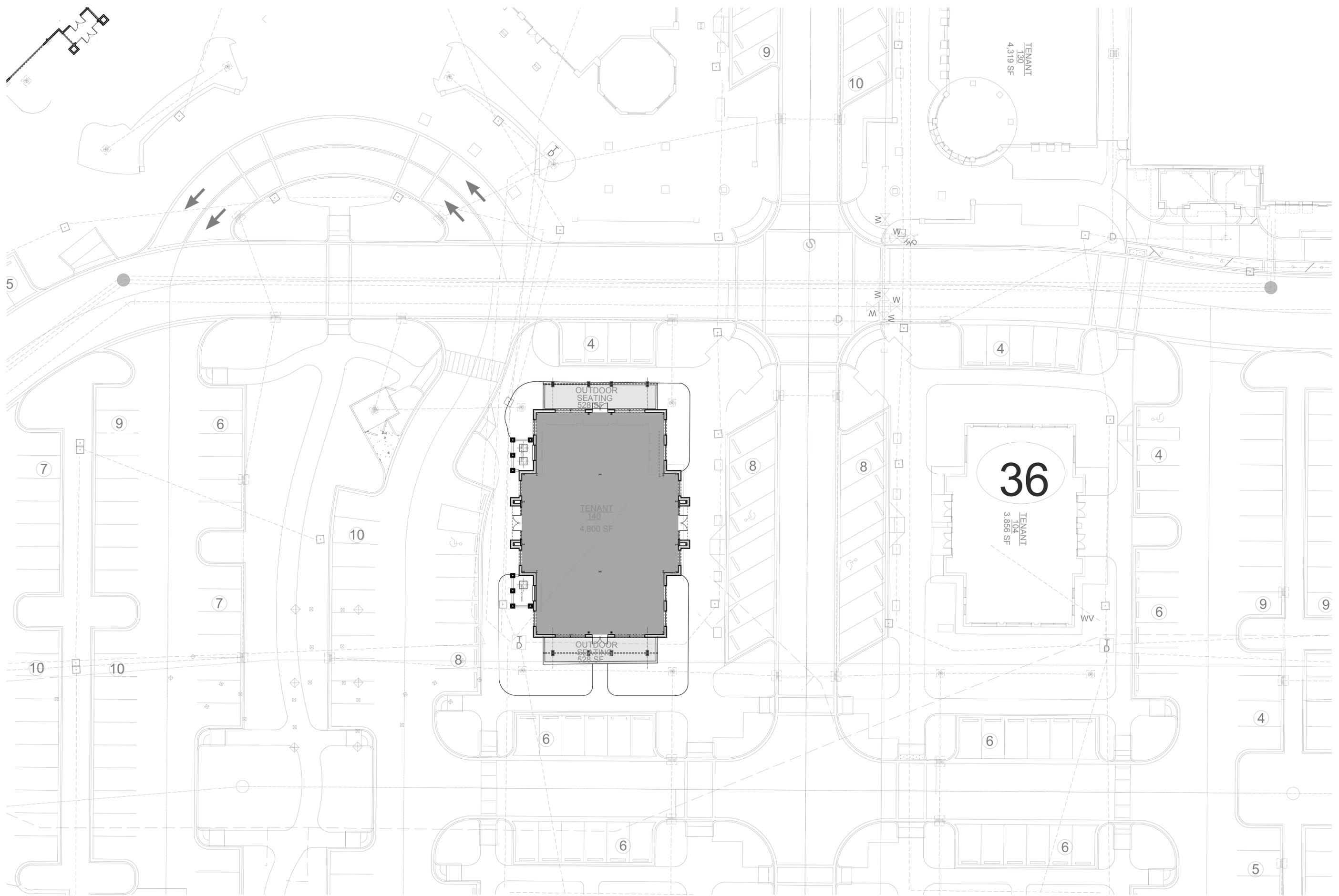
SCALE: \_\_\_\_\_

JOB NO.: \_\_\_\_\_

SHEET

# C.0

OF SHEETS



**LEE & PARKER**  
architects  
Post Office Box 5010  
Hilton Head Island  
South Carolina 29938  
843.785.5171

These documents & designs are the property of Lee & Parker Architects & are not to be used or reproduced thereof or for designs, working drawings, or construction of buildings without the written authorization from the copyright owner Lee & Parker Architects 2014copyright C



A NEW BUILDING SHELL:  
**BUILDING #140**  
Towne Center @ Shelter Cove  
Hilton Head Island, S.C.

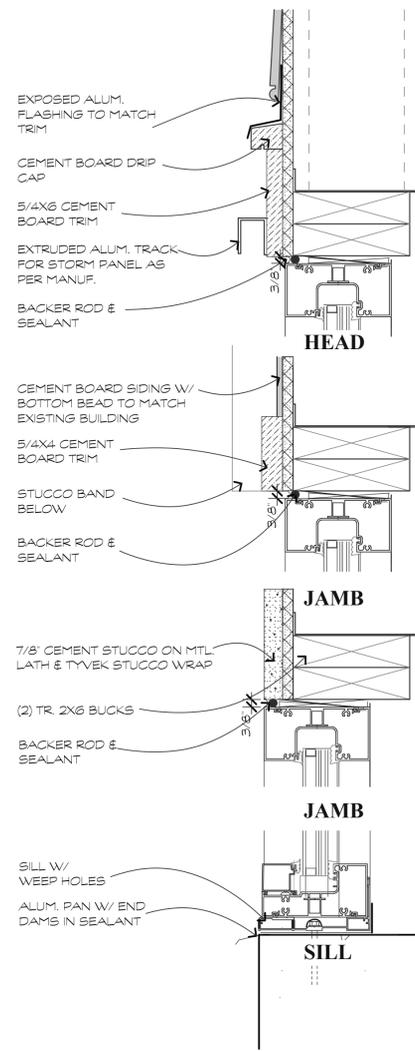
REVISIONS	DATE

DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
12/28/14  
SCALE  
JOB NO.  
1431  
SHEET

**S-1**  
OF SHEETS

**SITE PLAN**  
SCALE: 1/16"=1'-0"



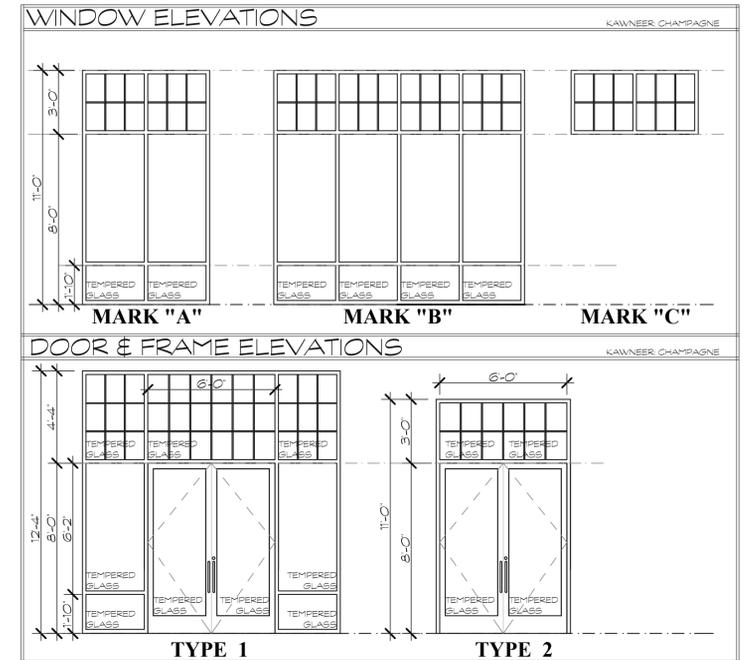


**WINDOW DETAIL** 3  
 SCALE: 3"=1'-0" A-2

WINDOW SCHEDULE				
MARK	TYPE	MFG. NUMBER	SIZE	REMARKS
A	STOREFRONT	KAWNEER 451	19'-0"X11'-0"	
B	STOREFRONT	KAWNEER 451	6'-0"X11'-0"	
C	STOREFRONT	KAWNEER 451	6'-0"X3'-0"	

DOOR & FRAME SCHEDULE							
MARK	DOOR			Manuf.	FRAME	FIRE RATING	REMARKS
	Size	Material / Finish		Type	Mat.	Jamb depth	
	W	H	T				
BUILDING #1- FIRST FLOOR							
1	6'-0"	8'-0"		1	KAWNEER	ALUM.	SEE GRAPHIC FOR TRANSOM & SOFLIGHTS
2	6'-0"	8'-0"		2	KAWNEER	ALUM.	



**LEE & PARKER**  
 architects  
 Post Office Box 5010  
 Hilton Head Island  
 South Carolina 29938  
 843.785.5171

These documents & designs are the property of Lee & Parker Architects & are not to be used or reproduced thereof or for designs, working drawings, or construction of buildings without the written authorization from the copyright owner  
 Lee & Parker Architects  
 2014 copyright C



A NEW BUILDING SHELL:  
**BUILDING #140**  
 Towne Center @ Shelter Cove  
 Hilton Head Island, S.C.

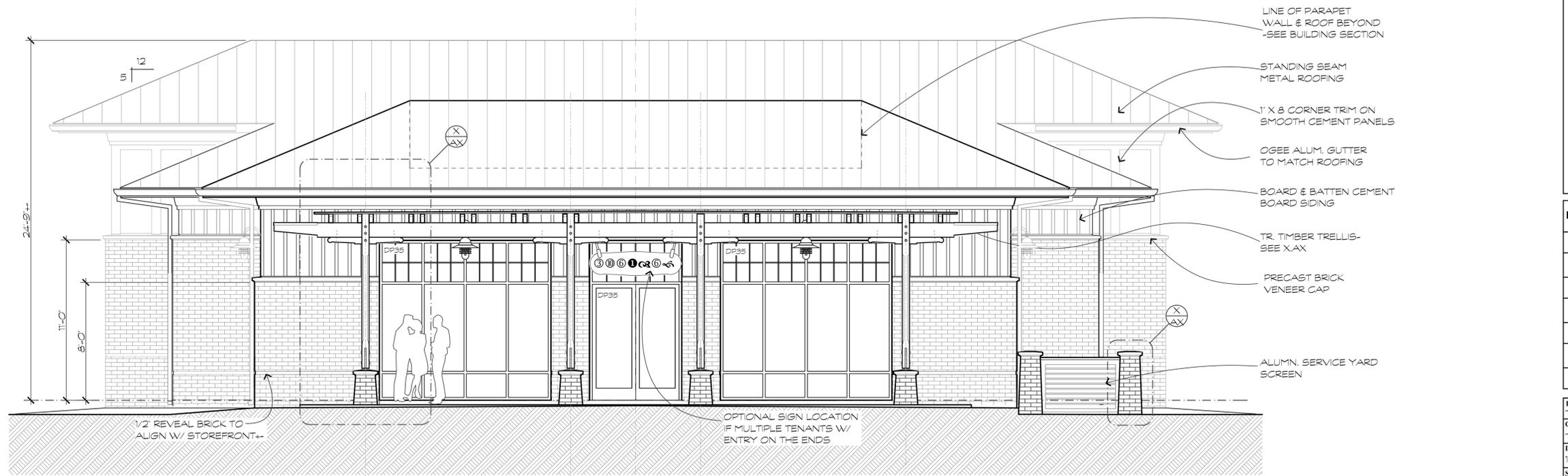
REVISIONS	DATE

DRAWN BY  
 TP  
 CHECKED BY  
 TP  
 DATE OF ISSUE:  
 12/25/14  
 SCALE

JOB NO.  
 1431  
 SHEET  
**A-2**  
 OF SHEETS



**NORTH SIDE ELEVATION** 1  
A-3  
SCALE: 1/4"=1'-0"



**WEST SIDE ELEVATION** 2  
A-3  
SCALE: 1/4"=1'-0"

A NEW BUILDING SHELL:  
**BUILDING #140**  
Towne Center @ Shelter Cove  
Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
12/23/14  
SCALE  
JOB NO.  
1431  
SHEET



A NEW BUILDING SHELL:  
**BUILDING #140**  
Towne Center @ Shelter Cove  
Hilton Head Island, S.C.

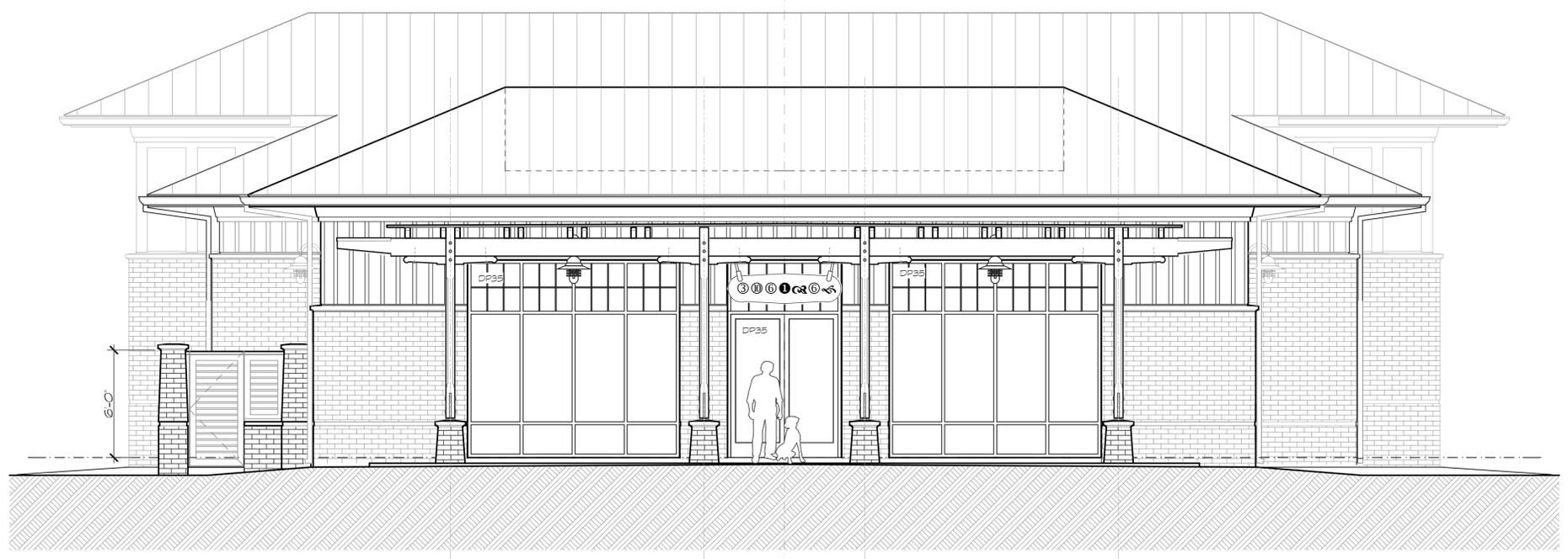
REVISIONS	DATE

DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
12/25/14  
SCALE  
JOB NO.  
1431  
SHEET



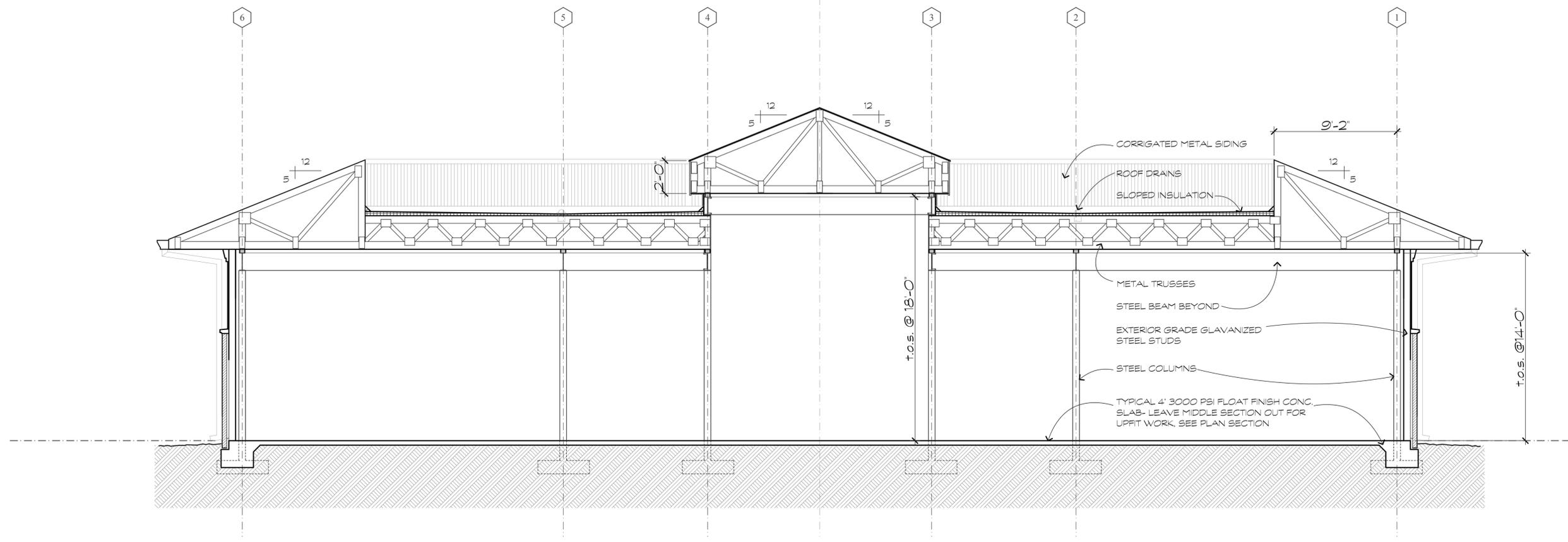
**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

1  
A-4



**EAST SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

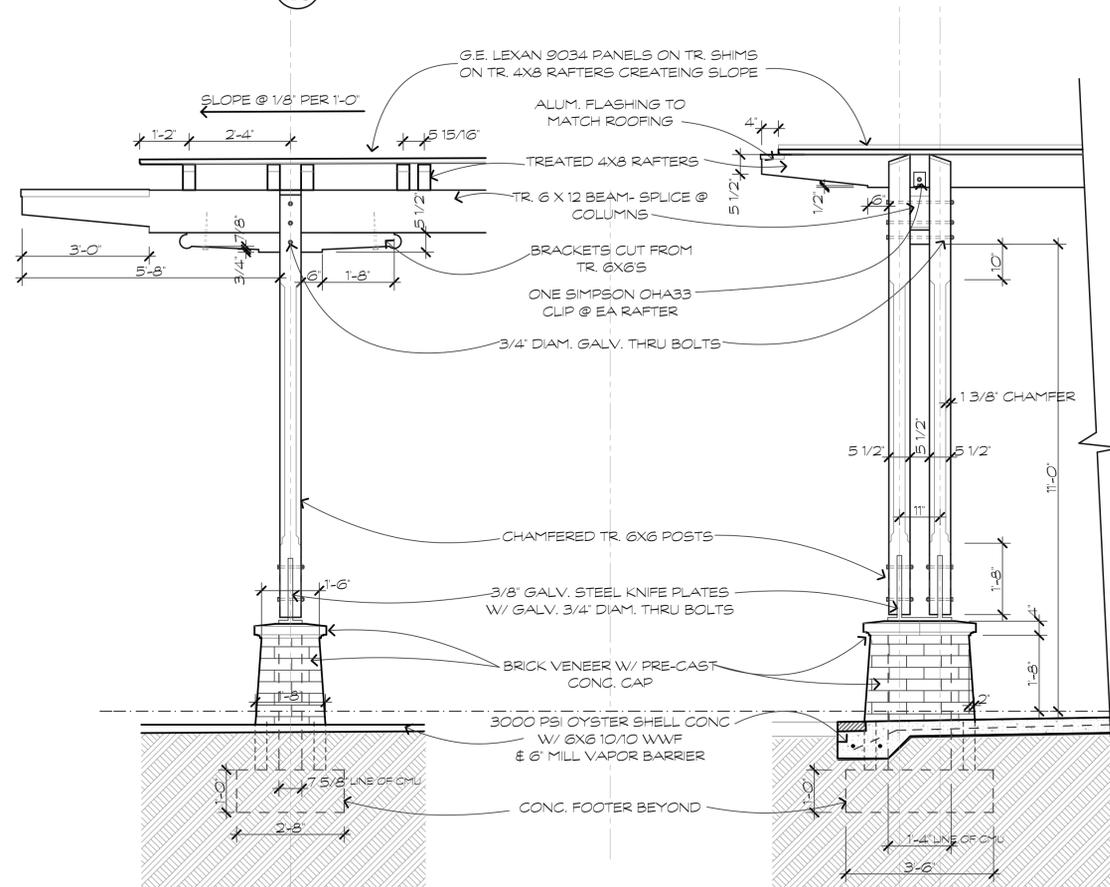
2  
A-4



**BUILDING SECTION**

SCALE: 1/4"=1'-0"

1  
A-5



**TRELLIS SECTION / DETAIL**

SCALE: 1/2"=1'-0"

3  
A-5

A NEW BUILDING SHELL:  
**BUILDING #140**  
Towne Center @ Shelter Cove  
Hilton Head Island, S.C.

REVISIONS	DATE

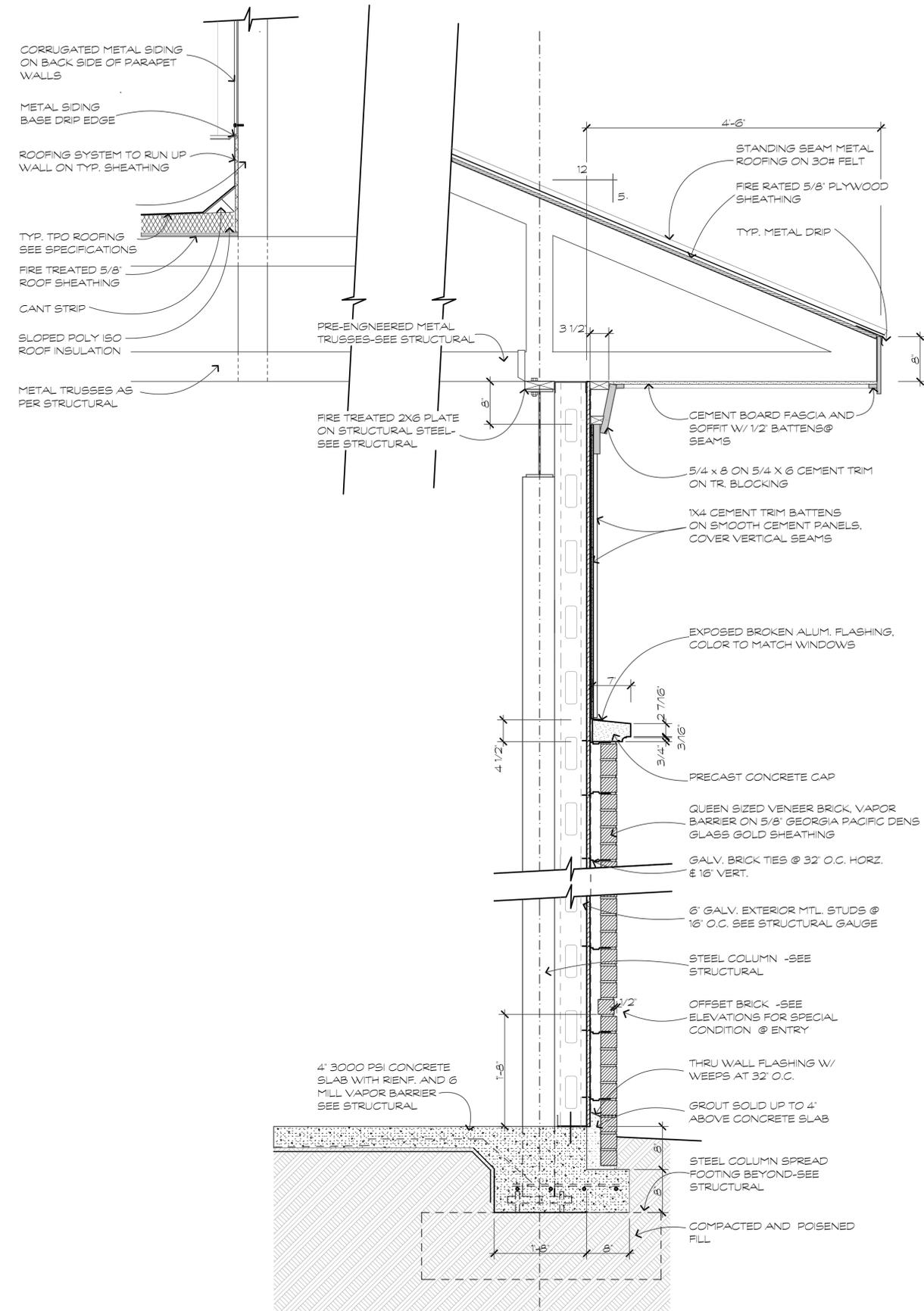
DRAWN BY TP
CHECKED BY TP
DATE OF ISSUE: 12/25/14
SCALE
JOB NO. 1431
SHEET



A NEW BUILDING SHELL:  
**BUILDING #140**  
Towne Center @ Shelter Cove  
Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY  
TP  
CHECKED BY  
TP  
DATE OF ISSUE:  
12/25/14  
SCALE  
JOB NO.  
1431  
SHEET



**TYP. WALL SECTION**  
SCALE: 1"=1'-0"

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Towne Centre Building 140 –  
ALTERATION/ADDITION

DRB#: DRB-000100-2015

DATE: February 10, 2015

RECOMMENDATION:    Approval             Approval with Conditions             Denial

<b><i>ARCHITECTURAL DESIGN</i></b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pitched roof with flat roof section beyond.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	5/12 pitch
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed materials are in keeping with materials already used within SCTC. Proposed colors are similar, but not already part of the SCTC color palette.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trellis detail include lexan panel.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There appear to be too many fixtures for the building
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider wood detail for service yard screen versus aluminum and confirm screen is tall enough to conceal equipment.

