



Town of Hilton Head Island Regular Design Review Board Meeting

July 12, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. Call to Order

2. Roll Call

3. Freedom of Information Act Compliance

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

4. Swearing in Ceremony for Ms. Kyle Theodore

5. Approval of Agenda

6. Approval of Minutes – Meeting of June 28, 2016

7. Staff Report

8. Board Business

A. Election of Officers for term July 1, 2016 – June 30, 2017

9. Old Business

10. Unfinished Business

- World of Beer, (planters), DRB-002197-2015

11. New Business

A. New Development – Final

- Diamond / AT&T, DRB-001232-2016

B. Alteration/Addition

- Circle Center, (repaint), DRB-001111-2016
- Bridge Shoppes (reconstruction of roof and roof element), DRB-001206-2016
- Elevated Tank Rehab, DRB-001214-2016
- Spinnaker Bldg Canopy Replacement (reconstruct covered sidewalk), DRB-001227-2016

C. New Development – Conceptual

- Green Thumb, DRB-001213-2016
- Gallery of Shoppes, DRB-001228-2016

12. Appearance by Citizens

13. Adjournment

Town of Hilton Head Island
Minutes of the Design Review Board

Benjamin M. Racusin Council Chambers

June 28, 2016

1:15p.m.

Board Members Present: Chairman Jake Gartner, Debbie Remke, Kyle Theodore, Ron Hoffman, Michael Gentemann

Board Members Absent: Vice Chairman Dale Strecker (excused), Brian Witmer (excused)

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Teresa Haley, Secretary

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm.**

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board **approved** the agenda by general consent.

5. Approval of Minutes

The Board reviewed the minutes of the **June 14, 2016** meeting and **approved** the minutes by general consent.

6. Staff Report – None

7. Board Business – None

8. Old Business – None

9. Unfinished Business – None

10. New Business

A. *Alteration/Addition*

- Jane Bistro & Bar (repaint), DRB-001112-2016

Ms. Ray introduced the project and stated its location: 28 Shelter Cove Lane, Unit 109. Ms. Ray presented a description of the project as provided in the Board's packet. Ms. Ray stated that the applicant proposes to repaint the existing trim at Jane Bistro & Bar (Shelter Cove Towne Centre). The current color is SW 7075 Web Gray and the proposed color is SW 6075 Garret Gray. The proposed color is not part of the previously approved color palette, but is within a few shades of an approved color, is compatible with the existing colors on this building and the adjacent buildings, and is in keeping with the Design Guide. The project received Shelter Cove Company ARB approval. Staff recommends approval as submitted. Ms. Ray noted that the applicant was not present, but she would be happy to answer any questions.

Chairman Gartner requested comments from the Board. The Board complimented the proposed color as in keeping with the Shelter Cove Towne Centre approved color palette and the Design Guide. The Board inquired as to the colors of surrounding materials and discussed whether those materials would match or need to be repainted the proposed color.

Mr. Gentemann made a motion to **approve** DRB-001112-2016 with the following condition: 1) all areas painted SW 7075 'Web Gray' be painted SW 6075 'Garret Gray' and that no exposed SW 7075 'Web Gray' remain. Ms. Theodore **seconded** the motion. The motion **passed** with a vote of 5-0-0.

11. Appearances by Citizens – None

12. Adjournment

Chairman Gartner adjourned the meeting at 1:21p.m.

Submitted by:

Approved by:

Teresa Haley, Secretary

Jake Gartner, Chairman

Transmittal

May 24, 2016

Via: Email
To: Town of Hilton Head Island, SC
Community Development Department
Attn: Jennifer Ray
Urban Designer
Re: World of Beer Hilton Head, SC

DRAWINGS ENCLOSED:				
SHEET #	DESCRIPTION	DATE	REVISION #	QUAN.
G110	ENLARGED PATIO PLAN & DETAILS	05/24/2016		1

DOCUMENTS ENCLOSED:			
DESCRIPTION	DATE	PAGES	QUAN.
Narrative	09/29/2015	1	1

To Whom It May Concern:

Attached is the Design Review Board submission package for the Hilton Head, SC World of Beer. If you have any questions please contact my office.

Sincerely,


John A. Harrop
Project Manager
Jon W. Sammer, AIA
(703) 591-0747 ext. 110

CC: Shawn Hollywood, World of Beer
Nikki Hill, World of Beer

May 24, 2016

RE: World of Beer
30 Shelter Cove Lane, 140
Shelter Cove Town Center
Hilton Head, SC 29928

The attached Design Review Board (DRB) submission is for proposed exterior rear service area for the World of Beer in the Shelter Cove Towne Center. The exterior patio improvements include new landscape planters to provide visual coverage of the rear kitchen service entrance and can wash.

The landscape planters are a match to the previously approved landscape planters supplied by the Landlord at the larger outdoor patio.

Please give me a call at (703) 591-0747 ext. 110 if any of the above is unclear or if you require any additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'John A. Harrop', with a long horizontal flourish extending to the right.

John A. Harrop
Project Manager,
Jon W. Sammer, AIA

CC: Nikki Hill, World of Beer Franchising
Shawn Hollywood, World of Beer Franchising

Ray Jennifer

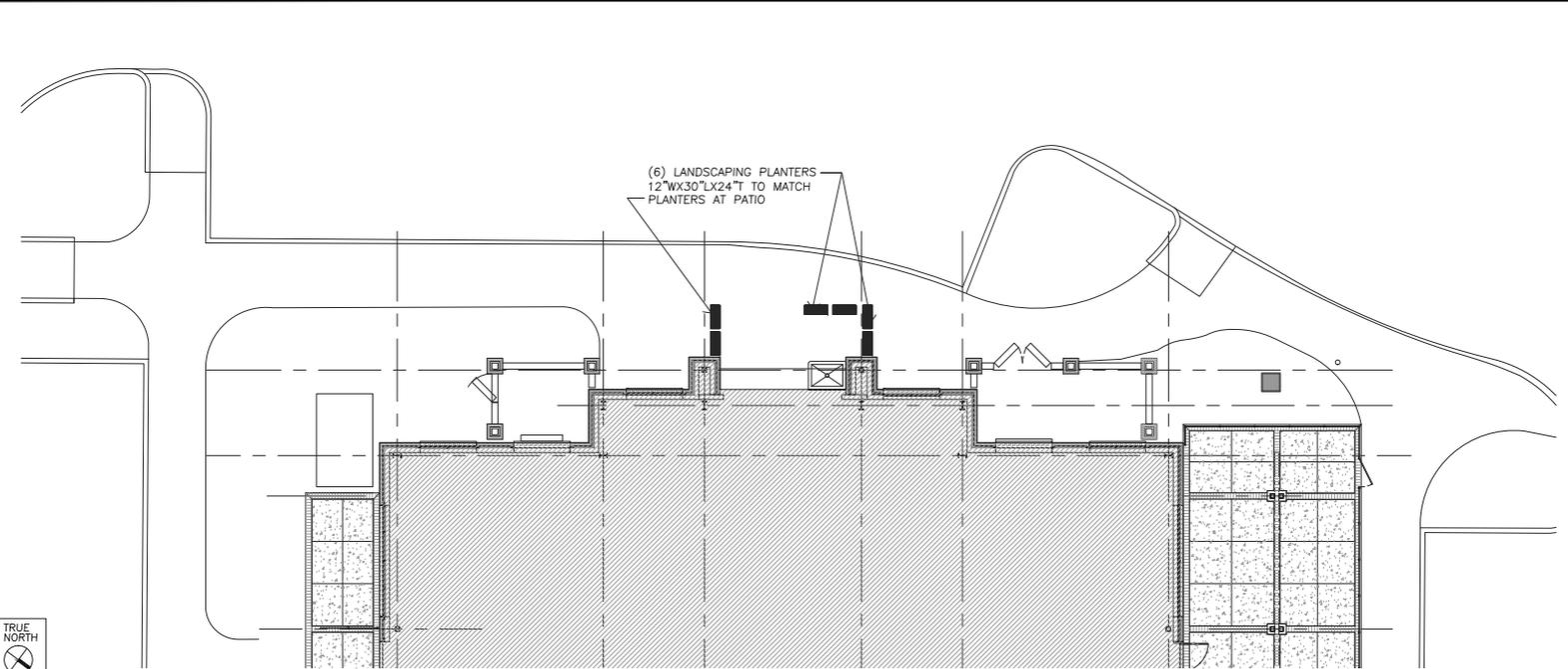
From: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Sent: Wednesday, June 1, 2016 12:02 PM
To: Ray Jennifer
Cc: John Harrop
Subject: FW: World of Beer Hilton Head

Jennifer – this will serve as LL and SCC ARB approval for the WOB planters.

From: John Betts [mailto:JBetts@Sheltercovehc.org]
Sent: Wednesday, June 1, 2016 11:55 AM
To: Roni Allbritton <Allbritton@sheltercove-townecentre.com>
Subject: Re: World of Beer Hilton Head

The SCARB has approved the additional planters at WOB as submitted.

Sent from my iPad



1 REAR SERVICE PLAN SCALE: 3/16" = 1'-0"



2 REAR BUILDING ELEVATION SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. THIS SHEET FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

PLANTER EXAMPLE

NOTE: THESE PHOTOS FOR REFERENCE ONLY, EXACT SIZE TO BE DETERMINED BY CLIENT WHEN PLANTERS ORDERED.



SAMMER
ARCHITECT, AIA
3921 Old Lee Hwy
Suite 172-2030
FARMINGTON, CT
(703) 591-0747

ISSUE DATES

NUM	DESCRIPTION
1	5/24/2016 LINK SUBMISSION - REAR PLANTERS



HILTON HEAD, SOUTH CAROLINA

SEAL:

I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF SOUTH CAROLINA, LICENSE NUMBER 8390, EXPIRATION DATE 04/30/2017.

ISSUE DATE:

SCALE: AS SHOWN

PROJECT NO.
WBHH_1502

SHEET TITLE
SERVICE AREA
PLANTERS PLAN
& REAR ELEVATION

SHEET NUMBER:

G100

OF

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: World of Beer

DRB#: DRB-002197-2015

DATE: 6/30/2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify / select tall evergreen plants for the planters to screen and coordinate with the existing planting on the site.

Due to inconsistencies between the approved interior up-fit and building site plan, back of house elements are visible from heavily used pedestrian paths/parking. In an effort to mitigate these elements, additional planters that match existing planters on-site have been proposed.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Kim Bucciero Company: Telecom Development Services
 Mailing Address: 2970 Peachtree Road, Suite 621 City: Atlanta State: GA Zip: 30305
 Telephone: 404-736-6699 Fax: (888) 736-3961 E-mail: kim@telecom-development.com
 Project Name: Diamond/ AT&T Tower Project Address: 92 Folly Field Road
 Parcel Number [PIN]: R5 1 0 0 0 9 0 0 0 0 0 0 4 7 0 0 0 0
 Zoning District: PD-I Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

6/28/16

DATE

Telecom Development Services, LLC

2970 Peachtree Road, Suite 621

Atlanta, Georgia 30305

Office 404.736.6699 Fax 888.736.3961

June 28, 2016

Community Development Department
One Town Center Court
Hilton Head Island, South Carolina 29928

RE: Written Narrative – Application DRB-000791-2016

To Whom This Concerns:

The proposed telecommunication tower will be located at the Islander's Beach Club on the 14.11 acre tract owned by the Town of Hilton Head Island at 92 Folly Fields Road. The proposed 140 ft. telecommunication tower will be built by Diamond Towers for AT&T Mobility.

This site is needed to provide residential coverage to in-building wireless service to hotels, condos, and resort facilities in the area, as well as to the Beach Club and the beach. The proposed facility would be located within in a wooded track with the ground equipment located out of view from nearby buildings and enclosed with a wooden fence designed with an architectural sensitivity.

The landscaping plan was adjusted as recommended at the concept hearing, as well as the shelter color changed to be Charleston Green to match the fence color.

If there is any additional question about the intended use of the tower, please do not hesitate to contact me.

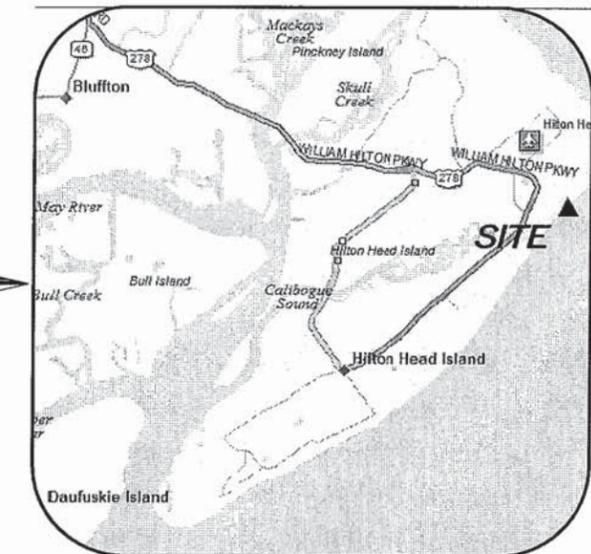
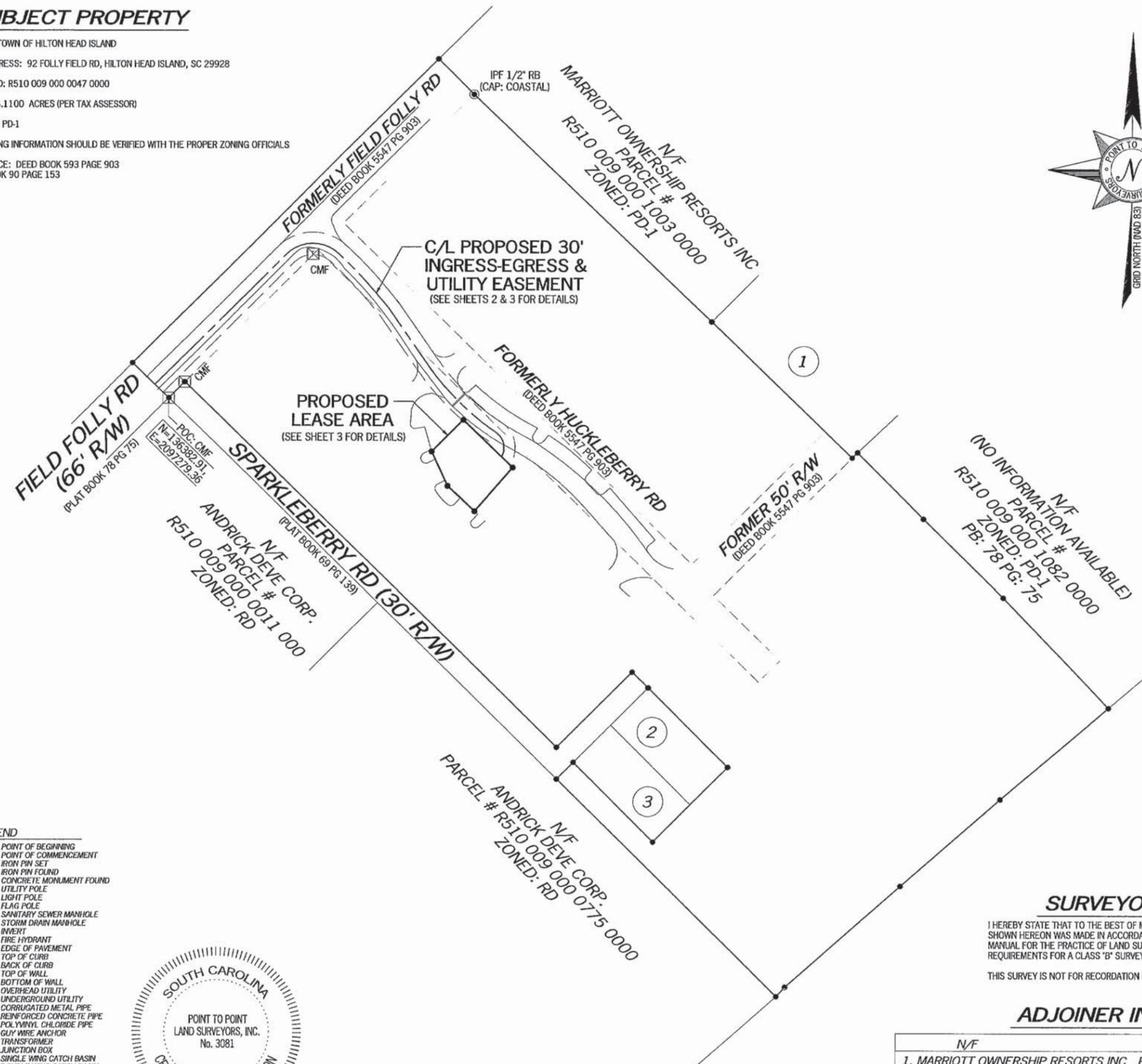
Sincerely,

A handwritten signature in blue ink, appearing to read 'KB', is written over a light blue circular stamp.

Kim Bucciero
Agent for AT&T Mobility & Diamond Communications
404-388-4391

SUBJECT PROPERTY

OWNER: TOWN OF HILTON HEAD ISLAND
 SITE ADDRESS: 92 FOLLY FIELD RD, HILTON HEAD ISLAND, SC 29928
 PARCEL ID: R510 009 000 0047 0000
 AREA: 14.1100 ACRES (PER TAX ASSESSOR)
 ZONED: PD-1
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS
 REFERENCE: DEED BOOK 593 PAGE 903
 PLAT BOOK 90 PAGE 153



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS EASEMENT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF AT&T AND EXCLUSIVELY FOR THE TRANSFER OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFER OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THIS EASEMENT SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC. (DATE OF LAST FIELD VISIT: 02-15-16)

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID 12B) AND HAVE A VERTICAL ACCURACY OF ± 1". CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83) SC.

THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA (ZONE "A7"; BFE = 14) AS PER F.L.R.M. COMMUNITY PANEL NO. 450250 0015 D DATED SEPTEMBER 29, 1986.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EASEMENT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

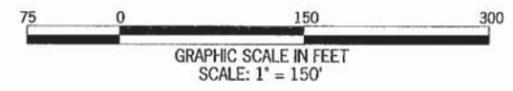
SURVEYOR CERTIFICATION

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY SPECIFIED THEREIN.

THIS SURVEY IS NOT FOR RECORDATION PURPOSES.

ADJOINER INFORMATION

N/F	PARCEL #	ZONED	REF.
1. MARRIOTT OWNERSHIP RESORTS INC	R510 009 000 1083 0000	PD-1	78/75
2. EDWARD FORBES	R510 009 000 1007 0000	PD-1	69/139
3. EDWARD FORBES	R510 009 000 1008 0000	PD-1	2893/2188



- LEGEND**
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IPS IRON PIN SET
 - IPF IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SSMH SANITARY SEWER MANHOLE
 - SCMH STORM DRAIN MANHOLE
 - INV INVERT
 - FH FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OU OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CD SEWER CLEANOUT
 - GV GAS VALVE
 - N/F NOW OR FORMERLY
 - IB ICE BRIDGE
 - IBP ICE BRIDGE POLE



NO.	DATE	REVISION
1	2/26/2016	REVISE LEASE -EAL
2	3/16/2016	REVISE LEASE -NRW

EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 1010 Pennsylvania Avenue
 McDonough, GA 30253
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointtopointsurvey.com



"SPARKLEBERRY"
 SITE NO. 410-365
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: AJP
 CHECKED BY: JKL
 APPROVED: C. INER
 DATE: 2/22/2016
 P2P JOB #: G160055

SHEET: **1**
 OF 3

K:\2016\G160055-Sparkleberry\G160055.p0

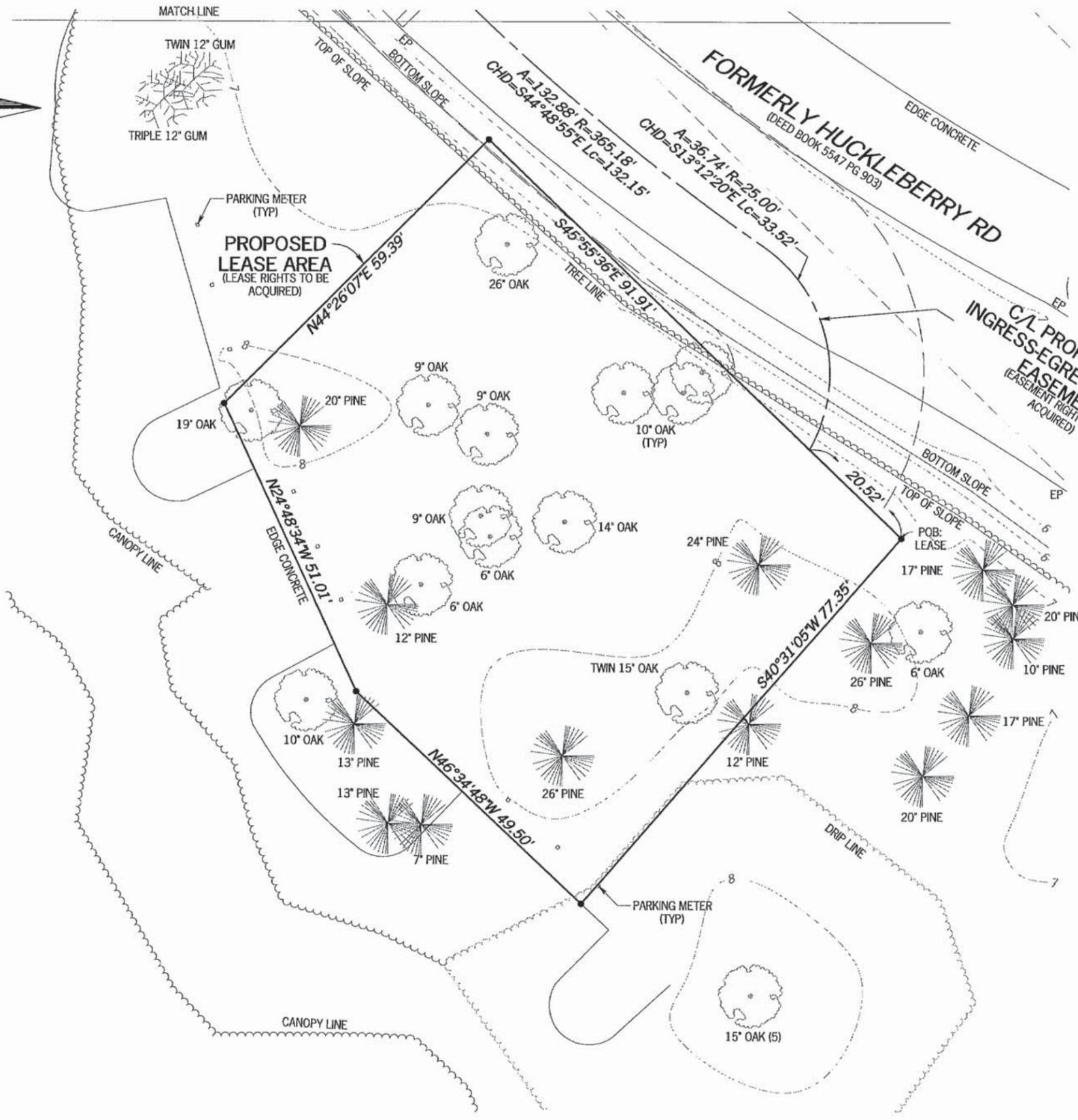


SITE INFORMATION

PROPOSED LEASE AREA = 6,902 SQUARE FEET (0.158 ACRES)
 LATITUDE = 32°12'26.93" (NAD 83)
 LONGITUDE = -80°41'03.26" (NAD 83)
 AT CENTER PROPOSED LEASE AREA
 ELEVATION AT CENTER OF PROPOSED LEASE AREA = 7.5' A.M.S.L.



NO.	DATE	REVISION
1	2/26/2016	REVISE LEASE -EAL
2	3/16/2016	REVISE LEASE -NRW



PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN BEAUFORT COUNTY, SOUTH CAROLINA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A CONCRETE MONUMENT FOUND IN THE NORTHEAST CORNER OF LANDS NOW OR FORMERLY OWNED BY ANDRICK DEVE CORP; THENCE, NORTH 45°43'07" WEST, 25.69 FEET TO A POINT; THENCE RUNNING, NORTH 44°32'27" EAST, 244.09 FEET TO A POINT; THENCE 77.22 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 88°47'08" EAST, 69.77 FEET, TO A POINT; THENCE, 73.05 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 573.38 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 43°19'12" EAST, 73.00 FEET, TO A POINT; THENCE, SOUTH 39°40'13" EAST, 25.76 FEET TO A POINT; THENCE, SOUTH 34°23'28" EAST, 88.20 FEET TO A POINT; THENCE, 132.88 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 365.18 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 44°48'55" EAST, 132.15 FEET, TO A POINT; THENCE, SOUTH 34°23'28" EAST, 88.20 FEET TO A POINT; THENCE, 132.88 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 365.18 FEET AND BEING SCRIBED BY A CHORD BEARING SOUTH 44°48'55" EAST, 132.15 FEET, TO A POINT; THENCE, SOUTH 45°55'36" EAST, 20.52 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 40°31'05" WEST, 77.35 FEET TO A POINT; THENCE, NORTH 46°34'48" WEST, 49.50 FEET TO A POINT; THENCE, NORTH 24°48'34" WEST, 51.01 FEET TO A POINT; THENCE, NORTH 44°26'07" EAST, 59.39 FEET TO A POINT; THENCE, SOUTH 45°55'36" EAST, 91.91 FEET TO A POINT AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.158 ACRES (6,902 SQUARE FEET), MORE OR LESS.

- LEGEND**
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - IFS IRON PIN SET
 - IFP IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
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 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - INV INVERT
 - FH FIRE HYDRANT
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 - BW BOTTOM OF WALL
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 - UE UNDERGROUND UTILITY
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CO SEWER CLEAN-OUT
 - GV GAS VALVE
 - NVF NOW OR FORMERLY
 - IB ICE BRIDGE
 - IBP ICE BRIDGE POLE



SURVEY NOT VALID WITHOUT SHEET 1 & 2 OF 3



EASEMENT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 1010 Pennsylvania Avenue
 McDonough, GA 30253
 (p) 678.565.4440 (f) 678.565.4497
 (w) pointtopointsurvey.com



EASEMENT SURVEY PREPARED FOR:



"SPARKLEBERRY"
 SITE NO. 410-365
 HILTON HEAD ISLAND
 BEAUFORT COUNTY
 SOUTH CAROLINA

DRAWN BY: AJP
 CHECKED BY: JKL
 APPROVED: C. INER
 DATE: 2/22/2016
 P2P JOB #: G160055

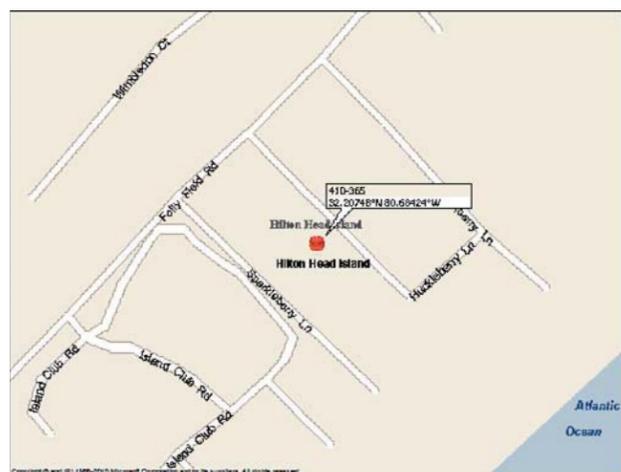
SHEET:
3
 OF 3

P:\2016\G160055-Sparkleberry\G160055.dwg

LOCATION MAP



VICINITY MAP



SCOPE:

THE PROPOSED PROJECT SCOPE CONSISTS OF CONSTRUCTING A NEW TELECOMMUNICATIONS TOWER SITE. THE PROPOSED CONSTRUCTION WILL INCLUDE THE INSTALLATION OF A TOWER, FOUNDATION, FENCED COMPOUND, ACCESS ROAD, PREFAB EQUIPMENT SHELTER WITH CABINETS, CABLES, ANTENNAS, GROUNDING SYSTEM & UTILITIES.

DEPARTMENT	NAME / SIGNATURE	DATE
LAND OWNER / TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING / PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

SITE NUMBER:

410-365

CASPR PROJECT NUMBER:

2413774949

SITE NAME:

SPARKLEBERRY

PROJECT:

NSB

PROJECT DESCRIPTION:

PROPOSED 140 FT. MONOPOLE TOWER

PREPARED FOR:



PREPARED BY:



1000 LOMB BLDG PARK
 SUITE 210
 ROSELLE, GA 30076
 678-280-2325



PROJECT INFORMATION

SITE ADDRESS: 92 FOLLY FIELD ROAD
 HILTON HEAD ISLAND, SC 29928

LATITUDE: 32° 12' 26.93" (NAD83)
 LONGITUDE: -80° 41' 03.26" (NAD83)
 ELEVATION: 7.5' AMSL (NAVD88)

JURISDICTION: BEAUFORT COUNTY
 PARCEL I.D.: R510-009-000-0047-0000
 PARCEL SIZE: 14.11000 ACRES
 PARCEL ZONING: PD-1
 DEED REFERENCE: DEED BOOK 543, PAGE 903
 PLAT BOOK 90, PAGE 153

DISTURBED AREA: 7,910 SF / 0.181 AC

LAND OWNER: TOWN OF HILTON HEAD ISLAND
 ONE TOWN CENTER COURT
 HILTON HEAD ISLAND, SC 29928

TOWER OWNER: DIAMOND COMMUNICATIONS
 820 MORRIS TURNPIKE, SUITE 104
 SHORT HILLS, NJ 07078

CARRIER: AT&T
 660 HEMBREE PARKWAY
 ROSWELL, GA 30076

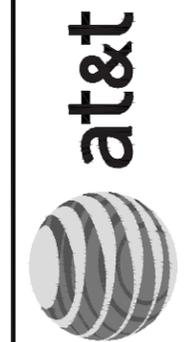
SITE ACQUISITION COMPANY: TELECOM DEVELOPMENT SERVICES, LLC
 2970 PEACHTREE ROAD, SUITE 621
 ATLANTA, GA 30305
 KIM BUCCIERO
 404-736-6699

ENGINEER: PM&A
 30 MANSELL COURT, SUITE 103
 ROSWELL, GA 30076
 PATRICK W MARSHALL, P.E.
 678-280-2325

POWER: HARGRAY
 TELCO: PALMETTO ELECTRIC

DRAWING INDEX

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DATE	DESCRIPTION:
4/18/16	ISSUED FOR PRELIMINARY REVIEW
4/20/16	ISSUED FOR ZONING SUBMITTAL
5/05/16	LANDSCAPE PLAN & UPDATES
6/15/16	LANDSCAPE PLAN & UPDATES
6/28/16	REVISED PER JURISDICTIONAL COMMENTS

410-365
TITLE SHEET & PROJECT INFORMATION

DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM

JOB #: TD516-001
T-1

GENERAL NOTES:

1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T MOBILITY ATLANTA GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
17. FOR ITEMS THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, SEE "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWING PACKAGE.
18. PERMITS: OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
20. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

EXCAVATION & GRADING NOTES:

1. ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND, GRAVEL, OR SOFT SHALE;
 - FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS;
 - IN LAYERS AND COMPACTED.
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. FLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.

LEGEND

- X— FENCE
- 550— CONTOUR LINE
- - - - - PROPERTY LINE / ROW
- - - - - LEASE AREA
- - - - - EASEMENT
- DISCONNECT SWITCH
- Ⓜ METER
- ⓧ CIRCUIT BREAKER
- ⓧ CODED NOTE NUMBER
- ⓧ CHEMICAL GROUND ROD
- ⓧ GROUND ROD
- ⓧ GROUND ROD WITH INSPECTION SLEEVE
- CADWELDED TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- G— GROUND WIRE



NUM	DATE	DESCRIPTION:
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL
I	5/05/16	LANDSCAPE PLAN & UPDATES

410-365

GENERAL NOTES

DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM

JOB #: TD516-001

C-1



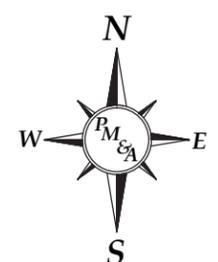
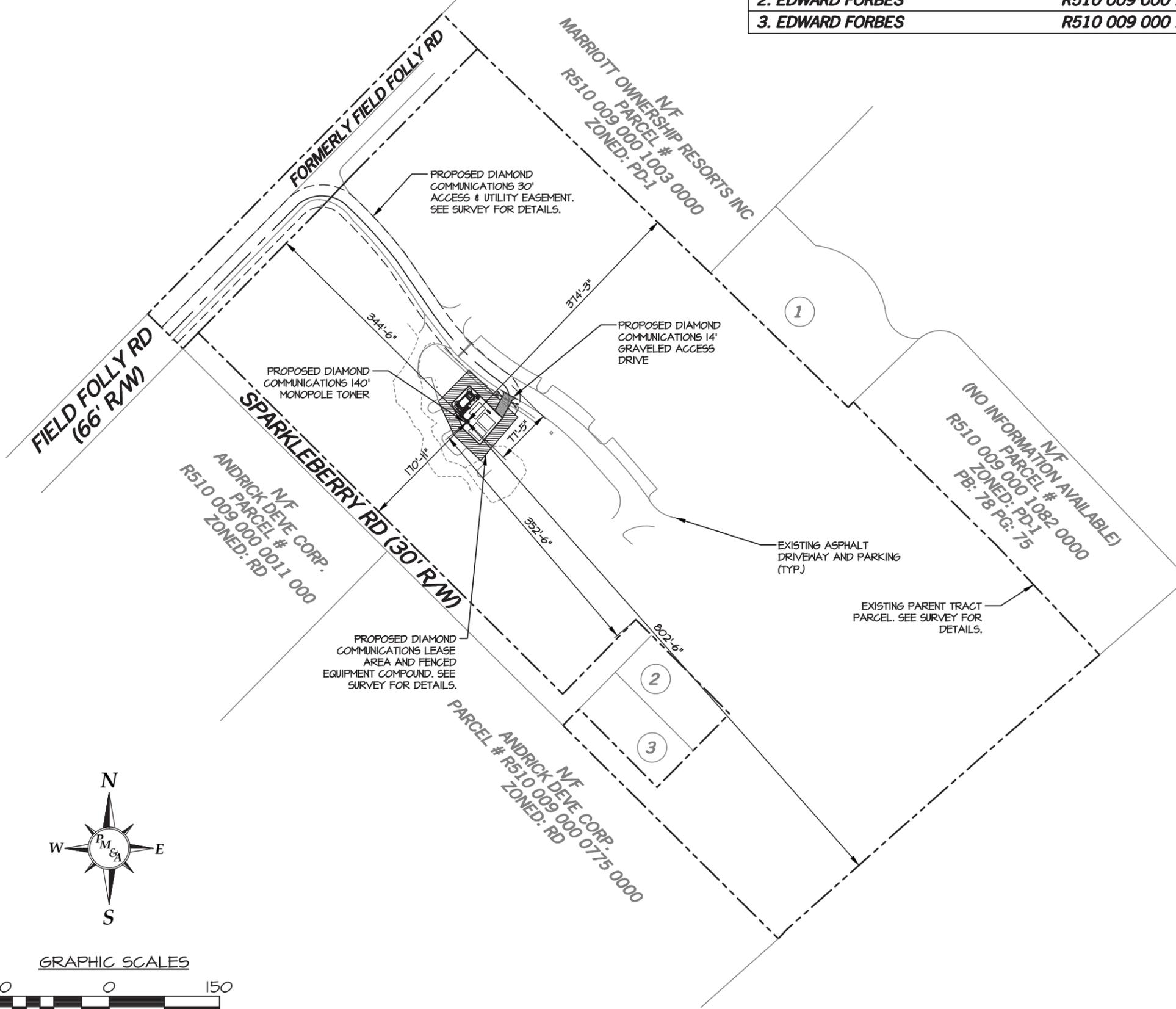
N/F	PARCEL #	ZONED	REF.
1. MARRIOTT OWNERSHIP RESORTS INC	R510 009 000 1083 0000	PD-1	78/75
2. EDWARD FORBES	R510 009 000 1007 0000	PD-1	69/139
3. EDWARD FORBES	R510 009 000 1008 0000	PD-1	2893/2188

JURISDICTIONAL NOTES:

- BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT ANNE CYRAN, SENIOR PLANNER, AT 843-341-4691 OR AT ANNE@HILTONHEADISLANDSC.GOV TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.
- THE PROPOSED ALTERATIONS TO THIS SITE MAY REQUIRE THE ADDITION OF FIRE LANE MARKING AND/OR OTHER FIRE RESCUE SIGNAGE. WHEN THE PROJECT IS NEARING COMPLETION, CONTACT JOHEIDA FISTER, FIRE MARSHAL, AT 843-682-5140 OR 843-247-3741 OR JOHEIDAF@HILTONHEADISLANDSC.GOV TO SCHEDULE A SITE VISIT TO DETERMINE WHAT WILL BE REQUIRED.
- PER LMO 16-2-103.P, THIS PROJECT SHALL OBTAIN APPROVAL OF A CERTIFICATE OF COMPLIANCE (C OF C) PRIOR TO THE ACTUAL OCCUPANCY OR USE OF THE SITE OR STRUCTURE. WHEN THE SITE WORK IS COMPLETE, SUBMIT A CERTIFICATE OF COMPLIANCE APPLICATION AND ALL REQUIRED ITEMS TO ANNE CYRAN AT ANNE@HILTONHEADISLANDSC.GOV. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE C OF C INSPECTION AND ANY REQUIRED RE INSPECTIONS.

FIRE MARSHAL NOTES:

- GATES SHALL HAVE AN UNOBSTRUCTED OPENING OF NOT LESS THAN 14 FEET IN WIDTH FOR ONE-WAY TRAFFIC.
- FIRE DEPARTMENT ACCESS ROADS ARE REQUIRED WHERE ONE-WAY TRAFFIC OCCURS 14 FEET MINIMUM CLEARANCE IS REQUIRED EACH WAY.
- GATES SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION AND THE EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. IF THE GATE WILL BE MANUAL A KNOX PADLOCK WILL BE REQUIRED. IF THE GATE WILL BE ELECTRONIC A CLICK 2 ENTER AND KNOX SWITCH ARE REQUIRED. PLEASE SPECIFY HOW GATE WILL OPERATE - GATE WILL OPERATE MANUALLY VIA KNOX PADLOCK.



