



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, May 12, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of April 28, 2015
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. Alteration/Addition
 - 1) DRB-000827-2015 – Outdoor Dining Patio (SCTC)
 - B. New Development – Final
 - 1) DRB-000876-2015 – The Bayshore on Hilton Head Island
11. **Appearance by Citizens**
12. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, April 28, 2015 Meeting
1:15p.m. – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Scott Sodemann, Vice Chairman Jake Gartner,
Ron Hoffman, Galen Smith, Dale Strecker and Brian Witmer

Board Members Absent: Kyle Theodore

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Brian Hulbert, Staff Attorney
Richard Spruce, Floodplain Administrator
Kathleen Carlin, Administrative Assistant

- 1. Call to Order**
Chairman Sodemann called the meeting to order at 1:15p.m.
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
- 4. Approval of the Agenda**
The Board **approved** the agenda as submitted by general consent.
- 5. Approval of the Minutes**
The Board **approved** the minutes of the March 24, 2015 meeting as submitted by general consent.
- 6. Staff Report**
None
- 7. Old Business**
None
- 8. Unfinished Business**
None

9. New Business

A. Alteration/Addition

1. Educational Kiosk at Fort Howell – DRB-000511-2015

Ms. Ray introduced the application and stated its location, 159 Beach City Road, the site of the Fort Howell historic site. Ms. Ray presented an in-depth overhead review of the application including the site plan. Photos show the soft parking (mostly dirt and leaves) with wheel stops. There are interpretative signs throughout the area and there is an informal path back to the Fort and the proposed location of the kiosk.

The proposed kiosk is similar in design to the Mitchelville kiosk located at Fish Haul Creek Park. The plan shows the existing parking and the pathway to the proposed kiosk. The existing path is dirt and leaves through the trees. The kiosk is intended to be walked through and also walked around and will include four signs. For reference purposes, the applicant has submitted some information regarding the four signs. This will be reviewed as part of the separate sign permit application for this project. The plan and the elevation are nearly identical to the kiosk at Mitchelville.

The details and colors have been modified to be more in keeping with the natural setting at Fort Howell. The siding has been removed from the corner posts and the roof has been changed to a weathered wood asphalt shingle. Instead of the white paint, a cedar stain is proposed. Ms. Ray distributed material samples to the Board for their review. The staff believes that the colors and the materials are in keeping with the setting at Fort Howell and recommended approval of the application as submitted. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Frank Wilcher, representative, Hilton Head Island Land Trust, presented statements in support of the application. The Board discussed the application and complimented the nature blending color scheme. The Board presented comments regarding the dimensions of the columns and the location of the kiosk. Following final comments by the Board, Chairman Sodemann requested that a motion be made.

Mr. Hoffman made a **motion** to **approve** application DRB-000511-2015 as submitted by the staff. Vice Chairman Gartner **seconded** the motion. Chairman Sodemann requested public comments and none were received. The motion for approval **passed** with a vote of 6-0-0.

2. Bus Port – DRB-000703-2015

Ms. Ray introduced the application and stated its location, 161 Mathews Road. Ms. Ray presented an in-depth overhead review of the project including a site plan and photos of existing site conditions. Photos show the existing brick church building adjacent to Mathews Drive with grass and dirt parking on both of the sides and the rear.

The applicant, Central Oak Grove Missionary Baptist Church, proposes to construct a

bus port on the property to shield their church bus from the elements. The church bus is currently parked off site and unprotected from the elements. Based on the location of the church building and the existing trees and landscaping, the proposed location of the bus port will be difficult to see from Mathews Drive. Ms. Ray presented comments regarding the existing parking conditions and turning radius. Some additional photos have been taken along Mathews Drive to show the views into the site. The proposed bus port is 14-ft. wide, 60-ft. long and 12-ft. high. It includes a stainless steel metal frame with a brown metal roof. The staff recommends approval of the application with a few conditions: (1) the metal roof should be a dark green instead of brown to blend in with the adjacent tree canopy; (2) the bus port should be shifted +/- 2-ft. into the site to avoid the existing 22" Laurel Oak tree. This will require the removal of one additional tree; (3) required tree mitigation should be located to mitigate any views of the bus port from Mathews Drive. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Alex Brown, representative of Central Oak Grove Missionary Baptist Church, presented statements in support of the application. The Board discussed the application and presented statements regarding the turning radius for the bus, possible impact to the existing Laurel Oak tree, and the need for additional shrubbery to shield the view from Mathews Drive. Wax myrtle trees are a good choice due to the shaded location. Vice Chairman Gartner stated his preference for wood columns instead of the metal structure based on longevity of the structure, aesthetics and better compliance with the Design Guide. The Board agreed with staff's recommendation for a dark green roof. Following final comments, Chairman Sodemann requested that a motion be made.

Mr. Witmer made a **motion to approve** DRB-000703-2015 with the following conditions: (1) the metal roof is to be dark green; (2) the bus port is to be shifted forward to avoid conflict with the Laurel Oak tree as recommended by staff; (3) along the front of the metal structure there should be a wax myrtle hedge with a minimum of (1) 15 gallon shrubs. All conditions are to be approved by the staff. Mr. Smith **seconded** the motion. Chairman Sodemann requested public comments on the application and none were received. The motion for approval **passed** with a vote of 5-1-0.

3. **Dairy Queen/Arby's Renovation** – DRB-000775-2015

Ms. Ray introduced the application and stated its location, 1018 William Hilton Parkway. Ms. Ray presented an in-depth overhead review of the application including an aerial view of the site, the site plan, and photos of existing conditions.

The applicant proposes to convert the existing Arby's restaurant into a Dairy Queen. Photos show the existing building which is approximately 2,600 sq. ft. The footprint will not change with the exception of one existing door being removed. Future plans include adding a 450 sq. ft. outdoor patio. The outdoor patio will require 31 parking spaces, which is an additional eight spaces compared to what is there now.

The Dairy Queen owners also believe that the site is under parked without the need for additional with the future patio, so they are contemplating adding the eight additional spaces in the rear of the building. If the owners decide to go forward with this idea, the application will require a Minor Development Plan review.

The building profile will not change and the major renovations will occur to the interior of the building and the exterior elevations. The façade changes include outside materials being removed to existing CMU and the stucco design being implemented. The original submittal received by the Board did not include a rear elevation. The applicant has since provided the rear elevation for the Board's review. The red mansard roof on the existing building is proposed to be replaced with a brown standing seam metal roof on the front and portions of the sides. A brick parapet will be at the front and right side at the pedestrian entrance.

The staff's comments in the packet included a concern regarding the two different colors of storefront. There were two different colors. The drive through window included a silver store front and everything else was brown. When the applicant added the rear elevation they made the change so all of the storefront will be the same color (brown). The staff recommends that the same score pattern used on the sides of the building be applied to the rear section. Also, if additional parking spaces are added in the rear, it might impact the existing dumpster area. If the existing wall remains as part of the service area, staff recommends that it be upgraded as well to match the colors and the materials on the building.

Ms. Ray reviewed the proposed new materials. Ms. Ray distributed color samples of the two colors of stucco (i.e. Sandy Brown and Algonquin Trail). Ms. Ray also described the dark brown standing seam metal roof, brown storefront, and proposed brick. The cornice will be the same color as the main stucco body color. The staff is concerned with the bright red color of the fabric awnings. This color will need to be toned down to be more in keeping with the Design Guide. The signs shown on the elevations are not part of this application and will need to be reviewed and approved separately as part of the sign permit application.

Ms. Ray stated that no exterior lighting was shown on the building elevations and the applicant forwarded a lighting plan this morning. Ms. Ray reviewed cut sheets for the three main types of lighting that include up lights and down lights. The staff questions the use of the up lights on the mansard roof. The Design Guide states that important architectural elements can be softly illuminated to add emphasis at night. The staff questions whether the brown mansard roof is considered an important architectural element that warrants additional emphasis. The applicant has agreed to switch out the proposed LED lighting as this type of lighting is not permitted by the LMO. The up lights will not be visible.

Staff recommended that the application be approved with the following conditions: (1) the fabric awnings are to be changed to a more muted red instead of the vibrant red; (2) the existing dumpster enclosure is to match the proposed building colors and materials;

(3) the lighting plan is to be modified to eliminate the up light in the fascia; and (4) that any equipment that is not completely screened shall be painted to match the adjacent surface. Following the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Mike Kronimus, KRA architecture + design, presented statements in support of the application including comments regarding the dumpster area and additional parking spaces. The Board discussed the application and complimented the improvements to the site. The Board discussed several issues including the color scheme, the screening of the dumpster enclosure, and ingress/egress to the site. Vice Chairman Gartner stated that a wood or metal gate would be a good addition to the enclosure. A metal gate should be powder coated the same color as the roof. The applicant agreed with this idea. The Board and the applicant also discussed the additional parking spaces proposed for the rear of the building. The dumpster location will remain. The Board recommended that the existing chain link fencing be replaced with a wood fence. Screening of the dumpster area will be important. The Board agreed with the staff's recommendation that the red fabric awnings be muted. The Board also agreed with the staff's recommendations regarding the lighting plan. At completion of the discussion, Chairman Sodemann requested that a motion be made.

Vice Chairman Gartner made a **motion** to **approve** application DRB-000775-2015 with the following conditions: (1) the red fabric awning is to be muted; (2) the existing dumpster enclosure should match the proposed building colors and materials (some type of wood, stucco, brick) that is being used on the building; (3) the uprights should be removed; (4) all signs will be approved separately by staff; (5) the rear wall will continue the control joints exemplified in the left and right elevation drawings; and (6) the rear of the building will have an anodized aluminum gate powder coated the same color as the roof screening the coolers or the "Algonquin" color. All conditions to be approved by the staff. Mr. Witmer **seconded** the motion. Chairman Sodemann requested public comments and none were received. The motion **passed** with a vote of 6-0-0.

4. **Remax Building** – DRB-000777-2015

Ms. Ray introduced the application and stated its location, 24 New Orleans Road. The applicant proposes to repaint the existing building. The proposed color for the body is SW7017 Dorian Gray and the trim is three shades lighter, SW7014 Eider White. Ms. Ray presented an in-depth overhead review of the project including photos of the existing conditions. Ms. Ray also presented photos of the adjacent buildings as well as views from Highway 278.

The existing building is tan stucco with a beige siding and a dark green trim. The adjacent buildings are in the same design and colors and other buildings within the New Orleans Road area are predominately beige and light gray.

The proposed colors will give the building a fresh appearance; however, they will be

much darker and will contrast with the adjacent buildings on one side they are more matching in architectural style than the grey brown on the adjacent. Staff recommends two different options: (1) to select a body color that is one shade lighter, SW7016 Mindful Gray or (2) selecting a trim that is one shade darker than the SW7014 Eider White, i.e. SW7015 Repose Gray, so that there is not so much of a contrast between the two colors that are shown in the samples.

This will meet the Design Guide's intent to minimize the contrast within the same building or the contrast between adjacent buildings. The staff recommends approval of the application with the condition that the applicant brings the colors a little closer together to meet the intent of the Design Guide. At the completion of the staff's presentation, Chairman Sodemann requested that the applicant make his presentation.

Mr. Fred Newton, Remax representative, presented statements in support of the application. The applicant stated that they will be happy to go along with the staff's recommendations for repainting the building. The applicant stated that they will use the SW7017 Dorian Gray for the building color and the SW7015 Repose Gray for the trim. The Board discussed the application and agreed with the staff's recommendations for building and trim colors.

The Board complimented the improvement to the building. The Board confirmed that the stucco will be painted the darker gray and the wood and trim will be painted the lighter color of gray. Following the Board's discussion, Chairman Sodemann requested that a motion be made.

Mr. Strecker made a **motion** to **approve** DRB-000777-2015 with the colors SW7017 Dorian Gray for the base and SW7015 Repose Gray for the accent, trim and fascia color. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. Appearance by Citizens

11. Adjournment

The meeting was adjourned at 2:25p.m.

Submitted By:

Approved By:

Kathleen Carlin
Administrative Assistant

Scott Sodemann
Chairman



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY

Date Received: _____
 Accepted by: _____
 DRB #: _____
 Meeting Date: _____

Applicant/Agent Name: Don Baker, AIA Company: SQUARE FEET ISLAND ARCHITECTS
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip: 29928
 Telephone: 290 6666 Fax: _____ E-mail: donl@squarefeethi.com
 Project Name: Outdoor Dining Patio Project Address: 28 Shelter Cove La, Suite 109
 Parcel Number [PIN]: R _____
 Zoning District: PD-1 Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- _____ Concept Approval – Proposed Development Alteration/Addition
 _____ Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.L4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

24 APRIL 2015

DATE

NARRATIVE

WREN

A new restaurant is coming to Shelter Cove Towne Center. In expectation of it, we offer this Narrative of the site improvements.

The site is approximately 400 sf, situated between the front and side entry doors. The intent of the design is to define the Restaurant's outdoor space comprised of building materials already included in the existing adjacent construction, including:

Brick Planters using same color brick at the building's wainscot.

Anchor points of the perimeter, finished with stucco and brick tops to match existing site conditions.

Brushed concrete patio, finished to match the color at the adjacent Belk's entrance.



Photos of existing conditions

Submitted by

A handwritten signature in black ink, appearing to read "Don Baker".

Don Baker, AIA
Square Feet Island Architects





SHELTER COVE HARBOUR COMPANY

PO Box 6004
Hilton Head Island, SC 29938

April 24, 2015

Roni Allbritton
Shelter Cove Towne Centre
40 Shelter Cove Lane, Suite 180
Hilton Head Island, SC 29928

RE: Suite 109

Dear Roni,

The Shelter Cove Harbour Company's ARB is in receipt of the revisions to provide outdoor seating area for tenant space 109 per the 04/15/2015 plans from Square Feet Island Architects.

The ARB has reviewed and approved the plans as submitted.

Please notify the SCHC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,

John P. Betts
Manager

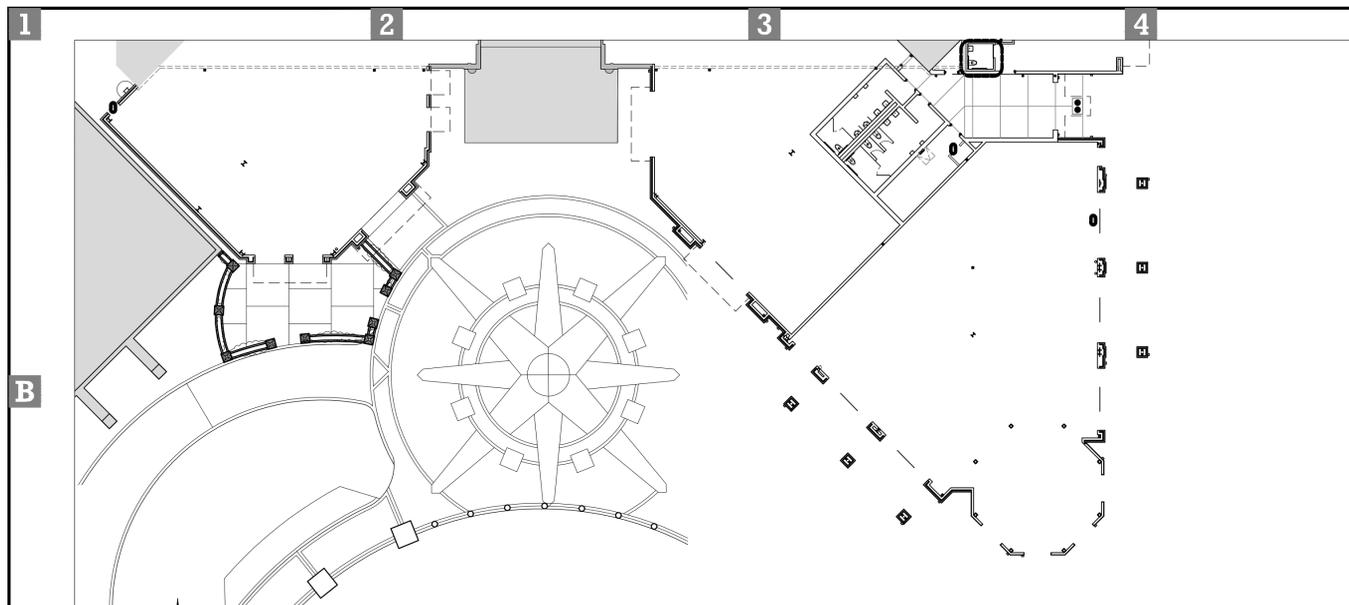
Cc: Mr. Scott Foster, Chairman
SCHCARB Committee

WREN

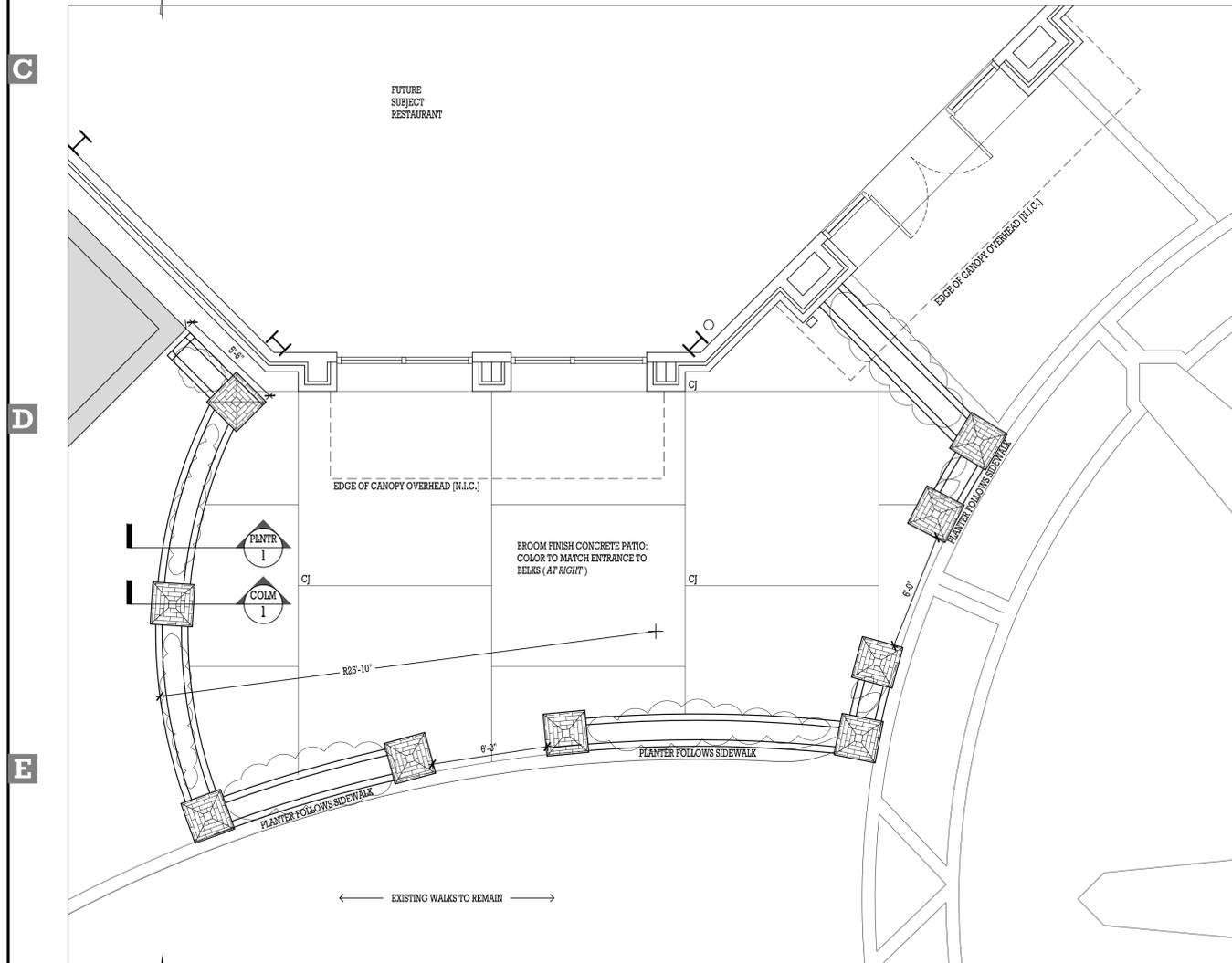


PICTURES OF EXISTING CONDITIONS
PICTURES OF EXISTING CONDITIONS





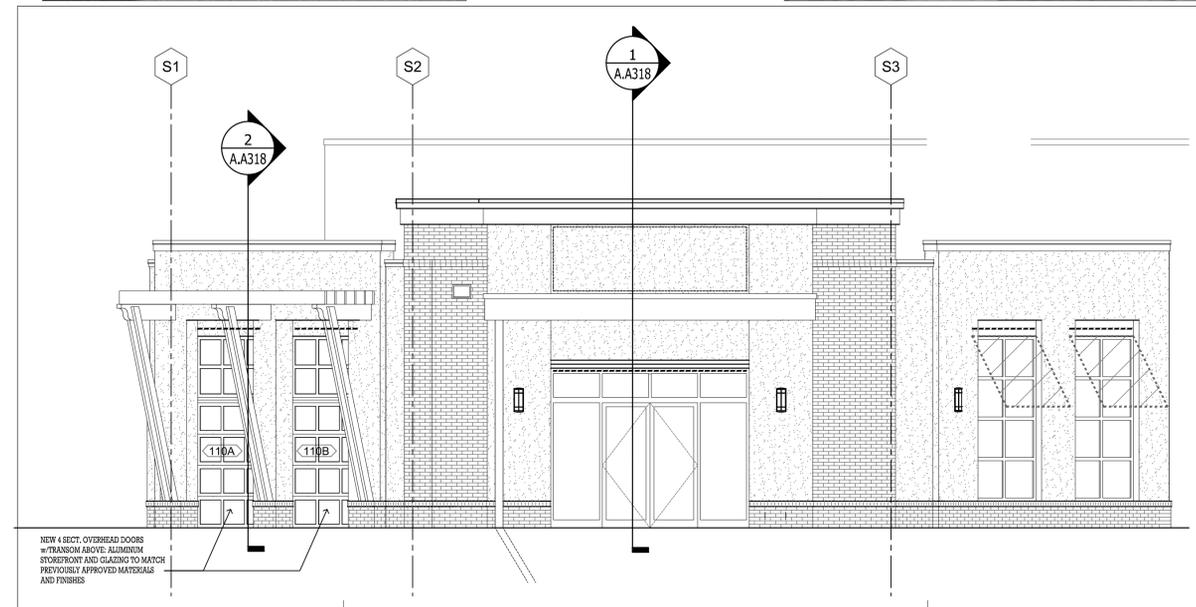
1 AREA PLAN
SCALE: 1"=20'-0"



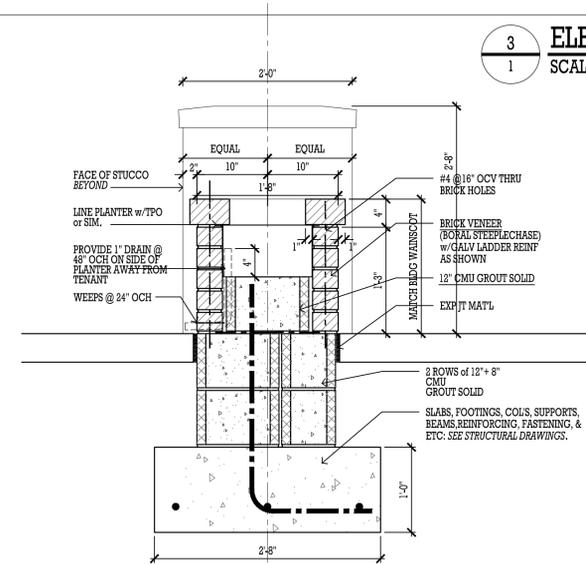
2 ENLARGED PLAN
SCALE: 1/4"=1'-0"



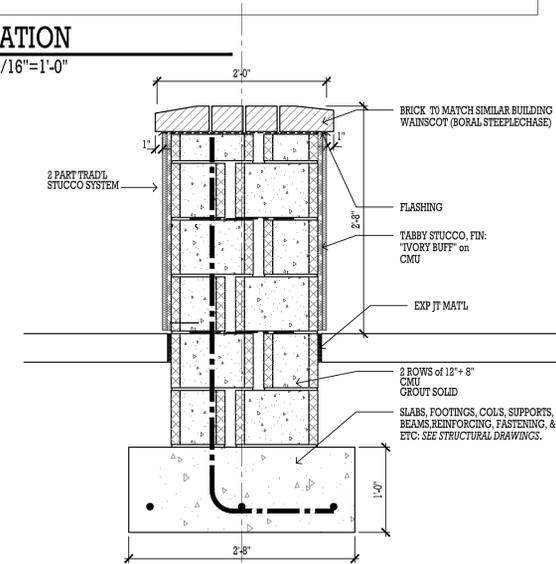
PRE-EXISTING CONDITIONS



3 ELEVATION
SCALE: 3/16"=1'-0"



PLTR 1 SECTION THRU PLANTER
SCALE: 1"=1'-0"



COLM 1 SECTION THRU PILASTER
SCALE: 1"=1'-0"



Square Feet Island Architects
Don Baker, AIA
10 East Garrison Place
Hilton Head, SC 29928
843-290-6666
843-363-3663
don1@squarefeethi.com
HHI Bus Lic. # BLN0400739

PRELIMINARY INFORMATION
Not For Construction

A New Restaurant:
WREN
Building 110 Shelter Cove Towne Center
38 Shelter Cove Lane
Hilton Head Island, SC 29928
PROP. I.D.:

Copyright 2015, by Square Feet
Note: All ideas, concepts, and designs described herein belong solely to the designer named on this page. These ideas, concepts, and designs are to be used only on this project. Any other use constitutes fraud, and the author of these drawings will prosecute any violations to the fullest extent of the law. Likewise the author of these drawings can not be held responsible for any unauthorized use of these drawings.

Project Number WRN
Issue Date 14 APRIL 2015
Issuance HHI DRB

Drawing History:
1. 14 APRIL 2015 HHI DRB
2. 17 DEC 2014

Sheet Title:
PLANS AND SECTIONS

SHEET



PLANT LIST

PLANT SYMBOL / NAME	QUANTITY	SIZE	NOTE
AE / Azalea Encore	9	1 - 1.5' height	Autumn Embers
AG / Agapanthus	17	1 - 1.5' height	Blue
CS / Camellia Sasanqua	1	3 - 3.5' height	Yuletide
EG / E.gn Giant Liriope	82	1 - 1.5' height	
FV / Fig Vine	8	1 - 1.5' height	
MS / Miscanthus	3	1 - 1.5' height	Adagio Dwarf
PB / Plumbago	9	1 - 1.5' height	Imperial Blue
RI / Raphiolepis	13	1.5 - 2' height	Alba
RM / Rosemary	11	1.5 - 2' height	
SP / Sabal Palm	2	16 - 18' height	

NOTES

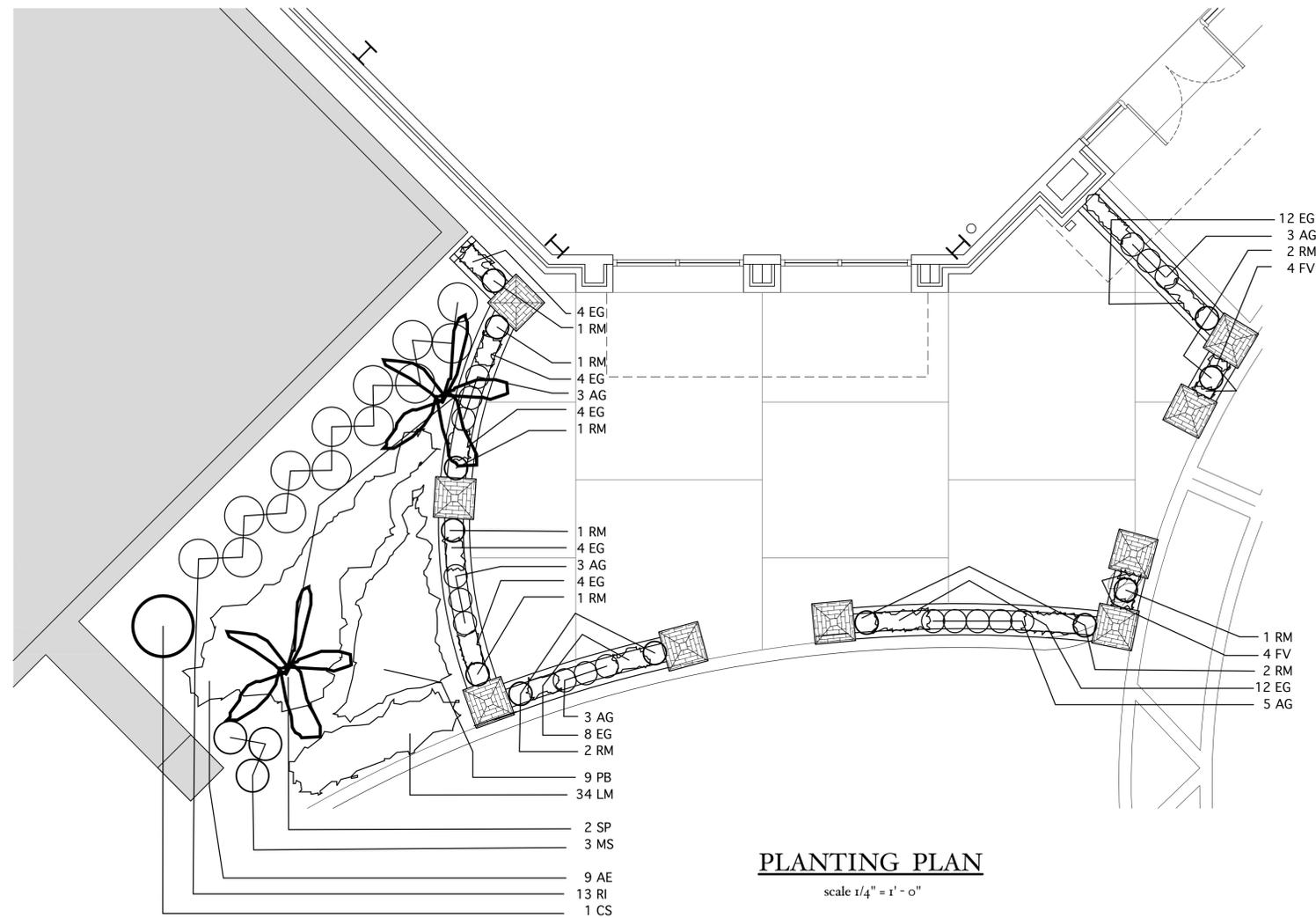
1. All plantings are to be automatically irrigated.
2. Four inches of natural mulch is to be added around all plantings and cover all soil within planters.



**Jackson & Small Associates
Landscape Architecture**

Alan H. Jackson, llc
Island Postal Center
13 Bow Circle, PMB 209
Hilton Head Island, SC 29928
843-338-3017 ajax16@mac.com

Michael S. Small, llc
PO Box 1788
Tybee Island, GA 3132
912-704-1118
michaelsmall.asla@gmail.com



PLANTING PLAN

scale 1/4" = 1' - 0"

DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Outdoor Dining Patio - ALTERATION/ADDITION

DRB#: DRB-000827-2015

DATE: May 12, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

The applicant proposes to add outdoor dining for a restaurant coming to the existing building 110 at SCTC. Overhead doors will replace existing windows in order to provide access to a new patio (+/- 400 SF) that is located adjacent to building 110 and in front of building 108, Versona. The proposed patio is intended to be concrete with brick/stucco planters to provide separation between the outdoor dining and the adjacent sidewalk.

The proposed planters are in keeping with the existing building materials and detailing. The location of the planters should be adjusted to the existing sidewalk. The patio is proposed to be broom finish concrete in a color to match the entrance to Belk. There are several colors of concrete with a more elaborate score pattern in the area. The proposed color needs to be specified and the control joints designed to have a relationship to the patio. An existing light pole is located in the area of the proposed patio. Plans should be updated to indicate the proposed relocation of the existing light.

The approved landscaping in front of the adjacent building 108 will be modified due to the addition of the patio. A taller accent plant should be considered at the end of building 108 and the materials in the planters should be reevaluated for consistencies (i.e. fig vine in only 2 of 7 planters, at 1 of 2 entrances) and simplification as well as potential maintenance issues.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant (Agent) Name: TREY GRIFFIN Company: WOOD+PARTNERS, INC
 Mailing Address: POB 23949 City: HHI State: SC Zip: 29925
 Telephone: 681-6618 Fax: 681-2319 E-mail: tgriffin@woodandpartners.com
 Project Name: The Bayshore on Hilton Head Island Project Address: 421 SQUIRE POPE ROAD
 Parcel Number [PIN]: R 510 003 000 689 A 01 27 0128 0126 0121 0000
 Zoning District: PD-1 Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input type="checkbox"/> Alteration/Addition
<input checked="" type="checkbox"/> Final Approval – Proposed Development	<input type="checkbox"/> Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
 - _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
 - _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Trey Guff
SIGNATURE

4.27.15
DATE

The Bayshore on Hilton Head

421 Squire Pope Road
Hilton Head Island, SC

Project Narrative DRB Final Review

April 28, 2015

Bayshore Retirement Partners is proposing to construct a new senior housing community to be located on the approximate four acre site on the west side of Squire Pope Road known as Salty Fare. The community will consist of a single five-story building set on the west side of the site, well away from Squire Pope Road. The position of the structure respects the northern and southern setbacks, and strives to work with the existing trees in spite of the encroachment of the existing improvements. The structure is comprised of 126 senior housing units and associated interior amenities, which include table service dining facilities, a café and reading room, a theater, a town hall, a full service bar and lounge, fitness facilities and virtual sports venues, a full service spa and salon, and game rooms.

The architectural design philosophy of the development is well expressed by Charles Fraser when he stated *"...the buildings should be unobtrusive in form and color in order to complement their natural setting. The main concern is that the total community be homogeneous in feeling in a park-like setting..."* This theme is incorporated into all aspects of the design from building placement to final detailing. As a result of the site analysis, the building placement is located within the existing "architectural elements zone" and placed well back from Squire Pope Road. To further minimize the impact from the road, one (instead of two) center access drive is provided. This tree lined entry drive is on the building's primary axis as it leads to a covered entry porte-cochere and establishes the simple and elegant symmetry of the East Entry facade. A ceremonial water feature has been located at the terminus of the entry drive creating a pedestrian scale focal point in front of the building entry. The water feature will anchor a small motor court where the pick-up and delivery of our senior residents can occur under cover created by the entry porte-cochere. The community provides 105 onsite parking spaces that are located on the north and south side of the central entry drive, hidden from Pope Squire Road by a series of low garden walls, landscaping and a street tree program. Additional overflow and employee parking is located at the adjacent 6 acre site on the east side of Pope Squire Road.

The 'U' shaped building configuration opens to the primary water views to the northwest. To minimize the impact to the residential neighbors to the north, the service drive, kitchen, dining, and club functions are located on the south side (the same side as the adjacent boat house), while the quieter residential type functions only are placed along the north. In addition, while the minimum setback from the north property line is 20ft, the building setback will be 30 Ft to the patio on the ground floor but steps back to 36 ft. and 42 ft. to the main vertical building plane through the fifth floor.

Continuing the theme of a complementing the natural setting, the architecture is harmonious with the Island character and utilizes good design principles of form, mass, materials, detail, and color. The form and mass of the structure are modulated through a variety of methods: building steps, offsets, inset and projected balconies, inset terraces, trellised pergolas, arched colonnades, varied roof planes, generous and varied roof overhangs, varied massing heights with tower elements and gabled end features all assist in breaking down the form and mass to create visual interest and appeal consistent with the Island. The material pallet and simple detailing provide additional compatible interest and scale: painted stucco of medium and light texture; precast and faux precast trim; wood and faux wood fascia, eave extension brackets, railings, door and window frames, and Bahama shutters; shake concrete roof

tile, and a metal standing seam roof at the porte-cochere. These elements will maintain the neutral toned colors to blend with and preserve the natural Island setting.

Site features will include a range of exterior amenities for residents and include walled courtyards with a pool and shade trellis feature, garden fountains, seating terraces, a small formal cutting garden, a putting green and access to Broad Creek through an existing dock. A fire pit and swing trellis area will also provide views to Broad Creek while a multi-use lawn will provide a sunny event and gathering space. Permeable parking fields with decorative pavers will be used to improve water quality and aid in storm water requirements for the site.

The site and amenities will be richly landscaped to enhance the different characteristics of each area and will include a tree lined and landscaped entry drive with garden wall elements, a garden style pool area with lush plantings and a shade garden along Broad Creek. Buffers will be landscaped to Town requirements to screen adjacent uses.

Natural grades on the site generally range between 11 and 15. The proposed building is to be slab on grade construction, with finish floor elevation set at 14.25'. Existing storm water management and utilities will be upgraded as required.

DRB – 000290-2015

DESIGN REVIEW BOARD CONDITION CLARIFICATIONS & RESPONSES:

- 1) *Consideration should be given to preserving the 43" and the 26" oak trees at the north east property line by mitigating the location of the building*
 - a. The building has been shifted approximately 5'-10" towards the south west property line. The shift is possible due to a reduced buffer (type B- 2) along the south west property line and a change in building construction.
 - b. Building shifts are restricted by the required fire lane width to the south, a change to flood zone A9 to the west and a reduced parking capacity to serve the building to the east. Both shift options would create non-conformities to the LMO. We have worked closely with the town to review building placement and impacts to trees along the north west property line.
 - c. Building placement adjacent to the specimen tree falls within the allowed 20% impact allowed by LMO section 16-6-104F.2.a.iii
- 2) *Consideration should be given to breaking up the mass of the building as recommended by the staff*
 - a. The building has been modified to break down the mass of the building in a variety of ways. The gable end features have been revised to be slightly larger and in better proportion with the building; within these features, two smaller louver openings replace one larger louver, and a coping detail has been added to its stepped/sloped top. The gable end features above the entry at the east elevation, the west courtyard elevation, and the associated recessed terraces below are further modified in plan to project out 24", providing additional shade and shadow relief at the roof and wall planes between the two towers. Also at the east elevation, wider triple mulled window units at either side of the recessed terraces at levels 2 - 5 replace what were double window units, providing massing relief and change in the window rhythm. The other elevations have been further refined and developed to relieve the overall mass and scale. Additional waterside projected balconies have been added to the west elevation, along with a few additional Bahama shutters.

- 3) *Consider colors to help break up the mass of the building*
 - a. Utilizing the same color palette, the stucco base color has been extended up the two tower elements located on the east/entry side; this color returns back to the north and south elevations of each tower element. This simple color change enhances these tower elements as anchors and helps create additional breaks up in the massing of the building. No further color modifications are proposed for the other areas of the building which we believe provide an appropriate level of massing relief as described in this narrative and as shown on the drawings.
- 4) *Retain the specimen trees to the extent possible*
 - a. The specimen tree located along the northwest property line has been retained. We have worked extensively with an arborist and town staff to review building placement, pruning methods and impacts in order to preserve the maximum leaf crown and live tissue while maintaining a healthy tree for long term growth. The team's arborist has created a management plan that includes near term pruning and fertilization, root invigoration, structural bracing and lightning protection along with longer term inspections post construction.

