



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, January 12, 2021 – 1:15 p.m.
AGENDA

In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of December 8, 2020

6. Citizen Comments

7. New Business

a. *New Development – Final*

i. Fern Iams Restaurant, DRB-000876-2020

b. *Alteration/Addition*

i. Hargray Building Repaint, DRB-002611-2020

ii. Grayco Addition, DRB-002627-2020

iii. Holy Family Catholic Church Reroof, DRB-002629-2020

c. *New Development – Conceptual*

i. 85 Capital Drive Lot 10, DRB-002636-2020

8. Board Business

9. Staff Report

a. Minor Corridor Report

10. Adjournment

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m. on January 11, 2021. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Secretary at 843-341-4684 no later than 12:00 p.m. on January 11, 2021.

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
December 8, 2020 at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Vice Chair Cathy Foss, David McAllister, Judd Carstens, Annette Lippert, John Moleski, Debbie Remke

Absent from the Board: Chairman Michael Gentemann (excused)

Present from Town Council: Tamara Becker, Glenn Stanford

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Cindaia Ervin, Finance Assistant; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Acting Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Mr. Darnell proposed two changes to the agenda: (i) postpone Board Business review of the letter to Town Council regarding Building Height Limits and Setback Standards to the first meeting in January, and (ii) move DRB-002374-2020 Piggly Wiggly Addition as the first project review on the agenda to accommodate the applicant's schedule. Chair Foss asked for a motion to approve the agenda as amended. Mr. McAllister moved to approve. Ms. Lippert seconded. By way of roll call, the motion passed with a vote of 6-0-0.

5. Approval of Minutes

a. Meeting of November 10, 2020

Chair Foss asked for a motion to approve the minutes of the November 10, 2020 meeting. Mr. McAllister moved to approve. Mr. Carstens seconded. By way of roll call, the motion passed with a vote of 6-0-0.

6. Citizen Comments

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. All comments received were provided to the Board for review and made part of the official record. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

7. Unfinished Business

a. *Alteration/Addition*

i. T. Dalton Clothing, DRB-000452-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends approval, however, noted that the applicant has stained the bench in front of the storefront and now does not match the rest of the benches in Shelter Cove. Staff has no recommendation for reversing the stained bench.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant did not have anything further to add to Staff's presentation. The Board asked for clarification on the type of glass for the light fixture. Following the discussion, Chair Foss asked for a motion on the application.

Mr. McAllister made a motion to approve DRB-000452-2020 with the following condition:

1. The light fixtures have frosted glass.

Ms. Lippert seconded. By way of roll call, the motion passed with a vote of 6-0-0.

8. New Business

a. Alteration/Addition

i. ELA's Reroof, DRB-002197-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends approval as submitted.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant did not have anything further to add to Staff's presentation. The Board reiterated Staff's comment that they have historically approved standing seam metal roofs in a terra cotta color in Shelter Cove Towne Centre. Following the discussion, Chair Foss asked for a motion on the application.

Mr. McAllister made a motion to approve DRB-002197-2020 as submitted. Mr. Carstens seconded. By way of roll call, the motion passed with a vote of 6-0-0.

ii. Grayco Addition, DRB-002371-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends denial as submitted based on the Design Guide cited sections in the Design Team/DRB Comment Sheet.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The applicant confirmed no vegetation will be removed from the buffer. The Board and the applicant discussed the application at length and recommendations were made to provide more information on the structure; the structure is a 3-sided metal panel with the fourth side being open in order to store lumber; the structure is covered; the exterior is a 5-v metal siding; the entire structure is proposed to be a medium bronze color; the chain link fence is proposed to match the structure; landscape cannot be relied on exclusively to hide the structure; the structure is almost 25-ft tall and has to stand on its own; increase the evergreen material in the buffer; concern that the color of the proposed structure does not match the existing structure; concern there are no details on the proposed structure and not enough information to approve it; concern the top of the structure with the mansard roof is too tall relative to the existing structure; the roof pitch should not go toward the courtyard; the proposed medium

bronze color is too dark relative to the existing building; not in favor of the chain link fence; clarify how the existing structure will be modified and the new structure will fit; update C.0 to show the existing deck in the corner will remain; clarify whether the drainage goes from the paved area into the landscape buffer; consider alternate color and material options perhaps stucco in place of the metal.

Following the discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

iii. Piggly Wiggly Addition, DRB-002374-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff supports the proposed changes, but originally recommended denial because the scope and details of the project were unclear. After the agenda package was posted, the applicant provided additional explanation and Staff recommends approval with the following conditions:

1. Staff's understanding from the applicant is that the second entrance is only an emergency exit. The applicant shall provide a letter stating the second entrance is only used as an emergency exit.
2. Provide clarification on the proposed connection to the building. The applicant shall provide a detail that better illustrates the new canopy's connection to the building.
3. Staff's understanding from the applicant that the metal roof shall remain. The applicant shall provide revised drawings to indicate the metal roof shall remain.
4. Revise the drawings to note all colors shall match existing Coligny colors.
5. Revise the landscape plan to show a double staggered row of Fakahatchee Grass.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application in depth. Following the discussion, Chair Foss asked for a motion on the application.

Ms. Lippert made a motion to approve DRB-002374-2020 with the following conditions:

1. The comments described in the Design Team/DRB Comment Sheet shall be addressed.
2. Clarify the curb height.
3. Update pavement markings.
4. Eliminate the bollards.
5. Clarify the connection detail of the new entry roof to the existing building, which includes the tongue and groove material at that location.
6. Speakers shall go into the soffit.
7. The new standing seam metal roof shall match the existing ribbed spacing.
8. Add a vertical trim piece approximately every third window bay to break up the long run of horizontal siding.
9. Signage is required to be submitted under a separate permit.
10. All conditions shall be reviewed and approved by Town Staff and one DRB member.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 5-0-0. *(At the time of the motion and vote, Ms. Remke dropped from the call and therefore was unable to participate in said action. A quorum of the Board remained in effect.)*

b. New Development - Conceptual

i. Airport Terminal Renovation, DRB-002368-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends conceptual approval as submitted and that revisions be made to address the comments described in the Design Team/DRB Comment Sheet for final review.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicants presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application in depth. Following the discussion, Chair Foss asked for a motion on the application.

Ms. Lippert made a motion to approve DRB-002368-2020 with the following conditions:

1. The comments described in the Design Team/DRB Comment Sheet shall be addressed, including, but not limited to:
 - a. The sidewalk going to the parking does not narrow.
 - b. Provide mitigation for trees being removed.
 - c. Further increase the size of the Oaks along the entry drive.
 - d. Provide increased tree protection.
2. Provide a low level buffer type planting on the property edge at the new parking area.
3. Coordinate between wayfinding (signage) and plantings.
4. Change up the pavement type in the pedestrian crossings to better articulate them.
5. Review the opportunity to provide an outdoor waiting area with seating.
6. Provide a type of tabby surface treatment to the entry and the columns.
7. Clarify short-term, long-term, and rental car parking areas.
8. Review how and where the gooseneck fixtures are mounted and consider providing more space above them.
9. Consider use of oyster shell in the sidewalk in front of the terminal building to the new parking area.

Ms. Remke seconded. By way of roll call, the motion passed with a vote of 6-0-0.

ii. 85 Capital Drive, DRB-002373-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff has identified site plan and architectural issues that should be addressed prior to conceptual approval. Staff recommends denial of the application as submitted.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length and recommendations were made to incorporate Staff's comments; address all four sides of the building per the Design Guide; continue the architectural detail from the front elevation to the other three sides of the building; rework the site plan to get some separation from the building and the permeable parking spaces specifically on the east and west sides of the building; add a planting strip between the building and parking; relocate the bike racks closer to the building; rework the site plan to accommodate the fence and setback conflict; the context of the structure must be taken into account and consideration be given to compatibility with the adjacent single family residential neighborhoods; restudy the vehicular circulation; balance articulating the facades and creating consistency of proportions; some façades are blank and other façade pieces have too much going on; include the service yard and any mechanical equipment in the plans; an 8-ft fence with a barbed wire top is not in keeping with island character; restudy the fence design, height, and location.

Following the discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

9. Board Business – None

10. Staff Report

- a. Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since the last meeting.

11. Adjournment

The meeting was adjourned at 4:14 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JEFF CRAMER Company: DIVERSIFIED DESIGNS PC-
 Mailing Address: 11 JONES AVE. City: TYBEE ISLAND State: GA Zip: 31328
 Telephone: (912) 412-3333 Fax: _____ E-mail: dDESIGNS@BELLSOUTH-NET
 Project Name: FERN JAMS MISH STYLE RESTAURANT Project Address: 8 OFFICE WAY.
 Parcel Number [PIN]: R 652 015 000 0354 0000
 Zoning District: SEA ANE CIRCLE Overlay District(s): CORRIDOR OVERLAY

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Fern Iams Restaurant **PROJECT #:** DRB-001930-2019
PROJECT ADDRESS: 8 Office Way
CATEGORY: New Development – Conceptual
ACTION DATE: October 8, 2019 **NOTICE DATE:** October 15, 2019
APPLICANT/AGENT: Jeff Cramer, Diversified Designs PC
11 Jones Ave
Tybee Island, GA 31328
Email: ddesigns@bellsouth.net

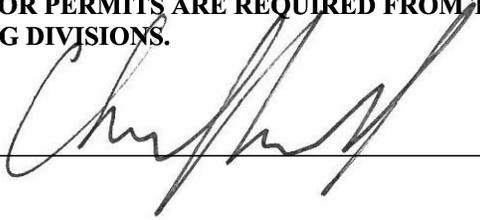
On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. Colors shall be approved at Final.
2. Applicant is to provide complete color board with a suggested 12"x12" sample of red on hardy board.
3. Grading around the building shall not exceed 3' max fill per the LMO.
4. Grading around the building, steps and ramps shall be shown on the drawings.
5. Provide more planting area between sidewalks and the building.
6. Provide a Landscape Plan at Final.
7. The dumpster shall be fully screened and fit in asphalt.
8. Provide adequate clearance and grading around existing trees, specifically the 23" pine at side patio.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fern Iams Restaurant

DRB#: DRB-000876-2020

DATE: 05/01/20

RECOMMENDATION: Approval Approval with Conditions Denial
 RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Limited dimensions on elevations. No section of grading.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Colors and material samples not provided in submittal. DRB NOA-1930-2019 required a complete color board and sample of red on hardy board.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Are the gutters concealed? None are indicated on the elevations or details. There are pedestrian walkways on three sides of the building along with a take-out window and bar seating directly under these roof overhangs.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Utility locations and screening are not shown on the plans.
Decorative lighting is limited and low wattage and adds	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed fixtures include 4000K, which does not

to the visual character				meet the 3000K maximum requirement. There is an error in the table.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Details not provided for doors, garage doors, windows, pavers or bike rack.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There are areas that are not addressed.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Simplify the plant palette.
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It appears it may be too shady for the Muhly Grass to survive as located. Replace with Dwarf Fakahatchee Grass or Liriope.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the caliper for planted trees to determine if the required tree planting has been met.

MISC COMMENTS/QUESTIONS

I failed to include the following additional comments from the DRB:

1. What is pool enclosure information included for? ***The pool information is to show where the screen porch detail came from as well as awning details.***
 - a. If for the screen at the porch, need more details of how it integrates with the building structure.
2. Finished floor elevation is noted as 10.1', obviously requiring floodproofing of at least the doors, potentially the windows as well. How is that accomplished? What's the product used? Details for what it looks like and how it's attached?
3. Finished floor elevation noted as 10.1', with existing grades ranging from 6' to 8' around the building. Building elevations are drawn as if slab on grade, which can't be possible with 2' difference between grade and floor. Either fill will be placed or there will be steps/ramps. No final grading plan provided showing what final grades will be and/or how entry to building will be achieved. ***Engineer is fixing.***
4. As staff noted, utility locations and screening haven't been shown. ***A fence has been added to the service yard.***
5. Where is mechanical equipment?
6. Kitchen exhaust isn't shown on roof plan or building elevations. DRB has typically in the past required that be screened from view.
7. Where is can wash? It would need to be screened. ***Can wash is the same as service yard.***
8. What's done with boxes, etc. either waiting to be delivered or after delivery? At back of restaurants we often see this as a mess of things outside the back door. ***Hidden behind gate of dumpster or gate of service yard.***
9. Service yard at back – what is it for? Typically a service yard would be required to provide screening from view. ***Fence added to screen from view.***
10. A lot of missing details the DRB would typically expect to see at final:
 - a. Service yard screen detail ***Added.***
 - b. Can wash ***Same as the service yard.***
 - c. Typical wall section – the one provided shows structure only and isn't at all clear. Need to show all parts of the wall section, including finished grade, and all finishes. ***Updated.***
 - d. Details at front porch. Screen.
 - e. Details at columns. Sizes, materials, finish, etc. Located on Color board. ***The size is 11" x 11" and it is painted Grey matter. The type is a Henderson Black & Green 10" Permacast square column.***

- f. Info on the pavers. Product, color? Pattern? ***The pavers are Tremron 4x8 bricks in a herringbone pattern at a 45 degree angle to the building itself in the color of granite.***
- g. Details/sections at outside bar ***Same section.***
- h. Details/sections at overhead doors at outside bar ***Added.***
- i. Detail at dumpster yard gate ***Added***
- j. Site plan just notes to extend planter at roadway to screen dumpster. There is no “planter”. It’s just asphalt then ground. There’s no note or info about removal of asphalt, which would need to happen to “extend the planter”. Corner of dumpster screen is right at edge of pavement. I see no bollard to protect it. Regardless, the landscaping should come out at least somewhat further and not only to the corner, to better screen it.

Tilted Wave Rack



Support Your Bikes

The Tilted Wave Rack puts a unique twist on a familiar design. By adding an extra bend to a rolling-style rack, the tilted rack provides a much greater degree of bicycle support than its purely vertical counterpart. Can be ordered for in-ground or foot mounted installation. This rack uses thick pipe construction and allows for one of the wheels and frame to be secured using a u-style bike lock. Available in various lengths to meet your bike capacity needs.

Tilted Wave Rack

Just your size.

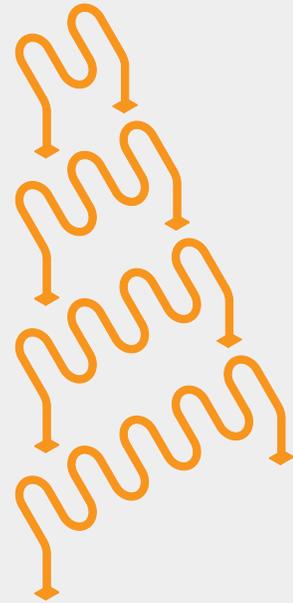
The Tilted Wave Rack is available in 4 lengths to meet your bike parking capacity needs.

42"
4 Bikes

66"
5 Bikes

90"
6 Bikes

114"
7 Bikes



FINISH OPTIONS

Galvanized

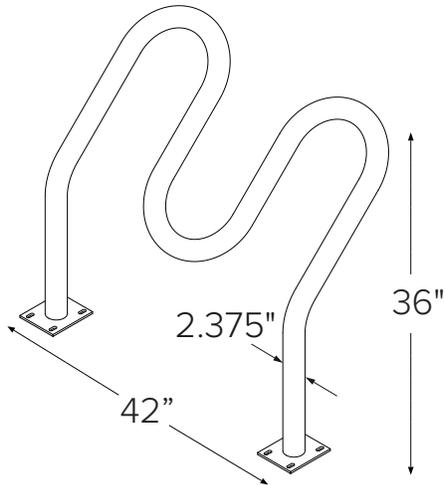
Stainless



Powder Coat

White	Black	Light Gray RAL 7042	Deep Red RAL 3003	Yellow RAL 1023
CNH Bright Yellow	Orange RAL 2004	Blue RAL 5005	Sky Blue RAL 5015	Hunter Green RAL 6005
Light Green RAL 6018	Green RAL 6016	Sepia Brown RAL 8014	Bronze	Silver 9007
Dark Purple	Flat Black	Wine Red RAL 3005	Beige RAL 1001	Iron Gray 7011

Submittal Sheet



CAPACITY

- 4 Bikes
- 5 Bikes
- 6 Bikes
- 7 Bikes

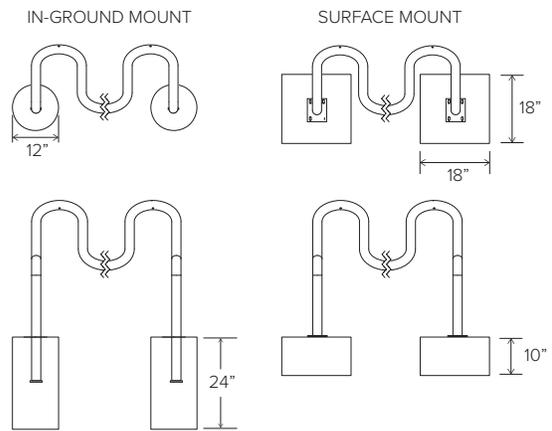
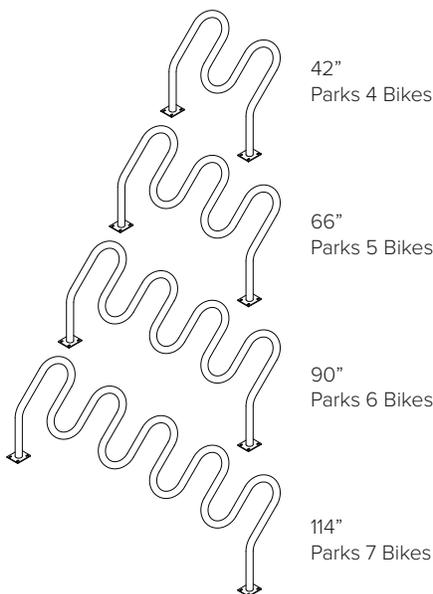
MATERIALS 2.375" OD Schedule 40 Steel Pipe

FINISHES

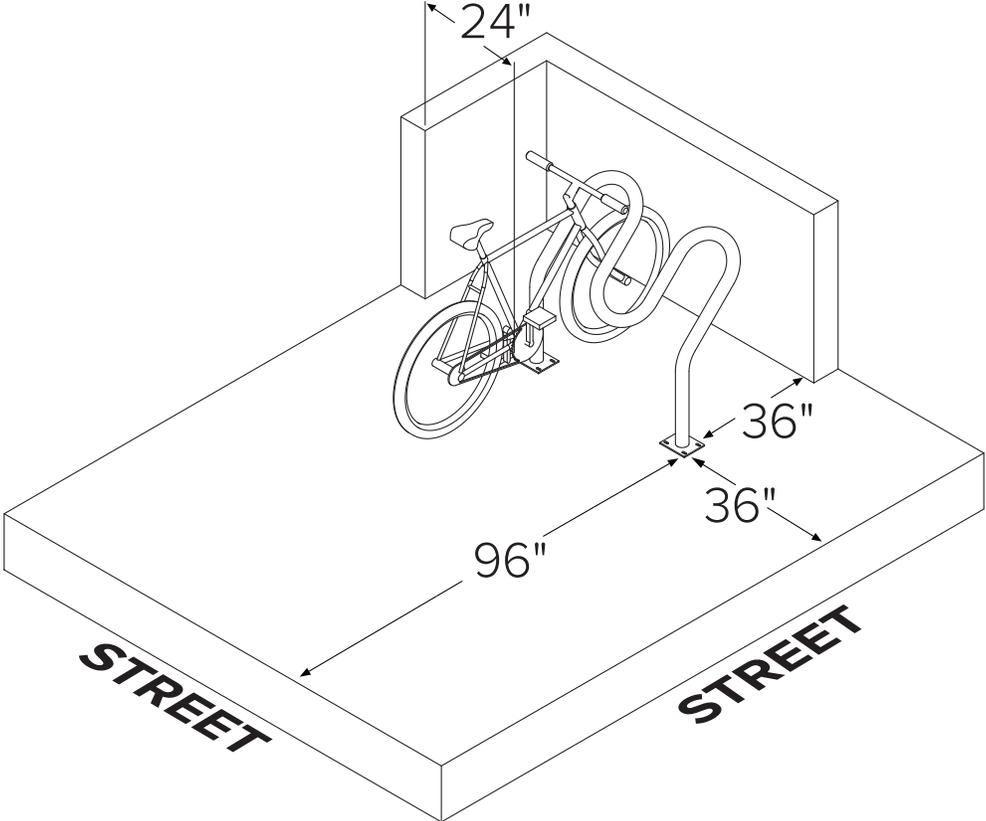
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
- Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
- Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

MOUNT OPTIONS

- In-ground**
In ground mount is embedded into concrete base. Specify in ground mount for this option.
- Surface**
Foot Mount has two 5"x6"x.25" feet with four anchors per foot. Specify foot mount for this option.



Setbacks



FLOOD RISK AMERICA



Proactive Flood Prevention Solutions

The FRA Flood Panel uses our patented, sustainable flood-seal technology to protect elevators and control room doors against rising floodwater. This device creates a sealed barrier around the elevator doors, preventing water from entering. Each panel is designed specifically for a customized fabrication to meet individual installation requirements and custom shaping and contouring to meet job-specific demands. It is both easy to install and remove, taking only a few minutes.

- **FEMA Compliant**
- **Cost-Effective**
- **No Business Interruption**
- **Installation Available**
- **Environmentally Friendly**
- **Made in the USA**

FRA Flood Panel for Elevators and Control Rooms

Less Than 5 Lbs PSF

CCN Seal Technology

Gel Coat

Stainless Steel Anchors

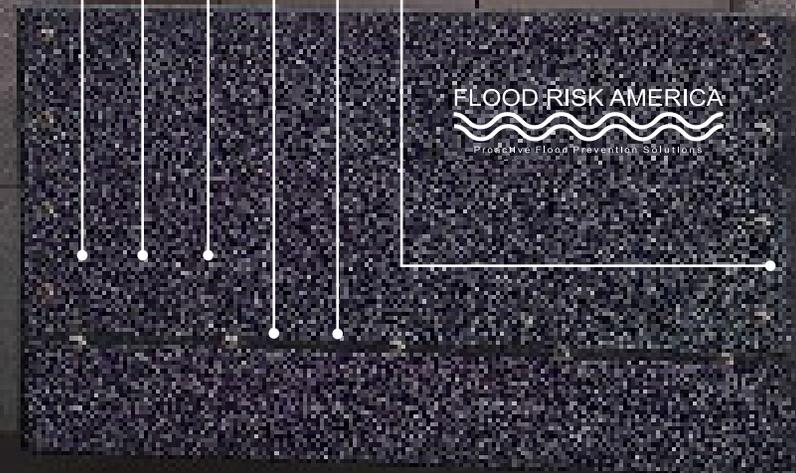
Corosion Resistant

Bolts Within 7 Mins

FLOOD RISK AMERICA



Proactive Flood Prevention Solutions



FRA Flood Panel | Technical Features

Call **(800) 507-0865**

Email info@floodproofing.com

FINISH	GEL coat, corrosion-resistant
PANEL MATERIAL	WTR layer composite
INSTALLATION	~ 7 minutes per person
WARRANTY	Lifetime warranty
HARDWARE	Stainless steel anchors
SEAL	CCN seal technology
WEIGHT	Less than 5 pounds PSF
SIZE	Customized fabrication, shaping, and contouring for any design or size needed
APPLICATIONS	New construction or existing structures, and can be applied on: elevators, windows, doorways, walkways, essential equipment, and control rooms

The FRA Flood Panel is durable, lightweight, corrosion-resistant, and cost-effective. It has been scientifically developed to withstand harsh saltwater environments with technology utilized in both aerospace and vessels from the United States Navy and Air Force.

The FRA Flood Panel will work on new construction site properties or existing structures. It has been rigorously tested and suitable for exterior or interior doors, windows, mechanical rooms, driveways, store fronts, and loading docks.

Elevators



Windows



Control Room Doors



Electric Room Doors



Features & Benefits

- Light weight
- Durable
- Cost-effective
- Corrosion-resistant
- Easy to install and remove
- Environmentally friendly
- Made in the USA

511/521/522

ALUMINUM DOOR SYSTEMS



ALUMINUM SECTIONAL DOORS



**VISUAL ACCESS.
LIGHT INFILTRATION.
CONTEMPORARY LOOK.**



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS



Model 511, Brown powder coat finish, Clear glass

General features and benefits – Models 511/521

- 1 3/4" (45 mm) thick, corrosion-resistant 6063-T6 aluminum sections with galvanized fixtures and hinges promotes durability and trouble-free operation
- 1/4" (6 mm) diameter through-rods on all stiles and rails enhances strength and sturdiness
- Top-quality materials, excellent field service and optional maintenance program contribute to extended door life, low maintenance costs and maximum productivity
- Glazing choices include DSB glass, acrylic, tempered glass, clear polycarbonate, multi-wall polycarbonate, wire glass, Low E, Lexan and laminate
- Standard clear anodized finish for low-maintenance and corrosion-resistance
- Optional finishes include a wide range of powder coat colors offering an attractive and durable finish
- Manual pull rope operation with optional chain hoist or electric motor operator
- Available in approximately 200 RAL powder coat colors to match the aesthetic and design of your project. This color optional upgrade includes a hardening additive that provides an attractive and durable finish and easy-to-clean surface.

Cover image: Model 521, Clear anodized finish with Clear glass.



Model 522, Mirrored Gray glass

General features and benefits – Model 522

- **Frameless design** – the ultimate sleek and modern aluminum full-view door
- **Vinyl seals** between the sections and the flexible bottom seal help to minimize air flow
- **Large glass panels**, mounted to the front of the door, allow maximum light and visibility
- **1 3/8" thick aluminum section** with patent pending design for long life and durability
- **2 1/4" integrated reinforcing rib** on upper intermediate rail for doors 10'3" wide and over
- **Meets ASHRAE 90.1 and IECC® air infiltration requirements** with a third-party tested value of less than 0.4 cfm/ft²
- **Meets California Code of Regulation, Title 24 air infiltration requirements** with a third-party tested value of less than 0.3 cfm/ft²



ALUMINUM DOOR SYSTEMS

MODELS 511/521/522 offer an attractive solution for commercial and industrial applications where visual access, light infiltration and aesthetics are key design considerations.

Model 521, Clear anodized finish with Clear glass



Glass options for Models 511/521

Specialty Glass

- Laminated White – privacy
- Low E Glass** – thermal efficiency
- Tempered Glass – enhanced safety
- Tinted Glass** – color options:
Green, Gray, Bronze

Glass alternatives

- Clear Lexan® Polycarbonate** – shatter resistant
- Multi Wall Polycarbonate – superior strength with UV protection; color options: Clear, White, Bronze
- Plexiglas® Acrylic** – shatter resistant
- Impact Clear and Frosted Polycarbonate - 0.250" minimum



Double Strength DSB** (Standard)



Obscure



Satin Etched



Gray Tint



Green Tint



Bronze Tint



Impact Frosted Polycarbonate

Actual glass may vary from brochure photos due to fluctuations in the printing process. Check with your Overhead Door™ Distributor to view a glass sample.

** Insulated options available.



Model 511, Clear Anodized finish with Clear glass

ALUMINUM DOOR SYSTEMS MODEL 511

doors are designed in sizes up to 16'2" wide and 16'1" high (4928 mm and 4902 mm). Featuring a narrow center stile width of 21/32" (17 mm), these doors are sleek, attractive and permit maximum visibility. An array of glazing choices, top and bottom rail widths, finishes and special options customizes the 511 Model to satisfy nearly any project requirement.

Model 511, Black powder coat finish, Clear glass.