GRAPHIC SCALES



SCALE: 1" = 150'

OVERALL SITE PLAN
SCALE: 1" = 150'-0"



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C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL
1	5/05/16	LANDSCAPE PLAN & UPDATES
2	6/15/16	LANDSCAPE PLAN & UPDATES
3	6/28/16	REVISED PER JURISDICTIONAL COMMENTS

410-365

OVERALL SITE PLAN

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001

C-2

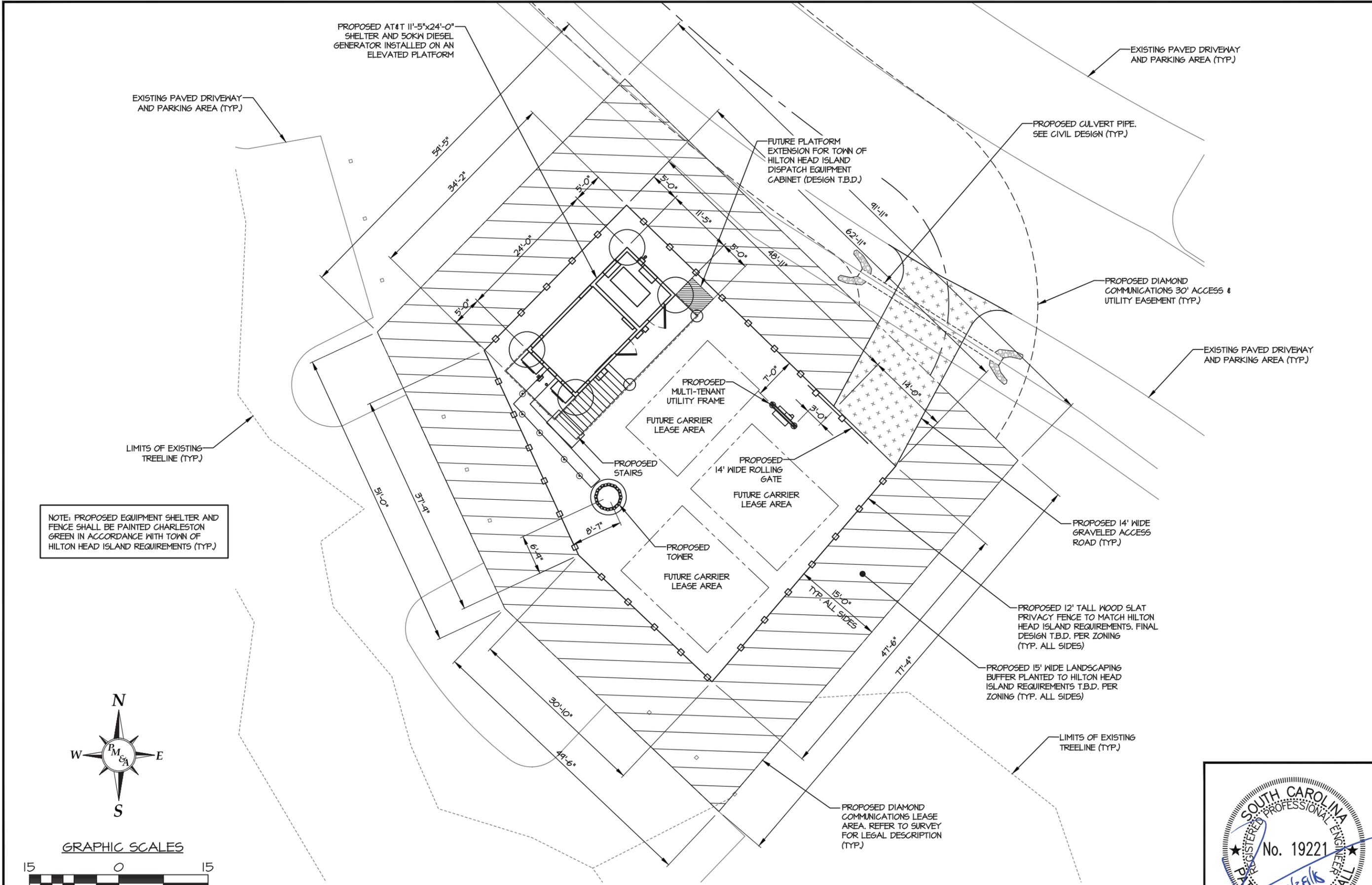
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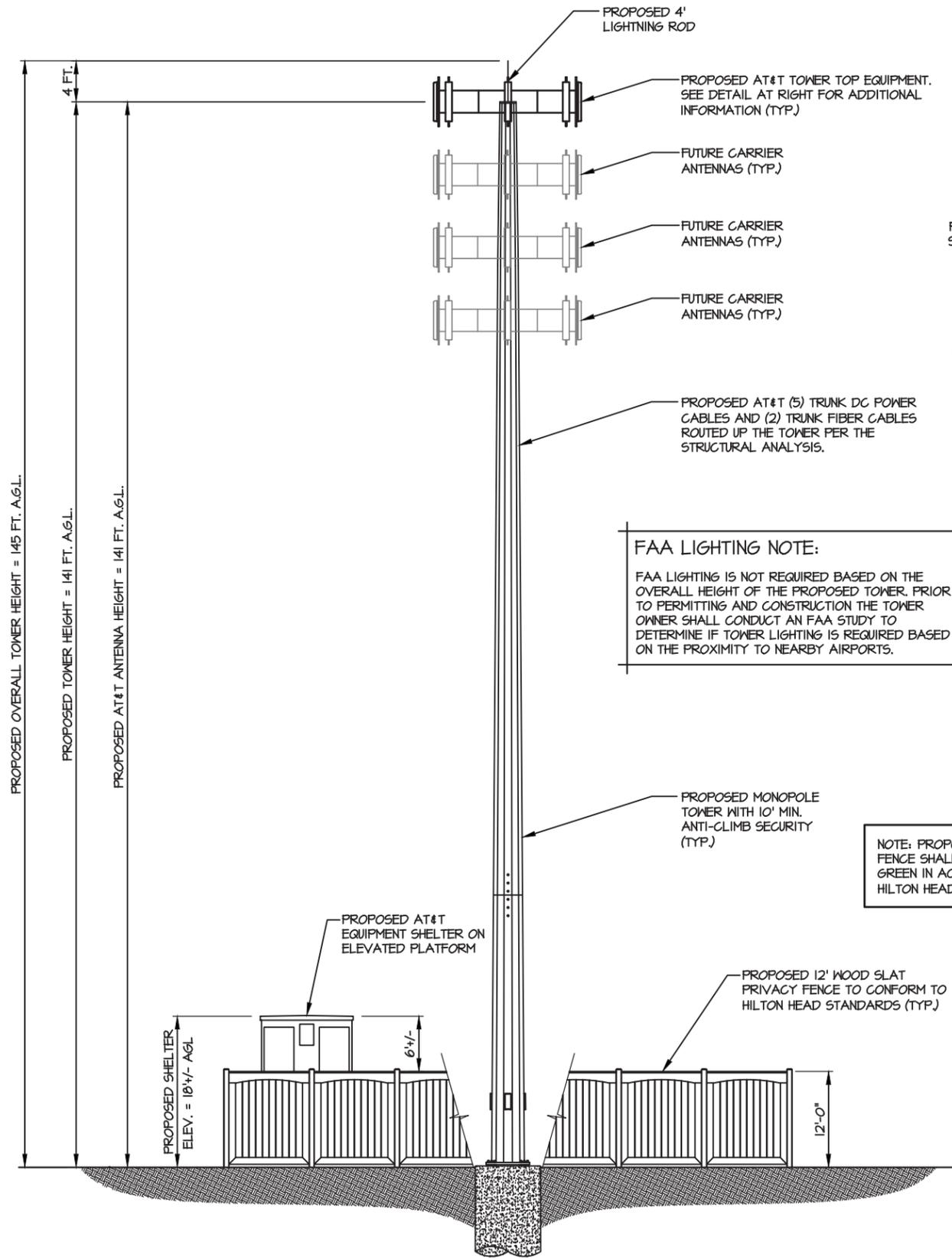
DETAILED SITE PLAN

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TDS16-001

C-3

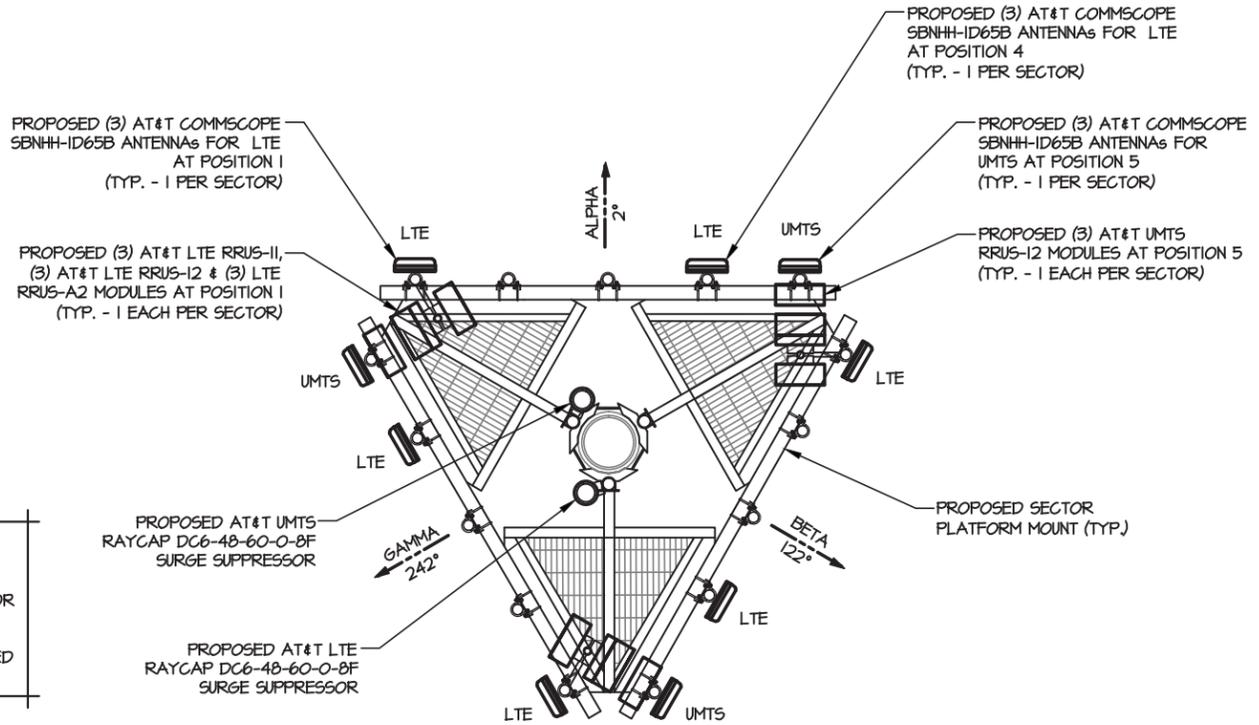


PM&A HAS NOT PERFORMED A STRUCTURAL EVALUATION FOR THIS PROJECT. REFER TO THE STRUCTURAL ANALYSIS BY OTHERS.

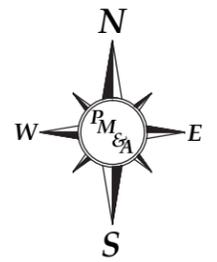


FAA LIGHTING NOTE:
FAA LIGHTING IS NOT REQUIRED BASED ON THE OVERALL HEIGHT OF THE PROPOSED TOWER. PRIOR TO PERMITTING AND CONSTRUCTION THE TOWER OWNER SHALL CONDUCT AN FAA STUDY TO DETERMINE IF TOWER LIGHTING IS REQUIRED BASED ON THE PROXIMITY TO NEARBY AIRPORTS.

NOTE: PROPOSED EQUIPMENT SHELTER AND FENCE SHALL BE PAINTED CHARLESTON GREEN IN ACCORDANCE WITH TOWN OF HILTON HEAD ISLAND REQUIREMENTS (TYP.)



ANTENNA ORIENTATION DETAIL
NTS



TOWER ELEVATION
NTS

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TOWER ELEVATION AND DETAILS

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TD516-001

C-4



DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED

MAINTENANCE STATEMENT
EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION

Co CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

Sdl TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.

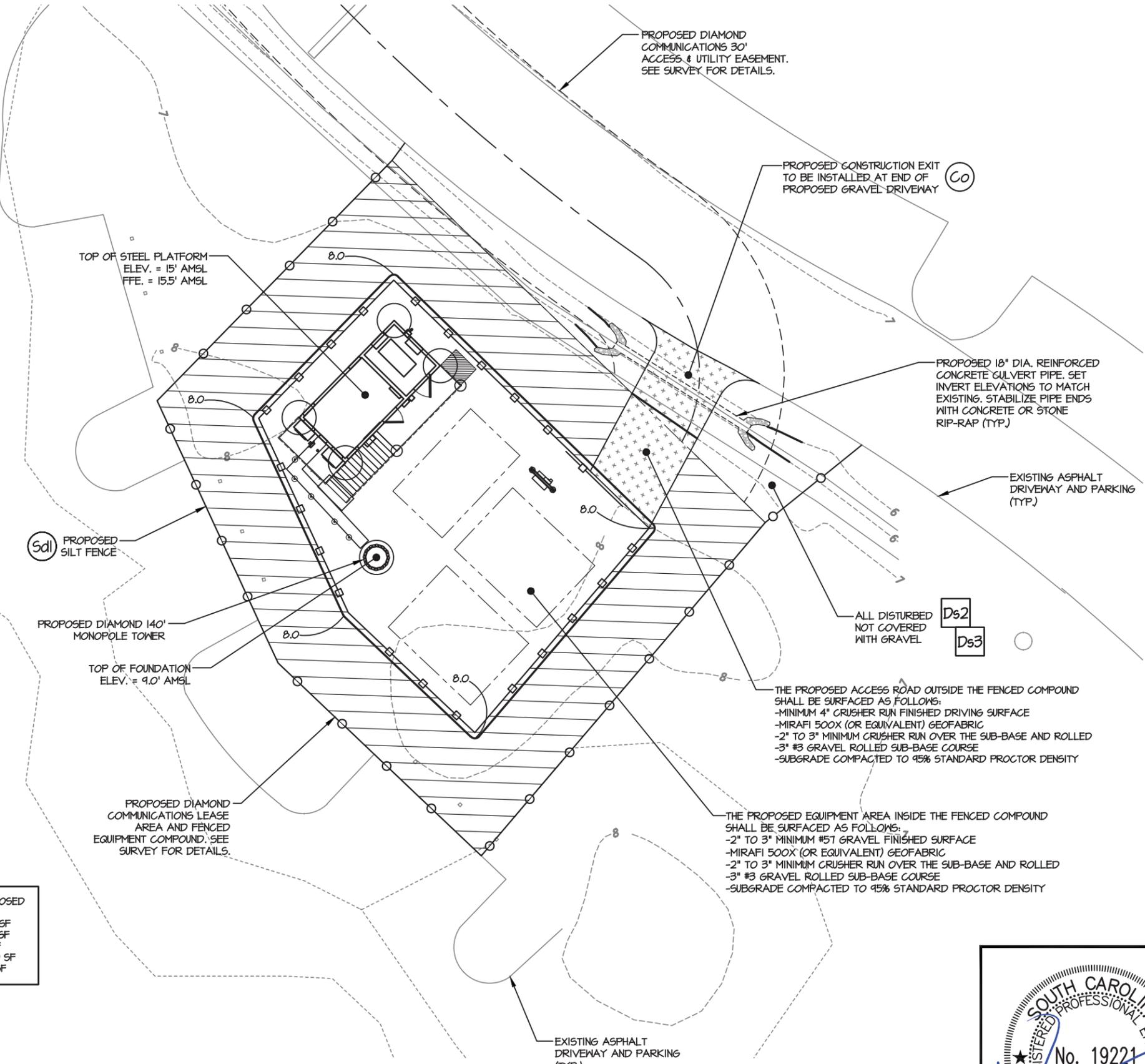
Ds2 DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.

Ds3 DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.

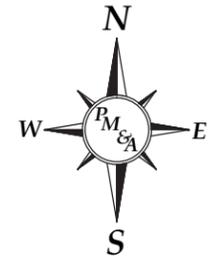
Du DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

GRAVEL SURFACING NOTES:

1. THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
-MINIMUM 4" CRUSHER RUN FINISHED DRIVING SURFACE
-MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
-2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
-3" #3 GRAVEL ROLLED SUB-BASE COURSE
-SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
2. THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
-2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
-MIRAFI 500X (OR EQUIVALENT) GEOFABRIC
-2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
-3" #3 GRAVEL ROLLED SUB-BASE COURSE
-SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
3. ALL EXISTING SUBGRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED TO 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T99.
4. THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL SUBGRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO THE TOWER OWNER.



AREA TABULATIONS	EXISTING	PROPOSED
DISTURBED AREA	0 SF	7,910 SF
GRAVELED AREA	0 SF	3,155 SF
IMPERVIOUS AREA	0 SF	50 SF
LANDSCAPED AREA	0 SF	3,880 SF
NATURAL AREA	7,910 SF	825 SF



GRAPHIC SCALES



SCALE: 1" = 20'

EROSION CONTROL PLAN
SCALE: 1" = 20'-0"

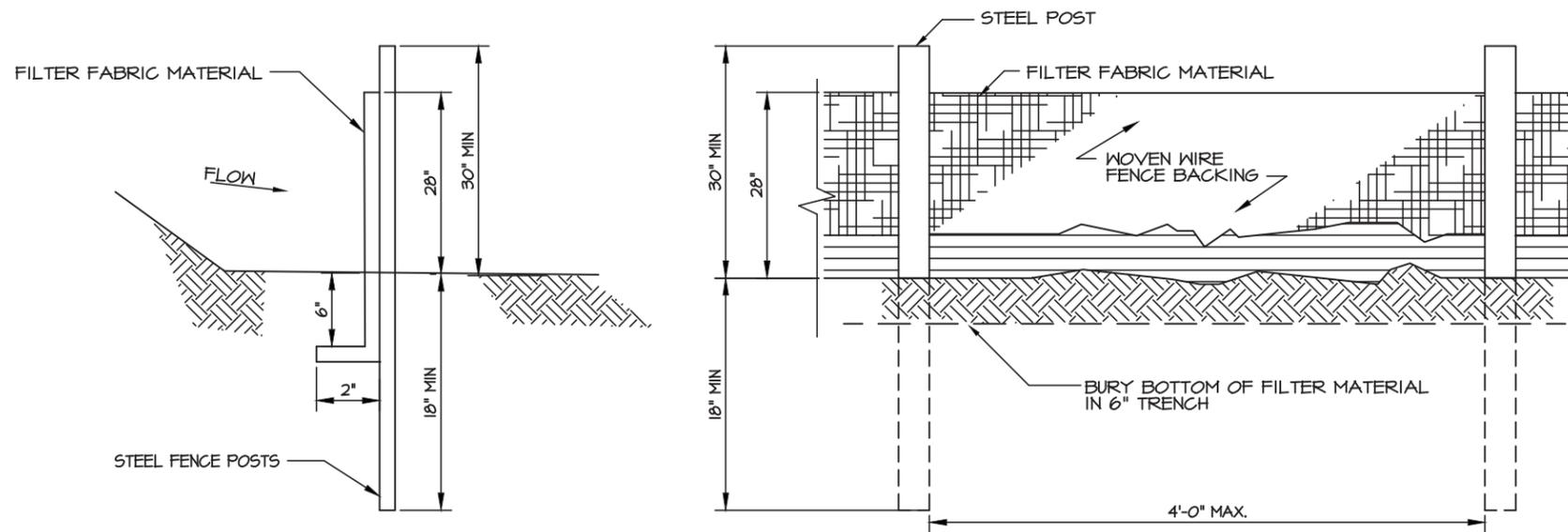


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SITE ID: 410-365
GRADING, SEDIMENT & EROSION CONTROL PLAN

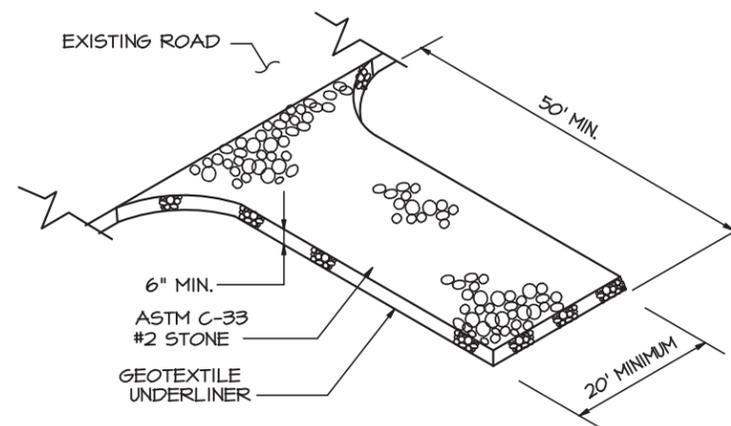
DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM
JOB #: TD516-001

C-5

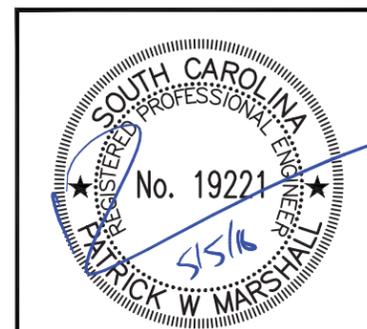


NOTE: USE 36" DOT APPROVED FABRIC
USE STEEL POSTS

Sdl-C SILT FENCE, TYPE-C



Co CONSTRUCTION EXIT

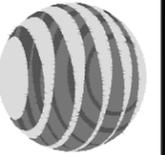


NUM	DATE	DESCRIPTION:
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL
1	5/05/16	LANDSCAPE PLAN & UPDATES

410-365
GRADING, SEDIMENT & EROSION CONTROL DETAILS

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM
JOB #: TDS16-001

C-6



VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RYE GRASS	40-50 LB.	UNHULLED BERMUDA ¹ SERICEA LESPEDEZA ²	8-10 LB. 30-40 LB.
2. FEBRUARY			UNHULLED BERMUDA ² SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZA WEEPING LOVE GRASS	2-3 BU. 20-25 LB. 4-6 LB.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
4. APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN ANNUAL	2-3 BU. 30-40 LB. 20-25 LB. 35 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
5. MAY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.	WEEPING LOVE GRASS HULLED BERMUDA BAHIA	4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEEPING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB. 35 LB. 30-40 LB.		
8. AUGUST	RYE GRASS WEEPING LOVE GRASS	40-50 LB. 4-6 LB.		
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHULLED BERMUDA ² SERICEA LESPEDEZA ² FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.
12. DECEMBER	RYE RYE GRASS WHEAT	2-3 BU. 40-50 LB. 2-3 BU.	UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB. 30-40 LB. 30-50 LB.

¹ USE A MINIMUM OF 40 LBS. SCARIFIED SEED. THE REMAINDER MAY BE UNSCARIFIED, CLEAN HULLED SEED.

² USE EITHER COMMON SERALA OR INTERSTATE SERICEA LESPEDEZA.

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY) OR WOOD CELLULOSE FIBER MULCH	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE 1000 LBS./ACRE	
SERICEA LESPEDEZA, SCARIFIED WEEPING LOVE GRASS, OR COMMON BERMUDA, HULLED	60 LBS. 4 LBS. 6 LBS.	3/1 - 6/15
FESCUE SERICEA LESPEDEZA, UNSCARIFIED	40 LBS. 60 LBS.	4/1 - 10/31
FESCUE SERICEA LESPEDEZA, UNSCARIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE

C. SECOND-YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT) 500 LBS./ACRE

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT: GRADE, SHAPE, AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

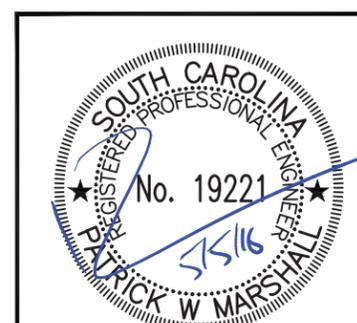
SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY)	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE	
HULLED COMMON BERMUDA GRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	4/1 - 10/31
FESCUE RYE GRASS	50 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE

C. SECOND-YEAR TREATMENT:

FERTILIZER (5-10-15 OR EQUIVALENT) 800 LBS./ACRE



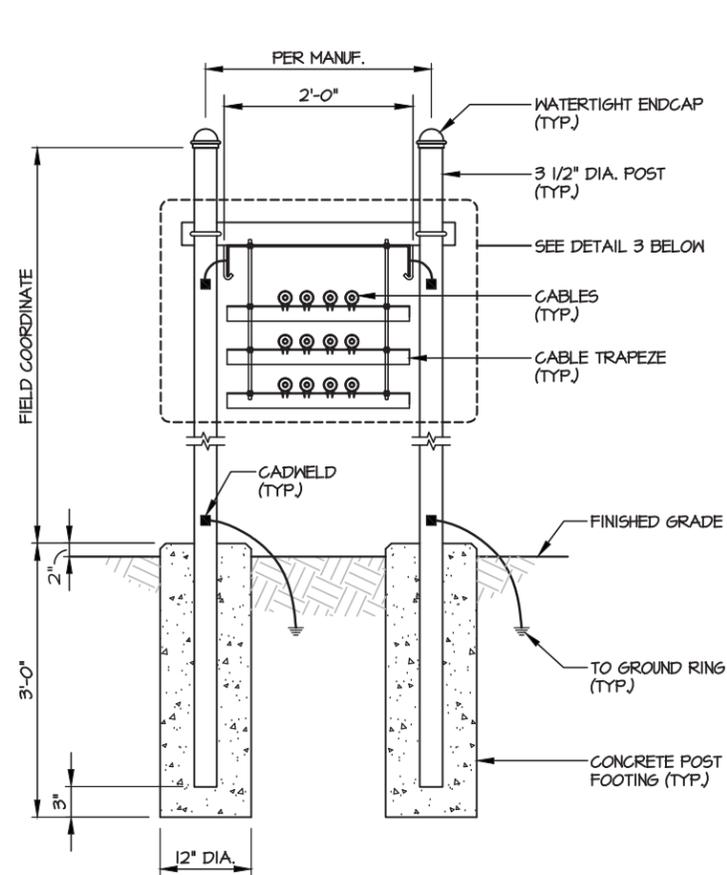
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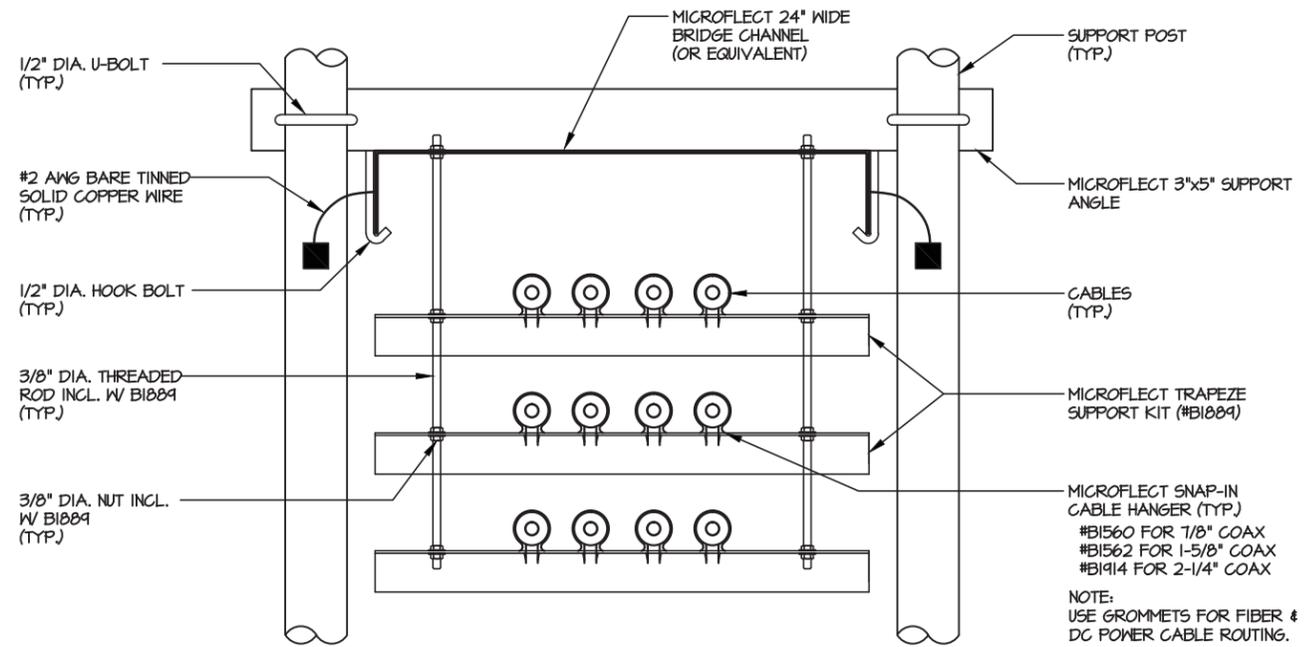
GRADING, SEDIMENT & EROSION CONTROL VEGETATION SPECS

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM
JOB #: TD516-001

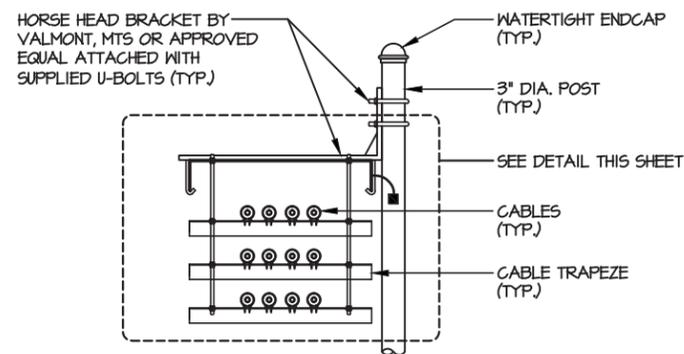
C-7



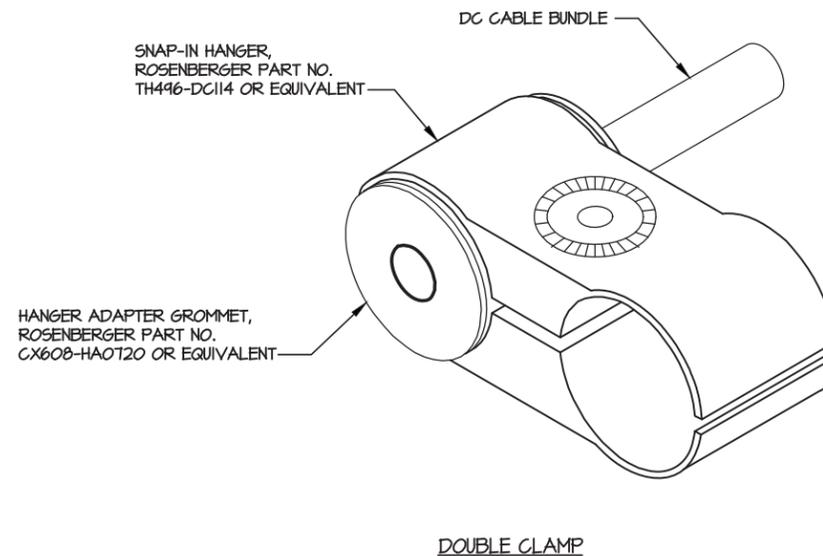
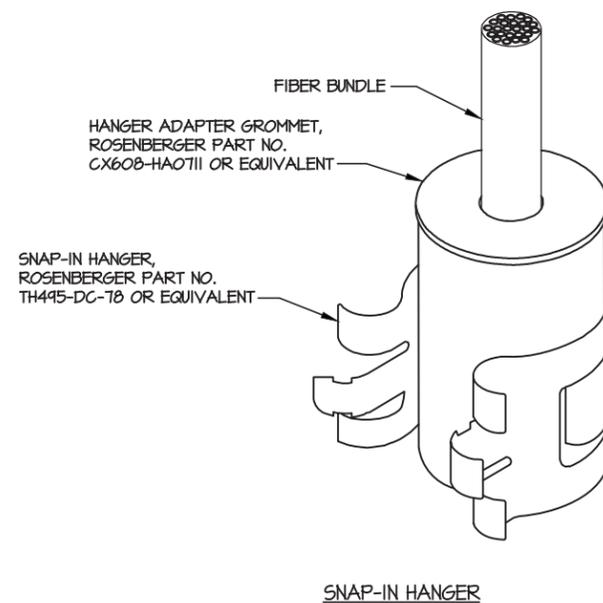
ICE BRIDGE SECTION
NOT TO SCALE



CABLE TRAPEZE DETAIL
NOT TO SCALE



ICE BRIDGE SECTION (ALTERNATE HORSE HEAD)
NOT TO SCALE



NOTES:

1. REFER TO JSA DOCUMENTS FOR EXACT CABLE NUMBER AND MANUFACTURER SPECIFICATIONS FOR PROPER GROMMETS AND HANGERS TO SUPPORT THE FIBER AND DC CABLE BUNDLES.
2. REFER TO STRUCTURAL ANALYSIS FOR EXACT CABLE ROUTING AND MOUNTING CONFIGURATION.

HANGER ADAPTER GROMMET DETAILS
NOT TO SCALE

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ICE BRIDGE DETAILS

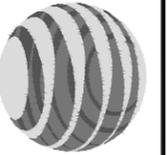
SITE I.D.

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001

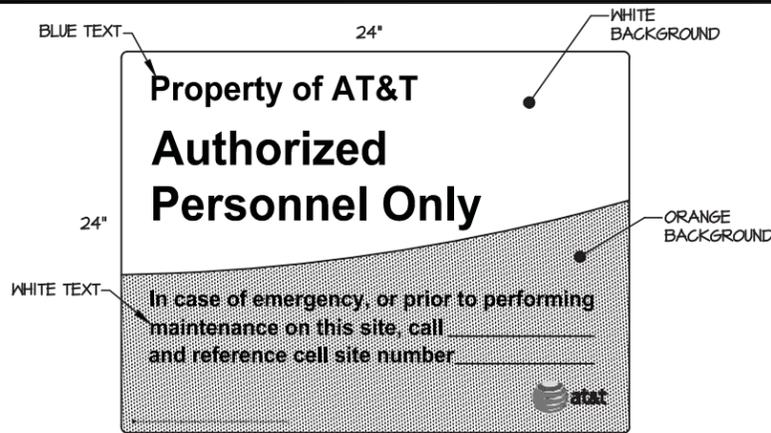
C-8





SIGNAGE NOTES:

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (FENCE) OR BRACKETS, WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E911 ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
4. AT&T SITE # & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON THE EQUIPMENT CABINET WITH PERMANENT SET ADHESIVE. TWO SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SETS.



PROPERTY OF AT&T 9-1

WHITE/ORANGE BACKGROUND, BLUE/WHITE LETTERING
MOUNTING LOCATION: ALL 4 SIDES OF FENCE (IF AT&T OWNED SITE, NOT REQUIRED IF OWNED BY OTHERS)
QUANTITY: 4



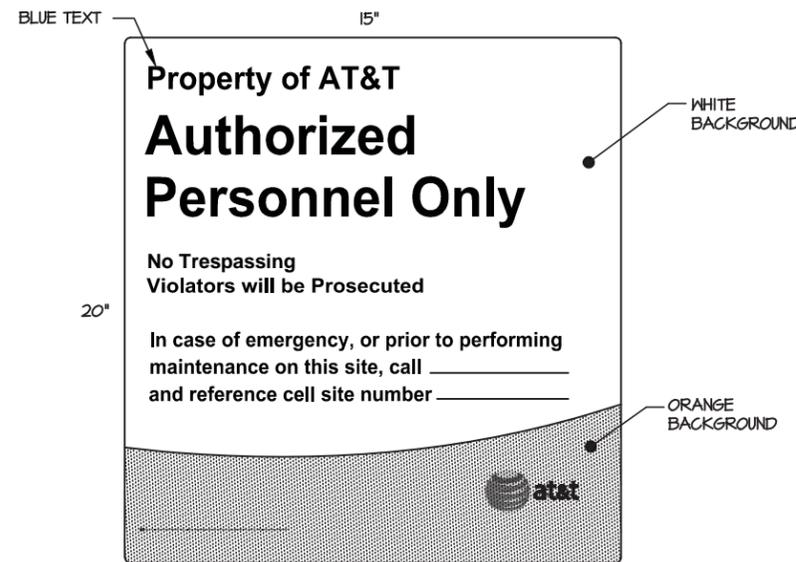
AUTHORIZED PERSONNEL SIGN 9-2

WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: SHELTER DOOR & CABINET DOORS
QUANTITY: PER NUMBER OF CABINET DOORS ON SITE



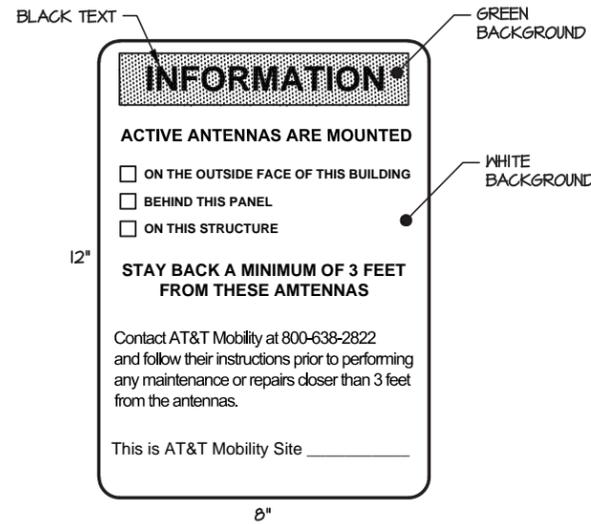
FCC REGISTRATION SIGN 9-3

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



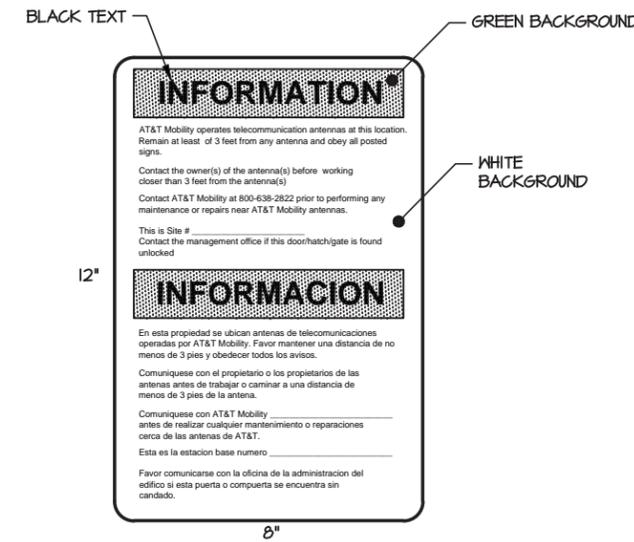
PROPERTY OF AT&T - DOOR 9-4

WHITE/ORANGE BACKGROUND, BLUE/WHITE LETTERING
MOUNTING LOCATION: SHELTER DOOR
QUANTITY: 1
MOUNTING LOCATION: CABINET DOORS
QUANTITY: 1 PER CABINET DOOR



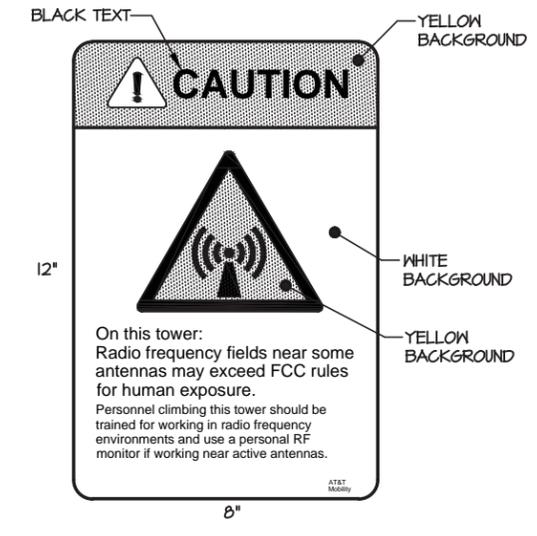
RF EXPOSURE INFORMATION SIGN 9-5

WHITE/GREEN BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



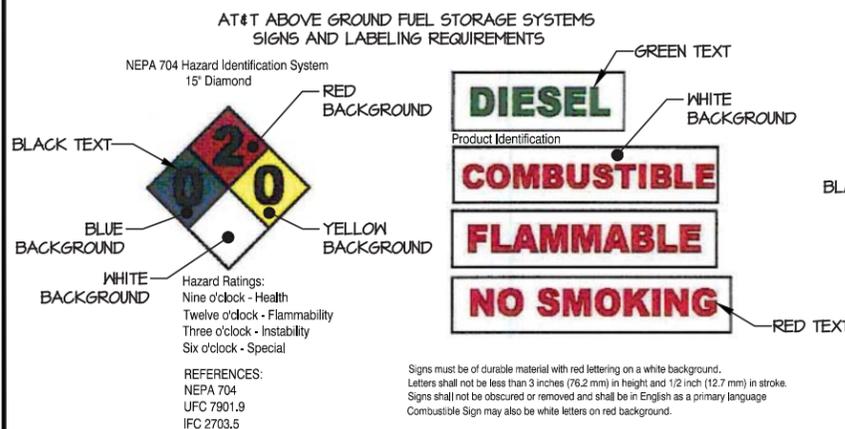
RF EXPOSURE INFORMATION SIGN 9-6

WHITE/GREEN BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



RF EXPOSURE CAUTION SIGN 9-7

WHITE/YELLOW BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: BASE OF TOWER
QUANTITY: 1



