



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, October 12, 2021 – 10:00 a.m.
REVISED AGENDA

Note: The meeting time has been changed to 10:00 a.m.

This meeting will be conducted virtually and can be viewed on the [Town of Hilton Head Island Public Meetings Facebook Page](#). A Facebook account is not required to access the meeting livestream.

- 1. Call to Order**
- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Approval of Minutes**
 - a. Meeting of September 28, 2021
- 6. Appearance by Citizens**

Citizens who wish to address the Board concerning items on the agenda may do so by contacting the Board Secretary at 843-341-4691 no later than 4:30 p.m. Monday, October 11, 2021. Citizens may also submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. Monday, October 11, 2021. Comments submitted through the portal will be provided to the Board and made part of the official record.
- 7. Unfinished Business** – None
- 8. New Business**
 - a. *New Development – Final*
 - i. 15 Wimbledon, DRB-002231-2021
 - b. *Alteration/Addition*
 - i. Crave Station, DRB-002092-2021
 - ii. Hudson Commercial Building, DRB-002232-2021
- 9. Board Business**
- 10. Staff Report**
 - a. Minor Corridor Report
- 11. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
September 28, 2021, at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chair Cathy Foss, Vice Chair John Moleski, David McAllister, Annette Lippert, Judd Carstens, Ryan Bassett, Ben Brown

Absent from the Board: None

Present from Town Council: Tamara Becker, Glenn Stanford, Bill Harkins, David Ames

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Ms. Lippert moved to approve. Mr. Carstens seconded. By show of hands, the motion passed 7-0-0.

5. Approval of Minutes

a. Meeting of September 14, 2021

Chair Foss asked for a motion to approve the minutes of the September 14, 2021, regular meeting. Mr. Brown moved to approve. Mr. Carstens seconded. By show of hands, the motion passed 7-0-0.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. The comments were provided to the Board for review and made part of the official record. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

7. Unfinished Business

a. Alteration/Addition

i. Subway, DRB-002131-2021

Mr. Darnell presented the application as described in the Board's agenda package and stated the application had previously been denied at the September 14, 2021, meeting and is now back before the Board with a substantial change to the proposed color scheme. He stated Staff recommends approval as submitted.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, specifically regarding painting the kiosk canopy and bollards the same gray as the body of the kiosk.

Following discussion, Mr. McAllister moved to approve DRB-002131-2021 with the following condition:

1. The bollards and kiosk canopy be painted gray to match the body of the kiosk.

Vice Chair Moleski seconded. By way of roll call, the motion passed by a vote of 7-0-0.

8. New Business

a. New Development – Final

i. 15 Wimbledon, DRB-002104-2021

(Due to a potential conflict of interest, Mr. Bassett recused himself from discussion and voting regarding 15 Wimbledon Court, DRB-002104-2021. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends final approval with the following conditions:

- Revise the lighting plan to be compliant with the LMO requirements and submit for approval by Staff.
- Revise the landscape plan to specify the native honeysuckle.
- Provide an installation detail or plan for the tree and well lights that will not impact tree roots and submit for approval by Staff.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: concern for too much density on the site; concern of three and four story buildings over parking; confirmation of the number of lockout units; improvement on clubhouse revisions; concern the resident unit buildings are monotonous; location of trash receptacles; suggestion to change the roof color as the silver is too shiny; concern regarding the size of the horizontal band on the clubhouse building; confirmation the clubhouse is only to be used for residents; confirmation the fireplaces are single sided; the need for consistency in furnishings and fixtures; confirmation of colors; concern regarding the string lights; concern over exposed light source facing Folly Field Road; use of a landscape buffer along road rather than fencing;

confirmation and clarification of requirements regarding an osprey nest in the area; the need to continue the landscaping beds on building side; concern of screening for trash compactor; additional details needed for bridges on back side of building; concern over the expansion of the pool area; the need to lower the entrance tower; the need for more information on the fountain specifics; and the plans for overflow parking.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

ii. Tidal Wave Auto Spa, DRB-002110-2021

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends approval with the following conditions:

- Revise the Plaza Drive elevation to have an uninterrupted water table and submit for Staff review and approval.
- Revise the lighting plan to be compliant with the LMO and submit for Staff review and approval.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: concern over the linear shape of the buildings; confirmation the building rooflines are broken up; concern that a sago plant does not qualify as a landscape median tree; confirmation that the vacuum canopies are broken up; the need to update sheet PR.1 with removal of reference to the White Old Castle split-faced sill callout on the finish schedule; and suggestion to raise the elevation for the three bay windows to the right and the two bay windows to the left on the West elevation.

Following discussion, Ms. Lippert moved to approve DRB-002110-2021 with the following conditions:

1. Revise the lighting plan to be compliant with the LMO and submit for Staff review and approval.
2. Applicant to provide a physical color board for review.
3. PR.1 is to have the split faced brick reference removed.
4. PR.6 is to have a revision of the orientation of the view. It should say West side versus East side.
5. The brick water table is to be raised in the five bays on the West elevation.

Mr. Bassett seconded. By way of roll call, the motion passed by a vote of 7-0-0.

b. New Development – Conceptual

i. Waterfront Restaurant, DRB- DRB-002107-2021

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends conceptual approval as submitted.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and

recommendations were made regarding the project: correction that the building is one story with a rooftop deck as opposed to two stories and a rooftop deck; suggestion to be aware of utility layout for landscaping, grading and paving; concern with the large proportion of the building; concern with the height of the building; the purpose of the trellis on the front of the building; and suggestion that landscaping will assist with the left elevation.

Following discussion, Vice Chair Moleski moved to approve DRB-002107-2021 as submitted. Mr. Carstens seconded. By way of roll call, the motion passed by a vote of 7-0-0.

9. Board Business – None

10. Staff Report

a. Minor Corridor Report - None

11. Adjournment

The meeting was adjourned at 3:53 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Owner - HHI Island Acquisition Partners, LLC

Applicant/Agent Name: Agrent -Brett Callaghan Company: HH Island Acquisition Partners, LLC

Mailing Address: 9654 North King's Hwy, Unit 101 City: Myrtle Beach State: SC Zip: 29572

Telephone: 843-458-3348 Fax: _____ E-mail: bcallaghan@progressbuildersllc.com

Project Name: Hilton Head - Port Royal (TBD) Project Address: Folly Field Road

Parcel Number [PIN]: R 5 1 0 0 0 9 0 0 0 1 2 0 5 0 0 0 0

Zoning District: RD Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

Concept Approval – Proposed Development Alteration/Addition

Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

Last Revised 01/21/15

September 29, 2021

DATE

Hilton Head Port Royal Resort

Hilton Head Island, SC

Final DRB Project Narrative

September 28, 2021

HH Island Acquisition Partners LLC is proposing to construct a new resort facility to replace the previous development known as The Port Royal Racquet Club Tract (parcel 4 – Wimbledon Court) along Folly Field Road and adjacent to Fiddler's Cove, The Lyons and Ocean Palms Villas. The existing property consists of approximately 8.4 acres of land with remnants of the Racquet Club remaining on the site including portions of Wimbledon Court, existing parking spaces, an existing pro-shop/club building, and tennis courts.

HH Island Acquisition Partners is looking to redevelop the property into a signature destination resort in keeping with Hilton Head Island vernacular. The proposed buildings will consist of **(3) four story and (4) three story residential structures containing a mix of 1, 2, and 3-bedroom units** (166 units total - including the lockout units as 1/2 unit- see plans for breakdown). The proposed scale of these structures are in keeping with the adjacent existing developments and appropriate for the surrounding neighborhoods.

The development will be constructed in two separate phases. The first phase will include the clubhouse (including guest support amenities, two story clubhouse, resort pool and spa, pool restroom facilities, maintenance building and (3) three residential structures and along with the entry drive. Also, as part of the first phase of the development, the entire Folly Field Road buffer plantings will be installed and irrigated. The second phase will include (4) residential structures and the balance of the site amenities.

The site will feature landscaped walking paths with common areas connecting to the adjacent Town bike path. Included in the amenities will be lounge/gathering areas with barbecuing area and a children play area within the natural stand of existing trees. The required bicycle parking will be provided and distributed throughout the site.

There are two specimen trees (Live Oak and Cork Oak) located on the property that are to be preserved, as well as stands of oaks, pines, and palms throughout the development. The proposed landscape design will incorporate native plant material while preserving as many existing trees and vegetation as permissible.

The main entry to the site will be offset to the south of the existing entry drive of the Island Club on Folly Field Dr by approximately 465 feet. Access to the site will be via two entrances on Folly Field Road. The main resort entry provides a strong sense of arrival for guests with the clubhouse with a covered motor court plaza entry with landscaping and signage. There will also be pedestrian connectivity to Wimbledon Drive to Folly Field Road.

Most of the site is a sandy soil with elevations ranging between 9' and 13'. The proposed residential, clubhouse and related amenity buildings are to have a finish floor elevation set at 12.3' +1'0 MSL, with the majority of the parking being covered parking underneath the raised podiums.

Parking will be provided at the appropriate rate for 1, 2, and 3 bedroom units per LMO requirements. The number of parking spaces to be provided is estimated to be +/-221 spaces. The required number of bike parking spaces will be provided along with electric vehicle charging station.





VIEW OF OCEAN PALMS VILLAS



VIEW OF OCEAN PALMS VILLAS



VIEW OF OCEAN PALMS VILLAS



VIEW OF PRIVATE RESIDENCE OFF OF FOLLY FIELD RD



VIEW OF PRIVATE RESIDENCE OFF OF FOLLY FIELD RD





VIEW OF NEARBY CLUBHOUSE OFF OF FOLLY FIELD RD



VIEW OF BORDERING DEVELOPMENT OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD ENTRY GATE OFF OF FOLLY FIELD RD



26827/0000



VIEW OF ROYAL DUNES RESORT OFF OF WIMBLEDON CT



VIEW OF ROYAL DUNES RESORT OFF OF WIMBLEDON CT



VIEW OF ROYAL DUNES RESORT OFF OF WIMBLEDON CT



VIEW OF LYONS OFF OF WIMBLEDON CT



VIEW OF LYONS OFF OF WIMBLEDON CT



VIEW OF LYONS OFF OF WIMBLEDON



26827/0000



VIEW OF LYONS OFF OF FOLLY FIELD RD



VIEW FROM BEACH ACCESS AT ISLANDERS BEACH PARK TO MARRIOTT'S BARONY BEACH CLUB AND WESTIN BEYOND



VIEW FROM BEACH ACCESS AT ISLANDERS BEACH PARK TO ISLAND CLUB OF HILTON HEAD



SIGNAGE

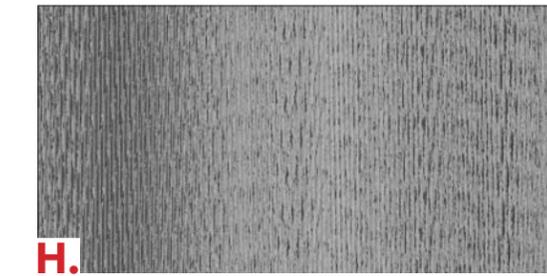
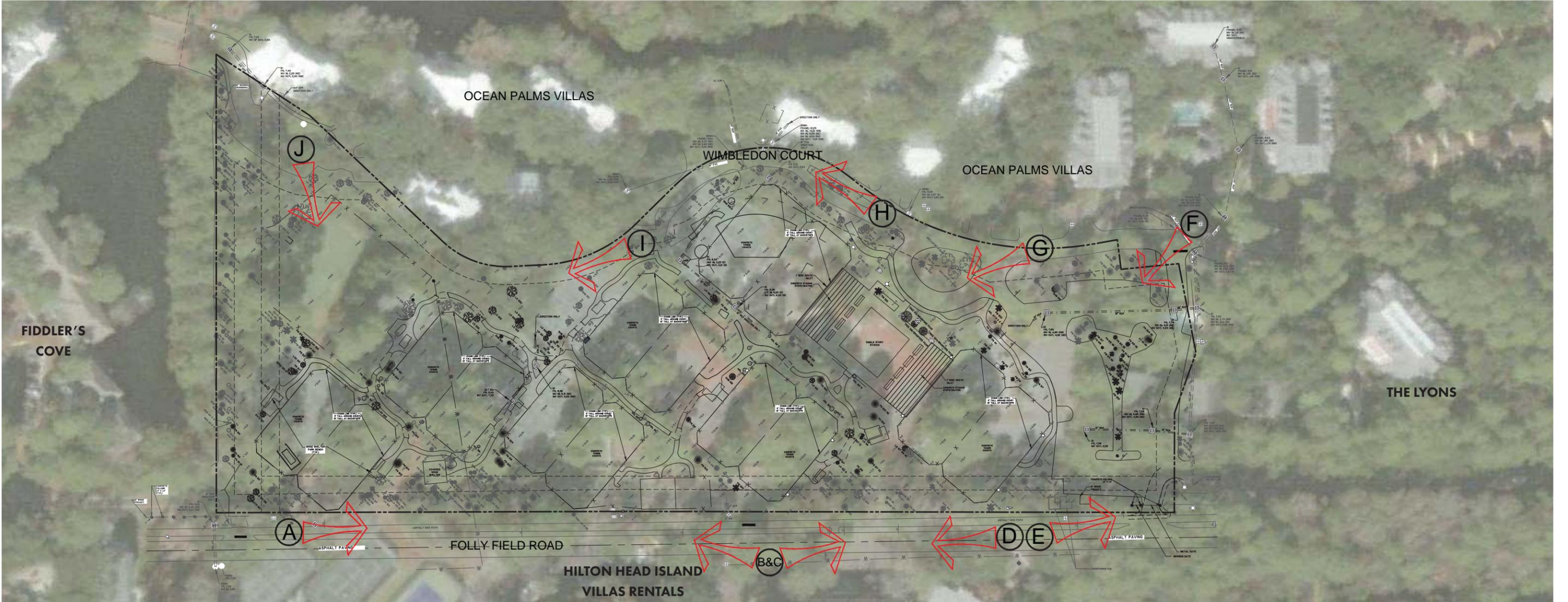


LOWCOUNTRY DORMERS / CLUBHOUSE ROOFLINE



BUILDING MASSING FOR TALLER BUILDINGS





OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

20' ADJACENT USE SETBACK
(EXISTING NON-CONFORMING ROADWAY)

ROYAL DUNES RESORT
8 Wimbledon Ct. - 4-5 Story Building
(Fractional Ownership Property) [PD-1]

ACCESS TO LYONS VILLAS
OFF OF WIMBLEDON

FIDDLER'S COVE BEACH CLUB
45 Folly Field Rd - 3-4 Story Buildings
(Private Condos with Short-term rentals) [RD]

THE LYONS VILLAS
9 Wimbledon Ct. - 3-4 Story Duplexes
(Private Condos with Short-term rentals) [PD-1]



LEGEND

- BIKE / PEDESTRIAN PATH
- MINOR ARTERIAL ROAD
- VEHICULAR CIRCULATION
- ASPHALT TENNIS COURT
- IMPERVIOUS PAVING
- EXISTING BUILDING
- TREE CANOPY
- SPECIMEN TREES
- STREET/USE BUFFERS & SETBACKS

SEWER EASEMENT (TYP.)
25' ADJACENT USE SETBACK &
25' WIDE TYPE 'B' BUFFER, OPTION 1

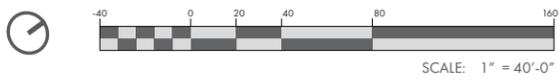
25' ADJACENT USE SETBACK &
TYPE 'B' BUFFER, OPTION 1
25' WIDE TYPE 'B' STREET BUFFER (TYP.)
40' STREET SETBACK (TYP.)

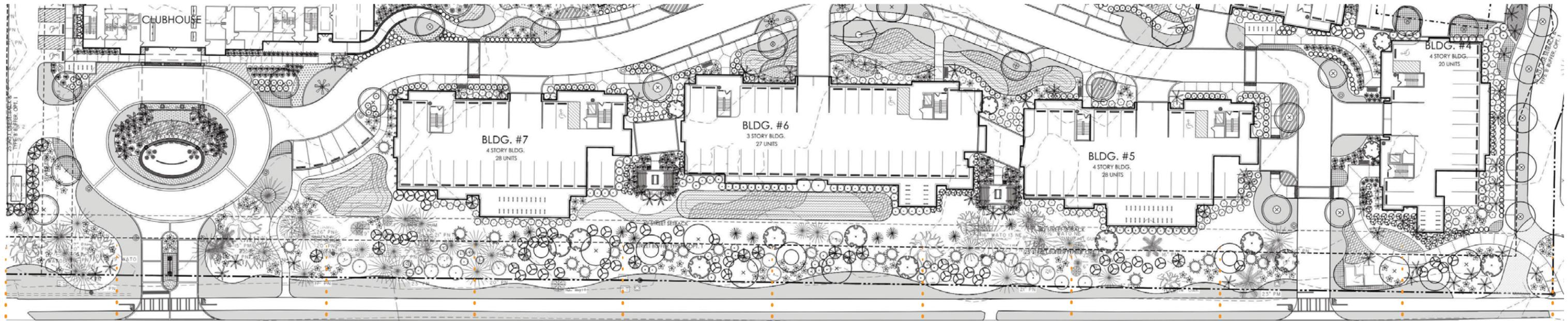
ISLAND CLUB OF HH
85 Folly Field Rd. - 3-4 Story Buildings
(Resort/Timeshare) [PD-1]



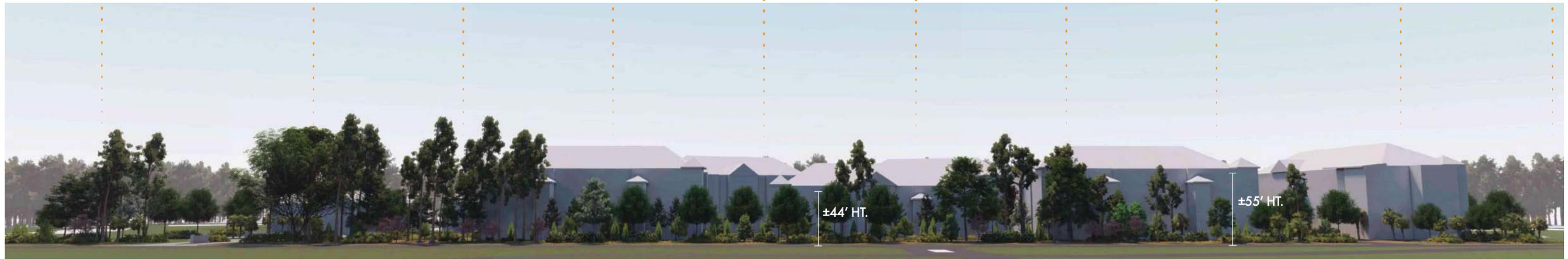
FIFTEEN WIMBLEDON - OVERALL MASTER PLAN

PORT ROYAL - HILTON HEAD ISLAND, SC





SEC. 1 SEC. 2 SEC. 3 SEC. 4 SEC. 5 SEC. 6 SEC. 7 SEC. 8 SEC. 9 SEC. 10



FOLLY FIELD RD SECTION

* PROPOSED PLANT MATERIAL SHOWN AFTER ±10-15 YEARS OF OPTIMAL GROWTH. ACTUAL GROWTH IN THE FIELD MAY BE MORE OR LESS DEPENDING ON SITE CONDITIONS & WEATHER PATTERNS



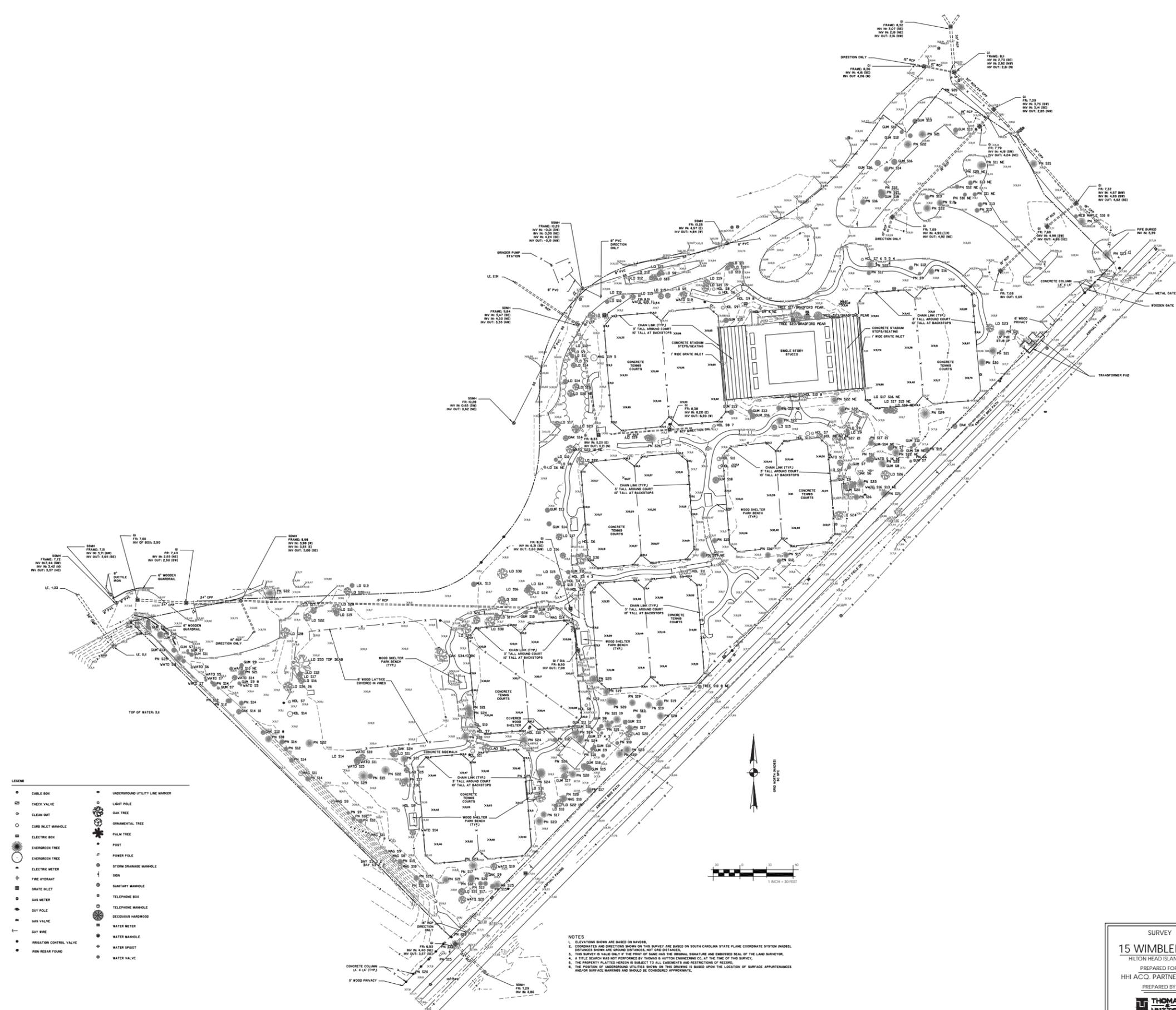
PERSPECTIVE 1



PERSPECTIVE 2



PERSPECTIVE 3



LEGEND

● CABLE BOX	○ UNDERGROUND UTILITY LINE MARKER
□ CHECK VALVE	○ LIGHT POLE
○ CLEAN OUT	○ OAK TREE
○ CURB INLET MANHOLE	○ ORNAMENTAL TREE
○ ELECTRIC BOX	○ PALM TREE
○ EVERGREEN TREE	○ POST
○ EVERGREEN TREE	○ POWER POLE
○ ELECTRIC METER	○ STORM DRAINAGE MANHOLE
○ FINE HYDRANT	○ SIGN
○ GRATE INLET	○ SANITARY MANHOLE
○ GAS METER	○ TELEPHONE BOX
○ GUY POLE	○ TELEPHONE MANHOLE
○ GAS VALVE	○ DECIDUOUS HARDWOOD
○ GUY WIRE	○ WATER METER
○ IRRIGATION CONTROL VALVE	○ WATER MANHOLE
○ IRON REBAR FOUND	○ WATER SPOUT
	○ WATER VALVE

NOTES

- ELEVATIONS SHOWN ARE BASED ON NAVD83.
- COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83). DISTANCES SHOWN ARE SHOWN AS BEARS, NOT TRUE DISTANCES.
- THIS SURVEY IS VALID ONLY IF THE PRINT OF SAME HAS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE LAND SURVEYOR.
- A TITLE SEARCH HAS NOT BEEN PERFORMED BY THOMAS & HUTTON ENGINEERS CO. AT THE TIME OF THIS SURVEY.
- THE PROPERTY PLATTED HEREIN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APPOINTMENTS AND/OR SURFACE MARKINGS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY
15 WIMBLEDON
 HILTON HEAD ISLAND, SC
 PREPARED FOR:
 HHI ACO PARTNERS, LLC
 PREPARED BY:
THOMAS & HUTTON
 50 Park of Commerce Way
 Hilton Head Island, SC 29928
 www.thomasandhutton.com

DATE: 12/08/2023	SCALE: 1" = 30'
COMPUTED BY: JPH	DATE: 12/08/23
DESIGNED BY: JPH	DATE: 12/08/23

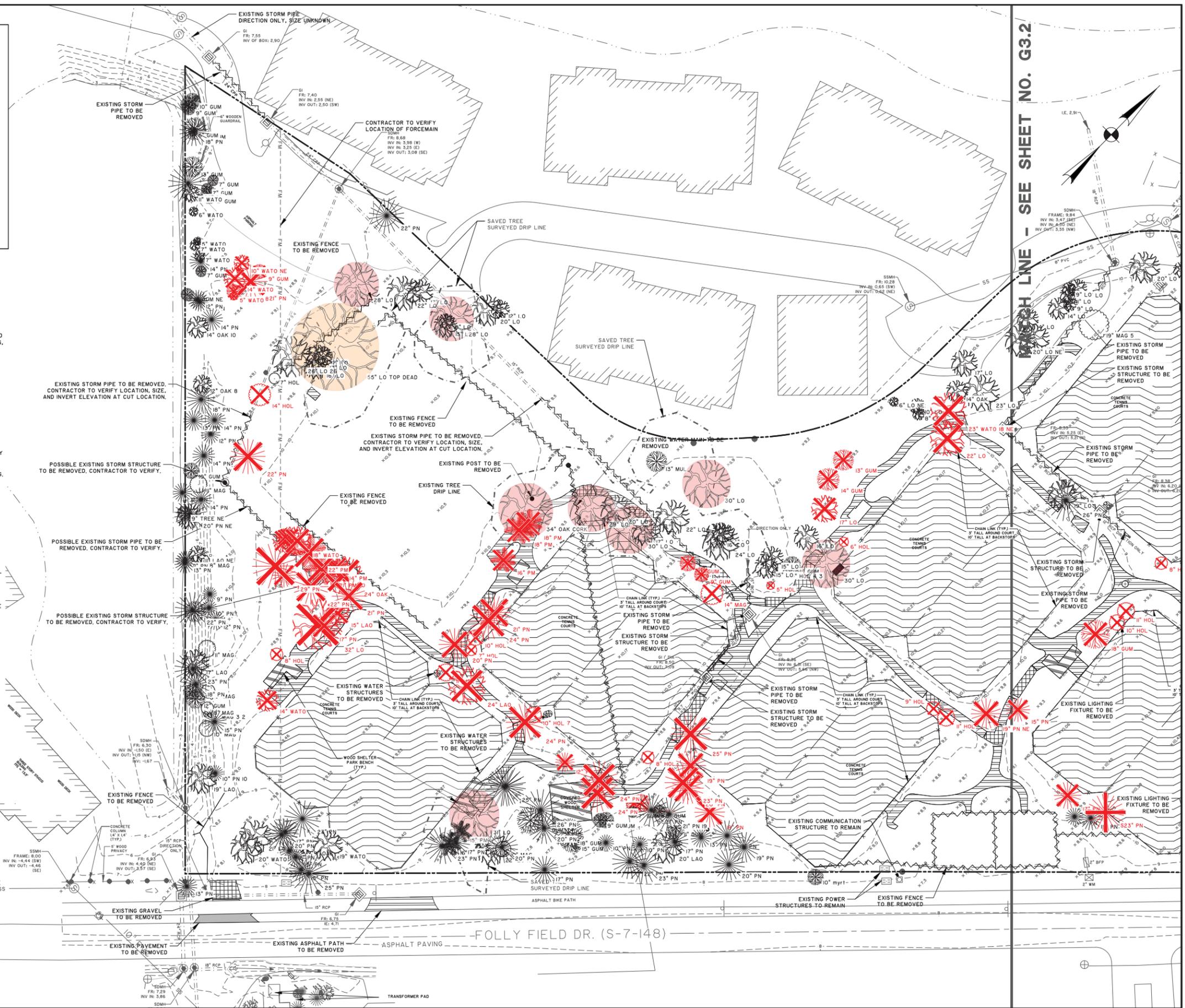
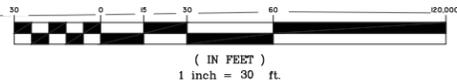
REMOVAL LEGEND

-  REMOVE TENNIS COURT AND ADJACENT FENCE (11,000 SY. TOTAL)
-  REMOVE ASPHALT AND GAB (4,210 SY. TOTAL)
-  SIDEWALK (1,350 SY. TOTAL)
-  BUILDINGS (4,700 SF. TOTAL)
-  GRAVEL (281 SY. TOTAL)
-  TREE REMOVAL
-  UTILITIES & FENCE

DEMOLITION NOTES:

1. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REPRESENT ACTUAL, AND ALL LOCATIONS. SURVEY OF UTILITIES SHOWN ON THIS PLAN WERE COLLECTED FROM THOMAS AND HUTTON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AVAILABLE RECORD DRAWINGS AND COORDINATE WITH THE PROVIDER TO LOCATE ALL UTILITIES PRIOR TO DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION ACCEPTABLE BY ALL GOVERNING AUTHORITIES, OF ALL MATERIALS INDICATED IN THIS PLAN. ALL MATERIALS TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES. TRAFFIC CONTROL PLAN MUST BE CONSISTENT WITH THE MUTCD, LATEST EDITION.
6. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. PRIOR TO COMMENCING DEMOLITION OF EXISTING SITE, CONTRACTOR SHALL IMPLEMENT PHASING OF EROSION & SEDIMENTATION CONTROL PRACTICES.
8. PRIOR TO BEGINNING DEMOLITION OF EXISTING SITE, CONTRACTOR SHALL NOTIFY OWNER, ARCHITECT, AND ENGINEER WITHIN 72 HOURS.
9. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
10. EXISTING DRAINAGE, WATER AND SANITARY SEWER UTILITIES AND ASSOCIATED APPURTENANCES SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
11. ALL WATER VALVE BOXES/MANHOLES, METER AND BACKFLOW PREVENTER BOXES AND ASSOCIATED APPURTENANCES, SANITARY SEWER MANHOLE TOPS AND CLEANOUTS AND SURFACE DRAINAGE STRUCTURE INLETS SHALL BE BROUGHT TO FINISHED GRADE.
12. WORK ASSOCIATED WITH THIS PROJECT IS LOCATED WITHIN THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY. ALL WORK SHALL BE COORDINATED WITH SCOTD AND CONSTRUCTED TO SCOTD CURRENT STANDARDS.

GRAPHIC SCALE



SEE SHEET NO. G3.2

**PRELIMINARY
NOT FOR
CONSTRUCTION**

NO.	REVISIONS	DATE
1	REVISED PER TOWN COMMENTS	
	BY	
	MEB	12/20/18

**THOMAS
HUTTON**
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
EXISTING CONDITIONS AND DEMOLITION PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	CCC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 30'

G3.1

PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	REVISED PER TOWN COMMENTS	BY	DATE

THOMAS HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLEDON
EXISTING CONDITIONS AND DEMOLITION PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	CCG
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 30'

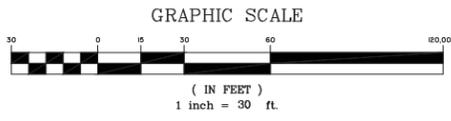
G3.2

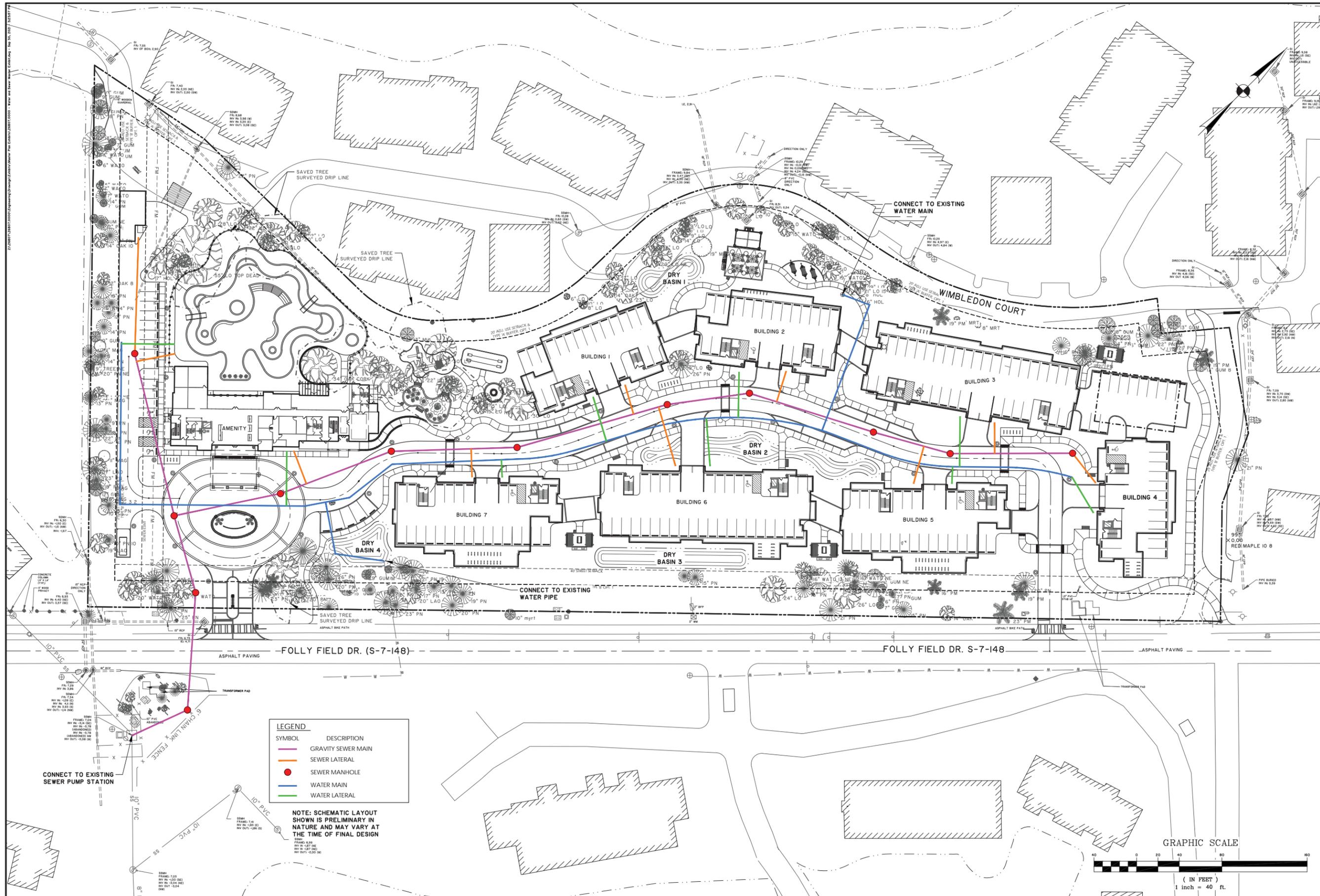


REMOVAL LEGEND

- REMOVE TENNIS COURT AND ADJACENT FENCE (11,000 SY. TOTAL)
- REMOVE ASPHALT AND GAB (4,210 SY. TOTAL)
- SIDEWALK (1,350 SY. TOTAL)
- BUILDINGS (4,700 SF. TOTAL)
- GRAVEL (220 SY. TOTAL)
- TREE REMOVAL
- UTILITIES & FENCE

- DEMOLITION NOTES:**
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REPRESENT ACTUAL, AND ALL LOCATIONS. SURVEY OF UTILITIES SHOWN ON THIS PLAN WERE COLLECTED FROM THOMAS AND HUTTON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AVAILABLE RECORD DRAWINGS AND COORDINATE WITH THE PROVIDER TO LOCATE ALL UTILITIES PRIOR TO DEMOLITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION ACCEPTABLE BY ALL GOVERNING AUTHORITIES, OF ALL MATERIALS INDICATED IN THIS PLAN. ALL MATERIALS TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 - UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 - CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES. TRAFFIC CONTROL PLAN MUST BE CONSISTENT WITH THE MUTCD, LATEST EDITION.
 - DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - PRIOR TO COMMENCING DEMOLITION OF EXISTING SITE, CONTRACTOR SHALL IMPLEMENT PHASING OF EROSION & SEDIMENTATION CONTROL PRACTICES.
 - PRIOR TO BEGINNING DEMOLITION OF EXISTING SITE, CONTRACTOR SHALL NOTIFY OWNER, ARCHITECT, AND ENGINEER WITHIN 72 HOURS.
 - CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
 - EXISTING DRAINAGE, WATER AND SANITARY SEWER UTILITIES AND ASSOCIATED APPURTENANCES SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
 - ALL WATER VALVE BOXES/MANHOLES, METER AND BACKFLOW PREVENTER BOXES AND ASSOCIATED APPURTENANCES, SANITARY SEWER MANHOLE TOPS AND CLEANOUTS AND SURFACE DRAINAGE STRUCTURE INLETS SHALL BE BROUGHT TO FINISHED GRADE.
 - WORK ASSOCIATED WITH THIS PROJECT IS LOCATED WITHIN THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY. ALL WORK SHALL BE COORDINATED WITH SCOTD AND CONSTRUCTED TO SCOTD CURRENT STANDARDS.

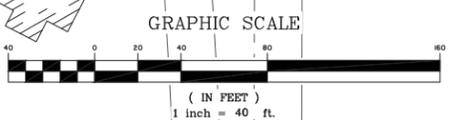




LEGEND

SYMBOL	DESCRIPTION
	GRAVITY SEWER MAIN
	SEWER LATERAL
	SEWER MANHOLE
	WATER MAIN
	WATER LATERAL

NOTE: SCHEMATIC LAYOUT SHOWN IS PRELIMINARY IN NATURE AND MAY VARY AT THE TIME OF FINAL DESIGN



PRELIMINARY
NOT FOR
CONSTRUCTION

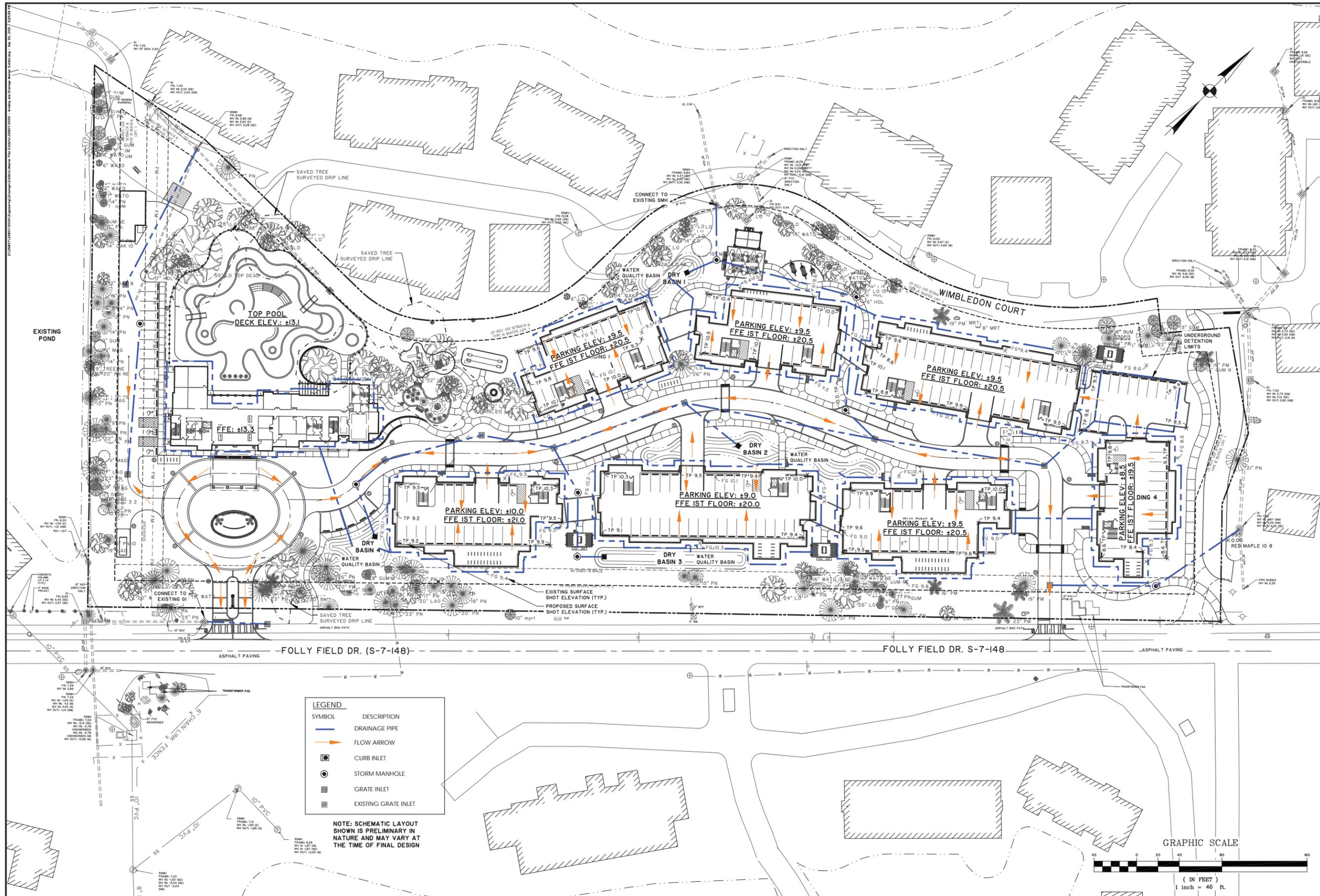
NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLEDON
WATER AND SEWER MASTER PLAN

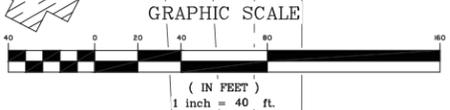
JOB NO:	J-26807.0000
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DRAWN:	CGC/MDL
DESIGNED:	MD
REVIEWED:	NBL
APPROVED:	NBL
SCALE:	1" = 40'

EX1.1



LEGEND	
SYMBOL	DESCRIPTION
	DRAINAGE PIPE
	FLOW ARROW
	CURB INLET
	STORM MANHOLE
	GRATE INLET
	EXISTING GRATE INLET

NOTE: SCHEMATIC LAYOUT SHOWN IS PRELIMINARY IN NATURE AND MAY VARY AT THE TIME OF FINAL DESIGN



PRELIMINARY
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CONSTRUCTION

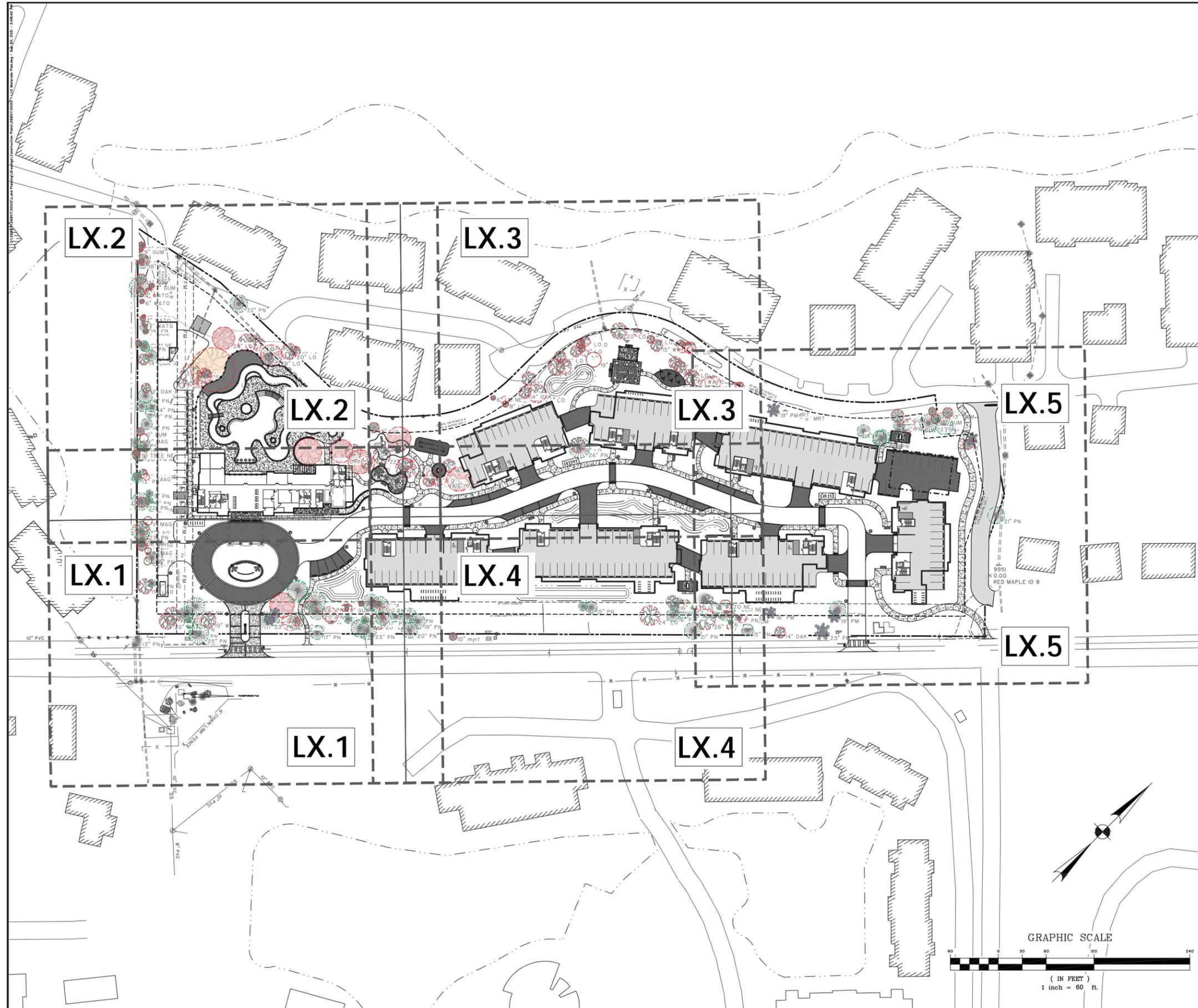
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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLEDON
GRADING AND DRAINAGE MASTER PLAN

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DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
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EX2.1

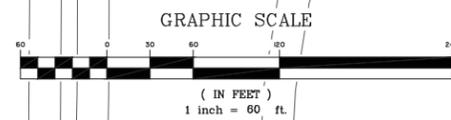


SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	SEE CIVIL	ASPHALT	[Symbol]
1.2	L3.1	VEHICULAR PLAZA - TABBY CONC. W/ DOUBLE BRICK SOLIDER COURSE	[Symbol]
1.3	L3.1	VEHICULAR PAVERS	[Symbol]
1.4	L3.1	PEDESTRIAN PAVERS	[Symbol]
1.5	L3.1	LIGHT BROOM FINISH CONC.	[Symbol]
1.6	L3.1	GRANITE FINES WITH CONC. CURB	[Symbol]
1.7	L3.1	SUNDECK POOL SURFACE & CONC. COPING	[Symbol]
1.8	L3.1	PORCELAIN PAVERS MORTAR SET	[Symbol]
1.9	L3.1	PORCELAIN PAVERS ON GABC BASE	[Symbol]
1.10	L3.1	GRASS PAVE - FIRE LANE	[Symbol]
1.11	L3.2	COMPOSITE DECKING @ POOL	[Symbol]
2.0 STEPS, RAMPS, & CURBS			
2.1	SEE CIVIL	CONCRETE WHEEL STOPS	[Symbol]
2.2	SEE CIVIL	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	SEE CIVIL	CONCRETE RAMPS / DOME TILES	[Symbol]
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.2	TABBY WALL WITH BRICK CAP (VARYING HTS.)	[Symbol]
3.2	L3.2	TIMBER RETAINING WALL (VARYING HTS.)	[Symbol]
3.3	L3.3	HANDRAIL	[Symbol]
3.4	L3.3	OUTDOOR KITCHEN W. WOOD TRELLIS	[Symbol]
3.5	L3.3	WOODEN SWING TRELLIS	[Symbol]
3.6	L3.4	POOL FENCE / NORTHERN PROPERTY LINE	[Symbol]
3.7	L3.4	FIRE PIT	[Symbol]
3.8	L3.4	OUTDOOR KITCHEN W. DOUBLE GRILLS	[Symbol]
3.9	SEE ARCH	DUMPSTER ENCLOSURE	[Symbol]
4.0 SITE FURNISHINGS			
4.1	L3.5	BIKE RACK	[Symbol]
4.2	L3.5	BENCH	[Symbol]
4.3	L3.5	TRASH RECEPTACLE	[Symbol]
4.4	L3.5	DOG WASTE STATION	[Symbol]
4.5	L3.5	HAMMOCK	[Symbol]
5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS			
6.0 SIGNAGE			
6.1	L3.6	PROJECT ID SIGN	[Symbol]
6.2	L3.6	RESORT ARRIVAL WALL & WATER FEATURE	[Symbol]
7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2			
8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND / TREE HOUSE (BY OTHERS - SEE MATERIALS BOARD)	[Symbol]

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 DRY STORMWATER COLLECTION AREA
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING PALM TREES TO REMAIN
- 5 SEE LANDSCAPE PLAN



**PRELIMINARY
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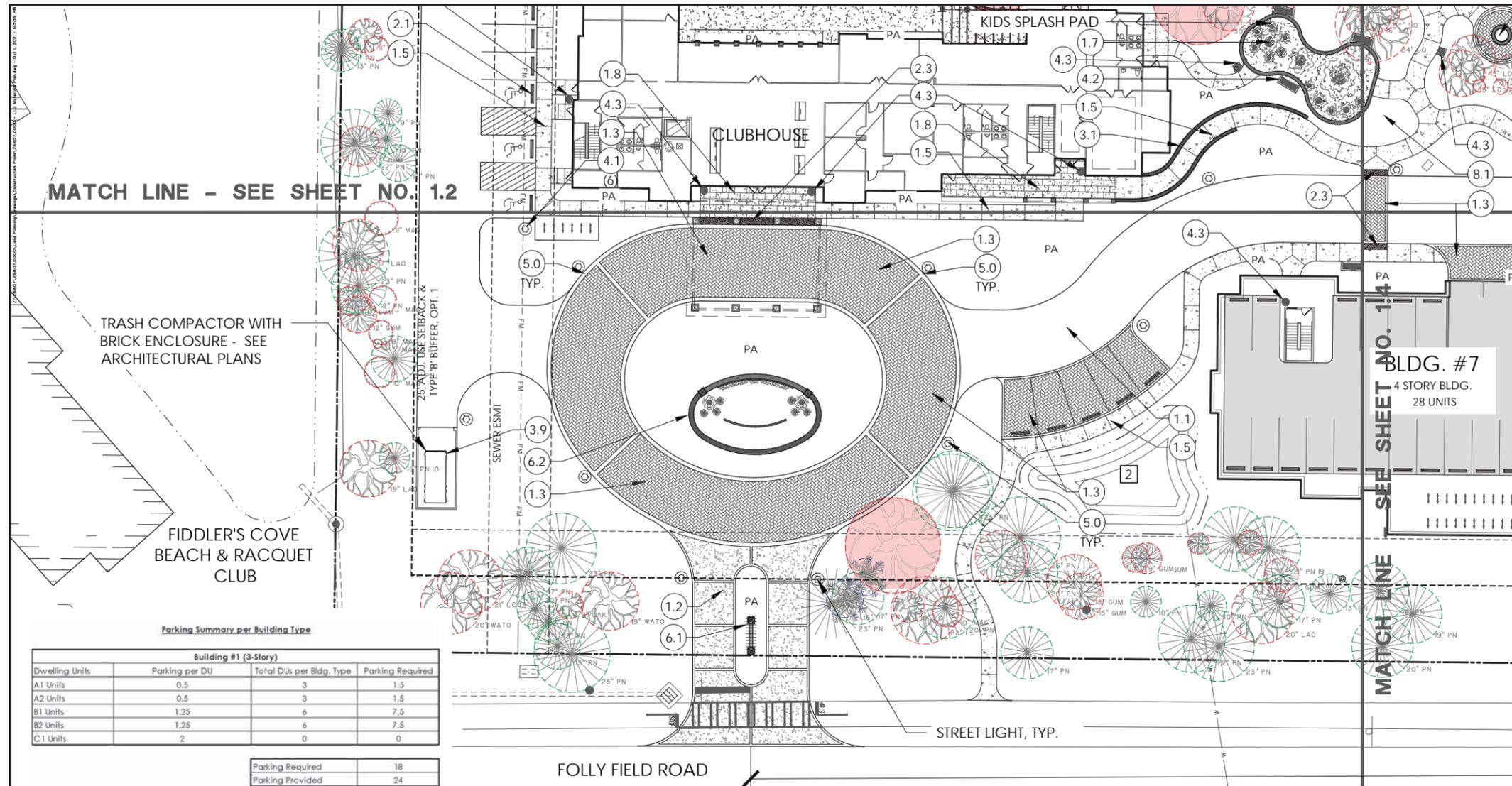
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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 60'

L1.0



Parking Summary per Building Type

Building #1 (3-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	3	1.5
A2 Units	0.5	3	1.5
B1 Units	1.25	6	7.5
B2 Units	1.25	6	7.5
C1 Units	2	0	0

Parking Required	18
Parking Provided	24

Building #2 (3-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	0	0
A2 Units	0.5	3	1.5
B1 Units	1.25	12	15
B2 Units	1.25	9	11.25
C1 Units	2	3	6

Parking Required	33.75
Parking Provided	24

Building #5 (4-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	0	0
A2 Units	0.5	4	2
B1 Units	1.25	16	20
B2 Units	1.25	8	10
C1 Units	2	0	0

Parking Required	32
Parking Provided	27

Building #3 (3-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	3	1.5
A2 Units	0.5	3	1.5
B1 Units	1.25	6	7.5
B2 Units	1.25	6	7.5
C1 Units	2	0	0

Parking Required	18
Parking Provided	35

Building #6 (3-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	0	0
A2 Units	0.5	3	1.5
B1 Units	1.25	12	15
B2 Units	1.25	9	11.25
C1 Units	2	3	6

Parking Required	33.75
Parking Provided	34

Building #4 (4-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	0	0
A2 Units	0.5	4	2
B1 Units	1.25	8	10
B2 Units	1.25	8	10
C1 Units	2	0	0

Parking Required	22
Parking Provided	29

Building #7 (4-Story)			
Dwelling Units	Parking per DU	Total DUs per Bldg. Type	Parking Required
A1 Units	0.5	0	0
A2 Units	0.5	4	2
B1 Units	1.25	16	20
B2 Units	1.25	8	10
C1 Units	2	0	0

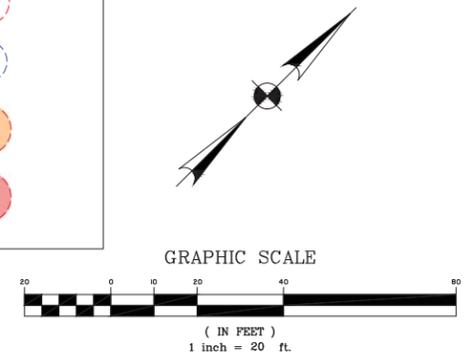
Parking Required	32
Parking Provided	27

15 Wimbledon Court Unit Mix

Unit	Unit Type	# Units	Heated Area	Total Heated
A1	1 Bed/ 1 Bath	6	585 Net SF	47,270
A2	1 Bed/ 1 Bath (Premium)	24	715 Net SF	47,270
B1	2 Bed/ 2 Bath (Premium)	76	925 Net SF	41,072
B2	2 Bed/ 2 Bath (non-exterior wall)	48	1,134 Net SF	51,198
C1	3 Bed/ 3 Bath	12	1,579 Net SF	26,824
Total		166		166,364

EXISTING TREE LEGEND

- EXISTING EVERGREEN TO REMAIN
- EXISTING HARDWOOD TO REMAIN
- EXISTING PALM TO REMAIN
- SPECIMEN TREES TO REMAIN
- SIGNIFICANT TREES TO REMAIN



SITE DETAIL KEYNOTES

- | # | Sheet # | Detail | Symbol |
|---|-----------|--|--------|
| 1.0 PAVING | | | |
| 1.1 | SEE CIVIL | ASPHALT | |
| 1.2 | L3.1 | VEHICULAR PLAZA - TABBY CONC. W/ DOUBLE BRICK SOLIDER COURSE | |
| 1.3 | L3.1 | VEHICULAR PAVERS | |
| 1.4 | L3.1 | PEDESTRIAN PAVERS | |
| 1.5 | L3.1 | LIGHT BROOM FINISH CONC. | |
| 1.6 | L3.1 | GRANITE FINES WITH CONC. CURB | |
| 1.7 | L3.1 | SUNDECK POOL SURFACE & CONC. COPING | |
| 1.8 | L3.1 | PORCELAIN PAVERS MORTAR SET | |
| 1.9 | L3.1 | PORCELAIN PAVERS ON GABC BASE | |
| 1.10 | L3.1 | GRASS PAVE - FIRE LANE | |
| 1.11 | L3.2 | COMPOSITE DECKING @ POOL | |
| 2.0 STEPS, RAMPS, & CURBS | | | |
| 2.1 | SEE CIVIL | CONCRETE WHEEL STOPS | |
| 2.2 | SEE CIVIL | FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH | |
| 2.3 | SEE CIVIL | CONCRETE RAMPS / DOME TILES | |
| 3.0 WALLS, MASONRY, & VERTICAL ELEMENTS | | | |
| 3.1 | L3.2 | TABBY WALL WITH BRICK CAP (VARYING HTS.) | |
| 3.2 | L3.2 | TIMBER RETAINING WALL (VARYING HTS.) | |
| 3.3 | L3.3 | HANDRAIL | |
| 3.4 | L3.3 | OUTDOOR KITCHEN W. WOOD TRELLIS | |
| 3.5 | L3.3 | WOODEN SWING TRELLIS | |
| 3.6 | L3.4 | POOL FENCE / NORTHERN PROPERTY LINE | |
| 3.7 | L3.4 | FIRE PIT | |
| 3.8 | L3.4 | OUTDOOR KITCHEN W. DOUBLE GRILLS | |
| 3.9 | SEE ARCH. | DUMPSTER ENCLOSURE | |
| 4.0 SITE FURNISHINGS | | | |
| 4.1 | L3.5 | BIKE RACK | |
| 4.2 | L3.5 | BENCH | |
| 4.3 | L3.5 | TRASH RECEPTACLE | |
| 4.4 | L3.5 | HAMMOCK | |
| 5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS | | | |
| 6.0 SIGNAGE | | | |
| 6.1 | L3.6 | PROJECT ID SIGN | |
| 6.2 | L3.6 | RESORT ARRIVAL WALL & WATER FEATURE | |
| 7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2 | | | |
| 8.0 MISCELLANEOUS | | | |
| 8.1 | | CHILDREN'S PLAYGROUND / TREE HOUSE (BY OTHERS - SEE MATERIALS BOARD) | |

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 DRY STORMWATER COLLECTION AREA
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING PALM TREES TO REMAIN
- 5 SEE LANDSCAPE PLAN

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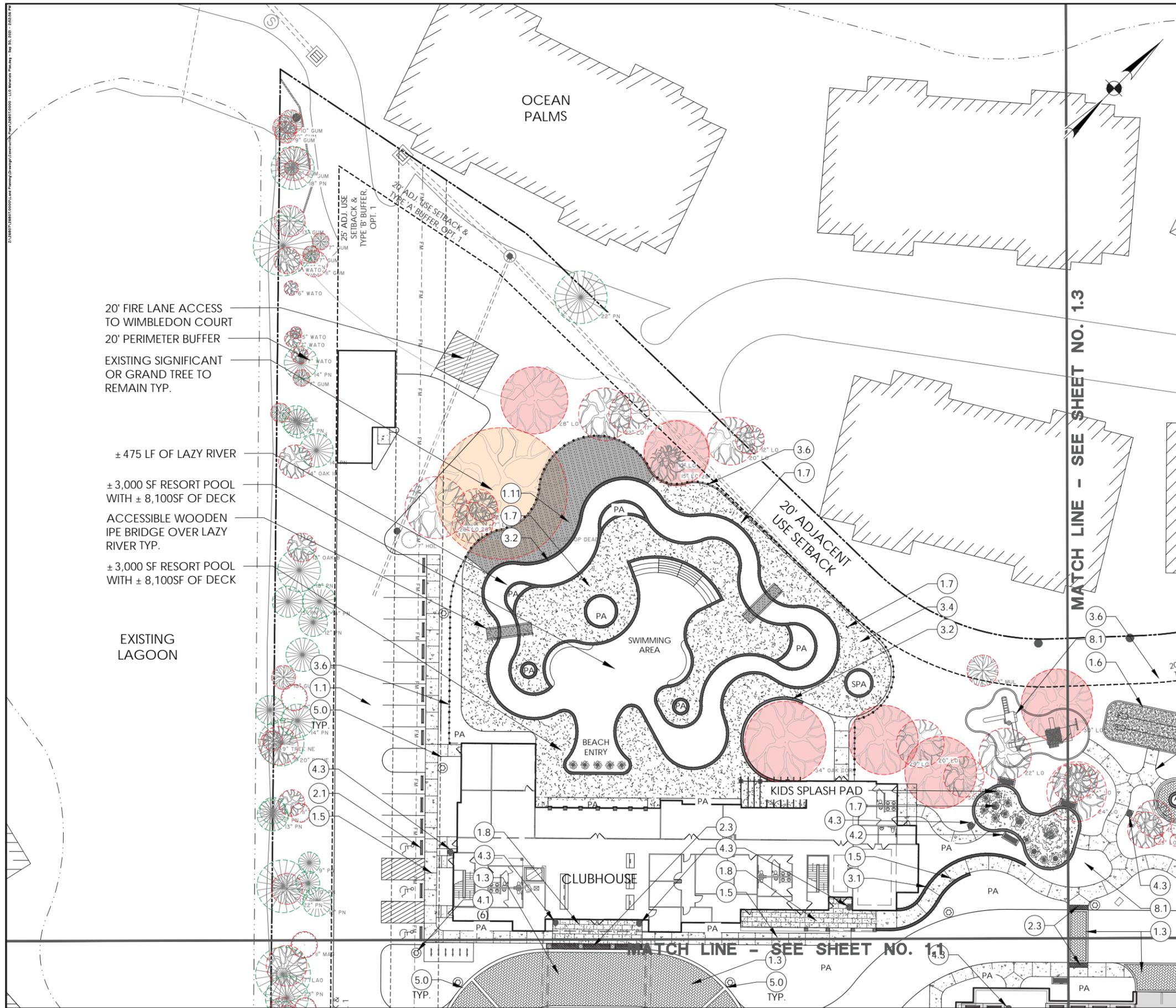
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L1.1



20' FIRE LANE ACCESS TO WIMBLEDON COURT
 20' PERIMETER BUFFER
 EXISTING SIGNIFICANT OR GRAND TREE TO REMAIN TYP.

