



Town of Hilton Head Island Regular Design Review Board Meeting

March 22, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. Call to Order

2. Roll Call

3. Freedom of Information Act Compliance

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

4. Approval of Agenda

5. Approval of Minutes – Meeting of March 8, 2016

6. Staff Report

7. Board Business

8. Old Business

A. Alteration/Addition

- Hickory Tavern (Shelter Cove Plaza), DRB-001493-2015
- Shelter Cove Apts. East 1, DRB-000437-2016

9. Unfinished Business

10. New Business

A. Alteration/Addition

- Tile Removal 278 Signs (Shelter Cove), DRB-000347-2016
- First Baptist Church Youth Building Repair & Improvements, DRB-000401-2016
- Shelter Cove Towne Centre Suite 111, DRB-000430-2016
- NYCP Inc., DRB-000439-2016

B. New Development – Final

- HHI-IRC Additions & Renovations, DRB-000438-2016
- Park Lane Office Building, DRB-000442-2016

11. Appearance by Citizens

12. Adjournment

Town of Hilton Head Island
Minutes of the Design Review Board

Benjamin M. Racusin Council Chambers

March 8, 2016

1:15p.m.

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Ron Hoffman, Debbie Remke, Michael Gentemann, Brian Witmer

Board Members Absent: Kyle Theodore (excused)

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Jill Foster, Deputy Director of Community Development
Richard Spruce, Plans Examiner
Teresa Haley, Secretary

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm.**

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board **approved** the agenda by general consent.

5. Approval of Minutes

The Board reviewed the minutes of the **February 23, 2016** meeting and **approved** the minutes by general consent.

6. Staff Report – None

7. Board Business – None

8. Old Business – None

9. Unfinished Business

A. Alteration/Addition

- Improvements to Simmons Fish Camp, DRB-002184-2015

(Mr. Witmer recused himself from review of application DRB-002184-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)

Ms. Ray introduced the project and stated its location: 11 Simmons Road. Ms. Ray stated that the DRB approved the project in December 2015 with the following conditions: 1) project will be resubmitted to the Board specifying colors for shutters, service yard, building body, trim color, and column color; 2) submit a lighting plan, if any, for DRB approval; 3) submit a detail for the service yard which should be board-and-batten; 4) submit details for louvers, windows, doors, fireplace, and columns; 5) consider additional natural looking landscape at the end of the fireplace and at service yard; and 6) if the parking changes in the DPR, that will be resubmitted to DRB for approval. The applicant has made revisions and addressed items 1, 2, and 4. The colors have been toned down from the original submittal and are in keeping the Design Guide. Wall mounted light fixtures (oil rubbed bronze) are proposed at front and rear entrances. Staff recommends approval with the following condition: 1) provide lighting plan and clarify proposed light locations; elevations indicate four wall lights, and 2) the additional plants be added to the landscaping at the existing service yard as needed to accommodate the expansion of the service yard.

Chairman Gartner requested that the applicant make a presentation. The applicant expressed appreciation toward Ms. Ray's presentation. The applicant briefly reiterated the revisions that were made to conditions 1, 2, and 4. There was no public comment.

Chairman Gartner requested comments from the Board. The Board complimented the overall project. The Board discussed several concerns including the construction of the pavilion; the Staff recommended planting at the service yard; the locations and number of lighting fixtures; and the matching of the wood window color to the trim color.

Mr. Gentemann made a motion to **approve** DRB-002184-2015 with the following conditions: 1) additional plantings at the service yard per the Staff recommendation be submitted to Staff for approval; and 2) a light plan be provided for record purposes. Please note this approval is for the pavilion, the exterior revisions including the colors, trim, and lights, and the extended service yard. This approval does not include the fireplace and the dumpster area which should be submitted at a later date. Mr. Hoffman **seconded** the motion. The motion **passed** with a vote of 5-0-0.

10. New Business

A. *New Development - Conceptual*

- Spinnaker Welcome Center, DRB-000330-2016

Ms. Ray introduced the project and stated its location: 30 Waterside Drive. Ms. Ray presented that the applicant proposes to construct a new 7,500 sq. ft. welcome center on an existing vacant site, which is located closer to the existing Spinnaker Resort properties. Ms. Ray presented an in-depth review of the project as included in the Board's packet. Staff noted that as the plan moves from conceptual to final, the amount of lawn and plantings under the canopy of specimen trees should be evaluated. The applicant brought color samples to demonstrate the proposed roof, shutters, siding, stucco and wood trim will match existing. Staff recommends approval as submitted.

Chairman Gartner requested that the applicant come forward and add anything further to Ms. Ray's presentation. The applicant expressed appreciation toward Ms. Ray's presentation and handling of the project. The applicant listened to the Board's comments and addressed the Board's concerns. There was no public comment.

Chairman Gartner requested comments from the Board. The Board complimented the architectural style of the building as fitting within its context and with the Design Guide. The Board discussed several concerns including the size and angle of the roof pitch; the use of bright white for trim and the need to soften the color; the addition of a roof element to the elevation facing Aunt Chilada's to break up the monolithic appearance of the roof; the review and approval for window and column details; and the landscaping, particularly on the Pope Avenue side of the building.

Mr. Gentemann made a motion to **approve** DRB-000330-2016 with the following conditions: 1) the foundation on the elevation should be graphically correct and include the adjacent steps on the sides of the building where pertinent; 2) mute the bright white trim color; 3) at the owner's discretion, investigate adding a dormer or something similar to interrupt the roof on the Aunt Chilada side; 4) add break trim at the floor line to break up the upper part of the elevation from the foundation; 5) for final submittal, include all details for windows, columns, etc.; 6) confirm that the canopy fascia will be continuous with the main roof; 7) ensure sod isn't underneath the canopies of the trees; and 8) match the roof pitch of the entry element with the pitch of the main body roof. Ms. Remke **seconded** the motion. The motion **passed** with a vote of 6-0-0.

- Springhill Suites by Marriott, DRB-000337-2016

Ms. Ray introduced the project and stated its location: 836 William Hilton Parkway. Ms. Ray presented that the applicant proposes to construct a 95 room 4-story hotel on the same property

site as the recently approved Home 2 Suites. The site plan as shown is over density with two hotels on the restaurant building, which the applicant stated that the restaurant would be removed. Ms. Ray further presented an in-depth description of the proposed project details.

Staff recommends approval with the following conditions: 1) consider how to utilize space where restaurant was proposed to loosen up site and provide more green space between building and parking; 2) restudy entrance & location of porte cochere (adjacent to solid brick wall, not attached to building, not centered on elevation); 3) reconsider use of stone on pool walls. Stucco, wood, or brick (or combination) would be more appropriate and in keeping with the Design Guide; and 4) restudy tower element in front & rear elevation.

Chairman Gartner requested that the applicant come forward to make a presentation. The applicant expressed cooperation with following the Design Guide and the DRB's comments. The applicant listened to the Board's comments and addressed the Board's concerns. There was no public comment.

Chairman Gartner requested comments from the Board. The Board complimented the project and the appearance of the building conforming to the Design Guide. The Board discussed at length the following concerns: the refinement of the porte cochere in relation to the alignment of the entrance and adjacent surroundings; the addition of resort-like landscaping near the pool and parking areas; the use of 4-6" caliper trees in the parking lot; the material suitable for the pool; the agreement with Staff regarding relocation of the tower elements; the impact of the removal of the restaurant; and the comparison of this proposed project to the previously approved Home 2 Suites project.

Mr. Strecker made a motion to **approve** DRB-000337-2016 with the following conditions: 1) consider relocating the main entry drive towards where the restaurant had previously been proposed to open up the site for more greenspace; 2) restudy the entrance and location of the porte cochere, aligning the porte cochere with the building entry and balancing with the building elevation beyond; 3) provide more appropriate material than stone at the pool walls; 4) revise the parking layout to locate planting medians at areas of existing trees and in turn saving more of the existing trees where possible; 5) provide landscape screening between the pool and the parking areas; 6) revise the sidewalk and landscaping at the east corner of the building to incorporate a larger landscaped area; 7) reconsider the location of the tower elements, possibly relocating them to the front side of the building; 8) landscaping should be of size and scale to match the building; and 9) include the Home 2 Suites images in the final submittal for comparison of scale. Mr. Gentemann **seconded** the motion. The motion **passed** with a vote of 6-0-0.

11. Appearances by Citizens – None

12. Adjournment

Chairman Gartner adjourned the meeting at 2:35 p.m.

Submitted by:

Approved by:

Teresa Haley, Secretary

Jake Gartner, Chairman

DRAFT

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

08-10-15

DATE



spencer architect

□ □ □ □

March 7, 2016

Ms. Jennifer Ray 843-341-4665
Urban Designer
One Town Center Court
Hilton Head Island, SC 29928

Re: Hickory Tavern
Shelter Cove, Hilton Head, SC

Dear Jennifer:

I understand that there is an issue with the awning that has been installed on the Hickory Tavern at Shelter Cove which we would like to rectify. We believe that this product color is in line with the intent of the DRB approval of dark to medium brown and it is not a hard black color.

After we received the DRB conditional approval we selected a dark brown Sunbrella color called Unity Char - which you have a sample of. The awning color blends well with the building and matches the brown wicker furniture, brown awning framing and paint trim for window frames. The awning installed was verified that it was the one submitted on the final drawings and we would like to keep this awning as installed.

We submit the following pictures below that show that the awning does read as a dark brown color and it is actually quite light in the sun. It is a softened color not a deep black which was not allowed as per the conditional approval. We appeal to the DRB to allow this awning to remain.

Should you need anything else I may be contacted at 803-802-8590.

Sincerely,
SPENCER ARCHITECT

Constance A. Spencer AIA, M.Arch
Principal



Front Awning



Side Awning

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hickory Tavern Shelter Cove – ALTERATION/ADDITION

DRB#: DRB-001493-2015

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

The DRB approved DRB-001493-2015 Alteration/Addition in August 2015 with conditions. The original submittal included a black awning and a condition of approval was that all items black in color including the awnings be changed to a dark to medium brown color. The revised drawings were submitted to staff with the call out “New Sunbrella Unity Char (Dark Brown) 85002-0000 Fire Resistant Awning.” A sample was not provided but the indication of dark brown would meet the DRB’s conditions.

Work is nearly complete and the restaurant is ready to open however staff identified the installed awning as black versus dark brown. The applicant request that the DRB allow them to keep the awning as installed since it is not black as originally proposed.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
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Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE



March 9, 2016

Re: **Shelter Cove Apartments**
DRB Final Review Narrative
NBA Project No. 113046.00

The attached Shelter Cove Apartment design, as currently submitted, represents only minor changes to the elevations that were in response to a couple of building layout changes. The overall character of the building remains the same as previous submittals. The Eastern most wing of the building included 2 unit type changes which allowed the wing of the building to shrink approximately 15 feet, the elevations updated accordingly. Other wings had minor unit type changes that in turn effected the building elevations. The Western most wing required one additional stair tower for egress.

More significantly to the board, the developer requests approval of the leasing office/parking deck, Shelter Cove Lane façade. A fourth tier was added to the parking deck to provide a satisfactory number of secured parking spaces for the units. In addition, this level will provide direct access to 4th floor units which previously required vertical circulation to access. Minor coordination of finish floor elevations and driveway access has also been represented in the façade changes.

We have upgraded the facing of the deck to include full-height brick to better blend with the building materials. In addition, recessed herringbone brick and shutters are used to provide additional decorative relief to the façade.

Atlanta
3060 Peachtree Rd. N.W.
Suite 600
Atlanta, GA 30305
404 365 7600

Alexandria
300 North Lee St.
Suite 502
Alexandria, VA 22314
703 836 0915

San Jose
325 South First St.
Suite 301
San Jose, CA 95113
408 278 1249



SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

March 14, 2016

Trey Griffin
Wood & Partners Inc.

Delivered via email

RE: SC Apartments East 1 DRB for addition/alteration

Dear Trey,

The Shelter Cove Company's ARB is in receipt of the proposed revisions to the East 1 multifamily site.

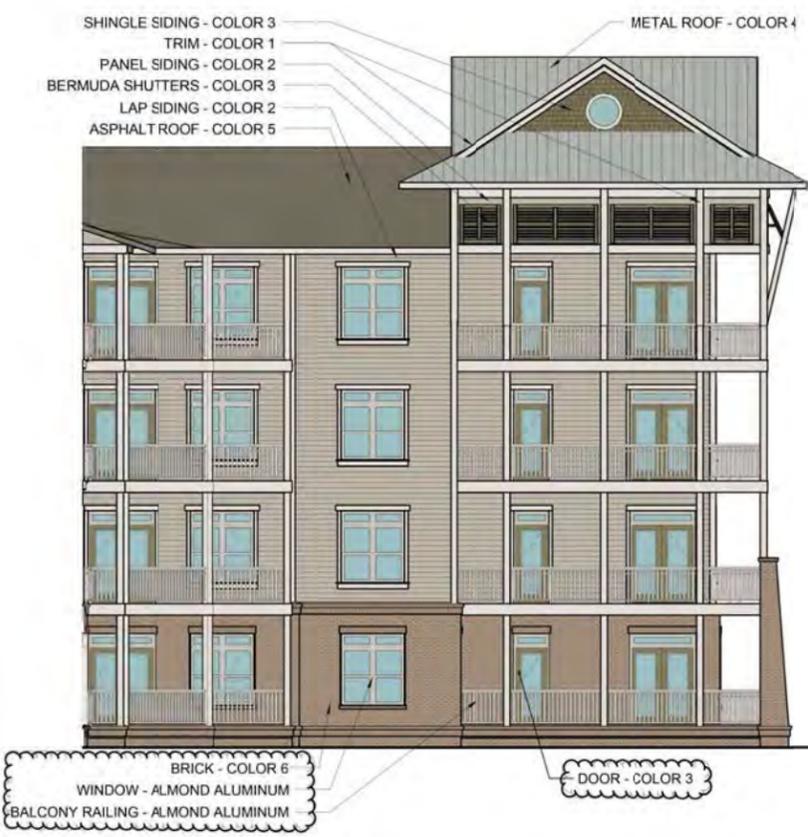
The ARB has reviewed and approved the plan package alterations as submitted on 3/9/16.

Please notify the SCC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

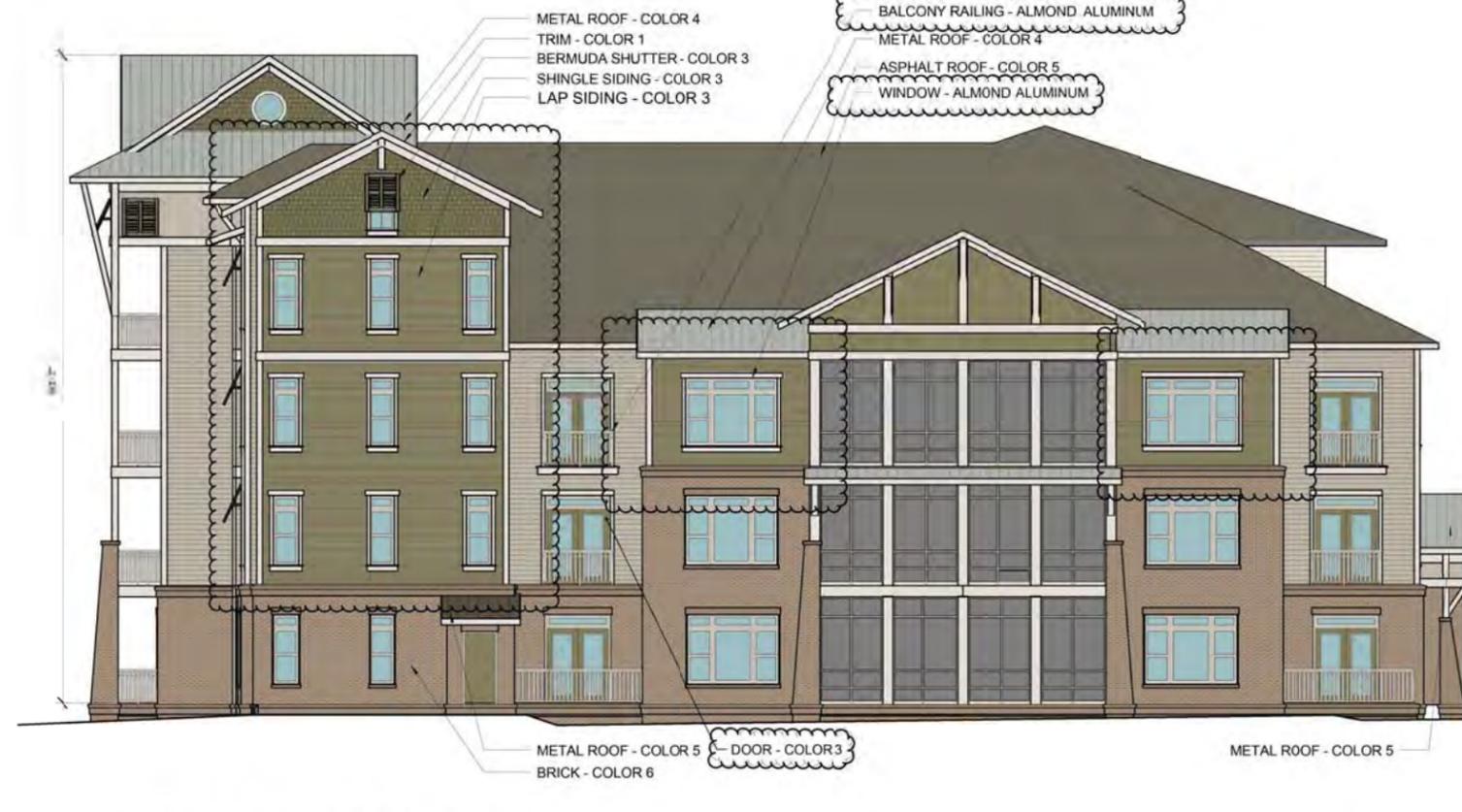
With Kindest Regards,

John P. Betts
Manager

Cc: Mr. Scott Foster, Chairman
SCCARB Committee



ELEV 1 EAST #1 - BLDG A - NORTH
1/8" = 1'-0" 3.A



ELEV 2 EAST #1 - BLDG A - SOUTH
1/8" = 1'-0" 3.A

COLOR LEGEND

	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK "MOSSTOWN" WITH WHITE MORTAR



ELEV 3 EAST #1 - BLDG A - WEST
1/8" = 1'-0" 3.A

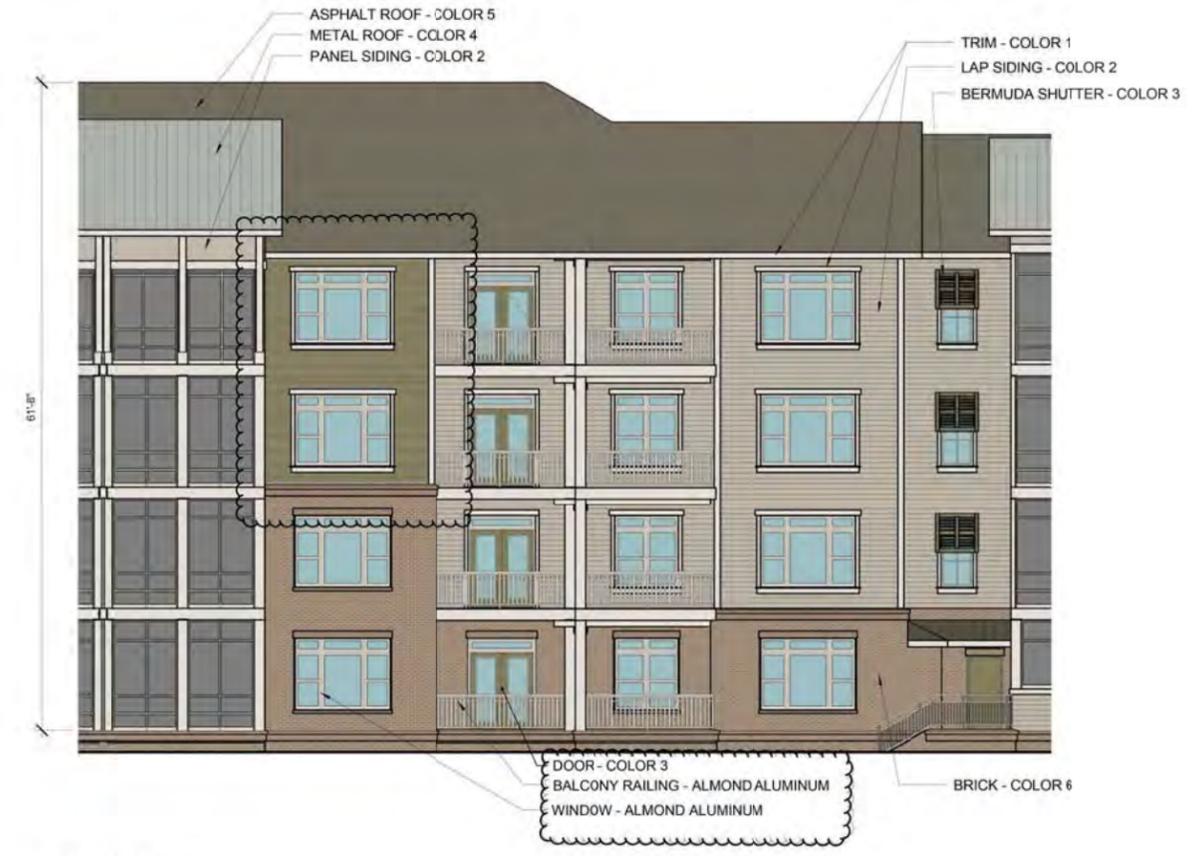


ELEV 4 EAST #1 - BLDG A - EAST
1/8" = 1'-0" 3.A

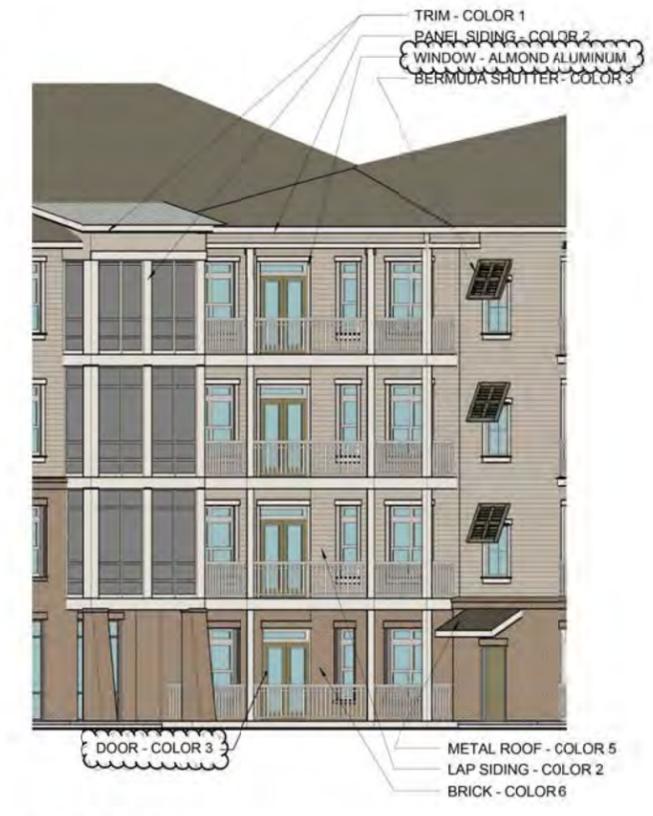
COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



ELEV 1
1/8" = 1'-0" 3.B
EAST #1 - BLDG B (AMENITY)
- NORTH



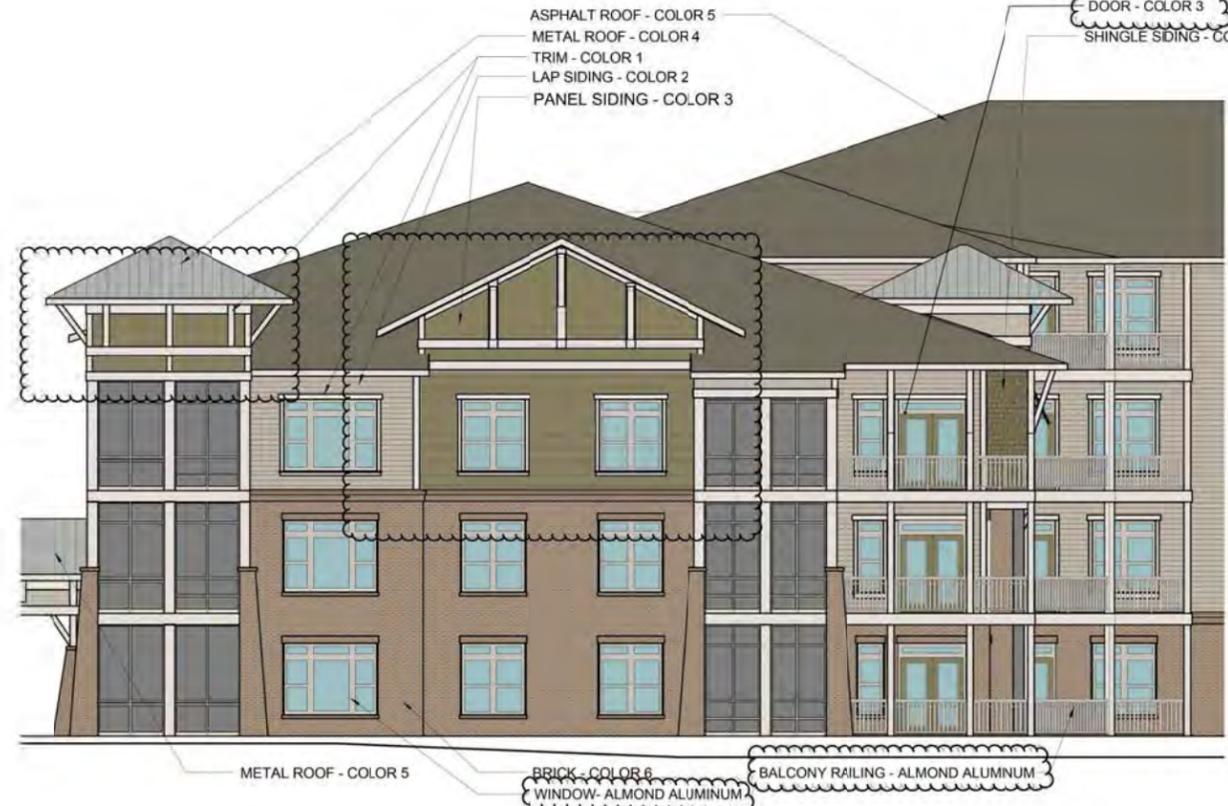
ELEV 2
1/8" = 1'-0" 3.B
EAST #1 - BLDG B - WEST



ELEV 3
1/8" = 1'-0" 3.B
EAST #1 - BLDG B -
NORTHEAST CORNER

COLOR LEGEND

	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:225, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEV GRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRCK 'MOSSTOWN' WITH WHITE MORTAR



ELEV 1 EAST #1 - BLDG C - WEST
1/8" = 1'-0" 3.C

ELEV 2 EAST #1 - BLDG C - SOUTH
1/8" = 1'-0" 3.C

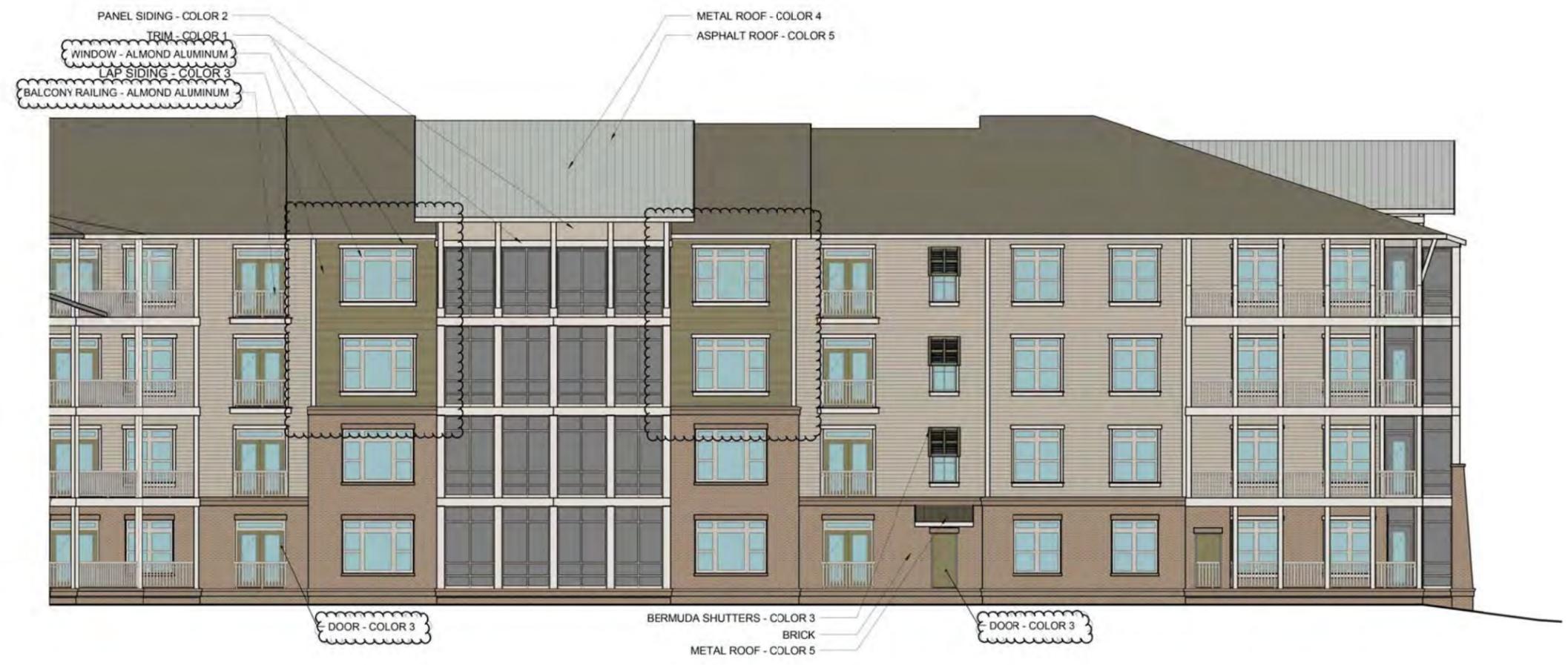


ELEV 3 EAST #1 - BLDG C - EAST 1
1/8" = 1'-0" 3.C

ELEV 4 EAST #1 - BLDG C - SOUTHEAST CORNER
1/8" = 1'-0" 3.C

ELEV 5 EAST #1 - BLDG C - NORTHEAST CORNER
1/8" = 1'-0" 3.C

ELEV 6 EAST #1 - BLDG C - EAST 2
1/8" = 1'-0" 3.C



COLOR LEGEND

	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDANAME R: 132, G: 128, B: 96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR

ELEV 1 EAST #1 - BLDG D - SOUTH
1/8" = 1'-0" 3.D



ELEV 3 EAST #1 - BLDG D - NORTH
1/8" = 1'-0" 3.D



ELEV 2 EAST #1 - BLDG D - EAST
1/8" = 1'-0" 3.D

Approved Elevations 3.D

COLOR LEGEND

- COLOR 1 - TRIM**
SW 7028 - INCREDIBLE WHITE
R:225, G:223, B:216
- COLOR 2 - SIDING**
SW 7030 - ANEW GRAY
R:191, G:184, B:171
- COLOR 3 SIDING & DOOR**
SW 7729 - EDAMAME
R: 132, G: 128, B: 96
- COLOR 4 - METAL ROOF**
GALVALUME
- COLOR 5 - ASPHALT ROOF**
TIMBERLINE -
WEATHERED WOOD
- COLOR 6 - BRICK**
CHEROKEE BRCK
'MOSSTOWN' WITH
WHITE MORTAR



ELEV 1 EAST #1 - BLDG E - EAST
1/8" = 1'-0" 3.E1



ELEV 2 EAST #1 - BLDG E - NORTH
1/8" = 1'-0" 3.E2

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDAMAME R: 132, G: 128, B: 96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK "MOSSTOWN" WITH WHITE MORTAR



ELEV 1 EAST #1 - BLDG E - WEST
1/8" = 1'-0" 3.E2



ELEV 1 EAST #1 - BLDGF - EAST
1/8" = 1'-0" 3.F



ELEV 2 EAST #1 - BLDGF - NORTH
1/8" = 1'-0" 3.F



ELEV 3 EAST #1 - BLDGF - WEST
1/8" = 1'-0" 3.F



ELEV 4 EAST #1 - BLDG F - NORTHWEST CORNER
1/8" = 1'-0" 3.F

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:226, G:213, B:216
	COLOR 2 - SIDING SW 7030 - ANEWGRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDAMAME R: 132, G: 128, B: 96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR

COLOR LEGEND	
	COLOR 1 - TRIM SW 7026 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK "MOSSTOWN" WITH WHITE MORTAR



ELEV 5 EAST #1 - BATH HOUSE - NORTH
 1/8" = 1'-0" 3.G

ELEV 4 EAST #1 - BATH HOUSE - EAST
 1/8" = 1'-0" 3.G

ELEV 3 EAST #1 - POOL HOUSE - NORTH
 1/8" = 1'-0" 3.G

ELEV 2 EAST #1 - POOL HOUSE - WEST
 1/8" = 1'-0" 3.G



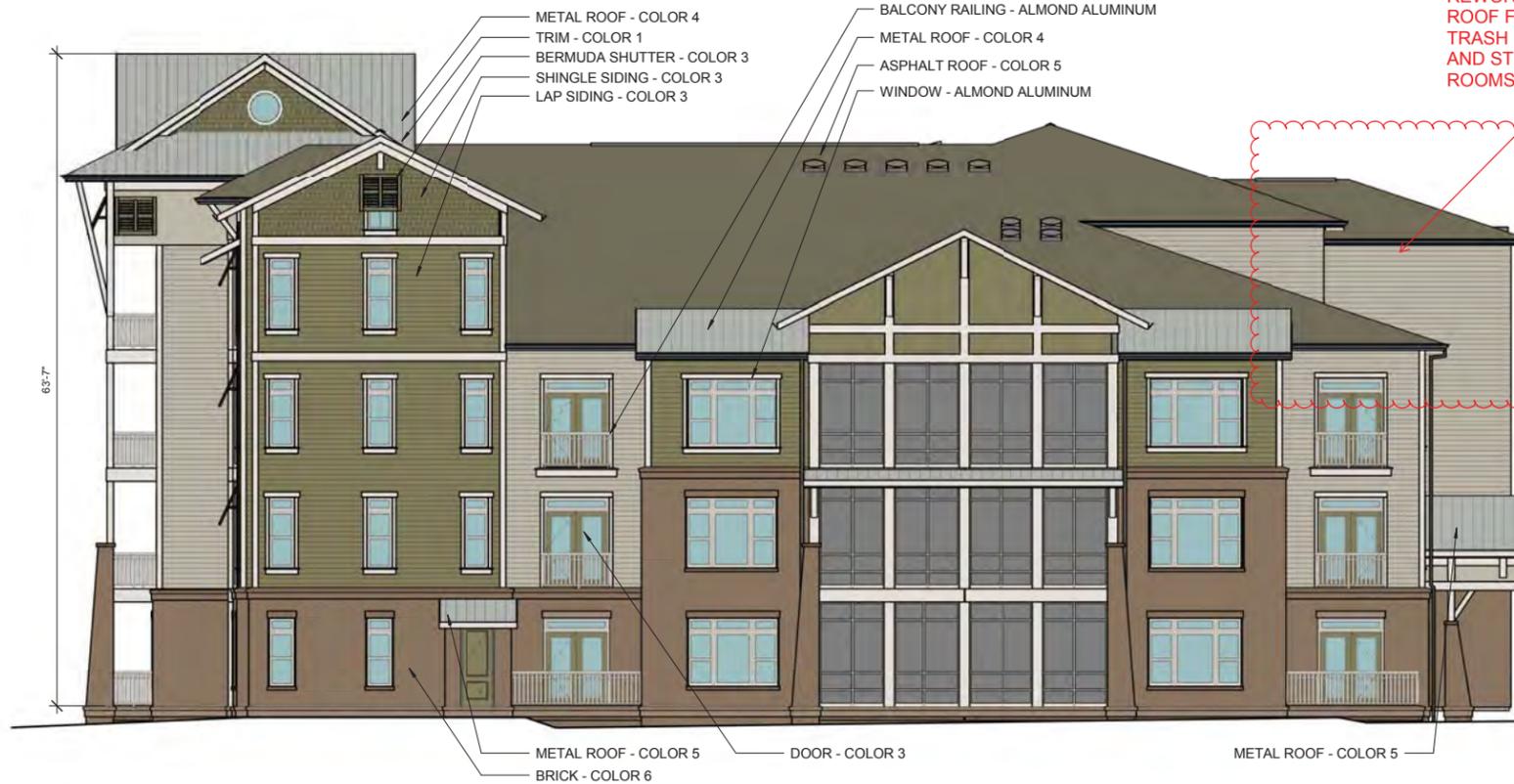
ELEV 1 LEASE OFFICE
 1/8" = 1'-0" 3.G



1/8" = 1'-0" 1 EAST #1 - BLDG A - NORTH

3.A

ADDED STAIR TOWER FOR EGRESS



1/8" = 1'-0" 2 EAST #1 - BLDG A - SOUTH

3.A

REWORKED ROOF FOR TRASH ROOM AND STORAGE ROOMS

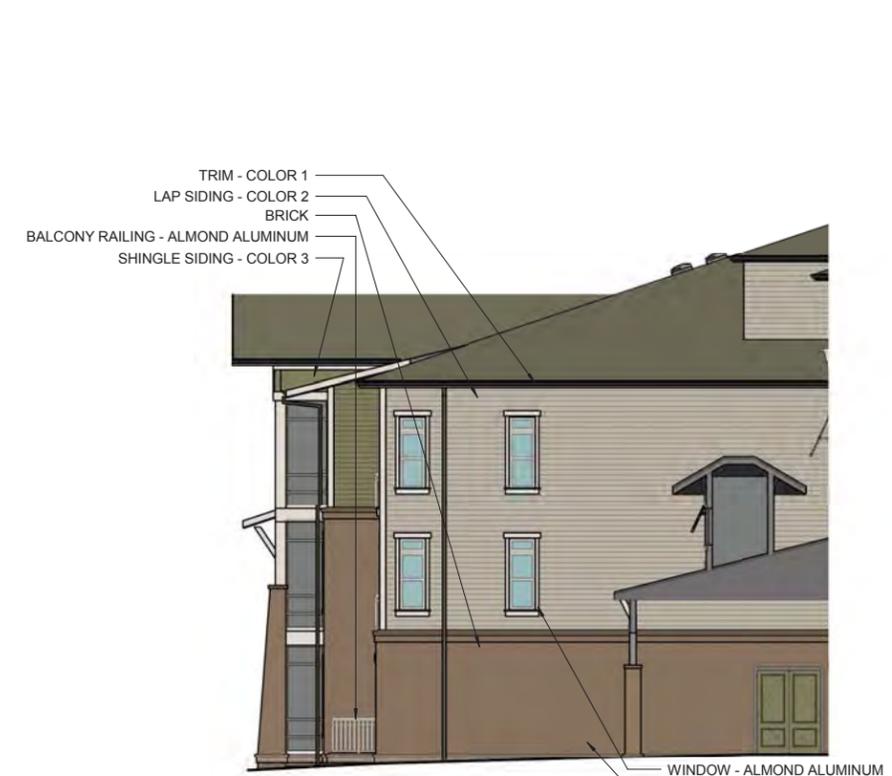
COLOR LEGEND

- COLOR 1 - TRIM**
SW 7028 - INCREDIBLE WHITE
R:228, G:223, B:216
- COLOR 2 - SIDING**
SW 7030 - ANEW GRAY
R:191, G:184, B:171
- COLOR 3 - SIDING & DOOR**
SW 7729 - EDAMAME
R:132, G:128, B:96
- COLOR 4 - METAL ROOF**
GALVALUME
- COLOR 5 - ASPHALT ROOF**
TIMBERLINE - WEATHERED WOOD
- COLOR 6 - BRICK**
CHEROKEE BRICK
"MOSSTOWN" WITH WHITE MORTAR



1/8" = 1'-0" 3 EAST #1 - BLDG A - WEST

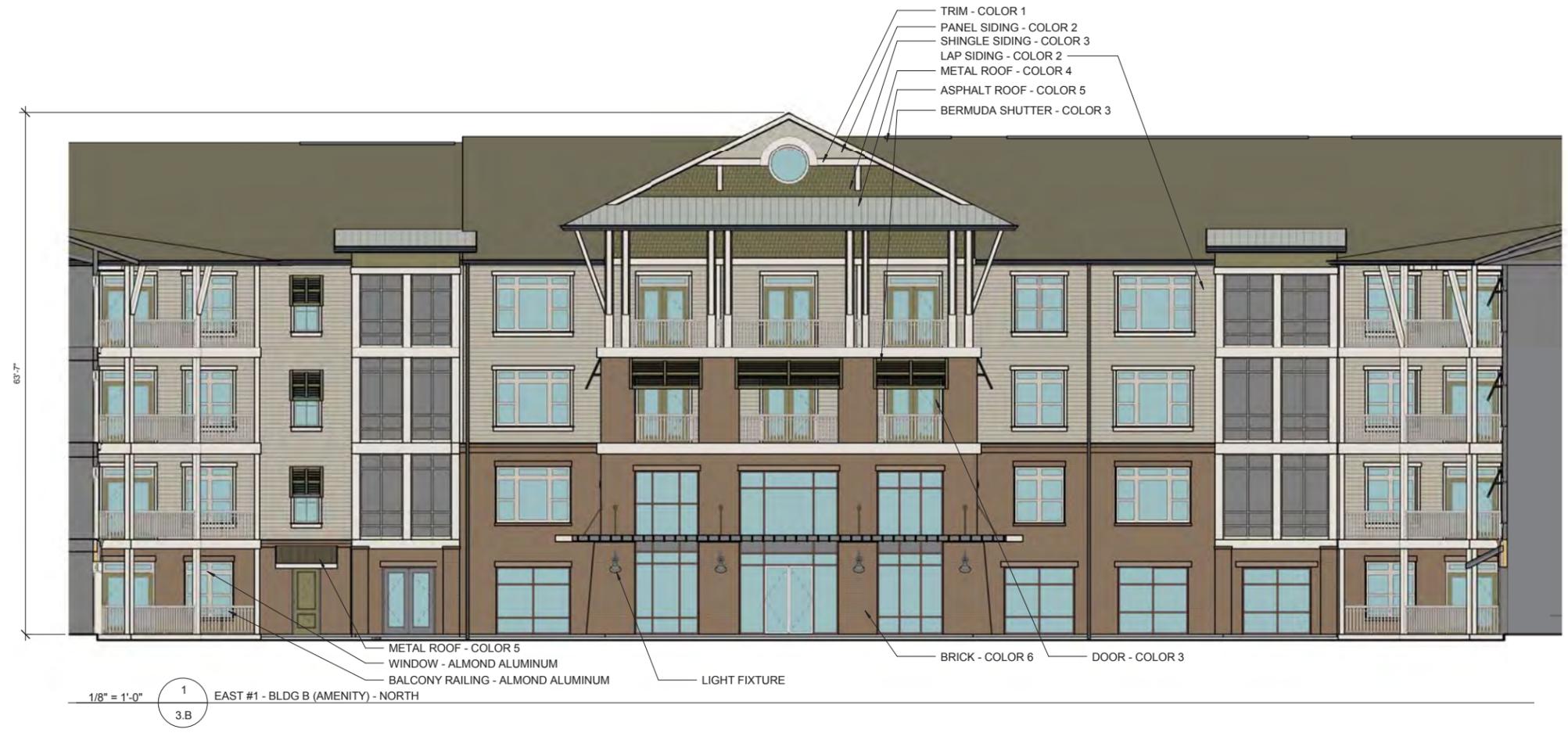
3.A



1/8" = 1'-0" 4 EAST #1 - BLDG A - EAST

3.A

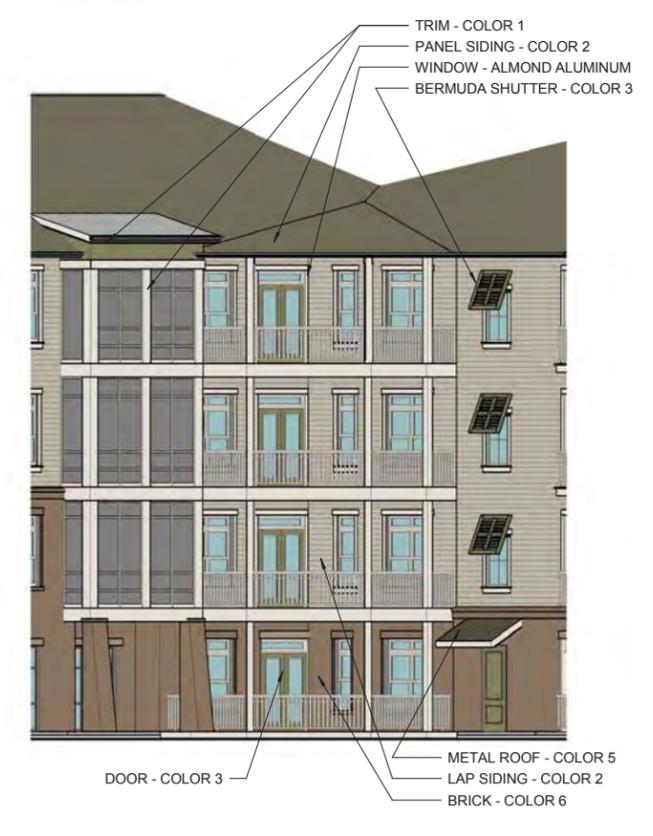
COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" 1 EAST #1 - BLDG B (AMENITY) - NORTH
3.B



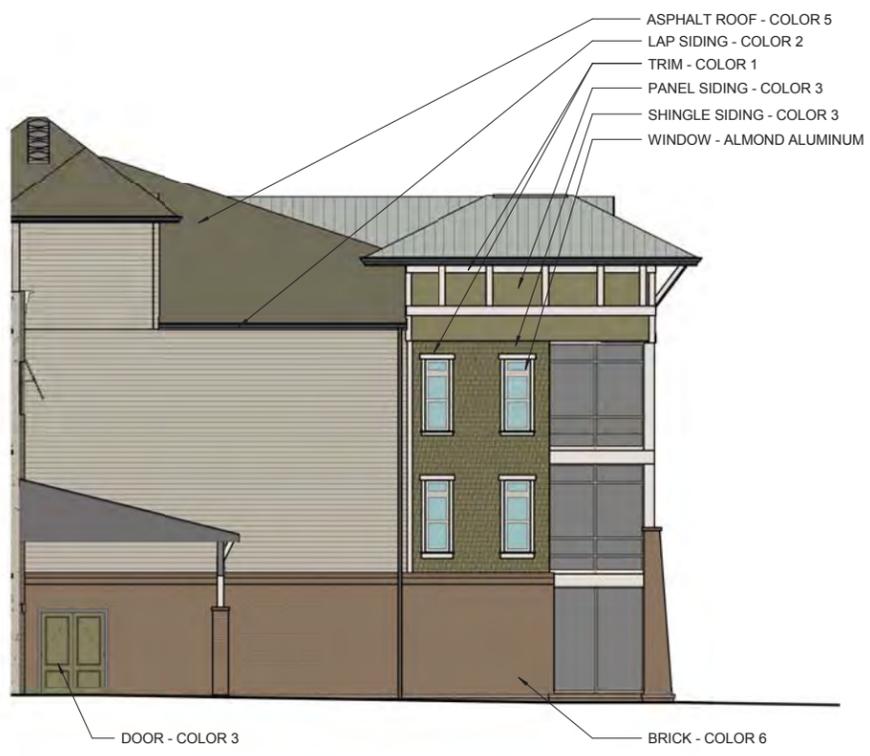
1/8" = 1'-0" 2 EAST #1 - BLDG B - WEST
3.B