Standard features at a glance

Panel thickness	1 3/4" (45 mm)
Maximum standard height	16'1" (4902 mm)
Maximum standard width	16'2" (6147 mm)
Material	6063-T6 aluminum
Standard finish	204R-1 clear anodized
Center stile width	2 1/32" (17 mm)
End stile width	2 3/4" (70 mm)
Top rail width	2 3/8" (60 mm) or 3 3/4" (95 mm)
Top intermediate rail width	3/4" (19 mm)
Bottom intermediate rail width	5/8" (16 mm)
Bottom rail width	2 3/8" (60 mm) or 3 3/4" (95 mm) or 4 1/2" (114 mm)
Weatherseals	Bottom, flexible PVC
Standard springs	10,000 cycle
Track	2" (51 mm)
Mounting	Angle
Operation	Manual pull rope
Hinges and fixtures	Galvanized steel
Lock	Galvanized, interior-mounted single unit
Warranty	1-Year Limited; 3-Year Limited powder coat finish

Options

Glazing options*:
 1/8" (3 mm) DSB;
 1/8" (3 mm) or 1/4" (6 mm) acrylic;
 1/8" (3 mm) or 1/4" (6 mm) tempered;
 1/8" (3 mm) or 1/4" (6 mm) clear polycarbonate;
 1/4" (6mm) and 3/8" twin-wall polycarbonate, 5/8" triple-wall polycarbonate;
 1/4" (6 mm) 3/8" (10 mm) and 5/8" (16 mm) twin-wall polycarbonate, triple-wall polycarbonate 1/4" (6 mm) wire glass;
 1/2" (12 mm) insulated glass

Electric operator or chain hoist

Bottom sensing edge

3" track

Bracket mounting (not available on full vertical door tracks)

Higher-cycle springs in 25k, 50k, 75k, 100k cycles

Chain hoist

Posi-tension drums

*Contact your local Overhead Door™ Distributor for special glazing requirements. Verify 1/4" (6 mm) glass applications with factory.

Structure options

Anodized finishes



Clear (standard)



Light Bronze



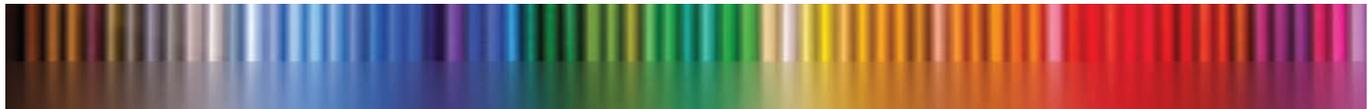
Medium Bronze



Dark Bronze

Powder coat finishes

Select from approximately 200 RAL powder coat color options to best match your home.



Actual door colors may vary from brochure photos due to fluctuations in the printing process. Always request a color sample from your Overhead Door™ Distributor for accurate color matching.

Panel layout

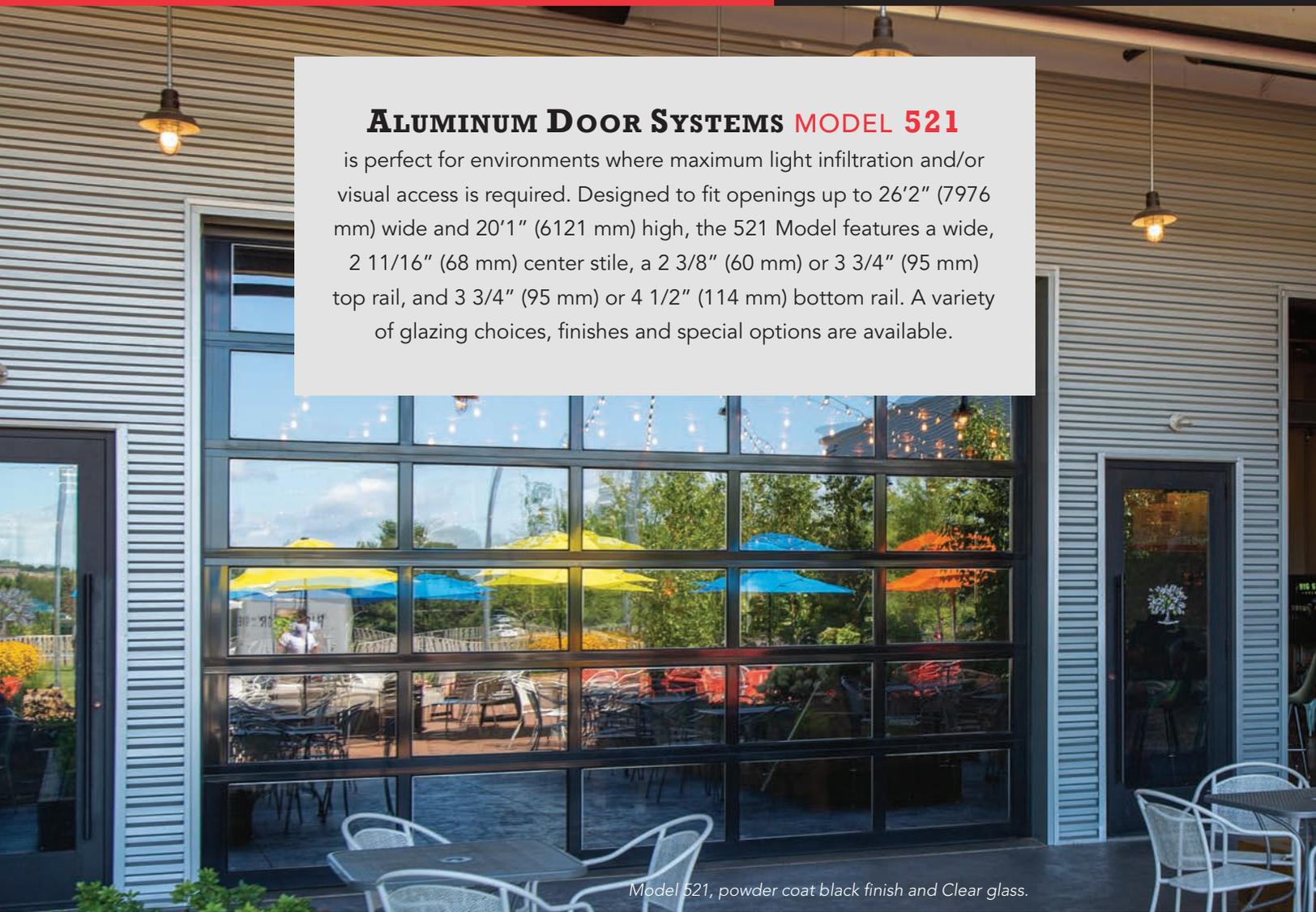
Door width	Number of panels
to 11'11" (3632 mm)	3
12'0" to 14'11" (3658 mm to 4547 mm)	4
15'0" to 16'2" (4572 mm to 4928 mm)	5

Section stack

Door height	Number of sections
to 8'6" (2591 mm)	4
8'7" to 10'1" (2616 mm to 3073 mm)	5
10'2" to 12'1" (3099 mm to 3683 mm)	6
12'2" to 14'1" (3708 mm to 4293 mm)	7
14'2" to 16'1" (4318 mm to 4902 mm)	8

ALUMINUM DOOR SYSTEMS MODEL 521

is perfect for environments where maximum light infiltration and/or visual access is required. Designed to fit openings up to 26'2" (7976 mm) wide and 20'1" (6121 mm) high, the 521 Model features a wide, 2 11/16" (68 mm) center stile, a 2 3/8" (60 mm) or 3 3/4" (95 mm) top rail, and 3 3/4" (95 mm) or 4 1/2" (114 mm) bottom rail. A variety of glazing choices, finishes and special options are available.



Model 521, powder coat black finish and Clear glass.

Optional polyurethane insulation for stiles and rails up to 18'2" wide

1/2" insulated glazing unit	Door R-value (K m²/W)
DSB- clear, tempered, obscure	2.87
Clear polycarbonate	2.93
DSB - Solar Bronze	3.17
DSB - Low E coating	3.43
SolarBan 70XL argon filled	4.09
Multi-wall polycarbonate	Door R-value (K m²/W)
1/4" thick unit	2.75
3/8" thick unit	3.21
5/8" thick unit	3.48
Insulated panels	Door R-value (K m²/W)
3/8" EPS solid panels	2.60



Polyurethane filled rails and stiles

*R-value: Overhead Door Corporation uses a calculated door section R-value for our insulated doors.



Standard features at a glance

Section thickness	1 3/4" (45 mm)
Maximum standard height	20'1" (6121 mm)
Maximum standard width	26'2" (7976 mm)
Material	Extruded 6061-T6 aluminum
Standard finish	204R-1 clear anodized (painted white at no charge)
Center stile width	2 11/16" (68 mm)
End stile width	3 5/16" (85 mm)
Top rail width	2 3/8" (60 mm) or 3 3/4" (95 mm)
Top intermediate rail width	2 1/8" (54 mm)
Bottom intermediate rail width	1 19/32" (40 mm)
Bottom rail width	3 3/4" (95 mm) or 4 1/2" (114 mm)
Weatherseals	Bottom, flexible PVC
Standard springs	10,000 cycle
Track	2" (51 mm)
Mounting	Angle
Operation	Manual pull rope
Hinges and fixtures	Galvanized steel
Lock	Galvanized, interior-mounted single unit
Warranty	1-Year Limited; 3-Year Limited on powder coat finish

Options

Glazing options†: 1/8" (3 mm) DSB; 1/8" (3 mm) or 1/4" (6 mm) acrylic; 1/8" (3 mm) or 1/4" (6 mm) tempered; 1/8" (3 mm) or 1/4" (6 mm) clear polycarbonate; 1/4" (6mm) and 3/8" twin-wall polycarbonate, 5/8" triple-wall polycarbonate; 1/4" (6 mm) 3/8" (10 mm) and 5/8" (16 mm) twin-wall polycarbonate, triple-wall polycarbonate 1/4" (6 mm) wire glass; 1/2" (12 mm) insulated glass
Electric operator or chain hoist
Bottom sensing edge
3" track
Bracket mounting (not available on full vertical door tracks)
Higher-cycle springs in 25k, 50k, 75k, 100k cycles
Exhaust ports
Four-section pass door
Wind load and impact rated door available
Posi-tension drums
Bronze anodization
Powder coat finish
Pass door

†Contact your local Overhead Door™ Distributor for special glazing requirements. Verify 1/4" (6 mm) glass applications with factory.

Structure options

Anodized finishes



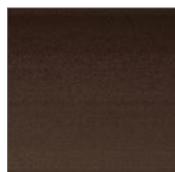
Clear (standard)



Light Bronze



Medium Bronze



Dark Bronze

Wood grain powder coat finishes



Knotty Pine



Cherry



Cherry with Flame



Dark Walnut

Powder coat finishes

Select from approximately 200 RAL powder coat color options to best match your home.



Actual door colors may vary from brochure photos due to fluctuations in the printing process. Always request a color sample from your Overhead Door™ Distributor for accurate color matching.

Panel layout		Section stack	
Door width	Number of panels	Door height	Number of sections
to 9'2" (to 2794 mm)	2 or 3 (standard)	to 8'6" (2591 mm)	4
9'3" to 12'2" (2819 mm to 3708 mm)	3	8'7" to 10'1" (2616 mm to 3073 mm)	5
12'3" to 16'2" (3734 mm to 4953 mm)	4	10'2" to 12'1" (3099 mm to 3683 mm)	6
16'3" to 18'2" (4978 mm to 5537 mm)	4 or 5 (standard)	12'2" to 14'1" (3708 mm to 4293 mm)	7
18'3" to 19'2" (5562 mm to 5842 mm)	5	14'2" to 16'1" (4318 mm to 4902 mm)	8
19'3" to 20'11" (5867 mm to 6375 mm)	6**	16'2" to 18'1" (4928 mm to 5512 mm)	9
21'0" to 23'11" (6401 mm to 7290 mm)	8**	18'2" to 20'1" (5537 mm to 6121 mm)	10
24'0" to 26'2" (7315 mm to 7976 mm)	10**		

**Special construction. Consult your local Overhead™ Door Distributor for additional information.

ALUMINUM DOOR SYSTEMS MODEL 522

This aluminum full-view door is ideal for restaurants, auto dealerships and any application where the door needs to integrate seamlessly with the aesthetics of the building.

Model 522, Mirrored Bronze glass



Standard features at a glance

Section thickness	1 3/8" (35 mm)
Maximum standard height	14'1" (4318 mm)
Maximum standard width	18'2" (5486 mm)
Material	6063-T6 aluminum
Standard finish	White, Black or Bronze Powder Coat
Center stile width	3" (76 mm)
End stile width	3 1/2" (89 mm)
Top rail width	3 1/2" (89 mm)
Top intermediate rail width	1 5/8" (41 mm)
Bottom intermediate rail width	1 3/8" (35 mm)
Bottom rail width	3 1/2" (89 mm)
Standard springs	10,000 cycle
Track	Provide track as recommended by manufacturer to suit loading required and clearances available
Mounting	Angle
Operation	Manual pull rope
Hinges and fixtures	Galvanized steel
Lock	Galvanized, interior-mounted single unit
Warranty	1-Year Limited

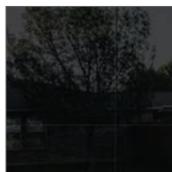
Options

- Springs: 25,000, 50,000, 75,000 or 100,000 cycles
- Weather stripping: jamb and header seals
- White or Black powder coat track

Glass options



Opaque White



Opaque Black



Mirrored Gray



Mirrored Bronze



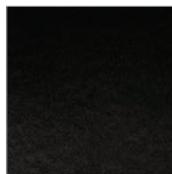
Translucent Black

Structure options

Powder Coat Finishes



White



Black



Bronze

Anodized Finishes



Black



Bronze

Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Overhead Door™ Distributor for accurate color matching.

Aluminum and glass pairing

Aluminum options

White Powder Coat

Black Powder Coat / Bronze Powder Coat /
Black Anodized / Bronze Anodized

Glass color

Opaque White

Opaque Black / Mirrored Gray / Mirrored Bronze /
Translucent Black

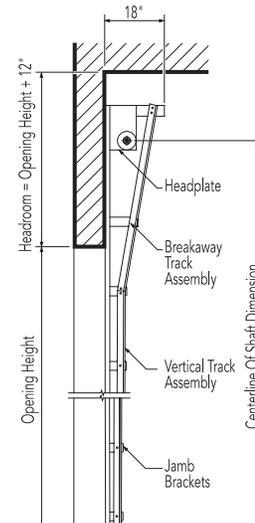
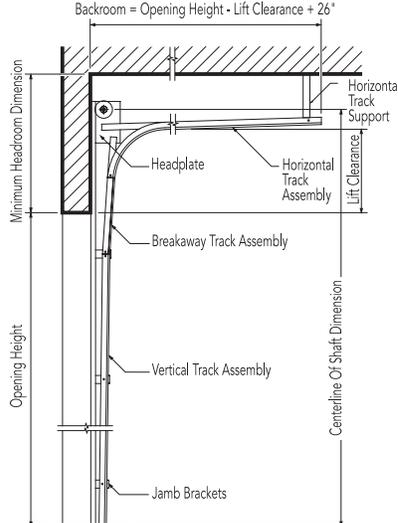
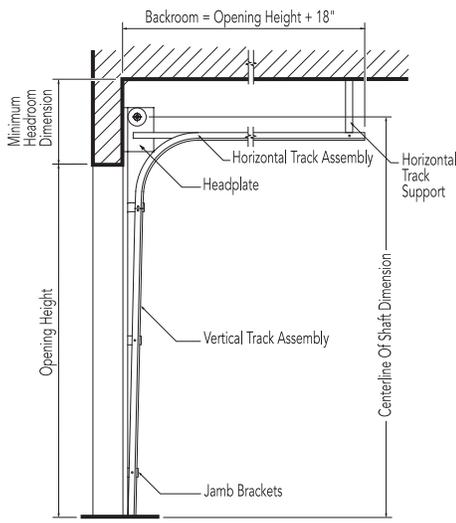
Each door is unique and built to order, therefore a slight deviation in glass alignment is possible. These doors may become hot to the touch in sustained hot weather. See website for door sizes, section selection and other details.

Track detail

Any of the following track configurations can be selected for 511, 521 and 522 Aluminum door models.

O.H.=Opening height L.C.=Lift clearance D.H.=Door height

Standard lift track **Lift clearance track Standard** **Full vertical track**

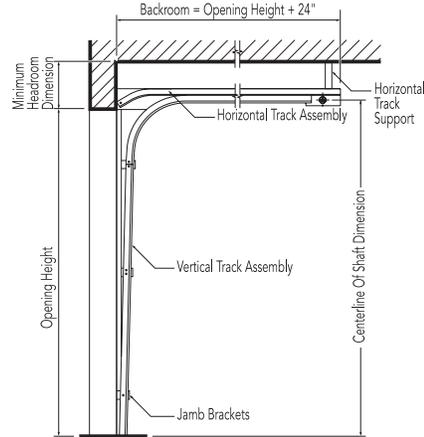
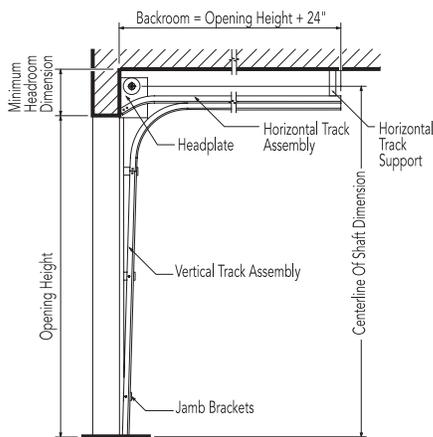


2" (51 mm) Track [15" (381 mm) radius]		
Door height	Centerline of shaft	Minimum headroom
Thru 12'0" (3658 mm)	O.H. + 11 5/8" (295 mm)	14 1/4" (362 mm)
Thru 16'0" (4877 mm)	O.H. + 12 5/8" (321 mm)	20 1/2" (521 mm)
3" (76 mm) Track [15" (381 mm) radius]		
Thru 18'0" (5486 mm)	O.H. + 14 5/8" (372 mm)	18" (457 mm)
Thru 32'0" (9754 mm)	O.H. + 16 7/8" (429 mm)	21 1/2" (546 mm)

2" (51 mm) Track [15" (381 mm) radius]		
Door height	Centerline of shaft	Minimum headroom
Thru 12'0" (3658 mm)	O.H. + L.C. + 5 5/8" (143 mm)	L.C. + 8 3/4" (222 mm)
Thru 16'0" (4877 mm)	O.H. + L.C. + 5 5/8" (143 mm)	L.C. + 11 1/4" (286 mm)
3" (76 mm) Track [15" (381 mm) radius]		
Thru 22'0" (6706 mm)	O.H. + L.C. + 6 5/8" (168 mm)	L.C. + 11 1/2" (292 mm)
Thru 32'0" (9754 mm)	O.H. + L.C. + 6 5/8" (168 mm)	L.C. + 12 1/4" (311 mm)

2" (51 mm) Track [15" (381 mm) radius]		
Door height	Centerline of shaft	Minimum headroom
Thru 11'0" (3353 mm)	O.H. + O.H. + 3/8" (10 mm)	O.H. + 10 1/4" (260 mm)
Thru 16'0" (4877 mm)	O.H. + O.H. + 3/8" (10 mm)	O.H. + 10 1/4" (260 mm)
3" (76 mm) Track [15" (381 mm) radius]		
Thru 18'0" (5486 mm)	O.H. + O.H. + 3/8" (10 mm)	O.H. + 10 1/4" (260 mm)

Low headroom track Springs to front **Low headroom track Springs to rear**



2" (51 mm) Track [15" (381 mm) radius]		
Door height	Centerline of shaft	Minimum headroom
Thru 12'0" (3658 mm)	D.H. + 8" (203 mm)	11 3/4" (299 mm)
Thru 16'0" (4877 mm)	D.H. + 8" (203 mm)	12 1/2" (318 mm)
3" (76 mm) Track [15" (381 mm) radius]		
Thru 12'0" (3658 mm)	D.H. + 9" (229 mm)	13" (330 mm)
Thru 32'0" (5486 mm)	D.H. + 9" (229 mm)	13 3/4" (349 mm)

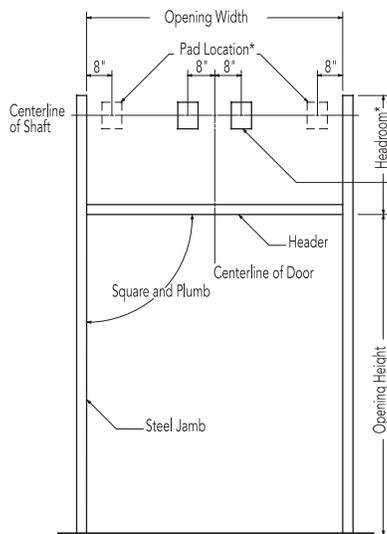
2" (51 mm) Track [15" (381 mm) radius]		
Door height	Centerline of shaft	Minimum headroom
Thru 12'0" (3658 mm)	O.H. + 2" (51 mm)	7 1/2" (191 mm)
Thru 16'0" (4866 mm)	O.H. 2" (51 mm)	8" (203 mm)
3" (76 mm) Track [15" (381 mm) radius]		
Thru 18'0" (5486 mm)	O.H. 6 3/4" (171 mm)	9 3/4" (248 mm)



Framing and pad detail

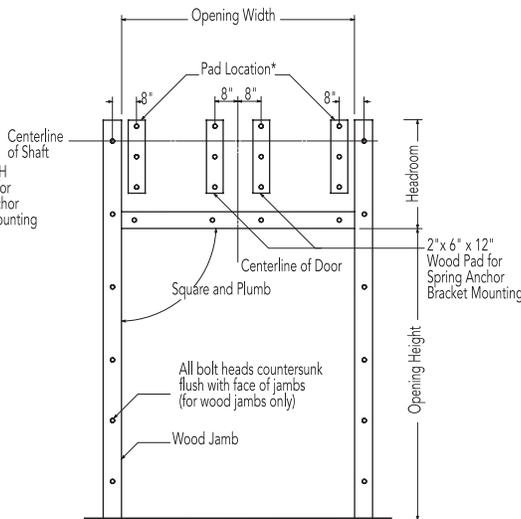
Framing and pad details for common installation of Aluminum doors in steel, wood, concrete and masonry jambs are provided here. If you require additional information or have special project requirements, refer to the Architectural Design Manual, (www.overheaddoor.com/ADM/base.html) or consult with the Applications Engineering Group or your local Overhead Door™ Distributor.

Steel jambs



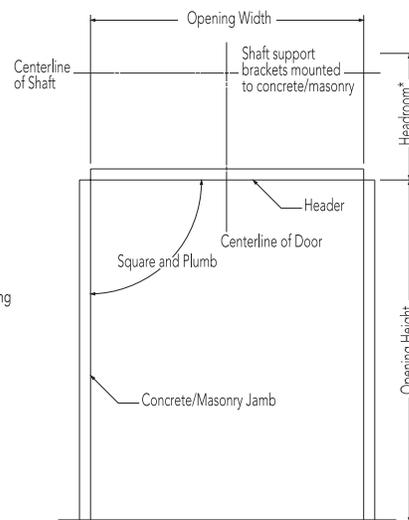
* Pad Location for additional shaft support brackets for doors over 18'3" wide

Wood jambs

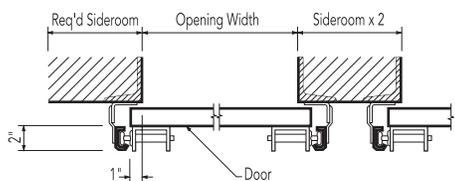


* Pad Location for additional shaft support brackets for doors over 18'3" wide

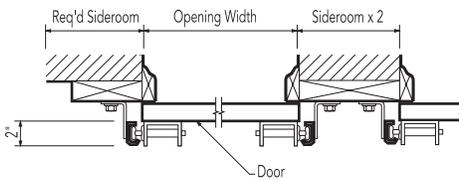
Concrete/masonry jambs



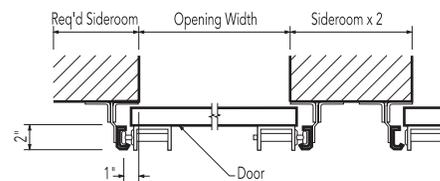
2" (51 mm) track



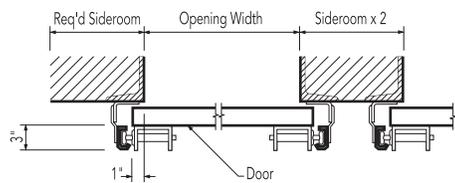
2" (51 mm) track



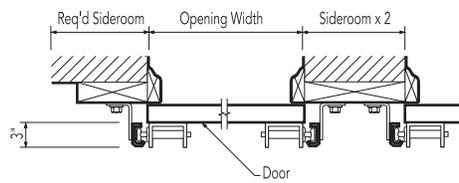
2" (51 mm) track



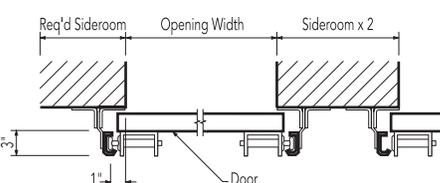
3" (76 mm) track



3" (76 mm) track



3" (76 mm) track



Minimum required sideroom

Track type	2" Track (51 mm)	3" Track (76 mm)
Standard lift	4 1/2" (114 mm)	6 1/2" (165 mm)
Low headroom	9" (229 mm)	10" (254 mm)
Lift clearance	4 1/2" (114 mm)	6 1/2" (165 mm)
Full vertical	4 1/2" (114 mm)	6 1/2" (165 mm)

Minimum required sideroom

Track type	2" Track (51 mm)	3" Track (76 mm)
Standard lift	3 1/2" (89 mm)	5 1/2" (140 mm)
Low headroom	8" (203 mm)	9" (229 mm)
Lift clearance	3 1/2" (89 mm)	5 1/2" (140 mm)
Full vertical	3 1/2" (89 mm)	5 1/2" (140 mm)

Minimum required sideroom

Track type	2" Track (51 mm)	3" Track (76 mm)
Standard lift	4 1/2" (114 mm)	6 1/2" (165 mm)
Low headroom	9" (229 mm)	10" (254 mm)
Lift clearance	4 1/2" (114 mm)	5 1/2" (140 mm)
Full vertical	4 1/2" (114 mm)	5 1/2" (140 mm)

Electric operators

We offer a broad line of electric operators to suit new construction and retrofit applications, as well as unusual or special requirements. In order to improve safety and enhance door and motor life, industry quality assurance guidelines recommend the choice of a single manufacturer for both door and operator applications.

We are one of the only national manufacturers to offer a full line of commercial and industrial doors and operators specifically designed for integral applications.

Model RHX®

Model RHX® is a heavy duty commercial operator designed to operate doors up to 24' (7315 mm) in height and 3696 pounds (1676 kg). Available as either a trolley, sidemount or centermount.



Model RMX®

Model RMX® is our most advanced medium-duty operator. It is designed for quicker installation and hassle-free operation and operates doors up to 14' (4267 mm) in height and 620 pounds (282 kg). It is available as a trolley-type or side-mounted unit.



Model RSX®

Model RSX® is a standard duty commercial operator designed to operate doors up to 24' (7315 mm) in height and 1620 pounds (735 kg). It offers unique features like LimitLock®, SuperBelt™ and 16 digit menu setup.



