



Town of Hilton Head Island Regular Design Review Board Meeting

May 10, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of April 26, 2016
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. *New Development - Final*
 - Shelter Cove Apts. East 2, DRB-000800-2016
 - B. *Alteration/Addition*
 - Coral Sands-North, DRB-000779-2016
 - C. *New Development – Conceptual*
 - Diamond/AT&T Tower, DRB-000791-2016
11. **Appearance by Citizens**
12. **Adjournment**

Town of Hilton Head Island
Minutes of the Design Review Board

Benjamin M. Racusin Council Chambers

April 26, 2016

1:15p.m.

Board Members Present: Vice Chairman Dale Strecker, Ron Hoffman, Michael Gentemann, Brian Witmer, Kyle Theodore

Board Members Absent: Debbie Remke (excused), Chairman Jake Gartner (excused)

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Richard Spruce, Plans Examiner
Teresa Haley, Secretary

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting

1. Call to Order

Vice Chairman Strecker called to order the regular meeting of the Design Review Board at **1:15pm.**

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board **approved** the agenda by general consent.

5. Approval of Minutes

The Board reviewed the minutes of the **March 22, 2016** meeting and **approved** the minutes by general consent.

6. Staff Report

Ms. Ray stated that Board training will be scheduled in the upcoming weeks.

7. Board Business – None

8. Old Business – None

9. Unfinished Business

A. New Development – Final

- Park Lane Office Building, DRB-000442-2016

(Mr. Witmer recused himself from review of application DRB-000442-2016 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)

Ms. Ray introduced the project and stated its location: 10 Park Lane. Ms. Ray stated that the applicant proposes to build an office complex with four buildings located around a central courtyard. Ms. Ray presented an in-depth review of the previous DRB comments and further described the changes made since the last DRB review. The site plan now clarifies the area of the pavers for the parking outside of the building and concrete parking under the building; a dumpster detail engineering plan shows the dumpster enclosure added to a corner location onsite. The landscape and courtyard plans have been modified as well. Ms. Ray presented a sample of the foundation gray color and expressed concern that it appears to have a purple tone. A plan has been provided for the building lighting and Staff's comment is to verify the lighting meets certain LMO requirements.

Staff recommends approval with the following conditions: 1) additional detail be provided for the dumpster screen; 2) verify that exterior light fixtures meet requirements of LMO Section 16-5-108-C.1-2 regarding fixture and light source; and 3) a less purple shade of gray be considered for the foundation of the building.

Vice Chairman Strecker requested that the applicant make a presentation. The applicant further described the most recent updates to the project. The applicant stated he will work with Ms. Ray regarding the purple tone of the gray color for the foundation of the building and that the dumpster and enclosure will be removed from the project.

Vice Chairman Strecker requested comments from the Board. The Board complimented the project development and the applicant's response to previous Board recommendations. The Board discussed the concern for the brightness of the white color presented for the top element of the building. The Board further discussed the material samples provided, including the metal panels.

Mr. Hoffman made a motion to **approve** DRB-000442-2016 with the following conditions: 1) the applicant work with Staff on the purple/gray color (SW 6277 "Special Gray") and the white color (310 "China White"); and 2) that the lighting meet requirements of the LMO. Ms. Theodore **seconded** the motion. The motion **passed** with a vote of 4-0-0.

10. New Business

A. Alteration/Addition

- Storage Building (Southern Services), DRB-000675-2016

Ms. Ray introduced the project and stated its location: 10 Capital Drive. Ms. Ray presented an in-depth review of the previous DRB comments and further described the changes made to address the Board's concerns. The metal building has been replaced by a building with board-and-batten wood siding and a shingle roof. A landscape plan including a hedgerow of ligustrum and wax myrtle has been submitted. The building has been shifted +/- 6' away from the parking lot to allow for landscaping between the building and the parking lot. The roof pitch has been revised and roof

overhangs have been added. Shutters have been added to the rear and side elevations. A decorative light fixture has been added at the pedestrian entrance. Colors are intended to match those on the existing building. Staff recommends approval as submitted.

Vice Chairman Strecker requested that the applicant make a presentation. The applicant clarified the locations of the light fixtures and the color of the hand rail as matching the body of the building.

Vice Chairman Strecker requested comments from the Board. The Board complimented the applicant for revising project plans according to the Board's previous comments. The Board expressed concern for the choice of ligustrum plantings. The Board asked for clarification of the hand rail color.

Mr. Witmer made a motion to **approve** DRB-000675-2016 with the following condition: 1) replace the ligustrum with a more native or naturalized species for Staff approval. Ms. Theodore **seconded** the motion. The motion **passed** with a vote of 5-0-0.

- Verizon Walmart Store #728, DRB-000664-2016

Ms. Ray introduced the project and stated its location: 25 Pembroke Drive. Ms. Ray stated that the applicant proposes to add a small cell antennae at the existing Walmart of Pembroke Drive. The antennae will be located on the front/parking lot side of the building and the cabinet/equipment will be located on the rear/service side of the building adjacent to the electrical room. The small cell antennae and conduit will be painted to match the building. Staff recommends approval as submitted.

Vice Chairman Strecker requested that the applicant make a presentation. The applicant expressed thanks to Ms. Ray for her presentation and had no further comments.

Vice Chairman Strecker requested comments from the Board. The Board asked for clarification as to the size of equipment box. The Board inquired as to the location of the equipment – front vs. back of the building. The applicant explained that service is needed where people are, which is in the front of the building and the parking lot area.

Mr. Gentemann made a motion to **approve** DRB-000664-2016 as submitted. Mr. Hoffman **seconded** the motion. The motion **passed** with a vote of 5-0-0.

- Improvements at Simmons Fish Camp, DRB-002184-2015

(Mr. Witmer recused himself from review of application DRB-002184-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)

Ms. Ray introduced the project and stated its location: 11 Simmons Road. Ms. Ray stated that the applicant has proposed changes to the existing Simmons Fish Camp and has received approval with conditions from the DRB on two separate occasions. Ms. Ray presented an in-depth description of the latest submittal which includes changes and clarifications on submitted plans. The latest changes are consistent with previously approved changes and are consistent with the Design Guide. Staff recommends approval, with the understanding that the site plan will need to be modified to meet the requirements of the DPR.

Vice Chairman Strecker requested that the applicant make a presentation. The applicant expressed thanks to Ms. Ray's efforts. The applicant further described the latest submittal and answered questions by the Board.

Vice Chairman Strecker requested comments from the Board. The Board complimented the project. The Board asked for clarification as to the material used for the dumpster enclosure. The Board expressed concern that such material as hurricane fence would be transparent and the dumpster would be viewable.

Ms. Theodore made a motion to **approve** DRB-002184-2015 with the following condition: 1) the service yard/dumpster enclosure gating be further studied and designed as a non-transparent solution for Staff approval. Mr. Gentemann **seconded** the motion. The motion **passed** with a vote of 4-0-0.

B. *Sign*

- Adventure Cove, DRB-000544-2016

Ms. Ray introduced the project and stated its location: 18 Folly Field Road. Ms. Ray stated that the applicant proposes to construct a new freestanding "v" formation sign on property recently acquired from the Town of Hilton Head. The "v" formation sign is proposed in order to improve visibility from traffic merging onto William Hilton Parkway from Mathews Drive as well as north and south bound traffic on William Hilton Parkway. The style of sign as well as accompanying landscaping is consistent with the LMO and Design Guide. Staff recommends approval with the following condition: 1) specify that sign will be finished on "back side" per the Design Guide.

Vice Chairman Strecker requested that the applicant make a presentation. The applicant was amenable to working with Staff comments. The applicant answered questions by the Board.

Vice Chairman Strecker requested comments from the Board. The Board complimented the project. The Board asked for clarification of the existing building color. The Board expressed concern for the brightness of the lightest color in comparison to the color of the existing building.

Ms. Theodore made a motion to **approve** DRB-000544-2016 with the following conditions: 1) specify that sign will be finished on "back side" per the Design Guide; 2) sign be located 10 feet from bike path easement; and 3) SW6140 "Moderate White" be altered to one shade darker. Mr. Hoffman **seconded** the motion. The motion **passed** with a vote of 5-0-0.

C. *New Development – Final*

- Springhill Suites by Marriott, DRB-000723-2016

Ms. Ray introduced the project and stated its location: 1 Marina Side Drive. Ms. Ray presented an in-depth review of the previous DRB approval with conditions and further described the changes made since the last DRB review. Staff recommends approval with the following conditions remaining from conceptual submittal (per DRB NOA): 1) consider relocating the main entry drive towards where the restaurant had previously been proposed to open up the site for more green space; 2) revise the parking layout to locate planting medians at areas of existing trees and

in turn saving more of the existing trees where possible; and 3) provide landscape screening between the pool and the parking areas.

Staff recommends approval with the following conditions based on final submittal: 1) add landscaping at relocated dumpster enclosure. Consider expanding median to provide adequate space for enclosure, screening, and specimen tree; and 2) provide additional screening at transformer beyond ground cover.

Vice Chairman Strecker requested that the applicant make a presentation. The applicant reiterated the changes made since the last DRB review.

Vice Chairman Strecker requested comments from the Board. The Board complimented the efforts of the applicant and progress of the project. The Board expressed concern for adequate access to the dumpster enclosure and discussed a relocation area for such enclosure. The Board further discussed the following concerns: the need for more green screen and less brick at the pool area; jasmine plantings as a better substitute to ivy due to climate conditions; the need for taller trees in certain areas of the site; the impact of the parking easement in connection with the adjacent property; and the appropriate lighting as required by the LMO.

Ms. Theodore made a motion to **approve** DRB-000723-2016 with the following conditions: 1) add landscaping at relocated dumpster enclosure and consider additional relocation as discussed with DRB; 2) provide additional screening at transformer and generator beyond ground cover; 3) taller plant material, specifically, palmetto trees or similar be provided between the parking and the building in the front, and if possible, in the back; 4) confederate jasmine be utilized for the green screen plant material; 5) the parking easement implications shall incorporate a landscape buffer between this project and the adjacent property to be approved by Staff; 6) adjustment of parking stalls be incorporated to salvage existing trees; and 7) change the green screen locations to five or more along the pool elevation. Mr. Gentemann **seconded** the motion. The motion **passed** with a vote of 5-0-0.

11. Appearances by Citizens – None

12. Adjournment

Vice Chairman Strecker adjourned the meeting at 3:03p.m.

Submitted by:

Approved by:

Teresa Haley, Secretary

Dale Strecker, Vice Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Trey Griffin Company: Wood+Partners, Inc.
 Mailing Address: PO Box 23949 City: HHI State: SC Zip: 29925
 Telephone: _____ Fax: _____ E-mail: tgriffin@woodandpartners.com
 Project Name: Shelter Cove Apts - East2 Project Address: 40 Shelter Cove Lane
 Parcel Number [PIN]: R 520 - 012 - 000 - -0002 - 0000
 Zoning District: PD-1 Overlay District(s): COR, SCARB

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
 - Final site development plan meeting the requirements of Appendix D: D-6.F.
 - Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
 - Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
 - A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

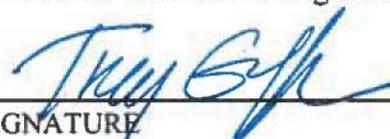
- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.
A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE

4.26.16

 DATE

April 26, 2016

Re: **Shelter Cove Apartments - East #2**
DRB Final Review Narrative
NBA Project No. 113046.00

The Shelter Cove Apartment Project includes two multifamily residential sites that flank the Veterans Memorial Park. The East #2 site, East of the Veterans Park, will provide 104 luxury flats in a 4-story building with a 4-story wrapped parking deck. One, two and three bedroom units will have a mix of open and screened balconies in a configuration that takes advantage of the beautiful marsh views. The Architecture is an upscale coastal style that blends well with the Shelter Cove Mall Development and compliments the greater Hilton Head Island context. Materials such as brick and fiber cement siding, large windows, brackets, and overhanging balconies will give the building texture and depth. As a result of previous conversations concerning scale, we have further stepped the building down to 3-stories on the facade facing Shelter Cove Lane. All parking for residents and guests will be provided within the structured parking deck.

The colors and materials will be subdued and fitting for the island context. The colors, materials and design will also be identical to the East #1 building so the community as a whole is tied together visually. The parking deck will be clad in brick and feature an accent drive under feature which will help to hide visibility of the deck itself.

In addition to the building experience, there is a focus on landscape design that makes the property an even more inviting destination. The public path will wrap behind the buildings and follow the banks of the marsh providing waterfront access and views. The multi-use path will also serve as emergency service access for the buildings. The pedestrian experience along this path will feature the visual interest of low lying plantings, shade trees, gardens, wetlands, marsh and a pass by the luxury property amenity area. Landscaping and subtle grade changes will be artfully used to delineate public and private areas.

Overall, the design features of this project will strive to celebrate the beauty and uniqueness of the property while respecting the public experience and the greater Hilton Head design context.

Atlanta
3060 Peachtree Rd. N.W.
Suite 600
Atlanta, GA 30305
404 365 7600

Alexandria
300 North Lee St.
Suite 502
Alexandria, VA 22314
703 836 0915

San Jose
325 South First St.
Suite 301
San Jose, CA 95113
408 278 1249

Shelter Cove Apartments (East # 2 Site)

DRB Material Selections/Options

Hardscape

Walks

1. 4" Concrete sidewalk (standard color – broom finish)
2. 6" Concrete sidewalk (where needed at Fire Lane – same as 4")
3. Decorative Concrete Pavers - **Pedestrian**
 - a. **Type A** –Plantation Paver by Lowcountry Paver
Pattern: running bond pattern to mimic boardwalk look, Riverwalk Style
Color: Coligny Blend (Cream, Brown, Charcoal)



Plantation Paver



Coligny Blend

- b. **Type B** – coastal ridge flagstone, classic style concrete paver by Lowcountry Paver
Shape: 3 piece flagstone style
Color: Coligny Blend (Cream, Brown, Charcoal)



Coastal Flagstone Paver



Coligny Blend

4. Decorative Concrete Pavers - **Vehicular**

- a. Permeable angled parking (matches East #1 Site)
Pattern: 90 degree Herringbone with single header border
Lowcountry Paver – Hydrashed Permeable Paver
Color blend: 50% shrimp boil, 50% Spartina Blend



Hydrashed Permeable Paver



Shrimp Boil Color Sample



Spartina Color Sample



Shrimp Boil/Spartina Blend example

- b. Crosswalks – standard concrete paver
Plantation style – Lowcountry paver – running bond with single header border.
Color blend: Shrimp boil (matches East #1 Site)

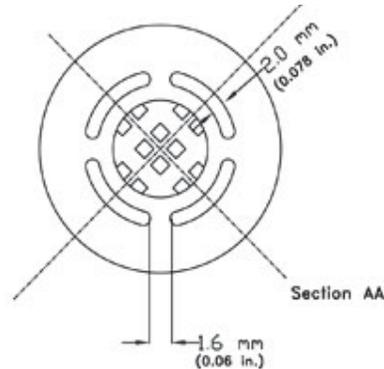


Plantation Paver



Shrimp Boil Color Sample

5. Multi-Use Path and Fire Lane – Asphalt path surface over reinforced subgrade/turf shoulder
6. ADA Truncated Dome Tile
 Manufacturer: Step-Safe Detectable Warning Tile
 Color: Charcoal, Size: 12"x12"x.5"



Walls / Columns / Fencing

1. Walls - Veneer = Shell / Tabby Stucco, Cap = Brick Cap (Cherokee Brick Co., Mosstown)
2. Columns – Shell / Tabby Stucco with Brick Caps (Cherokee Brick Co., Mosstown)
3. Fencing & Gates – Aluminum – (Bronze Finish)

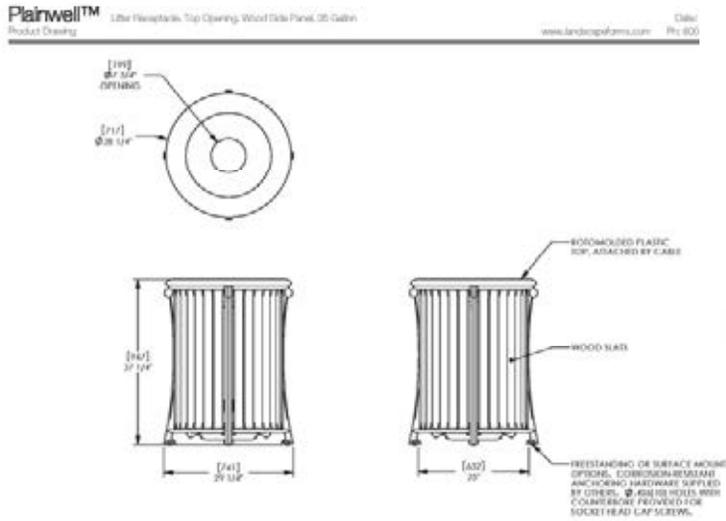
Site Specialties

1. Grill Islands (Freestanding) – Shell / Tabby stucco veneer to match site walls with granite tops. Gas grills: Broilmaster built-ins, Black
4. Fire Pit – Shell / Tabby stucco veneer outside, fire brick interior, brick cap (Cherokee Brick Co., Mosstown). Gas source. Key valve operation
5. Swing Trellis – paint stain on wood, teak swing bench. Wood Color: S.W. 7030 Anew Gray to match architecture.
6. Pool Trellis – paint stain on wood. Wood Color: S.W. 7030 Anew Gray to match architecture.

Site Furnishings

1. Trash Can:

- Landscape Forms Plainwell trash can (35-gallon capacity with black liner)
- Metal Frame Color: Bronze
- Wood Slats: IPE



2. Bollards:

- Reliance Foundry Co. Ltd. – R-7901, Ground Mount,
- Removable with receiver and hinged lid
- Color: Statuary Bronze



3. Bike Loops:

- MadRax 'UX' Bike Rack (Model UX238-IG-MS)
- Finish: Bronze/Galvanized powder coat
- Mount: In Ground



Bronze

4. Bike Rack (inside parking deck):

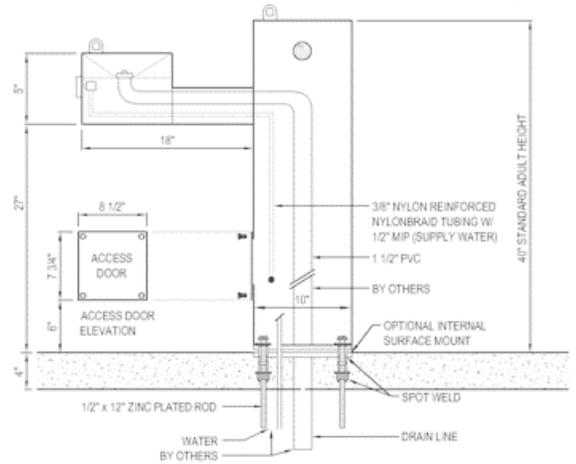
- MadRax 'Gridrac' Bike Rack
- Model: GR116 / 9 bike (one side)
- Finish: Bronze/Galvanized powder coat
- Mount: Surface



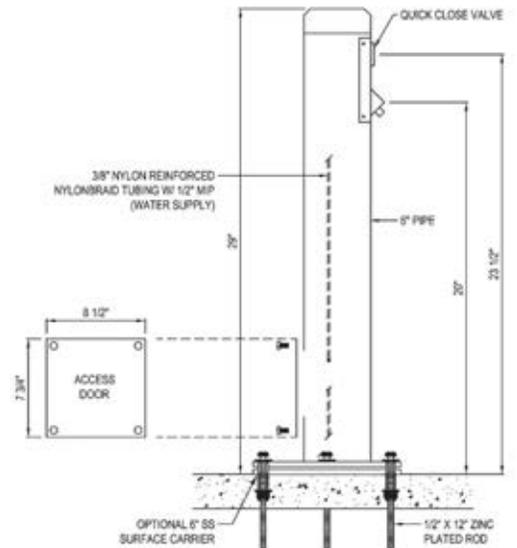
Bronze



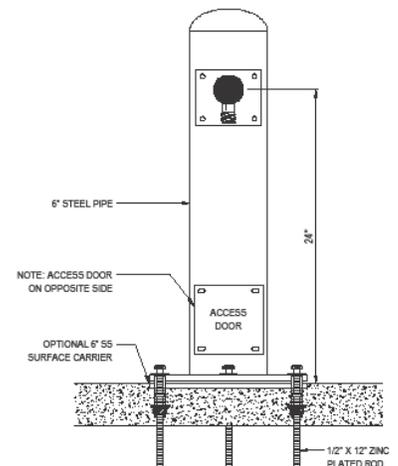
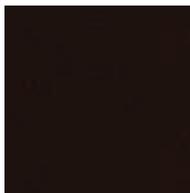
5. Pedestal Drinking fountain:
- Most Dependable Fountains
 - Model#: 440SM (ADA Compliant)
 - Color: Brown Powder Coat



6. Pool Foot Wash/Shower:
- Most Dependable Fountains
 - Model #: 525SMSS foot tower w/ optional hose bib
 - Color: Brown



7. Hose Bib:
- Most Dependable Fountains
 - Model #: 24SM
 - Color: Brown



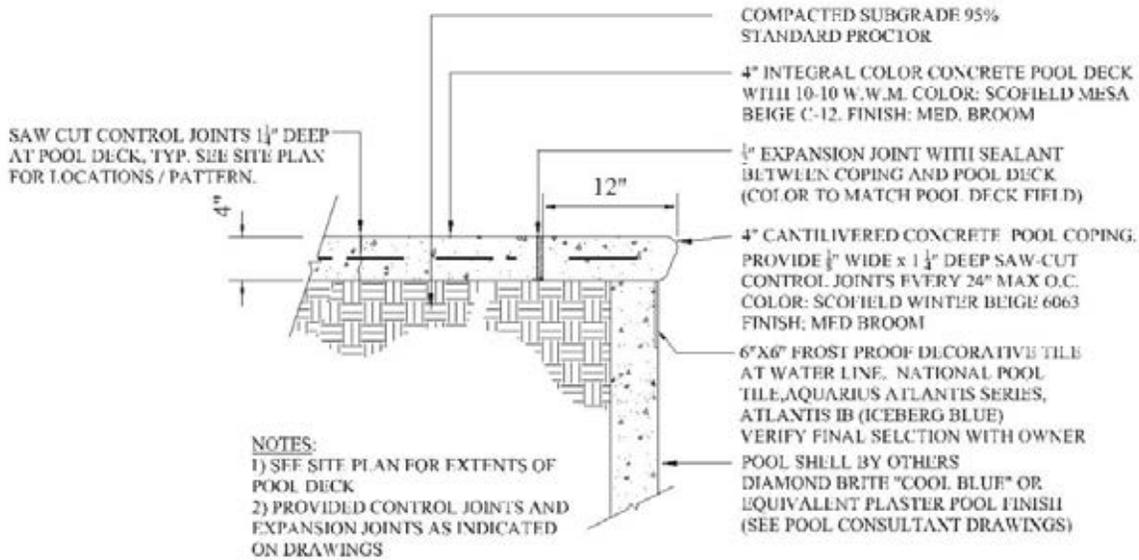
Pool Selections:

Pool Coping:

- 12" Cantilever Color Concrete Coping
- Color: Scofield Winter Beige 6063
- Finish: Light Broom Finish

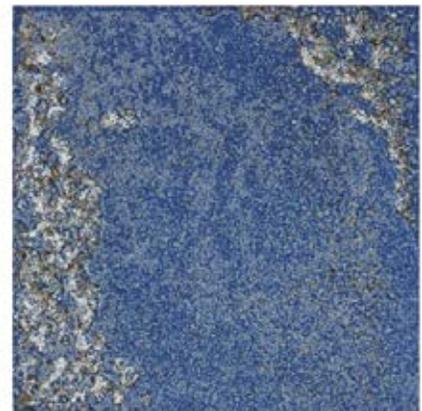


WINTER BEIGE



Pool Tile: Feature Pool, Lounge Pool and Ocean Dunes Pool

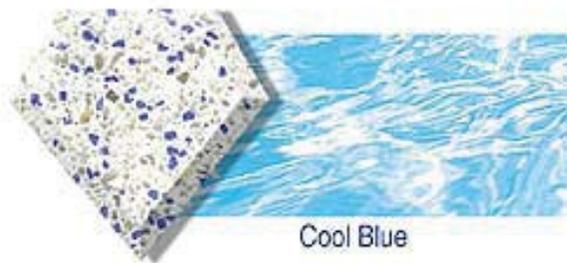
- National Pool Tile – 6"x6" Frostproof Tile
- Aquarius Atlantis Series – Atlantis IB
- Color: Iceberg Blue



Aquarius Atlantis IB Tile

Pool Plaster:

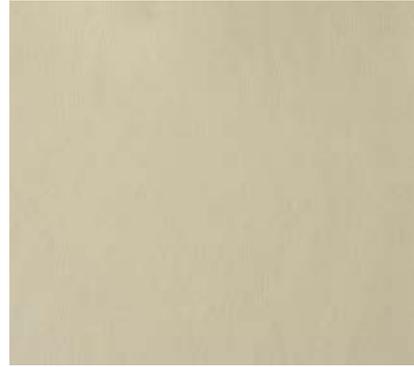
- Color: Diamond Brite, Cool Blue



Cool Blue

Pool Deck:

- 4" color concrete (integral)
- Color: Scofield Mesa Beige, C-12 (or equal)
- Finish: Medium Broom



Mesa Beige Concrete

Pool Wall Jets:

- Roman Fountains Precision Wall Jet
- Model: RPWJ-PJ-312 (10' distance)

NOTE: Due to our continuing product improvement program, Roman Fountains reserves the right to change the specifications without notice.

OPERATING DATA:
 NOISE: _____ Low to Medium
 VISIBILITY: _____ Low
 SPLASH/MSF: _____ Medium
 WIND STABILITY: _____ Low
 OPERATION QUALITY: _____ Low

TECHNICAL AND HYDRAULIC DATA											
MODEL (PRECISION JET)	PVC SLIP NOZZLE	NOZZLE ORIFICE DIA.	*THROW ANGLE		DISTANCE	THROW @ 45° ANGLE					
			MIN.	MAX.		5'	6'	10'	12'	14'	16'
RPWJ-PJ-187	3/4"	3/16"	15°	45°	GPM	1.3	1.5	1.6	2.1	2.2	2.3
RPWJ-PJ-250	3/4"	1/4"	15°	45°	GPM	2.0	2.6	2.6	3.1	3.4	3.6
RPWJ-PJ-312	3/4"	5/16"	15°	45°	GPM	2.6	3.0	3.6	4.2	5.1	6.0

NOTE: AN 8" MINIMUM WALL THICKNESS REQUIRED TO INSTALL UNIT.
NOTE: NOZZLE ORIFICES ARE INTERCHANGEABLE IN THE FIELD.
NOTE: USE ONLY PURPLE PRIMER AND HEAVY BODY GRAY PVC GLUE TO INSTALL.
NOTE: POWDER COATED COVERS IN VARIOUS COLORS AVAILABLE; CONSULT FACTORY.
NOTE: Fine screening at pump, half the diameter of jet orifice or smaller opening, to minimize nozzle clogging is recommended.

NOTE: THIS PRODUCT COMPLIES WITH NEC ARTICLE 680.26(B)(3)

SPECIFICATION DATA: Precision 'Wall Jet': high strength Sch. 40 thermoplastic niche body with waterstop/key flange, rebar attachment holes, brass swirl-type nozzle, flush brass cover plate with stainless steel cover fasteners, 3/4" PVC slip connection.

DESIGN/APPLICATION DATA: RPWJ Series precision clear stream wall jets are designed for use in pools where a flush mounted sidewall nozzle is required. The modular design facilitates ease of installation while providing a clean, unobtrusive, vandal resistant finish.

TYP. () ITEM # _____

ROMAN FOUNTAINS CORP.
 P.O. Drawer 10190
 Albuquerque, N.M. 87184
 Phone #: (800) 754-1801
 Fax #: (505) 343-8086
<http://www.romanfountains.com>

Revisions:		
No.	Date	By
6	07/29/08	FG
7	01/31/10	FG
8	04/21/10	FG
9	01/31/11	FG
10	01/31/12	FG

Precision	
'Wall Jet'	
Drawn By: F.J.G.	Model No.
Checked By: J.M.	RPWJ-PJ
Revised: None	Drawing No.
Date: 12/10/08	1.36

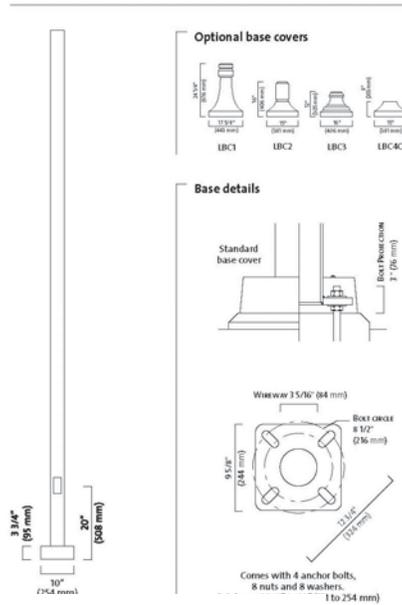
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Site Lighting

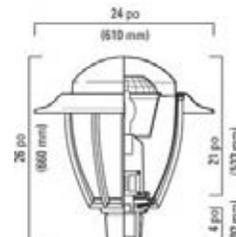
Pedestrian Area Lighting (Rear Courtyards):

Philips Lumec LP 20 Series # LP20- PCCS with Cage

- Lamp Type: 100 W High Pressure Sodium
- Pole: 12' Mounting Height (4" round smooth pole – Brown)
- Finish: Lumital™ Polyester Powder Coat Finish
- Color: Brown



Caged Option

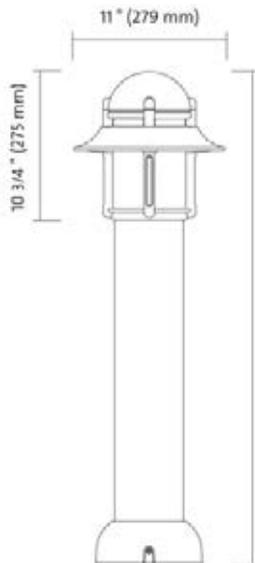


Pole – 12' height

Bollard Lighting:

Philips Lumec Domus Series DOSB1

- Lamp Type: High Pressure Sodium
- Housing: Cast Aluminum
- Finish: Lumital™ Polyester Powder Coat Finish
- Color: Bronze



Bronze Color Sample

Accent Uplight:

Beachside Lighting - Model # L-011-BAB-BGSF-GS4-120V

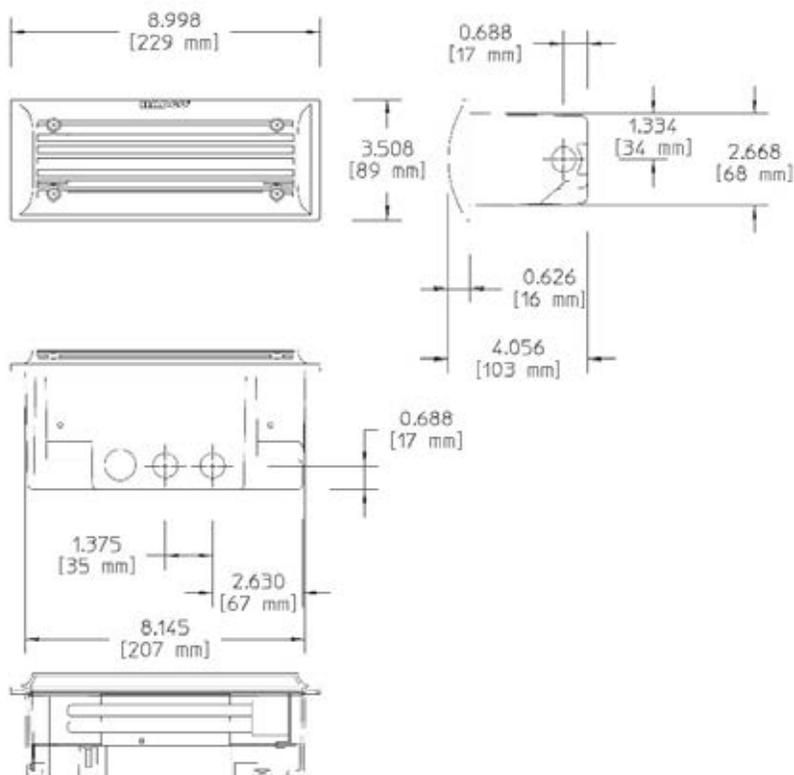
- Lamp Type: 20W Hal
- Housing: Brass with Brass glare shield (full cutoff)
- Color: Natural Finish (Age to bronze over time)
- Ground Mount on standard spike with cast bronze cap



Wall / Step Light:

Phillips Hadco

- Fixture Model #: CB1004K5F13E
- Lamp Type: 13W CFL
- Mounting: Recessed wall mount (per manufacturer recommendation)
- Control: Timer/Switch
- Color: Bronze



Trellis Accent Downlight:

Focus Industries Wall Mount #sl-16-dmr16-brs

- Lamp Type: MR16 FL 20w
- Housing: Solid Brass Faceplate, Copper Outer Housing with Wiring Compartment
- Color: Brass



SPECIFICATIONS

CONSTRUCTION: 316 stainless steel or brass cylinder and canopy
LENS: Clear tempered flat glass
CANOPY GASKET: Black newsponge closed cell .190" thickness
LAMP SUPPLIED: 20w MR16 FL(BAB) 5000 hours average rating (20w total max)
LAMP OPTIONS: We recommend 20w MR16 ULTRA10,000 hours average rating; 20 watt MR16 TITAN 18,000 hours average rating; 4w ARROW LED 50,000 average rating
SOCKET: High temperature ceramic GU5.3 bi-pin with 250°C silicone lead wires
WIRING: Black and 2 White 250°C silicone lead wires
CONNECTION: FA-05 Quick Connector (not supplied) from fixture to main cable (1/2", 10/2 or 8/2 only)
MOUNTING: Canopy included with 2 stainless steel or brass #2 Phillips, flat head, wood screws
FINISH: Stainless Steel - Machined stainless steel only
 Brass - Unfinished brass. Optional finishes available



UP/DOWN LIGHT MODEL AVAILABLE
SEE SL-16-MR16



SL-16-D-MR16-SS

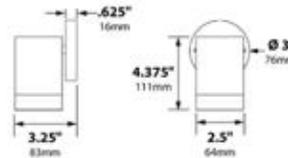
SL-16-D-MR16 LED-BAR

ORDERING INFORMATION

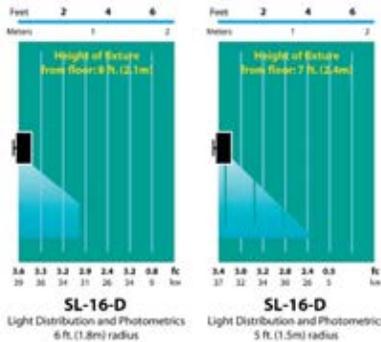
CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
SL-16-DMR16-SS	316 Stainless Steel Down Light	20w MR16 FL(BAB)	2.0 lbs.
SL-16-DMR16-BRS	Brass Down Light	20w MR16 FL(BAB)	2.0 lbs.

COLOR/BEAM/GLARE CONTROL ACCESSORIES

- FA-08-21 Round 1/8" Black Hex Cell Louver
- FA-11-BLUE Blue Tempered Flat Glass Lens
- FA-11-GREEN Green Tempered Flat Glass Lens
- FA-11-AMBER Amber Tempered Flat Glass Lens
- FA-11-RED Red Tempered Flat Glass Lens
- FA-98-36C16 Linear Spread Tempered Glass Lens
- FA-104-5B Wide Spread Sand Blasted Glass Lens



LIGHT DISTRIBUTION AND PHOTOMETRICS



JOB INFORMATION	
Type:	Date:
Job Name:	
Cat. No.:	
Lamp(s):	
Specifier:	
Contractor:	
Notes:	
FOCUS INDUSTRIES INC. 23301 COMMERCENTRE DRIVE LAKE FOREST, CA 92630	
www.focusindustries.com sales@focusindustries.com (949) 830-1350 • FAX (949) 830-3390	

Black Texture (Standard)	Antique Verde	Bronze Texture	White Texture	Hunter Texture	Rust	Weathered Iron	Weathered Brown	Stucco	Rubbed Verde	Chrome Powder	Acid Rust	Acid Verde	Black Acid Treatment	
-BLT	-ATV	-BRT	-CAM	-WTX	-HTX	-RST	-WIR	-WBR	-STU	-RBV	-CPR	-BAR/CAR	-BAV/CAV	-BAT

BRASS & COPPER ONLY

SL-16-D-MR16 Cut Sheet 011414

IMAGE OF STYLE TO BE
USED FOR SHELTER COVE
BALCONY RAILINGS





900 Railing (Style A), 902 Top Rail and Superior Panel Decking



picket screws on top and rail assemblies for a cleaner, more



Note: 3/4" sq. pickets and 3/4" x 1 1/2" pickets are also interchangeable.

Top Rail Selections



9000 RAILING features 2 1/2" square posts, 1/2" square pickets, and 905 top rail.



9900 RAILING features 2 1/2" square posts, 1/2" x 3/4" pickets, and 905 top rail.

Note: All top rail (901, 902, 905), posts (2", 2 1/2", 4"), and pickets (3/4" square, 3/4" x 1 1/2") are interchangeable.

For 9000 and 9900 Railing meets OSHA, ICC, and ADA criteria.



Style C Double Top Rail with Through Picket

Through pickets can be spaced according to your preference, example: every picket, every 2nd, 3rd, 4th picket, etc.



Interchangeable Post

All 2" or 2 1/2" square posts can be substituted with a 4" square post.

Machined post openings are available for 2 1/2" and 4" square posts. A 4" machined post opening is shown above.

In the 9000 railing application above, 4" square posts are used for the end posts and a 2 1/2" square post is used for the crossover post.



9000 Railing (Style A), 902 Top Rail



Style D Hand Rail (with mtg. brackets)

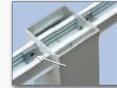
905 Top Rail or Superior Series 500 Pipe Rail can be used for hand rail applications.



9005 Railing, Open Triple Top Rail, 905 Top Rail and Series 900 Pipe Rail Used for Hand Rail Application

9000 Railing

9900 Railing



All posts are machined with openings to receive the top and bottom rails. As assembled railing is inserted into the openings, a rail wedge located in the bottom rail will ensure proper insertion of 1/4" inside the post.

Pre-drilled rail tabs are provided with the post to connect the top rails. If a railing section or sections need to be shortened, simply saw an equal amount from each railing end with the use of a miter or circular saw. Reinstall and tighten the rail wedge using an 1/8" Allen Wrench on the bottom rail so 1/4" protrudes through the post openings. Next, connect the two top rails together with a rail tab, and drive the post cap in place with a rubber mallet.



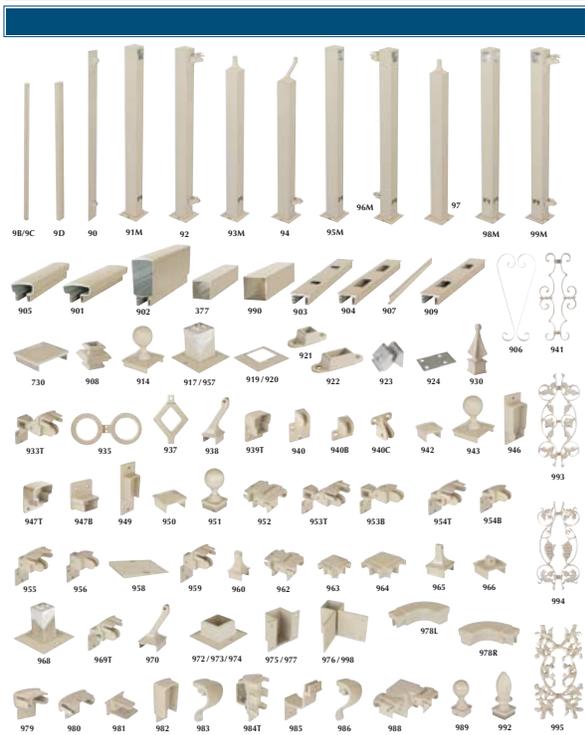
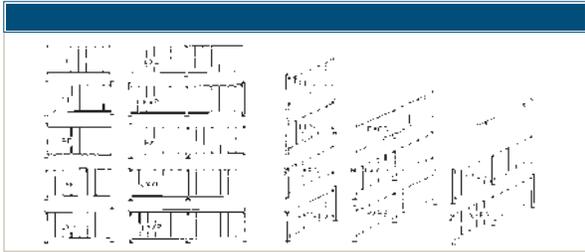
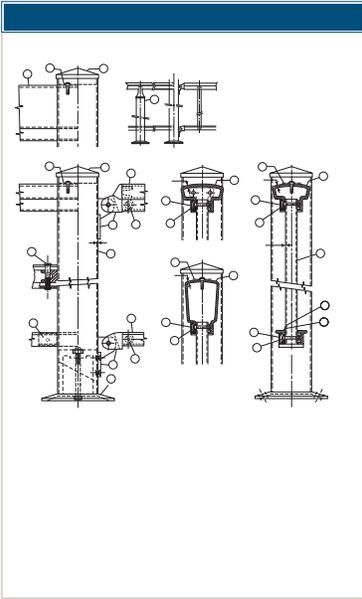
Swivel brackets are required for all step rail applications.



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9000 Railing (Style B), 900 Top Rail

9000 Railing (Style A), 900 Top Rail and Series 500 Handrail



- 90 ___ Picket 3/4" x 1 1/2" 2 1/2" Diameter Rail
 90 ___ Wall Plate 946 Adj. End Brlt. Top (for 902)
 91 ___ End Post (Brackets) 947T Adj. End Fitting Top (for 901)
 91M ___ End Post (Machined Openings) 947B Adj. End Fitting Bottom
 92 ___ Swivel Post 949 End Bracket for #902
 93 ___ Crossover Post (Brackets) 950 Cap for 2 1/2" Post
 93M ___ Crossover Post (Machined Openings) 951 Post Bail Cap for 2 1/2" Post
 94 ___ Bottom Step Post 952 Top Rail Hinge 2 1/2" w
 95 ___ Section Post (Brackets) 953T 2-Way Swivel Bracket - 2 1/2"
 95M ___ Section Post (Machined Openings) 953B 2-Way Swivel Bottom
 96 ___ Top Step Straight Post (Brackets) 954T Horiz. Swivel Brlt. Top - 2 1/2"
 96M ___ Top Step Straight Post (Machined Openings) 954B Horiz. Swivel Brlt. Bottom
 97 ___ Intermediate Step Post 955 Vertical Swivel Top 2 1/2" w
 98 ___ Corner Post (Brackets) 956 Vertical Swivel Bottom
 98M ___ Corner Post (Machined Openings) 958 Angle Ramp Plate
 99 ___ Top Step Corner Post (Brackets) 959 Vertical Swivel Top 2" w
 99M ___ Top Step Corner Post (Machined Openings) 960 Crossover Cap for 2" Post
 962 Top Rail Hinge 2" w
 963 Top Rail Corner 2" w
 964 Top Rail Corner 2 1/2" w
 965 Crossover Cap for 2 1/2" Post
 966 Crossover Cap for 2 1/2" Post (Flat)
 969T Horiz. Swivel Brlt. Top - 2" w
 970 Angle Crossover Cap for 2 1/2" Step Post
 971 Crossover Cap for 4" Post
 978L Wall Return - LH for #905 Top Rail
 978R Wall Return - RH for #905 Top Rail
 979 End Cap for #905 Top Rail
 980 End Cap for #901 Top Rail
 981 End Cap for Bottom Rail
 982 End Cap for #902 Top Rail
 983 Lambs Tongue for #901 Top Rail
 984T Horizontal Swivel for #902
 985 Wall Brlt. for Handrail
 986 Lambs Tongue for #905 Top Rail
 988 90° Double Swivel for #905 Top Rail
 989 Post Bail Cap for 2" Post
 992 Post Finial for 2 1/2" Post
 993 Cast Rose Snap-on Picket Insert
 377 2" Sq. - 16' white only & 18' Lgths.
 977 Side Mount Bracket for 2" Post
 995 Cast Oak Snap-on Picket Insert
 997 Cast "X" Insert (6" Opening)
- Specify Railing Height:**
 32", 36", 42" or 48"
- BASES**
 917 Wedge Base for 4" Post
 919 2" Slip Over Base
 920 2 1/2" Slip Over Base
 957 Wedge Base for 2 1/2" Post
 968 Wedge Base for 2" Post
 972 Heavy-Duty Base for 4" Post
 973 Heavy-Duty Base for 2 1/2" Post
 974 Heavy-Duty Base for 2" Post
 975 Side Mount Brlt. for 2 1/2" Post
 976 Corner Side Mount Brlt. for 2 1/2" Post
 977 Side Mount Bracket for 2" Post
 998 Corner Side Mount Brlt. for 2" Post
- TUBING**
 990 2 1/2" Sq. - 16' white only & 18' Lgths.
 377 2" Sq. - 16' white only & 18' Lgths.
 380 4" Sq. - 16' Length

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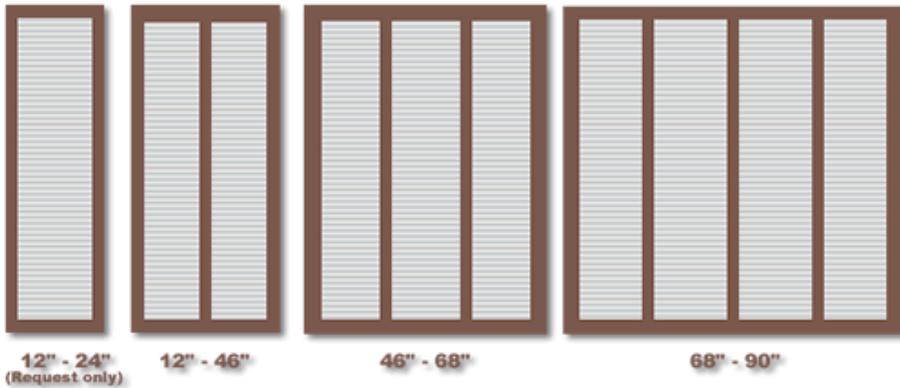
Bahama Shutters



CUSTOM BERMUDA
SHUTTERS

- Styles:** Open Louver style: louver angle 45 degrees.
Closed Louver style: louver angle 17 degrees.
- Sizes:** Custom Sized for your window to the 1/4 inch.
Max Width: 120"
Max Length: 108"
- Material:** We use Select Grade wood: Southern Yellow Pine, California Redwood, Bald Cypress, and Western Red Cedar.
- Options:** Unfinished: Sanded & ready to paint
Primed: Benjamin Moore Oil Based Primer
Stain-grade: Hand selected best pieces of wood in lot. Stain-grade putty used if needed.

Free shipping on shutters with sizes less than 76". Other custom styles available, email us with your special needs.



Determine the width of your shutter. This should be the width of your window plus allowance for arms to prop the shutters open. Measure the top, middle, and bottom widths. Use the largest width as your shutter width. If it is mounted within a recessed opening, it should not be wider than what will fit within the opening.

For widths larger than 90" a mullion will be added every 22". Contact us if you need different mullion requirements. We offer some work-arounds.

Classic Bahama Shutter Specifications

Select Grade	Pine	Cedar	Cypress	Redwood
Common Name	Southern Yellow Pine	Western Red Cedar	Bald Cypress	California Redwood
Species	<i>Pinus plaustris</i>	<i>Thuja plicata</i>	<i>Taxodium distichum</i>	<i>Sequoia sempervirens</i>
Shutter	1" Thick	1.5" Thick	1.5" Thick	1.5" Thick
Stile & Mullions	2.125" Wide	2.125" Wide	2.125" Wide	2.125" Wide
Top Rail	3.5" Wide	3" Wide	3" Wide	3" Wide
Bottom Rail	Varies: 3.5" to 5.25"	Varies: 3" to 4.5"	Varies: 3" to 5"	Varies: 3" to 4.5"
Louvers	.25" Thick x 1.75" Wide	.25" Thick x 1.5" Wide	.325" Thick x 1.875" Wide	.25" Thick x 1.5" Wide
Louver Angle	17 degrees (Closed)	45 degrees (Open)	45 degrees (Open)	45 degrees (Open)

www.SunbeltShutters.com

www.SunbeltShutters.com/specsheet/bahama-shutter.pdf



VINTAGE FRENCH FARMHOUSE SCONCE

\$229 - \$389

[SELECT ITEMS ON SPECIAL](#)

The graceful yet hardworking design of an antique French farmhouse fixture is echoed in this sconce. A bell-shaped metal shade focuses the light it casts, and weathered-metal fittings capture the patina of the original.

SHOW DETAILS +

DIMENSIONS

10" Sconce: 10"W x 14¼"D x 12¼"H

14" Sconce: 14"W x 21½"D x 17½"H

18" Sconce: 18"W x 25"D x 22"H

VIEWES



FINISH OPTIONS



Warm White

Weathered Zinc

Weathered Rust

Grey Enamel

Matte Black

Shown in weathered rust.

**EXTERIOR LIGHT FIXTURE
AT AMENITY AND
LEASING AREA**



VINTAGE FRENCH FARMHOUSE SCONCE

\$229 - \$389

[SELECT ITEMS ON SPECIAL](#)

SIZE

Choose Size

FINISH

Choose Finish

PRICE

QUANTITY

0

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8521401BLE-71: Small One Light Outdoor Wall Lantern Dimensions:



Width: 5 1/2" **Extends:** 6 1/2"
Height: 10 1/8" **Wire:** 6" (color/Black/White)
Weight: 2.2 lbs. **Mounting Proc.:** Cap Nuts
Connection: Mounted To Box

Bulbs:

1 - Fluorescent GU24 Self Ballasted CFL 13w Max. 120v - included

Features:

- Offers energy saving fluorescent lighting
- Meets Title 24 energy efficiency standards

Material List:

1 Body - Aluminum - Antique Bronze

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990W8_21401BLE-LKV)
 Trilingual (English, Spanish, and French) (A-779FB)

Collection: Lakeview

UPC #:785652273698

Finish: Antique Bronze (71)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Shade	Glass	Etched Seeded	1									

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	1			5	2 1/2	7 3/4

Replacement Bulb Data:

Product #		Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI
97102	Frosted Glass Lens	Self Ballasted CFL	GU24	13	13	120v	10000	900	2700	81

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	8521401BLE-71	1	785652273698	12.25	9.25	8.25	0.541	2.5	150	Yes
Master Pack	8521401BLE-71	4	10785652273695							
Shipping Master	8521401BLE-71	4	20785652273692	12.25	9.25	8.25	0.541	2.5	150	Yes
NJ Pallet		112		48	40	70	77.778	90		No



7821402BLE-71: Two Light Outdoor Ceiling Flush Mount



SCREEN PORCH CEILING MOUNTED FIXTURE

Dimensions:

Diameter: 13" **Wire:** 6" (color/Black/White)
Height: 5 1/2" **Mounting Proc.:** Key Slots
Weight: 4.8 lbs. **Connection:** Mounted To Box

Bulbs:

2 - Fluorescent GU24 Self Ballasted CFL 13w Max. 120v - included

Features:

- ENERGY STAR® Qualified
- Offers energy saving fluorescent lighting
- Meets Title 24 energy efficiency standards

Material List:

1 Body - Aluminum - Antique Bronze

Safety Listing:

Safety Listed for Damp Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990C7821402BLE-LKV)
 Trilingual (English, Spanish, and French) (A-779FB)

Collection: Lakeview '

UPC #:785652273414'

Finish: Antique Bronze (71)'

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Shade	Glass	Etched Seeded	1									

Backplate / Canopy Details:

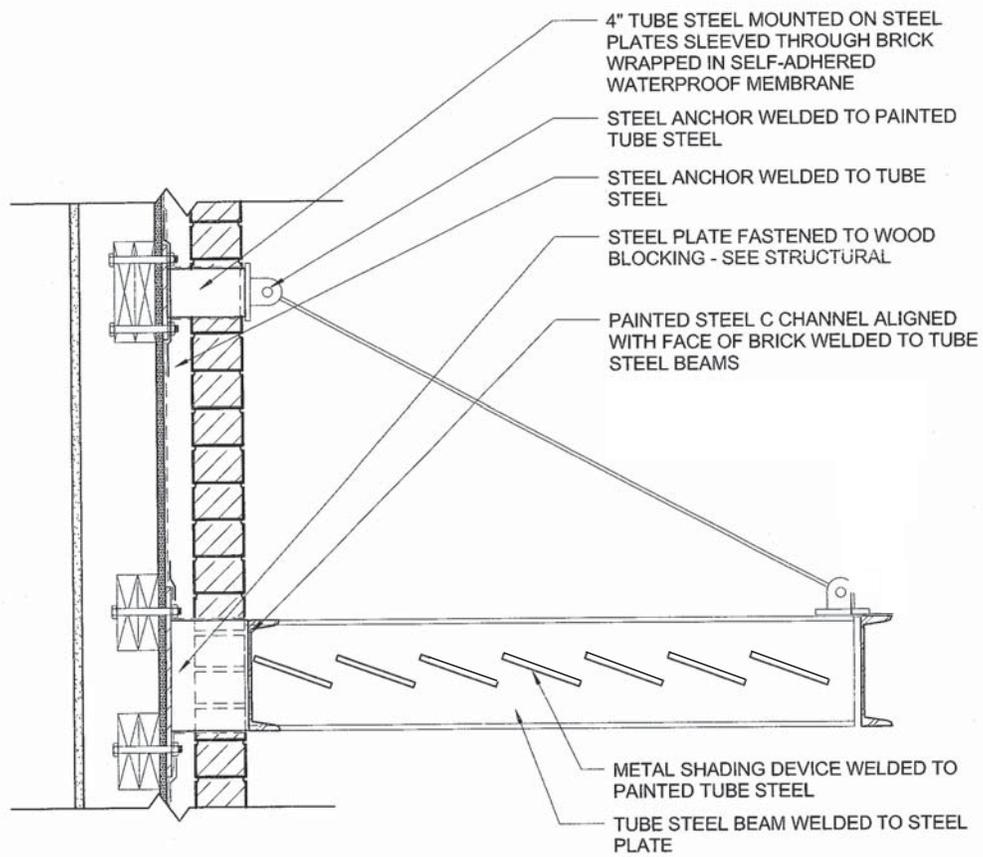
Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Mounting Plate	1 1/4			13		

Replacement Bulb Data:

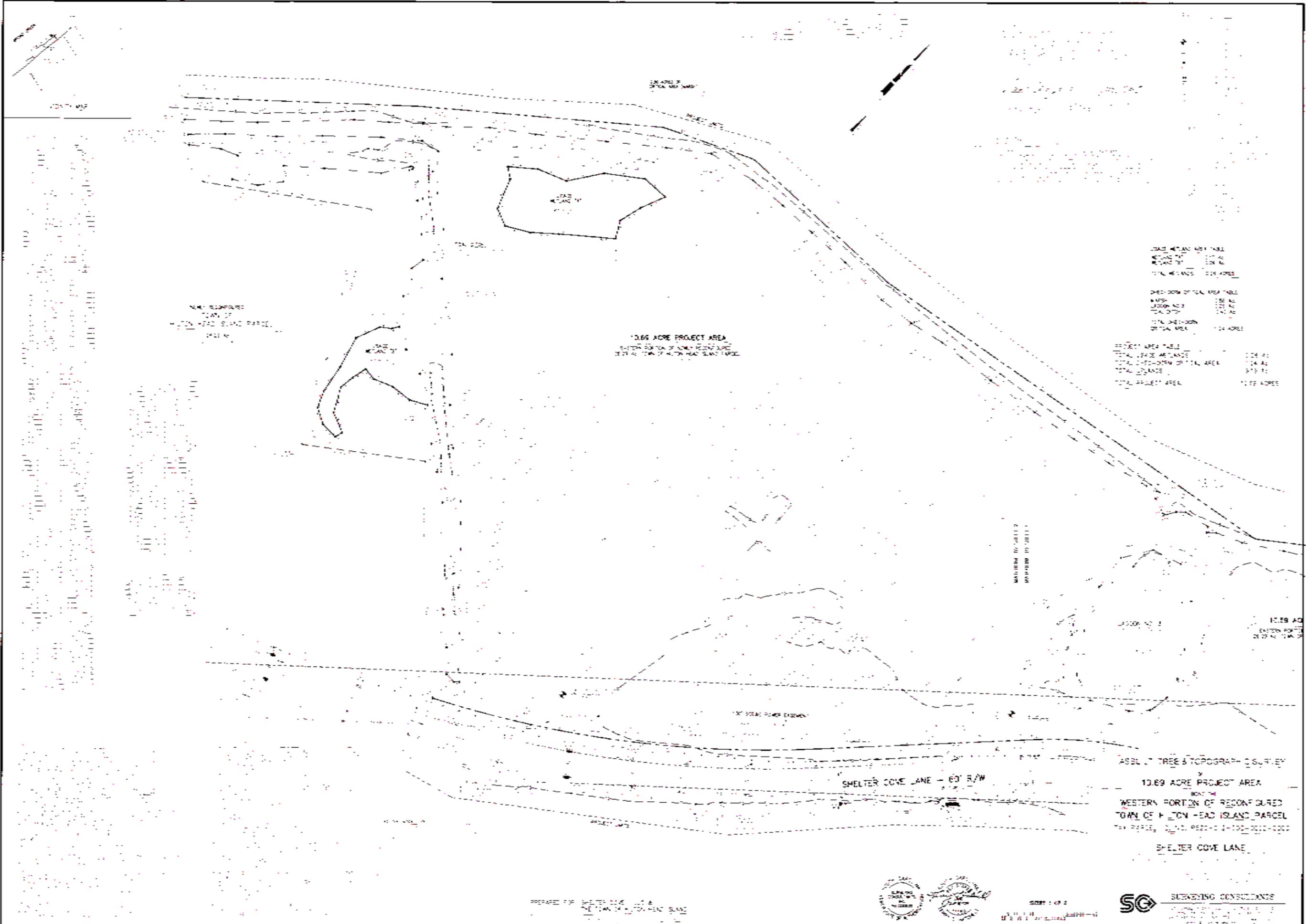
Product #		Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI
97102	Frosted Glass Lens	Self Ballasted CFL	GU24	13	13	120v	10000	900	2700	81

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	7821402BLE-71	1	785652273414	16	16	8	1.185	6.7	150	Yes
NJ Pallet		60		48	40	68	75.556	402		No
NV Pallet		60		48	40	68	75.556	402		No



METAL CANOPY DETAIL AT CLUBROOM



LAND METRIC AREA TABLE

AREA 1	1.24 AC
AREA 2	1.24 AC
TOTAL METRIC	2.48 ACRES

SECTION OF TOTAL AREA TABLE

AREA 1	1.24 AC
AREA 2	1.24 AC
TOTAL SECTION	2.48 ACRES

PROJECT AREA TABLE

TOTAL LAND METRIC	13.69 AC
TOTAL SECTION OF TOTAL AREA	13.69 AC
TOTAL PROJECT AREA	13.69 ACRES

13.69 ACRE PROJECT AREA
 WESTERN PORTION OF RECONFIGURED
 TOWN OF HILTON HEAD ISLAND PARCEL

NEW EASEMENT
 FROM THE
 TOWN OF HILTON HEAD ISLAND PARCEL
 TO THE

MEASURED TO SHELTER
 COVE LANE

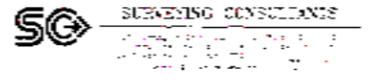
13.69 AC
 WESTERN PORTION
 OF RECONFIGURED

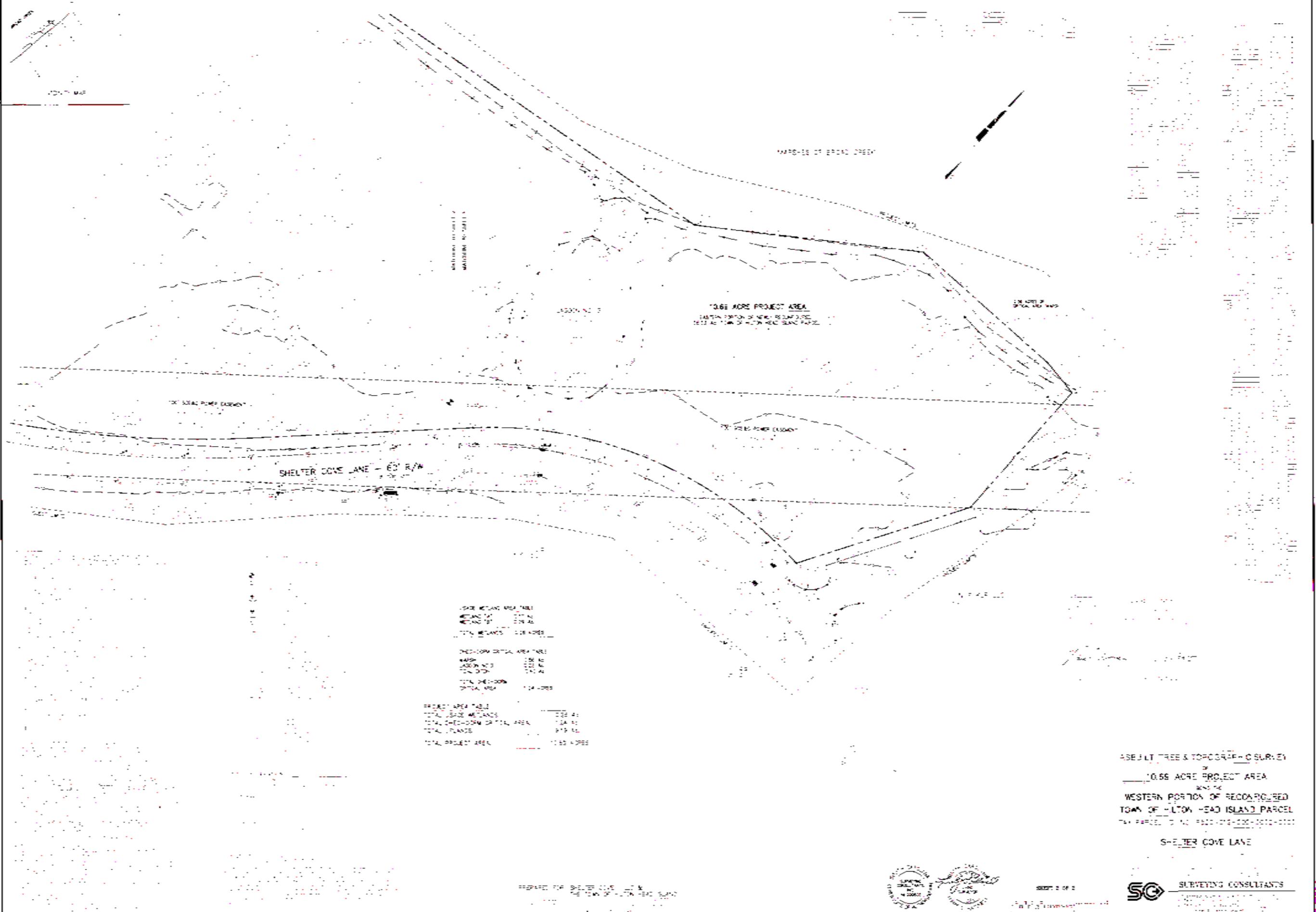
ASSET TREE & TOPOGRAPHIC SURVEY
 OF
 13.69 ACRE PROJECT AREA
 FROM THE
 WESTERN PORTION OF RECONFIGURED
 TOWN OF HILTON HEAD ISLAND PARCEL
 TAX PARCEL: LAND RECORD 1-100-0010-0002
 SHELTER COVE LANE

PREPARED FOR SHELTER COVE LANE &
 THE TOWN OF HILTON HEAD ISLAND



DATE: 11/11/2024
 SHEET 1 OF 2





LEGEND

---	10' DEEP PUMP EXCAVATION
---	20' DEEP PUMP EXCAVATION
---	30' DEEP PUMP EXCAVATION
---	40' DEEP PUMP EXCAVATION
---	50' DEEP PUMP EXCAVATION
---	60' DEEP PUMP EXCAVATION
---	70' DEEP PUMP EXCAVATION
---	80' DEEP PUMP EXCAVATION
---	90' DEEP PUMP EXCAVATION
---	100' DEEP PUMP EXCAVATION
---	110' DEEP PUMP EXCAVATION
---	120' DEEP PUMP EXCAVATION
---	130' DEEP PUMP EXCAVATION
---	140' DEEP PUMP EXCAVATION
---	150' DEEP PUMP EXCAVATION
---	160' DEEP PUMP EXCAVATION
---	170' DEEP PUMP EXCAVATION
---	180' DEEP PUMP EXCAVATION
---	190' DEEP PUMP EXCAVATION
---	200' DEEP PUMP EXCAVATION
---	210' DEEP PUMP EXCAVATION
---	220' DEEP PUMP EXCAVATION
---	230' DEEP PUMP EXCAVATION
---	240' DEEP PUMP EXCAVATION
---	250' DEEP PUMP EXCAVATION
---	260' DEEP PUMP EXCAVATION
---	270' DEEP PUMP EXCAVATION
---	280' DEEP PUMP EXCAVATION
---	290' DEEP PUMP EXCAVATION
---	300' DEEP PUMP EXCAVATION
---	310' DEEP PUMP EXCAVATION
---	320' DEEP PUMP EXCAVATION
---	330' DEEP PUMP EXCAVATION
---	340' DEEP PUMP EXCAVATION
---	350' DEEP PUMP EXCAVATION
---	360' DEEP PUMP EXCAVATION
---	370' DEEP PUMP EXCAVATION
---	380' DEEP PUMP EXCAVATION
---	390' DEEP PUMP EXCAVATION
---	400' DEEP PUMP EXCAVATION
---	410' DEEP PUMP EXCAVATION
---	420' DEEP PUMP EXCAVATION
---	430' DEEP PUMP EXCAVATION
---	440' DEEP PUMP EXCAVATION
---	450' DEEP PUMP EXCAVATION
---	460' DEEP PUMP EXCAVATION
---	470' DEEP PUMP EXCAVATION
---	480' DEEP PUMP EXCAVATION
---	490' DEEP PUMP EXCAVATION
---	500' DEEP PUMP EXCAVATION
---	510' DEEP PUMP EXCAVATION
---	520' DEEP PUMP EXCAVATION
---	530' DEEP PUMP EXCAVATION
---	540' DEEP PUMP EXCAVATION
---	550' DEEP PUMP EXCAVATION
---	560' DEEP PUMP EXCAVATION
---	570' DEEP PUMP EXCAVATION
---	580' DEEP PUMP EXCAVATION
---	590' DEEP PUMP EXCAVATION
---	600' DEEP PUMP EXCAVATION
---	610' DEEP PUMP EXCAVATION
---	620' DEEP PUMP EXCAVATION
---	630' DEEP PUMP EXCAVATION
---	640' DEEP PUMP EXCAVATION
---	650' DEEP PUMP EXCAVATION
---	660' DEEP PUMP EXCAVATION
---	670' DEEP PUMP EXCAVATION
---	680' DEEP PUMP EXCAVATION
---	690' DEEP PUMP EXCAVATION
---	700' DEEP PUMP EXCAVATION
---	710' DEEP PUMP EXCAVATION
---	720' DEEP PUMP EXCAVATION
---	730' DEEP PUMP EXCAVATION
---	740' DEEP PUMP EXCAVATION
---	750' DEEP PUMP EXCAVATION
---	760' DEEP PUMP EXCAVATION
---	770' DEEP PUMP EXCAVATION
---	780' DEEP PUMP EXCAVATION
---	790' DEEP PUMP EXCAVATION
---	800' DEEP PUMP EXCAVATION
---	810' DEEP PUMP EXCAVATION
---	820' DEEP PUMP EXCAVATION
---	830' DEEP PUMP EXCAVATION
---	840' DEEP PUMP EXCAVATION
---	850' DEEP PUMP EXCAVATION
---	860' DEEP PUMP EXCAVATION
---	870' DEEP PUMP EXCAVATION
---	880' DEEP PUMP EXCAVATION
---	890' DEEP PUMP EXCAVATION
---	900' DEEP PUMP EXCAVATION
---	910' DEEP PUMP EXCAVATION
---	920' DEEP PUMP EXCAVATION
---	930' DEEP PUMP EXCAVATION
---	940' DEEP PUMP EXCAVATION
---	950' DEEP PUMP EXCAVATION
---	960' DEEP PUMP EXCAVATION
---	970' DEEP PUMP EXCAVATION
---	980' DEEP PUMP EXCAVATION
---	990' DEEP PUMP EXCAVATION
---	1000' DEEP PUMP EXCAVATION

SIZE METERS AREA TABLE

METERS	AREA
100	10000
200	40000
300	90000
400	160000
500	250000
600	360000
700	490000
800	640000
900	810000
1000	1000000

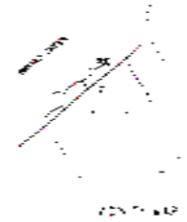
CHECK-DOWN CRITICAL AREA TABLE

WASH	1000
LADDER	1000
TOTAL	2000

PROJECT AREA TABLE

TOTAL USABLE METERS	1000
TOTAL CHECK-DOWN CRITICAL AREA	2000
TOTAL PLANTS	1000
TOTAL PROJECT AREA	10.66 ACRES

AS-BUILT TREE & TOPOGRAPHIC SURVEY
 OF
 10.66 ACRE PROJECT AREA
 WITH THE
 WESTERN PORTION OF RECORDED
 TOWN OF LITON HEAD ISLAND PARCEL
 TAX PARCEL ID NO. 180-010-000-000-000
 SHELTER COVE LANE



MARSHES OF BRAD CREEK

ON ACRE OF
RECONFIGURED WESTERN
PORTION OF HILTON HEAD ISLAND PARCEL

REMAINDER
WESTERN PORTION OF
HILTON HEAD ISLAND PARCEL
ON ACRE

10.63 ACRE PROJECT AREA
WESTERN PORTION OF RECONFIGURED
WESTERN PORTION OF HILTON HEAD ISLAND PARCEL
ON ACRE

MARSHES OF BRAD CREEK

100' SEWER PAVEMENT

SHELTER COVE LANE - 60' R/W

100' SEWER PAVEMENT

STATE WETLAND AREA TABLE

WETLAND 101 1.00 AC
WETLAND 102 0.00 AC
TOTAL WETLANDS 1.00 ACRES

SHED-DORM OPTICAL AREA TABLE

SHED-DORM 101 1.24 AC
SHED-DORM 102 0.00 AC
TOTAL SHED-DORM OPTICAL AREA 1.24 ACRES

PROJECT AREA TABLE

TOTAL STATE WETLANDS 1.00 AC
TOTAL SHED-DORM OPTICAL AREA 1.24 AC
TOTAL PLACES 879 AC
TOTAL PROJECT AREA 11.09 ACRES

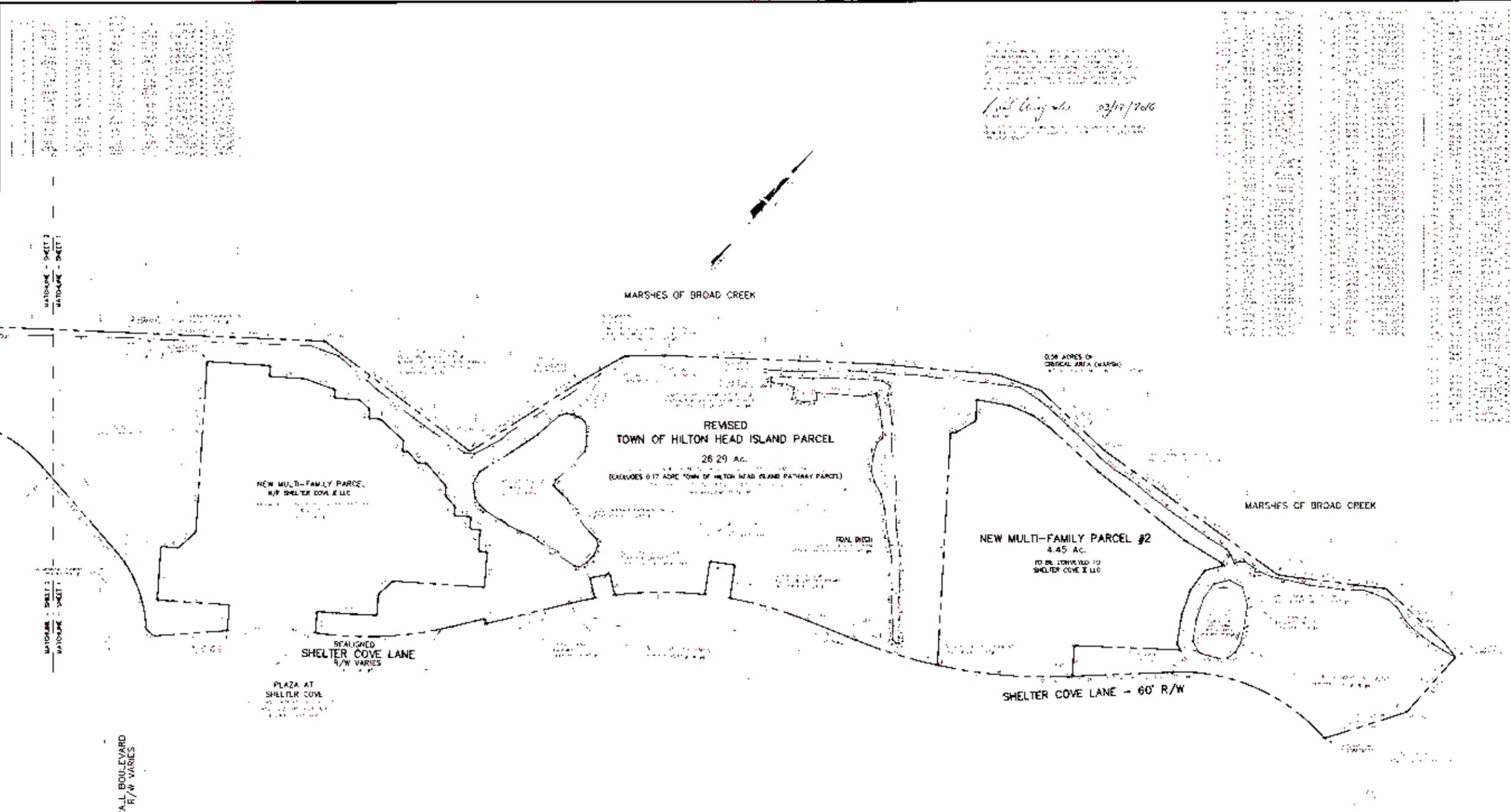
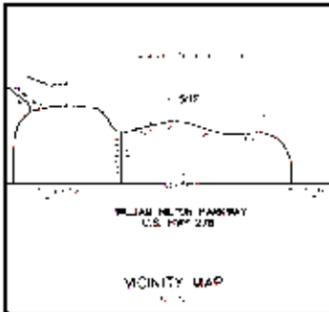
WETLAND PART
OF
10.63 ACRE PROJECT AREA
BEING THE
WESTERN PORTION OF RECONFIGURED
TOWN OF HILTON HEAD ISLAND PARCEL
ON ACRE, RECD-H0124-000-0000-0000

SHELTER COVE LANE

RECORDED MAP SHELTER COVE LANE &
WESTERN PORTION OF HILTON HEAD ISLAND



SG SURVEYING CONSULTANTS
1000 W. BROADWAY, SUITE 200
CHARLOTTE, NC 28202
704.375.1234



AREA TABLE

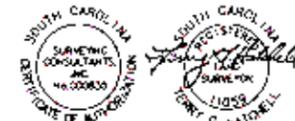
NEW MULTI-FAMILY PARCEL #2	4.45 ACRES
REVISED TOWN OF HILTON HEAD ISLAND PARCEL	26.29 ACRES
TOTAL AREA	30.74 ACRES

BOUNDARY RECONFIGURATION

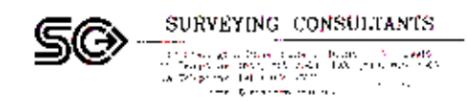
4.45 ACRE NEW MULTI-FAMILY PARCEL #2 &
26.29 ACRE REVISED TOWN OF
HILTON HEAD ISLAND PARCEL,
TOTALING 30.74 ACRES

SHELTER COVE LANE
SHELTER COVE COMMUNITY PARK

PREPARED FOR: SHELTER COVE II LLC
& THE TOWN OF HILTON HEAD ISLAND



SHEET 1 OF 2

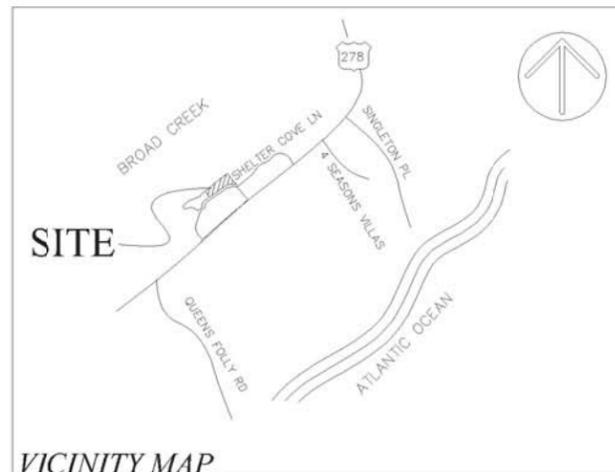


LANDSCAPE DEVELOPMENT PLANS FOR

Shelter Cove Towne Center Apartments East Building Site #2

Hilton Head Island, South Carolina

April 26, 2016



VICINITY MAP
NOT TO SCALE

PROJECT TEAM:

LANDSCAPE ARCHITECT

Wood + Partners Inc.
7 Lafayette Place
Hilton Head Island, SC 29926
843-681-6618
CONTACT: Trey Griffin

ARCHITECT

Niles Bolton Associates
3060 Peachtree Rd NW
Suite 600
Atlanta, GA 30305
404-365-7600

CIVIL ENGINEER

Ward Edwards Engineering
P.O. Box 381
Bluffton, SC 29910
843-837-5250

POOL CONSULTANT

Year Round Pool Company
386 Buck Island Road
Bluffton, SC 29910
843-837-7665

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
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8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
9. CONTRACTOR TO AVOID ANY DAMAGE TO ALL EXPOSED TREE ROOTS. IF CONFLICTS WITH TREE ROOTS EXIST, CONTRACTOR SHALL NOT CUT TREE ROOTS AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO MAKING ANY ADJUSTMENTS.