1/8" = 1'-0" 3 EAST #1 - BLDG B - NORTHEAST CORNER
3.B

COLOR LEGEND

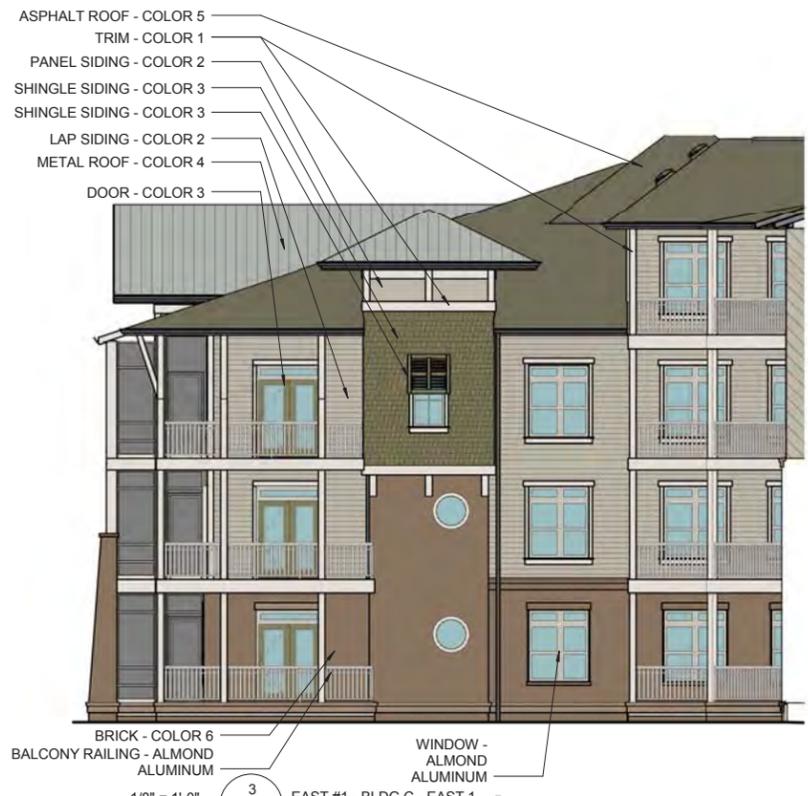
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" **1** EAST #1 - BLDG C - WEST
3.C



1/8" = 1'-0" **2** EAST #1 - BLDG C - SOUTH
3.C



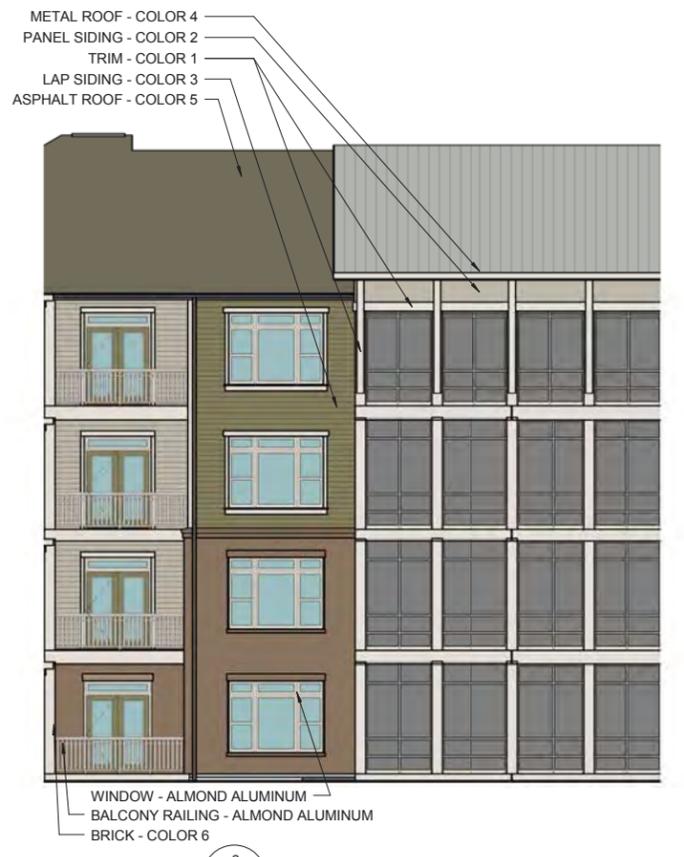
1/8" = 1'-0" **3** EAST #1 - BLDG C - EAST 1
3.C



1/8" = 1'-0" **4** EAST #1 - BLDG C - SOUTHEAST CORNER
3.C



1/8" = 1'-0" **5** EAST #1 - BLDG C - NORTHEAST CORNER
3.C



1/8" = 1'-0" **6** EAST #1 - BLDG C - EAST 2
3.C

- PANEL SIDING - COLOR 2
- TRIM - COLOR 1
- WINDOW - ALMOND ALUMINUM
- LAP SIDING - COLOR 3
- BALCONY RAILING - ALMOND ALUMINUM
- METAL ROOF - COLOR 4
- ASPHALT ROOF - COLOR 5

MODIFIED UNIT TYPE AT THIS LOCATION AND ADJUSTED ARCHITECTURE ACCORDINGLY

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



- BERMUDA SHUTTERS - COLOR 3
- BRICK
- METAL ROOF - COLOR 5

1/8" = 1'-0" 1 EAST #1 - BLDG D - SOUTH 3.D

- BALCONY RAILING - ALMOND ALUMINUM
- WINDOW - ALMOND ALUMINUM
- SHINGLE SIDING - COLOR 3
- BERMUDA SHUTTERS - COLOR 3

MODIFIED UNIT TYPE AT THIS LOCATION AND ADJUSTED ARCHITECTURE ACCORDINGLY



- BRICK - COLOR 6
- METAL ROOF - COLOR 5

1/8" = 1'-0" 3 EAST #1 - BLDG D - NORTH 3.D

TOWER VISIBLE IN BACKGROUND

- PANEL SIDING - COLOR 3
- TRIM - COLOR 1
- LAP SIDING - COLOR 3
- METAL ROOF - COLOR 4
- BALCONY RAILING - ALMOND ALUMINUM
- WINDOW - ALMOND ALUMINUM



- DOOR - COLOR 3
- BRICK - COLOR 6

1/8" = 1'-0" 2 EAST #1 - BLDG D - EAST 3.D

COLOR LEGEND

- COLOR 1 - TRIM**
SW 7028 - INCREDIBLE WHITE
R:228, G:223, B:216
- COLOR 2 - SIDING**
SW 7030 - ANEW GRAY
R:191, G:184, B:171
- COLOR 3 - SIDING & DOOR**
SW 7729 - EDAMAME
R:132, G:128, B:96
- COLOR 4 - METAL ROOF**
GALVALUME
- COLOR 5 - ASPHALT ROOF**
TIMBERLINE -
WEATHERED WOOD
- COLOR 6 - BRICK**
CHEROKEE BRICK
'MOSSTOWN' WITH
WHITE MORTAR



1/8" = 1'-0" 1 EAST #1 - BLDG E - EAST
3.E1



NO TOWER
THIS LOCATION
DUE TO UNIT
CHANGE

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR

1/8" = 1'-0" 2 EAST #1 - BLDG E - NORTH
3.E2



NO TOWER
THIS LOCATION
DUE TO UNIT
CHANGE

1/8" = 1'-0" 1 EAST #1 - BLDG E - WEST
3.E2



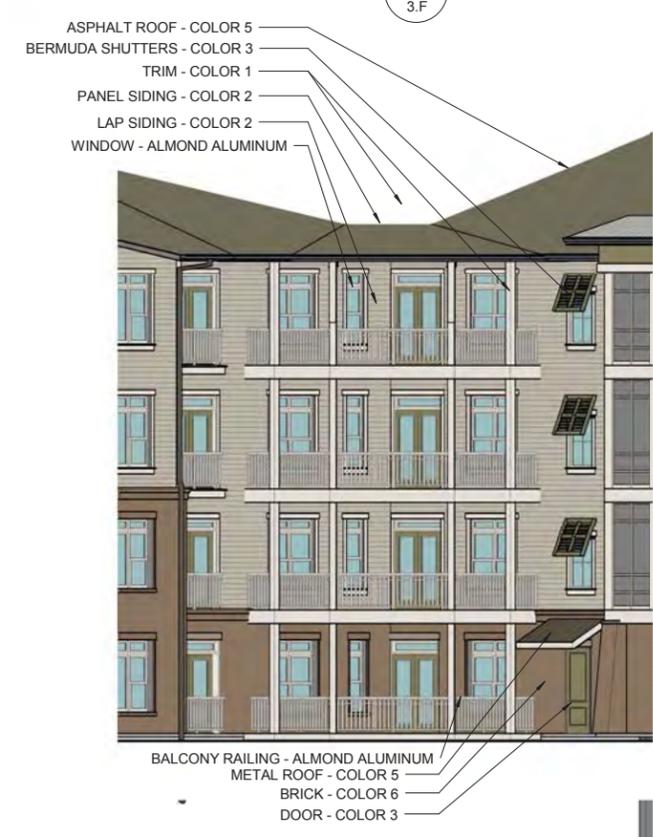
1/8" = 1'-0" 1 EAST #1 - BLDG F - EAST
3.F



1/8" = 1'-0" 2 EAST #1 - BLDG F - NORTH
3.F



1/8" = 1'-0" 3 EAST #1 - BLDG F - WEST
3.F



1/8" = 1'-0" 4 EAST #1 - BLDG F - NORTHWEST CORNER
3.F

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR

COLOR LEGEND

	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" 5 EAST #1 - BATH HOUSE - NORTH
3.G



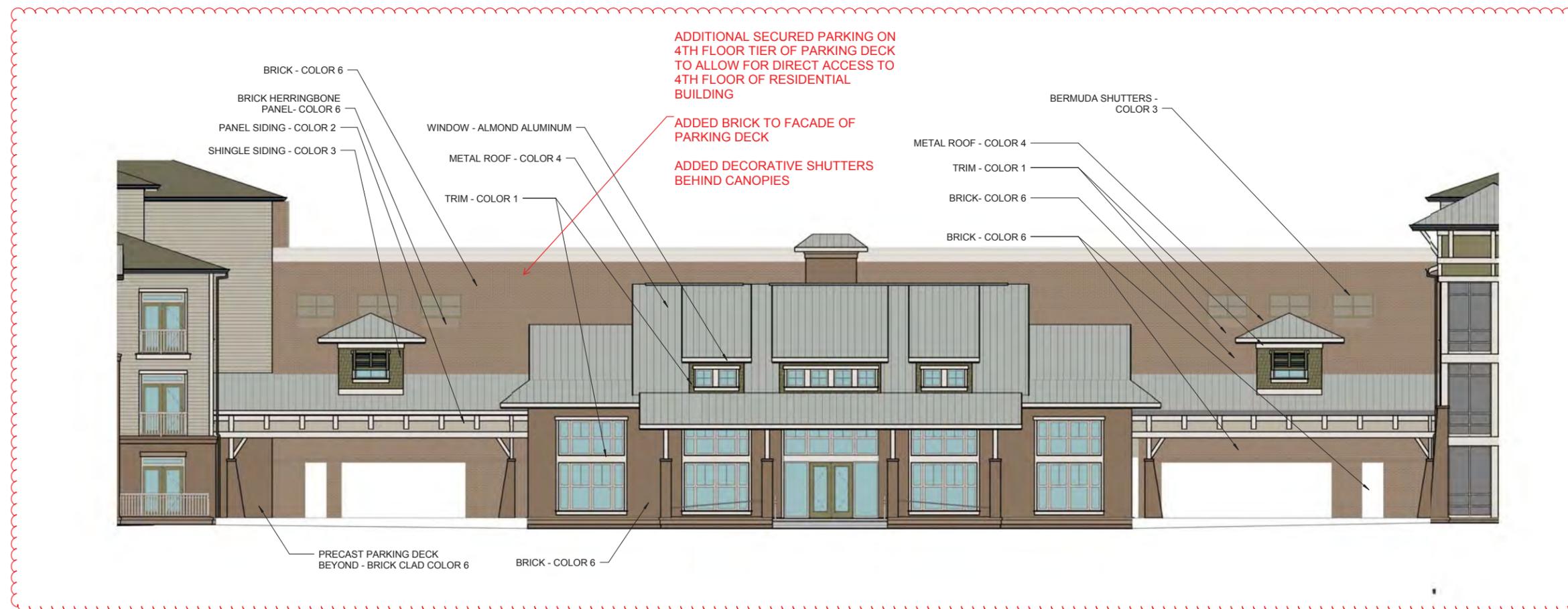
1/8" = 1'-0" 4 EAST #1 - BATH HOUSE - EAST
3.G



1/8" = 1'-0" 3 EAST #1 - POOL HOUSE - NORTH
3.G



1/8" = 1'-0" 2 EAST #1 - POOL HOUSE - WEST
3.G



1/8" = 1'-0" 1 LEASE OFFICE
3.G

LEASING OFFICE

DOOR CLEARANCES
EACH SIDE - 60" X 54"

RAMP ←

RAMP →

RAMP →

RAMP ←

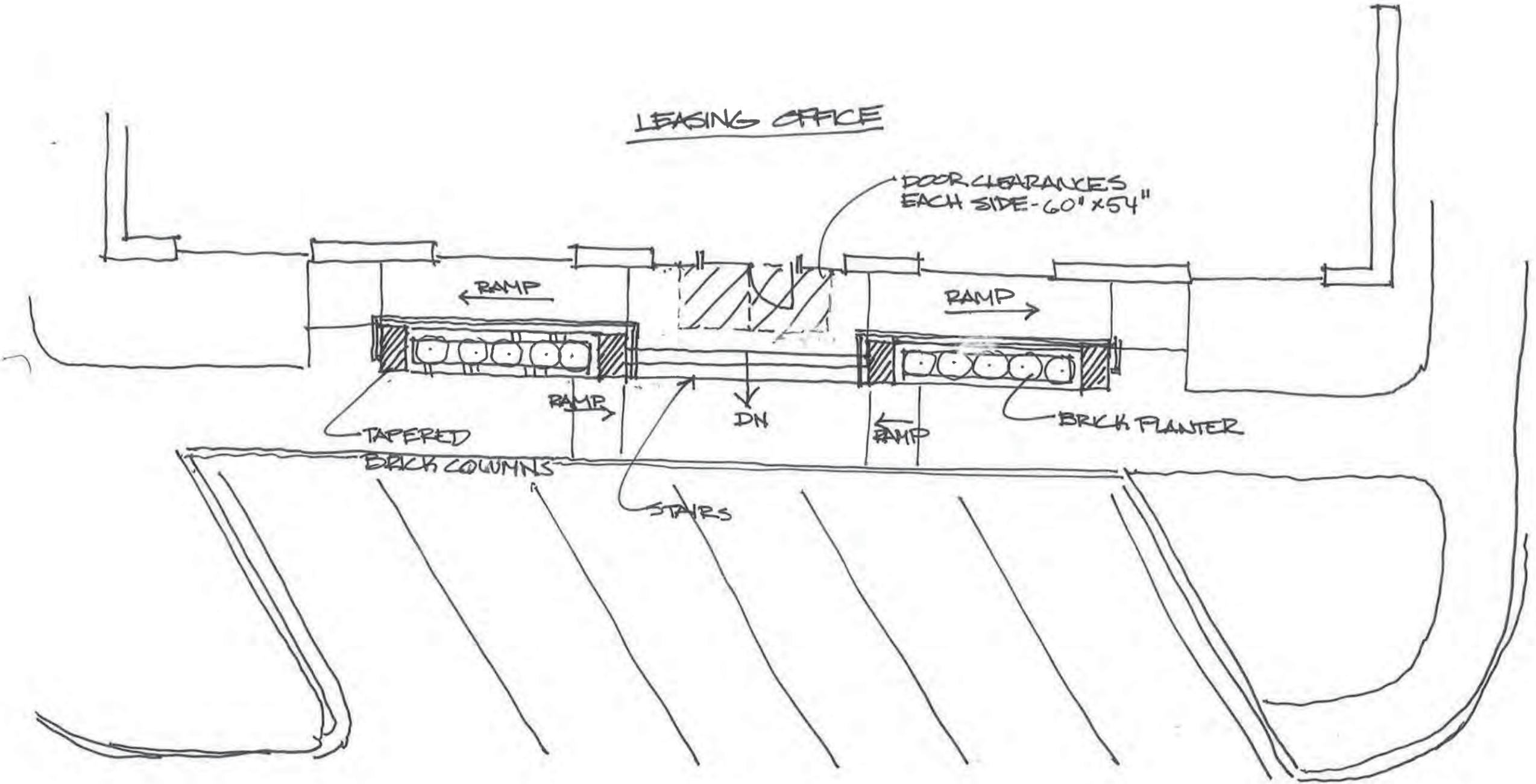
DN

BRICK PLANTER

TAPERED
BRICK COLUMNS

STAIRS

PLAN OPTION A



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Apts. East 1 – ALTERATION/ADDITION

DRB#: DRB-000437-2016

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Minor changes are proposed to the approved building elevations due to unit type changes. A fourth tier was added to the parking deck requiring modifications to the Shelter Cove Lane façade. Additionally the base flood elevation had to be increased by 1' requiring steps and ramps at the leasing office entry. Proposed changes are in keeping with previously approved plans and with the Design Guide.



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 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JOHN P BETH Company: SHELTER COVE COMPANY
 Mailing Address: PO Box 6004 City: HILTON HEAD State: SC Zip: 29934
 Telephone: 843-310-0431 Fax: _____ E-mail: JBETH@SHELTERCOVEHC.ORG
 Project Name: TREE REMOVAL 278 SIGNS (2) Project Address: NORTHWOOD DR/278 SCLAWE/278
 Parcel Number [PIN]: R _____ FUEL CENTER
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

2/24/16

DATE

PROJECT NARRATIVE

The Shelter Cove Company would like to modify the existing monument signs on Hwy 278 by removing the tiles and framing, taking the center section down 2 courses of block, and applying stucco to the now exposed block to match the existing and paint. The new planters will be planted with seasonal color.

The modifications would be to the primary entry sign at William Hilton Parkway and King Neptune Drive as well as the tiled sign at the Kroger fuel center entrance. Joe Nix will do this while he is on-site at HBS3 and the bike bridge projects.



SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

March 6, 2016

Shelter Cove Company
c/o Joe Nix
Nix Construction

Delivered via email

RE: SC 278 Main Signs Tile Removal/Planter Lowering

Dear Joe,

The Shelter Cove Company's ARB is in receipt of the rendering showing the removal of the roof tiles and frame for the 2 signs and the lowering by 2 courses of the CMU block on the main sign at Neptune Drive.

The ARB has reviewed and approved the plan package as submitted on 3/5/2016.

Please notify the SCC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,

John P. Betts
Manager

Cc: Mr. Scott Foster, Chairman
SCCARB Committee



SHELTER COVE HARBOUR
Waterfront Shopping and Dining

A dark blue sign with gold lettering and a logo. The logo is a shield containing the letters 'SC'. The text on the sign reads 'SHELTER COVE HARBOUR' in large letters, and 'Waterfront Shopping and Dining' in smaller letters below it. The sign is mounted on a light-colored stone wall.

 SHELTER COVE HARBOUR
Waterfront Shopping and Dining





SHELTER COVE HARBOUR

Waterfront Restaurants
SHOPS, CHARTERS & CRUISES

shelter cove
towne centre



WAYBACK RUBBER

UNLEADED

DIESEL

1.46

1.89



SHELTER COVE HARBOUR

Waterfront Restaurants
SHOPS, CHARTERS & CRUISES



EXISTING



PROPOSED





SHELTER COVE HARBOUR: LARGE SIGN (EXISTING)
(SOUTH SIDE OF SIGN)

LOWER(ED)
EXISTING
CMU WALL
2 COURSES

PLANTINGS
FOR ILLUSTRATION
PURPOSES ONLY

SHELTER COVE HARBOUR: LARGE SIGN (PROPOSED)
(SOUTH SIDE OF SIGN)

REMOVE ROOF TILE
& STUCCO UNFINISHED
CMU WALL BEYOND
TO MATCH EXISTING
COLOR & TEXTURE

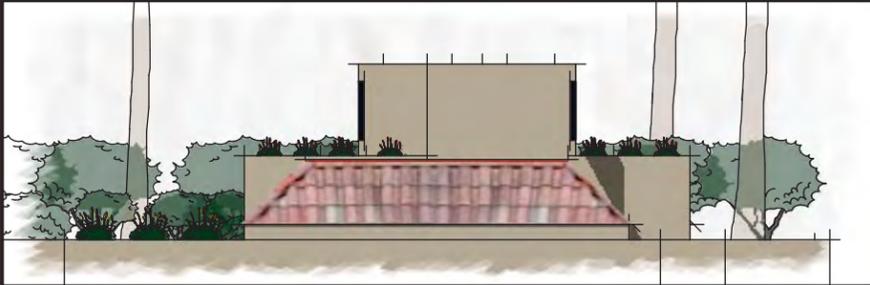
LOWER
EXISTING
CMU WALL
2 COURSES



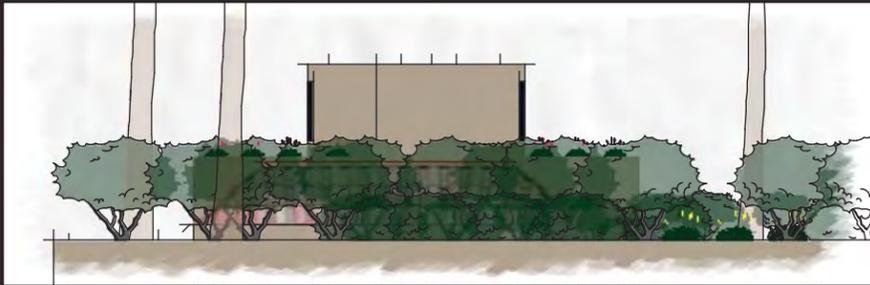
SHELTER COVE HARBOUR: LARGE SIGN (EXISTING)
(NORTH SIDE OF SIGN)



SHELTER COVE HARBOUR: LARGE SIGN (PROPOSED)
(NORTH SIDE OF SIGN)



FRONT ELEVATION



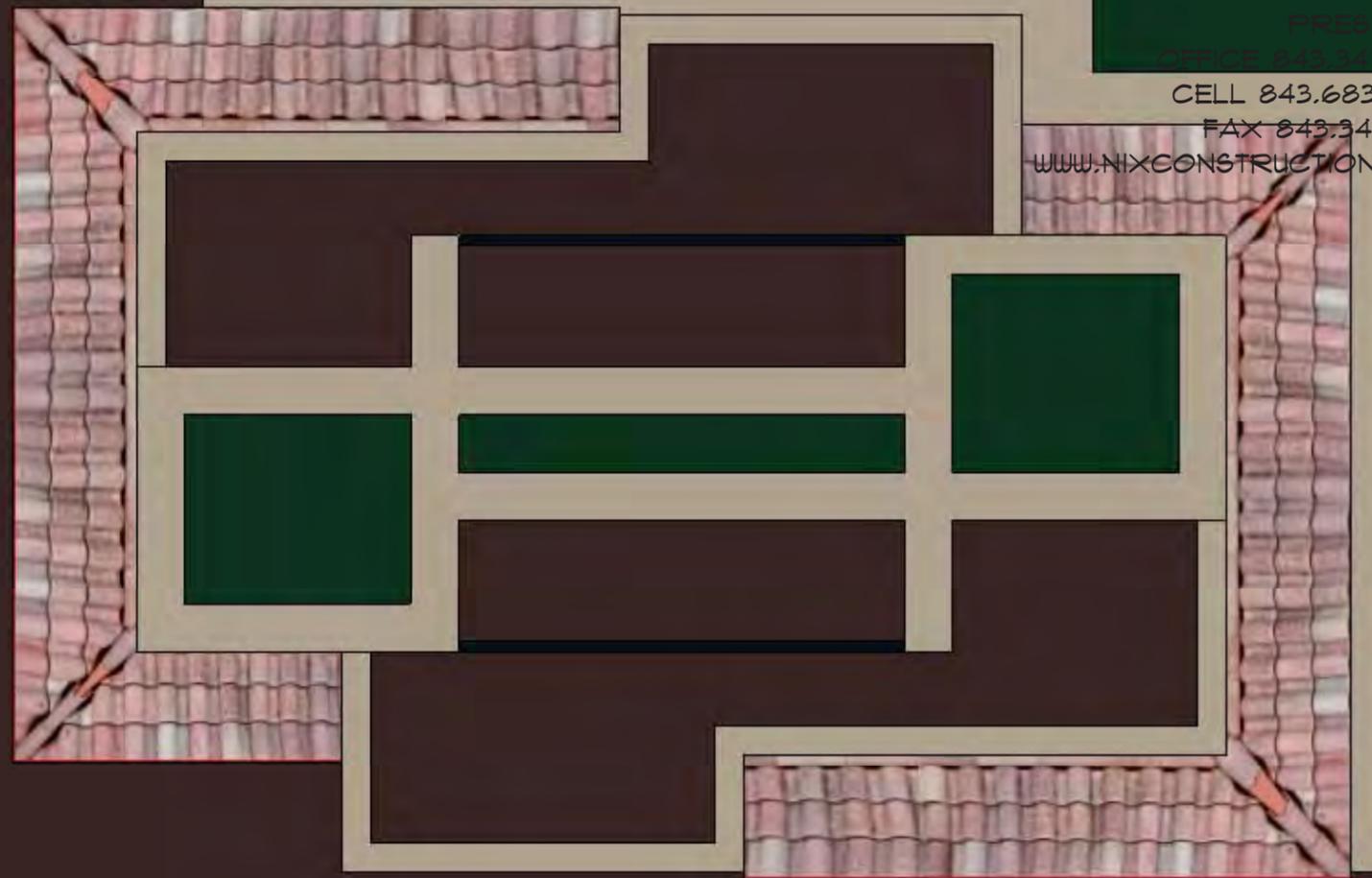
REAR ELEVATION



LEFT ELEVATION



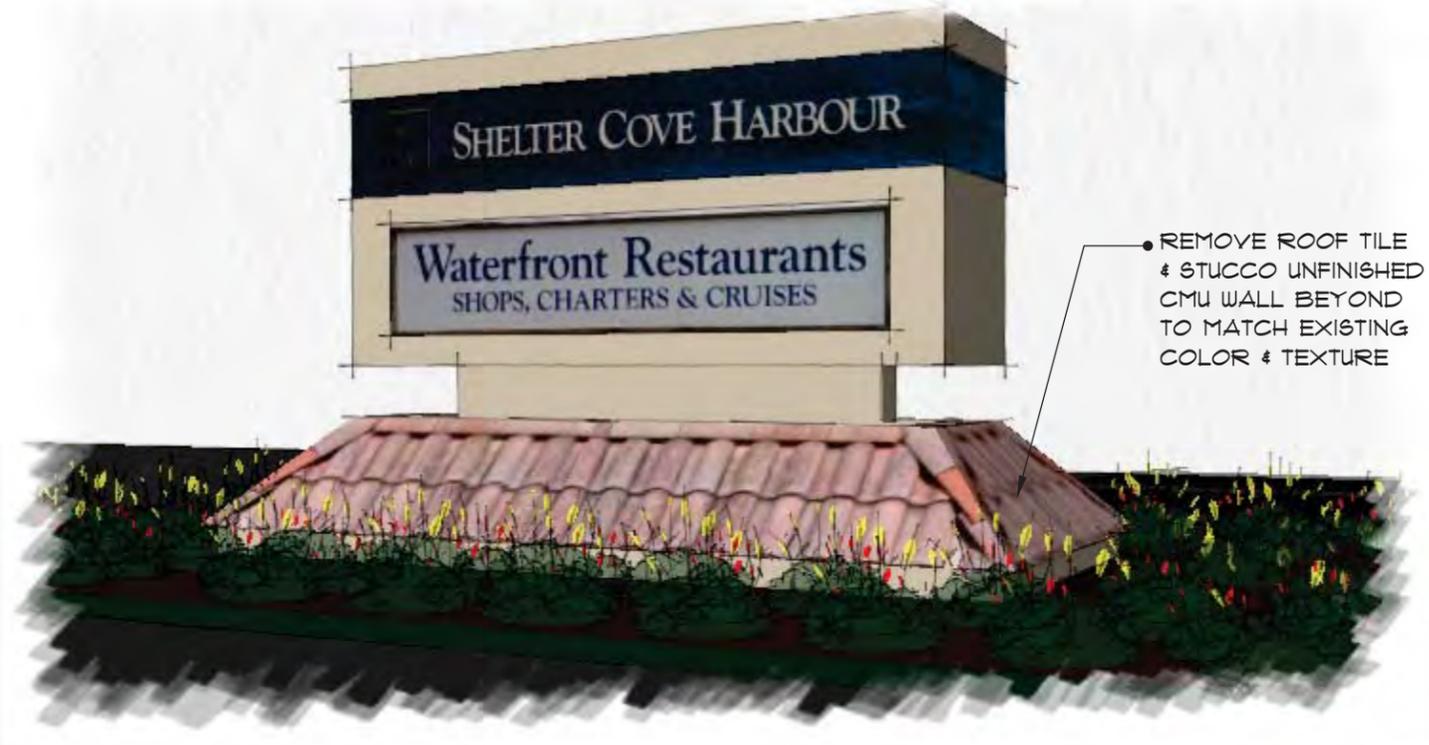
RIGHT ELEVATION



BIRD EYE

FRONT (US 278)

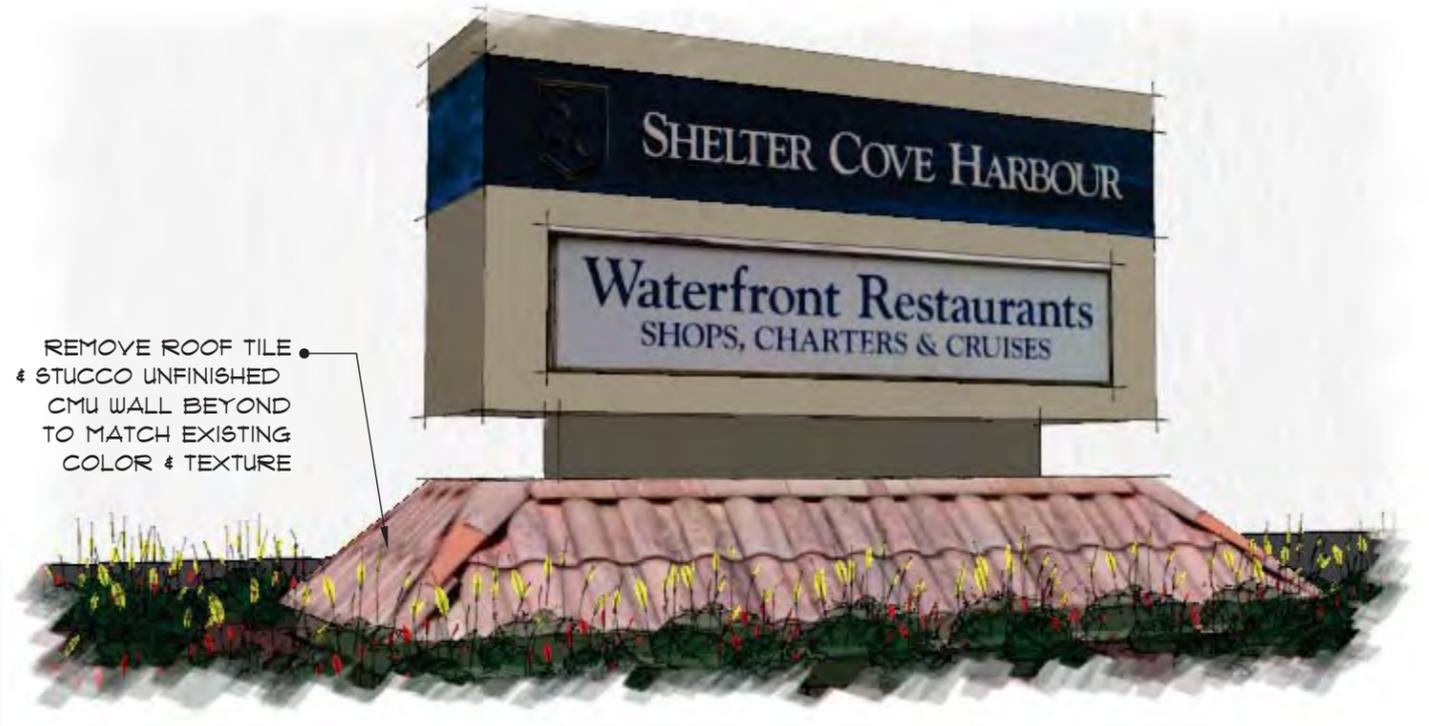
SHELTER COVE HARBOUR: LARGE SIGN (EXISTING)



SHELTER COVE HARBOUR: SMALL SIGN (EXISTING)
(SOUTH SIDE OF SIGN)



SHELTER COVE HARBOUR: SMALL SIGN (PROPOSED)
(SOUTH SIDE OF SIGN)



SHELTER COVE HARBOUR: SMALL SIGN (EXISTING)
(NORTH SIDE OF SIGN)



SHELTER COVE HARBOUR: SMALL SIGN (PROPOSED)
(NORTH SIDE OF SIGN)

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Tile Removal 278 Signs (2; Shelter Cove) – ALTERATION/
ADDITION

DRB#: DRB-000347-2016

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

Applicant proposes to remove existing Spanish tiles from two monument signs and expand stucco planters. Stucco will match existing. Planters will include seasonal color.



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 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 3/3/2016
 Accepted by: Sherry P.
 DRB #: 401-2016
 Meeting Date: _____

Applicant/Agent Name: NEIL GORDON ARCHITECT Company: NEIL GORDON ARCHITECT P.A.
 Mailing Address: P.O. BOX 5643 City: HILTON HEAD State: S.C Zip: 29938
 Telephone: 843-785-3222 Fax: 843-785-3222 E-mail: NEIL.GORDON@HARGREAY.COM
 Project Name: FIRST BAPTIST CHURCH YOUTH BUILDING REPAIR AND IMPROVEMENTS Project Address: 100 SOUTH FOREST BEACH D
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

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Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

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Concept Approval – Proposed Development

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- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
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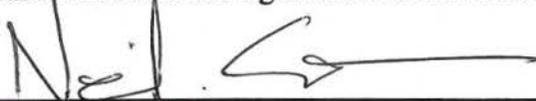
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To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

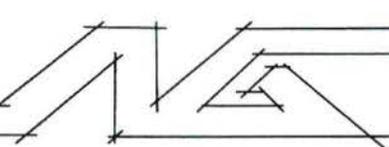
I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

3/2/16

DATE



NEIL GORDON, A.I.A.

NEIL GORDON, ARCHITECT, P.A.
22 NEW ORLEANS RD., SUITE 5 • HILTON HEAD ISLAND, SC 29928
P.O. BOX 5643 • HILTON HEAD ISLAND, SC 29938
PHONE 843.785.3222 • FAX 843.785.3228 • EMAIL neilgordon@hargray.com

Narrative:

Scope of Work:

Remove single ply roofing membrane. Replace with 3 on 12 asphalt shingle in lieu of flat and 6 on 12 roofs.

Replace entry double doors and existing sliding glass doors with windows and siding below windows.

Colors and finishes to match existing shingles to match adjacent building.

Ray Jennifer

From: Forest Beach Owners Association <fbassn@aol.com>
Sent: Monday, March 7, 2016 9:17 PM
To: mhayes@fbchhi.org
Cc: neilgordon@hargray.com; Ray Jennifer
Subject: First Baptist Church - Forest Beach ARB Approval 2016-03

Mary - Thank you for your submission for the proposed roof replacement and exterior repairs for the Youth Building located at your facility at 100 South Forest Beach Drive. The Association has reviewed your submission dated March 4, 2016 along with the photographs, material samples, colors and the accompanying drawing.

The Association has approved this submission as presented, subject to any applicable Town of Hilton Head Island approvals.

As with any project, we will required written notice upon completion so that we may perform a final inspection and close our records on this project. If any changes need to be made from the submitted and approved plans, you will need to submit them to us for review before adopting them in to your project.

If you have any questions or concerns regarding this project or our review and approval, please contact me.

I have copied Jennifer Ray at the Town for their records.

John D. Snodgrass

John D. Snodgrass
Executive Director,
Forest Beach Owners' Association, Inc.

Color Board:

First Baptist Church
Youth Building



New roof color
GAF Timberline Weatherwood



Existing
Stucco & Siding Color

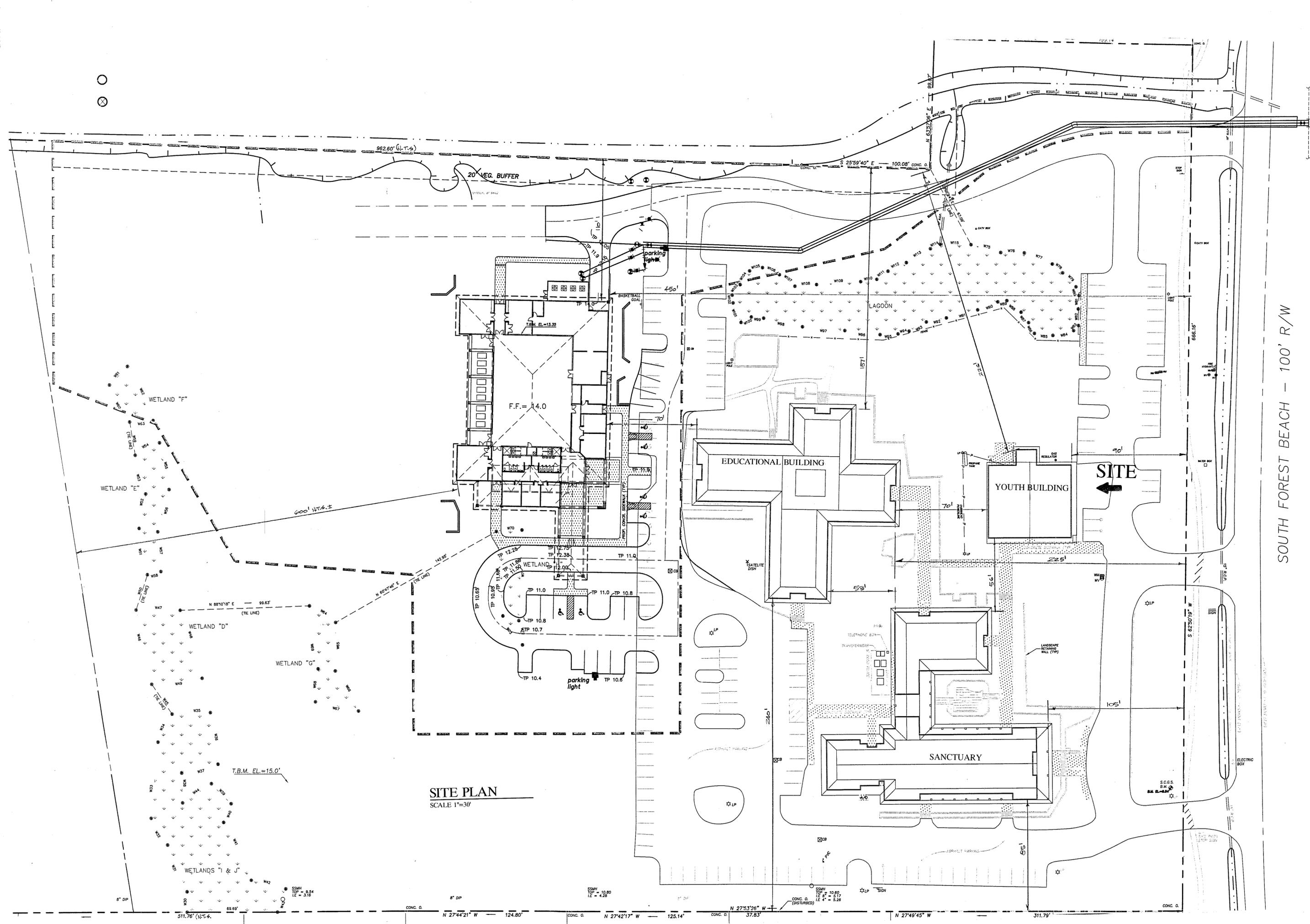
Dryvit Pearl Ash Double
Formula paint to match





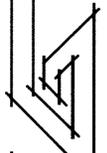






SITE PLAN
SCALE 1"=30'

SOUTH FOREST BEACH - 100' R/W



DEMOLITION NOTE

NO INTERIOR WALL (S) SHALL BE REMOVED UNTIL ALL LOAD BEARING WALLS HAVE BEEN IDENTIFIED. LOAD BEARING WALLS DESIGNATED TO BE REMOVED SHALL FIRST BE REPLACED WITH BEAMS OR HEADERS DESIGNED ACCORDING TO CODE TO CARRY THE TEMPORARY LOAD. TEMPORARY WALLS AND/OR BRACING SHALL BE SET ON SOLID FOOTING (S) CAPABLE OF SUPPORTING THE TEMPORARY LOADS.

THE CONTRACTOR SHALL INVESTIGATE ALL EXISTING FLOOR AND CEILING FRAMING TO DETERMINE IF IT IS IN COMPLIANCE WITH THE BUILDING CODE. CONTRACTOR SHALL REPORT ANY DEFECTS OR NON-COMPLIANCES TO THE OWNER OR ARCHITECT PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

REMODELING CONSTRUCTION NOTE

THE CONTRACTOR SHALL VISIT THE SITE, CAREFULLY EXAMINE THE PLANS, AND INCLUDE IN HIS CONTRACT AMOUNT THE COST OF ALL LABOR AND MATERIALS REQUIRED TO PRODUCE THE WORK DESCRIBED IN THESE PLANS. ALTHOUGH PARTICULAR DETAILS OR SPECIFICATIONS MAY NOT BE INCLUDED IN THE PLAN, IT IS THE PURPOSE OF THESE PLANS TO TELL THE CONTRACTOR THE EXTENT AND DESIGN OF THE ADDITIONS, CHANGES AND, IN GENERAL, THE LIMIT OF THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE EXISTING HOUSE AND INCLUDE IN HIS COST WHATEVER MUST BE DONE TO ACHIEVE THE OBJECTIVE OF THE PLANS. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO MAKE ANY ADJUSTMENTS TO THE PLANS IN ORDER TO CONFORM TO THE EXISTING CONSTRUCTION CONDITIONS.

IF NEIL GORDON ARCHITECT, P.A. IS NOT ENGAGED TO PERFORM CONTRACT ADMINISTRATION AND OBSERVATION DURING THE CONSTRUCTION PHASE OF THE WORK, THEN NEIL GORDON ARCHITECT, P.A. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR ALL PROBLEMS, WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT WHICH THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS, WHICH ARE ALLEGED.

MAINTENANCE NOTES

THE BUILDING OR BUILDINGS DESCRIBED BY THESE PLANS MUST BE MAINTAINED PROPERLY BY THE OWNER AT ALL TIMES. FAILURE TO DO SO RELEASES THE ARCHITECT FROM ANY LIABILITY OR RESPONSIBILITY FOR ANY DETERIORATION OR DAMAGE THAT MIGHT OCCUR. THE OWNER SHALL NOTIFY THE ARCHITECT OF ANY PROBLEMS, INCLUDING ANY DEFLECTIONS, LEAKS, CRACKS, DETERIORATION, WOOD ROT OR ANY OTHER ABNORMALITIES THAT MIGHT OCCUR AS SOON AS THE PROBLEMS ARE DISCOVERED. ANY PROBLEM MUST BE REPAIRED PROMPTLY IN ORDER TO MITIGATE FURTHER DAMAGE. IF THE ARCHITECT IS NOT NOTIFIED OF ANY PROBLEMS AS THEY OCCUR, THE ARCHITECT CANNOT BE HELD RESPONSIBLE OR LIABLE FOR ANY DAMAGES.

THE FOLLOWING IS A MINIMAL MAINTENANCE SCHEDULE:

- GENERAL. THE BUILDING SHOULD BE COMPLETELY INSPECTED ON A QUARTERLY SCHEDULE. ALL EXTERIOR AND INTERIOR SURFACES, ATTIC AREAS, CRAWL SPACE AREAS, AND ROOF SHALL BE INSPECTED AND ANY DAMAGE, DETERIORATION, DEFLECTION, CRACKS, OR LEAKS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY AND REPAIRED PROMPTLY IN ORDER TO PREVENT FURTHER DAMAGE.
- ALL EXTERIOR WOOD INCLUDING SIDING, TRIM, OR STRUCTURAL MEMBERS SHALL BE RESTAINED EVERY FIVE YEARS, OR SOONER IF NEEDED, WITH A TOP-QUALITY SOLID STAIN. ALL JOINTS AND CRACKS SHALL BE RESEALED WITH PROPER CAULK.
- ALL EXTERIOR STUCCO SHALL BE WASHED AND CLEANED EVERY FIVE YEARS AND ALL JOINTS RESEALED WITH DOW CORNING #790 SEALANT (OR EQUAL). THIS INCLUDES ALL JOINTS AROUND DOOR AND WINDOW OPENINGS, EXPANSION JOINTS, AND ANY OTHER JOINTS IN THE STUCCO.
- ALL LEAVES AND ORGANIC MATERIAL SHALL BE CLEANED FROM ROOF, DECKS, AND PATIOS MONTHLY.
- ALL HVAC UNITS SHALL BE SERVICED BY A QUALIFIED AND LICENSED HEATING AND AIR CONDITIONING COMPANY EVERY SIX MONTHS.
- ALL WATER HEATERS SHALL BE INSPECTED EVERY THREE MONTHS FOR ANY SIGNS OF LEAKS OR RUST AROUND THE UNIT. THE WATER HEATERS SHALL BE REPLACED OR REPAIRED IMMEDIATELY IF THERE IS ANY INDICATION OF A LEAK OR IF RUST IS BEGINNING TO SHOW. A BOND AGAINST ANY TERMITE DAMAGE FROM A LICENSED, QUALIFIED EXTERMINATING COMPANY MUST BE MAINTAINED AT ALL TIMES BY THE OWNER, INCLUDING AN ANNUAL TERMITE INSPECTION AND TREATMENT.