± 475 LF OF LAZY RIVER
 ± 3,000 SF RESORT POOL WITH ± 8,100SF OF DECK
 ACCESSIBLE WOODEN IPE BRIDGE OVER LAZY RIVER TYP.
 ± 3,000 SF RESORT POOL WITH ± 8,100SF OF DECK

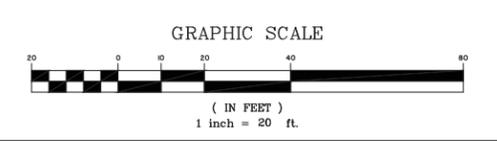
EXISTING LAGOON

SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	SEE CIVIL	ASPHALT	[Symbol]
1.2	L3.1	VEHICULAR PLAZA - TABBY CONC. W/ DOUBLE BRICK SOLIDER COURSE	[Symbol]
1.3	L3.1	VEHICULAR PAVERS	[Symbol]
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1.11	L3.2	COMPOSITE DECKING @ POOL	[Symbol]
2.0 STEPS, RAMPS, & CURBS			
2.1	SEE CIVIL	CONCRETE WHEEL STOPS	[Symbol]
2.2	SEE CIVIL	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
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8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND / TREE HOUSE (BY OTHERS - SEE MATERIALS BOARD)	[Symbol]

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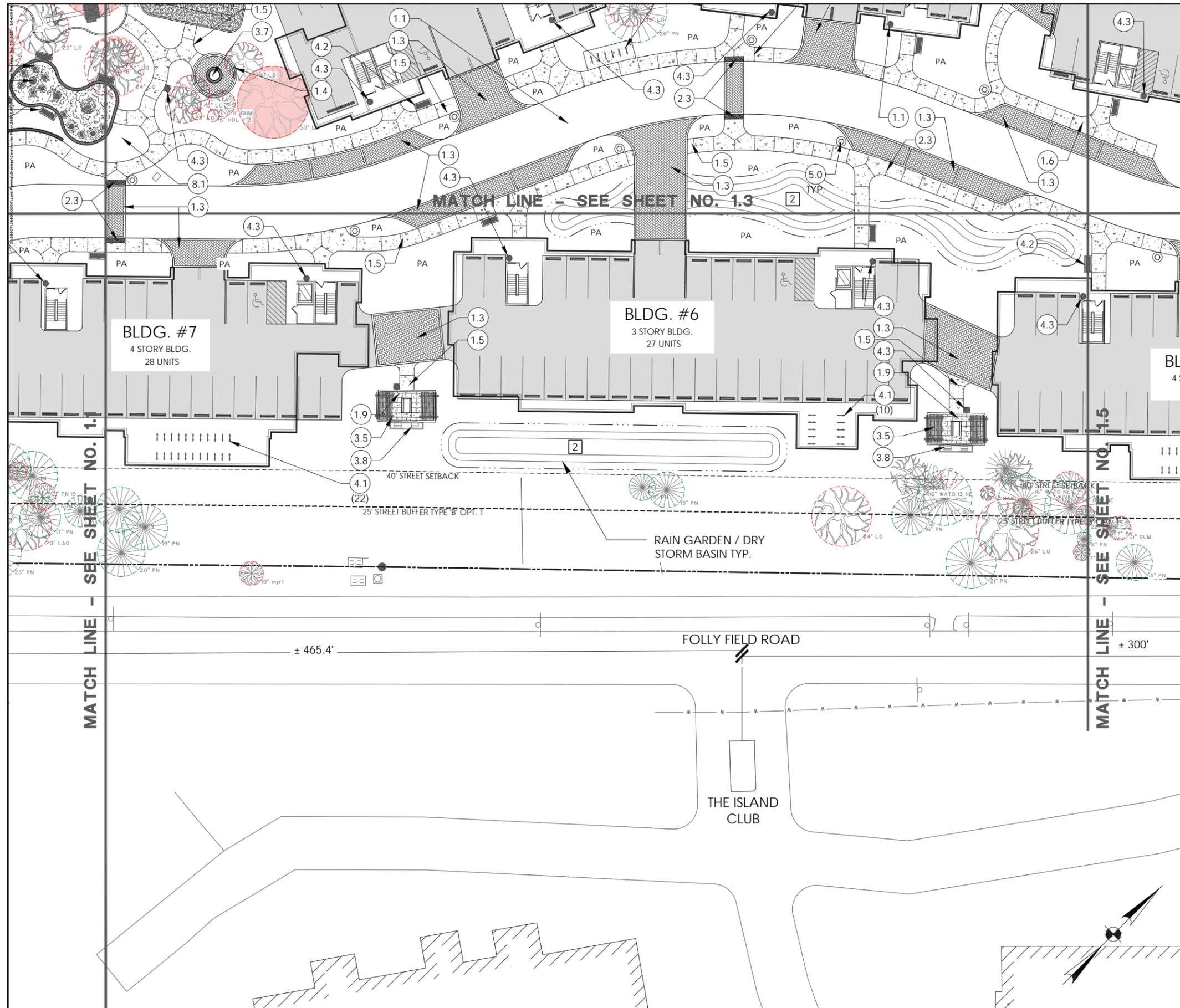
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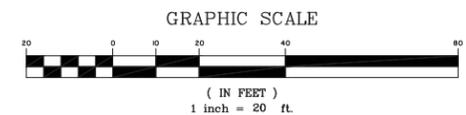


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3.6	L3.4	POOL FENCE / NORTHERN PROPERTY LINE	
3.7	L3.4	FIRE PIT	
3.8	L3.4	OUTDOOR KITCHEN W. DOUBLE GRILLS	
3.9	SEE ARCH.	DUMPSTER ENCLOSURE	
4.0 SITE FURNISHINGS			
4.1	L3.5	BIKE RACK	
4.2	L3.5	BENCH	
4.3	L3.5	TRASH RECEPTACLE	
4.4	L3.5	HAMMOCK	
5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS			
6.0 SIGNAGE			
6.1	L3.6	PROJECT ID SIGN	
6.2	L3.6	RESORT ARRIVAL WALL & WATER FEATURE	
7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2			
8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND / TREE HOUSE (BY OTHERS - SEE MATERIALS BOARD)	

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 DRY STORMWATER COLLECTION AREA
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING PALM TREES TO REMAIN
- 5 SEE LANDSCAPE PLAN



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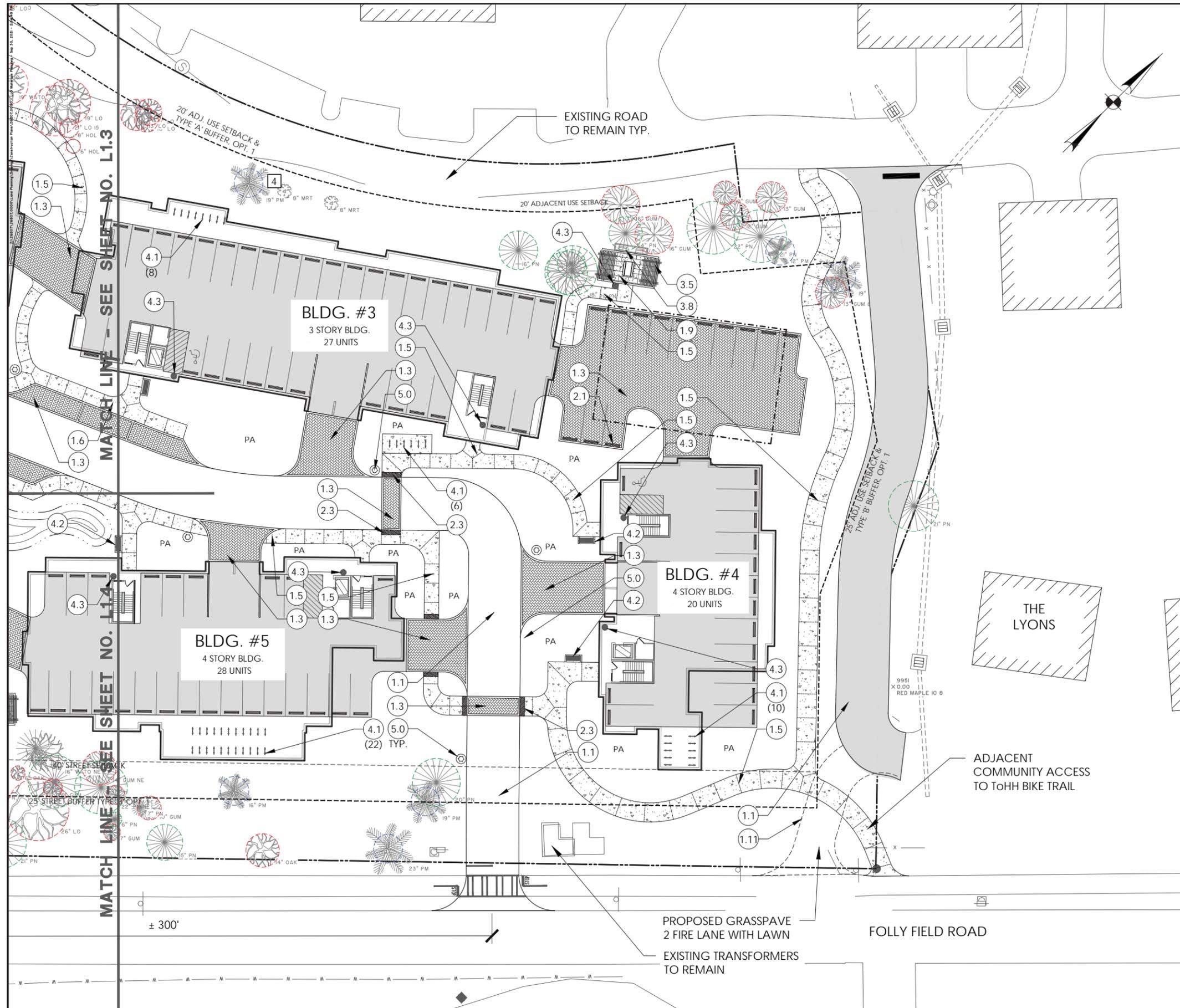
NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.4

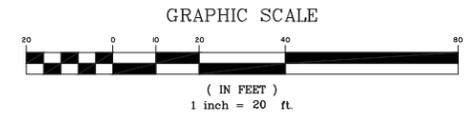


SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	SEE CIVIL	ASPHALT	[Symbol]
1.2	L3.1	VEHICULAR PLAZA - TABBY CONC. W/ DOUBLE BRICK SOLIDER COURSE	[Symbol]
1.3	L3.1	VEHICULAR PAVERS	[Symbol]
1.4	L3.1	PEDESTRIAN PAVERS	[Symbol]
1.5	L3.1	LIGHT BROOM FINISH CONC.	[Symbol]
1.6	L3.1	GRANITE FINES WITH CONC. CURB	[Symbol]
1.7	L3.1	SUNDECK POOL SURFACE & CONC. COPING	[Symbol]
1.8	L3.1	PORCELAIN PAVERS MORTAR SET	[Symbol]
1.9	L3.1	PORCELAIN PAVERS ON GABC BASE	[Symbol]
1.10	L3.1	GRASS PAVE - FIRE LANE	[Symbol]
1.11	L3.2	COMPOSITE DECKING @ POOL	[Symbol]
2.0 STEPS, RAMPS, & CURBS			
2.1	SEE CIVIL	CONCRETE WHEEL STOPS	[Symbol]
2.2	SEE CIVIL	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	SEE CIVIL	CONCRETE RAMPS / DOME TILES	[Symbol]
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.2	TABBY WALL WITH BRICK CAP (VARYING HTS.)	[Symbol]
3.2	L3.2	TIMBER RETAINING WALL (VARYING HTS.)	[Symbol]
3.3	L3.3	HANDRAIL	[Symbol]
3.4	L3.3	OUTDOOR KITCHEN W. WOOD TRELLIS	[Symbol]
3.5	L3.3	WOODEN SWING TRELLIS	[Symbol]
3.6	L3.4	POOL FENCE / NORTHERN PROPERTY LINE	[Symbol]
3.7	L3.4	FIRE PIT	[Symbol]
3.8	L3.4	OUTDOOR KITCHEN W. DOUBLE GRILLS	[Symbol]
3.9	SEE ARCH.	DUMPSTER ENCLOSURE	[Symbol]
4.0 SITE FURNISHINGS			
4.1	L3.5	BIKE RACK	[Symbol]
4.2	L3.5	BENCH	[Symbol]
4.3	L3.5	TRASH RECEPTACLE	[Symbol]
4.4	L3.5	HAMMOCK	[Symbol]
5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS			
6.0 SIGNAGE			
6.1	L3.6	PROJECT ID SIGN	[Symbol]
6.2	L3.6	RESORT ARRIVAL WALL & WATER FEATURE	[Symbol]
7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2			
8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND / TREE HOUSE (BY OTHERS - SEE MATERIALS BOARD)	[Symbol]

HARDSCAPE KEYNOTES

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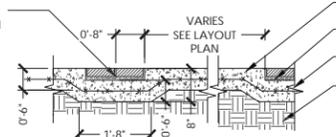
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SCALE:	1" = 20'

L1.5

BRICK PAVERS - SEE LANDSCAPE LAYOUT PLAN & DETAILS FOR PATTERN & COLORS



TABBY CONCRETE
4,000 PSI
BRICK PAVER MORTAR
SETTING BED
(6x6), #10 W.W.M.
(WELDED WIRE MESH)
95% COMPACTED
SUB-GRADE

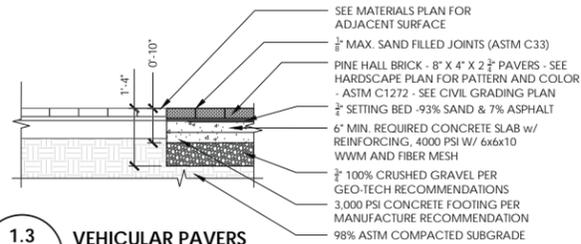


1.2 ENTRY PLAZA TABBY CONC.

L3.1 Scale: 1" = 1'-0"

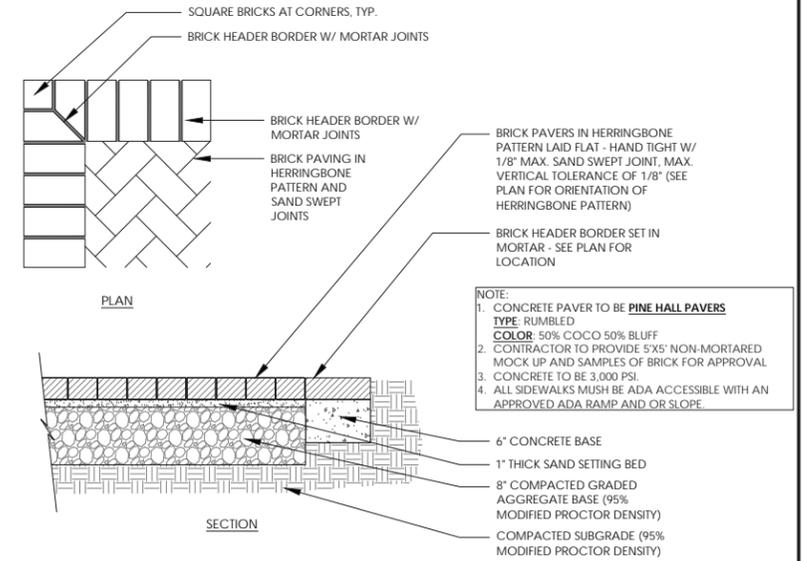
TRAFFIC RATED PAVER NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. PAVER TO EXCEED ASTM STANDARDS FOR PEDESTRIAN / LIGHT TRAFFIC APPLICATIONS WITH 10,000 PSI STRENGTH AND LOW WATER ABSORPTION (5-6%).
3. FINAL ROAD AND TRAFFIC PAVER BASE FOR ALL VEHICLE TRAVEL AREAS WILL BE DETERMINED BASED ON GEO-TECHNICAL RECOMMENDATIONS.



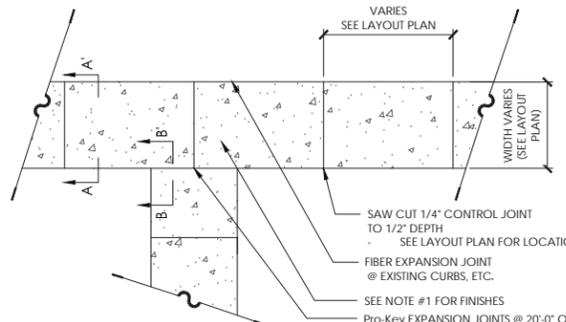
1.3 VEHICULAR PAVERS

L3.1 Scale: 1" = 1'-0"



1.4 PEDESTRIAN PAVERS

L3.1 Scale: 1" = 1'-0"

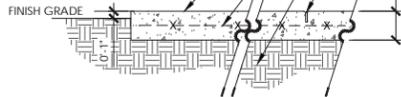


NOTES:

1. CONCRETE FINISHES RANGE, REFER TO SITE DETAIL LEGEND & MATERIALS PLANS FOR CONCRETE FINISHES. PLAN VIEW IS NOT TO SCALE.
2. ALL EXPANSION JOINTS SHALL BE PRO-KEY BY BolMetals, Inc.

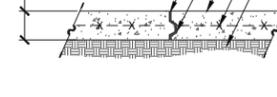
SAW CUT 1/4" CONTROL JOINT TO 1/2" DEPTH - SEE LAYOUT PLAN FOR LOCATIONS
FIBER EXPANSION JOINT @ EXISTING CURBS, ETC.
SEE NOTE #1 FOR FINISHES
Pro-Key EXPANSION JOINTS @ 20'-0" O.C. MIN., 30'-0" O.C. MAX. (SEE SECTION B-B)
4" DEPTH CONCRETE WALK, SEE NOTE #1 FOR FINISHES
6x6, #10 W.W.M.
COMPACTED SUBGRADE
SAW CUT 1/4" CONTROL JOINT TO 1/2" DEPTH - SEE LAYOUT PLAN FOR LOCATIONS

SEAL JOINT AS NEEDED PER MANUFACTURER'S SPECIFICATION (STRAIGHT JOINTS ONLY)
Pro-Key EXPANSION JOINT (STRAIGHT JOINTS ONLY) SEE LAYOUT PLANS FOR LOCATION AND PROVIDE EXPANSION JOINT AT LOCATIONS ADJACENT TO ALL EXISTING CONCRETE
FINISHES VARY, SEE NOTE #1 FOR FINISHES
6x6, #10 W.W.M.
COMPACTED SUBGRADE



SECTION A-A'

SCALE: 1" = 1'-0"

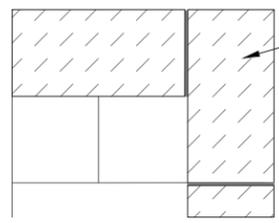


SECTION B-B'

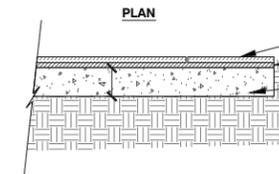
SCALE: 1" = 1'-0"

1.5 LIGHT BROOM FINISH CONCRETE

L3.1 Scale: 1" = 1'-0"



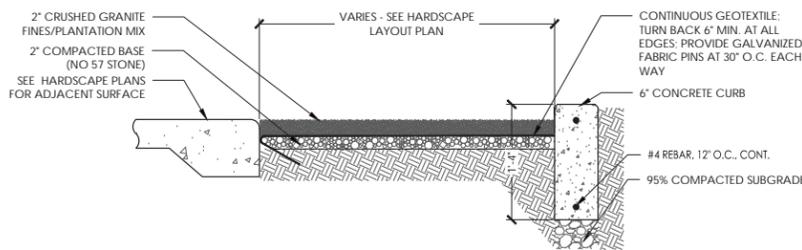
BUTT JOINT W/ FULL PIECES AT ALL CORNERS. HIDE CUT PIECES IN MIDDLE OF FIELD
NOTE:
1. FINISHED SURFACE TO BE ADA ACCESSIBLE UNLESS OTHERWISE NOTED.
2. PORCELAIN PAVERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. PROVIDE 5'x5' MIN. MOCK-UP SAMPLE FOR APPROVAL.



SEE MATERIALS PLAN FOR SIZE AND LOCATIONS
MORTAR BED
4" CONCRETE BASE
COMPACTED SUBGRADE (95% MODIFIED PROCTOR DENSITY)

1.8 PORCELAIN PAVERS - MORTAR SET

L3.1 Scale: 1" = 1'-0"

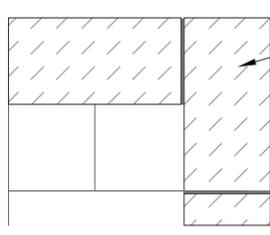


1.6 GRANITE FINES WITH CONCRETE CURB

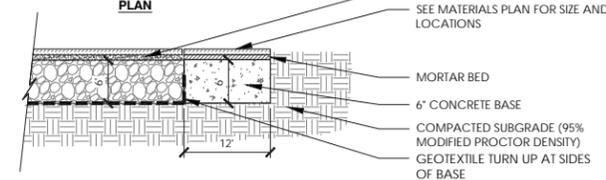
L3.1 Scale: 1" = 1'-0"



NOTE:
PORCELAIN PAVERS TO BE 12" X 24" OLD WORLD TABBY PORCELAIN PAVERS IN OYSTER WHITE COLOR. SAND SWEEP JOINTS TO BE (TAN) POLYMERIC SAND

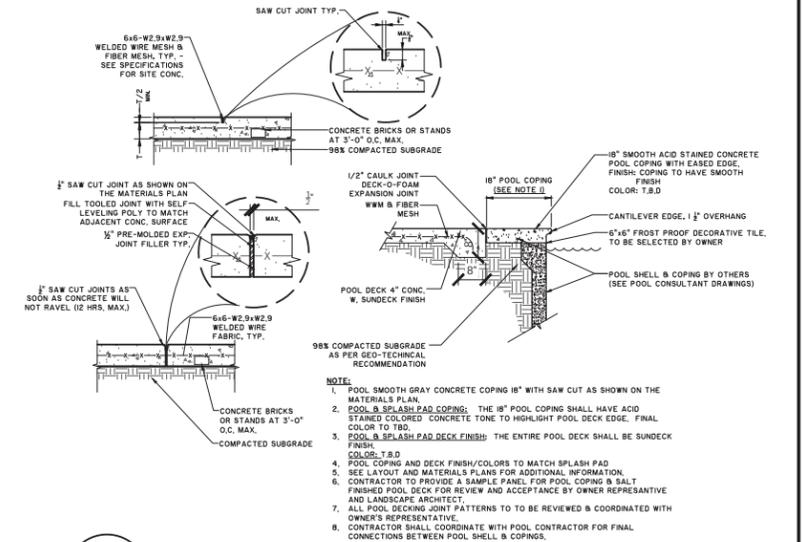


BUTT JOINT W/ FULL PIECES AT ALL CORNERS. HIDE CUT PIECES IN MIDDLE OF FIELD
NOTE:
1. FINISHED SURFACE TO BE ADA ACCESSIBLE UNLESS OTHERWISE NOTED.
2. PORCELAIN PAVERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. PROVIDE 5'x5' MIN. MOCK-UP SAMPLE FOR APPROVAL.



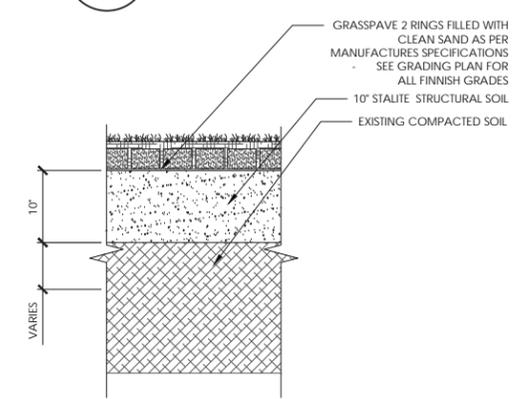
1.9 PORCELAIN PAVERS - ON GABC BASE

L3.1 Scale: 1" = 1'-0"



1.7 POOL DECK COPING & SURFACE

L3.1 Scale: 1/2" = 1'-0"



1.10 GRASS PAVE FIRE LANE

L3.1 Scale: 1" = 1'-0"

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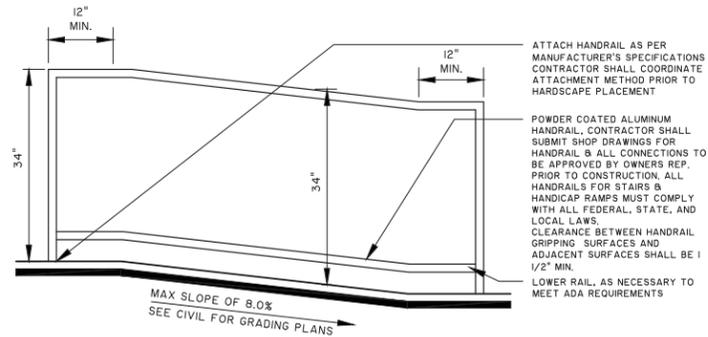
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SITE DETAILS

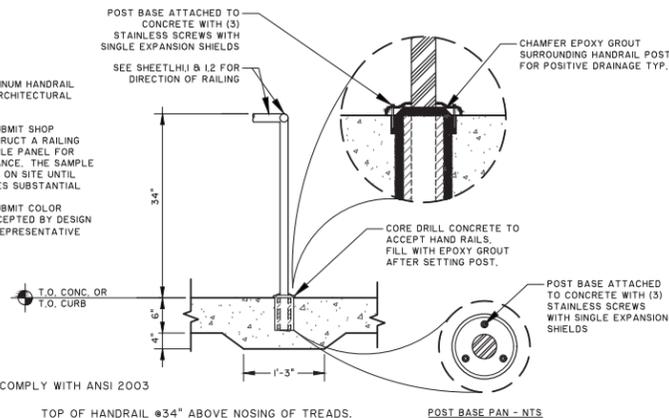
JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

L3.1

21/08/2017 08:00:00 User: JLG/7/JAS Drawing: 13.3 3.3 Handrail.dwg Plot Date: 8/29/18



NOTE:
POWDER BAKED ALUMINUM HANDRAIL TYP. TO MATCH TO ARCHITECTURAL PLANS
- CONTRACTOR TO SUBMIT SHOP DRAWINGS AND CONSTRUCT A RAILING AND GUARDRAIL SAMPLE PANEL FOR REVIEW AND ACCEPTANCE. THE SAMPLE PANEL SHALL REMAIN ON SITE UNTIL THE PROJECT REACHES SUBSTANTIAL COMPLETION.
- CONTRACTOR TO SUBMIT COLOR SWATCHES TO BE ACCEPTED BY DESIGN TEAM AND OWNER'S REPRESENTATIVE

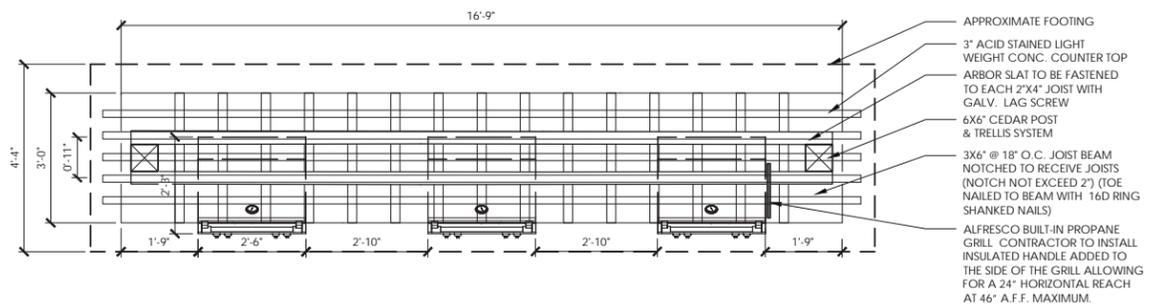


HANDRAIL NOTES:

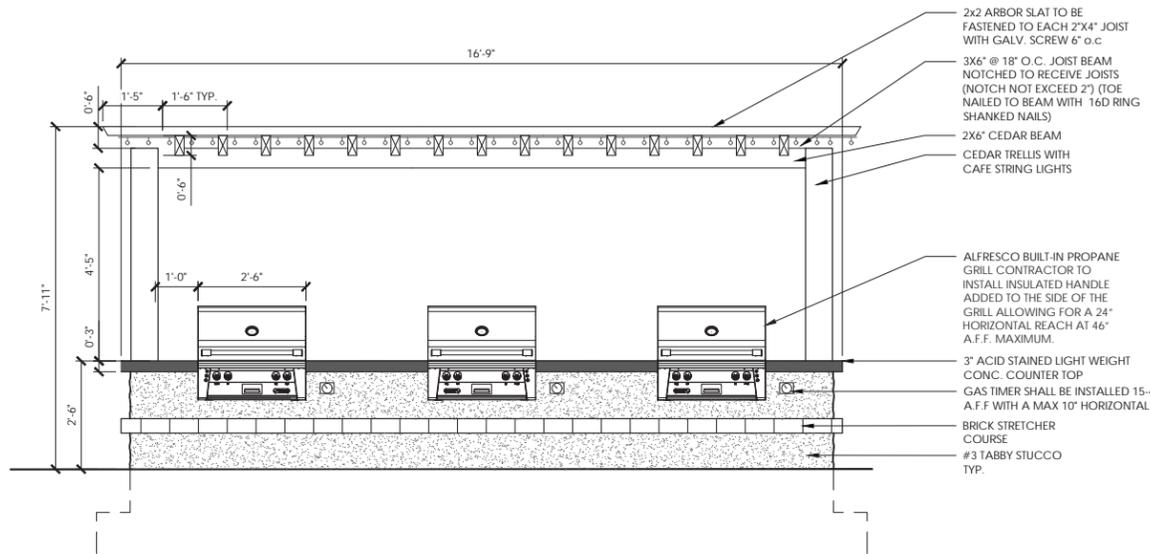
- HANDRAILS: HANDRAILS TO COMPLY WITH ANSI 2003 SECTION 505.
 - HANDRAILS: TOP OF HANDRAIL @34" ABOVE NOSING OF TREADS.
 - CLEARANCE: CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/4 INCHES MIN. CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES.
 - CROSS SECTION: CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES.
- SUBMIT SHOP DRAWINGS FOR REVIEW AND CONSTRUCT A SAMPLE PANEL OF RAILING AND GUARDRAIL FOR ACCEPTANCE FROM DESIGN TEAM AND OWNER'S REPRESENTATIVE.

3.3 HANDRAIL

Scale: 1/2" = 1'-0"



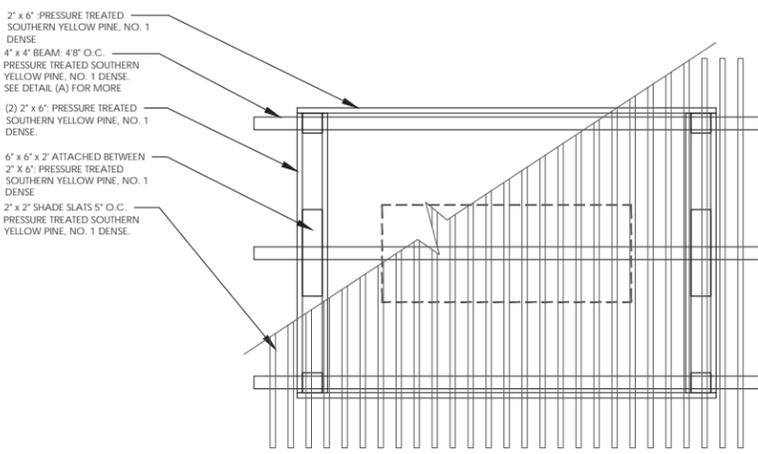
- APPROXIMATE FOOTING
- 3" ACID STAINED LIGHT WEIGHT CONC. COUNTER TOP
- ARBOR SLAT TO BE FASTENED TO EACH 2"x4" JOIST WITH GALV. LAG SCREW
- 6"x6" CEDAR POST & TRELLIS SYSTEM
- 3"x6" @ 18" O.C. JOIST BEAM NOTCHED TO RECEIVE JOISTS (NOTCH NOT EXCEED 2") (TOE NAILED TO BEAM WITH 16D RING SHANKED NAILS)
- ALFRESCO BUILT-IN PROPANE GRILL CONTRACTOR TO INSTALL INSULATED HANDLE ADDED TO THE SIDE OF THE GRILL ALLOWING FOR A 24" HORIZONTAL REACH AT 46" A.F.F. MAXIMUM.



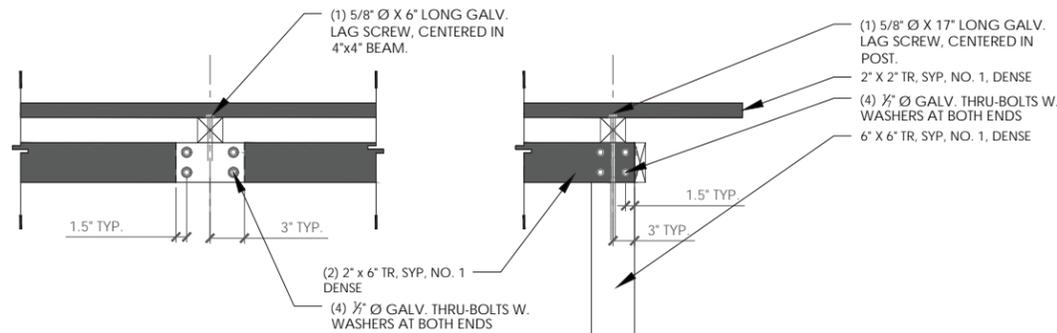
- 2"x2" ARBOR SLAT TO BE FASTENED TO EACH 2"x4" JOIST WITH GALV. SCREW 6" o.c.
- 3"x6" @ 18" O.C. JOIST BEAM NOTCHED TO RECEIVE JOISTS (NOTCH NOT EXCEED 2") (TOE NAILED TO BEAM WITH 16D RING SHANKED NAILS)
- 2"x6" CEDAR BEAM
- CEDAR TRELLIS WITH CAFE STRING LIGHTS
- ALFRESCO BUILT-IN PROPANE GRILL CONTRACTOR TO INSTALL INSULATED HANDLE ADDED TO THE SIDE OF THE GRILL ALLOWING FOR A 24" HORIZONTAL REACH AT 46" A.F.F. MAXIMUM.
- 3" ACID STAINED LIGHT WEIGHT CONC. COUNTER TOP
- GAS TIMER SHALL BE INSTALLED 15'-48" A.F.F WITH A MAX 10" HORIZONTAL REACH
- BRICK STRETCHER COURSE
- #3 TABBY STUCCO TYP.

3.4 OUTDOOR KITCHEN W. TRELLIS

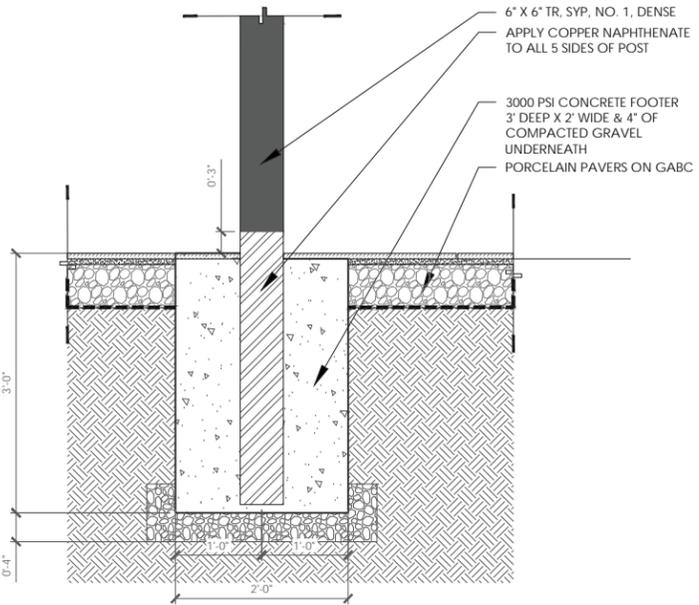
Scale: 1/2" = 1'-0"



- 2" x 6" PRESSURE TREATED SOUTHERN YELLOW PINE, NO. 1 DENSE
- 4" x 4" BEAM, 48" O.C. PRESSURE TREATED SOUTHERN YELLOW PINE, NO. 1 DENSE. SEE DETAIL (A) FOR MORE
- (2) 2" x 6" PRESSURE TREATED SOUTHERN YELLOW PINE, NO. 1 DENSE.
- 6" x 6" x 2" ATTACHED BETWEEN 2" x 6" PRESSURE TREATED SOUTHERN YELLOW PINE, NO. 1 DENSE
- 2" x 2" SHADE SLATS 5" O.C. PRESSURE TREATED SOUTHERN YELLOW PINE, NO. 1 DENSE.



- (1) 5/8" Ø X 6" LONG GALV. LAG SCREW, CENTERED IN 4"x4" BEAM.
- (1) 5/8" Ø X 17" LONG GALV. LAG SCREW, CENTERED IN POST.
- 2" X 2" TR, SYP, NO. 1, DENSE
- (4) 1/2" Ø GALV. THRU-BOLTS W. WASHERS AT BOTH ENDS
- 6" X 6" TR, SYP, NO. 1, DENSE
- (2) 2" x 6" TR, SYP, NO. 1 DENSE
- (4) 1/2" Ø GALV. THRU-BOLTS W. WASHERS AT BOTH ENDS



- 6" X 6" TR, SYP, NO. 1, DENSE
- APPLY COPPER NAPHTHENATE TO ALL 5 SIDES OF POST
- 3000 PSI CONCRETE FOOTER 3" DEEP X 2' WIDE & 4" OF COMPACTED GRAVEL UNDERNEATH
- PORCELAIN PAVERS ON GABC

3.5 WOODEN SWING TRELLIS

Scale: 1/2" = 1'-0"

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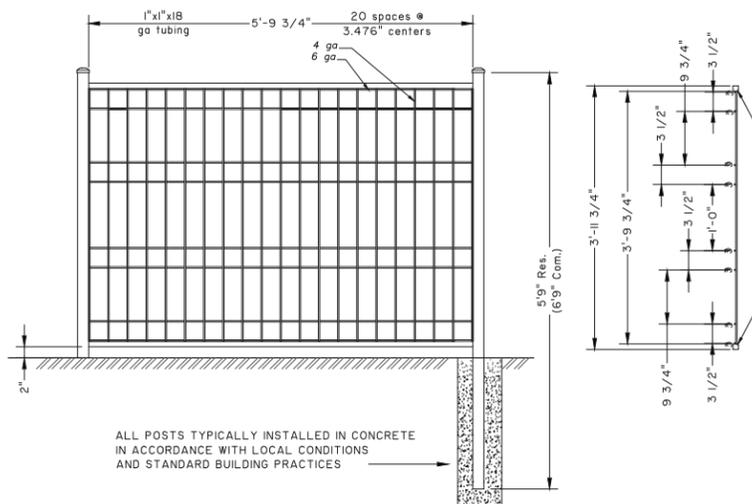
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APPROVED:	JLG
SCALE:	AS SHOWN

L3.3

2018/07/26 10:00 AM Project: 201807260000 - L3.4 Fire Pit.dwg User: JLD Date Plotted: 08/11/2018 08:30:29



ALL POSTS TYPICALLY INSTALLED IN CONCRETE IN ACCORDANCE WITH LOCAL CONDITIONS AND STANDARD BUILDING PRACTICES

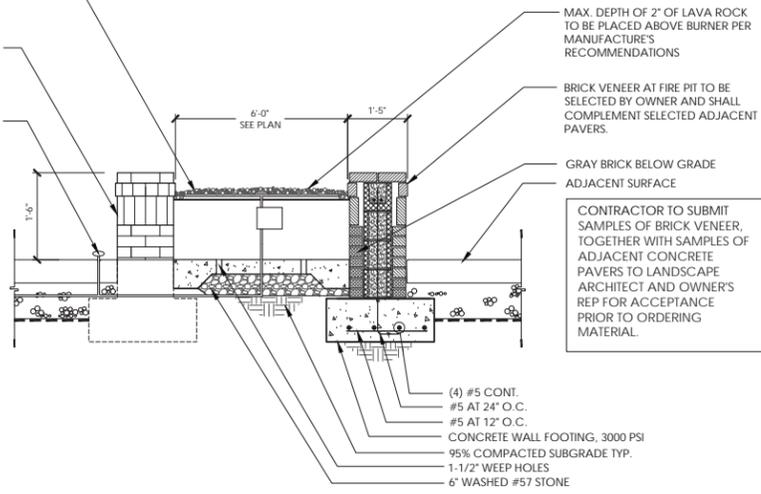
NOTE:
 FENCE COLOR - BLACK
 1. CONTRACTOR SHALL PROVIDE AN FULLY AUTOMATIC POOL GATE OPENER THAT SHALL COMPILE WITH ANSI CODE A IS6.10. ALL ACCESSIBLE PATHS & ACCESSORIES MUST MEET ALL FEDERAL, STATE, & LOCAL CODES.

South Manufacturing Co., Inc.
 14400 McNulty Rd. Philadelphia, PA 19154
 Tel: (800)344-2242 Fax: (215) 676-9756

JERITH RESIDENTIAL STRENGTH ORNAMENTAL STEEL FENCE # GAUGE- 48" HEIGHT
 JER4864

REMOTE ELECTRIC HWI FIRE PIT CUSTOM RECTANGULAR BURNER PAN, CROSS FIRE BURNER BY WARMING TRENDS, LLC. COORDINATE WITH OWNER'S REPRESENTATIVE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 HTTP://WWW.WARMING-TRENDS.COM/
 1-877-556-5255
 OMIT 4 NON-LOAD BEARING BRICKS TO BE EVENLY SPACED FOR A MIN. OF 18 SQ. INCHES PER VENTILATION OPENING. PROVIDE OUTDOOR RATED METAL GRATE COVER.

NOTE:
 1. CONTRACTOR TO PROVIDE RECTANGULAR FIRE GRATE. SUBMIT SPECIFICATIONS OR SHOP DWG. PRIOR TO INSTALLATION.
 2. CONTRACTOR SHALL SUPPLY ALL NECESSARY COMPONENTS (GAS LINE, ELECTRONIC IGNITER & BALL VALVE, & ETC.) & MUST BE INSTALLED BY A LICENSED GAS FITTER OR PLUMBER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
 3. END USER MUST ACCEPT FULL RESPONSIBILITY FOR USE OF THIS PRODUCT. CONTRACTOR MUST INSTRUCT OWNER ON PROPER USE OF GAS COMPONENTS.



MAX. DEPTH OF 2" OF LAVA ROCK TO BE PLACED ABOVE BURNER PER MANUFACTURER'S RECOMMENDATIONS

BRICK VENEER AT FIRE PIT TO BE SELECTED BY OWNER AND SHALL COMPLEMENT SELECTED ADJACENT PAVERS.

GRAY BRICK BELOW GRADE ADJACENT SURFACE

CONTRACTOR TO SUBMIT SAMPLES OF BRICK VENEER, TOGETHER WITH SAMPLES OF ADJACENT CONCRETE PAVERS TO LANDSCAPE ARCHITECT AND OWNER'S REP FOR ACCEPTANCE PRIOR TO ORDERING MATERIAL.

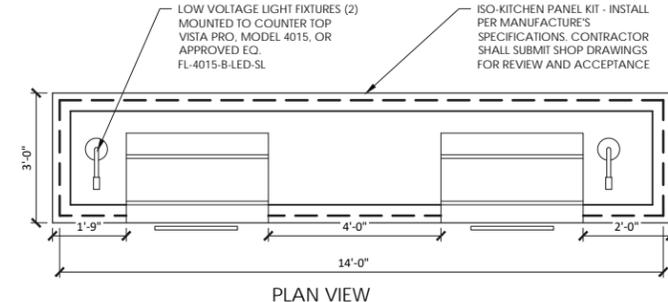
- (4) #5 CONT.
- #5 AT 24" O.C.
- #5 AT 12" O.C.
- CONCRETE WALL FOOTING, 3000 PSI
- 95% COMPACTED SUBGRADE TYP.
- 1-1/2" WEEP HOLES
- 6" WASHED #57 STONE



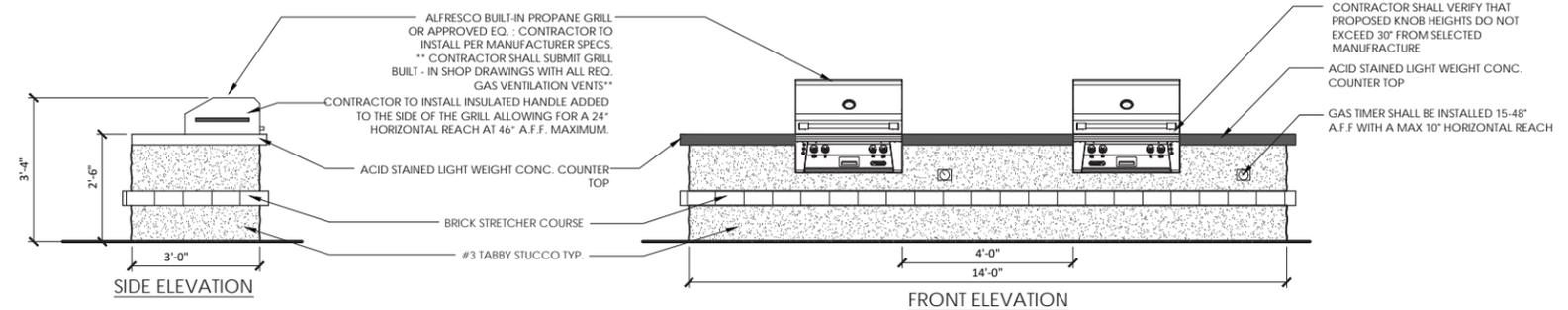
3.7 FIRE PIT
 Scale: 1/2" = 1'-0"



3.6 POOL FENCE / NORTHERN PROPERTY LINE
 Scale: NTS



PLAN VIEW



SIDE ELEVATION

FRONT ELEVATION

ALFRESCO BUILT-IN PROPANE GRILL OR APPROVED EQ. CONTRACTOR TO INSTALL PER MANUFACTURER'S SPECS. ** CONTRACTOR SHALL SUBMIT GRILL BUILT-IN SHOP DRAWINGS WITH ALL REQ. GAS VENTILATION VENTS**
 CONTRACTOR TO INSTALL INSULATED HANDLE ADDED TO THE SIDE OF THE GRILL ALLOWING FOR A 24" HORIZONTAL REACH AT 46" A.F.F. MAXIMUM.

CONTRACTOR SHALL VERIFY THAT PROPOSED KNOB HEIGHTS DO NOT EXCEED 30" FROM SELECTED MANUFACTURE
 ACID STAINED LIGHT WEIGHT CONC. COUNTER TOP
 GAS TIMER SHALL BE INSTALLED 15-48" A.F.F WITH A MAX 10" HORIZONTAL REACH

3.8 OUTDOOR KITCHEN
 Scale: NTS

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CONSTRUCTION

NO.	REVISIONS	BY	DATE

THOMAS HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLETON
 SITE DETAILS

JOB NO:	J-26807.0000
DATE:	8/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

L3.4

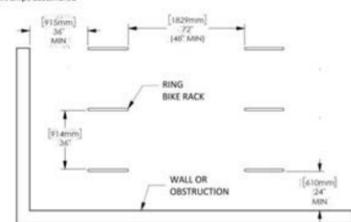
Ring® Bike Rack
Product Drawing

Date: September 9, 2016
www.landscapiforms.com Ph: 800.521.2546

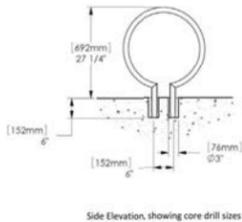
HANDLE WITH CARE! Ring's finish can be scuffed by contact with tools, concrete, or other abrasive surfaces. Protect the finish from damage during installation. Use touch-up paint to repair any powder coat finish abrasions.



Tools Required
• Unit ships assembled



Recommended spacing, according to Association of Pedestrian and Bicycle Professionals (APBP)



Side Elevation, showing core drill sizes

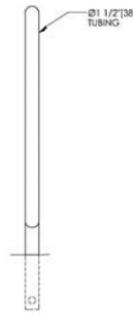
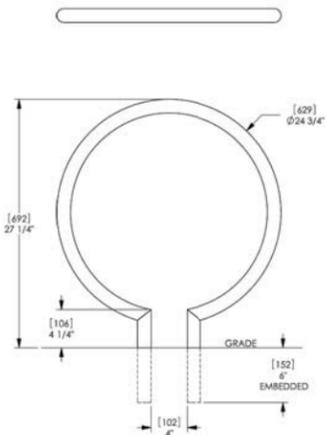
- INSTALLATION:**
1. Core drill 3" diameter (minimum) holes 6" deep.
 2. Prepare the holes for outdoor anchoring cement, such as Kwikset™ or Super for-rak™. Follow the manufacturer's instructions for blowing out dust, filling with water, scrubbing, and removing excess water.
 3. Place the bike rack back into position and fill the holes with anchoring cement.

landscapiforms

Page 1 of 1

Ring® Bike Rack, Embedded
Product Drawing

Date: 5/6/2010
www.landscapiforms.com Ph: 800.521.2546

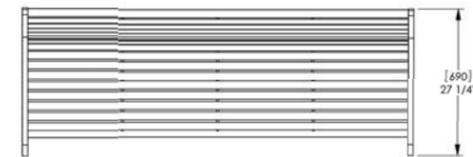


landscapiforms Drawing: R0683-01
Dimensions are in inches (mm)

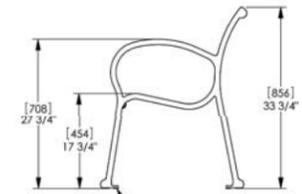
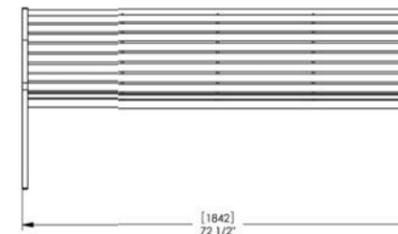
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Scarborough™ Bench, 72" Backed, with Horizontal Strap Seat
Product Drawing

Date: 5/19/2010
www.landscapiforms.com Ph: 800.521.2546



Stormcloud



GUIDE FOR FREESTANDING UNIT. REMOVE TO SURFACE MOUNT. (4) 3/8" (10) NON-CORROSIVE BOLTS RECOMMENDED FOR ANCHORING. PROVIDED BY OTHERS.

landscapiforms Drawing: SC175-03
Dimensions are in inches (mm)

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HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
SITE DETAILS

JOB NO:	J-26807.0000
DATE:	8/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

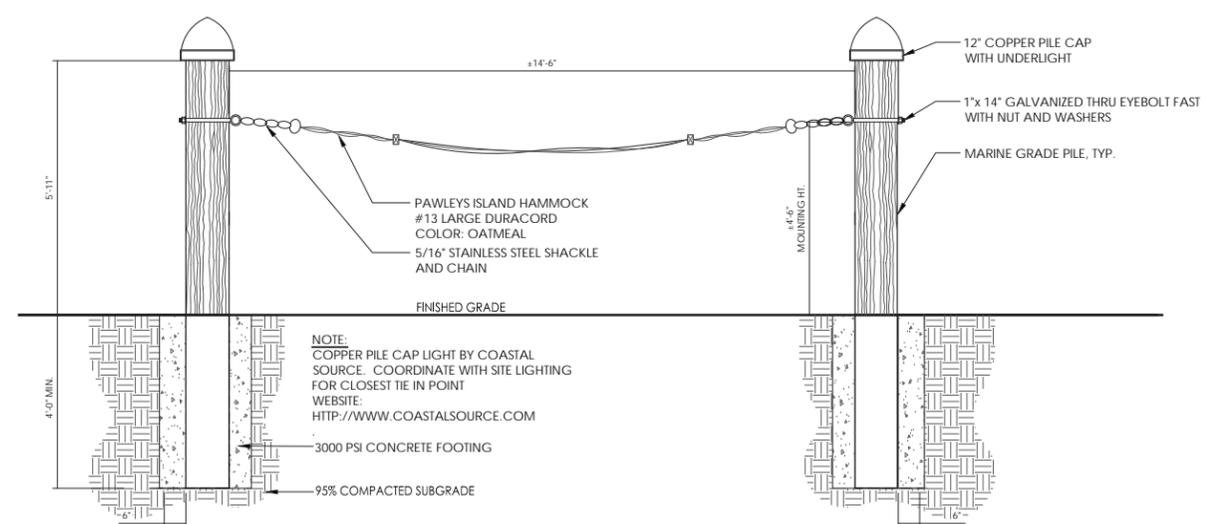
L3.5

4.1 BIKE RACK
L3.5



Stormcloud

4.2 BENCH
L3.5

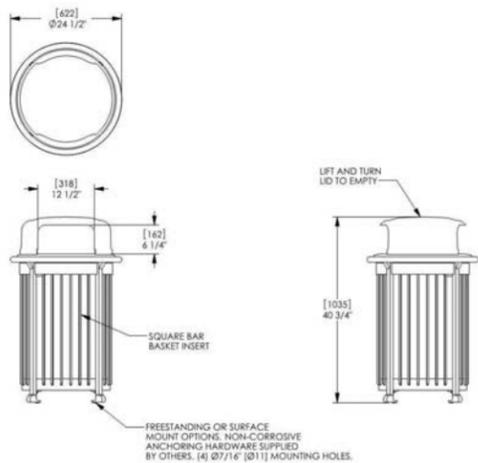


4.4 HAMMOCK
L3.5 Scale: 1/2" = 1'-0"



Scarborough™ Litter Receptacle, Side Opening, 30 Gallon, Square Bar
Product Drawing

Date: 5/19/2010
www.landscapiforms.com Ph: 800.521.2546



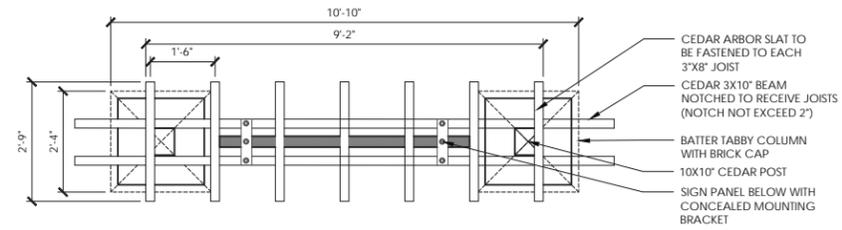
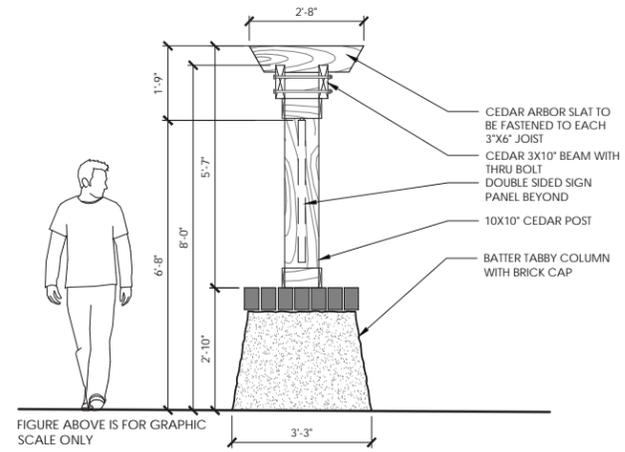
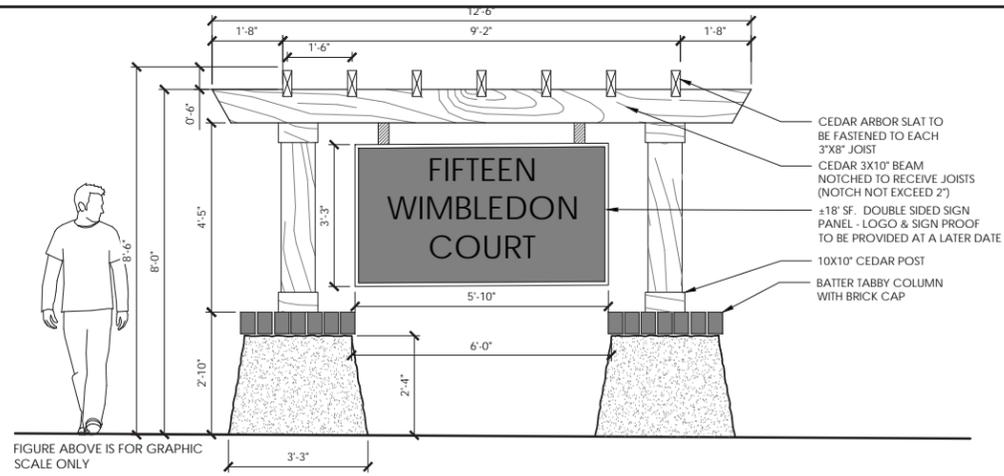
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landscapiforms Drawing: SC175-05
Dimensions are in inches (mm)

4.3 TRASH RECEPTACLE
L3.5



Stormcloud



6.1 ENTRY SIGNAGE
L3.6 Scale: 1/2" = 1'-0"



6.2 RESORT ARRIVAL WALL & WATER FEATURE
L3.6 Scale: N.T.S



NOTE:
PRECEDENT IMAGE NOTES FOR DESIGN INTENT ONLY. PROPOSED TREE HOUSE / PLAYGROUND SHALL BE DESIGN BUILD BY PLAYGROUND CONTRACTOR/ CONTRACTOR SHALL PROVIDE A DETAIL PLAYGROUND PLANS FOR APPROVAL BY TOHH DPR PRIOR TO THE START OF CONSTRUCTION.

8.1 CHILDREN'S TREEHOUSE PLAYGROUND
L3.7 Scale: N.T.S

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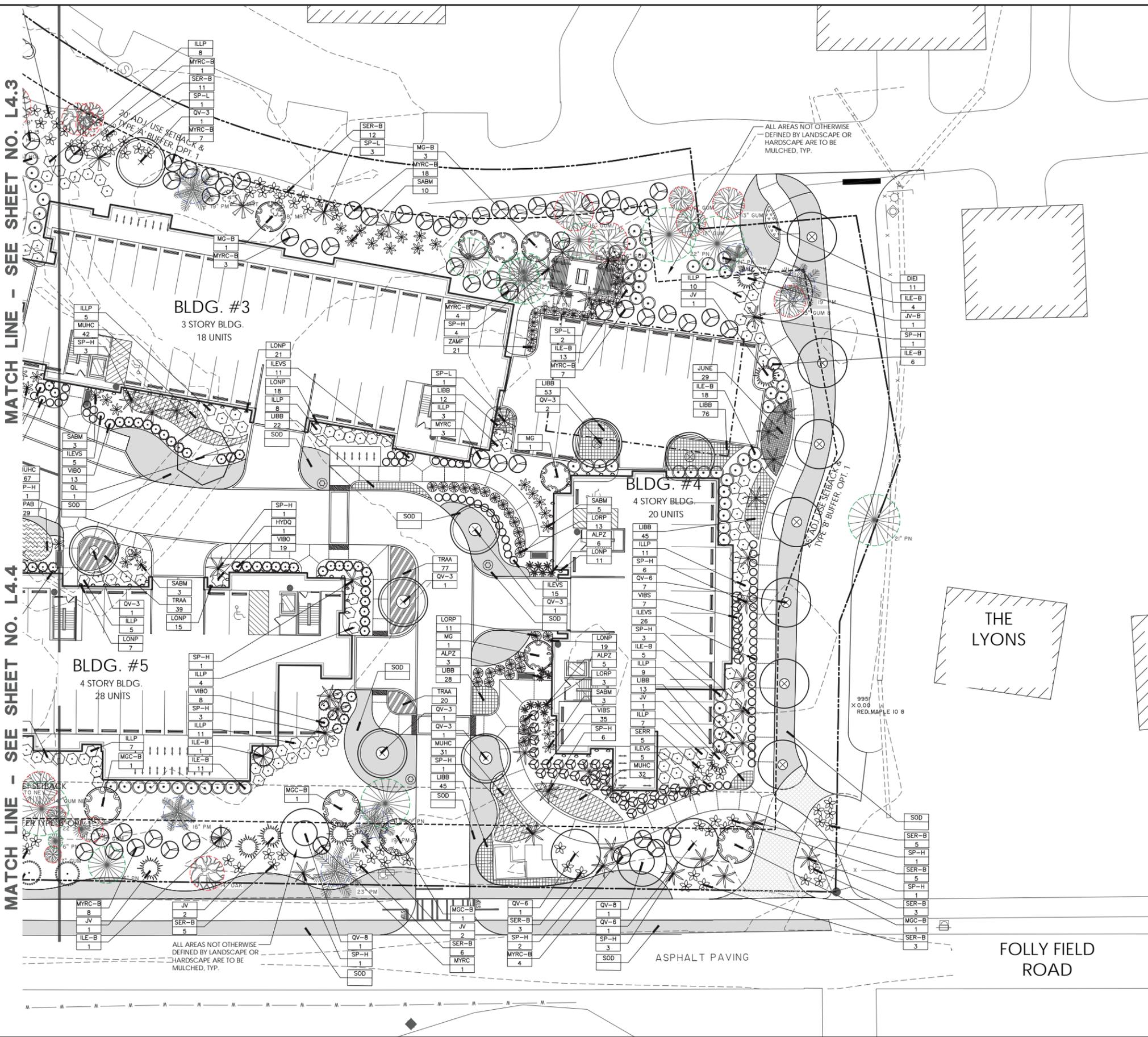
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HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLEDON
SITE DETAILS

JOB NO:	J-26807.0000
DATE:	8/29/18
DRAWN:	CCG
DESIGNED:	ETW
REVIEWED:	JRW / JLG
APPROVED:	NBL / JLG
SCALE:	AS SHOWN

L3.6

MATCH LINE - SEE SHEET NO. L4.3

MATCH LINE - SEE SHEET NO. L4.4



EXISTING TREE LEGEND

- HARDWOOD
- EVERGREEN
- PALM
- SPECIMEN TREES
- SIGNIFICANT TREES

SEE L5.1 FOR PLANT SCHEDULE

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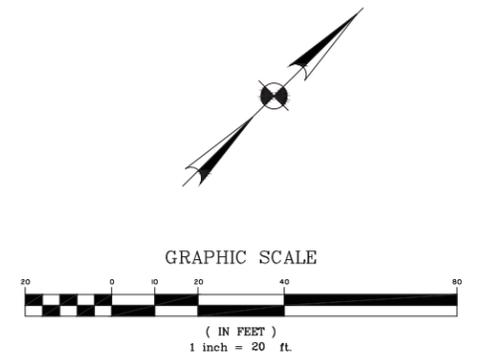
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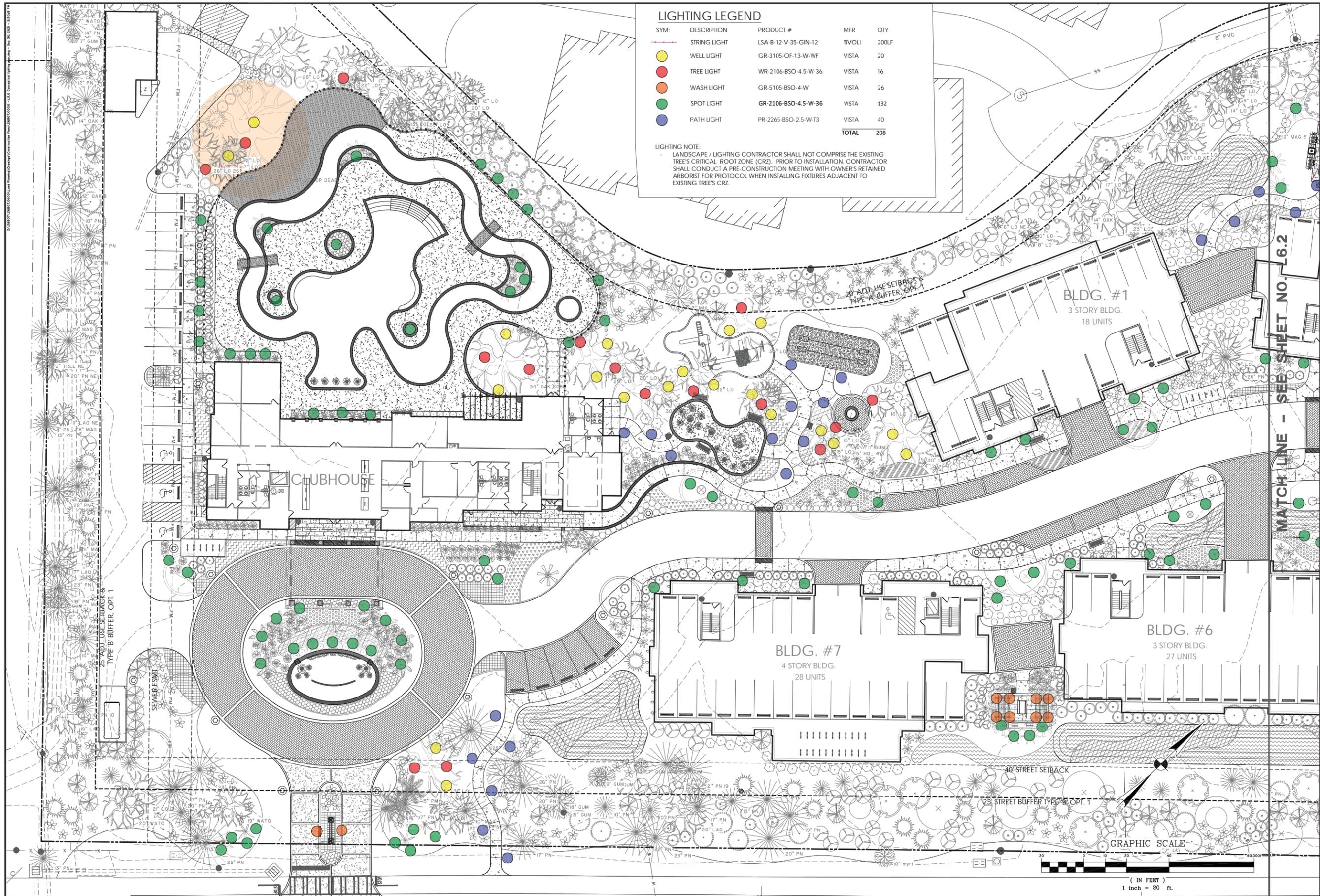
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H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLETON
PLANTING PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	CCG
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 20'

L4.5





LIGHTING LEGEND

SYM.	DESCRIPTION	PRODUCT #	MFR	QTY
—	STRING LIGHT	LSA-B-12-V-35-GIN-12	TIVOLI	200LF
●	WELL LIGHT	GR-3105-OF-13-W-WF	VISTA	20
●	TREE LIGHT	WR-2106-BSO-4.5-W-36	VISTA	16
●	WASH LIGHT	GR-5105-BSO-4-W	VISTA	26
●	SPOT LIGHT	GR-2106-BSO-4.5-W-36	VISTA	132
●	PATH LIGHT	PR-2265-BSO-2.5-W-T3	VISTA	40
			TOTAL	208

LIGHTING NOTE:
 LANDSCAPE / LIGHTING CONTRACTOR SHALL NOT COMPRISE THE EXISTING TREE'S CRITICAL ROOT ZONE (CRZ). PRIOR TO INSTALLATION, CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH OWNER'S RETAINED ARBORIST FOR PROTOCOL WHEN INSTALLING FIXTURES ADJACENT TO EXISTING TREE'S CRZ.

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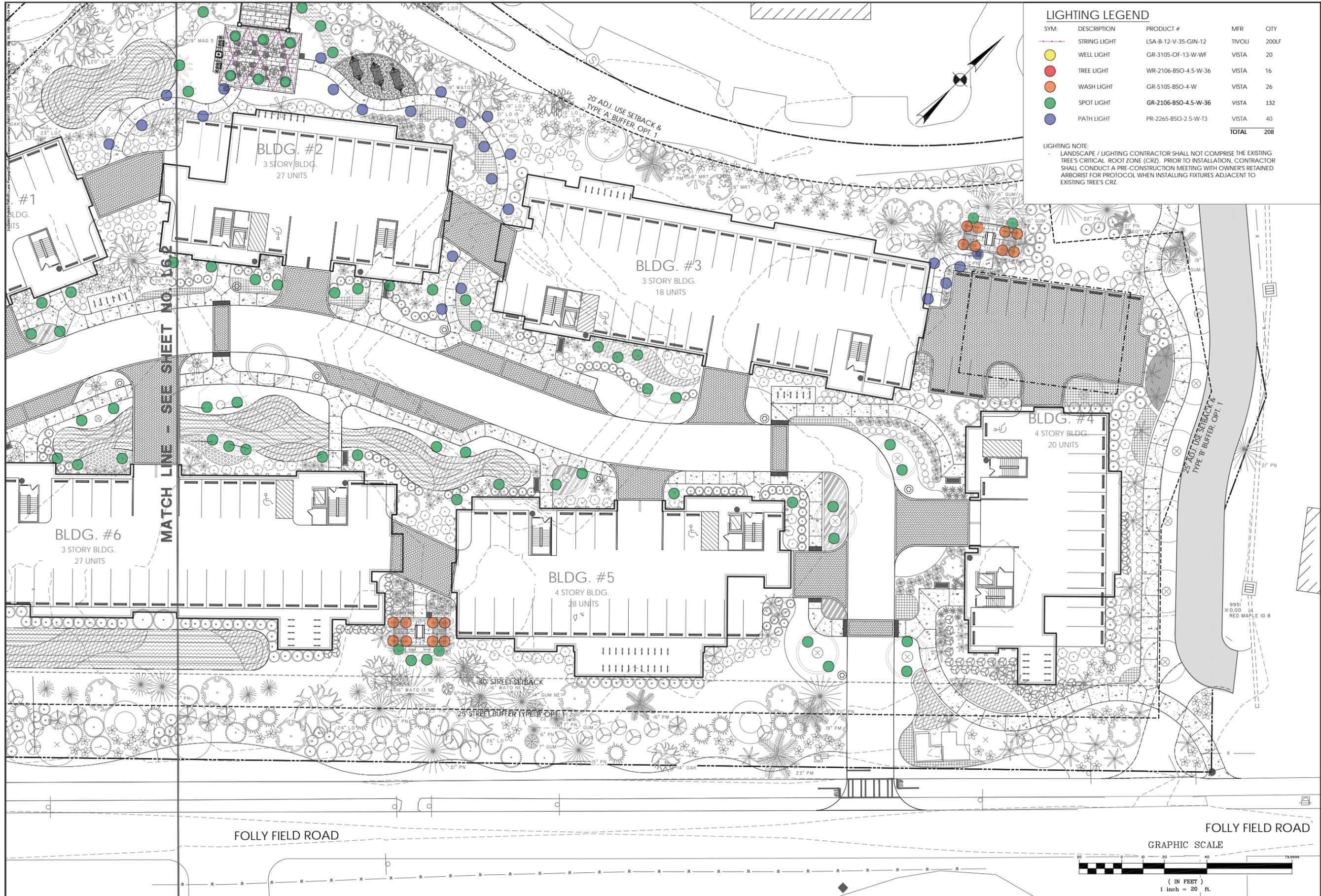
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**H H ISLAND ACQUISITION
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 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLETON
CONCEPTUAL LIGHTING PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	CCG
DESIGNED:	ETW
REVIEWED:	JRW / JLG
APPROVED:	NBL / JLG
SCALE:	1" = 20'

L6.1



LIGHTING LEGEND

SYM.	DESCRIPTION	PRODUCT #	MFR	QTY	
—	STRING LIGHT	LSA-B-12-V-35-GIN-12	TIVOLI	200LF	
●	WELL LIGHT	GR-3105-OF-13-W-WF	VISTA	20	
●	TREE LIGHT	WR-2106-BSO-4.5-W-36	VISTA	16	
●	WASH LIGHT	GR-5105-BSO-4-W	VISTA	26	
●	SPOT LIGHT	GR-2106-BSO-4.5-W-36	VISTA	132	
●	PATH LIGHT	PR-2265-BSO-2.5-W-T3	VISTA	40	
				TOTAL	208

LIGHTING NOTE:
 LANDSCAPE / LIGHTING CONTRACTOR SHALL NOT COMPRISE THE EXISTING TREE'S CRITICAL ROOT ZONE (CRZ). PRIOR TO INSTALLATION, CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH OWNER'S RETAINED ARBORIST FOR PROTOCOL WHEN INSTALLING FIXTURES ADJACENT TO EXISTING TREE'S CRZ.

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 FIFTEEN WIMBLETON
CONCEPTUAL LIGHTING PLAN

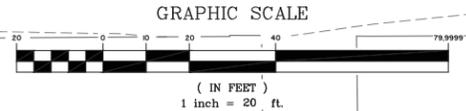
JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	CCG
DESIGNED:	ETW
REVIEWED:	JRW / JLG
APPROVED:	NBL / JLG
SCALE:	1" = 20'

L6.2

MATCH LINE - SEE SHEET NO. L6.1

FOLLY FIELD ROAD

FOLLY FIELD ROAD



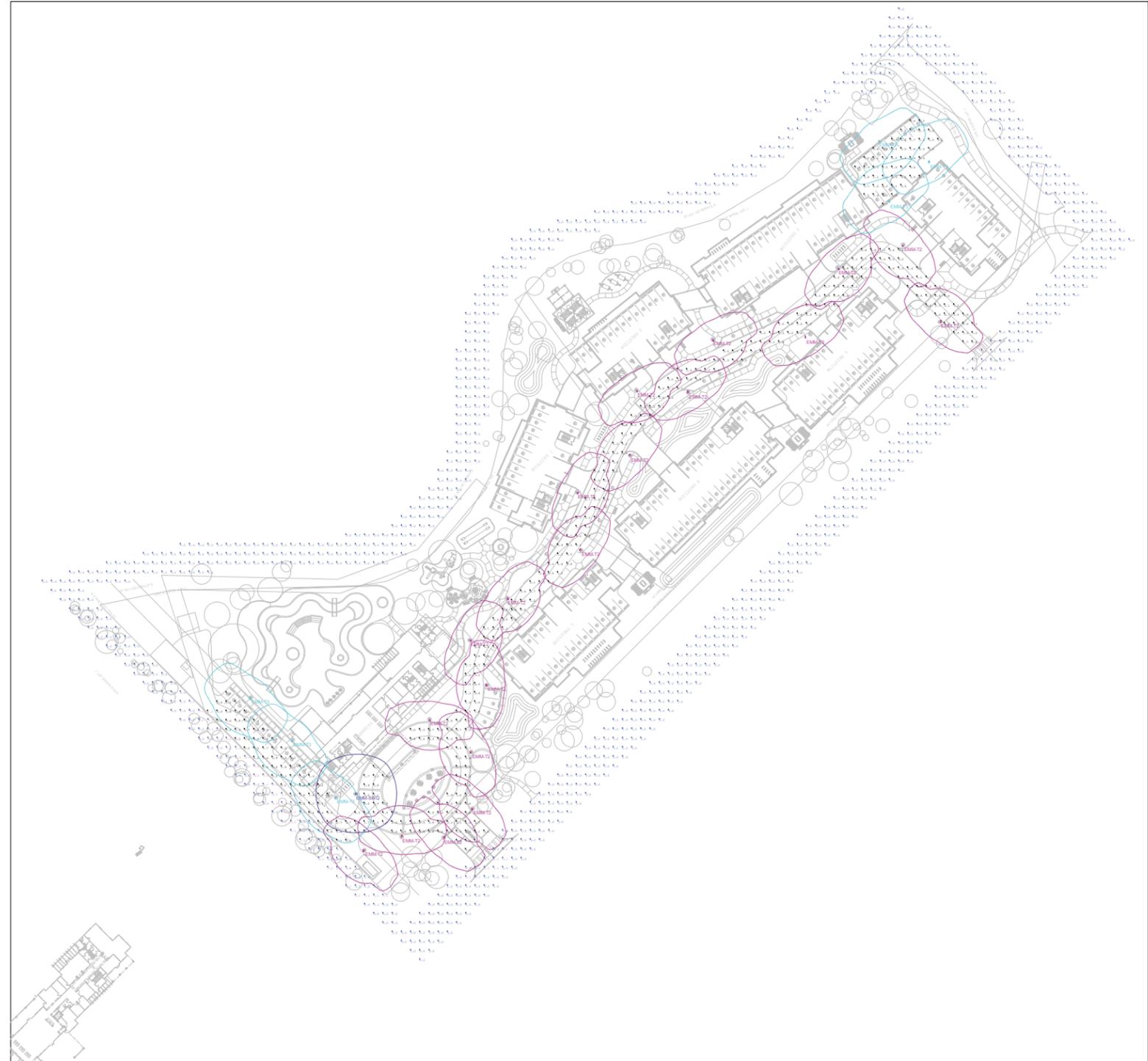
Mounting Height: 12'-0" AFG

Calculation Height: 0'-0"

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Lum Lumens	Description	Total Watts
●	6	EMM-T3	SINGLE	0.920	8046	EMM-E03-LED-E1-T3-7030	451.2
●	19	EMM-T2	SINGLE	0.920	8078	EMM-E03-LED-E1-T2-7030	1428.8
●	1	EMM-5WQ	SINGLE	0.920	8185	EMM-E03-LED-E1-5WQ-7030	75.2

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb	
Drive_Grade	Illuminance	Fc	2.1	5.1	0.1	21.10	51.00	10	10	
Spill Light_Grade	Illuminance	Fc	0.0	2.1	0.0	N.A.	N.A.	10	10	
Surface Parking Lot	Illuminance	Fc	2.2	3.9	0.3	7.43	13.00	10	10	

- Note.
- 0.1 FC highlighted in magenta.
 - Isoline of 0.2 FC shown.



The calculations provided in this report are predicted lighting levels based on the above described input data and characteristics. All information should be reviewed for accuracy, understanding and agreement with all information. Any discrepancies should be noted and the preparer of this report immediately advised to clarify or change as required.

Actual lighting levels may vary from this report due to a variety of circumstances, such as: reflectances, voltage variations, objects blocking or redirecting light, different mounting heights, installation, lamp and ballast tolerances, etc. Room is considered completely empty unless noted otherwise above. Unless specifically stated otherwise, predicted foot candles are not a recommendation of lighting levels.

Ardd & Winter, Inc. assumes no responsibility for any such variances and will not be held responsible for lighting levels different from predicted levels in this report. Recipient of this report, or someone designated by recipient, must verify that lighting fixtures will physically fit within the specified location(s). Catalog numbers of lighting fixtures may not be complete as all conditions may not be known.