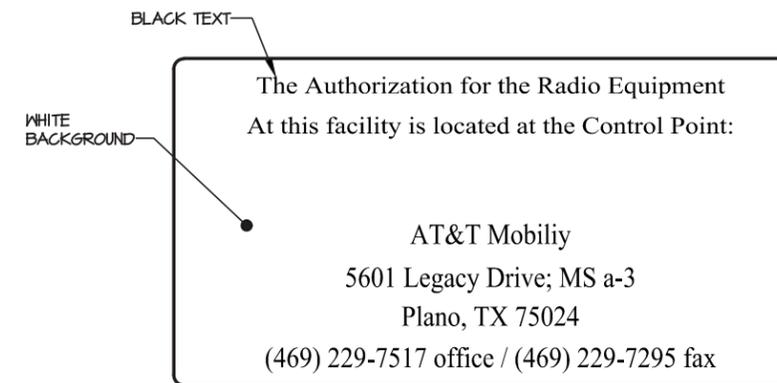
HAZARDOUS MATERIALS 9-8

MOUNTING LOCATION: FUEL STORAGE TANK / GENERATOR
QUANTITY: 1



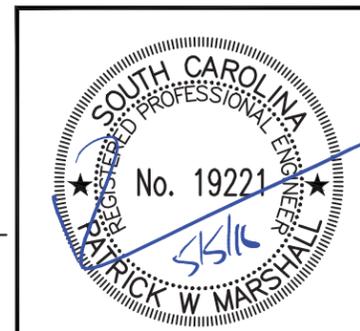
DANGER NO TRESPASSING SIGN 9-9

WHITE/BLACK BACKGROUND, BLACK/WHITE LETTERING
MOUNTING LOCATION: ALL 4 SIDES OF FENCE (IF AT&T OWNED SITE)
MOUNTING LOCATION: GATE (IF OWNED BY OTHERS)
QUANTITY: 1



AUTHORIZATION FOR RADIO EQUIPMENT SIGN 9-10

WHITE BACKGROUND, BLACK LETTERING
MOUNTING LOCATION: SHELTER DOOR
QUANTITY: 1 PER CABINET DOOR



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SITE SIGNAGE

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TD516-001

C-9



AT&T SIGNAGE NOTES:

1. FOR BUILDINGS OWNED BY AT&T MOBILITY, ALL THE FOLLOWING STANDARDS APPLY. FOR AT&T MOBILITY LEASED SPACE OR, CO-LOCATED FACILITIES, THE ONLY SIGNAGE REQUIREMENTS ARE FOR POINTS OF ENTRY INTO OUR INTERIOR OR EXTERIOR LEASED SPACE. HAZMAT AND RF WARNING SIGN REQUIREMENTS WOULD BE APPLIED AS APPROPRIATE ENTRY POINTS TO AREAS IN THE COLLOCATION WHERE OUR EQUIPMENT IS HOUSED.
2. EXCESSIVE EXTERIOR SIGNAGE ON BUILDINGS CONTAINING NETWORK EQUIPMENT IS PROHIBITED (EXAMPLES INCLUDE: MARQUIS SIGNS, LIGHTED SIGNS OR LARGE PLACARDS). DUE TO THE CRITICAL ELEMENTS HOUSED IN THESE FACILITIES IT IS IN THE BEST INTEREST OF AT&T MOBILITY TO LIMIT UNNECESSARY EXPOSURE TO OUR CRITICAL OPERATING CENTERS. ALTHOUGH THERE SHOULD BE BASIC SIGNAGE ON EXTERIOR BUILDING DOORS AND FENCE AND GATE ACCESS POINTS, IT IS NOT PERMITTED TO USE 'ADVERTISING' TYPE SIGNAGE ON THESE BUILDINGS.
3. GLASS MAIN ENTRY DOORS MAY BE 'BRANDED' WITH AT&T MOBILITY LOGO PROVIDING THIS IS NOT A LIGHTED / 'MARQUIS' SIGN. IN CERTAIN CASES WHERE A SITE IS UNMANNED, EXTERIOR DOOR SIGNS MAY BE OMITTED TO PREVENT DRAWING UNDUE ATTENTION TO THE SITE. FOR THESE TYPES OF SITES, THE MARKET MAY ELECT TO HARDEN SECURITY IN A MORE INVISIBLE MANNER. IT IS THE RESPONSIBILITY OF THE MARKET TO MAKE PRUDENT DECISIONS FOR UNMANNED CORE SITES ON A CASE BY CASE BASIS
4. BATTERY PLANTS AND FIXED GENERATOR SYSTEMS LOCATED AT A CORE BUILDING WILL CONTAIN DIESEL AND BATTERY ACID AT A LEVEL THAT WOULD TRIGGER HAZMAT SIGNAGE REQUIREMENTS AS DESCRIBED.
5. PLEASE REFER TO RF EXPOSURE SIGNAGE SECTION CONTAINED IN THIS DOCUMENT, AS SOME CORE BUILDINGS MAY TRIGGER CERTAIN SIGNAGE REQUIREMENTS FOR RF EXPOSURE.
6. VENDOR AND PRICING (SECURITY SIGNS)
SERVICE SELECT INC.
BETH OLMSTEAD
BETH@SERVICESELECTING.COM
215-788-3898
GATE SIGN - \$16 PER
DOOR SIGN - \$3.50 PER
FENCE/NO TRESPASSING - EST. \$12.50 PER.
AUTHORIZED PERSONNEL ONLY - EST. \$12.50 PER.
NOTE: SERVICE SELECT INC. IS THE ONLY SIGN COMPANY AUTHORIZED TO PRINT GATE SIGNS AND DOOR SIGNS WITH THE AT&T NAME AND LOGO.
7. NO TRESPASSING SIGNS AND AUTHORIZED PERSONNEL ONLY SIGNS CAN BE PURCHASED FROM A LOCAL HARDWARE STORE.
8. FUEL STORAGE TANKS ARE REQUIRED TO BE MARKED SO THAT THE CONTENTS AND FIRE HAZARDS ARE IDENTIFIED. THE CURRENT LABELS AND PLACARDS FOR ABOVEGROUND TANKS INCLUDE THE FOLLOWING:
 - PRODUCT LABEL (GASOLINE, DIESEL FUEL)
 - COMBUSTIBLE LABEL FOR DIESEL FUEL
 - FLAMMABLE LABEL FOR GASOLINE
 - NFPA 704 HAZARD ID SYSTEM - 15" DIAMOND PLACARD LABEL (AS REQUIRED BY LOCAL JURISDICTION)
 - NO SMOKING LABEL
 - STORAGE TANK CAPACITY LABEL (OPTIONAL)
9. REGIONS/MARKETS ARE GIVEN THE ABILITY TO CHOOSE WHERE THE SIGNS AND VINYL NUMBER DECALS WILL BE ORDERED. NO VENDOR OR PRICING HAS BEEN ESTABLISHED ON A NATIONAL LEVEL.
10. FOR AT&T-OWNED CELL TOWERS AND OTHER-OWNED TOWERS WHERE AT&T MOBILITY IS PERMITTED TO POST RF SAFETY SIGNAGE, THE TYPICAL RF EXPOSURE SIGNAGE CONSISTS OF AN "INFORMATION" SIGN INSTALLED ON ENTRANCE GATES OR ADJACENT TO THE "CAUTION" SIGNS REQUIRED TO BE INSTALLED AT ACCESSES TO EACH CLIMBING LADDER AT THE TOWER. "INFORMATION" SIGNS ARE NO LONGER PERMITTED TO BE INSTALLED ON EQUIPMENT CABINETS OR BUILDINGS.
11. SIGNS MAY BE SECURED TO TOWERS USING METAL BANDS, ADHESIVE OR SPECIALLY FABRICATED MOUNTING FAMES. UNDER NO CIRCUMSTANCES ARE HOLES TO BE DRILLED IN, OR BRACKETS WELDED, TO THE TOWER STRUCTURE UNLESS SPECIFICALLY INSTRUCTED OTHERWISE.
12. REGIONS/MARKETS ARE TO ORDER THE REQUIRED RF EXPOSURE SIGNS FROM THE VENDOR SPECIFIED BELOW. THIS COMPANY HAS THE LATEST AT&T MOBILITY SIGNS READY TO ORDER.
EXCEL SIGN & DECAL
1509 N. MILPITAS BLVD.
MILPITAS, CA 95035
WWW.EXCELTEAM.NET
408-942-8881 - ATTN: GREG
13. IF THE SITE IS EQUIPPED WITH ENTRY DOOR OR GATE SIGN ASSURE THAT CONTACT # FOR MNRC OF 1-800-638-2822 IS PRESENT. UPDATE CONTACT NUMBER AS NEEDED TO ASSURE APPROPRIATE NUMBER IS PRESENT. IT IS ACCEPTABLE TO USE VINYL TAPE AND PERMANENT MARKER TO COVER OVER OUTDATED NUMBERS WITH NEW NUMBER.
14. IF THE SIGN REFLECTS ANY PAST OWNER (OTHER THEN CINGULAR), ORDER A REPLACEMENT SIGN. IF THE SITE IS OWNED BY AT&T AND THE REQUIRED DOOR OR GATE SIGN IS MISSING, REPLACEMENT SIGNS MUST BE OBTAINED AND POSTED.

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SITE SIGNAGE NOTES

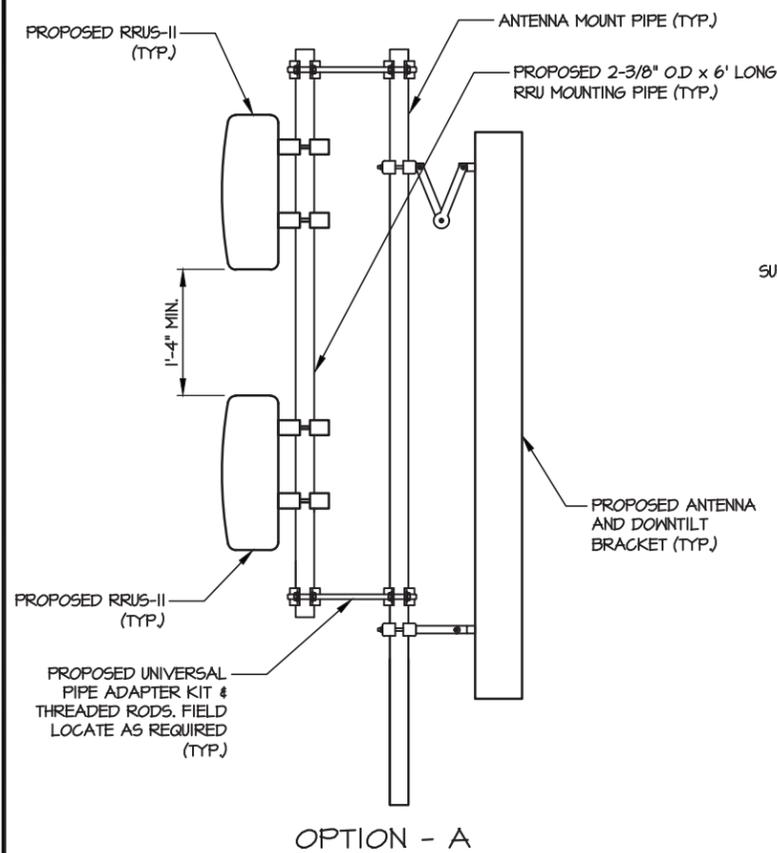
SITE ID:

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

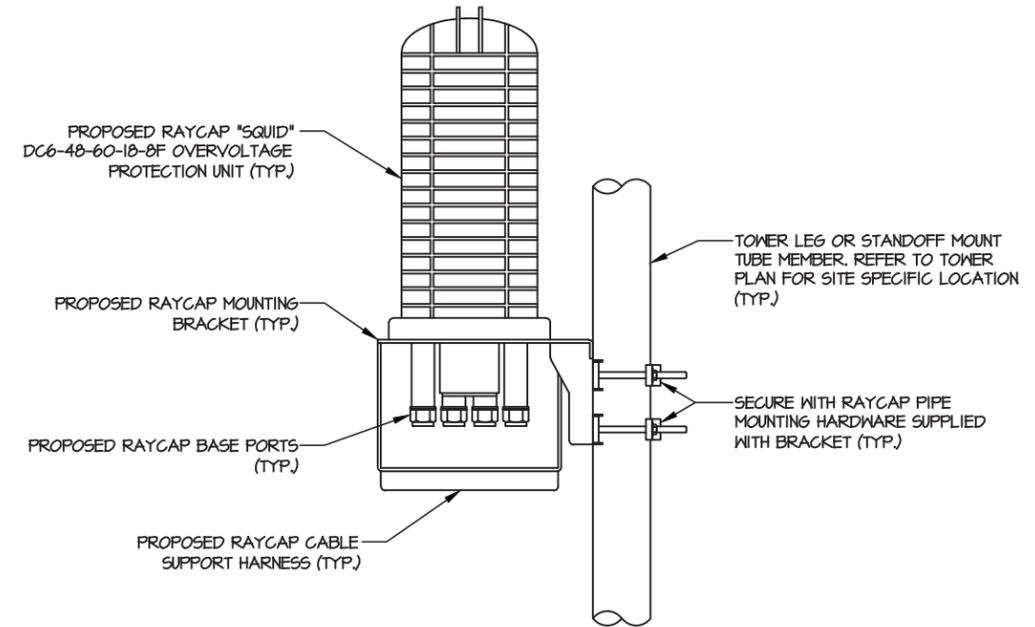
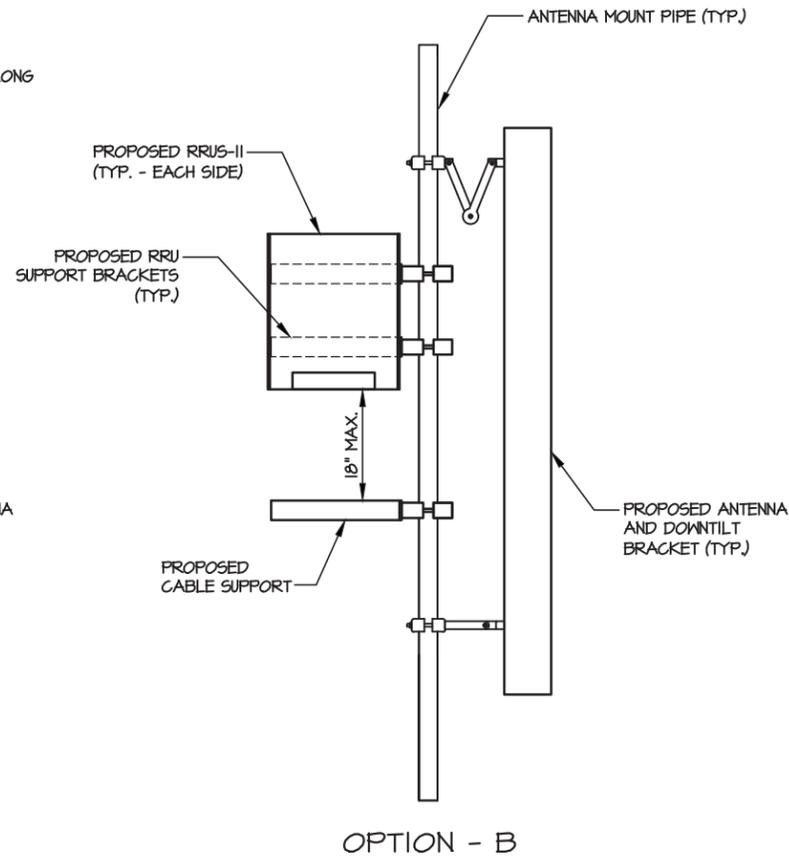
JOB #: TDS16-001

C-10





RRUS-II MOUNT DETAIL
NOT TO SCALE



RAYCAP SQUID MOUNT DETAIL
NOT TO SCALE

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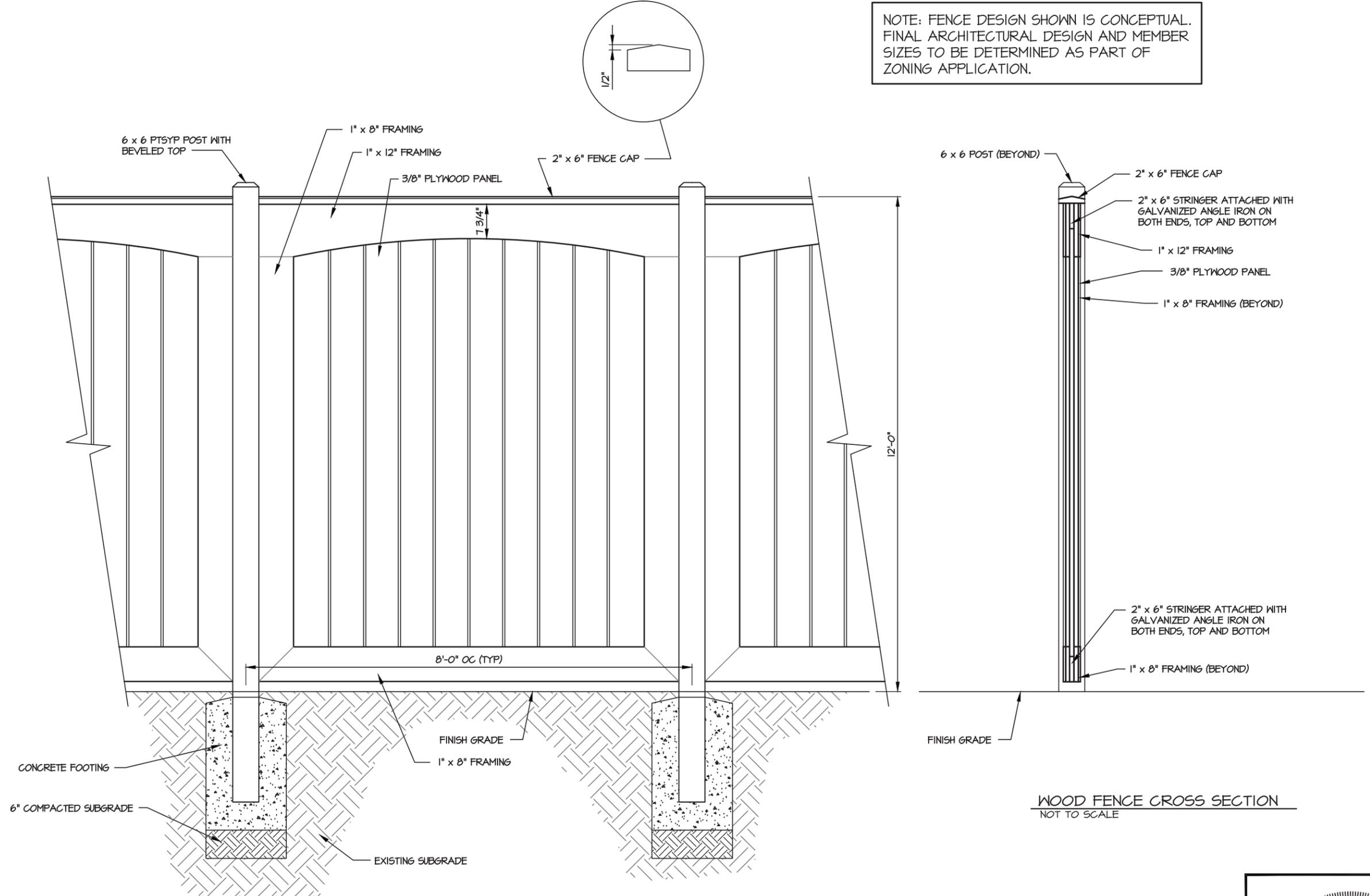
**RRU & SQUID
MOUNTING DETAILS**



DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM
JOB #:	TDS16-001

C-11

NOTE: FENCE DESIGN SHOWN IS CONCEPTUAL. FINAL ARCHITECTURAL DESIGN AND MEMBER SIZES TO BE DETERMINED AS PART OF ZONING APPLICATION.



WOOD FENCE DETAIL
NOT TO SCALE

WOOD FENCE CROSS SECTION
NOT TO SCALE

NOTE:
FENCE SHALL BE STAINED "CHARLESTON GREEN". CONSTRUCTION MANAGER SHALL APPROVE COLOR PRIOR TO STAINING.

NOTE:
12' WIDE DOUBLE SWING GATE:
ALL DETAILING AND MILLWORK TO MATCH THAT OF PROPOSED FENCE. ALL HARDWARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



NUM	DATE	DESCRIPTION
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O	4/20/16	ISSUED FOR ZONING SUBMITTAL
1	5/05/16	LANDSCAPE PLAN & UPDATES
2	6/15/16	LANDSCAPE PLAN & UPDATES
3	6/28/16	REVISED PER JURISDICTIONAL COMMENTS

SITE ID: 410-365

FENCE DETAILS

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001

C-12

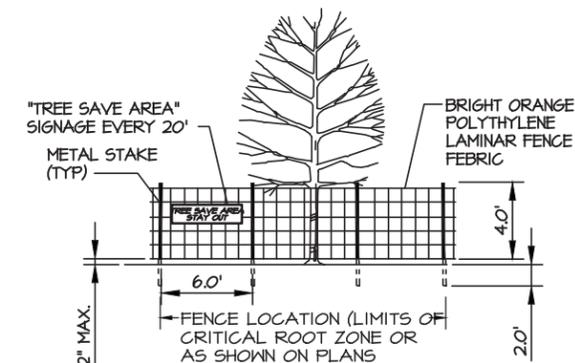
LANDSCAPING NOTES

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

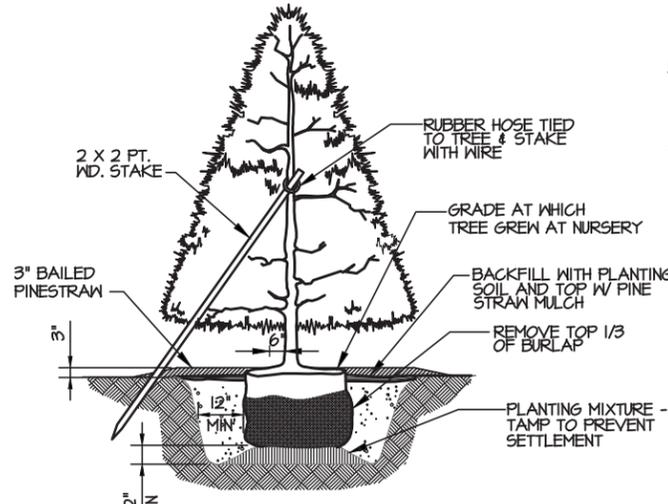
NOTE: THE DEVELOPER SHALL ENSURE AS MANY MATURE TREES AS POSSIBLE REMAIN PER SPECIMENS IDENTIFIED ON THIS SHEET TO BE SAVED (S).

TREE LEGEND

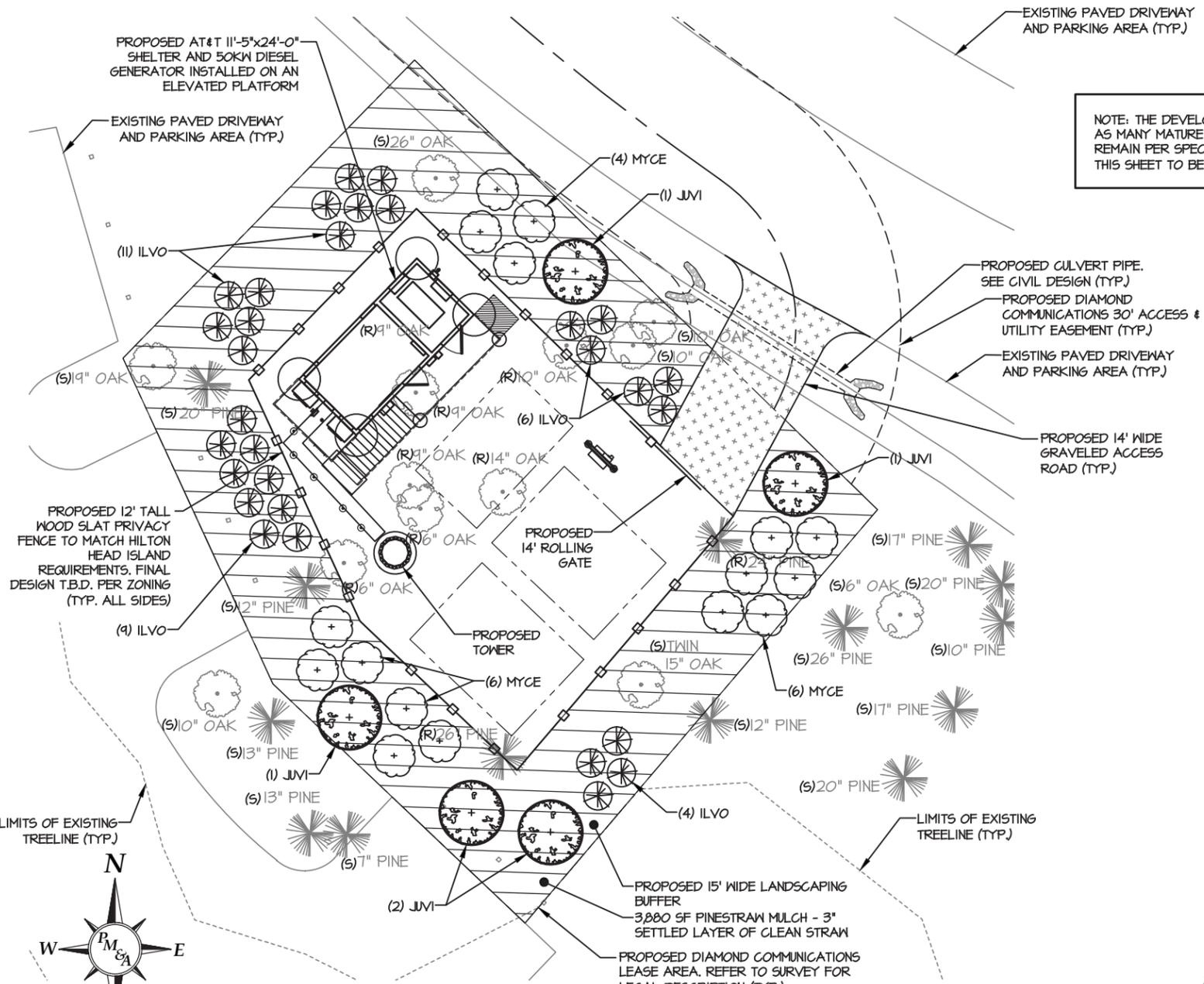
	EXISTING OAK
	EXISTING PINE
	PROPOSED ILVO
	PROPOSED JVI
	PROPOSED MYCE



- NOTES:**
- 1) ALL PARKING WILL OCCUR ON EXISTING DRIVE.
 - 2) THERE WILL BE NO BURNING OR BURIAL OF DEBRIS ON SITE.
 - 3) ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.



- NOTES:**
1. TOP OF ROOT FLARE SHALL BE 2" ABOVE GRADE.
 2. NO MULCH SHOULD BE WITHIN 6" OF THE BASE OF THE TRUNK.

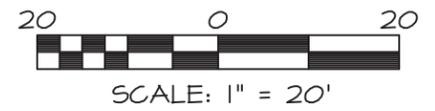


LANDSCAPE PLAN
SCALE: 1" = 20'-0"

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOTS	NOTES
ILVO	30	ILEX VOMITORIA	YAUPON HOLLY	-	4'-6"	2'-3'	CONT.	3 CANES MIN.
JVI	5	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	2"	10'-12'	4'-5'	CONT.	FULL TO GROUND
MYCE	16	MYRICA CERIFERA	WAX MYRTLE	-	5'-6"	3'-4'	CONT.	3 CANES MIN.

TOTAL AREA OF LANDSCAPE BUFFER - 3,880 SF
TOTAL AREA OF 3" SETTLED PINESTRAW - 3,880 SF

GRAPHIC SCALES



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LANDSCAPE PLAN



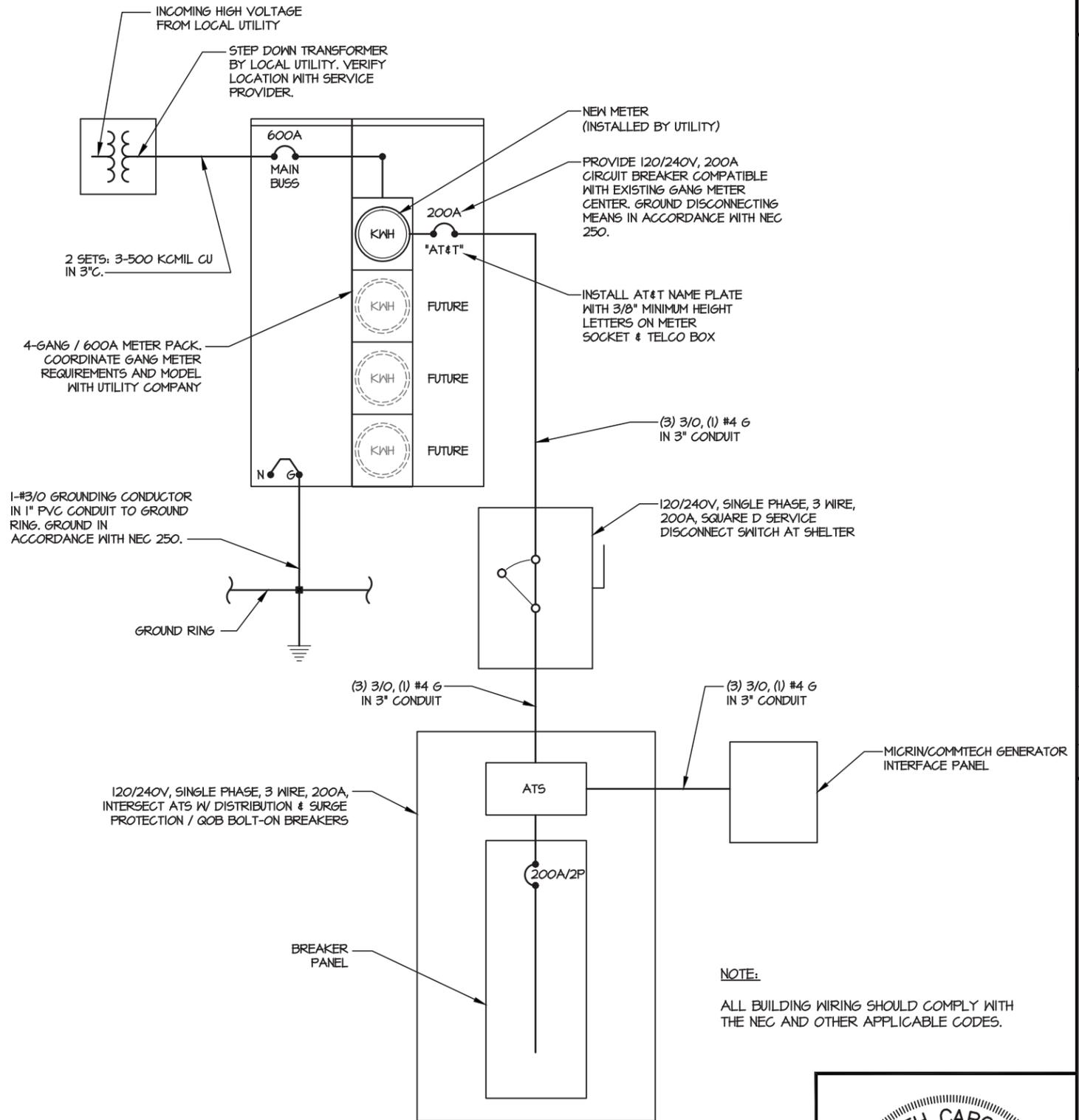
DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001



ELECTRICAL INSTALLATION NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RINGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC 4 05HA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATINGS, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATINGS, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THIN OR THIN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THIN OR THIN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THIN OR THIN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (NET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (100°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



ONE-LINE DIAGRAM
NT5

NOTE:
ALL BUILDING WIRING SHOULD COMPLY WITH THE NEC AND OTHER APPLICABLE CODES.



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O	4/20/16	ISSUED FOR ZONING SUBMITTAL
I	5/05/16	LANDSCAPE PLAN & UPDATES

410-365
ELECTRICAL SPECS & ONE-LINE DIAGRAM

DESIGNED:	AJB
DRAWN:	AJB
CHECKED:	PWM

JOB #: TD516-001
E-1

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410-365

SITE ID.

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

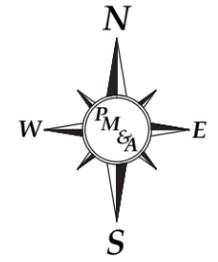
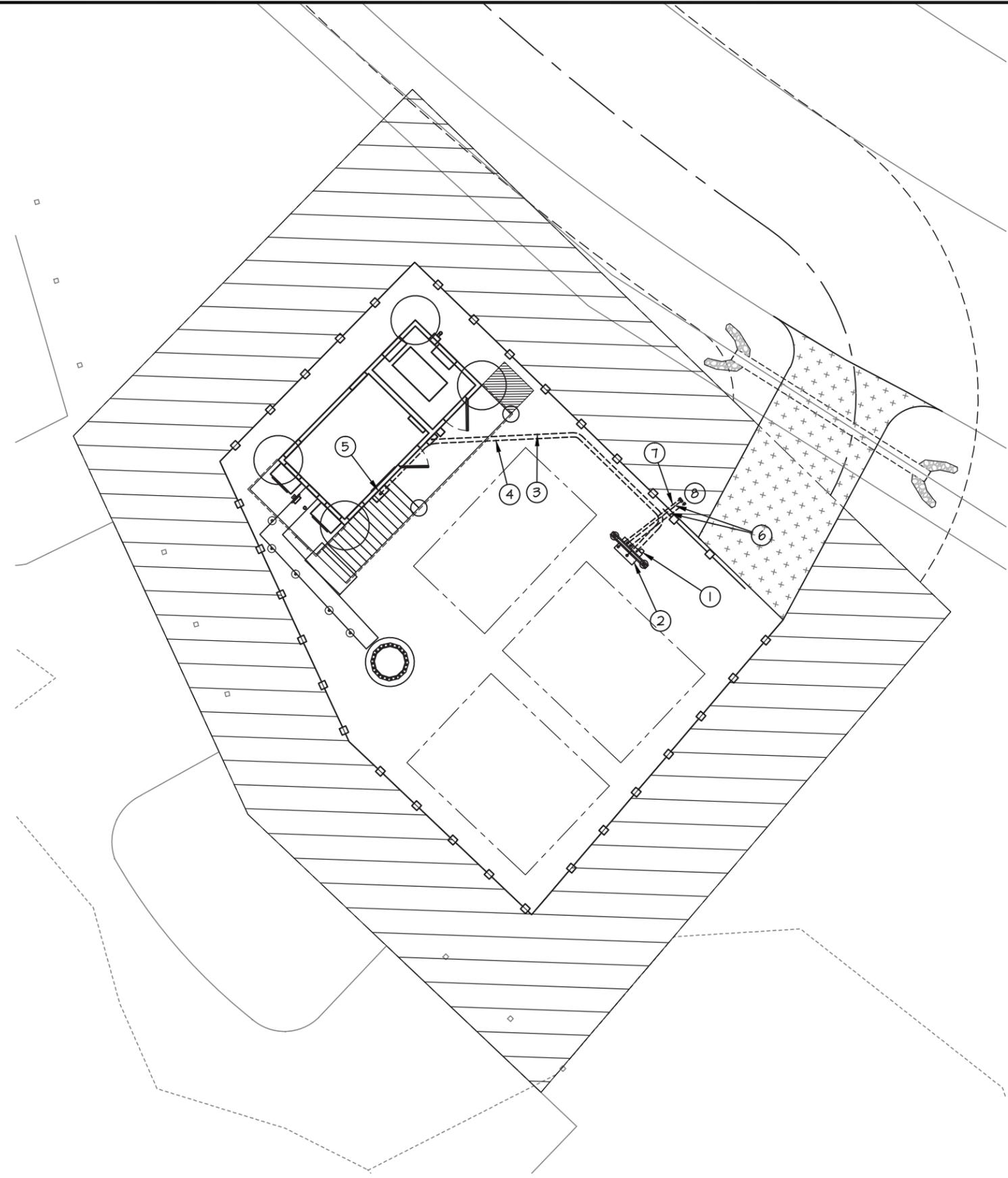
JOB #: TD516-001

E-3

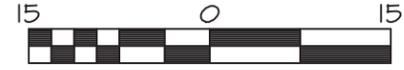
ELECTRICAL SITE PLAN

ELECTRICAL KEY NOTES:

- ① PROPOSED 4-GANG / 600A METER PANEL. SEE SHEET E-1 FOR MOUNTING DETAILS. SEE SHEET E-1 FOR ELECTRICAL ONE-LINE DIAGRAM.
- ② PROPOSED 48"x48"x12" TELCO CABINET. SEE E-1 FOR MOUNTING DETAILS.
- ③ PROPOSED (3) 3/0, (1) #4 G IN 3" CONDUIT FROM THE METER TO THE DISCONNECT ON SHELTER.
- ④ PROPOSED 4" CONDUIT WITH (2) FULL STRINGS FROM MULTI-TENANT TELCO BOX TO THE AT&T TELCO BOX MOUNTED ON PROPOSED SHELTER.
- ⑤ PROPOSED 4" CONDUIT WITH (2) FULL STRINGS FROM THE PROPOSED AT&T TELCO BOX TO THE AT&T SHELTER
- ⑥ PROPOSED (2) 4" PVC CONDUITS FOR POWER SERVICE.
- ⑦ PROPOSED (1) 4" PVC CONDUIT WITH FULLSTRINGS FOR TELCO SERVICE.
- ⑧ STUB UP CONDUITS A MINIMUM OF 2' ABOVE FINISHED GRADE AND CAP AT REQUIRED LOCATION. COORDINATE WITH UTILITY PROVIDER FOR FINAL CONNECTION TO EXISTING UTILITIES.

