



Town of Hilton Head Island  
**Design Review Board Meeting**  
**Tuesday, February 23, 2021 – 1:15 p.m.**  
**AGENDA**

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In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

**1. Call to Order**

- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call**

**4. Approval of Agenda**

**5. Approval of Minutes**

- a. Meeting of February 9, 2021

**6. Appearance by Citizens**

**7. New Business**

a. *New Development – Conceptual*

- i. The Quarterdeck, DRB-000212-2021

b. *New Development – Final*

- i. Mount Calvary Baptist Church, DRB-000329-2021

c. *Alteration/Addition*

- i. Charlie's Outdoor Dining, DRB-000330-2021

**8. Board Business**

- a. Review and Approval of Letter to Town Council regarding Building Height Limits, Setback Standards and Buffer Requirements

## **9. Staff Report**

- a. Minor Corridor Report

## **10. Adjournment**

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m. on February 22, 2021. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Secretary at 843-341-4691 no later than 12:00 p.m. on February 22, 2021.

**Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.**



Town of Hilton Head Island  
**Design Review Board Meeting**  
February 9, 2021 at 1:15 p.m. Virtual Meeting  
**MEETING MINUTES**

**Present from the Board:** Chairman Michael Gentemann, Vice Chair Cathy Foss, David McAllister, Judd Carstens, Annette Lippert, John Moleski

**Absent from the Board:** Debbie Remke (excused)

**Present from Town Council:** Tamara Becker, Tom Lennox, Glenn Stanford

**Present from Town Staff:** Chris Darnell, Urban Designer; Teri Lewis, Deputy Community Development Director; Nicole Dixon, Development Review Administrator; Diane Busch, Staff Attorney; Shea Farrar, Landscape/Urban Design Associate; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

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**1. Call to Order**

Chairman Gentemann called the meeting to order at 1:15 p.m.

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call** – See as noted above.

**4. Approval of Agenda**

Chairman Gentemann asked if staff had any changes to the agenda. Mr. Darnell requested that *Item 7.a.i. Airport Sign Revisited, DRB-000159-2021* be removed from the agenda as the applicant withdrew the application.

Vice Chair Foss moved to approve the agenda as amended. Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 6-0.

**5. Approval of Minutes**

**a. Meeting of January 12, 2021**

Chairman Gentemann asked for a motion to approve the minutes of the January 12, 2021 regular meeting. Vice Chair Foss moved to approve. Mr. Moleski seconded. By way of roll call, the motion was approved by a vote of 6-0.

**6. Citizen Comments**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. All comments received were provided to the Board for review and made part of the official record. Citizens were provided the option to sign up for public

comment participation during the meeting by phone. There were no requests to participate by phone.

## 7. New Business

### a. *Alteration/Addition*

#### i. St. Andrews Church Entry, DRB-000097-2021

Mr. Darnell presented the application as described in the Board's agenda package. He explained this is an Alteration / Addition and only one review is required by the DRB. Mr. Darnell stated that it is Staff opinion that there is not enough detail or specification of materials and colors provided in the drawings for DRB approval. He said staff is not opposed to the concept but the number of missing specifications in the drawings requires the recommendation of "Denial".

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and applicant discussed the application at length and the following concerns and recommendations were noted: elevator versus lift; lack of details in many areas; colors, materials and finishes need specified; the finish on the stucco; visual appearance of the window; designation of hardscape and landscaping; handicap curb cuts; color of light fixture; additional detail regarding door replacements; elevator shaft location and aesthetics; additional detail where bushes are being removed and extent of paving needed; consideration of proposed artwork for the wall of the elevator shaft; delineation of exit from the elevator; placement of railings and compliance; height limits for vehicles under the overhang and concern with the height of the cross on the front of the overhang; and Fire Rescue access to the building.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application. Chairman Gentemann noted along with detailed specifics discussed, the following items need to be included in the application coming forward:

- Ensure the path lighting is covered and on the drawings;
- show and delineate the walkways, (i.e. what's new);
- include on drawings what matches what;
- show planned landscaping with a few notes regarding replacement items;
- details on stucco treatment;
- define where and what artwork, if any, is proposed;
- define fixture color;
- provide at least one good wall section;
- structural drawings;
- add railing where needed;
- finish stucco on all sides between elevator base and structure;
- show curb cut and all the new paving; and
- ensure that the height of the bottom of the cross on the wall of the elevator shaft meets what is required to avoid limitations and redesign.

ii. Hargray Building F, DRB-000145-2021

Mr. Darnell presented the application as described in the Board's agenda package. He stated the application is for a color change to the Main Central Office for Hargray Communications. Mr. Darnell reminded the Board a similar application that included changes to the exterior façade was withdrawn during the January 12<sup>th</sup> meeting. He noted this application does not include any changes to the façade and the applicant is requesting approval to paint the building Functional Grey SW 7024. Mr. Darnell said staff recommends approval with the condition that the shingles not be painted.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and applicant discussed the application at length and the following concerns and recommendations were noted: confirmation that all doors would be painted the same as the building; confirmation that the service yard and gate colors would be the same as the building; discussion of landscaping and tree trimming; no plans for lighting around the building; cedar shingles to remain the same; coping is to remain the same.

Mr. Gentemann made a motion to approve Hargray Building F, DRB-000145-2021 with the following conditions:

1. Functional Grey SW 7024 is approved. It was noted for the record the Board did not review a physical sample of the Functional Grey SW 7024, but it is a color that has been approved in the past and has been approved specifically for Hargray.
2. Painting is to include all vertical surfaces of stucco and wood, including the service yard and the service doors.
3. The shingles and the coping are to remain as is.

Vice Chair Foss seconded. By way of roll call, the motion passed with a vote of 6-0-0.

**b. Sign**

i. Sandbox Sign, DRB-000118-2021

*(Due to a potential conflict of interest, Vice Chair Foss recused herself from discussion and voting regarding the Sandbox Sign DRB-000118-2021. The required Potential Conflict of Interest form has been completed and made part of the official record.)*

Ms. Farrar presented the application as described in the Board's agenda package with the following comments: The Sandbox Children's Museum has applied for signage to be located on the new building in Lowcountry Celebration Park. Because there will not be a freestanding sign for the museum, the LMO allows for the size of the façade sign to be increased by 50%. This will allow for façade sign with a maximum size of 60 square feet. The proposed sign is 57 square feet and made of 1.5" HDU. The proposed colors will utilize the building trim color for the background of the sign, the building siding color for the border, logo and tag line copy. Luxurious Red (SW 6314) was selected for "the sandbox" copy to relate to the adjacent Circle Center colors. Loyal Blue is proposed for the color of the flag on the logo. The sign will be flush stud mounted to the façade of the building. Ms. Farrar concluded that staff is recommending approval of the application as submitted.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. After discussion regarding the following items: grade of paint; color palate; number of signs; and placement of the signage, Chairman Gentemann moved to approve the Sandbox Sign, DRB-000118-2021 as submitted. Mr. McAllister seconded. By way of roll call, the motion passed by a vote of 5-0-0. (Vice Chair Foss recused.)

## **8. Board Business**

Vice Chair Foss inquired as to what was taking place at Northridge Plaza. Mr. Darnell explained the owners are resurfacing the parking lot, replacing curbing and conducting landscaping improvements.

Before discussion of the item below, Ms. Lippert recused herself noting a potential conflict of interest.

Chairman Gentemann referenced a letter the Board received from a concerned citizen regarding the colors used to repaint Schooner Court; a project the DRB reviewed and approved last year. After discussion it was noted: the Schooner Court regime selected the colors; the Sea Pines ARB approved them; and the DRB approved them. It was the consensus of the Board the issue is between the residents of Schooner Court, the Schooner Court regime and the Sea Pines ARB, resulting in no need to place it on a future DRB agenda.

## **9. Staff Report**

- a. Minor Corridor Report – Mr. Darnell reported the following minor DRB approvals since the last meeting of the Board. He stated one was for the repainting of Birdie James in Shelter Cove Towne Center. He noted the color that was approved was slightly different so it was handled at a staff level. He stated the other one was Sea Pines Villas relocation of their beach shower which was handled as a minor DRB.

## **10. Adjournment**

The meeting was adjourned at 2:40 p.m.

**Submitted by:** Vicki Pfannenschmidt, Secretary

**Approved:** [DATE]



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Isabella Klitz Company: Hart Howerton  
 Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: 917-699-3971 Fax: \_\_\_\_\_ E-mail: iklitz@harthowerton.com  
 Project Name: Quarterdeck Restaurant Project Address: 160 Lighthouse Road  
Hilton Head, SC  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
DATE



# Quarterdeck

**DRB Submission**

SEA PINES, SOUTH CAROLINA

FEBRUARY 1, 2021



# Contents

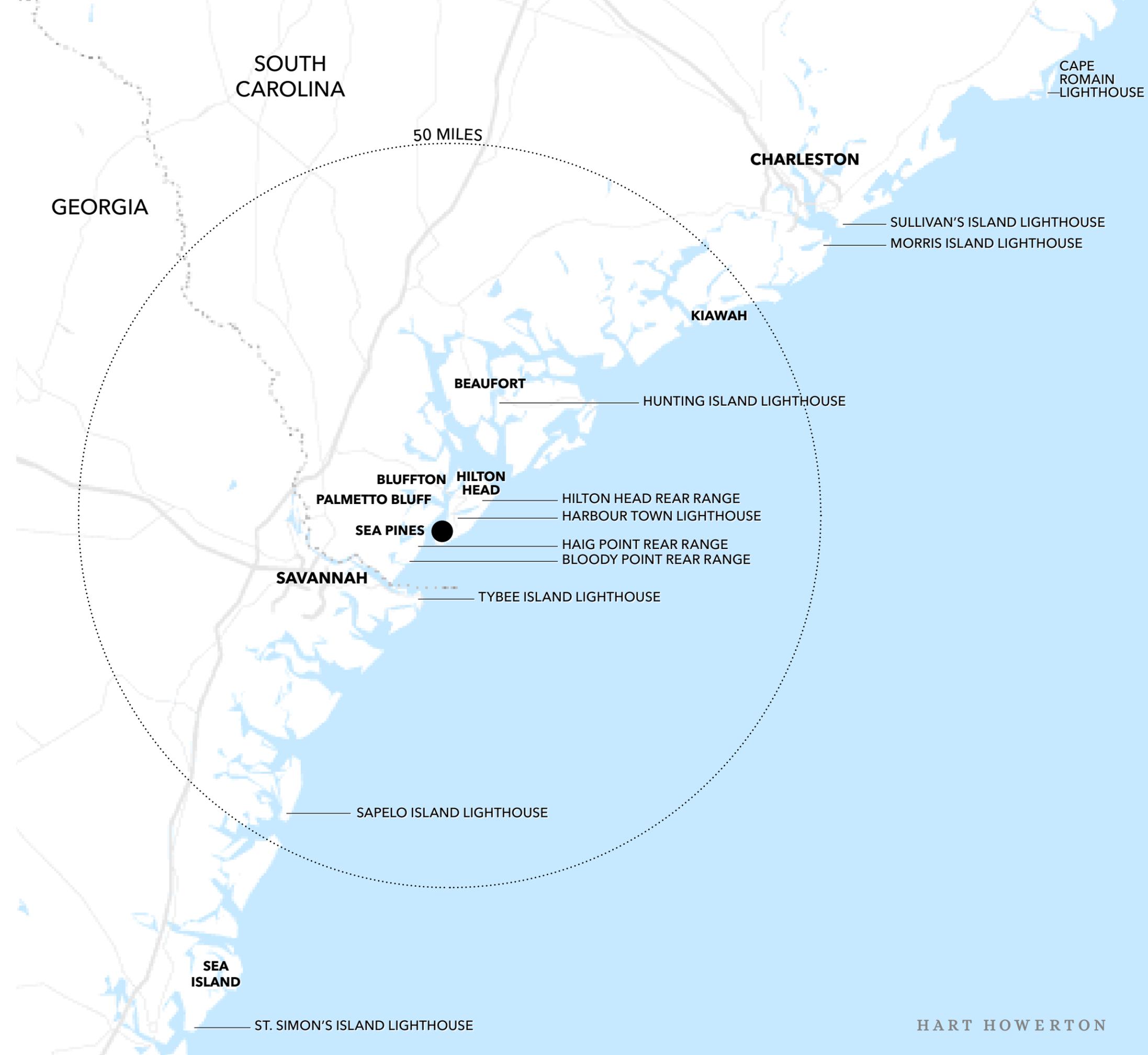
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- The Quarterdeck Story
  - Lighthouses of the Intracoastal Waterway
  - The Natural Margin
  - Coastal Context
  - Golf Context
  - Harbor Context
- Appendix
  - Survey
  - Drainage Plan
  - Landscape & Architectural Drawings
  - Site Lighting



# By Sea or By Land

The necklace of lighthouses strung along South Carolina's Outer Banks has guided sailors and welcomed travelers for centuries. Harbour Town's own lighthouse has earned its place in that noble tradition, marking its port as a seafarer's haven – where food, fuel, sophisticated lodgings, and friendly in-town diversions await.



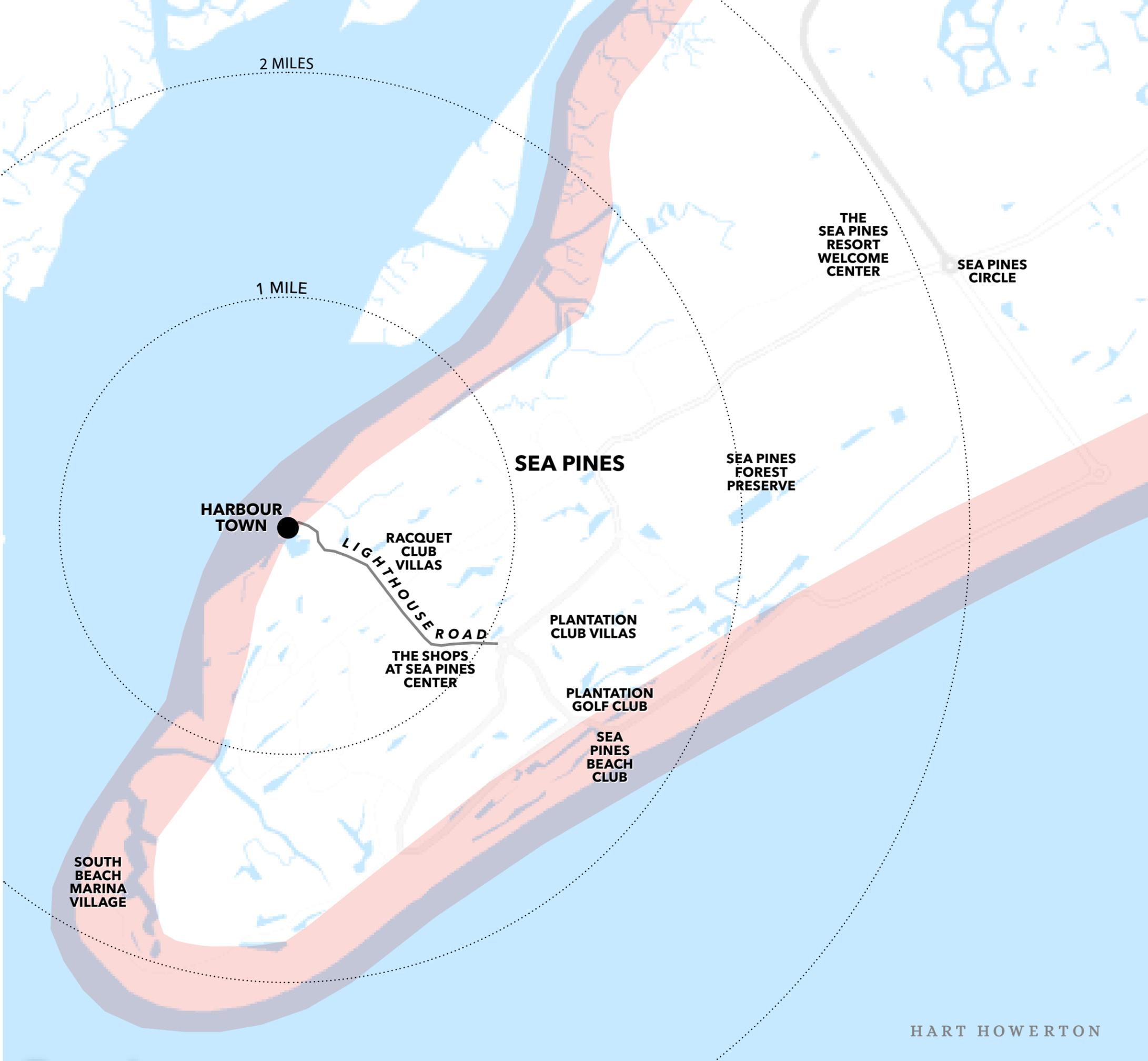
# Keepers' Cottages

Harbour Town's Lighthouse was conceived in the tradition of the great lighthouses of the U.S. Intracoastal Waterway, and notably the graphically-striped and checkered examples of North and South Carolina's Atlantic Coast. The Harbour Town Bakery building was originally the Keeper's cottage for Hilton Head's prior historic lighthouse and was originally intended to stand at the base of the new lighthouse. These cottages featured long, gabled roofs with details like deep bracketed eaves, exposed rafter tails, and simple brick chimneys - all finished in a uniquely-American style of simplified but refined trim carpentry.



# Coastal Setting

A defining characteristic of Hilton Head is its natural waterfront, preserved and pristine, a fringe of sea, sand, dunes, grasses, and tidal marshes. Sea Pines Resort features two key amenities that share this coastal setting: the Beach Club and the Quarterdeck. The architectural character of the Beach Club incorporates details reflective of its Southern coastal setting.



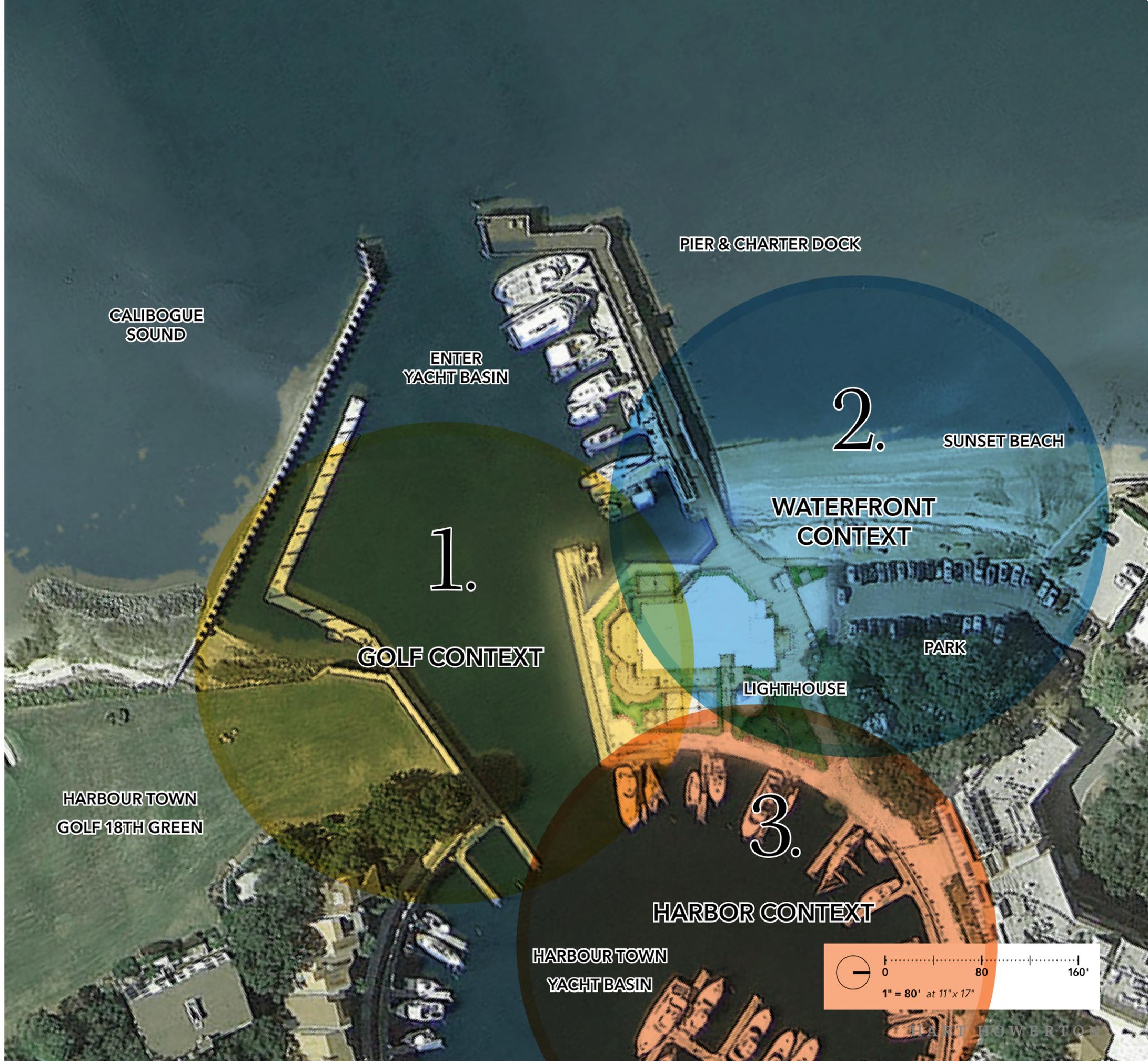
# Guardian of the Harbour

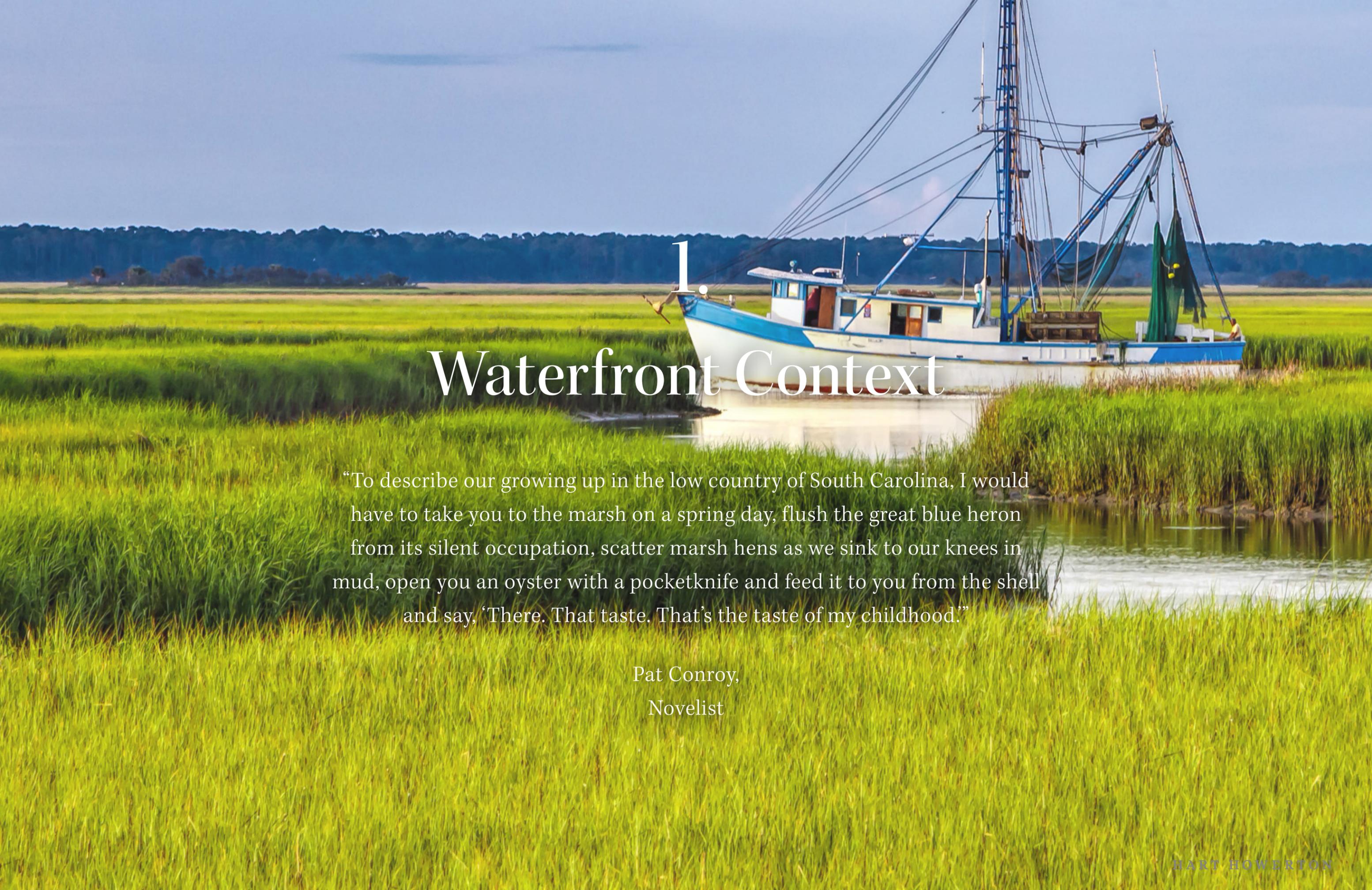
Set on its peninsula jutting away from Harbour Town, Quarterdeck and its lighthouse exist within the tidal perimeter of Hilton Head's waterfront. They share this setting along the shoreline incorporating the natural landscape of the golf course, sunset beach, and the pier. Quarterdeck belongs to Calibogue Sound; one only enters Harbour Town after passing through the natural coastal zone, traversing the channel, and emerging the circular yacht basin.



# Many Addresses

Quarterdeck is privileged with 360° views of the surrounding seascape. Similarly, there are three key “contexts” - from which Quarterdeck itself can be viewed. To the south, Quarterdeck plays an important and iconic role in the identity of the golf course. To the north, east and west, it is defined by low country landscapes of marsh, beach, and ancient oak groves. Importantly, Harbour Town itself, that bustling quaint town, sits to the east surrounding the Yacht Basin.





# 1. Waterfront Context

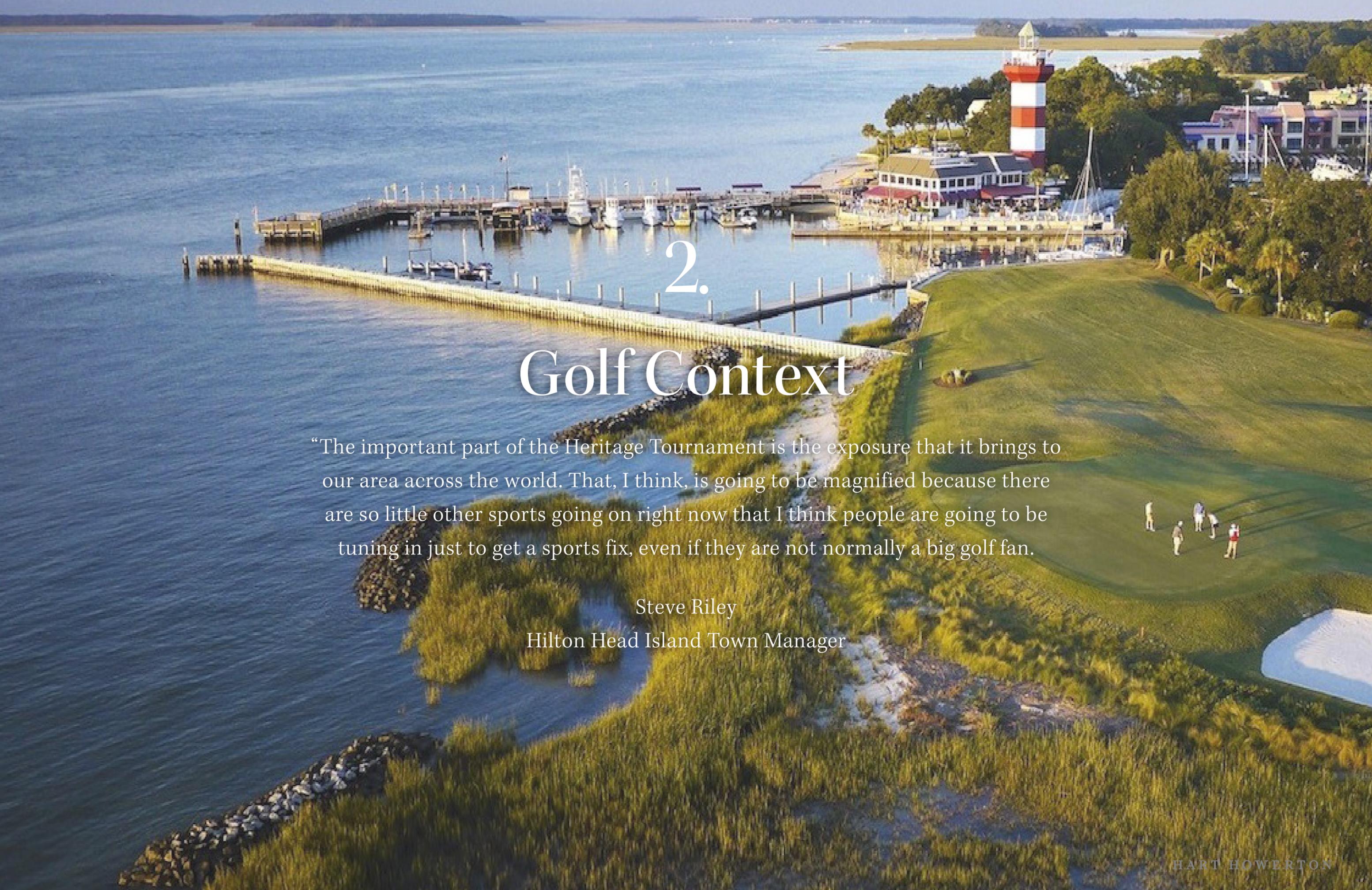
“To describe our growing up in the low country of South Carolina, I would have to take you to the marsh on a spring day, flush the great blue heron from its silent occupation, scatter marsh hens as we sink to our knees in mud, open you an oyster with a pocketknife and feed it to you from the shell and say, ‘There. That taste. That’s the taste of my childhood.’”