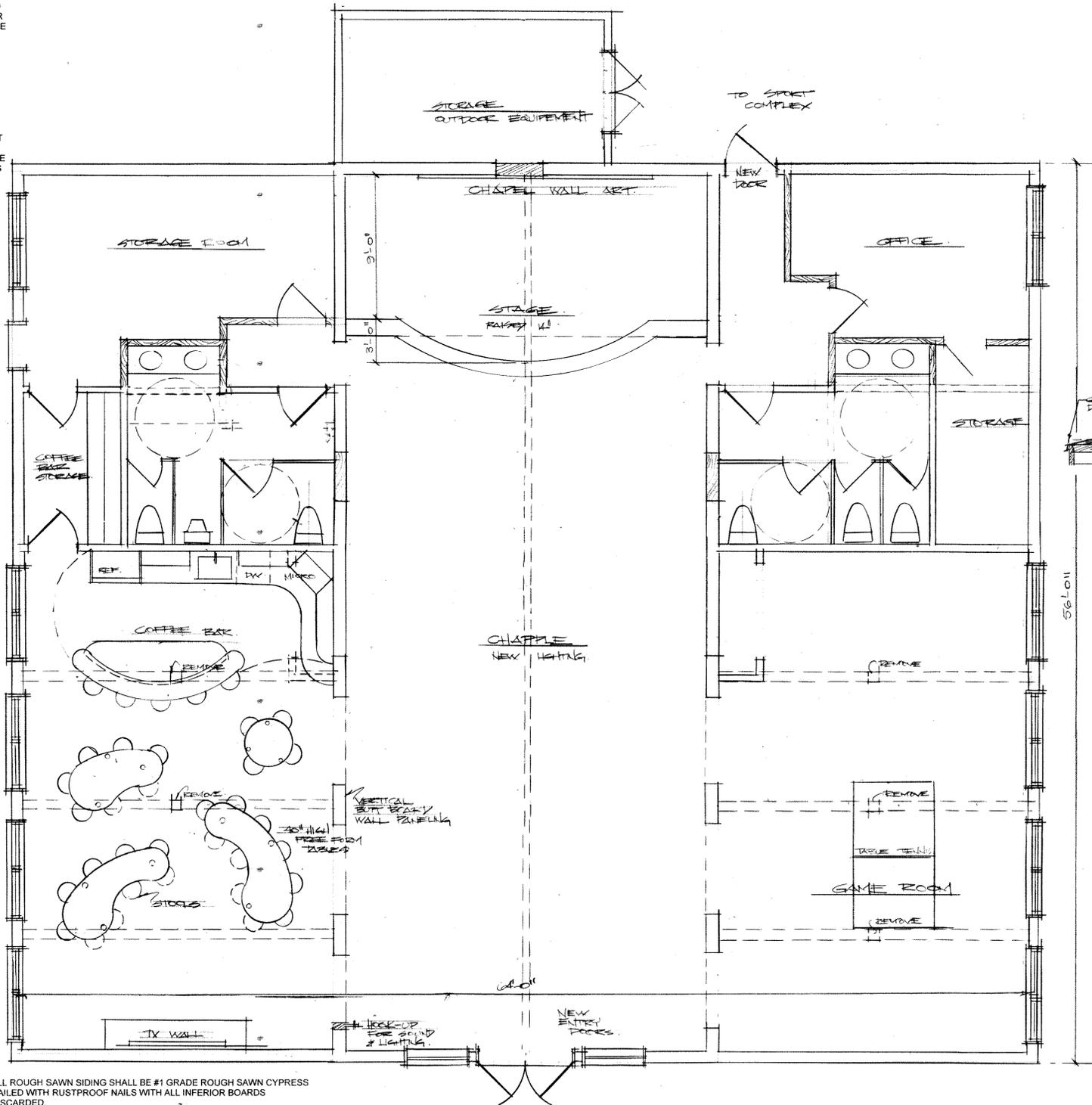
GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL CARRY ALL NECESSARY INSURANCE AS REQUIRED BY LAW AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY LOSS, LIABILITY CLAIM, OR DEMAND FOR DAMAGES ARISING OUT OF OR RELATING TO THE PERFORMANCE OF THE WORK AS DESCRIBED BY THESE DRAWINGS.
- A.I.A. FORM A-201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" IS HEREBY MADE A PART OF THESE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS, FREE FROM ANY DEFECTS OR MALFUNCTIONS FOR A PERIOD OF ONE YEAR, COMMENCING FROM THE SUBSTANTIAL COMPLETION DATE OR FROM THE TIME OF OCCUPANCY, WHICHEVER OCCURS FIRST. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK EXECUTED BY SUBCONTRACTORS OR OTHER TRADES, INCLUDING APPLIANCES, PLUMBING EQUIPMENT, CARPET AND VINYL IF SPECIFIED ON THE PLANS OR COVERED UNDER AN ALLOWANCE AMOUNT.
- THE CONTRACTOR SHALL GUARANTEE ALL ROOFING TO BE FREE FROM ANY LEAKS OR DETERIORATION FOR A PERIOD OF TWO YEARS.
- THE OWNER SHALL EFFECT AND MAINTAIN FIRE, EXTENDED COVERAGE AND VANDALISM INSURANCE FOR 100% OF THE INSURABLE VALUE OF ALL CONSTRUCTION ON THE SITE.
- THE CONTRACTOR SHALL ACQUIRE ALL PERMITS AND LICENSES AND PAY ALL FEES NECESSARY FOR THE EXECUTION OF THE WORK.
- PRIOR TO AND DURING THE EXECUTION OF THE WORK, THE CONTRACTOR SHALL CHECK ALL DRAWINGS, SPECIFICATIONS, AND JOB CONDITIONS, AND SHALL IMMEDIATELY REPORT ANY ERRORS, DISCREPANCIES, CONFLICTS AND OMISSIONS FOUND THEREIN TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ANY WORK DONE BY THE CONTRACTOR AFTER THESE CONDITIONS HAVE BEEN DISCOVERED AND BEFORE THE ARCHITECT HAS EITHER EXPLAINED OR MADE CORRECTIONS, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH.
- AT COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT, SURPLUS MATERIALS, TEMPORARY STRUCTURES, AND LEAVE THE ENTIRE SITE IN AS GOOD ORDER AND CONDITION AS WHEN HE BEGAN CONSTRUCTION, EXCEPT AS PROVIDED IN THE PLANS AND SPECIFICATIONS.
- AT COMPLETION OF THE WORK, THE CONTRACTOR SHALL COMPLETELY CLEAN ALL WINDOWS, CABINETS, COUNTERTOPS, PLUMBING FIXTURES, FLOORS, WALLS, AND ALL OTHER SURFACES.
- PROVIDE ATTIC ACCESS PER IRC SECTION 807.

GENERAL CARPENTRY NOTES

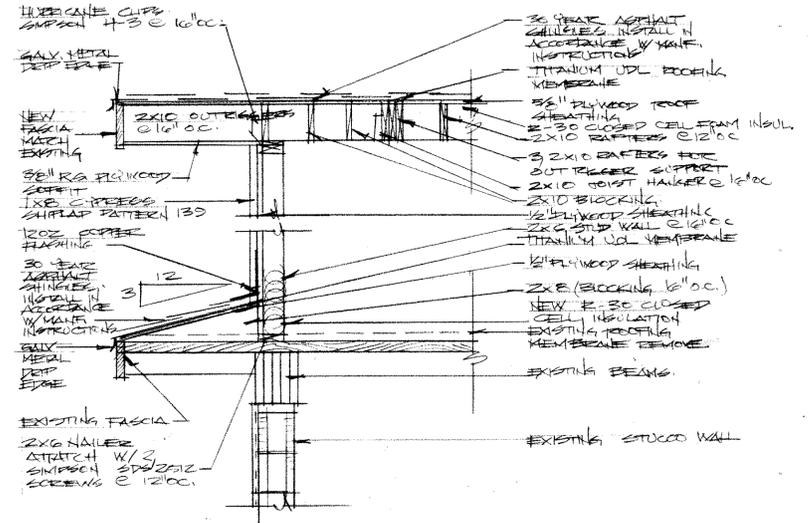
- ALL FRAMING SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE LAWS AND THE ORDINANCES IN EFFECT AT THE TIME THE BUILDING PERMIT IS ISSUED FOR THE LOCALITY OF THE RESIDENCE.
- ALL FRAMING LUMBER SHALL BE A MINIMUM #2 SOUTHERN YELLOW PINE.
- ALL FRAMING SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE LAWS AND THE ORDINANCES IN EFFECT AT THE TIME THE BUILDING PERMIT IS ISSUED FOR THE LOCALITY OF THE RESIDENCE.
- ALL FRAMING WOOD IN DIRECT CONTACT WITH THE GROUND, CONCRETE, MASONRY, OR WEATHER SHALL BE PRESSURE TREATED. ALL FOUNDATION SILLS, GIRDERS, AND FRAMING BEAMS SHALL BE PRESSURE TREATED. ABOVE-GRADE PRESSURE TREATED LUMBER SHALL CONFORM TO A.W.P.A. STANDARD C2. BELOW-GRADE PRESSURE TREATED LUMBER SHALL CONFORM TO A.W.P.A. STANDARD C3.

- ALL ROUGH SAWN SIDING SHALL BE #1 GRADE ROUGH SAWN CYPRESS NAILED WITH RUSTPROOF NAILS WITH ALL INTERIOR BOARDS DISCARDED.
- ALL MILLWORK, INTERIOR TRIM AND BASEBOARDS SHALL BE #1 POPLAR FREE FROM ANY IMPERFECTIONS AND BLEMISHES WITH ALL NAILS COUNTER SUNK AND FILLED.
- UNLESS OTHERWISE SHOWN, FLOOR JOIST AND ROOF RAFTERS SHALL HAVE HURRICANE CLIPS 16" O.C.
- ALL EXTERIOR SIDING, TRIM, FACIA BOARDS, DECKS AND FENCE FRAMING SHALL BE NAILED WITH RUSTPROOF NAILS.
- ALL WINDOW, DOOR, AND OPENINGS IN LOAD BEARING WALLS SHALL HAVE A HEADER BEAM EQUAL IN NOMINAL INCH HEIGHT TO THE SPAN IN FEET AND EQUAL TO THE WIDTH OF THE WALL.
- ALL LAMINATED BEAMS SHALL BE FABRICATED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARD SPECIFICATIONS FOR THE DESIGN AND FABRICATION OF STRUCTURAL GLUED SOUTHERN PINE AND THE US VOLUNTARY PRODUCT STANDARD PS 56-73.
- ALL WOODWORK/FRAMING SHALL RECEIVE A "BORATE" TREATMENT PRIOR TO DRYWALL INSTALLATION.

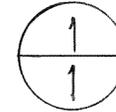
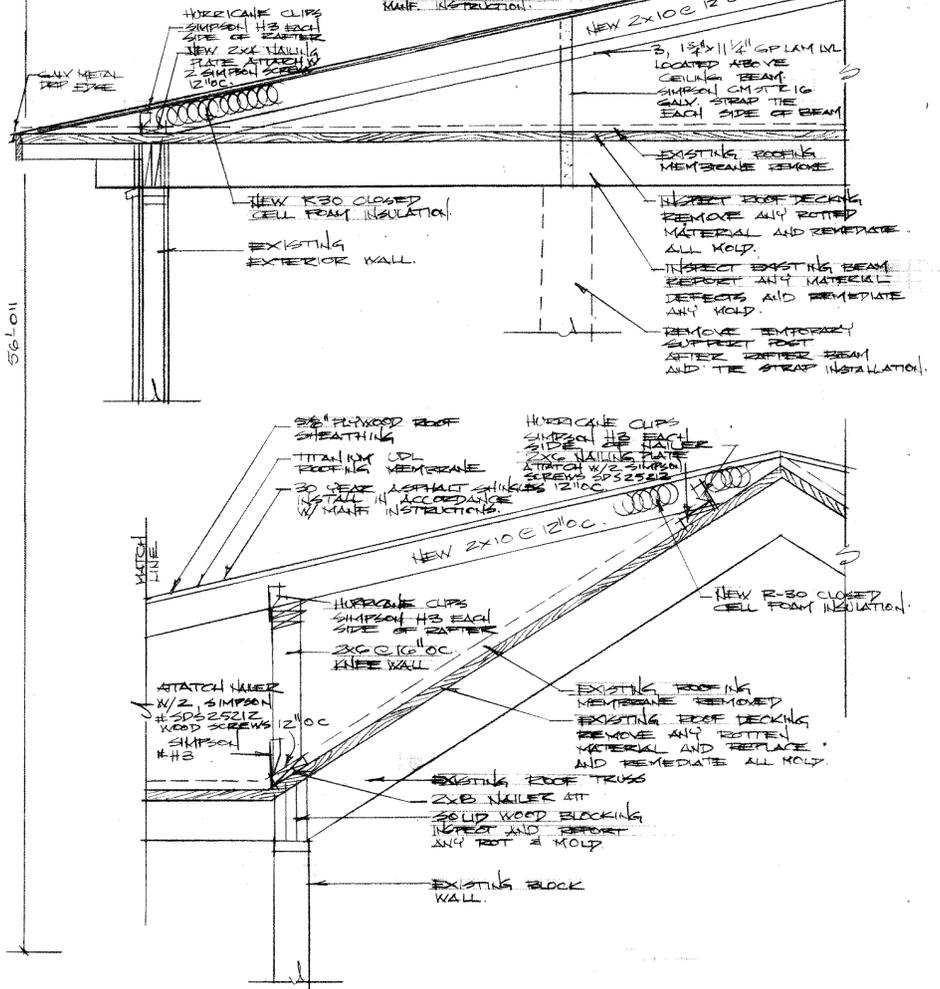


FLOOR PLAN

SCALE: 1/4" = 1' - 0"



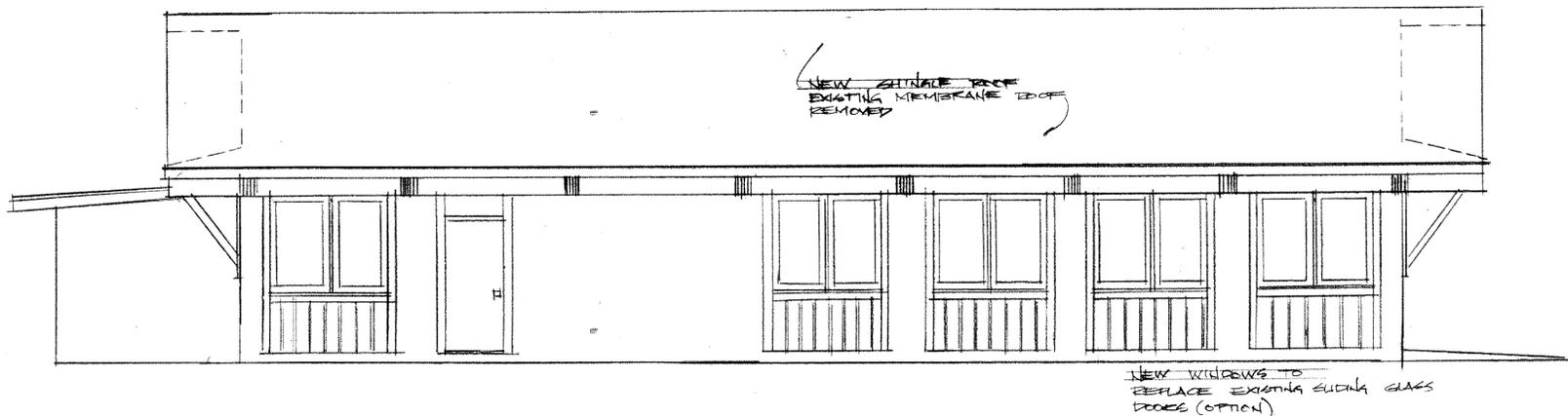
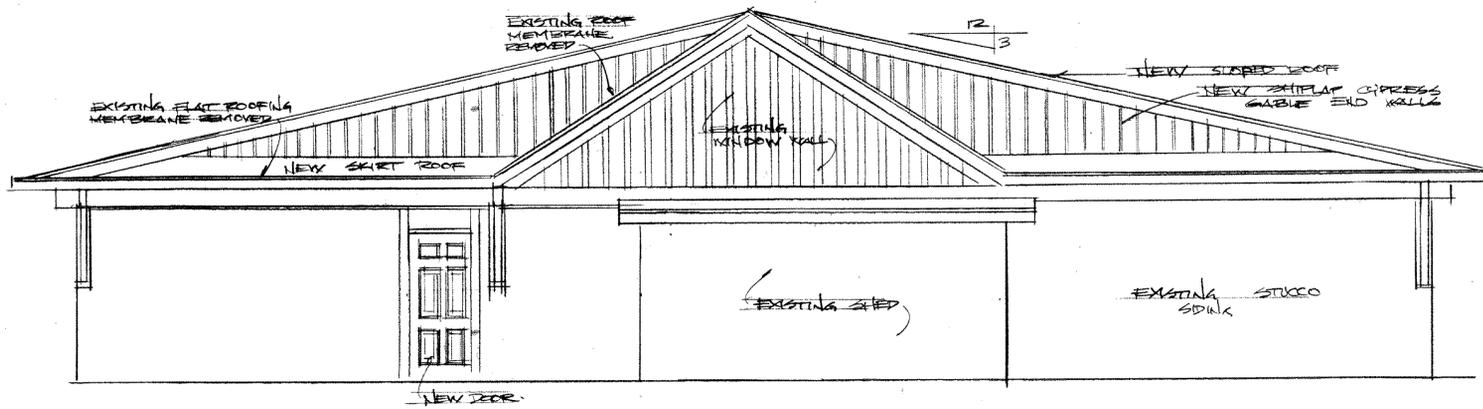
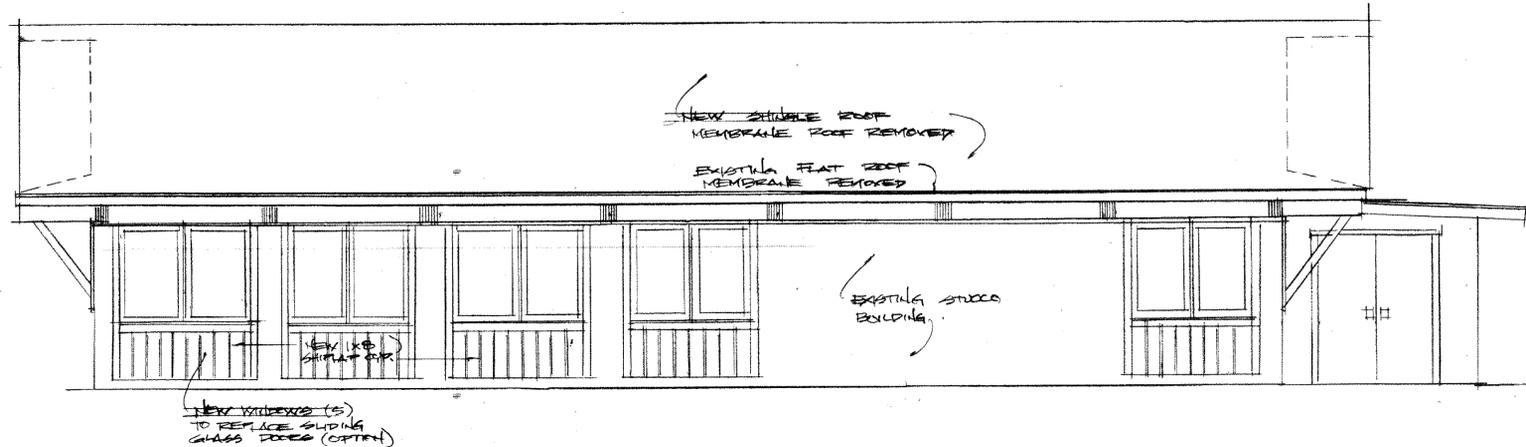
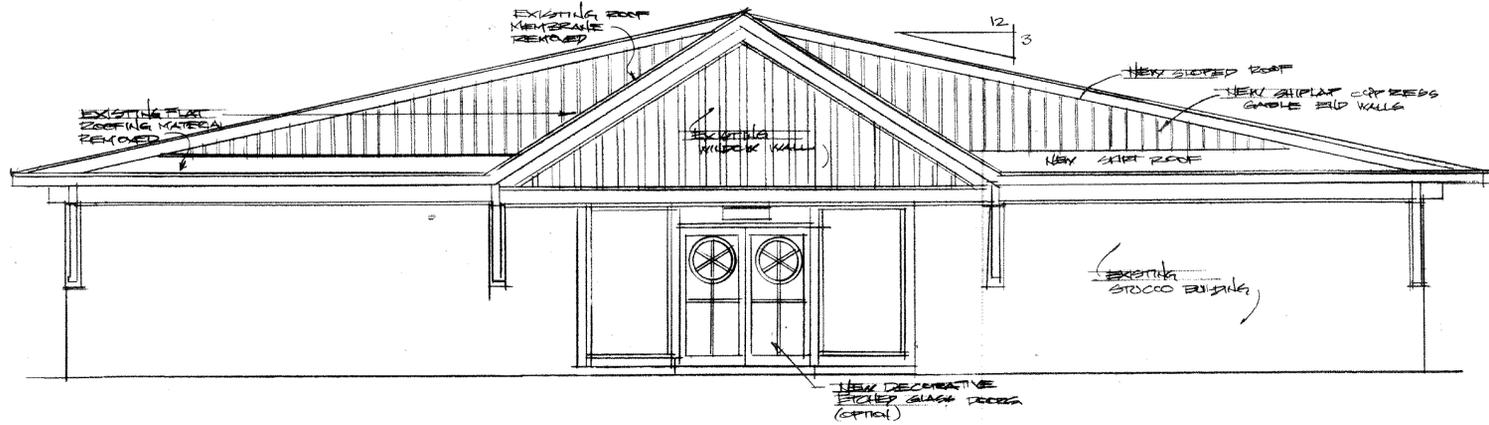
NOTE: ALTERNATE TO STICK FRAME CONSTRUCTION TRUSS FRAME TRUSS TO BE DESIGNED BY TRUSS FABRICATOR INCLUDING CONNECTIONS TO EXISTING STRUCTURE.



ROOF SECTION

SCALE: 1/2" = 1' - 0"

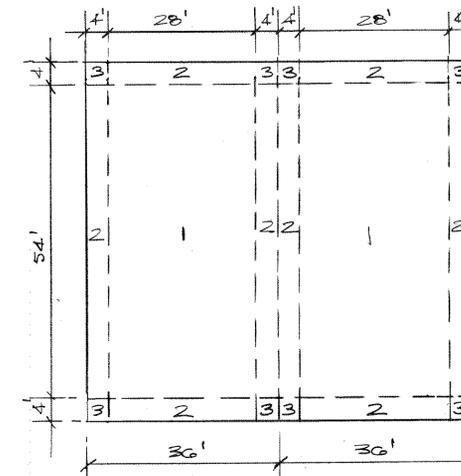
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CONSTRUCTION INFORMATION:

- BUILDING/ADDITION DESIGNED UNDER WHICH CODES:
INTERNATIONAL BUILDING CODE - 2012 EDITION
INTERNATIONAL CODE COUNCIL - 600 MANUAL 2013
INTERNATIONAL ENERGY CONSERVATION CODE - 2009
NATIONAL ELECTRIC CODE 2011
ASCE 7-10
- OCCUPANCY CLASSIFICATION:
GROUP A - 3 ASSEMBLY
- CONSTRUCTION TYPE:
TYPE "V" CONSTRUCTION
- SPRINKLERED OR NOT:
NOT SPRINKLERED
- HEATED SQUARE FOOTAGE:
3584 HEATED SF NO ADDITIONAL SQUARE FOOTAGE
- OCCUPANT LOADS:
MOVEABLE SEATING UNCONCENTRATED 15 S.F. PER PERSON = 209
- ALLOWABLE HEIGHTS:
60 FEET 1 STORY
- ALLOWABLE AREA:
UNLIMITED
- MAXIMUM TRAVEL DISTANCE:
150 FEET

ROOF ZONE DIAGRAM



ROOF SHEATHING
 3/8" APA RATED 24/16 MIN WOOD STRUCTURAL PANELS MANUFACTURED W/ EXTERIOR GRADE GLUE AND FASTENED W/ 8d COMMON NAILS IN THIS NAILING PATTERN, SUPPORTED EDGES AND DIAPHRAGM BOUNDARIES 4" O.C. FIELD AND INTERMEDIATE SUPPORTS 12" O.C.
 ALL EXTERIOR AND INTERIOR WALLS ARE TO BE HEAVED W/ 2x6'S @ 16" O.C.
 ALL EXTERIOR WALL SHEATHING TO BE 15/32" APA RATED 24/16 MIN WOOD STRUCTURAL PANELS W/ EXTERIOR GRADE GLUE AND FASTENED W/ 10d COMMON NAILS IN THIS NAILING PATTERN, SUPPORTED EDGES AND DIAPHRAGM BOUNDARIES 6" O.C. FIELD AND INTERMEDIATE SUPPORTS 12" O.C.

WIND LOADS (ASCE 7-10/2012 IBC)
 ULTIMATE DESIGN WIND SPEED $V_{ULT} = 145$ MPH
 NOMINAL DESIGN WIND SPEED $V_{ASD} = 112$ MPH

WIND EXPOSURE B
 ROOF LOAD LIVE LOAD 20 P.S.F.
 DEAD LOAD 15 P.S.F.
 TOTAL LOAD 35 P.S.F.

MEAN ROOF HEIGHT 12' ADJUSTMENT COEF 1.0

ZONE 1	12.2	-316	ZONE 1	$(28 \times 54) (34.6 - 15) = 29635$ P.S.F.
ZONE 2	12.2	-41.0	ZONE 2	$(54 \times 4 \times 2) + (28 \times 4 \times 2) (41 - 15) = 17056$ P.S.F.
ZONE 3	14.4	-79.1	ZONE 3	$(4 \times 4 \times 4) (79.1 - 15) = 4102$ P.S.F.
			50793 P.S.F.	

NOTE ROOF STRUCTURE
 DESIGNED AS FULLY ENCLOSED STRUCTURE ATTACHED TO EXISTING STRUCTURE.
 50793 P.S.F. = 302.3 # UPHR PER FASTENER
 56 X 3 USE SIMPSON #13 FASTENER AT RIDGE, EAVE AND KNEE BRACE. NOTE NAILERS ATTACHED TO EXISTING STRUCTURE W/ 2" SIMPSON #5DS 25 21Z SCREWS 12" O.C. (2 X 255# WITHDRAWL)

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: First Baptist Church Youth Building Repair & Improvements - DRB#: DRB-000401-2016
ALTERATION/ADDITION

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

The applicant proposes to replace the existing flat & 6/12 roof with a 3/12 roof with asphalt shingles in 'Weathered Wood'. Existing sliding glass doors are proposed to be replaced with windows and shiplap siding to match existing below the windows. The existing double entry door as well as a new single door are proposed to be etched glass similar to existing doors on other church buildings.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Roni Allbritton Company: Shelter Cove Towne Centre, LLC
 Mailing Address: 40 Shelter Cove Lane City: Hilton Head State: SC Zip: 29928
 Telephone: 843-686-3090 Fax: _____ E-mail: allbritton@sheltercovetownecentre.com
 Project Name: Shelter Cove Towne Centre Project Address: 28 Shelter Cove Lane Suite 111
 Parcel Number [PIN]: R 52001200600260000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.II and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

3-7-16

DATE

SHELTER COVE TOWNE CENTRE

DRB Submission Narrative for 28 Shelter Cove Lane Suite 111

The tenant leasing Suite 111 has requested to change the exterior color of the space in order to better project the image of an upscale women's boutique. Landlord is in agreement to the change.

The existing colors are as follows:

Exterior siding – Sprout SW 6427

Trim – Great Green SW 6430

Roof – Natural Grey shingles

Metal trim & down spout - Hardware SW 6172

The proposed colors are as follow:

Exterior siding – Grey Screen SW 7071

Trim – Pacer White SW 6098

Awning – Black canvas

Metal Trim & down spout – keep the same

The adjacent space is comprised of complimentary colors to the proposed new colors:

Stucco – Natural Warm Grey

Trim – Hazel SW 6471

PLEASE CHECK ALL NAMES & EMAILS AS WELL AS PHONE NUMBERS FOR ERRORS.



SDS WILL NOT BE HELD RESPONSIBLE FOR MISPRINTS UPON CUSTOMER APPROVAL.

CHECK THE FOLLOWING:
 FONT POSITIONING
 SIZE SPELLING
 COLOR NUMBERS

CUSTOMER NOTES:



39 Persimmon St. Ste. # 404
Bluffton, SC 29910
Ph: (843) 757-7057
Fax: (843) 757-8057

GRAPHICS ARE THE EXCLUSIVE PROPERTY OF SDS UNTIL PAID.
*COLORS OF PRINT ARE NOT EXACT *CHANGES ARE CHARGED SEPARATELY

SIGNATURE OF APPROVAL

DATE



FILE NAME: 89173 HDU LETTERS ORDER # **89173**

Ray Jennifer

From: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Sent: Thursday, March 10, 2016 9:20 AM
To: Ray Jennifer; Cyran Anne
Subject: FW: ARB approval

Jennifer - Below is SCC ARB approval for #111 ext colors.

Anne – Below is SCC ARB approval for #111 signage.

Thanks.

From: John Betts [mailto:JBetts@Sheltercovehc.org]
Sent: Thursday, March 10, 2016 8:09 AM
To: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Subject: Re: ARB approval

Facade colors and sign.

From: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Sent: Thursday, March 10, 2016 7:59 AM
To: John Betts
Subject: RE: ARB approval

Thanks John – is this approval for the sign as well?

From: John Betts [mailto:JBetts@Sheltercovehc.org]
Sent: Thursday, March 10, 2016 7:56 AM
To: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Subject: Re: ARB approval

Roni,
The SCARB has reviewed the proposed changes for Unit 111 and approved them as submitted.
Thanks
John

From: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Sent: Monday, March 07, 2016 3:06 PM
To: John Betts
Subject: ARB approval

John – attached is the DRB submission to request the change of colors on the exterior of Suite 111. This has been leased to an upscale women's boutique and the proposed colors better reflect that image. I have attached a rendering done by the sign company showing the colors and I've attached a photo of the existing exterior for comparison. We are requesting the ARB approve this exterior color change and the sign that is proposed. The sign will go on a different application to the Town but once the Tenant gets approval on the exterior colors she will need to order her sign quickly in order to get open in April so that is why we are asking for sign approval now also. Let me know if you need anything else.

Roni Allbritton, CSM, CMD

Shelter Cove Towne Centre

40 Shelter Cove Lane

Hilton Head Island, SC 29928

Ph: (843) 686-3090

Fax: (843) 686-5581

Email: allbritton@sheltercovetownecentre.com

www.sheltercovetownecentre.com



A photograph of a Belk store entrance. The building features a prominent gabled roof with the 'belk' logo in black lowercase letters and a blue butterfly icon to the left. The entrance is framed by two large, light-colored columns. Two tall palm trees stand on either side of the entrance. The foreground shows a paved walkway with brick accents and a parking area with a mailbox rack and a utility vehicle. The sky is clear and blue.

belk



Vacation Homes of Hilton Head
Rentals and Real Estate

VACATION HOMES
of Hilton Head
Rentals and Real Estate

111
952 111

111
952 111



28
STE 111



Vacation
Rental
of Hilton Head
Real Estate

2
9270A
VACATION
RENTALS
HILTON HEAD ISLAND, SC



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Towne Centre Suite 111 – ALTERATION/ADDITION DRB#: DRB-000430-2016

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Storefront remain existing color, consistent with the context of Shelter Cove Towne Centre.
2. Body & trim color should be selected from the approved color palette or similar.

Applicant proposes to repaint existing building based on tenant request. Existing building is light green and proposed building is light gray. Staff recommends selecting a body and trim color that are more complimentary to existing colors to remain such as SW7071 “Gray Screen” (body) and SW7073 “Network Gray” (trim). Staff worked with the tenant and another proposed option is SW6469 “Dewy” (body) and SW6470 “Waterscape” (trim).



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	3-8-16
Accepted by:	[Signature]
DRB #:	455-75
Meeting Date:	

Applicant/Agent Name: ROBERT SAXTON Company: NYCP, INC
 Mailing Address: PO DRAWER 11 City: HHI State: SC Zip: 29938
 Telephone: 843 816 7300 Fax: 843 842 8771 E-mail: newyorkcitypizzahhi@yahoo.com
 Project Name: NYCP, INC Project Address: 81 POPE AVE STE 15A, C
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

3/8/16

New York City Pizza
81 Pope Ave
Ste 15 A,B,C
Heritage Plaza
Hilton Head Island, SC 29928

PROJECT DESCRIPTION

The owners of New York City Pizza, wish to enhance their Restaurant located at 81 Pope Avenue in Heritage Plaza. They are providing outdoor dining and a Bar area, within the covered outdoor space at the southern portion of the building.

The present outdoor stairs to the second floor will be widened and moved towards the present restaurant wall. A new bar seating 12, will provide service to the outdoor dining area seating 36 patrons. A lounge type sitting area will be provided on the covered patio located near the parking area facing Pope Avenue.

A continuous planting buffer consisting of 7-gallon Boxwood Holly's, which will separate the covered patio from existing parking lot and Plaza roadways, all new construction materials and colors to match existing pattern.

Ray Jennifer

From: Forest Beach Owners Association <fbassn@aol.com>
Sent: Monday, March 7, 2016 9:06 PM
To: robertmsaxton@yahoo.com
Cc: feg@cambridgebuilding.com; john.mills@seda.company; jason.long@seda.company; Ray Jennifer
Subject: New York City Pizza - Forest Beach ARB Approval - 2016-02

Rob - Thank you for your submission for the proposed renovation/addition of a covered outdoor seating area at your location at 81 Pope Avenue including the moving and reconstruction of the exterior stairway leading to the second level of your building and vegetative buffer between the southern side of your location and the adjoining drive aisle. The Association has reviewed your submission dated March 4, 2016 along with the photographs and accompanying drawing.

The Association has approved this submission as presented, subject to any applicable Town of Hilton Head Island approvals. Exterior materials and colors are to match the existing structure.

As with any project, we will require written notice upon completion so that we may perform a final inspection and close our records on this project. If any changes need to be made from the submitted and approved plans, you will need to submit them to us for review before adopting them in to your project.

If you have any questions or concerns regarding this project or our review and approval, please contact me.

I have copied Jennifer Ray at the Town for their records.

John D. Snodgrass

John D. Snodgrass
Executive Director,
Forest Beach Owners' Association, Inc.















NASSAU STREET

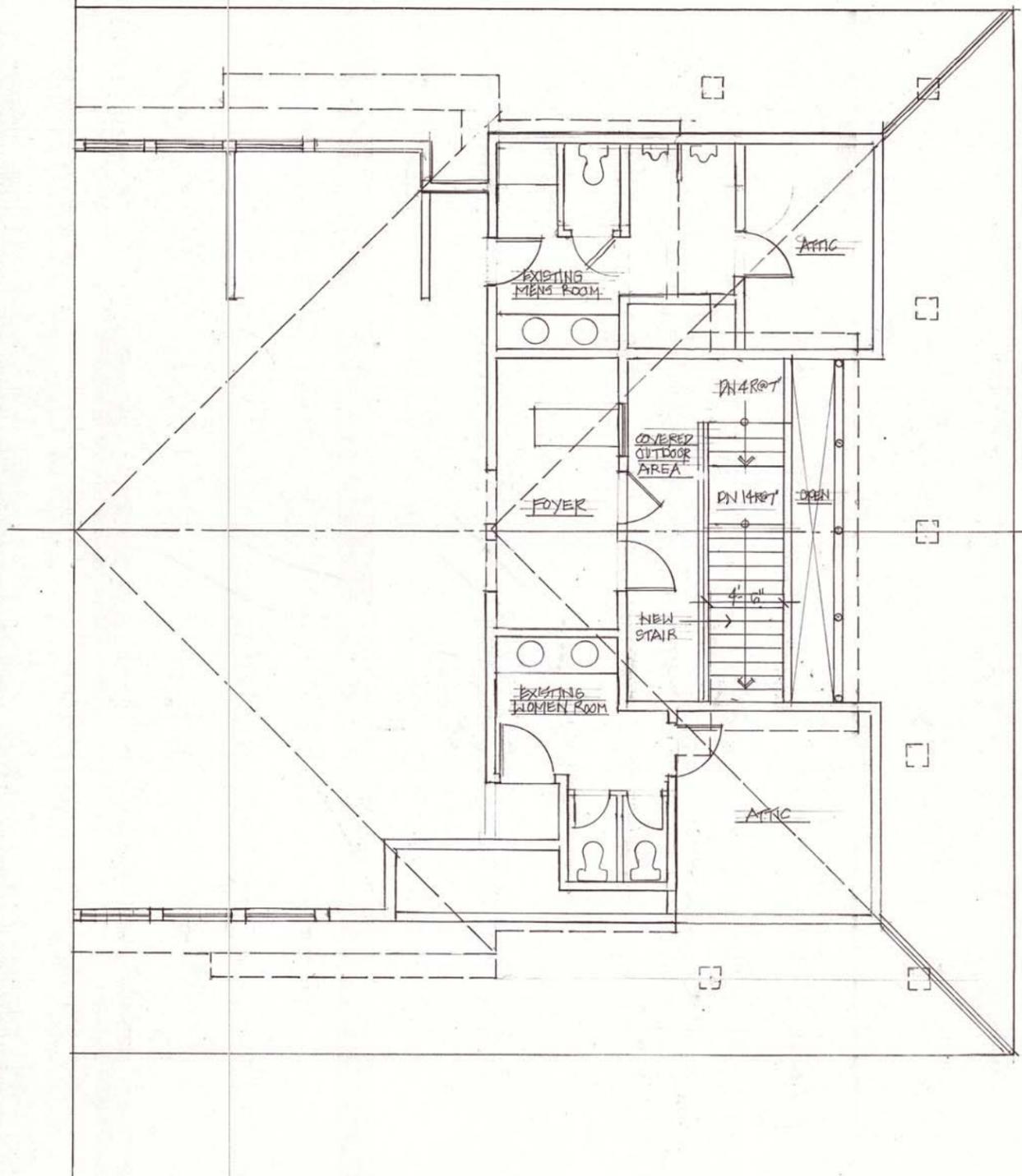
POPO AVENUE

LAGOON ROAD

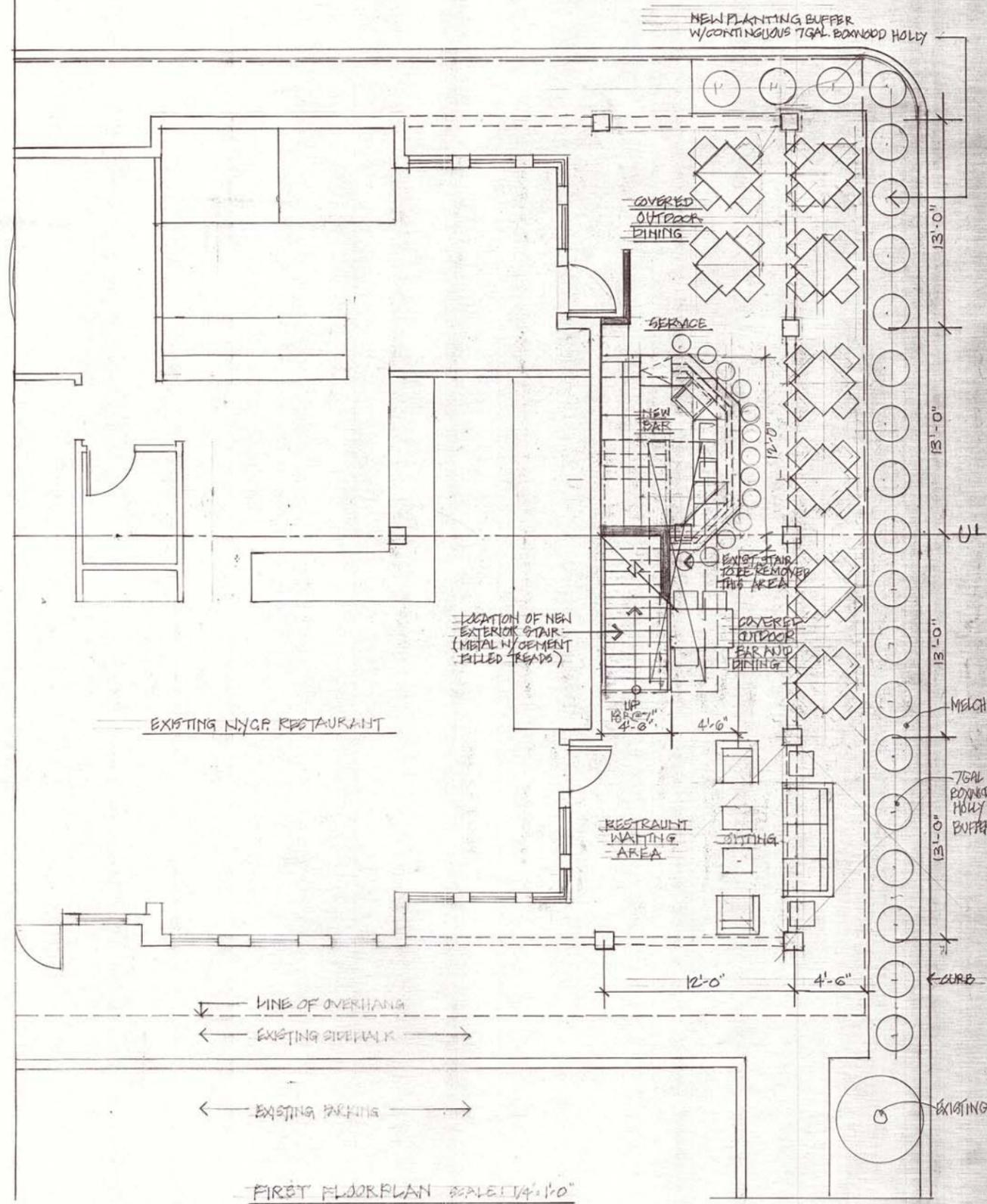
WILLIAM VITTO/ARCHITECT
 HILTON HEAD ISLAND, S.C.
 TEL: 843.715.9154 FAX: 843.688.2542

MINOR ALTERATION
 NEW YORK CITY PIZZA RESTAURANT
 81 POPE AVE.
 HILTON HEAD ISLAND, S.C.

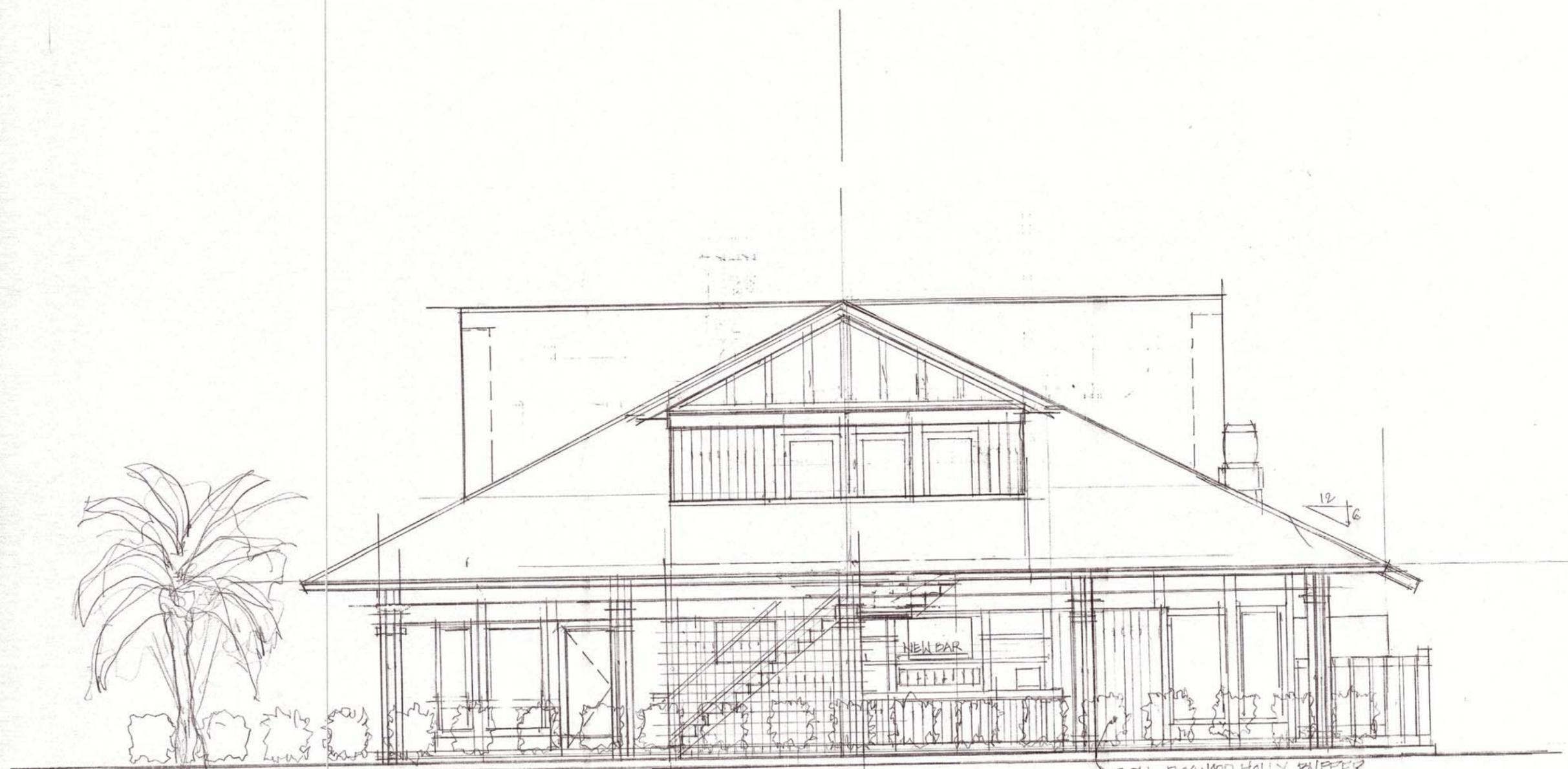
Date 03.08.16
 Scale 1/4" = 1'-0"
 Drawn WV
 Job NYCP-HP
 Sheet A
 Of 2 Sheets



SECOND FLOOR PLAN SCALE 1/4"=1'-0"



FIRST FLOOR PLAN SCALE 1/4"=1'-0"



7 GAL BOXWOOD HOLLY BUFFER

BUILDING ELEVATION 1/4" = 1'-0"
NEW YORK CITY PIZZA - HERITAGE PLAZA



NEW COVERED BAR ELEVATION • SCALE 1/4" = 1'-0"

NEW YORK CITY PIZZA • HERITAGE PLAZA

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: NCYP Inc. (Pope Ave) – ALTERATION/ADDITION

DRB#: DRB-000439-2016

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify plants for buffer between parking lot and patio.
2. Specify all colors and materials, including finish of distressed vertical wood siding and bar.
3. Coordinate with Heritage Plaza owners regarding proposed redevelopment and addition of walkway from Pope Avenue to proposed hotel adjacent to NYC Pizza.

Applicant proposes to relocate existing exterior stair to expand outdoor dining area and add an outdoor bar. Bar will be located under proposed stair. A continuous planting buffer will be added to separate the existing patio from the adjacent parking and roadway.



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www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Barry H. Taylor, AIA Company: FWA Group
 Mailing Address: P.O. Box 5910 City: Hilton Head State: SC Zip: 29938
 Telephone: 843-785-2199 Fax: 843-785-6801 E-mail: b.taylor@fwagroup.com
 Project Name: HHI-IRC Additions & Renovations Project Address: 20 Wilborn Road
 Parcel Number [PIN]: R 510 007 000 0227 0000
 Zoning District: RM-8 Moderate Density Overlay District(s): Corridor Overlay District (COR)

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|---|--|
| <input type="checkbox"/> Concept Approval – Proposed Development | <input type="checkbox"/> Alteration/Addition |
| <input checked="" type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

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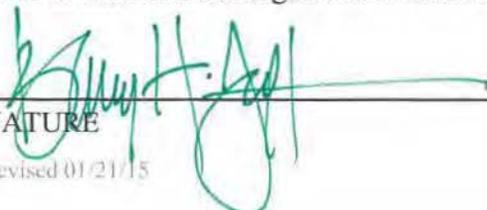
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 SIGNATURE

3/8/16

 DATE

**Hilton Head Island – Island Recreation Center Additions and Renovations
Design Review Board Narrative
Meeting Date: March 22, 2016**

The Island Recreation Center, located at 20 Wilborn Road on the Hilton Head Island School campus, is currently housed in a building constructed in 1988. The land the Center is located on is leased from the Beaufort County School District on a long term basis and is zoned RM-8 Moderate Density. The existing facility includes a gymnasium with bleachers, two classrooms, miscellaneous offices, an indoor/outdoor pool, three outdoor basketball courts, a playground and play fields. The center runs a pre-school day program and afterschool and summer programs for school age children along with sports programs for all ages, adults and children alike.

The center also operates the only public pool facility on the island. It provides swimming and water exercise opportunities for all ages as well as a place for local private swim teams and the HHI High School swim teams to practice and hold competitions. The pool operates year round by incorporating the use of an air supported dome structure to enclose the pool area during the winter season.

The FWA Group is currently working with the Center staff under the direction of the Town of Hilton Head Island to upgrade their current outdated facilities. The project includes upgrades to the existing gymnasium, office areas, classrooms, and toilets. The existing building will also feature new HVAC systems and new windows and doors.

New Building construction will include:

1. Full size gymnasium with retractable bleachers;
2. registration/office areas;
3. vending/snack area;
4. community and fitness rooms;
5. a second floor running track and exercise areas;
6. lifeguard building/storage buildings; and
7. pool toilet building.

In addition, site features will include approximately (84) additional parking spaces on School Road (at the existing tennis court location); approximately (46) additional parking spaces off Wilborn Road; (6) additional parking spaces at the existing building entry; (6) relocated tennis courts; a relocated ROTC drill pad; new fenced playground equipment; new pool deck and pool dome; and additional field lighting for an existing field on the school property across Wilborn Road.

The proposed new building will be 22,383 sf first floor and 9,970 sf second floor new construction; and 13,688 sf first floor and 1,458 sf second floor renovated space. New pool toilets, office, and storage buildings make up an additional 1,498 sf in new construction.

The facility's front entry, located on the south side of the building facing School Road and new parking, features a gathering space and pedestrian friendly features including bike racks, seating areas and a combination of planting areas and green spaces.

Construction will be a combination of CMU wall construction and steel framing. Roof is a metal truss system with areas of flat and pitched roofs.

On all new construction, exterior brick will match the existing brick as closely as possible with stucco finishes complimenting the brick. Stucco will be a sand finish and be two colors – a base color and one complimentary accent color. (See exterior elevations for areas of accent colors.) The existing metal panels on the walls above the brick will remain and be painted to match the new stucco base color.

New pitched roofs will receive a standing seam metal roof. The existing standing seam metal roof will remain and be painted to match the new roof finish. Roof coping, fascia, and gutter and downspouts will also match the metal roof color.