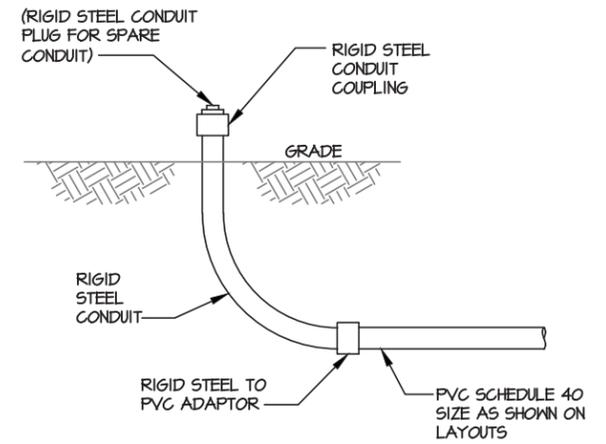


GRAPHIC SCALES



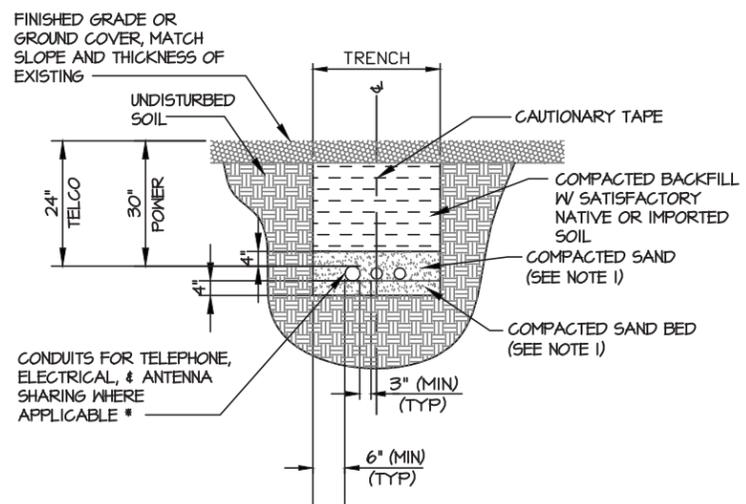
SCALE: 1" = 15'

ELECTRICAL SITE PLAN
SCALE: 1" = 15'-0"



UNDERGROUND CONDUIT STUB-UP
NTS

NOTES: 1. LEAN CONCRETE, RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.

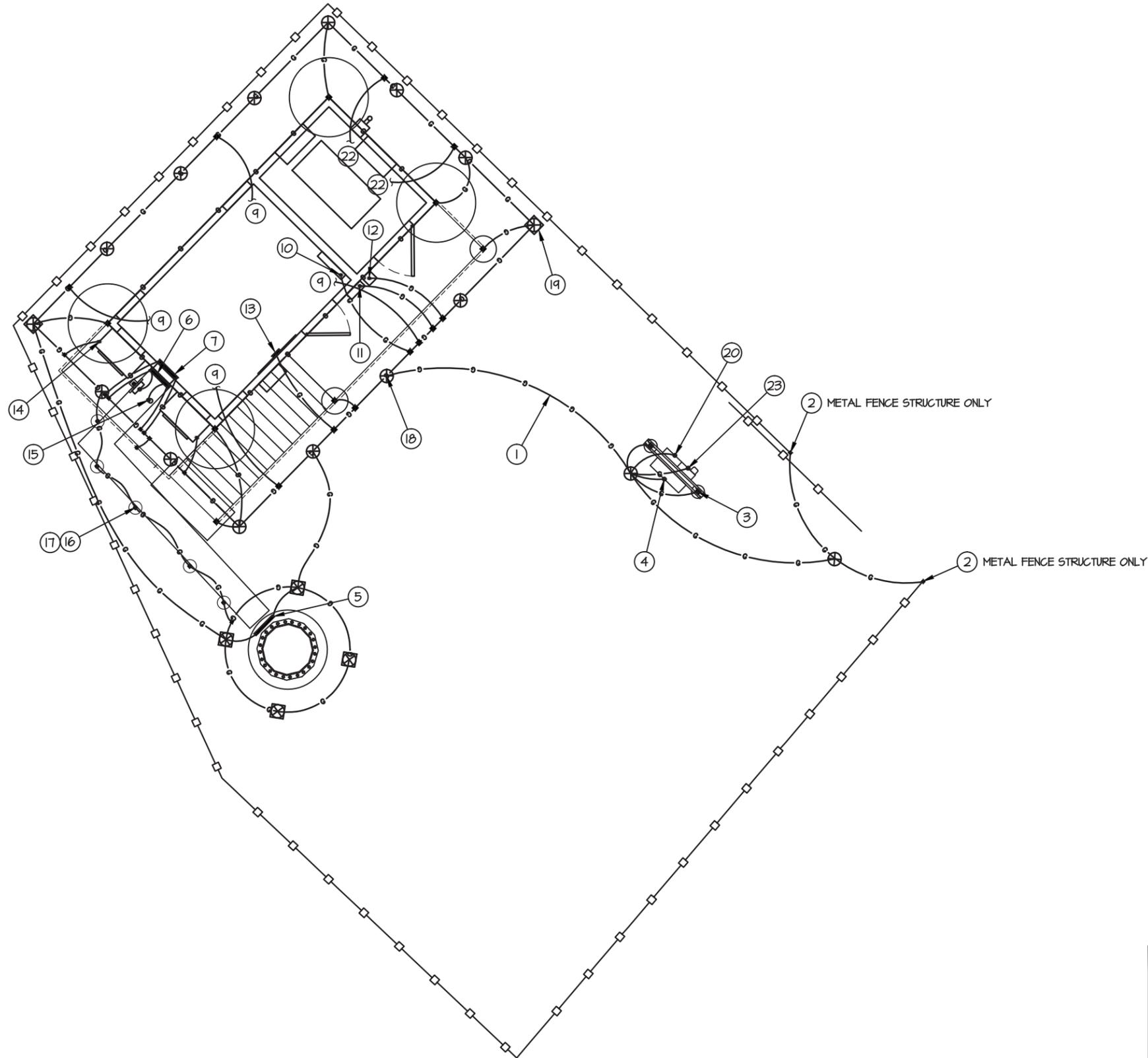


* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

DIRECT BURIED CONDUIT
NTS



- ① #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
- ② BOND METALLIC FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTION (TYP)
- ③ BOND ALL H-FRAME POSTS TO GROUND RING
- ④ BOND TELCO BUSS BAR TO GROUND RING
- ⑤ BOND TOWER MOUNTED GROUND BAR TO TOWER GROUND RING (TYP-2)
- ⑥ CONNECT EXTERIOR GROUND BAR (UNDER WAVEGUIDE PORT) TO NEW GROUND RING WITH #2 GROUND CONDUCTORS.
- ⑦ CONNECT MASTER GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑧ BOND EACH SHELTER TIE DOWN PLATE TO GROUND RING WITH CADWELD.
- ⑨ PROVIDE GROUND LEADS FROM SHELTER HALO TO GROUND RING (4 PLACES). COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑩ PROVIDE GROUND LEAD FROM BUILDING 200A PANEL BOARD TO GROUND RING. COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- ⑪ BOND DISCONNECT SWITCH TO GROUND RING.
- ⑫ BOND GENERATOR INTERFACE PANEL TO GROUND RING.
- ⑬ CONNECT TELCO GROUND BAR TO EXTERIOR GROUND RING. COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- ⑭ BOND HVAC UNITS TO GROUND RING (TYP.)
- ⑮ GROUND GPS ANTENNAS PER MANUFACTURER'S SPECIFICATIONS.
- ⑯ BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS. BOND FIRST AND LAST SECTION TO GROUND RING.
- ⑰ BOND EVERY ICE BRIDGE POST BASE TO GROUND RING WITH CADWELD.
- ⑱ PROPOSED GROUND ROD (TYP).
- ⑲ PROPOSED GROUND ROD WITH INSPECTION WELL.
- ⑳ 1-#3/0 GROUNDING CONDUCTOR IN 1" PVC CONDUIT TO GROUND RING.
- ㉑ BOND TOWER BASE PLATE TO TOWER GROUND RING.
- ㉒ #2 AWG BARE TINNED SOLID COPPER WIRE. 2-HOLE LUG CONNECTION TO GENERATOR BASE FRAME, CADWELD CONNECTION TO EXISTING GROUND RING (TYP.)
- ㉓ GROUND PROPOSED POWER EQUIPMENT TO GROUND RING.



GROUNDING PLAN
SCALE: NTS

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SITE ID: 410-365
GROUNDING SITE PLAN



DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM
JOB #: TD516-001

GROUNDING NOTES

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC AND AT&T ND-0001.
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. TESTING SHALL BE IN ACCORDANCE WITH SPECIFICATION 24182-000-3PS-EG00-00001. USE OF OTHER METHODS MUST BE PRE-APPROVED BY CONTRACTOR IN WRITING.
3. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS. WHEN ADDING ELECTRODES, CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE BETWEEN THE ADDED ELECTRODE AND ANY OTHER EXISTING ELECTRODE EQUAL TO THE BURIED LENGTH OF THE ROD. IDEALLY, CONTRACTOR SHALL STRIVE TO KEEP THE SEPARATION DISTANCE EQUAL TO TWICE THE BURIED LENGTH OF THE RODS.
4. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
5. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS PER NEC AND AT&T ND-0001.
6. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
8. ALUMINUM CONDUCTOR OR COPPER GLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
9. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
10. EACH INTERIOR BTS CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH #2 AWG STRANDED, GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES. EACH OUTDOOR CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE BURIED GROUND RING WITH # 2 AWG SOLID TIN-PLATED COPPER WIRE.
11. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TIN-PLATED COPPER UNLESS OTHERWISE INDICATED.
12. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS. HIGH PRESSURE CRIMP CONNECTORS MAY ONLY BE USED WITH WRITTEN PERMISSION FROM AT&T MARKET REPRESENTATIVE.
13. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
14. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPLIT BOLT CONNECTORS WHERE INDICATED IN THE DETAILS.
15. ON ROOFTOP SITES WHERE EXOTHERMIC WELDS ARE A FIRE HAZARD COPPER COMPRESSION CAP CONNECTORS MAY BE USED FOR WIRE TO WIRE CONNECTORS. 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS SHALL BE USED FOR CONNECTION TO ALL ROOFTOP BTS EQUIPMENT AND STRUCTURAL STEEL.
16. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR USING TWO HOLED MECHANICAL TYPE BRASS CONNECTORS AND STAINLESS STEEL HARDWARE.
17. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
18. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
19. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
20. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF THE BURIED GROUND RING WITH # 2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
21. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.
22. GROUND ALL RF EQUIPMENT INCLUDING BUT NOT LIMITED TO COAX, DIPLEXERS, SURGE ARRESTORS, TMA's, ANTENNAS, & ANTENNA MASTS PER NEC AND AT&T ND-0001.



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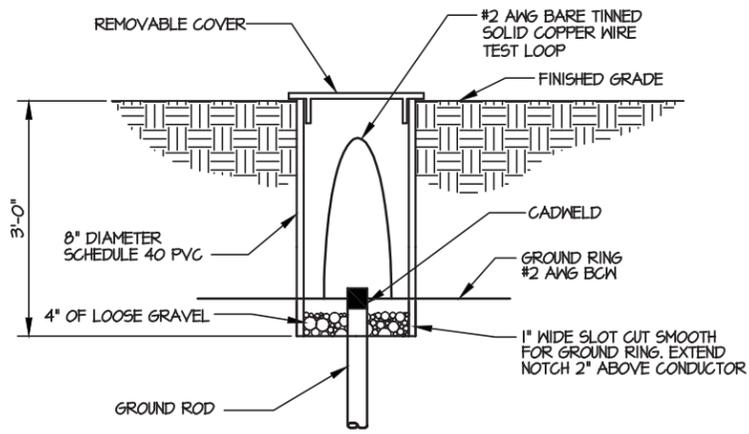
DESIGNED: AJB
 DRAWN: AJB
 CHECKED: PWM

JOB #: TDS16-001

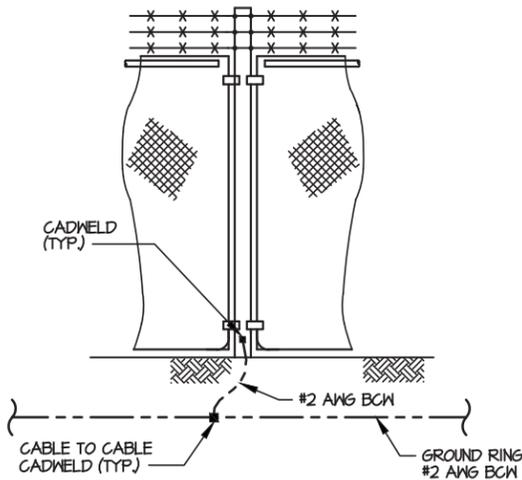
E-5



GROUNDING NOTES

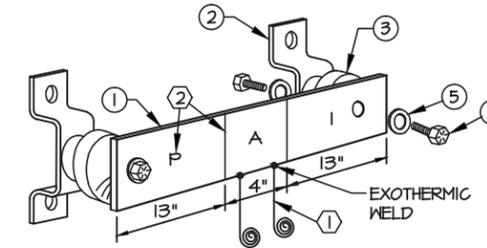


GROUND ROD INSPECTION WELL
NOT TO SCALE



FENCE GROUNDING
NOT TO SCALE

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C.			
NO.	REQ.	PART NO.	DESCRIPTION
①	1	1/4"x4"x30"	SOLID GND. BAR
②	2	A-6056	WALL MTG. BRKT.
③	2	3061-4	INSULATORS
④	4	3012-1	5/8"-11x1" H.H.C.S.
⑤	4	3015-8	5/8 LOCKWASHER



EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

SECTION "P" - SURGE PRODUCERS

- CABLE ENTRY PORTS (HATCH PLATES) (#2)
- TELCO GROUND BAR (#2)
- COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (#2)
- CELL SITE +24V POWER SUPPLY RETURN BAR (#2)
- CELL SITE -48V POWER SUPPLY RETURN BAR (#2)
- GENERATOR FRAMEWORK (IF AVAILABLE) (#2)
- RECTIFIER FRAMES
- ANTENNA SUPPRESSION

SECTION "A" - SURGE ABSORBERS

- INTERIOR GROUND RING (#2)
- EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2)
- METALLIC COLD WATER PIPE (IF AVAILABLE) (#2)
- BUILDING STEEL (IF AVAILABLE) (#2)

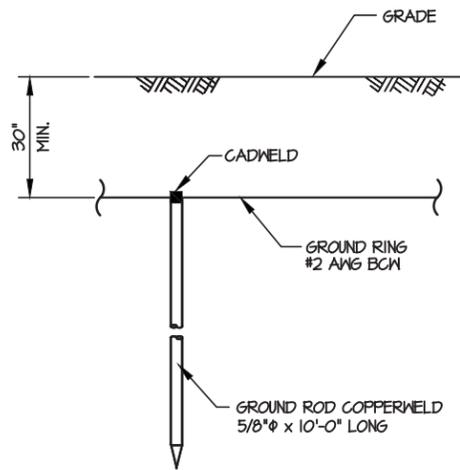
SECTION "I" - ISOLATED GROUND ZONE

ALL CELL SITE COMMUNICATIONS EQUIPMENT FRAMES

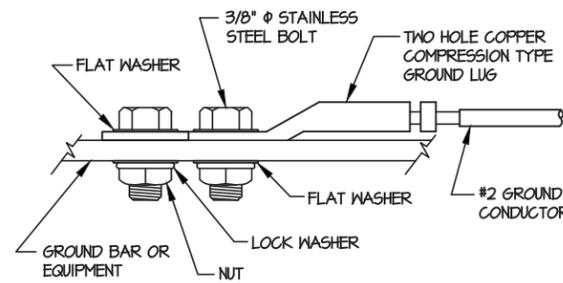
DETAIL NOTES:

- EXOTHERMICALLY WELD #2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- THE INSTALLER SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION ("P", "A", "I") WITH 1" HIGH LETTERS.

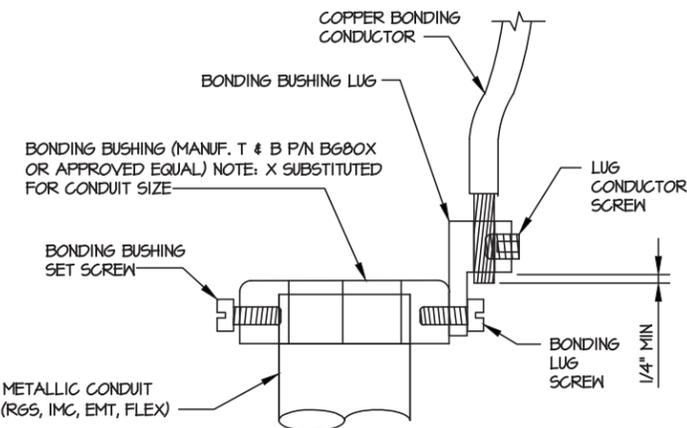
MASTER GROUND BAR DETAILS
NTS



GROUND ROD DETAIL
NOT TO SCALE



MECHANICAL GROUND CONNECTION
NOT TO SCALE



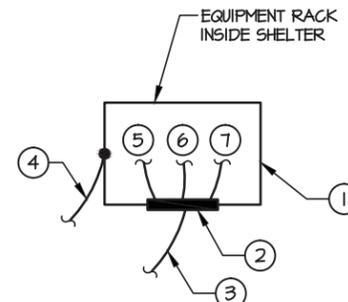
- DIRECTIONS:**
- MOUNT BONDING BUSHING ONTO CONDUIT
 - TIGHTEN BOND BUSHING SET SCREW
 - INSERT COPPER CONDUCTOR INTO LUG
 - TIGHTEN LUG CONDUCTOR SCREW
 - TIGHTEN BONDING LUG SCREW

NOTE: BONDING BUSHING, SET SCREW, LUG, LUG SCREW, COND. LUG SCREW, SHOWN AS COMPLETE UNIT.

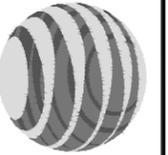
CONDUIT BOND/GROUND BUSHING
NTS

KEY NOTES:

- PROPOSED ISOLATOR PAD UNDER ALL NEW EQUIPMENT RACKS. INSTALL PER AT&T SPECIFICATIONS.
- PROPOSED GROUND BAR WITH ISOLATORS MOUNTED AT TOP OF ALL NEW EQUIPMENT RACKS.
- PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE EQUIPMENT RACK GROUND BAR TO THE MASTER GROUND BAR.
- PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM EACH NEW EQUIPMENT RACK TO THE MASTER GROUND BAR.
- PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE PROPOSED RAYCAP DC6-48-60-0-RM TO GROUND BAR. GROUND PER MANUFACTURER'S SPECIFICATIONS.
- PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE PROPOSED SLACK TRAY TO THE GROUND BAR. GROUND PER MANUFACTURER'S SPECIFICATIONS.
- PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM THE PROPOSED SLACK TRAY TO THE GROUND BAR. GROUND PER MANUFACTURER'S SPECIFICATIONS.



EQUIPMENT RACK GROUNDING
NTS



NUM	DATE	DESCRIPTION
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL
I	5/05/16	LANDSCAPE PLAN & UPDATES

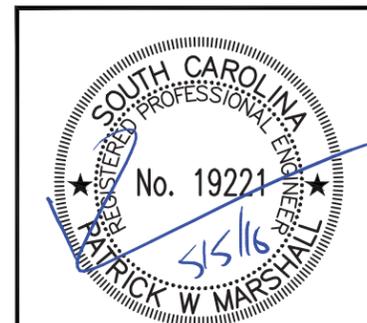
410-365

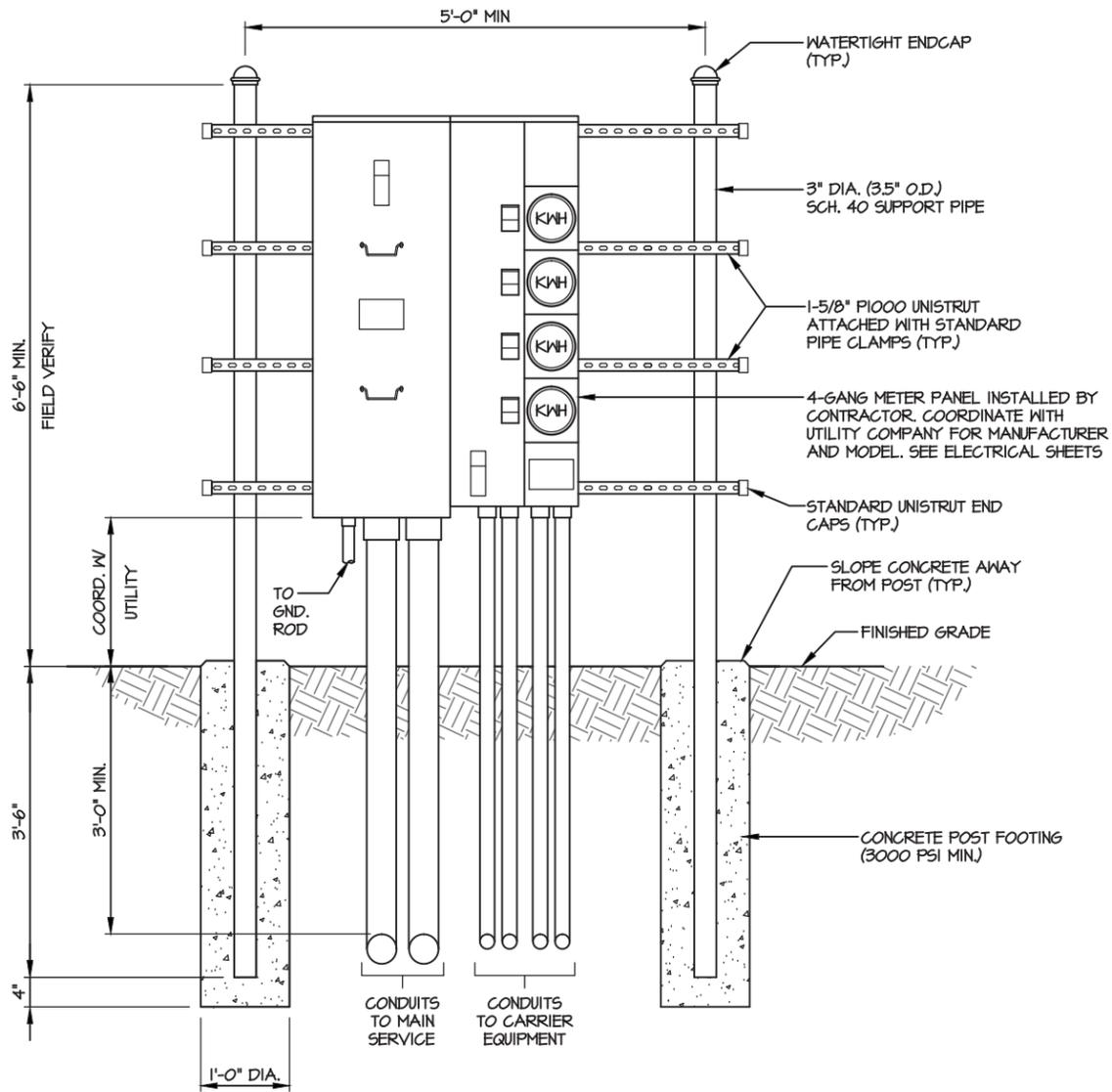
SITE I.D.

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

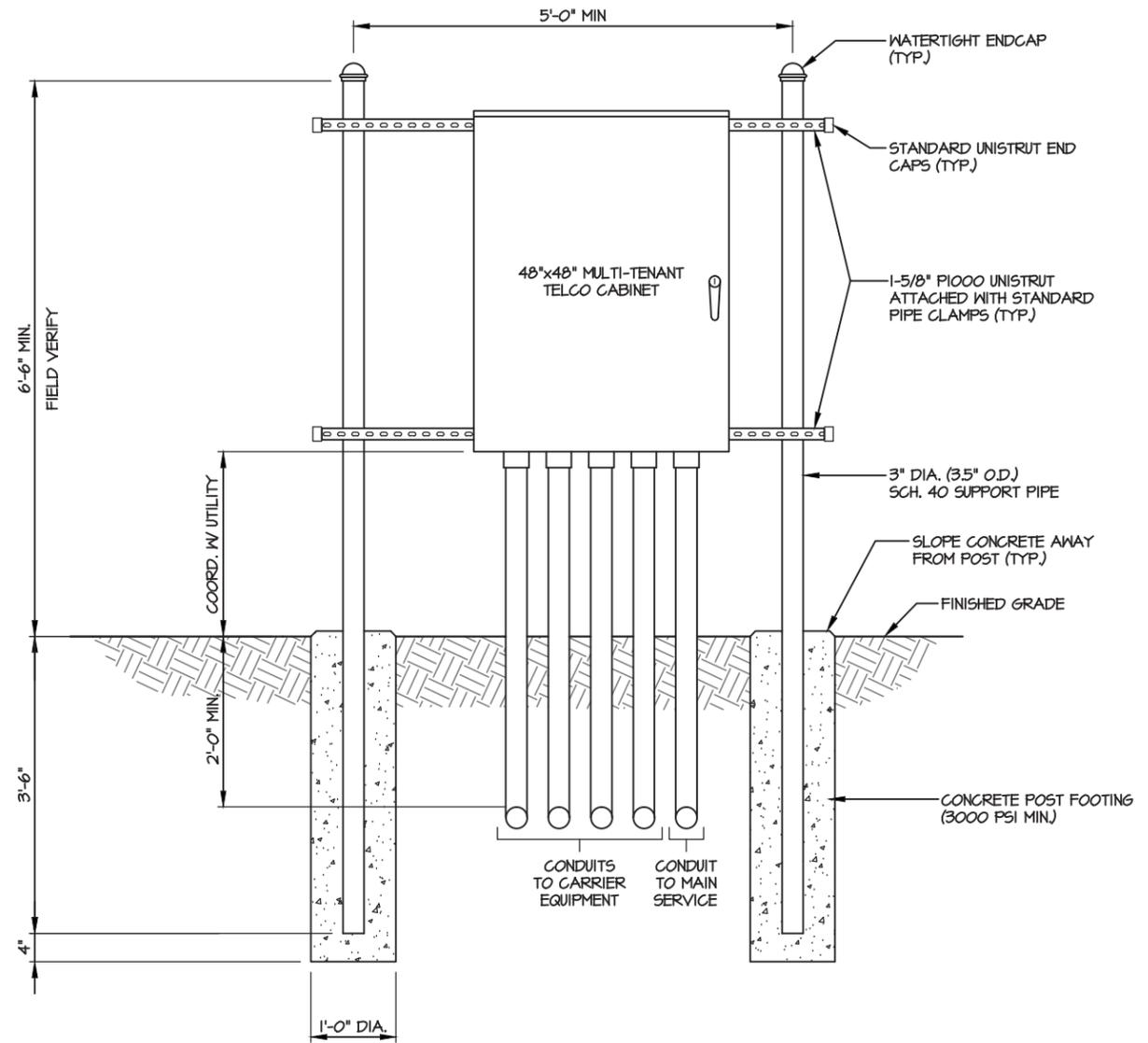
JOB #: TD516-001

E-6





UTILITY FRAME DETAIL (GANG METER)
NTS



UTILITY FRAME DETAIL (TELCO)
NTS

NOTES:

1. CONTRACTOR SHALL FIELD LOCATE THE METER PEDESTAL AS SHOWN ON SITE PLAN. INSTALL THE METER PEDESTAL NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
2. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RUN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
4. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED. PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
5. TELCO CABINET SHALL BE 48"x48"x10" HOFFMAN OR EQUIVALENT. PROVIDE 3/4" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
6. ADJUSTMENTS TO THE METER PEDESTAL DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.

NUM	DATE	DESCRIPTION:
A	2/24/16	ISSUED FOR PRELIMINARY REVIEW
B	4/12/16	ISSUED FOR PRELIMINARY REVIEW
C	4/18/16	ISSUED FOR PRELIMINARY REVIEW
O	4/20/16	ISSUED FOR ZONING SUBMITTAL
1	5/05/16	LANDSCAPE PLAN & UPDATES

410-365

UTILITY FRAME DETAILS

SITE I.D.

DESIGNED: AJB
DRAWN: AJB
CHECKED: PWM

JOB #: TD516-001

E-7



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Diamond / AT&T – NEW DEVELOPMENT FINAL

DRB#: DRB-001232-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Consider making the fence and building dark brown to remain in keeping with the color palette of the existing buildings in the park.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

and architectural elements				
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Mark Scholz Company: Burke Painting, Inc.
 Mailing Address: 2950 Coll Court City: Norcross State: GA Zip: 30071
 Telephone: 678-876-7901 Fax: 770-582-0887 E-mail: mark@burkepainting.com
 Project Name: Circle Center Project Address: 70 Pope Avenue, Hilton Head, SC 29928
 Parcel Number [PIN]: R 553 018 000 0208 0000
 Zoning District: CR - Caligny Resort Overlay District(s): COD - CR zoning district

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

06/14/10

DATE



Exterior Commercial

June 14, 2016

Site Circle Center

Address 70 Pope Avenue
Milton Head, S

-----Estimate-----

Scope of work:

1. Power wash surfaces to remove dirt and debris.
2. Spot prime areas where damaged or rust has occurred.
3. Repaint metal mansard and accent pieces with two (2) coats using Sherwin Williams Praline Bronze.
4. Repaint painted sign and with two (2) coats using PPG Toasted Almond.
5. Supply all labor, material, and equipment necessary to complete the project.

Mark Schulz ■ (678) 878-7961 ■ mark@burkepainting.com
Burke Painting Inc. ■ 2950 Cole Court ■ Norcross, GA 30071
Ph: (770) 582-0847 ■ Fax: (770) 582-0887 ■ www.burkepainting.com

SHERWIN-WILLIAMS 2205 06/13/16
770-627-0673 Order# 0209935
INTERIOR ARCHITECTURAL
COLOR TO GO LATEX
SATIN 1PC 6012WP
COMP(POD1) 414-3 TOASTED ALMOND
CUSTOM SHER-COLOR MATCH

CEC/COLORANT	02	32	64	128
01-Black	-	1	1	-
04-New Red	-	1	1	-
13-Deep Gold	-	5	1	1

QUART	EXTRA WHITE
RS1400351	658462802

Non Returnable Tinted Color
CAUTION: To insure consistent color,
always order enough paint to complete
the job and observe all applications
of the same color before application.
Blend colors and use a 150% to 175%
color test to be color-matched.



0209935-002

214



SHERWIN-WILLIAMS 2285 06/12/16
770-622-0672 Order# 0289935
INTERIOR ARCHITECTURAL
COLOR TO GO LATEX
SATIN 1PC 6012NF
7048 URSINE BRONZE
SHER-COLOR FORMULA

CEX-COLORANT	02	32	64	128
01-Black	-	01	-	-
02-White	-	03	-	-
03-Norson	-	03	-	-
13-Deep Gold	-	08	-	-

USHT	ULTRACREEP
RS1700354	60461136

Non-Returnable Tinted Color
CAUTION: To ensure consistent color,
always order enough paint to complete
the job and substitute all components
of the same color before application.
Once mixed, any extra paint will
return to the color dealer.



0289935-001

214

Ray Jennifer

From: Forest Beach Owners Association <fbassn@aol.com>
Sent: Sunday, June 26, 2016 1:42 PM
To: david.carpio@brixmor.com
Cc: andrea.sampson@brixmor.com; mark@burkepainting.com; Ray Jennifer
Subject: Circle Center - ARB Approval - Center Re-painting project

David - Thank you for your submission for the proposed re-painting project at the Circle Center complex located at 70 Pope Avenue, Hilton Head Island, SC. The Association has reviewed your email submission dated June 20, 2016, along with the attached narrative and accompanying photographs and drawings..

The Association has approved this submission as presented, subject to any applicable Town of Hilton Head Island approvals. Exterior materials and colors are to as specified. This email constitutes your ARB approval.

As with any project, we will require written notice upon completion so that we may perform a final inspection and close our records on this project. If any changes need to be made from the submitted and approved plans once reviewed by the Town, you will need to re-submit them to us for review before adopting them in to your project.

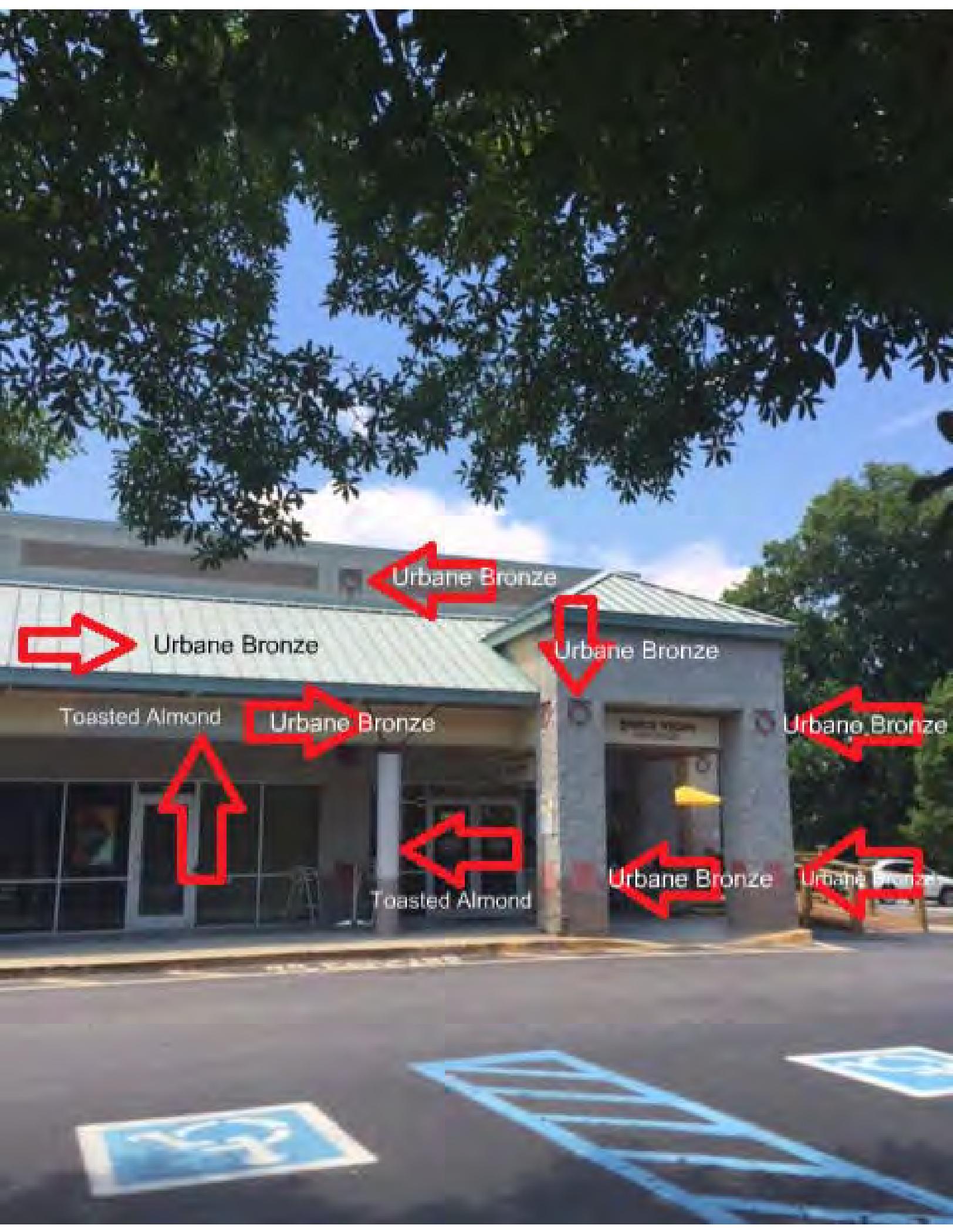
Only the scope of the project, as delineated in the submission package, is approved. Any other work to be performed that may require an ARB review and approval will have to be made under a separate application.

If you have any questions or concerns regarding this project or our review and approval, please contact me.

I have copied Jennifer Ray at the Town for their records. Please keep a copy of this approval on site during construction and forward a copy of this email to the property owner for their records (I have copied the contractor on this email).

John D. Snodgrass

John D. Snodgrass
Executive Director,
Forest Beach Owners' Association, Inc.



Urbane Bronze

Urbane Bronze

Urbane Bronze

Toasted Almond

Urbane Bronze

Urbane Bronze

Toasted Almond

Urbane Bronze

Urbane Bronze



← Urbane Bronze

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Toasted Almond

← Toasted Almond



Urbane Bronze

Urbane Bronze

Toasted Almond

Urbane Bronze

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Toasted Almond

Urbane Bronze



Urbane Bronze



Toasted Almond



Urbane Bronze





Urbane Bronze



Urbane Bronze



Urbane Bronze

Urbane Bronze



Toasted Almond



Toasted Almond



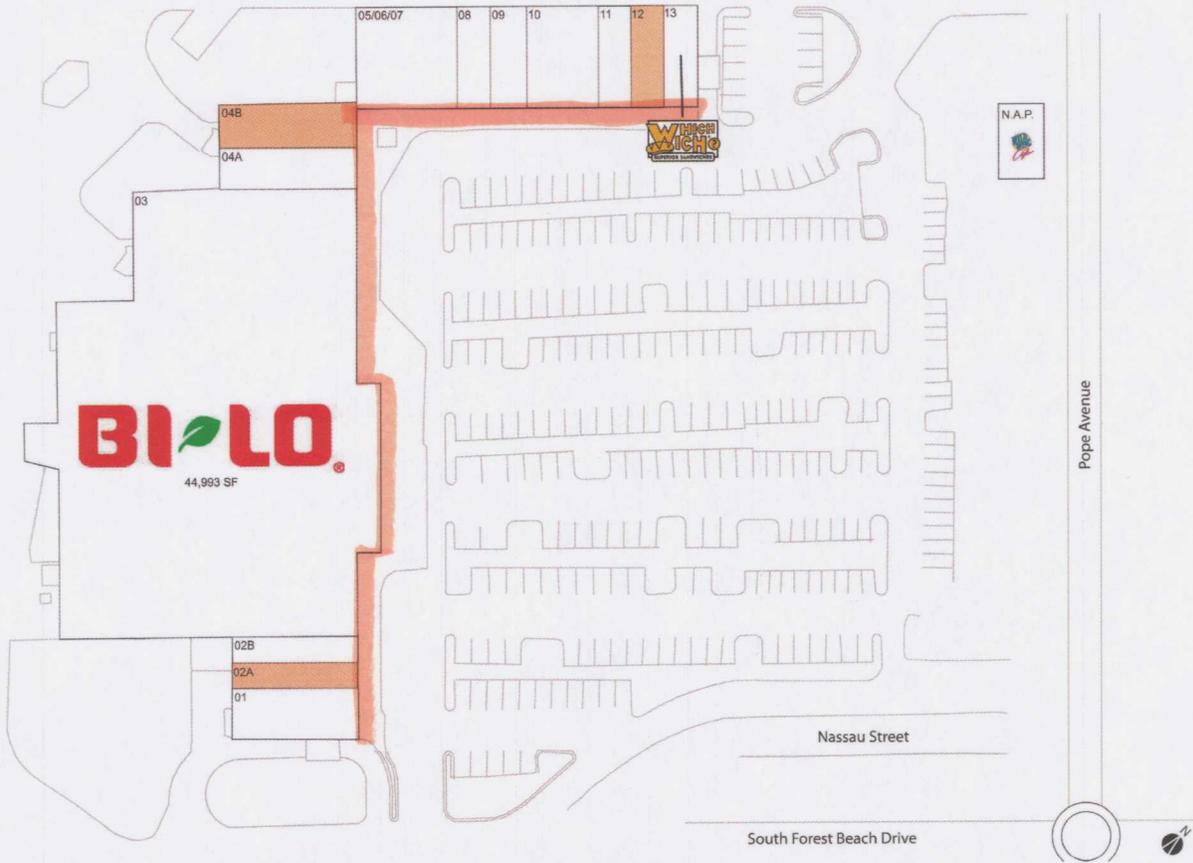
Toasted Almond



Toasted Almond



Circle Center



N.A.P. Wild Wing Cafe		05/06/07 Hinchey's Chicago Bar & Grill	3,600 SF
01 Kenny B's French Quarter Cafe	2,160 SF	08 Amigos Enterprises	1,200 SF
02A AVAILABLE	660 SF	09 A Southern Coney	1,200 SF
02B Forest Beach Bikes	1,500 SF	10 Tropical Outfitters	2,400 SF
03 Bi-Lo	44,993 SF	11 Golden Nails & Spa	1,200 SF
04A Island Liquors	2,000 SF	12 AVAILABLE	1,200 SF
04B AVAILABLE	2,000 SF	13 Which Wich	1,200 SF

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Circle Center (repaint) – ALTERATION/ADDITION

DRB#: DRB-001111-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Applicant proposes to repaint metal roof and metal accents as well as sign bands at existing shopping center. Proposed colors are consistent with the Design Guide.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 6.27.16
 Accepted by: Sarah W.
 DRB #: 001226-2016
 Meeting Date: _____

Applicant/Agent Name: Steve Ackerman Company: Atlantic States Management
 Mailing Address: P.O. Drawer 5 City: Hilton Head State: SC Zip: 29938
 Telephone: 843-384-1253 Fax: 843-837-2521 E-mail: SECKERMAN@AtlanticStatesManagement.com
 Project Name: Bridge Shoppes Project Address: 24 Palmetto Bay Road
 Parcel Number [PIN]: R 552 015 000 0368 0000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

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Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

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Final Approval – Proposed Development

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A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

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SIGNATURE

6-27-16

DATE



June 27, 2016

Bridge Shoppes
24 Palmetto Bay Rd.
Hilton Head Is., SC

Mansard replacement at 24 Palmetto Bay Rd.