Pat Conroy,  
Novelist

# Waterfront Context

The tradition of waterfront architecture within the Sea Pines Resort portfolio is best represented by the recent Beach Club. Built within the natural border between land and sea, it aptly addresses its coastal setting with details like columned porches, tabby-finished stucco, shingle and clapboard siding, and eaves with exposed rafter tails. The design of the new Quarterdeck carries this tradition forward, building on Sea Pines' original relaxed-classic architecture, comprised of cedar shake roofs and indigenous tawny brick.





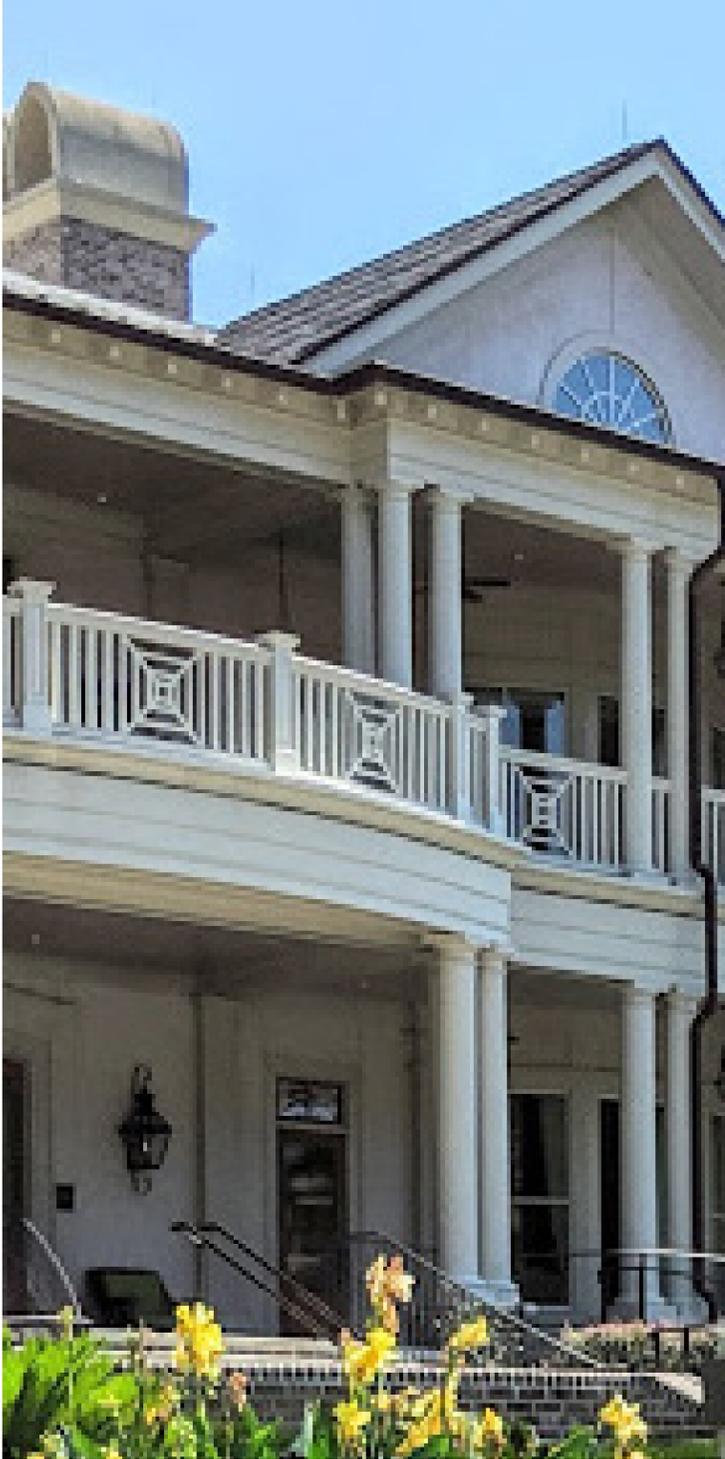
# 2. Golf Context

“The important part of the Heritage Tournament is the exposure that it brings to our area across the world. That, I think, is going to be magnified because there are so little other sports going on right now that I think people are going to be tuning in just to get a sports fix, even if they are not normally a big golf fan.

Steve Riley  
Hilton Head Island Town Manager

# Golf Context

The tradition of golf at Sea Pines is characterized by classically-inspired, warmly-detailed architecture. Rendered in a hybrid of Colonial and Low Country aesthetics, the Harbour Town Links Clubhouse provides an architectural precedent for Quarterdeck. The new design of Quarterdeck takes its cues from this, especially at its south facade, where it provides a bookend for a round of golf with similar but complementary design elements to where you began.



A scenic view of a harbor town at dusk. The foreground shows the water of the harbor, with several boats docked. The middle ground is filled with colorful, multi-story buildings, some with balconies and awnings. A prominent church tower with a dome and a bell tower is visible on the right. The background shows a hillside with more buildings and trees, illuminated by the soft light of twilight.

3.

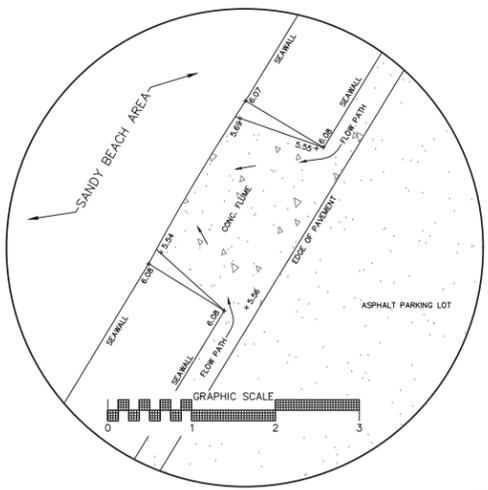
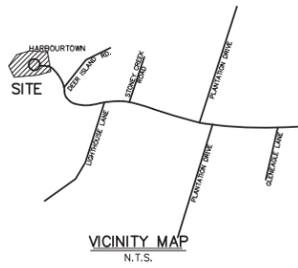
## Harbor Context

Inspired by the great seaside villages of Italy and the South of France (most notably Portofino), Harbour Town plays a unique role in the Sea Pines experience. It's colorful buildings address the yacht basin, crowding the ring of dock slips along a circular promenade. Originally set as a counterpoint to the clearly American-inspired Lighthouse opposite the oak grove, the shops and multi-story townhouses of the village offer a unique storybook experience, juxtaposed with the quintessentially American architecture of the Lighthouse and Quarterdeck.

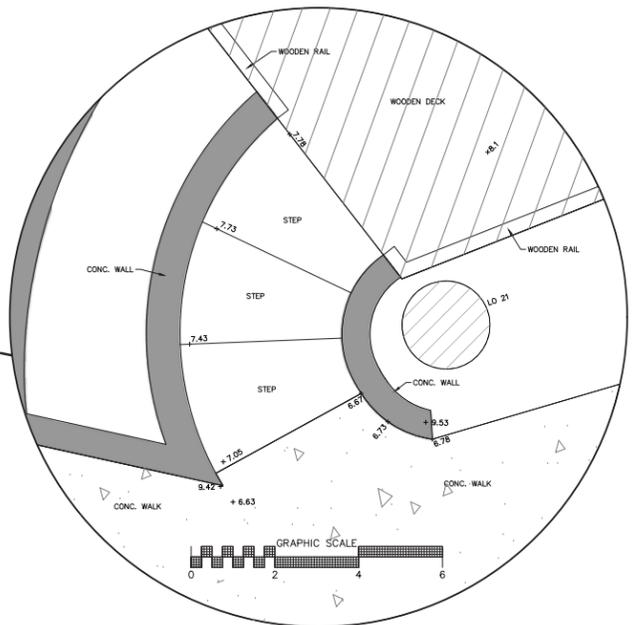
# Harbor Context

The design of the new Quarterdeck respects the European heritage of its neighboring village. As a compliment to town, Quarterdeck and the Lighthouse stand as distinct destinations within their own context of the golf course and Calibogue Sound. Still, the new Quarterdeck also takes a few cues from traditional harbor-front architecture, through the careful use of colorful shutters, classic shopfronts, and crafted black iron details. Like all great American places, Harbour Town is a collection of eclectic experiences, built at different times, creating layered





**FLUME DETAIL**  
SCALE: 1" = 1'



**STEP DETAIL**  
SCALE: 1" = 2'

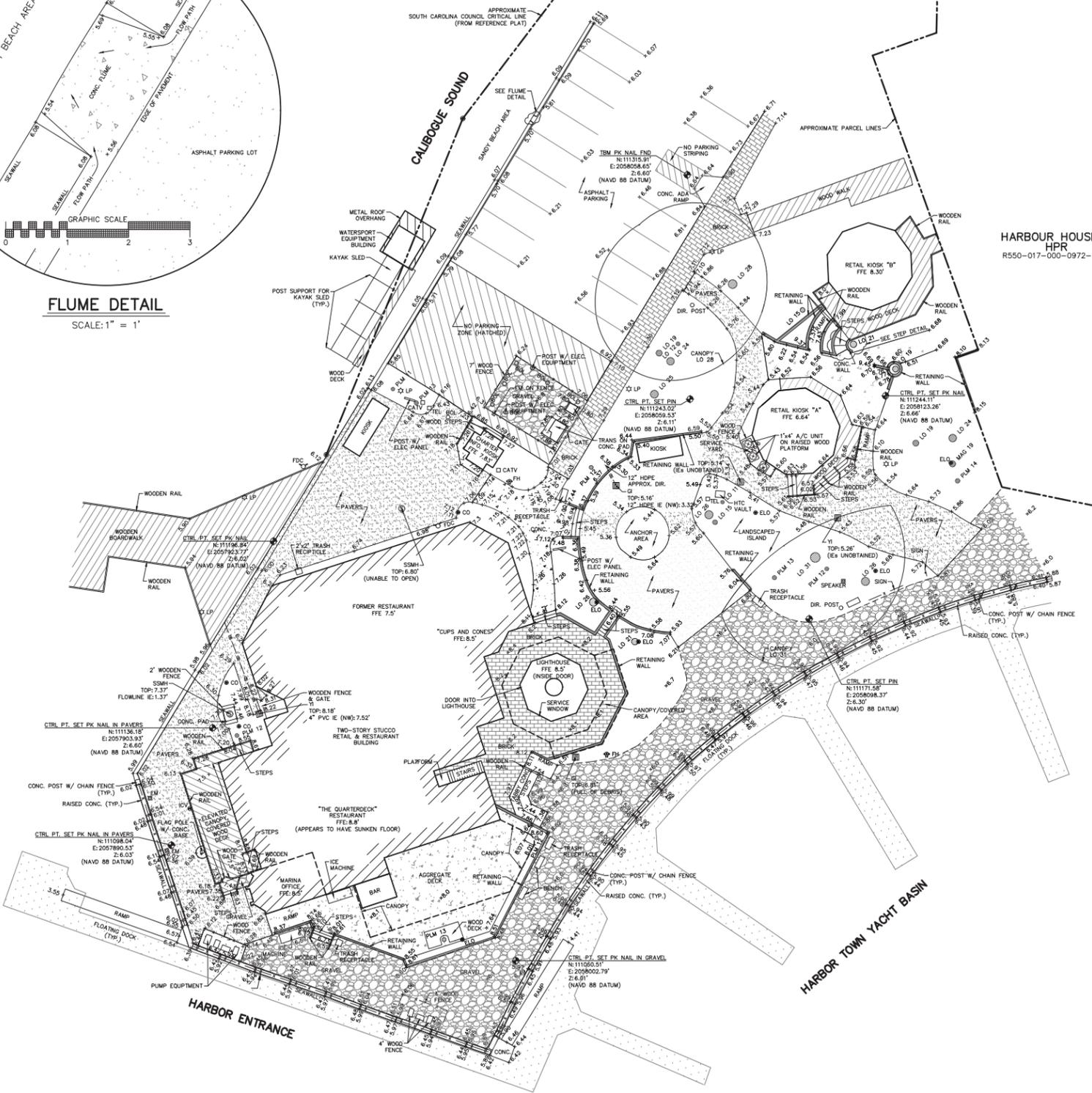
**LEGEND:**

TREE SIZES ARE INCHES IN DIAMETER

⊕	SPOT ELEVATION
⊕	CONTROL & BENCHMARK POINTS
TBM	TEMPORARY BENCHMARK
CTRL PT.	CONTROL POINT
Z: 6.00'	ELEVATION OF POINT
N: 111000.00'	NORTHING OF POINT
E: 2057000.00'	EASTING OF POINT
CONC. O.	CONCRETE MONUMENT, OLD (FOUND)
I.O.	IRON PIPE, OLD (FOUND)
I.N.	IRON REBAR, NEW (SET)
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALMETTO
AC	ACRE
AC	AIR CONDITIONER
CATV	CABLE TELEVISION JUNCTION BOX
CO	CLEANOUT
EM	ELECTRIC METER
FFE	FINISHED FLOOR ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GI	GRATE INLET
YI	YARD INLET
IE	INVERT ELEVATION
ICV	IRRIGATION CONTROL VALVE
LP	LAMP POST
NTS	NOT TO SCALE
N/F	NOW OR FORMERLY
PB	POWER JUNCTION BOX
SMH	SANITARY SEWER MANHOLE
SN	SIGN
SDMH	STORM DRAIN MANHOLE
TEL	TELEPHONE JUNCTION BOX
TRNF	ELECTRIC TRANSFORMER
WM	WATER METER
WV	WATER VALVE
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
---	FENCE LINE
---	SANITARY SEWER LINE
---	STORM DRAIN LINE

- REFERENCE PLATS:**
- 1) AN ASBLT. BOUNDARY, TREE & TOPOGRAPHIC SURVEY OF LIGHTHOUSE ROAD CORRIDOR FROM HARBOUR TOWN TO LIGHTHOUSE LANE, A SECTION OF SEA PINES PLANTATION, DATED: 04/17/2019, LAST REVISED: 08/23/2019, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, SURVEYING CONSULTANTS.
  - 2) ALTA/ACSM LAND TITLE SURVEY OF MARINA PARCEL, HARBOUR HOUSE A, TRAFFIC ISLAND PARCEL, PARCELS 7A, 7B, 15, 28 & OTHER IMPROVEMENTS OF A SECTION OF HARBOUR TOWN, SEA PINES PLANTATION DATED: 7/22/2019 BY TERRY G. HATCHELL S.C.R.L.S. NO.11059, SURVEYING CONSULTANTS.
  - 3) COMPOSITE PLAT OF HARBOUR TOWN, SEA PINES PLANTATION, DATED: JULY, 1974, LAST REVISED: JANUARY, 1976, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 24, PG. 115.

- NOTES**
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
  - 2) THE HORIZONTAL DATUM IS BASED ON SOUTH CAROLINA STATE PLANE; COORDINATES FROM GPS STATIC OBSERVATION AND NGS-DIUS PROCESSING. THE VERTICAL DATUM IS BASED ON NAVD 88 DATUM.
  - 3) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN. THE UNDERGROUND STORM DRAIN LINES ARE SHOWN TO THE BEST OF ABILITY BASED ON FIELD OBSERVATIONS. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY LINE.
  - 4) SURVEYING CONSULTANTS CERTIFIES TO THE ASBLT AND TOPOGRAPHIC INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
  - 5) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

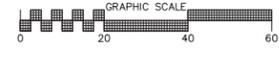


HARBOUR HOUSE A  
HPR  
R550-017-000-0972-0000

PARTIAL ASBLT,  
TREE & TOPOGRAPHIC  
SURVEY OF LANDS OF  
**HARBOUR TOWN SP, LLC**  
**'THE LIGHTHOUSE AREA'**  
A SECTION OF  
**SEA PINES RESORT**

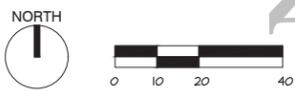
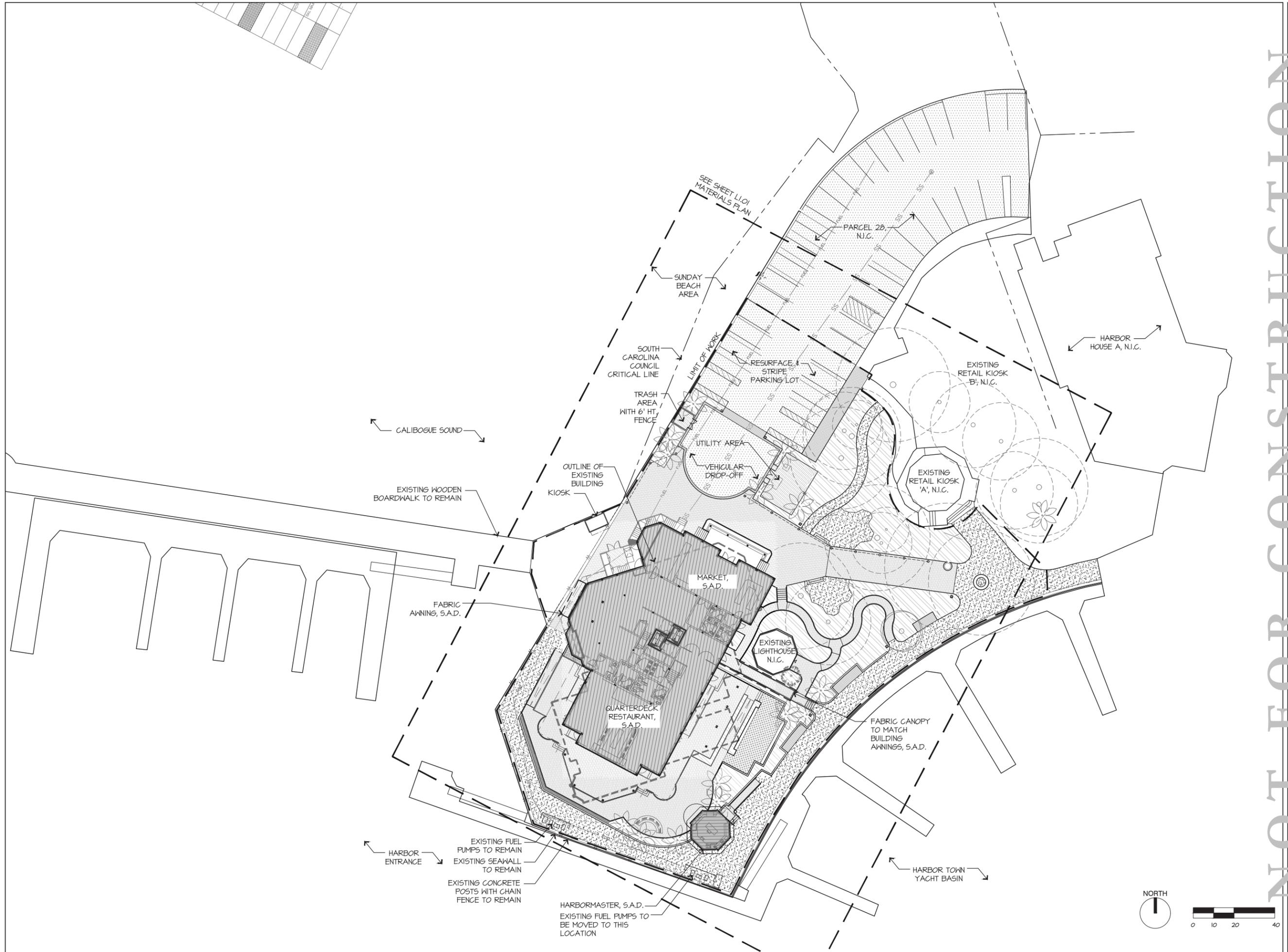
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
SCALE: 1" = 20' DATE: 10/30/2020 JOB NO: SC200106

PREPARED FOR: SEA PINES COMPANY  
ADDRESS: #180 LIGHTHOUSE ROAD  
TAX PARCEL ID No.s R550-017-000-1099, 1100, 1198, 1201 & 1206-0000



**SG** SURVEYING CONSULTANTS  
17 Sherrington Drive, Suite C, Bluffton, SC 29910  
SC Telephone: (843) 815-3904 FAX: (843) 815-3305  
GA Telephone: (912) 826-2775  
www.SurveyingConsultants.com  
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CREW: AS/AM  
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 USA

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DATE	ISSUE
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01/22/21	100% DD
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REVISIONS

NO.	DATE	ISSUE

**SITE PLAN**

PROJECT #: 16-599  
 DRAWN BY: SR  
 CHECKED BY: JN  
 DRAWING NO: **L0.01**

**NOT FOR CONSTRUCTION**

MATERIALS SCHEDULE

CATEGORY	SYMBOL	TITLE	DETAIL	COLOR / FINISH / SIZE	INFORMATION
PAVING	A1	ASPHALT PAVING WITH TOP COAT	3 / L4.01	TABBY SHELL TOP COAT	ASPHALT PAVING PER CIVIL ENGINEER
	B1	PAVER BAND	7 / L4.01	6 1/8" X 9 1/8" X 3" THICK; 3 COURSES; RUNNING BOND PATTERN	PEACOCK DRIVEWAY PAVERS; BANDING AT EDGE OF ASPHALT DROP-OFF
	B2	PAVER PLATFORM	8 / L4.01	11-1/2" X 11-1/2" X 1-3/4" THICK	PEACOCK LANDSCAPE PAVERS
	B3	BRICK SIDEWALK	6 / L4.01	4 X 8 BRICK TO MATCH EXISTING; RUNNING BOND PATTERN	BRICK TO MATCH EXISTING SIDEWALK
	C1	CONCRETE PAVING	-		IN SERVICE & UTILITY AREAS; PER CIVIL ENGINEER DRAWINGS
	D1	WOOD DECKING	2 / L4.02	KEBONY DECK BOARD	AT DINING TERRACES & GANGWAY; NON-SLIP ALUMINUM TREADS TO BE USED ON ALL SLOPED WALKWAYS
	D2	ELEVATED ACCESSIBLE PATH	4 / L4.02 SIM.		WICKCRAFT BOARDWALK; WITH TOE KICK OR GUARDRAIL; NON-SLIP ALUMINUM TREADS TO BE USED ON ALL SLOPED WALKWAYS
	D3	WOOD BOARDWALK	MATCH EXISTING BOARDWALK	PRESSURE TREATED SOUTHERN YELLOW PINE	TO MATCH EXISTING PIER
	E1	CRUSHED SHELL LIGHT VEHICULAR PAVING	4 / L4.01	CRUSHED, WASHED, OYSTER SHELLS	
	E2	CRUSHED SHELL AT PARK	5 / L4.01	CRUSHED, WASHED, OYSTER SHELLS	WITH PAINTED BLACK METAL EDGE RESTRAINT
RAILINGS	R1	CUSTOM BLACK METAL RAILING	1 / L4.02	30" HT.; FLAT STEEL BARSTOCK TOP RAIL & POST; MARINE GRADE POWDER COAT; COLOR: BLACK	
	R2	LOW CUSTOM BLACK METAL RAIL	2 / L4.02	8" HT.; FLAT STEEL BARSTOCK TOP RAIL & POST; MARINE GRADE POWDER COAT; COLOR: BLACK	
	R3	WOOD GUARDRAIL	3 / L4.02	42" HT.	USE WHEN FALL HEIGHT EXCEEDS 30" OR PER CODE
	R4	GANGWAY RAIL	9 / L4.02	MESH FABRIC PANEL RAILS WITH METAL POSTS	LIGHTING INTEGRATED INTO HANDRAIL, SEE LIGHTING DRAWINGS
	R5	TOE KICK AT ELEVATED BOARDWALK	4 / L4.02	4" X 4" PRESSURE TREATED SOUTHERN YELLOW PINE ON 4" BLOCKS	LIGHTING INTEGRATED INTO TOE KICK, SEE LIGHTING DRAWINGS
STAIRS	S1	WOOD STAIRS WITH CUSTOM METAL HANDRAIL	7 & 8 / L4.02	KEBONY DECK BOARD; RAILING TO BE FLAT STEEL BARSTOCK HANDRAIL WITH LAMB'S TONGUE DETAIL AT TERMINUS; MARINE GRADE POWDER COAT; COLOR: BLACK	
	S2	WOOD STAIRS AT TERRACE	8 / L4.02 SIM.	KEBONY DECK BOARD	TWO RISERS OR FEWER; NO RAILING
WALLS	W1	WOOD TIMBER WALL	1 / L4.03	8"X 8"X 18" HT.; PRESSURE TREATED WOOD TIMBERS	LIGHTING INTEGRATED INTO WALL; SEE LIGHTING DRAWINGS
	W2	TABBY ENTRY PIER	4 / L4.03	20" X 20" X 48" HT.; OYSTER SHELL TABBY FINISH WITH LIMESTONE CAP	WITH SIGNAGE AND LIGHTING, PER TOWN CODE
	W3	TABBY ENTRY PIER AT DROP-OFF	5 / L4.03	20" X 20" X 48" HT.; OYSTER SHELL TABBY FINISH WITH LIMESTONE CAP	WITH SIGNAGE AND LIGHTING, PER TOWN CODE
FENCES	F1	UTILITY YARD ENCLOSURE	1 / L4.04	PANELIZED PRE FAB SYSTEM; 7' HT.; HORIZONTAL PLANKWALL; FINISH: WEATHERED TEAK	PER CITYSCAPES INC.; COVRIT SYSTEM
	F2	REFUSE ENCLOSURE		PANELIZED PRE FAB SYSTEM; 6' HT.; HORIZONTAL PLANKWALL; FINISH: WEATHERED TEAK	PER CITYSCAPES INC.; COVRIT SYSTEM
	F3	FUEL PUMP ENCLOSURE		PANELIZED PRE FAB SYSTEM; 4' HT.; HORIZONTAL PLANKWALL; FINISH: WEATHERED TEAK	PER CITYSCAPES INC.; COVRIT SYSTEM

Sarah Bumbalugh: J:\2016\16-599\Quarterdeck\_Restaurant\3.0 CAD\Sheets\16-599\_QD\_L1.00.dwg, Page Setup: ---, H:\CD\csh, Plot Scale: 1:1, DWG To PDF with Layers.plt3

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01/22/21	100% DD
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NO	DATE

