



# Town of Hilton Head Island Regular Design Review Board Meeting

January 26, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of December 8, 2015
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
  - A. *Alteration/Addition*
    - World of Beer, DRB-002197-2015
10. **New Business**
  - A. *Sign*
    - Marriott Vacation Club/Surf Watch, DRB-000043-2016
  - B. *Alteration/Addition*
    - 90 Dillon Road Apartments, DRB-000048-2016
11. **Appearance by Citizens**
12. **Adjournment**

*Town of Hilton Head Island*  
*Minutes of the Design Review Board*

**Benjamin M. Racusin Council Chambers**

**December 8, 2015**

**1:15p.m.**

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Michael Gentemann, Kyle Theodore, Brian Witmer, and Ron Hoffman.

Board Members Absent: Debbie Remke

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Richard Spruce, Plans Examiner  
Teri Lewis, LMO Official  
Jill Foster, Deputy Director of Community Development  
Chris Darnell, Landscape Associate  
Heather Colin, DRZ Administrator

**As a Courtesy to Others Please Turn Off All Cell Phones and Pagers  
during the Meeting**

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**1. Call to Order**

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm**.

**2. Roll Call**

See as noted above.

**3. Freedom of Information Act Compliance**

The Town has met all Freedom of Information Act requirements for this meeting.

**4. Approval of the Agenda**

The Board **approved** the agenda as **amended** by general consent.

**5. Approval of Minutes**

The Board **approved** the minutes of the **November 10, 2015** meeting by general consent.

**6. Staff Report**

None.

**7. Board Business**

### ***A. Purple Fountain***

Mr. Chris Darnell presented a request on behalf of the Pancreatic Cancer Network. The request is to allow public and private fountains to have colored water for awareness to certain causes such as pancreatic or breast cancer, and celebrations such as St. Patrick's Day and Valentine's Day. He suggested the events should be tied to Town Proclamations and holidays only. Issues for the board to consider are requests that would be made by other groups with similar awareness needs, and requests by private fountain owners for various reasons. He indicated that Facilities Management staff would not support the Town fountains as participating due to possible damage from the dye or cleaning agents. Staff clarified that the board was being asked to determine if fountains within the Corridor could contain colored water if it is in conformance with the Design Guide.

Mr. Richard Boccabella, representing the Pancreatic Cancer Network, spoke in favor of the request and indicated that an MSDS Data Sheet on some dyes indicates no hazardous materials in the dyes.

The Board discussed the possibility of private fountain owners being allowed to do this even if the Town chooses not to participate with public fountains. Most board members indicated they were generally in favor of such a request for special occasions and holidays only, and questioned how to limit the occasions. They also expressed concern that colored water does not meet the Design Guide unless it would be done in a special manner. The Board requested staff to return at the next meeting with more information as to how this could be done procedurally.

## **8. Old Business**

### ***A. Alteration/Addition***

- **Dairy Queen Renovation, DRB-002037-2015**

Ms. Ray introduced the project and stated its location: 1018 William Hilton Parkway. The applicant proposes to paint the EFIS frame around the windows in a lighter building color to match the main body color of the building and add a bronze metal strip to cover the existing wood frame.

Ms. Ray presented an in-depth review of the project. The Board had previously approved this project. However, during construction, changes were made that were not consistent to the approved plans. Ms. Ray outlined those changes as described in the packet. Staff recommends approval of the project as submitted.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Kaylynn Kim presented statements regarding the small size of the installed awning, the dark color of the EFIS, and possibly adding a bronze metal strip to cover the existing window frame.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board's discussions centered on the unapproved color of tile that had been installed (too bright of red), and those issues mentioned by the applicant.

A **motion** was made by Mr. Strecker to **approve** application DRB-002037-2015 with the following conditions: 1) window frames and stucco trim to remain as constructed; 2) awnings to be widened to extend 4 to 6 inches past the edge of the stucco trim; 3) red tile under the drive thru window be replaced or covered over with new tile more in keeping with the color scheme originally approved, and new tile product and detail to be reviewed and approved by staff.

Ms. Theodore **seconded** the motion and the **motion passed** with a vote of 6-0-0.

## 9. Unfinished Business

### A. *New Development - Final*

- **Home 2 Home Suites by Hilton, DRB-002016-2015**

Ms. Ray introduced the project and stated its location: 1 Marina Side Drive. The project consists of construction of a new multi-story hotel. This project was previously discussed at the November 10<sup>th</sup>, 2015 meeting where no official action was taken.

Ms. Ray presented an in-depth review of the project, including changes to the submission since its last review and as described in the packet. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Tom Morgan and Mark Tate presented statements regarding a few issues including proposed changes to landscaping in islands, the lighting design, and the roof design.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board complimented the applicant on changes to the project since their last presentation. The Board presented comments regarding the proposed location of dormers and gables on the front elevation; design of two types of brackets in relation to each other; consideration of strengthening the ornamental fence for better durability; location and functionality of sidewalks; narrowness of the landscape bed between the driving lane and the smoking area; density and height of landscaping in relation to the scale of the building; brightness of the can lights in the canopy; the commercial look of the pool area lights; and those conditions raised by Ms. Ray.

A **motion** was made by Mr. Hoffman to **approve** application DRB-002016-2015 with the following conditions: 1) any exposed utility equipment be screened or painted dark green; 2) larger landscaping be placed in the front of the building; 3) shade trees under specimen trees be removed and pervious pavers be put around them; 4) lighting be toned down under the entrance

canopy and around the pool to bring it into compliance with LMO guidelines and be resubmitted to the Board for final review/approval; 5) crosswalk is going to be continuous; 6) brackets be consistent, not identical.

Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

## 10. New business

### A. *New Development - Final*

- **Shelter Cove Apartments 1, DRB-002149-2015**

*(Ms. Theodore recused herself from review of application DRB-002149-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 40 Shelter Cove Lane. This project received Conceptual approval on December 9, 2014 with conditions. The project is a 4 story, multi-family building. The Shelter Cove ARB has approved the project.

Ms. Ray presented an in-depth review of the project including changes made since the Board's last review. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet. Ms. Ray pointed out that she received details on the bird watching pavilion since the packet was distributed to the Board, and that it may require Town Council approval if it is on Town-owned land.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Trey Griffin of Wood+Partners and John Lee of Blanchard Calhoun Commercial complimented Ms. Ray on her presentation and had nothing to add.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board complimented the applicant on changes since their last review, and presented comments regarding the proposed landscaping and the need to be mindful of installing trees that do not require heavy pruning due to the power easement; the large amount of gray on the building; the door color; small width of bath house elevations; and those conditions raised by Ms. Ray.

A **motion** was made by Mr. Strecker to **approve** application DRB-002149-2015 with the following conditions: 1) more of the 'Edamame' (SW 7729) color be incorporated into the building siding to the extent possible; 2) final color locations be reviewed and approved by staff, reducing the amount of 'Anew Gray' (SW 7030) used on the building; 3) more trees and landscaping added between the building and Shelter Cove Lane; 4) landscaping be added around the power pole at the intersection with Shelter Cove Lane; 5) almond vinyl windows be changed

to wood or aluminum; 6) vinyl railing be changed to wood or aluminum; 7) all doors be ‘Edamame’ (SW 7729) in color; 8) cupolas at the toilets and the pool buildings be increased in size such that the narrow dimension is more approximately the same as what is shown on the wider dimension; 9) add 6” caliper live oaks in predominant locations.

Chairman Gartner **seconded** the motion and the motion **passed** with a vote of 5-0-0.

- **Sea Turtle Marketplace, DRB-002201-2015**

*(Ms. Theodore recused herself from review of application DRB-002201-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 430 William Hilton Parkway. This project received Conceptual approval from the DRB on October 13, 2015 with conditions. The project consists of redevelopment of a shopping center.

Ms. Ray presented an in-depth review of the project, including changes since the Board’s last review, and as included in the packet. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff’s presentation, Chairman Gartner requested that the applicant make a presentation. Eric Walsnovich of Wood+Partners and James Atkins of Court Atkins Architects presented statements regarding some issues that were changed as requested by the Board; and emphasized they went through an extensive planning process to save as many worthwhile trees as possible.

Following the applicant’s presentation, Chairman Gartner requested comments from the Board. The Board presented comments regarding Ms. Ray’s recommendations, and certain items they felt necessary to return for further review. They acknowledged that they wish to minimize delay to the scheduling of the project with additional reviews. In addition, they discussed concerns with the lack of enough variation with slopes of the anchor and retail store roofs; the height of some of the store roofs in relation to each other; the small width of the brick element at the center of building F and its lack of prominence in proportion to the adjacent columns. They also requested the need for shielding of HVAC units in service yards. The Board also suggested that the applicant bring all details to the January meeting, including hardscape; lighting; roof line from junior anchor 1 to 2; façade on buildings F & G; additional detail on rear façade of the buildings; and overall colors.

***B. Alteration/Addition***

- **Improvements at Simmons Fishing Camp, DRB-002184-2015**

*(Mr. Witmer recused himself from review of application DRB-002184-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 11 Simmons Road. The applicant proposes to repaint and expand the existing building and add a new fireplace and pavilion.

Ms. Ray presented an in-depth review of the project. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Don Baker of Square Feet Island Architects, Judd Carstens of Witmer Jones Keefer, and Brendan Riley, restaurant owner, presented statements regarding challenges with an 11.7 foot MSL; the 50% substantial improvement rule which entails keeping the building unchanged as much as possible; dealing with an existing roof color and proposed building colors; and the wish to keep the massive live oak trees.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board indicated their understanding in regard to the challenges mentioned by the applicants, and complimented the proposed improvements. They presented comments regarding the entry elevation, and the recommendations mentioned by staff. They emphasized that the color of the building will be important, and expressed concerns with the 'Grand Canal' (SW 6488) color as needing to be an accent color only and not as the building color. The Board expressed concern that it does not meet the Design Guide—the color must be more nature blending.

A **motion** was made by Chairman Gartner to **approve** application DRB-002184-2015 with the following conditions: 1) project will be resubmitted to the Board with specifying colors for shutters, service yard, building body, trim color, and column color; 2) submit a lighting plan, if any, for DRB approval; 3) submit a detail for the service yard which should be board and batten; 4) submit details for louvers, windows, doors, fireplace, columns; 5) consider additional natural looking landscape at the end of the fireplace and at service yard; 6) if the parking changes in DPR, that will be resubmitted to DRB for approval.

Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

- **Hilton Head Ward Addition – LDS Church, DRB-002188-2015**

*(Mr. Witmer left the meeting at this point.)*

Ms. Ray introduced the project and stated its location: 2800 Meeting Street. The applicant proposes a 3906 square foot addition in the same style as the existing building.

Ms. Ray presented an in-depth review of the project. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Mike McCloud of Michael R. McLeod Architects presented statements regarding the color of the storefront doors and windows. He indicated that the church prefers the proposed white color to the storefront doors and windows, as opposed to staff's recommendation of remaining bronze.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board agreed with Staff's recommendations regarding the color of existing and proposed windows and doors and expressed concern to impacts of parking on an existing tree.

A **motion** was made by Mr. Strecker to **approve** application DRB-002188-2015 with the following conditions: 1) the 18" oak tree at the parking area at the west side of building addition be retained and parking revised to accommodate it, and pervious pavers added if necessary for the life of the oak; 2) add trees in parking lot medians and other areas adjacent to parking lot; 3) upsize plant material to larger container size; 4) replace some proposed plant material with native species and more variety in sizes; 5) all revised planting to be reviewed and approved by staff; 6) existing bronze storefront doors and windows should remain bronze; 7) new aluminum storefront and windows should be bronze to match existing; 8) provide cut sheets for any exterior building lighting to be reviewed and approved by staff .

Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

### *C. New Development - Conceptual*

- **Coligny District Redevelopment (Northwest Quadrant), DRB-002170-2015**

*(Ms. Theodore recused herself from review of application DRB-002170-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 90 Pope Avenue. The applicant proposes construction of a new public park.

Ms. Ray presented an in-depth review of the project. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Trey Griffin of Wood+Partners and Gene Bell with Watson Tate Savory did not have anything to add and complimented Ms. Ray's presentation.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board complimented the proposed park design and elements and presented comments regarding the proposed gutters and downspouts in relation to where the water would go; the central monitor is out of scale at the restroom building; pedestrians and bikers must be accounted

for; and suggested oceanside Coligny Beach Park elements could be incorporated into this design.

A **motion** was made by Chairman Gartner to **approve** application DRB-002170-2015 with the following conditions: 1) restudy location of tree wells at restroom building drop-off to provide maintenance vehicle access to park; 2) change playground sails to non-white color; 3) restudy battered columns at restroom building and site elements to utilize Coligny Beach Park details; 4) restudy restroom building roof monitor central element; 5) restudy museum 1 ½/12 roof pitch.

Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 4-0-0.

### **11. Appearances by Citizens**

None.

### **12. Adjournment**

Chairman Gartner adjourned the meeting at 5:50pm.

Submitted by:

Approved by:

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Eileen Wilson  
Administrative Assistant

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Jake Gartner  
Chairman

**Note: A digital recording of this meeting is available at Town Hall for more information.**



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: John A. Harrop Company: Jon W. Summer, AIA  
 Mailing Address: 3921 Old Lee Highway City: Fairfax State: VA Zip: 22030  
 Telephone: (703) 591-0747 Fax: \_\_\_\_\_ E-mail: john.harrop@jas-arch.com  
 Project Name: World of Bobor Project Address: 30 Shelter Cove Lane #140  
 Parcel Number [PIN]: R520 012 00B 0026 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

2/11/2016  
\_\_\_\_\_  
DATE

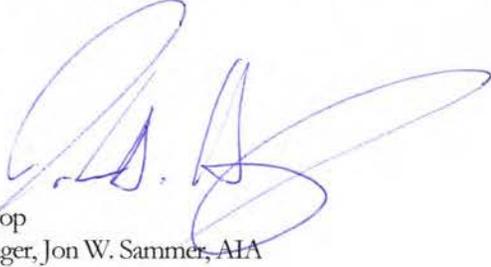
January 11, 2016

RE: World of Beer #DRB-002197-2015  
30 Shelter Cove Lane, 140  
Shelter Cove Town Center  
Hilton Head, SC 29928

The attached Design Review Board (DRB) submission is for exterior patio alterations for the proposed World of Beer in the Shelter Cove Towne Center. The exterior patio improvements are limited to painting the metal frame and picket railing systems black. Painting the railing system black will be in keeping with the World of Beer alternate patio railing design and will create a contrasting background element for the landscaping around the rails to stand out more as a design element.

Please give me a call at (703) 591-0747 ext. 110 if any of the above is unclear or if you require any additional information.

Sincerely,



John A. Harrop  
Project Manager, Jon W. Sammer, AIA

CC: Shawn Hollywood, World of Beer Franchising  
Nikki Hill, World of Beer Franchising



EXAMPLE OF PATIO RAILING APPLICATION

MATERIALS:  
METAL FRAME,  
POSTS, & PICKETS  
COLOR: BLACK

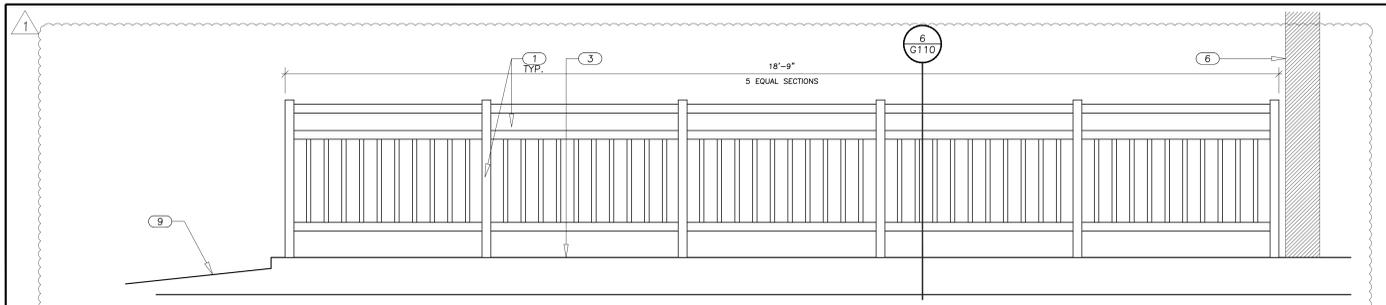


EXAMPLE OF PATIO RAILING APPLICATION

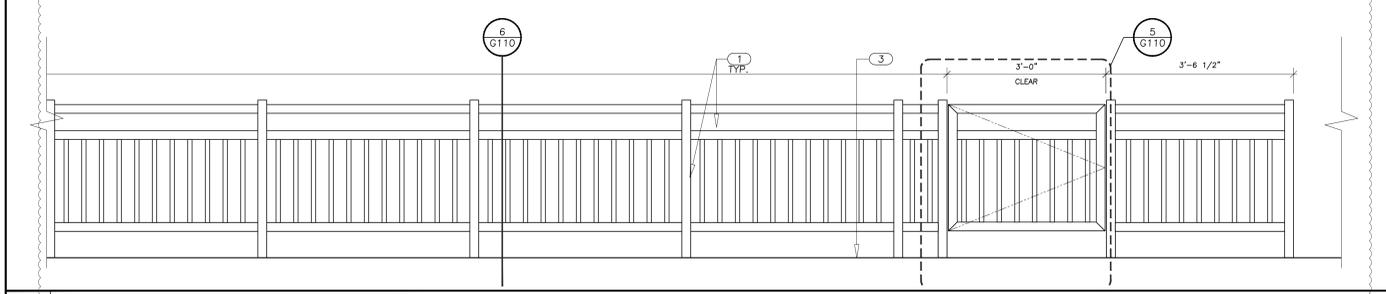
WORLD OF BEER  
30 SHELTER COVE LANE #140  
HILTON HEAD ISLAND, SC

JAS ARCHITECTURE  
DATE: 01/11/2016

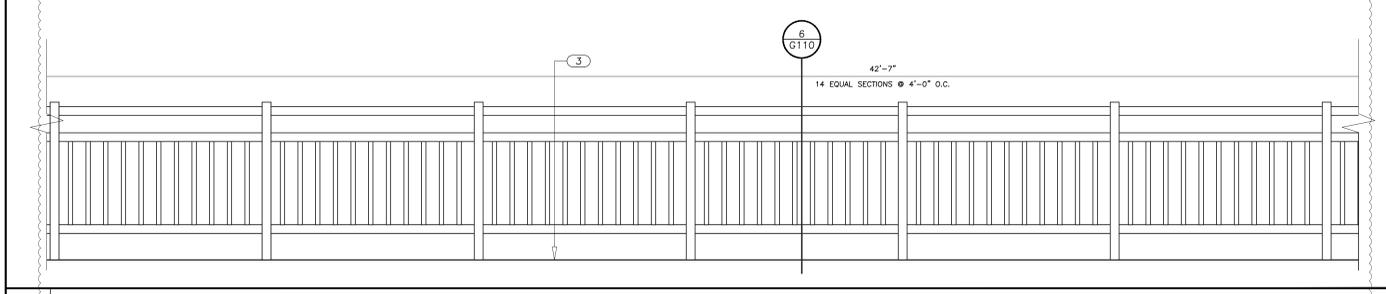
JON W. SAMMER, AIA  
3921 OLD LEE HIGHWAY,  
SUITE 72-B  
FAIRFAX, VIRGINIA 22030  
703-591-0747



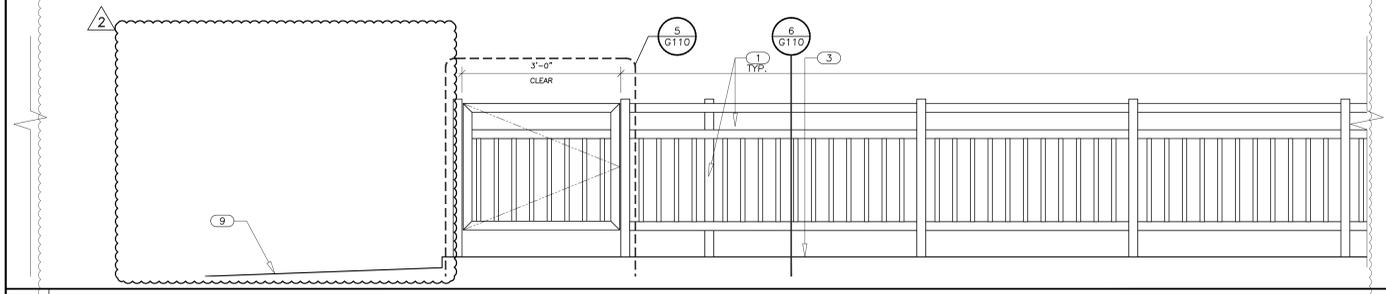
1 PATIO RAILING ELEVATION SCALE: 3/4" = 1'-0"



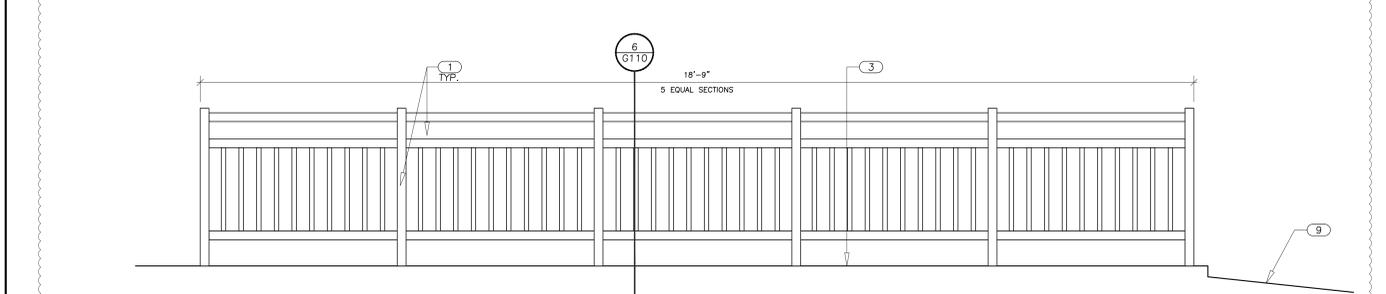
2A PATIO RAILING ELEVATION SCALE: 3/4" = 1'-0"



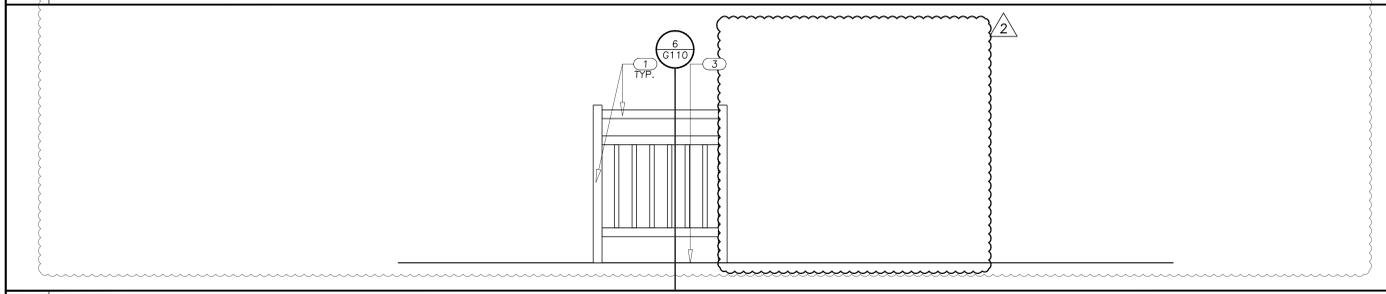
2B PATIO RAILING ELEVATION SCALE: 3/4" = 1'-0"



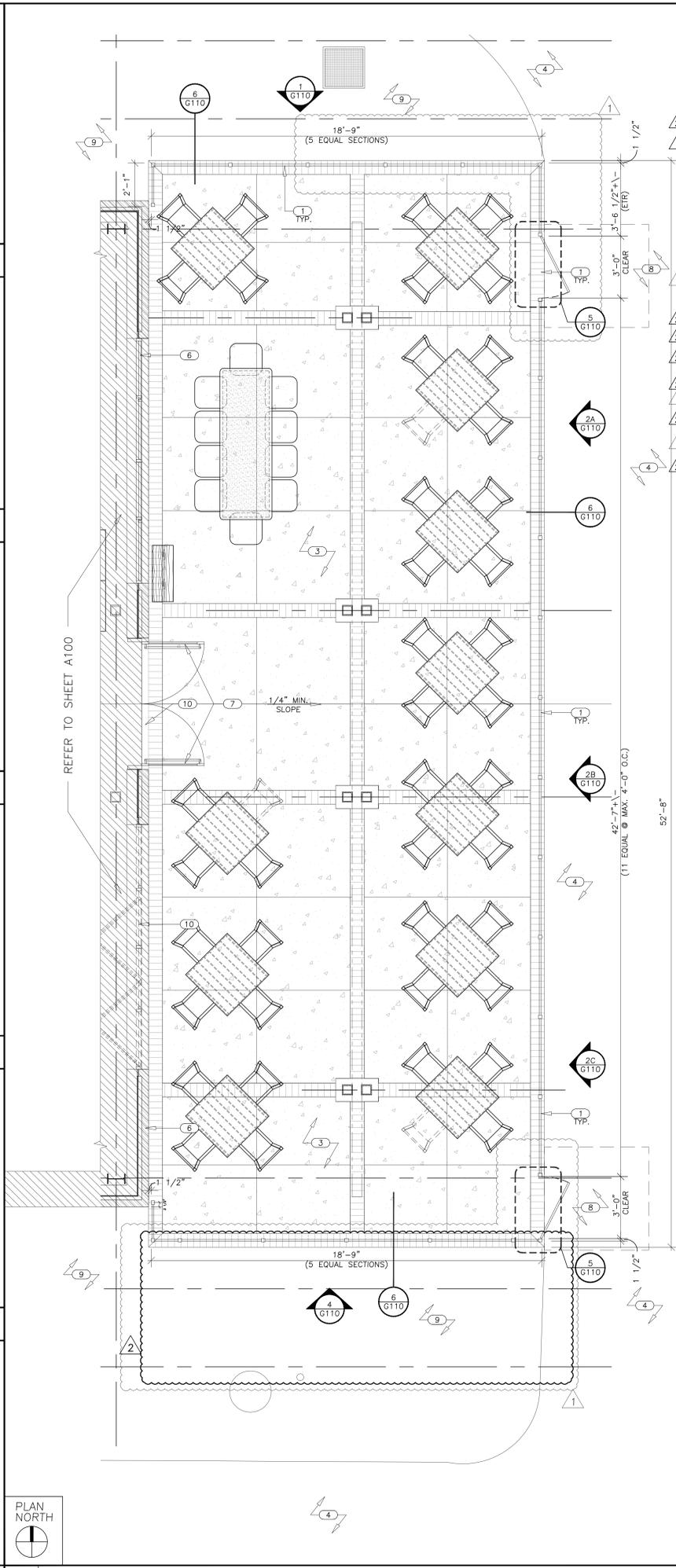
2C PATIO RAILING ELEVATION SCALE: 3/4" = 1'-0"



3 PATIO RAILING ELEVATION SCALE: 3/4" = 1'-0"



4 PATIO RAILING ELEVATION SCALE: 3/4" = 1'-0"



A ENLARGED PATIO PLAN SCALE: 3/8" = 1'-0"

GENERAL NOTES

- A. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- B. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

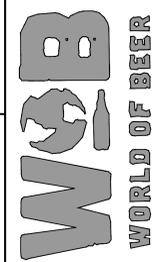
KEY NOTES

- | #  | DESCRIPTION   |
|----|---|
| 1  | GALVANIZED METAL RAILING COLOR BLACK - REFER TO DETAIL 6/G110.  |
| 2  | GALVANIZED METAL GATE WITH GRAVITY HINGES COLOR BLACK - NO LATCH. SEE DETAIL 5/G110.  |
| 3  | EXISTING PATIO TO REMAIN.   |
| 4  | CONC. SIDEWALK - REFER TO SITE PLAN. PROVED MIN. 5'x5' LEVEL CONCRETE PAD AT ALL EXITS.   |
| 5  | NEW PATIO EXTENSION TO MATCH EXISTING PATIO - PROVIDE POSITIVE SLOPE AWAY FROM BUILDING - REFER TO LANDSCAPE DRAWINGS.                            |
| 6  | BUILDING PERIMETER WALLS - REFER TO CONSTRUCTION PLAN.  |
| 7  | PATIO STOREFRONT WINDOW/DOOR SYSTEM TO REMAIN.  |
| 8  | 5'x5' LEVEL CONCRETE PAD @ EGRESS LOCATIONS.  |
| 9  | LANDSCAPE BED REFER TO WOB APPROVED LANDSCAPE PLANS & CIVIL DRAWINGS.   |
| 10 | H.C. ACCESSIBLE ALUMINUM THRESHOLD.   |
| 11 | NOT USED.   |
| 12 | 1 1/2" SQ. ALUMINUM RAILING - COLOR BLACK- REFER PLAN A ABOVE FOR SPACING.  |
| 13 | 1/2" ALUMINUM PICKETS @ 4" O.C. MAX. - COLOR BLACK.   |
| 14 | GRAVITY HINGE BOLTED TO GATE & POST (TOP & BOTTOM).   |
| 15 | 1/8" ALUMINUM KICKPLATE ON PUSH SIDE - COLOR BLACK.   |
| 16 | 1 1/2" SQ. ALUMINUM GATE FRAME - COLOR TO MATCH RAILING.  |
| 17 | 3" WIDE x 6" HIGH 1/8" ALUMINUM STRIKE PLATE BOLTED TO OPPOSITE SIDE OF HINGES (NO LATCH HARDWARE ALLOWED) - COLOR BLACK.                         |
| 18 | ALUMINUM ESCUTCHEON PLATE WELDED TO VERTICAL RAILING - ATTACH ESCUTCHEON PLATE TO PORCH SLAB W/ (3) 3/8" DIA. GALVANIZED REDHEAD EXPANSION BOLTS. |
| 19 | NOT USED.   |
| 20 | CORE DRILL SLAB & SET RAILING IN NON-SHRINKING EPOXY GROUT.   |

**JON W. SAMMER**  
ARCHITECT, AIA  
3921 OLD LEE HWY  
SUITE 72-B  
FAIRFAX, VIRGINIA 22030  
(703) 591-0747

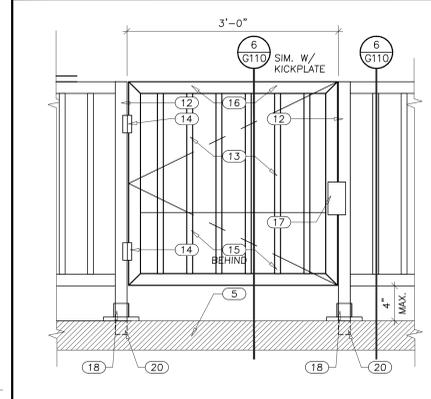
SUBMISSION AND REVISION DATES	
NUM.	DESCRIPTION
9/29/2015	ARB SUBMISSION
11/23/2015	PATIO EXPANSION
01/07/2016	PATIO REVISIONS

REVISION SYMBOLS	
□	DOES NOT APPLY TO THIS SHEET
■	APPLIES TO THIS SHEET

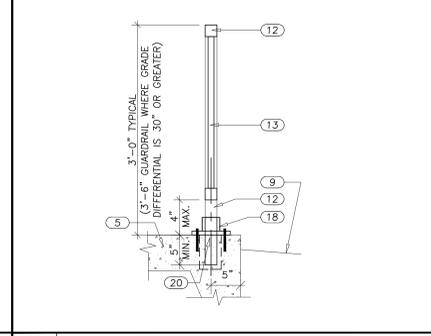


HILTON HEAD, SOUTH CAROLINA

SEAL:



5 GATE ELEVATION SCALE: 1" = 1'-0"



6 RAILING SECTION SCALE: 1" = 1'-0"

I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF SOUTH CAROLINA, LICENSE NUMBER 5390, EXPIRATION DATE 06/30/2017.

SCALE: AS SHOWN  
UNO  
PROJECT NO. WBHH\_1502  
SHEET TITLE ENLARGED PATIO, PLAN & DETAILS  
SHEET

G110

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: World of Beer – ALTERATION/ADDITION

DRB#: DRB-002197-2015

DATE: January 26, 2016

RECOMMENDATION: Approval  Approval with Conditions  Denial   
RECOMMENDED CONDITIONS:

Applicant proposes to modify previously approved patio railing detail to a metal frame with picket railing. The original proposal included a rail detail with black aluminum railing and cypress rails. DRB approved the project with a condition that railing and planters should be painted to match the building (SW 6159 'High Tea'). The revised detail is a standard metal railing. Based on revised detail, the use of black metal railings in other portions of SCTC, and the use of black in the proposed signage, staff recommends approval of proposed black railing.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	1/12/16
Accepted by:	DT
DRB #:	43-2016
Meeting Date:	

Applicant/Agent Name: ALEX SINEATH Company: DESIGNEATH, INC  
 Mailing Address: 14 SPARROW HAWK CT City: HHI State: SC Zip: 29926  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-mail: designearth@roadrunner.com  
 Project Name: MARLOTT VACATION CWB/SURFWATCH Project Address: 605 WILLIAM HILTON PKWY  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

***Digital Submissions may be accepted via e-mail by calling 843-341-4757.***

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

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- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
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- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
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**Alterations/Additions**

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- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
  - Location, fixture type, and wattage of any proposed lighting.

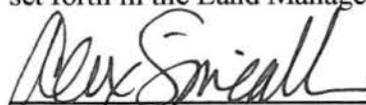
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

JAN-12, '16  
\_\_\_\_\_  
DATE

January 12, 2016

Town of Hilton Head Island  
Design Review Board

RE: SurfWatch trailblazer sign/ 278 frontage

The existing monument sign providing direction to SurfWatch is nestled in a mature landscape and serves better as a visual screen than as a sign. Many guests have complained through the years about not noticing the sign and experiencing difficulty locating the property. After studying the existing condition, we propose the following.

Eliminate the copy on the existing sign by blanking out the panels and leaving the fig vine to grow onto the panels as it has the columns, thus maintaining the screening effect of the structure.

Build a new structure closer to the road projecting forward from the existing low retaining wall. The new sign is double-faced and perpendicular to the road. The sign will be illuminated by 2 wash lights on either side and positioned to eliminate glare from the passerby.

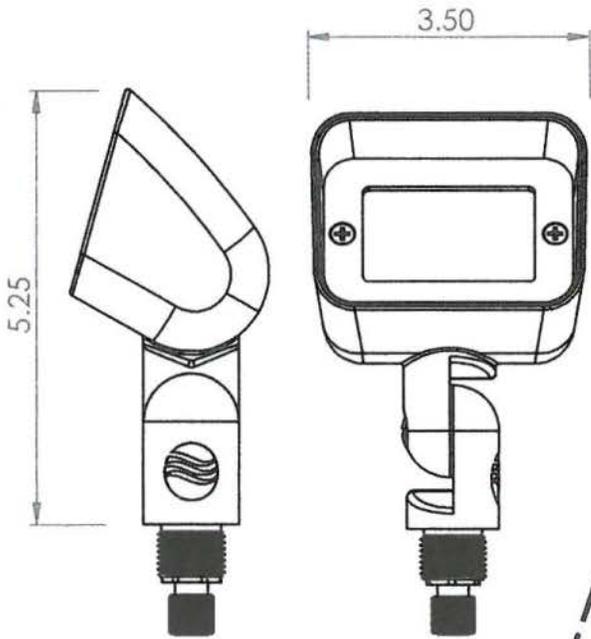
The existing large rose bushes are to be relocated in front of the existing sign structure.

The propose new sign brings the "brand" into conformity with Marriott's Vacation Club and will be more effective in directing guest to the property.

Thank you for your consideration.



**WASH LIGHT**



WL



Available Finishes

**WASH LIGHT**  
UP-LIGHT & DOWN-LIGHT WALL WASHER

**Size (H x W):** 5.25in x 3.5in    **Weight:** 2.0 lbs  
**Construction:** Solid Brass    **Voltage:** 7-18VAC/7-24VDC

**Finish:** Beaded, Vintage, White, Nickel, Copper  
**Shroud:** Integrated Glare Shield with Gasket  
**Lamp:** Thermally bonded CREE module (replaceable)  
**Wattage:** 2.5W(246lm)/4W(352lm),  
5W(458lm)/8W(630lm)/10W(730lm) (switchable)  
**Color Temperature:** 2700K, 3000K  
**Lens:** Clear, Frosted (both included)  
**Mounting:** Stake, Tree Mount, Wall Mount (optional)  
**Connection:** Patented Coastal Mini Connector™ (CMC)  
**Warranty:** 5-Year Limited Warranty\*



COLOR:  
VINTAGE  
10 W/  
2 FIXTURES  
PER SIDE

\*Lifetime Warranty for certified installations. See terms and conditions of sale for details.

**CS OFFICE LOCATIONS**

[www.coastalsource.com](http://www.coastalsource.com)

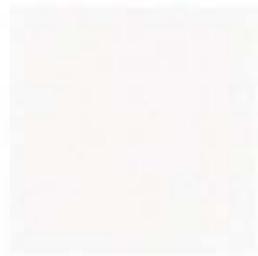
**New Jersey**  
1270 Glen Avenue  
Moorestown, NJ 08057

**Florida**  
11450 Overseas Highway  
Marathon, FL 33050

Please visit [coastalsource.com](http://coastalsource.com) for more information or call us at 1-800-719-1996. You will always be pleased you purchased a Coastal Source product.



PHOTOS @ EXISTING SIGN - Y-FORMATION.



SW 6057  
Malted Milk



SW 7004  
Snowbound



Logo colors to be same  
as approved for  
Welcome Center.

TURN AROUND

Directional information heading north



End View

Elevation of trailblazer sign heading south

January 11, 2016

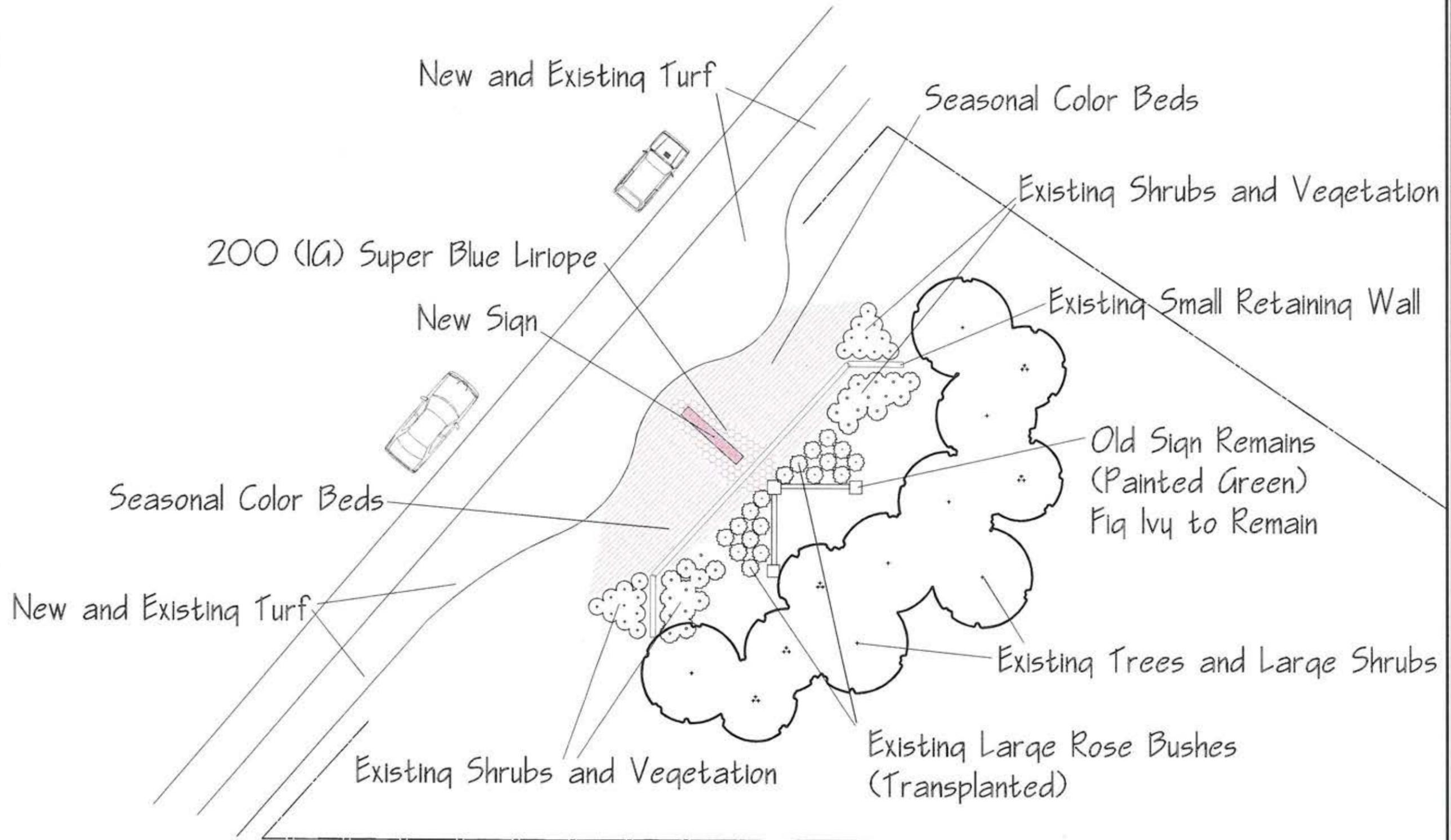
**DESIGNEATH**

14 SparrowHawk Court  
Hilton Head Island, SC 29926

Alex Sineath, Design Consultant

843.384.8200

designearth@roadrunner.com



Scale: 1" = 8'

The Greenery, Inc.  
PO Box 6569  
Hilton Head Island SC



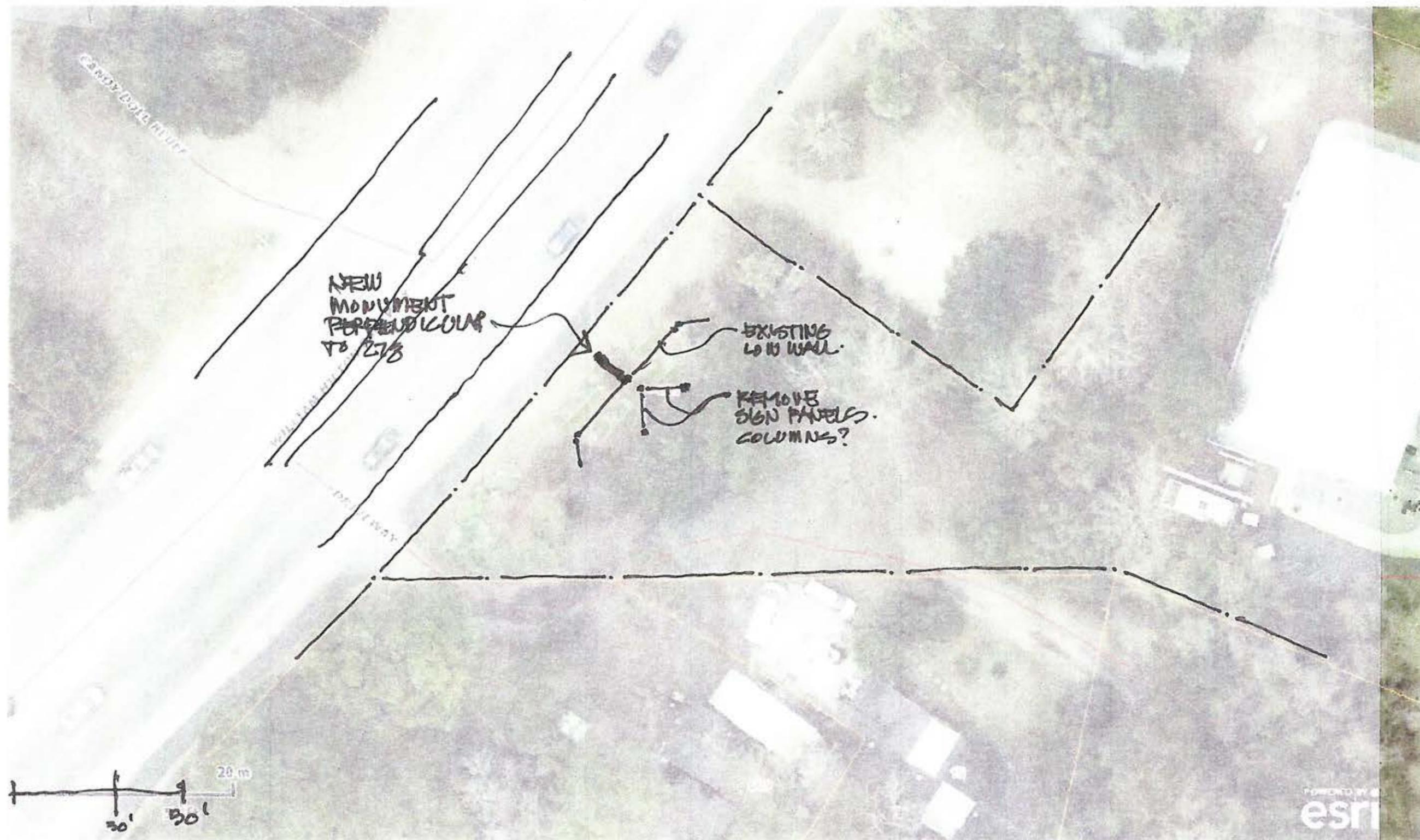
Surf Watch December 2015  
Landscape Plan for New 278 Sign

# SurfWatch 278



Copyright 2011 Esri. All rights reserved. Thu Nov 19 2015 10:22:29 AM.