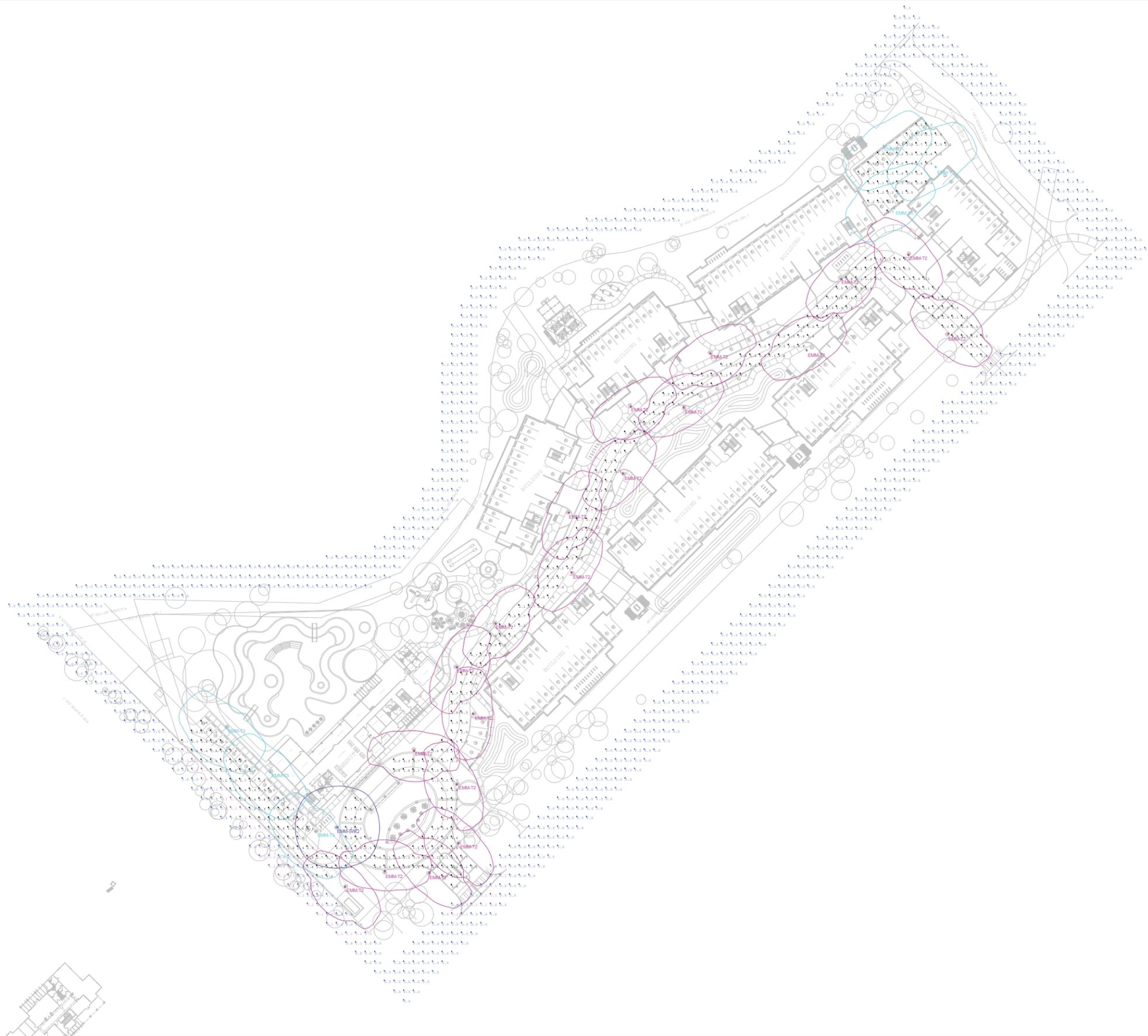
Where backgrounds are shown, these are typically used for reference purposes only, unless noted otherwise. Additional details available upon request.



Calculations By: WES
 Revised By:
 Date: 9/14/2021
 Scale: Not to Scale

Project Name: 26807.000_15 Wimbledon Drive

Revision: P5



See Page 1 for A+W Disclaimer.



Calculations By: WES
 Revised By:
 Date: 9/14/2021
 Scale: Not to Scale

Project Name: 26807.000_15 Wimbledon Drive
 Revision: P5



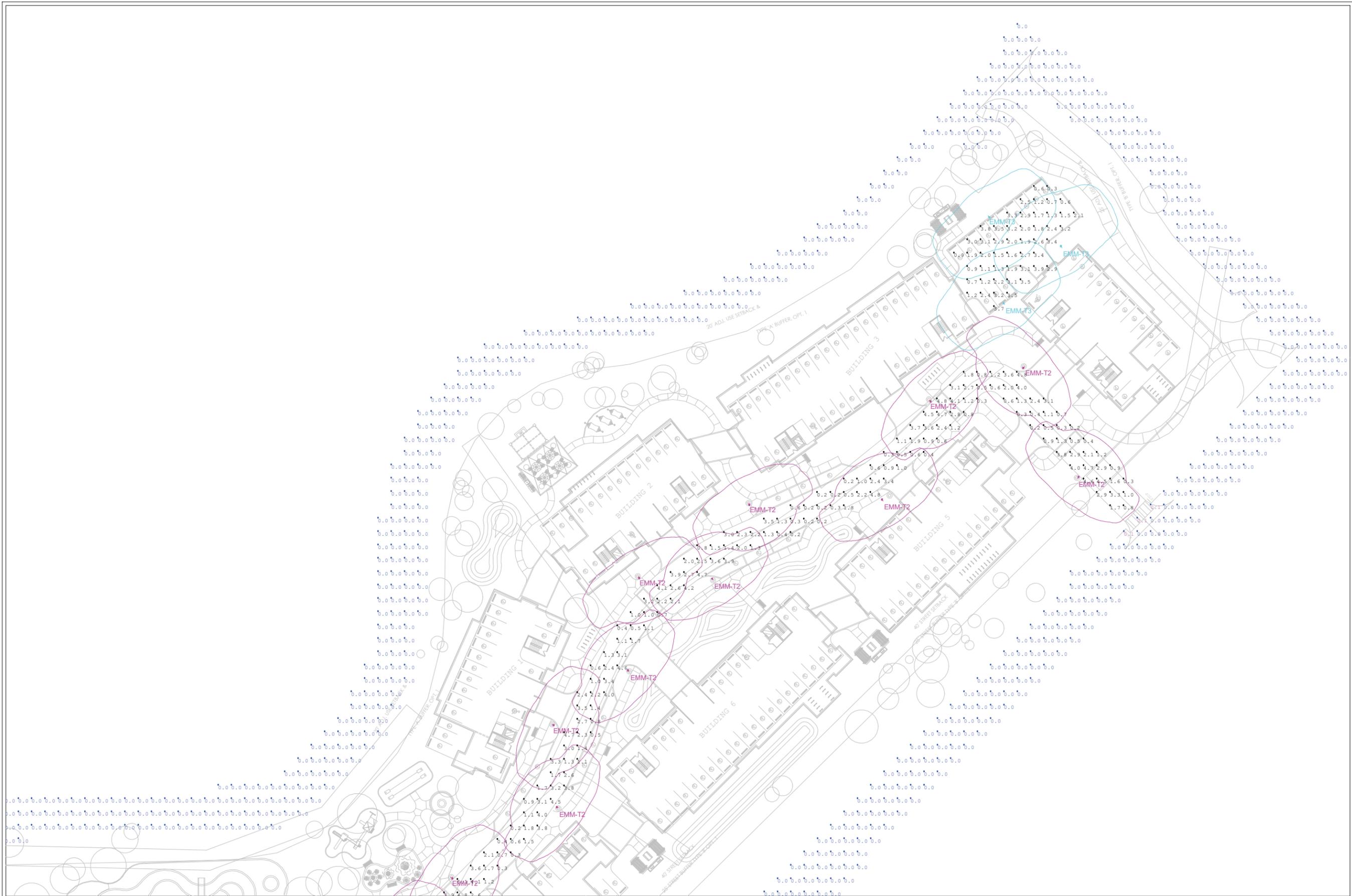
See Page 1 for A+W Disclaimer.



Calculations By: WES
 Revised By:
 Date: 9/14/2021
 Scale: Not to Scale

Project Name: 26807.000_15 Wimbledon Drive

Revision: P5



See Page 1 for A+W Disclaimer.



Calculations By: WES
 Revised By:
 Date: 9/14/2021
 Scale: Not to Scale

Project Name: 26807.000_15 Wimbledon Drive

Revision: P5



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www.progressdesignstudio.com

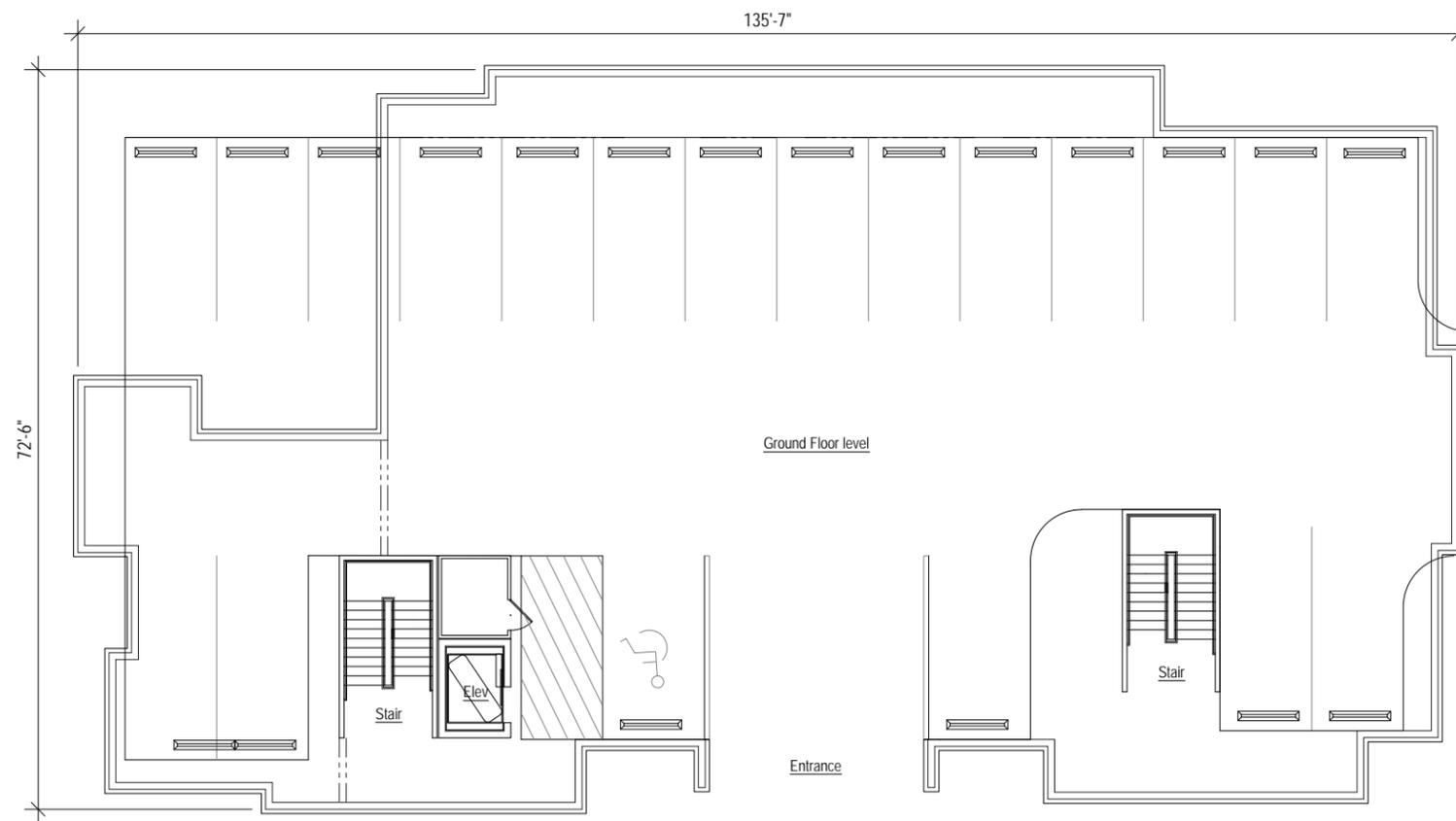
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15 Wimbledon
Resort Community
Town of Hilton Head, South Carolina

DRB Application Submission 10/04/2021

Drawn By	PDS	
Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

Project Number
21501
Sheet
1-0



1 Building 1- Ground Floor Plan
SCALE: 1/8" = 1'-0"



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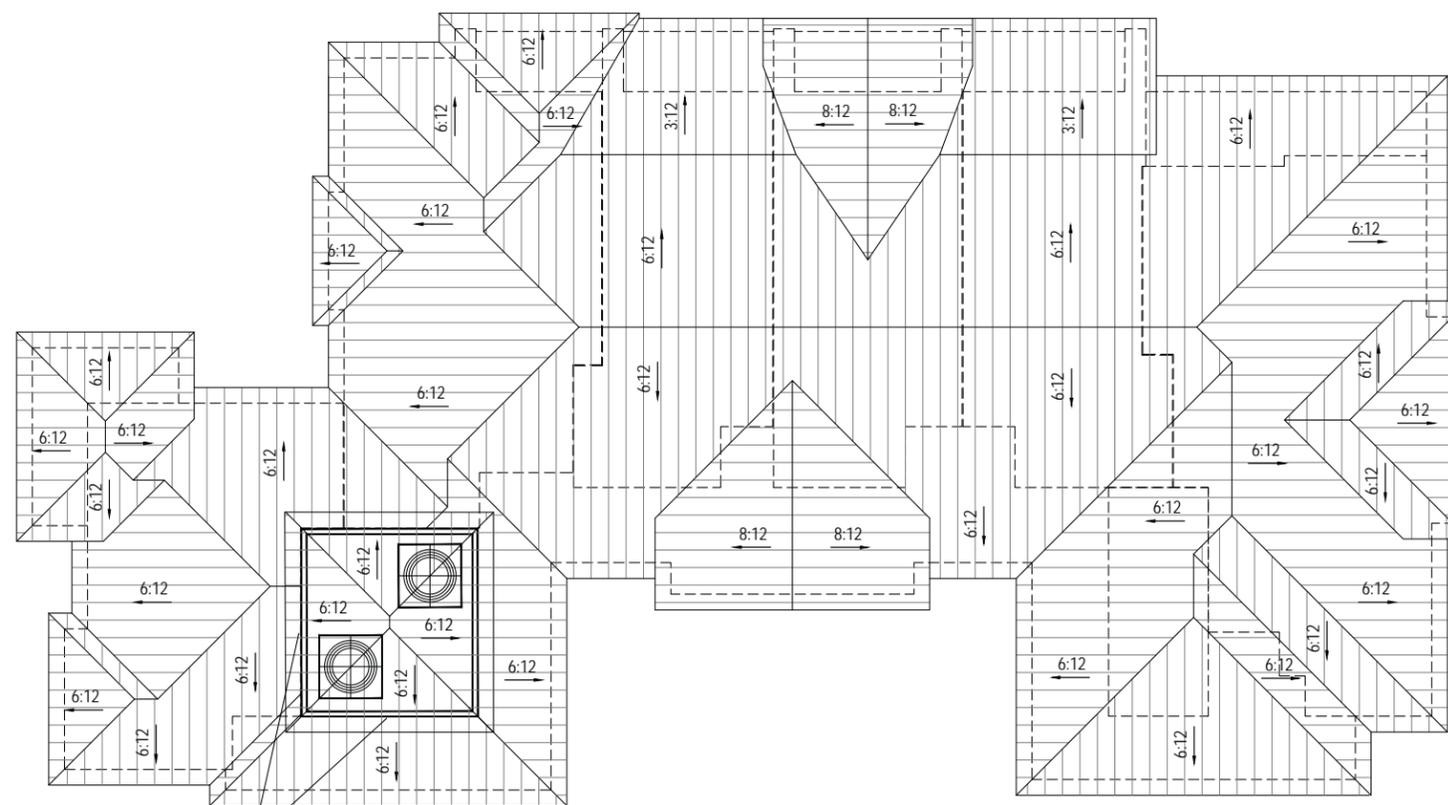
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 Town of Hilton Head, South Carolina



NOTE: NICHHA FIBER CEMENT BOARDS STAGGERED IN THIS LOCATION ON ALL FOUR SIDES OF TOWER TO ALLOW FOR HVAC VENTILATION REQUIREMENTS. ACCESS TO EQUIPMENT IS THROUGH STAIR TOWER.

1 Building 1- Roof Plan
 SCALE: 1/8" = 1'-0"

DRB Application Submission 10/04/2021

Drawn By
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 PDS

Date
 10/04/2021

#	Issue History	Date

Project Number
 21501

Sheet
 1-4



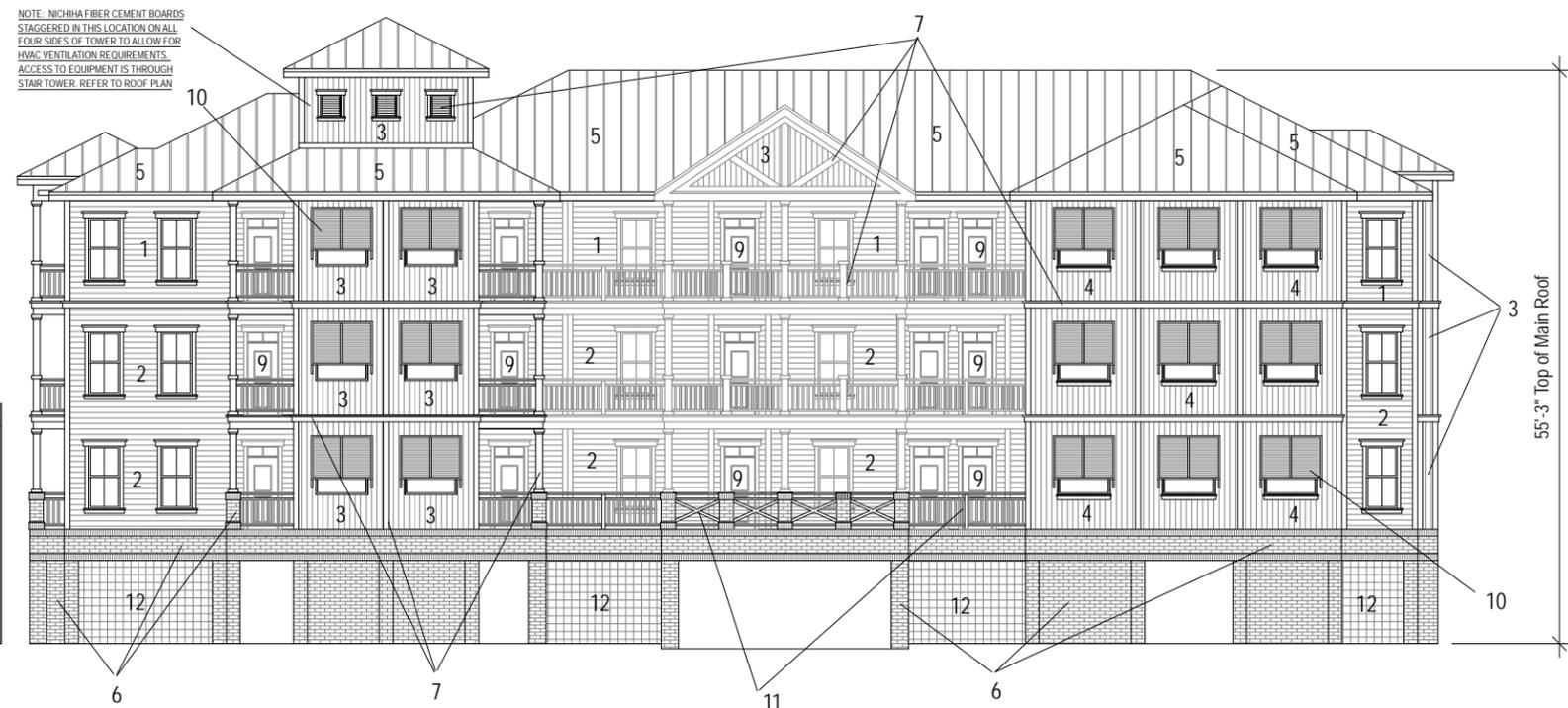
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Town of Hilton Head, South Carolina

Color + Material legend

- 1-Hardie Lap Siding- Cobblestone
- 2-Hardie Lap Siding- Monterey Taupe
- 3-Nichia Vertical Siding- Vintage Wood Spruce
- 4-Hardie Vertical Siding- Cobblestone
- 5-Metal Roof- Aged Bronze
- 6-Brick- (Palmetto Brick- Riviera)
- 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 1- Front Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

DRB Application Submission 09/14/2021

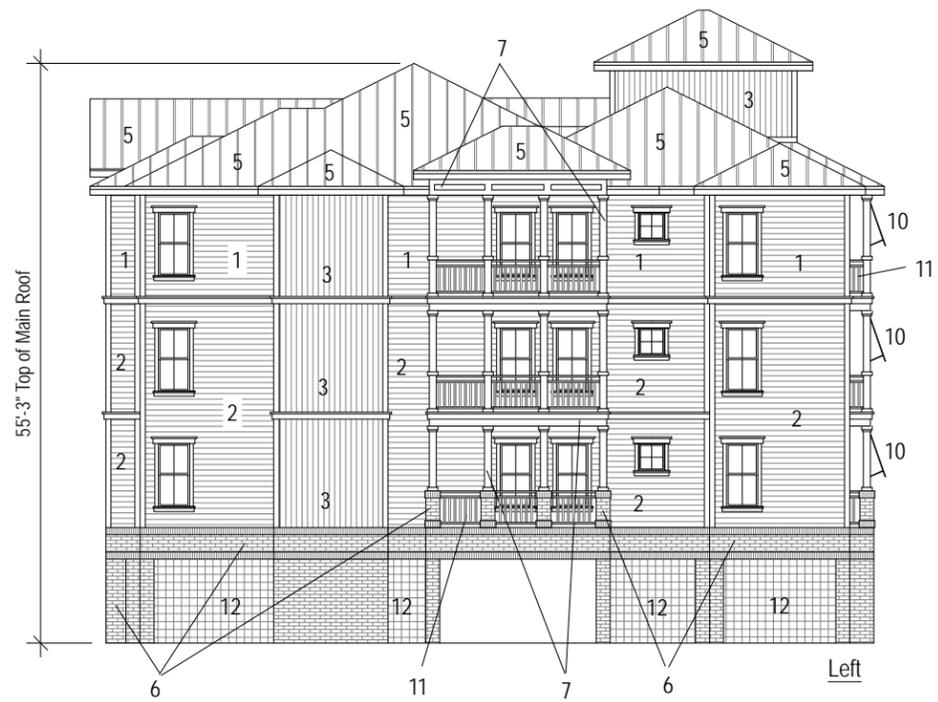
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Date	09/14/2021	
#	Issue History	Date

Project Number
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Sheet
1-5



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Town of Hilton Head, South Carolina



Color + Material legend

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- 6-Brick- (Palmetto Brick- Riviera)
- 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines

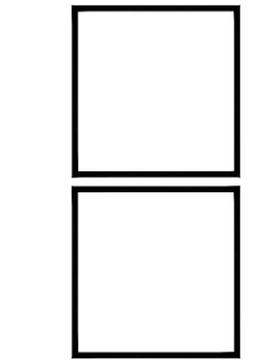
1 Building 1- Left Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

DRB Application Submission 10/04/2021

Drawn By PDS		
Checked By PDS		
Date 10/04/2021		
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Town of Hilton Head, South Carolina

- Color + Material Legend**
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichiha Vertical Siding- Vintage Wood Spruce
 - 4-Hardie Vertical Siding- Cobblestone
 - 5-Metal Roof- Aged Bronze
 - 6-Brick- (Palmetto Brick- Riviera)
 - 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
 - 8-Glass Door/ Frame Color- Aged Bronze
 - 9-Solid Door Color- Mountain Sage
 - 10-Shutters- Zinc
 - 11-Railings- Aged Bronze
 - 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 1- Rear Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

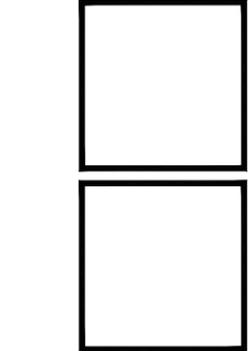
DRB Application Submission 10/04/2021

Drawn By	PDS	
Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

Project Number
21501
Sheet
1-7



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Resort Community
Town of Hilton Head, South Carolina

Color + Material Legend

- 1-Hardie Lap Siding- Cobblestone
- 2-Hardie Lap Siding- Monterey Taupe
- 3-Nichia Vertical Siding- Vintage Wood Spruce
- 4-Hardie Vertical Siding- Cobblestone
- 5-Metal Roof- Aged Bronze
- 6-Brick- (Palmetto Brick- Riviera)
- 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 1- Right Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

DRB Application Submission 10/04/2021

Drawn By	PDS	
Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

Project Number
21501
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1-8



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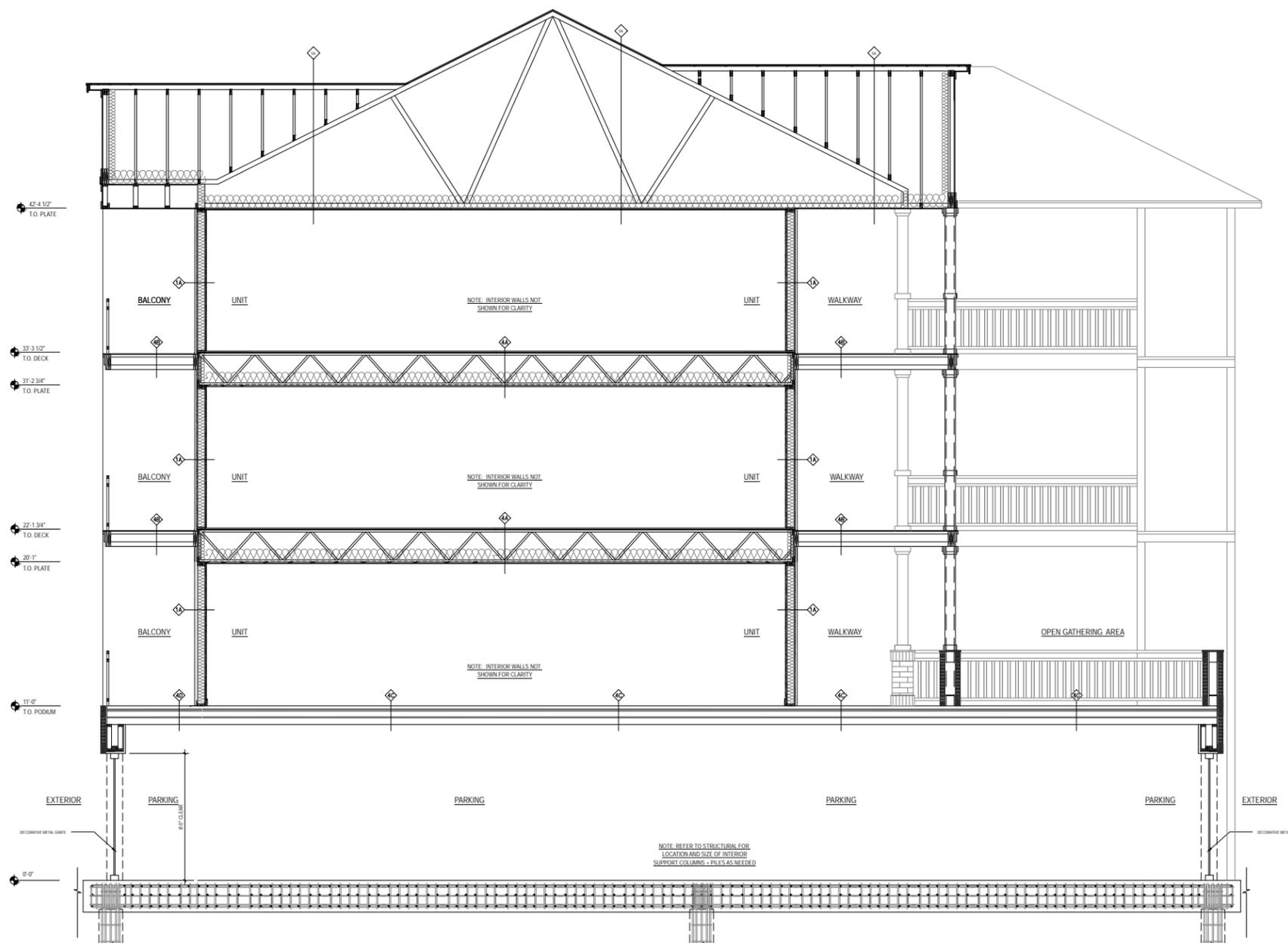
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Date 10/04/2021		
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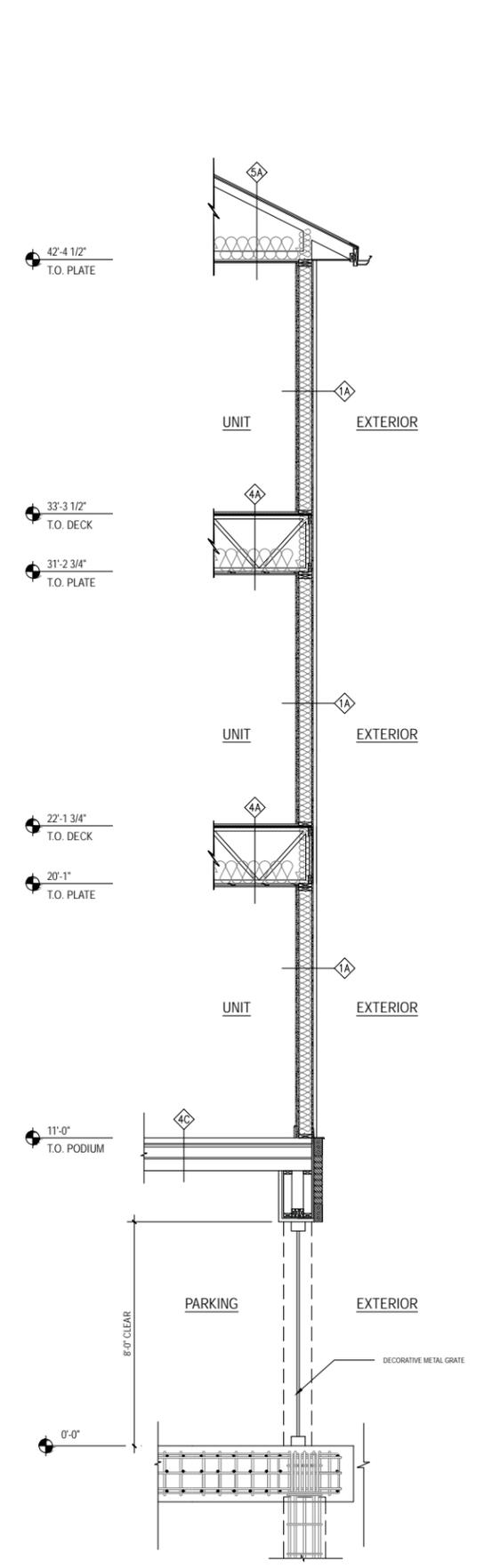
Project Number 21501
Sheet 1-9



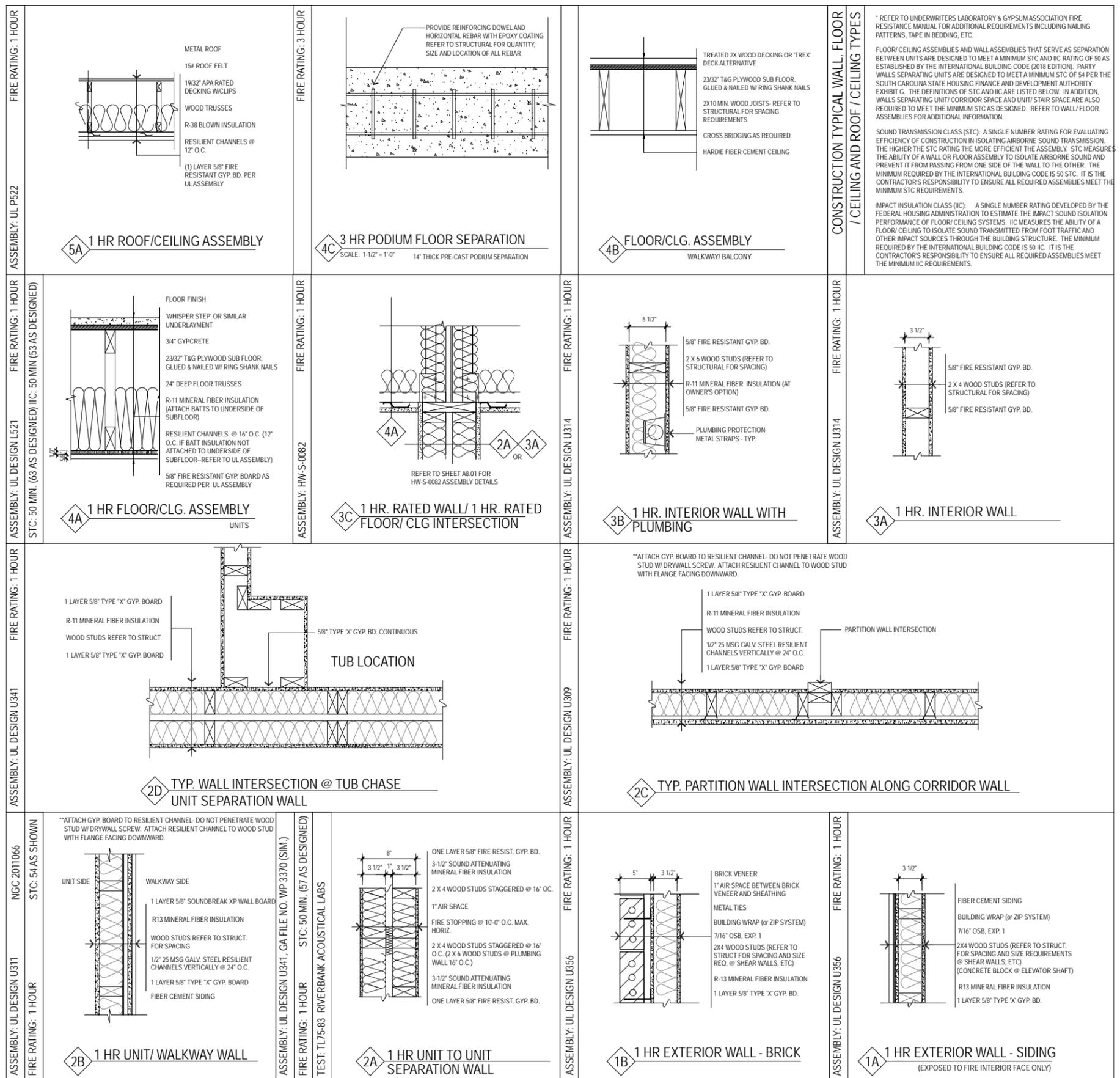
1 Building 1- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"

Drawn By	PDS	
Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

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1 Building 1 - Typical Exterior Wall Section
SCALE: 3/8" = 1'-0"



2 Building 1 - Typical Wall + Floor/ Ceiling Assemblies
SCALE: 1 1/2" = 1'-0"



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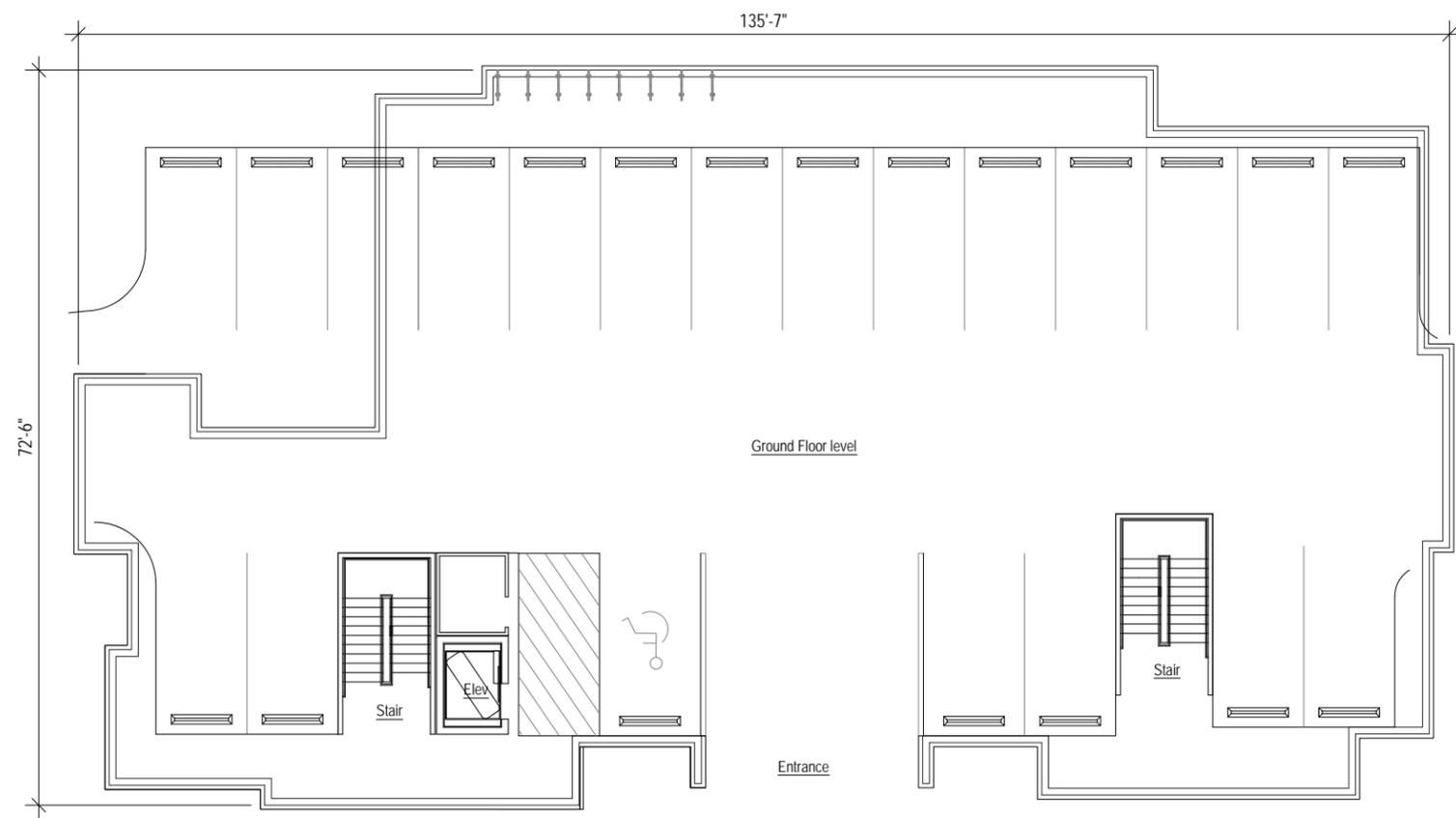
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1 Building 2- Ground Floor Plan
SCALE: 1/8" = 1'-0"



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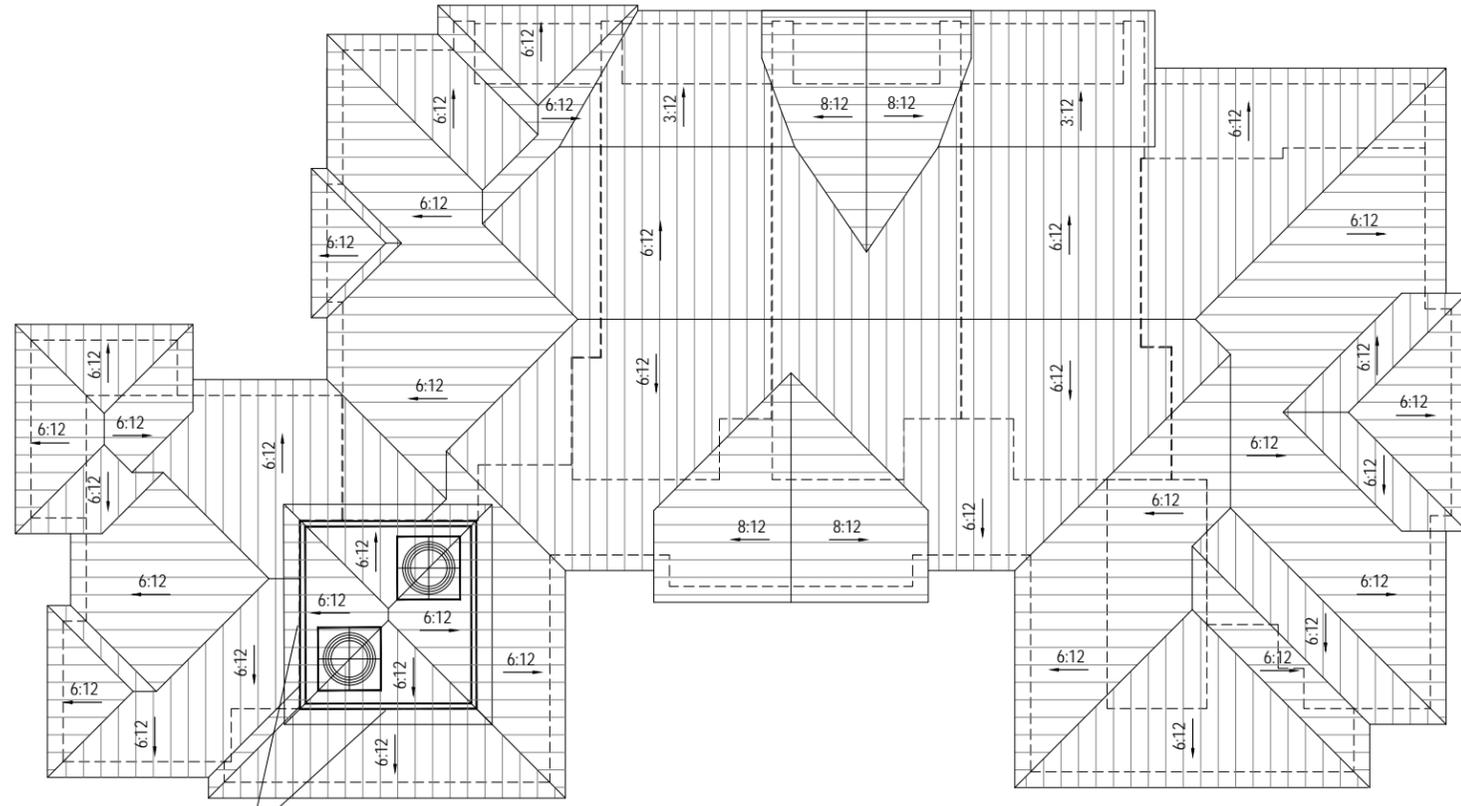
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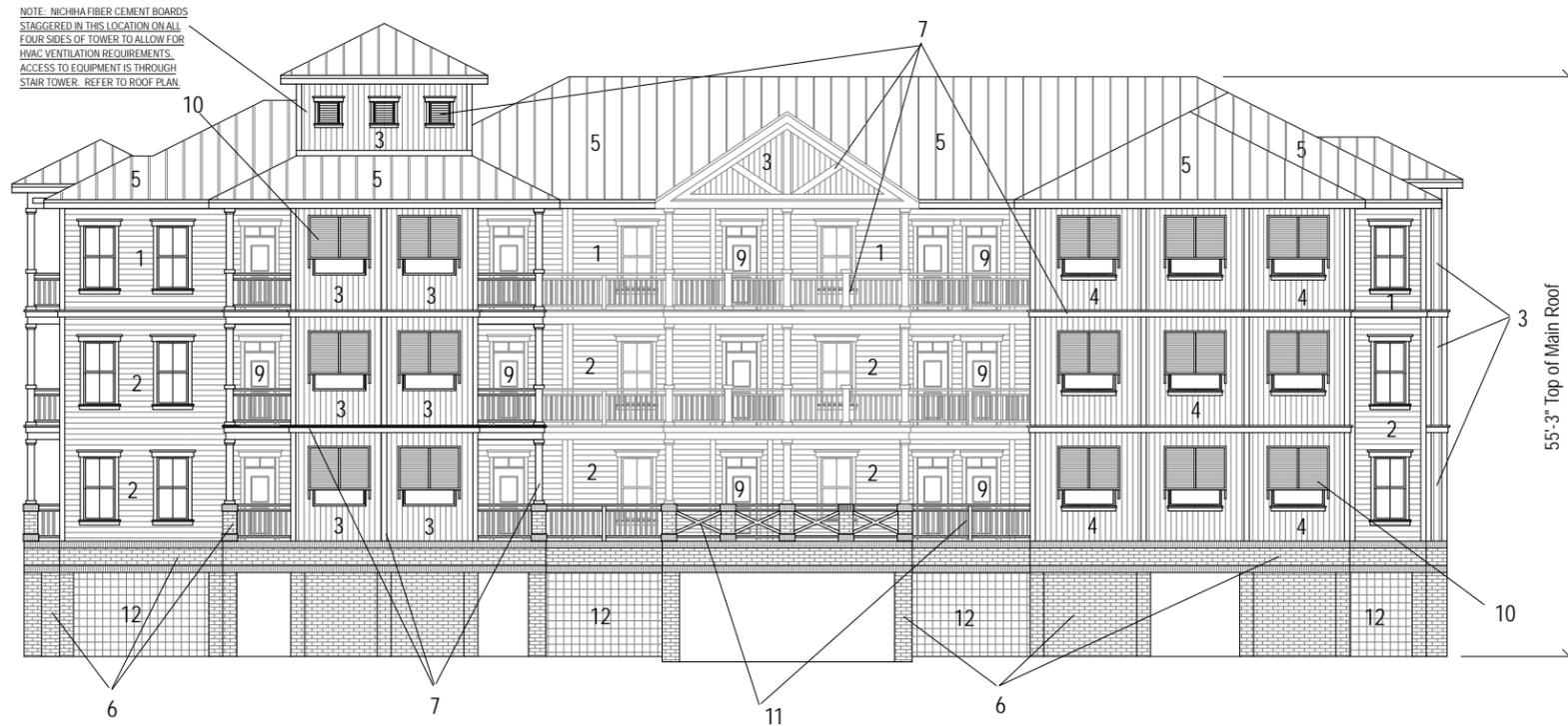
NOTE: NICHHA FIBER CEMENT BOARDS STAGGERED IN THIS LOCATION ON ALL FOUR SIDES OF TOWER TO ALLOW FOR HVAC VENTILATION REQUIREMENTS. ACCESS TO EQUIPMENT IS THROUGH STAIR TOWER.

1 Building 2- Roof Plan
 SCALE: 1/8" = 1'-0"

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Color + Material legend

- 1-Hardie Lap Siding- Cobblestone
- 2-Hardie Lap Siding- Monterey Taupe
- 3-Nichha Vertical Siding- Vintage Wood Spruce
- 4-Hardie Vertical Siding- Cobblestone
- 5-Metal Roof- Aged Bronze
- 6-Brick- (Palmetto Brick- Riviera)
- 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines

1 Building 2- Front Elevation + Character Rendering
SCALE: 1/8" = 1'-0"



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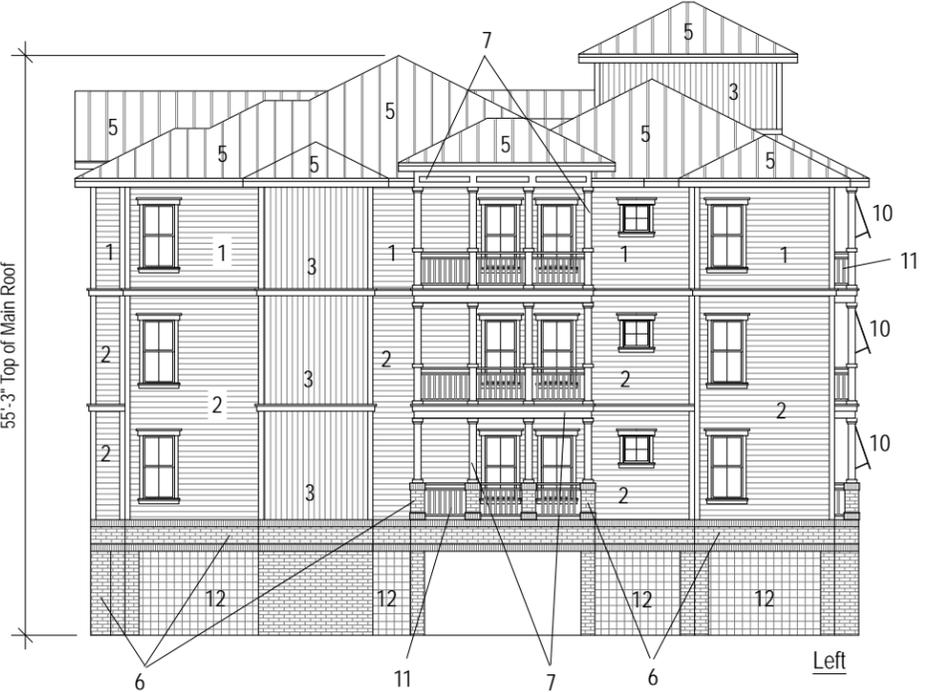


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Color + Material legend

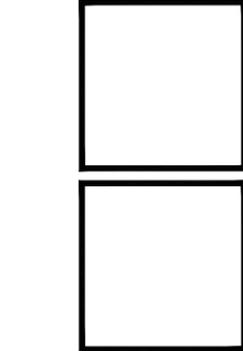
- 1-Hardie Lap Siding- Cobblestone
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- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines

1 Building 2- Left Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

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Color + Material legend

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- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 2- Rear Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

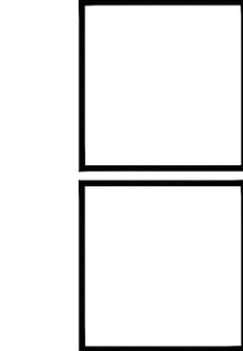
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Color + Material legend

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- 4-Hardie Vertical Siding- Cobblestone
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- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 2- Right Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

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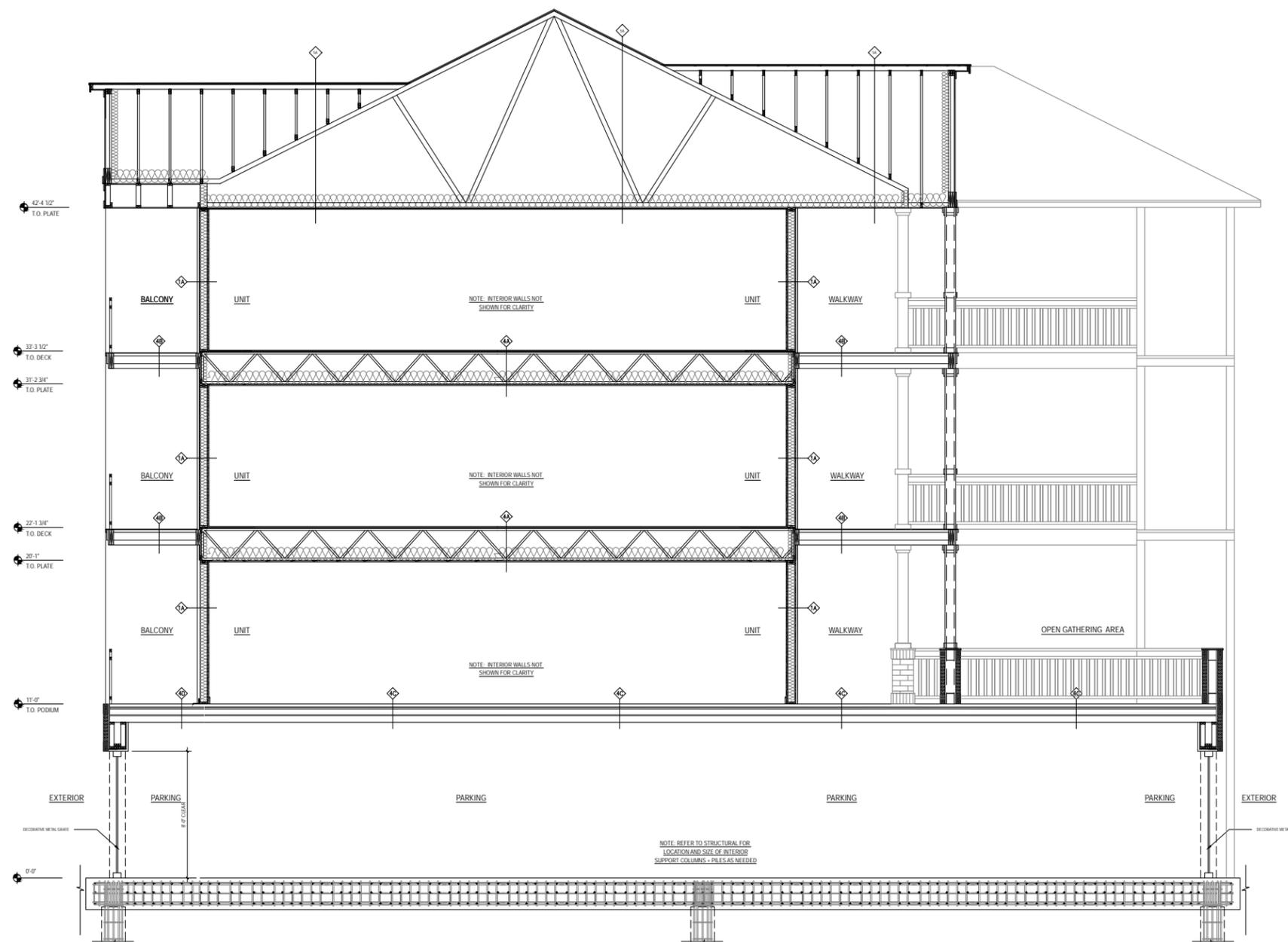
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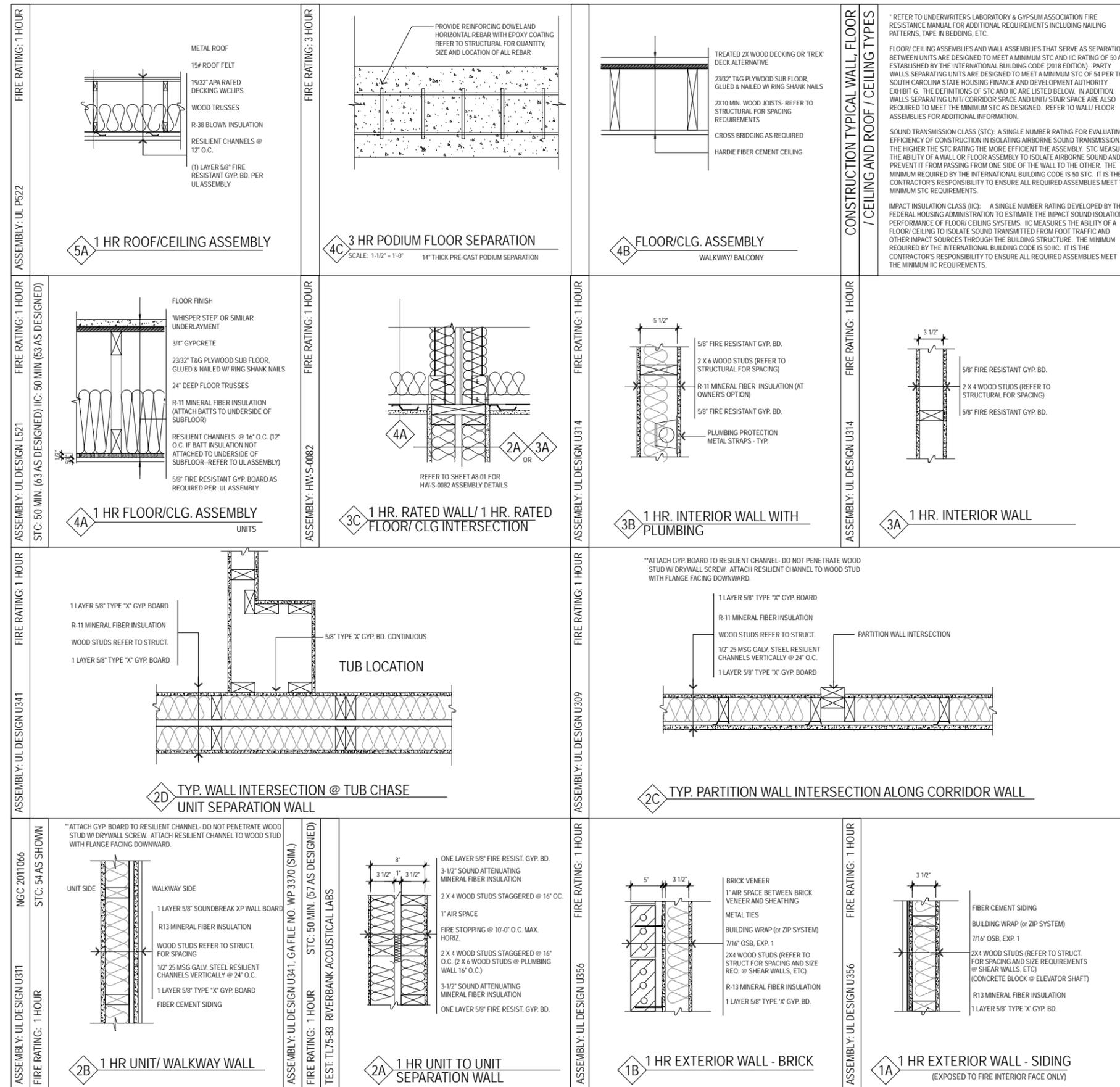
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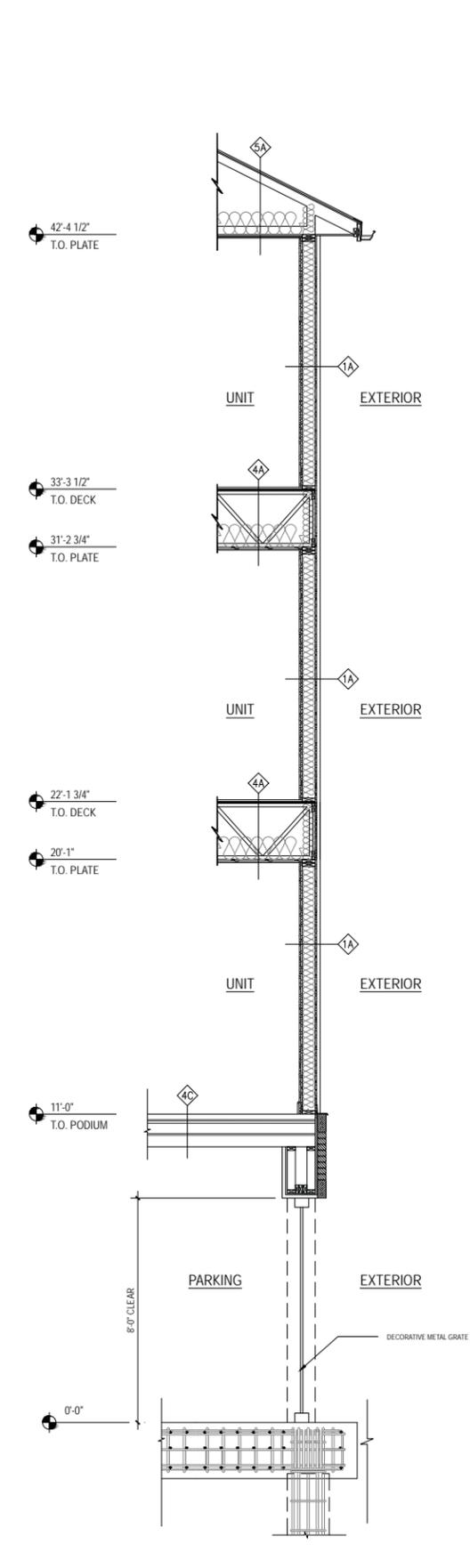
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1 Building 2- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"



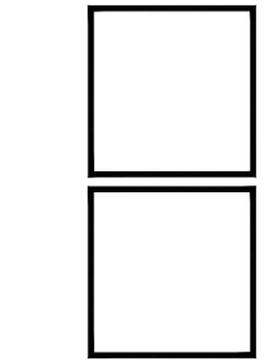
2 Building 2- Typical Wall + Floor/ Ceiling Assemblies
SCALE: 1 1/2" = 1'-0"



1 Building 2- Typical Exterior Wall Section
SCALE: 3/8" = 1'-0"



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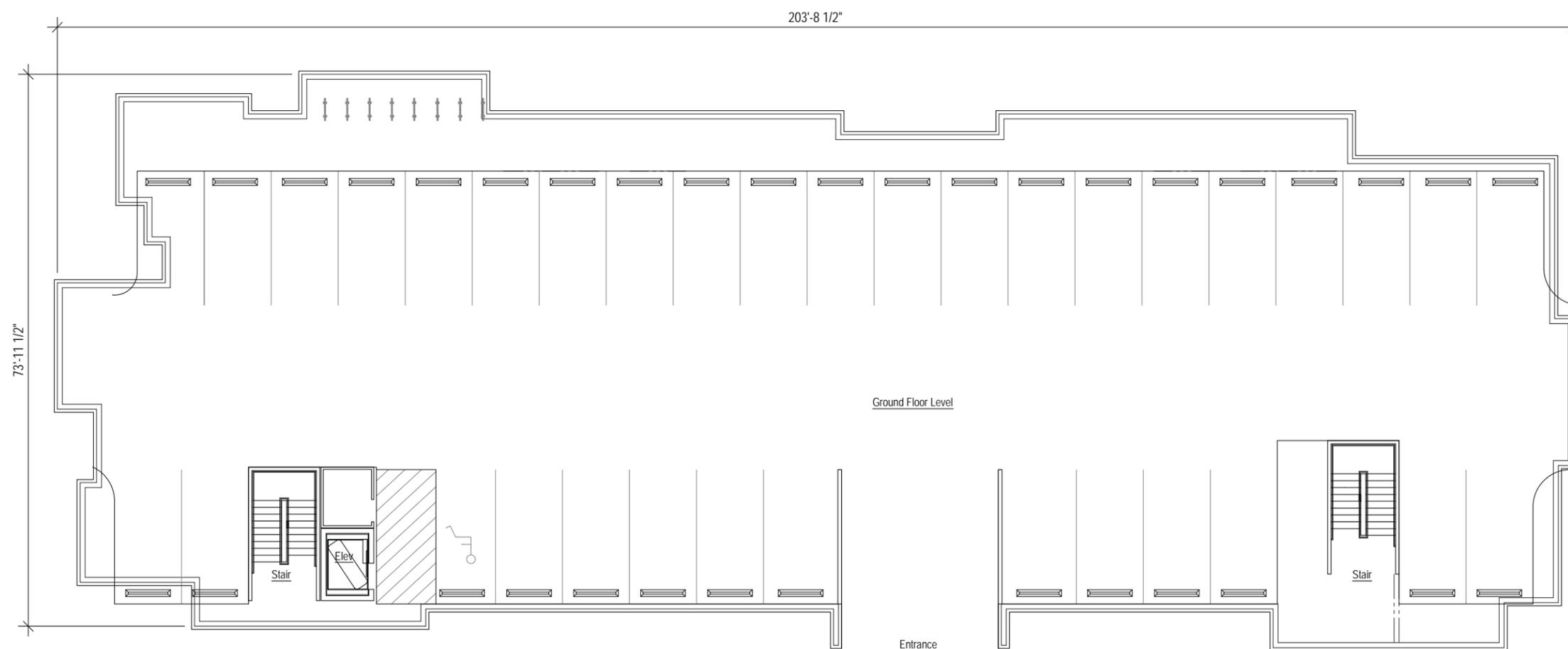
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1 Building 3- Ground Floor Plan
SCALE: 1/8" = 1'-0"



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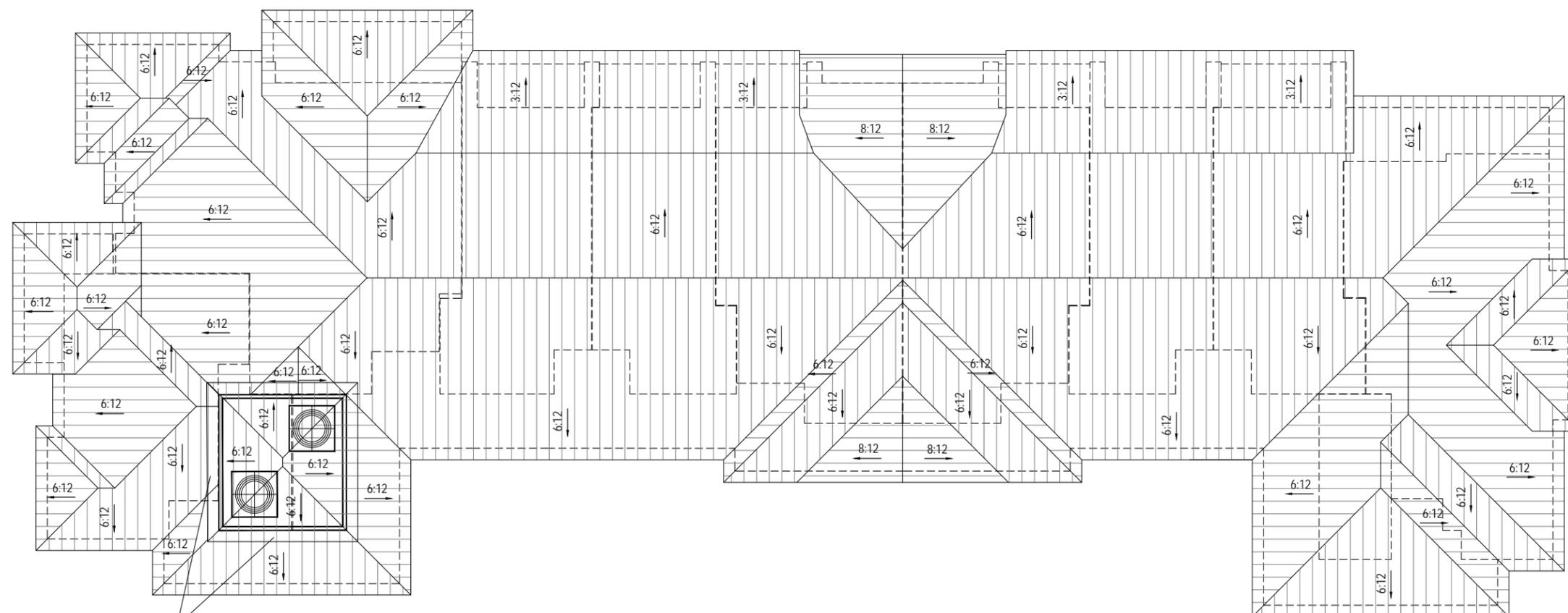
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NOTE: NICHHA FIBER CEMENT BOARDS STAGGERED IN THIS LOCATION ON ALL FOUR SIDES OF TOWER TO ALLOW FOR HVAC VENTILATION REQUIREMENTS. ACCESS TO EQUIPMENT IS THROUGH STAIR TOWER.

1 Building 3- Roof Plan
SCALE: 1/8" = 1'-0"



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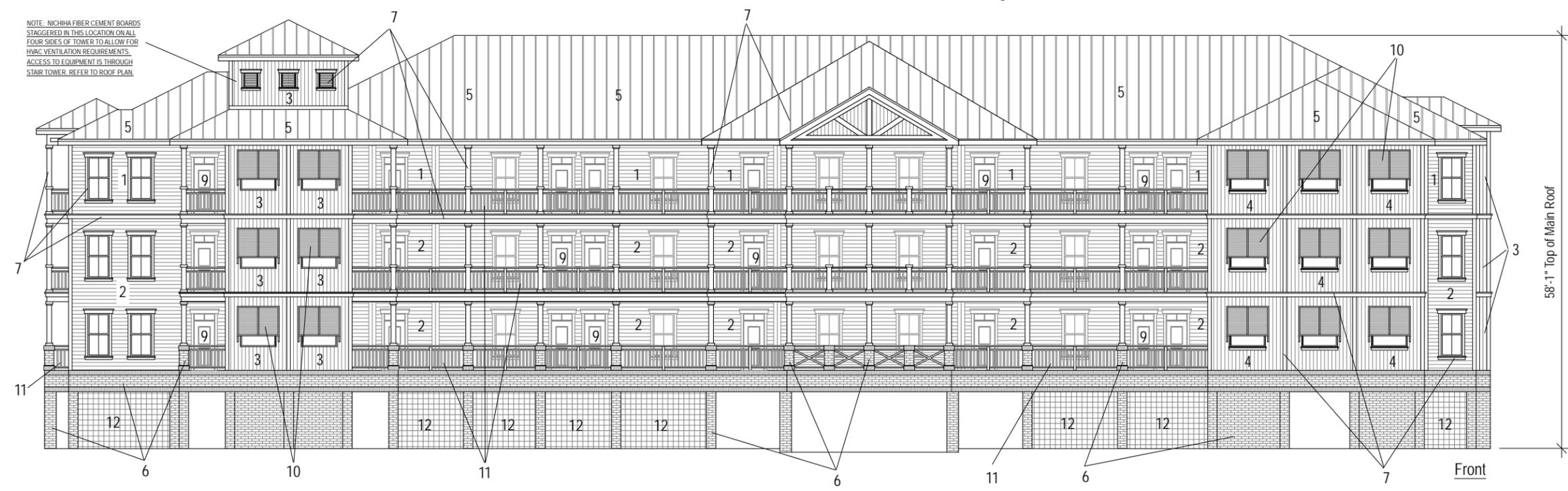
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Date	10/04/2021	
#	Issue History	Date

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- Color + Material legend**
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichia Vertical Siding- Vintage Wood Spruce
 - 4-Hardie Vertical Siding- Cobblestone
 - 5-Metal Roof- Aged Bronze
 - 6-Brick- (Palmetto Brick- Riviera)
 - 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
 - 8-Glass Door/ Frame Color- Aged Bronze
 - 9-Solid Door Color- Mountain Sage
 - 10-Shutters- Zinc
 - 11-Railings- Aged Bronze
 - 12-Decorative metal grate- w/ climbing flowers/ vines

NOTE: NICHIA FIBER CEMENT BOARDS STAGGERED IN THIS LOCATION ON ALL FOUR SIDES OF TOWER TO ALLOW FOR HVAC VENTILATION REQUIREMENTS. ACCESS TO EQUIPMENT IS THROUGH STAIR TOWER. REFER TO ROOF PLAN.