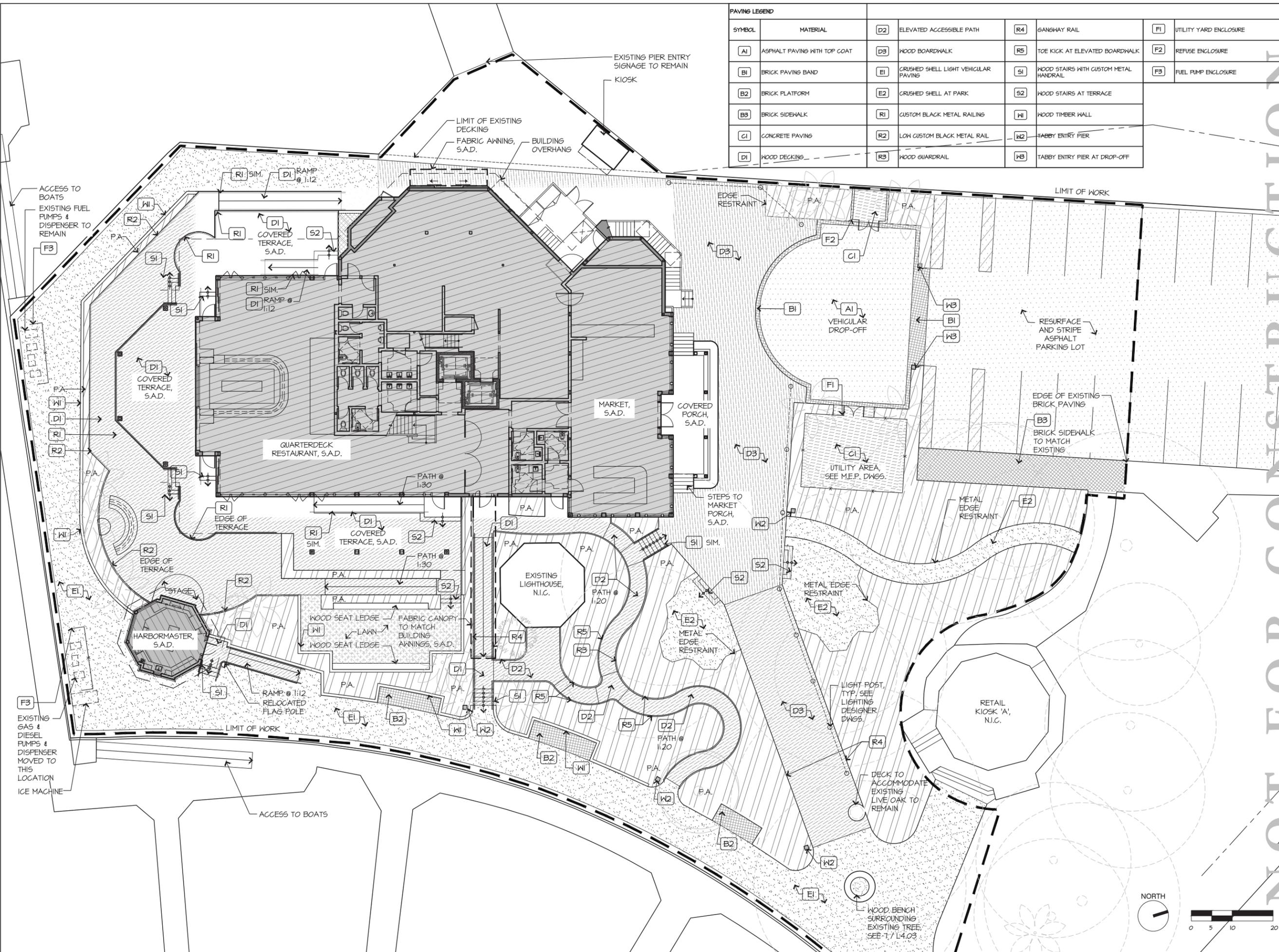
DATE	ISSUE

DRAWING TITLE  
**MATERIALS SCHEDULE**

PROJECT #: 16-599  
DRAWN BY:  
CHECKED BY:  
DRAWING NO:

**L1.00**

PAVING LEGEND					
[A1]	ASPHALT PAVING WITH TOP COAT	[D2]	ELEVATED ACCESSIBLE PATH	[R4]	GANGWAY RAIL
[B1]	BRICK PAVING BAND	[D3]	WOOD BOARDWALK	[R5]	TOE KICK AT ELEVATED BOARDWALK
[B2]	BRICK PLATFORM	[E1]	CRUSHED SHELL LIGHT VEHICULAR PAVING	[S1]	WOOD STAIRS WITH CUSTOM METAL HANDRAIL
[B3]	BRICK SIDEWALK	[E2]	CRUSHED SHELL AT PARK	[S2]	WOOD STAIRS AT TERRACE
[C1]	CONCRETE PAVING	[R1]	CUSTOM BLACK METAL RAILING	[W1]	WOOD TIMBER WALL
[D1]	WOOD DECKING	[R2]	LOW CUSTOM BLACK METAL RAIL	[W2]	TABBY ENTRY PIER
		[R3]	WOOD GUARDRAIL	[W3]	TABBY ENTRY PIER AT DROP-OFF
				[F1]	UTILITY YARD ENCLOSURE
				[F2]	REFUSE ENCLOSURE
				[F3]	FUEL PUMP ENCLOSURE



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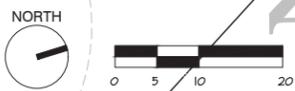
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 NORTH  
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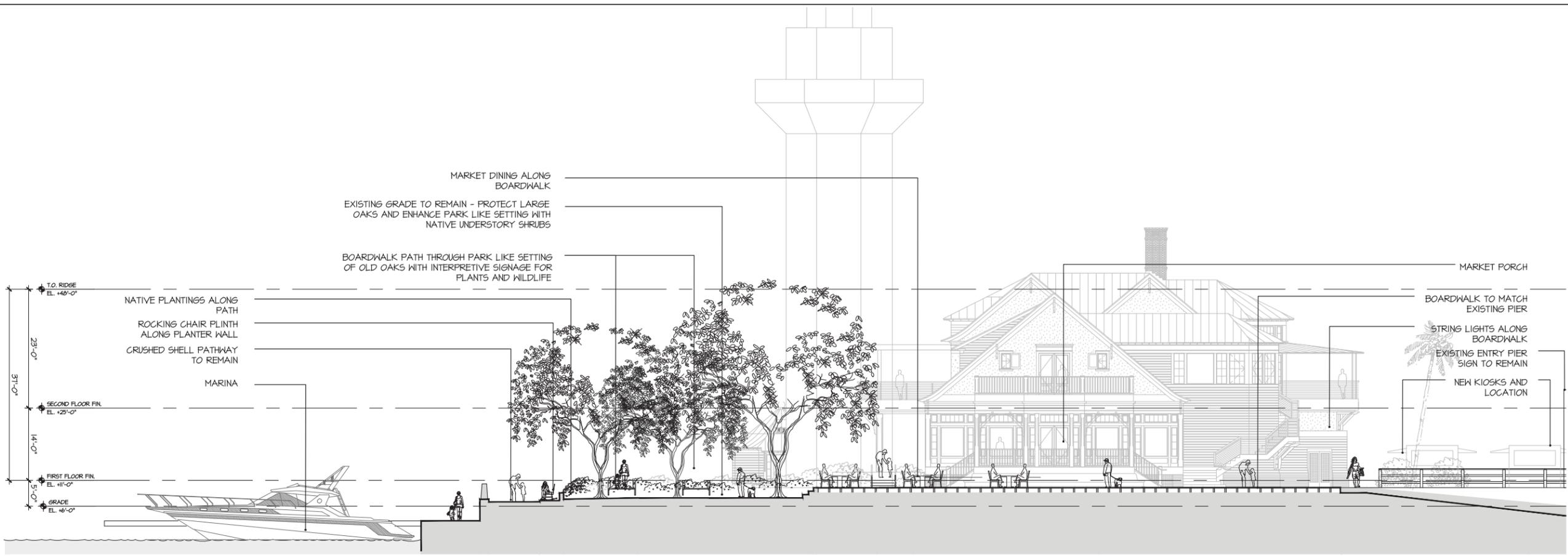
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01/22/21	100% DD
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REVISIONS		
NO.	DATE	ISSUE

MATERIALS PLAN	
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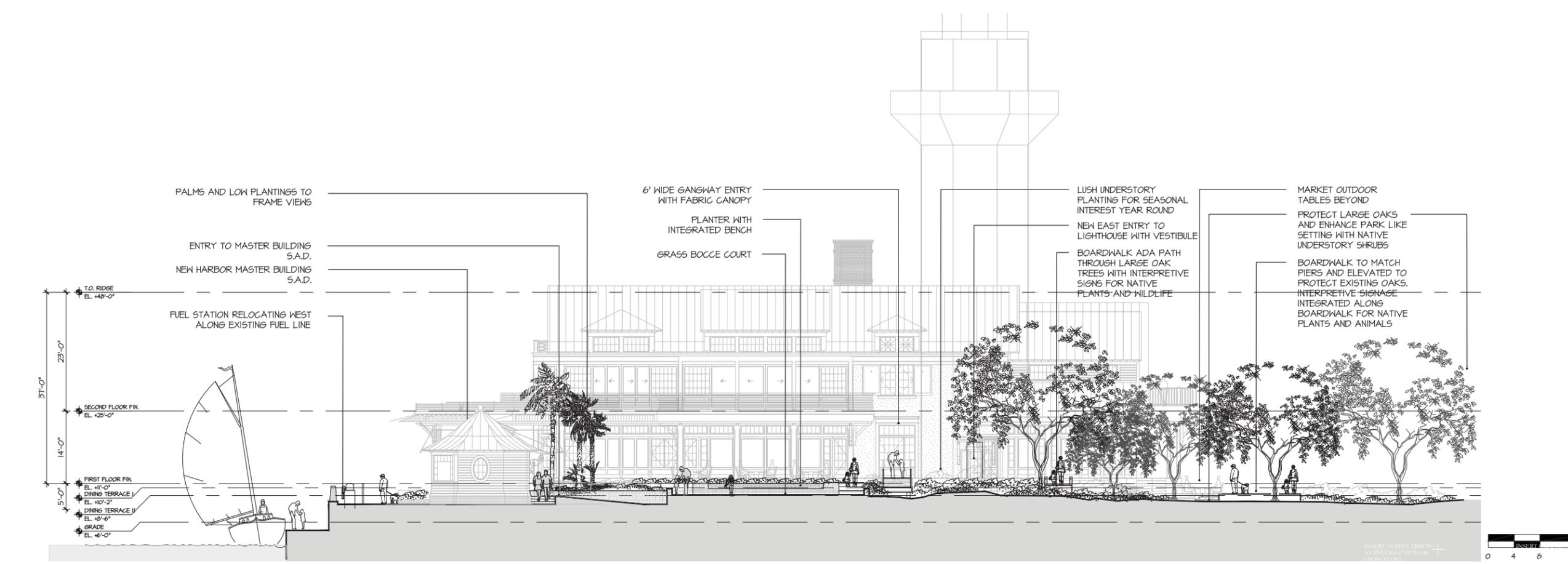
PROJECT #: 14-309  
 DRAWN BY: SR  
 CHECKED BY: JN  
 DRAWING NO: L1.01





1 NORTH ELEVATION

1/8"=1'-0"



2 WEST ELEVATION

1/8"=1'-0"

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NO.	DATE	ISSUE

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NO.	DATE	ISSUE

DRAWING TITLE  
**SITE SECTIONS**

PROJECT #:  
16-509  
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SR  
CHECKED BY:  
JN

DRAWING NO:  
**L3.01**

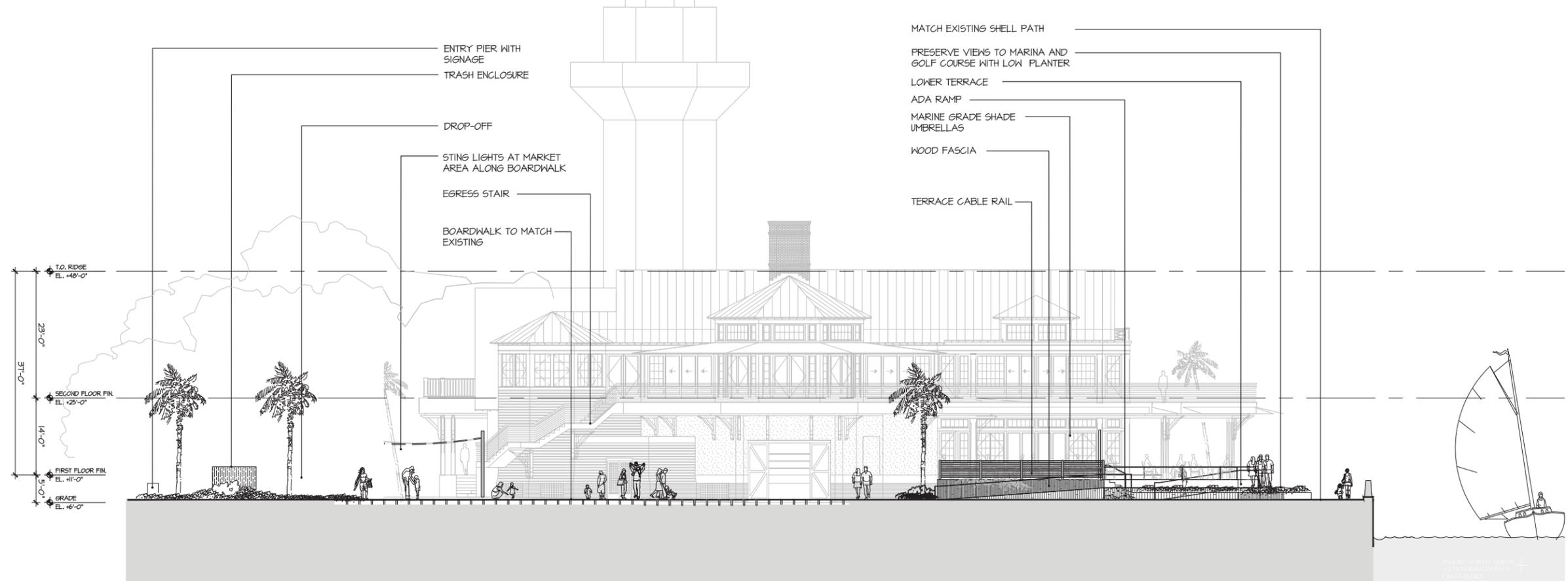
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1 SOUTH ELEVATION

1/8"=1'-0"



2 EAST ELEVATION

1/8"=1'-0"

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NO.	DATE	ISSUE

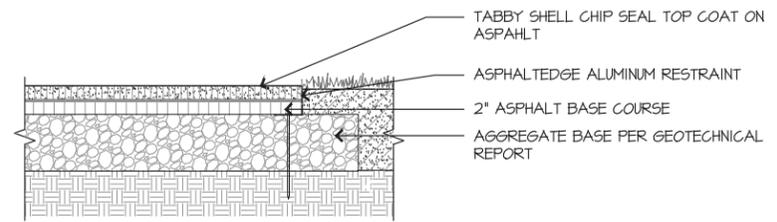
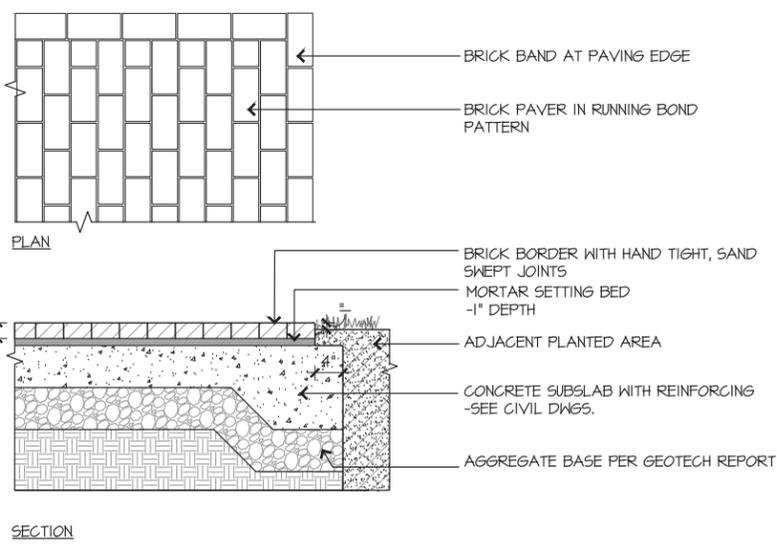
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**SITE SECTIONS**

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DRAWN BY:  
VALUE  
CHECKED BY:  
JP, RR

DRAWING NO:  
**L3.02**

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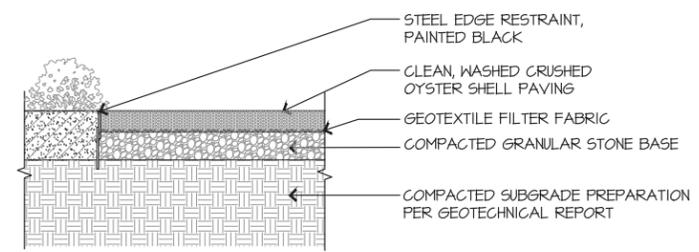
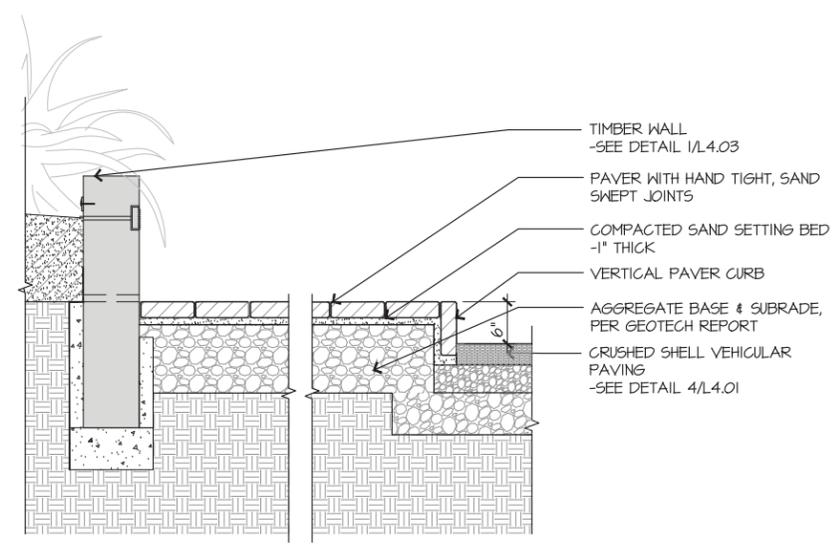
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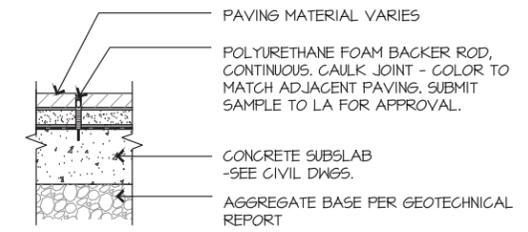
**NOTE:**  
 1. SEE CIVIL ENGINEER'S DRAWINGS FOR SUB-SURFACE DRAINAGE INFORMATION  
 2. WHERE NEW ASPHALT MEETS ADJACENT PAVING, SURFACES SHALL BE FLUSH AND EDGES ALIGNED

6 B3: BRICK SIDEWALK 1"=1'-0"

3 A1: ASPHALT PAVING WITH TOP COAT 1"=1'-0"



**NOTE:**  
 SEE CIVIL ENGINEER'S DRAWINGS FOR SUB-SURFACE DRAINAGE INFORMATION

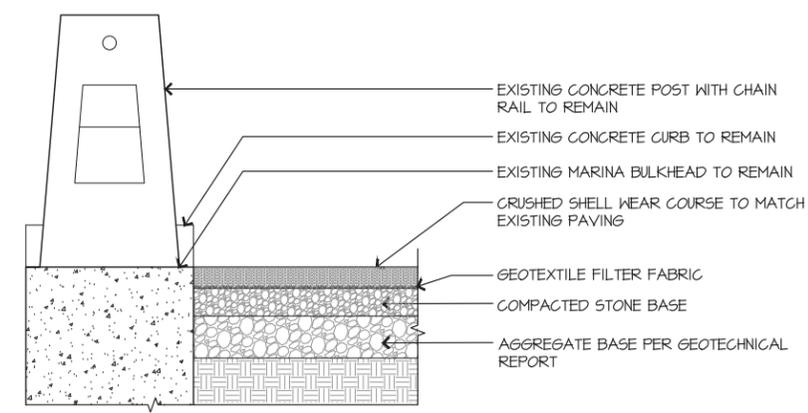
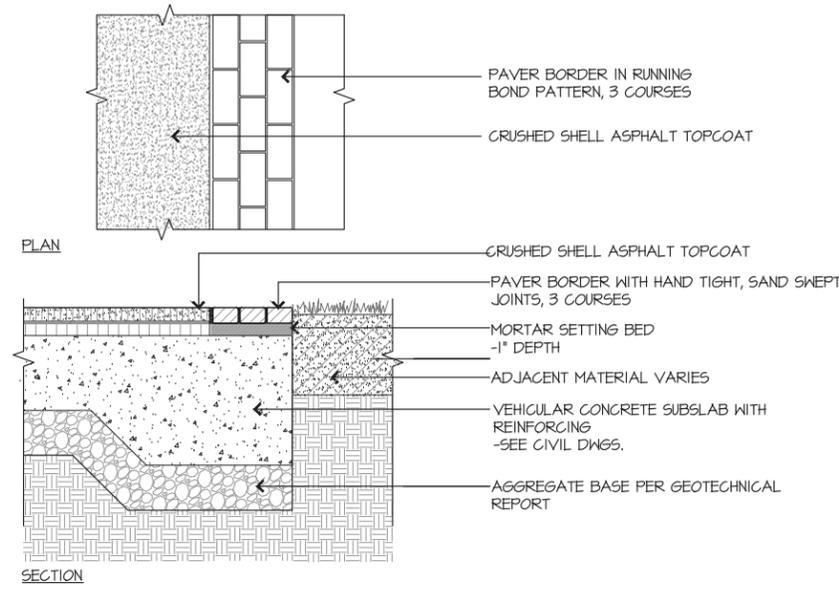


**NOTE:**  
 COLOR OF CAULK JOINT TO MATCH PAVING COLOR

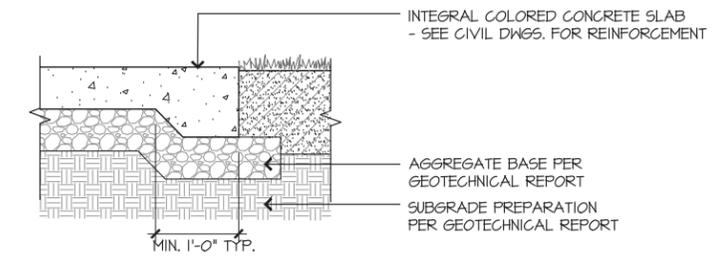
8 B2: PAVER PLATFORM 1"=1'-0"

5 E2: CRUSHED SHELL AT PARK 1"=1'-0"

2 EXPANSION JOINT AND CONTROL JOINT 1"=1'-0"



**NOTE:**  
 SEE CIVIL ENGINEER'S DRAWINGS FOR SUB-SURFACE DRAINAGE INFORMATION



7 B1: PAVER BAND 1"=1'-0"

4 E1: CRUSHED SHELL LIGHT VEHICULAR PAVING 1"=1'-0"

1 G1: CONCRETE PAVING 1"=1'-0"

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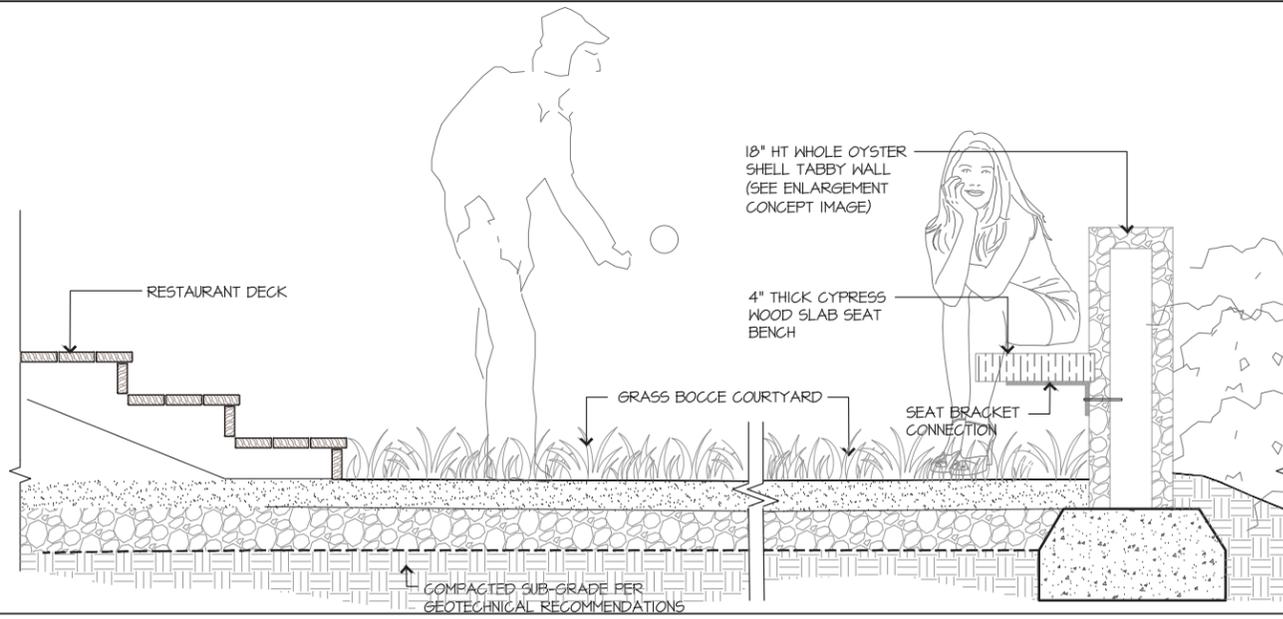
**DETAILS**

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PROJECT #: 16-590  
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 DRAWING NO.: L4.01

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ENLARGEMENT CONCEPT IMAGE: WHOLE OYSTER SHELL TABBY WALL FINISH

6 GRASS COURTYARD AND SEAT WALL 1/2"=1'-0"

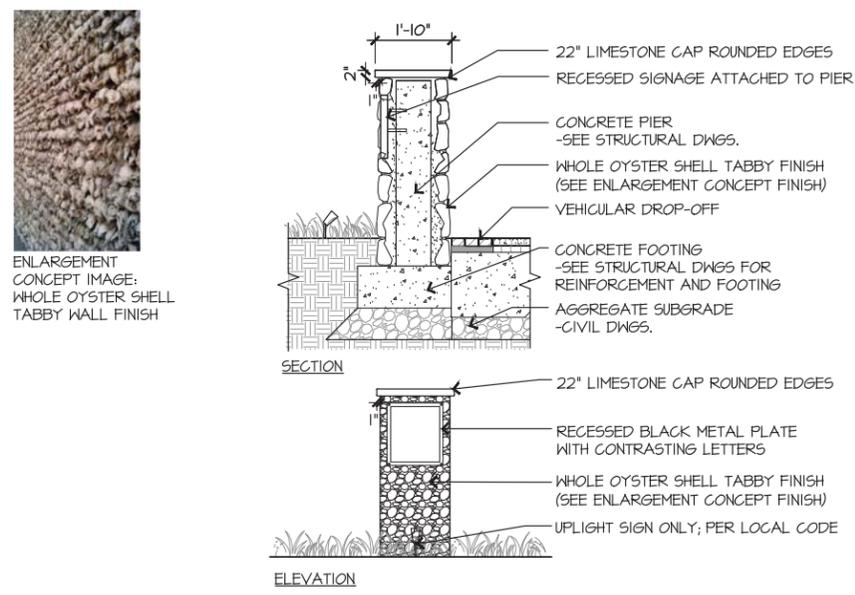


CONCEPT FOR GATEWAY LIGHTS

- 6" DIA. ALUMINUM POSTS PAINTED WITH MARINE GRADE METAL PAINT
- POSTS TO BE MIN 13' HIGH FROM GROUND PLANE
- MIN 2" DEEP CONCRETE FOOTINGS WITH PAINTED ALUMINUM ANCHOR PLATE
- ALL ELECTRICAL ROUTING TO OCCUR WITHIN POST AND BELOW GRADE

NOTE:  
 1. DETAIL IS FOR DESIGN INTENT ONLY  
 2. POST SPACING, LIGHT FIXTURE, PHOTOMETRIC CALCULATIONS AND LIGHTING REQUIREMENTS TO BE PERFORMED BY LIGHTING DESIGNER  
 3. ALL FOOTINGS AND POST SIZING SUBJECT TO STRUCTURAL ENGINEER'S REVIEW