At the new gymnasium, the second floor running track and exercise areas will be open to the first floor gymnasium and main corridor. Translucent wall panels at clerestory elevations will allow light to penetrate all areas of the building. New translucent wall panels will replace those at the existing building.

Aluminum storefront windows and doors, hollow metal frames and doors, and overhead doors will all match the roof color. Because a significant number of windows are located on the south building elevations, use of both horizontal and vertical louvered sun shades will be incorporated to reduce glare and heat build-up. Horizontal sun shades will match the windows and vertical sun shades will be a "wood look" aluminum.

Screening at the dumpster and pool side of the pool equipment area will match the roof color.

The new tennis courts' paving, fencing, and wind screens will match existing. Tennis court fencing components and wind screens will be reused as much as possible. New fencing at the pool will match that at the tennis courts (black). The pool's dome structure will match the existing structure.

Most new construction, both building and site features, will be located on existing open fields and existing tennis courts which minimizes the number of trees to be removed. No significant trees are noted to be removed.

Additional parking above the 105% maximum required in the LMO (87 spaces max. required / 136 total provided) is being provided because of the historical need for the increase, a shared parking agreement with the school, and anticipated increase in the existing facility use. Parking is noted to be a combination of pervious and impervious paving. An electric charging station is located in the new parking area on School Road.

Bike racks will be provided and be similar to the alligator bike rack located at Islander's Beach Park. (See attached photograph.)

This project is aiming to be certified as a LEED (Leadership in Energy & Environmental Design) Silver Building making significant efforts to focus on sustainability and "green" building techniques.



Example of Bike Rack to be used at Island Recreation Center (Islander's Beach Park)

Lowcountry Paver WATERSHED 80MM



A GREAT WAY TO HELP **PROTECT** OUR TREES, RIVERS, MARSHES, PONDS & OCEAN

The WaterShed Permeable Paver has been described as America's Most Beautiful Permeable Paver. It's unique cobble shape makes it perfect for that luxurious look and offers a permeable surface. For a softer and more elegant look, we highly recommend the Riverwalk styles. Lowcountry Paver is the exclusive manufacturer of the WaterShed Permeable Paver. The WaterShed Permeable Paver is guaranteed to never crack in any residential, heavy commercial, or industrial vehicular application.

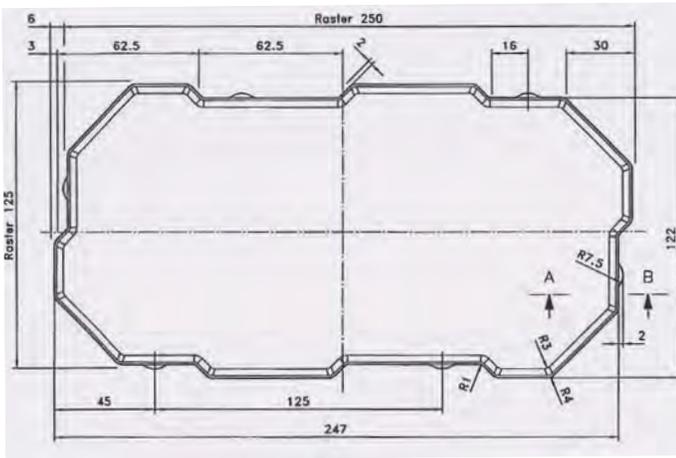
866.468.3561
www.LCPaver.com
info@LCPaver.com





535 Stiney Road Hardeeville, SC 29927
 866.468.3561 | www.LCPaver.com | info@LCPaver.com

SPECIFICATIONS



Details	Specs
Product Height	3 - 1/8" (80mm)
Surface Texture	Smooth
Chamfer	30 Degrees Straight Edge
Sq. Ft./Pallet	108
Pallet Makeup	1 Piece
Open Area %	9.10
Joint Material	.0073 M3/M / .0073 FT/FT
Length & Width	4 13/16" (122mm) x 9 7/8"
Weight Per Stone	12 lbs

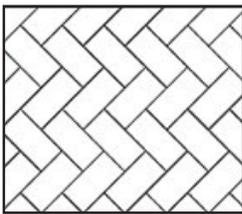
APPROVED APPLICATION:

Heavy Commercial & Industrial Vehicular

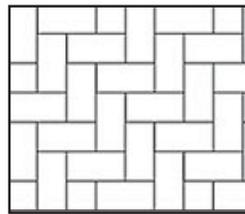
AVAILABLE STYLES & FINISHES:

Classic & Tabby

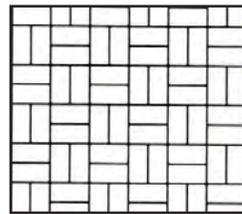
AVAILABLE PATTERNS



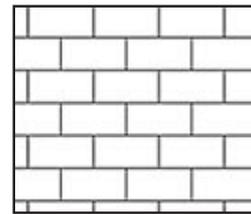
45 Herringbone



90 Herringbone



Parquet



Runner Bond



ALL LOWCOUNTRY PAVER PRODUCTS MEET OR EXCEED ASTM C-936 REQUIREMENTS

America's Best Warranty
 Our products offer a Lifetime Warranty against breaking! We will replace any broken pavers, labor & material!

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 7W and 18W. The large housing is available in the 26W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 7W models operate in -40°C to 40°C [-40°F to 104°F]. 18W and 26W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 90% of initial

Catalog #		Type
Project		
Comments		Date
Prepared by		

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

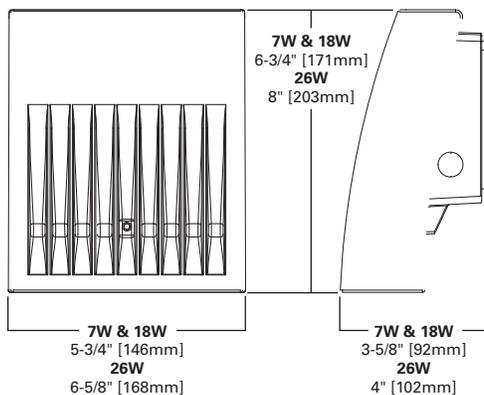
Five-year warranty.



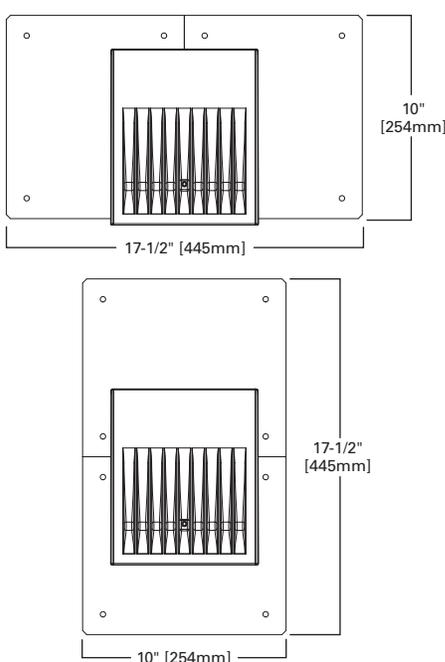
XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR1A/XTOR2A=0.34
XTOR3A=0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1A Model		
25°C	> 92%	> 290,000
40°C	> 92%	> 290,000
50°C	> 91%	> 270,000
XTOR2A Model		
25°C	> 91%	> 270,000
40°C	> 90%	> 260,000
50°C	> 88%	> 225,000
XTOR3A Model		
25°C	> 91%	> 280,000
40°C	> 91%	> 270,000
50°C	> 89%	> 240,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	722	1,633	1,523	2,804	2,284
Delivered Lumens (With Flood Accessory Kit) ¹	468	1,060	978	2,168	1,738
B.U.G. Rating ²	B0-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5,000	5,000	3,500	5,000	3,500
CRI (Color Rendering Index)	65	65	70	65	70
Power Consumption (Watts)	7W	18W	18W	26W	26W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	XTOR1A	XTOR2A	XTOR3A
120V	0.05A	0.15A	0.22A
208V	0.03A	0.08A	0.13A
240V	0.03A	0.07A	0.11A
277V	0.03A	0.06A	0.10A
347V	0.025A	0.058A	0.082A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 7W XTOR2A=Small Door, 18W XTOR3A=Small Door, 26W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K ²	[Blank]=Carbon Bronze (Standard) WT=Summit White	PC1=Photocontrol 120V ³ PC2=Photocontrol 208-277V ^{3,4} 347V=347V ⁵ HA=50°C High Ambient ⁵	WG/XTOR=Wire Guard ⁶ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁷ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES: 1 DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

7W Series	18W Series	26W Series
XTOR1A=7W, 5000K, Carbon Bronze	XTOR2A=18W, 5000K, Carbon Bronze	XTOR3A=26W, 5000K, Carbon Bronze
XTOR1A-WT=7W, 5000K, Summit White	XTOR2A-N=18W, 3500K, Carbon Bronze	XTOR3A-N=26W, 3500K, Carbon Bronze
XTOR1A-PC1=7W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=18W, Summit White	XTOR3A-WT=26W, Summit White
	XTOR2A-PC1=18W, 120V PC, Carbon Bronze	XTOR3A-PC1=26W, 120V PC, Carbon Bronze

5-DAY QUICK SHIP ORDERING INFORMATION

7W Series	18W Series	26W Series
XTOR1A-WT-PC1=7W, 5000K, Summit White, 120V PC	XTOR2A-PC2=18W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=26W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=18W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=26W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=18W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=26W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=18W, 3500K, Summit White	XTOR3A-N-WT=26W, 3500K, Summit White
	XTOR2A-N-PC1=18W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=26W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=18W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=26W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=18W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=26W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=18W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=26W, 3500K, Summit White, 208-277V PC



Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

The SL-43 inground luminaire is manufactured with a compression molded Rhinolite™ Composite housing that is corrosion resistant in harsh landscape lighting environments. Supplied with two 3/4" NPT conduit entrances and separated from the lamp compartment by the anti-wicking chamber that is hermetically sealed. Applications include landscape lighting, trees, flagpoles, columns, building accents, architectural lighting and wallwashing.

Ordering guide

Series	Finish	Optics	CCT	Voltage	Current
SL-43					700
SL-43 Inground	BK Black BZ Bronze WH White GR Green GY Gray NA Natural Aluminum CC Custom Color	SP Spot NF Narrow Flood FL Flood	W Warm C Cool	120 120V 208 208V 240 240V 277 277V	700 700mA

Housing (Lamp/Ballast)

Compression molded Rhinolite™ composite material, structurally reinforced with glass fibers. Superior resistance to ultraviolet degradation and corrosion resistant in harsh environments. Trim Rng and Debris Cover supplied standard.

Splice Compartment

Supplied with two 3/4" NPT conduit entrances. Connection to ballast compartment by way of anti-wicking device. Sealed with gasketed die cast aluminum cover plate. Suitable for through wiring.

Lens Frame

Heavy duty die cast bronze lens frame is supplied as standard. Fastened to housing with six captive 10-24 stainless steel Allen cap screws.

Lens

Standard 3/8" clear tempered flat borosilicate glass. Flat lens will withstand loads up to 200 PSI. Sealed to housing with high temperature injection molded silicone gasket.

Optics

Available with spot, narrow flood or flood beam pattern.

LED Module

4000K or 3000K CCT, 24 total Watts consumed. Approx. 50,000 hours of operation life @ 25°C ambient temperature and 70% lumen maintenance.

Electrical

Electronic ballasts automatically detect 120-277 volts 50/60 Hz.

Finish

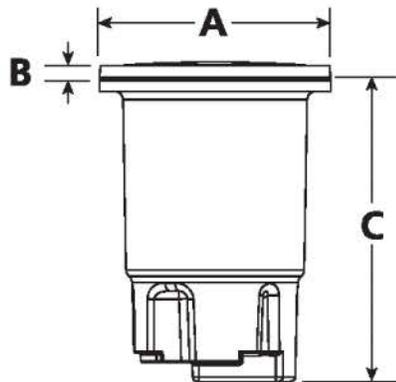
Housing is black. Lens frame can be painted in standard or custom colors. Powder coat is standard.

Labels

ETL and CETL listed for wet location, direct burial, and concrete pour. Certified to IP65 and IP67 to ensure protection against the harshest environments. IEC compliant versions available, consult factory.

SL-43 LED In-ground lighting

Spot, Narrow Flood or Flood



SL-43

Dimensions	A		B		C		Weight	
	Inch	mm	Inch	mm	Inch	mm	lbs	kg
SL-42	12.25	311	0.80	20	16	405	26.0	11.7

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philips.com/luminaires

SL43_LED 03/15 page 2 of 2



Philips Lighting, North America Corporation
200 Franklin Square Drive, Somerset, NJ 08873
Tel. 855-486-2216

Imported by: Philips Lighting,
A division of Philips Electronics Ltd.
281 Hillmount Rd, Markham, ON, Canada L6C 2S3
Tel. 800-668-9008

Pre-Design Conference Certification

Town of Hilton Head Island Engineering Division

Date of Meeting February 15, 2016

Expiration of Certification February 15, 2017

Name of Project Island Recreation Center (IRC) Expansion

Location of Project 20 Wilborn Road

Description of Project Expansion of the Island Recreation Center to include a new building, two new parking areas, and reconfiguration of tennis courts and infill turf/play areas

Discussion points:

- Ward-Edwards presented a preliminary site plans with proposed storm water management systems for discussion.
- The pre-developed condition with respect to storm water detention shall be the existing state of the site at the time of DPR application. Ward-Edwards stated the design may utilize the existing downstream wet pond to meet detention requirements. Maintenance of the existing pond may be required to achieve these requirements and if so, the plans shall include a note to have the contractor clean the downstream wet detention pond.
- The development must provide on-site retention or percolation areas for one inch of runoff from all proposed on-site impervious surfaces. The one inch of runoff from all such impervious surfaces shall be dissipated by percolation into the soil, evaporation, or other methods of treatment or handling acceptable to the Town Engineer. The project involves construction on three different parcels. "On-site," or the development site, shall be defined as the limits of the disturbed area, as specified in the development permit application.
- The proposed parking area north of the IRC and adjacent to the softball field will have a self-contained (no-outlet) 100-year on-site retention basin. The center of this site will be excavated for storm water retention, and if it were to ever overflow, it would drain into the surrounding woods, wetlands, or street system.
- The proposed parking area in the current tennis court location shall employ pervious block pavers for a portion of parking spaces and shall drain to a center curbed bio-swale which separates the parking aisles and will provide on-site retention.
- The building addition and reconfigured tennis courts will primarily drainage to a low, turf play area in between. Underground retention was discussed as the most practical retention system here to help meet the other design objectives.
- If underground storm water retention is to be employed, the applicant must submit sufficient geotechnical information (estimated seasonal high water elevation, soil permeability) at or around the proposed retention areas to be used in the design and ensure proper functionality.

- Storm system pipe alignments were discussed in the tennis court area and the Town expressed a desire to have these routed around instead of under the tennis courts due to concerns regarding future maintenance.
- Permanent maintenance of the drainage systems on the site will need to be addressed in the lease agreement between the IRC and BCSD.
- Erosion and sediment control plans must be provided and shall consider any construction phasing. All phase(s) must have sufficient storm water management in place for a certificate of compliance.
- The plans shall show existing and proposed contours, proposed spot elevations, and flow direction arrows.

Meeting Attendees: Eric Hoover, Chris Todd – Ward-Edwards, Jeff Buckalew – Town Engineer,

 2/16/16

Bryan McIlwee, PE – Asst. Town Engineer
Signature and printed name of Town Engineer or designee

Per Section 16-5-109.C.10 of the Town of Hilton Head Island Land Management Ordinance- A pre-design conference with the Town Engineer or his or her designee is suggested for small projects not affecting major drainage ways or environmentally sensitive areas, and is required for all Subdivision Review and Development Plan Review applications.



One Cooperative Way

Hardeeville, SC 29927-5123

843-208-5551

March 4, 2016

Eric Hoover, P.E.
Ward Edwards Engineering
PO Box 381
Bluffton, SC 29910

Re: Island Recreation Center Expansion

Dear Eric:

Palmetto Electric Cooperative, Inc. ("PECI") has ample power available to serve the above-referenced project. There is infrastructure in place that may have to be upgraded to accommodate the expansion, but that will determine that once electrical load has been provided. It appears that some outdoor lights may have to be relocated that will be under the footprint of the expansion.

Thank you for your cooperation in this matter. Please contact me at (843) 208-5512 or via email thutchinson@palmetto.coop if you have any questions or if I may be of further assistance.

Sincerely,

PALMETTO ELECTRIC COOPERATIVE, INC.

A handwritten signature in blue ink that reads "Tim Hutchinson".

Tim Hutchinson
System Engineer

TH:mhl
Encl.

c: Mr. José-Luis Aguilar, PECI
Ms. Kristin Keller, PECI





**Monthly Outdoor Light Cost For:
ISLAND REC CENTER**

WILBORN AND SCHOOL ROAD

Job Number: 1603002L

Total Monthly Cost: \$476.06

Total Allowable Footage: 1100

Watt	Type	Option	Fixture	Pole Ft Height	Pole Type	LightID	Cost Per Fixture	Fixture Count	Total
320W	MH1	Single	PS Large Shoebo	25	Wood	SL8A14	\$41.88	10	\$418.80
320W	MH2	Double	PS Large Shoebo	25	Wood	SL8B14	\$57.26	1	\$57.26

Additional Charges: Where it is necessary for the Cooperative to install more than the allowed lengths of overhead or underground wiring for each pole stated below, charges for the excess length will be as follows:

	<i>Allowance</i>	<i>Excess Length Charge</i>
<i>Overhead</i>	<i>150 ft</i>	<i>\$0.50 per foot</i>
<i>Underground</i>	<i>100 ft</i>	<i>\$1.75 per foot</i>
<i>Road Bores</i>		<i>\$9.50 per foot</i>

Any contribution-in-aid of construction required by the COOPERATIVE for unusual conditions (transformers, road bores, lengthy spans, etc.) shall be paid in full by the CUSTOMER in advance of actual installation.

Monday, March 07, 2016

PALMETTO ELECTRIC COOPERATIVE, INC.

Town of Hilton Head
Current Planning Division
1 Town Center Court
Hilton Head Island, SC 2992

Approval for Outdoor Lighting

Monday, March 07, 2016

PROJECT # - 1603002L

PROJECT NAME - ISLAND REC CENTER

PROJECT LOCATION - WILBORN AND SCHOOL ROAD

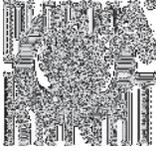
The Town of Hilton Head Current Planning Division has reviewed the following project and has determined that it is in accordance with the provisions of the Land Management Ordinance (LMO) for Site Lighting and recommends the design approved for construction.

To be approved and signed by Town of Hilton Head Planning Division ONLY.

Signature: _____ Title: _____
Print Name: _____ Date: _____

Approved As Submitted Approved With Modifications Listed Below: Denied with Reasons Noted Below:

Please Note: As applicant/owner/developer, it is your responsibility to make sure that Palmetto Electric receives a copy of this site lighting approval.



ILLUMA KNIGHT PROGRAM

LETTERS OF APPROVAL

* Letters of approval are generated by PECL and are included in both the Customer and Town/County packages. It is the customer's responsibility to ensure that:

- 1) The lighting package is submitted to the appropriate local governing body for approval.
- 2) PECL receives the signed approval from the local governing body.

CONTRACTS

* Contracts are generated after letters of approval have been received by PECL.

* The original contract, signed by the customer, must be returned to PECL in order for staking, scheduling and construction of the lighting project to begin. Faxed contracts CANNOT be accepted.

Work cannot begin until PECL has a signed contract

INSTALLATION CHARGES

* Each pole location includes 100' of underground wire and 150' of overhead wire from any PECL energy source, i.e., transformer, pedestal, or existing outdoor light at no additional charge to the customer by use of mechanical trenching methods.

* Any underground footage over 100' will be charged at a rate of \$1.75 per foot and overhead footage over 150' will be charged at a rate of \$.50 per foot.

CONDUIT

* All light wire will be in schedule 40 conduit provided by PECL and must be buried at a minimum depth of 36".

* For parking lots or roads, crossing sleeves must be schedule 40 conduit at a minimum depth of 36" and provided by the customer.

POLES

* Poles are set directly into soil at depths specified by the manufacturer.

LIGHT OPERATION

* All PECL outdoor lights are operated by a photocell which turns the lights on at dusk and off at dawn. There are no exceptions.

AID-TO-CONSTRUCTION

* Additional costs may include road bores, charged at \$9.50 per foot, and/or additional PECL equipment, i.e., transformers, pedestals. This fee, if needed, must be paid, in full, prior to any construction.

LANDSCAPING IRRIGATION

* Any landscaping that must be removed for installation of the lights is the responsibility of the customer to remove and re-install as necessary.

* It is the responsibility of the customer to locate irrigation pipe and any other customer owned buried equipment to avoid conflicts with new installation.



METAL ROOF
"Weathered Zinc"
(Also Fascia, Coping, Windows,
Horizontal Window Sun Shade,
Doors/Frames, Gutter/Downspout,
Dumpster Fence, Pool Equipment
Screen)



BRICK
(Color to Match
Existing)



STUCCO
Base Color #1
"Gull Gray"
(Also Existing
Metal Wall Panels,
Soffit)



VERTICAL WINDOW LOUVER (Sun Shade)
"Honey Knotty Pine"



STUCCO
Accent Color #2
"Red Clay"



PORCELAIN WALL TILE
Pool Outdoor Shower Wall
"Red"

BUILDING COLORS

SITE FEATURES



SHADE STRUCTURE POSTS
"Silver"

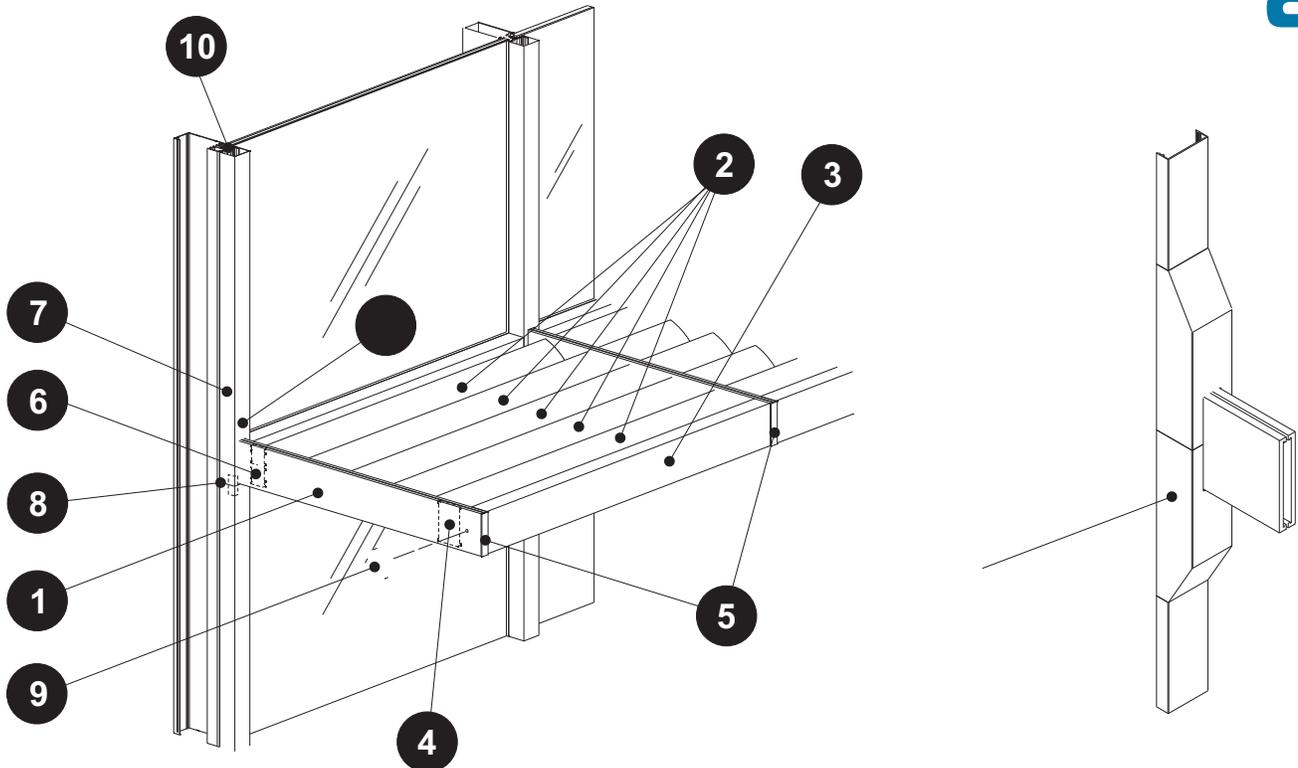


SHADE
STRUCTURE
CLOTH
"Royal Blue"

COURT AND POOL FENCING/WINDSCREENS
"Black" - (to Match Existing Court Fencing)



HHI - ISLAND RECREATION CENTER
ADDITIONS AND RENOVATIONS
Exterior Material / Finish Color Board - March 8, 2016

**1. Outrigger**

A member projecting from a curtain wall product to hold and support louvers and fascia elements.

2. Louver

Horizontal extruded member that acts as a canopy and controls the radiation of light through glazing elements.

3. Fascia

Outermost louver element that trims the face of the ThermaShade assembly.

4. Outrigger Connector

"I" shaped extrusion used to align adjacent outriggers and prevent separation under loading conditions.

5. Flat Outrigger Cap

Finished part used to cap the external gap created by two square extruded outriggers.

6. Spacer

Unfinished part used at anchor clip to ensure proper spacing between ThermaShade™ assemblies.

7. Face Cover

Extrusions that cover the pressure plate and anchoring components.

8. Face Cover Splice

Formed angles used as a backer for the sealing of the joint between two face covers.

9. Medallion

Circular attachment component used to prevent separation between the end outrigger and the first ThermaShade unit.

10. Pressure Plate Assembly

Aluminum extrusion combined with gaskets and thermal isolator used to seal and retain the glass in a curtain wall system.

11. Anchor Clip

Prefabricated part to attach ThermaShade units to curtain wall system.

12. Mitered Cover

Optional cover attachment.

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

HHI - ISLAND RECREATION CENTER ADDITIONS & RENOVATIONS

Town of Hilton Head Island
 Hilton Head Island, South Carolina

MARK	DATE	DESCRIPTION
	02/10/16	COST ESTIMATE
	02/23/16	DD REVIEW
	03/08/16	DRB FINAL REVIEW

PROJECT NO:
 FWA 2456.01
 WEE 3150207

DRAWN BY: ELH
 APPROVED BY: GAB

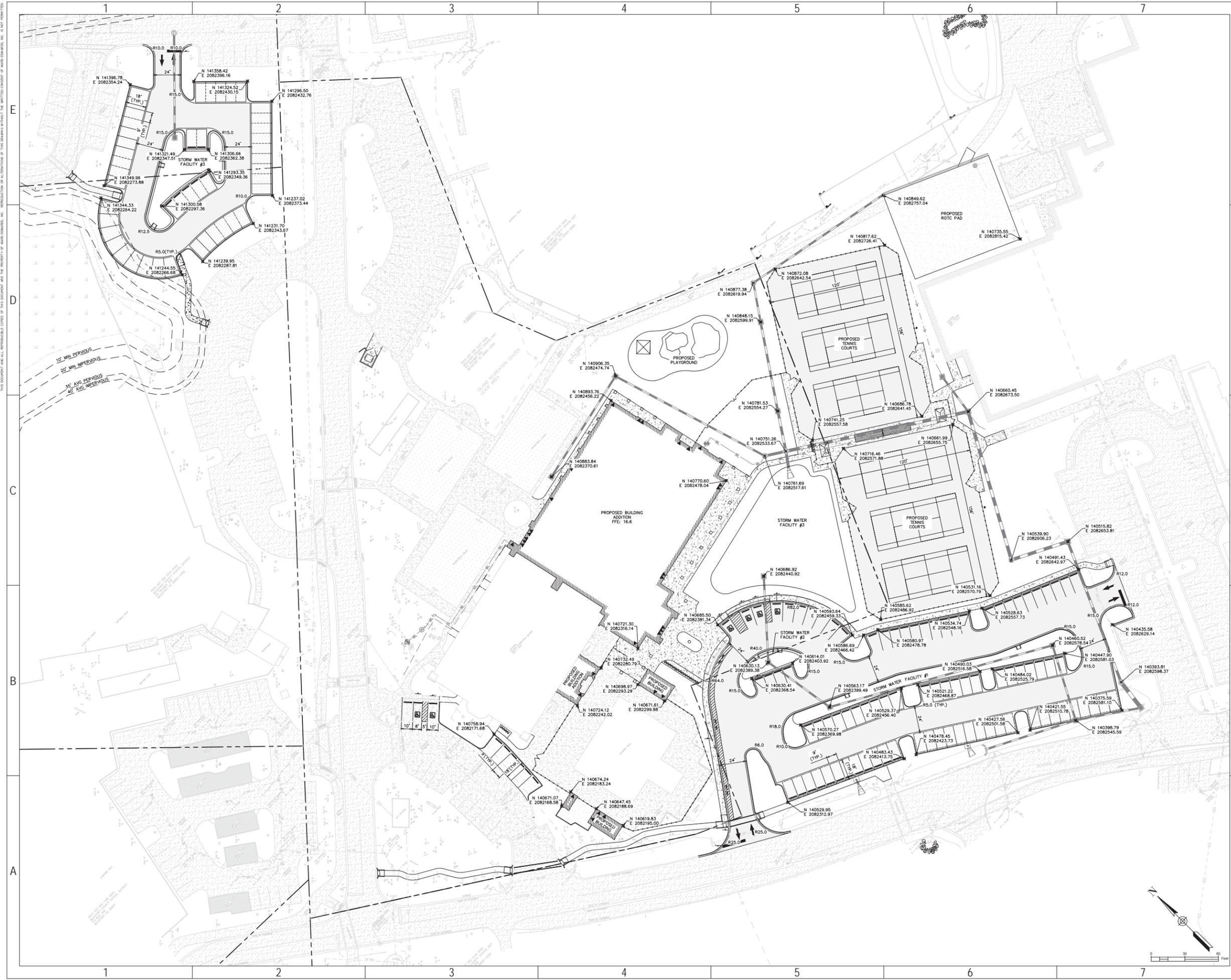
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SHEET TITLE

SITE LAYOUT PLAN

SHEET NUMBER

C201



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 Hilton Head Island, South Carolina

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PROJECT NO: FWA 2456.01
 WEE 3/15/2017

DRAWN BY: ELH
 APPROVED BY: GAB

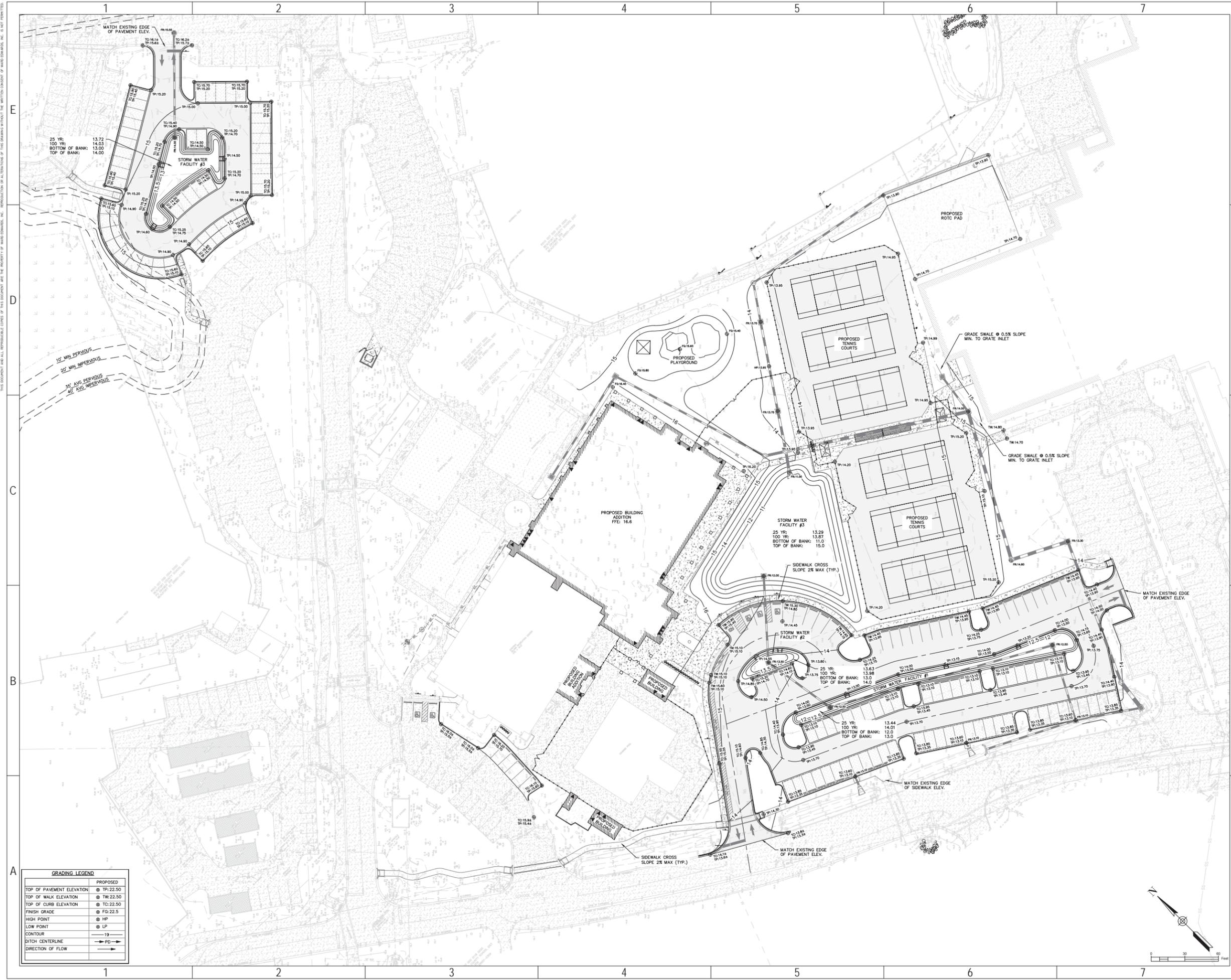
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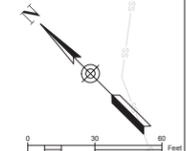
GRADING PLAN

SHEET NUMBER

C501



GRADING LEGEND	
PROPOSED	—
TOP OF PAVEMENT ELEVATION	⊙ TP:22.50
TOP OF WALK ELEVATION	⊙ TW:22.50
TOP OF CURB ELEVATION	⊙ TC:22.50
FINISH GRADE	⊙ FG:22.5
HIGH POINT	⊙ HP
LOW POINT	⊙ LP
CONTOUR	— 1' —
DITCH CENTERLINE	— PD —
DIRECTION OF FLOW	→



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PROJECT NO: FWA 2456.01
 WEE 30150207

DRAWN BY: ELH
 APPROVED BY: GAB

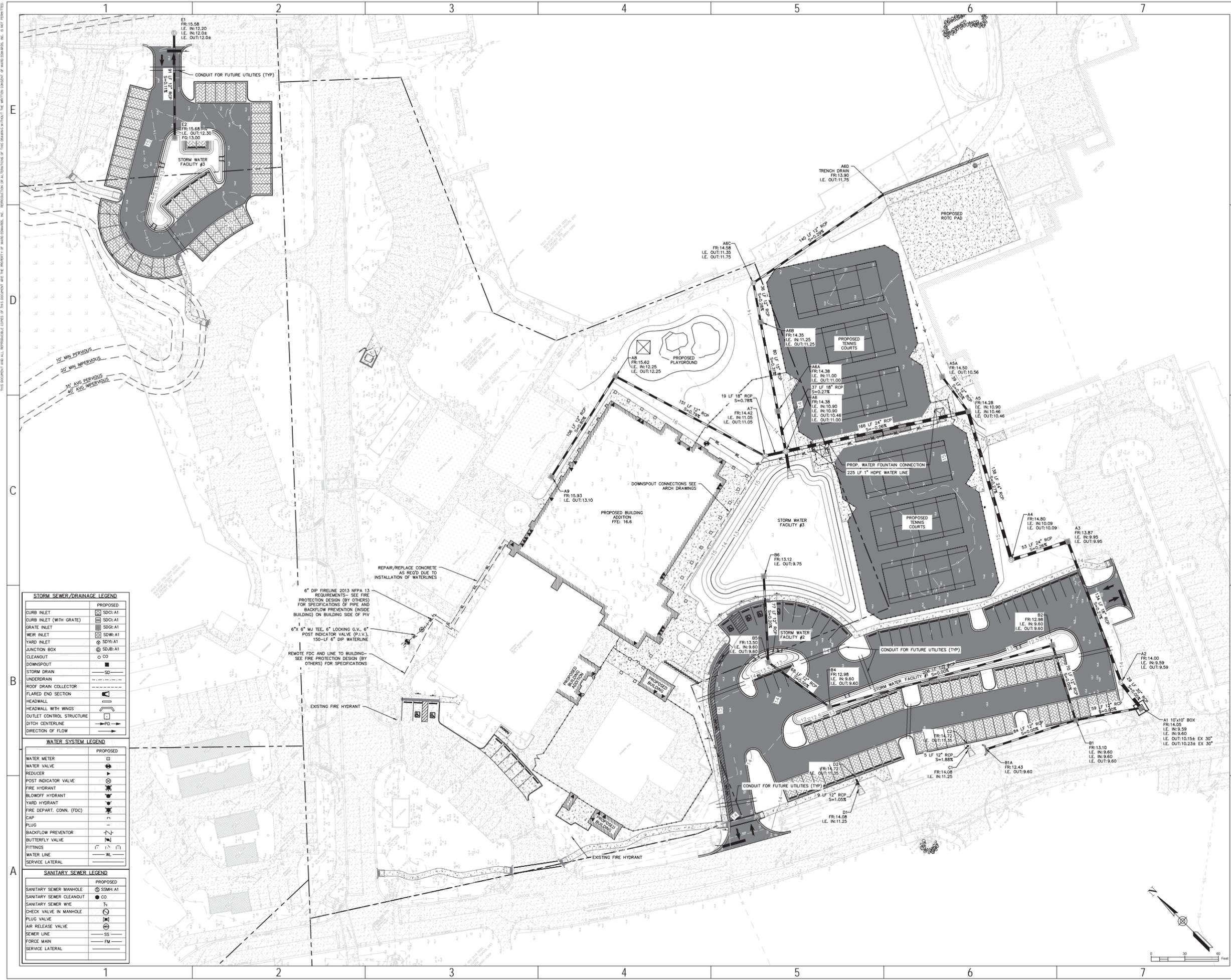
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SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C601



STORM SEWER/DRAINAGE LEGEND

PROPOSED	PROPOSED
CURB INLET	SDC: A1
CURB INLET (WITH GRATE)	SDC: A1
GRATE INLET	SDC: A1
WEIR INLET	SDW: A1
YARD INLET	SDY: A1
JUNCTION BOX	SDJ: A1
CLEANOUT	CO
DOWNSPOUT	SD
STORM DRAIN	SD
UNDERDRAIN	SD
ROOF DRAIN COLLECTOR	SD
FLARED END SECTION	SD
HEADWALL	SD
HEADWALL WITH WINGS	SD
OUTLET CONTROL STRUCTURE	SD
DITCH CENTERLINE	SD
DIRECTION OF FLOW	SD

WATER SYSTEM LEGEND

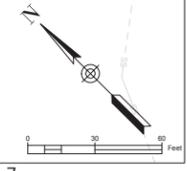
PROPOSED	PROPOSED
WATER METER	W
WATER VALVE	W
REDUCER	W
POST INDICATOR VALVE	W
FIRE HYDRANT	W
BLOWOFF HYDRANT	W
YARD HYDRANT	W
FIRE DEPART. CONN. (FDC)	W
CAP	W
PLUG	W
BACKFLOW PREVENTOR	W
BUTTERFLY VALVE	W
FITTINGS	W
WATER LINE	W
SERVICE LATERAL	W

SANITARY SEWER LEGEND

PROPOSED	PROPOSED
SANITARY SEWER MANHOLE	SSM: A1
SANITARY SEWER CLEANOUT	CO
SANITARY SEWER WYE	SS
CHECK VALVE IN MANHOLE	SS
PLUG VALVE	SS
AIR RELEASE VALVE	SS
SEWER LINE	SS
FORCE MAIN	FM
SERVICE LATERAL	SS

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HII - ISLAND RECREATION CENTER ADDITIONS & RENOVATIONS

Town of Hilton Head Island
 Hilton Head Island, South Carolina

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 WEE 3.0150207

DRAWN BY: ELH
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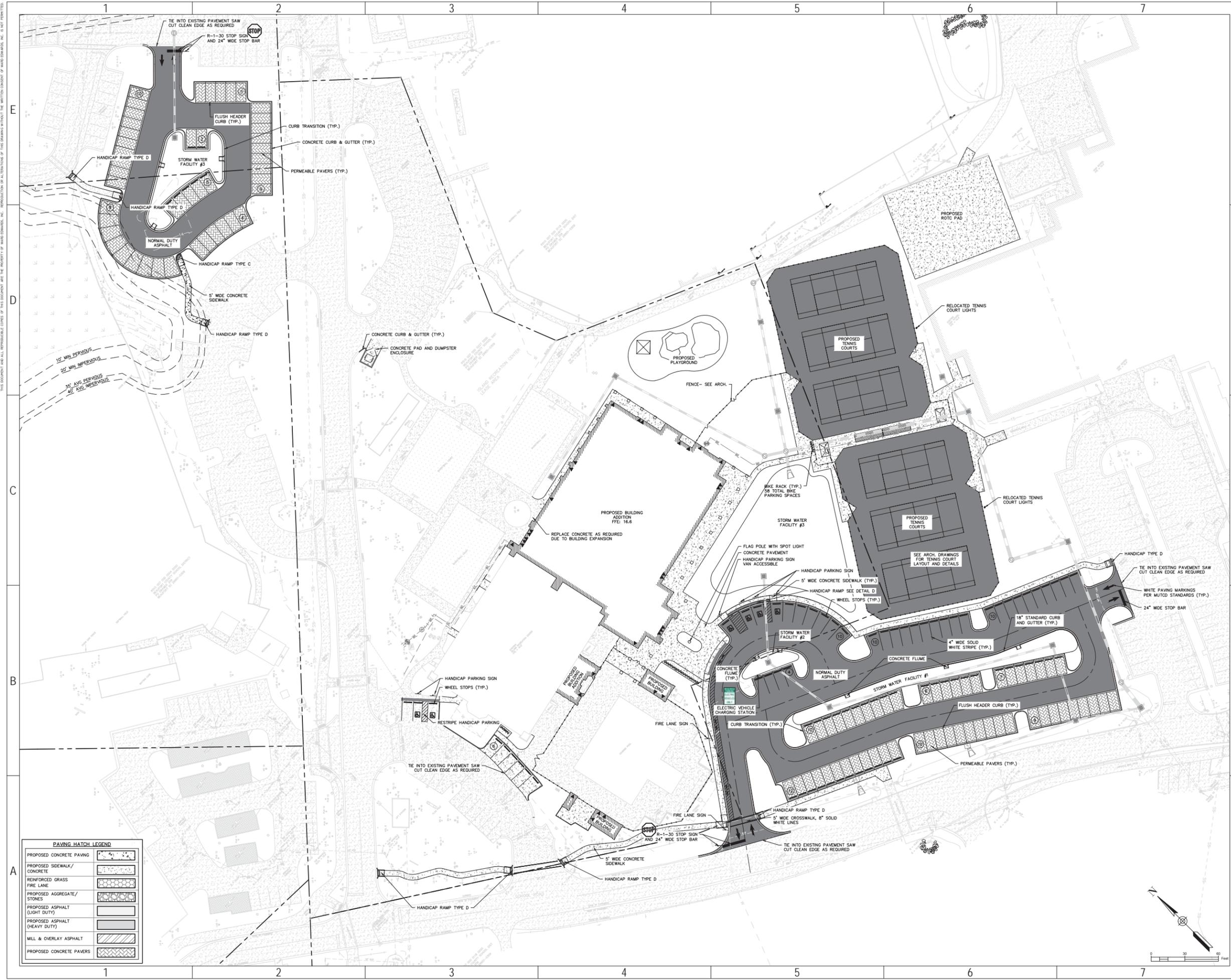
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SHEET TITLE

PAVING PLAN

SHEET NUMBER

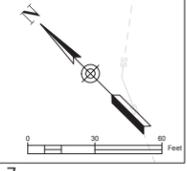
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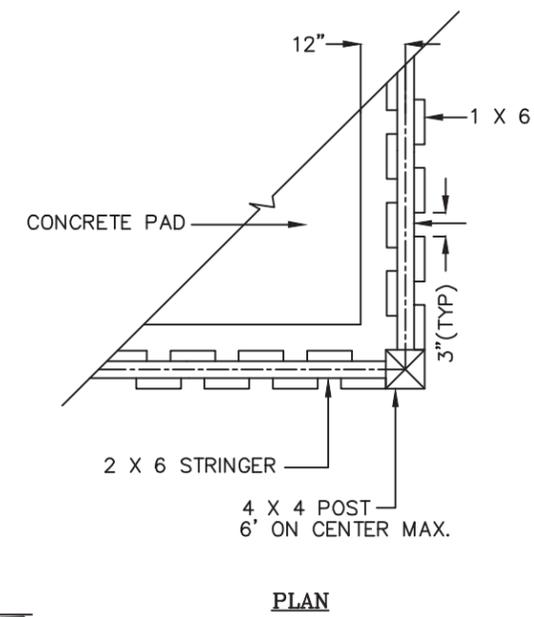
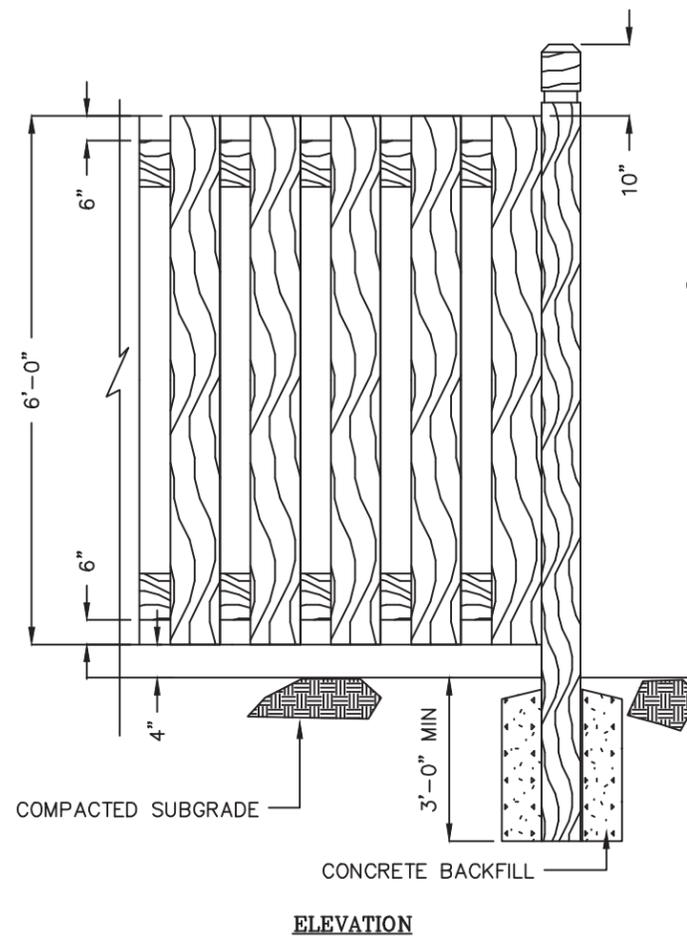


PAVING HATCH LEGEND

PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/CONCRETE	
REINFORCED GRASS/FIRE LANE	
PROPOSED AGGREGATE/STONES	
PROPOSED ASPHALT (LIGHT DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED CONCRETE PAVERS	

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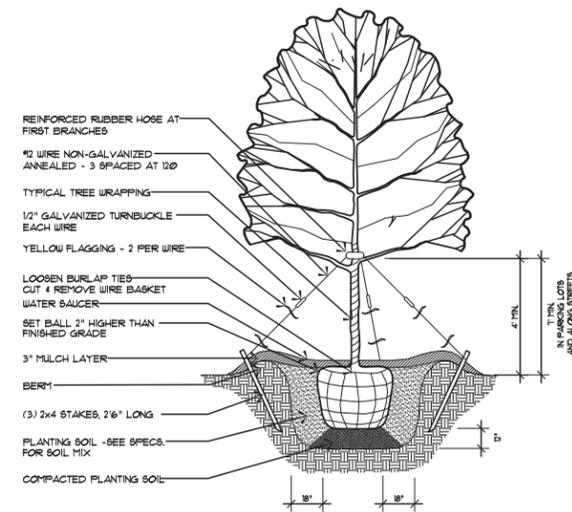


NOTE:

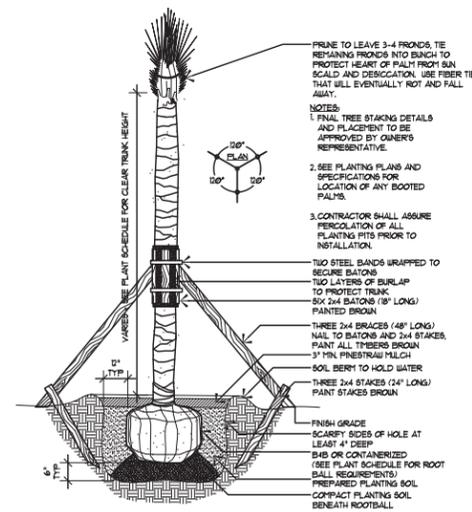
1. ALL LUMBER TO BE P.T. OR WEATHER RETARDANT MATERIAL. COORDINATE MATERIAL TYPE AND PAINT WITH ARCHITECT.
2. ALL HARDWARE AND NAILS TO BE D.H.D. GALV.
3. CONTRACTOR TO PROVIDE MATCHING DOUBLE HUNG GATE WITH LOCK KEEPER AND GUIDE AT LOADING SIDE.