1 Building 3- Front + Left Elevation
SCALE: 1/8" = 1'-0"



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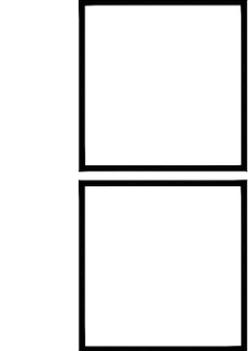
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1 Building 3- Rear Elevation
SCALE: 1/8" = 1'-0"



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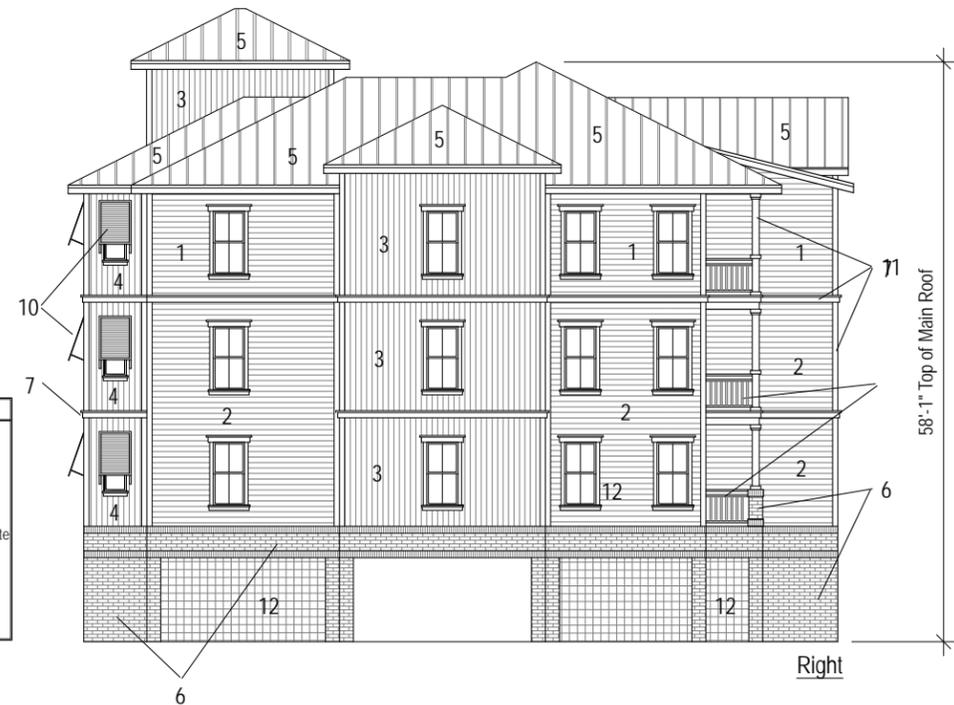


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Color + Material legend

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- 4-Hardie Vertical Siding- Cobblestone
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- 6-Brick- (Palmetto Brick- Riviera)
- 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
- 8-Glass Door/ Frame Color- Aged Bronze
- 9-Solid Door Color- Mountain Sage
- 10-Shutters- Zinc
- 11-Railings- Aged Bronze
- 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 3- Right Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

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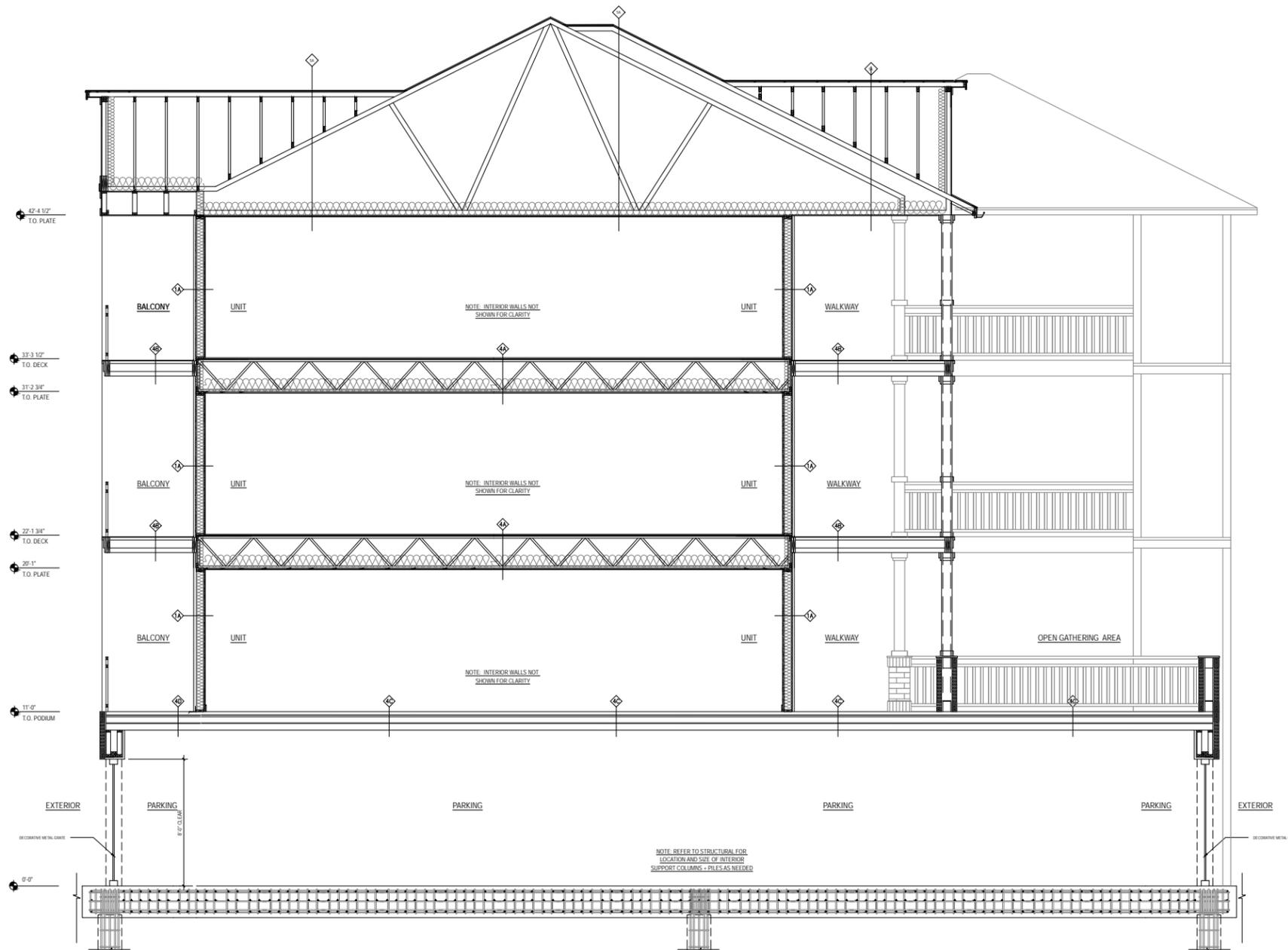
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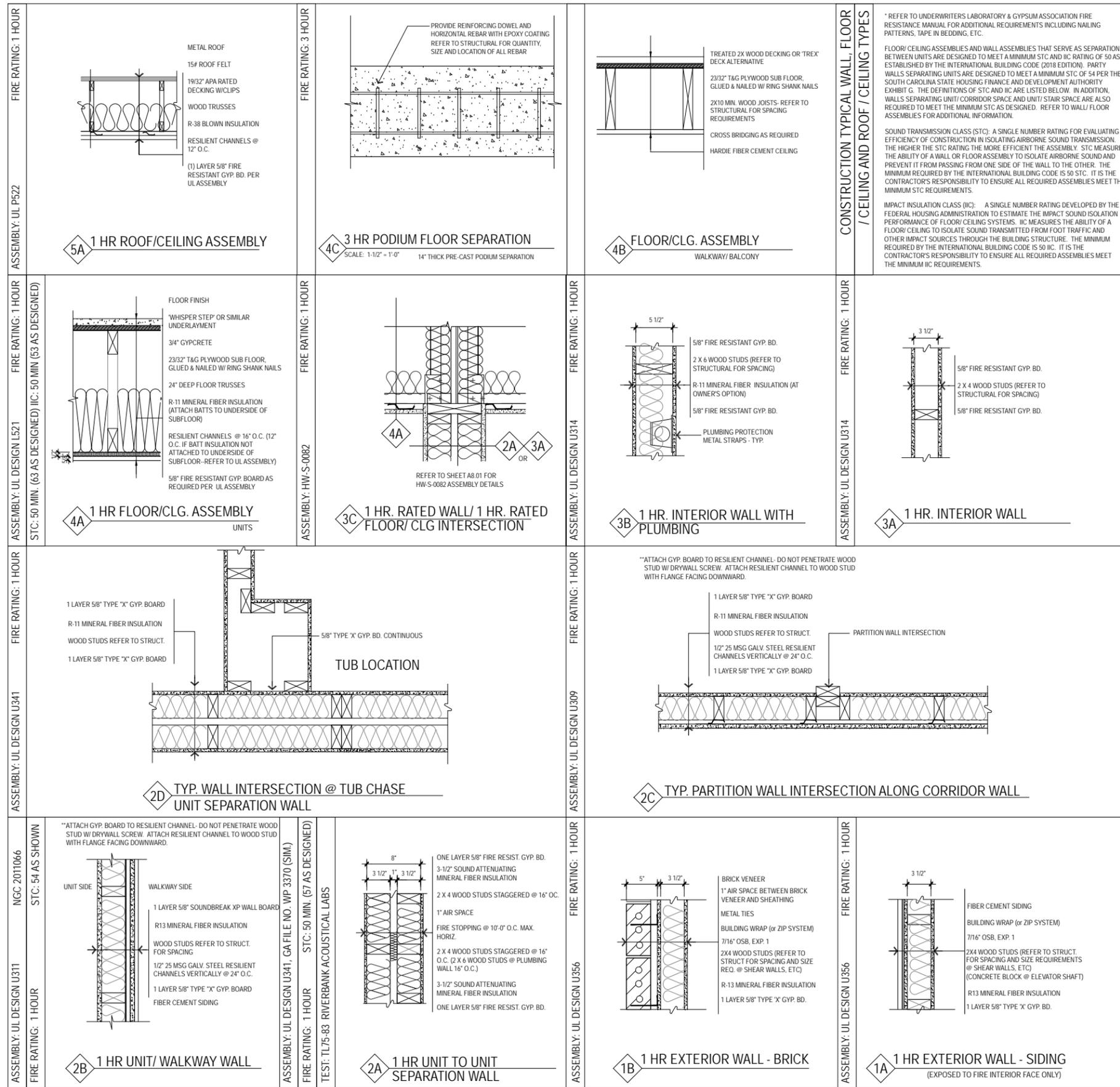
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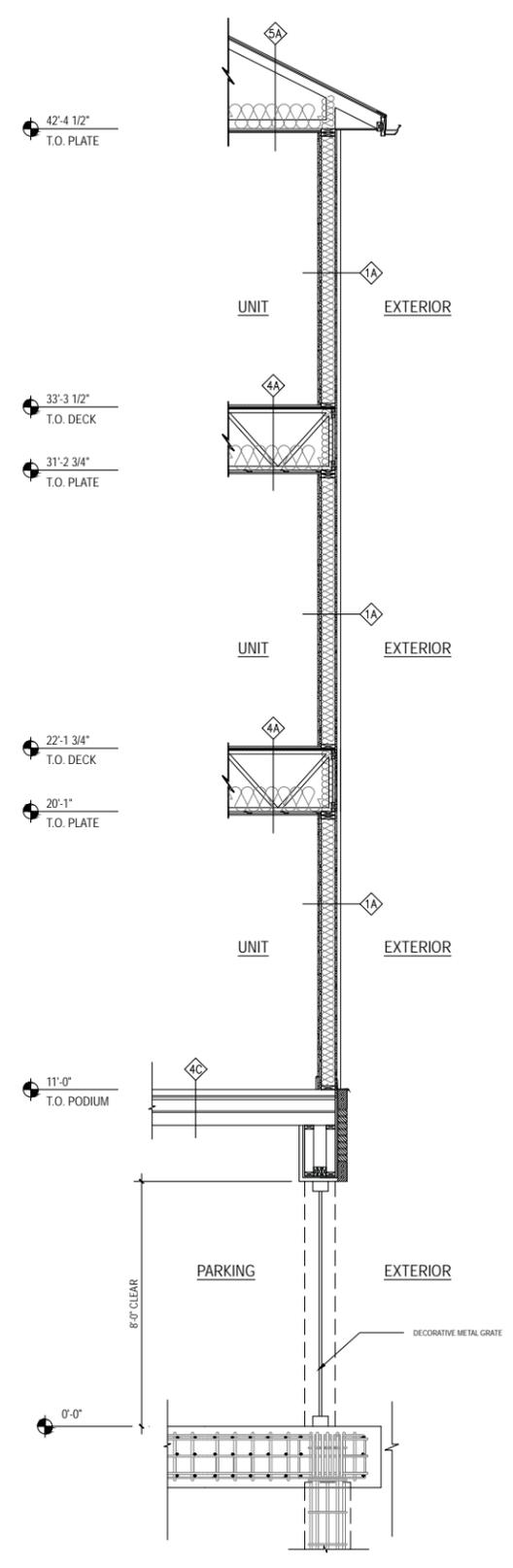
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1 Building 3- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"



2 Building 3- Typical Wall and Floor/ Ceiling Assemblies
 SCALE: 1 1/2" = 1'-0"



1 Building 3- Typical Exterior Wall Section
 SCALE: 3/8" = 1'-0"



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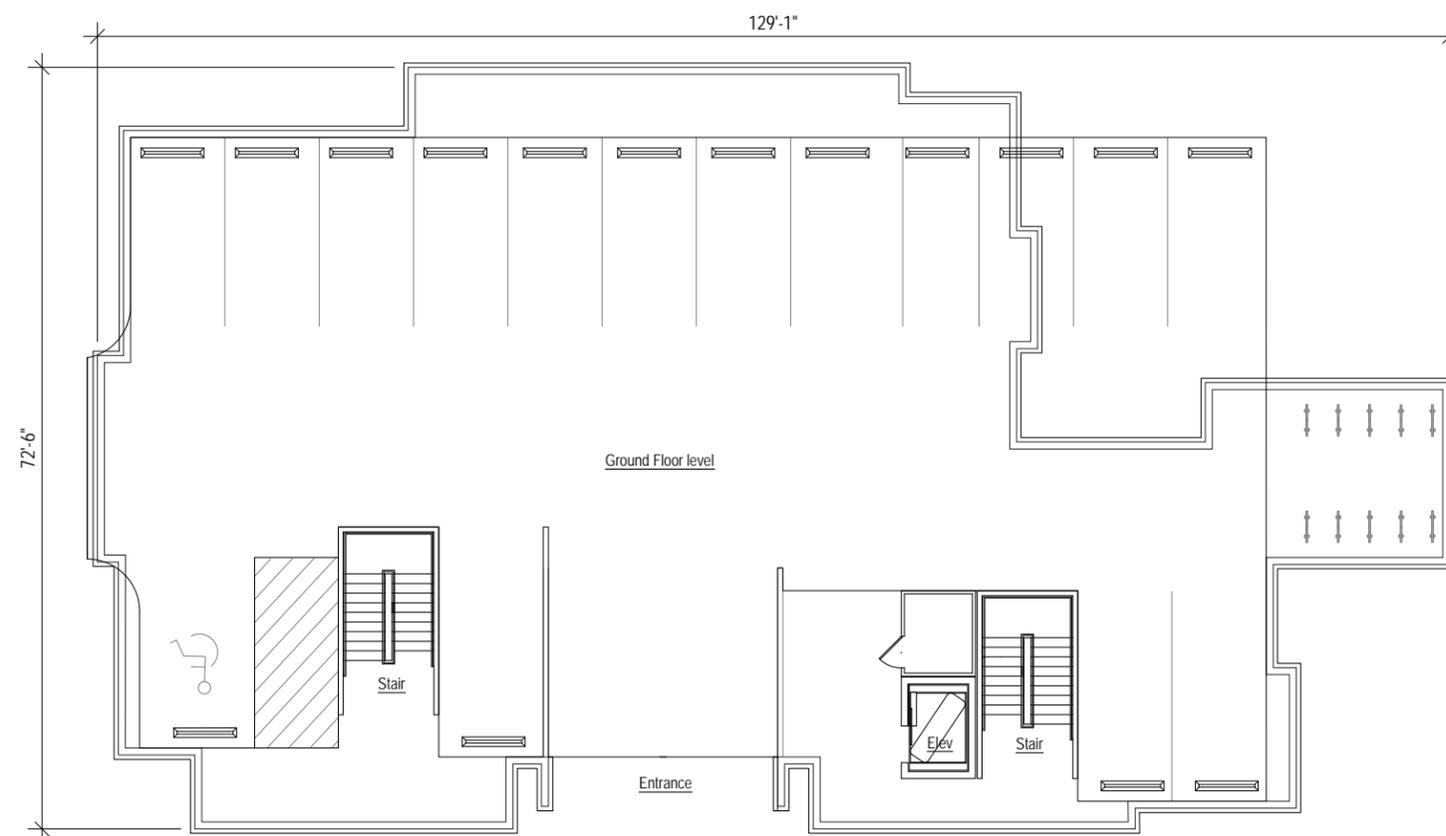
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1 Building 4- Ground Floor Plan
SCALE: 1/8" = 1'-0"



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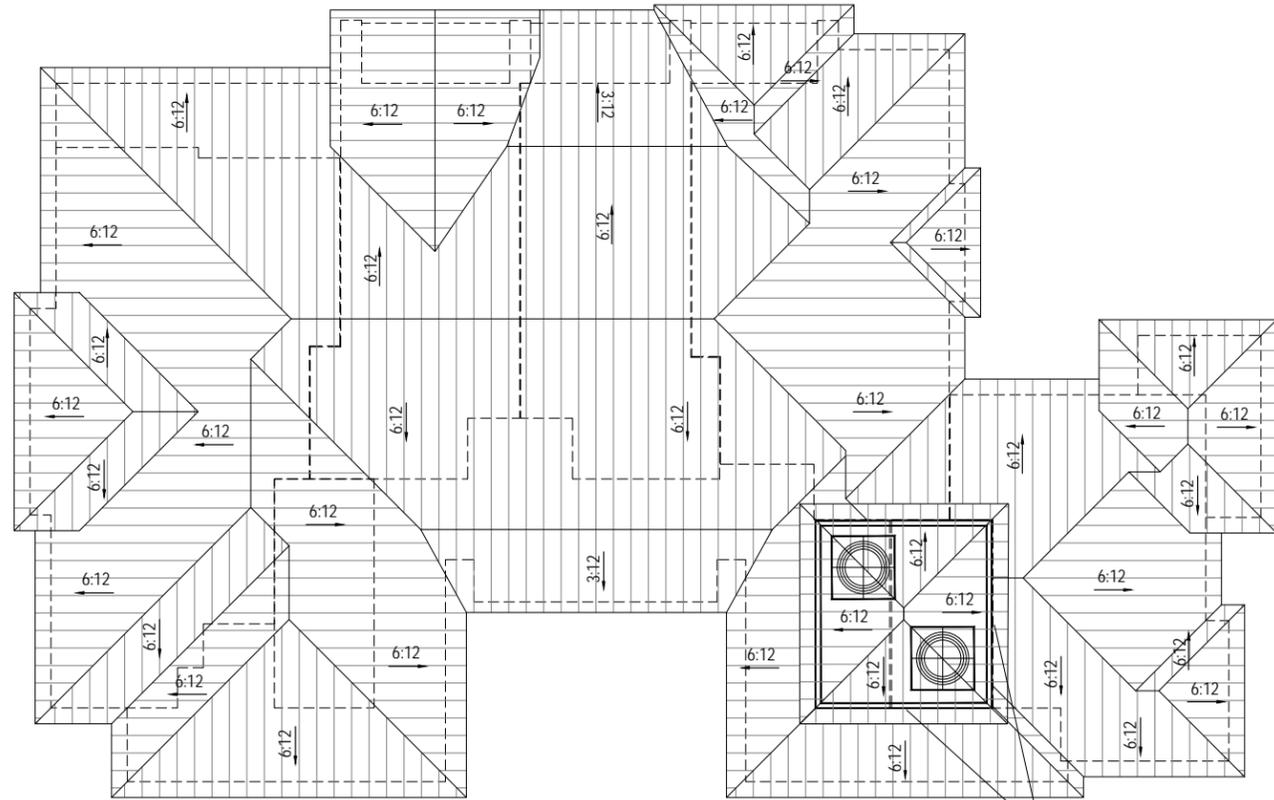
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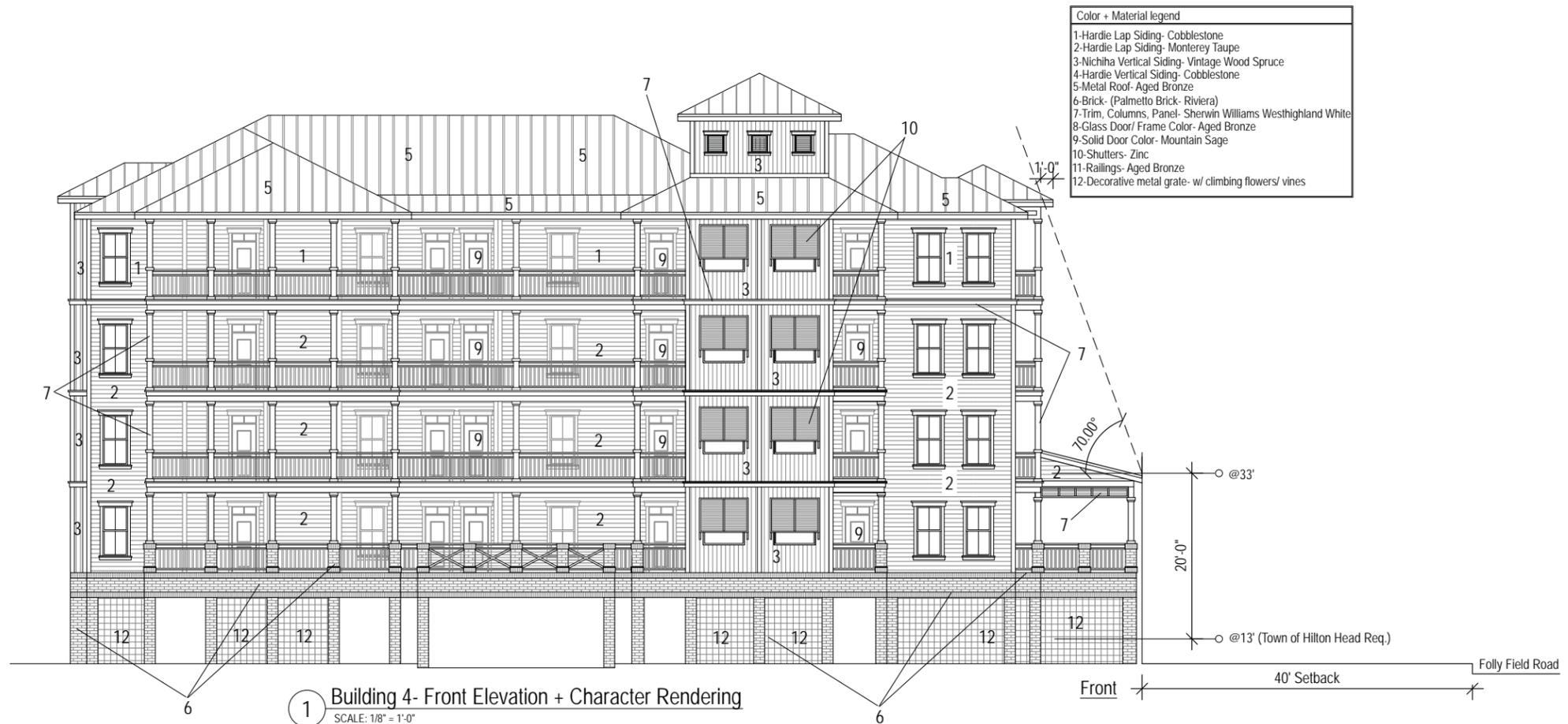
NOTE: NICHHA FIBER CEMENT BOARDS
STAGGERED IN THIS LOCATION ON ALL
FOUR SIDES OF TOWER TO ALLOW FOR
HVAC VENTILATION REQUIREMENTS.
ACCESS TO EQUIPMENT IS THROUGH
STAIR TOWER.

1 Building 4- Roof Plan
SCALE: 1/8" = 1'-0"

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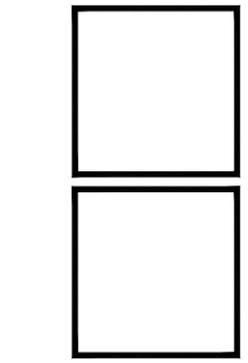


- Color + Material legend**
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 - 3-Nichia Vertical Siding- Vintage Wood Spruce
 - 4-Hardie Vertical Siding- Cobblestone
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 - 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
 - 8-Glass Door/ Frame Color- Aged Bronze
 - 9-Solid Door Color- Mountain Sage
 - 10-Shutters- Zinc
 - 11-Railings- Aged Bronze
 - 12-Decorative metal grate- w/ climbing flowers/ vines

1 Building 4- Left Elevation + Character Rendering
SCALE: 1/8" = 1'-0"



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Date 10/04/2021		
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- Color + Material legend**
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichiha Vertical Siding- Vintage Wood Spruce
 - 4-Hardie Vertical Siding- Cobblestone
 - 5-Metal Roof- Aged Bronze
 - 6-Brick (Palmetto Brick- Riviera)
 - 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
 - 8-Glass Door/ Frame Color- Aged Bronze
 - 9-Solid Door Color- Mountain Sage
 - 10-Shutters- Zinc
 - 11-Railings- Aged Bronze
 - 12-Decorative metal grate- w/ climbing flowers/ vines



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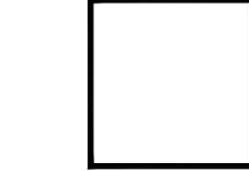
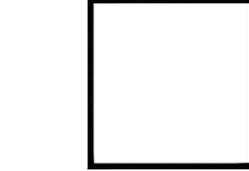
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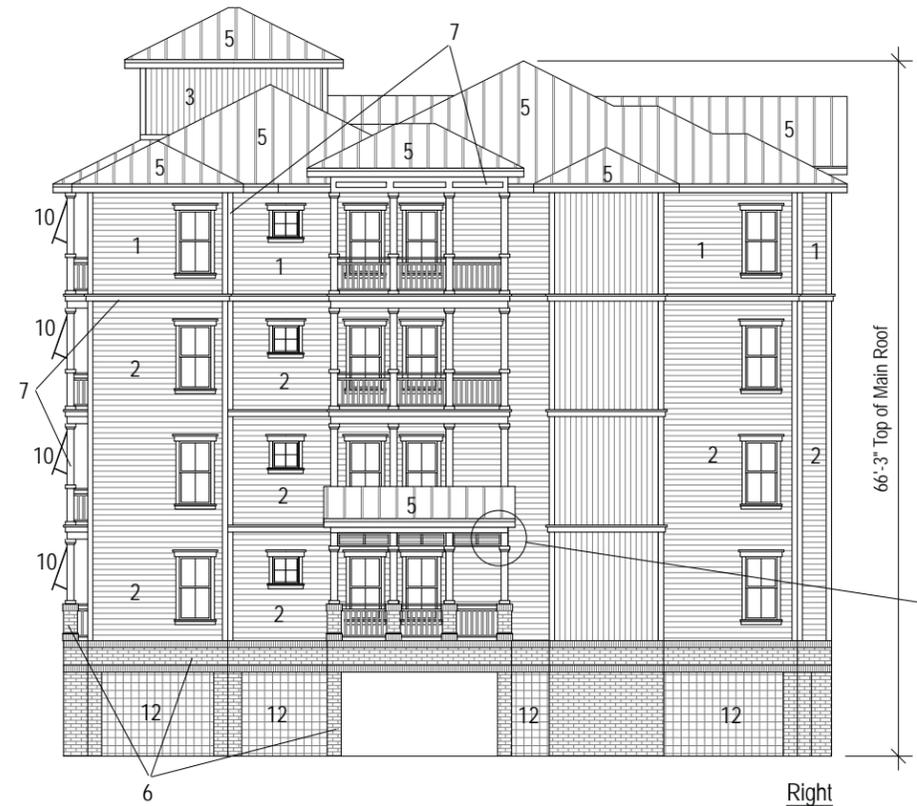
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1 Building 4- Right Elevation + Character Rendering
SCALE: 1/8" = 1'-0"

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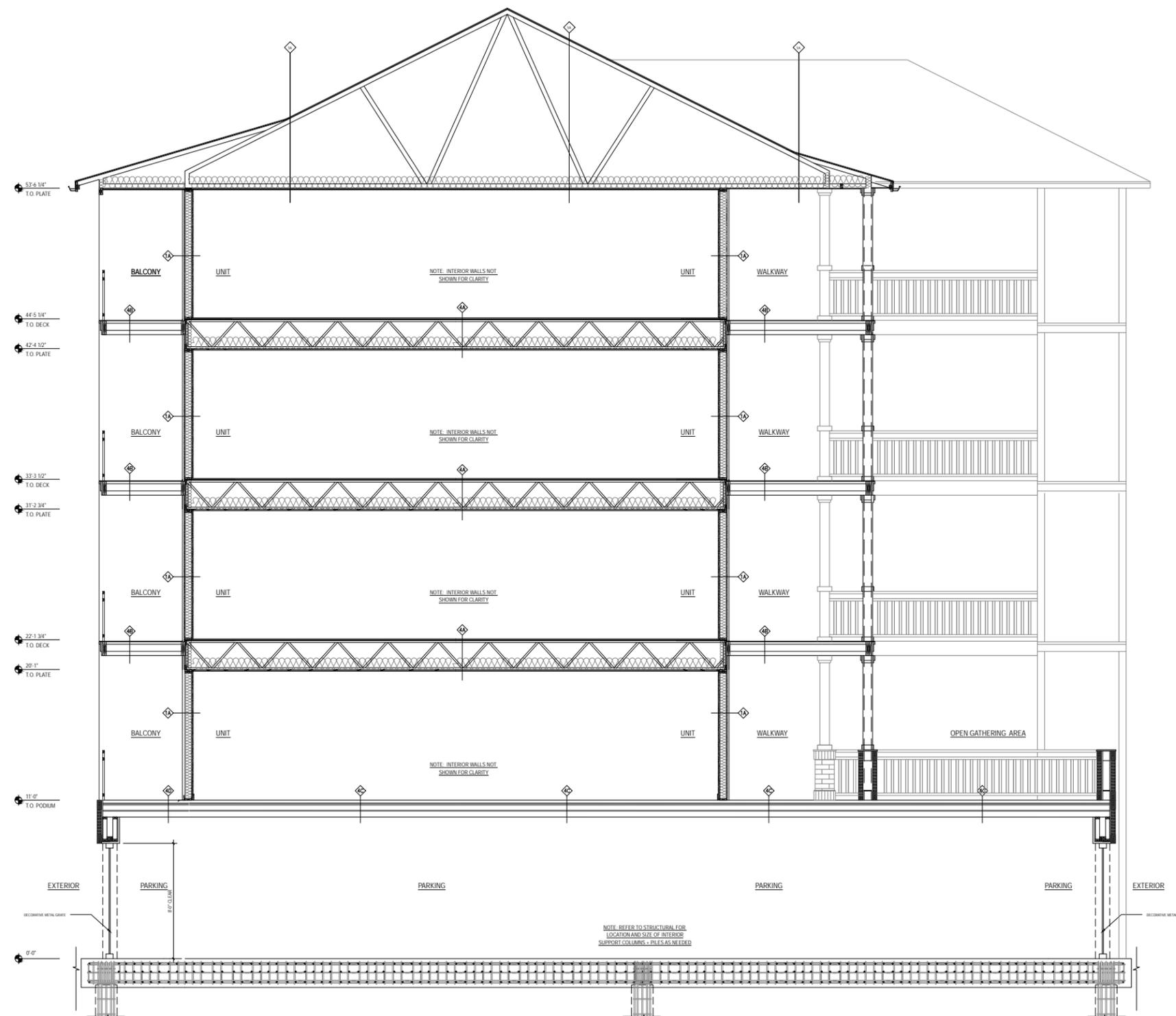
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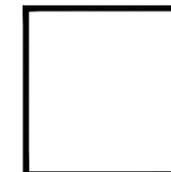


1 Building 4- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"



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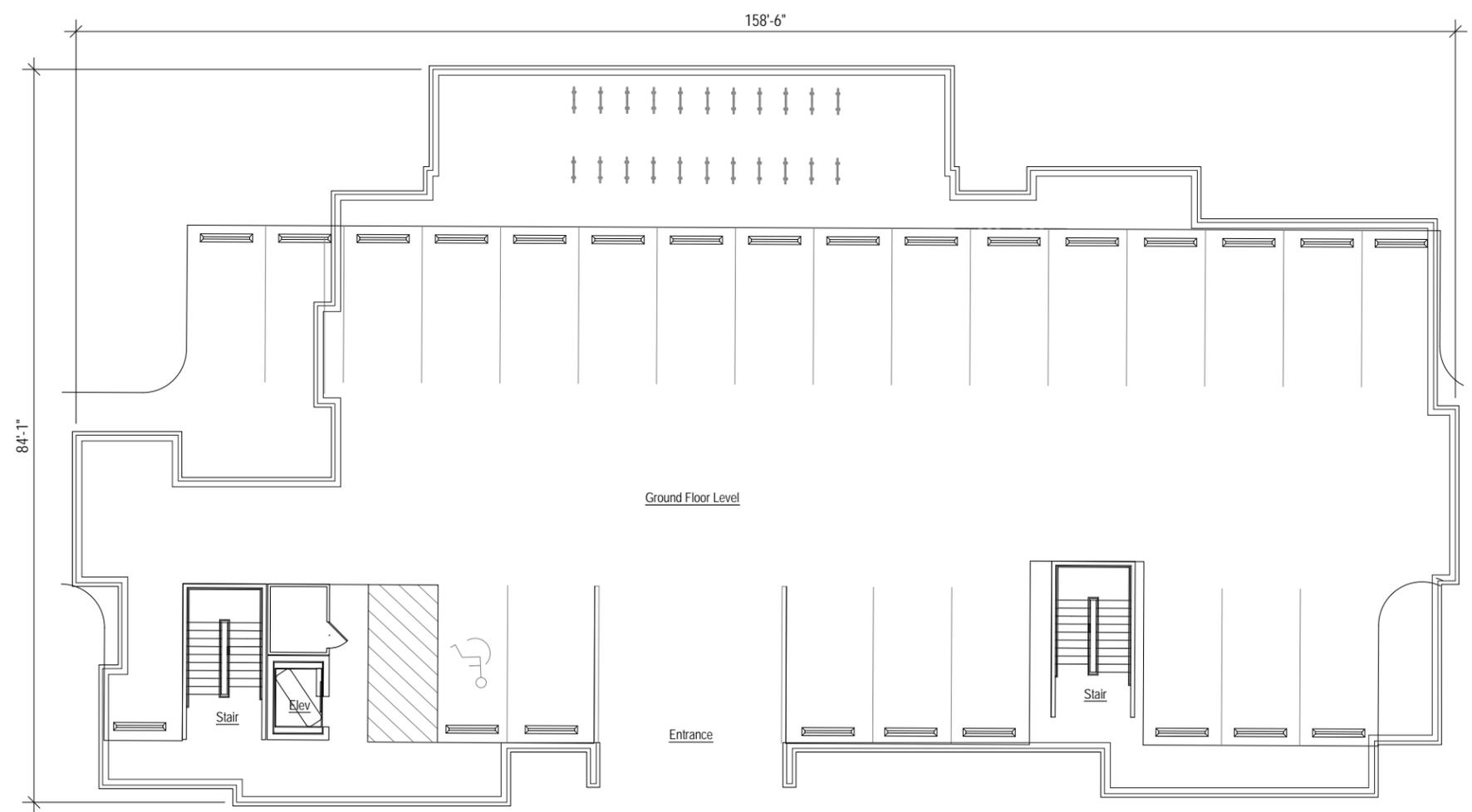
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1 Building 5- Ground Floor Plan
SCALE: 1/8" = 1'-0"



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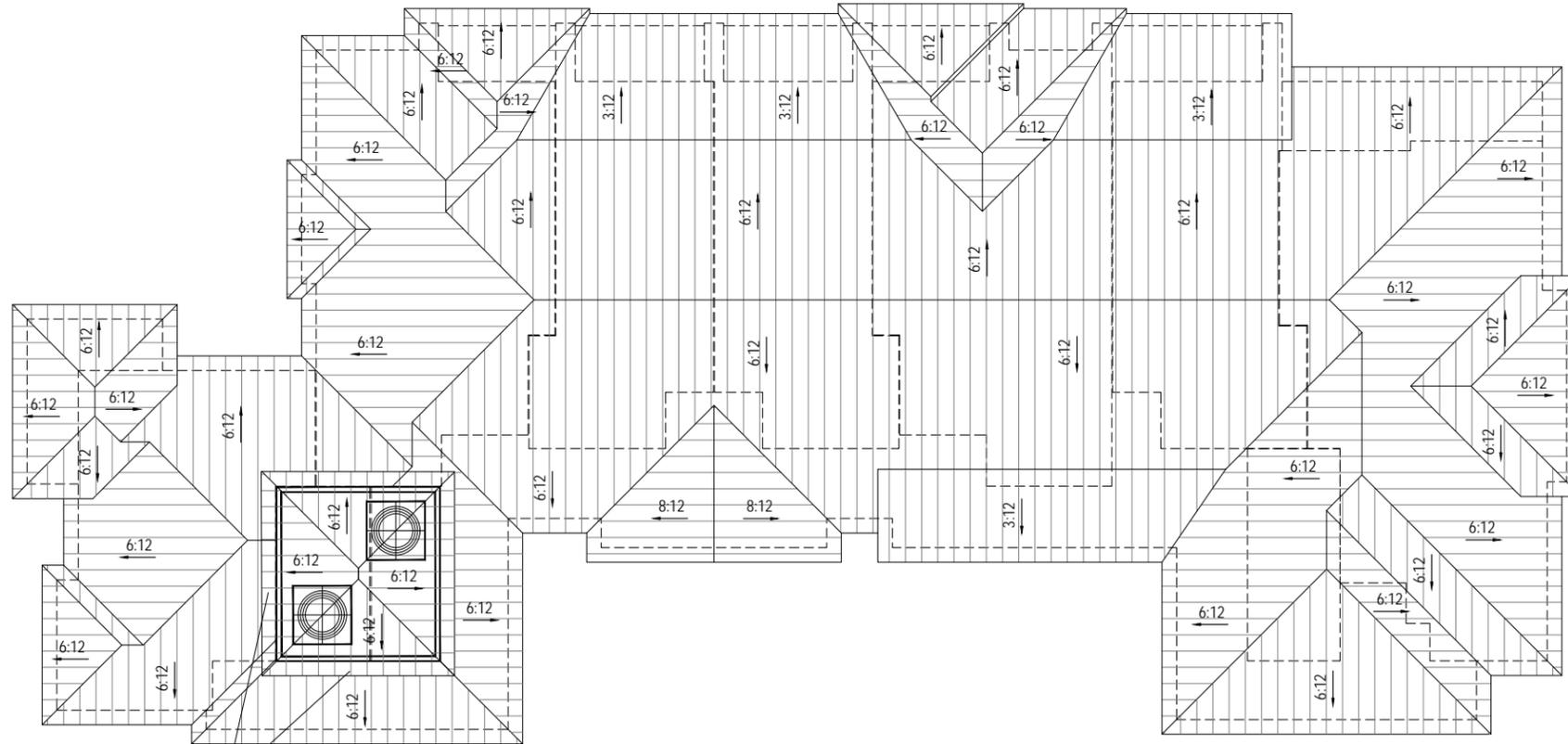
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1 Building 5- Roof Plan
SCALE: 1/8" = 1'-0"

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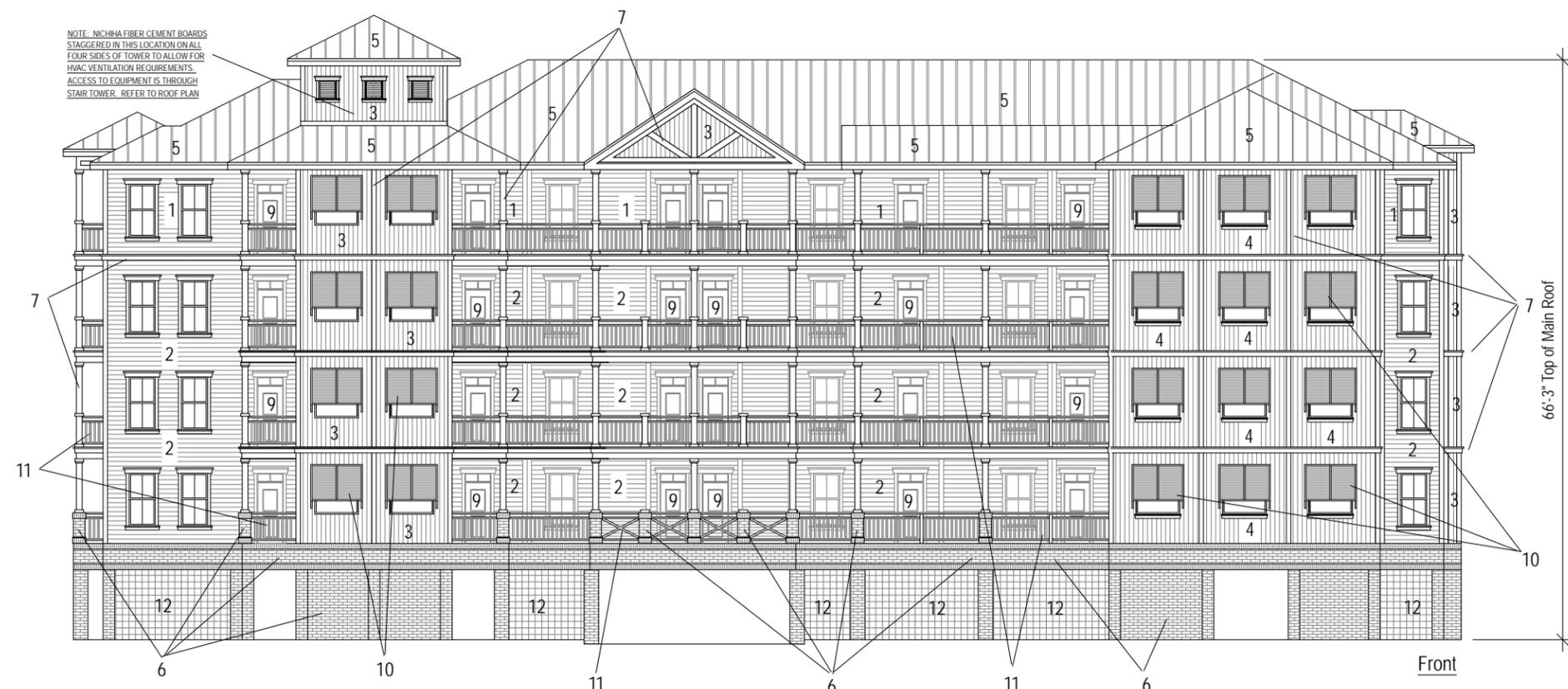
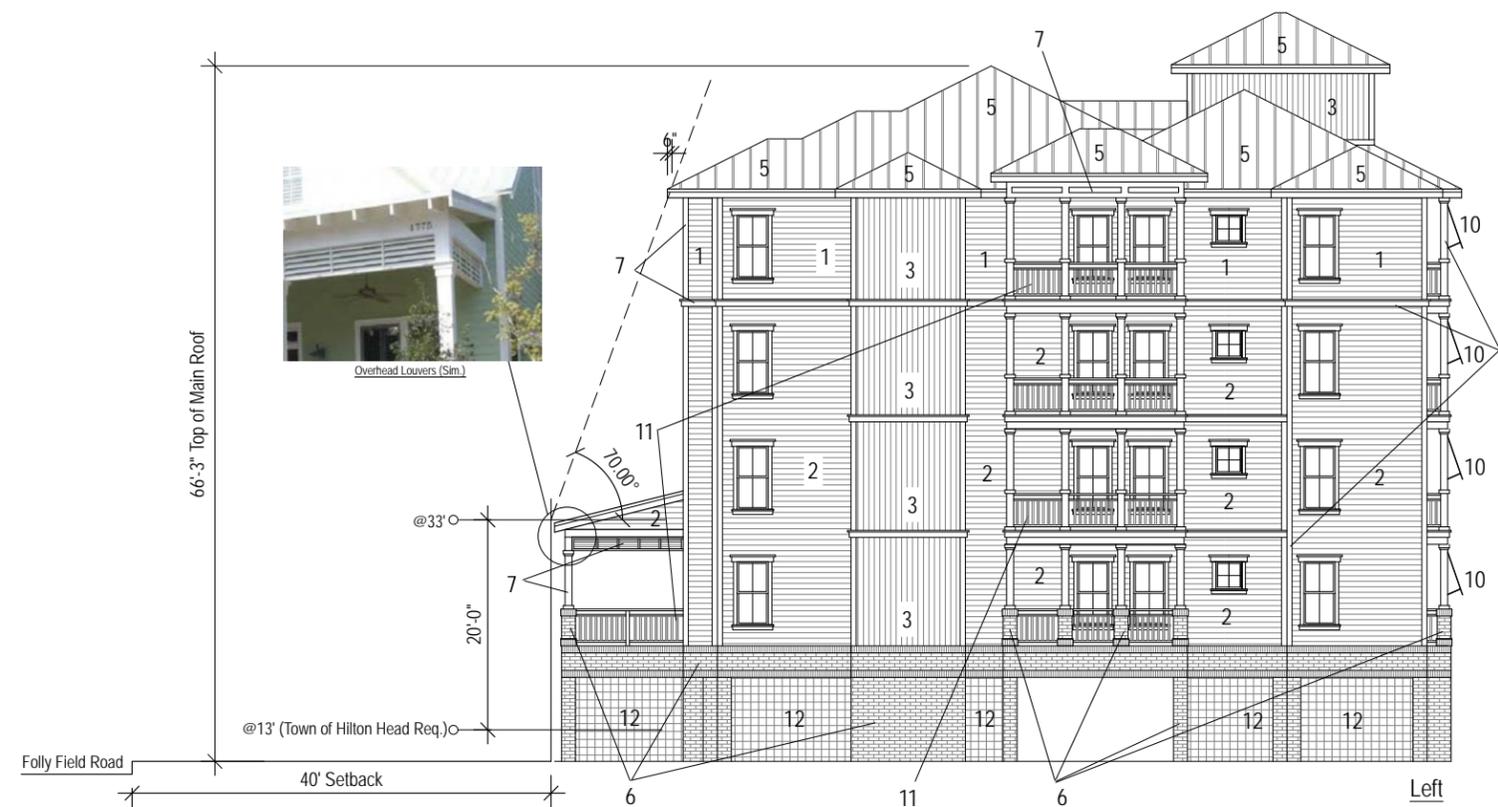
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Color + Material legend

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1 Building 5- Front + Left Elevation
SCALE: 1/8" = 1'-0"



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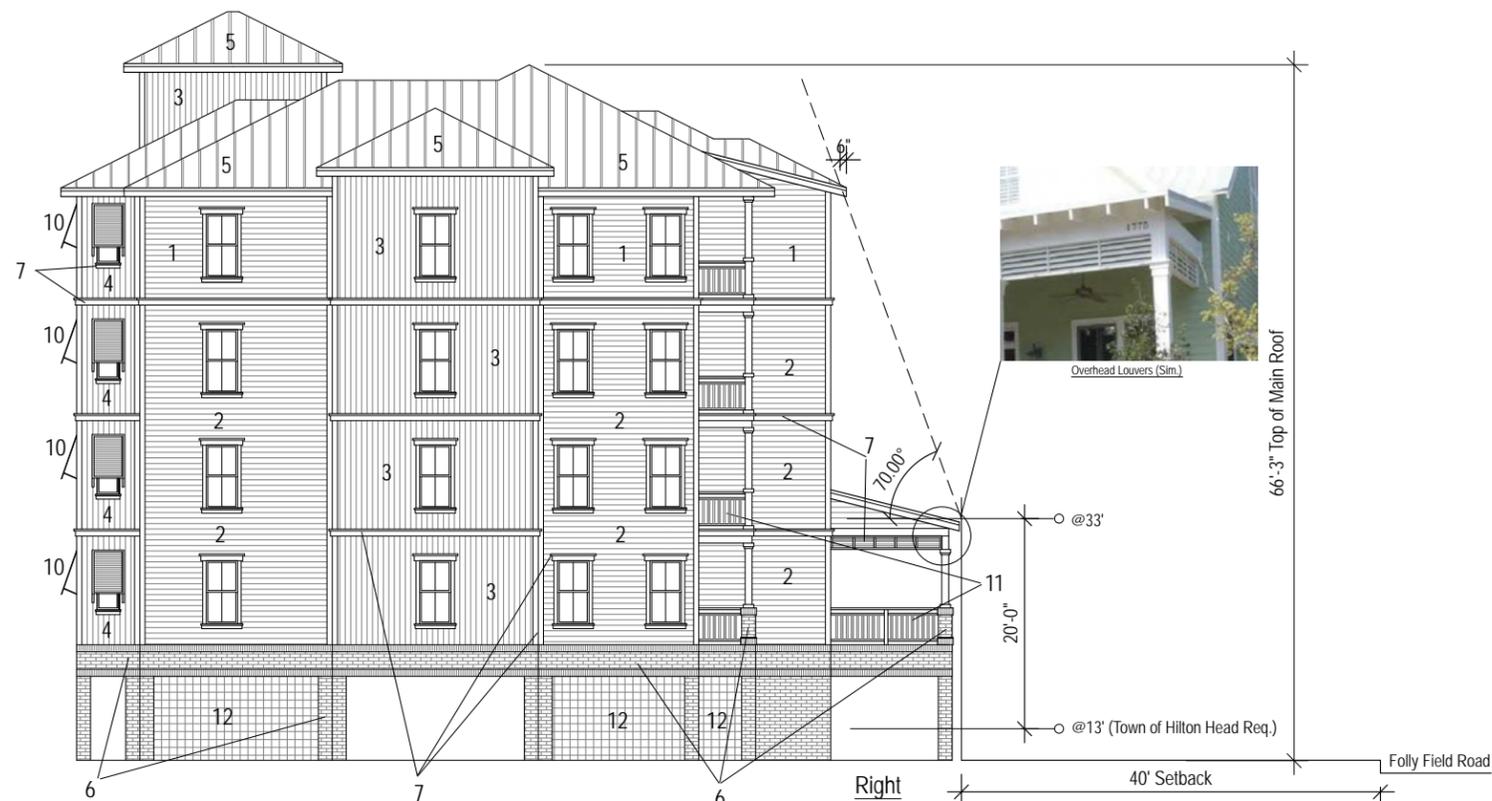
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1 Building 5- Rear + Right Elevation
SCALE: 1/8" = 1'-0"



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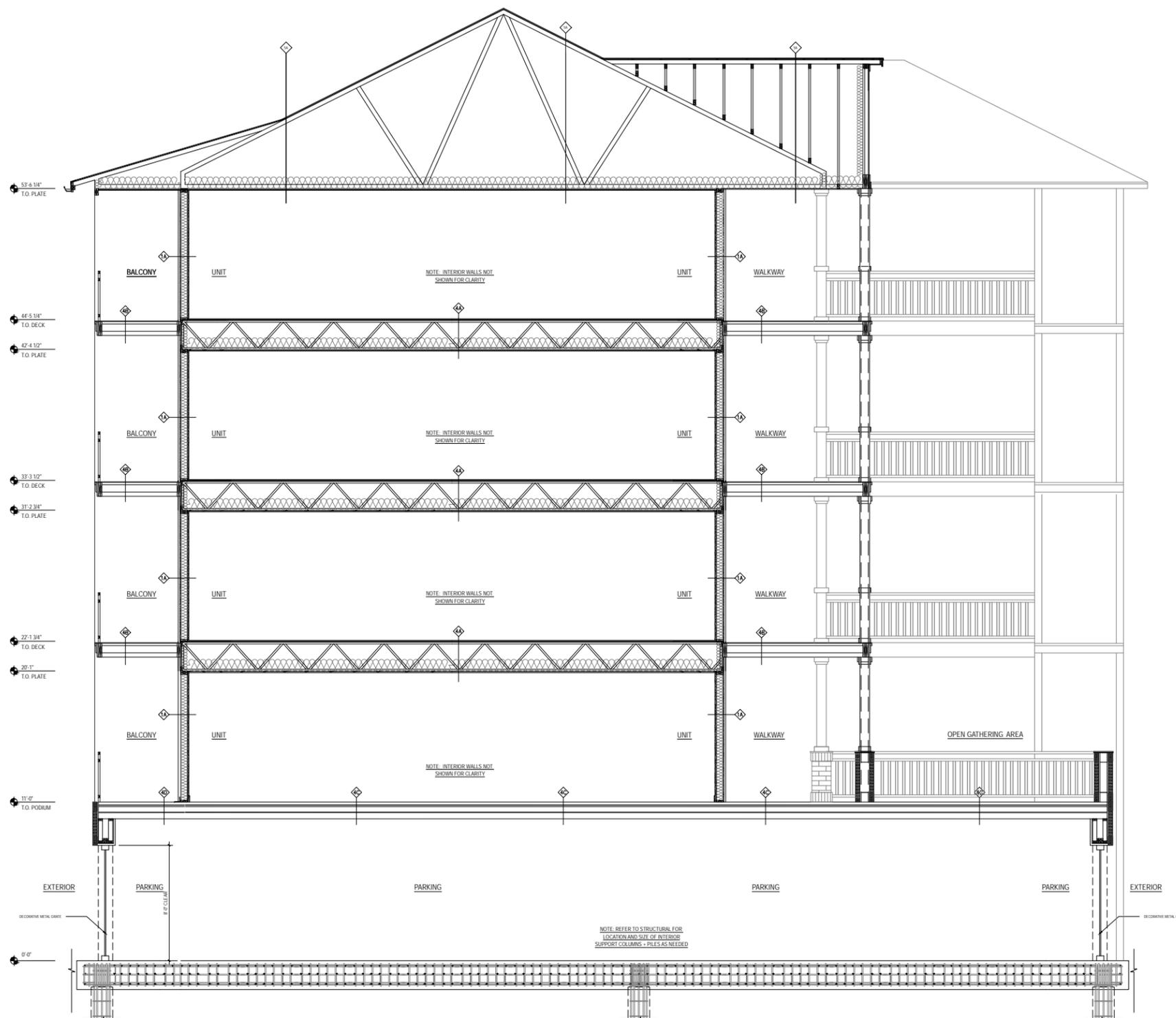
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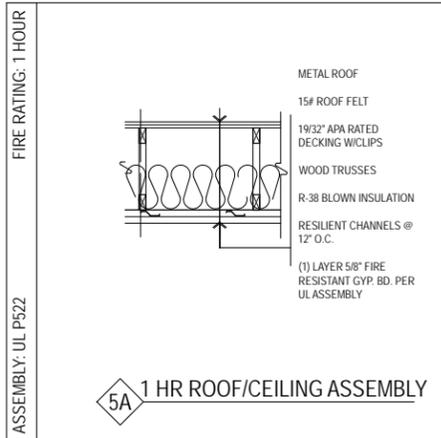
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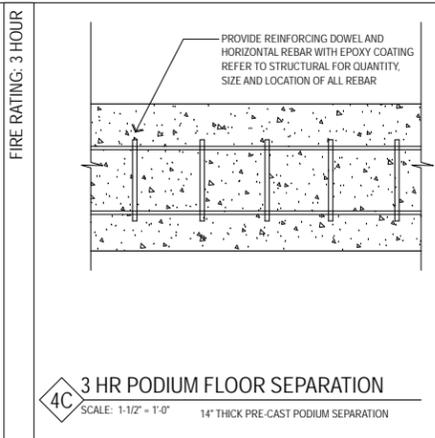
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1 Building 5- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"



5A 1 HR ROOF/CEILING ASSEMBLY



4C 3 HR PODIUM FLOOR SEPARATION
SCALE: 1/12" = 1'-0"



4B FLOOR/CLG. ASSEMBLY
WALKWAY/BALCONY

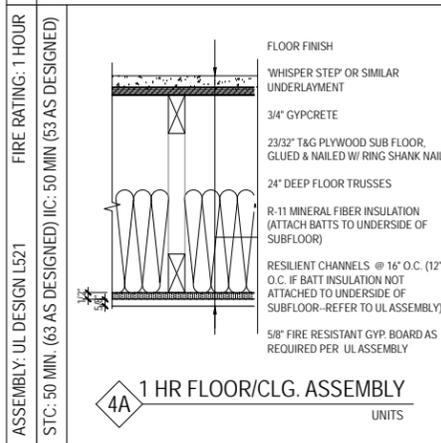
CONSTRUCTION TYPICAL WALL, FLOOR / CEILING AND ROOF / CEILING TYPES

* REFER TO UNDERWRITERS LABORATORY & GYPSUM ASSOCIATION FIRE RESISTANCE MANUAL FOR ADDITIONAL REQUIREMENTS INCLUDING NAILING PATTERNS, TAPE IN BEDDING, ETC.

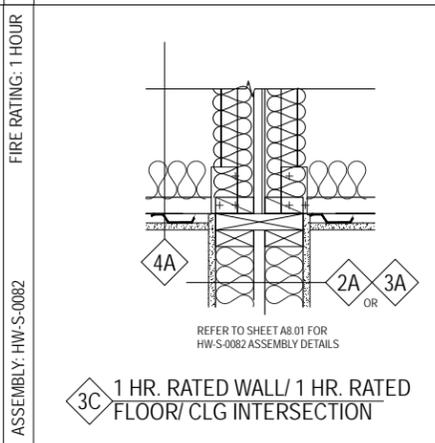
FLOOR/CEILING ASSEMBLIES THAT SERVE AS SEPARATION BETWEEN UNITS ARE DESIGNED TO MEET A MINIMUM STC AND IIC RATING OF 50 AS ESTABLISHED BY THE INTERNATIONAL BUILDING CODE (2018 EDITION). PARTY WALLS SEPARATING UNITS ARE DESIGNED TO MEET A MINIMUM STC OF 54 PER THE SOUTH CAROLINA STATE HOUSING FINANCE AND DEVELOPMENT AUTHORITY EXHIBIT G. THE DEFINITIONS OF STC AND IIC ARE LISTED BELOW. IN ADDITION, WALLS SEPARATING UNIT/ CORRIDOR SPACE AND UNIT STAIR SPACE ARE ALSO REQUIRED TO MEET THE MINIMUM STC AS DESIGNED. REFER TO WALL/ FLOOR ASSEMBLIES FOR ADDITIONAL INFORMATION.

SOUND TRANSMISSION CLASS (STC): A SINGLE NUMBER RATING FOR EVALUATING EFFICIENCY OF CONSTRUCTION IN ISOLATING AIRBORNE SOUND TRANSMISSION. THE HIGHER THE STC RATING THE MORE EFFICIENT THE ASSEMBLY. STC MEASURES THE ABILITY OF A WALL OR FLOOR ASSEMBLY TO ISOLATE AIRBORNE SOUND AND PREVENT IT FROM PASSING FROM ONE SIDE OF THE WALL TO THE OTHER. THE MINIMUM REQUIRED BY THE INTERNATIONAL BUILDING CODE IS 50 STC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED ASSEMBLIES MEET THE MINIMUM STC REQUIREMENTS.

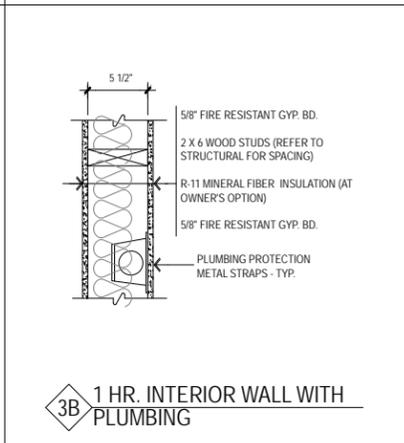
IMPACT INSULATION CLASS (IIC): A SINGLE NUMBER RATING DEVELOPED BY THE FEDERAL HOUSING ADMINISTRATION TO ESTIMATE THE IMPACT SOUND ISOLATION PERFORMANCE OF FLOOR/ CEILING SYSTEMS. IIC MEASURES THE ABILITY OF A FLOOR/ CEILING TO ISOLATE SOUND TRANSMITTED FROM FOOT TRAFFIC AND OTHER IMPACT SOURCES THROUGH THE BUILDING STRUCTURE. THE MINIMUM REQUIRED BY THE INTERNATIONAL BUILDING CODE IS 50 IIC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED ASSEMBLIES MEET THE MINIMUM IIC REQUIREMENTS.



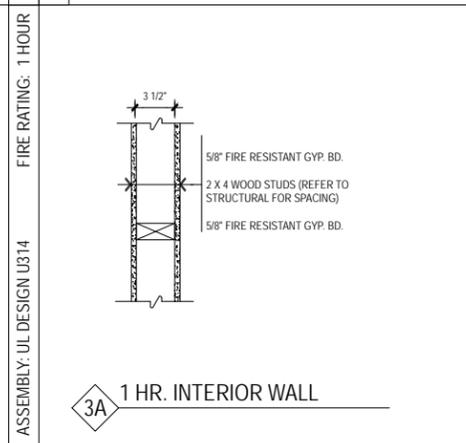
4A 1 HR FLOOR/CLG. ASSEMBLY
UNITS



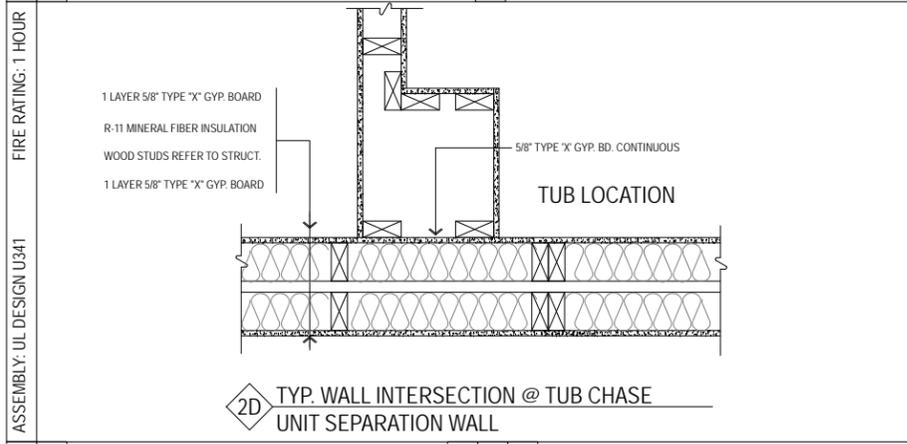
3C 1 HR. RATED WALL/ 1 HR. RATED FLOOR/ CLG INTERSECTION



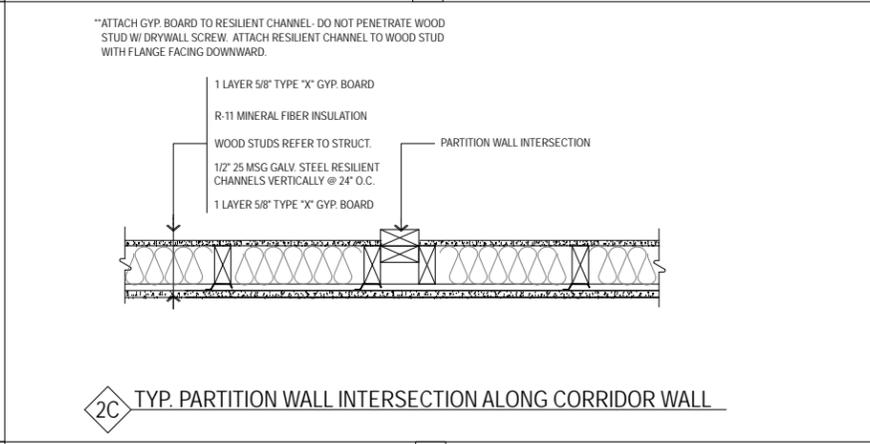
3B 1 HR. INTERIOR WALL WITH PLUMBING



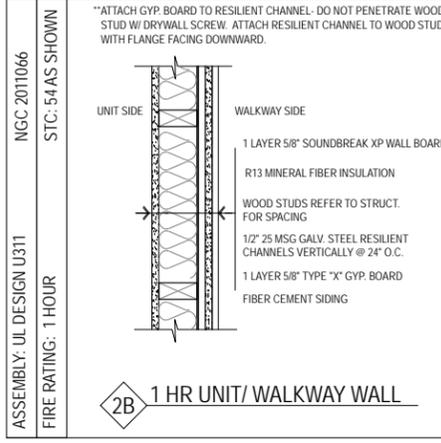
3A 1 HR. INTERIOR WALL



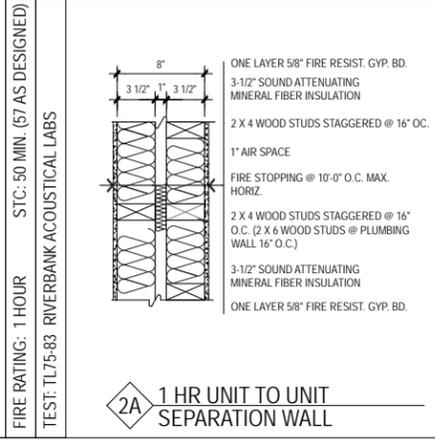
2D TYP. WALL INTERSECTION @ TUB CHASE
UNIT SEPARATION WALL



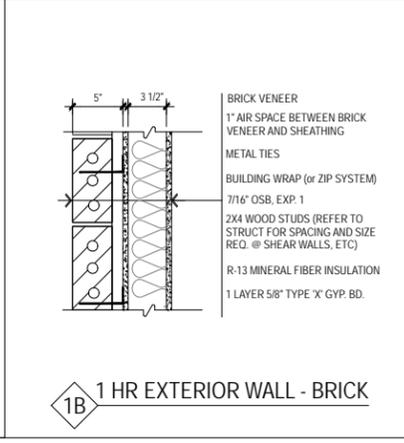
2C TYP. PARTITION WALL INTERSECTION ALONG CORRIDOR WALL



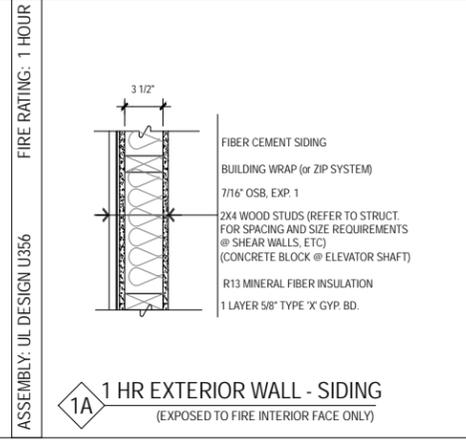
2B 1 HR UNIT/ WALKWAY WALL



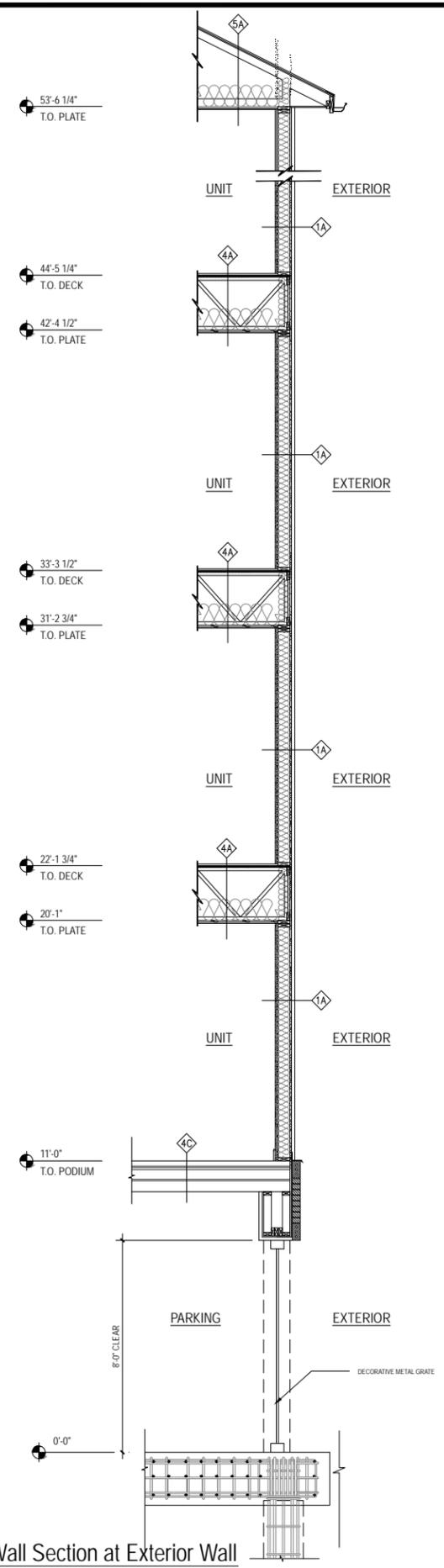
2A 1 HR UNIT TO UNIT SEPARATION WALL



1B 1 HR EXTERIOR WALL - BRICK



1A 1 HR EXTERIOR WALL - SIDING
(EXPOSED TO FIRE INTERIOR FACE ONLY)



1 Building 5- Typical Wall Section at Exterior Wall
SCALE: 3/8" = 1'-0"



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2 Building 5- Typical Wall and Floor/ Ceiling Assemblies
SCALE: 1/12" = 1'-0"



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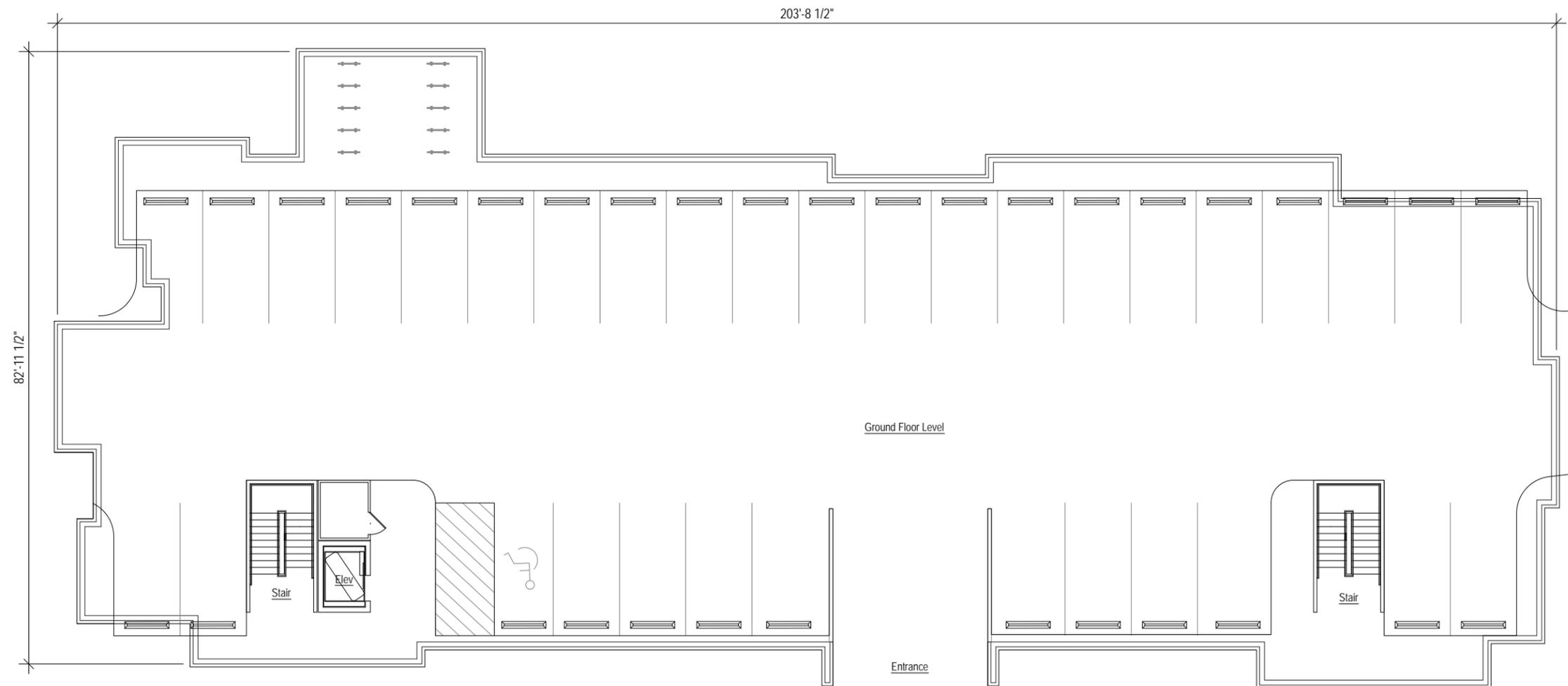
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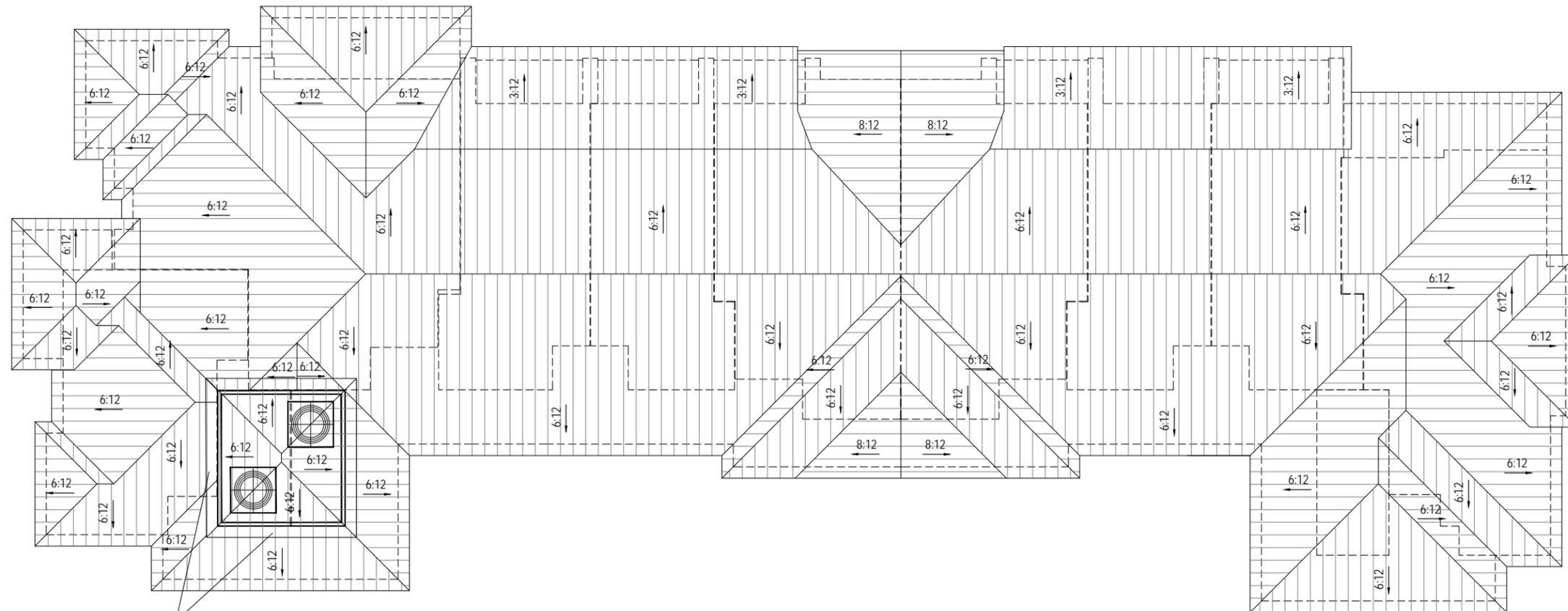
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1 Building 6- Ground Floor Plan
SCALE: 1/8" = 1'-0"

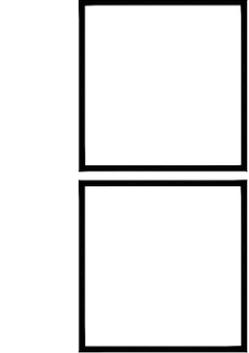


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1 Building 6- Roof Plan
SCALE: 1/8" = 1'-0"



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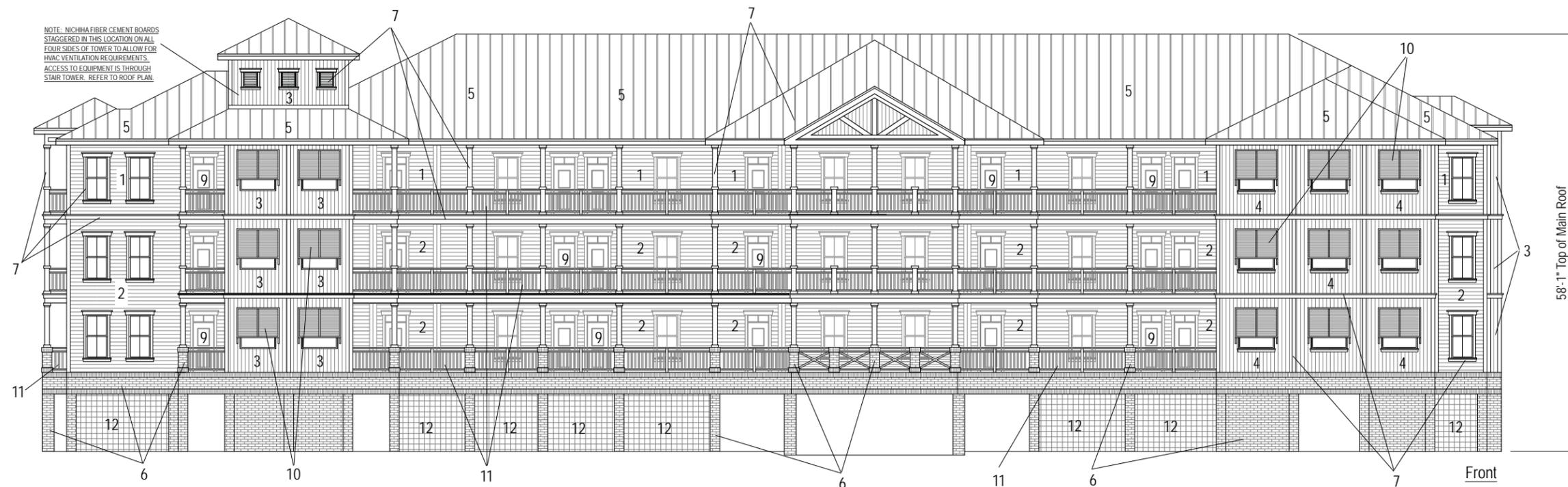
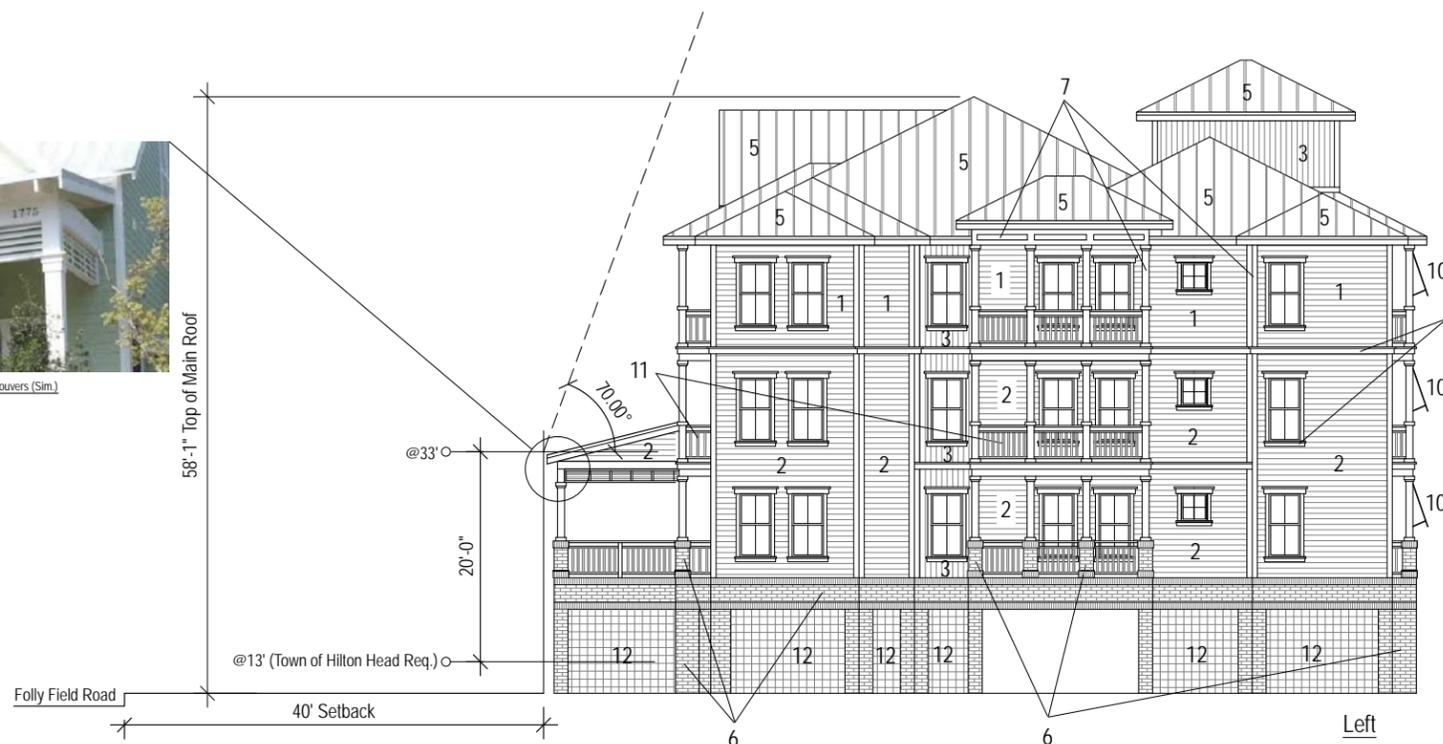
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Overhead Louvers (Sim.)