1. When the mansard was build the contractor did not put adequate blocking under the mansard. Over time the mansard has penetrated the roof and has caused excessive leaks into the businesses.
2. I propose to demo the existing mansard and install adequate blocking to support.
3. I am going to use T1-11 so the new mansard will look the same as the existing mansard. This is also much lighter and will not be as much of a burden on the existing roof.
4. Color to match the existing shingle roof and shingles on the existing mansard.

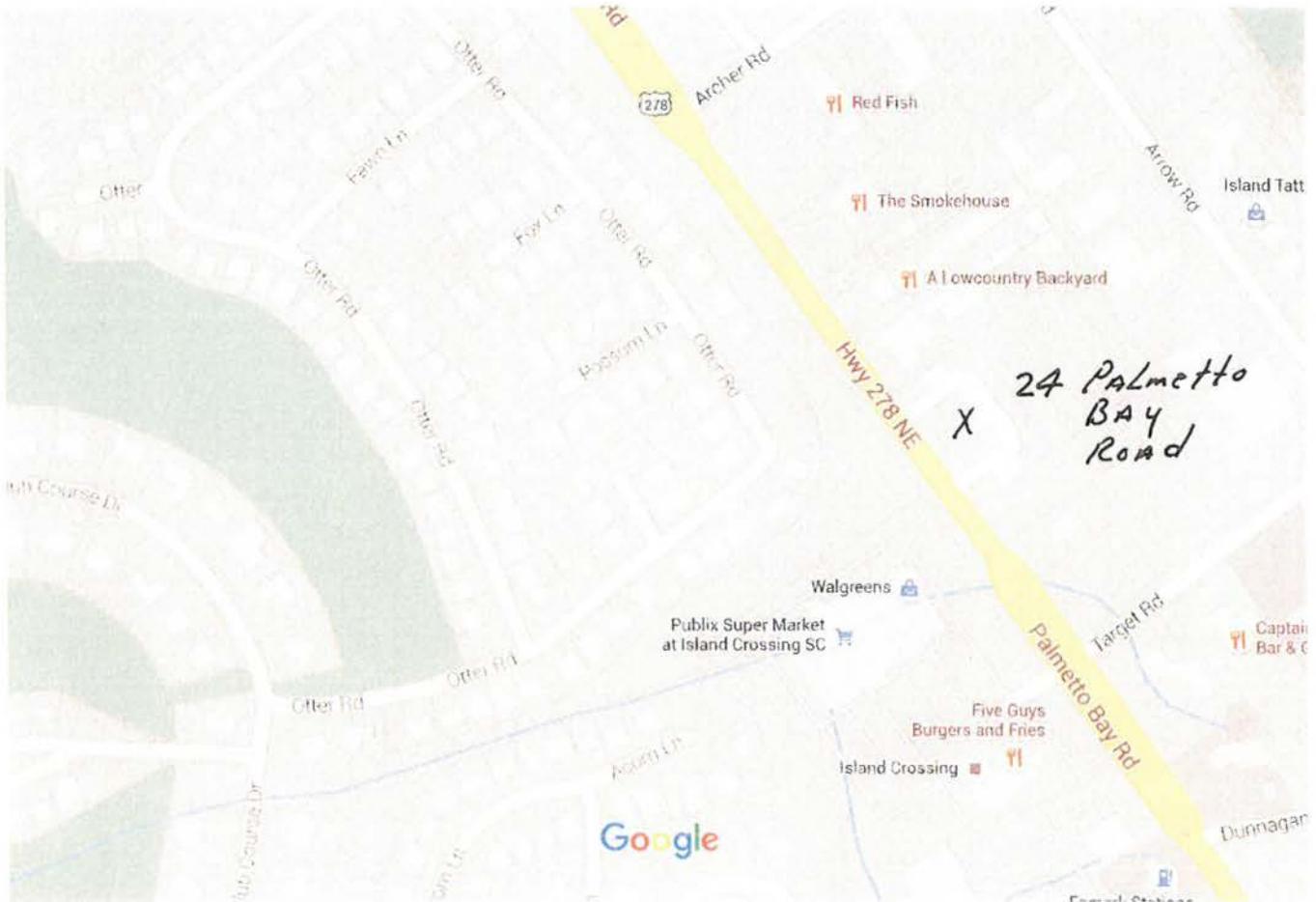
Steve Ackerman
843-384-1253

Google Maps

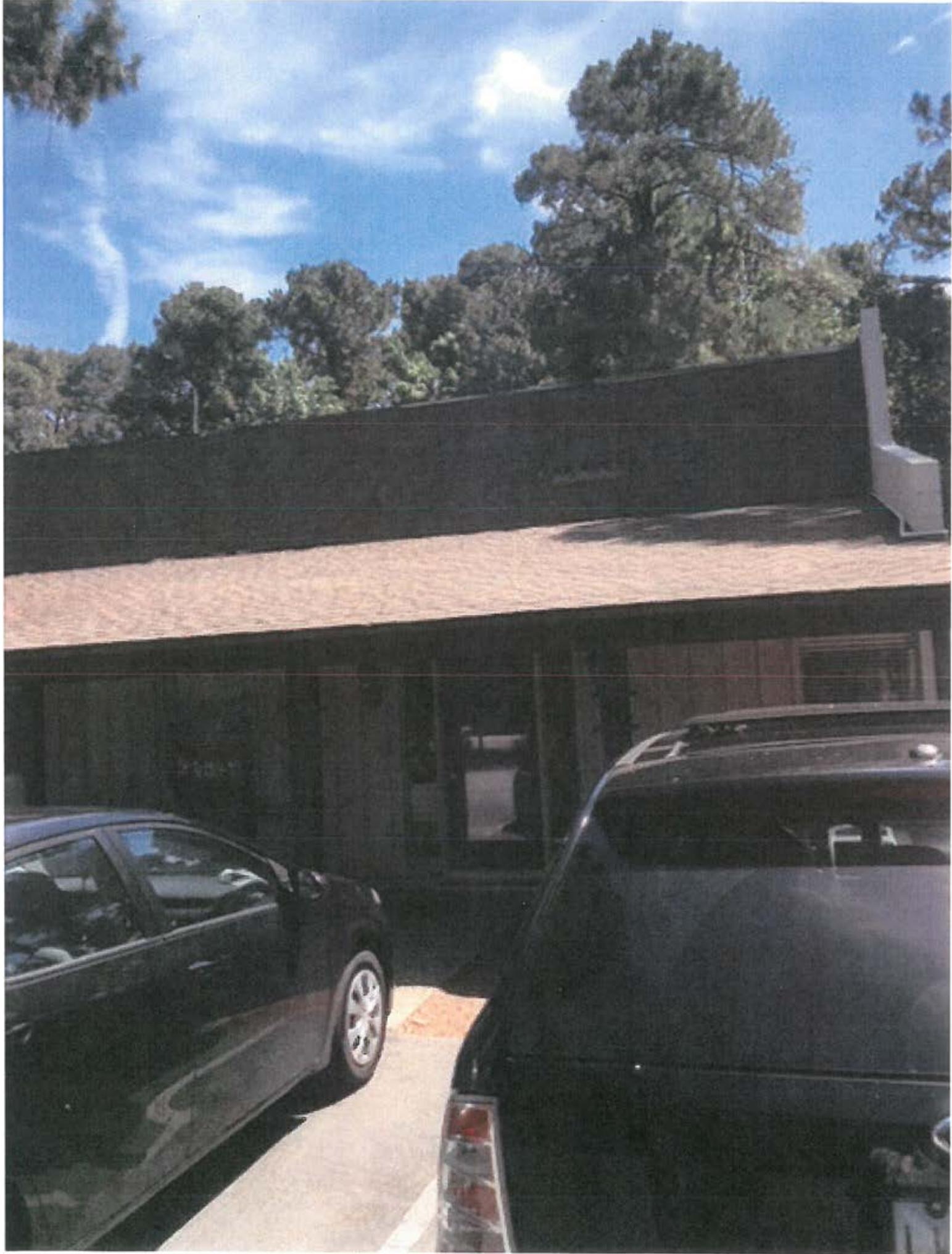
24 Palmetto Bay Road

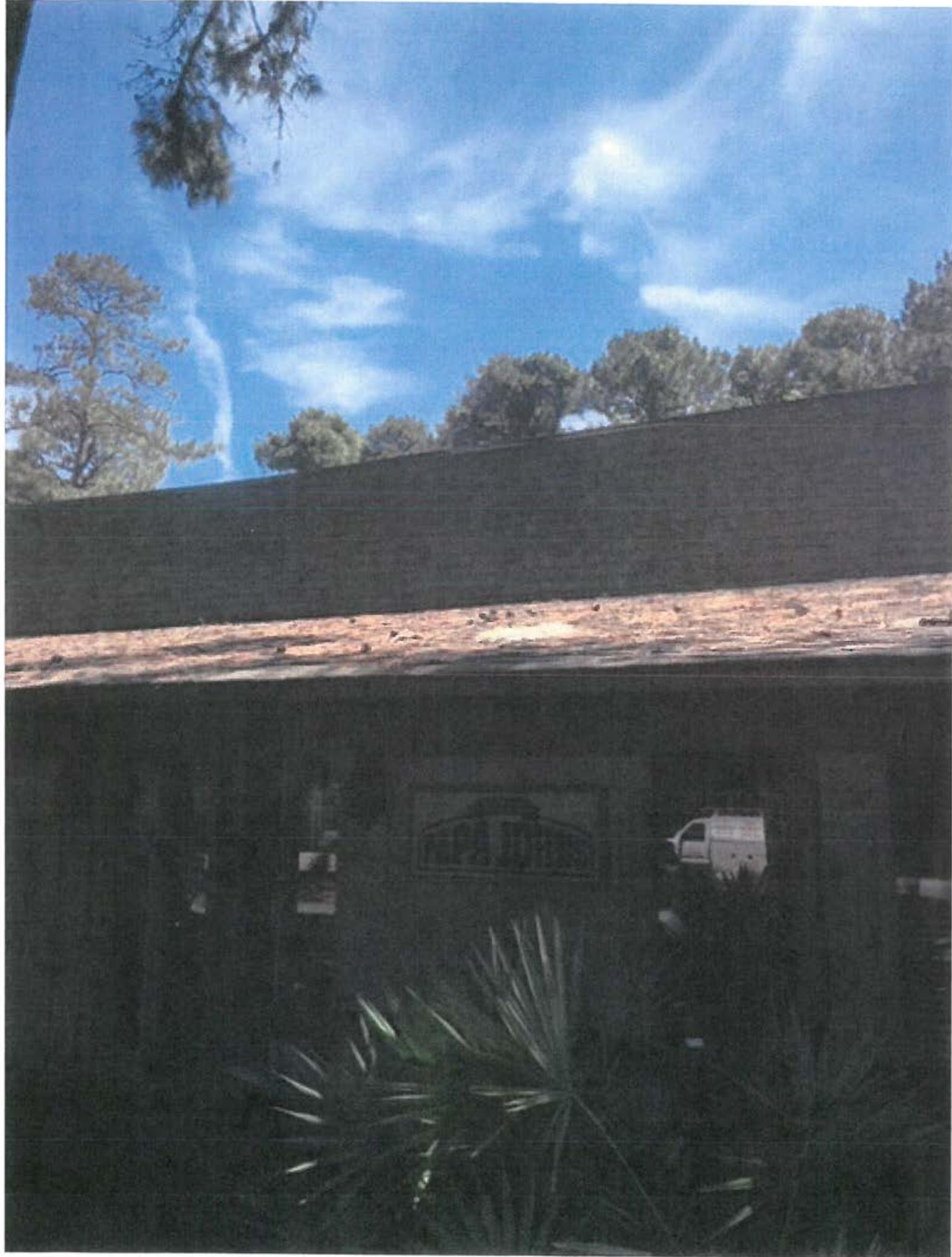


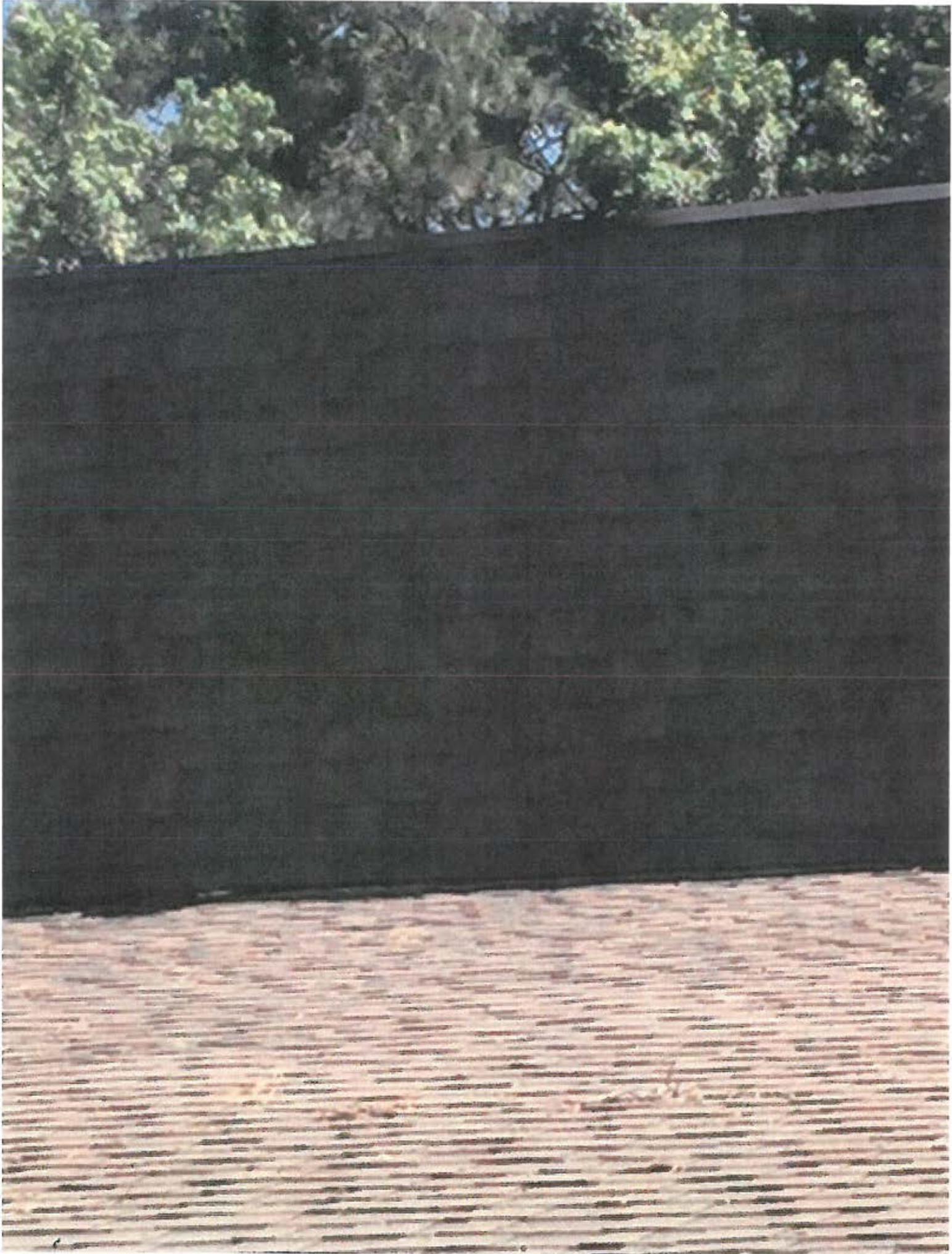
Imagery ©2016 Google, Map data ©2016 Google 50 ft



Map data ©2016 Google 200 ft



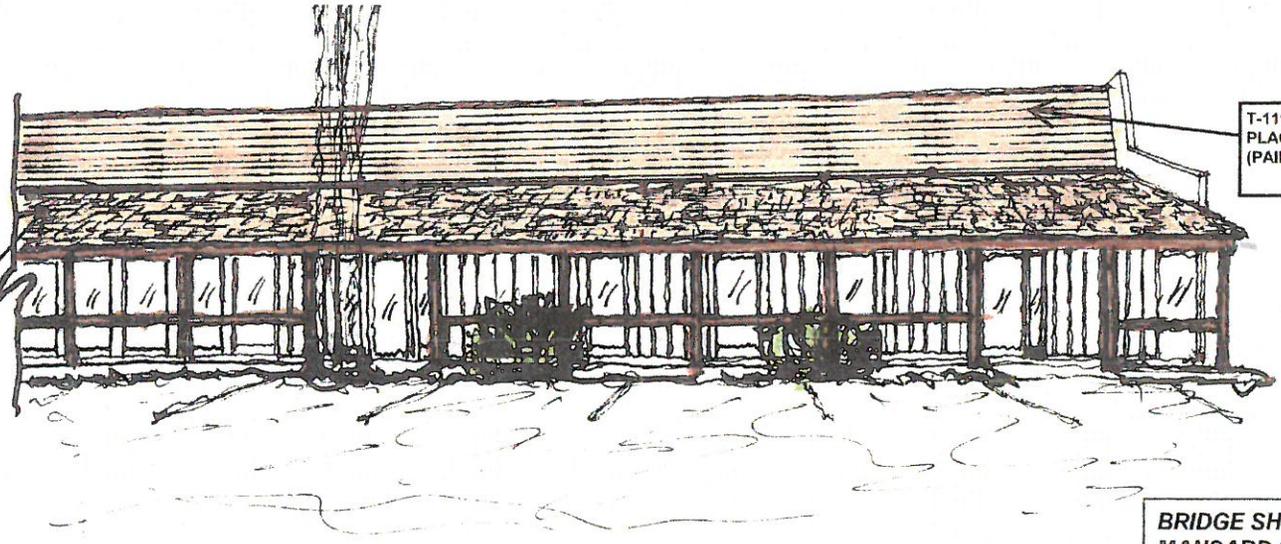




NOTE:
COLOR OF NEW (T-111
SHEATHING TO MATCH BODY
COLOR OF NEW SHINGLES

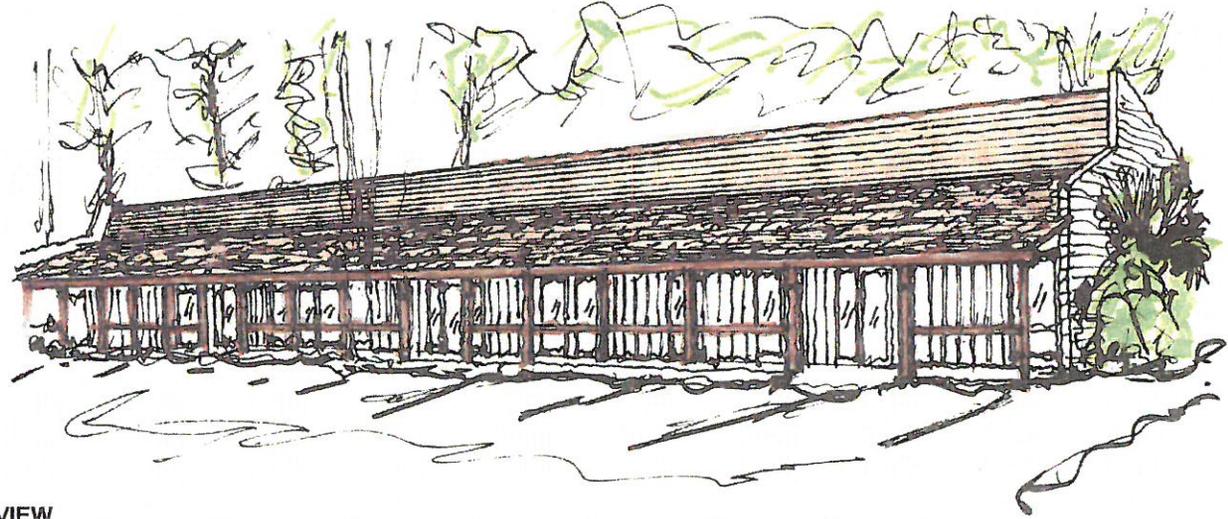
NEW ASPHALT SHINGLES
(30-YEAR)
TO MATCH EXISTING
SHINGLES COLOR AS
CLOSE AS POSSIBLE

T-111 SHEATHING
PLACED HORIZONTALLY
(PAINTED) BUTT EDGES

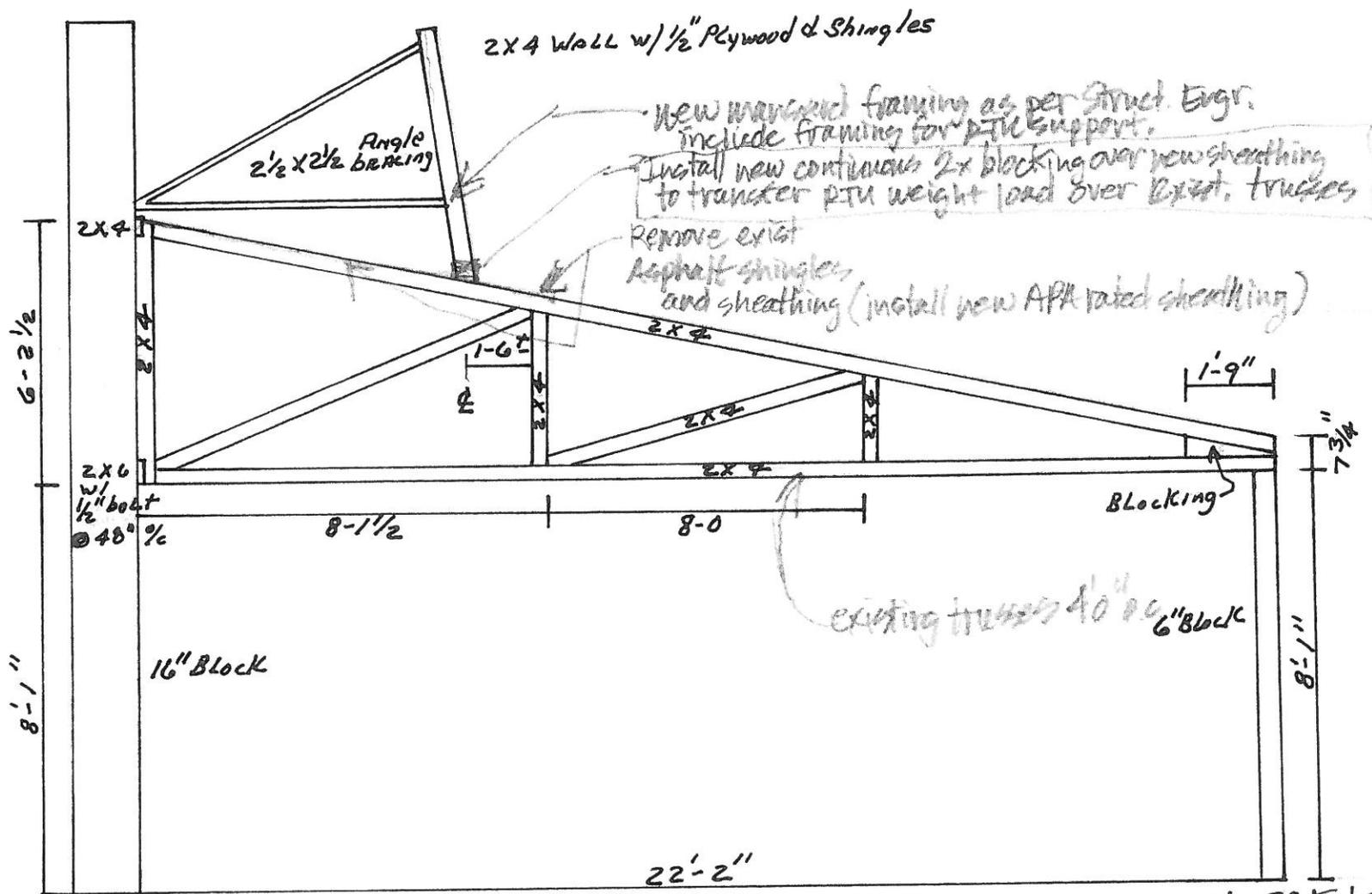


PARTIAL FRONT
ELEVATION

BRIDGE SHOPPES BLDG.
MANSARD REPLACEMENT
HILTON HEAD ISLAND, SC
06/17/16



PERSPECTIVE VIEW



2x4 WALL w/ 1/2" Plywood & Shingles

Angle
2 1/2 x 2 1/2 BRACING

New raftered framing as per Struct. Engr.
include framing for PTU support.

Install new continuous 2x blocking over new sheathing
to transfer PTU weight load over exist. trusses

Remove exist
Asphalt shingles
and sheathing (install new APA rated sheathing)

6'-2 1/2"

8'-1"

2x4

2x4

2x6
w/
1/2" bolt
@ 48" o/c

8'-1 1/2"

8'-0"

1'-9"

7 3/4"

Blocking

existing trusses 4" o/c 6" block

16" Block

8'-1"

22'-2"

CONCEPT FOR ROCK
BRIDGE SHOPPING
@ PALMETTO BAY ROAD
MAY 12, 2016

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Bridge Shoppes – ALTERATION/ADDITION

DRB#: DRB-001206-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Select a different siding or finish, instead of the T1-11, acceptable to DRB.

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rebuilt form matches the existing conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed color will match the existing conditions
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	T1-11 has not been an acceptable siding product
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Mike Allen Company: Broad Creek PSD
 Mailing Address: 3 Marina Side Dr. City: Hilton Head State: SC Zip: 29928
 Telephone: 843-785-7582 Fax: 843-785-8196 E-mail: mallen@bcpsd.com
 Project Name: Elevated Tank Rehab Project Address: 14 Queen's Folly Road
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): Corridor

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

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N/A Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

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- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
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SIGNATURE

6-9-16
DATE



Broad Creek Public Service District

*Bill Dugle, Chairman
Tom Hopkins, Commissioner
John Joseph, Commissioner
James Rowe, Commissioner*

P.O. Box 5878, Hilton Head Island, South Carolina, 29938 • Phone: 843-785-7582 • Fax: 843-785-8196

June 9, 2016

To: Jennifer Ray, ASLA
Urban Designer
Town of Hilton Head Island

Subject: Elevated Storage Tank Repainting

Jennifer,

Currently Broad Creek Public Service District (BCPSD) owns an elevated water storage tank at 14 Queen's Folly Road which we maintain from time to time. Included in this maintenance is the repainting of this tank which occurs every 7 to 10 years. After the last inspection that we had it was noted that our tank is now due for another painting in order to further extend the life of our infrastructure. Our hope is to have this tank painted before January of 2017.

During the process of deciding what paint color we were going to use we approached the Palmetto Dunes Property Owners Association (PDPOA) and asked for the input from their Architectural Review Board (ARB). During that discussion it was mentioned that they would like to see this tank blend into the natural surroundings and still fit in with the existing color scheme for the PDPOA. With that being considered it was agreed upon to paint the tank green (PMS 560 U).

BCPSD has obtained approval from the PDPOA and now would like your approval to move forward with this project with the affor mentioned color that was approved by both BCPSD and PDPOA.

Sincerely,

Mike Allen
General Manager, BCPSD



PALMETTO DUNES

PROPERTY OWNERS ASSOCIATION

A RESIDENTIAL RESORT COMMUNITY

January 15, 2016

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

To Whom It May Concern:

On January 15, 2016 the Palmetto Dunes Architectural Review Board approved the proposal to redesign and paint the PD water tower presented by Mike Allen, Broad Creek PSD General Manager. The color green we are recommending is **PMS 560 U**.

Yours truly,

Kate Nolan
ARB Administrator

CC: Mike Allen, Broad Creel PSD, via email

PMS 124

PMS Warm Gray 1 U

PMS Warm Gray 1 U

PMS 560 U

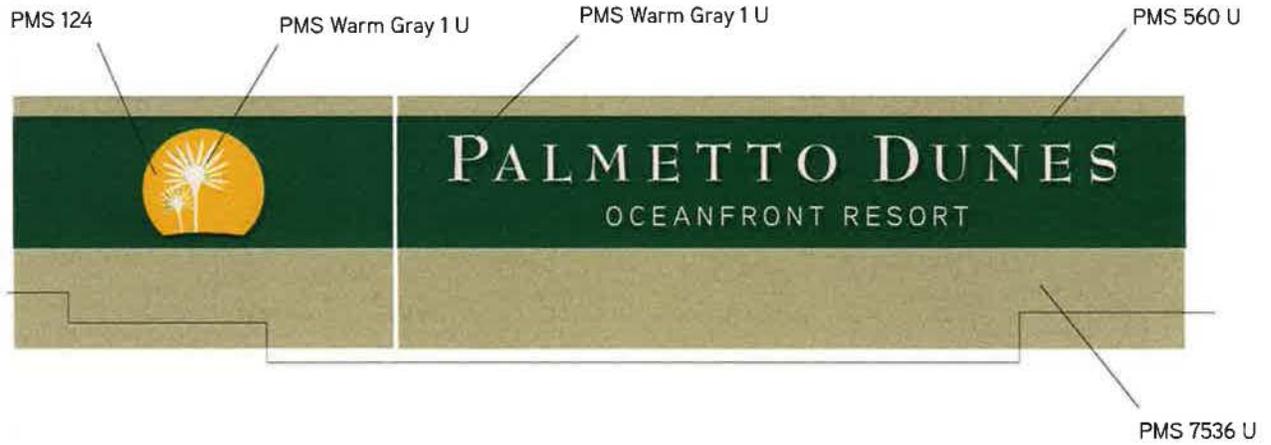


PMS 7536 U



PALMETTO DUNES™
PROPERTY OWNERS ASSOCIATION
RESIDENTIAL RESORT COMMUNITY

PMS 560U : IN USE IN THE COMMUNITY







PALMETTO DUNES™
PROPERTY OWNERS ASSOCIATION
RESIDENTIAL RESORT COMMUNITY

MAINTENANCE SIGN CURRENT STRUCTURE

Broad Creek PSD Water Tower



-  Tank
-  Building
-  Parcel
-  Lagoon



1 inch = 100 feet



Broad Creek PSD Water Tower



KING NEPTUNE DRIVE

KING NEPTUNE DRIVE

WILLIAM HILTON PARKWAY

800

QUEENS FOLLY ROAD

39

37

35

33

4

PALMETTO DUNES CHECK IN

100 200 300 400 500

807

PLANTATION CENTER

6

DUNES MARKETING GROUP

1400 1500 1600 1700

807

PLANTATION CENTER

10

PALMETTO DUNES SECURITY

1

14

SUNCOM ATT 14 QUEENS FOLLY

16

PD POA SECURITY OFFICE

17

PD GUARD HOUSE

8

PALMETTO DUNES MAINTENANCE

8



1 inch = 100 feet



Parcel







DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Elevated Tank Rehab – ALTERATION/ADDITION

DRB#: DRB-001214-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Select a different green (with less blue) that is more nature blending.
2. Consider using a light blue color scheme similar to the Tower Beach Water Tower (to blend with the sky)

Applicant proposes to repaint existing elevated water tank for maintenance purposes. Green color was chosen to blend in with existing trees. The propose green has too much blue to be nature blending. Staff recommends selection of a more olive green.



Town of Hilton Head Island
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 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Don Baker, AIA Company: SQUARE FEET ISLAND ARCHITECTS
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip: 29928
 Telephone: 290 6666 Fax: _____ E-mail: donl@squarefeethhi.com
 Project Name: Spinaker Bldg Canopy Replacement Project Address: 101 Pope Avenue
 Parcel Number [PIN]: R552 018 000 038A 0000
 Zoning District: CR Coligny Resort Overlay District(s): YES

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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 Concept Approval – Proposed Development Alteration/Addition
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SIGNATURE

25 JUNE 2016

DATE

Narrative

CANOPY REPLACEMENT: SPINNAKER BUILDING

There is a pedestrian canopy along the front of the Spinnaker Building. It extends the length of the building parallel to Pope Avenue.

Description of existing canopy: flat, wood fascia, TPO-type roof, on exposed beams supported by 4x4 wood posts connected to footings by small (~1/2" diameter) steel rods.

The canopy system has these problems: It has reached its useful service life which is indicated by many, many leaks; and the steel rod columns are corroding, and its entirety is becoming unsafe.

For these reasons the canopy system needs to be replaced.



Don:

Please accept email as mutual acknowledgement that Coligny Plaza, LP approves the attached drawings.

Regards,

Christopher Young

Phone 843-686-6929
Mobile 843-338-4966
www.RichardsonGrp.com



From: Don Baker, AIA [<mailto:don1@squarefeethhi.com>]
Sent: Friday, May 13, 2016 11:14 AM
To: Chris Young <cyoung@richardsongrp.com>
Subject: Spinnaker

20160513

Chris:

These 2 drawings contain the gutters, downspouts, and etc.

Regards,

Don

Don Baker, AIA, NCARB
Member American Institute of Architects since 1989



PROPOSAL

Coligny Plaza proposes to locate replace the canopy system with system resembling the existing

DETAILS

The new canopy will highlight these improvements: The column box-out, new beams, downspouts and gutters, and all colors will be built and finished to match the new Coligny standard as shown in this picture.

The existing columns seem randomly spaced. The new ones will be methodically spaced to lead patrons to the doors. A lantern is designed at the top of each column to enhance the line of Coligny parallel to Pope Avenue.



The existing improvements such as pavers running the full length and area facing Coligny Circle will remain.

Submitted by

A handwritten signature in black ink, appearing to read "Don Baker".

Don Baker, AIA
Square Feet Island Architects, Inc.
290 6666
don1@squarefeethhi.com



SPINNAKER BUILDING @

COLIGNY PLAZA

COLORS & FINISHES

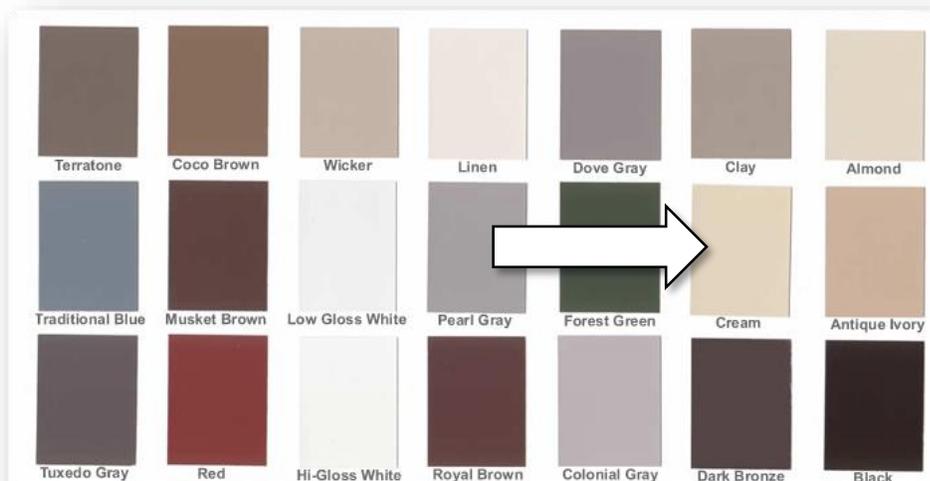


COLOR RANGE:

LOCATION / ITEM	MATERIAL	COLOR
FLAT CANOPY BEAMS, WINDOW TRIM	WOOD	BLUE-GREEN (Match Big Bamboo) Devoe DR1657/N
COLUMNS FASCIA TRIM	WOOD	BEIGE (Match Big Bamboo) Devoe DR1649
GUTTERS & DOWNSPOUTS	ALUMINUM	BEIGE (Match Big Bamboo) EGutter 'Cream'
LOUVER @ ROOF LANTERN	WOOD, VINYL, or ALUM.	CHARLESTON GREEN

DOWNSPOUT & GUTTER FINISH COLORS:

<http://www.egutter.com/RAIN-GUTTER-COMMERCIAL-GUTTERS-GUTTER-SUPPLY-GUTTER-GUARDS/Downpipe-Aluminum>



LIGHTING; END WALL @ CARETTA COFFEE CAFE

Hinkley Lighting 1326KZ Buckeye Bronze 15.5" Height 1 Light Dark Sky Outdoor Collection

Item #: BCI1709720

View the entire [Shelter Collection](#)

\$109.00

Originally \$163.50, You Save 33%

★★★★★ 4.5/5 [Read 11 Reviews](#) | [Write a Review](#)



320

Compare

Shipping: **Free Shipping!** [See Details](#)

[Tech Specs](#)

417 In Stock

Leaves the Warehouse in 1 to 2 business days

1 Qty

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Product Videos



[Hinkley Lighting - Shelter Collection](#)



LIGHTING; ROOF LANTERNS ALONG POPE AVENUE

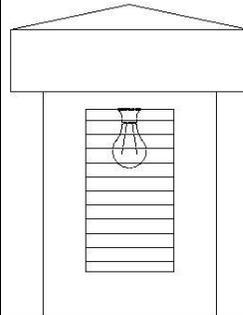
Inspiration: Similar details, nearby in Sea Pines Plantation



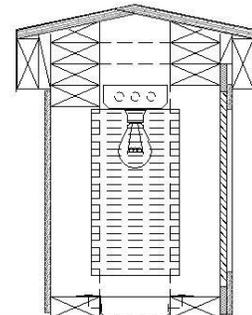
Local inspiration: Sea Pines Shopping Center



Local inspiration: Sea Pines Street Signage



ELEVATION



DETAIL

Proposed Coligny Lantern (above columns)

Submitted by

Don Baker, AIA
Square Feet Island Architects, Inc.
290 6666
don1@squarefeethi.com



From: Forest Beach Owners Association [<mailto:fbassn@aol.com>]

Sent: Monday, May 30, 2016 4:54 PM

To: Chris Young <cyoung@richardsongrp.com>

Cc: jenniferr@hiltonheadislandsc.gov

Subject: Coligny Plaza - Spinnaker Building - ARB Review Approval

Chris - Thank you for your submission for the proposed roof repair/replacement and changes/additions on the above captioned structure at your location. The Association has reviewed your submission dated May 26, 2016, along with the attached drawings and our on site meeting and review of the 26th.

The Association has approved this submission as presented, subject to any applicable Town of Hilton Head Island approvals. Exterior materials and colors are to match the existing structure. This email constitutes your ARB approval.