Operator control options

- Push-button, key or combination stations; surface- or flush-mounted for interior and/or exterior locations
- Vehicle detectors, key card reader, photocell and door timer controls
- Treadle or pull switch stations
- Telephone entry and coded keyboard stations
- Universal programmable door timer
- Radio control systems (24 VAC or 120 VAC)
- Explosion and dust ignition-proof systems

Electric operator selection guide										
	Horsepower/ Newtons	Max. height of door	Max. weight of door	Super Belt™/ Polybelt	Worm gear	Adjustable clutch	Totally enclosed	Continuous duty	Explosion proof	Mounting type
RHX®	1/2 HP, 3/4 HP 1 HP, 3 HP	24' (7315 mm)	3696 lbs (1676 kg)		•	•		•	•	T, S, C
RSX®	1/2 HP, 3/4 HP 1 HP	24' (7315 mm)	1620 (735 kg)	•		•	•	•		T, S, C
RMX®	1/2 HP	14' (4267 mm)	620 (281 kg)	•						T, S

Mounting options:
T=Trolley S=Side mount C= Center mount

Safety recommendations

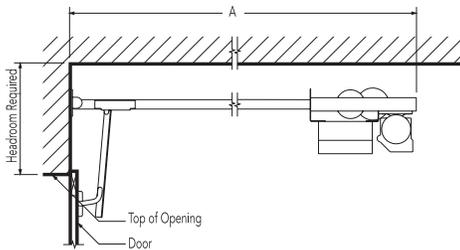
We strongly recommend the use of a primary safety device as defined by UL325 2010. A primary safety device can be approved monitored photo-eyes or an approved monitored sensing edge. If a primary safety device is not installed, a constant contact control switch must be used to close the door. Contact your Overhead Door™ Distributor for more information.



Mounting details

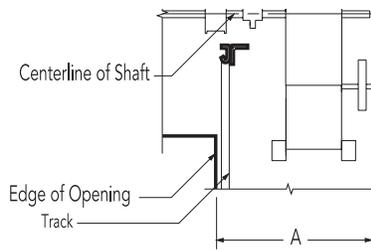
Trolley-type (Drawbar) RMX®, RSX®, RHX®

Trolley-type (Drawbar) operators feature a power unit mounted between, above and to the rear of the horizontal tracks. The drawbar drive provides positive control of the door at all times, making this operator the preferred choice whenever possible. Maximum door width is 20' per drawbar. Door width over 20' requires dual drawbar installation. Available on Models RMX®, RSX® and RHX®.



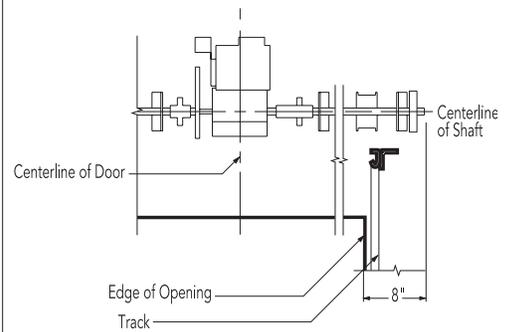
Side mount type (Jackshaft) RMX®, RSX®, RHX®

Side-mounted (Jackshaft) RMX®, RSX®, and RHX® operators feature a power unit mounted on the inside front wall and connected to the crosshead shaft, with an adjustable coupling or drive chain and sprockets.



Center mount type/Jackshaft RSX®, RHX®

Center-mounted (Jackshaft) operators feature a power unit on the front wall above the door opening. No additional backroom is required. Available on models RSX® and RHX®.



Minimum headroom requirements		"A" dimension - minimum (sideroom)		Minimum headroom requirements	
RMX®	Track requirements +4 1/2" (114 mm)	2" track (51 mm)	3" track (76 mm)	RSX®	Track requirements +14" (356 mm)
RSX®	Track requirements +5" (127 mm)	RMX®	18 1/2" (470 mm) 19 1/2" (495 mm)	RHX®	Track requirements +23 5/8" (600 mm)
RHX®	Track requirements +5" (127 mm)	RSX®	21" (533 mm) 22" (559 mm)		
		RHX®	21" (533 mm) 22" (559 mm)		
Depth requirements - "A" dimension (backroom)					
RMX®	Door height +4' 0" (1219 mm)				
RSX®	Door height +4' 0" (1219 mm)				
RHX®	Door height +4' 10" (1219 mm)				



Model 521, solid panel, custom powder coat finish



Architect's Corner

A resource for architects, containing comprehensive technical and resource materials to support your project, including drawings and specifications for commercial doors.

www.overhaddoor.com

The original, innovative choice for unequalled quality and service.

Overhead Door Corporation pioneered the sectional garage door industry, inventing the first sectional garage door in 1921 and the first electric door operator in 1926. Today, we continue to be the industry leader through the strength of our product innovation, superior craftsmanship and outstanding customer support, underscoring a legacy of quality, expertise and integrity. That's why design and construction professionals specify Overhead Door™ products more often than any other brand. Our family of over 400 Overhead Door™ Distributors across the U.S. and Canada not only share our name and logo, but also our commitment to excellence.



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS

2501 S. State Hwy. 121 Bus., Suite 200, Lewisville, TX 75067
1-800-929-DOOR • sales@overhaddoor.com
overhaddoor.com

Item # P1341-039-L	UPC Code: 844349024408
Product Family Name: Sirato	Finish: Spanish Iron
Category: OUTDOOR WALL SCONCE	Category Type: LED Outdoor
Certification 3195125	
Patents:	
Notes:	



Image File Name: P1341-039-L.jpg



MEASUREMENTS

Width:	Length: 14.25	Height: 5.5	Extension: 3.5
Height Adjustable: Yes	Min Overall Height:	Max Overall Height:	Slope: No
Wire Length: 7"	Chain Length:	Safety Cable Included: No	Net Weight: 4.67
Canopy Width:	Canopy Height:	Canopy Length:	Center to Bottom: 7.0
Backplate Width: 5.0	Backplate Height: 13.75	Center to Top: 7.13	

LAMPING

No. of Bulbs: 1	Light Type: LED			
Max Bulb Wattage: 16	Socket: LED			
Dimmable: Yes	Ballast:	Rated Life Hours: 30000	Photocell Included: No	Bulb/LED Included: Y
Bulb/LED Included: Yes	Color Temp.: 3000	CRI: 91	Initial Lumens: 1446.0	Delivered Lumens: 655.0

SHADE / GLASS

Description:	Material: GLASS
Part No.: PG1341	Quantity: 1
Width: 4.0	Height: 1.75
	Length: 12.63



SHIPPING

Carton Width: 7.75	Carton Height: 5.5	Carton Length: 16.38
Carton Weight: 5.41	Carton Cubit Feet: 0.404	Small Package Shippable: Yes
Master Pack Width:	Master Pack Height:	Master Pack Length:
Master Pack Weight:	Master Cubic Feet:	Multi-Pack: 1
		Master Pack: 1

LED

LED



Wet Location



ETL Intertek



Lighting Your Life Since 1970

Product Specifications - 4058HOB

Job Name:	Job Type:
Quantity:	Comments:



4058HOB
Coldwater 1-Light Outdoor Hanging Lantern

Finish
Burnished

Glass/Shade
Honey

Product Category
Outdoor Hanging Lantern

Lamping

Number of Bulbs	1
Bulb Type	MB
Max Bulb Wattage	100
Rated Life	±2,500 Hours
Rated Lumens	±1,150
Color Temp	±2,700 K
Bulb(s)	Not Included
Light Up/Down	N/A
Beam Spread	N/A
CRI	N/A
Photo Cell Included	N/A
Ballast/Driver/Transformer	No
Dimmable	Standard

Measurements

Width	9.0"
Height	15.0"
Length	N/A
Back Plate Width	N/A
Back Plate Height	N/A
HCO	N/A
Min Overall Height	N/A
Max Overall Height	N/A
Hanging Weight	7.5 lbs
Height Adjustable	N/A
Slope	N/A
Chain Length	72"
Wire Length	144"
Canopy Width	N/A
Canopy Height	N/A
Canopy Length	N/A

Shipping

Carton Weight	7.5 lbs
Carton Height	11"
Carton Length	17"
Carton Cubic Feet	1.45
Master Pack Weight	N/A
Master Pack Width	N/A
Master Pack Height	N/A
Master Pack Length	N/A
Master Cubic Feet	N/A
UPS Shippable	Yes

Certification

Safety Rating	Wet
Energy Star	No
CA Title 24	No
CA Title 20	No
ADA	No
Dark Sky	N/A

Other

UPC Code	783209405813
Shades Included	N/A
Crystals Included	N/A
Diffuser Included	N/A
Conversion Kit	N/A
Material	Aluminum

Equivalents

Incandescent Watts	N/A
Fluorescent Watts	N/A

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Always consult a qualified, licensed electrician before installation of any product weighing 35 pounds or more. We recommend that a qualified, licensed electrician do the installation. Always install to a mechanically sound structure.



Measurements:

<u>Height</u>	<u>Width</u>	<u>Length</u>
1.50"	5.00"	5.00"
<u>Hanging Weight</u>		

Lamping:

LED PCB LED	700 Rated Lumens 600 Delivered Lumens
1 10W PCB LED	3000 Color Temperature
10 total watt	40,000 Rated Life 90+ CRI
Dimmable : Electronic Low Voltage (ELV) Dimmer	

Shipping:

<u>Carton Width</u>	<u>Carton Height</u>	<u>Carton Length</u>	
5.40"	2.00"	5.40"	
<u>Master Pack Weight</u>	<u>Master Pack Width</u>	<u>Master Pack Height</u>	<u>Master Pack Length</u>
19.80 lb	10.80"	6.00"	20.50"
<u>Master Pack Qty</u>	<u>UPC</u>	<u>UPS</u>	
20.0000	783209173705	Yes	

Finish:

Bronze BZ

Glass:

White WT

Material:

Die Cast Aluminum

Certification:

Wet Location
CA Title 24

Additional:

PCB LED (Included)

VAST

 Ceiling mounted • Damp location listed **PROGRESS LED**

Description:

Beautiful and expansive in design, the 72" Vast ceiling fan is ideal for use in large areas and outdoor covered areas for maximum cooling. A white opal shade complements a White finish with Chrome Accents. Featuring an energy efficient DC motor with 18W light source, Vast is dimmable and offers a 3000K-color temperature. Damp location listed for covered outdoor areas, a full function remote control with batteries is included.

Specifications:

- White (-30) (painted)
- Steel construction
- Frosted bowl 72" 8 Blade Fan with LED light
- Oversized, textured die cast hanger ball reduces noise and wobble vibrations
- Mounting hardware is included
- Dimmable to 10% brightness (See Dimming Notes)
- Canopy covers a standard 4" octagonal recessed outlet box
- 80" of wire supplied
- White blades, aluminum construction
- 14 degree blade pitch
- Six Speed Full Function Remote Control Included
- A 3/4" x 4-1/2" downrod is included. Longer accessory downrods can be ordered separately.
- Meets California Title 24 JA8-2016 Airflow: 7982 CFM*
- Energy consumption: 28 watts (excluding lights)*
- Airflow efficiency: 285 cfm/watt*
- * Fan on a downrod

Performance:

Number of Modules	1
Input Power	18w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW	1400/77.8 (LM-79)
CCT	3000 K
CRI	90+
Life (hours)	(L70/TM-21)
EMI/RFI	FCC Title 47, Part 15 Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	Limited Lifetime warranty
Labels	UL Damp location listed
	Meets California Title 24 JA8-2016

P2550-3030K

Images:



Dimensions:

Diameter: 72"
Height: 16-3/4"

ENERGYGUIDE

Estimated
Yearly Energy Cost

\$15

\$3
\$34

Cost Range of Similar Models (19" – 84")

• Based on 12 cents per kWh and 6.4 hours use per day
 • Your cost depends on rates and use
 • Energy Use: 29 Watts

Airflow

7982

Cubic Feet Per Minute

• The higher the airflow, the more air the fan will move
 • Airflow Efficiency: 273 Cubic Feet Per Minute Per Watt

All estimates based on typical use, excluding lights ftc.gov/energy



GREEN COLLECTION
ECO-FRIENDLY PERMEABLE PAVERS

TREMRON.COM

PERMEABLE PAVERS

MANAGE STORMWATER RUNOFF



Tremron's Green Collection offer aesthetic beauty, and engineered quality, while positively contributing to the surrounding environment. These specially designed pavers will reduce or eliminate storm water run-off and decrease flooding, while returning rainwater into the natural water table. In addition, Permeable Pavers also provide a sturdy paved surface for vehicular and foot traffic in parking areas, low volume roadways, driveways, patios, and walkways.

Environmental Benefits of Permeable Pavers

- Surface Water Management**
 Storm water drains back into native soil, recharging groundwater supplies and reducing storm water run-off.
- Reduce Landscape Irrigation Demand**
 Recharges groundwater supplies
- Minimize Local Heat Island Effects**
 Permeable pavers are available in colors that have high SRI values which in turn help reduce Heat Island Effect



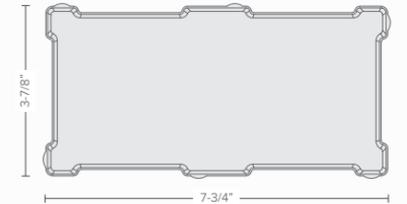
AQUA PAVERS

The benefits of Permeable Pavers are well documented, and their use by designers is encouraged. The United States Green Building Council (USGBC) recognizes Permeable Pavers as a Best Management Practice (BMP) to control quality and quantity of Stormwater Runoff. The USGBC Leadership in Energy and Environmental Design (LEED®) Green Building Rating System provides a variety of credits for projects that incorporate Permeable Paver Systems.



4X8 PERMEABLE

Dimensions:	4"x8"
Thickness	3-1/8" (80mm)
SF per Cube:	96
Cube Weight:	3300 lbs
Permeability:	9.6%

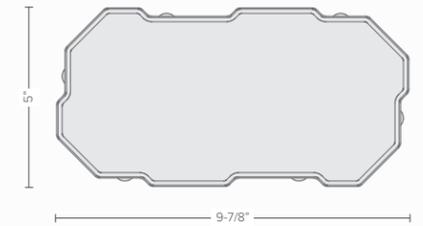


4X8 PERMEABLE



AQUA PAVER

Dimensions:	9-7/8"x5"
Thickness	3-1/8" (80mm)
SF per Cube:	92
Cube Weight:	2925 lbs
Permeability:	8.8%

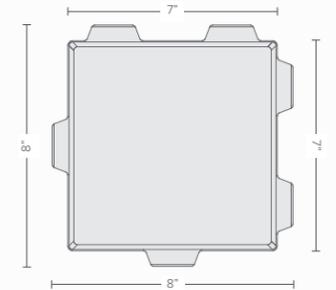


AQUA PAVER



SF RIMA

Dimensions:	8"x8"
Thickness	3-1/8" (80mm)
SF per Cube:	99
Cube Weight:	2900 lbs
Permeability:	7.5% - 10%

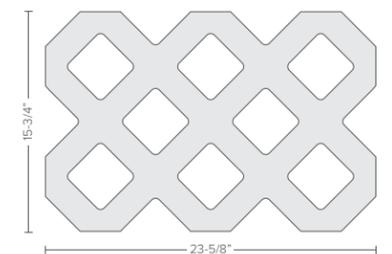


SF RIMA



TURF BLOCK

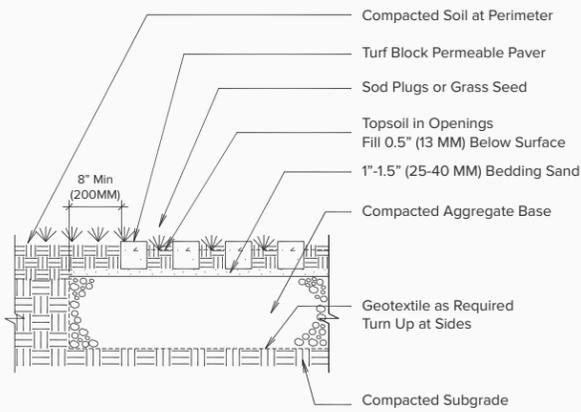
Dimensions:	23-5/8"x15-3/4"
Thickness	3-1/8" (80mm)
SF per Cube:	94
Cube Weight:	2200 lbs
Permeability:	40%



* Turf block only available in Natural Grey

TURF BLOCK

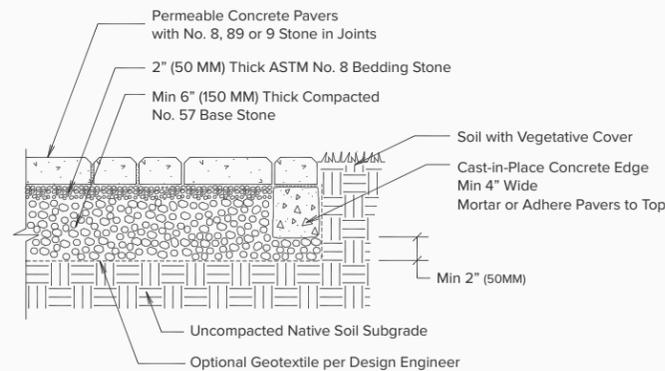
TURF BLOCK INSTALLATION



- BASE THICKNESS VARIES WITH TRAFFIC, CLIMATE AND SUBGRADE
- 6" MINIMUM BASE THICKNESS FOR RESIDENTIAL DRIVEWAYS
- 8" MINIMUM BASE THICKNESS FOR FIRELANES & PARKING LOTS

PERMEABLE PAVERS

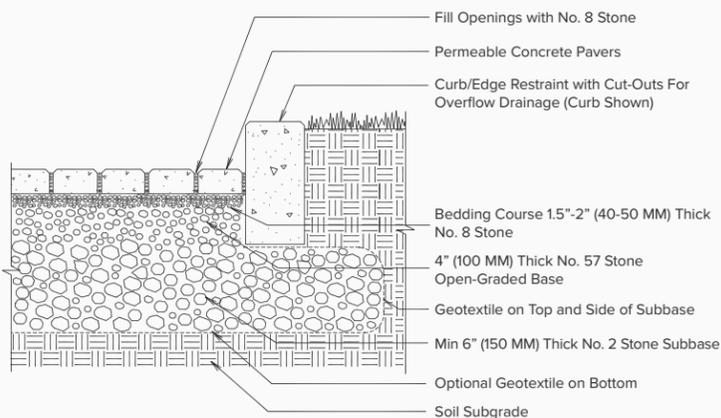
RESIDENTIAL & PEDESTRIAN INSTALLATION



- DESIGN, MATERIAL & CONSTRUCTION GUIDELINES TO FOLLOW ICPI SPECIFICATIONS
- PAVER SURFACES SLOP MAX 1%; SOIL SUBGRADE SLOPE MAX 0.5%
- THICKER BASE AND/OR DRAIN PIPES MAY BE REQUIRED IF PATIO RECEIVES RUNOFF FROM ADJACENT IMPERVIOUS SURFACES OR ROOFS
- CAST-IN-PLACE CONCRETE CURBS CAN BE WITHOUT PAVERS ON TOP. IN SUCH CASES, CURBS SHOULD BE LEVEL WITH CONCRETE PAVER FIELD.

PERMEABLE PAVERS

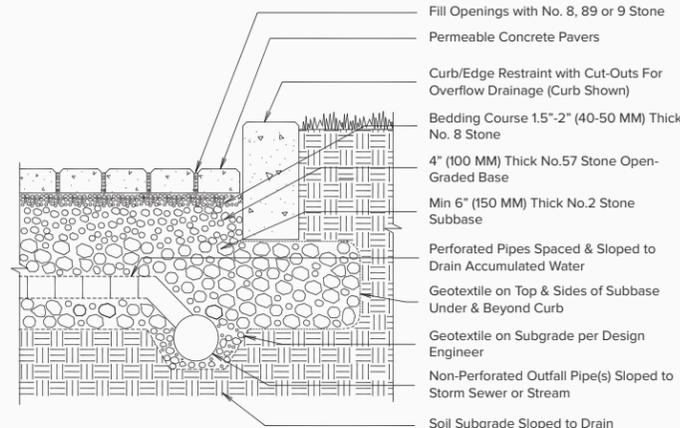
WITH FULL EXFILTRATION TO SOIL SUBGRADE



- NO. 2 STONE SUBBASE THICKNESS VARIES BY DESIGN (CONSULT ICPI SPECIFICATIONS)

PERMEABLE PAVERS

WITH PARTIAL EXFILTRATION TO SOIL SUBGRADE



- NO. 2 STONE SUBBASE THICKNESS VARIES BY DESIGN (CONSULT ICPI SPECIFICATIONS)
- NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE

STANDARD COLORS



CHARCOAL

GRANITE



NATURAL GREY

SPECIAL ORDER COLORS



AUTUMN BLEND

CAPPUCCINO

HERITAGE



OLD CHICAGO



SAND DUNE



SIERRA



4x8 PERMEABLE

4x8 Permeable Pavers have the appearance of a traditional pavers, but with oversized joints to allow for water to infiltrate through the sub base releasing into the ground below. This reduces run-off and helps filter the rain water as it is reintroduced back into the ground water supply. Produced in a 3-1/8" thickness, it can be used in both residential and heavy vehicular applications, and is compliant with the Americans with Disabilities Act.



Product Code	Dimensions	Thickness	SF per Cube	Cube Weight	Surface Permeability
EC03143	4"x8"	3-1/8" (80mm)	96	3300 lbs	9.6%

AQUA PAVER

With their beautiful unique shape, versatile design and superior permeability, Aqua Pavers are the ideal solution for eco-friendly hardscape design with optimum aesthetic appeal. Additionally, Aqua Pavers help protect the environment from dangerous pollutants in storm water run-off by allowing for the readmission of water into the ground naturally recharging the aquifer.



Product Code	Dimensions	Thickness	SF per Cube	Cube Weight	Surface Permeability
EC03145	9-7/8"x5"	3-1/8" (80mm)	92	2925 lbs	8.8%

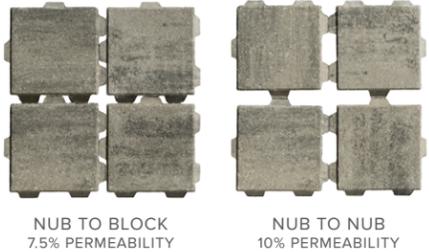


SF RIMA

SF Rima permeable pavers will reduce or eliminate storm water run-off, which decreases flooding and relieves sewer systems. With a 3-1/8" thick profile, SF Rima provides a sturdy surface for vehicular traffic, making it perfect for both residential and commercial uses. With the unique spacer design, SF Rima can be installed nub to block, or nub to nub for increased water drainage and turf growth.

Product Code	Dimensions	Thickness	SF per Cube	Cube Weight	Surface Permeability
EC04020	8"x8"	3-1/8" (80mm)	99	2900 lbs	7.5% - 10%

SF RIMA INSTALLATION OPTIONS



TURF BLOCK

Providing a permanent solution to soil erosion problems, Turf Block can be used in a wide variety of applications, from fire routes and parking areas to residential applications such as driveways and patios. Manufactured 3-1/8" thick, Turf Block provides a sturdy pavement for vehicular traffic that is perfect for both residential and commercial uses.

Product Code	Dimensions	Thickness	SF per Cube	Cube Weight	Surface Permeability
EC04040	23-5/8"x15-3/4"	3-1/8" (80mm)	94	2200 lbs	40%



* Turf Block only available in Natural Grey



TREMRON

WE MAKE IT EASY



JACKSONVILLE
2885 ST. CLAIR ST
JACKSONVILLE, FL 32254
(904) 359-5900

MIAMI
11321 NW 138TH ST
MEDLEY, FL 33178
(305) 825-9000

ARCADIA
3144 HIGHWAY 17 NE
ARCADIA, FL 34266
(863) 491-0990

LAKELAND
1030 AIRPORT RD
LAKELAND, FL 33811
(863) 603-0995

POMPANO
1251 NE 48TH ST
POMPANO BEACH, FL 33064
(954) 418-0000

ATLANTA
1436 MUNICIPAL PKWY
DOUGLASVILLE, GA 30134
(404) 968-8280



T R E M R O N . C O M



P2550 - Vast - 72 Inch Wide - Ceiling Fan - 1 Light - Handheld Remote - Damp Rated by Progress Lighting



Specs	
Family/Collection:	Vast
Blade Finish Shown:	White
Number of Blades:	8
Blade Pitch:	14°
Width/Diameter (in):	72.00"
Height:	16.75"
Shade Size:	7.88 x 7.13 x 7.13
Weight:	23.50 lbs.
Wire Length:	80.00"
# of Bulbs:	1
Standard Wattage:	18W
Bulb Type:	LED
Voltage Rating:	120V
Material:	Steel
Airflow (at high speed):	7982CFM
Electricity Use (at high speed - excludes lights):	28Watts
Airflow Efficiency (at high speed):	285CFM/Watt
Downrod Included:	TRUE
Bulbs Included:	Yes
Blades Included:	Yes
Control Included:	Handheld
Fan Light Kit:	Included

Style and Option 1



PermaCast® Square Porch Columns

The design and versatility of an HB&G square column have enhanced its popularity with today's

[Search for the product at a](#)

Product Description

Plain Square Sizes

Column Sizes	Lengths
6"	6, 8, 9, 10'
8"	6, 8, 9, 10, 12'
10"	51", 6, 8, 9, 10, 12, 14, 16'
12"	8, 9, 10, 12, 14, 16, 18'
14"	8, 10, 12, 14'
16"	8, 10, 12, 14, 16, 18, 20'

Fluted Sizes

Fluted Square Columns are available in certain sizes and add sophistication to your home. Please see the chart below for available sizes and lengths of the fluted column.

Column Size	Lengths
8"	8, 9, 10'
10"	10'

Recessed Panel Sizes

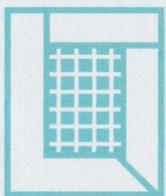
Recessed Panel columns are a great addition to a more traditional or contemporary setting. HB&G offers a wide variety of sizes to help complete your project.