INDEX TO DRAWINGS:

COVER	CVR
L100	OVERALL SITE PLAN
L101	SITE PLAN
L102	SITE PLAN
L103	SITE PLAN
L104	SITE PLAN
L200	LAYOUT & SUPPLEMENTAL GRADING PLAN
L201	LAYOUT & SUPPLEMENTAL GRADING PLAN
L202	LAYOUT & SUPPLEMENTAL GRADING PLAN
L203	LAYOUT & SUPPLEMENTAL GRADING PLAN
L300	PAVING DETAILS
L301	WALL & FENCE DETAILS
L302	RAMP, STAIR & GRILL DETAILS
L303	FIRE PIT, TRELIS & BOARDWALK DETAILS
L304	POOL DECK & SIGNAGE DETAILS
L400	OVERALL LANDSCAPE PLAN
L401	LANDSCAPE PLAN
L402	LANDSCAPE PLAN
L403	LANDSCAPE PLAN
L404	LANDSCAPE PLAN
L405	LANDSCAPE PLAN
L406	LANDSCAPE SCHEDULE & DETAILS
SE100	SITE LIGHTING PLAN
PL2-1	POOL PLAN
PL2-2	POOL LAYOUT
PL3	POOL PLUMBING
PL4	POOL DETAILS



Know what's below.
Call before you dig.

SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE 14014 TA1.dwg, DATED FEBRUARY 26, 2014.

SITE KEY LEGEND:

SITE WORK:

- S1 CONCRETE WALK
DETAIL 1/L-300
- S2 ADA DOME TILES
DETAIL 3/L-300
- S3 POOL TRELLIS
DETAIL 3/L-303
- S4 SPECIALTY PAVERS TYPE A
DETAIL 4/L-300
- S5 SPECIALTY PAVERS TYPE B
DETAIL 5/L-300
- S6 VEHICULAR PAVING (PATTERN ONLY)
DETAIL 6/L-300
- S7 CROSSWALK & PEDESTRIAN PAVING
DETAIL 7/L-300
- S8 BLANK
BLANK
- S9 POOL FENCE WITH GATE & COLUMNS
DETAIL 1/L-301
- S10 FENCE COLUMN
DETAIL 2/L-301
- S11 STUCCO RETAINING WALL TYPE A
DETAIL 3/L-301
- S12 STUCCO RETAINING WALL TYPE B
DETAIL 4/L-301
- S13 STAIRS TYPE A (WITH CHEEK WALL)
DETAIL 1/L-302
- S14 STAIRS TYPE B (WITHOUT CHEEK WALL)
DETAIL 2/L-302

- S15 GRILL ISLAND (FREE STANDING)
DETAIL 3/L-302
 - S16 TRELLIS SWING
DETAIL 1/L-303
 - S17 CIRCULAR FIRE PIT
DETAIL 2/L-303
 - S18 POOL DECK & COPING
DETAIL 1/L-304
 - S19 DECK DRAIN
DETAIL 2/L-304
 - S20 TRENCH DRAIN
DETAIL 3/L-304
- POOL AND SIGNAGE:**
- P1 POOL (BY OTHERS)
SEE POOL PLANS
 - P2 EMERGENCY POOL CUTOFF
DETAIL 4/L-304
 - P3 NO DIVING SIGN
DETAIL 5/L-304
 - P4 NO LIFE GUARD ON DUTY POOL SIGN
DETAIL 5/L-304
 - P5 POOL RULES SIGN
DETAIL 6/L-304
- ARCHITECTURE:**
- A1 POOL EQUIPMENT BUILDING (BY OTHERS)
SEE ARCHITECTURAL PLANS

PAVING SCHEDULE:

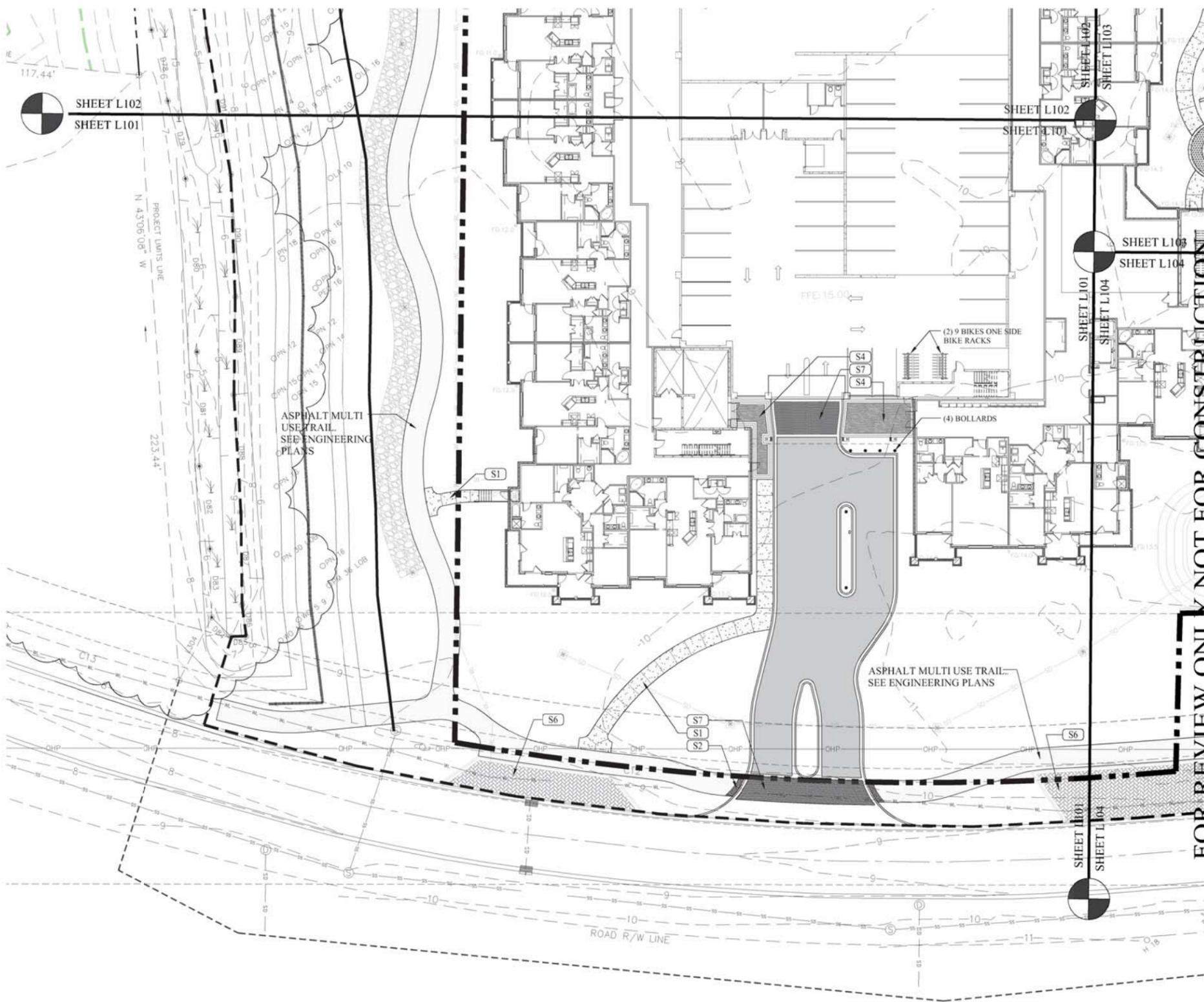
- CONCRETE WALK:
SEE DETAIL 1/L-300
- 6" CONCRETE WALK:
SEE DETAIL 1/L-300
- COLOR CONCRETE (POOL DECK):
SEE DETAIL 1/L-304
- CONTROL JOINT:
SEE DETAIL 2/L-300
- EXPANSION JOINT:
SEE DETAIL 2/L-300
- MULTI USE ASPHALT TRAIL BY OTHERS:
SEE ENGINEERING DRAWINGS
- ADA DETECTABLE WARNING:
SEE DETAIL 3/L-300
- VEHICULAR PAVEMENT:
PATTERN: 90 DEGREE HERRINGBONE WITH SINGLE
HEADER BORDER PAVEMENT: HYDRASHED PERMEABLE
PAVER COLOR BLEND: 50% SHRIMP BOIL, 50%
SPARTINA BLEND. ** NOTE: USE NO N PERMEABLE
PLANTATION PAVERS IN SAME BLEND FOR A.D.A.
PARKING STALL AND A.D.A. ACCESS STALL.
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- PAVER: LOW COUNTRY PLANTATION PAVEMENT
STYLE: RIVERWALK
COLOR BLEND: COLIGNY
- SPECIALTY PAVEMENT TYPE B (ACCENT AREAS):
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- PAVER: COASTAL RIDGE FLAGSTONE
COLOR: COLIGNY
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HEADER & RUNNING BOND
- PAVER: LOW COUNTRY PLANTATION PAVEMENT
STYLE: RIVERWALK COLOR: SHRIMP BOIL
SEE SITE PLAN FOR PATTERN LOCATIONS

SITE FURNISHINGS SCHEDULE:

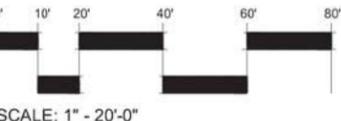
- POOL FENCE:
SEE DETAIL 1/L-301
- CHAISE LOUNGE (POOL AREA):
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- POOLSIDE TABLE WITH UMBRELLA:
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- CAFE TABLE:
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- CLUB CHAIRS (FIRE PIT):
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- TRASH CAN, QTY: (2)
LANDSCAPE FORMS MODEL: PLAINWELL,
35 GAL. BRONZE WITH IPE SLATS
SEE SITE PLAN FOR LOCATION
- FOOTWASH HOSE BIBB, QTY: (1)
MOST DEPENDABLE FOUNTAINS
#525 SM SS W/ HOSE BIBB, BROWN
- EMERGENCY TELEPHONE (TOLL FREE):
PROVIDE EMERGENCY PHONE (TOLL FREE) IN
WATER TIGHT ENCLOSURE PER IDIEC REQUIREMENTS.
MOUNTING HEIGHT AT HIGHEST CONTROL ON PHONE
SHALL NOT EXCEED 48" PER ADA REQUIREMENTS.
PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OF
POOL AND DISPLAY AT PHONE. PROVIDE SUBMITTAL
FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO
INSTALLATION. LOCATE EMERGENCY PHONE WITHIN
THE FENCE OF THE POOL AREA.
- BIKE RACKS, QTY: (4)
MADRAX MODEL #: U238-10 MS
FINISH: POWDER COATED, COLOR: BRONZE
- LARGE BIKE RACKS, QTY: (2) 9 BIKES ONE SIDE
MADRAX MODEL #: GR116 (GRIDRAC)
FINISH: POWDER COATED, COLOR: BRONZE
- POOL SIGNAGE:
SEE SITE PLAN & LEGEND FOR
LOCATION AND TYPES
- EMERGENCY POOL SHUTOFF:
SEE POOL PLANS
- TRENCH DRAIN:
SEE 3/L-304
- HOSE BIBB: MOST DEPENDABLE FOUNTAINS
#24 SM, COLOR: BROWN
- BOLLARD:
RELIANCE FOUNDRY CO., MODEL #: R-7901,
GROUND MOUNT WITH RECEIVER AND
HINGED LID, COLOR: STATUARY BRONZE
SEE SITE PLANS FOR LOCATIONS
- DRINKING FOUNTAIN:
MOST DEPENDABLE FOUNTAINS #440SM,
A.D.A. COMPLIANT, COLOR: BROWN

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FOR REVIEW ONLY NOT FOR CONSTRUCTION



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEYS BY SURVEYING CONSULTANTS. FILES SC03147F, REVISED, 11.02.15.DWG, DATED AUGUST 6, 2015, & SC03147F-08-06-15.DWG DATED AUGUST 6, 2015.

Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2
Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

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#	REVISION	DATE	BY

DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE PLAN

Wood+Partners Inc. WPI
Landscape Architects
Landscape Planners

PO Box 2398 • Hilton Head Island, SC 29925
843.681.6618 • Fax 843.681.8086 • www.woodpartners.com

SHEET NUMBER
L-101

G:\Projects\HHT\Multifamily\Shelter Cove Town Centre Apartments Site 2\Production\Work\DD\01-14043 SITE PLAN.dwg - Wednesday, April 20, 2016, 10:16:00 AM, Printed By: Brad Hix

SITE KEY LEGEND:

SITE WORK:

S1 CONCRETE WALK DETAIL 1/L-300	S15 GRILL ISLAND (FREE STANDING) DETAIL 3/L-302
S2 ADA DOME TILES DETAIL 3/L-300	S16 TRELLIS SWING DETAIL 1/L-303
S3 POOL TRELLIS DETAIL 3/L-303	S17 CIRCULAR FIRE PIT DETAIL 2/L-303
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S7 CROSSWALK & PEDESTRIAN PAVING DETAIL 7/L-300	
S8 BLANK BLANK	
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	POOL AND SIGNAGE:
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	ARCHITECTURE:
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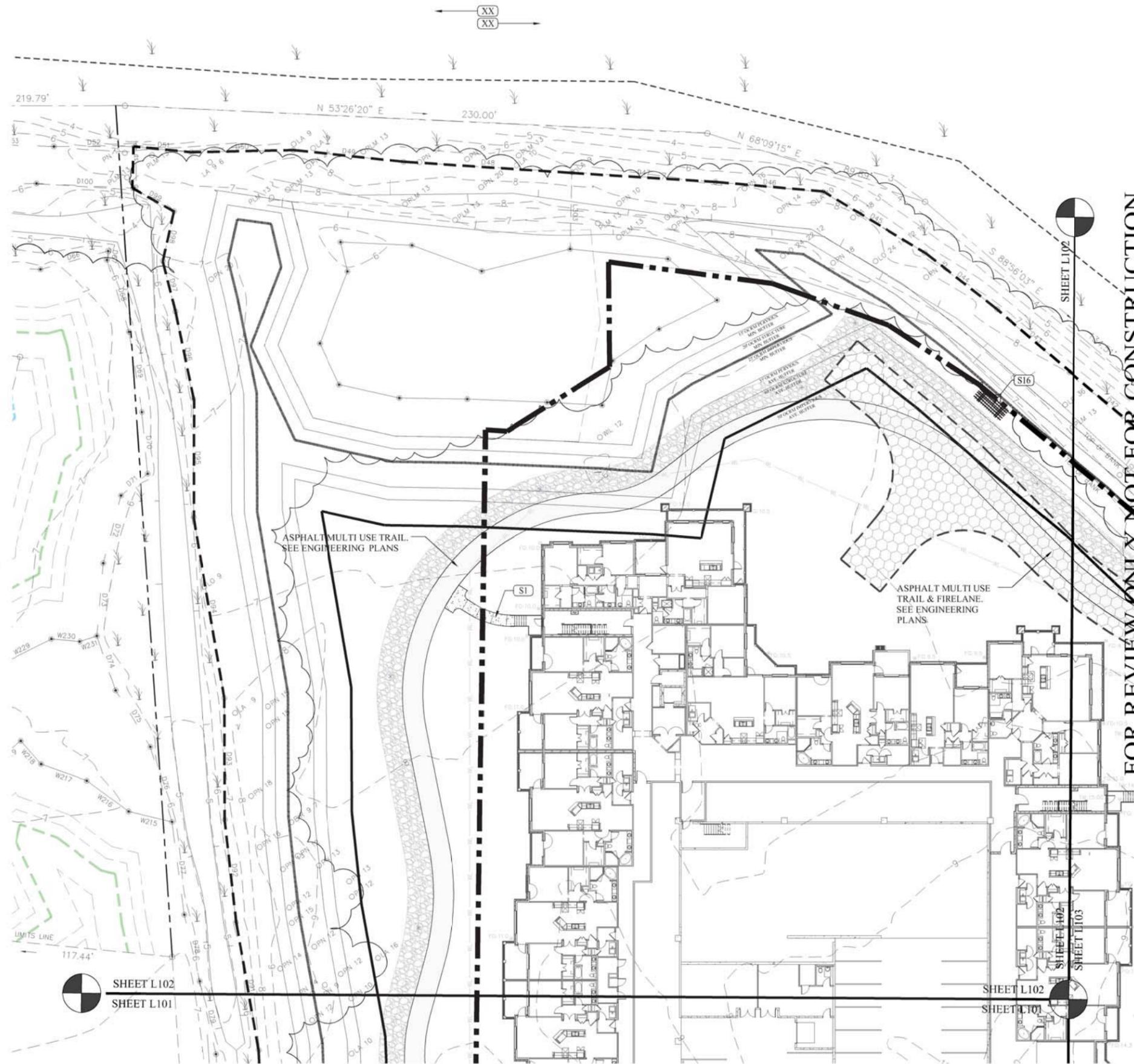
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BOLLARD: RELIANCE FOUNDRY CO., MODEL#: R-7901, GROUND MOUNT WITH RECEIVER AND HINGED LID, COLOR: STATUARY BRONZE SEE SITE PLANS FOR LOCATIONS
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Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

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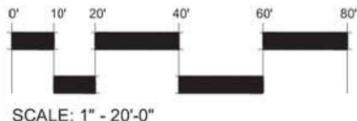
#	REVISION	DATE	BY

DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE PLAN

SHEET NUMBER
L-102

G:\Projects\HHI\Multifamily\Shelter Cove Towne Centre Apartments Site 2\Production\Work\DD\01-14043 SITE PLAN.dwg - Wednesday, April 20, 2016, Printed By: Brad Hix



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEYS BY SURVEYING CONSULTANTS. FILES SC03147F, REVISED, 11.02.15.DWG, DATED AUGUST 6, 2015, & SC03147F-08-06-15.DWG DATED AUGUST 6, 2015.

Wood+Partners Inc. WPI
Landscape Architects
Landscape Planners

PO Box 2398 Hilton Head Island, SC 29925
843.881.6618 Fax 843.881.8086 www.woodpartners.com

SITE KEY LEGEND:

SITE WORK:

- S1 CONCRETE WALK
DETAIL 1/L-300
- S2 ADA DOME TILES
DETAIL 3/L-300
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- S12 STUCCO RETAINING WALL TYPE B
DETAIL 4/L-301
- S13 STAIRS TYPE A (WITH CHEEK WALL)
DETAIL 1/L-302
- S14 STAIRS TYPE A (WITHOUT CHEEK WALL)
DETAIL 2/L-302
- S15 GRILL ISLAND (FREE STANDING)
DETAIL 3/L-302
- S16 TRELLIS SWING
DETAIL 1/L-303
- S17 CIRCULAR FIRE PIT
DETAIL 2/L-303
- S18 POOL DECK & COPING
DETAIL 1/L-304
- S19 DECK DRAIN
DETAIL 2/L-304
- S20 TRENCH DRAIN
DETAIL 3/L-304

POOL AND SIGNAGE:

- P1 POOL (BY OTHERS)
SEE POOL PLANS
- P2 EMERGENCY POOL CUTOFF
DETAIL 4/L-304
- P3 NO DIVING SIGN
DETAIL 5/L-304
- P4 NO LIFEGUARD ON DUTY POOL SIGN
DETAIL 5/L-304
- P5 POOL RULES SIGN
DETAIL 6/L-304

ARCHITECTURE:

- A1 POOL EQUIPMENT BUILDING (BY OTHERS)
SEE ARCHITECTURAL PLANS

PAVING SCHEDULE:

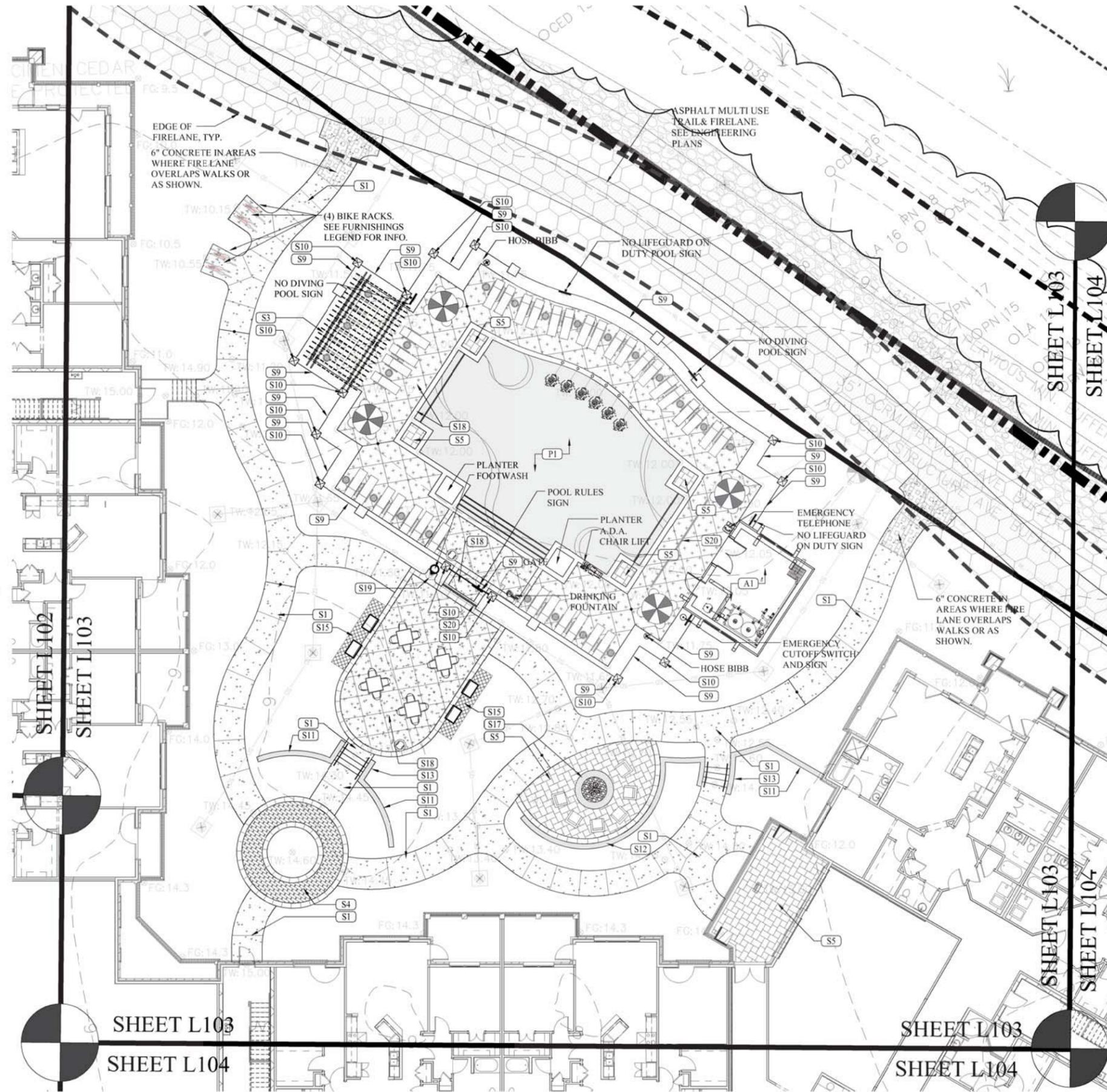
- CONCRETE WALK:
SEE DETAIL 1/L-300
- 6" CONCRETE WALK:
SEE DETAIL 1/L-304
- COLOR CONCRETE (POOL DECK):
SEE DETAIL 1/L-304
- CONTROL JOINT:
SEE DETAIL 2/L-300
- EXPANSION JOINT:
SEE DETAIL 2/L-300
- MULTI USE ASPHALT TRAIL BY OTHERS:
SEE ENGINEERING DRAWINGS
- ADA DETECTABLE WARNING:
SEE DETAIL 3/L-300
- VEHICULAR PAVER:
PATTERN: 90 DEGREE HERRINGBONE WITH SINGLE
HEADER BORDER PAVER: HYDRASHED PERMEABLE
PAVER COLOR BLEND: 50% SHRIMP BOIL, 50%
SPARTINA BLEND. ** NOTE: USE NO N PERMEABLE
PLANTATION PAVERS IN SAME BLEND FOR A.D.A.
PARKING STALL AND A.D.A. ACCESS STALL.
- SPECIALTY PAVER TYPE A (DECORATIVE):
SEE DETAIL 4/L-300
- PAVER: LOW COUNTRY PLANTATION PAVER
STYLE: RIVERWALK
COLOR BLEND: COLIGNY
- SPECIALTY PAVER TYPE B (ACCENT AREAS):
SEE DETAIL 5/L-300
- PAVER: CASTAL RIDGE FLAGSTONE
COLOR: COLIGNY
- VEHICULAR, SPECIALTY PAVING (CROSSWALKS):
PATTERN: 45 DEGREE HERRINGBONE W/ DOUBLE
HEADER & RUNNING BOND.
- PAVER: LOW COUNTRY PLANTATION PAVER
STYLE: RIVERWALK COLOR: SHRIMP BOIL
SEE SITE PLAN FOR PATTERN LOCATIONS

SITE FURNISHINGS SCHEDULE:

- POOL FENCE:
SEE DETAIL 1/L-301
- CHAISE LOUNGE (POOL AREA):
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- POOLSIDE TABLE WITH UMBRELLA:
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- CAPE TABLE:
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- CLUB CHAIRS (FIRE PIT):
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- TRASH CAN: QTY: (2)
- LANDSCAPE FORMS MODEL: PLAINWELL,
35 GAL. BRONZE WITH IPE SLATS
SEE SITE PLAN FOR LOCATION
- FOOTWASH HOSE BIBB: QTY: (1)
- MOST DEPENDABLE FOUNTAINS
#525 SM SS W/ HOSE BIBB, BROWN
- EMERGENCY TELEPHONE (TOLL FREE):
PROVIDE EMERGENCY PHONE (TOLL FREE) IN
WEATHER TIGHT ENCLOSURE PER DIEC REQUIREMENTS.
MOUNTING HEIGHT AT HIGHEST CONTROL ON PHONE
SHALL NOT EXCEED 48" PER ADA REQUIREMENTS.
PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OF
POOL AND DISPLAY AT PHONE. PROVIDE SUBMITTAL
FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO
INSTALLATION. LOCATE EMERGENCY PHONE WITHIN
THE FENCE OF THE POOL AREA.
- BIKE RACKS: QTY: (4)
- MADRAX MODEL #: UX238-IG MS
FINISH: POWDER COATED, COLOR: BRONZE E
- LARGE BIKE RACKS: QTY: (2) 9 BIKES ONE SIDE
MADRAX MODEL #: GR116 (GRIDRAC)
FINISH: POWDER COATED, COLOR: BRONZE E
- POOL SIGNAGE:
SEE SITE PLAN & LEGEND FOR
LOCATION AND TYPES
- EMERGENCY POOL SHUTOFF:
SEE POOL PLANS
- TRENCH DRAIN:
SEE 3-L-304
- HOSE BIBB: MOST DEPENDABLE FOUNTAINS
#24 SM, COLOR: BROWN
- BOLLARD:
RELIANCE FOUNDRY CO., MODEL #: R-7901,
GROUND MOUNT W/ H RECIEVER AND
HINGED LID, COLOR: STATUARY BRONZE
SEE SITE PLANS FOR LOCATIONS
- DRINKING FOUNTAIN:
MOST DEPENDABLE FOUNTAINS #440SM,
A.D.A. COMPLIANT, COLOR: BROWN

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
2. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE PLANS.
3. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
4. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
5. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.



FOR REVIEW ONLY NOT FOR CONSTRUCTION

Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

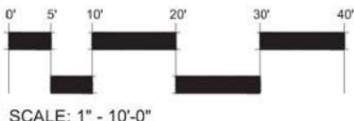
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#	REVISION	DATE	BY

DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE PLAN

SHEET NUMBER
L-103



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEYS BY SURVEYING CONSULTANTS. FILES SC03147F, REVISED, 11.02.15.DWG, DATED AUGUST 6, 2015, & SC03147F-08-06-15.DWG DATED AUGUST 6, 2015.

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G:\Projects\HHI\Multifamily\Shelter Cove Town Centre Apartments Site 2\Production\Work\DD\01-14043 SITE PLAN.dwg - Friday, April 22, 2016, Printed By: Brad Hix

SITE KEY LEGEND:

SITE WORK:

- S1 CONCRETE WALK
DETAIL 1/L-300
- S2 ADA DOME TILES
DETAIL 3/L-300
- S3 POOL TRELLIS
DETAIL 3/L-303
- S4 SPECIALTY PAVERS TYPE A
DETAIL 4/L-300
- S5 SPECIALTY PAVERS TYPE B
DETAIL 5/L-300
- S6 VEHICULAR PAVING (PATTERN ONLY)
DETAIL 6/L-300
- S7 CROSSWALK & PEDESTRIAN PAVING
DETAIL 7/L-300
- S8 BLANK
BLANK
- S9 POOL FENCE WITH GATE & COLUMNS
DETAIL 1/L-301
- S10 FENCE COLUMN
DETAIL 2/L-301
- S11 STUCCO RETAINING WALL TYPE A
DETAIL 3/L-301
- S12 STUCCO RETAINING WALL TYPE B
DETAIL 4/L-301
- S13 STAIRS TYPE A (WITH CHEEK WALL)
DETAIL 1/L-302
- S14 STAIRS TYPE B (WITHOUT CHEEK WALL)
DETAIL 2/L-302

- S15 GRILL ISLAND (FREE STANDING)
DETAIL 3/L-302
- S16 TRELLIS SWING
DETAIL 1/L-303
- S17 CIRCULAR FIRE PIT
DETAIL 2/L-303
- S18 POOL DECK & COPING
DETAIL 1/L-304
- S19 DECK DRAIN
DETAIL 2/L-304
- S20 TRENCH DRAIN
DETAIL 3/L-304

- POOL AND SIGNAGE:**
- P1 POOL (BY OTHERS)
SEE POOL PLANS
 - P2 EMERGENCY POOL CUTOFF
DETAIL 4/L-304
 - P3 NO DIVING SIGN
DETAIL 5/L-304
 - P4 NO LIFE/JARD ON DUTY POOL SIGN
DETAIL 5/L-304
 - P5 POOL RULES SIGN
DETAIL 6/L-304

ARCHITECTURE:

- A1 POOL EQUIPMENT BUILDING (BY OTHERS)
SEE ARCHITECTURAL PLANS

PAVING SCHEDULE:

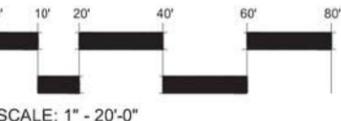
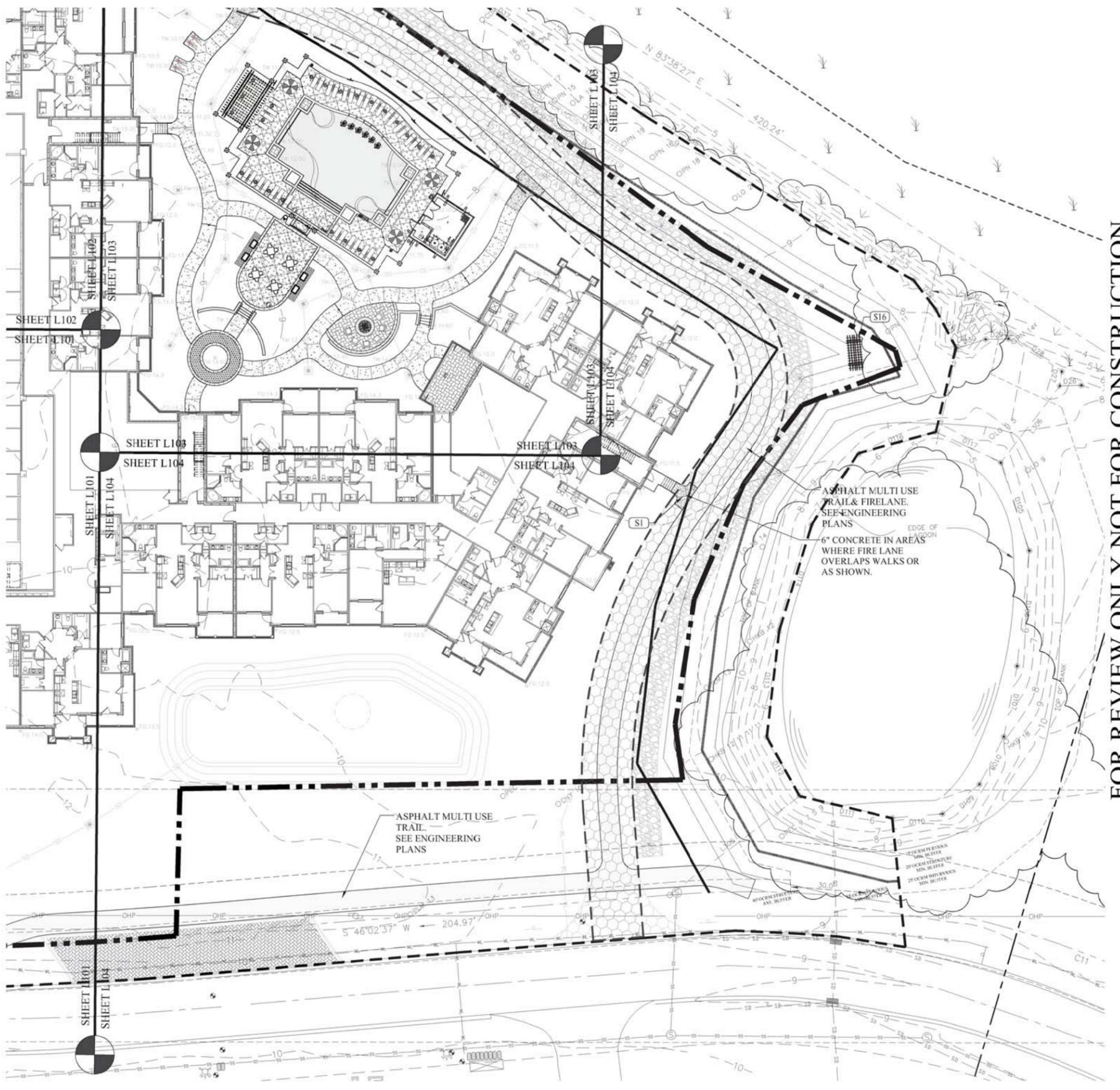
- CONCRETE WALK:
SEE DETAIL 1/L-300
- 6" CONCRETE WALK:
SEE DETAIL 1/L-300
- COLOR CONCRETE (POOL DECK):
SEE DETAIL 1/L-304
- CONTROL JOINT:
SEE DETAIL 2/L-300
- EXPANSION JOINT:
SEE DETAIL 2/L-300
- MULTI USE ASPHALT TRAIL BY OTHERS:
SEE ENGINEERING DRAWINGS
- ADA DETECTABLE WARNING:
SEE DETAIL 3/L-300
- VEHICULAR PAVES:
PATTERN: 90 DEGREE HERRINGBONE WITH SINGLE
HEADER BORDER PAVES: HYDRASHED PERMEABLE
PAVER COLOR BLEND: 50% SHRIMP BOIL, 50%
SPARTINA BLEND. ** NOTE: USE NO N PERMEABLE
PLANTATION PAVERS IN SAME BLEND FOR A.D.A.
PARKING STALL AND A.D.A. ACCESS STALL.
- SPECIALTY PAVES TYPE A (DECORATIVE):
SEE DETAIL 4/L-300
PAVER: LOW COUNTRY PLANTATION PAVES
STYLE: RIVERWALK
COLOR BLEND: COLIGNY
- SPECIALTY PAVES TYPE B (ACCENT AREAS):
SEE DETAIL 5/L-300
PAVER: COASTAL RIDGE FLAGSTONE
COLOR: COLIGNY
- VEHICULAR SPECIALTY PAVING (CROSSWALKS):
PATTERN: 45 DEGREE HERRINGBONE W/ DOUBLE
HEADER & RUNNING BOND.
PAVER: LOW COUNTRY PLANTATION PAVES
STYLE: RIVERWALK COLOR: SHRIMP BOIL
SEE SITE PLAN FOR PATTERN LOCATIONS

SITE FURNISHINGS SCHEDULE:

- POOL FENCE:
SEE DETAIL 1/L-301
- CHAISE LOUNGE (POOL AREA):
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- POOLSIDE TABLE WITH UMBRELLA:
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- CAFE TABLE:
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- CLUB CHAIRS (FIRE PIT):
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- TRASH CAN, QTY: (2)
LANDSCAPE FORMS MODEL: PLAINWELL,
35 GAL. BRONZE WITH PIPE SLATS
SEE SITE PLAN FOR LOCATION
- FOOTWASH HOSE/BIBB, QTY: (1)
MOST DEPENDABLE FOUNTAINS
#25 SM SS W/ HOSE BIBB, BROWN
- EMERGENCY TELEPHONE (TOLL FREE):
PROVIDE EMERGENCY PHONE (TOLL FREE) IN
WATER TIGHT ENCLOSURE PER DIEC REQUIREMENTS.
MOUNTING HEIGHT AT HIGHEST CONTROL ON PHONE
SHALL NOT EXCEED 48" PER ADA REQUIREMENTS.
PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OF
POOL AND DISPLAY AT PHONE. PROVIDE SUBMITTAL
FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO
INSTALLATION. LOCATE EMERGENCY PHONE WITHIN
THE FENCE OF THE POOL AREA.
- BIKE RACKS, QTY: (4)
MADRAX MODEL # U2328-10 MS
FINISH: POWDER COATED, COLOR: BRONZE
- LARGE BIKE RACKS, QTY: (2) 9 BIKE'S ONE SIDE
MADRAX MODEL # GR116 (GRIDRAC)
FINISH: POWDER COATED, COLOR: BRONZE
- POOL SIGNAGE:
SEE SITE PLAN & LEGEND FOR
LOCATION AND TYPES
- EMERGENCY POOL SHUTOFF:
SEE POOL PLANS
- TRENCH DRAIN:
SEE 3-L-304
- HOSE BIBB: MOST DEPENDABLE FOUNTAINS
#24 SM, COLOR: BROWN
- BOLLARD:
RELIANCE FOUNDRY CO., MODEL#: R-7901,
GROUND MOUNT W/TH RECEIVER AND
HINGED LID, COLOR: STATUARY BRONZE
SEE SITE PLANS FOR LOCATIONS
- DRINKING FOUNTAIN:
MOST DEPENDABLE FOUNTAINS #440SM,
UNDERGROUND WATER FILTER

GENERAL CONSTRUCTION NOTES:

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SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEYS BY SURVEYING CONSULTANTS. FILES SC03147F, REVISED, 11.02.15.DWG, DATED AUGUST 6, 2015, & SC03147F-08-06-15.DWG DATED AUGUST 6, 2015.

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Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

DRAWN BY:
BH, FL
CHECKED BY:
TG

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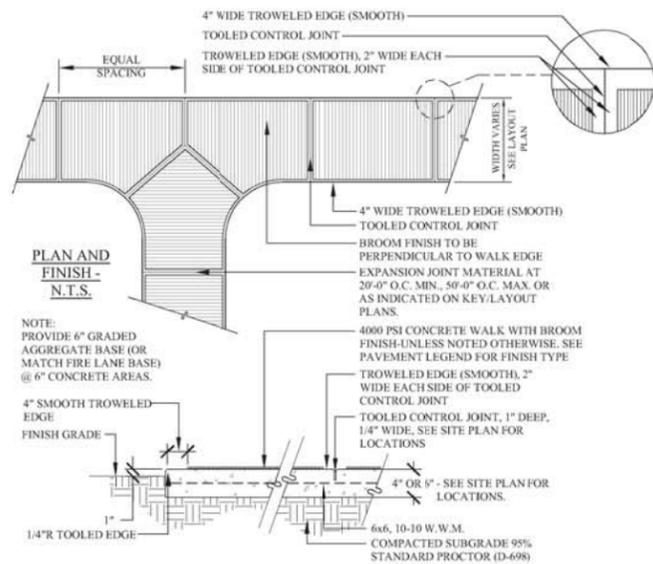
DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE PLAN

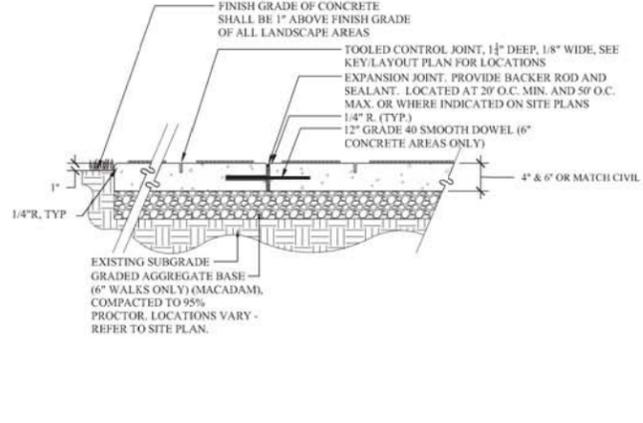
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Landscape Architects
Landscape Planners

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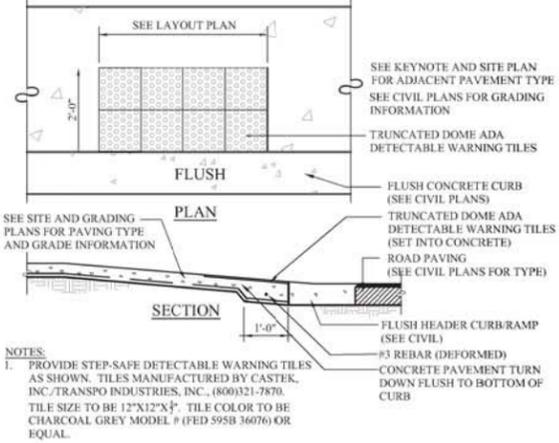
SHEET NUMBER
L-104



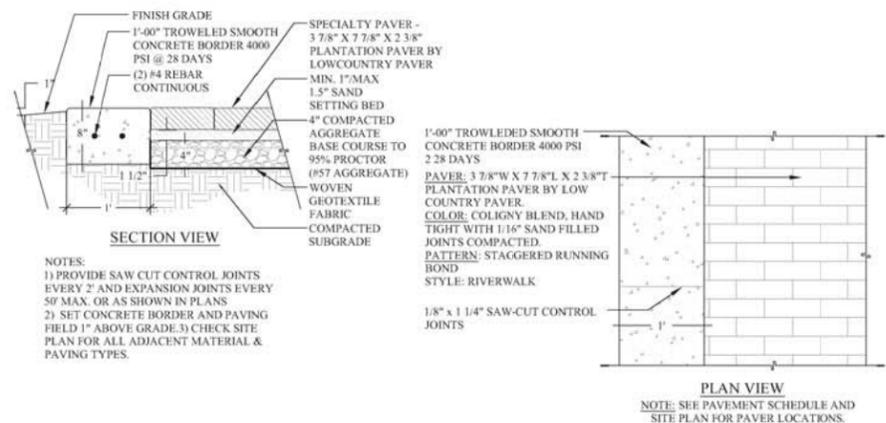
1 CONCRETE WALK
L300 SCALE: 1" = 1'-00"



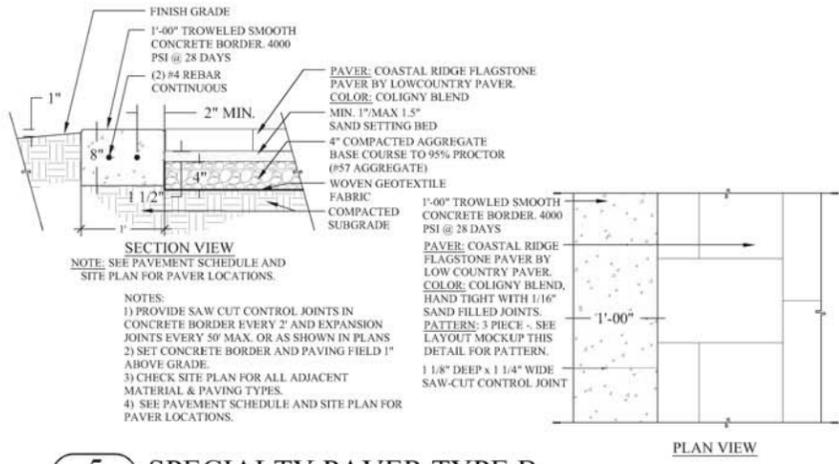
2 CONTROL & EXPANSION JOINTS
L300 SCALE: 1" = 1'-00"



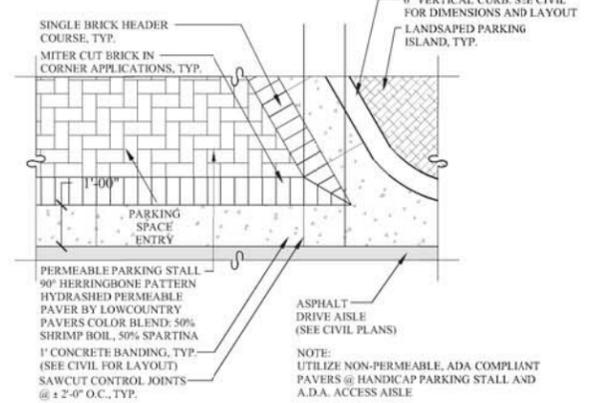
3 A.D.A. DOME TILES
L300 SCALE: 1/2" = 1'-00"



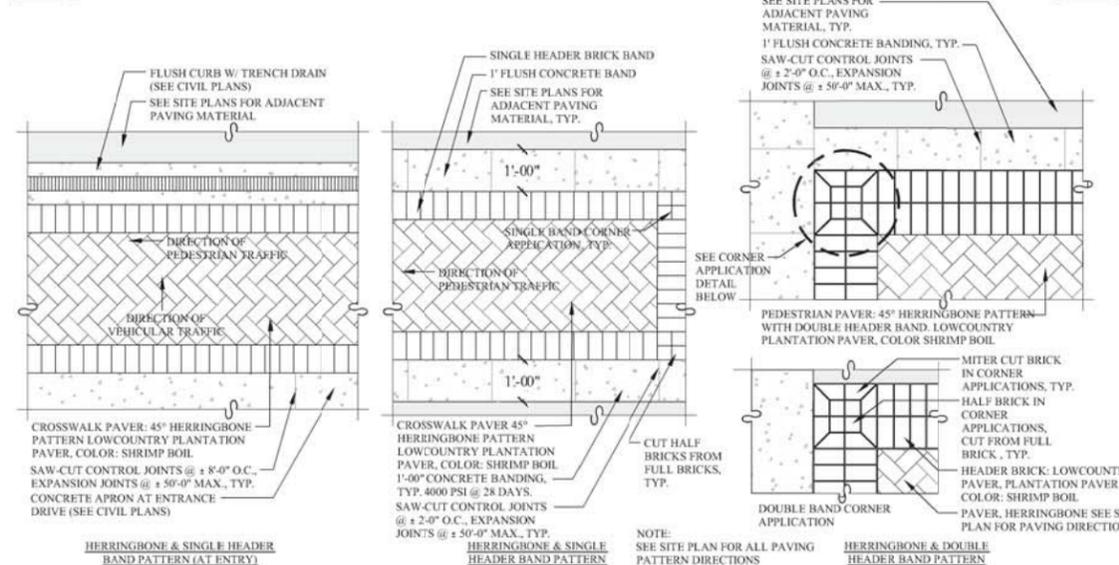
4 SPECIALTY PAVER TYPE A
L300 SCALE: 1" = 1'-00"



5 SPECIALTY PAVER TYPE B
L300 SCALE: 1" = 1'-00"



6 VEHICULAR PAVING (PATTERN ONLY)
L300 SCALE: 1/2" = 1'-00"



7 CROSSWALK AND PEDESTRIAN PAVING
L300 SCALE: 1/2" = 1'-00"

8 BLANK
L300 SCALE:

FOR REVIEW ONLY NOT FOR CONSTRUCTION

Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

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#	REVISION	DATE	BY

DATE
04-26-2016
PROJECT NUMBER
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SHEET TITLE

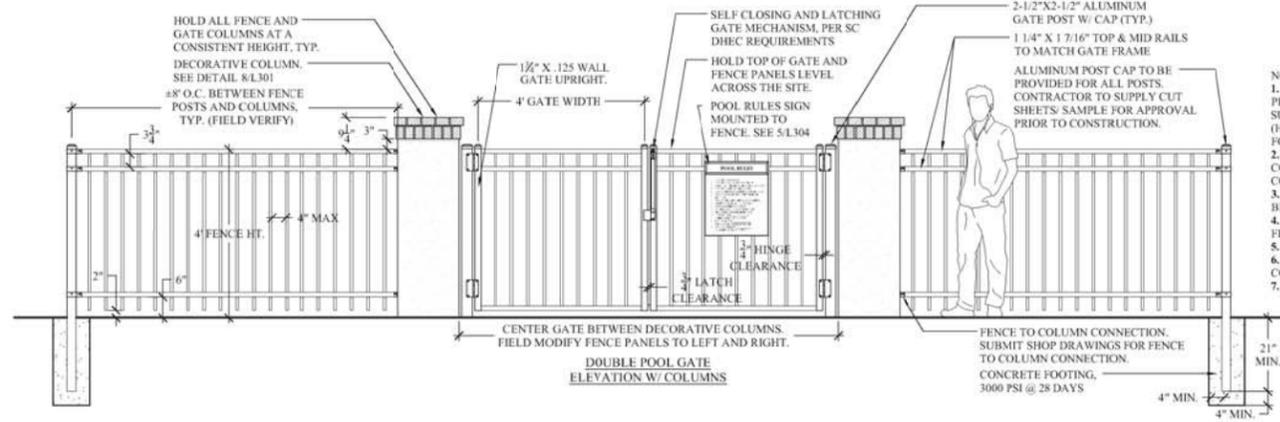
SITE
DETAILS

SHEET
NUMBER
L-300

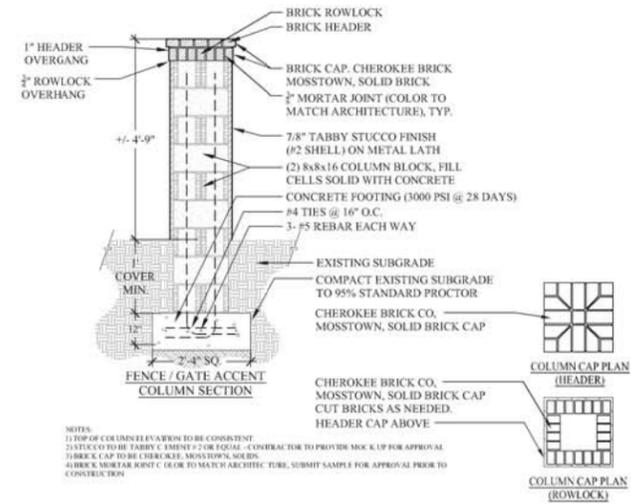
Wood+Partners Inc. WPI
Landscape Architects
LandPlanners

PO Box 2390 Hilton Head Island, SC 29925
843.681.6618 Fax 843.881.7086 www.woodpartners.com

G:\Projects\HHI\Multifamily\Shelter Cove Town Centre Apartments Site 2\Production\Work\DD\01-14043 DETAIL.S.dwg, Wednesday, April 20, 2016, Printed By: Brad Hix



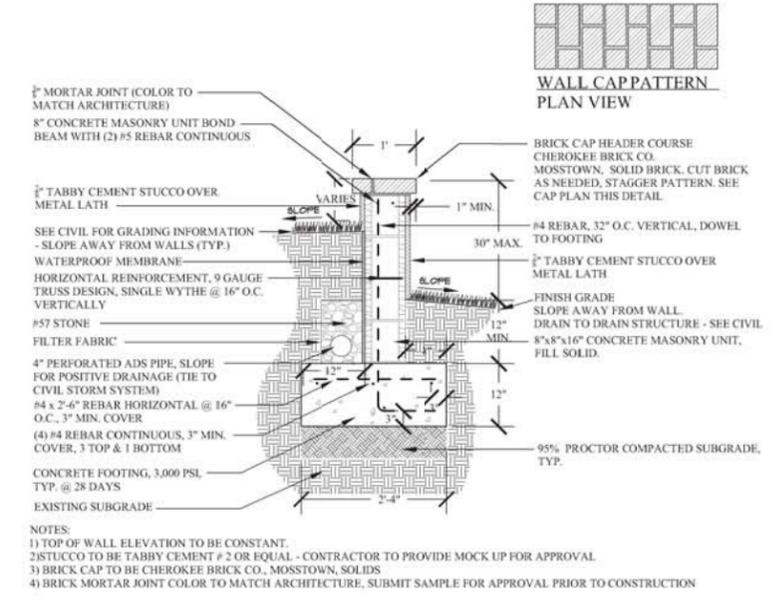
- NOTES:
- GATES TO BE SELF CLOSING, LATCHING AND LOCKABLE PER SC DHEC POOL REQUIREMENTS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL GATE HARDWARE (HINGES, LATCHES, LOCKS, ETC.) FOR APPROVAL PRIOR TO CONSTRUCTION.
 - FENCING TO HAVE - POWDER COAT FINISH WITH BRONZE COLOR. SUBMIT SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION.
 - BRICK CAP TO BE CHEROKEE BRICK, MOSSTOWN, SOLID BRICK.
 - CONTRACTOR TO ENSURE THAT A MINIMUM 4' HEIGHT FOR FENCE IS MET PER DHEC REQUIREMENTS.
 - CONTRACTOR TO FIELD VERIFY POST SPACING NEEDS.
 - SUBMIT SHOP DRAWINGS FOR FENCE TO COLUMN CONNECTION.
 - HOLD ALL POSTS AND TOP OF FENCE LEVEL.



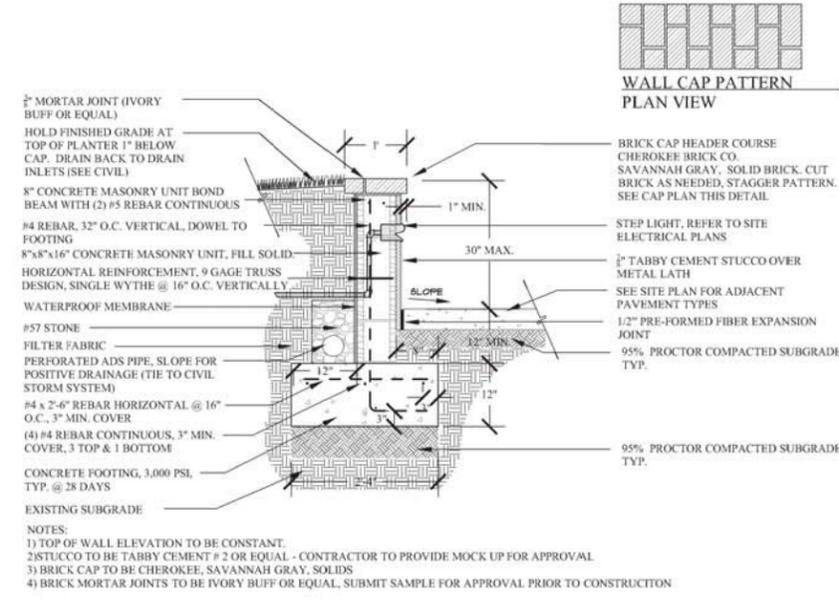
- NOTES:
- TOP OF COLUMN ELEVATION TO BE CONSISTENT WITH FENCE TO COLUMN CONNECTION.
 - STUCCO TO BE TABBED CEMENT #2 OR EQUAL - CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL.
 - BRICK CAP TO BE CHEROKEE, MOSSTOWN, SOLID.
 - BRICK MORTAR JOINT COLOR TO MATCH ARCHITECTURE. SUBMIT SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION.

1 POOL FENCE WITH GATE AND COLUMNS
L301 SCALE: 1/2" = 1'-00"

2 FENCE COLUMN
L301 SCALE: 1/2" = 1'-00"



- NOTES:
- TOP OF WALL ELEVATION TO BE CONSTANT.
 - STUCCO TO BE TABBED CEMENT #2 OR EQUAL - CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL.
 - BRICK CAP TO BE CHEROKEE BRICK CO., MOSSTOWN, SOLIDS
 - BRICK MORTAR JOINT COLOR TO MATCH ARCHITECTURE. SUBMIT SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION



- NOTES:
- TOP OF WALL ELEVATION TO BE CONSTANT.
 - STUCCO TO BE TABBED CEMENT #2 OR EQUAL - CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL.
 - BRICK CAP TO BE CHEROKEE, SAVANNAH GRAY, SOLIDS
 - BRICK MORTAR JOINTS TO BE IVORY BUFF OR EQUAL. SUBMIT SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION

3 RETAINING WALL TYPE A
L301 SCALE: 3/4" = 1'-00"

4 RETAINING WALL TYPE B
L301 SCALE: 3/4" = 1'-00"

FOR REVIEW ONLY NOT FOR CONSTRUCTION

Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2
Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

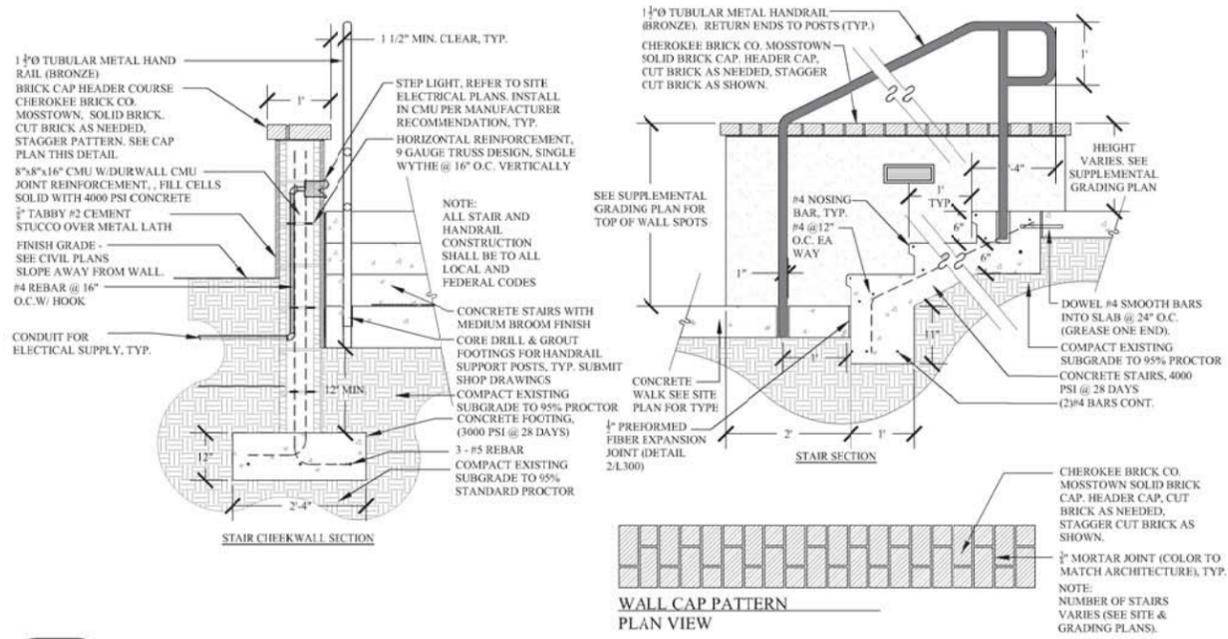
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#	REVISION	DATE	BY

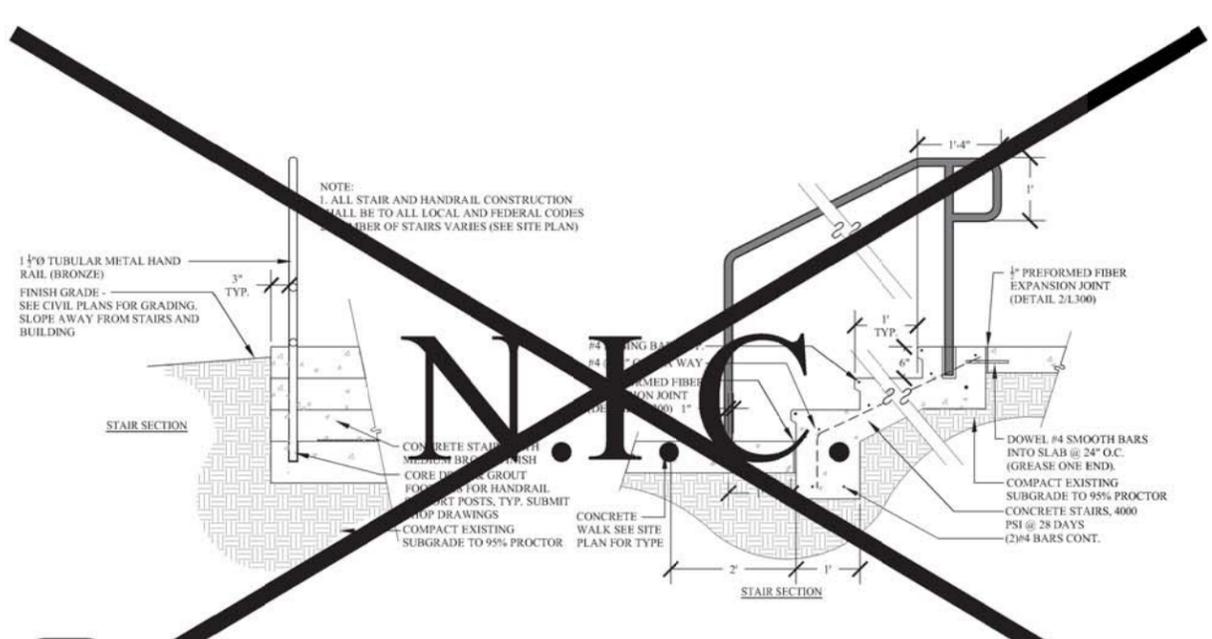
DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE
DETAILS

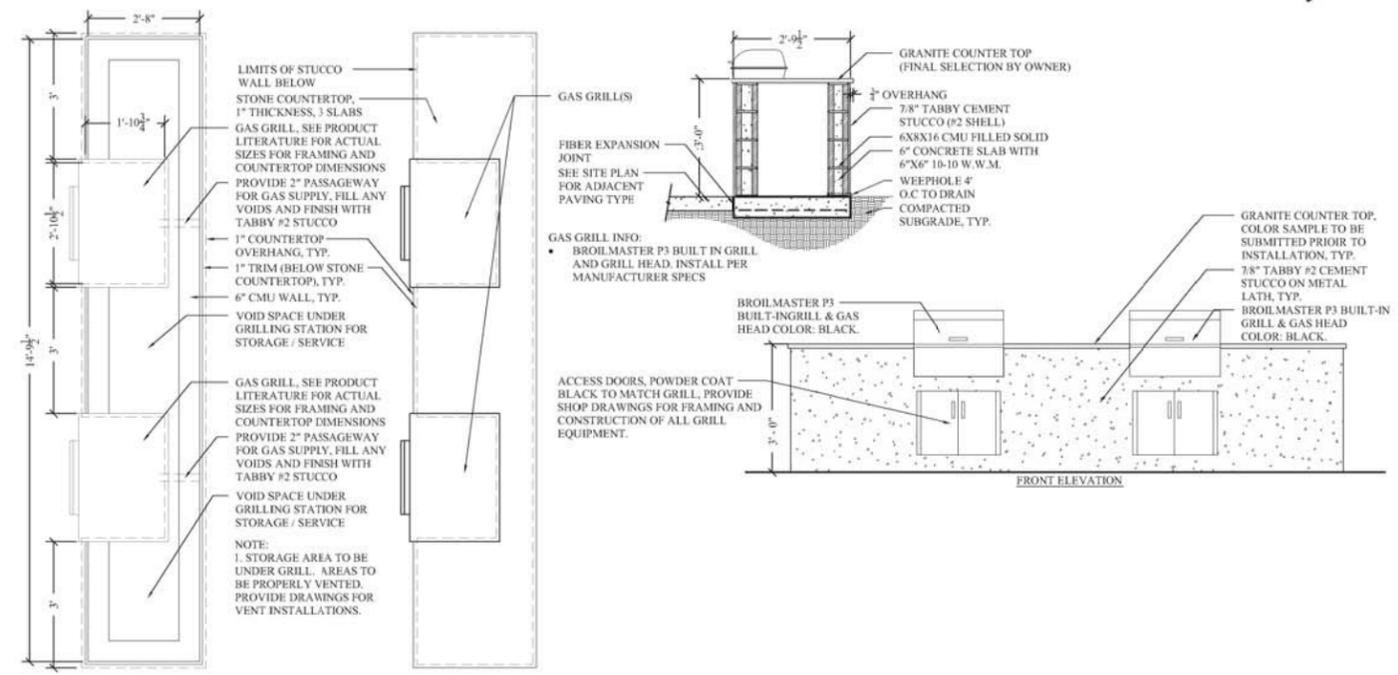
SHEET
NUMBER
L-301



1 STAIRS TYPE A (WITH CHEEKWALL)
L302 SCALE: 3/4" = 1'-00"



2 STAIRS TYPE B (WITHOUT CHEEKWALL)
L302 SCALE: 3/4" = 1'-00"



3 GRILL ISLAND FREE STANDING (PLAN, SECTION, & ELEVATION)
L302 SCALE: 1/2" = 1'-00"

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Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

Hilton Head Island, South Carolina

DRAWN BY:
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TG

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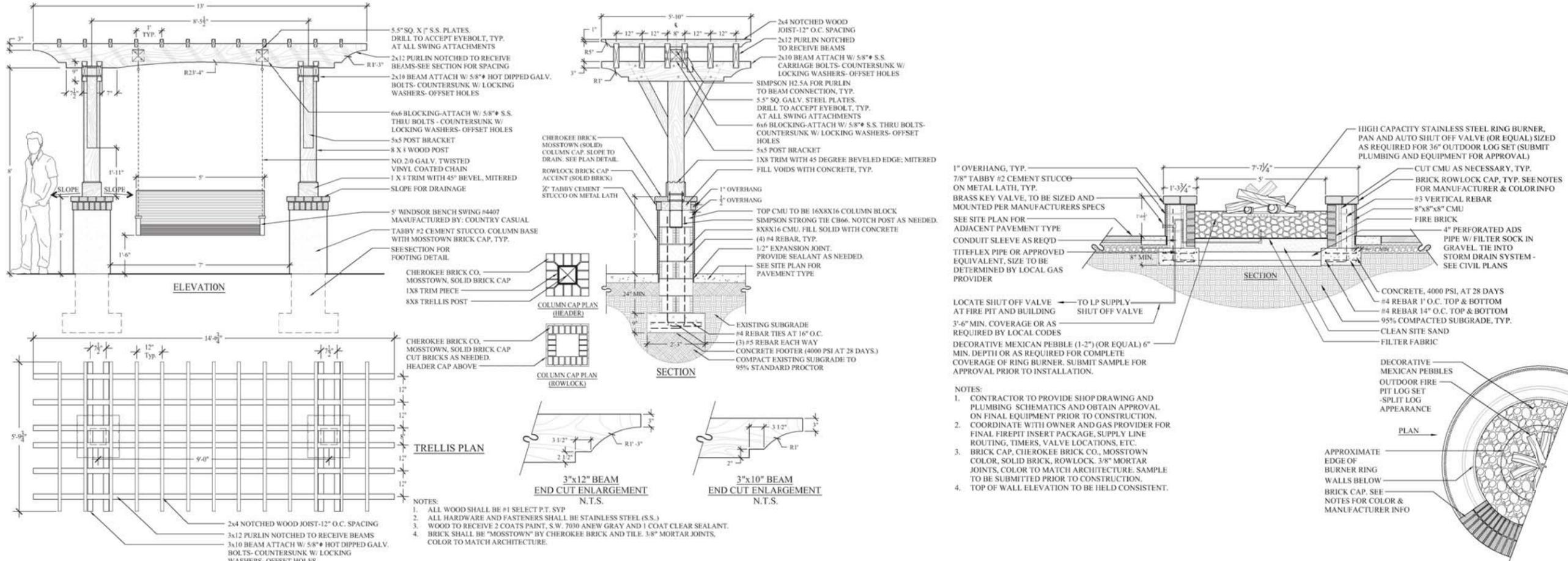
#	REVISION	DATE	BY

DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE
DETAILS

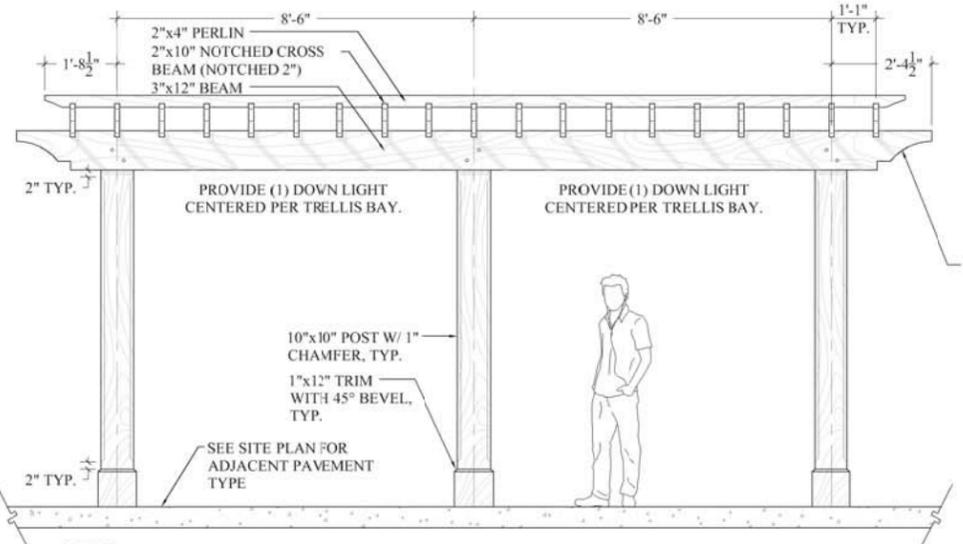
SHEET
NUMBER

L-302



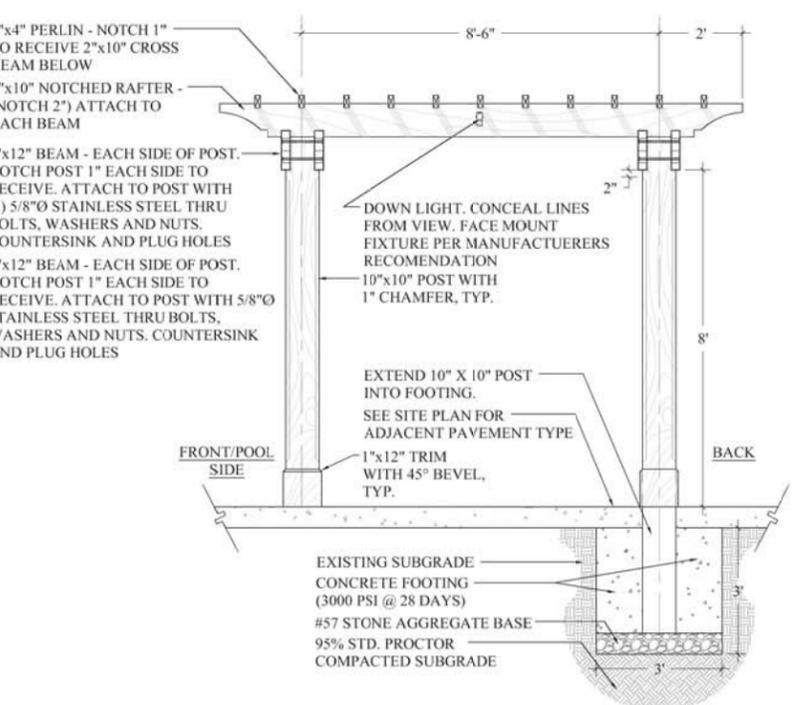
1 SWING TRELLIS (SECTION & ELEVATION)
L303 SCALE: 1/2" = 1'-00"

2 CIRCULAR FIREPIT (PLAN, SECTION, & ELEVATION)
L303 SCALE: 1/2" = 1'-00"

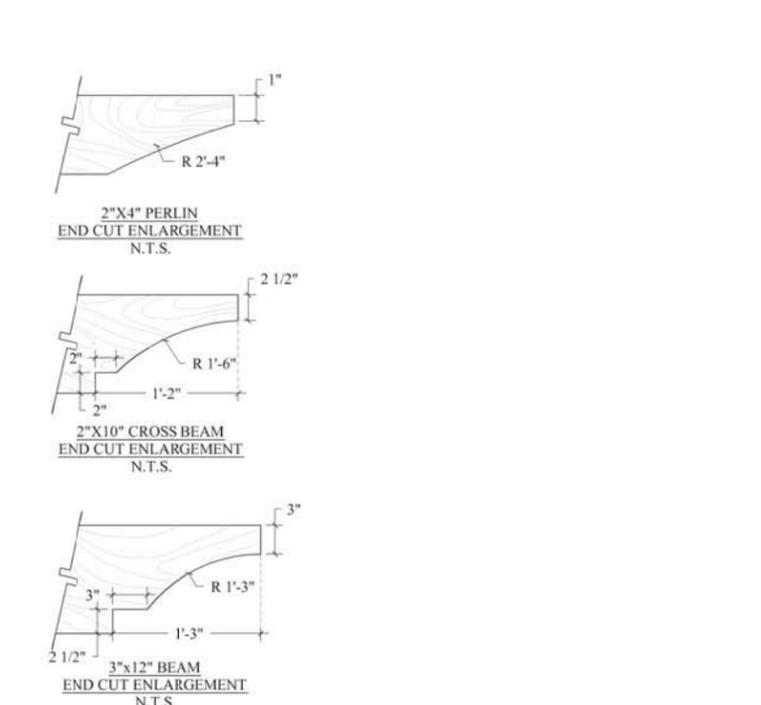


NOTES:
 1. ALL WOOD USED IN THE CONSTRUCTION OF THE UPPER TRELLIS TO BE ROUGH CUT CEDAR. WOOD TO RECEIVE 2 COATS PAINT, S.W. 7030 ANEW GRAY AND 1 COAT CLEAR SEALANT.
 2. ALL WOOD USED FOR THE TRELLIS SUPPORT POSTS AND TRIM FOR THE SUPPORT POSTS TO BE SMOOTH CUT CEDAR. WOOD TO RECEIVE 2 COATS PAINT, S.W. 7030 ANEW GRAY AND 1 COAT CLEAR SEALANT.
 3. ALL HARDWARE SHALL BE STAINLESS STEEL.
 4. ALL ELECTRICAL CONDUIT TO BE INSTALLED SO AS TO APPEAR INTEGRATED INTO THE DESIGN AS MUCH POSSIBLE. ALL CONDUIT TO BE PAINTED TO MATCH THE MATERIAL COLOR IT IS INSTALLED AGAINST.
 5. STUCCO COLUMNS SHALL BE S.W. 7036 "ACCESSIBLE BEIGE" WITH MEDIUM FINISH TO MATCH ARCHITECTURE. COLUMN CAPS ARE TO BE PRECAST WITH A LIGHT "SANDBLAS" FINISH, TO MATCH S.W. 7011 "NATURAL CHOICE".
 6. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF BUILD OUT MATERIAL & CONSTRUCTION METHOD PRIOR TO CONSTRUCTION.

3 POOLSIDE TRELLIS
L303 SCALE: 1/2" = 1'-00"



NOTES:
 1. ALL WOOD SHALL BE #1 SELECT P.T. SYP.
 2. ALL HARDWARE AND FASTENERS SHALL BE STAINLESS STEEL (S.S.)
 3. WOOD TO RECEIVE 2 COATS PAINT, S.W. 7030 ANEW GRAY AND 1 COAT CLEAR SEALANT.
 4. BRICK SHALL BE "MOSSTOWN" BY CHEROKEE BRICK AND TILE. 3/8" MORTAR JOINTS, COLOR TO MATCH ARCHITECTURE.



NOTES:
 1. CONTRACTOR TO PROVIDE SHOP DRAWING AND PLUMBING SCHEMATICS AND OBTAIN APPROVAL ON FINAL EQUIPMENT PRIOR TO CONSTRUCTION.
 2. COORDINATE WITH OWNER AND GAS PROVIDER FOR FINAL FIREPIT INSERT PACKAGE, SUPPLY LINE ROUTING, TIMERS, VALVE LOCATIONS, ETC.
 3. BRICK CAP, CHEROKEE BRICK CO., MOSSTOWN COLOR, SOLID BRICK, ROWLOCK 3/8" MORTAR JOINTS, COLOR TO MATCH ARCHITECTURE. SAMPLE TO BE SUBMITTED PRIOR TO CONSTRUCTION.
 4. TOP OF WALL ELEVATION TO BE HELD CONSISTENT.