As with any project, we will require written notice upon completion so that we may perform a final inspection and close our records on this project. If any changes need to be made from the submitted and approved plans once reviewed by the Town, you will need to submit them to us for review before adopting them in to your project. In order to have the compliance deposit returned we must have written notification of the completion of this project indicating who the funds should be made payable to and the address where they are to be sent.

If you have any questions or concerns regarding this project or our review and approval, please contact me.

I have copied Jennifer Ray at the Town for their records. Please keep a copy of this approval on site during construction and forward a copy of this email to the contractor(s) for their records.

John D. Snodgrass

John D. Snodgrass
Executive Director,
Forest Beach Owners' Association, Inc.



Plaza along Pope Avenue



Partial Elevation facing Pope Avenue

CARETTA COFFEE CO.

Elevation facing Coligny Circle



Elevation facing Exxon Station



Elevation facing interior drive of Plaza



ISLAND GIRL

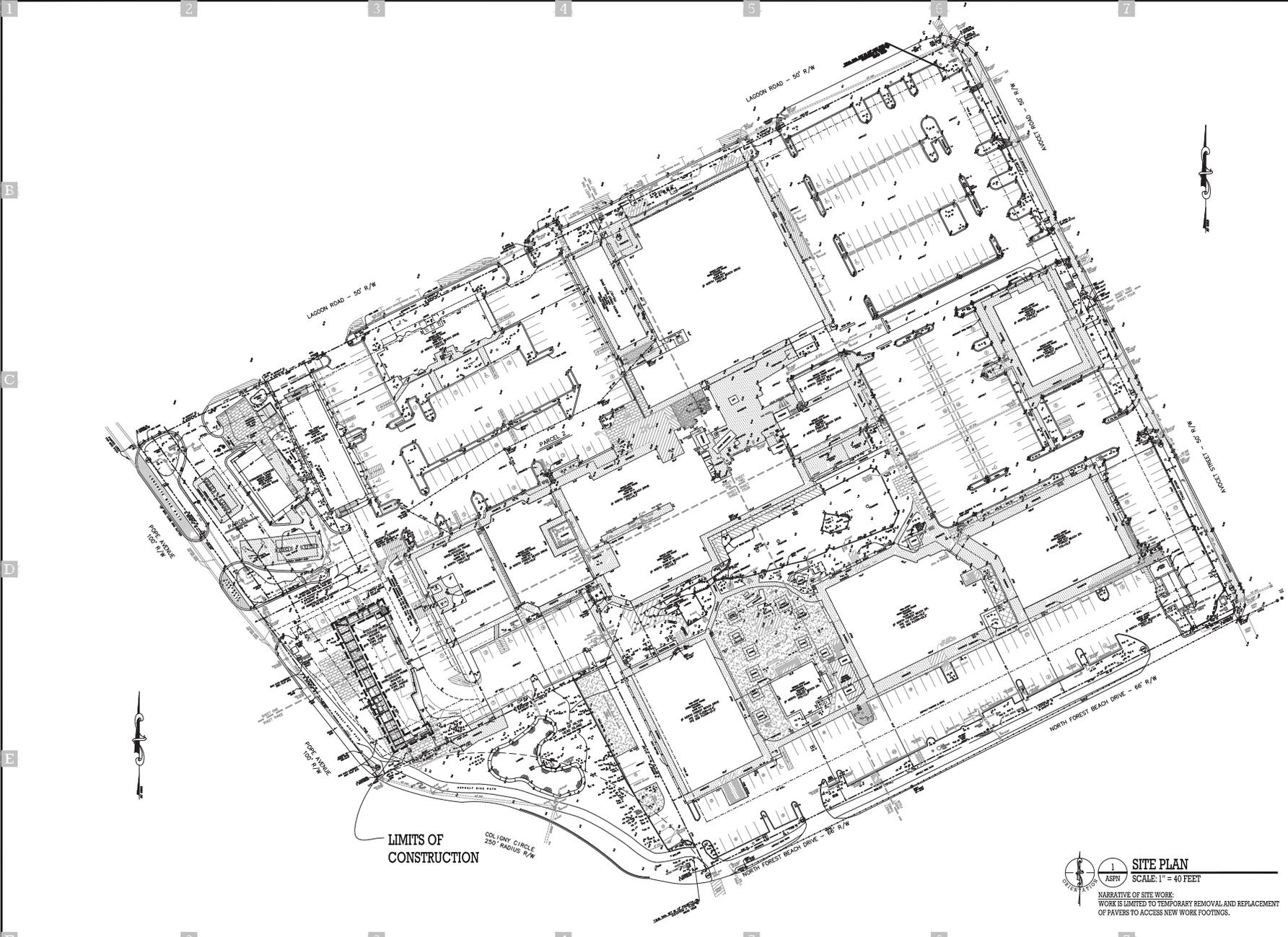
island girl

A Coligny Storefront

SURF SHOP

Coligny Storefront facing North Forest Beach Drive





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 skype: dbjbhhi
 don1@squarefeethi.com
 HHI Bus Lic. # BLN0400739

**PRELIMINARY
 INFORMATION
 Not For
 Construction**

Minor Improvements to:

The Spinneraker Building
 Coligny Plaza
 Hilton Head Island,
 South Carolina 29928
 P/N: RES2 018 000 0009 0000

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Project Number CPSEC
 Issue Date 25 JUNE 2016
 Issuance HHI DBS

Revisions:

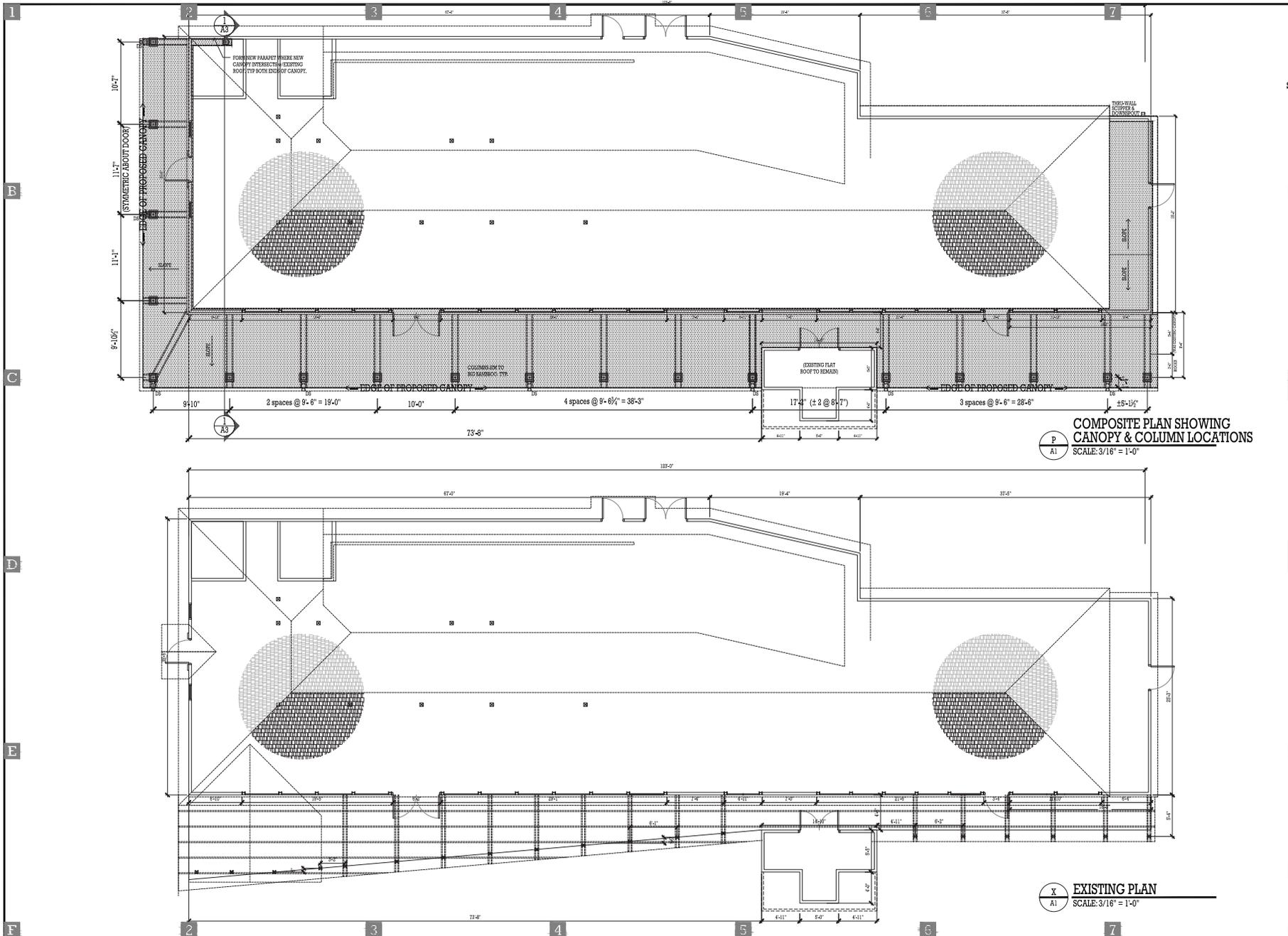
1. 22 MARCH 2016	OWNER UPDATE
2. 25 APRIL 2016	OWNER UPDATE
3. 25 JUNE 2016	HHI DBS
4.	
5.	

Sheet Title:
 SITE PLAN

1 SITE PLAN
 ASPN SCALE: 1" = 40 FEET

NARRATIVE OF SITE WORK:
 WORK IS LIMITED TO TEMPORARY REMOVAL AND REPLACEMENT OF PAVERS TO ACCESS NEW WORK FOOTINGS.





COMPOSITE PLAN SHOWING CANOPY & COLUMN LOCATIONS
 SCALE: 3/16" = 1'-0"

EXISTING PLAN
 SCALE: 3/16" = 1'-0"



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PRELIMINARY INFORMATION
Not For Construction

The Spinnaker Building
 Coligny Plaza
 Hilton Head Island,
 South Carolina 29928
 P/N: RES2 018 000 0009 0000

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Project Number CPSEC
 Issue Date 25 JUNE 2016
 Issuance HHI DBS

Revisions:
 1. 22 MARCH 2016 OWNER UPDATE
 2. 25 APRIL 2016 OWNER UPDATE
 3. 25 JUNE 2016 HHI DBS
 4.
 5.

Sheet Title:
 FLOOR PLANS





DETAIL @ BIG BAMBOO



EXTERIOR ELEVATION ALONG POPE AVE

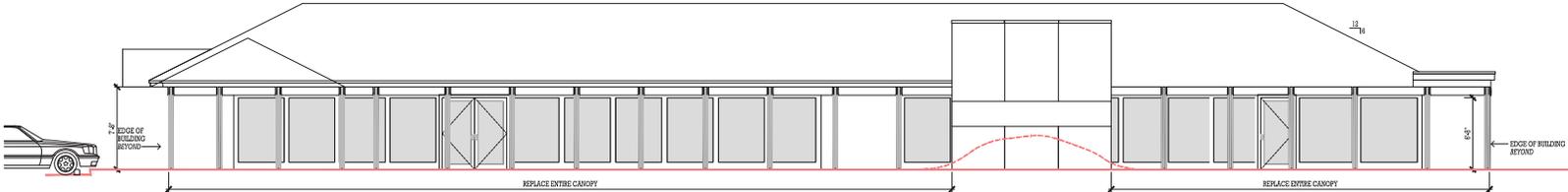


EXISTING DETAIL @ WINDOW HEAD/CANOPY

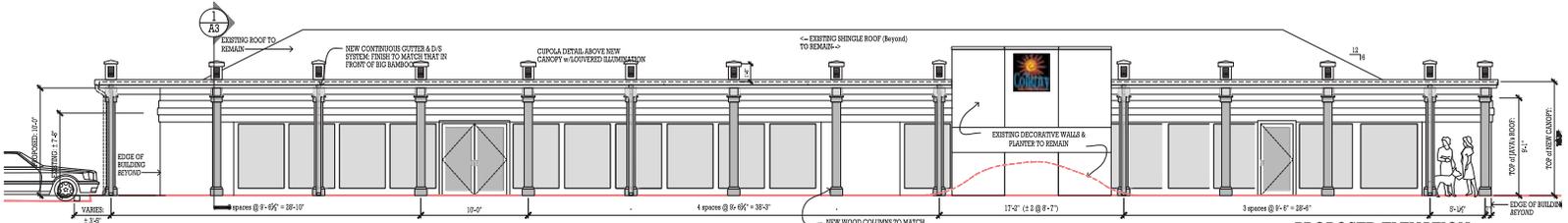
SQUARE FEET
 Island Architects
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PRELIMINARY INFORMATION
Not For Construction

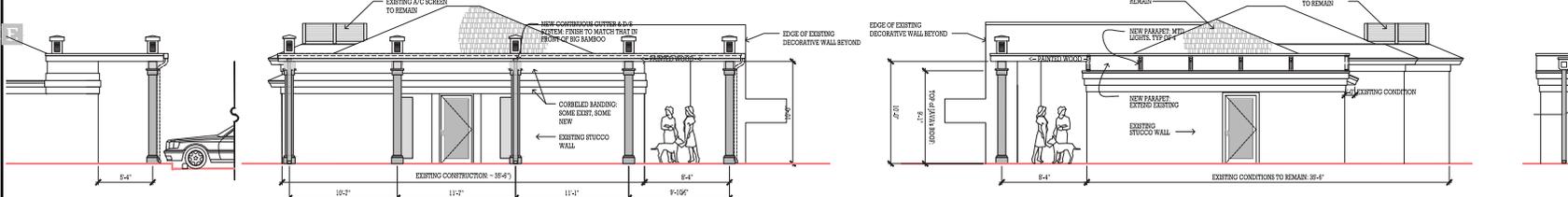
Minor Improvements to:
The Spinnaker Building
 Colligny Plaza
 Hilton Head Island,
 South Carolina 29928
 P/N: R592.018.000.0009.0000



EXISTING ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED ELEVATION FACES POPE AVENUE
 SCALE: 3/16" = 1'-0"



PROPOSED ELEVATION FACES EXXON STATION
 SCALE: 3/16" = 1'-0"

PROPOSED ELEVATION FACES No FOREST BEACH
 SCALE: 3/16" = 1'-0"

PARTIAL REAR ELEVATION
 SCALE: 3/16" = 1'-0"

PARTIAL REAR ELEVATION
 SCALE: 3/16" = 1'-0"

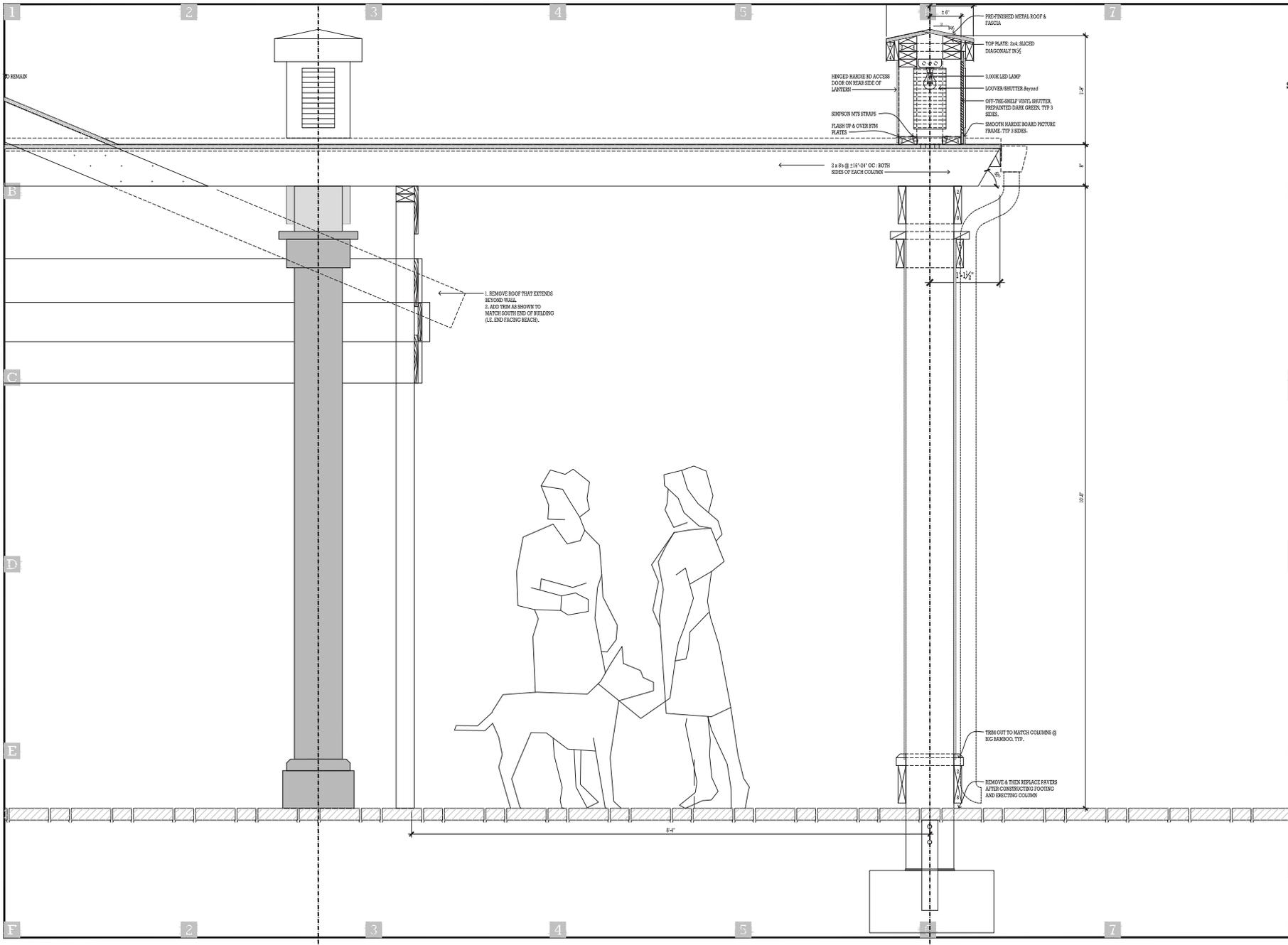
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Project Number: CP58C
 Issue Date: 25 JUNE 2016
 Issuance: HHI DBS

Revisions:
 1. 22 MARCH 2016 OWNER UPDATE
 2. 25 APRIL 2016 OWNER UPDATE
 3. 25 JUNE 2016 HHI DBS
 4.
 5.

Sheet Title:
 EXTERIOR ELEVATIONS

SHEET
A2



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B

**PRELIMINARY
 INFORMATION
 Not For
 Construction**



The Spinnaker Building
 Colligny Plaza
 Hilton Head Island,
 South Carolina 29928
 P/N: RES2 018 000 0009 0000

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Project Number CPSEC
 Issue Date 25 JUNE 2016
 Issuance HHI DBS

E

Revisions:
 1. 22 MARCH 2016 OWNER UPDATE
 2. 25 APRIL 2016 OWNER UPDATE
 3. 25 JUNE 2016 HHI DBS
 4.
 5.

Sheet Title:
 SECTION DETAIL

SHEET
A3

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Spinnaker Bldg Canopy Replacement –
ALTERATION/ADDITION

DRB#: DRB-001227-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The proposed covered walkway height should be more in keeping with the height of other covered walkways on single story buildings in Coligny.
2. Avoid truncating the bottom of the existing roof with the new covered walkway structure.
3. Delete the lantern detail from the tops of the covered walkway columns.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed canopy height is not in keeping with the existing canopies on single story buildings in Coligny and the proposed column lanterns are foreign to Coligny.
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The existing roof form is truncated
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The existing intimate human scale expressed throughout Coligny is altered by the height of the proposed canopy
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The column lantern details are foreign to coligny
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The column lantern placement on every column is not limited
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Details and proportions are foreign to Coligny and do not coordinate with the primary structure

To Jim CER



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: 6/27/10
Accepted by: Shane P.
DRB #: 1213-2010
Meeting Date: _____

Applicant/Agent Name: FRANK LYNCH Company: THE GREEN THUMB
Mailing Address: 35 DILLON RD City: HILTON HEAD State: SC Zip: 29926
Telephone: 843-715-2908 Fax: 843-715-2909 E-mail: FRANK@GREENTHUMB.HHI.COM
Project Name: THE GREEN THUMB Project Address: 35 DILLON RD
Parcel Number [PIN]: R510008000222A0000
Zoning District: IL Overlay District(s): AIRPORT
COD

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.
Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:
Final Approval – Proposed Development
 _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
 _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
 _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
 _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
 _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
 _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:
Alterations/Additions
 _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
 _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 _____ Photographs of existing structure.

Additional Submittal Requirements:
Signs
 _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

 For freestanding signs:
 _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 _____ Proposed landscaping plan.

 For wall signs:
 _____ Photograph or drawing of the building depicting the proposed location of the sign.
 _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

DRB 1213-2016

PROJECT NARRATIVE

Date: 06.24.2016

Project: The Green Thumb
35 Dillon Road
Hilton Head Island, SC 29926

The Project consists of an existing retail and landscape installation business located at 35 Dillon Road. The property is zoned IL and directly abuts the airport property. Property to the left is currently vacant and is most likely undevelopable due to the lack of depth of the parcel.

Due to continued growth within the business, the client desires to add a portable building for additional office space on the property. The proposed building would be pre-fabricated with vertical wood siding and is approximately 16x40' long. The paint color and shingles would match the existing structure on the property.

The Owners also desires to add a 3 rail fence along the frontage directly abutting Dillon Road. The fence will consist of 1x4 wood rails with 6x6 intermediate posts and 16x16 stone veneer columns located approximately every 48' along the fence line.

Lastly, the Owners would also like to extend the existing 7' high black chain-link fencing forward towards Dillon Road for additional plant and material storage. The chain-link fence would be offset from the adjacent vacant property by 20' and will run parallel to the vacant property's rear line and then behind the existing detention pond on the subject property. The fence would then meet up with the proposed 3' high 3-rail fence behind the detention pond where it would run straight back towards the rear property until it meets up with the existing chain-link fence. See plan for clarification.

If you have any questions, please contact The Green Thumb at 843-715-2908



Frontage area for wood rail fence section



Frontage area for 7' chain link fence section



Wood rail fence to be installed behind existing Formosa azaleas along frontage



Street side of area to receive wood rail fence



New building to be located where existing fence and oak trees are shown. Fence and trees to



Front façade of existing building



Left side façade of existing building



Roof outline of existing building



Site Entrance

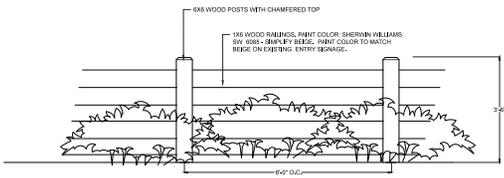


Site Plan Submittal
The Green Thumb
 35 Dillon Road
 Hilton Head Island, South Carolina

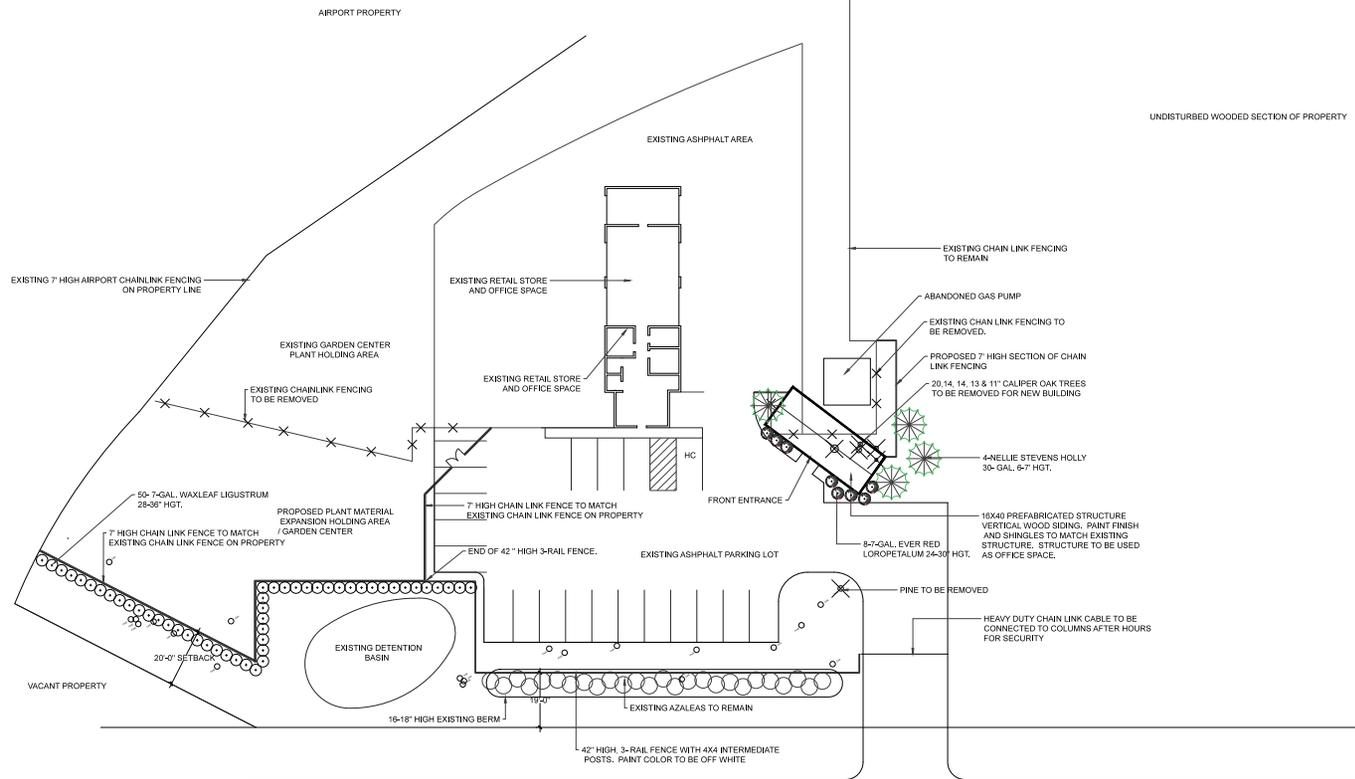
Revisions:

Project #:	GTH-16024
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Scale:	1"=20'-0"
Date:	06.22.2016

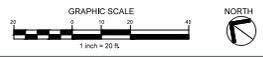
Sheet #:
LA-1.00



3-RAIL WOOD FENCE



DILLON ROAD 60' ROW



ANY UNAUTHORIZED REPRODUCTION OR USE OF THIS PLAN WITHOUT PRIOR CONSENT FROM THE GREEN THUMB WILL BE SUBJECT TO PROSECUTION UNDER THE LAW

CODE CRITERIA:

THE CONTRACTOR/MANUFACTURER SHALL COMPLY WITH THE FOLLOWING CODES AND ALL APPLICABLE AMENDMENTS/SUPPLEMENTS:

- INTERNATIONAL BUILDING CODE, 2012

- STRUCTURES ARE DESIGNED FOR LOCATIONS THAT HAVE A 3 SECOND WIND GUST OF 150 MPH (MAX). STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.

- STRUCTURES ARE DESIGNED FOR LOCATIONS WITH A SURFACE ROUGHNESS CATEGORY B AND A TOPOGRAPHICAL FACTOR OF 1.0. STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.

- STRUCTURES SHOULD HAVE METAL ROOF OR OPTIONAL 25 YEAR RATED FIBERGLASS/ASPHALT SHINGLES WITH 1 LAYER OF 15 LB ROOFING FELT.

- ALL STUDS, RAFTERS, COLLAR TIES, AND TRUSS CHORDS ARE SPF #2, U.N.O.

- ALL EXTERIOR DIMENSIONAL WOOD IS TO BE PRESSURE TREATED.

- ALL ROOF DECKING IS TO BE 7/16" O.S.B.

- ALL SIDING IS TO BE 1/2 T-111 OR DURATEMP SIDING W/ 50 YR LTD MFG WARRANTY.

- ALL FLOOR JOISTS ARE TO BE P.T. SYP #2.

- ALL EXTERIOR NAILS ARE TO BE HOT DIPPED GALVANIZED.

- ALL INTERIOR FLOOR DECKING IS TO BE 5/8" PLYWOOD. EXTERIOR TO BE 5/4" P.T.

- ALL SKIDS ARE TO BE 4x6 P.T. SYP, RATED FOR GROUND CONTACT.

- THE STRUCTURE HAS BEEN DESIGNED TO RESIST LOADS AS A COMPLETED STRUCTURE ONLY. APPLICATION OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR AND INCLUDED IN THE DESIGN OF SHORING, BRACING, FORM WORK, AND OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE.

- NO FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION WILL BE PROVIDED BY THE ENGINEER.

DESIGN CRITERIA:

- INTERNATIONAL BUILDING CODE 2012

- DEAD LOADS:
FLOOR: 10 PSF
LOFT: 5 PSF
ROOF: 10 PSF

- LIVE LOADS:
FLOOR: 40 PSF
LOFT: 10 PSF
ROOF: 20 PSF (REDUCIBLE)

- SNOW LOADS:
GROUND SNOW LOAD, P_g=25psf
FLAT ROOF SNOW LOAD, P_f=20psf
SNOW EXPOSURE FACTOR, C_e=1.2
SNOW LOAD IMPORTANCE FACTOR, I=0.8
THERMAL FACTOR, C_t=1.2

- WIND LOADS:
BASIC WIND SPEED, V=150 MPH
RISK CATEGORY = I
WIND EXPOSURE C
WIND LOAD IMPORTANCE FACTOR = 1.0
C&C ROOF-ZONE 1=23.3, -37.0 psf
C&C ROOF-ZONE 2=23.3, -64.5 psf
C&C ROOF-ZONE 3=23.3, -95.4 psf
C&C WALL-ZONE 4=40.5, -43.9 psf
C&C WALL-ZONE 5=40.5, -54.2 psf

- SEISMIC LOADS:
THIS STRUCTURE IS EXEMPT FROM SEISMIC DESIGN PER EXEMPTION 3 OF ASCE 7-10, SECTION 11.1.2

ITEMS BY OTHERS:

THE FOLLOWING ITEMS ARE NOT PROVIDED BY RAILROAD CONSULTANTS, PLLC AND ARE TO BE DESIGNED BY OTHERS IF APPLICABLE AND ARE TO BE SUPPLIED AND INSTALLED BY OTHERS. THESE ITEMS MAY BE SUBJECT TO LOCAL JURISDICTION APPROVAL. RAILROAD CONSULTANTS, PLLC IS NOT RESPONSIBLE THESE ITEMS.

- RAMPS, STAIRS, AND GENERAL ACCESS
- ELECTRICAL SERVICE HOOKUP

BUILDING SIZES:

16' NOMINAL WIDTH*
*NOTE:(15'-0 ACTUAL)
16'x16'
16'x24'
16'x40'

INDEX OF SHEETS:

- S-0-SP - COVER SHEET
- S-1-SP - FOUNDATION PLAN
- S-2-SP - UPLIFT ANCHORAGE
- S-3-SP - FRAMING PLAN
- S-4-SP - BUILDING SECTIONS
- S-5-SP - ELEVATIONS
- S-6-SP - NAILING PATTERN
- S-7-SP - DETAILS
- S-8-SP - DETAILS

PROJECT NOTE:

THIS BUILDING IS NOT DESIGNED FOR HUMAN HABITATION AND DOES NOT HAVE WATER, SEWER, ELECTRICAL OR HVAC SYSTEMS. THIS BUILDING IS DESIGNED AS A MINOR STORAGE OCCUPANCY ONLY.

GENERAL NOTES:

- STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2012.
- ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- STRUCTURES ARE CLASSIFIED AS "MINOR STORAGE FACILITIES" (OCCUPANCY CATEGORY I) AND SHOULD NOT BE USED FOR HUMAN HABITATION.



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



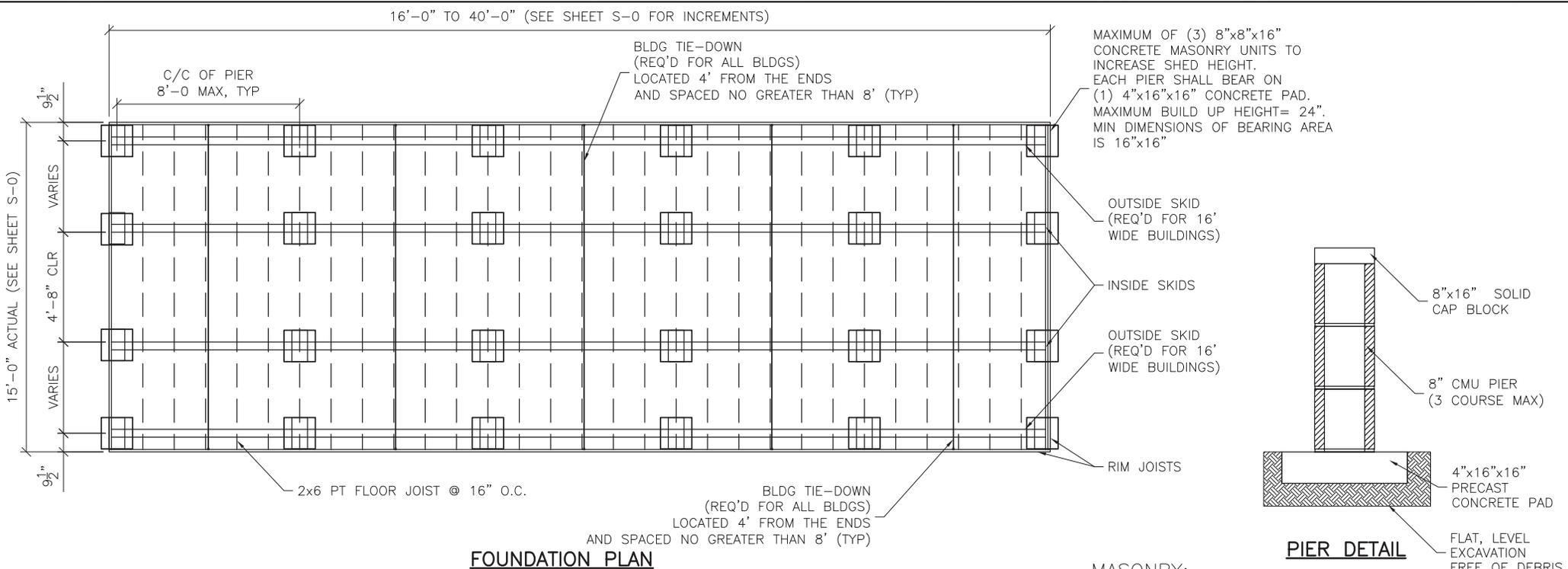
RAILROAD CONSULTANTS, PLLC
718B SOUTH CHURCH STREET
MURFREESBORO, TN 37130
PHONE: (615) 663-1142



GRACELAND PORTABLE BUILDINGS, LLC
6807 HWY 62 WEST
BARDWELL, KY 42023
PHONE: (866) 574-7446

PROJECT NO:	14017
DATE:	05-10-15
DRAWN BY:	JGG
CHECKED BY:	DBG
REVISION:	0

SHEET NUMBER	S-0-SP
SCALE:	



FOUNDATION PLAN

PIER DETAIL

FOUNDATION:

1. ANCHORS ARE SPECIFIED ON SHEET S-2 AND SHALL BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS PER THE BUILDING CODE.
2. ANCHORS AND STRAPS INCLUDING THE INSTALLATION SHALL MEET THE REQUIREMENTS OF APPENDIX E OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
3. THE MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2500 psf HAS BEEN ASSUMED FOR FOOTING DESIGN. CONTRACTOR TO HAVE THIS CAPACITY VERIFIED PRIOR TO CONSTRUCTION.
4. IF A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 psf IS USED, THEN THE PIER SPACING SHALL BE NO GREATER THAN 4'-0".
5. FOOTINGS SHALL BE CARRIED TO AN ELEVATION LOWER THAN THOSE SHOWN ON THE DRAWINGS IF REQUIRED TO REACH SUITABLE SOIL.
6. FOOTINGS SHALL BE PLACED ON SUITABLE SOIL THAT MEETS DESIGN ASSUMPTIONS.
7. FOUNDATION MATERIALS AND LABOR IS PROVIDED BY CUSTOMER.
8. TIE DOWNS SHALL BE PLACED AT EACH OUTER PIER.
9. SHED IS DESIGNED TO ALSO BE PLACED ON FLAT, LEVEL GROUND DIRECTLY ON THE SKIDS.