**LANDSCAPE DESIGN** – Updated landscape plan should be provided. Proposed changes to building (addition of outdoor seating on each end of building, addition of two service areas, etc.) affects proposed/approved landscape plan. The addition of a small landscape strip between the outdoor seating and the adjacent sidewalk should be considered to be consistent within SCTC.

**NATURAL RESOURCE PROTECTION** – Not applicable

**MISC COMMENTS/QUESTIONS**

Signage details including location to be reviewed/approved via separate sign application.

139-



Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island, SC 29928  
Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY  
Date Received: 1.27.15  
Accepted by: Jessie Kay  
DRB #: 020139-2015  
Meeting Date: \_\_\_\_\_

Applicant/Agent Name: James M. Ross, AIA Company: Ross/Deckard Architects  
Mailing Address: 4010 Wake Forest Rd City: Raleigh State: NC Zip: 27609  
Telephone: 919 875-0001 Fax: 919 875-9200 E-mail: jr@rossdeckardarchitects.com  
Project Name: Cedar Wells Apartments Project Address: 290 Squire Pope Rd., Hilton Head, SC.  
Parcel Number [PIN]: R510 003 000 014F 0000  
Zoning District: RM4 Overlay District(s): corridor

**CORRIDOR REVIEW, MAJOR  
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

26 JANUARY 2015  
DATE

January 27, 2015

Town of Hilton Head Island  
One Town Center Court  
Hilton Head Island, SC 29928  
Community Development  
Department

Attn: Anne Cryan

Re: Cedar Wells Apartments  
290 Squire Pope Road  
Hilton Head Island, SC

**Project Narrative:**

Scope of work consists of interior and exterior improvements to an existing multi-family development consisting of 24 apartment units and 1 office/laundry/community building.

- Exterior work includes upgrading site access to meet UFAS accessibility requirements. This includes additional parking spaces, restriping of parking areas to meet ADA requirements, construction of new ADA accessible sidewalks and ramps to connect all site amenities and new site lighting.
- Exterior renovation work to apartments include new decking system at front and rear porches, new vinyl railways, new asphalt shingles, new vinyl siding and decorative shake siding to gable end areas. Also included are new solid shutters, metal insulated exterior doors and vinyl insulated double pane windows.
- Exterior renovation work to community building includes new ADA ramps and sidewalks, railways, vinyl siding, shingles, doors, windows and shutters.

**SECTION 00010-SCOPE OF WORK DESCRIPTION**

**Existing Conditions:** Property was completed and first occupied in 1990.  
*If completed after 1991, all improvements are to meet or exceed 504 Fair Housing Act.*

Project Unit Mix:	<input type="checkbox"/>	one bedroom , including ____ Type "A" accessible units
	24	two bedroom, including 2 Type "A" accessible units and 1 A/V unit
	<input type="checkbox"/>	three bedroom, including ____ Type "A" accessible units
	<input type="checkbox"/>	four bedroom, including ____ Type "A" accessible units
	24	total units
	1	office/ laundry / community building

NOTE: Key numbers (1, 2...) below are positioned on the drawings to indicate general locations of scope of work items.  
See Unit by Unit Scope of Work for scope information for individual dwelling units and quantities required.  
See Site Plan for unit locations and key numbers within individual building and unit floor plans.  
Consult property condition assessment and environmental reports for existing condition information.

**Key Section:** *Required scope of work (scope includes community building and each unit):  
"Provide" means furnish material, equipment, labor, and insurance to complete.*

**GENERAL**

<b>1</b> General Conditions: 00 7100 00 7200 00 7300	Compliance with USDA RD program documents published under the MPR program is required. General Contractor and all subcontractors are responsible for reading, evaluating and applying minimum standards referenced in these documents. a Provide evidence of maintained workman compensation insurance coverage. b Provide evidence of maintained liability Insurance \$500,000/ \$1,000,000. c All work shall meet all applicable codes. d All work shall be professional and guaranteed/warranted for one year. e Meet or exceed all building product manufacturer's recommendations. f Bidder visit and inspect jobsite and must confirm all counts and measurements. g Inspect each unit prior to turn-over with property manager. h Complete punch-list prior to final payment. i Final clean each unit immediately prior to turn-over to property manager.
<b>2</b> Coordination: 01 3100	a Prepare sequencing plan (schedule) for relocation and staging of work. b Submit work sequencing plan to Property Manager one week before start. c Limit work duration in each apartment to shortest possible time interval.
<b>3</b> Demolition/ Cleaning:	Remove / dispose of all items to be removed or replaced (per jurisdiction disposal requirements); Consult environmental studies. General Contractor to be responsible for all costs of disposal/removal. The repair and finish of adjacent material where items have been removed shall be provided in kind by the General Contractor. a old overgrown or damaged plant material, b broken concrete, concrete stoops and patios, broken asphalt paving, curb and sidewalks, c walls shown on drawings to be removed, d doors and frames/trim, hardware, windows and frames/trim, e shingle roofing, fascias, siding, trim, and ridge vent.

- f vinyl floor tile, carpeting, damaged subflooring, wall trim and drywall,
- g cabinets, countertops, sinks, garbage disposals, lavatories, water closets, bath tubs,
- h appliances, light fixtures,
- i Clean all exterior wall surfaces to remove clay splash stains and mildew.
- j Remove all existing front and rear porch decking, railings, pickets, and posts. Remove all existing stairs, stringers, treads, risers, and handrails.

**SITE WORK**

- |   |  |
|---|--|
| <b>4a</b> General:  | a Upgrade site access to meet UFAS accessibility requirements per budget estimate and site plan.   |
| <b>4b</b> Site Improvements:<br>10 5500<br>12 9300<br>31 1100 | a Provide (3) additional parking spaces in front of office.<br>b Provide new concrete steps and vinyl railings.<br>c Provide accessible sidewalk from Building 6 to laundry and office building, mailbox and dumpster.   |
| <b>4c</b> Asphalt Paving:<br>32 1216<br>32 1723               | a Add 3 new parking spaces per site plan.<br>b Seal and stripe parking areas and accessible spaces with cross-walks as shown on site plan.<br>c Restripe parking spaces to meet handicap requirements and provide ADA signage.<br>d Inspect for and repair existing driveway base and create surface drainage to existing spillway, as shown on site plan.   |
| <b>5</b> Sidewalks:<br>Concrete Pads:<br>03 1000<br>32 1313   | Upgrade concrete to meet UFAS, per budget estimate, to include:<br>a Replace broken and missing concrete sidewalks.<br>b <del>Replace wooden porches and steps with concrete.</del><br>c Porch and ramps at Building 6 and office to be replaced with concrete to comply with accessibility code.<br>d All public spaces and amenities shall be connected by 4' wide ADA accessible sidewalks with turnaround areas. Accessible sidewalk slopes shall be limited to less than 1:20 slope. Limited 6' lengths of accessible sidewalk may be sloped up to 1:12 slope without handrails.<br>e Position curb-cuts and crosswalks for handicap accessibility of site.<br>See site plan for location of handicap parking spaces and crosswalks.<br>Provide new accessible parking space, aisle and curb cut at Office and Building 6.<br>f Provide accessible concrete pad for mail kiosk. |
| <b>6</b> Site Amenities:<br>10 5500<br>12 9300                | a Connect all site amenities with ADA accessible sidewalks.<br>b Provide ADA accessible sidewalk or path to and from playground.   |
| <b>7</b> Landscaping:   | Landscape allowance to include:<br>a Provide additional plantings and mulch. Landscape plan to be provided by PPM.   |
| <b>8</b> Signage:   | a Provide handicap parking signage per PPM specs.  |
| <b>9</b> Site Lighting:                                       | a Provide site lighting in front of office per site plan.  |

**BUILDINGS**

<b>10</b> General Improvements: 06 1000 31 3116	<ul style="list-style-type: none"> <li>a Provide improvements to laundry / office, to include new finishes, and accessibility upgrades.</li> <li>b Seal all exterior joints and gaps. In order to reduce air infiltration and to pass blower door test (energy audit by power company), install sealant as required.</li> <li>c Replace damaged or rotten wood.</li> <li>d Provide upgrades to handicap units to meet all UFAS accessibility requirements.</li> </ul>
<b>11</b> Masonry:	NONE.
<b>12</b> Metals:	NONE.
<b>13</b> Carpentry: 06 1000 06 4100 06 4600	<ul style="list-style-type: none"> <li>a Inspect for and replace damaged wood trim, exterior sheathing.</li> <li>b Provide new vinyl railings and pickets, with metal handrails.</li> <li>c Provide Trex decking system at front and rear porches.</li> <li>d Inspect for and replace damaged floor sheathing.</li> </ul>
<b>14</b> Insulation: 07 2115	<ul style="list-style-type: none"> <li>a Inspect attic/roof insulation and upgrade to R38.</li> </ul>
<b>15</b> Roofing: 07 3113	<ul style="list-style-type: none"> <li>a Provide new 30-year antifungal architectural asphalt fiberglass roof shingle system, on all buildings except Building 1.</li> <li>b Remove all existing roof shingles, rake and fascia wrap, and accessories.</li> <li>c Provide new drip edges and pre-finished metal wrap at fascia and rakes.</li> <li>d Provide rain diverter at front and rear entrance.</li> <li>e Replace damaged fascia boards and sheathing.</li> <li>f Provide new ridge venting for all roof ridges and cut sheathing to vent attics.</li> <li>g Provide roofing for playground equipment.</li> </ul>
<b>16</b> Siding: 07 4633	<ul style="list-style-type: none"> <li>a Replace all vinyl siding throughout project.</li> <li>b Inspect for and replace soffit with vented vinyl soffit.</li> <li>c Install decorative siding (shake) to all gable end areas.</li> <li>d Install vinyl columns and rails at porches.</li> <li>e Install new shutters (solid) at current locations.</li> </ul>
<b>17</b> Doors: 08 1416	<ul style="list-style-type: none"> <li>a Replace all front exterior doors/frame/trim with new insulated 2-panel metal doors and wood trim.</li> <li>b Provide new 2-panel hollow core interior doors to match existing. Provide new frame and trim where damaged.</li> <li>c Replace all bi-fold doors with 2-panel swinging doors.</li> <li>d Caulk all doors inside and outside.</li> <li>e Replace Community Building exterior doors and interiors, with 2-panel.</li> <li>f Existing exterior storage room door at UFAS units shall be minimum of 2'10", or 2'8" with offset hinges.</li> </ul>

- |   |   |
|---|---|
| <b>18</b> Windows:<br>08 5300<br>08 8000  | <ul style="list-style-type: none"> <li>a Provide new insulated, double pane, vinyl impact windows (DP 50) with a U-factor of 0.32 or below and a SHGC of 0.40 or below. Install flashing per manufacturer's recommendation. Provide EPA's Energy Star qualified program requirements. Must meet local wind rating requirements.</li> <li>b Bedroom windows must have vent area of 5.0 sf on 1st floor, and a 24" min vertical vent opening.</li> <li>c Caulk all windows inside and outside.</li> <li>d Provide tempered windows adjacent to the rear entrance door in the kitchens.</li> </ul>   |
| <b>19</b> Hardware:<br>08 7100            | <ul style="list-style-type: none"> <li>a Provide passage latchset, dead bolt with thumb turn on interior side, and security viewer at each front entrance door. All hardware to be brushed nickel.</li> <li>b Provide latchset and deadbolt at each rear entrance door.</li> <li>c Provide new interior lever handle door hardware throughout project; brushed nickel to match cabinet doors. Privacy handles should be push button.</li> </ul>   |
| <b>20</b> Gypsum<br>Wallboard:<br>09 2900 | <ul style="list-style-type: none"> <li>a Inspect for and repair/ replace damaged wallboard, as needed. <del>See unit-by-unit.</del></li> </ul>  |
| <b>21</b> Vinyl Flooring:<br>09 6519      | <ul style="list-style-type: none"> <li>a Replace all flooring (vinyl and carpet) with tile plank flooring throughout all units, except bathrooms.</li> <li>b Replace flooring in bathrooms with VCT.</li> <li>c Inspect for and repair all squeaky flooring.</li> </ul>   |
| <b>22</b> Carpet:                         | <ul style="list-style-type: none"> <li>a Remove all carpeting.</li> </ul>   |
| <b>23</b> Painting:<br>09 9100            | <ul style="list-style-type: none"> <li>a Paint entire interior of each dwelling unit - egg-shell finish; semi-gloss finish in kitchens, bathrooms, doors and trim.</li> <li>b Paint interior of the Community Building - egg-shell finish; semi-gloss finish in bathrooms, doors and trim.</li> <li>c Paint new exterior doors and trim with semi gloss enamel paint. Paint top, sides, bottom, and faces of door.</li> <li>d Paint new interior doors and trim with semi-gloss finish.</li> <li>e Clean, prepare and sand all surfaces prior to painting.</li> <li>f Caulk all open joints.</li> <li>g Prime all new and repaired surfaces.</li> <li>h Repair damaged popcorn ceilings.</li> </ul> |

**FURNISHINGS**

- |                          |   |
|--------------------------|---|
| <b>24</b> Bath Fixtures: | <ul style="list-style-type: none"> <li>a Replace existing tubs and surrounds with 1-piece tub and surround. See unit-by-unit.</li> <li>b Replace all water closets with new comfort height fixture, min. 17-inch excluding seat.</li> <li>c Use wall hung lavatory in handicap accessible units, with decorative wooden skirting.</li> <li>d Replace vanity tops with cultured marble.</li> </ul> |
|--------------------------|---|

<b>25</b> Accessories: 10 2813	<ul style="list-style-type: none"> <li>a Replace all bathroom accessories and shower rods.</li> <li>b Provide grab bars in accessible bathrooms at tub and watercloset.</li> <li>c Provide (1) grab bar in all non-accessible units.</li> <li>d Replace medicine cabinets.</li> </ul>
<b>26</b> Casework: 06 4100	<ul style="list-style-type: none"> <li>a Provide new kitchen and vanity cabinets in all units. Install brushed nickel hardware.</li> <li>b Provide new plastic laminate countertops with stainless steel sinks.</li> <li>c Provide shallow depth rear drain kitchen sinks in UFAS units per UFAS requirements.</li> <li>d Replace casework with UFAS compliant casework in accessible units. See unit-by-unit. Accessible units to have removable front cabinets at kitchen sink and work space.</li> </ul>
<b>27</b> Appliances: 10 4413 11 3100	<ul style="list-style-type: none"> <li>a Provide new EnergyStar refrigerators (22), min. 18cf with top freezer. Handicap units to receive side-by-side refrigerator.</li> <li>b Provide new electric ranges (20) with anti-tip devices. Ranges with front controls to be provided in UFAS units.</li> <li>c Provide all new ducted EnergyStar range hoods and splatter guard behind range (back splash).</li> <li>d Provide all new EnergyStar dishwashers.</li> <li>e Remove all existing garbage disposals.</li> <li>f Dryer vents to be rerouted in (6) units using hard duct.</li> </ul>
<b>28</b> Mini-blinds: 12 2113	<ul style="list-style-type: none"> <li>a Replace existing blinds with vinyl miniblinds at all windows.</li> </ul>
<b>29</b> Other:	<ul style="list-style-type: none"> <li>a Provide unit leak testing per MPR program guidelines.</li> </ul>

---

**PLUMBING, MECHANICAL, ELECTRICAL**

<b>30</b> Plumbing: 22 0000	<ul style="list-style-type: none"> <li>a Inspect plumbing systems and replace washers, P traps, pipes, shut-off valves at sinks and toilets.</li> <li>b Provide faucet, fittings and hook-up of stainless steel kitchen sinks.</li> <li>c Provide fittings and hook-up for dishwasher.</li> <li>e Provide new single lever faucets throughout project.</li> <li>f Provide faucet, fittings and hook-up of bathroom vanities or sinks. Fixtures to be WaterSense labeled products.</li> <li>g Provide fittings and hook-up of new water closet. Toilets shall be 4-6 1.28 gallons or less per flush and be WaterSense labeled products.</li> <li>h Provide faucet, fittings and hook-up for bathtub/ shower. Showerheads to be low flow and WaterSense labeled products.</li> <li>i Provide (20) new EnergyStar water heaters and valves to comply with latest adopted edition of International Plumbing Code.</li> <li>j Provide pan under water heaters for overflow and blow-off piping per local building code.</li> <li>k Install new electric water heater in Community Building.</li> <li>l Disconnect existing gas water heater at CB and cap (concealed) lines per code.</li> </ul>
--------------------------------	---

**31** HVAC:  
23 0000

- a Provide new complete EnergyStar 13SEER heat pump split systems in (17 18) units and office. All new HVAC systems shall have 410A refrigerant.
- b Replace HVAC platform for each outside unit.
- c Replace (17 20) linesets.
- d Provide sealed galvanized sheet metal pan with drain under each air handler unit.
- e Provide safety shut off for heat pump pan overflow.
- f Replace all supply diffusers and replace return air grills.
- g Provide new EnergyStar bath exhaust fan. Exhaust duct shall have a backflow damper and be vented to soffit vent.

**32** Electrical:  
26 0000

- a Inspect electrical system and repair or replace damaged components.
- b Install new GFI receptacles in all kitchens and baths.
- c Replace damaged/ missing switches, plates, and receptacles.
- d Replace all smoke detectors with hardwired devices to meet code (UL 217) in bedrooms and halls.
- e Replace all interior and exterior lighting fixtures. Use EnergyStar fixtures.  
At all UFAS units, exterior light fixtures to be mounted no more than 4" off wall.
- f Provide 4' fluorescent fixture in kitchen.
- g Add ceiling mount light fixture in all bedrooms.
- h Add ceiling mount fan/light fixture (EnergyStar) in all living rooms. Switches to be located adjacent to front entrance door where possible.
- i Wire and hook-up dishwasher.
- j Wire and hook-up range hood. Provide switch in UFAS units installed at accessible height.
- k Wire and hook-up water heater. Install new disconnect.
- l Wire and hook-up bath exhaust fan. Switch with ceiling light.
- m Wire and hook-up new split system heat pump system.
- n Provide flashing doorbell at all accessible units (UFAS and A/V units).
- o Provide exterior strobe light at all accessible units (UFAS and A/V units).
- p Provide wall mounted exterior light fixtures (3) at front of office, no more than 4" off wall.

Last revised: 01/08/15

At Norandex, we continue to search for new and innovative ways to give homeowners quality design options for the exterior of their homes.

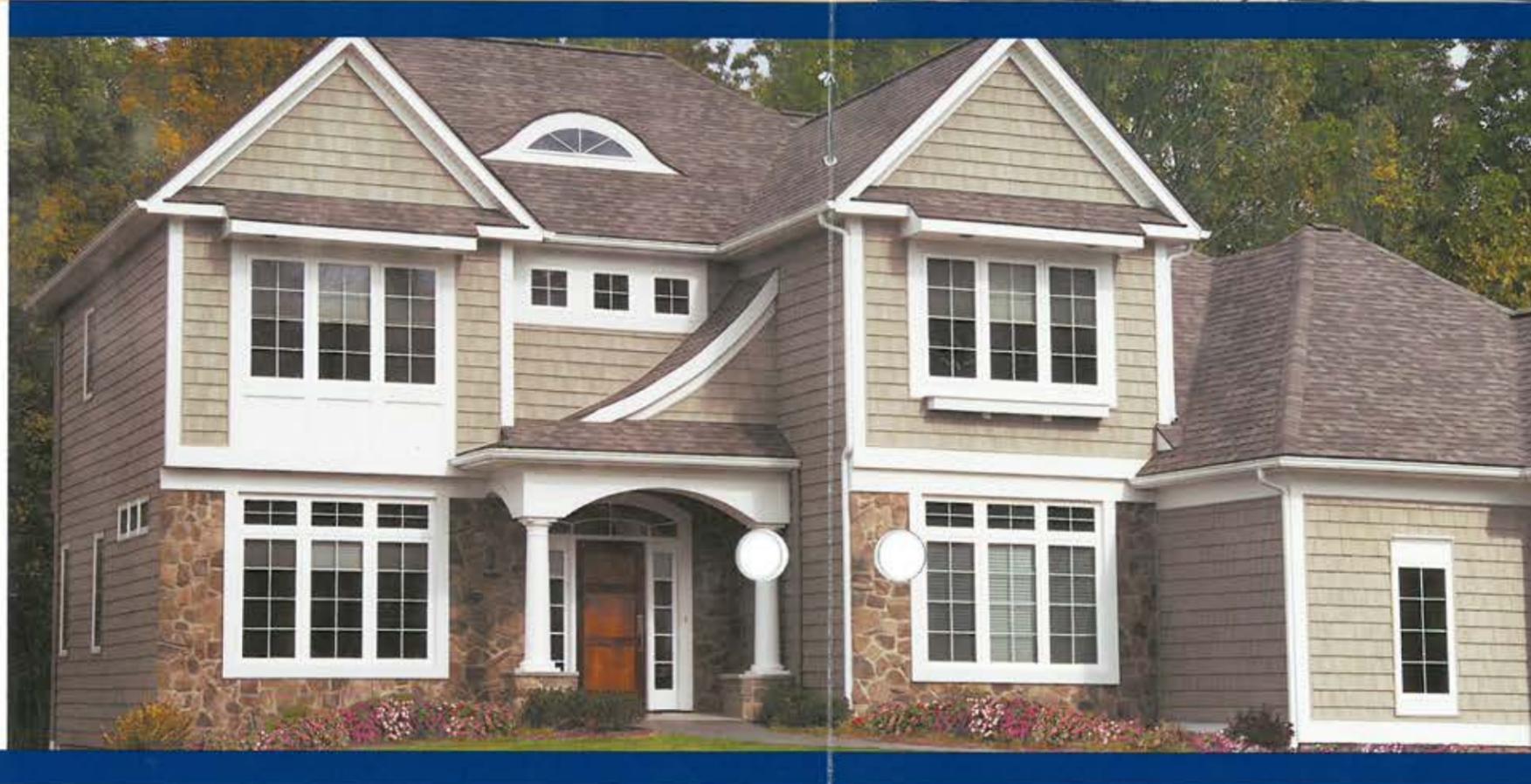


HOME ACCENTS® SHINGLES

HOME ACCENTS® STAGGERED SHAKES



Staggered Shakes



Shingle



Perfection Shingle

HOME ACCENTS Shingles are designed to resemble the cedar shingles found on homes in the early 1800s. Just like on historical homes of the past, they have a naturally textured surface and edge, with an appearance of random marks of a mill saw.

However, there is one distinguishable difference from their predecessors of the past. Although they look alike, only one will stay looking the same for years to come... HOME ACCENTS Shingles. That's because they are engineered to resist the toughest of weather conditions. So unlike organic wood, they will never warp or split, or need to be painted or stained.

**SHINGLES**

Durable to provide lasting beauty for the lifetime of your home. A 7" exposure per panel provides excellent accentuation to a gable or dormer.

**PERFECTION SHINGLES**

Delivers the perfect balance of the deep texture of shakes and the clean lines of Shingles. Offered in a 7" exposure.

HOME ACCENTS® SHAKES



Split Shakes

The HOME ACCENTS® line of Shakes and Staggered Shakes feature authentic cedar grain detail. The random patterns of each panel interact and change with the sunlight, giving each home its own uniqueness.

Unlike natural cedar surfaces, our panels won't crack, fade, buckle or rot. Excellent weather resistant properties enable the product to maintain its original beauty almost indefinitely. This means virtually no maintenance, and added protection for your single most important investment.

Shakes and Staggered Shakes go up fast and are easy to install. Their random design and hidden seams enable even the smallest pieces to be used, making each home even more unique.

**SHAKES**

Beautifully replicates natural hand split cedar. Profiles feature a distinctive 7" exposure.

Shakes are now available in six Weathered Collection™ Colors. These feature a lighter hue of color in the grain and a darker one on the higher points, just as a panel would weather naturally.

**STAGGERED SHAKES**

Authentic cedar grain detail with a natural uneven pattern and rough-sawn edges. This profile is available in 7" and 10" exposures.