Column Size	Lengths
8"	8, 9, 10'
10"	8, 9, 10'
12"	8, 9, 10, 12, 14'
14"	8, 10, 14'

Live Outside



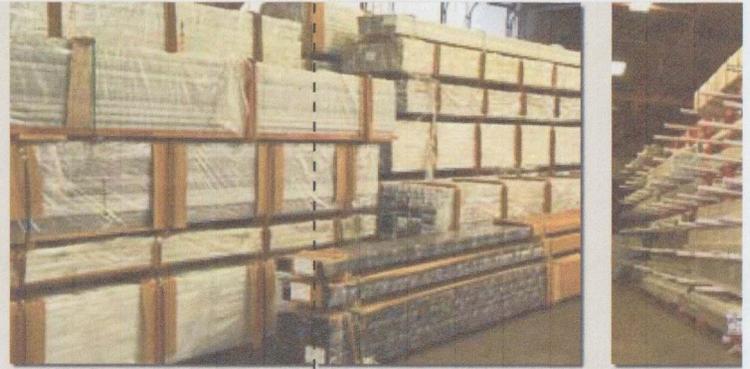
A Complete Line of Products for
Patio and Pool Enclosures



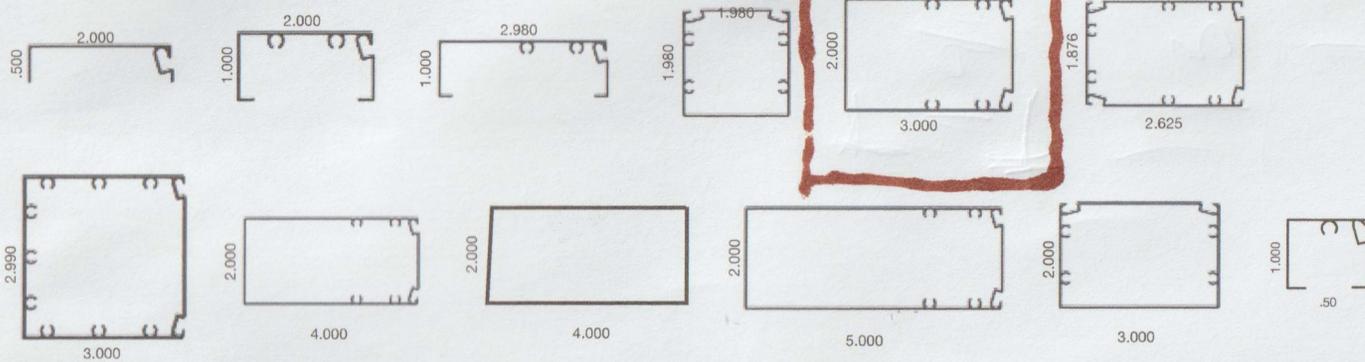
LANSING
PATIO & POOL ENCLOSURES

Extrusions

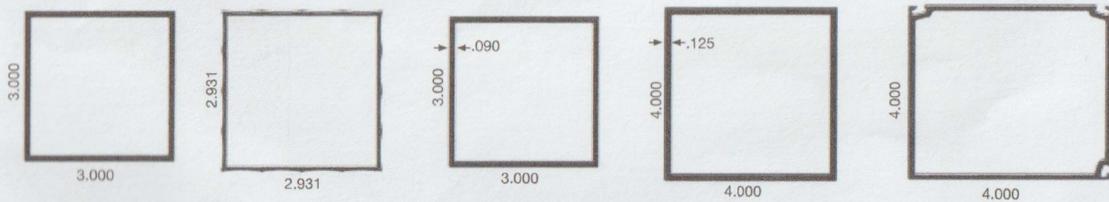
Lansing carries an expansive inventory so you can get the job done **quickly** and **on time**.



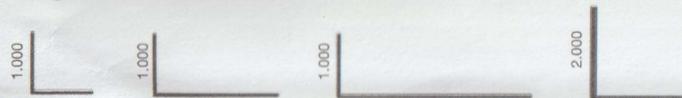
Patio Shapes



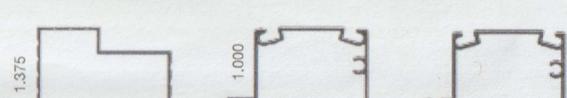
Square Tubes



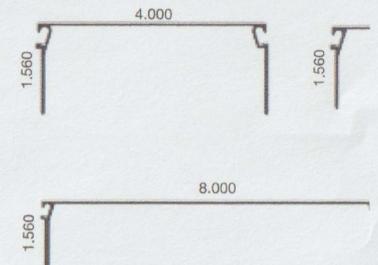
Angles



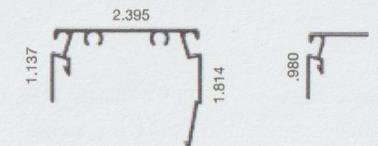
Door Jamb



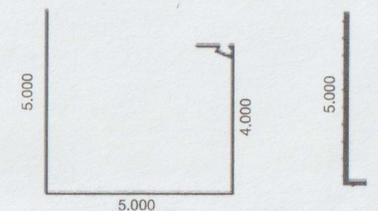
Self Mating Beams



Self Mating Snaps



Super Gutters



Clam Shell Awnings



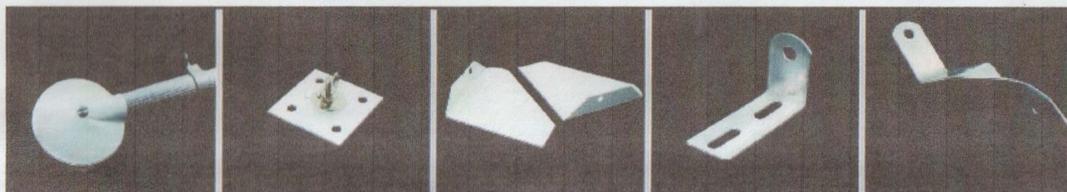
Custom-made to your color and size specifications, our aluminum awnings are the practical choice for protecting doors and windows from the elements. Affordable and long-lasting, they feature adjustable side arms that can be folded down for shade protection. Our unique slat panel design includes a side valance and full 1" cross members for added strength.

- Reduce summer cooling costs
- No maintenance enamel finish
- Resistant to chalking and fading

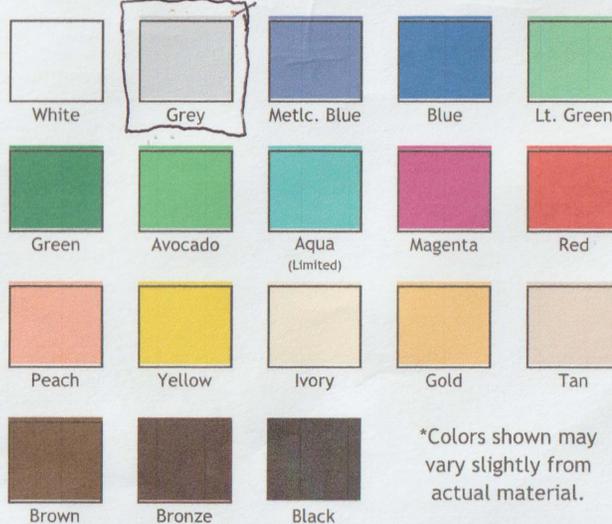
CREATE YOUR OWN LOOK

You can design your awnings in a solid color, select a base color and add accent stripes, or choose your own configuration. With such a wide variety of colors, the options are almost endless.

AWNING COMPONENTS



18 Colors to Choose From



*Colors shown may vary slightly from actual material.

Patio & E

All your fa



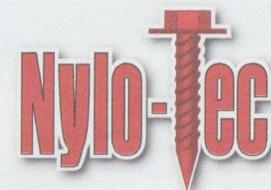
Miami-D
Excell
Specia
As str
High p



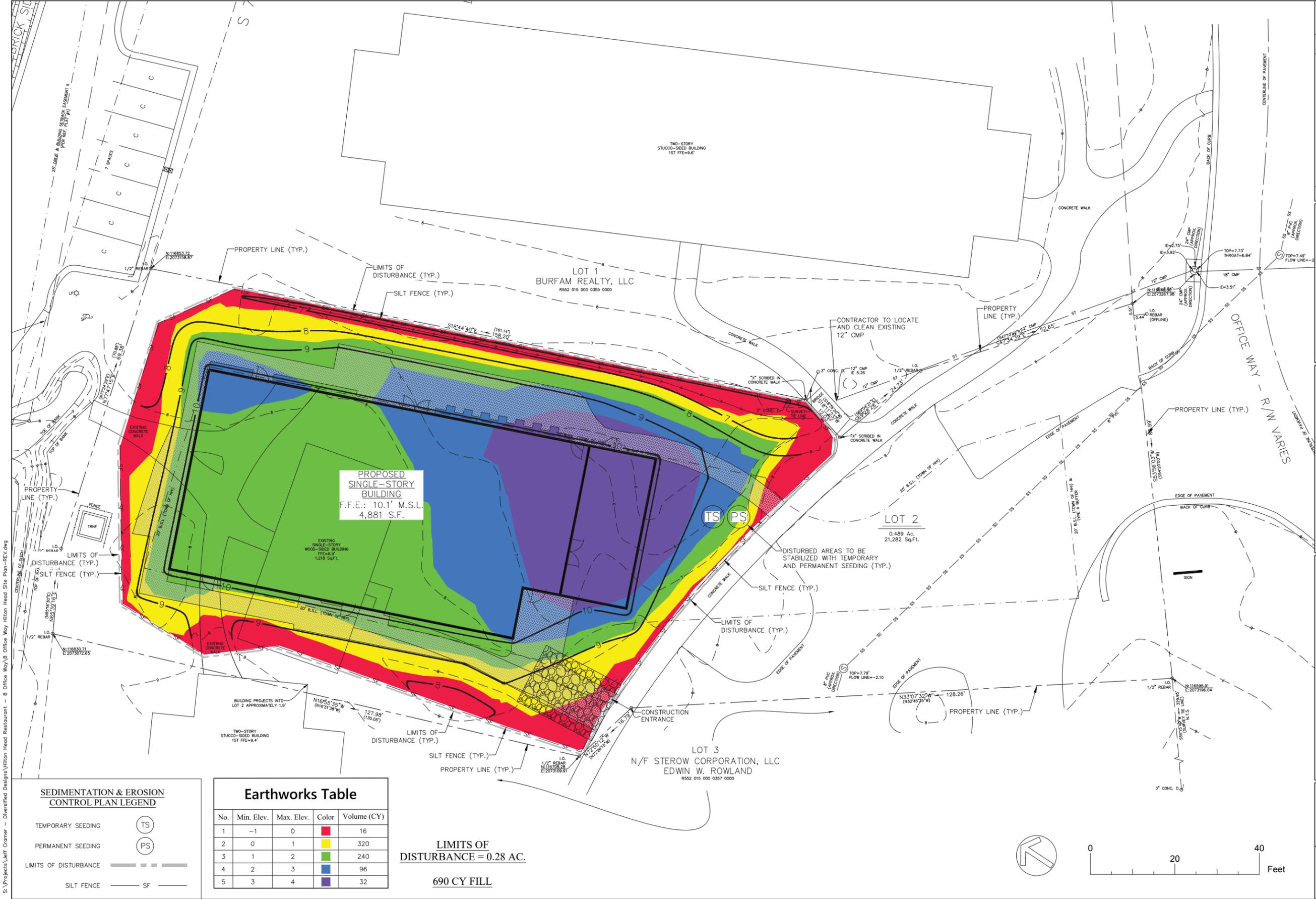
True M
Spe
Full
High



Uniq
Spe
Elir
Eas
UV s
Protect any



Nylo-T
Spec
High
Neve
A perfe



PROPOSED
SINGLE-STORY
BUILDING
F.F.E.: 10.1' M.S.L.
4,881 S.F.

SEDIMENTATION & EROSION CONTROL PLAN LEGEND

- TEMPORARY SEEDING (TS)
- PERMANENT SEEDING (PS)
- LIMITS OF DISTURBANCE (---)
- SILT FENCE (—SF—)

Earthworks Table

No.	Min. Elev.	Max. Elev.	Color	Volume (CY)
1	-1	0	Red	16
2	0	1	Yellow	320
3	1	2	Green	240
4	2	3	Blue	96
5	3	4	Purple	32

LIMITS OF DISTURBANCE = 0.28 AC.
690 CY FILL

REV.	REVISIONS	BY	DATE

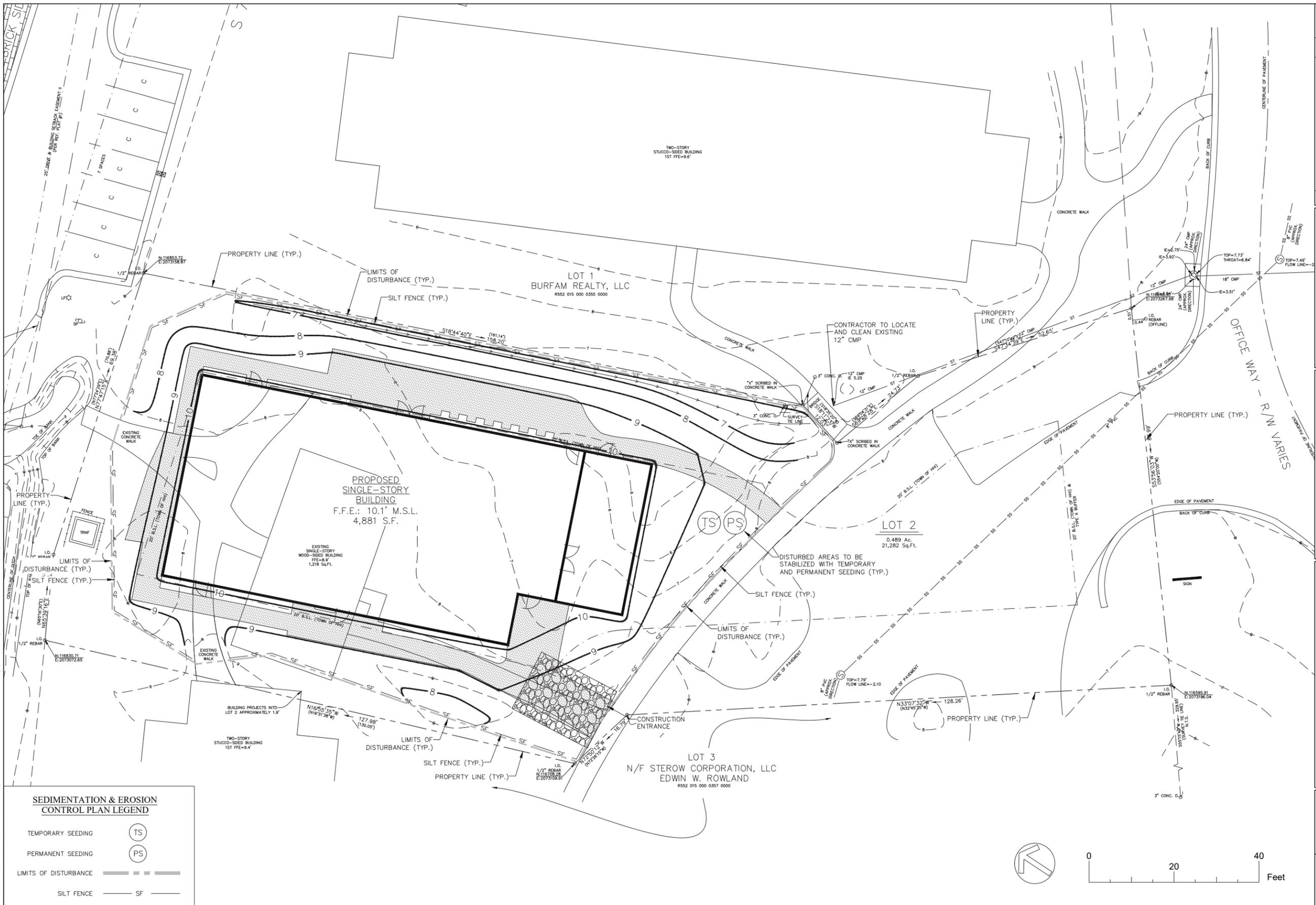
Pittman Engineering Co., LLC
2591 Hwy 17S Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

SITE PLAN
PROPOSED RESTAURANT
#8 OFFICE WAY - HILTON HEAD ISLAND, SC
Prepared For
DIVERSIFIED DESIGNS, P.C.

Project No. _____
Drawn By: MCS
Designed By: RAP
Checked By: RAP
Scale: 1"=10'
Date: 12/3/20

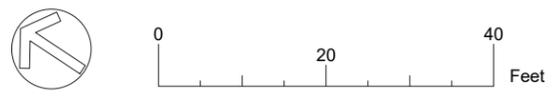
SHEET
1 OF 2

S:\Projects\Hilton Head Restaurant - 8 Office Way\8 Office Way Hilton Head Site Plan-REV.dwg



SEDIMENTATION & EROSION CONTROL PLAN LEGEND

TEMPORARY SEEDING	(TS)
PERMANENT SEEDING	(PS)
LIMITS OF DISTURBANCE	---
SILT FENCE	SF



REV.	REVISIONS	BY	DATE

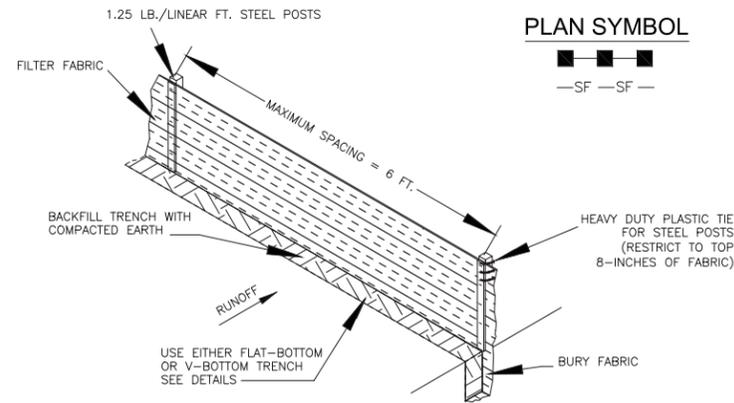
Pittman Engineering Co., LLC
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

SITE PLAN
PROPOSED RESTAURANT
#8 OFFICE WAY - HILTON HEAD ISLAND, SC
 Prepared For
DIVERSIFIED DESIGNS, P.C.

Project No. _____
 Drawn By: MCS
 Designed By: RAP
 Checked By: RAP
 Scale: 1"=10'
 Date: 12/3/20

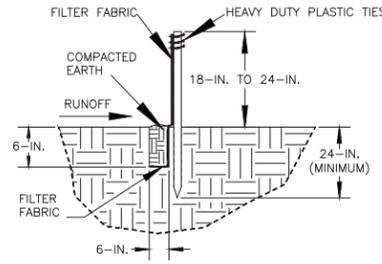
SHEET
1 OF 2

SILT FENCE INSTALLATION

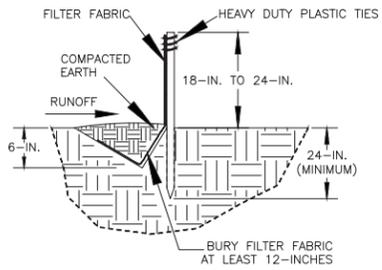


- SILT FENCE - GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

FLAT-BOTTOM TRENCH DETAIL



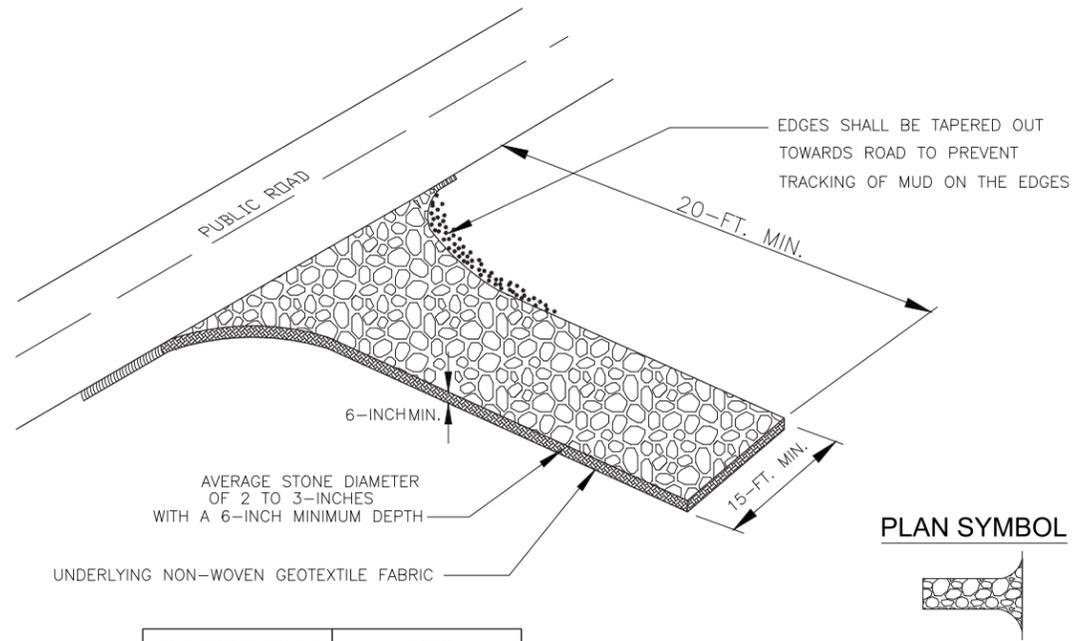
V-SHAPED TRENCH DETAIL



South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 Page 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE



SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	15 FEET
ROCK PAD LENGTH	20 FEET
ROCK PAD STONE SIZE	D50 = 2-3 INCHES

South Carolina Department of Health and Environmental Control

RESIDENTIAL LOT CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06A PAGE 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE

SILT FENCE - POST REQUIREMENTS

- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weigh 1.25 pounds per foot (± 8%)
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
- Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter Fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE - GENERAL NOTES

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 15-feet wide by 20-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control

RESIDENTIAL LOT CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06A PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

S:\Projects\Jeff Cranner - Diversified Design\Hilton Head Restaurant - 8 Office Way\8 Office Way Hilton Head Site Plan-REV.dwg

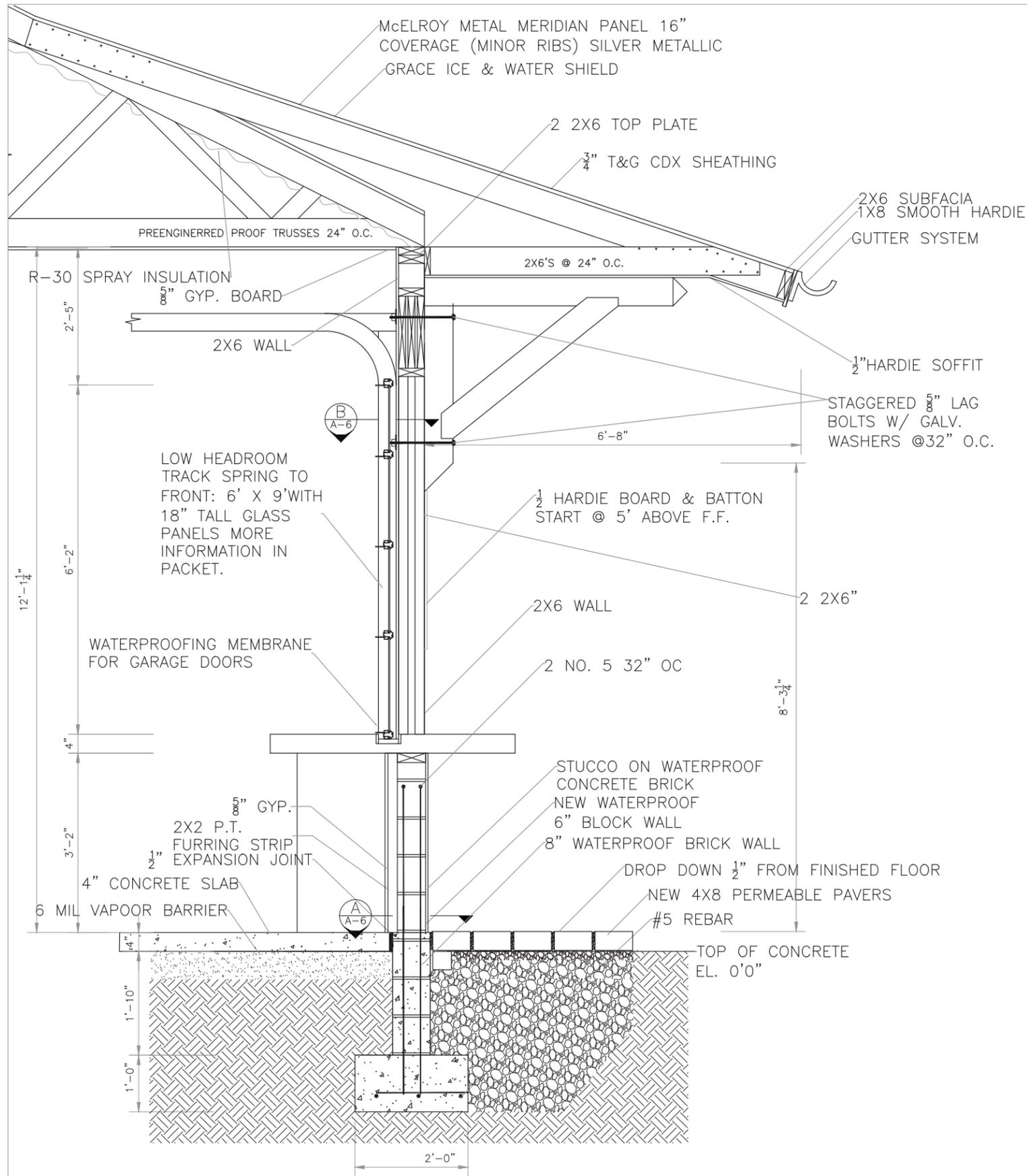
REV.	REVISIONS	BY	DATE

Pittman Engineering Co., LLC
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

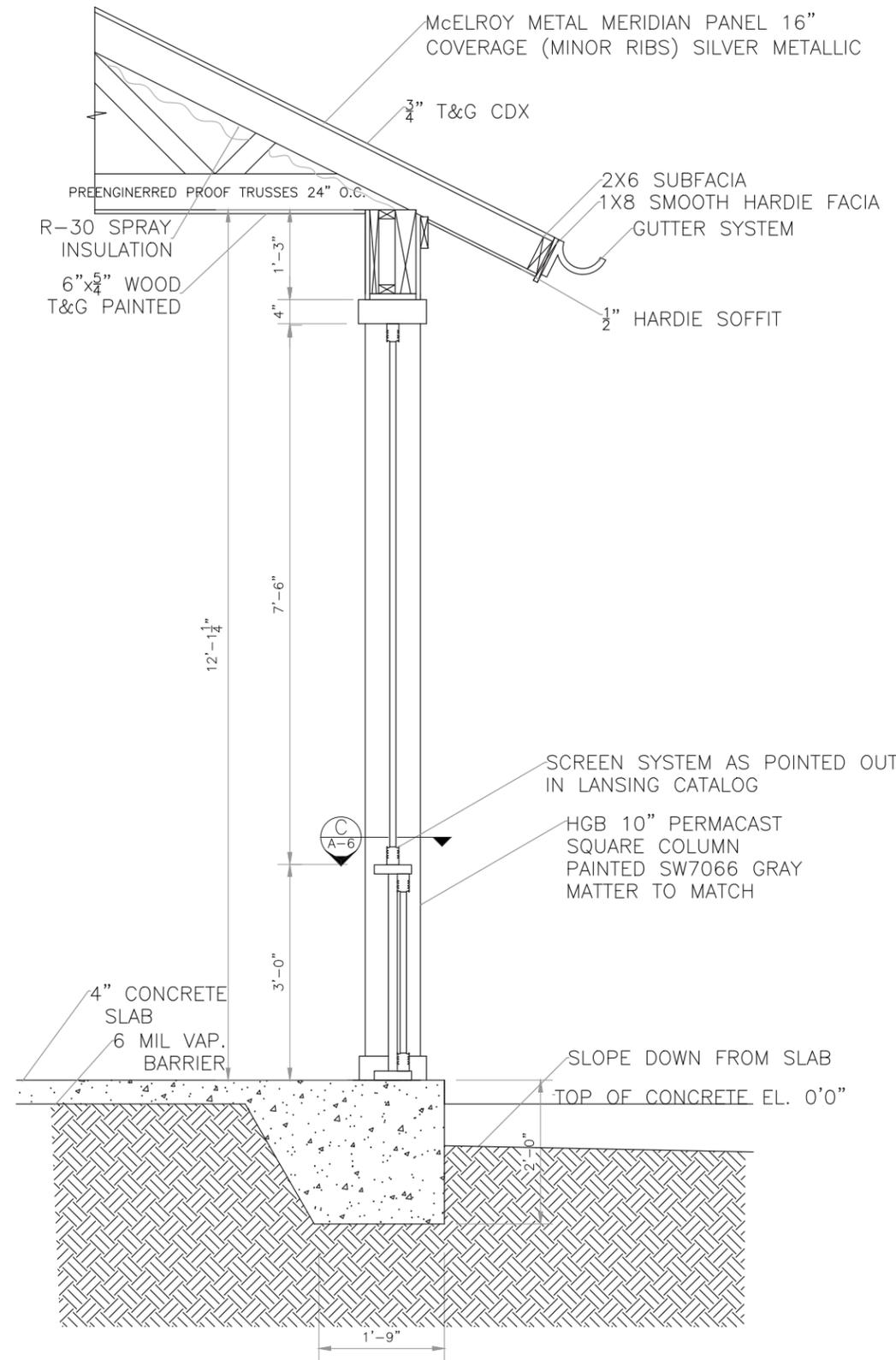
PROPOSED RESTURANT
 #8 OFFICE WAY - HILTON HEAD ISLAND, SC
 Prepared For
 DIVERSIFIED DESIGNS, P.C.