MASONRY:

CMU	f'm = 1,500 PSI
MORTAR	f'm = 1,900 PSI
GROUT	f'm = 3,500 PSI

CONCRETE:

1. MATERIALS (COMPRESSIVE STRENGTH AT 28 DAYS)
 FOOTINGS 3,000 PSI
 FOOTINGS AND EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



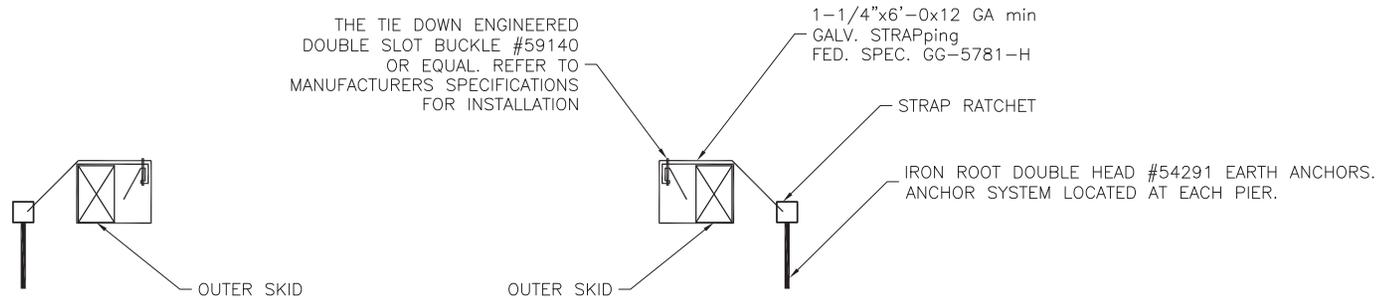
RAILROAD CONSULTANTS, PLLC
 718B SOUTH CHURCH STREET
 MURFREESBORO, TN 37130
 PHONE: (615) 663-1142



GRACELAND PORTABLE BUILDINGS, LLC
 6807 HWY 62 WEST
 BARDWELL, KY 42023
 PHONE: (866) 574-7446

PROJECT NO:	14017
DATE:	05-10-15
DRAWN BY:	JGG
CHECKED BY:	DBG
REVISION:	0

SHEET NUMBER
S-1-SP
 SCALE: 1/4"=1'-0"



ANCHOR TIE DOWN DETAIL



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



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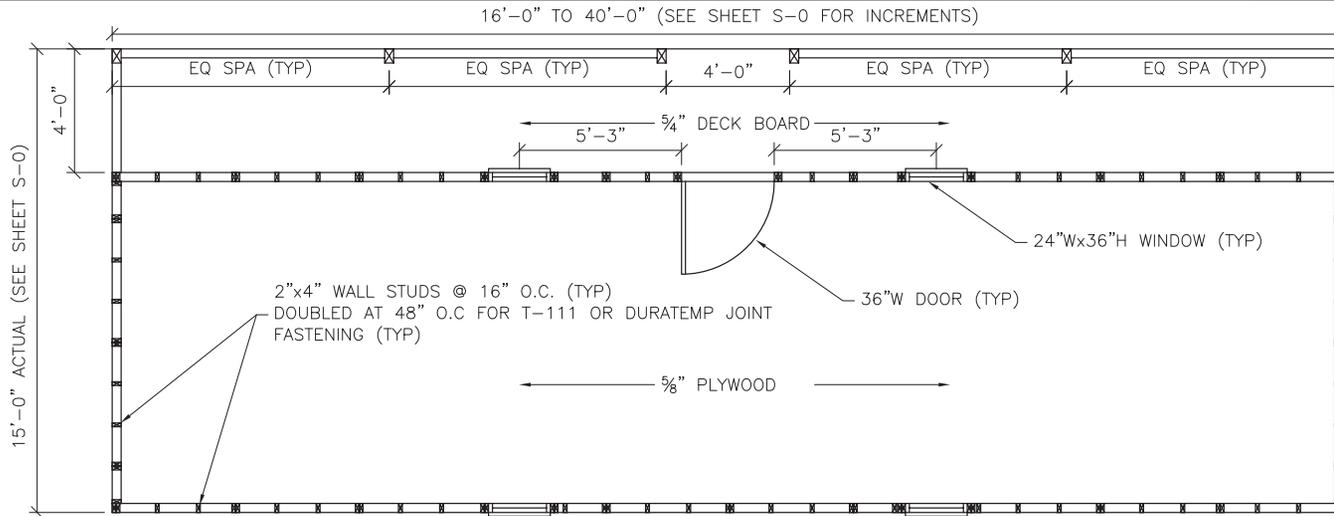
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PROJECT NO:	14017
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REVISION:	0

SHEET NUMBER

S-2-SP

SCALE: 1/4"=1'-0"



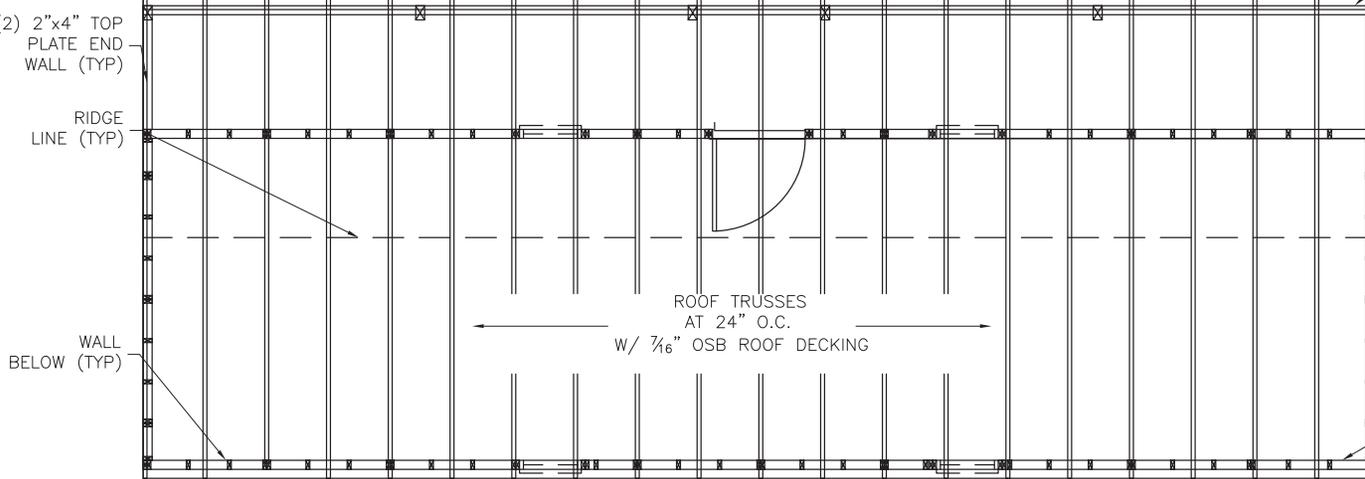
FLOOR PLAN NOTES:
 1) INSTALL 5/8" FLOOR SHEATHING WITH LONG DIMENSION SPANNING JOISTS, STAGGER JOINTS.
 2) FASTEN 5/8" FLOOR SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

OTHER FRAMING NOTES:
 1) 2x4 UPPER TOP PLATE W/ (2) 3"x0.120φ NAILS AT 16" O.C. TO 2x4 LOWER TOP PLATE.

ROOF FRAMING NOTES:
 1) INSTALL 7/16" ROOF SHEATHING WITH LONG DIMENSION SPANNING TRUSSES.
 2) FASTEN 7/16" ROOF SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

(2) 2"x6" HEADER WITH 1/2" OSB ACROSS
 4"x6" PT COLUMNS (TYP)

FLOOR PLAN



COLUMN NOTES:
 1) USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL.
 2) USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS.
 3) GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE.
 4) NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" O.C.
 5) PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE WIDTH OF THE FLOOR JOIST FOR COMPLETE COLUMN BEARING. (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE). NOTE: BEARING ON DOUBLE BAND IS SUFFICIENT.

(2) 2x4 TOP PLATE SIDE WALLS

ROOF FRAMING

SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



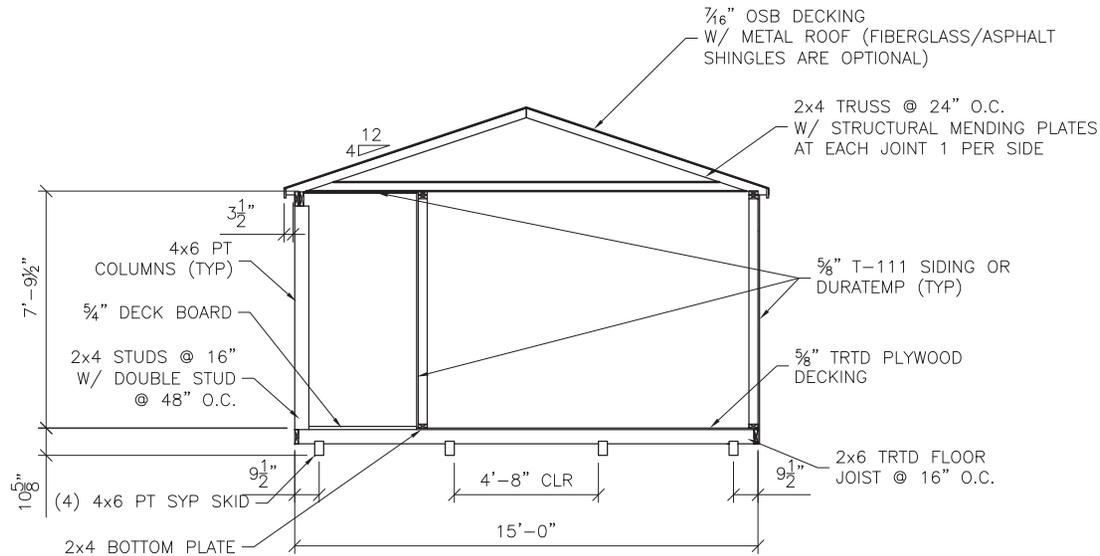
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SHEET NUMBER
S-3-SP
 SCALE: 1/4"=1'-0"



16' WIDE BUILDING SECTION

SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



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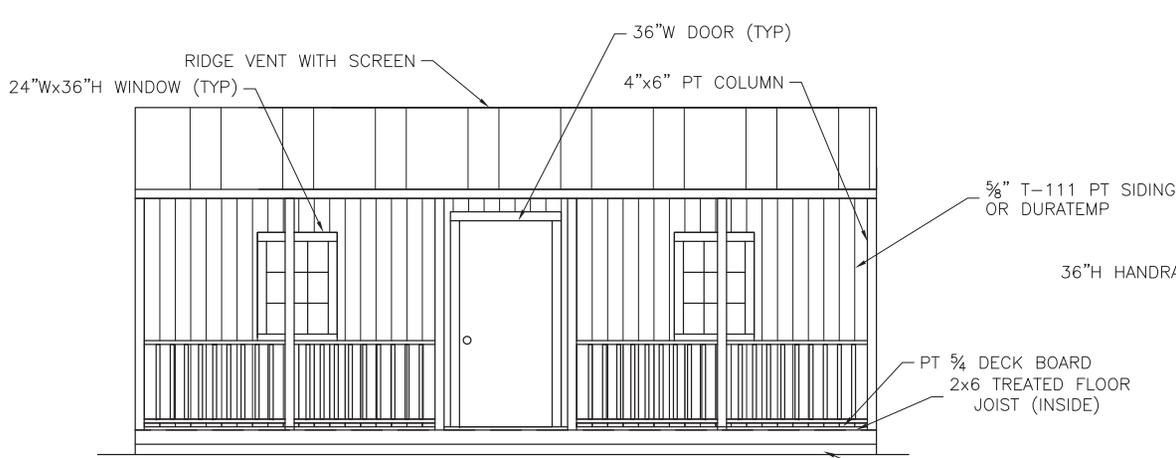
GRACELAND PORTABLE BUILDINGS, LLC
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BARDWELL, KY 42023
PHONE: (866) 574-7446

PROJECT NO:	14017
DATE:	05-10-15
DRAWN BY:	JGG
CHECKED BY:	DBG
REVISION:	0

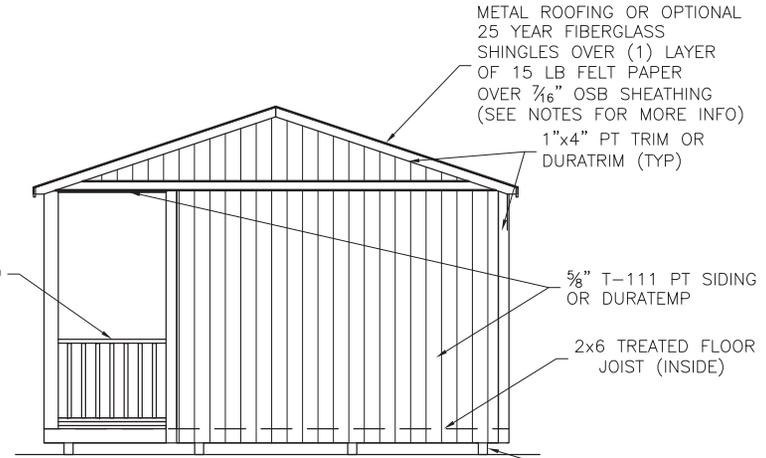
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S-4-SP

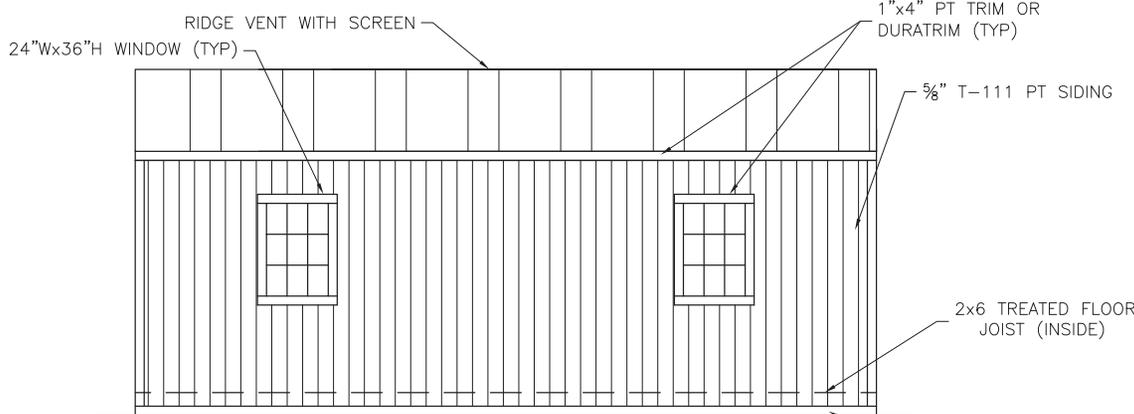
SCALE: 1/4"=1'-0"



SIDE WALL ELEVATION 1



END WALL ELEVATION



SIDE WALL ELEVATION 2

ROOFING AND UNDERLAYMENT NOTES:

- 1) PROVIDE A RIDGE VENT TYPICAL WITH INSECT SCREEN.
- 2) METAL ROOFING SHALL BE 29 GAUGE METAL IN ACCORDANCE WITH ASTM A 924 OR ASTM A 924M OVER OSB SHEATHING.
- 3) PROVIDE 29 GAUGE RIDGE CAP, EAVE TRIM AND RAKE TRIM.
- 4) INSTALL AND FASTEN METAL ROOFING PER MANUFACTURER'S INSTRUCTIONS FOR WIND LOADING.
- 5) OPTIONAL SHINGLES SHALL BE IN ACCORDANCE WITH ASTM D 7158 TYPE H OR ASTM D 3161F TYPICAL.
- 6) INSTALL 1 LAYER OF 15 LB ROOFING FELT, START WITH A 19" WIDE STRIP PARALLEL WITH AND STARTING AT EAVES FASTENED SECURELY TO HOLD IN PLACE. START AT EAVE WITH A 38" WIDE SHEET WITH OVERLAPPING SUCCESSIVE SHEETS BY 19". FASTEN UNDERLAYMENT WITH CORROSION-RESISTANT FASTENERS PER MAUFACTURER'S INSTRUCTIONS AND SPACED A MAXIMUM OF 36" APART.



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



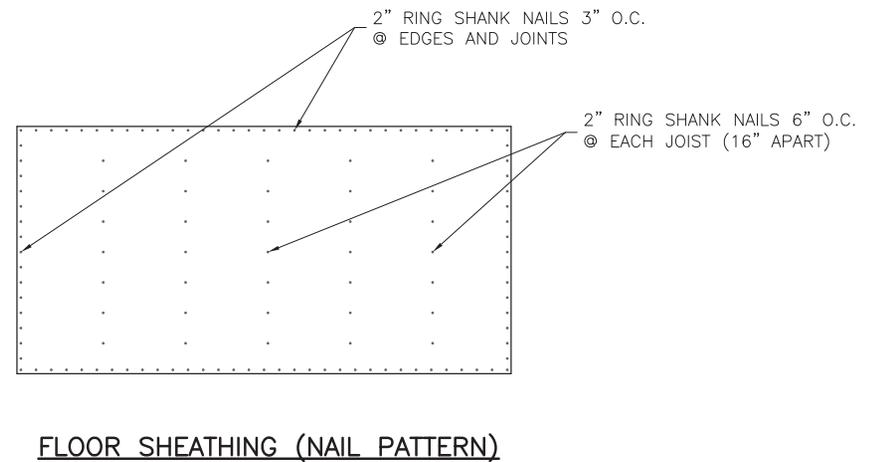
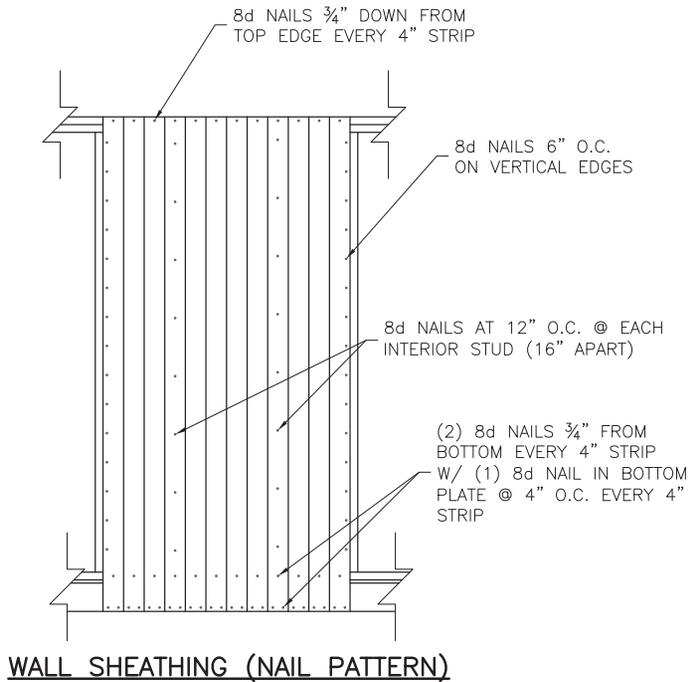
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DRAWN BY:	JGG
CHECKED BY:	DBG
REVISION:	0

SHEET NUMBER
S-5-SP
 SCALE: 1/4"=1'-0"



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



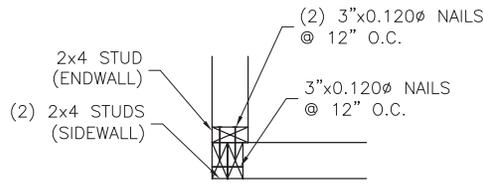
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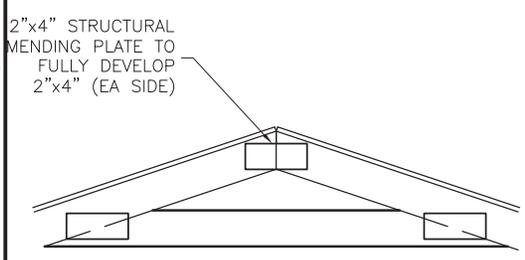
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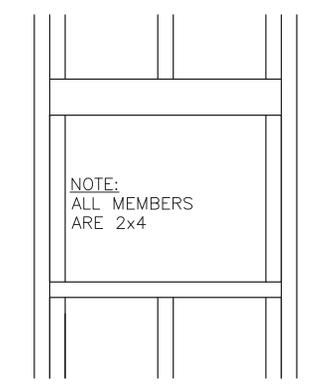
SHEET NUMBER
S-6-SP
SCALE: 1/2"=1'



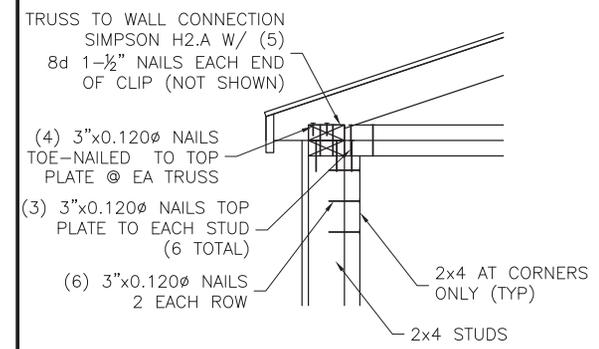
1-CORNER DETAIL



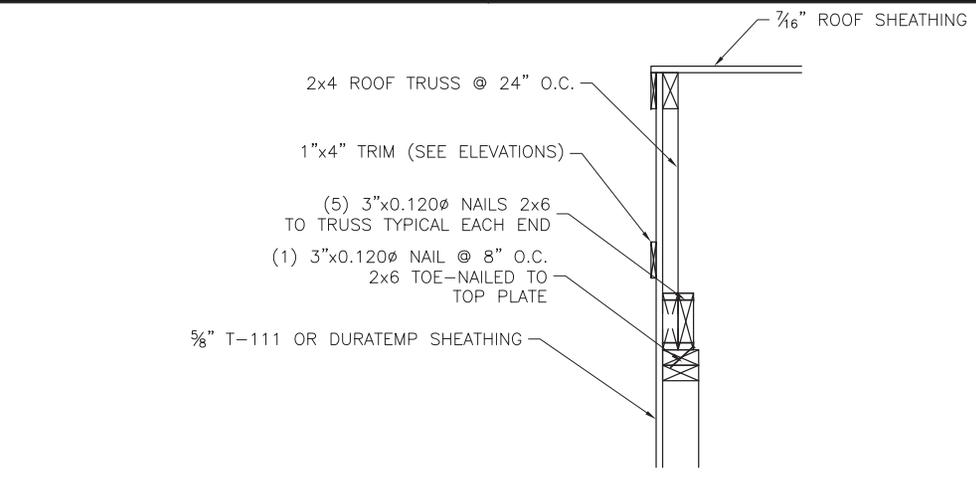
2-TRUSS SPLICE DETAIL



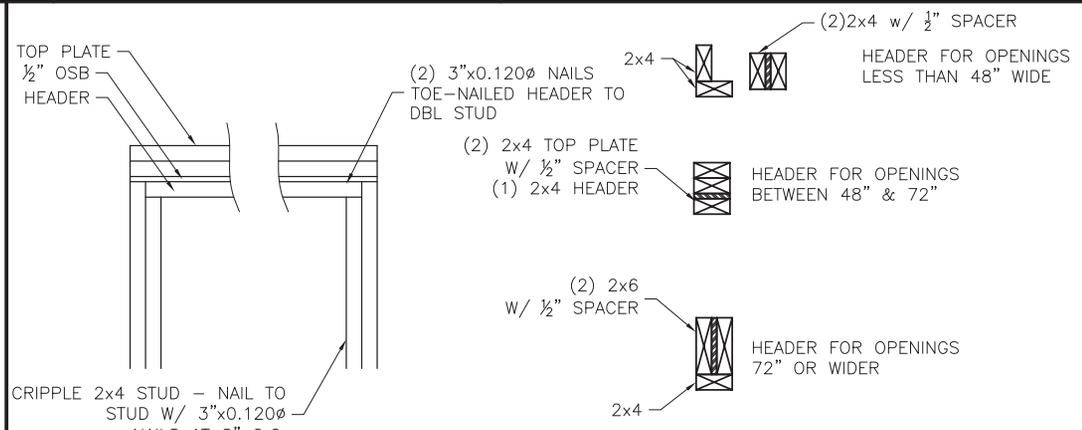
3-TYP WINDOW FRAMING



4-CORNER & WALL DETAIL



5-END WALL DETAIL



6-TYP DOOR FRAMING



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



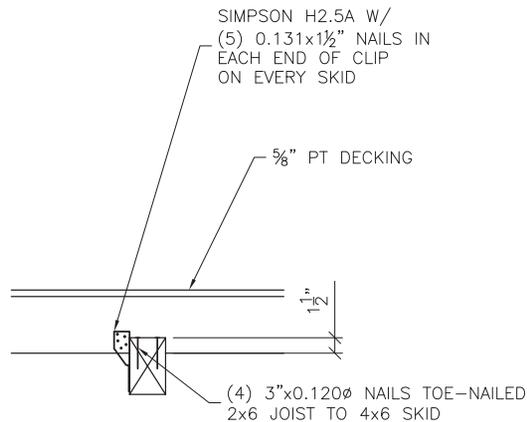
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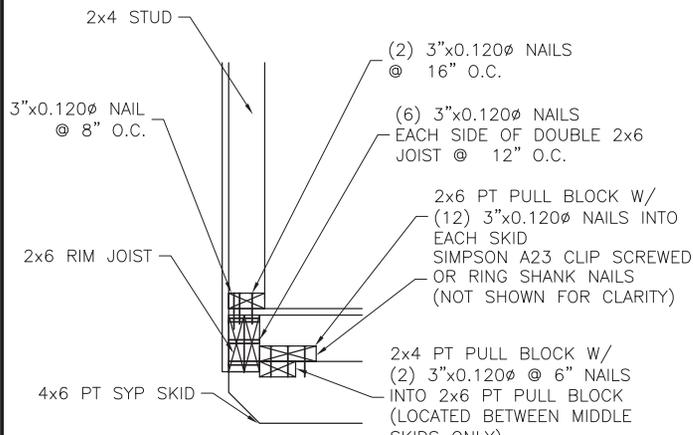
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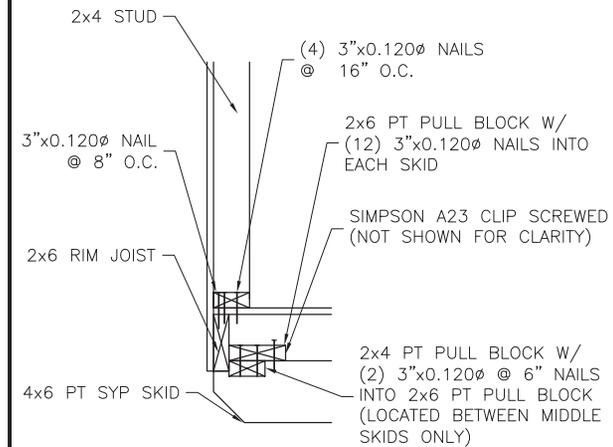
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SCALE:	



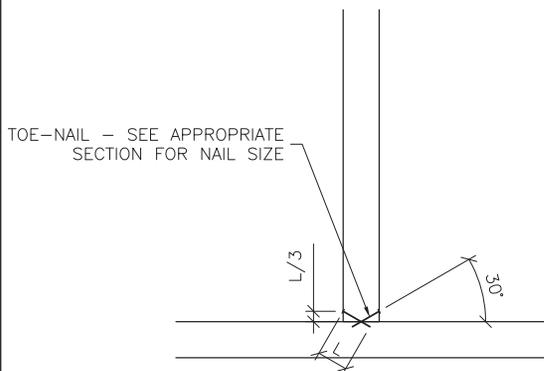
1--INNER & OUTER SKID DETAIL @ EVERY JOIST



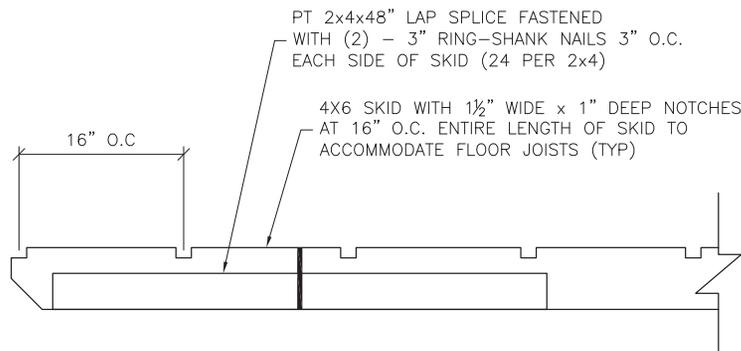
2--ENTRY DOOR ENDWALL JOIST DETAIL



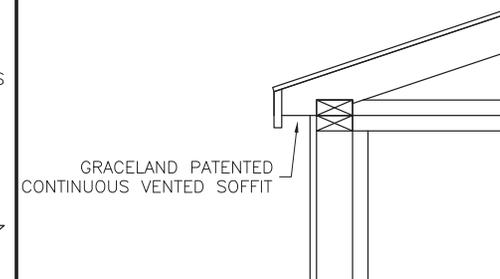
3--REAR ENDWALL JOIST DETAIL



4--TOE-NAIL DETAIL



5--SKID DETAIL



6--SOFFIT VENTS



SIDE PORCH CABIN--SC--V=150MPH--IBC 2012



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SHEET NUMBER	S-8-SP
SCALE:	

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Green Thumb – ALTERATION/ADDITION

DRB#: DRB-001213-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Make the following changes to the building:
 - a. Increase the roof overhang.
 - b. Change the T-111 siding to stucco to relate the proposed building to the existing building.
2. 7' high chain link fence must be setback behind the Adjacent Street Setback.
3. To screen the chain link fence
 - a. Select native species instead of waxleaf ligustrum. Consider using 2 or more different species to break up visual impact of the hedge.
 - b. Stagger the planting (avoiding a single straight line) for a more natural looking screen.
4. Specify a fence color for the 3 rail fence that matches the existing building color
5. Consider a natural weathered split rail fence consistent with island character instead of the 3 rail fence.
6. Provide additional screening of the proposed building from Dillon Road.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Screen the new building from Dillon Road and use native species to screen chain link fence.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use split rail fence instead of three rail fence.

Avoids distinctive vernacular styles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additional screening of the proposed building is required.
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Instead of removing oak trees for the new building place the building behind those existing trees
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	New building needs additional tree and shrub screening.
Shrubs are selected to complement the natural setting,	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Select native species to screen chain link fence.

provide visual interest and screen less desirable elements of the project				
A variety of species is selected for texture and color	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There is very little variety of species in the planting plan.
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See above
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

<i>NATURAL RESOURCE PROTECTION</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: James Atkins Company: Court Atkins Architects
 Mailing Address: P.O. Box 3978 City: Bluffton State: SC Zip: 29910
 Telephone: (843) 815.2557 Fax: (843) 815.2547 E-mail: james.atkins@courtatkins.com
 Project Name: Gallery of Shoppes Project Address: Parcel G, #14 Greenwood Dr.
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 0 0 2 8 1 0 0 0 0
 Zoning District: Commercial Center Overlay District(s): COD - SPC Zoning District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant. This will be provided before Final Submittal to Town

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

6/28/16

DATE

DESIGN REVIEW BOARD CORRIDOR
PROJECT NARRATIVE
CONCEPTUAL SUBMITTAL

Project Information:

Project Name: Gallery of Shoppes

Location: Parcel G #14 Greenwood Drive
R552 015 000 0281 0000

Pre-Application Number: PAPP-1946-2015

Project Contacts:

Owner:

Mr. Craig Bright

Architect:

Court Atkins Architects, Inc.
P.O. Box 3978
Bluffton, SC 29910
843-815-2557

Civil Engineer:

T.B.D.

Landscape:

Witmer-Jones-Keefer
P.O. Box 3036
Bluffton, SC 29910

Project Description:

Currently a 1.5 story, +/- 16,300 square foot structure is located on the site. The existing building is "tired" and needs to be demolished. Additionally, the existing building footprint falls well outside the building setback requirements on the site. The goal of this project is to demolish the existing building and build a new 3-story 18,000 sqft. structure that is functional and aesthetically pleasing, and complies with the requirements of the LMO to the greatest extent possible given the existing site conditions. The objective is to maintain the same density of the existing building but build vertically to achieve this while bringing the building footprint within the setback lines and increasing the buffer on Greenwood Drive. The architecture of the building will be in keeping with the Low Country vernacular and include sloped metal hipped roofs, bermuda

shutters, decorative brackets, with a mixture of stucco and hardi materials. Building colors will include neutral tones in keeping with island character.

The direct access point from Greenwood Drive is undersized for current two-way traffic design requirements and the parking layout is improperly marked. The parking on the site will be reconfigured to comply with current code requirements and to function better with the proposed building, adjacent parcels and access points. Research is currently being conducted to locate parking easements and agreements between Publix and Gallery of Shoppes. Site connectivity to Island Crossing shopping center (Publix) and future public pathways along Greenwood Drive will be increased through pedestrian paths and sidewalks contained in the conceptual site plan.

The current site includes a Santee Cooper powerline easement, which will be retained, and the proposed landscape and parking designed around it. No specimen trees exist on-property though there is a healthy canopy of live oak, laurel oak and loblolly pine along Greenwood Drive that will be retained to the greatest extent to buffer building and outdoor spaces. The other sides of the site contain canopy trees that will be retained to help buffer the building and make for a more mature landscape. The landscape plan will focus on native and adapted plants to minimize irrigation needs while providing buffers from vehicular zones and accenting pedestrian circulation and plaza spaces.

Other Review Board Approvals:

Sea Pines Commercial ARB: A submittal to Sea Pines Commercial ARB will be made following the Town's Conceptual Review Meeting.



GALLERY OF SHOPPES | CONTEXT PHOTOS



EXISTING STRUCTURE | GALLERY OF SHOPPES:
SOUTH (PARKING LOT) ELEVATION



EXISTING STRUCTURE | GALLERY OF SHOPPES:
EAST (GREENWOOD DR.) ELEVATION



EXISTING STRUCTURE | GALLERY OF SHOPPES:
NORTH ELEVATION



EXISTING STRUCTURE | GALLERY OF SHOPPES:
WEST (REAR) ELEVATION



CONTEXT | STAPLES: NORTH ELEVATION



CONTEXT | STAPLES: SOUTH (REAR) ELEVATION



EAST (FACING SUBJECT SITE) ELEVATION



EAST (GREENWOOD DR.) ELEVATION



SOUTH (PARKING LOT) ELEVATION



DRIVE THRU ATM



CONTEXT | JUMP & PHILS: WEST (GREENWOOD DR.) ELEVATION



CONTEXT | FIVE GUYS: NORTH (HWY. 278) ELEVATION



SOUTHWEST (PARKING LOT) CORNER



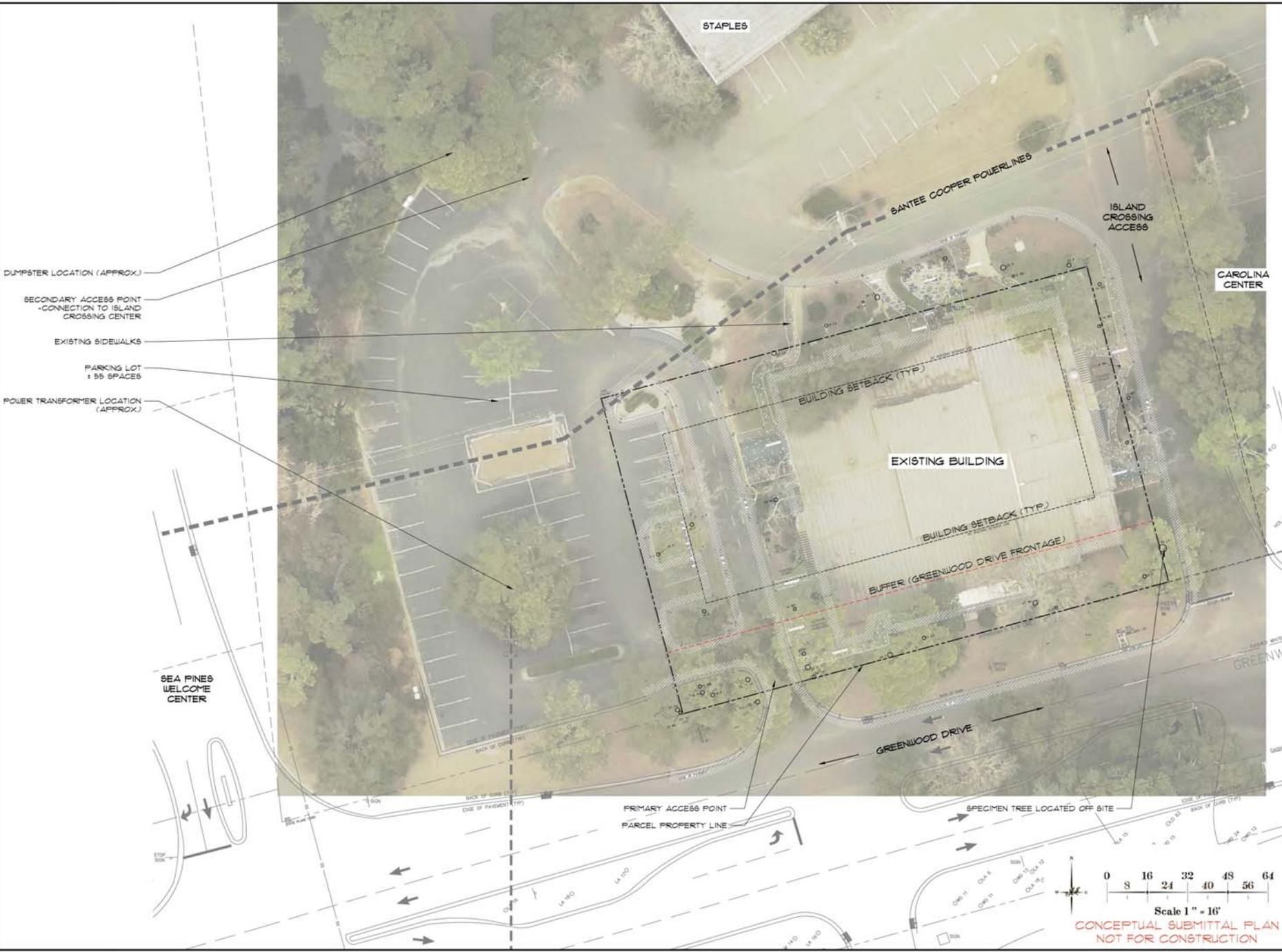
NORTH (HWY. 278) ELEVATION

CONTEXT | SEA FIRE GRILL



WEST (278 ENTRY DRIVE) ELEVATION

SITE DEVELOPMENT PLANS
 FOR
GALLERY OF SHOPS
 HILTON HEAD ISLAND, SOUTH CAROLINA



- DUMPSTER LOCATION (APPROX.)
- SECONDARY ACCESS POINT
- CONNECTION TO ISLAND CROSSING CENTER
- EXISTING SIDEWALKS
- PARKING LOT
1 59 SPACES
- POWER TRANSFORMER LOCATION
(APPROX.)