BOARD ON BOARD FENCE

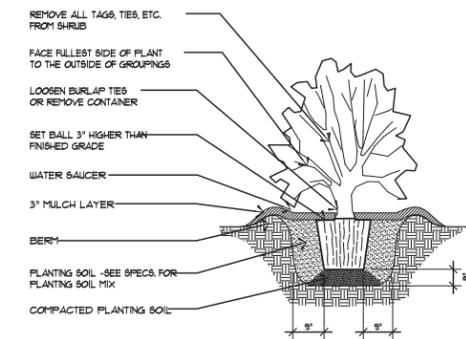
DETAIL 02915-007



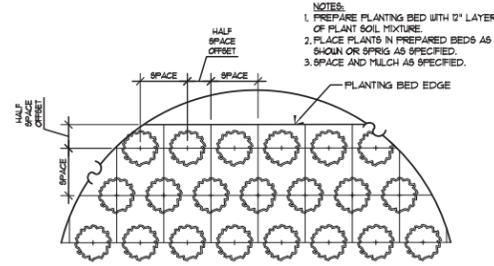
1 Tree Planting
L2 Not to Scale



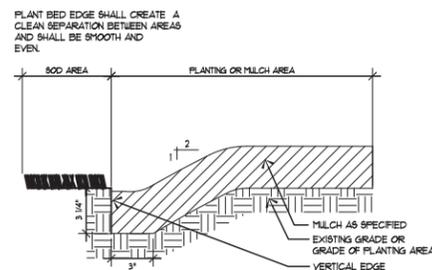
2 Palmetto Tree Planting
L2 Not to Scale



3 Shrub Planting
L2 Not to Scale



4 Ground Covers, Annuals & Perennials
L2 Not to Scale



5 Sod / Plant Bed Edge Detail
L2 Not to Scale

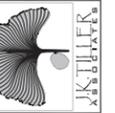
PLANT LIST:

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	GAL.	HEIGHT	SPREAD	CONT.
ACRU	4	<i>Acer rubrum</i> / Red Maple	3"	14'-16'	4'-6"	Cont.
ERJA	4	<i>Eriobotrya japonica</i> / Loquat	1.5"-2"	6'-8'	4'-6"	Cont.
LAIN	4	<i>Lagerstroemia indica</i> x <i>faurei</i> 'Natchez' / Natchez Grape Myrtle Multi-Trunk Specimen	1.5"-2"	10'-12'	5'-6"	
MAVI	14	<i>Magnolia virginiana</i> / Sweet Bay Multi-Trunk Specimen	1.5"-2"	6'-8'	3'-4'	
PIPA	5	<i>Pinus palustris</i> / Langleaf Pine	1.5"-2"	8'-10'	4'-6"	Cont.
QUSH	21	<i>Quercus shumardii</i> / Shumard Red Oak	3"	10'-12'	5'-6"	
QUVI	10	<i>Quercus virginiana</i> / Southern Live Oak	3"	10'-12'	6'-8"	Cont.
SAPA	12	<i>Sabal palmetto</i> / Cabbage Palmetto Silk trunk, Hurricane Cut, Matching in height and form	-	15'-16'		B&B
TADI	7	<i>Taxodium distichum</i> / Bald Cypress	3"	10'-12'	4'-6"	Cont.
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT.	HEIGHT	SPREAD	
ILFL	28	<i>Illicium floridanum</i> / Purple Anise	7 Gal.	24"-36"	24"-36"	
LIJA	204	<i>Ligustrum japonicum</i> / Japanese Privet	7 Gal.	36" min.	30"-36"	
LOGH	16	<i>Loropetalum chinense</i> 'Ruby' / Ruby Loropetalum	5 Gal.	18"-24"	24"-30"	
POMM	247	<i>Podocarpus macrophyllus</i> makii / Shrubby Yew Full	7 Gal.	4'-5'	24"-30"	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
JUDP	461	<i>Juniperus davurica</i> 'Parsonii' / Parson's Juniper	1 Gal.	6"-12"	6"-12"	24" o.c.
MISA	1,183	<i>Miscanthus sinensis</i> 'Adagio' / Adagio Eulalia Grass	3 Gal.	24"-36"	18"-24"	30" o.c.
FLAU	53	<i>Plumbago auriculata</i> / Blue Plumbago Full	3 Gal.	18"-24"	12"-18"	30" o.c.
SOD/SEED	QTY	BOTANICAL NAME / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
SOD	55,526 sq	<i>Eremochloa ophiuroides</i> / Centipede Sod	SOD			

PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.
- THE PLANT BED AREAS LABELED AS "AN" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.



Sheet Title:
Planting Schedule,
Notes and Details

Job Number:
201603-01

Date:
03/08/2016

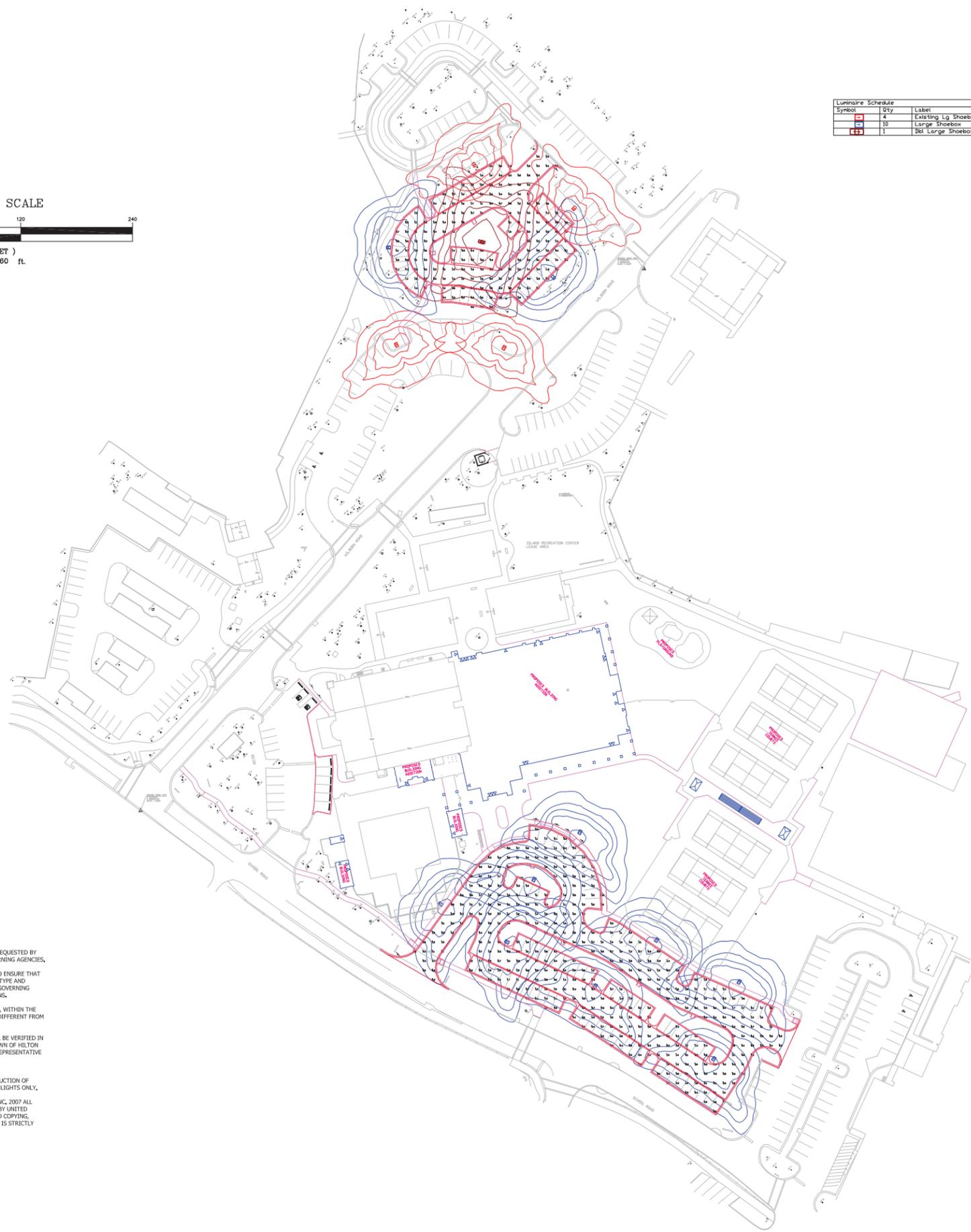
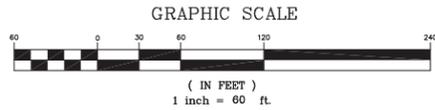
Drawn:
KD

Approved:

Revisions:

Sheet

L2
Of 2



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	4	Existing Lg Shoebox	SINGLE	19500	0.600	250W MH DN 25' LAMINATED POLE, 20' MOUNTING HEIGHT
□	10	Large Shoebox	SINGLE	30000	0.600	300W PS MH DN 25' LAMINATED POLE, 20' MOUNTING HEIGHT
□	1	Dbl Large Shoebox	BACK-BACK	30000	0.600	300W PS MH DN 25' LAMINATED POLE, 20' MOUNTING HEIGHT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE 1	Illuminance	fC	1.59	6.9	0.2	7.25	44.00
SITE 2	Illuminance	fC	1.41	6.5	0.2	7.25	32.50

LumNo	Label	X	Y	Z	Orient	Yt
1	Dbl Large Shoebox	24988972	1690617.	20	347.927	0
2	Existing Lg Shoebox	24988881	1690508.	20	294.776	0
3	Existing Lg Shoebox	24988997	1690505.	20	242.354	0
4	Existing Lg Shoebox	24989070	1690505.	20	48.014	0
5	Existing Lg Shoebox	24988945	1690506.	20	126.383	0
6	Large Shoebox	24989049	1690578.	20	133.62	0
7	Large Shoebox	24988872	1690611.	20	0	0
8	Large Shoebox	24989076	1689995.	20	243.238	0
9	Large Shoebox	24989221	1689749.	20	236.31	0
10	Large Shoebox	24989094	1689826.	20	243.436	0
11	Large Shoebox	24988998	1689871.	20	328.404	0
12	Large Shoebox	24989248	1689831.	20	242.783	0
13	Large Shoebox	24989160	1689875.	20	235.711	0
14	Large Shoebox	24989029	1689940.	20	243.425	0
15	Large Shoebox	24988928	1689913.	20	324.297	0



LARGE SHOEBOX

APPLICATIONS
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
UL1575 Listed Suitable for Wet Locations
Heavy-duty die-cast aluminum housing and door
Polyester powder (R40) standard in dark bronze
Heat and impact resistant tempered flat glass lens



LARGE SHOEBOX DOUBLE FIXTURE

APPLICATIONS
Walkways, driveways, malls, shopping centers, commercial and residential areas.

SPECIFICATIONS
UL1575 Listed Suitable for Wet Locations
Heavy-duty die-cast aluminum housing and door
Polyester powder (R40) standard in dark bronze
Heat and impact resistant tempered flat glass lens

NOTES

1. P.E.C.L. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
4. THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HILTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC., OUTDOOR LIGHTS ONLY.

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NAME: X:\MAPS\1603002L.DWG

PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: ENG
CHECKED BY: ENG
DRAWN BY: RBT
DATE: 3/7/16
SCALE: 1" = 60'
PROJECT NO.: 1603002L
MAP NO.: 00000000

SHEET NO.
1
OF
1

LIGHTING PROPOSAL FOR
ISLAND REC CENTER
WILBORN AND SCHOOL ROAD
TJH
BEAUFORT COUNTY, SOUTH CAROLINA

MARK	DATE	DESCRIPTION
	03/08/16	DRB FINAL REVIEW

PROJECT NO: FWA 2456.01

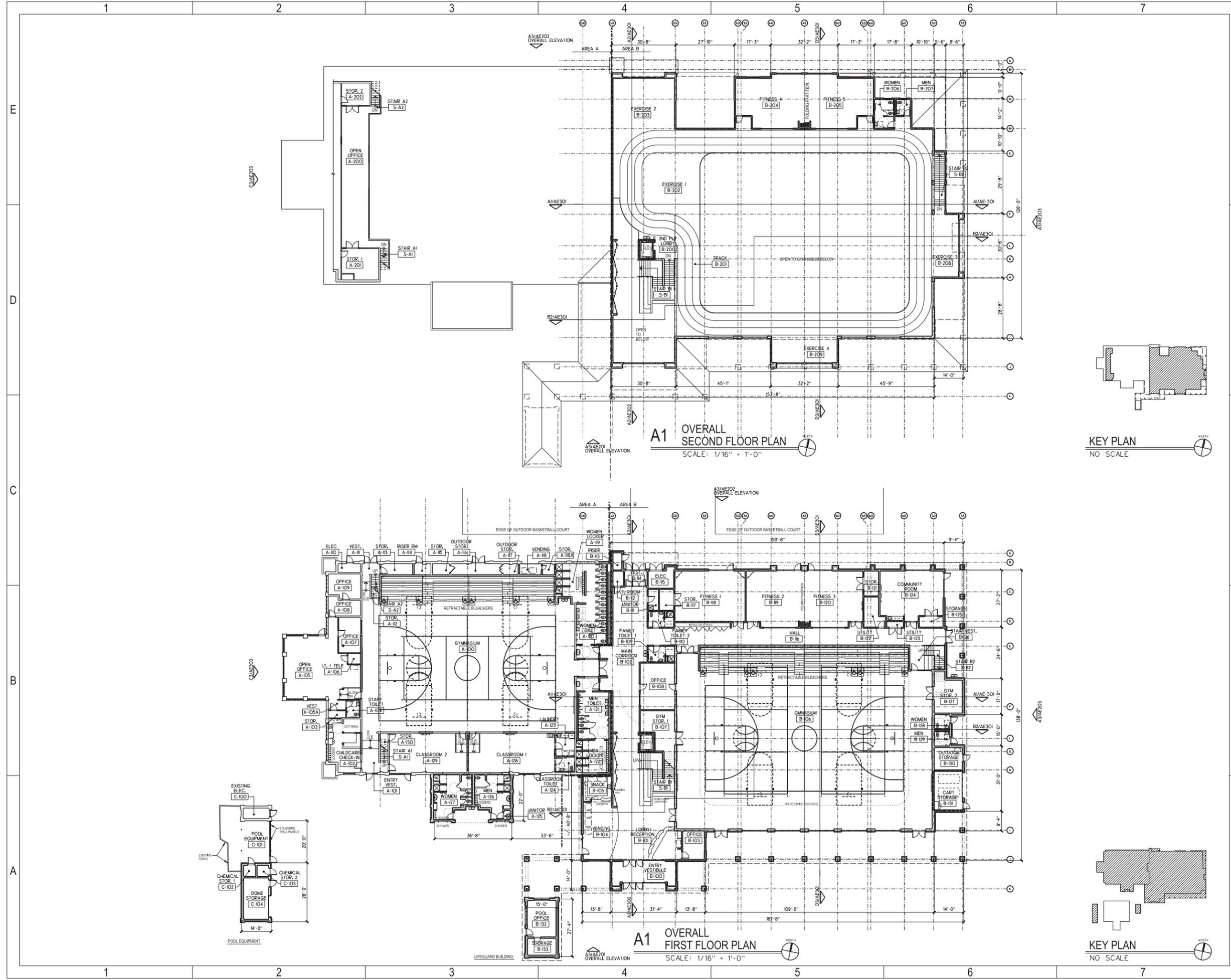
DRAWN BY: MJR
APPROVED BY: BHT

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SHEET TITLE
OVERALL FLOOR PLANS

SHEET NUMBER

G1200



A1 OVERALL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

A1 OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

KEY PLAN
NO SCALE

KEY PLAN
NO SCALE

3/7/2016 12:38:46 PM H:\2456.01 - Island Recreation Center\2456.01 - G1200.dwg 02/20/16

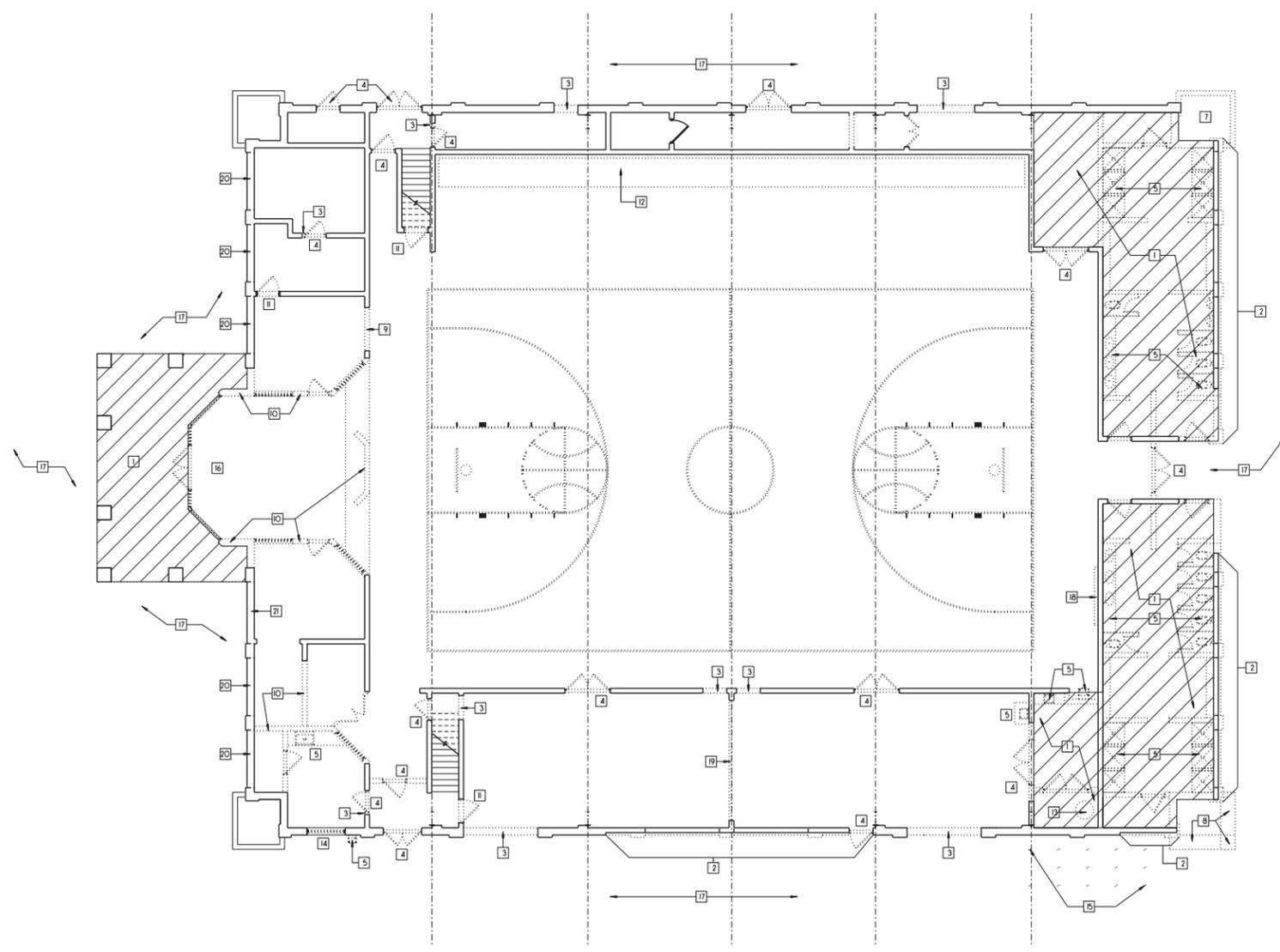
1 2 3 4 5 6 7

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D
C
B
A

DEMOLITION NOTES: (THIS SHEET ONLY)

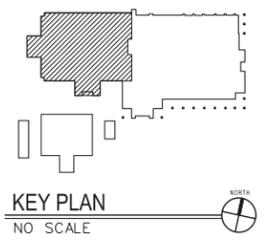
- SEE PLUMBING, MECHANICAL, AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
- VERIFY EXISTING CONDITIONS BEFORE BEGINNING ANY DEMOLITION WORK - NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES
- SEE STRUCTURAL DRAWINGS FOR DEMOLITION OF EXISTING STRUCTURAL COMPONENTS
- SEE CIVIL DRAWINGS FOR DEMOLITION OF SITE FEATURES
- TAKE CARE NOT TO DAMAGE EXISTING FINISHES AND MATERIAL TO REMAIN. REPLACE ANY DAMAGED MATERIAL WITH SAME FOR A LIKE NEW CONDITION.
- AT AREAS OF EXTERIOR DEMOLITION SALVAGE EXISTING BRICK VENEER FOR REUSE - CLEAN DIRT AND GROUT OFF FACES AND TAKE CARE NOT TO DAMAGE BRICK
- REMOVE EXISTING ROOF SOFFIT AT ALL AREAS OF BUILDING - TAKE CARE NOT TO DAMAGE EXISTING METAL FASCIA TO REMAIN
- REMOVE EXISTING BASKETBALL GOALS AND OPERATORS
- ALL AREAS OF WOOD FLOORING TO BE REMOVED INCLUDING WALL BASE AND SLEEPERS - REMOVE ANY GLUE RESIDUE AND PREPARE FLOORING FOR INSTALLATION OF NEW GYM FLOORING
- REMOVE ALL FLOOR FINISHES AND WALL BASE - REMOVE GLUE RESIDUE AND PREPARE CONCRETE SLAB FOR INSTALLATION OF NEW FLOORING - SEE FINISH SCHEDULE
- ACOUSTICAL CEILING TILE AND GRID ARE TO BE REMOVED THROUGHOUT ENTIRE EXISTING FACILITY
- REMOVE ALL WALL MOUNTED SHELVING, CASEWORK, AND MISC. EQUIPMENT
- SEE STRUCTURAL DRAWINGS ON EXTENT OF ROOF STRUCTURE TO BE REMOVED
- REMOVE ALL AREAS OF SLOPING FLOOR WHERE TRANSITION OCCURS AT EXISTING WOOD FLOOR TO SLAB
- REMOVE ALL TRANSLUCENT WALL PANELS AND RELATED FLASHING AT HIGH ROOF - PREPARE OPENING FOR INSTALLATION OF NEW TRANSLUCENT PANELS
- REMOVE ALL INTERIOR MECHANICAL GRILLES - SEE MECHANICAL DRAWINGS

- 1 AREA OF CONCRETE SLAB TO BE REMOVED.
- 2 REMOVE BRICK VENEER - SALVAGE FOR REUSE
- 3 REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF DOOR AND FRAME - SEE STRUCTURAL DRAWINGS FOR LINTEL - COORDINATE OPENING SIZE WITH FRAME DIMENSIONS
- 4 REMOVE EXISTING DOOR, FRAME AND HARDWARE
- 5 REMOVE EXISTING PLUMBING FIXTURES - SEE PLUMBING DRWGS
- 6 REMOVE EXISTING WALL CONSTRUCTION - SEE STRUCTURAL DRAWINGS FOR BRACING OF EXISTING BEAMS AND STRUCTURAL COMPONENTS TO REMAIN
- 7 REMOVE PLANTER - SALVAGE BRICK FOR REUSE
- 8 REMOVE COLUMN, ROOF ABOVE, AND COUNTER - COORDINATE REMOVAL OF COLUMN AND ROOF ABOVE WITH STRUCTURAL DRWGS
- 9 REMOVE PORTION OF WALL TO RECEIVE NEW WINDOW UNIT - COORDINATE OPENING SIZE WITH WINDOW REQUIREMENTS
- 10 REMOVE EXISTING WALL CONSTRUCTION - SEE STRUCTURAL DRWGS FOR ANY LINTEL, BEAM, OR BRACING REQUIREMENTS, TYP.
- 11 REMOVE EXISTING DOOR - DOOR FRAME IS TO REMAIN - SAND, CLEAN AND PRIME FOR NEW DOOR AND HARDWARE
- 12 REMOVE EXISTING BLEACHERS AND ALL BLEACHER COMPONENTS
- 13 REMOVE EXISTING WATER HEATER - SEE PLUMBING DRWGS
- 14 REMOVE EXISTING WINDOW, FRAME AND ANY FLASHING
- 15 REMOVE EXISTING BOLLARDS, TYP.
- 16 REMOVE EXISTING STOREFRONT SYSTEM
- 17 SEE CIVIL DRAWINGS FOR DEMOLITION OF WALKS AND SITE FEATURES
- 18 EXISTING SCOREBOARD IS TO BE REMOVED AND STORED FOR REINSTALLATION
- 19 REMOVE EXISTING FOLDING WALL PARTITION AND ANY RELATED HARDWARE
- 20 REMOVE EXISTING HIGH WINDOW, FRAME AND ANY FLASHING - PREPARE OPENING FOR NEW WINDOW
- 21 REMOVE EXISTING HIGH WINDOW, FRAME AND ANY FLASHING - PREPARE OPENING FOR NEW INFILL WALL



A3 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

LEGEND
 ——— EXISTING CONSTRUCTION TO REMAIN
 - - - - - EXISTING CONSTRUCTION TO BE REMOVED



3500 East Blvd
Charleston, NC 29203
(704) 332-7004
(704) 332-8829 fax

10 Palmetto Business Park
PO Box 5915
Hilton Head Island, SC 29928
(843) 782-2199
(843) 782-8901 fax



HHI - ISLAND RECREATION CENTER ADDITIONS & RENOVATIONS

Town of Hilton Head Island
Hilton Head Island, South Carolina

MARK	DATE	DESCRIPTION
	03/08/16	DRB FINAL REVIEW

PROJECT NO:
FWA - 2456.01

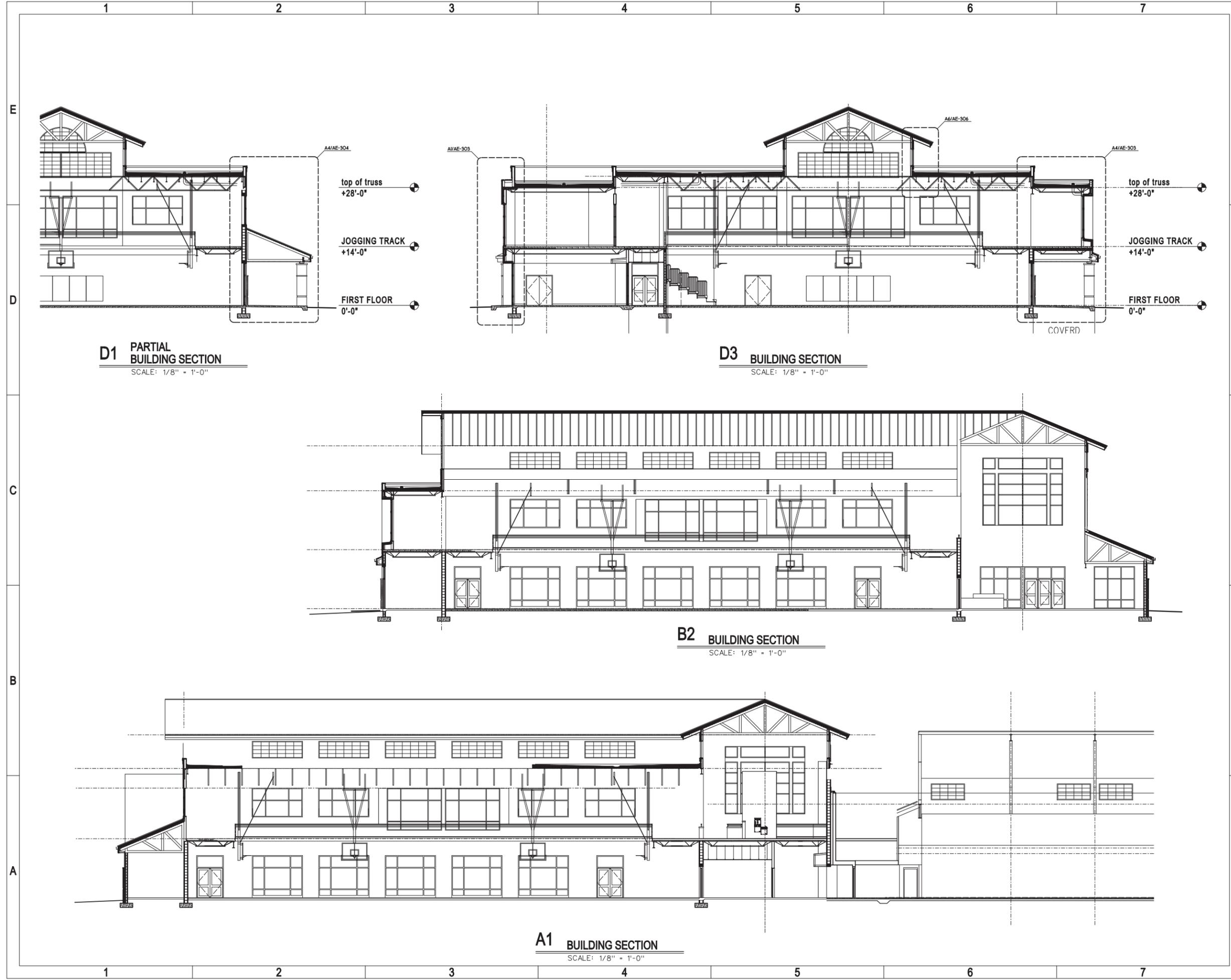
DRAWN BY: MJR
APPROVED BY: BHT

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SHEET TITLE
FIRST FLOOR DEMOLITION PLAN

SHEET NUMBER

AD101



D1 PARTIAL BUILDING SECTION
SCALE: 1/8" = 1'-0"

D3 BUILDING SECTION
SCALE: 1/8" = 1'-0"

B2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

A1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



HHI - ISLAND RECREATION CENTER ADDITIONS & RENOVATIONS

Town of Hilton Head Island
Hilton Head Island, South Carolina

MARK	DATE	DESCRIPTION
	02/02/16	W

PROJECT NO:
FWA 2456.01

DRAWN BY: MJR
APPROVED BY: BHT

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SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
AE-301

MARK	DATE	DESCRIPTION
	03/08/16	DRB FINAL REVIEW

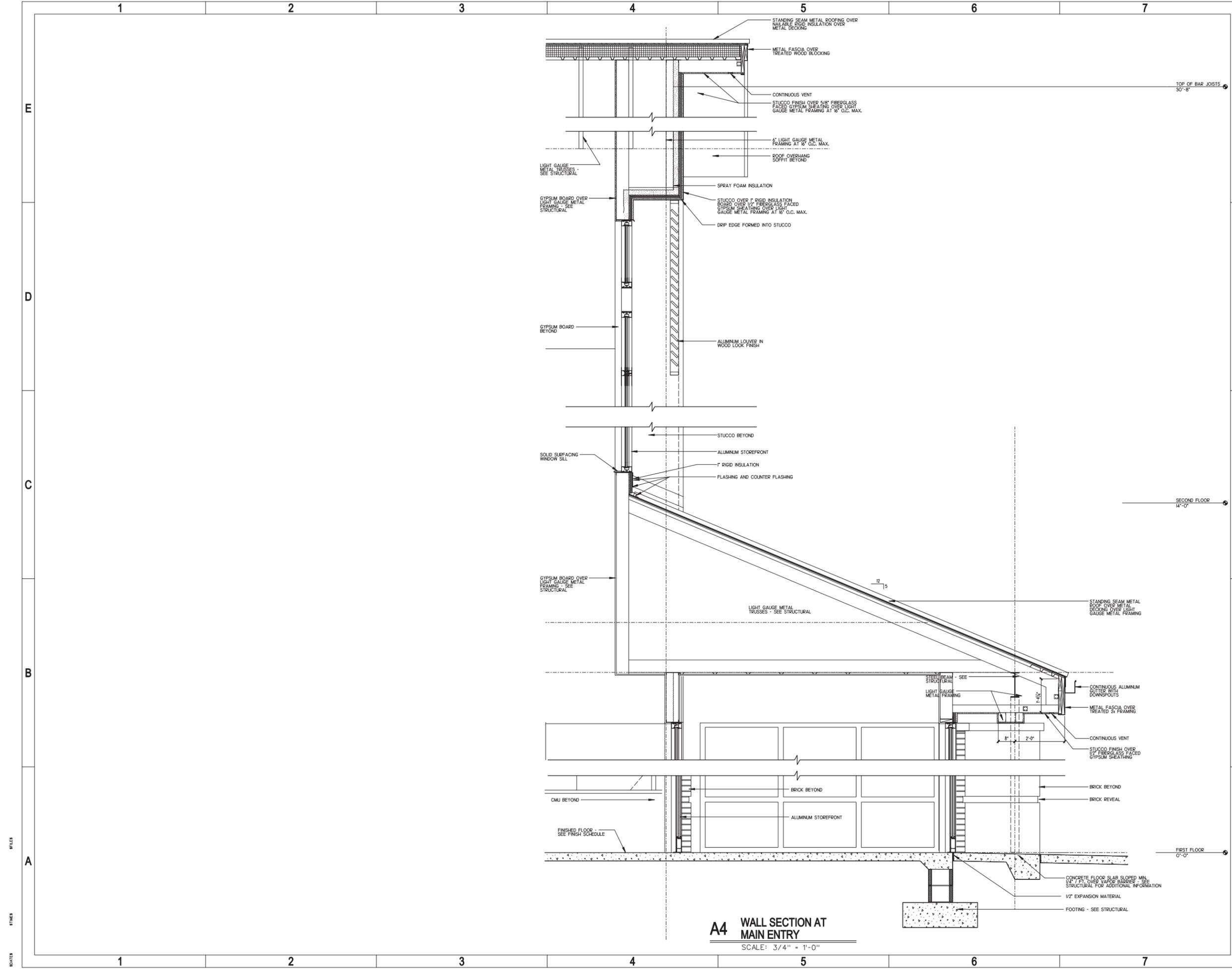
PROJECT NO:
FWA 2456.01

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APPROVED BY: BHT

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SHEET TITLE
WALL SECTIONS

SHEET NUMBER
AE-305



A4 WALL SECTION AT
MAIN ENTRY
SCALE: 3/4" = 1'-0"

MARK	DATE	DESCRIPTION
	03/08/16	DRB FINAL REVIEW

PROJECT NO:	FWA 2456.01
DRAWN BY:	MJR
APPROVED BY:	BHT

PROJECT NO: FWA 2456.01

DRAWN BY: MJR
APPROVED BY: BHT

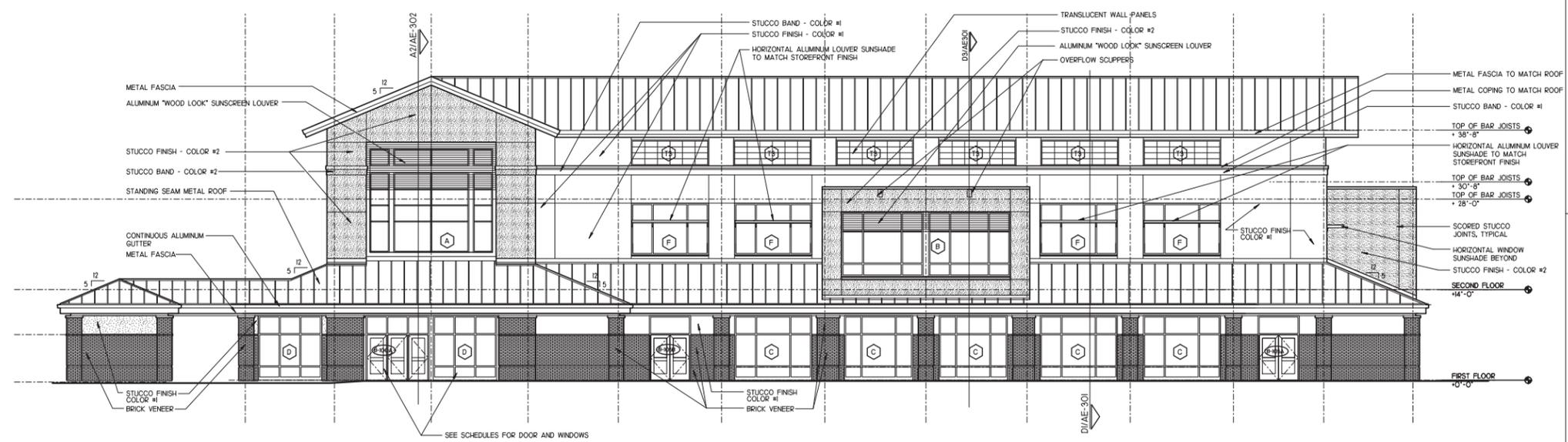
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SHEET TITLE

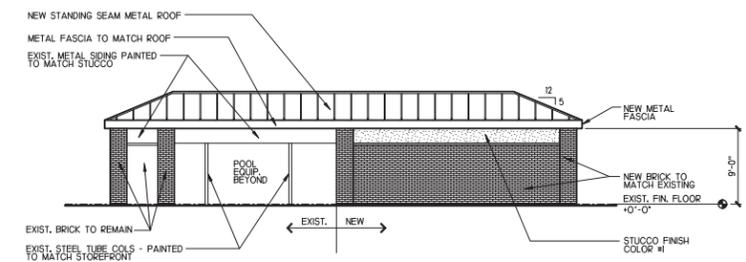
EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER

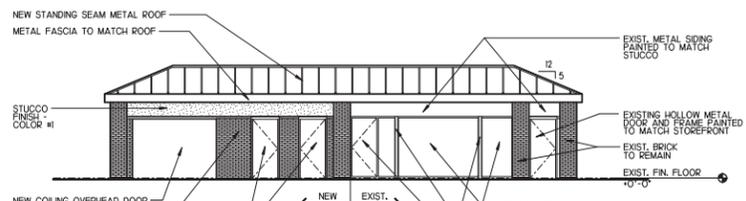
AE201



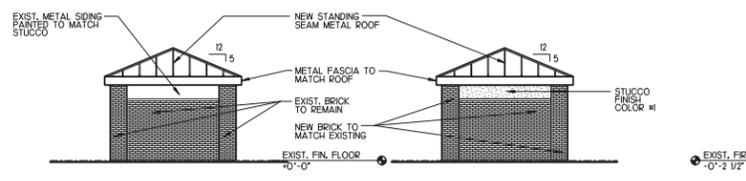
D2 PARTIAL SOUTH / ENTRY ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: ALL STUCCO IS COLOR #1 EXCEPT WHERE NOTED



C1 POOL EQUIP BLDG. WEST BLDG. ELEV.
SCALE: 1/8" = 1'-0"

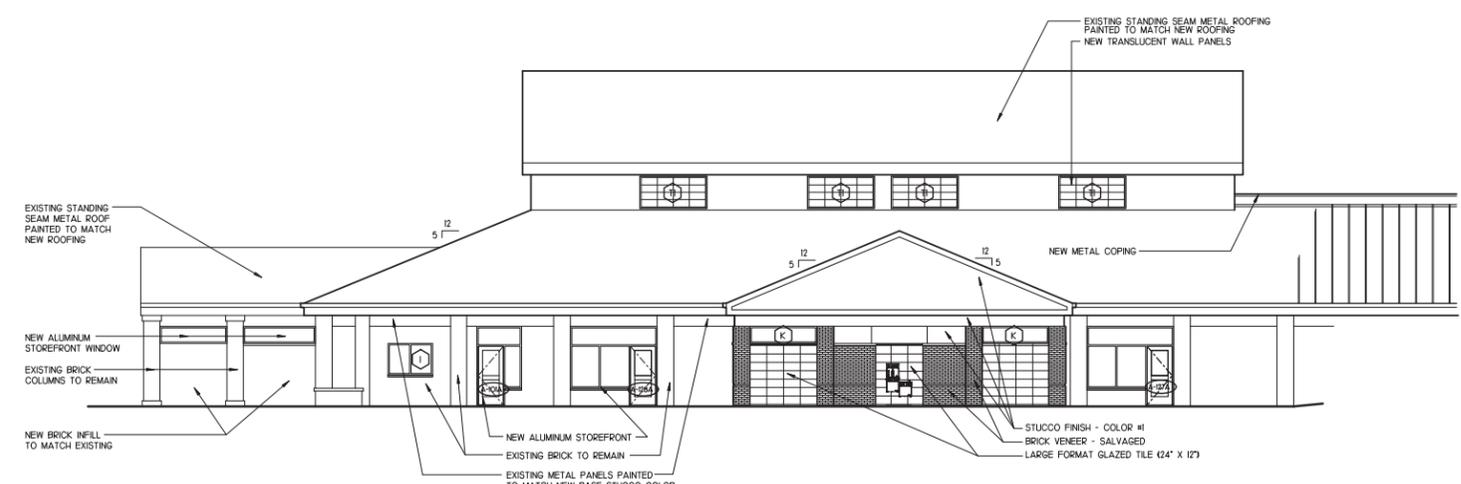


B1 POOL EQUIP BLDG. EAST BLDG. ELEV.
SCALE: 1/8" = 1'-0"

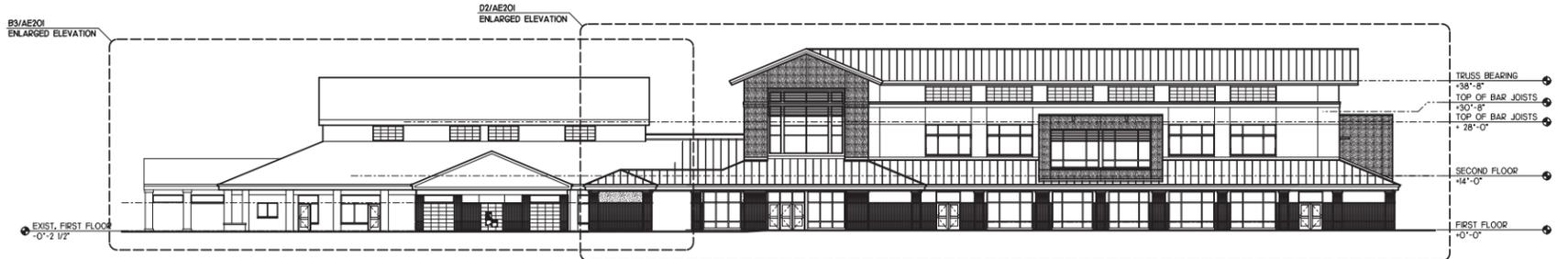


A1 POOL EQUIP BLDG. NORTH BLDG. ELEV.
SCALE: 1/8" = 1'-0"

A2 POOL EQUIP BLDG. SOUTH BLDG. ELEV.
SCALE: 1/8" = 1'-0"



B3 PARTIAL SOUTH / ENTRY ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: ALL STUCCO IS COLOR #1 EXCEPT WHERE NOTED

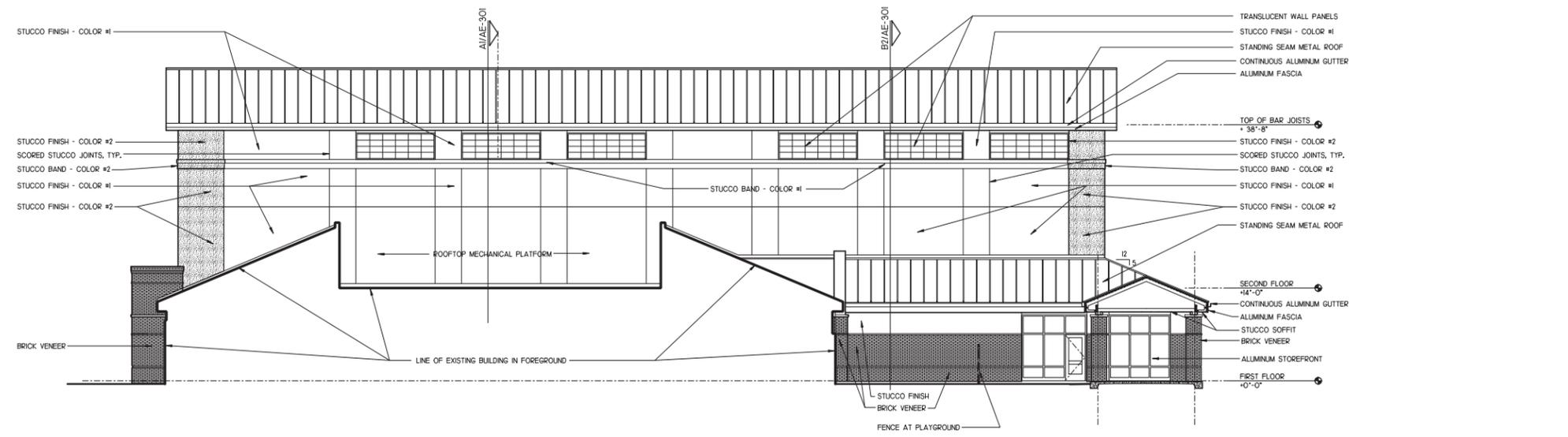


A3 OVERALL SOUTH / ENTRY ELEVATION
SCALE: 1/16" = 1'-0"

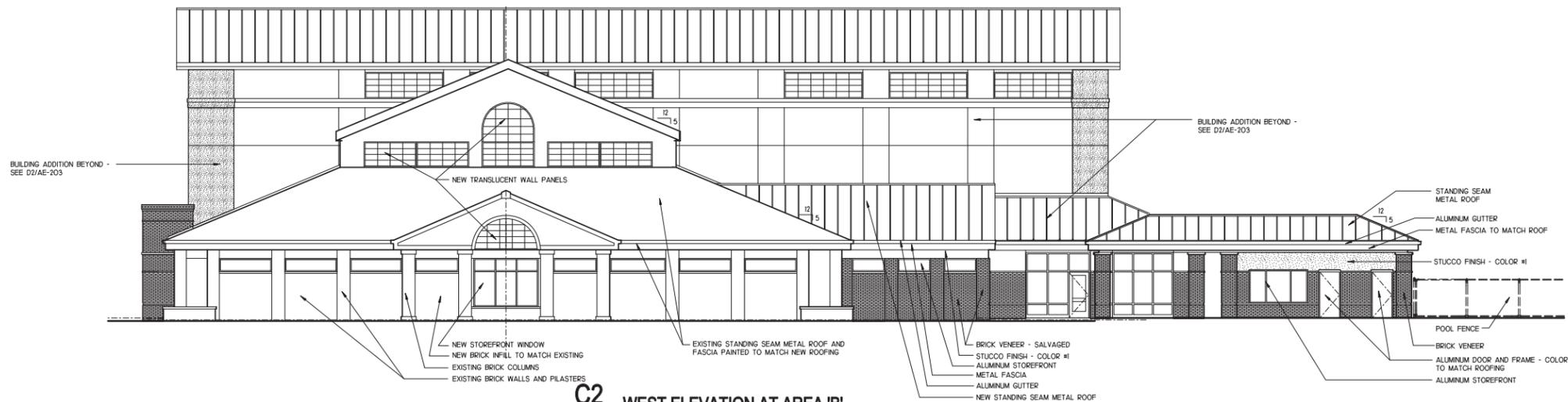
E
D
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STAIRS
ROOF

1 2 3 4 5 6 7

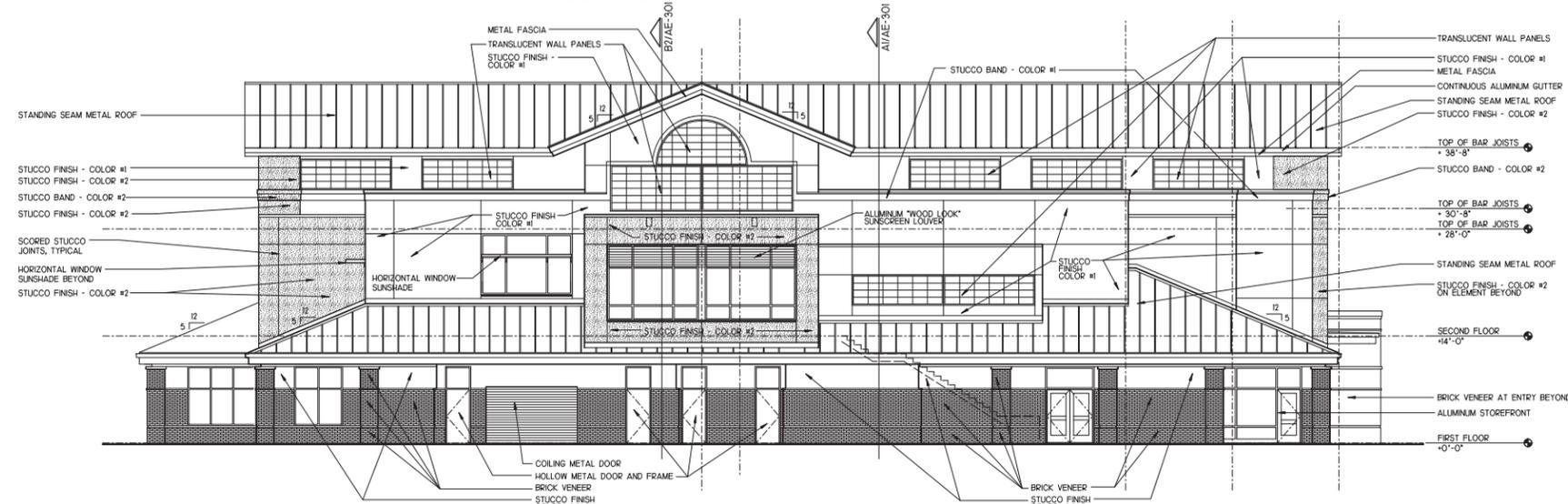
1 2 3 4 5 6 7



D2 WEST ELEVATION AT AREA 'A'
SCALE: 1/8" = 1'-0"
NOTE: ALL STUCCO IS COLOR #1 EXCEPT WHERE NOTED



C2 WEST ELEVATION AT AREA 'B'
SCALE: 1/8" = 1'-0"
NOTE: ALL STUCCO IS COLOR #1 EXCEPT WHERE NOTED



A3 EAST ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: ALL STUCCO IS COLOR #1 EXCEPT WHERE NOTED

MARK	DATE	DESCRIPTION
	03/08/16	DRB FINAL REVIEW

PROJECT NO:
FWA 2456.01

DRAWN BY: MJR
APPROVED BY: BHT

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SHEET TITLE
EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER
AE203

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HHI-IRC Additions and Renovations – NEW DEVELOPMENT DRB#: DRB-000438-2016
FINAL

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide plan indicating locations for all exterior lighting besides parking lot lighting.
2. Provide detail or manufacturer’s cut sheet for shade structures.
3. Consider addition of evergreen shrubs to screen dumpster enclosure.
4. Clarify location of “red” porcelain wall tile.
5. Provide details for playground shade structure.