FOR REVIEW ONLY NOT FOR CONSTRUCTION

Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

Hilton Head Island, South Carolina

DRAWN BY: BH, EL
CHECKED BY: TG

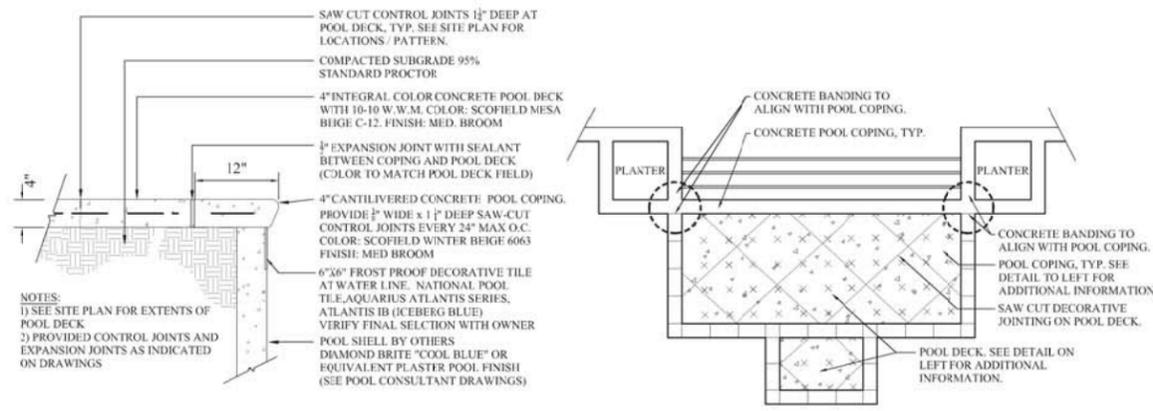
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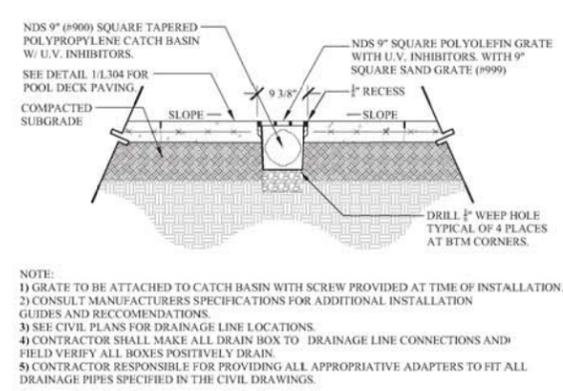
DATE: 04-26-2016
PROJECT NUMBER: 01-14043
SHEET TITLE

SITE DETAILS

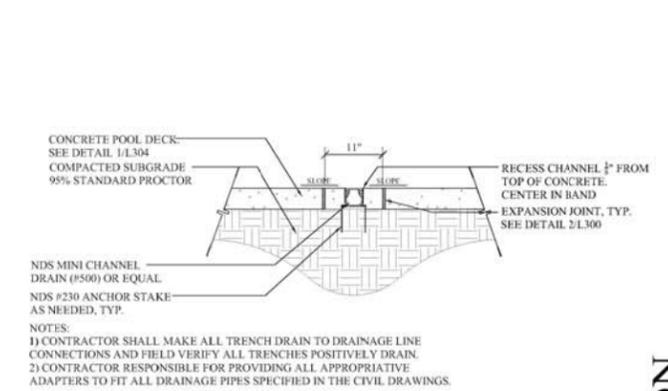
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L-303



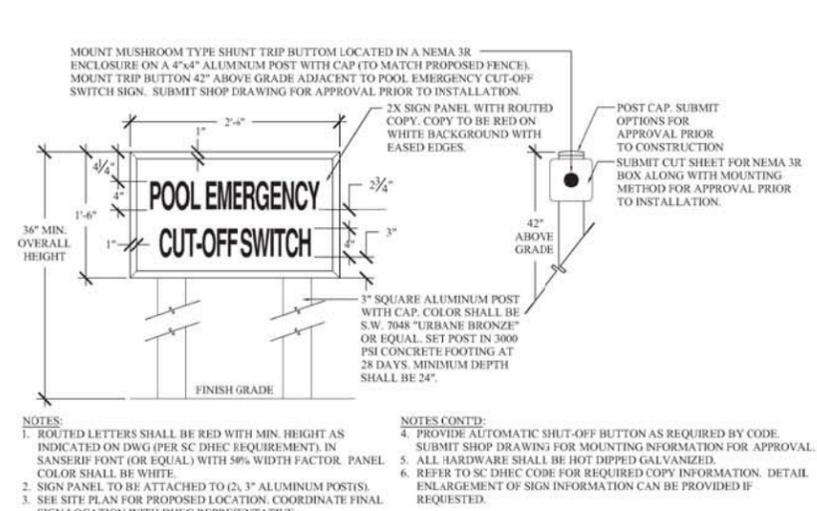
1 POOL DECK AND COPING
L304 SCALE: 1/2" = 1'-00"



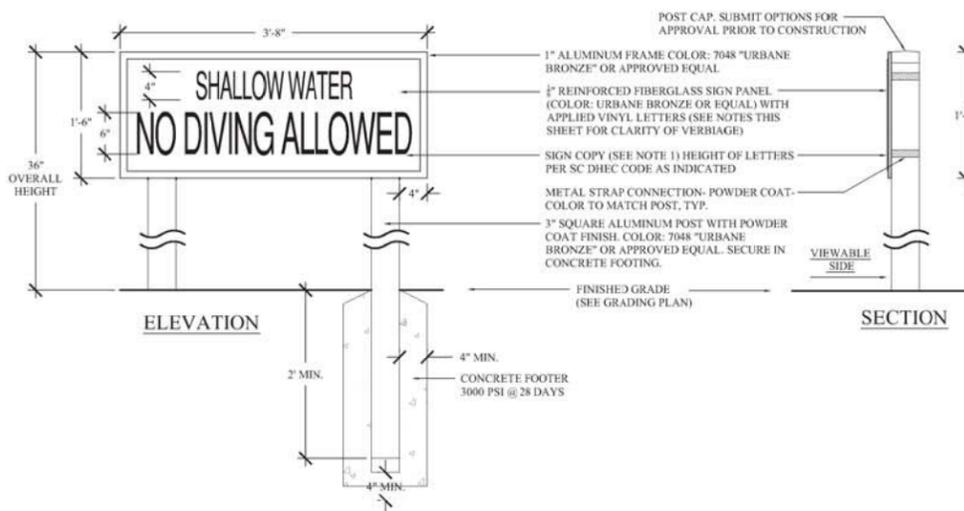
2 DECK DRAIN
L304 SCALE: 3/4" = 1' 00"



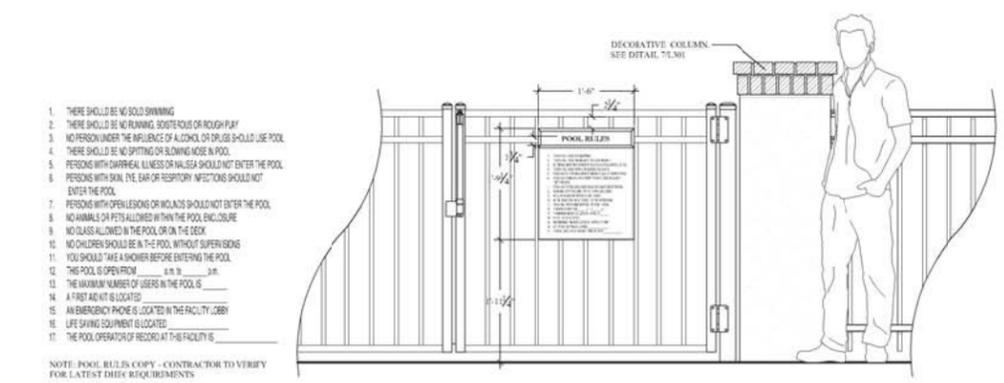
3 TRENCH DRAIN AT POOL DECK
L304 SCALE: 3/4" = 1'-00"



4 EMERGENCY CUT-OFF SIGN
L304 SCALE: 1" = 1'-00"



5 NO DIVING / NO LIFEGUARD SIGN
L304 SCALE: 1" = 1'-00"



6 POOL RULES SIGN
L304 SCALE: 3/4" = 1'-00"

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40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2
Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

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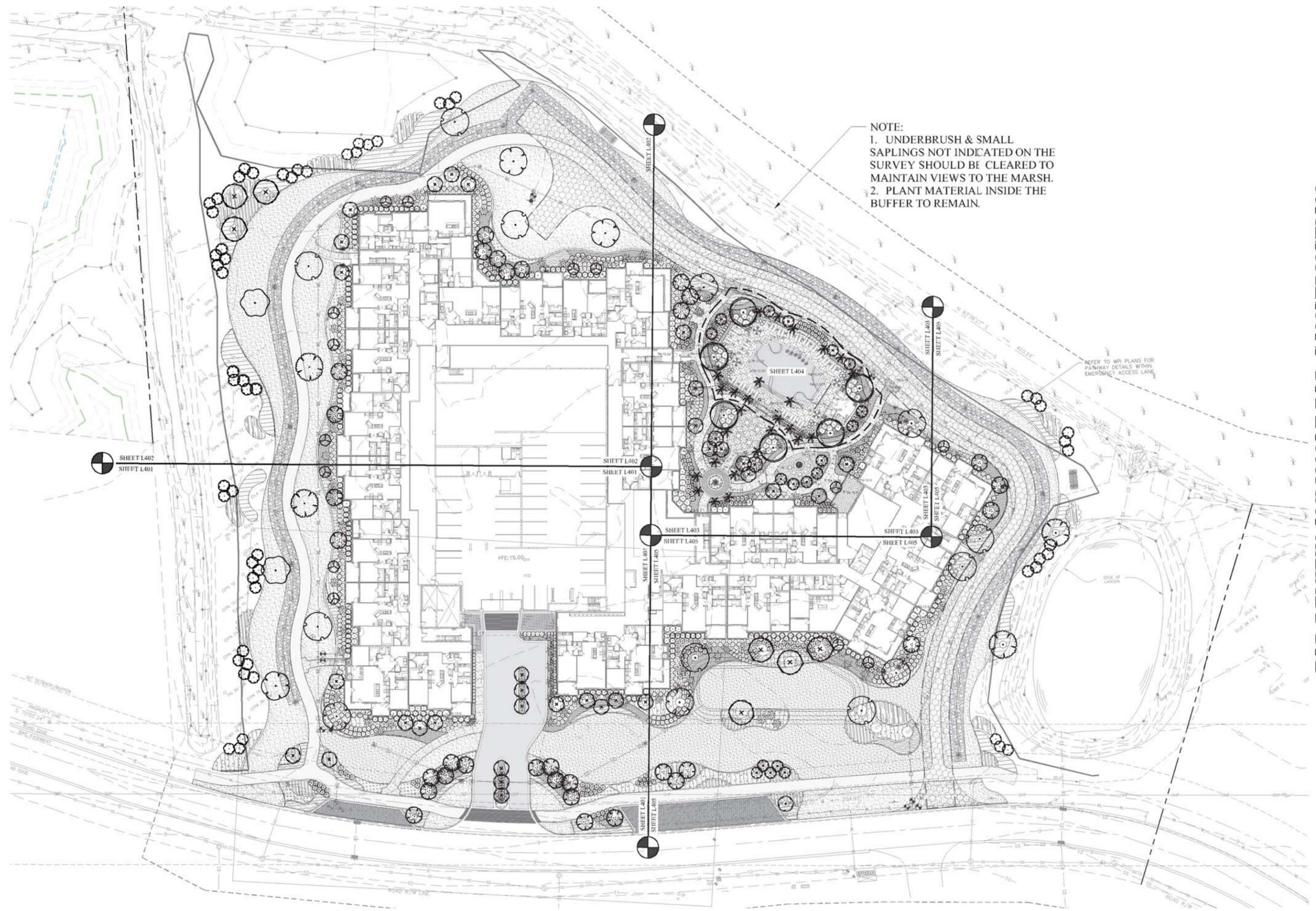
#	REVISION	DATE	BY

DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

SITE
DETAILS

SHEET
NUMBER
L-304

G:\Projects\HHU\MultiFamily\Shelter Cove Towne Centre Apartments Site 2\Production\Work\DD\01-4043 LANDSCAPE PLAN.dwg, Wednesday, April 20, 2016, Printed By: Erik Ladd



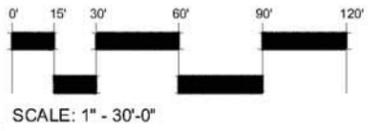
NOTE:
 1. UNDERBRUSH & SMALL SAPPLINGS NOT INDICATED ON THE SURVEY SHOULD BE CLEARED TO MAINTAIN VIEWS TO THE MARSH.
 2. PLANT MATERIAL INSIDE THE BUFFER TO REMAIN.

FOR REVIEW ONLY NOT FOR CONSTRUCTION

LANDSCAPE DEVELOPMENT PLANS
 SHELTER COVE TOWNE CENTRE APARTMENTS
 BUILDING SITE 2

Shelter Cove Apartments
 40 Shelter Cove Lane
 Hilton Head Island, SC 29928

Hilton Head Island, South Carolina



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEYS BY SURVEYING CONSULTANT'S. FILES SC03147F. REVISED 11.02.15.DWG, DATED AUGUST 6, 2015, & SC03147F-08-06-15.DWG DATED AUGUST 6, 2015.

Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners

PO Box 2384P Hilton Head Island, SC 29928
 843.681.0278 Fax 843.681.7086 www.woodpartners.com

DRAWN BY:
 BFL/EL
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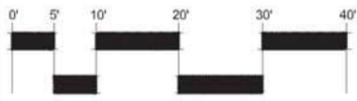
REVISION	DATE BY

DATE
 04-26-2016
 PROJECT NUMBER
 01-14043
 SHEET TITLE

OVERALL
 LANDSCAPE
 PLAN

SHEET
 NUMBER
L-400

G:\Projects-HHUMultiFamily\Shelter Cove Town Centre Apartments Site 2\Production\Work\DD\01-4013 LANDSCAPE PLAN.dwg, Wednesday, April 20, 2016, Printed By: Erik Ladd



SCALE: 1" = 10'-0"



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SHEET L403
SHEET L405

SHEET L403
SHEET L405



SHEET L403
SHEET L405

SHEET L403
SHEET L405

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Shelter Cove Apartments
40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2

Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

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DATE
04-26-2016
PROJECT NUMBER
01-14043
SHEET TITLE

LANDSCAPE PLAN

Wood+Partners Inc. **WPI**
Landscape Architects
Land Planners

PO Box 2384P Hilton Head Island, SC 29928
843.681.0278 Fax 843.681.7066 www.woodpartners.com

SHEET NUMBER
L-404

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HEIGHT	SPREAD	REMARKS
CHVT	14	Chionanthus virginicus	White Fringee	B & B	2" Cal	8'-10'	4'-5'	Multi-Stem
ILVU	11	Ilex vomitoria 'Upright'	Upright Yaupon Holly	B & B	1" Cal	36"-48"	4'-5'	Multi-Stem, 3 items min (1" Cal ea.)
LAAR	32	Lagerstroemia faurii 'Argus'	Argus Lagerstroemia	B & B	1" Cal	10'-12'	4'-5'	Multi-Stem, 3 items min (1" Cal ea.)
LATO	18	Lagerstroemia indica x 'faurii' 'Tonia'	Tonia Lagerstroemia	B & B	2.5" Cal	10'-12'	4'-6'	On Standard, 6 Clear Trunk
LANA	36	Lagerstroemia x 'Natchez'	Natchez Crape Myrtle	B & B	2.5" Cal	10'-12'	4'-5'	Multi-Stem, 3 items min (1" Cal ea.)
MYCE	47	Myrica cerifera	Wax Myrtle	15 gal	1.5" Cal	6'-8'	3'-5'	Category II Replacement
QONU	4	Quercus nuttallii	Nuttall Oak	B & B	4" Cal	14'-16'	6' - 7'	Category II Replacement
QUSH	9	Quercus shumardii	Shumard Red Oak	B & B	4" Cal	14'-16'	6' - 7'	Category II Replacement
QUVI	2	Quercus virginiana	Southern Live Oak	B & B	4" Cal	14'-16'	6' - 7'	Category I Replacement
QUVI2	7	Quercus virginiana	Southern Live Oak	B & B	6" Cal	16'-18'	7'-8'	Category I Replacement
SAPA2	84	Sabal palmetto	Cabbage Palmetto (2)	B & B	B & B	14'-16'		Shik/Harricans Cur, 14' at Upper Terrace, 16' at Lower Terrace
SAPA1	26	Sabal palmetto	Refoliated Cabbage Palmetto (1)	B & B	B & B	16' Matched		Shik (No Boon), At Pool Terrace
TASH	7	Taxodium distichum 'Shawnee Brave' TM	Bald Cypress	B & B	3" Cal	14'-16'	5'-6'	Category I Replacement
ULAL	6	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	FG B&B	6" Cal			Strong central leader; Category II Replacement

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	REMARKS
ALVA	126	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal		Full in pot
AZAE2	171	Azalea Encore 'Autumn Monarch' TM	Autumn Monarch Azalea	3 gal		Full in pot
AZAE1	38	Azalea Encore 'Autumn Sunburst' TM	Autumn Sunburst Azalea	3 gal		Full in pot
AZEN5	114	Azalea x 'Robled'	Azalea Encore Autumn Chiffon TM	3 gal		Full in pot
CAGA	67	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Camellia	7 gal		Full in pot
CAYU	42	Camellia sasanqua 'Yuletide'	Yuletide Camellia	7 gal		Full in pot
CYRE	23	Cycas revoluta	Japanese Sago Palm	7 gal		Full in pot
FAJA	5	Fatsia japonica	Japanese Fatsia	3 gal		Full in pot
GAFR	42	Gardenia jasminoides 'Frostproof'	Frostproof Gardenia	7 gal		Full in pot
HYWE	37	Hydrangea quercifolia 'Pee Wee'	Oakleaf Hydrangea	7 gal		Full in pot
ILST	143	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 gal		Full in pot
LOCF	34	Loropetalum chinense 'Crimson Fire'	Crimson Fire Loropetalum	3 gal		Full in pot
LODR	187	Loropetalum chinense 'Daruma'	Daruma Dwarf Loropetalum	3 gal		Full in pot
LOPI	12	Loropetalum chinense 'Purple Pixie'	Purple Pixie Loropetalum	1 gal		Full in pot
OSFR	25	Osmunda fragrans	Sweet Olive	15 gal		Full in pot
PHXA	14	Philodendron selloum 'Xanadu'	Split Leaf Philodendron	3 gal		Full in pot
POMA	54	Podocarpus macrophyllus 'maui'	Shrubby Yew	7 gal		Full in pot
POPR	50	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	3 gal		Full in pot
RHEL	137	Rhapidolepis indica 'Conor'	Eleanor Tabor Indian Hawthorn	3 gal		Full in pot
RHFO	230	Rhododendron indicum 'Formosa'	Formosa Azalea	3 gal		Full in pot
ROSA	226	Rosa x 'Radco'	Double Knockout Rose	3 gal		Full in pot
VISU	179	Viburnum suspensum	Sandankwa Viburnum	7 gal		Full in pot

SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPACING	REMARKS
ABCA	179	Abelia x grandiflora 'Canyon Creek'	Glossy Abelia	3 gal		36" o.c.	Full in pot
SERE	152	Serenoa repens	Saw Palmetto	3 gal		48" o.c.	Full in pot

GROUNDCOVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPACING	REMARKS
AGAF	189	Agapanthus africanus	Lily of the Nile	1 Gal		24" o.c.	Full in pot
CYFA	56	Cyrtanthus filiformis	Holly Fern	1 Gal		24" o.c.	Full in pot
DIVE	38	Dianella tasmanica 'Variegata'	Flax Lily	1 Gal		24" o.c.	Full in pot
DIVG	11	Dietes vegea	African Iris	1 Gal		24" o.c.	Full in pot
LJSB	1,321	Liriope muscari 'Super Blue'	Super Blue Liriope	1 Gal		24" o.c.	Full in pot
MUCA	378	Muhlenbergia capillaris 'Pink Cloud'	Pink Muhly	1 Gal		36" o.c.	Full in pot
PASH	593	Panicum virgatum 'Shenandoah'	Burgandy Switch Grass	1 Gal		30" o.c.	Full in pot
PLAJ	14	Plumbago auriculata 'Imperial Blue'	Plumbago	1 gal		20" o.c.	Full in pot
TRAS	2,681	Tracheloperium asiaticum 'Astade'	Asiatic Jasmine	4" Pot		12" o.c.	Full in pot
TUV1	397	Tulbaghia violacea	Society Garlic	1 Gal		24" o.c.	Full in pot

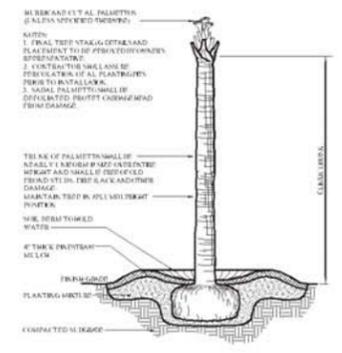
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPACING	REMARKS
ZOEM	51,094 sf	Zoysia japonica 'Empire'	Empire Zoysa	Sod			Free of thatch and mat

TREE REPLACEMENT

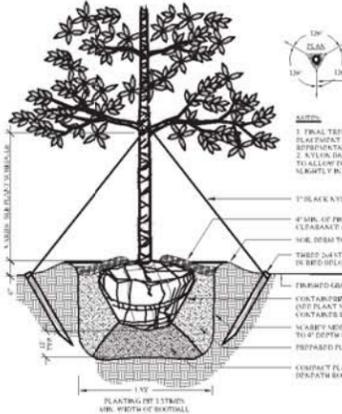
CATEGORY	INCHES REQUIRED	TREES REPLACED	NOTES
1	56"	(7) 3" BALD CYPRESS (2) 4" LIVE OAK (7) 6" LIVE OAK	* 71" PROVIDED * 15" ABOVE REPLACEMENT TREES REQUIRED
2	128"	(11) 1" YAUPON HOLLY (47) 1.5" WAX MYRTLE (4) 4" NUTTALL OAK (9) 4" SHUMARD RED OAK (6) 6" LACEBARK ELM	* 170" PROVIDED * 42" ABOVE REPLACEMENT TREES REQUIRED
3	756"	(110) PALMS	* PALMS BASED ON 8" MINIMUM CALIPER * 880" PROVIDED * 124" ABOVE REPLACEMENT TREES REQUIRED
4	4"	(32) 1" ORNAMENTALS (14) 2" ORNAMENTALS (54) 2.5" ORNAMENTALS	* 195" PROVIDED * 191" ABOVE REPLACEMENT TREES REQUIRED
TOTAL TREES REPLACED: 303			
TOTAL INCHES REPLACED: 1316"			

GENERAL PLANTING & IRRIGATION NOTES:

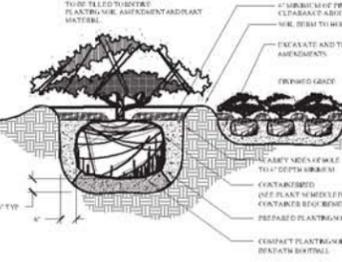
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALL SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOIL, HYDRO-SEED AND PLANTING BEDS. SEE IRRIGATION PLAN FOR DETAILS.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH SEE PLANS FOR LOCATIONS.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED CONTACT LANDSCAPE ARCHITECT OR OWNERS REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNERS REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, ANSPREAD OR THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNERS CHOICE FOR SEASON OF INSTALLATION.
- WARRANTY EXCEPT PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.



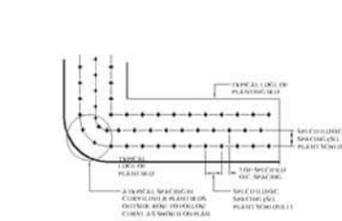
1 PALM TREE SCALE: N.T.S.



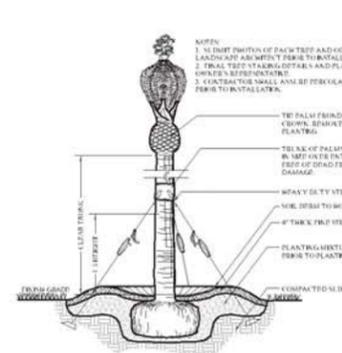
2 SHADE TREE SCALE: N.T.S.



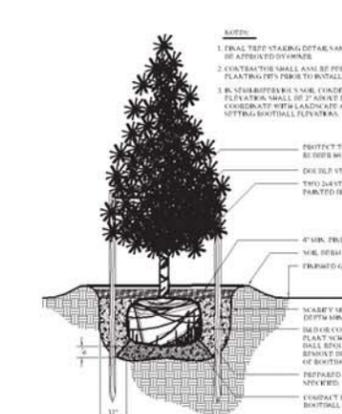
3 SHRUB PLANTING SCALE: N.T.S.



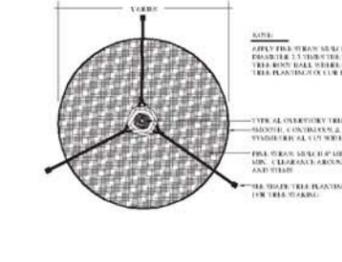
4 GROUNDCOVER SPACING SCALE: N.T.S.



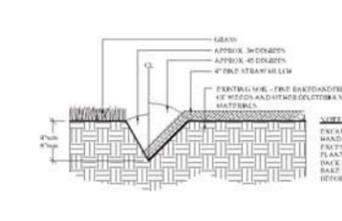
5 SPECIMEN PALM SCALE: N.T.S.



6 PINE TREE SCALE: N.T.S.



7 MULCH TREE RING SCALE: N.T.S.



8 LANDSCAPE EDGE SCALE: N.T.S.

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40 Shelter Cove Lane
Hilton Head Island, SC 29928

LANDSCAPE DEVELOPMENT PLANS
SHELTER COVE TOWNE CENTRE APARTMENTS
BUILDING SITE 2
Hilton Head Island, South Carolina

DRAWN BY: BHL/EL
CHECKED BY: TG

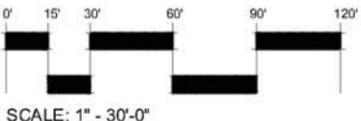
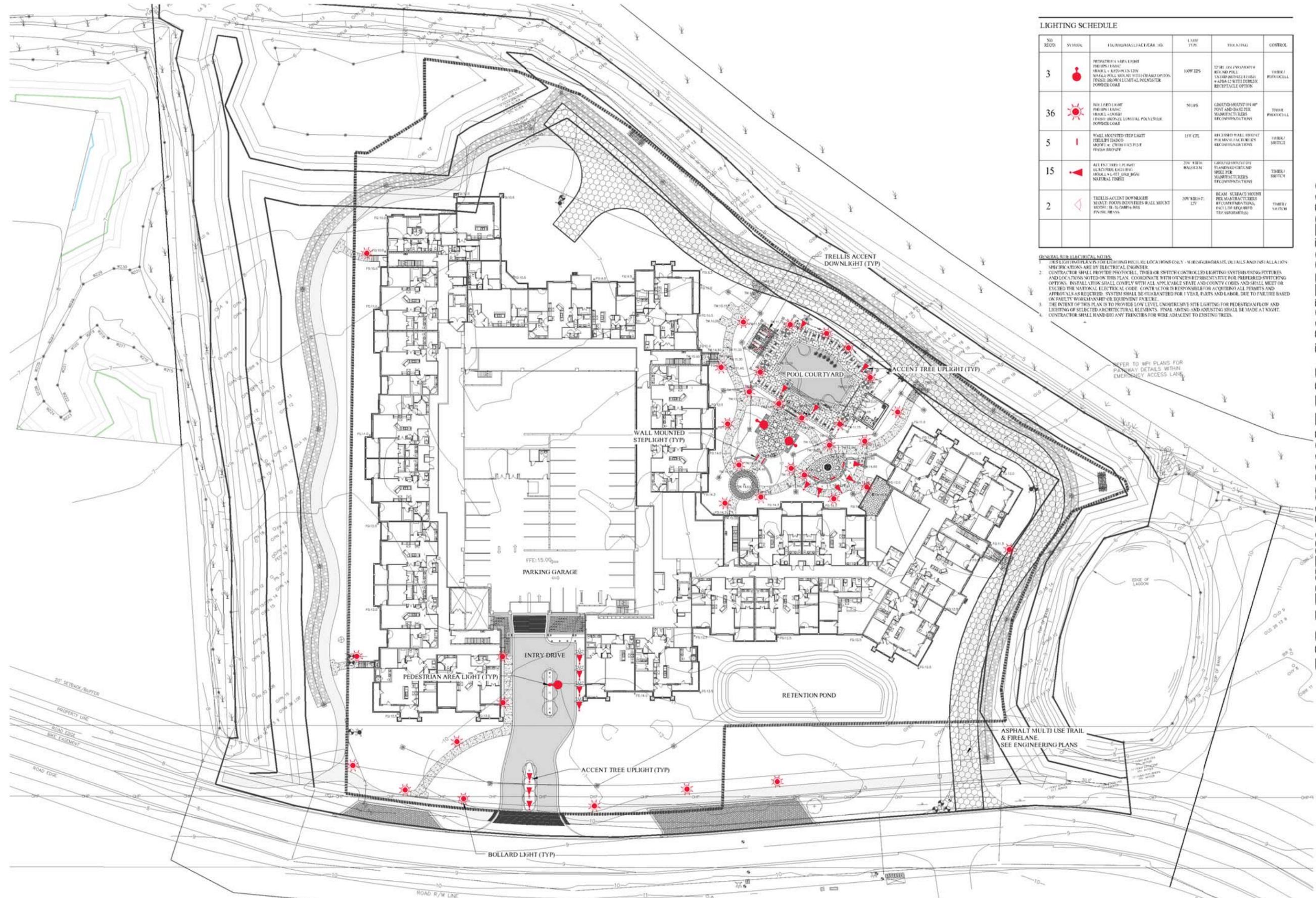
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REVISION	DATE BY

DATE: 04-26-2016
PROJECT NUMBER: 01-14043
SHEET TITLE:

LANDSCAPE DETAILS

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SCALE: 1" = 30'-0"

NO. TAGS	SYMBOL	DESCRIPTION/FACTORY NO.	LAMP TYPE	MARKING	CONTROL
3		PEDESTRIAN AREA LIGHT PHOENIX LUMINANCE MODEL # 4200-15-100 SINGLE POLE, 150 WATT, 1500 OHM OPTIC TUNED 2000'S LUMINANCE POLYESTER SUPPORT COIL	100W T5	12" H, 10" DIA. ANTI-GLARE REFLECTOR SUNSHIELD FINISH + 4" DIA. 1/2" DIA. INDEX RECTANGULAR SYSTEM	TIMER / PHOTOCELL
36		RETRACTABLE LIGHT PHOENIX LUMINANCE MODEL # 4200-15-100 SINGLE POLE, 150 WATT, 1500 OHM OPTIC TUNED 2000'S LUMINANCE POLYESTER SUPPORT COIL	50W T5	6" H, 6" DIA. ANTI-GLARE REFLECTOR SUNSHIELD FINISH + 4" DIA. 1/2" DIA. INDEX RECTANGULAR SYSTEM	TIMER PHOTOCELL
5		WALL MOUNTED STEP LIGHT PHILIPS DADCO MODEL # 4200-15-100 SINGLE POLE, 150 WATT, 1500 OHM OPTIC TUNED 2000'S LUMINANCE POLYESTER SUPPORT COIL	15W CFL	12" H, 10" DIA. ANTI-GLARE REFLECTOR SUNSHIELD FINISH + 4" DIA. 1/2" DIA. INDEX RECTANGULAR SYSTEM	TIMER / SWITCH
15		ACCENT TREE LIGHT PHILIPS DADCO MODEL # 4200-15-100 SINGLE POLE, 150 WATT, 1500 OHM OPTIC TUNED 2000'S LUMINANCE POLYESTER SUPPORT COIL	20W CFL	12" H, 10" DIA. ANTI-GLARE REFLECTOR SUNSHIELD FINISH + 4" DIA. 1/2" DIA. INDEX RECTANGULAR SYSTEM	TIMER / SWITCH
2		TRELLIS ACCENT DOWNLIGHT PHILIPS DADCO MODEL # 4200-15-100 SINGLE POLE, 150 WATT, 1500 OHM OPTIC TUNED 2000'S LUMINANCE POLYESTER SUPPORT COIL	20W CFL	12" H, 10" DIA. ANTI-GLARE REFLECTOR SUNSHIELD FINISH + 4" DIA. 1/2" DIA. INDEX RECTANGULAR SYSTEM	TIMER / SWITCH

GENERAL ELECTRICAL NOTES:
 1. THIS LIGHTING PLAN IS FOR LIGHTING FIXTURE LOCATIONS ONLY - WIRING DIAGRAMS, DETAILS AND INSTALLATION SPECIFICATIONS ARE BY ELECTRICAL ENGINEER.
 2. CONTRACTOR SHALL PROVIDE PHOTOCELL, TIMER OR SWITCH CONTROLLED LIGHTING SYSTEMS USING FIXTURES AND LOCATIONS NOTED ON THIS PLAN. COORDINATE WITH OWNER'S REPRESENTATIVE FOR PREFERRED SWITCHING OPTIONS. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES AND SHALL MEET OR EXCEED THE NATIONAL ELECTRICAL CODE. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS AS REQUIRED. SYSTEM SHALL BE GUARANTEED FOR 1 YEAR, PARTS AND LABOR, DUE TO FAILURE BASED ON MANUFACTURER'S EQUIPMENT FAILURE.
 3. THE INTENT OF THIS PLAN IS TO PROVIDE LOW LEVEL UNIFORM SITE LIGHTING FOR PEDESTRIAN FLOW AND LIGHTING OF SELECTED ARCHITECTURAL ELEMENTS. FINAL SIZING AND ADJUSTING SHALL BE MADE AT NIGHT. CONTRACTOR SHALL HAND DIG ANY TRENCHES FOR WIRE ADJACENT TO EXISTING TREES.
 4. REFER TO MEP PLANS FOR PRIMARY DETAILS WITHIN EMERGENCY ACCESS LANS.

FOR REVIEW ONLY NOT FOR CONSTRUCTION

LANDSCAPE DEVELOPMENT PLANS
 SHELTER COVE TOWN CENTRE APARTMENTS
 BUILDING SITE 2

Shelter Cove Apartments
 40 Shelter Cove Lane
 Hilton Head Island, SC 29928

Hilton Head Island, South Carolina

DRAWN BY:
BH
 CHECKED BY:
TG

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REVISION	DATE BY

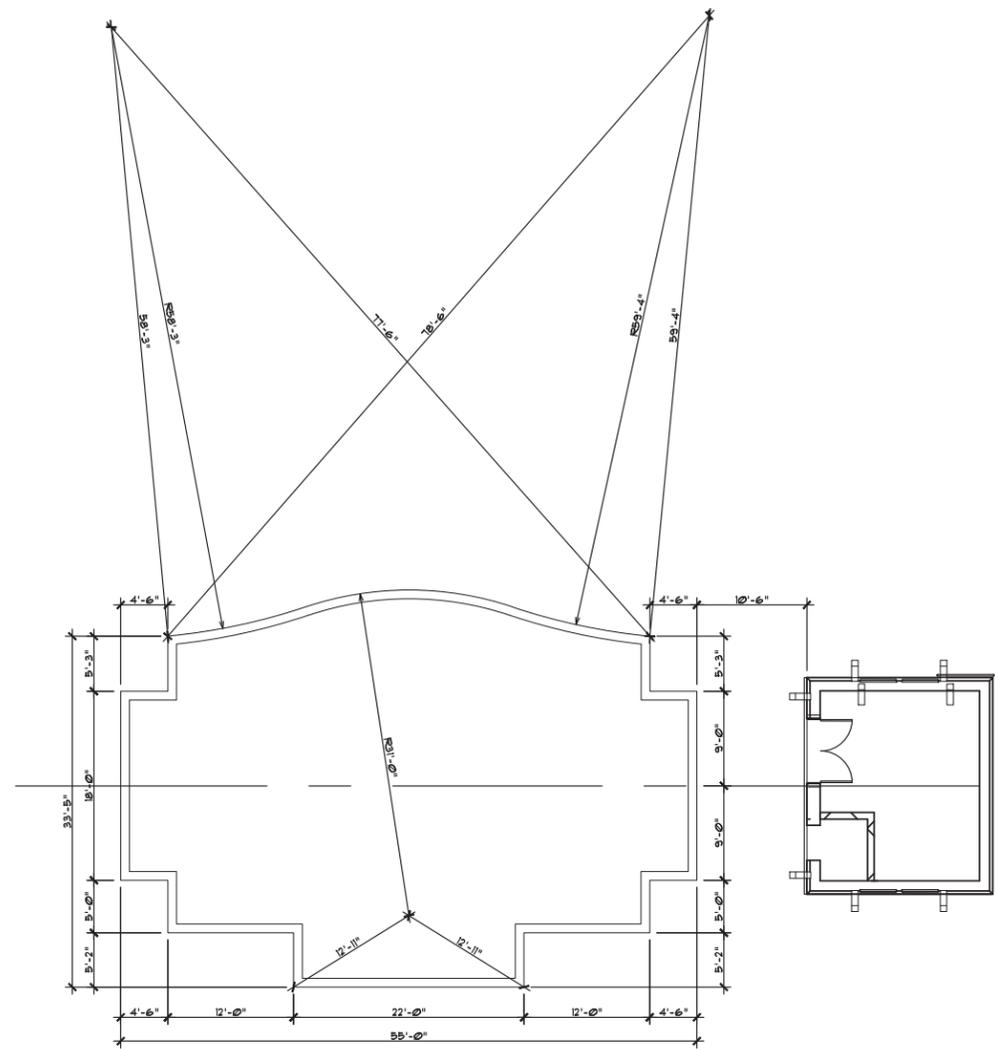
DATE
01-18-2015
 PROJECT NUMBER
01-14043
 SHEET TITLE

CONCEPT SITE
 LIGHTING PLAN

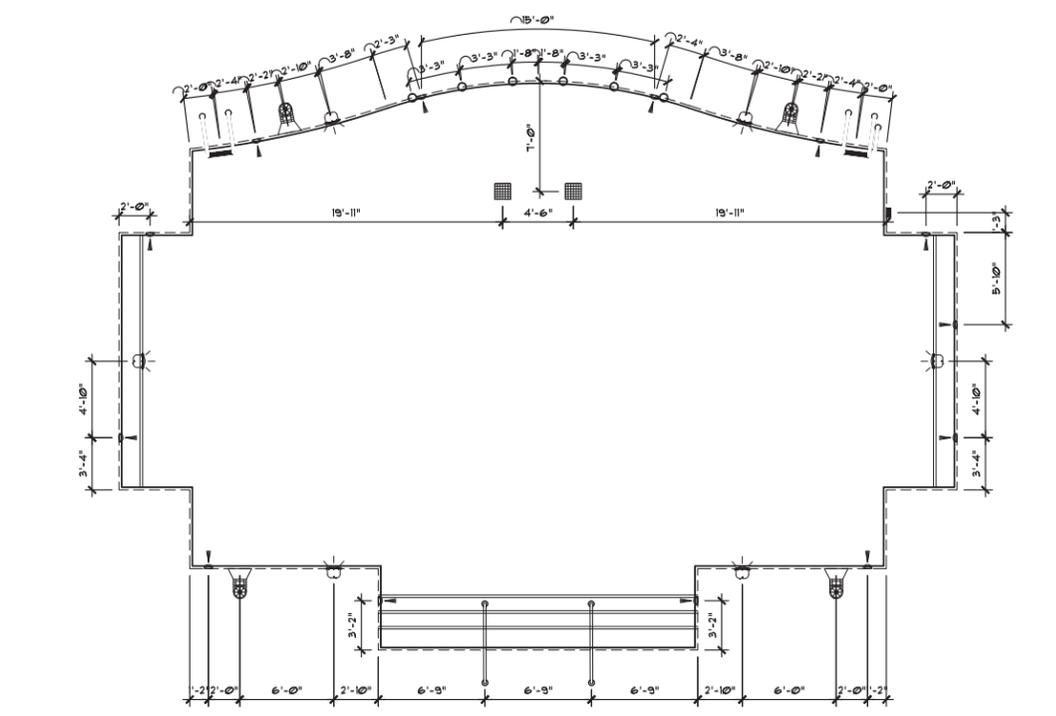
Wood+Partners Inc. **WPI**
 Landscape Architects
 Land Planners

PO Box 2384P Hilton Head Island, SC 29928
 843.681.0278 • Fax 843.681.7086 • www.woodpartners.com

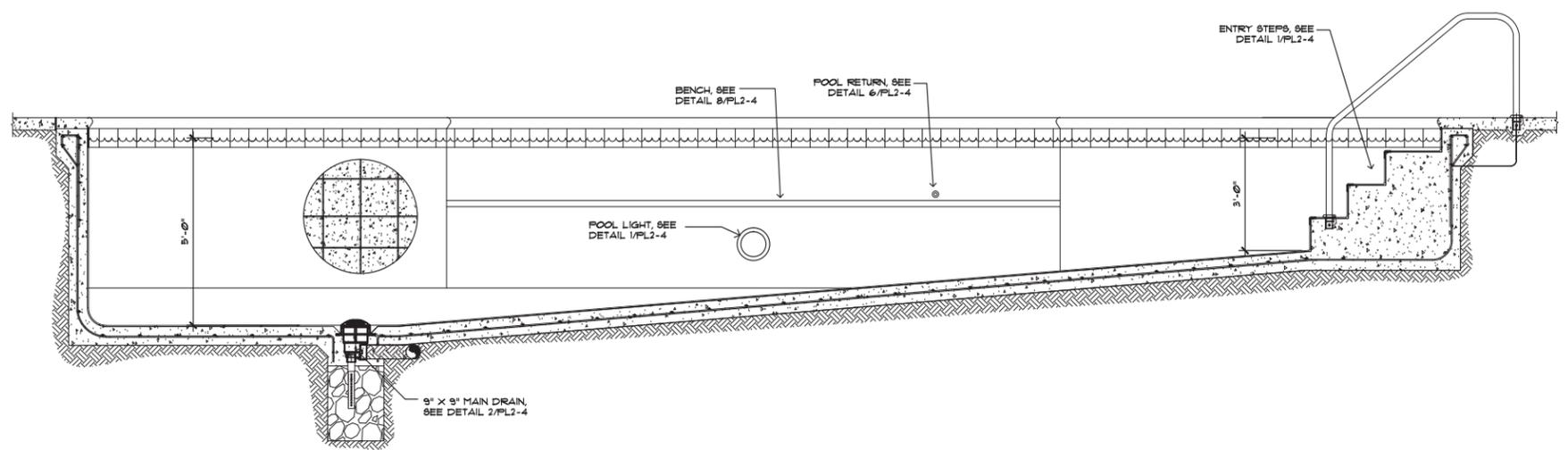
SHEET
 NUMBER
SE-100



1 POOL LAYOUT Scale: 1/8"=1'-0"



2 POOL FIXTURE LAYOUT Scale: 3/16"=1'-0"

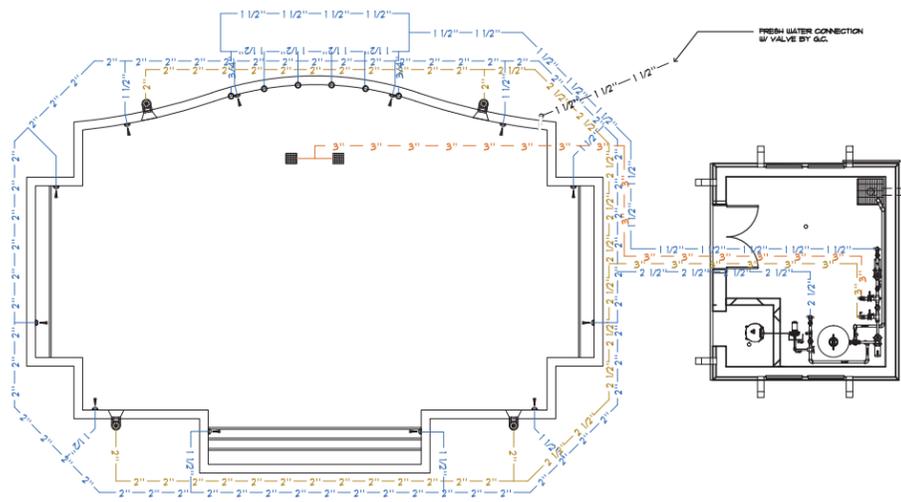


4 POOL SECTION Scale: 1/2"=1'-0"

DRAWN BY:
MB
CHECKED BY:
FF
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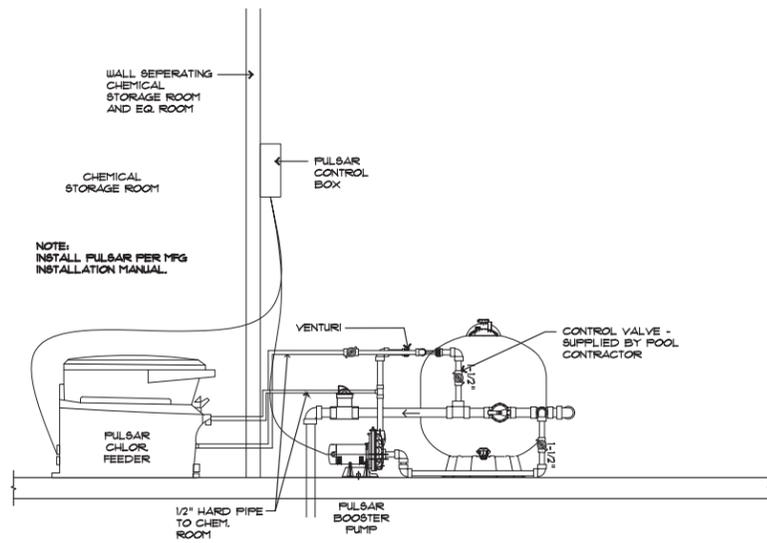
#	REVISION	DATE	BY

DATE
2/10/2016
PROJECT NUMBER
SHEET TITLE



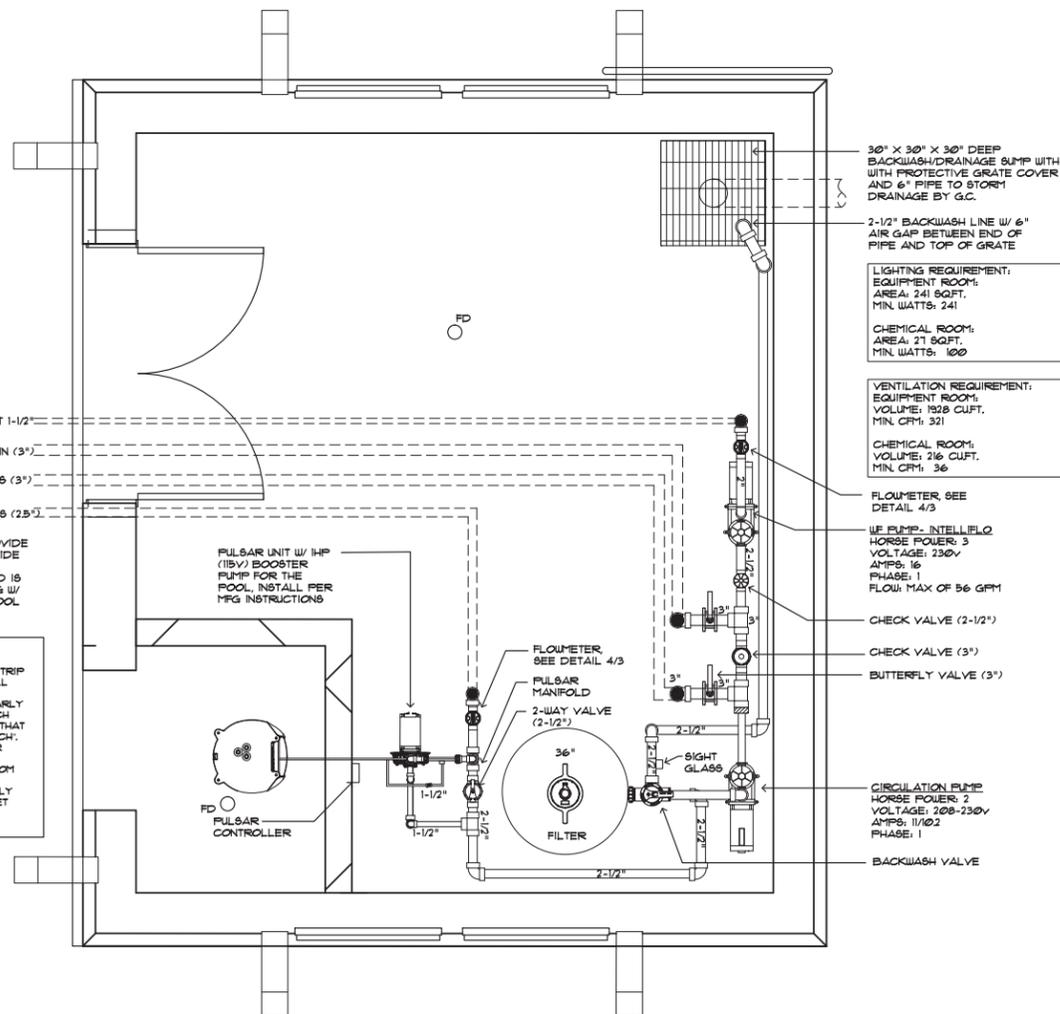
1 POOL PLUMBING PLAN

Scale: 1/8" = 1'-0"



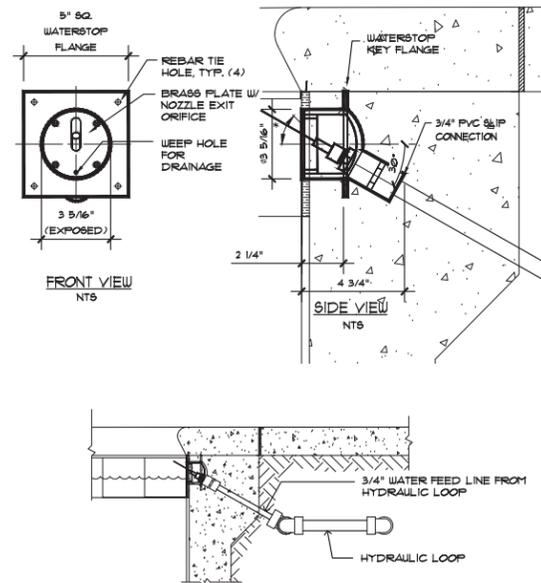
3 DETAIL - PULSAR CHLORINATOR

Scale: NT6



3 EQUIPMENT ROOM LAYOUT

Scale: 1/2" = 1'-0"



TECHNICAL AND HYDRAULIC DATA										
MODEL (PRECISION JET)	PVC SLIP NOZZLE	NOZZLE ORIFICE DIA.	THROW ANGLE MIN.	THROW ANGLE MAX.	MAX. DISTANCE	THROW @ 45° ANGLE				
						6'	8'	10'	12'	14'
RFW-PJ-181	3/4"	3/16"	15°	45°	GPM 13	15	18	21	22	23
RFW-PJ-250	3/4"	1/4"	15°	45°	GPM 2.0	2.5	2.8	3.1	3.4	3.6
RFW-PJ-312	3/4"	5/16"	15°	45°	GPM 2.6	3.0	3.6	4.2	5.1	6.0

4 DETAIL - PRECISION WALL JET

Scale: 1" = 1'-0"

EQUIPMENT / SWIMMING POOL SCHEDULE			
QTY	EQUIPMENT	MFR / VENDOR	MODEL
2	3" x 8" MAIN DRAIN FOTS W/ VGB COVERS (261 GPM)	LAUSON	MLD-86-0909
4	SURFACE SKIMMERS	PENTAIR	5063102KG
4	SKIMMER EQUALIZER FITTINGS (BOX DRAIN COVER)	PARAMOUNT	20416222101
6	POOL LIGHT NICHE	PENTAIR	19206160
100	WATERLINE (8q. FL.)	NFT	ATLANTIS 1B
20	2 X 2 NAVY 8/R TILE (8q. FL.)	DAL-TILE	D189
100	2 X 2 NAVY 8/R STEP TILE (LF.)	DAL-TILE	D189 / 6-886
3	3" DEPTH MARKER, SMOOTH, WATERLINE	NFT	DF-F3
4	4" DEPTH MARKER, SMOOTH, WATERLINE	NFT	DF-F4
5	5" DEPTH MARKER, SMOOTH, WATERLINE	NFT	DF-F5
8	8" FT DEPTH MARKER, SMOOTH, WATERLINE	NFT	DF-F8
1	2" OVERFLOW	PENTAIR	542063
1	ML300 HANDICAP LIFT W/ ANCHOR	8.R SMITH	515-3000
8	4" BRASS ANCHOR	8.R SMITH	AS-100B
2	8.8 ENTRY LADDER	8.R SMITH	LF30-3B
2	8.8 HANDRAILS	8.R SMITH	cus1cm
8	ESCUTCHEON PLATES	8.R SMITH	EP-100F
-	COLORLED CONCRETE CAP (WINTER BEIGE)	SCOFIELD	6263
-	COLORLED CONCRETE DECK (MESA BEIGE)	SCOFIELD	C-12
12	NO STEP TILE, 8/R	NFT	DF-F5
3	3" DEPTH MARKER 8/R DECK	NFT	DF-F3
4	4" DEPTH MARKER 8/R DECK	NFT	DF-F4
1	5" DEPTH MARKER 8/R DECK	NFT	DF-F5
8	8" FT DEPTH MARKER 8/R DECK	NFT	DF-F8
8	INTL. NO DIVING MARKER 8/R DECK	NFT	DF-F8
20'	TRENCH DRAIN (LF.)	NDS	500
1	WATER FEATURE INTELLIFLO PUMP (INTELLIFLO VF)	PENTAIR	01072
1	2 HP. WHISPERFLO (XFE-8)	PENTAIR	072009
1	36" DIA. SAND FILTER	PENTAIR	TR-140-C
1	3" FLOWMETER	PULSAR	MODEL 45
1	PULSAR AUTOMATIC CHLORINATOR	PULSAR	MODEL 45
1	RUFLOX BACKWASH VALVE	PENTAIR	263080
2	BUTTERFLY VALVES (3")	GRANDY	PBVK3
1	2-WAY VALVE (2-1/2")	JANDY	418
1	CHECK VALVE (3")	JANDY	130T
3	BALL VALVE (1-1/2")	GRANDY	0250-15
6	400W / 120V LED POOL LIGHT	PENTAIR	60202
3	POOL LIGHT JUNCTION BOXES	PENTAIR	PJB175
12	POOL RETURNS	PENTAIR	542000
1	SIGHT GLASS	RECREONICS	34-106
1	SHEPARD'S HOOK (PERMANENTLY ATT. TO POLE BELOW)	PENTAIR	R22106
1	16' ONE PRICE POLE (FOR SHEPARD'S HOOK)	PENTAIR	R9116
1	U.S.C.G. APPROVED 20' LIFE RING	JIM BUOY	18-183-1024
1	50' ROPE TO BE ATTACHED TO LIFE RING	LION POOL PRO.	25X50'
1	MULTI-TEST KIT (200V (4 IN ONE))	PENTAIR	RIB248

SWIMMING POOL DATA	
POOL TYPE	15'
PERIMETER FEET (LF.)	111
SURFACE AREA (SF.)	1935
WATER VOLUME, GALLONS	43,437
REQUIRED FLOW RATE, GALLONS PER MINUTE	171 GPM
DESIGN FLOW RATE, GALLONS PER MINUTE	121 GPM
TURNOVER TIME, HOURS	6 HRS
DECK AREA, SQUARE FEET	2,589
DECK LIMIT, PERSONS	18
SWIM LIMIT, PERSONS	153

PROJECT NOTES:

- HOSE BIBS MUST BE PROVIDED AROUND THE PERIMETER OF DECK AREA AT INTERVALS SUCH THAT ALL PARTS OF THE DECK CAN BE REACHED WITH ONE HUNDRED (100) FOOT HOSE BY G.C. SEE PLAN VIEW FOR HOSE BIB LOCATIONS.
- POOL NOT APPROVED FOR NIGHT SWIMMING.
- POOL NOT APPROVED FOR DIVING.
- G.C. IS TO PROVIDE APPROPRIATE SIGNAGE AND LOCATE AS STATED IN DHEC RULES AND REGULATIONS FOR PUBLIC SWIMMING POOLS - 61-51.
- NEW SWIMMING POOL IS TO BE BUILT ACCORDING TO SCDHEC PUBLIC SWIMMING POOL REGULATIONS 61-51.



5 DETAIL - FLOWMETER

Scale: NT6

SWIMMING POOL CONSTRUCTION DOCUMENTS
 Shelter Cove Apt. West #2
 ON HILTON HEAD ISLAND
 Hilton Head Island, South Carolina

Shelter Cove Apartments
 47 Shelter Cove Lane
 Hilton Head Island, SC 29928

DRAWN BY: MB
 CHECKED BY: FF

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#	REVISION	DATE	BY

DATE: 2/10/2016
 PROJECT NUMBER:

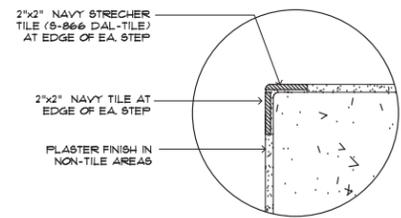
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SHEET NUMBER

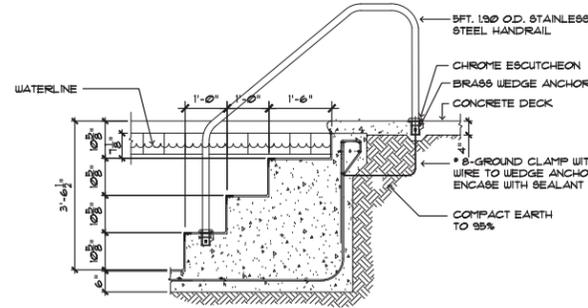
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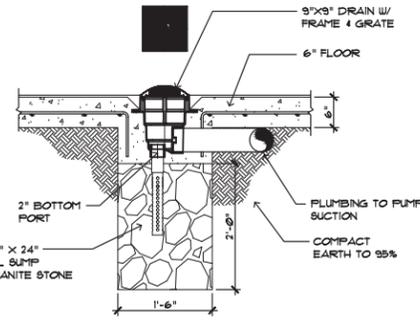
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 BLUFFTON, S.C. 29910
 843-837-7665
 843-757-3665



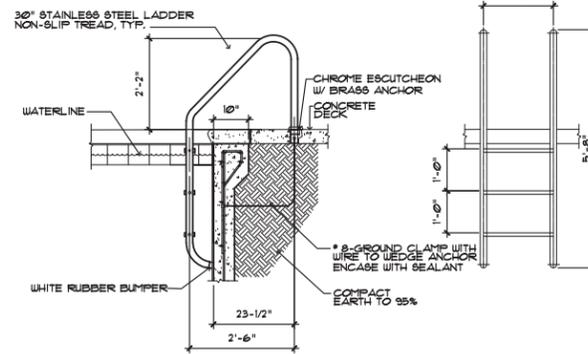
STEP/BENCH EDGE TILE DETAIL
N.T.S.



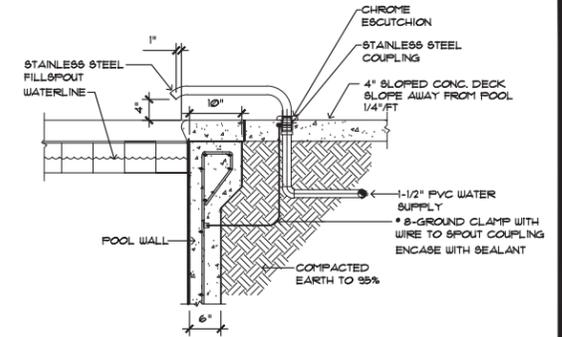
Scale: 1/2"=1'-0"



Scale: 3/4"=1'-0"



Scale: 1/2"=1'-0"



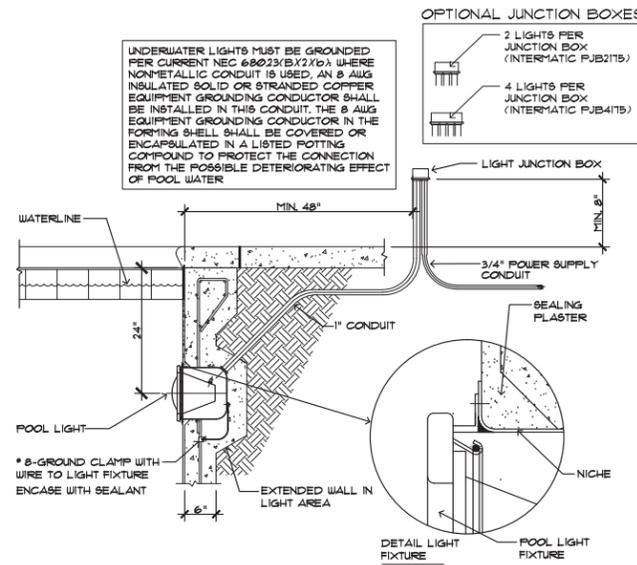
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1 DETAIL - ENTRY STEPS

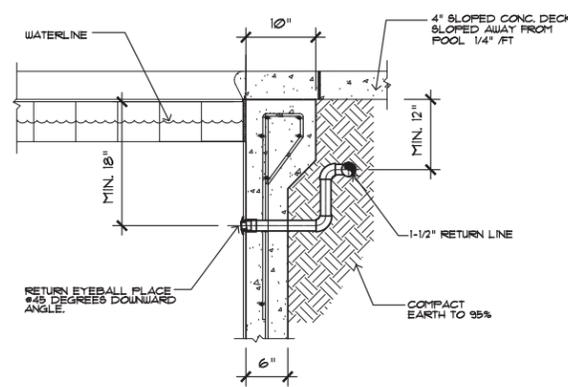
2 DETAIL - MAIN DRAINS

3 DETAIL - ENTRY LADDER

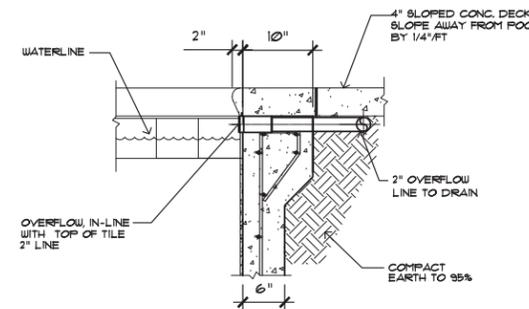
4 DETAIL - FILLSPOUT



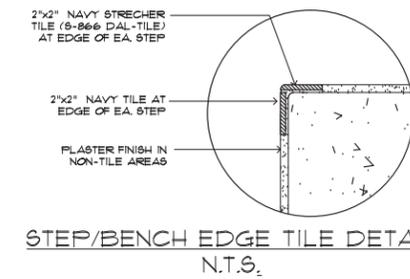
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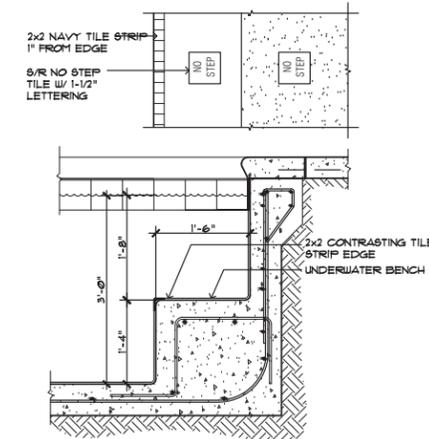
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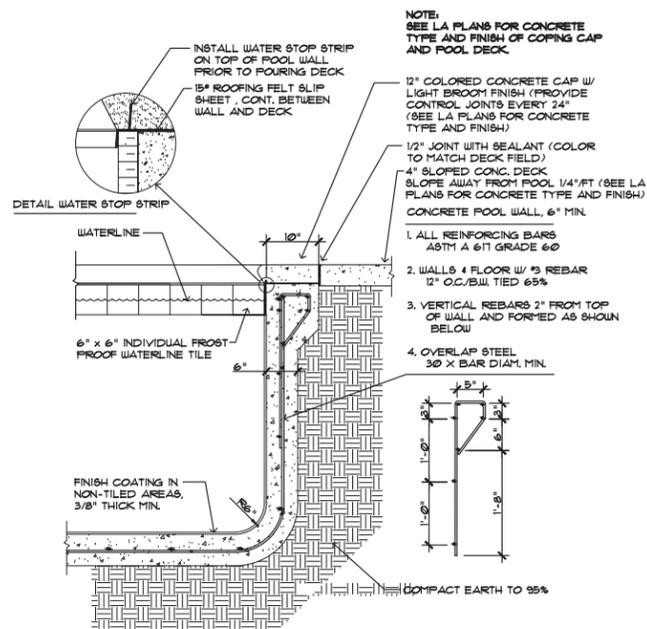
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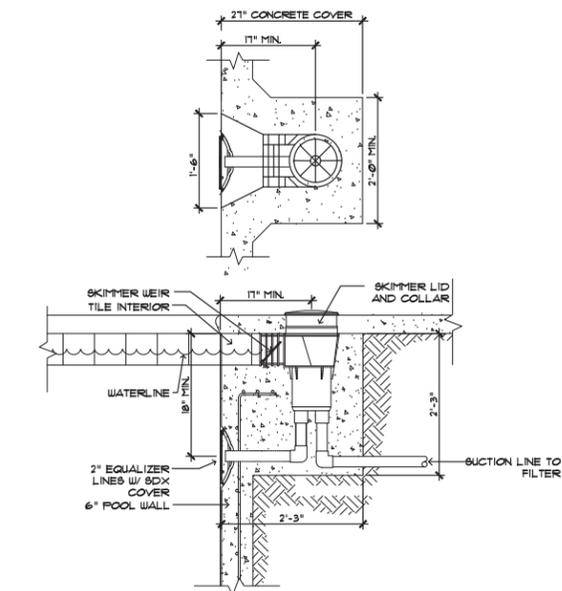
STEP/BENCH EDGE TILE DETAIL
N.T.S.



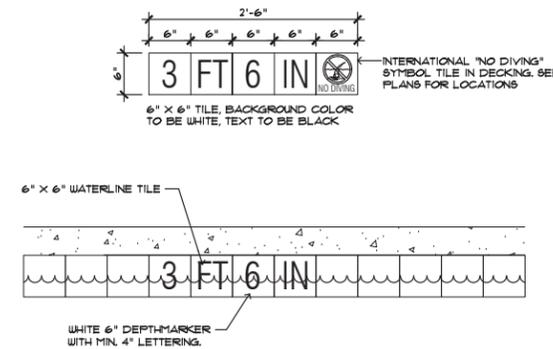
8 DETAIL - BENCH
Scale: 3/4"=1'-0"



Scale: 3/4"=1'-0"



Scale: 3/4"=1'-0"

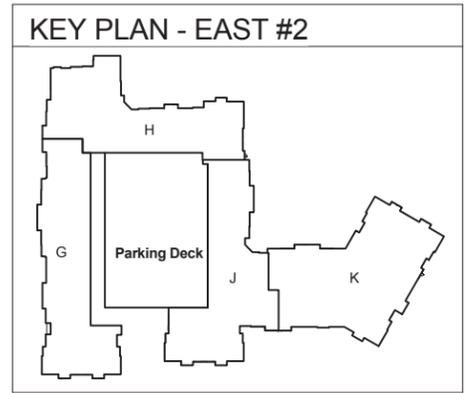


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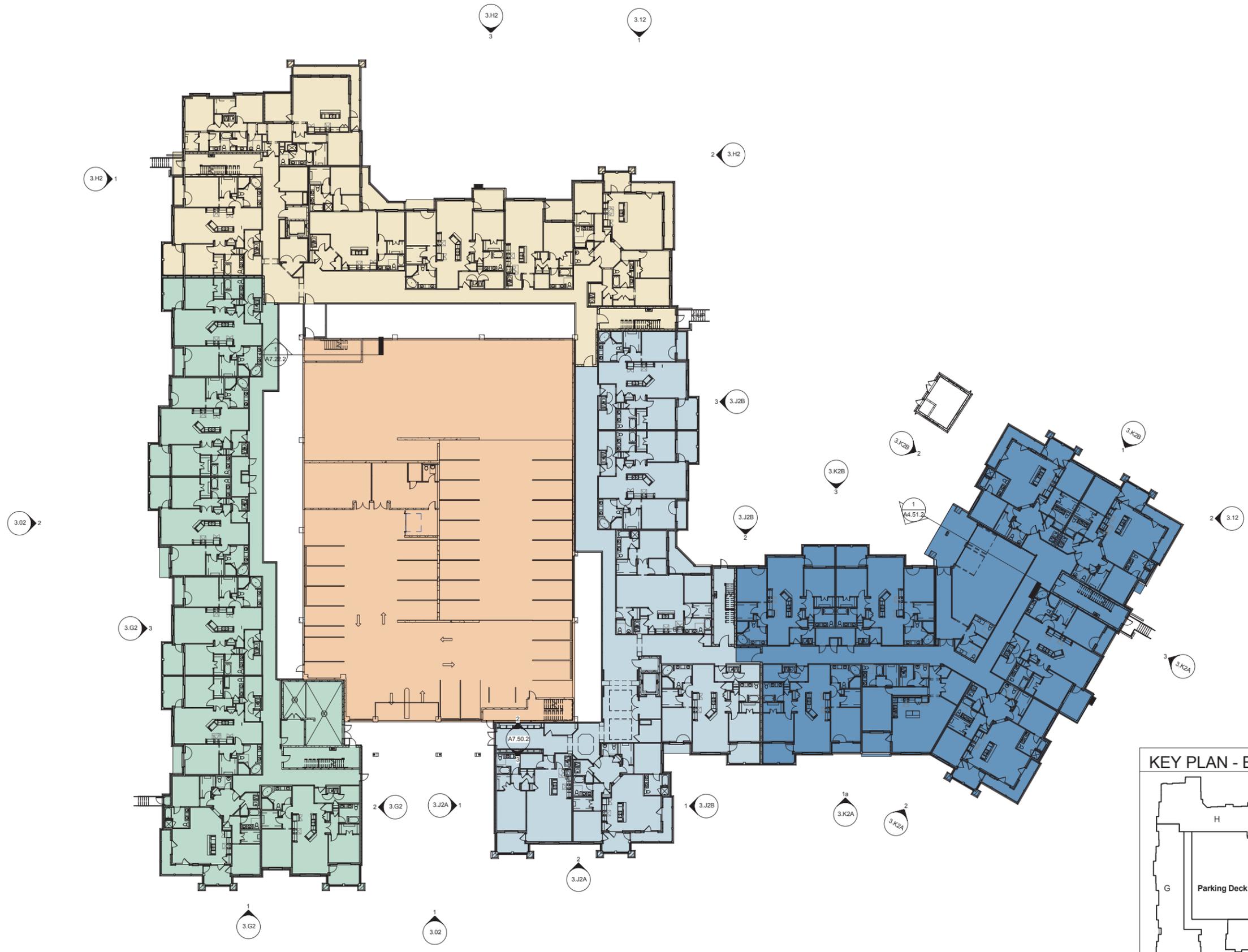
11 DETAIL - DEPTH MARKER

#	REVISION	DATE	BY

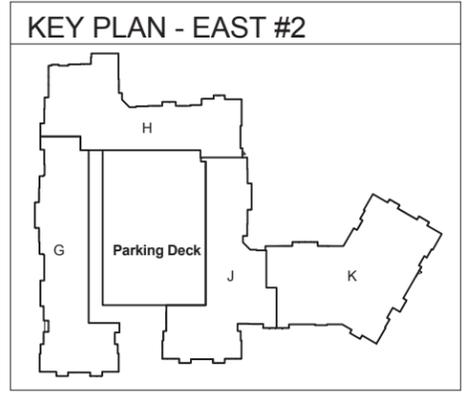
BLDG. COLOR LEGEND	
	BUILDING G
	BUILDING H
	BUILDING J
	BUILDING K
	PARKING DECK



1" = 30'-0"
1 EAST-02 SITE PLAN
2.02

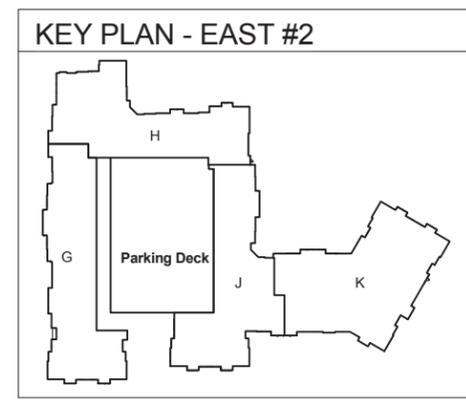
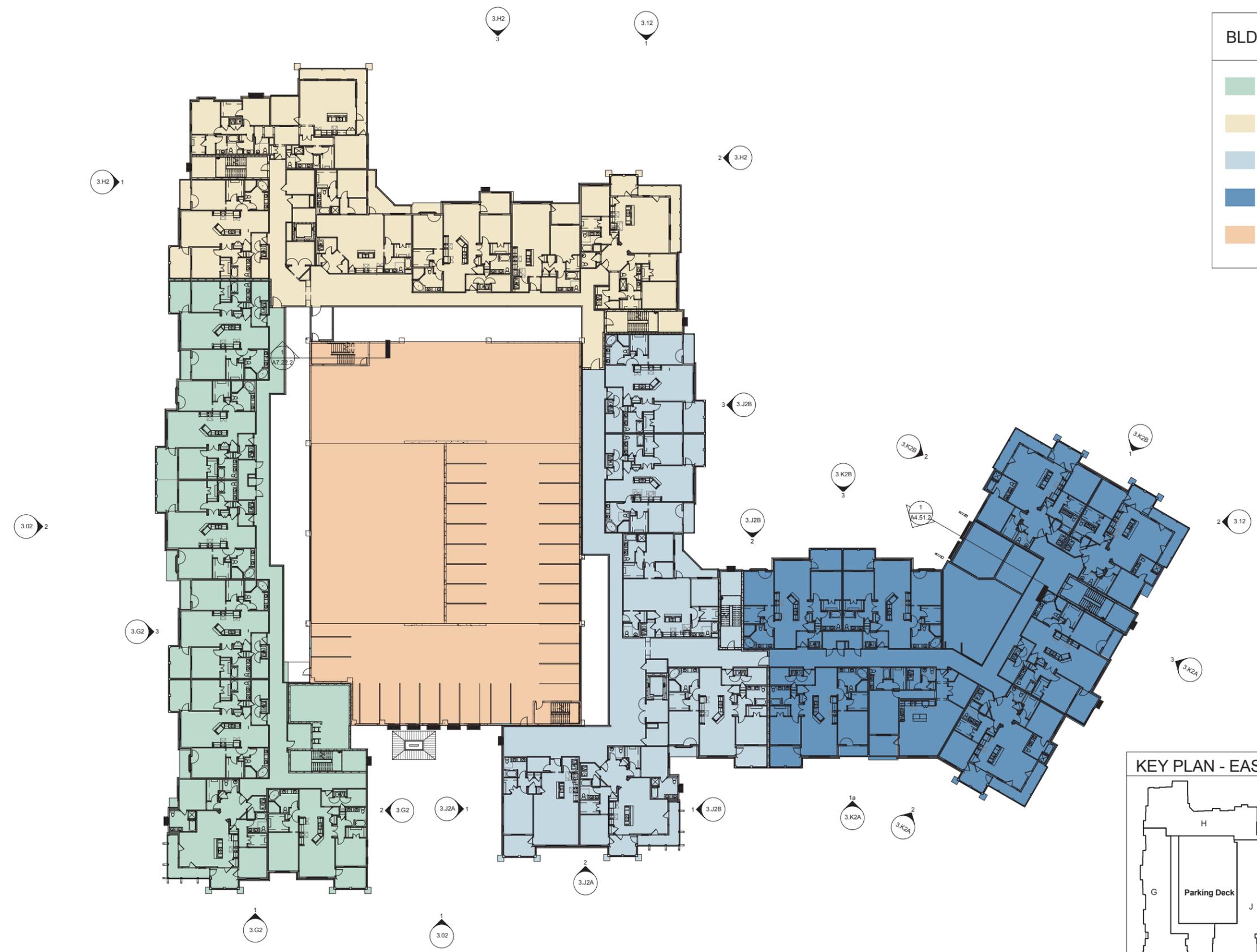


BLDG. COLOR LEGEND	
	BUILDING G
	BUILDING H
	BUILDING J
	BUILDING K
	PARKING DECK

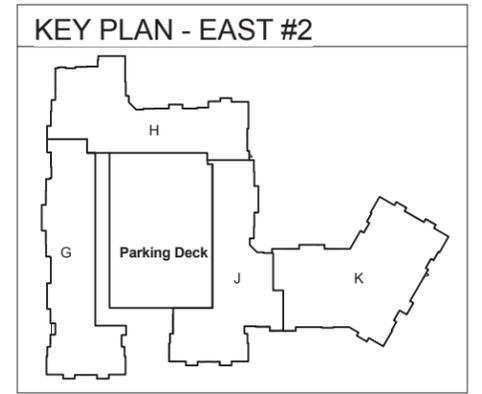
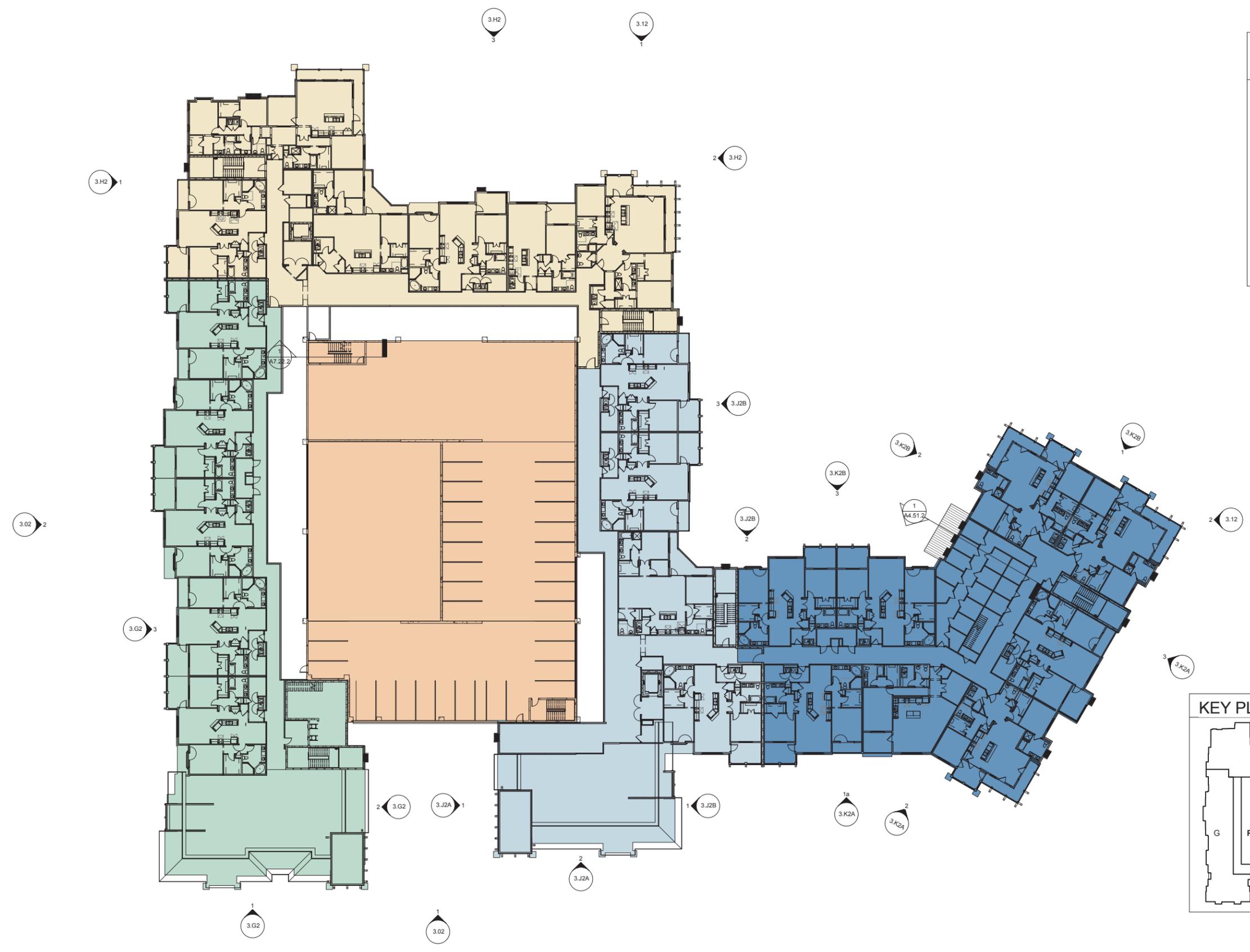