Final DRB Materials, Lighting, and Furnishings

Bayshore Hilton Head Island

Hilton Head Island, SC

Vehicular Hardscape Materials:

Drive Aisle

- Hanover Prest Brick Permeable 4"x9"
- 45 degree herringbone with double header border
- Natural Finish
- Color Blend: Salmon/Charcoal Blend

Parking Stalls

- Hanover Prest Brick Permeable 4"x9" **Scored**
- 45 degree Herringbone with double header border
- Natural Finish
- Color Blend: 50:50 mix of Salmon/Charcoal Blend and South Mountain Sand

ADA parking Stalls

- Hanover Traditional Prest Brick 4"x8"
- 45 degree Herringbone with double header border
- Natural Finish
- Color Blend: 50:50 mix of Salmon/Charcoal Blend And South Mountain Sand



4x9 permeable Salmon/charcoal blend



4x9 permeable scored (red shown but to be in custom blend noted)

50:50 mix of Salmon/charcoal blend and south mountain sand blend



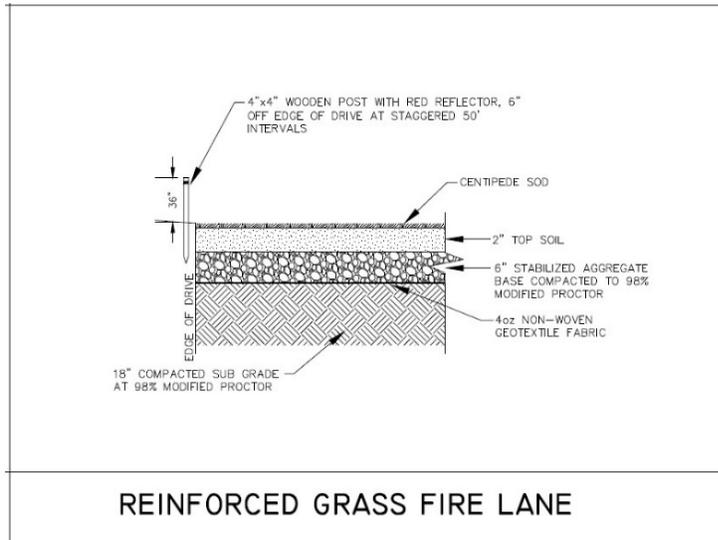
Banding between paver zones

Natural concrete banding and flush curbs

Vehicular Hardscape Materials (Cont.):

Fire lane

Compacted aggregate sub base with turf. Where walk occurs within fire lane, walk shall be a 6" minimum reinforced Standard Concrete walk



Pedestrian Hardscape Materials:

Site Walks:

Natural Concrete with light broom finish and picture framed joints
 4" for pedestrian areas, min. 6" thick for Fire Lane application

Decorative Plank Style Pavers:

- Hanover – Plankstone Pavers
- Color Blend: Chocolate/Tan Blend
- Pattern: staggered running bond (mimic boardwalk)



Permeable Pedestrian Paving:

- Hanover Prest Brick Permeable 4"x9" Scored
- 45 degree Herringbone
- Natural Finish
- Color Blend: Salmon/Charcoal Blend

Decorative Pedestrian Paving:

- Hanover Prest Brick 4x8
- 45 degree Herringbone
- Natural Finish
- Color Blend: Salmon/Charcoal Blend

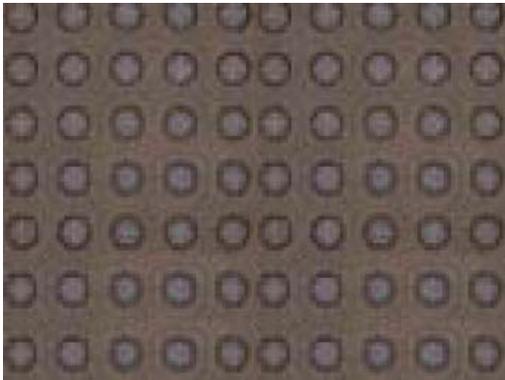


Salmon/Charcoal Blend

ADA Truncated Dome Tiles:

Step-Safe Detectable Warning Tiles

- Manufacturer: Castek, Inc./Transpo Industries, Inc.
- Individual Tile Size: 12"x12"x1/2"
- Color: Chocolate Brown



Chocolate Brown Color Sample

Pool Items and Water Features-

Pool Deck Paving and Banding:

- 2" Travertine Pavers
- Color: Ivory
- Pattern: Versailles, 3-piece
- Finish: Honed and Filled



Pool Coping & Banding:

- 2" x 12" x 24: Travertine with full bullnose
- Color: Light Ivory
- Finish: Honed and Filled

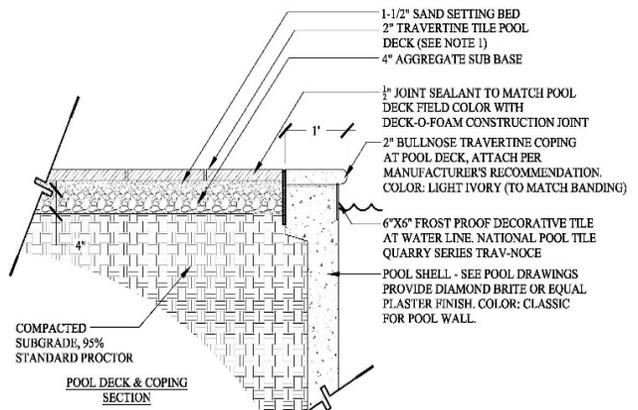


Pool Detailing:

- **Plaster**
- Diamond Brite
- Classic Plaster or equal
- **Tile**
- National Pool Tile
- 6"x6" Quarries Series
- TRAV-NOCE



Quarries TRAV-Noce Tile



Pool and Deck Section

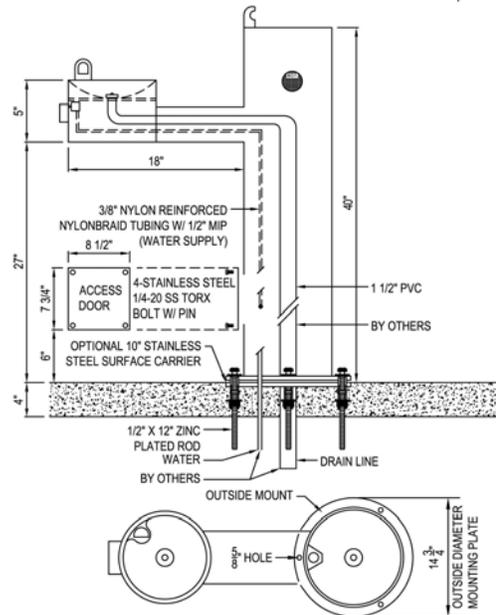


Diamond Brite Classic plaster

Pool Items and Features (Cont.):

Drinking Fountain (Feature Pool):

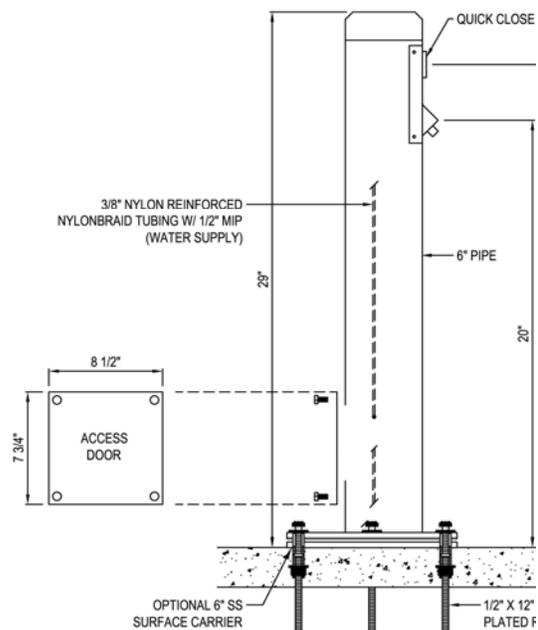
- Most Dependable Fountains
- Model#: 440 sm ss
- Color: Stainless Steel



Pool Items and Features (Cont.):

Footwash/hose Bibb:

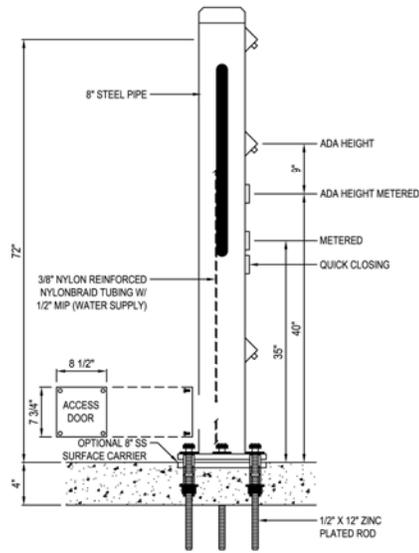
- Most Dependable Fountains
- Model#: 525 sm SS foot tower with optional hose bib
- Color: Stainless Steel



Pool Items and Water Features (Cont.):

Pool Shower:

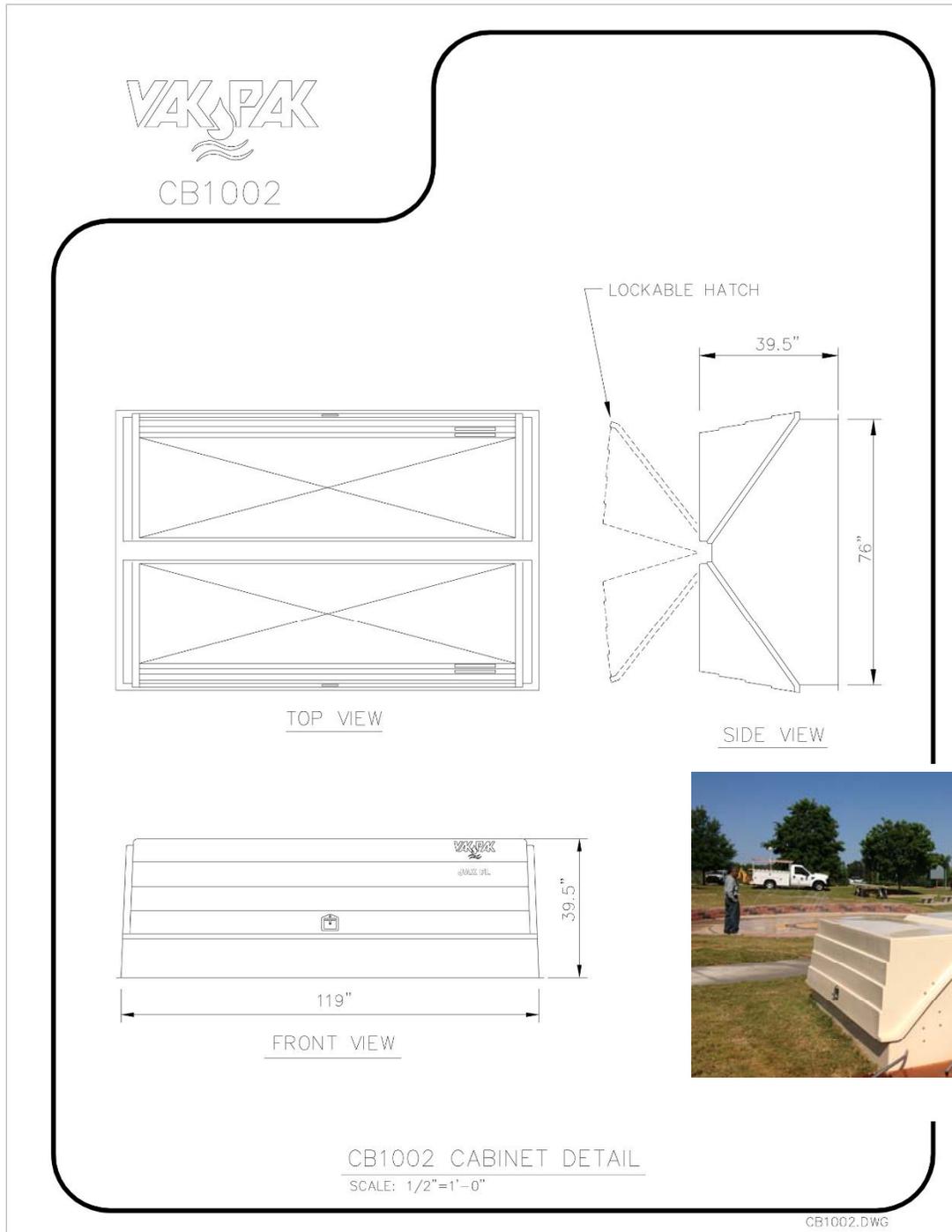
- Most Dependable Fountains
- Model#: 565 sm ss ADA Shower with optional hose bib
- Color: stainless steel



Pool Items and Features (Cont.):

Pool Equipment Vault:

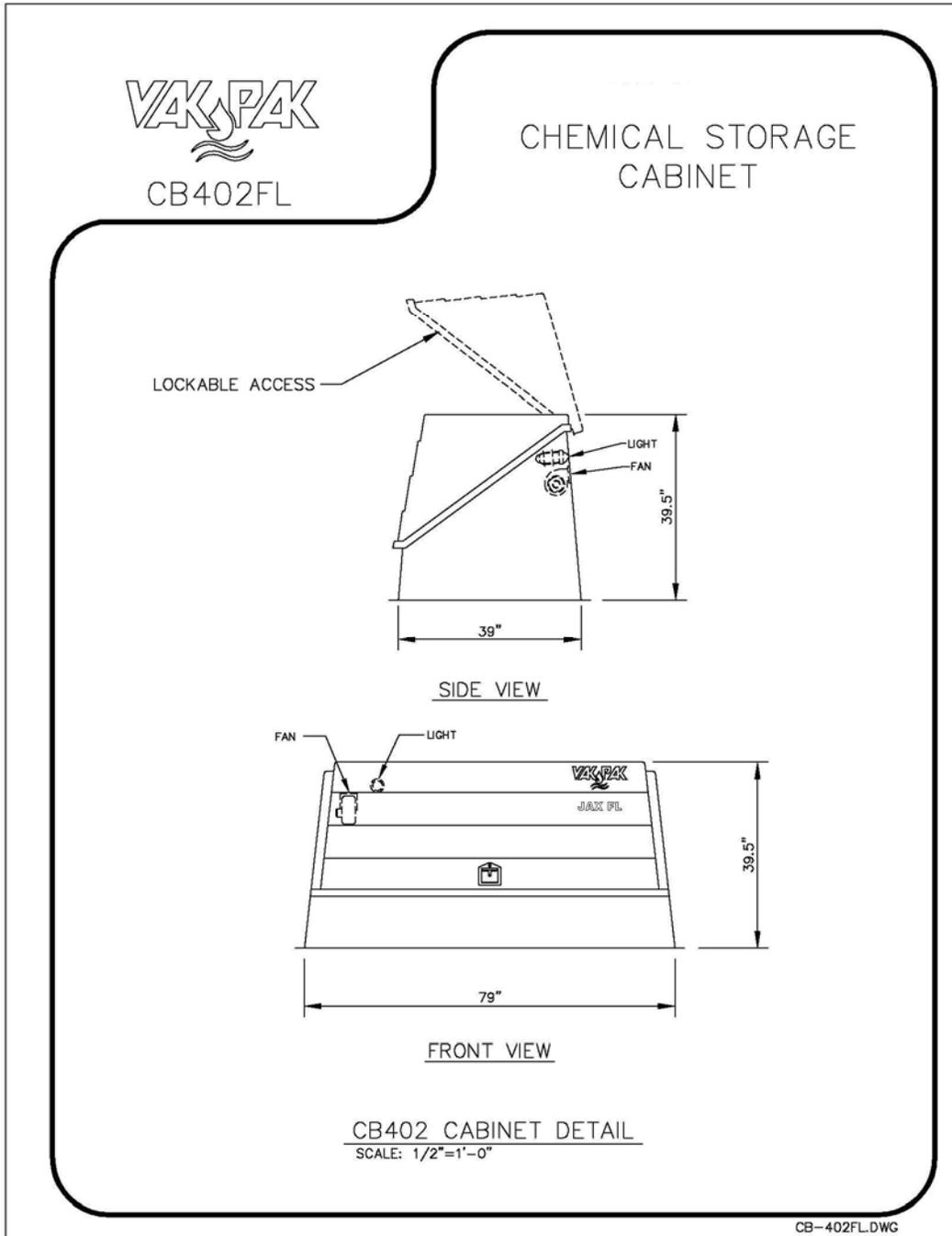
- Vak Pak
- Model#: CB1002 Color: Beige
- Equipment Cabinet



Pool items and Features (Cont.):

Chemical Storage Vault:

- Vak Pak
- Model#: CB402FL Color: Beige
- Chemical Storage Cabinet



Site Furnishings:

Bike Rack:

- Belson Outdoors
- Ground Loop Rack #SBR8
- Finish: Textured Black
- Surface Mount
- 8 Bike Capacity



Bike Rack

Garden Bench:

- Victor Stanley – CR-196
- 4' or 6' length
- Finish: Black
- Surface Mount



Garden Bench

Curved Garden Bench:

- Wabash Valley
- Yorktown collection 8' curved
- Finish: Black - Slatted
- Surface Mount or moveable



Curved Garden Bench

Site/Hardscape Materials:

Entry Allee Walls, Columns and Sign wall (see details):

Wall Material:

- Finish- Stucco with medium finish to match architecture
- Color – Match Building Upper Stucco - Accessible Beige SW 7036
- Trim – Stucco with Fine finish
- Color – Match Building trim, Natural Choice SW 7011

Cap Material:

- Pre-Cast stone with Light Sand Blast Finish
- Color – Off white to match Natural Choice SW 7011

Sign Material:

- Background and Trim Finish – Stucco with sand finish
- Background Color – Natural Choice SW 7011
- Letters – 8” & 4” cast metal (1.5” thick) with flat face, stud pin mounted
- Color – Match SW 7060 Attitude Gray

Fire Pit:

Wall Finish

- Stucco with medium finish to match architecture
- Color - Match Building Upper Stucco - Accessible Beige SW 7036

Cap Material

- Pre-Cast stone with Light Sand Blast Finish
- Color – Match Building trim, Natural Choice SW 7011

-

Pool Fence, Gates and Columns:

Fence

- Custom Aluminum, Powder Coat Finish
- Color: SW 7060 Attitude Gray

Column

- Stucco with medium finish to match architecture
- Color: Match Building Upper Stucco - Accessible Beige SW 7036

Column Cap

- Pre-Cast stone with Light Sand Blast Finish
- Finish: Match Building trim, Natural Choice SW 7011

Site/Hardscape Materials Cont:

Pool Trellis:

Column Bases

Stucco with medium finish to match architecture

Color - Match Building Upper Stucco - Accessible Beige SW 7036

Column Caps

Pre-cast with light sand blast finish

Color – to match SW 7011 Natural Choice

Wood Members

Rough Sawn Cedar upper members and Smooth Cedar Post and trim

Stain: Clear Sealant

Riverside Trellis:

Column Bases

Stucco with medium finish to match architecture

Color - Match Building Upper Stucco - Accessible Beige SW 7036

Column Caps

Pre-cast with light sand blast finish

Color – to match SW 7011 Natural Choice

Wood Members

Rough Sawn Cedar upper members and Smooth Cedar Post and trim

Stain: Clear Sealant

Swing Bench

4' Wabash Valley Swing Bench

Model #sp300S with down rods

Color - Black

Raised Garden Beds:

Frame and Cap

6" tongue and Groove Cedar frames

1"x6" Cedar Cap with eased edges

Color - Natural

Posts

4"x4" cedar

Color - Natural

Site Lighting:

Parking Lot Area Light and Pedestrian Area Light:

Manufacturer: Sternberg Lighting

Parking lot Lights

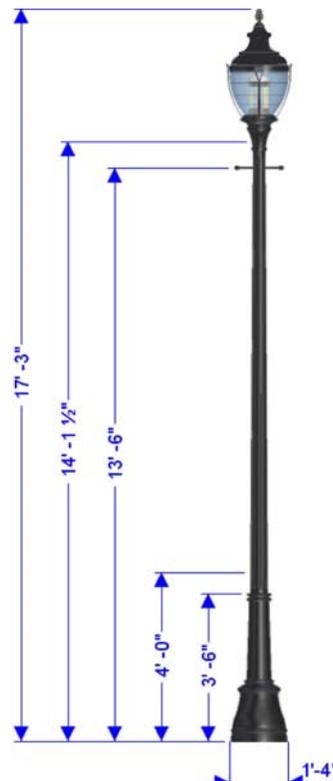
- Model: Town Square Series – A880ASR with Solid Top
- Lamp: 150w MHP
- Color: Black
- Mounting: Post Top
- Pole (Parking): 14' Mounting Ht. on 3" dia tapered, fluted Decorative pole and base,
- Color: Black
- Optional GFIC outlets for each.
- Optional Ladder rest for fixtures within main entry corridor.

Pedestrian and Courtyard Lights

- Model: Town Square Series – A880ASR with Solid Top
- Lamp: 100w MHP
- Color: Black
- Mounting: Post Top
- Pole (Parking): 10' Mounting Ht. on 3" dia tapered, fluted Decorative pole and base,
- Color: Black



Town Square Fixture with solid top



Example of 14' Town Square with Decorative pole

Site Lighting Continued:

Accent Up-Lighting (In-Ground):

Focus Industries Bullet DL-38-NLACL-BLT

- 45deg cutoff shield and convex lens
- Lamp Type: Par38
- Housing: Cast Aluminum, Color: Black on ground stake

DIRECTIONAL LIGHTS

DL-38-NL SERIES

TYPE

SPECIFICATIONS

CONSTRUCTION: Cast aluminum, cast brass or composite Bullet; matching heavy duty cast aluminum, brass or composite adjustable swivel

LENS: High impact clear tempered convex glass (-ECL extension collar and -ACL angle collar models only)

O-RING: High temperature red silicone

LAMP SUPPLIED: None (150w max); Use only outdoor rated PAR38 lamps

SOCKET: High temperature ceramic medium base with 250°C silicone lead wires

WIRING: Standard 120 volt Black, White and Ground 9" lead wires

MOUNTING: None supplied. See Mounting Accessories below for options

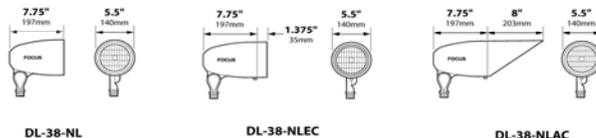
FINISH: Aluminum-Black texture polyester powder coat. Optional finishes available
Brass-Unfinished brass. Optional finishes available

ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
DL-38-NL-BLT	Cast aluminum PAR38 Bullet	None	4.0 lbs.
DL-38-NL-BRS	Cast brass PAR38 Bullet	None	6.0 lbs.
CDL-38-NL	Composite PAR38 Bullet	None	3.0 lbs.
DL-38-NLEC-BLT	Cast aluminum PAR38 Bullet, extension collar, no lens	None	5.0 lbs.
DL-38-NLEC-BRS	Cast brass PAR38 Bullet, extension collar, no lens	None	7.0 lbs.
CDL-38-NLEC	Composite PAR38 Bullet, extension collar, no lens	None	4.0 lbs.
DL-38-NLECL-BLT	Cast aluminum PAR38 Bullet, extension collar, convex lens	None	5.0 lbs.
DL-38-NLECL-BRS	Cast brass PAR38 Bullet, extension collar, convex lens	None	7.0 lbs.
CDL-38-NLECL	Composite PAR38 Bullet, extension collar, convex lens	None	4.0 lbs.
DL-38-NLAC-BLT	Cast aluminum PAR38 Bullet, angle collar, no lens	None	6.0 lbs.
DL-38-NLAC-BRS	Cast brass PAR38 Bullet, angle collar, no lens	None	8.0 lbs.
CDL-38-NLAC	Composite PAR38 Bullet, angle collar, no lens	None	4.0 lbs.
DL-38-NLACL-BLT	Cast aluminum PAR38 Bullet, angle collar, convex lens	None	6.0 lbs.
DL-38-NLACL-BRS	Cast brass PAR38 Bullet, angle collar, convex lens	None	8.0 lbs.
CDL-38-NLACL	Composite PAR38 Bullet, angle collar, convex lens	None	4.0 lbs.



DL-38-NLACL-BRS



JOB INFORMATION	
Type:	Date:
Job Name:	
Cat. No.:	
Lamp(s):	
Specifier:	
Contractor:	
Notes:	
<div style="display: flex; justify-content: space-between; font-size: 8px;"> <div> <p>FOCUS INDUSTRIES INC. 25301 COMMERCENTRE DRIVE LAKE FOREST, CA 92630</p> </div> <div> <p>www.focusindustries.com sales@focusindustries.com (949) 830-1350 • FAX (949) 830-3390</p> </div> </div>	

Site Lighting Continued:

Sign Lighting (In-Ground):

Focus Industries Flood Light FFL-26-CST-BLT

- Lamp Type: 2x 13w, 4,100 CFL
- Color: Black textured

FLUORESCENT FLOOD LIGHTS

FFL-13-CST / FFL-26-CST SERIES

TYPE

SPECIFICATIONS

CONSTRUCTION: Die cast aluminum or die cast brass floodlight with heavy duty adjustable die cast aluminum or die cast brass swivel

LENS: High impact clear tempered flat glass

GASKET: High temperature red silicone

REFLECTOR: Highly polished specular aluminum

BALLAST: Type 1 outdoor magnetic clamped core. 120v primary amp draw of 0.165, not including lamp wattage. 240v and 277v options available. Consult factory for details.

LAMP SUPPLIED: FFL-13-CST: 13w CFL T4 single tube, 4100K 10,000 hour (13w max)
FFL-26-CST: 2 x 13w CFL T4 single tube, 4100K 10,000 hour (26w max)

LAMP OPTIONS: Warm White 2700K (add -WW to catalog number)

SOCKET: GX23 2-pin

WIRING: Standard 120v Black, White and Ground

MOUNTING: None supplied. See Mounting Accessories below for options

FINISH: Aluminum - Black texture polyester powder coat. Optional finishes available
Brass - Unfinished brass. Optional finishes available

NOTE: 220v, 240v and 277v options available. Consult factory for details.

ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
FFL-13-CST-BLT	Cast Aluminum Floodlight	13w, 4100K CFL	3.0 lbs.
FFL-13-CST-BRS	Cast Brass Floodlight	13w, 4100K CFL	9.0 lbs.
FFL-26-CST-BLT	Cast Aluminum Floodlight	2 x 13w, 4100K CFL	4.0 lbs.
FFL-26-CST-BRS	Cast Brass Floodlight	2 x 13w, 4100K CFL	10.0 lbs.

FFL-13-CST
FFL-26-CST

FFL-13-CST-CAM
mounted on
FA-26-BRT

IP54

MOUNTING ACCESSORIES

C-FA-25I-26/BRS

C-FA-26-75W/BRS

C-FA-26-GFC/BRS

FA-22-CST-BRS

FA-24-LG-CST-BRS

BEAM/GLARE CONTROL ACCESSORIES

FA-06-13 1/4" Mini Hex Cell Louver

FA-09-13-BLUE Blue Plastic Gel

FA-09-13-GREEN Green Plastic Gel

-SB Add to catalog # for Sand Blasted Lens (Softens light output)

JOB INFORMATION

Type: _____ Date: _____

Job Name: _____

Cat. No.: _____

Lamp(s): _____

Specifier: _____

Contractor: _____

Notes: _____

FOCUS INDUSTRIES INC. www.focusindustries.com
25301 COMMERCENTRE DRIVE sales@focusindustries.com
LAKE FOREST, CA 92630 (949) 830-1350 • FAX (949) 830-3390

Black Texture (Standard)	Antique Verde	Bronze Texture	Camel	White Texture	Hunter Texture	Rust	Weathered Iron	Weathered Brown	Stucco	Rubbed Verde	Chrome Powder	Terra Cotta	Acid Rust	Acid Verde	Black Acid Treatment
-BLT	-ATV	-BRT	-CAM	-WTX	-HTX	-RST	-WIR	-WBR	-STU	-RBV	-CPR	-TRC	-BAR/CAR	-BAV/CAV	-BAT

FFL-13_26-Cst Cut Sheet 053112

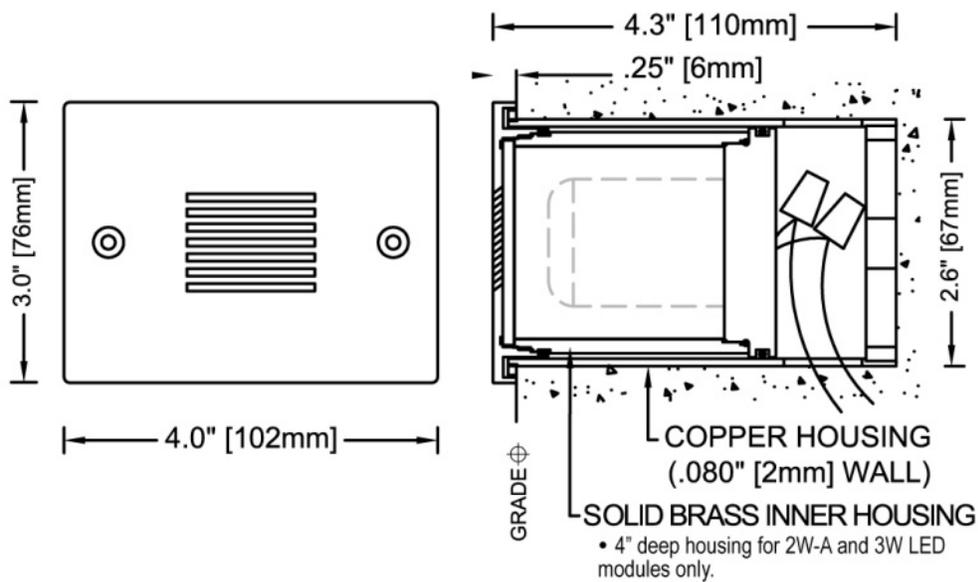
BRASS & COPPER ONLY

Site Lighting Continued:

Wall Light:

Beachside Lighting E9-RCL

- Lamp Type: MR16 Halogen 20w
- Housing: Solid Brass Faceplate, Copper Outer Housing with Wiring Compartment
- Color: Black Finish



Site Lighting Continued:

Trellis Accent Downlight:

Focus Industries Wall Mount #sl-16-dmr16-brs

- Lamp Type: MR16 FL 20w
- Housing: Solid Brass Faceplate, Copper Outer Housing with Wiring Compartment
- Color: Brass



SPECIFICATIONS

CONSTRUCTION: 316 stainless steel or brass cylinder and canopy
LENS: Clear tempered flat glass
CANOPY GASKET: Black newsponge closed cell .190" thickness
LAMP SUPPLIED: 20w MR16 FL(BAB) 5000 hours average rating (20w total max)
LAMP OPTIONS: We recommend 20w MR16 ULTRA 10,000 hours average rating; 20 watt MR16 TITAN 18,000 hours average rating; 4w ARROW LED 50,000 average rating
SOCKET: High temperature ceramic GU5.3 bi-pin with 250°C silicone lead wires
WIRING: Black and 2 White 250°C silicone lead wires
CONNECTION: FA-05 Quick Connector (not supplied) from fixture to main cable (12/2, 10/2 or 8/2 only)
MOUNTING: Canopy included with 2 stainless steel or brass #2 Phillips, flat head, wood screws
FINISH: Stainless Steel - Machined stainless steel only
 Brass - Unfinished brass. Optional finishes available



SL-16-D-MR16-SS

SL-16-D-MR16 LED-BAR

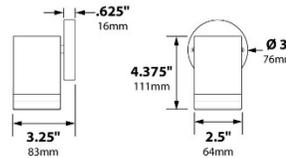
UP/DOWN LIGHT MODEL AVAILABLE
SEE SL-16-MR16

ORDERING INFORMATION

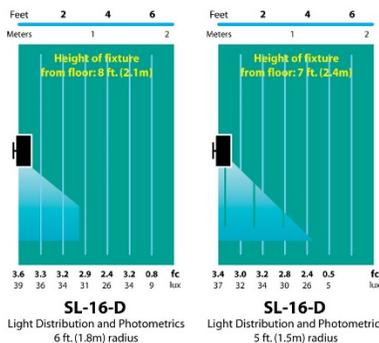
CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
SL-16-DMR16-SS	316 Stainless Steel Down Light	20w MR16 FL(BAB)	2.0 lbs.
SL-16-DMR16-BRS	Brass Down Light	20w MR16 FL(BAB)	2.0 lbs.

COLOR/BEAM/GLARE CONTROL ACCESSORIES

- FA-08-21 Round 1/8" Black Hex Cell Louver
- FA-11-BLUE Blue Tempered Flat Glass Lens
- FA-11-GREEN Green Tempered Flat Glass Lens
- FA-11-AMBER Amber Tempered Flat Glass Lens
- FA-11-RED Red Tempered Flat Glass Lens
- FA-98-36C16 Linear Spread Tempered Glass Lens
- FA-104-5B Wide Spread Sand Blasted Glass Lens



LIGHT DISTRIBUTION AND PHOTOMETRICS

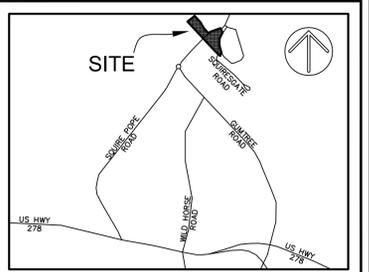


JOB INFORMATION	
Type:	Date:
Job Name:	
Cat. No.:	
Lamp(s):	
Specifier:	
Contractor:	
Notes:	
FOCUS INDUSTRIES INC. 25301 COMMERCENTRE DRIVE LAKE FOREST, CA 92650 www.focusindustries.com sales@focusindustries.com (949) 830-1350 • FAX (949) 830-3390	

Black Texture (Standard)	Antique Verde	Bronze Texture	Camel	White Texture	Hunter Texture	Rust	Weathered Iron	Weathered Brown	Stucco	Rubbed Verde	Chrome Powder	Acid Rust	Acid Verde	Black Acid Treatment
-BLT	-ATV	-BRT	-CAM	-WTX	-HTX	-RST	-WIR	-WBR	-STU	-RBV	-CPR	-BAR/CAR	-BAV/CAV	-BAT

CYPRESS OF HILTON HEAD ISLAND ASSOCIATION
TMS R510 003 00A 0075 0000

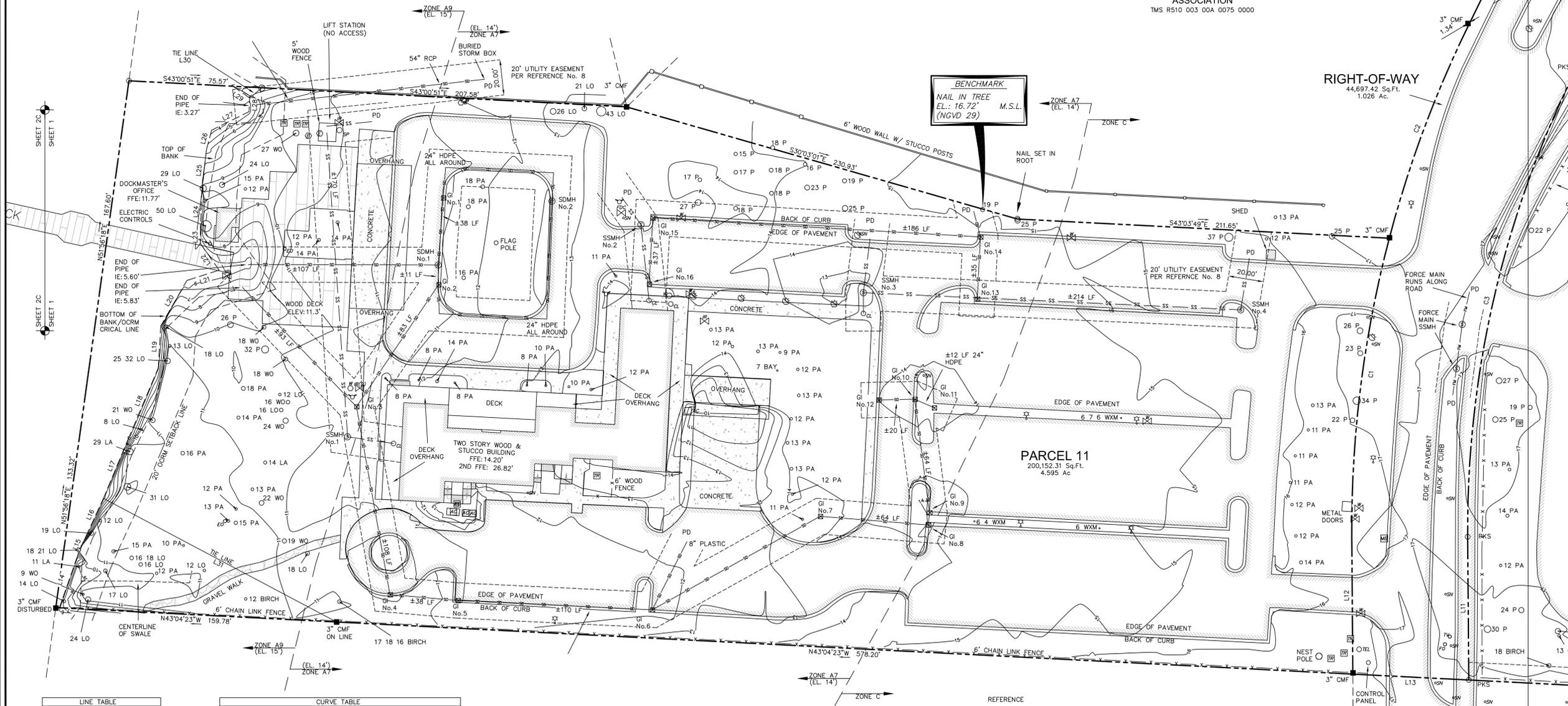
CYPRESS OF HILTON HEAD ISLAND ASSOCIATION
TMS R510 003 00A 0075 0000



VICINITY MAP NOT TO SCALE

LEGEND

- CMF ■ CONCRETE MONUMENT FOUND
- RBF ● IRON REBAR FOUND
- PKF ● PK NAIL FOUND
- RBS ○ 5/8" IRON REBAR SET
- PKS ○ PK NAIL SET
- ovv CABLE JUNCTION BOX
- ocl SANITARY SEWER CLEANOUT
- em ELECTRIC METER
- eo ELECTRIC OUTLET
- fo FIBER OPTIC JUNCTION BOX
- fh FIRE HYDRANT
- gl GRATE INLET
- glt GROUND LIGHT
- icv IRRIGATION CONTROL VALVE
- jb JUNCTION BOX
- lp LIGHT POLE
- mb MAIL BOX
- mvm MAIN VALVE MARKER
- sdm STORM DRAIN MANHOLE
- ssm SANITARY SEWER MANHOLE
- sign SIGN
- sp SPIGOT
- tel TELEPHONE JUNCTION BOX
- tr TRANSFORMER
- wv WATER VALVE
- ced CEDAR
- ch CHERRY
- cyp CYPRESS
- g SWEET GUM
- la LAUREL OAK
- lo LIVE OAK
- map RED MAPLE
- p PINE
- pa PALMETTO
- pec PECAN
- sb SUGAR BERRY
- wo WATER OAK
- wxm WAX MYRTLE
- ie INVERT ELEVATION
- pd PIPE DIRECTION
- ffe FINISHED FLOOR ELEVATION
- ocrm OCEAN COSTAL & RESOURCE MANAGEMENT
- pvc POLYVINYL CHLORIDE PIPE
- rcc REINFORCED CONCRETE PIPE
- fm FORCE MAIN LINE
- sd STORM DRAIN LINE
- ss SANITARY SEWER LINE
- cl CONTOUR LINE



BENCHMARK
NAIL IN TREE
EL.: 16.72'
(NGVD 29)

RIGHT-OF-WAY
44,697.42 Sq.Ft.
1.026 Ac.

PARCEL 11
200,152.31 Sq.Ft.
4.595 Ac.

HILTON HEAD BOATHOUSE LLC
TMS R511 003 000 0019 0000

LINE TABLE

LABEL	BEARING	DISTANCE
L1	S24°09'39"E	66.07'
L2	S24°09'39"E	98.81'
L3	N28°23'05"E	100.02'
L4	N28°23'05"E	62.46'
L5	N21°49'01"E	56.09'
L6	N09°26'49"E	57.65'
L7	N00°49'28"E	57.07'
L8	N01°58'18"W	56.78'
L9	N07°26'06"W	59.21'
L10	N18°46'09"W	73.60'
L11	N43°33'18"E	81.00'
L12	N43°33'18"E	77.17'
L13	S43°07'25"E	65.96'
L14	S63°21'07"W	39.21'
L15	S67°07'52"W	13.52'
L16	S68°56'05"W	23.01'
L17	S66°41'56"W	37.26'
L18	S67°03'06"W	42.73'
L19	S47°24'06"W	23.91'
L20	S74°02'52"W	29.72'
L21	S63°38'54"W	19.26'
L22	S08°37'25"W	18.55'
L23	S44°21'13"W	7.07'
L24	S46°05'30"W	21.88'
L25	S50°15'05"W	24.42'
L26	S59°22'44"W	11.27'
L27	N72°16'23"W	23.61'
L28	S48°37'41"W	7.77'
L29	S11°13'53"E	11.65'
L30	N85°15'18"W	8.90'
L31	N18°09'53"W	149.81'

CURVE TABLE

LABEL	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	645.42'	171.35'	170.85'	S51°12'36"W	151°24'11"
C2	645.46'	130.01'	129.79'	S64°36'10"W	113°32'26"
C3	579.46'	271.14'	268.67'	S56°58'06"W	26°48'34"

GI No.1 FR:10.16' IE:5.41'	GI No.6 FR:11.25' IE(NW):6.27' IE(E):7.15' IE(S):6.27'	GI No.11 FR:13.53' IE:9.38'	GI No.12 FR:13.94' IE:6.26'	GI No.16 FR:13.27' IE(SE):6.07' IE(SW):6.02'	SDMH No.1 FR:10.32' IE:6.28'	SSMH No.1 FR:11.06' IE:3.22'
GI No.2 FR:10.16' IE:5.62'	GI No.7 FR:13.10' IE(W):6.68' IE(S):6.70'	GI No.12 FR:13.94' IE:6.26'	GI No.13 FR:14.22' IE:10.01'	SDMH No.2 FR:12.63' IE:5.99'	SDMH No.2 FR:13.95' IE:2.72'	SSMH No.2 FR:12.63' IE:2.72'
GI No.3 FR:10.65' IE(N):5.76' IE(E):5.57' IE(S):5.74'	GI No.8 FR:13.61' IE(NW):6.69' IE(NE):6.62'	GI No.14 FR:14.30' IE(NW):6.53' IE(NE):6.64'	GI No.18 FR:14.79' IE(NW):4.57' IE(NE):4.99'(LEAN) IE(S):4.49'	SDMH No.3 FR:15.97' TR:15.07'	SDMH No.4 FR:15.12' TR:14.35'	SSMH No.3 FR:14.56' IE:3.34'
GI No.4 FR:9.40' IE(N):5.88' IE(S):5.91'	GI No.9 FR:13.56' IE(NW):6.73' IE(NE):6.85'	GI No.15 FR:13.27' IE(NW):9.90' IE(S):9.86'	GI No.19 FR:13.41' IE(N):9.90' IE(S):9.86'	SDMH No.5 FR:14.10' TR:13.44'	SDMH No.6 FR:13.24' TR:12.45'	SSMH No.4 FR:15.81' IE:4.21'
GI No.5 FR:10.96' IE:6.12'	GI No.10 FR:13.87' IE:UNACCESSIBLE	GI No.20 FR:13.86' IE(N):10.19' IE(S):10.17'	GI No.21 FR:13.82' IE:10.28'	SDMH No.7 FR:12.58' IE:6.13'		

- REFERENCE
- AN ASBUILT SURVEY OF SALTY FARE HORIZONTAL PROPERTY REGIME, A SECTION OF HILTON HEAD PLANTATION. PB: 49; PG: 64 DATE: 06-28-93; LAST REVISED 03-23-94 BY: BOYCE L. YOUNG, S.C.R.L.S. No. 11079
 - A SURVEY OF 20.075 ACRES, PARCELS 11 & 12, SALTY FARE, A SECTION OF HILTON HEAD PLANTATION. DATE: 01-15-88; LAST REVISED 01-08-89 BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059
 - A BOUNDARY PLAT OF TAX PARCEL No. 510-3-1B, SQUIRE POPE ROAD. PB: 83; PG: 85 DATE: 10-11-01 BY: DONALD R. COOP, JR., S.C.R.L.S. No. 19010
 - A SUBDIVISION PLAT OF LOTS: 24, 26 & 28 BAY CLUB, A SECTION OF HILTON HEAD PLANTATION. PB: 54; PG: 11 DATE: 03-17-05; LAST REVISED 08-07-95 BY: MICHAEL R. DUNIGAN, S.C.R.L.S. No. 11905
 - A SUBDIVISION PLAT OF THE BAY CLUB, A SECTION OF HILTON HEAD PLANTATION. PB: 40; PG: 122 DATE: 09-24-90; LAST REVISED 10-19-90 BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059
 - AN ASBUILT AND BOUNDARY SURVEY OF PARCEL 12, SALTY FARE, A SECTION OF HILTON HEAD PLANTATION. PB: 49; PG: 63 DATE: 05-20-93; LAST REVISED 11-22-93 BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059
 - BIKE PATH EASEMENT OVER PARCEL R510-003A-014, CYPRESS OF HILTON HEAD ISLAND, A SECTION OF HILTON HEAD PLANTATION. PB: 122; PG: 63 DATE: 07-31-07 BY: MARK R. RENEW, S.C.R.L.S. No. 25437
 - DEED BOOK 553; PAGE 1009

NOTES

- THIS PARCEL APPEARS TO LIE IN FLOOD ZONES A9, A7 AND C (MINIMUM EL. 14.0'), FIRM PANEL 0002-D COMMUNITY 450250.
- ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- APPROXIMATE LOCATION OF FLOOD ZONE LINES ARE FROM FLOOD INSURANCE RATE MAP, LAST REVISED 09-29-86. (SEE NOTE 1).
- DRAINAGE AND SEWER PIPE SIZE AND DETAIL, RESPECTIVELY, ARE 24" METAL CORRUGATED AND 8" PVC TYPICAL UNLESS OTHERWISE NOTED.
- THE OFF-SITE CONNECTING STRUCTURES FOR SSMH No.2, SSMH No.4, GI No.4, GI No.18, AND THE FORCE MAIN MANHOLES WERE SEARCHED FOR BUT NOT RECOVERED.

THE AREA SHOWN HEREON IS A GENERAL REPRESENTATION OF DHEC-OCRM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY GENERALLY DELINEATING THE PERMIT AUTHORITY OF THE DHEC-OCRM, THE OFFICE OF OCRM IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION IN ANY CRITICAL AREA OF THE SUBJECT PROPERTY WHETHER SHOWN OR NOT.

ATLAS SURVEYING INC.