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Forms, details, & materials complement the existing building.
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian pathways/connections and adjacency to fences, buildings, etc. should be studied as plans progress.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping will be an important component of final submittal.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include stucco and brick.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed roof pitch is predominantly 5/12 to match existing.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include brick to match existing, sand finish cement stucco, and standing seam metal roof. Colors include weathered zinc, gull gray, red clay, honey knotty pine.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Vertical window louver (aluminum in wood look finish)
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed dumpster enclosure
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bronze shoebox on wood pole used for parking lot lighting.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed shade trees are 3” caliper.
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Podocarpus between fence and sidewalk will have to be maintained in hedge form.
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site’s structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

between parking lots and building(s)				
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Variety of texture
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Native plants include Red Maple, Long Leaf Pine, Live Oak, Sabal Palmetto, Bald Cypress, and Anise.
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plan includes over-story trees, understory trees, shrubs and ground covers.
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lawn areas used for recreation and stormwater.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<i>NATURAL RESOURCE PROTECTION</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Most new construction is located on existing open fields/existing tennis courts which minimizes the number of trees to be removed. No significant trees are noted to be removed.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Per submitted chard; to be confirmed during DPR
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Can excess pavement be reduced in parking lot by curving parking in corners adjacent to School Road?



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MICHAEL KRONIMUS Company: KRA, INC.
 Mailing Address: 2 VERDIER PLANTATION RD City: BLUFFTON State: SC Zip: 29910
 Telephone: 815-2021 Fax: _____ E-mail: mwk@krasc.com
 Project Name: PARK LANE OFFICE BLDG Project Address: 10 PARK LANE
 Parcel Number [PIN]: R550 015 00C 0242 0000
 Zoning District: LIGHT COMMERCIAL Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|---|--|
| <input type="checkbox"/> Concept Approval – Proposed Development | <input type="checkbox"/> Alteration/Addition |
| <input checked="" type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

3/8/16
DATE



March 8, 2016

Town of Hilton Head
Design Review Board
Atten: Jennifer Ray

RE: 10 Park Lane – DRB Concept Application

Jennifer,

This serves as a narrative to the proposed work to be performed. Our client wishes to develop the property for his personal office location. The client has multiple business' and would like to design the property into a compound style layout. Enclosed is the survey, proposed site plan, site analysis, color renderings, elevations and floor plan.

Site:

Currently the site is completely wooded with an abundance of trees. The property neighbors a hotel on one side and a church on the other. The Park Lane neighborhood consists of commercial businesses with a simple older lowcountry hilton head design appearance. We would like to place the buldings in a rectangle with a natural congagation center in the middle which would consist of a reflection pool, a congregation courtyard and stair down to parking. All business' interact with each other, so the courtyard would act as a natural gathering place and also the main for of circulation. The idea is to remove as little natural vegetaiton and trees as possible keeping the property wooded. There are multiple stairs accessing the project, and there is also an elevator for ADA access. The project will be elevated approx. 10' above grade to allow for parking under the building. This will reduce the parking footprint in the front of the building letting us keep more natural vegetation and allow us to plant more folliage. We are proposing an under ground retention in the parking area under the buildings and also under the front parking lot.

Building:

The buildings will be placed as previously noted in a rectangle configuration focusing on the central courtyard feature. The main entry building will host reception, restrooms and all public meeting and conference rooms. This will enable all business to utilize one common meeting space. Another building will host a café, gym, locker rooms, showers, restrooms and storage areas. This will enable all employees to gather in one location for recreation and dining. The two remaining buildings will house the multitude of business' that work with each other on a daily basis. There views focus on the courtyard and also the natural exterior vegetation. The project is elevated to allow for parking below the facility with stair access to the common courtyard area. We have introduced all sloped roofs to be in compliance with the "Hilton Head Design Guidelines" as per the conceptual DRB meeting.

Simple materials are to be used: Stucco, Siding, Decking, Metal Roofs and Vertical Panels. The colors proposed will be natural with shades of whites and greys to blend into the surroundings.

This concludes our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael W. Kronimus', written over a light blue horizontal line.

Michael W Kronimus
KRA architecture + design



HILTON HEAD OFFICE BUILDING



FIRST CHURCH OF CHRIST SCIENTIST

SEVENTH DAY ADVENTIST CHURCH

POPEYE'S





BB&T CARSWELL



CHARTER ONE REALTY



NICKS SEAFOOD

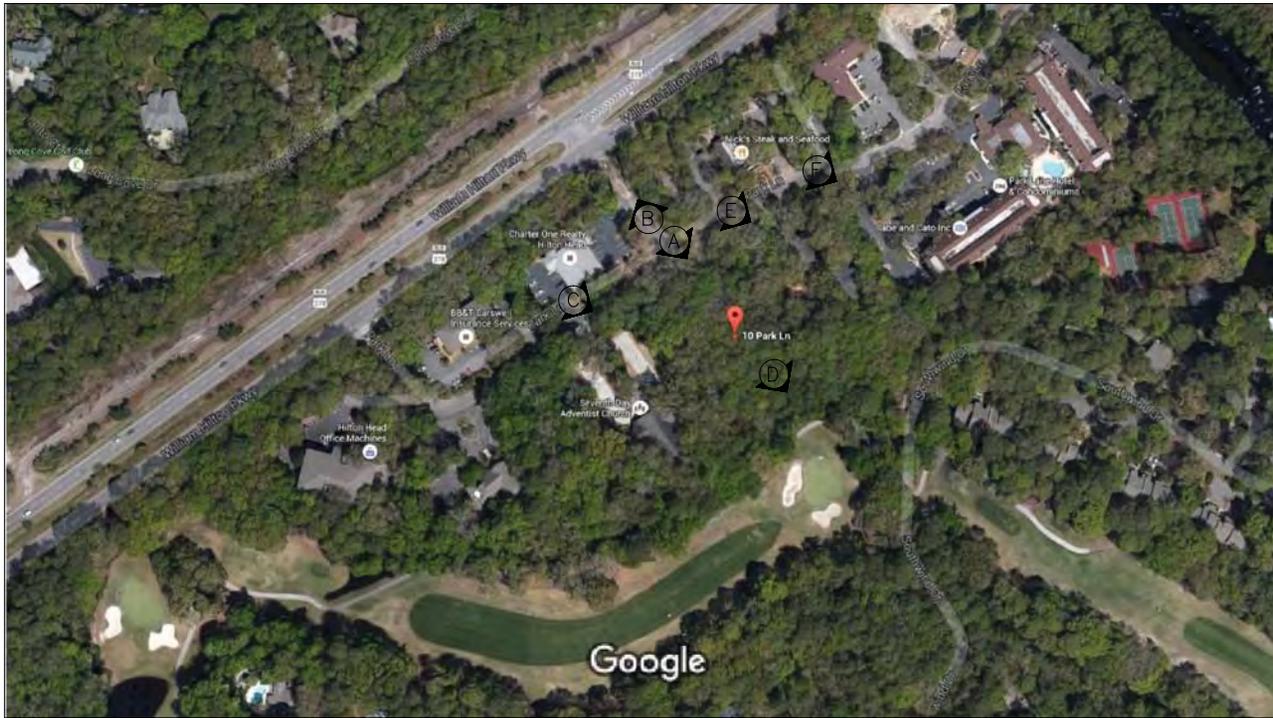


CHARTER ONE REALTY



PARK LANE HOTEL





F SITE PHOTO
 EX1 SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



E SITE PHOTO
 EX1 SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



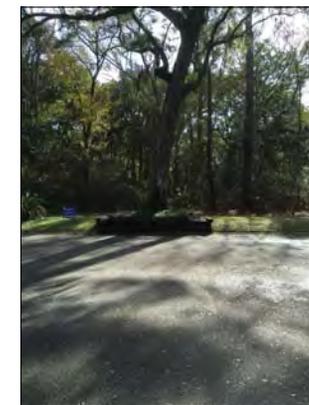
D SITE PHOTO
 EX1 SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



C SITE PHOTO
 EX1 SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



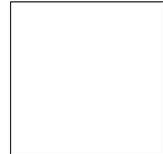
B SITE PHOTO
 EX1 SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



A SITE PHOTO
 EX1 SCALE: NO SCALE REFER TO SURVEY FOR LOCATION

**Park Lane
 Office Building**

10 Park Lane
 Hilton Head, SC



KRA architecture + design

1 843.616.8281
 1 843.706.9480
 www.kra.com

KRA architecture + design
 2 Vester Plummer Road
 Bluffton, SC 29910



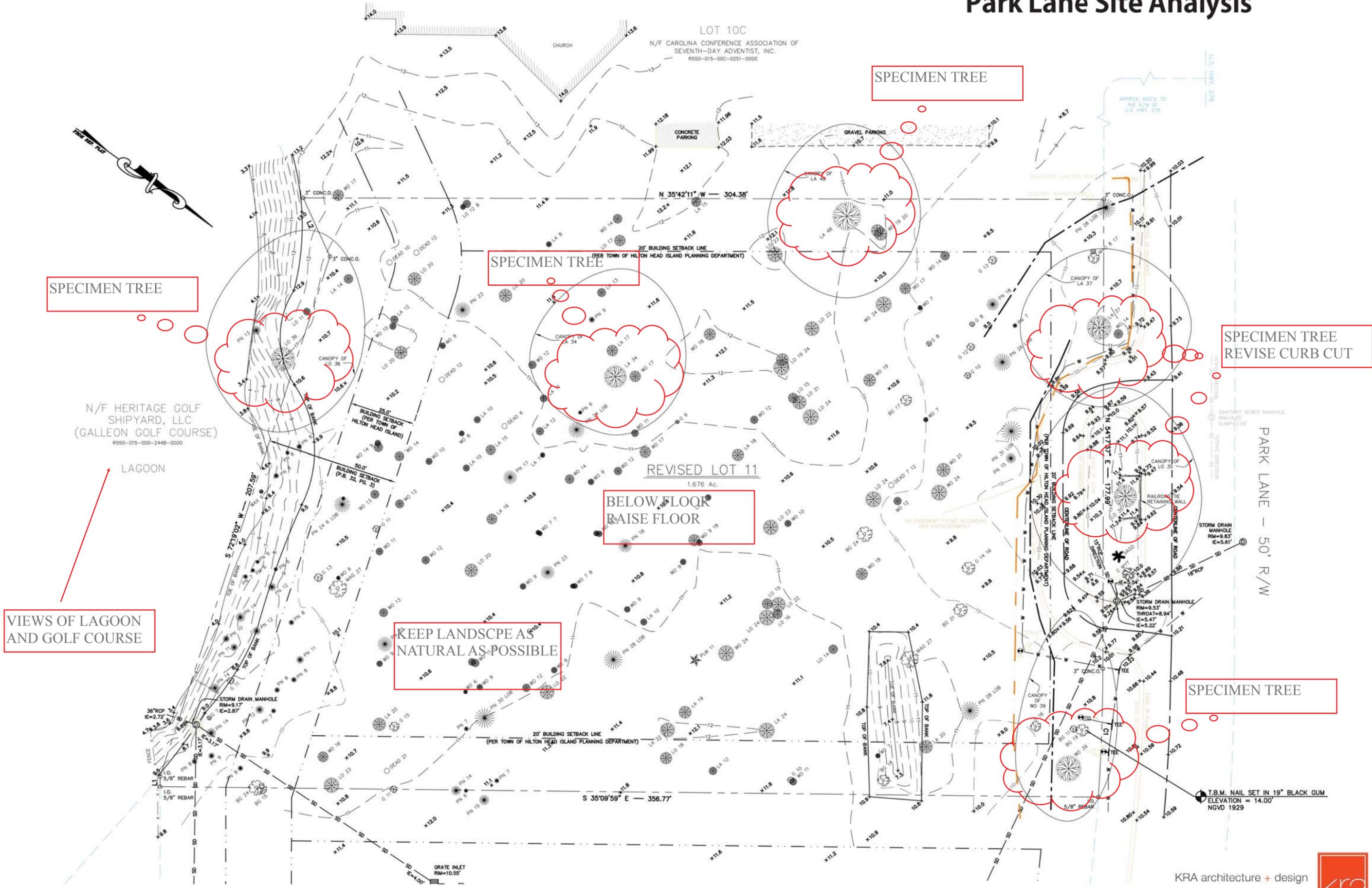
Scaled By: _____
 Drawn By: umc
 Created By: umc
 Date: 08.07.16
 Revision:

Project No: 151-46
 File Name: _____
 Drawing Title: _____

**EXISTING SITE
 PHOTOS**

Sheet No: **EX1**
 Scale: _____

Park Lane Site Analysis



PAVING SCHEDULE

SYMB.	SPECIFICATION
[Pattern]	PERMEABLE PAVERS
[Pattern]	CONCRETE TABBY

SITE FURNISHINGS SCHEDULE

SYMB.	QTY.	SPECIFICATION
[Symbol]	1	ENTRY SIGN, REFER TO DETAIL 1/L2 MODEL: HJ238-13-IG/8F8G FINISH: POWDER COATED, BLACK MANUFACTURER: MADRAX NOTE: OR APPROVED EQUAL
[Symbol]	1	BIKE RACK, REFER TO DETAIL 2/L2 MODEL: HEAVY DUTY WINDER BIKE RACK - 13 BIKE FINISH: POWDER COATED, BLACK MANUFACTURER: MADRAX NOTE: OR APPROVED EQUAL
[Symbol]	1	ELECTRIC CHARGING STATION, REFER TO DETAIL 3/L2 MODEL: CT4011 OR CT4021 6' BOLLARD MANUFACTURER: CHARGEPOINT, INC. WWW.CHARGEPOINT.COM NOTE: OR APPROVED EQUAL

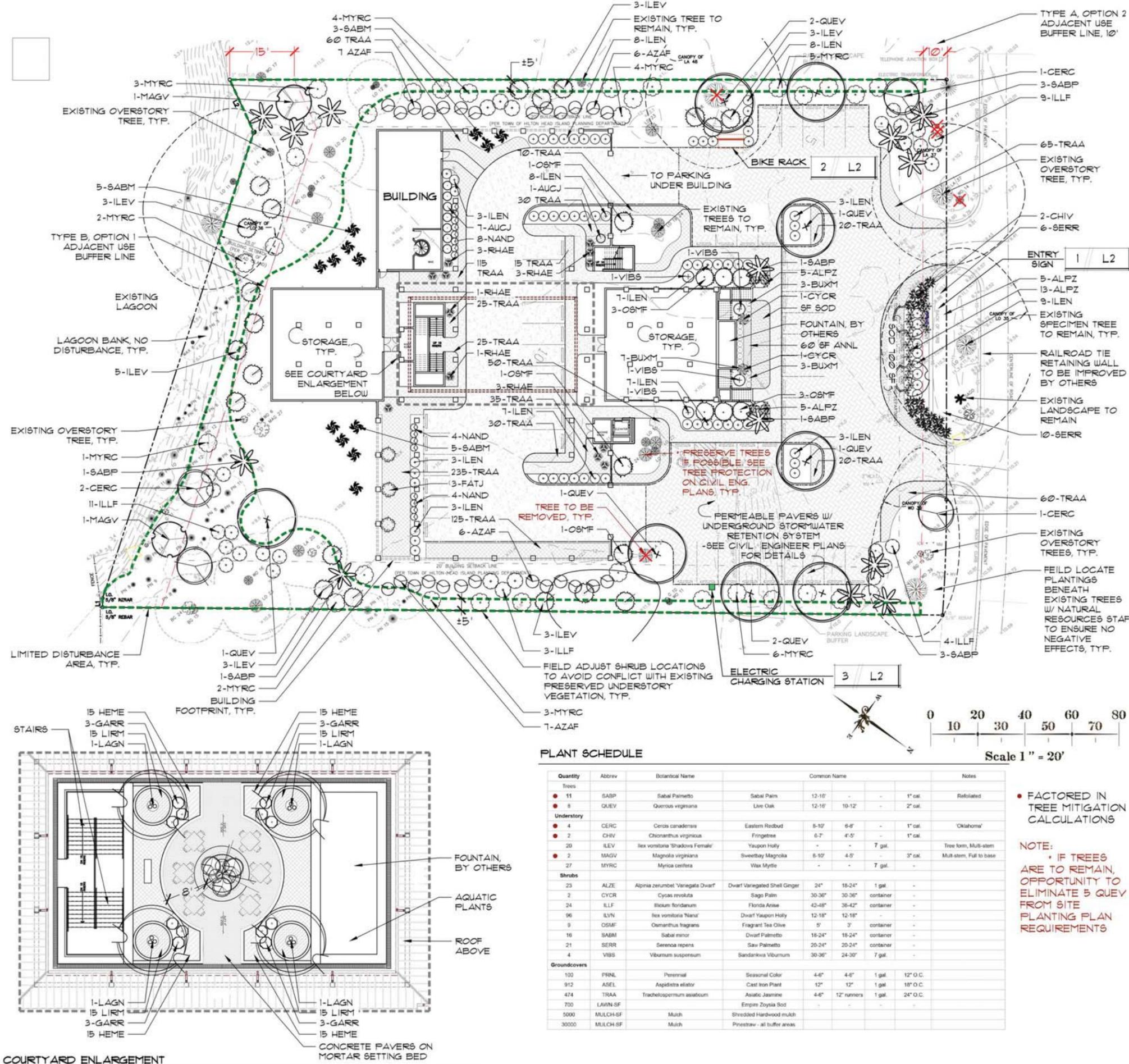
DEVELOPMENT SUMMARY

BUILDING CALCULATIONS:	
PROPERTY ACERAGE =	167 AC.
ALLOWABLE DENSITY =	16,100 SF
PROPOSED DENSITY =	16,600 SF
HEIGHT LIMIT = 45'-0"	
PROPOSED HEIGHT = 32'-0"	
NATURAL RESOURCE CALCULATIONS:	
SITE AREA =	167 AC.
MAX IMPERVIOUS (60%) =	100 AC.
MIN PERVIOUS (40%) =	67 AC.
PROPOSED IMPERVIOUS =	63 AC.
PROPOSED PERVIOUS =	104 AC.
MIN. TREE COVERAGE 0.61 X 300 =	603 ACI
PRE CONSTRUCTION ACI =	948
POST CONSTRUCTION ACI =	836.5
REPLACEMENT PLANTING =	0
ZONING:	
ZONING DISTRICT =	LC (LIGHT COMMERCIAL)
PARKING OFFICE =	1/350 GFA
STALLS REQUIRED =	41
STALLS PROVIDED =	41
BUILDING SETBACK =	25'-0"
BUFFER SETBACK =	10'-0"

CONTACTS:

CIVIL ENGINEER:
ALLIANCE CONSULTING ENGINEERS
23 PLANTATION PARK DRIVE, SUITE 204
BLUFFTON, SC 29910
843.751.9959

ARCHITECTS:
KRA ARCHITECTURE & DESIGN
39 FEARCE ROAD
BLUFFTON, SC 29910
843.815.2021
EMAIL: MUK@KRAASC.COM



COURTYARD ENLARGEMENT

SCALE: 1" = 10'-0"

PLANT SCHEDULE

Quantity	Abbrev	Botanical Name	Common Name	Notes
Trees				
11	SABP	Sabal Palmetto	Sabal Palm	12-18" - 1" cal. Replanted
8	QUEV	Quercus virginiana	Live Oak	12-18" 10-12" - 2" cal.
Understory				
4	CERC	Cercis canadensis	Eastern Redbud	8-10" 6-8" - 1" cal. 'Oklahoma'
2	CHIV	Chionanthus virginicus	Fringetree	6-7' 4-5" - 1" cal.
20	ILEV	Ilex verticillata 'Shadows Female'	Yaupon Holly	- - - 7 gal. Tree form, Multi-stem
2	MAGV	Magnolia virginiana	Sweetbay Magnolia	8-10" 4-5" - 3" cal. Multi-stem, Full to base
27	MYRC	Myrica cerifera	Wax Myrtle	- - - 7 gal.
Shrubs				
23	ALZE	Alpinia zerumbet 'Variegata Dwarf'	Dwarf Variegated Shell Ginger	24" 18-24" 1 gal.
2	CYCR	Cycas revoluta	Sago Palm	30-36" 30-36" container
24	ILLF	Illicium floridanum	Florida Anise	42-48" 36-42" container
96	ILVN	Ilex verticillata 'Nana'	Dwarf Yaupon Holly	12-18" 12-18" -
9	OSMF	Osmarthus fragrans	Fragrant Tea Olive	5' 3" container
10	SABM	Sabal minor	Dwarf Palmetto	18-24" 18-24" container
21	SERR	Serenca repens	Saw Palmetto	20-24" 20-24" container
4	VIBS	Viburnum suspensum	Sandbarke Viburnum	30-36" 24-30" 7 gal.
Groundcovers				
100	PRNL	Perennial	Seasonal Color	4-6" 4-6" 1 gal. 12" O.C.
912	ASEL	Aspidistra elatior	Cast Iron Plant	12" 12" 1 gal. 10" O.C.
474	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4-6" 12" runners 1 gal. 24" O.C.
700	LAWN SF		Empire Zoysia Sod	
5000	MULCH-SF	Mulch	Shredded Hardwood mulch	
30000	MULCH-SF	Mulch	Pinestraw - all buffer areas	

• FACTORED IN TREE MITIGATION CALCULATIONS

NOTE:
• IF TREES ARE TO REMAIN, OPPORTUNITY TO ELIMINATE 5 QUEV FROM SITE PLANTING PLAN REQUIREMENTS

Winter Jones-Keefer Ltd.
landscape architecture
land planning
www.wjkltd.com
22 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.757.7411

SITE DEVELOPMENT PLANS FOR STRAUSS OFFICE PARK
HILTON HEAD ISLAND, SOUTH CAROLINA

DRAWING TITLE	
LANDSCAPE PLAN	
DRB PLAN	
DATE:	03-28-16
PROJECT NO.:	160601
DRAWN BY:	WM/CB/KJ
CHECKED BY:	WM
REVISIONS:	

DRAWING NUMBER
L1 of 2

FOR DESIGN REVIEW
NOT FOR CONSTRUCTION

FRONT BUFFER PLANT SCHEDULE

Quantity	Abbrev.	Botanical Name	Common Name	Height	Spread	Container	Cal/Spacing	Notes
Understory Trees								
1	CERC	Cercis canadensis	Eastern Redbud	8-10'	3-4'	-		
Evergreen Shrubs								
8	ILLF	Illicium floridanum	Florida Anise	42-48"	36-42"	container	-	
7	SERR	Serenoa repens	Saw Palmetto	20-24"	20-24"	container	-	

REAR BUFFER PLANT SCHEDULE

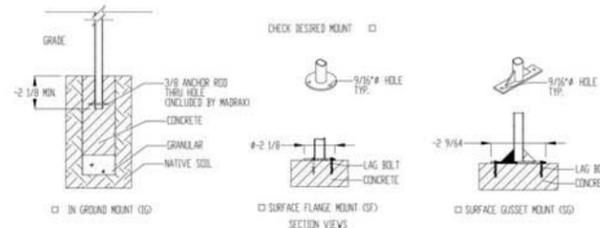
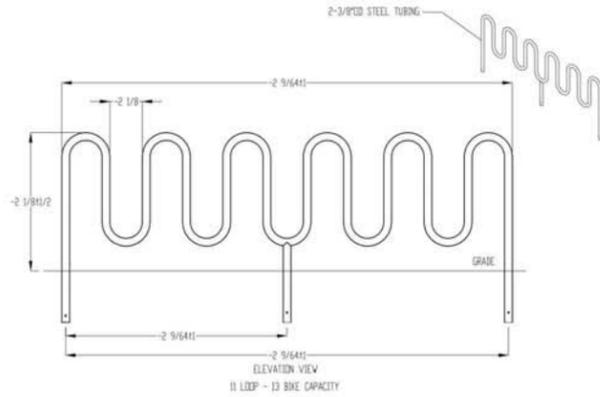
Quantity	Abbrev.	Botanical Name	Common Name	Height	Spread	Container	Cal/Spacing	Notes
Understory Trees								
2	CERC	Cercis canadensis	Eastern Redbud	8-10'	3-4'	-		
4	MAGV	Magnolia virginiana	Sweetbay Magnolia	6-8'	3-4'	-		
Evergreen Shrubs								
13	ILEV	Ilex vomitoria	Yaupon Holly	3-4'	3-4'	15 gal.		
5	ILLF	Illicium floridanum	Florida Anise	42-48"	36-42"	container	-	
5	MYRC	Myrica cerifera	Wax Myrtle	4-5'	2-3'	15 gal.	-	

REQUIREMENT FOR MIN. STANDARD OF TREE COVERAGE

Category	Tree Value Factor	Total DBH	Post-Development Tree Value ACI
Category I: Broad-leaved Evergreen Overstory Hardwood and Endangered Species	1	274	274
Category II: Deciduous Overstory Hardwoods and Broad-leaved Evergreen Understory	0.75	218	163.5
Category III: Cone-bearing Evergreens and Palms	0.5	240	120
TOTAL POST-DEVELOPMENT TREE VALUE ACI			557.5
min. standard			603

REPLACEMENT PLANTING
 Difference in ACI: 603 - 557.5 = 45.5
 30% of 45.5 = **13.65 INCHES TO BE REPLACED**

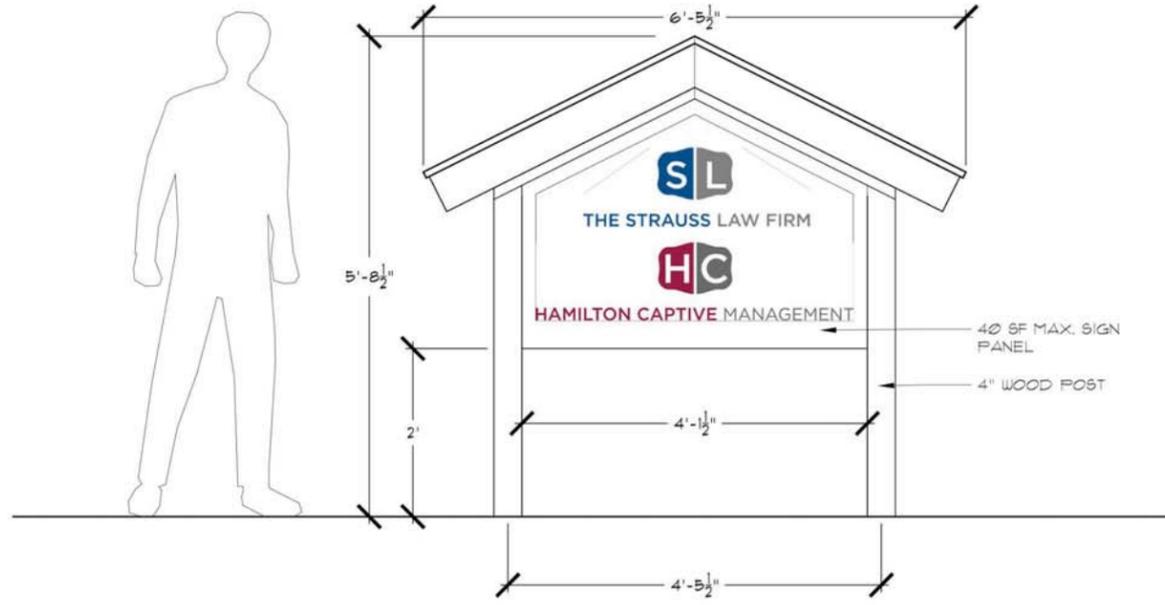
MADRAX DIVISION
 GRABER MANUFACTURING, INC.
 1800 WINDY BLDG.
 VAUMBERT, VA 22077
 PH: 800-440-7762, FAX: 800-440-7762, WWW.GRABER.COM
 WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



MANUFACTURER: MADRAX
 MODEL: HEAVY DUTY WINDER BIKE RACK, 13 BIKE
 FINISH: POWDER COATED, BLACK
 NOTE: OR APPROVED EQUAL



2 L2 BIKE RACK
 SCALE: NTS

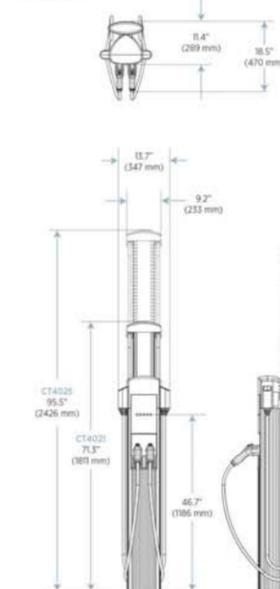


1 L2 ENTRY SIGN
 SCALE: 1" = 1'-0"



MANUFACTURER: CHARGEPOINT
 MODEL: CT4011 OR CT4021 6' BOLLARD
 NOTE: OR APPROVED EQUAL

CT4021 (6') and CT4025 (8')
 Bollard



NOTE:
 FOR INSTRUCTION DETAILS, SEE:
<http://www.chargepoint.com/files/CT4022%20Install%20Guide.pdf>

3 L2 ELECTRIC CHARGING STATION
 SCALE: NTS

SITE DEVELOPMENT PLANS
 FOR
STRAUSS OFFICE PARK
 HILTON HEAD ISLAND, SOUTH CAROLINA

DRAWING TITLE
DETAILS, PLANT SCHEDULE

DRB PLAN

DATE: 03-28-16

PROJECT NO.: 160601

DRAWN BY: WM/CB/KJ

CHECKED BY: WM

REVISIONS:

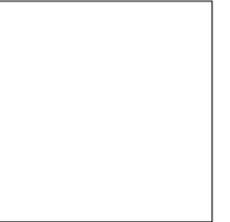
DRAWING NUMBER

L2 of 2

FOR DESIGN REVIEW
 NOT FOR CONSTRUCTION

Park Lane Office Building

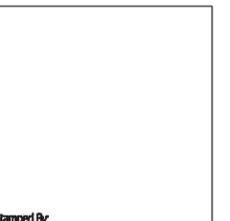
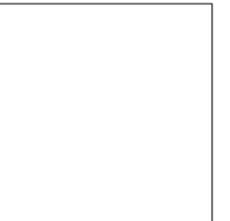
10 Park Lane
Hilton Head, SC



KRA architecture + design

t 843.815.2021
f 843.706.9480
www.kracb.com

KRA architecture + design
2 Verdier Plantation Road
Bluffton, SC 29910



Stamped By:

Drawn By: mkk

Checked By: krc

Date: 03.07.16

Revisions

NO.	DESCRIPTION	DATE

Project No. 15146

File Name:

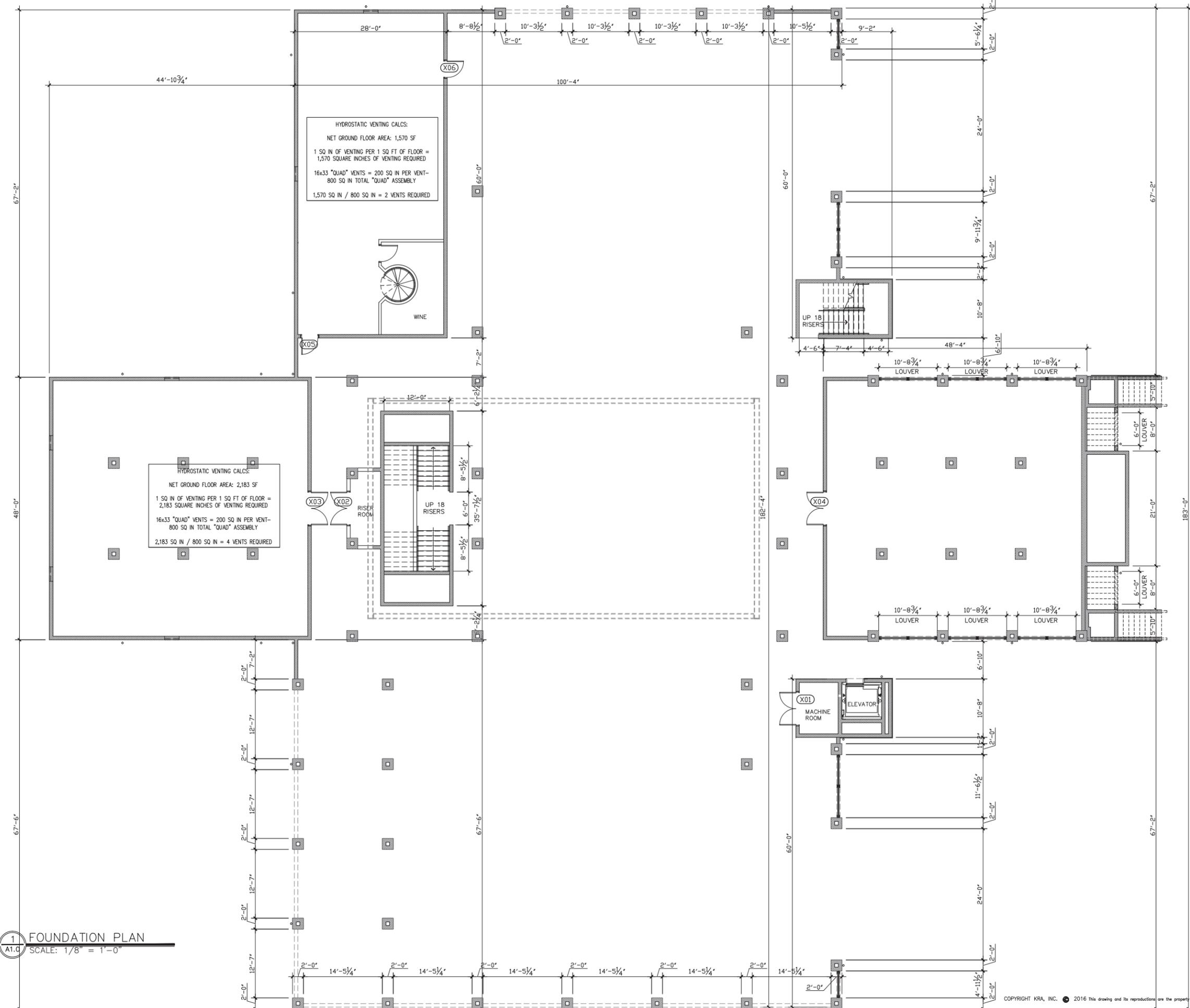
Drawing Title:

FOUNDATION PLAN

Sheet No.

A1.0

Scale:



1 FOUNDATION PLAN
A1.0 SCALE: 1/8" = 1'-0"

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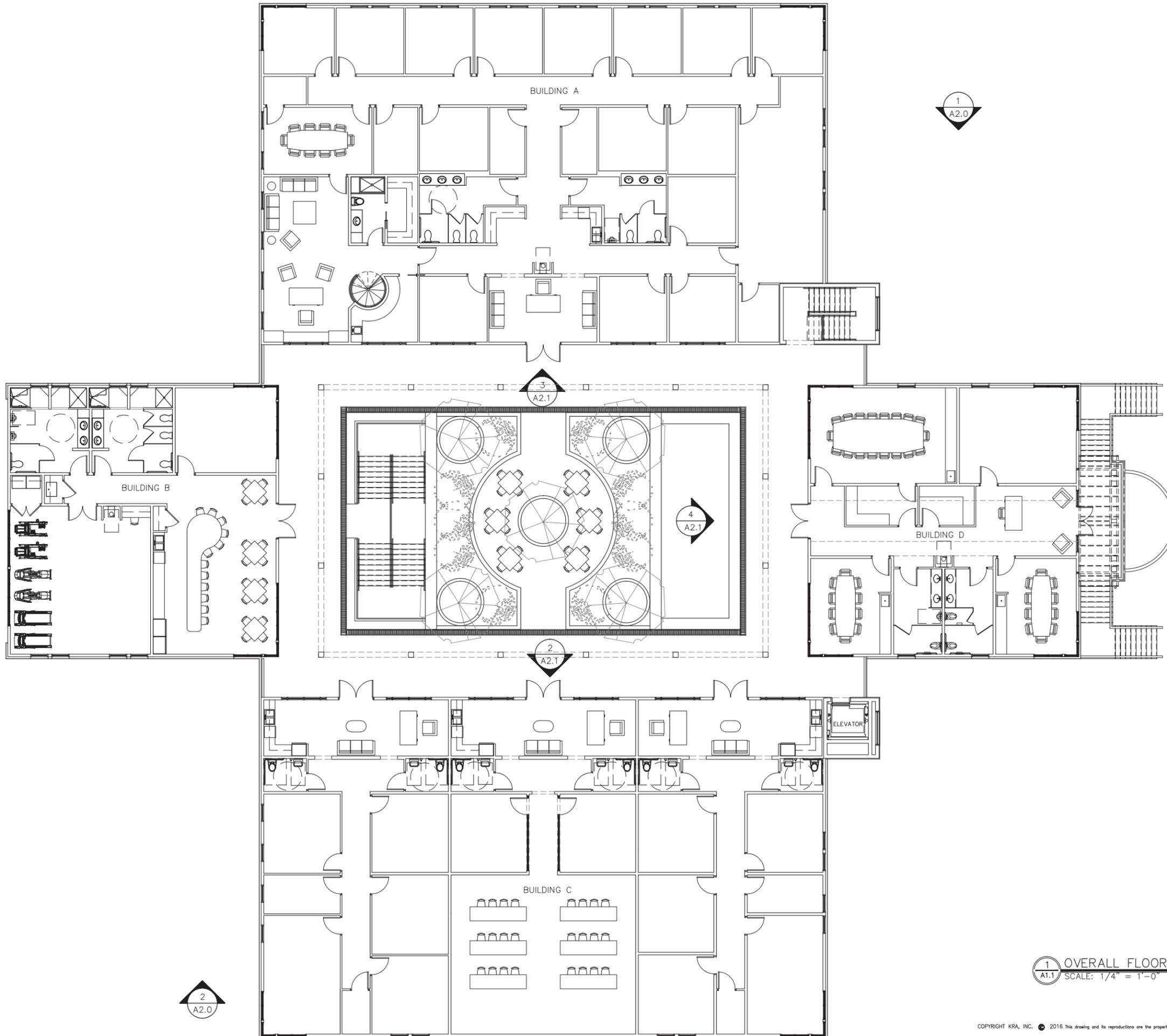
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OVERALL FLOOR PLAN

Sheet No. **A1.1**
 Scale: _____



1 OVERALL FLOOR PLAN
 A1.1 SCALE: 1/4" = 1'-0"

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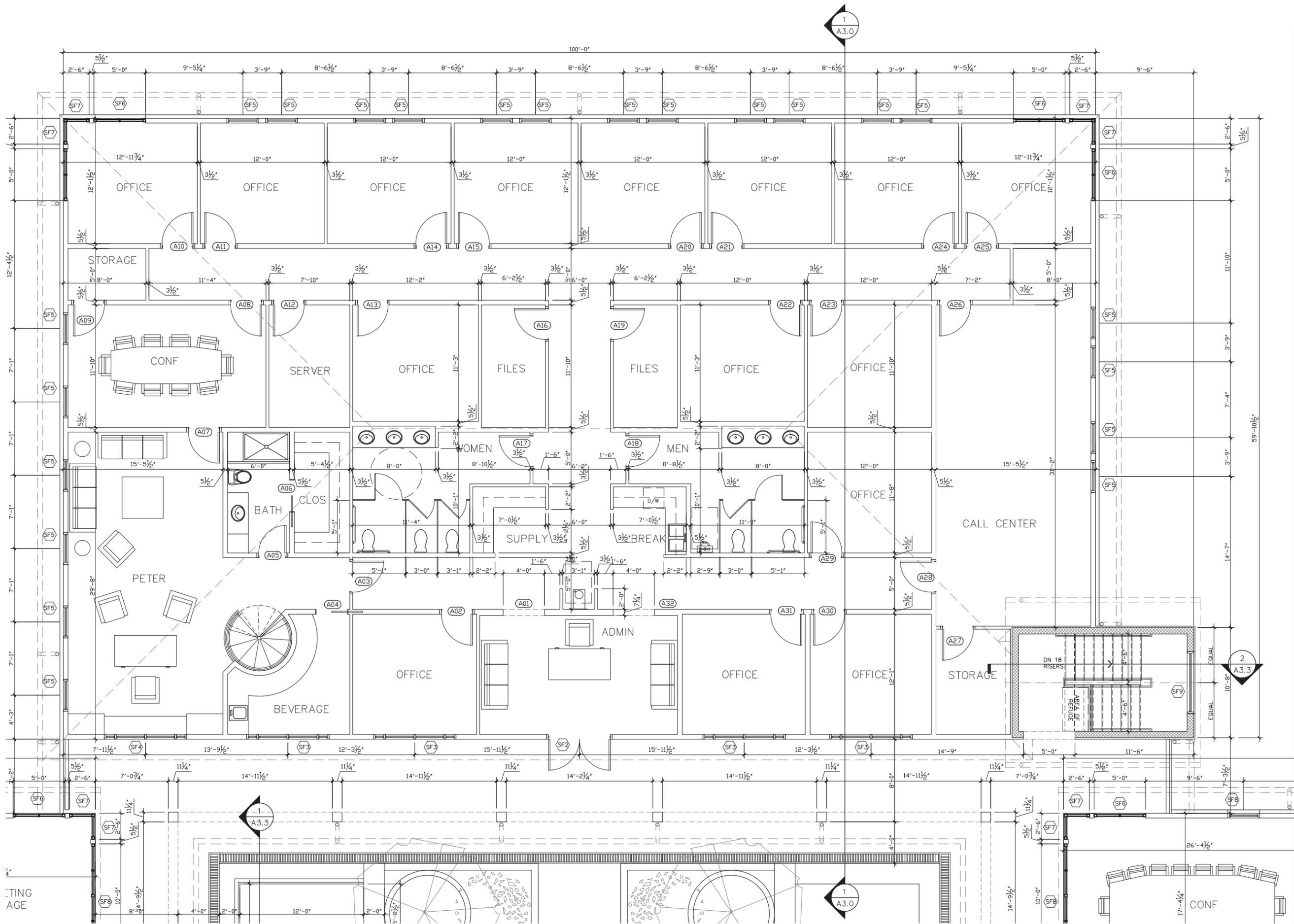
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BUILDING A FLOOR PLAN

Sheet No.