3/64" = 1'-0" 1 EAST-02 01 LEVEL PLAN
2.12

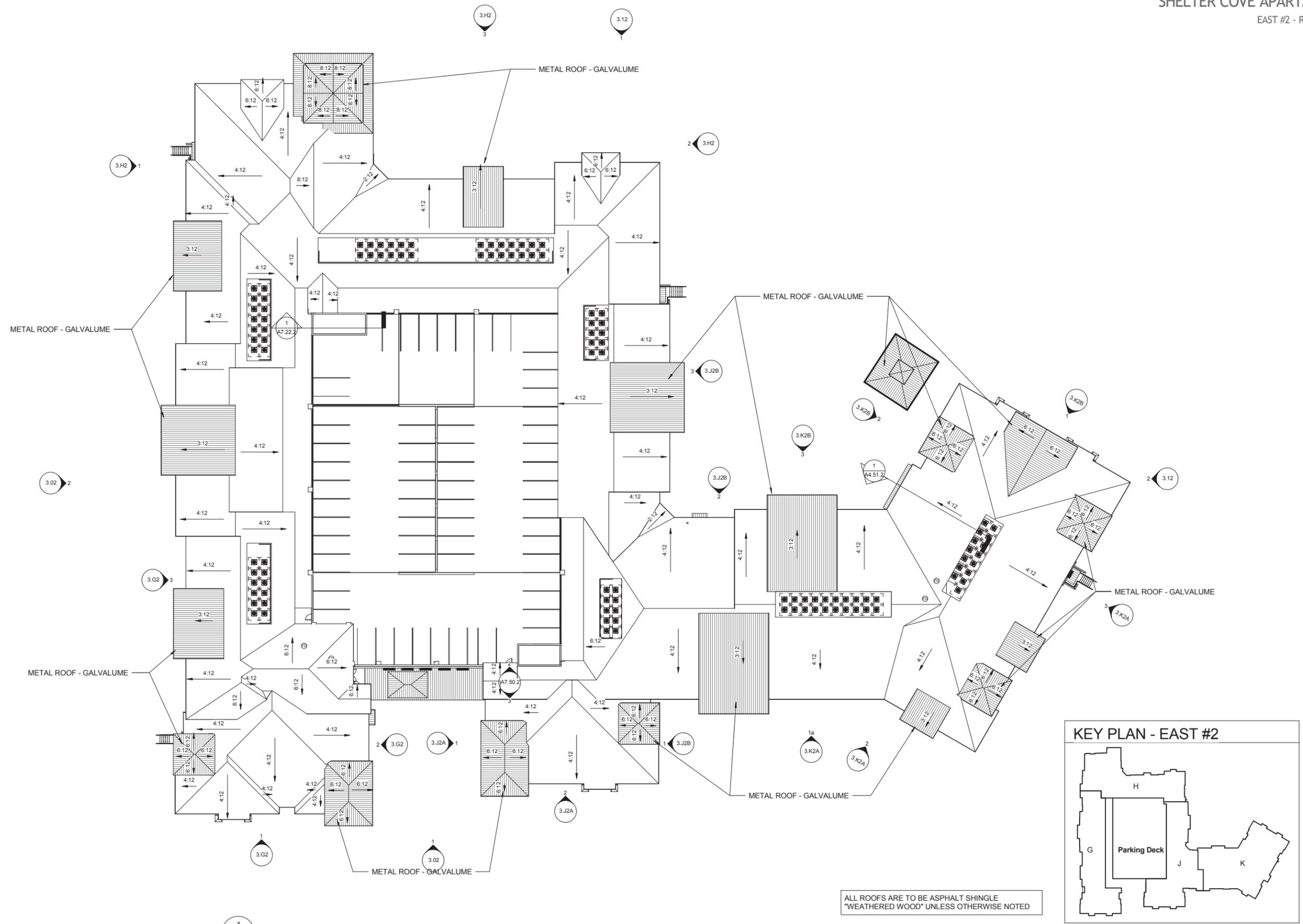
BLDG. COLOR LEGEND	
	BUILDING G
	BUILDING H
	BUILDING J
	BUILDING K
	PARKING DECK



BLDG. COLOR LEGEND	
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	BUILDING H
	BUILDING J
	BUILDING K
	PARKING DECK

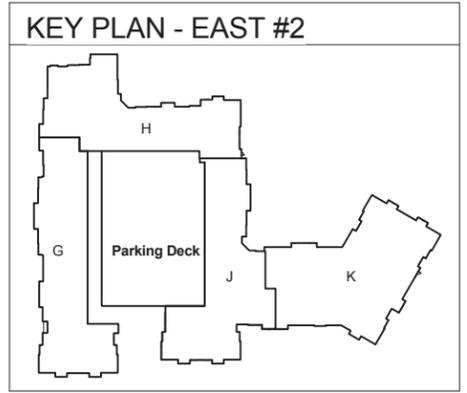


3/64" = 1'-0" 1 EAST-02 04 LEVEL PLAN 2.42



3/64" = 1'-0" 1 EAST-02 ROOF PLAN
2.52

ALL ROOFS ARE TO BE ASPHALT SHINGLE
"WEATHERED WOOD" UNLESS OTHERWISE NOTED





1/16" = 1'-0" 1 EAST 2 - OVERALL SOUTH ELEVATION
3.02



1/16" = 1'-0" 2 EAST 2 - OVERALL WEST ELEVATION
3.02



1/16" = 1'-0" 1 EAST 2 - OVERALL NORTH ELEVATION
3.12



1/16" = 1'-0" 2 EAST 2 - OVERALL EAST ELEVATION
3.12

COLOR LEGEND

	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" 1 EAST#2 - BLDG G - SOUTH
3.G2

1/8" = 1'-0" 2 EAST#2 - BLDG G - EAST
3.G2



1/8" = 1'-0" 3 EAST#2 - BLDG G - WEST
3.G2

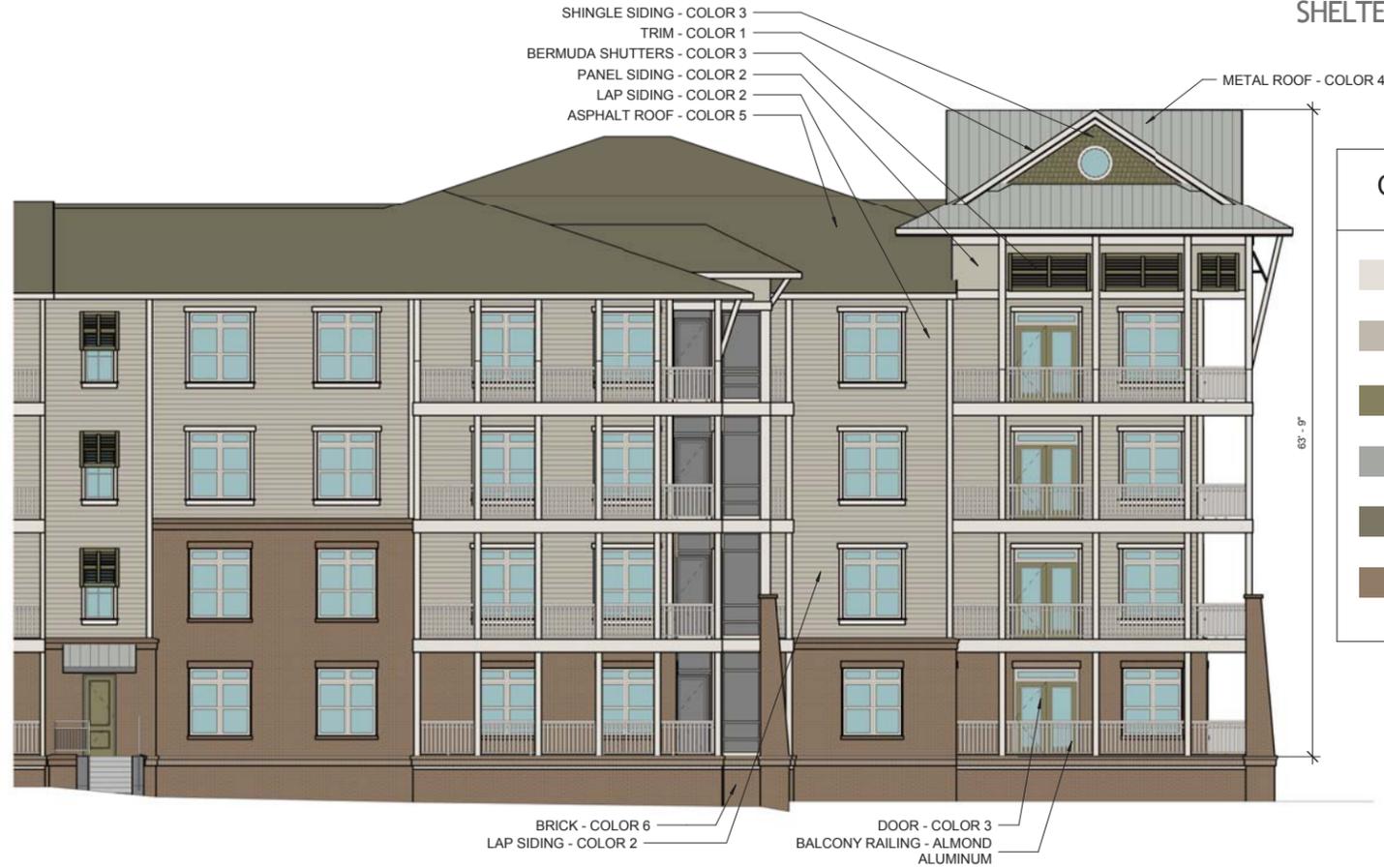
BRICK - COLOR 6
DOOR - COLOR 3

SHELTER COVE APARTMENTS

EAST #2 - BLDG H - ELEVATIONS



1 EAST#2 - BLDG H - WEST
3.H2



2 EAST#2 - BLDG H - EAST
3.H2

COLOR LEGEND

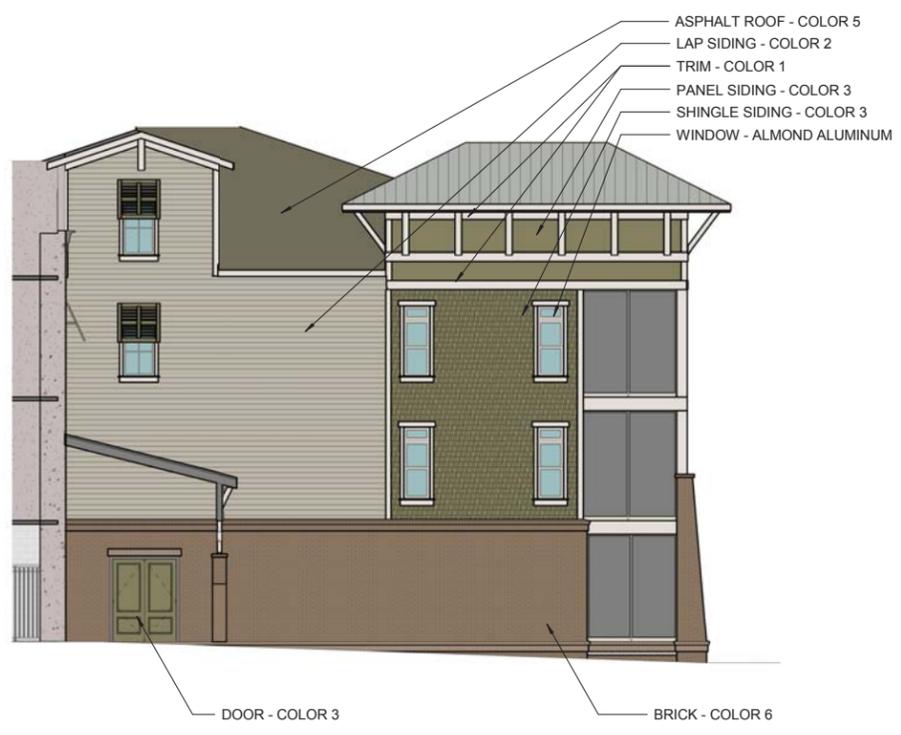
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	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



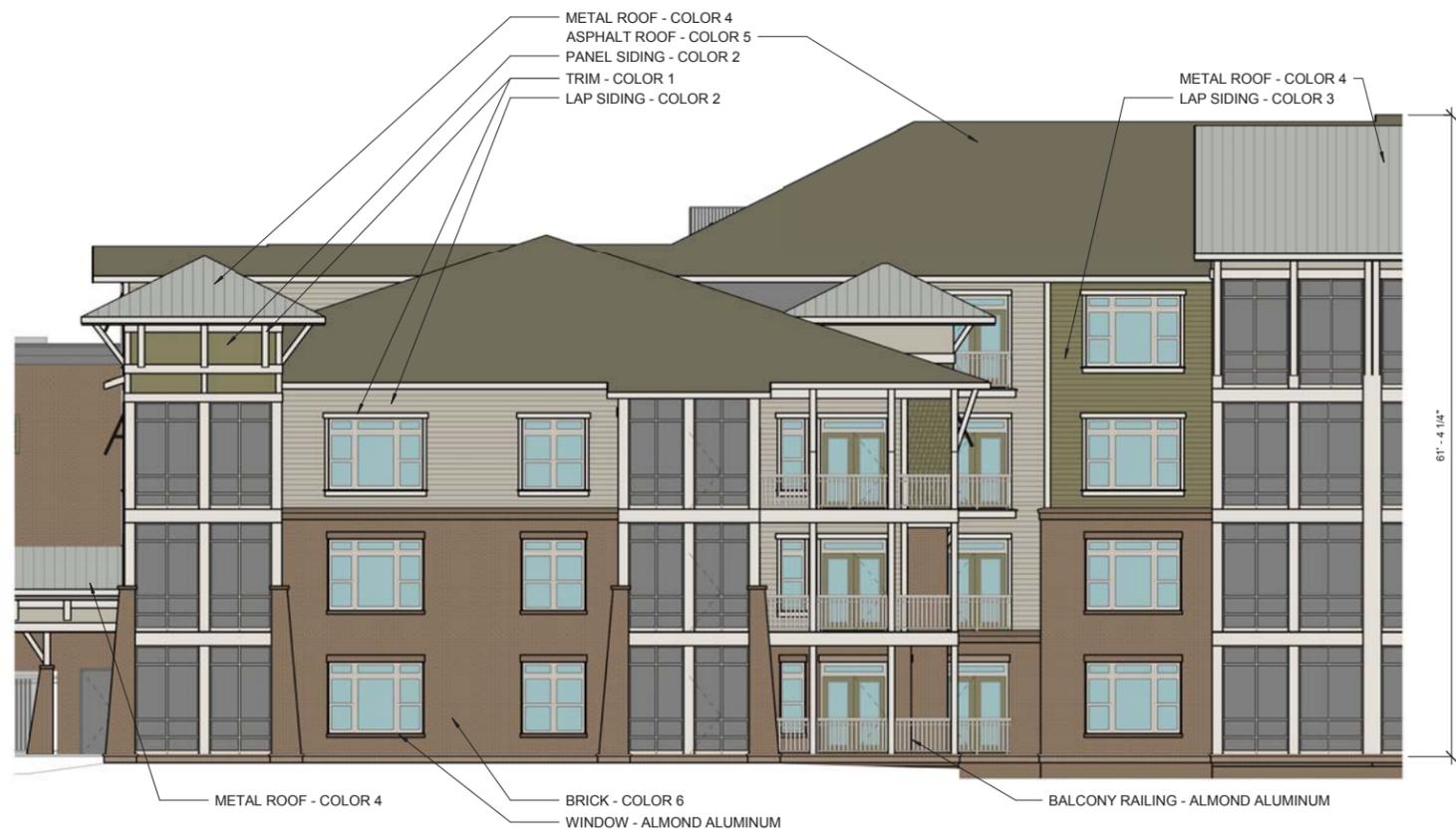
3 EAST#2 - BLDG H - NORTH
3.H2

COLOR LEGEND

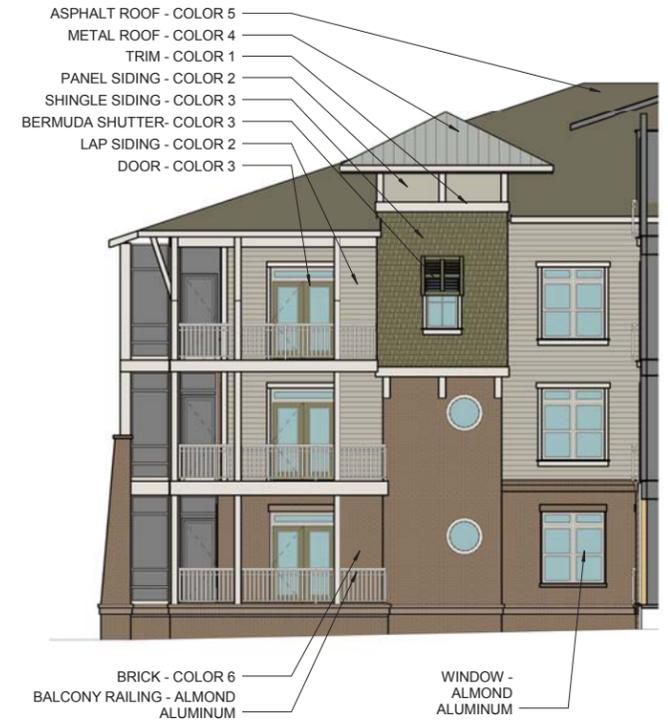
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	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" 1 EAST#2 - BLDG J - WEST
3.J2A



1/8" = 1'-0" 2 EAST#2 - BLDG J - SOUTH
3.J2A

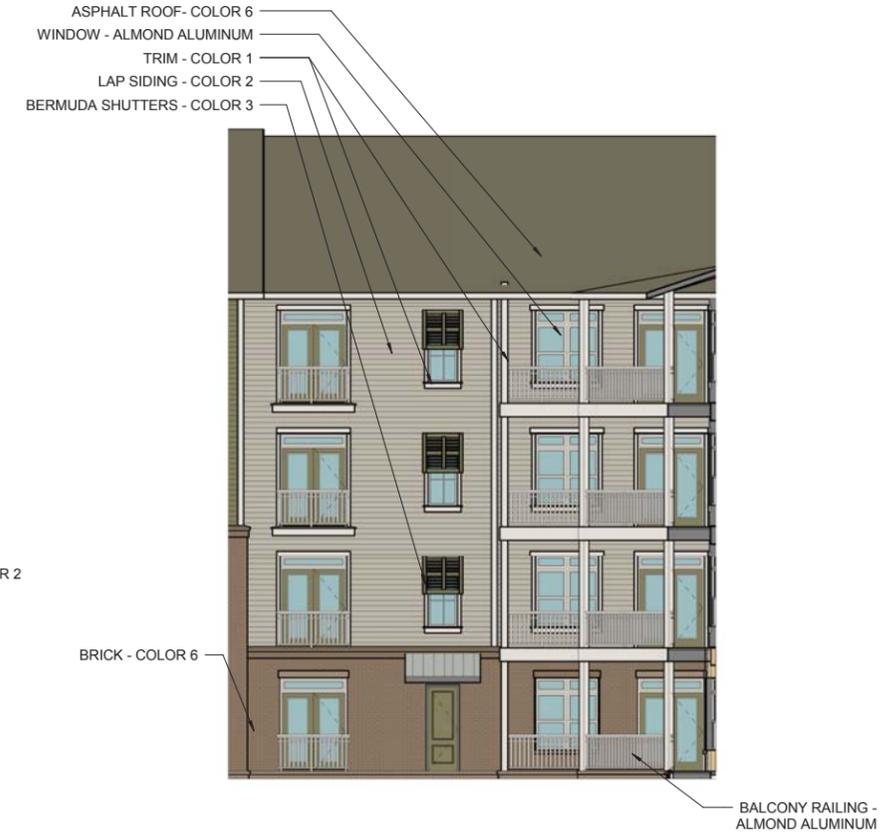


1/8" = 1'-0" 1 EAST#2 - BLDG J - EAST - ELEV. 2
3.J2B

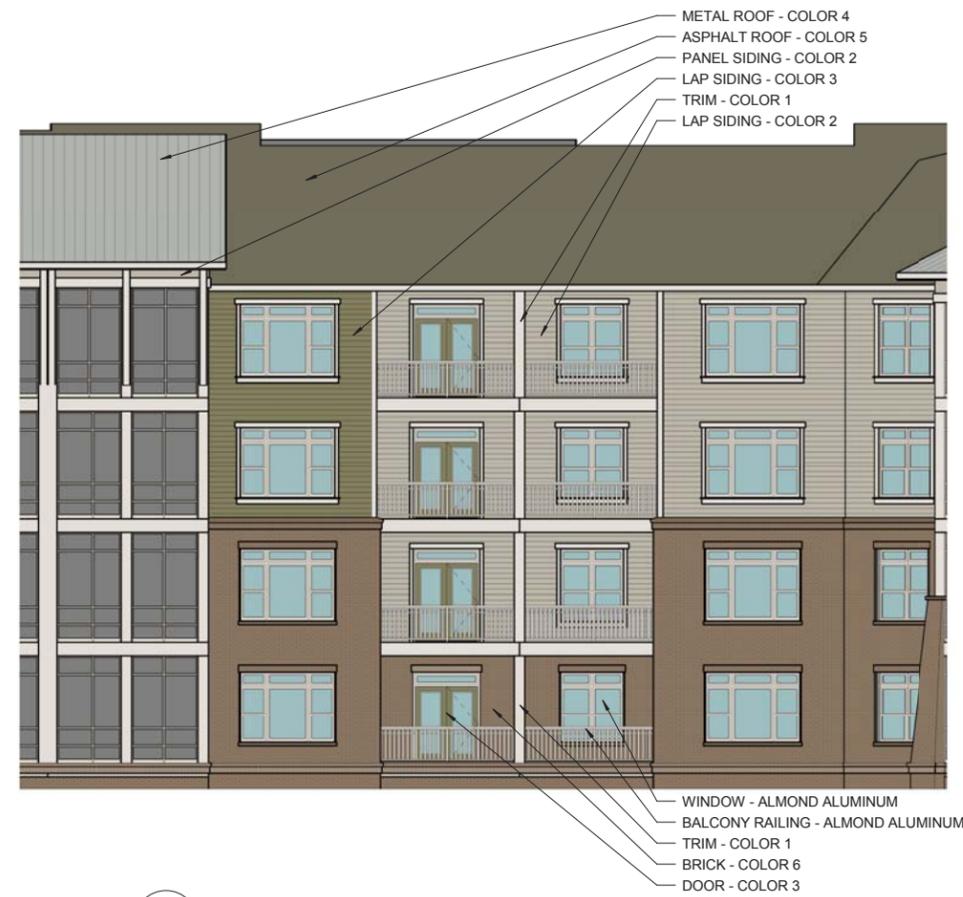
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	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" 3 EAST#2 - BLDG J - EAST - ELEV. 1
3.J2B



1/8" = 1'-0" 2 EAST#2 - BLDG J - NORTH
3.J2B



1/8" = 1'-0" **1a** EAST#2 - BLDG K - SOUTH
3.K2A



1/8" = 1'-0" **2** EAST#2 - BLDG K - SOUTHWEST
3.K2A

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" **3** EAST#2 - BLDG K - SOUTHEAST
3.K2A

COLOR LEGEND	
	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSSTOWN' WITH WHITE MORTAR



1/8" = 1'-0" 1 EAST#2 - BLDG K - NORTHEAST
3.K2B



1/8" = 1'-0" 2 EAST#2 - BLDG K - NORTHWEST
3.K2B



1/8" = 1'-0" 3 EAST#2 - BLDG K - NORTH
3.K2B

COLOR LEGEND

	COLOR 1 - TRIM SW 7028 - INCREDIBLE WHITE R:228, G:223, B:216
	COLOR 2 - SIDING SW 7030 - ANEW GRAY R:191, G:184, B:171
	COLOR 3 - SIDING & DOOR SW 7729 - EDAMAME R:132, G:128, B:96
	COLOR 4 - METAL ROOF GALVALUME
	COLOR 5 - ASPHALT ROOF TIMBERLINE - WEATHERED WOOD
	COLOR 6 - BRICK CHEROKEE BRICK 'MOSS TOWN' WITH WHITE MORTAR



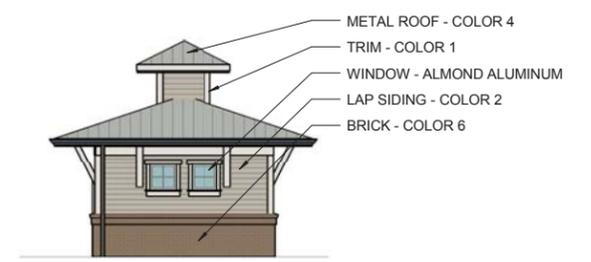
1/8" = 1'-0" 1 EAST 2 POOL HOUSE - ELEV. 1
3.L



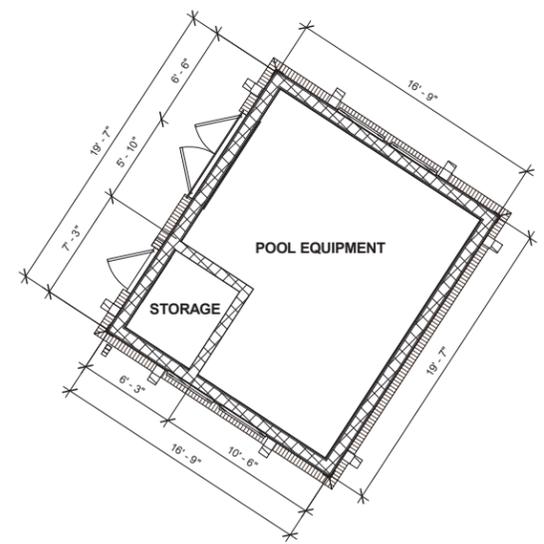
1/8" = 1'-0" 2 EAST 2 POOL HOUSE - ELEV. 2
3.L



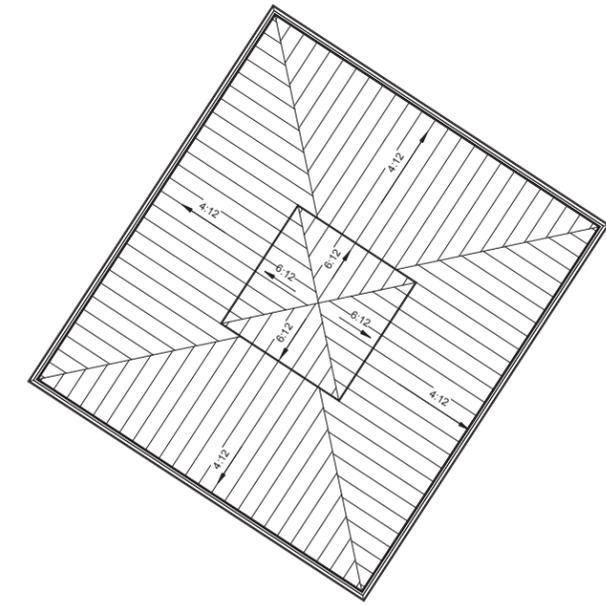
1/8" = 1'-0" 3 EAST 2 POOL HOUSE - ELEV. 3
3.L



1/8" = 1'-0" 4 EAST 2 POOL HOUSE - ELEV. 4
3.L



3/16" = 1'-0" 5 EAST-02 - POOL HOUSE PLAN
3.L



3/16" = 1'-0" 6 EAST-02 - POOL HOUSE ROOF PLAN
3.L

ORIGINAL SIZE 24x36

4/21/2016 12:16:20 PM C:\TEMP\113046_R16_ShelterCove_Cat1.rvt

PROJECT #: 113046.00
DRAWN BY: JC, RR, VM, EB
CHECKED BY: EG

NILES BOLTON ASSOCIATES

3060 Peachtree Rd. N.W.
Suite 600
Atlanta, GA 30305
T 404 365 7600
F 404 365 7610

www.nilesbolton.com

No.	Description	Date
DD SET / EAST 1		11/16/15
DRB SET / EAST 1		12/08/15
PERMIT SET / EAST 1		03/11/16
1	REVISION 1 - PERMIT COMMENTS / EAST 1	NOT ISSUED
DD SET / EAST 2		04/21/16
DRB SET / EAST 2		04/28/16

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

SHELTER COVE APARTMENTS
HILTON HEAD, SC

Southeastern

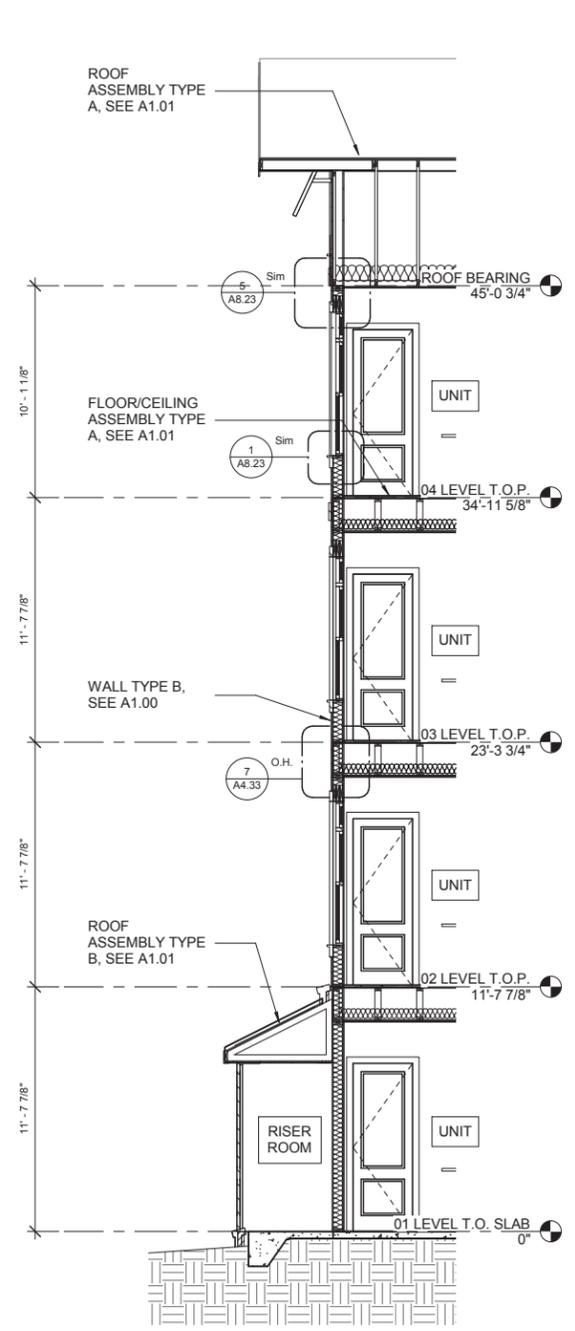
SHEET TITLE
SECTIONS - EXTERIOR WALL

SHEET NUMBER

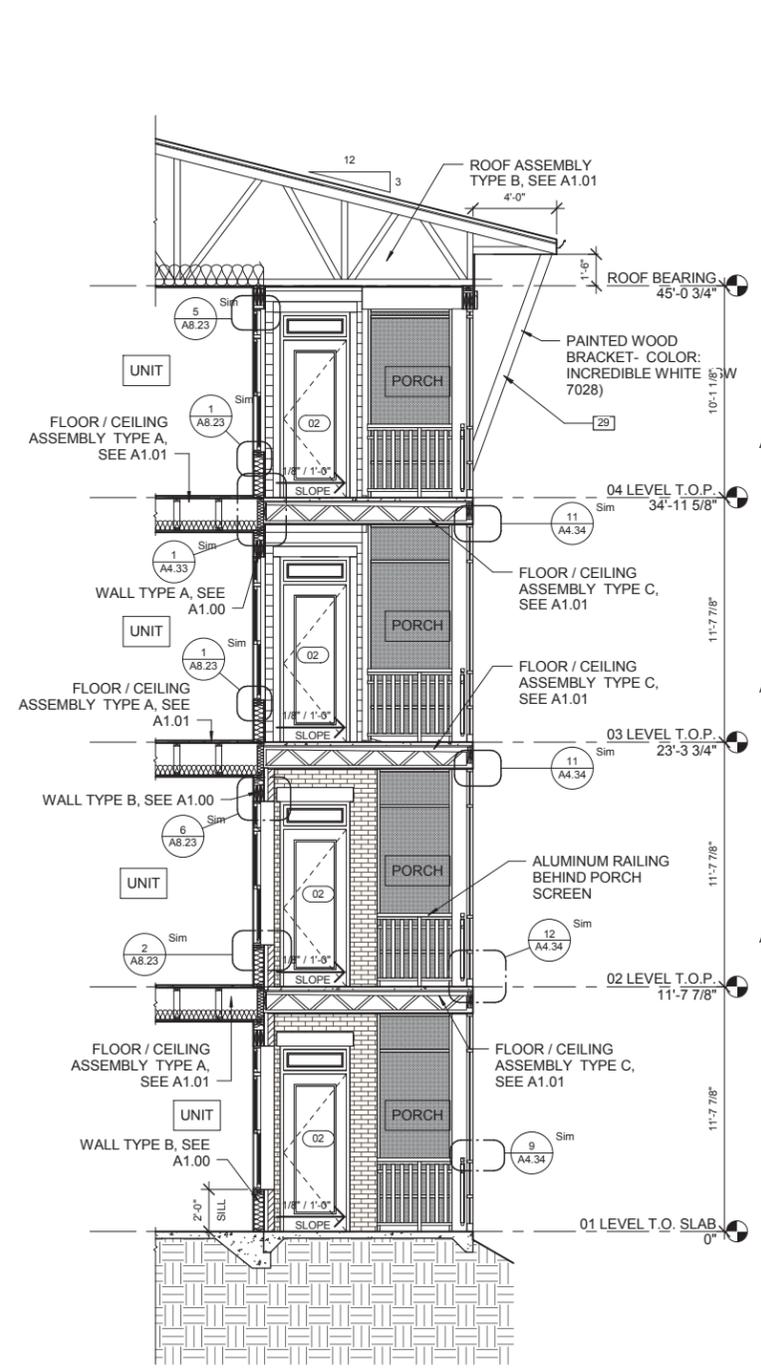
A4.20

1
03/11/16

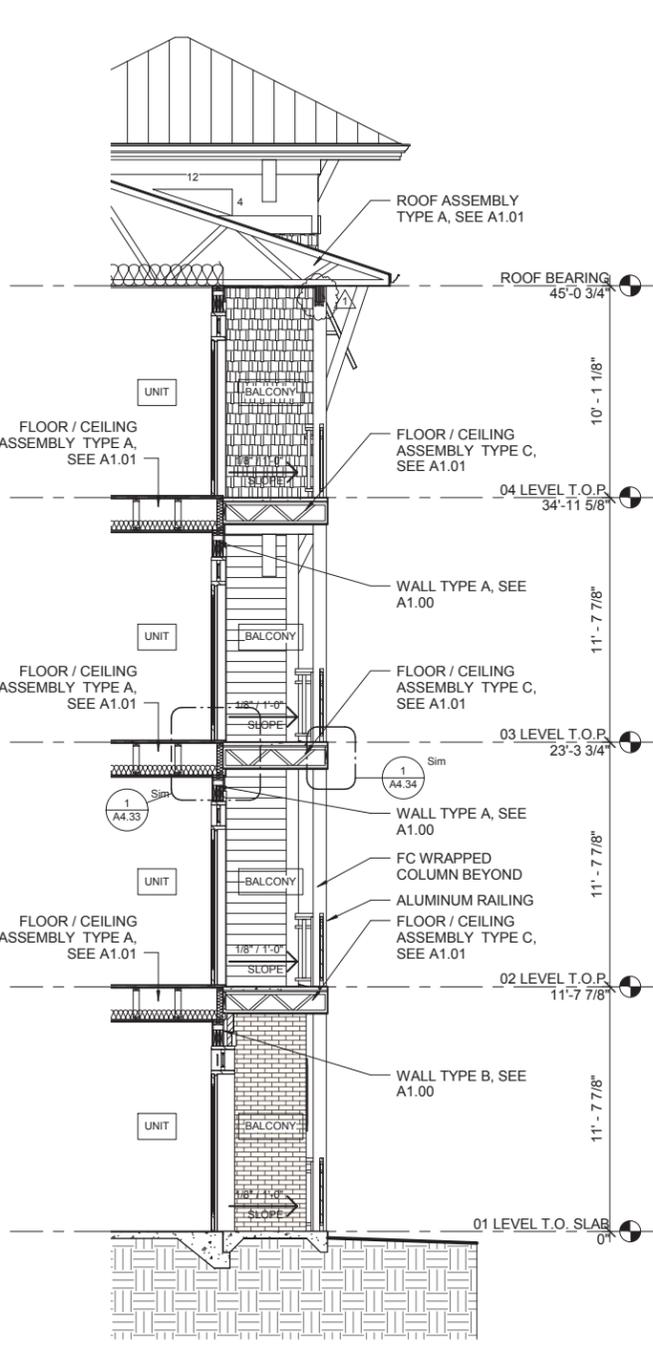
NOT RELEASED FOR CONSTRUCTION



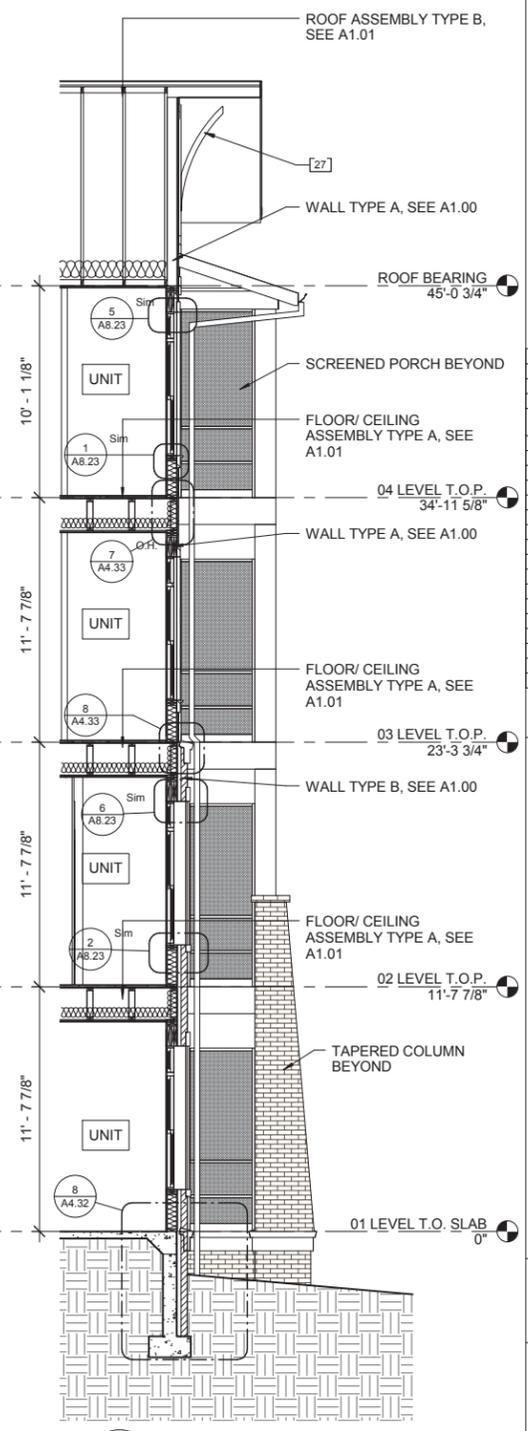
1/4" = 1'-0" 4 EXTERIOR WALL AT RISER ROOM
A4.20



1/4" = 1'-0" 1 TYP. B1 SCREEN PORCH SECTION
A4.20



1/4" = 1'-0" 3 TYP. B3 & C1 BALCONY WALL SECTION
A4.20



1/4" = 1'-0" 2 TYP. GABLE END SECTION @ B3 & C1
A4.20







SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

May 3, 2016

Trey Griffin
Wood and Partners Inc.
7 Lafayette Place
Hilton Head Island, SC 29925

Delivered via email

RE: SCTC Apartment Site 2 East

Dear Trey,

The Shelter Cove Company's ARB is in receipt of the proposal package for the above referenced project

The ARB has reviewed and approved the plan package received on 4/26/2016 from your office. The loading zones on SC Lane are also approved but the use of the loading zones as on-street parking is not.

Please notify the SCC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

John P. Betts
Manager

Cc: Mr. Scott Foster, Chairman
SCCARB Committee

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Apartments –
NEW DEVELOPMENT FINAL

DRB#: DRB-000800-2016

DATE: May 10, 2016

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building is 4-story with 4-story wrapped parking deck.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include brick, fiber cement siding, wood. Colors are muted. Consistent with East 1.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sections of 6/12, 4/12, and 3/12; consistent with East 1.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brick, siding, metal, wood, glass
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brackets, railings, shutters
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None shown.
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

appearance for visual interest and a sense of depth				
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

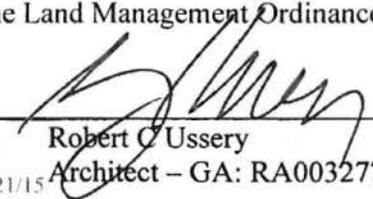
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE Robert C Ussery
 Architect – GA: RA003277

April 22, 2016

 DATE

Final DRB Narrative - Revisions

66 Pope Avenue Coral Sands-North

Coral Sands-North is a partially developed property located at 66 Pope Avenue, Hilton Head Island. At this time the completed structures at the site include the Club House, Pool Concession Building, Resort Pool, Maintenance Building, Lagoon and Two, 3 story 18 unit timeshare buildings. All parking and roads in front of the completed structures are also in place.

The applicant is proposing to alter the design of the last three timeshare buildings in the development. In addition to the building changes there will be minor roadway modifications. The architectural concept and design intent will remain as stated in the original narrative. The materials and color pallet will match the existing buildings. The final three buildings will be constructed one at a time in phases. Below is a summary of the proposed changes.

Previously Approved	Proposed Revisions
84-unit interval occupancy (timeshare)	156-unit interval occupancy (timeshare)
Five - 3 story residential buildings 18 & 15 unit timeshare buildings with 3 bedrooms, 2 baths, living, dining and kitchen areas	Two - 3 story residential buildings (existing) Three - 4 story residential buildings (proposed) 40 unit timeshare buildings with 1 bedroom, 1 bathroom, living, dining and kitchen areas
Zoning District: CFB	Zoning District per revised Map: RD
Allowable Density: 10.57 acres x 8= 84.56 units	Allowable density per revised LMO: 10.57 acres x 16 = 169.12 units allowed
Parking: 196 spaces required	Parking: 174 parking required - 193 spaces provided 2(18) unit 3 bedroom units: 36units x1.5=54 parking 3(40) unit 1 bedroom units: 120 units x1=120 parking
Lot Coverage: 55% maximum	Lot Coverage: 45.5% impervious cover proposed 50% max. impervious cover
Building Height: 45'-0" above B.F.E.	Building Height: – 55'-6" above B.F.E. proposed 75'-0" max. above B.F.E.
Open space: Minimum 20%	No longer a requirement for RD

Tree Preservation:

A small number of additional trees will be removed from the original approved development plan. Some of these trees are dead and the others are within the footprint of the proposed buildings or in the modified roadway footprint. Refer to the landscape plan for the revised Tree Protection Calculations.

Final DRB Narrative

60 Pope Avenue Re-development Coral Sands-North

Project Description:

The applicant is proposing to develop an 84-unit interval occupancy (timeshare) residential development on the 10.57-acre 60 Pope Ave Apartment site. This project, which is located at the corner of Pope Avenue and Cordillo Parkway, will be associated with the 41-unit Coral Sands Resort project that is under construction directly south and west of the subject site. The 41-unit project, which is referred to as Coral Sands-East and Coral Sands-West, received development approval by the Town in 2001. Coral Sands-East, which consists of 14 units, was completed last fall. Coral Sands-West, which consists of 27 units, is presently under construction. The applicant is proposing to demolish the six existing buildings on the site and utilize some of the existing infrastructure for the new development.

The Coral Sands-North project will consist of five, 3-story residential buildings, a 5,500 SF reception/ clubhouse/ check-in facility with administrative offices, a maintenance building (existing bldg.) and associated resort amenities such as a pool, playground, picnic area, walking trails and other recreation opportunities. The reception/ clubhouse/ check-in facility and the amenity/ recreational facilities for the proposed project are still in the developmental phase and will be presented to the DRB for review at a later date.

In order to encourage walking between the three resort properties, the Coral Sands-North project will be linked with the Coral Sands-East and West site by a walking path. In order to discourage people from surrounding properties to cut across the subject site, Springwood Villas, and the Town property located on the corner of Cordillo Parkway and Deallyon Ave, the applicant is proposing to add fencing at strategic places that will encourage pedestrians to utilize existing multi-use pathways that are located along Deallyon Ave, Cordillo Parkway, Pope Ave., and Nassau Street. Off-site fencing will be identical to what is being proposed along the perimeter of the subject site and will be presented to the DRB at a later date when additional base data and easement information is available.

Architectural Concept:

The architectural design intent of the project is to provide an environment that would be appealing for families who are looking for a place to vacation for a week or longer each year.

Each unit would have a full kitchens and baths for each bedroom along with ample living and dining areas. The units would be situated to provide exterior views overlooking planned landscaped areas or naturally wooded areas. In addition to the dwelling units the project will have a swimming pool and a club house that would provide recreation and leisure activities for children and adults.

The architectural styling will have a tropical feel to enhance the relaxed atmosphere of a vacation resort. This will be accomplished with a material and color pallet that will blend

with the natural setting and landscaping and an open air feeling to the buildings accomplished with outside walkways, atrium spaces, and balconies. The proposed site layout indicates units located in a combination of 18 and 15 unit 3 story buildings. Other site features include a pool activities area and a lagoon which will be a central landscape feature. The club house building situated off the Pope Avenue entrance will house a fitness center, children's activities areas, lounge, administration offices, and other support and amenity features. A porte cochere will highlight the entrance to these building and set the tone for the architectural styling for the project. The main entrance will feature circular drive with a fountain located at the center. This feature along with the porte cochere and club house will comprise the principal view of the project from Pope Avenue.

Zoning District:

CFB (8-residential units per acre)

Allowable Density:

10.57 acres x 8= **84.56 units**.

Parking

In accordance with the LMO, two parking spaces have been provided for each three-bedroom unit. One parking space was also provided for every 225 SF of check-in, reception, and office gross floor area. The following is a summary of the total parking required and provided for the proposed development:

- 875 SF Maintenance Building @ 1 space per 225 SF= 4 spaces
- 84 three bedroom units @ 2 spaces per unit= 84 x 2= 168 parking spaces required
- 5,500 SF of reception, check-in, and office space @ 1space per 225 SF
= 5,500/ 225= 24 parking spaces required
196 parking spaces required

196 parking spaces provided

Impervious Surface Coverage:

The proposed impervious surface coverage for the site will be substantially less than the 55% maximum impervious coverage allowed in the CFB zoning district.

Open Space:

The proposed open space for the site will be substantially higher than the 20% minimum open space required in the CFB zoning district.

Storm Water Management:

The applicant is proposing to create a lagoon in the central portion of the site on the site that will provide detention, water quality treatment, and aesthetic appeal to the proposed development.

Wetland Impact:

The applicant is proposing to fill three small isolated freshwater wetlands on the site to accommodate the proposed development. The applicant is also proposing to fill a small portion of a larger freshwater wetland on the site in order to accommodate a proposed road crossing. The total amount of proposed wetland fill is approximately 1,800 SF (0.04 AC).

Wetland permitting and mitigation will be provided in accordance to Town, State, and Federal law.

Tree Preservation:

A majority of the existing site is wooded. There are several larger specimen trees located on the site that the applicant intends to work around. In order to further preserve existing trees on the site, the applicant is proposing to locate buildings and parking on existing building pads and parking lots as part of his redevelopment effort. Where possible, existing trees have been incorporated into landscape medians and peninsulas within the parking lot.

Vehicle Access

The site will be accessed from the existing driveway along Pope Ave. The existing access drive along Cordillo Parkway will become an exit-only for the proposed development. Also, as a way to improve the traffic situation in this area, the applicant is working with the owners of the Circle Center shopping center to interconnect parking lots (please refer to the preliminary master plan for drive location).

Traffic Study:

The proposed development is below the trip generation threshold requiring a traffic study.

Underground Utilities

The applicant will provide water, sewer, and dry utility services to the development as required.

Maintenance Responsibilities

The owner will be responsible for maintaining the development in accordance with all Town requirements and guidelines.

FOREST BEACH OWNERS' ASSOCIATION, INC.

P O Box 6442

Hilton Head Island, SC 29938-6442

(843)785-5565 FAX (843) 342-3801

Email: FBAssn@aol.com

May 2, 2016

Hilton Head Island Development Co., LLC
P O Box 5521
Hilton Head Island, SC 29938-5521

Re: 66 Pope Avenue (CFB)
Commercial Building Permit
Permit #2016-06

Dear Sirs:

Thank you for your submission for architectural review for an addition to your Coral Sands project at the above location. We have issued a permit for construction at the above location. This permit is conditional upon the following:

- 1) Our review is based upon the documents, drawings, photos and narratives submitted to us by Ussery-Rule Architects, P.C. with an application date of 4/28/16.
- 2) Approval is based upon the stated use and occupancy in the submitted plans. Any change in use or occupancy will require a new review and possible changes to the approved parking plan as shown on the documents received.
- 3) Any changes to the submitted plans required by any department of the Town of Hilton Head Island must be re-submitted to the Association for review prior to adoption.
- 4) No exterior lighting, other than that shown on the submitted plans, is approved.
- 5) Approval of all exterior colors and finish materials along with the roofing material and color is given based upon the submitted plans to match existing buildings within the project. Any changes from the submitted colors, including options, must be made prior to installation and re-submitted for approval.
- 6) Any service areas and/or utilities serving the structure(s) must be screened from view of adjoining properties and roads.
- 7) All units that can be separated or locked out, must have independent electrical service panels within each unit that control that unit.
- 8) Nothing may be placed or constructed within the buffer areas except landscaping.
- 9) Tree removal is permitted based upon the submitted plan subject to the requirements of the Town of Hilton Head and any required mitigation.

Any changes/additions/modifications to the submitted and approved plans must be submitted to the FBOA ARB for review and approval before construction of the change/addition/modification is begun. Failure to do so may result in a covenant violation. Items not shown on the submitted plans are not approved and a separate application will be required. Upon the FBOA ARB's written notification of completion of work being performed under this permit a final inspection will be made. Approval for any work not completed at that time will expire and a new application for FBOA ARB approval will be required.

This letter constitutes your ARB Building Permit. We request that a copy of this be posted at the site, during construction, alongside the Town of Hilton Head Island Building Permit.

Please make a note of any additional items we require above. Failure to submit these documents for review prior to installation may cause a covenant violation and a delay in completing our review procedure.

Once construction has been completed, you must notify us in writing so that we may make a final inspection and close our file on this project.

Thank you for your submission, and, please do not hesitate contact us with any questions.

Sincerely,

John D. Snodgrass

John D. Snodgrass,
Executive Director

JDS:me

Cc: Robert C. Ussery
Jennifer Ray, Town of Hilton Head Island



CORAL SANDS RESORT ENTRANCE & CLUB HOUSE



CORAL STONE DETAIL



POOL HOUSE & POOL AREA



18-UNIT BUILDING "M"



BUILDING "H" ENTRY



18-UNIT BUILDING "H"

USSERY/RULE ARCHITECTS P.C.
1804-A FREDERICA ROAD
ST. SIMONS ISLAND, GA. 31522

Coral Sands North
HILTON HEAD ISLAND, SOUTH CAROLINA

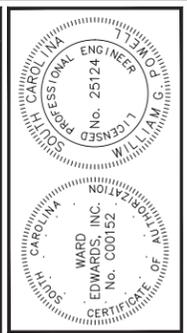
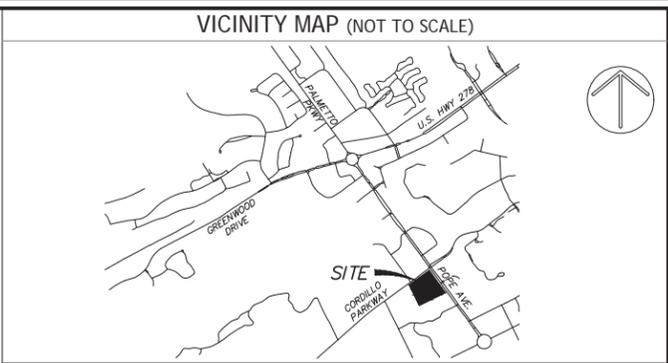
1418
DATE
4-26-16

EXISTING
BUILDING PHOTOS

2
of 7

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SITE DEVELOPMENT PLANS FOR CORAL SANDS RESORT, PHASES 5-7 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA



GENERAL NOTES:

- BOUNDARY INFORMATION TAKEN FROM ASBUILT, TREE & TOPOGRAPHIC SURVEY, DATED 4-12-16, BY ATLAS SURVEYING INC.
- TOPOGRAPHIC DATA PROVIDED BY ATLAS SURVEYING INC., DATED 4-12-16.
- APPROXIMATE LOCATION OF CERTAIN EXISTING UNDERGROUND UTILITY LINES AND STRUCTURES ARE SHOWN ON THE PLANS FOR INFORMATION ONLY. ADDITIONAL UNDERGROUND LINES OR STRUCTURES MAY EXIST THAT ARE NOT SHOWN. CALL PALMETTO UTILITY PROTECTION SERVICE AT 1-888-721-7877 BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THRU FRIDAY AT LEAST THREE WORKING DAYS BEFORE COMMENCING CONSTRUCTION. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND NEAR THE CONSTRUCTION SITE.
- COMPLY WITH SOUTH CAROLINA UNDERGROUND UTILITY DAMAGE PREVENTION ACT (S.C. CODE ANN. 58-35-10, CT-SEQ, SUPP. 1978). NOTIFICATION OF INTENT TO EXCAVATE MAY BE GIVEN BY CALLING THE TOLL FREE NUMBER: 1-800-922-0983.
- PROTECT BENCH MARKS AND PROPERTY MONUMENTS FROM DAMAGE DURING CONSTRUCTION OPERATIONS. REPLACE ANY BENCH MARKS OR MONUMENTS DAMAGED OR DESTROYED AS A RESULT OF CONTRACTOR'S OPERATIONS AT NO COST TO THE OWNER.
- OFF-STREET PARKING FOR THE CONTRACTOR'S EMPLOYEES AND AUTHORIZED VISITORS TO THE SITE MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO WEIGHT LIMITS PRESCRIBED FOR ALL PUBLIC ROADS WHEN HAULING EQUIPMENT AND MATERIALS TO AND FROM THE PROJECT SITE. DAMAGES TO EXISTING PAVEMENT DUE TO THE CONTRACTOR'S CONSTRUCTION OPERATIONS OR IMPROPER TRANSPORTATION OF MATERIALS AND EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- AT LEAST ONE DRIVING LANE ON PUBLIC ROADS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. TRAFFIC LANES WILL ONLY BE CLOSED WITH THE EXPRESS WRITTEN CONSENT OF THE AGENCY HAVING JURISDICTION OVER THE ROADWAY. NOTIFY AGENCY HAVING JURISDICTION AT LEAST 5 DAYS BEFORE CLOSING ANY DRIVING LANES TO TRAFFIC. PROVIDE TRAFFIC CONTROL DEVICES, SIGNS AND FLAGMEN AS REQUIRED TO ENSURE PUBLIC SAFETY.
- CONTRACTOR SHALL COORDINATE DEMOLITION, CLEARING AND CONSTRUCTION OF IMPROVEMENTS TO MINIMIZE INTERFERENCE WITH VEHICULAR AND PEDESTRIAN TRAFFIC AND WITH OPERATIONS OF EXISTING FACILITIES.

WATER AND SEWER LINE CONSTRUCTION:

- ALL WATER AND SEWER LINE CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND SOUTH ISLAND PUBLIC SERVICE DISTRICT AUTHORITY REQUIREMENTS, STANDARDS AND SPECIFICATIONS.
- SIPSD WILL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF ALL WATER AND SEWER SYSTEM CONSTRUCTION AND FOR ACCEPTANCE FOR OPERATION AND MAINTENANCE.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF ALL UTILITY OWNERS AND FOR FIELD VERIFICATION OF BOTH HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCING CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOTIFY THE PROJECT ENGINEER, IF CONFLICTS WITH EXISTING STRUCTURES REQUIRE THAT PROPOSED UTILITIES BE RELOCATED.
- THE CONTRACTOR MUST NOTIFY SIPSD FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION, INSPECTION OR TESTING OF THE WATER DISTRIBUTION SYSTEM.
- PIPE, FITTINGS, VALVES AND APPURTENANCES FOR WATER AND SEWER LINES SHALL ALL BE IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY TECHNICAL SPECIFICATIONS.
- INSTALLATION OF WATER AND SEWER LINES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL MECHANICAL RESTRAINTS ON ALL BENDS, PLUGS AND TEES, 2" OR LARGER, ON WATERLINES AND SANITARY SEWER FORCE MAINS.
- ALL WATER MAINS SHALL BE STERILIZED AND PRESSURE TESTED IN ACCORDANCE WITH SIPSD SPECIFICATIONS.
- SEPARATION OF WATER MAINS AND SEWERS:
 - PARALLEL INSTALLATION: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER MAINS AT LEAST 10'-FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER OR SANITARY SEWER FORCE MAIN, THE DISTANCE BEING MEASURED IN A HORIZONTAL PLANE BETWEEN THE OUTSIDE SURFACES OF THE PIPES.
 - CROSSINGS: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER LINES CROSSING SANITARY SEWERS OR SANITARY SEWER FORCE MAINS TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18-INCHES BETWEEN THE OUTSIDE SURFACES OF THE PIPES. THE WATER LINE IS ABOVE OR BELOW THE SANITARY SEWER LINE. WHENEVER POSSIBLE LOCATE THE WATER LINE ABOVE THE SEWER LINE. WHERE A NEW WATER LINE CROSSES A NEW SEWER LINE, PLACE A FULL LENGTH OF DUCTILE IRON PIPE FOR BOTH THE WATER AND THE SEWER LINE AT THE CROSSING WITH BOTH PIPES POSITIONED SO THAT THE JOINTS ON EACH ARE AS FAR AS POSSIBLE FROM THE POINT OF CROSSING. WHERE A NEW WATER LINE CROSSES AN EXISTING SEWER LINE, PLACE ONE FULL LENGTH OF DUCTILE IRON PIPE WATER LINE SO THAT THE JOINTS ARE AS FAR FROM THE POINT OF CROSSING AS POSSIBLE.
- THE CONTRACTOR SHALL CUT AND PATCH EXISTING PAVEMENT AS REQUIRED FOR THE INSTALLATION OF UTILITY LINES.
- SANITARY MANHOLE RIM GRADES SHOWN ARE APPROXIMATE. ADJUST RIM ELEVATIONS TO BE FLUSH WITH FINISHED GRADE.
- THE CONTRACTOR UNDER THIS CONTRACT SHALL NOT MAKE ANY CONNECTIONS TO THE EXISTING WATER OR SANITARY SEWER SYSTEMS UNLESS EXPRESSLY AUTHORIZED TO DO SO BY THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY. ALL WATER AND SEWER IMPROVEMENTS UNDER THIS CONTRACT MUST BE CONSTRUCTED COMPLETE, TESTED, INSPECTED AND APPROVED BY THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY BEFORE ANY AUTHORIZATION TO CONNECT WILL BE GIVEN. COORDINATION OF TESTING, INSPECTION AND CONNECTIONS WITH THE BEAUFORT-JASPER WATER AND SEWER AUTHORITY IS THE RESPONSIBILITY OF THE CONTRACTOR UNDER THIS CONTRACT.
- ALL WATER MAINS SHALL BE INSTALLED WITH THIRTY-SIX INCHES (36") MINIMUM COVER (FROM FINISHED GRADE). MAXIMUM DEPTH SHALL BE FIVE FEET (5"). WHERE WATER MAINS MAY CONFLICT WITH OTHER UTILITIES, THE WATER MAIN CROSSING SHALL BE CONSTRUCTED WITH DUCTILE IRON PIPE, MECHANICAL JOINT 45-DEG. BENDS AND MECHANICAL RESTRAINTS.

WORK ON SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY:

- COMPLY WITH ALL SPECIAL PROVISIONS CONTAINED IN THE DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT ISSUED FOR THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL WORK ON DOT RIGHTS-OF-WAY WITH THE DISTRICT ENGINEERING REPRESENTATIVES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A DOT APPROVED TRAFFIC CONTROL PLAN FOR SITE ACCESS AND FOR CONSTRUCTION ON DEPARTMENT OF TRANSPORTATION RIGHTS-OF-WAY. ALL TRAFFIC CONTROL PROVISIONS MUST COMPLY WITH DEPARTMENT OF TRANSPORTATION MINIMUM REQUIREMENTS, LIGHTS, SIGNS, FLAGMEN AND ALL OTHER TRAFFIC CONTROL DEVICES MUST CONFORM TO THE REQUIREMENTS CONTAINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PROVIDE ALL REGULATORY SIGNS, PAVEMENT STRIPING AND MARKINGS, AS REQUIRED BY THE SOUTH CAROLINA DOT DISTRICT ENGINEERING INSPECTOR. ALL SIGNS MUST CONFORM TO THE REQUIREMENTS CONTAINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND TO THE SOUTH CAROLINA DOT STANDARD DETAILS WITH RESPECT TO COLOR, SIZE, REFLECTIVITY, HEIGHT AND PLACEMENT.
- ALL PAVEMENT MARKINGS ON DOT RIGHTS-OF-WAY SHALL BE THERMOPLASTIC (125 MIL THICKNESS) AND MUST COMPLY WITH THE REQUIREMENTS IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. PLACEMENT SHALL BE IN ACCORDANCE WITH SOUTH CAROLINA DOT STANDARD DRAWINGS 603-3 AND 603-4, AS APPLICABLE.
- ALL PAVEMENT MARKINGS TO BE REMOVED MUST BE ERADICATED BY GRINDING.

TREE PROTECTION-HILTON HEAD ISLAND

- ONLY THOSE TREES APPROVED FOR REMOVAL IN ACCORDANCE WITH THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE AND SO DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS. ALL TREES NOT DESIGNATED ON THE PLANS FOR REMOVAL MUST BE PRESERVED.
- THE CONTRACTOR IS RESPONSIBLE FOR MARKING THE TREES DESIGNATED TO BE PRESERVED AND THOSE TO BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN CHAPTER 6, ARTICLE IV, SECTION 16-6-403 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- PRIOR TO COMMENCING ANY CLEARING OR CONSTRUCTION OPERATIONS ON THE SITE, THE CONTRACTOR SHALL ERECT TREE PROTECTION BARRIERS AROUND EACH TREE OR GROUP OF TREES DESIGNATED FOR PRESERVATION IN ACCORDANCE WITH THE DETAILS ON THE PLANS AND THE REQUIREMENTS CONTAINED IN CHAPTER 6, ARTICLE IV, SECTION 16-6-404 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
- A TREE PROTECTION ZONE SHALL BE ESTABLISHED IN ACCORDANCE WITH THE PROVISIONS CONTAINED IN CHAPTER 6, ARTICLE IV, SECTION 16-6-404 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE FOR EACH EXISTING TREE DESIGNATED FOR PRESERVATION. THE MINIMUM TREE PROTECTION ZONE SHALL BE A CIRCULAR AREA CENTERED ON THE TREE AND HAVING A RADIUS OF THE GREATER OF 5'-FT. OR ONE-HALF FOOT PER INCH DBH (DIAMETER AT BREAST HEIGHT). THE SIZE OR CONFIGURATION OF THE TREE PROTECTION ZONE MAY BE ADJUSTED AT THE DISCRETION OF THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR.
- THE AREA WITHIN THE TREE PROTECTION ZONE MUST REMAIN OPEN AND UNPAVED. NO CHANGE OF GRADE WILL BE ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT FOR A 2-INCH CUT OR 2-INCH FILL OF TOPSOIL, SOG OR MULCH. ANY ACTIVITY WITHIN THE TREE PROTECTION ZONE IS SUBJECT TO APPROVAL BY THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION ZONE:
 - PLACEMENT OR STORAGE OF ANY SOIL, DEBRIS, OILS, FUEL, PAINTS, BUILDING MATERIALS OR ANY OTHER MATERIALS.
 - BURNING.
 - VEHICLE PARKING.
 - PAVING.
 - TRENCHING FOR UTILITIES.
- WHERE UTILITY LINES MUST PASS THRU THE TREE PROTECTION ZONE, THEY SHALL BE INSTALLED BY HORIZONTAL BORING BENEATH THE ROOTS OF THE TREE.
- WHERE IT IS NECESSARY FOR MACHINERY AND EQUIPMENT TO PASS WITHIN THE TREE PROTECTION ZONE, APPROVAL MUST BE OBTAINED FROM THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. SPECIAL MEASURES WILL BE REQUIRED TO PROTECT THE ROOTS FROM EXCESSIVE COMPACTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING A STAKING INSPECTION WITH THE TOWN OF HILTON HEAD ISLAND PRIOR TO CLEARING. THE FOLLOWING MUST BE COMPLETED BEFORE THE INSPECTION:
 - ALL BUILDING EDGES, SIDEWALKS, PAVED AREAS AND UTILITY LINES STAKED.
 - TREE PROTECTION BARRIERS INSTALLED.
 - TREES TO BE PRESERVED MARKED WITH BLUE FLAGGING AND THOSE TO BE REMOVED MARKED WITH RED FLAGGING.
 - ALL SILT FENCE INSTALLED PER THE APPROVED PLAN.

SITE GRADING AND DRAINAGE:

- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 72-HOUR NOTICE TO ALL RESPECTIVE UTILITY COMPANIES FOR FIELD VERIFICATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SEQUENCING AND CONSTRUCTION TECHNIQUES SHALL PREVENT OBSTRUCTION OF STORM SEWERS, PONDING IN TRAFFIC AREAS OR RISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
- FULL WIDTH OF STREET AND ROAD RIGHTS-OF-WAY MUST BE CLEARED AND GRADED AS SHOWN IN THE DETAILS ON THE DRAWINGS.
- SUBGRADE PREPARATION: TOP SOIL SHALL BE REMOVED FROM PAVED AREAS TO A MINIMUM DEPTH OF 4". ALL EXCAVATION SHALL BE TO SUBGRADE LIMITS.
- ALL UTILITY PIPE LINES, CONDUITS AND SLEEVES UNDER PAVED AREAS MUST BE IN PLACE PRIOR TO COMPLETION OF THE ROADWAY SUBGRADE COMPACTION.
- FINISH GRADING SHALL INCLUDE THE PLACEMENT OF TOPSOIL OVER ALL UNPAVED AREAS NOT OCCUPIED BY BUILDINGS OR STRUCTURES AND FINE GRADING AROUND BUILDINGS, ADJACENT TO WALKS, CURBS, GUTTERS AND STRUCTURES TO ASSURE POSITIVE DRAINAGE.

SDCHEC/OCRM SEDIMENT AND EROSION CONTROL STANDARD NOTES (REVISED DEC-2012):

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SOIL DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCRT100000.
- TEMPORARY DIVERSION DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE MAINTAINED IN ALL AREAS WHERE A 50'-FOOT BUFFER CAN BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10'-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING BUSINESS HOURS FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM CONCRETE AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM Dewatering of TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

DRY UTILITY CONDUITS FOR ELECTRIC, TELEPHONE AND CABLE TV:

- ALL DRY UTILITY CONDUIT ENDS SHALL BE CAPPED AND MARKED WITH A STEEL REBAR STAKE IMBEDDED ONE (1) FOOT BELOW GROUND SURFACE.
- MINIMUM DEPTH FOR ALL ELECTRIC CONDUITS.
- MAINTAIN MINIMUM 12" VERTICAL CLEARANCE WHEN CROSSING WATER, SEWER, AND STORM DRAIN LINES.
- MAINTAIN MINIMUM 18" HORIZONTAL CLEARANCE WHEN PARALLELING WATER, SEWER AND STORM DRAIN LINES.
- EXTEND CONDUIT BEHIND AND ABOVE CURBS AND SIDEWALKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS. REFER TO APPROVED BUILDING PLANS FOR THE EXACT LOCATION OF ALL SERVICE CONNECTIONS. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARDS TO THE INSTALLATION OF UTILITIES AND CONDUIT.
- LOCATIONS SHOWN ON THE PLANS FOR PROPOSED DRY UTILITY CONDUITS ARE APPROXIMATE ONLY. ALL DIMENSIONING AND STAKING SHOULD BE BASED ON ECONOMIC AND PRACTICAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE RESPECTIVE UTILITY REPRESENTATIVES. PRIOR TO ANY CONDUIT INSTALLATION.
- TRANSFORMER PADS SHALL BE LOCATED AS DIRECTED BY THE RESPECTIVE UTILITY REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.
- NOTIFY THE ENGINEER IF CONFLICTS WITH EXISTING OR PROPOSED STRUCTURES REQUIRE THAT PROPOSED UTILITIES BE RELOCATED.

SITE CLEARING AND DEMOLITION:

- NO CLEARING SHALL OCCUR WITHIN DESIGNATED BUFFER ZONES, TREE PROTECTION ZONES, OUTSIDE OF THE PROPERTY LINES OR BEYOND THE CLEARING LIMITS UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS.
- ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS.
- THE CONTRACTOR SHALL INSTALL A CONTINUOUS LINE OF FLAGGING OR FENCING ALONG THE LIMITS OF CLEARING PRIOR TO COMMENCING ANY CLEARING, DEMOLITION OR CONSTRUCTION WORK ON THE PROJECT.
- EXERCISE CAUTION DURING CLEARING OPERATIONS TO AVOID FELLING TREES INTO DESIGNATED TREE PROTECTION ZONES.
- NO BURNING WILL BE ALLOWED WITHIN THE TREE PROTECTION ZONE OR TREE DRIP LINE.
- SELECTIVE CLEARING AREAS SHALL BE CLEARED OF ALL BRUSH AND UNDERSTORY GROWTH.

UTILITY CONTACTS:

Palmetto Electric SCE&G	843-208-5512	1 Cooperative Way, Hordeville, SC 29927
	843-815-8808	81 May River Road, Bluffton, SC 29910
BWSA Broad Creek PSD South Island PSD	843-987-9292	6 Snake Road, Okatie, SC 29909
	843-785-7582	PO Box 5878, Hilton Head, SC 29938
	843-785-6224	PO Box 5148, Hilton Head, SC 29938
	843-681-5525	PO Box 2154, Hilton Head, SC 29925
Hangry Communications Time Warner Cable	843-815-1675	PO Box 3380, Bluffton, SC 29910
	843-913-7940	11 Office Park Road, Hilton Head, SC 29928
Century Link	843-525-0044	2127 Boundary St #16, Beaufort, SC 29902
Santee Cooper	843-761-8000	1 Riverwood Drive, Moncks Corner, SC 29461

MUNICIPALITY INFORMATION

Town of Bluffton	843-706-450020	Bridge Street, Bluffton, SC 29910
Town of Hilton Head	843-341-4600	One Town Center Ct., Hilton Head Island, SC 29928
City of Beaufort	843-525-70701911	Boundary St., Beaufort, SC 29902
Town of Port Royal	843-886-2211	700 Parks Ave., Port Royal, SC 29935
City of Hordeville	843-784-2231	205 E. Main St., Hordeville, SC 29927
Town of Ridgeland	843-728-7700	Town Square, Ridgeland, SC 29936
Beaufort County	843-255-2000100	Reboil Road, Beaufort, SC 29901
Jasper County	843-717-3650	358 Third Ave., Ridgeland, SC 29936

PROJECT DATA

DEVELOPER:
 ELITE RESORT GROUP, INC.
 ADDRESS:
 CITY, STATE ZIP
24 HOUR CONTACT:
 DEAN PIERCE
 843-785-1000
 DPIERCE@RGH.COM

PROJECT LOCATION:
 JURISDICTION:
 TOWN OF HILTON HEAD ISLAND
 TAX MAP:
 R553 018 000 0065 0000
 STREET ADDRESS:
 66 POPE AVENUE, HILTON HEAD ISLAND, SC
 PROPERTY OWNER OF RECORD:
 HILTON HEAD ISLAND DEVELOPMENT CO LLC
 FEMA FLOOD ZONE / PANEL:
 ZONE A-7 / COMMUNITY NO. 450250, PANEL 13-D, DATED: 09/29/86

APPROXIMATE LOCATION OF SITE:
 ON POPE AVENUE BETWEEN SEA PINES CIRCLE AND COLONY CIRCLE

LATITUDE / LONGITUDE:
 N 32° 08' 48"
 W 80° 45' 26"

PROJECT AREA SUMMARY

ZONING DISTRICT: CFB - CENTRAL FOREST BEACH DISTRICT

SITE AREA SUMMARY:
 BLD 1 = ±10,580 SF (PHASE 5)
 BLD 2 = ±10,750 SF (PHASE 6)
 BLD 3 = ±10,580 SF (PHASE 7)
 ±0.73 ACRES (TOTAL)

IMPERVIOUS COVERAGE:
 TOTAL IMPERVIOUS COVERAGE (45.5%)

PARKING SUMMARY:
 STANDARD SPACES 193 SPACES
 (174 REQUIRED)

SCHEDULE OF DRAWINGS

SHEET NO.	DESCRIPTION
C001	COVER SHEET & CONSTRUCTION NOTES
C002	OVERALL SITE PLAN
C003	PHASING PLAN
C101-C102	EXISTING CONDITIONS PLANS
C201-C202	EROSION CONTROL PLANS
C301-C302	CLEARING & DEMOLITION PLANS
C401-C402	SITE LAYOUT & UTILITY PLANS
C501-C502	GRADING & DRAINAGE PLANS
C601-C602	PAVING, SIGNAGE & PAVEMENT MARKING PLANS
C701-C704	CONSTRUCTION DETAILS

RELEASE SCHEDULE

RELEASE NO.	DESCRIPTION	DATE
A.		

SEQUENCE OF CONSTRUCTION ACTIVITIES PROJECT PHASING

- ESTIMATED START DATE: 06-2016 ESTIMATED COMPLETION DATE: 12-2017
- ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.
- RECEIVE NPDES COVERAGE FROM DHEC.
 - NOTIFY DHEC EOC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
 - INSTALLATION OF CONSTRUCTION ENTRANCE(S).
 - CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
 - INSTALLATION OF PERIMETER CONTROLS (E.G. SILT FENCE).
 - CLEARING & GRUBBING ONLY IN AREAS OF BASINS / TRAPS / PONDS.
 - INSTALLATION OF BASINS / TRAPS / PONDS AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
 - CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
 - ROUGH GRADING.
 - INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED.
 - FINE GRADING, PAVING, ETC.
 - PERMANENT / FINAL STABILIZATION.
 - REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER / OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
 - PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MS4 FOR ACCEPTANCE.
 - SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.

NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH: (843) 837-2520 / FAX: (843) 837-2538
 WWW.WARDEDWARDS.COM

CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina

COVER SHEET & CONSTRUCTION NOTES

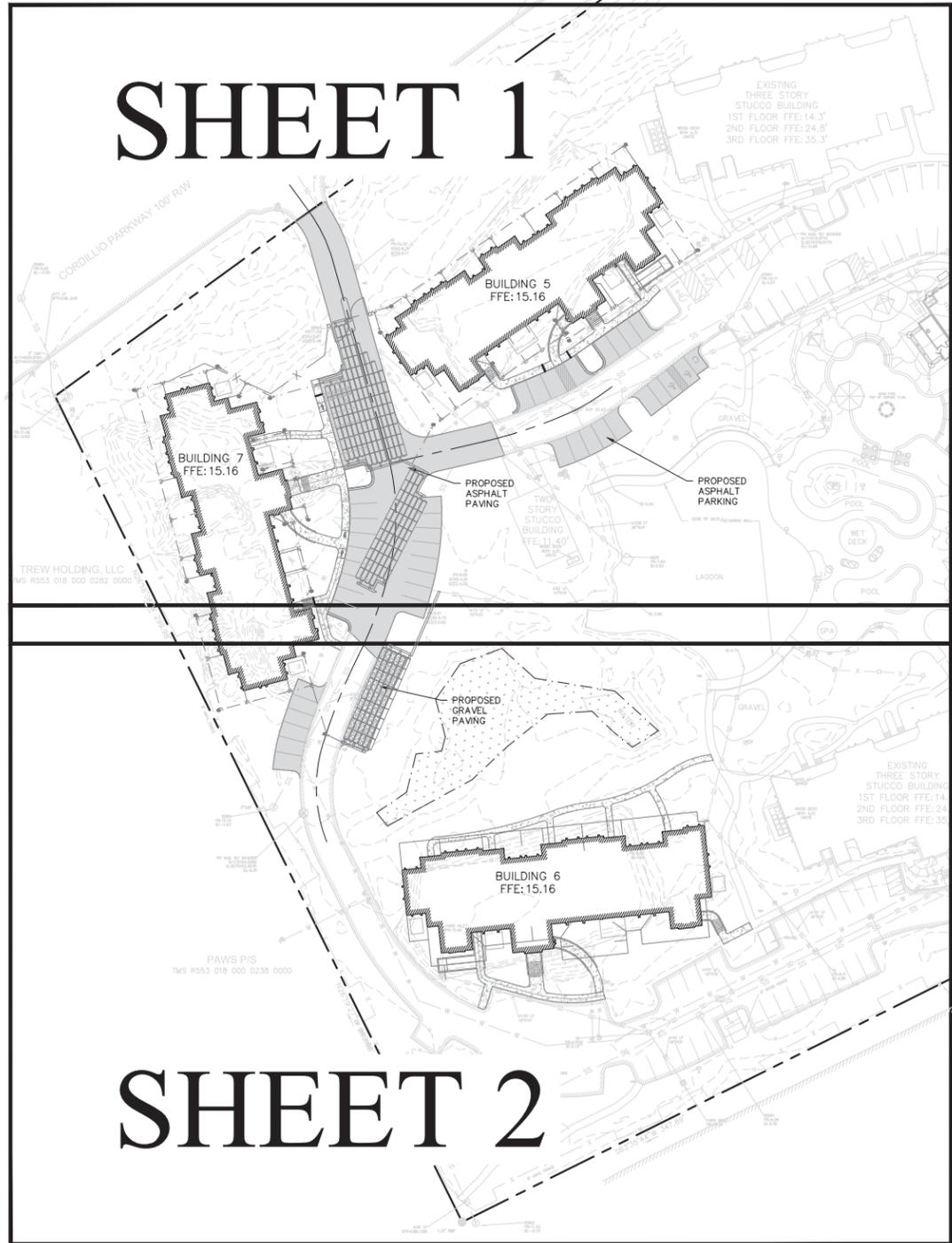
NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	NO SCALE

SHEET C001

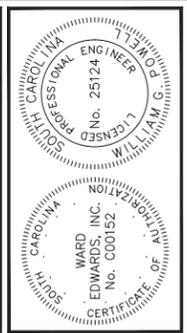
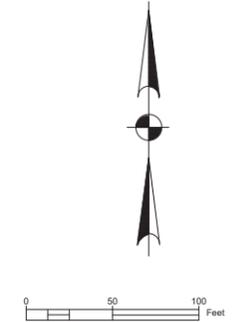


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SHEET 1

SHEET 2



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Ward Edwards
ENGINEERING

P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-2520 / FAX (843) 837-2526
WWW.WARDEDWARDS.COM

CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
OVERALL SITE PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	TDL008
DATE:	04/26/16
DESIGNED BY:	WGP
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SCALE:	1"=50'

SHEET C002

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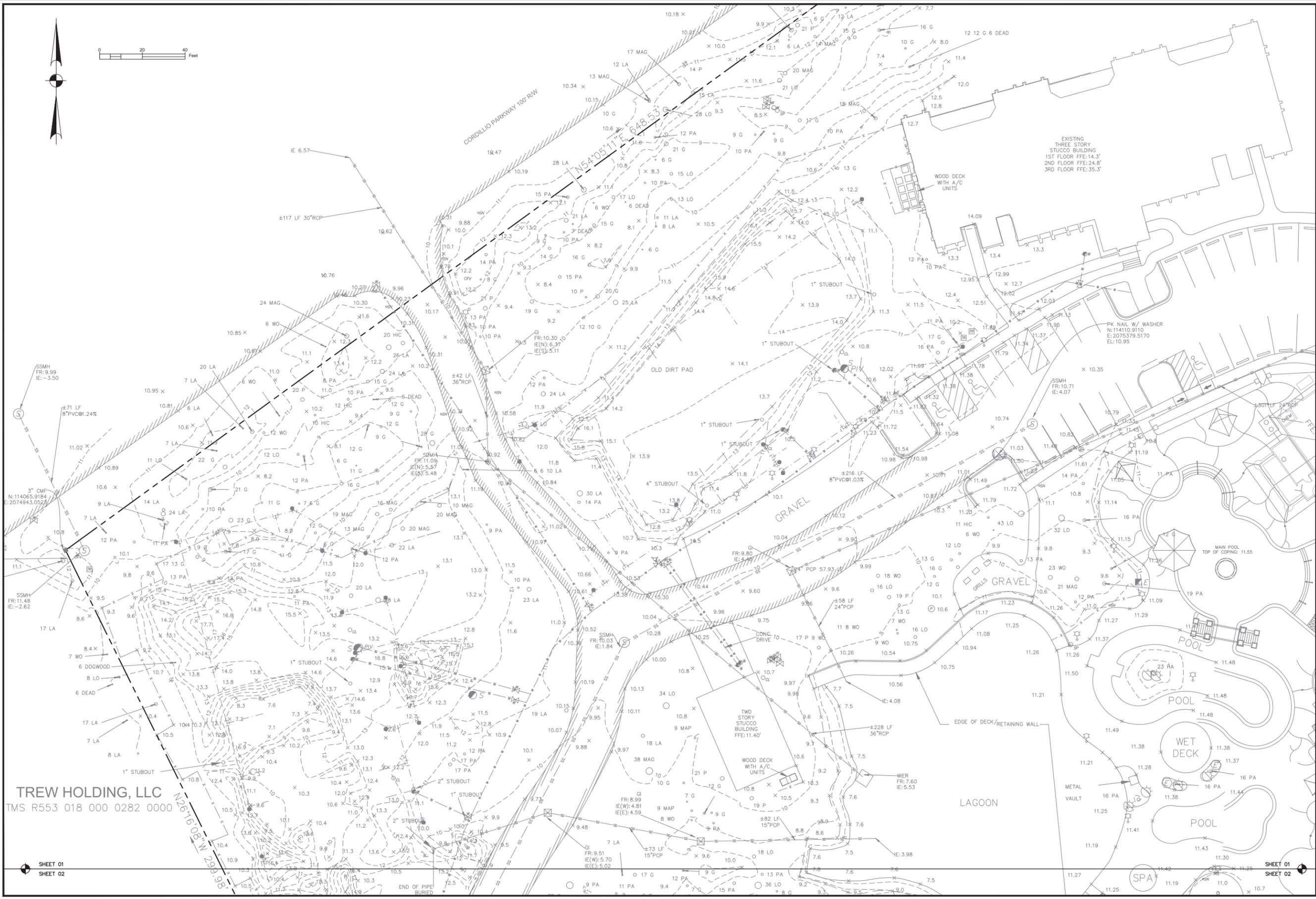
CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina
PHASING PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	<input type="checkbox"/> RELEASED FOR CONSTRUCTION
PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=50'

SHEET C003

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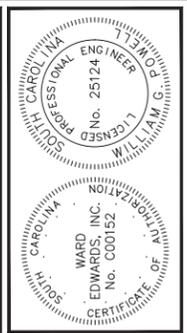
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TREW HOLDING, LLC
TMS R553 018 000 0282 0000

SHEET 01
SHEET 02

SHEET 01
SHEET 02



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CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
EXISTING CONDITIONS PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
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PROJECT #:	TD-003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

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SHEET 01
SHEET 02

- LEGEND**
- CMF ■ CONCRETE MONUMENT FOUND
 - RBF ● IRON REBAR FOUND
 - RBS ○ IRON REBAR SET
 - orv ○ CABLE JUNCTION BOX
 - CLEAN OUT
 - ELECTRIC METER
 - FIRE HYDRANT
 - GRATE INLET
 - GROUND LIGHT
 - GAS TANK
 - HANDICAP
 - IRRIGATION CONTROL VALVE
 - LIGHT POLE
 - STORM DRAIN MANHOLE
 - SANITARY SEWER LATERAL
 - SANITARY SEWER MANHOLE
 - SIGN
 - SPIGOT
 - X 16.5 SPOT ELEVATION
 - TRANSFORMER
 - WATER METER
 - WATER VALVE
 - POST INDICATOR VALVE
 - YARD INLET
 - CEDAR
 - G SWEET GUM
 - HIC HICKORY
 - LA LAUREL OAK
 - LO LIVE OAK
 - MAG MAGNOLIA
 - MIM MIMOSA
 - PA PALMETTO
 - PEC PECAN
 - WO WATER OAK
 - IE INVERT ELEVATION
 - FFE FINISHED FLOOR ELEVATION
 - PCP PLASTIC CORRUGATED PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - sd — STORM DRAIN LINE
 - ss — SANITARY SEWER LINE
 - w — WATER LINE
 - 16 — CONTOUR LINE

- NOTES**
- THIS PARCEL APPEARS TO LIE IN FLOOD ZONE A7 (EL. 14.0'), FIRM PANEL 0013-D COMMUNITY 450250.
 - CONTOURS ARE IN ONE FOOT INTERVALS. TREES SIZES SHOWN ARE IN INCHES OF DIAMETER.
 - ELEVATIONS ARE BASED ON NGVD 29 DATUM.

- REFERENCE**
- A UTILITY ASBUILT OF CORAL SANDS, PHASES 1, 2, & 3. PREPARED FOR JS SERVICES. DATE: 12-14-08 BY: WILLIAM H. GRAY, JR., S.C.R.L.S. No. 22744
 - A PARTIAL DRAINAGE ASBUILT OF 60 POPE AVENUE, CORAL SANDS RESORTS. PREPARED FOR TREW HOLDINGS, LLC. DATE: 01-06-10 BY: WILLIAM H. GRAY, JR., S.C.R.L.S. No. 22744

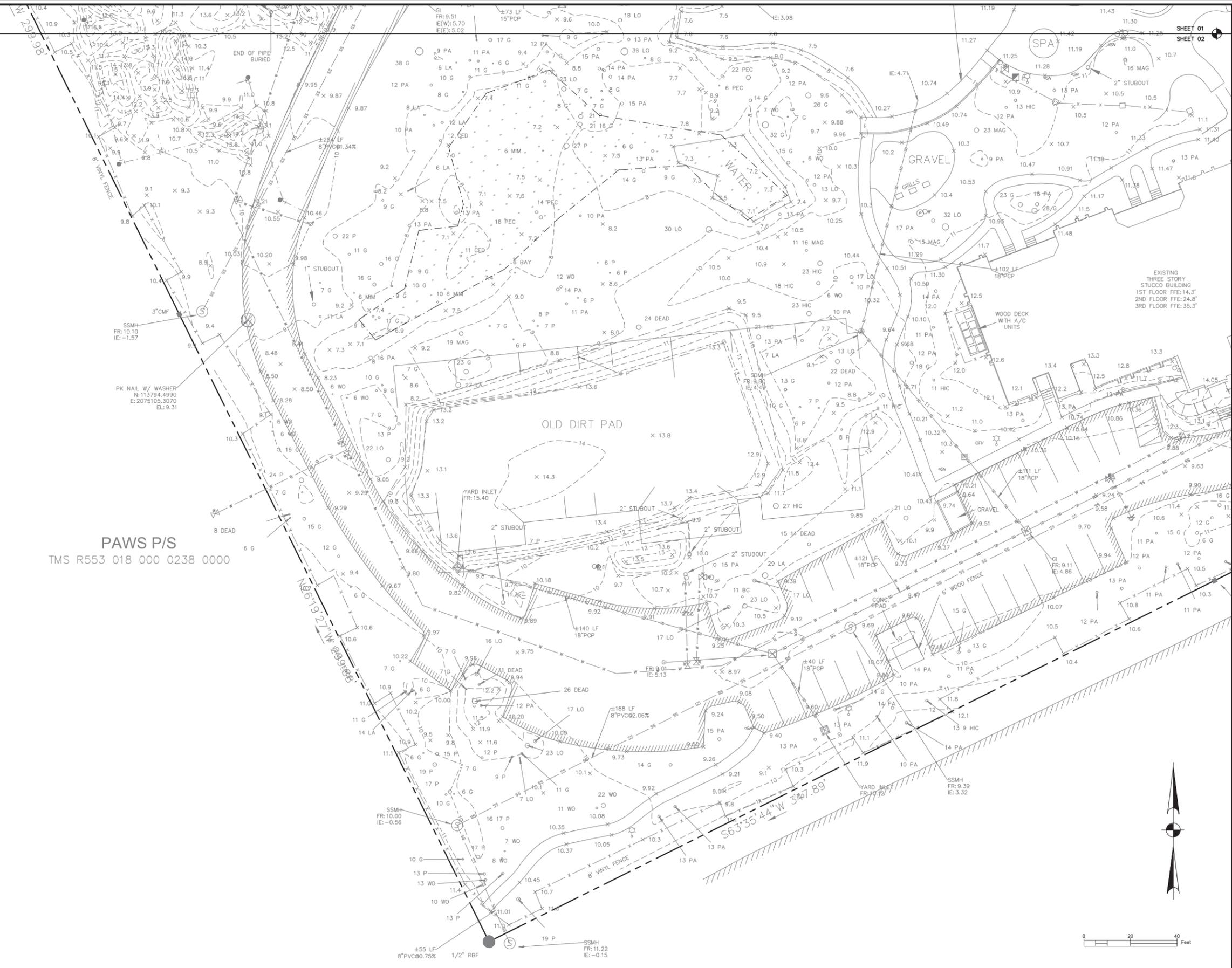
PREPARED FOR:
WARD EDWARDS ENGINEERING
AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

**60 POPE AVENUE
CORAL SANDS RESORTS**
TMS No. R553 018 000 0065 0000

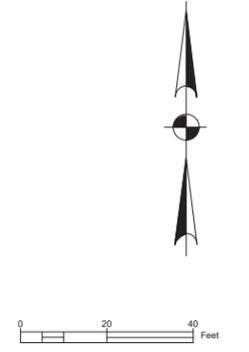
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: DRL
FIELD CHECK: WHG
DRAWN BY: MEG
DATE: 04-12-16
SCALE:
PROJECT No.: 05085
FILE: IPT-05085 141296

**ATLAS
SURVEYING INC.**

49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
FAX: (843) 645-9267
WEBSITE: WWW.ATLASSURVEYING.COM



PAWS P/S
TMS R553 018 000 0238 0000



WARD EDWARDS ENGINEERING
PROFESSIONAL ENGINEER
No. 25124
LICENSED
SOUTH CAROLINA
WARD EDWARDS, INC.
No. 000152
CERTIFICATE
SOUTH CAROLINA
LICENSED PROFESSIONAL ENGINEER
No. 000152
WARD EDWARDS, INC.

NO.	DESCRIPTION	DATE
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P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
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CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
EXISTING CONDITIONS PLAN

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

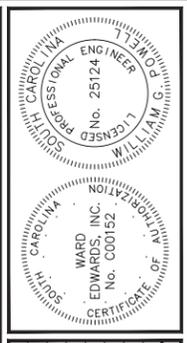
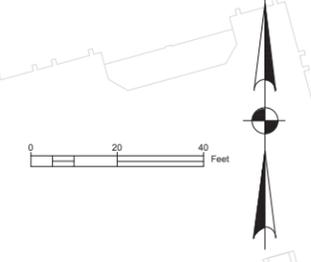
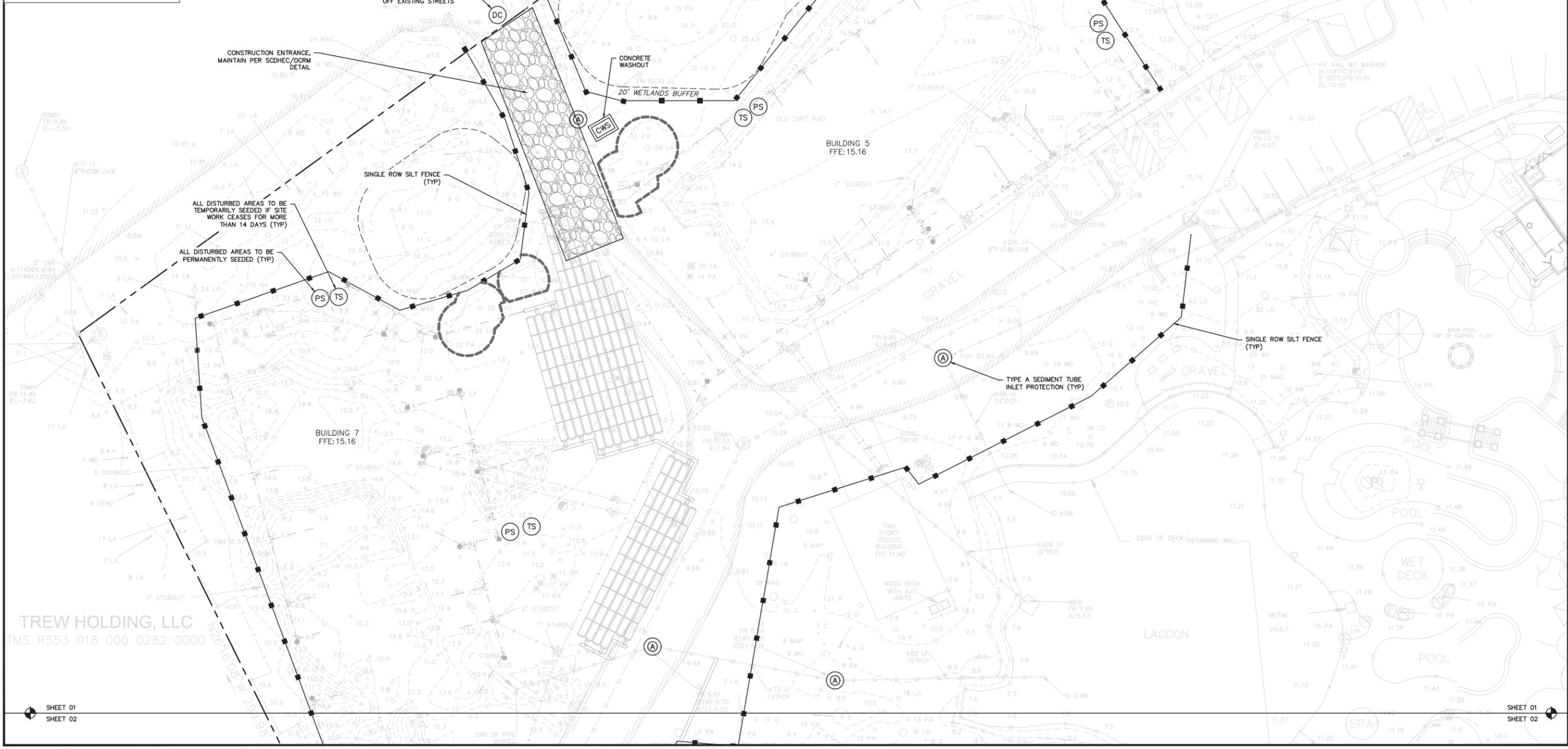
**SHEET
C102**

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LIMITS OF DISTURBANCE:	
EROSION PREVENTION	
LAND GRADING:	LG OR (LG)
SURFACE ROUGHENING:	(SR)
TOPSOILING:	(TS)
TEMPORARY SEEDING:	(M)
MULCHING:	(M)
ECB OR TRM:	(ECB) OR (TRM)
FGM:	(FGM)
BFM:	(BFM)
PERMANENT SEEDING:	(PS)
SODDING:	(SO)
RIPRAP:	(RIP)
OUTLET PROTECTION:	(RIPRAP) ECB OR TRM
DUST CONTROL:	(DC)
POLYACRYLAMIDE (PAM):	(PAM)

SEDIMENT CONTROL	
SEDIMENT BASIN:	(SB)
TEMPORARY SEDIMENT TRAP:	(TST)
ROCK SEDIMENT DIKE:	(RSD)
ROCK CHECK DAM:	(RCD) OR (RCD)
SEDIMENT TUBE:	(ST)
REINFORCED SILT FENCE:	(RSF)
TYPE A - FABRIC INLET PROTECTION:	(A)
TYPE A - SEDIMENT TUBE INLET PROTECTION:	(A)
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	(B)
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	(C)
TYPE D - RIGID INLET FILTERS:	(D)
TYPE E - SURFACE COURSE CURB INLET FILTER:	(E)
TYPE F - INLET TUBE:	(F)
CONCRETE WASHOUT:	(CWS)

RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	(VC)
RIPRAP-LINED CHANNELS:	(RCL)
ECB OR TRM-LINED CHANNELS:	(ECB) OR (TRM)
PAVED CHANNELS:	(PC)
PIPE SLOPE DRAINS:	(PSD)
TEMPORARY STREAM CROSSING:	(TSC)
TEMPORARY DIVERSION DITCH OR SWALE:	(TDD)
PERMANENT DIVERSION DITCH:	(PDD)
DIVERSION DIKE OR BERM:	(DD)
LEVEL SPREADER:	(LS)
SUBSURFACE DRAIN:	(SSD)



NO.	DESCRIPTION	DATE
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CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina
EROSION CONTROL PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	TD-003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

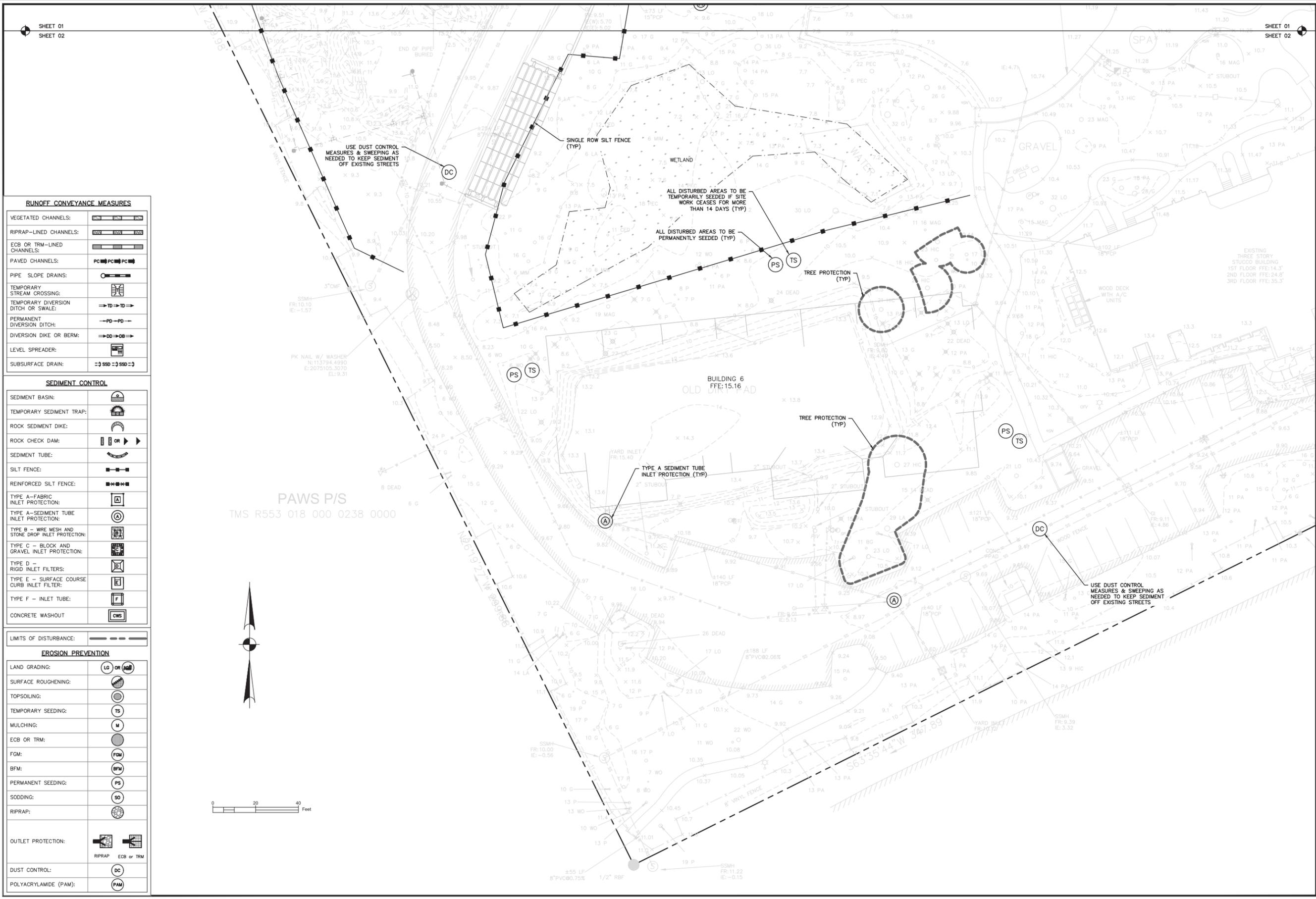
SHEET 01
SHEET 02

SHEET 01
SHEET 02

SHEET C201

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RUNOFF CONVEYANCE MEASURES

VEGETATED CHANNELS:	
RIPRAP-LINED CHANNELS:	
ECB OR TRM-LINED CHANNELS:	
PAVED CHANNELS:	
PIPE SLOPE DRAINS:	
TEMPORARY STREAM CROSSING:	
TEMPORARY DIVERSION DITCH OR SWALE:	
PERMANENT DIVERSION DITCH:	
DIVERSION DIKE OR BERM:	
LEVEL SPREADER:	
SUBSURFACE DRAIN:	

SEDIMENT CONTROL

SEDIMENT BASIN:	
TEMPORARY SEDIMENT TRAP:	
ROCK SEDIMENT DIKE:	
ROCK CHECK DAM:	
SEDIMENT TUBE:	
SILT FENCE:	
REINFORCED SILT FENCE:	
TYPE A - FABRIC INLET PROTECTION:	
TYPE A - SEDIMENT TUBE INLET PROTECTION:	
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	
TYPE D - RIGID INLET FILTERS:	
TYPE E - SURFACE COURSE CURB INLET FILTER:	
TYPE F - INLET TUBE:	
CONCRETE WASHOUT:	

LIMITS OF DISTURBANCE:

EROSION PREVENTION

LAND GRADING:	
SURFACE ROUGHENING:	
TOPSOILING:	
TEMPORARY SEEDING:	
MULCHING:	
ECB OR TRM:	
FGM:	
BFM:	
PERMANENT SEEDING:	
SODDING:	
RIPRAP:	
OUTLET PROTECTION:	
DUST CONTROL:	
POLYACRYLAMIDE (PAM):	

Professional Engineer
 Ward Edwards, Inc.
 License No. 25124
 State of South Carolina

NO.	DESCRIPTION	DATE
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Ward Edwards ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH: (843) 837-2530 / FAX: (843) 837-2536
 WWW.WARDEDWARDS.COM

CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina

EROSION CONTROL PLAN

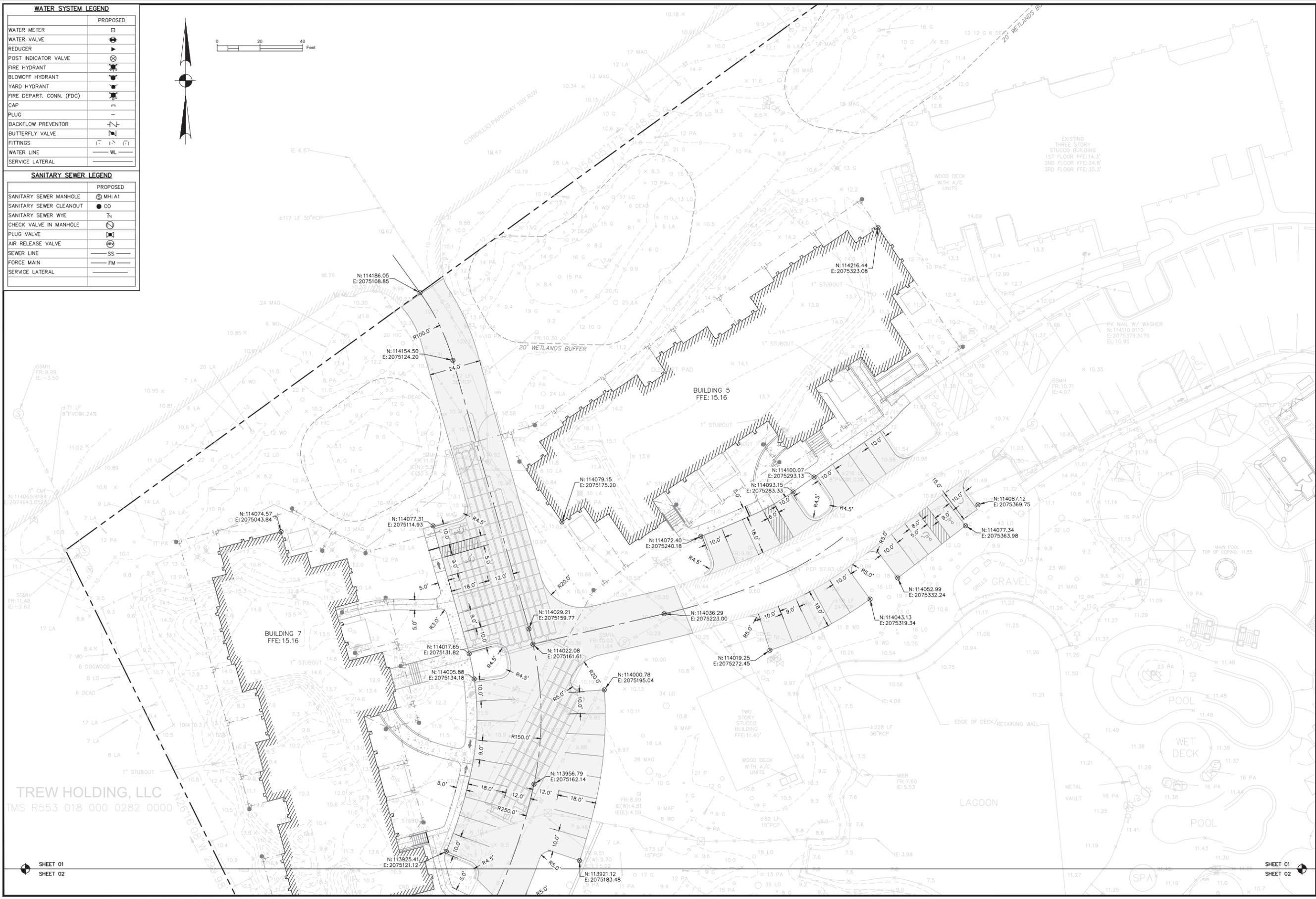
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WATER SYSTEM LEGEND	
	PROPOSED
WATER METER	
WATER VALVE	
REDUCER	
POST INDICATOR VALVE	
FIRE HYDRANT	
BLOWOFF HYDRANT	
YARD HYDRANT	
FIRE DEPART. CONN. (FDC)	
CAP	
PLUG	
BACKFLOW PREVENTOR	
BUTTERFLY VALVE	
FITTINGS	
WATER LINE	
SERVICE LATERAL	

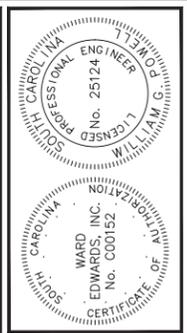
SANITARY SEWER LEGEND	
	PROPOSED
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER WYE	
CHECK VALVE IN MANHOLE	
PLUG VALVE	
AIR RELEASE VALVE	
SEWER LINE	
FORCE MAIN	
SERVICE LATERAL	



TREW HOLDING, LLC
TMS R553 018 000 0282 0000

SHEET 01
SHEET 02

SHEET 01
SHEET 02



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CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
SITE LAYOUT & UTILITY PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

SHEET
C401

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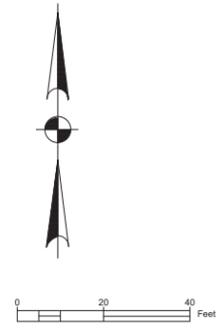
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TMS R553 018 000 0238 0000

WATER SYSTEM LEGEND	
	PROPOSED
WATER METER	⊠
WATER VALVE	⊕
REDUCER	▶
POST INDICATOR VALVE	⊗
FIRE HYDRANT	⊕
BLOWOFF HYDRANT	⊕
YARD HYDRANT	⊕
FIRE DEPART. CONN. (FDC)	⊕
CAP	⊠
PLUG	⊠
BACKFLOW PREVENTOR	⊠
BUTTERFLY VALVE	⊠
FITTINGS	⊠
WATER LINE	— WL —
SERVICE LATERAL	— SL —

SANITARY SEWER LEGEND	
	PROPOSED
SANITARY SEWER MANHOLE	⊕ MH: A1
SANITARY SEWER CLEANOUT	⊕ CO
SANITARY SEWER WYE	⊕
CHECK VALVE IN MANHOLE	⊕
PLUG VALVE	⊕
AIR RELEASE VALVE	⊕
SEWER LINE	— SS —
FORCE MAIN	— FM —
SERVICE LATERAL	— SL —



WARD EDWARDS, INC.
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 25124

NO.	DESCRIPTION	DATE
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Ward Edwards
ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH: (843) 837-2520 / FAX: (843) 837-2536
 WWW.WARDEDWARDS.COM

CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina
SITE LAYOUT & UTILITY PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

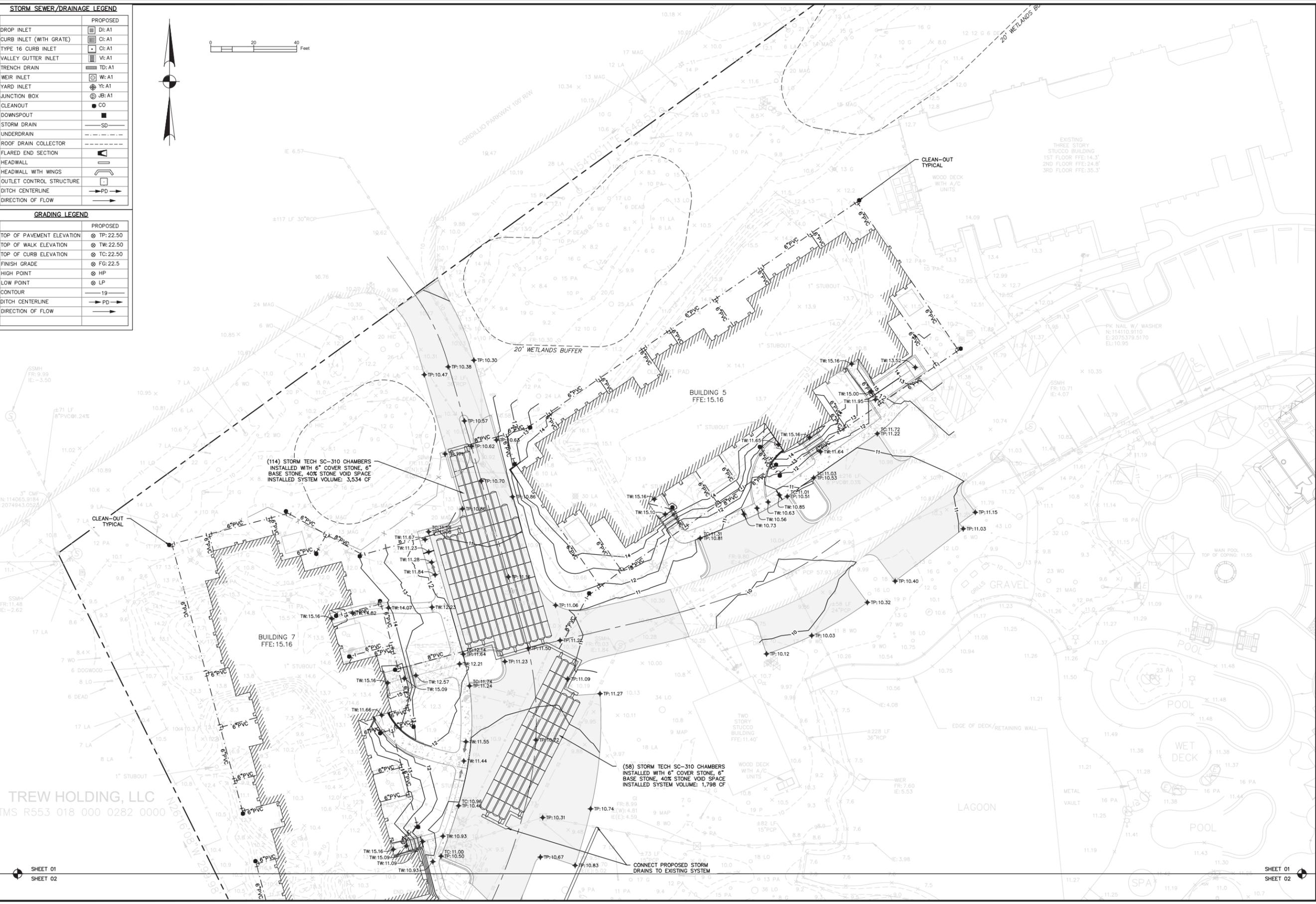
SHEET
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STORM SEWER/DRAINAGE LEGEND	
	PROPOSED
DROP INLET	DI: A1
CURB INLET (WITH GRATE)	CI: A1
TYPE 16 CURB INLET	CI: A1
VALLEY GUTTER INLET	VI: A1
TRENCH DRAIN	TD: A1
WEIR INLET	WI: A1
YARD INLET	YI: A1
JUNCTION BOX	JB: A1
CLEANOUT	CO
DOWNSPOUT	
STORM DRAIN	SD
UNDERDRAIN	
ROOF DRAIN COLLECTOR	
FLARED END SECTION	
HEADWALL	
HEADWALL WITH WINGS	
OUTLET CONTROL STRUCTURE	
DITCH CENTERLINE	→ PD →
DIRECTION OF FLOW	→

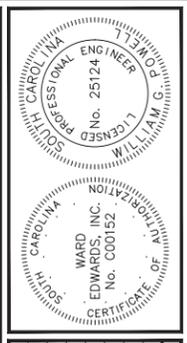
GRADING LEGEND	
	PROPOSED
TOP OF PAVEMENT ELEVATION	TP: 22.50
TOP OF WALK ELEVATION	TW: 22.50
TOP OF CURB ELEVATION	TC: 22.50
FINISH GRADE	FG: 22.5
HIGH POINT	HP
LOW POINT	LP
CONTOUR	19
DITCH CENTERLINE	→ PD →
DIRECTION OF FLOW	→



TREW HOLDING, LLC
TMS R553 018 000 0282 0000

SHEET 01
SHEET 02

SHEET 01
SHEET 02



NO.	DESCRIPTION	DATE
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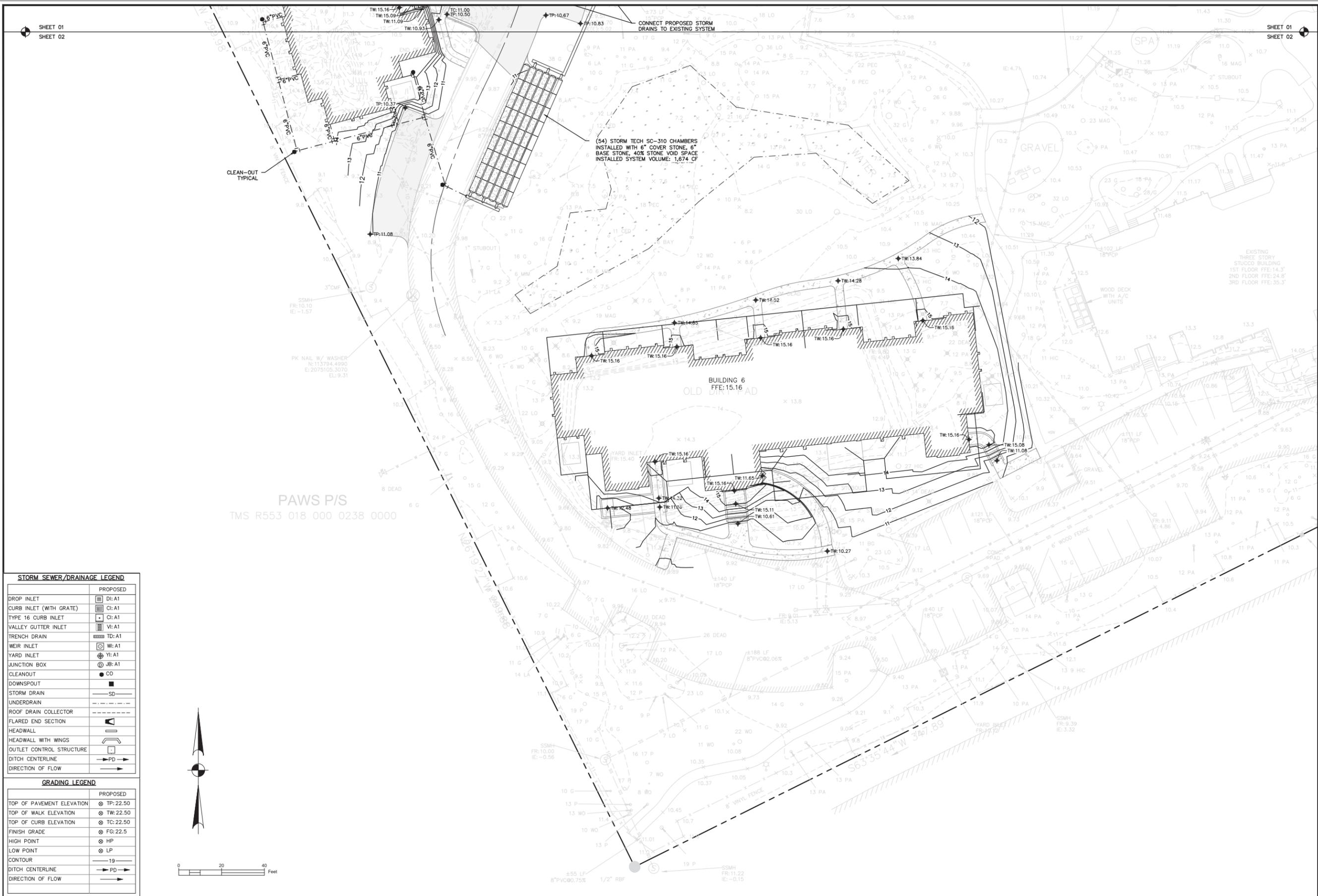
CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
GRADING & DRAINAGE PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

SHEET C501

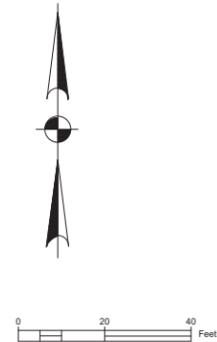
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STORM SEWER/DRAINAGE LEGEND	
	PROPOSED
DROP INLET	Di: A1
CURB INLET (WITH GRATE)	Ci: A1
TYPE 16 CURB INLET	• Ci: A1
VALLEY GUTTER INLET	Vg: A1
TRENCH DRAIN	Td: A1
WEIR INLET	Wi: A1
YARD INLET	Yi: A1
JUNCTION BOX	Jb: A1
CLEANOUT	Co
DOWNSPOUT	■
STORM DRAIN	—SD—
UNDERDRAIN	---
ROOF DRAIN COLLECTOR	---
FLARED END SECTION	---
HEADWALL	---
HEADWALL WITH WINGS	---
OUTLET CONTROL STRUCTURE	---
DITCH CENTERLINE	→PD→
DIRECTION OF FLOW	→

GRADING LEGEND	
	PROPOSED
TOP OF PAVEMENT ELEVATION	⊗ TP: 22.50
TOP OF WALK ELEVATION	⊗ TW: 22.50
TOP OF CURB ELEVATION	⊗ TC: 22.50
FINISH GRADE	⊗ FG: 22.5
HIGH POINT	⊗ HP
LOW POINT	⊗ LP
CONTOUR	—19—
DITCH CENTERLINE	→PD→
DIRECTION OF FLOW	→



WARD EDWARDS, INC.
 LICENSE NO. 25124
 STATE OF SOUTH CAROLINA

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Ward Edwards
ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH: (843) 837-2530 / FAX: (843) 837-2536
 WWW.WARDEDWARDS.COM

CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina
GRADING & DRAINAGE PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	1"=20'

SHEET
C502

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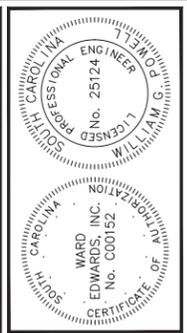
PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS FIRE LANE	
PROPOSED AGGREGATE/ STONES	
PROPOSED ASPHALT (LIGHT DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED CONCRETE PAVERS	



TREW HOLDING, LLC
TMS R553 018 000 0282 0000

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SHEET 02

SHEET 01
SHEET 02



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ENGINEERING

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CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina

PAVING, SIGNAGE & PAVEMENT MARKING PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
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PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
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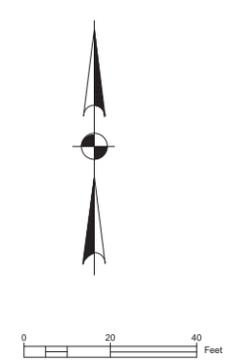
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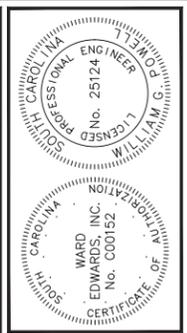


PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS FIRE LANE	
PROPOSED AGGREGATE/ STONES	
PROPOSED ASPHALT (LIGHT DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED CONCRETE PAVERS	



SHEET 01
SHEET 02

SHEET 01
SHEET 02



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CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina
PAVING, SIGNAGE & PAVEMENT MARKING PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
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PROJECT #:	TDL003
DATE:	04/26/16
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POST INSTALLATION DETAIL

SEDIMENT TUBE INSTALLATION DETAIL

SEDIMENT TUBE BURIAL DETAIL

PLAN SYMBOL

South Carolina Department of Health and Environmental Control
Type A
SEDIMENT TUBE INLET PROTECTION
 STANDARD DRAWING NO. SC-07A PAGE 1 of 2
 FEBRUARY 2014 DATE
 NOT TO SCALE

TYPE A - SEDIMENT TUBE INLET PROTECTION

GENERAL NOTES

- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another.
- Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
- Install stakes at a diagonal facing incoming runoff.

INSPECTION & MAINTENANCE

- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
- Remove sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control
Type A
SEDIMENT TUBE INLET PROTECTION
 STANDARD DRAWING NO. SC-07A PAGE 2 of 2
 FEBRUARY 2014 DATE
 NOT TO SCALE

CONSTRUCTION ENTRANCE

EDGES SHALL BE TAPERED OUT TOWARDS ROAD TO PREVENT TRACKING OF MUD ON THE EDGES

100-FT. MIN.

6-INCH MIN.

AVERAGE STONE DIAMETER OF 2 TO 3-INCHES WITH A 6-INCH MINIMUM DEPTH

UNDERLYING NON-WOVEN GEOTEXTILE FABRIC

PLAN SYMBOL

SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 1 of 2
 FEBRUARY 2014 DATE
 NOT TO SCALE

CONSTRUCTION ENTRANCE - GENERAL NOTES

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2
 FEBRUARY 2014 DATE
 GENERAL NOTES

SILT FENCE INSTALLATION

1.25 LB./LINEAR FT. STEEL POSTS

PLAN SYMBOL

MAXIMUM SPACING = 6 FT.

BACKFILL TRENCH WITH COMPACTED EARTH

USE EITHER FLAT-BOTTOM OR V-BOTTOM TRENCH SEE DETAILS

FLAT-BOTTOM TRENCH DETAIL

18-IN. TO 24-IN. HEAVY DUTY PLASTIC TIES

6-IN. RUNOFF

6-IN. FILTER FABRIC

24-IN. (MINIMUM)

V-SHAPED TRENCH DETAIL

18-IN. TO 24-IN. HEAVY DUTY PLASTIC TIES

6-IN. RUNOFF

6-IN. FILTER FABRIC

24-IN. (MINIMUM)

SILT FENCE - GENERAL NOTES

- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overlaid flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanup.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 Page 1 of 2
 FEBRUARY 2014 DATE
 NOT TO SCALE

SILT FENCE - POST REQUIREMENTS

- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polypropylenes, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter Fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 PAGE 2 of 2
 FEBRUARY 2014 DATE
 GENERAL NOTES

ADHESIVE

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./ACRE)
ANIONIC ASPHALT EMULSION	7:1*	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

*USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE.

MAINTENANCE:

- PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
- SUPPLEMENT SURFACE COVERING AS NEEDED.

INSTALLATION:

- APPLY ACCORDING TO APPROVED PLAN.
- MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL OR TERRATAK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
- IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
- COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
- APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.
- APPLY SPRAY-ON ADHESIVES TO MINERAL SOILS (NOT MUCK SOILS) AS DESCRIBED IN TABLE 1.

DC DUST CONTROL ON DISTURBED AREAS

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2
 FEBRUARY 2014 DATE
 GENERAL NOTES

EXCAVATED PIT CONCRETE WASHOUT

GRAVEL-FILLED BAGS

EDGE OF PLASTIC LINER (SEE NOTE 2)

EARTHEN BERM OVER BERM

PLASTIC LINER PLACED UNDER BERM (ENTRY SIDE ONLY)

SECTION B-B

SECTION A-A

LETTERS A MINIMUM OF 5" IN HEIGHT

CONCRETE WASHOUT SIGN DETAIL

NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
- CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
- THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
- SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
- A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

South Carolina Department of Health and Environmental Control
CONCRETE WASHOUT EXCAVATED PIT
 STANDARD DRAWING NO. RC-08 PAGE 1 of 1
 FEBRUARY 2014 DATE
 NOT TO SCALE

CONSTRUCTION DETAILS

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

PROJECT #: TD.003
 DATE: 04/26/16
 DESIGNED BY: WGP
 CHECKED BY: HED
 SCALE: AS NOTED

South Carolina Department of Health and Environmental Control
CONCRETE WASHOUT EXCAVATED PIT
 STANDARD DRAWING NO. RC-08 PAGE 1 of 1
 FEBRUARY 2014 DATE
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SHEET C701

WARD EDWARDS, INC.
 PROFESSIONAL ENGINEER
 LICENSE NO. 25124
 SOUTH CAROLINA
 W. LILLIAM G. WILSON, P.E.
 CERTIFICATE NO. 000152

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Ward Edwards ENGINEERING
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CORAL SANDS RESORT, PHASES 5-7
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
 Hilton Head Island, South Carolina

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TEMPORARY SEEDING – COASTAL

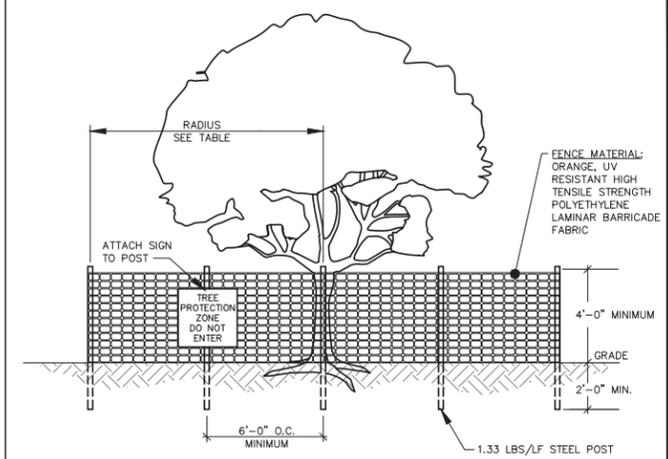
SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	40 LBS/AC												
RYE, GRAIN	56 LBS/AC												
RYEGRASS	50 LBS/AC												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET OR JAPANESE MILLET	40 LBS/AC												
RYE, GRAIN OR OATS	56 LBS/AC 75 LBS/AC												
RYEGRASS	50 LBS/AC												

(TS) TEMPORARY SEEDING - COASTAL
DETAIL 02370-011

PERMANENT SEEDING – COASTAL

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICA LE SPEDEZA	40 LBS/AC												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
RYE, GRAIN	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
CLOVER, CRIMSON (ANNUAL)	5 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICA LE SPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	10 LBS/AC												
SERICA LE SPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	12 LBS/AC												
KOBE LE SPEDEZA (ANNUAL)	10 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	20 LBS/AC												
BERMUDA, COMMON	6 LBS/AC												
SERICA LE SPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS	8 LBS/AC												
LITTLE BLUESTEM	3 LBS/AC												
INDIANGRASS	3 LBS/AC												

(PS) PERMANENT SEEDING - COASTAL
DETAIL 02370-010



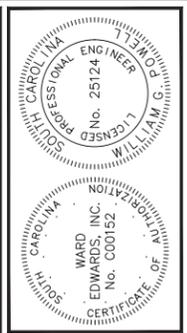
NOTES:

- ALL TREES DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING.
- INSTALL TREE PROTECTION FENCE TO RADIUS INDICATED IN TABLE UNLESS OTHERWISE INDICATED ON PLANS.
- WARNING SIGNS TO BE MADE OF DURABLE WATERPROOF MATERIAL.
- ALL WARNING SIGN LETTERS TO BE AT LEAST 3 INCHES HIGH, CLEARLY LEGIBLE AND SPACED A MINIMUM OF ONE EVERY 40 FT. FOR PROTECTION AREAS LESS THAN 40 FT IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER SIDE.
- THE SIZE OF EACH WARNING SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE.
- ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
- THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
- TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. FENCING MUST REMAIN UPRIGHT AND SLACK FREE.

JURISDICTION	RADIUS OF CIRCULAR TPZ
BEAUFORT COUNTY DSO 106-1846(b)(2)OR	1 FOOT PER INCH OF TRUNK DBH OR 5 FEET, WHICHEVER IS GREATER
TOWN OF BLUFFTON UDO 5.3.3, C(1)	1.5 FEET PER INCH OF TRUNK DBH
TOWN OF HILTON HEAD LMO 16-6-104, J	FENCING AT DRIP LINE FOR ALL TREES PROPOSED TO BE RETAINED
CITY OF BEAUFORT UDO 7.3, D(3)	0.5 FOOT PER INCH OF TRUNK DBH OR 5 FEET, WHICHEVER IS GREATER
JASPER COUNTY ZONING ORD. ART. 13	FENCING AT DRIP LINE FOR "SIGNIFICANT" AND "LANDMARK" TREES
CITY OF HARDEEVILLE MZDSO 4.8, F	FENCING AT DRIP LINE FOR "PROTECTED TREES", SEE PLANS FOR ALL OTHERS

DBH = TRUNK DIAMETER AT BREAST HEIGHT

TREE PROTECTION FENCE
DETAIL #02915-008



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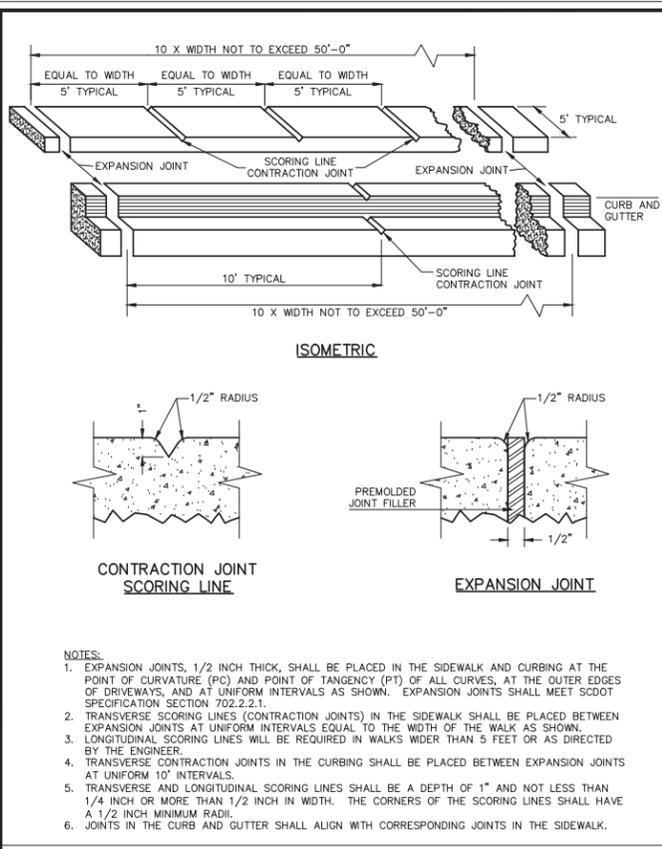


CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
CONSTRUCTION DETAILS

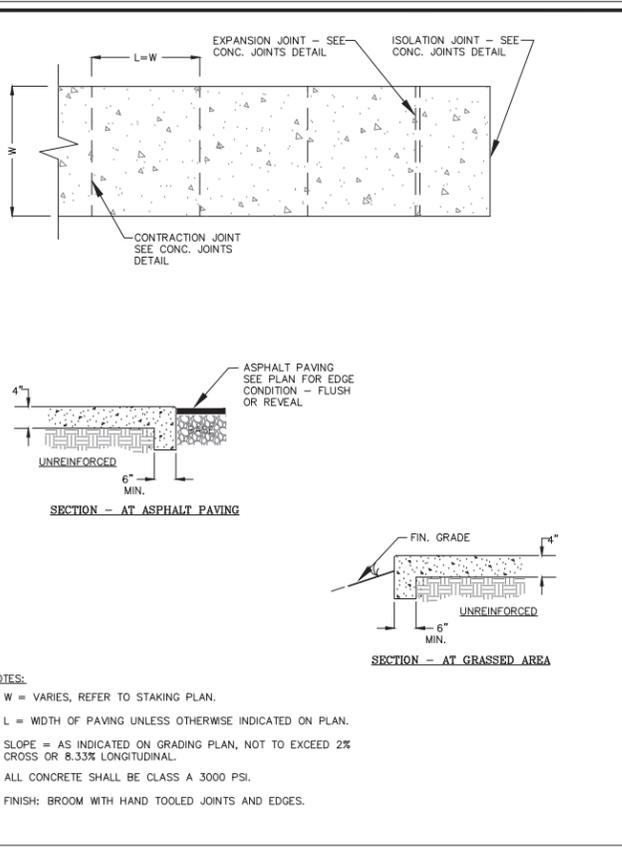
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PROJECT #:	TDL008
DATE:	04/26/16
DESIGNED BY:	WGP
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SCALE:	AS NOTED

SHEET
C702

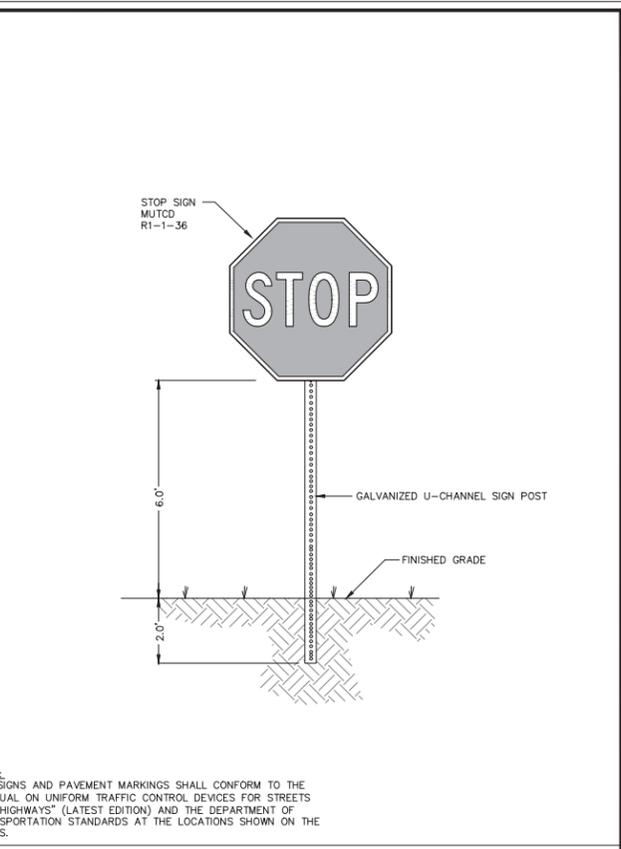
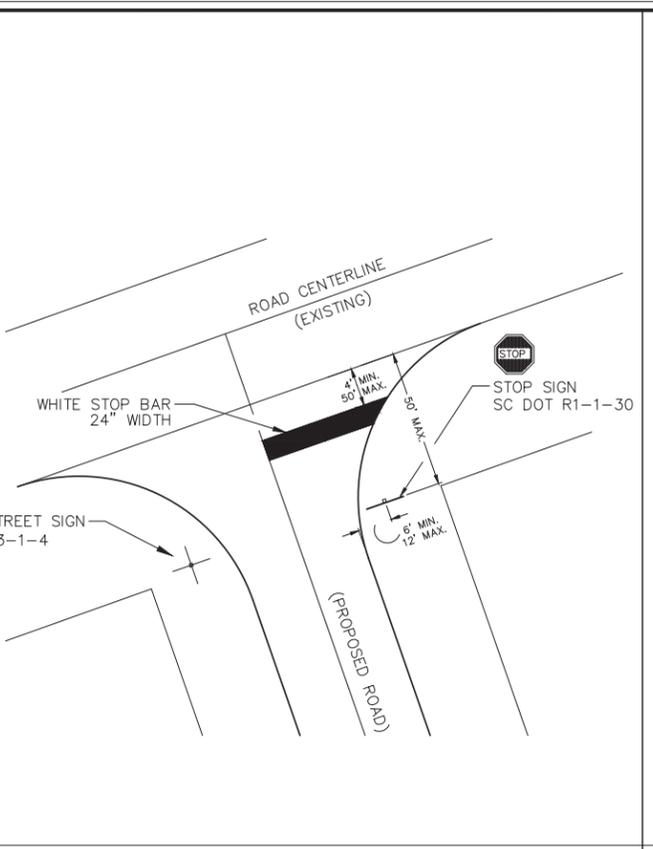
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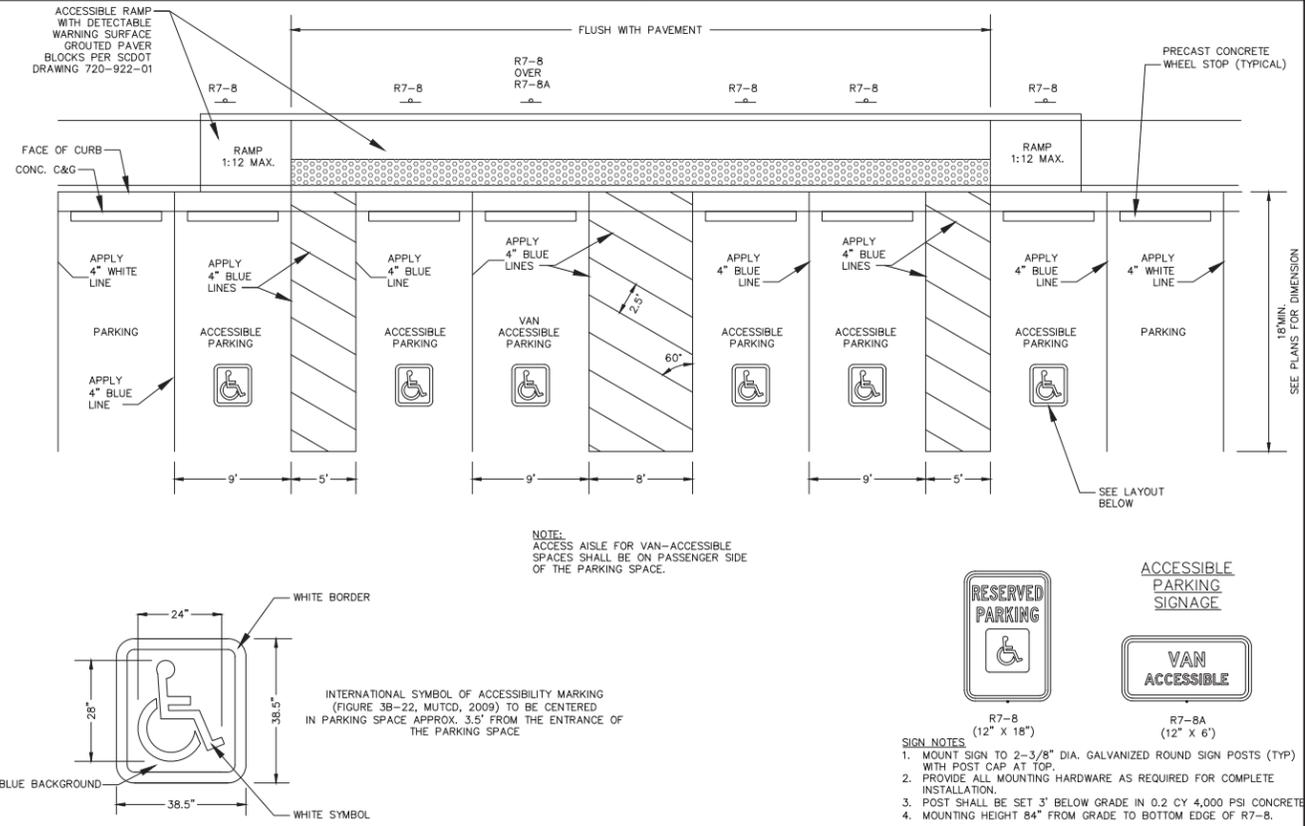
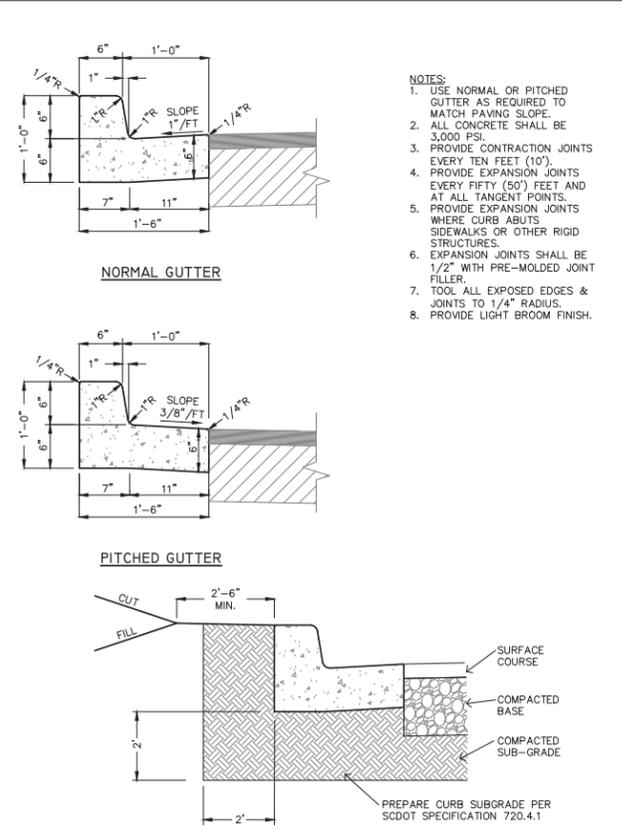
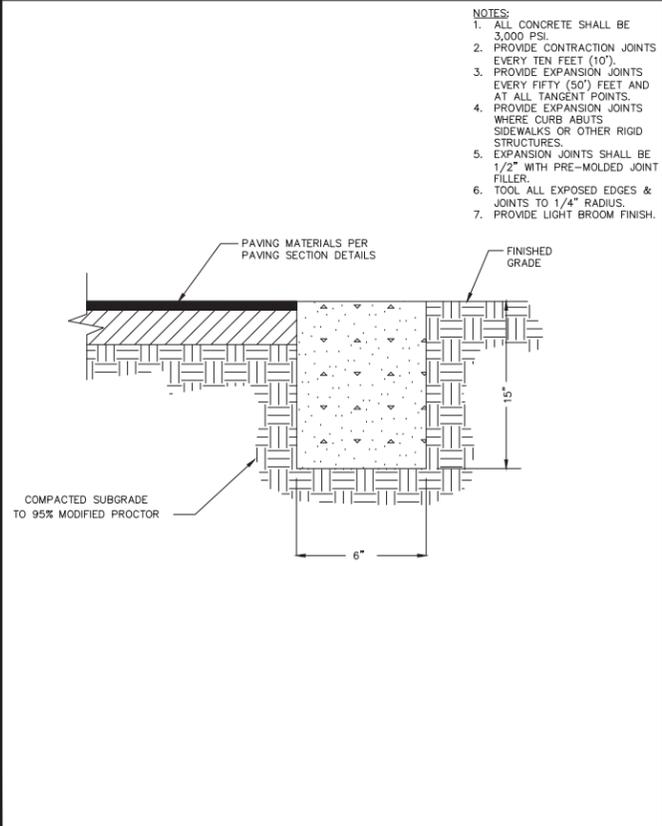
EXPANSION JOINTS AND SCORING LINES
DETAIL 03300-007A



CONCRETE SIDEWALK
DETAIL 03300-022



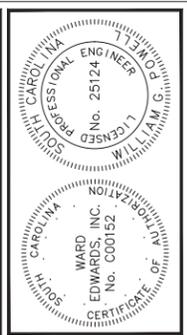
STOP SIGN
DETAIL #02890-002



FLUSH HEADER CURB
DETAIL 03300-005

18" CURB AND GUTTER
DETAIL 03300-004A

ACCESSIBLE PARKING DETAIL
DETAIL 02740-007A



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards ENGINEERING

P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5230 / FAX (843) 837-2536
WWW.WARDEDWARDS.COM

CORAL SANDS RESORT, PHASES 5-7

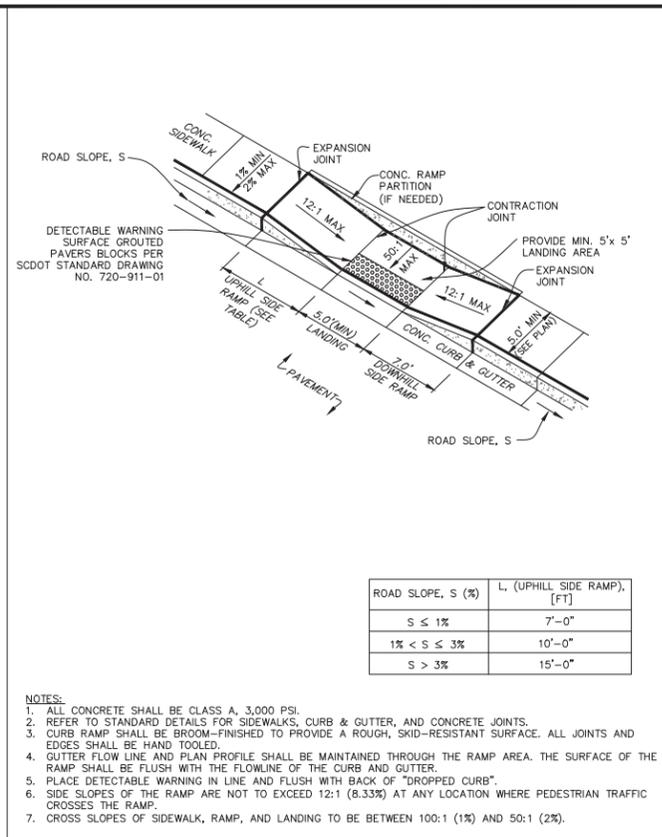
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina

CONSTRUCTION DETAILS

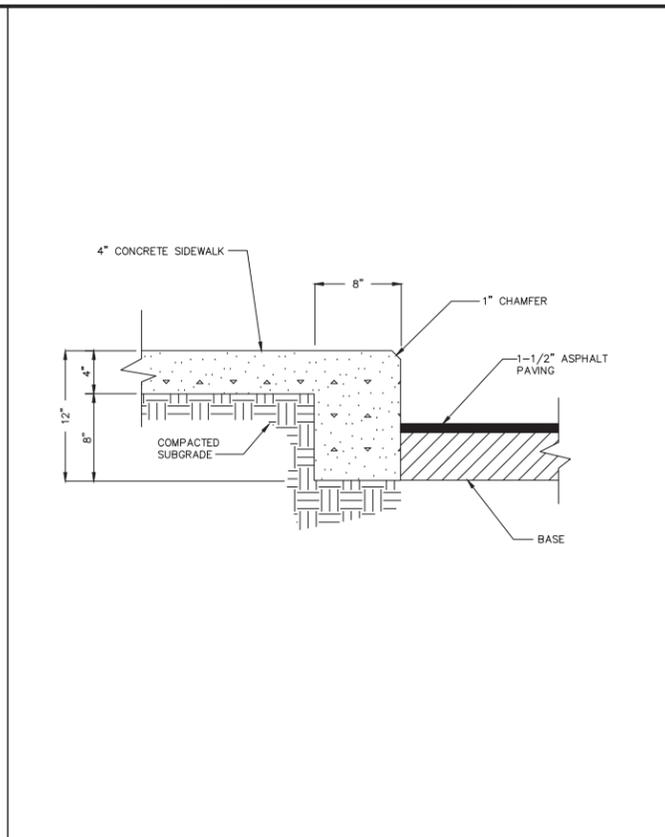
NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

PROJECT #:	TDL003
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HEB
SCALE:	AS NOTED

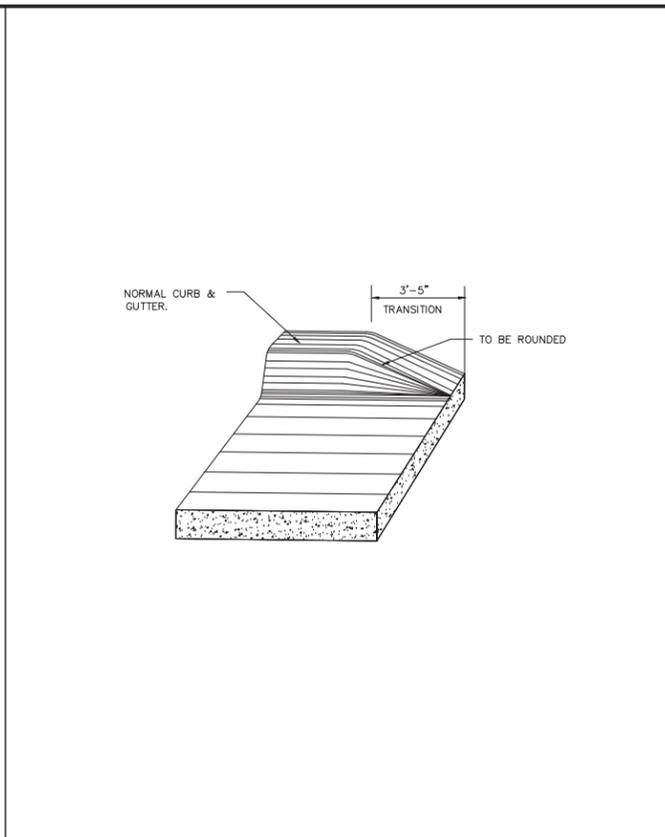
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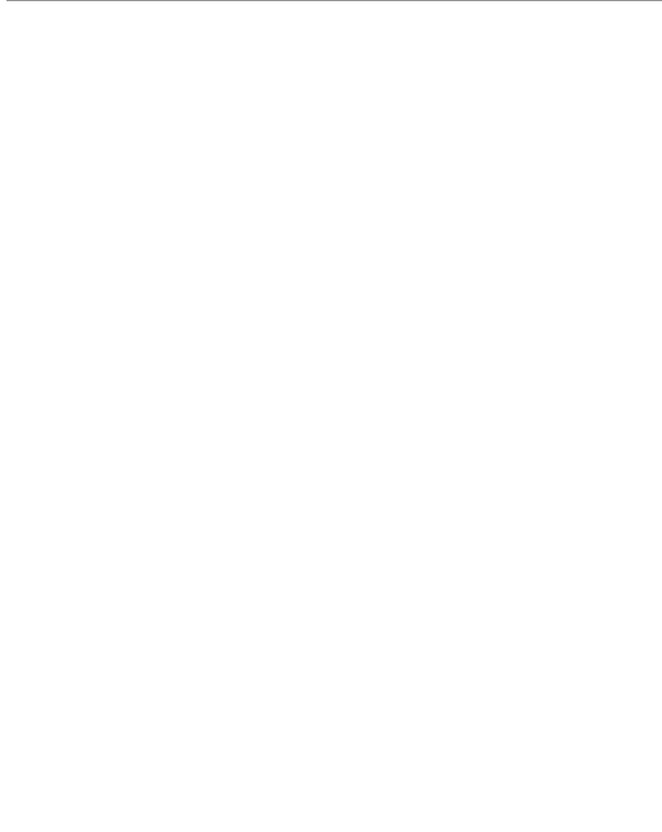
CONCRETE CURB RAMP TYPE-B
DETAIL 03300-029A



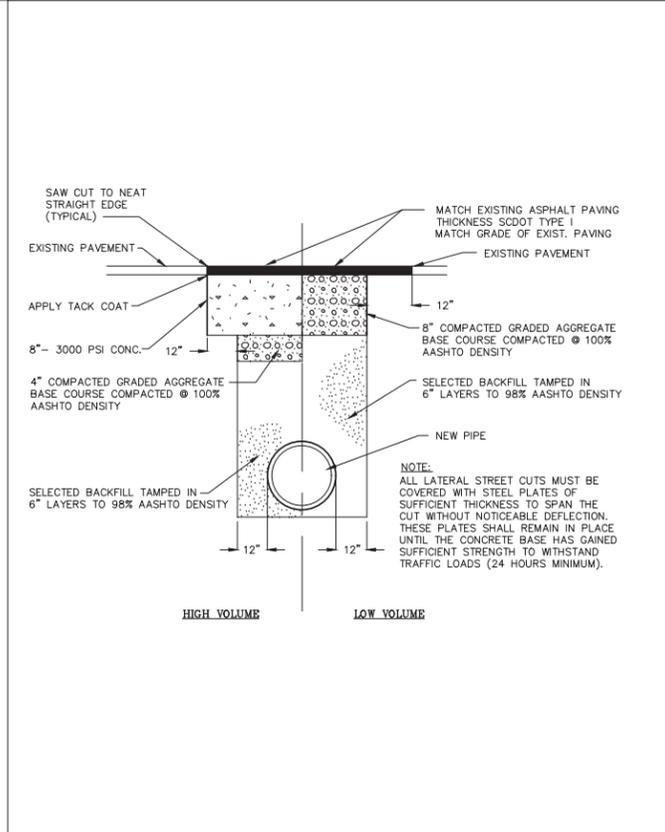
TURNED-DOWN CURB
DETAIL 03300-003



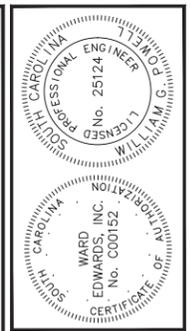
CURB AND GUTTER TRANSITION DETAIL
DETAIL 03300-020



ASPHALT CUT AND PATCH
DETAIL 02740-003



CONCRETE DUMPSTER PAD
DETAIL 03300-016



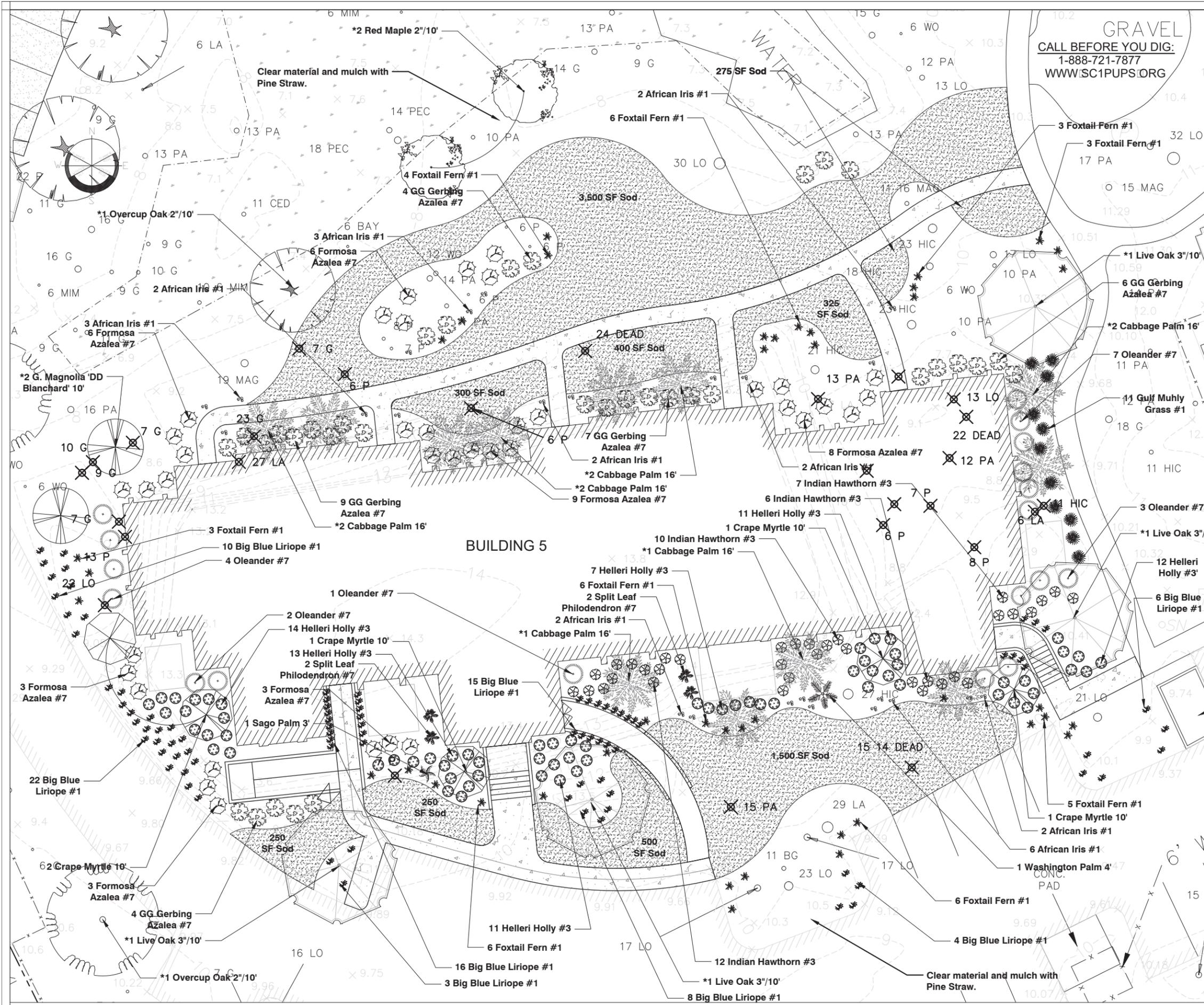
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CORAL SANDS RESORT, PHASES 5-7
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
ELITE RESORT GROUP, INC.
Hilton Head Island, South Carolina
CONSTRUCTION DETAILS

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PROJECT #:	TDL008
DATE:	04/26/16
DESIGNED BY:	WGP
CHECKED BY:	HED
SCALE:	AS NOTED

SHEET C704



GRAVEL
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 WWW.SC1PUPS.ORG



No.	Revision Description	Date
1		

CORAL SANDS RESORT
 PHASE I
 LANDSCAPE PLAN
 HILTON HEAD, SOUTH CAROLINA

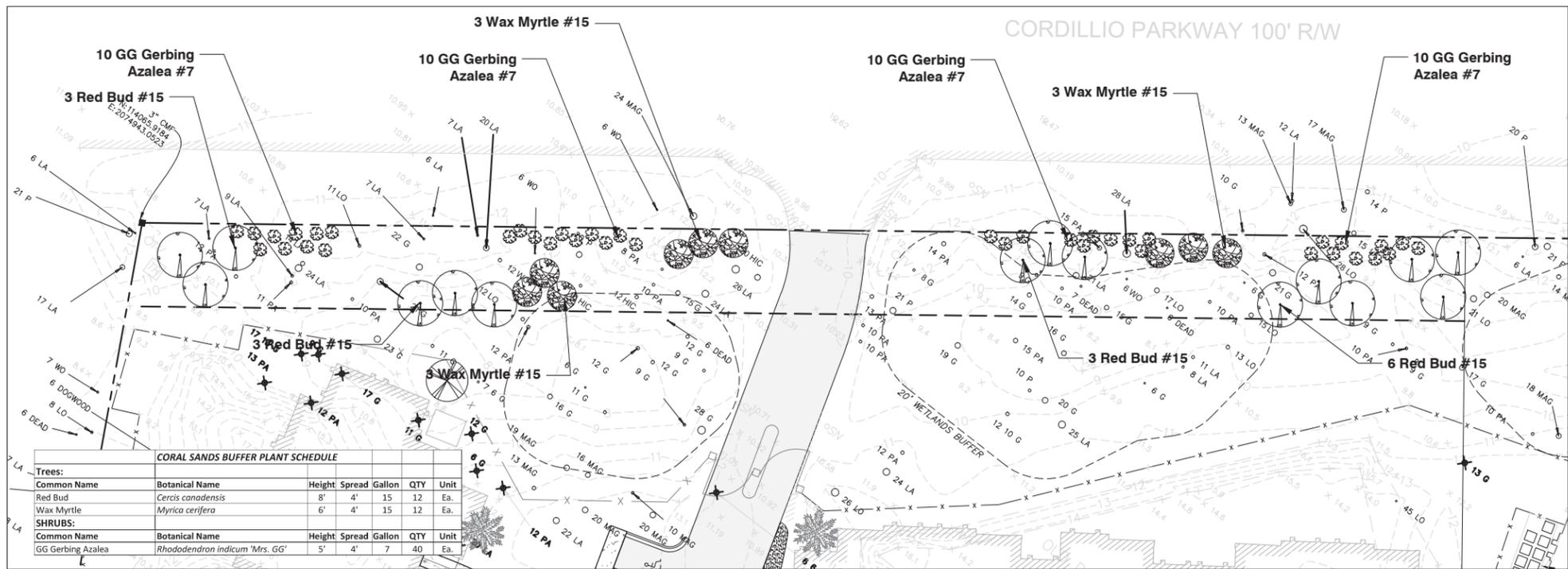


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 m.brock@mbro.com

Drawn By: M. Brock
 Drawing Scale: 1" = 20'
 Drawn Date: 04.19.16
 Checked By: M. Brock
 Project ID: 16101

Landscape Plan
 Sheet No. LS-103

BUILDING 5 LANDSCAPE PLAN- 1"=10'



CORDILLIO PARKWAY BUFFER LANDSCAPE PLAN- 1" x 20'

Buffer Note:
 FRONTAGE ALONG CORDILLO PARKWAY: 400 LF
 BUFFER TYPE B- 25; WIDTH REQUIREMENTS:
 OVER-STORY TREE: 3/100' = 12 OVER-STORY TREES
 UNDER-STORY TREE: 6/100' = 24 UNDER-STORY TREES
 SHRUBS: 10/100' = 40 SHRUBS
 * THE EXISTING OVER-STORY TREES WILL FULFILL THE REQUIREMENT FOR THE BUFFER.