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1 Building 6- Front + Left Elevation
SCALE: 1/8" = 1'-0"



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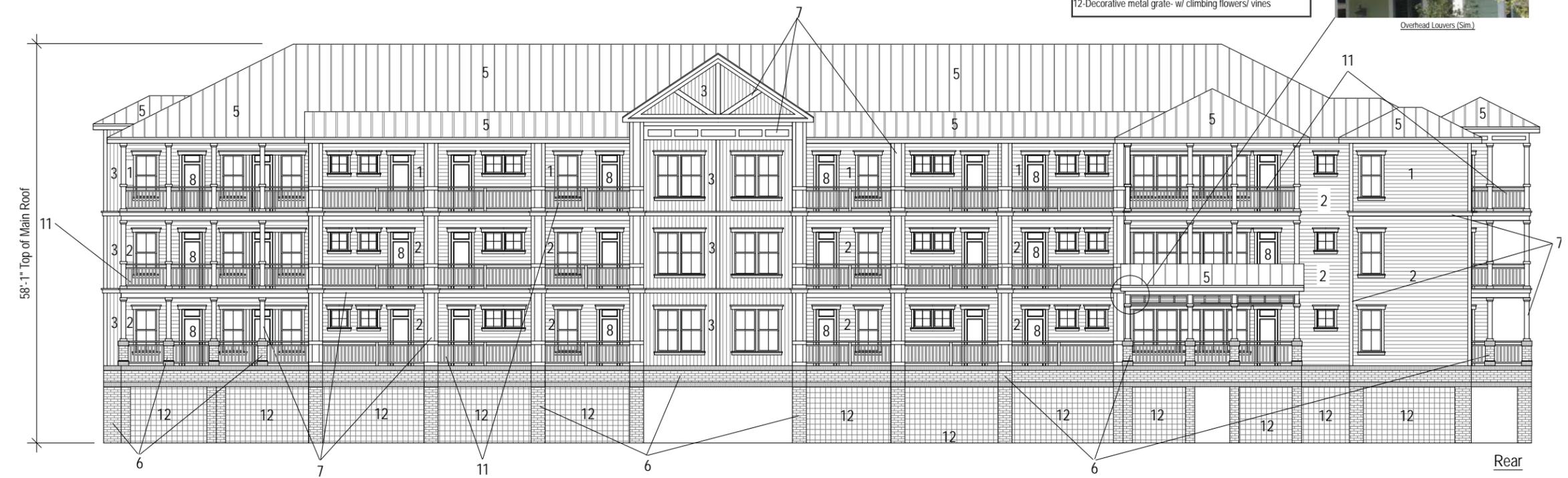
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1 Building 6- Rear Elevation
SCALE: 1/8" = 1'-0"

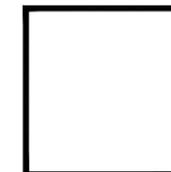
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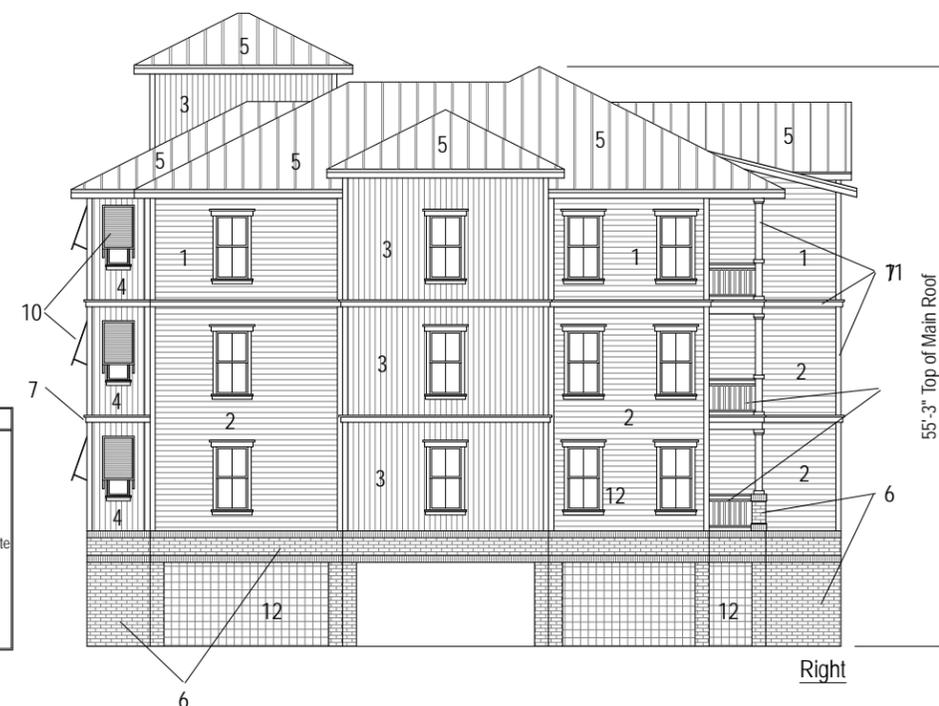
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Date	10/04/2021	
#	Issue History	Date

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- Color + Material legend**
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichia Vertical Siding- Vintage Wood Spruce
 - 4-Hardie Vertical Siding- Cobblestone
 - 5-Metal Roof- Aged Bronze
 - 6-Brick- (Palmetto Brick- Riviera)
 - 7-Trim, Columns, Panel- Sherwin Williams Westhighland White
 - 8-Glass Door/ Frame Color- Aged Bronze
 - 9-Solid Door Color- Mountain Sage
 - 10-Shutters- Zinc
 - 11-Railings- Aged Bronze
 - 12-Decorative metal grate- w/ climbing flowers/ vines



1 Building 6- Right Elevation + Character Rendering
SCALE: 1/8" = 1'-0"



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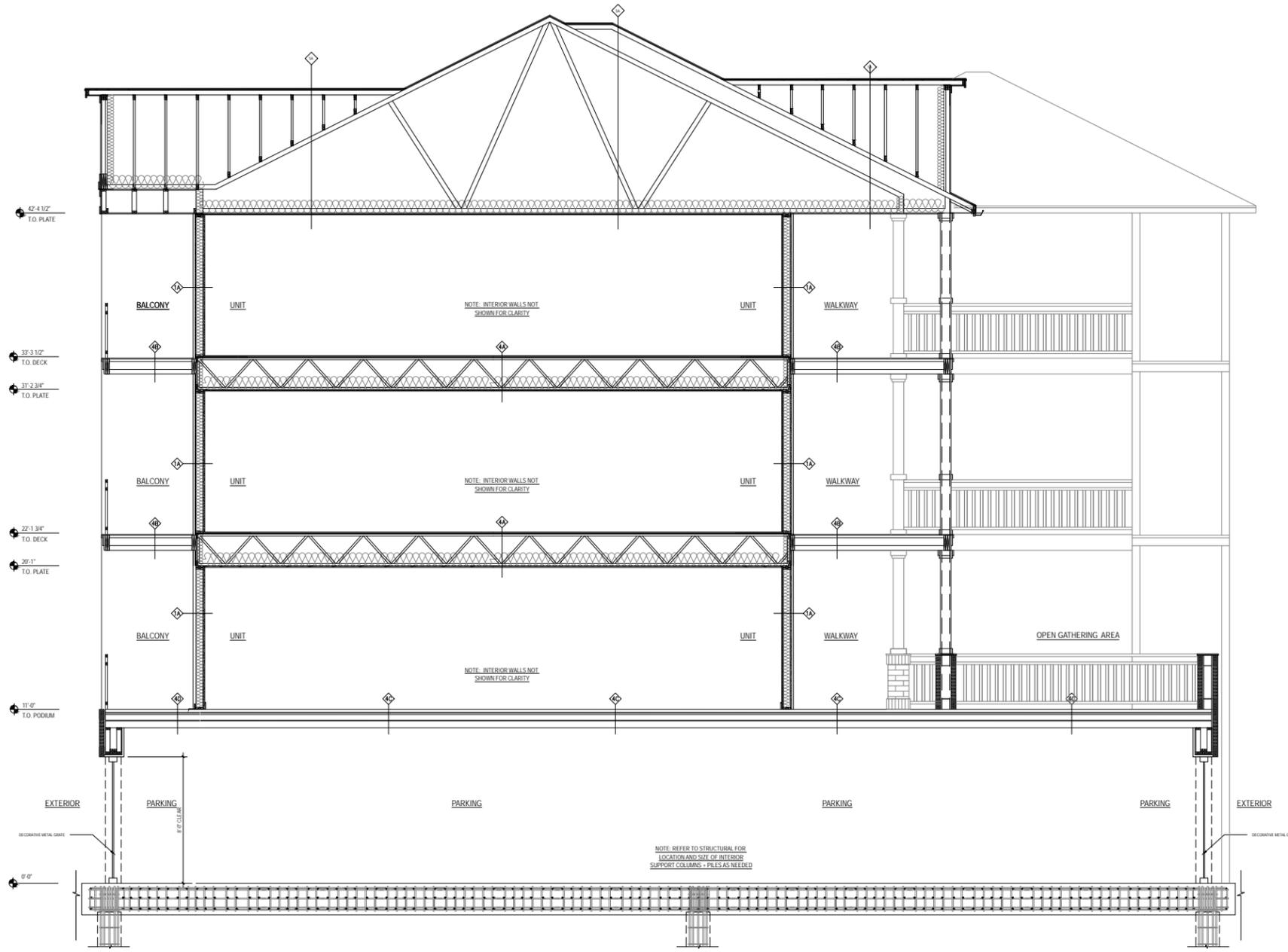
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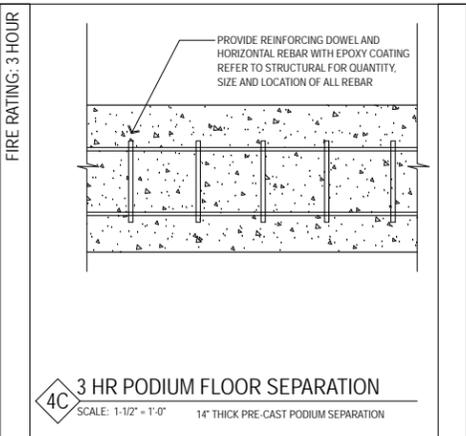
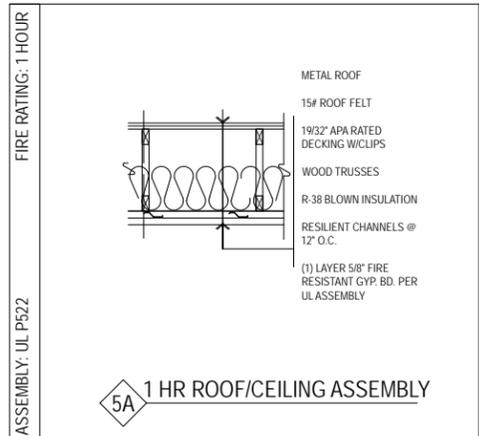


1 Building 6- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"

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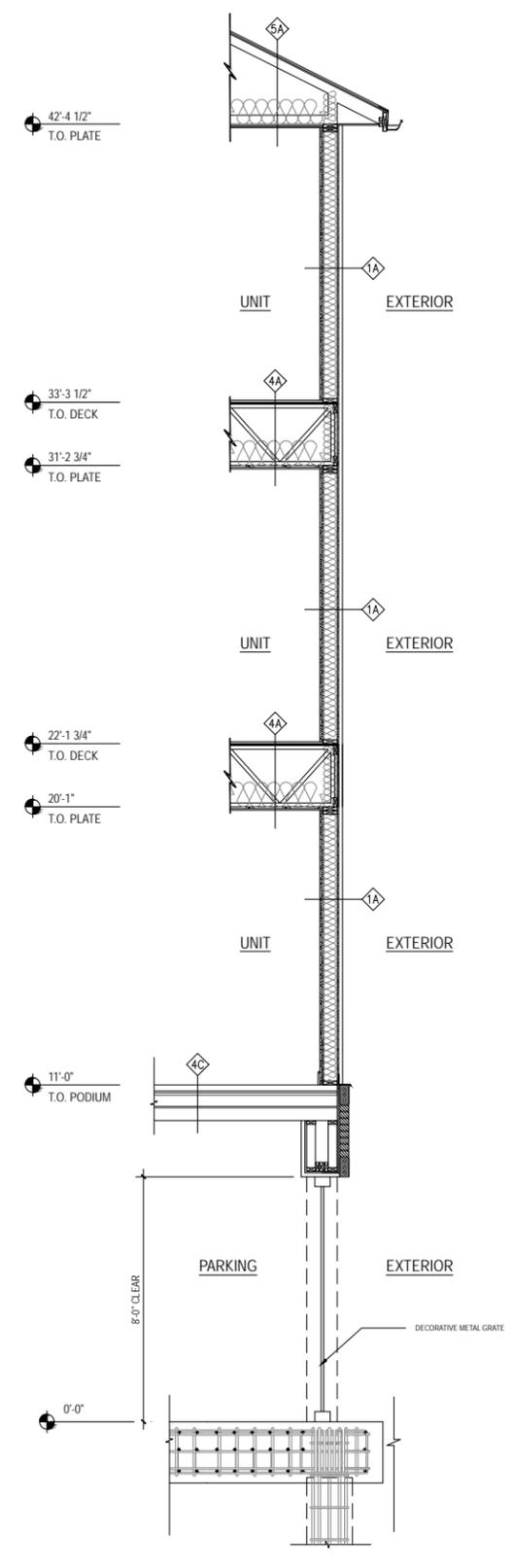
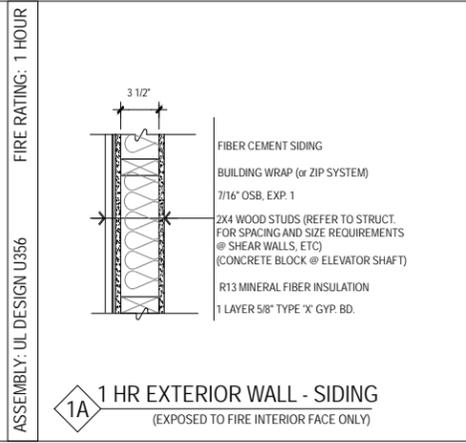
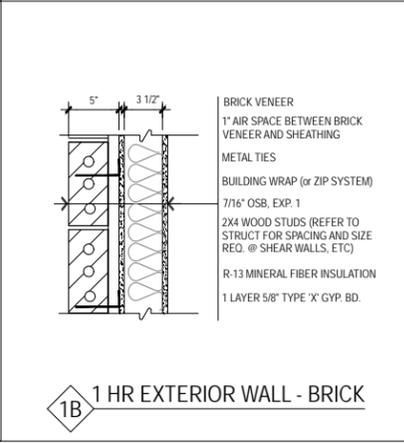
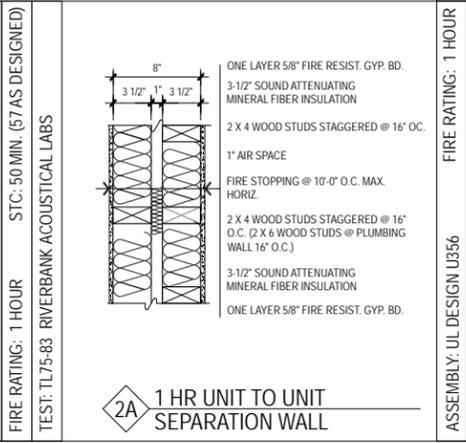
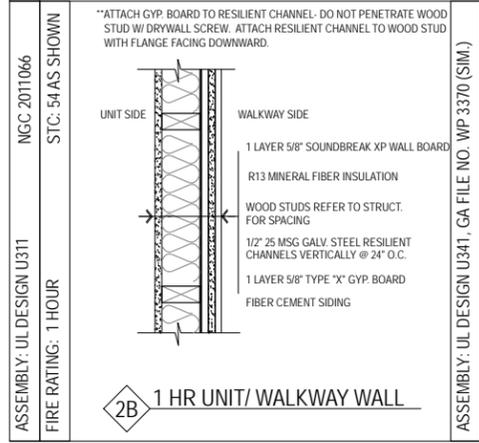
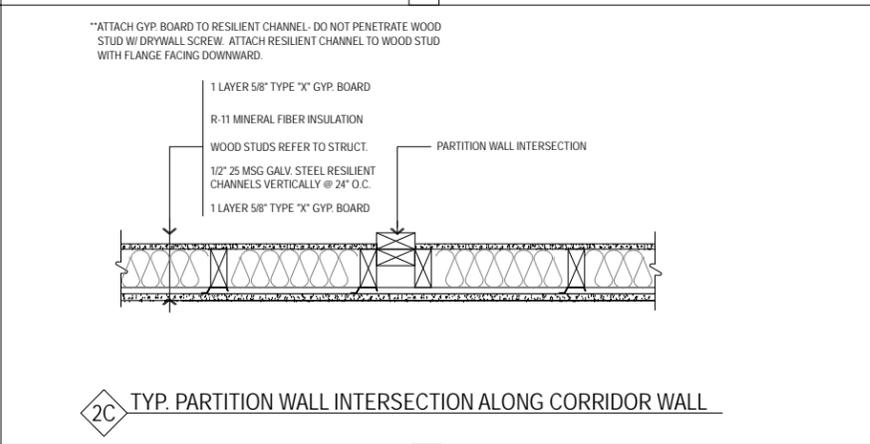
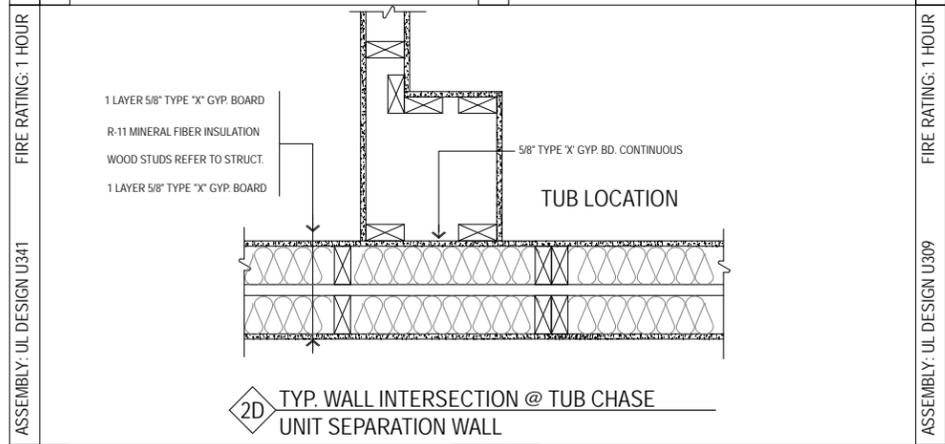
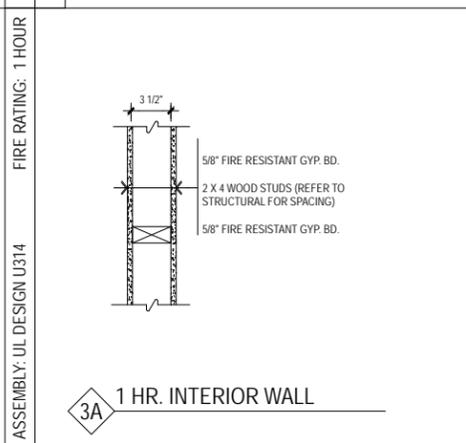
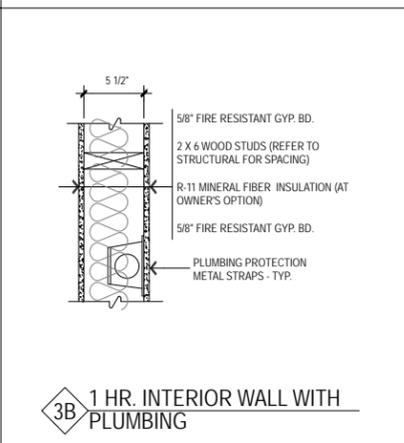
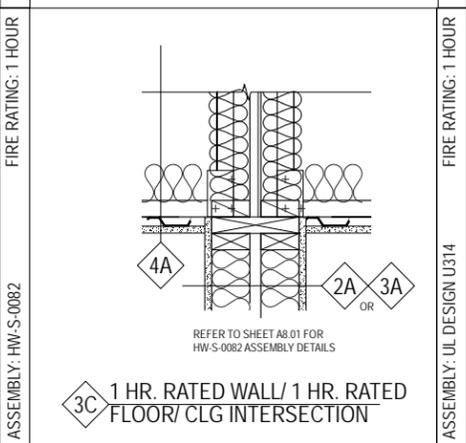
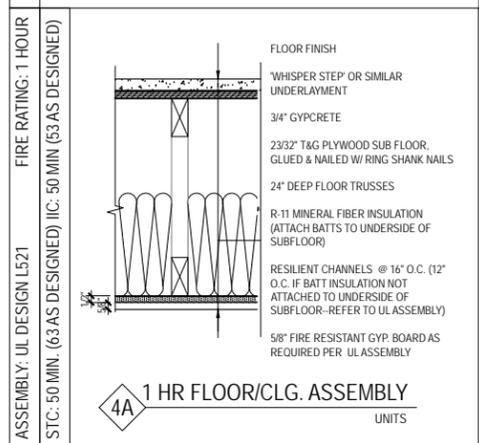
CONSTRUCTION TYPICAL WALL, FLOOR / CEILING AND ROOF / CEILING TYPES

* REFER TO UNDERWRITERS LABORATORY & GYPSUM ASSOCIATION FIRE RESISTANCE MANUAL FOR ADDITIONAL REQUIREMENTS INCLUDING NAILING PATTERNS, TAPE IN BEDDING, ETC.

FLOOR/ CEILING ASSEMBLIES AND WALL ASSEMBLIES THAT SERVE AS SEPARATION BETWEEN UNITS ARE DESIGNED TO MEET A MINIMUM STC AND IIC RATING OF 50 AS ESTABLISHED BY THE INTERNATIONAL BUILDING CODE (2018 EDITION). PARTY WALLS SEPARATING UNITS ARE DESIGNED TO MEET A MINIMUM STC OF 54 PER THE SOUTH CAROLINA STATE HOUSING FINANCE AND DEVELOPMENT AUTHORITY EXHIBIT G. THE DEFINITIONS OF STC AND IIC ARE LISTED BELOW. IN ADDITION, WALLS SEPARATING UNIT/ CORRIDOR SPACE AND UNIT/ STAIR SPACE ARE ALSO REQUIRED TO MEET THE MINIMUM STC AS DESIGNED. REFER TO WALL/ FLOOR ASSEMBLIES FOR ADDITIONAL INFORMATION.

SOUND TRANSMISSION CLASS (STC): A SINGLE NUMBER RATING FOR EVALUATING EFFICIENCY OF CONSTRUCTION IN ISOLATING AIRBORNE SOUND TRANSMISSION. THE HIGHER THE STC RATING THE MORE EFFICIENT THE ASSEMBLY. STC MEASURES THE ABILITY OF A WALL OR FLOOR ASSEMBLY TO ISOLATE AIRBORNE SOUND AND PREVENT IT FROM PASSING FROM ONE SIDE OF THE WALL TO THE OTHER. THE MINIMUM REQUIRED BY THE INTERNATIONAL BUILDING CODE IS 50 STC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED ASSEMBLIES MEET THE MINIMUM STC REQUIREMENTS.

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2 Building 6- Typical Wall and Floor/ Ceiling Assemblies
SCALE: 1 1/2" = 1'-0"

1 Building 6- Typical Wall Section at Exterior Wall
SCALE: 3/8" = 1'-0"



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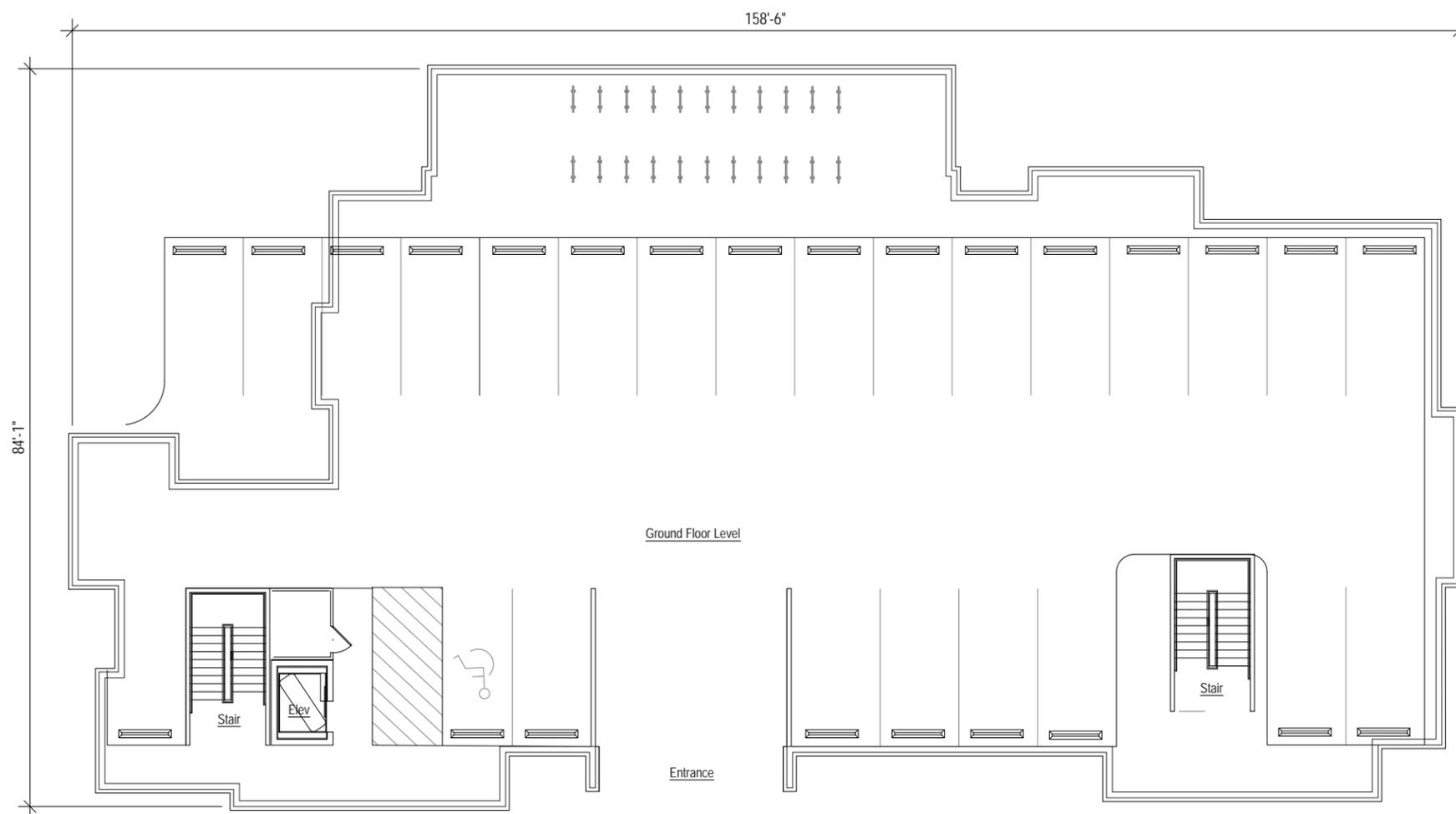
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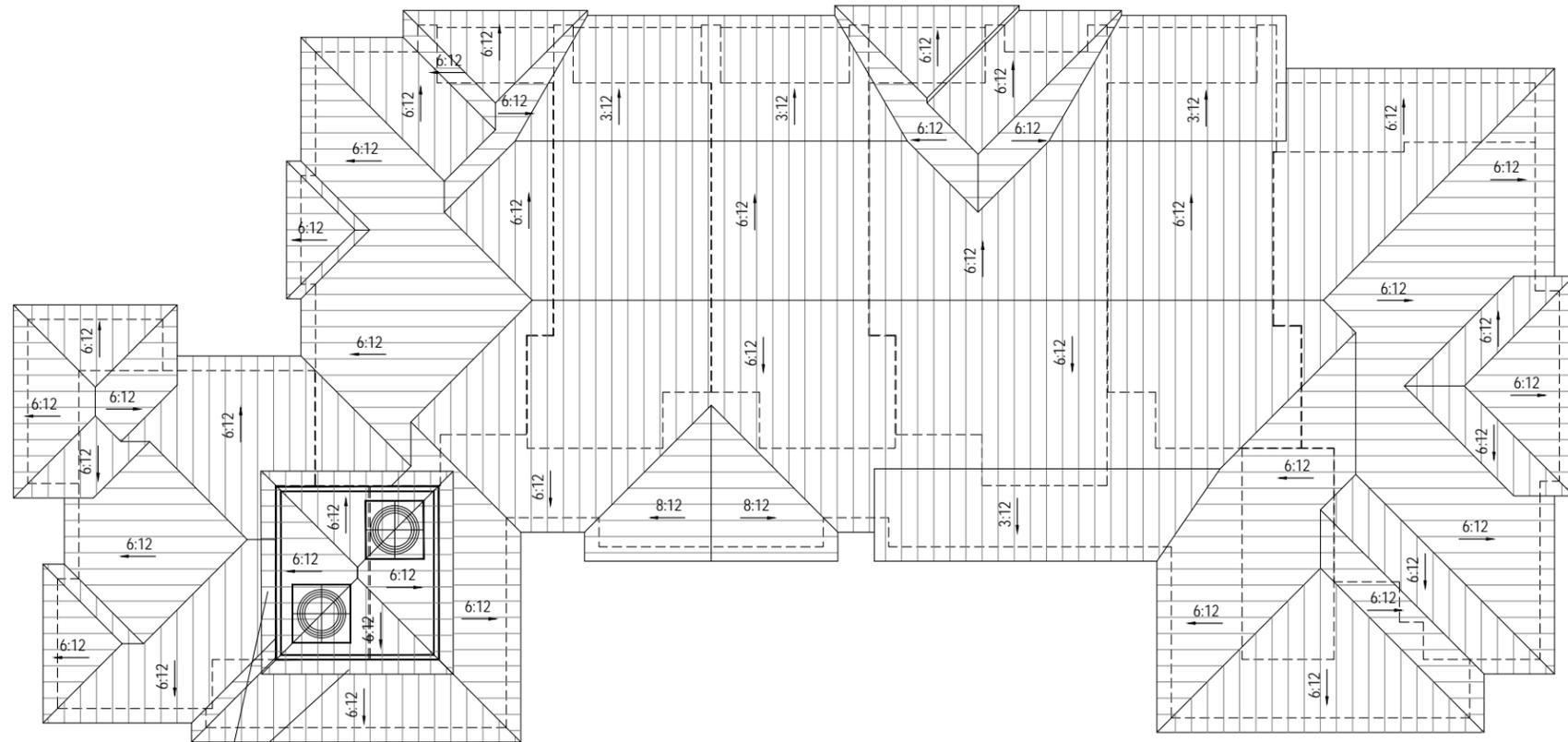


1 Building 7- Ground Floor Plan
SCALE: 1/8" = 1'-0"

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NOTE: NICHHA FIBER CEMENT BOARDS STAGGERED IN THIS LOCATION ON ALL FOUR SIDES OF TOWER TO ALLOW FOR HVAC VENTILATION REQUIREMENTS. ACCESS TO EQUIPMENT IS THROUGH STAIR TOWER.

1 Building 7- Roof Plan
SCALE: 1/8" = 1'-0"



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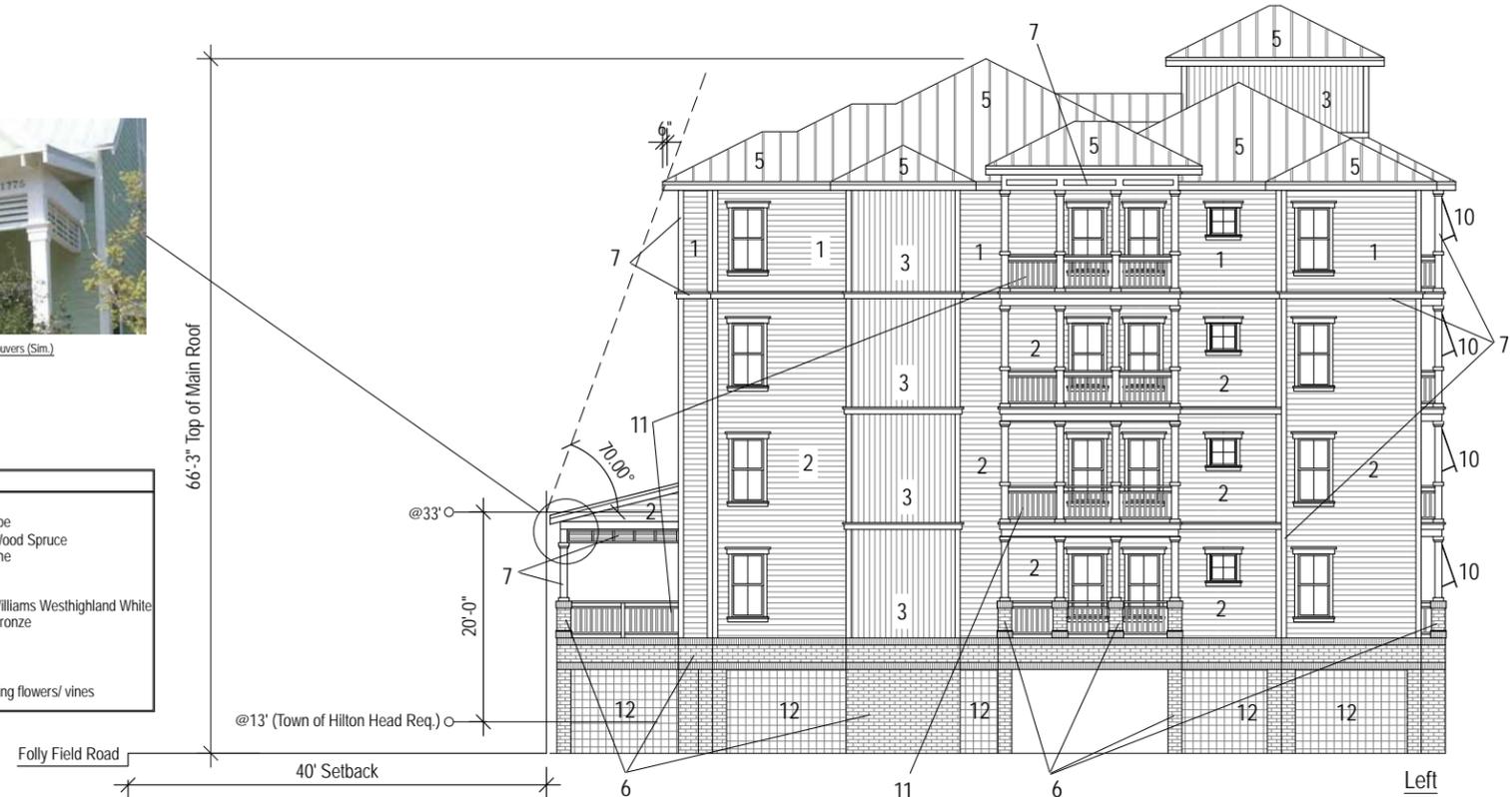
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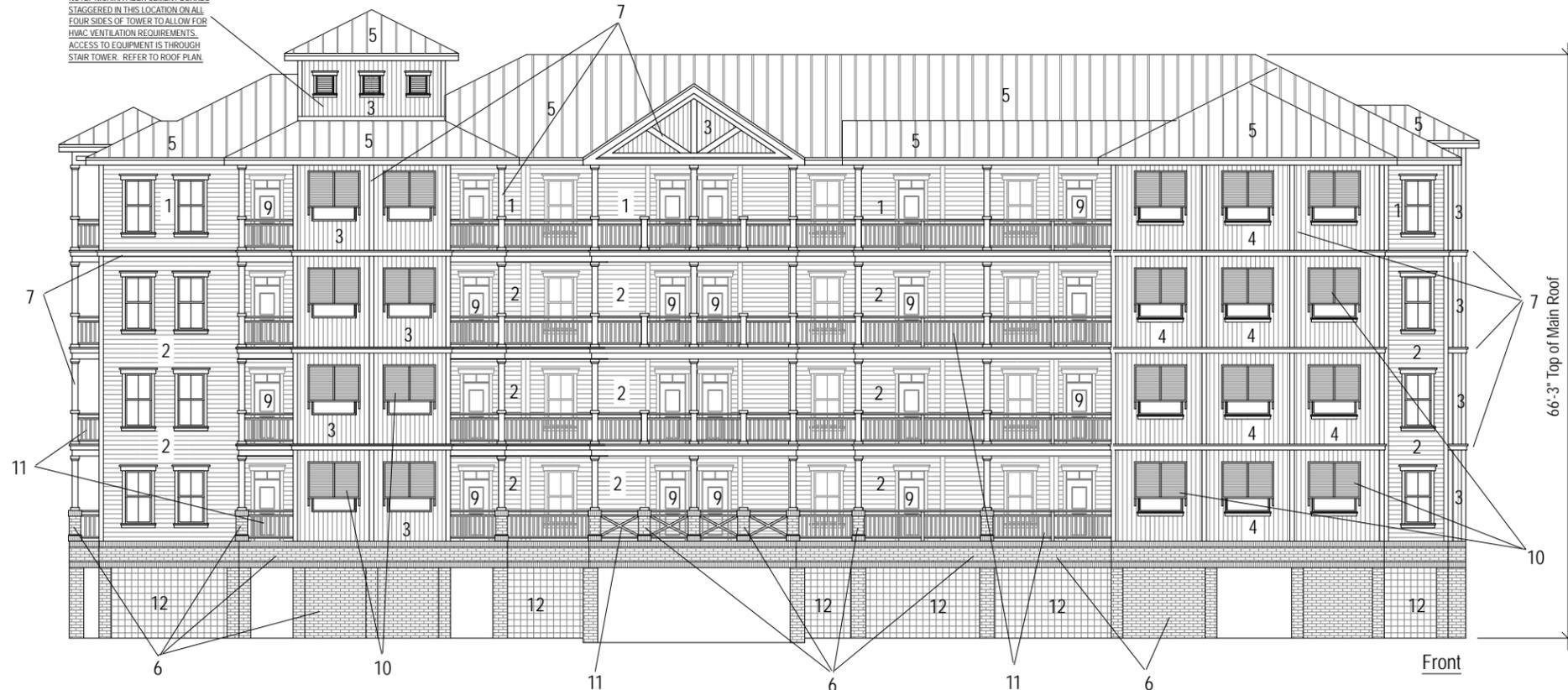


Overhead Louvers (Sim.)

- Color + Material legend**
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichiha Vertical Siding- Vintage Wood Spruce
 - 4-Hardie Vertical Siding- Cobblestone
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 - 6-Brick (Palmetto Brick- Riviera)
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 - 8-Glass Door/ Frame Color- Aged Bronze
 - 9-Solid Door Color- Mountain Sage
 - 10-Shutters- Zinc
 - 11-Railings- Aged Bronze
 - 12-Decorative metal grate- w/ climbing flowers/ vines



NOTE: NICHHA FIBER CEMENT BOARDS STAGGERED IN THIS LOCATION ON ALL FOUR SIDES OF TOWER TO ALLOW FOR HVAC VENTILATION REQUIREMENTS. ACCESS TO EQUIPMENT IS THROUGH STAIR TOWER. REFER TO ROOF PLAN.



1 Building 7- Front + Left Elevation
SCALE: 1/8" = 1'-0"



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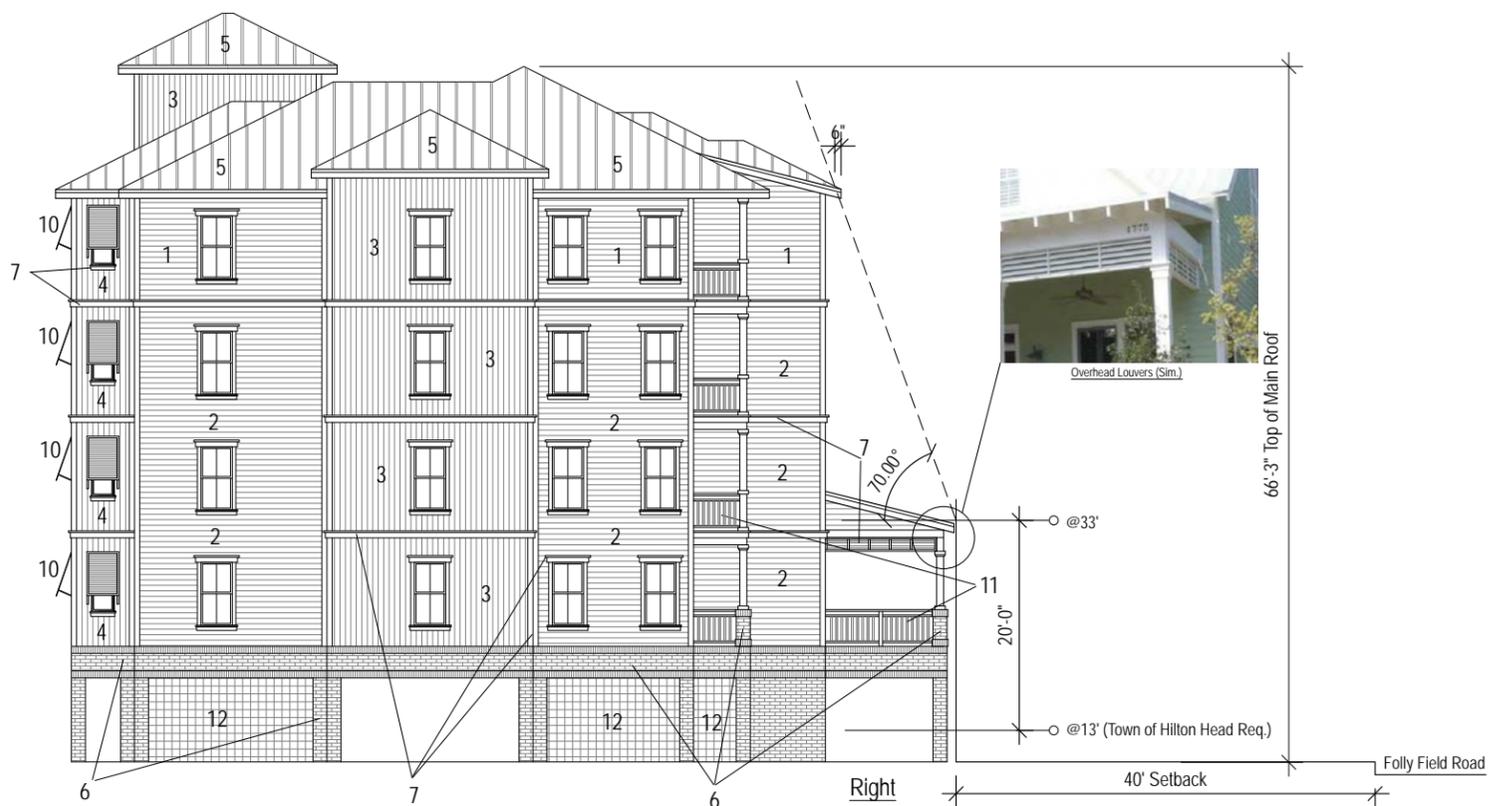
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Color + Material legend	
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10	Shutters- Zinc
11	Railings- Aged Bronze
12	Decorative metal grate- w/ climbing flowers/ vines

1 Building 7- Rear + Right Elevation
SCALE: 1/8" = 1'-0"



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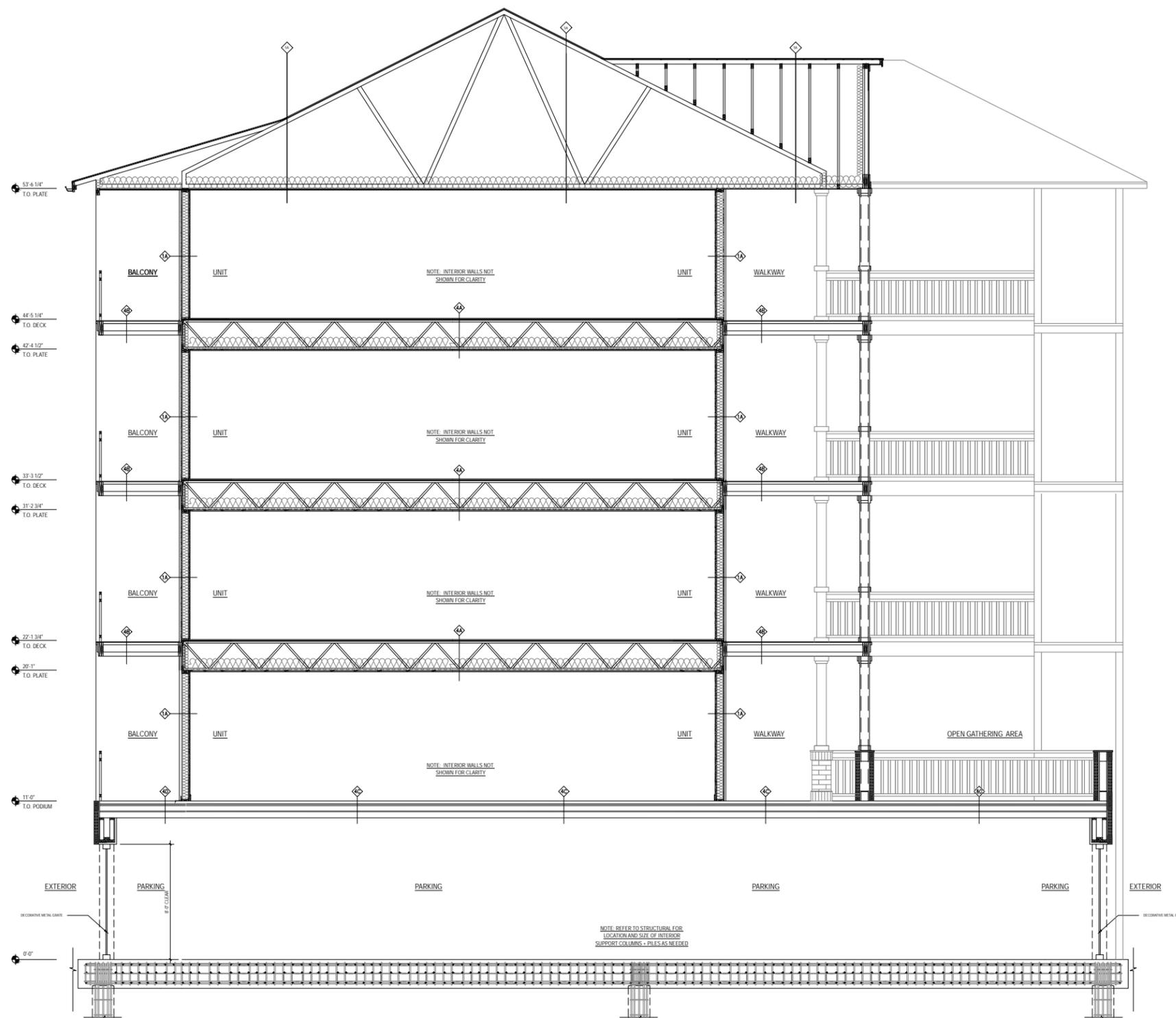
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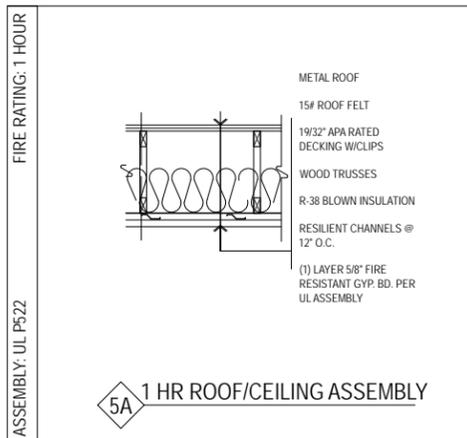
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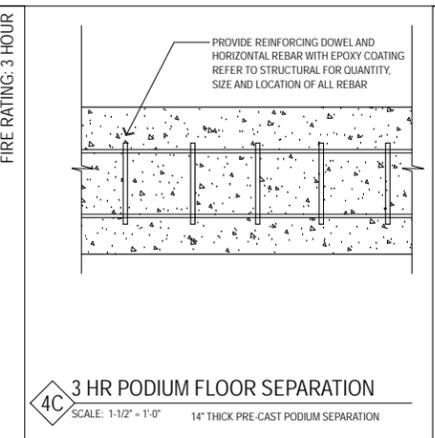
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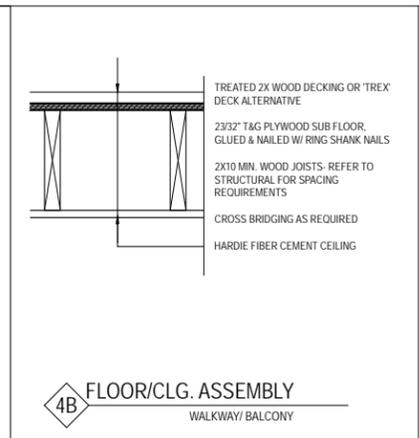
1 Building 7- Building Section (Front to Back)
SCALE: 1/4" = 1'-0"



5A 1 HR ROOF/CEILING ASSEMBLY



4C 3 HR PODIUM FLOOR SEPARATION
SCALE: 1-1/2" = 1'-0"



4B FLOOR/CLG. ASSEMBLY
WALKWAY/ BALCONY

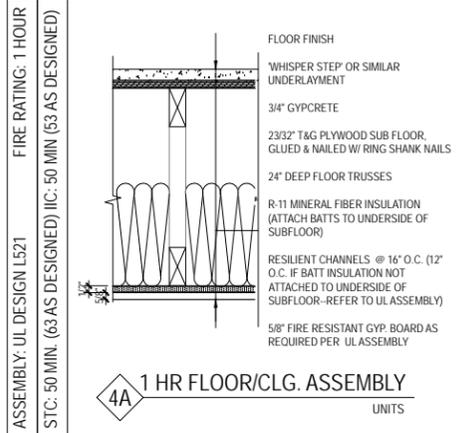
CONSTRUCTION TYPICAL WALL, FLOOR / CEILING AND ROOF / CEILING TYPES

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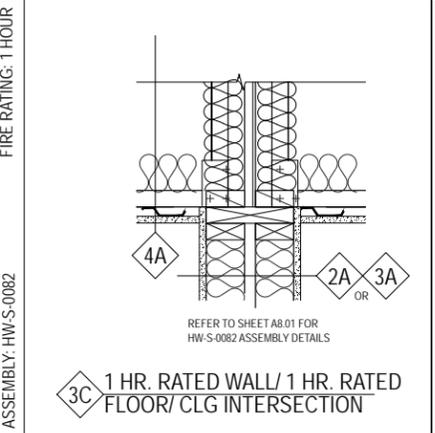
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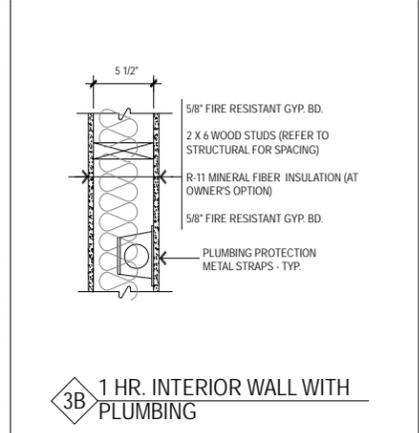
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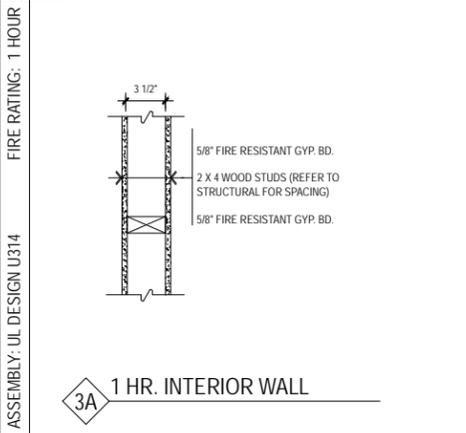
4A 1 HR FLOOR/CLG. ASSEMBLY UNITS



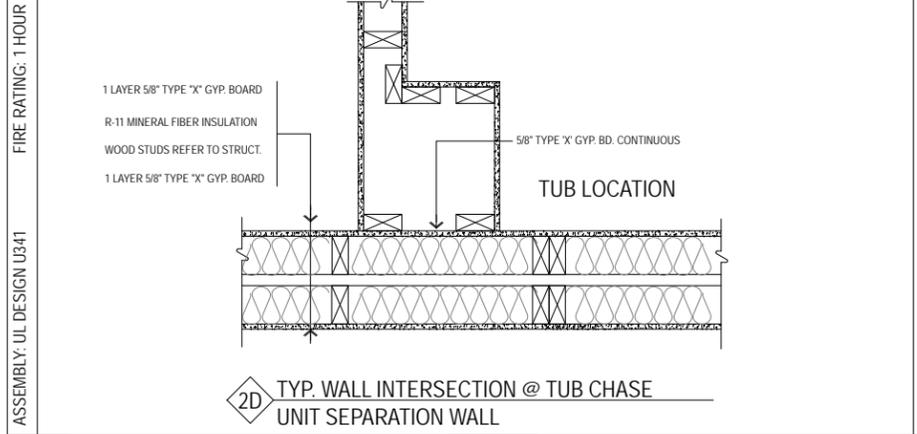
3C 1 HR. RATED WALL/ 1 HR. RATED FLOOR/ CLG INTERSECTION



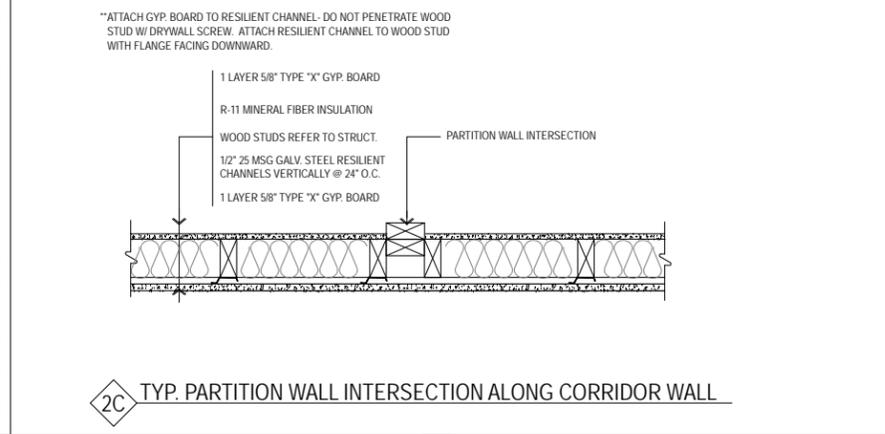
3B 1 HR. INTERIOR WALL WITH PLUMBING



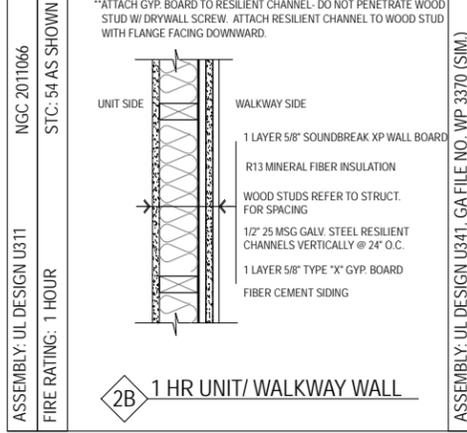
3A 1 HR. INTERIOR WALL



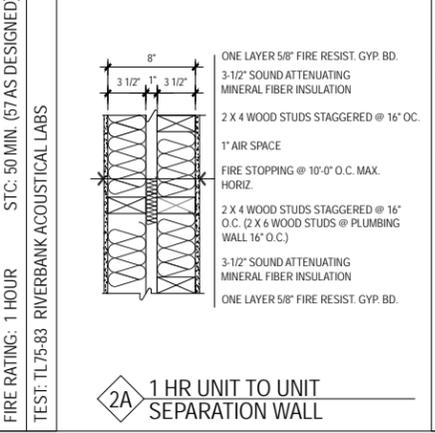
2D TYP. WALL INTERSECTION @ TUB CHASE UNIT SEPARATION WALL



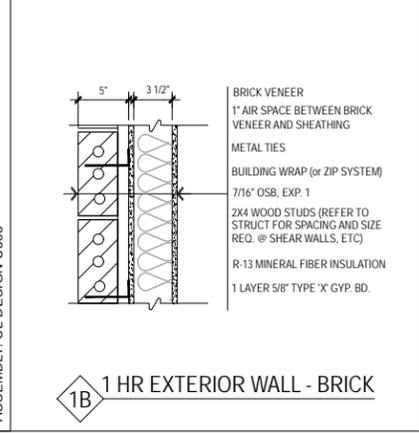
2C TYP. PARTITION WALL INTERSECTION ALONG CORRIDOR WALL



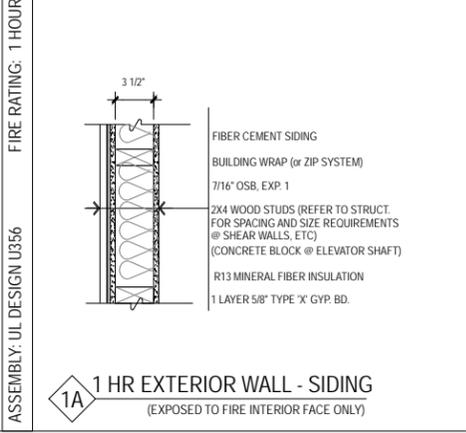
2B 1 HR UNIT/ WALKWAY WALL



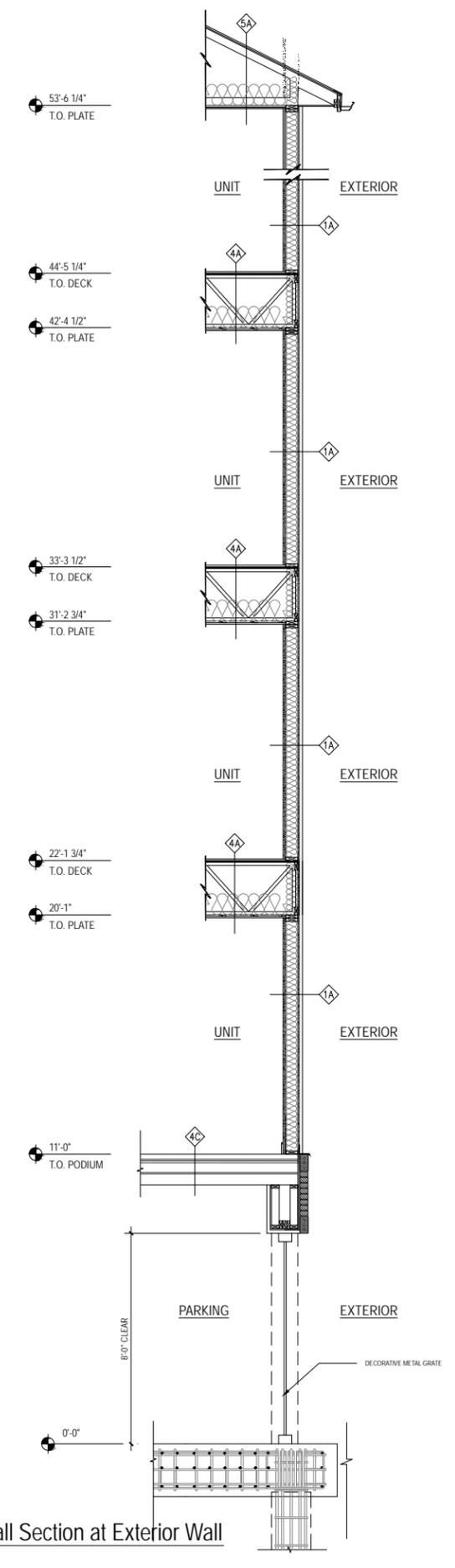
2A 1 HR UNIT TO UNIT SEPARATION WALL



1B 1 HR EXTERIOR WALL - BRICK



1A 1 HR EXTERIOR WALL - SIDING (EXPOSED TO FIRE INTERIOR FACE ONLY)



1 Building 7- Typical Wall Section at Exterior Wall
SCALE: 1/4" = 1'-0"

2 Building 7- Typical Wall and Floor/ Ceiling Assemblies
SCALE: 1 1/2" = 1'-0"



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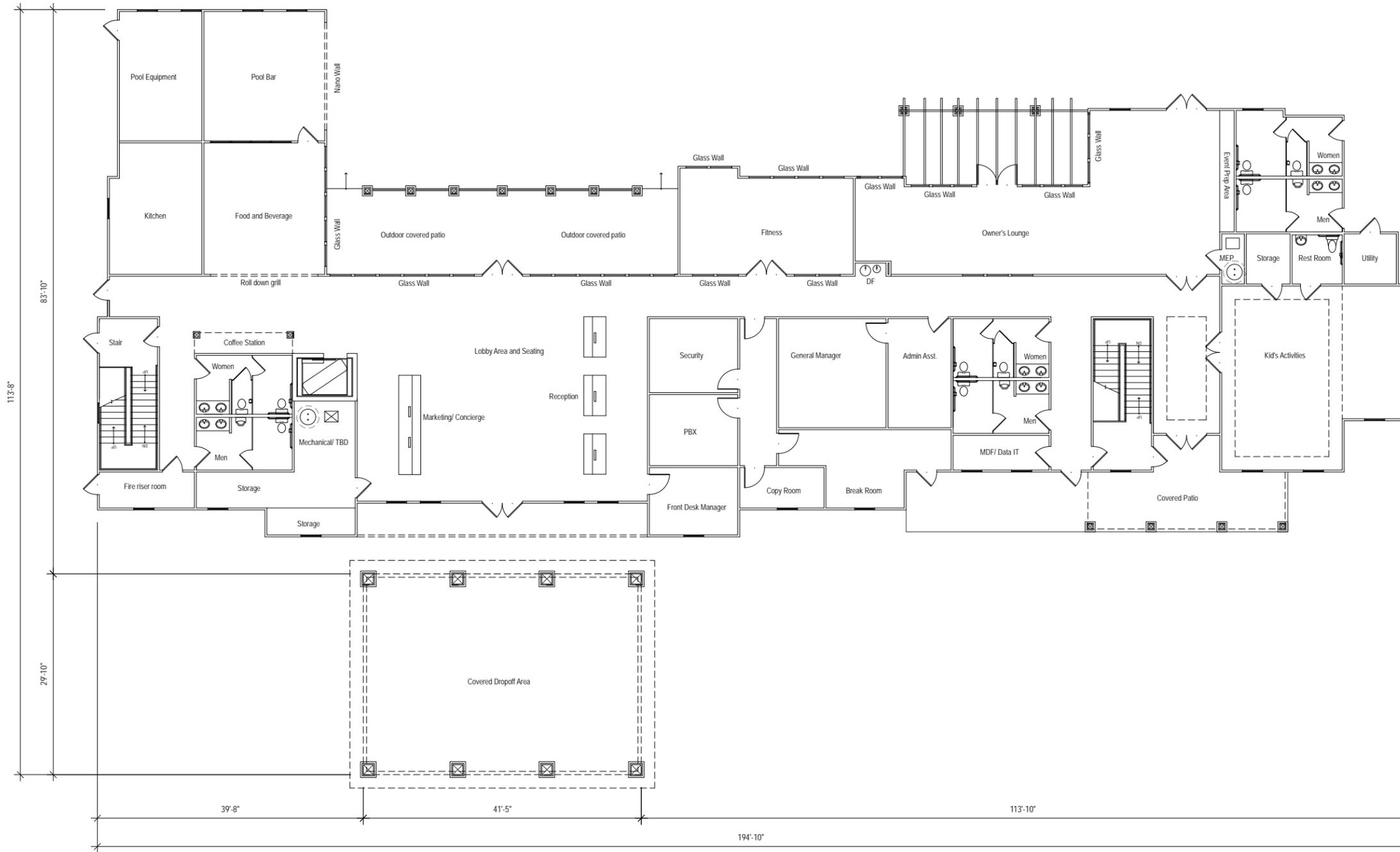
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1 Clubhouse Building Floor Plan- Main Level
SCALE: 1/8" = 1'-0"