49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
FAX: (843) 645-9267
WEBSITE: WWW.ATLASSURVEYING.COM



PREPARED FOR:
BAYSHORE RETIREMENT LIVING

A BOUNDARY, TREE AND TOPOGRAPHICAL & ASBUILT SURVEY OF
PARCEL 11-A, PARCEL 11-C, PARCEL 11-D,
PARCEL 11-E, PARCEL 11-F, PARCEL 12
AND PARCEL 12A OF THE SALTY FARE
HORIZONTAL PROPERTY REGIME, A
SECTION OF HILTON HEAD PLANTATION

TAX PARCEL No. R510 003 000 089A 0000
TAX PARCEL No. R510 003 000 0127 0000
TAX PARCEL No. R510 003 000 0128 0000
TAX PARCEL No. R510 003 000 0126 0000
TAX PARCEL No. R510 003 000 0121 0000

THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

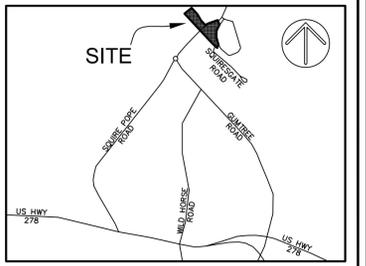
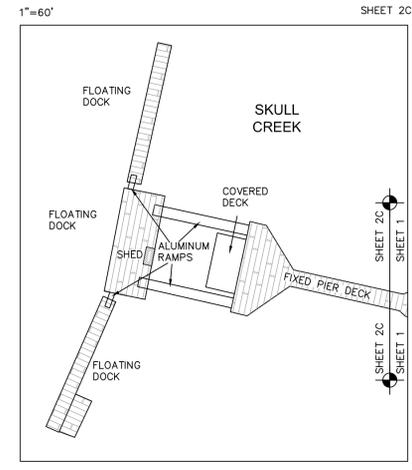
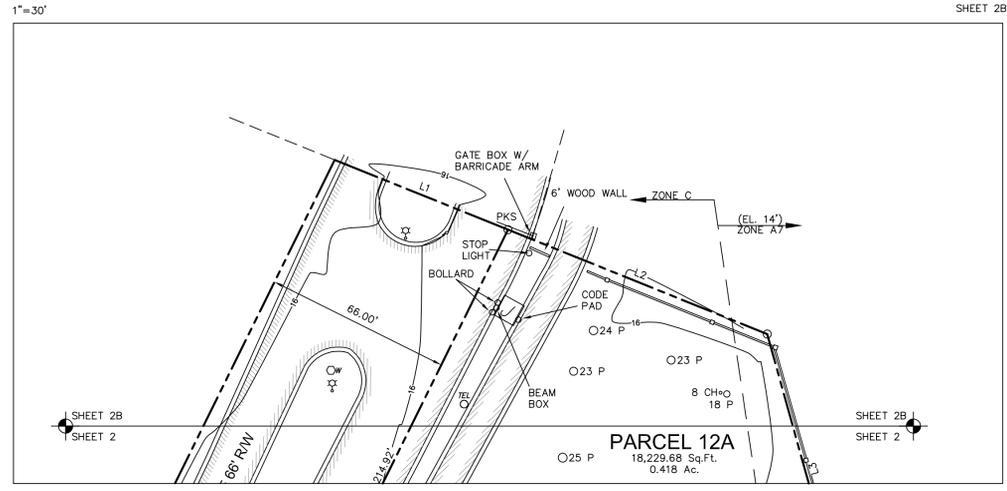
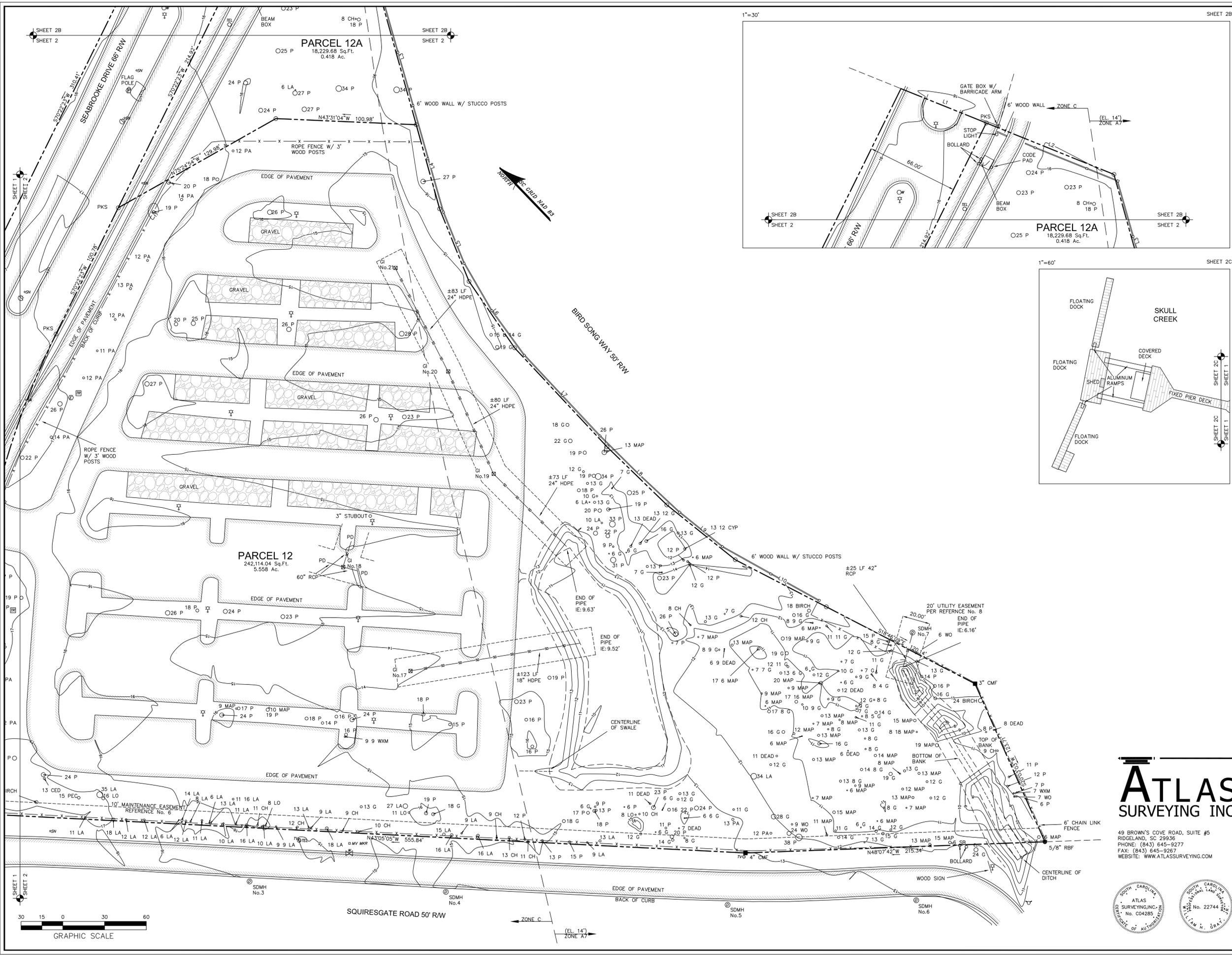
SHEET 1 OF 2

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

WILLIAM H. GRAY, JR.
S.C.P.L.S. No. 22744
NOT VALID UNLESS CRIMPED WITH SEAL



GRAPHIC SCALE



LEGEND

CMF	CONCRETE MONUMENT FOUND
RBF	IRON REBAR FOUND
PKF	PK NAIL FOUND
RBS	5/8" IRON REBAR SET
PKS	PK NAIL SET
OV	CABLE JUNCTION BOX
OC	SANITARY SEWER CLEANOUT
EM	ELECTRIC METER
EO	ELECTRIC OUTLET
FO	FIBER OPTIC JUNCTION BOX
FI	FIRE HYDRANT
GI	GRATE INLET
GL	GROUND LIGHT
ICV	IRRIGATION CONTROL VALVE
JB	JUNCTION BOX
LP	LIGHT POLE
MB	MAIL BOX
MVM	MAIN VALVE MARKER
SDM	STORM DRAIN MANHOLE
SSM	SANITARY SEWER MANHOLE
SN	SIGN
SP	SPIGOT
TJB	TELEPHONE JUNCTION BOX
TR	TRANSFORMER
WV	WATER VALVE
CD	CEDAR
CH	CHERRY
CYP	CYPRESS
G	SWEET GUM
LA	LAUREL OAK
LO	LIVE OAK
MAP	RED MAPLE
P	PINE
PA	PALMETTO
PEC	PECAN
SB	SUGAR BERRY
WO	WATER OAK
WXM	WAX MYRTLE
IE	INVERT ELEVATION
PD	PIPE DIRECTION
FFE	FINISHED FLOOR ELEVATION
OCRM	OCEAN COSTAL & RESOURCE MANAGEMENT
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
FM	FORCE MAIN LINE
SD	STORM DRAIN LINE
SS	SANITARY SEWER LINE
16	CONTOUR LINE

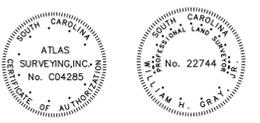
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TAX PARCEL No. R510 003 000 089A 0000
TAX PARCEL No. R510 003 000 0127 0000
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SHEET 2 OF 2

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

WILLIAM H. GRAY, JR.
S.C.P.L.S. No. 22744
NOT VALID UNLESS CRIMPED WITH SEAL

#	REVISION	DATE	BY

SITE KEY LEGEND:

SITE WORK:

- | | |
|---|--|
| S1 4" CONCRETE WALKWAY
DETAIL 1/L-300 | S15 POOL TRELLIS
DETAIL 1/L-303 |
| S2 6" CONCRETE WALKWAY
DETAIL 2/L-300 | S16 RIVERSIDE TRELLIS
DETAIL 2/L-303 |
| S3 TRAVERTINE PAVERS & POOL COPING
DETAIL 1/L-301 | S17 PUTTING GREEN
DETAIL 9/L-300 |
| S4 SPECIALTY PAVERS (PEDESTRIAN)
DETAIL 7/L-300 | S18 RAISED GARDEN PLANTER
DETAIL 10/L-300 |
| S5 PERMEABLE PAVING (PEDESTRIAN)
DETAIL 8/L-300 | S19 POOL EQUIPMENT ENCLOSURE
DETAIL 3/L-301 |
| S6 PLANK PAVERS WITH CONCRETE BANDING
DETAIL 5/L-300 | S20 POOL DECK DRAINS
DETAIL 11/L-300 |
| S7 DECORATIVE PAVER BANDING
DETAIL 6/L-300 | POOL AND WATER FEATURES: |
| S8 ADA DOME PAVERS
DETAIL 4/L-300 | P1 POOL (BY OTHERS)
SEE POOL PLANS |
| S9 RAISED PLANTER WALL
DETAIL 2/L-302 | P2 SCHEMATIC ENTRY ALLEE FOUNTAIN
DETAIL 1/L-304 |
| S10 GARDEN SEAT WALL
DETAIL 3/L-302 | P3 SCHEMATIC FORMAL GARDEN FOUNTAIN
DETAIL 2/L-305 |
| S11 FIRE PIT (GAS)
DETAIL 1/L-302 | P4 SCHEMATIC WOODLAND REFLECTING FOUNTAIN
DETAIL 1/L-305 |
| S12 POOL FENCE WITH COLUMNS
DETAIL 2/L-301 | P5 POOL RULES SIGN
BY OTHERS, SEE POOL PLANS |
| S13 ALLEE WALLS AND COLUMNS
DETAIL 4/L-302 | P6 NO DIVING SIGN
BY OTHERS, SEE POOL PLANS |
| S14 ENTRY SIGN WALL AND COLUMNS
DETAIL 5/L-302 | P7 NO LIFEGUARD ON DUTY POOL SIGN
BY OTHERS, SEE POOL PLANS |

PAVING SCHEDULE:

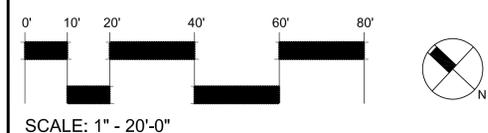
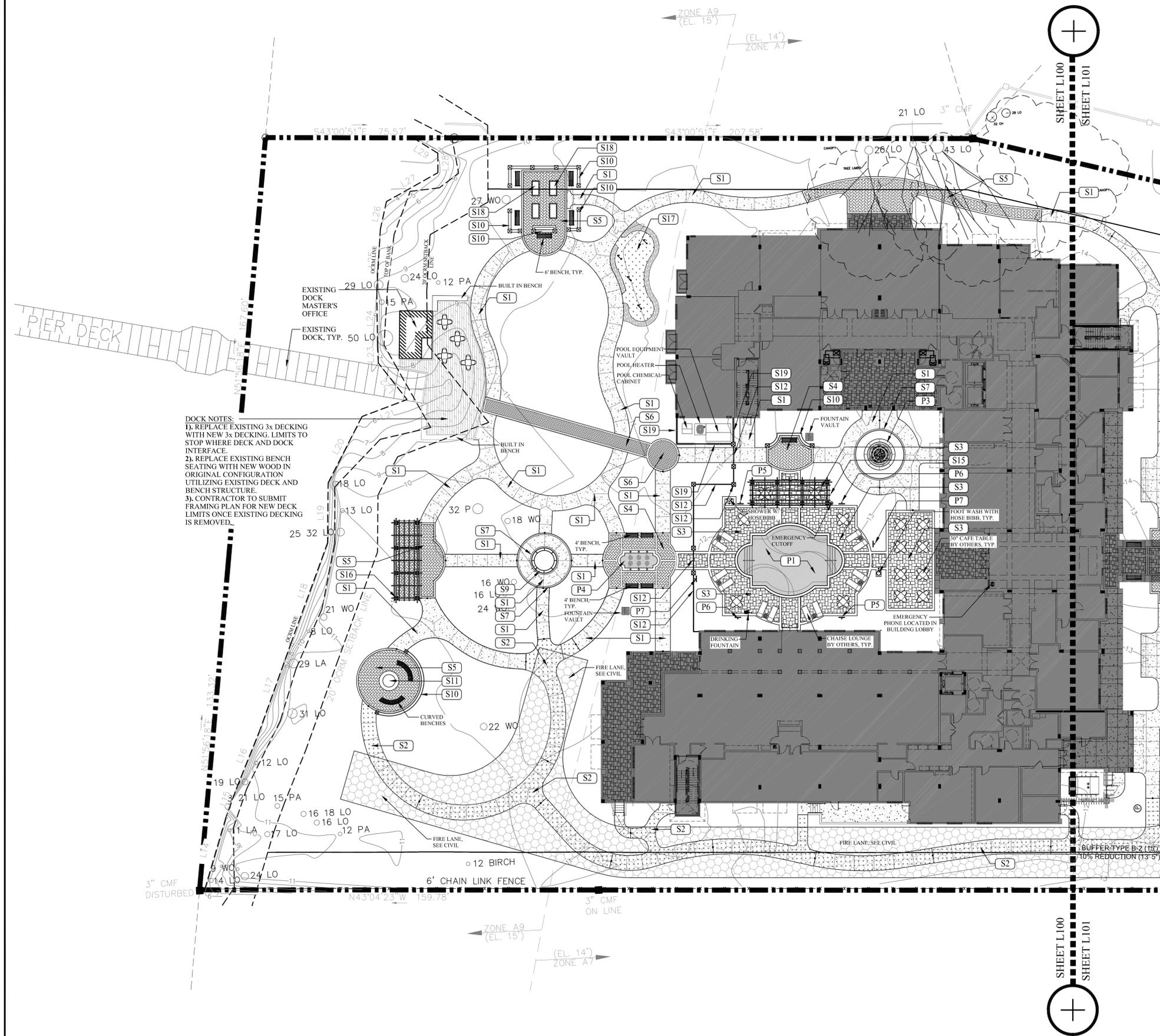
- 4" CONCRETE WALK: SEE DETAIL 1/L-300
NATURAL COLOR W/ BROOM FINISH
- 6" CONCRETE WALK: SEE DETAIL 2/L-300
NATURAL COLOR W/ BROOM FINISH
- ADA DETECTABLE WARNING:
SEE DETAIL 4/L-300
- TRAVERTINE PAVING: SEE DETAIL 1/L-301
LIGHT IVORY COLOR IN VERSAILLES PATTERN
- DECORATIVE PLANK PAVERS:
SEE DETAIL 5/L-300
- PERMEABLE PAVING TYPE A (VEHICULAR):
HANOVER 4x9 PERMEABLE PAVER, SALMON
CHARCOAL BLEND NATURAL FINISH,
HERRINGBONE PATTERN. SEE CIVIL
- PERMEABLE PAVING TYPE B (VEHICULAR):
HANOVER 4x9 SCORED PAVER, 50/50 MIX SALMON
CHARCOAL BLEND & SOUTH MOUNTAIN
SAND, NATURAL FINISH. SEE CIVIL
- ADA PARKING STALL PAVING:
HANOVER PAVES 4x8 PAVER, 50/50 MIX OF
SALMON CHARCOAL BLEND & SOUTH
MOUNTAIN SAND, NATURAL FINISH. SEE CIVIL
- SPECIALTY PAVING (PEDESTRIAN):
HANOVER 4x9 SCORED PAVER. SEE DETAIL 7/L-300
- PERMEABLE PAVING (PEDESTRIAN):
HANOVER 4x9 SCORED PAVER. SEE DETAIL 8/L-300
- CONTROL JOINT:
SEE DETAIL 3/L-300
- EXPANSION JOINT:
SEE DETAIL 3/L-300
- PUTTING SURFACE:
1/2" MAX. TUFTED PILE HEIGHT, POLYPROPYLENE
PUTTING SURFACE WITH BACKING AND 3/16"
TUFTING GAUGE, LIGHT GREEN. SUBMIT COLOR
AND MATERIAL SAMPLES FOR APPROVAL.
- SECOND CUT FRINGE:
1" MIN. TUFTED PILE HEIGHT, POLYPROPYLENE
SECOND CUT FRINGE WITH BACKING AND 1/4"
TUFTING GAUGE, GREEN. SUBMIT COLOR AND
MATERIAL SAMPLES FOR APPROVAL.
- FLAG HOLE (FURNISHINGS):
CUP: CONTRACTOR TO PROVIDE 4 1/4" CUP FOR
EACH HOLE. CUP TO INCLUDE BUILT IN FERRULE
HOLDER FOR JUNIOR FLAG STICK AND BE WHITE
IN COLOR. SUBMIT SAMPLE/CUT FOR APPROVAL
PRIOR TO CONSTRUCTION. JUNIOR FLAG STICK:
CONTRACTOR TO PROVIDE JUNIOR FLAG STICK
FOR EACH HOLE, 34" IN HEIGHT, WHITE WITH
BUILT-IN FERRULE. COORDINATE WITH OWNER
FOR FINAL COLOR SELECTION PRIOR TO
ORDERING. SUBMIT SAMPLE/CUT FOR APPROVAL
PRIOR TO CONSTRUCTION.

SITE FURNISHINGS SCHEDULE:

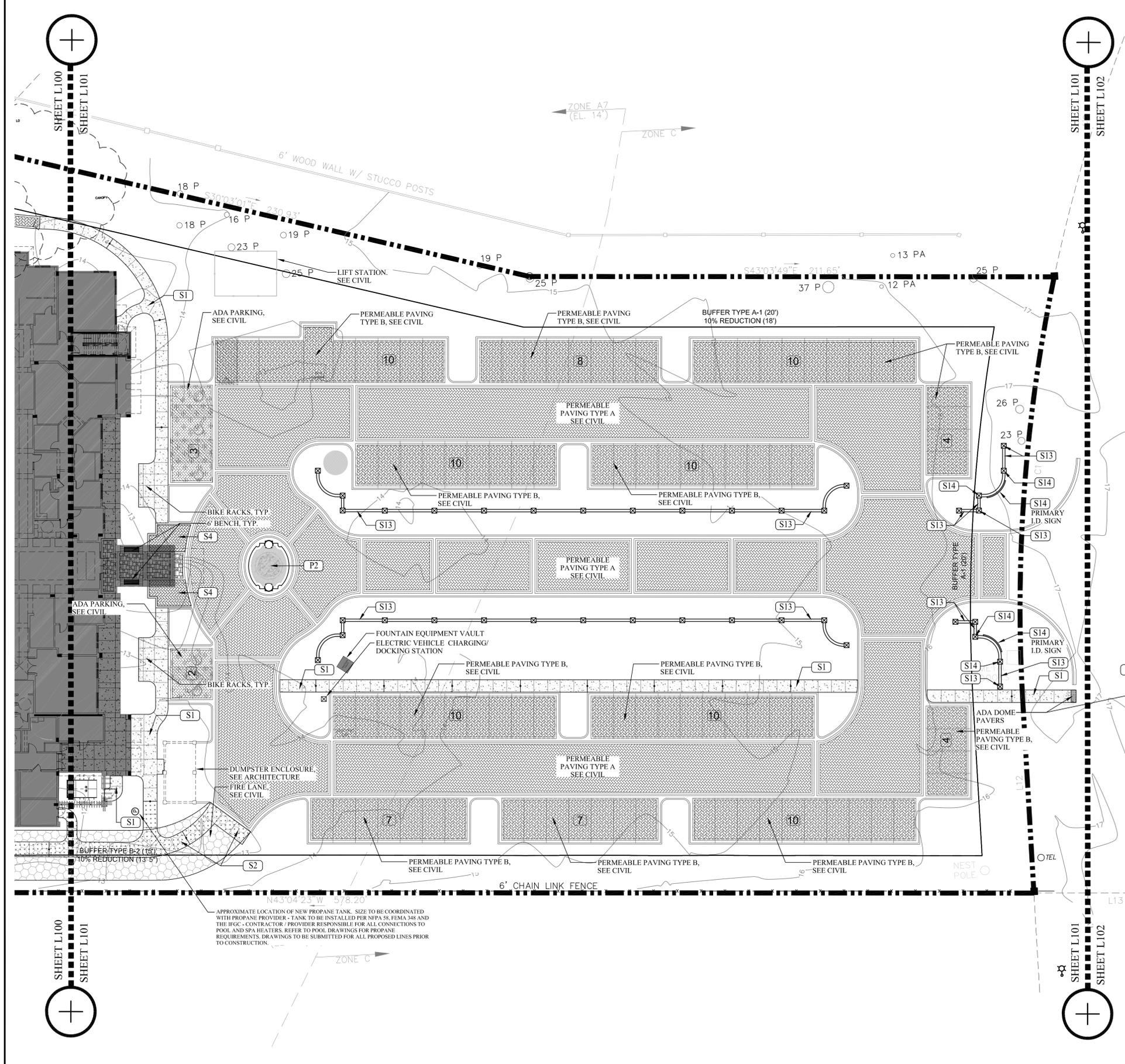
- DECORATIVE POOL FENCE:
SEE DETAIL 2/L-301
- CHAISE LOUNGE:
(BY OTHERS) QTY: 12
- VICTOR STANLEY METAL BENCH:
MODEL # CR-196 (4), BLACK FINISH, SURFACE
MOUNT PROVIDE (4) AT THE WOODLAND
REFLECTING FOUNTAIN PLAZA AREA AS SHOWN.
- VICTOR STANLEY METAL BENCH:
MODEL # CR-196 (6), BLACK FINISH, SURFACE
MOUNT PROVIDE (8) AS SHOWN.
- 30" CAFE TABLE: (BY OTHERS)
PROVIDE (18)
- CURVED BENCH AT FIRE PIT. PROVIDE (2)
WABASH VALLEY, YORK TOWN COLLECTION,
8" CURVED BENCH, SLATTED BLACK,
TEXTURE, SURFACE MOUNT OR PORTABLE.
- DRINKING FOUNTAIN: PROVIDE (1)
MOST DEPENDABLE FOUNTAINS
#440SM SS, ADA COMPLIANT, STAINLESS
PROVIDE HOSE BIBB OPTION.
- FOOTWASH/HOSEBIBB: PROVIDE (1)
MOST DEPENDABLE FOUNTAINS
#525 SM SS W/ HOSE BIBB, STAINLESS
- EMERGENCY TELEPHONE (TOLL FREE):
PROVIDE EMERGENCY PHONE (TOLL FREE) IN
WATERTIGHT ENCLOSURE PER DHEC
REQUIREMENTS. PROVIDE WEATHER RESISTANT
PHYSICAL ADDRESS OF POOL AND DISPLAY AT
PHONE. PROVIDE SUBMITTAL FOR PHONE AND
DISPLAY FOR APPROVAL PRIOR TO INSTALLATION.
- BIKE RACKS:
BELSON OUTDOORS GROUND LOOP BIKE RACK
MODEL # SBR8, TEXTURE: BLACK, SURFACE MOUNT.
- POOL SHOWER: PROVIDE (1)
MOST DEPENDABLE FOUNTAINS #565 SM SS,
STAINLESS, ADA ACCESSIBLE, W/ HOSE BIBB.
- POOL SIGNAGE:
SEE SITE PLAN FOR LOCATION AND TYPES
- EMERGENCY POOL SHUTOFF:
SEE POOL PLANS

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
- DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.



#	REVISION	DATE	BY



SITE KEY LEGEND:

SITE WORK:

S1 4" CONCRETE WALKWAY DETAIL 1/L-300	S15 POOL TRELLIS DETAIL 1/L-303
S2 6" CONCRETE WALKWAY DETAIL 2/L-300	S16 RIVERSIDE TRELLIS DETAIL 2/L-303
S3 TRAVERTINE PAVERS & POOL COPING DETAIL 1/L-301	S17 PUTTING GREEN DETAIL 9/L-300
S4 SPECIALTY PAVERS (PEDESTRIAN) DETAIL 7/L-300	S18 RAISED GARDEN PLANTER DETAIL 10/L-300
S5 PERMEABLE PAVING (PEDESTRIAN) DETAIL 8/L-300	S19 POOL EQUIPMENT ENCLOSURE DETAIL 3/L-301
S6 PLANK PAVERS WITH CONCRETE BANDING DETAIL 5/L-300	S20 POOL DECK DRAINS DETAIL 11/L-300
S7 DECORATIVE PAVER BANDING DETAIL 6/L-300	POOL AND WATER FEATURES:
S8 ADA DOME PAVERS DETAIL 4/L-300	P1 POOL (BY OTHERS) SEE POOL PLANS
S9 RAISED PLANTER WALL DETAIL 2/L-302	P2 SCHEMATIC ENTRY ALLEE FOUNTAIN DETAIL 1/L-304
S10 GARDEN SEAT WALL AND COLUMNS DETAIL 3/L-302	P3 SCHEMATIC FORMAL GARDEN FOUNTAIN DETAIL 2/L-305
S11 FIRE PIT (GAS) DETAIL 1/L-302	P4 SCHEMATIC WOODLAND REFLECTING FOUNTAIN DETAIL 1/L-305
S12 POOL FENCE WITH COLUMNS DETAIL 2/L-301	P5 POOL RULES SIGN BY OTHERS, SEE POOL PLANS
S13 ALLEE WALLS AND COLUMNS DETAIL 4/L-302	P6 NO DIVING SIGN BY OTHERS, SEE POOL PLANS
S14 ENTRY SIGN WALL AND COLUMNS DETAIL 5/L-302	P7 NO LIFEGUARD ON DUTY POOL SIGN BY OTHERS, SEE POOL PLANS

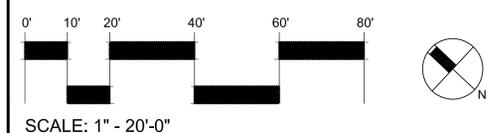
PAVING SCHEDULE:

- 4" CONCRETE WALK: SEE DETAIL 1/L-300
NATURAL COLOR W/ BROOM FINISH
- 6" CONCRETE WALK: SEE DETAIL 2/L-300
NATURAL COLOR W/ BROOM FINISH
- ADA DETECTABLE WARNING:
SEE DETAIL 4/L-300
- TRAVERTINE PAVING: SEE DETAIL 1/L-301
LIGHT IVORY COLOR IN VERSAILLES PATTERN
- DECORATIVE PLANK PAVERS:
SEE DETAIL 5/L-300
- PERMEABLE PAVING TYPE A (VEHICULAR):
HANOVER 4x9 PERMEABLE PAVER, SALMON
CHARCOAL BLEND & SOUTH MOUNTAIN
SAND, NATURAL FINISH. SEE CIVIL
- PERMEABLE PAVING TYPE B (VEHICULAR):
HANOVER 4x9 SCORED PAVER, 50/50 MIX SALMON
CHARCOAL BLEND & SOUTH MOUNTAIN
SAND, NATURAL FINISH. SEE CIVIL
- ADA PARKING STALL PAVING:
HANOVER PAVES 4x8 PAVER, 50/50 MIX OF
SALMON CHARCOAL BLEND & SOUTH
MOUNTAIN SAND, NATURAL FINISH. SEE CIVIL
- SPECIALTY PAVING (PEDESTRIAN):
HANOVER 4x9 SCORED PAVER. SEE DETAIL 7/L-300
- PERMEABLE PAVING (PEDESTRIAN):
HANOVER 4x9 SCORED PAVER. SEE DETAIL 8/L-300
- CONTROL JOINT:
SEE DETAIL 3/L-300
- EXPANSION JOINT:
SEE DETAIL 3/L-300
- PUTTING SURFACE:
1/2" MAX. TUFTED PILE HEIGHT, POLYPROPYLENE
PUTTING SURFACE WITH BACKING AND 3/16"
TUFTING GAUGE, LIGHT GREEN. SUBMIT COLOR
AND MATERIAL SAMPLES FOR APPROVAL.
- SECOND CUT FRINGE:
1" MIN. TUFTED PILE HEIGHT, POLYPROPYLENE
SECOND CUT FRINGE WITH BACKING AND 1/4"
TUFTING GAUGE, GREEN. SUBMIT COLOR AND
MATERIAL SAMPLES FOR APPROVAL.
- FLAG HOLE (FURNISHINGS):
CUP: CONTRACTOR TO PROVIDE 4 1/4" CUP FOR
EACH HOLE. CUP TO INCLUDE BUILT IN FERRULE
HOLDER FOR JUNIOR FLAG STICK AND BE WHITE
IN COLOR. SUBMIT SAMPLE/CUT FOR APPROVAL
PRIOR TO CONSTRUCTION. JUNIOR FLAG STICK:
CONTRACTOR TO PROVIDE JUNIOR FLAG STICK
FOR EACH HOLE, 34" IN HEIGHT, WHITE WITH
BUILT-IN FERRULE. COORDINATE WITH OWNER
FOR FINAL COLOR SELECTION PRIOR TO
ORDERING. SUBMIT SAMPLE/CUT FOR APPROVAL
PRIOR TO CONSTRUCTION.

SITE FURNISHINGS SCHEDULE:

- DECORATIVE POOL FENCE:
SEE DETAIL 2/L-301
- CHAISE LOUNGE:
(BY OTHERS) QTY: 12
- VICTOR STANLEY METAL BENCH:
MODEL # CR-196 (4), BLACK FINISH, SURFACE
MOUNT PROVIDE (4) AT THE WOODLAND
REFLECTING FOUNTAIN PLAZA AREA AS SHOWN.
- VICTOR STANLEY METAL BENCH:
MODEL # CR-196 (6), BLACK FINISH, SURFACE
MOUNT PROVIDE (8) AS SHOWN.
- 30" CAFE TABLE: (BY OTHERS)
PROVIDE (18)
- CURVED BENCH AT FIRE PIT. PROVIDE (2)
WABASH VALLEY, YORK TOWN COLLECTION,
8" CURVED BENCH, SLATTED BLACK,
TEXTURE, SURFACE MOUNT OR PORTABLE.
- DRINKING FOUNTAIN: PROVIDE (1)
MOST DEPENDABLE FOUNTAINS
#440SM SS, ADA COMPLIANT, STAINLESS
PROVIDE HOSE BIBB OPTION.
- FOOTWASH/HOSEBIBB: PROVIDE (1)
MOST DEPENDABLE FOUNTAINS
#525 SM SS W/ HOSE BIBB, STAINLESS
- EMERGENCY TELEPHONE (TOLL FREE):
PROVIDE EMERGENCY PHONE (TOLL FREE) IN
WATER TIGHT ENCLOSURE PER DHEC
REQUIREMENTS. PROVIDE WEATHER RESISTANT
PHYSICAL ADDRESS OF POOL AND DISPLAY AT
PHONE. PROVIDE SUBMITTAL FOR PHONE AND
DISPLAY FOR APPROVAL PRIOR TO INSTALLATION.
- BIKE RACKS:
BELSON OUTDOORS GROUND LOOP BIKE RACK
MODEL # SBR8, TEXTURE: BLACK, SURFACE MOUNT.
- POOL SHOWER: PROVIDE (1)
MOST DEPENDABLE FOUNTAINS #565 SM SS,
STAINLESS, ADA ACCESSIBLE, W/ HOSE BIBB.
- POOL SIGNAGE:
SEE SITE PLAN FOR LOCATION AND TYPES
- EMERGENCY POOL SHUTOFF:
SEE POOL PLANS

- GENERAL CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE
 - ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
 - THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
 - DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
 - CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.



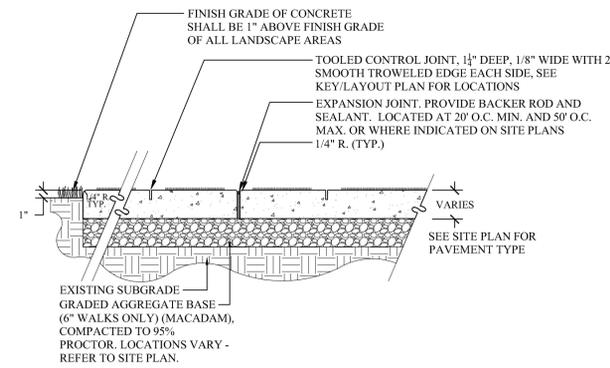
SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY
BY SURVEYING CONSULTANTS. FILE 14014 TA1.dwg, DATED
FEBRUARY 26, 2014.
PLAN IS SUBJECT TO CHANGE.

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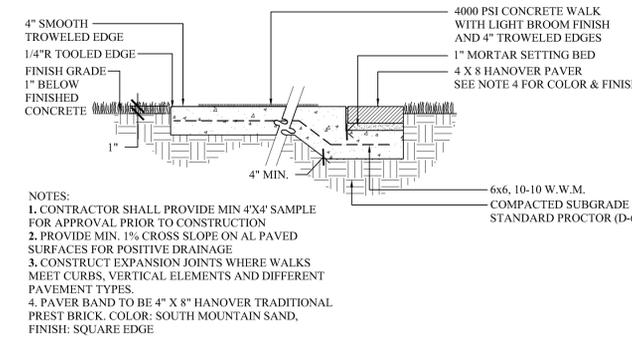
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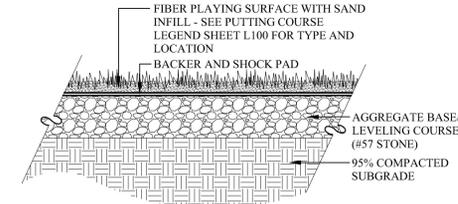
DATE
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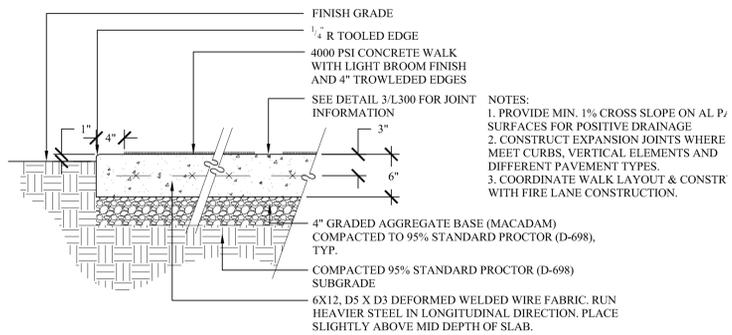
3 CONTROL & EXPANSION JOINTS
L300 SCALE: 1" = 1'-00"



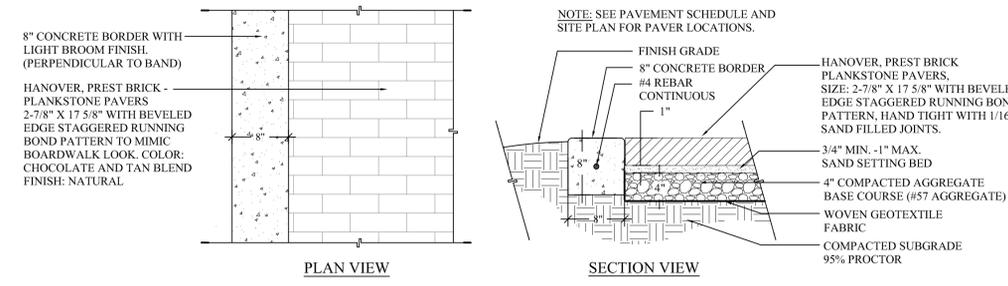
6 DECORATIVE PAVER BANDING
L300 SCALE: 1" = 1'-00"



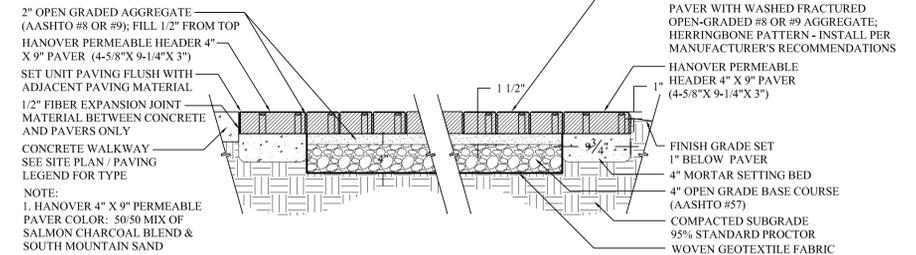
9 PUTTING GREEN
L300 SCALE: 1 1/2" = 1'-00"



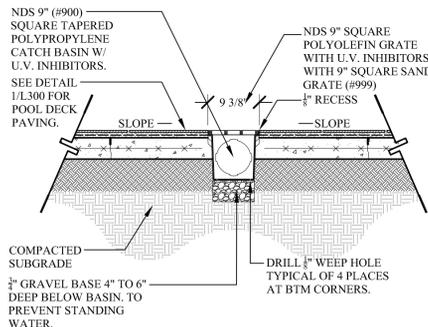
2 6" CONCRETE WALK
L300 SCALE: 1" = 1'-00"



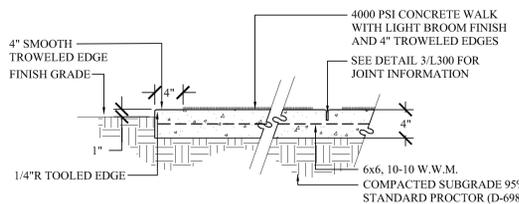
5 DECORATIVE PLANK PAVERS WITH BANDING
L300 SCALE: 1" = 1'-00"



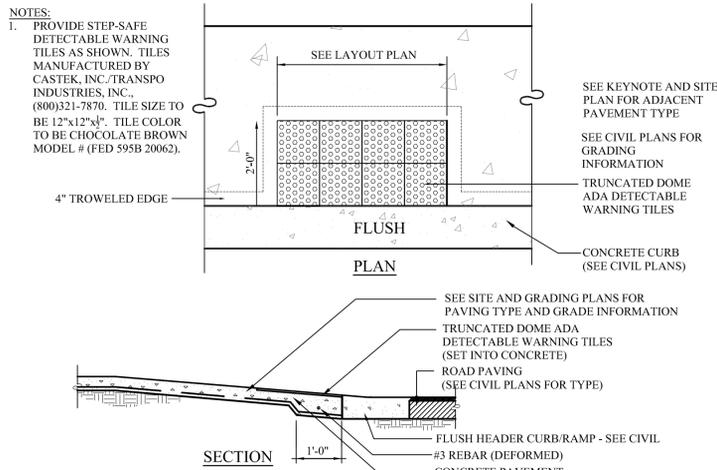
8 PERMEABLE PAVING (PEDESTRIAN)
L300 SCALE: 1" = 1'-00"



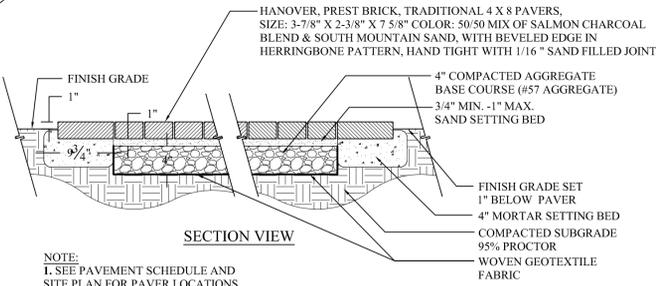
11 9" POOL DECK DRAIN
L300 SCALE: 3/4" = 1'-00"



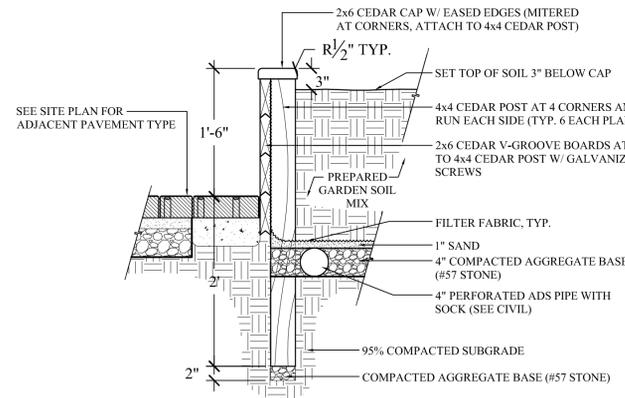
1 4" CONCRETE WALK
L300 SCALE: 1" = 1'-00"



4 ADA DOME PAVERS
L300 SCALE: 1/2" = 1'-00"

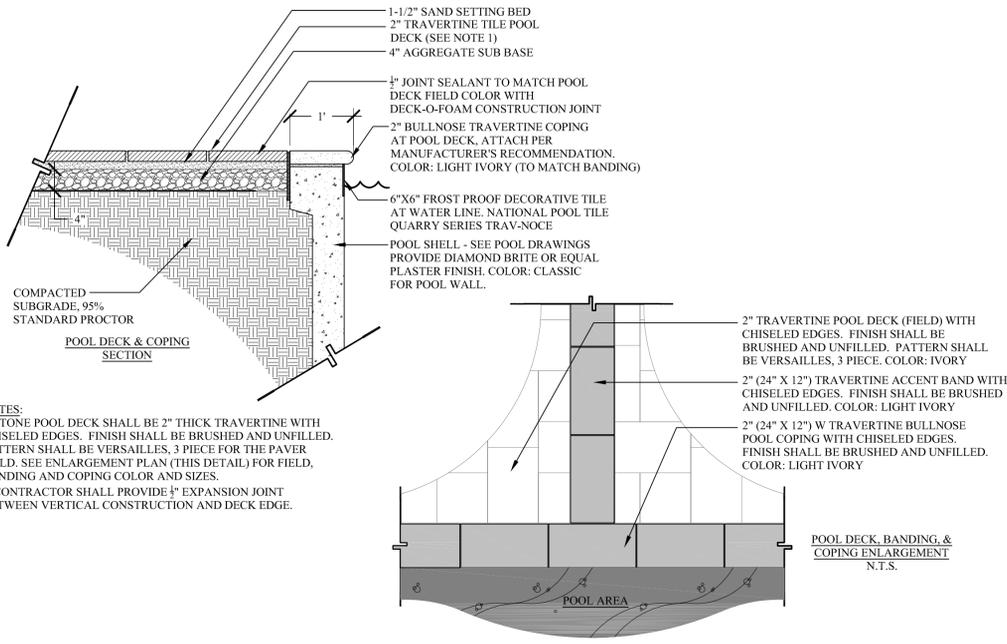


7 SPECIALTY PAVING (PEDESTRIAN)
L300 SCALE: 1" = 1'-00"

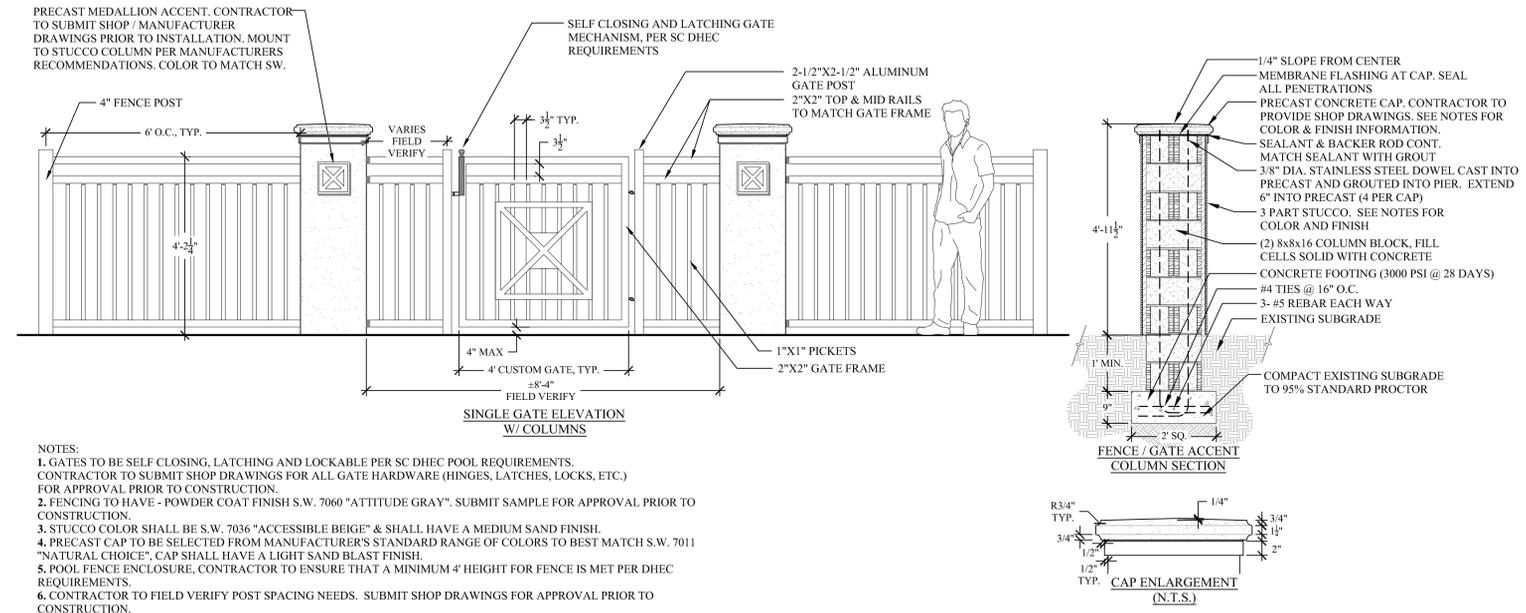


10 RAISED GARDEN PLANTER
L300 SCALE: 1" = 1'-00"

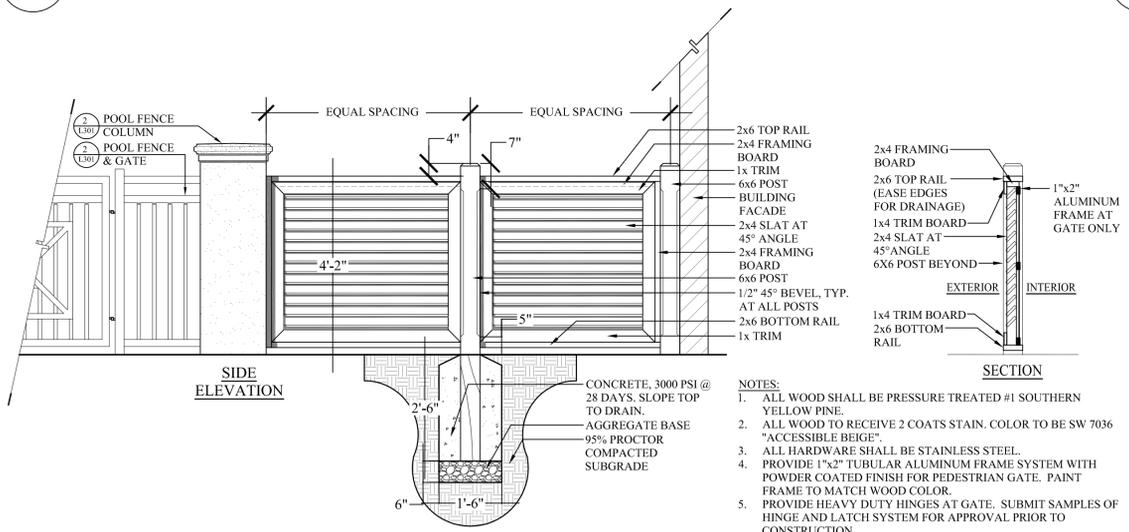
12 BLANK
L300 SCALE:



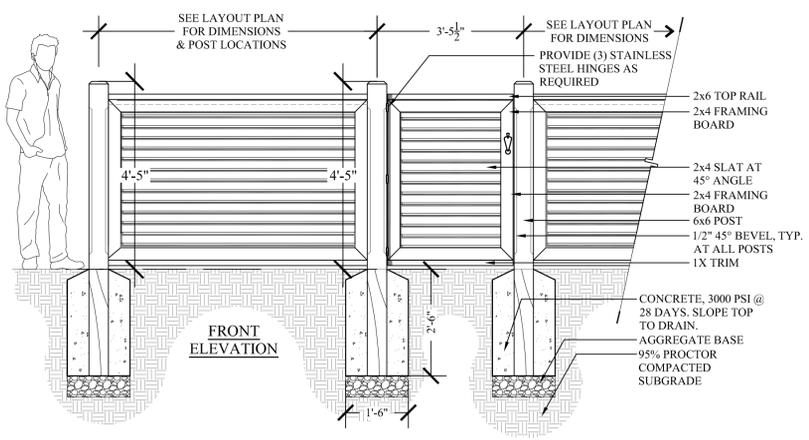
1 TRAVERTINE POOL DECK & COPING
 L301 SCALE: 3/4" = 1'-00"



2 POOL FENCING WITH COLUMNS
 L301 SCALE: 1/2" = 1'-00"



3 POOL EQUIPMENT ENCLOSURE
 L301 SCALE: 1/2" = 1'-00"



4 BLANK
 L301 SCALE:

5 BLANK
 L301 SCALE:

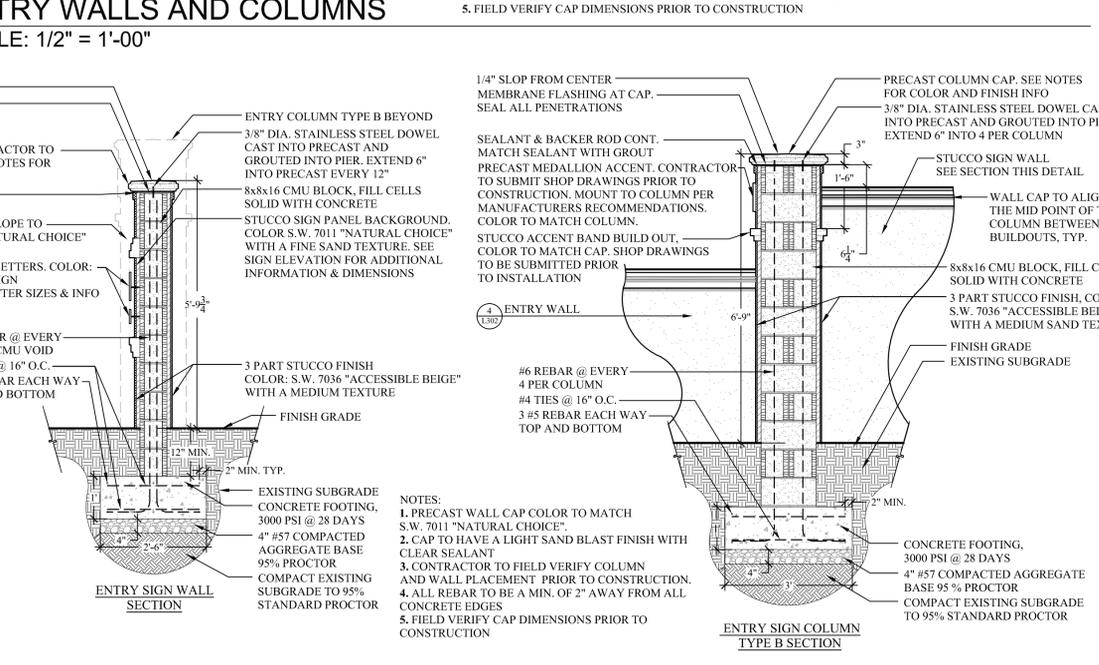
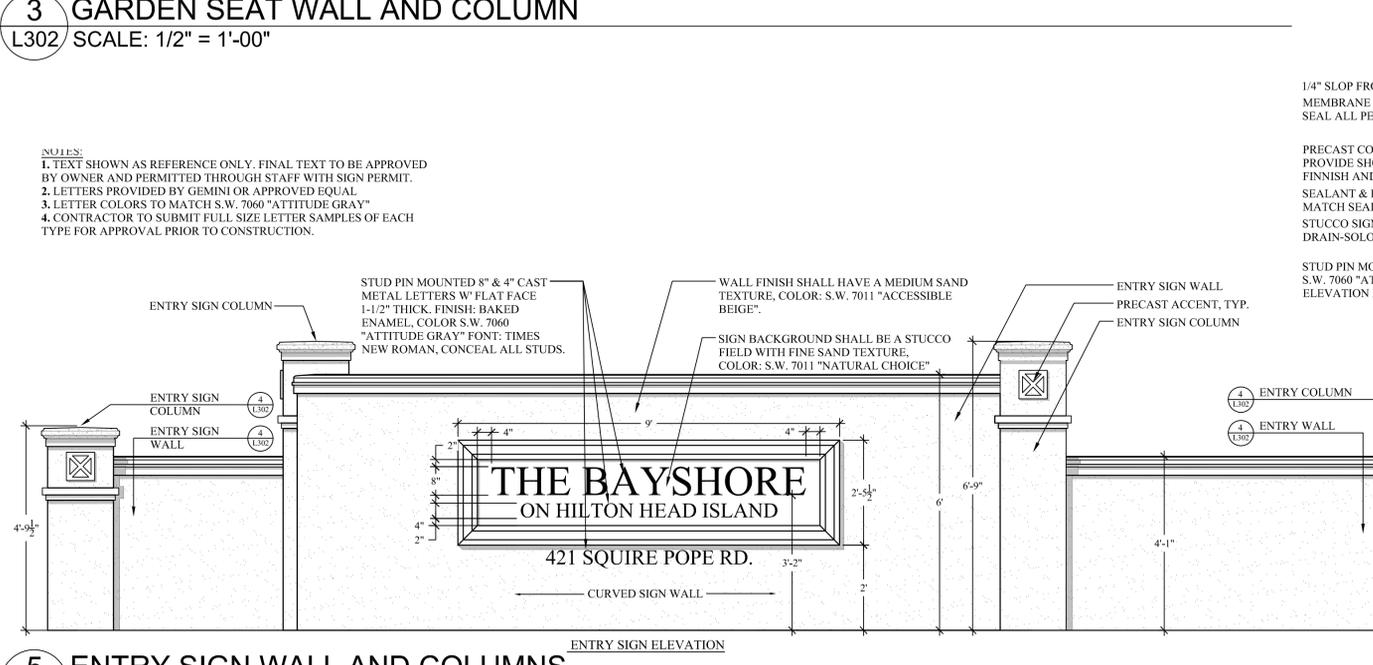
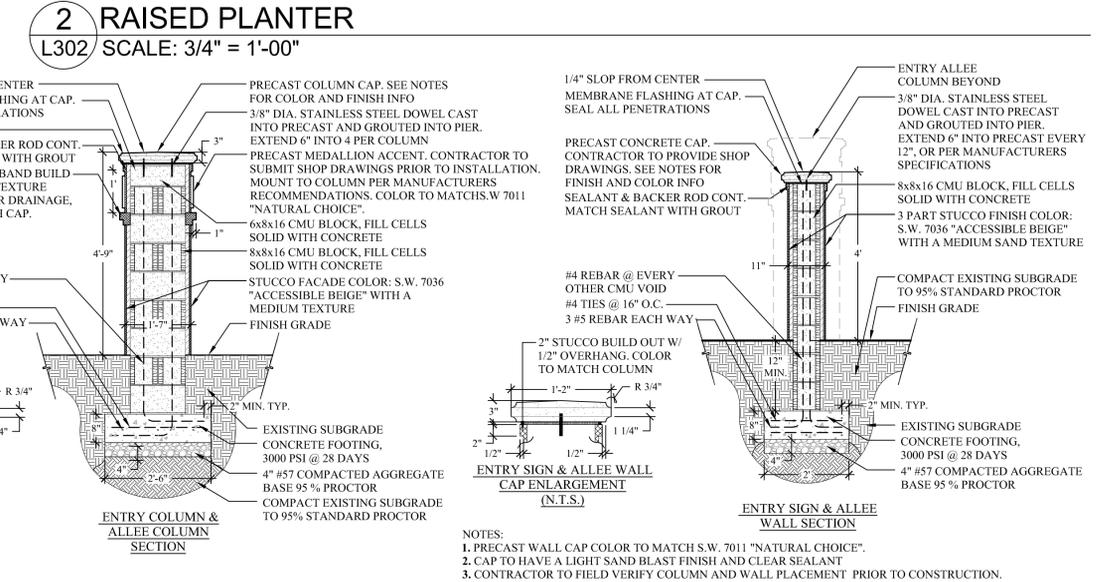
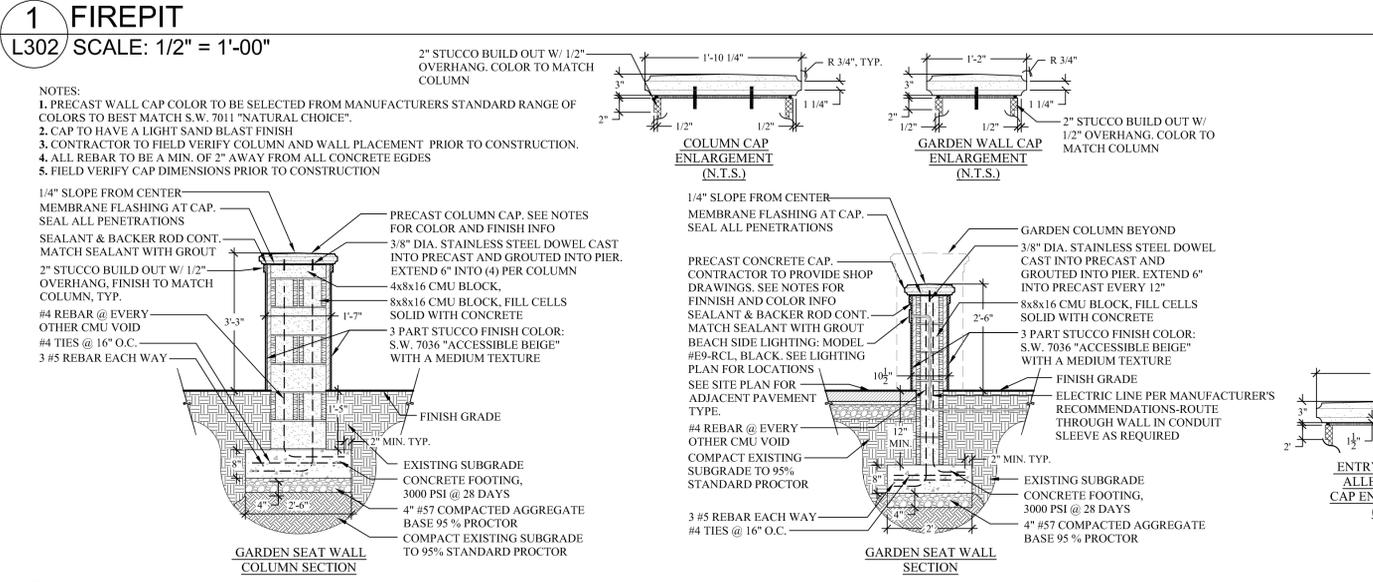
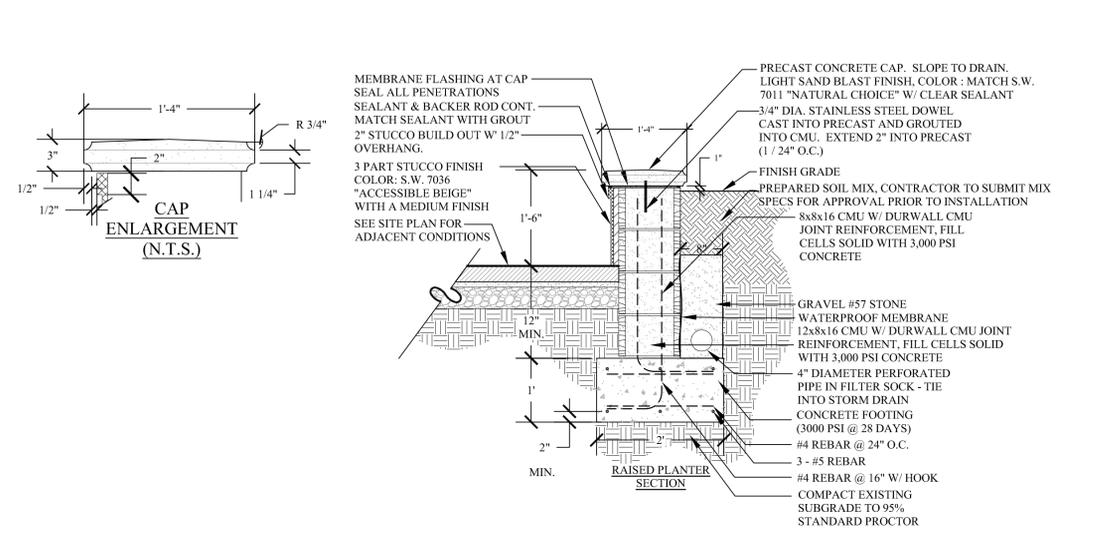
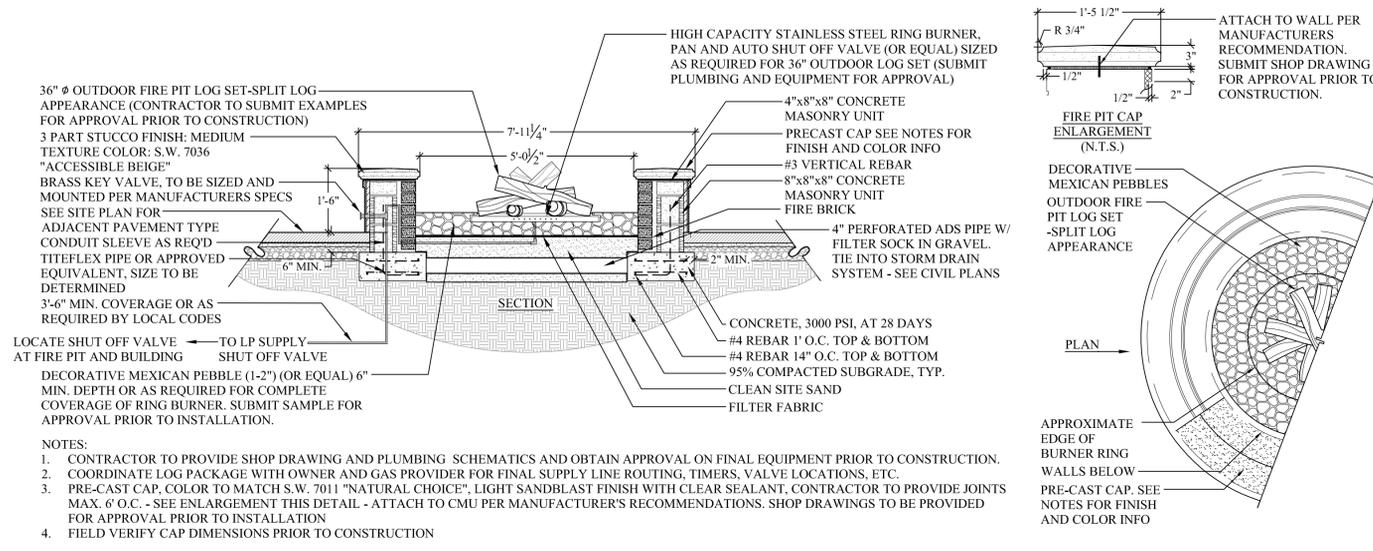
6 BLANK
 L301 SCALE:

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 BH
 CHECKED BY:
 TG

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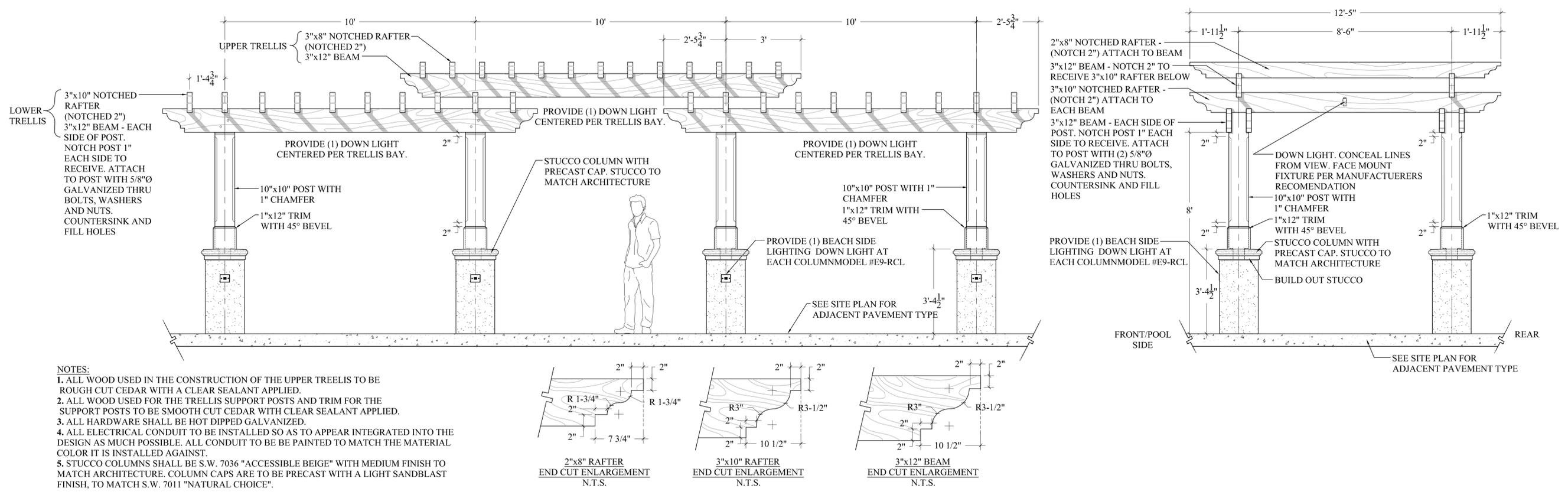
DATE: 4/28/2015
PROJECT NUMBER: 01-14028
SHEET TITLE: Site Details

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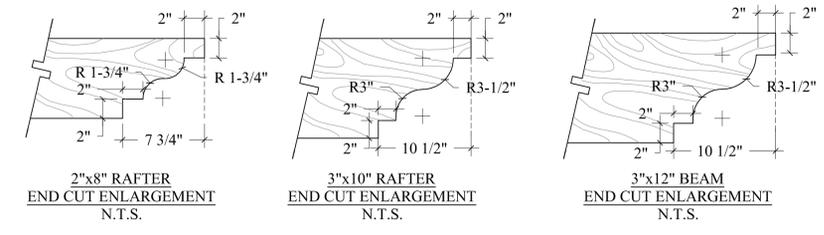
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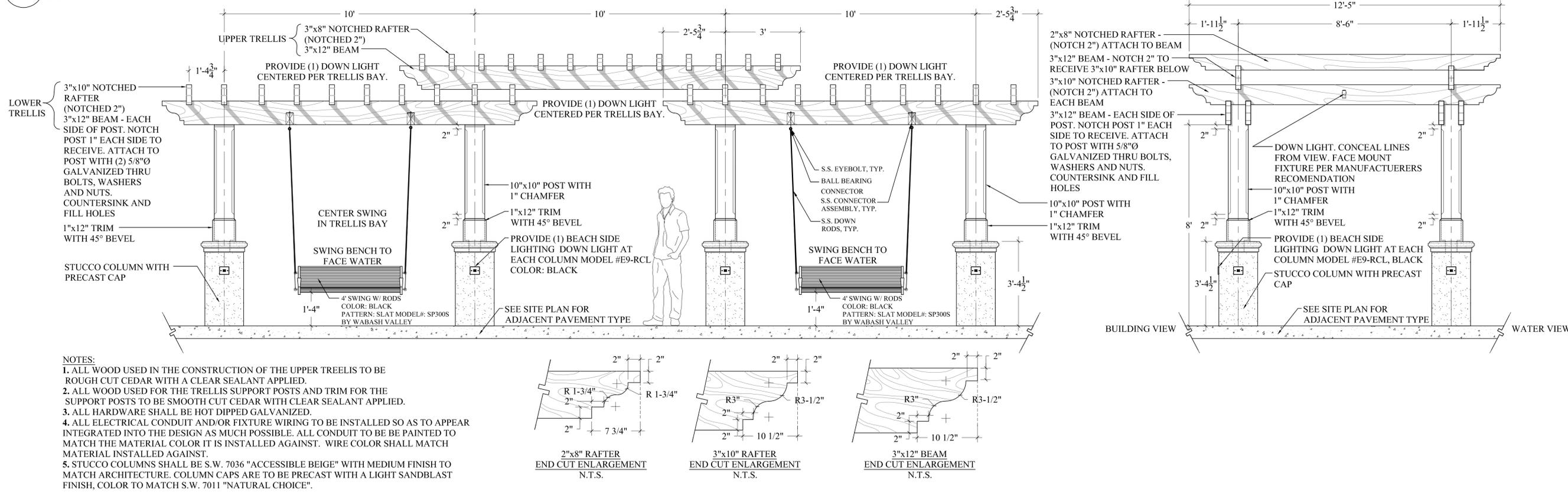
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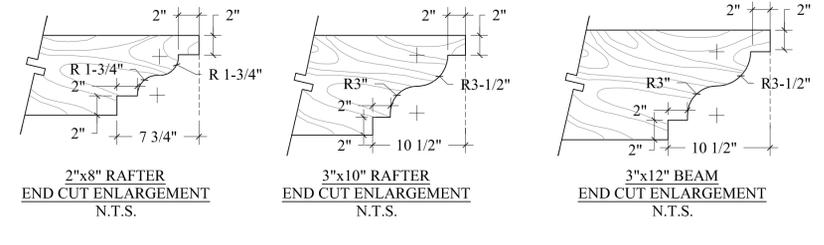
- NOTES:
1. ALL WOOD USED IN THE CONSTRUCTION OF THE UPPER TRELLIS TO BE ROUGH CUT CEDAR WITH A CLEAR SEALANT APPLIED.
 2. ALL WOOD USED FOR THE TRELLIS SUPPORT POSTS AND TRIM FOR THE SUPPORT POSTS TO BE SMOOTH CUT CEDAR WITH CLEAR SEALANT APPLIED.
 3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
 4. ALL ELECTRICAL CONDUIT TO BE INSTALLED SO AS TO APPEAR INTEGRATED INTO THE DESIGN AS MUCH AS POSSIBLE. ALL CONDUIT TO BE PAINTED TO MATCH THE MATERIAL COLOR IT IS INSTALLED AGAINST.
 5. STUCCO COLUMNS SHALL BE S.W. 7036 "ACCESSIBLE BEIGE" WITH MEDIUM FINISH TO MATCH ARCHITECTURE. COLUMN CAPS ARE TO BE PRECAST WITH A LIGHT SANDBLAST FINISH, TO MATCH S.W. 7011 "NATURAL CHOICE".



1 POOL TRELLIS
L303 SCALE: 1/2" = 1'-00"



- NOTES:
1. ALL WOOD USED IN THE CONSTRUCTION OF THE UPPER TRELLIS TO BE ROUGH CUT CEDAR WITH A CLEAR SEALANT APPLIED.
 2. ALL WOOD USED FOR THE TRELLIS SUPPORT POSTS AND TRIM FOR THE SUPPORT POSTS TO BE SMOOTH CUT CEDAR WITH CLEAR SEALANT APPLIED.
 3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
 4. ALL ELECTRICAL CONDUIT AND/OR FIXTURE WIRING TO BE INSTALLED SO AS TO APPEAR INTEGRATED INTO THE DESIGN AS MUCH AS POSSIBLE. ALL CONDUIT TO BE PAINTED TO MATCH THE MATERIAL COLOR IT IS INSTALLED AGAINST. WIRE COLOR SHALL MATCH MATERIAL INSTALLED AGAINST.
 5. STUCCO COLUMNS SHALL BE S.W. 7036 "ACCESSIBLE BEIGE" WITH MEDIUM FINISH TO MATCH ARCHITECTURE. COLUMN CAPS ARE TO BE PRECAST WITH A LIGHT SANDBLAST FINISH, COLOR TO MATCH S.W. 7011 "NATURAL CHOICE".



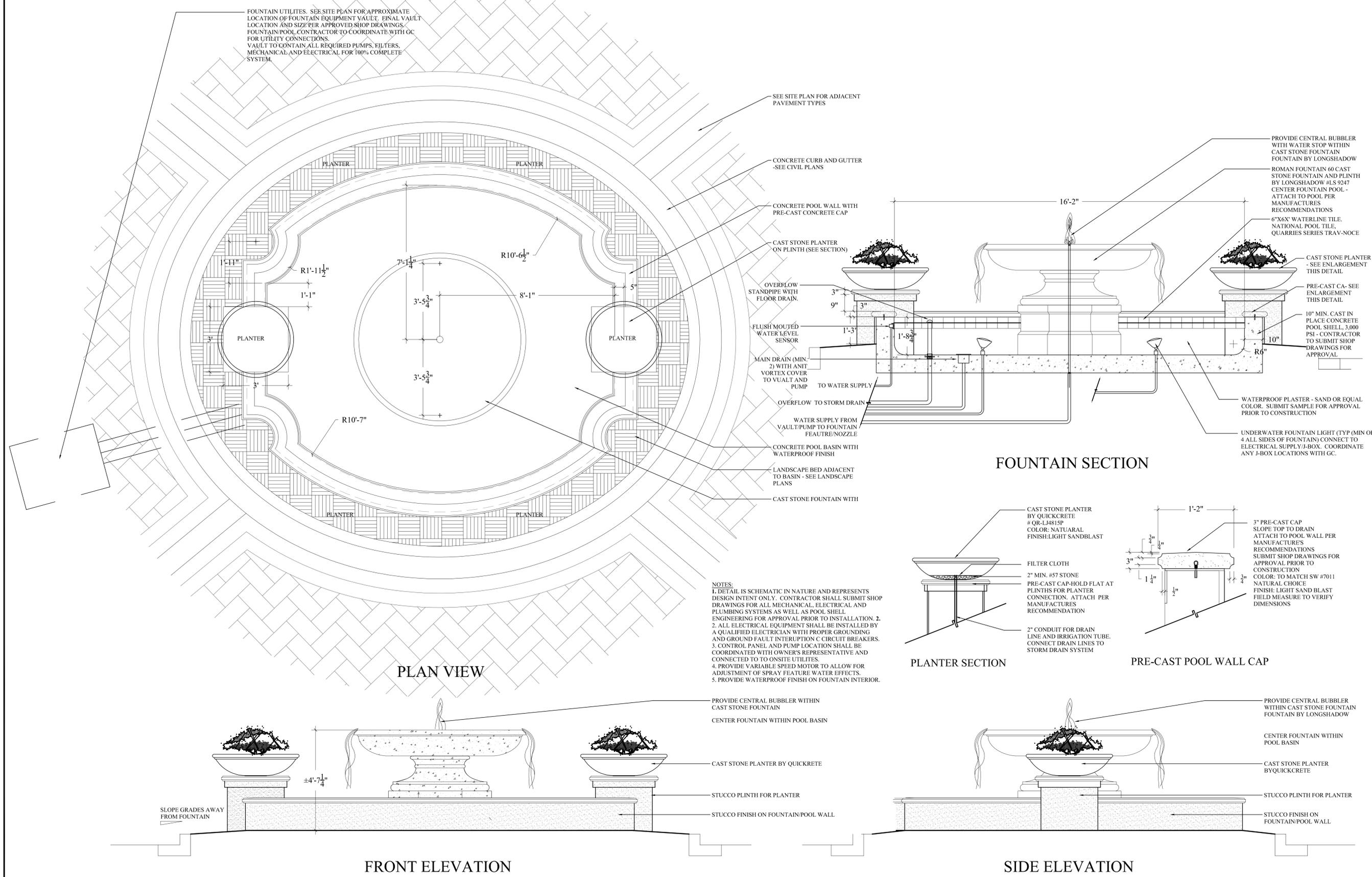
2 RIVERSIDE TRELLIS
L303 SCALE: 1/2" = 1'-00"

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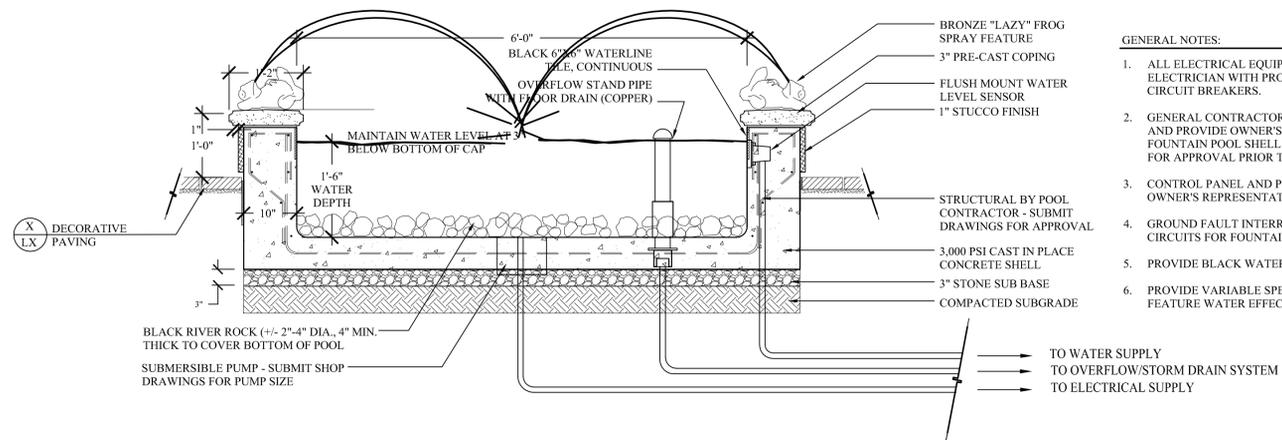
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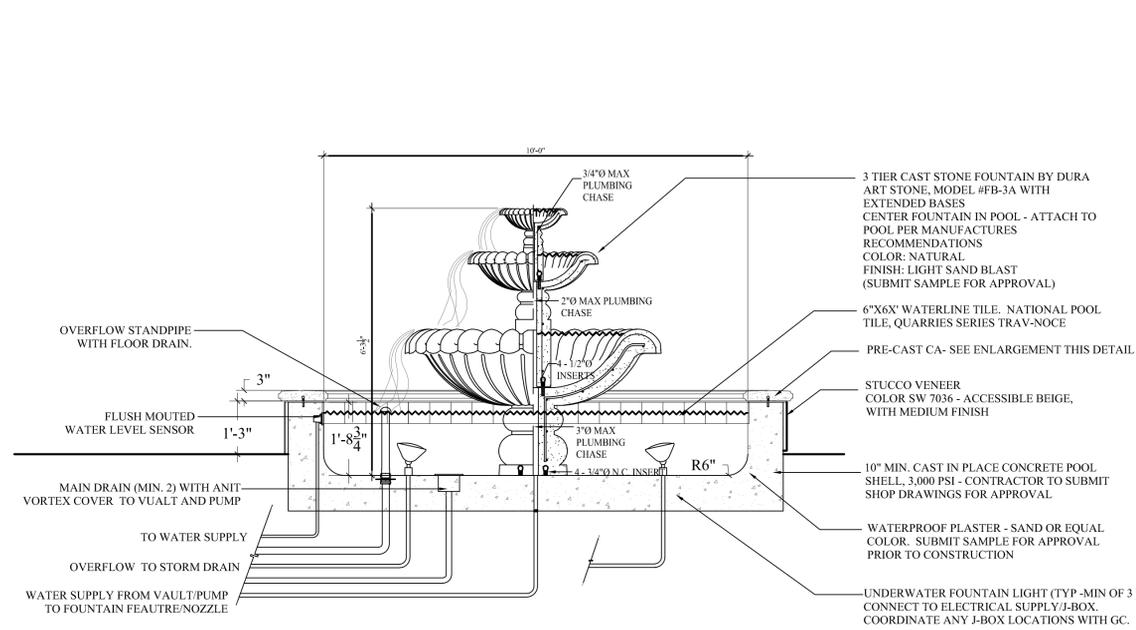


1 SCHEMATIC ENTRY ALLEE FOUNTAIN
L304 SCALE: 1/2" = 1'-00"

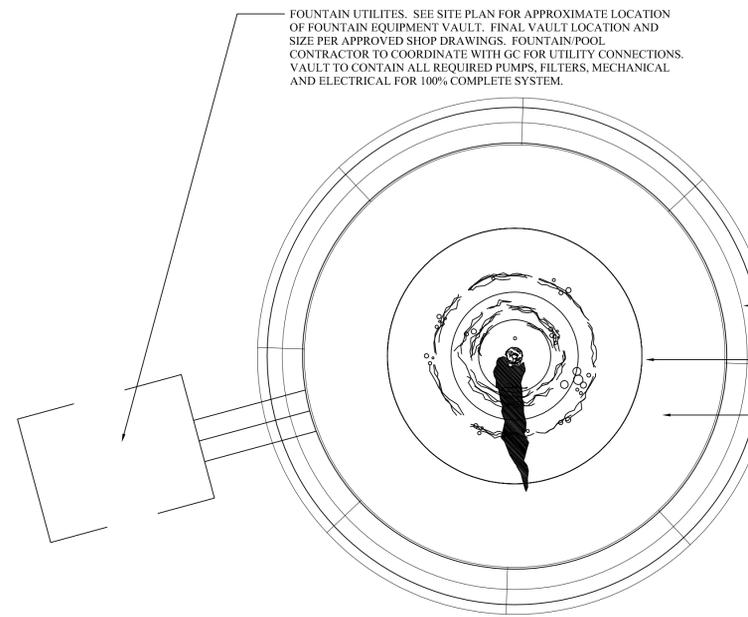


- GENERAL NOTES:
1. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED BY QUALIFIED ELECTRICIAN WITH PROPER GROUNDING AND GROUND FAULT INTERRUPTION CIRCUIT BREAKERS.
 2. GENERAL CONTRACTOR SHALL COORDINATE WITH POOL SUBCONTRACTOR AND PROVIDE OWNER'S REPRESENTATIVE WITH SHOP DRAWINGS OF FOUNTAIN POOL SHELL ENGINEERING AND ALL MECHANICAL EQUIPMENT FOR APPROVAL PRIOR TO INSTALLATION OF FOUNTAIN.
 3. CONTROL PANEL AND PUMP LOCATION SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE.
 4. GROUND FAULT INTERRUPTERS SHALL BE PROVIDED ON ALL ELECTRICAL CIRCUITS FOR FOUNTAIN LIGHTING AND MECHANICS.
 5. PROVIDE BLACK WATERPROOF FINISH ON FOUNTAIN INTERIOR
 6. PROVIDE VARIABLE SPEED MOTOR TO ALLOW FOR ADJUSTMENT OF SPRAY FEATURE WATER EFFECTS.

1 SCHEMATIC WOODLAND REFLECTING FOUNTAIN
L305 SCALE: 3/4" = 1'-00"

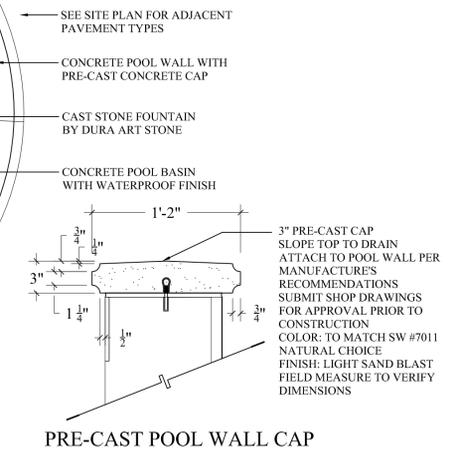


FOUNTAIN SECTION



PLAN VIEW

- NOTES:
1. DETAIL IS SCHEMATIC IN NATURE AND REPRESENTS DESIGN INTENT AND AESTHETICS ONLY. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AS WELL AS POOL SHELL ENGINEERING FOR APPROVAL PRIOR TO INSTALLATION.
 2. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED BY A QUALIFIED ELECTRICIAN WITH PROPER GROUNDING AND GROUND FAULT INTERRUPTION CIRCUIT BREAKERS.
 3. CONTROL PANEL AND PUMP LOCATION SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE AND CONNECTED TO ON-SITE UTILITIES.
 4. PROVIDE VARIABLE SPEED MOTOR TO ALLOW FOR ADJUSTMENT OF SPRAY FEATURE WATER EFFECTS.
 5. PROVIDE WATERPROOF FINISH ON FOUNTAIN INTERIOR.



PRE-CAST POOL WALL CAP

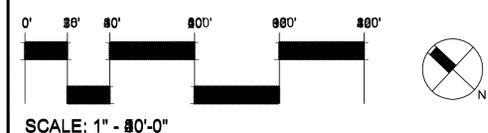
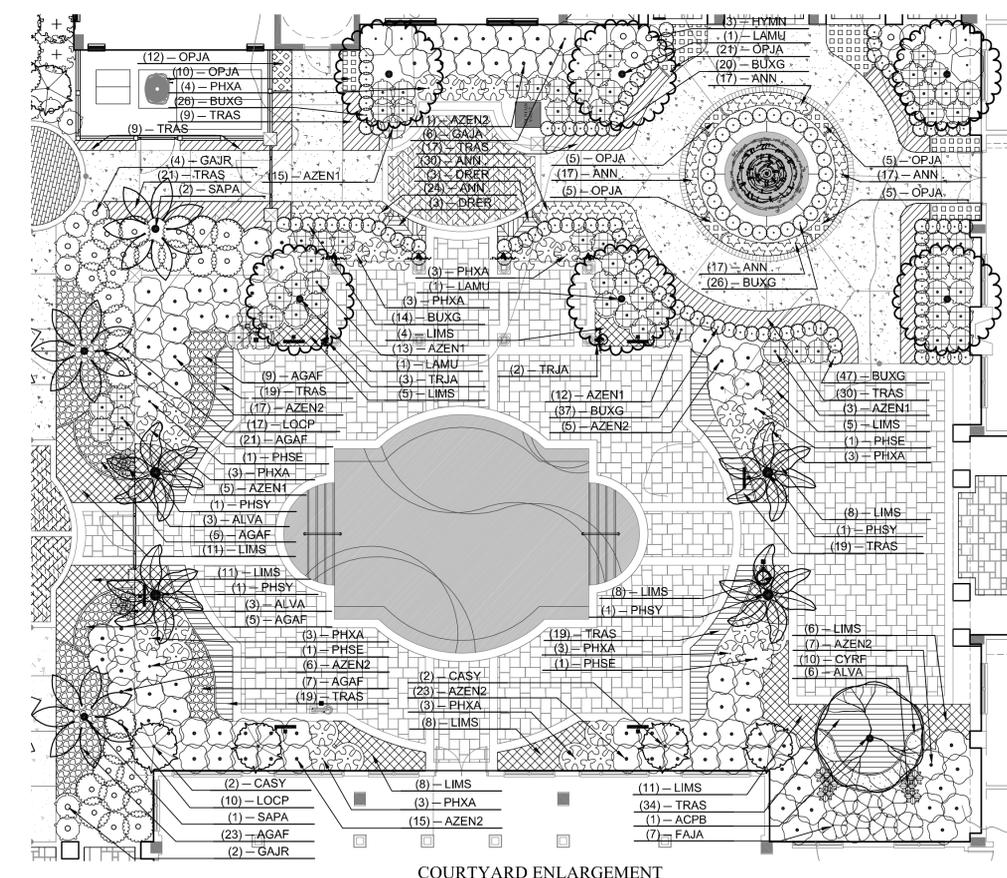
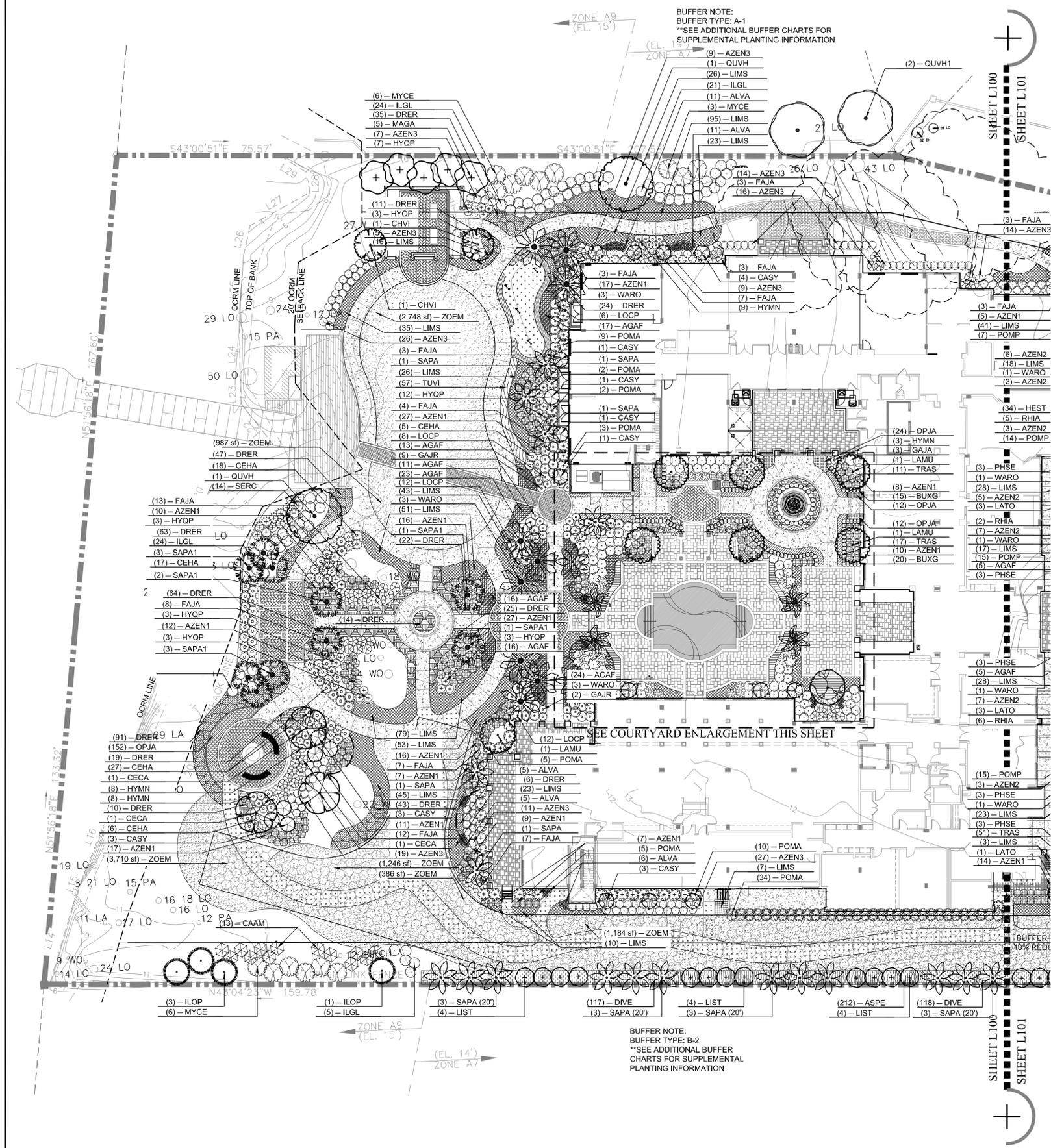
2 SCHEMATIC FORMAL GARDEN FOUNTAIN
L305 SCALE: 1/2" = 1'-00"

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SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE 14014 TA1.dwg, DATED FEBRUARY 26, 2014. PLAN IS SUBJECT TO CHANGE.