# SurfWatch 278



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Marriott Vacation Club/SurfWatch - SIGN

DRB#: DRB-000043-2016

DATE: January 26, 2016

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Revise background color to be less white/bright.
2. Specify color of green for existing panel; recommend 'Charleston Green'.

SW 7004 'Snowbound' is very light; it will appear bright in the sun. The standard used by staff is that the background color must be an earth tone: beige, brown, green, or gray. The shade of the background should be shifted to beige or gray to meet this standard.



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FOR OFFICIAL USE ONLY	
Date Received:	1-12-16
Accepted by:	<i>Sennik Ray</i>
DRB #:	048-2016
Meeting Date:	

Applicant/Agent Name: Steve Boone Company: BUCKEYE COMMUNITY HOPE  
Mailing Address: 3201 DUBLIN GRANVILLE RD City: COLUMBUS State: OH Zip: 43231  
Telephone: 614 942 2020 Fax: 614 942 2000 E-mail: sboone@rijmgt.com  
Project Name: 90 DILLON RD APARTMENTS Project Address: 90 DILLON RD  
Parcel Number [PIN]: R510 009 000 1025 0000  
Zoning District: RM12 Overlay District(s): N/A

**CORRIDOR REVIEW, MAJOR  
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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\_\_\_\_\_  
SIGNATURE

12-11-15  
\_\_\_\_\_  
DATE

## **90 Dillon Road Apartments Narrative.**

**Existing Apartment Buildings and Community Building will undergo renovation to include the following.**

New 30 year Anti-Fungal Roof Shingles, Gutters and Downspouts.

New attic insulation.

Energy Star HVAC systems.

Removal of existing Vinyl Siding and the installation of Stucco and Cement Board siding to include new Decking, Handrails, and Vinyl lattice material to cover crawl space openings.

Replacement of existing fence enclosures with New Vinyl Materials.

New Energy Star Vinyl Windows and Steel Entry Doors along with New Address and Mail Boxes.

Upgrade Landscaping, Parking and Sidewalks. Refer to Site Plan for Additional Information.

Interior Finishes will be replaced such as Plumbing Fixtures, Carpet, Trims, Interior Doors, Cabinets, Energy Star Appliances and Lighting,

# 90 DILLON APARTMENTS BUILDINGS B, C, G, H, & K MATERIALS & COLORS LEGEND #1

---

1. SHINGLES – DIMENSIONAL 30 YR. ANTI-FUNGAL (WEATHERED WOOD)
2. DRIP EDGE – ALUMINUM (CLAY)
3. FASCIA – VINYL COVERED ALUMINUM (CLAY)
4. GUTTERS – 5” ALUMINUM HALF ROUND (CLAY)
5. DOWNSPOUTS – 3” $\phi$  ALUMINUM (CLAY)
6. SOFFIT – SOLID & VENTED VINYL COVERED ALUMINUM (CLAY)
7. CEMENT BOARD TRIM – 1x CEDAR (AUSTERE GRAY SW6184, EGGSHELL)
8. CEMENT BOARD SIDING – 7 1/4” CEDAR (AUSTERE GRAY SW6184, EGGSHELL)
9. STUCCO – SMOOTH FINISH (DRIED THYME SW6186, EGGSHELL)
10. RAILING/BALLUSTERS – VINYL (ADOBE)
11. WINDOWS – VINYL (TAN)
12. DOORS – 6 PANEL STEEL (WARM STONE SW7032, EGGSHELL)
13. EXISTING FOUNDATION WALLS – (WARM STONE SW7032, EGGSHELL)
14. VINYL LATTICE – GREEN
15. CEMENT BOARD SIDING(CONDENSER UNIT ENCLOSURE) – 7 1/4” CEDAR (DRIED THYME SW6186, EGGSHELL)
16. CEMENT BOARD TRIM(CONDENSER UNIT ENCLOSURE) – 1x CEDAR (DRIED THYME SW6186, EGGSHELL)

# 90 DILLON APARTMENTS BUILDINGS A,D,E,F,J, & L MATERIALS & COLORS LEGEND #2

---

1. SHINGLES – DIMENSIONAL 30 YR. ANTI-FUNGAL (WEATHERED WOOD)
2. DRIP EDGE – ALUMINUM (CLAY)
3. FASCIA – VINYL COVERED ALUMINUM (CLAY)
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8. CEMENT BOARD SIDING – 7 1/4” CEDAR (WARM STONE SW7032, EGGSHELL)
9. STUCCO – SMOOTH FINISH (GRAY AREA SW7052, EGGSHELL)
10. RAILING/BALLUSTERS – VINYL (ADOBE)
11. WINDOWS – VINYL (TAN)
12. DOORS – 6 PANEL STEEL (FINE WINE SW6307, EGGSHELL)
13. EXISTING FOUNDATION WALLS – (WARM STONE SW7032, EGGSHELL)
14. VINYL LATTICE – GREEN
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16. CEMENT BOARD TRIM(CONDENSER UNIT ENCLOSURE) – 1x CEDAR (GRAY AREA SW7052, EGGSHELL)



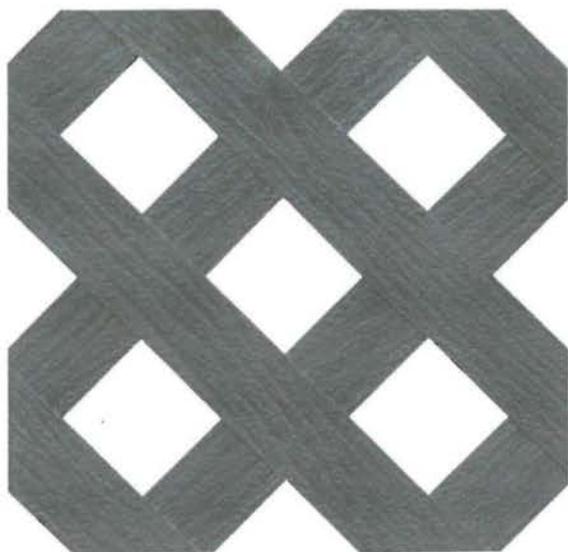
More saving.  
More doing.

Your Store: **Cleveland Ave #3811**  
Use Current Location or [find store](#)

**Veranda** Model # 73004037 Internet # 202847974

## 0.2 in. x 4 ft. x 8 ft. Woodland Green Plastic Diamond Privacy Lattice

★★★★★ (7) [Write a Review](#) [Questions & Answers \(5\)](#)



**\$37.80** /piece

PRODUCT NOT SOLD IN STORES

[Open Expanded View](#)

[Click Image to Zoom](#)



### PRODUCT OVERVIEW Model # 73004037 Internet # 202847974

Create privacy in your yard with the Veranda 4 ft. x 8 ft. Woodland Green Plastic Diamond Privacy Lattice. The lattice features plastic construction and a woodland green color to provide long-lasting beauty and durability. Supported by a transferable limited lifetime warranty.

- Vinyl construction for durability
- Woodland green color resists discoloration and scratching for long-lasting beauty
- Resists impact and weather to protect against warping, rotting, twisting and splitting
- Low maintenance for easy use
- Grid opening is 1-1/8 in.
- Transferable limited lifetime warranty
- Lattice



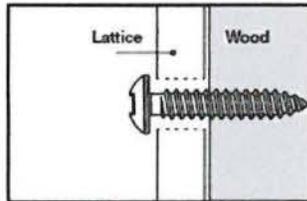
### Complete Your Project:

### Decorative Lattice Installation

Choose the style and color that best suits your needs. Don't forget cap & divider mouldings for a professional-looking finish.



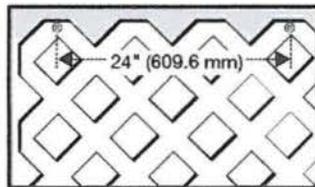
### Pre-Drill Oversized Holes in Lattice



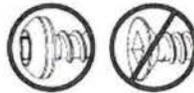
Pre-drill oversized holes at the top and bottom of the lattice panel every 24 inches. Drill the largest hole that the screw head will allow without fitting through.

Do not use nails or staples to attach lattice. They will not allow for proper expansion and contraction and lattice will buckle.

### Install the Lattice Loosely with Screws

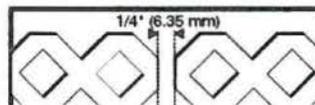


Install the panel by centering each screw in oversized holes. **IMPORTANT: DO NOT TIGHTEN SCREWS ALL THE WAY** to allow for expansion and contraction of lattice.

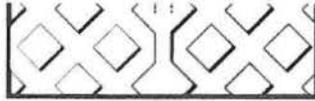


Do not use countersink screws.

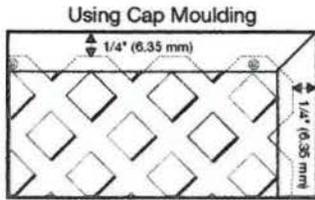
### Leave a Gap Between Panels



If using more than one panel, do not butt panels together. Leave 1/4" gap to allow for expansion and contraction.

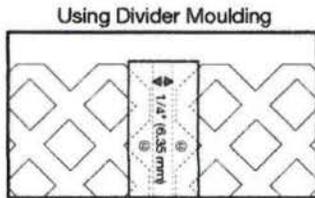


## Finish with Moulding



For a professional finished look, add matching cap moulding around edges and divider moulding between panels.

Pre-drill oversized holes along top that go through both cap moulding and lattice panel. Center each screw in oversized holes. **IMPORTANT: DO NOT TIGHTEN SCREWS ALL THE WAY** to allow for expansion and contraction of lattice.



To add divider moulding, pre-drill oversized holes along sides and bottom through moulding only. Do not drill through the lattice panel. Center each screw in oversized holes. **IMPORTANT: DO NOT TIGHTEN SCREWS ALL THE WAY** to allow for expansion and contraction of lattice.



## SPECIFICATIONS

### DIMENSIONS

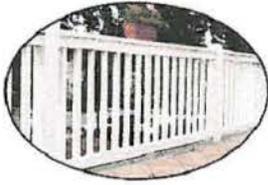
Product Depth (in.)	0.2	Product Thickness (mm)	.2
Product Height (in.)	48	Product Width (in.)	96.00
Product Length (in.)	48		

### DETAILS

Color Family	Green	Product Weight (lb.)	17 lb
Landscape Supply Type	Vinyl Lattice	Returnable	90-Day
Material	Polymer		

## MORE PRODUCTS WITH THESE FEATURES

Material: **Polymer**      Color Family: **Green**      Price: **\$30 - \$40**      Brand: **Veranda**      Review Rating: **4 & Up**



*Tek-Rail™*



320 Temple Ave., Building B, Newnan, GA 30263 678-854-0510 FAX 678-854-0519

---

---

## **90 Dillion Apartments**

### **Page A12 of Plans Specified Vinyl Rails**

**Tek-Rail recommends “R” Style Rail if you choose White OR Tan for straight rail and stair rails.**

**If you choose Adobe, Tek-Rail will recommend “R” Style Rail for the straight rail and “S” Style Rail for the stair rails.**

**If the rehab units are occupied, Tek-Rail can use the PRO-400 post mount because there is no concrete fill that needs to dry. When the post is installed, it is immediately ready to meet the fall protection application.**

**Rail panels wider than 10’ will need an intermediate line post.**

**The Handrail / Grabrail come in the same colors as the rail. This rail has an aluminum insert to stabilize this one tube.**

**Color samples are included.**

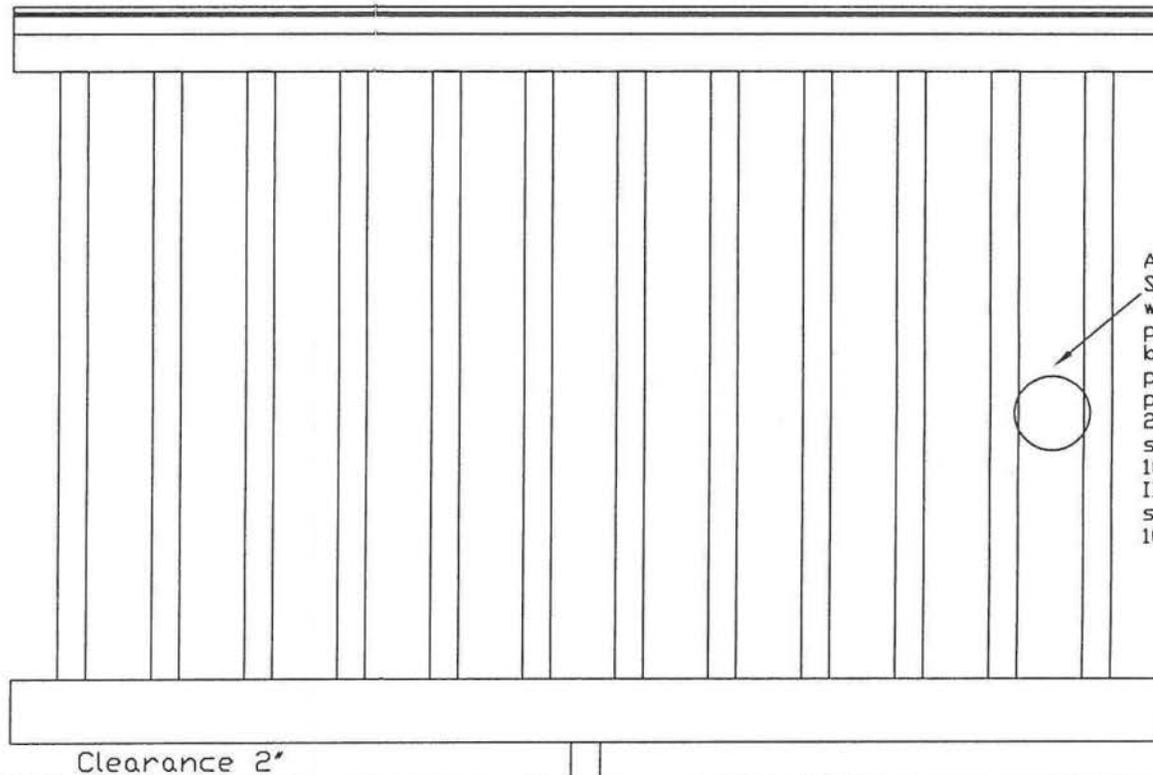
**Tek-Rail PVC has a high concentration of titanium dioxide, so it is a very low maintenance product and product with a long life.**

**White is the base price. Tan is slightly more, and Adobe is slightly more than Tan.**





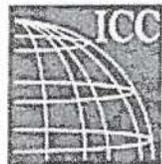
Typical Height 42"



A 4 Inch Sphere will not pass between pickets per IBC 2012 sect. 1013.4, IBC 2015 sect. 1015.4

Clearance 2"

MEMBER



INTERNATIONAL CODE COUNCIL

### Style R Vinyl Rail

Date 12/18/2014

Scale: NTS

Tek-Rail, Inc.

320 Temple Ave. Bldg. B • Newnan, GA 30263

1-800-983-5724

www.Tek-Rail.com

Common Peg Arrangement:

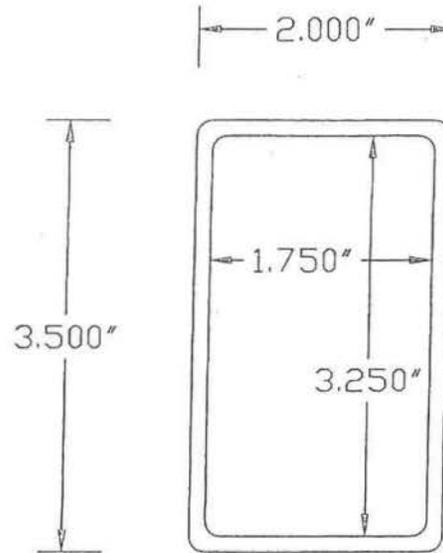
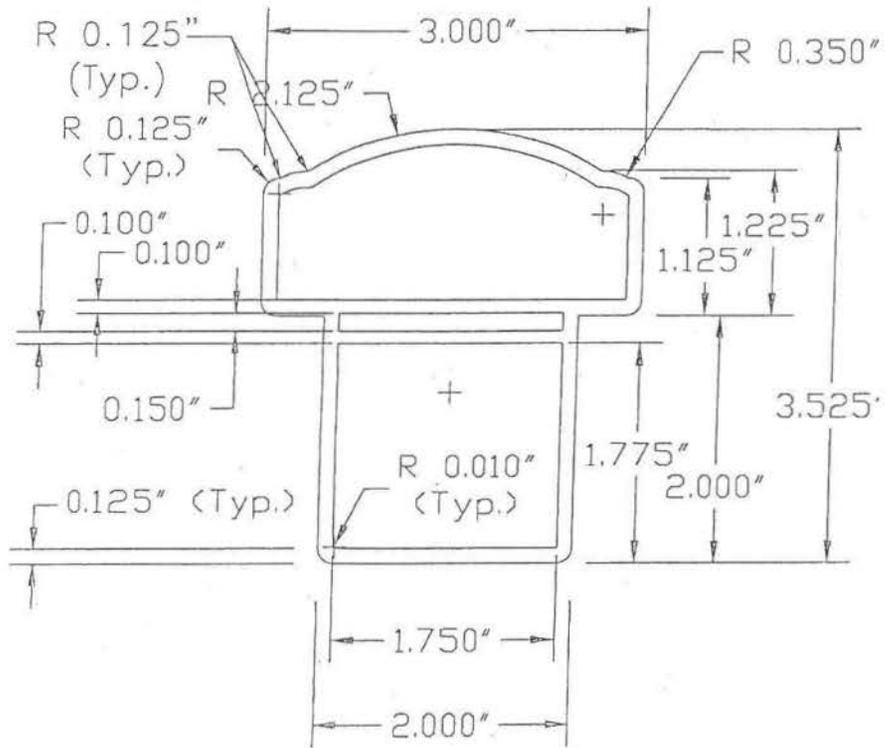
48" to 95 7/8" = 1 peg

96" to 119 7/8" = 2 pegs

120" = 3 pegs

Metal stiffener added to the top rail on lengths 7' up to and including 10'.

Line post added to rail lengths greater than 10'.

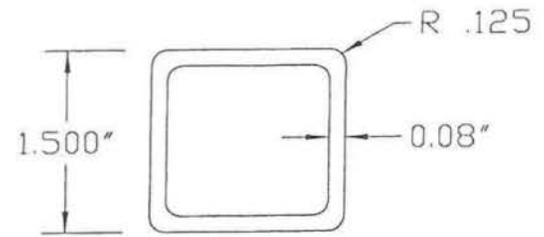
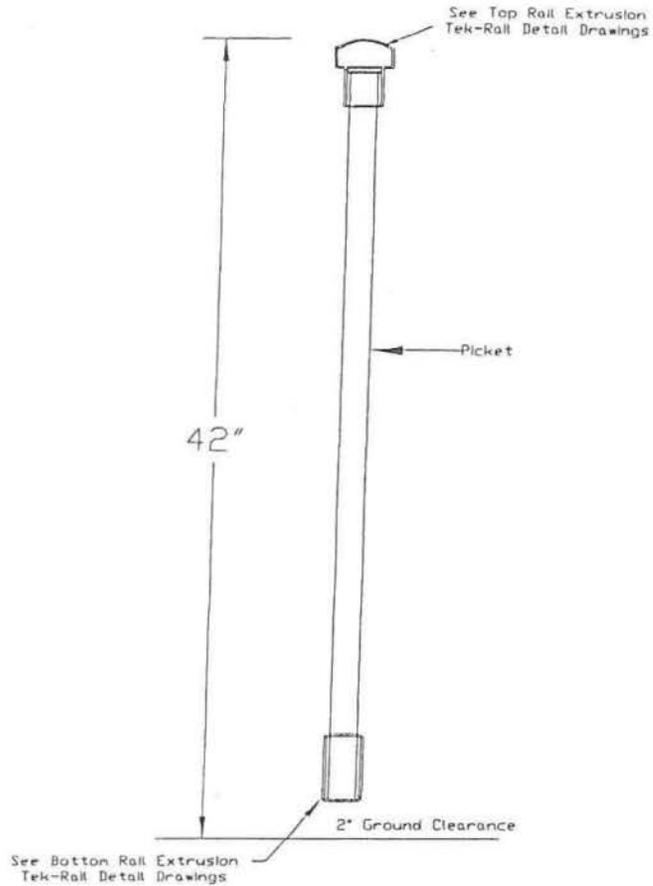


NOTE: All Outside Fillet Radii Are 0.125" (1/8") Unless Otherwise Noted

<b>RAIL EXTRUSION</b>		
<b>Style R Top</b>		
	Scale: 1 = 1	
<b>Tek-Rail, Inc.</b> 320 Temple Ave. Bldg. B • Newnan, GA 30263 1-800-983-5724 <a href="http://www.Tek-Rail.com">www.Tek-Rail.com</a>		

<b>RAIL EXTRUSION</b>		
<b>Style R &amp; T Bottom / Style S Top &amp; Bottom</b>		
	Scale: 1 = 1	
<b>Tek-Rail, Inc.</b> 320 Temple Ave. Bldg. B • Newnan, GA 30263 1-800-983-5724 <a href="http://www.Tek-Rail.com">www.Tek-Rail.com</a>		

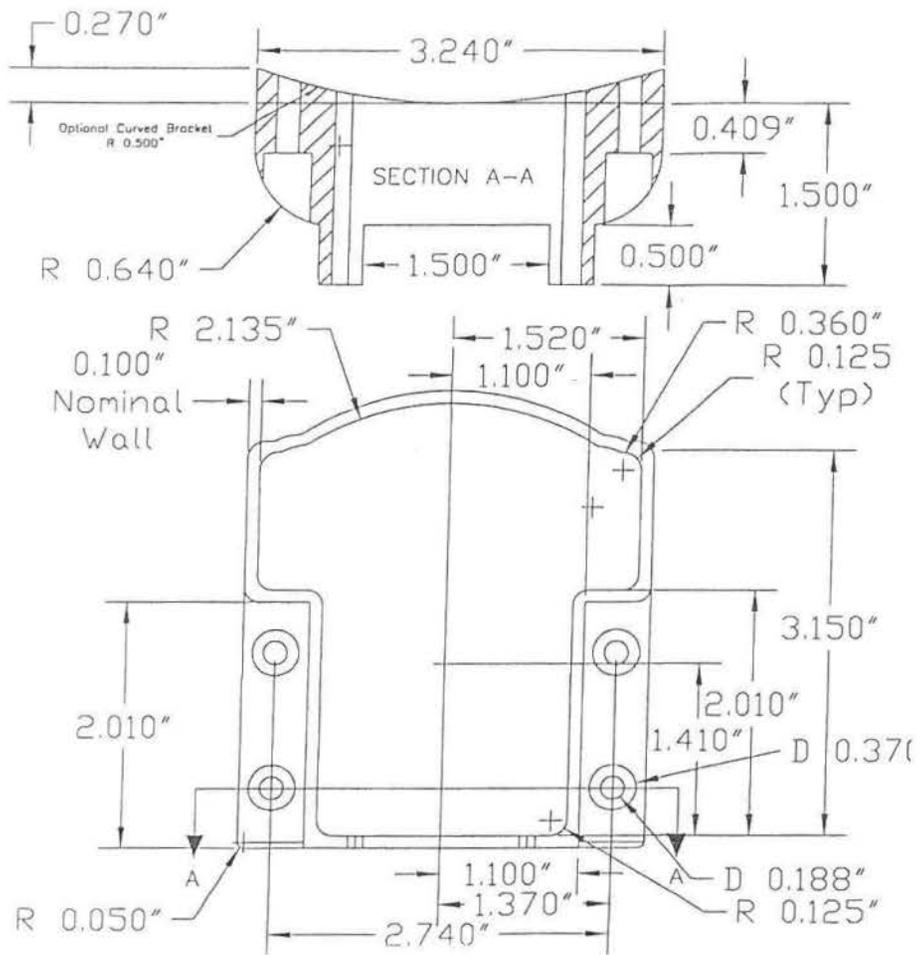
# Style R



Styles B, C, R, S

<b>CUTAWAY</b>		
Style R		
		Scale: NTS
<b>Tek-Rail, Inc.</b> 320 Temple Ave. Bldg. B • Newnan, GA 30263 1-800-983-5724 <a href="http://www.Tek-Rail.com">www.Tek-Rail.com</a>		

<b>PICKET</b>		
Extrusion - Cross-Section - All Styles		
		Scale: 1 = 1
<b>Tek-Rail, Inc.</b> 320 Temple Ave. Bldg. B • Newnan, GA 30263 1-800-983-5724 <a href="http://www.Tek-Rail.com">www.Tek-Rail.com</a>		



**BRACKET**

Style R Top

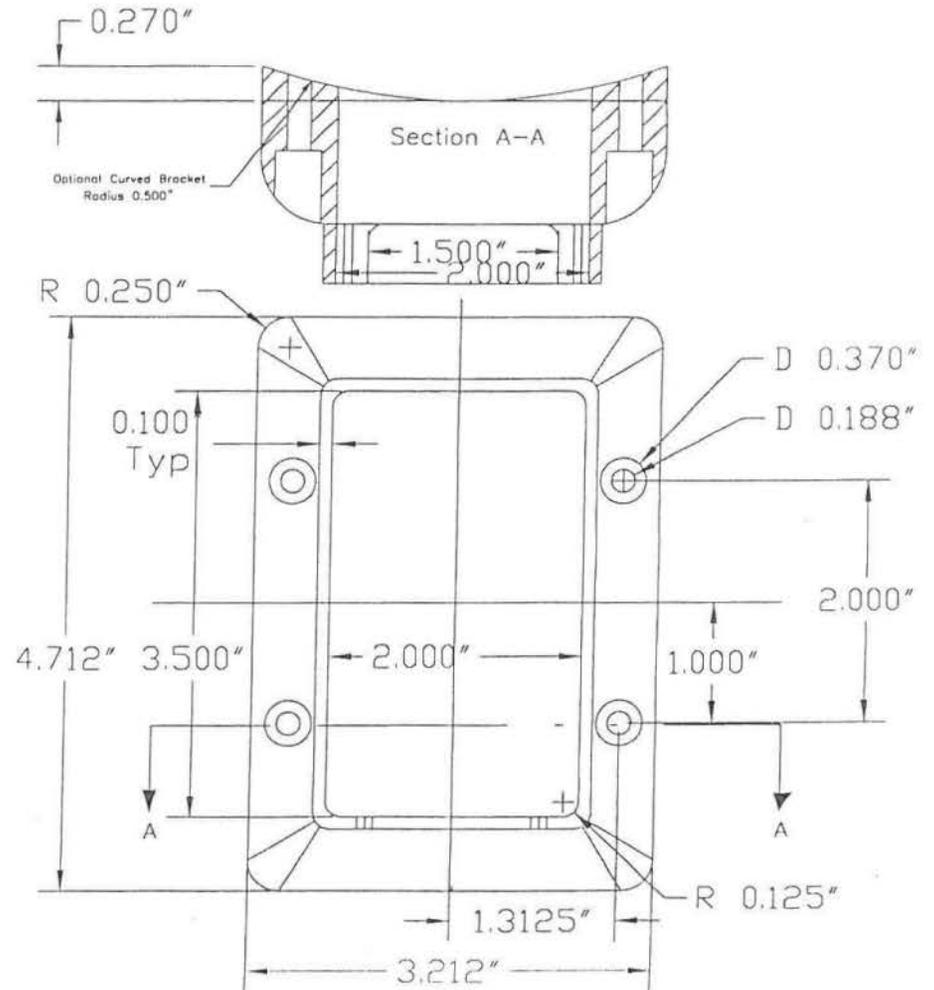
Scale: 1 = 1

**Tek-Rail, Inc.**

320 Temple Ave. Bldg. B • Newnan, GA 30263

1-800-983-5724

www.Tek-Rail.com



**BRACKET**

Style R Bottom - Style S Top & Bottom

Scale: 1 = 1

**Tek-Rail, Inc.**

320 Temple Ave. Bldg. B • Newnan, GA 30263

1-800-983-5724

www.Tek-Rail.com



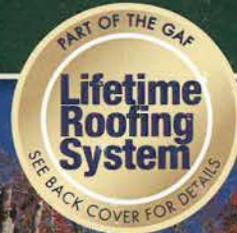
Quality You Can  
Trust...From  
North America's  
Largest Roofing  
Manufacturer!

# TIMBERLINE®

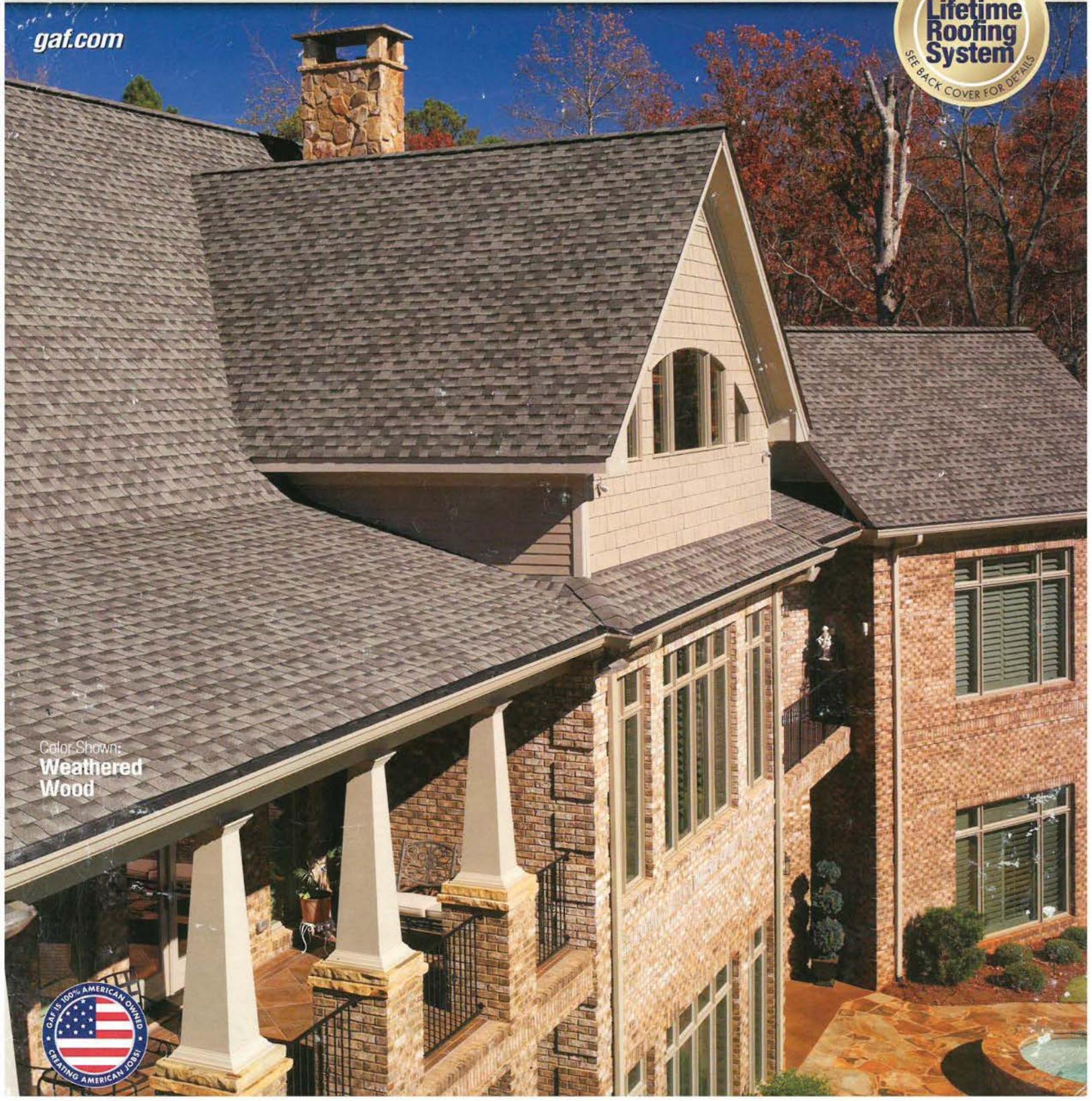
LIFETIME HIGH DEFINITION® SHINGLES

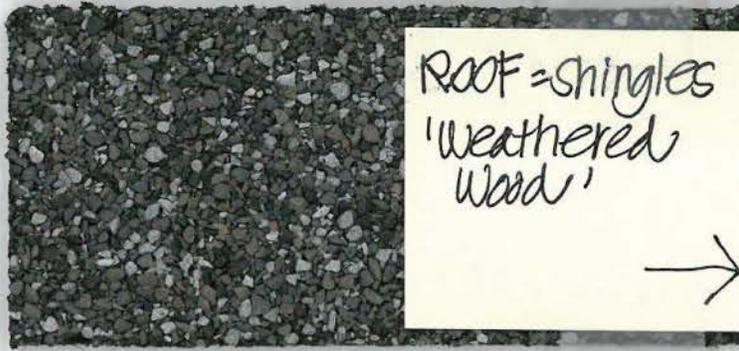
"Protect your home with North America's #1-selling shingle!"

[gaf.com](http://gaf.com)

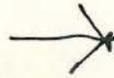


Color Shown:  
**Weathered  
Wood**





ROOF = Shingles  
'Weathered  
Wood'



### Baltimore, MD, Color Availability

1st column chips:	UHD	HD	2nd column chips:	UHD	HD	3rd column chips:	UHD	HD	4th column chips:	UHD	HD
Barkwood	●	●	Hickory	●	●	Patriot Red	●	●	Slate	●	●
Biscayne Blue	●	●	Hunter Green	●	●	Pewter Gray	●	●	Weathered Wood	●	●
Charcoal	●	●	Mission Brown	●	●	Shakewood	●	●	Williamsburg Slate	●	●
Fox Hollow Gray	●	●	Oyster Gray	●	●						

Key: UHD - Timberline Ultra HD® Shingles HD - Timberline HD® Shingles



**First American Coil manufactures a complete selection of colors to allow the exterior designer to accent any siding, soffit, or window installation with multiple color combinations.**

## TRIM COIL COATINGS

**POLY Coating – PolyKote 1000** coating is manufactured by Valspar, North America's largest supplier of coil coatings. The coatings are field proven, multiple purpose polyester finishes designed for a wide variety of applications. The excellent adhesion and flexibility properties of PolyKote 1000 provide superior forming performance to enhance product appearance and durability for years to come.

**PVC Coating – Deneflex PVC** coatings are specially formulated for trim coil applications by the PolyOne Corporation, North America's largest producer of polyvinylchloride (PVC) resins and compounds. The Deneflex coatings are flexible PVC 4-mil thick membrane coatings compounded to provide abrasion and corrosion protection, exterior durability and superior forming capabilities. Deneflex PVC coatings are applied in a thick striated pattern to yield a rich, wood grain texture.

## FIRST IN COLORS

350 matching colors to support the residential building products industry

Matching Colors for the following vinyl siding manufacturers:

- CertainTeed
- Heartland
- Royal
- Crane
- Wolverine
- Variform
- Alside
- Mitten
- RMC
- Amcraft
- GP
- Vytex

We also offer many matching colors for vinyl and aluminum windows.

## SPECIALTY TRIM COIL

- Ultra -** Thicker than standard coil, maximum uniformity and outstanding rigidity
- Deluxe -** Exclusive Pella high-performance door & window trim, available in 9 colors
- TuffTex -** Mar-resistant, textured finish trim coil, providing maximum resistance to metal marking, marring and scratching of coated surface

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Customer Service: 1-800-327-2645  
Toll Free Fax: 1-888-866-0602

**PolyOne**<sup>®</sup>

valspar

# First American

Sandstone P213	V6244	Linen P171	V170	Natural Linen V1261	Parchment V8168	Bone V1321	Classic Linen P2122	V8160	Silver Mist V6200		
Pearl P1290	V1292	Champagne P2117		Island Pearl P9608	V9607	Pale Ivory P2107	V2100	Pearl V4102	Antique White V8163	Platinum V8471	
Beige V689	Birchwood V8204	Heritage Cream P2116	V694	Classic Cream P9206	V8678	Natural Almond P9213	V8680	Herringbone P2114	V2105	Woodland Mist P2110	V4128
Wheat V6404	Ivory V1320	Ivory P8628	V8612	Soft Almond P6237	V2102	Almond V8676	Desert Tan P669	V6246	Sand P241	V233	
Autumn Yellow V695	Adobe Cream V1260	Colonial Ivory V9239	Saddle V2188	Meadow Blend V2108	Clay V9326	Ash V4266					
Summer Wheat P2109	V2104	Lite Maple V9325	Almond V682	Heather V9337	Khaki V6358						
Champagne V9616	Light Maple P2119	V6309	Desert Mesa V6287	Clay V8217	Timber Blend V2145						
Peach V390	Silver Ash P491	V8402	Canyon Blend P2115	V2106	Autumn Beige V9232	Cobblestone V9299	Savannah Wicker P6236	V6247	Light Bronze P249		
Sandalwood V9318	Buckskin V6367	Frontier Blend V2146	Barn Red P330	V3125	Lighthouse Red V3173	Cranberry V3141	Chestnut Red P3146				

PE Fascia = vinyl covered Alum. 'clay' →  
P2

P - Polyester  
V - PVC

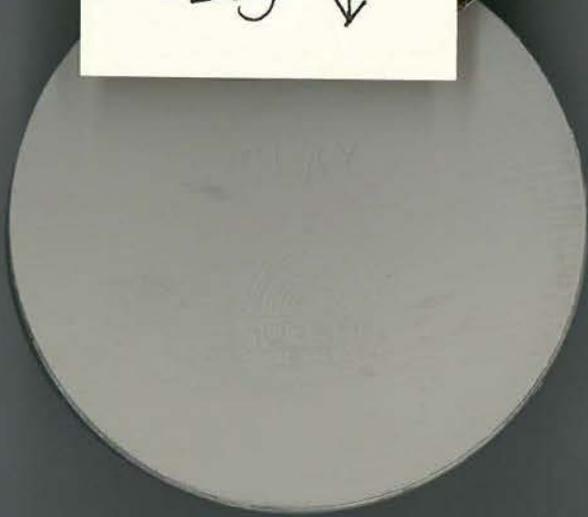


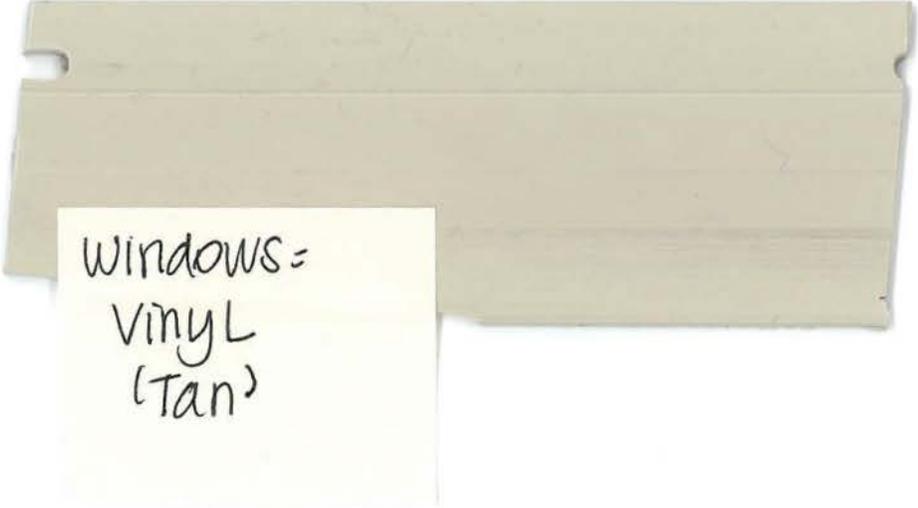
soffit = solid  
+ vented vinyl  
covered Alum.  
'Clay'





cutters +  
baunspouts =  
'CLAY' ↓



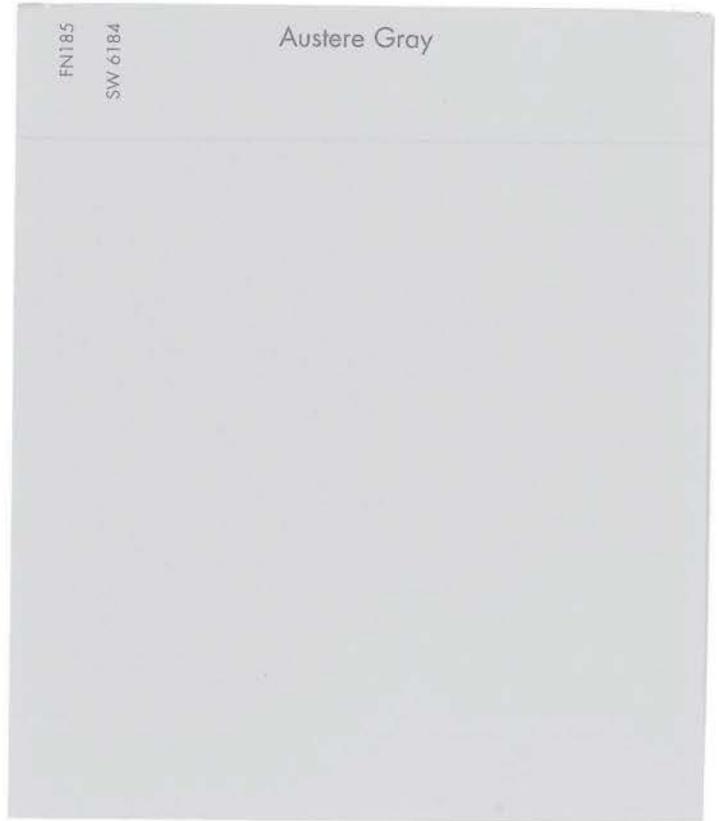


Windows =  
Vinyl  
(Tan)

# COLORS #1



stucco, condenser white enclosure (cement board siding + trim)

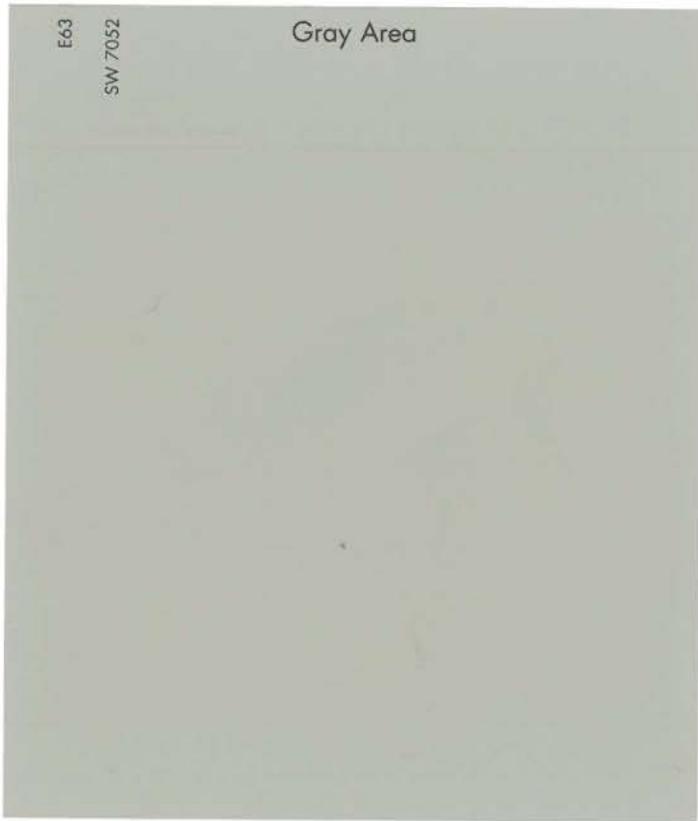


cement board siding + trim

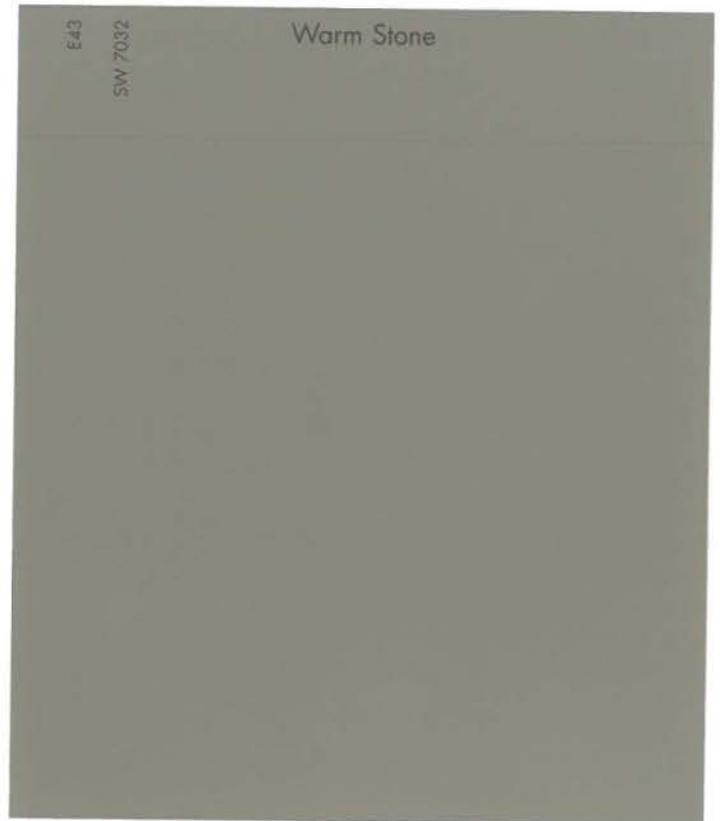


← doors (6 panel steel), existing foundation walls

# COLORS #2



stucco, condenser unit enclosure (cement board siding + trim)



cement board siding + trim, existing foundation walls

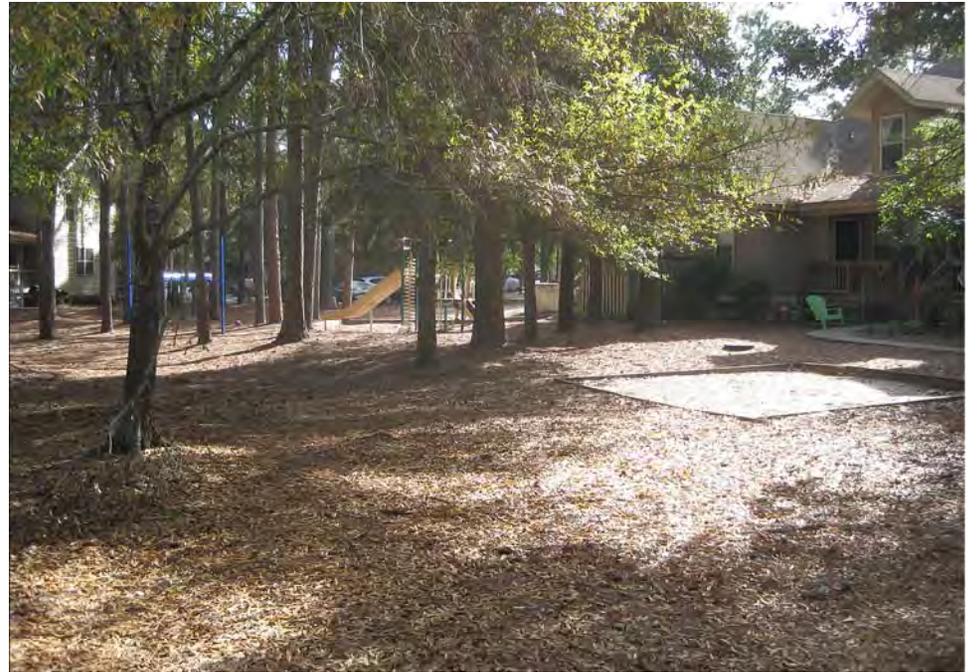


← doors (epanel steel)