Project No. _____
 Drawn By: MCS
 Designed By: RAP
 Checked By: RAP
 Scale: N.T.S
 Date: 12/3/20

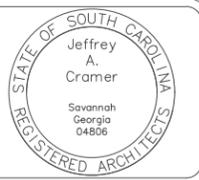
SHEET
2 OF 2



BAR WINDOW DETAIL (A) A-1
SCALE: 1"=1'-0"



SCREEN PORCH CONNECTION (B) A-1
SCALE: 1"=1'-0"



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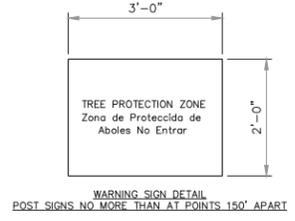
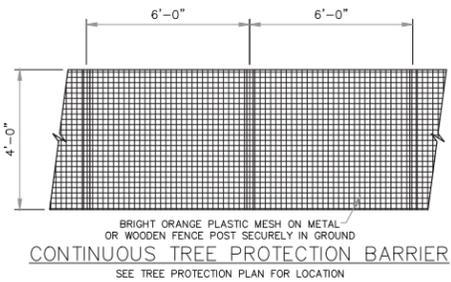
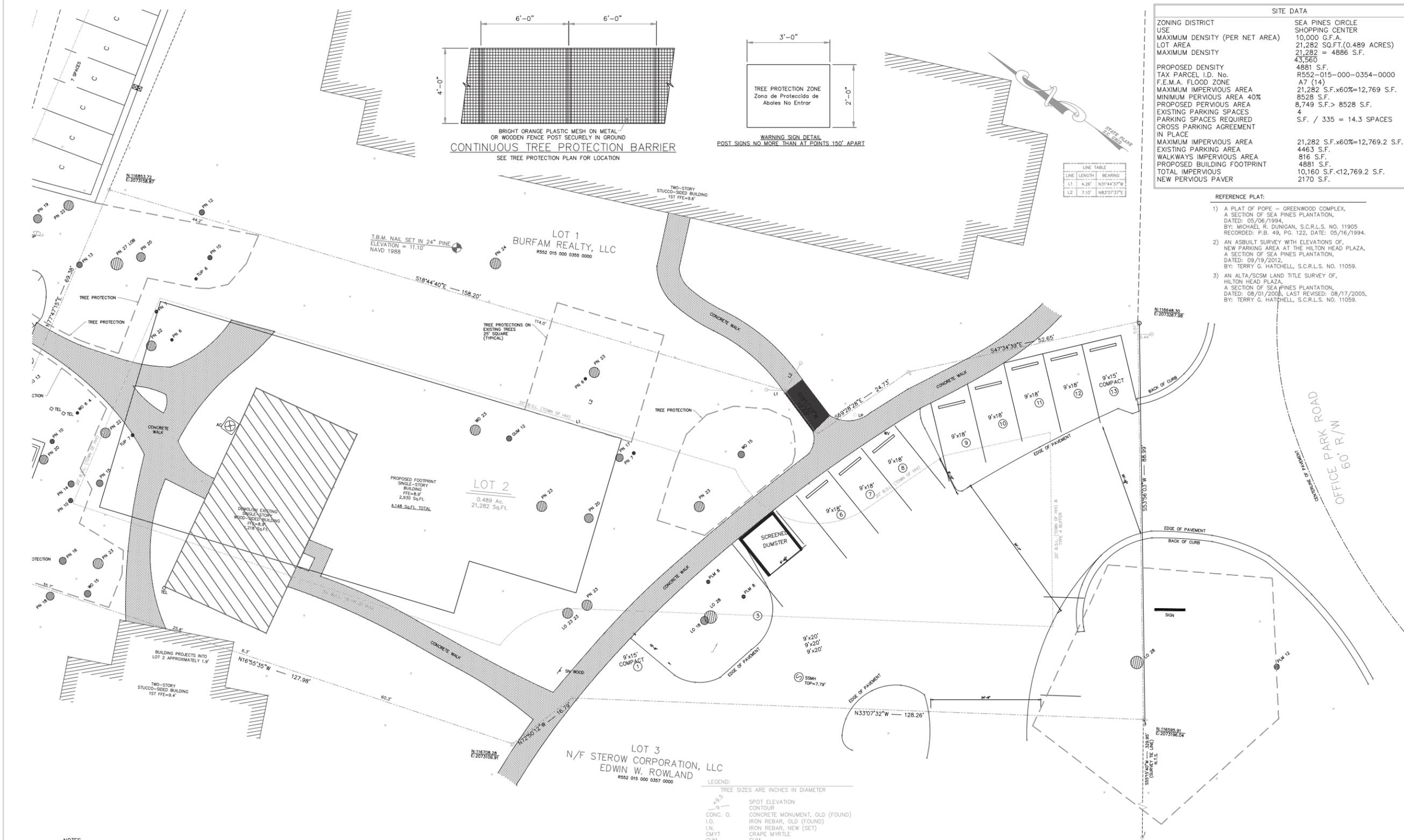
REVISIONS

DIVERSIFIED DESIGNS P.C.
P.O. BOX 1397, 11 JONES AVE.
TYBEE ISLAND, GA. 31328
EMAIL: diversifiedesigns@outlook.com
(912)786-7945 (600)858-4125
(912)786-7944 (912)786-7943 FAX

A PROPOSED RESTAURANT @
#8 OFFICE WAY
HILTON HEAD ISLAND, SC

DRAWN BY: JOEL MOSS
CHECKED BY:
DATE: 12/15/2020
SCALE: NOTED
PROJECT# 00_000_00

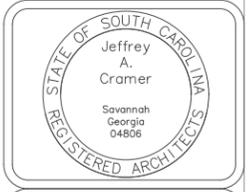
PERMIT SET A-5



LINE	LENGTH	BEARING
L1	4.26'	N31°44'37"W
L2	7.10'	N83°37'37"E

SITE DATA	
ZONING DISTRICT	SEA PINES CIRCLE
USE	SHOPPING CENTER
MAXIMUM DENSITY (PER NET AREA)	10,000 G.F.A.
LOT AREA	21,282 SQ.FT.(0.489 ACRES)
MAXIMUM DENSITY	21,282 = 4886 S.F. / 43,560
PROPOSED DENSITY	4881 S.F. / 0.489 ACRES
TAX PARCEL I.D. No.	R552-015-000-0354-0000
F.E.M.A. FLOOD ZONE	A7 (14)
MAXIMUM IMPERVIOUS AREA	21,282 S.F.x60%=12,769 S.F.
MINIMUM PERVIOUS AREA 40%	8528 S.F.
PROPOSED PERVIOUS AREA	8,749 S.F.> 8528 S.F.
EXISTING PARKING SPACES	4
PARKING SPACES REQUIRED	S.F. / 335 = 14.3 SPACES
CROSS PARKING AGREEMENT IN PLACE	
MAXIMUM IMPERVIOUS AREA	21,282 S.F.x60%=12,769.2 S.F.
EXISTING PARKING AREA	4463 S.F.
WALKWAYS IMPERVIOUS AREA	816 S.F.
EXISTING BUILDING FOOTPRINT	4881 S.F.
TOTAL IMPERVIOUS	10,160 S.F.<12,769.2 S.F.
NEW PERVIOUS PAVER	2170 S.F.

- REFERENCE PLAT:
- 1) A PLAT OF POPE - GREENWOOD COMPLEX, A SECTION OF SEA PINES PLANTATION, DATED: 05/06/1994, BY: MICHAEL R. DUNIGAN, S.C.R.L.S. NO. 11905 RECORDED: P.B. 49, PG. 122, DATE: 05/16/1994.
 - 2) AN ASBUILT SURVEY WITH ELEVATIONS OF NEW PARKING AREA AT THE HILTON HEAD PLAZA, A SECTION OF SEA PINES PLANTATION, DATED: 09/19/2012, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.
 - 3) AN ALTA/SCSM LAND TITLE SURVEY OF HILTON HEAD PLAZA, A SECTION OF SEA PINES PLANTATION, DATED: 08/01/2006, LAST REVISED: 08/17/2005, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.



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REVISIONS

DIVERSIFIED DESIGNS P.C.
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 TYBEE ISLAND, GA, 31328
 EMAIL: diversifieddesigns@outlook.com
 (912)786-7945 (600)858-4125
 (912)786-7944 (912)786-7943 FAX

DEMOLITION PLAN @ A PROPOSED RESTAURANT @ #8 OFFICE WAY HILTON HEAD ISLAND, SC

DRAWN BY: JOEL MOSS
CHECKED BY:
 DATE: 12/15/2020
 SCALE: NOTED
 PROJECT# 00_000_00
PERMIT SET D-1

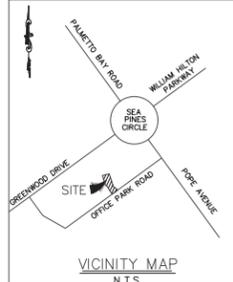
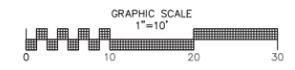
- NOTES
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - 2) AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A2, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-D, COMMUNITY NO. 450250 MAP DATED 09/29/1986, BASE ELEVATION 14.0' (NGVD 29 DATUM). FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - 4) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN AND ARE APPROXIMATE. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
 - 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - 6) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. IF THIS DOCUMENT IS TO BE PROVIDED AS A BASE MAP FOR OTHERS, INFORMATION ADDED AFTER THE DATE OF THIS SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - 7) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
 - 8) BOUNDARY LINES ARE BASED ON FIELD EVIDENCE AND MONUMENTATION FOUND. BEARINGS ARE BASED ON SOUTH CAROLINA STATE PLANE GRID. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE FROM REFERENCE PLAT #1.

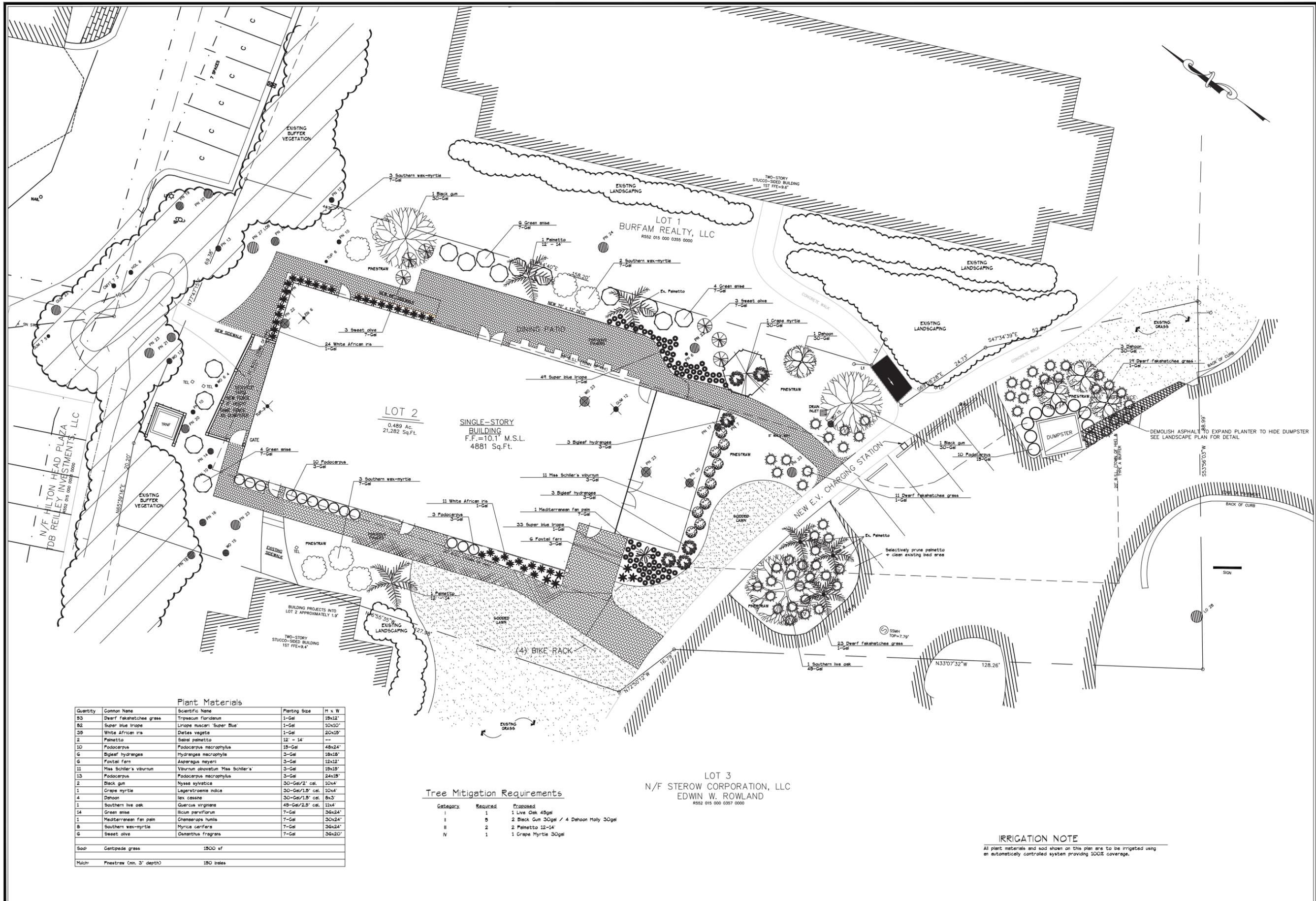
LEGEND:

○	TREE SIZES ARE INCHES IN DIAMETER
●	SPOT ELEVATION
—	CONTOUR
□	CONC. O.
○	LO.
—	LN.
○	CMYT
○	GUM
○	HOL
○	LO
○	FLM
○	PN
○	PN LOB
○	TUP
○	WO
○	AC
○	AC
○	FFE
○	LP
○	NTS
○	N/F
○	R/W
○	N/W
○	SMH
○	SN
○	TEL
○	TRNF
○	WV
○	PERVIOUS PAVERS

TREE DATA

21,282 LOT S.F. / 43,560 ACRE = 0.488 ACRE
60% LOT COVERAGE x 21,282 = 12,769 MAX. IMPERVIOUS
40% MIN. PERVIOUS AREA = 8528 S.F.
ACI REQUIRED = 900 PER ACRE OF PERVIOUS AREA 8528 S.F. (0.196 ACRE) x 900 ACI = 176.4 ACI
PRE-DEVELOPMENT ACI FROM TREE TALLY 309 DBH
POST-DEVELOPMENT FROM TREE TALLY 198 DBH
NO SUPPLEMENTAL PLANTING NEEDED





Plant Materials

Quantity	Common Name	Scientific Name	Planting Size	H x W
53	Deerf fakahatches grass	Tripsacum floridanum	1-Gal	15x12"
82	Super blue lriope	Liriope muscari 'Super Blue'	1-Gal	10x10"
39	White African iris	Iris versicolor	1-Gal	20x15"
2	Palmetto	Sabal palmetto	12' - 14'	---
10	Podocarpus	Podocarpus macrophyllus	18-Gal	48x24"
6	Bigeaf hydranges	Hydrangea macrophylla	3-Gal	18x18"
6	Foxtail fern	Asplenium platyneuron	3-Gal	12x12"
11	Mex Schiller's viburnum	Viburnum obtusatum 'Mex Schiller's'	3-Gal	15x15"
13	Podocarpus	Podocarpus macrophyllus	3-Gal	24x18"
2	Black gum	Nyssa sylvatica	30-Gal/2.5' cal.	10x4'
1	Grape myrtle	Lagerstroemia indica	30-Gal/1.5' cal.	10x4'
4	Dahoon	Ilex cassine	30-Gal/1.5' cal.	8x3'
1	Southern live oak	Quercus virginiana	48-Gal/2.5' cal.	11x4'
14	Green ense	Ilex parviflorum	7-Gal	36x24"
1	Mediterranean fan palm	Chamaerops humilis	7-Gal	30x24"
6	Southern wax-myrtle	Myrica caribaea	7-Gal	36x24"
B	Sweet olive	Osmarthus fragrans	7-Gal	36x20"
Sod:	Centipede grass	1500 sf		
Mulch:	Pinestraw (3" depth)	150 Inles		

Tree Mitigation Requirements

Category	Required	Proposed
I	1	1 Live Oak 45gal
II	5	2 Black Gum 30gal / 4 Dahoon Holy 30gal
III	2	2 Palmetto 12-14'
IV	1	1 Grape Myrtle 30gal

IRRIGATION NOTE
 All plant materials and sod shown on this plan are to be irrigated using an automatically controlled system providing 100% coverage.



Gum Tree Nursery
Snell & Associates Landscape Contractors Inc.
 Landscape Design Construction Maintenance
 104 Gumtree Road
 Hilton Head Island, SC 29926
 Tel: 843-681-3636
 Fax: 843-681-8383
 Email: tsnell@hargray.com

Landscape Plan
Fenn Iams Restaurant
 Lot 2 (#8) Office Way
 Hilton Head Island, South Carolina



Revisions:
 200106: adj patio +limuSB
 200428:adj walks/patios
 200603:adj plants per DRB
 200928:update site
 201023:-15WO +1Nysy/1lcca

Project #:
 GIL-19340
 By:
 MCS
 Scale:
 1"=10'
 Date:
 12-17-2019

Sheet #:
LS-1.0

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fern Iams Restaurant

DRB#: DRB-000876-2020

DATE: 01/03/21

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

AMISC COMMENTS/QUESTIONS

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- X _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

David Staigar

12/21/20

SIGNATURE

DATE

Greetings Board Members,

I am applying for alterations to our Main Central Office for Hargray Communications at the address 856F William Hilton Parkway, Hilton Head, SC.

The first change is to the south eyebrow, to remove the old cedar shake siding that is in disrepair and replace it with Hardie-plank siding. The siding will be installed in a clad plank style as shown in the data sheet and photo, with 4" vertical trim board at all corners that the siding will butt up to.

Second change will be the paint color of the whole building, the color of the building is a yellowish shade and we would like to change the color to Functional Grey SW# 7024.

This color was approved last year for the exterior of our building at 862A William Hilton Parkway and we also used the same color for our new Retail Store that we renovated in Bluffton and would like to continue to paint the exterior of all of our buildings as we upgrade and renovate.

I have included photos of the exciting color of the building and samples of the new color that we would like to paint, also the Hardie siding will be painted the same color as the whole building in the Functional Grey.

Thank you for your consideration of these changes, I look forward to hearing your input and decisions in this matter.

David Staigar

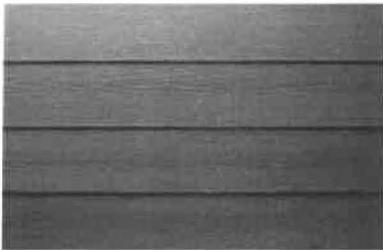
Facilities & Construction Supervisor

Hargray Communacations.

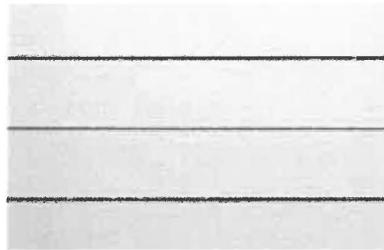
HardiePlank® Lap Siding Product Description

HardiePlank lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie® product dealer for product availability. HardiePlank® lap siding comes in 12-ft. lengths. Nominal widths from 5 1/4 in. to 12 in. create a range of exposures from 4 in. to 10 3/4 in.

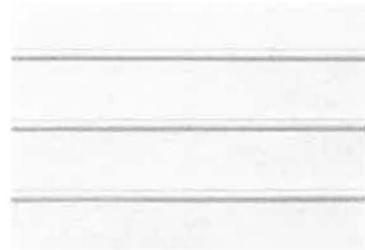
HardiePlank lap siding is also available with ColorPlus® Technology as one of James Hardie's prefinished products. ColorPlus Technology is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products. See your local dealer for details and availability of products, colors and accessories.



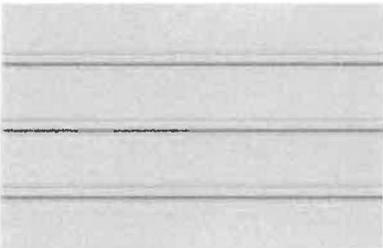
Cedarmill®



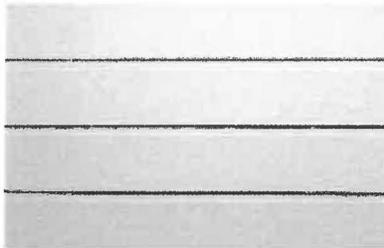
Smooth



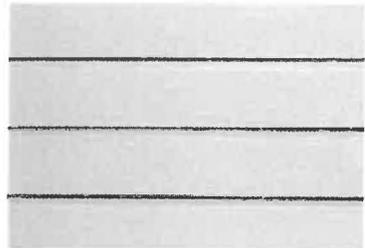
Beaded Cedarmill®



Beaded Smooth



Colonial Roughsawn



Colonial Smooth



Installation of HardiePlank® Lap Siding

General Product Information

Working Safely

Tools for Cutting and Fastening

General Installation Requirements

General Fastener Requirements

Finishing and Maintenance

HardieWrap® Weather Barrier

HardieTrim® Boards/Battens

HardieSoffit® Panels

HardiePlank® Lap Siding

HardieShingle® Siding

HardiePanel® Vertical Siding

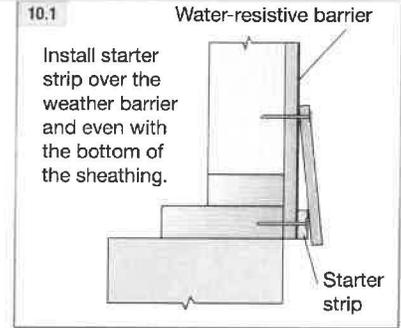
Appendix/Glossary

ESR-1844 & 2290 Report

INSTALL A STARTER STRIP

HardiePlank® lap siding requires a starter strip beneath the first course to set it on the proper angle and to create a proper drip edge at the bottom of the siding. Starter strips are easily made by ripping 1¼-in. pieces of HardiePlank siding from full or partial planks.

The bottom of the starter strip should be installed even with the bottom of the mudsill or the bottom edge of the sheathing. The strip must be installed over the water-resistive barrier, but occasional gaps should be left in the starter strip to allow any accumulated moisture behind the siding to drain away safely.



10.1

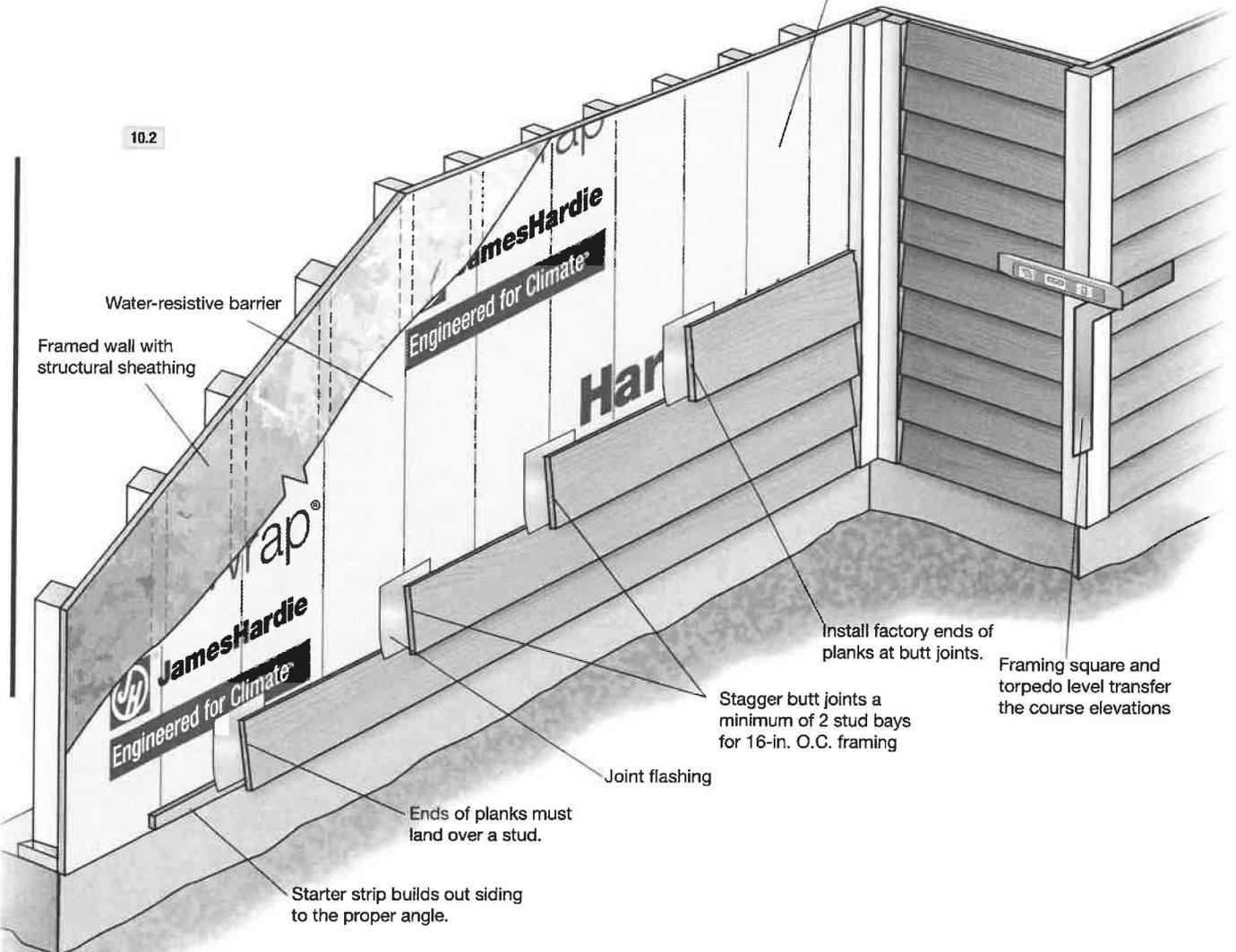
Water-resistive barrier

Install starter strip over the weather barrier and even with the bottom of the sheathing.

Starter strip

OVERVIEW OF HARDIEPLANK LAP SIDING

TIP: For accurate fastening, snap vertical chalk lines on the water-resistive barrier at the center of every stud location.



10.2

Water-resistive barrier

Framed wall with structural sheathing

JamesHardie
Engineered for Climate

HardiePlank

HardieWrap

JamesHardie
Engineered for Climate

Install factory ends of planks at butt joints.