BUFFER NOTE:
BUFFER TYPE: B-2
**SEE ADDITIONAL BUFFER CHARTS FOR SUPPLEMENTAL PLANTING INFORMATION

BUFFER NOTE:
BUFFER TYPE: A-1
**SEE ADDITIONAL BUFFER CHARTS FOR SUPPLEMENTAL PLANTING INFORMATION

GENERAL PLANTING & IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, HYDRO-SEED AND PLANTING BEDS. SEE IRRIGATION PLAN FOR DETAILS.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES. MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH. SEE PLANS FOR LOCATIONS.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH. SEE PLANS FOR LOCATIONS.
- TRUNKS SHALL BE UNDAUNAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNER'S CHOICE FOR SEASON OF INSTALLATION.
- WARRANTY EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.

DRAWN BY: JIB/BH
CHECKED BY: TG

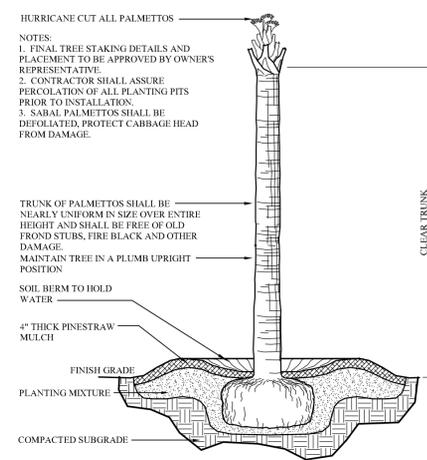
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#	REVISION	DATE	BY

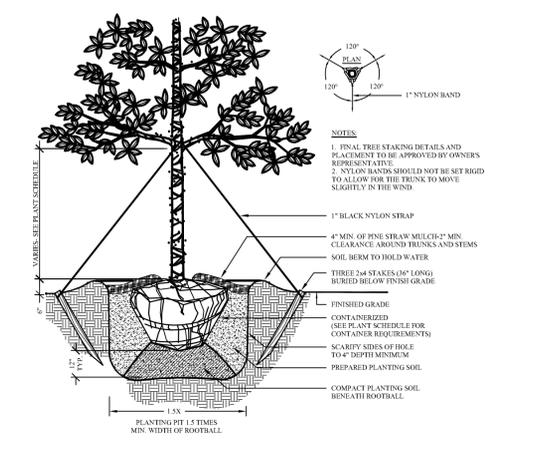
DATE: 3/25/2015
PROJECT NUMBER: 01-14028
SHEET TITLE

PLANT SCHEDULE

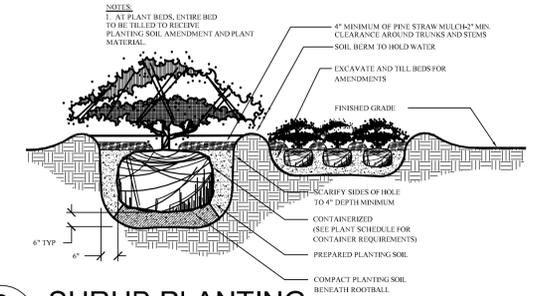
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
ACPB	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	B & B or Cont.	2 1/2" Cal		8'-10'	4'-5'	SPECIMEN
CECA	3	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud	B & B or Cont.	1.5" Cal		8'-10'	3'-4'	
CHVI	2	Chionanthus virginicus	White Fringetree	B & B			6'-8'		match in size and shape, single leader
ILOP	20	Ilex opaca 'Green Leaf'	Green Leaf American Holly	B & B or Cont.	2" Cal	8' - 10'	8'-10'	6'-8'	SPECIMEN
LAMU	7	Lagerstroemia x 'Muskegee'	Lavender Crape Myrtle Multi-Trunk	B & B or Cont.	1.5" Cal		10'-12'	4'-5'	Single trunk/ Standard
LANA	12	Lagerstroemia x 'Natchez'	Crape Myrtle	B & B or Cont.	1.5" Cal		10'-12'	4'-5'	Min 3-5 canes
LATO	7	Lagerstroemia x 'Tonto'	Japanese Crape Myrtle Multi-Trunk	30 gal					
LIST	16	Liquidambar styraciflua 'Slender Silhouette'	Columnar Sweet Gum	B & B or Cont.	2 1/2" Cal		12'-14'	3'-4'	Strong central leader, 4' clear trunk
MAGA	5	Magnolia grandiflora 'Alta'	Alta Magnolia	B & B	2" Cal	10' Min.			Full to ground; SPECIMEN
QOUN	4	Quercus nuttallii	Nuttall Oak	B & B	2 1/2" Cal	10' Min.	12'-14'	4'-6'	Strong central leader
QUVHI	3	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B or Cont.	2 1/2" Cal				Strong central leader
QUVHI	18	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B or Cont.	5" Cal		16'-18'	8'-10'	5" caliper minimum, strong central leader; SPECIMEN
ULME	13	Ulmus parvifolia 'Emer II'	'Emer II' Allee Elm	B & B or Cont.	3" Cal		14'-16'	6'-8'	Full Crown
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
PHSY	10	Phoenix sylvestris	Sylvester Palm	B & B or Cont.			12'-14'	6'-8'	Specimen, 10' clear trunk
SAPA1	22	Sabal palmetto	Cabbage Palmetto	B & B or Cont.			16'-18'		Refoliated, smooth trunk
SAPA	31	Sabal palmetto	Cabbage Palmetto	B & B			16'-20'		Height varies unless noted, smooth trunk, hurricane cut (20' at SW property line)
WARO	14	Washingtonia robusta	Mexican Fan Palm	B & B			14' C.T.		Matched SPECIMENS
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD			REMARKS
ALVA	50	Alpinia zerumbet 'Variegata Dwarf'	Dwarf Variegated Ginger	3 gal					Full pot
AZEN1	302	Azalea x 'Robleif'	Azalea Encore Autumn Sundance TM	3 gal					Full pot
AZEN2	216	Azalea x 'Robleja'	Azalea Encore Autumn Sweetheart TM	3 gal					Full pot
AZEN3	206	Azalea x 'Roblev'	Azalea Encore Autumn Ivory	3 gal					Full pot
BUGX	202	Buxus x 'Green Mountain'	Boxwood	3 gal	12"-18"	10"-12"			Full pot
CAAM	13	Callicarpa americana	American Beautyberry	3 gal					Full pot
CAMM	24	Camellia sasanqua 'Mine-No-Yuki'	Camellia	7 gal	3'-4'	2'-3'			Full
CASY	21	Camellia sasanqua 'Yuletide'	Yuletide Camellia	B & B or Cont.	6' Min.	3'-4'			Multi Trunk Tree Form
CEHA	73	Cephalotaxus harringtonia prostrata	Prostrate Plum Yew	1 gal					full pot
CYRE	4	Cycas revoluta	Sago Palm	Cont.	3'-4'	3'-4'			Full, SPECIMEN
FAJA	83	Fatsia japonica	Japanese Fatsia	3 gal	36"	24"			SPECIMEN
GAJA	8	Gardenia jasminoides 'August Beauty'	Gardenia	3 gal					
GAJR	17	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	3 gal					
HYMN	31	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	3 gal					
HYQP	34	Hydrangea quercifolia 'Pee Wee'	Oakleaf Hydrangea	3 gal					
ILGL	180	Ilex glabra	Inkberry Holly	3 gal	24"-36"	18"-24"			
ILVO	18	Ilex vomitoria 'Pride of Houston'	Pride of Houston Yaupon	3 gal	24"-36"	18"-24"			
LOCP	131	Loropetalum chinense 'Purple Diamond'	Fringe Flower	3 gal	24"-36"	24"-36"			Full pot
MYCE	55	Myrica cerifera	Wax Myrtle	7 gal	30"-36"	20"-24"			
NEOH	69	Nerium oleander 'Hardy Red'	Hardy Red Oleander	7 gal	42"-48"	24"-36"			Full
PHSE	19	Philodendron selloum	Split Leaf Philodendron	3 gal	24"-36"	18"-24"			Full
PHXA	50	Philodendron selloum 'Xanadu'	Split Leaf Philodendron	3 gal					
POMA	171	Podocarpus macrophyllus	Japanese Yew	7 gal	36"-48"	30"			Full, matched
POMP	68	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	3 gal					
RHIA	27	Rhapiolepis indica 'Alba'	Alba Indian Hawthorn	3 gal	12"-18"	12"-18"			
ROSA	20	Rosa x 'Double Knockout'	Rose 'Radtko'	3 gal	12"-18"	12"-18"			Full Pot - Matched
SERC	65	Serenoa repens 'Cinerea'	Silver Saw Palmetto	7 gal	18"	18" - 20"			
TRJA	6	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	3 gal	24"-30"	12"-18"			STAKED
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
AGAF	304	Agapanthus africanus 'Storm Cloud'	Lily of the Nile	1 gal	12"-18"	12"-18"	24" o.c.	Full pot	
ANN .	342	Annuals .	Annuals	1 gal	12"-18"	12"-18"	12" o.c.	To be selected by owners representative	
ASPE	212	Aspidistra elatior	Cast Iron Plant	1 gal	12"-18"	8"-12"	18" o.c.	Full Pot	
CYRF	10	Cyrtomium falcatum	Holly Fern	3 gal	8"-12"	12"-18"	24" o.c.	Full pot	
DIVE	235	Diets vegeta	African Iris	1 gal	12"-18"	8"-12"	24" o.c.	Full pot	
DRER	504	Dryopteris erythrosora	Autumn Fern	1 gal			24" o.c.		
HEST	34	Hemerocallis stella D'oro	Daylily	1 gal	6" - 8"	6" - 8"	16" o.c.		
JUCP	45	Juniperus chinensis 'Parsonii'	Parsoni Juniper	1 gal		24-36"	36" o.c.	Full pot	
LIMS	1,310	Liriope muscari 'Super Blue'	Lily Turf	1 gal	12"-14"	6"-8"	24" o.c.	Full pot	
OPJA	263	Ophiopogon japonicus	Mondo Grass	4"	4"-6"	4"	12" o.c.	Full pot	
TRAS	2,324	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal	18"-20"	12-24"	18" o.c.		
TUVI	57	Tulbaghia violacea	Society Garlic	1 gal			18" o.c.		
MULCH	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
PIN MUL	57,050 sf	Pinestraw Mulch	Mulch					4" min. depth	
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
ZOEM	18,137 sf	Zoysia japonica 'Empire'	Korean Grass						



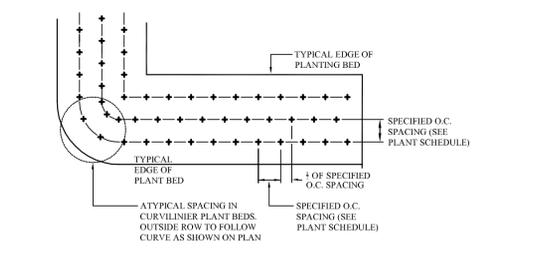
1 PALM TREE
L404 SCALE: N.T.S.



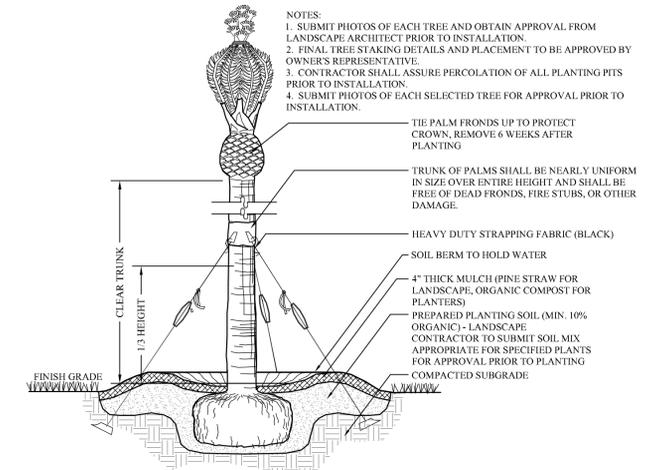
2 SHADE TREE
L404 SCALE: N.T.S.



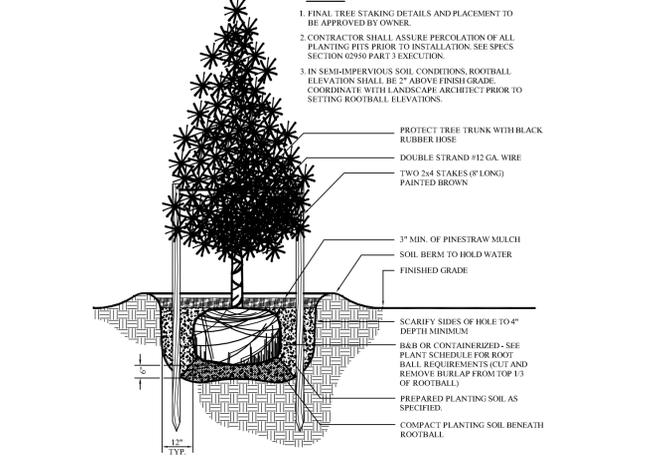
3 SHRUB PLANTING
L404 SCALE: N.T.S.



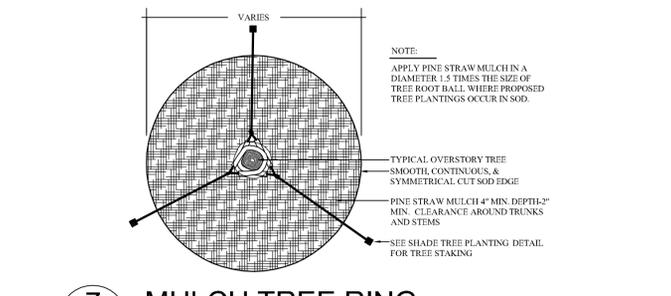
4 GROUNDCOVER SPACING
L404 SCALE: N.T.S.



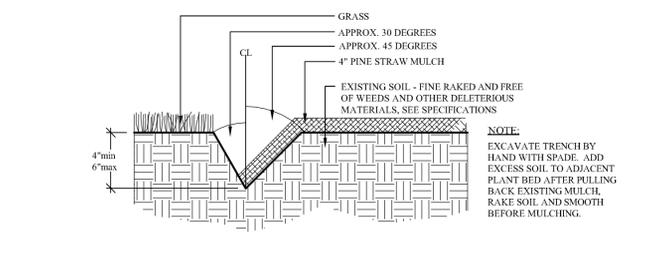
5 SPECIMEN PALM
L404 SCALE: N.T.S.



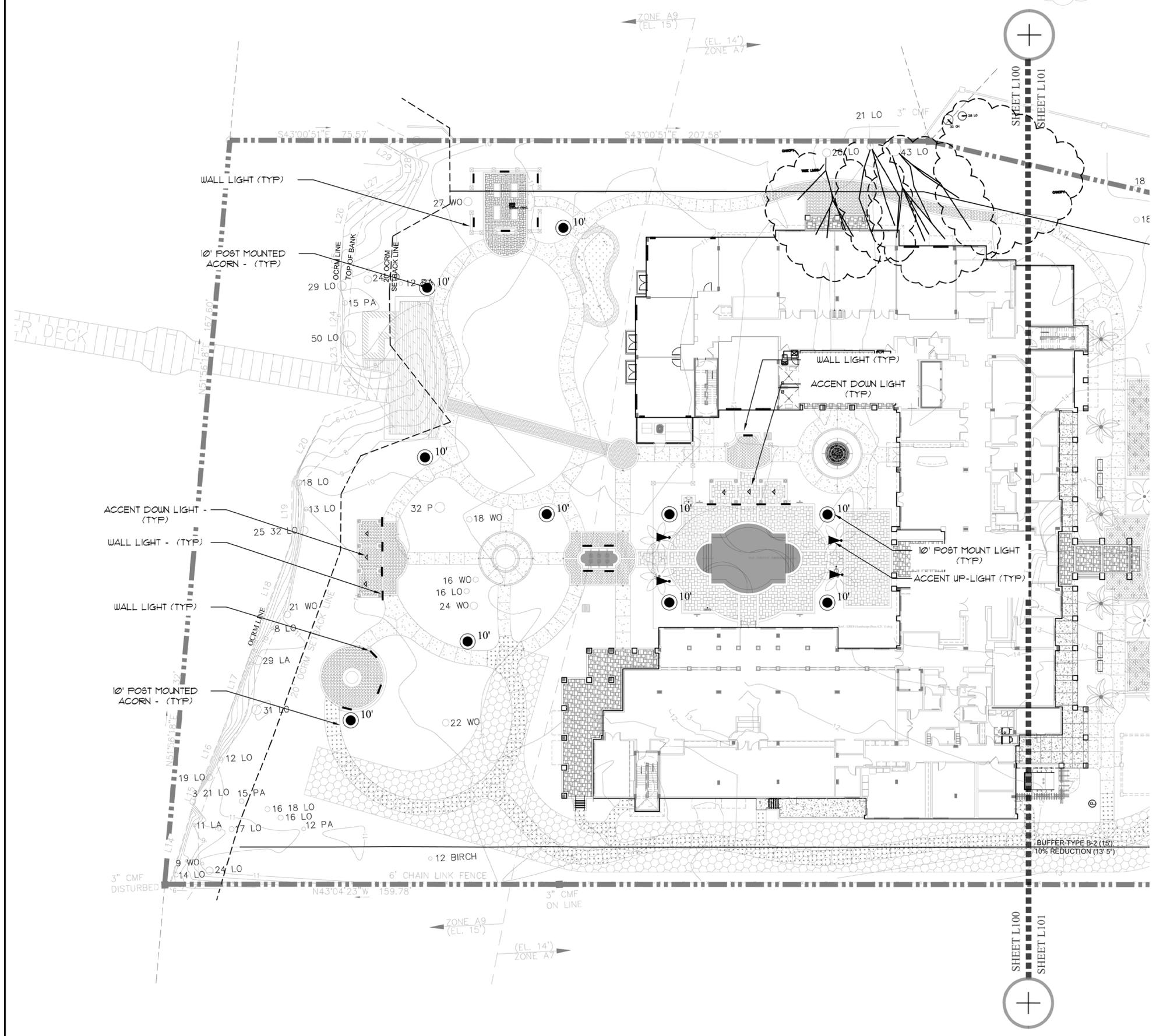
6 PINE TREE
L404 SCALE: N.T.S.



7 MULCH TREE RING
L404 SCALE: N.T.S.



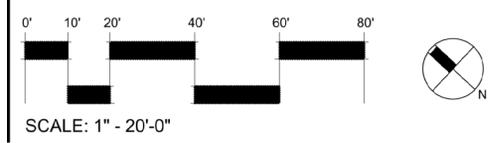
8 LANDSCAPE EDGE
L404 SCALE: N.T.S.



CONCEPTUAL LIGHTING SCHEDULE

NO. REQ'D.	SYMBOL	FIXTURE/MANUFACT./CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
6	☀ B	POST MOUNTED LANTERN STERNBERG LIGHTING TORN SQUARE MODEL AB80ASR/SP/61417 TFP9-3 FINISH:BLACK	150W P54	14' HT. ON 3" TAPERED / FLUTED ROUND POLE WITH DECORATIVE BASE FINISH:BLACK. W/ OPTIONAL GFI	PHOTOCELL
7	☀ A	POST MOUNTED LANTERN STERNBERG LIGHTING TORN SQUARE MODEL AB80ASR/SP/61417 TFP9-3 FINISH:BLACK	150W P54	14' HT. ON 3" TAPERED / FLUTED ROUND POLE WITH DECORATIVE BASE AND LADDER REST FINISH:BLACK. W/ OPTIONAL GFI	PHOTOCELL
10	☀ 10'	POST MOUNTED LANTERN STERNBERG LIGHTING TORN SQUARE MODEL AB80ASR/SP/61417 TFP9-3 FINISH:BLACK	100W P54	10' HT. ON 3" TAPERED / FLUTED ROUND POLE WITH DECORATIVE BASE FINISH:BLACK. W/ OPTIONAL GFI	PHOTOCELL
24	▲	ACCENT TREE UPLIGHT FOCUS INDUSTRIES BULLET MODEL # DL-38-AL-CL-BLT FINISH:BLACK TEXTURED	PAR 38 (150W MAX)	GROUND MOUNT ON 20" GROUND SPIKE PER MANUFACTURER'S RECOMMENDATIONS	TIMER / SWITCH
6	◊	TRELLIS ACCENT DOWNLIGHT MANUF. FOCUS INDUSTRIES WALL MOUNT MODEL # DL-38-AL-CL-BLT FINISH: BRASS	20W MR16 FL 12V	BEAM / SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS. INCLUDE REQUIRED TRANSFORMER(S)	TIMER / SWITCH
22	—	WALL MOUNTED STEPLYGHT BEACHSIDE LIGHTING MODEL #B-RCL BLACK FINISH	20W MR-16 HALOGEN	RECESSED WALL MOUNT PER MANUFACTURER'S RECOMMENDATIONS	TIMER / SWITCH
2	■	SIGN LIGHT FOCUS INDUSTRIES MODEL #S-38-CBT-BLT BLACK TEXTURED FINISH	2 x 15W CFL	GROUND MOUNT ON 20" GROUND SPIKE PER MANUFACTURER'S RECOMMENDATIONS	TIMER / PHOTOCELL

GENERAL SITE ELECTRICAL NOTES:
 1. QUANTITIES LISTED ON SCHEDULE INDICATE TOTAL QUANTITIES FOR THE SITE. SCHEDULE IS DUPLICATED ON SHEET SE-102D.
GENERAL SITE LIGHTING NOTES:
 1. THIS LIGHTING PLAN IS FOR LIGHTING FIXTURE LOCATIONS ONLY - WIRING DIAGRAMS, DETAILS AND INSTALLATION SPECIFICATIONS ARE BY ELECTRICAL ENGINEER.
 2. PROVIDE TIMER OR SWITCH CONTROLLED LIGHTING SYSTEMS USING FIXTURES AND LOCATIONS NOTED ON THIS PLAN. COORDINATE WITH OWNER'S REPRESENTATIVE FOR PREFERRED SWITCHING OPTIONS. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES AND SHALL MEET OR EXCEED THE NATIONAL ELECTRICAL CODE. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AND APPROVALS AS REQUIRED. SYSTEM SHALL BE GUARANTEED FOR 1 YEAR, PARTS AND LABOR, DUE TO FAILURE BASED ON FAULTY WORKMANSHIP OR EQUIPMENT FAILURE.
 3. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE AND ELECTRICAL ENGINEER FOR CONNECTION AND CIRCUITING TO EQUIPMENT/ELECTRICAL PANELS.
 4. THE INTENT OF THIS PLAN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING FOR PEDESTRIAN AND VEHICULAR FLOW AND LIGHTING OF SELECTED ARCHITECTURAL ELEMENTS. FINAL AIMING AND ADJUSTING SHALL BE MADE AT NIGHT.
 5. CONTRACTOR SHALL HAND DIG ANY TRENCHES FOR WIRE ADJACENT TO EXISTING TREES.



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE 14014 TA1.dwg, DATED FEBRUARY 26, 2014. PLAN IS SUBJECT TO CHANGE.

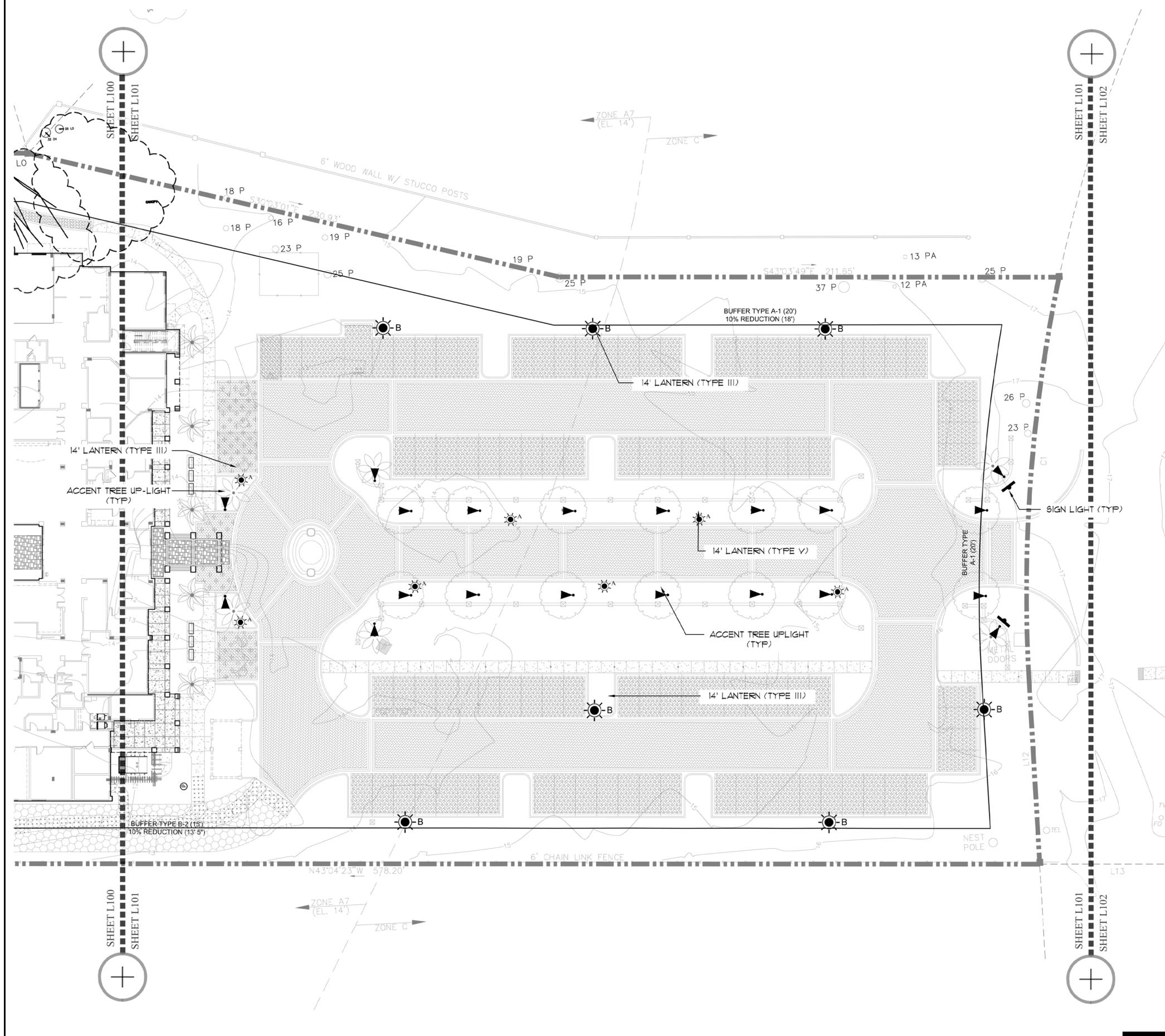
Bayshore Retirement Living
 Seabrook Road
 Hilton Head Island, SC 29928

LANDSCAPE CONSTRUCTION DOCUMENTS
BAYSHORE RETIREMENT LIVING
 ON HILTON HEAD ISLAND
 Hilton Head Island, South Carolina

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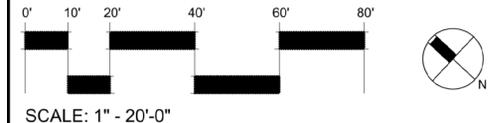
DATE
 4/28/2015
 PROJECT NUMBER
 01-14028
 SHEET TITLE
 Lighting Plan



CONCEPTUAL LIGHTING SCHEDULE

NO. REGD.	SYMBOL	FIXTURE/MANUFACT./CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
7		POST MOUNTED LANTERN STERNBERG LIGHTING TOUN SQUARE MODEL AB80A/R/S/P/61 14" TFP9-3 FINISH: BLACK	150W MH	14' HT. ON 3"Ø TAPERED / FLUTED ROUND POLE WITH DECORATIVE BASE FINISH: BLACK @ OPTIONAL GFI	PHOTOCELL
7		POST MOUNTED LANTERN STERNBERG LIGHTING TOUN SQUARE MODEL AB80A/R/S/P/61 14" TFP9-3 FINISH: BLACK	150W MH	14' HT. ON 3"Ø TAPERED / FLUTED ROUND POLE WITH DECORATIVE BASE AND LADDER REST FINISH: BLACK @ OPTIONAL GFI	PHOTOCELL
10		POST MOUNTED LANTERN STERNBERG LIGHTING TOUN SQUARE MODEL AB80A/R/S/P/61 14" TFP9-3 FINISH: BLACK	100W MH	10' HT. ON 3"Ø TAPERED / FLUTED ROUND POLE FINISH: BLACK @ OPTIONAL GFI	PHOTOCELL
24		ACCENT TREE UPLIGHT FOCUS INDUSTRIES BULLET MODEL # DL-36-NLACL-BLT FINISH: BLACK TEXTURED	PAR 38 (80W MAX)	GROUND MOUNT ON 3"Ø GROUND SPIKE PER MANUFACTURER'S RECOMMENDATIONS	TIMER / SWITCH
6		TRELLIS ACCENT DOWNLIGHT FOCUS INDUSTRIES WALL MOUNT MODEL # SL-16-DTR16-BRS FINISH: BRASS	20W MR16 FL 12V	BEAM / SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS, INCLUDE REQUIRED TRANSFORMERS	TIMER / SWITCH
22		WALL MOUNTED STEPLYGHT BEACHSIDE LIGHTING MODEL # W-16-CL-BLK FINISH: BLACK	20W MR-16 HALOGEN	RECESSED WALL MOUNT PER MANUFACTURER'S RECOMMENDATIONS	TIMER / SWITCH
2		SIGN LIGHT FOCUS INDUSTRIES BULLET MODEL # FL-76-CST-BLT BLACK TEXTURED FINISH	2 x 10W CFL	GROUND MOUNT ON 10" GROUND STAKE PER MANUFACTURER'S RECOMMENDATIONS	TIMER / PHOTOCELL

GENERAL SITE ELECTRICAL NOTES:
 1. QUANTITIES LISTED ON SCHEDULE INDICATE TOTAL QUANTITIES FOR THE SITE. SCHEDULE IS DUPLICATED ON SHEET SE-100.
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Bayshore Retirement Living
 Seabrook Road
 Hilton Head Island, SC 29928

LANDSCAPE CONSTRUCTION DOCUMENTS
BAYSHORE RETIREMENT LIVING
 ON HILTON HEAD ISLAND
 Hilton Head Island, South Carolina

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#	REVISION	DATE	BY

DATE
 4/28/2015
 PROJECT NUMBER
 01-14028
 SHEET TITLE
 Concept Lighting Plan

Wood+Partners Inc. **WPI**
 Landscape Architects
 Land Planners

PO Box 23549 Hilton Head Island, SC 29925
 843.681.6618 Fax 843.681.7086 www.woodandpartners.com

SHEET NUMBER
SE-101



Project No: 1415

Date: 04.28.2015

EAST ELEVATION

Final DRB Submission

THE BAYSHORE ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



GERALD GENE CURTIS
Architect



- Roof Bracket
- Trim Band
- Control Joint
- Base Stucco
- Shutter
- Balcony Railing



Shake Concrete Roof Tile
- Hanson
Onyx color



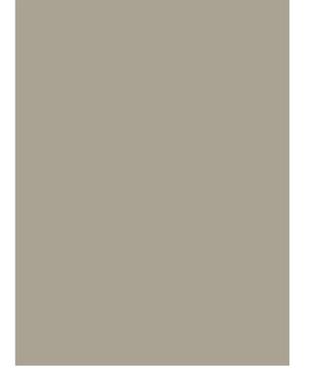
SW 7060
Attitude Gray:
Faux Wood: Pre-finished
Aluminum Brackets, Shutters,
Louvers, Railing, Trellis; Ptd.
Eifs Brackets, Eave Extensions,
Standing Seam Mtl Roof



SW 7036
Accessible Beige
Upper Stucco



SW 7011
Natural Choice
Precast; Ptd. Eifs Trim
Band; Ptd. Wood or Eifs
Fascia



SW 7045
Intellectual Gray
Base Stucco

Pre-finished Metal
Arched Canopy

- Trellis
- Upper Stucco
- Base Stucco



- Fascia Trim
- Brackets
- Balcony Railing
- Trim Band
- Precast Sill
- Control Joint





Shake Concrete Roof Tile
- Hanson
Onyx color

Stucco Sample
Medium Finish

SW 7036
Accessible Beige
Upper Stucco, Soffits

Stucco Sample
Sand Finish

SW 7060
Attitude Gray:
Faux Wood: Pre-finished
Aluminun Brackets, Shutters,
Louvers, Railng, Trellis; Ptd.
Eifs Brackets, Eave Extensions,
Standing Seam Mtl Roof

Olympic
Semi-Solid Stain
"Dark Ash"
Pine trim, Ceiling Trays,
Terraces, Entry Canopy

Stucco Sample
Sand Finish

SW 7011
Natural Choice
Precast; Ptd. Eifs Trim
Band; Ptd. Wood or Eifs
Fascia, Window Sills

PGT "White"
Windows and
Transoms

Stucco Sample
Medium Finish

Intellectual Gray

Project No: 1415 | Date: 04.28.2015

COLOR AND MATERIALS SAMPLE EXHIBIT

THE BAYSHORE ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina





THE BAYSHORE
ON HILTON HEAD ISLAND

NORTH COLOR ELEVATION

Project No: 1415

Date: 04.28.2015

Final DRB Submission

THE BAYSHORE ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



GERALD GENE CURTIS
Architect



THE BAYSHORE
ON HILTON HEAD ISLAND

SOUTH COLOR ELEVATION

Project No: 1415

Date: 04.28.2015

Final DRB Submission

THE BAYSHORE ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



GERALD GENE CURTIS
Architect



Project No: 1415

Date: 04.28.2015

EAST - VIEW (CLOSE) LOOKING SW

THE BAYSHORE ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



Final DRB Submission



Project No: 1415

Date: 04.28.2015

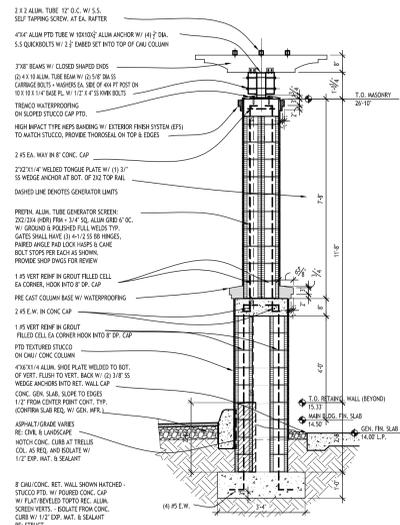
EAST - VIEW (CLOSE) LOOKING NW

THE BAYSHORE ON HILTON HEAD ISLAND

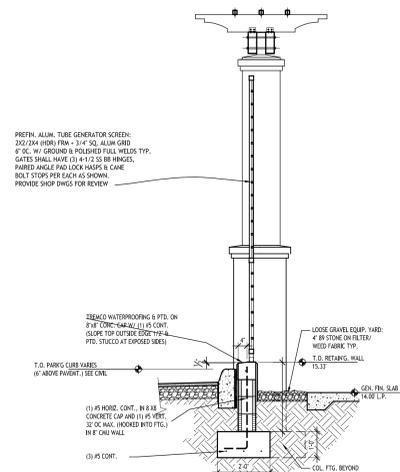
Hilton Head Island, South Carolina



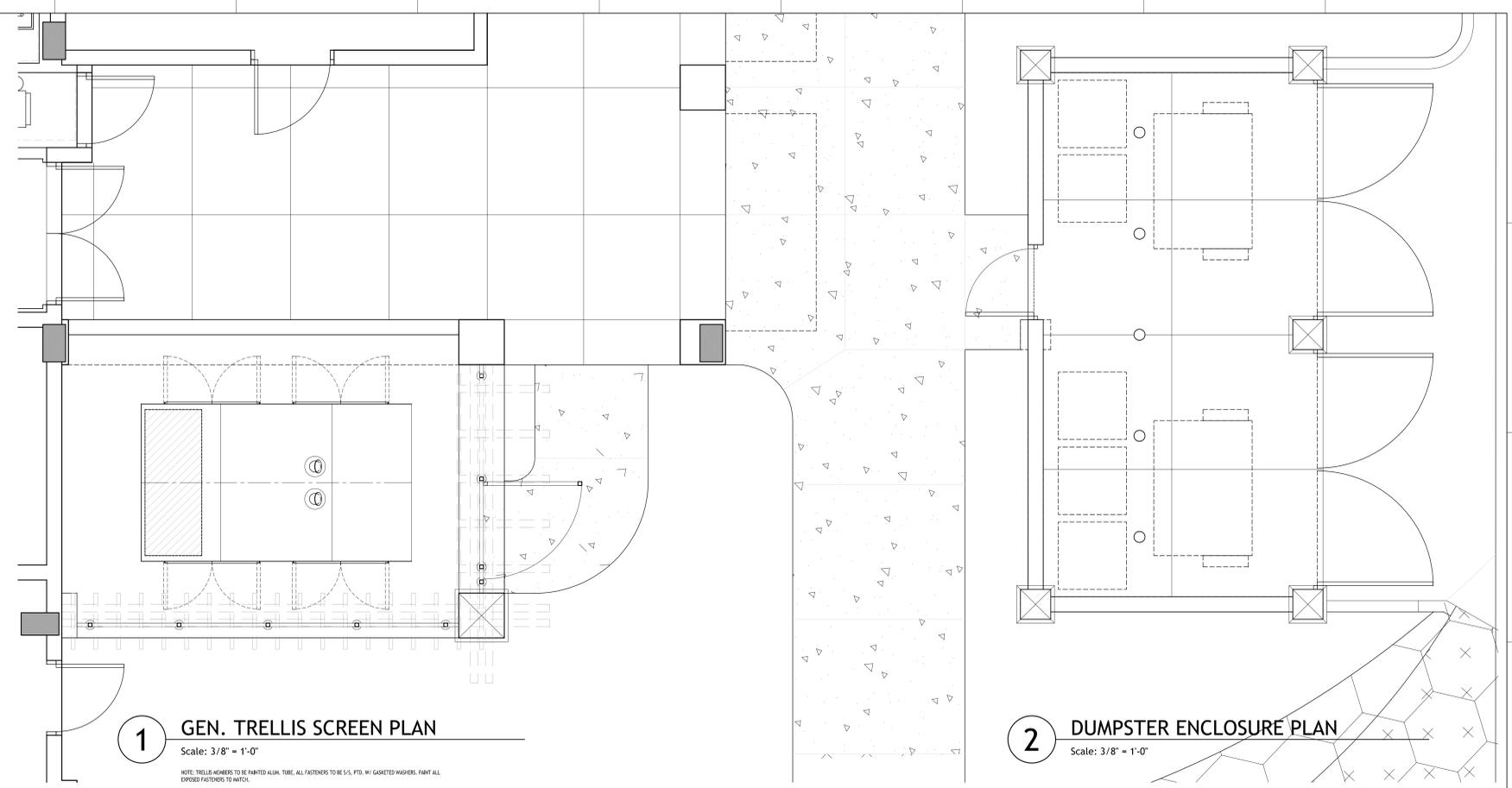
Final DRB Submission



7 GEN. TRELLIS COLUMN SECTION
Scale: 3/8" = 1'-0"

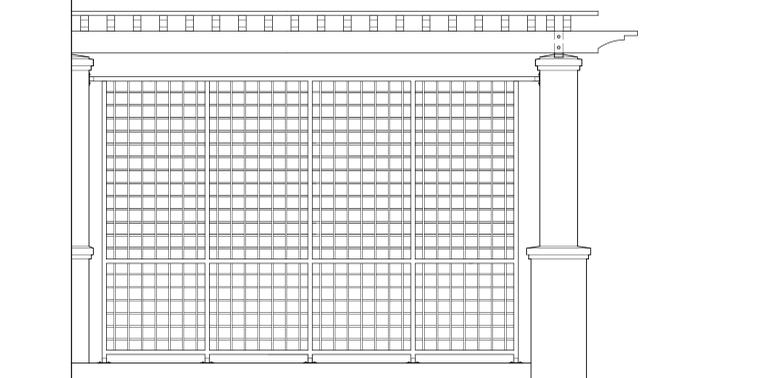


8 GEN. SCREEN/ WALL SECTION
Scale: 3/8" = 1'-0"

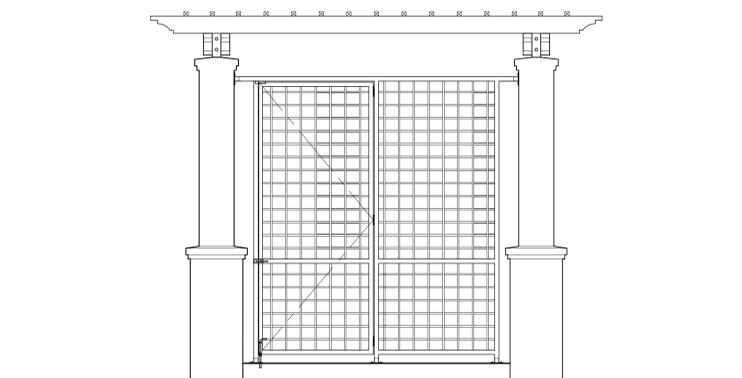


1 GEN. TRELLIS SCREEN PLAN
Scale: 3/8" = 1'-0"

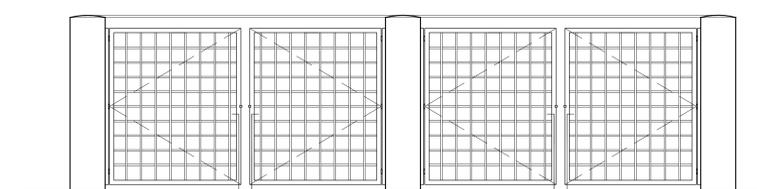
2 DUMPSTER ENCLOSURE PLAN
Scale: 3/8" = 1'-0"