# Cedar Wells Apartments Building Finishes

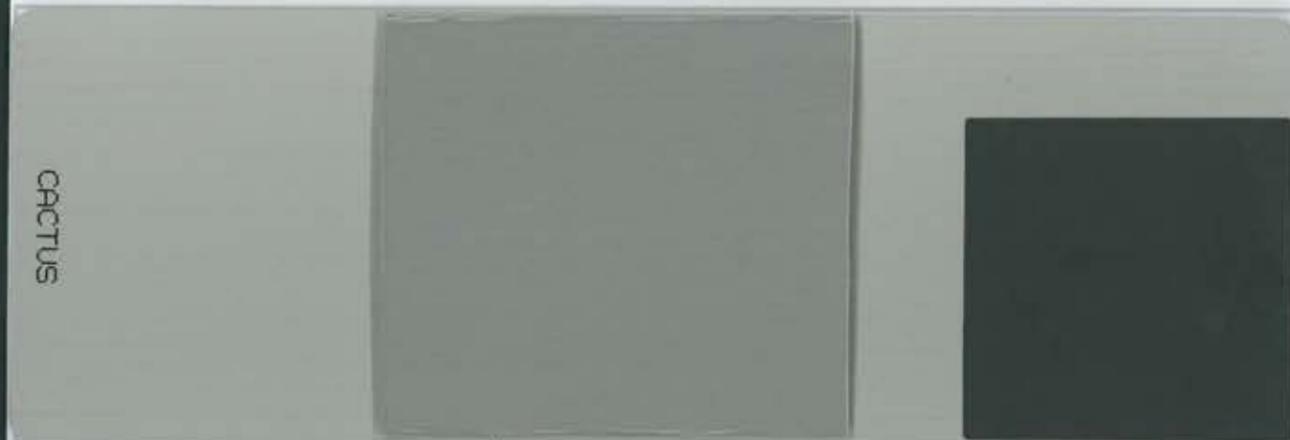


PREMIUM COLOR  
SHOKE

Vinyl Siding Color

Shake Color-Steel Blue

Door Color-SW7076



CACTUS

Vinyl Siding Color

Shake Color-Seagrass

Door Color-SW6994



DESIGNER COLLECTION  
SEAPORT

Vinyl Siding Color

Shake Color-Silver

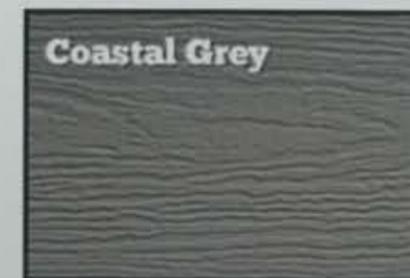
Door Color-SW6255



Color- Max Def Moire Black



LandMark Premium Shingles



Duralife- Siesta Composite Decking



Duralife- Vinyl Railways

Color- White

Product Selection – Cedar Well

Vinyl Siding				
Building	Vinyl Color	Shake Color	Door Color	Shutter Color
1	Smoke	#279 Steel Blue	SW 7076	#2 Black Raised Panel
2 & 3	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
4	Smoke	#279 Steel Blue	SW 7076	#2 Black Raised Panel
5	Seaport	#090 Silver	SW 6255	#2 Black Raised Panel
6	Seaport	#090 Silver	SW 6255	#2 Black Raised Panel
7	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
8	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
9 & 10	Smoke	#279 Steel Blue	SW 7076	#2 Black Raised Panel
11 & 12	Seaport	#090 Silver	SW 6255	#2 Black Raised Panel
Office	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
Misc. Selections				
Interior walls	SW 6148	Egg Shell - Walls	Semi-Gloss Kitchens and Baths	
Interior Doors & Trim	SW 7005	Semi- Gloss		
VCT Tile Main Color	V-211 Springer Spaniel Azrock Collection			
VCT Border Color	51868 Smoke Brown - Armstrong			
VCT Laundry Room LVT	51868 Smoke Brown Main Color, V-211 Springer Spaniel Border			
Leedo Cabinet	VPS81 Cameron Plus Plank – 620 Universal Hardwood - Pecan			

Vinyl Siding & Shake Website:

<http://www.norandexhome.com/woodsman-select>

Shutter Website:

<http://thetapcogroup.com/products/shutters/shutters/vinyl/panel/ma-standard>

Sherwin Williams Paint Color Website:

<http://www.sherwin-williams.com/architects-specifiers-designers/color/find-and-explore-colors/paint-colors-by-family/?q=6148>

Tile Sample Websites:

<http://www.armstrong.com/commflooringna/products?Ntt=51868>

<http://www.azrock.com/Products/ProductDetails/tabid/245/Default.aspx?p=SPRINGER%20SPANIEL&sku=V-211&C=202>

Ross Deckard Architects, PA

Dee Futerfas  
 IIDA, LEED AP ID+C  
 Interior Designer  
 919.875.0001

P.O. Box 98044  
 Raleigh, NC 27624-8044

3200 Atlantic Avenue  
 Suite 110  
 Raleigh, NC 27604

ARCHITECTURE  
 PLANNING  
 INTERIORS

Fax:  
 919.875.9200

D.Futerfas@  
 RossDeckardArchitects.com

# RailWays®

Universal Railing Collection

All HandRail  
"white"

12/24/14

## The Perfect Complement to your Deck

When you add RailWays® Universal Railing to your wood or composite deck, you can rest easy knowing that you're adding hours and hours of care-free enjoyment in a beautiful and safe environment.

Because it's made from a durable co-extruded, capped composite material, RailWays® Universal Railings won't splinter or lose strength from rotting over time like wood can and it's easy to maintain. In fact, it's covered by a 25-year limited residential warranty.

Our Uni-Ball™ baluster connectors and railing hardware make installation a snap. And with a standard palette of eight colors and our exclusive Nightscapes™ recessed lighting system, you can customize the look and feel of your own deck project.

***Why trust your family's investment to anything else?***



## Steve Allison

**From:** Jason Buffkin <JBuffkin@partnershippm.com>  
**Sent:** Monday, January 26, 2015 2:17 PM  
**To:** Steve Allison  
**Cc:** Jeff Holoman; Sam Sink  
**Subject:** RE: Alternate siding colors

<b>Vinyl Siding Building</b>	<b>Vinyl Color</b>	<b>Shake Color</b>	<b>Door Color</b>	<b>Shutter Color</b>
<b>1</b>	Smoke	#279 Steel Blue	SW 7076	#2 Black Raised Panel
<b>2 &amp; 3</b>	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
<b>4</b>	Smoke	#279 Steel Blue	SW 7076	#2 Black Raised Panel
<b>5</b>	Seaport	#090 Silver	SW 6255	#2 Black Raised Panel
<b>6</b>	Seaport	#090 Silver	SW 6255	#2 Black Raised Panel
<b>7</b>	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
<b>8</b>	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
<b>9 &amp; 10</b>	Smoke	#279 Steel Blue	SW 7076	#2 Black Raised Panel
<b>11 &amp; 12</b>	Seaport	#090 Silver	SW 6255	#2 Black Raised Panel
<b>Office</b>	Cactus	#569 Seagrass	SW 6994	#2 Black Raised Panel
<b>Alternate Color 1</b>	Fern	#544 Mocha	SW 6994	#2 Black Raised Panel
<b>Alternate Color 2</b>	Sierra	#278 Firebrick	SW 6335	#2 Black Raised Panel
<b>Misc. Selections</b>				
<b>Interior walls</b>	SW 6148	Egg Shell - Walls	Semi-Gloss Kitchens and Baths	
<b>Interior Doors &amp; Trim</b>	SW 7005	Semi- Gloss		
<b>VCT Tile Main Color</b>	V-211 Springer Spaniel Azrock Collection			
<b>VCT Border Color</b>	51868 Smoke Brown - Armstrong			
<b>VCT Laundry Room LVT</b>	51868 Smoke Brown Main Color, V-211 Springer Spaniel Border VPS81 Cameron Plus Plank – 620 Universal			
<b>Leedo Cabinet</b>	Hardwood - Pecan			
<b>Counter top</b>	Formica – Etchings Finish 7734-46 Jamocha Granite			

PREMIUM COLOR  
FERN

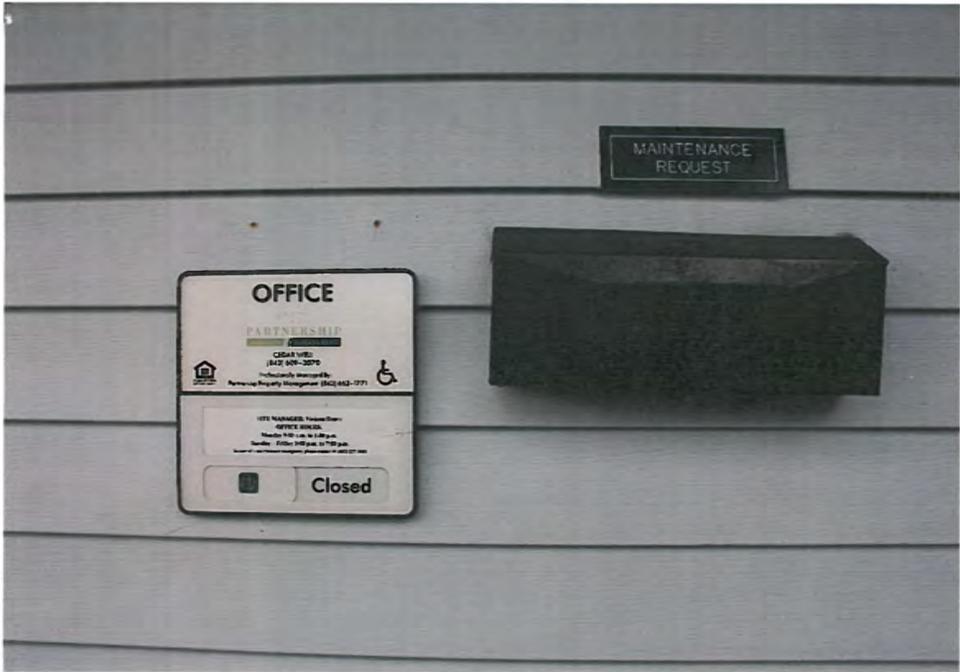
SW 6258  
Tirecorn Black

# Photos of Existing Community Building









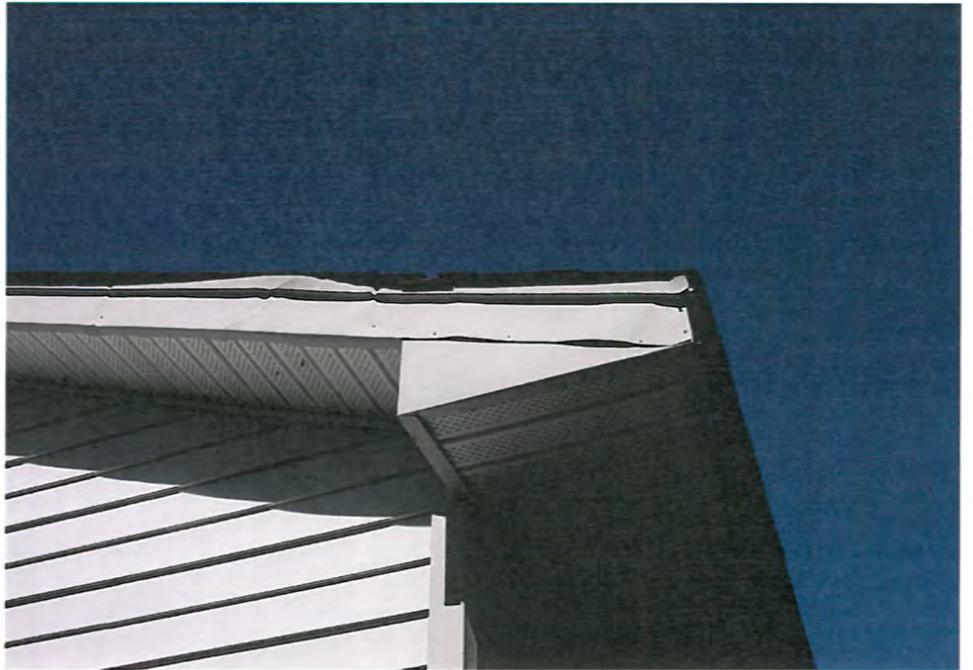
# Existing-Site Photos of Apartment Buildings : Signage







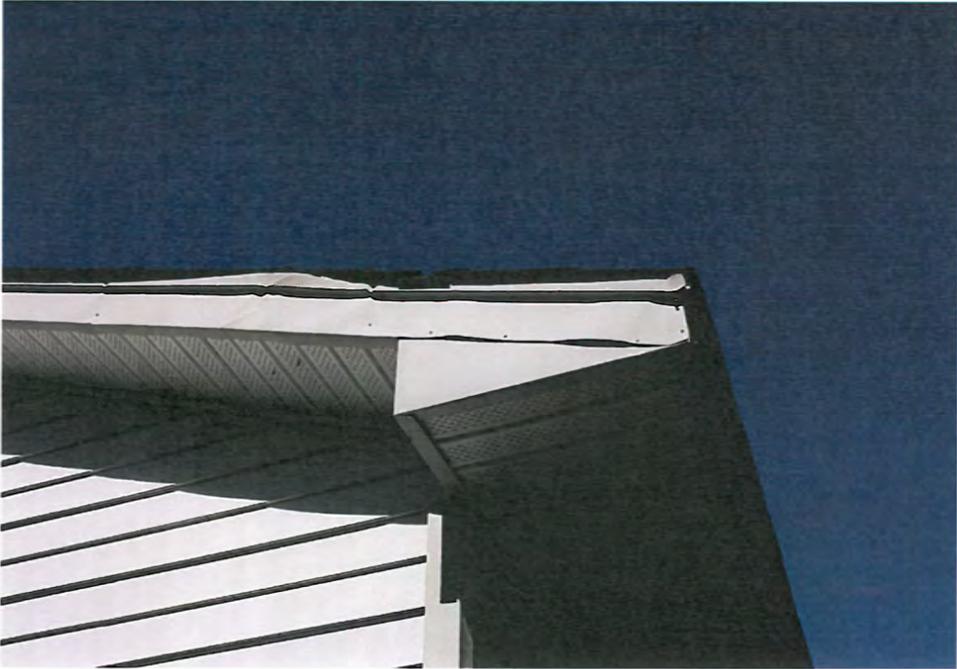






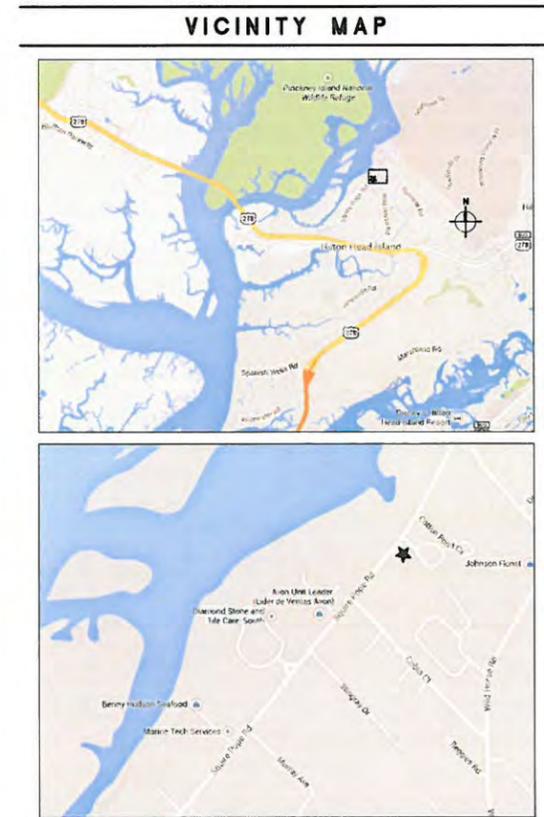






# Cedar Well Apartments

## Hilton Head, South Carolina



### DRAWING INDEX

DWG. NUMBER	SEQUENCE NUMBER	DRAWING DESCRIPTION	ISSUE DATE	LAST REVISION DATE	REVISED THIS PRINT
CS 1.1	1	COVER SHEET, INDEX OF DRAWINGS, SCOPE OF WORK	03.24.14	01.08.15	X
SOW	2	SCOPE OF WORK	03.24.14	01.08.15	X
UM-1	3	UNIT MATRIX	11.12.14		
<b>SITE</b>					
SITE 1.1	4	SITE PLAN	03.24.14	11.12.14	
SITE 2.1	5	SITE DETAILS	03.24.14		
<b>ARCHITECTURE</b>					
A 1.1	6	COMMUNITY BUILDING PLAN, INTERIOR ELEVATIONS	03.24.14	11.12.14	
A 1.2	7	BUILDING PLAN - 2 BEDROOM BLDG.	03.24.14	01.08.15	X
A 1.3	8	BUILDING PLAN - 2 BEDROOM BUILDING ACCESSIBLE	03.24.14	01.08.15	X
A 3.1	9	EXTERIOR ELEVATIONS - COMMUNITY BUILDING	03.24.14		
A 3.2	10	EXTERIOR ELEVATIONS - 2 BEDROOM BUILDING	03.24.14	11.12.14	
A 4.1	11	ENLARGED UNIT PLAN - 2 BEDROOM UNIT	03.24.14	01.08.15	X
A 4.2	12	ENLARGED UNIT PLAN - 2 BEDROOM UNIT ACCESSIBLE UNIT	03.24.14	01.08.15	X
A 5.1	13	DETAILS	03.24.14	01.08.15	X
<b>PLUMBING</b>					
P 1.1	14	TYPICAL UNITS PLUMBING PLANS	04.11.14	11.12.14	
<b>MECHANICAL</b>					
M 1.1	15	TYPICAL UNITS MECHANICAL PLANS	04.11.14	11.12.14	
<b>ELECTRICAL</b>					
E 1.1	16	TYPICAL UNITS ELECTRICAL PLANS	04.11.14	11.12.14	
<b>PROJECT INFORMATION</b>					
ANSI-1		ICC/ANSI-117.1-2010			DELETED
ANSI-2		ICC/ANSI-117.1-2010			DELETED
ADA	17	ADA ACCESSIBILITY GUIDELINES ADAG 2010	03.24.14	11.12.14	
UFAS	18	UNIFORM FEDERAL ACCESSIBILITY STANDARDS	03.24.14		



Cedar Well Apartments

Hilton Head, South Carolina

14-004.00

- January 8, 2015  
ASH #2
- November 12, 2014  
ASH #1
- September 28, 2014
- September 11, 2014  
Owner Comments
- April 11, 2014  
Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Cover Sheet  
Index of Drawings  
Scope of Work

CS 1.1

SECTION 0010-SCOPE OF WORK DESCRIPTION

**Existing Conditions:** Properly completed and first occupied in 1990. If completed after 1991, all improvements are to meet or exceed 504 Fair Housing Act.

**Project Unit Mix:**

- one bedroom, including Type "A" accessible units
- 24 two bedroom, including 2 Type "A" accessible units and 1 A/V unit
- three bedroom, including Type "A" accessible unit
- four bedroom, including Type "A" accessible units
- 24 total units
- 1 office/laundry/community building

**NOTE:** Key numbers (1, 2, ...) below are positioned on the drawings to indicate general locations of scope of work items. See Unit by Unit Scope of Work for scope information for individual dwelling units and quantities required. See Site Plan for unit locations and key numbers within individual building and unit floor plans. Consult property condition assessment and environmental reports for existing condition information.

**Key Section:** Required scope of work (scope includes community building and each unit); "Provide" means furnish material, equipment, labor, and insurance to complete.

**GENERAL**

**1 General Conditions:**

Compliance with USDA RD program documents published under the MPR program is required. General Contractor and all subcontractors are responsible for reading, evaluating and applying minimum standards referenced in these documents.

- a. Provide evidence of maintained workman compensation insurance coverage.
- b. Provide evidence of maintained liability insurance \$500,000/\$1,000,000.
- c. All work shall meet all applicable codes.
- d. All work shall be professional and guaranteed/warranted for one year.
- e. Meet or exceed all building product manufacturer's recommendations.
- f. Bidder visit and inspect jobsite and must confirm all counts and measurements.
- g. Inspect each unit prior to turn-over with property manager.
- h. Complete punch-list prior to final payment.
- i. Final clean each unit immediately prior to turn-over to property manager.

**2 Coordination:**

- a. Prepare sequencing plan (schedule) for relocation and staging of work.
- b. Submit work sequencing plan to Property Manager one week before start.
- c. Limit work duration in each apartment to shortest possible time interval.

**3 Demolition/Cleaning:**

Remove / dispose of all items to be removed or replaced (per jurisdiction disposal requirements); Consult environmental studies. General Contractor to be responsible for all costs of disposal/removal. The repair and finish of adjacent material where items have been removed shall be provided in kind by the General Contractor.

- a. old overgrown or damaged plant material.
- b. broken concrete, concrete steps and patios, broken asphalt paving, curbs and sidewalks.
- c. walls shown on drawings to be removed.
- d. doors and frames/trim, hardware, windows and frames/trim.
- e. single roofing, fascias, siding, trim, and ridge vent.

SCOPE OF WORK DESCRIPTION 00010 - 1

1 vinyl floor tile, carpeting, damaged subflooring, wall trim and drywall.

- g. cabinets, countertops, sinks, garbage disposals, lavatories, water closets, both tubs,
- h. appliances, light fixtures.
- i. Clean all exterior wall surfaces to remove clay splash stains and mildew.
- j. Remove all existing front and rear porch decking, railings, pickets, and posts. Remove all existing stairs, stringers, treads, risers, and handrails.

**SITE WORK**

**4a General:**

- a. Upgrade site access to meet UFAS accessibility requirements per budget estimate and site plan.

**4b Site Improvements:**

- a. Provide (3) additional parking spaces in front of office.
- b. Provide new concrete steps and vinyl railings.
- c. Provide accessible sidewalk from Building 5 to laundry and office building, mailbox and dumpster.

**4c Asphalt Paving:**

- a. Add 3 new parking spaces per site plan.
- b. Seal and stripe parking areas and accessible spaces with cross-walks as shown on site plan.
- c. Restripe parking spaces to meet handicap requirements and provide ADA signage.
- d. Inspect for and repair existing driveway base and create surface drainage to existing spillway, as shown on site plan.

**5 Sidewalks:**

Upgrade concrete to meet UFAS, per budget estimate, to include:

- a. Replace broken and missing concrete sidewalks.
- b. Replace wooden porches and steps with concrete.
- c. Porch and ramps of Building 5 and office to be replaced with concrete to comply with accessibility code.
- d. All public spaces and amenities shall be connected by 4' wide ADA accessible sidewalks with turnaround areas. Accessible sidewalk slopes shall be limited to less than 1:20 slope. Limited lengths of accessible sidewalk may be sloped up to 1:12 slope without handrails.
- e. Position curb-cuts and crosswalks for handicap accessibility of site. See site plan for location of handicap parking spaces and crosswalks.
- f. Provide new accessible parking space, drive and curb cut at Office and Building 5.
- g. Provide accessible concrete pad for mail kiosk.

**6 Site Amenities:**

- a. Connect all site amenities with ADA accessible sidewalks.
- b. Provide ADA accessible sidewalk or path to and from playground.

**7 Landscaping:**

Landscape allowance to include:

- a. Provide additional plantings and mulch. Landscape plan to be provided by PPM.

**8 Signage:**

- a. Provide handicap parking signage per PPM specs.

**9 Site Lighting:**

- a. Provide site lighting in front of office per site plan.

SCOPE OF WORK DESCRIPTION 00010 - 2

**BUILDINGS**

**10 General Improvements:**

- a. Provide improvements to laundry / office, to include new finishes, and accessibility upgrades.
- b. Seal all exterior joints and gaps.
- c. In order to reduce air infiltration and to pass blower door test (energy audit by power company), install sealant as required.
- d. Replace damaged or rotten wood.
- e. Provide upgrades to handicap units to meet all UFAS accessibility requirements.

**11 Masonry:** NONE

**12 Metals:** NONE

- a. Provide metal handrails at office, Building 5 and on all steps.

**13 Carpentry:**

- a. Inspect for and replace damaged wood trim, exterior sheathing.
- b. Provide new vinyl railings and pickets, with metal handrails.
- c. Provide Trex decking system at front and rear porches.
- d. Inspect for and replace damaged floor sheathing.

**14 Insulation:**

- a. Inspect attic/roof insulation and upgrade to R38.

**15 Roofing:**

- a. Provide new 30-year antifungal architectural asphalt fiberglass roof shingle system, on all buildings except Building 1.
- b. Remove all existing roof shingles, rake and fascia wrap, and accessories.
- c. Provide new drip edges and pre-finished metal wrap at fascia and rakes.
- d. Provide rain diverter at front and rear entrance.
- e. Replace damaged fascia boards and sheathing.
- f. Provide new ridge venting for all roof ridges and cut sheathing to vent attic.
- g. Provide roofing for playground equipment.

**16 Siding:**

- a. Replace all vinyl siding throughout project.
- b. Inspect for and replace soffit with vented vinyl soffit.
- c. Install decorative sking (shake) to all gable end areas.
- d. Install vinyl columns and rails at porches.
- e. Install new shutters (sick) at current locations.

**17 Doors:**

- a. Replace all front exterior door/frame/trim with new insulated 2-panel metal doors and wood trim.
- b. Replace new 2-panel hollow core interior doors to match existing. Provide new frame and trim where damaged.
- c. Replace all bi-fold doors with 2-panel swinging doors.
- d. Caulk all doors inside and outside.
- e. Replace Community Building exterior door and interior, with 2-panel.
- f. Existing exterior storage room door at UFAS units shall be minimum of 2'0" or 2'8" with offset hinges.

SCOPE OF WORK DESCRIPTION 00010 - 3

**18 Windows:**

- a. Provide new insulated, double pane, vinyl impact windows (DP 50) with a U-factor of 0.52 or below and a SHGC of 0.40 or below. Install flashing per manufacturer's recommendation. Provide EPA's Energy Star qualified program requirements. Must meet local wind rating requirements.
- b. Bedroom windows must have vent area of 5.0 sf on 1st floor, and a 24" min vertical vent opening.
- c. Caulk all windows inside and outside.
- d. Provide tempered windows adjacent to the rear entrance door in the kitchens.