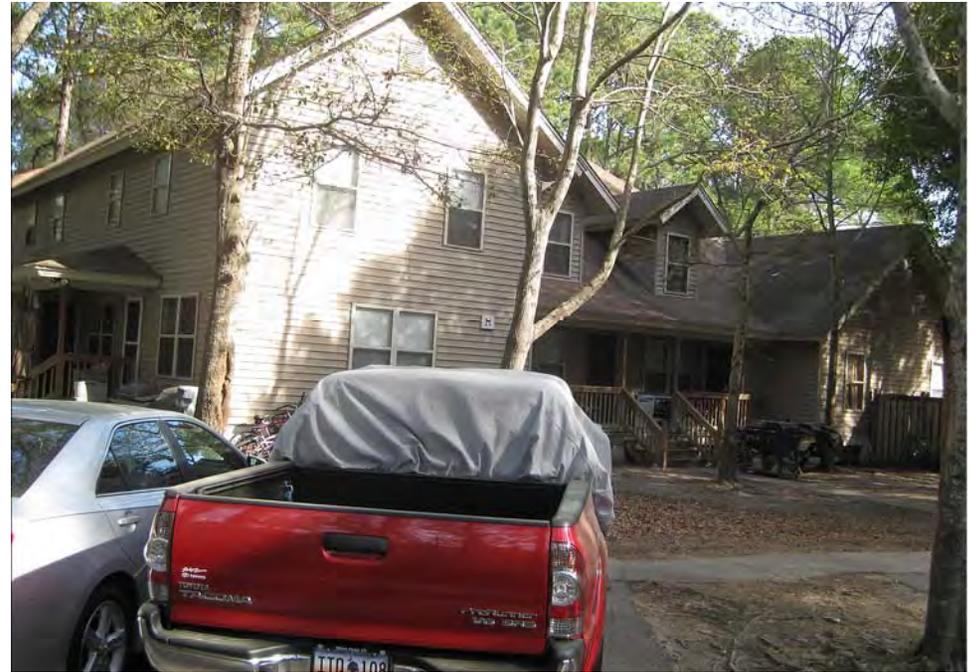




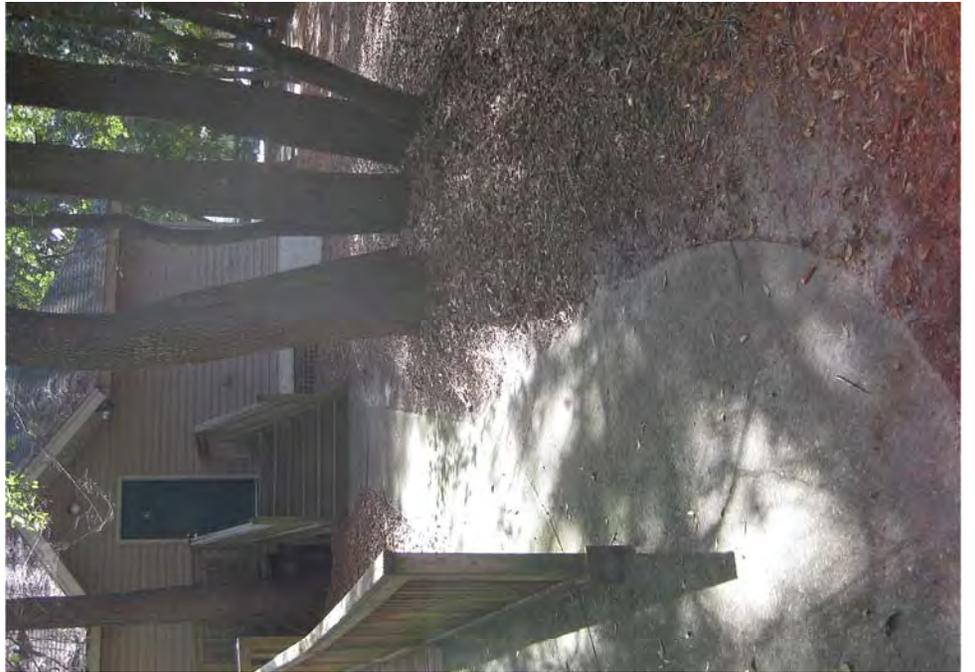


















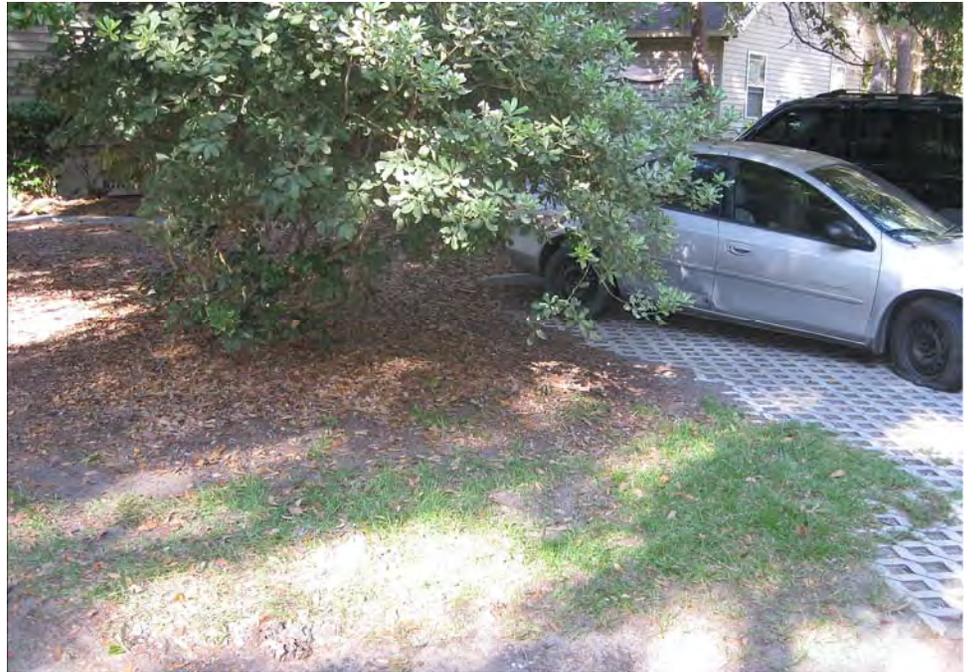










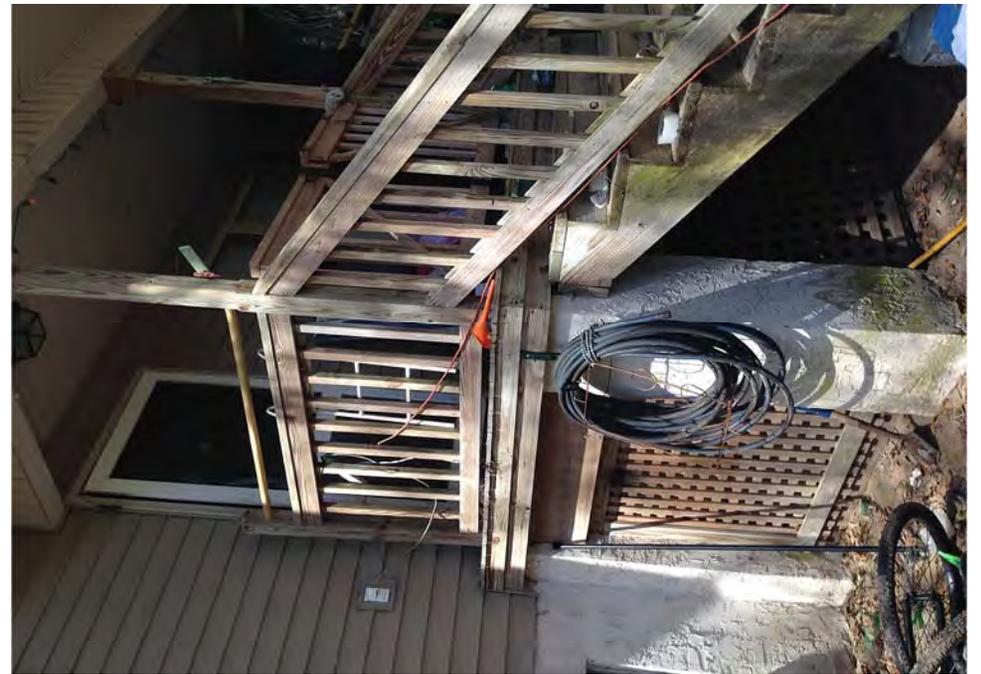










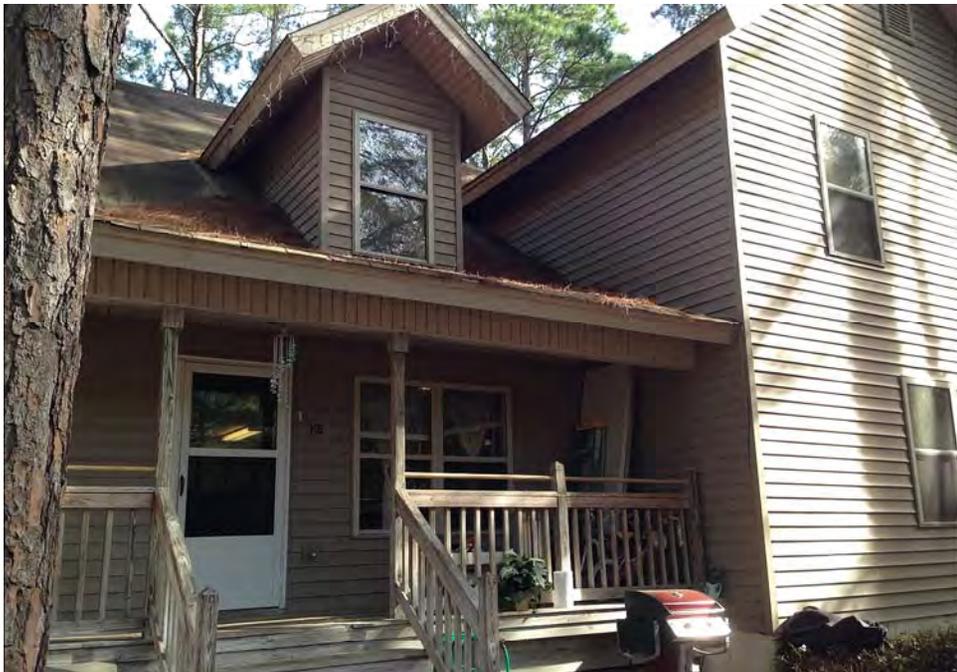




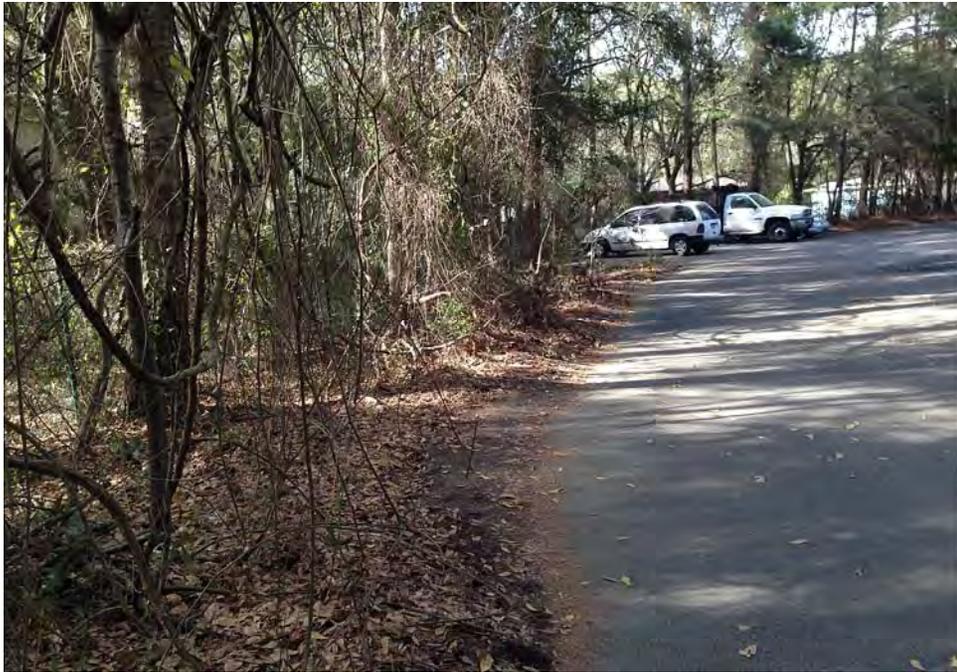


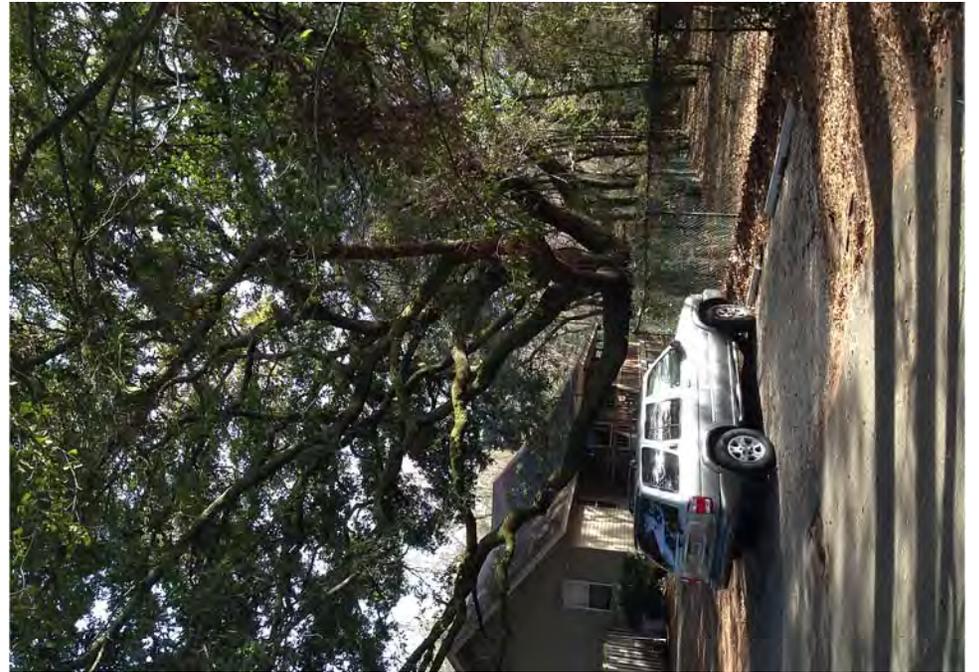


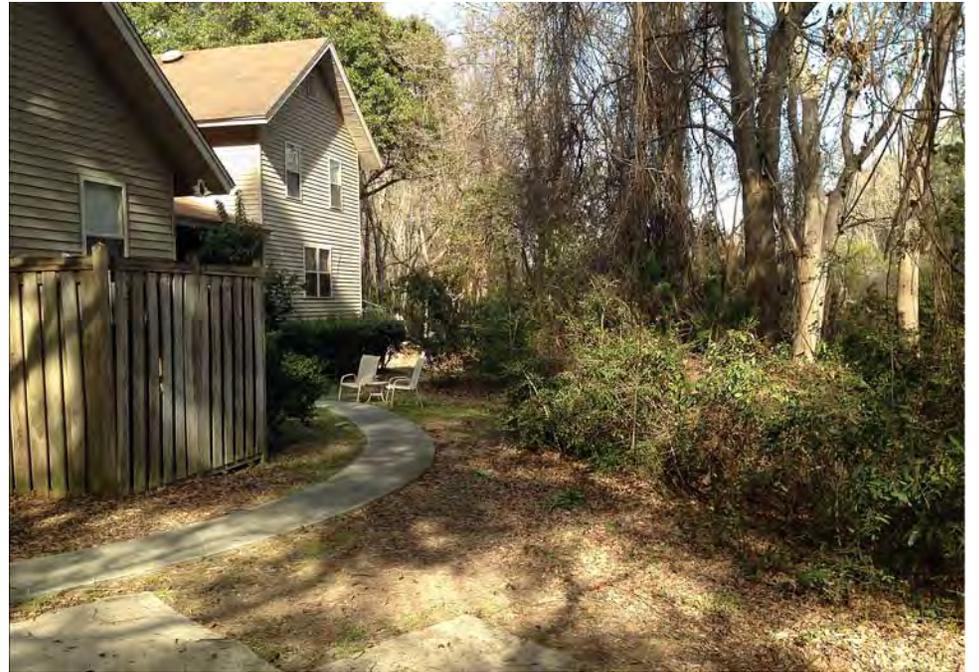


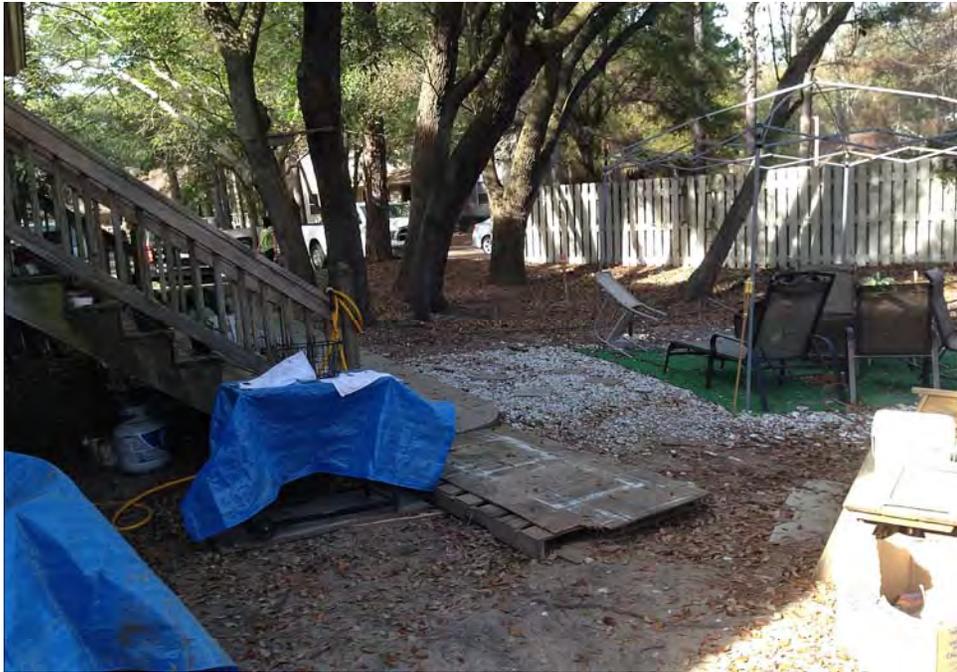
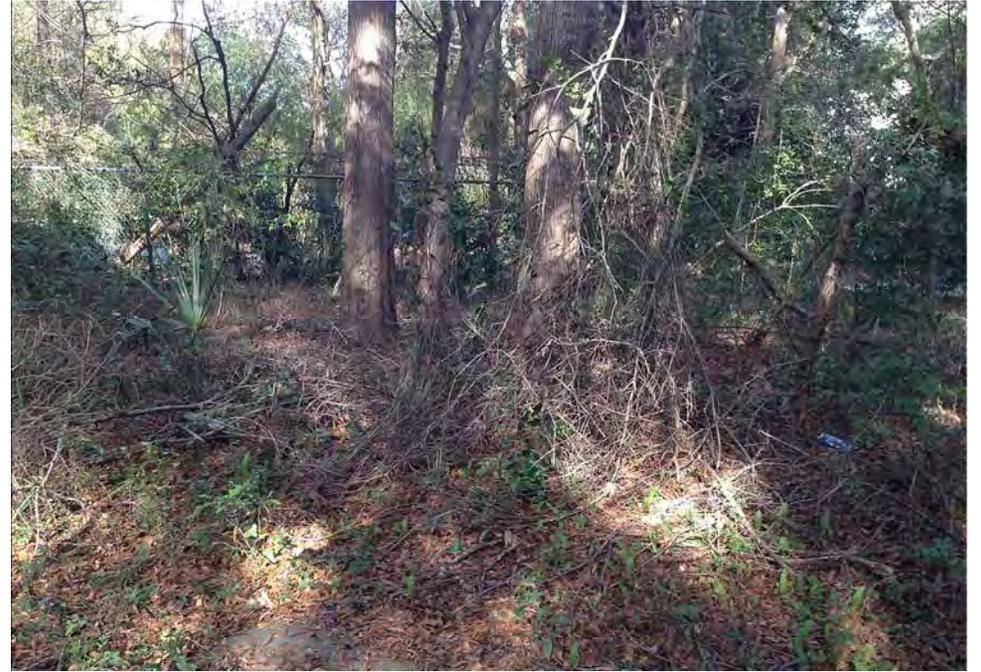














REHABILITATION OF:

# 90 DILLON APARTMENTS

## 90 DILLON RD. HILTON HEAD, SC 29926

BUCKEYE COMMUNITY HOPE FOUNDATION  
3021 E. DUBLIN-GRANVILLE RD. COLUMBUS, OHIO 43231  
Tel: 614.942.2020 Fax: 614.942.2000

**RAY BASHAM ARCHITECT**

1905 CANTERBURY LANE #3E SUN CITY CENTER, FLORIDA 33573  
Tel: 614.216.1948 email: raybashamarchitect@tampabay.rr.com

**MECHANICAL ENGINEER  
Rehab ENGINEERING, P.C.**

401 EAST FOURTH STREET SUITE 201;WINSTON-SALEM, NC 27101  
Tel: 336.714.8935 FAX: 336.722.9872 email: www.rehab-eng.com

OWNER  
BUCKEYE COMMUNITY SIXTY FOUR, LLC  
COLUMBUS, OHIO  
CONSTRUCTION LENDER  
BANK OF AMERICA

PERMANENT LENDER  
BANK OF AMERICA

**SYNDICATOR**

THE RICHMAN GROUP AFFORDABLE HOUSING CORPORATION

CONTRACTOR  
TBD

**ARCHITECT**

RAY BASHAM ARCHITECT  
SUN CITY CENTER, FLORIDA

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- ALTA SURVEY
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- L1 LANDSCAPING PLAN/PLANT SCHEDULE
- L2 LANDSCAPING DETAILS
- A2 DESIGN CRITERIA
- A3 TWO BEDROOM FLAT FLOOR PLANS/INTERIOR ELEVATIONS/  
FINISH SCHEDULES
- A4 TWO BEDROOM TH FLOOR PLANS/INTERIOR ELEVATIONS/  
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- A5 THREE BEDROOM FLAT FLOOR PLANS/INTERIOR ELEVATIONS/  
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- A6 THREE BEDROOM TH FLOOR PLANS/INTERIOR ELEVATIONS/  
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- A10 BUILDING PLANS-BLDG.'S-A,B,C,E,K
- A11 BUILDING PLANS-BLDG.'S-B,C,G,H,K
- A12 BUILDING PLANS-BLDG.'S-D,J,L
- A13 EXTERIOR ELEVATIONS-BLDG.'S-B,C,G,H,K
- A14 EXTERIOR ELEVATIONS-BLDG.'S-A,E
- A15 EXTERIOR ELEVATIONS-BLDG.'S-D,J,K
- A16 EXTERIOR ELEVATIONS-BLDG.-F

### CODE DATA

DRAWINGS PREPARED USING INTERNATIONAL BUILDING CODE-2012(BLDG.'S A,B,C,E,F,G,H,K)  
INTERNATIONAL RESIDENTIAL CODE-2012(BLDG.'S D,J,L)  
IMC-2012/IFC-2012/IFC-2012/NEC-2011/ECC-2009/ICC A117.1-2009  
PARCEL#: R510 009 000 1025 0000  
ZONING CLASSIFICATION: RM-12 MODERATE TO HIGH DENSITY RESIDENTIAL DISTRICT  
FLOOR PLAN ZONE: A7(EL 14) AS PER F.E.M.A. F.I.R.M. COMMUNITY PANEL 450025 0009 D.  
DATED 9/29/1986 INDEX DATED 11/04/1992

CONSTRUCTION TYPE: VB  
USE GROUP: R-2-RESIDENTIAL(BLDG.'S A,B,C,E,F,G,H,K)/B-BUSINESS(BLDG. F-COMMUNITY BLDG.)  
LOT AREA: 290,771 S.F./6.675 AC.

**GROSS AREAS:**  
BLDG. A FIRST FLOOR = 4,578 S.F. BLDG. E SECOND FLOOR = 2,074 S.F. BLDG. J FIRST FLOOR = 2,166 TOTAL S.F.  
BLDG. A SECOND FLOOR = 2,074 S.F. BLDG. E TOTAL = 6,652 S.F. BLDG. K FIRST FLOOR = 4,182 S.F.  
BLDG. A TOTAL = 6,652 S.F. BLDG. E TOTAL = 6,652 S.F. BLDG. K SECOND FLOOR = 2,074 S.F.  
BLDG. B FIRST FLOOR = 4,182 S.F. BLDG. F FIRST FLOOR = 1,520 TOTAL S.F. BLDG. L FIRST FLOOR = 2,166 TOTAL S.F.  
BLDG. B SECOND FLOOR = 2,074 S.F. BLDG. G FIRST FLOOR = 4,182 S.F. BLDG. L SECOND FLOOR = 2,074 S.F.  
BLDG. B TOTAL = 6,256 S.F. BLDG. G SECOND FLOOR = 2,074 S.F. BLDG. L TOTAL = 4,256 S.F.  
BLDG. C FIRST FLOOR = 4,182 S.F. BLDG. G TOTAL = 6,256 S.F.  
BLDG. C SECOND FLOOR = 2,074 S.F. BLDG. H FIRST FLOOR = 4,182 S.F.  
BLDG. C TOTAL = 6,256 S.F. BLDG. H SECOND FLOOR = 2,074 S.F.  
BLDG. D FIRST FLOOR = 2,166 TOTAL S.F. BLDG. H TOTAL = 6,256 S.F.

**ALLOWABLE HEIGHT AND LIMITATIONS PER IBC TABLE 503.1:**  
B - BUSINESS = 2 STORIES 40'/9,000 S.F.(PER STORY)  
ACTUAL STORIES = 1  
ACTUAL HEIGHT = 22'(BLDG. F)  
ACTUAL AREA = 1,520 S.F.(BLDG. F, COMMUNITY BLDG.)  
R2 - RESIDENTIAL = 2 STORIES 40'/7,000 S.F.(PER STORY)  
ACTUAL STORIES = 2  
ACTUAL HEIGHT = 29'(BLDG.'S A,B,C,E,G,H,K)  
ACTUAL AREA = 4,578+2,074=6,652 S.F.(BLDG.'S A,E)  
4,182+2,074=6,256 S.F.(BLDG.'S B,C,G,H,K)

**OCCUPANT LOADING PER IBC TABLE 1004.1.2:**  
OCCUPANT LOAD BASED ON B-BUSINESS  
1,063 S.F.(BLDG. F) AT 100 PER PERSON = 11 PEOPLE  
457 S.F.(COMM.RM.-BLDG. F)/15(UNCONCENTRATED TABLES&CHAIRS)PER PERSON=31 PEOPLE  
OCCUPANT LOAD BASED ON R-RESIDENTIAL  
898 S.F.(2 BDRM. FLAT) AT 200 PER PERSON = 5 PEOPLE (BLDG.'S B,C,G,H,K)  
1,057 S.F.(2 BDRM. TH) AT 200 PER PERSON = 6 PEOPLE (BLDG.'S A,B,C,E,G,H,K)  
1,096 S.F.(3 BDRM. FLAT) AT 200 PER PERSON = 6 PEOPLE (BLDG.'S A,E)  
1,173 S.F.(3 BDRM. TH) AT 200 PER PERSON = 6 PEOPLE (BLDG.'S A,B,C,E,G,H,K)

**EXIT CAPACITY PER IBC 1005.3.2:**  
11 AT .2 PER PERSON = 2.2" SPACE HAS 102"  
31 AT .2 PER PERSON = 6.2" SPACE HAS 34"  
5 AT .2 PER PERSON = 1" SPACE HAS 68"  
6 AT .2 PER PERSON = 1.2" SPACE HAS 34"  
6 AT .2 PER PERSON = 1.2" SPACE HAS 68"  
6 AT .2 PER PERSON = 1.2" SPACE HAS 34"

**PLUMBING FIXTURE REQUIREMENTS PER IBC 2902.1:**  
B-BUSINESS(BLDG. F)=11 OCCUPANCY  
ASSUME 6 MEN AND 6 WOMEN  
WATER CLOSETS-6 MEN/50=1 REQUIRED (1 WC ON PLANS)  
6 WOMEN/50=1 REQUIRED (1 WC ON PLANS)  
LAVATORIES-6 MEN/80=1 REQUIRED (1 LAVS. ON PLANS)  
6 WOMEN/80=1 REQUIRED (1 LAVS. ON PLANS)  
DRINKING FOUNTAINS(EWC)-11 OCCUPANTS/100=1 REQUIRED  
(1 BOTTLED WATER ON PLANS)  
SERVICE SINKS-1 REQUIRED (1 SS ON PLANS)  
A-3 ASSEMBLY(BLDG. F)=31 OCCUPANCY  
ASSUME 16 MEN AND 16 WOMEN  
WATER CLOSETS-16 MEN/125=1 REQUIRED (1 WC ON PLANS)  
16 WOMEN/65=1 REQUIRED (1 WC ON PLANS)  
LAVATORIES-16 MEN/200=1 REQUIRED (1 LAVS. ON PLANS)  
16 WOMEN/200=1 REQUIRED (1 LAVS. ON PLANS)  
DRINKING FOUNTAINS(EWC)-16 OCCUPANTS/500=1 REQUIRED  
(1 BOTTLED WATER ON PLANS)  
SERVICE SINKS-1 REQUIRED (1 SS ON PLANS)

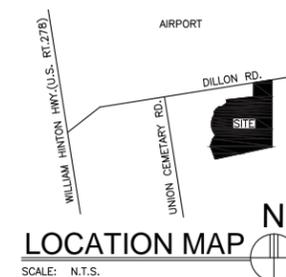
### ARCHITECT'S CERTIFICATION

"I, RAY BASHAM, BEING A REGISTERED ARCHITECT IN THE STATE OF SOUTH CAROLINA, AM QUALIFIED TO EVALUATE THE TECHNICAL SUFFICIENCY OF CONSTRUCTION DOCUMENTS FOR RESIDENTIAL PROPERTIES. I HAVE EXAMINED THE DRAWINGS AND SPECIFICATIONS DATED JANUARY 12, 2016, PREPARED BY RAY BASHAM, ARCHITECT AND RELATED TO THE REHABILITATION OF 90 DILLON APARTMENTS LOCATED IN HILTON HEAD, BEAUFORT COUNTY, SOUTH CAROLINA. BASED UPON THIS EXAMINATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS CONFORM TO THE INTERNATIONAL BUILDING CODE (IBC 2012), APPROVED EDITION, INCLUDING ALL AMENDMENTS AND SUPPLEMENTS AND THE NATIONAL ELECTRIC CODE (NEC) 2011, (NFPA 70-2005) 2008 EDITION, INCLUDING ALL AMENDMENTS AND SUPPLEMENTS; WHICH ARE DESIGNATED AS THE DEVELOPMENT STANDARDS FOR THE PROJECT. I FURTHER UNDERSTAND THAT FALSE CERTIFICATION AND FAILURE TO COMPLY MAY RESULT IN SUSPENSION OR DEBARMENT FROM PARTICIPATING IN FUTURE GOVERNMENT PROGRAMS."

SIGNED \_\_\_\_\_  
TITLE: ARCHITECT  
LICENSE: #6263  
DATE: JANUARY 12, 2016  
ARCHITECT: RAY BASHAM  
ADDRESS: 1905 CANTERBURY LANE #3E  
SUN CITY CENTER, FLORIDA 33573



90 DILLON APARTMENTS - PROPOSED SQUARE FOOTAGES						
BUILDING	NO. OF UNITS	UNIT MIX	PROPOSED HANDICAPPED	BLDG./UNIT GROSS AREA	BLDG./UNIT NET LIVING AREA	COMMON AREA/OFFICE MAINT./LAUNDRY
A	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-3 BDRM FLAT(1.5BA)		6,652(2@1,057/2@1,173/2@1,096)	6,186(2@966/2@1,092/2@1,035)	
B	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-2 BDRM FLAT(1.5BA)		6,256(2@1,057/2@1,173/2@898)	5,786(2@966/2@1,092/2@835)	
C	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-2 BDRM FLAT(1.5BA)		6,256(2@1,057/2@1,173/2@898)	5,786(2@966/2@1,092/2@835)	
D	2	2-3 BDRM FLAT(1.5BA)		2,166(1@1,038/1@1,128)	2,026(1@967/1@1,059)	
E	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-3 BDRM FLAT(1.5BA)		6,652(2@1,057/2@1,173/2@1,096)	6,186(2@966/2@1,092/2@1,035)	
F	-	COMMUNITY BUILDING		1,520	1,463	1,294 GROSS/1,243 NET 226 GROSS/220 NET
G	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-2 BDRM FLAT(1.5BA)	2	6,256(2@1,057/2@1,173/2@898)	5,786(2@966/2@1,092/2@835)	
H	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-2 BDRM FLAT(1.5BA)	1 (1 S,&H,I)	6,256(2@1,057/2@1,173/2@898)	5,786(2@966/2@1,092/2@835)	
J	2	2-3 BDRM FLAT(1.5BA)		2,166(1@1,038/1@1,128)	2,026(1@967/1@1,059)	
K	6	2-2 BDRM TH(1.5BA)/2-3 BDRM TH(1.5BA)/2-2 BDRM FLAT(1.5BA)	1-MAINT. UNIT (2 BDRM. FLAT)	6,256(2@1,057/2@1,173/2@898)	5,786(2@966/2@1,092/2@835)	
L	2	2-3 BDRM FLAT(1.5BA)		2,166(1@1,038/1@1,128)	2,026(1@967/1@1,059)	
TOTAL	48 UNITS	14-2 BDRM TH(1.5BA)/14-3 BDRM TH(1.5BA)/10-2 BDRM FLAT(1.5BA)/10-3 BDRM FLAT(1.5BA)	3	52,602	48,843	1,294 GROSS/1,243 NET 226 GROSS/220 NET



DATE: JANUARY 12, 2016

ALTA/ACSM LAND TITLE SURVEY  
SHOWING TMS NO. R510-009-000-1025-0000

90 DILLON ROAD  
CONTAINING 6.675 ACRES  
PROPERTY OF  
LOW COUNTRY, L.P.  
LOCATED ON  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
DATED: JANUARY 11, 2016



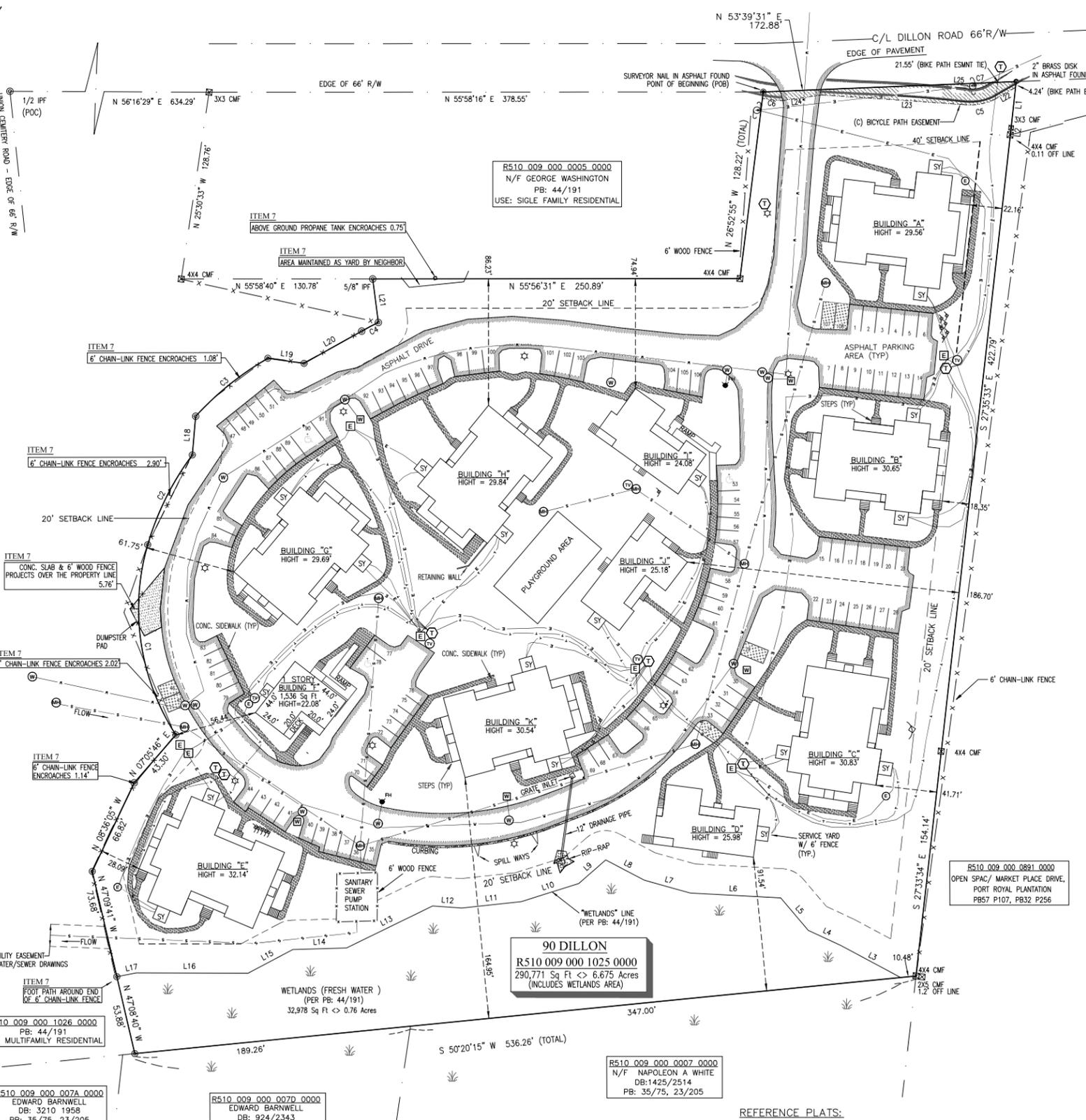
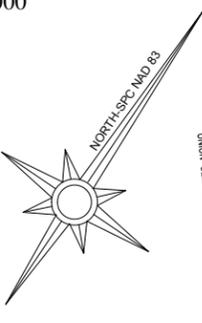
SGC ENGINEERING, LLC  
1013 MADRID AVENUE, PORT ROYAL, SC 29935  
843.812.7610 jgray@sgceng.com  
www.sgceng.com

Legal Description

Commencing at a 1/2 IPF, noted as POC, at the intersection of the Union Cemetery Road north-eastern Right-of-Way(66') and of the Dillon Road south-eastern right-of-way(66'), thence running along the Dillon Road south-eastern right-of-way N56°16'29"E for 634.29' to a 3x3 CMF, thence continuing along the Dillon Road south-eastern right-of-way N55°58'16"E for 378.55' to a Survey Nail in Asphalt Found being the Point of Beginning and noted as POB, thence continuing along the Dillon Road south-eastern right-of-way N53°39'31"E for 172.88' to a 2" Brass Disk in Asphalt Found, thence turning and running along Parcel R510-009-000-0891-0000 at S27°50'46"E for 31.73' to a 3x3 CMF, thence continuing along Parcel R510-009-000-0891-0000 at S27°35'01"E for 4.79' to a 4x4 CMF, thence continuing along Parcel R510-009-000-0891-0000 at S27°33'34"E for 154.14', to a 4x4 CMF, thence turning and running along R510-009-000-0007-0000 at S50°20'15"W for 189.26' to a 1/2 IPF, thence turning and running along Parcel R510-009-000-1026-0000 at N47°08'40"W for 53.88' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 at N08°36'05"W for 66.82' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 at N07°05'46"E for 43.30' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 on a curve with a radius of 157.29' and a chord bearing N42°26'48"W for 131.09' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 on a curve with a radius of 193.17' and a chord bearing N07°31'33"W for 68.36', to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 at N29°04'21"W for 26.43' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 on a curve with a radius of 208.17' and a chord bearing N17°16'48"E for 63.17', thence turning and continuing along Parcel R510-009-000-1026-0000 at N63°55'44"E for 25.00' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 at N26°51'07"E for 45.11' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 on a curve with a radius of 200.55' and chord bearing N28°40'54"E for 12.81' to a 1/2 IPF, thence turning and continuing along Parcel R510-009-000-1026-0000 at N41°24'35"W for 29.91' to a 5/8 IPF, thence turning and running along Parcel R510-009-000-0005-0000 at N55°56'31"E for 250.89' to 4x4 CMF, thence turning and continuing along Parcel R510-009-000-0005-0000 at N26°52'55"W for 128.22' to the Survey Nail in Asphalt Found, being the Point of Beginning and noted as POB, and containing 6.675 Acres.

NOTES (Survey Requirements)

- 1. The survey reflected by this plat was actually made upon the ground, that the attached plat of survey is made at least in accordance with the minimum standards established by the State of South Carolina for surveys and with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and ACSM in 2005 and meets the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey, and contains and correctly shows items 1, 2, 3, 4 (in square feet and acres), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a) (if applicable), 11(b), 13, 14, 16, 17, 18, 19, 20(a) and 21 of Table A thereof. The field work was completed on January 7, 2016.
- 2. This survey correctly shows the location of all buildings, structures and other improvements situated on the Property.
- 3. Except as shown, all utilities serving the Property enter through adjoining public streets and/or easements of record; that, except as shown, there are no visible easements or rights of way across said Property; that the Property is the same as the Property described in First American Title Insurance Company Commitment No. 6-17-06 with an effective date of October 19, 2015 and that all easements, covenants and restrictions referenced in said title commitment, or easements of which the undersigned has been advised or has knowledge, have been plotted hereon or otherwise noted as to their effect on the Property.
- 4. Except as shown, there are no encroachments onto adjoining premises, streets or alleys by any buildings, structures or other improvements, and no encroachments onto said Property by buildings, structures or other improvements situated on adjoining premises.
- 5. The Property is located within an area having a zone Designation "A7 (el 142)" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 450250 0009D, with a date of identification of 9/29/1986, for Community Number 450250, in Beaufort County, SC which is the current Flood Insurance Rate Map for the community in which the Property is situated.
- 6. The Property has direct physical access to Dillon Road, a publicly dedicated street or highway.
- 7. The Property comprises a single, separate tax lot.
- 8. The number of paved striped parking spaces located on the Property is 102 (including 3 handicapped spaces), and to the extent possible, are graphically shown hereon. There are an additional 6 pervious parking spaces that are not striped located on the Property.
- 9. Except as shown, no existing improvements violate applicable set back lines and front, side and rear yard requirements.
- 10. The Property contains 290,771 square feet.
- 11. The record description of the Property forms a mathematically closed figure.
- 12. The freshwater wetlands shown hereon are per reference plat: 44/141.
- 13. There was no observed evidence of current earth moving work, building construction or building additions.
- 14. There was no observed evidence of recent street or sidewalk construction or repairs or changes in street right of way lines.
- 15. There was no observed evidence of site use as a solid waste dump, sump or sanitary landfill.