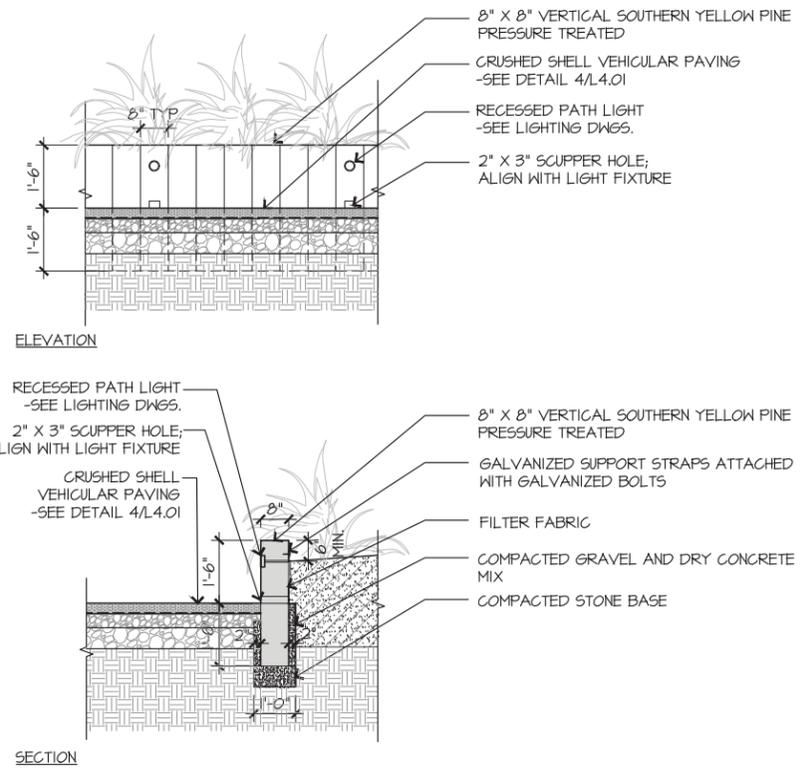
8 STRING LIGHT PRECEDENT



5 TABBY ENTRY PIER AT DROP-OFF 1/2"=1'-0"



DESIGN INTENT: LOW TIMBER PERIMETER SITE WALL

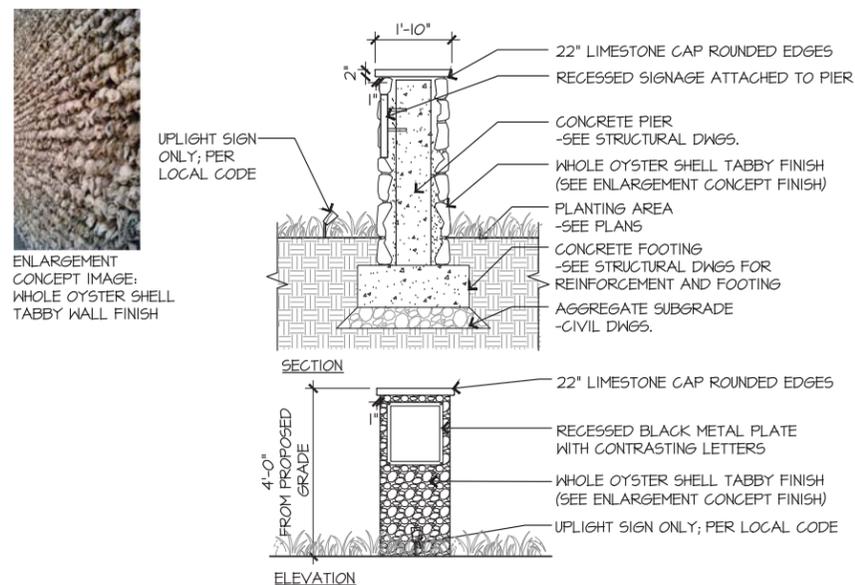


1 W1: WOOD TIMBER WALL 1/2"=1'-0"



NOTE: DETAIL IS FOR DESIGN INTENT ONLY

7 BENCH AT EXISTING TREE 1/2"=1'-0"



4 TABBY ENTRY PIER 1/2"=1'-0"

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REVISIONS		
NO	DATE	ISSUE

DETAILS		
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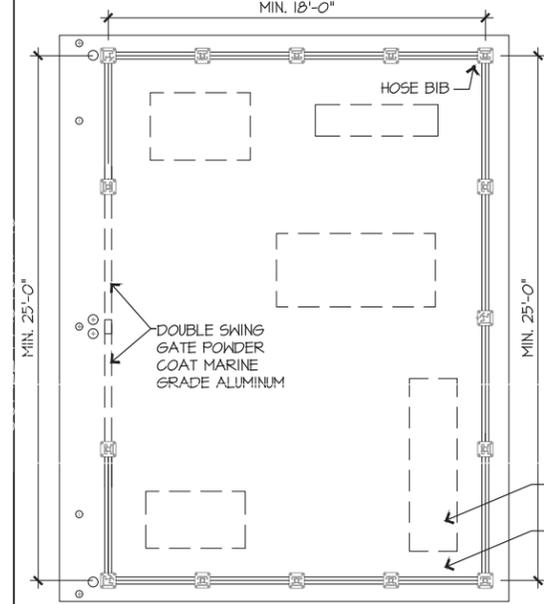
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 16-509  
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DRAWING NO:  
**L4.03**

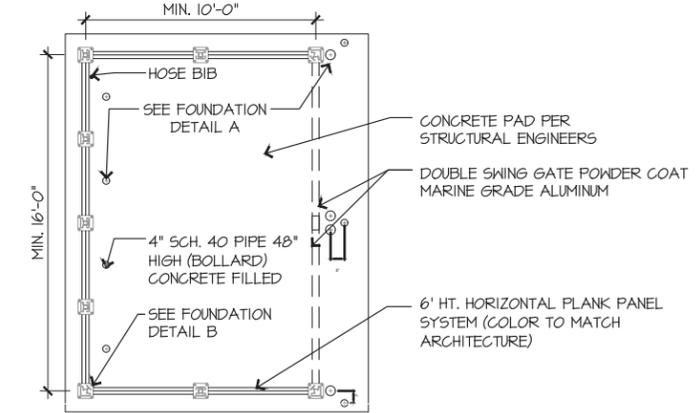
Sarah Bumbalugh: 11/13/2016: 16:597 Quarterdeck Restaurant 3.0 CAD (Sheets) 16:599\_QD\_1.4.04.dwg, Page Setup: ---, H:\CD\Arch\16:599\_QD\_1.4.04.dwg, Plot Scale: 1:1, DWG To PDF with Layers.plt3



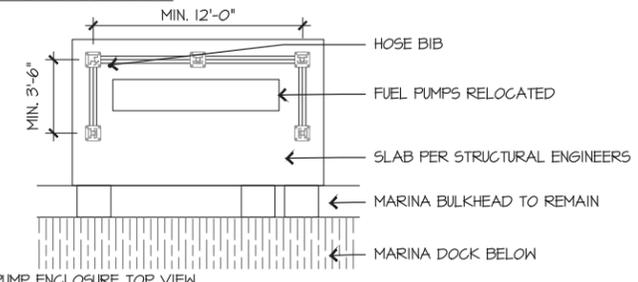
DESIGN INTENT IMAGE



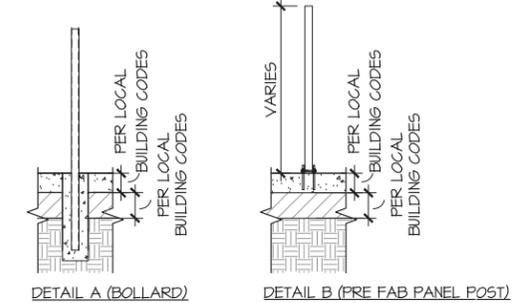
F1: UTILITY YARD ENCLOSURE TOP VIEW



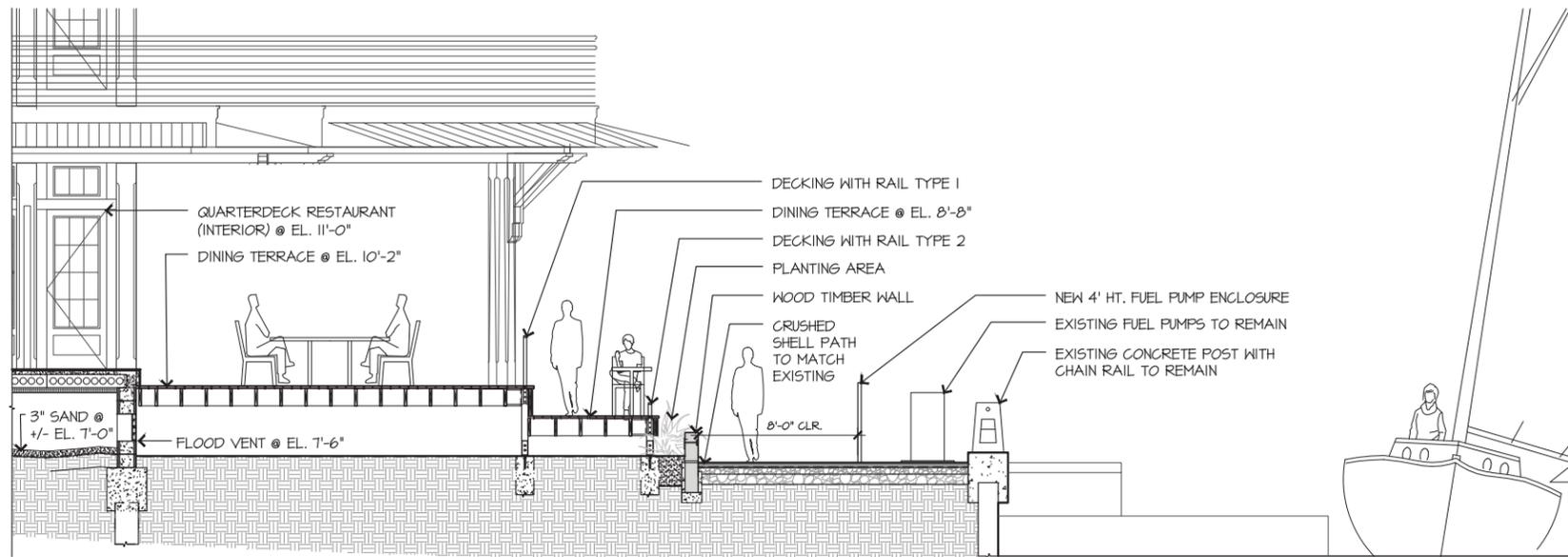
F2: REFUSE ENCLOSURE TOP VIEW



F3: FUEL PUMP ENCLOSURE TOP VIEW



- NOTES:**
1. ALL UTILITY RE-LOCATION PER M.E.P. ENGINEERS
  2. PANELIZED PRE FAB SYSTEM PER CITYSCAPES INC.
  3. HORIZONTAL PLANK PANELS TO MATCH ARCHITECTURE
  4. TRASH ENCLOSURE - 6' HT. UTILITY ENCLOSURE - 7' HT. FUEL PUMP ENCLOSURE - 4' HT.



7 SECTION ENLARGEMENT

1/4"=1'-0"

UTILITY & REFUSE ENCLOSURES

1/4"=1'-0"

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DETAILS

PROJECT #: 16-509  
DRAWN BY:  
CHECKED BY:  
IN

DRAWING NO.: L4.04

NOT FOR CONSTRUCTION

TREE & PALM SCHEDULE			SIZE
TREES	BOTANICAL NAME / COMMON NAME		
	EXISTING TREE TO REMAIN		
	MAG SWE	MAGNOLIA VIRGINIANA / SWEET BAY	6'-8' HT.
PALMS			
	BUT CAP	BUTIA CAPITATA / PINDO PALM	6' HT. MIN.
	SAB SAB	SABAL PALMETTO / CABBAGE PALMETTO	14-16' CT.

SHRUB & GROUND COVER SCHEDULE			
	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
	CELL 1		
	AGA AFR	AGAPANTHUS AFRICANUS / AFRICAN LILY	1 GAL
	CAL KA3	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL
	CAM FLA	CAMPIS RADICANS 'FLAVA' / YELOW TRUMPET CREEPER	2 GAL
	COR ZAG	COREOPSIS VERTICILLATA 'ZAGREB' / ZAGREB THREAD LEAF COREOPSIS	1 GAL
	CYC REV	CYCAS REVOLUTA / SAGO PALM	30 GAL
	HEL DE3	HELIANTHUS DEBILIS / DUNE SUNFLOWER	1 GAL
	MUH CAP	MUHLBERGIA CAPILLARIS / PINK MUHLY GRASS	3 GAL
	PAN HEA	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS	3 GAL
	PER ATR	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	1 GAL
	PIT VAR	PITOSPORUM TOBIRA 'VARIEGATA' / VARIEGATED MOCK ORANGE	7 GAL
	ROS DWA	ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY	3 GAL
	SER RE2	SERENOA REPENS / SAW PALMETTO	15 GAL
	YUC F12	YUCCA FILAMENTOSA / ADAM'S NEEDLE	3 GAL
	ZAM PUM	ZAMIA PUMILA / COONTIE CYCAD	7 GAL

	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
	CELL 2		
	CER PLU	CERATOSTIGMA PLUMBAGINOIDES / DWARF PLUMBAGO	4"POT
	CLE HU2	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD SUMMERSWEET	3 GAL
	CRI ASI	CRINUM ASIATICUM / SPIDER LILY	3 GAL
	CYR FAL	CYRTOMIUM FALCATUM / HOLLY FERN	1 GAL
	ILE DWF	ILEX VOMITORIA 'SCHILLINGS DWARF' / SCHILLINGS DWARF YAUPON HOLLY	7 GAL
	LIR GIG	LIRIOPE GIGANTEA / GIANT LIRIOPE	1 GAL
	RHO GUM	RHODODENDRON X 'GUMPO PINK' / GUMPO PINK SATSUKI AZALEA	3 GAL
	RHO GU2	RHODODENDRON X 'GUMPO WHITE' / GUMPO WHITE SATSUKI AZALEA	3 GAL
	SER CIN	SERENOA REPENS 'CINEREA' / SILVER SAW PALMETTO	15 GAL
	TRA ASI	TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE	1 GAL
	CELL 3		
	CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL
	PEN LI2	PENNISETUM ALOPECUROIDES 'LITTLE HONEY' / LITTLE HONEY DWARF FOUNTAIN GRASS	1 GAL
	ROS DW2	ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY	1 GAL
	SAL MA4	SALVIA X SYLVESTRIS 'MAY NIGHT' / MAY NIGHT SAGE	1 GAL
	LAWN		

Sarah Rumbaugh: H:\2016\16-599 Quarterdeck Restaurant\3.0 CAD\Sheetfiles\16-599\_QD\_L5.00.dwg, Page Setup: ---, H:\C:\csh, Plot Scale: 1:1, DWG To PDF with Layers.plt3

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01/22/21	100% DD
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REVISIONS

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DRAWING TITLE  
**PLANTING SCHEDULE**

PROJECT #: 16-599  
DRAWN BY:  
CHECKED BY:  
IN

DRAWING NO:  
**L5.00**

NOT FOR CONSTRUCTION

Sarah Rumbough; 1/13/2016; 16:597 Quarterdeck Restaurant 3.0 CAD Sheefiles\16599\_QD\_15.01.dwg; Page Setup: ---; H:\CD\csh; PlotScale: 1:1; DWG To PDF with Layers.plt3



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**PLANTING PLAN**

PROJECT #: 16-599  
 DRAWN BY: SR  
 CHECKED BY: JN  
 DRAWING NO: **L5.01**

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LEGEND - WALL TYPES

	WOOD STUD FRAMED WALL
	METAL STUD FRAMED WALL
	CMU WALL

PLACE LICENSE STAMP HERE:

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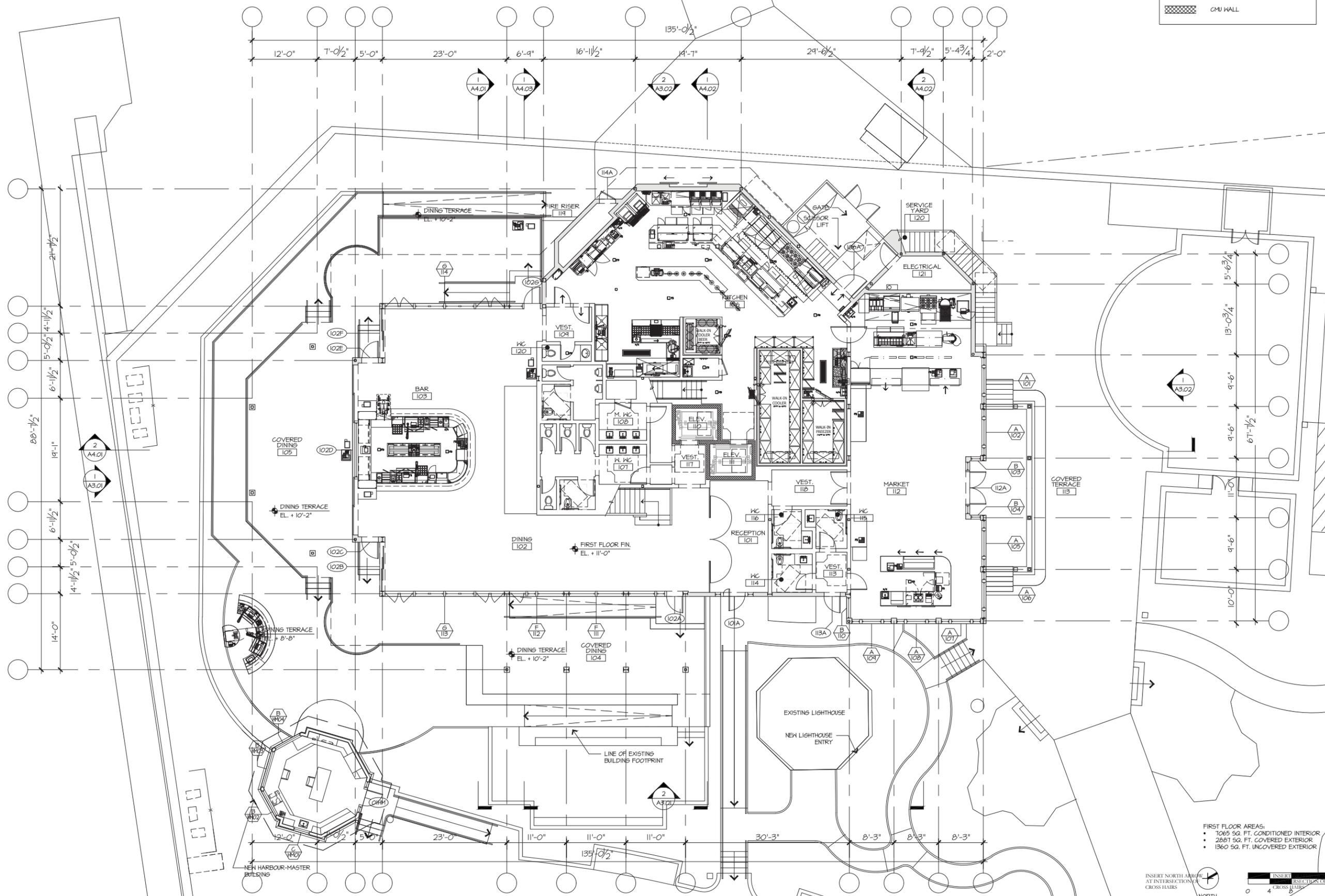
REVISIONS		
NO.	DATE	ISSUE
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DRAWING TITLE

**FIRST FLOOR PLAN**

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PROJECT #: 16-509  
DRAWN BY: J.P. RR  
CHECKED BY: J.P. RR  
DRAWING NO: **A2.01**



- FIRST FLOOR AREAS:
- 1065 SQ. FT. CONDITIONED INTERIOR
  - 2887 SQ. FT. COVERED EXTERIOR
  - 1360 SQ. FT. UNCOVERED EXTERIOR



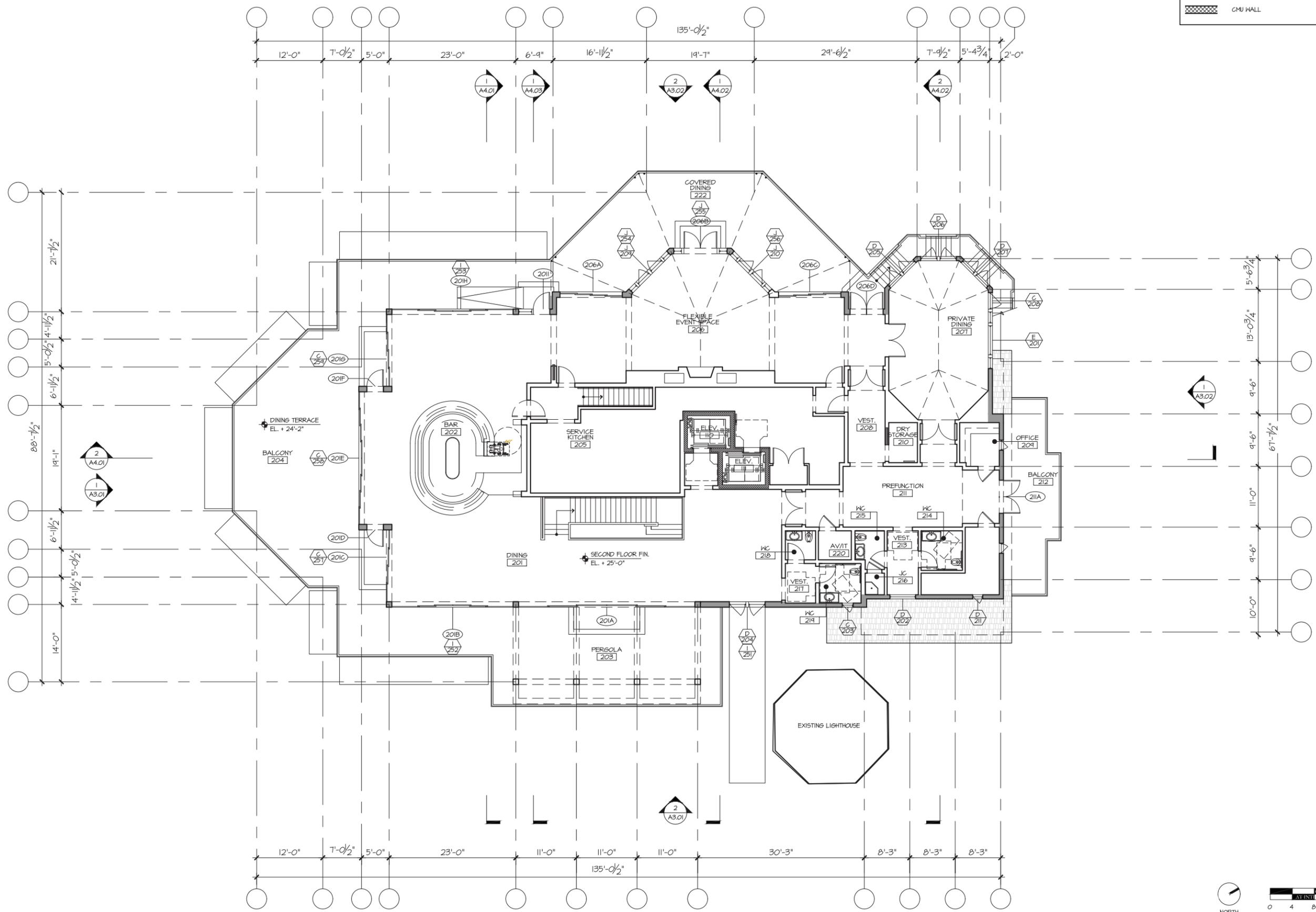
1 | FIRST FLOOR PLAN

1/8"=1'-0"

Clark Dambrosia, P.E. 2016\16-509 Quarterdeck Restaurant\3.0 CAD Sheets\16-509\_QD\_A2.02.dwg, Plot Scale: 1/8"=1'-0", Plot Setup: 11-CD.dwt, Plot Scale: 1/8"=1'-0", AutoCAD PDF (General Documentation).pc3

LEGEND - WALL TYPES

	WOOD STUD FRAMED WALL
	METAL STUD FRAMED WALL
	CMU WALL



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NO	DATE	ISSUE

DRAWING TITLE  
**SECOND FLOOR PLAN**  
 PLAN

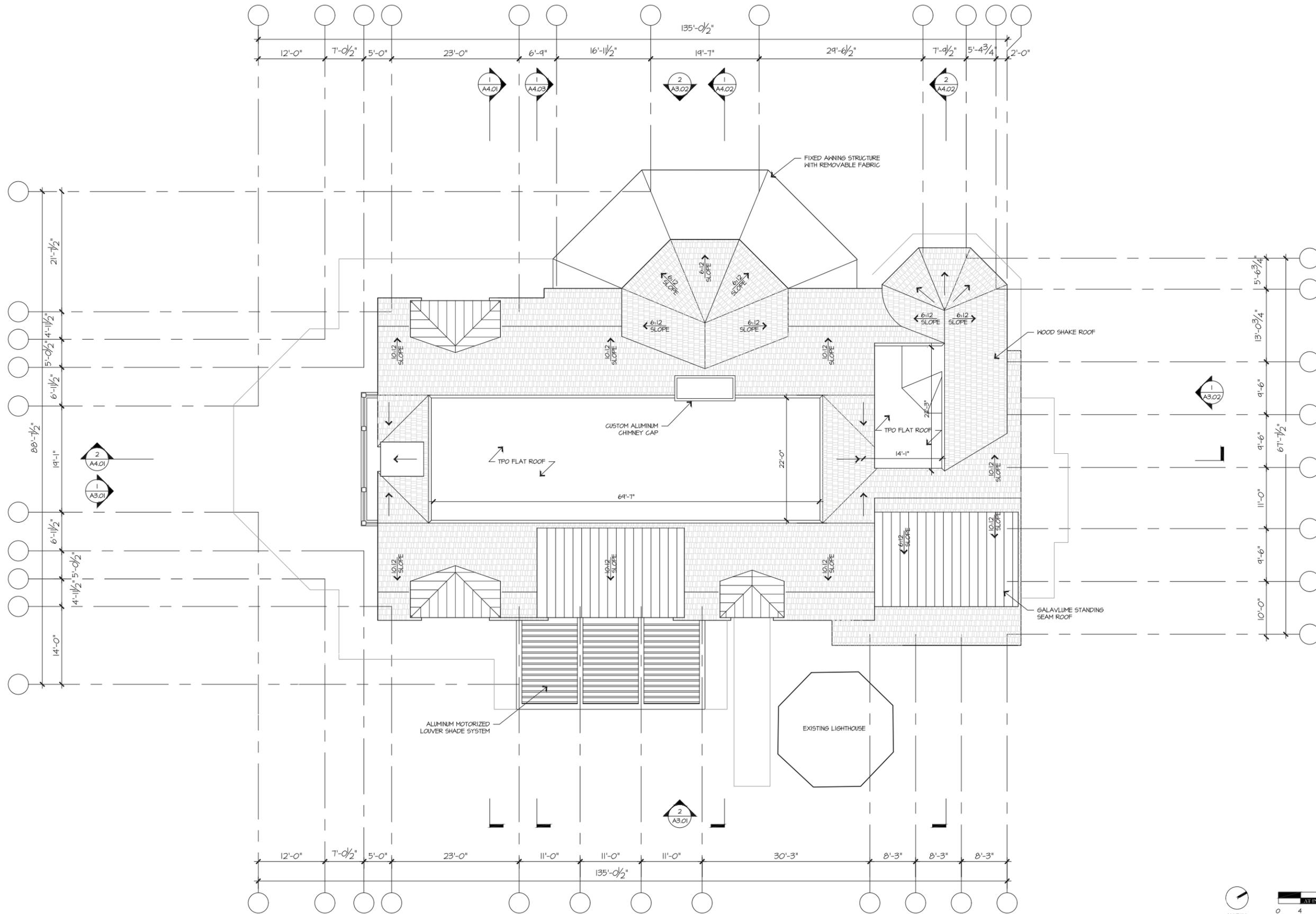
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 16-509  
 DRAWN BY:  
 CHECKED BY:  
 DRAWING NO:  
**A2.02**