**19 Hardware:**

- a. Provide passage latchset, dead bolt with thumb turn on interior side, and security viewer at each front entrance door. All hardware to be brushed nickel.
- b. Provide latchset and deadbolt at each rear entrance door.
- c. Provide new interior lever handle door hardware throughout project: brushed nickel to match cabinet doors. Privacy handles should be push button.

**20 Gypsum Wallboard:**

- a. Inspect for and repair/replace damaged wallboard, as needed. See unit-by-unit.

**21 Vinyl Flooring:**

- a. Replace all flooring (vinyl and carpet) with tile plank flooring throughout all units, except bathrooms.
- b. Replace flooring in bathrooms with VCI.
- c. Inspect for and repair all squeaky flooring.

**22 Carpet:**

- a. Remove all carpeting.

**23 Painting:**

- a. Paint an life interior of each dwelling unit - egg-shell finish; semi-gloss finish in kitchens, bathrooms, doors and trim.
- b. Paint interior of the Community Building - egg-shell finish; semi-gloss finish in bathrooms, doors and trim.
- c. Paint new exterior doors and trim with semi-gloss enamel paint. Paint top, sides, bottom, and faces of door.
- d. Paint new interior doors and trim with semi-gloss finish.
- e. Clean, prepare and sand all surfaces prior to painting.
- f. Caulk of open joints.
- g. Prime all new and repaired surfaces.
- h. Repair damaged popcorn ceilings.

**FURNISHINGS**

**24 Bath Fixtures:**

- a. Replace existing tubs and surrounds with 1-piece tub and surround. See unit-by-unit.
- b. Replace all water closets with new comfort height fixture, min. 17-inch excluding seat.
- c. Use wall hung lavatory in handicap accessible units, with decorative wooden skirting.
- d. Replace vanity tops with cultured marble.

SCOPE OF WORK DESCRIPTION 00010 - 4

**25 Accessories:**

- a. Replace all bathroom accessories and shower rods.
- b. Provide grab bars in accessible bathrooms of tub and water closet.
- c. Provide (1) grab bar in all non-accessible units.
- d. Replace medicine cabinets.

**26 Casework:**

- a. Provide new kitchen and vanity cabinets in all units. Install brushed nickel hardware.
- b. Provide new plastic laminate countertops with stainless steel sinks.
- c. Provide shallow depth rear drain kitchen sinks in UFAS units per UFAS requirements.
- d. Replace casework with UFAS compliant casework in accessible units. See unit-by-unit. Accessible units to have removable front cabinets at kitchen sink and work space.

**27 Appliances:**

- a. Provide new EnergyStar refrigeration (22), min. 18cft with top freezer. Handicap units to receive side-by-side refrigerator.
- b. Provide new electric ranges (20) with anti-tip devices. Ranges with front controls to be provided in UFAS units.
- c. Provide all new ducted EnergyStar range hoods and splatter guard behind range (back splash).
- d. Provide all new EnergyStar dishwashers.
- e. Remove all existing garbage disposals.
- f. Dryer vents to be rerouted in (6) units using hard duct.

**28 Mini-blinds:**

- a. Replace existing blinds with vinyl mini-blinds at all windows.

**29 Other:**

- a. Provide unit leak testing per MPR program guidelines.

**PLUMBING, MECHANICAL, ELECTRICAL**

**30 Plumbing:**

- a. Inspect plumbing systems and replace washers, P traps, pipes, shut-off valves at sinks and toilets.
- b. Provide faucet, fillings and hook-up of stainless steel kitchen sinks.
- c. Provide fillings and hook-up for dishwasher.
- d. Provide new single lever faucets throughout project.
- e. Provide faucet, fillings and hook-up of bathroom vanities or sinks. Fixtures to be WaterSense labeled products.
- f. Provide fillings and hook-up of new water closet.
- g. Toilet shall be 1.6-1.28 gallons or less per flush and be WaterSense labeled products.
- h. Provide faucet, fillings and hook-up for bathtub/shower. Showerheads to be low flow and WaterSense labeled products.
- i. Provide (20) new EnergyStar water heaters and valves to comply with latest adopted edition of International Plumbing Code.
- j. Provide pan under water heaters for overflow and blow-off piping per local building code.
- k. Install new electric water heater in Community Building.
- l. Disconnect existing gas water heater at C8 and cap (concealed) lines per code.

SCOPE OF WORK DESCRIPTION 00010 - 5

**31 HVAC:**

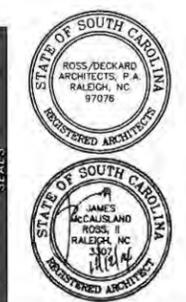
- a. Provide new complete EnergyStar 13SEER heat pump split systems in (17-18) units and office. All new HVAC systems shall have 410A refrigerant.
- b. Replace HVAC platform for each outside unit.
- c. Replace (17-20) inlets.
- d. Provide sealed galvanized sheet metal pan with drain under each air handler unit.
- e. Provide safety shut off for heat pump pan overflow.
- f. Replace all supply diffusers and replace return or grills.
- g. Provide new EnergyStar bath exhaust fan. Exhaust duct shall have a backflow damper and be vented to soffit vent.

**32 Electrical:**

- a. Inspect electrical system and repair or replace damaged components.
- b. Install new GFI receptacles in all kitchens and baths.
- c. Replace damaged/missing switches, plates, and receptacles.
- d. Replace all smoke detectors with hardwired devices to meet code (UL 217) in bedrooms and halls.
- e. Replace all interior and exterior lighting fixtures. Use EnergyStar fixtures. At all UFAS units, exterior light fixtures to be mounted no more than 4" off wall.
- f. Provide 4" fluorescent fixture in kitchen.
- g. Add ceiling mount light fixture (EnergyStar) in all living rooms. Switches to be located adjacent to front entrance door where possible.
- h. Wire and hook-up dishwasher. Provide switch in UFAS units installed at accessible height.
- i. Wire and hook-up water heater. Install new disconnect.
- j. Wire and hook-up bath exhaust fan. Switch with ceiling light.
- k. Wire and hook-up new split system heat pump systems.
- l. Provide flooring doorbell at all accessible units (UFAS and A/V units).
- m. Provide exterior strobe light at all accessible units (UFAS and A/V units).
- n. Provide wall mounted exterior light fixtures (3) at front of office, no more than 4" off wall.

Last revised: 01/08/15

SCOPE OF WORK DESCRIPTION 00010 - 6



Cedar Wells Apartments

Hilton Head, South Carolina  
14-604.00

January 8, 2015  
November 12, 2014  
September 11, 2014  
April 11, 2014

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Scope of Work

SOW  
SHEET OF TOTAL SHEETS IN SET DRAWN BY: CHECKED BY:

Cedar Wells



BUILDING	Unit	# of Bedrooms	AV / ADA Unit (Y/N)	GENERAL								LIVING ROOM				KITCHEN										DINING				BEDROOMS				BATHS										COMMENTS					
				Front Door (Unit)	Paint walls, ceilings & door	Railings (Exterior Stair)	Decking on Porches	Smoke/CO Detector(s)	Int. Door Replace	Window replace	Window Blind(s)	Flooring (LVT)	Subflooring	Install Ceiling Fan	Add Shoe Molding	Flooring (LVT)	Subfloor (SF)	Light Fixture(s)	Add Shoe Molding	Cabinet Countertops	Cabinets	Sinks/Faucets	Outlets	Refrigerator	Hot Water Heater	Range	Range Hood	Outside A/C Compressor	Inside A/C Air Handler	Flooring (LVT)	Subflooring	Light Fixture(s)	Add Shoe Molding	Flooring (LVT)	Subflooring	Light Fixture(s)	Add Shoe Molding	Flooring - (VCT)	Subflooring	Add Shoe Molding	Vanity/Tops	Sinks/Faucets	Plumbing/Toilet		Valves / Drain	Mirror/Medicine Cabinet	Bath Tub	Shower Surround	Accessories
	OFFICE	0	Y	X	X	X		X	X	X	X	X	A		X											X	X							X	A	X	X	X	X	X	X	X	X	X	X		X		
1	1A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
	1B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
2	2A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
	2B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
3	3A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
	3B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
4	4A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
	4B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
5	5A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
	5B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
6	6A	2	Y	X	X	X		X	X	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		NEW ADA UNIT	
	6B	2	Y	X	X	X		X	X	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		NEW ADA UNIT	
7	7A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X	
	7B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
8	8A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
	8B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
9	9A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
	9B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
10	10A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
	10B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
11	11A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
	11B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
12	12A	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
	12B	2		X	X	X	X	X	X	X	X	X	A	X	X	X	X	X	X	A	X	X	X	X			X	A	X	X	X	A	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		X
Totals =				24	25	25	25	22	25	25	25	25	25	24	25	24	24	24	24	24	2	22	20	20	24	17	17	24	0	24	24	24		24	24	25	25	25	25	25	25	25	12	12	25				
X= to be Replaced																																																	
A= As Needed																																																	

Cedar Wells Apartments

Hilton Head, South Carolina

14-804.00

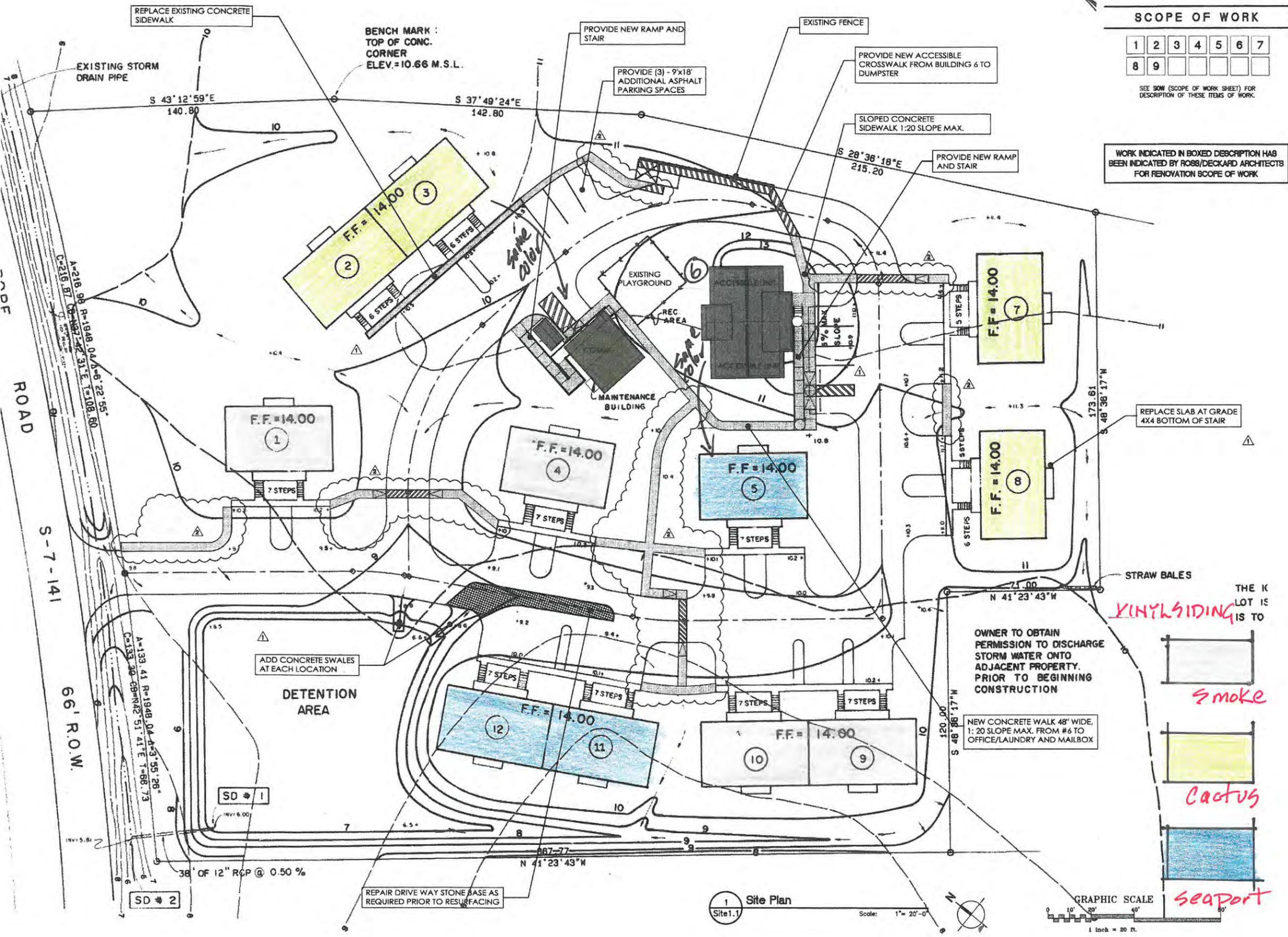
DATE: November 12, 2014  
ISSUED FOR: Permit-Construction

Unit Matrix

UM-1

SHEET OF TOTAL SHEETS IN SET DRAWN BY CHECKED BY

ARCHITECTURE PLANNING INTERIORS  
Ross / Deckard Architects, PA



**SCOPE OF WORK**

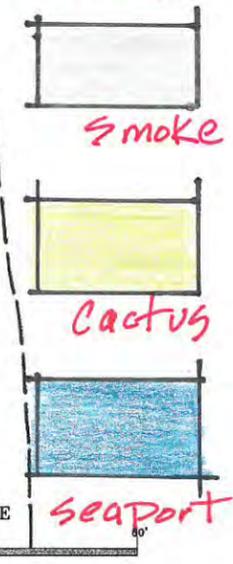
1	2	3	4	5	6	7
8	9					

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

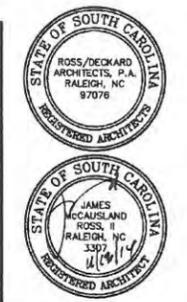
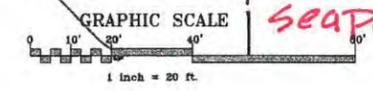
WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK

OWNER TO OBTAIN PERMISSION TO DISCHARGE STORM WATER ONTO ADJACENT PROPERTY. PRIOR TO BEGINNING CONSTRUCTION

NEW CONCRETE WALK 48" WIDE, 1:20 SLOPE MAX. FROM #6 TO OFFICE/LAUNDRY AND MAILBOX



1 Site Plan  
Scale: 1" = 20'-0"



Cedar Wells Apartments

Hilton Head, South Carolina

14-004.00

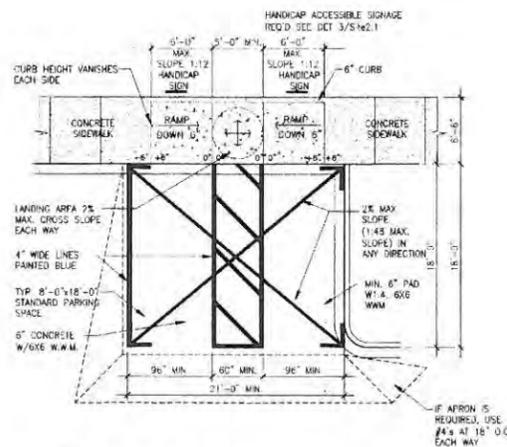
November 12, 2014  
April 11, 2014  
Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Site Plan

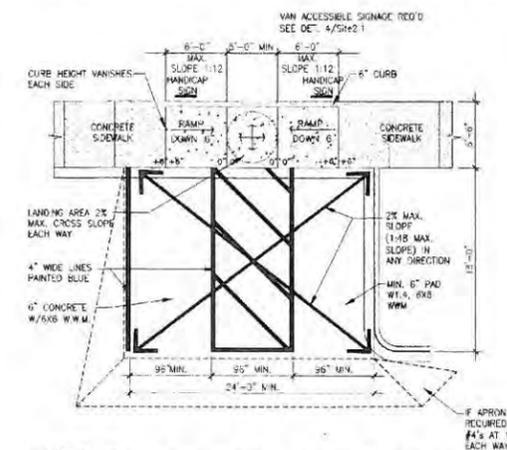
Site 1.1

SHEET # OF TOTAL SHEETS IN SET DRAWN BY THE CHECKED BY

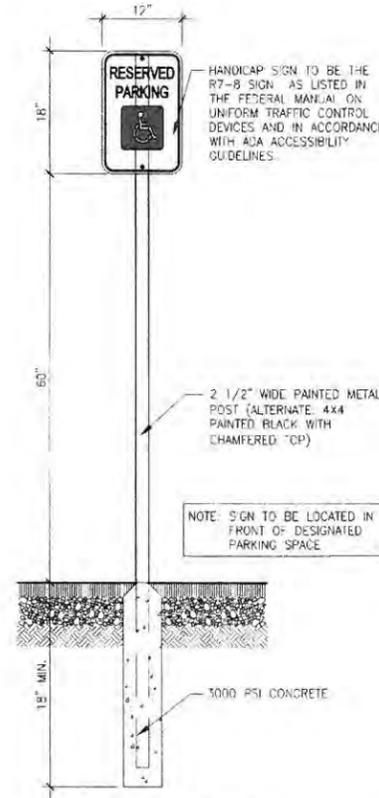


6 Typ. STD Accessible ADA Parking  
Site 2. Scale: 3/16" = 1'-0"

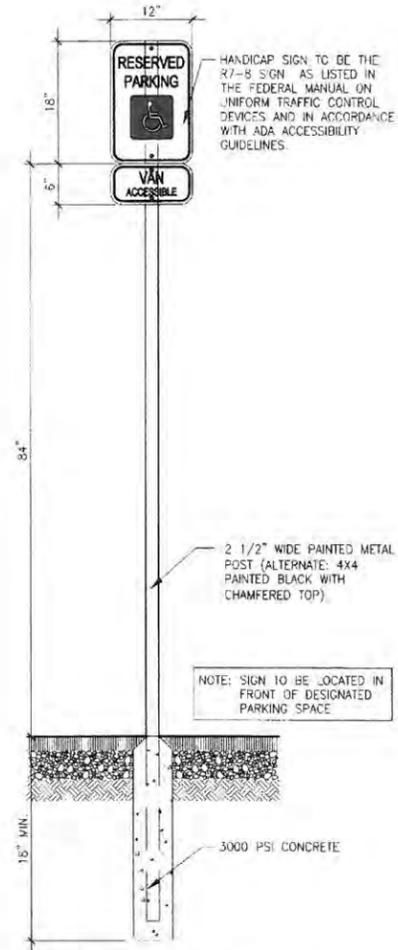
ALL CONCRETE 3000 PSI MIN.  
NO FIBER MESH IN EXTERIOR CONCRETE



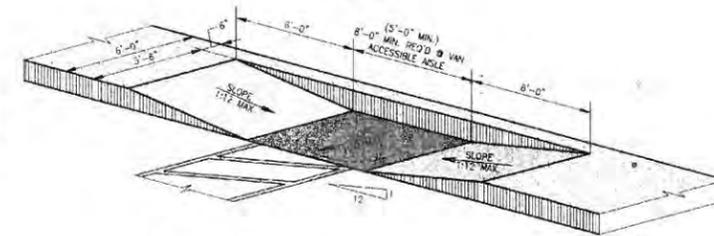
5 Typ. Van Accessible ADA Parking  
Site 2. Scale: 1/8" = 1'-0"



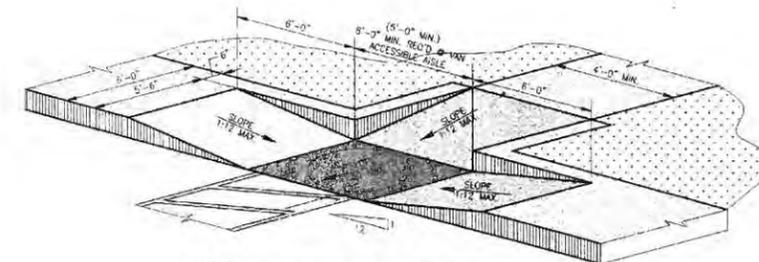
4 Handicap Parking Sign - STD  
Site 2. Scale: 1" = 1'-0"



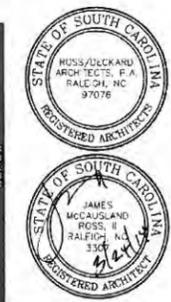
3 Handicap Parking Sign - Van  
Site 2. Scale: 1" = 1'-0"



2 ADA Curb Cut Detail  
Site 2. Standard Scale: 1/4" = 1'-0"



1 ADA Curb Cut Detail  
Site 2. At Intersecting Sidewalk Scale: 1/4" = 1'-0"



Cedar Well Apartments

Hilton Head, South Carolina

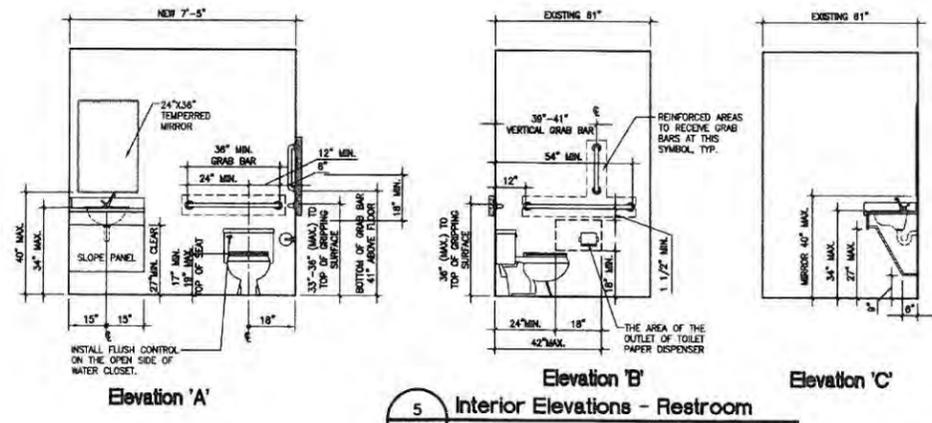
14-604.00

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

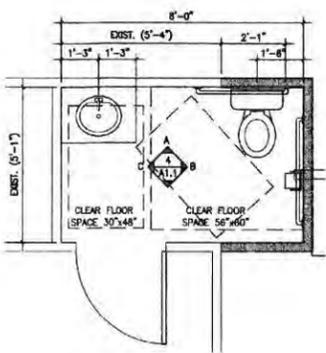
Site Details

Site 2.1

SHEET OF TOTAL SHEETS IN SET  
DATE: 3/24/14  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]



5 Interior Elevations - Restroom  
A1.1 Scale: 3/8"=1'-0"



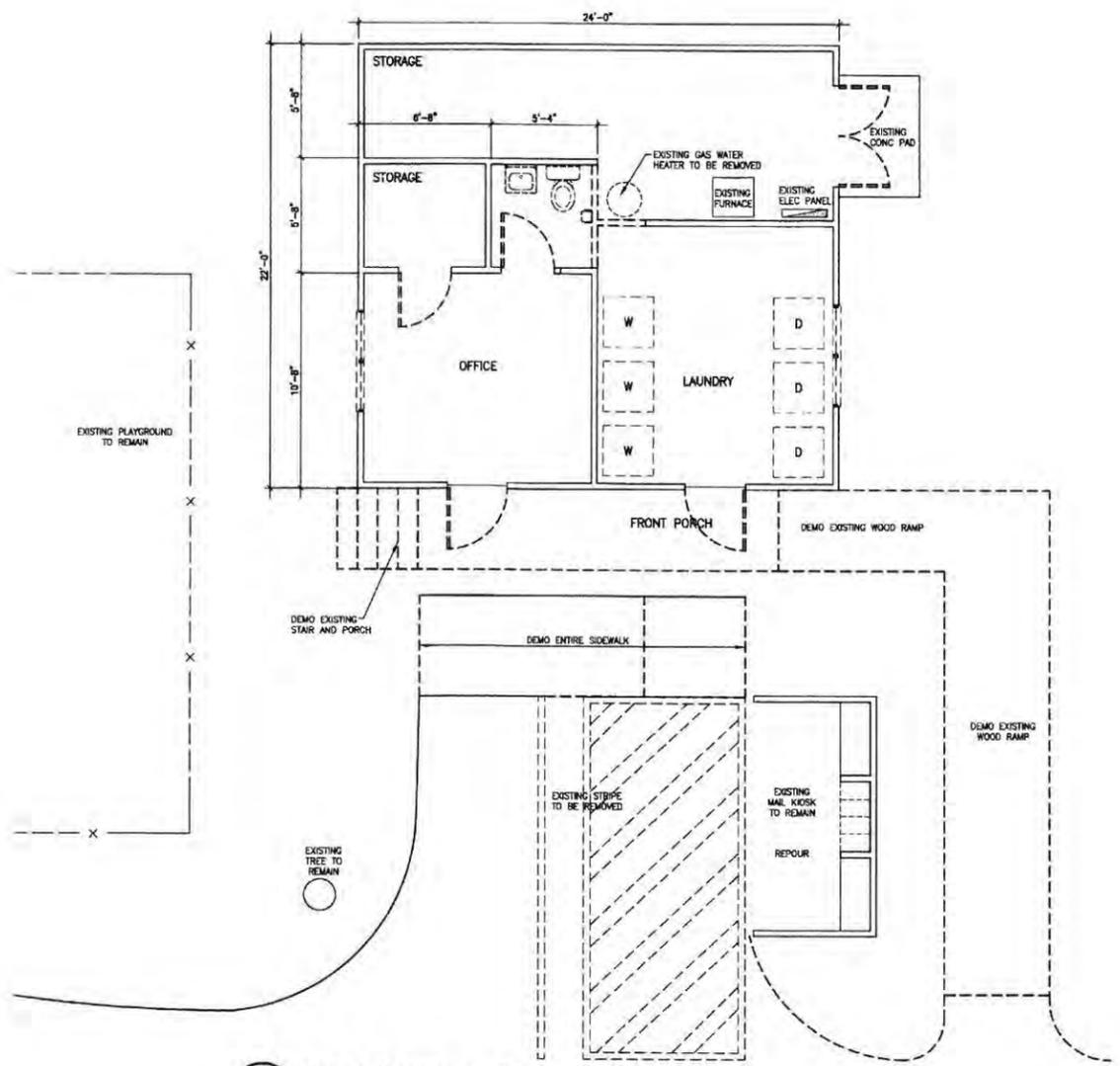
3 Roof Plan  
A1.1 Community Building Scale: 1/4"=1'-0"