SYMBOL KEY (SYMBOLS ARE NOT DRAWN TO SCALE)

⊙	1/2" REBAR FOUND
⊗	WATER VALVE
⊕	WATER METER
⊙	FIRE HYDRANT
⊙	LIGHT POLE
⊙	POWER POLE
⊙	ELECTRICAL TRANS. SMALL
⊙	ELECTRICAL TRANS. LARGE
⊙	TELEPHONE PEDISTAL
⊙	CABLE TELEVISION PEDISTAL
⊙	SAT TV DISK
⊙	SEWER MANHOLE
—	WATER LINE
—	SEWER LINE
—	BURIED ELECTRICAL LINE
—	BURIED TELEPHONE LINE
—	HANDICAP PARKING
—	EDGE OF ASPHALT
—	CONCRETE SIDEWALK
—	PERVIOUS PARKING AREA

EASEMENTS:

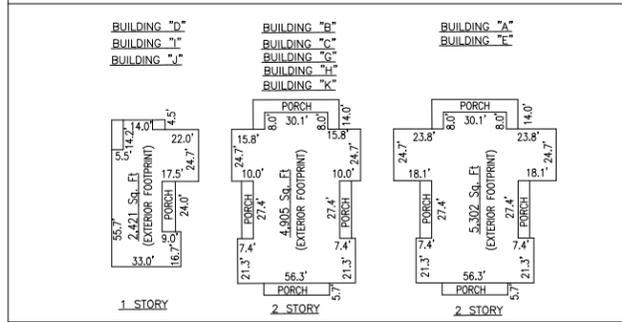
- (A) DB:742 PG:806 - PALMETTO ELECTRIC COOPERATIVE BURIED ELECTRICAL LINES PER PLANS SHOWN AS ABOVE GROUND TRANSFORMERS LOCATED AND SHOWN AS ⊙ OR ⊕
- (B) DB:725 PG:621 - HARGRAY TELEPHONE COMPANY BURIED TELEPHONE LINES PER PLANS SHOWN. ABOVE GROUND TELEPHONE PEDISTALS LOCATED AND SHOWN AS ⊙
- (C) "A BICYCLE PATH EASEMENT"-THE PORTION OF THIS EASEMENT ON THE SUBJECT PROPERTY IS SHOWN WITHOUT BEARINGS & DISTANCES IN PLAT BOOK 84 ON PAGES 151 & 76 AND IS NOT RETRACEABLE. AS SHOWN HEREON, THE EASEMENT IS 2' IN WIDTH FROM THE OUTSIDE EDGE OF THE ASPHALT BIKE PATH.

SCHEDULE B - SECTION 2  
OFFICE FILE # 52531.15025 EFFECTIVE DATE: 10/19/2015

- EXCEPTIONS:
- 1) NOT PLOTTABLE
  - 2-3) PLOTTED AND SHOWN ON SURVEY (WATER LINE & SEWER LINE)
  - 4) PLOTTED, SHOWN AS ENCROACHMENT OR PROJECTION AND LABELED ITEM 4 ON SURVEY. THERE ARE 6 ENCROACHMENTS AND 1 PROJECTION AFFECTING THE PROPERTY
  - 5-6) NOT PLOTTABLE
  - 7-8) NOT PLOTTABLE. UTILITIES AND UNDERGROUND LINES SHOWN AS SHOWN ON SURVEY
  - 10) NOT PLOTTABLE
  - 11) AS SHOWN ON SURVEY
  - 11-16) NOT PLOTTABLE

NOTES (Additional)

- 1. THE NORTH ARROW SHOWN ON THIS PLAT IS BASED ON SOUTH CAROLINA STATE PLANE COORDINATES-NAD 1983.
- 2. THE AREA CALCULATIONS SHOWN HEREON WERE DETERMINED BY THE COORDINATE METHOD.
- 3. THE UNDERGROUND UTILITIES (TELEPHONE, ELECTRICITY, WATER & SEWER) ARE SHOWN HEREON AS PER PLANS AND DRAWINGS OBTAINED FROM THE SERVICE PROVIDERS.
- 4. THIS PROPERTY IS ZONED RM-12 AS PER THE TOWN OF HILTON HEAD ZONING DEPT.
- 5. THE SETBACKS SHOWN ARE AS PER THE "HILTON HEAD, SOUTH CAROLINA, LAND MANAGEMENT ORDINANCE" ARTICLE VII, SEC. 16-5-704:  
"...Minimum setback distances are for structures up to 20 feet in height, measured from the minimum elevation required by FIRM/FEMA or average pre-development grade where no FIRM/FEMA floor elevation is established. Structures exceeding this 20-foot height shall require additional setbacks according to the appropriate setback angle set forth below..." AND ARE AS FOLLOWS:  
--- MINIMUM 20' & MAXIMUM 75' SETBACK FROM WHERE ADJACENT USE IS SINGLE FAMILY, MULTIFAMILY, RECREATIONAL  
--- MINIMUM 25' & MAXIMUM 75' SETBACK FROM WHERE ADJACENT USE IS INSTITUTIONAL, COMMERCIAL  
--- MINIMUM 30' & MAXIMUM 60' SETBACK FROM WHERE ADJACENT USE IS INDUSTRIAL, WAREHOUSE  
--- MINIMUM 50' & MAXIMUM 75' SETBACK FROM MAJOR ARTERIALS  
--- MINIMUM 40' & MAXIMUM 75' SETBACK FROM MINOR ARTERIALS  
--- MINIMUM 20' & MAXIMUM 60' SETBACK FROM ALL OTHER STREETS
- 6. BUILDING HEIGHTS SHOWN ARE TO THE LOWEST ADJACENT GRADE

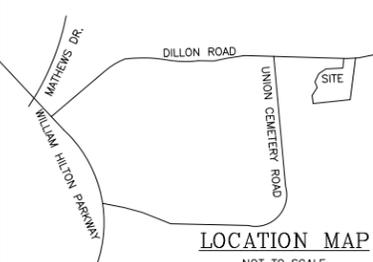


LINE TABLE

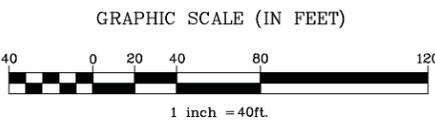
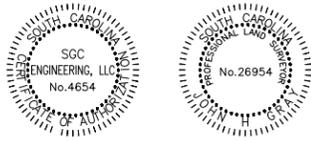
LINE	BEARING	DISTANCE
L1	S 27°50'46" E	31.73'
L2	S 27°35'01" E	4.79'
L3	N 84°05'27" E	46.26'
L4	N 80°50'22" E	24.60'
L5	S 74°24'03" E	29.05'
L6	N 59°02'46" E	61.81'
L7	N 71°36'53" E	32.68'
L8	N 83°38'48" E	29.73'
L9	N 14°55'50" E	24.44'
L10	N 38°33'21" E	41.08'
L11	N 49°46'04" E	40.88'
L12	N 59°59'42" E	20.09'
L13	N 30°03'59" E	65.35'
L14	N 54°18'16" E	36.68'
L15	N 28°11'32" E	34.53'
L16	N 56°09'46" E	76.44'
L17	N 45°03'25" E	13.51'
L18	N 29°04'21" W	26.43'
L19	N 63°55'44" E	25.00'
L20	N 26°51'07" E	45.11'
L21	N 41°24'35" W	29.91'
L22	S 26°10'32" W	17.37'
L23	S 59°52'27" W	96.90'
L24	S 47°52'21" W	27.57'
L25	S 59°52'56" W	10.95'

CURVE TABLE

CURVE	BEARING	CHORD	RADIUS	ARC
C1	N 42°26'48" W	131.09'	157.29'	135.21'
C2	N 07°31'33" W	68.36'	193.17'	68.72'
C3	N 17°16'48" E	63.17'	208.17'	63.41'
C4	N 28°40'54" E	12.81'	200.55'	12.81'
C5	S 47°29'51" W	20.66'	39.84'	20.89'
C6	S 62°38'58" W	13.47'	89.44'	13.48'
C7	S 48°25'41" W	13.02'	26.73'	13.15'



To: Bank of America, N.A., a national banking association, its successors and assigns, as Lender, Buckeye Community Sixty Four LLC, as Borrower, and First American Title Insurance Company, as Title Insurance Company:  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4 (in square feet and acres), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(b), 13, 14, 16, 17, 18, 19, 20(a) and 21 of Table A thereof. The field work was completed on January 7, 2016.  
Date of Plat or Map: January 11, 2016



REFERENCE PLATS:

- 1. Plat entitled "A Plat of 15.58 Acres Phase I & Future Development The Kells", prepared by Costal Surveying Co., Inc., Michael R. Dunigan, SCRLS 11905 and recorded in Plat Book 44, at page 191 in the RMC Office for Beaufort County, South Carolina
- 2. Plat entitled "A Plat of Parcels A, B & C containing 22.37 acres, A section of Port Royal", prepared by Jerry L. Richardson, SCRLS 4784 of Costal Surveying and Engineering Co., Inc., dated March 12, 1985 and recorded in Plat Book 32, at page 256 in the RMC Office for Beaufort County, South Carolina
- 3. Plat entitled "A subdivision Plat of Parcel C, Market Place, Port Royal Plantation, prepared by Mathew M. Crawford, SCRLS 9756 of Connor & Associates, Inc., dated March 31, 1994 and recorded in Plat Book 57, at page 107 in the RMC Office for Beaufort County, South Carolina
- 4. Plat entitled "A Bicycle Path Easement within Tax Parcel 510-5-24" prepared by Donald R. Cook, Jr., SCRLS 19010 of Connor & Associates, Inc., dated March 22, 2001 and recorded in Plat Book 84, at page 151 in the RMC Office for Beaufort County, South Carolina
- 5. Plat entitled "A Plat of 10.09 Acres Located in Fish Haul Plantation" prepared by Richard L. Stromm, SCRLS 5496, dated January 1976 and recorded in Plat Book 23, at page 205 in the RMC Office for Beaufort County, South Carolina



WD 1/12/16 SAM

RAY S. BASHAM, JR., ARCHITECT  
 1905 CANTERBURY LANE, #3E SUN CITY CENTER, FL 33573  
 raybashamarchitect@tampabay.rr.com  
 p 614.216.1948

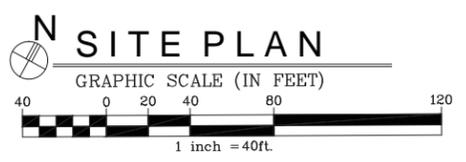
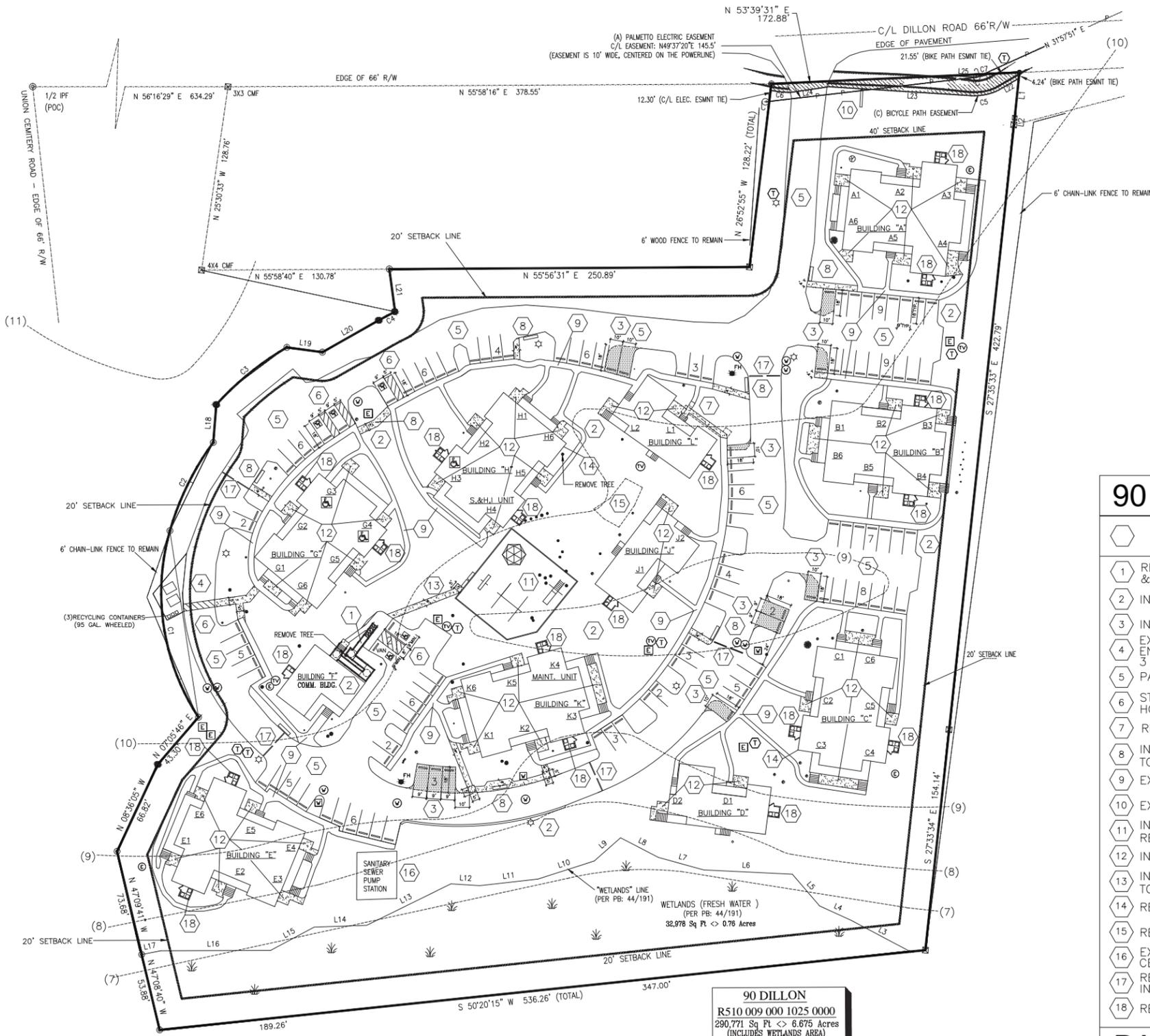
**90 DILLON APARTMENTS**  
 90 DILLON ROAD  
 HILTON HEAD, SC 29926

COMM. NO. 15-007

SHEET

**A1**

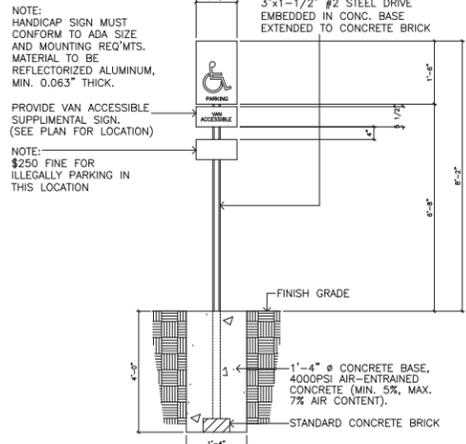
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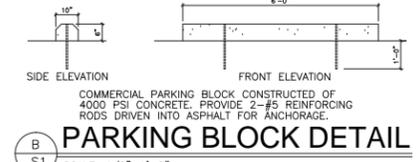
**90 DILLON**  
 R510 009 000 1025 0000  
 290,771 Sq Ft <> 6.675 Acres  
 (INCLUDES WETLANDS AREA)

**LEGEND**

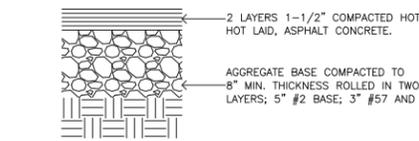
- NEW 4" POURED CONCRETE SIDEWALK
- NEW ASPHALT PARKING SPACES
- EXISTING PINE TREE TO REMAIN
- EXISTING LIVE OAK TO REMAIN
- EXISTING MAGNOLIA TO REMAIN
- EXISTING SITE LIGHTING TO REMAIN (MAINTAINED BY LOCAL POWER CO.)



**HANDICAPPED SIGN**  
 SCALE: N.T.S. (6 REQ'D.)



**PARKING BLOCK DETAIL**  
 SCALE: 1/2" = 1'-0"  
 (TYPICAL ALL NEW PARKING SPACES. REPLACE EXISTING PARKING BLOCKS AS NEEDED.)



**PAVEMENT DETAIL**  
 SCALE: 3/4" = 1'-0"

NOTE: PREPARE, CUT-OUT DAMAGED ASPHALT AREAS, CHASE AND GRIND AREAS SO NEW ASPHALT FINISHES MATCH WITH ADJACENT SURFACES (GENERAL CONTRACTOR TO COORDINATE W/ARCHITECT IN THE FIELD). INSTALL NEW 1 1/2" ASPHALT FINISH (SEE D/S1). REPAIR BASE AS NEEDED. SEAL EXISTING ASPHALT DRIVE AND PARKING AREAS. DETACH AND RESET PARKING BLOCKS WHEN POSSIBLE AND RE-STRIPE LOT AS SHOWN.

**90 DILLON APARTMENTS - 6.675 ACRES**

**SITE NOTES**

- 1 REMOVE & REPLACE EXISTING ADA RAMP. NEW RAMP TO BE COMPOSITE DECKING W/VINYL RAILING & BALUSTERS PER ADA GUIDELINES. CUT & REPLACE EXISTING CONC. WALK AS NEEDED.
- 2 INSTALL POLE W/CAMERA VIDEO SECURITY SYSTEM (6 AROUND SITE W/2 IN COMMUNITY BLDG.=8 TOTAL).
- 3 INSTALL NEW ASPHALT PARKING SPACE AND PARKING BLOCK. SEE DETAILS B,C/S1.
- 4 EXT. DUMPSTER PAD TO REMAIN. WRAP EXT. POSTS W/VINYL. INSTALL NEW ADA ACCESSIBLE DUMPSTER ENCLOSURE W/HORIZONTAL CEMENT BRD. SIDING(7 1/4" CEDAR, GRAY AREA SW7052, EGGSHELL) W/1" GAP ON 3 SIDES. PROVIDE ACCESSIBLE RECYCLE AREA W/IN ENCLOSURE.
- 5 PATCH, REPAIR, & SEAL EXISTING ASPHALT PARKING & CURBS. RE-STRIPE AS SHOWN.
- 6 STRIPE NEW HANDICAPPED PARKING SPACES. GRADE @ SPACES NOT TO EXCEED 2%. INSTALL NEW HC PARKING SIGN, SEE DETAIL A/S1.
- 7 REMOVE EXISTING RAMP & INSTALL NEW CONC. WALK & COMPOSITE STAIRS. TIE INTO EXISTING WALKS.
- 8 INSTALL 4" POURED CONC. AS NEEDED TO TIE INTO EXISTING CONC. WALKS. PROVIDE ACCESSIBILITY TO NEW ACCESSIBLE MAILBOXES. SEE MAILBOX DETAIL B/A9.
- 9 EXISTING CONC. SIDEWALKS TO REMAIN. PATCH & REPAIR DAMAGES AREAS (APPROX. 25%). VERIFY IN FIELD.
- 10 EXT. SIGN TO REMAIN, CLEAN & PAINT. ADD FAIR HOUSING LOGO.
- 11 INSTALL NEW PLAYGROUND AREA W/NEW EQUIPMENT (4 PIECES) W/2-BENCHES. INSTALL 3" MULCH W/BORDER. RE-GRADE AREA AS NEEDED. INSTALL EQUIPMENT SO THAT NO TREES ARE DISTURBED.
- 12 INSTALL NEW 4" POURED CONCRETE OR PAVER PATIOS. TO BE MIN. 8'X8' (64 S.F.), TYP. @ EA. UNIT.
- 13 INSTALL 4" POURED CONC. AS NEEDED TO TIE INTO EXISTING CONC. WALKS. PROVIDE ACCESSIBILITY TO NEW PLAYGROUND AREA.
- 14 REPAIR FOUNDATION BLOCK AS NEEDED.
- 15 REMOVE EXISTING PLAYGROUND.
- 16 EXISTING PUMP STATION FENCING TO BE REMOVED. WRAP EXISTING POSTS W/VINYL. INSTALL NEW HORIZONTAL CEMENT BRD. SIDING(7 1/4" CEDAR, GRAY AREA SW7052, EGGSHELL) W/1" GAP ON 4 SIDES W/GATE.
- 17 REMOVE EXISTING SPEED BUMPS AND INSTALL NEW 9' PLASTIC OR RUBBER SPEED BUMPS. INSTALL PER MFG.'S SPEC.'S
- 18 REMOVE & REPLACE EXISTING CONDENSER UNIT/ELECTRIC METER ENCLOSURES.

**PARKING CALCULATIONS**

PARKING REQUIRED: 2 SPACE PER DWELLING UNIT  
 48 UNITS X 2 = 96 SPACES REQUIRED  
 6 HANDICAPPED SPACES PROVIDED  
 114 TOTAL SPACES ON SITE

**GENERAL NOTES**

ALL SITE IMPROVEMENTS ARE TO COMPLY WITH SCSHF&DA 2015 HOUSING CREDIT QAP, GENERAL UNIVERSAL DESIGN FEATURES AS THEY APPLY TO THE REHABILITATION OF EXISTING UNITS. ALL SITE IMPROVEMENTS SHALL BE CONFORMING TO FHAG, ADAAG, AND UFAS WITH RESPECT TO ACCESSIBLE ROUTES. ESTABLISH POSITIVE DRAINAGE AROUND ALL BUILDING PERIMETERS.



WD 1/12/16 SAM

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 1905 CANTERBURY LANE, #3E SUN CITY CENTER, FL 33573  
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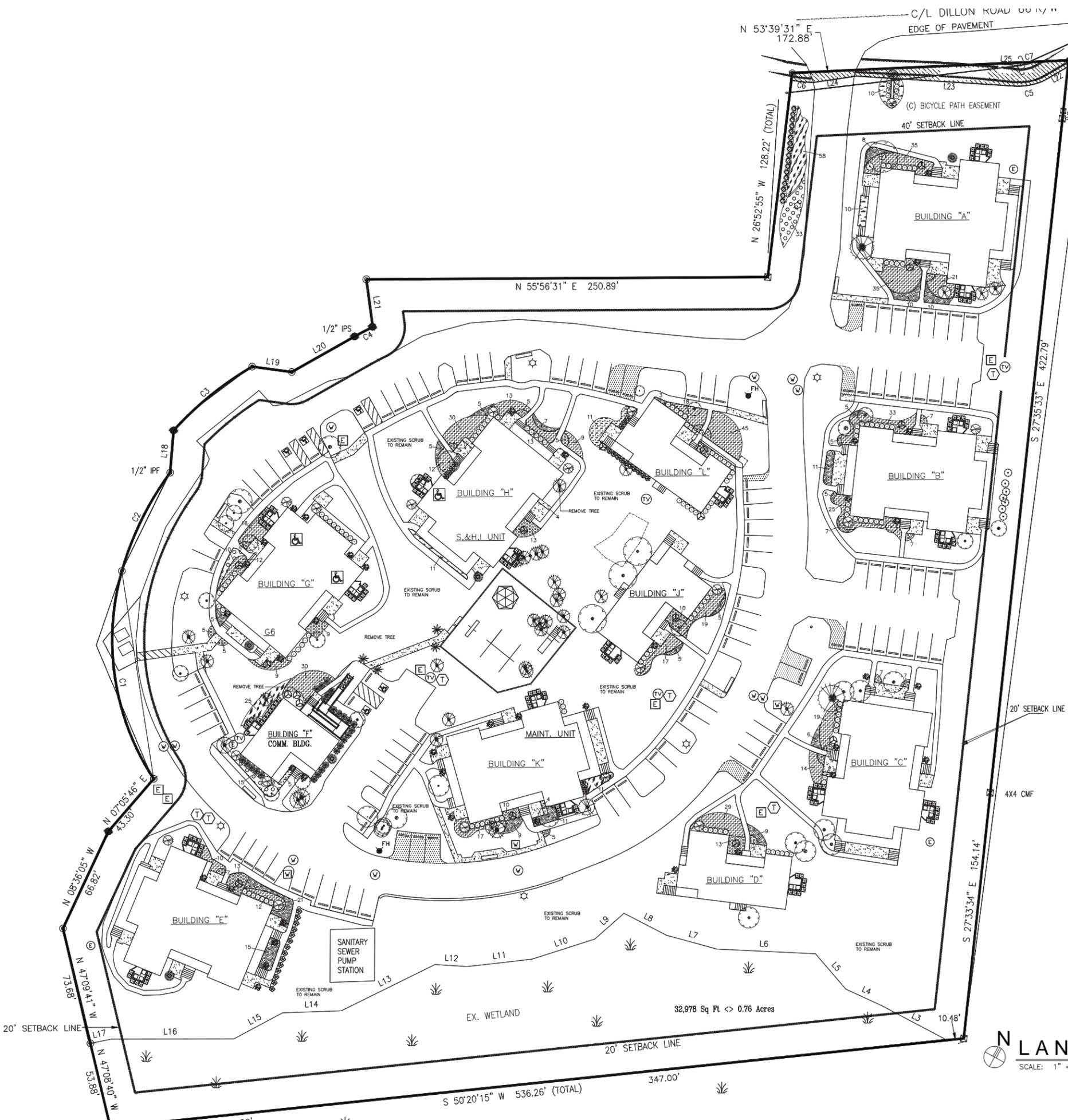
**90 DILLON APARTMENTS**  
 90 DILLON ROAD  
 HILTON HEAD, SC 29926

COMM. NO. 15-007

SHEET

**L1**

OF



**PLANTING SCHEDULE:**

ABBREVIATIONS: A.S. - AS SHOWN, B&B - BALLED AND BURLAPPED, CAL - CALIPER, C.G.S. - CONTAINER GROWN STOCK, D.S.R. - DOUBLE-STAGGERED ROW, HT - HEIGHT, L.A. - LANDSCAPE ARCHITECT, O.C. - ON-CENTER, SPRD - SPREAD  
 SYMBOL QUANTITY SCIENTIFIC NOMENCLATURE COMMON NAME SPACING & SIZE

TREES				
SYMBOL	QUANTITY	SCIENTIFIC NOMENCLATURE	COMMON NAME	SPACING & SIZE
	NA	EXISTING LIVE OAK TO REMAIN	NA	NA
	NA	EXISTING PINE TREE TO REMAIN	NA	NA
	17	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	8' HT., WELL SHAPED, B&B.
	39	PERSEA BORBONIA	RED BAY TREE	8' HT., WELL SHAPED, B&B.
	14	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	8' HT., WELL SHAPED, B&B.
	4	SABAL PALMETTO	SABAL PALM	12' CLEAR TRUNK, STRAIGHT STEM, WELL SHAPED
	4	CALLISTEMON RIGIDUS	BOTTLEBRUSH TREE	8' HT., WELL SHAPED, B&B.

SHRUBS & GROUNDCOVERS				
SYMBOL	QUANTITY	SCIENTIFIC NOMENCLATURE	COMMON NAME	SPACING & SIZE
	135	ILEX GLABRA	GALLBERRY	24" HT, 18" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	54	MYRICA PUSILLA	DWARF WAX MYRTLE	18" HT, 18" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	79	ILEX YAUPON 'STOKES DWARF'	STOKES DWARF YAUPON HOLLY	18" HT, 18" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	17	ILEX YAUPON 'KATHY ANN'	KATHY ANN YAUPON HOLLY	30" HT, 24" SPREAD, FULL CONTAINER GROWN SHRUB, 7 GAL.
	20	CLETHRA ALNIFOLA	DWARF SWEET PEPPERBUSH	24" HT, 18" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	25	ILICUM PARVIFLORUM 'ANISE'	FLORIDA ANISE	24" HT, 18" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	14	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	18" HT, 18" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	473	MUHLENBERGIA CAPILLARES	MUHLY GRASS	18" HT, 12" SPREAD, FULL CONTAINER GROWN SHRUB, 3 GAL.
	166	YUCCA FILAMENTOSA	BEARGRASS YUCCA	18" HT, 12" SPREAD, FULL CONTAINER GROWN SHRUB, 1 GAL.
	154	CONRADINA CANESCENS	CONRADINA (SCRUB MINT)	18" HT, 12" SPREAD, FULL CONTAINER GROWN SHRUB, 1 GAL.
	42	OSMUNDA CINNAMOMEA	CINNAMON FERN	18" HT, 12" SPREAD, FULL CONTAINER GROWN SHRUB, 1 GAL.
	94	SERENOA REPENS	SAW PALMETTO	18" HT, 12" SPREAD, FULL CONTAINER GROWN ANNUAL FLOWER, 1 GAL.
	58	ZAMIA PUMILA	COONTIE	18" HT, 12" SPREAD, FULL CONTAINER GROWN GROUND COVER, 1 GAL.

OTHER  
 ALL PLANTING BEDS SHALL BE MULCHED WITH PINE STRAW (LONGLEAF PINE) 3" DEPTH

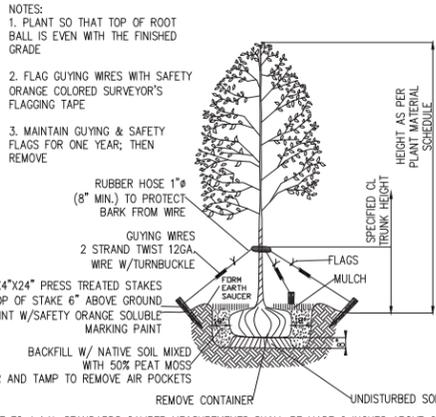
**LANDSCAPING PLAN**  
 SCALE: 1" = 30'

32,978 Sq Ft <> 0.76 Acres

**LANDSCAPING NOTES**

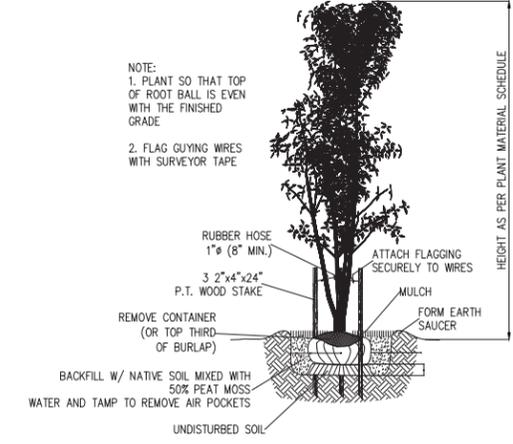
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, ELECTRICAL WIRING, WATER, SEWER, TELEPHONE, CABLE TV, ETC., PRIOR TO PLANT MATERIAL OR IRRIGATION INSTALLATION. DAMAGED UTILITY LINES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
2. (NOT APPLICABLE TO THIS PROJECT) THE CONTRACTOR SHALL PROVIDE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO ENSURE 100% COVERAGE OF ALL PLANTED AND GRASSED AREAS. LOCATION OF IRRIGATION CONTROL SYSTEM SHALL BE COORDINATED WITH THE OWNER OR LANDSCAPE ARCHITECT/ENGINEER. IRRIGATION SYSTEM SHALL INCLUDE RAIN SENSORS AND ALL IRRIGATION MATERIALS SHALL BE ASTM APPROVED.
3. THE CONTRACTOR SHALL INSTALL ONLY PLANTS GRADED NO. 1 OR BETTER AS SET FORTH IN THE "GRADES AND STANDARDS FOR NURSERY PLANTS" LATEST EDITION, INCLUDING REVISIONS AND THAT MEET OR EXCEED THE SIZES INDICATED IN THE PLANTING SCHEDULE. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ALL THE SOIL TOGETHER FIRMLY, BUT NOT LONG ENOUGH TO HAVE BECOME POT BOUND.
4. THE CONTRACTOR SHALL INSTALL SHRUBS IN CIRCULAR PITS WITH A DIAMETER 16" GREATER THAN ROOTBALL. PLANT TREES IN CIRCULAR PITS WITH A DIAMETER 36" GREATER THAN ROOTBALL OR CONTAINER. PLACE PLANTS WITH MOST ATTRACTIVE SIDE DIRECTED AWAY FROM BUILDING OR ANY OTHER VERTICAL ELEMENT.
5. THE CONTRACTOR SHALL FERTILIZE ALL PLANT MATERIAL WITH SLOW RELEASE FERTILIZER AT THE RATE RECOMMENDED BY THE MANUFACTURER. TREES SHALL BE FERTILIZED WITH 20-5-10 (OR APPROVED EQUAL), AND SHRUBS AND GROUND COVER SHALL BE FERTILIZED WITH 14-7-14 (OR APPROVED EQUAL).
6. THE CONTRACTOR SHALL APPLY A MYCORRHIZAL INOCULANT AND 100% ORGANIC STARTER FERTILIZER TO EACH NEW TREE PLANTED AND SHRUB/GROUND COVER BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL APPLY PRE-EMERGENT AND POST-EMERGENT HERBICIDES ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS TO ALL PLANTING BEDS.
8. THE CONTRACTOR SHALL APPLY MULCH TO PLANTED AREAS AT A MINIMUM 3" COMPACTED THICKNESS WITH AN APPROVED ORGANIC MULCH, I.E. MELALEUCA BARK, EUCALYPTUS BARK, PINE STRAW, ETC. MULCH SHALL BE APPLIED IMMEDIATELY AFTER COMPLETION OF PLANTING OPERATIONS. LIMITS OF MULCHING SHALL BE AS SHOWN ON PLAN, OR FOR INDIVIDUAL PLANTS, THE AREA OF THE PLANTING PIT, SEE PLANTING DETAILS.
9. THE CONTRACTOR SHALL LAY SOD AND/OR INSTALL GRASS PLUGS SOLIDLY IN INDICATED AREAS WITH CLOSELY ABUTTING JOINTS, ROLL AND FERTILIZE WITH A 18-24-6 SLOW-RELEASE TURF FORMULA FERTILIZER AT THE MANUFACTURER'S RECOMMENDED RATE. PIN ALL SODDED SLOPES GREATER THAN 4:1 WITH STEEL U-PINS/SOD STAPLES.
10. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES IN THE PLANTING SCHEDULE AND INSTALL ALL PLANTS AND MATERIALS AS INDICATED ON THE PLANS. PROVIDE UNIT PRICES FOR EACH PLANT, WHICH INCLUDE ALL OTHER INCIDENTAL MATERIALS, (I.E. APPROVED MULCH, FERTILIZER, ETC.) LABOR, ETC.
11. THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY UNFORESEEN CONDITIONS I.E., COMPACTED SOIL / SUBGRADE, POOR DRAINAGE, UNCONSOLIDATED SOIL, EROSION, UTILITY CONFLICTS, EXCESSIVE SUN OR SHADE, ETC., PRIOR TO PROCEEDING WITH LANDSCAPE INSTALLATION.
12. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR ONE YEAR.
13. ALL PLANTS, MATERIALS AND WORKMANSHIP ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER.
14. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS OR REVISIONS WITHOUT OWNER/LANDSCAPE ARCHITECT APPROVAL.
15. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS INCLUDING WATERING, MOWING, MULCHING, WEED, PEST CONTROL, ETC. UNTIL FINAL APPROVAL BY THE OWNER/LANDSCAPE ARCHITECT.
16. THE CONTRACTOR SHALL KEEP ALL AREAS OF WORK CLEAN, NEAT AND ORDERLY. ALL PAVED SURFACES ARE TO BE CLEANED OF SOIL AND DEBRIS AT THE CLOSE OF THE WORK DAY.
17. EACH TREE AND SHRUB SHALL BE PRUNED AS NEEDED TO REMOVE ALL DEAD WOOD, SUCKERS, OR BROKEN/DAMAGED BRANCHES. ALL PRUNING SHALL BE IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE AND SHALL PRESERVE THE NATURAL HABIT AND CHARACTER OF THE PLANT.
18. PLANTS WITH BROKEN ROOT BALLS OR SUBSTANTIAL DAMAGE TO ANY PART SHALL BE REPLACED PRIOR TO PLANTING.
19. PLANTS SHALL BE HANDLED BY THE ROOT BALL, NEVER BY THE STEM OR FOLIAGE. BALLED PLANTS SHALL NOT BE DROPPED.
20. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN FLOURISHING CONDITION OF ACTIVE GROWTH AFTER ONE YEAR. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER GUARANTEE PERIOD UNLESS OTHERWISE AGREED WITH CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND INFORM THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. ANY MATERIAL SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED. THE CONTRACTOR SHALL REMOVE DEAD AND UNHEALTHY PLANTS IMMEDIATELY AND REPLACE AT THE CONTRACTOR'S EXPENSE.
21. (NOT APPLICABLE THIS PROJECT) CONTRACTOR SHALL PROVIDE IRRIGATION SYSTEM THAT WILL PROVIDE 100% COVERAGE OF ALL LANDSCAPED AREAS. COORDINATE WITH OWNER AREAS TO BE IRRIGATED WITH POTABLE WATER. COORDINATE WITH GENERAL CONTRACTOR FOR PIPING/SLEEVES REQUIRED UNDER PAVED SURFACES.
22. SIGHT TRIANGLE AREAS SHALL BE DESIGNED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE (TREE TRUNKS TRIMMED OF FOLIAGE TO NINE FEET AND NEWLY PLANTED MATERIAL WITH IMMATURE CROWN DEVELOPMENT ALLOWING VISIBILITY ARE EXEMPT).
23. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING TREES TO REMAIN AS PER SANTA ROSA COUNTY TREE PROTECTION DETAILS/METHODS.

1. PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
2. ROOTBALLS SHALL BE SET 1"-2" ABOVE FINISHED GRADE. PLANT MATERIAL TO BE SET PLUMB.
3. BACKFILL SHALL BE LOOSENED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A
5. MULCH SHALL BE A 3" DEEP LAYER PLACED TO THE EDGE OF THE TRUNK FLARE.
6. STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
7. SABAL PALMS MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
8. ALL DIMENSIONS PROVIDED FOR WOODEN MATERIALS ARE NOMINAL.

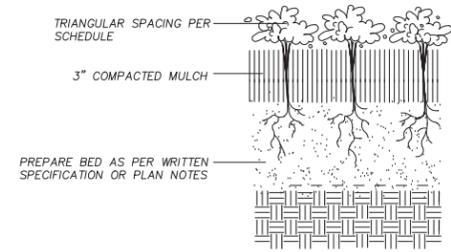


PURSUANT TO A.A.N. STANDARDS CALIPER MEASUREMENTS SHALL BE MADE 6 INCHES ABOVE GROUND LEVEL (ROOTBALL) UP TO AND INCLUDING 4 INCH CALIPER; 12 INCHES ABOVE GROUND LEVEL FOR LARGER SIZES. ("DUCKBILL" GUYING SYSTEM IS AN ACCEPTABLE ALTERNATIVE TO ABOVE)

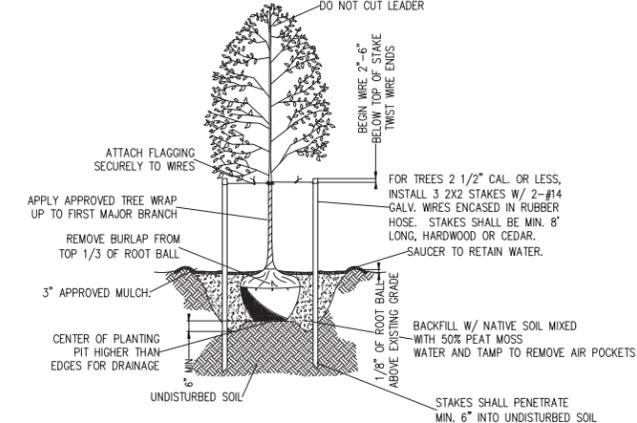
**TREE PLANTING / GUYING DETAIL**  
(FOR TREES 2" CALIPER OR GREATER)  
N.T.S.



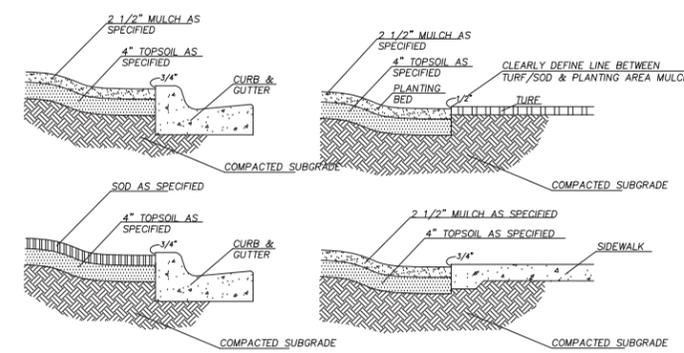
**MULTI-TRUNK TREE PLANTING DETAIL**  
N.T.S.



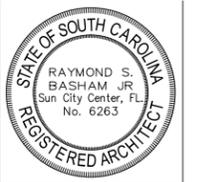
**GROUNDCOVER PLANTING DETAIL**  
N.T.S.