1 SECOND FLOOR PLAN

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1 ROOF PLAN

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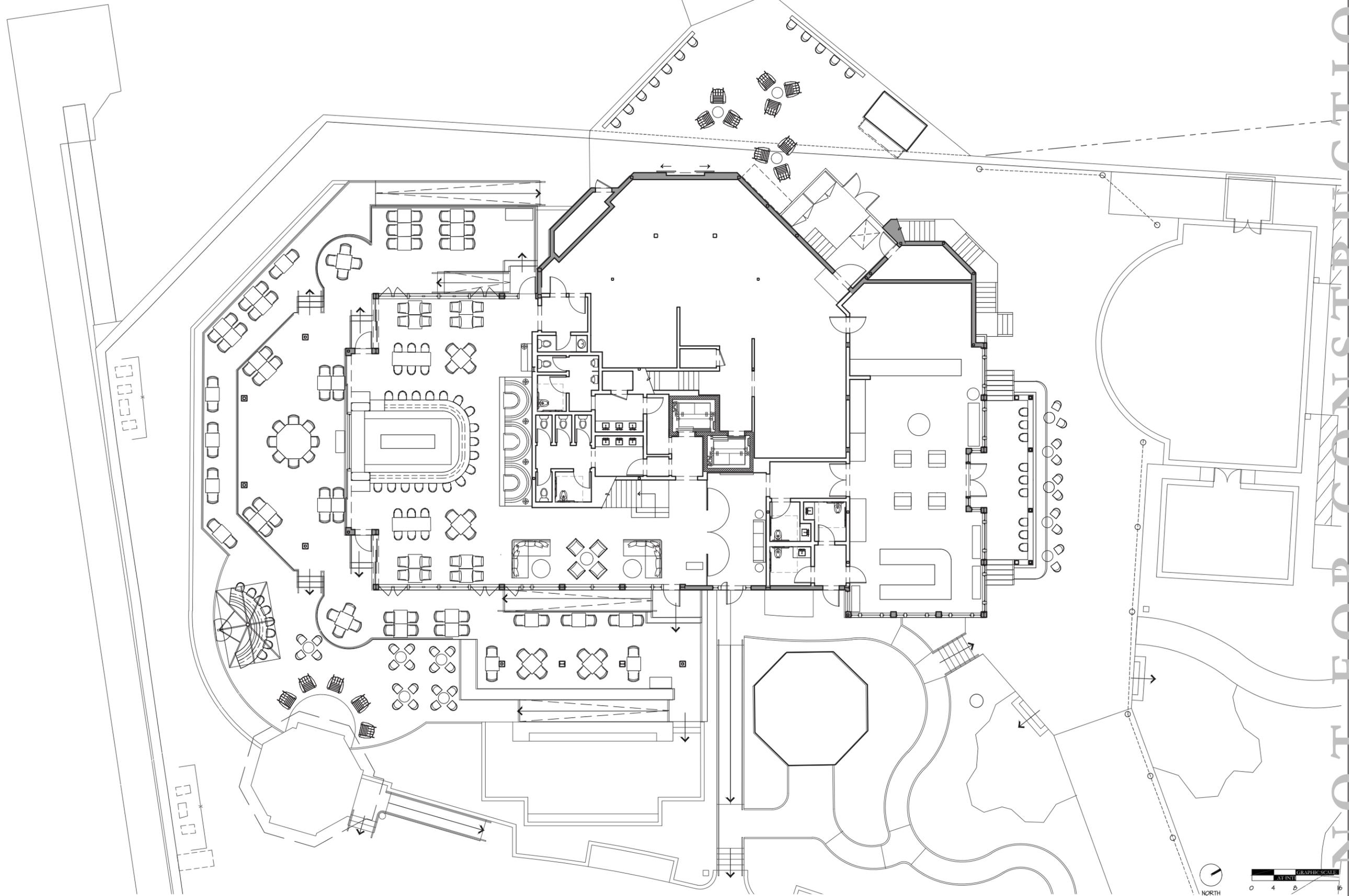
NO	DATE	ISSUE

DRAWING TITLE  
**ROOF PLAN**

PROJECT # : 16-509  
DRAWN BY : J.P, RR  
CHECKED BY : J.P, RR  
DRAWING NO : **A2.03**



1 FIRST FLOOR FURNITURE PLAN



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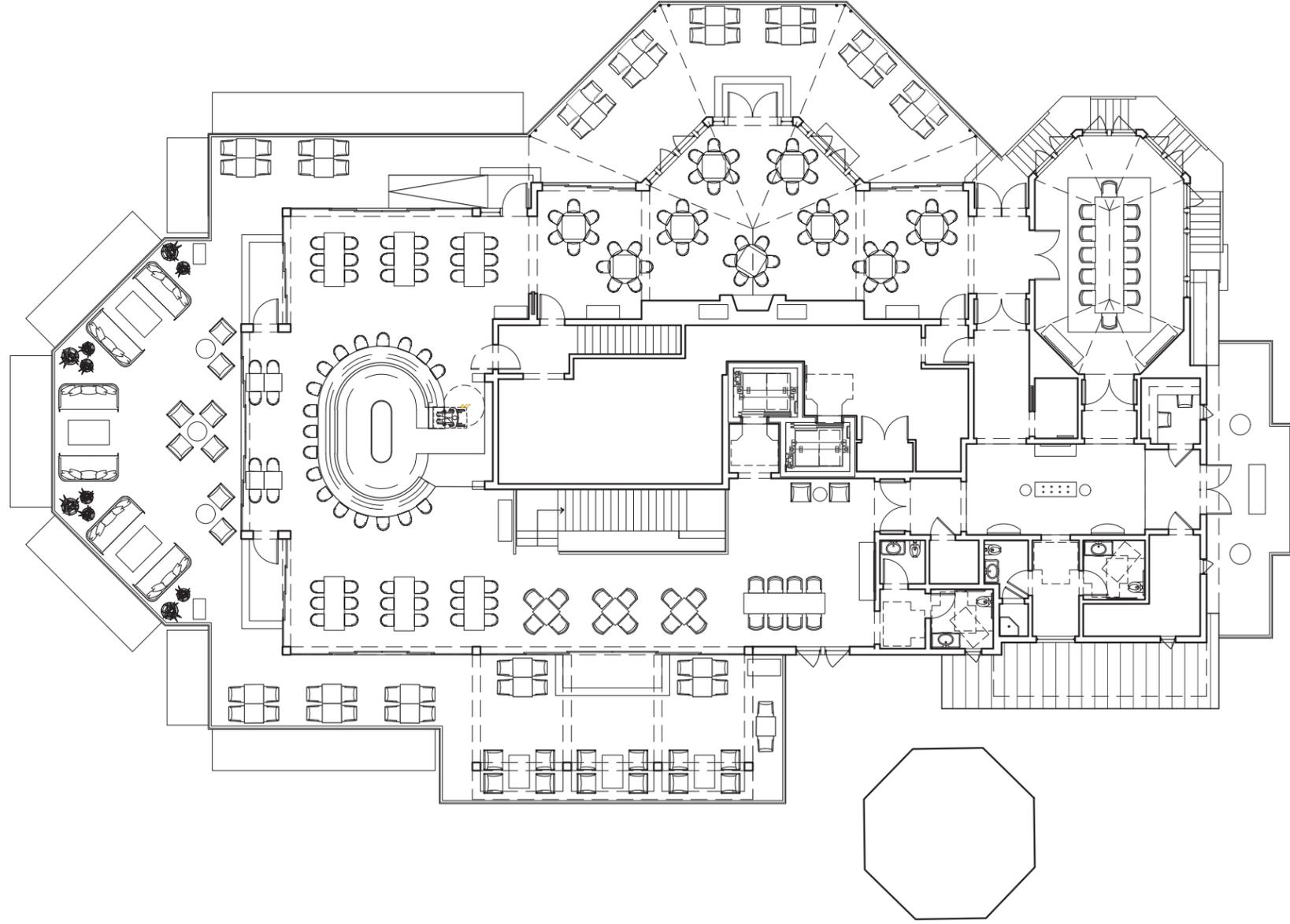
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**FIRST FLOOR FURNITURE PLAN**

PROJECT #:  
 16-509  
 DRAWN BY:  
 VALIE  
 CHECKED BY:  
 JP, RR

DRAWING NO:  
**A2.31**

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NORTH

1/8"=1'-0"

1 SECOND FLOOR FURNITURE PLAN

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DRAWING TITLE:  
**SECOND FLOOR FURNITURE PLAN**

PROJECT #: 16-509  
 DRAWN BY: VALUE  
 CHECKED BY: JP, RR

DRAWING NO:  
**A2.32**



**MATERIAL LEGEND**

- 1 STANDING SEAM GALVALUME FINISH METAL ROOFING (22 GA.)
- 2 ALUM. GUTTERS, SAME FINISH AS ROOF, 6" HALF-ROUND, FASCIA MOUNTED BRACKETS
- 3 ALUM. DOWNSPOUT, SAME FINISH AS ROOF, 4" DIA. ON CONCEALED BRACKETS
- 4 BEADED FIBER CEMENT SMOOTH LAP SIDING, 3/8" THK. IN RIBBON COURSING, HEAVE CORNERS
- 5 FIELD APPLIED TABBY CEMENT STUCCO SYSTEM, BASIS OF DESIGN PER SELECT IMAGES AND EXECUTED VIA FIELD MOCK-UPS
- 6 PTD. HIGH PERFORMANCE PVC TRIM
- 7 PTD. HIGH PERFORMANCE PVC WRAPPED BRACKETS
- 8 PTD. HIGH PERFORMANCE PVC COLUMN WRAPS
- 9 PTD. HIGH PERFORMANCE PVC LATTICE
- 10 ALUMINUM CLAD HD WINDOW (IMPACT GLASS)
- 11 ALUMINUM CLAD STILE & RAIL DOOR (IMPACT GLASS)
- 12 ALUMINUM CLAD LIFT & SLIDE DOOR (IMPACT GLASS)
- 13 STAINLESS STEEL POSTS AND CABLE (TYPE 316) GUARD RAIL SYSTEM WITH HARDWOOD CAP RAIL
- 14 HIGH PERFORMANCE ORGANIC FINISH (AAMA 2604) COATED ALUM. GUARD RAIL SYSTEM WITH CUSTOM PICKETS
- 15 HIGH PERFORMANCE ORGANIC FINISH (AAMA 2604) COATED ALUM. GUARD RAIL SYSTEM AND ALUM. PANELS
- 16 BRICK VENEER WATERTABLE
- 17 ADHERED MASONRY VENEER (THIN BRICK)
- 18 CUSTOM HIGH PERFORMANCE ORGANIC FINISH (AAMA 2604) ALUMINUM CHIMNEY CAP

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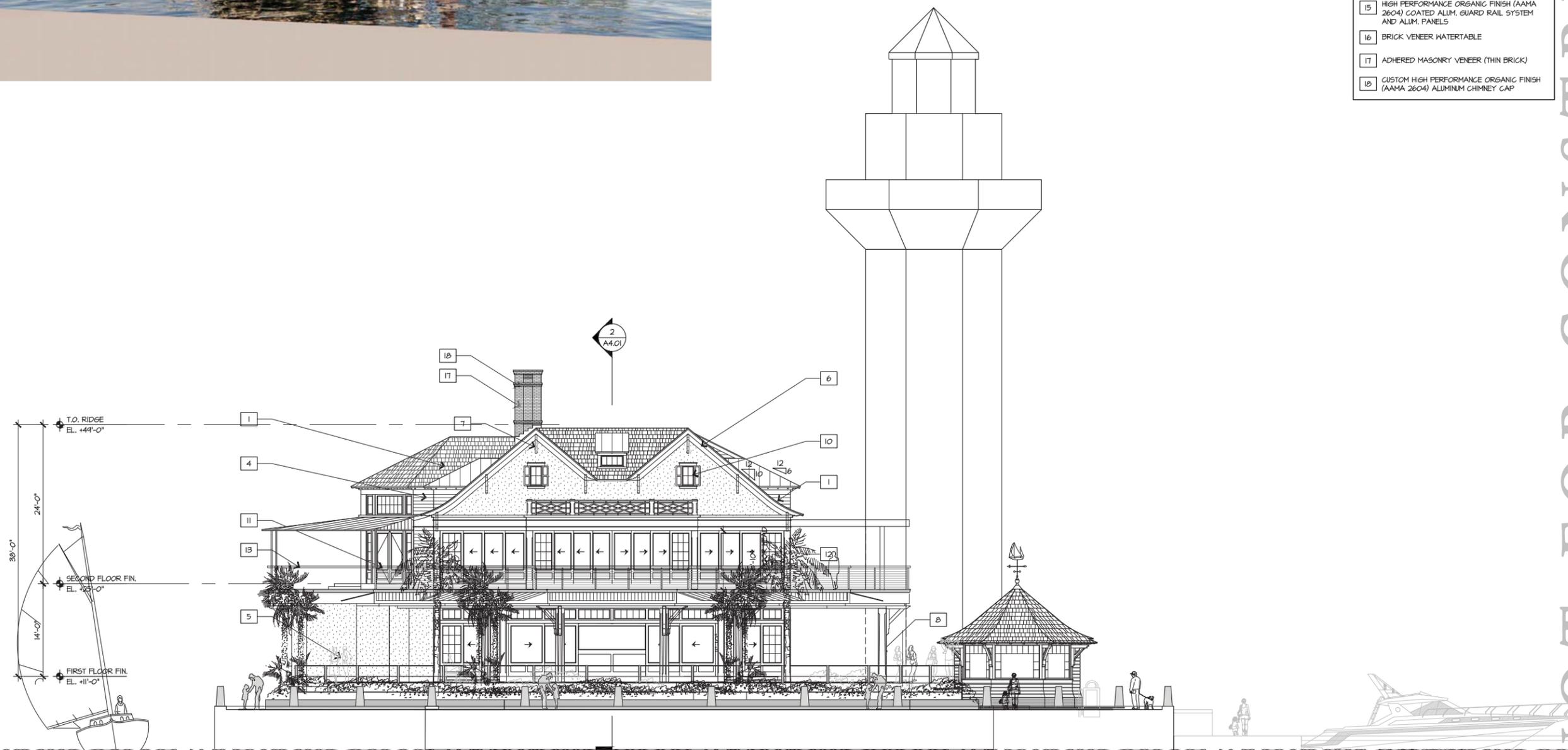
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**BUILDING ELEVATIONS**

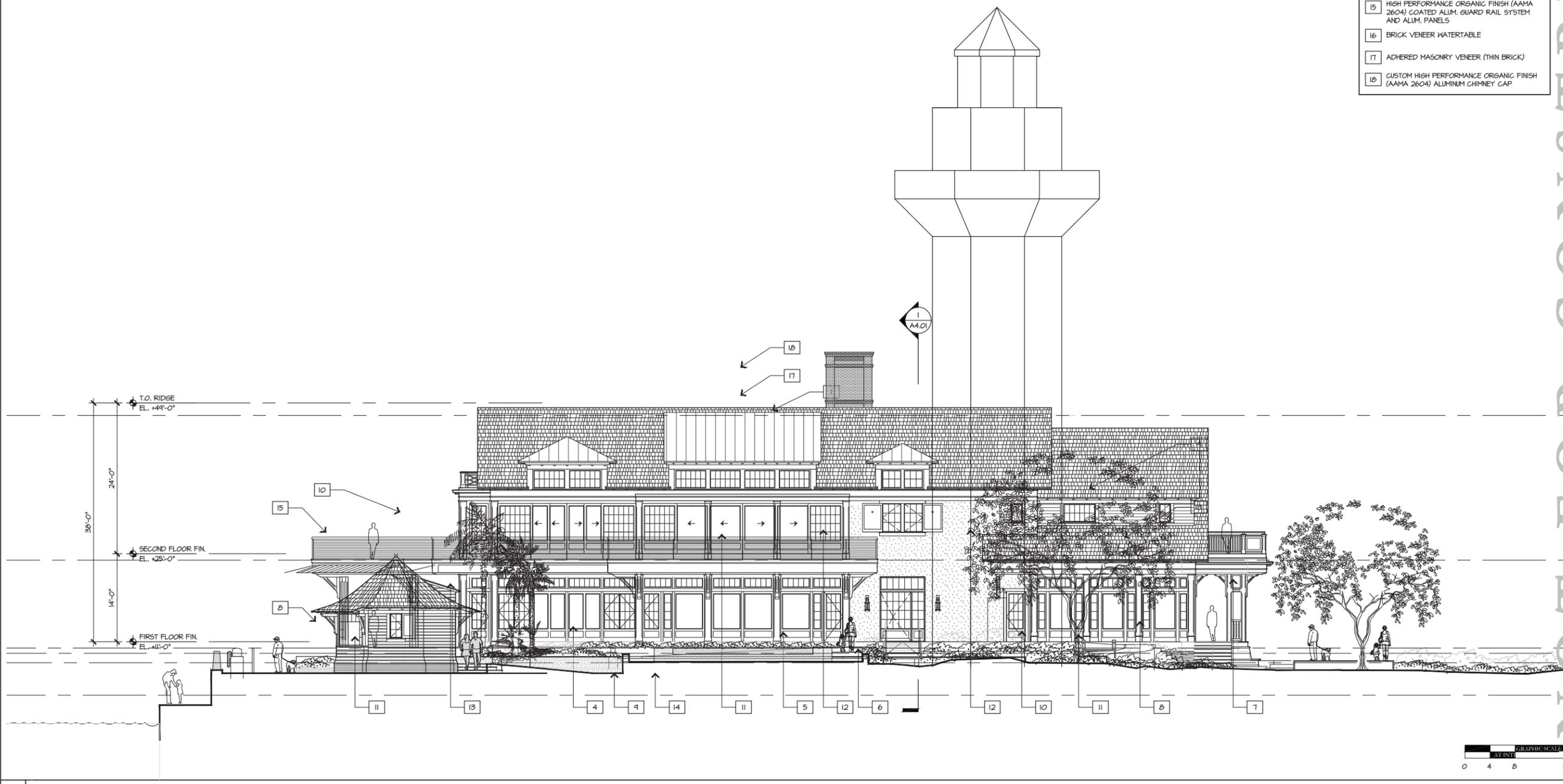
PROJECT #: 16-509  
 DRAWN BY: CD  
 CHECKED BY: JP, RR  
 DRAWING NO: **A3.01**



Brian Division, 11/20/16, 16-509 Quarterdeck Restaurant\310 CAD\Sheetfile\16-509\_QD\_A3.01.dwg, Page Setup: ---, H:\CD\Arch, Plot Scale: 1:1, DWG TO PDF with Layers, pc3

**1 | SOUTH ELEVATION**

BriAnn Division, 11/20/16, 16-509-Quarterdeck Restaurant(3)10 CAD(Sheet)16-509\_QD\_A3.02.dwg, Page Setup: ---, H:\CD\16-509\_QD\_A3.02.dwg, Plot Scale: 1/8" = 1'-0", DWG TO PDF with Layers, pc3



**MATERIAL LEGEND**

- 1 STANDING SEAM GALVALUME FINISH METAL ROOFING (22 GA.)
- 2 ALUM. GUTTERS, SAME FINISH AS ROOF, 6" HALF-ROUND, FASCIA MOUNTED BRACKETS
- 3 ALUM. DOWNSPOUT, SAME FINISH AS ROOF, 4" DIA. ON CONCEALED BRACKETS
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- 6 PTD. HIGH PERFORMANCE PVC TRIM
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- 15 HIGH PERFORMANCE ORGANIC FINISH (AAMA 2604) COATED ALUM. GUARD RAIL SYSTEM AND ALUM. PANELS
- 16 BRICK VENEER WATERTABLE
- 17 ADHERED MASONRY VENEER (THIN BRICK)
- 18 CUSTOM HIGH PERFORMANCE ORGANIC FINISH (AAMA 2604) ALUMINUM CHIMNEY CAP

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 DRAWING NO: **A3.02**

**I EAST ELEVATION**

1/8" = 1'-0"





**MATERIAL LEGEND**

- 1 STANDING SEAM GALVALUME FINISH METAL ROOFING (22 GA.)
- 2 ALUM. GUTTERS, SAME FINISH AS ROOF, 6" HALF-ROUND, FASCIA MOUNTED BRACKETS
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- 4 BEADED FIBER CEMENT SMOOTH LAP SIDING, 5/8" THK. IN RIBBON COURSING, HEAVE CORNERS
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REVISIONS		
NO.	DATE	ISSUE

**BUILDING ELEVATIONS**

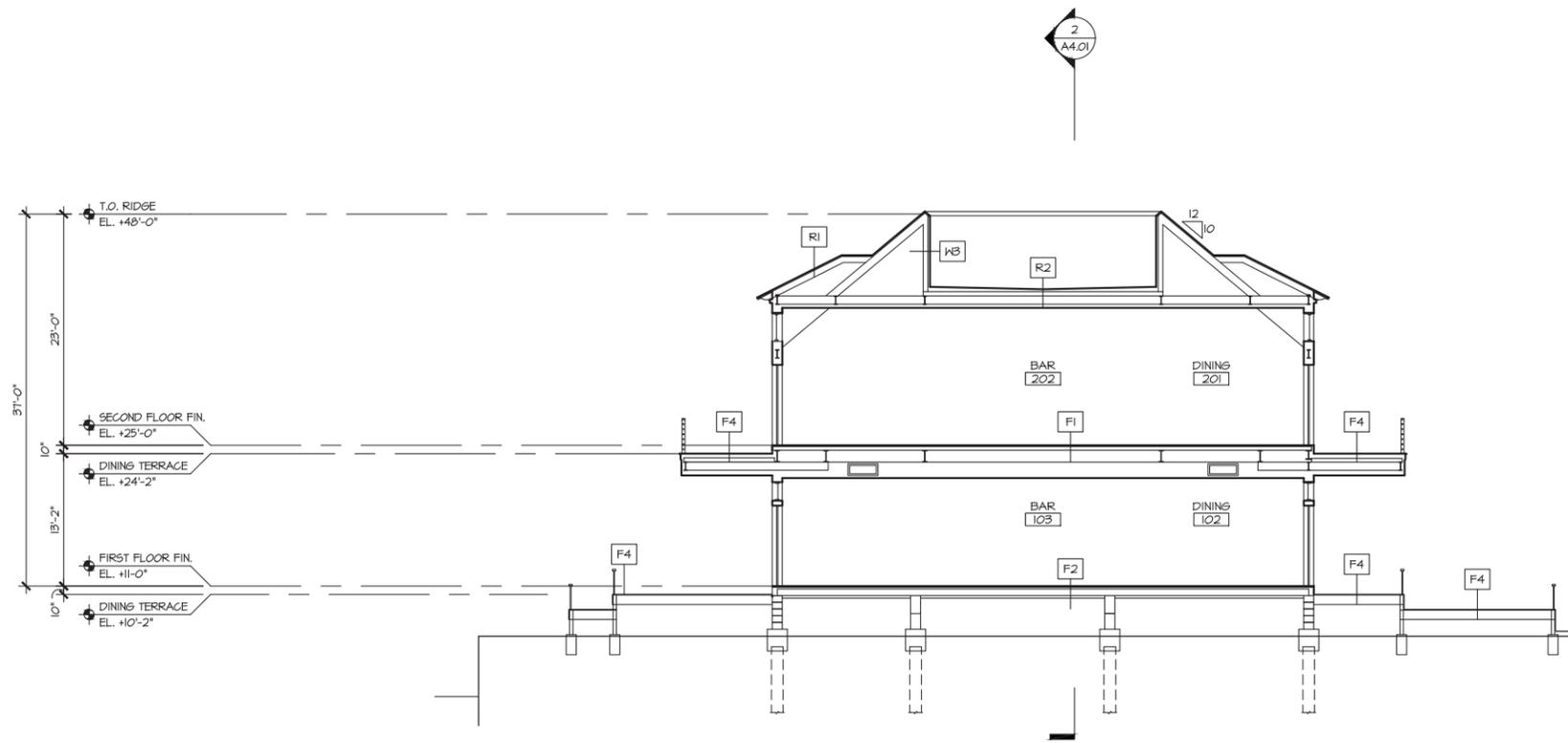
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 DRAWN BY: VALUE  
 CHECKED BY: JP, RR

DRAWING NO: **A3.04**



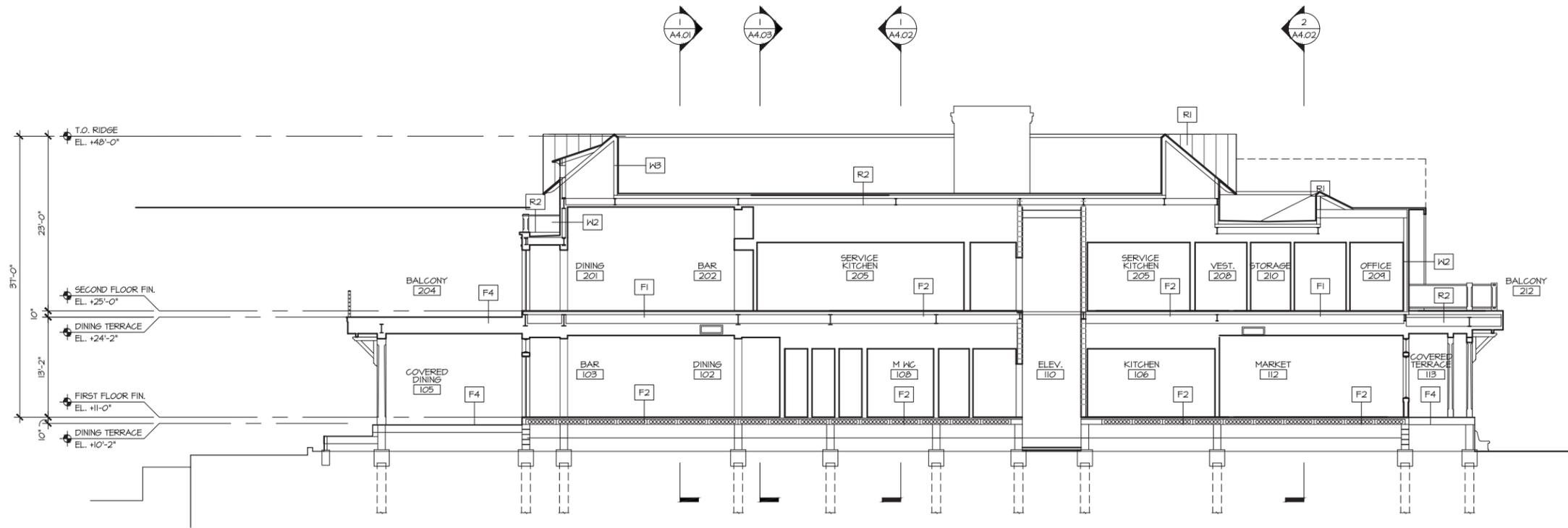
2 WEST ELEVATION

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1 CROSS-SECTION THROUGH DINING

1/8"=1'-0"



2 LONGITUDINAL-SECTION THROUGH DINING

1/8"=1'-0"

ASSEMBLY NOTES

- R1. METAL ROOF**
  - GALVALUM STANDING SEAM ROOF
  - HIGH TENSIF APPROVED UNDERLAYMENT
  - 3/4" CDX PLYWOOD ROOF SHEATHING
  - RAFTERS (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION AND IGNITION BARRIER @ UNDERSIDE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE SCHEDULE
- R2. FLAT ROOF**
  - TPO ROOF MEMBRANE SYSTEM
  - TAPERED RIGID INSULATION R-XX MIN.
  - CONCRETE ON COMPOSITE METAL DECKING (S.S.D.)
- W1. LAP SIDING EXTERIOR FRAME WALL**
  - PTD. FIBER CEMENT SMOOTH LAP SIDING
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE
- W2. TABBY EXTERIOR FRAME WALL**
  - FIELD APPLIED TABBY CEMENT STUCCO SYSTEM. BASIS OF DESIGN PER SELECT IMAGES AND EXECUTED VIA FIELD MOCK-UPS
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE
- W3. METAL PANEL EXTERIOR FRAME WALL**
  - FORMED METAL WALL PANEL SYSTEM (SAME FINISH AS METAL ROOFING PANELS)
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
- F1. WOOD FLOOR ASSEMBLY**
  - ENGINEERED WOOD FLOOR (VARIES); SEE FINISH SCHEDULE
  - 3/4" PLYWOOD SUB-FLOOR
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F2. TILE FLOOR ASSEMBLY**
  - TILE ON MUDSET (VARIES); SEE FINISH SCHEDULE
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F3. CARPET FLOOR ASSEMBLY**
  - CARPET, ON CARPET PAD; SEE FINISH SCHEDULE
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F4. EXTERIOR WOOD DECK ASSEMBLY**
  - IPE DECKING
  - WOOD SLEEPERS
  - HOT APPLIED WATER PROOFING MEMBRANE SYSTEM
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.