TREE MITIGATION LANDSCAPE PLAN- 1" x 60'

Tree Mitigation:

Building site 5:
 Pines- 6", 6", 6", 7", 7", 8", 13" = 53
 Sweet Gum- 7", 7", 7", 9", 10", 10", 13", 23" = 86"
 Laurel Oak- 6", 7", 27" = 40"
 Live Oak- 13", 22" = 35"
 Hickory- 11"
 Palm- 12", 13", 15" = 40"
Building site 6:
 Sweet Gum- 6", 9", 11", 12", 13", 17", 17" = 85"
 Laurel Oak- 6", 6", 10", 19", 20", 23", 28" = 112"
 Palm- 9", 10", 11", 12", 12", 13", 17", 17" = 113"
Building site 7:
 Sweet Gum- 13" = 13"
 Laurel Oak- 30" = 30"
 Palm- 9", 14", 16" = 39"

Category 1- 227" Protected= 22-2"/44" mitigated trees required.
 Category 2-195" Protected= 19-2"/38" mitigated trees required.
 Category 3-205" Protected= 20-1"/20" mitigated trees required.

Proposed Trees:
 Category 1: 11-Live Oak 3" Caliper
 4-Southern Magnolia 3" Caliper
 15 @ 3" Trees = 45"
 Category 2: 4 Red Maple 2" Caliper
 5 River Birch 2" Caliper
 5 Overcup Oak 2" Caliper
 5 American Elm 2" Caliper
 19 @ 2" Trees = 38"
 Category 3: 22 Cabbage Palms

CORAL SANDS MITIGATION TREES PLANT SCHEDULE						
Trees:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	*Cabbage Palm	Sabal Palmetto	16'	10'	B&B	22 Ea.
	*Red Maple	Acer Rubrum 'Autumn Flame'	10'	6'	2"	4 Ea.
	*Live Oak	Quercus virginiana	12-14'	6'	3"	11 Ea.
	American Elm	Ulmus americana 'Princeton'	10'	6'	2"	5 Ea.
	River Birch	Betula nigra 'Dura Heat'	10'	6'	2"	5 Ea.
	Overcup Oak	Washingtonia robusta	10'	6'	2"	5 Ea.
	*Grand Magnolia 'DD Blanchard'	Magnolia grandiflora 'DD Blanchard'	12-14'	6'	3"	4 Ea.

* See LS-101 thru LS-103

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LANDSCAPE NOTES:

- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE COVERED IN HARDWOOD MULCH.
- ALL MULCH AREAS SHALL BE A MINIMUM OF 3" DEEP HARDWOOD MULCH (TRIPLE GROUND).
- LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING. (locate # 1-888-721-7877)
- TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT. ALL GROUND AREAS SHOULD BE INCLUDED IN BID PROPOSAL.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFF.
- ALL TREES NOT LOCATED IN PLANT BEDS MUST HAVE A MULCH RING AT LEAST 4' IN DIAMETER.
- WARRANTY:**
 THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF WARRANTY AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.
- ALL PLANT MATERIAL MUST MEET MINIMUM SIZE/HEIGHT STANDARDS AND MUST COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK GUIDELINES.
- ALL SIZES SPECIFIED ARE A MINIMUM SIZE REQUIRED AT THE TIME OF PLANTING BASED ON NURSERY STOCK AVAILABILITY AT TIME OF INSTALLATION.
- IRRIGATION: LANDSCAPE CONTRACTOR SHALL INSTALL A PERMANENT IRRIGATION SYSTEM ON ALL PROPOSED LANDSCAPE. LS CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GENERAL CONTRACTOR TO LOCATE IRRIGATION SLEEVES. IRRIGATION LINES, HEADS, THE CORRESPONDING ZONES SHALL BE INSTALLED BASED ON TYPE OF PLANT MATERIAL AND PER MANUFACTURER SPECIFICATIONS. CONTRACTOR TO ALLOW FOR TWO ADDITIONAL ZONES ON THE IRRIGATION SYSTEM FOR PHASE II INSTALLATION.
- THE UNDERGROUND IRRIGATION SYSTEM SHALL COMPLY WITH ALL LOCAL CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- LANDSCAPE CONTRACTOR SHALL INSPECT ALL CONTAINER PLANTS FOR GIRDLING ROOTS PRIOR TO INSTALLATION. ALL PLANTS WITH GIRDLING ROOTS SHALL BE REJECTED AND REPLACED WITH HEALTHY PLANT STOCK.
- AREAS ALONG PARKING PERMETER TO BE RE-ESTABLISHED TO GRADE, MULCHED WITH PINE STRAW, AND MAINTAINED TO NATURAL VEGETATION.

CORAL SANDS BUILDING 5 PLANT SCHEDULE						
Trees:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	*Cabbage Palm	Sabal Palmetto	16'	10'	B&B	11 Ea.
	Crape Myrtle	Lagerstroemia indica	10'	6'	B&B	5 Ea.
	*Live Oak	Quercus virginiana	10'	5'	3"	4 Ea.
	Sago Palm	Cycas revoluta	3'	3'	15	1 Ea.
	Washington Palm	Washingtonia robusta	3'	3'	15	1 Ea.
	*Grand Magnolia 'DD Blanchard'	Magnolia grandiflora 'DD Blanchard'	10'	6'	3"	2 Ea.
SHRUBS:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	Formosa Azalea	Rhododendron	24"	18"	3	38 Ea.
	GG Gerbing Azalea	Rhododendron indicum 'Mrs. GG'	5'	4'	3	29 Ea.
	Oleander	Nerium oleander (White)	24"	24"	7	18 Ea.
	Helleri Holly	Ilex crenata 'Helleri'	24"	20"	3	68 Ea.
	Split leaf Philodendron	Philodendron bipenifolium	36"	24"	7	4 Ea.
	Indian Hawthorn	Rhaphiolepis indica	16"	12"	3	35 Ea.
GROUNDCOVERS, VINES & PERENNIALS:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	African Iris	Diets iridioides	12-15"	6-8"	1	24 Ea.
	Big Blue Liriope	Muhlenbergia capillaris	12-15"	6-8"	1	91 Ea.
	Gulf Muhly Grass	Muhlenbergia capillaris	12-15"	6-8"	1	11 Ea.
	Foxtail fern	Asparagus aethiopicus	12-15"	18"	1	42 Ea.
GRASS & MULCH:	Sod	Centipede				7300 SF
	Mulch	Pine Straw				10000 SF

*Indicates Required mitigation tree. Specified size is required.

CORAL SANDS BUILDING 6 PLANT SCHEDULE						
Trees:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	*Cabbage Palm	Sabal Palmetto	16'	10'	B&B	6 Ea.
	Crape Myrtle	Lagerstroemia indica	10'	6'	B&B	9 Ea.
	*Live Oak	Quercus virginiana	10'	5'	3"	4 Ea.
	Sago Palm	Cycas revoluta	3'	3'	15	1 Ea.
	Washington Palm	Washingtonia robusta	3'	3'	15	3 Ea.
	*Grand Magnolia 'DD Blanchard'	Magnolia grandiflora 'DD Blanchard'	10'	6'	3"	2 Ea.
SHRUBS:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	Formosa Azalea	Rhododendron	24"	18"	3	0 Ea.
	GG Gerbing Azalea	Rhododendron indicum 'Mrs. GG'	5'	4'	3	8 Ea.
	Oleander	Nerium oleander (White)	24"	24"	7	2 Ea.
	Helleri Holly	Ilex crenata 'Helleri'	24"	20"	3	46 Ea.
	Split leaf Philodendron	Philodendron bipenifolium	36"	24"	7	4 Ea.
	Indian Hawthorn	Rhaphiolepis indica	16"	12"	3	39 Ea.
GROUNDCOVERS, VINES & PERENNIALS:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	African Iris	Diets iridioides	12-15"	6-8"	1	0 Ea.
	Big Blue Liriope	Muhlenbergia capillaris	12-15"	6-8"	1	76 Ea.
	Gulf Muhly Grass	Muhlenbergia capillaris	12-15"	6-8"	1	11 Ea.
	Foxtail fern	Asparagus aethiopicus	12-15"	18"	1	20 Ea.
GRASS & MULCH:	Sod	Centipede				3000 SF
	Mulch	Pine Straw				5000 SF

*Indicates Required mitigation tree. Specified size is required.

CORAL SANDS BUILDING 7 PLANT SCHEDULE						
Trees:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	Cabbage Palm	Sabal Palmetto	16'	10'	B&B	6 Ea.
	Crape Myrtle	Lagerstroemia indica	10'	6'	B&B	5 Ea.
	Live Oak	Quercus virginiana	10'	5'	2.5"	4 Ea.
	Sago Palm	Cycas revoluta	3'	3'	15	2 Ea.
	Washington Palm	Washingtonia robusta	3'	3'	15	1 Ea.
	Little Gem Magnolia	Magnolia grandiflora 'Little Gem'	10'	6'	15	0 Ea.
SHRUBS:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	Formosa Azalea	Rhododendron	24"	18"	3	9 Ea.
	GG Gerbing Azalea	Rhododendron indicum 'Mrs. GG'	5'	4'	3	15 Ea.
	Oleander	Nerium oleander (White)	24"	24"	7	4 Ea.
	Helleri Holly	Ilex crenata 'Helleri'	24"	20"	3	46 Ea.
	Split leaf Philodendron	Philodendron bipenifolium	36"	24"	7	4 Ea.
	Indian Hawthorn	Rhaphiolepis indica	16"	12"	3	32 Ea.
GROUNDCOVERS, VINES & PERENNIALS:	Common Name	Botanical Name	Height	Spread	Gallon	QTY Unit
	African Iris	Diets iridioides	12-15"	6-8"	1	0 Ea.
	Big Blue Liriope	Muhlenbergia capillaris	12-15"	6-8"	1	69 Ea.
	Gulf Muhly Grass	Muhlenbergia capillaris	12-15"	6-8"	1	32 Ea.
	Foxtail fern	Asparagus aethiopicus	12-15"	18"	1	11 Ea.
GRASS & MULCH:	Sod	Centipede				3500 SF
	Mulch	Pine Straw				7500 SF

*Indicates Required mitigation tree. Specified size is required.



No.	Description	Date
1		

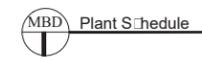
CORAL SANDS RESORT
 PHASE I
 LANDSCAPE PLAN
 HILTON HEAD SOUTH CAROLINA

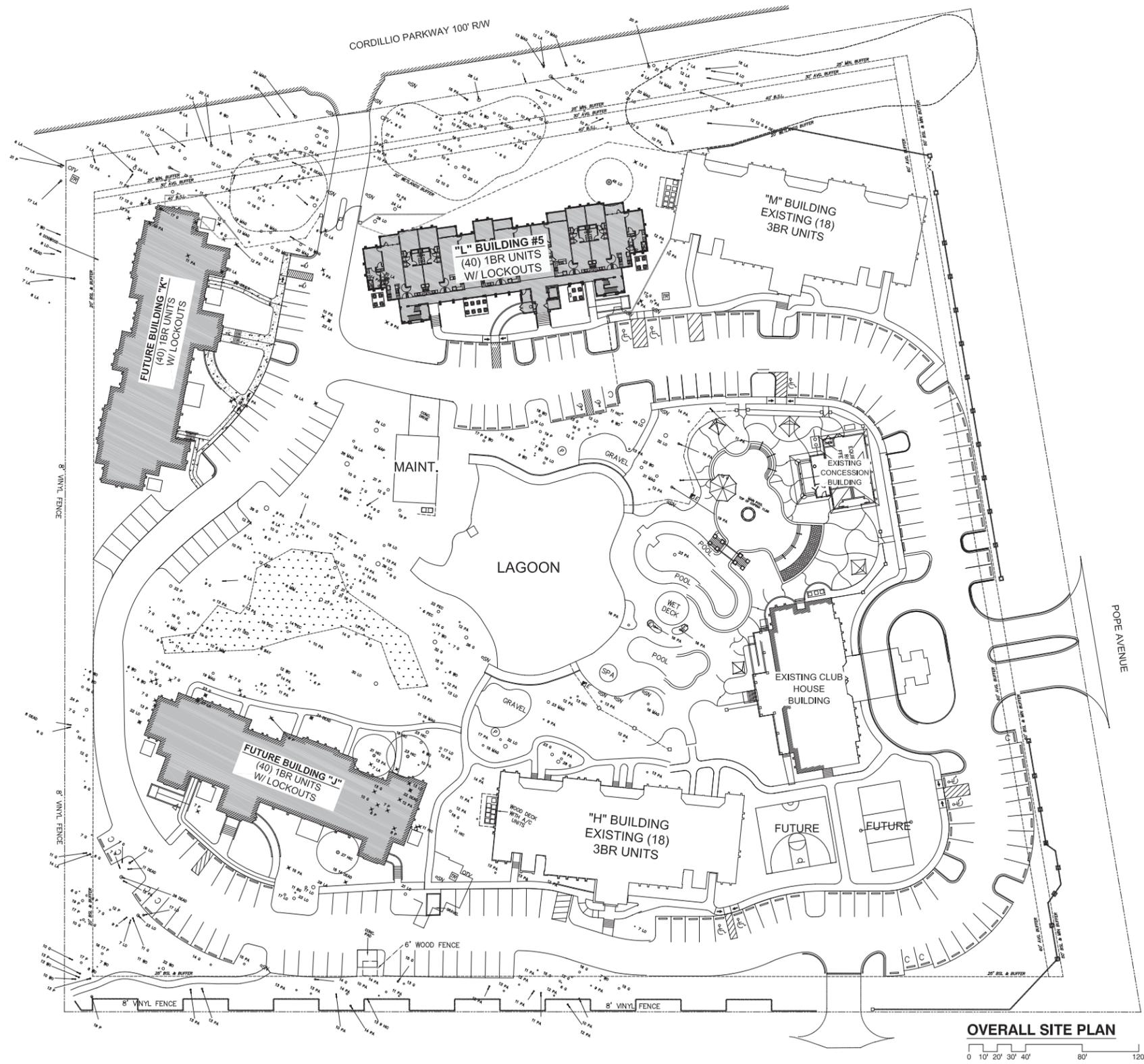


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Drawn By: M. Broc
 Drawing Scale: 1" = 20'
 Drawn Date: 04.19.16
 Checked By: M. Broc
 Project ID: 16101

DETAILS
 Sheet No. 10
LS-104





OVERALL SITE PLAN
 0 10' 20' 30' 40' 80' 120'

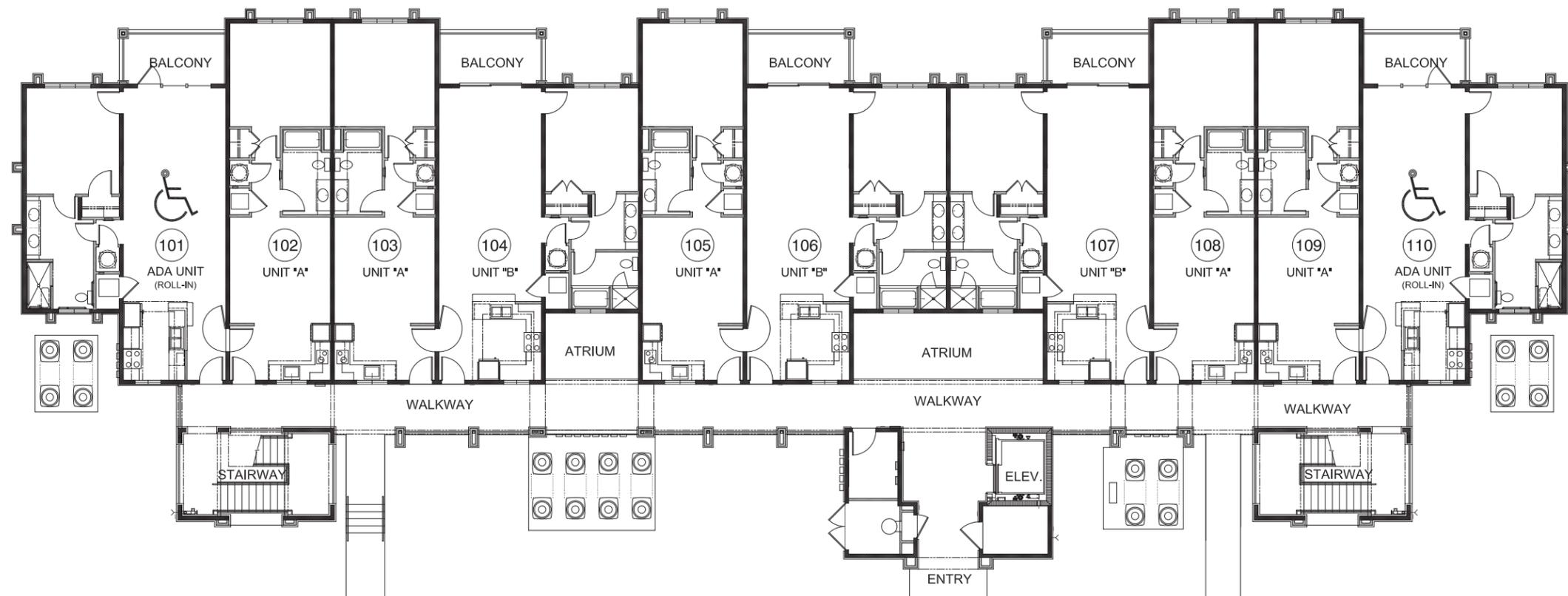
USSERY/RULE ARCHITECTS P.C.
 1804-A FREDERICA ROAD
 ST. SIMONS ISLAND, GA. 31522

Coral Sands North
 HILTON HEAD ISLAND, SOUTH CAROLINA

1418
 DATE
 4-26-16

OVERALL
 SITE PLAN

1
 of 7

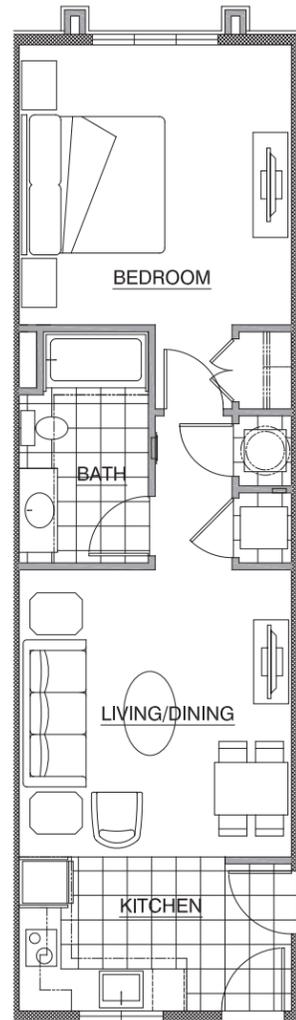


BUILDING "L" & "K"
1ST (GROUND) FLOOR PLAN 2ND, 3RD AND 4TH FLOORS SIMILAR
 ADA UNITS ON 1ST FLOOR

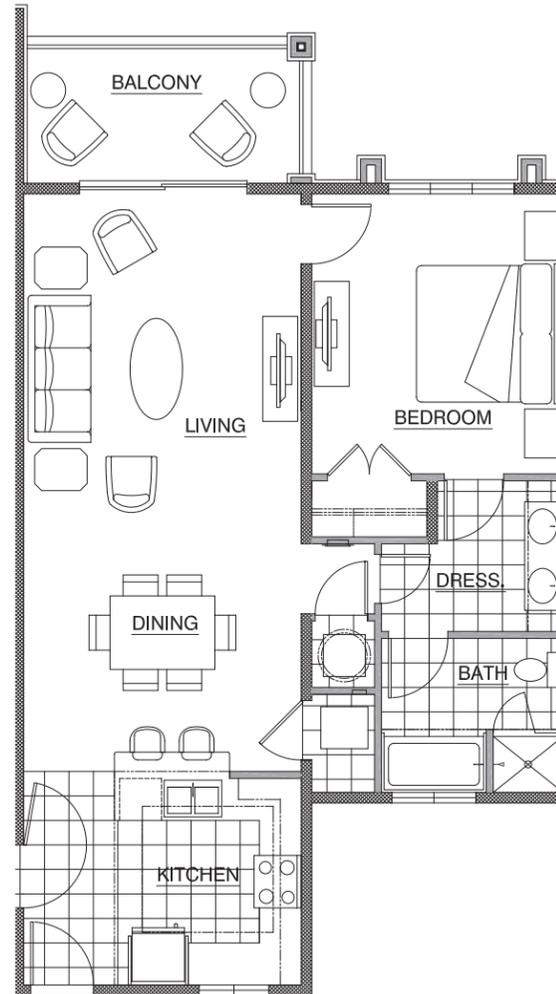


BUILDING "L" & "K" SQUARE FOOTAGE

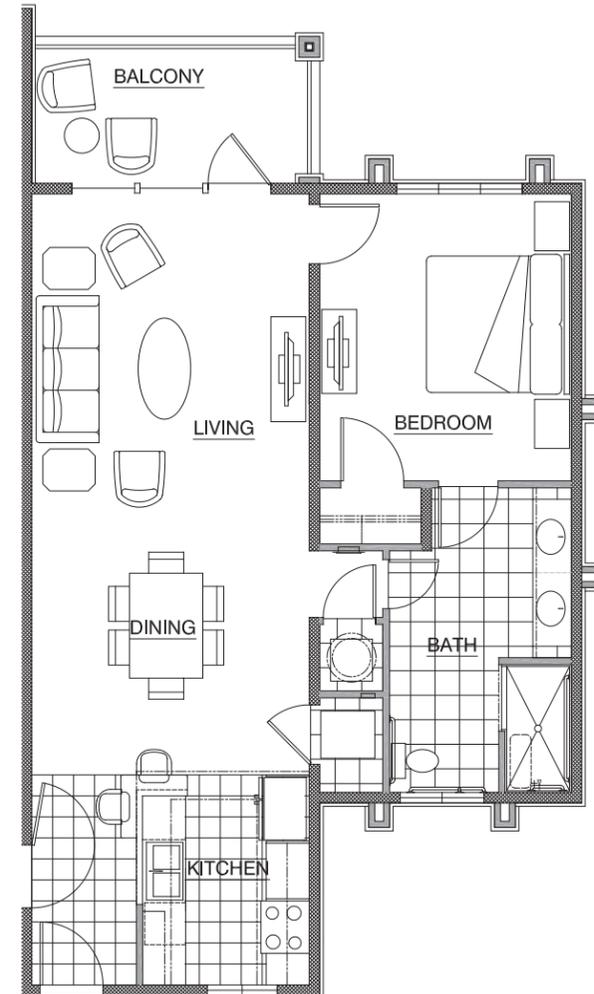
FLOOR	GROSS (sq. ft.)
1ST FLR.	10,423 sq ft
2nd Flr.	10,423 sq ft
3rd Flr.	10,423 sq ft
4th Flr.	10,423 sq ft
TOTAL	41,692 sq ft



UNIT "A" PLAN



UNIT "B" PLAN



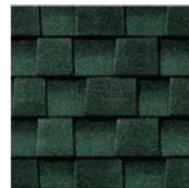
ADA UNIT PLAN





1 ROOF

ASPHALT SHINGLES GAF TIMBERLINE HD, High Definition Shingles. Color: HUNTER GREEN



2 FASCIA

ALUMINUM TRIM COIL- EQUAL TO "PAC-CLAD" BY "PETERSEN ALUMINUM" W/ KYNAR 500 FINISH, COLOR: SANDSTONE



3 SOFFIT

"CERTAINTED" BEADED, INVISIBLY VENTED, COLOR: SAVANNAH WICKER



4 STUCCO

3 LAYER HARD COAT- SMOOTH FINISH COAT EQUAL TO "STO- POWERFLEX SILCO" CUSTOM COLOR TO MATCH "SHERWIN WILLIAMS" CASA BLANCA #SW2060



5 TRIM

"HARDITRIM" SMOOTH FIBERCEMENT BOARD, COLOR: "SHERWIN WILLIAMS" WOOL SKEIN #SW6148



6 VERTICAL SIDING

"HARDIPLANK" SMOOTH FIBERCEMENT BOARD ARRANGED BOARD-ON-BOARD W/ 3/4" +/- GAP AND 7" +/- EXPOSURE, COLOR: "SHERWIN WILLIAMS" UNIVERSAL KHAKI # SW6150



7 RUSTICATED BASE

ALT (1) "CULTURED STONE" WALL VENEER- PATTERN: CORAL STONE



8 TEXTURED STUCCO

ALT (3) HEAVY TEXTURED STUCCO PATTERN: SKIP TROWEL COLOR: RELAXED KHAKI #SW6149



9 RAILING

ALUMINUM GUARDRAIL BY MOULTRIE MANUFACTURING- FEDERAL STYLE W/ 3/4" X 1 1/2" BALUSTERS, CUSTOM COLOR TO MATCH CASA BLANCA #SW2060



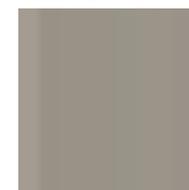
10 DOORS

FLUSH STEEL DOORS COLOR: ROSEMARY #SW6187



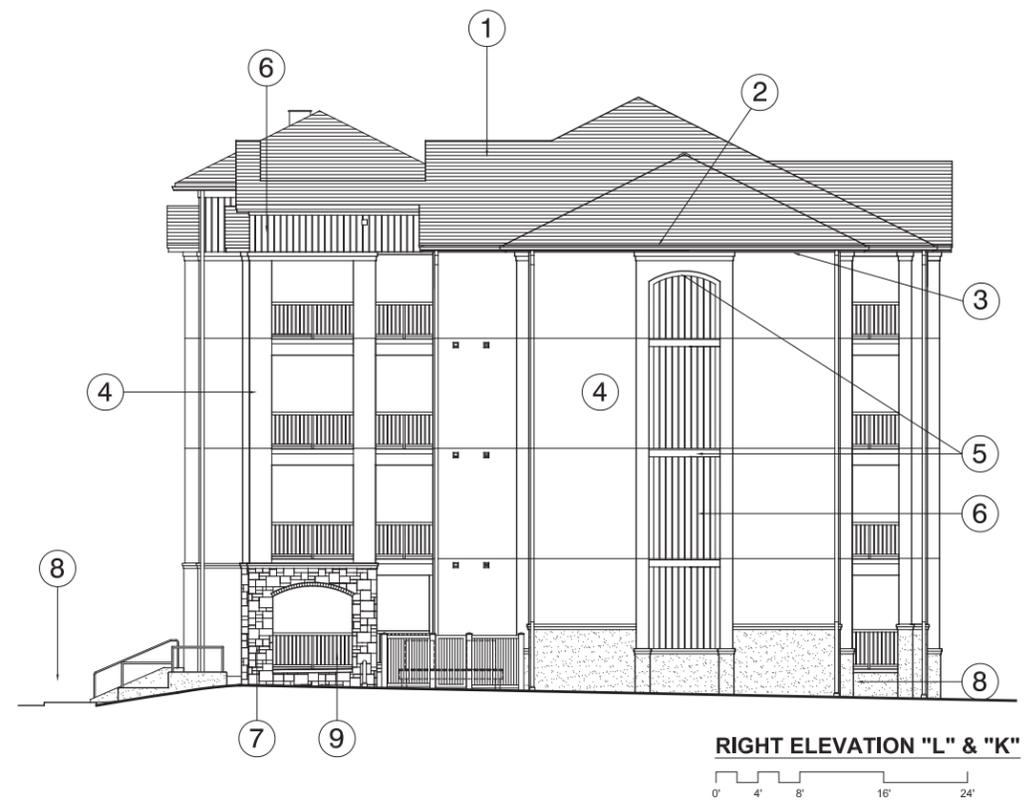
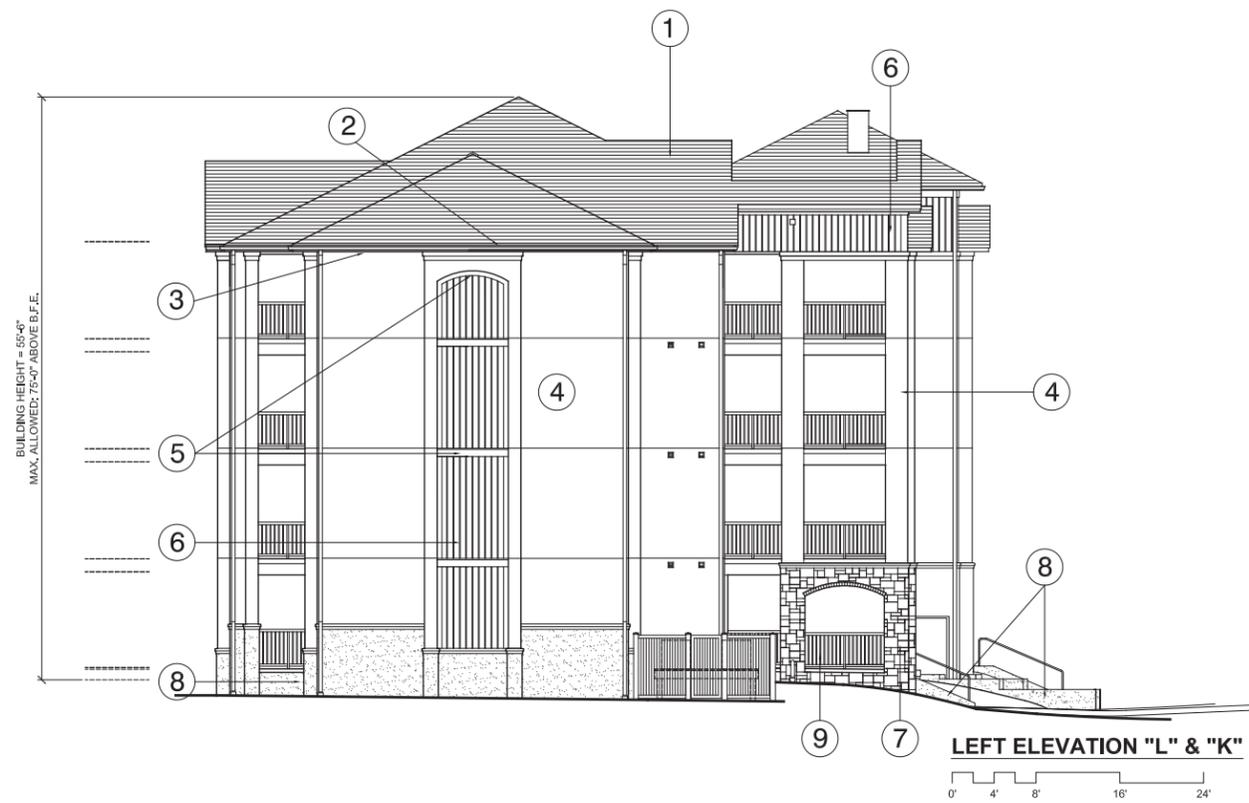
11 WINDOWS

CLAD WOOD "ANDERSEN" WINDOWS COLOR: SANDSTONE



NOTE:

COLORS AND MATERIALS TO MATCH EXISTING CORAL SANDS NORTH BUILDINGS



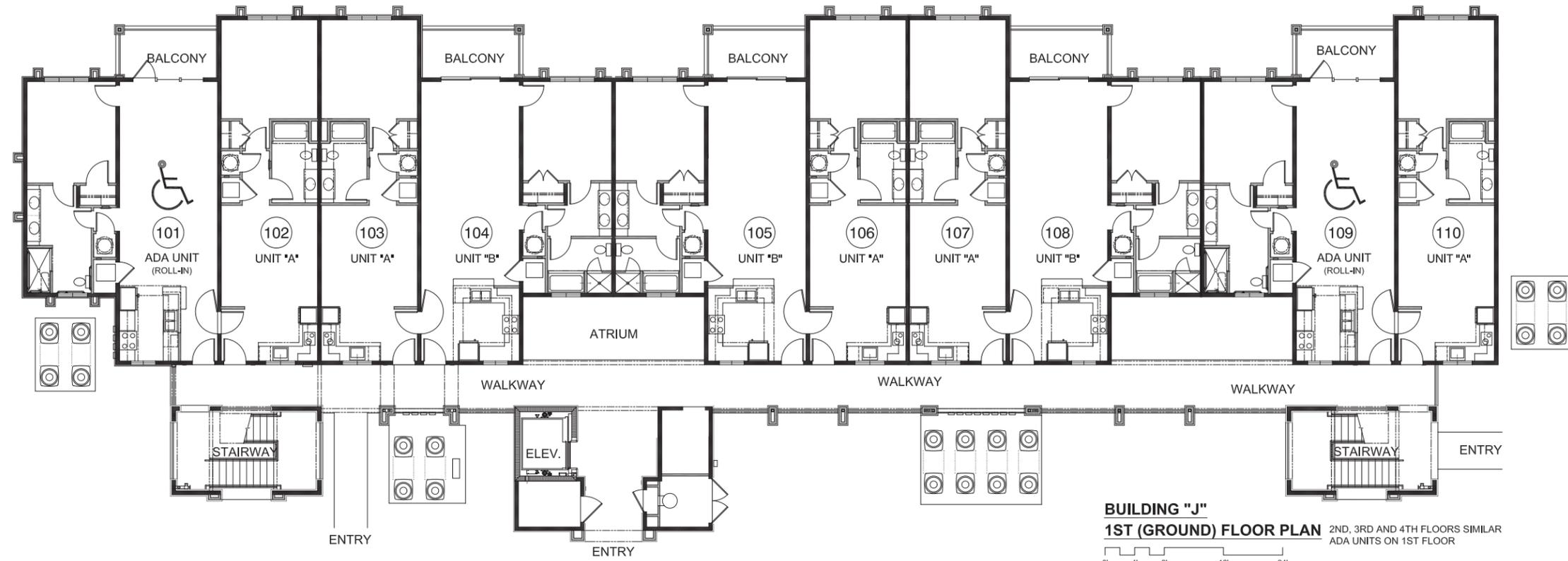
USSERY/RULE ARCHITECTS P.C.
1804-A FREDERICA ROAD
ST. SIMONS ISLAND, GA. 31522

Coral Sands North
HILTON HEAD ISLAND, SOUTH CAROLINA

1418
DATE
4-26-16

EXTERIOR ELEVATIONS
BUILDING "L" & "K"

6
of 7



BUILDING "J"
1ST (GROUND) FLOOR PLAN 2ND, 3RD AND 4TH FLOORS SIMILAR
 ADA UNITS ON 1ST FLOOR

0' 4' 8' 16' 24'



FRONT ELEVATION "J" BUILDING ALL EXTERIOR MATERIALS TO MATCH
 L & K BUILDINGS

0' 4' 8' 16' 24'

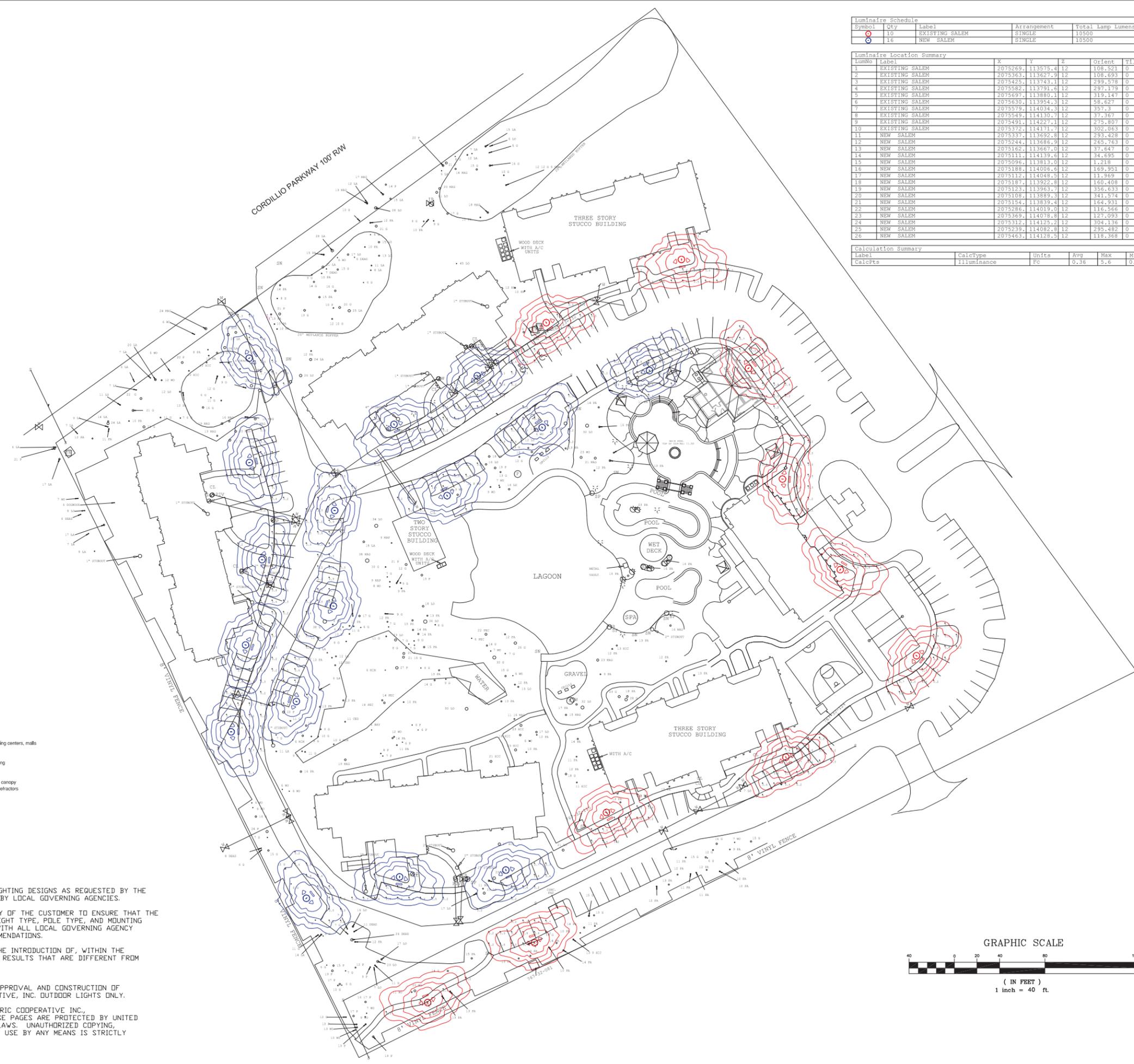
USSERY/RULE ARCHITECTS P.C.
 1804-A FREDERICA ROAD
 ST. SIMONS ISLAND, GA. 31522

Coral Sands North
 HILTON HEAD ISLAND, SOUTH CAROLINA

1418
 DATE
 4-26-16

BUILDING "J"
 PLAN & ELEVATION

7
 of 7



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
10		EXISTING SALEM	SINGLE	10500	0.680	150W HPS SALEM 12' MOUNTING HEIGHT 16' POLE
16		NEW SALEM	SINGLE	10500	0.680	150W HPS SALEM 12' MOUNTING HEIGHT 16' POLE

Luminaire Label	X	Y	Z	Orient	Tilt
1	2075269	113575.4	12	108.521	0
2	2075363	113627.9	12	108.693	0
3	2075425	113743.1	12	299.578	0
4	2075582	113791.6	12	297.179	0
5	2075697	113880.1	12	319.147	0
6	2075630	113954.3	12	58.627	0
7	2075579	114034.3	12	357.3	0
8	2075549	114130.7	12	37.367	0
9	2075491	114227.1	12	275.807	0
10	2075372	114171.7	12	302.063	0
11	2075337	113692.8	12	293.428	0
12	2075244	113686.9	12	265.763	0
13	2075162	113667.0	12	37.647	0
14	2075111	114139.6	12	34.695	0
15	2075096	113813.0	12	1.218	0
16	2075188	114006.6	12	169.951	0
17	2075112	114048.3	12	111.969	0
18	2075187	113922.8	12	160.408	0
19	2075123	113963.7	12	356.633	0
20	2075108	113889.3	12	341.574	0
21	2075154	113839.4	12	164.921	0
22	2075286	114019.0	12	116.566	0
23	2075369	114078.8	12	127.093	0
24	2075312	114125.2	12	304.136	0
25	2075239	114082.8	12	295.482	0
26	2075463	114129.3	12	119.368	0

Label	CalcType	Units	Avg	Max	Min
CalcFts	Illuminance	Fc	0.36	5.6	0.2



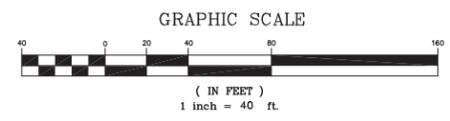
SALEM

- APPLICATIONS**
Residential roadways, walkways, shopping centers, malls
- SPECIFICATIONS**
Die-cast aluminum housing
Cut-off optics
Hinged canopy
Stainless steel latch to secure canopy
Acrylic or polycarbonate resin refractors
Black finish

- NOTES**
- P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 - IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 - ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.

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PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: T.J.H.
CHECKED BY: ENG
DRAWN BY: AKM
DATE: 4/14/16
SCALE: 1"=40'
PROJECT NO.: 1604004L
MAP NO: MAP

SHEET NO.
1
OF
1

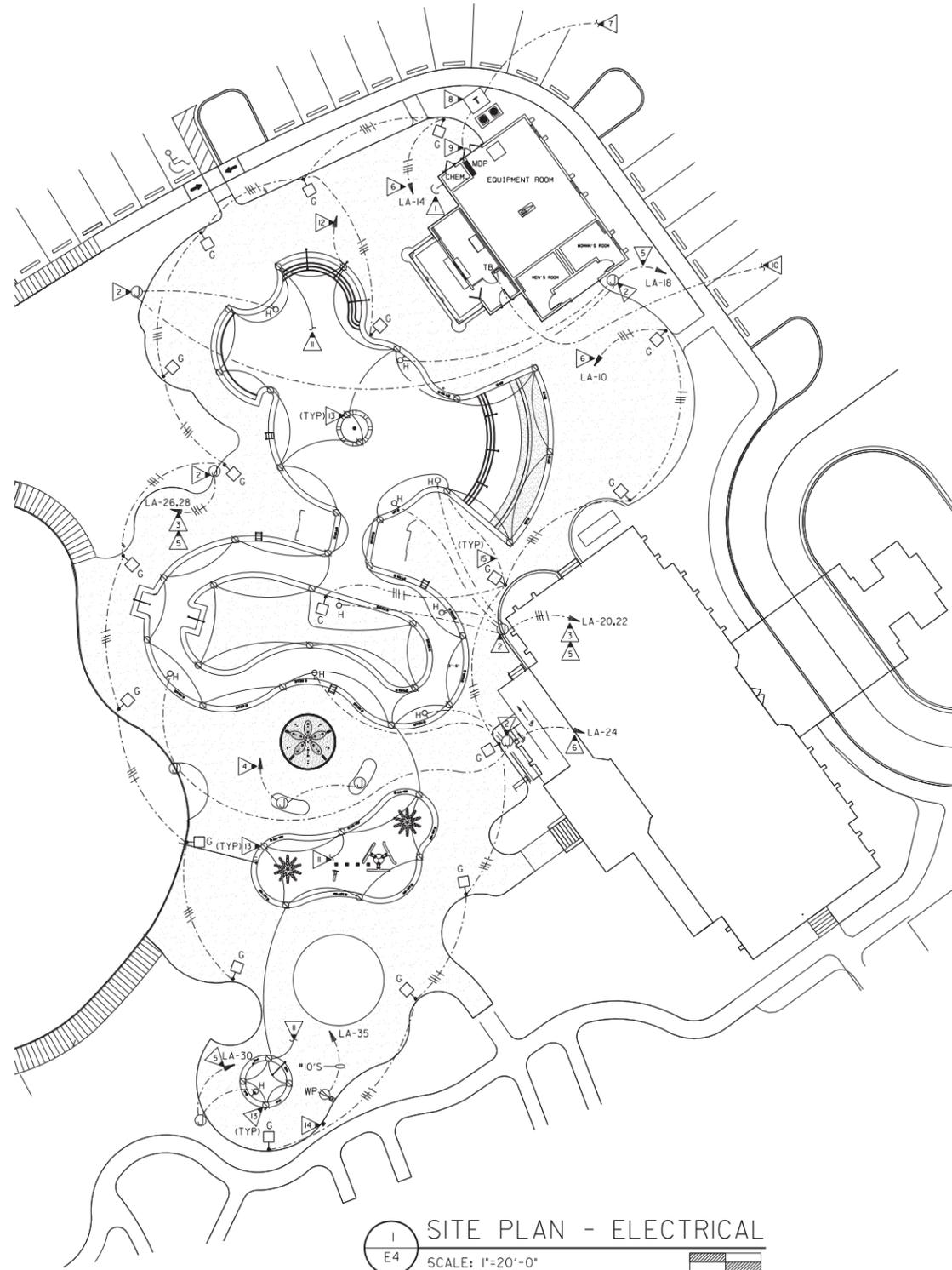
LIGHTING_PROPOSAL
CORAL_SANDS_RESORT
CORDILLO_DRIVE
HILTON_HEAD_ISLAND
BEAUFORT_COUNTY,SOUTH_CAROLINA

NAME: DRIVE\DIRECTOR\FILENAME.DWG

GENERAL NOTES - LOCATION OF UTILITY COMPANY PAD MOUNTED TRANSFORMER:

1. TRANSFORMER PAD LOCATIONS SHALL BE A MINIMUM OF 10 FT.-0 IN. FROM ANY BUILDING OVERHANGS, CANOPIES, EXTERIOR WALLS, BALCONY, EXTERIOR STAIRS AND OR WALKWAYS CONNECTED TO THE BUILDING.
2. TRANSFORMER PAD EDGE SHALL BE NO LESS THAN 14 FT.-0 IN. FROM ANY DOOR WAY.
3. TRANSFORMER PAD EDGE SHALL BE NO LESS THAN 10 FT.-0 IN. FROM ANY WINDOWS OR OTHER OPENINGS.
4. IF THE BUILDING HAS AN OVERHANG THE 10 FT.-0 IN. CLEARANCE SHALL BE MEASURED FROM A POINT BELOW THE EDGE OF THE OVERHANG ONLY IF THE BUILDING IS 3 STORIES OR LESS. IF THE BUILDING IS 4 STORIES OR MORE 10 FT.-0 IN. SHALL BE MEASURED FROM THE OUTSIDE BUILDING WALL.
5. FIRE ESCAPES, OUTSIDE STAIRS, AND COVERED WALKWAYS ATTACHED TO OR BETWEEN BUILDINGS, SHALL BE CONSIDERED PART OF THE BUILDING.

NOTE: THIS INFORMATION HAS BEEN OBTAINED FROM THE NFPA SECTION 450-27 AND THE OFFICE OF INSURANCE AND SAFETY FIRE COMMISSIONER CHAPTER 120-3-3.



1 SITE PLAN - ELECTRICAL
 E4 SCALE: 1"=20'-0"
 0 10' 20'

GENERAL NOTES: (THIS SHEET ONLY)

- A. PROVIDE A 10 FT. X 3/4 IN. COPPER CLAD GROUND ROD 5 FT. AWAY FROM EACH FIXED POOL UMBRELLA AND A #8C CONDUCTOR FROM GROUND ROD TO UMBRELLA POLE. COORDINATE WITH POOL CONSULTANT DRAWINGS FOR EXACT LOCATION AND QUANTITY OF UMBRELLAS.
- B. ALL UNDERGROUND WIRING SHALL CONFORM TO N.E.C. 680.10.
- C. ALL POOL GROUNDING SHALL CONFORM TO N.E.C. 680.26.
- D. BOND ALL TYPE 'G' FIXTURES TO POOL GROUNDING SYSTEM.

KEYED NOTES: (THIS SHEET ONLY)

- A. PROVIDE AN MUSHROOM TYPE PUSH BUTTON IN NEMA 3R ENCLOSURE AT THIS LOCATION THAT WILL ACTIVATE SHUNT TRIP BREAKER SERVING PANEL 'LB' IN PANEL 'MDP'. PROVIDE A LABEL WITH 4 IN. HIGH RED LETTERS ON A WHITE BACKGROUND THAT STATES 'POOL EMERGENCY CUT OFF SWITCH'.
- B. POOL LIGHT JUNCTION BOX TO BE PROVIDED BY POOL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR. REFER TO 'YEAR ROUND POOL' DRAWINGS, DETAIL '5/13'.
- C. PROVIDE 2 LIGHTS PER CIRCUIT FROM THIS JUNCTION BOX.
- D. ROUTE 3#12, 3/4 IN. C. TO LOW VOLTAGE TRANSFORMER MOUNTED ADJACENT TO WET DECK CONTROLLER IN EQUIPMENT ROOM. REFER TO KEYED NOTE NUMBER 10 ON 'E3'. PROVIDE UNDERGROUND CONDUITS TO LIGHT FIXTURES AS SHOWN ON 'YEAR ROUND POOL' DRAWINGS, DETAIL '1/15'. PROVIDE 3#12'S TO EACH LIGHT FIXTURE. LIGHT FIXTURES AT WET DECK ARE TO BE PROVIDED BY POOL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR. REFER TO 'YEAR ROUND POOL' DRAWINGS, DETAIL '2/16' FOR LIGHT FIXTURE LAYOUT DIMENSIONING PLAN.
- E. PROVIDE #10'S ENTIRE CIRCUIT. ROUTE CIRCUIT(S) THRU LIGHTING CONTACTOR ADJACENT TO PANEL 'LA'.
- F. PROVIDE 2#8, #10G, 1/2 IN. C. ENTIRE CIRCUIT. ROUTE CIRCUIT THRU LIGHTING CONTACTOR ADJACENT TO PANEL 'LA'.
- G. UTILITY COMPANY PRIMARY. COORDINATE WITH UTILITY COMPANY FOR EXACT ROUTING.
- H. UTILITY COMPANY PAD MOUNTED TRANSFORMER. REFER TO TRANSFORMER NOTES ON THIS SHEET.
- I. SECONDARY FROM TRANSFORMER REFER TO RISER DIAGRAM '2/E3'.
- J. ROUTE TO NEAREST TELEPHONE AND CABLE TV UTILITIES. COORDINATE WITH SERVING UTILITIES PRIOR TO ROUGH-IN. REFER TO DETAIL 3/E1.
- K. CONNECT ALL METAL ELEMENTS OF POOL.
- L. CONNECT POOL GROUNDING GRID TO ELECTRICAL POWER SYSTEM GROUND.
- M. 10 FT. X 5/8 IN. COPPER CLAD STEEL GROUND ROD (TYPICAL).
- N. PROVIDE A TIMER SWITCH IN A NEMA 3R ENCLOSURE TO CONTROL SPA JET PUMPS AND A MUSHROOM TYPE PUSH BUTTON IN NEMA 3R ENCLOSURE THAT IS INTERCONNECTED TO ALL SPA PUMP MOTORS SHUNT TRIP BREAKERS IN PANEL 'LB'. PROVIDE 3#12, 3/4 IN. C. TO PANEL 'LB' TO INTERCONNECT WITH SHUNT TRIP BREAKERS AND PROVIDE A 3#12, 3/4 IN. C. FROM TIMER SWITCH TO SPA JET PUMP MOTOR STARTERS. SWITCHES SHALL BE MOUNTED TO A LITHONIA 'K58-R5-L/E-L/AB-099' BOLLARD OR EQUAL BY COOPER, EMCO OR LIGHTOLIER. CONDUIT SHALL BE ROUTED UP INSIDE OF BOLLARD. PROVIDE A LABEL WITH 4 IN. HIGH RED LETTERS ON A WHITE BACKGROUND THAT STATES 'SPA EMERGENCY CUT OFF SWITCH'.
- O. REFER TO GENERAL NOTE 'D' ON THIS SHEET.



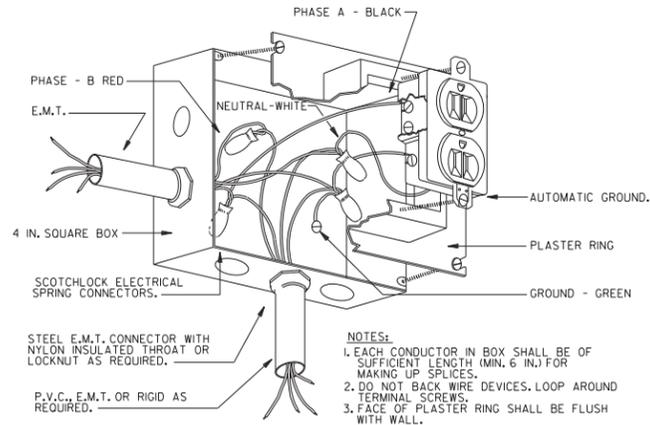
USSERY/RULE ARCHITECTS P.C.
 1804 - A FREDERICA ROAD
 ST. SIMONS ISLAND, GEORGIA 31522
 PH. 912-638-6688 FAX 912-638-6828

Coral Sands North
 HILTON HEAD ISLAND, SOUTH CAROLINA
POOL HOUSE

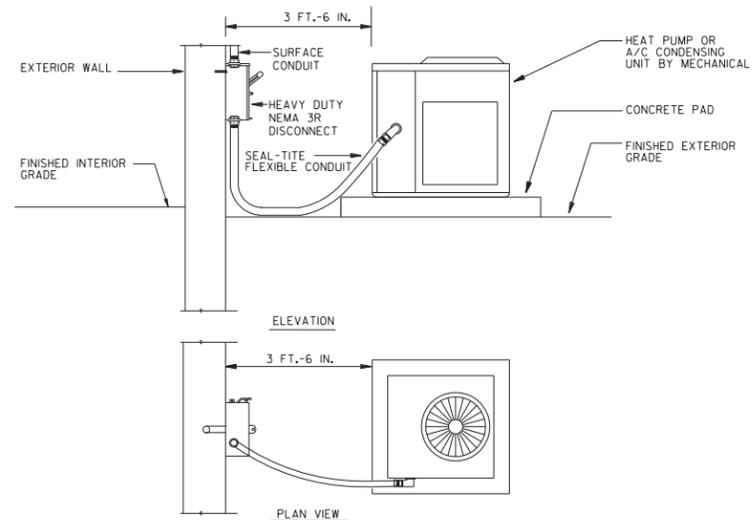
0324
02-24-10



E4



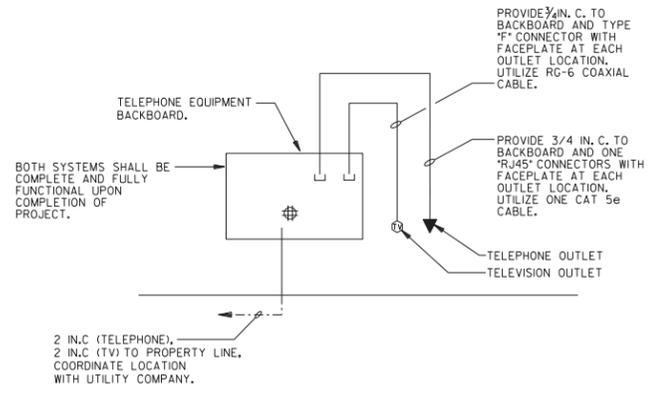
1 TYPICAL RECEPTACLE CONNECTION DETAIL
EI NOT TO SCALE



2 DISCONNECT SWITCH - TYPICAL MOUNTING DETAIL
EI NOT TO SCALE

LIGHTING FIXTURE SCHEDULE		
TYPE	DESCRIPTION	MANUFACTURER
A	CEILING FAN, TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. FAN SHALL BE 120 VOLT.	
B	DOWNLIGHT, RECESSED SELF FLANGED, 6 IN. APERTURE CLEAR SPECULAR LOW IRIDESCENT REFLECTOR, DAMP LOCATION LISTED. ALL FIXTURES SHOWN HACHED ON DRAWINGS SHALL HAVE INTEGRAL BATTERY BACKUP. LAMPS: 26 WATT, COMPACT FLUORESCENT, 4000 DEGREE K BALLAST: 120 VOLT ELECTRONIC	LITHONIA "AF" SERIES METALUX MIDWEST COLUMBIA DAYBRITE
C	1 FT. x 4 FT. SURFACE FLUORESCENT WRAPAROUND WITH MINIMUM .125 VIRGIN ACRYLIC INJECTION MOLDED LENS WITH *I2 PATTERN. LAMPS: 2-32 WATT, T-8, 3500 DEGREE K BALLAST: 120 VOLT ELECTRONIC	LITHONIA "AW" SERIES METALUX COLUMBIA DAYBRITE
D	HIGH-ABUSE SURFACE MOUNTED FLUORESCENT FIXTURE, GASKETED, VAPOR TIGHT, WITH RUSTPROOF HOUSING AND PATTERNED ACRYLIC. LAMPS: 2-32 WATT, T-8, 3500 DEGREE K BALLAST: 120 VOLT ELECTRONIC	LITHONIA "VDS" SERIES METALUX COLUMBIA DAYBRITE
E	SURFACE MOUNTED 4 FT. STANDARD FLUORESCENT STRIP, WITH MINIMUM 14 GAUGE STEEL WIRE GUARD. LAMPS: 2-32 WATT, T-8, 3500 DEGREE K BALLAST: 120 VOLT ELECTRONIC	LITHONIA "C" SERIES METALUX COLUMBIA DAYBRITE
F	SURFACE MOUNTED DECORATIVE EXTERIOR FIXTURE WITH OLDE BRONZE FINISH AND SEEDY GLASS PANELS. COORDINATE MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ROUGH-IN. LAMPS: 13 WATT, EL TWIST FLOURESCENT	KILCHER LIGHTING "97090Z" SERIES EVERGREEN LIGHTING
G	EXTRIOR AREA LIGHT, BRONZE FINISH 18 FT. SQUARE POLE, SYMMETRICAL LIGHT DISTRIBUTION COMPLETE WITH BISHOP SINGLE POLE MOUNT ARM. LAMPS: 150 WATT, PULSE START METAL HALIDE BALLAST: 208 VOLT, HPF	COOPER LIGHTING INVUE "EML" SERIES
H	POOL LIGHT TO BE PROVIDED BY POOL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR.	
I	FIXTURE, EGRESS, WALL MOUNTING, TWO HEAD, WITH BATTERY UNIT (90 MINUTE). UL LISTED FOR DAMP LOCATIONS IF ON EXTERIOR OF BUILDING. LAMPS: WITH UNIT BALLAST: 120 VOLT	LITHONIA "ELM2" SERIES SURE-LITE, DUALITE EMERGI-LITE
J	EXIT, LED, UNIVERSAL MOUNTING, WHITE FINISH, SINGLE OR DOUBLE FACE, WITH BATTERY UNIT (90 MINUTE). DIRECTION OF ARROWS AS SHOWN ON THE DRAWINGS. LAMPS: LED	LITHONIA "LOM" SERIES SURELITE, DUALITE EMERGI-LITE, CHLORIDE LIGHTGUARD

ELECTRICAL LEGEND	
LIGHTING AND POWER	
	CONDUIT RUN CONCEALED ABOVE CEILING OR IN WALL, HASH MARKS INDICATE NUMBER OF CONDUCTORS. (3 WIRES UNLESS SHOWN OTHERWISE) EQUIPMENT GROUND REQUIRED BUT NOT SHOWN.
	CONDUIT RUN CONCEALED BELOW FLOOR SLAB, OR UNDERGROUND.
	HOMERUN TO PANELBOARD, LETTER OR LETTERS INDICATE PANELBOARD. NUMBERS INDICATES CIRCUIT NUMBERS.
	CEILING OR SURFACE MOUNTED LIGHTING FIXTURE.
	FLUORESCENT FIXTURE, SURFACE OR STEM MOUNTED.
	CEILING FAN.
	LIGHTING FIXTURE, WALL BRACKET MOUNTED. (COORDINATE MOUNTING HEIGHTS WITH ARCHITECTURAL PLANS PRIOR TO ROUGH-IN).
	WALL MOUNTED EXIT LIGHT, ARROWS, WHERE SHOWN, INDICATE DIRECTION OF EGRESS.
	EMERGENCY LIGHTING UNIT, DUAL HEAD UNIT.
	JUNCTION BOX, FLUSH WALL MOUNTED.
	JUNCTION BOX LOCATED ABOVE CEILING.
	QUADRUPLIX CONVENIENCE OUTLET, 18 IN. TO CENTERLINE UNLESS OTHERWISE NOTED.
	DUPLEX CONVENIENCE OUTLET, GFITYPE, 18 IN. TO CENTERLINE UNLESS OTHERWISE NOTED. *WP INDICATES WEATHERPROOF IN-USE COVER PLATE.
	DUPLEX CONVENIENCE OUTLET, GFITYPE, 8 IN. ABOVE COUNTER OR 42 IN. A.F.F
	SPECIAL RECEPTACLE TO SUIT EQUIPMENT FURNISHED.
	SINGLE POLE TOGGLE SWITCH, 42 IN. A.F.F
	PANELBOARD, SEE SCHEDULE.
	DISCONNECT SWITCH, SIZE AS NOTED ON DRAWINGS.
	COMBINATION BREAKER/MOTOR STARTER, SIZE AS NOTED ON DRAWINGS.
	MOTOR
	PHOTOELECTRIC CONTROLLED CONTACTOR.
TELEPHONE/DATA SYSTEM	
	TELEPHONE OUTLET, FLUSH WALL MOUNTED AT 46 IN. TO CENTER LINE OF OUTLET.
	PLYWOOD BACKBOARD, 1/2 IN. TB IN. INDICATES TELEPHONE BOARD. SEE DETAIL 3/EI.
TELEVISION SYSTEM	
	TELEVISION OUTLET, 6 IN. BELOW CEILING TO CENTER LINE, UNLESS OTHERWISE NOTED.



3 TELEPHONE RISER
EI NOT TO SCALE

GENERAL NOTES: (THIS SHEET ONLY)

- ALL FLUSH OUTLET BOXES SHALL BE INSTALLED SUCH THAT FRONT EDGE WILL NOT BE SET BACK FROM THE FINISHED SURFACE MORE THAN 1/4 IN. IN ORDER TO COMPLY WITH N.E.C. SUPPORT OF OUTLET BOX BY RECEPTACLE AND COVERPLATE IS NOT ACCEPTABLE. CAREFULLY COORDINATE ROUGH-IN WITH BLOCK MASONS AND GROUT-IN CELL CONTAINING OUTLET BOX.
- DO NOT SCALE DRAWINGS TO LOCATE EQUIPMENT OR OUTLETS. MOUNTING HEIGHTS AS INDICATED ON THE DRAWINGS SHALL BE FROM THE FINISHED FLOOR TO THE CENTER LINE OF THE OUTLET BOX.
- THE ELECTRICAL DRAWINGS ARE ONLY A PART OF THE CONTRACT DOCUMENTS. ALL OF THE DRAWINGS AND SPECIFICATIONS MUST BE REVIEWED FOR THEIR INTERRELATIONSHIP AND REQUIRED COORDINATION BETWEEN DISCIPLINES.



USSERY/RULE ARCHITECTS P.C.
1804-A FREDERICA ROAD
ST. SIMONS ISLAND, GEORGIA 31522
PH. 912-638-6688 FAX 912-638-6828

Coral Sands North
HILTON HEAD ISLAND, SOUTH CAROLINA
POOL HOUSE

0324	
02-24-10	



EI

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Coral Sands-North – ALTERATION/ADDITION

DRB#: DRB-000779-2016

DATE: May 10, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Consider sidewalk connection from parking to Building 6 (C602).
2. Add taller landscaping between parking and front of Building 6 (LS-102) similar to other two buildings to balance scale & mass of building.
3. Add landscaping at rear of Buildings 6 & 7 or indicate existing landscaping to remain (LS 101 & LS-102).
4. Add landscaping at rear of Buildings 6 & 7 or indicate existing landscaping to remain (LS 101 & LS-102).

Coral Sands North was approved by the DRB previously with (5) 3-story residential buildings. Two residential buildings have been constructed. The applicant proposes to replace remaining approved three-story buildings with four-story buildings. The proposed colors and materials match the existing buildings. The primary change to the elevation is the addition of the fourth floor. Additionally the stair tower is more prominent in order to locate half of the ac condenser units on the roof minimizing the number of units on the ground and allowing for additional space for landscaping.

It appears that each building has three entrances. The code requires that 60% of the building entrances be accessible. Additional ramps may be required to meet this.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Kim Bucciero Company: Telecom Development Services
 Mailing Address: 2970 Peachtree Road, Suite 621 City: Atlanta State: GA Zip: 30305
 Telephone: 404-736-6699 Fax: (888) 736-3961 E-mail: kim@telecom-development.com
 Project Name: Diamond/ AT&T Tower Project Address: 92 Folly Field Road
 Parcel Number [PIN]: R5 1 0 0 0 9 0 0 0 0 0 0 4 7 0 0 0 0
 Zoning District: PD-I Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

4/25/16

DATE

Telecom Development Services, LLC

2970 Peachtree Road, Suite 621

Atlanta, Georgia 30305

Office 404.736.6699 Fax 888.736.3961

April 15, 2016

Community Development Department
One Town Center Court
Hilton Head Island, South Carolina 29928

RE: Written narrative describing the scope of the project.

To Whom This Concerns:

The proposed telecommunication tower will be located at the Islander's Beach Club on the 14.11 acre tract owned by the Town of Hilton Head Island at 92 Folly Fields Road. The proposed 140 ft. telecommunication tower will be built by Diamond Communications for AT&T Mobility.

This site is needed to provide residential coverage to in-building wireless service to hotels, condos, and resort facilities in the area, as well as to the Beach Club and the beach. The proposed facility would be located within in a wooded track with the ground equipment located out of view from nearby buildings and enclosed with a wooden fence designed with an architectural sensitivity.

If there is any additional question about the intended use of the tower, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to be 'KB' or similar initials, written in a cursive style.

Kim Bucciero
Agent for AT&T Mobility & Diamond Communications
404-388-4391



Memo

To: Whom It May Concern
From: Greg Knight, AT&T Mobility RF Engineer
Date: 6/1/2015
Re: Proposed Site 410-365 Sparkleberry

Please review the following information regarding the proposed AT&T site to be called Sparkleberry (410-365).

AT&T is requesting permission to construct a new wireless telecommunications tower at 92 Folly Field Rd in Hilton Head, SC.

The new tower is proposed in the vicinity of Islanders Beach Park. A tower in this location will provide for in-building wireless service to hotels, condos, and resort facilities in the area. As can be seen on the attached plot of "Before" coverage, the immediate area is served in the Blue color (-88dBm), which will allow for customers inside of typical residential structures to use their devices, but is not adequate to overcome the penetration losses of denser commercial construction materials. The Green (-80dBm) level is needed to provide reliable service in a commercial setting.

A 140 ft. "monopole" tower is proposed for this location. The benefit of using a monopole tower is to allow wireless carriers to deploy multiple antennas at the same height and to place radios close to the antennas. A "slick stick" tower limits the antenna selection (to what will fit inside the shroud), limits each carrier to one antenna per rad center per azimuth, and requires radios to be mounted with the ground equipment (equipment vendor does not warranty the radios to work with the restricted airflow inside such an enclosure). AT&T utilizes multiple radio technologies across multiple bands of spectrum that cannot all be operated off a single antenna. A slick stick tower would require AT&T to occupy a minimum of two rad centers-- reducing the effective coverage footprint and limiting the possibility of colocation by other carriers. AT&T would also have to place the radio transmitters at ground level and connect to the antennas with coax-- approximately half of the transmitted power would be lost, further reducing the effective footprint of the site.

The Marriot Barony Beach Club rooftop was reviewed as a potential candidate and was rejected due to insufficient height. The rooftop is approximately 60ft, and would provide inferior coverage compared to the proposed 140ft tower. Also, with antennas mounted toward the edges of the roof, the Marriott itself would receive little to no coverage improvement from the new site. Wireless communication is essentially a "line of sight" technology, so the only signals that roof-



mounted antennas would provide to the Marriott would be incidental signals that bounce back off nearby obstructions.

AT&T has studied the area thoroughly and determined that a height of 140ft above ground level is appropriate at this location to fulfill the RF requirements. This height will allow AT&T to deploy its antennas at a height of approx. 135ft.

The proposed tower will be designed to support AT&T's network growth and evolution through multiple channels of 3G UMTS and 4G LTE service.

AT&T certifies that all of its equipment will be installed and operated in keeping with applicable FAA and FCC rules and regulations and appropriate industry standards. The construction of this tower, including AT&T's installation of transmitter/receiver equipment, will not interfere with the usual and customary transmission or reception of radio, television, etc service enjoyed by adjacent properties. AT&T certifies that the proposed tower will not interfere with Public Safety radio equipment in the vicinity.

Should you need additional information, please contact me at the following number, (912) 398-5304.