SCOPE OF WORK

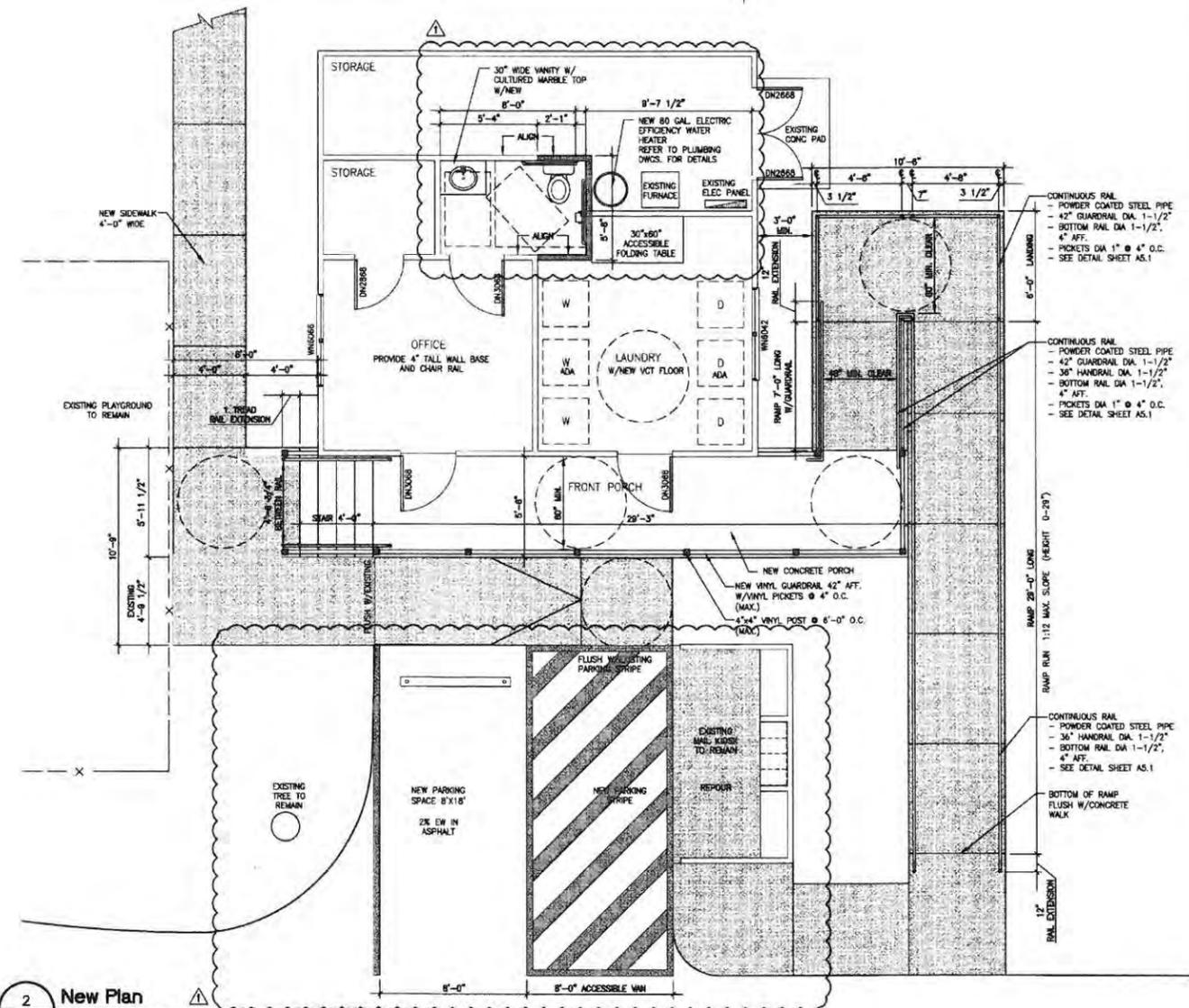
1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
28	29	30	31	32			

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK



1 Existing/Demolition Plan  
A1.1 Community Building Scale: 1/4"=1'-0"



2 New Plan  
A1.1 Community Building Scale: 1/4"=1'-0"



Cedar Wells Apartments

Hilton Head, South Carolina

14-804.00

November 12, 2014  
ASB #1  
April 11, 2014  
Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Community Building Plan  
Interior Elevations

A 11

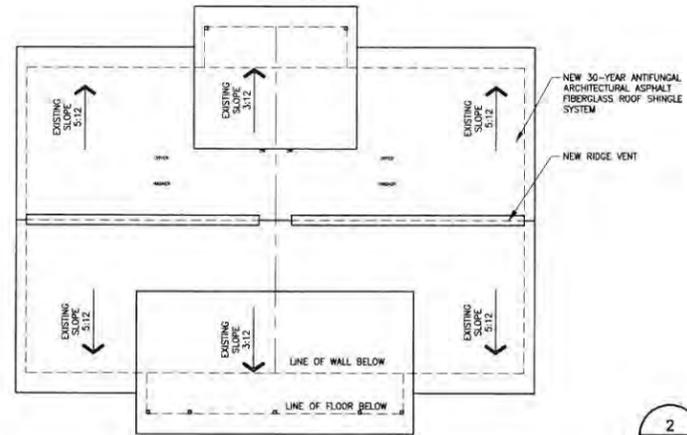
SHEET OF TOTAL SHEETS IN SET DRAWN BY TD CHECKED BY

**SCOPE OF WORK**

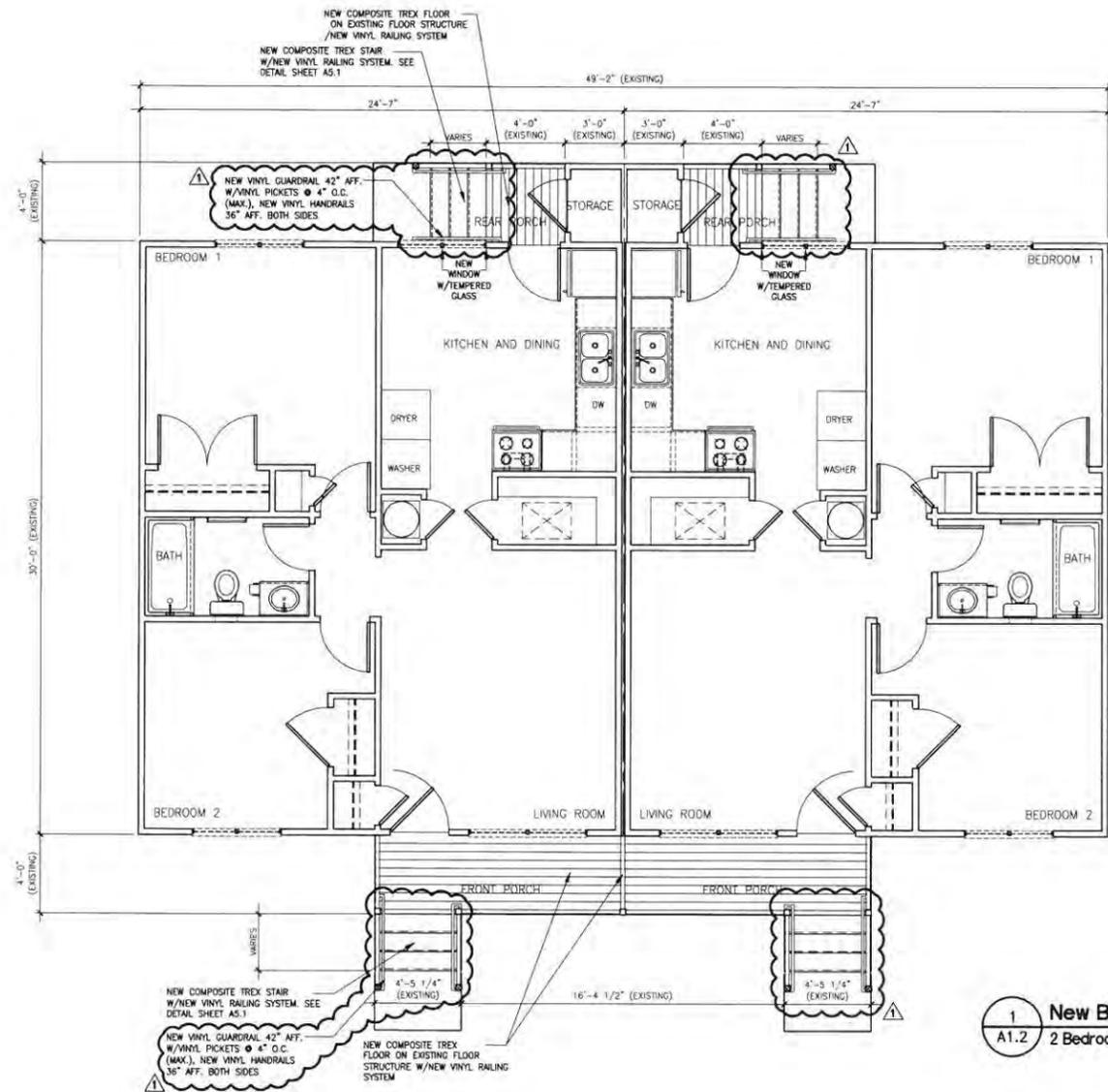
1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
26	27	28	29	30	31	32	

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

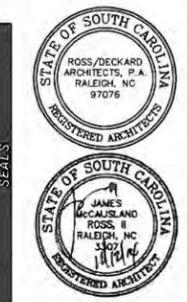
WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK.



**2** Roof Plan  
A1.2 2 Bedroom  
Scale: 1/8"=1'-0"



**1** New Building Plan  
A1.2 2 Bedroom  
Scale: 1/4"=1'-0"



**Cedar Wells Apartments**

Hilton Head, South Carolina

14-604.00

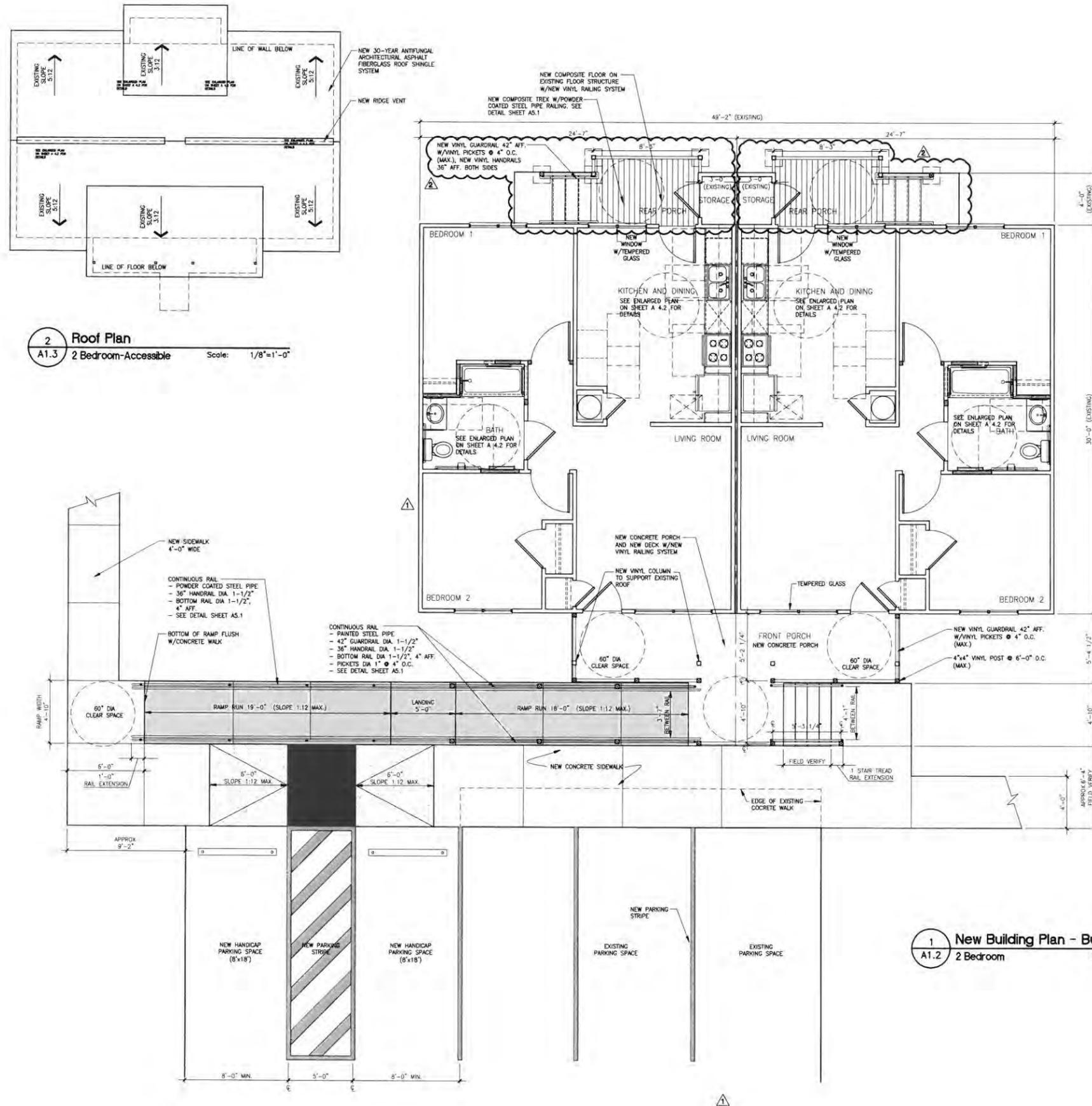
January 8, 2015  
ASB #2

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Building Plan  
- 2 Bedroom Bldg.

**A 1.2**

SHEET OF TOTAL SHEETS IN SET DRAWN BY: CHECKED BY:



**2 Roof Plan**  
 A1.3 2 Bedroom-Accessible Scale: 1/8"=1'-0"

**1 New Building Plan - Building #6**  
 A1.2 2 Bedroom Scale: 1/4"=1'-0"

**SCOPE OF WORK**

1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
26	27	28	29	30	31	32	

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK.



**Cedar Wells Apartments**

Hilton Head, South Carolina

# 14-604.00

- REVISIONS**
- January 8, 2016 ASI 92
  - November 12, 2014 A61 91
  - April 11, 2014 Owner Comments

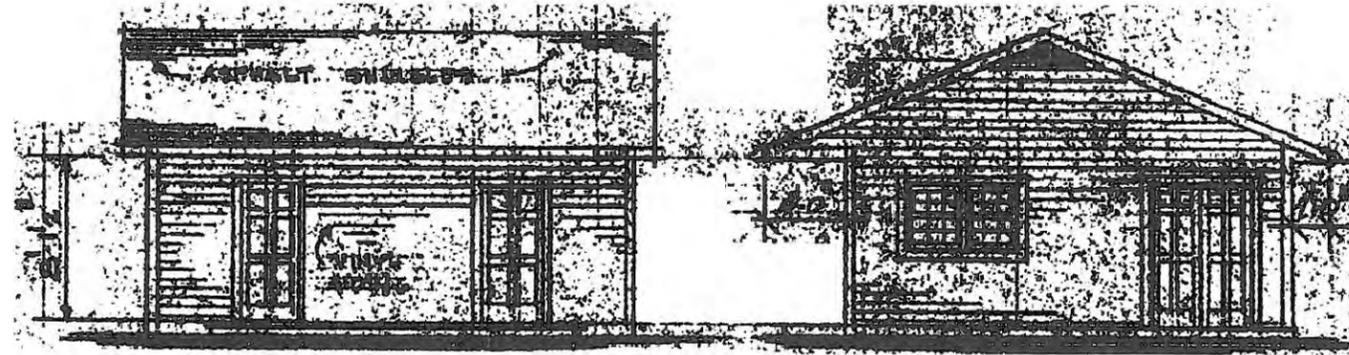
**DATE** March 24, 2014  
 ISSUED FOR: Permit-Construction

**SHEET** Building Plan - 2 Bedroom Bldg. Accessible

**A 1.3**

SHEET # OF TOTAL SHEETS IN SET DRAWN BY: CHECKED BY:

ARCHITECTURE PLANNING INTERIORS



**SCOPE OF WORK**

1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
28	29	30	31	32			

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK

1 Front Elevation  
A3.1 Scale: NTS



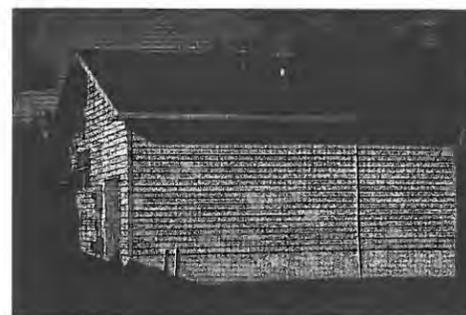
2 Right Elevation  
A3.1 Scale: NTS



3 Front Elevation  
A3.1 Scale: NTS



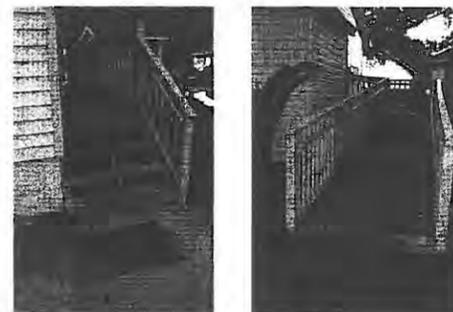
5 Right Elevation  
A3.1 Scale: NTS



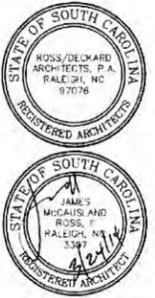
4 Left Elevation  
A3.1 Scale: NTS



6 Rear Elevation  
A3.1 Scale: NTS



7 Existing Stair and Ramp  
A3.1 Scale: NTS



**Cedar Well Apartments**

Hilton Head, South Carolina

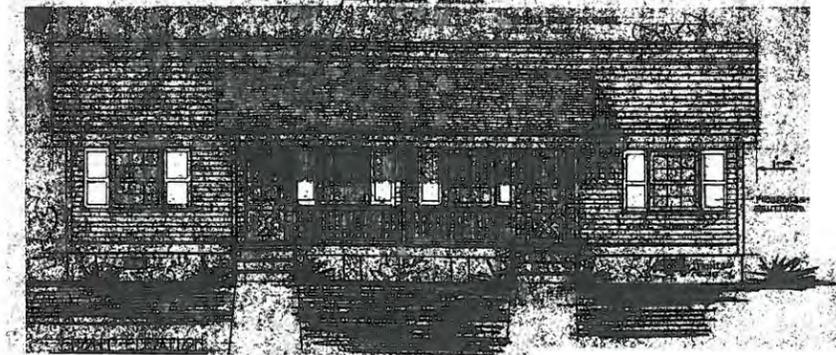
14-604.00

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

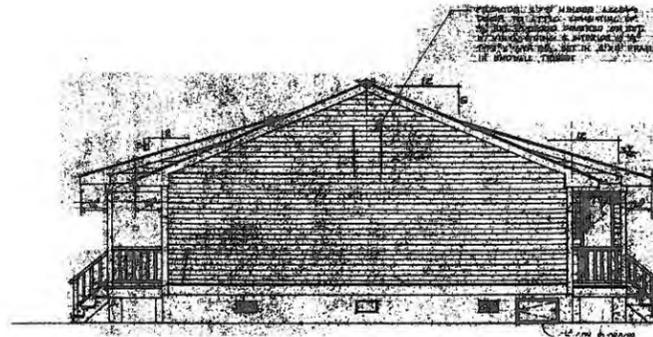
Exterior Elevations  
Community Building

**A 3.1**

SHEET OF DRAWN BY: TB  
10" x 14" SHEETS IN SET CHECKED BY:



1 Front Elevation  
A3.2 Scale: NTS



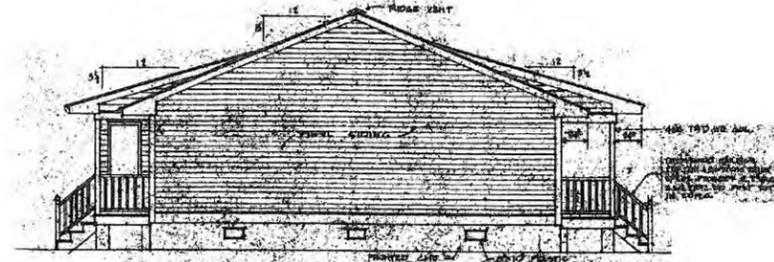
2 Right Elevation  
A3.2 Scale: NTS

**SCOPE OF WORK**

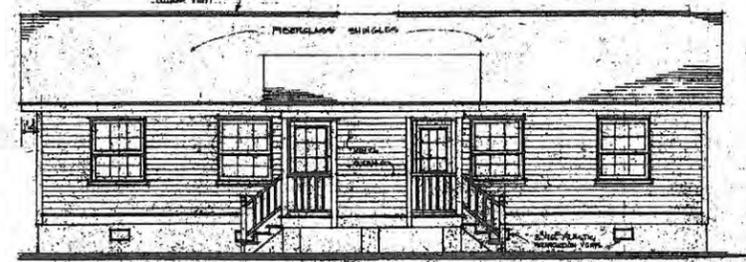
1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
26	27	28	29	30	31	32	

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

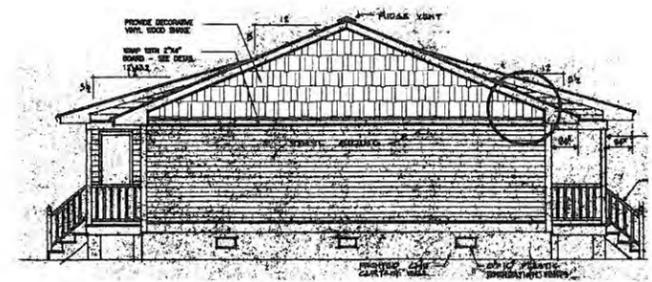
WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK



3 Left Elevation  
A3.2 Scale: NTS



4 Rear Elevation  
A3.2 Scale: NTS



5 Proposed Side Elevation  
A3.2 Scale: NTS



6 Front Elevation - STD Unit  
A3.2 Scale: NTS



7 Front Elevation - Accessible Unit  
A3.2 Scale: NTS



8 Left Elevation  
A3.2 Scale: NTS



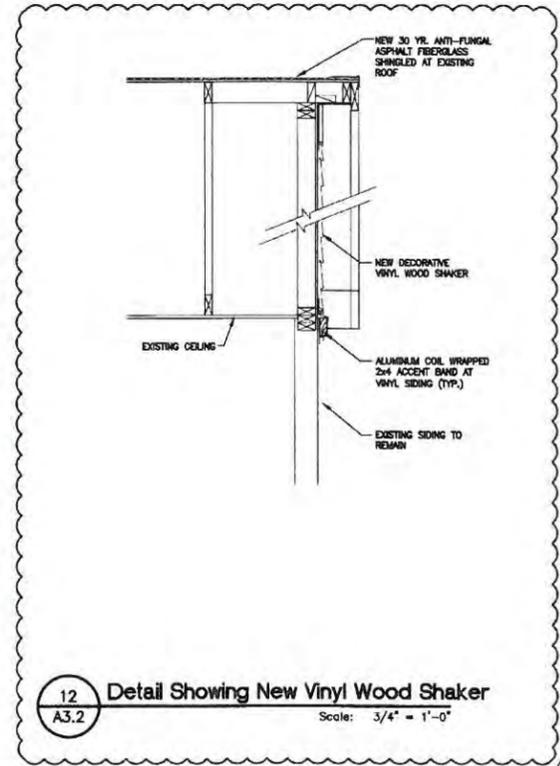
9 Rear Elevation  
A3.2 Scale: NTS



10 Ramp - Accessible Unit  
A3.2 Scale: NTS



11 Stair  
A3.2 Scale: NTS



12 Detail Showing New Vinyl Wood Shaker  
A3.2 Scale: 3/4" = 1'-0"



**Cedar Wells Apartments**

Hilton Head, South Carolina

14-604.00

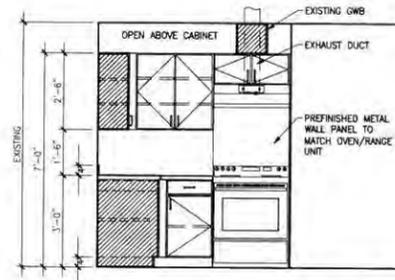
November 12, 2014  
A31 #1

April 11, 2014  
Owner Comments

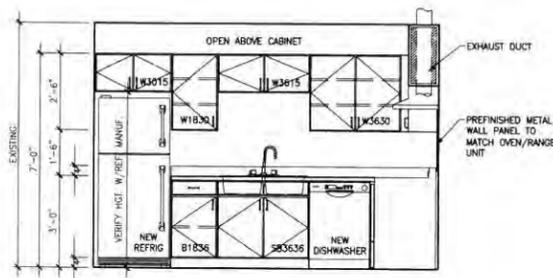
DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Exterior Elevations  
- 2 Bedroom