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 Tel : 212 688 5631 Fax : 212 481 8788  
 Email : NY@hartowerton.com

Hart Howerton 2020

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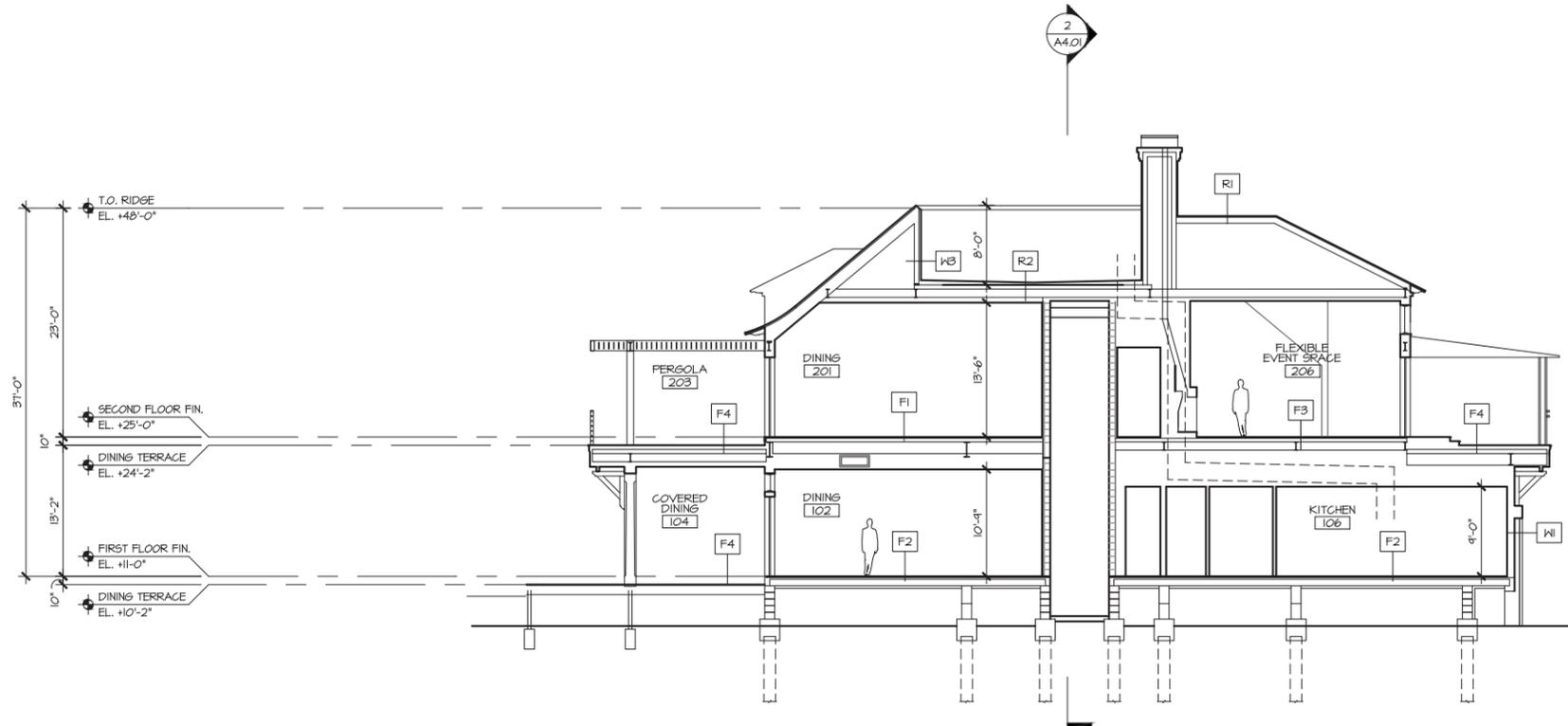
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10/23/20	100% SD
01/22/21	100% DD
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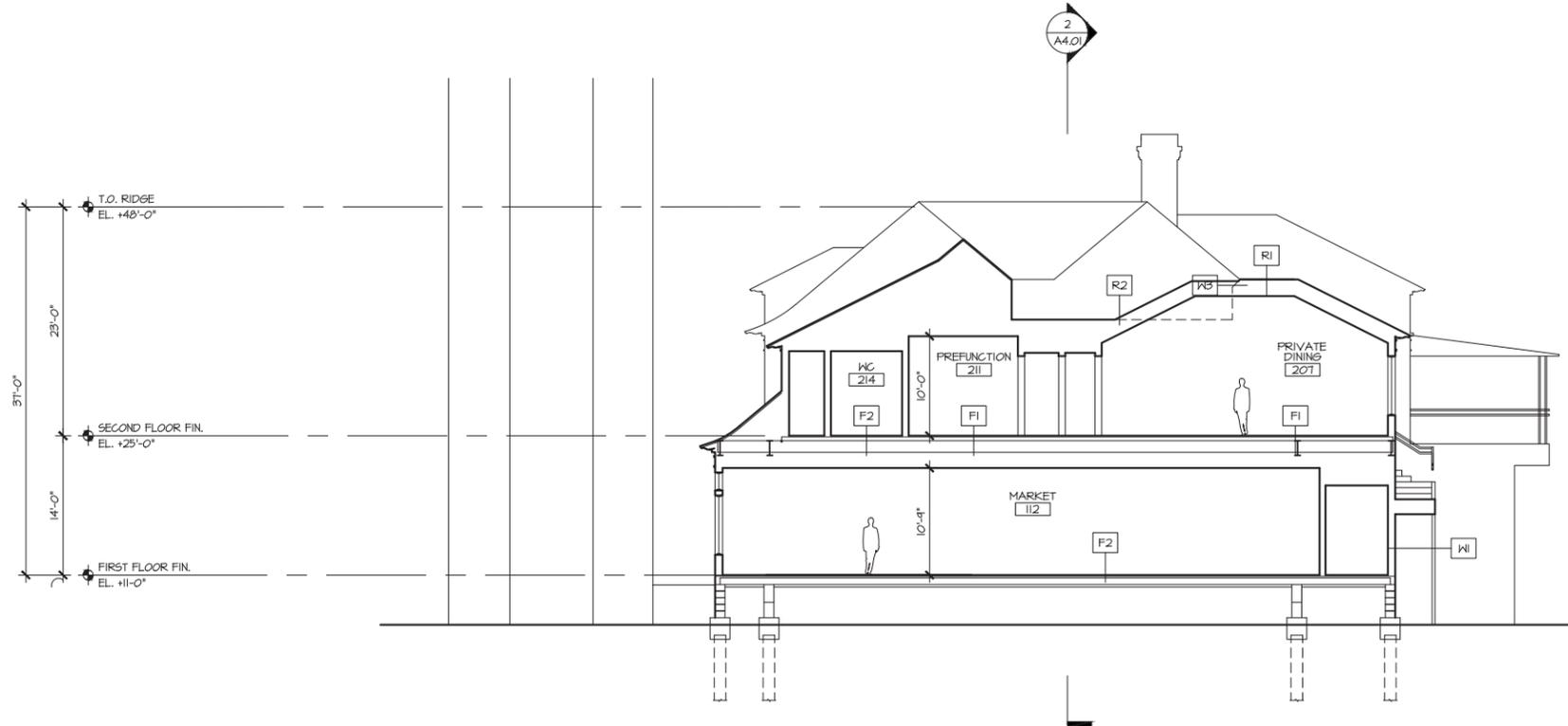
PROJECT # :  
 DRAWN BY :  
 CHECKED BY :  
 DRAWING NO :

**BUILDING SECTIONS**  
**A4.01**



1 CROSS-SECTION THROUGH EVENT SPACE

1/8"=1'-0"



2 CROSS-SECTION THROUGH PRIVATE DINING ROOM

1/8"=1'-0"

ASSEMBLY NOTES

- R1. METAL ROOF**
  - GALVALUM STANDING SEAM ROOF
  - HIGH TENSILE APPROVED UNDERLAYMENT
  - 3/8" CDX PLYWOOD ROOF SHEATHING
  - RAFTERS (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION AND IGNITION BARRIER @ UNDERSIDE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE SCHEDULE
- R2. FLAT ROOF**
  - TPO ROOF MEMBRANE SYSTEM
  - TAPERED RIGID INSULATION R-XX MIN.
  - CONCRETE ON COMPOSITE METAL DECKING (S.S.D.)
- W1. LAP SIDING EXTERIOR FRAME WALL**
  - PTD, FIBER CEMENT SMOOTH LAP SIDING
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE
- W2. TABBY EXTERIOR FRAME WALL**
  - FIELD APPLIED TABBY CEMENT STUCCO SYSTEM.
  - BASIS OF DESIGN PER SELECT IMAGES AND EXECUTED VIA FIELD MOCK-UPS
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE
- W3. METAL PANEL EXTERIOR FRAME WALL**
  - FORMED METAL WALL PANEL SYSTEM (SAME FINISH AS METAL ROOFING PANELS)
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
- F1. WOOD FLOOR ASSEMBLY**
  - ENGINEERED WOOD FLOOR (VARIES); SEE FINISH SCHEDULE
  - 3/4" PLYWOOD SUB-FLOOR
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F2. TILE FLOOR ASSEMBLY**
  - TILE ON MUDSET (VARIES); SEE FINISH SCHEDULE
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F3. CARPET FLOOR ASSEMBLY**
  - CARPET, ON CARPET PAD; SEE FINISH SCHEDULE
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F4. EXTERIOR WOOD DECK ASSEMBLY**
  - IPE DECKING
  - WOOD SLEEPERS
  - HOT APPLIED WATER PROOFING MEMBRANE SYSTEM
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.



Chris Dimino, FAIA, 2016/10/16:5/09 Quarterdeck Restaurant\3.0 CAD Sheets\16-599\_QD\_A4.02.dwg, Page Setup: 11\_A4.dwg, Plot Scale: 1:1, AutoCAD PDF (General Documentation).pc3

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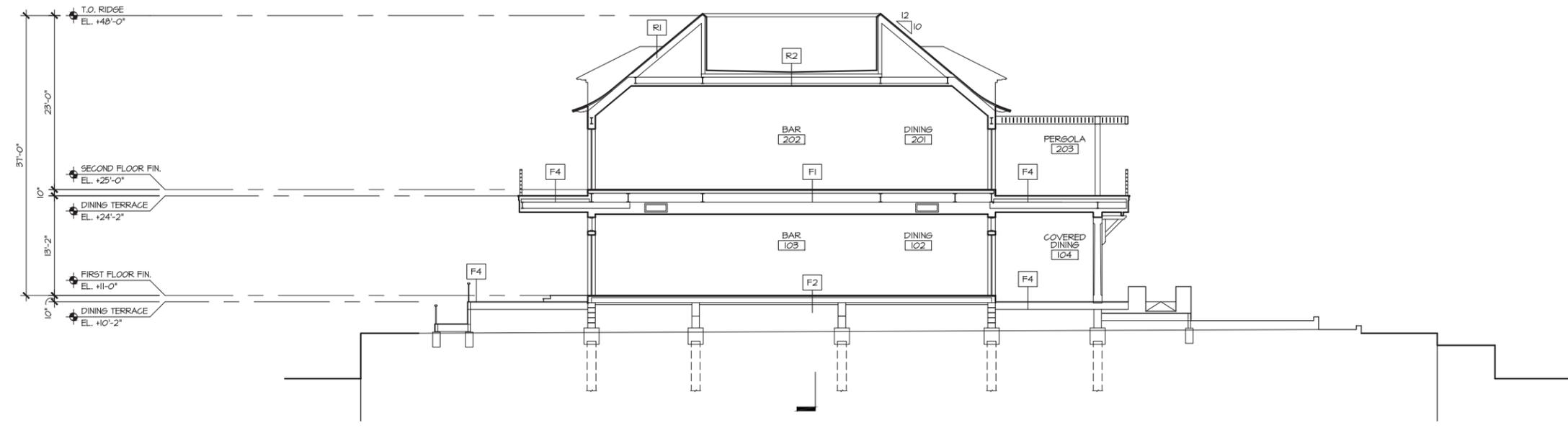
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10/23/20	100% SD
01/22/21	100% DD
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REVISIONS		
NO.	DATE	ISSUE

BUILDING SECTIONS  
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PROJECT # :  
 16-599  
 DRAWN BY :  
 JES  
 CHECKED BY :  
 JPR  
 DRAWING NO :  
**A4.02**

2  
A4.03

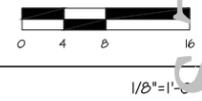


1 CROSS-SECTION THROUGH PERGOLA

2 NOT USED

ASSEMBLY NOTES

- R1. METAL ROOF**
  - GALVALUM STANDING SEAM ROOF
  - HIGH TENSIF APPROVED UNDERLAYMENT
  - 3/8" CDX PLYWOOD ROOF SHEATHING
  - RAFTERS (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION AND IGNITION BARRIER @ UNDERSIDE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE SCHEDULE
- R2. FLAT ROOF**
  - TPO ROOF MEMBRANE SYSTEM
  - TAPERED RIGID INSULATION R-XX MIN.
  - CONCRETE ON COMPOSITE METAL DECKING (S.S.D.)
- W1. LAP SIDING EXTERIOR FRAME WALL**
  - PTD. FIBER CEMENT SMOOTH LAP SIDING
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE
- W2. TABBY EXTERIOR FRAME WALL**
  - FIELD APPLIED TABBY CEMENT STUCCO SYSTEM. BASIS OF DESIGN PER SELECT IMAGES AND EXECUTED VIA FIELD MOCK-UPS
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE
- W3. METAL PANEL EXTERIOR FRAME WALL**
  - FORMED METAL WALL PANEL SYSTEM (SAME FINISH AS METAL ROOFING PANELS)
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
- F1. WOOD FLOOR ASSEMBLY**
  - ENGINEERED WOOD FLOOR (VARIES); SEE FINISH SCHEDULE
  - 3/4" PLYWOOD SUB-FLOOR
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F2. TILE FLOOR ASSEMBLY**
  - TILE ON MUDSET (VARIES); SEE FINISH SCHEDULE
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F3. CARPET FLOOR ASSEMBLY**
  - CARPET ON CARPET PAD; SEE FINISH SCHEDULE
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.
- F4. EXTERIOR WOOD DECK ASSEMBLY**
  - IPE DECKING
  - WOOD SLEEPERS
  - HOT APPLIED WATER PROOFING MEMBRANE SYSTEM
  - STRUCT. FLOOR SYSTEM VARIES; S.S.D.



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01/22/21	100% DD
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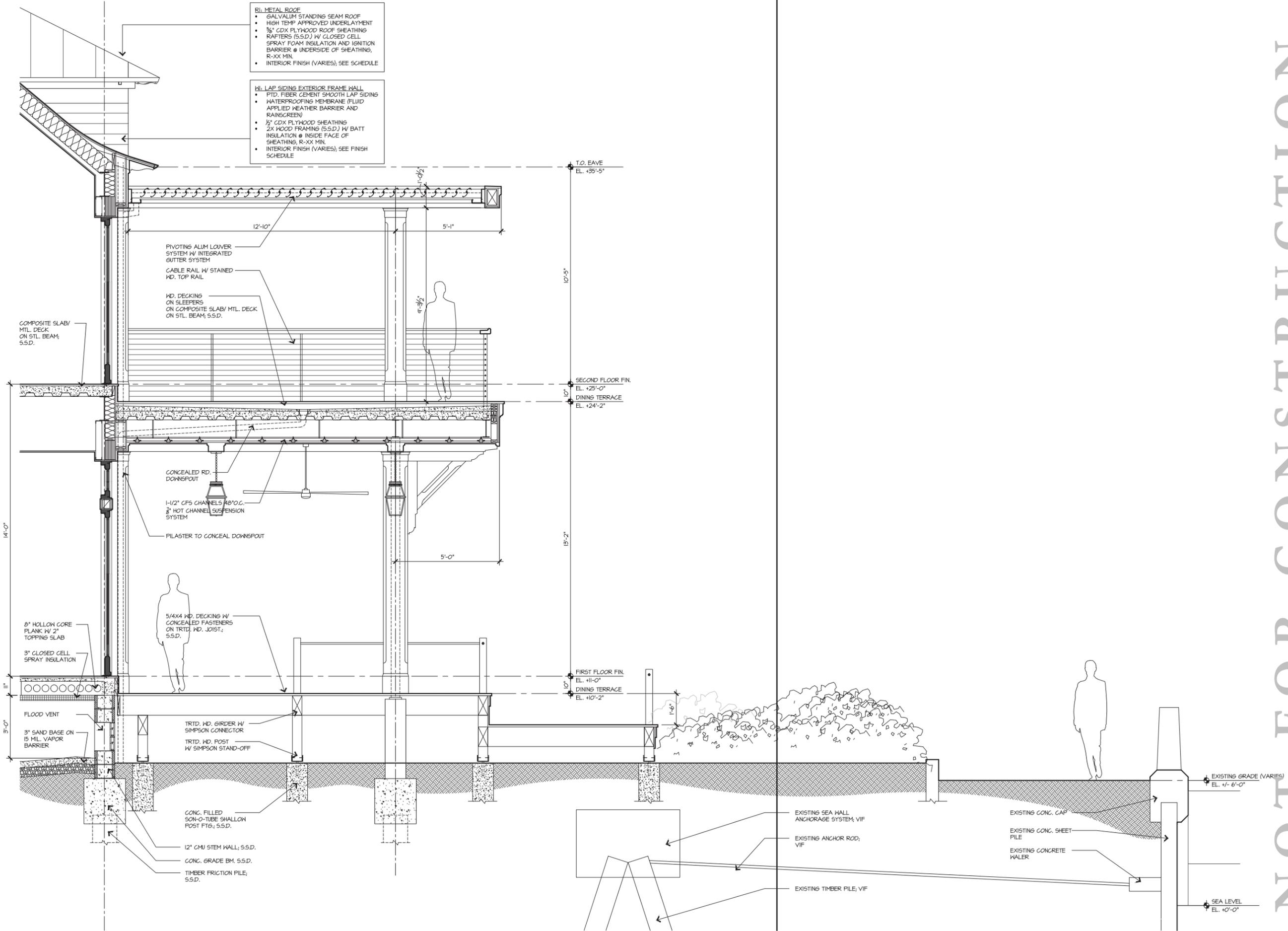
REVISIONS		
NO	DATE	ISSUE

DRAWING TITLE  
**BUILDING SECTIONS**  
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PROJECT # :  
16-509  
DRAWN BY :  
CDES  
CHECKED BY :  
JP,RR  
DRAWING NO :  
**A4.03**



Chris D'Ambrósio, H:\2016\16-509 Quarterdeck Restaurant\3.0 CAD Sheets\16-509\_QD\_A4.12.dwg, Pgs Setup: 11, H:\16\16-509\_QD\_A4.12.dwg, Pgs Setup: 11, AutoCAD PDF (General Documentation).pc3



- R11. METAL ROOF**
- GALVALUM STANDING SEAM ROOF
  - HIGH TEMP APPROVED UNDERLAYMENT
  - 3/8" CDX PLYWOOD ROOF SHEATHING
  - RAFTERS (S.S.D.) W/ CLOSED CELL SPRAY FOAM INSULATION AND IGNITION BARRIER @ UNDERSIDE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE SCHEDULE
- M11. LAP SIDING EXTERIOR FRAME WALL**
- PTD. FIBER CEMENT SMOOTH LAP SIDING
  - WATERPROOFING MEMBRANE (FLUID APPLIED WEATHER BARRIER AND RAINSCREEN)
  - 1/2" CDX PLYWOOD SHEATHING
  - 2X WOOD FRAMING (S.S.D.) W/ BATT INSULATION @ INSIDE FACE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE FINISH SCHEDULE

COMPOSITE SLAB/  
MTL. DECK  
ON STL. BEAM,  
S.S.D.

PIVOTING ALUM LOUVER  
SYSTEM W/ INTEGRATED  
GUTTER SYSTEM

CABLE RAIL W/ STAINED  
WD. TOP RAIL

HD. DECKING  
ON SLEEPERS  
ON COMPOSITE SLAB/ MTL. DECK  
ON STL. BEAM, S.S.D.

CONCEALED RD.  
DOWNSPOUT

1-1/2" CFS CHANNELS @ 90° C.  
3/4" HOT CHANNEL SUSPENSION  
SYSTEM

PILASTER TO CONCEAL DOWNSPOUT

5/4x4 WD. DECKING W/  
CONCEALED FASTENERS  
ON TRIT. HD. JOIST,  
S.S.D.

8" HOLLOW CORE  
FLANK W/ 2"  
TOPPING SLAB

3" CLOSED CELL  
SPRAY INSULATION

FLOOD VENT

3" SAND BASE ON  
15 MIL. VAPOR  
BARRIER

TRIT. HD. GIRDER W/  
SIMPSON CONNECTOR

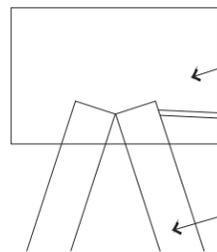
TRIT. HD. POST  
W/ SIMPSON STAND-OFF

CONG. FILLED  
SON-O-TUBE SHALLOW  
POST FTG., S.S.D.

12" CMU STEM WALL, S.S.D.

CONG. GRADE BM, S.S.D.

TIMBER FRICTION PILE,  
S.S.D.



EXISTING SEA WALL  
ANCHORAGE SYSTEM, VIF

EXISTING ANCHOR ROD,  
VIF

EXISTING TIMBER PILE, VIF

EXISTING CONG. CAP

EXISTING CONG. SHEET  
PILE

EXISTING CONCRETE  
WALER

EXISTING GRADE (VARIES)  
EL. +/- 6'-0"

SEA LEVEL  
EL. +0'-0"

1 | WALL SECTION

1/2"=1'-0"

NOT FOR CONSTRUCTION

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01/22/21	100% DD
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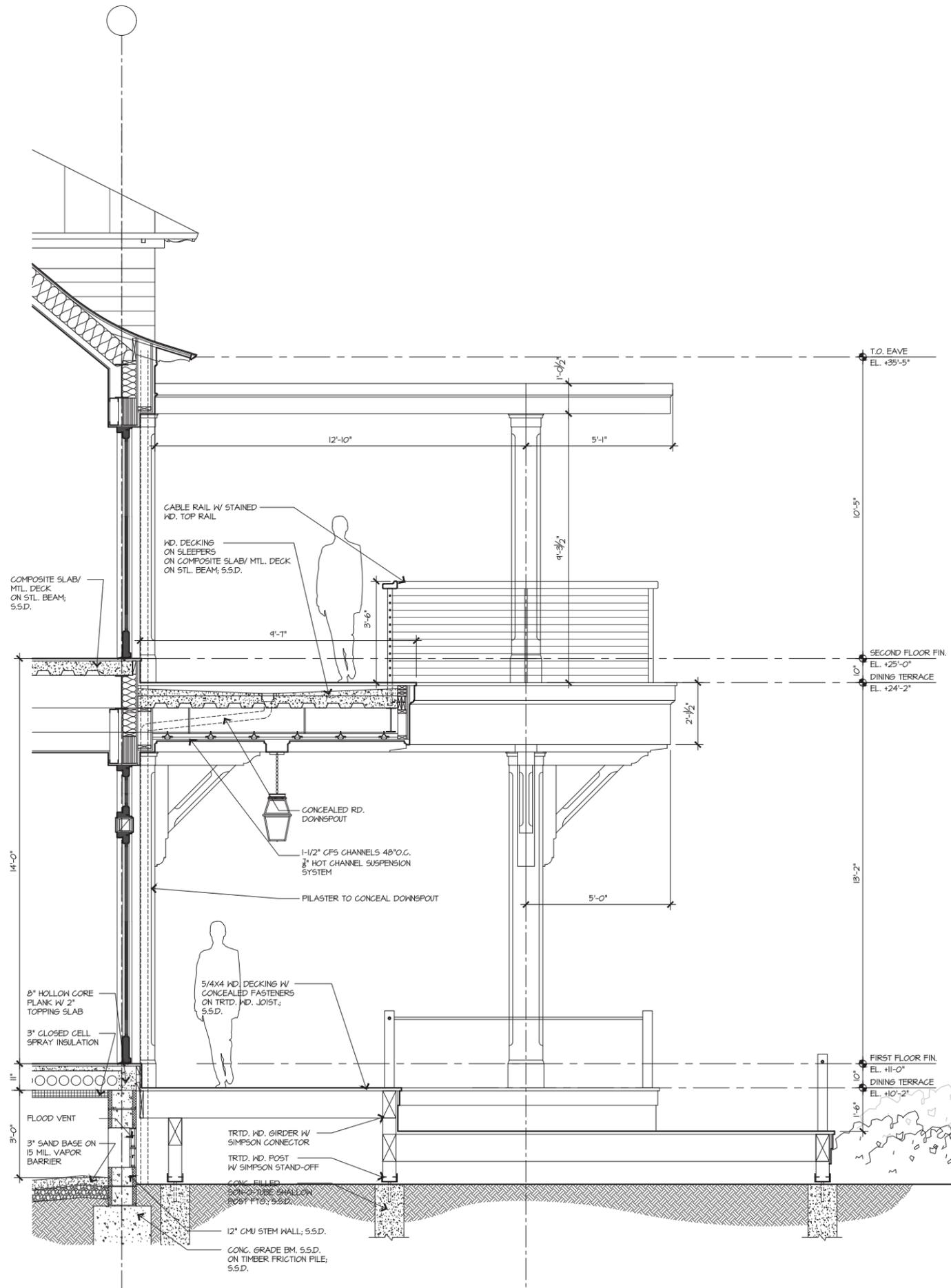
**REVISIONS**

NO	DATE	ISSUE
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**WALL SECTIONS**

PROJECT #:  
16-509  
DRAWN BY:  
JP, RR  
CHECKED BY:  
JP, RR

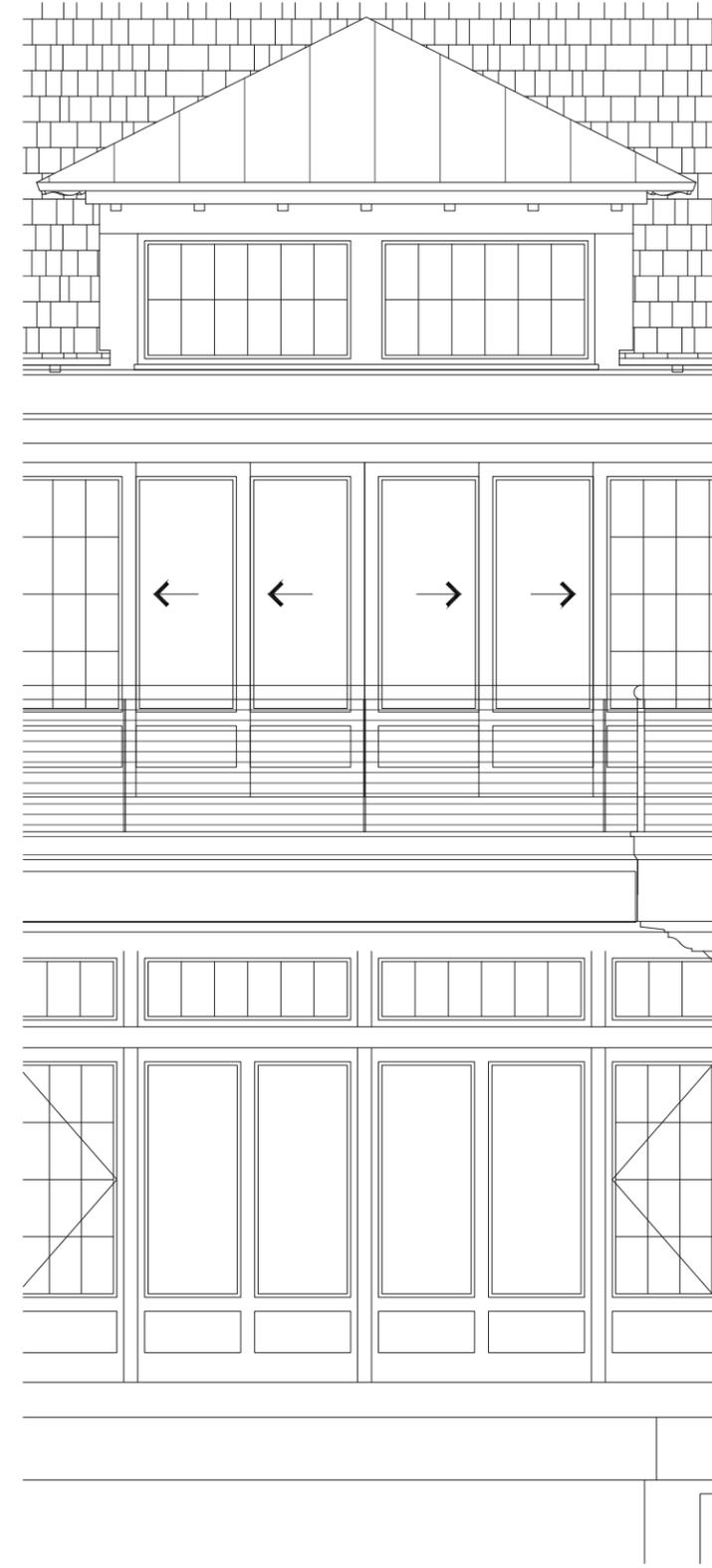
DRAWING NO:  
**A4.12**



1 WALL SECTION

1/2"=1'-0"