Respectfully,

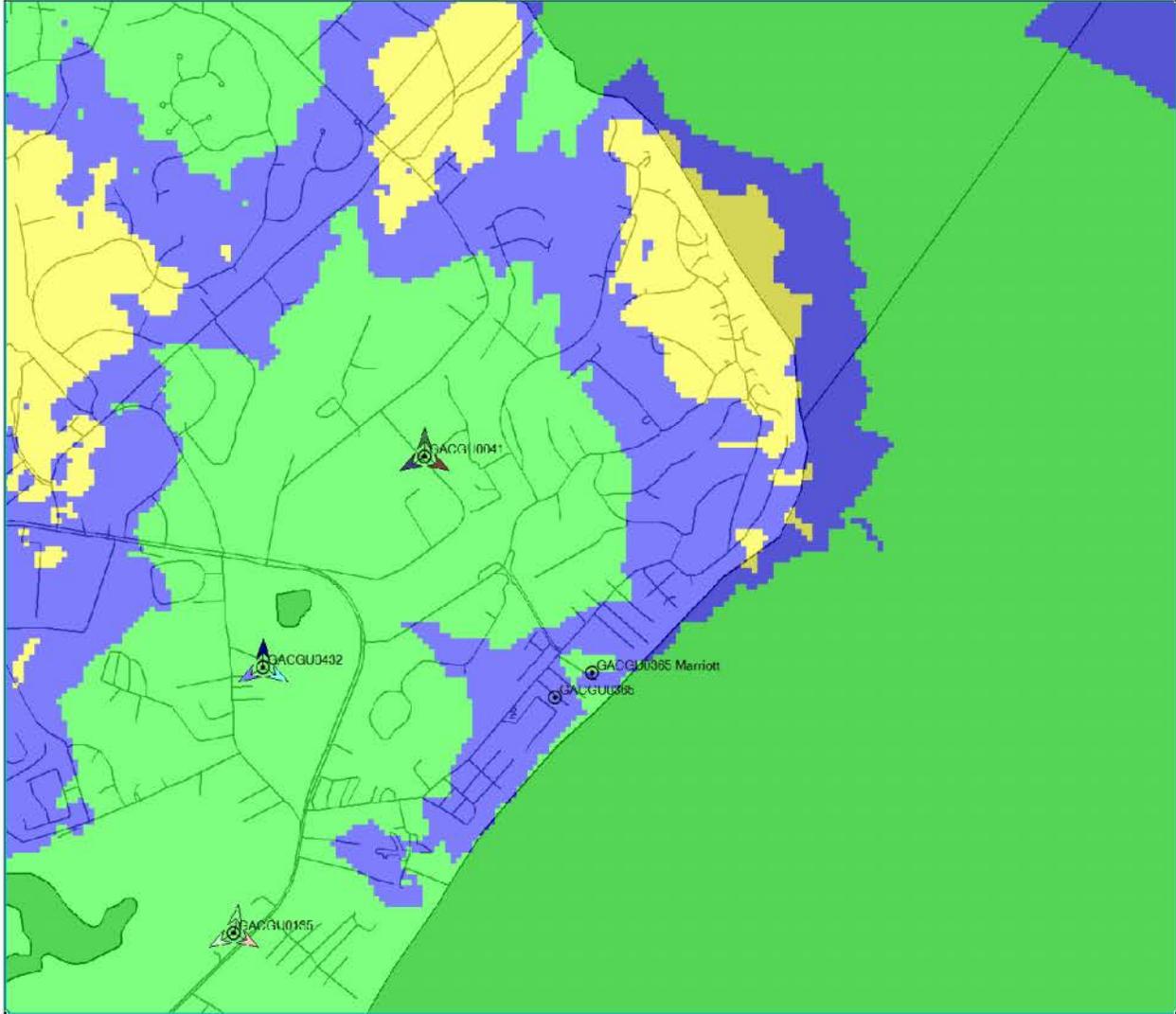
A handwritten signature in black ink, appearing to read "Greg Knight".

Greg Knight
RF Engineer
AT&T Mobility

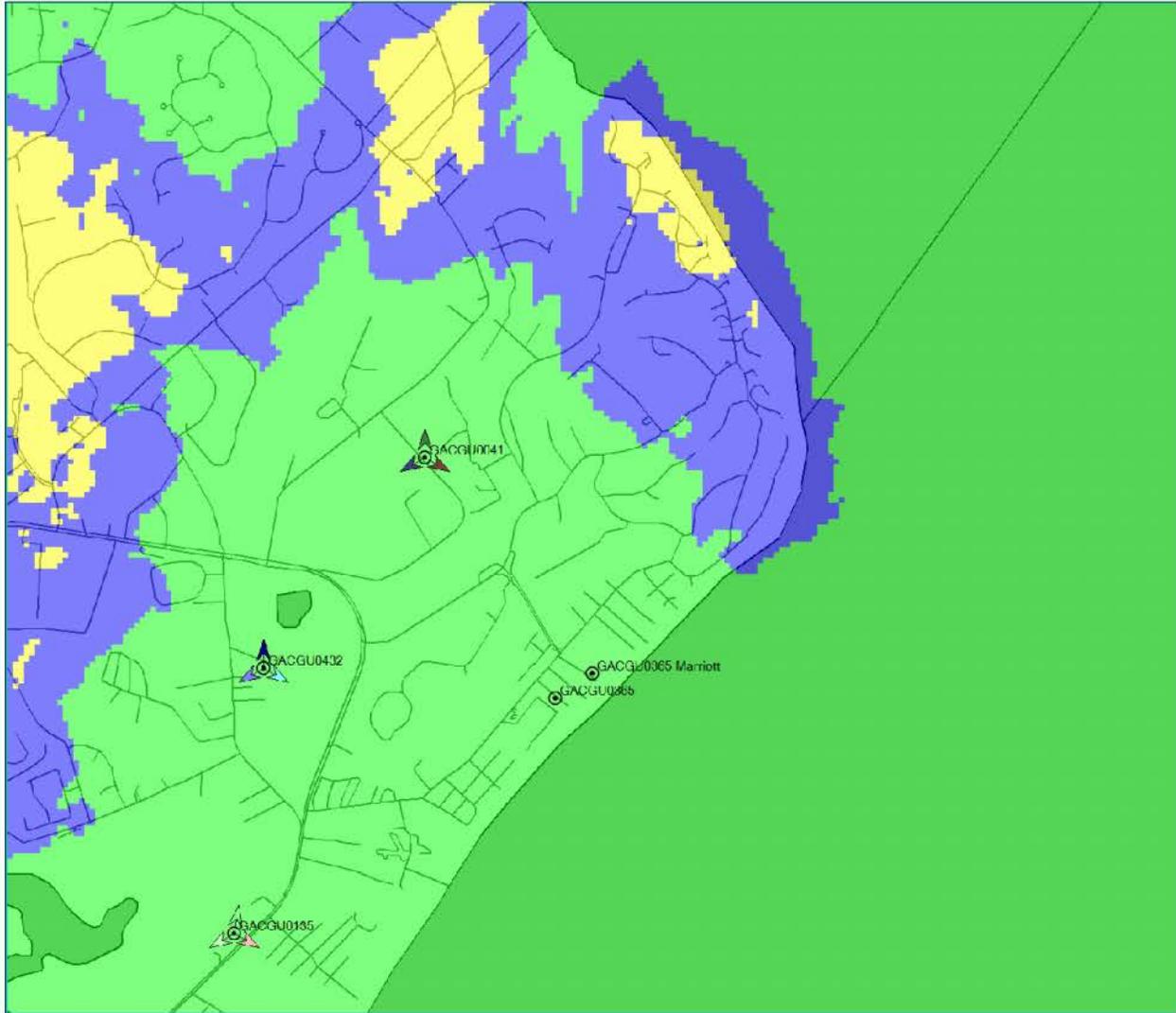


Neighbor sites for 410-365					
Site ID	Lat	Long	Rad Center (in Feet, AGL)	Azimuths (degrees from True North)	Direction (from 410-365)
410041	32.081892	-81.095647	146	0-120-240	Northwest
410432	32.07975	-81.090111	85	0-120-240	West
410135	32.068767	-81.092922	90	10-120-240	Southwest

Existing AT&T UMTS Coverage without 410-365
(Green: -80dBm Urban, Blue: -88dBm Suburban, Yellow: -98dBm Rural, Red: -110 dBm Marginal)



Proposed AT&T UMTS Coverage with site 410-365 Monopine
(Green: -80dBm Urban, Blue: -88dBm Suburban, Yellow: -98dBm Rural, Red: -110 dBm Marginal)



STATE OF SOUTH CAROLINA)
)
COUNTY OF BEAUFORT)

RIGHT OF ENTRY

Comes now, Town of Hilton Head Island, South Carolina ("Grantor"), and states that for and in consideration of the sum of Ten and no/100 (\$10.00) Dollars, the receipt and sufficiency at and before the execution and delivery of these presents is acknowledged, Grantor has granted and delivered to New Cingular Wireless PCS, LLC a/k/a AT&T Mobility Corp., a Delaware corporation ("Grantee") a right of entry on, over and across the following described Property as shown on the drawing attached hereto as Exhibit "A", to wit:

OCEAN TRACT PB 32 P 249 PB45 P58 PB90 P153 *SPLIT 10/85 9/1003
11.55 AC 9/1004 2.64 AC *04361427 04361432 SPLIT 8/86 .482 AC 9/1007- 1008
MGTO: KEY#1649112 #360905 #360870 2-3-93 ACREAGE ADJUSTED BY
PB90 P153

Property Pin: R510 009 000 0047 0000; Address: 92 FOLLY FIELD RD, Hilton Head Island

(Hereinafter collectively the "Property").

1. Said right of entry is granted to permit the Grantee, its agents, employees, contractors and subcontractors, as well as any of their equipment, to enter upon or across the Property for the purpose taking surveys to determine if the Property is suitable for the possible placement of a tower. HOWEVER, Grantee is prohibited from entering onto existing facilities or structures or interfering in any way with the ongoing operations on the Property.

2. Grantee agrees to restore the Property to its preexisting condition including the removal of all equipment, materials, litter, debris, etc upon conclusion of its surveying.

3. Grantee is required to notify Grantor's Director of Facility Management Twenty Four (24) hours prior to Grantee's exercising of any rights granted herein.

4. Grantee shall indemnify and hold harmless the Town from and against any loss,

damage, claim, expense or cost associated or incurred, including reasonable attorneys fees including any such fees and costs incurred on appeal, arising from, out of, or associated with Grantee's use of the Property hereunder.

This right of entry is granted pursuant to the provisions of "The South Carolina Eminent Domain Procedures Act", S. C. Code Ann. § 28-2-10, *et seq.* (Supp. 2009). Grantor reserves any and all rights provided under said Act.

WITNESSES:

TOWN OF HILTON HEAD ISLAND,
SOUTH CAROLINA

By: _____
Stephen G. Riley, Town Manager

Dated: _____

WITNESSES:

NEW CINGULAR WIRELESS PCS, LLC
By: AT&T Mobility Corp., its manager

By: Sheryl Jones
Sheryl Jones

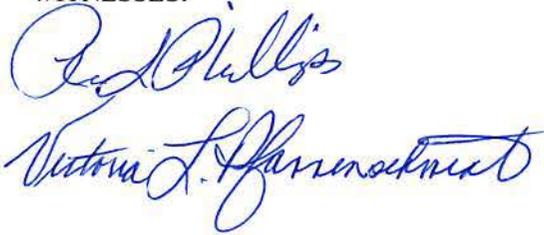
Its: J. J. [Signature]

Dated: 1-8-16

damage, claim, expense or cost associated or incurred, including reasonable attorneys fees including any such fees and costs incurred on appeal, arising from, out of, or associated with Grantee's use of the Property hereunder.

This right of entry is granted pursuant to the provisions of "The South Carolina Eminent Domain Procedures Act", S. C. Code Ann. § 28-2-10, *et seq.* (Supp. 2009). Grantor reserves any and all rights provided under said Act.

WITNESSES:



TOWN OF HILTON HEAD ISLAND,
SOUTH CAROLINA

By: 
Stephen G. Riley, Town Manager

Dated: 02/02/16

WITNESSES:

NEW CINGULAR WIRELESS PCS, LLC
By: AT&T Mobility Corp., its manager

By: _____

Its: _____

Dated: ____



EXHIBIT A



AT&T Site 410-365 (Town of Hilton Head)
92 Folly Field Road

GoogleEarth 2014 Aerial Image Showing Photograph Locations



ECA Proj. #: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location 1: Southeasterly View of the Photosimulated Monopole
from about 225 Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location 2: Southerly View Towards the Proposed Monopole from
about 275 Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location : Southwesterly View of the Photosimulated Monopole
from about Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location : orthwesterly View of the Photosimulated Monopole
from about 75 Feet Away**



ECA Proj. No.: R1233



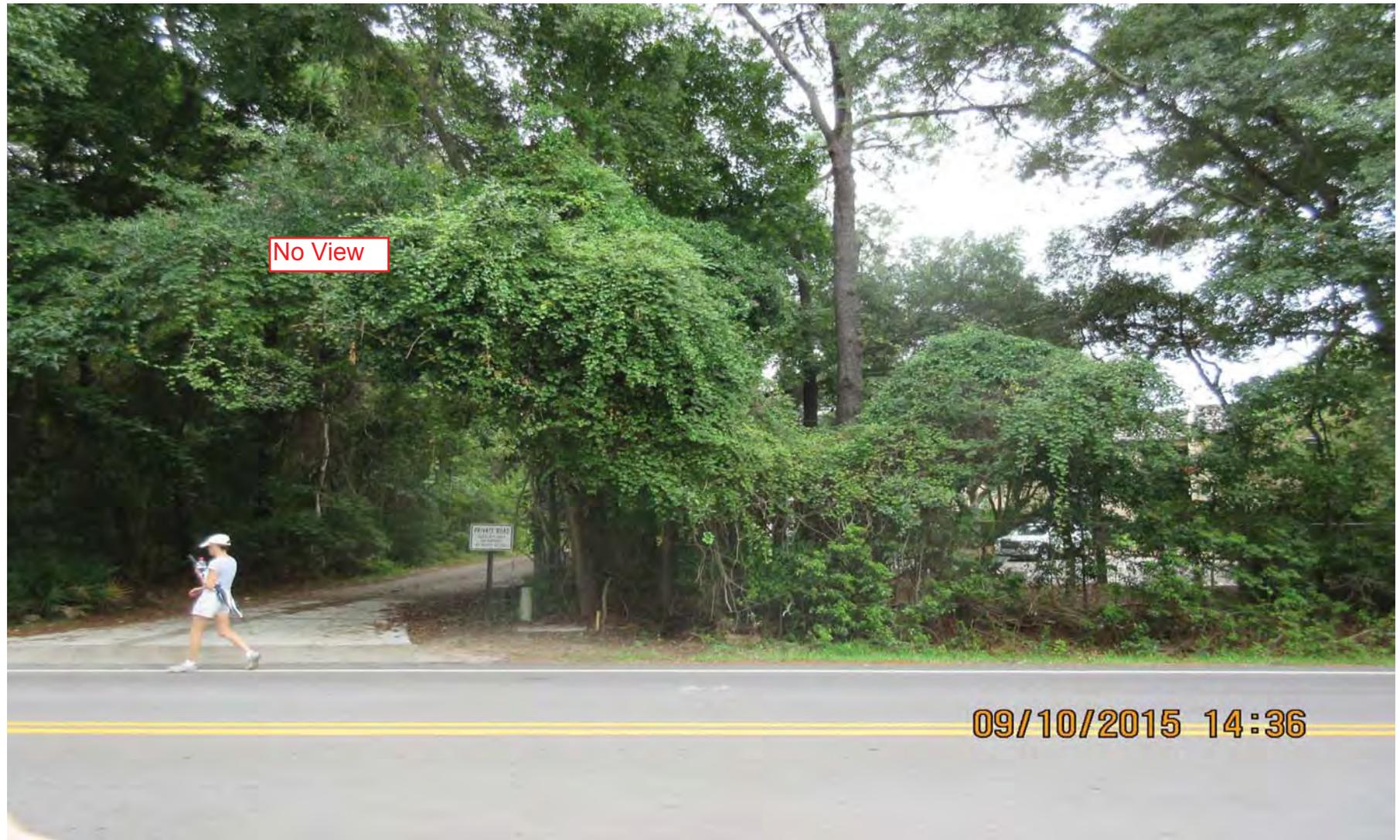
AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location 5: ortheasterly View Towards the Proposed Monopole
from about 75 Feet Away**



ECA Proj. No.: R1233



No View

09/10/2015 14:36

AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location : Southeasterly View Towards the Proposed Monopole
from about 525 Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location 7: Southwesterly View Towards the Proposed Monopole
from about Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location : Southwesterly View of the Photosimulated Monopole
from about 25 Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location : orthwesterly View of the Photosimulated Monopole
from about 75 Feet Away**



ECA Proj. No.: R1233



AT&T Site 410-365 (Town of Hilton Head)

92 Folly Field Road, Hilton Head Island, Beaufort County, South Carolina

**Location : orthwesterly View of the Photosimulated Monopole
from about 75 Feet Away**

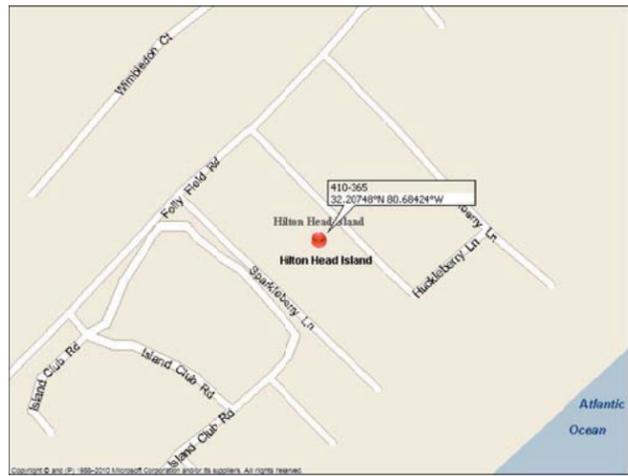


ECA Proj. No.: R1233

LOCATION MAP



VICINITY MAP



SCOPE:

THE PROPOSED PROJECT SCOPE CONSISTS OF CONSTRUCTING A NEW TELECOMMUNICATIONS TOWER SITE. THE PROPOSED CONSTRUCTION WILL INCLUDE THE INSTALLATION OF A TOWER, FOUNDATION, FENCED COMPOUND, ACCESS ROAD, PREFAB EQUIPMENT SHELTER WITH CABINETS, CABLES, ANTENNAS, GROUNDING SYSTEM & UTILITIES.

DEPARTMENT	NAME / SIGNATURE	DATE
LAND OWNER / TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING / PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

SITE NUMBER:

410-365

CASPR PROJECT NUMBER:

2413774949

SITE NAME:

SPARKLEBERRY

PROJECT:

NSB

PROJECT DESCRIPTION:

PROPOSED 140 FT. MONOPOLE TOWER

PREPARED FOR:



PREPARED BY:



1000 HOLCOMB WOODS PARKWY
SUITE 210
ROSWELL, GA 30076
678-280-2325



PROJECT INFORMATION

SITE ADDRESS: 92 FOLLY FIELD ROAD
HILTON HEAD ISLAND, SC 29928

LATITUDE: 32° 12' 26.93" (NAD83)
LONGITUDE: -80° 41' 03.26" (NAD83)
ELEVATION: 7.5' AMSL (NAVD88)

JURISDICTION: BEAUFORT COUNTY
PARCEL I.D.: R510-009-000-0041-0000
PARCEL SIZE: 14.11000 ACRES
PARCEL ZONING: PD-1
DEED REFERENCE: DEED BOOK 593, PAGE 903
PLAT BOOK 90, PAGE 153

LAND OWNER: TOWN OF HILTON HEAD ISLAND
ONE TOWN CENTER COURT
HILTON HEAD ISLAND, SC 29928

TOWER OWNER: DIAMOND COMMUNICATIONS
820 MORRIS TURNPIKE, SUITE 104
SHORT HILLS, NJ 07078

CARRIER: AT&T
660 HEMBREE PARKWAY
ROSWELL, GA 30076

SITE ACQUISITION COMPANY: TELECOM DEVELOPMENT SERVICES, LLC
2970 PEACHTREE ROAD, SUITE 621
ATLANTA, GA 30305
KIM BUCCIERO
404-736-6699

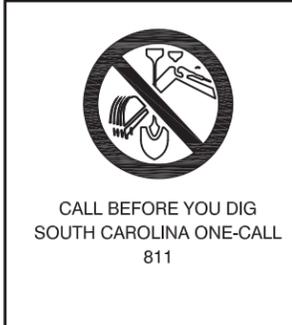
ENGINEER: PM&A
30 MANSELL COURT, SUITE 103
ROSWELL, GA 30076
PATRICK W MARSHALL, P.E.
678-280-2325

POWER: HARGRAY

TELCO: PALMETTO ELECTRIC

DRAWING INDEX

- T-1 TITLE SHEET & PROJECT INFORMATION
- SURVEY
- C-1 GENERAL NOTES
- C-2 OVERALL SITE PLAN
- C-3 DETAILED SITE PLAN
- C-4 TOWER ELEVATION & DETAILS
- C-5 GRADING & EROSION CONTROL PLAN
- C-6 GRADING & EROSION CONTROL DETAILS
- C-7 GRADING & EROSION CONTROL SPECIFICATIONS
- C-8 ICE BRIDGE DETAILS
- C-9 SITE SIGNAGE
- C-10 SITE SIGNAGE NOTES
- C-11 RRU & SQUID MOUNTING DETAILS
- C-12 FENCE DETAILS
- E-1 ELECTRICAL SPECS & ONE-LINE DIAGRAM
- E-2 ONE-LINE DIAGRAMS
- E-3 ELECTRICAL SITE PLAN
- E-4 GROUNDING SITE PLAN
- E-5 GROUNDING NOTES
- E-6 GROUNDING DETAILS
- E-7 UTILITY FRAME DETAILS



DATE	DESCRIPTION:
2/29/16	ISSUED FOR PRELIMINARY REVIEW
4/2/16	ISSUED FOR PRELIMINARY REVIEW
4/18/16	ISSUED FOR PRELIMINARY REVIEW
4/20/16	ISSUED FOR ZONING SUBMITTAL

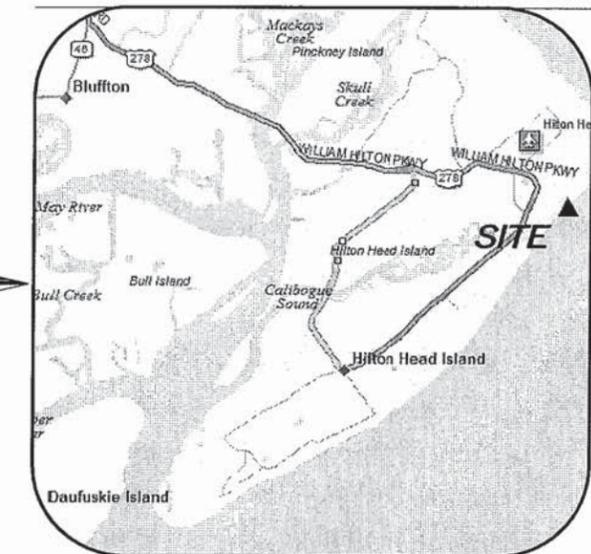
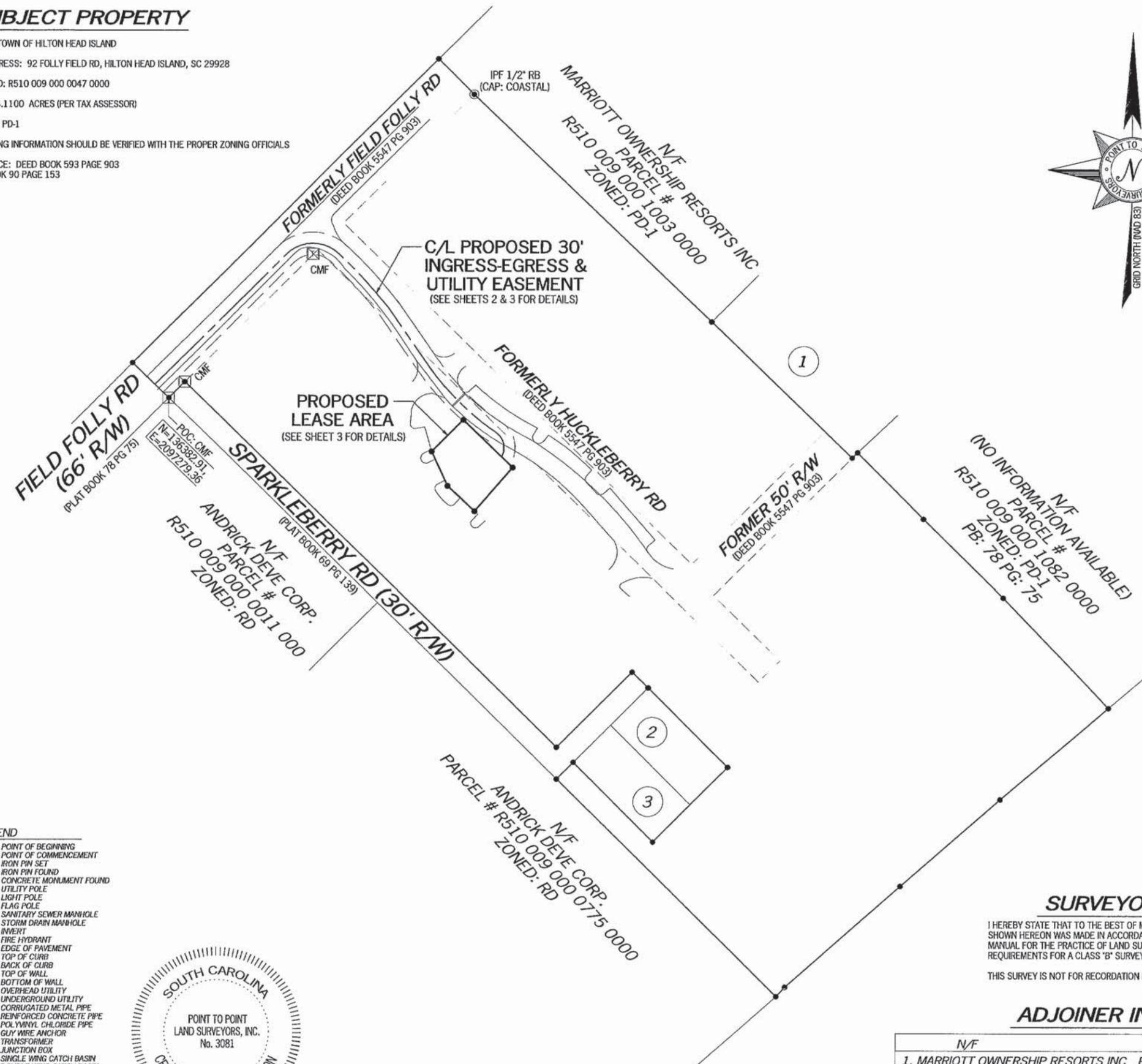
410-365
TITLE SHEET & PROJECT INFORMATION

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TDS16-001
T-1

SUBJECT PROPERTY

OWNER: TOWN OF HILTON HEAD ISLAND
 SITE ADDRESS: 92 FOLLY FIELD RD, HILTON HEAD ISLAND, SC 29928
 PARCEL ID: R510 009 000 0047 0000
 AREA: 14.1100 ACRES (PER TAX ASSESSOR)
 ZONED: PD-1
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS
 REFERENCE: DEED BOOK 593 PAGE 903
 PLAT BOOK 90 PAGE 153



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS EASEMENT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF AT&T AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THIS EASEMENT SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC. (DATE OF LAST FIELD VISIT: 02-15-16)

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID 12B) AND HAVE A VERTICAL ACCURACY OF ± 1'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83) SC.

THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA (ZONE "A7"; BFE = 14) AS PER F.L.R.M. COMMUNITY PANEL NO. 450250 0015 D DATED SEPTEMBER 29, 1986.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EASEMENT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

SURVEYOR CERTIFICATION

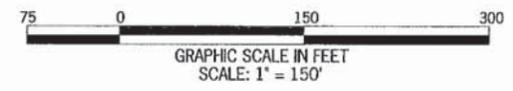
I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY SPECIFIED THEREIN.

THIS SURVEY IS NOT FOR RECORDATION PURPOSES.

ADJOINER INFORMATION

N/F	PARCEL #	ZONED	REF.
1. MARRIOTT OWNERSHIP RESORTS INC	R510 009 000 1083 0000	PD-1	78/75
2. EDWARD FORBES	R510 009 000 1007 0000	PD-1	69/139
3. EDWARD FORBES	R510 009 000 1008 0000	PD-1	2893/2188

- LEGEND**
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IPS IRON PIN SET
 - IPF IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SSMH SANITARY SEWER MANHOLE
 - SCMH STORM DRAIN MANHOLE
 - INV INVERT
 - FH FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OU OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CD SEWER CLEANOUT
 - GV GAS VALVE
 - N/F NOW OR FORMERLY
 - IB ICE BRIDGE
 - IBP ICE BRIDGE POLE



NO.	DATE	REVISION
1	2/26/2016	REVISE LEASE -EAL
2	3/16/2016	REVISE LEASE -NRW

EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 1010 Pennsylvania Avenue
 McDonough, GA 30253
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointtopointsurvey.com

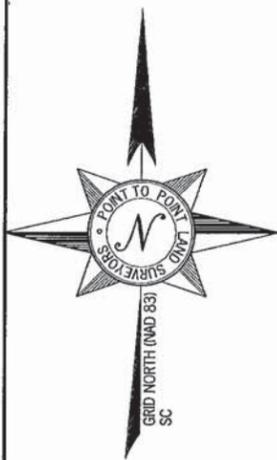


"SPARKLEBERRY"
 SITE NO. 410-365
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: AJP
 CHECKED BY: JKL
 APPROVED: C. INER
 DATE: 2/22/2016
 P2P JOB #: G160055

SHEET: **1**
 OF 3

K:\2016\G160055-Sparkleberry\G160055.p01



PROPOSED 30' INGRESS-EGRESS & UTILITY EASEMENT

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN BEAUFORT COUNTY, SOUTH CAROLINA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

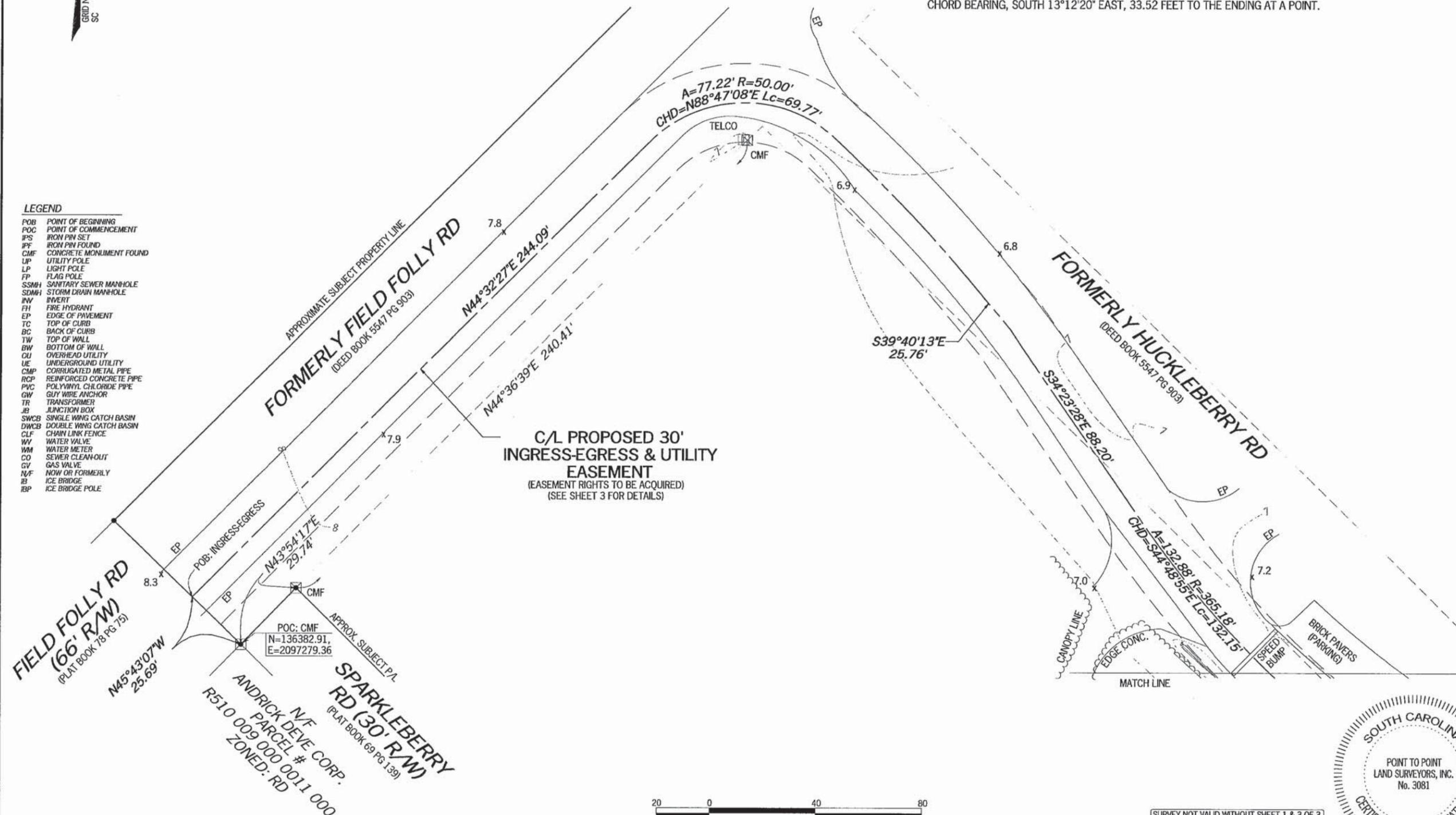
TO FIND THE POINT OF BEGINNING, COMMENCE AT A CONCRETE MONUMENT FOUND IN THE NORTHEAST CORNER OF LANDS NOW OR FORMERLY OWNED BY ANDRICK DEVE CORP; THENCE, NORTH 45°43'07" WEST, 25.69 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 44°32'27" EAST, 244.09 FEET TO A POINT; THENCE 77.22 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 88°47'08" EAST, 69.77 FEET, TO A POINT; THENCE, 73.05 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 573.38 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 43°19'12" EAST, 73.00 FEET, TO A POINT; THENCE, SOUTH 39°40'13" EAST, 25.76 FEET TO A POINT; THENCE, SOUTH 34°23'28" EAST, 88.20 FEET TO A POINT; THENCE 132.88 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 365.18 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 44°48'55" EAST, 132.15 FEET, TO A POINT; THENCE, 36.74 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 13°12'20" EAST, 33.52 FEET TO THE ENDING AT A POINT.



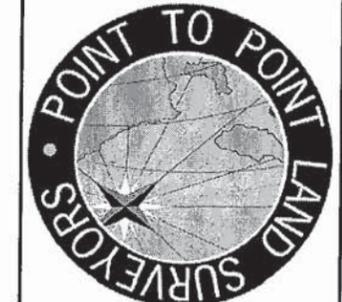
NO.	DATE	REVISION
1	2/26/2016	REVISE LEASE -EAL
2	3/16/2016	REVISE LEASE -NRW

LEGEND

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
- UP UTILITY POLE
- LP LIGHT POLE
- FP FLAG POLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- INV INVERT
- FH FIRE HYDRANT
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- BC BACK OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- OJ OVERHEAD UTILITY
- UE UNDERGROUND UTILITY
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- GW GUY WIRE ANCHOR
- TR TRANSFORMER
- JB JUNCTION BOX
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CLF CHAIN LINK FENCE
- WV WATER VALVE
- WM WATER METER
- CO SEWER CLEAN-OUT
- GV GAS VALVE
- N/F NOW OR FORMERLY
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EASEMENT SURVEY PREPARED BY:
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EASEMENT SURVEY PREPARED FOR:



"SPARKLEBERRY"
 SITE NO. 410-365
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA



DRAWN BY: AJP
 CHECKED BY: JKL
 APPROVED: C. INER
 DATE: 2/22/2016
 P2P JOB #: G160055

SHEET:
2
 OF 3

SURVEY NOT VALID WITHOUT SHEET 1 & 3 OF 3

P:201616160055-Sparkleberry160055.pr

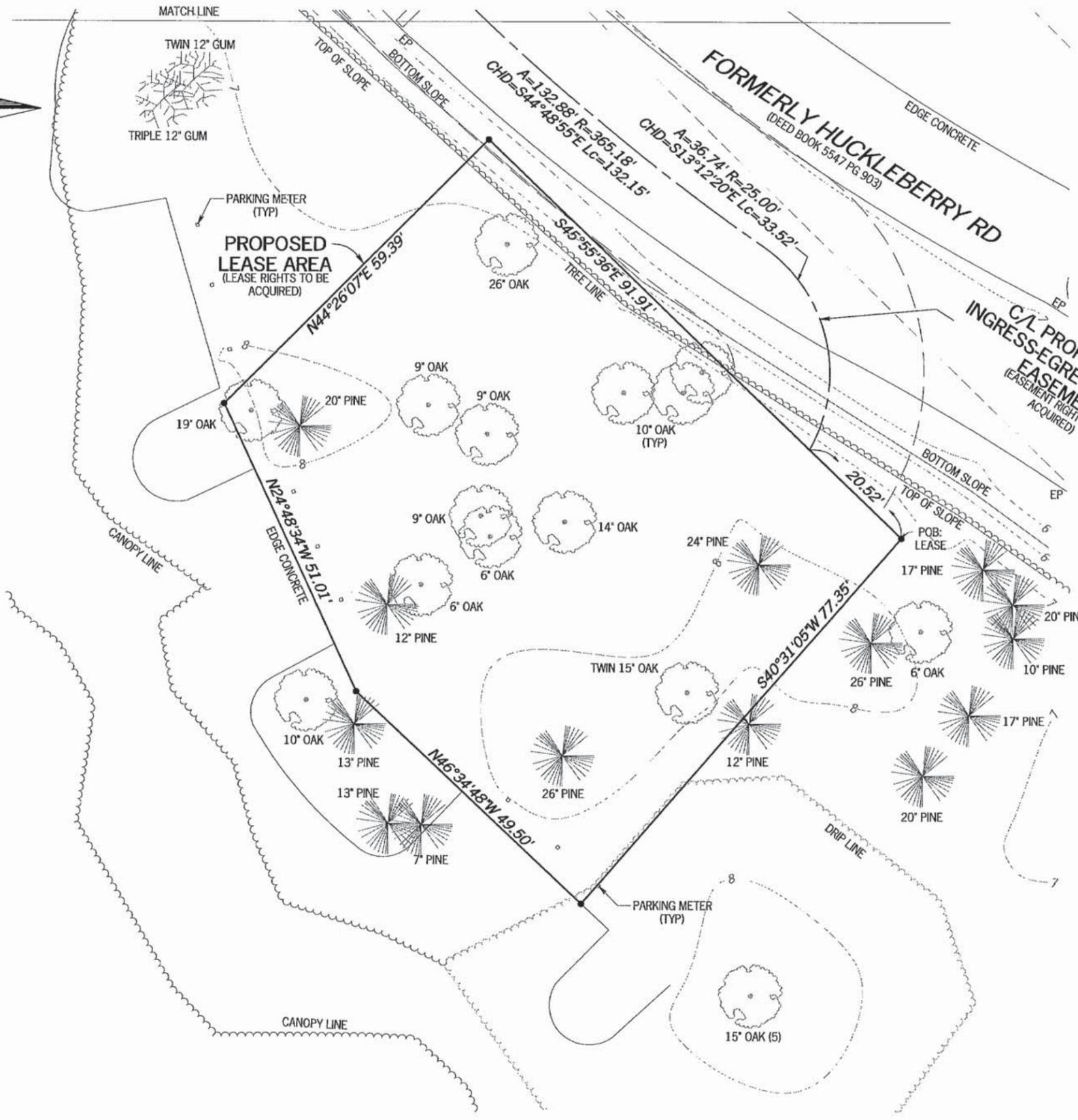


SITE INFORMATION

PROPOSED LEASE AREA = 6,902 SQUARE FEET (0.158 ACRES)
 LATITUDE = 32°12'26.93" (NAD 83)
 LONGITUDE = -80°41'03.26" (NAD 83)
 AT CENTER PROPOSED LEASE AREA
 ELEVATION AT CENTER OF PROPOSED LEASE AREA = 7.5' A.M.S.L.



NO.	DATE	REVISION
1	2/26/2016	REVISE LEASE -EAL
2	3/16/2016	REVISE LEASE -NRW



PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN BEAUFORT COUNTY, SOUTH CAROLINA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A CONCRETE MONUMENT FOUND IN THE NORTHEAST CORNER OF LANDS NOW OR FORMERLY OWNED BY ANDRICK DEVE CORP; THENCE, NORTH 45°43'07" WEST, 25.69 FEET TO A POINT; THENCE RUNNING, NORTH 44°32'27" EAST, 244.09 FEET TO A POINT; THENCE 77.22 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 88°47'08" EAST, 69.77 FEET, TO A POINT; THENCE, 73.05 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 573.38 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 43°19'12" EAST, 73.00 FEET, TO A POINT; THENCE, SOUTH 39°40'13" EAST, 25.76 FEET TO A POINT; THENCE, SOUTH 34°23'28" EAST, 88.20 FEET TO A POINT; THENCE, 132.88 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 365.18 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 44°48'55" EAST, 132.15 FEET, TO A POINT; THENCE, SOUTH 34°23'28" EAST, 88.20 FEET TO A POINT; THENCE, 132.88 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 365.18 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 44°48'55" EAST, 132.15 FEET, TO A POINT; THENCE, SOUTH 45°55'36" EAST, 20.52 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 40°31'05" WEST, 77.35 FEET TO A POINT; THENCE, NORTH 46°34'48" WEST, 49.50 FEET TO A POINT; THENCE, NORTH 24°48'34" WEST, 51.01 FEET TO A POINT; THENCE, NORTH 44°26'07" EAST, 59.39 FEET TO A POINT; THENCE, SOUTH 45°55'36" EAST, 91.91 FEET TO A POINT AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.158 ACRES (6,902 SQUARE FEET), MORE OR LESS.

- LEGEND**
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IPS IRON PIN SET
 - IPF IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - INV INVERT
 - FH FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OJ OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CO SEWER CLEAN-OUT
 - GV GAS VALVE
 - NVF NOW OR FORMERLY
 - IB ICE BRIDGE
 - IBP ICE BRIDGE POLE



SURVEY NOT VALID WITHOUT SHEET 1 & 2 OF 3



EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 1010 Pennsylvania Avenue
 McDonough, GA 30253
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointtopointsurvey.com



EASEMENT SURVEY PREPARED FOR:



"SPARKLEBERRY"
 SITE NO. 410-365
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: AJP
 CHECKED BY: JKL
 APPROVED: C. INER
 DATE: 2/22/2016
 P2P JOB #: G160055

SHEET:
3
 OF 3

P:\2016\G160055-Sparkleberry\G160055.dwg

GENERAL NOTES:

1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
17. FOR ITEMS THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, SEE "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWING PACKAGE.
18. PERMITS: OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
20. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

EXCAVATION & GRADING NOTES:

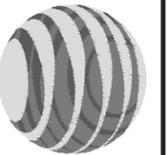
1. ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND, GRAVEL, OR SOFT SHALE;
 - FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS;
 - IN LAYERS AND COMPACTED.
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. FLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAT 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.

LEGEND

- X— FENCE
- 550— CONTOUR LINE
- - - - - PROPERTY LINE / ROW
- - - - - LEASE AREA
- - - - - EASEMENT
- DISCONNECT SWITCH
- Ⓜ METER
- Ⓢ CIRCUIT BREAKER
- ⓧ CODED NOTE NUMBER
- Ⓡ CHEMICAL GROUND ROD
- ⓧ GROUND ROD
- ⓧ GROUND ROD WITH INSPECTION SLEEVE
- CADWELDED TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- G— GROUND WIRE



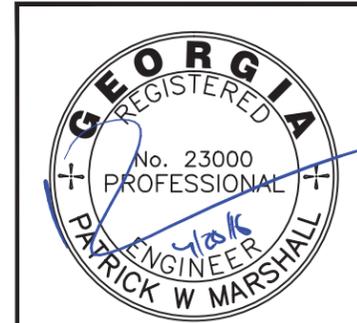
at&t



NUM	DATE	DESCRIPTION:
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365

GENERAL NOTES

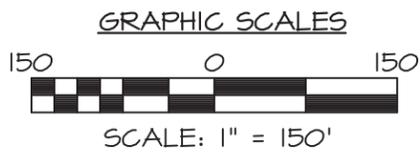
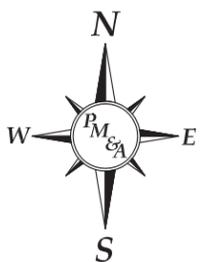
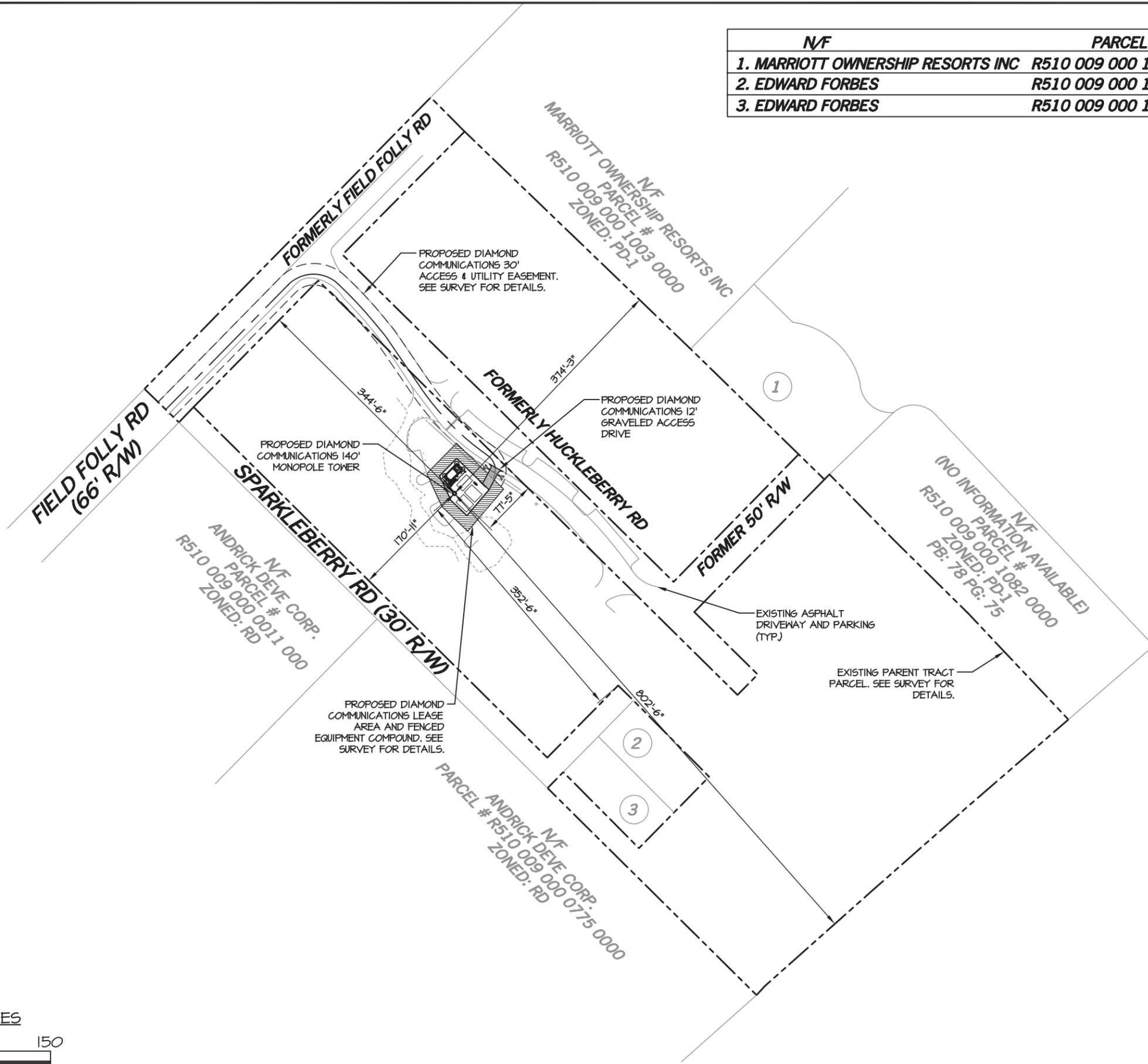


DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

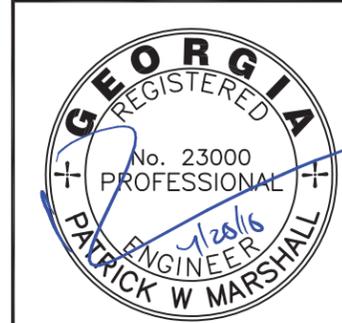
C-1



N/F	PARCEL #	ZONED	REF.
1. MARRIOTT OWNERSHIP RESORTS INC	R510 009 000 1083 0000	PD-1	78/75
2. EDWARD FORBES	R510 009 000 1007 0000	PD-1	69/139
3. EDWARD FORBES	R510 009 000 1008 0000	PD-1	2893/2188



OVERALL SITE PLAN
SCALE: 1" = 150'-0"



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410-365

OVERALL SITE PLAN

SITE ID:

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TDS16-001

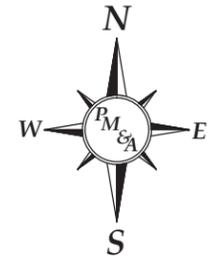
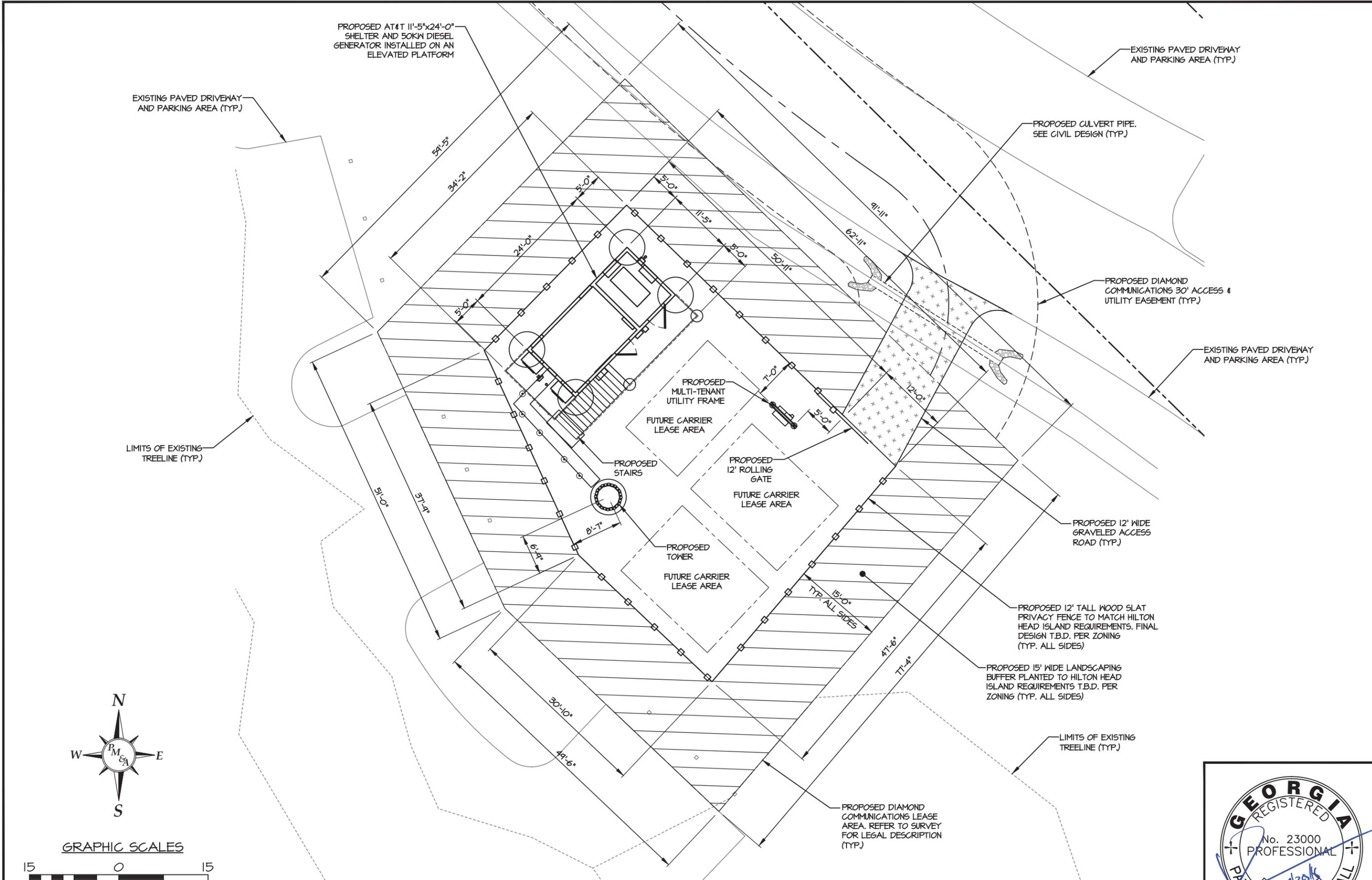
C-2

NUM	DATE	DESCRIPTION:
A	2/29/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365
DETAILED SITE PLAN

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TDS16-001

C-3



GRAPHIC SCALES

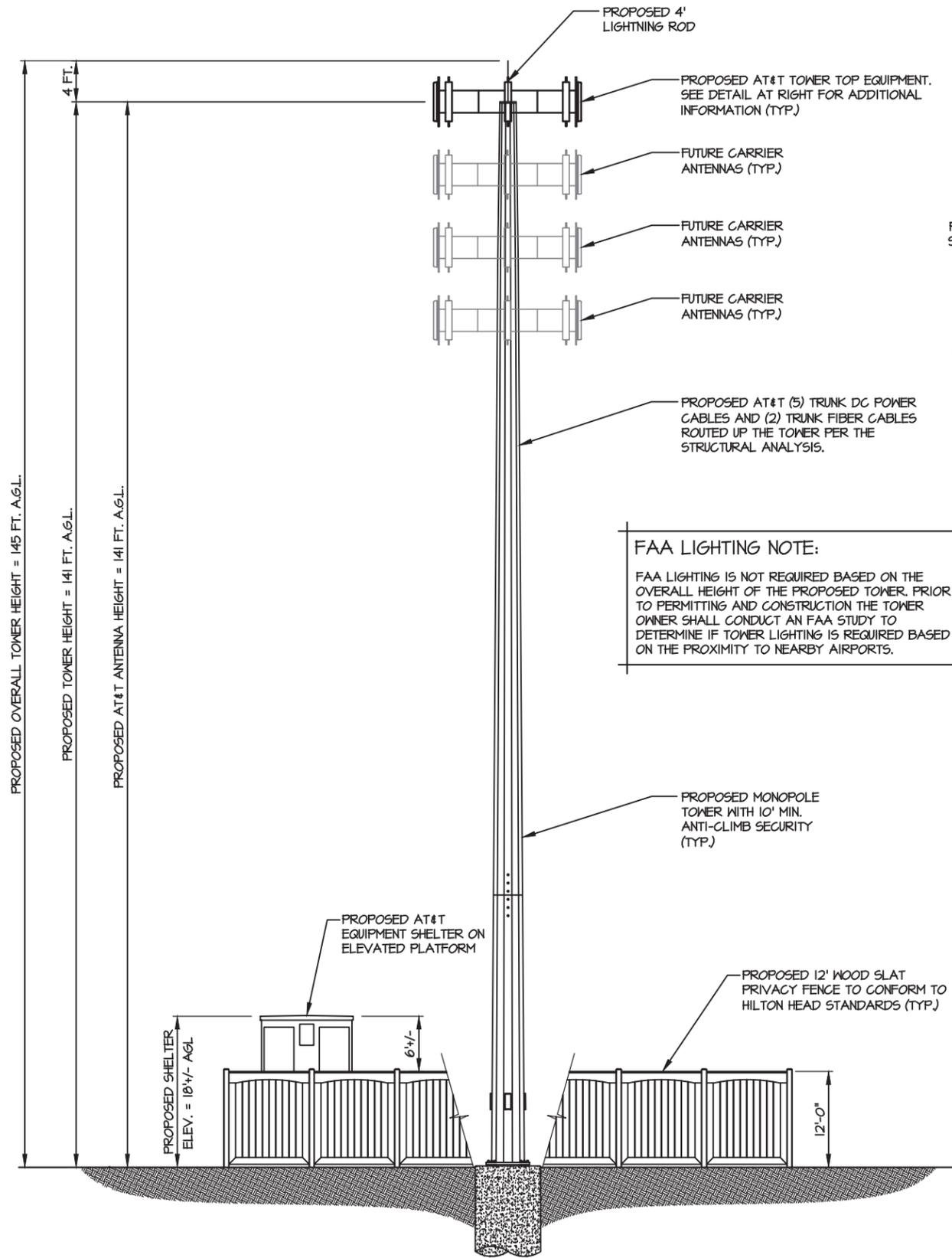


SCALE: 1" = 15'

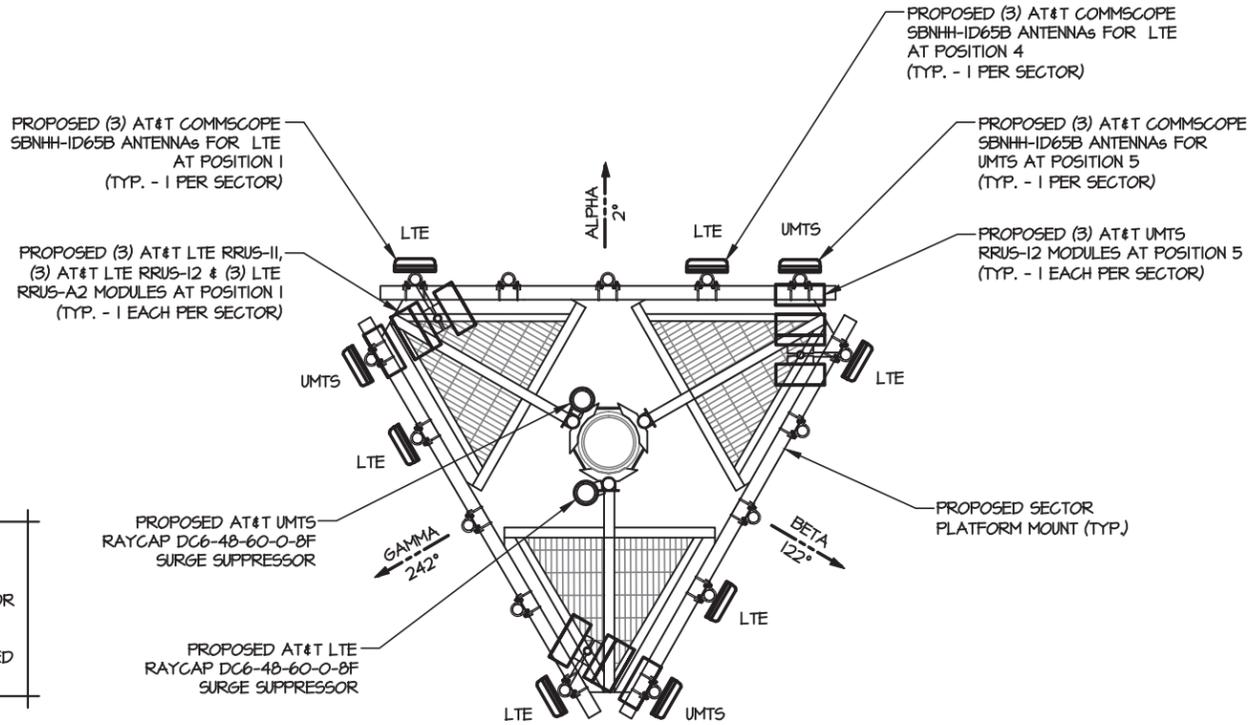
DETAILED SITE PLAN
SCALE: 1" = 15'-0"



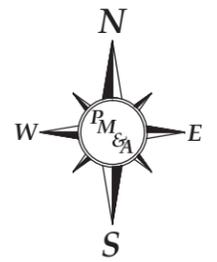
PM&A HAS NOT PERFORMED A STRUCTURAL EVALUATION FOR THIS PROJECT. REFER TO THE STRUCTURAL ANALYSIS BY OTHERS.



FAA LIGHTING NOTE:
FAA LIGHTING IS NOT REQUIRED BASED ON THE OVERALL HEIGHT OF THE PROPOSED TOWER. PRIOR TO PERMITTING AND CONSTRUCTION THE TOWER OWNER SHALL CONDUCT AN FAA STUDY TO DETERMINE IF TOWER LIGHTING IS REQUIRED BASED ON THE PROXIMITY TO NEARBY AIRPORTS.



ANTENNA ORIENTATION DETAIL
NTS



TOWER ELEVATION
NTS

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C	4/19/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365

TOWER ELEVATION AND DETAILS



DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001

C-4

DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED

MAINTENANCE STATEMENT
EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION

Co CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

Sdl TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.

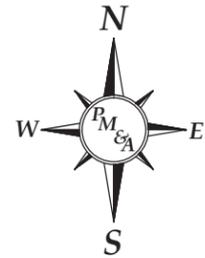
Ds2 DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.

Ds3 DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.

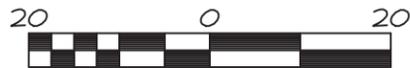
Du DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

GRAVEL SURFACING NOTES:

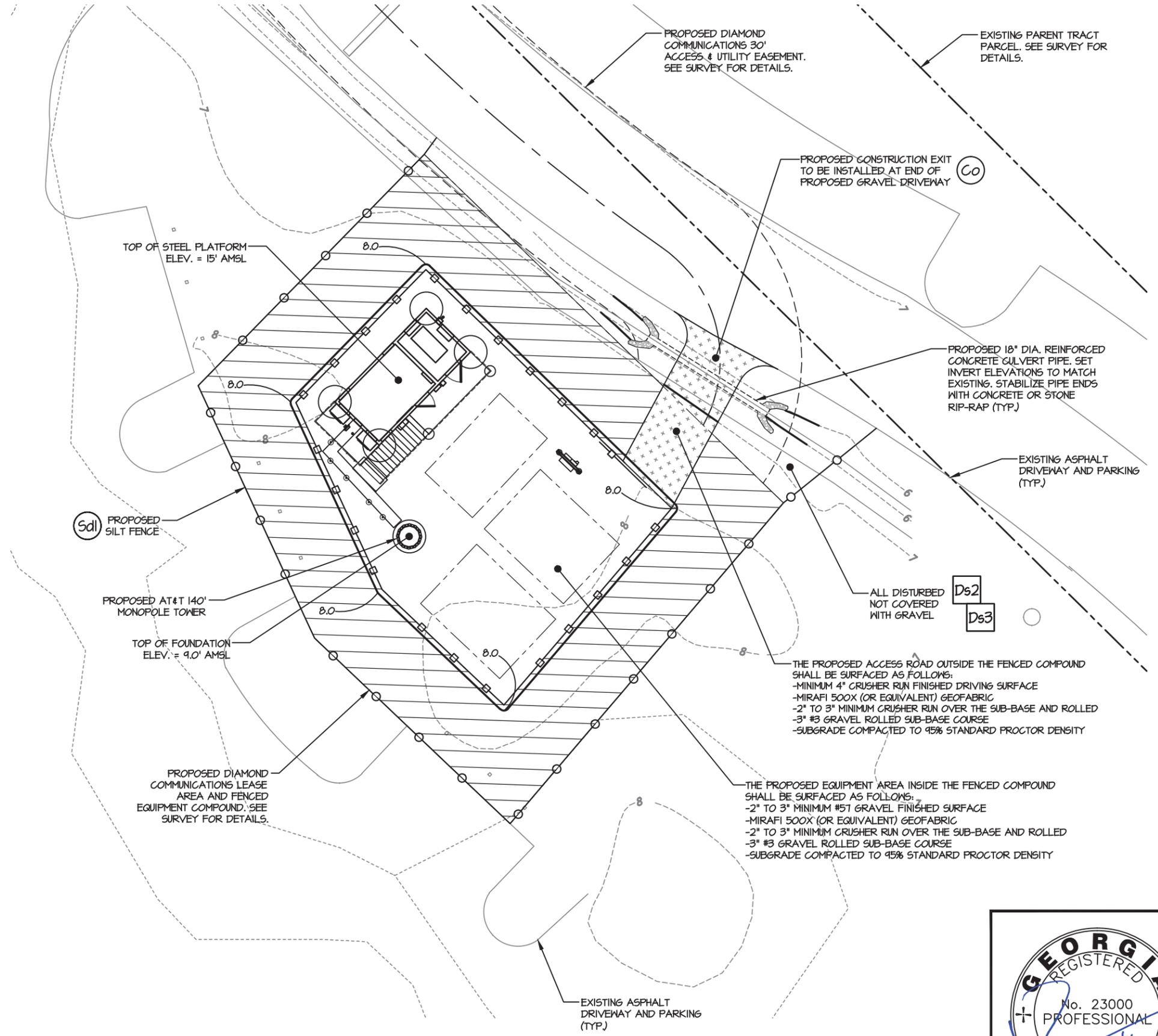
1. THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
-MINIMUM 4" CRUSHER RUN FINISHED DRIVING SURFACE
-MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
-2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
-3" #3 GRAVEL ROLLED SUB-BASE COURSE
-SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
2. THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
-2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
-MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
-2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
-3" #3 GRAVEL ROLLED SUB-BASE COURSE
-SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
3. ALL EXISTING SUBGRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED TO 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T99.
4. THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL SUBGRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO THE TOWER OWNER.



GRAPHIC SCALES



SCALE: 1" = 20'



EROSION CONTROL PLAN
SCALE: 1" = 20'-0"

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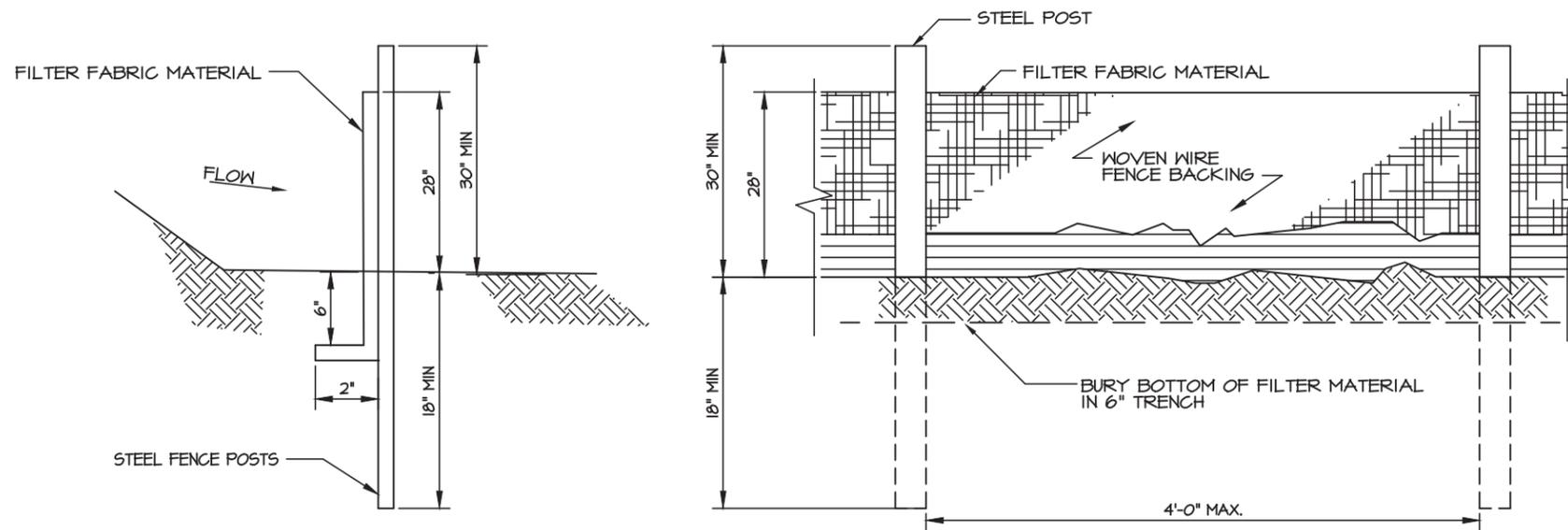
410-365
GRADING, SEDIMENT & EROSION CONTROL PLAN



DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

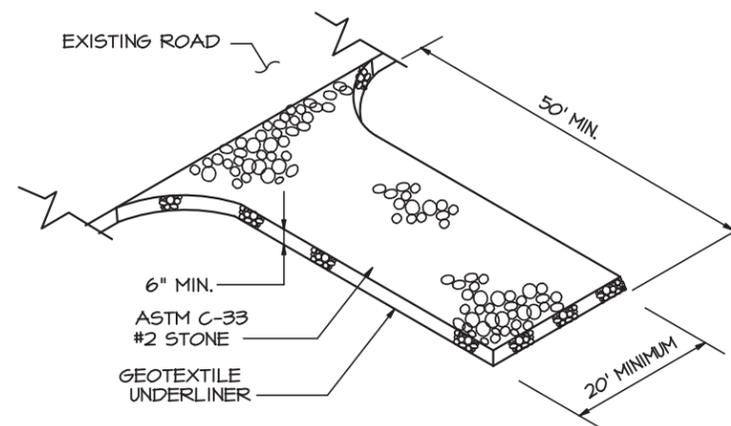
JOB #: TD516-001

C-5



NOTE: USE 36" DOT APPROVED FABRIC
USE STEEL POSTS

Sdl-C SILT FENCE, TYPE-C



Co CONSTRUCTION EXIT



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C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365
GRADING, SEDIMENT & EROSION CONTROL DETAILS

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM
JOB #: TDS16-001

C-6



VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RYE GRASS	40-50 LB.	UNHULLED BERMUDA ¹ SERICEA LESPEDEZA ²	8-10 LB. 30-40 LB.
2. FEBRUARY			UNHULLED BERMUDA ² SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZA WEEPING LOVE GRASS	2-3 BU. 20-25 LB. 4-6 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
4. APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN ANNUAL	2-3 BU. 30-40 LB. 20-25 LB. 35 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
5. MAY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.		
8. AUGUST	RYE GRASS WEEPING LOVE GRASS	40-50 LB. 4-6 LB.		
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHULLED BERMUDA ² SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
12. DECEMBER	RYE RYE GRASS WHEAT	2-3 BU. 40-50 LB. 2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.

¹ USE A MINIMUM OF 40 LBS. SCARIFIED SEED. THE REMAINDER MAY BE UNSCARIFIED, CLEAN HULLED SEED.

² USE EITHER COMMON SERALA OR INTERSTATE SERICEA LESPEDEZA.

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY) OR WOOD CELLULOSE FIBER MULCH	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE 1000 LBS./ACRE	
SERICEA LESPEDEZA, SCARIFIED WEEPING LOVE GRASS, OR COMMON BERMUDA, HULLED	60 LBS. 4 LBS. 6 LBS.	3/1 - 6/15
FESCUE SERICEA LESPEDEZA, UNSCARIFIED	40 LBS. 60 LBS.	4/1 - 10/31
FESCUE SERICEA LESPEDEZA, UNSCARIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE

C. SECOND-YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT) 500 LBS./ACRE

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT: GRADE, SHAPE, AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY)	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE	
HULLED COMMON BERMUDA GRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	4/1 - 10/31
FESCUE RYE GRASS	50 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE

C. SECOND-YEAR TREATMENT:

FERTILIZER (5-10-15 OR EQUIVALENT) 800 LBS./ACRE

DESCRIPTION:	DATE	NUM
ISSUED FOR PRELIMINARY REVIEW	2/24/16	A
ISSUED FOR PRELIMINARY REVIEW	4/12/16	B
ISSUED FOR PRELIMINARY REVIEW	4/18/16	C
ISSUED FOR ZONING SUBMITTAL	4/20/16	O

410-365

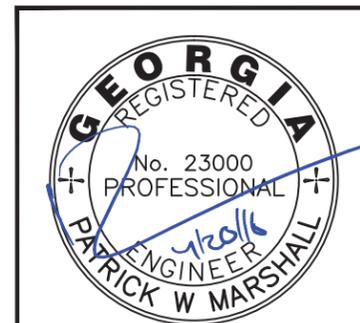
**GRADING, SEDIMENT &
EROSION CONTROL
VEGETATION SPECS**

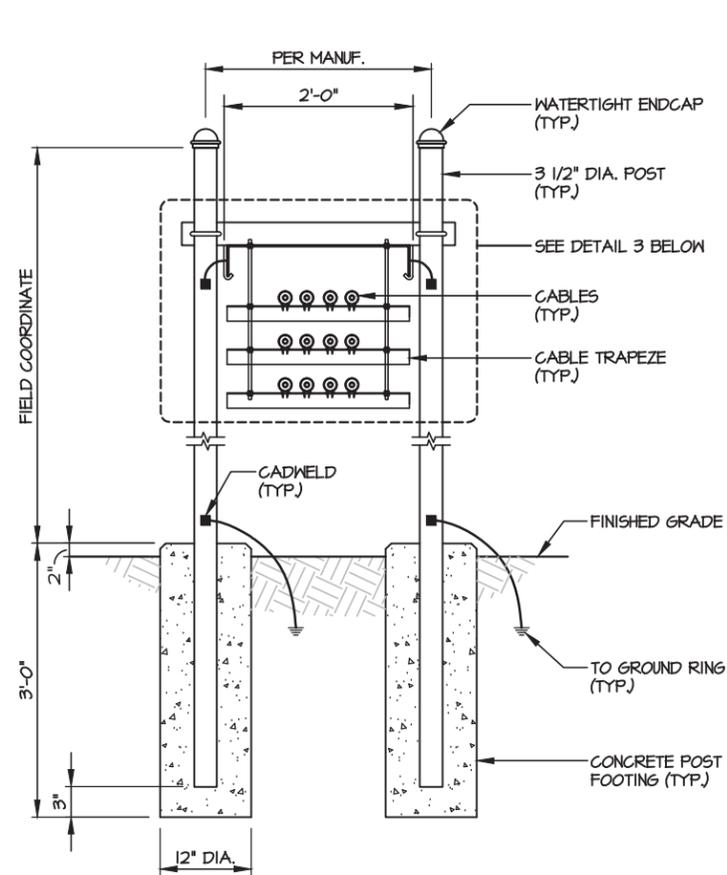
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DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

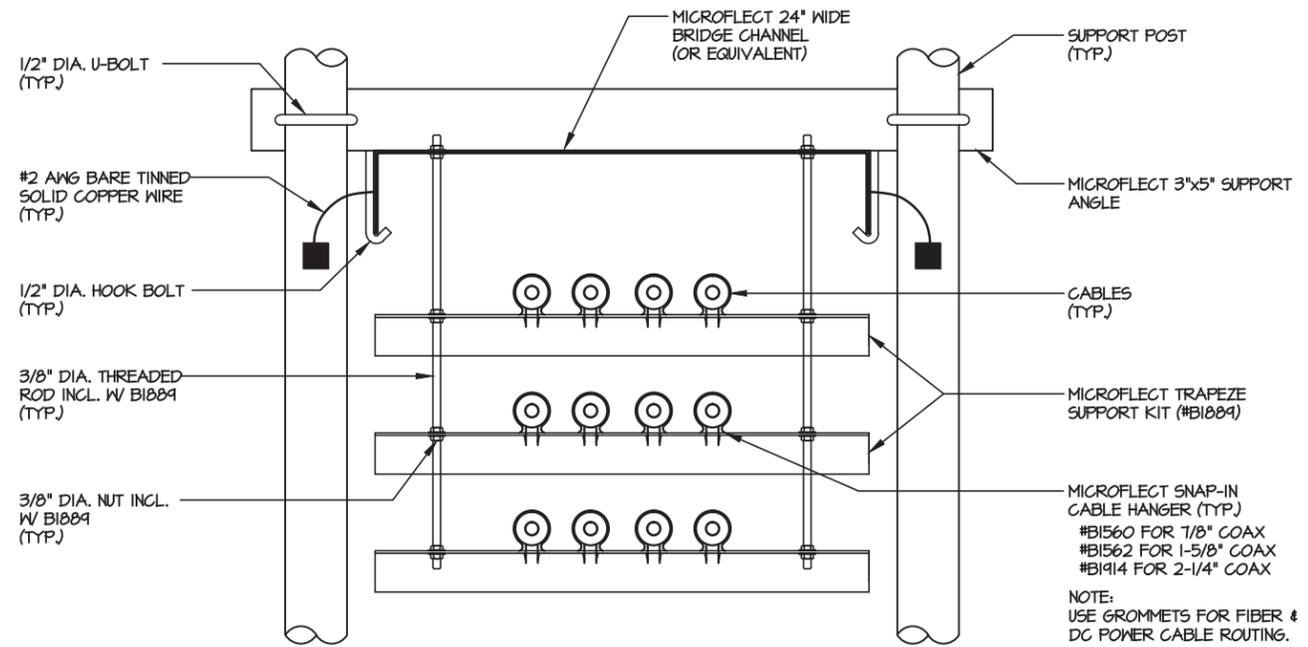
JOB #: TD516-001

C-7

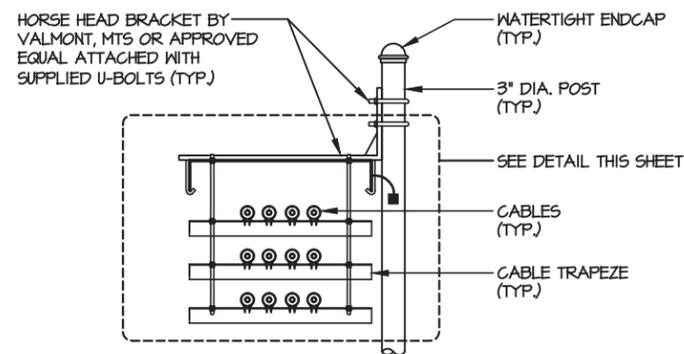




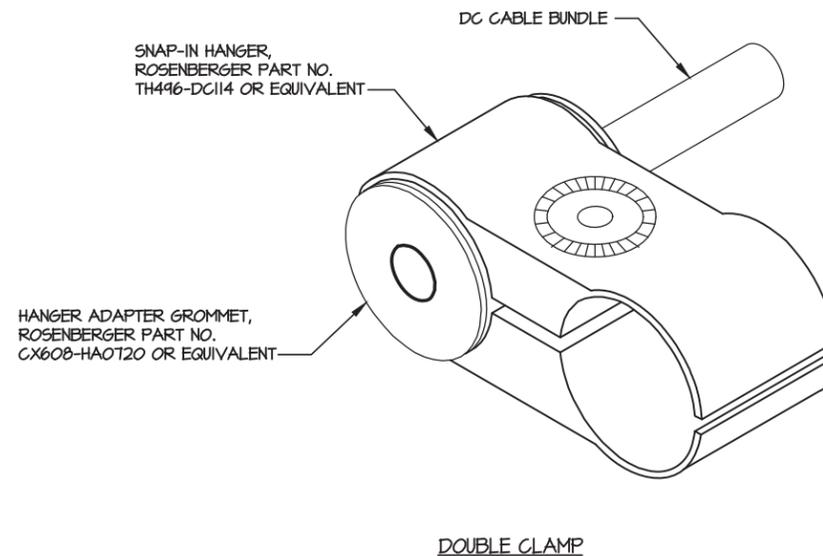
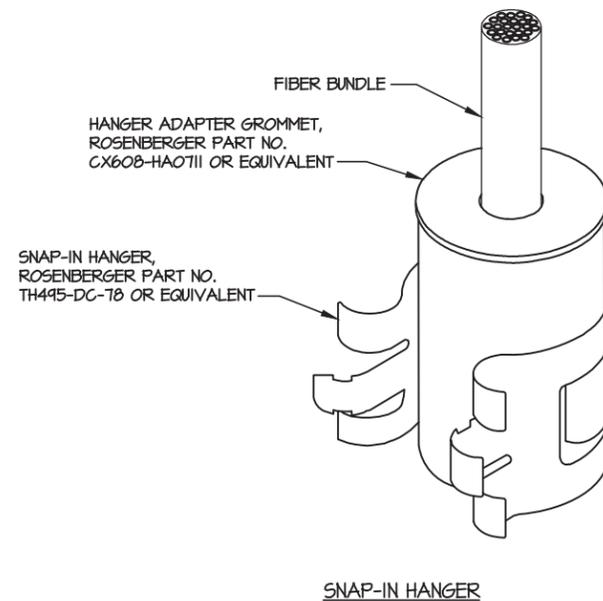
ICE BRIDGE SECTION
NOT TO SCALE



CABLE TRAPEZE DETAIL
NOT TO SCALE



ICE BRIDGE SECTION (ALTERNATE HORSE HEAD)
NOT TO SCALE



NOTES:

1. REFER TO JSA DOCUMENTS FOR EXACT CABLE NUMBER AND MANUFACTURER SPECIFICATIONS FOR PROPER GROMMETS AND HANGERS TO SUPPORT THE FIBER AND DC CABLE BUNDLES.
2. REFER TO STRUCTURAL ANALYSIS FOR EXACT CABLE ROUTING AND MOUNTING CONFIGURATION.