**MEDIUM CANOPY OR FLOWERING TREE**  
(FOR TREES 9' IN HEIGHT OR LESS)  
NTS



**TYPICAL EDGE CONDITIONS**  
N.T.S.



WD 1/12/16 SAM

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**90 DILLON APARTMENTS**  
90 DILLON ROAD  
HILTON HEAD, SC 29926

COMM. NO. 15-007  
SHEET

**L2**

OF

## MANDATORY DESIGN CRITERIA

- WINDOW COVERINGS FOR EACH WINDOW, INCLUDING GLASS DOORS, MUST BE INSTALLED. METAL BLINDS ARE NOT PERMITTED.
- ALL KITCHEN AND BATHROOM INTERIOR CABINETS MUST BE SOLID OR WOOD/PLASTIC VENEER PRODUCTS WITH DUAL SLIDE TRACKS ON DRAWERS. NEW CABINETS MUST HAVE SOLID WOOD DUAL SIDETRACK DRAWERS AND NO LAMINATE OR PARTIAL BOARD FRONTS, FOR DOORS OR DRAWER FRONTS. CABINETS SHALL MEET THE ANSI/KCMA A1 61.1 CERTIFICATION SEAL OF KCMA (KITCHEN CABINET MANUFACTURERS ASSOCIATION).
- ALL ENTRY DOORS MUST BE METAL CLAD WOOD, STEEL OR FIBERGLAS DOORS THAT ARE INSULATED, paneled and have a PEEP HOLE. ALL ENTRY DOORS SHALL HAVE A DEADBOLT LOCK THAT HAS A 'THUMB LATCH' ON THE INTERIOR SIDE. DOUBLE KEYED DEADBOLTS SHALL NOT BE USED. THE MIN. CLEAR OPENING OF ALL ENTRY DOORS SHALL BE 34".
- BI-FOLD AND SLIDING INTERIOR DOORS SHALL NOT BE USED. ALL DOORS MUST BE SIDE HINGED.
- A LANDSCAPING PLAN SHALL BE SUBMITTED THAT SHOWS AREAS OF SOD AND COMPLIES WITH LOCAL LANDSCAPING ORDINANCES. SOD SHALL BE INSTALLED IN THE FRONT AND SIDE YARDS TO A POINT 20' FROM THE BUILDING, ALL OTHER AREAS SHALL BE SEEDED.
- ALL RETENTION AND OR DETENTION PONDS MUST BE FENCED IN UNLESS A LETTER IS PROVIDED FROM THE DEPARTMENT OF HEALTH AND ENVIRONMENT CONTROL (DHEC) THAT A FENCE IS NOT REQUIRED. THE STORM WATER RETENTION/DETENTION BASIN DESIGN, MAINTENANCE AND MANAGEMENT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER AND SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL AND ENVIRONMENTAL REGULATIONS GOVERNING STORM WATER RETENTION/DETENTION BASINS.
- PLAYGROUND FOR CHILDREN LOCATED AWAY FROM AUTOMOBILE TRAFFIC PATTERNS WITH COMMERCIAL QUALITY PLAY EQUIPMENT (THE PLAY AREA MUST HAVE A MIN. OF FOUR SEPARATE PIECES OF EQUIPMENT OR A STRUCTURE THAT ENCOMPASSES A MIN. OF FOUR PIECES OF EQUIPMENT ACCESSIBLE TO HANDICAPPED TRAFFIC AND AT LEAST ONE PERMANENTLY ANCHORED, WEATHER RESISTANT BENCH, WITH A BACK.
- A NEW DEVELOPMENT SIGN AT THE ENTRANCE(S) TO THE COMPLEX AFFIXED WITH A FAIR HOUSING LOGO.
- EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED AT ALL ENTRY DOORS TO INDIVIDUAL APARTMENT UNITS, COMMUNITY BUILDING AND COMMON SPACES. THE FIXTURES AT THE INDIVIDUAL APARTMENT UNITS ARE TO BE CONTROLLED FROM WITHIN THE UNIT.
- THE TRASH DUMPSTER SHALL BE ENCLOSED BY A SOLID FENCE ON THREE SIDES. THE PAD AND APPROACH SHALL BE CONCRETE. THE ENCLOSURE WILL BE ADA ACCESSIBLE AND BE ON AN ACCESSIBLE ROUTE.
- ROOFING MATERIAL SHALL BE ANTI-FUNGAL SHINGLES WITH A MINIMUM 30 YEAR WARRANTY.
- A MIN. 14 CF, ENERGY STAR RATED REFRIGERATOR/FREEZER WITH ICE MAKER SHALL BE PROVIDED FOR EACH UNIT.
- AN ENERGY STAR, 15 SEER RATED CENTRAL HEATING AND COOLING SYSTEM SHALL BE INSTALLED. ALL REFRIGERANT LINES ARE TO BE INSULATED. ALL DEVELOPMENTS MUST HAVE CENTRAL HEAT AND AIR. WINDOW UNITS ARE NOT ALLOWED FOR ANY DEVELOPMENT TYPE.
- A LAUNDRY FACILITY, WITH SEATING AND A FOLDING TABLE, SHALL BE PROVIDED IN THE COMMUNITY BUILDING CONTAINING TWO WASHERS AND TWO DRYERS. ALL APARTMENT UNITS SHALL BE PROVIDED WITH WASHER/DRYER HOOK-UPS.
- ALL UNITS SHALL BE EQUIPPED WITH A 5 LB. ABC RATED DRY CHEMICAL FIRE EXTINGUISHER. IT SHALL BE READILY ACCESSIBLE IN THE KITCHEN AND BE MOUNTED TO ACCOMMODATE ADA ACCESSIBLE HEIGHTS IN ACCESSIBLE UNITS.
- WALL SWITCH CONTROLLED ENERGY STAR RATED OVERHEAD LIGHTING SHALL BE PROVIDED IN ALL ROOMS.
- SITE IS LOCATED IN RADON ZONE-3. THEREFORE, THIS ITEM IS NOT APPLICABLE.
- A SUB-SURFACE SOILS INVESTIGATION REPORT SHALL BE COMPLETED AND INCLUDED IN THE SPECIFICATIONS. THE SOILS REPORT AND BORING SITE PLAN MUST REFLECT THE RESULTS OF LABORATORY TESTS CONDUCTED ON A MINIMUM OF ONE SOIL BORING PER PLANNED BUILDING LOCATION AND A MINIMUM TOTAL OF TWO SOIL BORINGS AT THE PLANNED PAVED AREAS OF THE DEVELOPMENT. A REGISTERED PROFESSIONAL ENGINEER OR A CERTIFIED TESTING AGENCY WITH A CURRENT LICENSE TO PRACTICE IN THE STATE OF SOUTH CAROLINA MUST PREPARE THE REPORT.
- METAL FLASHING OR 20 MIL POLYETHYLENE WHEN USED IN CONJUNCTION WITH A SELF-ADHERING POLYETHYLENE LAMINATE FLASHING, SHALL BE INSTALLED ABOVE ALL EXTERIOR DOORS AND WINDOW UNITS.
- MAILBOXES, PLAYGROUND AND ALL EXTERIOR PROJECT AMENITIES SHALL BE ADA ACCESSIBLE.
- EXTERIOR WALL INSULATION SHALL HAVE AN OVERALL RATING OF R-11 MIN. ROOF/ATTIC INSULATION SHALL HAVE A RATING OF R-38 MIN.
- TUB/SHOWER UNITS SHALL HAVE A MIN. SIZE OF 30"x60" AND BE EQUIPPED WITH ANTI-SCALD DEVICES. ALL SHOWER UNITS WITHOUT TUBS SHALL HAVE A MIN. SIZE OF 30"x48" (ADA APPROVED SHOWER). ALL TUBS IN DESIGNATED HANDICAP ACCESSIBLE UNITS SHALL BE EQUIPPED WITH FACTORY INSTALLED GRAB BARS.
- MIRROR LENGTH SHALL EXTEND TO THE TOP OF THE VANITY BACKSPLASH. THE TOP OF THE MIRROR SHALL BE A MIN. OF 6'-0" ABOVE FINISH FLOOR. MEDICINE CABINETS WITH MIRRORS ARE ALLOWED WITH A MIN. SIZE OF 14"x24", THE TOP OF THE MIRROR SHALL BE MIN. 6'-0" ABOVE FINISH FLOOR. VANITY CABINETS OR A MEDICINE CABINET SHALL BE PROVIDED IN ALL UNITS. ALL CABINETS IN DESIGNATED HANDICAP ACCESSIBLE UNITS MUST BE INSTALLED AT ADA MOUNTING HEIGHTS.
- WATER HEATERS SHALL BE PLACED IN DRAIN PANS WITH THE DRAIN PIPING PLUMBED TO A DISPOSAL POINT AS PER THE LATEST APPROVED EDITION OF THE INTERNATIONAL PLUMBING CODE.
- PIPE ALL WATER HEATER TEMPERATURE & PRESSURE RELIEF VALVES DISCHARGES TO DISPOSAL POINT AS PER THE LATEST APPROVED EDITION OF THE INTERNATIONAL PLUMBING CODE.
- SHUTTERS ARE NOT BEING INSTALLED ON THE PROJECT.
- ROOF GABLE VENTS SHALL BE MADE OF ALUMINUM OR VINYL MATERIALS.
- ALL ATTICS SHALL BE VENTED.
- CARPET AND RESILIENT FLOORING MATERIALS SHALL MEET MINIMUM FHA STANDARDS.
- EACH BEDROOM AND HALLWAY, ETC. SHALL HAVE, AS REQUIRED BY CODE (LOCAL, STATE OR FEDERAL) A HARD-WIRED BATTERY BACK-UP SMOKE DETECTOR.
- ALL CONSTRUCTION MATERIALS MUST MEET ALL LOCAL, STATE, FEDERAL AND ENVIRONMENTAL REGULATIONS AND SPECIFICATIONS.
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN ALL UNITS WITH GAS MECHANICAL SYSTEMS OR GAS APPLIANCES. UNITS WITH AN ATTACHED GARAGE MUST ALSO HAVE A CARBON MONOXIDE DETECTOR INSTALLED. A COMBINATION UNIT SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR CAN BE USED TO MEET THIS REQUIREMENT.
- PRE-FINISHED FASCIA AND SOFFIT SHALL BE VINYL COVERED ALUMINUM AND/OR PERFORATED CEMENTITIOUS PANELS WITH VENTS.
- GUTTER AND DOWNSPOUT SYSTEMS COMPLETE WITH SPLASH BLOCKS WILL BE SUPPLIED SURROUNDING ALL RESIDENTIAL BUILDINGS.
- SITE AMENITIES SUCH AS GAZEBO'S, MAIL KIOSKS, ETC. SHALL BE CONSTRUCTED SO THAT NO WOOD IS EXPOSED. CONCEALMENT SHALL BE WITH MATERIALS SUCH AS ALUMINUM, VINYL OR CEMENTITIOUS PRODUCTS. DECORATIVE RAILS AND/OR GUARD RAIL SYSTEMS SHALL BE CODE COMPLIANT AND MADE OF VINYL, FIBERGLAS OR METAL. WOOD RAILINGS SHALL NOT BE USED. GAZEBO'S SHALL HAVE TABLE AND BENCH SEATING.
- AT A MINIMUM, THE DEVELOPMENT SHALL MEET THE 2006 INTERNATIONAL ENERGY CONSERVATION CODE.

## REHABILITATION DESIGN CRITERIA

ANY OF THE FOLLOWING ITEMS (NOT TO INCLUDE REPAINTING OF THE ENTIRE UNIT) REPLACED ON OR AFTER JANUARY 1, 2008 ARE NOT TO BE REPLACED AS PART OF THE REHABILITATION.

- REPLACE AND INSTALL NEW FLOORING IN EACH UNIT. AT A MIN., TILE MUST BE VCT OR BETTER.
- ENTIRE UNIT (ALL ROOMS AND CEILINGS) MUST BE REPAINTED.
- NEW BATHROOM FIXTURES MUST BE INSTALLED TO INCLUDE THE FOLLOWING:
  - NEW TUB AND NEW SHOWER, RE-GLAZING NOT ALLOWED. THREE PIECE SURROUND INSERT IS ACCEPTABLE. ALL CAULKING MUST BE REPLACED.
  - REPLACE SINK, VANITY AND PLUMBING FIXTURES WITH NEW. VANITY TO INCLUDE, AT A MIN., A PULL OUT DRAWER AND/OR STORAGE AREA.
  - NEW TOILET.
  - INSTALL NEW RE-CIRCULATING EXHAUST FAN.
  - INSTALL NEW WATER SUPPLY VALVES.
- NEW KITCHEN FIXTURES MUST BE INSTALLED TO INCLUDE THE FOLLOWING:
  - DUAL TRACK SLIDING DRAWERS.
  - NEW DOUBLE SINK AND PLUMBING FIXTURES.
  - NEW STOVE WITH RE-CIRCULATING EXHAUST FAN.
  - NEW ENERGY STAR RATED REFRIGERATOR, WITH ICE MAKER THAT IS A MIN. OF 18 CUBIC FT.
  - INSTALL NEW WATER SUPPLY VALVES.
- ALL ENTRY DOORS MUST BE STEEL OR FIBERGLASS DOORS THAT ARE INSULATED, paneled, and have a PEEP HOLE.
- NEW ENERGY STAR HOT WATER HEATERS WITH AN ENERGY FACTOR GREATER THAN 0.93(ELECTRIC).
- REPLACE ALL WINDOWS WITH INSULATED, DOUBLE PANE GLASS IN EITHER VINYL OR ALUMINUM FRAMING (ENERGY STAR RATED).
- ALL UNITS WIRED FOR HIGH SPEED (BROADBAND) INTERNET HOOK-UP WITH AT LEAST ONE CENTRALLY LOCATED CONNECTION PORT OR WIRELESS COMPUTER NETWORK. ALL WIRES TO BE HIDDEN.
- UNITS WITH EXISTING WASHER/DRYER CONNECTIONS MUST REPLACE AND INSTALL NEW WATER SUPPLY FIXTURES AND VALVES.
- N/A. PROJECT IS A FAMILY PROJECT.
- WINDOW BLINDS AND EXTERIOR WINDOW SCREENS TO BE REPLACED.
- REPLACE ALL DAMAGED AND WORN INTERIOR DOORS, JAMS, FRAMES, AND HARDWARE.
- RESEAL ALL ASPHALT PARKING AND ROADWAY SERVICES THROUGHOUT THE DEVELOPMENT.

## DEVELOPMENT CHARACTERISTICS

- ROOF SHINGLES - ARCHITECTURAL, ANTI FUNGAL, 30 YR.
- ATTIC INSULATION RATED R-38 OR HIGHER.
- ALL UNITS SHALL HAVE ENERGY STAR RATED, 15 SEER OR GREATER, HVAC SYSTEMS.
- ALL UNITS SHALL HAVE A BALCONY/PATIO. TO BE MIN. 64 SQ.FT.
- UNDERGROUND UTILITIES THROUGHOUT THE DEVELOPMENT SITE.
- IN THE COMMUNITY ROOM PROVIDE A MIN. OF TWO CURRENT UPDATED COMPUTER SYSTEMS, MFG. W/I THE LAST 12 MOS., TO INCLUDE NEW: COMPUTERS, PRINTERS, & SCANNER. COMPUTERS EQUIPPED W/HIGH SPEED INTERNET SERVICE (BROADBAND OR CABLE). IT IS EXPECTED THAT PRINTER CARTRIDGES, COMPUTER SUPPLIES AND ONGOING MAINTENANCE OF THE COMPUTERS AND SYSTEMS WILL BE FURNISHED.
- EACH UNIT MUST HAVE AN ENERGY STAR CEILING FAN W/LIGHT FIXTURE IN THE LIVING ROOM AND ALL BEDROOMS. ALL CEILING FANS AND OVERHEAD LIGHTS MUST CONNECT TO WALL SWITCHES.
- FULL SIZE ENERGY STAR REFRIGERATOR, WITH ICE MAKER, HAVING A MIN. SIZE OF EIGHTEEN (18) CUBIC FEET.
- ALL UNITS PRE-WIRED FOR HIGH SPEED INTERNET(BROADBAND) HOOK-UP W/ONE CENTRALLY LOCATED CONNECTION PORT & CONNECTION PORTS IN ALL BEDROOMS.
- OVER THE RANGE MOUNTED MICROWAVE OVEN, WITH RE-CIRCULATING FAN, IN ALL UNITS.
- ALL UNITS MUST HAVE A RANGE QUEEN OR COMPARABLE EXTINGUISHING SYSTEM OVER THE STOVE OR HAVE ELEMENT TEMPERATURE CONTROL PLATES ON EACH STOVE BURNER (E.G. SAFE-T-ELEMENT, ETC.).
- A MIN. EIGHT CAMERA VIDEO SYSTEM WITH SIX CAMERAS MONITORING THE EXTERIOR SITE AND TWO MONITORING THE MANAGER'S OFFICE AND COMMUNITY CENTER.
- ONE (1) RENTAL UNIT RESERVED FOR A SECURITY OFFICER, ON-SITE MANAGER OR MAINTENANCE PERSON. THE UNIT WILL BE TREATED EITHER AS COMMUNITY SPACE AND NON-REVENUE GENERATING OR AS AN INCOME ELIGIBLE UNIT WHICH WILL BE SUBJECT TO COMPLIANCE MONITORING.
- PROVIDE AN EASILY ACCESSIBLE AREA THAT SERVES THE ENTIRE DEVELOPMENT AND IS DEDICATED TO THE COLLECTION AND STORAGE OF NON-HAZARDOUS MATERIAL FOR RECYCLING, TO INCLUDE PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, AND METALS. PROPERTY MANAGEMENT IS RESPONSIBLE FOR ENSURING OF PROPER DISPOSAL AND REMOVAL OF RECYCLABLES.
- INSTALL ENERGY STAR RATED DISHWASHER IN ALL UNITS.
- INSTALL OVERHEAD LIGHT FIXTURE CONNECTED TO A WALL SWITCH IN THE LIVING ROOM AND ALL BEDROOMS. ALL LIGHT FIXTURES TO BE FITTED WITH ENERGY STAR LIGHT BULBS.
- PROVIDE ONE-HALF (1.5) BATHROOMS IN ALL UNITS WITH TWO (2) OR MORE BEDROOMS.
- THE COMMUNITY BUILDING IS LARGER THAN 1,200 S.F. THE BUILDING IS FULLY ADA COMPLIANT. THE NUMBER OF WASHER/DRYER UNITS PROVIDED SHALL COMPLY WITH ITEM 14 OF SECTION V, MANDATORY DESIGN CRITERIA.
- HOOK-UPS FOR STANDARD SIZE WASHER/DRYERS IN ALL UNITS.
- ENERGY STAR RATED WINDOWS IN ALL UNITS.

## GENERAL SCOPE OF WORK NOTES

- INSPECT & REPAIR OR REPLACE ALL DETERIORATED FLOOR SHEATHING AND FLOOR JOISTS.
- REMOVE & REPLACE INSULATION UNDER FLOOR JOISTS W/R-30 BATT. INSUL.(UNFACED).
- INSTALL TYEK TO UNDERNEATH SIDE OF FLOOR JSTS. W/PLASTIC CAP NAILS & BATTEN STRIPS.
- INSTALL HIGH CONTRAST NUMBERS AT LEAST 4" HT. AT ALL UNIT ENTRY DOORS.
- REPLACE ALL CRAWL SPACE PROTECTIVE FENCING W/NEW VINYL FENCING.
- INSTALL SPLASH BLOCKS@ ALL DOWNSPOUT LOCATIONS. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS WITH ADDITIONAL DRAIN TILE OR A FRENCH DRAIN SYSTEM.
- INSPECT EXISTING ATTIC INSULATION@ ALL BLDG.'S. UPGRADE TO MEET MIN. R-38 IF NEEDED, BLOWN-IN OR BATT. INSUL.
- SEE DESIGN CRITERIA, DEVELOPMENT CHARACTERISTICS, AND DRAWINGS FOR OTHER RELATED ITEMS.



WD 1/12/16 SAM

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 90 DILLON RD.  
 HILTON HEAD, SC 29926

COMM. NO. 15-007

SHEET

A2

OF



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 SHEET

A3

OF

ROOM FINISH SCHEDULE							
RM#	ROOM NAME	FLOOR	TRIM	WALL	CLG.	CLG. HGT.	NOTES
100	LIVING ROOM	1	7	9	9	8'-0"	
101	KITCHEN	1	7	9	9	8'-0"	
102	UTILITY CLOSET	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
103	BATHROOM	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
104	BEDROOM#1	3	7	9	9	8'-0"	
105	BEDROOM#2	3	7	9	9	8'-0"	
106	HALF BATH	1	7	9	9	8'-0"	
107	HALLWAY	1	7	9	9	8'-0"	
108	STORAGE CLOSET	*	7	9	9	8'-0"	*COMPOSITE OR VINYL DECKING

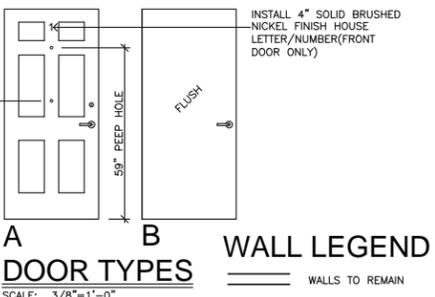
REMOVE ALL EXISTING DOORS, JAMBS, WINDOWS, TRIM, BASE, FLOORING, CABINETS, PLUMBING FIXTURES, & ELECTRICAL DEVICES. PATCH & SMOOTH ALL WALL SURFACES LEFT IN PLACE TO AN ACCEPTABLE INDUSTRY STANDARD AS TO BLEND INTO NEWLY INSTALLED WALL SECTIONS. RUN ALL NEW FLOORING FROM WALL TO WALL UNDER CABINETS & APPLIANCES. ALL FLOORING TO MEET MIN. FHA STANDARDS.

- ROOM FINISH LEGEND
- RESILIENT(MIN. FHA)
  - CERAMIC TILE
  - CARPET(MIN. FHA)
  - STAIN, POLYUR.
  - STAIN
  - SEALED CONCRETE
  - PRE-FINISHED(BASE/WINDOW/DOOR TRIM)
  - 6" RUBBER BASE
  - PAINT

DOOR SCHEDULE									
DR#	TYPE	MATERIAL	WIDTH	HEIGHT	THK'NS.	LABEL	FRAME MAT'L.	HW. SET	NOTES
01	A	STEEL(INSUL.-(PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	1/2" ADA THRESHOLD(BEVELED 1 TO 2 RATIO)HC UNIT ONLY. PROVIDE ALUM. SCREEN/STORM DOOR.ZONE 5
02	A	STEEL(INSUL.-(PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	1/2" ADA THRESHOLD(BEVELED 1 TO 2 RATIO)HC UNIT ONLY. ZONE 5.
03	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
04	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	2	
05	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
06	B	PREF. WOOD HOLLOW CORE	2'-0"	6'-8"	1 3/8"	-	WD	2	
07	B	PREF. WOOD HOLLOW CORE	2'-0"	6'-8"	1 3/8"	-	WD	2	
08	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
09	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	
10	B	PREF. WOOD HOLLOW CORE	2'-0"	6'-8"	1-3/8"	-	WD	2	

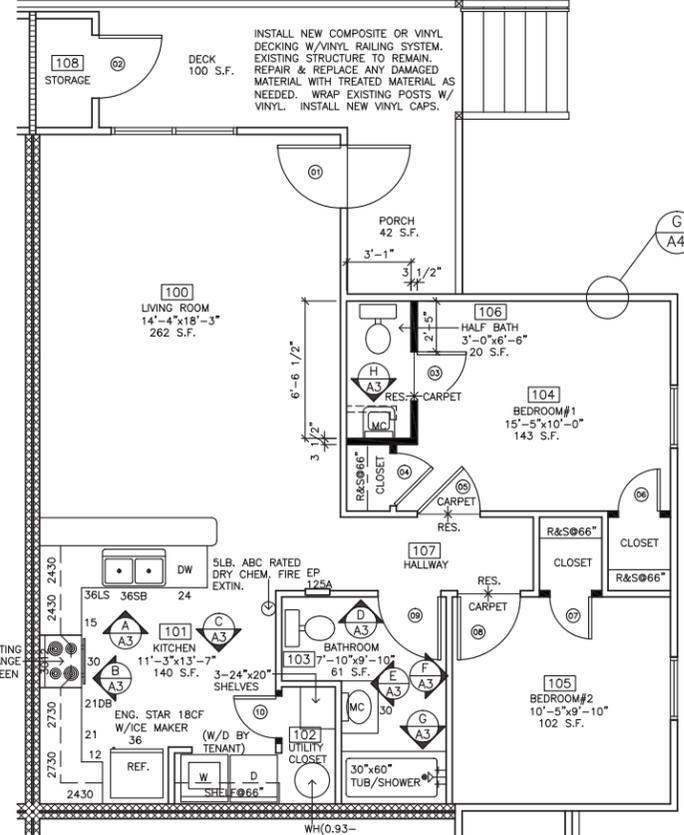
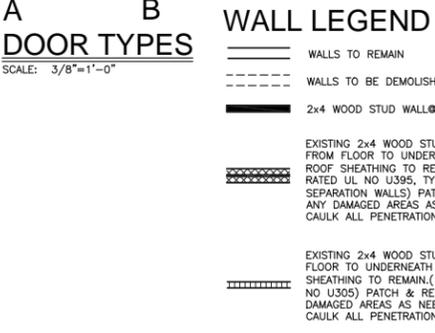
CONTRACTOR TO VERIFY ALL DOOR SIZES AND SWINGS IN FIELD. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(8 EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PDF)=35(ZONE 4) OR 45(ZONE 5).

- HARDWARE SET:  
 (ALL HANDLES TO BE LEVER TYPE HANDLES)  
 SCHLAGE F SERIES-BRUSHED NICKEL FINISH  
 1. -B260 DEAD BOLT(THUMB LATCH INT.)  
 -HINGES  
 -WALL STOP  
 -WEATHER STRIPPING  
 2. -PASSAGE  
 -HINGES  
 -WALL STOP  
 3. -PRIVACY LOCK SET  
 -HINGES  
 -WALL STOP



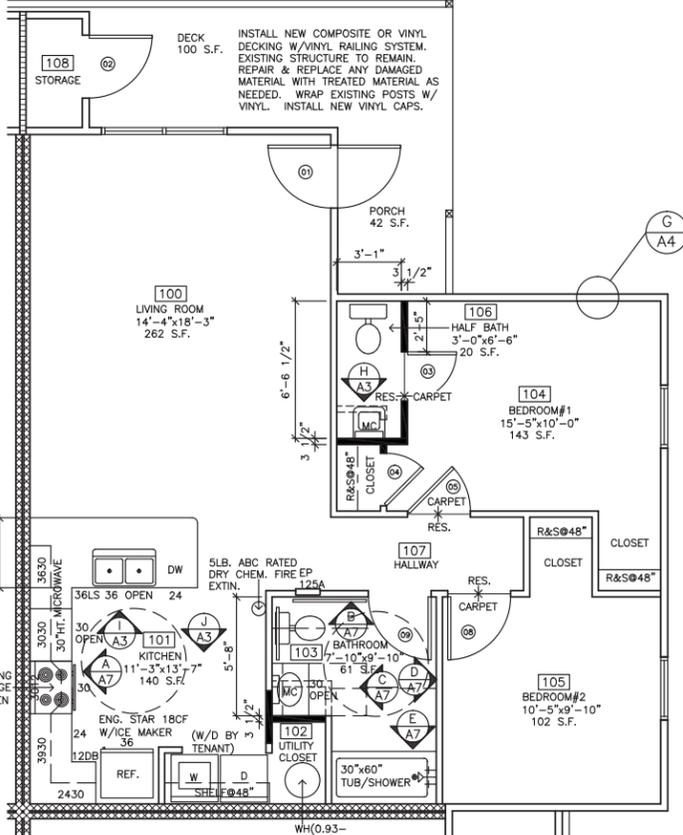
- NOTE: PROVIDE 2x10 BLOCKING @ ALL GRAB BAR & FUTURE GRAB BAR LOCATIONS.  
 NOTE: INSTALL MIN. 1-24\"/>

- NOTE: INSTALL 1-TOILET PAPER HOLDER IN EACH BATHROOM.



2 BEDROOM FLAT FLOOR PLAN

SCALE: 1/4" = 1'-0" BLDG.'S B,C,G,H,K  
 835 NET LIVING S.F.  
 898 GROSS S.F.

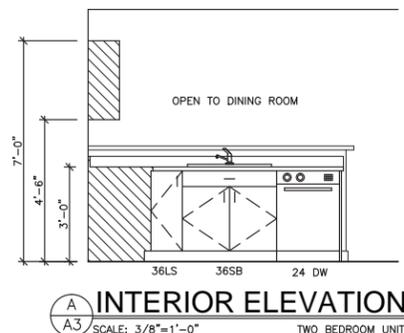


2 BEDROOM HC FLAT FLOOR PLAN

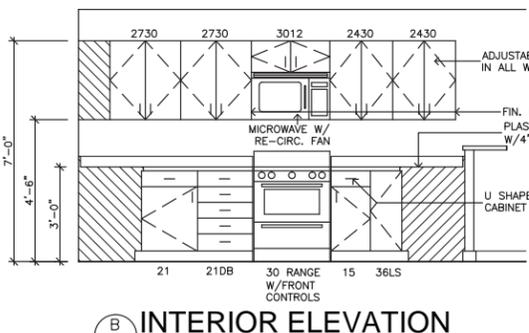
SCALE: 1/4" = 1'-0" BLDG.'S G,H-UNITS G3,G4,H3  
 835 NET LIVING S.F.  
 898 GROSS S.F.

ALL UNITS PRE-WIRED FOR HIGH SPEED INTERNET(BROADBAND) HOOK-UP W/ONE CENTRALLY LOCATED CONNECTION PORT & CONNECTION PORTS IN ALL BEDROOMS.

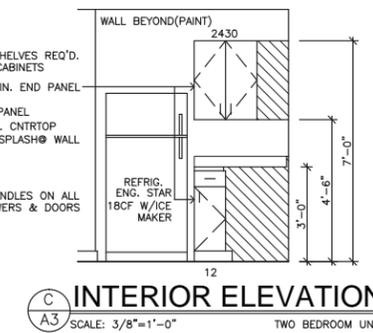
SEE DESIGN CRITERIA FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.



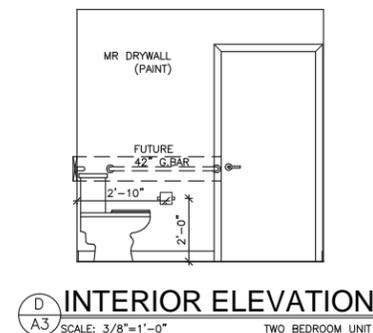
A INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



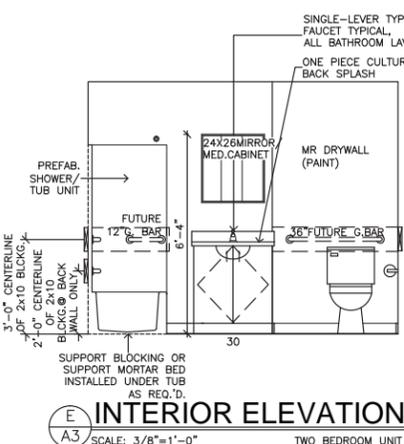
B INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



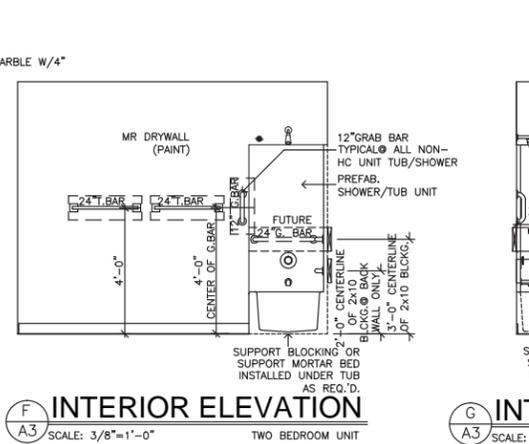
C INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



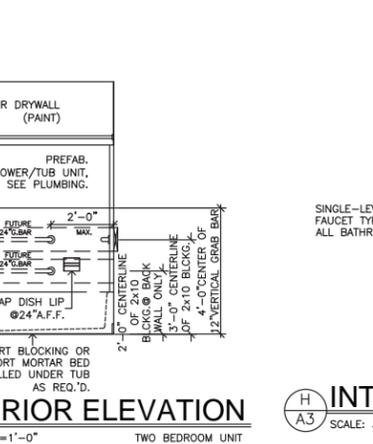
D INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



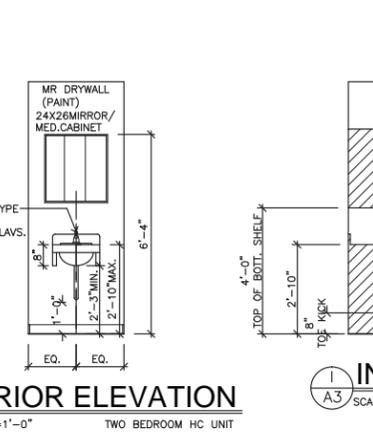
E INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



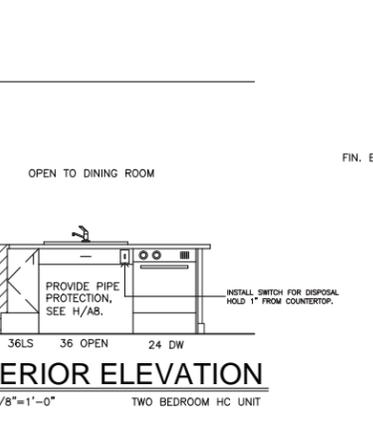
F INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



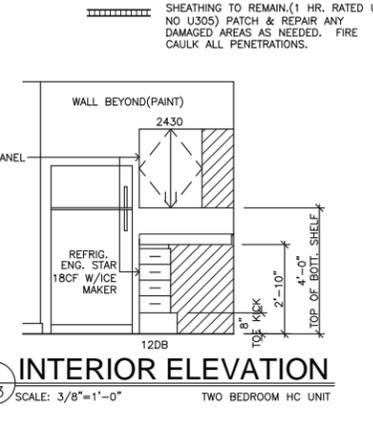
G INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



H INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM HC UNIT



I INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM HC UNIT



J INTERIOR ELEVATION  
 SCALE: 3/8"=1'-0" TWO BEDROOM HC UNIT



WD 1/12/16 SAM

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COMM. NO. 15-007

SHEET

A4

OF

ROOM FINISH SCHEDULE							
RM#	ROOM NAME	FLOOR	TRIM	WALL	CLG.	CLG. HGT.	NOTES
100	LIVING ROOM	1	7	9	9	8'-0"	
101	KITCHEN	1	7	9	9	8'-0"	
102	UTILITY CLOSET	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
103	DINING ROOM	1	7	9	9	8'-0"	
104	HALF BATH	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
105	STORAGE CLOSET	*	7	9	9	8'-0"	*COMPOSITE OR VINYL DECKING
200	BEDROOM#1	3	7	9	9	8'-0"	
201	BEDROOM#2	3	7	9	9	8'-0"	
202	HALLWAY	3	7	9	9	8'-0"	
203	BATHROOM	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
S-1	STAIRWAY	3	7	9	9	VARIES	

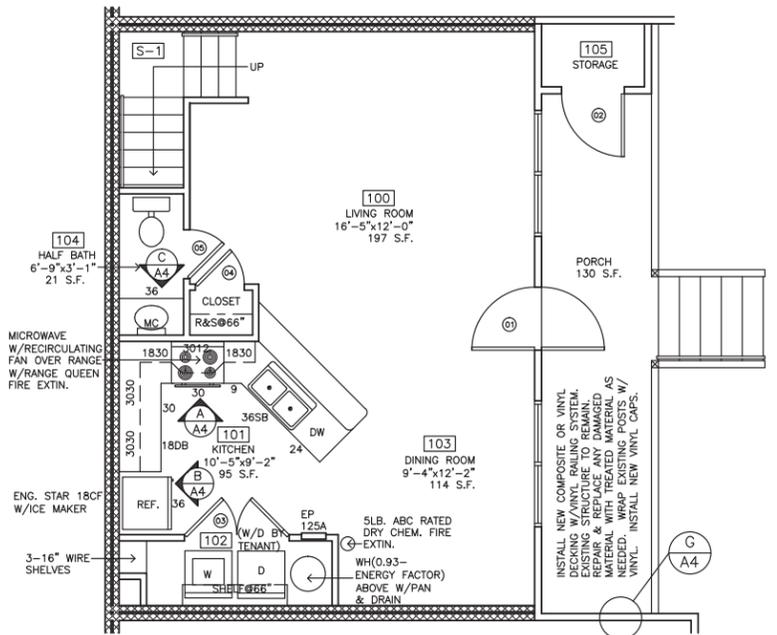
REMOVE ALL EXISTING: DOORS, JAMBS, WINDOWS, TRIM, BASE, FLOORING, CABINETS, PLUMBING FIXTURES, & ELECTRICAL DEVICES. PATCH & SMOOTH ALL WALL SURFACES LEFT IN PLACE TO AN ACCEPTABLE INDUSTRY STANDARD AS TO BLEND INTO NEWLY INSTALLED WALL SECTIONS. RUN ALL NEW FLOORING FROM WALL TO WALL UNDER CABINETS & APPLIANCES. ALL FLOORING TO MEET MIN. FHA STANDARDS.

ROOM FINISH LEGEND

1. RESILIENT(MIN. FHA)	6. SEALED CONCRETE
2. CERAMIC TILE	7. PRE-FINISHED(BASE/WINDOW/DOOR TRIM)
3. CARPET(MIN. FHA)	8. 6" RUBBER BASE
4. STAIN, POLYUR.	9. PAINT
5. STAIN	

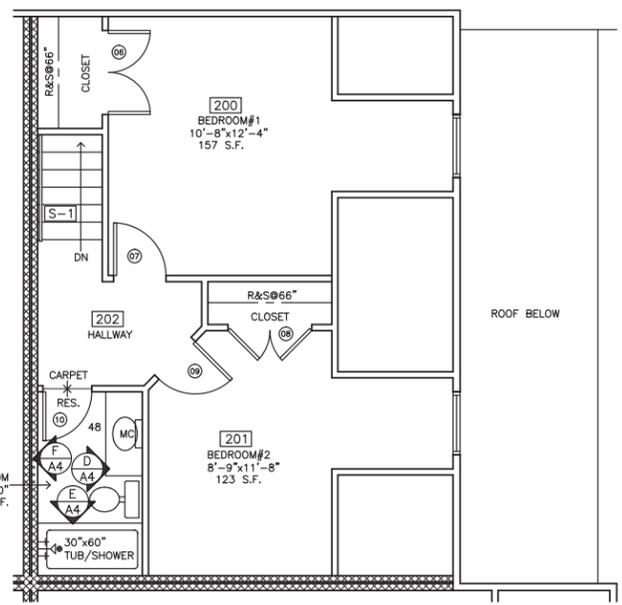
DOOR SCHEDULE									
DR#	TYPE	MATERIAL	WIDTH	HEIGHT	THK'NS.	LABEL	FRAME MAT'L	HW. SET	NOTES
01	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	PROVIDE ALUM. SCREEN/STORM DOOR
02	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	ZONE 5.
03	B	PREF. WOOD HOLLOW CORE	2'0"-6"	6'-8"	1-3/8"	-	WD	2	
04	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	2	
05	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
06	B	PREF. WOOD HOLLOW CORE	2'0"-0"	6'-8"	1 3/8"	-	WD	2	
07	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1 3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
08	B	PREF. WOOD HOLLOW CORE	2'0"-0"	6'-8"	1-3/8"	-	WD	2	
09	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
10	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	

CONTRACTOR TO VERIFY ALL DOOR SIZES AND SWINGS IN FIELD. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PSPF)=35(ZONE 4) OR 45(ZONE 5).



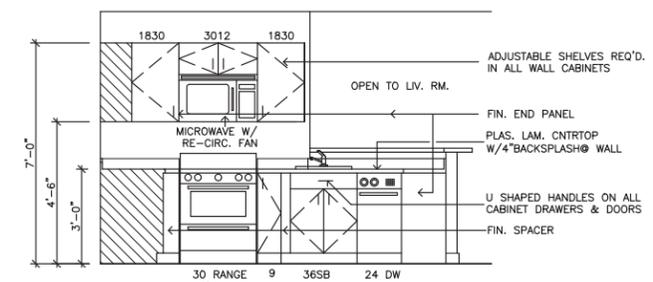
**2 BEDROOM TH FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" BLDG.'S A,B,C,E,G,H,K  
 542 NET LIVING S.F.  
 598 GROSS S.F.

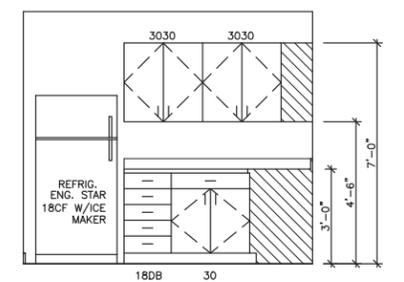


**2 BEDROOM TH SECOND FLOOR PLAN**

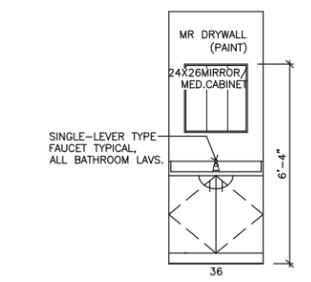
SCALE: 1/4" = 1'-0" BLDG.'S A,B,C,E,G,H,K  
 424 NET LIVING S.F.  
 459 GROSS S.F.



**A INTERIOR ELEVATION**  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



**B INTERIOR ELEVATION**  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT

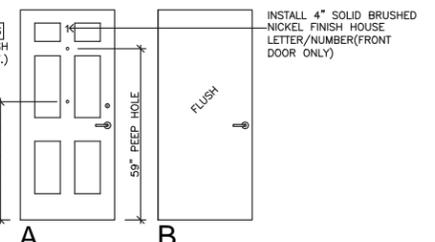


**C INTERIOR ELEVATION**  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT

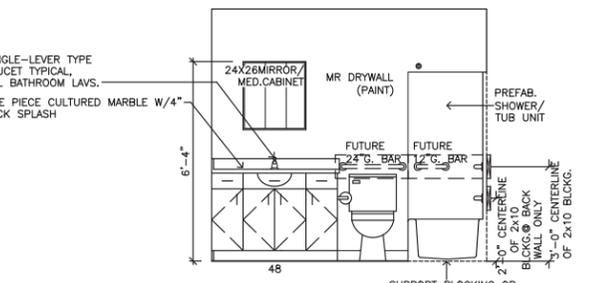
NOTE: PROVIDE 2x10 BLOCKING@ ALL GRAB BAR & FUTURE GRAB BAR LOCATIONS.  
 NOTE: INSTALL MIN. 1-24" TOWEL BAR IN EACH BATHROOM. INSTALL 2-24" TOWEL BARS WHERE SHOWN.  
 NOTE: INSTALL 1-TOILET PAPER HOLDER IN EACH BATHROOM.

SEE DESIGN CRITERIA FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.  
 ALL UNITS PRE-WIRED FOR HIGH SPEED INTERNET(BROADBAND) HOOK-UP W/ONE CENTRALLY LOCATED CONNECTION PORT & CONNECTION PORTS IN ALL BEDROOMS.

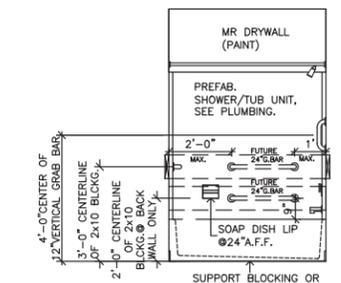
HARDWARE SET:  
 [ALL HANDLES TO BE LEVER TYPE HANDLES] SCHLAGE F SERIES-BRUSHED NICKEL FINISH  
 1. -8250 DEAD BOLT(THUMB LATCH@ INT.)  
 -HINGES  
 -WALL STOP  
 -WEATHER STRIPPING  
 2. -PASSAGE  
 -HINGES  
 -WALL STOP  
 3. -PRIVACY LOCK SET  
 -HINGES  
 -WALL STOP



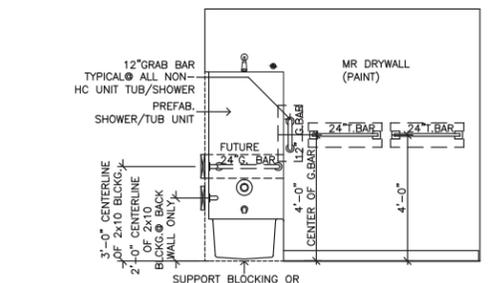
**DOOR TYPES**  
 SCALE: 3/8"=1'-0"



**D INTERIOR ELEVATION**  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT

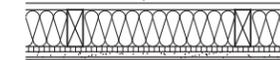


**E INTERIOR ELEVATION**  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT



**F INTERIOR ELEVATION**  
 SCALE: 3/8"=1'-0" TWO BEDROOM UNIT

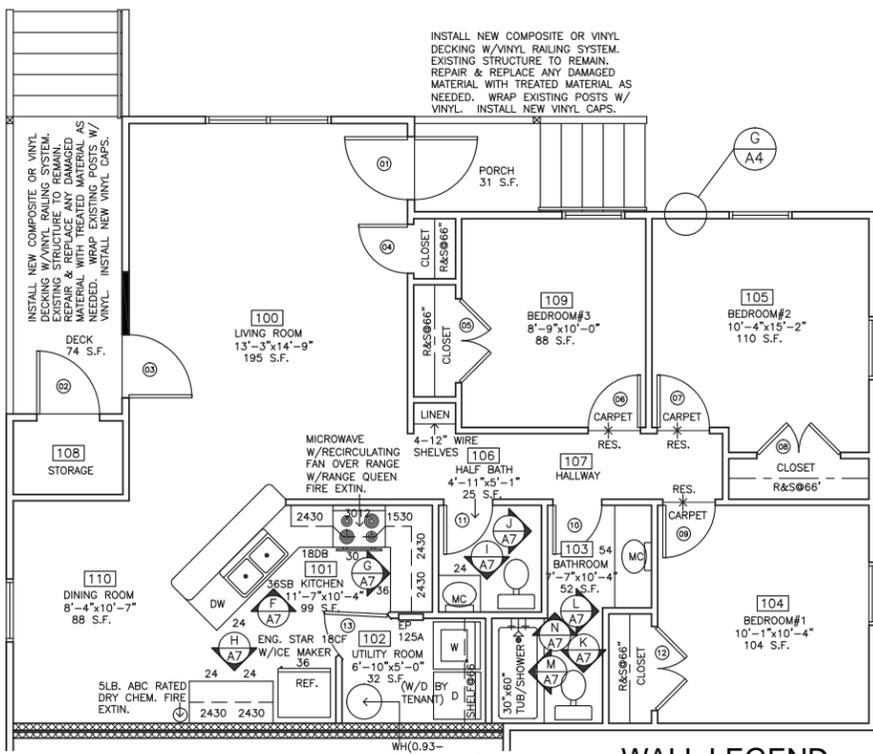
EXISTING 2x4 WOOD STUD@ 16"O.C. W/5/8"DRYWALL@ INTERIOR, R-13 BATT. INSUL., 1/2" POLYISO INSULATION@ EXTERIOR. REMOVE EXISTING VINYL SIDING. INSTALL HOUSE WRAP MOISTURE BARRIER OVER POLYISO INSULATION. INSTALL NEW LAYER OF 1/2"CEMENT BRD. ATTACH TO STUDS W/MFG. APPROVED CEMENT BRD. SCREWS. INSTALL STUCCO SYSTEM(BASE LAYER, TAPE ALL JOINTS, REINFORCING MESH, AND FINISH COAT)



**G WALL SECTION/STUCCO DETAIL**  
 SCALE: 1 1/2"=1'-0"

**WALL LEGEND**

- ===== WALLS TO REMAIN
- WALLS TO BE DEMOLISHED
- ===== 2x4 WOOD STUD WALL@ 16"O.C.
- ===== EXISTING 2x4 WOOD STUD DOUBLE WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN.(1 HR. RATED UL NO U395, TYP. OF ALL UNIT SEPARATION WALLS) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.
- ===== EXISTING 2x4 WOOD STUD WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN.(1 HR. RATED UL NO U305) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.



**3 BEDROOM FLAT FLOOR PLAN**

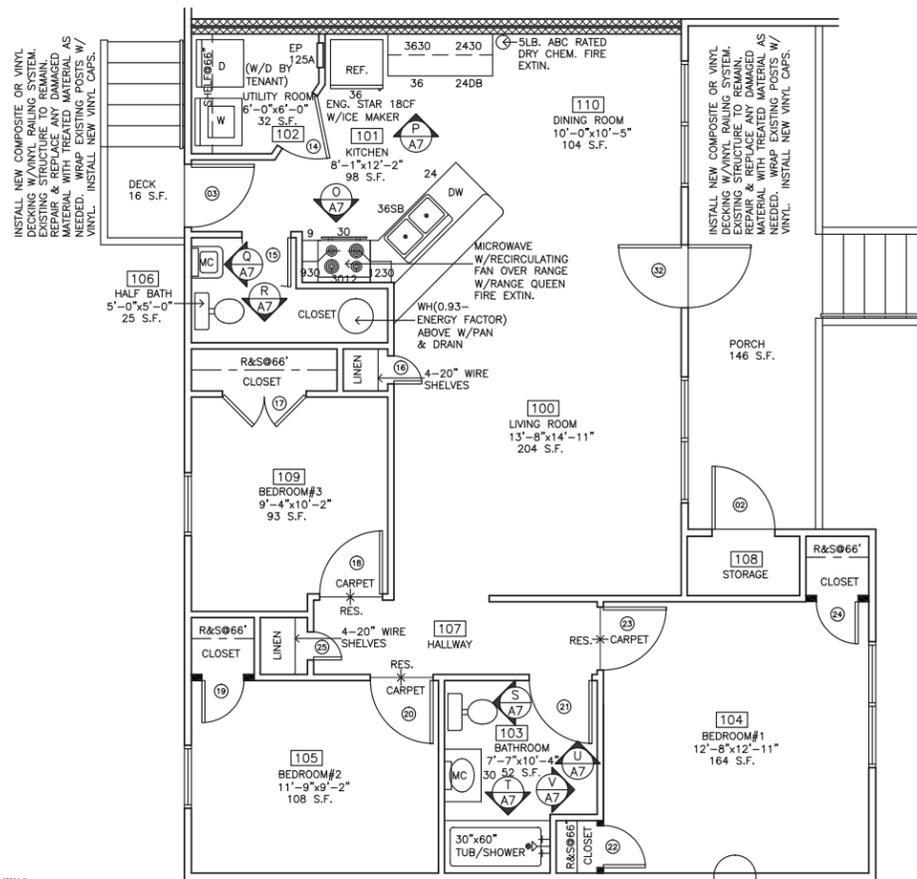
SCALE: 1/4" = 1'-0" BLDG.'S D.J.L  
967 NET LIVING S.F.  
1,038 GROSS S.F.