**A 3.2**

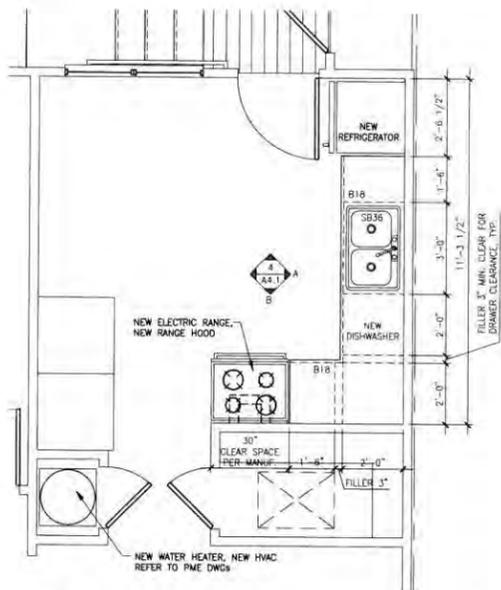


Elevation 'B'

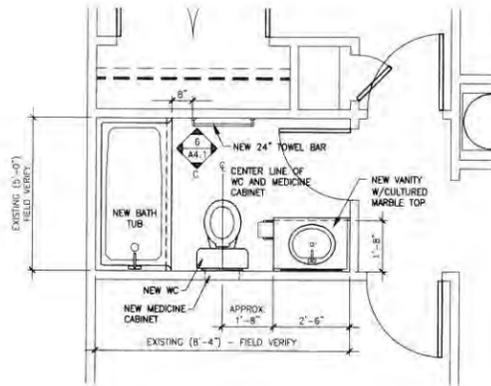


Elevation 'A'

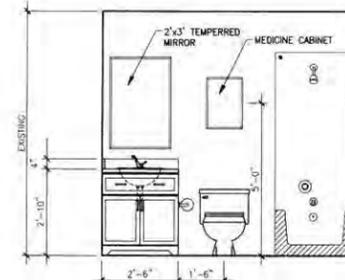
4 Kitchen - Interior Elevations  
A4.1 Scale: 3/8"=1'-0"



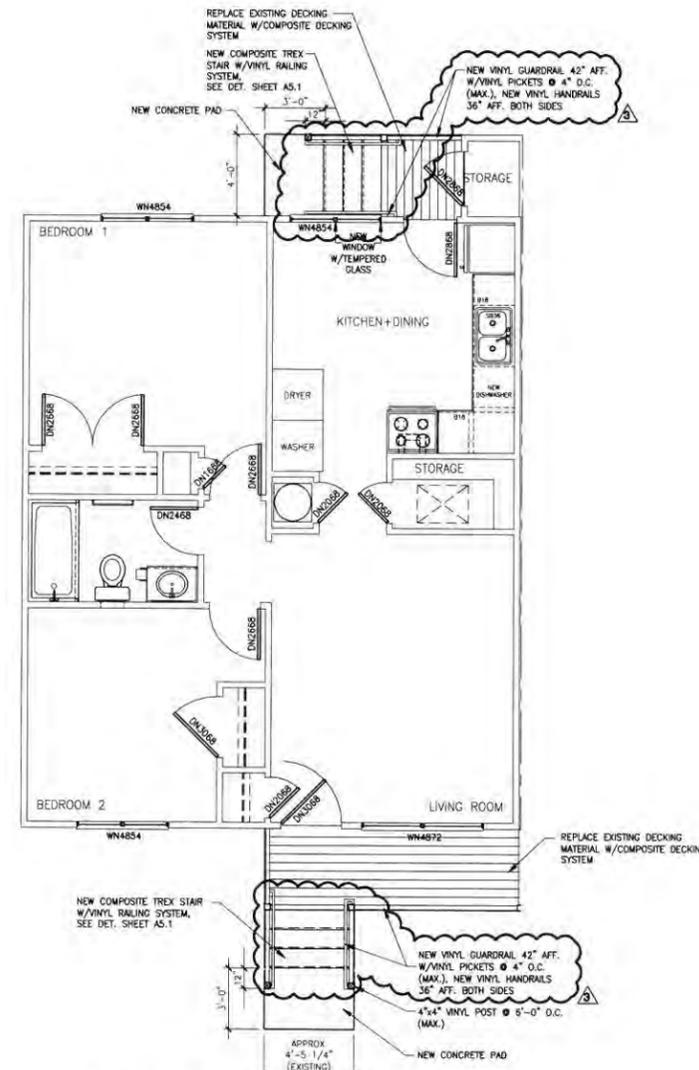
3 Enlarged Kitchen  
A4.1 Scale: 3/8"=1'-0"



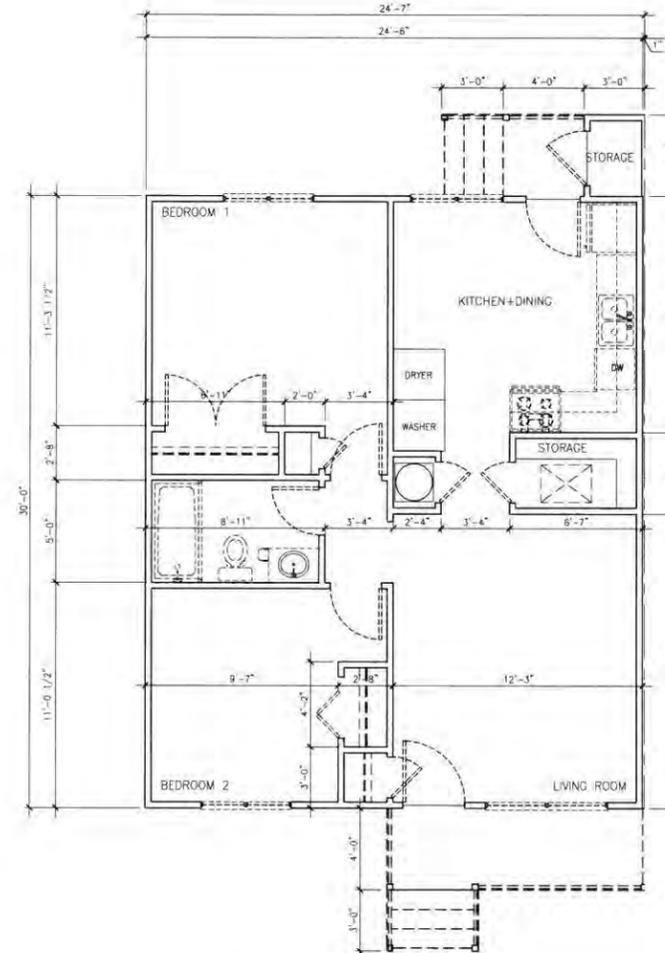
5 Enlarged Bathroom  
A4.1 Scale: 3/8"=1'-0"



6 Kitchen - Interior Elevations  
A4.1 Scale: 3/8"=1'-0"



2 New Plan  
A4.1 2 Bedroom Scale: 1/4"=1'-0"



1 Existing/Demolition Plan  
A4.1 2 Bedroom Scale: 1/4"=1'-0"

SCOPE OF WORK

1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
28	29	30	31	32			

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK.

GENERAL NOTES

1. NEW WINDOW TO HAVE BATTEN DIVIDERS BETWEEN GLASS PANES.

PROVISIONS FOR HEARING AND SIGHT IMPAIRED A/V UNIT(S):  
 1. The unit(s) must be roughed in to allow for smoke alarms with strobe lights in every bedroom and living area.  
 2. The unit(s) must have a receptacle next to phone jacks in units for future installation of ITY devices.  
 3. Each overhead light fixture and receptacle must be wired to accommodate a 150 watt load.  
 4. Must have a door bell with light and sound in living room.



Cedar Wells Apartments

Hilton Head, South Carolina

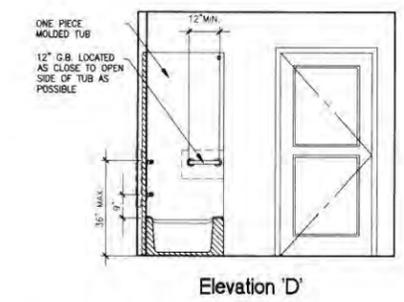
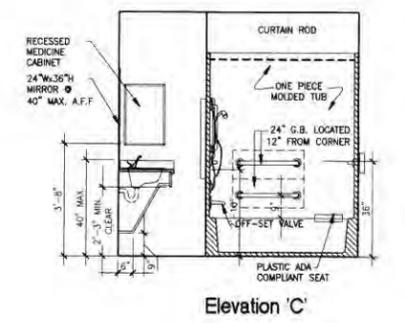
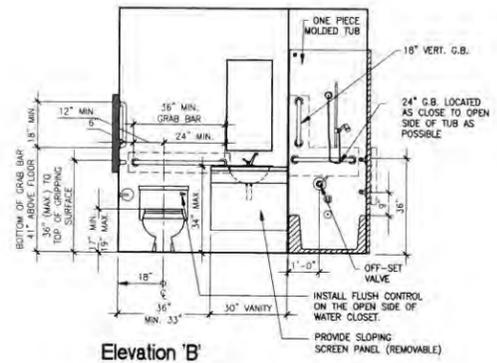
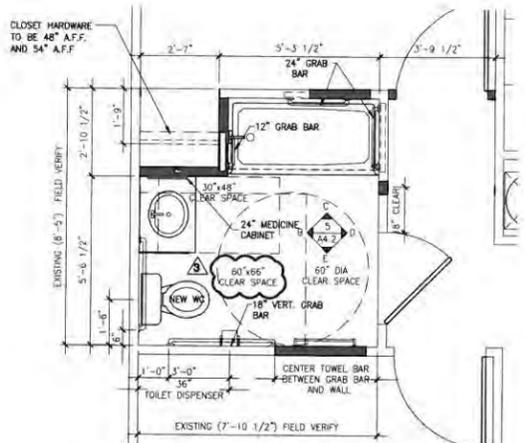
# 14-80400

- January 4, 2015 ASI #2
- November 12, 2014 ASI #1
- Apr 11, 2014 Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Enlarged Unit Plan  
- 2 Bedroom Unit

A 4.1



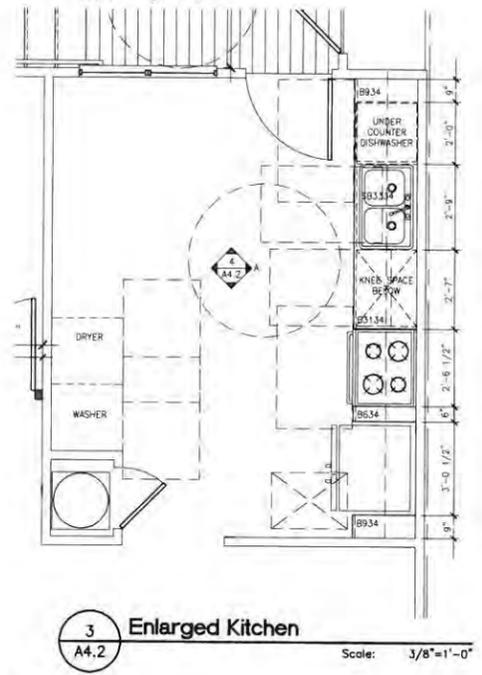
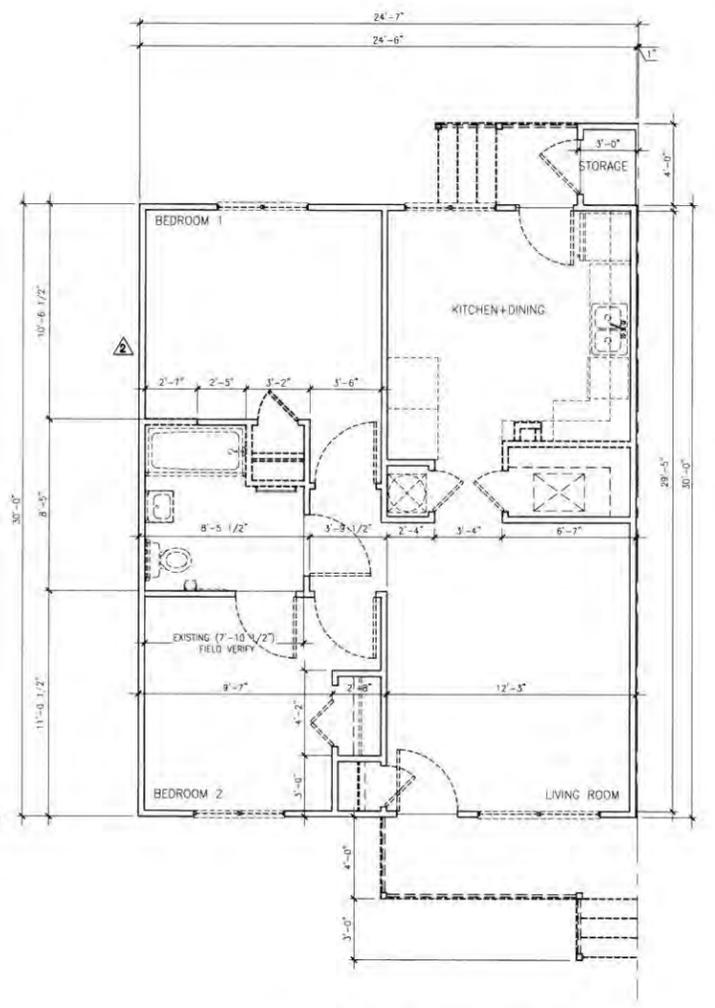
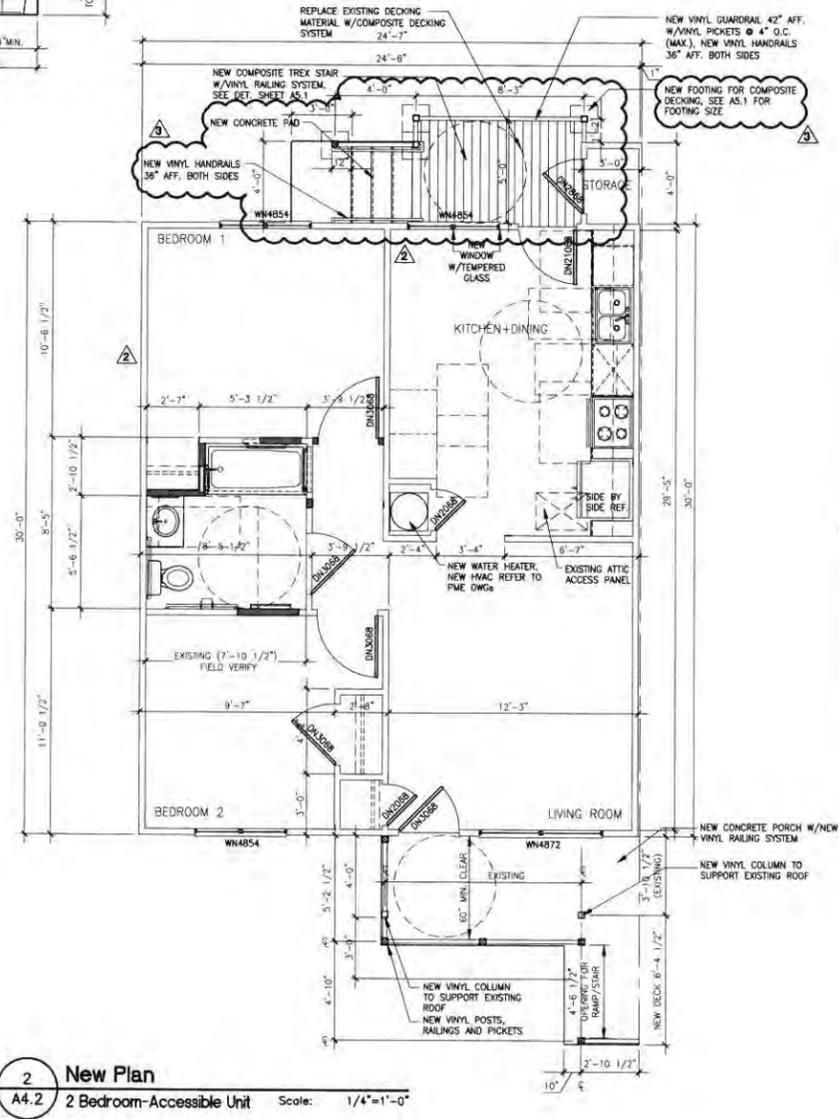
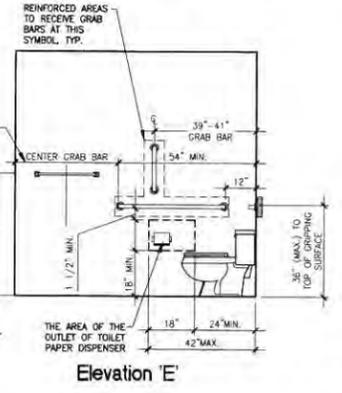
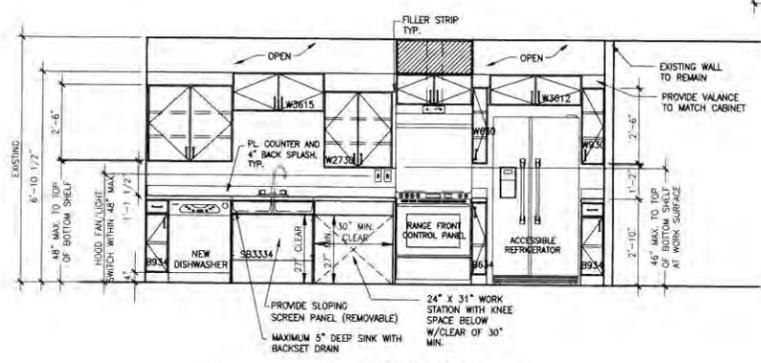
SCOPE OF WORK

1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
28	29	30	31	32			

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK.

GENERAL NOTES  
NEW WINDOW TO HAVE BATTEN DIVIDERS BETWEEN GLASS PANE.



Cedar Wells Apartments

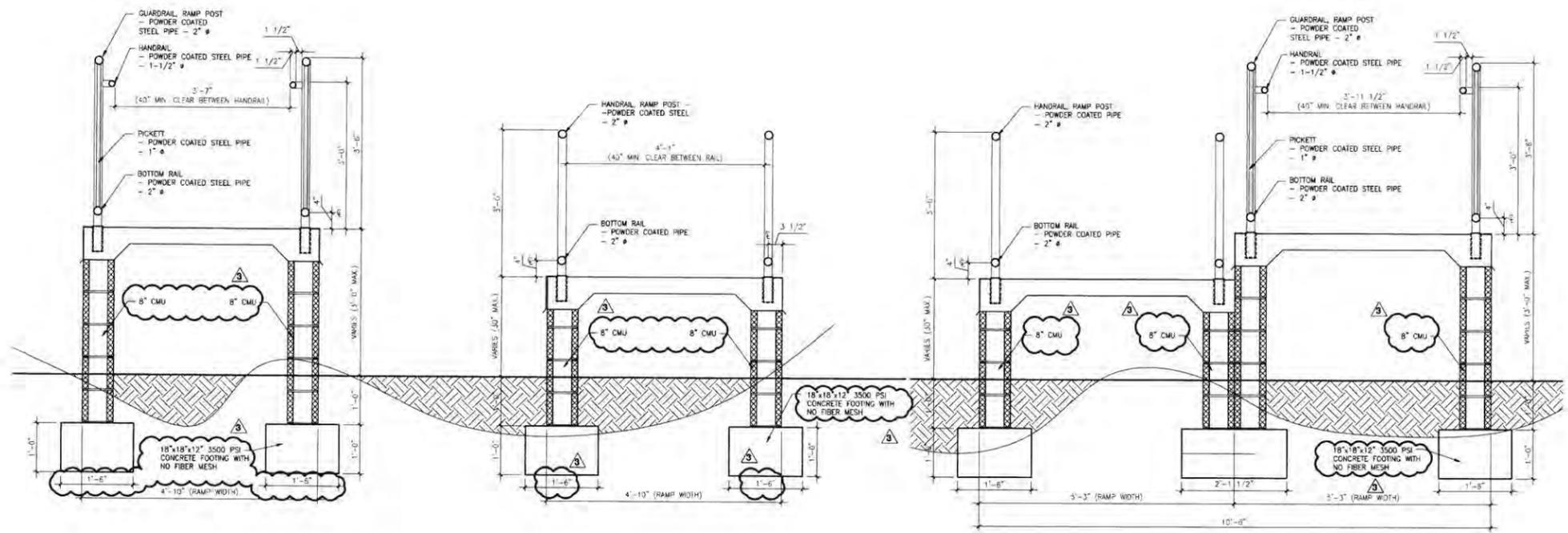
Hilton Head, South Carolina  
# 14-604.00

REVISIONS  
January 8, 2015 ASH 92  
November 12, 2014 ASH 91  
April 11, 2014 Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

SHEET SET # 10  
Enlarged Unit Plan - 2 Bedroom Accessible Unit

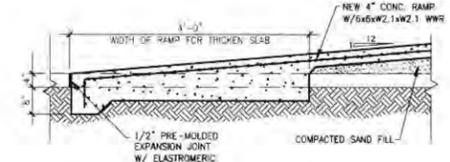
A 4.2  
SHEET OF TOTAL SHEETS IN SET DRAWN BY: TEB CHECKED BY:



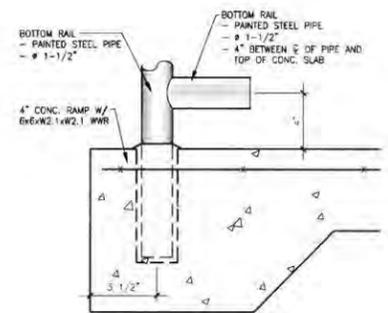
1 Ramp Section • Ramp Surface > 30' High  
A5.1 Scale: 3/4"=1'-0"

2 Ramp Section • Ramp Surface < 30' High  
A5.1 Scale: 3/4"=1'-0"

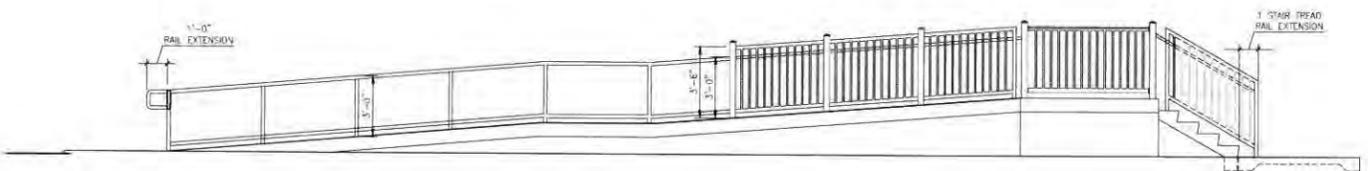
3 Ramp Section • Building #6  
A5.1 Scale: 3/4"=1'-0"



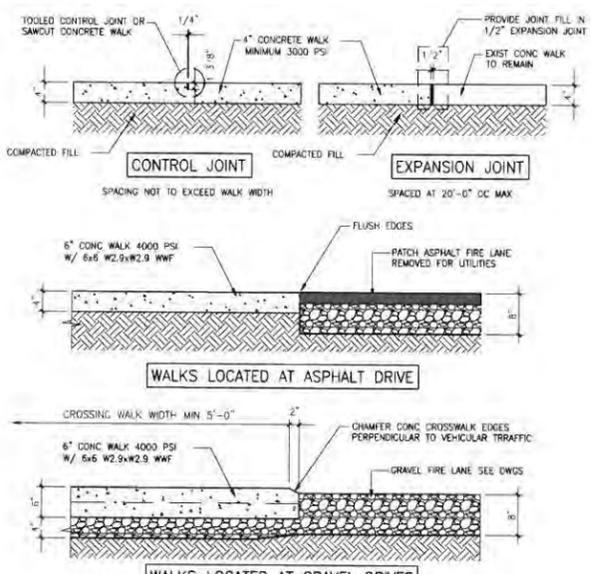
4 End of Ramp Detail  
A5.1 Scale: 1/2"=1'-0"