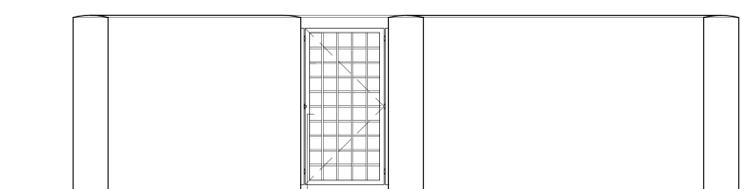
3 GEN. TRELLIS SCREEN ELEVATION
Scale: 3/8" = 1'-0"



4 GEN. TRELLIS SCREEN ELEVATION
Scale: 3/8" = 1'-0"



5 DUMPSTER ENCLOSURE ELEVATION
Scale: 3/8" = 1'-0"



6 DUMPSTER ENCLOSURE ELEVATION
Scale: 3/8" = 1'-0"

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA



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YBOR CITY
TAMPA FLORIDA 33605
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FAX 813.228.0770

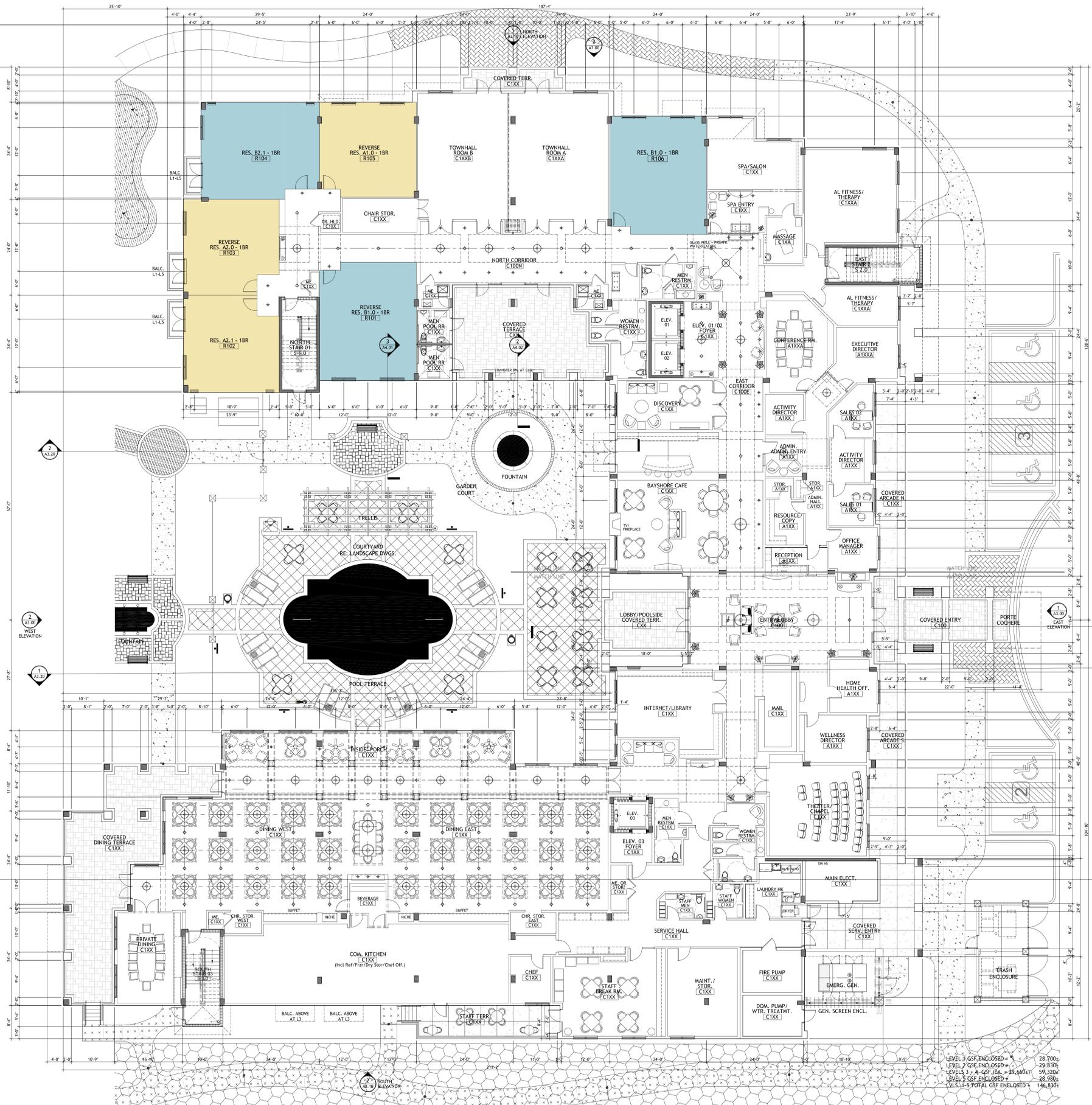
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
DATE 04.28.15
DRAWN BY TEAM
REV. 1
REV. 2
REV. 3
REV. 4
REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTIS
SC LIC. 04995

LEVEL 1 BLDG. PLAN
NORTH HALF

A 2.10

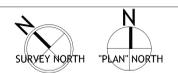


RES. UNIT / BED MIX TABLE:

LEVEL	A-1BR	B-1BR	C-1BR/DEN	D-2BR/BEDS	UNITS	BEDS
1	03	03	-	-	06	06
2	08	18	03	03	32	35
3	08	16	-	07	31	38
4	08	16	01	07	32	39
5	07	13	01	04	25	29
TOTALS	34	66	05	21	126	147

LEVEL 1 GSF ENCLOSED = 28,700
LEVEL 2 GSF ENCLOSED = 29,876
LEVELS 3 + 4 GSF (EA. = 39,660) = 59,320
LEVEL 5 GSF ENCLOSED = 28,780
LVLS. 1-5 TOTAL GSF ENCLOSED = 146,676

1 LEVEL 1 BUILDING PLAN - OVERALL
SCALE: 3/32" = 1' - 0"



THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT

SC LIC. 04995

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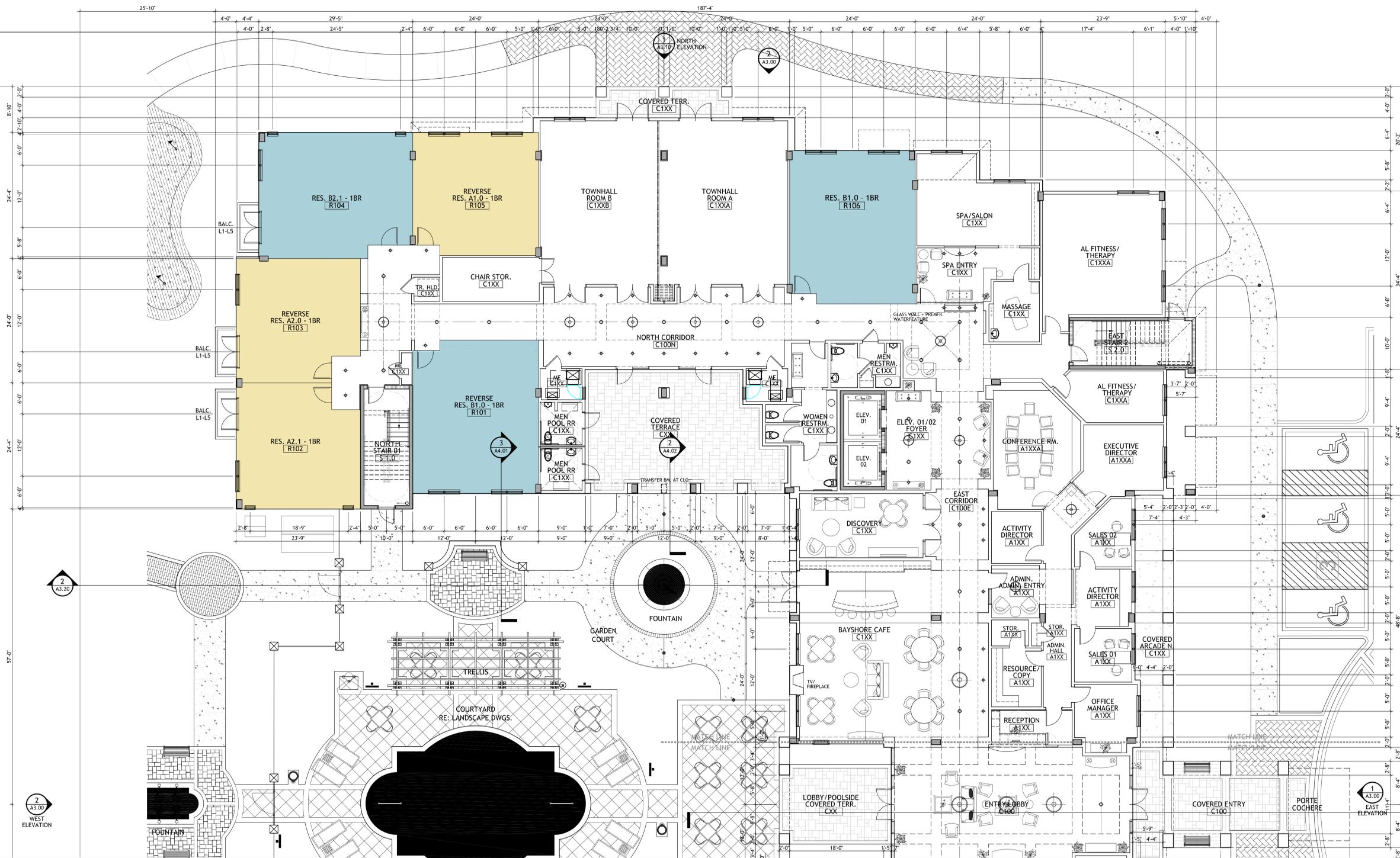
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
DATE 04.08.16
DRAWN BY TEAM
REV. 1
REV. 2
REV. 3
REV. 4
REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

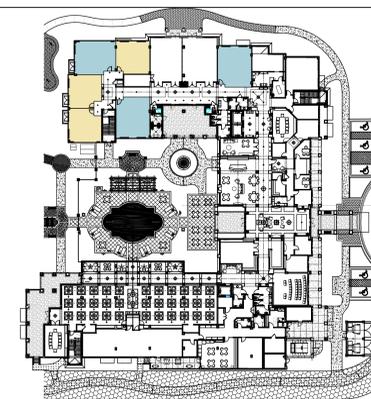
ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

LEVEL 1 BLDG. PLAN
NORTH HALF

A 2.11



1 LEVEL 1 BUILDING PLAN - NORTH HALF
SCALE: 1/8" = 1' - 0"



THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT

SC LIC. 04993

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TAMPA FLORIDA 33605
PHONE 813.228.8000
FAX 813.228.0770

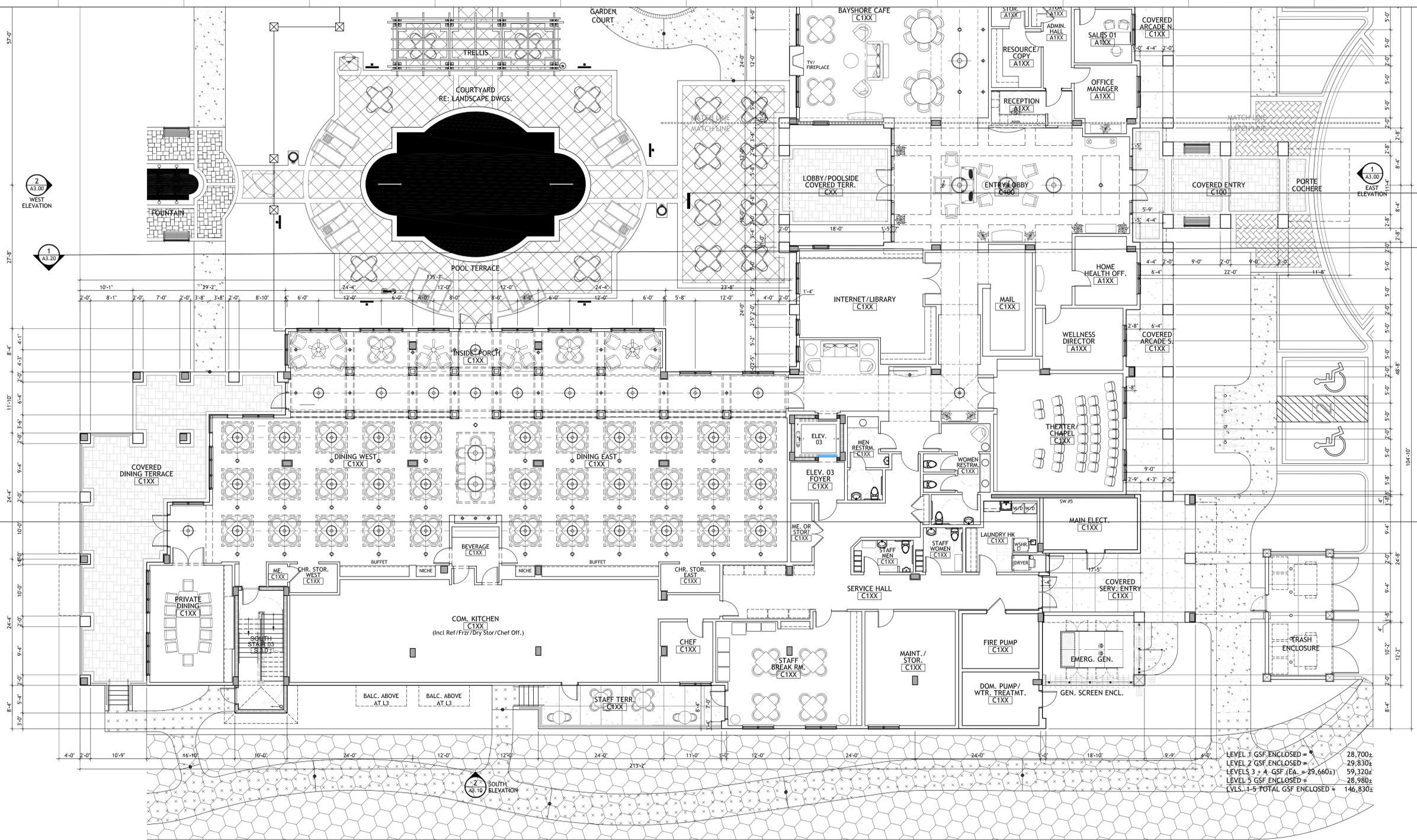
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
DATE 04.28.15
DRAWN BY TEAM
REV. 1
REV. 2
REV. 3
REV. 4
REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

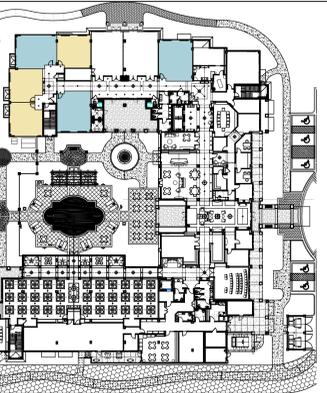
ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04993

LEVEL 1 BLDG. PLAN
SOUTH HALF

A 2.12

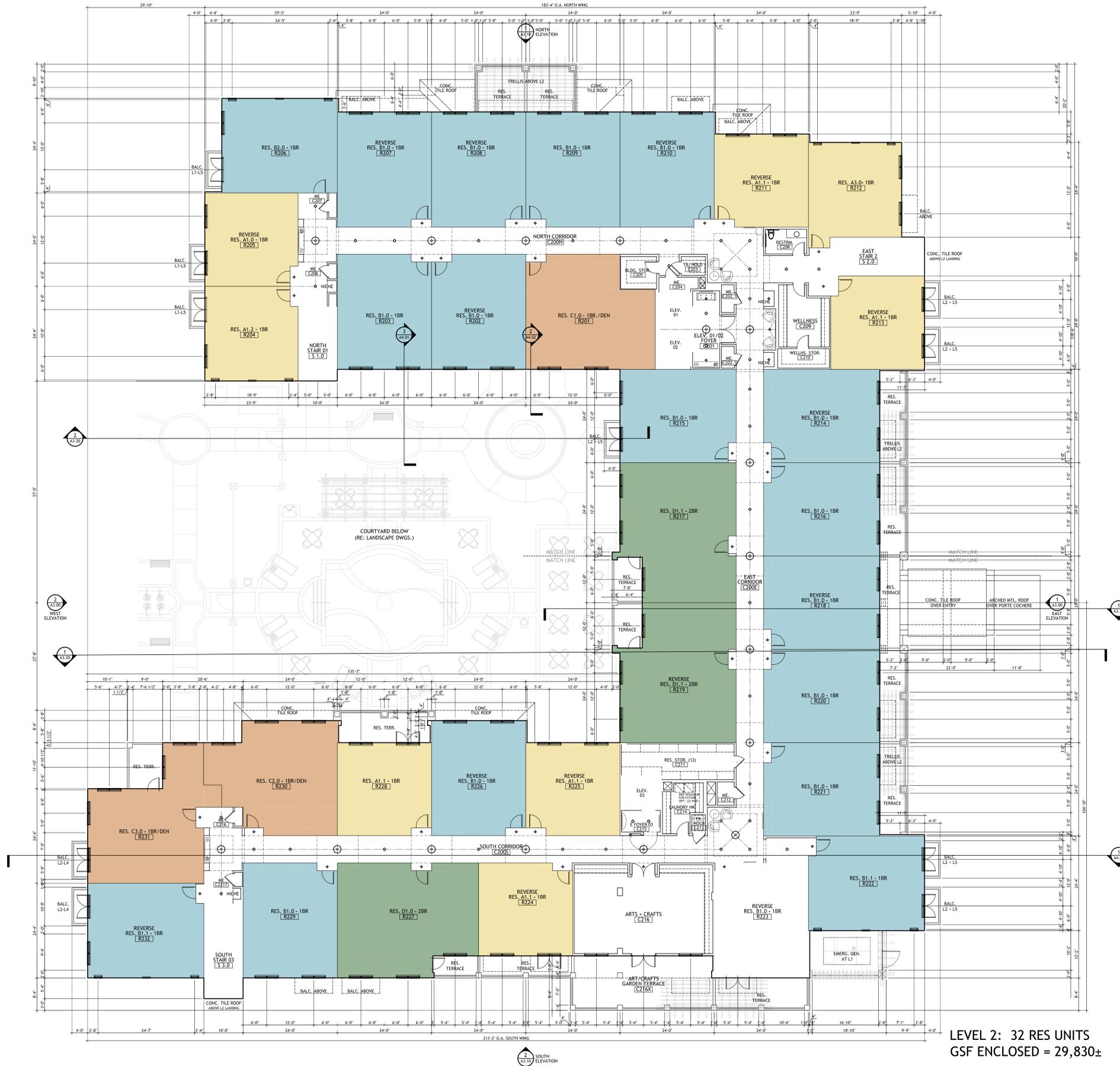


1 LEVEL 1 BUILDING PLAN - SOUTH HALF
SCALE: 1/8" = 1'-0"

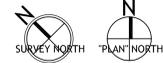


RES. LEV.
1
2
3
4
5
TOT

LEVEL 1 GSF ENCLOSED =	28,700±
LEVEL 2 GSF ENCLOSED =	29,830±
LEVELS 3 + 4 GSF (EA. = 29,660±)	59,320±
LEVEL 5 GSF ENCLOSED =	28,980±
(LVLS. 1-5 TOTAL GSF ENCLOSED =	146,830±



LEVEL 2: 32 RES UNITS
 GSF ENCLOSED = 29,830±



1 LEVEL 2 BUILDING PLAN - OVERALL
 SCALE: 3/32" = 1' - 0"

THE BAYSHORE
 ON HILTON HEAD ISLAND
 421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT
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FINAL DRB SUBMISSION
 NOT FOR CONSTRUCTION

PROJECT NO.	1415
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DRAWN BY	TEAM
REV. 1	
REV. 2	
REV. 3	
REV. 4	
REV. 5	
REV. 6	
REV. 7	
REV. 8	
REV. 9	
REV. 10	
REV. 11	
REV. 12	

ARCHITECT OF RECORD
 GERALD GENE CURTS
 SC LIC. 04995

LEVEL 2 BLDG. PLAN
 OVERALL

A 2.20

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTIS ARCHITECT

SC LIC. 04993

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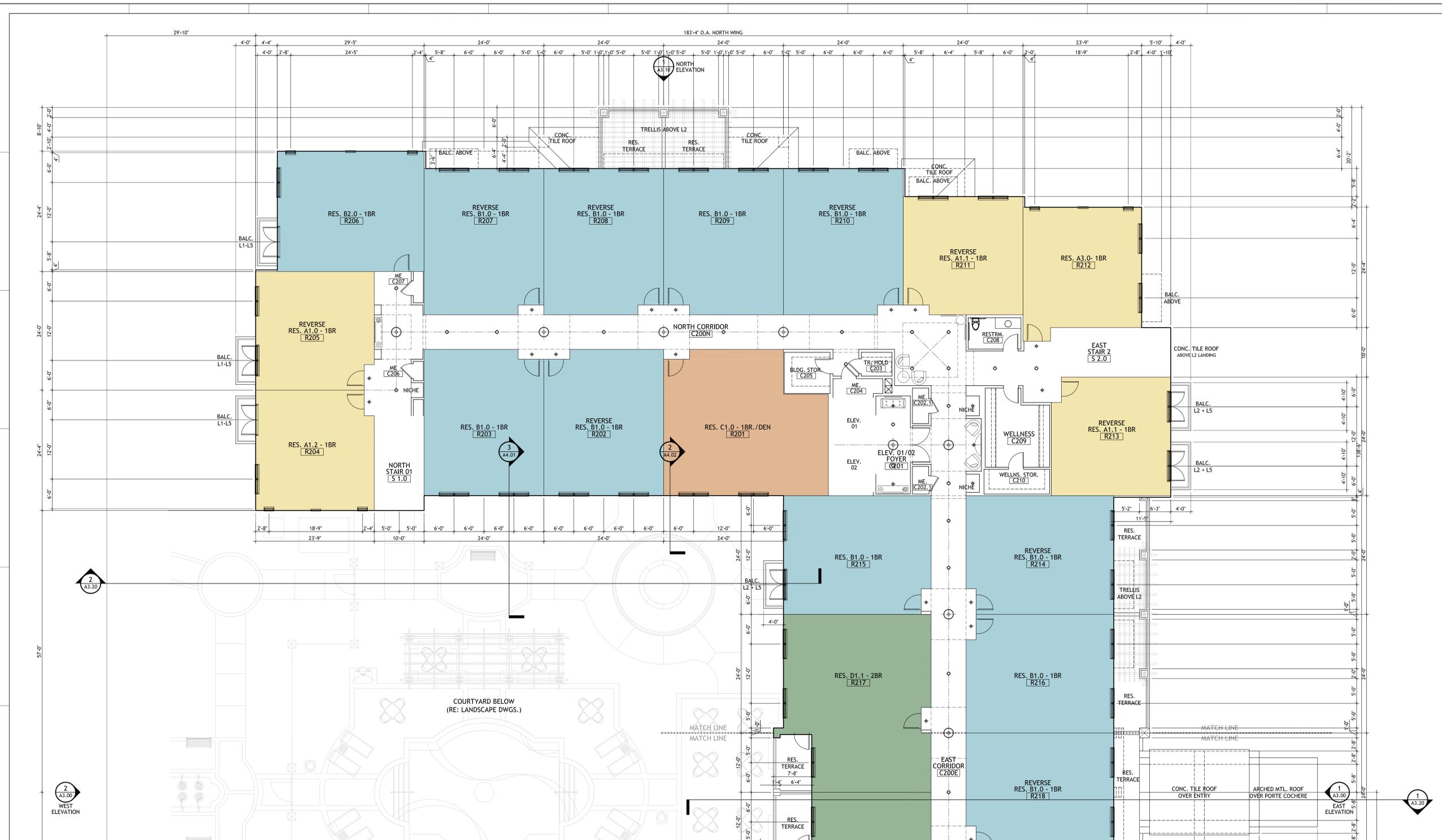
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
DATE 04.28.15
DRAWN BY TEAM
REV. 1
REV. 2
REV. 3
REV. 4
REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTIS
SC LIC. 04993

LEVEL 2 BLDG. PLAN
NORTH HALF

A 2.21



1 LEVEL 2 BUILDING PLAN - NORTH HALF
SCALE: 1/8" = 1' - 0"

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT

SC LIC. 04995

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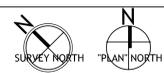
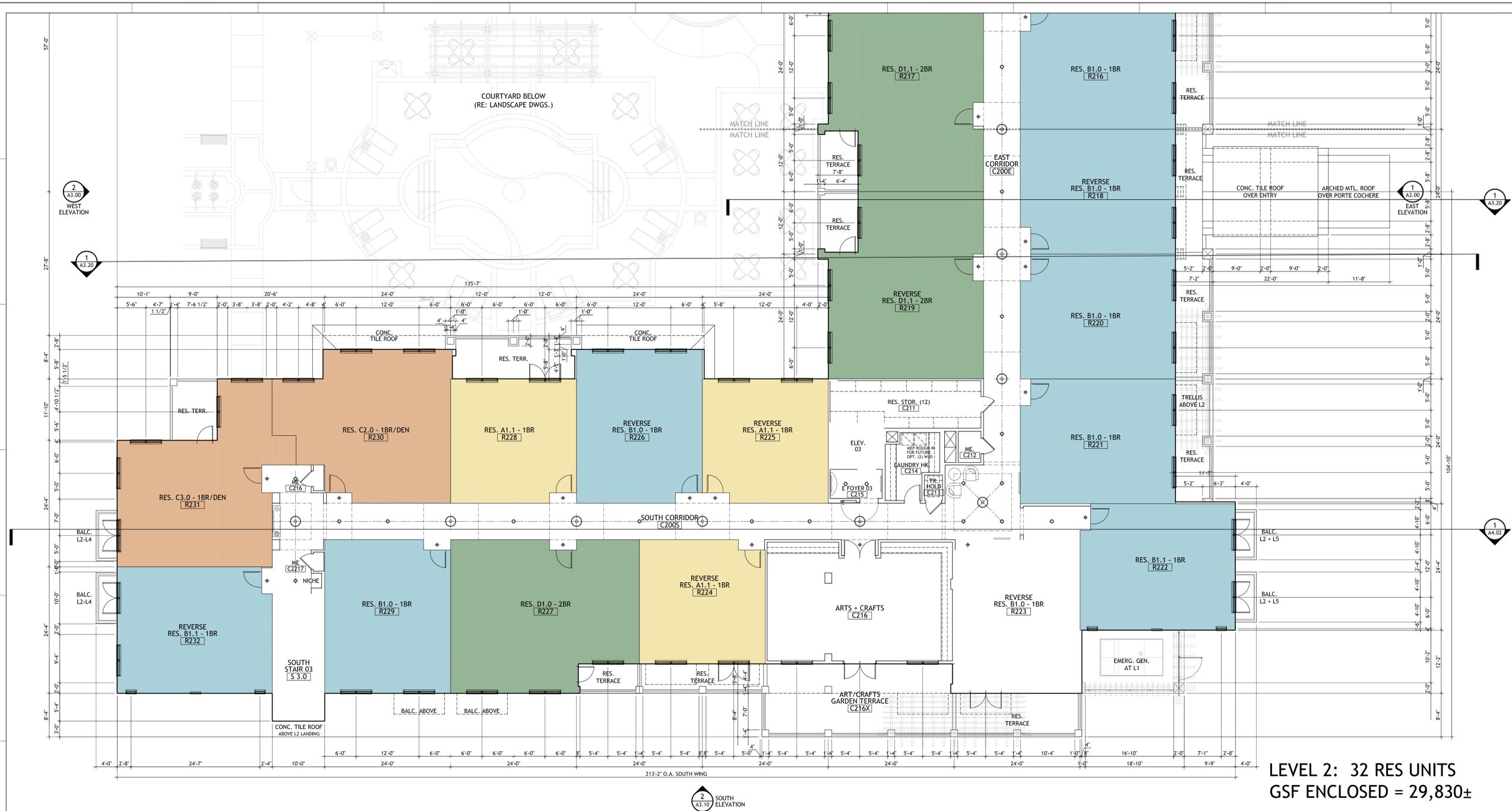
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
DATE 04/28/16
DRAWN BY TEAM
REV. 1
REV. 2
REV. 3
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REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

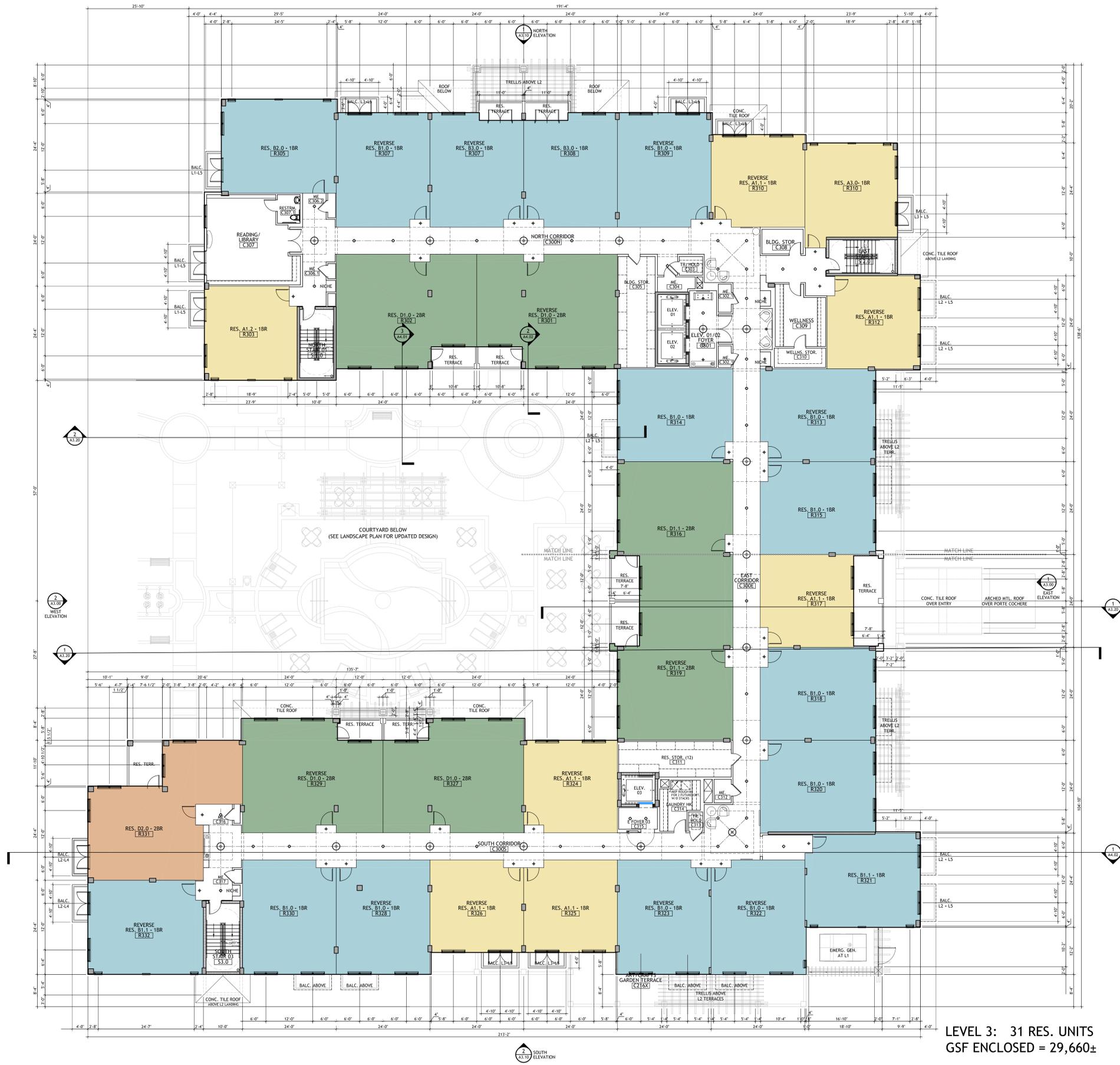
ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

LEVEL 2 BLDG. PLAN
SOUTH HALF

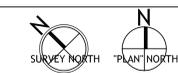
A 2.22



1 LEVEL 2 BUILDING PLAN - SOUTH HALF
SCALE: 1/8" = 1' - 0"



LEVEL 3: 31 RES. UNITS
GSF ENCLOSED = 29,660±



1 LEVEL 3 BUILDING PLAN - OVERALL
SCALE: 3/32" = 1' - 0"

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT
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FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
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REV. 3
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REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTS
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LEVEL 3 BLDG. PLAN
OVERALL

A 2.30

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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FINAL DRB SUBMISSION
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REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

LEVEL 3 BLDG. PLAN
NORTH HALF

A 2.31



1 LEVEL 3 BUILDING PLAN - NORTH HALF
SCALE: 1/8" = 1'-0"

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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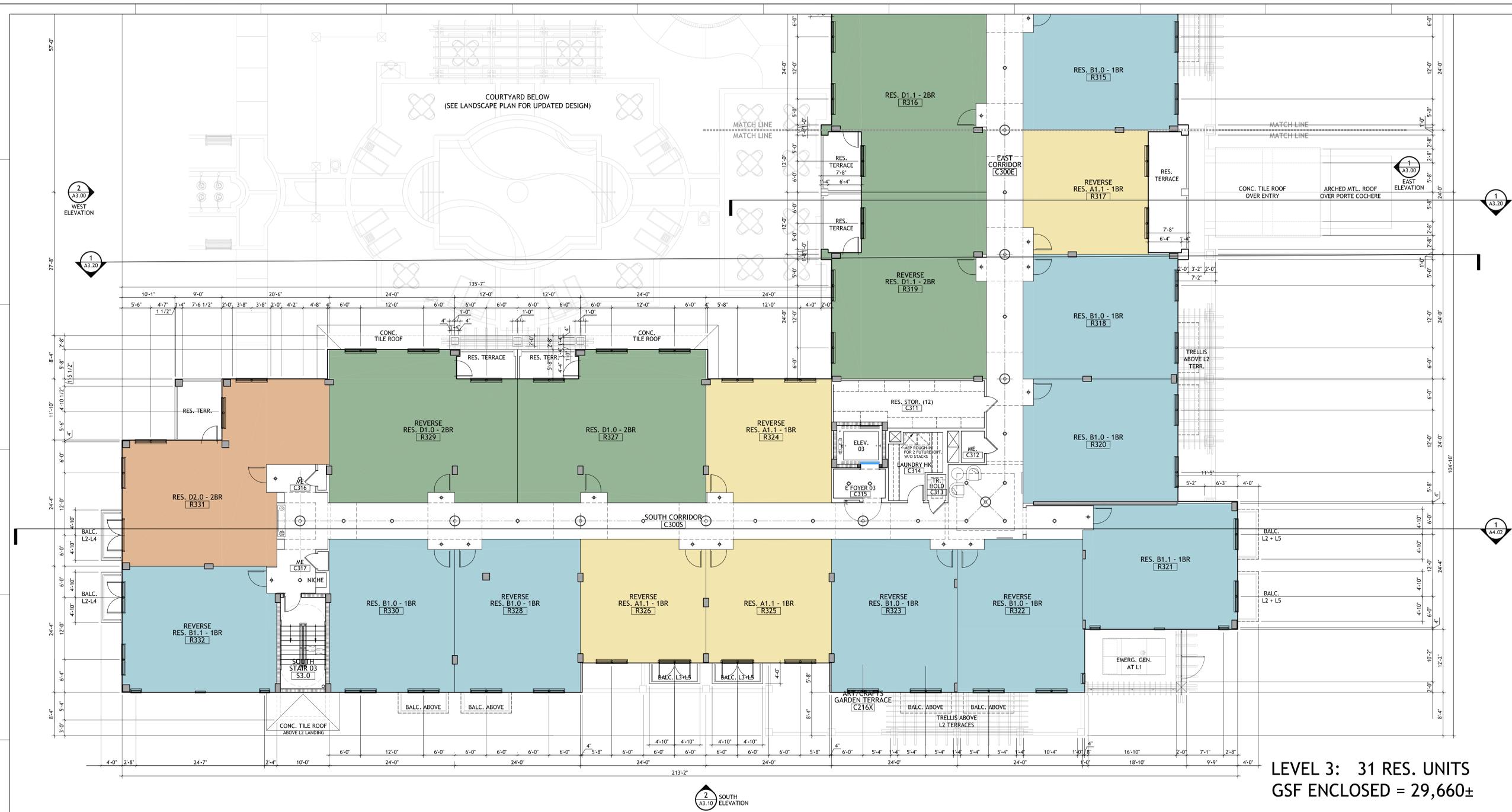
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO. 1415
DATE 04.28.16
DRAWN BY TEAM
REV. 1
REV. 2
REV. 3
REV. 4
REV. 5
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REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

LEVEL 3 BLDG. PLAN
SOUTH HALF

A 2.32



1 LEVEL 3 BUILDING PLAN - SOUTH HALF
SCALE: 1/8" = 1' - 0"

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT

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1213 E. 8TH AVENUE
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PHONE 813.228.8095
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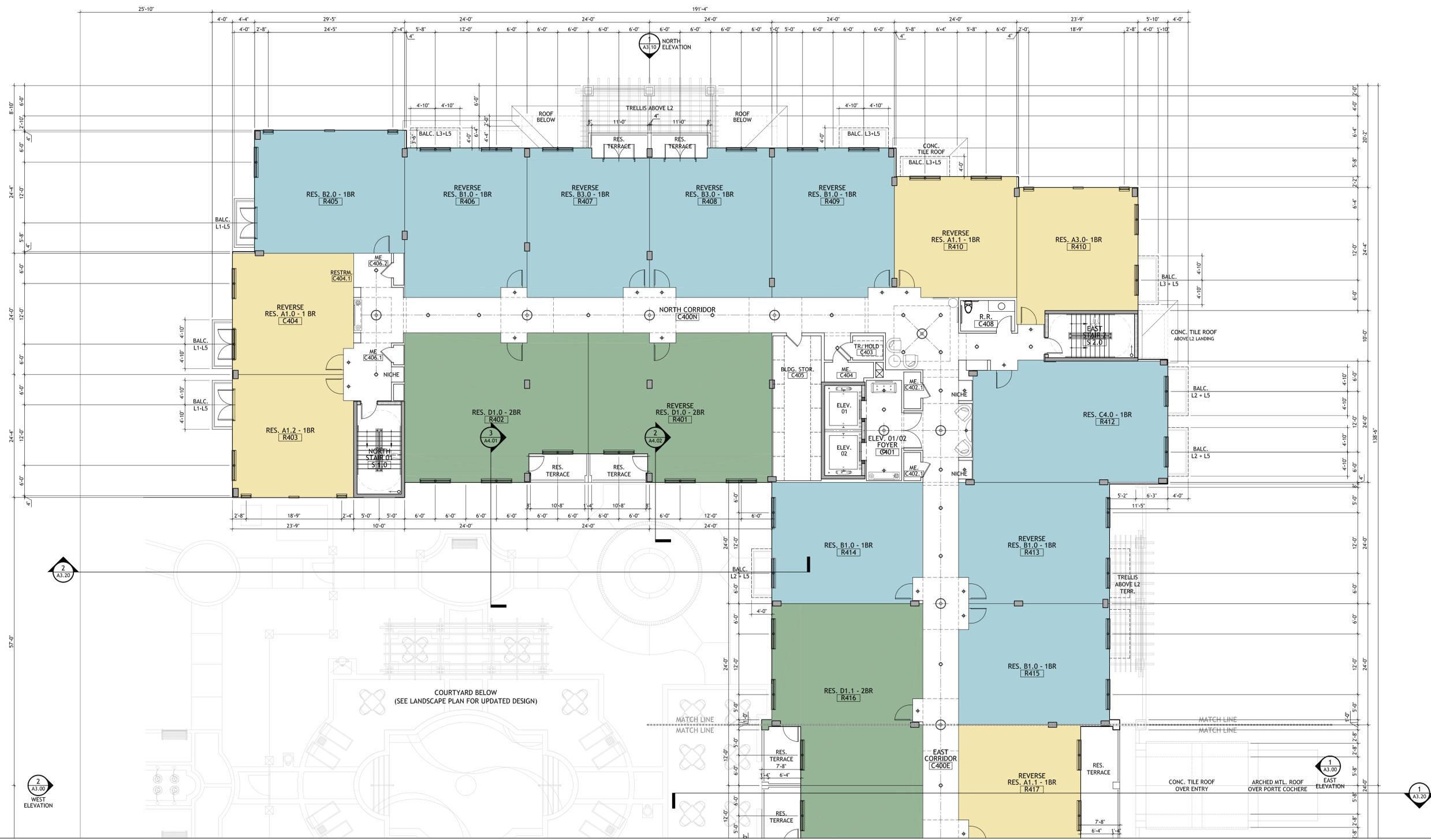
FINAL DRB SUBMISSION
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PROJECT NO. 1415
DATE 04.28.16
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REV. 1
REV. 2
REV. 3
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REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

LEVEL 4 BLDG. PLAN
NORTH HALF

A 2.41



1 LEVEL 4 BUILDING PLAN - NORTH HALF
SCALE: 1/8" = 1' - 0"

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

GERALD GENE CURTS ARCHITECT

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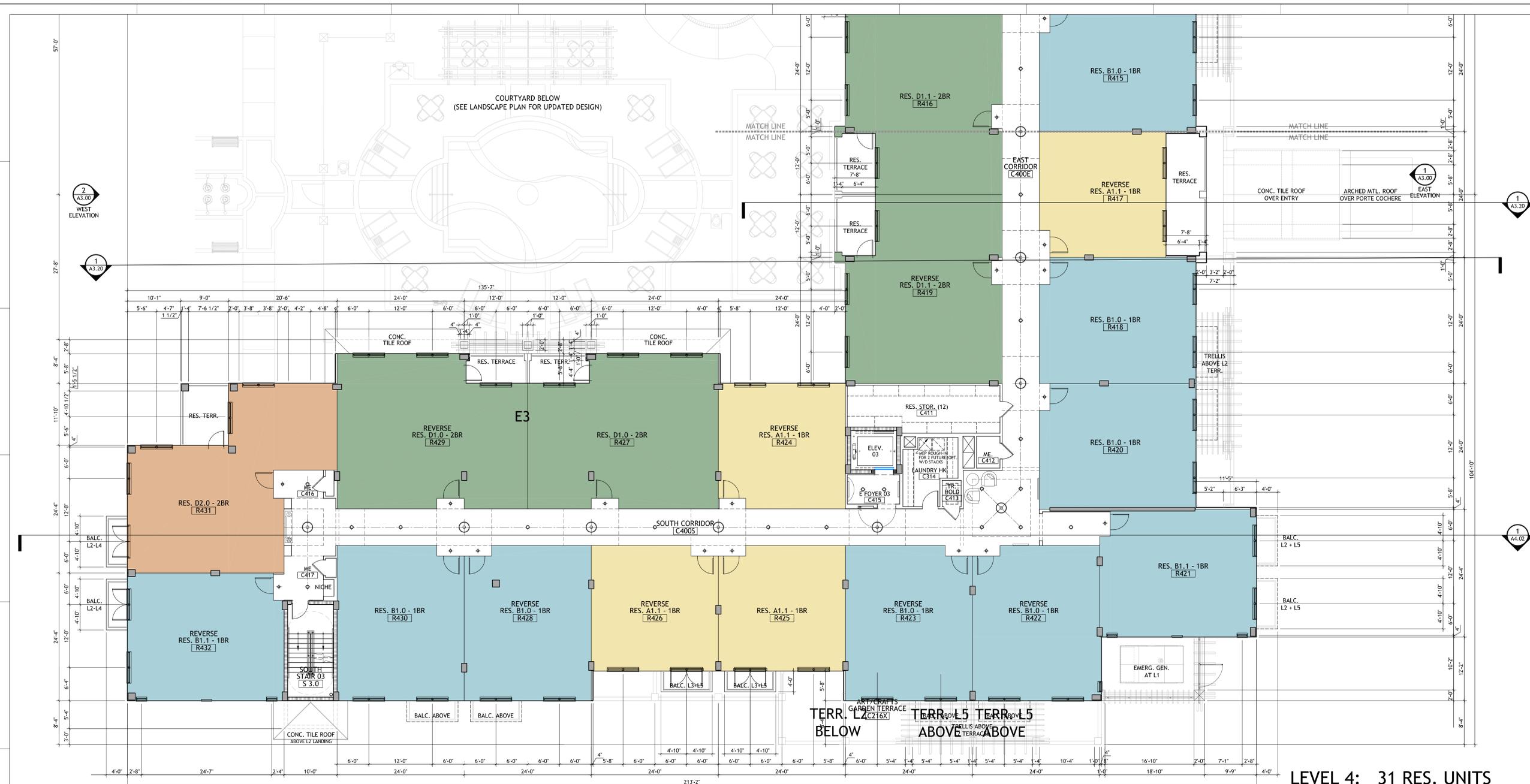
FINAL DRB SUBMISSION
NOT FOR CONSTRUCTION