DRAWING TITLE
EXISTING SITE CONDITIONS

CONCEPTUAL DRB

DATE: 06-28-16

PROJECT NO.: 1650.01

DRAWN BY: JC/CB

CHECKED BY: BU

REVISIONS:

Scale 1" = 16'

CONCEPTUAL SUBMITTAL PLAN
 NOT FOR CONSTRUCTION

TREE SUMMARY

TOTAL SITE AREA: 25.9 ACRES
 ZONING DISTRICT: SEA PINES CIRCLE DISTRICT
 MAX. IMPERVIOUS AREA 60% (0.354 ACRES FOR SITE)

SITE STANDARD ACI
 PREVIOUS SITE AREA (MINIMUM) X 300 ACI (ADJUSTED CALIPER INCHES)
 236 X 300 = 212 ACI

NO SUPPLEMENTAL PLANTING REQUIRED
 PRE-DEVELOPMENT ACI EXCEEDS SITE STANDARD ACI
 261 VS. 212
 POST-DEVELOPMENT ACI (TO BE DETERMINED WITH FINAL SITE PLAN)

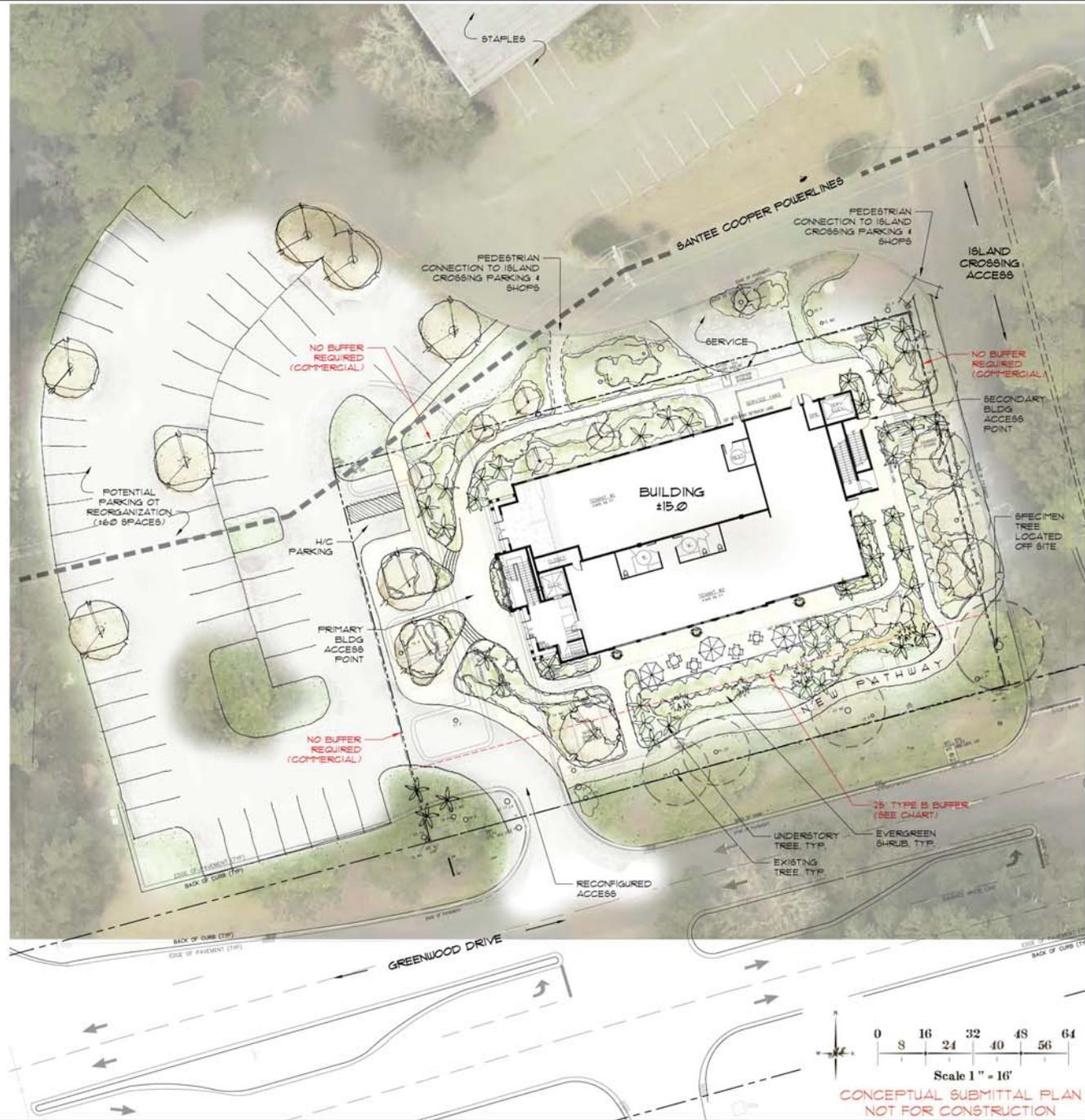
REPLACEMENT PLANTING REQUIRED (TO BE DETERMINED, IF NECESSARY)

NO MITIGATION FOR SPECIMEN TREES (NONE ON PROPERTY)

**GREENWOOD DRIVE
 BUFFER B REQUIREMENTS @ 200 LF**

BUFFER B	REQUIRED	PROVIDED
OVERSTORY (2 PER LF)	6	31
UNDERSTORY (4 PER 100 LF)	12	11
EVERGREEN (10 PER 100 LF)	20	20

* (EXISTING 15' L.O. AND 23' W.O. FACTORED TOWARD OVERSTORY REQUIREMENT; EXISTING 24' F. FACTORED TOWARD UNDERSTORY REQUIREMENT)



SITE DEVELOPMENT PLANS
 FOR
GALLERY OF SHOPS
 HILTON HEAD ISLAND, SOUTH CAROLINA

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN

CONCEPTUAL DRB

DATE: 06-28-16

PROJECT NO.: 165021

DRAWN BY: JC/CB

CHECKED BY: BU

REVISIONS:

DRAWING NUMBER

L2 of 2



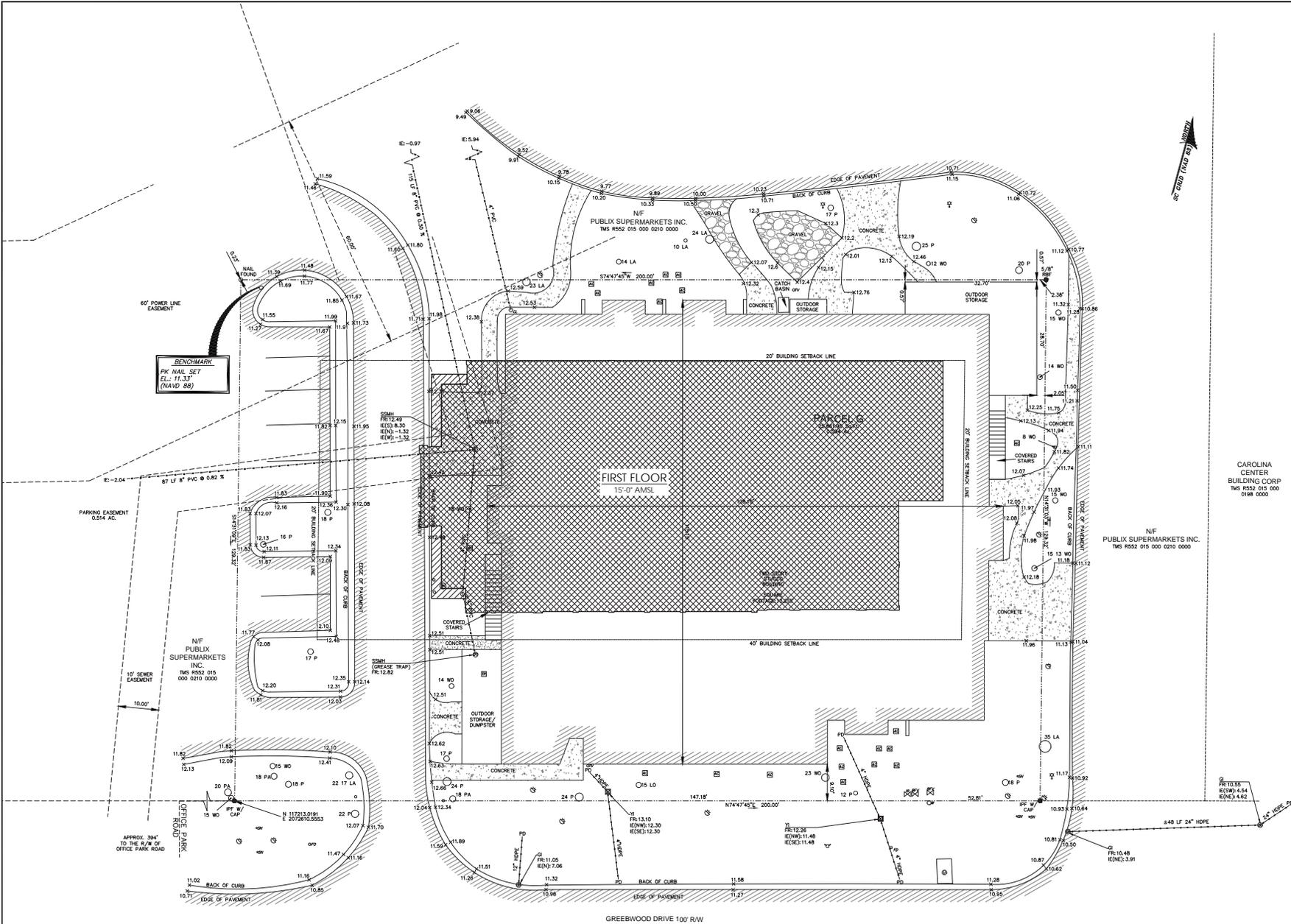
POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2547
FX: 843.815.2547

WWW.COURTATKINS.COM

GALLERY OF SHOPPES
SEA PINES CENTER
PARCEL G, #14 GREENWOOD DRIVE
HILTON HEAD ISLAND, SC 29928

CAROLINA CENTER
BUILDING CORP
TMS 1852 015 000
0198 0000

NIF
PUBLIX SUPERMARKETS INC.
TMS 1852 015 000 0210 0000



1 SITE PLAN
A1.0 SCALE 3/32" = 1'-0"

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ISSUE	DATE	DESCRIPTION

PROJECT # 15-081
PROJECT CONTACT: JB
DATE: 4.28.14

SITE PLAN
A1.0



**COURT
ATKINS
GROUP**

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GALLERY OF SHOPPES
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PARCEL G, #14 GREENWOOD DRIVE
HILTON HEAD ISLAND, SC 29928

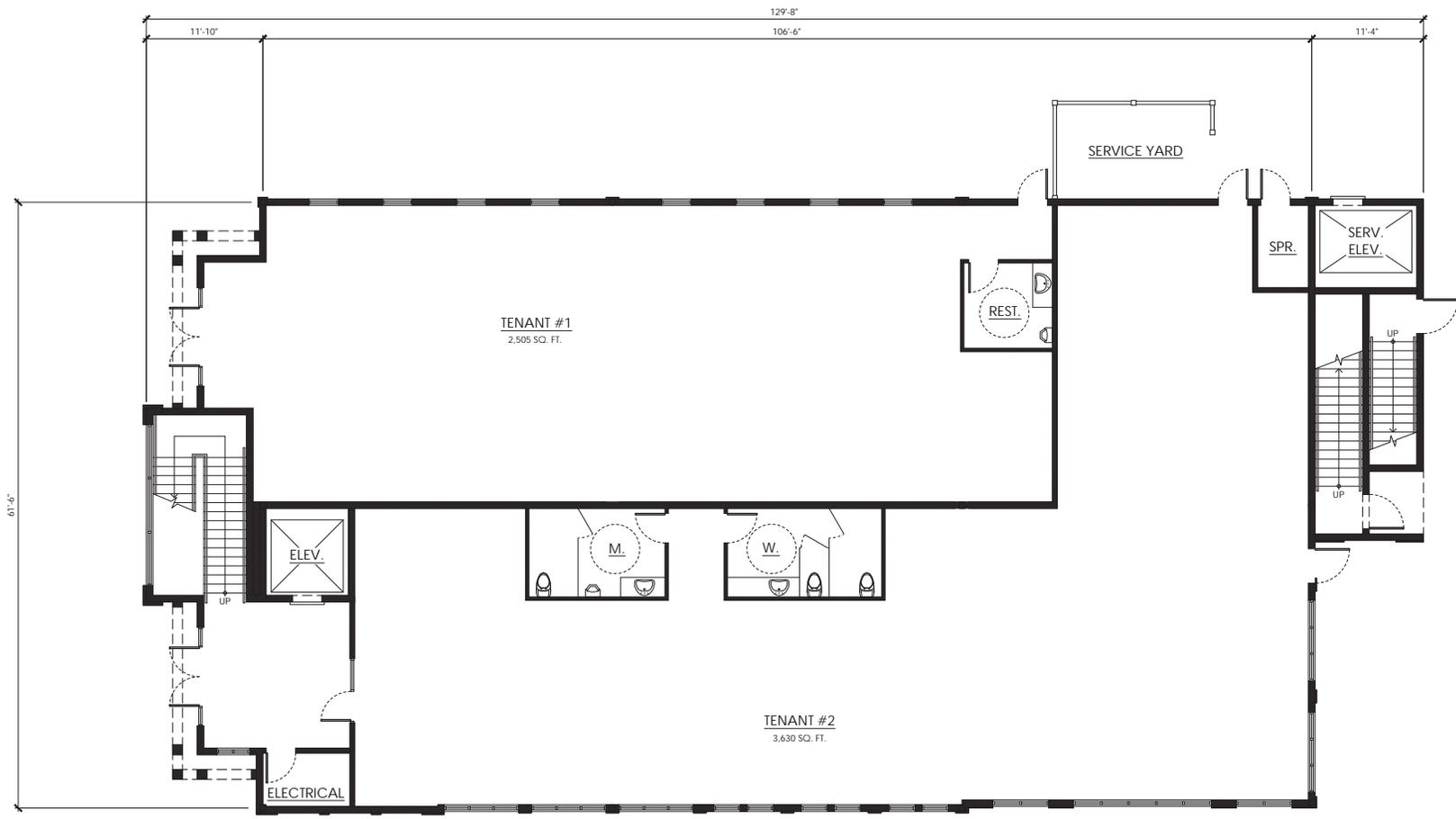
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ISSUE	DATE	DESCRIPTION

PROJECT # 15-0811
PROJECT CONTACT: JB
DATE: 6-28-16
FIRST FLOOR PLAN A2.1



1 FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

GROSS BUILDING AREA

FIRST FLOOR:	
Heated and Cooled	7,415 GROSS SQ. FT.
Covered and Enclosed	160 GROSS SQ. FT.
SECOND FLOOR:	
Heated and Cooled	6,936 GROSS SQ. FT.
Covered and Enclosed	0 GROSS SQ. FT.
THIRD FLOOR:	
Heated and Cooled	3,633 GROSS SQ. FT.
Covered and Enclosed	723 GROSS SQ. FT.
Heated and Cooled Area	17,984 GROSS SQ. FT.
Total Covered and Enclosed Area	883 GROSS SQ. FT.
Total Gross Area (H/C & C/E)	18,867 GROSS SQ. FT.



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GALLERY OF SHOPPES
SEA PINES CENTER
PARCEL G, #14 GREENWOOD DRIVE
HILTON HEAD ISLAND, SC 29928

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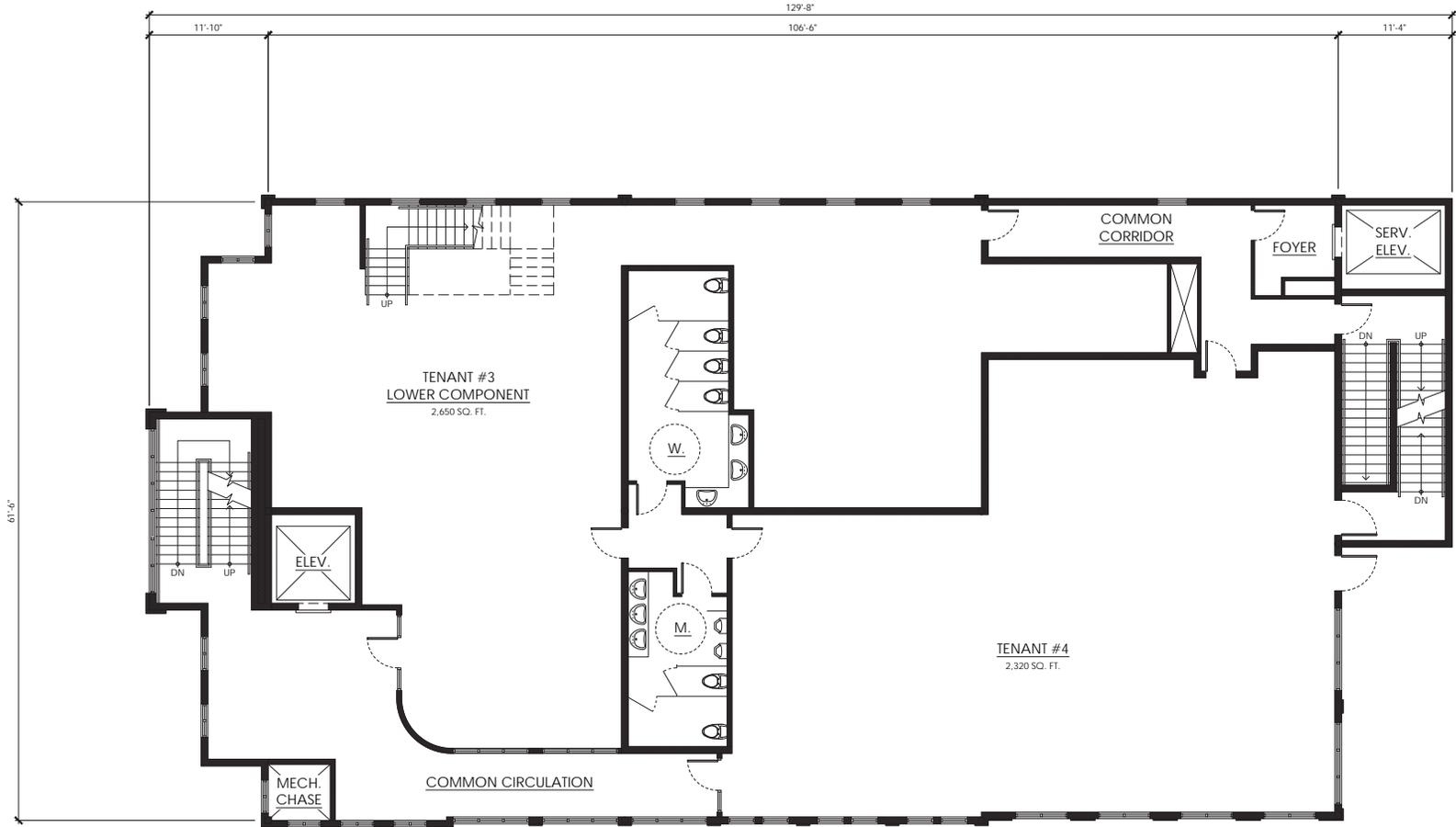
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ISSUE	DATE	DESCRIPTION

PROJECT # 15-0811
PROJECT CONTACT: JB
DATE: 6-28-16

**SECOND
FLOOR
PLAN
A2.2**



1 SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

GROSS BUILDING AREA

FIRST FLOOR:		
Heated and Cooled	7,415 GROSS SQ. FT.	
Covered and Enclosed	160 GROSS SQ. FT.	
SECOND FLOOR:		
Heated and Cooled	6,936 GROSS SQ. FT.	
Covered and Enclosed	0 GROSS SQ. FT.	
THIRD FLOOR:		
Heated and Cooled	3,633 GROSS SQ. FT.	
Covered and Enclosed	723 GROSS SQ. FT.	
Heated and Cooled Area		17,984 GROSS SQ. FT.
Total Covered and Enclosed Area		883 GROSS SQ. FT.
Total Gross Area (H/C & C/E)		18,867 GROSS SQ. FT.



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GALLERY OF SHOPPES
SEA PINES CENTER
PARCEL G, #14 GREENWOOD DRIVE
HILTON HEAD ISLAND, SC 29928

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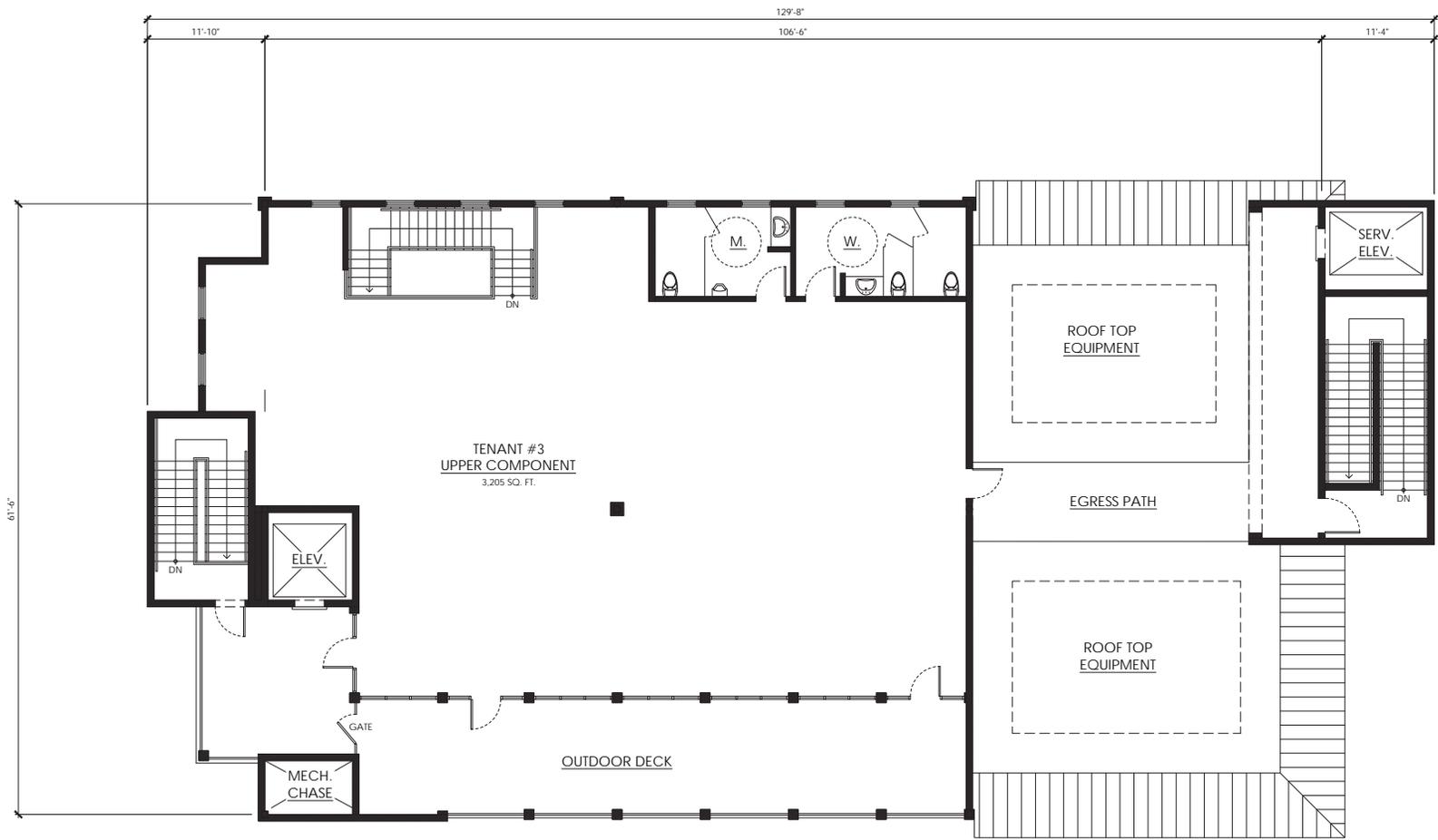
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ISSUE	DATE	DESCRIPTION

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PROJECT CONTACT: JB
DATE: 6-28-16

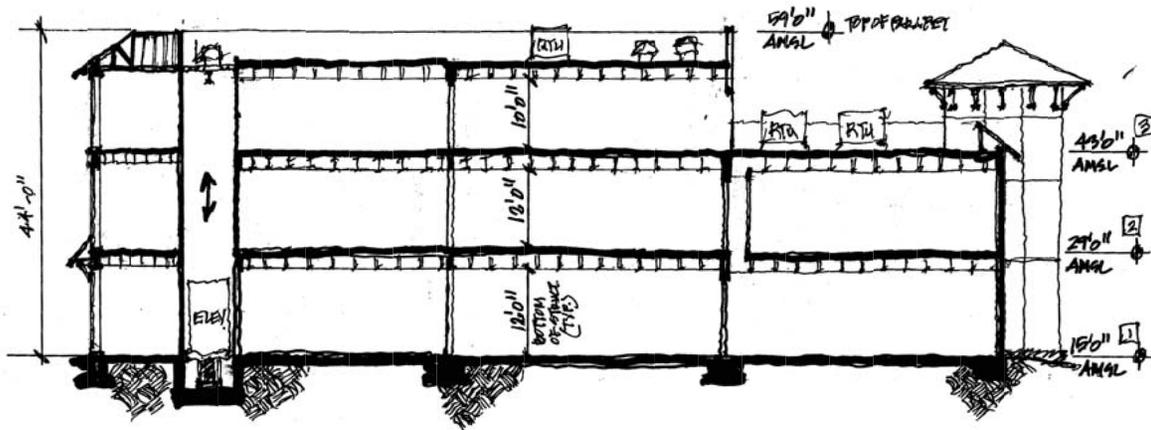
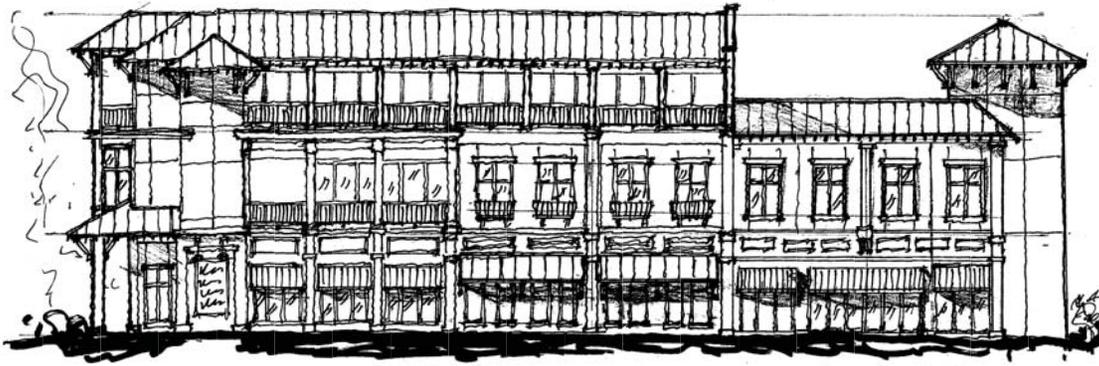
**THIRD
FLOOR
PLAN
A2.3**



1 THIRD FLOOR PLAN
AZ.3 SCALE 3/16" = 1'-0"

GROSS BUILDING AREA

FIRST FLOOR:		
Heated and Cooled	7,415 GROSS SQ. FT.	
Covered and Enclosed	160 GROSS SQ. FT.	
SECOND FLOOR:		
Heated and Cooled	6,936 GROSS SQ. FT.	
Covered and Enclosed	0 GROSS SQ. FT.	
THIRD FLOOR:		
Heated and Cooled	3,633 GROSS SQ. FT.	
Covered and Enclosed	723 GROSS SQ. FT.	
Heated and Cooled Area	17,984 GROSS SQ. FT.	
Total Covered and Enclosed Area	883 GROSS SQ. FT.	
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ISSUE	DATE	DESCRIPTION

PROJECT #: 15-081
PROJECT CONTACT: JB
DATE: 6-28-16

CONCEPT
SKETCHES
A3.0



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GALLERY OF SHOPPES
SEA PINES CENTER
PARCEL G, #14 GREENWOOD DRIVE
HILTON HEAD ISLAND, SC 29928



1 WEST FACADE ELEVATION
SCALE 3/16" = 1'-0"



2 GREENWOOD DRIVE ELEVATION
SCALE 3/16" = 1'-0"

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ISSUE	DATE	DESCRIPTION

PROJECT #: 15-081
PROJECT CONTACT: JB
DATE: 4-28-14

ELEVATIONS
A3.1



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HILTON HEAD ISLAND, SC 29928

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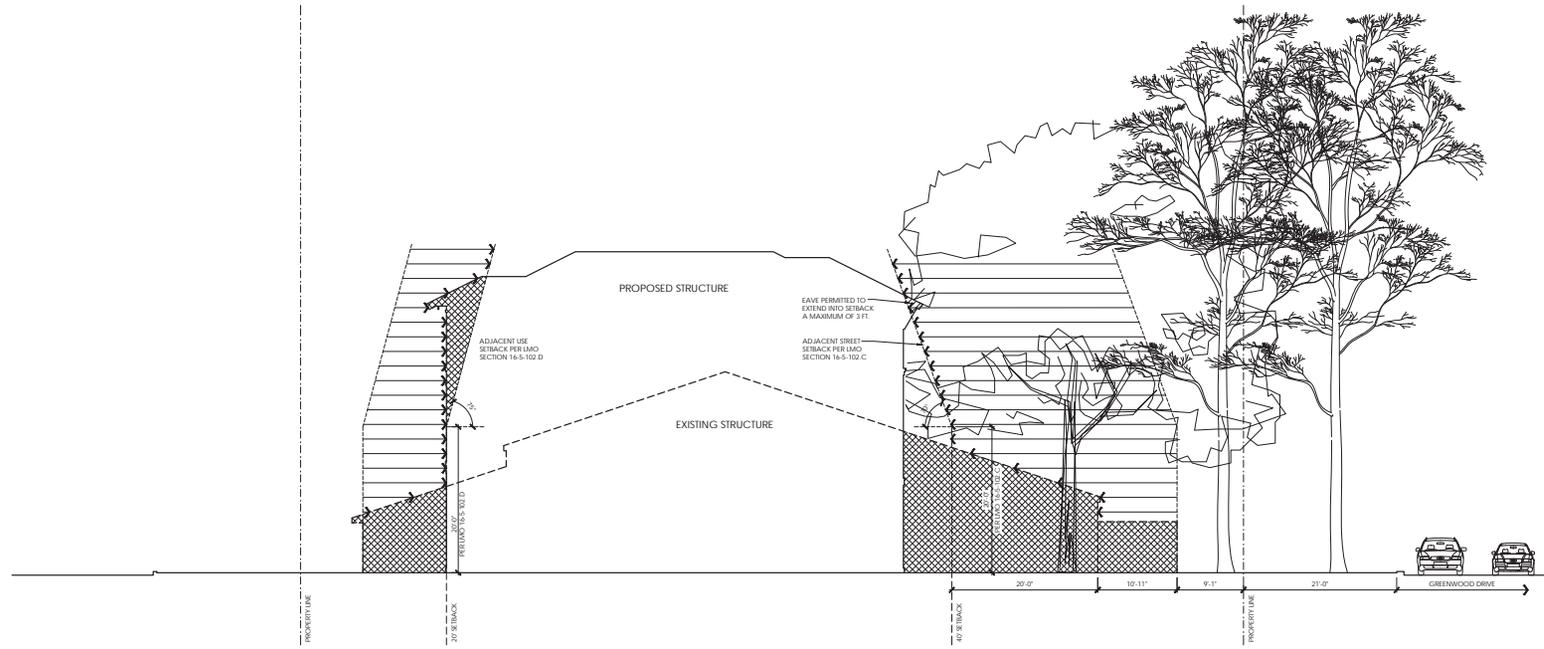
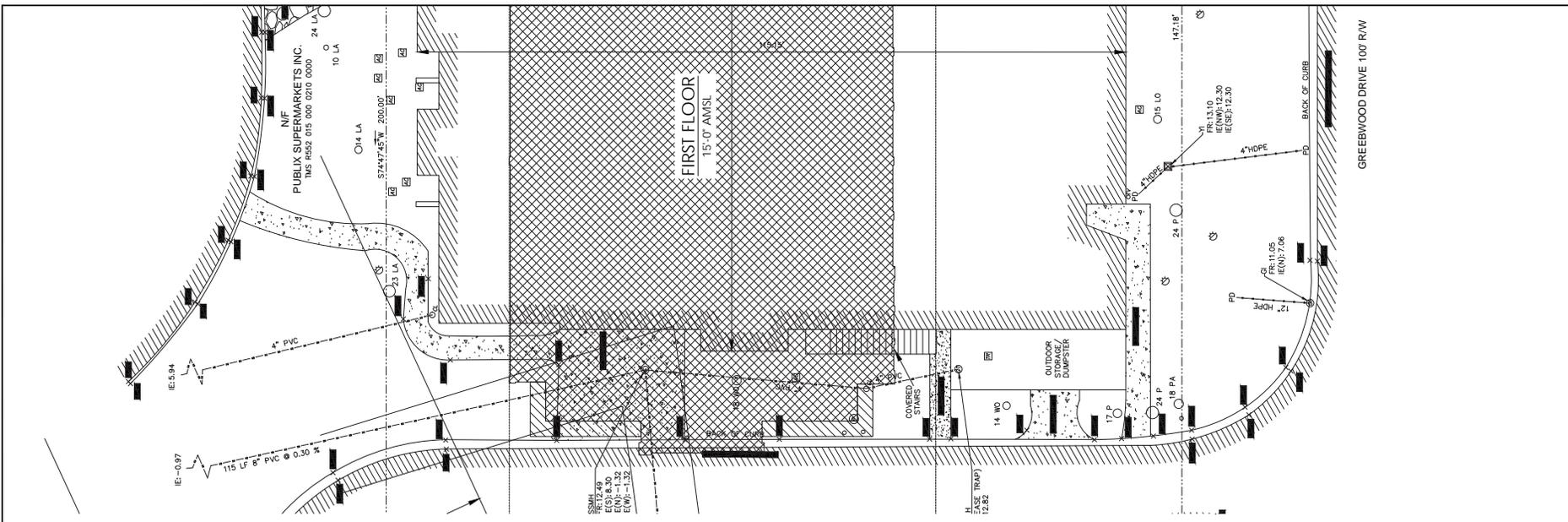
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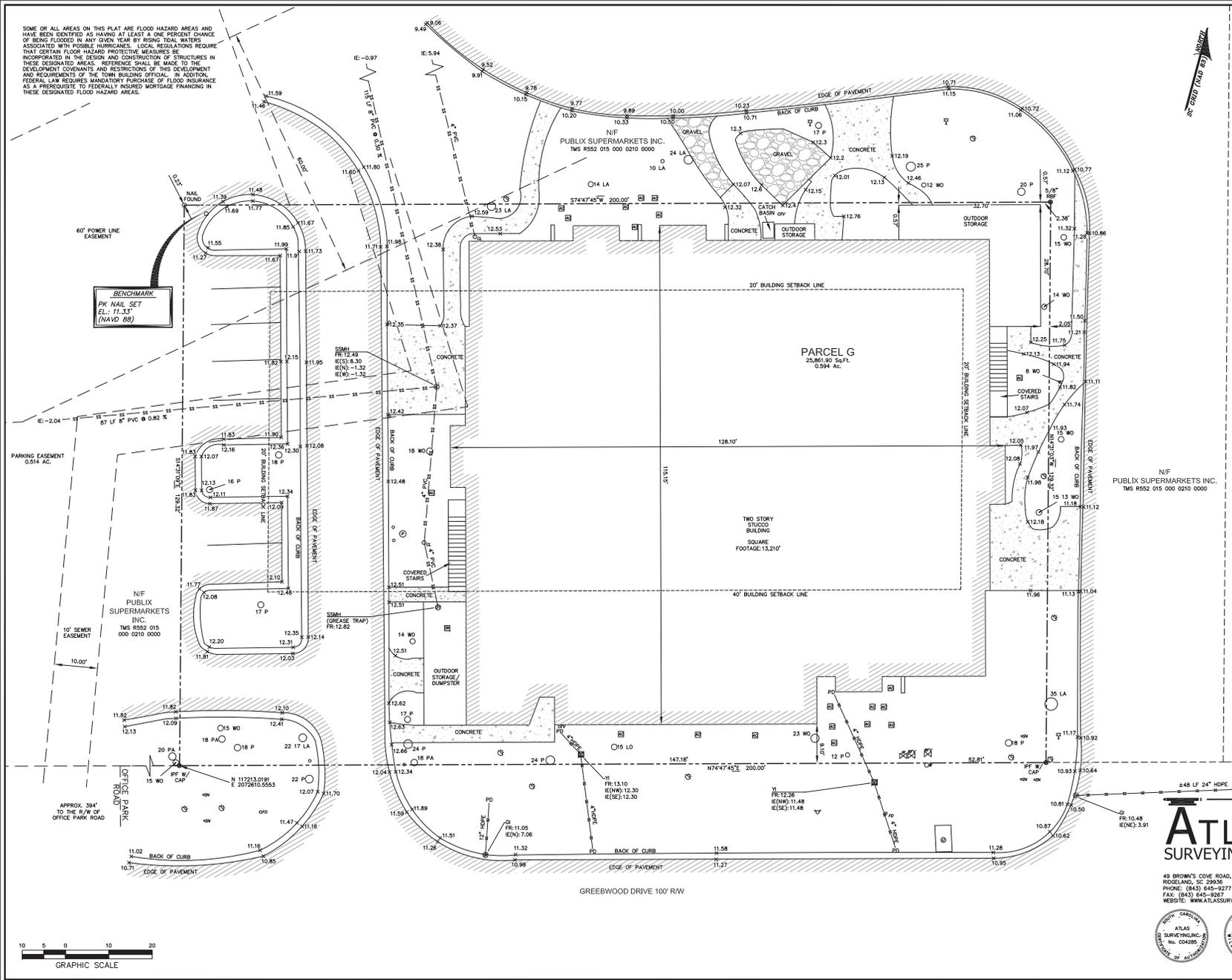
PROJECT # 15-081
PROJECT CONTACT: JB
DATE: 4-28-14

SETBACK
DIAGRAM
A3.2



1 SETBACK DIAGRAM: PROPOSED & EXISTING STRUCTURE
SCALE 3/16" = 1'-0"

SOME OR ALL AREAS ON THIS PLAT ARE FLOOD HAZARD AREAS AND HAVE BEEN IDENTIFIED AS HAVING AT LEAST A ONE PERCENT CHANCE OF BEING FLOODED IN ANY GIVEN YEAR BY RISING TIDE WATERS ASSOCIATED WITH POSSIBLE HURRICANES. LOCAL REGULATIONS REQUIRE THAT CERTAIN FLOOD HAZARD PROTECTIVE MEASURES BE INCORPORATED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES IN THESE DESIGNATED AREAS. REFERENCES SHALL BE MADE TO THE DEVELOPMENT COVENANTS AND RESTRICTIONS OF THIS DEVELOPMENT AND REQUIREMENTS OF THE TOWN BUILDING OFFICIAL. IN ADDITION, FEDERAL LAW REQUIRES MANDATORY PURCHASE OF FLOOD INSURANCE AS A PREREQUISITE TO FEDERALLY INSURED MORTGAGE FINANCING IN THESE DESIGNATED FLOOD HAZARD AREAS.



VICINITY MAP NOT TO SCALE

- LEGEND
- IPF ● IRON PIPE FOUND
 - RFB ● IRON REBAR FOUND
 - AC AIR CONDITIONER
 - GL GROUND LIGHT
 - ICV IRRIGATION CONTROL VALVE
 - WM WATER METER
 - BFLV BACK FLOW VALVE
 - YI YARD INLET
 - SDI STORM DRAIN GRATE INLET
 - FH FIRE HYDRANT
 - LP LIGHT POLE
 - SM SIGN
 - SSM SANITARY SEWER MANHOLE
 - ULI UTILITY LID
 - CJY CABLE JUNCTION BOX
 - BOLL BOLLARD
 - CO CLEAN OUT
 - FIBR FIBER OPTIC BOX
 - FE FIRE ESCAPE
 - UGGT UNDERGROUND GAS TANK
 - GT GREASE TRAP
 - PA PALMETTO
 - LA LAUREL OAK
 - WO WATER OAK
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLY-VINYL CHLORIDE PIPE
 - YI YARD INLET
 - IE INVERT ELEVATION
 - FD FIRE DIRECTION
 - PVC POLY-VINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - COU CONTOUR LINE
 - ± ELEVATION SPOT ELEVATION

CAROLINA CENTER BUILDING CORP
TMS R552 015 000
0196 0000

N/F PUBLIX SUPERMARKETS INC.
TMS R552 015 000 0210 0000

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE A7 (EL.14.07), FIRM PANEL 0013-C COMMUNITY ACCROSS.
 2. COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE GRID NAD 83 (2011).
 3. BUILDING SETBACKS AS PER CALL TO HILTON HEAD ZONING (R45-30)-20757 ON R-8-15 MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 4. UTILITY EASEMENTS WERE SCALED IN FROM REFERENCE PLAT # 2.
 5. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 6. ELEVATIONS ARE BASED ON NAVD 88 DATUM

- REFERENCE
1. AN ABSOLUTE SURVEY OF 13.39 ACRES, ISLAND SHOPPING CENTER, PALMETTO BAY ROAD/GREENWOOD DRIVE, A SECTION OF SEA PINES PLANTATION, TOWN OF HILTON HEAD, SOUTH CAROLINA. PLAT BOOK 127 PAGE 111. DATE: 10/28/09 BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059
 2. A PLAT OF PARCEL G AND ADJOINING PARKING EASEMENT, A SECTION OF MARKET PLACE AT SEA PINES, HILTON HEAD ISLAND, SOUTH CAROLINA. PLAT BOOK 30 PAGE 65 DATE: 8-20-15 BY: JERRY L. RICHARDSON, S.C.R.L.S. No.4784
 3. DEED BOOK: 3190 PAGE: 286
 4. DEED BOOK: 276 PAGE: 1567

PREPARED FOR:
BNC HOLDINGS LLC
A FREE AND TOPOGRAPHIC SURVEY OF
PARCEL G, #14 GREENWOOD DRIVE
SEA PINES CENTER
TAX PARCEL No. R552 015 000 0281 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

ATLAS SURVEYING INC.

49 BROWN'S COVE ROAD, SUITE #5
ROSELAND, SC 29906
PHONE: (843) 645-9277
FAX: (843) 645-8987
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREIN WAS MADE ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED IN THE MANUAL.

Terry G. Hatchell
10/15/15



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Gallery of Shoppes – NEW DEVELOPMENT CONCEPTUAL DRB#: DRB-0001228-2016

DATE: July 12, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide a Northern Elevation equal to the other elevations in detail
2. Provide physical and vegetative screening for the service and dumpster locations on the North side.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide North elevation
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

structure				
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide dumpster screening
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending detail information
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
A variety of species is selected for texture and color	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
The location of existing mature trees is taken into	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

account in placement of shrubs so as not to damage tree roots				
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pending final Landscape Plan
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS