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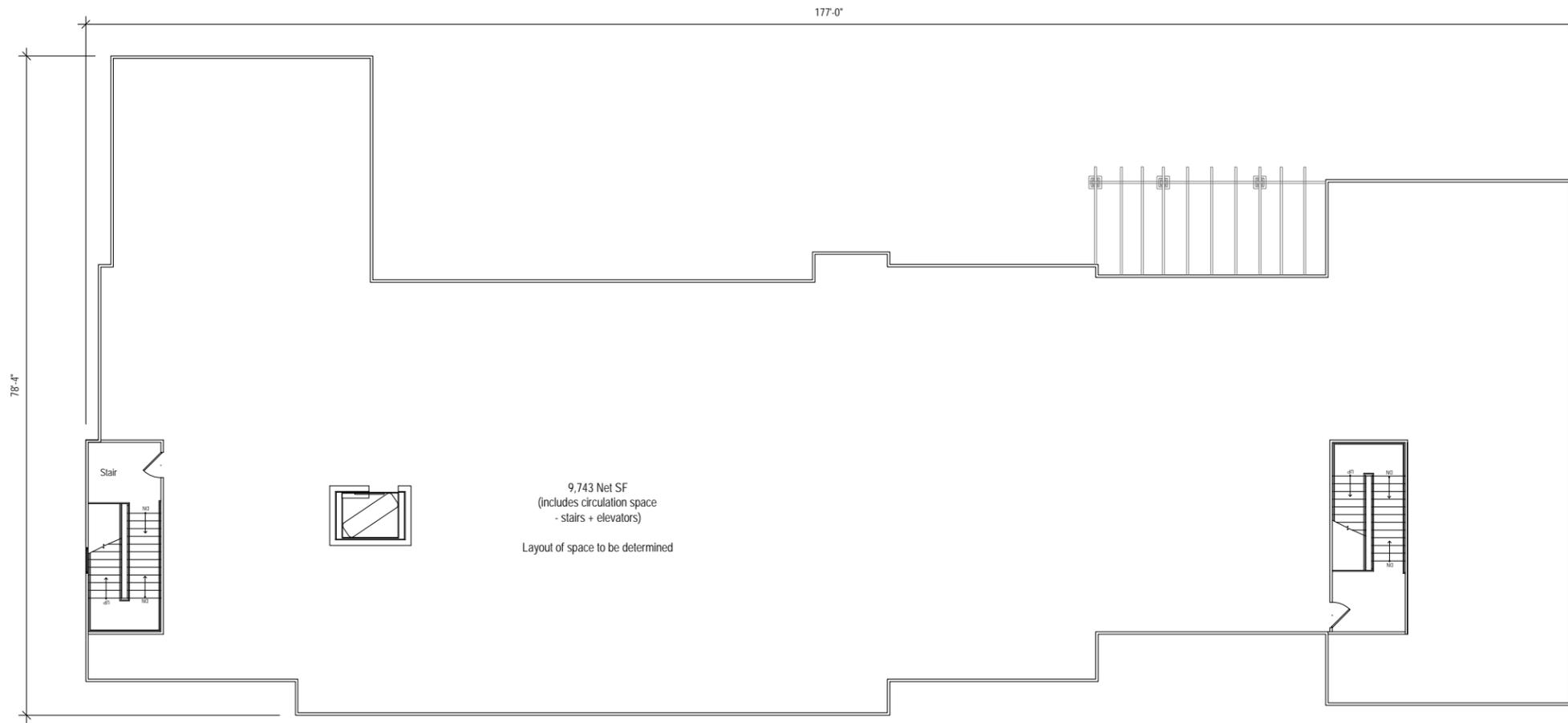
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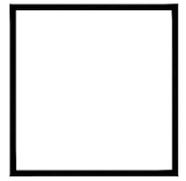
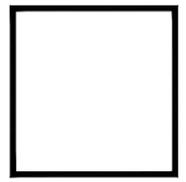
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1 Clubhouse Building Floor Plan- Upper Level
SCALE: 1/8" = 1'-0"



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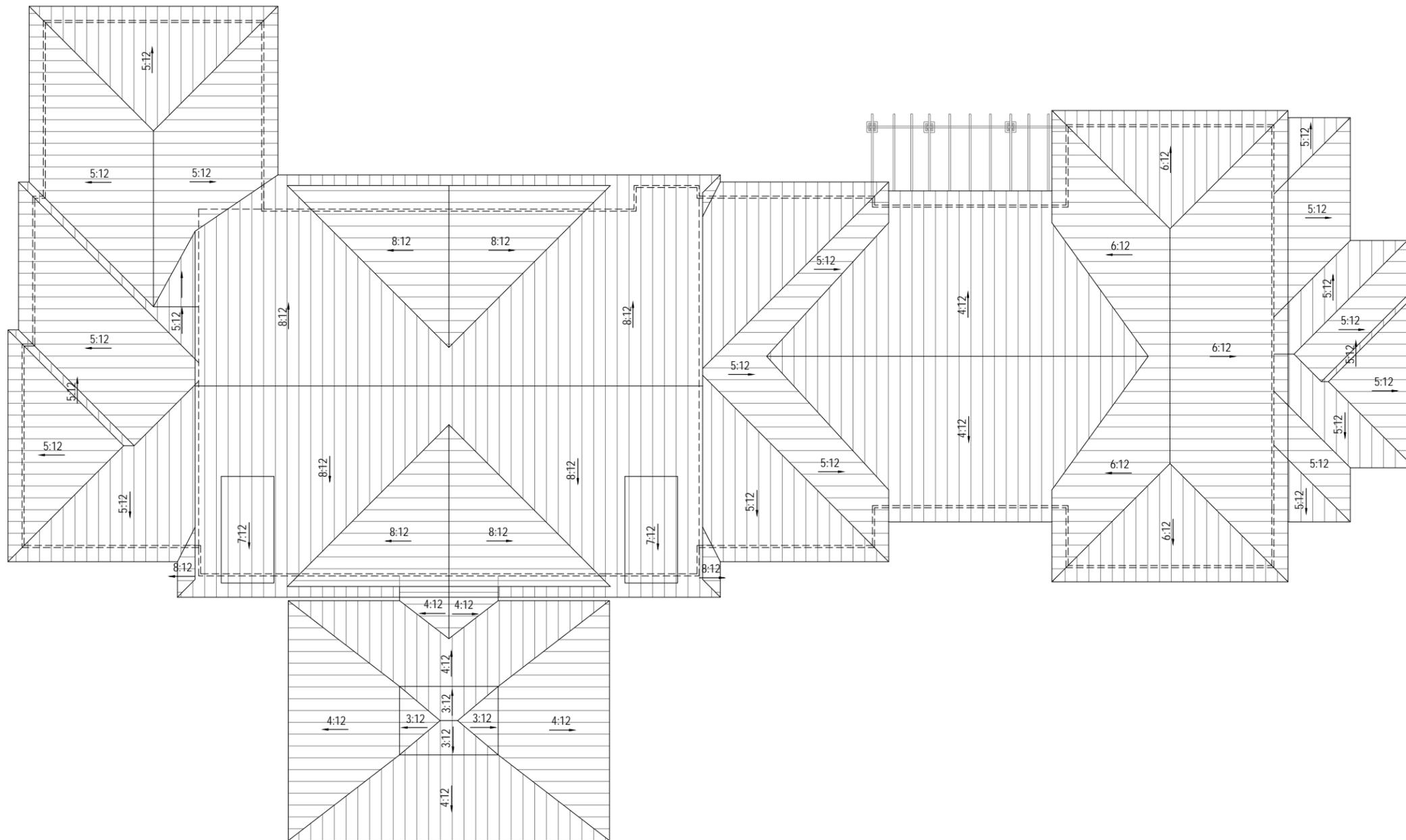
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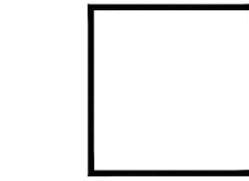
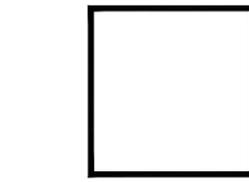
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1 Clubhouse Roof Plan
SCALE: 1/8" = 1'-0"



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15 Wimbledon
Resort Community
Town of Hilton Head, South Carolina

DRB Application Submission 10/04/2021

Drawn By	PDS	
Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

Project Number
21501
Sheet
CH-3



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#	Issue History	Date

Project Number
21501
Sheet
CH-4



- Color + Material legend
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichiha Vertical Siding- Vintage Wood Spruce
 - 4-Metal Roof- Aged Bronze
 - 5-Brick- (Palmetto Brick- Riviera)
 - 6-All trim and columns- Sherwin Williams Westhighland White
 - 7-French/ Glass Door Color- Match Vintage Wood Spruce
 - 8-Shutters- Zinc
 - 9-Railings- Aged Bronze



1 Clubhouse Front Elevation + Character Rendering
SCALE: 1/8" = 1'-0"



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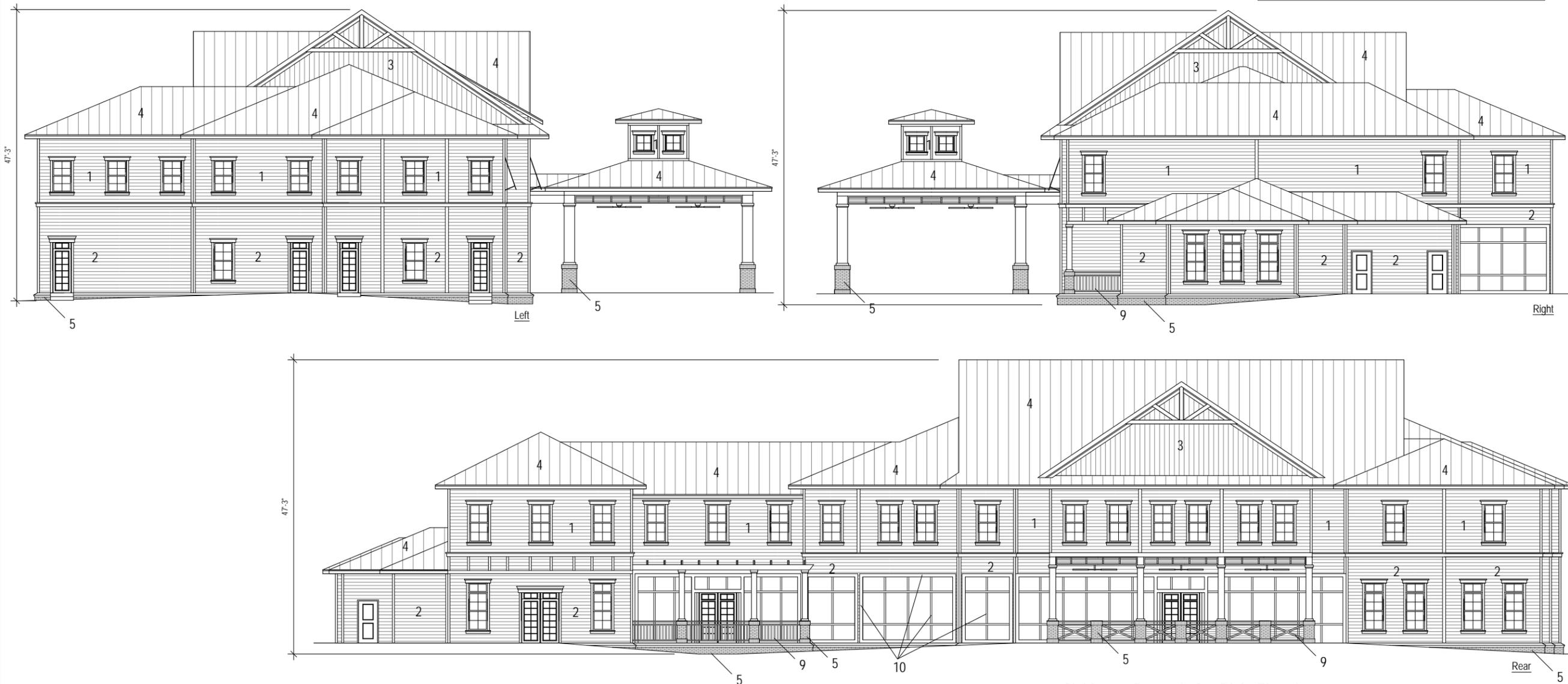
15 Wimbledon
Resort Community
Town of Hilton Head, South Carolina

DRB Application Submission 10/04/2021

Drawn By	PDS	
Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

Project Number
21501
Sheet
CH-5

- Color + Material legend**
- 1-Hardie Lap Siding- Cobblestone
 - 2-Hardie Lap Siding- Monterey Taupe
 - 3-Nichiha Vertical Siding- Vintage Wood Spruce
 - 4-Metal Roof- Aged Bronze
 - 5-Brick- (Palmetto Brick- Riviera)
 - 6-All trim and columns- Sherwin Williams Westhighland White
 - 7-French/ Glass Door Color- Match Vintage Wood Spruce
 - 8-Shutters- Zinc
 - 9-Railings- Aged Bronze
 - 10- Window wall frame - Aged Bronze



1 Clubhouse Rear + Left + Right Elevations
SCALE: 1/8" = 1'-0"



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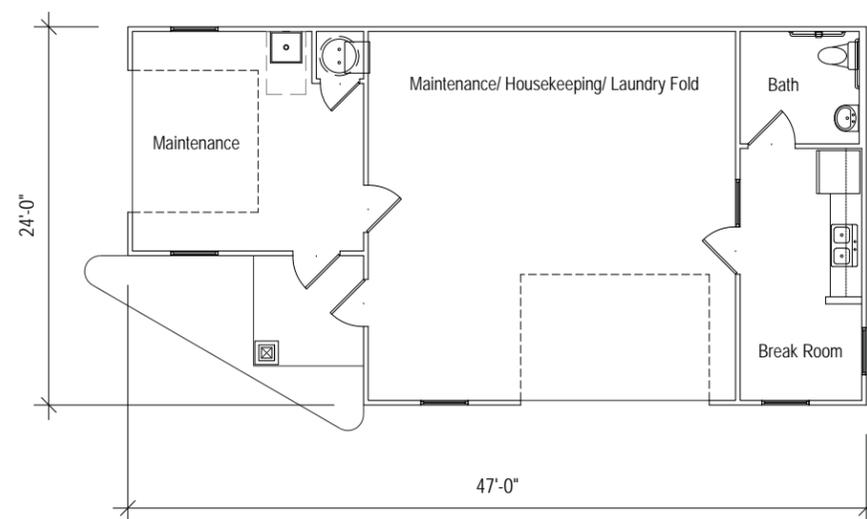
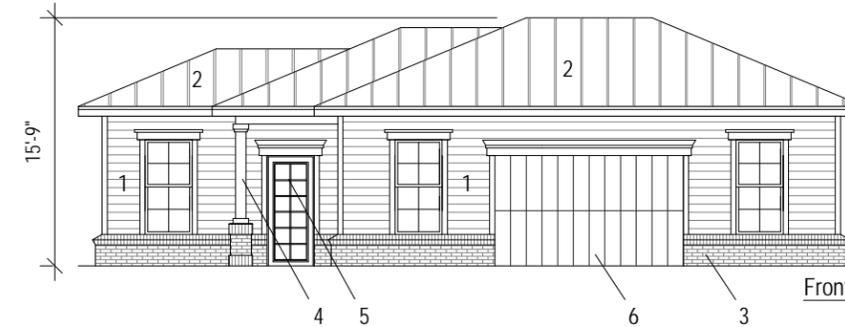
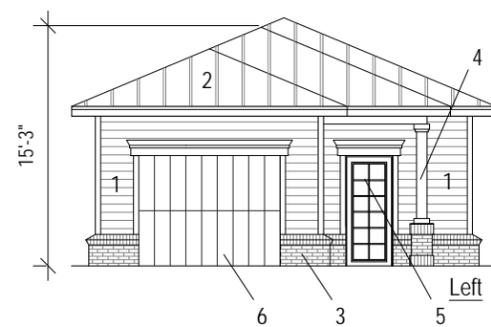
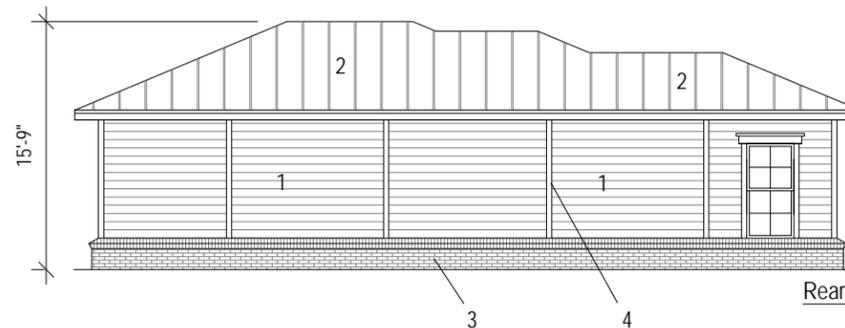
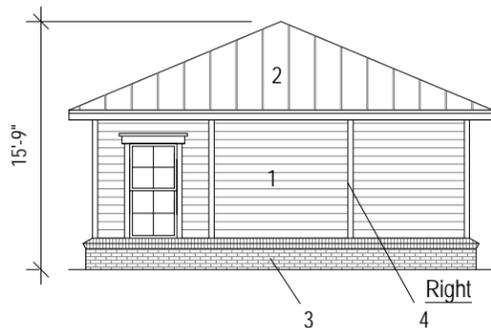
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Town of Hilton Head, South Carolina

DRB Application Submission 10/04/2021

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Checked By	PDS	
Date	10/04/2021	
#	Issue History	Date

Project Number
21501
Sheet
M-1

Color + Material legend	
1	Hardie Lap Siding- Cobblestone
2	Metal Roof- Aged Bronze
3	Brick- (Palmetto Brick- Riviera)
4	All trim and columns- Sherwin Williams Westhighland White
5	French/ Glass Door Color- Match Vintage Wood Spruce
6	Garage Door Color- Match Vintage Wood Spruce



1 Maintenance Building
SCALE: 3/16" = 1'-0"



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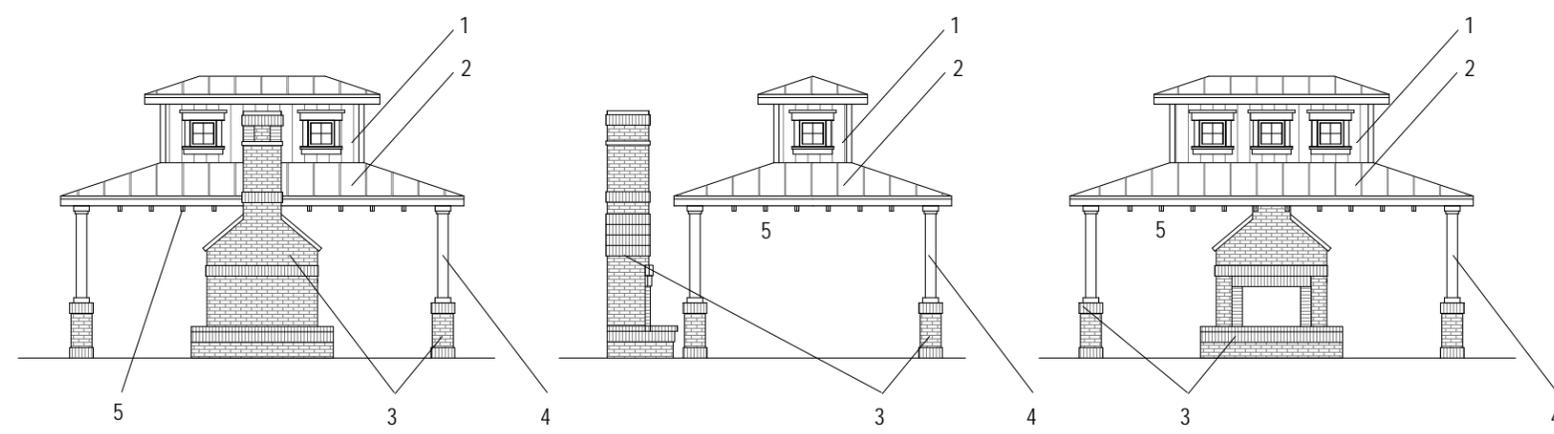
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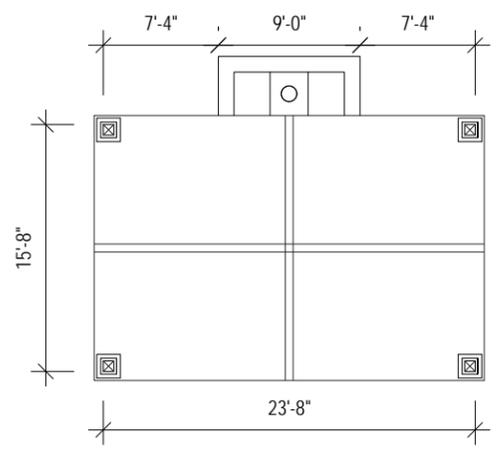


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Town of Hilton Head, South Carolina



Color + Material legend
1-Nichiha Vertical Siding- Vintage Wood Spruce
2-Metal Roof- Aged Bronze
3-Brick- (Palmetto Brick- Riviera)
4-All trim and columns- Sherwin Williams Westhighland White
5-Rafter Tails- Sherwin Williams Westhighland White



1 Picnic Shelter
SCALE: 3/16" = 1'-0"

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Date	10/04/2021	
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Project Number
21501
Sheet
P-1



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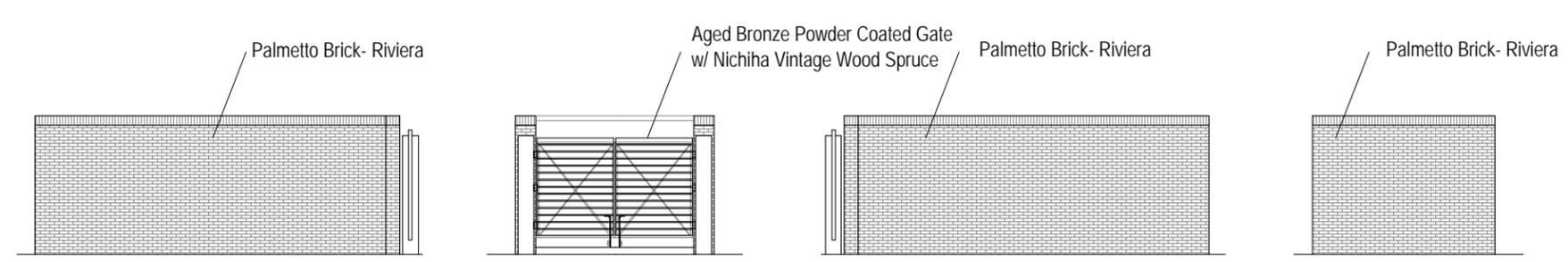
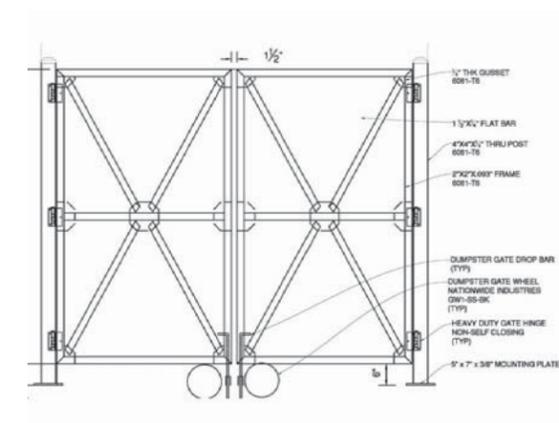
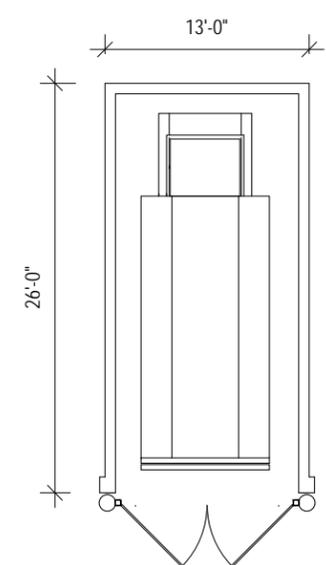
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Date	10/04/2021	
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Project Number	21501
Sheet	T-1



1 Trash Enclosure
SCALE: 3/16" = 1'-0"

FIFTEEN WIMBLEDON

Hilton Head, SC

MATERIALS & SITE FURNISHINGS

(SEE PLANS FOR SPECIFIC LOCATIONS)

DRB FINAL SUBMITTAL - SEPTEMBER 28, 2021

1.0 PAVING



1.1: ASPHALT

- Final Section per Geotechnical Report (repaving of access road to Lyons to match existing)



1.2: MOTOR COURT PAVING

- 6" Depth Minimum Reinforced Concrete with Oyster Shell #3 & #4
- Brick Banding to Match 1.4



1.3: VEHICULAR PAVING

- Pine Hall Brick [8" x 4" x 2-1/4"]
- Color: 50% Cocoa/ 50% Bluff
- Rumbled Finish,
- Laid in 45 Degree Herringbone with Soldier Border
- Set on Concrete Setting Bed per manufacturer's recommendations

1.0 PAVING - CONTINUED



1.4: PEDESTRIAN PAVERS

- Pine Hall Brick [8" x 4" x 2-1-4"]
- Color: 50% Cocoa/ 50% Bluff
- Rumbled Finish
- Laid in Running Bond with Soldier Course
- Set on GAB Base



1.5: CONCRETE WALKWAYS

- Light Broom Finish Concrete
- Sawcut Score Joints



1.6: GRANITE FINES

- 50% Unwashed Granite Fines & 50% #789 Granite
- Concrete Curb



1.7: SUNDEK POOL DECKING

- Non-slip pool decking
- Color: Kahlua
- Concrete Coping



1.0 PAVING - CONTINUED



1.8 & 1.9: PORCELAIN PAVERS

- 12" X 24" Old World Tabby Porcelain Paver
- Color: Oyster White



1.10: GRASSPAVE

- For Fire / Emergency Access Only, Final Section Based on Geotechnical Recommendations



1.11: COMPOSITE WOOD DECKING

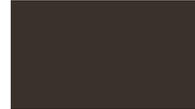
- Composite Wood Decking
- Color : Rocky Harbor

4.0 SITE FURNISHINGS



4.1 BIKE RACK Dero - Arc

- In-Ground Mount Embedded into Concrete Base
- Galvanized Finish
- Powdercoat: Stormcloud (Aged Bronze)

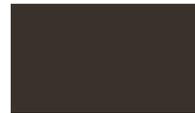


Stormcloud



4.2 BENCHES Landscapeforms - Scarborough

- 72" Backed, with Horizontal Strap Seat
- Surface Mount
- Powdercoat: Stormcloud (Aged Bronze)



Stormcloud



4.3: TRASH RECEPTACLE Landscapeforms - Scarborough

- Surface Mount
- Powdercoat: Stormcloud (Aged Bronze)



Stormcloud

8.0 MISCELLANEOUS



8.1 CHILDREN'S PLAYGROUND Miracle Recreation Playground Final Design by Churchich

- (Unit 704-S073J) & Ten Spin (Unit 304W)
- Earth Tone Color Package (Beige, Sand, Forest Green, & Green)

CONCEPTUAL IMAGE - FINAL PRODUCT TBD BY OWNER



CONCEPTUAL IMAGE - FINAL PRODUCT TBD BY OWNER

END OF MATERIAL SCHEDULE

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction

TOP: Cast aluminum top housing attaches to cast aluminum mounting arm hub with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and contaminants. (See the mounting accessories section for a full selection of mounting arms. (Only these arms are compatible with the Epic luminaire). **MIDSECTION:** Continuous silicone gaskets seal lens to top casting and shade. The mid section features cast aluminum construction and stainless steel assembly. **SHADES:** Heavy gauge precision spun aluminum shades offer superior surface finish and consistency in form. **DOORFRAME:** Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Optics

Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from

injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 3000K CCT and 5000K CC. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard

with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ECM/EMM EPIC MEDIUM LED

1 - 4 LightBARs
Solid State LED

DECORATIVE AREA LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
DesignLights Consortium® Qualified*
IP66 LightBARs
LM79 / LM80 Compliant
2G Vibration Tested
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA

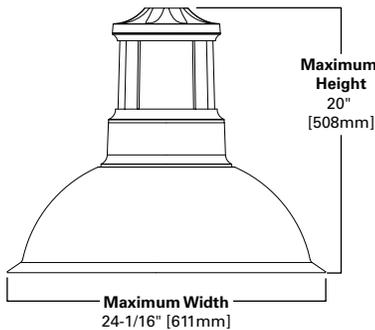
Effective Projected Area: (Sq. Ft.) 0.94

SHIPPING DATA

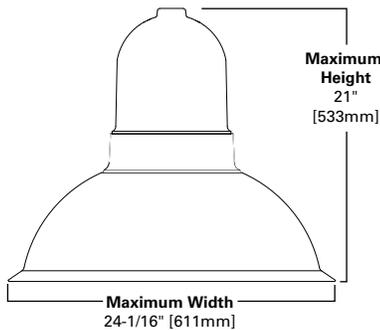
Approximate Net Weight:
45 lbs. [20 kgs.]

DIMENSIONS

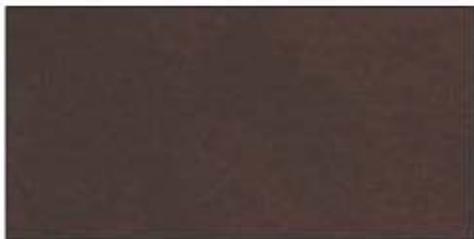
ECM Classical



EMM Modern

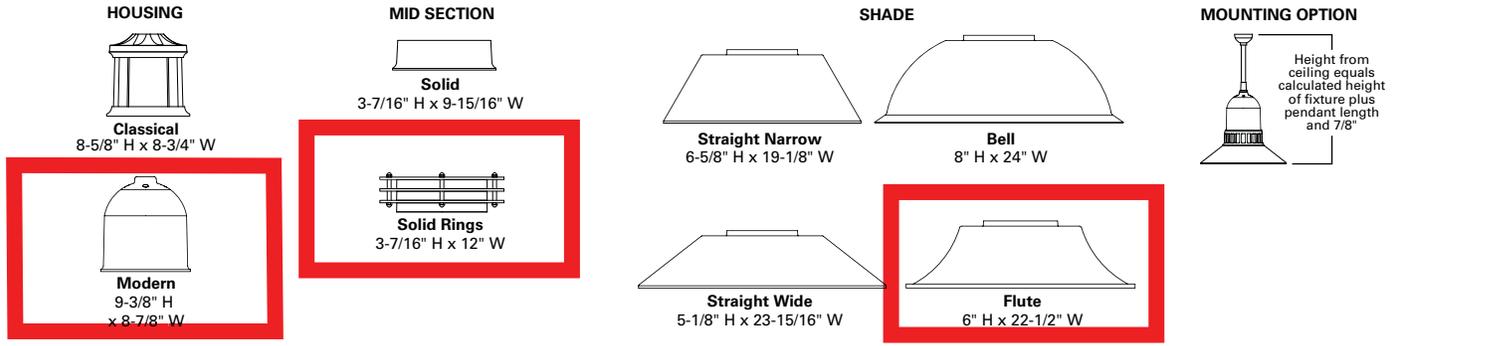


See configurations for more detailed information.



Bronze (BZ)

CONFIGURATIONS



POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBARS)

Number of LightBARs	E01	E02	E03	E04	
Drive Current	350mA Drive Current				
Power (Watts)	25W	52W	75W	97W	
Current @ 120V (A)	0.22	0.44	0.63	0.82	
Current @ 277V (A)	0.10	0.20	0.28	0.36	
Power (Watts)	31W	58W	82W	99W	
Current @ 347V (A)	0.11	0.19	0.28	0.29	
Current @ 480V (A)	0.09	0.15	0.20	0.21	
T2	Lumens	2,948	5,896	8,844	11,792
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T3	Lumens	2,936	5,873	8,809	11,745
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T4	Lumens	2,876	5,752	8,627	11,503
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3
5MQ	Lumens	3,054	6,108	9,161	12,215
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5WQ	Lumens	2,987	5,975	8,962	11,949
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,982	5,963	8,945	11,926
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B4-U0-G3
SL2	Lumens	2,878	5,756	8,634	11,512
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,894	5,788	8,682	11,576
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL4	Lumens	2,823	5,647	8,470	11,294
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
RW	Lumens	2,957	5,915	8,872	11,829
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,616	5,231	7,847	10,462
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3

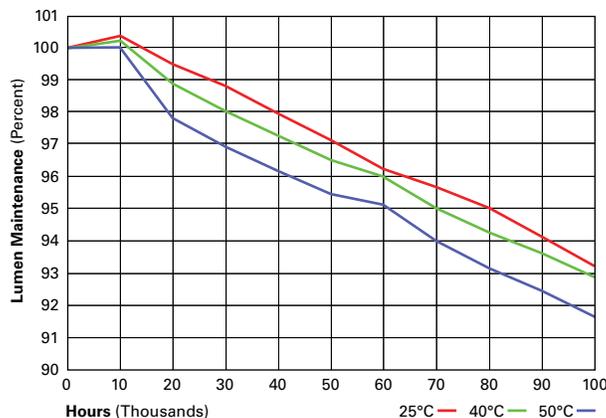
POWER AND LUMENS BY BAR COUNT (7 LED LIGHTBARS)

Number of LightBARs	F01	F02	F03	F04	
Drive Current	1A Drive Current				
Power (Watts)	26W	55W	78W	102W	
Current @ 120V (A)	0.22	0.46	0.66	0.86	
Current @ 277V (A)	0.10	0.21	0.29	0.37	
Power (Watts)	32W	60W	85W	105W	
Current @ 347V (A)	0.11	0.19	0.28	0.30	
Current @ 480V (A)	0.09	0.15	0.21	0.22	
T2	Lumens	2,434	4,867	7,301	9,735
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T3	Lumens	2,424	4,848	7,272	9,696
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T4	Lumens	2,374	4,748	7,122	9,496
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
5MQ	Lumens	2,521	5,042	7,563	10,084
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
5WQ	Lumens	2,466	4,932	7,398	9,864
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,461	4,923	7,384	9,845
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G3
SL2	Lumens	2,376	4,752	7,127	9,503
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,389	4,778	7,167	9,556
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2
SL4	Lumens	2,331	4,662	6,993	9,323
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
RW	Lumens	2,441	4,883	7,324	9,765
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,159	4,318	6,478	8,637
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3

LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99
50°C	0.96

CONTROL OPTIONS

0-10V (DIM)

The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PC, PER and PER7)

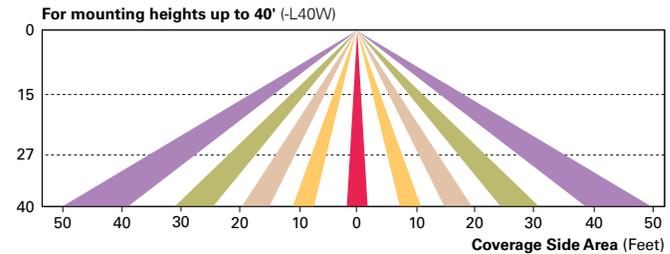
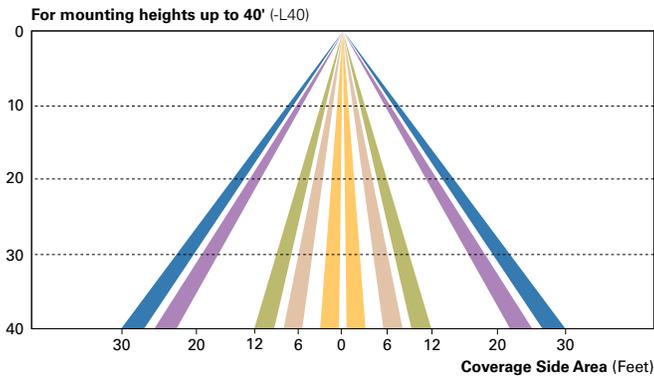
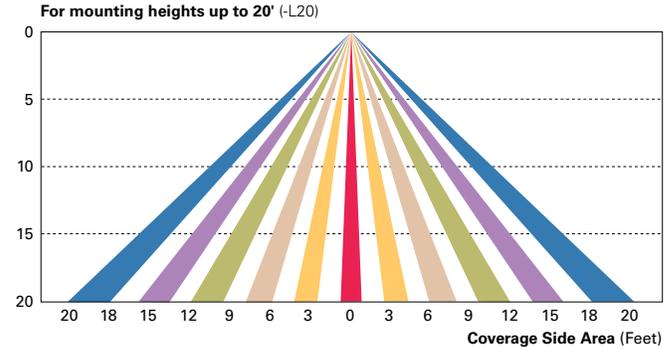
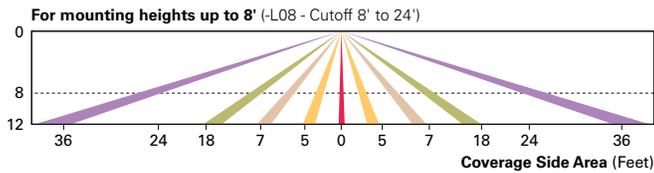
Optional button-type photocontrol (PC) and photocontrol receptacles (PER and PER7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

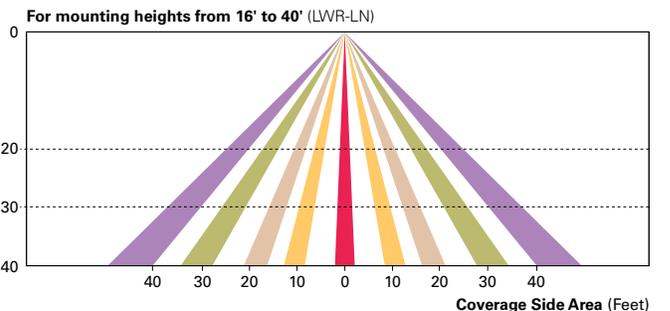
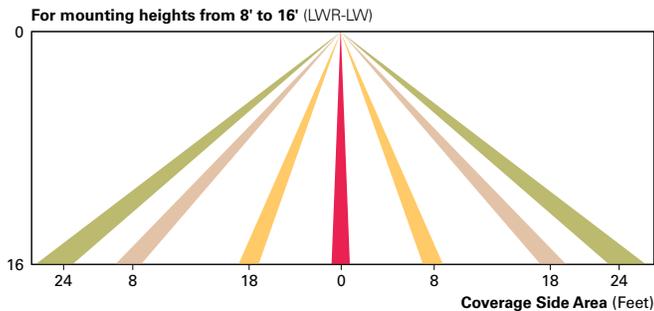
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8’-40’.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



ORDERING INFORMATION

Sample Number: ECM-E04-LED-E1-T2-FL-GM

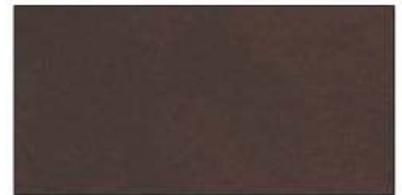
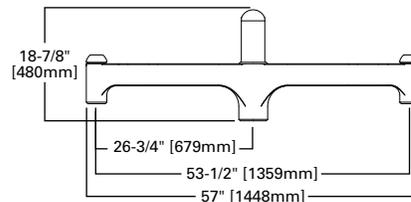
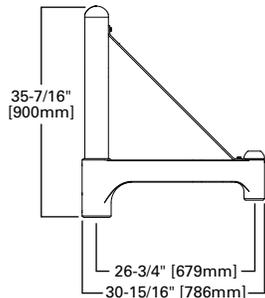
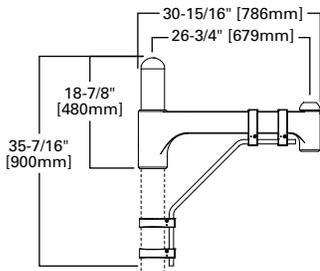
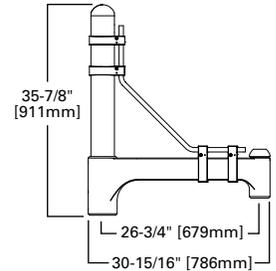
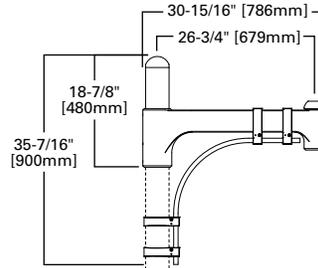
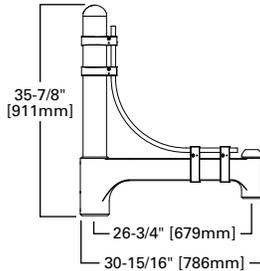
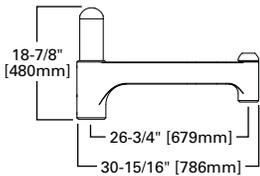
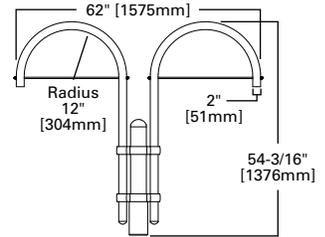
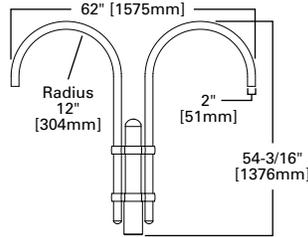
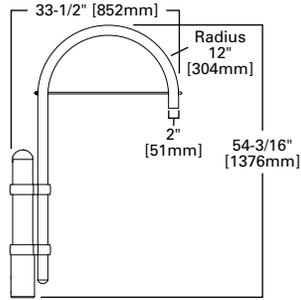
Product Family ¹	Number of LightBARs ^{2,3}	Lamp Type	Voltage	Distribution	Mid Section Type	Shade Type	Color ⁵
ECM=Epic Classical Medium EMM=Epic Modern Medium	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs = E04=(4) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs F03=(3) 7 LED LightBARs F04=(4) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V ⁴	T2=Type II T3=Type III T4=Type IV SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control 5MQ=Type V Square Medium 5WQ=Type V Square Wide 5XQ=Type V Square Extra Wide RW=Rectangular Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	SQ=Solid SR=Solid Rings	SN=Straight Narrow SW=Straight Wide BL=Bell FL=Flute	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)		Accessories (Order Separately) ¹³					
2L=Two Circuits ⁶ 7030=70 CRI / 3000K CCT ⁷ 7050=70 CRI / 5000K CCT ⁷ 8030=80 CRI / 3000K CCT ⁷ LCF=LightBAR Cover Plate Matches Housing Finish MS-LXX=Motion Sensor for ON/OFF Operation ⁸ MS/X-LXX=Motion Sensor for Bi-Level Switching ⁹ PMXX=Pendant Mount (XX=Pendant Length in Inches, 9.5" min - 48.0" max) ¹⁰ HSS=Factory Installed House Side Shield ¹¹ DIM=0-10V Dimming Driver ¹²		OA/RA1016=NEMA Twistlock Photocontrol - Multi-Tap OA/RA1027=NEMA Twistlock Photocontrol - 480V OA/RA1201=NEMA Twistlock Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap LB/HSS-21=Field Installed House Side Shield for "E" LightBARs ^{11,15} LB/HSS-07=Field Installed House Side Shield for "F" LightBARs ^{11,15} Mounting Accessories (Order Separately) Classical VA6150-XX=Bishop Wall Mount Arm VA6151-XX=Bishop Wall Mount Arm with Cross Rod VA6152-XX=Traditional Wall Mount Arm VA6153-XX=Traditional Wall Mount Arm with 45° Strap VA6154-XX=Bishop Single Pole Mount Arm VA6155-XX=Bishop Single Pole Mount Arm with Cross Rod VA6156-XX=Bishop Twin Pole Mount Arm VA6157-XX=Bishop Twin Pole Mount Arm with Cross Rods VA6158-XX=Traditional Single Pole Mount Arm VA6159-XX=Traditional Single Pole Mount Arm with Rounded Upper Bar VA6160-XX=Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁴ VA6161-XX=Traditional Single Pole Mount Arm with 45° Upper Bar VA6162-XX=Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁴ VA6163-XX=Traditional Single Pole Mount Arm with 45° Upper Strap VA6165-XX=Traditional Twin Pole Mount Arm VA6166-XX=Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6167-XX=Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁴ VA6168-XX=Traditional Twin Pole Mount Arm with 45° Upper Bars VA6169-XX=Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁴ VA6170-XX=Traditional Twin Pole Mount Arm with 45° Upper Straps VA6171-XX=Mast Arm Adapter Modern VA6101-XX=Bishop Wall Mount Arm VA6102-XX=Bishop Wall Mount Arm with Cross Rod VA6103-XX=Traditional Wall Mount Arm VA6104-XX=Traditional Wall Mount Arm with 45° Strap VA6105-XX=Bishop Single Pole Mount Arm VA6106-XX=Bishop Single Pole Mount Arm with Cross Rod VA6107-XX=Bishop Twin Pole Mount Arm VA6108-XX=Bishop Twin Pole Mount Arm with Cross Rods VA6109-XX=Traditional Single Pole Mount Arm VA6110-XX=Traditional Single Pole Mount Arm with Rounded Upper Bar VA6111-XX=Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁴ VA6112-XX=Traditional Single Pole Mount Arm with 45° Upper Bar VA6113-XX=Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁴ VA6114-XX=Traditional Single Pole Mount Arm with 45° Upper Strap VA6116-XX=Traditional Twin Pole Mount Arm VA6117-XX=Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6118-XX=Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁴ VA6119-XX=Traditional Twin Pole Mount Arm with 45° Upper Bars VA6120-XX=Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁴ VA6121-XX=Traditional Twin Pole Mount Arm with 45° Upper Straps VA6122-XX=Mast Arm Adapter				Accessory Options ¹⁶ V=Victorian Finial ¹⁷ M=Modern Finial ¹⁷ A=Architectural Finial ¹⁷ N=Nostalgic Finial ¹⁷ R=NEMA Twistlock Photocontrol Receptacle ¹⁸	
						 Bronze (BZ)	

- NOTES:**
1. Arm not included. Order separately. See accessories.
 2. Standard 4000K CCT and greater than 70 RL.
 3. 21 LED LightBAR powered by 350mA and 7 LED LightBAR powered by 1A.
 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 5. Custom and RAL color matching available upon request. Consult your lighting representative at Cooper Lighting Solutions for more information.
 6. Low-level output varies by bar count. Consult factory. Requires quantity of two or more LightBARs.
 7. Consult customer service for lead times and multiplier.
 8. Sensor mounted to the luminaire. Available in E01-E04 and F01-F04 configurations. Replace "XX" with mounting height in feet for proper lens selection, (e.g., MS-L25). Consult factory for additional information.
 9. Sensor mounted to the luminaire. Available in E02-E04 and F02-F04 configurations. Replace "X" with number of LightBARs operating in low output mode and replace XX with mounting height in feet for proper lens selection, (e.g., MS/3-L25). Maximum four bars in low output mode. Consult factory for additional information.
 10. Pendant mount option "PMXX" must be used with Invue Pendant mount kit only. Includes pendant pipe, swivel hangar and canopy cover. Other pendant lengths can be specified in inches (XX). Minimum pendant length is 9-1/2". For lengths above 48", consult your lighting representative at Cooper Lighting Solutions for more information.
 11. Only for use with SL2, SL3 and SL4 distributions.
 12. Dimming leads provide for external 0-10V control system (by others).
 13. Replace XX with color suffix.
 14. Only available with traditional arms.
 15. One required for each LightBAR.
 16. Add as suffix to mounting accessory. Example: VA6106-BK-R.
 17. Not available with finials, pendant mount "PM48" or bishop wall mounts.
 18. Requires use of 4" O.D. round straight pole.

MOUNTING ACCESSORIES

Pole mount arms are designed to fit both medium ECM/EMM housings. (Only these arms are compatible with the Epic luminaire). Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners. Wall mount arms compliment pole mount luminaires and attractively transition fixture scale in lower mounting height pedestrian environments. Wall mount arms are designed to fit both medium ECM/EMM housings. Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners.

BISHOP SINGLE POLE MOUNT ARM
 VA6105 (Modern), VA6154 (Classical)
 Slipfits over 4" round straight pole, or 4" O.D. by 6" tall round tenon.
 Weight: 24 lbs. E.P.A: 0.92



Bronze (BZ)



Catalog #		Type
Project		
Comments		Date
Prepared by		

DECORATIVE ALUMINUM POLES

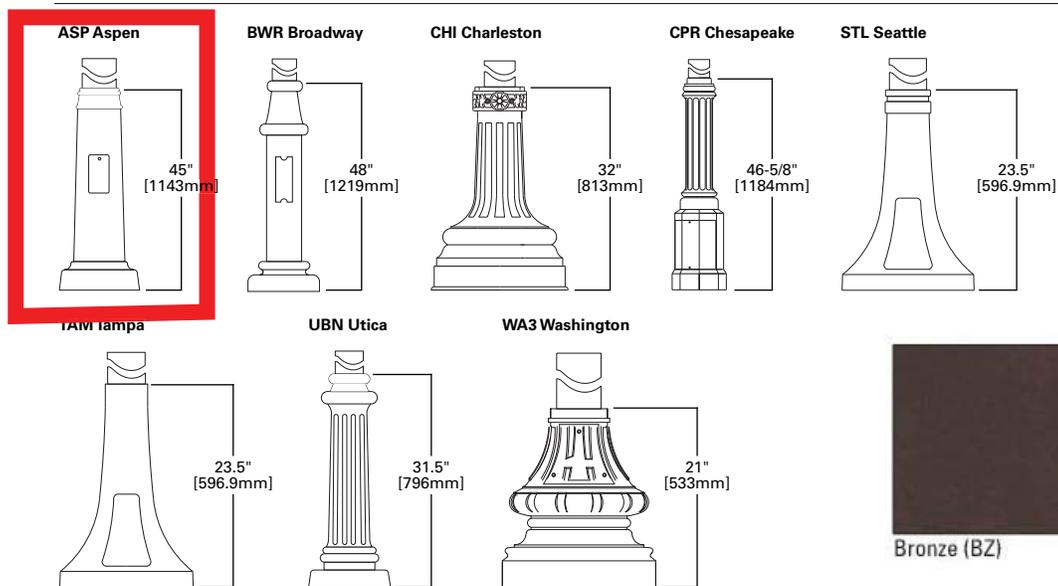
DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS

The information contained herein is for general guidance only and is not a replacement for professional judgment. Design considerations for wind-induced vibrations and non-ground mounted installations (e.g., installations on bridges or buildings) are not included in this document. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Refer to the Cooper Lighting Solutions Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

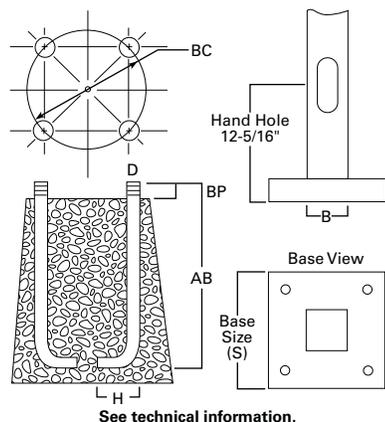
NOTE: The Limited Warranty for this product specifically excludes fatigue failure or similar damage resulting from vibration, harmonic oscillation or resonance.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

BASE HEIGHT DIMENSIONS



ANCHORAGE DATA



Pole	Anchor Bolt and Template Package	Shaft Diameter (inches)	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)	Template Only
Aspen (ASP)	317AVE40S	10 x 4	14.19 + - 0.81	4	3/4 x 17	406541D
Broadway (BWR) ¹	317RB408	8 x 4	12	4	3/4 x 17	405592D
Broadway (BWR) ²	436RB408	8 x 4	12	4	1 x 36	227878D
Charleston (CHI)	317RB4HN	4, 5, 6	11.5 + - 1.50	4	3/4 x 17	227095D
Chesapeake (CPR)	317RB4WI	4, 5	13.25	4	3/4 x 17	227116D
Seattle (STL)	317AVE10	4	9	4	3/4 x 17	407040D
Tampa (TAM)	317AVE30	5 x 4	16	4	3/4 x 17	407040D
Utica (UBN)	317RB4SC	4, 5	12.5	4	3/4 x 17	227314D
Washington (WA3)	317RB4WA	4, 5, 6	11.5 + - 1.50	4	3/4 x 17	227077D

NOTES: 1. Anchor bolt set should be for up to 16' mounting height. 2. Anchor bolt set should be for up to 17' and over mounting height.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type:

Model:

Project:

SPECIFICATION SHEET

MODEL 3105 Landscape Series • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, copper-free aluminum.

SHROUD:

Die-cast, copper-free aluminum fitted to housing with a closed-cell molded silicone gasket – providing a superior weather-tight seal. Door is designed to shed water from the lens surface.

FINISH:

Durable powder coat finish available in Black, Architectural Bronze, Dark Bronze, Granite, White, Architectural Brick, Light Bronze, Special Bronze, Glossy Gray, Rust, Hunter Green, Weathered Bronze, Weathered Iron, Graphite Metallic, Verde, Pewter, Mocha and Olde Finish. Custom Powder coat finishes available on request.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens.

LAMP TYPE:

LED Lamp Only - Cree® MT-G2 High Density Array (HDA) driven at 4.5-watts, 9.5-watts, or 13-watts. Color temperature available in 27 - (2700K), W - Warm (3000K), 35 - (3500K), N - Neutral (4000K), C - Cool (5000K).

ELECTRICAL:

Input voltage range 9 - 15V AC.

OPTICS:

Available in VNS - Very Narrow Spot, SP - Spot, MF - Medium Flood, or WF - Wide Flood.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

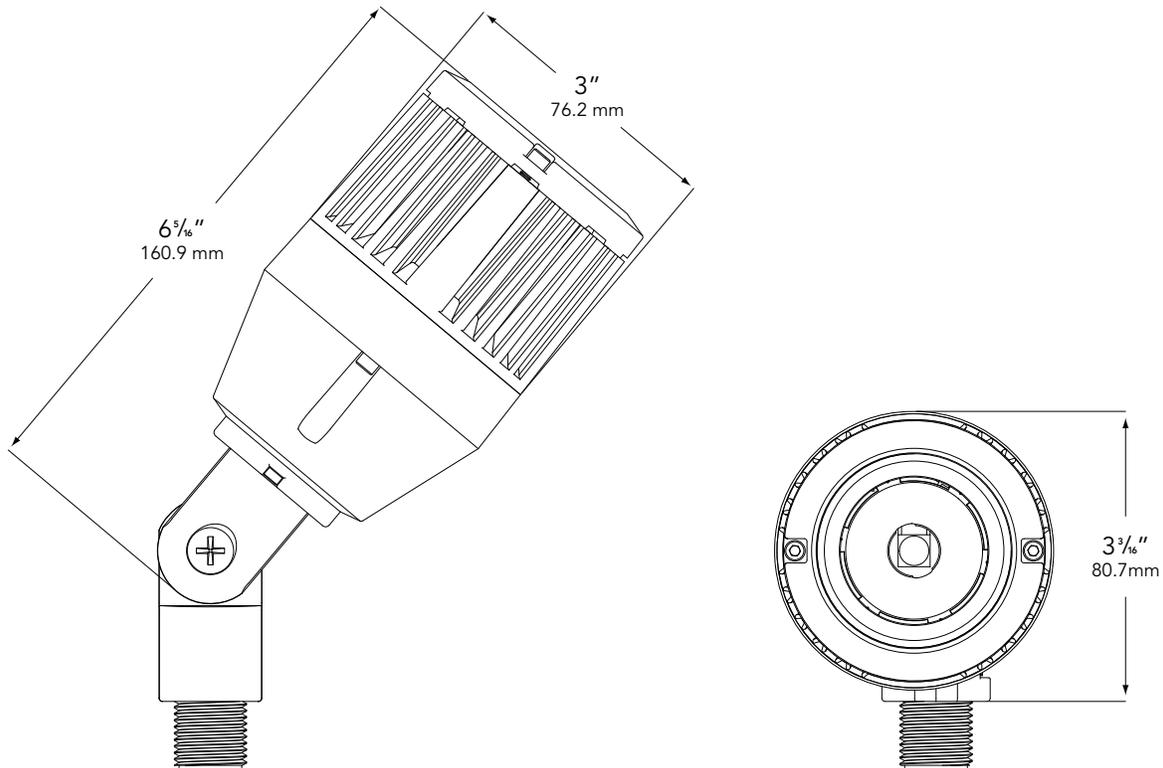
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 3105 Landscape Series • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-3105-B-4.5-W-SP

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
GR - ABS ground stake WR - Wall-mount canopy TR - Tree-mount J-box	3105	Standard B - Black Z - Architectural Bronze DZ - Dark Bronze GT - Granite W - White Premium BR - Architectural Brick LZ - Light Bronze SB - Special Bronze GG - Glossy Gray R - Rust HG - Hunter Green WB - Weathered Bronze WI - Weathered Iron GM - Graphite Metallic Hand Finished G - Verde P - Pewter M - Mocha OF - Olde Finish	4.5 9.5 13	27 - 2700K W - Warm 35 - 3500K N - Neutral C - Cool	VNS - Very Narrow Spot SP - Spot MF - Medium Flood WF - Wide Flood	BD - Barn Doors FS - Full Light Shield HS - Half Light Shield HL - Honeycomb Louver 5 - 5' Wire Lead NOTE: * If fixture to be used with Extended Arm Mount (EAM) - <u>must order</u> with extended wire length

Fixtures shipped with standard lamp, unless otherwise specified.
 Fixtures shipped with specified mounting hardware.

LUMEN OUTPUT PACKAGES



Beam Spread	4.5	9.5	13
VNS	4.5 Watts 135 Lumens	9.5 Watts 214 Lumens	13 Watts 269 Lumens
SP	4.5 Watts 364 Lumens	9.5 Watts 566 Lumens	13 Watts 738 Lumens
MF	4.5 Watts 321 Lumens	9.5 Watts 487 Lumens	13 Watts 711 Lumens
WF	4.5 Watts 332 Lumens	9.5 Watts 542 Lumens	13 Watts 686 Lumens

Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



INSTALLATION INSTRUCTIONS

FOR USE ONLY WITH LOW VOLTAGE LANDSCAPE POWER UNITS THAT DO NOT EXCEED 25 AMPS, 15 VOLT MAXIMUM.

WARNING: Luminaires must be installed in accordance with the National Electrical Code (NEC) and local codes. Failure to do so will void the warranty and may result in serious injury and/or damage to the luminaire.

SAFETY WARNING: Luminaire can become very hot depending on model used. The luminaire housing can become hot enough to blister hands. Particular care should be taken not to locate luminaires where small children can reach them.

LUMINAIRES ARE NOT TO BE INSTALLED WITHIN 10 FT (3.05M) OF A POOL OR SPA. SECONDARY CABLE IS NOT TO BE BURIED MORE THAN 6". WHEN USING MULTIPLE LUMINAIRES, LOAD IS NOT TO EXCEED TOTAL WATTS OF TRANSFORMER RATING. DO NOT USE EXTENSION CORDS ON POWER UNITS.

NOTE: Always use UL recognized wire connectors for connections.

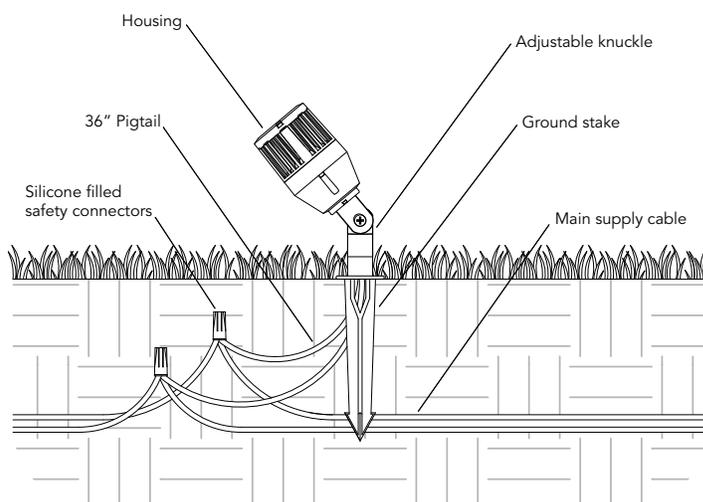
NOTE: Save these instructions for future reference; leave with property owner/manager.

LUMINAIRE MOUNTING:

1. To prevent electrical shock, disconnect transformer from electrical supply before installation or service.
2. Run wire pigtail from luminaire through the mounting hole in top of ground stake.
3. Thread luminaire into threaded hole in ground stake.
4. Place stake in desired position and insert into ground until flange of stake is flush to grade.
5. Strip the two (2) leads from the luminaire pigtail. Using the two (2) silicone filled safety connectors (provided), connect the leads from the luminaire to the main supply cable leads.

NOTE: Luminaires are supplied with 36" of 18-2 cable pigtail for secure connection to the main supply cable. The wire is to be protected by routing in close proximity to the luminaire. The wiring should be buried a maximum depth of 6 inches (15.2 cm) in order to connect to the main supply cable.

6. Aim luminaire to desired angle. Lock into place by tightening Phillips screw in adjustable knuckle.
7. Provide power to the luminaire and check for proper operation.



The operating voltage range for this LED luminaire is 10.5 - 15 volt AC. The Vista electronic driver ensures the LED operates at the intended lumen output while receiving voltage as low as 10.5 volts, and as high as 15 VAC, the U.L. allowed maximum, resulting in a balanced lumen output from the first fixture to the last. Eliminating the dimness issues often attributed to voltage drop.

Note: Operating voltage range for LED luminaires will vary depending on model, style and total number of LEDs. To help determine the operating voltage range for each Vista luminaire, always consult factory's specification sheet and/or installation instructions before installation.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 2265-BSO Landscape Series • Brass & Copper • Path & Spread Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, brass.

STEM:

1/2" brass pipe with 1/2" NPT.

FINISH:

Olde Brass

LENS:

Clear, high-impact, polycarbonate lens.

LAMP TYPE:

Vista T3 LED lamp only, 2.5 watt standard.

ELECTRICAL:

Input voltage range 9-15V AC, regulated to achieve uniform illumination throughout the cable run of fixtures.

MOUNTING:

Bottom of stem threaded with 1/2" NPT. Fixture may be mounted into threaded hubs in junction boxes, ground stakes, or floor-mounting canopies. Please see fixture ordering information for mounting selection.

FASTENERS:

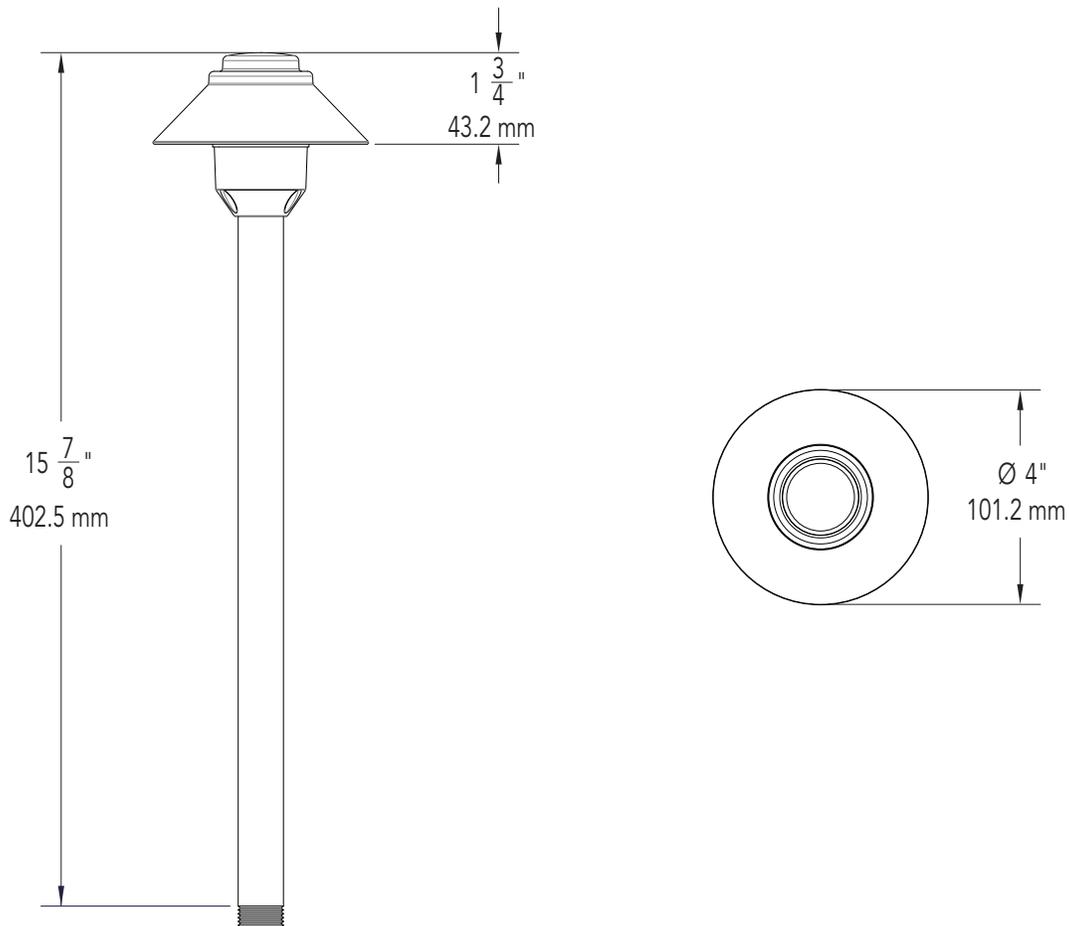
All fasteners are stainless steel.

WIRING:

Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

Designed and Assembled IN THE U.S.A.

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2265-BSO Landscape Series • Brass & Copper • Path & Spread Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: PR-2265-BSO-2.5-W-T3

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	LAMP
PR - ABS ground stake	2265	BSO - Olde Brass	2.5	W - Warm	T3

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



INSTALLATION INSTRUCTIONS

USE ONLY ON 9 - 15 VOLT CIRCUITS. CAUTION: DO NOT UNNECESSARILY OVER-VOLTAGE LED LAMPS. FOR OPTIMAL PERFORMANCE AND MAXIMUM EFFICIENCY ALWAYS OPERATE LED LAMPS AS CLOSE TO 12 VOLTS AS POSSIBLE. NEVER EXCEED MAXIMUM OPERATING VOLTAGE, FAILURE TO DO SO WILL VOID THE WARRANTY AND MAY RESULT IN SERIOUS DAMAGE TO LAMP AND LUMINAIRES. DIMMING FUNCTION MAY NOT BE COMPATIBLE WITH ALL DIMMERS, PLEASE CONSULT FACTORY TECHNICAL DEPARTMENT FOR UP-TO-DATE COMPATIBLE DIMMER INFORMATION.

FOR USE ONLY WITH LOW VOLTAGE LANDSCAPE POWER UNITS THAT DO NOT EXCEED 25 AMPS, 15 VOLT MAXIMUM.

WARNING: Luminaires must be installed in accordance with the National Electrical Code (NEC) and local codes. Failure to do so will void the warranty and may result in serious injury and/or damage to the luminaire.

SAFETY WARNING: Luminaire can become very hot depending on lamp wattage used. Lens and metal around lamp can become hot enough to blister hands. Particular care should be taken not to locate luminaires where small children can reach them if high wattage lamps are used.

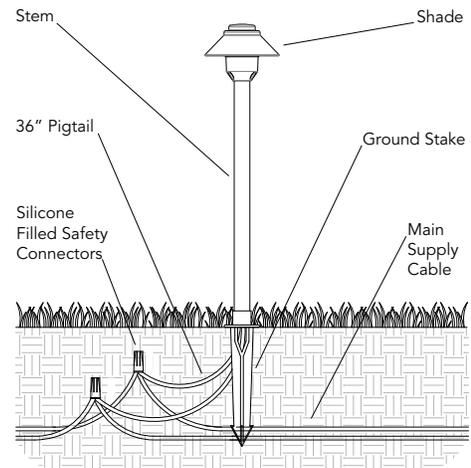
LUMINAIRES ARE NOT TO BE INSTALLED WITHIN 10 FT (3.05M) OF A POOL OR SPA. SECONDARY CABLE IS NOT TO BE BURIED MORE THAN 6". WHEN USING MULTIPLE LUMINAIRES, LOAD IS NOT TO EXCEED TOTAL WATTS OF TRANSFORMER RATING. DO NOT USE EXTENSION CORDS ON POWER UNITS.

NOTE: Always use UL recognized wire connectors for connections.

NOTE: Save these instructions for future reference; leave with property owner/manager.

LUMINAIRE MOUNTING:

1. To prevent electrical shock, disconnect transformer from electrical supply before installation or service.
 2. Run wire pigtail from luminaire through mounting hole in top of ground stake.
 3. Thread luminaire into threaded hole in ground stake.
 4. Place stake in desired position and insert into ground until flange of stake is flush to grade.
 5. Strip two leads from luminaire pigtail. Using two silicone filled safety connectors (provided), connect leads from luminaire to main supply cable leads.
- NOTE:** Luminaires are supplied with 36" of 18-2 cable pigtail for secure connection to main supply cable. Wire is to be protected by routing in close proximity to luminaire. Wiring should be buried a maximum depth of 6 inches (15.2 cm) in order to connect to main supply cable.
6. Provide power to luminaire and check for proper operation.



IMPORTANT SAFETY INSTRUCTIONS - THE LIGHTED LAMP IS HOT!

WARNING - TO REDUCE THE RISK OF FIRE, OR INJURY TO PERSONS:

1. Turn off/unplug and allow to cool before replacing lamp.
2. Lamps get hot! Contact only switch/plug when turning on.

3. Do not touch hot lens, guard or enclosure.

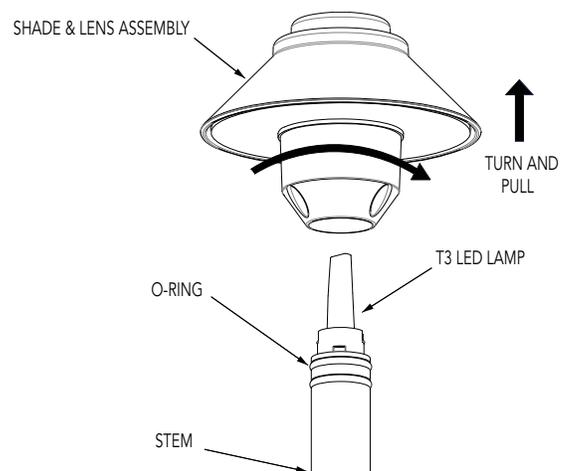
4. Keep lamp away from material that may burn.

6. Do not operate luminaire fitting with a missing or damaged cover.

SAVE THESE INSTRUCTIONS (Leave with property owner/manager)

LAMP INSTALLATION/REPLACEMENT:

1. To prevent electrical shock, disconnect transformer from electrical supply before service.
2. Turn and pull shade and lens assembly from stem to expose T3 LED lamp.
3. Replace lamp with correct wattage & type marked on fixture label.
4. Reinstall shade & lens assembly.



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



PROFESSIONAL
OUTDOOR LIGHTING

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING/SHROUD:

Heavy-gauge, extruded, solid brass housing fitted to a precision CNC-machined, solid brass base. A solid brass lens-retaining flange and high temperature, clear silicone seal – provides a superior weather-tight seal.

FINISH:

Olde Brass.

SOCKET/LAMP HOLDER:

Top grade ceramic socket with nickel contacts, stainless steel springs, and Teflon-jacketed wire leads.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens. Optical effect lenses are available; see accessories column on fixture ordering information chart.

LAMP TYPE:

MR-16 LED Lamp Only - 36° Flood, 4.5W is standard.

Optics:

Available in 15° Narrow Spot, 25° Spot, 36° Flood, or 60° Wide Flood distributions.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

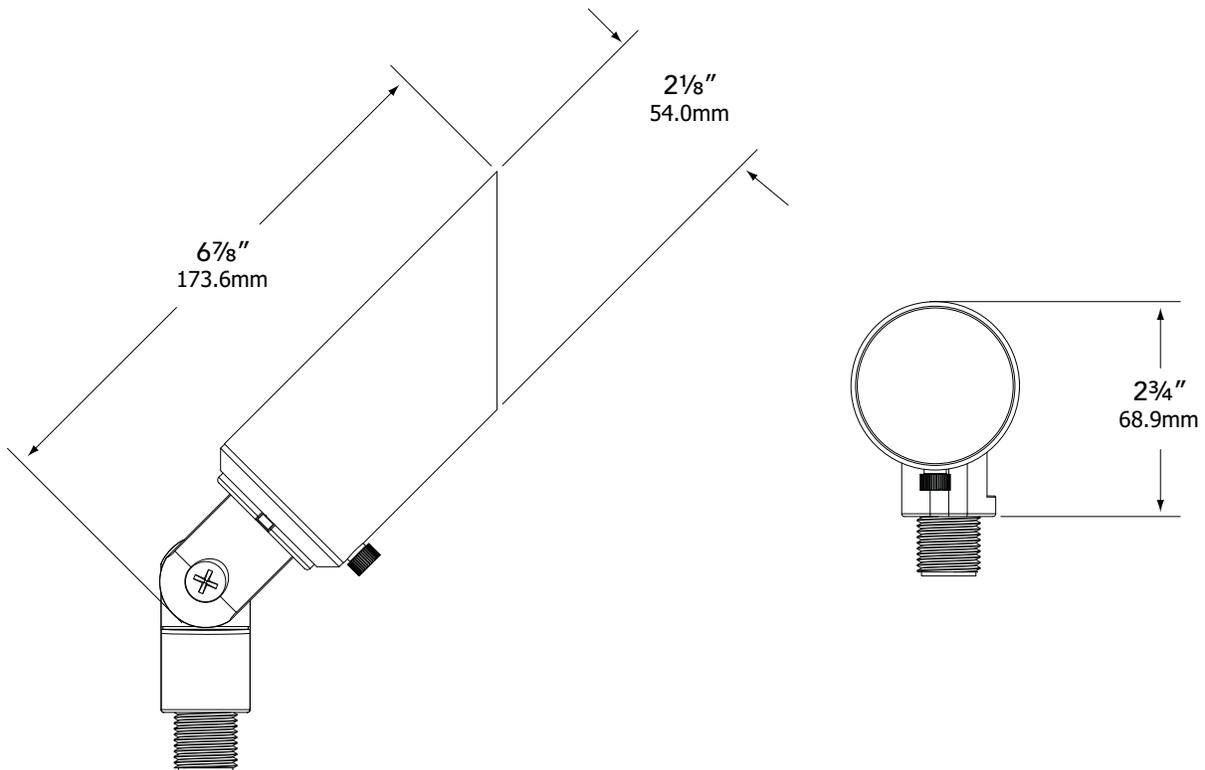
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are [MADE IN U.S.A.](#)

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-2106-BSO-4.5-W-25-SL

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
GR- ABS ground stake WR- Wall-mount canopy TR- Tree-mount junction box	2106	BSO - Olde Brass	4.5 5.5	W - Warm	15 - 15° Narrow Spot 25 - 25° Spot 36 - 36° Flood 60 - 60° Wide Flood	FR - Frosted Lens BL - Flat Cool Blue Lens SL - Flat Spread Lens DBL - Flat Dark Blue Lens GL - Flat Dark Green Lens RL - Flat Red Lens YL - Flat Amber Lens HL - Honeycomb Louver

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



PROFESSIONAL
OUTDOOR LIGHTING

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING/SHROUD:

Heavy-gauge, extruded, solid brass housing fitted to a precision CNC-machined, solid brass base. A solid brass lens-retaining flange and high temperature, clear silicone seal – provides a superior weather-tight seal.

FINISH:

Olde Brass.

SOCKET/LAMP HOLDER:

Top grade ceramic socket with nickel contacts, stainless steel springs, and Teflon-jacketed wire leads.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens. Optical effect lenses are available; see accessories column on fixture ordering information chart.

LAMP TYPE:

MR-16 LED Lamp Only - 36° Flood, 4.5W is standard.

Optics:

Available in 15° Narrow Spot, 25° Spot, 36° Flood, or 60° Wide Flood distributions.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

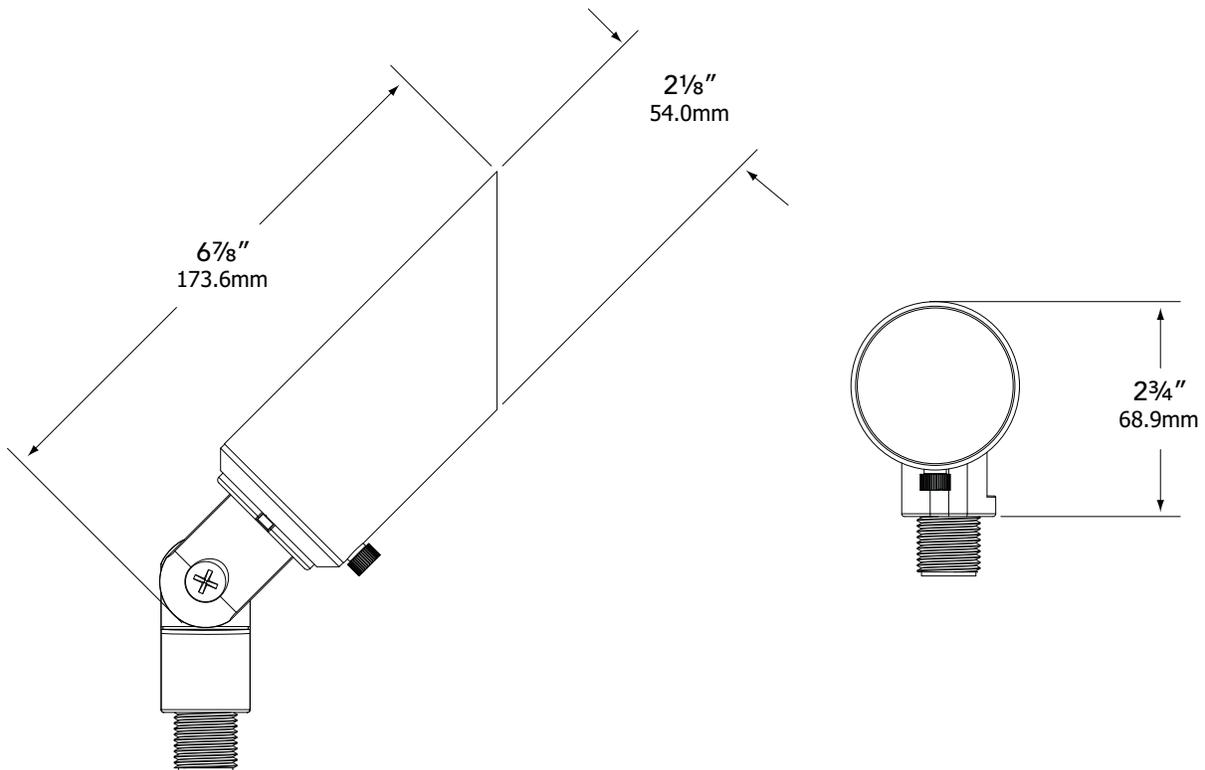
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are [MADE IN U.S.A.](#)

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-2106-BSO-4.5-W-25-SL

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
GR- ABS ground stake WR- Wall-mount canopy TR- Tree-mount junction box	2106	BSO - Olde Brass	4.5 5.5	W - Warm	15 - 15° Narrow Spot 25 - 25° Spot 36 - 36° Flood 60 - 60° Wide Flood	FR - Frosted Lens BL - Flat Cool Blue Lens SL - Flat Spread Lens DBL - Flat Dark Blue Lens GL - Flat Dark Green Lens RL - Flat Red Lens YL - Flat Amber Lens HL - Honeycomb Louver

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



INSTALLATION INSTRUCTIONS

USE ONLY ON 9 - 15 VOLT CIRCUITS. CAUTION: DO NOT UNNECESSARILY OVER-VOLTAGE LED LAMPS. FOR OPTIMAL PERFORMANCE AND MAXIMUM EFFICIENCY ALWAYS OPERATE LED LAMPS AS CLOSE TO 12 VOLTS AS POSSIBLE. NEVER EXCEED MAXIMUM OPERATING VOLTAGE, FAILURE TO DO SO WILL VOID THE WARRANTY AND MAY RESULT IN SERIOUS DAMAGE TO LAMP AND LUMINAIRES. DIMMING FUNCTION MAY NOT BE COMPATIBLE WITH ALL DIMMERS, PLEASE CONSULT FACTORY TECHNICAL DEPARTMENT FOR UP-TO-DATE COMPATIBLE DIMMER INFORMATION.

FOR USE ONLY WITH LOW VOLTAGE LANDSCAPE POWER UNITS THAT DO NOT EXCEED 25 AMPS, 15 VOLT MAXIMUM.

WARNING: Luminaires must be installed in accordance with the National Electrical Code (NEC) and local codes. Failure to do so will void the warranty and may result in serious injury and/or damage to the luminaire.

SAFETY WARNING: Luminaire can become very hot depending on lamp wattage used. Lens and metal around lamp can become hot enough to blister hands. Particular care should be taken not to locate luminaires where small children can reach them if high wattage lamps are used.

LUMINAIRES ARE NOT TO BE INSTALLED WITHIN 10 FT. (3.05M) OF A POOL OR SPA. SECONDARY CABLE IS NOT TO BE BURIED MORE THAN 6". WHEN USING MULTIPLE LUMINAIRES, LOAD IS NOT TO EXCEED THE TOTAL WATTS OF TRANSFORMER RATING. DO NOT USE EXTENSION CORDS ON POWER UNITS.

NOTE: Always use UL recognized wire connectors for connections.

LUMINAIRE MOUNTING:

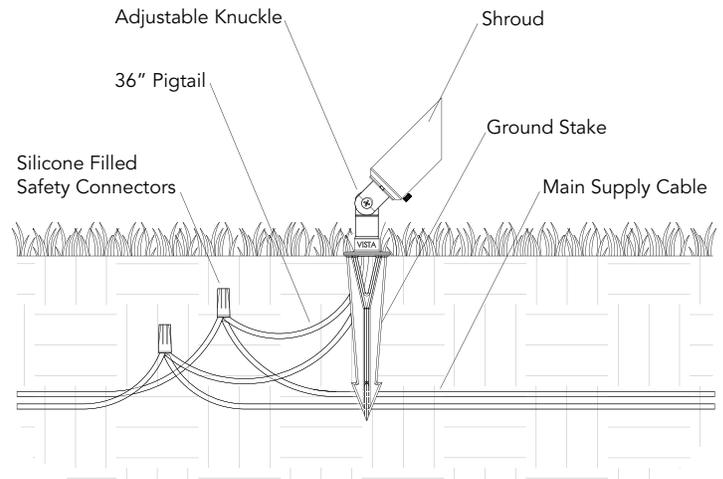
1. To prevent electrical shock, disconnect transformer from electrical supply before installation or service.
2. Run wire pigtail from luminaire through mounting hole in top of ground stake.
3. Thread luminaire into threaded hole in ground stake.
4. Place stake in desired position and insert into ground until flange of stake is flush to grade.
5. Strip two leads from luminaire pigtail wire. Using two silicone filled safety connectors, connect leads from luminaire to main supply cable leads.

NOTE: Luminaires are supplied with 36" of 18-2 cable pigtail for secure connection to main supply cable. The wire is to be protected by routing in close proximity to luminaire. The wiring should be buried a maximum depth of 6" in order to connect to main supply cable.

6. Aim luminaire to desired angle. Lock into place by tightening Phillips screw in adjustable knuckle.

NOTE: Avoid aiming fixture directly upward. Whenever possible, set at angle to prevent rain or irrigation water from settling on lens.

NOTE: All luminaires orientation must be so that every part of the lamp holder and the lamp are greater than 2" from the ground plane.



IMPORTANT SAFETY INSTRUCTIONS - THE LIGHTED LAMP IS HOT!

WARNING - TO REDUCE THE RISK OF FIRE, OR INJURY TO PERSONS:

1. Turn off/unplug and allow to cool before replacing lamp.
2. Lamps get hot! Contact only switch/plug when turning on.

3. Do not touch hot lens, guard or enclosure.

4. Keep lamp away from material that may burn.

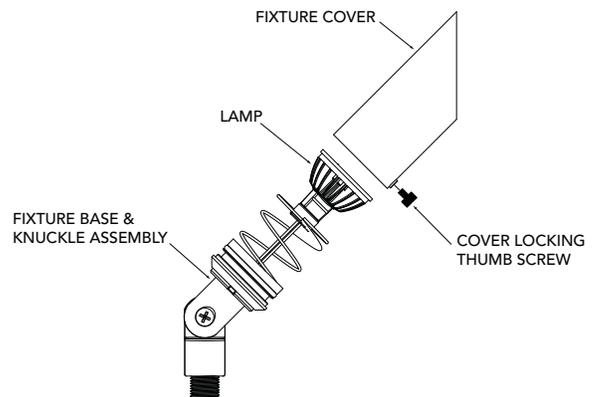
6. Do not operate luminaire fitting with a missing or damaged cover.

SAVE THESE INSTRUCTIONS (Leave with property owner/manager)

LAMP INSTALLATION/REPLACEMENT:

CAUTION: Replace with suitable MR16 LED lamp only.

1. To prevent electrical shock, disconnect transformer from electrical supply before service.
2. Loosen shroud screw.
3. Remove shroud to expose LED lamp.
4. Replace lamp with suitable MR16 LED lamp.
5. Re-install shroud.
6. Tighten shroud screw.



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



PROFESSIONAL
OUTDOOR LIGHTING

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 5105-BSO Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, brass.

FINISH:

Olde Brass.

LENS:

Tempered, shock and heat resistant, soda-lime glass lens.

LAMP TYPE:

LED Lamp Only - 2W, 3W & 4W (3W is standard). Color temperature available in W-Warm (3000K), N-Neutral (4000K), C-Cool (5000K).

ELECTRICAL:

Input voltage range 9 - 15V AC regulated to achieve uniform illumination throughout the cable run of fixtures.

MOUNTING:

Die-cast brass adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

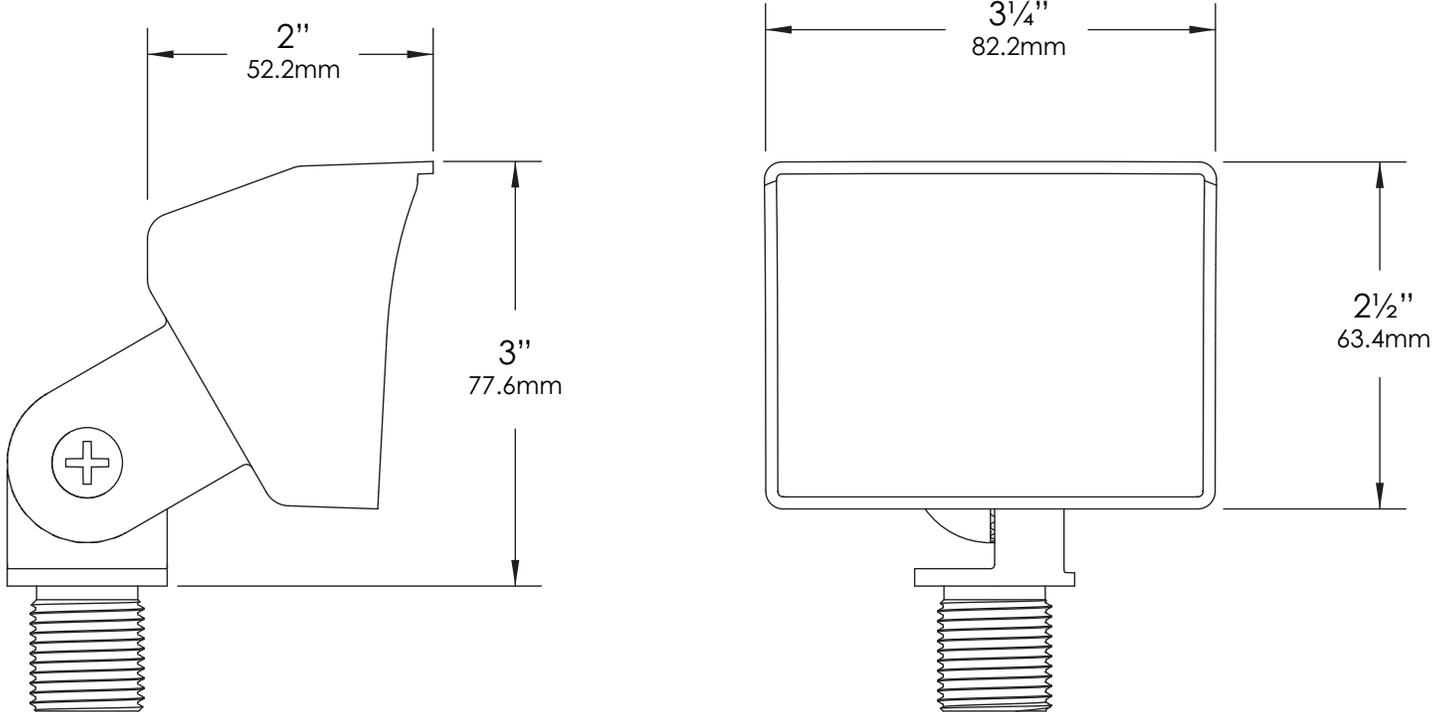
All fasteners are stainless steel.

WIRING:

Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

Designed and Assembled **IN THE U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 5105-BSO Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-5105-BSO-2-W-FR

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	ACCESSORIES
GR- ABS ground stake TR - Tree mount J-box WR- Wall mount canopy	5105	BSO - Olde Brass	2 3 4	W - Warm N - Neutral C- Cool	FR - Frosted Lens

Fixtures shipped with specified mounting hardware.



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.

INSTALLATION INSTRUCTIONS

FOR USE ONLY WITH LOW VOLTAGE LANDSCAPE POWER UNITS THAT DO NOT EXCEED 25 AMPS, 15 VOLT MAXIMUM.

WARNING: Luminaires must be installed in accordance with the National Electrical Code (NEC) and local codes. Failure to do so will void the warranty and may result in serious injury and/or damage to the luminaire.

SAFETY WARNING: Luminaire can become very hot depending on lamp wattage used. Lens and metal around lamp can become hot enough to blister hands. Particular care should be taken not to locate luminaires where small children can reach them if high wattage lamps are used.

LUMINAIRES ARE NOT TO BE INSTALLED WITHIN 10 FT. (3.05M) OF A POOL OR SPA. SECONDARY CABLE IS NOT TO BE BURIED MORE THAN 6". WHEN USING MULTIPLE LUMINAIRES, LOAD IS NOT TO EXCEED THE TOTAL WATTS OF TRANSFORMER RATING. DO NOT USE EXTENSION CORDS ON POWER UNITS.

NOTE: Always use UL recognized wire connectors for connections.

NOTE: Save these instructions for future reference.

LUMINAIRE MOUNTING:

1. To prevent electrical shock, disconnect transformer from electrical supply before installation or service.
2. Run wire pigtail from luminaire through the mounting hole in top of ground stake.
3. Thread luminaire into threaded hole in ground stake.
4. Place stake in desired position and insert into ground until flange of stake is flush to grade.

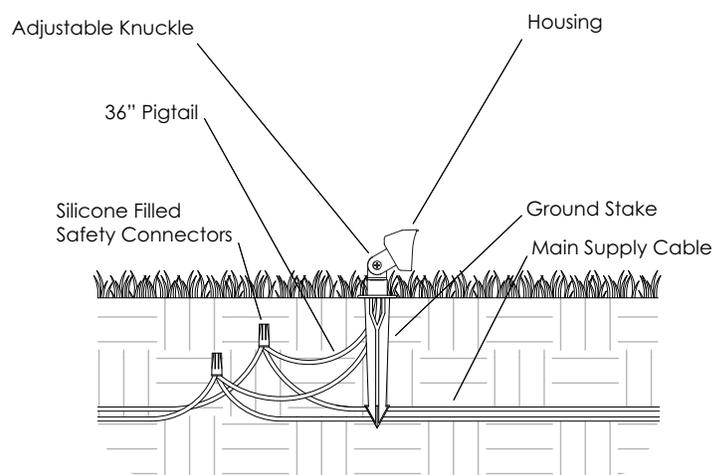
5. Strip the (2) leads from the luminaire pigtail wire. Using the two (2) silicone filled safety connectors (provided), connect the leads from the luminaire to the main supply cable leads.

NOTE: Luminaires are supplied with 36" of 18-2 cable pigtail for secure connection to the main supply cable. The wire is to be protected by routing in close proximity to the luminaire. The wiring should be buried a maximum depth of 6 inches (15.2 cm) in order to connect to the main supply cable.

6. Aim luminaire to desired angle. Lock into place by tightening Phillips screw in adjustable knuckle.

NOTE: Avoid aiming fixture directly upward. Whenever possible, set at angle to prevent rain or irrigation water from settling on lens.

NOTE: Non-Serviceable Fixture - Attempting to open fixture will void warranty.



The operating voltage range for this LED luminaire is 9 - 15 volt AC. The Vista electronic driver ensures the LED operates at the intended lumen output while receiving voltage as low as 10.5 volts, and as high as 15 VAC, the U.L. allowed maximum, resulting in a balanced lumen output from the first fixture to the last. Eliminating the dimness issues often attributed to voltage drop.

Note: Operating voltage range for LED luminaries will vary depending on model, style and total number of LEDs. To help determine the operating voltage range for each Vista luminaire, always consult factory's specification sheet and/or installation instructions before installation.

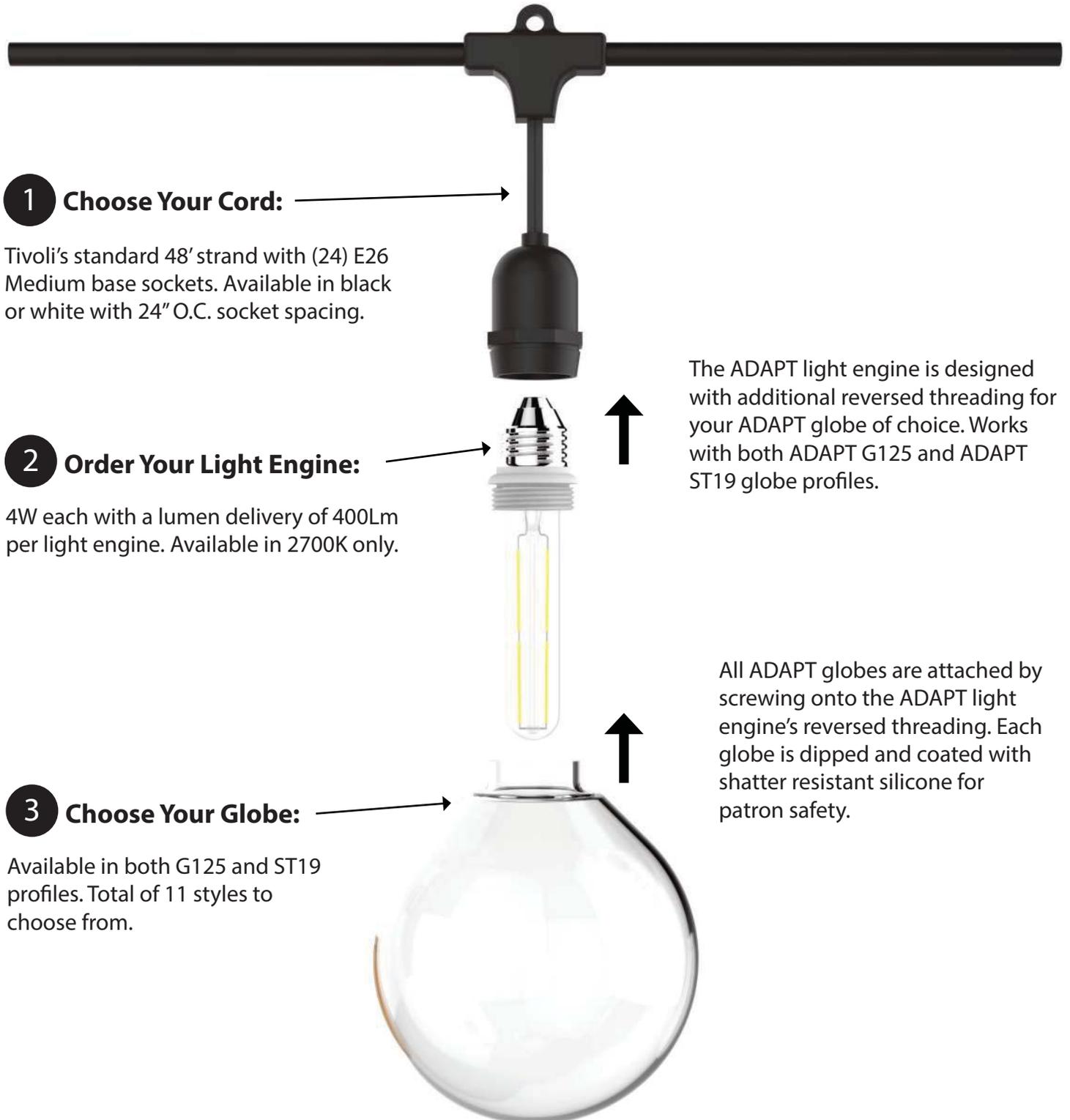


ADAPT

COMMERCIAL STRING LIGHT

ADAPT COMMERCIAL STRING LIGHT- How it works

Simply choose your cord color, light engine and globe choice for over 20 design combinations to create a unique experience for personal or public space.



1 Choose Your Cord:

Tivoli's standard 48' strand with (24) E26 Medium base sockets. Available in black or white with 24" O.C. socket spacing.

2 Order Your Light Engine:

4W each with a lumen delivery of 400Lm per light engine. Available in 2700K only.

3 Choose Your Globe:

Available in both G125 and ST19 profiles. Total of 11 styles to choose from.

The ADAPT light engine is designed with additional reversed threading for your ADAPT globe of choice. Works with both ADAPT G125 and ADAPT ST19 globe profiles.

All ADAPT globes are attached by screwing onto the ADAPT light engine's reversed threading. Each globe is dipped and coated with shatter resistant silicone for patron safety.

1 Choose Your Cord

Standard 48' strand with E26 Medium base sockets. Available in black or white with 24" O.C. spacing and 24 socket count.



Strand



120V AC



Warranty

Socket On Center Spacing	24"
Length (with male and female ends)	48'
Field Cuttable	No
Watts per Strand / Filament Light Engine	96 Watts
E26 Socket Type Count	24
Cord Type	3C x 14AWG SJTW
Operating Voltage	120V
Plug	5-15P Polarized
Available Color	Black, White
Cord Weight	7.85 lbs.
Mounting	Indoor/Outdoor



24" OC Connecting Multiple Light String On Single Run (MAX RUN)			
Light Engine	Strand Sets	Feet	Watts
Filament	8	384'	768'

Based on 10% Voltage Drop

Order Information

COMMERCIAL STRAND 24" O.C. w/24 socket count.
TCSL-S-B-24-120

48' 120V Commercial Strand BLACK cord, 24" OC spacing.

TCSL-S-W-24-120

48' 120V Commercial Strand WHITE cord, 24" OC spacing.

2 Order Your Light Engine

LED Filament Light Engine (each)				
Lifetime Hours	Watts	Lumens	Weight	Kelvin Temperature
15000	4W	400 Lm	.10lbs	2700K

Order Information

ALS-TF-T25-E26-4W-27K-6PK-R

Filament Light Engine - Sold as 6 Pack with (1) rubber O-Ring per Bulb.



CRI



E26
Medium Base



120V AC



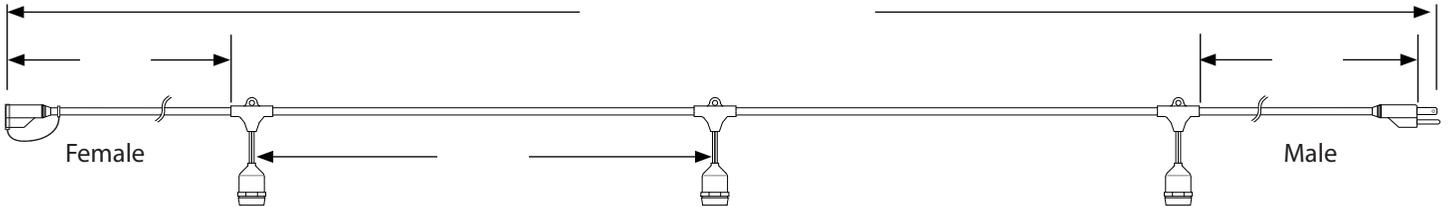
Dimmable



Note: Consult Factory for Dimmer compatibility options

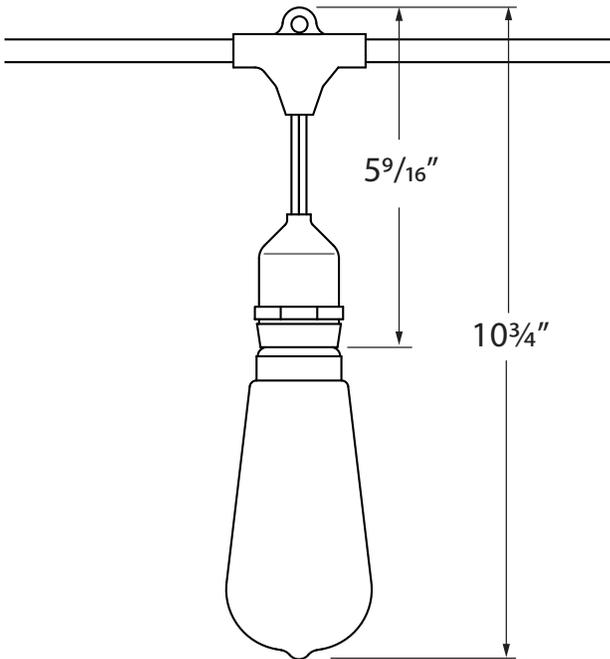


Standard Spacing and Weights



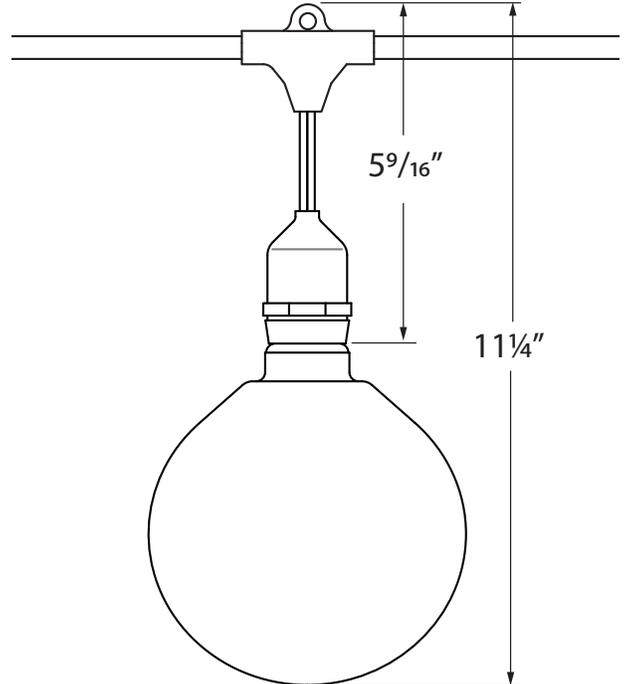
Filament Light Engine and ST19 Total Weight w/48 ft. Strand

12.65 lbs.



Filament Light Engine and G25 Total Weight w/48 ft. Strand

16.25 lbs.



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fifteen Wimbledon

DRB#: DRB-002231-2021

DATE: 10/04/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Revise the lighting plan to be compliant with the LMO requirements and submit for approval by Staff.
2. Provide an installation detail or plan for the tree and well lights that will not impact tree roots and submit for approval by Staff.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The lighting levels exceed the average allowed of 1.5 fc per the LMO with max of 10 fc.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Design Guide, page 18 “Great care should be taken to incorporate this aesthetic into the design, preserve a variety of existing native trees and shrubs, and minimize environmental impacts from development.” Provide installation detail for tree lights and well lights that will not impact tree roots.

MISC COMMENTS/QUESTIONS

1. The project received Conceptual approval on July 27.
2. An Osprey nest has been confirmed on site. Construction will need to be scheduled around nest activity per DHEC requirements.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Jeffery A. Cramer Company: Diversified Designs
 Mailing Address: 11 Jones Ave. City: Tybee Island State: Ga. Zip: 31328
 Telephone: 912-786-7945 Fax: _____ E-mail: diversifieddesigns@outlook.com
 Project Name: Crave Station Project Address: 85 Pope Ave. Hilton Head Island, Sc.
 Parcel Number [PIN]: R5 5 2 0 1 8 0 0 0 1 7 2 a 0 0 0 0
 Zoning District: Coligny Resort Overlay District(s): N/A

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

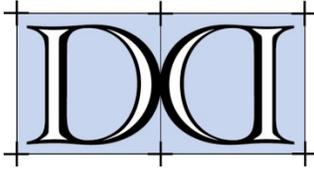
Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development. materials. colors. shadow lines and landscaping



DIVERSIFIED DESIGNS, P.C.

11 Jones Avenue
Tybee Island GA 31328

T 912.786.7945

F 912.786.7943

diversifieddesigns@outlook.com

September 10, 2021

85 Pope Ave. Food Hall Project Narrative:

We propose to design a train themed food hall at 85 Pope Ave in the Coligny Resort District. There are two existing buildings on the lot, a one-story building (716 s.f.) and a one-story building (2,620 s.f.). We propose to transform the 2,260 s.f. building into Crave Station, a food hall that serves various types of food. The restaurant will fill the vacant building and blend into the current street scape with updated landscaping, updated façade, a new parapet design, and signage. The parapet will use Meridian Metal Roof Panels in the color of Slate Gray to match the Bike shop that shares the lot. The exterior of the building will be clad in P.T 2x8 Slippy V's stained with Benjamin Moore River Reflections. The finished product will be an inviting, family friendly eating establishment for families visiting Coligny Resort. We floodproof all exterior walls of the structure to two foot above the finished elevation of 9'-0" to meet Flood Plain requirements. The restaurant will be called "Crave Station"- Food Hall. The interior will have train themed furnishings, an ordering station, and 25 seats. The restaurant will serve pizza, good food, and ice cream. There is currently no business in the building, and a restaurant at the location will bring foot traffic to the round-about for all visitors to enjoy the area.

FOREST BEACH OWNERS' ASSOCIATION, INC.

P O Box 6442

Hilton Head Island, SC 29938-6442

(843)785-5565 FAX (843) 342-3801

Email: FBAssn@gmail.com

September 2, 2021

Mr. William E. Bird, Esq. (By Email)
Bird & Smith, P.A.
1712 Saint Julian PL #102
Columbia, SC 29201

Re: 85 Pope AV – Crave Station
(Lot 5B – CFB)
Commercial Renovation –
Permit 2021-083101

Dear Mr. Bird:

Thank you for your submission for architectural review for a planned renovation of the existing commercial structure the above location. We have reviewed your request for construction, usage change and new signage at the above location. Approval of this review is based upon the following:

- 1) Our review is based upon the documents and drawings submitted to us with your application dated August 24, 2021, received on August 31, 2021, drawings dated August 19, 2021 and revisions dated September 2, 2021 and September 3, 2021
- 2) Existing structure to remain with no change in building footprint.
- 3) Parking is approved, subject to meeting the minimum number of spaces required by the Land Management Ordinance of The Town of Hilton Head Island for the type of establishment being proposed as the occupant. If counting spaces for adjacent businesses in calculations to meet minimum number of spaces for this project, a copy of the agreement between property owners &/or businesses must be provided to the ARB.
- 4) Signage is approved, subject to approval by The Town of Hilton Head Island as to size, colors and placement along with proposed lighting.
- 5) No construction, vertical, subterranean or otherwise, may be placed within any building setback or buffer, except as noted for an underground LPG tank. This includes, but is not limited to, the following: Service yards, HVAC equipment, above ground LPG storage tanks, storage yards, refuse receptacles, satellite dish/antenna, vehicle parking, decking or patios, hardscape materials or material of a non-pervious nature (e.g. cement walkways or driveways).
- 6) No exterior lighting, other than that shown on the submitted plans, is approved.
- 7) Exterior colors and finish materials along with the roofing material and color need to be submitted for approval.
- 8) All HVAC, electrical, service equipment any service yards, dumpsters and equipment must be screened from view of the street and adjacent businesses by either adequate vegetative material or constructed screening.

Any changes/additions/modifications to the submitted and approved plans must be submitted to the FBOA ARB for review and approval before construction of the change/addition/modification is begun. Failure to do so may result in a covenant violation and forfeiture of the compliance deposit. Items not shown on the submitted plans have not been reviewed and are not approved. A separate ARB application will be required. Upon the FBOA ARB's written notification of completion of work, along with the name and mailing address of the compliance deposit recipient being supplied, work performed under this permit will undergo a final inspection by the Association. Approval for any work not completed at that time will expire and a new application for FBOA ARB approval will be required. The compliance deposit will not be returned until all work approved under this application has been completed and inspected.

We have sent your ARB Building Permit to your contractor and architect and included a copy for your records. We have also provided the Town with copies of our approval for their records. We request that the permit be posted at the site during construction alongside the Town of Hilton Head Island Building Permit.

Please make a note of the additional items we require above. Failure to submit these documents for review prior to installation may cause a covenant violation, a forfeiture of your compliance deposit and a delay in completing our review procedure.

Thank you for your submission, and, please do not hesitate contact us with any questions.

Sincerely,

John D. Snodgrass

John D. Snodgrass,
Executive Director

JDS:me

Encl.

Cc: Town of Hilton Head Island, PIC – Email
Town of Hilton Head Island, Shea Ferrar – Email
Ned Gilleland – Email
Diversified Designs – Email



NO
SMOKING
For Lease
M/I Car Leasing
LEASED
843 837
for Wilkins, Wilkins

EMERGENCY STOP
115 CLEVELAND STREET FOR CENTER



For Lease
MICROLEASE
857.4460
Robert Williams - Walter Williams



ELECTRICITY ONLY
NO OTHER VEHICLES TO BE PARKED

NO PARKING
IN THIS ZONE
EXCEPT AS NOTED

AXIS



NOTES

- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- 2) AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE B-2, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 0013-D, COMMUNITY NO. 450250, MAP DATED 09/29/1986, BASE ELEVATION 14.0' (NGVD 29 DATUM). FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- 4) UNDERGROUND UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND ARE APPROXIMATE. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
- 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT, THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 6) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. IF THIS DOCUMENT IS TO BE PROVIDED AS A BASE MAP FOR OTHERS, INFORMATION ADDED AFTER THE DATE OF THIS SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- 7) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
- 8) BEARINGS AND DISTANCES SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATES AND MONUMENTS FOUND. BEARINGS AND DISTANCES IN PARENTHESIS ARE FROM REF. PLAT #1.
- 9) B.S.L. DENOTES BUILDING SETBACK LINE PER THE TOWN OF HILTON HEAD COMMUNITY DEVELOPMENT DEPARTMENT.
- 10) REFERENCE PLAT #3 (P.B. 152, PG. 57) FOR THE RIGHT-OF-WAY TAKING AND PATHWAY EASEMENT APPEARS TO HAVE AN ANGULAR ERROR ON THE POPE AVENUE BEARING. THIS PLAT REFLECTS THE RIGHT-OF-WAY TAKING AND PATHWAY EASEMENTS TO WHAT IS BELIEVED TO BE THE INTENT OF REFERENCE PLAT #3.

REFERENCE PLATS:

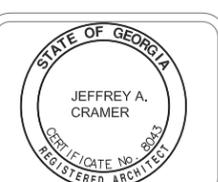
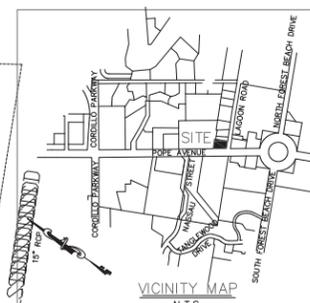
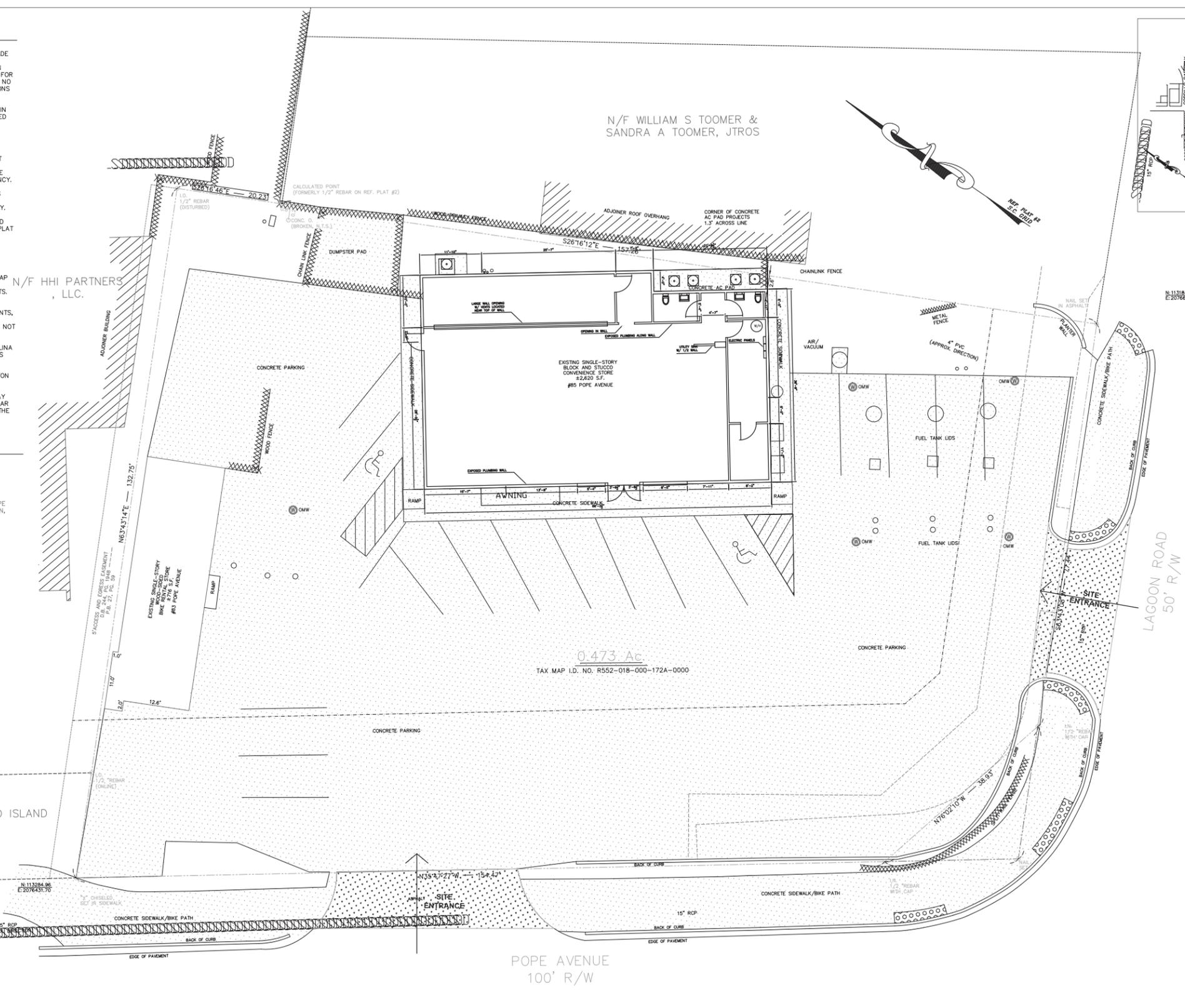
- 1) THE LANDS OF WILBERT ROLLER, A PORTION OF BLOCK 5B, FOREST BEACH SUBDIVISION, DATED: 07/06/1973, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 22, PG. 142.
- 2) ASBUILT, TREE & TOPOGRAPHIC SURVEY OF 0.480 ACRES, POPE AVENUE, A PORTION OF BLOCK 5B, FOREST BEACH SUBDIVISION, DATED: 06/08/2017, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, NOT RECORDED.
- 3) RIGHT OF WAY, PERMANENT PATHWAY EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS OVER PARCELS: R552 018 000 172A 0000, R552 018 000 172B 0000 & R552 018 000 010A 0000, LAGOON ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 05/31/2016, REVISED: 06/19/2019, BY: MARK R. RENEW, S.C.R.L.S. NO. 25437, RECORDED: P.B. 152, PG. 57, 07/15/2019.
- 4) BOUNDARY RECONFIGURATION PLAT OF HERITAGE PLAZA, TAX PARCELS R552 018 000 0319 0000, AND PARCEL R552 018 000 0193 0000, HERITAGE PLAZA, PREPARED FOR: HHI PARTNERS, LLC, DATED: 11/21/2019, LAST REVISED: 02/07/2020, BY: MARK R. RENEW, S.C.R.L.S. NO. 25437, RECORDED: P.B. 153, PG 146, 03/06/2020.

EXISTING TREES ON SITE:

PALM 6	1
PALM 10	4
PALM 15	1
PALM 16	5
PALM 18	2
LA 8	1
WO 12-B	1
GUM 8'9	1

LEGEND:

I.O.	IRON, OLD (FOUND)
I.N.	IRON, NEW (SET)
R/W	RIGHT-OF-WAY
N.T.S.	NOT TO SCALE
-SS-	SANITARY SEWER PIPE
-SD-	STORM DRAIN PIPE
-SSMH	SANITARY SEWER MANHOLE
GI	GRATE INLET
SN	SIGN
MB	MAILBOX
BOL	BOLLARD
AC	AIR CONDITIONER
S.F.	SQUARE FEET
Ac.	ACRES
TEL	TELECOMMUNICATIONS BOX
CL	CLEANOUT
PVC	POLYVINYL CHLORIDE PIPE
OMW	OBSERVATION AND MONITORING WELL
WMH	WATER MANHOLE
WM	WATER METER
LP	LIGHT POLE
RCP	REINFORCED CONCRETE PIPE
B.S.L.	BUILDING SETBACK LINE



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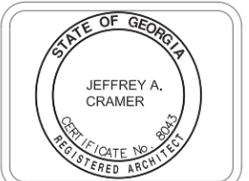
REVISIONS

DIVERSIFIED DESIGNS P.C.
 P.O. BOX 1397, 11 JONES AVE.
 TYBEE ISLAND, GA, 31328
 EMAIL: diversifiedesigns@outlook.com
 (912)786-7945 (800)868-4125
 (912)786-7944 (912)786-7943 FAX

A PROPOSED RESTAURANT @
85 Pope Ave.
 HILTON HEAD ISLAND, SC

DRAWN BY:
 CHECKED BY:
 DATE: 9/28/21
 SCALE: 1/4" = 1'
 PROJECT# 00_000_00

PERMIT
 SET C-1



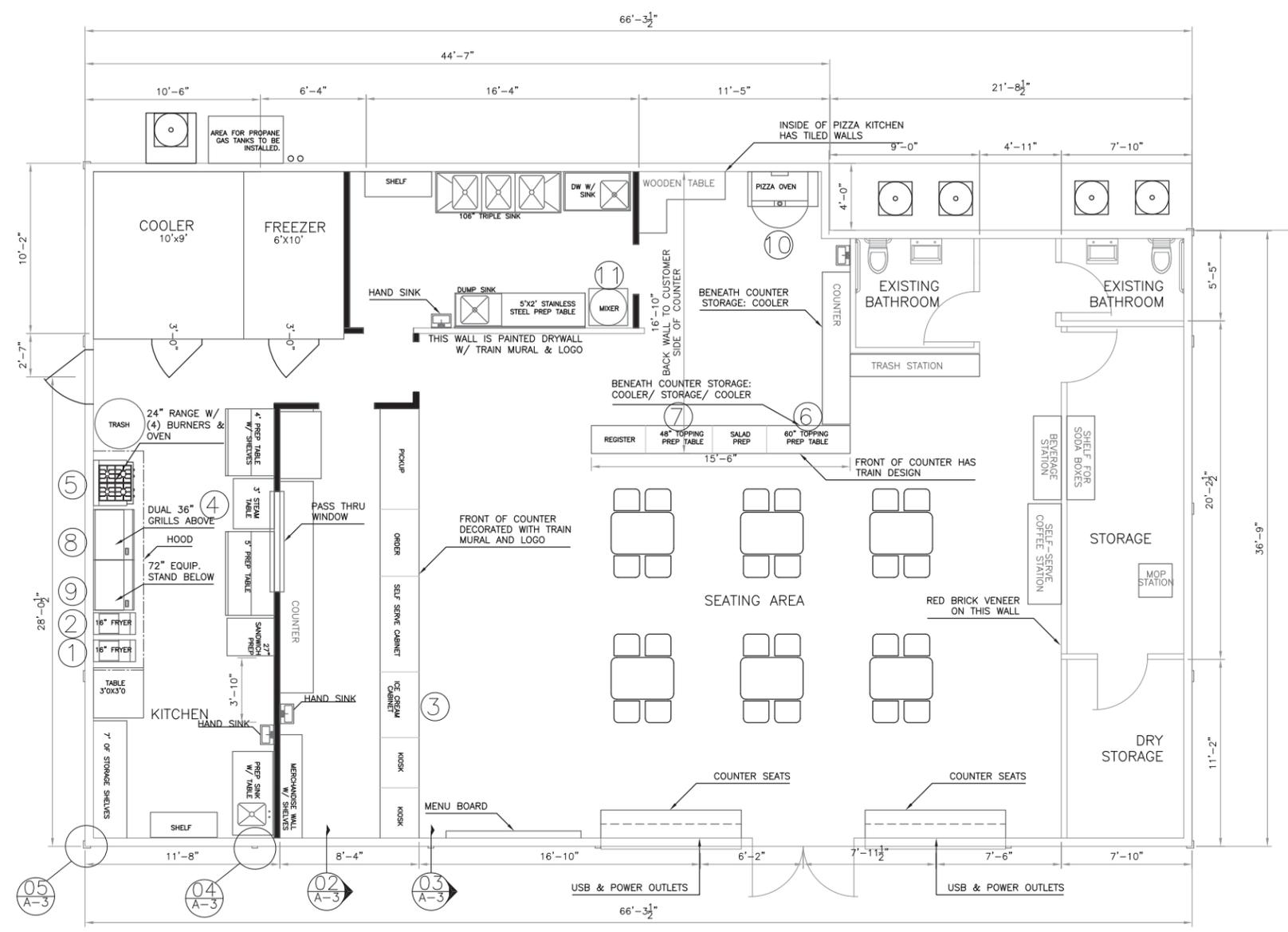
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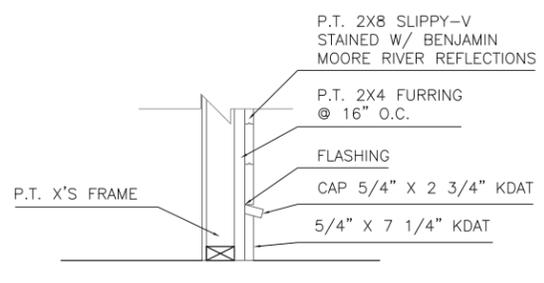
A PROPOSED RESTAURANT @
85 Pope Ave.
 HILTON HEAD ISLAND, SC

DRAWN BY:
 CHECKED BY:
 DATE: 9/28/21
 SCALE: 1/4" = 1'
 PROJECT# 00_000_00
PERMIT SET A-3

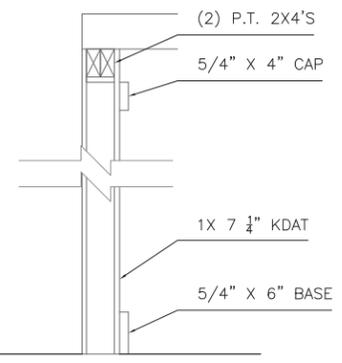


PROPOSED FLOOR PLAN (01)
 SCALE: 1/4"=1'-0"

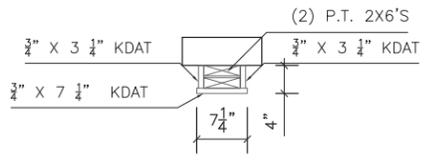
EQUIPMENT SCHEDULE				
#	ITEMS	MAKE/MODEL NUMBER	VOLTAGE/BTU/h	REMARKS
1	GAS FLOOR FRYER PROPANE	ENTRÉE F-3P	90,000 BTU	
2	GAS FLOOR FRYER PROPANE	ENTRÉE F-3P	90,000 BTU	
3	ICE CREAM DIPPING CABINET	AVANTCO ADC-8F-HC 49"	115V, 2/5 HP BTU 1091 4 AMPS	5-15P NEMA R290 REFRIDERANT
4	STEAM TABLE 3 PAN WITH UNDERSHELF	AVANTCO STE-3S	120V 1500W 150,000 BTU	5-15 NERMA PLUG
5	4 BURNER RANGE AND OVEN	CPG S24-L PROPANE.	150,000 BTU	
6	REFRIGERATED SANDWICH PREP TABLE 60"	AVANTCO APT-60-HC	115V, 1/4 HP 7.8 AMPS	R290 REFRIGERANT 5-15P NEMA PLUG 84" CORD
7	REFRIGERATED SANDWICH PREP TABLE 48"	AVANTCO APT-48-HC	115V, 1/4 HP 7.8 AMPS 1 PHASE	R290 REFRIGERANT 5-15P NEMA PLUG 84"
8	GAS GRIDDLE 36"	ADVANTCO CAG36MG	90,000 BTU 30,000 PER BURNER	2 GRIDDLES
9	REFRIGERATED EQUIPMENT STAND 72"	ASBER ASBR-ACBR-71	1/4 HP	4 DRAWER
10	PIZZA OVEN	SIERRA VOLARE 115V/60HZ/1PH	4 AMPS 90,000 BTU	STAINLESS STEEL 2 CERAMIC DECKS
11	PLANETARY MIXER	ATOSA 30QT PPM-30	2HP 115V 60HZ-1P	



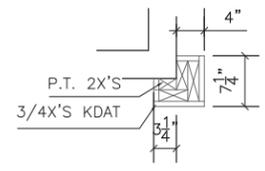
TYPICAL WALL SECTION (02)
 SCALE: 1"=1'-0"



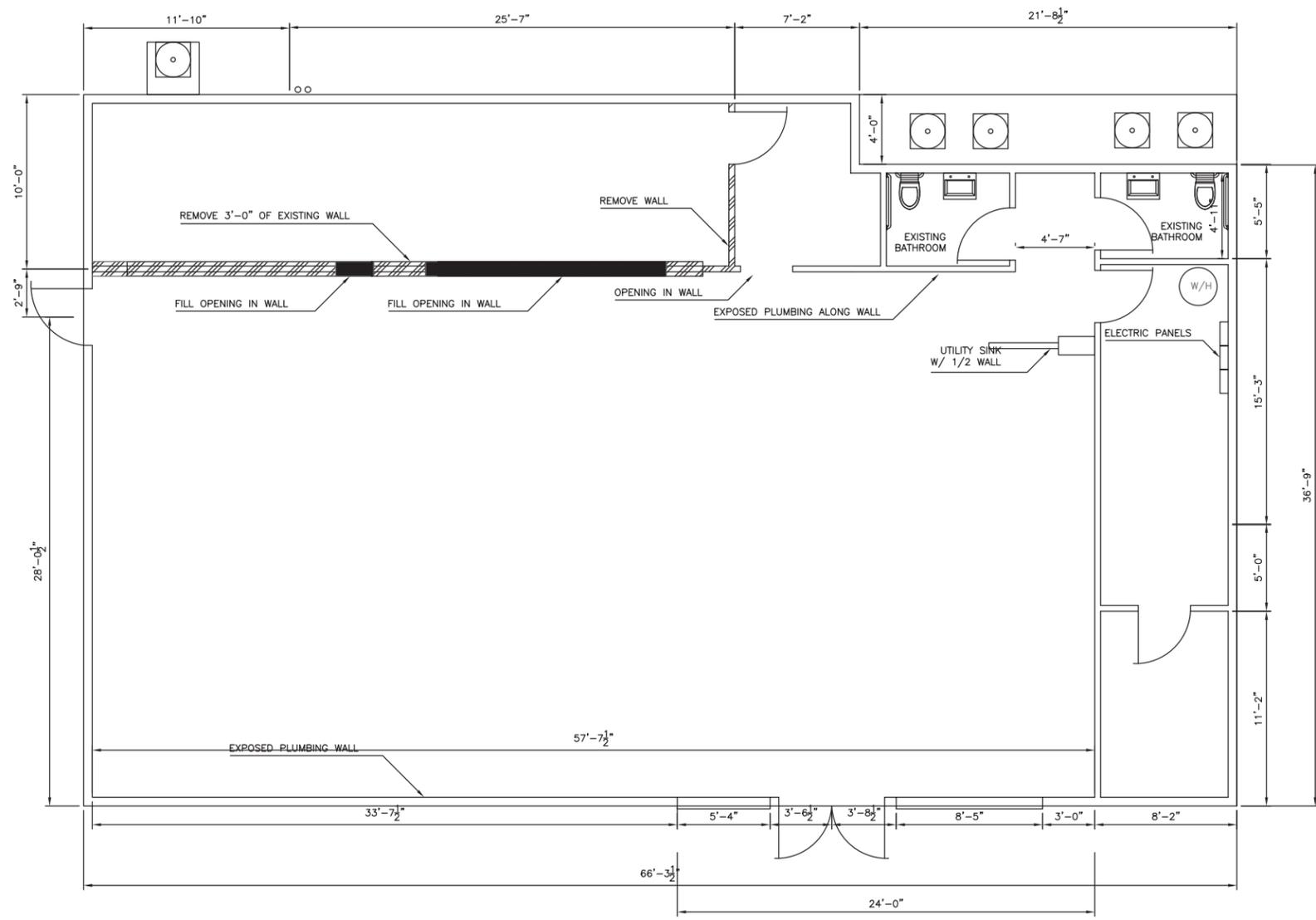
WALL SECTION @ COLUMN (03)
 SCALE: 1"=1'-0"



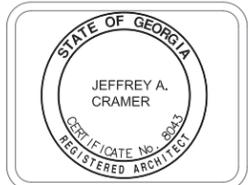
PILASTER PLAN VIEW (04)
 SCALE: 1"=1'-0"



PILASTER CORNER PLAN VIEW (05)
 SCALE: 1"=1'-0"



DEMO PLAN



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85 Pope Ave.
 HILTON HEAD ISLAND, SC

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PERMIT
 SET D-1



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REVISIONS

NO.	DESCRIPTION

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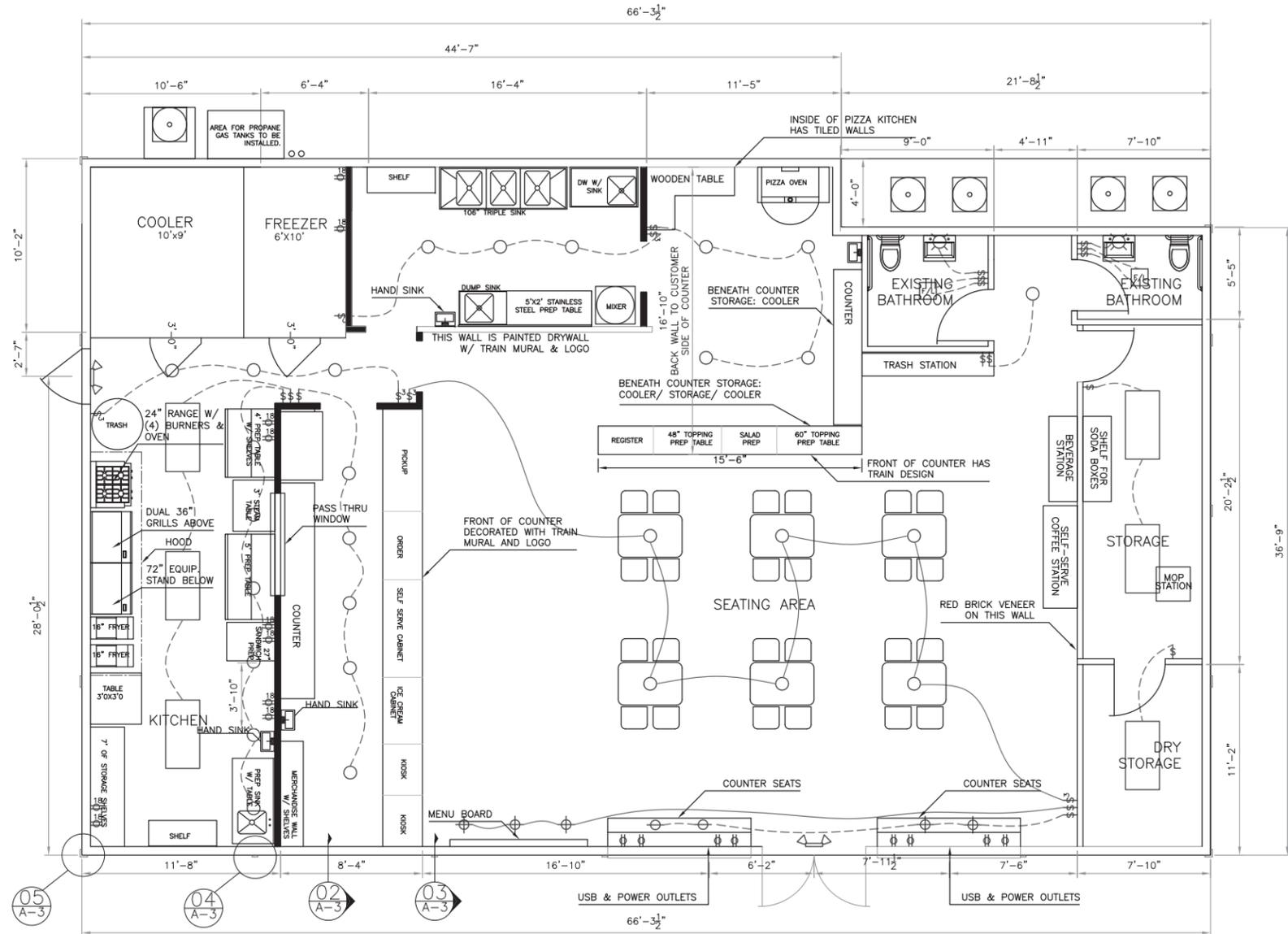
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 PROJECT# 00_000_00

PERMIT
 SET E-1

ELECTRICAL LEGEND

	SWITCH		54" WIDE CEILING FAN W/LIGHT
	3 WAY SWITCH		CHANDELIER
	4 WAY SWITCH		EMERGENCY EXIT
	DIMMER SWITCH		12" x 48" FLUORESCENT LIGHT
	18" AFF		
	220 V		
	W.P. WATERPROOF		
	GROUND FAULT INTERRUPTER		
	WATERPROOF FIXTURE		
	4" RECESSED CAN LIGHT		
	EXHAUST FAN		
	EXHAUST FAN / LIGHT		
	BREAKER PANEL		
	WALL LIGHT FIXTURE		
	PENDANT LIGHT		
	DUAL FLOOD LIGHT		



ELECTRIC FIXTURE SCHEDULE

FIXTURE	TYPE	LIGHT COLOR	COLOR TEMPERATURE	WATTS
A	6" RECESSED CAN LIGHTS W/ DIMMER	SOFT WARM WHITE	3000 K	14 W/LED
B	WESTINGHOUSE GOOSENECK WALL SCENE	WARM WHITE	3000 K	13.4 W/LED
C	2'-0 X 4'-0 TROFFER	WARM WHITE	3000 K	28 W/LED
D	AERO PURE SCENE W/FAN	WARM WHITE	3000 K	10 W

ELECTRICAL PLAN

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Crave Station

DRB#: DRB-000000-2021

DATE: 09/13/21 0929/21 10/01/21

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Consider ways to breakup the lap siding on the East and South Elevations (consider adding vertical trim boards). DG page 13 "The form or shape of structure should avoid monotonous unbroken planes or unrelieved repetition of shape." "Architectural form and detailing must be used to reduce the appearance of the mass of the structure."
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The arc addition to the mansard wall, calls more attention to that feature of the building and will appear very two dimensional and fake. Staff suggest creating an element that is proud of the mansard wall to break up the wall (see Slap Fish as an example). Consider not extending higher than the current building height. DG page 15 "Architectural details must be given significant consideration... Their purpose should be to provide visual interest, human scale, and architectural expression. Elements such as shutters or dormers should be functional so as not to appear as false features."

Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff thinks the Slate Gray metal is more current.
--	--------------------------	-------------------------------------	--------------------------	--

MISC COMMENTS/QUESTIONS

Provide a dimensioned site plan that:

- ~~1. Provides paved connection to the Lagoon Rd. sidewalk east of the building. Relocate the bike racks that block access from the pedestrian path.~~
- ~~2. Simplify the proposed curb alignment. 1. The curb alignment should appear seamless at the vehicular access off Lagoon. 2. Add an arch to the curb on the left side of the crosswalk from the Pope Lagoon intersection.~~
- ~~3. Provides dimensions (parking stalls, drive isles, sidewalks, etc.). Add dimensions to the parkin stall depth (18' per LMO) and reduce the drive isle to 24' width. Any additional space should be added to the planting area between the parking lot and Pope Ave. path. DG page 19 "The top priority for the location of existing trees and new trees are street buffers, parking lots, and the area between parking lots and structures. This is a major component of Island Character."~~
- Labels new and proposed curbs, pavement, etc. Is the sidewalk adjacent to the building, at the end of the crosswalk behind a new raised curb?
- ~~5. Add tree to the Pope Lagoon intersection planting area (Bald Cypress to mirror planting across Lagoon) and to the Lagoon planting area. DG page 19 "The top priority for the location of existing trees and new trees are street buffers, parking lots, and the area between parking lots and structures. This is a major component of Island Character."~~

~~Enlarge the planted area at the corner of Lagoon and Pope by deleting the sidewalk adj. to the parking lot. DG page 19 "The top priority for the location of existing trees and new trees are street buffers, parking lots, and the area between parking lots and structures. This is a major component of Island Character."~~

[This project will require a Minor DPR.](#)

[This Project may require a SCDOT Encroachment Permit for the landscaping and sidewalk connection.](#)



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: PDG|Architects
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29938
 Telephone: (843) 785-5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: Hudson Commercial Building Renovation Project Address: 171 Squire Pope Rd.
 Parcel Number [PIN]: R 5 1 1 0 0 7 0 0 0 0 0 2 B 0 0 0 0
 Zoning District: WMU - Water Oriented Mixed Use Overlay District(s): OCRM High Tide

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

9-27-21

DATE

September 28, 2021

Town of Hilton Head Island
Design Review Board
Community Development Department
One Town Center Court
Hilton Head Island SC 29928



re: Hudson Commercial Building Renovation
171 Squire Pope Rd.
R511 007 000 002B 0000

Project Summary

We are partially demolishing the commercial building on the Benny Hudson Seafood property and constructing a new front elevation for the structure. This project is part of a number of improvements to the site to maintain conformance with the property's restrictive covenants, which allow 19,000 sq. ft. of non-residential GFA. A waterfront restaurant has been submitted to the DRB as a separate project, and its scope will cover the parking lot work and site lighting.

Design Narrative

The new face of the commercial building is designed to reinforce the working waterfront experience of the site. The concept uses the existing materials while creating visual interest consistent with the rest of the property. The pair of large barn doors provide a focal point reminiscent of a waterfront boat repair shop. The new entry to Suite B is moving from the drive aisle to the parking lot on the street facade. A canopy roof overhead is consistent with those proposed for the new market and restaurant buildings. Two windows have been added to the entry drive elevation to break up the long run of siding.

Declarant shall execute and record this "Declaration of Restrictive Covenants"; and,

WHEREAS, Barbara Hudson, for herself and her heirs, successors and assigns, consents to be bound by this Declaration, and further represents and warrants that she has received good and valuable consideration from The Town of Hilton Head Island, South Carolina, to induce her to agree to be bound by the terms and conditions of this Declaration.

NOW THEREFORE, Declarant hereby declares that the Real Property shall be held and transferred subject to the following restrictive covenants, which shall run with the land and be binding on Barbara Hudson, her heirs, successors and assigns, and any future owner of all or any part of the Real Property.

ARTICLE 1 - DEFINITIONS

1. When used in this "Declaration of Covenants and Restrictions," the following words shall have the meaning set forth below.

1.01 **Approved Dock:** A dock for which Barbara Hudson has, as of the date of this Declaration, filed an application with the South Carolina Department of Health and Environmental Control, known as Application Number 00-10-165-P, dated July 12, 2001, but which has not been built as of the date of this Declaration.

1.02 **Building:** Any structure having a roof supported by columns or walls and intended for the shelter, housing or enclosure of any person, process, equipment or goods. Each portion of a building separated from other portions by a firewall shall be considered as a separate building.

1.03 **Declaration:** This "Declaration of Restrictive Covenants".

1.04 **Declarant:** The Declarant is Barbara Hudson.

1.05 **Existing Docks:** The existing docks, including existing structures on the docks,

connected to the Real Property as approved by the South Carolina Department Of Health and Environmental Control or the Town of Hilton Head Island, South Carolina, as of December 3, 2002.