**WALL LEGEND**

- WALLS TO REMAIN
- WALLS TO BE DEMOLISHED
- 2x4 WOOD STUD WALL @ 16" O.C.

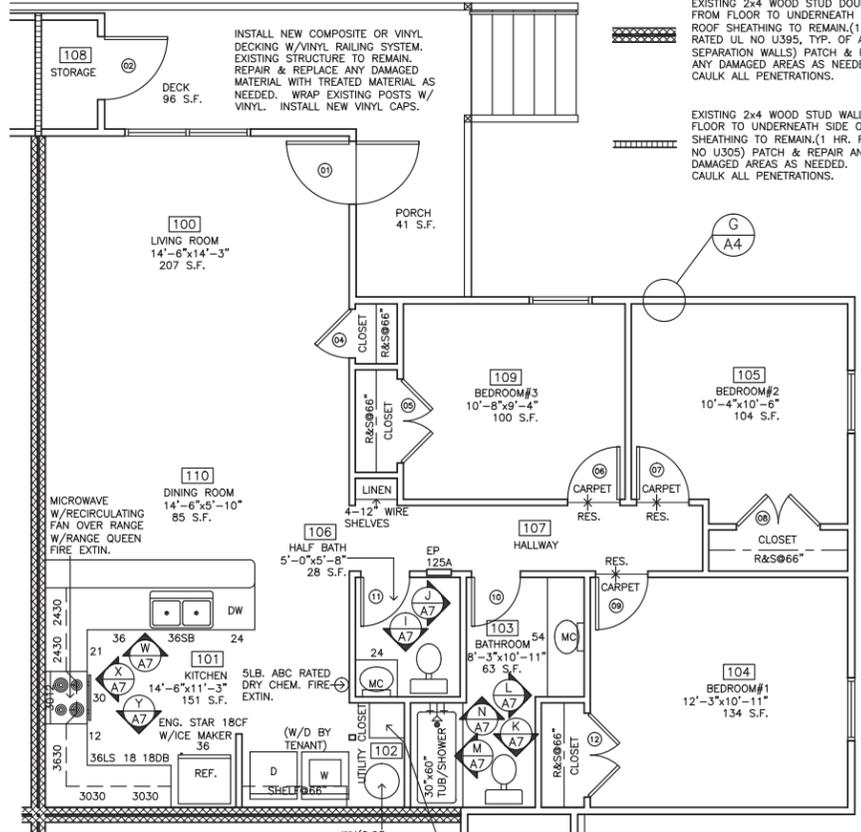
EXISTING 2x4 WOOD STUD DOUBLE WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN.(1 HR. RATED UL NO U395, TYP. OF ALL UNIT SEPARATION WALLS) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.

EXISTING 2x4 WOOD STUD WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN.(1 HR. RATED UL NO U305) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.



**3 BEDROOM FLAT FLOOR PLAN**

SCALE: 1/4" = 1'-0" UNIT L1  
1,059 NET LIVING S.F.  
1,128 GROSS S.F.

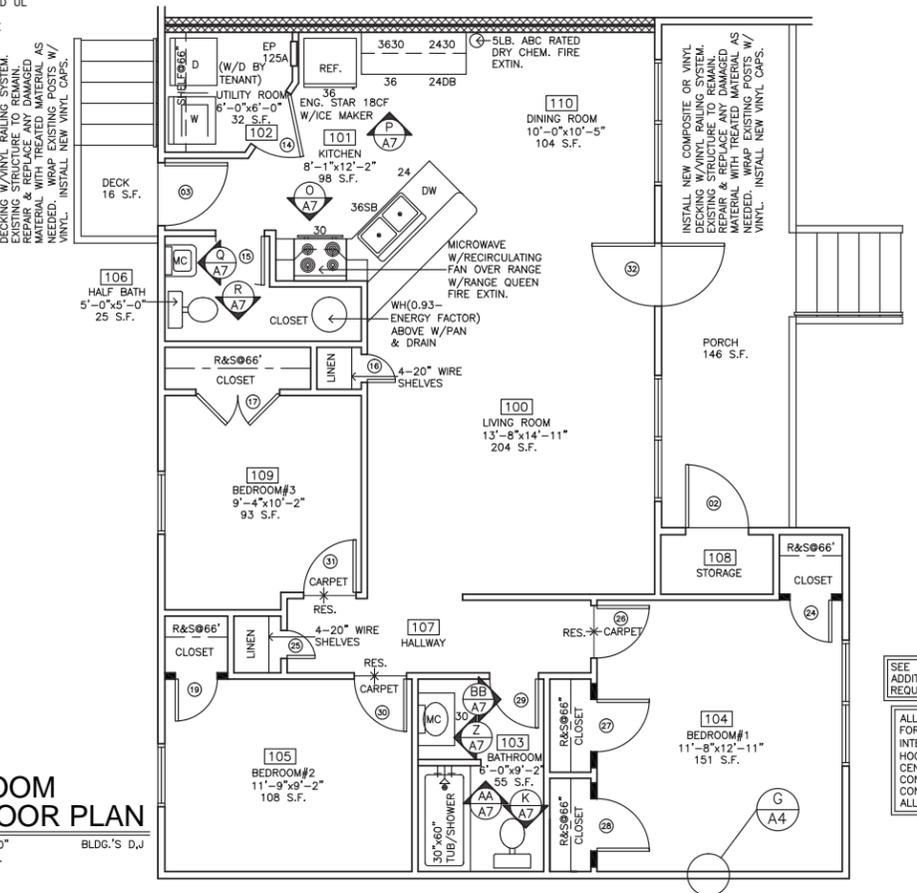


**3 BEDROOM FLAT FLOOR PLAN**

SCALE: 1/4" = 1'-0" BLDG.'S A.E  
1,035 NET LIVING S.F.  
1,096 GROSS S.F.

**3 BEDROOM FLAT FLOOR PLAN**

SCALE: 1/4" = 1'-0" BLDG.'S D.J.  
1,059 NET LIVING S.F.  
1,128 GROSS S.F.



**ROOM FINISH SCHEDULE**

RM#	ROOM NAME	FLOOR	TRIM	WALL	CLG.	CLG. HGT.	NOTES
100	LIVING ROOM	1	7	9	9	8'-0"	
101	KITCHEN	1	7	9	9	8'-0"	
102	UTILITY CLOSET	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
103	BATHROOM	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
104	BEDROOM#1	3	7	9	9	8'-0"	
105	BEDROOM#2	3	7	9	9	8'-0"	
106	HALF BATH	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
107	HALLWAY	1	7	9	9	8'-0"	
108	STORAGE CLOSET	*	7	9	9	8'-0"	*COMPOSITE OR VINYL DECKING
109	BEDROOM#3	3	7	9	9	8'-0"	
110	DINING ROOM	1	7	9	9	8'-0"	

REMOVE ALL EXISTING: DOORS, JAMBS, WINDOWS, TRIM, BASE, FLOORING, CABINETS, PLUMBING FIXTURES, & ELECTRICAL DEVICES. PATCH & SMOOTH ALL WALL SURFACES LEFT IN PLACE TO AN ACCEPTABLE INDUSTRY STANDARD AS TO BLEND INTO NEWLY INSTALLED WALL SECTIONS. RUN ALL NEW FLOORING FROM WALL TO WALL UNDER CABINETS & APPLIANCES. ALL FLOORING TO MEET MIN. FHA STANDARDS.

**ROOM FINISH LEGEND**

- RESILIENT(MIN. FHA)
- CERAMIC TILE
- CARPET(MIN. FHA)
- STAIN, POLYUR.
- STAIN
- SEALED CONCRETE
- PRE-FINISHED(BASE/WINDOW/DOOR TRIM)
- 6" RUBBER BASE
- PAINT

**DOOR SCHEDULE**

DR#	TYPE	MATERIAL	WIDTH	HEIGHT	THK'NS.	LABEL	FRAME MAT'L.	HW. SET	NOTES
01	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	PROVIDE ALUM. SCREEN/STORM DOOR.ZONE 5.
02	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	ZONE 5.
03	C	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	ZONE 4.
04	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	2	
05	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1-3/8"	-	WD	2	
06	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1 3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
07	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1 3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
08	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1-3/8"	-	WD	2	
09	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
10	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
11	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
12	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1-3/8"	-	WD	2	
13	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	2	
14	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1 3/8"	-	WD	2	
15	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1 3/8"	-	WD	3	
16	B	PREF. WOOD HOLLOW CORE	1'-4"	6'-8"	1-3/8"	-	WD	2	
17	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1-3/8"	-	WD	2	
18	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
19	B	PREF. WOOD HOLLOW CORE	2'-0"	6'-8"	1-3/8"	-	WD	2	
20	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
21	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	
22	B	PREF. WOOD HOLLOW CORE	2'-0"	6'-8"	1-3/8"	-	WD	2	
23	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
24	B	PREF. WOOD HOLLOW CORE	2'-0"	6'-8"	1-3/8"	-	WD	2	
25	B	PREF. WOOD HOLLOW CORE	1'-4"	6'-8"	1-3/8"	-	WD	2	
26	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
27	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	2	
28	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	2	
29	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
30	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
31	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
32	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	PROVIDE ALUM. SCREEN/STORM DOOR.ZONE 4.

CONTRACTOR TO VERIFY ALL DOOR SIZES AND SWINGS IN FIELD. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PSF)=35(ZONE 4) OR 45(ZONE 5).

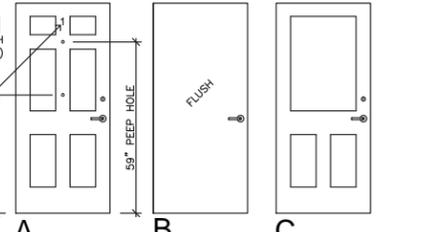
SEE DESIGN CRITERIA FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

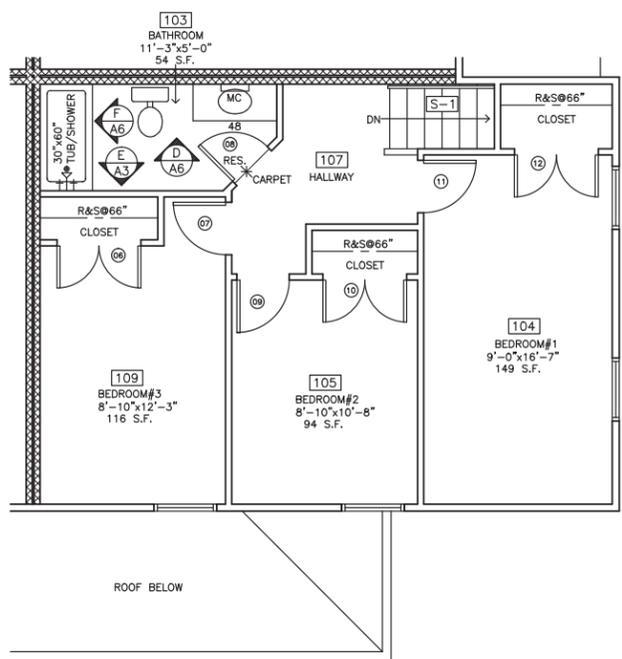
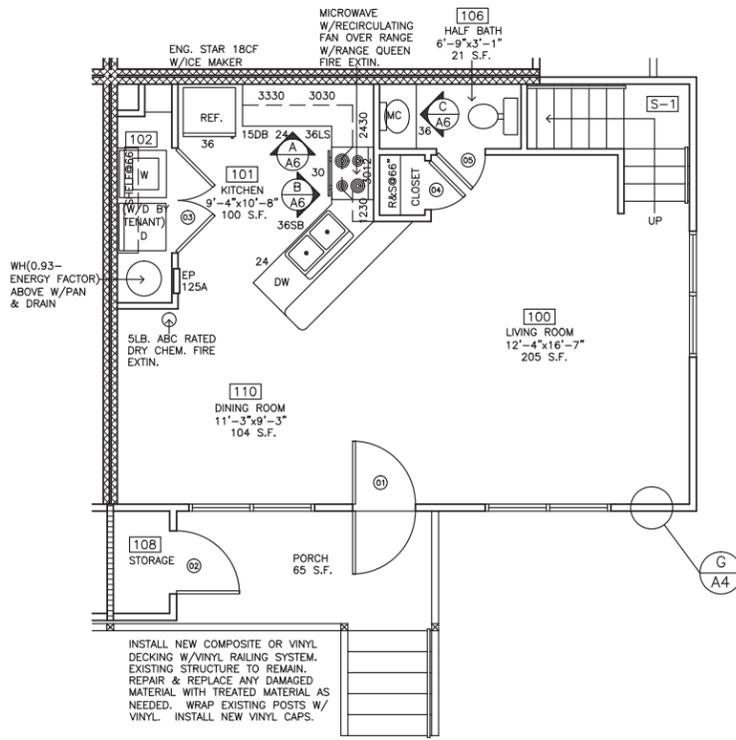
ALL UNITS PRE-WIRED FOR HIGH SPEED INTERNET(BROADBAND) HOOK-UP W/ONE CENTRALLY LOCATED CONNECTION PORT & CONNECTION PORTS IN ALL BEDROOMS.

HARDWARE SET:

- ALL HANDLES TO BE LEVER TYPE HANDLES
- SCHLAGE F SERIES-BRUSHED NICKEL FINISH
- 1. -B260 DEAD BOLT(THUMB LATCH INT.)
- HINGES
- WALL STOP
- WEATHER STRIPPING
- 2. -PASSAGE
- HINGES
- WALL STOP
- 3. -PRIVACY LOCK SET
- HINGES
- WALL STOP

INSTALL 4" SOLID BRUSHED NICKEL FINISH HOUSE LETTER/NUMBER(FRONT DOOR ONLY)





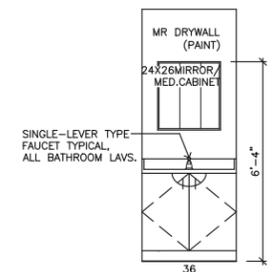
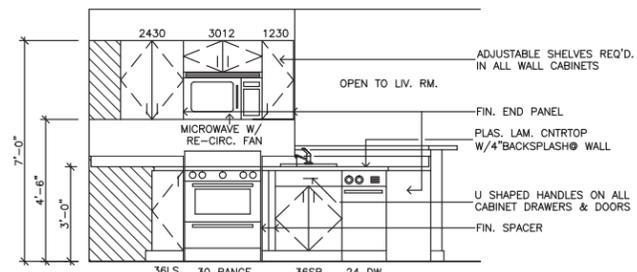
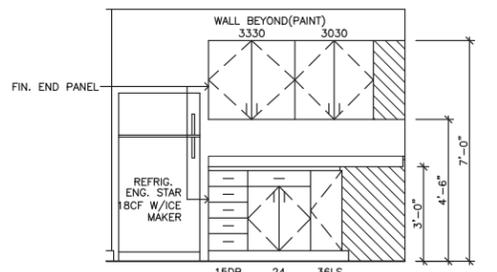
ROOM#	ROOM NAME	FLOOR	TRIM	WALL	CLG.	CLG. HGT.	NOTES
100	LIVING ROOM	1	7	9	9	8'-0"	
101	KITCHEN	1	7	9	9	8'-0"	
102	UTILITY CLOSET	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
103	BATHROOM	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
104	BEDROOM#1	3	7	9	9	8'-0"	
105	BEDROOM#2	3	7	9	9	8'-0"	
106	HALF BATH	1	7	9	9	8'-0"	REMOVE ALL EXT. DRYWALL EXCEPT DEMISING WALL & CEILING. INSTALL MR DRYWALL WALLS.
107	HALLWAY	3	7	9	9	8'-0"	
108	STORAGE CLOSET	*	7	9	9	8'-0"	*COMPOSITE OR VINYL DECKING
109	BEDROOM#3	3	7	9	9	8'-0"	
110	DINING ROOM	1	7	9	9	8'-0"	
S-1	STAIRWAY	3	7	9	9	VARIES	

REMOVE ALL EXISTING: DOORS, JAMBS, WINDOWS, TRIM, BASE, FLOORING, CABINETS, PLUMBING FIXTURES, & ELECTRICAL DEVICES. PATCH & SMOOTH ALL WALL SURFACES LEFT IN PLACE TO AN ACCEPTABLE INDUSTRY STANDARD AS TO BLEND INTO NEWLY INSTALLED WALL SECTIONS. RUN ALL NEW FLOORING FROM WALL TO WALL UNDER CABINETS & APPLIANCES. ALL FLOORING TO MEET MIN. FHA STANDARDS.

- ROOM FINISH LEGEND**
- 1. RESILIENT(MIN. FHA)
  - 2. CERAMIC TILE
  - 3. CARPET(MIN. FHA)
  - 4. STAIN, POLYUR.
  - 5. STAIN
  - 6. SEALED CONCRETE
  - 7. PRE-FINISHED(BASE/WINDOW/DOOR TRIM)
  - 8. 6" RUBBER BASE
  - 9. PAINT

DR#	TYPE	MATERIAL	WIDTH	HEIGHT	THK'NS.	LABEL	FRAME MAT'L.	HW. SET	NOTES
01	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	PROVIDE ALUM. SCREEN/STORM DOOR.ZONE 4.
02	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	ZONE 5.
03	B	PREF. WOOD HOLLOW CORE	2@2'-6"	6'-8"	1-3/8"	-	WD	2	
04	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	2	
05	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
06	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1 3/8"	-	WD	2	
07	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1 3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
08	B	PREF. WOOD HOLLOW CORE	2'-4"	6'-8"	1-3/8"	-	WD	3	
09	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
10	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1-3/8"	-	WD	2	
11	B	PREF. WOOD HOLLOW CORE	2'-6"	6'-8"	1-3/8"	-	WD	3	UNDER CUT DOOR 1". PAINT EXPOSED EDGE.
12	B	PREF. WOOD HOLLOW CORE	2@2'-0"	6'-8"	1-3/8"	-	WD	2	

CONTRACTOR TO VERIFY ALL DOOR SIZES AND SWINGS IN FIELD. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PDF)=39(ZONE 4) OR 45(ZONE 5).

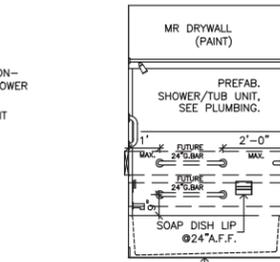
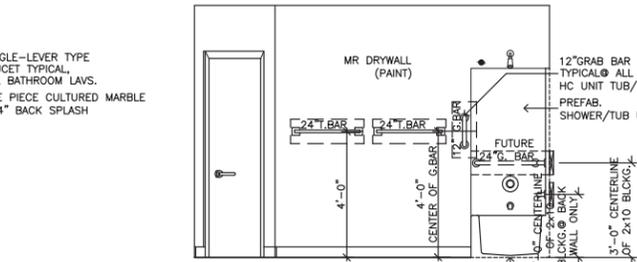
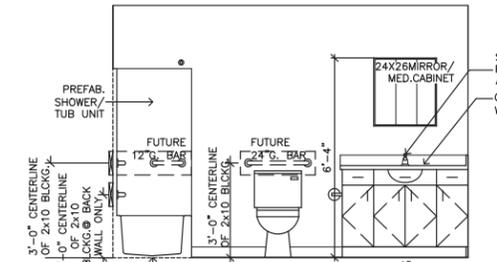
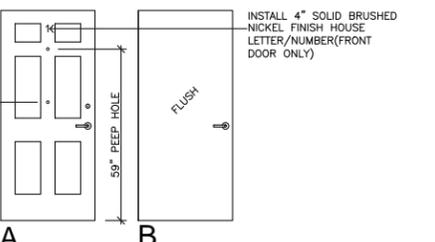


- NOTE: PROVIDE 2x10 BLOCKING ALL GRAB BAR & FUTURE GRAB BAR LOCATIONS.
- NOTE: INSTALL MIN. 1-24" TOWEL BAR IN EACH BATHROOM. INSTALL 2-24" TOWEL BARS WHERE SHOWN.
- NOTE: INSTALL 1-TOILET PAPER HOLDER IN EACH BATHROOM.

SEE DESIGN CRITERIA FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

ALL UNITS PRE-WIRED FOR HIGH SPEED INTERNET (BROADBAND) HOOK-UP W/ONE CENTRALLY LOCATED CONNECTION PORT & CONNECTION PORTS IN ALL BEDROOMS.

- HARDWARE SET:**
- ALL HANDLES TO BE LEVER TYPE HANDLES
  - SCHLAGE F SERIES-BRUSHED NICKEL FINISH
  - 1. -B260 DEAD BOLT(THUMB LATCH INT.)
    - HINGES
    - WALL STOP
    - WEATHER STRIPPING
  - 2. -PASSAGE
    - HINGES
    - WALL STOP
  - 3. -PRIVACY LOCK SET
    - HINGES
    - WALL STOP



- WALL LEGEND**
- WALLS TO REMAIN
  - WALLS TO BE DEMOLISHED
  - 2x4 WOOD STUD WALL @ 16"O.C.
  - EXISTING 2x4 WOOD STUD DOUBLE WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN.(1 HR. RATED UL NO U395, TYP. OF ALL UNIT SEPARATION WALLS) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.
  - EXISTING 2x4 WOOD STUD WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN.(1 HR. RATED UL NO U305) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.



WD 1/12/16 SAM

**RAY BASHAM ARCHITECT**  
 1905 CANTERBURY LANE #3E  
 SUN CITY CENTER, FLORIDA 33573  
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 email: raybashamarchitect@tampabay.rr.com

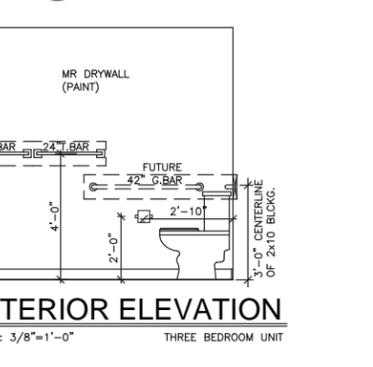
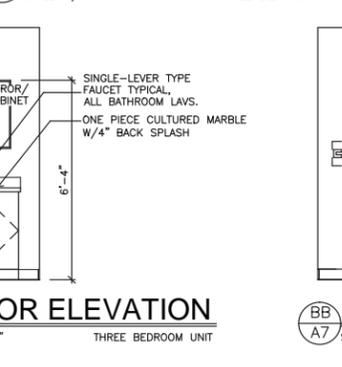
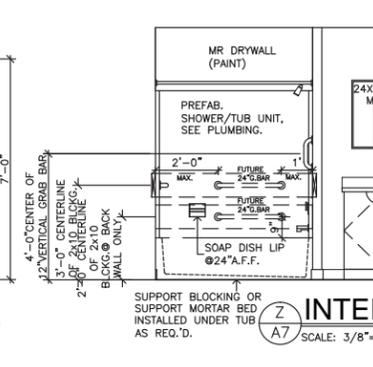
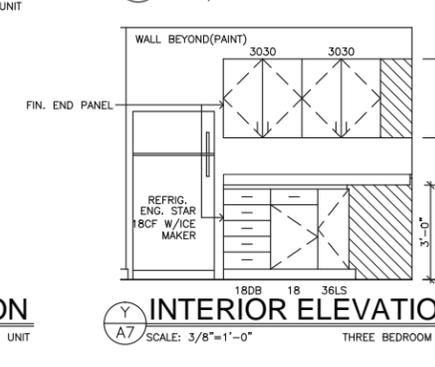
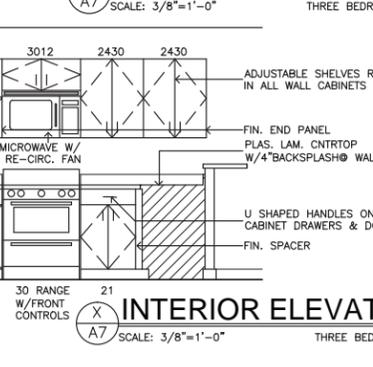
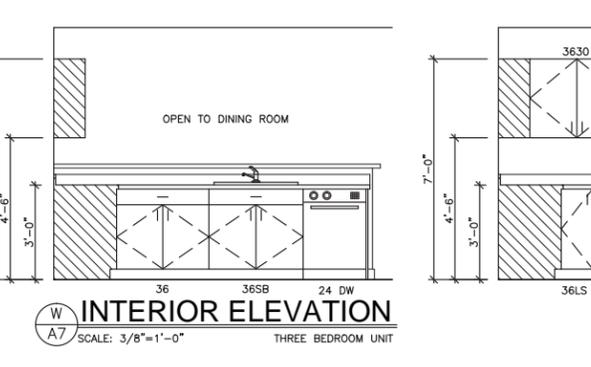
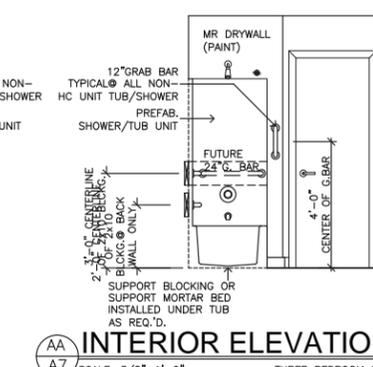
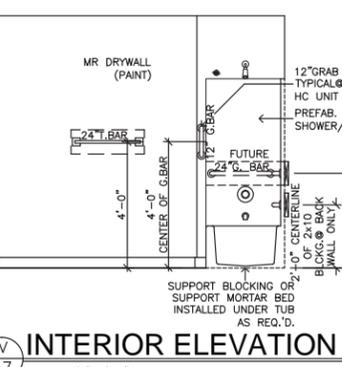
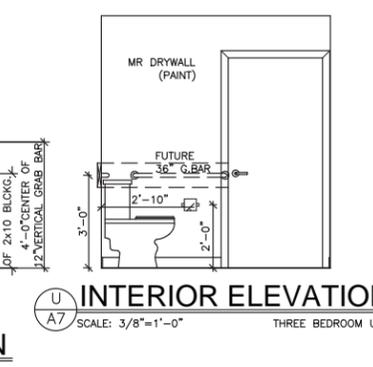
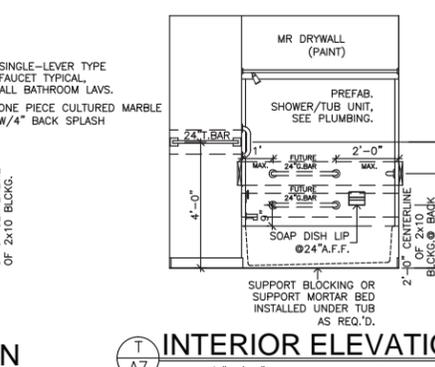
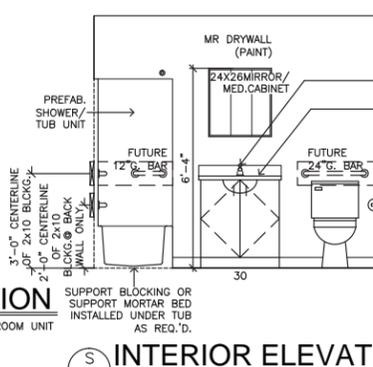
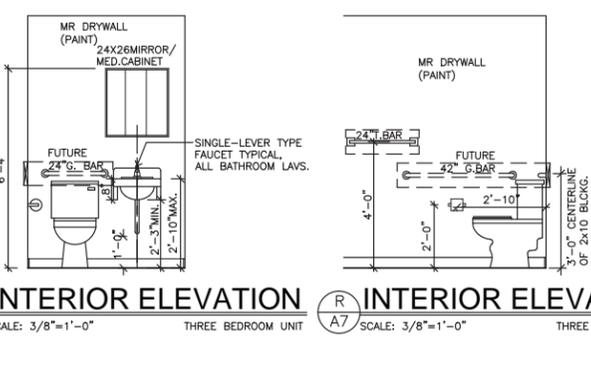
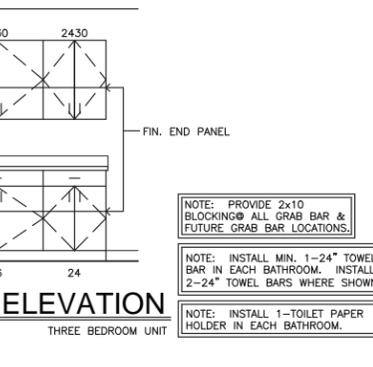
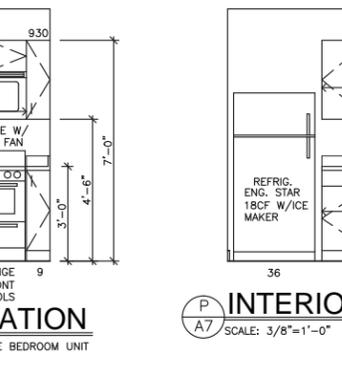
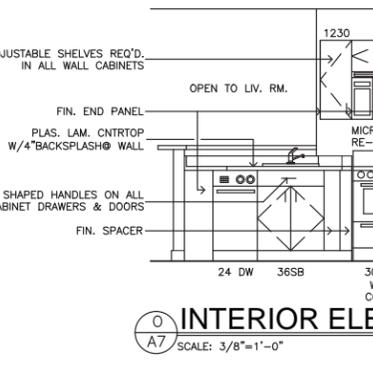
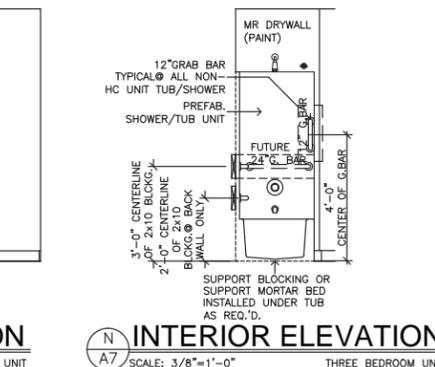
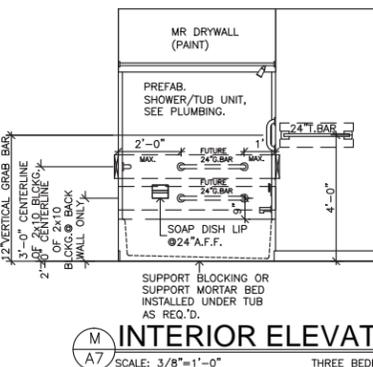
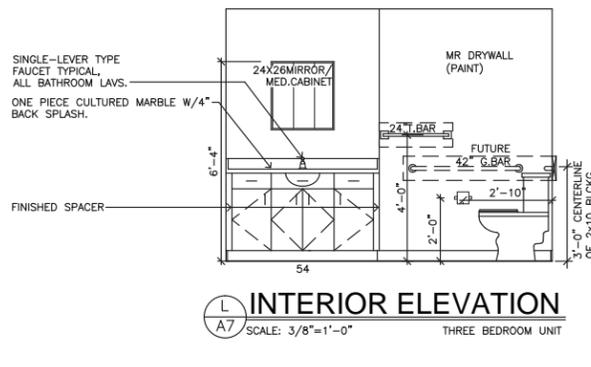
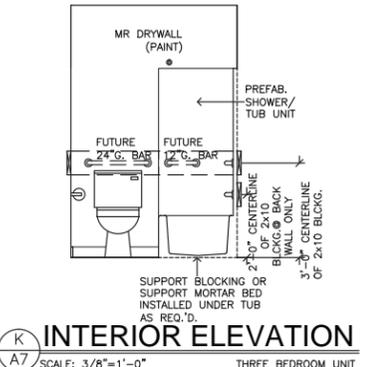
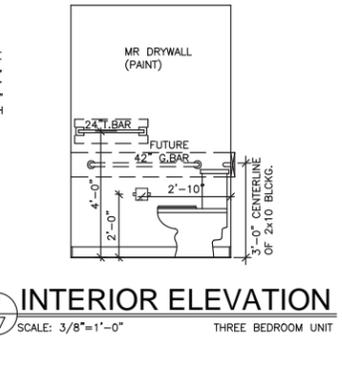
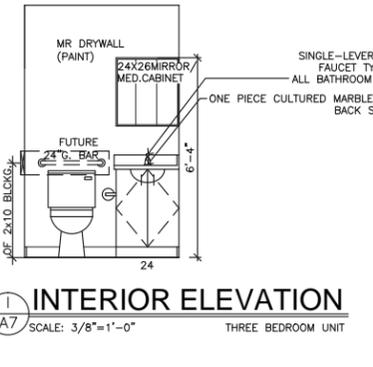
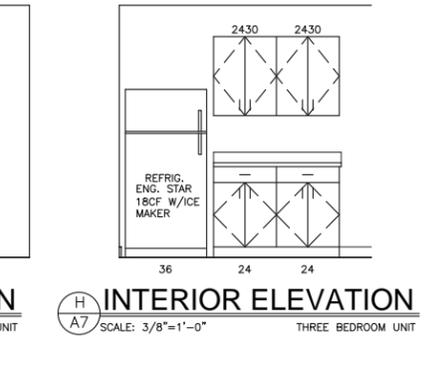
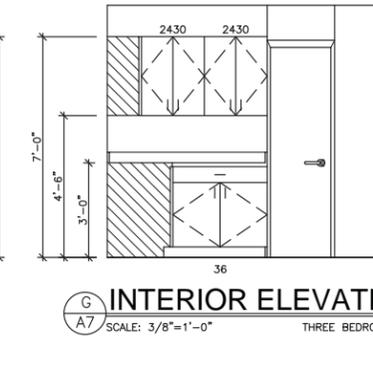
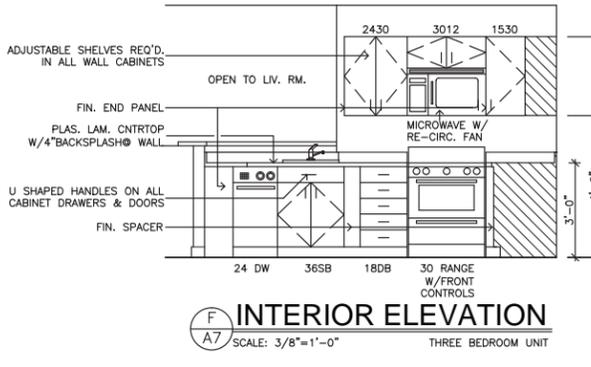
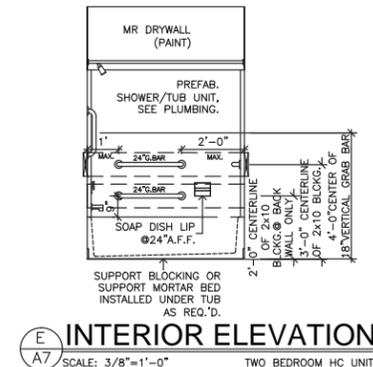
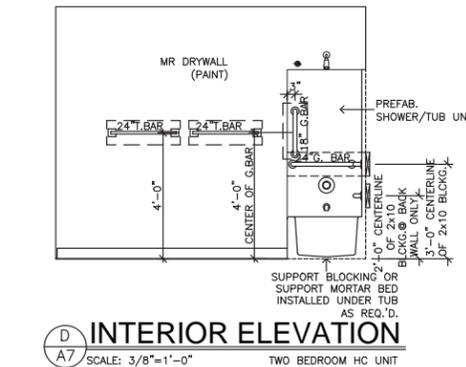
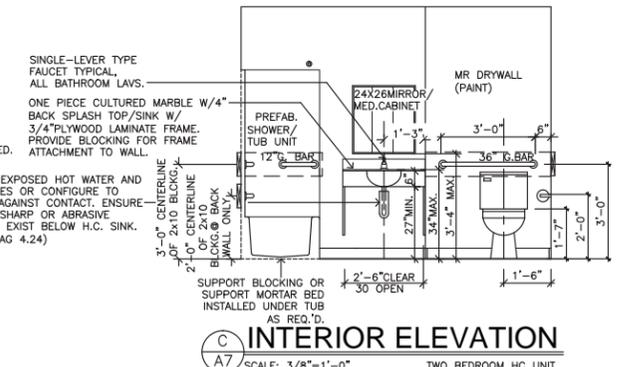
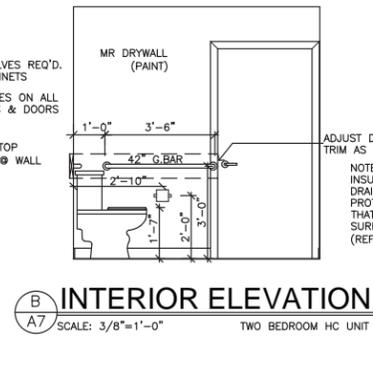
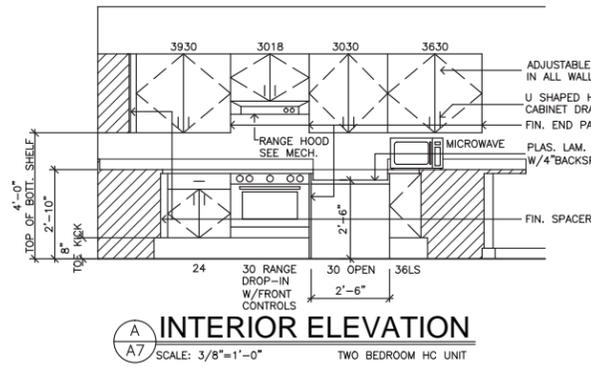
**90 DILLON APARTMENTS**  
 90 DILLON RD.  
 HILTON HEAD, SC 29926

COMM. NO. 15-007

SHEET

**A6**

OF



RAY BASHAM ARCHITECT  
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90 DILLON APARTMENTS  
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SHEET

A7

OF



WD 1/12/16 SAM

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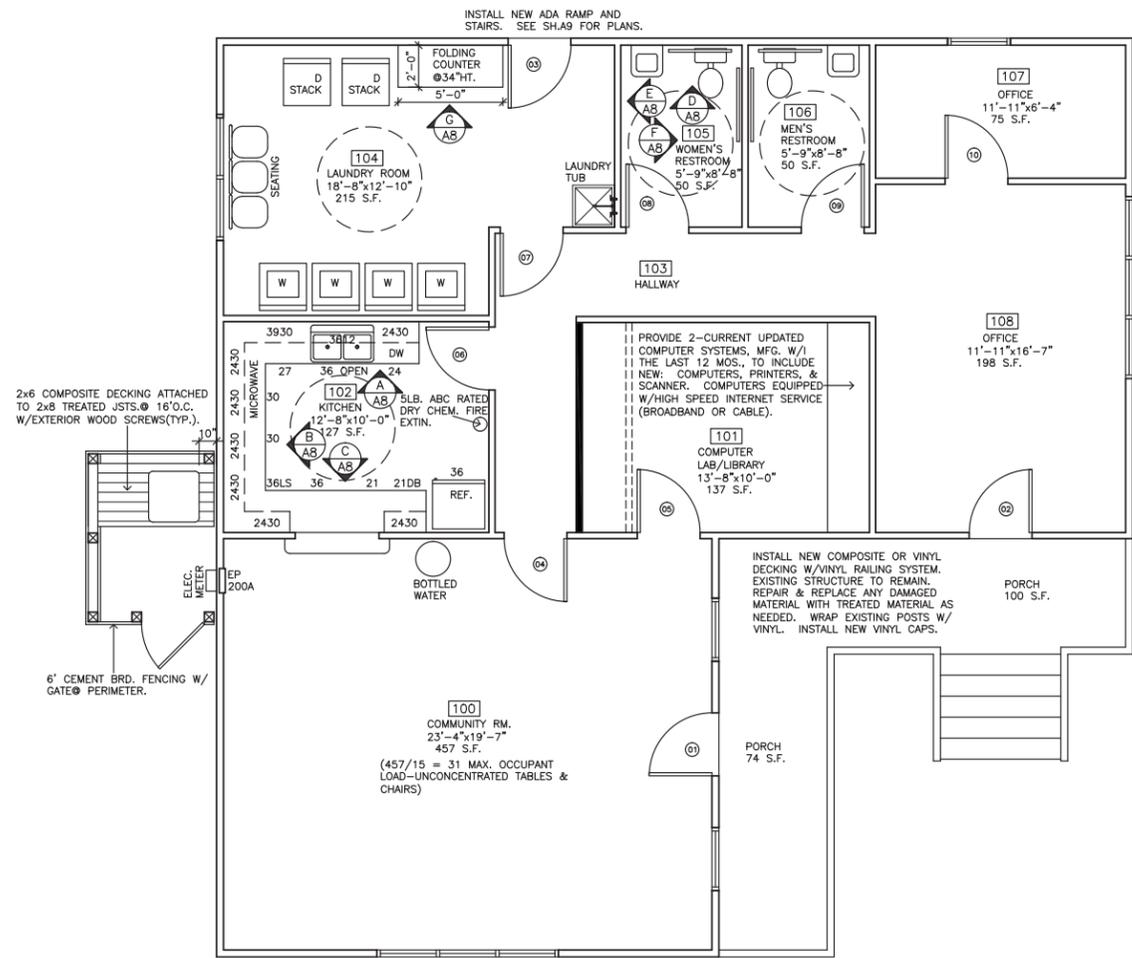
90 DILLON APARTMENTS  
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COMM. NO. 15-007

SHEET

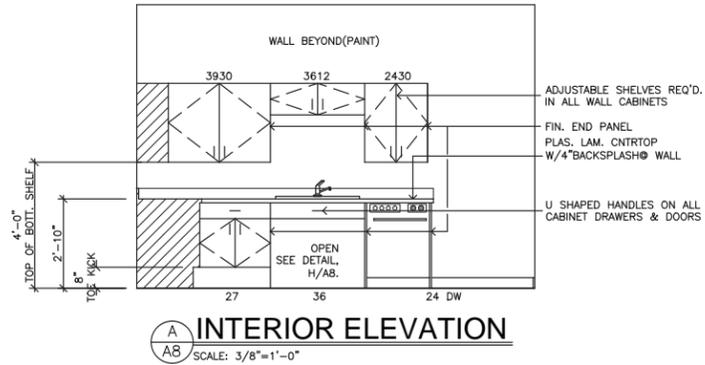
A8

OF



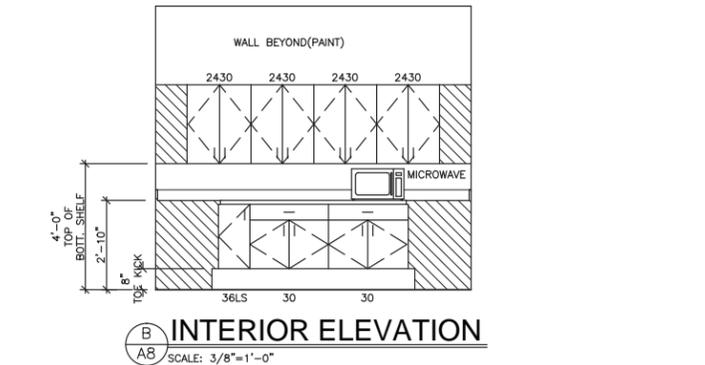
**COMMUNITY BUILDING FLOOR PLAN**

SCALE: 1/4" = 1'-0" BLDG. F.  
 1,463 NET S.F., 1,520 GROSS S.F.



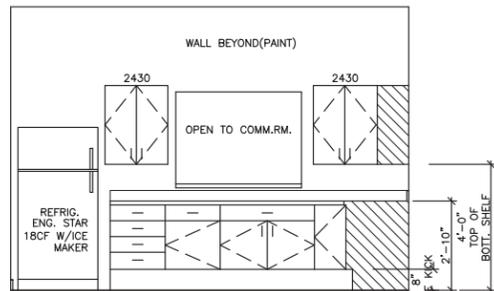
**INTERIOR ELEVATION A**

SCALE: 3/8" = 1'-0"



**INTERIOR ELEVATION B**

SCALE: 3/8" = 1'-0"



**INTERIOR ELEVATION C**

SCALE: 3/8" = 1'-0"

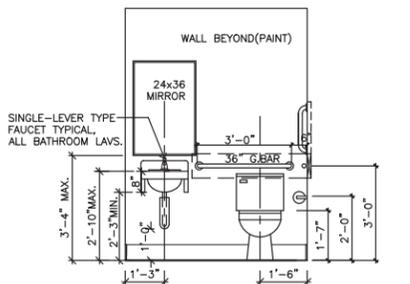
ROOM FINISH SCHEDULE							
RM#	ROOM NAME	FLOOR	TRIM	WALL	CLG.	CLG. HGT.	NOTES
100	COMMUNITY ROOM	1	7	9	9	8'-0"	
101	COMPUTER LAB/LIBRARY	1	7	9	9	8'-0"	
102	KITCHEN	1	7	9	9	8'-0"	REMOVE DRYWALL@ PLUMBING WALL ONLY.
103	HALLWAY	1	7	9	9	8'-0"	
104	LAUNDRY ROOM	1	7	9	9	8'-0"	REMOVE DRYWALL@ PLUMBING WALL ONLY.
105	WOMEN'S RESTROOM	1	7	9	9	8'-0"	REMOVE DRYWALL@ PLUMBING WALL ONLY.
106	MEN'S RESTROOM	1	7	9	9	8'-0"	REMOVE DRYWALL@ PLUMBING WALL ONLY.
107	OFFICE	1	7	9	9	8'-0"	
108	OFFICE	1	7	9	9	8'-0"	

REMOVE ALL EXISTING: DOORS, JAMBS, WINDOWS, TRIM, BASE, FLOORING, CABINETS, PLUMBING FIXTURES, & ELECTRICAL DEVICES. PATCH & SMOOTH ALL WALL SURFACES LEFT IN PLACE TO AN ACCEPTABLE INDUSTRY STANDARD AS TO BLEND INTO NEWLY INSTALLED WALL SECTIONS. RUN ALL NEW FLOORING FROM WALL TO WALL UNDER CABINETS & APPLIANCES. ALL FLOORING TO MEET MIN. FHA STANDARDS.