HANGER ADAPTER GROMMET DETAILS
NOT TO SCALE

NUM	DATE	DESCRIPTION:
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

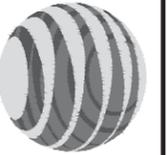
410-365

ICE BRIDGE DETAILS

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

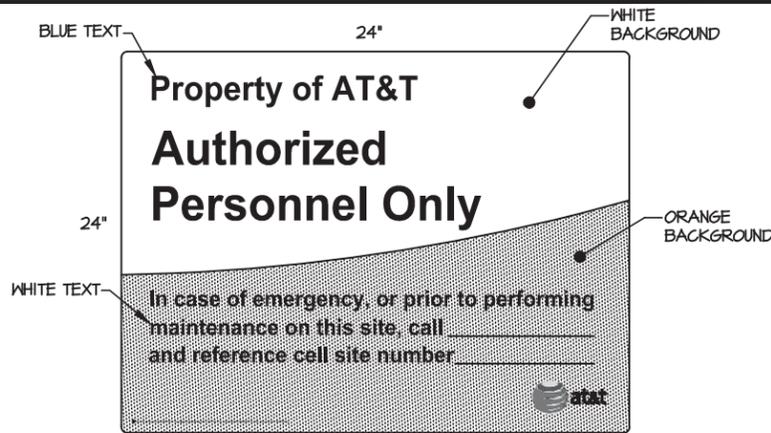
C-8





SIGNAGE NOTES:

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (FENCE) OR BRACKETS, WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E911 ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
4. AT&T SITE # & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON THE EQUIPMENT CABINET WITH PERMANENT SET ADHESIVE. TWO SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SETS.



PROPERTY OF AT&T 9-1

WHITE/ORANGE BACKGROUND, BLUE/WHITE LETTERING
MOUNTING LOCATION: ALL 4 SIDES OF FENCE (IF AT&T OWNED SITE, NOT REQUIRED IF OWNED BY OTHERS)
QUANTITY: 4



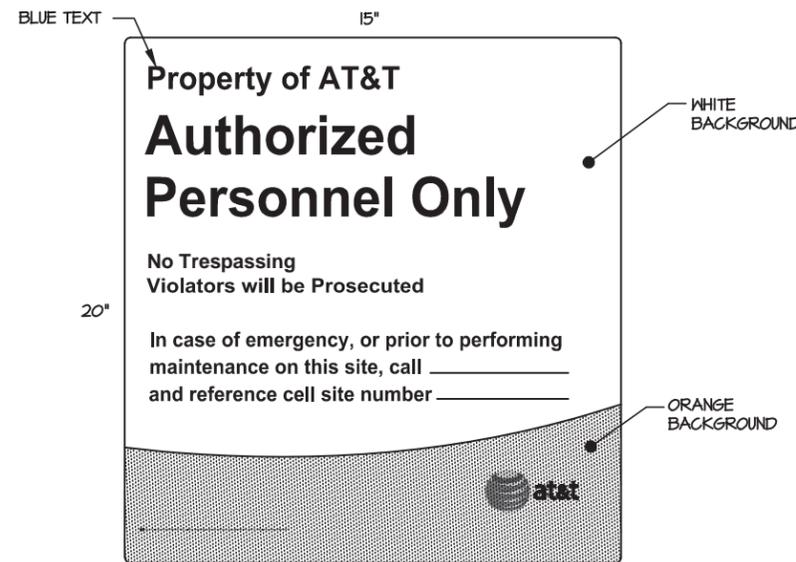
AUTHORIZED PERSONNEL SIGN 9-2

WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: SHELTER DOOR & CABINET DOORS
QUANTITY: PER NUMBER OF CABINET DOORS ON SITE



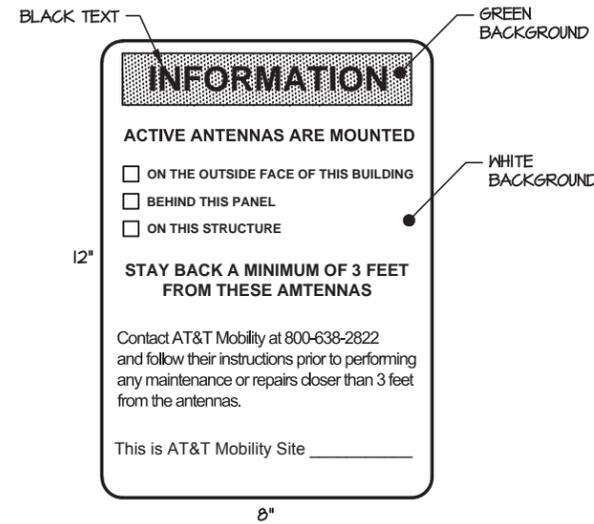
FCC REGISTRATION SIGN 9-3

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



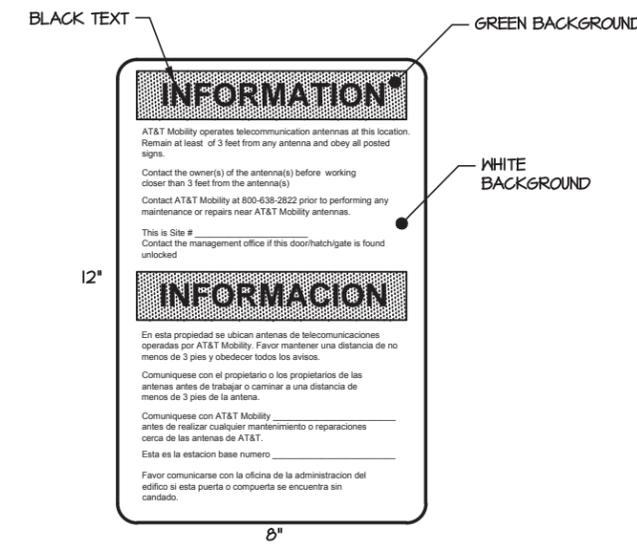
PROPERTY OF AT&T - DOOR 9-4

WHITE/ORANGE BACKGROUND, BLUE/WHITE LETTERING
MOUNTING LOCATION: SHELTER DOOR
QUANTITY: 1
MOUNTING LOCATION: CABINET DOORS
QUANTITY: 1 PER CABINET DOOR



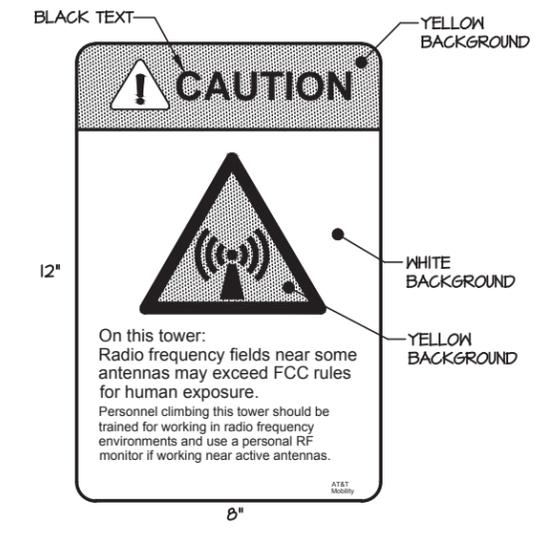
RF EXPOSURE INFORMATION SIGN 9-5

WHITE/GREEN BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



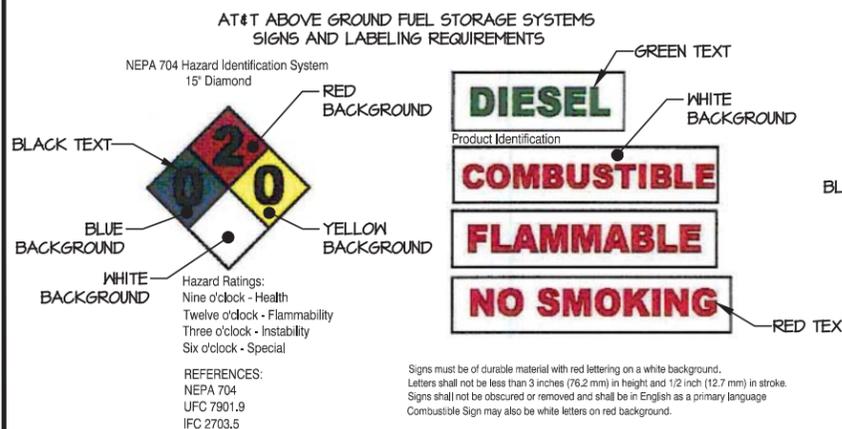
RF EXPOSURE INFORMATION SIGN 9-6

WHITE/GREEN BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



RF EXPOSURE CAUTION SIGN 9-7

WHITE/YELLOW BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: BASE OF TOWER
QUANTITY: 1



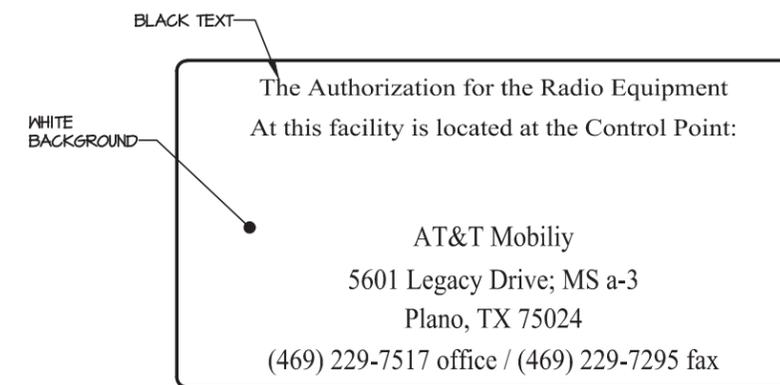
HAZARDOUS MATERIALS 9-8

MOUNTING LOCATION: FUEL STORAGE TANK / GENERATOR
QUANTITY: 1



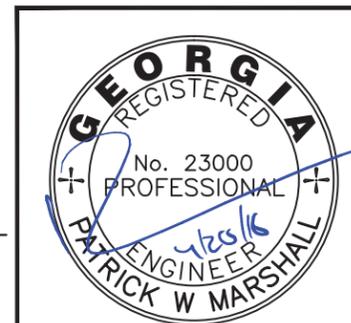
DANGER NO TRESPASSING SIGN 9-9

WHITE/BLACK BACKGROUND, BLACK/WHITE LETTERING
MOUNTING LOCATION: ALL 4 SIDES OF FENCE (IF AT&T OWNED SITE)
MOUNTING LOCATION: GATE (IF OWNED BY OTHERS)
QUANTITY: 1



AUTHORIZATION FOR RADIO EQUIPMENT SIGN 9-10

WHITE BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: SHELTER DOOR
QUANTITY: 1 PER CABINET DOOR



NUM	DATE	DESCRIPTION:
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B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/19/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365

SITE SIGNAGE

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

C-9



AT&T SIGNAGE NOTES:

1. FOR BUILDINGS OWNED BY AT&T MOBILITY, ALL THE FOLLOWING STANDARDS APPLY. FOR AT&T MOBILITY LEASED SPACE OR, CO-LOCATED FACILITIES, THE ONLY SIGNAGE REQUIREMENTS ARE FOR POINTS OF ENTRY INTO OUR INTERIOR OR EXTERIOR LEASED SPACE. HAZMAT AND RF WARNING SIGN REQUIREMENTS WOULD BE APPLIED AS APPROPRIATE ENTRY POINTS TO AREAS IN THE COLLOCATION WHERE OUR EQUIPMENT IS HOUSED.
 2. EXCESSIVE EXTERIOR SIGNAGE ON BUILDINGS CONTAINING NETWORK EQUIPMENT IS PROHIBITED (EXAMPLES INCLUDE: MARQUIS SIGNS, LIGHTED SIGNS OR LARGE PLACARDS). DUE TO THE CRITICAL ELEMENTS HOUSED IN THESE FACILITIES IT IS IN THE BEST INTEREST OF AT&T MOBILITY TO LIMIT UNNECESSARY EXPOSURE TO OUR CRITICAL OPERATING CENTERS. ALTHOUGH THERE SHOULD BE BASIC SIGNAGE ON EXTERIOR BUILDING DOORS AND FENCE AND GATE ACCESS POINTS, IT IS NOT PERMITTED TO USE 'ADVERTISING' TYPE SIGNAGE ON THESE BUILDINGS.
 3. GLASS MAIN ENTRY DOORS MAY BE 'BRANDED' WITH AT&T MOBILITY LOGO PROVIDING THIS IS NOT A LIGHTED / 'MARQUIS' SIGN. IN CERTAIN CASES WHERE A SITE IS UNMANNED, EXTERIOR DOOR SIGNS MAY BE OMITTED TO PREVENT DRAWING UNDUE ATTENTION TO THE SITE. FOR THESE TYPES OF SITES, THE MARKET MAY ELECT TO HARDEN SECURITY IN A MORE INVISIBLE MANNER. IT IS THE RESPONSIBILITY OF THE MARKET TO MAKE PRUDENT DECISIONS FOR UNMANNED CORE SITES ON A CASE BY CASE BASIS
 4. BATTERY PLANTS AND FIXED GENERATOR SYSTEMS LOCATED AT A CORE BUILDING WILL CONTAIN DIESEL AND BATTERY ACID AT A LEVEL THAT WOULD TRIGGER HAZMAT SIGNAGE REQUIREMENTS AS DESCRIBED.
 5. PLEASE REFER TO RF EXPOSURE SIGNAGE SECTION CONTAINED IN THIS DOCUMENT, AS SOME CORE BUILDINGS MAY TRIGGER CERTAIN SIGNAGE REQUIREMENTS FOR RF EXPOSURE.
 6. VENDOR AND PRICING (SECURITY SIGNS)
 - SERVICE SELECT INC.
 - BETH OLMSTEAD
 - BETH@SERVICESELECTING.COM
 - 215-788-3898
 - GATE SIGN - \$16 PER
 - DOOR SIGN - \$3.50 PER
 - FENCE/NO TRESPASSING - EST. \$12.50 PER.
 - AUTHORIZED PERSONNEL ONLY - EST. \$12.50 PER.
- NOTE: SERVICE SELECT INC. IS THE ONLY SIGN COMPANY AUTHORIZED TO PRINT GATE SIGNS AND DOOR SIGNS WITH THE AT&T NAME AND LOGO.
7. NO TRESPASSING SIGNS AND AUTHORIZED PERSONNEL ONLY SIGNS CAN BE PURCHASED FROM A LOCAL HARDWARE STORE.
 8. FUEL STORAGE TANKS ARE REQUIRED TO BE MARKED SO THAT THE CONTENTS AND FIRE HAZARDS ARE IDENTIFIED. THE CURRENT LABELS AND PLACARDS FOR ABOVEGROUND TANKS INCLUDE THE FOLLOWING:
 - PRODUCT LABEL (GASOLINE, DIESEL FUEL)
 - COMBUSTIBLE LABEL FOR DIESEL FUEL
 - FLAMMABLE LABEL FOR GASOLINE
 - NFPA 704 HAZARD ID SYSTEM - 15" DIAMOND PLACARD LABEL (AS REQUIRED BY LOCAL JURISDICTION)
 - NO SMOKING LABEL
 - STORAGE TANK CAPACITY LABEL (OPTIONAL)
 9. REGIONS/MARKETS ARE GIVEN THE ABILITY TO CHOOSE WHERE THE SIGNS AND VINYL NUMBER DECALS WILL BE ORDERED. NO VENDOR OR PRICING HAS BEEN ESTABLISHED ON A NATIONAL LEVEL.
 10. FOR AT&T-OWNED CELL TOWERS AND OTHER-OWNED TOWERS WHERE AT&T MOBILITY IS PERMITTED TO POST RF SAFETY SIGNAGE, THE TYPICAL RF EXPOSURE SIGNAGE CONSISTS OF AN "INFORMATION" SIGN INSTALLED ON ENTRANCE GATES OR ADJACENT TO THE "CAUTION" SIGNS REQUIRED TO BE INSTALLED AT ACCESSES TO EACH CLIMBING LADDER AT THE TOWER. "INFORMATION" SIGNS ARE NO LONGER PERMITTED TO BE INSTALLED ON EQUIPMENT CABINETS OR BUILDINGS.
 11. SIGNS MAY BE SECURED TO TOWERS USING METAL BANDS, ADHESIVE OR SPECIALLY FABRICATED MOUNTING FAMES. UNDER NO CIRCUMSTANCES ARE HOLES TO BE DRILLED IN, OR BRACKETS WELDED, TO THE TOWER STRUCTURE UNLESS SPECIFICALLY INSTRUCTED OTHERWISE.
 12. REGIONS/MARKETS ARE TO ORDER THE REQUIRED RF EXPOSURE SIGNS FROM THE VENDOR SPECIFIED BELOW. THIS COMPANY HAS THE LATEST AT&T MOBILITY SIGNS READY TO ORDER.
 - EXCEL SIGN & DECAL
 - 1509 N. MILPITAS BLVD.
 - MILPITAS, CA 95035
 - WWW.EXCELTEAM.NET
 - 408-942-8881 - ATTN: GREG
 13. IF THE SITE IS EQUIPPED WITH ENTRY DOOR OR GATE SIGN ASSURE THAT CONTACT # FOR MNRC OF 1-800-638-2822 IS PRESENT. UPDATE CONTACT NUMBER AS NEEDED TO ASSURE APPROPRIATE NUMBER IS PRESENT. IT IS ACCEPTABLE TO USE VINYL TAPE AND PERMANENT MARKER TO COVER OVER OUTDATED NUMBERS WITH NEW NUMBER.
 14. IF THE SIGN REFLECTS ANY PAST OWNER (OTHER THEN CINGULAR), ORDER A REPLACEMENT SIGN. IF THE SITE IS OWNED BY AT&T AND THE REQUIRED DOOR OR GATE SIGN IS MISSING, REPLACEMENT SIGNS MUST BE OBTAINED AND POSTED.

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A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

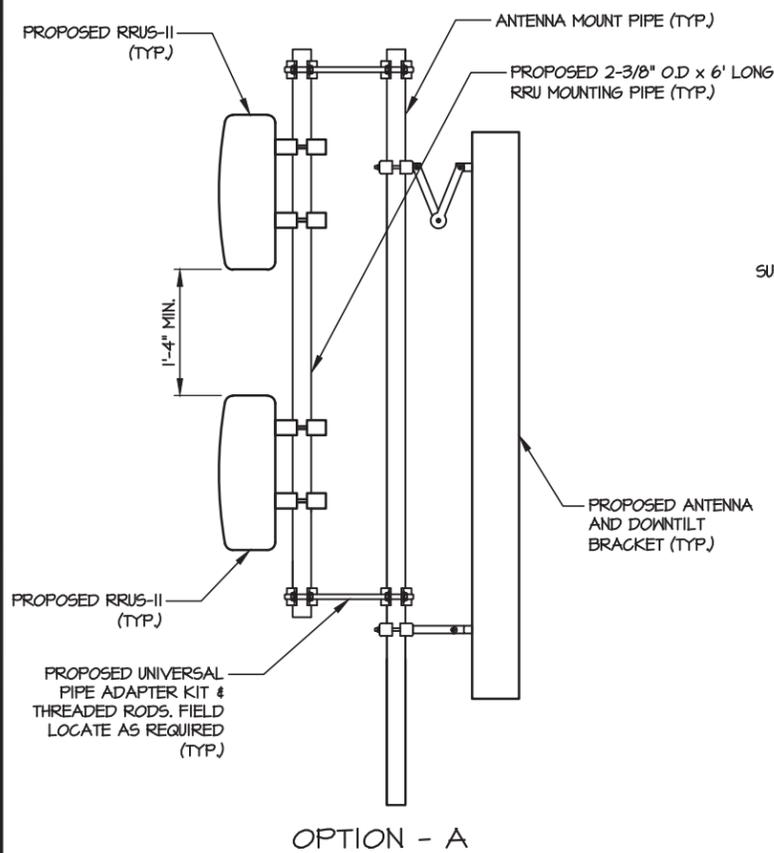
410-365

SITE SIGNAGE NOTES



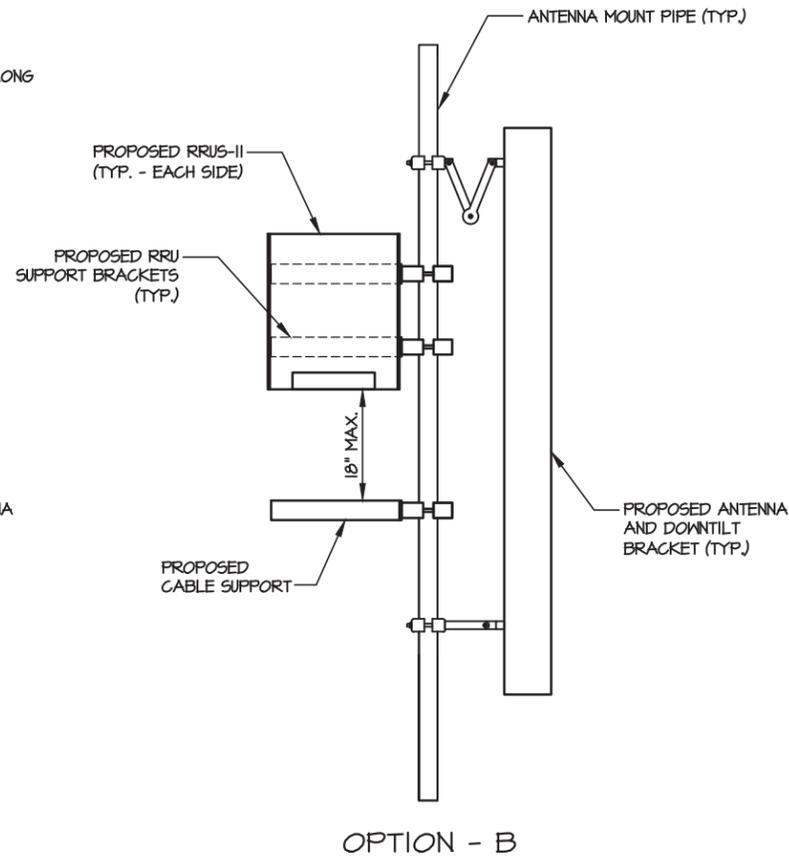
SITE ID: 410-365
 DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM
 JOB #: TDS16-001

C-10

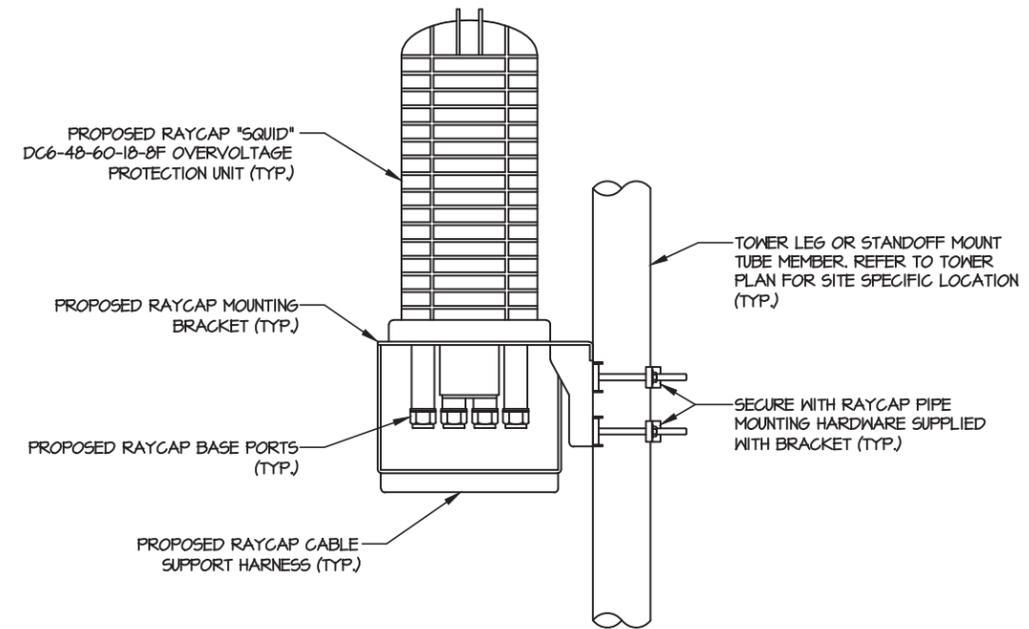


RRUS-II MOUNT DETAIL

NOT TO SCALE



OPTION - B



RAYCAP SQUID MOUNT DETAIL

NOT TO SCALE

NUM	DATE	DESCRIPTION:
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365

**RRU & SQUID
MOUNTING DETAILS**

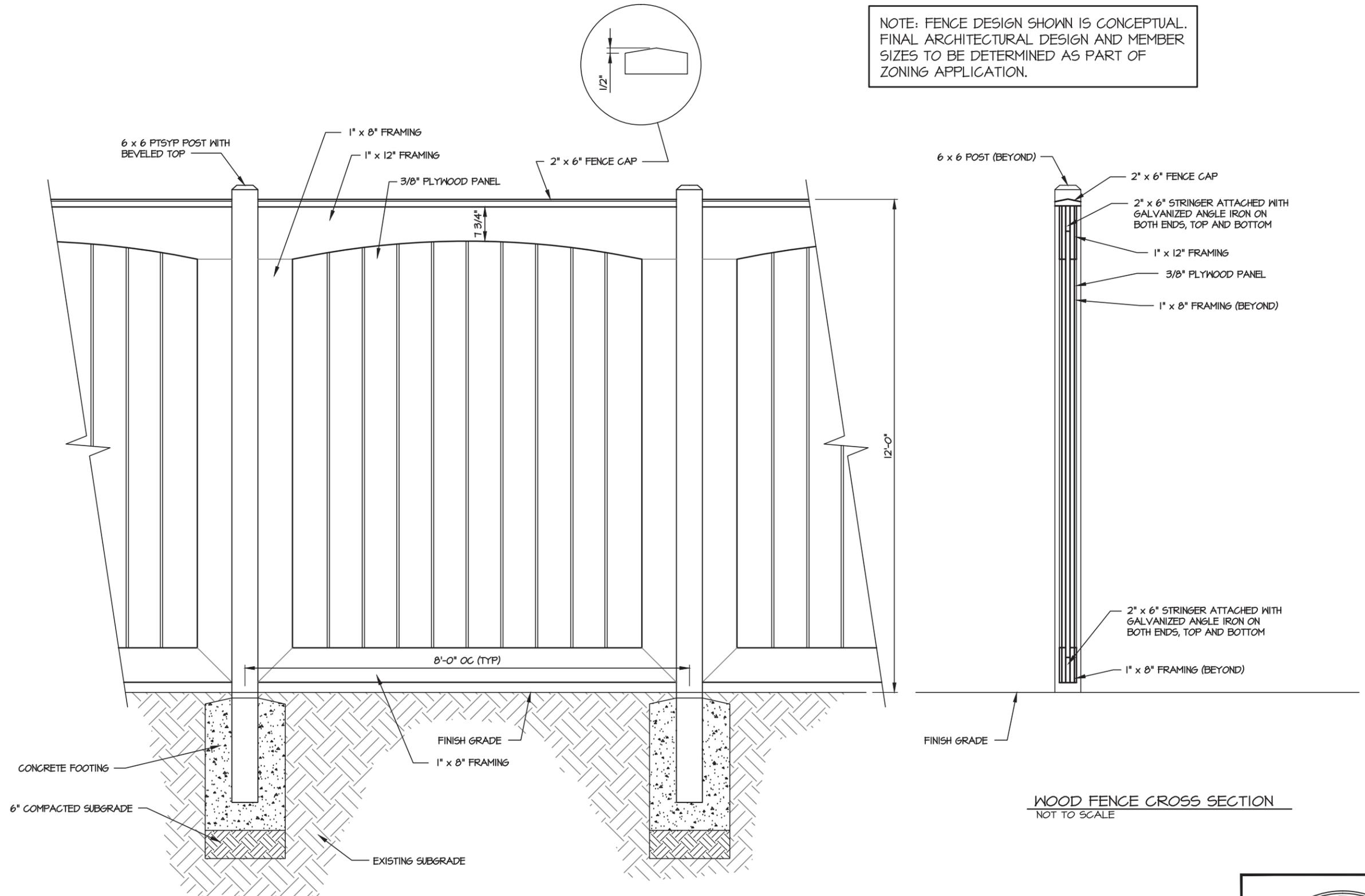


DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TDS16-001

C-11

NOTE: FENCE DESIGN SHOWN IS CONCEPTUAL. FINAL ARCHITECTURAL DESIGN AND MEMBER SIZES TO BE DETERMINED AS PART OF ZONING APPLICATION.



WOOD FENCE CROSS SECTION
NOT TO SCALE

NOTE:
FENCE SHALL BE STAINED "CHARLESTON GREEN". CONSTRUCTION MANAGER SHALL APPROVE COLOR PRIOR TO STAINING.

WOOD FENCE DETAIL
NOT TO SCALE

NOTE:
12' WIDE DOUBLE SWING GATE:
ALL DETAILING AND MILLWORK TO MATCH THAT OF PROPOSED FENCE. ALL HARDWARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



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B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

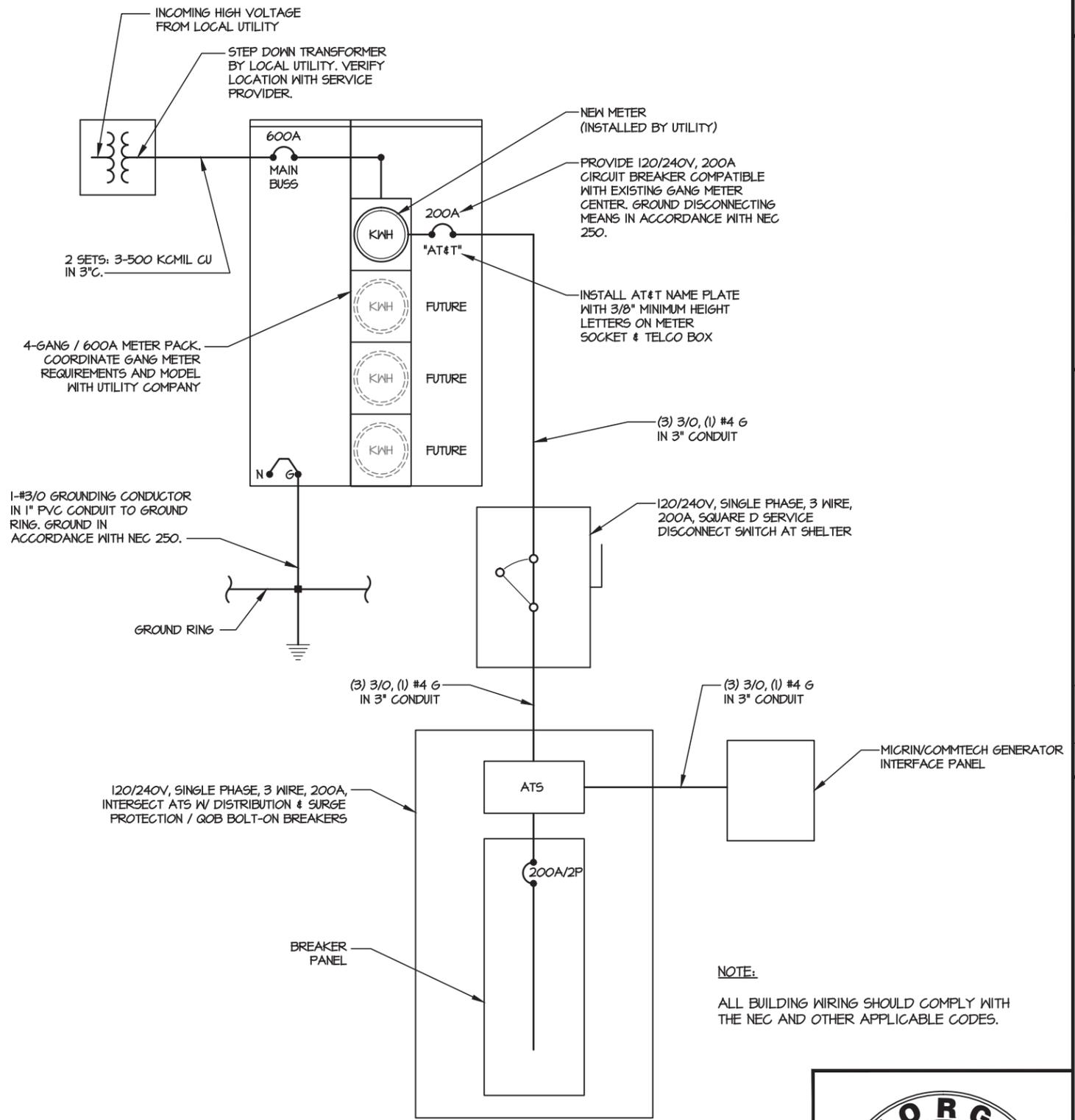
410-365
FENCE DETAILS

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

C-12

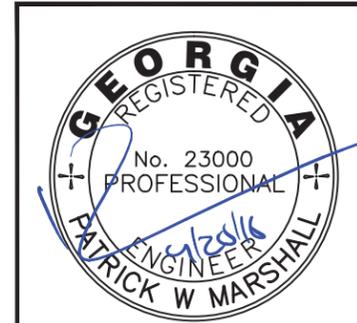
ELECTRICAL INSTALLATION NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RINGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC 4 05HA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATINGS, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATINGS, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (MET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (MET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THHN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (MET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (100°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



ONE-LINE DIAGRAM
NT5

NOTE:
ALL BUILDING WIRING SHOULD COMPLY WITH THE NEC AND OTHER APPLICABLE CODES.



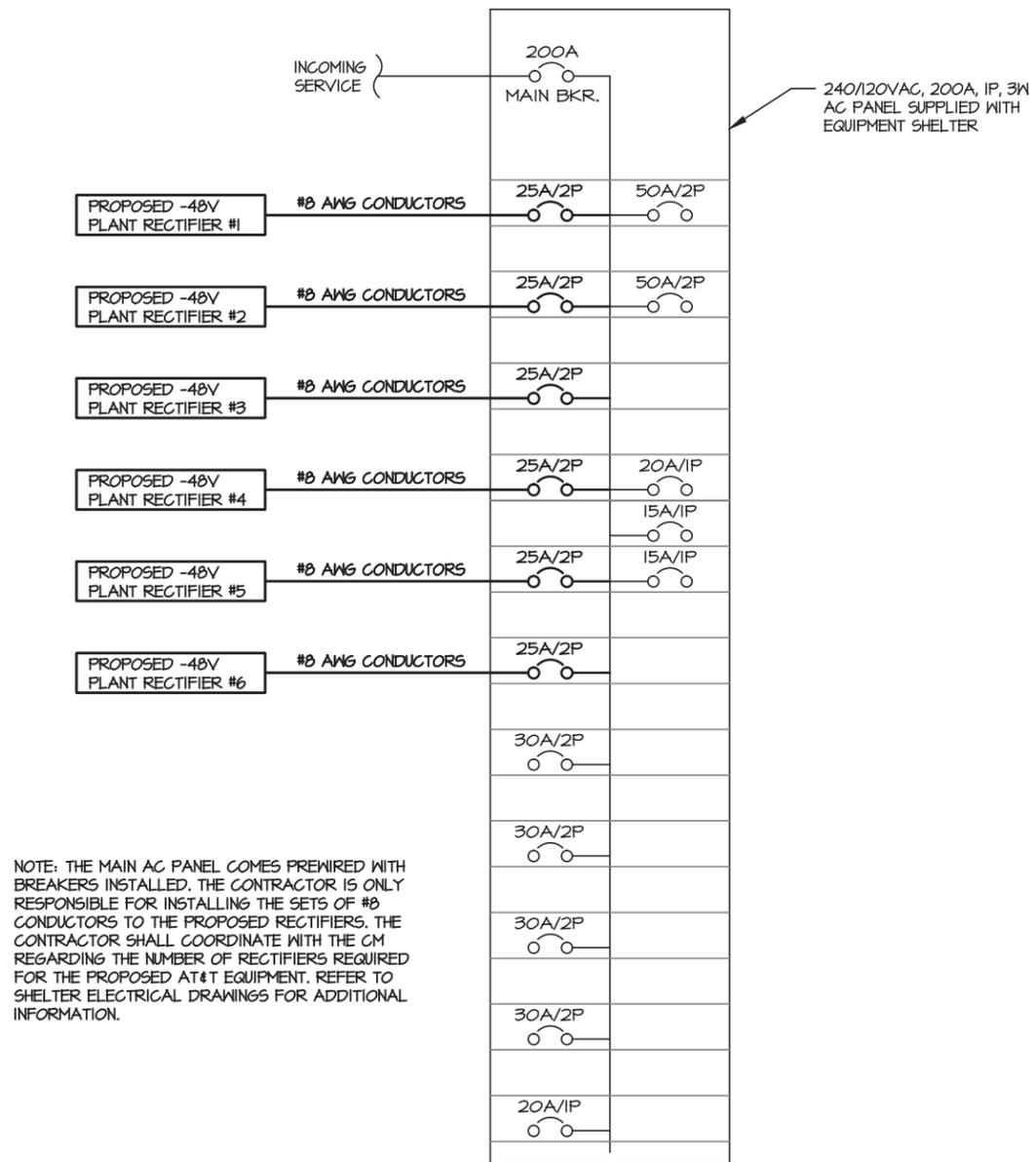
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410-365
ELECTRICAL SPECS & ONE-LINE DIAGRAM

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

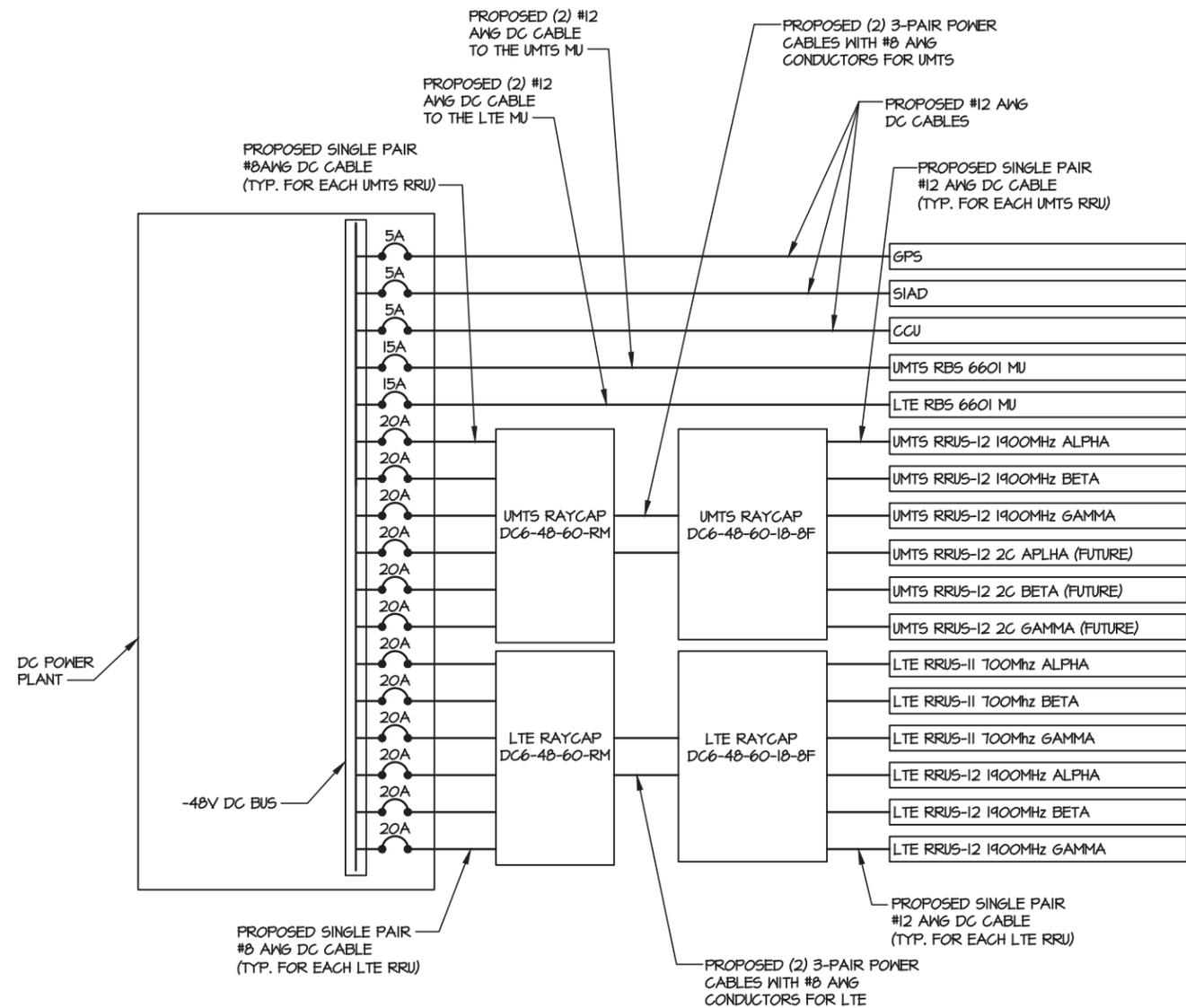
JOB #: TD516-001

E-1



NOTE: THE MAIN AC PANEL COMES PREWIRED WITH BREAKERS INSTALLED. THE CONTRACTOR IS ONLY RESPONSIBLE FOR INSTALLING THE SETS OF #8 CONDUCTORS TO THE PROPOSED RECTIFIERS. THE CONTRACTOR SHALL COORDINATE WITH THE CM REGARDING THE NUMBER OF RECTIFIERS REQUIRED FOR THE PROPOSED AT&T EQUIPMENT. REFER TO SHELTER ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

AC BREAKER SCHEDULE



DC ONE LINE

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ONE LINE DIAGRAMS

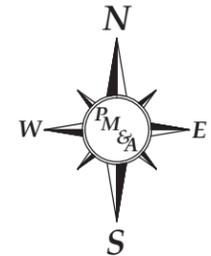
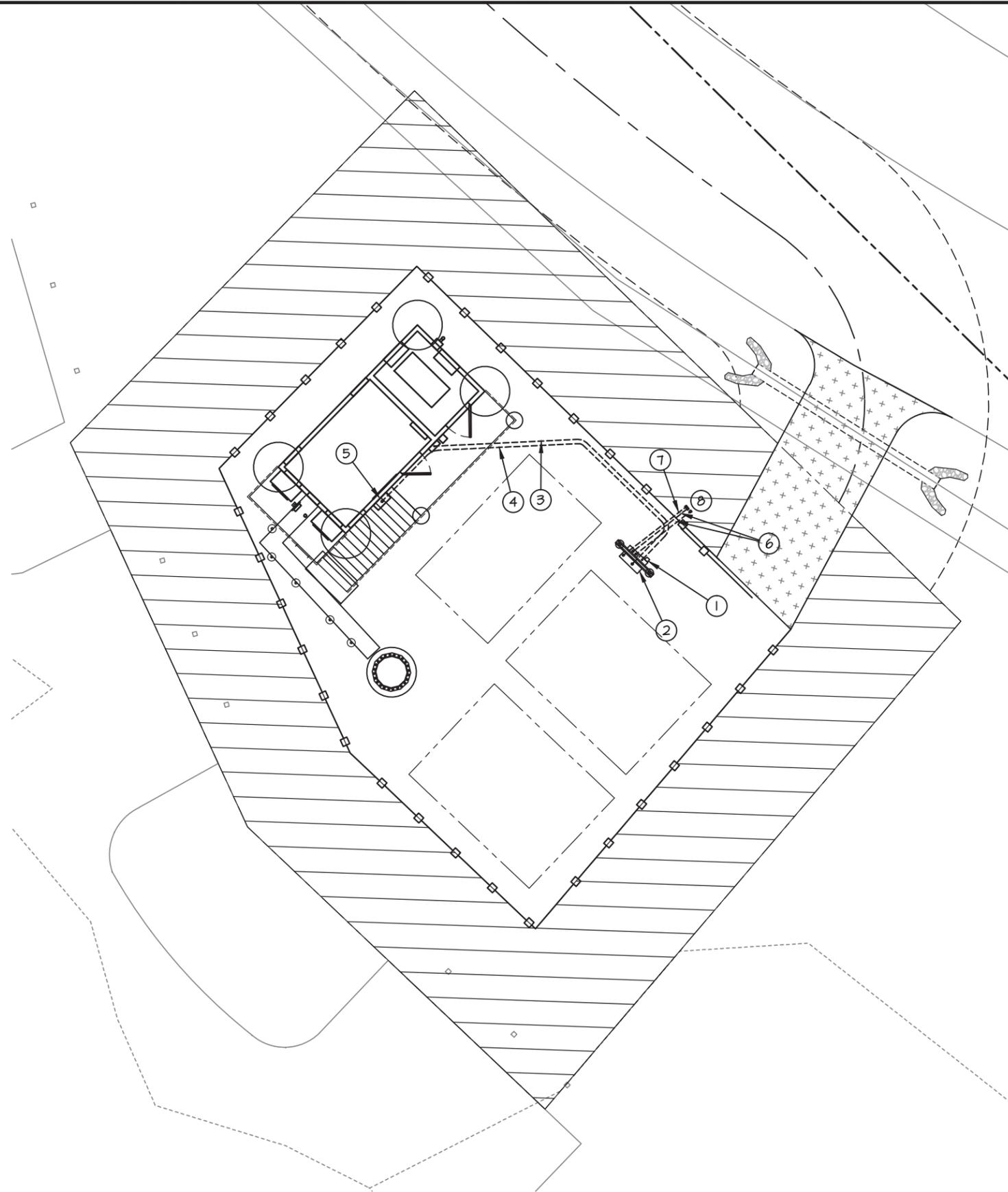


DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001

E-2

- ELECTRICAL KEY NOTES:**
- ① PROPOSED 4-GANG / 600A METER PANEL. SEE SHEET E-1 FOR MOUNTING DETAILS. SEE SHEET E-1 FOR ELECTRICAL ONE-LINE DIAGRAM.
 - ② PROPOSED 48"x48"x12" TELCO CABINET. SEE E-1 FOR MOUNTING DETAILS.
 - ③ PROPOSED (3) 3/0, (1) #4 G IN 3" CONDUIT FROM THE METER TO THE DISCONNECT ON SHELTER.
 - ④ PROPOSED 4" CONDUIT WITH (2) FULL STRINGS FROM MULTI-TENANT TELCO BOX TO THE AT&T TELCO BOX MOUNTED ON PROPOSED SHELTER.
 - ⑤ PROPOSED 4" CONDUIT WITH (2) FULL STRINGS FROM THE PROPOSED AT&T TELCO BOX TO THE AT&T SHELTER
 - ⑥ PROPOSED (2) 4" PVC CONDUITS FOR POWER SERVICE.
 - ⑦ PROPOSED (1) 4" PVC CONDUIT WITH FULLSTRINGS FOR TELCO SERVICE.
 - ⑧ STUB UP CONDUITS A MINIMUM OF 2' ABOVE FINISHED GRADE AND CAP AT REQUIRED LOCATION. COORDINATE WITH UTILITY PROVIDER FOR FINAL CONNECTION TO EXISTING UTILITIES.

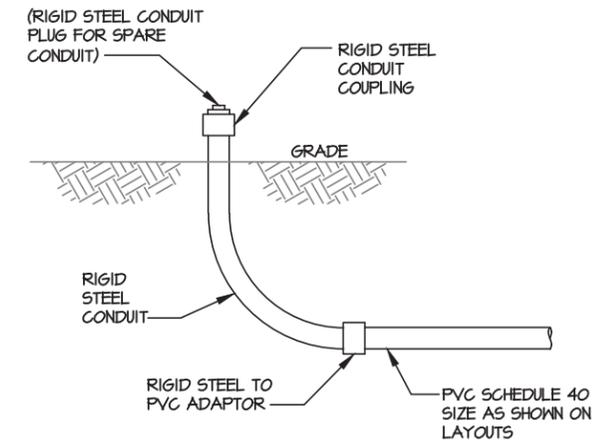


GRAPHIC SCALES



SCALE: 1" = 15'

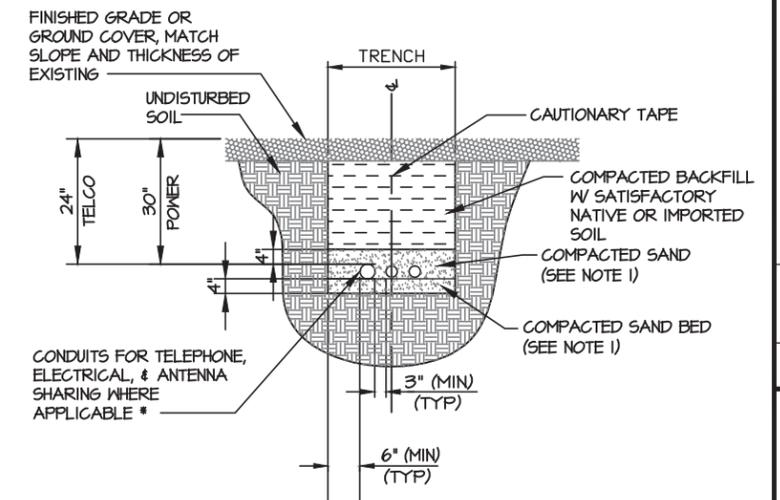
ELECTRICAL SITE PLAN
SCALE: 1" = 15'-0"



UNDERGROUND CONDUIT STUB-UP

NTS

NOTES: 1. LEAN CONCRETE, RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.



* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

DIRECT BURIED CONDUIT

NTS

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ELECTRICAL SITE PLAN

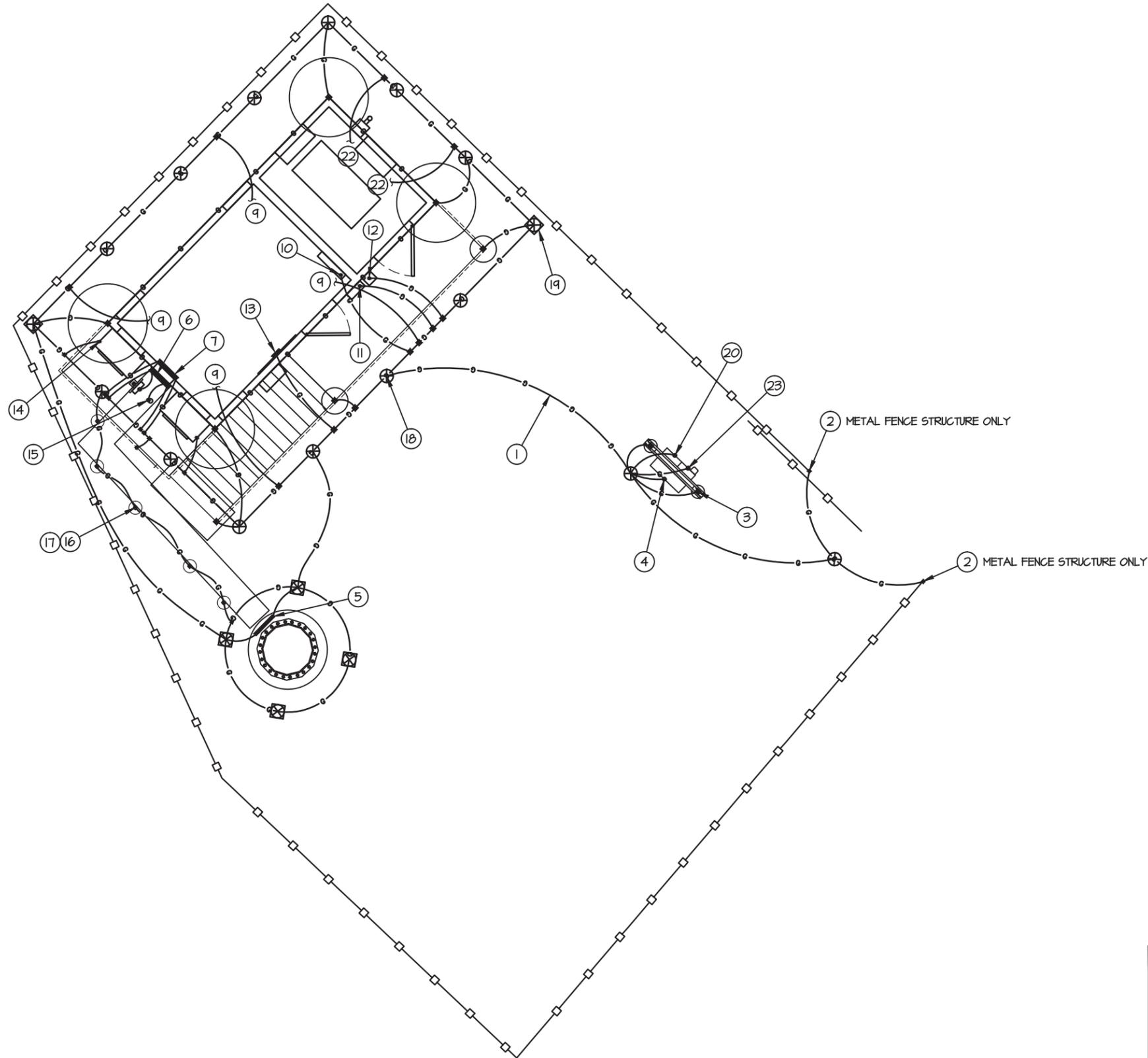


DESIGNED:	AJB
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CHECKED:	PWM
JOB #:	TD516-001

E-3



- ① #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
- ② BOND METALLIC FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTION (TYP)
- ③ BOND ALL H-FRAME POSTS TO GROUND RING
- ④ BOND TELCO BUSS BAR TO GROUND RING
- ⑤ BOND TOWER MOUNTED GROUND BAR TO TOWER GROUND RING (TYP-2)
- ⑥ CONNECT EXTERIOR GROUND BAR (UNDER WAVEGUIDE PORT) TO NEW GROUND RING WITH #2 GROUND CONDUCTORS.
- ⑦ CONNECT MASTER GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑧ BOND EACH SHELTER TIE DOWN PLATE TO GROUND RING WITH CADWELD.
- ⑨ PROVIDE GROUND LEADS FROM SHELTER HALO TO GROUND RING (4 PLACES). COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑩ PROVIDE GROUND LEAD FROM BUILDING 200A PANEL BOARD TO GROUND RING. COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑪ BOND DISCONNECT SWITCH TO GROUND RING.
- ⑫ BOND GENERATOR INTERFACE PANEL TO GROUND RING.
- ⑬ CONNECT TELCO GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑭ BOND HVAC UNITS TO GROUND RING (TYP.)
- ⑮ GROUND GPS ANTENNAS PER MANUFACTURER'S SPECIFICATIONS.
- ⑯ BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS. BOND FIRST AND LAST SECTION TO GROUND RING.
- ⑰ BOND EVERY ICE BRIDGE POST BASE TO GROUND RING WITH CADWELD.
- ⑱ PROPOSED GROUND ROD (TYP).
- ⑲ PROPOSED GROUND ROD WITH INSPECTION WELL.
- ⑳ 1-#3/0 GROUNDING CONDUCTOR IN 1" PVC CONDUIT TO GROUND RING.
- ㉑ BOND TOWER BASE PLATE TO TOWER GROUND RING.
- ㉒ #2 AWG BARE TINNED SOLID COPPER WIRE. 2-HOLE LUG CONNECTION TO GENERATOR BASE FRAME, CADWELD CONNECTION TO EXISTING GROUND RING (TYP.)
- ㉓ GROUND PROPOSED POWER EQUIPMENT TO GROUND RING.



GROUNDING PLAN
SCALE: NTS

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O	4/20/16	ISSUED FOR ZONING SUBMITTAL

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GROUNDING SITE PLAN



DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

E-4

GROUNDING NOTES

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC AND AT&T ND-0001.
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. TESTING SHALL BE IN ACCORDANCE WITH SPECIFICATION 24182-000-3PS-EG00-00001. USE OF OTHER METHODS MUST BE PRE-APPROVED BY CONTRACTOR IN WRITING.
3. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS. WHEN ADDING ELECTRODES, CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE BETWEEN THE ADDED ELECTRODE AND ANY OTHER EXISTING ELECTRODE EQUAL TO THE BURIED LENGTH OF THE ROD. IDEALLY, CONTRACTOR SHALL STRIVE TO KEEP THE SEPARATION DISTANCE EQUAL TO TWICE THE BURIED LENGTH OF THE RODS.
4. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
5. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS PER NEC AND AT&T ND-0001.
6. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
8. ALUMINUM CONDUCTOR OR COPPER GLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
9. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
10. EACH INTERIOR BTS CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH #2 AWG STRANDED, GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES. EACH OUTDOOR CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE BURIED GROUND RING WITH # 2 AWG SOLID TIN-PLATED COPPER WIRE.
11. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TIN-PLATED COPPER UNLESS OTHERWISE INDICATED.
12. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS. HIGH PRESSURE CRIMP CONNECTORS MAY ONLY BE USED WITH WRITTEN PERMISSION FROM AT&T MARKET REPRESENTATIVE.
13. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
14. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPLIT BOLT CONNECTORS WHERE INDICATED IN THE DETAILS.
15. ON ROOFTOP SITES WHERE EXOTHERMIC WELDS ARE A FIRE HAZARD COPPER COMPRESSION CAP CONNECTORS MAY BE USED FOR WIRE TO WIRE CONNECTORS. 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS SHALL BE USED FOR CONNECTION TO ALL ROOFTOP BTS EQUIPMENT AND STRUCTURAL STEEL.
16. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR USING TWO HOLED MECHANICAL TYPE BRASS CONNECTORS AND STAINLESS STEEL HARDWARE.
17. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
18. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
19. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
20. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF THE BURIED GROUND RING WITH # 2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
21. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.
22. GROUND ALL RF EQUIPMENT INCLUDING BUT NOT LIMITED TO COAX, DIPLEXERS, SURGE ARRESTORS, TMA's, ANTENNAS, & ANTENNA MASTS PER NEC AND AT&T ND-0001.



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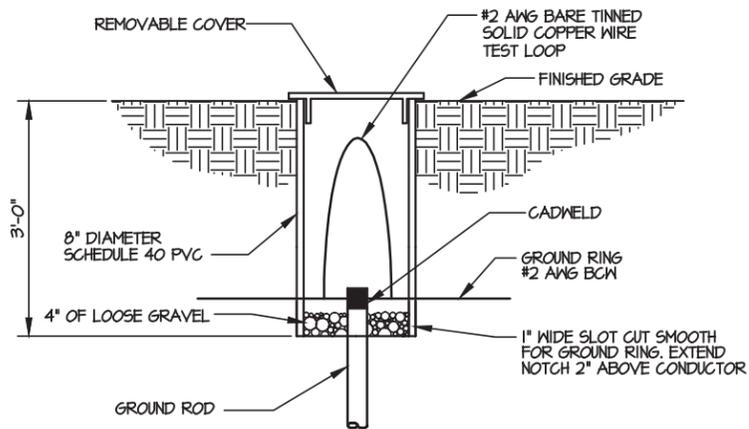
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JOB #: TDS16-001

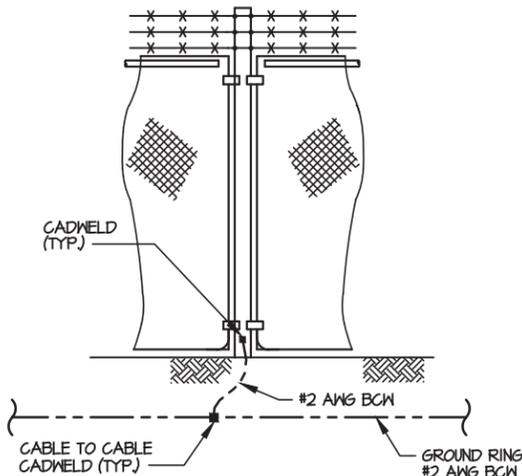
GROUNDING NOTES



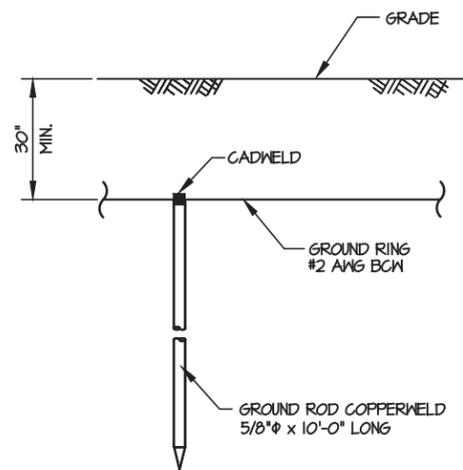
E-5



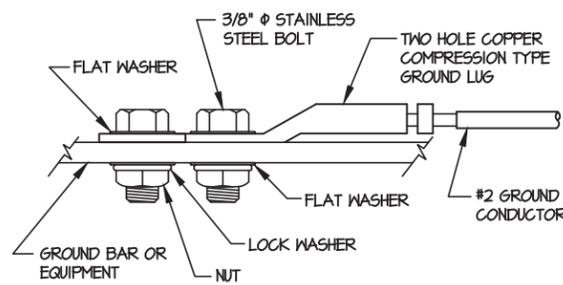
GROUND ROD INSPECTION WELL
NOT TO SCALE



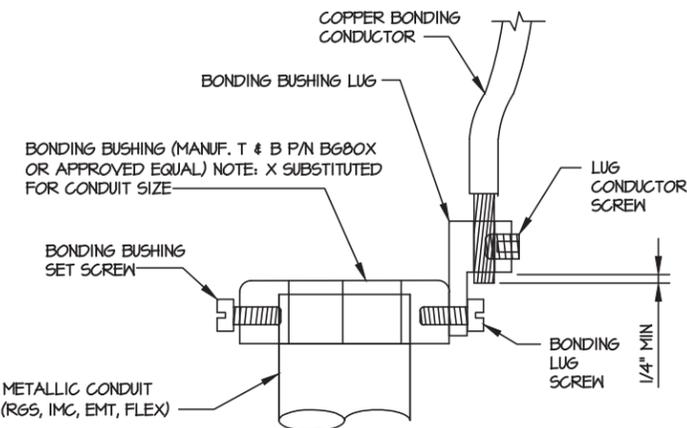
FENCE GROUNDING
NOT TO SCALE



GROUND ROD DETAIL
NOT TO SCALE



MECHANICAL GROUND CONNECTION
NOT TO SCALE

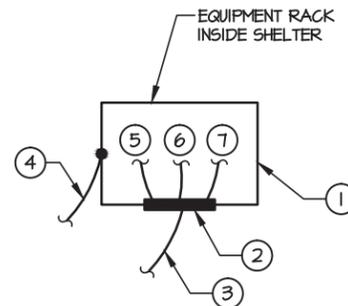


- DIRECTIONS:**
1. MOUNT BONDING BUSHING ONTO CONDUIT
 2. TIGHTEN BOND BUSHING SET SCREW
 3. INSERT COPPER CONDUCTOR INTO LUG
 4. TIGHTEN LUG CONDUCTOR SCREW
 5. TIGHTEN BONDING LUG SCREW

NOTE: BONDING BUSHING, SET SCREW, LUG, LUG SCREW, COND. LUG SCREW, SHOWN AS COMPLETE UNIT.

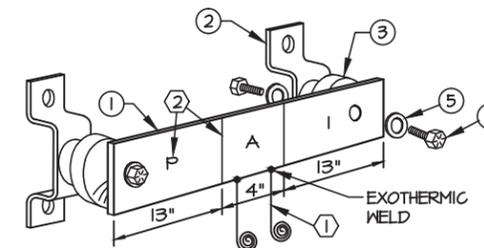
CONDUIT BOND/GROUND BUSHING
NTS

- KEY NOTES:**
1. PROPOSED ISOLATOR PAD UNDER ALL NEW EQUIPMENT RACKS. INSTALL PER AT&T SPECIFICATIONS.
 2. PROPOSED GROUND BAR WITH ISOLATORS MOUNTED AT TOP OF ALL NEW EQUIPMENT RACKS.
 3. PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE EQUIPMENT RACK GROUND BAR TO THE MASTER GROUND BAR.
 4. PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM EACH NEW EQUIPMENT RACK TO THE MASTER GROUND BAR.
 5. PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE PROPOSED RAYCAP DC6-48-60-0-RM TO GROUND BAR. GROUND PER MANUFACTURER'S SPECIFICATIONS.
 6. PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE PROPOSED RAYCAP DC6-48-60-0-RM TO GROUND BAR. GROUND PER MANUFACTURER'S SPECIFICATIONS.
 7. PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE PROPOSED SLACK TRAY TO THE GROUND BAR. GROUND PER MANUFACTURER'S SPECIFICATIONS.



EQUIPMENT RACK GROUNDING
NTS

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C.			
NO.	REQ.	PART NO.	DESCRIPTION
1	1	1/4"x4"x30"	SOLID GND. BAR
2	2	A-6056	WALL MTG. BRKT.
3	2	3061-4	INSULATORS
4	4	3012-1	5/8"-11x1" H.H.C.S.
5	4	3015-8	5/8 LOCKWASHER



EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

SECTION "P" - SURGE PRODUCERS

- CABLE ENTRY PORTS (HATCH PLATES) (#2)
- TELCO GROUND BAR (#2)
- COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (#2)
- CELL SITE +24V POWER SUPPLY RETURN BAR (#2)
- CELL SITE -48V POWER SUPPLY RETURN BAR (#2)
- GENERATOR FRAMEWORK (IF AVAILABLE) (#2)
- RECTIFIER FRAMES
- ANTENNA SUPPRESSION

SECTION "A" - SURGE ABSORBERS

- INTERIOR GROUND RING (#2)
- EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2)
- METALLIC COLD WATER PIPE (IF AVAILABLE) (#2)
- BUILDING STEEL (IF AVAILABLE) (#2)

SECTION "I" - ISOLATED GROUND ZONE

ALL CELL SITE COMMUNICATIONS EQUIPMENT FRAMES

DETAIL NOTES:

1. EXOTHERMICALLY WELD #2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. THE INSTALLER SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION ("P", "A", "I") WITH 1" HIGH LETTERS.

MASTER GROUND BAR DETAILS
NTS



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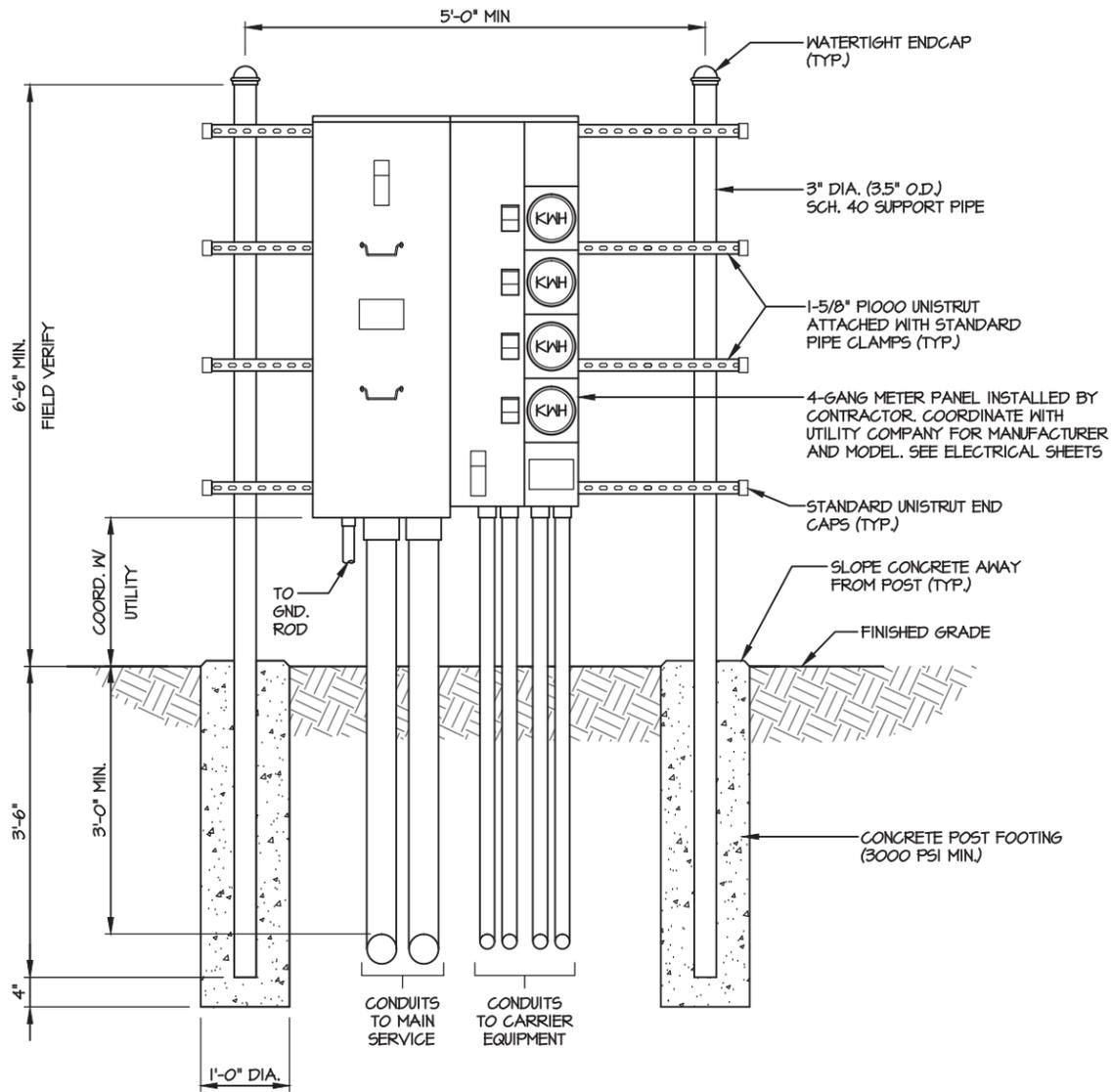
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GROUNDING DETAILS

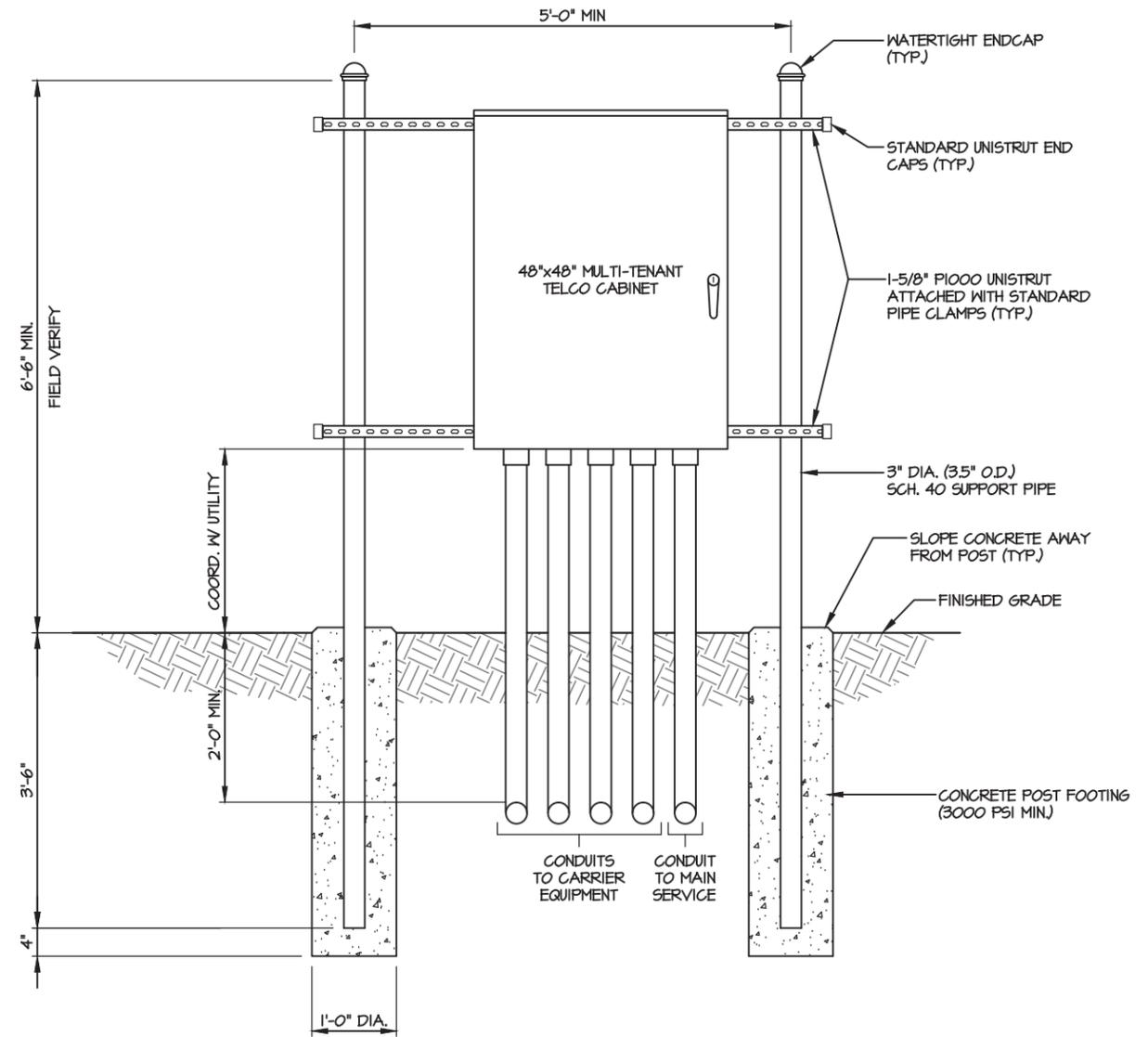
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E-6



UTILITY FRAME DETAIL (GANG METER)
NTS



UTILITY FRAME DETAIL (TELCO)
NTS

NOTES:

1. CONTRACTOR SHALL FIELD LOCATE THE METER PEDESTAL AS SHOWN ON SITE PLAN. INSTALL THE METER PEDESTAL NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
2. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RUN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
4. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED. PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
5. TELCO CABINET SHALL BE 48"x48"x10" HOFFMAN OR EQUIVALENT. PROVIDE 3/4" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
6. ADJUSTMENTS TO THE METER PEDESTAL DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.

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B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL

410-365

UTILITY FRAME DETAILS

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

E-7



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Diamond/AT&T Tower –
NEW DEVELOPMENT CONCEPTUAL

DRB#: DRB-000791-2016

DATE: May 10, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Equipment building design should take cues from existing building.
2. Adequate evergreen landscaping should be provided between the existing parking and the 12' fence.

The applicant proposes to install a 140' telecommunications tower (monopole) at the Islander's Beach Club. The facility will be located on a wooded track with equipment screened by a 12' tall wood fence stained 'Charleston Green'. The standard equipment shelter is a pebble-texture building, however this building is intended to be upgraded to complement the existing TOHH building. Evergreen landscaping will be added in the 15' buffer on all sides of the enclosure fence.

Final submittal requires final elevations of proposed equipment shelter on elevated platform including colors/materials, a complete landscape plan with plant schedule

MISC COMMENTS/QUESTIONS

Site Development Plans, Sec. 16-6-104.C.1

While you have shown the areas to be graded and the proposed Multi-tenant Utility Frame, you will need to show how/where the power will be supplied to this Frame by the local utility.

Tree Protection Zones, Sec. 16-6-1-4.C

Show tree protection zones for any trees located within 25' of any proposed grading, construction, or tree removals; to be established by physical barriers that will need to be maintained until such time that the work is completed.

Minor Development Tree Submittals, Sec. 16-6-104.C.1.b

Since this project is for minor construction or the alteration to an existing development and you have provided a sketch showing the trees on the site and the building impacts in lieu of a complete tree survey and completed tree tally sheets, you will need to list the trees by size and category and showing those to be removed with an "X".

Replacement Tree Plan, Sec. 16-6-104.I

Submit a proposal

to meet the "Standards for Supplemental or Replacement Trees" based on the trees being removed by category at the rate of 1 tree for every 10" DBH removed by category. These mitigation trees can be used within the proposed 15' landscaping buffer.