1.06 **Future Dock:** Any expansion of the Approved Dock or Existing Docks. Any Future Docks shall be subject to all applicable federal, state and local permitting requirements and shall further be subject to all requirements, including but not limited to those relating to parking, open space, buffers and density, of the Town of Hilton Head Island, South Carolina, Land Management Ordinance [§ 16-1-101, *et seq.*, *Code of the Town of Hilton Head Island, South Carolina* (1983)], or such land use ordinances as may be in effect at that the time any application to permit any Future Docks is made.

1.07 **Marina:** A harbor, boat basin, dock or other facility, including the Existing Docks, Approved Dock and Future Dock, which provides storage, or docking facilities, supplies or other services, including facilities for storage of water craft in or out of the water. Services for water craft under this definition of "Marina" include the following:

(a) Fueling of water craft from the Existing Dock, or Approved Dock; provided, however, that no fuel is kept or stored on the dock. All fuel must be kept or stored in tanks approved for the storage or keeping of fuel on shore or aboard water craft.

(b) Repairs and maintenance of water craft utilizing the existing "skid" and existing lift located on the Real Property (hereinafter defined) as of April 1, 2001. The area where repairs and maintenance are conducted is currently screened from view from Squire Pope Road by an existing building and an existing vegetative screen. The existing vegetative screen shall be maintained so as to eliminate visibility of the maintenance and repair area from Squire Pope Road; provided, however, that it shall not be deemed a violation of this Article 1.07(b) if particularly

large boats that may be at the Real Property for maintenance or repair are partially visible from Squire Pope Road over the vegetative screen or the existing building. In the event that the existing building that currently screens all or any part of the lift or "skid" area is demolished and is not replaced by another building, the area shall be screened by creating additional vegetative screening consistent with the terms of this Article 1.07(b).

(c) Construction of Small Water Craft. Any construction of Small Water Craft must be conducted so as not to be visible from Squire Pope Road.

(d) As used herein, "Marina" shall not include any commercial operation for the storage, service or rental of recreational water craft owned by or to members of the general public, other than eight slips which are available for lease to members of the general public as of the date hereof. No further expansion of the rental of slips shall be undertaken unless the same shall be in full compliance with all requirements, including but not limited to those relating to parking, open space, buffers and density, of the Town of Hilton Head Island, South Carolina, Land Management Ordinance [§ 16-1-101, *et seq.*, *Code of the Town of Hilton Head Island, South Carolina* (1983)], or such land use ordinances as may be in effect at the time any application for such expansion is made.

(e) As used herein, "Marina" shall include the storage of water craft owned by any owner of any residential lot within the Real Property.

(f) As used herein, "Marina" shall include the offering of commercial boat charters to the general public using water craft other than "jet skis", kayaks, canoes

or “para-sailing” boats, provided that the establishment of any such commercial boat charter operation shall be in full compliance with all requirements, including but not limited to those relating to parking, open space, buffers and density, of the Town of Hilton Head Island, South Carolina, Land Management Ordinance [§ 16-1-101, *et seq.*, *Code of the Town of Hilton Head Island, South Carolina* (1983)], or such land use ordinances as may be in effect at that the time any application for such expansion is made.

1.08 **Marina Store:** A retail sales establishment providing goods and services used or useful to boaters and fishermen, including sales of Small Water Craft (hereinafter defined). Any Small Water Craft offered for sale at a Marina Store must be stored and displayed inside the Marina Store. Display and storage of such Small Water Craft out of doors is specifically prohibited. As used herein, “Marina Store” shall include as an accessory use a separate storage room for the inventory of the Marina Store. The square footage of the Marina Store and any accessory store room shall count against the non-residential square footage limits established herein.

1.09 **Minor Utility:** Infrastructure services that need to be located in or near the area where the service is to be provided, such as water and sewer pumping stations, storm water retention and detention facilities and telephone exchanges, but not telecommunications towers.

1.10 **Real Property:** The real property encumbered by this Declaration is described as follows:

All that certain piece, parcel or lot of land with buildings and improvements thereon, situate, lying and being on Hilton Head Island, Beaufort County, South Carolina, containing 2.69 acres, more or less, as shown on the plat thereof entitled “plat of 2.69 Acres Located in Cotton Hope Plantation, Hilton Head Island, Beaufort County, South Carolina, Surveyed for J. B. Hudson, Jr., dated December 18, 1975 and

prepared by Coastal Surveying, Inc., and which is recorded in the Office of the Register of Deeds for Beaufort County, South Carolina, in Plat Book 26 at Page 101.

AND ALSO:

All that certain piece, parcel or lot of land with buildings and improvements thereon, situate, lying and being on Hilton Head Island, Beaufort County, South Carolina, containing 1.521 acres, more or less, as shown on the plat thereof entitled "A Plat of Parcel A & B of a Portion of the Laura Drayton Property" which is recorded in the Office of the Register of Deeds for Beaufort County, South Carolina, in Plat Book 28 at Page 213.

- 1.11 **Restaurant:** An eating establishment providing for on premises consumption only of prepared food and alcoholic beverages and providing indoor entertainment. As used herein, "Restaurant" shall also include a gift shop ancillary to the Restaurant. The square footage of any exterior decks, patios, porches or the like that can be utilized as seating areas for patrons of the Restaurant shall count against the non-residential square footage limits established. An eating establishment with a "drive-through" is not included in this definition of "Restaurant" and is specifically prohibited. As used herein, "Restaurant" shall include as an accessory use a separate storage room for the inventory of the Restaurant. The square footage of the Restaurant and any accessory store room shall count against the non-residential square footage limits established herein.
- 1.12 **Seafood Processing and Sales:** The preparation of fresh seafood for retail sale and/or distribution to restaurants or grocery stores and other wholesale buyers. As used herein, "Seafood Processing and Sales" shall include as an accessory use a separate storage room for the inventory of the Seafood Processing and Sales. The square footage of the Seafood Processing and Sales and any accessory store room shall count against the non-residential square footage limits established herein.
- 1.13 **Single Family Attached Residence:** A building containing one dwelling unit that

Hudson Property

171 Squire
Pope

is attached to one or more other buildings containing one dwelling unit.

1.14 **Single Family Detached Residence:** A building containing one dwelling unit that is free standing.

1.15 **Small Water Craft:** Any water craft having a total length of no more than twenty (20') feet; provided, however, that "Jet Skis" or similar craft, Kayaks or Canoes are excluded.

1.16 **Warehouse:** A building used for the storage of goods. No on site or retail sales are permitted from a Warehouse; provided, however, that the Warehouse use will be permitted only as an accessory to an approved and permitted use on the Real Property.

ARTICLE 2 - PERMITTED USES ON THE PROPERTY

2.01 From and after the date of this Declaration, only those uses that are expressly permitted in this Article 2 shall be permitted on or in the Real Property. Unless a use is specifically and expressly permitted by this Declaration, it shall not be permitted on or in the Real Property.

2.02 Any Development of the Real Property shall be limited to the uses and densities set forth below:

(i) **Residential:** Up to four (4) Single Family Detached or Single Family Attached Residences.

(ii) **Non-Residential:** A maximum of nineteen thousand (19,000) square feet of non-residential square footage. Except as is expressly provided in Article 2.03 below, whether or not expressly stated in the definition for any particular use, the square footage of any non-residential use established on the Real Property shall count against this cap; provided, however, that one five hundred (500) square foot garage associated with the residential uses shall not count against this cap.

(iii) Only the following non-residential uses are permitted on any part of the Real Property: Restaurant and ancillary gift shop, Marina, Marina Store, Minor Utility, Seafood Processing and Sales. However, the Restaurant and ancillary gift shop use shall only be permitted commencing the earlier of ten (10) years from the date hereof, or the date of death of Barbara Hudson.

 (iv) The existing warehouse and office uses on the Real Property are existing non-conforming uses and as such, are subject to all provisions of the Town of Hilton Head Island, South Carolina, Land Management Ordinance [§ 16-1-101, *et seq.*, *Code of the Town of Hilton Head Island, South Carolina* (1983)], or such land use ordinances as may be in effect at any particular time, governing non-conforming uses. Any non-conforming use shall count against the square footage limitation set forth herein.

2.03 The Existing and Approved Docks are permitted as a Marina and shall not count against the square footage limitation set forth herein, however, parking requirements imposed by the Land Management Ordinance [§ 16-1-101, *et seq.*, *Code of the Town of Hilton Head Island, South Carolina* (1983)], for the Town of Hilton Head Island, South Carolina, for the Marina operated on or about the Existing and Approved Docks and any uses associated with the Existing and Approved Docks must be met on the Real Property.

2.04 The Declarant and the Town expressly intend to amend this Declaration in good faith negotiations to provide for other uses on or in the Real Property in the event of natural or other disaster that causes or requires a cessation of the commercial shrimping industry in and around Hilton Head Island. Any such amendment to this Declaration shall be accomplished in accordance

with the requirements of Article 7.02, below.

ARTICLE 3 - HEIGHT LIMITATIONS ^{QR BK 01704} PAGE 0946

3.01 Except as is expressly provided in Article 3.02 below, no building on the Real Property shall have more than two habitable stories above grade; provided, however, that a Single Family Attached or Detached Residence may have two habitable stories over parking.

3.02 The height limitation of Article 3.01 notwithstanding, the Declarant shall be permitted to build a combination lighthouse and Single Family Detached Residence that may exceed two habitable stories above grade. This building shall count as one of the our (4) single family residences permitted in Article 2, above. This combination lighthouse and Single Family Detached Residence may only be used as a single family residence, and for no other purpose.

ARTICLE 4 - GENERAL PROVISIONS

4.01 Should any covenant or restriction contained in this Declaration, or any part, article, section, paragraph, subparagraph, sentence, clause, phrase or term in this Declaration be declared to be void, invalid, illegal or unenforceable for any reason by the adjudication of the highest court or other tribunal of jurisdiction which considers such matter, such judgment shall in no way affect the other provisions hereof which are hereby declared to be severable.

4.02 When necessary for proper construction, the masculine form of any word used in this Declaration shall include the feminine or neuter gender, and the singular, the plural and vice versa, and words used in the present tense shall include the future tense.

4.03 Failure to enforce any provision of this Declaration shall not operate as a waiver of any such provision or of any other provisions of this Declaration.

4.04 This Declaration shall be governed by the laws of the State of South Carolina.

4.05 The captions or headings herein are for convenience only and in no way define, limit or describe the scope or intent of any provision of this Declaration.

4.06 Where appropriate, the use of the singular herein shall include and be deemed to be the plural, and the use of the plural herein shall be deemed to include the singular.

4.07 All notices, applications, requests, certificates or other communications hereunder shall be sufficiently given and shall be deemed given when delivered in person, or mailed by regular first class mail, postage prepaid (in such case, delivery shall be deemed complete upon mailing), addressed as follows, or to such other place as may be designated in writing by the parties:

To Town: THE TOWN OF HILTON HEAD ISLAND
 Stephen G. Riley, Town Manager
 One Town Center Court
 Hilton Head Island, SC 29928

To Declarant: Barbara Hudson
 c/o John W. Wilson, Esq.
 Post Office Drawer 21668
 Hilton Head Island, SC 29925-1668

ARTICLE 5 - ENFORCEMENT

5.01 The Declarant affirmatively represents and warrants that The Town of Hilton Head Island, South Carolina, has paid the Declarant good and valuable consideration to the Declarant to induce the Declarant to encumber and burden the Real Property with the Declaration of Covenants, and that The Town of Hilton Head Island, South Carolina, has standing to enforce each and every provision of this Declaration, and shall be entitled to enforce the full and faithful performance of any or all of the terms and provisions of this Declaration. Accordingly, in addition to any other remedy for breach of a restrictive covenant provided by law to any person claiming by, through, or under Declarant, The Town of Hilton Head Island, South Carolina, and their successors or assigns, or any

of them jointly, shall have the right to proceed at law or in equity to compel compliance with the terms hereof or to prevent the violation or breach of any of them. The right of enforcement held by The Town of Hilton Head Island, South Carolina, may be assigned by The Town of Hilton Head Island, South Carolina, to any other governmental or public agency, and upon such assignment, the Assignee shall have the right to enforce the provisions hereof.

5.02 In the event that it becomes necessary for the Declarant or The Town of Hilton Head Island, South Carolina, to take legal action for the enforcement of any term or provision hereof, the Declarant or The Town of Hilton Head Island, South Carolina, shall, in addition to any other remedy, be entitled to recover from the defaulting or breaching party all costs and expenses of enforcement thereof, including reasonable attorney's fees and costs of suit.

5.03 Nothing contained herein shall be deemed to require or obligate The Town of Hilton Head Island, South Carolina, to take action to enforce this Declaration, and no property owner or all or any part of the Real Property may take any action to seek to force Declarant or The Town of Hilton Head Island, South Carolina, to take such action.

ARTICLE 6 - BINDING EFFECT AND DURATION

6.01 This Declaration shall run with the Property and shall be binding upon the parties hereto, their heirs, successors and assigns, and all persons claiming by, through or under them for a period of twenty-five (25) years from the date this Declaration is recorded, after which time this Declaration shall be automatically extended for successive periods of ten (10) years unless an instrument signed by all of the then owners of one hundred percent of the Real Property and by The Town of Hilton Head Island, South Carolina, has been recorded, agreeing to change the said Declaration in whole or in part.

ARTICLE 7 - ASSIGNMENT AND MODIFICATION

7.01 The rights hereunder held by The Town of Hilton Head Island, South Carolina, may be assigned by The Town of Hilton Head Island, South Carolina, to any other governmental or public agency, and upon such assignment, the Assignee shall have the right to enforce the provisions hereof.

7.02 The provisions of this Declaration may be changed by affirmative, written agreement of The Town of Hilton Head Island, South Carolina, and the owner or owners of one hundred percent of the Real Property. Approval of any such change by The Town of Hilton Head Island, South Carolina, shall be by resolution adopted by affirmative majority vote of The Town Council for The Town of Hilton Head Island, South Carolina. Any changes to this Declaration shall be executed by both The Town of Hilton Head Island, South Carolina, and the owners of one hundred percent of the Real Property, and recorded in the Office of the Register of Deeds for Beaufort County, South Carolina. Changes to this Declaration shall be effective as of the date and time of recording.

ARTICLE 8 - RIGHT OF FIRST REFUSAL

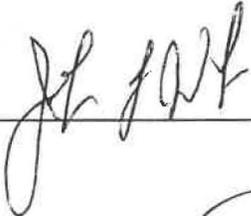
8.01 In the event that the Declarant receives any bona fide offer to purchase all or any part of the Real Property, the Declarant shall, with full disclosure to the intended purchaser, first offer the Real Property for sale to the Town of Hilton Head Island, South Carolina, at the same price and under the same terms as any such bona fide offer. The Town of Hilton Head Island, South Carolina, shall have thirty (30) days from the date of receipt of the offer to notify Declarant that it will exercise its option to purchase the Real Property, and shall thereafter have thirty (30) days to close the transaction. Should the Town of Hilton Head Island, South Carolina, fail or refuse to exercise its option as set forth in this Article 8.01, then the Declarant shall have the right to sell the property under the exact

price, terms and conditions of the bona fide offer as disclosed to the Town of Hilton Head Island, South Carolina, provided, however, that any such sale shall be subject to the terms and conditions of this Declaration.

IN WITNESS WHEREOF, the Declarant and The Town of Hilton Head Island, South Carolina, by and through its duly authorized officers, have duly executed this Declaration of Restrictive Covenants on this 29 day of January, 2003.

WITNESSES:

BARBARA HUDSON



By: 
_____ **Barbara Hudson**



Its: _____

WITNESSES:

**THE TOWN OF HILTON HEAD ISLAND,
SOUTH CAROLINA**

A handwritten signature in cursive, appearing to read "James D. People", written over a horizontal line.

By: A handwritten signature in cursive, appearing to read "Thomas D. People", written over a horizontal line.

A handwritten signature in cursive, appearing to read "Stephen D. People", written over a horizontal line.

Its: A handwritten signature in cursive, appearing to read "Stephen D. People", written over a horizontal line.

STATE OF SOUTH CAROLINA

)

UNIFORM ACKNOWLEDGMENT

COUNTY OF BEAUFORT

)

S. C. CODE ANN. § 30-5-30 (SUPP. 2002)

I, the undersigned Notary Public do hereby certify that Thomas D. Peeples, Mayor, and Stephen G. Riley, Town Manager, personally appeared before me on this day and duly acknowledged the execution of the foregoing instrument on behalf of The Town of Hilton Head Island, South Carolina.

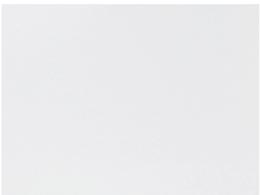
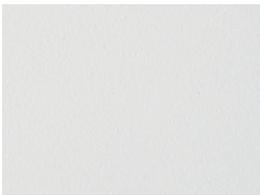
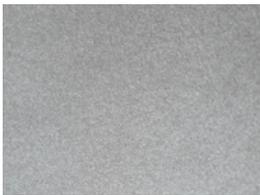
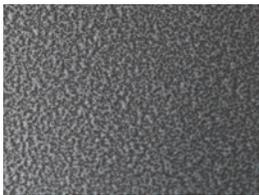
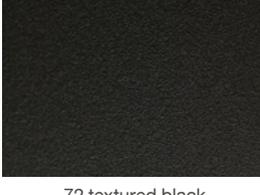
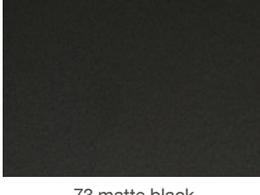
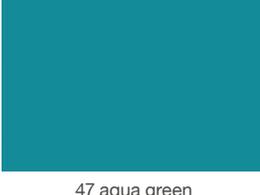
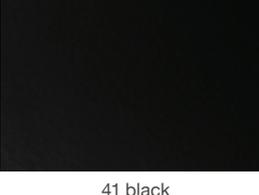
Sworn to and Subscribed before me on this 24 Day of January, 2003.



Notary Public for South Carolina

My Commission Expires: ~~My Commission Expires~~
May 14, 2007

standard colors

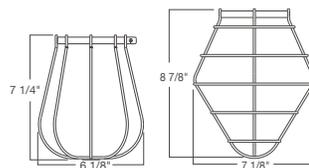
				
44 white 107 marine grade	77 textured white 127 marine grade	56 silver 109 marine grade	78 textured silver 124 marine grade	49 painted galvanized
				
70 painted chrome 118 marine grade	46 sunny yellow 123 marine grade	43 bright red 114 marine grade	42 forest green 102 marine grade	52 patina verde 104 marine grade
				
61 black verde 106 marine grade	45 bright blue 112 marine grade	50 navy 111 marine grade	71 painted copper 105 marine grade	51 architectural bronze 103 marine grade
				
76 textured architectural bronze 121 marine grade	72 textured black 108 marine grade	73 matte black 125 marine grade	11 cantaloupe 131 marine grade	10 aspen green 130 marine grade
				
47 aqua green 120 marine grade	12 lilac 133 marine grade	53 copper clay 100 marine grade	41 black 101 marine grade	13 putty 132 marine grade

premium designer color



81 extreme chrome
129 marine grade

accessories



wire lamp guards
GUP120 | GUP110

optional color cords — Visit ANPlighting.com/content/r/m-metal-shade-lighting/all-accessories-2/color-cords for more details.





HUDSON COMMERCIAL BLDG. - ENTRY CORNER



HUDSON COMMERCIAL BLDG. - BACK CORNER

Neighboring Uses & Architectural Styles
BENNY HUDSON SEAFOOD
LOCAL SEAFOOD MARKETPLACE

Hilton Head Island, SC
9/28/2021

pdg ARCHITECTS
parkerdesigngrouparchitects
843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928



HUDSON COMMERCIAL BLDG. - ADJACENT PROPERTY LINE



MARINE TECH BUILDING (PARTIAL DEMOLITION TO BE SUBMITTED SEPARATELY)



167 SQUIRE POPE (NEIGHBOR TO LEFT)



191 SQUIRE POPE (NEIGHBOR TO RIGHT)



195 SQUIRE POPE RD.

Neighboring Uses & Architectural Styles
BENNY HUDSON SEAFOOD
LOCAL SEAFOOD MARKETPLACE

Hilton Head Island, SC
9/28/2021



150 SQUIRE POPE RD.

Neighboring Uses & Architectural Styles
BENNY HUDSON SEAFOOD
LOCAL SEAFOOD MARKETPLACE

Hilton Head Island, SC
9/28/2021

pdg ARCHITECTS
parkerdesigngrouparchitects
843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928



164 SQUIRE POPE RD.



2 MURRAY AVE.



196 SQUIRE POPE RD.



EXISTING RAIL LINE BOAT SERVICE RAMP



EXISTING WATERFRONT

ASPHALT SHINGLES

EXISTING TO REMAIN



ROOF CANOPY

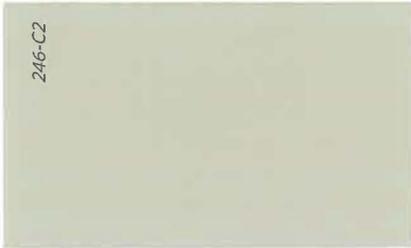
SILVER (PMM0467)
MITCHELL METALS



BOARD & BATTEN SIDING

(EXISTING COLOR)

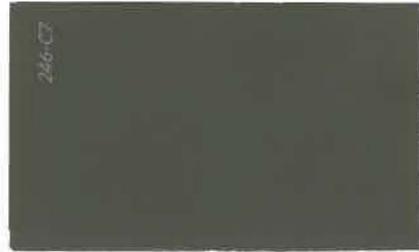
ANALYTICAL GRAY (SW 7051)
SHERWIN WILLIAMS



TRIM, FASCIA, BARN DOORS

(EXISTING COLOR)

ENDURING BRONZE (SW 7055)
SHERWIN WILLIAMS



WINDOWS

BRONZE
PLYGEM

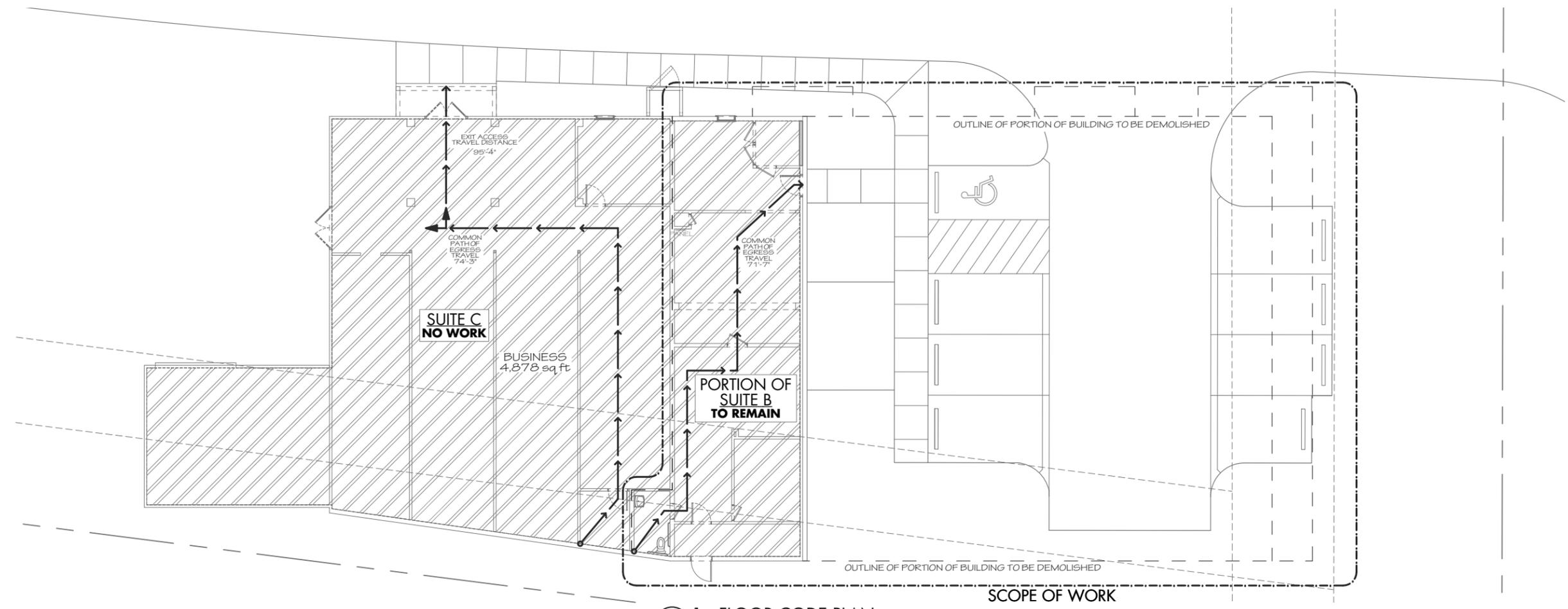


STOREFRONT DOOR

CLEAR ANODIZED
YKK AP



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1 1st FLOOR CODE PLAN
CO SCALE: 1/8" = 1'-0"

HUDSON COMMERCIAL BUILDING

171 Squire Pope Rd., Hilton Head Island, SC 29926

INDEX OF DRAWINGS:		REVISED	DATE	BY	REVISION
TITLE & CODE SUMMARY	CO COVER SHEET				
SITE	AS101 SURVEY AS102 SITE PLAN				
LANDSCAPE PLAN	1 OF 1 LANDSCAPE PLAN				
DEMOLITION	D101 DEMO FLOOR PLAN				
ARCHITECTURE	A101 FIRST FLOOR PLAN A102 SECOND FLOOR PLAN A103 ROOF PLAN A201 ELEVATIONS A301 WALL SECTIONS & DETAILS				

ToHHI ZONING SUMMARY:

ZONING DISTRICTS:
WMU - WATER-ORIENTED MIXED USE
OVERLAY DISTRICT: COD - OCRM HIGH TIDE

MAXIMUM DENSITY:
SEE SITE PLAN

FLOOD ZONE:
FIRM FLOOD ZONE: ZONE X
BASE FLOOD ELEVATION: NO REQUIRED B.F.E.
DESIGN FLOOR ELEVATION: 11'-0" AMSL
FINISHED FLOOR HEIGHT: 13'-0" AMSL

BUILDING HEIGHT:
MAX. ALLOWABLE BUILDING HEIGHT: 75'-0" ABV. PRE-DEVELOPMENT GRADE
ADJACENT USE SETBACK:
PROPOSED BUILDING HEIGHT: UNCHANGED, ±26'-2"

IMPERVIOUS COVERAGE:
SEE SITE PLAN

PROJECT TEAM:

ARCHITECT:
PARKER DESIGN GROUP | ARCHITECTS
PO BOX 5010
HILTON HEAD ISLAND, SC 29928
(843) 785-5171

LANDSCAPE & LAND PLANNING:
PATRICK ROONEY ASSOCIATES, INC.
PO BOX 2197
HILTON HEAD ISLAND, SC 29925
(843) 681-4009

STRUCTURAL ENGINEER:
CRANSTON ENGINEERING
14 WESTBURY PARK WAY
SUITE 202
BLUFFTON, SC 29910
(843) 815-3191

CIVIL ENGINEERING:
CRANSTON ENGINEERING
14 WESTBURY PARK WAY
SUITE 202
BLUFFTON, SC 29910
(843) 352-7770

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER:
DALON ENGINEERING
2611 SOUTHSIDE BLVD
BEAUFORT, SC 29502
(843) 271-8011

CODE SUMMARY:

BUILDING CODES
INTERNATIONAL BUILDING CODE: 2018
INTERNATIONAL FIRE CODE: 2018
INTERNATIONAL PLUMBING CODE: 2018
INTERNATIONAL MECHANICAL CODE: 2018
INTERNATIONAL FUEL GAS CODE: 2018
INTERNATIONAL ENERGY CONSERVATION CODE: 2009
NATIONAL ELECTRICAL CODE: 2017 (NFPA 70)

(ALL CODES WITH SC MODIFICATIONS)

DESCRIPTION OF WORK:
PARTIAL DEMOLITION OF AN EXISTING OFFICE BUILDING & ASSOCIATED RENOVATIONS

CONSTRUCTION:
EXISTING STRUCTURE IS CMU BEARING WALL CONSTRUCTION W/ WOOD ROOF STRUCTURE & WOOD INTERIOR WALL FRAMING. NEW END WALL CONSTRUCTION IS WOOD FRAMING

OCCUPANCY CLASSIFICATION: BUSINESS (B)
CONSTRUCTION: TYPE II-B
SPRINKLERED/NO: AUTO. SPRINKLER SYSTEM NOT PROVIDED (IBC 903.5)

GROSS BUILDING AREA:
CONDITIONED AREA: 4,878 SQ. FT.
UNCONDITIONED AREA: 98 SQ. FT.
TOTAL GROSS AREA: 4,935 SQ. FT.

TRAVEL DISTANCE
EXIT ACCESS DESIGN REQUIREMENTS PER BUSINESS (B), NON-SPRINKLERED

EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2)	ALLOWABLE	ACTUAL
MAX. OCC. LOAD OF SPACE W/ SINGLE EXIT (IBC 1006.2.1)	49	200'-0"
MAX. COMMON PATH OF EGRESS (IBC 1006.2.1)	75'-0"	74'-3"
DEAD END CORRIDOR (IBC 1020.4)	20'-0"	0'-0"

ALLOWABLE HEIGHT & AREA
(PER IBC TABLES 504.3, 504.4, & 506.2)

HEIGHT:	ALLOWABLE	ACTUAL
STORIES:	40 FT.	117'-6" MEAN ROOF HT.
AREA:	2 STORIES	1 STORY
	9,000 SQ. FT.	4,878 SQ. FT.

OCCUPANT LOAD
(PER IBC TABLE 1004.5)

SPACE	OCCUPANCY	FUNCTION OF SPACE	AREA (SQ. FT.)	OCC. LOAD FACTOR	OCCUPANTS
SUITE B	BUSINESS	BUSINESS AREAS	1,302	150 GROSS	9
SUITE C	BUSINESS	BUSINESS AREAS	3,576	150 GROSS	24
TOTAL OCCUPANCY:					33

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES
(W/IN SCOPE OF WORK, SUITE B)
(PER IBC TABLE 2902.1)

BUSINESS (B) OCCUPANCY
TOTAL OCCUPANCY FOR SUITE B: 9 OCCUPANTS (5 MALE / 5 FEMALE)

FIXTURE	REQUIRED FIXTURE RATIO		REQUIRED FIXTURES (PER SUITE)		FIXTURES PROVIDED (PER SUITE)	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	1 PER 25, FIRST 50		1		1	
LAVATORIES	1 PER 40, FIRST 50		1		1	
DRINKING FOUNTAINS	1 PER 100					
SERVICE SINK			1			

SUITE B EXEMPT PER IPC 410.2 SMALL OCCUPANCIES
SUITE B EXEMPT PER NOTE "d" IPC TABLE 403.1

ABBREVIATIONS:

AB	ANCHOR BOLT	FIN	FINISH	PNT	PAINT
ABV	ABOVE	FIX	FIXTURE	PR	PAIR
AFF	ABOVE FINISH FLOOR	FLR	FLOOR	PT	PRESSURE TREATED
ASF	ABOVE SUBFLOOR	FLR	FLOOR	PVC	POLYVINYLCHLORIDE
AIC	AIR CONDITIONER	FLR	FLOOR	PMT	PAVEMENT
AHL	AIR HANDLING UNIT	FRZ	FREEZER	PY	PLYWOOD
ALUM	ALUMINUM	FRMG	FRAMING	PWDR	POWDER ROOM
AMSL	ABOVE MEAN SEA LEVEL	FT	FEET	R	ROSK
APPROX	APPROXIMATE	FTG	FOOTING	RAS	ROD & SHELF
BD	BOARD	GA	GALVANIZE	RAG	RETURN AIR GRILL
BF	BI-FOLD	GLV	GALVANIZE	REF	REFRIGERATOR
BLKG	BLOCKING	GL	GLASS	REQD	REQUIRED
BLDG	BUILDING	GYP	GYPSON	RM	ROOM
B.O.	BOTTOM OF	GWB	GYPSON WALL BOARD	RY	RIDGE VENT
BOD	BASIS OF DESIGN	HB	HOSE BIB	SCHED	SCHEDULE
BRG	BEARING	HDR	HEADER	SECT	SECTION
BTW	BETWEEN	HORIZ	HORIZONTAL	SF	SQUARE FEET
CAB	CABINET	HT	HEIGHT	SH	SHIELD
CANT	CANTILEVER	IN	INCH	SIM	SIMILAR
CEN	CENTER	INCL	INCLUDE	SND	SANITARY NAPKIN DISPENSER
CJ	CEILING JOIST	INSUL	INSULATION	SPEC	SPECIFICATION
CL	CENTERLINE	INT	INTERIOR	SQ	SQUARE FEET
CLG	CEILING	JST	JOIST	STD	STANDARD
CO	CASED OPENING	JNT	JOINT	STL	STEEL
COL	COLUMN	KS	KNEE SPACE	STOR	STORAGE
CONC	CONCRETE	LAM	LAMINATE	SYS	SYSTEM
CT	CERAMIC TILE	LL	LIVE LOAD	T	TREAD
DBL	DOUBLE	LT	LIGHT	T.O.	TOP OF
DEMO	DEMOLISH	LIN	LINEN	TR	TREAD
DH	DOUBLE HUNG	MA	MASONRY	T&G	TONGUE & GROOVE
DI	DIAMETER	MAS	MASONRY	TEL	TELEPHONE
DM	DIMENSION	MAX	MAXIMUM	TEMP	TEMPORARY/TEMPERATURE
DIST	DISTANCE	MEDH	MEDIUM	THK	THICK
DN	DOWN	MFR	MANUFACTURER	TPH	TOILET PAPER HOLDER
DR	DOOR	MID	MIDDLE	TV	TELEVISION
DW	DISHWASHER	MIN	MINIMUM	TYF	TYPICAL
DWG	DRAWING	MISC	MISCELLANEOUS	UC	UNDERCOUNTER
EA	EACH	MUL	MULLION	UNFIN	UNFINISHED
ELEV	ELEVATION	NIA	NOT APPLICABLE	UNO.	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL	EQ	EQUAL	UNQ.	UNLESS OTHERWISE NOTED
EQ	EQUIPMENT	EQ	EQUAL	VB	VAPOR BARRIER
EXIST	EXISTING	EQ	EQUAL	W/D	WASHER-DRYER
EXT	EXTERIOR	EQ	EQUAL	WH	WATER HEATER
FD	FLOOR DRAIN	OPNG	OPENING		
FDN	FOUNDATION	OSB	ORIENTED STRAND BOARD		
FDTN	FOUNDATION	PEMB	PRE-ENGINEERED METAL BLDG		
FF	FINISH FLOOR	PL	PLATE		
FFE	FINISH FLOOR ELEVATION	PFL	PANEL		

REVISIONS

NO.	DATE	DESCRIPTION

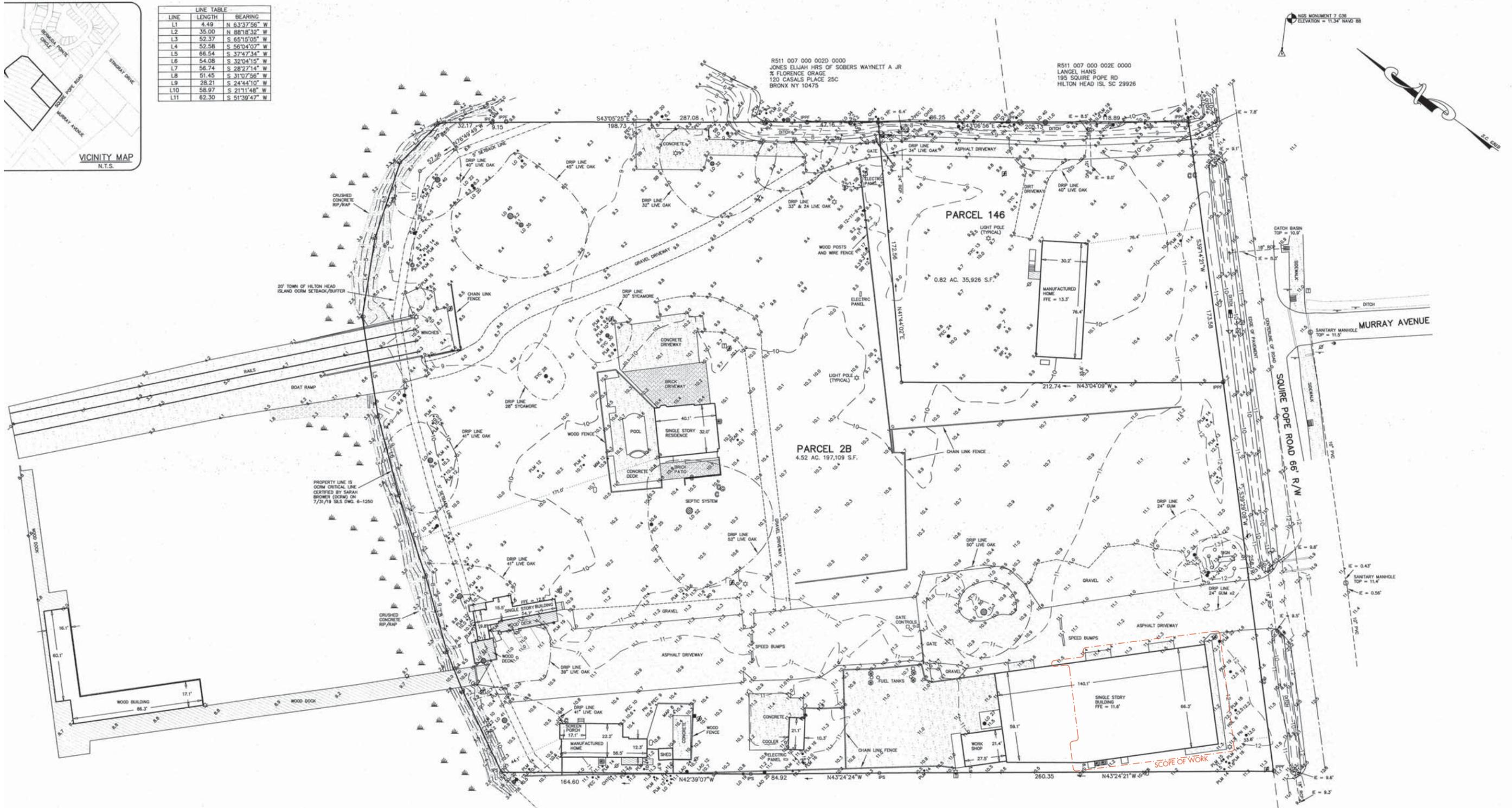
PROJECT CONTACT
JD
DATE OF ISSUE: 9/28/2021
JOB NO. 2139
SHEET

COVER SHEET
CO

HUDSON COMMERCIAL BUILDING
171 Squire Pope Rd.
Hilton Head Island, SC 29926



LINE	LENGTH	BEARING
L1	4.49	N 63°37'56" W
L2	35.00	N 88°18'32" W
L3	52.37	S 85°15'05" W
L4	52.58	S 56°04'07" W
L5	86.54	S 37°47'34" W
L6	54.08	S 32°04'15" W
L7	56.74	S 28°27'14" W
L8	51.45	S 31°07'56" W
L9	28.21	S 24°44'10" W
L10	58.97	S 21°11'48" W
L11	62.30	S 51°39'47" W



RENCE PLAT
 BOUNDARY SURVEY OF PARCELS A, B & C, COTTON HOPE PLANTATION,
 HIRE POPE ROAD, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
 W/N: 12/06/01
 ORDERED IN BOOK 87, PAGE 10, DATED 5/15/02
 BEAUFORT COUNTY, SC
 WILLIAM S. SANDERS S.C.R.L.S. # 16122

PROPERTY AREA = 5.34 AC. 233,035 S.F.
 RESS: 175 & 191 SQUIRE POPE ROAD
 TRICT: 511, MAP: 7, PARCELS: 2B & 146

PROPERTY LIES IN F.E.M.A. ZONE X
 E FLOOD ELEVATION = NO MINIMUM ELEVATION
 IMMUNITY NO. 450250, PANEL 0432G, DATED: 3/23/21

- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS LOCAL.
 - 5) VERTICAL DATUM IS NAVD 88.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

LEGEND & SYMBOLS:

SPOT ELEVATION	LO	LIVE OAK
CONTOUR	LAO	LAUREL OAK
IPF	MAP	MAPLE
IPF	SYC	STYCAMORE
IPF	PN	PINE
IE	PLM	PALM
IE	WO	WATER OAK
IE	INVERT	SUGAR BERRY
IE	MM	MIAMOSA
IE	CD	CEDAR
IE	PEAR	GUM
IE	G	BRADFORD PEAR
IE	HOL	HOLLY
IE	PEC	PECAN
IE	HY	FIRE HYDRANT
IE	UP	UTILITY POLE
IE	GUY	GUY
IE	SIGN	SIGN
IE	LP	LIGHT POLE
IE	CB	CATCH BASIN
PVC		
RCP		

R511 007 000 0391 0000
 WILLIAMS JOSEPH HELEN C/O THELMA WILLIAMS
 163 SQUIRE POPE RD
 HILTON HEAD SC 29926

REVISION 2/10/2021: CHANGED THE DRAWING DATUM TO NAVD 88.

ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:
 PARCELS 2B & 146, COTTON HOPE PLANTATION,
 SQUIRE POPE ROAD, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA
 PREPARED FOR: BRENDAN REILLEY

DATE: 10/16/19
 REVISED: 2/10/2021
 REVISED: 9/1/2021

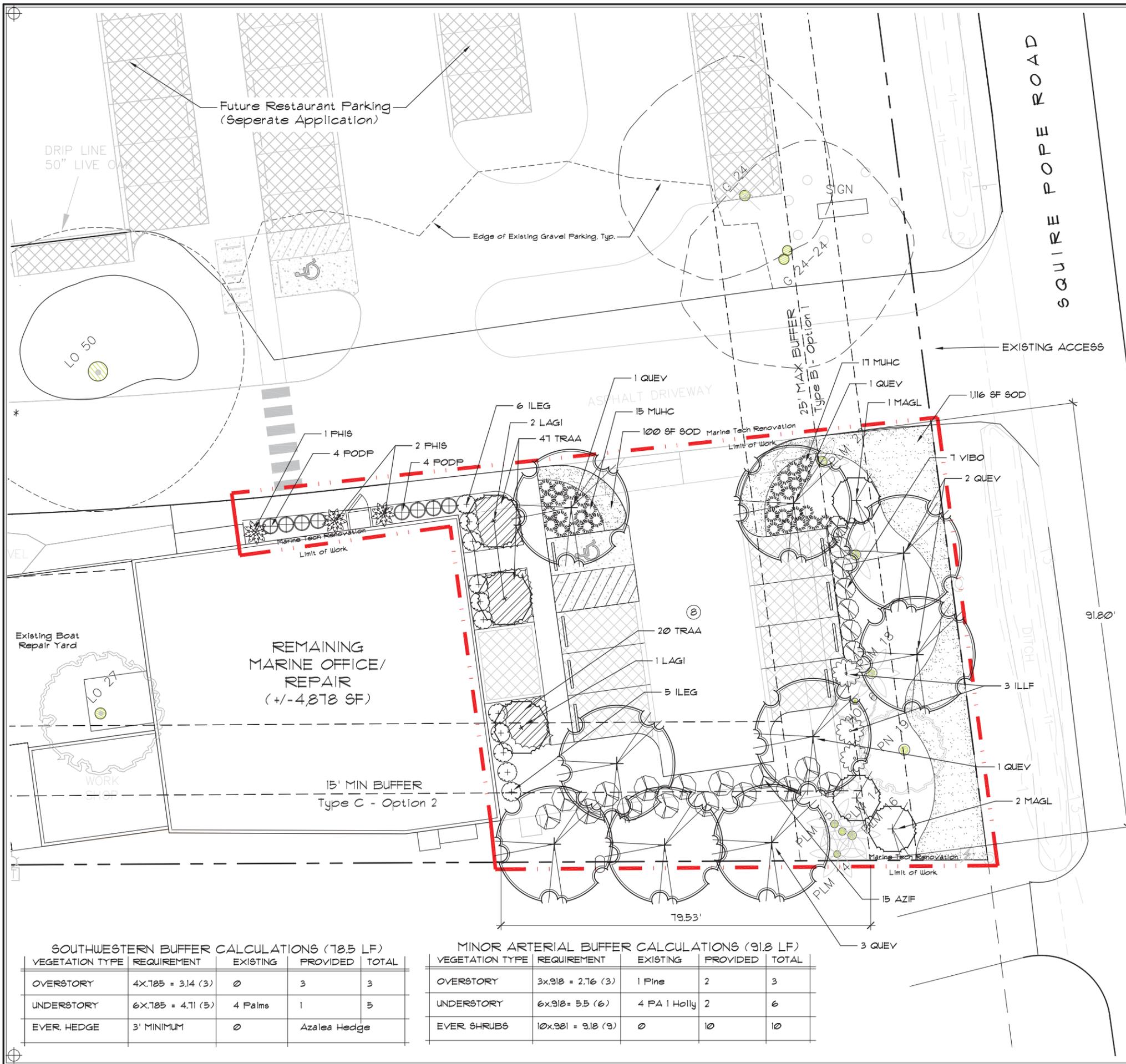
SCALE: 1" = 30'



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



SILS Sea Island Land Survey, LLC.
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926
 Tel (843) 681-3248
 Fax (843) 689-3871
 E-mail: sils@sprynet.com
 FILE No: 19136/5 DWG No.: 6-1262 88 DATUM
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PLANT SCHEDULE

SYMBOL	QUAN.	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT/NOTES
TREES					
LAGI	3	Lagerstroemia indica 'Red Rocket' Red Maple	6' Min.	3'-4'	15 Gal
MAGL	3	Magnolia grandiflora 'Littel Gem' Little Gem Magnolia	6' Min.	2.5'-3'	45 Gal Full
QUEV	10	Quercus virginiana Live Oak	10' Min.	4'-5'	45 Gal
SHRUBS					
AZIF	15	Azalea indica 'Formosa' Formosa Azalea	36" Min.	24-30"	7 Gal Min.
ILEG	11	Ilex glabra Inkberry	24-30"	18-24"	7 Gal
ILLF	3	Illicium floridanum Florida Anise	36" Min.	38" Min	7 Gal Min
MUHC	32	Muhlenbergia capillaris Pink Muhly Grass	15-18"	12-15"	1 Gal Min
PDDP	8	Podocarpus macrophyllus 'Pringles' Pringles Dwarf Podocarpus	20-24"	15-18"	7 Gal Min
PHIS	3	Philodendron selloum Split-leaf Philodendron	18"-24"	18"-24"	7 Gal. Min
VIBO	7	Viburnum odoratissimum Sweet Viburnum	3' Min.	24"-30"	7 Gal. Min
GROUNDCOVERS					
TRAA	67	Trachelospermum asiaticum Asiatic Jasmine	4"-6"	12"-15"	1 Gal 24" O.C.
SOD	1,216 SF	Eremochloa ophiuroides Centipedegrass	---	---	---
MULCH	70 bls	Longleaf Pinestraw Mulch	---	---	3" depth Min

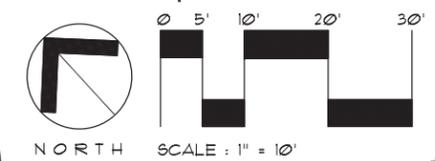
- #### PLANTING NOTES:
- Materials list was prepared for estimating purposes, contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
 - Contractor to verify that all plant materials are available as specified when proposal is submitted.
 - See tree, shrub, and ground cover planting details and special provisions for planting specifications. All plantings shall be guaranteed for 1 year from the date of acceptance.
 - Contractor shall test soil pH and conditions for all sod and planting areas. Soil shall be amended by contractor as indicated by soil test to insure that proper soil conditions are met for healthy lawns and planting area.
 - Contractor shall locate and protect underground utilities during construction and is responsible for any damage to utilities which may occur as a result of his negligence in the execution of the work.
 - All plant beds, tree rings and disturbed areas to receive 3" deep pinestraw mulch.
 - Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
 - All plant bed and sod areas to receive 100% irrigation coverage. Irrigation system to meet all local, state and federal plumbing and electrical codes. System shall incorporate separate zones for grass and shrub areas. Avoid over spraying on to roads, parking and sidewalks. Contractor shall use flex risers or swing joints adjacent to streets and parking areas. Contractor to provide backflow preventor meetint Town of Hilton Head requirements
 - Preemergent herbicide shall be applied to planting areas prior to landscape installation and according to manufacturer's instructions.

SOUTHWESTERN BUFFER CALCULATIONS (78.5 LF)

VEGETATION TYPE	REQUIREMENT	EXISTING	PROVIDED	TOTAL
OVERSTORY	4x.785 = 3.14 (3)	0	3	3
UNDERSTORY	6x.785 = 4.71 (5)	4 Palms	1	5
EVER. HEDGE	3' MINIMUM	0	Azalea Hedge	

MINOR ARTERIAL BUFFER CALCULATIONS (91.8 LF)

VEGETATION TYPE	REQUIREMENT	EXISTING	PROVIDED	TOTAL
OVERSTORY	3x.918 = 2.76 (3)	1 Pine	2	3
UNDERSTORY	6x.918 = 5.5 (6)	4 PA 1 Holly	2	6
EVER. SHRUBS	10x.918 = 9.18 (9)	0	10	10



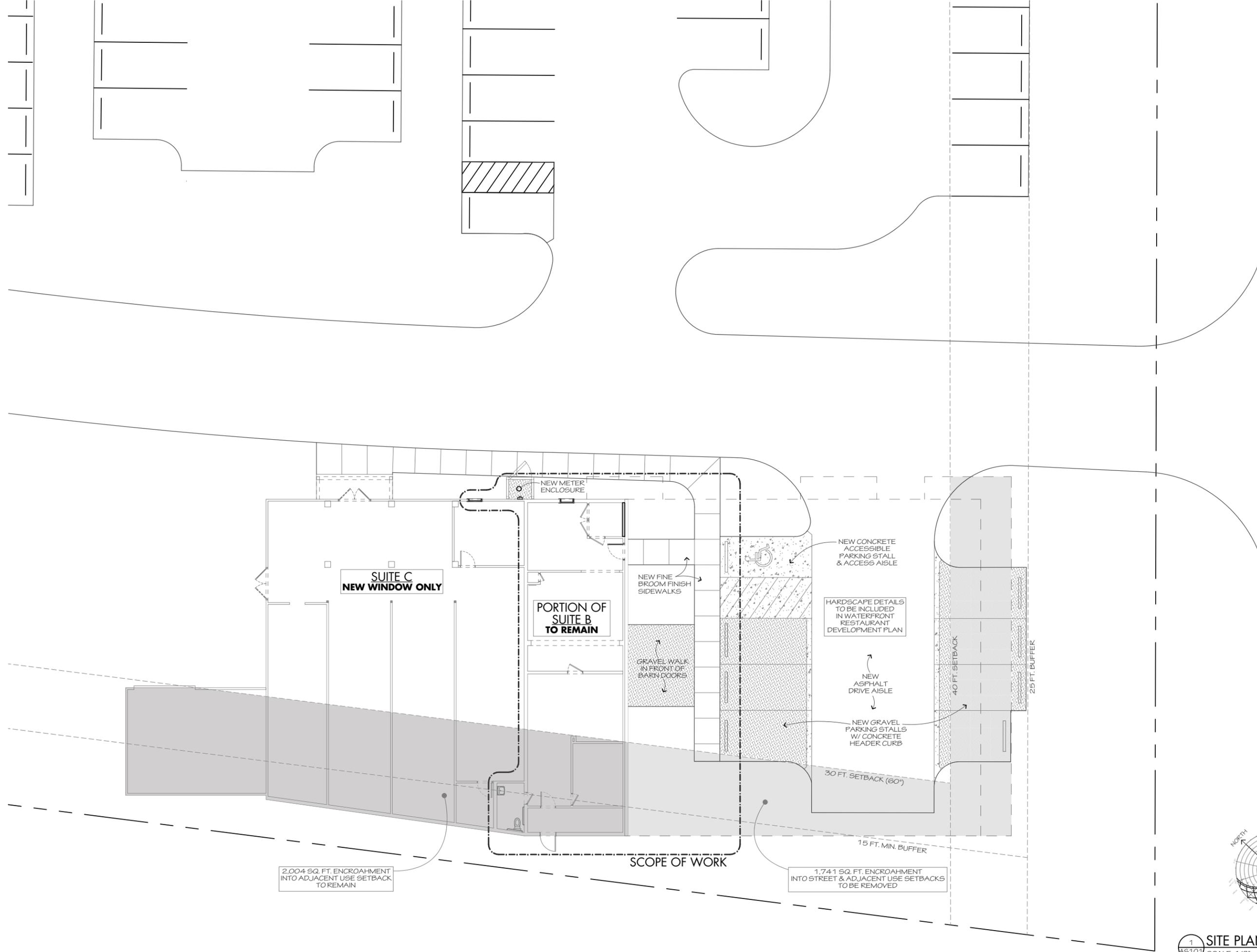
Hudson's Commercial Bldg.
 RENOVATION PLAN
 175 SQUIRE POPE ROAD
 HILTON HEAD IS., SOUTH CAROLINA

Patrick Rooney Associates, Inc.
 Land Planning • Landscape Architecture
 P.O. Box 21297
 Hilton Head Island, SC 29925
 843-681-4009
 FAX 843-681-4029

REVISIONS:	NO:	DESCRIPTION:
DATE:		

PROJECT NO:
 ISSUE DATE:
 9/26/21
 DRAWN:
 APPROVED:

Landscape
 Plan
 Sheet
1
 Of 1

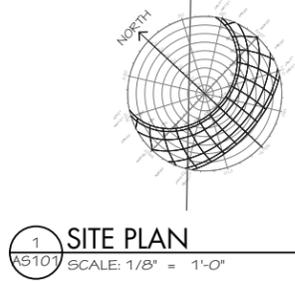


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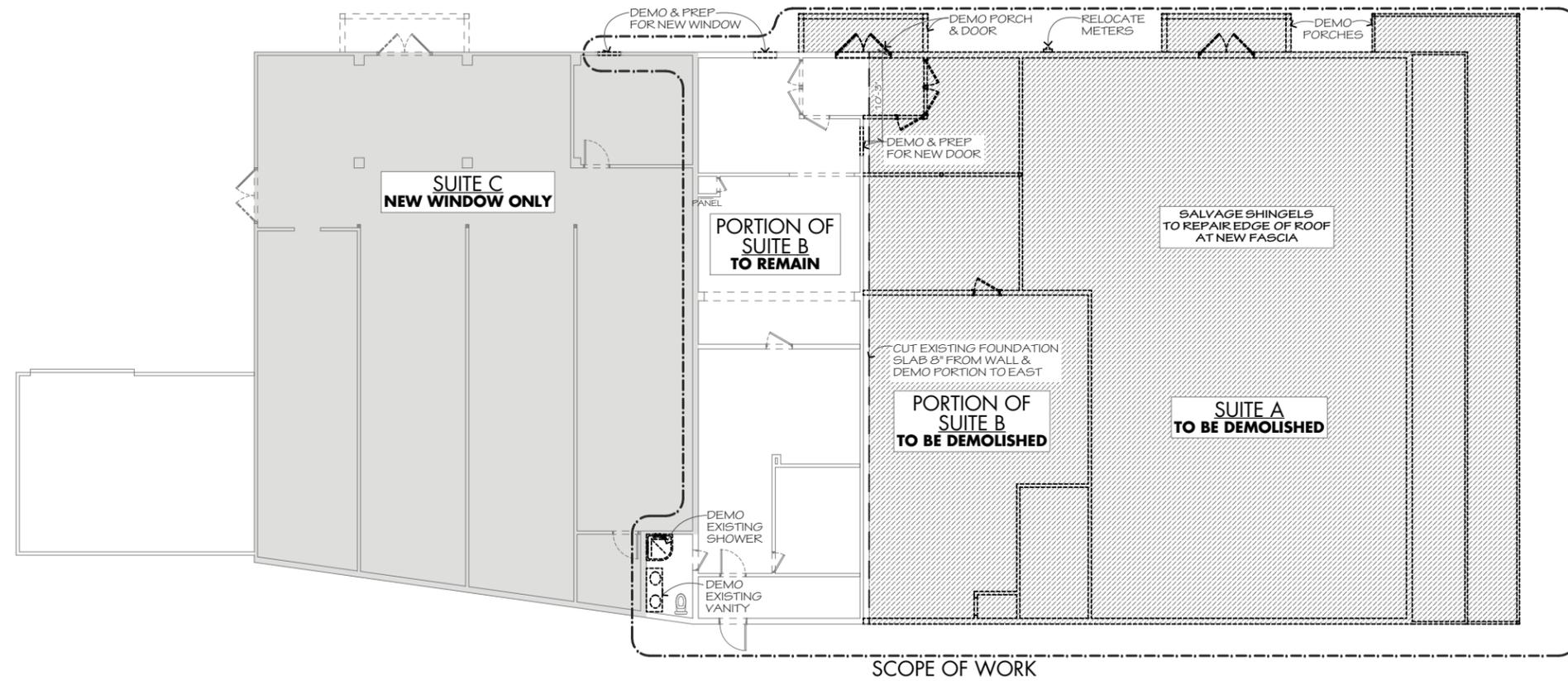
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 171 Squire Pope Rd.
 Hilton Head Island, SC 29926

NO.	REVISIONS

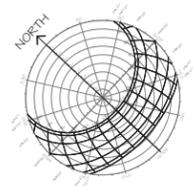
PROJECT CONTACT
 JD
 DATE OF ISSUE
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 JOB NO.
 2139
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1 DEMO PLAN
 D101 SCALE: 1/8" = 1'-0"



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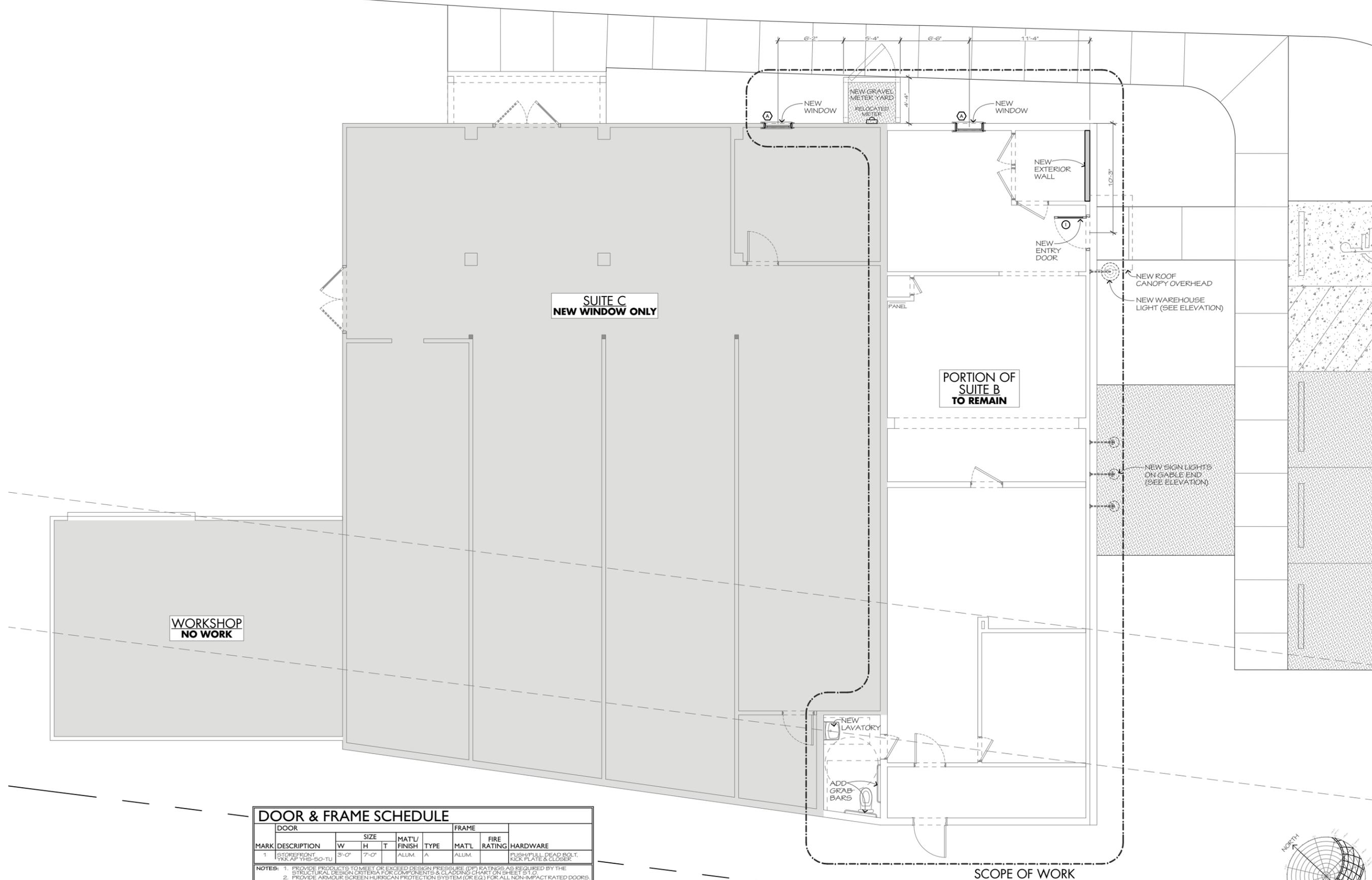
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DEMO FLOOR PLAN
D101

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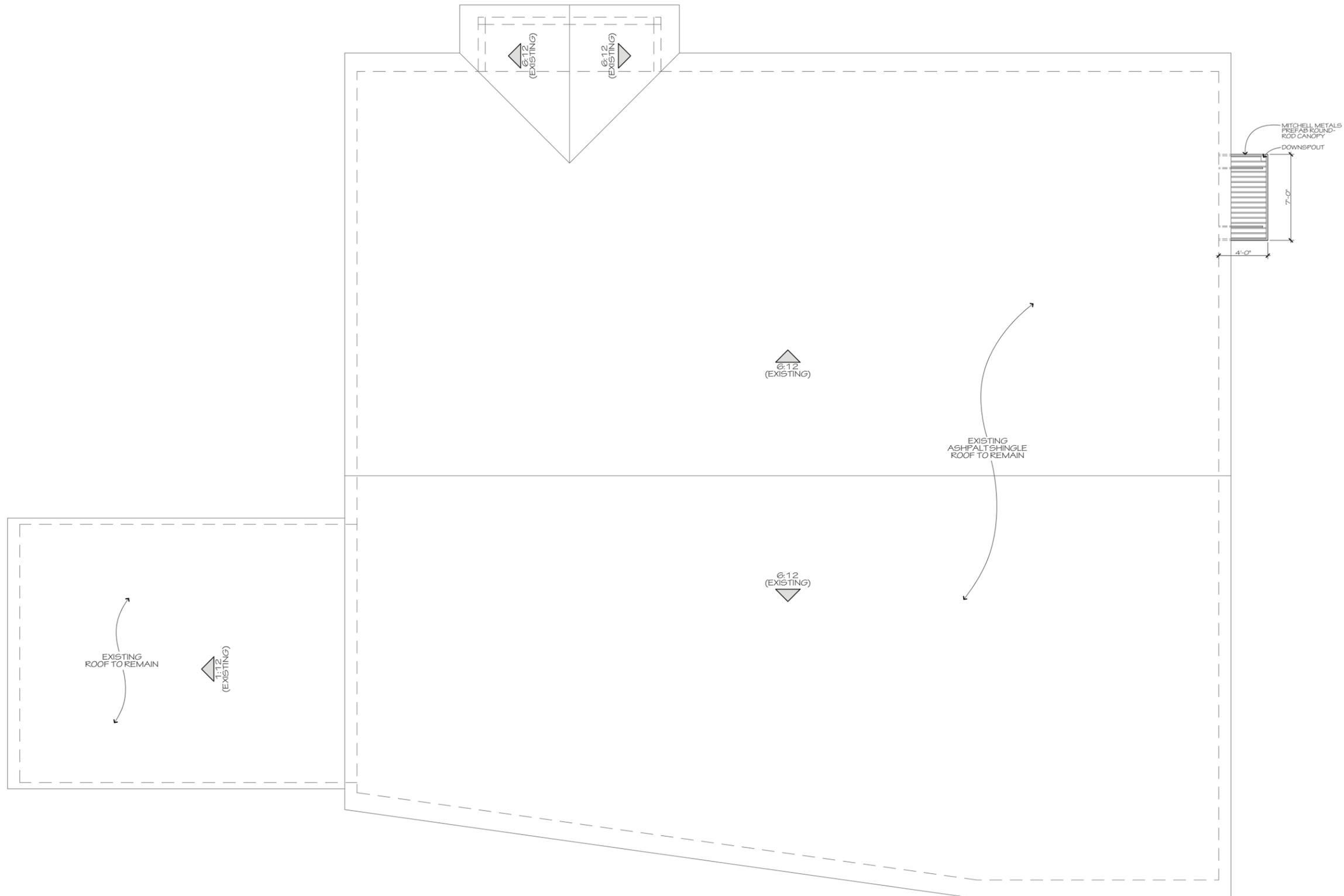


DOOR & FRAME SCHEDULE										
DOOR		SIZE			MATERIAL/ FINISH		FRAME			HARDWARE
MARK	DESCRIPTION	W	H	T	MAT'L	FINISH	MAT'L	FIRE RATING		
1	STOREFRONT YKK APYH-50-TU	3'-0"	7'-0"		ALUM.	A	ALUM.		PUSH/PULL DEAD BOLT, KICK PLATE & CLOSER	

NOTES:
1. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.
2. PROVIDE ARMOUR SCREEN HURRICAN PROTECTION SYSTEM (OR EQ) FOR ALL NON-IMPACT RATED DOORS.
3. ALL HARDWARE FINISHES TO BE 626.

WINDOW SCHEDULE				
MARK	TYPE	MANUF. & LINE	SIZE	REMARKS
A	SINGLE HUNG	PLYGEM 1500	3'-0" x 6'-0"	

NOTES:
1. PLYGEM 1500, LOW-E DOUBLE PANE GLASS, 7/8" SDL MUNTINS
2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.
3. PROVIDE ARMOUR SCREEN HURRICAN PROTECTION SYSTEM (OR EQ) FOR NON-IMPACT RATED WINDOWS.



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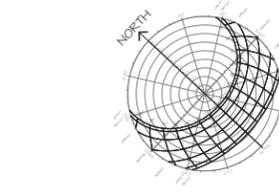


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ROOF PLAN
A102

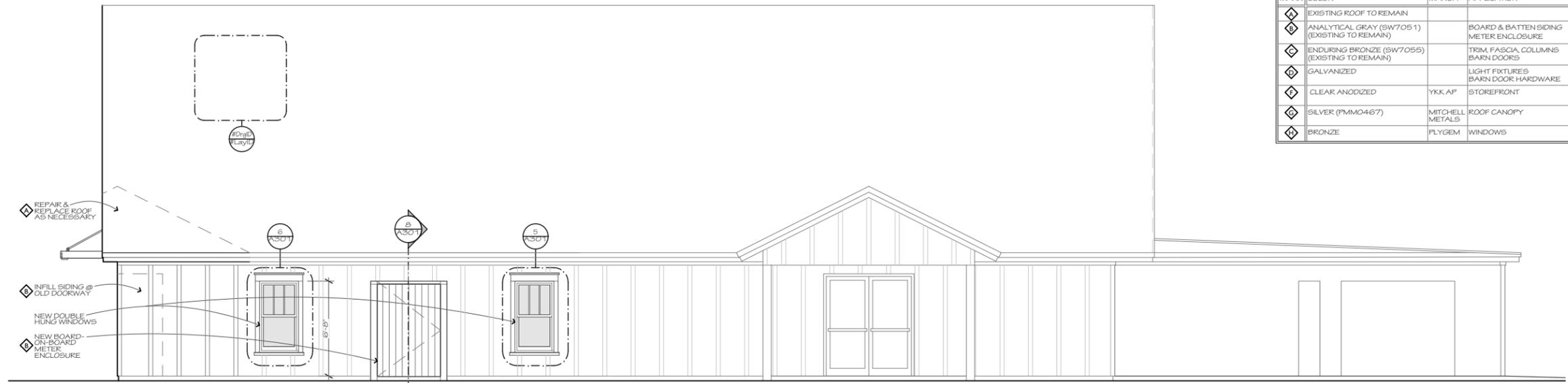


1 ROOF PLAN
A102 SCALE: 1/4" = 1'-0"

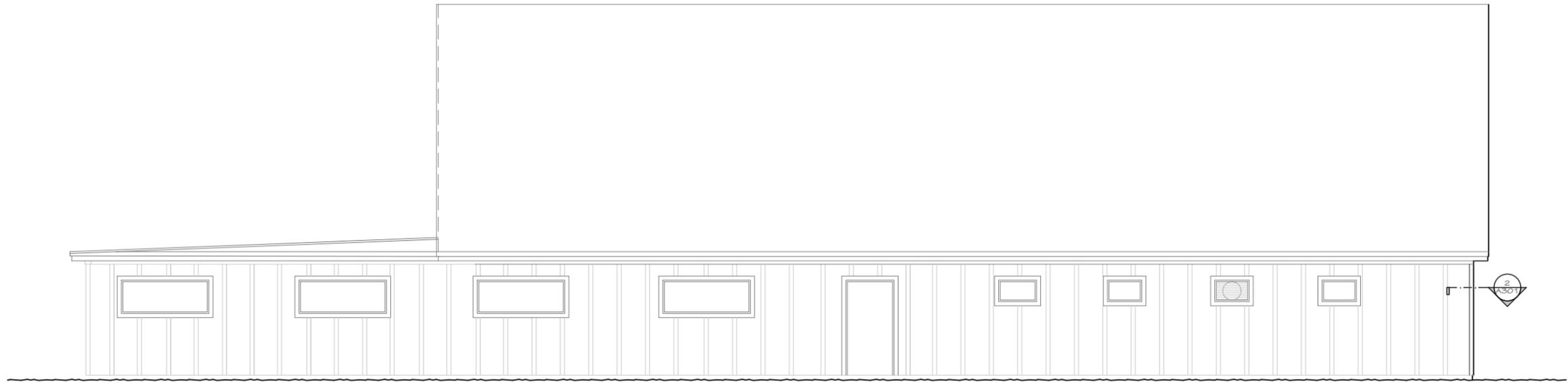


1 NEW FRONT ELEVATION
 A201 SCALE: 1/4" = 1'-0" 0 2' 4' 8'

COLOR SCHEDULE			
MARK	COLOR	MANUF.	APPLICATION
◇	EXISTING ROOF TO REMAIN		
◇	ANALYTICAL GRAY (SW7051) (EXISTING TO REMAIN)		BOARD & BATTEN SIDING METER ENCLOSURE
◇	ENDURING BRONZE (SW7055) (EXISTING TO REMAIN)		TRIM, FASCIA, COLUMNS BARN DOORS
◇	GALVANIZED		LIGHT FIXTURES BARN DOOR HARDWARE
◇	CLEAR ANODIZED	YKK AP	STOREFRONT
◇	SILVER (PMMO467)	MITCHELL METALS	ROOF CANOPY
◇	BRONZE	FLYGEM	WINDOWS



2 NEW RIGHT ELEVATION
 A201 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



3 NEW LEFT ELEVATION
 A201 SCALE: 1/4" = 1'-0" 0 2' 4' 8'

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ELEVATIONS
A201

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hudson Commercial Building

DRB#: DRB-002232-2021

DATE: 08/29/21

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

Street buffer for this site and the restaurant should be coordinated.