PROJECT NO.	1415
DATE	04.28.16
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REV. 1	
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REV. 12	

ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

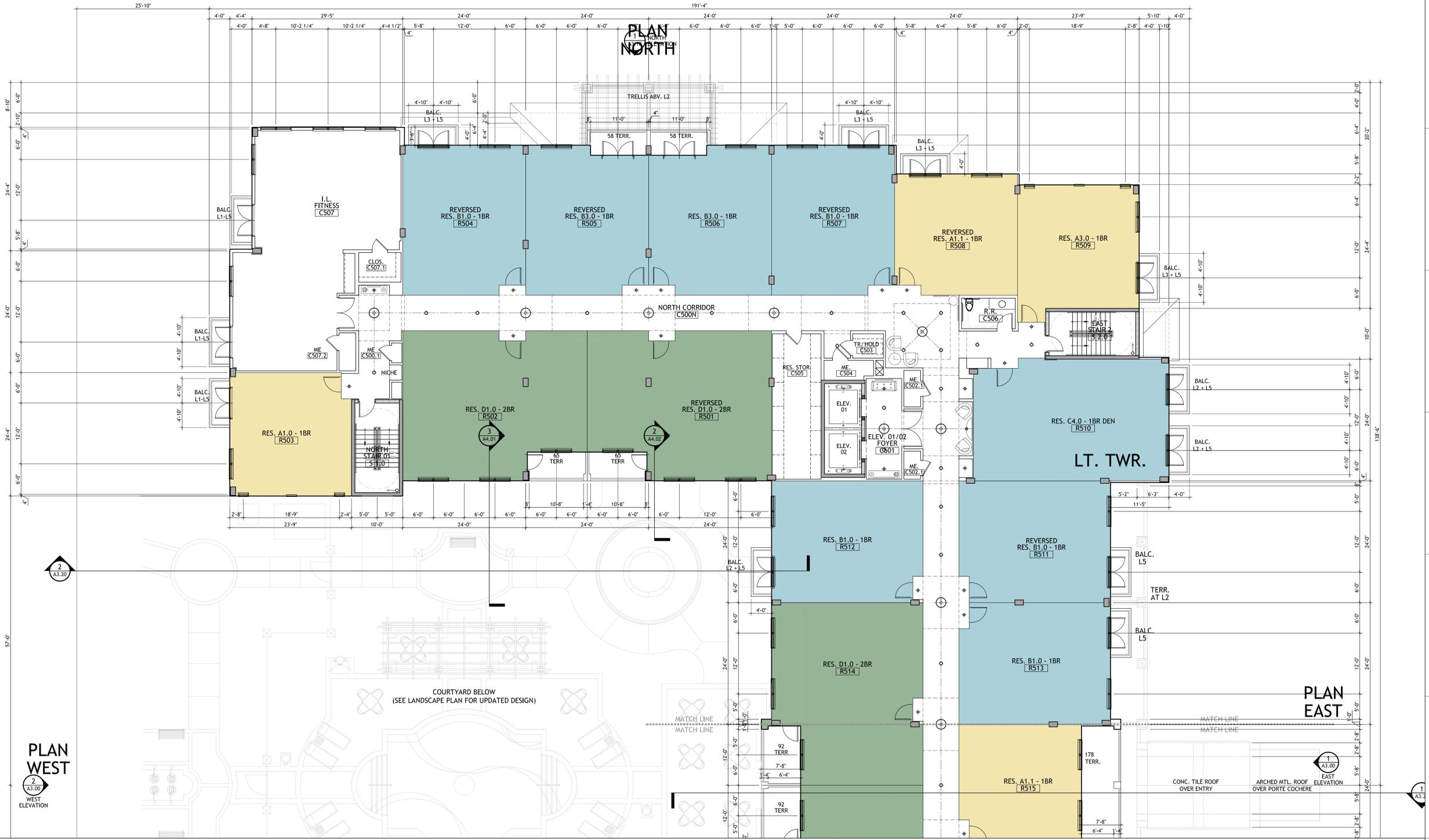
LEVEL 4 BLDG. PLAN
SOUTH HALF

A 2.42



LEVEL 4: 31 RES. UNITS
GSF ENCLOSED = 29,660±

1 LEVEL 4 BUILDING PLAN - SOUTH HALF
SCALE: 1/8" = 1'-0"



1 LEVEL 5 BUILDING PLAN - NORTH HALF
SCALE: 1/8" = 1'-0"

PLAN WEST
WEST ELEVATION

PLAN EAST

COURTYARD BELOW
(SEE LANDSCAPE PLAN FOR UPDATED DESIGN)

CONC. TILE ROOF OVER ENTRY
ARCHED MTL. ROOF OVER PORTE COCHERE

THE BAYSHORE
ON HILTON HEAD ISLAND
421 SQUIRE POPE ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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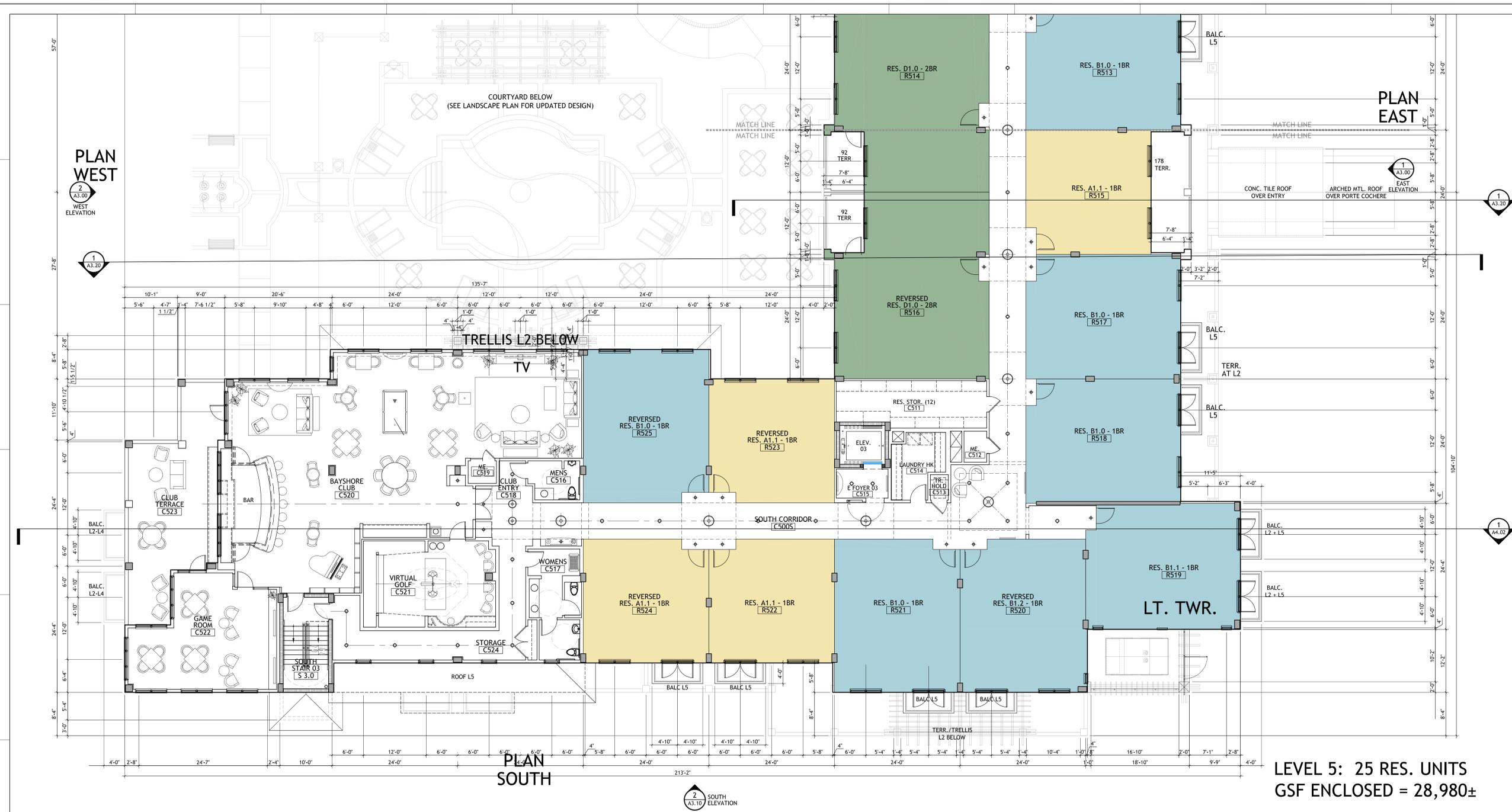
FINAL DRB SUBMISSION
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REV. 5
REV. 6
REV. 7
REV. 8
REV. 9
REV. 10
REV. 11
REV. 12

ARCHITECT OF RECORD
GERALD GENE CURTS
SC LIC. 04995

LEVEL 5 BLDG. PLAN
SOUTH HALF

A 2.52



1 LEVEL 5 BUILDING PLAN - SOUTH HALF
SCALE: 1/8" = 1'-0"



1 EAST/ENTRY ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST WATERSIDE ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION MATERIAL + COLOR KEY NOTES		NOTE: MFR'S LISTED ARE BASIS OF DESIGN, EQ. OR SIMILAR PRODUCTS MEETING REQ. OF CONST. DOCS MAY BE CONSIDERED FOR SUBSTITUTION EXT. ELEVATION MATERIAL + COLOR KEY CONT.	
MARK	MATERIAL DESCRIPTION - MFR. - TEXTURE	COLOR	COLOR
A1	FLAT CONC. TILE ROOF - HANSON - CHALET SHAKE	"ONYX" (MEDIUM TO DARK GRAY)	SW 7011 "NATURAL CHOICE"
A2	PREFIN. ALUM. COPING/FLASHINGS ADJ. TO CONC. TILE RF.	PTD. ALUM. TO MATCH TILE RF. COLOR	SW 7011 "NATURAL CHOICE"
B1	EFS EAVE + BALC. BRACKETS - STO-STUCCO FINE SAND FIN.	SW 7060 "ATTITUDE GRAY"	PGT "WHITE"
B2	PREFIN. ALUM. RAILINGS, TRELLIS, LOUVERS, FENCES, GATES, BAHAMA SHUTTERS + TR./GEN. ENCL. SCREENS.	SW 7060 "ATTITUDE GRAY"	GLAZING: CARDINAL LoE LAMINATED
B3	PREFIN. MTL. STAND'G SEAM RF - ARCH'D ENTRY CANOPY	SW 7060 "ATTITUDE GRAY"	PGT "WHITE"
B4	PREFIN. ALUM. ENTRY CANOPY FRAME + STRUTS	SW 7060 "ATTITUDE GRAY"	GLAZING: CARDINAL LoE LAMINATED
C1	STUCCO FIN. UPPER BODY, SOFFITS - AS INDICATED - STO CORP - POWERWALL NEXT - MEDIUM SAND TEXT. TYP. (FINE SAND TXT. @ WDW/DR JAMB RETURNS)	SW 7036 "ACCESSIBLE BEIGE"	MATCH PGT "WHITE"
C2	STUCCO FIN. BLDG./SITE WALL BASE + AS INDICATED - STO CORP - POWERWALL NEXT - MEDIUM SAND TEXT. TYP. (FINE SAND TXT. @ WDW/DR JAMB RETURNS)	SW 7045 "INTELLECTUAL GRAY"	MATCH ADJ. STUCCO - C1 OR C2
C3	STUCCO FIN. 2-1/2" DEEP WALL RECESS (OPNG INFILL)	MATCH ADJ. STUCCO - C1 OR C2	OLYMPIC - SEMI-SOLID STAIN: "DARK ASH"
D1	VINYL CONTROL JOINTS PTD. (OR ALT. SEALANT FILLED) PER SPECS., CODE, AND DWGS.	SW 7011 "NATURAL CHOICE"	MATCH COLOR, SIZE(S), PATTERN USED AT COURTYD. SEE LANDSCAPE
E1	ARCH. PRECAST CONC. BLDG. - SITE WALL PIER CAPS, PLNTR BOWLS, TERR. OVERFLOW SCUPPERS, MEDALIONS - MFR TBD - LIGHT SANDBLAST STONE TEXTURE	COLOR MATCH CLOSE TO SW 7011 "NATURAL CHOICE"	
E2	EFS TRIM: HORIZONTAL TRIM BANDS, UPPER COL. TRIM, WDW. SILLS (W/ HD MESH) - STO - FINE SAND FIN.	SW 7011 "NATURAL CHOICE"	



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

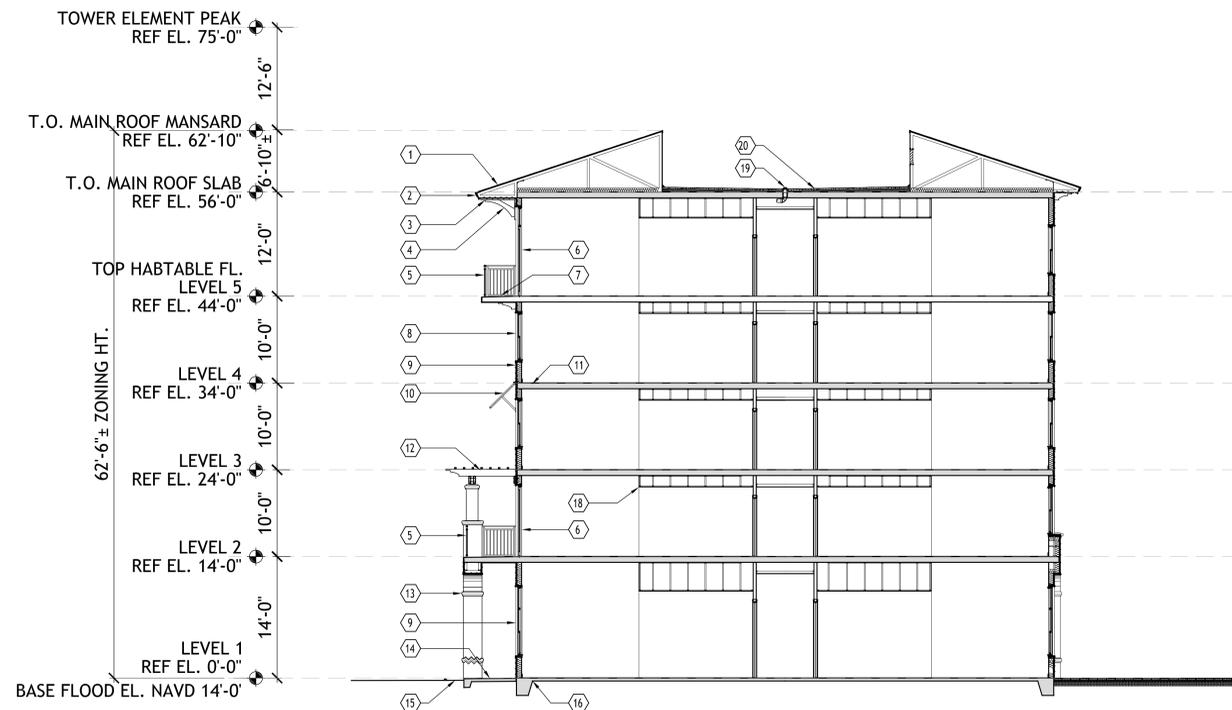
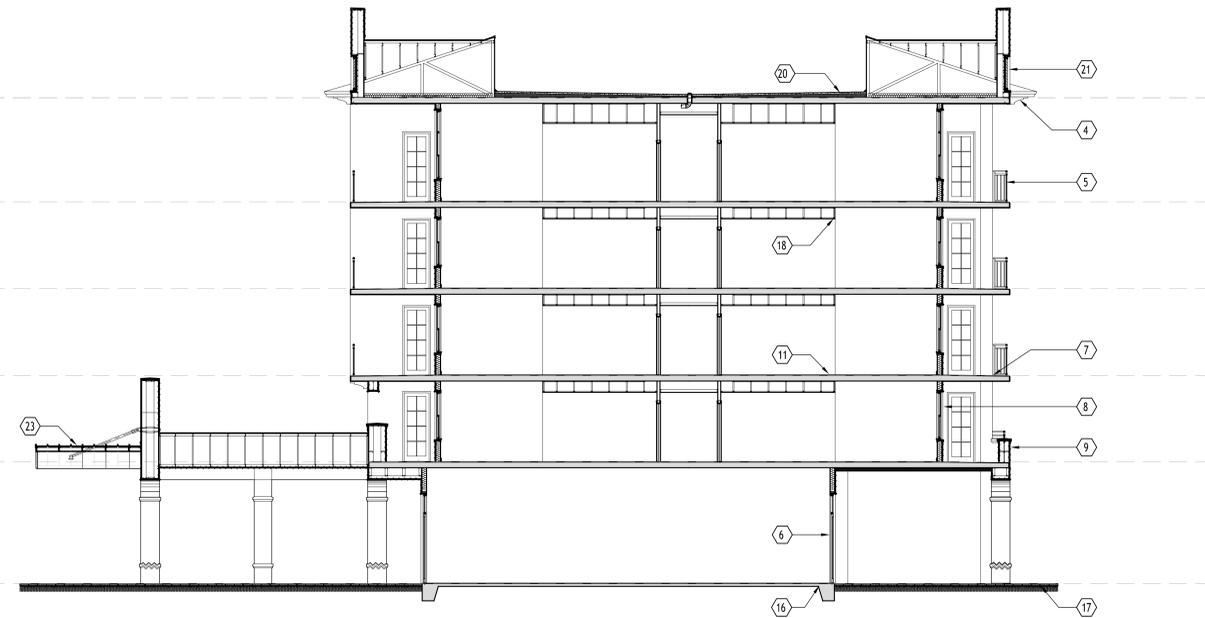
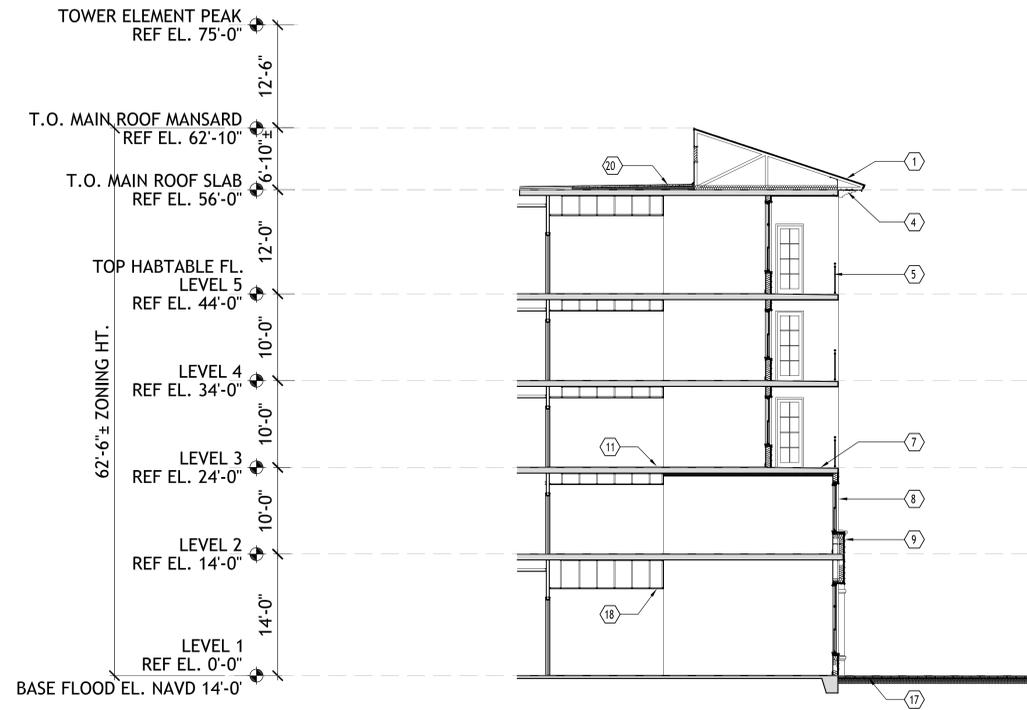
EXTERIOR ELEVATION MATERIAL + COLOR KEY NOTES		NOTE: MFR'S LISTED ARE BASIS OF DESIGN. EQ. OR SIMILAR PRODUCTS MEETING REQ. OF CONST. DOCS MAY BE CONSIDERED FOR SUBSTITUTION EXT. ELEVATION MATERIAL + COLOR KEY CONT.	
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A2	PREFIN. ALUM COPING/FLASHINGS ADJ. TO CONC. TILE RF.	PTD. ALUM TO MATCH TILE RF. COLOR	SW 7011 "NATURAL CHOICE"
B1	EFS EAVE + BALC. BRACKETS - STO -STUCCO FINE SAND FIN.	SW 7060 "ATTITUDE GRAY"	PGT "WHITE"
B2	PREFIN. ALUM. RAILINGS, TRELLIS, LOUVERS, FENCES, GATES, BAHAMA SHUTTERS + TR./GEN. ENCL. SCREENS.	SW 7060 "ATTITUDE GRAY"	GLAZING: CARDINAL LoE LAMINATED TO MEET/EXCEED PROJECT LOADS.
B3	PREFIN. MTL. STAND'G SEAM RF - ARCH'D ENTRY CANOPY	SW 7060 "ATTITUDE GRAY"	PGT "WHITE"
B4	PREFIN. ALUM ENTRY CANOPY FRAME + STRUTS	SW 7060 "ATTITUDE GRAY"	GLAZING: CARDINAL LoE LAMINATED TO MEET/EXCEED PROJECT LOADS.
C1	STUCCO FIN. UPPER BODY, SOFFITS + AS INDICATED - STO CORP - POWERWALL NEXT - MEDIUM SAND TEXT. TYP. (FINE SAND TXT. @ WDW/DR JAMB RETURNS)	SW 7036 "ACCESSIBLE BEIGE"	MATCH PGT "WHITE"
C2	STUCCO FIN. BLDG./SITE WALL BASE + AS INDICATED - STO CORP - POWERWALL NEXT - MEDIUM SAND TEXT. TYP. (FINE SAND TXT. @ WDW/DR JAMB RETURNS)	SW 7045 "INTELLECTUAL GRAY"	MATCH ADJ. STUCCO - C1 OR C2
C3	STUCCO FIN. 2-1/2" DEEP WALL RECESS ('OPNG INFILL')	MATCH ADJ. STUCCO - C1 OR C2	OLYMPIC - SEMI-SOLID STAIN: "DARK ASH"
D1	VINYL CONTROL JOINTS PTD. (OR ALT. SEALANT FILLED) PER SPECS., CODE, AND DWGS.	SW 7011 "NATURAL CHOICE"	MATCH COLOR, SIZE(S), PATTERN USED AT COURTYD. SEE LANDSCAPE
E1	ARCH. PRECAST CONC. - BLDG. - SITE WALL PIER CAPS, PLNTR BOWLS, TERR. OVERFLOW SCUPPERS, MEDALIONS - MFR TBD - LIGHT SANDBLAST STONE TEXTURE	COLOR MATCH CLOSE TO SW 7011 "NATURAL CHOICE"	
E2	EFS TRIM: HORIZONTAL TRIM BANDS, UPPER COL. TRIM, WDW. SILLS (W/ HD MESH) - STO - FINE SAND FIN.	SW 7011 "NATURAL CHOICE"	



2 NORTH COURTYARD ELEVATION
Scale: 1/8" = 1'-0"



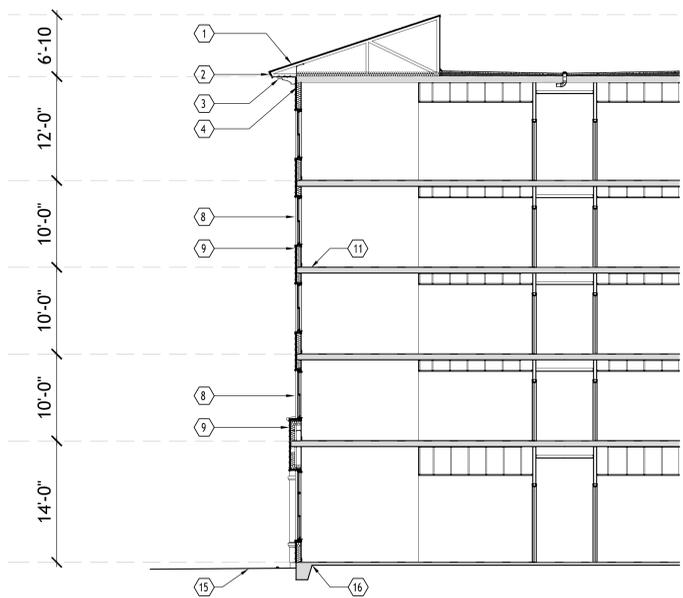
1 SOUTH COURTYARD ELEVATION
Scale: 1/8" = 1'-0"



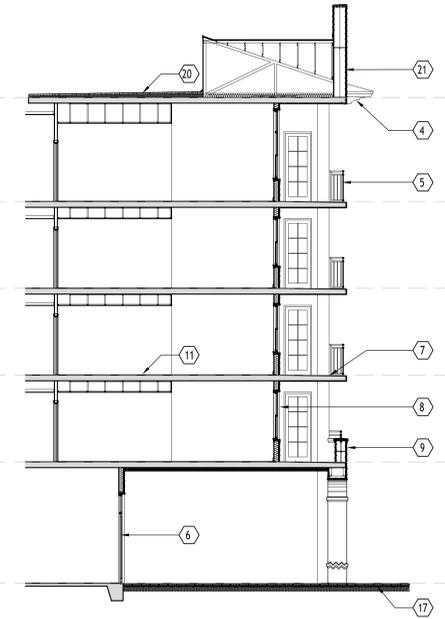
EXTERIOR ELEVATION KEYNOTES:	
MARK	
1	FLAT CONC ROOF TILES OVER WP MEMBRANE ON EXT SHEATHING OVER METAL DECKING ON METAL ROOF TRUSSES AT 24" OC MAX
2	CELLULAR PVC FASCIA AND TRIM WITH PRE FIN ALUM Drip EDGE
3	STUCCO SOFFIT WITH PRE-FIN ALUMINUM VENT
4	MEPS EFS BRACKET W/ PAINTED FINISH
5	PRE-FIN ALUMINUM RAILING
6	FRENCH DOOR WITH SIDE LITES AS INDICATED
7	TRAFFIC COATING
8	SINGLE HUNG (OR FIXED) WINDOW WITH STUCCO SILL
9	STO POWERWALL SYSTEM 3 COAT STUCCO OVER 5/8" EXT GYP SHEATHING ON 6" METAL INFILL STUDS AT 16" OC MAX WITH 6" BATT INSULATION (TYP)
10	PRE FINISHED ALUMINUM AWNING "SHUTTER"
11	POST TENSIONED CONCRETE SLAB REFER STRUCTURAL DRAWINGS
12	PRE-FIN ALUMINUM TRELLIS
13	TYPICAL EFS BANDING WITH PAINTED STUCCO FINISH
14	FINISHED GRADE REFER CIVIL DRAWINGS
15	PORCH (OR SIDEWALK) REFER LANDSCAPE AND CIVIL DRAWINGS
16	MONOLITHIC CONC. SLAB/FOOTING ON 10 MIL VAP. BAR. - RE: STRUCT.
17	PAVERS REFER CIVIL AND LANDSCAPE DRAWINGS
18	PTD DROPPED GWB CEILING/ WALL (W/ METAL STUD FRAMING)
19	ROOF DRAIN RE: PLUMBING DRAWINGS FOR EXACT LOCATION
20	KEE SINGLE PLY ROOF SYSTEM (20 YR NDL) PER SPECS (FIBERTITE SM 45 MIL SYSTEM OR APPROVED EQ.) OVER LTWT. INSUL. CONC. DECK SYST. (R-19 AVE. MIN.) SLOPED 1/4" / 1'-0 MIN. TO DRAIN
21	PRE FINISHED ALUMINUM LOUVER
22	INSULATION BAFFLE
23	PRE FINISHED STANDING SEAM METAL ROOF ARCHED CANOPY

EXTERIOR ELEVATION KEYNOTES:

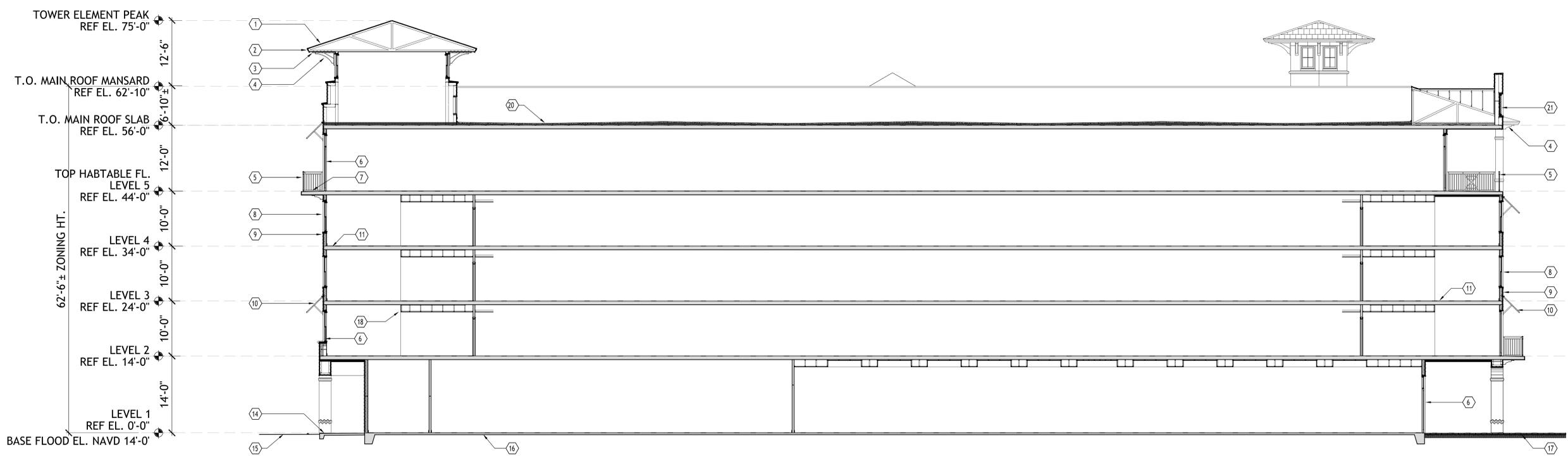
MARK	DESCRIPTION
1	FLAT CONC ROOF TILES OVER WP MEMBRANE ON EXT SHEATHING OVER METAL DECKING ON METAL ROOF TRUSSES AT 24" OC MAX
2	CELLULAR PVC FASCIA AND TRIM WITH PRE-FIN ALUM DRIP EDGE
3	STUCCO SOFFIT WITH PRE-FIN ALUMINUM VENT
4	MEPS EFS BRACKET W/ PAINTED FINISH
5	PRE-FIN ALUMINUM RAILING
6	FRENCH DOOR WITH SIDE LITES AS INDICATED
7	TRAFFIC COATING
8	SINGLE HUNG (OR FIXED) WINDOW WITH STUCCO SILL
9	STO POWERWALL SYSTEM 3 COAT STUCCO OVER 5/8" EXT GYP SHEATHING ON 6" METAL INFILL STUDS AT 16" OC MAX WITH 6" BATT INSULATION (TYP)
10	PRE FINISHED ALUMINUM AWNING "SHUTTER"
11	POST TENSIONED CONCRETE SLAB REFER STRUCTURAL DRAWINGS
12	PRE-FIN ALUMINUM TRELLIS
13	TYPICAL EFS BANDING WITH PAINTED STUCCO FINISH
14	FINISHED GRADE REFER CIVIL DRAWINGS
15	PORCH (OR SIDEWALK) REFER LANDSCAPE AND CIVIL DRAWINGS
16	MONOLITHIC CONC. SLAB/FOOTING ON 10 MIL. VAP. BAR. - RE: STRUCT.
17	PAVERS REFER CIVIL AND LANDSCAPE DRAWINGS
18	PTD DROPPED GWB CEILING/ WALL (W/ METAL STUD FRAMING)
19	ROOF DRAIN RE: PLUMBING DRAWINGS FOR EXACT LOCATION
20	KEE SINGLE PLY ROOF SYSTEM (20 YR NDL) PER SPECS (FIBERTITE SM 45 MIL SYSTEM OR APPROVED EQ.) OVER LTWT. INSUL. CONC. DECK SYST. (R-19 AVE. MIN.) SLOPED 1/4" / 1'-0 MIN. TO DRAIN
21	PRE FINISHED ALUMINUM LOUVER
22	INSULATION BAFFLE



3 PARTIAL BUILDING SECTION
Scale: 1/8" = 1'-0"



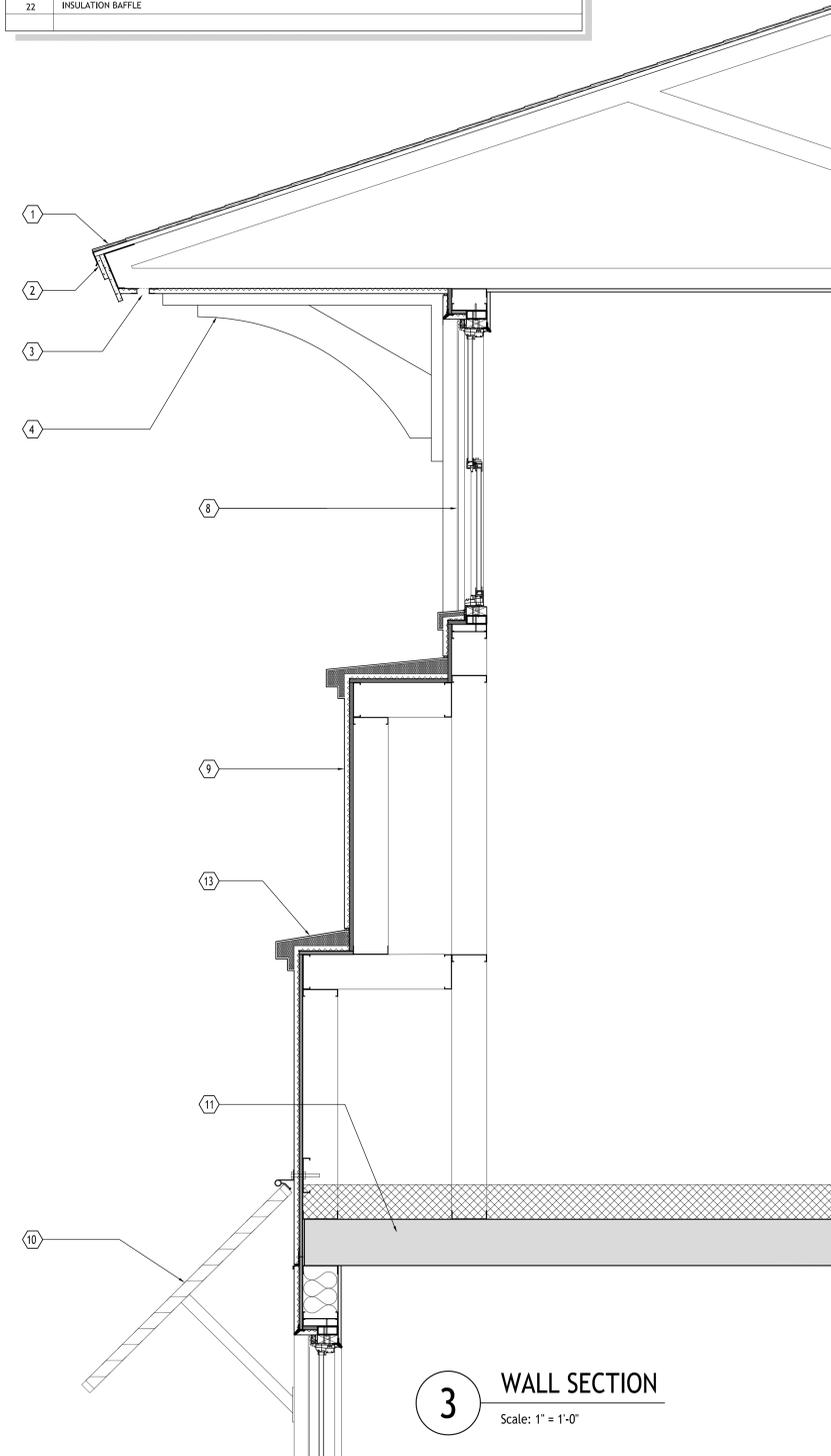
2 PARTIAL BUILDING SECTION
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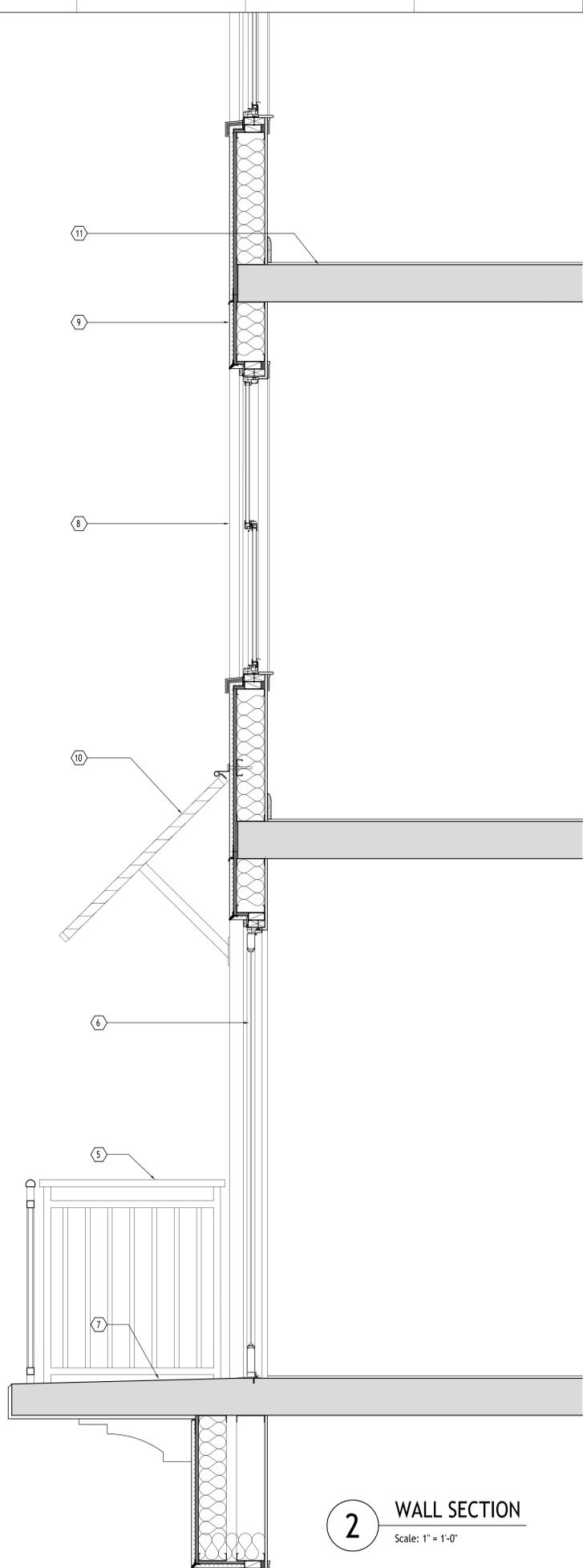
1 LONGITUDINAL BUILDING SECTION
Scale: 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

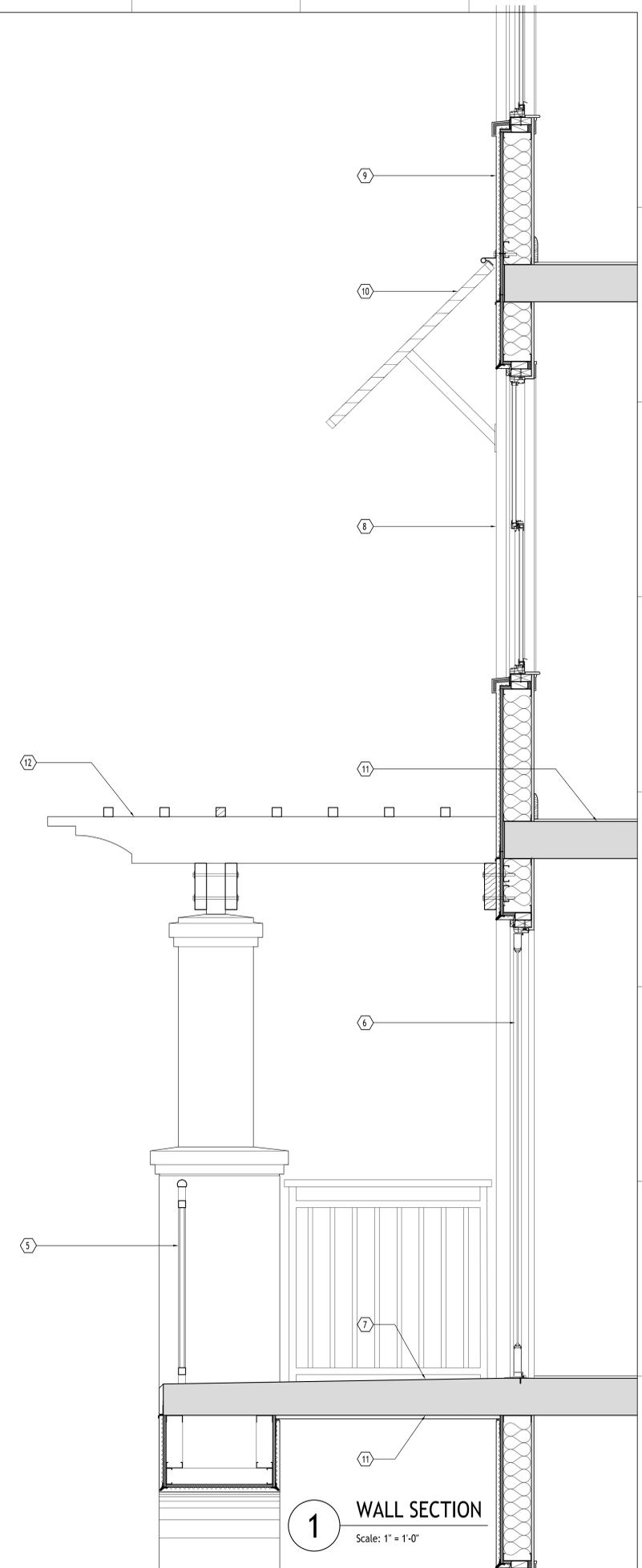
MARK	
1	FLAT CONC ROOF TILES OVER WP MEMBRANE ON EXT SHEATHING OVER METAL DECKING ON METAL ROOF TRUSSES AT 24" OC MAX
2	CELLULAR PVC FASCIA AND TRIM WITH PRE-FIN ALUM DRIP EDGE
3	STUCCO SOFFIT WITH PRE-FIN ALUMINUM VENT
4	MEPS EPS BRACKET W/ PAINTED FINISH
5	PRE-FIN ALUMINUM RAILING
6	FRENCH DOOR WITH SIDE LITES AS INDICATED
7	TRAFFIC COATING
8	SINGLE HUNG (OR FIXED) WINDOW WITH STUCCO SILL
9	STD POWERWALL SYSTEM 3 COAT STUCCO OVER 5/8" EXT GYP SHEATHING ON 6" METAL INFILL STUDS AT 16" OC MAX WITH 6" BATT INSULATION (TYP)
10	PRE-FINISHED ALUMINUM AWNING "SHUTTER"
11	POST-TENSIONED CONCRETE SLAB REFER STRUCTURAL DRAWINGS
12	PRE-FIN ALUMINUM TRELLIS
13	TYPICAL EPS BANDING WITH PAINTED STUCCO FINISH
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19	ROOF DRAIN RE: PLUMBING DRAWINGS FOR EXACT LOCATION
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21	PRE-FINISHED ALUMINUM LOUVER
22	INSULATION BAFFLE