Stagger butt joints a minimum of 2 stud bays for 16-in. O.C. framing

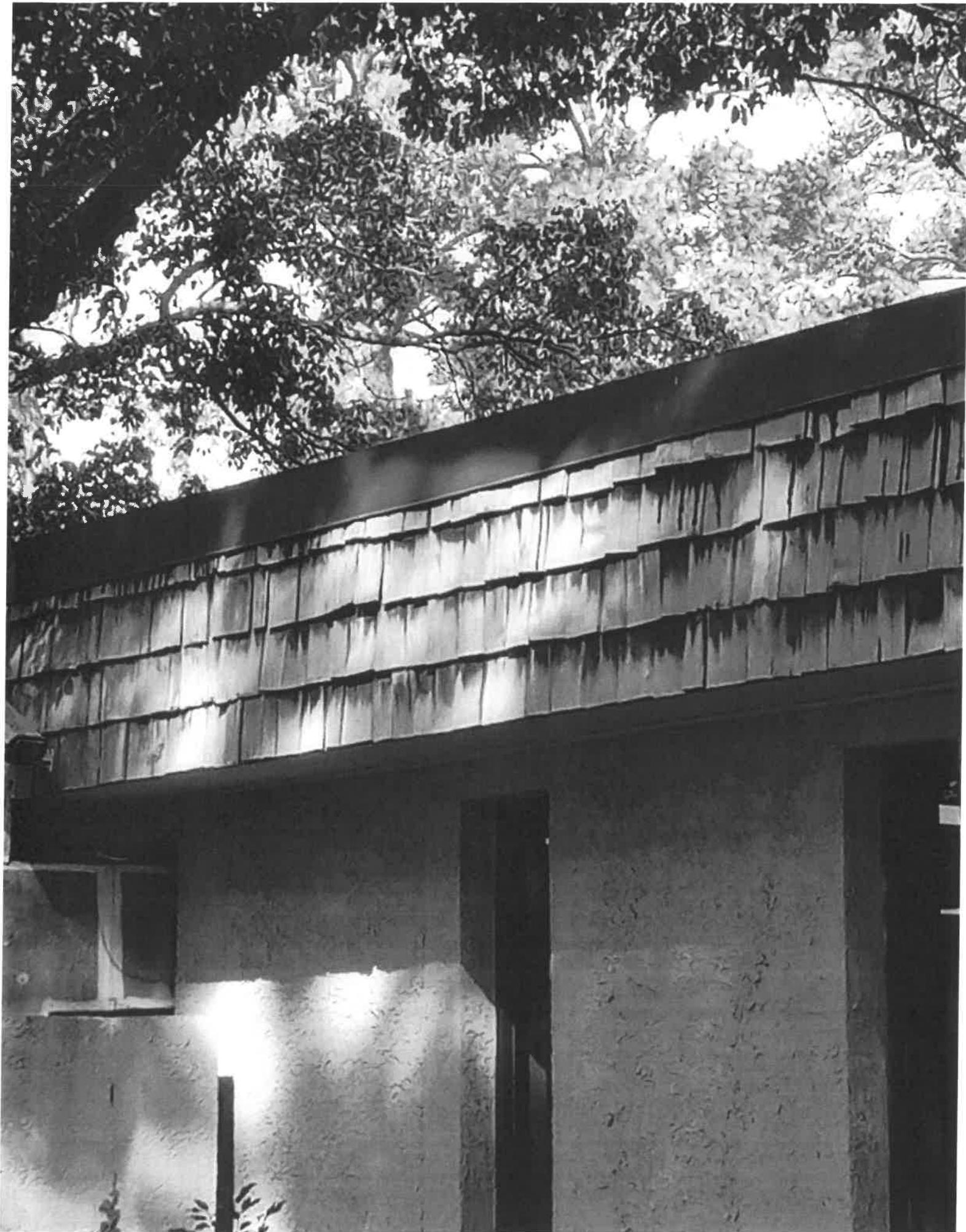
Framing square and torpedo level transfer the course elevations

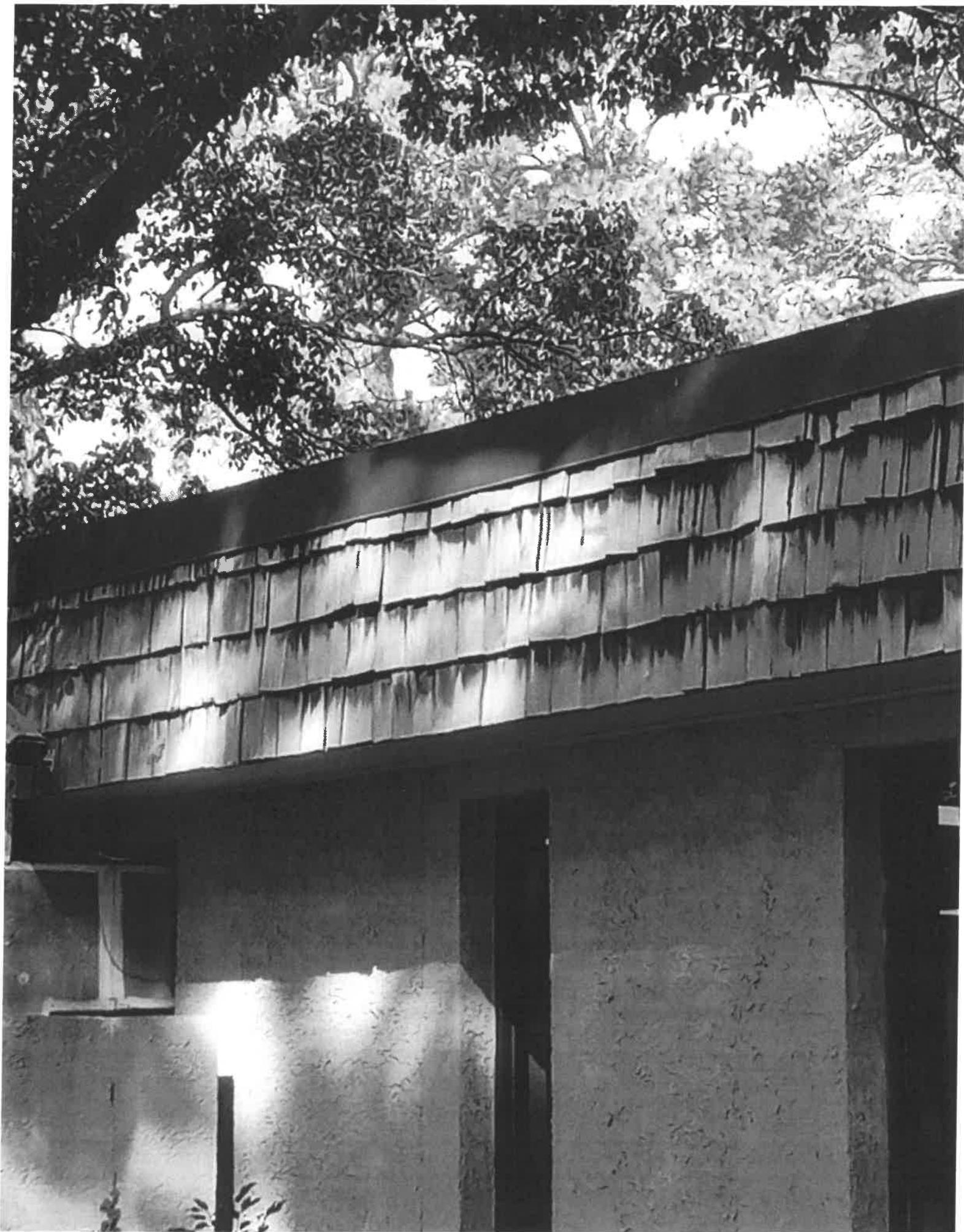
Joint flashing

Ends of planks must land over a stud.

Starter strip builds out siding to the proper angle.







DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hargray Bldg. Repaint

DRB#: DRB-002611-2020

DATE: 01/03/2021

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<i>MISC COMMENTS/QUESTIONS</i>
The replacement of the wood shingles with lap siding is inconsistent with the architecture of the building. The “eyebrow” should be finished in a manner more in keeping with that architectural element. The applicant should consider vertical siding, board and batten or horizontal siding, shingle or shake.
Staff recommends approval of SW 7024 Functional Gray.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Grayco Project Address: Lot 30 Archter Rd.
 Parcel Number [PIN]: R 5 5 2 0 1 4 0 0 0 0 7 7 0 0 0 0 0
 Zoning District: Community Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11.23.20

DATE



November 23, 2020

Town of Hilton Head Island Design Review Board
One Town Center Court
Hilton Head Island, SC 29928

Project Narrative for Grayco

The attached project is for the addition of a lumber rack on the back side of the Grayco building on Palmetto Bay Road.

This is a pre-engineered structure that will go on top of the existing paved parking lot and will have a chain link fence to match the structure that encloses this space. We are also providing a landscaping elevation to show supplemental landscaping along the side.

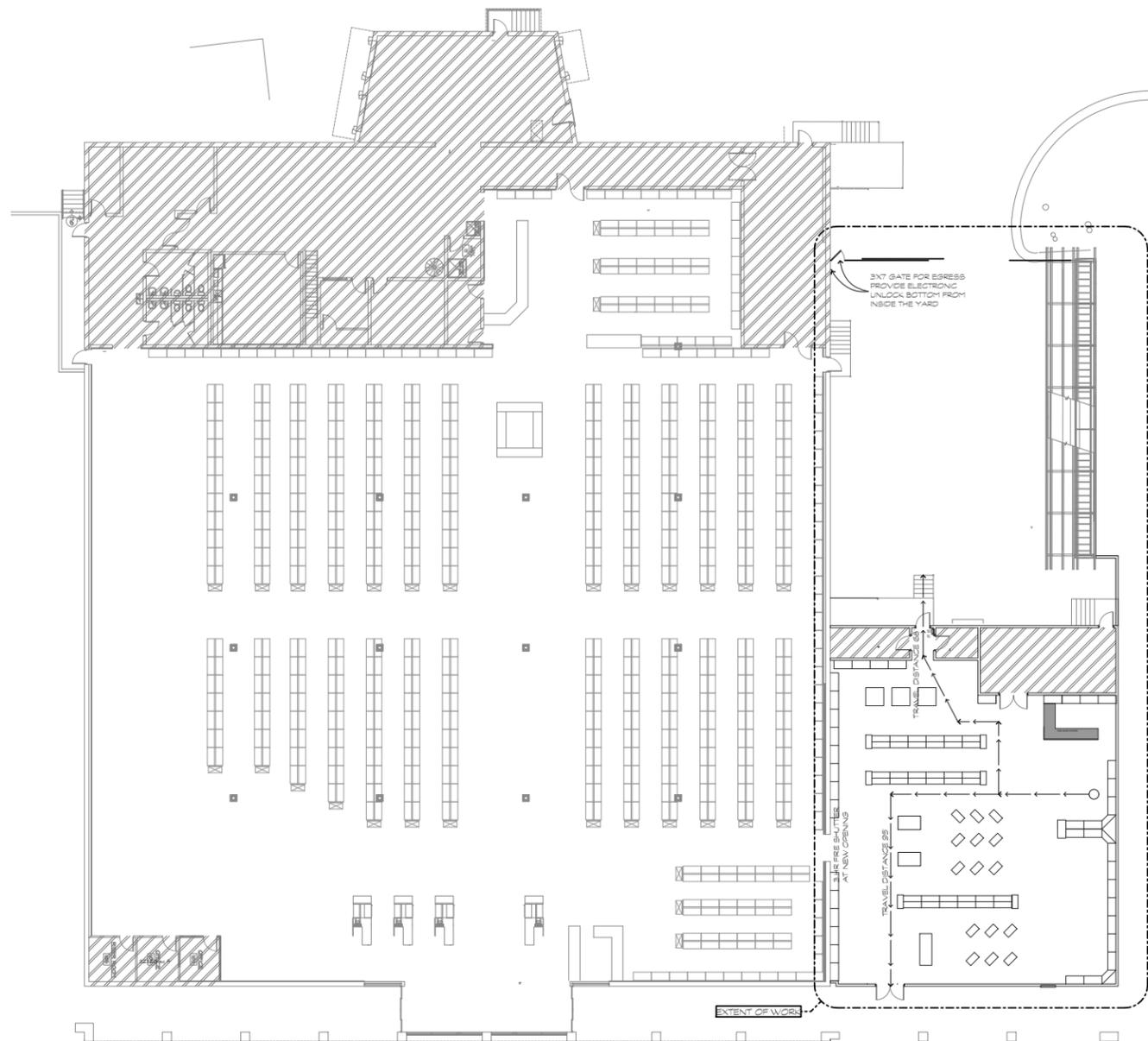
Thank you for your time and consideration of this project

A handwritten signature in blue ink, appearing to read 'T. Probst', with a long horizontal stroke extending to the right.

Timothy C. Probst, AIA NCARB



U Panel



FLOOR PLAN

SCALE: 1/16"=1'-0"

1
C-0

INDEX OF DRAWINGS:

ARCHITECTURAL:

- C0 COVER SHEET
- S.1 SITE PLAN
- A.1 FLOOR PLAN
- A2 ELEVATIONS & BATHROOM PLAN
- A3 SECTION AND DETAILS

PROJECT TEAM

ARCHITECT:

PARKER DESIGN GROUP/ ARCHITECTS
 10 PALMETTO BUSINESS PARK SUITE 201
 HILTON HEAD, SC 29928
 843-785-5171
 EMAIL: TIM@PDG-ARCHITECTS.COM

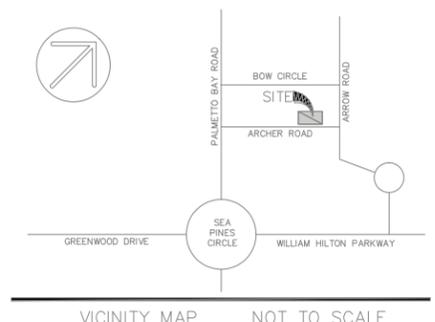
MEP:

DALON ENGINEERING LLC (CLAY DALON)
 2611 SOUTHSIDE BLVD.
 BEAUFORT, SC 29902
 843-271-6011
 EMAIL: CDALON@DALONENGINEERING.COM



A Tenant Upfit For:
Grayco
 Lot #30 Archer Road
 Hilton Head Island, S.C.

VICINITY PLAN



CODE ANALYSIS:

SCOPE OF WORK:
 THIS PROJECT CONSISTS OF COMBINING (2) MERCANTILE SPACES, (1) THAT IS SPRINKLED AND (1) THAT IS NOT WITH AN OPENING AND 3 HR SHUTTER. ADDING A FENCED IN YARD AND LUMBER STORAGE IN THE REAR OVER EXISTING PARKING LOT.

DESCRIPTON:
 1 STORY PRE MANUF. METAL BUILDING WITH WOOD STUD WALLS. PORTION OF THE BUILDING HAS WOOD WALLS AND ROOF STRUCTURE

Design Criteria for Code Compliance as of: IBC 2018
 Occupancy: **MERCANTILE**
 Type of Construction: 2B
 Sprinkler: NO/ YES

OCCUPANCY KEY

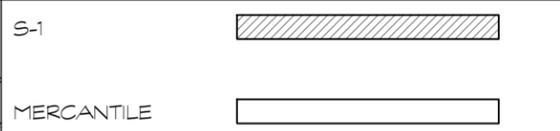


TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	WITHOUT SPRINKLER	WITH SPRINKLER
STORAGE	200 FEET	250 FEET
MERCANTILE	200 FEET	300 FEET

TABLE 803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP	SPRINKLED		
	INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP	ROOMS AND ENCLOSED SPACES
S-1	C	C	C
M	B	C	C
GROUP	NON SPRINKLED		
	INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP	ROOMS AND ENCLOSED SPACES
S-1	B	B	C
M	A	B	C

OCCUPANCY CALCULATIONS

USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
SPRINKLED			
STORAGE S-1	300 GROSS	6,930	23
MERCANTILE	60 GROSS	25,080	418
TOTAL			441
NON SPRINKLED			
STORAGE S-1	300 GROSS	690	2
MERCANTILE	60 GROSS	5,295	88
TOTAL			90
BUILDING TOTAL			528

PLUMBING CALCULATION

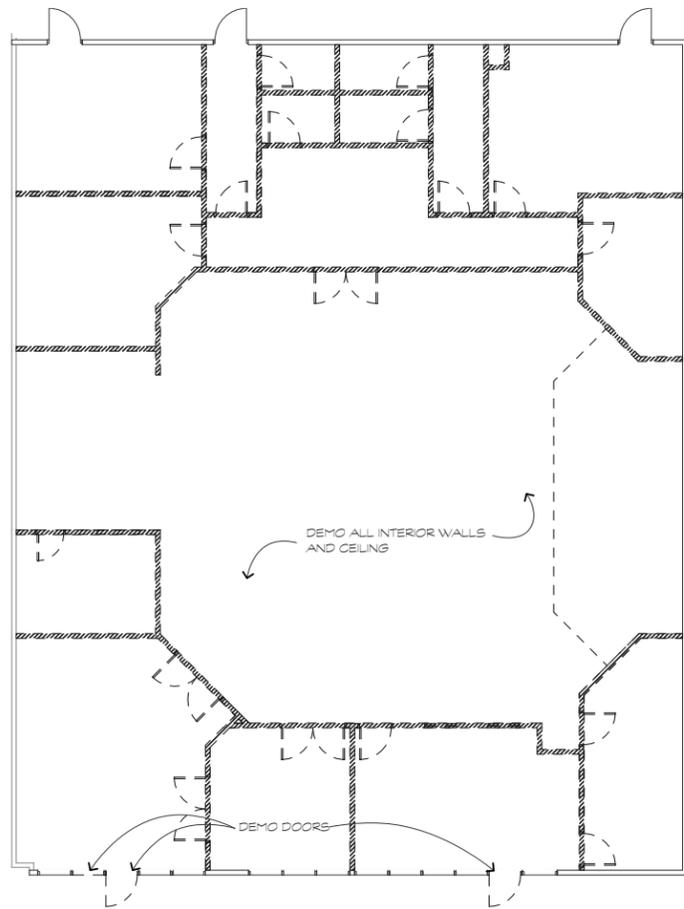
OCCUPANCY	TOTAL	MALE WATERCLOSET REQUIRED	MALE WATERCLOSET PROVIDED	FEMALE WATERCLOSET REQUIRED	FEMALE WATERCLOSET PROVIDED	MALE LAV. REQUIRED	MALE LAV. PROVIDED	FEMALE LAV. REQUIRED	FEMALE LAV. PROVIDED	MOP SINK REQ.	MOP SINK PROVIDED	D.F. REQ.	D.F. PROVIDED
BUILDING PORTION 1													
STORAGE S-1	25	.25		.25		.25		.25					
MERCANTILE	506	5		5		.65		.65					
TOTAL		.75	3	.75	3	.90	2	.90	2	1	1	1	1

ALLOWABLE BUILDING AREAS (Table 506.2):

Building Floor Areas:	Actual	Allowed
BUILDING PORTION 1		
STORAGE S-1 (SPRINKLED)	6,930 sqft	70,000 sqft
MERCANTILE (SPRINKLED)	25,080 sqft	50,000 sqft
TOTAL	32,010 sqft	50,000 sqft
STORAGE S-1 (NON SPRINKLED)	690 sqft	17,500 sqft
MERCANTILE (NONSPRINKLED)	4,605 sqft	12,500 sqft
TOTAL	5,295 sqft	12,500 sqft

REVISIONS	DATE

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CHECKED BY
 DATE
 12/28/20
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C.0
 OF SHEETS



DEMO PLAN

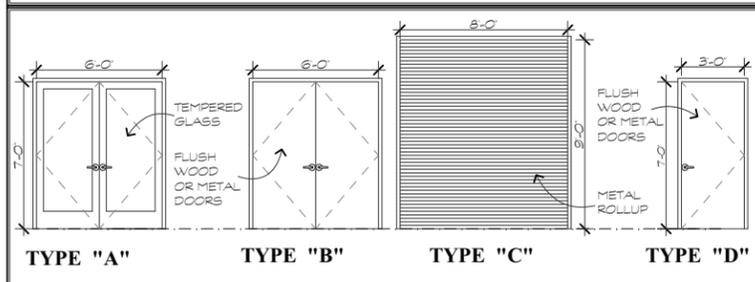
SCALE: 1/4"=1'-0"

2
A-1

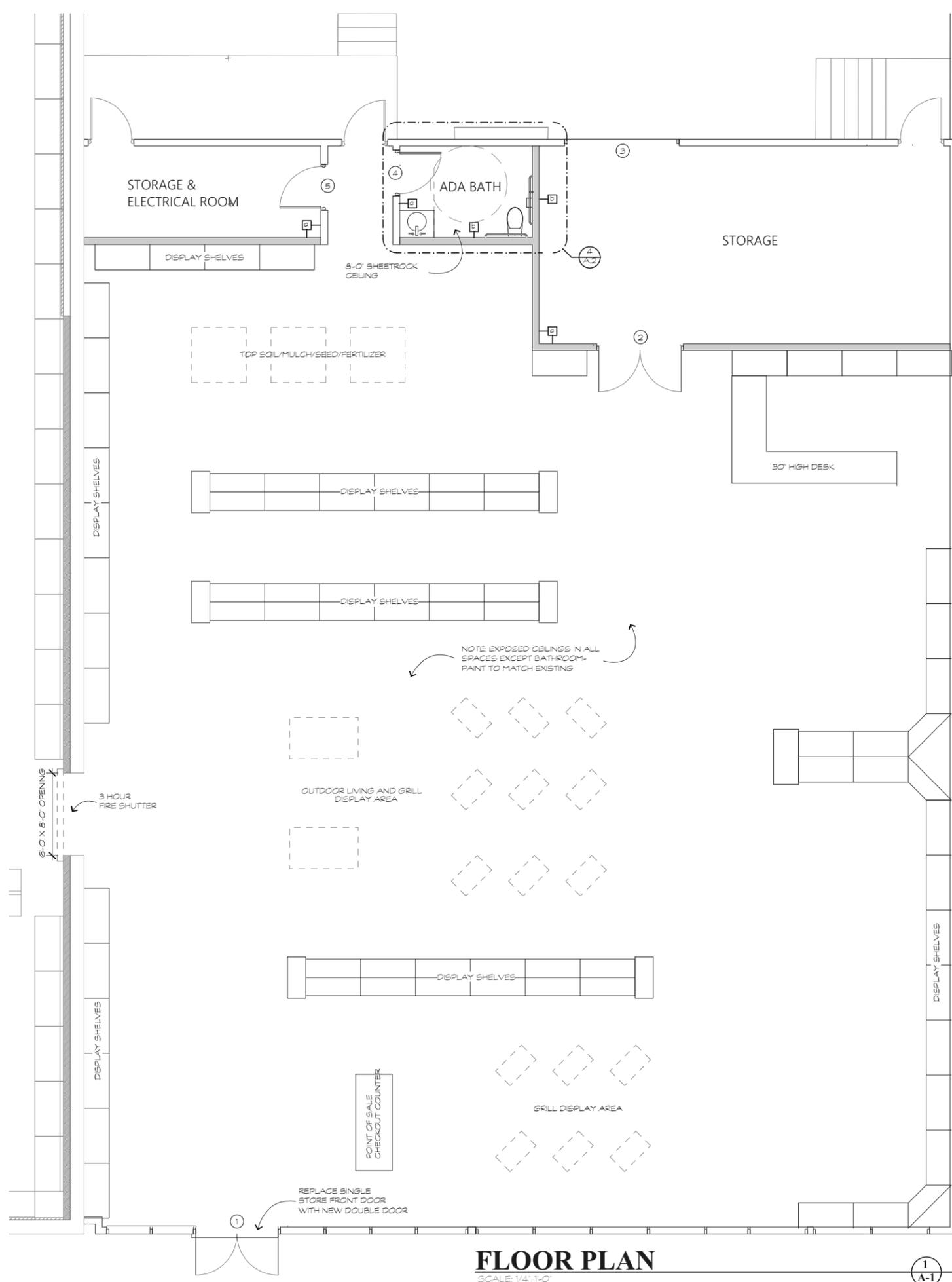
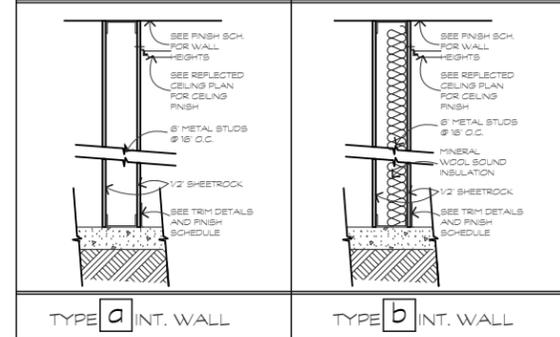
DOOR & FRAME SCHEDULE

MARK	DOOR			Material / Finish	DOOR TYPE	FRAME		FIRE RATING	REMARKS
	Size	W	H			Mat.	Jamb depth		
1	6'-0"	7'-0"		ALUM	A	METAL		NA	
2	6'-0"	7'-0"	1 3/4"	WOOD	B	METAL		NA	
3	8'-0"	9'-0"		METAL	C	METAL		NA	
4	3'-0"	7'-0"	1 3/4"	WOOD	D	METAL		NA	
5	3'-0"	7'-0"	1 3/4"	WOOD	D	METAL		NA	

DOOR & FRAME ELEVATIONS



WALL KEY AND DETAILS



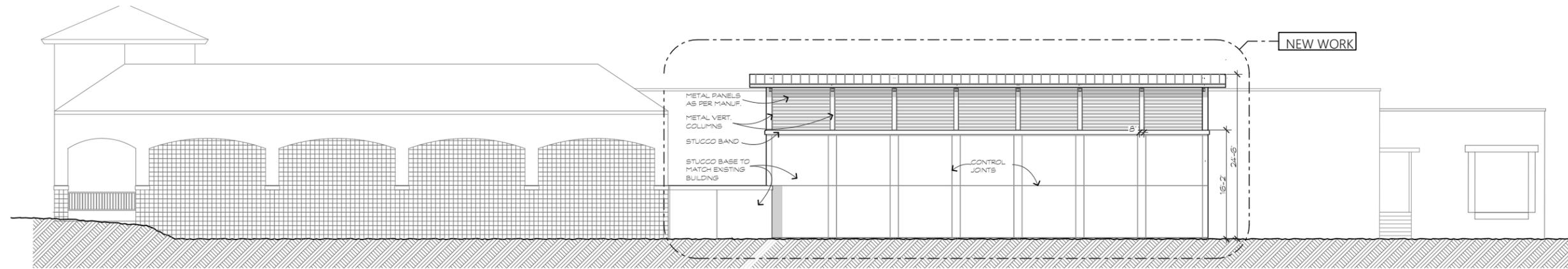
FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A-1

REVISIONS	DATE

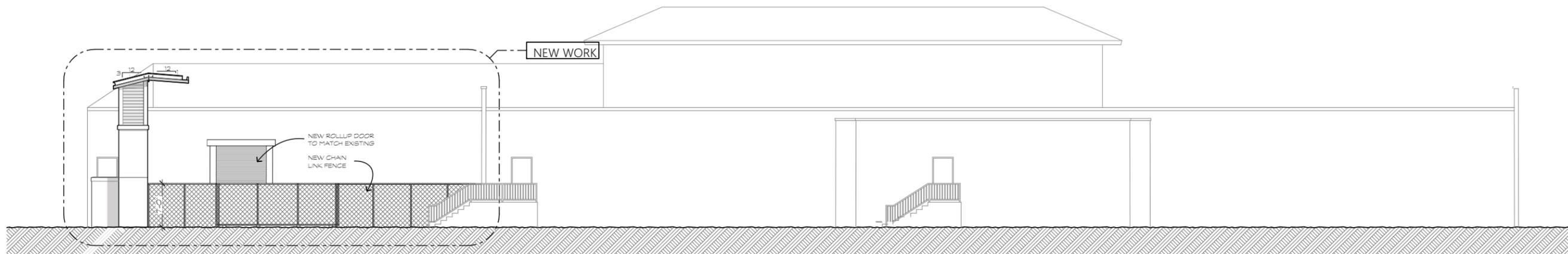
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DATE	12/28/20
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A-1	
OF SHEETS	



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"

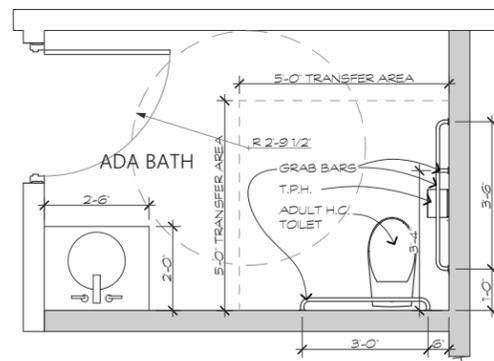
1
A-2



REAR ELEVATION

SCALE: 1/8"=1'-0"

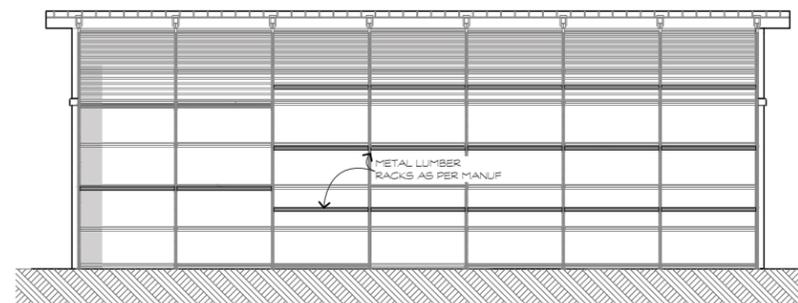
2
A-2



BATH PLAN

SCALE: 1/2"=1'-0"

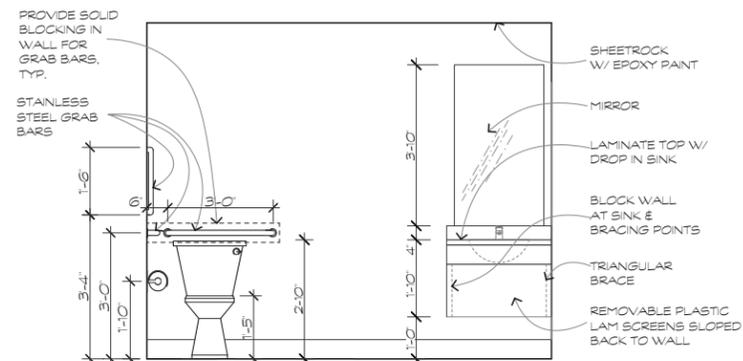
4
A-2



LUMBER YARD SIDE ELEV.

SCALE: 1/8"=1'-0"

3
A-2



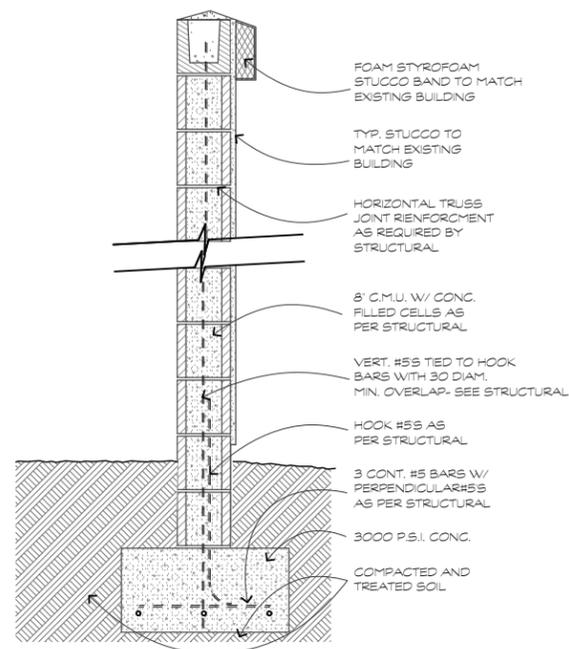
BATH ELEVATION

SCALE: 1/2"=1'-0"

5
A-2

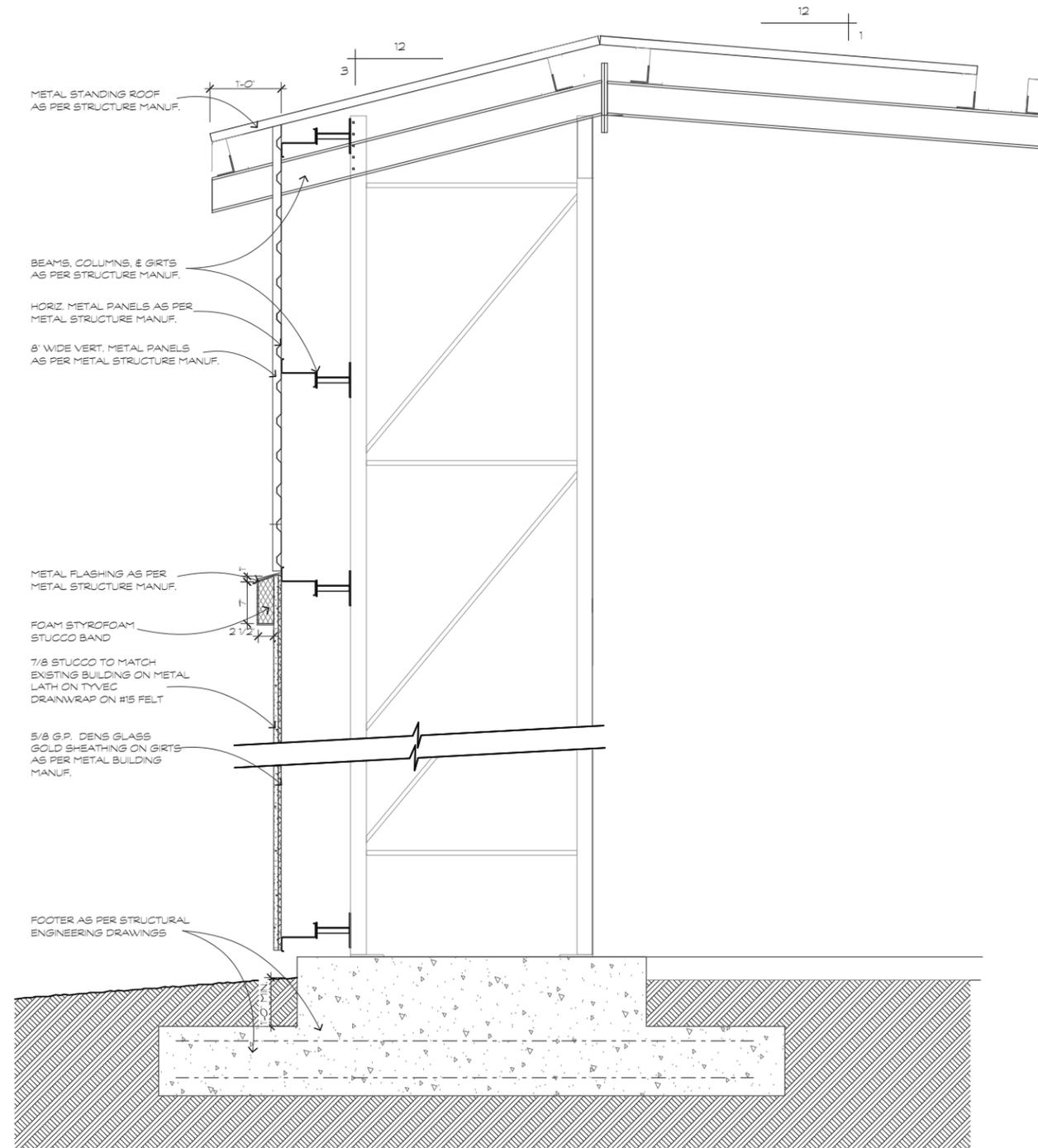
REVISIONS	DATE

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DATE	12/28/20
SCALE	
JOB NO.	
SHEET	
A-2	
OF SHEETS	



NEW WALL DETAIL
SCALE: 1/2"=1'-0"

2
A-3



METAL RACK SECTION
SCALE: 1/2"=1'-0"

1
A-3

A Tenant Upfit For:
Grayco
Lot #30 Archer Road
Hilton Head Island, S.C.

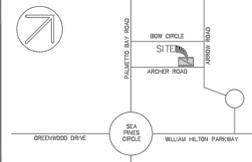
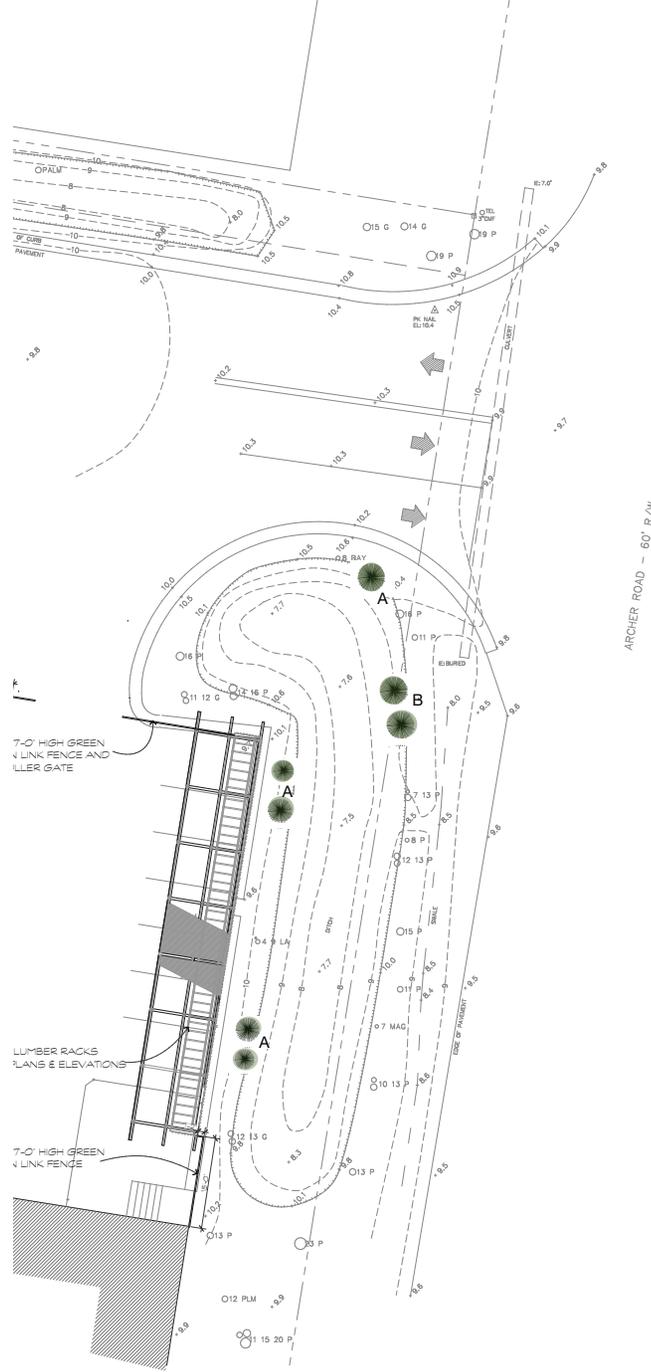
REVISIONS	DATE

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DATE
12/28/20
SCALE
JOB NO.
SHEET

A-3
OF SHEETS



Grayco - Lot 30 - Archer Road
Landscape Plan and Plant Schedule
11/30/20



VICINITY MAP NOT TO SCALE

- NOTES:
1. THIS LOT APPEARS TO LIE IN FLOOD ZONE AY(14'), PER FIRM PANEL No. 13-D, COMMUNITY No. 450230, DATED 9/29/86.
 2. ELEVATIONS SHOWN ARE BASED ON NGVD 29 DATUM. TREE SIZES ARE IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT.
 3. PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

REFERENCE(S):
1. PLAT BOOK 24, PAGE 29

- LEGEND:
- CMF CONCRETE MONUMENT FOUND
 - TEL TELEPHONE PEDESTAL
 - x- FENCE LINE
 - P PINE
 - Q QUIN
 - LA LAUREL OAK
 - LO LIVE OAK
 - PLM PALMETTO
 - MAG MAGNOLIA
 - +10.0 SPOT ELEVATION
 - 10- CONTOUR

DONALD R. COOK, JR.
S.C.L.S. No. 19010
NOT AWARE EMPLOYED WITH SEAL



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A PARTIAL, AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF
LOT 30
ARCHER ROAD

TMS R552 014 000 0770 0000
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY,
SOUTH CAROLINA

PREPARED FOR:
HC GRAY PROPERTIES, LLC



PROJECT No. **20090017**
DRAWN BY: DRC PROJECT NAME: 20090017
DATE: 09.28.20 FILE: 20090017PAT_092820.dwg
SCALE: 1"= 10'



A. Tenant Uplift For:
Grayco
Lot #30 Archer Road
Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY
CHECKED BY
DATE
SCALE
JOB NO.
SHEET
S.1



Plant Schedule

Key	Common Name	Botanical Name	Size	Qty
A	Southern Red Cedar	<i>Juniperus silicicola</i>	8' Tall 2'-3' Span	5
B	Southern Red Cedar	<i>Juniperus silicicola</i>	12' Tall 4' Span	2

The following changes were made from the original landscaping proposal:

- Eliminating Sabal Palms, Azaleas and cypress due to area size constraints and width of area along curbing.

- Use 7 mature Southern Red Cedar to provide more coverage in less space. Without effecting surrounding trees branches or root system.



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Grayco Building Addition

DRB#: DRB-002627-2020

DATE: 12/30/20

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

Staff recommends approval as submitted.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Barry Taylor Company: FWA Group
 Mailing Address: P.O. Box 5910 City: HHI State: SC Zip: 29938
 Telephone: 843-785-2199 Fax: _____ E-mail: b.taylor@fwagroup.com
 Project Name: Holy Family Church Sanctuary Re-Roof Project Address: 24 Pope Avenue, HHI, SC 29928
 Parcel Number [PIN]: R 552 015 000 0076 0000
 Zoning District: LC (Light Commercial) Overlay District(s): COD - ROW Arterial

CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
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Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

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Concept Approval – Proposed Development

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- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

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- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

12/29/2020

DATE

Narrative / Existing Photos for Holy Family Catholic Church Sanctuary Re-Roof

Corridor Review - Design Review Board (DRB) Submittal

January 12, 2021 Meeting Date



Front view of church sanctuary building.

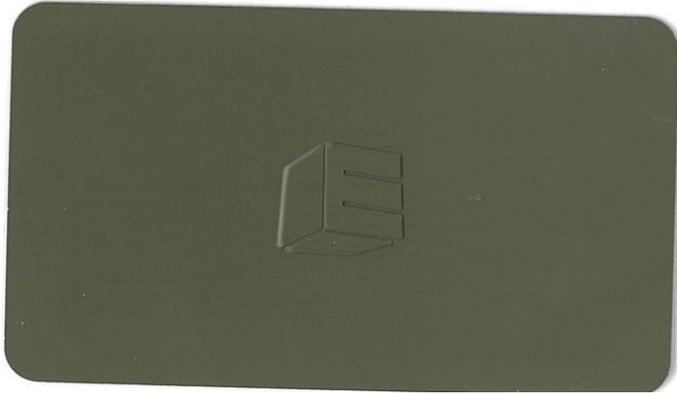
The existing standing seam metal roof of the Holy Family Catholic Church sanctuary building has been leaking and has been repaired several times over the years with poor results. The church has decided to replace the existing roof which is a patinaed copper color with a standing seam metal roof in "Medium Bronze". (See color board for roofing manufacturer and proposed color chip.)

Color Board for

Holy Family Catholic Church Sanctuary Re-Roof

Corridor Review - Design Review Board (DRB) Submittal

January 12, 2021 Meeting Date



Monarch Roofing

Englert 032 Aluminum Metal Standing Seam Series 1500 Panels

Color: Medium Bronze

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Holy Family Reroof

DRB#: DRB-002629-2020

DATE: 12/30/20

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

Staff recommends approval as submitted.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: LEONARDO V. MARTEN Company: MARTEN ARCHITECTS, LLC
 Mailing Address: 30 PERSUMMON STREET City: BLAKETON State: SC Zip: 29910
 Telephone: 843-757-5776 Fax: 843-501-2309 E-mail: LMARTEN@MARTENARCHITECTS.COM
 Project Name: LOT 10 CAPITAL BUS PARK Project Address: 85 CAPITAL DRIVE
 Parcel Number [PIN]: R 511 008 000 0440 0000
 Zoning District: L-1 Overlay District(s): ORB

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

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Alterations/Additions

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Additional Submittal Requirements:

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- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
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- _____ Location, fixture type, and wattage of any proposed lighting.

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Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

11/24/2020

DATE

**PROJECT NARRATIVE
FOR LOT 10 CAPITAL BUSINESS PARK
85 CAPITAL DRIVE
TOWN OF HILTON HEAD
JOB NO. 2285**

The proposed project will consist of constructing a 6,029 SF building with paved parking for Dyess Air (an HVAC contractor). The property is a 1.16 acre site located at 85 Capital Drive in the Capital Business Park. It is currently undeveloped and is zoned LI (light industrial).

The site plan shows a 20' adjacent street setback/buffer from Capital Drive, a 40' adjacent street setback/15' buffer from Leg-of-Mutton Road and a 20' adjacent use setback/20' buffer on the east and southern property lines. The zoning standards allow 65% impervious on the site and the site plan shows 51%. The owner is proposing to install twenty-six (26) parking spaces due to his business's requirements:

Parking

2,200 SF of office space x 1 space/350 GFA office	= 6 spaces
3,829 SF of indoor storage x 1 space/1,300 GFA of storage	= 3 spaces
Fleet Vehicles	= <u>17 spaces</u>

Total = 26 Spaces

His fleet of service trucks are parked on site each night and that many parking spaces are required for his employee's personal vehicles and his company trucks; seventeen (17) of the spaces are shown to be pervious.

The sides and rear of the building will have overhead doors for his trucks to load and unload out of daily, so paving will be required up to the foundation on both sides and the building. We have shown minimum drive aisle widths of 24' for two-way traffic (and where parking abuts) and 30' in the rear to accommodate his delivery trucks. There is also a 15' x 40' Loading Zone shown at the rear of the building. The site will take access off of Capital Drive with two (2) full movement accesses shown to accommodate his delivery trucks.

One specimen tree (a 40" live oak) is located at the rear of the site. No paving or soil compaction is shown to occur within 15' of the trunk of the tree and low impact brick pavers will be placed at or above grade under the canopy of the tree as needed to allow traffic circulation at the rear of the site.

Drainage for the project will be provided by the Capital Business Park master planned storm water detention system.

Electrical and telephone service will be provided by Palmetto Electric and Hargray, respectively. Water and sewer service will be provided by the Hilton Head Public Service District. Fire protection and emergency services are provided by the Town of Hilton Head Fire Department.

Site Photos



Shadow Oaks



Project Deep well

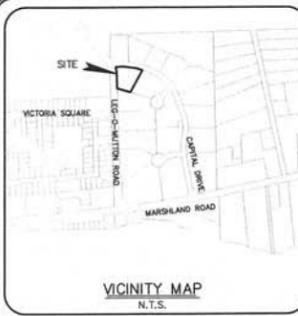


City Electric Supply

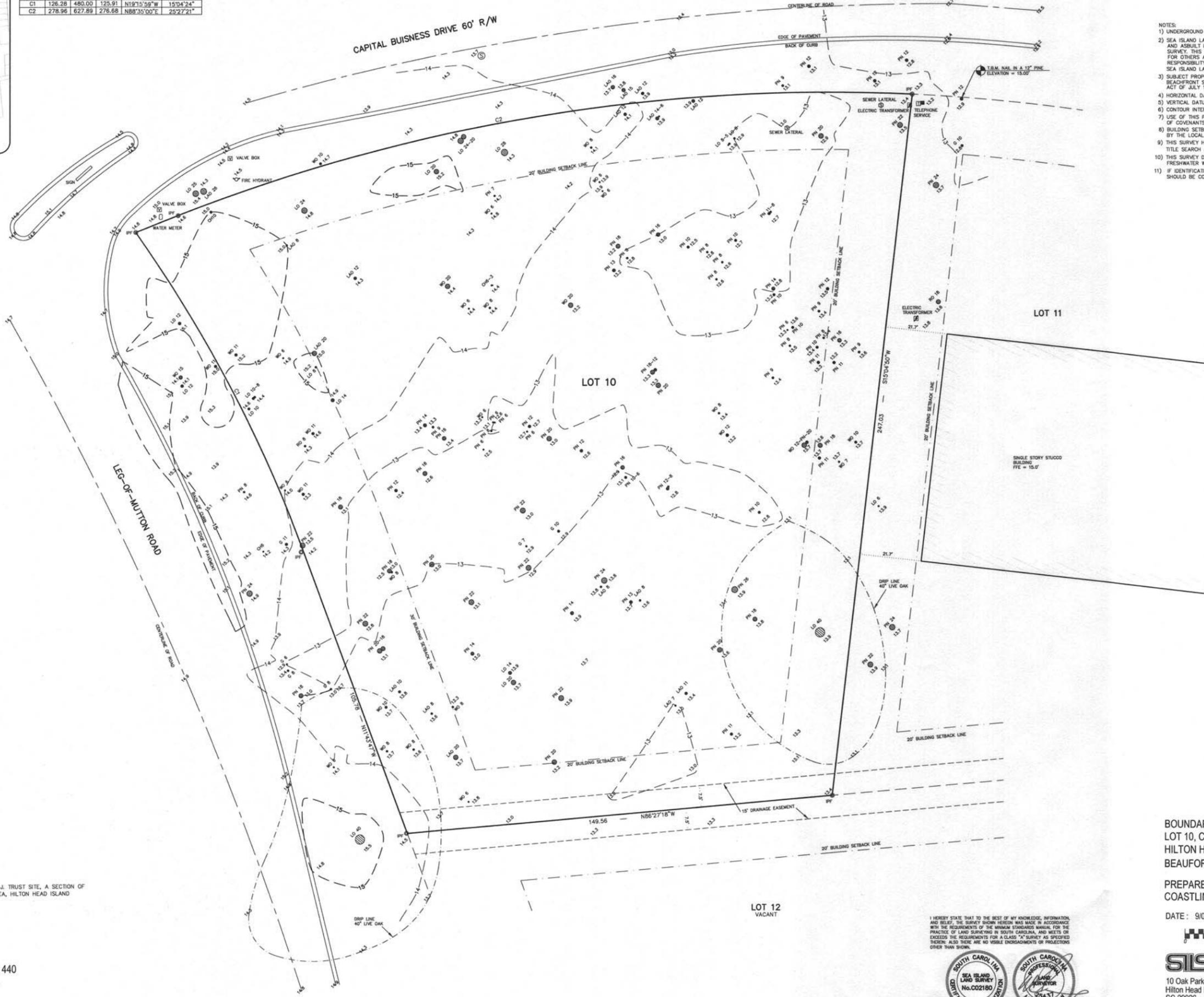


A-1 Pool





CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	126.28	480.00	125.91	N19°15'58" W	153°42'
C2	276.96	627.89	276.68	N88°35'00" E	252°21'



- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS LOCAL.
 - 5) VERTICAL DATUM IS NGVD29.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

- LEGEND & SYMBOLS:
- TREE SIZES ARE INCHES IN DIAMETER
- ⊙ SPOT ELEVATION
 - CONTOUR
 - ⊙ 1/2" IRON PIN FOUND
 - ⊙ TEMPORARY BENCH MARK
 - ⊙ INVERT ELEVATION
 - ⊙ POLYVINYL CHLORIDE
 - ⊙ CORRUGATED PLASTIC PIPE
 - LO LIVE OAK
 - WAX WAX MYRTLE
 - RO RED OAK
 - LAO PECAN
 - PN PINE
 - BR BIRCH
 - WO WATER OAK
 - CH WILD CHERRY
 - ⊙ ELECTRIC TRANSFORMER
 - ⊙ TELEPHONE SERVICE
 - ⊙ SEWER LATERAL
 - ⊙ FIRE HYDRANT
 - ⊙ SANITARY MANHOLE
 - ⊙ WATER METER
 - ⊙ VALVE BOX

REFERENCE PLAT

1) A SUBDIVISION PLAT OF 19 LOTS AT THE A. J. TRUST SITE, A SECTION OF MARSHLAND ROAD & LEG O'MUTTON ROAD AREA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 10/14/96. RECORDED IN BOOK 58, PAGE 153. RMC, BEAUFORT COUNTY, SC. BY: JACK JONES S.C.R.L.S. # 13852

PROPERTY AREA = 1.16 Ac. 50,707 Sq. Ft.
 ADDRESS: 85 CAPITAL DRIVE
 DISTRICT: 511, MAP: 8, PARCEL: 440
 THIS PROPERTY LIES IN F.E.M.A. ZONE A7
 BASE FLOOD ELEVATION = 14.0'
 COMMUNITY NO. 450250, PANEL 0008D, DATED: 9/29/86

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO UNLAWFUL ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

SOUTH CAROLINA
SEA ISLAND LAND SURVEY
PROFESSIONAL SURVEYOR
No. CO2180

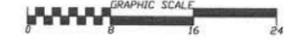
SOUTH CAROLINA
PROFESSIONAL SURVEYOR
MARK R. ROYER
33431

NOT VALID UNLESS EMBOSSED.