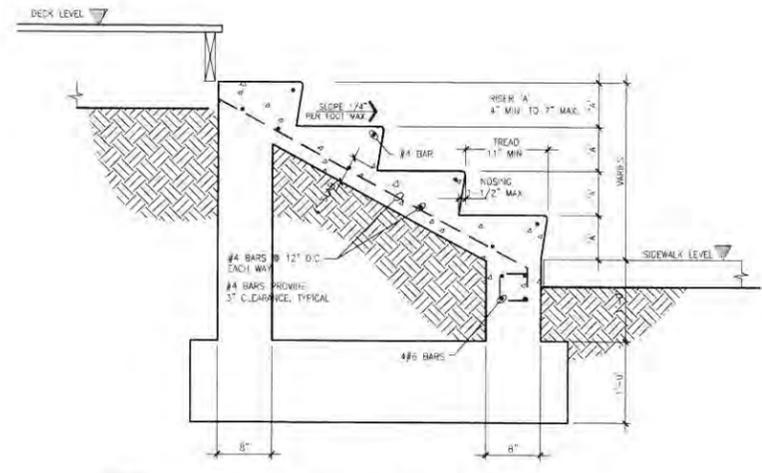
5 Detail • Bottom Rail  
A5.1 Scale: 3"=1'-0"



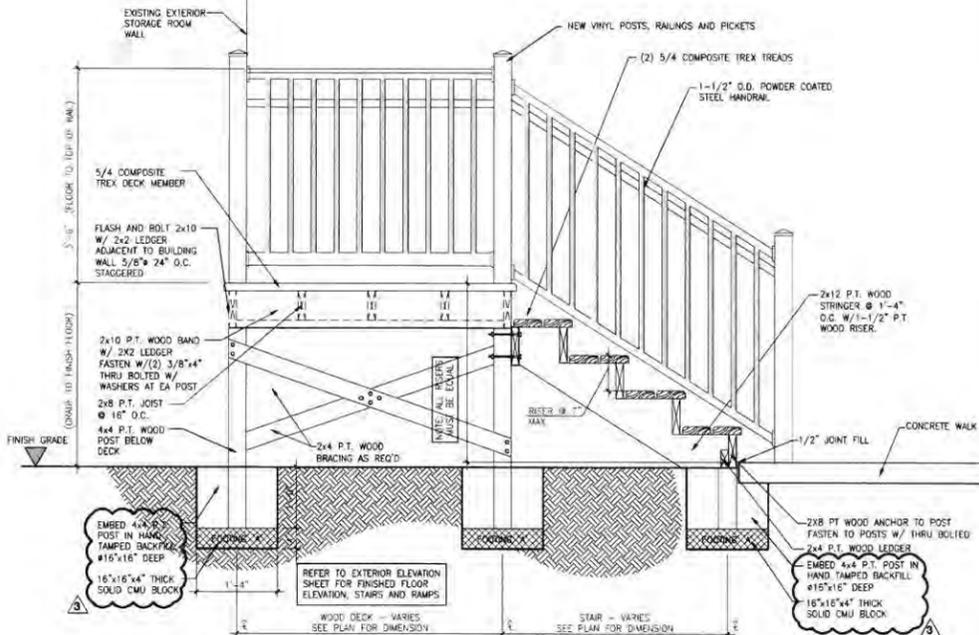
6 Example Ramp Elevation/Railing  
A5.1 Scale: 1/4"=1'-0"



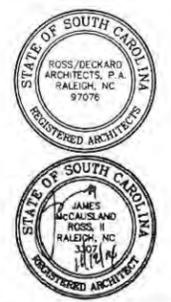
7 Slab Joint  
A5.1 Scale: 1/2"=1'-0"



8 Section • Concrete Stair  
A5.1 Scale: 1"=1'-0"



9 Deck Elevation • Storage Closets  
A5.1 Scale: 3/4"=1'-0"



Cedar Wells Apartments

Hilton Head, South Carolina

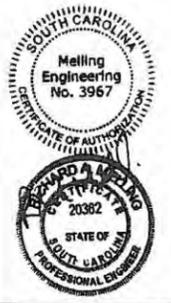
14-604.00

- January 8, 2015 ASI #2
- November 12, 2014 ASI #1
- April 11, 2014 Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Details

A 5.1



4/11/14  
 Plumbing/Mechanical/Electrical  
**Melling Engineering**  
 P.M.E. DESIGN CONSULTANTS  
 8824 Colerenton, CL Raleigh, NC 27615  
 Phone: 919-810-3883  
 Fax: 919-878-0928

**Cedar Wells Apartments**

Hilton Head, South Carolina

14-804.00

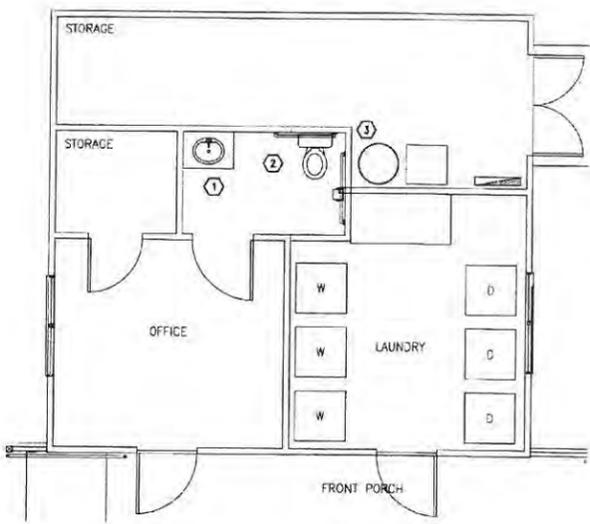
November 12, 2014  
 ASB 91

DATE: April 11, 2014  
 ISSUED FOR: Permit/Construction

Typical Units  
 Plumbing Plans

**P1.1**

SHEET OF TOTAL SHEETS IN SET DRAWN BY: GREGG BY: ROSS



**4 Community Building Plumbing Plan**  
 P1.1 Scale: 1/4"=1'-0"

**COMMUNITY BUILDING PLAN NOTES:**

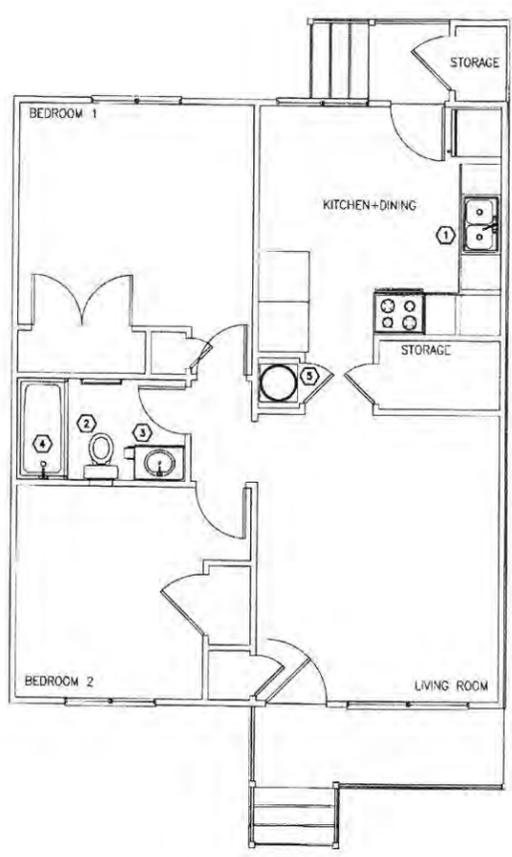
- 1 PROVIDE NEW FAUCET AT NEW ACCESSIBLE LAVATORY. PROVIDE NEW SHUTOFF VALVES AND SUPPLY RISERS AND CONNECT TO EXISTING PIPING.
- 2 PROVIDE NEW ACCESSIBLE WATER CLOSET IN NEW LOCATION WITH NEW SHUTOFF VALVE AND SUPPLY RISER. EXTEND EXISTING 3" DRAIN AND 1/2" CW PIPING TO NEW LOCATION.
- 3 PROVIDE NEW WATER HEATER IN NEW LOCATION IN MECHANICAL ROOM. EXTEND EXISTING WATER PIPING AND PROVIDE NEW SHUTOFF VALVES ON HOT AND COLD WATER PIPING. PROVIDE DRAIN PAN BELOW WATER HEATER. ROUTE PAN DRAIN AND TAP RELIEF VALVE PIPING TO EXTERIOR. CUT EXISTING GAS PIPING AND CAP.

COMMUNITY BUILDING PLUMBING FIXTURE SCHEDULE		
SYMBOL	FIXTURE	REMARKS
WC ACCESSIBLE	NIAGARA FLAPPERLESS ECOLOGIC, 1.28 GALLON PER FLUSH, WATERSENSE RATED, ELONGATED WATER CLOSET, 17" TO TOP OF TOILET SEAT, WHITE, WITH SEAT. PROVIDE FLUSH HANDLE ON APPROACH SIDE OF TOILET.	
LAV ACCESSIBLE	DELTA 520-MPU-DST SINGLE LEVER FAUCET, 1.5 GPM, WATERSENSE RATED. INSTALL ONTO CULTURED MARBLE COUNTERTOP WITH INTEGRAL SINK AND PIPING PROTECTION SHIELD.	
WATER HEATER	A.O. SMITH MODEL ECRT-S2, 50 GALLONS, 4500 WATTS, 0.93 ENERGY FACTOR, 240V.	PROVIDE TAP VALVE AND DRAIN PAN.

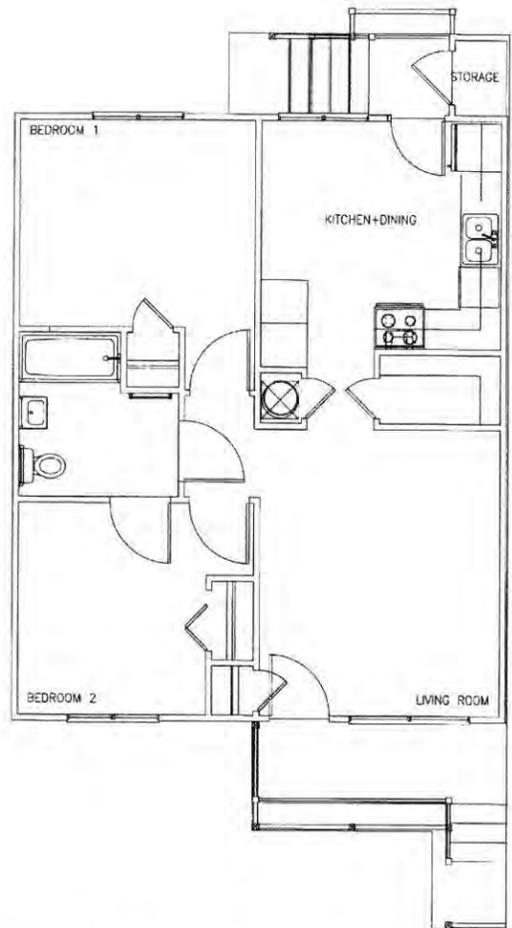
APARTMENTS PLUMBING FIXTURE SCHEDULE		
SYMBOL	FIXTURE	REMARKS
WC	NIAGARA FLAPPERLESS ECOLOGIC, 1.28 GALLON PER FLUSH, WATERSENSE RATED, ELONGATED WATER CLOSET, WHITE, WITH SEAT.	
WC ACCESSIBLE	NIAGARA FLAPPERLESS ECOLOGIC, 1.28 GALLON PER FLUSH, WATERSENSE RATED, ELONGATED WATER CLOSET, 17" TO TOP OF TOILET SEAT, WHITE, WITH SEAT. PROVIDE FLUSH HANDLE ON APPROACH SIDE OF TOILET.	
LAV	DELTA 520-MPU-DST SINGLE LEVER FAUCET, 1.5 GPM, WATERSENSE RATED. INSTALL AT CULTURED MARBLE VANITY COUNTERTOP SINK.	
LAV ACCESSIBLE	DELTA 520-MPU-DST SINGLE LEVER FAUCET, 1.5 GPM, WATERSENSE RATED. INSTALL AT CULTURED MARBLE VANITY COUNTERTOP SINK WITH INTEGRAL BOWL.	PROVIDE PRE-MOLDED INSULATION PIPE PROTECTION COVER FOR HW/CW/WASTE PIPING.
TUB CONTROLS	DELTA T13490 TUB/SHOWER TRIM, PRESSURE BALANCED MIXING VALVE, AND TUB SPOUT WITH PULL UP DIVERTER. NIAGARA EARTH 1.5 GPM SHOWER HEAD.	
TUB CONTROLS ACCESSIBLE	DELTA T13490 SINGLE HANDLE TRIM, PRESSURE BALANCED TUB/SHOWER MIXING VALVE, AND DIVERTER SPOUT. DELTA 59485, 2.0 GPM, WATERSENSE RATED HAND SHOWER WITH 30" SLIDE BAR AND 66" FLEXIBLE HOSE ASSEMBLY.	
K-SINK	DAYTON CR3322, 33"x22"x8" DEEP DOUBLE BOWL, 20 GAUGE STAINLESS STEEL SINK WITH FULL UNDERCOAT, 4 HOLES. DELTA 400LF-18" SINGLE LEVER, 1.5 GPM FAUCET WITH SPRAYER.	
K-SINK ACCESSIBLE	ELKAY GEDR3322, 33"x22"x8" DEEP DOUBLE BOWL, 20 GAUGE STAINLESS STEEL SINK WITH FULL UNDERCOAT, 4 HOLES. DELTA 400LF-18" SINGLE LEVER, 1.5 GPM FAUCET WITH SPRAYER. SINK BOWL SHALL HAVE THE DRAIN OPENING IN REAR PORTION OF BOWL.	
WATER HEATER	A.O. SMITH MODEL ECLB-40, 40 GALLONS, 4500 WATTS, 0.93 ENERGY FACTOR, 240V. WATER HEATER IS FURNISHED WITH INSULATION BLANKET FROM MFR. TO ACHIEVE 0.93 EF.	PROVIDE TAP RELIEF VALVE AND RECTANGULAR DRAIN PAN THAT WILL FIT IN EXISTING CLOSET

**APARTMENTS PLAN NOTES:**

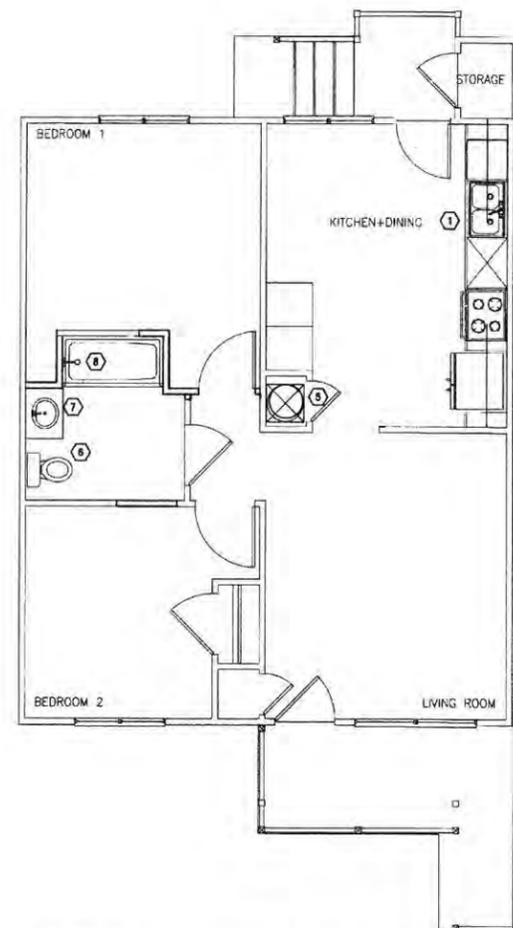
- 1 PROVIDE NEW KITCHEN SINK FAUCET, TRAPS, VALVES, AND SUPPLY RISERS.
- 2 PROVIDE NEW WATER CLOSET, VALVE, AND SUPPLY RISER.
- 3 PROVIDE NEW LAVATORY FAUCET, TRAP, VALVES, AND SUPPLY RISERS.
- 4 PROVIDE NEW TUB/SHOWER MIXING VALVE AND TRIM, NEW TUB SPOUT, AND NEW SHOWER HEAD AT ALL EXISTING BATHTUBS.
- 5 PROVIDE NEW WATER HEATER IN EXISTING LOCATION IN MECHANICAL CLOSET IN (20 APARTMENTS). CONNECT TO EXISTING WATER PIPING WITH NEW SHUTOFF VALVES ON HOT AND COLD WATER. PROVIDE DRAIN PAN, AND ROUTE PAN DRAIN AND TAP RELIEF VALVE PIPING TO EXTERIOR.
- 6 PROVIDE NEW ACCESSIBLE WATER CLOSET IN EXISTING LOCATION WITH NEW SHUTOFF VALVE AND SUPPLY RISER AND CONNECT TO EXISTING PIPING.
- 7 PROVIDE NEW FAUCET AT NEW ACCESSIBLE LAVATORY IN EXISTING LOCATION. PROVIDE NEW SHUTOFF VALVES AND SUPPLY RISERS AND CONNECT TO EXISTING PIPING.
- 8 PROVIDE NEW ACCESSIBLE NEW MIXING VALVE AND CONTROLS, AND NEW SHOWER HEAD. INSTALL TUB/SHOWER CONTROLS TO BE WITHIN 12" FROM READY SIDE EDGE OF BATHTUBS IN ACCESSIBLE UNITS. EXTEND EXISTING PIPING TO NEW BATHTUB LOCATION.



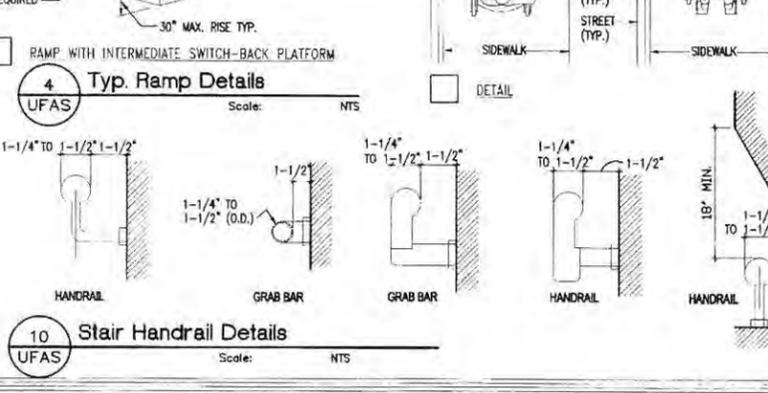
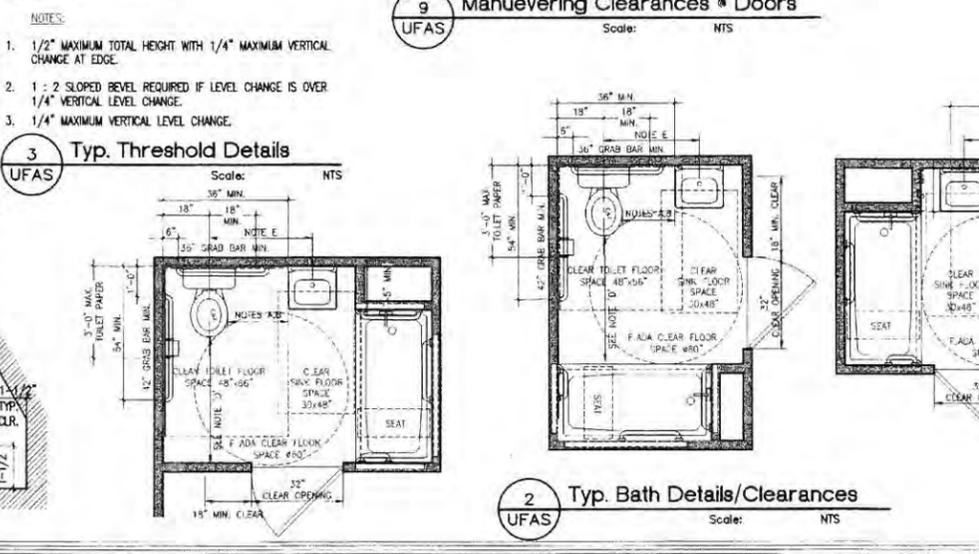
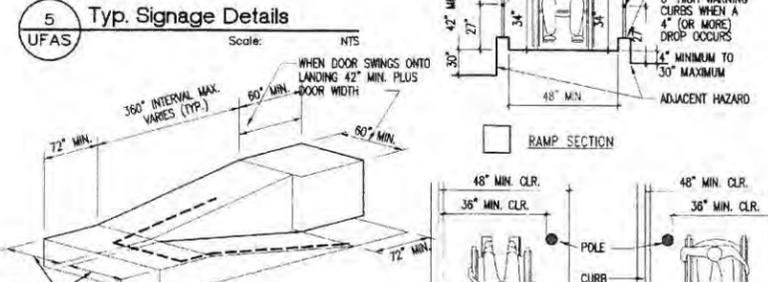
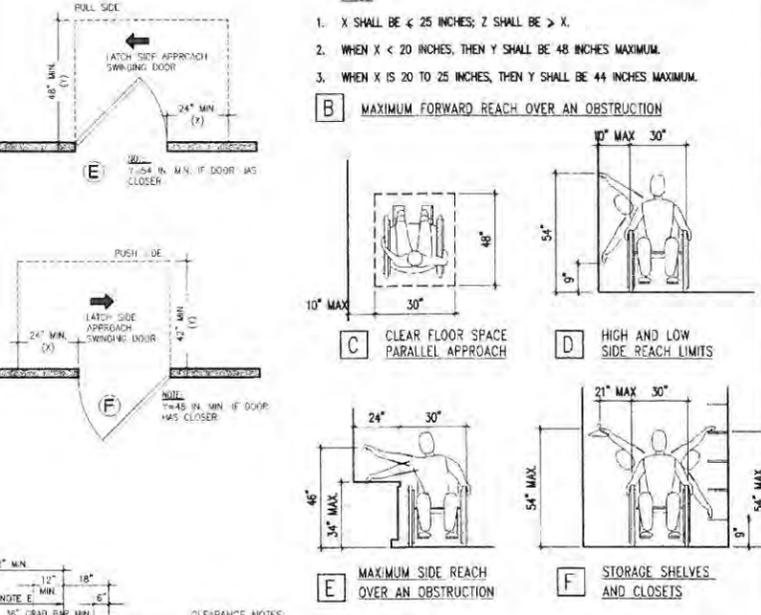
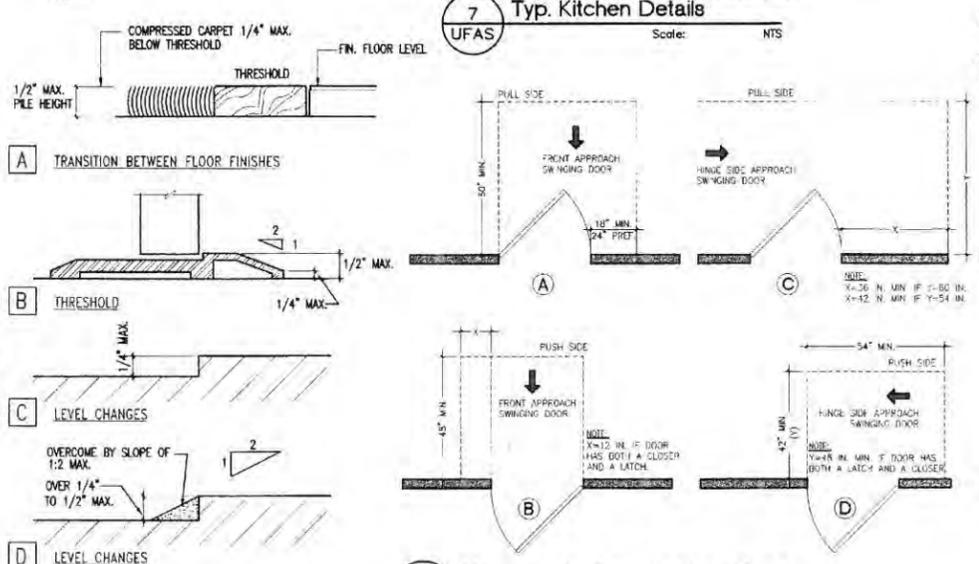
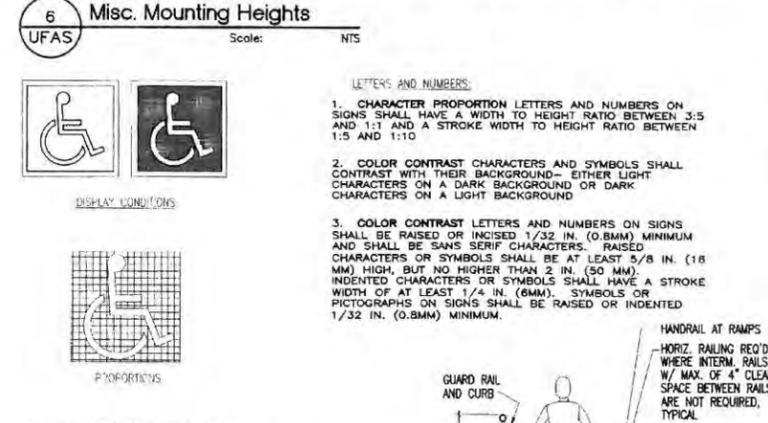
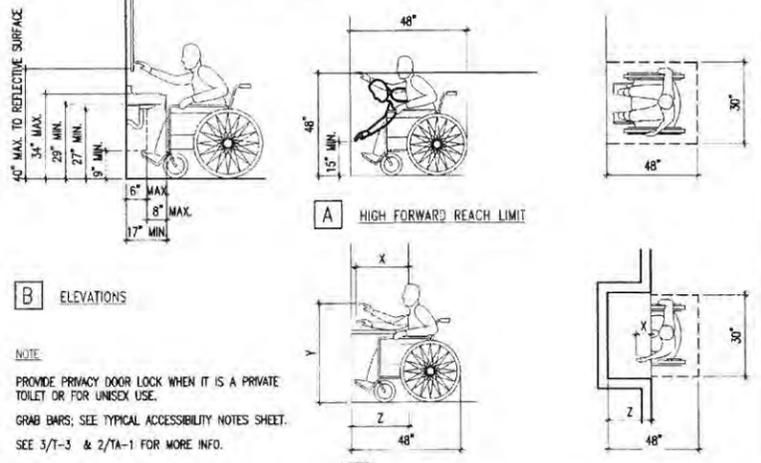
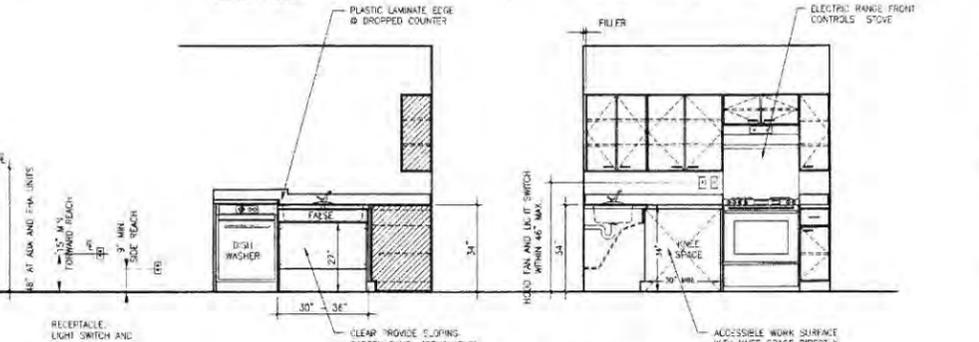
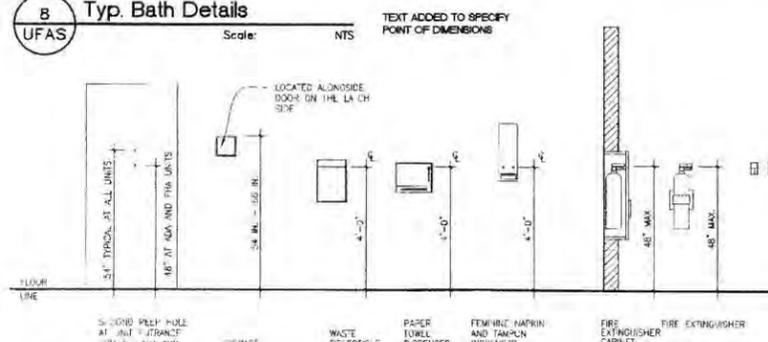
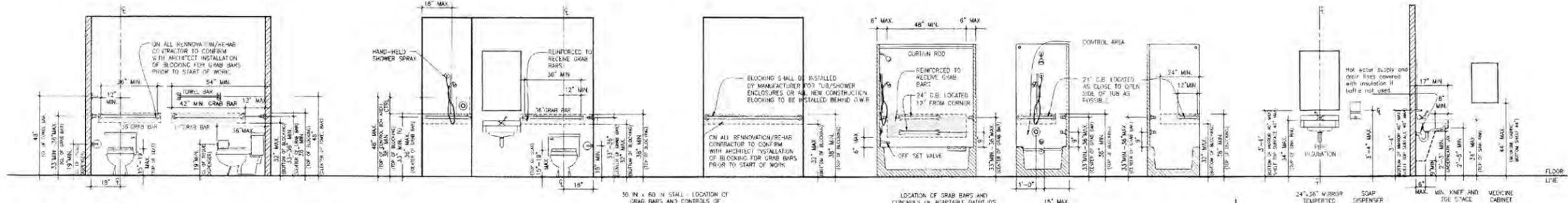
**1 Enlarged Unit Plan - 2 Bedroom Standard Unit**  
 P1.1 Scale: 1/4"=1'-0"