A1.2

Scale:

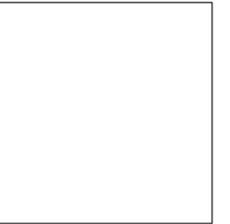


1 BUILDING A FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

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Park Lane
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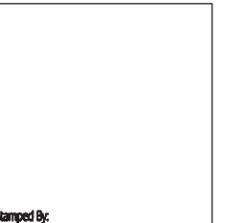
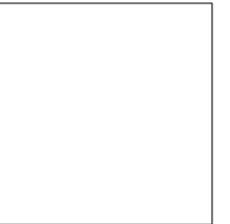
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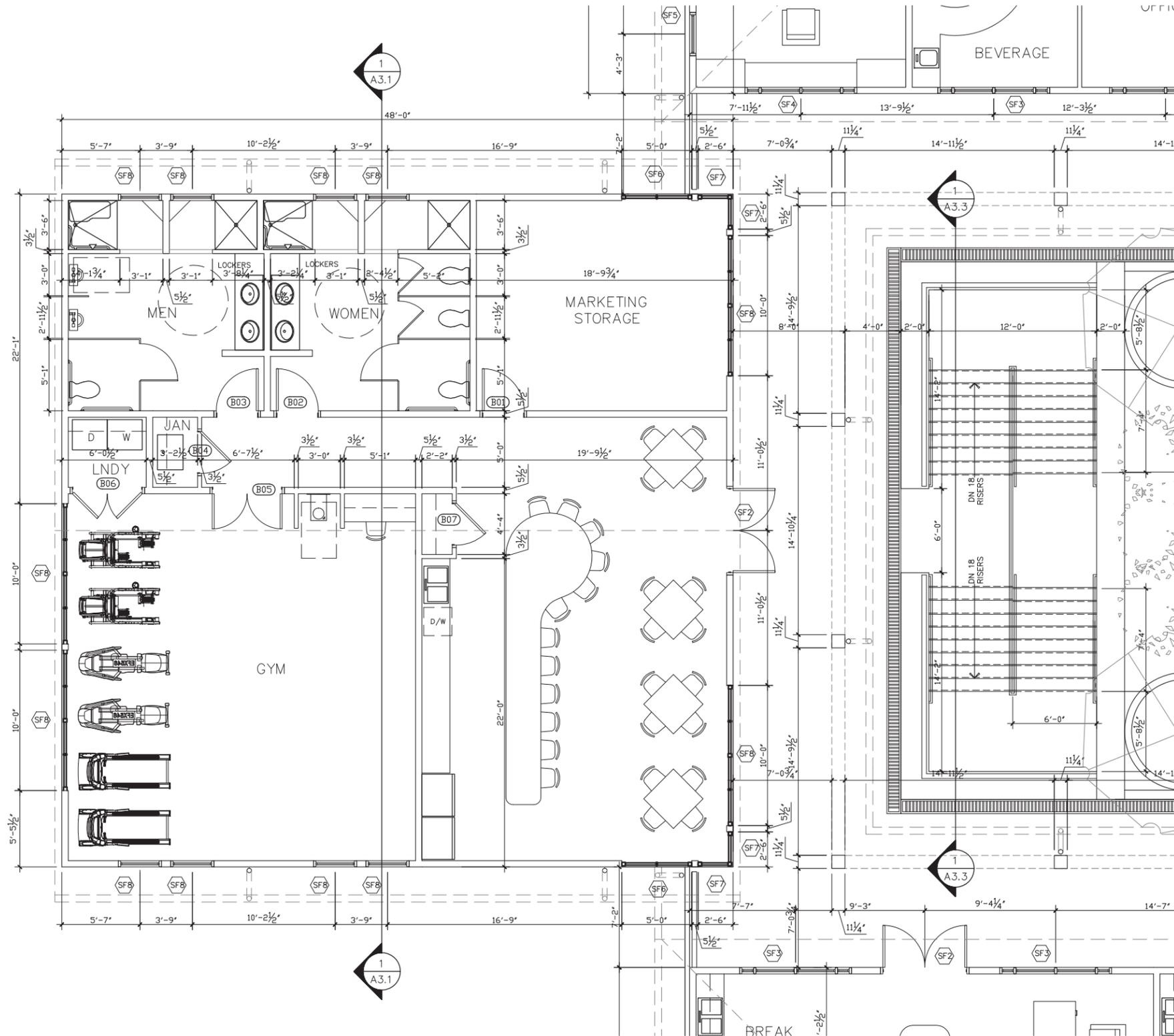
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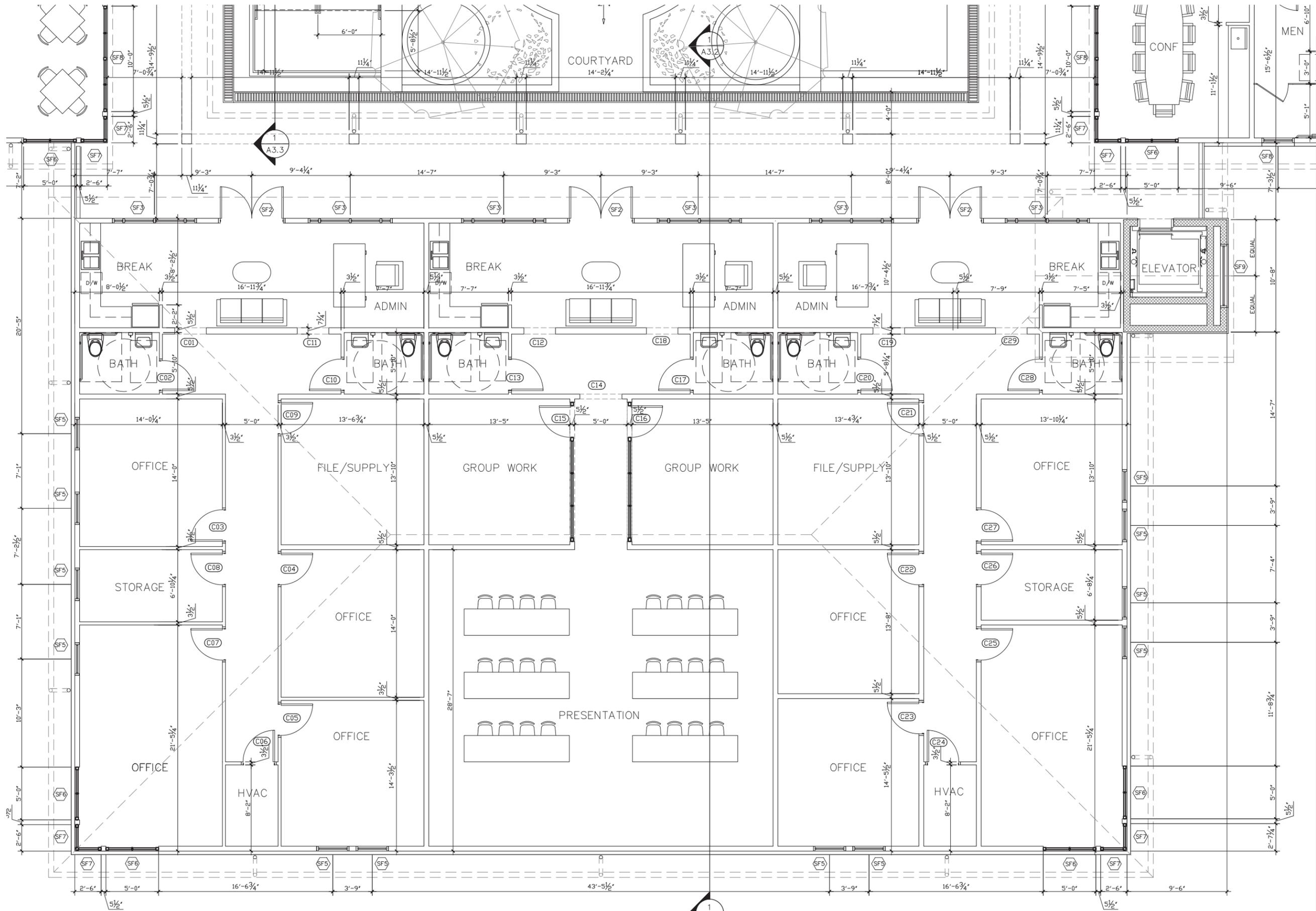
**BUILDING B
FLOOR PLAN**

Sheet No. **A1.3**

Scale: _____



1 BUILDING B FLOOR PLAN
 A1.3 SCALE: 1/4" = 1'-0"



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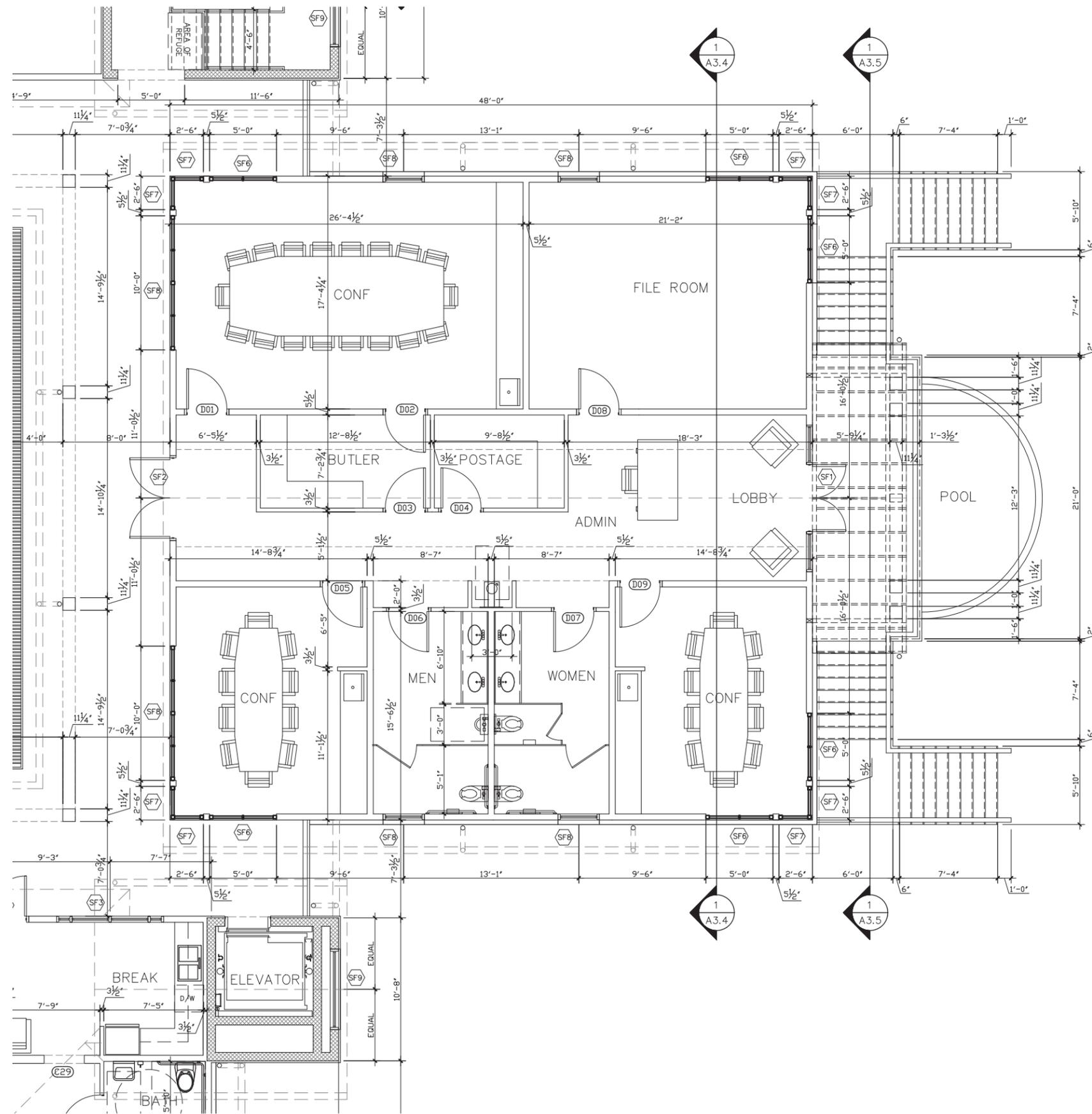
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BUILDING C FLOOR PLAN

Sheet No. **A1.4**

Scale:

1 BUILDING C FLOOR PLAN
A1.4 SCALE: 1/4" = 1'-0"



1 BUILDING D FLOOR PLAN
 A1.5 SCALE: 1/4" = 1'-0"

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BUILDING D FLOOR PLAN

Sheet No. **A1.5**
 Scale: _____

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Office Building

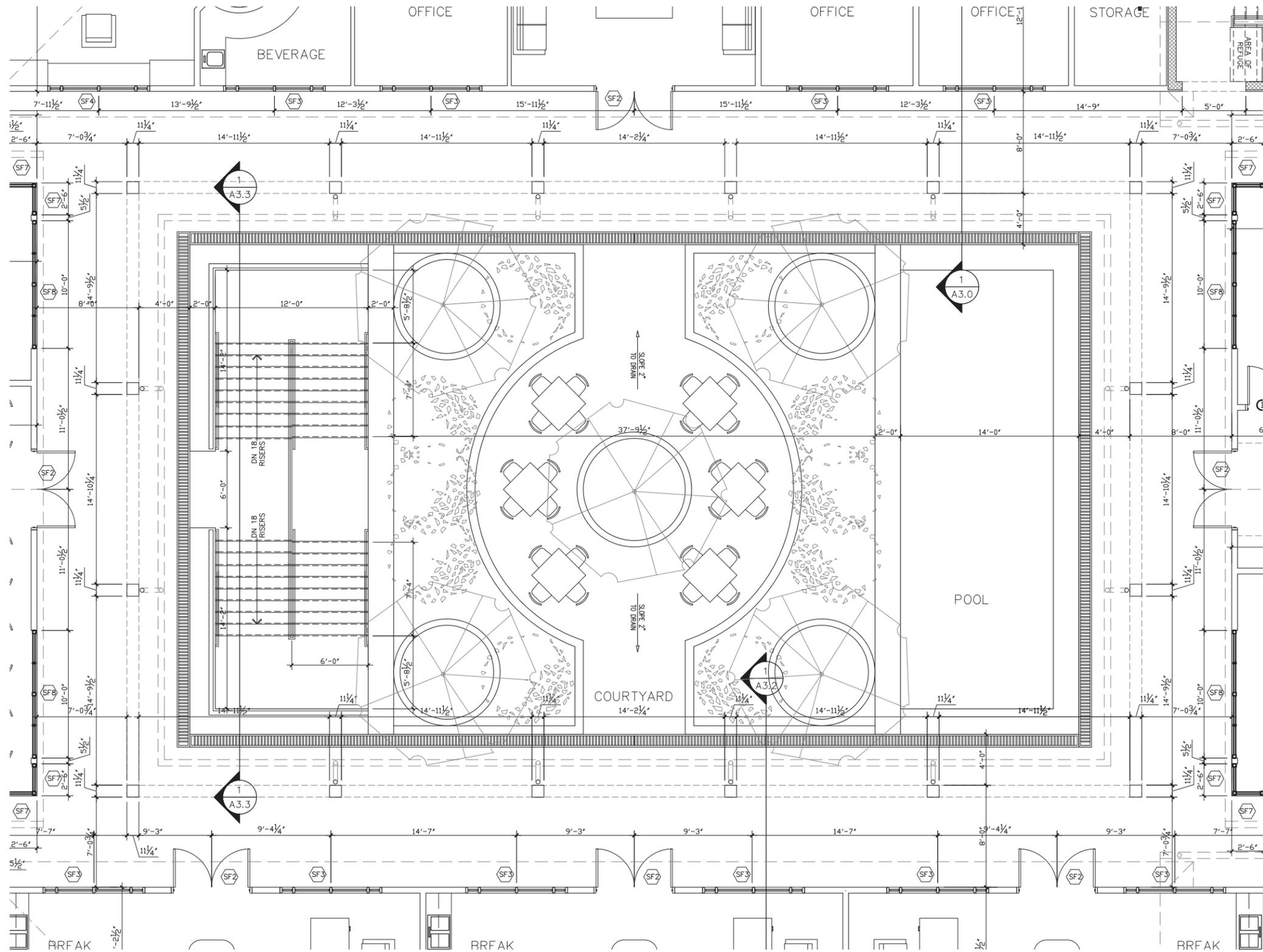
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1 COURTYARD FLOOR PLAN
A1.6 SCALE: 1/4" = 1'-0"

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COURTYARD
FLOOR PLAN

Sheet No. **A1.6**

Scale:

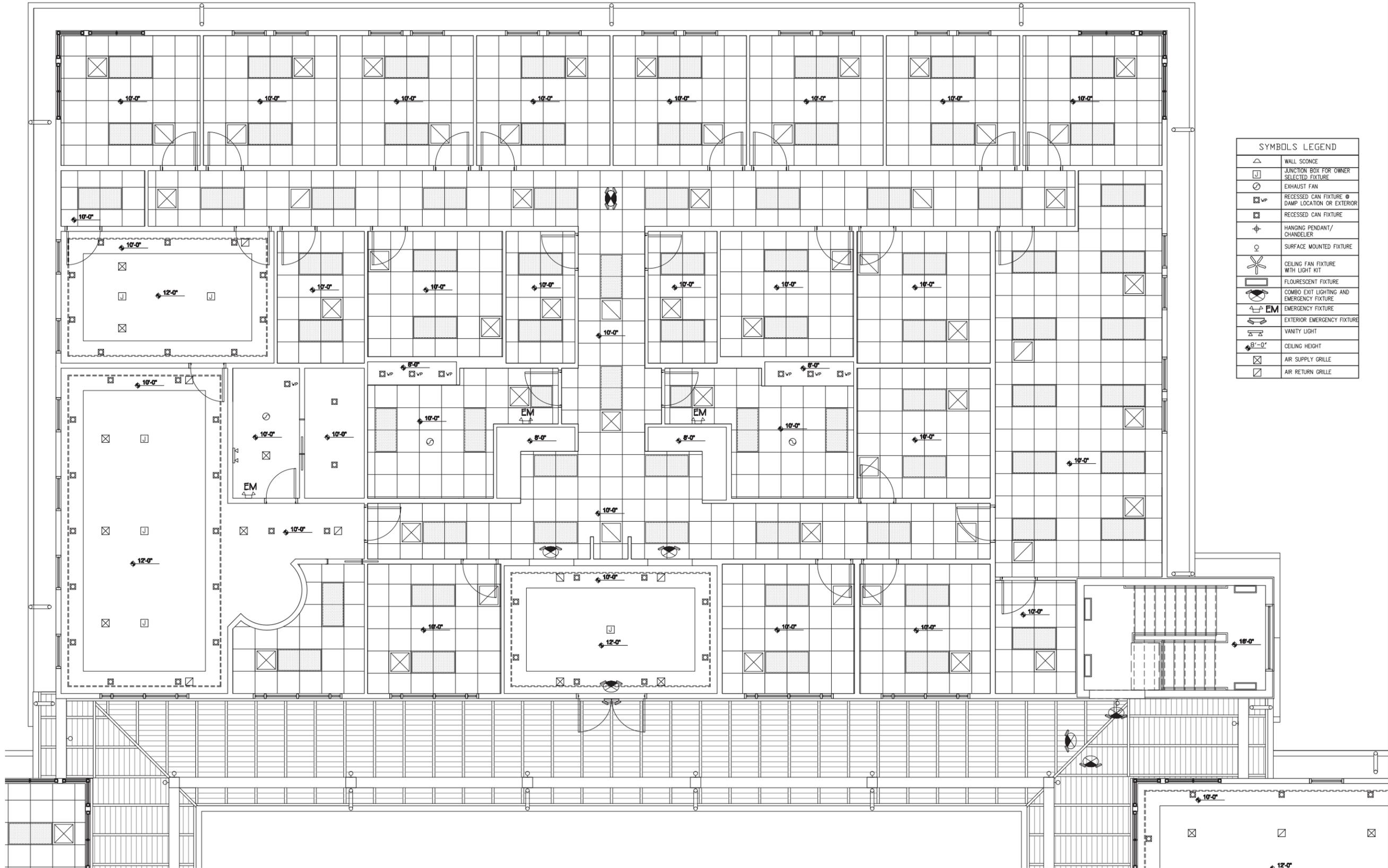
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SYMBOLS LEGEND	
	WALL SCONCE
	JUNCTION BOX FOR OWNER SELECTED FIXTURE
	EXHAUST FAN
	RECESSED CAN FIXTURE @ DAMP LOCATION OR EXTERIOR
	RECESSED CAN FIXTURE
	HANGING PENDANT/CHANDELIER
	SURFACE MOUNTED FIXTURE
	CEILING FAN FIXTURE WITH LIGHT KIT
	FLUORESCENT FIXTURE
	COMBO EXIT LIGHTING AND EMERGENCY FIXTURE
	EMERGENCY FIXTURE
	EXTERIOR EMERGENCY FIXTURE
	VANITY LIGHT
	CEILING HEIGHT
	AIR SUPPLY GRILLE
	AIR RETURN GRILLE

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**BUILDING A
REFLECTED CLG**

Sheet No. **A1.7**
 Scale:

1 BUILDING A REFLECTED CEILING
 A1.7 SCALE: 1/4" = 1'-0"

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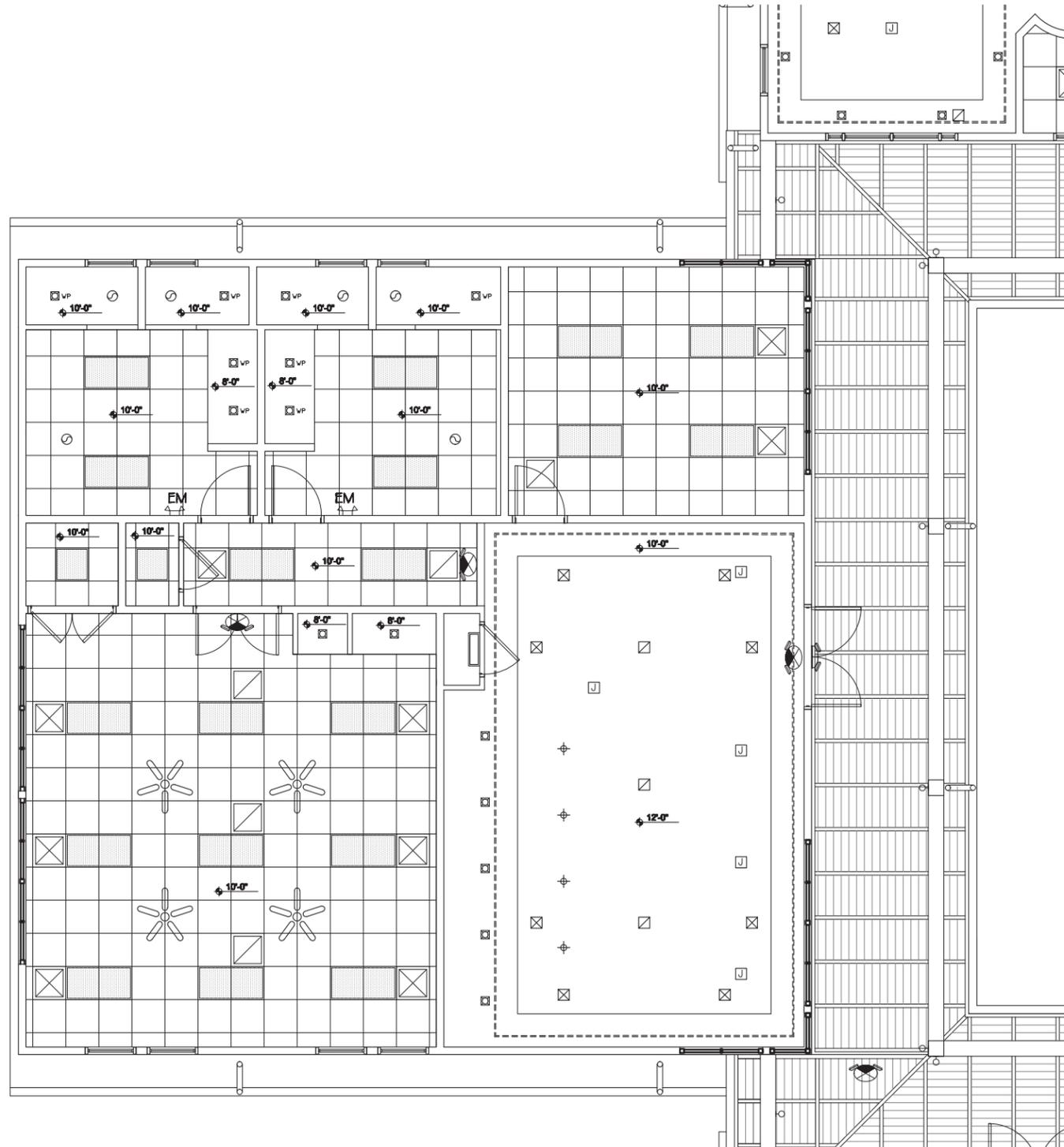


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	RECESSED CAN FIXTURE
	HANGING PENDANT/CHANDELIER
	SURFACE MOUNTED FIXTURE
	CEILING FAN FIXTURE WITH LIGHT KIT
	FLOURESCENT FIXTURE
	COMBO EXIT LIGHTING AND EMERGENCY FIXTURE
	EMERGENCY FIXTURE
	EXTERIOR EMERGENCY FIXTURE
	VANITY LIGHT
	CEILING HEIGHT
	AIR SUPPLY GRILLE
	AIR RETURN GRILLE



1 BUILDING B REFLECTED CEILING PLAN
A1.8 SCALE: 1/4" = 1'-0"

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No.	Description

Project No. 15146

File Name:

Drawing Title:

**BUILDING B
REFLECTED CLG**

Sheet No. **A1.8**

Scale:

Park Lane Office Building

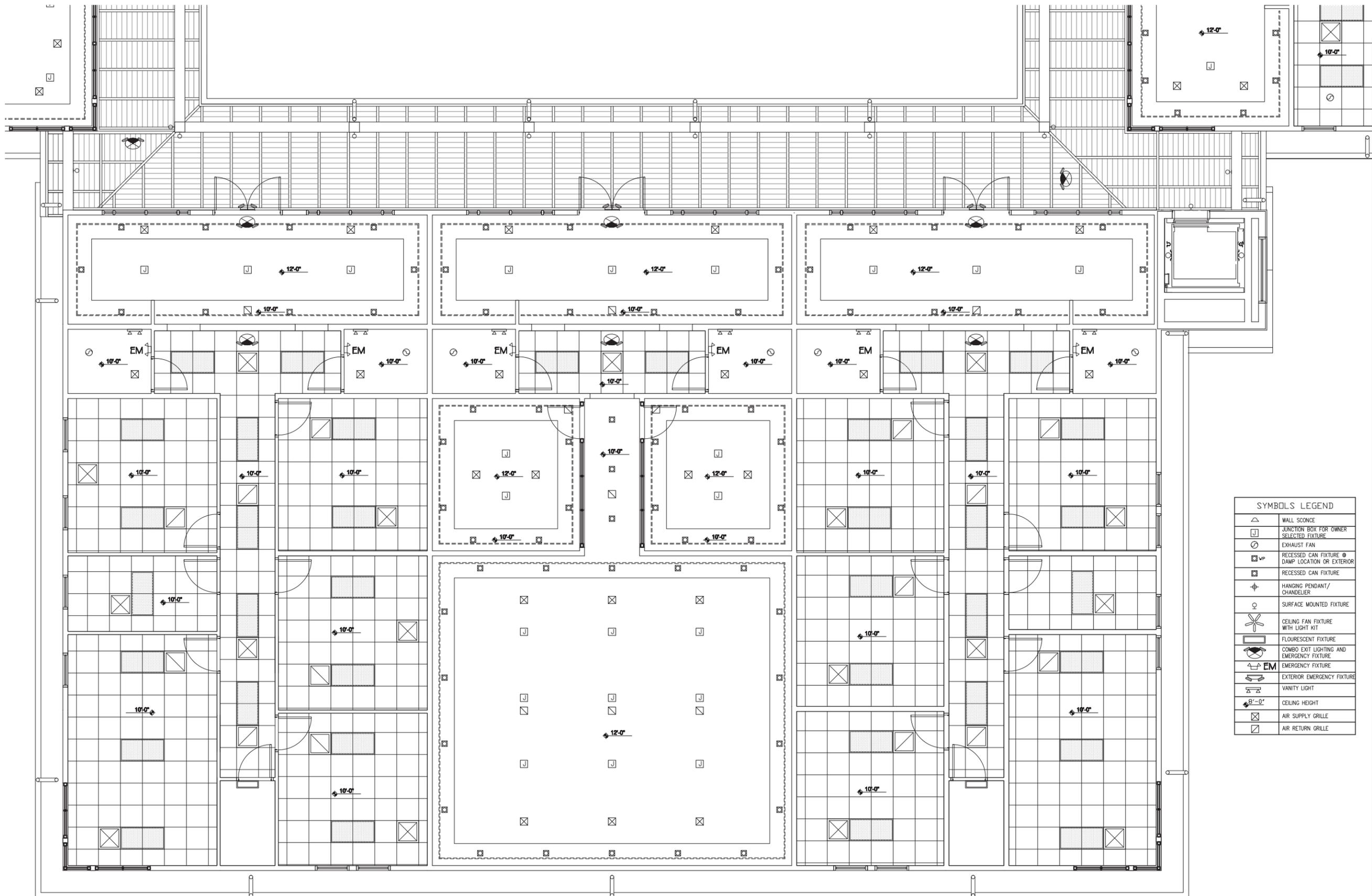
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	RECESSED CAN FIXTURE @ DAMP LOCATION OR EXTERIOR
	RECESSED CAN FIXTURE
	HANGING PENDANT/CHANDELIER
	SURFACE MOUNTED FIXTURE
	CEILING FAN FIXTURE WITH LIGHT KIT
	FLOURESCENT FIXTURE
	COMBO EXIT LIGHTING AND EMERGENCY FIXTURE
	EMERGENCY FIXTURE
	EXTERIOR EMERGENCY FIXTURE
	VANITY LIGHT
	CEILING HEIGHT
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	AIR RETURN GRILLE

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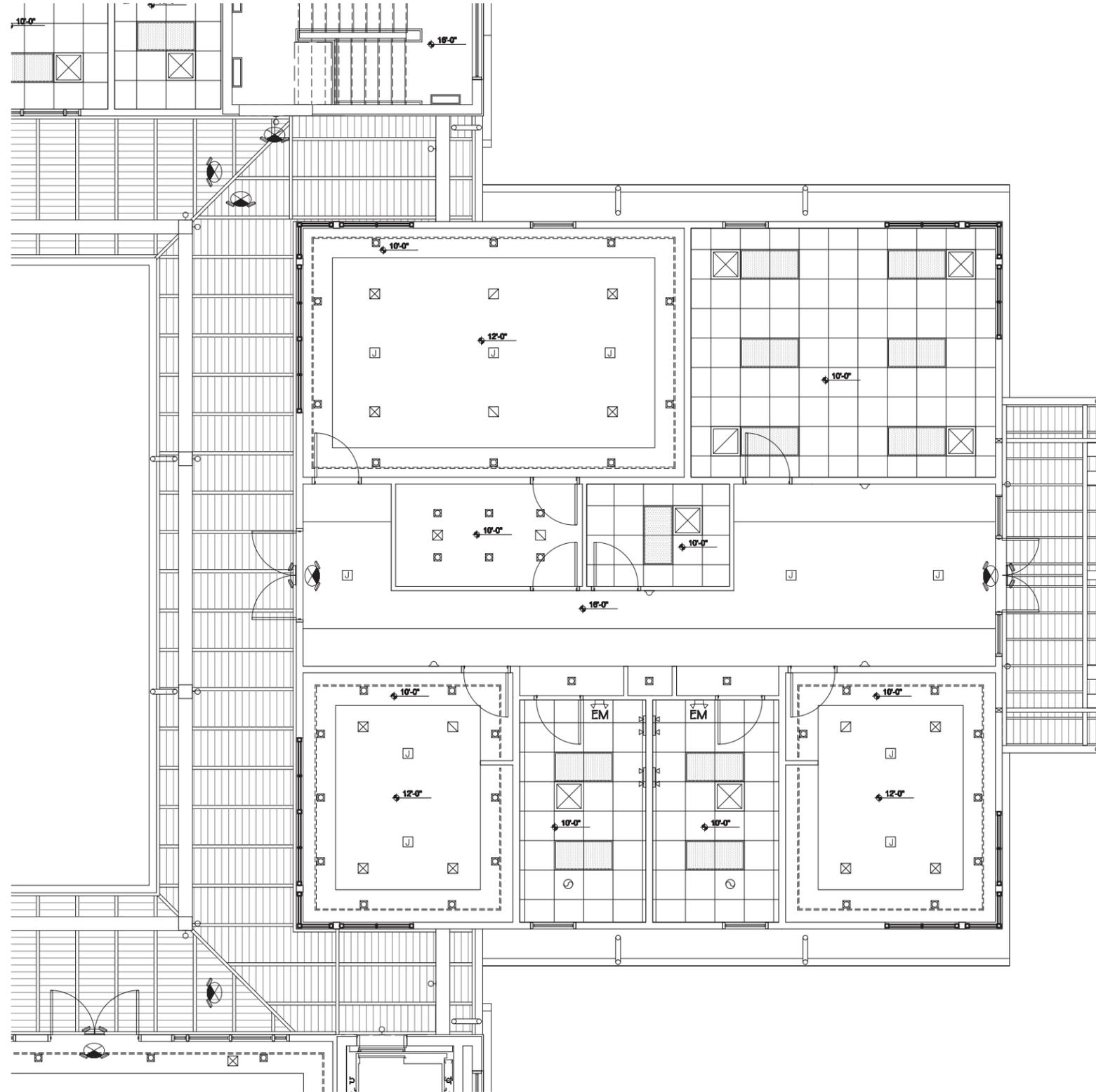
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BUILDING C REFLECTED CLG

1 BUILDING C REFLECTED CEILING PLAN
 A1.9 SCALE: 1/4" = 1'-0"

Sheet No. **A1.9**

Scale: _____



SYMBOLS LEGEND	
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	EMERGENCY FIXTURE
	EXTERIOR EMERGENCY FIXTURE
	VANITY LIGHT
	CEILING HEIGHT
	AIR SUPPLY GRILLE
	AIR RETURN GRILLE

1 BUILDING D REFLECTED CEILING PLAN
 A1.10 SCALE: 1/4" = 1'-0"

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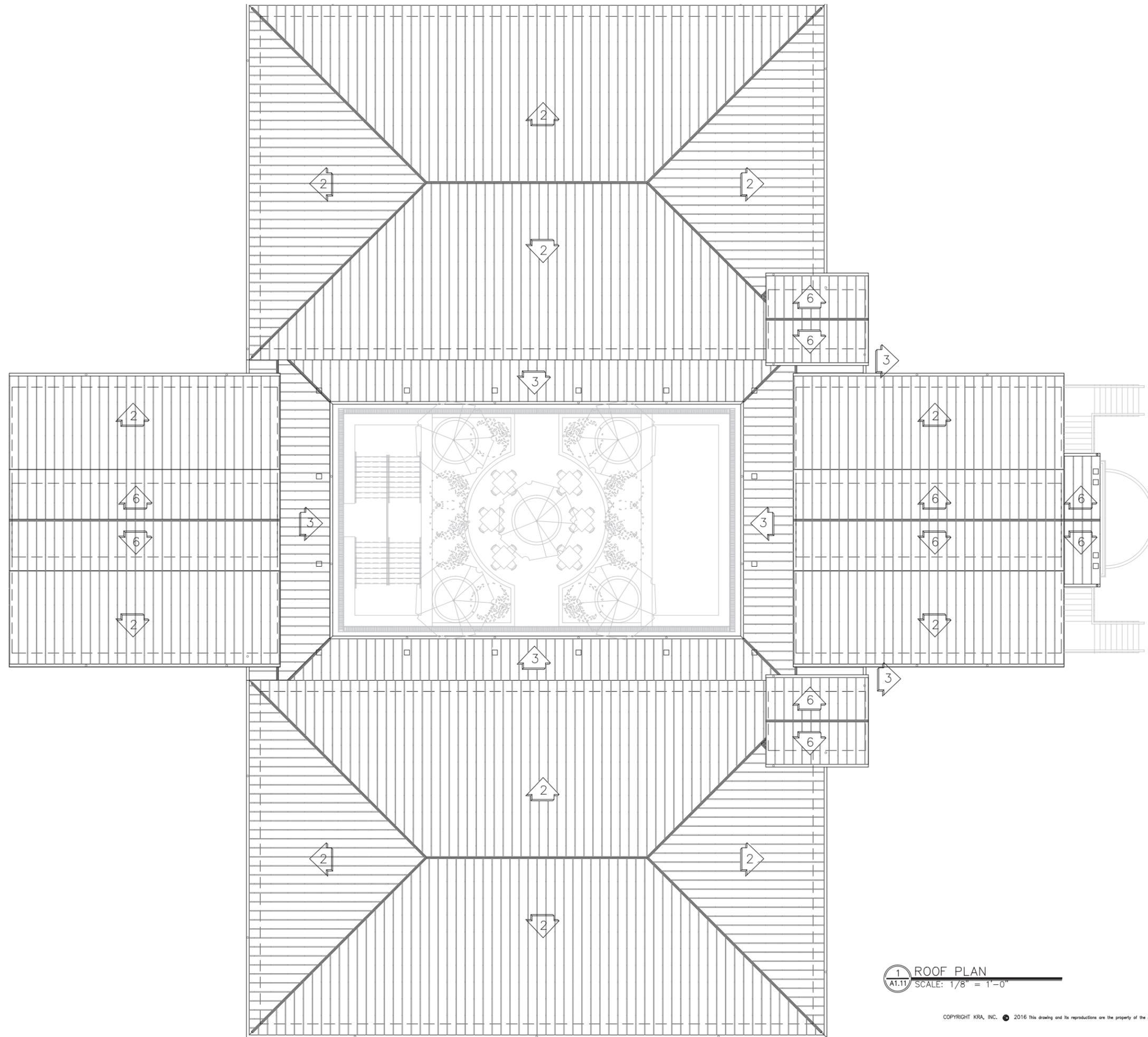
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**BUILDING D
 REFLECTED CLG**

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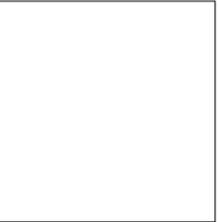
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1 ROOF PLAN
 A1.11 SCALE: 1/8" = 1'-0"

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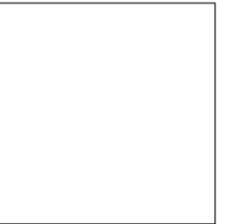
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ROOF PLAN

Sheet No. **A1.11**
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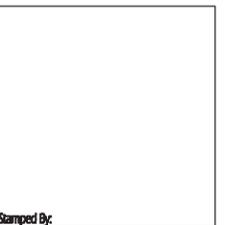
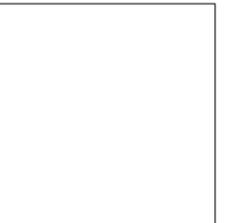
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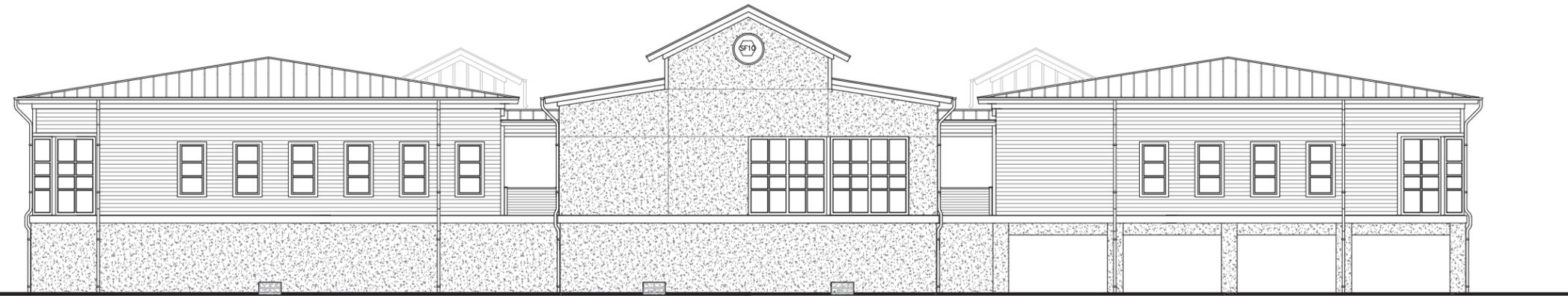
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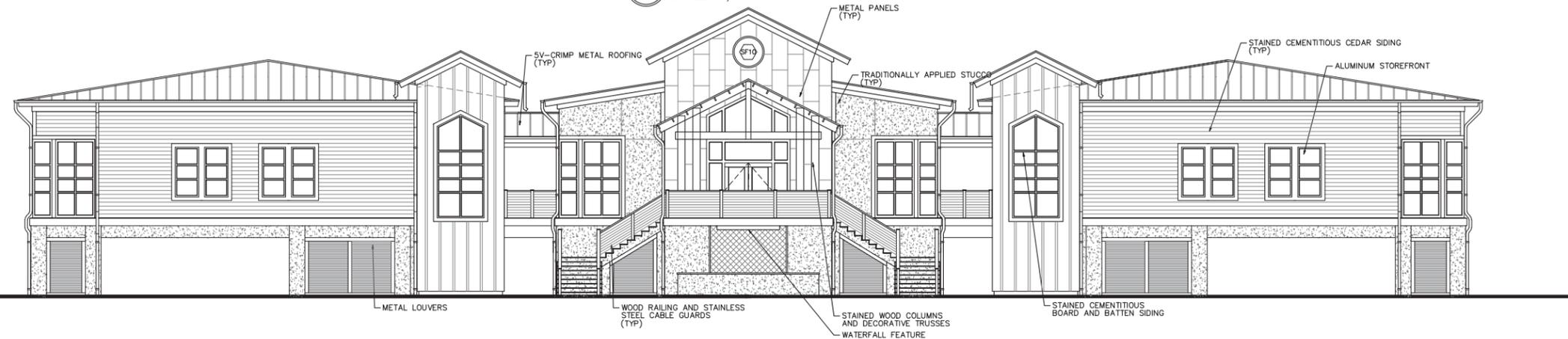
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A2.0

Scale:



4 SOUTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

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No.	Description

Project No. 15146

File Name:

Drawing Title:

**EXTERIOR
ELEVATIONS**

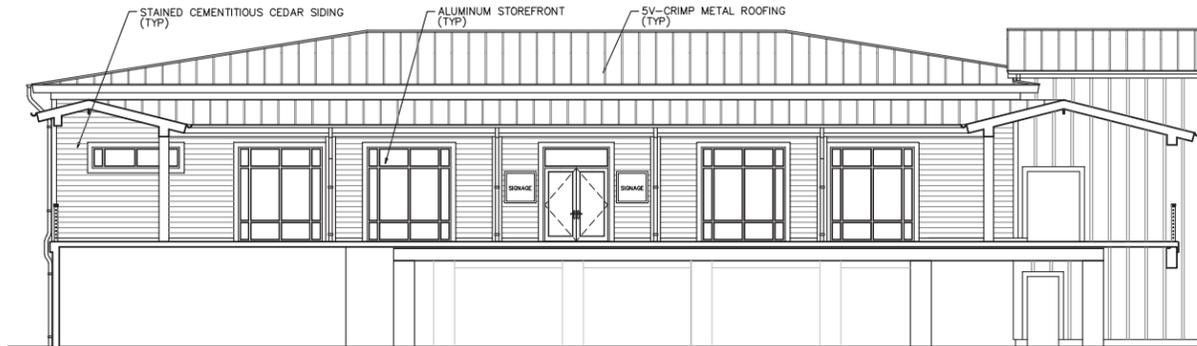
Sheet No.

A2.1

Scale:



3a WEST ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



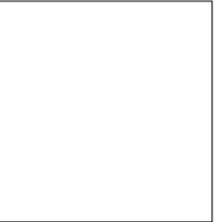
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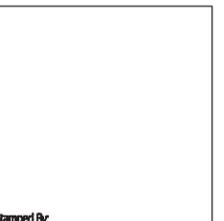
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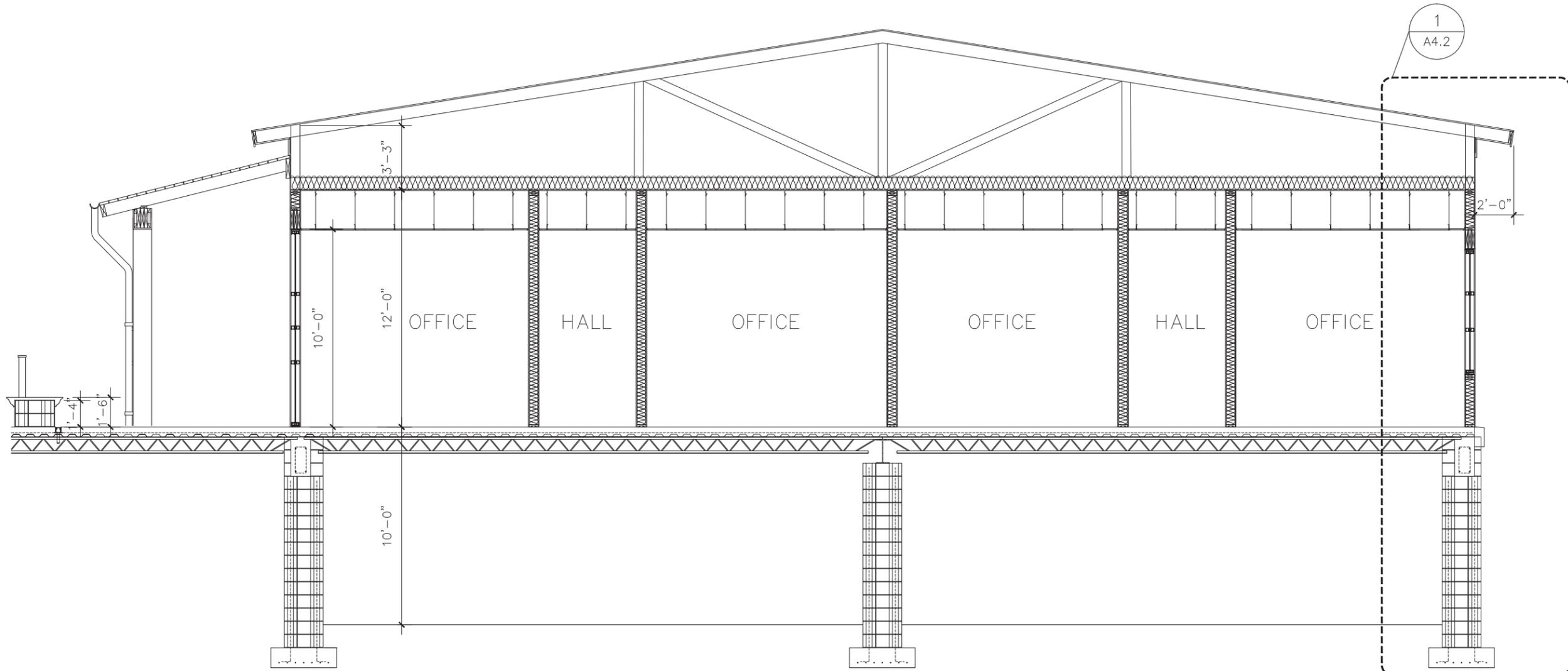
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**BUILDING
SECTION**

Sheet No.

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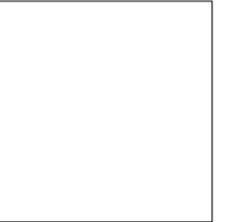
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1 BUILDING SECTION A-A
A3.0 SCALE: 3/8" = 1'-0"

Park Lane
Office Building

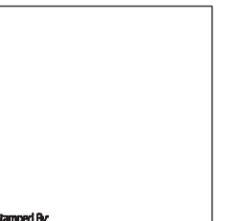
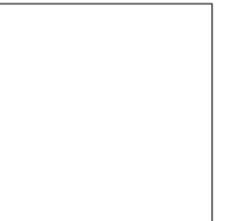
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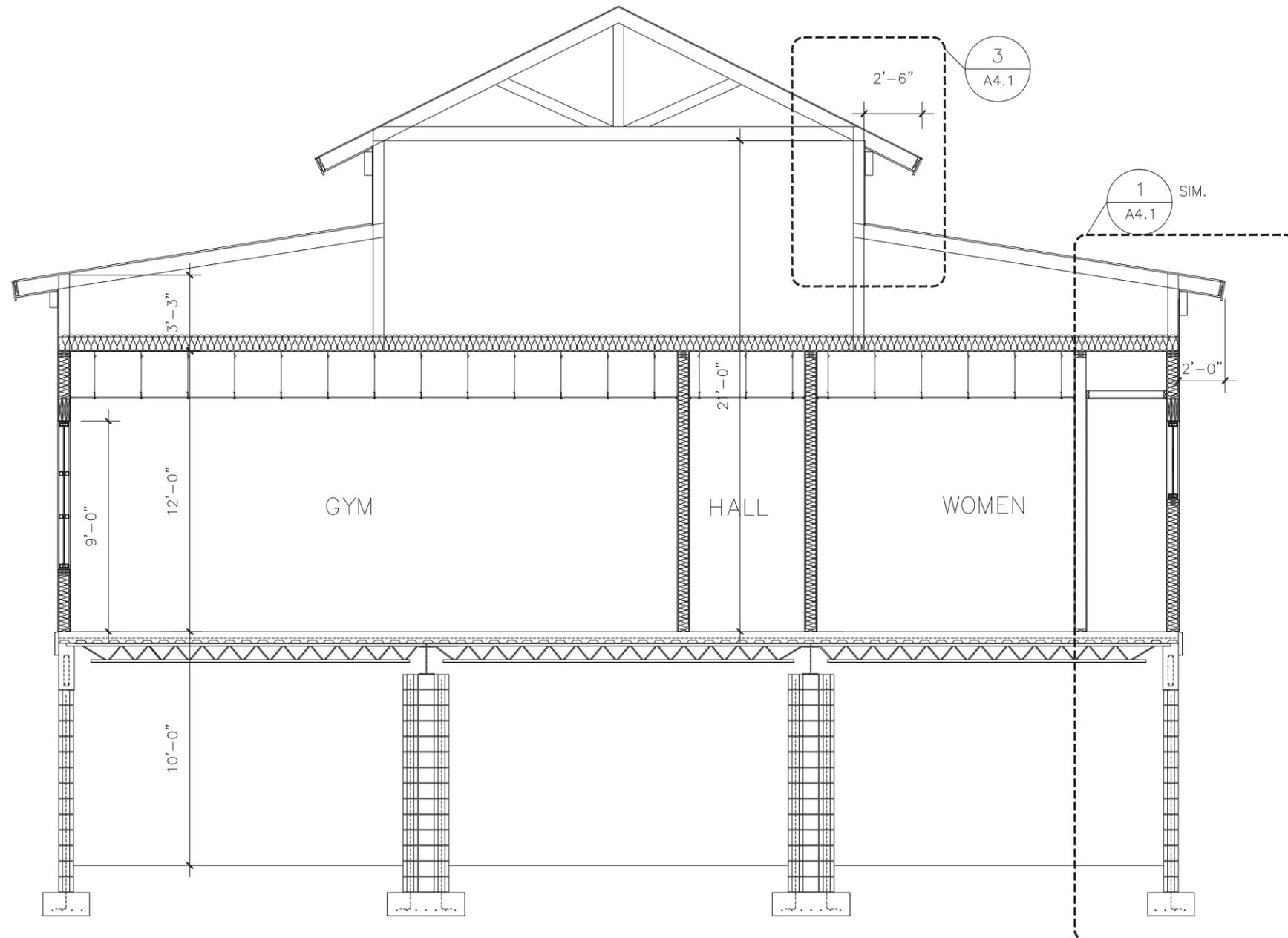
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SECTION**

Sheet No.