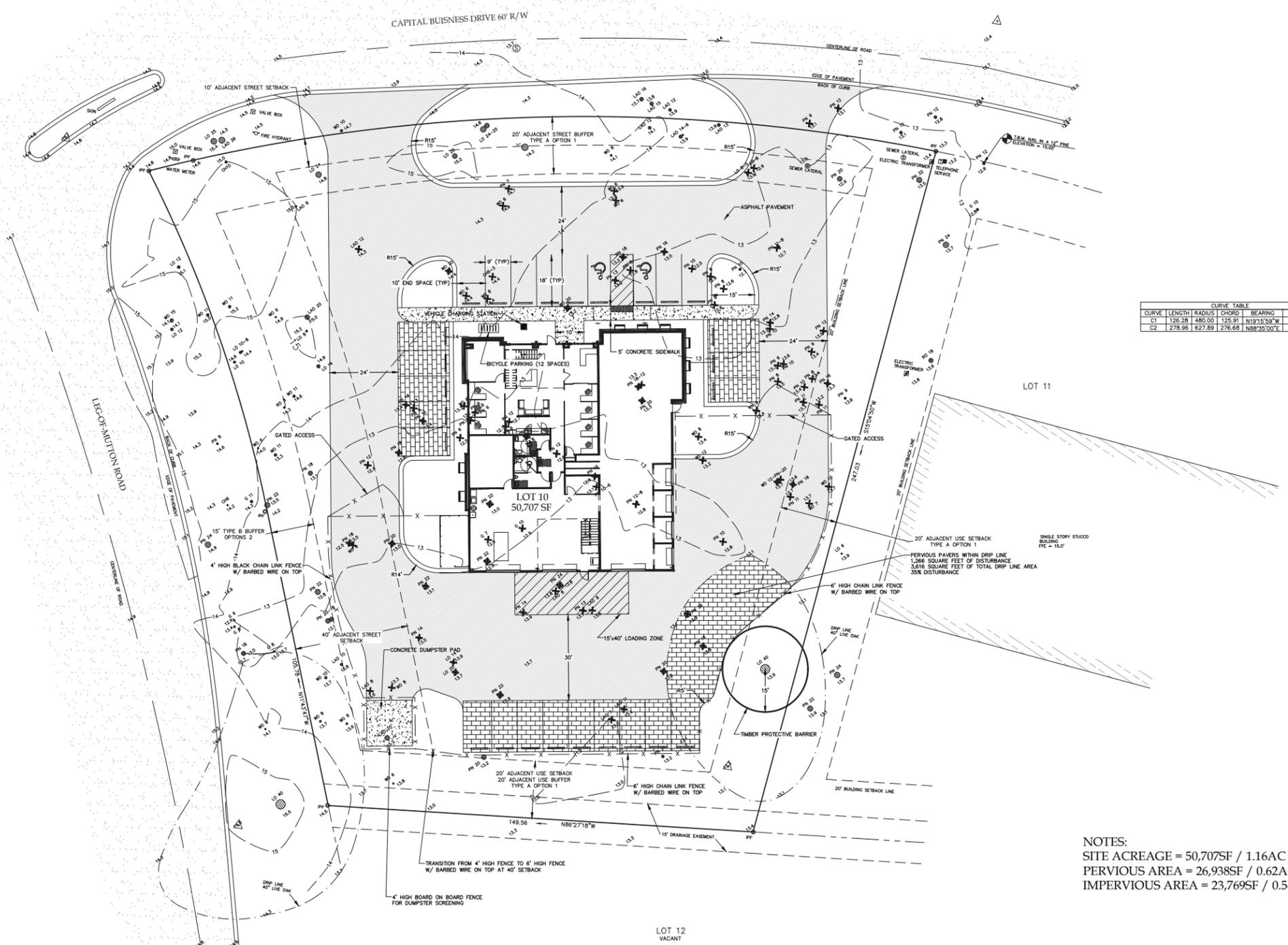
BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:
 LOT 10, CAPITAL BUSINESS PARK,
 HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:
 COASTLINE CONSTRUCTION SERVICES, LLC

DATE: 9/03/2020 SCALE: 1" = 16'



SILS Sea Island Land Survey, LLC.
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926
 Tel (843) 681-3248 Fax (843) 689-3871
 E-mail: sils@sprynet.com
 FILE No.: 02214/4 DWG No.: 5-2163



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	126.28	480.00	125.91	N19°12'50"W	15°04'24"
C2	278.96	627.89	276.68	N88°35'00"E	25°27'21"

NOTES:
 SITE ACREAGE = 50,707SF / 1.16AC
 PERVIOUS AREA = 26,938SF / 0.62AC OR 53%
 IMPERVIOUS AREA = 23,769SF / 0.54AC OR 47%

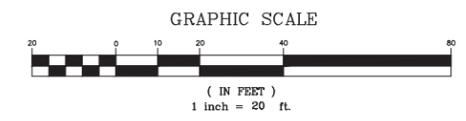
PLAN REVISIONS		DATE
NO.	DESCRIPTION	
1		
2		
3		
4		
5		
6		
7		
8		

LOT 10 CAPITAL BUSINESS PARK
 TOWN OF HILTON HEAD
 BEAUFORT COUNTY, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/322-0553
 WWW.CAROLINAENGINEERING.COM
 843/322-0556 (FAX)

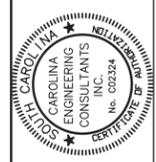
PO BOX 294
 BEAUFORT, SC 29901

PROJECT: 2285
 DATE: 10/14/20
 REVISED: 12/23/20
 DRAWN BY: FLB
 ENGINEER: DRK
 SCALE: 1"=20'

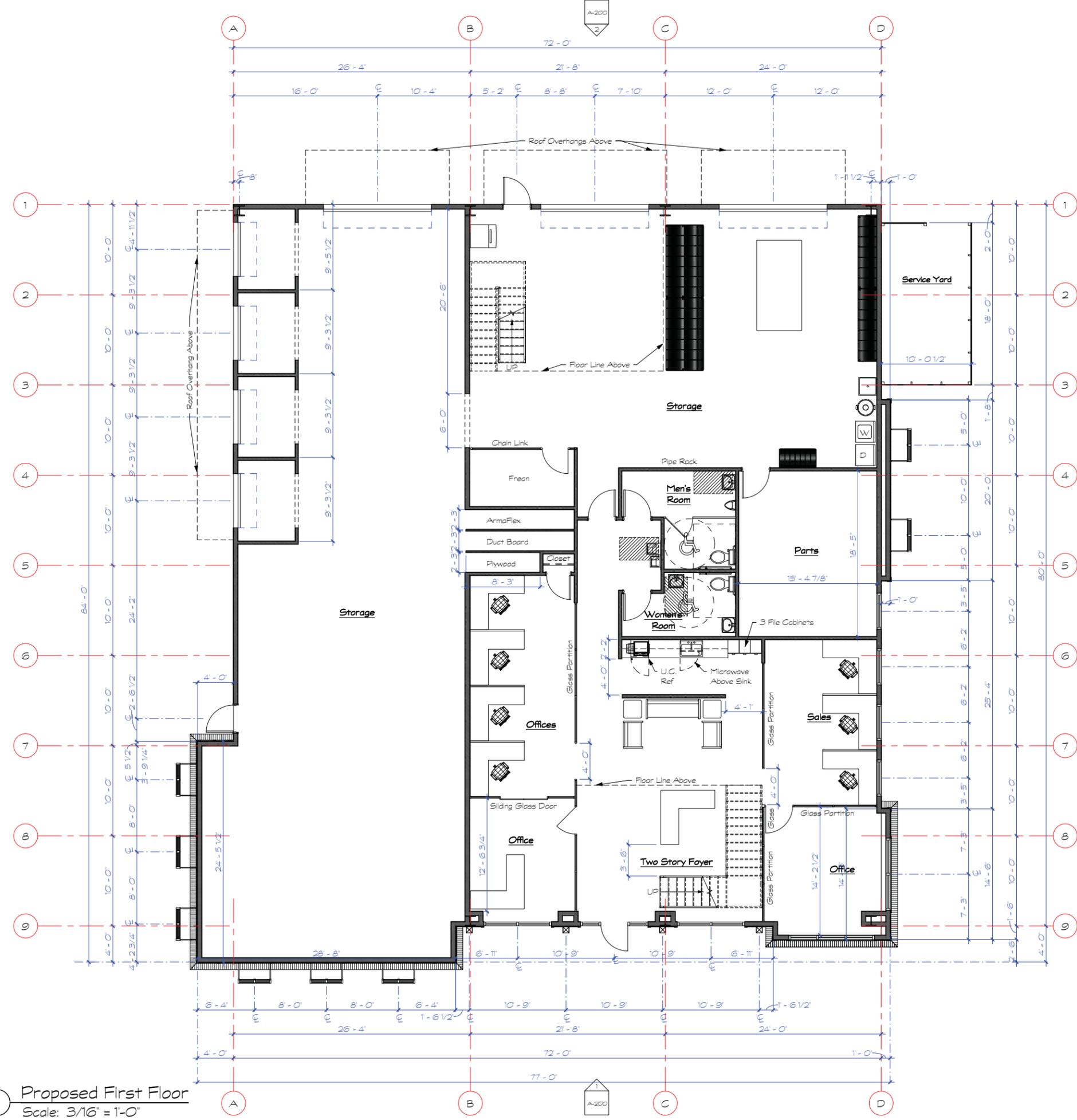


SITE PLAN
 1
 OF 1

"ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION."
 THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE REPRODUCTION, COPIING, OR USE OF THESE PLANS OR THE INFORMATION CONTAINED THEREIN WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



A-201



1 Proposed First Floor
 Scale: 3/16" = 1'-0"

DRAWINGS NOT FOR MULTIPLE OR PROTOTYPE DEVELOPMENTS.

MARTELLI ARCHITECTS, LLC
 39 PLYMOUTH ST. #601, COLUMBIA, SC 29910
 P: (803) 575-5776 FAX: (843) 501-2305

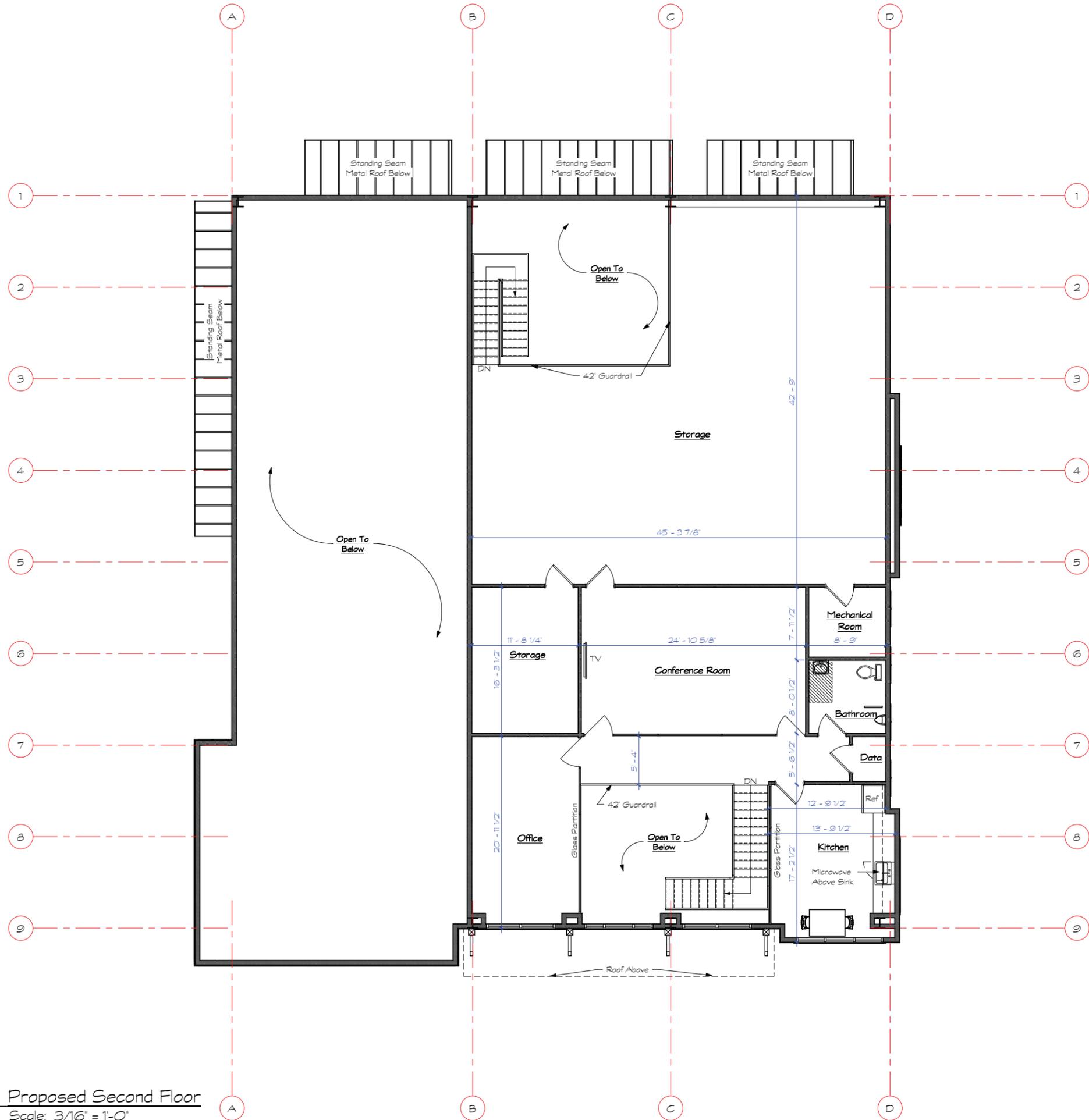
SEABOARD
 MARTELLI ARCHITECTS, LLC
 Columbia, SC
 No. 617

Proposed New Office for:
Dyess Air
 85 Capitol Business Drive
 Hilton Head Island, SC

Issue Date: 12.28.2020	ARB Review	Description
Drawn By: KJM	Checked By: LVM	
Date:	Rev'd By/Rev #:	

COMM: 20.28
A-100
 DWG 1 OF 5

1 Proposed Second Floor
 Scale: 3/16" = 1'-0"



DRAWINGS NOT FOR MULTIPLE OR PROTOTYPE DEVELOPMENTS.

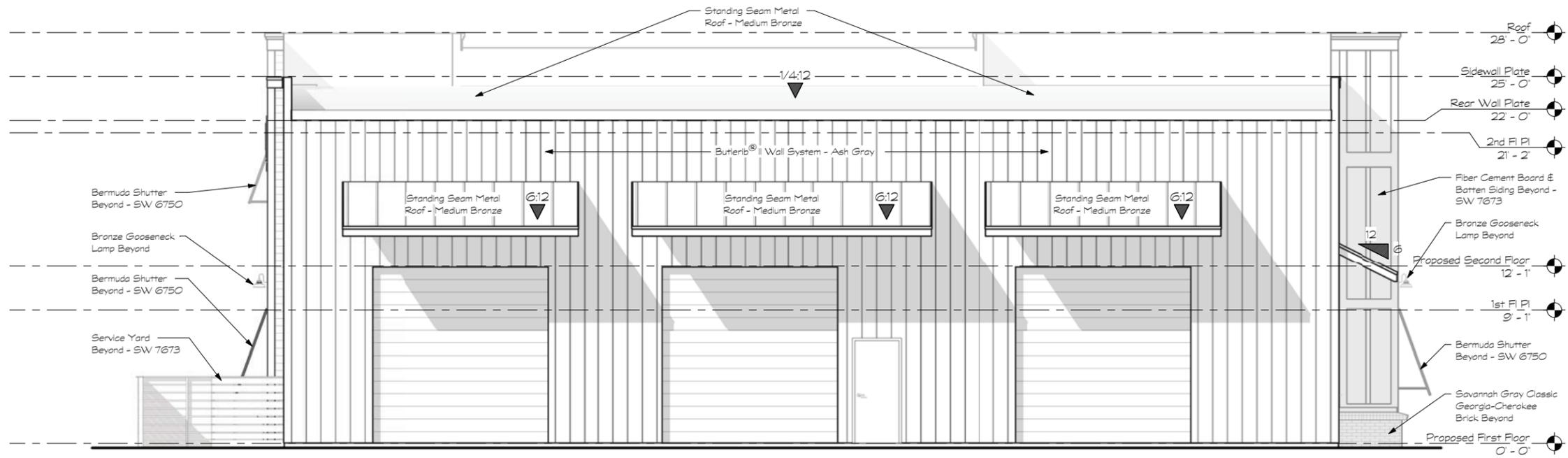
MARTELLI ARCHITECTS, LLC

39 PLYMOUTH ST., #601, COLUMBIA, SC 29910
 P: (803) 575-5776 FAX: (843) 501-2305

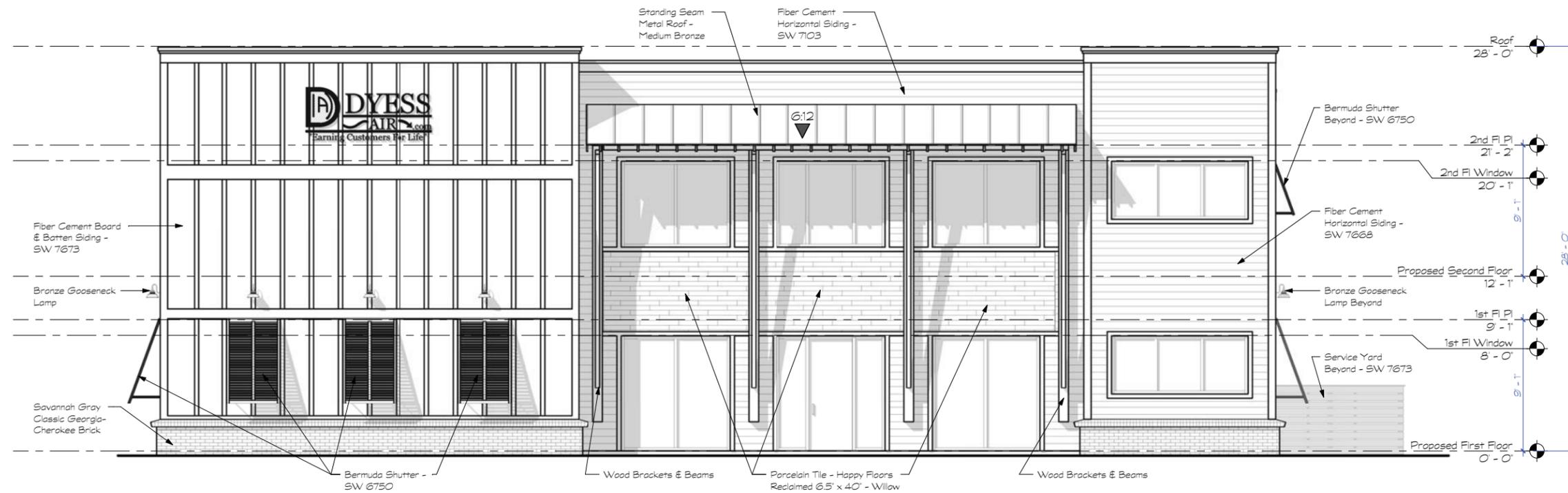


Proposed New Office for:
Dyess Air
 85 Capitol Business Drive
 Hilton Head Island, SC

Issue Date:	ARB Review	Description
12.28.2020	KJM	
	LVM	
Drawn By:	Checked By:	
Date:	Rev'd By/Rev #:	



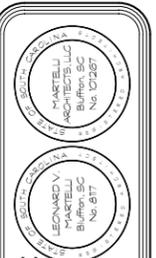
② Proposed Rear Elevation
Scale: 1/4" = 1'-0"



① Proposed Front Elevation
Scale: 1/4" = 1'-0"

Issue Date: 12.28.2020	ARB Rev/Rev	Description
Drawn By: KJM	Checked By: LVM	
Date:	Rev'd by/Rev #:	

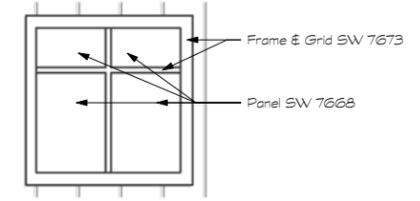
Proposed New Office for:
Dyess Air
85 Capitol Business Drive
Hilton Head Island, SC



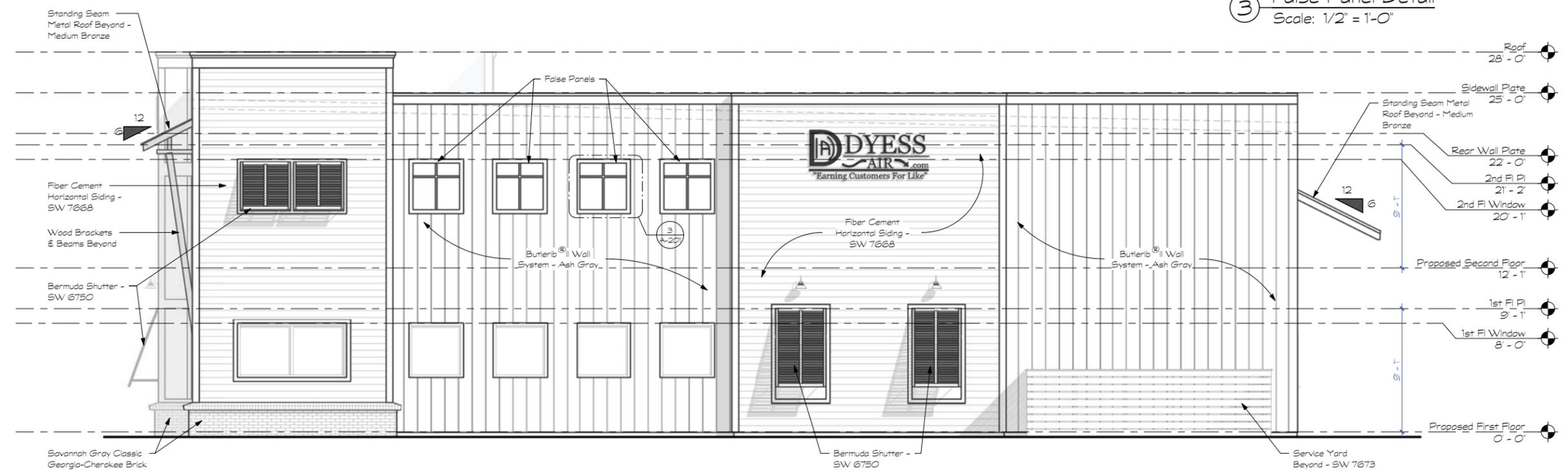
MARTELLI ARCHITECTS, LLC
39 Palmetto St., #601, Hilton Head, SC 29910
P: (843) 575-5776 FAX: (843) 501-2305



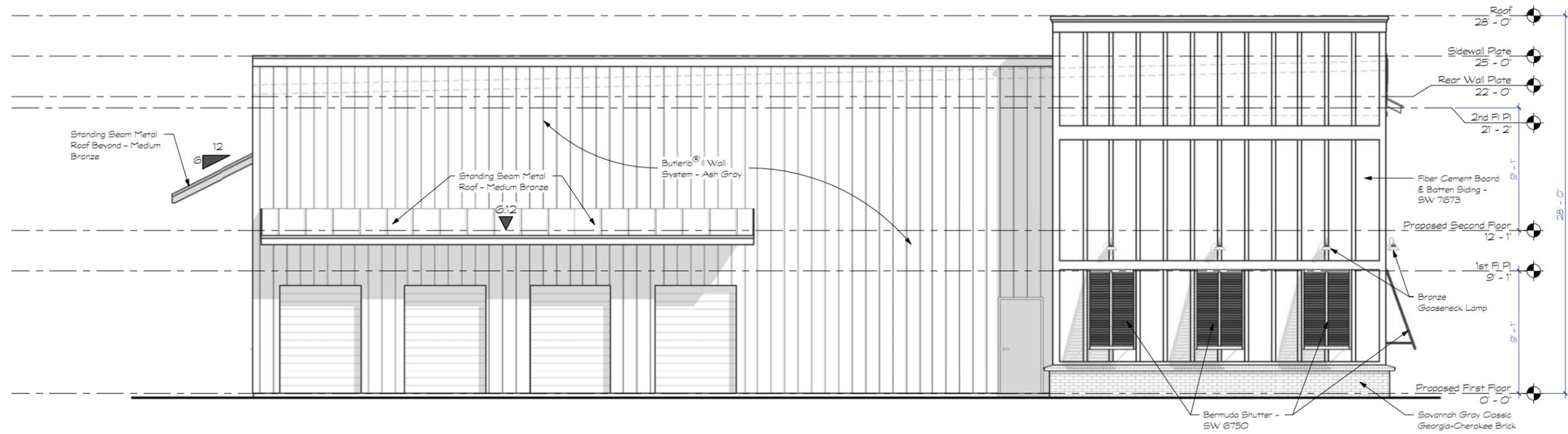
COMM: 20.28
A-200
DWG 3 OF 5



③ False Panel Detail
Scale: 1/2" = 1'-0"



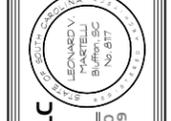
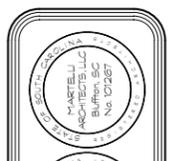
② Proposed Right Side Elevation
Scale: 1/4" = 1'-0"



① Proposed Left Side Elevation
Scale: 1/4" = 1'-0"

Issue Date: 12.28.2020	ARB Review	Description
Drawn By: KJM	Checked By: LVM	
Date:	Rev'd By/Rev #:	

Proposed New Office for:
Dyess Air
85 Capitol Business Drive
Hiton Head Island, SC



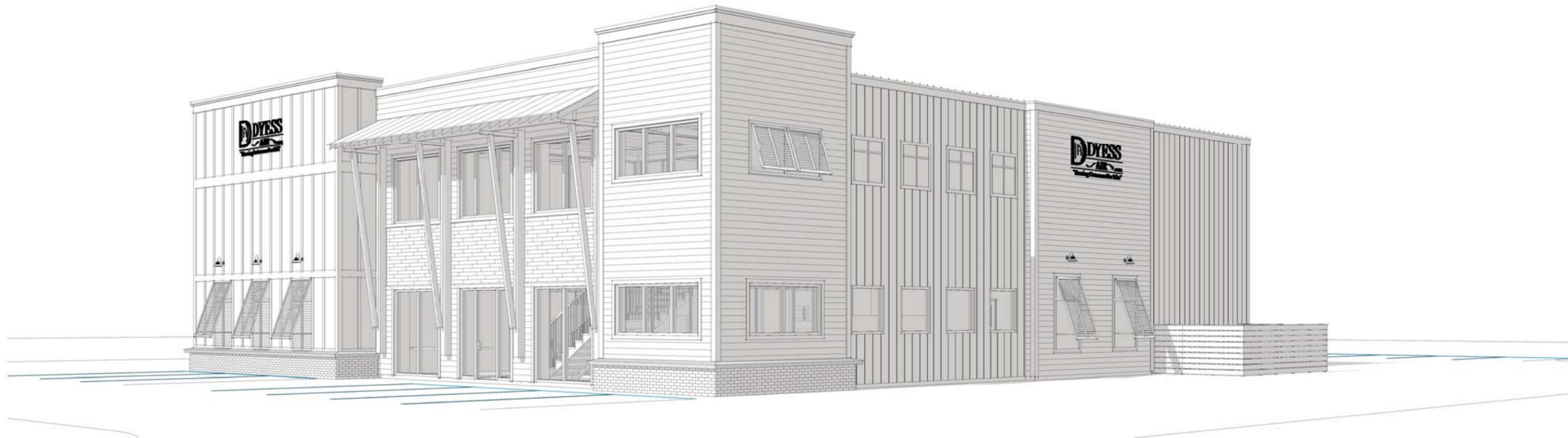
MARTELLI ARCHITECTS, LLC
39 P. SIMPSON ST., #601, HUNTINGTON, SC 29910
P: (843) 575-5776 FAX: (843) 501-2305



COMM: 20.2B
A-201
DWG 4 OF 5



Perspective Capital Business Drive



Perspective Leg-Of-Mutton Road

Issue Date: 12.28.2020	ARB Review	Description
Drawn By: KJM	Checked By: LVM	
Date:	Rev'd By/Rev #:	

Proposed New Office for:
Dyess Air
 85 Capitol Business Drive
 Hilton Head Island, SC



MARTELLI ARCHITECTS, LLC
 39 P. Simpson St., #601, Hilton Head, SC 29910
 P: (843) 57-5776 FAX: (843) 501-2305



COMM: 20.28
A-202
 DWG 5 OF 5

DRAWINGS NOT FOR MULTIPLE OR PROTOTYPE DEVELOPMENTS.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 85 Capital Drive

DRB#: DRB-002636-2020

DATE: 01/03/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Staff recommend Conceptual approval

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	To be provided at Final

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pad under bike rack shall connect to the sidewalk and parked bikes shall not block pedestrian traffic.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At Final provide an exterior lighting plan that includes fixtures on the building. Light sources shall not exceed 3000K.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At Final provide:

under story plants				<ol style="list-style-type: none"> 1. Tree protection plan to include mycor, pre and post fertilization for all significant and specimen trees. 2. Paver detail limiting excavation within the dripline.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	To be provided at Final.

<i>MISC COMMENTS/QUESTIONS</i>				
1. Landscape Plan to be provided at Final.				
2. SW 6750 is not a nature blending color and represents to much of a contrast with the other proposed colors. A color board shall be provided for Final.				