**2 Enlarged Unit Plan - 2 Bedroom Existing Accessible Unit**  
 P1.1 Scale: 1/4"=1'-0"



**3 Enlarged Unit Plan - 2 Bedroom Accessible Unit**  
 P1.1 Scale: 1/4"=1'-0"



**Cedar Well Apartments**  
Hilton Head, South Carolina  
14-604.00

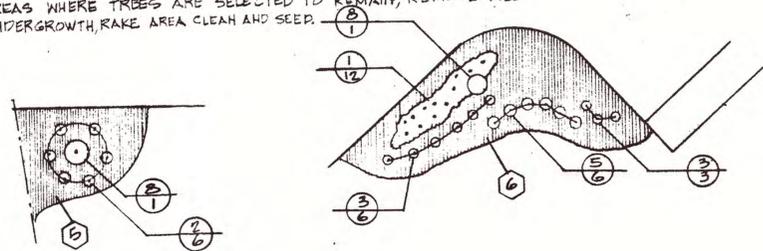
DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Uniform Federal Accessibility Standards + Other Typical Details

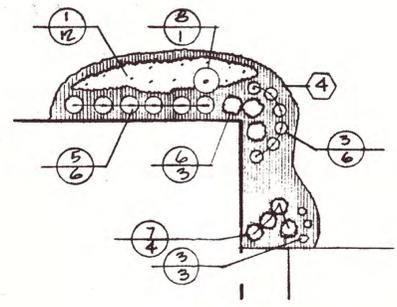
**UFAS**



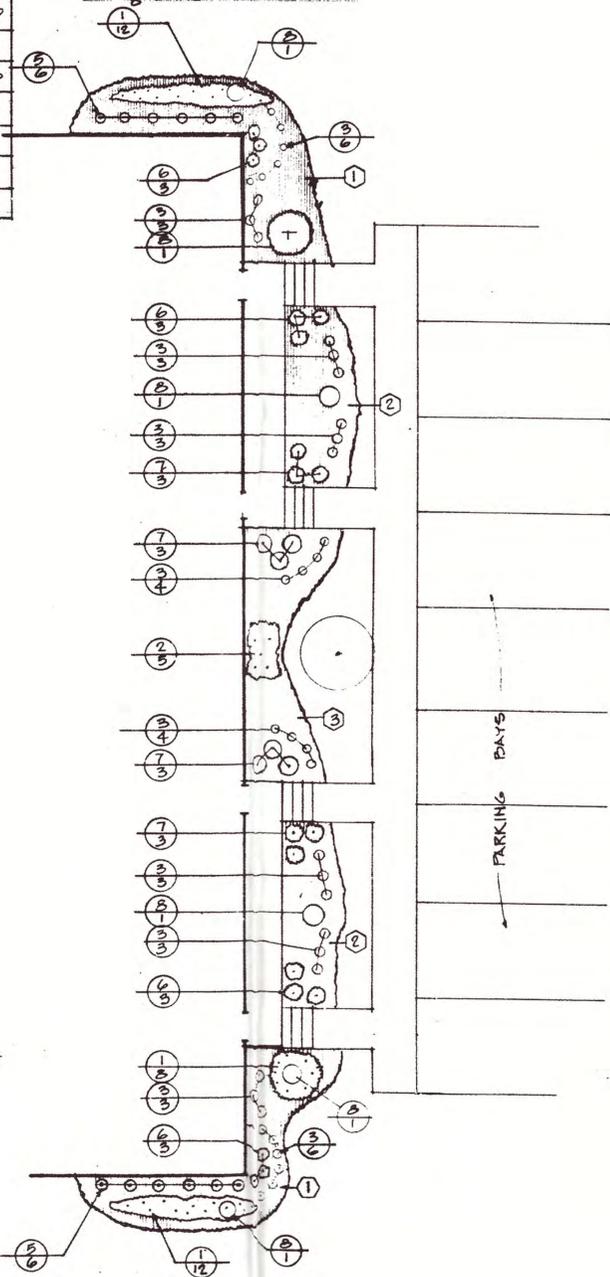
- NOTES
- WOOD FIBER MULCH: (ALL BUILDINGS AND FIELD BEDS)  
1/4" SHREDED WOOD FIBER MULCH FROM PINE BARK  
PLACE OVER WEED BARRIER FOR 3" MIN. SETTLED COVERAGE.
  - WEED BARRIER (ALL BUILDING & FIELD BEDS)  
NATURAL PAWE, 6-12-W WEED BARRIER BY DEWITT CO,  
PLASTIC IS NOT ACCEPTABLE.
  - FIELD BEDS TO EXTEND 18" BEYOND PLANTED MATERIAL  
IN CONFIGURATION SHOWN ON DRAWINGS.
  - AREAS WHERE TREES ARE SELECTED TO REMAIN, REMOVE ALL  
UNDERGROWTH, RAKE AREA CLEAN AND SEED.



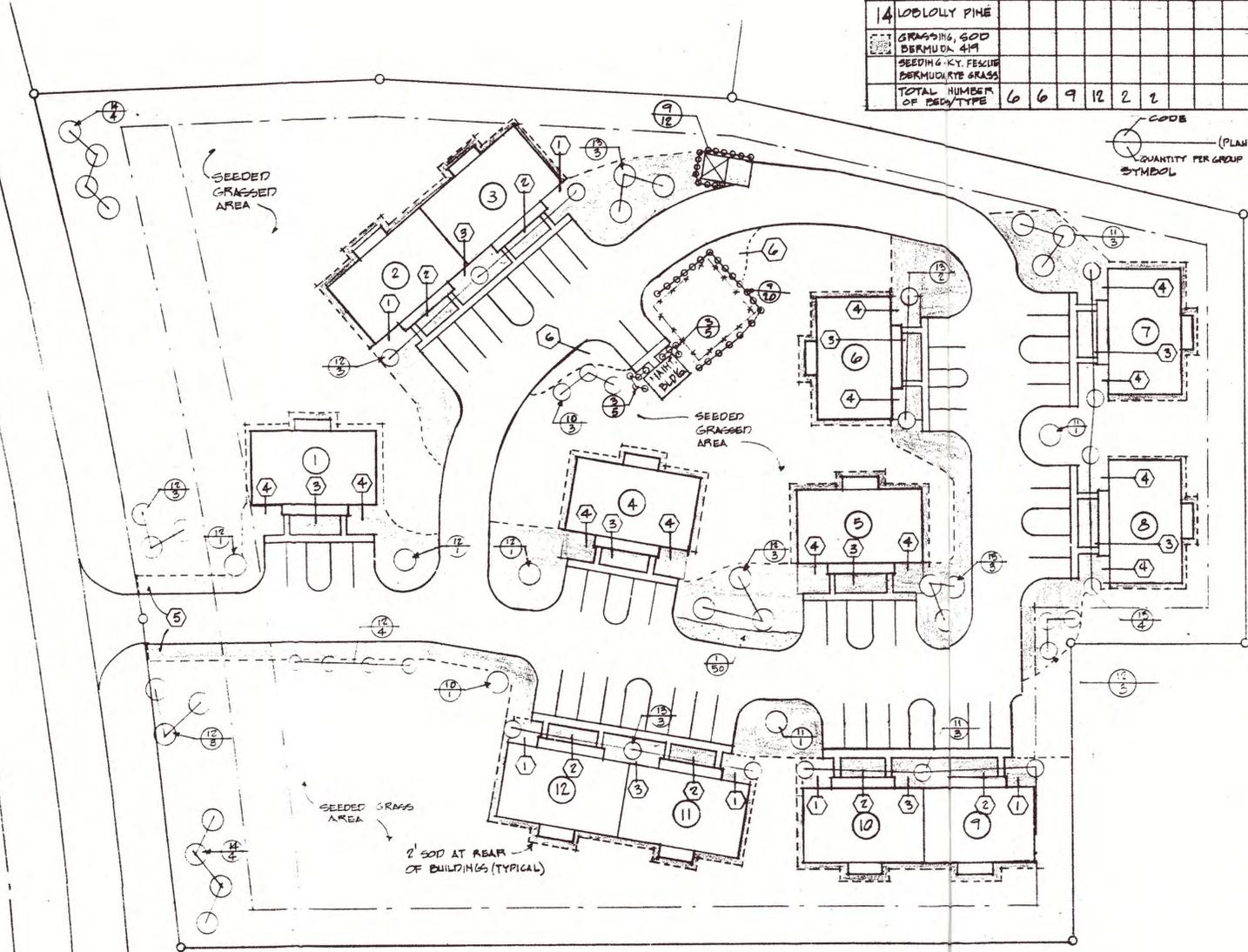
PLANT CODE	PLANT LIST	BUILDING BED TYPES						TOTAL / BED TYPE	FIELD BEDS	TOTAL QUANTITY	SIZE
		1	2	3	4	5	6				
1	PARSONS JUNIPER	20			1	12	12		156	1 GAL	
2	NICKS COMPACTA			5	45	6	12		57	3 GAL	
3	ILLEX ROTUNDA HOLLY	7	24	8	72	7	168		288	2 GAL	
4	GUMBO AZELLA									2 GAL	
5	ILLEX COMPACTA HOLLY	6	36		4	72	6	12	120	3 GAL	
6	ILLEX NELLIE STEVENS HOLLY	3	18		3	36			72	3 GAL	
7	PIGMEY BARBERRY CRIMSON JAPANESE	3	18	6	24	4	48		120	3 GAL	
8	SOUTHERN YEW PODOCARPUS	2	12	1	6	1	6		32	5 GAL	
9	RED TIP PHOTINIA								92	3 GAL	
10	PINK DOGWOOD								2	6" TO 8" B&P	
11	WHITE DOGWOOD								3	6" TO 8" B&P	
12	BRADFORD PEAR								22	8" TO 10" B&P	
13	RED MAPLE								15	8" TO 10" B&P	
14	LOBLOLLY PINE								3	5' TO 6'	
	GRASSING, SOD BERMUON 4M									APPROX 14,000 SF	
	SEEDING - KY. FESCUE PERMUONITE GRASS										
	TOTAL NUMBER OF BEDS/TYPES	6	6	9	12	2	2				



TYPICAL CORNER DUPLEX UNIT  
SCALE: 1/8" = 1'-0"



TYPICAL BUILDING FRONT LANDSCAPING  
SCALE: 1/8" = 1'-0" (FOUR PLEX)



SITE LANDSCAPING PLAN  
1" = 30'



**CATALYST ARCHITECTS**

post office box 11681  
columbia, south carolina 29211  
803 254 8001



project  
**CEDAR WELLS APARTMENTS**  
HILTON HEAD ISLAND, S.C.

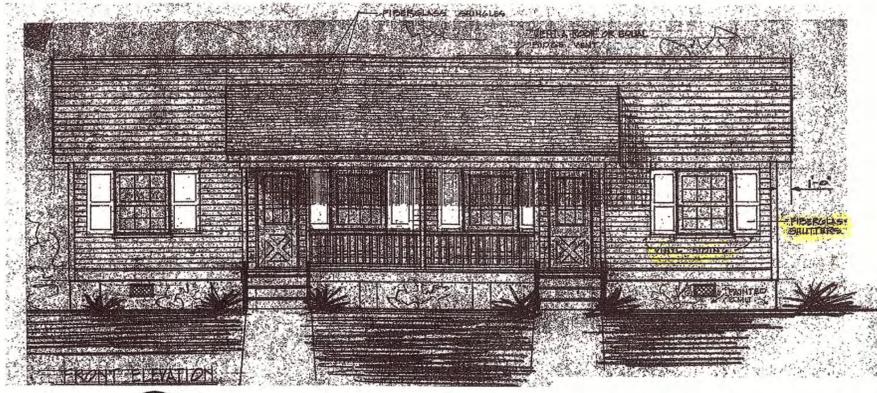
drawing  
**COVER SHEET**

date  
11-14-89

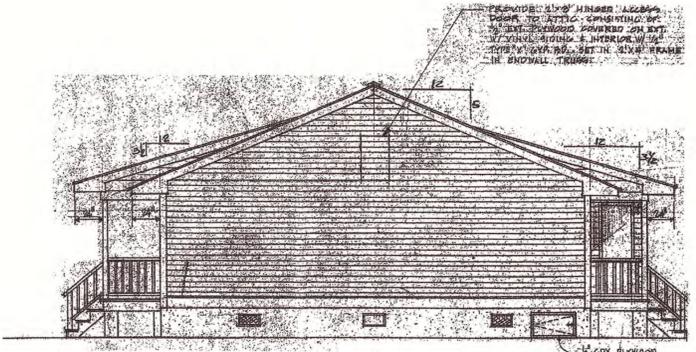
drawn by  
COR

job number H-103  
sheet





1 Front Elevation  
A3.2 Scale: NTS



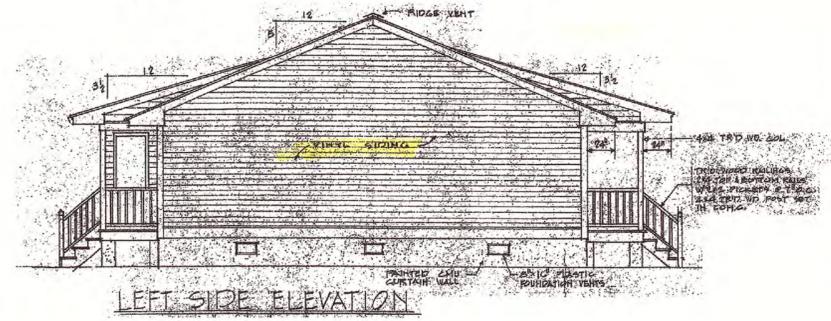
2 Right Elevation  
A3.2 Scale: NTS

**SCOPE OF WORK**

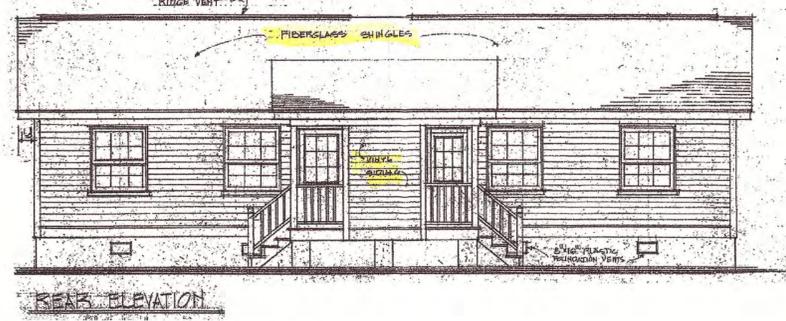
1	2	3	10	13	14	15	16
17	18	19	20	21	23	24	25
26	27	28	29	30	31	32	

SEE SOW (SCOPE OF WORK SHEET) FOR DESCRIPTION OF THESE ITEMS OF WORK.

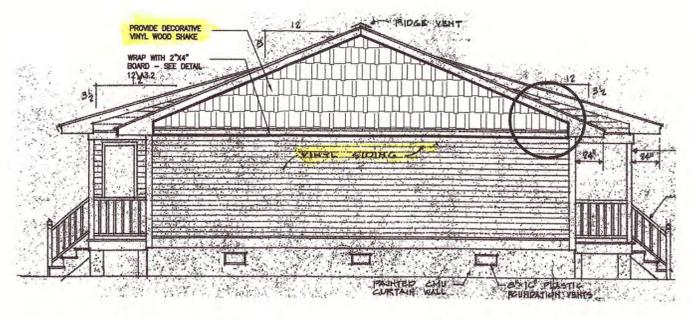
WORK INDICATED IN BOXED DESCRIPTION HAS BEEN INDICATED BY ROSS/DECKARD ARCHITECTS FOR RENOVATION SCOPE OF WORK



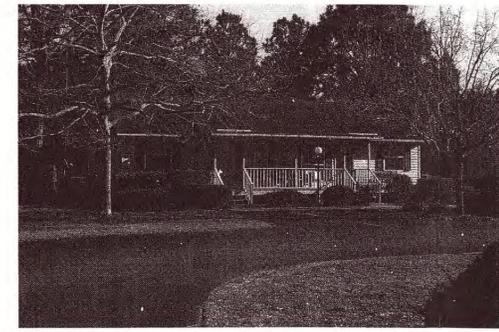
3 Left Elevation  
A3.2 Scale: NTS



4 Rear Elevation  
A3.2 Scale: NTS



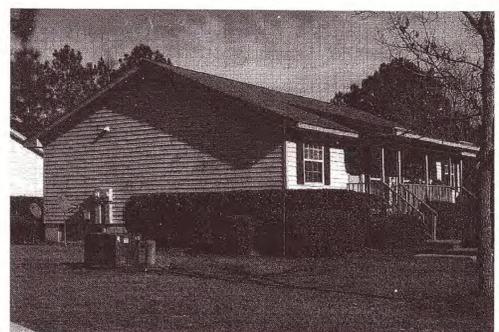
5 Proposed Side Elevation  
A3.2 Scale: NTS



6 Front Elevation - STD Unit  
A3.2 Scale: NTS



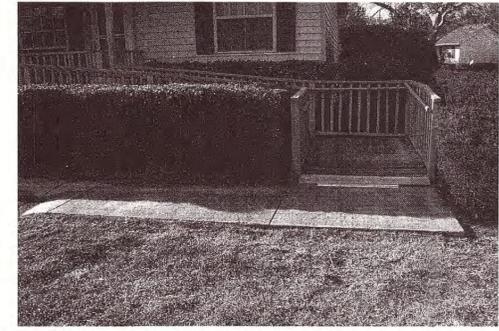
7 Front Elevation - Accessible Unit  
A3.2 Scale: NTS



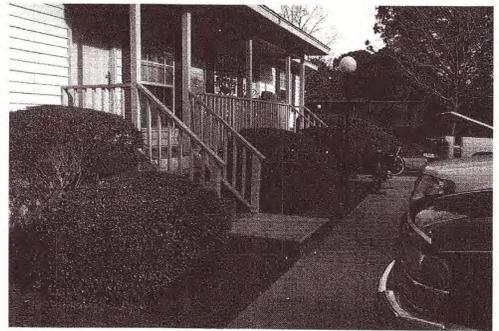
8 Left Elevation  
A3.2 Scale: NTS



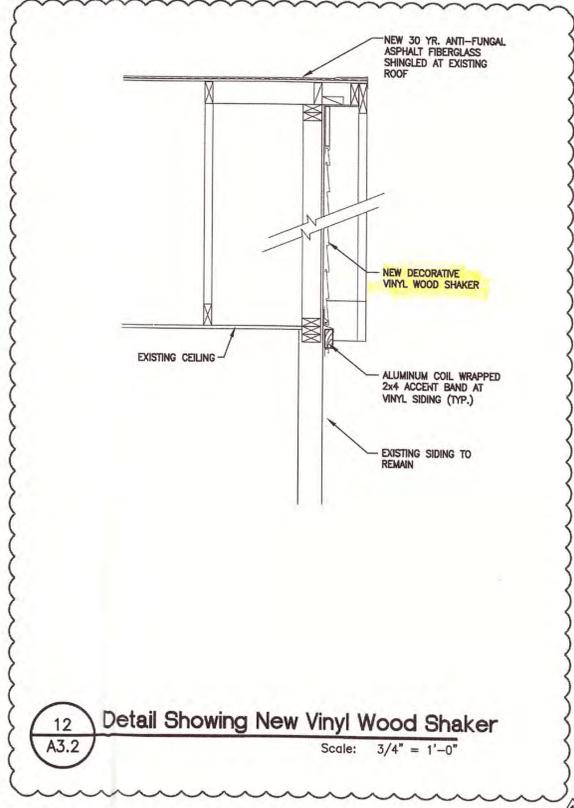
9 Rear Elevation  
A3.2 Scale: NTS



10 Ramp - Accessible Unit  
A3.2 Scale: NTS



11 Stair  
A3.2 Scale: NTS



12 Detail Showing New Vinyl Wood Shaker  
A3.2 Scale: 3/4" = 1'-0"



Cedar Wells Apartments

Hilton Head, South Carolina  
14-604.00

November 12, 2014  
ABI #1  
April 11, 2014  
Owner Comments

DATE: March 24, 2014  
ISSUED FOR: Permit-Construction

Exterior Elevations  
- 2 Bedroom

A 3.2

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Cedar Wells Apartments – ALTERATION/ADDITION

DRB#: DRB-000139-2015

DATE: February 10, 2015

RECOMMENDATION:    Approval               Approval with Conditions               Denial  

### ***ARCHITECTURAL DESIGN***

Applicant proposes to replace existing vinyl siding with new vinyl siding including the introduction of vinyl shake shingles in the gable ends. Existing black roof and existing black shutters will be replaced with new black roof and new black shutters.

Proposed buildings colors are mostly muted earth tones. Due to adjacencies between buildings, consider using same color for building 1 and building 2/3 and the same color for building 4 and the Community Building. Consider lighter door color/door color similar to shake color on “Cactus” buildings. Consider alternate shake color for “Smoke” buildings versus “Steel Blue”.

Proposed handrail color is white which is typically not approved based on the Design Guide. However the site currently contains white three-rail fence at entrance along Squire Pope Road.

### ***LANDSCAPE DESIGN***

Existing landscaping is proposed to remain. However existing shrubs may be impacted when existing siding is replaced and/or new ramps are added. Existing landscaping should be replaced with similar (medium evergreen shrub) as needed.

Additional shrubs should be added at new ramp at building 6 (new accessible units), at island adjacent to new parking spaces, and at new sidewalk connection to dumpster enclosure.