2 ELEVATION



1/2"=1'-0"

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DATE	ISSUE
10/23/20	100% SD
01/22/21	100% DD
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REVISIONS

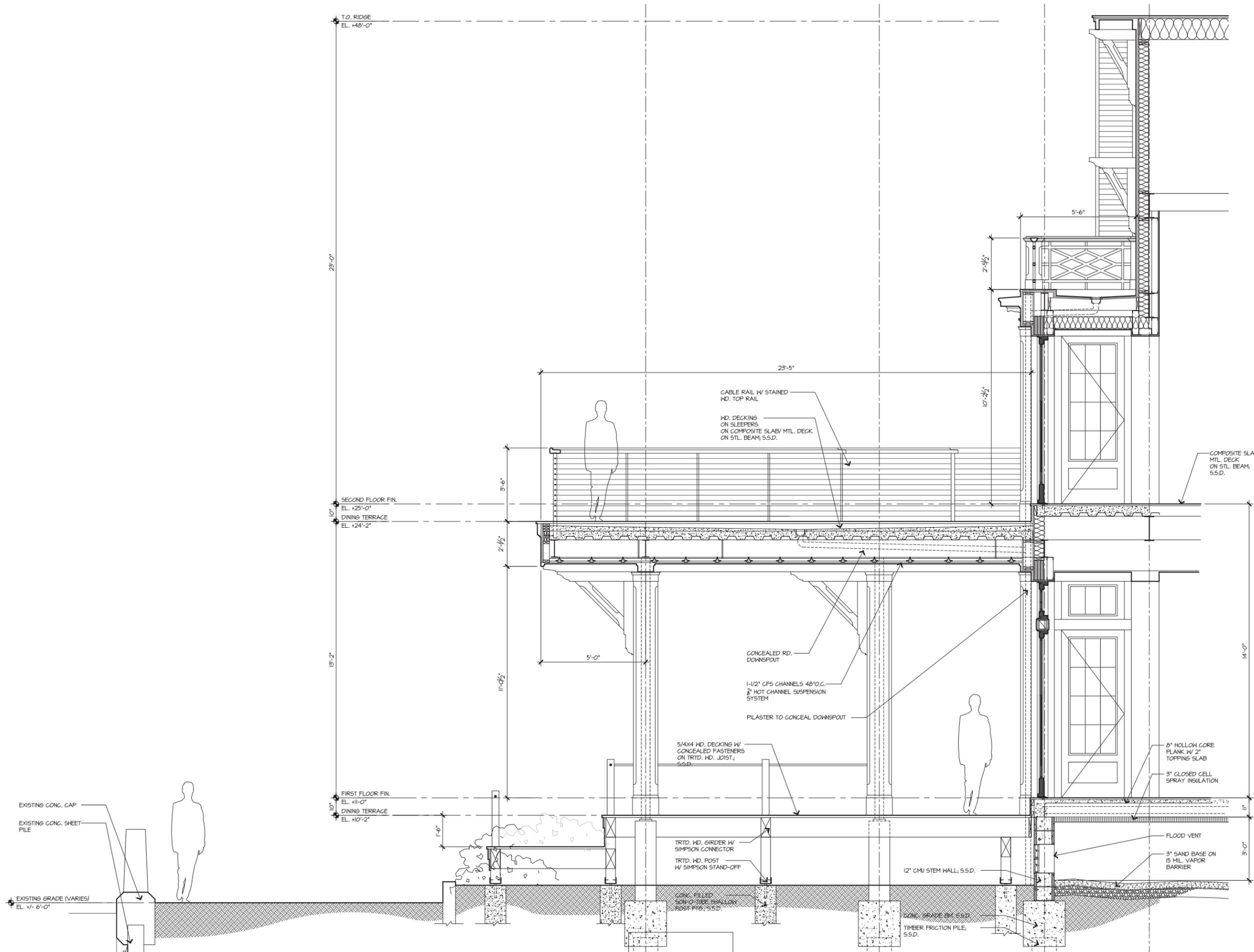
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DRAWING TITLE  
**WALL SECTIONS**

PROJECT # :  
16-509  
DRAWN BY :  
CHECKED BY :  
JP, RR

DRAWING NO :  
**A4.13**

Chris Dambrosio, ILL2016\16-509 Quarterdeck Restaurant\3.0 CAD Sheets\16-509\_QD\_A4.dwg, Page Setup: H:\half\chb, Plot Scale: 1/2"=1'-0", AutoCAD PDF (General Documentation).pc3



1 | WALL SECTION

1/2"=1'-0"

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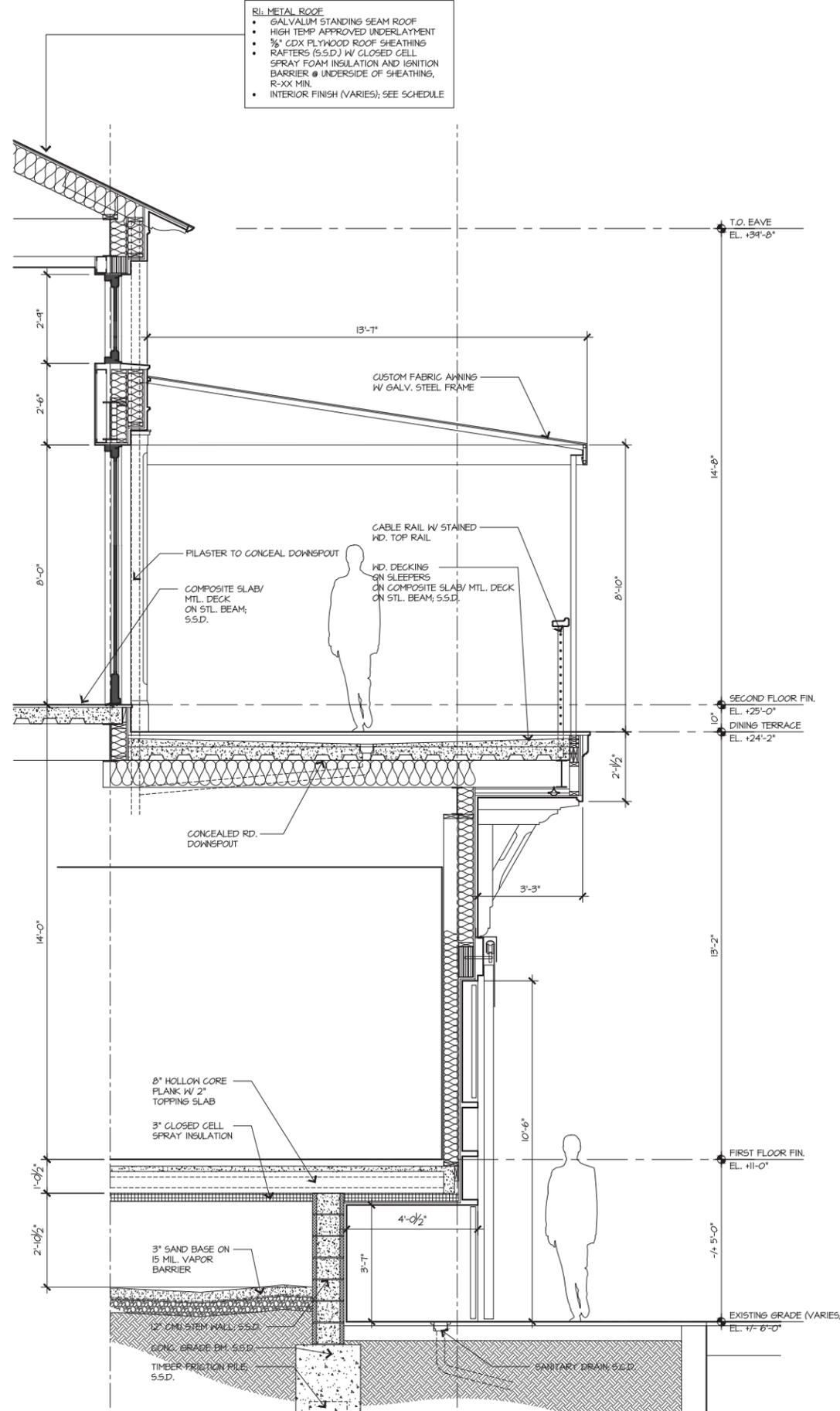
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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE  
**WALL SECTIONS**

PROJECT # : 16-509  
 DRAWN BY : JP  
 CHECKED BY : JP, RR  
 DRAWING NO : **A4.14**

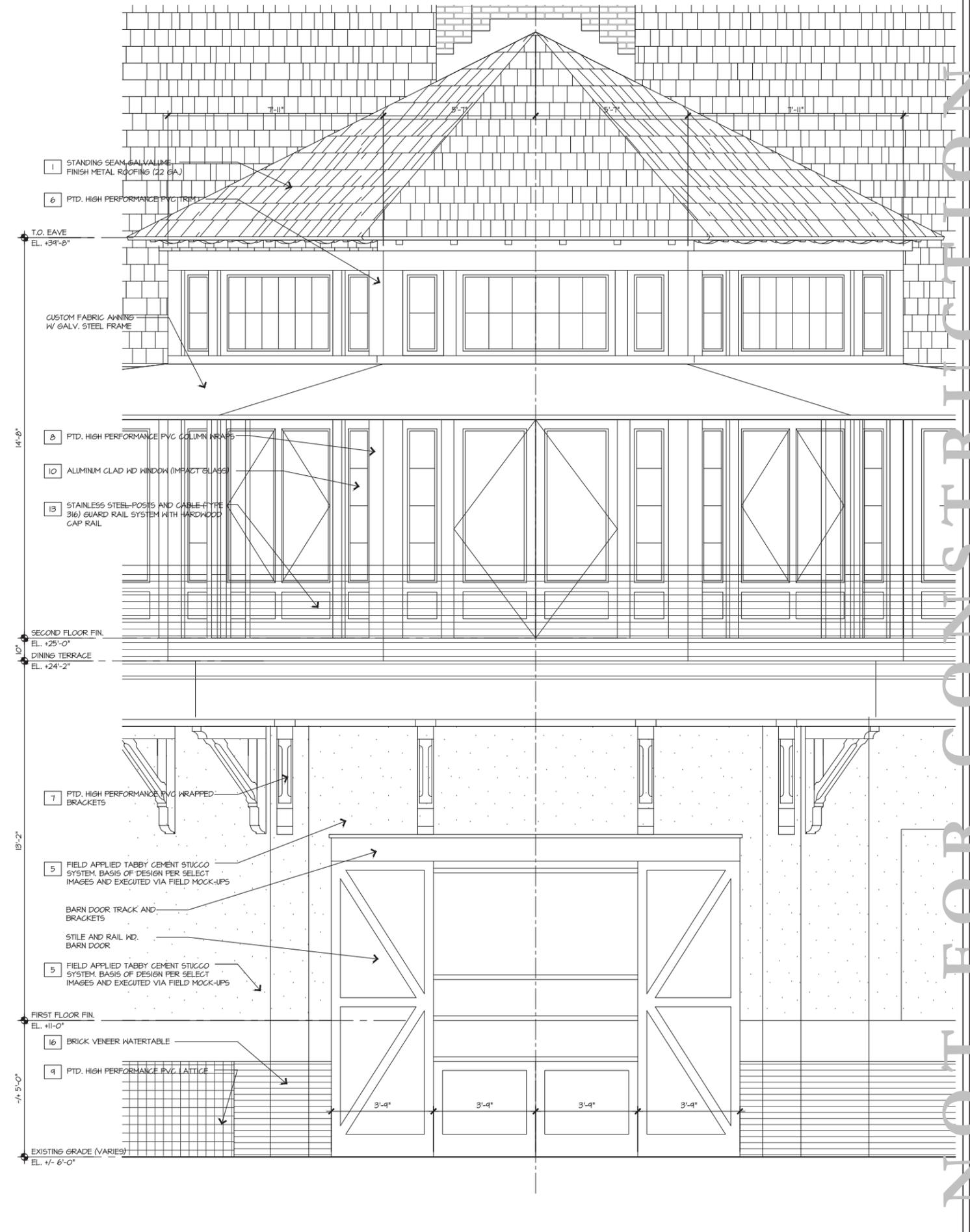
Chris Dambrosio, 11/2016/16-509 Quarterdeck Restaurant/3.0 CAD Sheets/16-509\_QD\_A4.15.dwg, Page Setup: 11/16/16/16-509\_QD\_A4.15.dwg, Plot Scale: 1/2"=1'-0", AutoCAD PDF (General Documentation).pc3



- RI: METAL ROOF**
- GALVALUM STANDING SEAM ROOF
  - HIGH TEMP APPROVED UNDERLAYMENT
  - 3/8" CDX PLYWOOD ROOF SHEATHING
  - RAFTERS (5.5.D.) W/ CLOSED CELL SPRAY FOAM INSULATION AND IGNITION BARRIER @ UNDERSIDE OF SHEATHING, R-XX MIN.
  - INTERIOR FINISH (VARIES); SEE SCHEDULE

1 WALL SECTION

1/2"=1'-0"



2 ELEVATION

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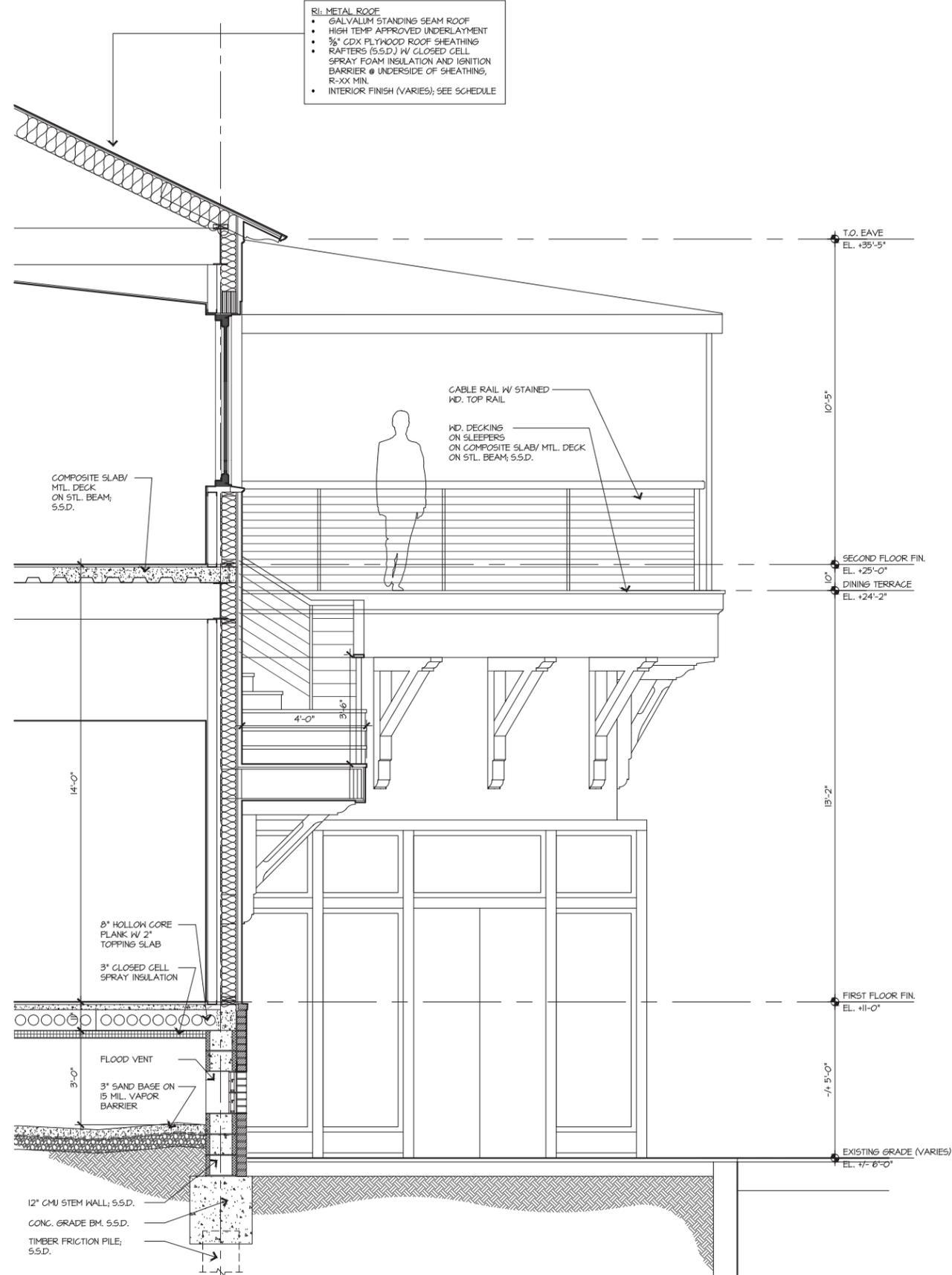
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE		
WALL SECTIONS		

PROJECT #:	16-509
DRAWN BY:	JP
CHECKED BY:	JP, RR
DRAWING NO.:	A4.15

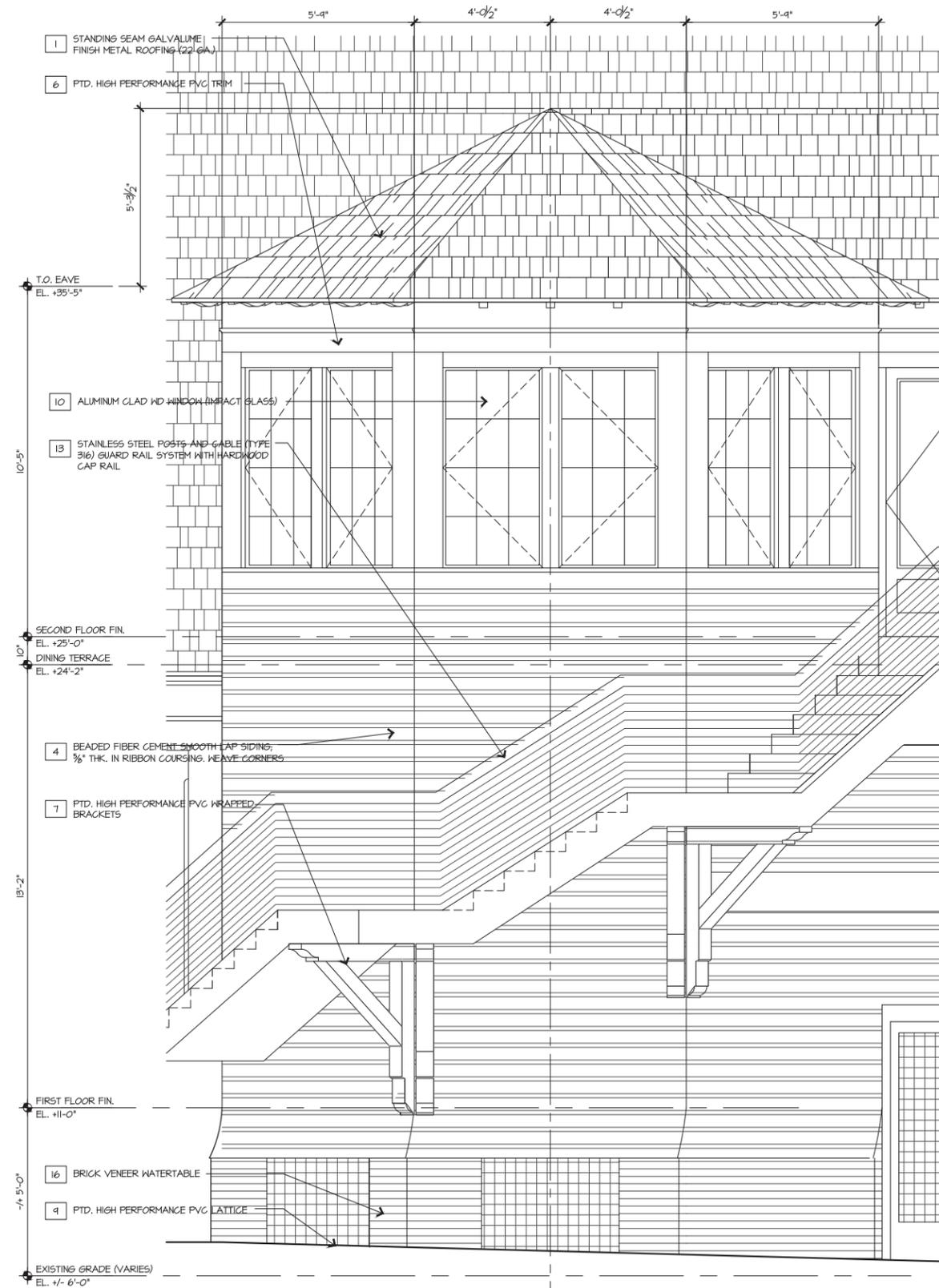
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Clark Dambrosio, P.E., 2016/16-509 Quarterdeck Restaurant\3.0 CAD Sheets\16-509\_QD\_A4.16.dwg, Pgs Setup: 11, H:\16-509\_QD\_A4.16.dwg, Pgs Setup: 11, AutoCAD PDF (General Documentation).pc3



1 WALL SECTION

1/2"=1'-0"



2 ELEVATION

1/2"=1'-0"

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DATE	ISSUE
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REVISIONS		
NO.	DATE	ISSUE

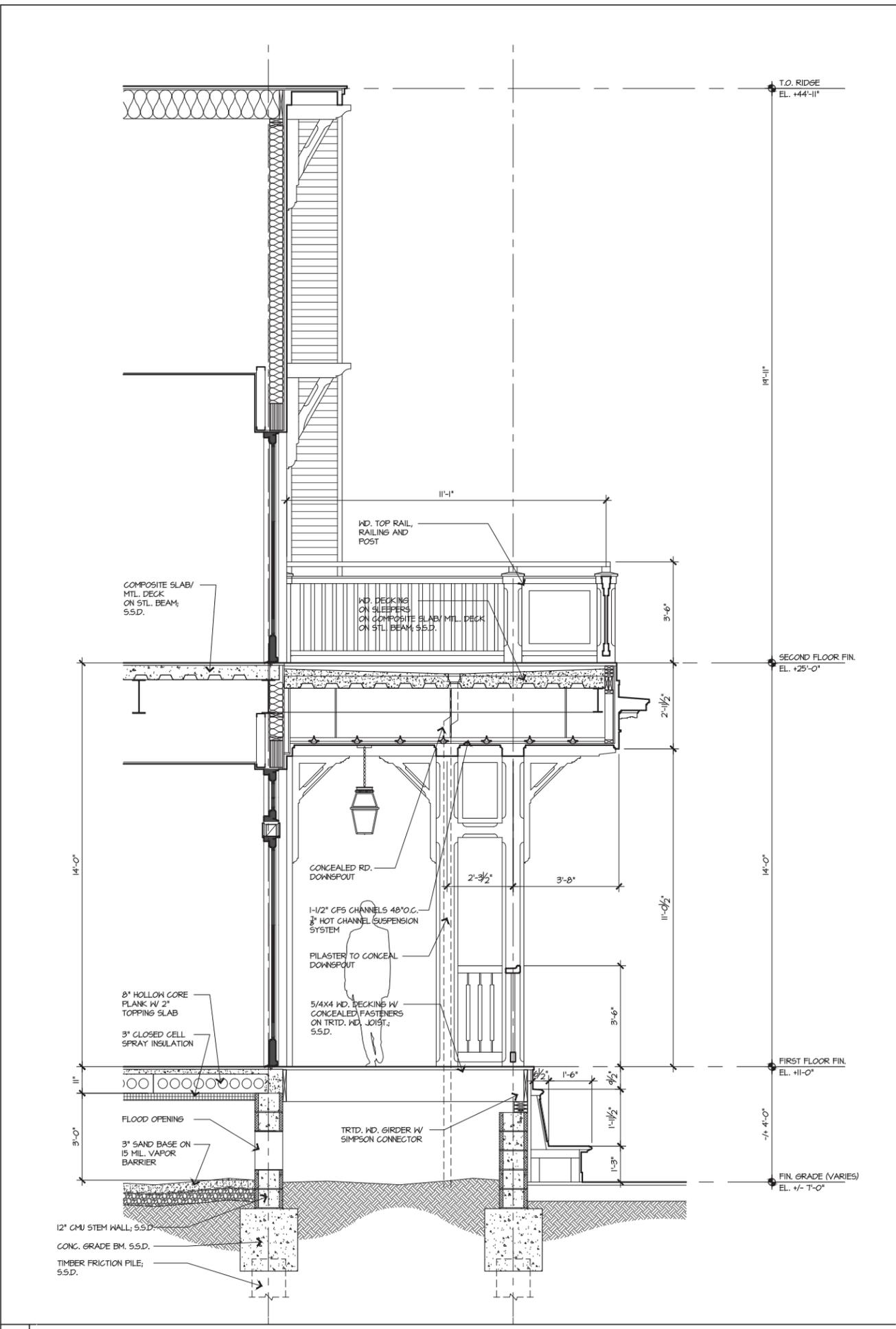
**WALL SECTIONS**

PROJECT #: 16-509  
DRAWN BY: JP  
CHECKED BY: JP, RR

DRAWING NO: **A4.16**

**NOT FOR CONSTRUCTION**

Brian Division, 11/20/16, 16-509 Quarterdeck Restaurant(3)10 CAD(Sheet)16-509\_QD\_M4.17.dwg, Page: Supp-1, H:\CD\Arch, P:\Scale: 1/2" DWG TO PDF with Layers, pc3



1 WALL SECTION 1/2"=1'-0"



2 ELEVATION 1/2"=1'-0"

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DATE	ISSUE
10/23/20	100% SD
11/22/21	100% DD