ROOM FINISH LEGEND  
 1. RESILIENT(MIN. FHA) 6. SEALED CONCRETE  
 2. CERAMIC TILE 7. PRE-FINISHED(BASE/WINDOW/DOOR TRIM)  
 3. CARPET(MIN. FHA) 8. 6" RUBBER BASE  
 4. STAIN, POLYUR. 9. PAINT  
 5. STAIN

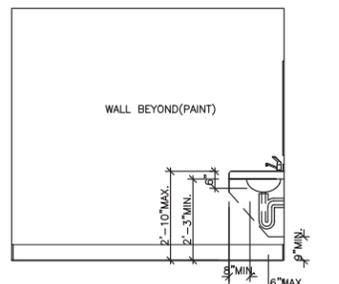
DOOR SCHEDULE									
DR#	TYPE	MATERIAL	WIDTH	HEIGHT	THK'NS.	LABEL	FRAME MAT'L	HW SET	NOTES
01	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	1/2" ADA THRESHOLD(BEVELED 1 TO 2 RATIO) ZONE 4.
02	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	1/2" ADA THRESHOLD(BEVELED 1 TO 2 RATIO) ZONE 4.
03	A	STEEL(INSUL- (PRE-FINISHED)	3'-0"	6'-8"	1-3/4"	-	WD	1/2	1/2" ADA THRESHOLD(BEVELED 1 TO 2 RATIO) ZONE 4.
04	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	2	
05	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	1/2	
06	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1 3/8"	-	WD	2	
07	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1 3/8"	-	WD	1/2	
08	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	
09	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	3	
10	B	PREF. WOOD HOLLOW CORE	3'-0"	6'-8"	1-3/8"	-	WD	1/2	

CONTRACTOR TO VERIFY ALL DOOR SIZES AND SWINGS IN FIELD. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PSF)=35(ZONE 4) OR 45(ZONE 5).



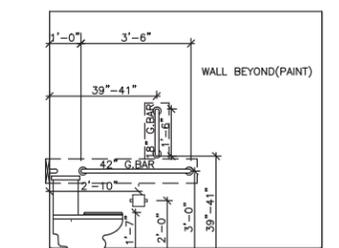
**INTERIOR ELEVATION D**

SCALE: 3/8" = 1'-0" RM. 105(RM. 106 OPPOSITE HAND)



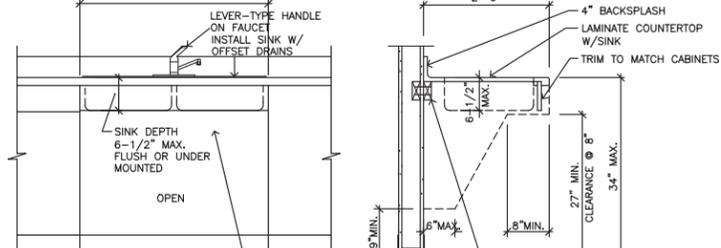
**INTERIOR ELEVATION E**

SCALE: 3/8" = 1'-0" RM. 105(RM. 106 OPPOSITE HAND)



**INTERIOR ELEVATION F**

SCALE: 3/8" = 1'-0" RM. 105(RM. 106 OPPOSITE HAND)

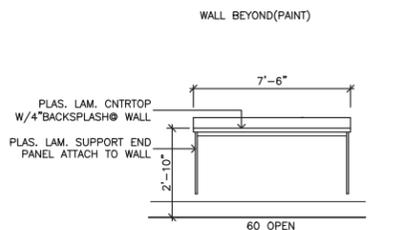


**ELEVATION**

NOTE: INSULATE EXPOSED HOT WATER AND DRAIN PIPES OR CONFIGURE TO PROTECT AGAINST CONTACT. ENSURE THAT NO SHARP OR ABRASIVE SURFACES EXIST BELOW H.C. SINK. (REF. ADAAG 4.24)

**H.C. SINK DETAIL**

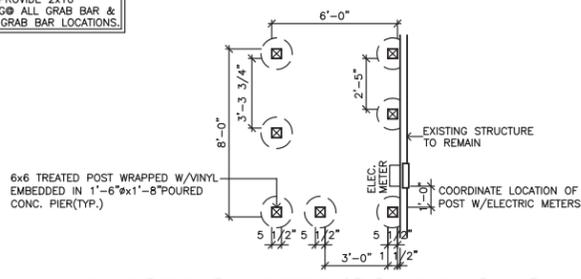
SCALE: 3/4" = 1'-0"



**INTERIOR ELEVATION G**

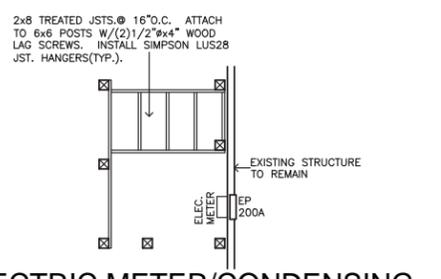
SCALE: 3/8" = 1'-0"

NOTE: PROVIDE 2x10 BLOCKING@ ALL GRAB BAR & FUTURE GRAB BAR LOCATIONS.



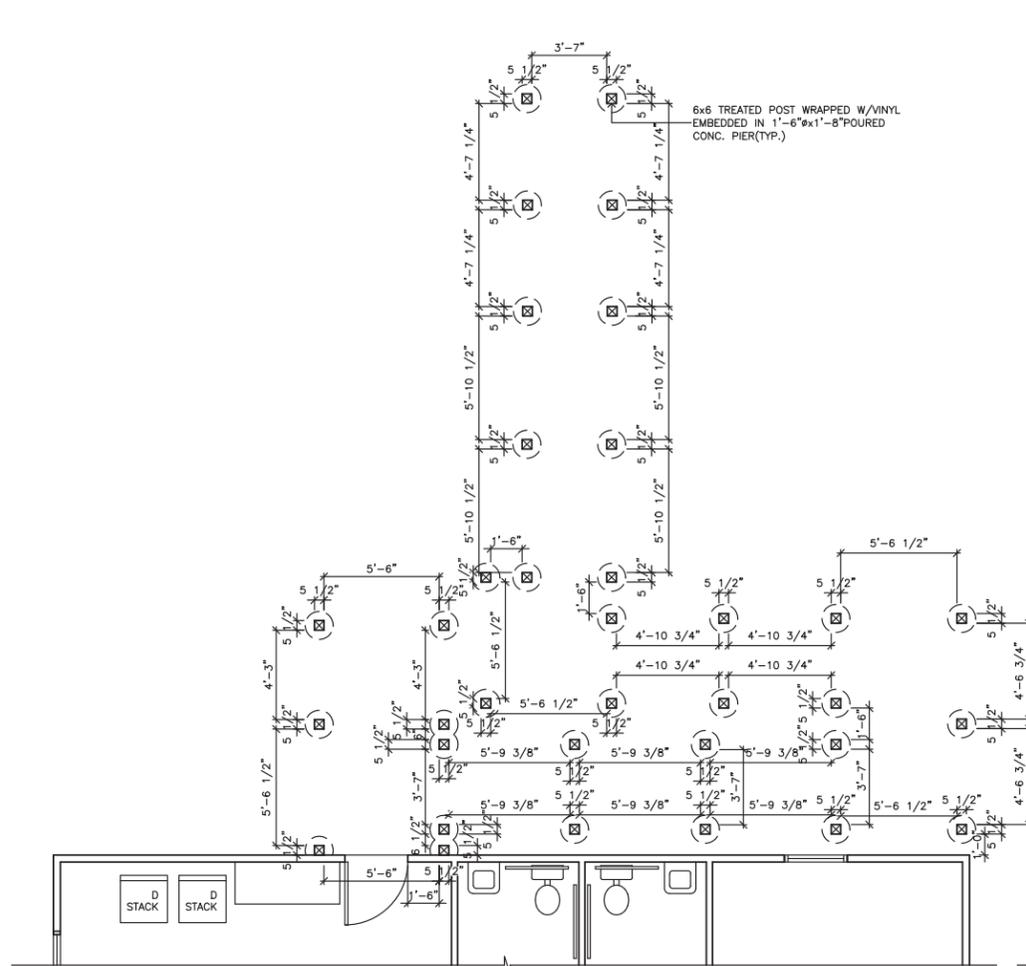
**ELECTRIC METER/CONDENSING UNIT ENCLOSURE FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



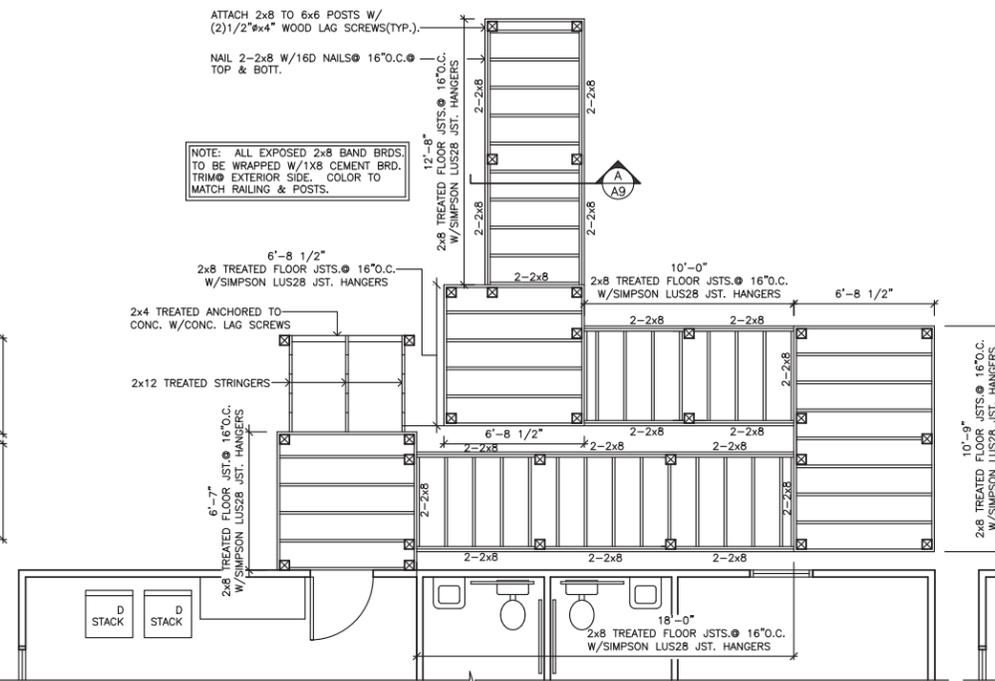
**ELECTRIC METER/CONDENSING UNIT ENCLOSURE FRAMING PLAN**

SCALE: 1/4" = 1'-0"



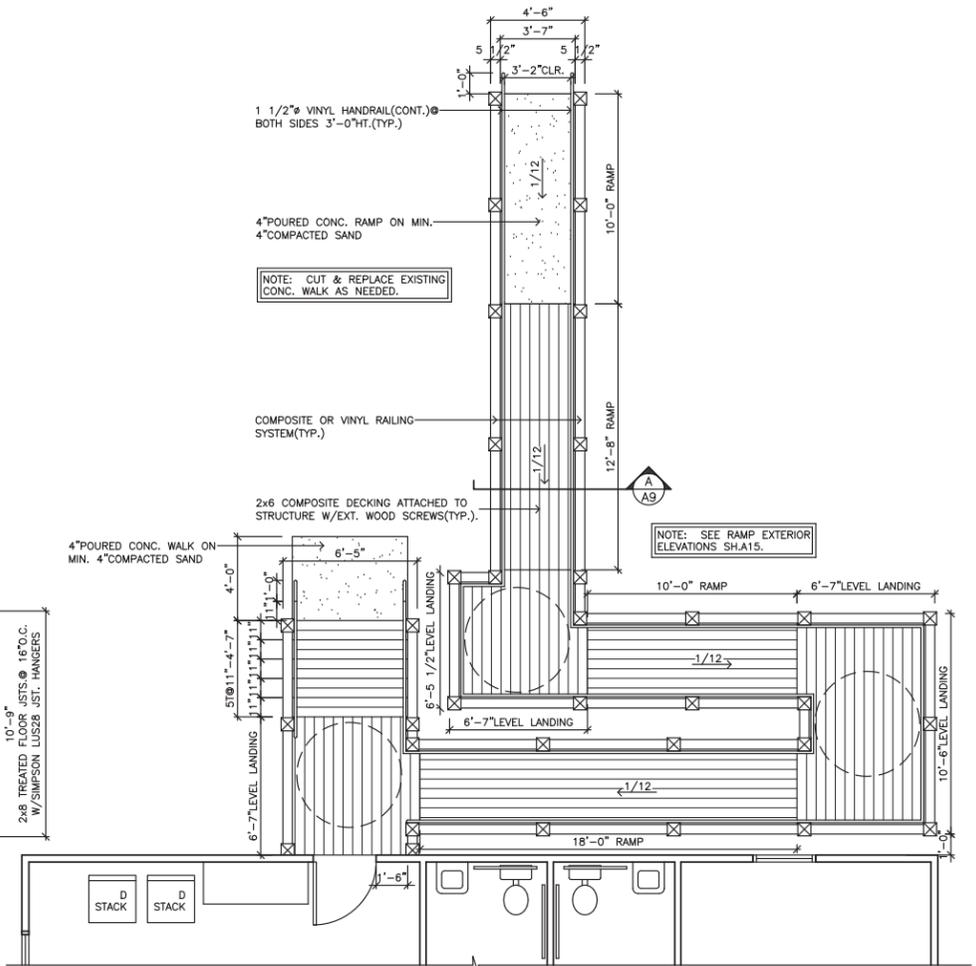
**HC RAMP FOUNDATION PLAN**

SCALE: 1/4" = 1'-0" BLDG. F



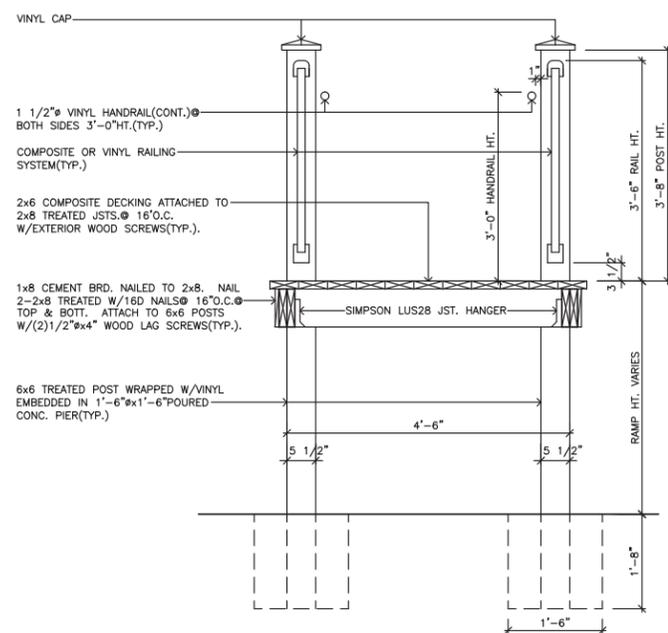
**HC RAMP FRAMING PLAN**

SCALE: 1/4" = 1'-0" BLDG. F



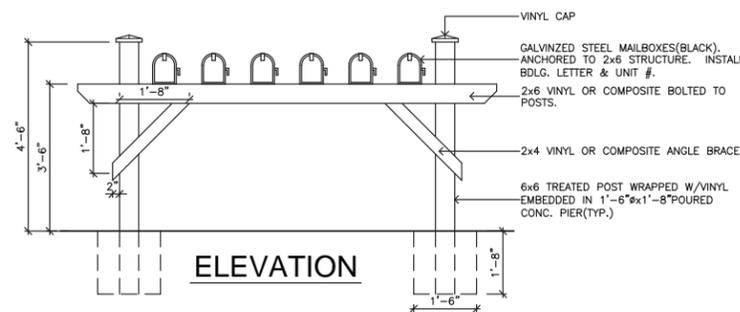
**HC RAMP PLAN**

SCALE: 1/4" = 1'-0" BLDG. F



**RAMP SECTION**

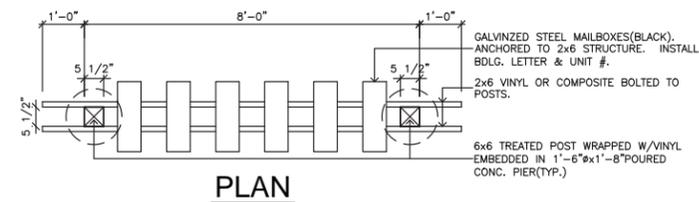
SCALE: 3/4" = 1'-0"



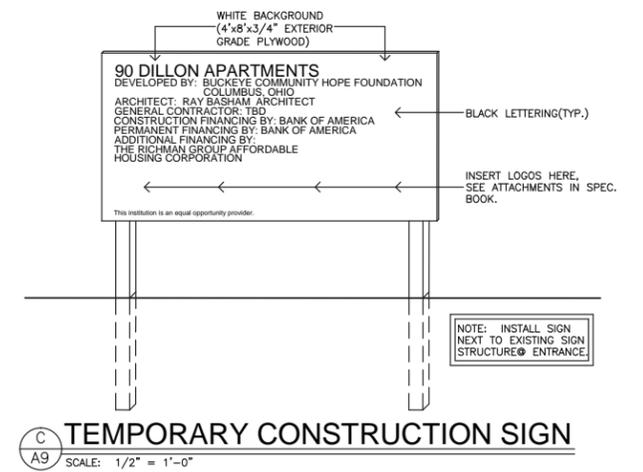
**ELEVATION**

**MAILBOX DETAIL**

SCALE: 1/2" = 1'-0"



**PLAN**



**TEMPORARY CONSTRUCTION SIGN**

SCALE: 1/2" = 1'-0"

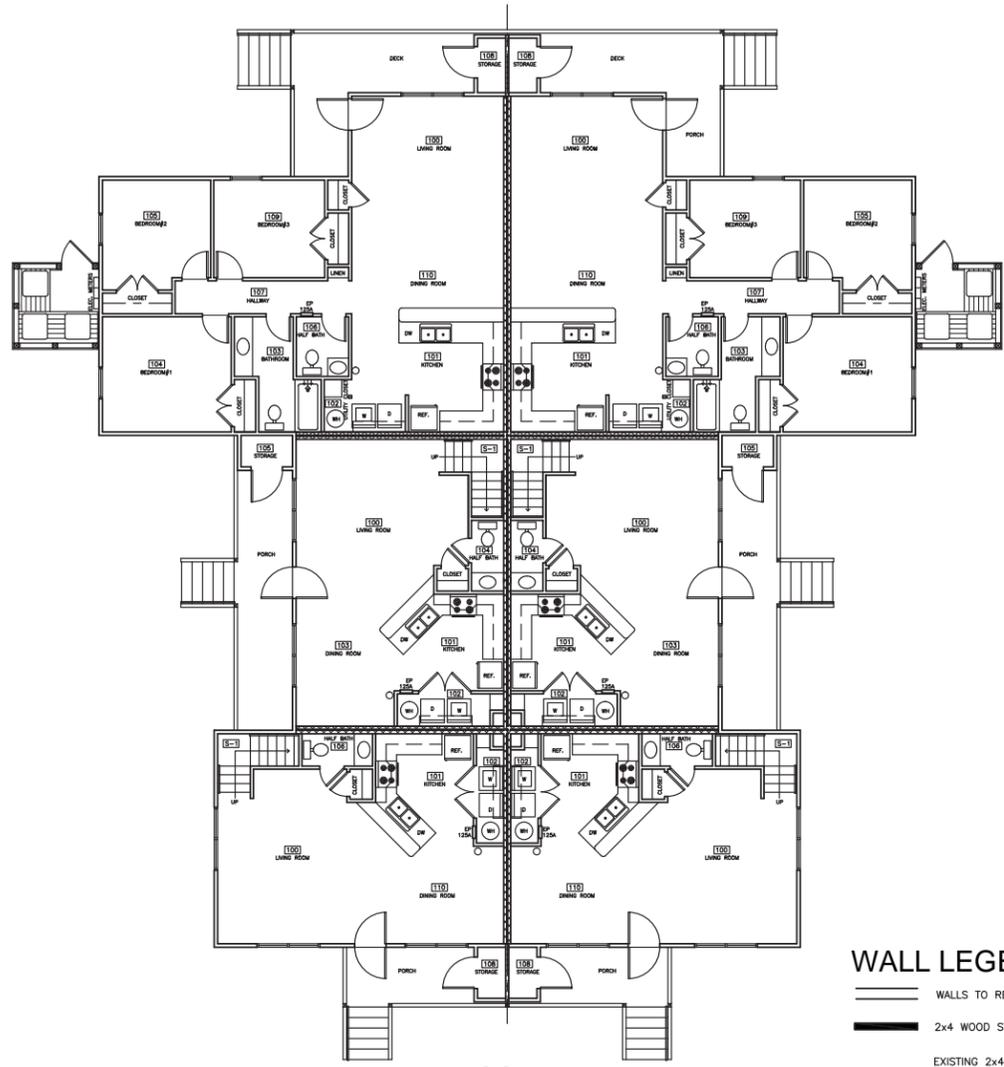


WD	1/12/16	SAM

**90 DILLON APARTMENTS**  
 90 DILLON RD.  
 HILTON HEAD, SC 29926

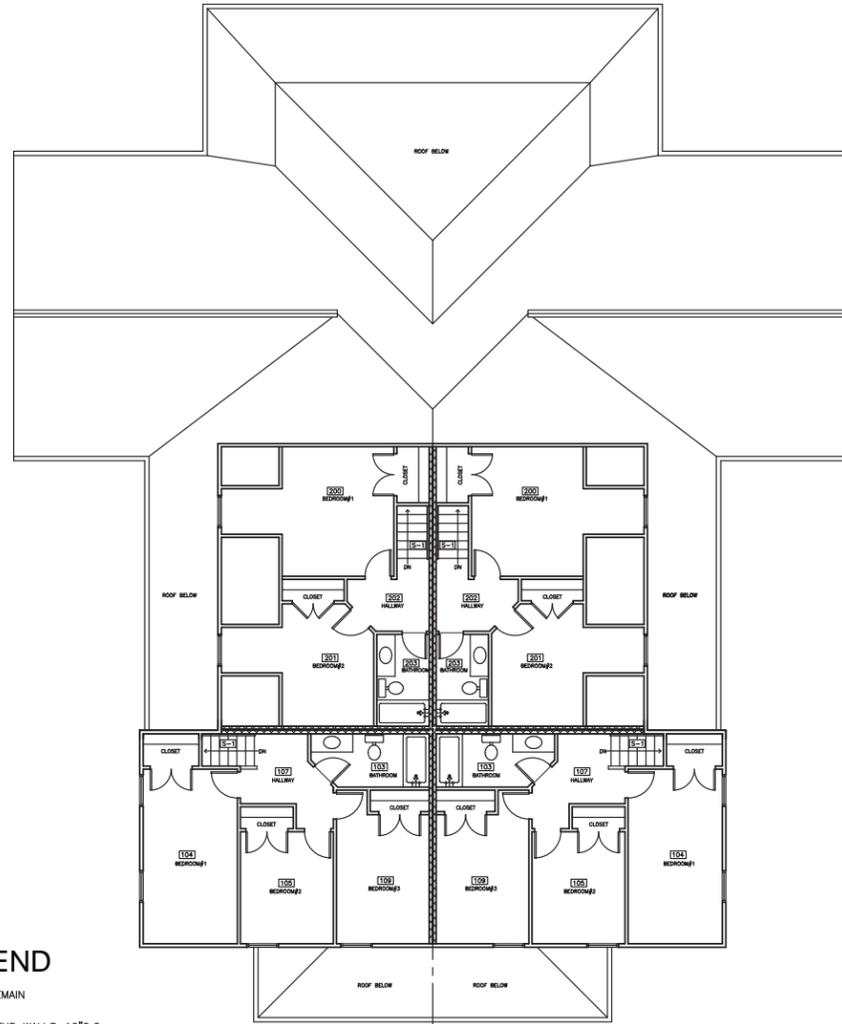
**RAY BASHAM ARCHITECT**  
 1905 CANTERBURY LANE #3E  
 SUN CITY CENTER, FLORIDA 33573  
 Tel: 614.216.1948  
 email: raybashamarchitect@tampabay.rr.com

COMM. NO. 15-007  
 SHEET  
**A9**  
 OF



**BUILDINGS A,E  
 FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
 4,246 NET LIVING S.F.  
 4,578 GROSS S.F.

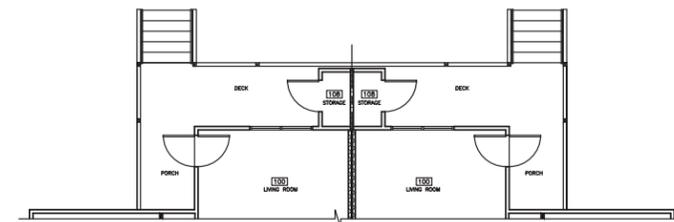


**BUILDINGS A,E  
 SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
 1,940 NET LIVING S.F.  
 2,074 GROSS S.F.

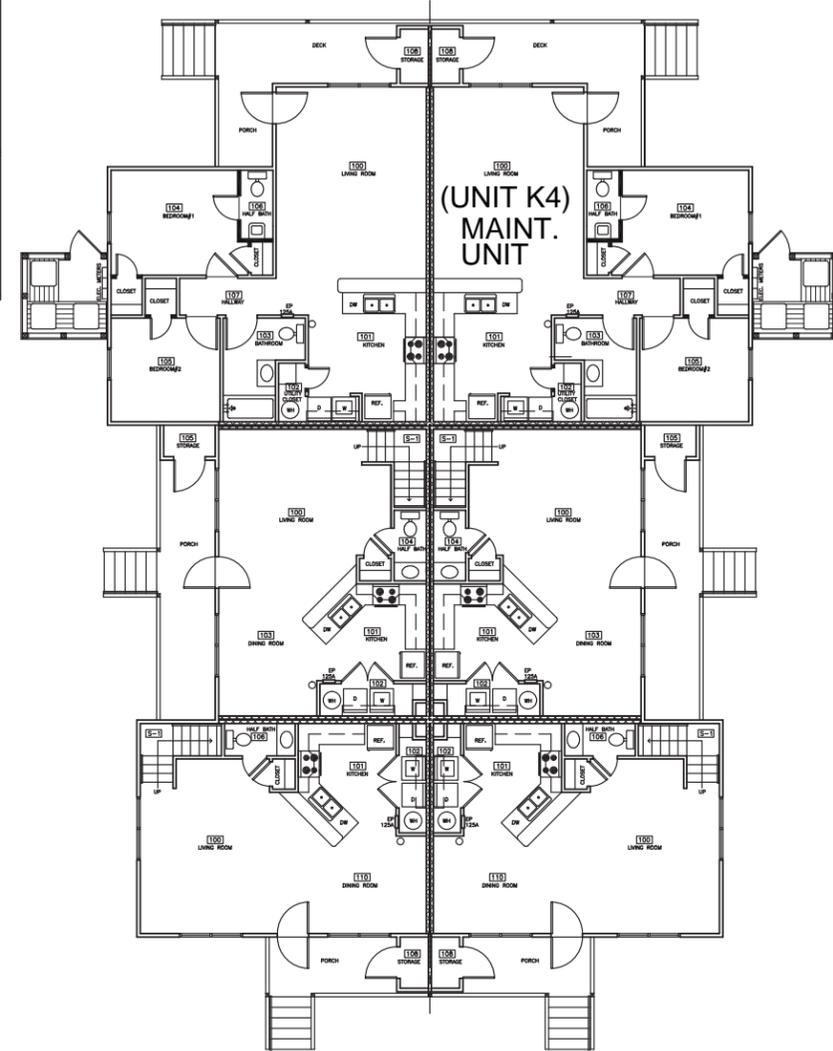
**WALL LEGEND**

- WALLS TO REMAIN
- 2x4 WOOD STUD WALL @ 16" O.C.
- EXISTING 2x4 WOOD STUD DOUBLE WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN (1 HR. RATED UL NO U395, TYP. OF ALL UNIT SEPARATION WALLS) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.
- EXISTING 2x4 WOOD STUD WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN (1 HR. RATED UL NO U305) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.



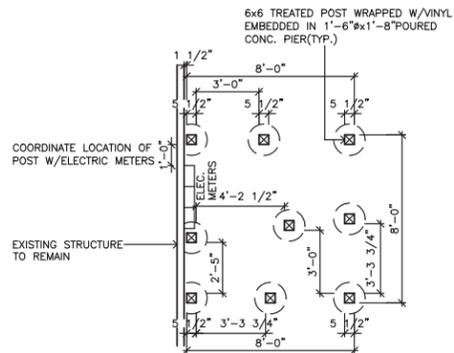
**BUILDINGS C,K  
 ALTERNATE PORCH PLAN**

SCALE: 1/8" = 1'-0"



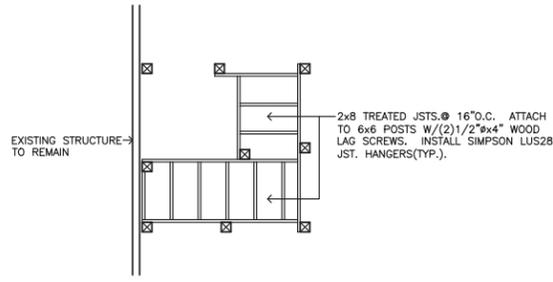
**BUILDINGS B,C,K  
 FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
 3,846 NET LIVING S.F.  
 4,182 GROSS S.F.



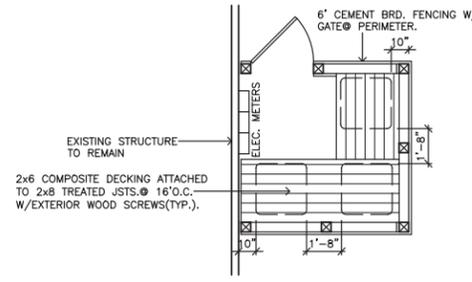
**ELECTRIC METER/CONDENSING UNIT  
 ENCLOSURE FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
 (TYP. @ ALL BLDG.S, SEE BLDG. & SITE PLANS FOR LOCATIONS)



**ELECTRIC METER/CONDENSING  
 UNIT ENCLOSURE FRAMING PLAN**

SCALE: 1/4" = 1'-0"  
 (TYP. @ ALL BLDG.S, SEE BLDG. & SITE PLANS FOR LOCATIONS & ORIENTATION)



**ELECTRIC METER/CONDENSING  
 UNIT ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"  
 (TYP. @ ALL BLDG.S, SEE BLDG. & SITE PLANS FOR LOCATIONS & ORIENTATION)

RAY BASHAM ARCHITECT  
 1905 CANTERBURY LANE #3E  
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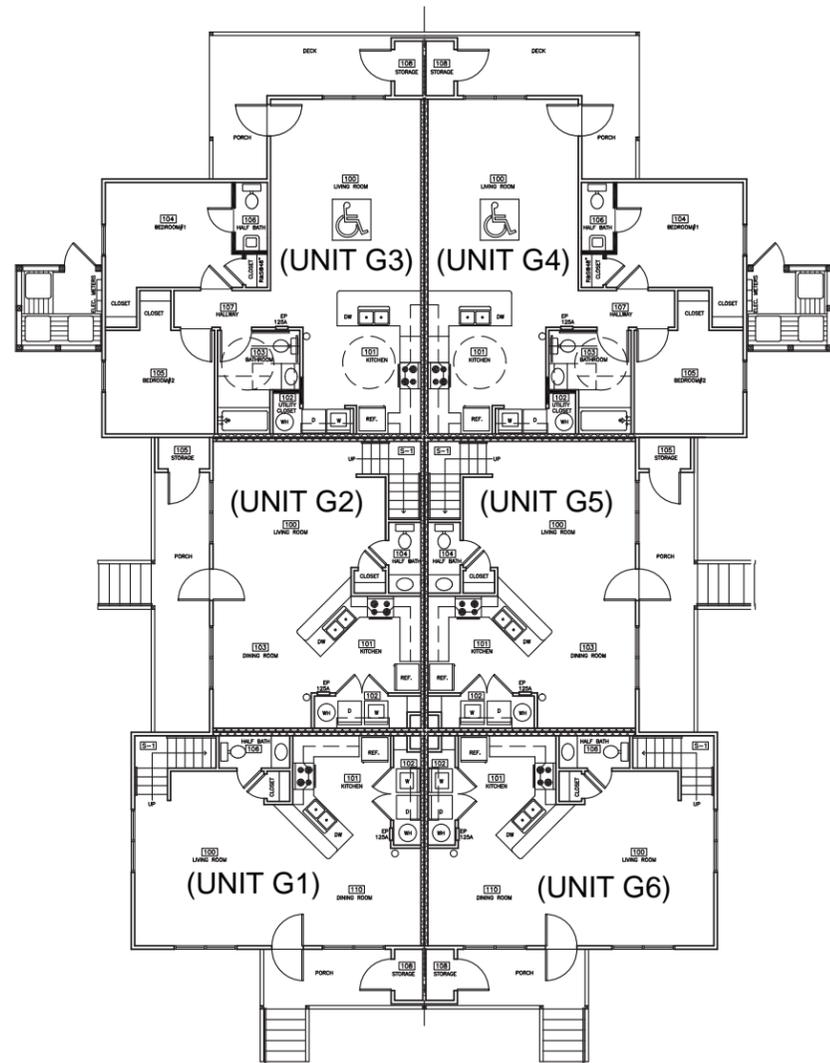
**90 DILLON APARTMENTS**  
 90 DILLON RD.  
 HILTON HEAD, SC 29926

COMM. NO. 15-007

SHEET

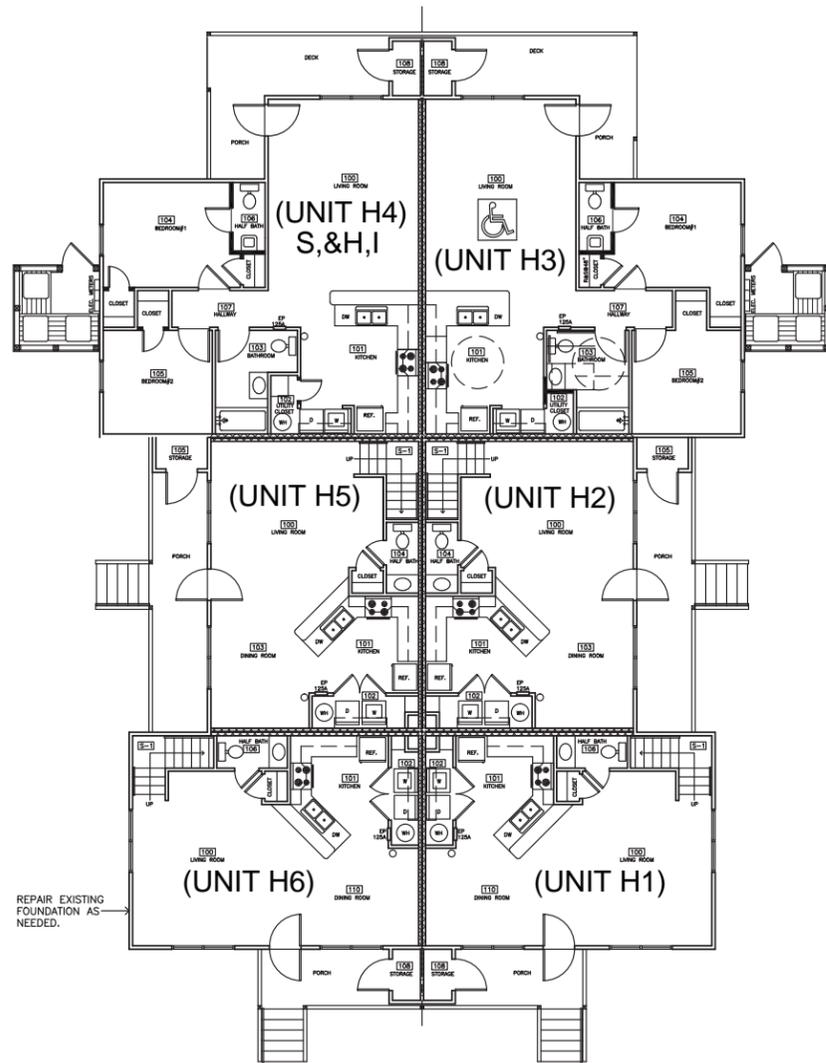
**A10**

OF



**BUILDING G  
FIRST FLOOR PLAN**

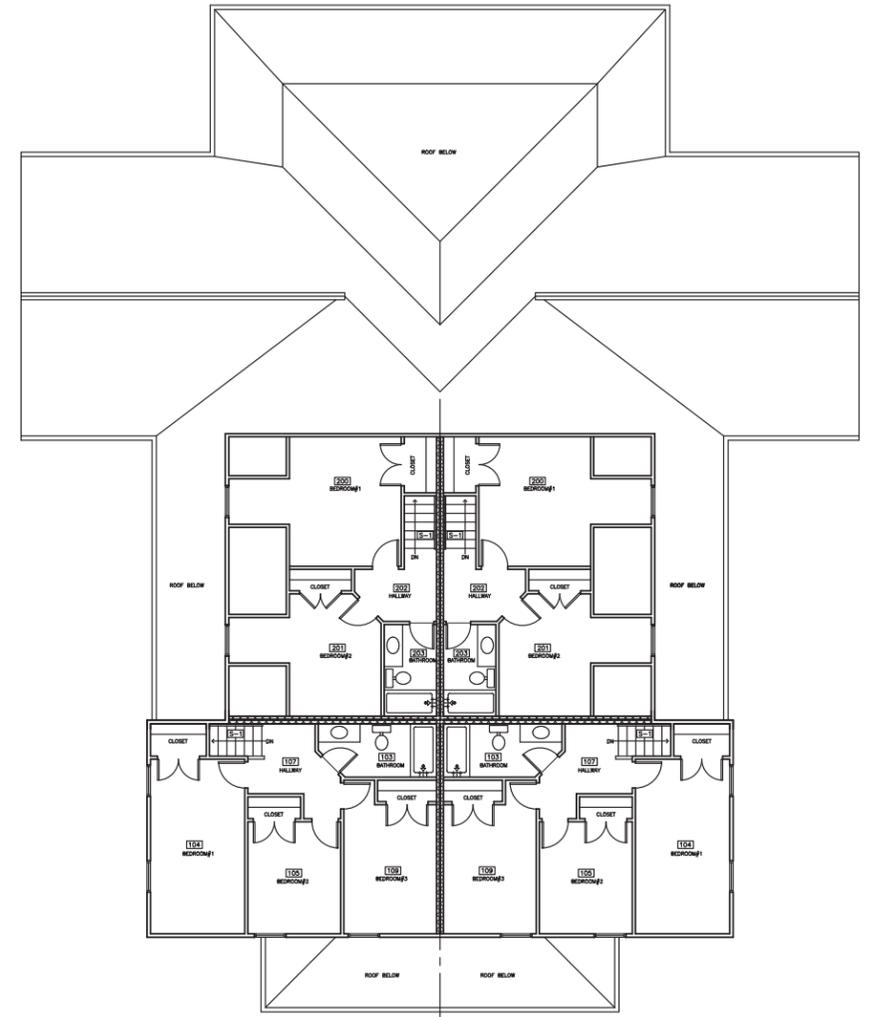
SCALE: 1/8" = 1'-0"  
3,846 NET LIVING S.F.  
4,182 GROSS S.F.



**BUILDING H  
FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
3,846 NET LIVING S.F.  
4,182 GROSS S.F.

REPAIR EXISTING  
FOUNDATION AS  
NEEDED.



**BUILDINGS B,C,G,H,K  
SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
1,940 NET LIVING S.F.  
2,074 GROSS S.F.

**WALL LEGEND**

- WALLS TO REMAIN
- 2x4 WOOD STUD WALL @ 16" O.C.
- EXISTING 2x4 WOOD STUD DOUBLE WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN (1 HR. RATED UL NO. U395, TYP. OF ALL UNIT SEPARATION WALLS) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.
- EXISTING 2x4 WOOD STUD WALL FROM FLOOR TO UNDERNEATH SIDE OF ROOF SHEATHING TO REMAIN (1 HR. RATED UL NO. U395) PATCH & REPAIR ANY DAMAGED AREAS AS NEEDED. FIRE CAULK ALL PENETRATIONS.