A3.1

Scale:



1 BUILDING SECTION B-B
A3.1 SCALE: 3/8" = 1'-0"

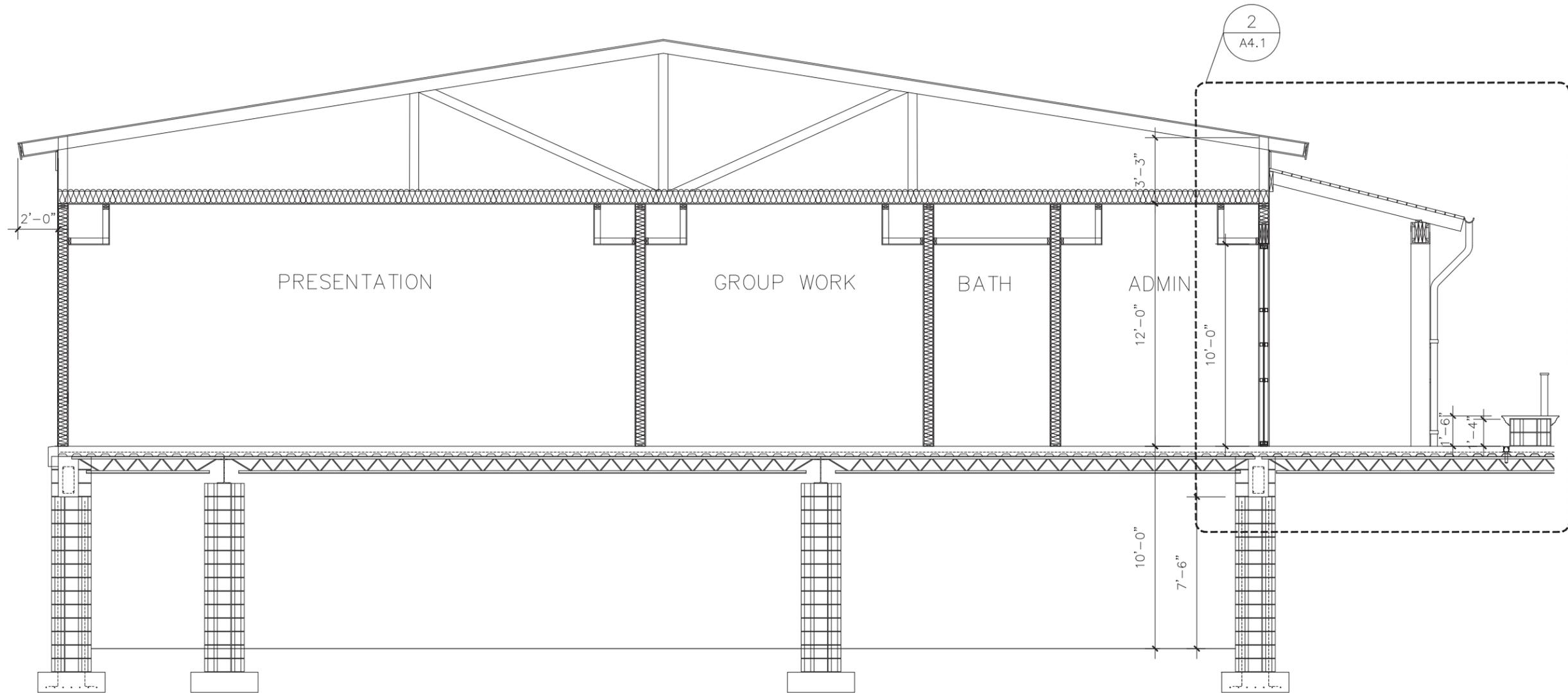
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1 BUILDING SECTION C-C
A3.2 SCALE: 3/8" = 1'-0"

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**BUILDING
SECTION**

Sheet No.

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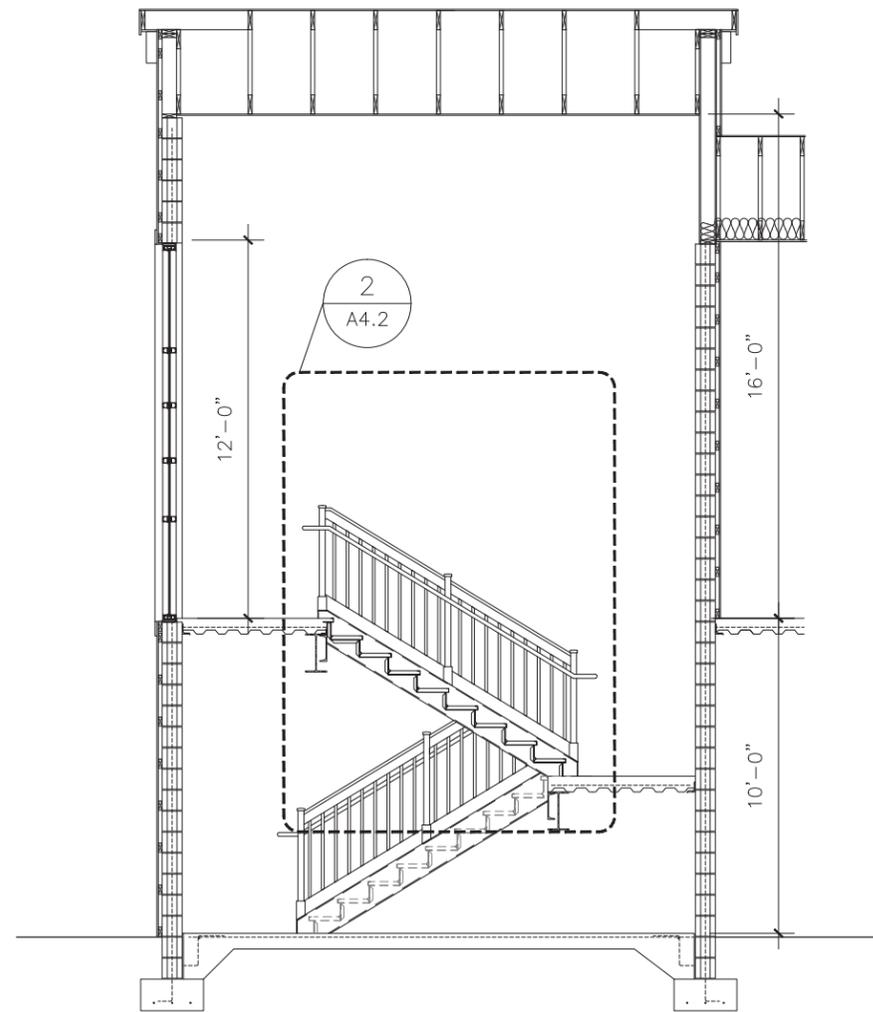
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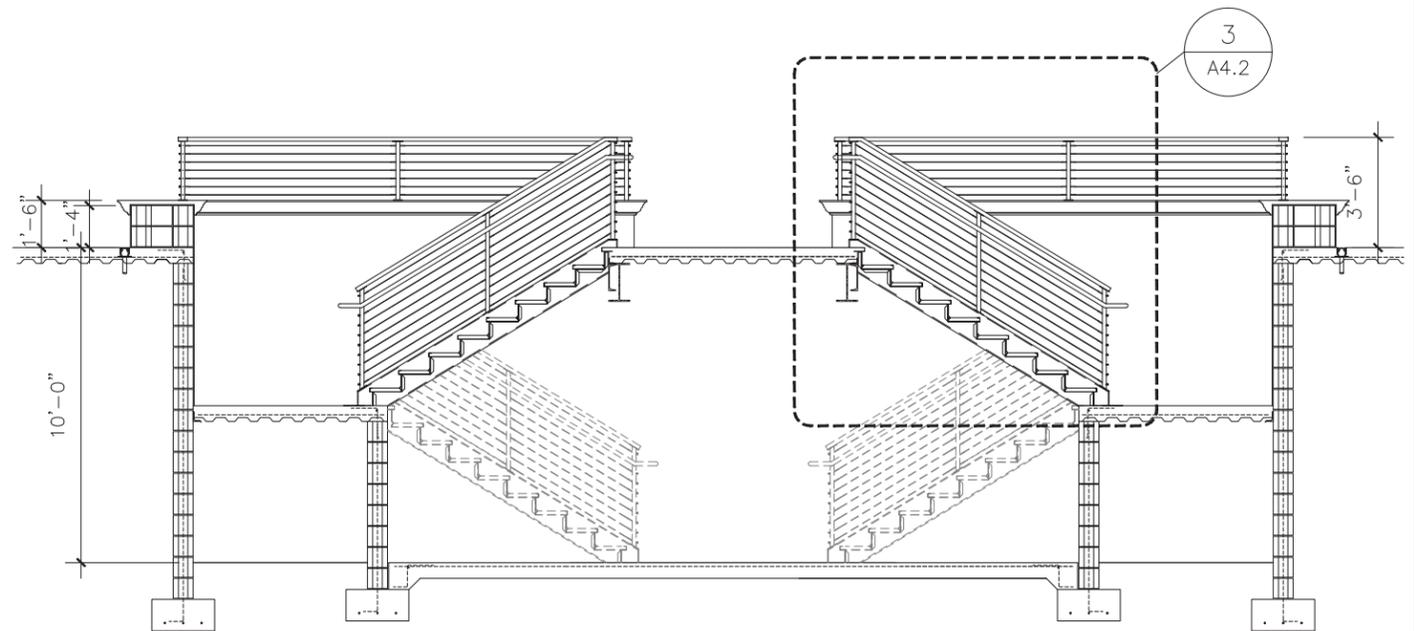


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2 BUILDING SECTION E-E
A3.3 SCALE: 3/8" = 1'-0"



1 BUILDING SECTION D-D
A3.3 SCALE: 3/8" = 1'-0"

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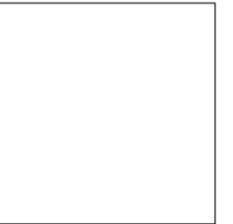
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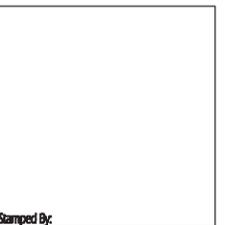
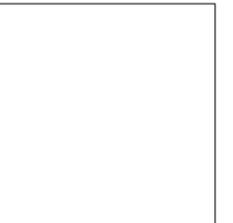
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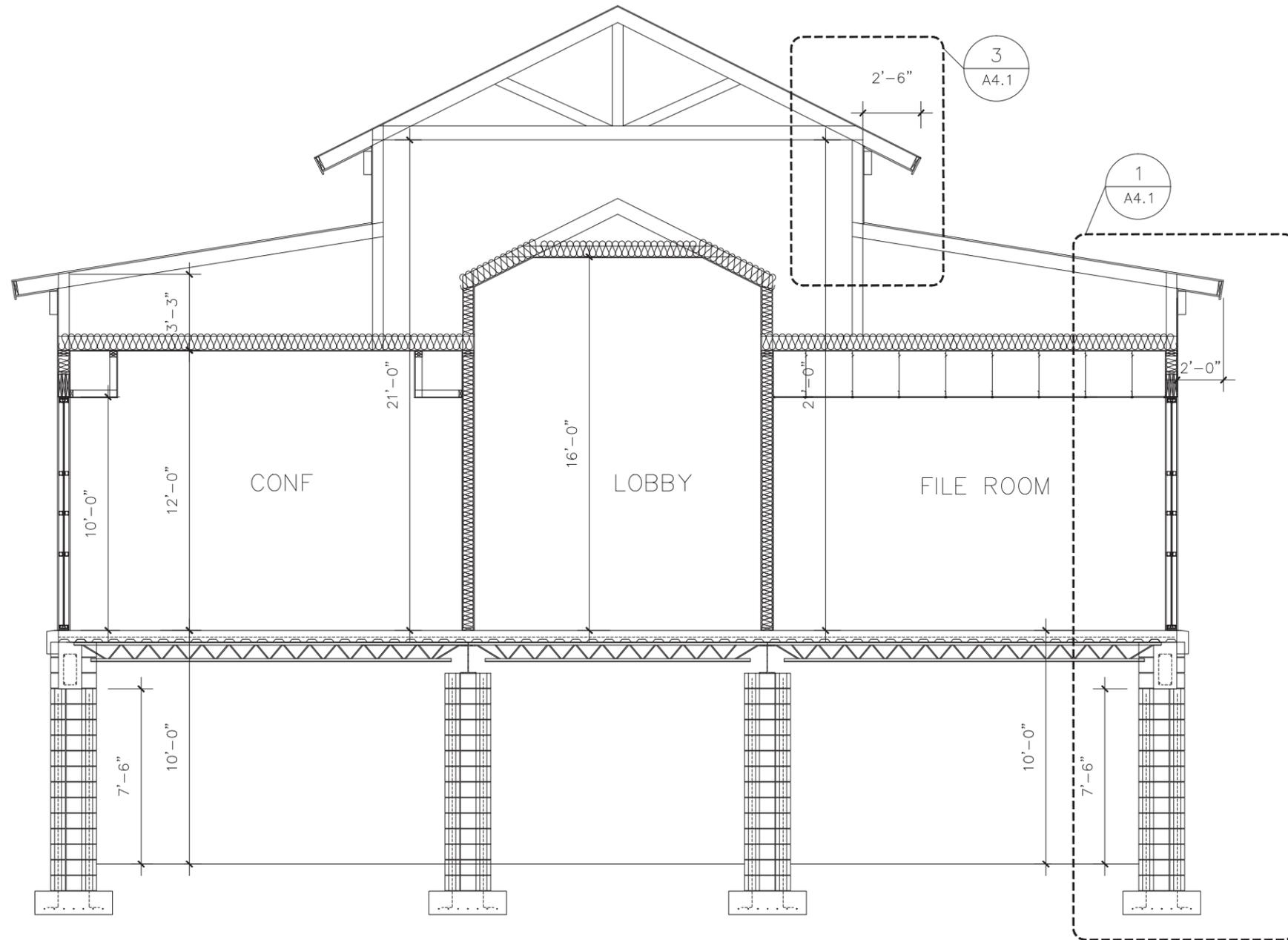
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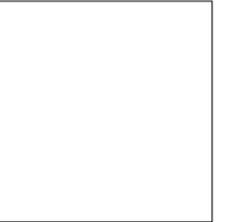
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1 BUILDING SECTION F-F
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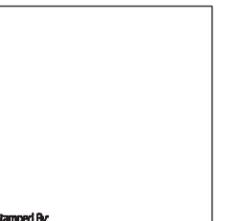
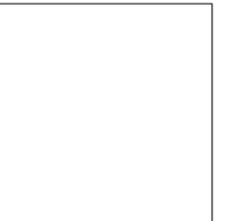
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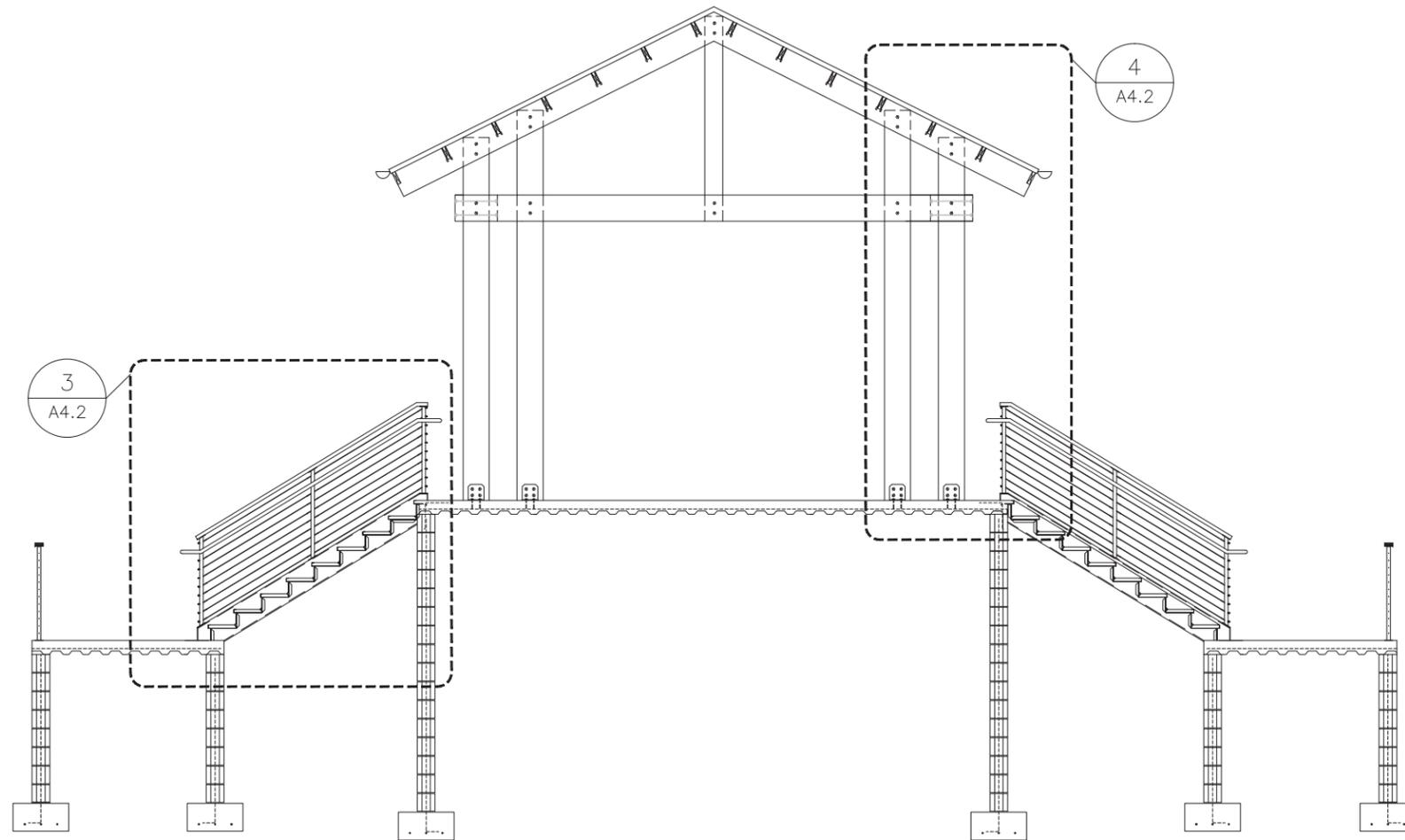
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ENTRANCE SECTION

Sheet No.

A3.5

Scale:



1 ENTRANCE SECTION
A3.5 SCALE: 3/8" = 1'-0"

Park Lane Office Building

10 Park Lane
Hilton Head, SC

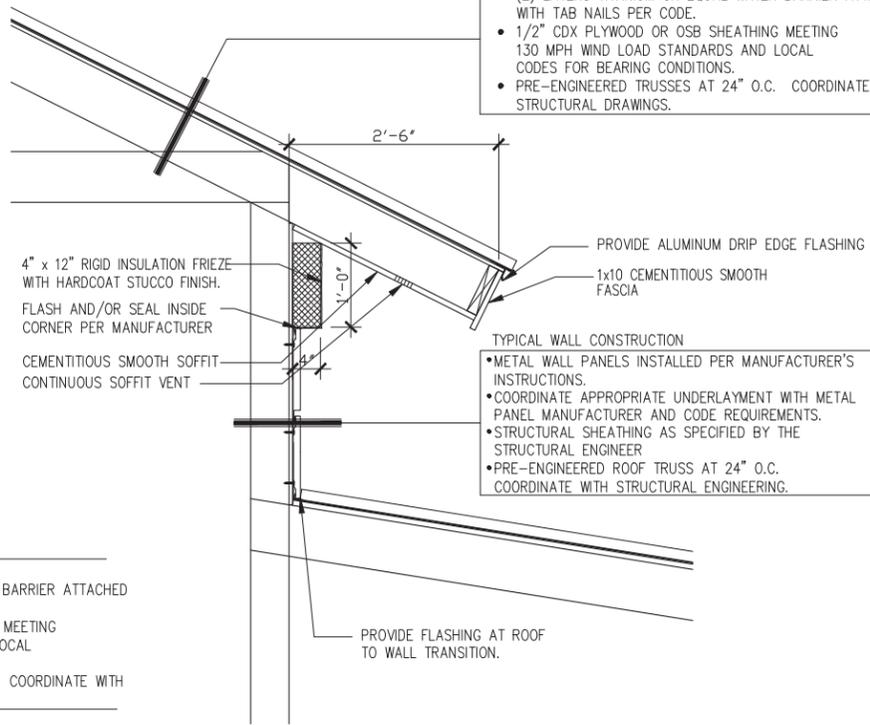


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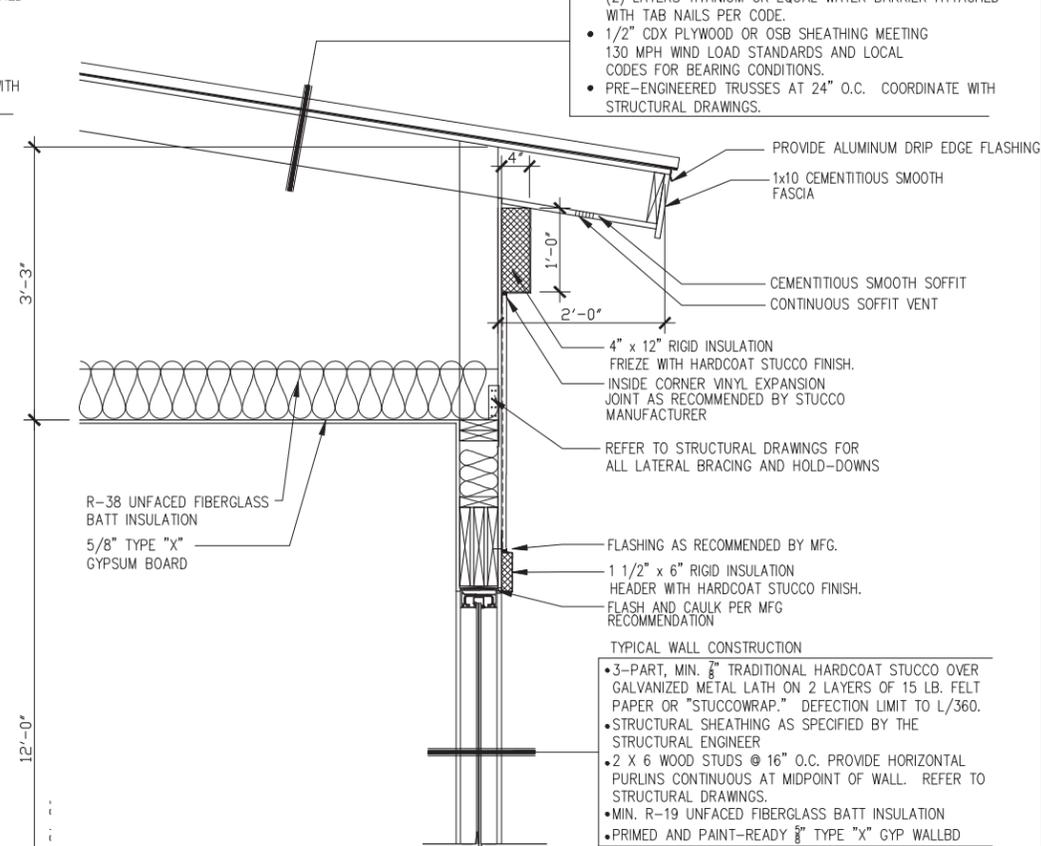
TYPICAL ROOF/CEILING ASSEMBLY

- 5V-CRIMP METAL ROOFING
- (2) LAYERS TITANIUM OR EQUAL WATER BARRIER ATTACHED WITH TAB NAILS PER CODE.
- 1/2" CDX PLYWOOD OR OSB SHEATHING MEETING 130 MPH WIND LOAD STANDARDS AND LOCAL CODES FOR BEARING CONDITIONS.
- PRE-ENGINEERED TRUSSES AT 24" O.C. COORDINATE WITH STRUCTURAL DRAWINGS.



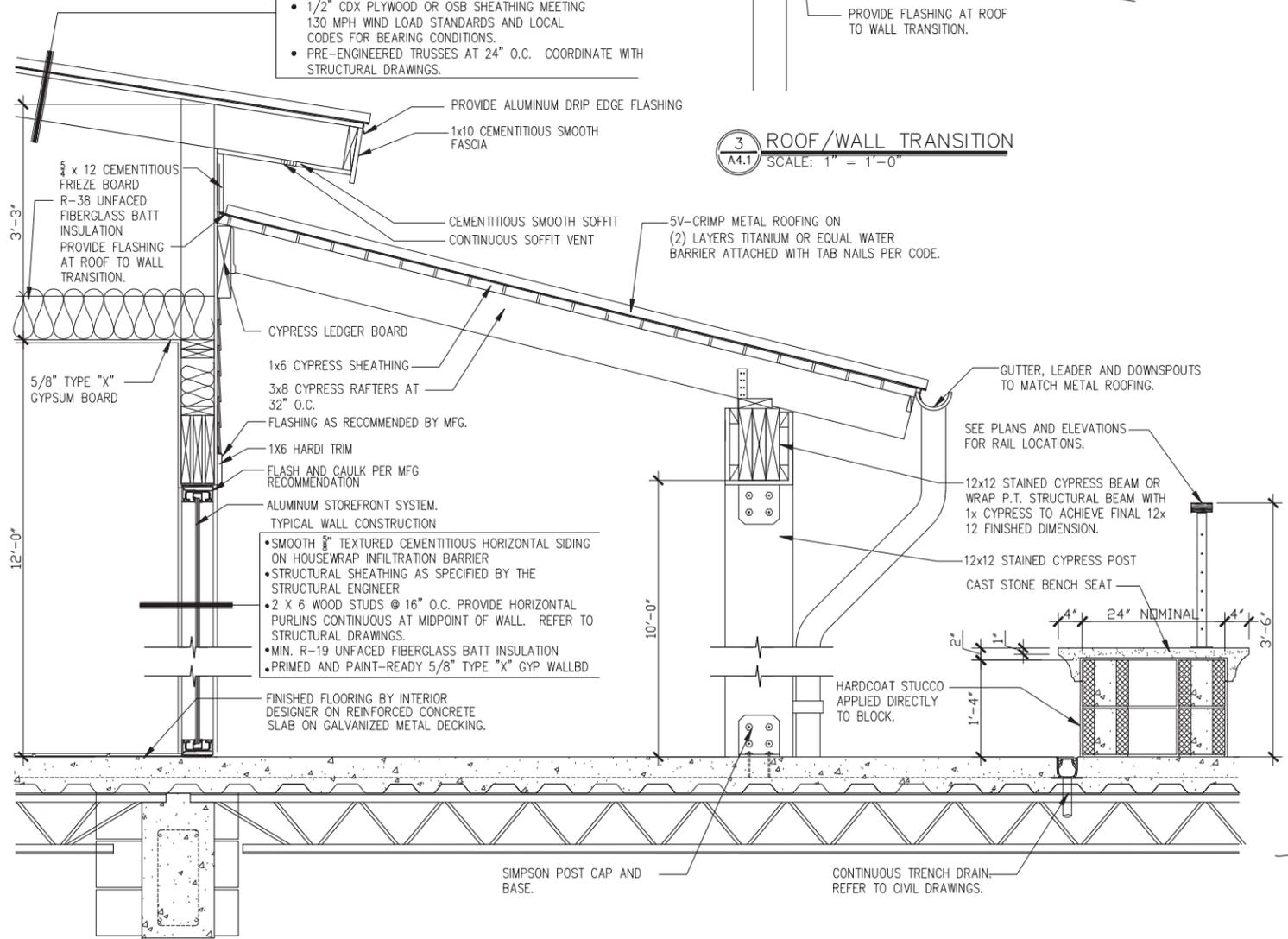
TYPICAL ROOF/CEILING ASSEMBLY

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3 ROOF/WALL TRANSITION
SCALE: 1" = 1'-0"

2 TYPICAL WALKWAY DETAIL
SCALE: 1" = 1'-0"

1 TYPICAL WALL DETAIL
SCALE: 1" = 1'-0"

Stamped By:

Drawn By: mwk

Checked By: krc

Date: 03.07.16

Revisions:

No.	Description

Project No. 15146

File Name:

Drawing Title:

WALL DETAILS

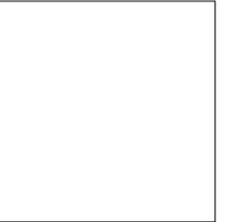
Sheet No.

A4.1

Scale:

Park Lane Office Building

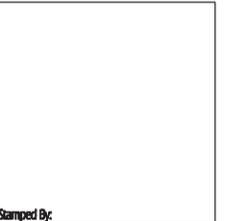
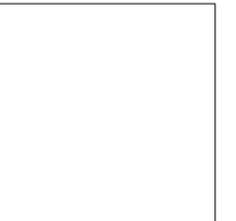
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Stamped By: _____
 Drawn By: *mmk*
 Checked By: *krc*
 Date: 03.07.16
 Revisions:

No.	Description

Project No. 15146

File Name: _____

Drawing Title: _____

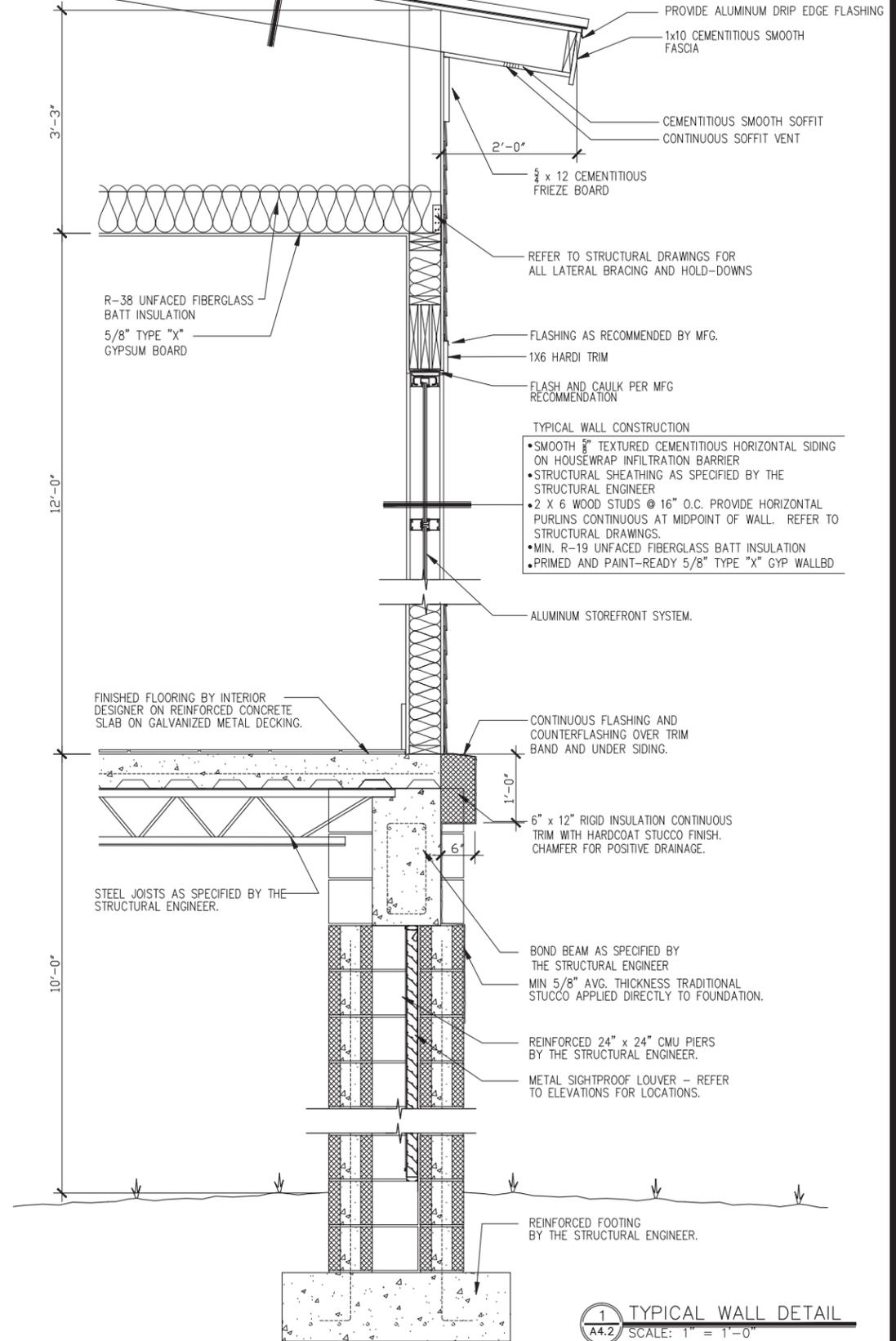
WALL DETAILS

Sheet No.

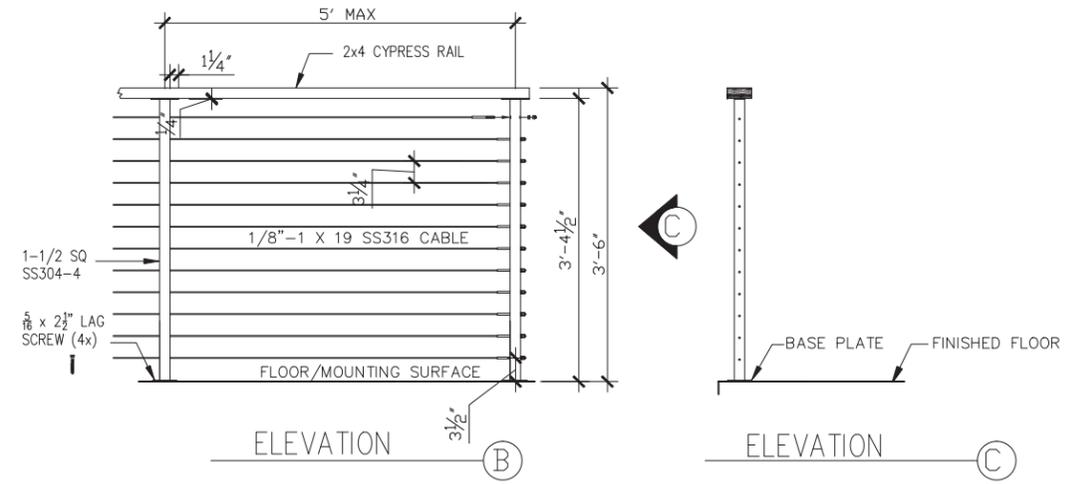
A4.2

Scale: _____

- TYPICAL ROOF/CEILING ASSEMBLY**
- 5V-CRIMP METAL ROOFING
 - (2) LAYERS TITANIUM OR EQUAL WATER BARRIER ATTACHED WITH TAB NAILS PER CODE.
 - 1/2" CDX PLYWOOD OR OSB SHEATHING MEETING 130 MPH WIND LOAD STANDARDS AND LOCAL CODES FOR BEARING CONDITIONS.
 - PRE-ENGINEERED TRUSSES AT 24" O.C. COORDINATE WITH STRUCTURAL DRAWINGS.

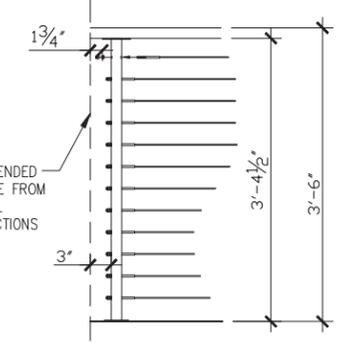


1 TYPICAL WALL DETAIL
A4.2 SCALE: 1" = 1'-0"



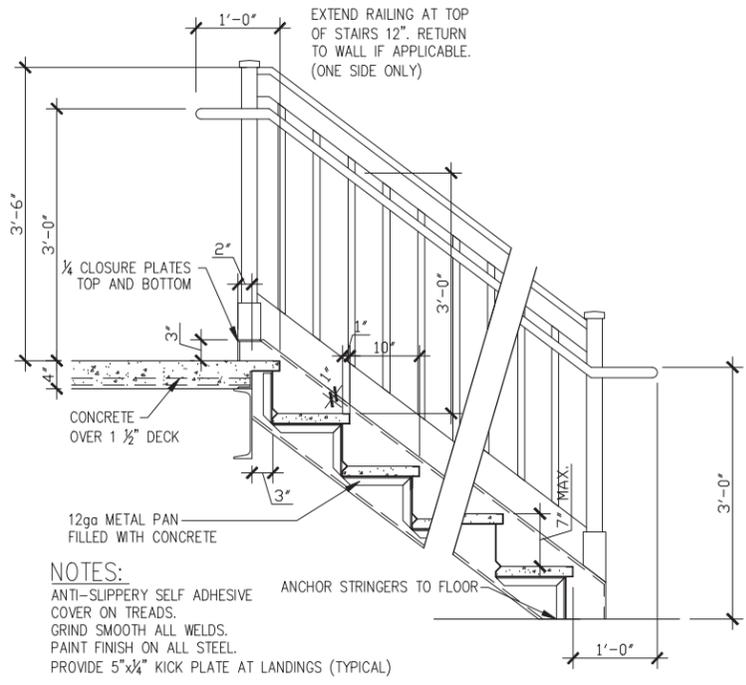
ELEVATION B

ELEVATION C

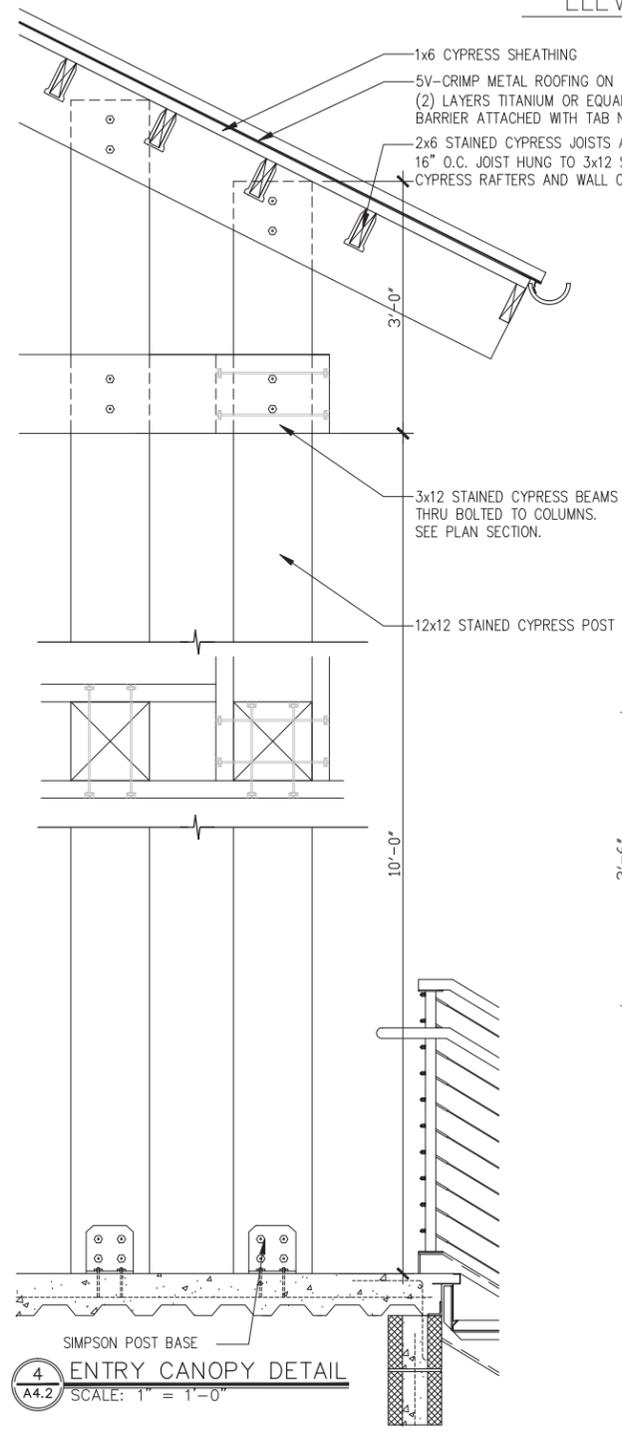


TYPICAL END CONDITION A

3 TYPICAL CABLE RAILING DETAILS
A4.2 SCALE: 1" = 1'-0"



2 TYPICAL STAIR DETAIL
A4.2 SCALE: 1" = 1'-0"



4 ENTRY CANOPY DETAIL
A4.2 SCALE: 1" = 1'-0"

- NOTES:**
 ANTI-SLIPPERY SELF ADHESIVE COVER ON TREADS.
 GRIND SMOOTH ALL WELDS.
 PAINT FINISH ON ALL STEEL.
 PROVIDE 5"x4" KICK PLATE AT LANDINGS (TYPICAL)

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Drawn By: mkk

Checked By: krc

Date: 03.07.16

Revisions

Rev	Description

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File Name:

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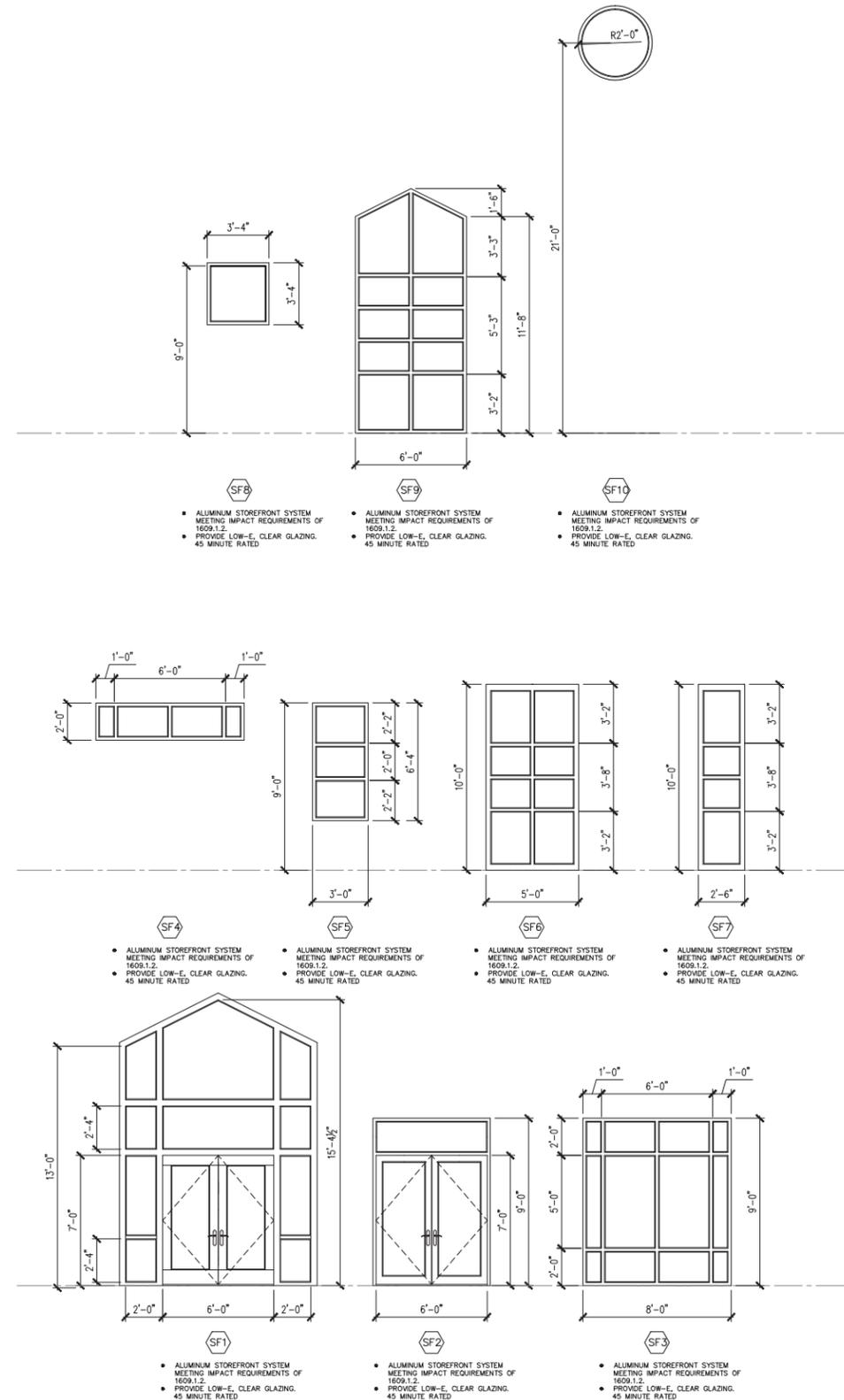
STOREFRONT

Sheet No.

A5.1

Scale:

EXTERIOR STOREFRONT





ARCHITECTURAL METAL PANELS
SCALE: NOT TO SCALE

HANDRAILS AND GUARDS
SCALE: NOT TO SCALE

FOUNTAIN TILE
SCALE: NOT TO SCALE

METAL ROOFING
SCALE: NOT TO SCALE



1 PROPOSED RENDERING
R1.0 SCALE: NOT TO SCALE



Charcoal Gray XP

STOREFRONT/LOUVERS
SCALE: NOT TO SCALE



HOR. SIDING BODY COLOR
SCALE: NOT TO SCALE



FOUNDATION/B&B COLOR
SCALE: NOT TO SCALE



TRIM & STUCCO COLOR
SCALE: NOT TO SCALE

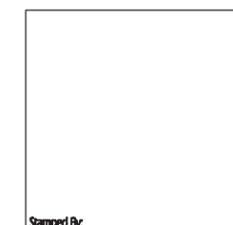
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Stamped By:

Drawn By: *mwk*

Checked By: *krg*

Date: 03.07.16

Revisions

No.	Description

Project No. 15146

File Name:

Drawing Title:

RENDERING

Sheet No.

R1.0

Scale:

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME:

DRB#: DRB-000442-2016

DATE: March 22, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

* Staff recommends no action be taken on submittal until additional materials are submitted. Applicant requests preliminary input on architecture and landscaping knowing that colors & material samples, fountain & pool details, and lighting are still to be submitted for complete review.

RECOMMENDED CONDITIONS:

1. Submit details for fountain and pool.
2. Submit color (including manufacturer's name and number) and material samples.
3. Submit lighting plan and cut sheets for each fixture type.
4. Provide plant schedule that corresponds with proposed landscape plan.
5. Clarify courtyard plan (identify all materials/elements).
6. Provide cut sheets for architectural panels and metal louvers.

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include metal (panels, roofing, louvers) and stucco. Colors appear predominantly grey.

Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof pitch varies.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood railing (with stainless steel cable guards), stained wood columns and decorative trusses (at entrance)
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown. Lighting plan including manufacturer's cut sheets required for final approval.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Signage requires approval under a sign permit application.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider addition of taller material at front of building, ie palmetto between stairs and fountain in front of louvers.
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trees at front of building noted "Preserve trees if possible see tree protection on civil eng. plans, typ." Provide civil eng. plans and clarify whether trees are to remain or be removed. If to be removed, additional plantings are warranted. Specimen tree (48 Laurel Oak) is marked to be

				removed. Verify that tree is hazardous or will require variance from BZA.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Native plants include live oak, yaupon holly, wax myrtle, anise, and saw palmetto.
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plan includes overstory trees, understory trees, shrubs, and groundcover.
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specimen trees at Park Lane include note to coordinate planting with Natural Resources.
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sod limited to front of building.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D.

Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

IBC Section 1007.1 requires buildings that are required to have more than one exit to have a minimum of two accessible exits. The elevator can be the accessible entrance. It can also be one of the accessible exits only if it meets the criteria of IBC Section 1007.4 which will require standby power sources to be provided.