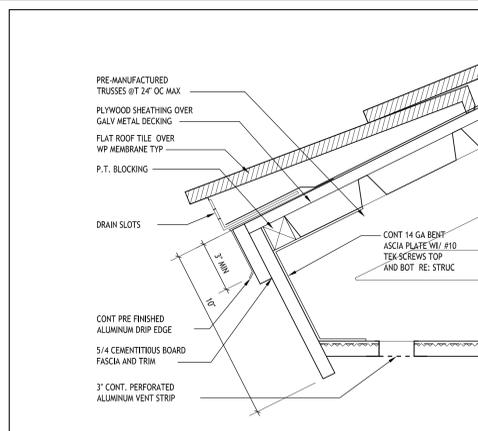
3 WALL SECTION
Scale: 1" = 1'-0"



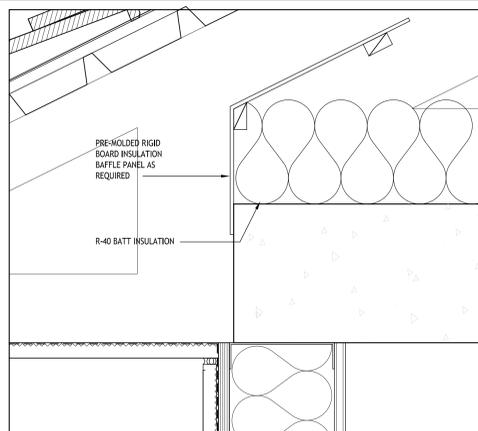
2 WALL SECTION
Scale: 1" = 1'-0"



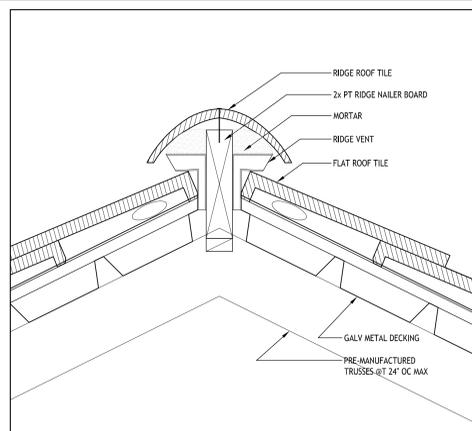
1 WALL SECTION
Scale: 1" = 1'-0"



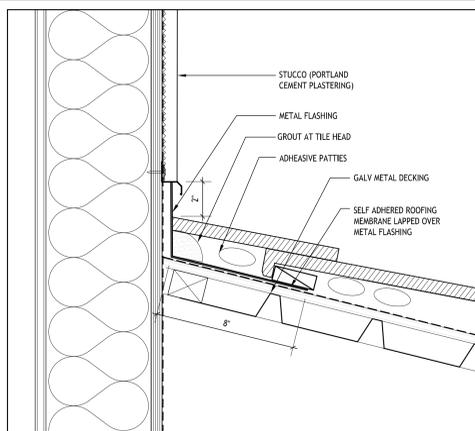
1 FASCIA DETAIL
SCALE: 3" = 1'-0"



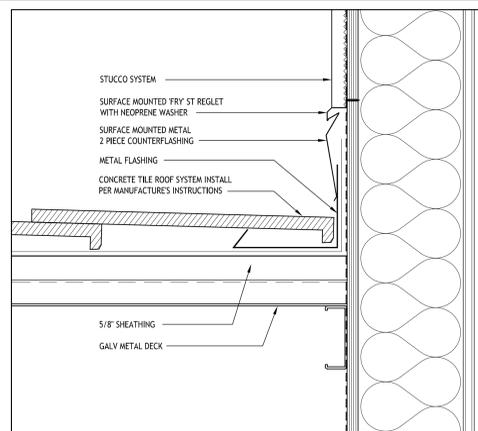
2 TRUSS INSULATION Baffle
SCALE: 3" = 1'-0"



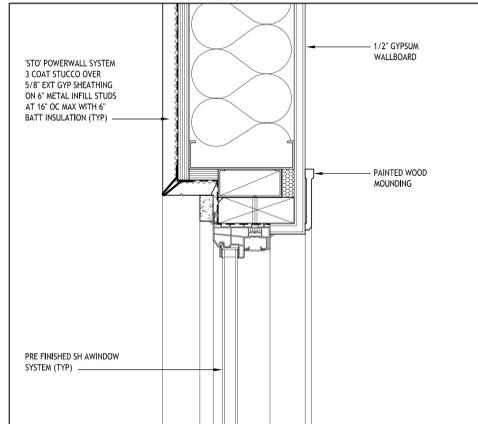
3 RIDGE VENT DETAIL
SCALE: 3" = 1'-0"



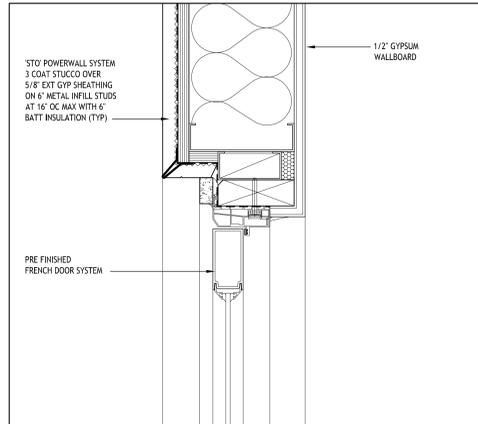
4 ROOF TILE DETAIL @ WALL
SCALE: 3" = 1'-0"



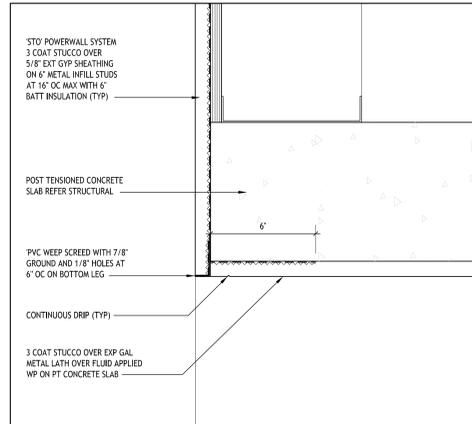
5 ROOF TILE EDGE DETAIL
SCALE: 3" = 1'-0"



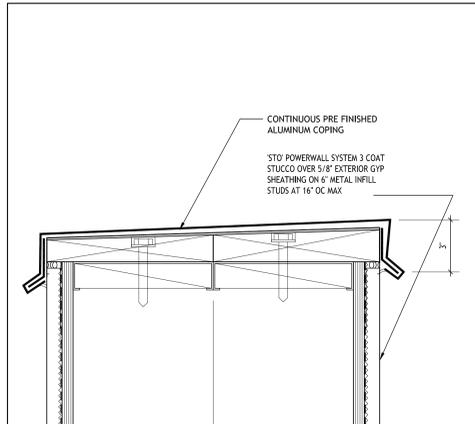
6 WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



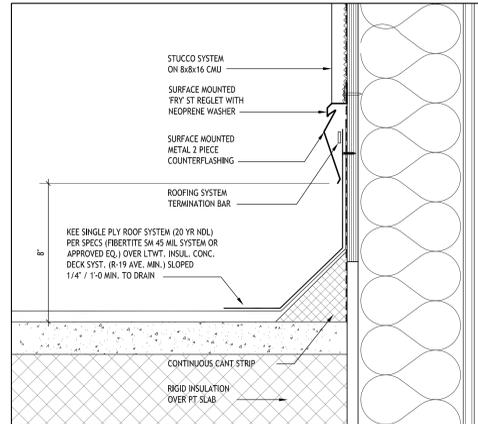
7 FRENCH DOOR HEAD
SCALE: 3" = 1'-0"



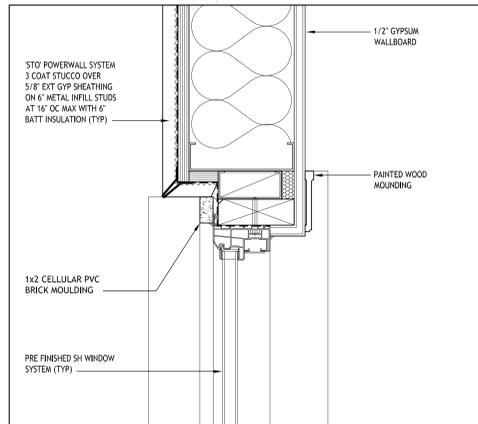
8 PARAPET ROOF SLAB EDGE
SCALE: 3" = 1'-0"



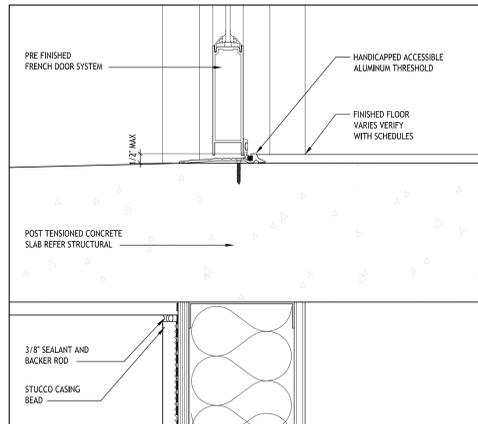
9 TOP OF PARAPET
SCALE: 3" = 1'-0"



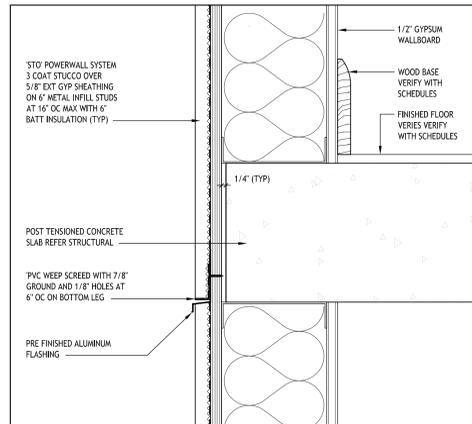
10 CANT/REGLET DETAIL
SCALE: 3" = 1'-0"



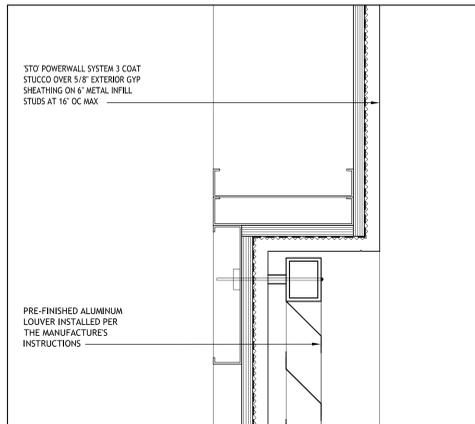
11 WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



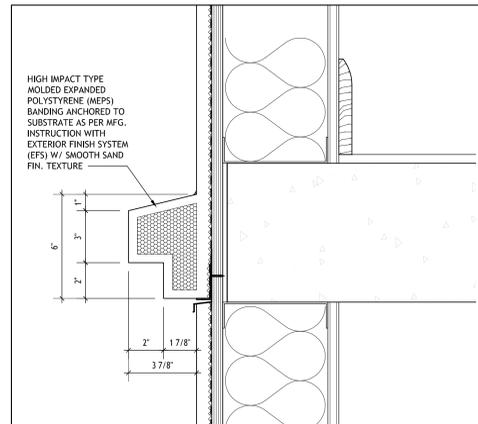
12 FRENCH DOOR SILL AT BALCONY
SCALE: 3" = 1'-0"



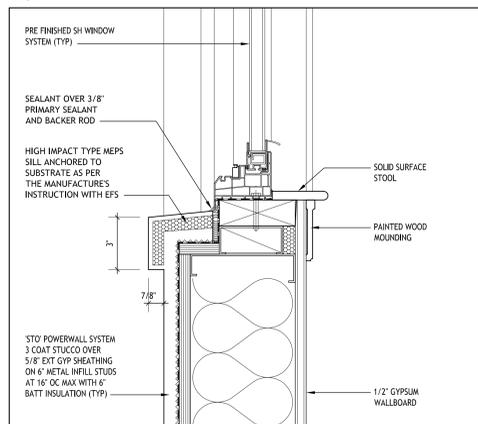
13 FLOOR LINE SCREED DETAIL
SCALE: 3" = 1'-0"



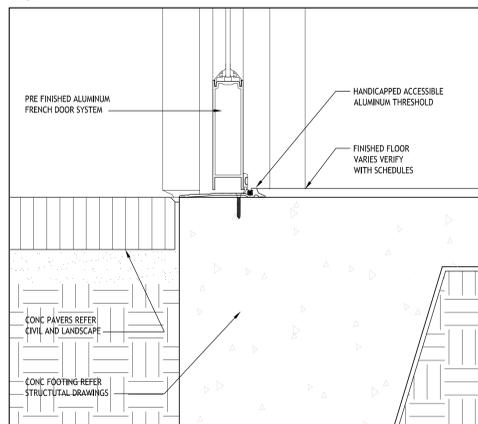
14 LOUVER HEAD AT PARAPET
SCALE: 3" = 1'-0"



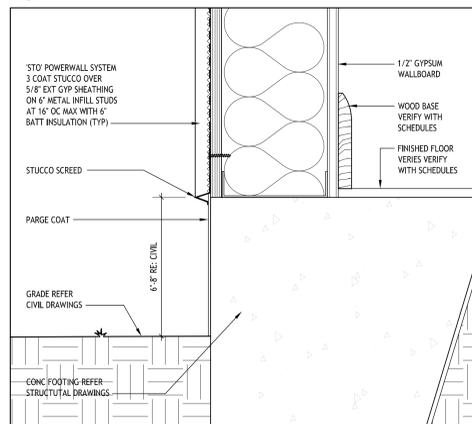
15 TRIM DETAIL
SCALE: 3" = 1'-0"



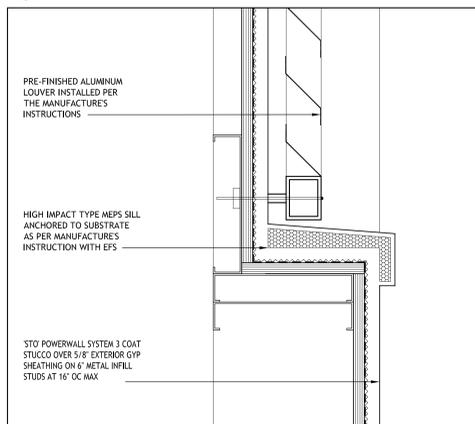
16 WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



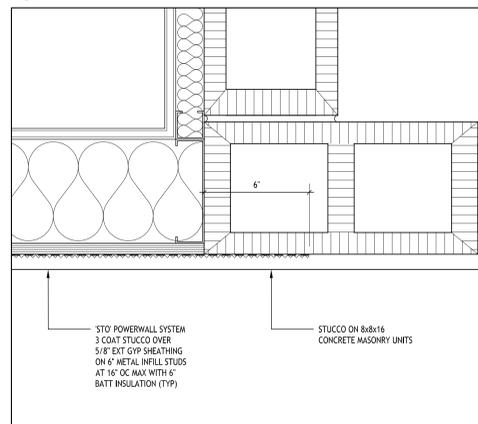
17 FRENCH DOOR SILL AT GRADE
SCALE: 3" = 1'-0"



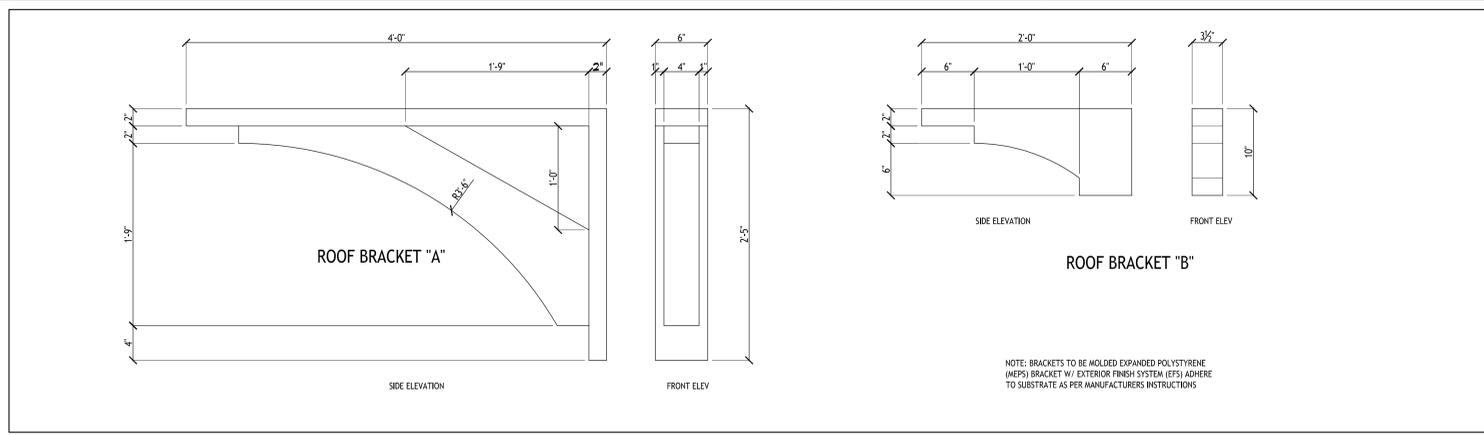
18 SCREED DETAIL AT GRADE
SCALE: 3" = 1'-0"



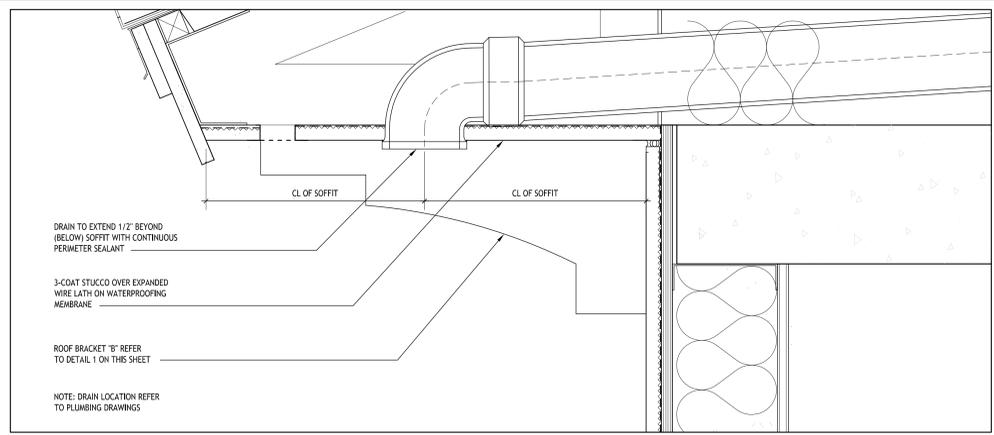
19 LOUVER SILL AT PARAPET
SCALE: 3" = 1'-0"



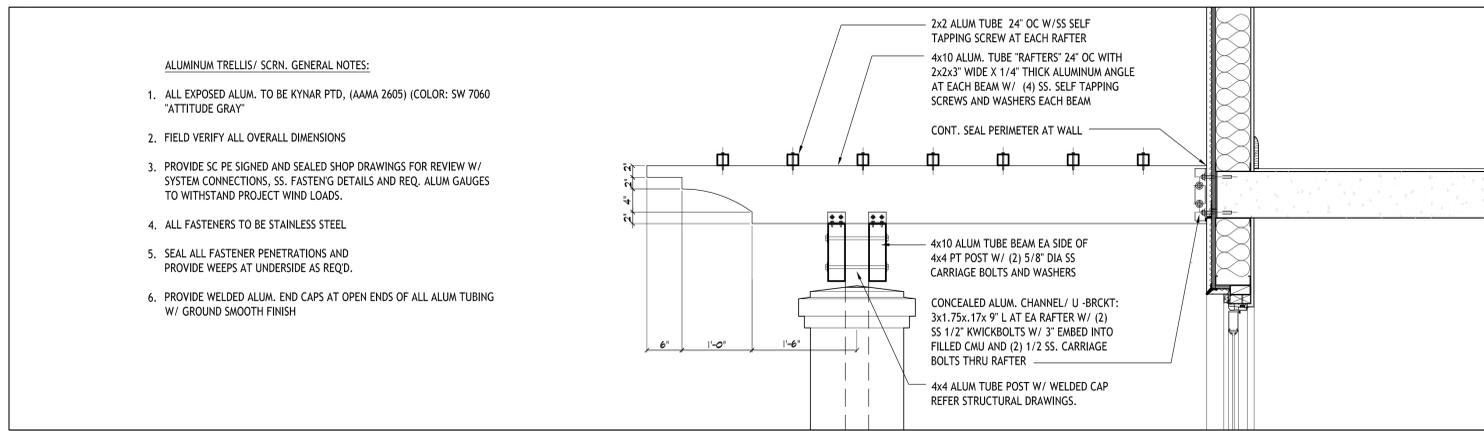
19 MET FRAMING TO CMU DETAIL
SCALE: 3" = 1'-0"



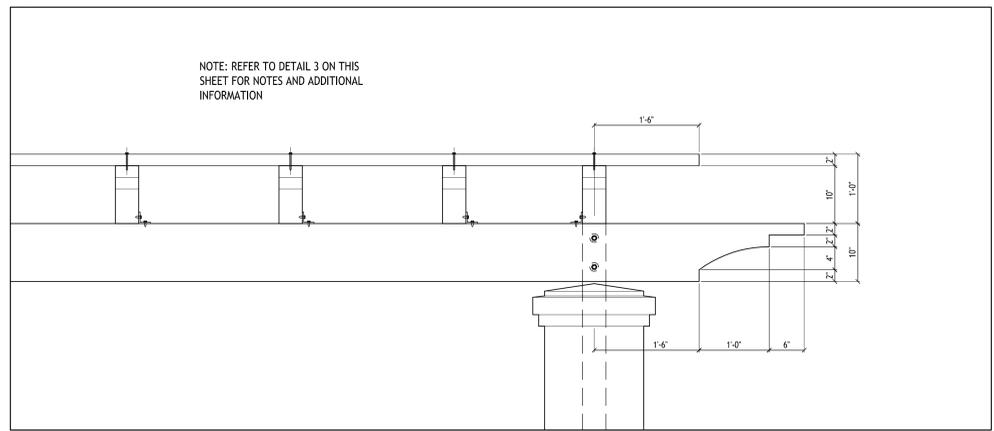
1 MEPS EFS BRACKETS
SCALE: 1 1/2" = 1'-0"



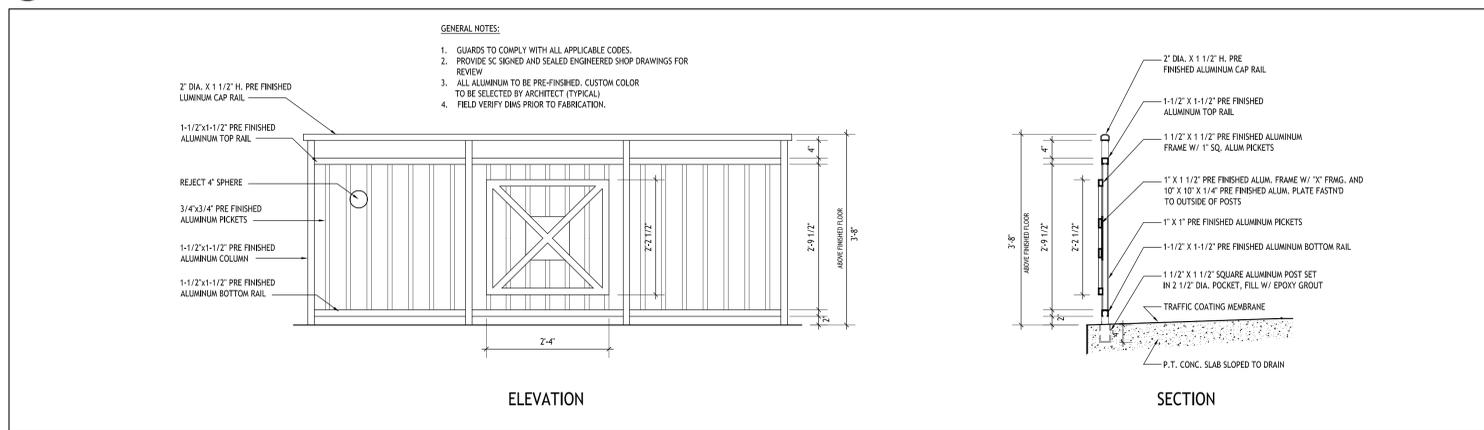
2 SOFFIT DRAIN DETAIL
SCALE: 3" = 1'-0"



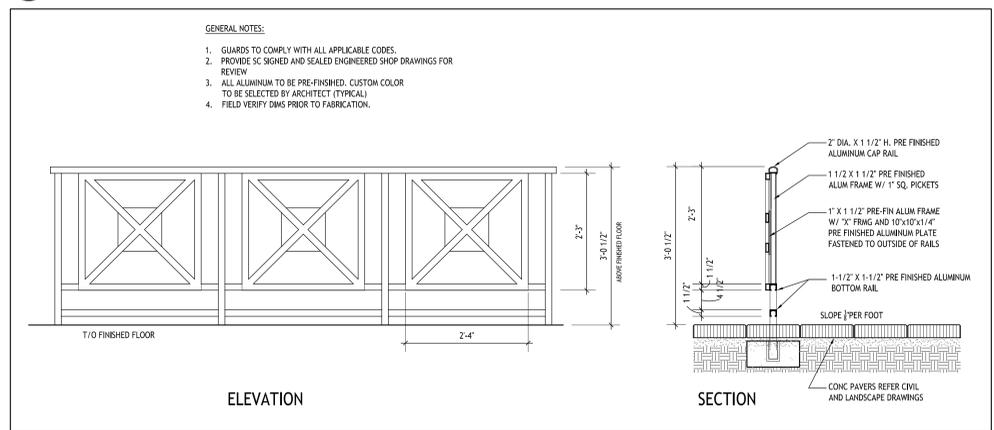
3 TRELLIS SECTION
SCALE: 1" = 1'-0"



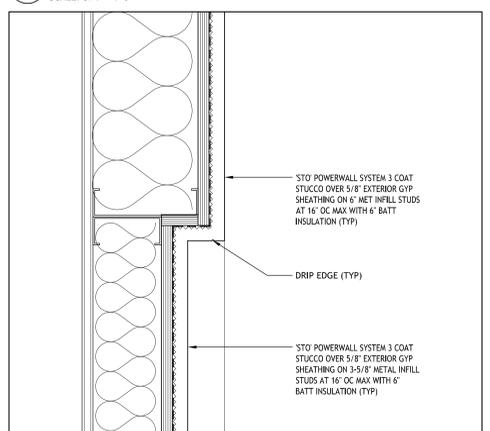
4 TRELLIS ELEVATION
SCALE: 1" = 1'-0"



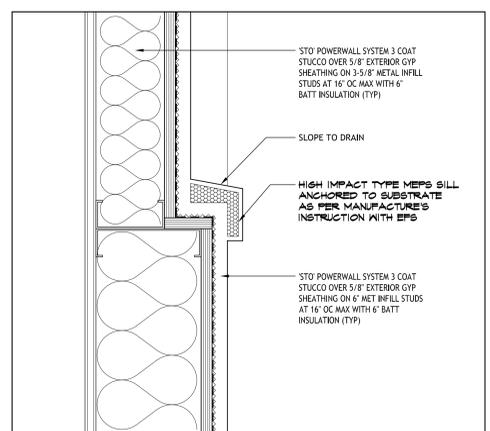
5 BALCONY RAILING DETAILS
SCALE: 3/4" = 1'-0"



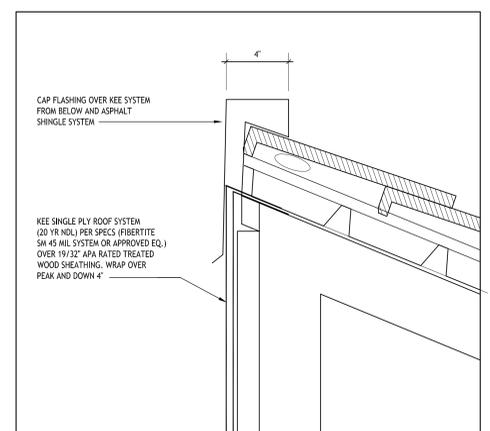
6 GRADE LEVEL RAILING DETAILS
SCALE: 3/4" = 1'-0"



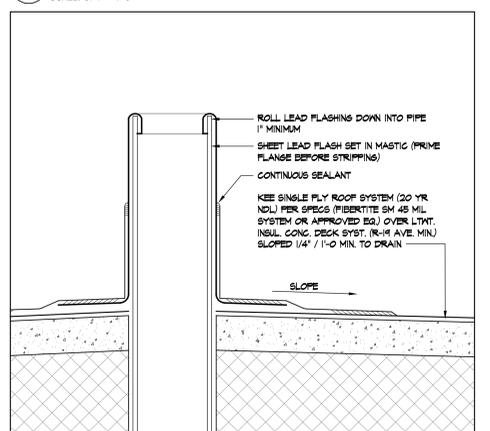
7 FAUX WINDOW HEAD
SCALE: 3" = 1'-0"



8 FAUX WINDOW SILL
SCALE: 3" = 1'-0"



9 SOFFIT DRAIN DETAIL
SCALE: 3" = 1'-0"



10 ROOF PENETRATION DETAIL
SCALE: 3" = 1'-0"

**DRB-000876-2015 THE BAYSHORE ON HILTON HEAD ISLAND
PUBLIC COMMENT**

I am a resident at the Cypress Bay Club and just learned more about the Bayshore development at the old Salty Fare property. Since it will be a close neighbor to my property I have a few concerns that I wanted to share with you.

First, my main concern is the separation of that large development from our single family homes. While I understand there will be landscaping, common sense argues that will not be sufficient to block the noise and other activities that will take place from such a large development.

Some type of wall that would provide a permanent separation or screen between the two properties would seem to be a suitable solution. I do not know what height would be appropriate but something in the 7-9 feet range would seem to be right. I would hope this could be in place before heavy construction begins.

Thank you for considering these comments.

Sam Pruett

9 Hadley Lane

This will comment on the proposed plans for the Bayshore Development on the Salty Fare property:

The landscaping plans for the north Side of the Bayshore facility are not sufficient to protect the adjacent single family property owners. Bayshore should be required to install a solid wall at least 8 feet high in areas where no such wall currently exists. The wall should be completed before construction begins to soften the impact of construction noise. In addition, Bayshore should plant additional shrubs and/or trees to break up our view of the proposed 5-story building.

In previous hearings representatives of Bayshore promised to be good neighbors and to respect the adjacent residential community. We have taken them at their word and have publically supported their project, even though they are requesting a huge increase in zoning density. However, our representatives have emphasized that we required adequate landscaping to protect adjacent residences. The current market value of the 51 homes in the adjacent Bay Club is approximately equal to that of the proposed Bayshore project. We pay taxes to Beaufort County appropriate to our property value. It is important that we not devalue our properties or our quiet neighborhood with unobstructed views and noise from the Bayshore facility.

Bayshore has an obligation to protect our quality of life and our property values in return for our support for the substantial rezoning that they are requesting

Very truly yours,

H. F. Tomfohrde III
11 Hadley Lane
Hilton Head, SC 29926

I concur with all of the points made by H.F. Tomfohrde in his email below. We have many precedents in the Town of Hilton Head Island where solid walls and plantings have been utilized where new developments next to residential neighborhoods have been used to soften the noise and protect the view. The Cross Island Expressway is an excellent example. Bayshore Development has expressed that they

want to be a good neighbor and all of our dealings with them so far have demonstrated they will be a good neighbor. It is my understanding that they don't disagree with the value of constructing the wall but they feel they shouldn't be responsible to build and finance it. Rather we as homeowners should pay for this construction of the wall. We are requesting that the Town Staff and Town Council support our request that the new Business Development by Bayshore should be responsible for the cost of construction of the wall and the necessary trees and plantings.
Thank you for your consideration.

Most sincerely,

Roy Plekenpol
31 Outerbridge Circle
Hilton Head Island, SC 29926

We have been residents in Hilton Head Plantation since retiring here in 2000, and in 2011 we moved to the Bay Club section of The Cypress. We have been very pleased with the life style offered by the The Cypress, and more broadly by Hilton Head Island. However, for the past year or so we have been concerned about the future of the Salty Fare property and its impact on us; and we now believe The Bayshore facility is a good solution to a difficult problem, and we firmly support moving forward with the project.

Both during construction, and after, it is crucial that privacy and activity noise level be managed. For that to happen, a wall with a minimum height of 8' must replace the fence running from the existing wall to the water, and should be built before building construction begins. Clearly the cost of the wall should be a part of the project and should be paid for by the developer, not The Cypress. I would hope the Design Review Board will support requiring a wall as requested.

Thank you for your time and consideration.

Paul & Louise Lang
3 Outerbridge Circle

We have been parts of this community ever since we bought our property in Palmetto Dunes some 27 years ago. Thus, we are appreciative of what the Town of Hilton Head is and what it stands for.

More recently, we moved into the Cypress of Hilton Head, which is, as you well know, one of the premier retirement communities in the nation; our house happens to be just a fence away from the planned Bayshore Development. Whatever general concerns we may have about such a massive project in our immediate vicinity is allayed by our full understanding of the need of its prospective occupants, elderly people just like we are, to be able to retire in such an outstanding town, as well as the needs of the town to have the tax base that allows it to continue to serve us.

The purpose of this letter is to draw your attention to one aspect of the plan you are about to review and, we assume, approve with possible modifications. Specifically, we are addressing the issue of free unimpeded access from the parking area of the Bayshore to our street of individual residences, each of which is occupied by people, some couples and some single ones, who are of advanced age. (We ourselves are in the mid-eighties, and as such, are fairly close to the average age around us.)

Although that is not its intended purpose, this parking area will also afford direct access to any part of the public, including those who may have ulterior motive. Currently, we are protected by the security personnel guarding entrance to the Hilton Head Plantation at the Cypress Gate. Both the sense and the reality of that safety is important to all of us who live at the part of the Cypress, called the Bay Club, and

this is the part that will be directly exposed to possible intrusion from the unsupervised Bayshore parking lot.

Accordingly, we respectfully request that you make your approval conditional on the developer undertaking the construction of a sizeable barrier, in the form of a high wall extending all the way from the end of the current fence to the low water line of the sound. We also suggest that this wall should have security cameras on it with appropriate lighting on the Bayshore side, as needed actively to discourage unauthorized access to the Plantation, and, specifically, to the Bay Club.

Thank you and we appreciate the opportunity to inform you of our concern.

Peter E. and Edith Korda

37 Outerbridge Circle

My late husband and I bought our lovely home No. 27 Outerbridge Circle in The Cypress Bay Club seven years ago. The house is situated over the fence directly opposite the existing buildings. Between the house and those buildings are magnificent live oak trees. While these trees have been a visual beautification, they are not a sound barrier (music from the Boathouse occasionally wafts [one might say, "blares"] over the existing wooden fence).

I appreciate that, while the than prior proposals. The comings and goings of the anticipated large number of approved building is quite large, Bayshore should be an attractive and more appropriate neighbor residents and employees, however, cannot help but raise the sound level of The Bay Club community. Although judicious landscaping may help dampen the noise somewhat, the erection of an 8' to 10' fence would be a far more effective resolution

A 20' segment of an 8' cement wall was erected as a trial by The Cypress at the height of the Salty Dog episode. It is attractive and the developer of the Bayshore facility should, before any construction is permitted or commenced, be required to erect, at its expense a similar fence and extend it all the way to the water.

I would appreciate your forwarding my concerns to the Design and Review Board Members.

Estelle S. Roberts

8 Outerbridge Circle
Hilton Head Island, SC 29926

843-681-4158
lorenecoq@hargray.com

April 30, 2015

Ms. Jennifer B. Ray
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

Subject: Bayshore

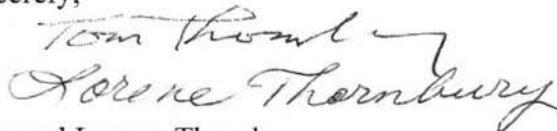
Dear Ms. Ray:

We concur with, support and echo the letters of comment and concern written by the Brants, Tom Tomfohrde, Roy Plekenpol and others who have enumerated the salient points regarding screening between one side of the Cypress Bay Club and the proposed development of Bayshore.

When the sole line of demarcation between a high-end single family neighborhood and a high density multi-story building(s) is merely the property line, it is imperative to have the two types of living separated by a solid wall for construction, noise and sight purposes. The Bayshore principals should consider this as a first step, important and necessary feature for the ambiance of their new project.

We believe the town should make this a relevant factor in its deliberations.

Sincerely,

Handwritten signature of Tom and Lorene Thornbury in cursive script.

Tom and Lorene Thornbury

C.c. Jim Coleman
Karen & Bill Brant
Roy Plekenpol
Tom Tomfohrde

**James W. Mackie
One Outerbridge Circle
Hilton Head Island, SC 29926**

April 30, 2015

Ms. Jennifer B. Ray
Town of Hilton Head Island
One Town Center Court
Hilton Head Island 29928

Re: Bayshore Development

Dear Ms. Ray:

We are writing concerning the Design Review Board meeting addressing the plans for the Bayshore Assisted Living project. We have followed the various proposals concerning the Salty Fare property and support the Bayshore project as the higher and better use of the property. We have concerns about several things that we believe the Design Review Board should consider before approving a final plan for the project.

The near proximity of the project that may contain as many as 200 residents and employees to the single family homes located in the Bay Club section of The Cypress requires sound dampening to assure the tranquility of the neighborhood. The proposal articulated at presentations concerning using landscaping to provide screening is inadequate and should be considered only as providing visual beautification along the perimeter of the property. The only realistic method to reduce the sound levels of any activity taking place at the Bayshore operation is the installation of a wall that is 8 – 10 feet in height. The current wooden fence should be replaced with a properly landscaped wall. With the normal construction noise that will take place during the erection of the Bayshore facility, the wall should be erected prior to initiating construction of the high rise buildings.

The Cypress should not bear any expense in keeping the increase in noise levels at an acceptable level for its homeowners. We are not increasing the density of the population in the area, the developer of the assisted living community is responsible for that and therefore should bear the costs.

We believe that the Bayshore community will be a good neighbor and we look forward to the approval of the design that will ensure the area is upgraded for all the residents, both at Bayshore and The Cypress.

It is our hope that the Design and Review Board members will seriously consider our concerns when reviewing the overall plans for the Bayshore development.

Sincerely,

Clare Frances Mackie

Clare Frances Mackie

James W. Mackie

James W. Mackie

The Cypress of Hilton Head Island Owners' Association
20 Lady Slipper Lane
Hilton Head, SC 29926

April 29, 2015

Town of Hilton Head Island
Development Review Board Members
One Town Center Court
Hilton Head, SC 29928

Dear Development Review Board Members:

The Bayshore project at Salty Fare will be welcomed as a neighbor to The Cypress as it removes the uncertainty of what could have happened there and, in general, we think will be a good land use at this location.

From the beginning, our concerns about the Bayshore plans focused primarily on three things: 1) the size of the building, 2) protecting and saving the specimen live oak trees, and 3) most importantly, adequate screening between a very large building and our one-story single family homes. Now, the scale of the building apparently has been approved and Jennifer Ray assures us that the live oak trees will remain to provide partial screening for the 75' height of the building.

The one issue that remains a concern is the absence of adequate privacy, noise and visual screening at ground level. Many Cypress residents feel strongly that a wall is necessary to accomplish this. Specifically, we request that the Bayshore developers construct an 8' wall beginning at the existing section of 8' wall and continuing to the marsh edge. The existing wooden fence will be removed. It is not important exactly where property lines fall as an easement to accomplish adequate screening can easily be obtained if necessary.

We feel such a wall is necessary, and it is not fair to force The Cypress to bear this expense.

We also believe the wall should be constructed early in the construction process to mitigate the noise, dust, debris, etc. inherent in a construction project of this enormous size and scope so close to a residential neighborhood.

Thanking you in advance for your consideration, I am

Sincerely,



Charles Mattka, President

The Cypress of Hilton Head Island Owners' Association, Inc.

THE BRANTS

29 Outerbridge Circle
Hilton Head Island, SC 29926

843-681-5973
kfhbrant@gmail.com

April 29, 2015

Ms. Jennifer B. Ray
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

Subject: Bayshore

Dear Ms. Ray:

After over 45 years on the Island, a decade or more in Hilton Head Plantation, and most recently, over four years in The Cypress Bay Club, we have actively followed many developments around the Island. We have been pleased with the prospect of the proposed Bayshore development on what has been known as Salty Fare although we do have some concerns we feel we should bring to your attention.

While we have come to accept the idea of a five-story building in close proximity to our home, we believe it is important to continue to provide privacy, and limit disruption of our single-family, quiet residential neighborhood now and into the future. At the moment there is an eight-foot wall section separating our community from part of Salty Fare. With the increase in density that will come with Bayshore, we feel it is important to maintain the ambience, not to mention the value, of the community we chose for our home.

While we understand landscaping is planned, we do not believe landscaping alone will be sufficient to protect The Bay Club from noise either during the construction period or from later Bayshore activity. We feel the section of the wall in place, or one similar to it, should extend along the entire length of the property down to the water. In light of the changes allowed by the Town, and anticipated by Bayshore, the cost of providing the buffer for the added activity and density should certainly not be borne by The Cypress but should be built and paid for as part of the Bayshore project and in place before any construction would begin.

Thank you for your consideration,



William A. Brant



Karen H. Brant

cc: Jim Coleman
Marc Puntererei
Peter Kristian

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Bayshore on Hilton Head Island -
NEW DEVELOPMENT - FINAL

DRB#: DRB-000876-2015

DATE: May 12, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Arcade, covered dining, covered terrace, courtyard, pathways, etc.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gray, beige, light ivory, natural; stucco, wood
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Not specified.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Reconsider porte cochere details and proportions in side elevations.

Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Medallion detail carried through to railings and site details.
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Black fixtures
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster enclosure elevation needs clarification (dimensions, materials, colors); consider taller columns with caps. Building trellis detail should be modified to be more substantial and in keeping with site trellis detail, i.e. wood versus metal, shaped ends, size of members, etc.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D.
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

The separate parking area requires accessible parking per IBC Section 1106.1. An accessible route from this parking area to the building shall be provided per Section 1104.