WD	1/12/16	SAM

**90 DILLON APARTMENTS**  
90 DILLON RD.  
HILTON HEAD, SC 29926

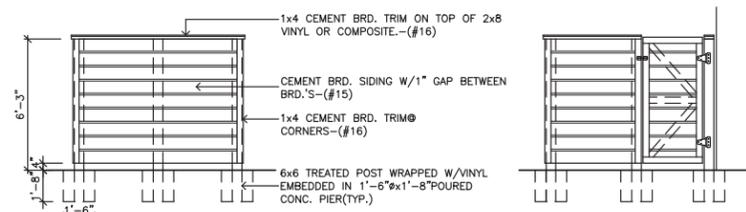
**RAY BASHAM ARCHITECT**  
1905 CANTERBURY LANE #3E  
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email: raybashamarchitect@tampabay.rr.com

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SHEET

**A11**





**ELECTRIC METER/CONDENSING UNIT ENCLOSURE EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"



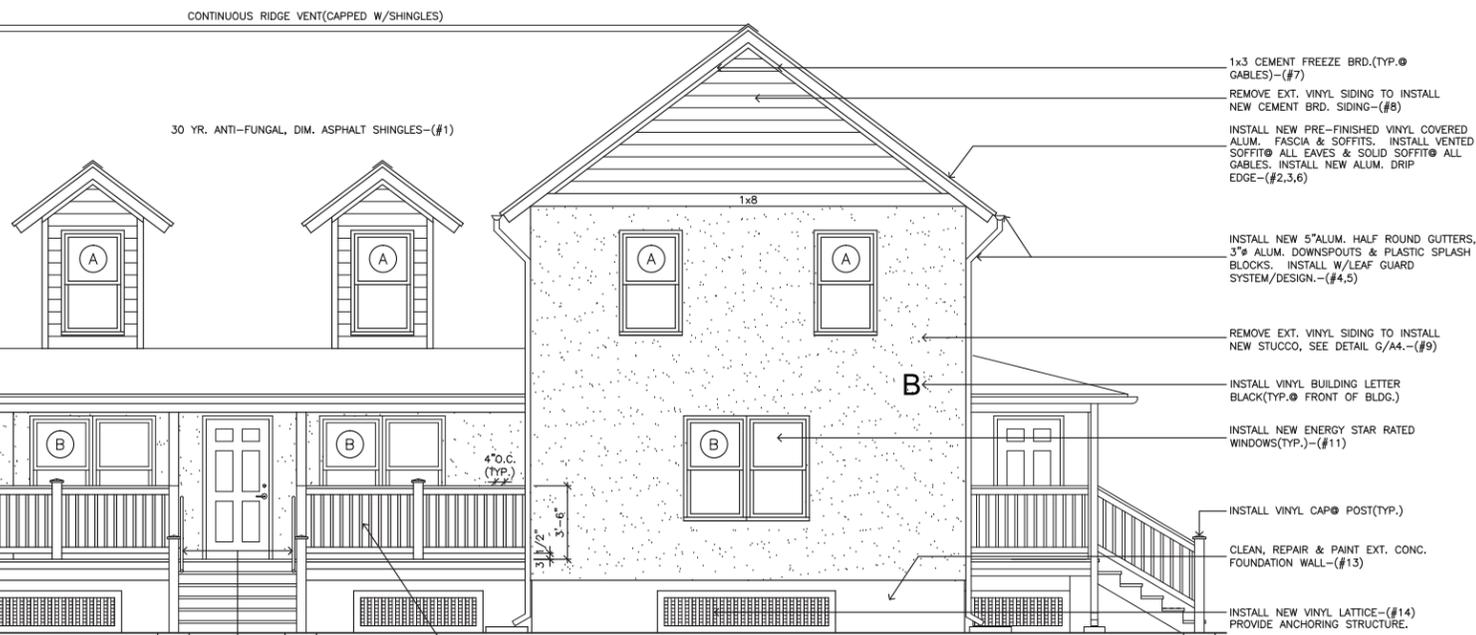
**BUILDINGS C, K FRONT ELEVATION**

SCALE: 1/4" = 1'-0" (REAR ELEVATION SIMILAR, OPPOSITE HAND)  
(ALTERNATE PORCH LAYOUT)



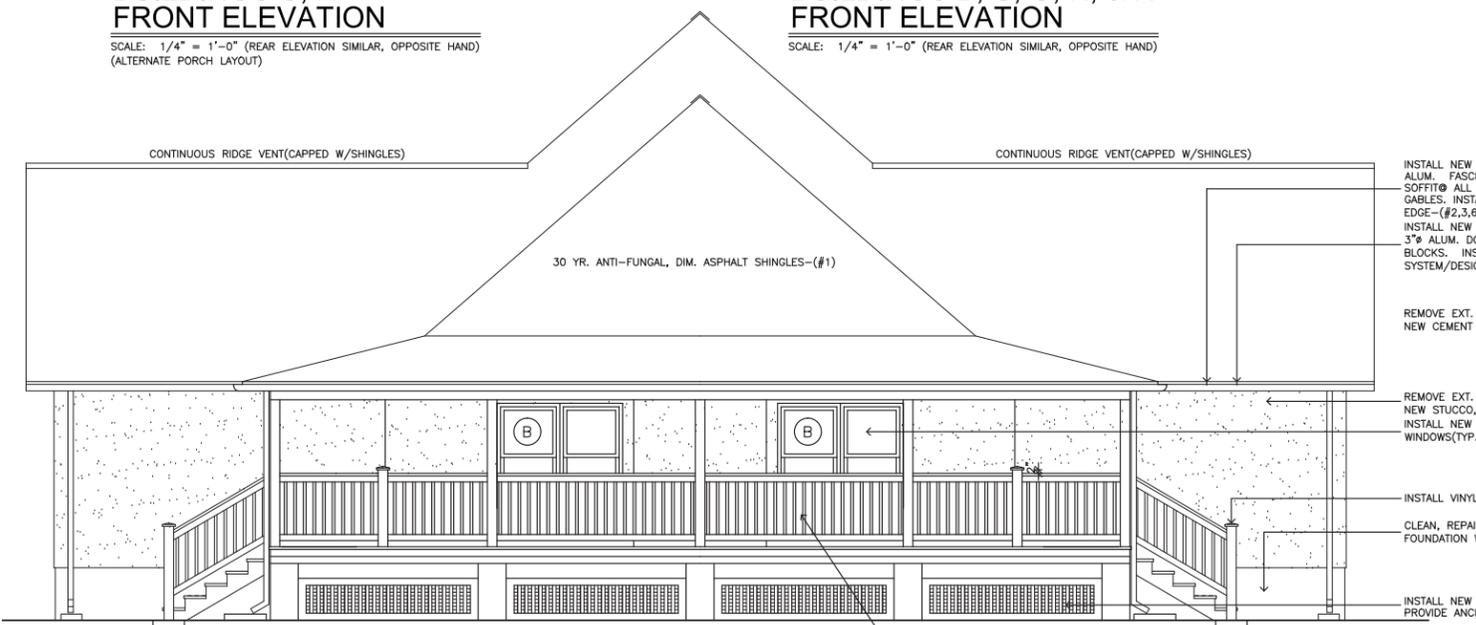
**BUILDINGS B, C, G, H, & K FRONT ELEVATION**

SCALE: 1/4" = 1'-0" (REAR ELEVATION SIMILAR, OPPOSITE HAND)



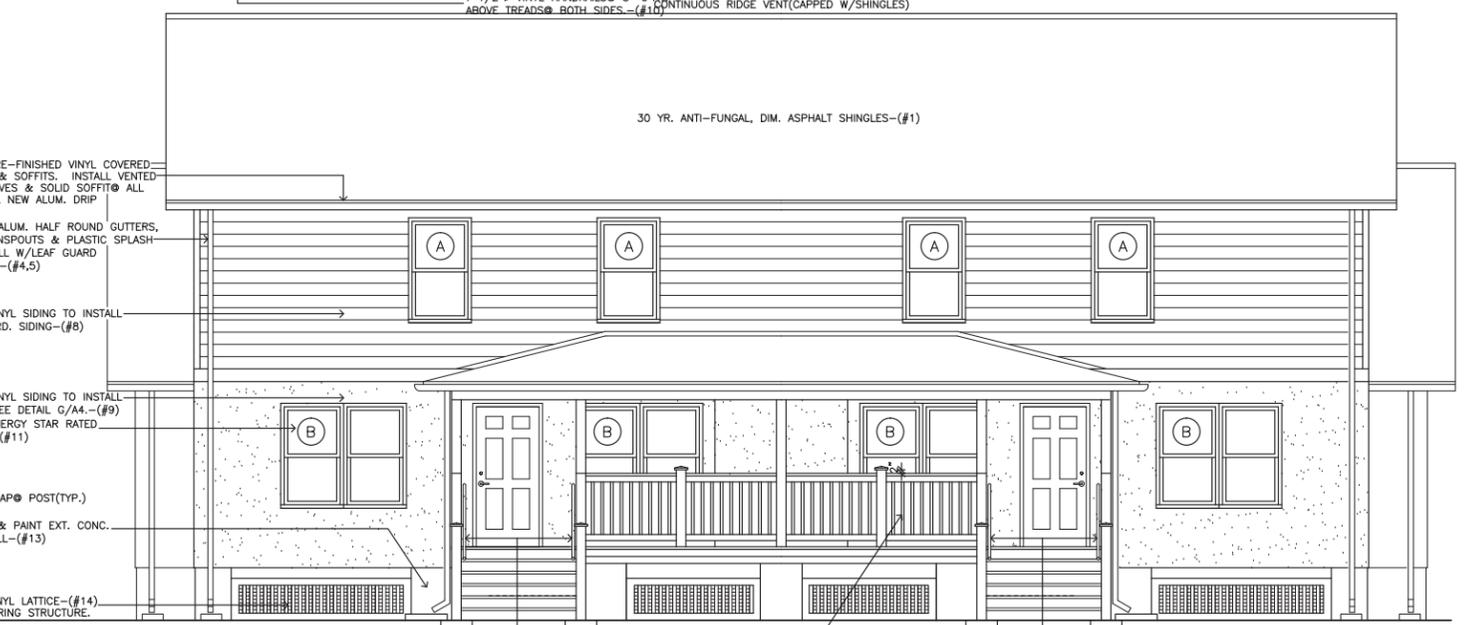
**BUILDINGS B, C, G, H & K SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



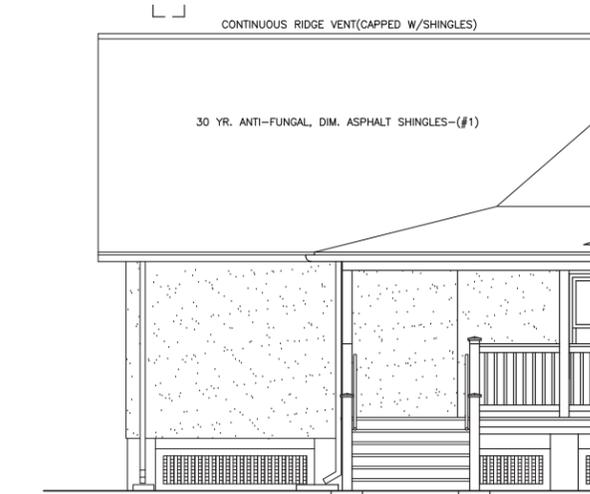
**BUILDINGS B, C, G, H, & K SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**BUILDINGS B, C, G, H & K SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**BUILDINGS C, K SIDE ELEVATION**

SCALE: 1/4" = 1'-0" (ALTERNATE PORCH LAYOUT)

**MATERIALS & COLORS LEGEND #1**

1. SHINGLES - DIMENSIONAL 30 YR. ANTI-FUNGAL (WEATHERED WOOD)
2. DRIP EDGE - ALUMINUM (CLAY)
3. FASCIA - VINYL COVERED ALUMINUM (CLAY)
4. GUTTERS - 5" ALUMINUM HALF ROUND (CLAY)
5. DOWNSPOUTS - 3" ALUMINUM (CLAY)
6. SOFFIT - SOLID & VENTED VINYL COVERED ALUMINUM (CLAY)
7. CEMENT BOARD TRIM - 1x CEDAR (AUSTERE GRAY SW6184, EGGSHELL)
8. CEMENT BOARD SIDING - 7 1/4" CEDAR (AUSTERE GRAY SW6184, EGGSHELL)
9. STUCCO - SMOOTH FINISH (DRIED THYME SW6186, EGGSHELL)
10. RAILING/BALLUSTERS - VINYL (ADOBE)
11. WINDOWS - VINYL (TAN)
12. DOORS - 6 PANEL STEEL (WARM STONE SW7032, EGGSHELL)
13. EXISTING FOUNDATION WALLS - (WARM STONE SW7032, EGGSHELL)
14. VINYL LATTICE - GREEN
15. CEMENT BOARD SIDING(CONDENSER UNIT ENCLOSURE) - 7 1/4" CEDAR (DRIED THYME SW6186, EGGSHELL)
16. CEMENT BOARD TRIM(CONDENSER UNIT ENCLOSURE) - 1x CEDAR (DRIED THYME SW6186, EGGSHELL)

TOTAL WALL S.F. = 3,265 S.F. X .7 = 2,286 S.F. REQ'D.(70% STUCCO).  
STUCCO = 2,336 S.F. (72%)  
CEMENT BRD. SIDING = 929 S.F. (28%)

NOTE: 30 YR. ANTI-FUNGAL, DIM. ASPHALT SHINGLES TO HAVE FASTENERS THAT CONFORM TO ASTM #7158 (6 PER SHINGLE).

NOTE: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.

**WINDOW SCHEDULE**

	NOM. SIZE	QNTY.	TYPE	U-VALUE	SHGC	SQ.FT.	VENT SQ.FT.	NOTES
A	3'-0"x5'-2"	16	S.H.	0.30 MIN	0.25 MIN	15.0	7.50	DOUBLE PANE, LOW E, WELDED VINYL.(ENERGY STAR LISTED).LOWER SILLS AS NEEDED.
B	6'-0"x5'-0"	12	S.H.	0.30 MIN	0.25 MIN	30.0	15.0	DOUBLE PANE, LOW E, WELDED VINYL.(ENERGY STAR LISTED)

INSTALL CULTURED MARBLE SILLS@ ALL WINDOW LOCATIONS. INSTALL WINDOW TAPE & FLASHING@ ALL WINDOW EXTERIORS & ALL EXTERIOR DOORS. SEE SPEC.'S. INSTALL NEW 1"PCV MINI-BLINDS@ ALL WINDOWS. SEE SPEC.'S. CONTRACTOR TO VERIFY ALL WINDOW OPENINGS. ALL WINDOWS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PDF)=35 OR 45.



WD	1/12/16	SAM

**90 DILLON APARTMENTS**  
90 DILLON RD.  
HILTON HEAD, SC 29926

**RAY BASHAM ARCHITECT**  
1905 CANTERBURY LANE #3E  
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Tel: 614.216.1948  
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COMM. NO. 15-007  
SHEET  
**A13**  
OF -

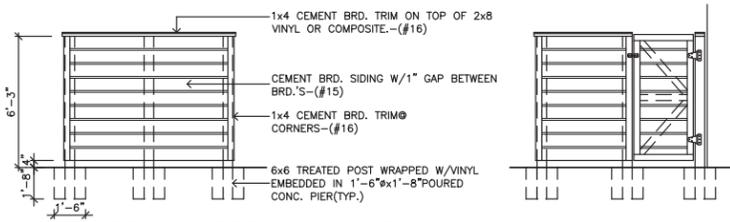


**BUILDINGS A & E  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0" (REAR ELEVATION SIMILAR, OPPOSITE HAND)

**MATERIALS & COLORS LEGEND #2**

1. SHINGLES - DIMENSIONAL 30 YR. ANTI-FUNGAL (WEATHERED WOOD)
2. DRIP EDGE - ALUMINUM (CLAY)
3. FASCIA - VINYL COVERED ALUMINUM (CLAY)
4. GUTTERS - 5" ALUMINUM HALF ROUND (CLAY)
5. DOWNSPOUTS - 3" ALUMINUM (CLAY)
6. SOFFIT - SOLID & VENTED VINYL COVERED ALUMINUM (CLAY)
7. CEMENT BOARD TRIM - 1x CEDAR (WARM STONE SW7032, EGGSHELL)
8. CEMENT BOARD SIDING - 7 1/4" CEDAR (WARM STONE SW7032, EGGSHELL)
9. STUCCO - SMOOTH FINISH (GRAY AREA SW7052, EGGSHELL)
10. RAILING/BALLUSTERS - VINYL (ADOBE)
11. WINDOWS - VINYL (TAN)
12. DOORS - 6 PANEL STEEL (FINE WINE SW6307, EGGSHELL)
13. EXISTING FOUNDATION WALLS - (WARM STONE SW7032, EGGSHELL)
14. VINYL LATTICE - GREEN
15. CEMENT BOARD SIDING (CONDENSER UNIT ENCLOSURE) - 7 1/4" CEDAR (GRAY AREA SW7052, EGGSHELL)
16. CEMENT BOARD TRIM (CONDENSER UNIT ENCLOSURE) - 1x CEDAR (GRAY AREA SW7052, EGGSHELL)



**ELECTRIC METER/CONDENSING  
UNIT ENCLOSURE EXTERIOR ELEVATIONS**

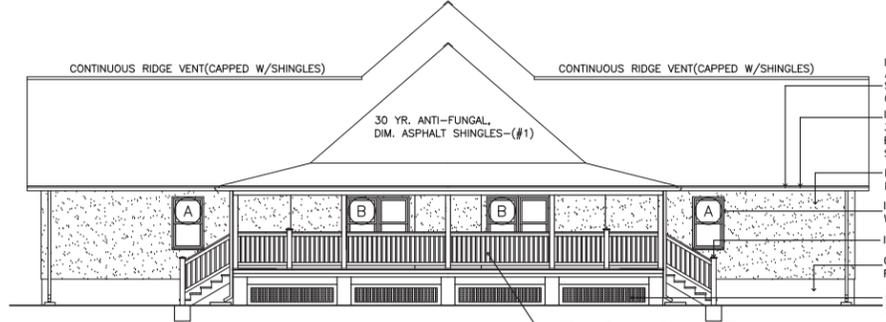
SCALE: 1/4" = 1'-0"

- INSTALL NEW PRE-FINISHED VINYL COVERED ALUM. FASCIA & SOFFITS. INSTALL VENTED SOFFIT @ ALL EAVES & SOLID SOFFIT @ ALL GABLES. INSTALL NEW ALUM. DRIP EDGE (#2,3,6)
- INSTALL NEW 5" ALUM. HALF ROUND GUTTERS, 3" ALUM. DOWNSPOUTS & PLASTIC SPLASH BLOCKS. INSTALL W/LEAF GUARD SYSTEM/DESIGN. (#4,5)
- REMOVE EXT. VINYL SIDING TO INSTALL NEW CEMENT BRD. SIDING (#8)
- INSTALL NEW ENERGY STAR RATED WINDOWS (TYP.) (#11)
- REMOVE EXT. VINYL SIDING TO INSTALL NEW STUCCO, SEE DETAIL G/A4. (#9)
- CLEAN, REPAIR & PAINT EXT. CONC. FOUNDATION WALL (#13)
- INSTALL NEW VINYL LATTICE (#14) PROVIDE ANCHORING STRUCTURE.



**BUILDINGS A & E  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**BUILDINGS A & E  
SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

TOTAL WALL S.F. = 3,560 S.F. X .7 = 2,492 S.F. REQ'D. (70% STUCCO).  
STUCCO = 2,631 S.F. (74%)  
CEMENT BRD. SIDING = 929 S.F. (26%)

NOTE: 30 YR. ANTI-FUNGAL, DIM. ASPHALT SHINGLES TO HAVE FASTENERS THAT CONFORM TO ASTM #7158 (6 PER SHINGLE).

NOTE: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.

**WINDOW SCHEDULE**

Ø	NOM. SIZE	QNTY.	TYPE	U-VALUE	SHGC	SQ.FT.	VENT SQ.FT.	NOTES
A	3'-0"x5'-2"	18	S.H.	0.30 MIN	0.25 MIN	15.0	7.50	DOUBLE PANE, LOW E, WELDED VINYL (ENERGY STAR LISTED), LOWER SILLS AS NEEDED.
B	6'-0"x5'-0"	12	S.H.	0.30 MIN	0.25 MIN	30.0	15.0	DOUBLE PANE, LOW E, WELDED VINYL (ENERGY STAR LISTED)

INSTALL CULTURED MARBLE SILLS @ ALL WINDOW LOCATIONS. INSTALL WINDOW TAPE & FLASHING @ ALL WINDOW EXTERIORS & ALL EXTERIOR DOORS, SEE SPEC.'S. INSTALL NEW 1" PVC MINI-BLINDS @ ALL WINDOWS, SEE SPEC.'S. CONTRACTOR TO VERIFY ALL WINDOW OPENINGS. ALL WINDOWS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH (B EXPOSURE, MPH 3 SECOND GUSTS) / DESIGN PRESSURE VALUE (PSF) = 35 OR 45.

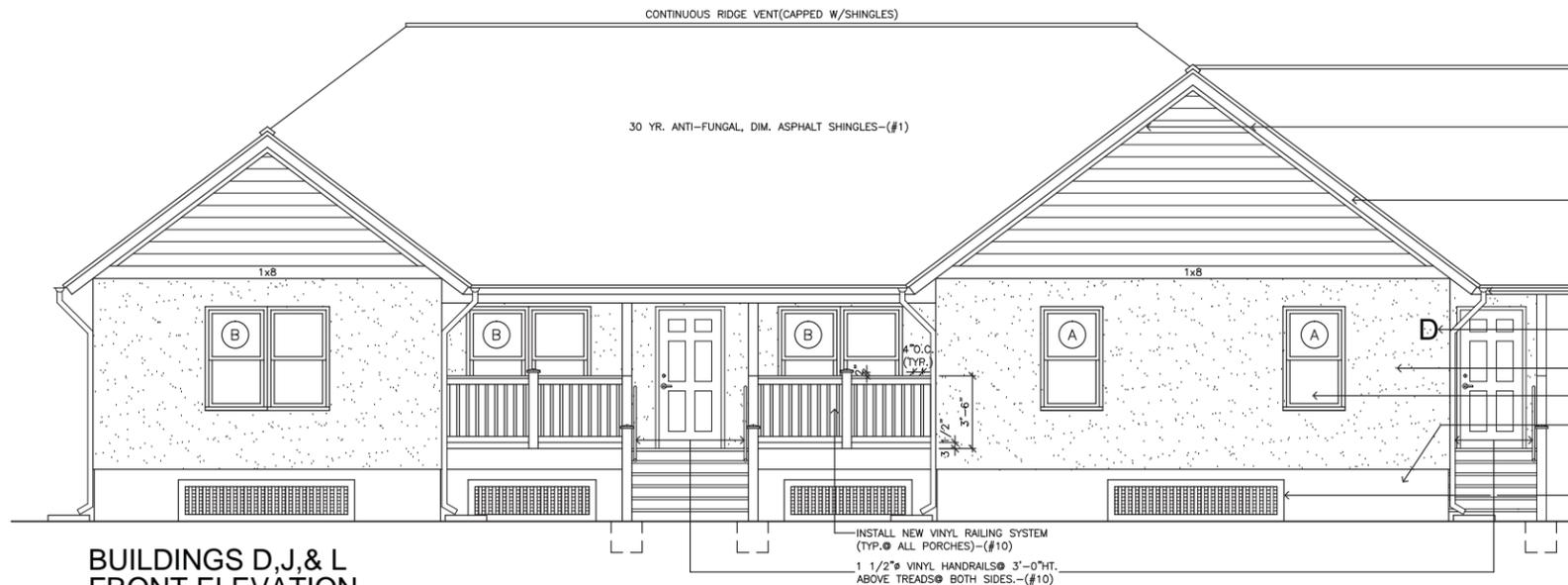


WD	1/12/16	SAM

**90 DILLON APARTMENTS**  
90 DILLON RD.  
HILTON HEAD, SC 29926

**RAY BASHAM ARCHITECT**  
1905 CANTERBURY LANE #3E  
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email: raybashamarchitect@tampabay.rr.com

COMM. NO. 15-007  
SHEET  
**A14**  
OF



**BUILDINGS D,J,& L  
FRONT ELEVATION**

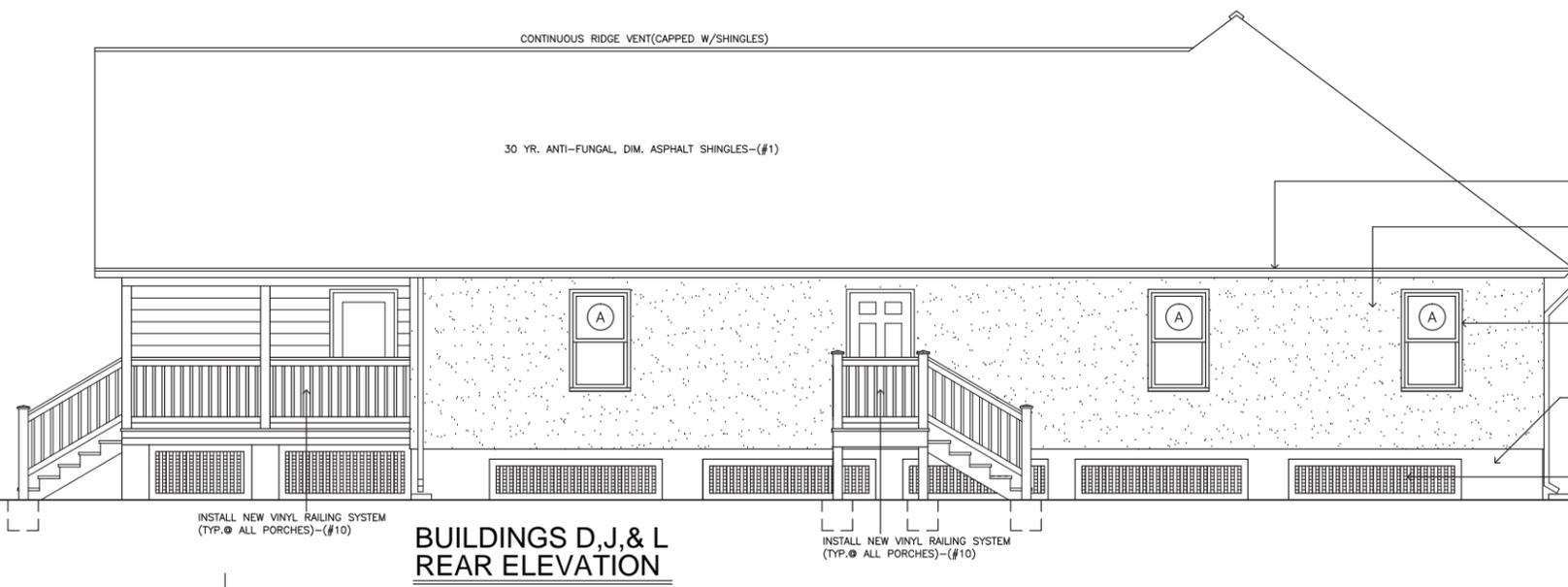
SCALE: 1/4" = 1'-0"

- 1x3 CEMENT FREEZE BRD.(TYP.)(#7)
- INSTALL NEW PRE-FINISHED VINYL COVERED ALUM. FASCIA & SOFFITS. INSTALL VENTED SOFFIT@ ALL EAVES & SOLID SOFFIT@ ALL GABLES. INSTALL NEW ALUM. DRIP EDGE-(#2,3,6)
- INSTALL NEW 5"ALUM. HALF ROUND GUTTERS, 3" ALUM. DOWNSPOUTS & PLASTIC SPLASH BLOCKS. INSTALL W/LEAF GUARD SYSTEM/DESIGN-(#4,5)
- INSTALL VINYL BUILDING LETTER BLACK(TYP.)(#11)
- REMOVE EXT. VINYL SIDING TO INSTALL NEW STUCCO, SEE DETAIL G/A4-(#9)
- INSTALL NEW ENERGY STAR RATED WINDOWS(TYP.)(#11)
- CLEAN, REPAIR & PAINT EXT. CONC. FOUNDATION WALL-(#13)
- INSTALL NEW VINYL LATTICE-(#14) PROVIDE ANCHORING STRUCTURE.



**BUILDINGS D,J,& L  
SIDE ELEVATION**

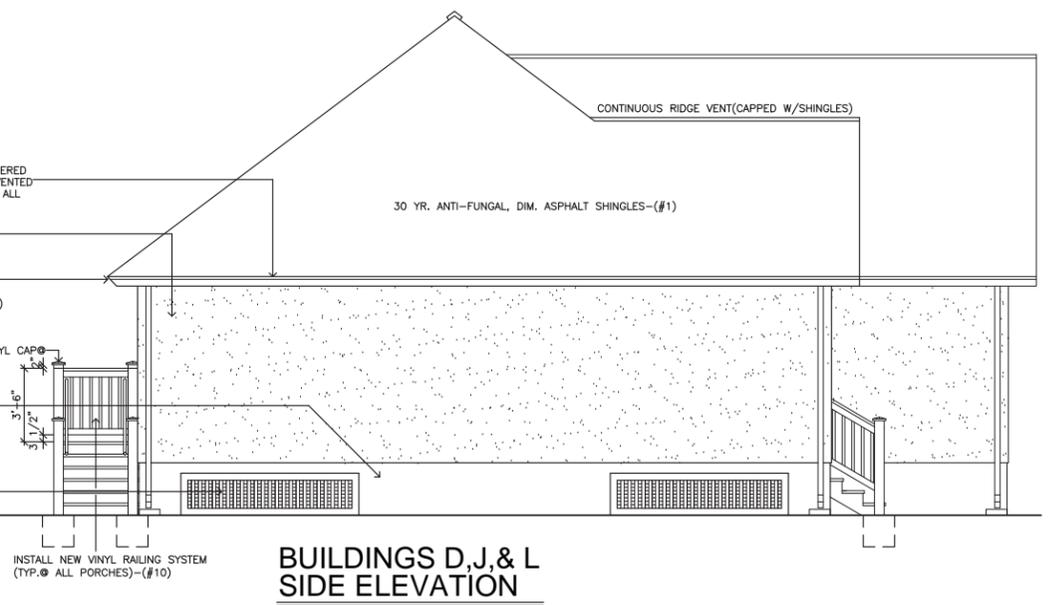
SCALE: 1/4" = 1'-0"



**BUILDINGS D,J,& L  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"

- INSTALL NEW PRE-FINISHED VINYL COVERED ALUM. FASCIA & SOFFITS. INSTALL VENTED SOFFIT@ ALL EAVES & SOLID SOFFIT@ ALL GABLES. INSTALL NEW ALUM. DRIP EDGE-(#2,3,6)
- REMOVE EXT. VINYL SIDING TO INSTALL NEW STUCCO, SEE DETAIL G/A4-(#9)
- INSTALL NEW 5"ALUM. HALF ROUND GUTTERS, 3" ALUM. DOWNSPOUTS & PLASTIC SPLASH BLOCKS. INSTALL W/LEAF GUARD SYSTEM/DESIGN-(#4,5)
- INSTALL NEW ENERGY STAR RATED WINDOWS(TYP.)(#11)
- INSTALL VINYL CAP@ POST(TYP.)
- CLEAN, REPAIR & PAINT EXT. CONC. FOUNDATION WALL-(#13)
- INSTALL NEW VINYL LATTICE-(#14) PROVIDE ANCHORING STRUCTURE.



**BUILDINGS D,J,& L  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**MATERIALS & COLORS LEGEND #2**

1. SHINGLES - DIMENSIONAL 30 YR. ANTI-FUNGAL (WEATHERED WOOD)
2. DRIP EDGE - ALUMINUM (CLAY)
3. FASCIA - VINYL COVERED ALUMINUM (CLAY)
4. GUTTERS - 5" ALUMINUM HALF ROUND (CLAY)
5. DOWNSPOUTS - 3" ALUMINUM (CLAY)
6. SOFFIT - SOLID & VENTED VINYL COVERED ALUMINUM (CLAY)
7. CEMENT BOARD TRIM - 1x CEDAR (WARM STONE SW7032, EGGSHELL)
8. CEMENT BOARD SIDING - 7 1/4" CEDAR (WARM STONE SW7032, EGGSHELL)
9. STUCCO - SMOOTH FINISH (GRAY AREA SW7052, EGGSHELL)
10. RAILING/BALLUSTERS - VINYL (ADOBE)
11. WINDOWS - VINYL (TAN)
12. DOORS - 6 PANEL STEEL (FINE WINE SW6307, EGGSHELL)
13. EXISTING FOUNDATION WALLS - (WARM STONE SW7032, EGGSHELL)
14. VINYL LATTICE - GREEN
15. CEMENT BOARD SIDING(CONDENSER UNIT ENCLOSURE) - 7 1/4" CEDAR (GRAY AREA SW7052, EGGSHELL)
16. CEMENT BOARD TRIM(CONDENSER UNIT ENCLOSURE) - 1x CEDAR (GRAY AREA SW7052, EGGSHELL)

TOTAL WALL S.F. = 1,829 S.F. X .7 = 1,280 S.F. REQ'D.(70% STUCCO).  
STUCCO = 1,323 S.F. (72%)  
CEMENT BRD. SIDING = 506 S.F. (28%)

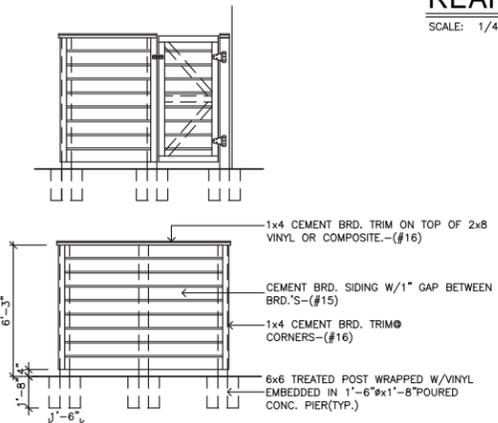
NOTE: 30 YR. ANTI-FUNGAL, DIM. ASPHALT SHINGLES TO HAVE FASTENERS THAT CONFORM TO ASTM #7158 (6 PER SHINGLE).

NOTE: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.

**WINDOW SCHEDULE**

NO.	NOM. SIZE	QNTY.	TYPE	U-VALUE	SHGC	SQ.FT.	VENT SQ.FT.	NOTES
A	3'-0"x5'-2"	7	S.H.	0.30 MIN	0.25 MIN	15.0	7.50	DOUBLE PANE, LOW E, WELDED VINYL(ENERGY STAR LISTED),LOWER SILLS AS NEEDED.
B	6'-0"x5'-0"	4	S.H.	0.30 MIN	0.25 MIN	30.0	15.0	DOUBLE PANE, LOW E, WELDED VINYL(ENERGY STAR LISTED)

INSTALL CULTURED MARBLE SILLS@ ALL WINDOW LOCATIONS. INSTALL WINDOW TAPE & FLASHING@ ALL WINDOW EXTERIORS & ALL EXTERIOR DOORS, SEE SPEC.'S. INSTALL NEW 1"PVC MINI-BLINDS@ ALL WINDOWS, SEE SPEC.'S. CONTRACTOR TO VERIFY ALL WINDOW OPENINGS. ALL WINDOWS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH(B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE(PDF)=35 OR 45.



**ELECTRIC METER/CONDENSING  
UNIT ENCLOSURE EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"

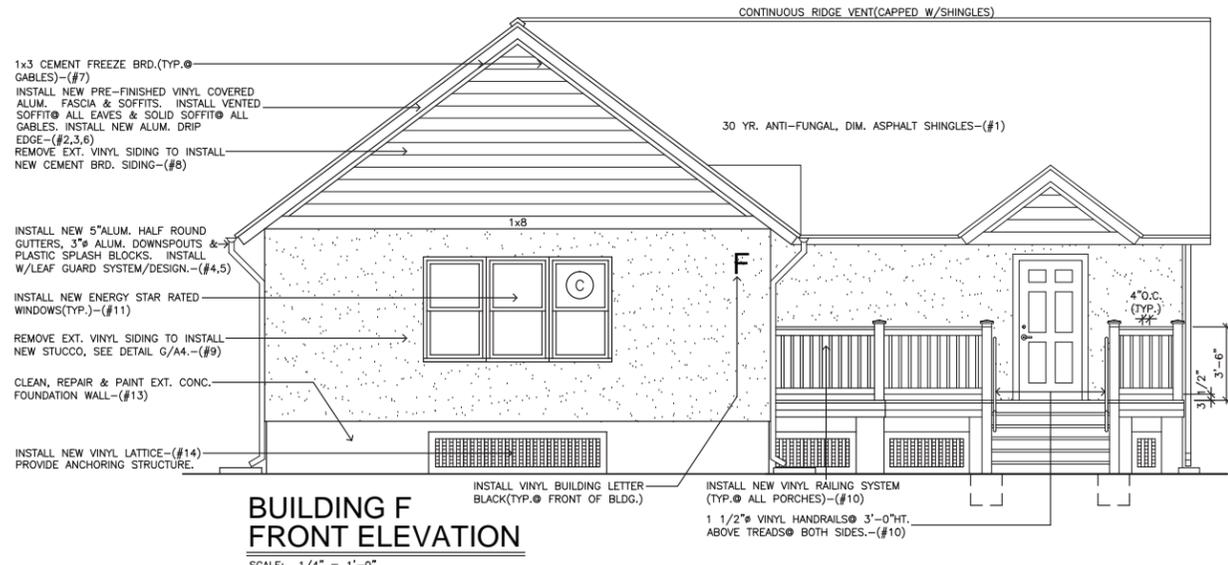


WD	1/12/16	SAM

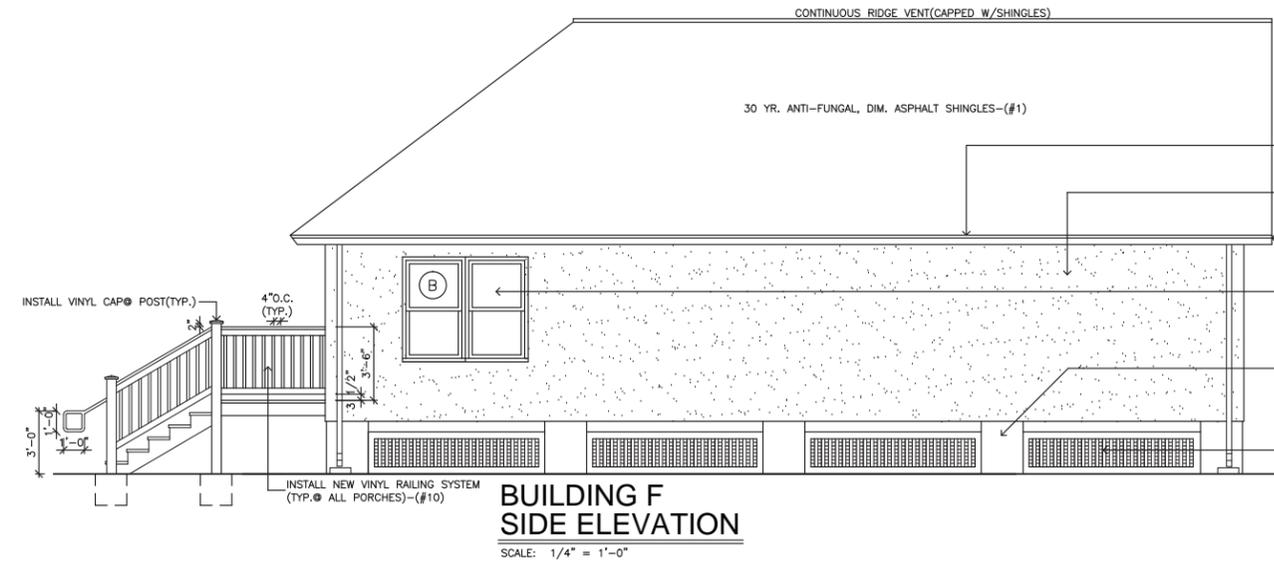
**90 DILLON APARTMENTS**  
90 DILLON RD.  
HILTON HEAD, SC 29926

**RAY BASHAM ARCHITECT**  
1905 CANTERBURY LANE #3E  
SUN CITY CENTER, FLORIDA 33573  
Tel: 614.216.1948  
email: raybashamarchitect@tampabay.rr.com

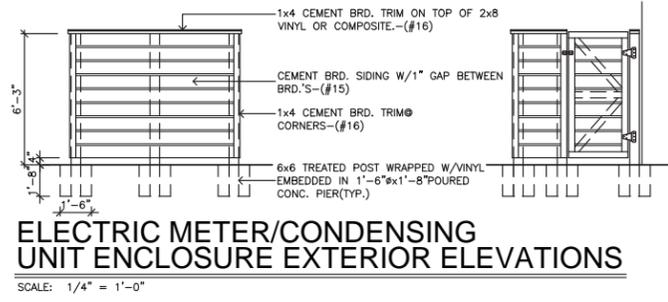
COMM. NO. 15-007  
SHEET  
**A15**  
OF



**BUILDING F FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



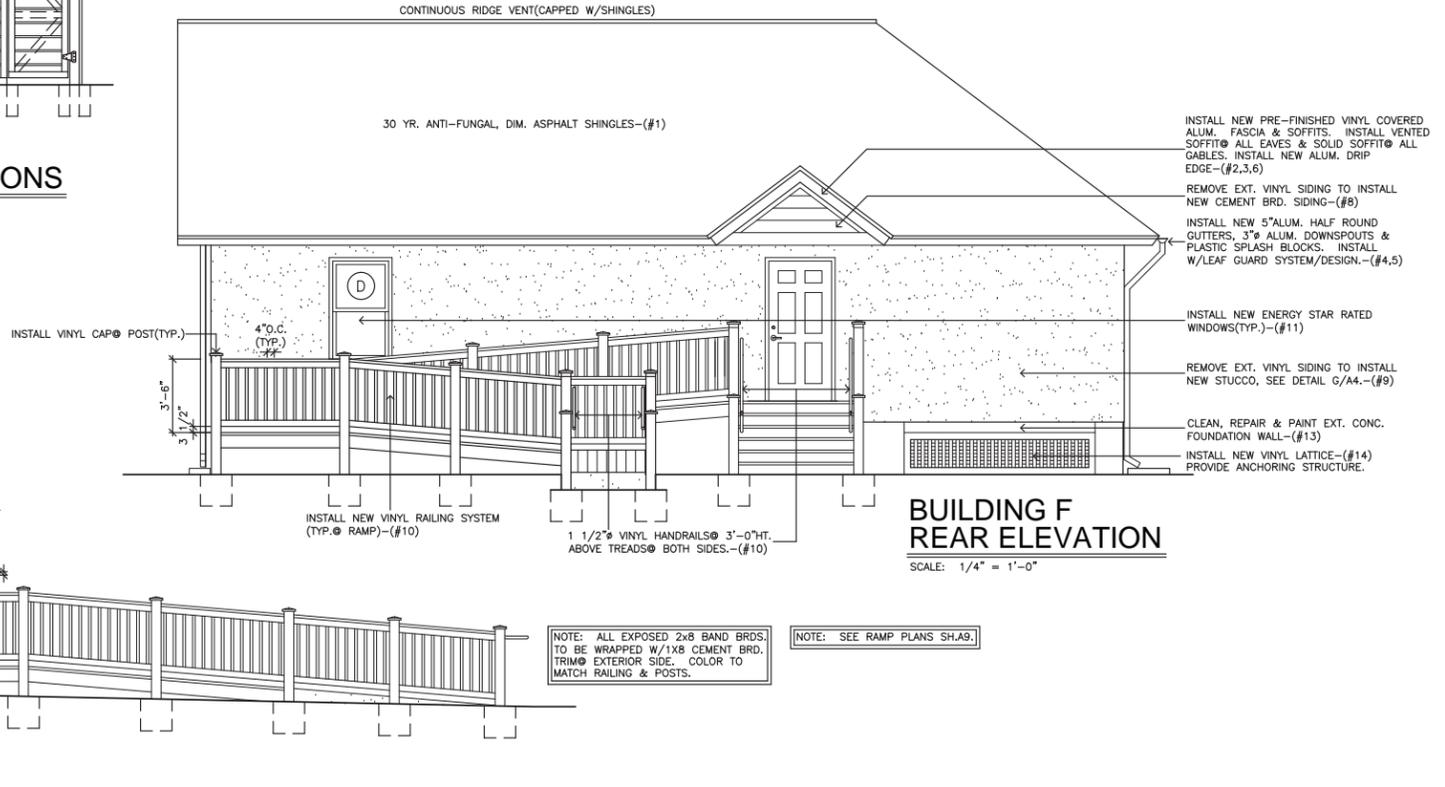
**BUILDING F SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**ELECTRIC METER/CONDENSING UNIT ENCLOSURE EXTERIOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**BUILDING F SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**BUILDING F REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**MATERIALS & COLORS LEGEND #2**

1. SHINGLES - DIMENSIONAL 30 YR. ANTI-FUNGAL (WEATHERED WOOD)
2. DRIP EDGE - ALUMINUM (CLAY)
3. FASCIA - VINYL COVERED ALUMINUM (CLAY)
4. GUTTERS - 5" ALUMINUM HALF ROUND (CLAY)
5. DOWNSPOUTS - 3" ALUMINUM (CLAY)
6. SOFFIT - SOLID & VENTED VINYL COVERED ALUMINUM (CLAY)
7. CEMENT BOARD TRIM - 1x CEDAR (WARM STONE SW7032, EGGSHELL)
8. CEMENT BOARD SIDING - 7 1/4" CEDAR (WARM STONE SW7032, EGGSHELL)
9. STUCCO - SMOOTH FINISH (GRAY AREA SW7052, EGGSHELL)
10. RAILING/BALLUSTERS - VINYL (ADOBE)
11. WINDOWS - VINYL (TAN)
12. DOORS - 6 PANEL STEEL (FINE WINE SW6307, EGGSHELL)
13. EXISTING FOUNDATION WALLS - (WARM STONE SW7032, EGGSHELL)
14. VINYL LATTICE - GREEN
15. CEMENT BOARD SIDING (CONDENSER UNIT ENCLOSURE) - 7 1/4" CEDAR (GRAY AREA SW7052, EGGSHELL)
16. CEMENT BOARD TRIM (CONDENSER UNIT ENCLOSURE) - 1x CEDAR (GRAY AREA SW7052, EGGSHELL)

TOTAL WALL S.F. = 1,506 S.F. X .7 = 1,054 S.F. REQ'D. (70% STUCCO).  
STUCCO = 1,252 S.F. (83%)  
CEMENT BRD. SIDING = 254 S.F. (17%)

NOTE: 30 YR. ANTI-FUNGAL, DIM. ASPHALT SHINGLES TO HAVE FASTENERS THAT CONFORM TO ASTM #7158 (6 PER SHINGLE).

NOTE: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.

**WINDOW SCHEDULE**

	NOM. SIZE	QNTY.	TYPE	U-VALUE	SHGC	SQ.FT.	VENT SQ.FT.	NOTES
B	6'-0"x5'-0"	1	S.H.	0.30 MIN	0.25 MIN	30.0	15.0	DOUBLE PANE, LOW E, WELDED VINYL.(ENERGY STAR LISTED)
C	9'-0"x5'-0"	2	S.H.	0.30 MIN	0.25 MIN	45.0	22.5	DOUBLE PANE, LOW E, WELDED VINYL.(ENERGY STAR LISTED)
D	3'-0"x5'-0"	3	S.H.	0.30 MIN	0.25 MIN	15.0	7.50	DOUBLE PANE, LOW E, WELDED VINYL.(ENERGY STAR LISTED)

INSTALL CULTURED MARBLE SILLS @ ALL WINDOW LOCATIONS. INSTALL WINDOW TAPE & FLASHING @ ALL WINDOW EXTERIORS & ALL EXTERIOR DOORS, SEE SPEC.'S. INSTALL NEW 1" PVC MINI-BLINDS @ ALL WINDOWS, SEE SPEC.'S. CONTRACTOR TO VERIFY ALL WINDOW OPENINGS. ALL WINDOWS TO BE IMPACT RESISTANT THAT ARE RATED FOR 130 MPH (B EXPOSURE, MPH 3 SECOND GUSTS)/DESIGN PRESSURE VALUE (PSF) = 35 OR 45.



WD	1/12/16	SAM

**90 DILLON APARTMENTS**  
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HILTON HEAD, SC 29926

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SUN CITY CENTER, FLORIDA 33573  
Tel: 614.216.1948  
email: raybashamarchitect@tampabay.rr.com

COMM. NO. 15-007  
SHEET  
**A16**  
OF

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 90 Dillon Road Apartments – ALTERATION/ADDITION

DRB#: DRB-000048-2016

DATE: January 26, 2016

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

RECOMMENDED CONDITIONS:

1. Wood should be considered for lattice, railings, dumpster enclosure, and condenser unit enclosures to be more in keeping with Design Guide.
2. Re-evaluate landscape plan for appropriateness of material; site is very shady and some plants, i.e. Scrub Mint need more sun. Add landscaping at end of medians adjacent to new parking.

<b><i>ARCHITECTURAL DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Primary materials are stucco, cement board siding, and shingle roofing. Decking, handrails, lattice, fence enclosures, and windows are vinyl.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Colors include beige, brown, green, and wine (accent).
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cement board siding (wood in appearance) will replace vinyl siding. Vinyl will replace wood lattice, railings, fencing, etc.
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project contains little existing landscaping.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide landscape median adjacent to new parking bays.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

elements of the project				
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Some natives are included.
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all trees is not shown on plan but based on site visit it appears that proposed plantings account for existing trees.
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Only 2 trees are proposed to be removed.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

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