REVISIONS  
 NO. DATE ISSUE

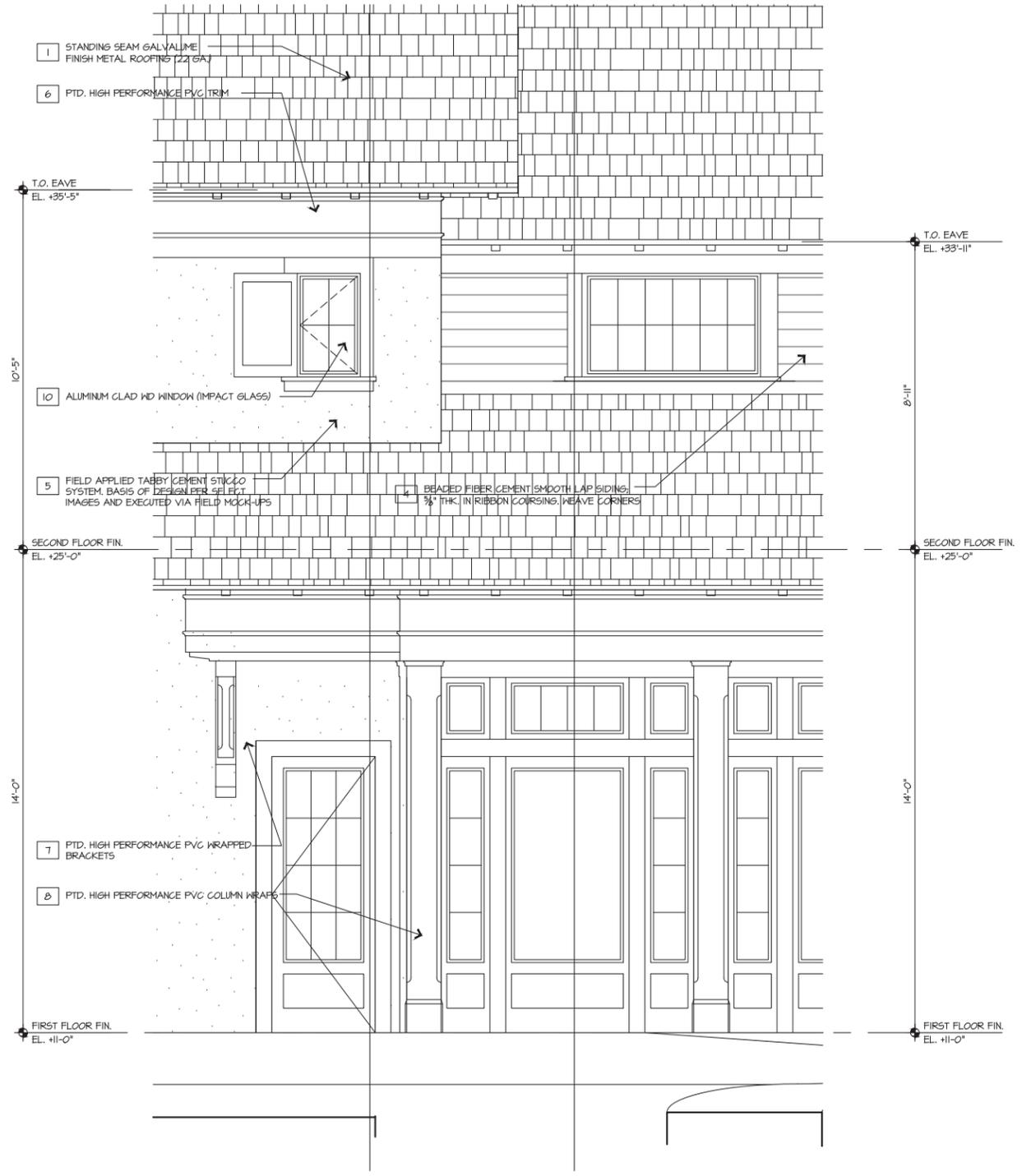
NO.	DATE	ISSUE

DRAWING TITLE  
**WALL SECTIONS**

PROJECT #:  
 16-509  
 DRAWN BY:  
 CD  
 CHECKED BY:  
 JP, RR

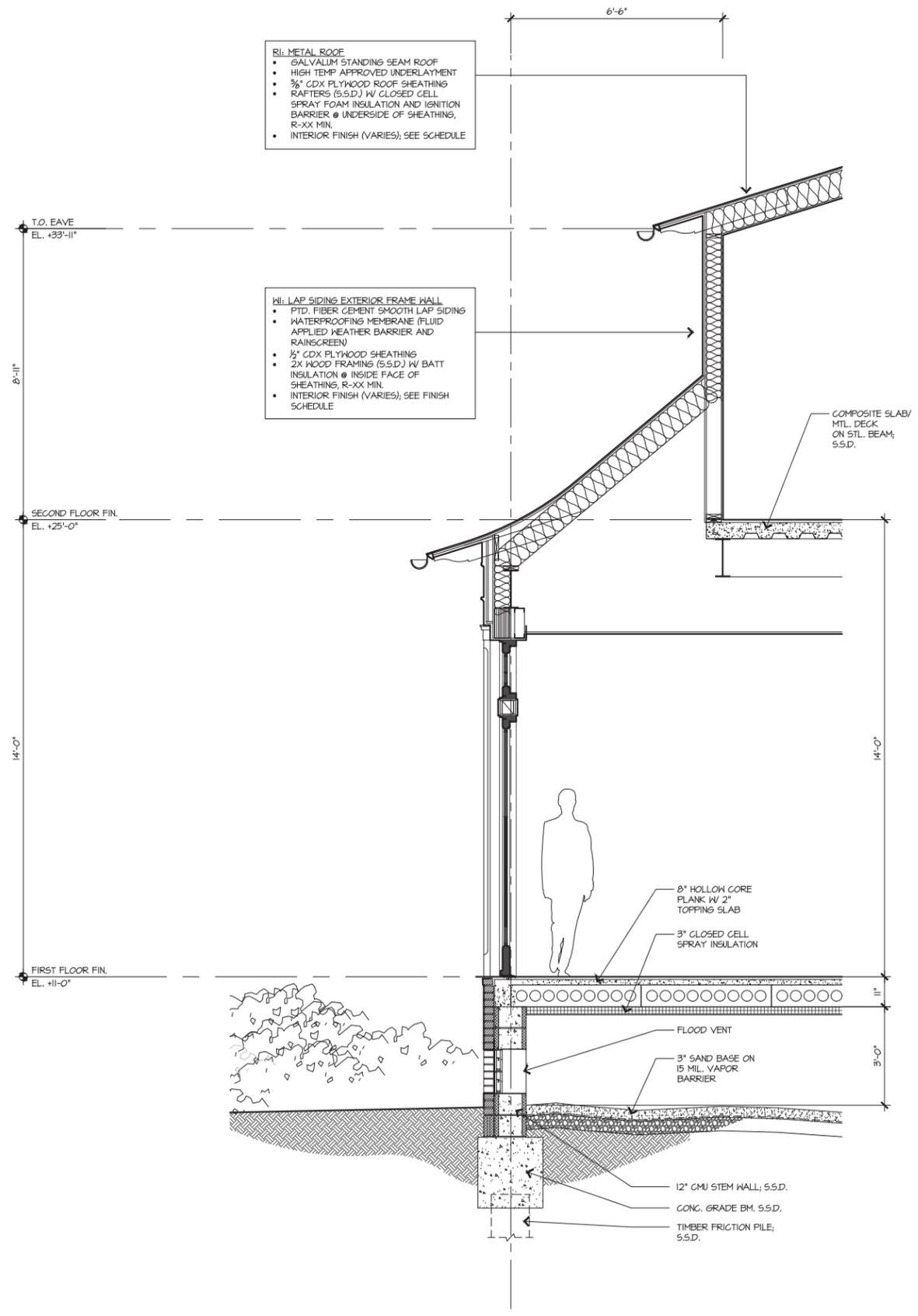
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**A4.17**

Clark Dambrosio, P.E., 2016/16-509 Quarterdeck Restaurant/3.0 CAD Sheets/16-509\_QD\_A4.18 Wall Sections.dwg, Page Setup: .....11/16/16, Plot Scale: 1/4"=1'-0", AutoCAD PDF (General Documentation).pc3



1 WALL SECTION

1/2"=1'-0"



2 ELEVATION

1/2"=1'-0"

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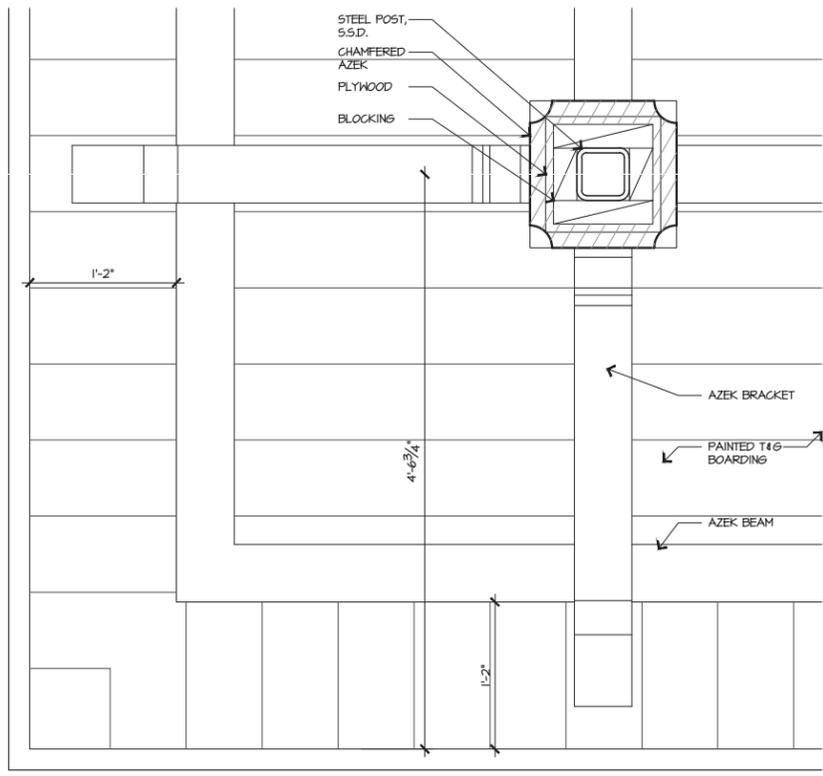
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REVISIONS	
NO	ISSUE

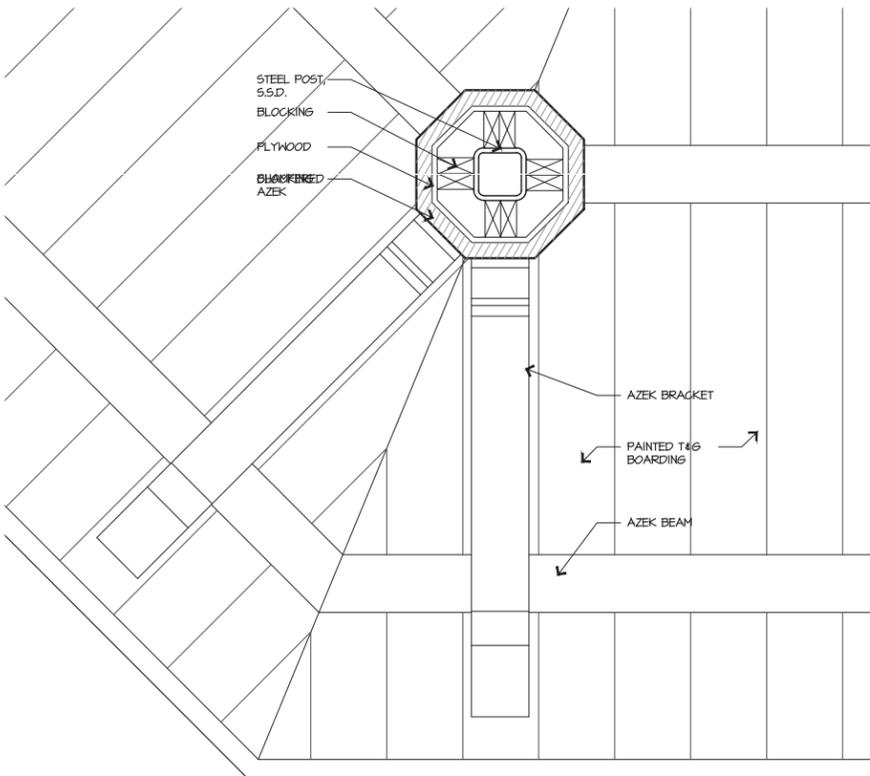
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WALL SECTIONS

PROJECT #:	16-509
DRAWN BY:	JP, RR
CHECKED BY:	JP, RR
DRAWING NO:	A4.18

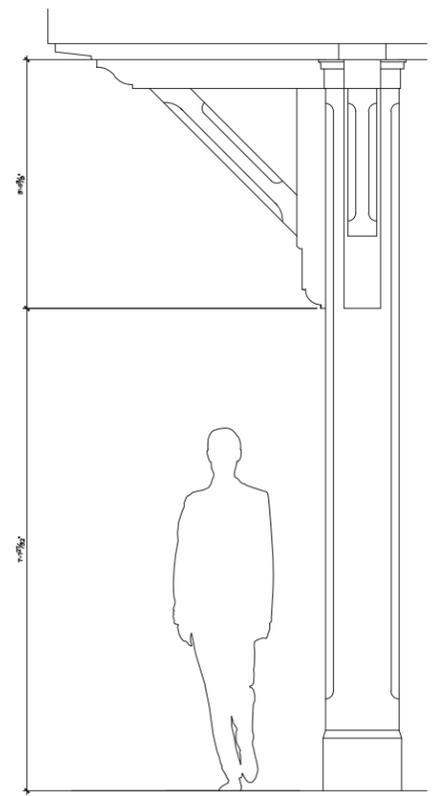
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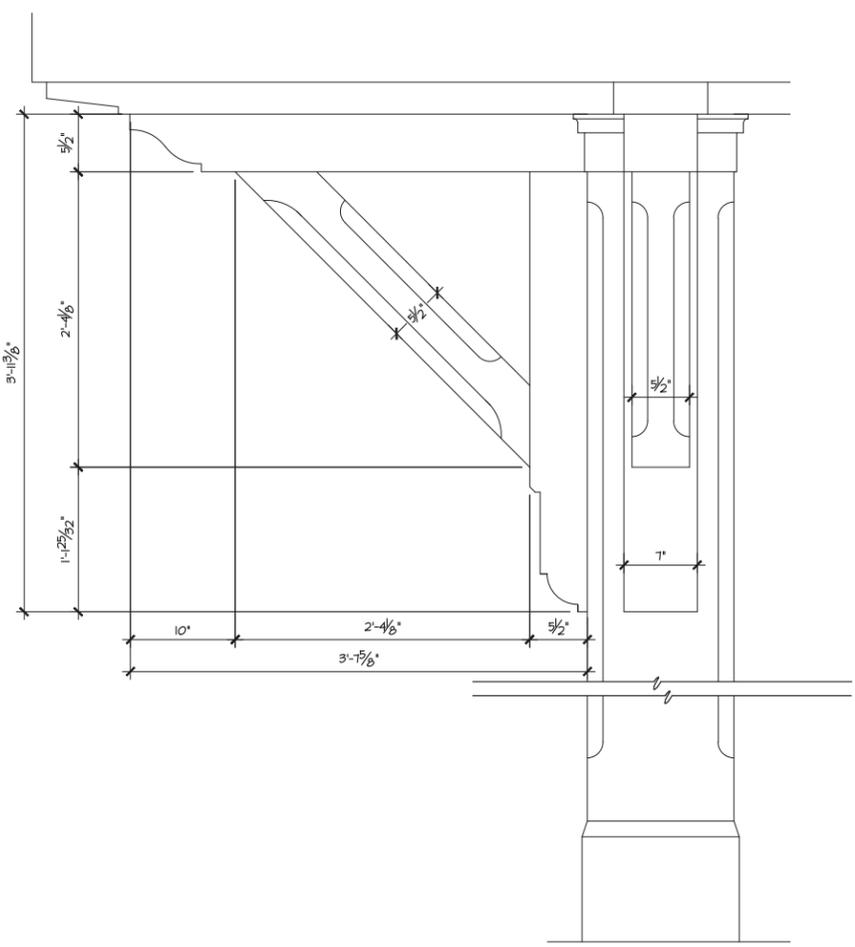
1 SQUARE COLUMN AND BRACKET RCP 1 1/2"=1'-0"



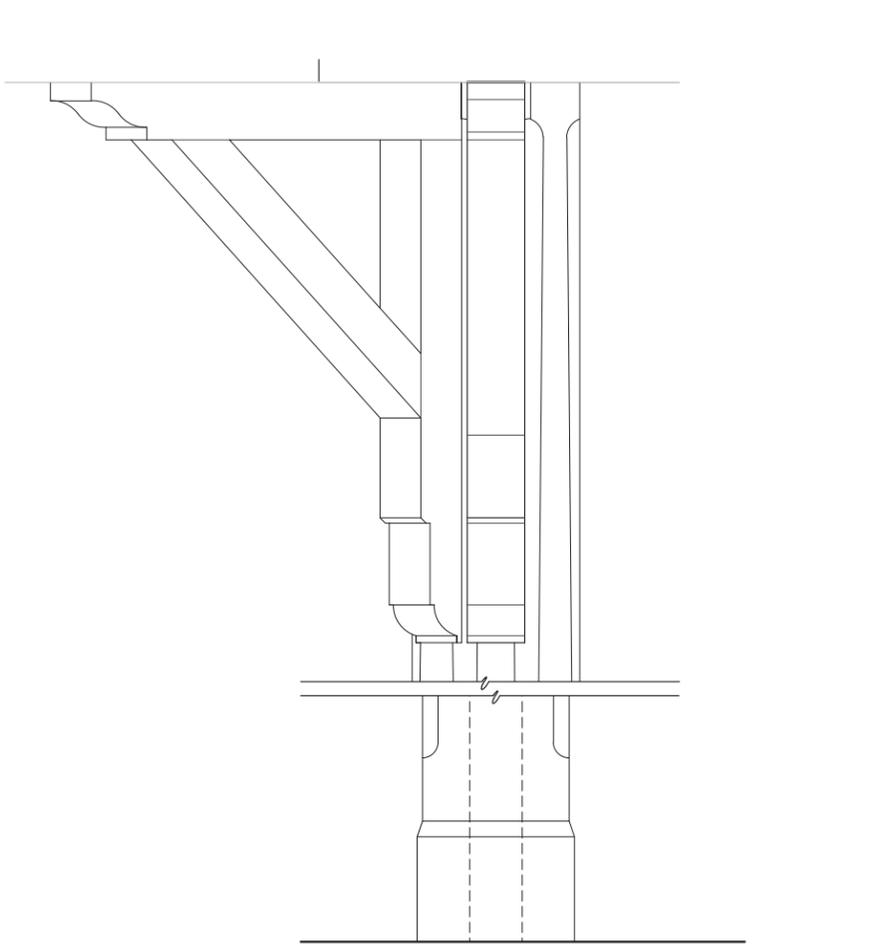
3 OCTAGONAL COLUMN RCP 1 1/2"=1'-0"



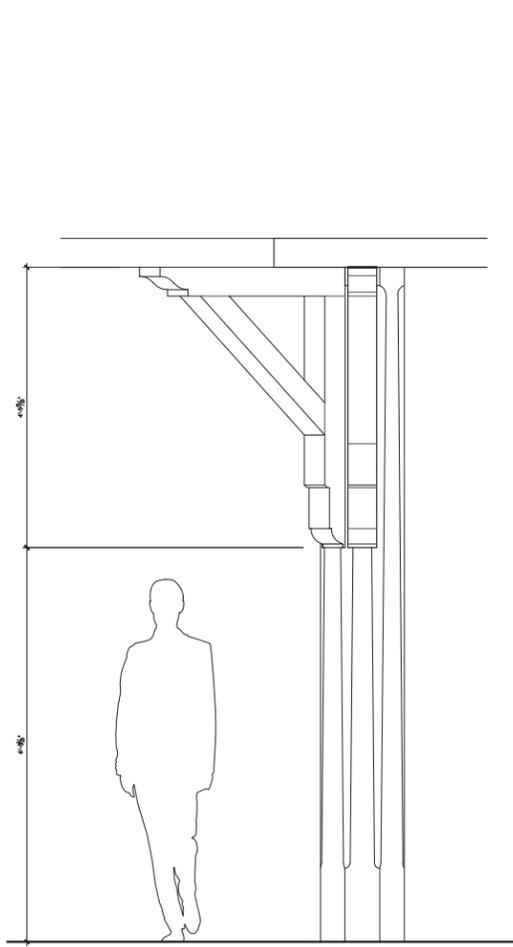
5 SQUARE COLUMN AND BRACKET ELEVATION 3/4"=1'-0"



2 SQUARE COLUMN AND BRACKET ELEVATION 1 1/2"=1'-0"



4 OCTAGONAL COLUMN AT GOLF PORCH ELEVATION 1 1/2"=1'-0"



6 OCTAGONAL COLUMN AT GOLD PORCH ELEVATION 3/4"=1'-0"

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Tel.: 212 683 5631 Fax: 212 481 9788  
Email: NY@hartowerton.com

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HILTON HEAD ISLAND, SC  
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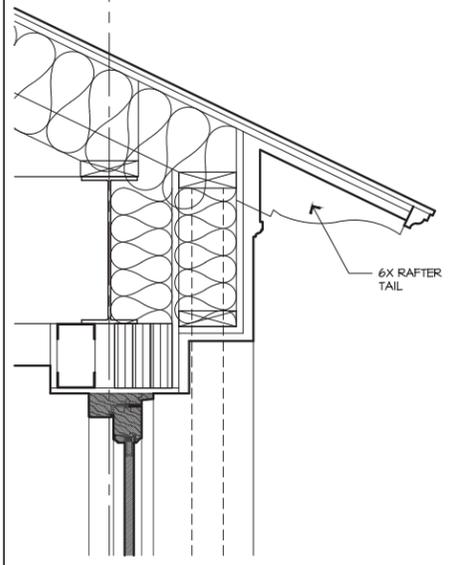
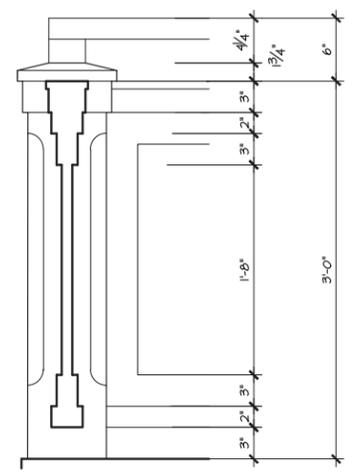
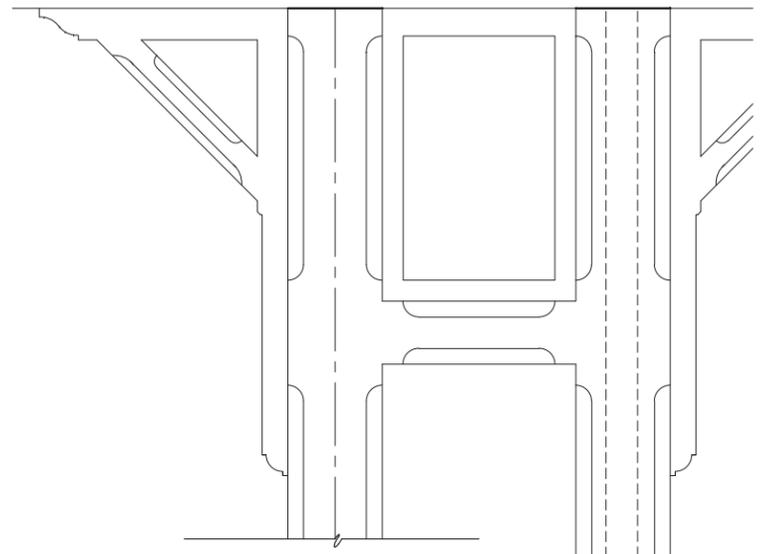
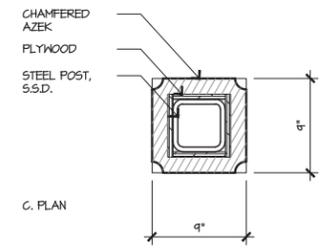
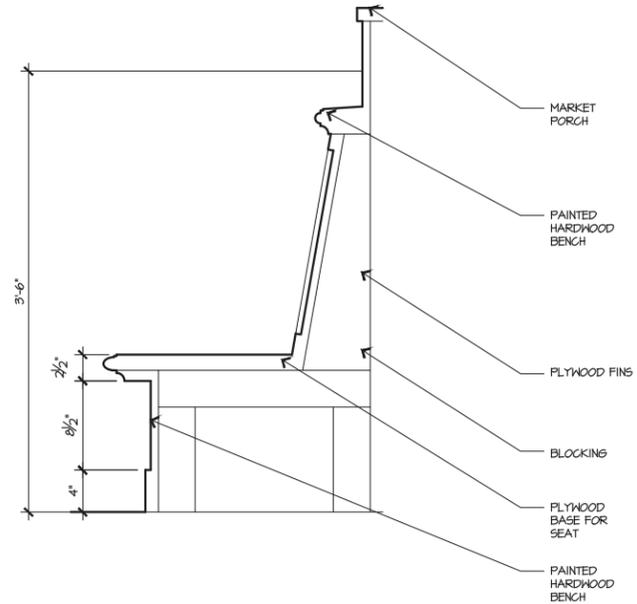
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DRAWING TITLE  
**EXTERIOR DETAILS**  
----

PROJECT #: 16-509  
DRAWN BY: JK, CD  
CHECKED BY: JP, RR

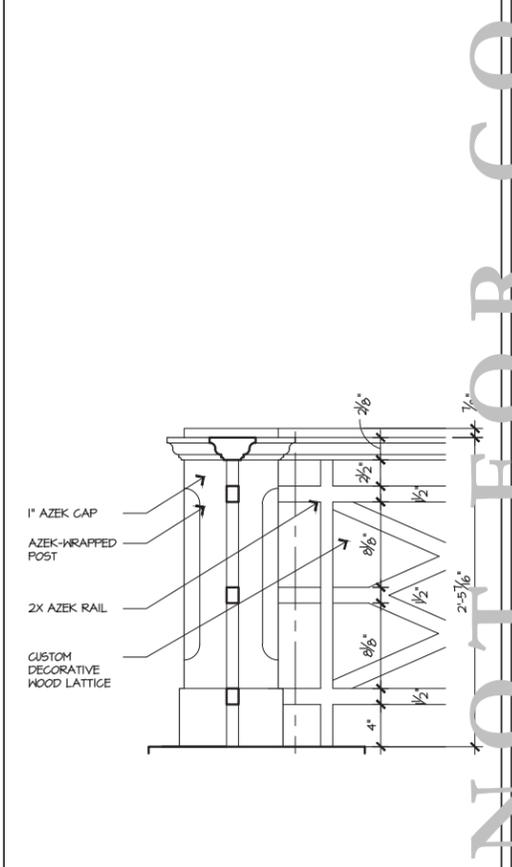
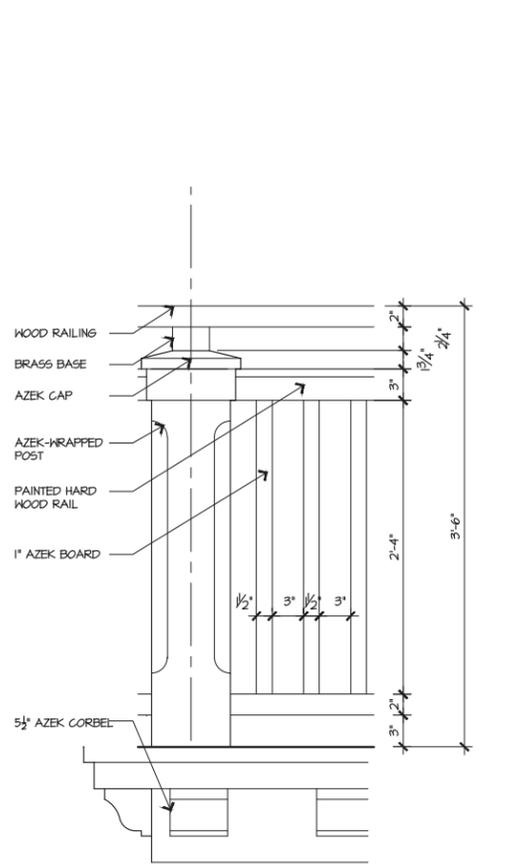
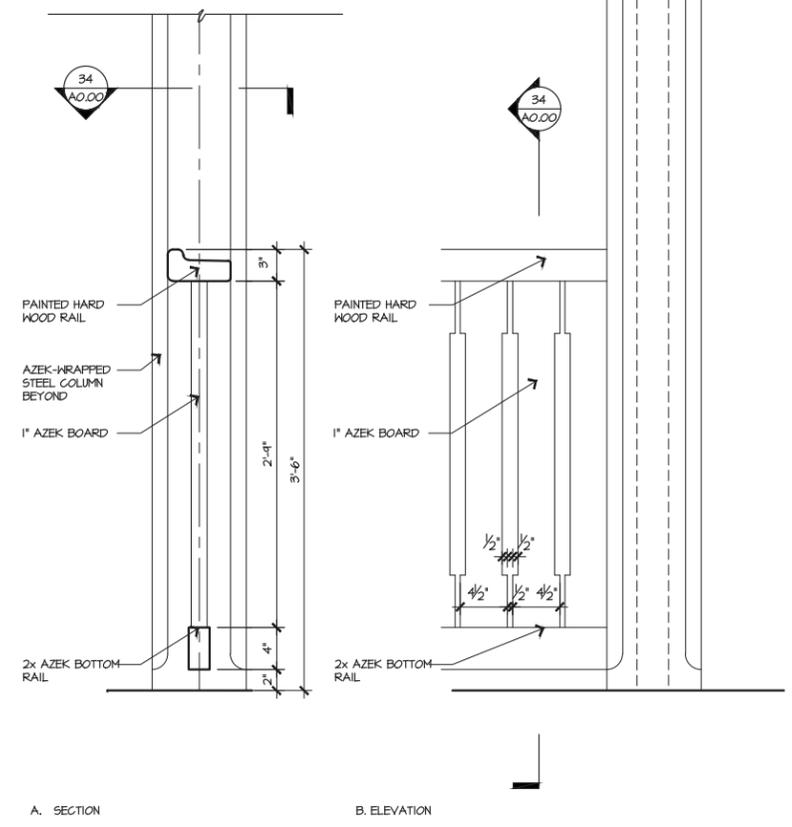
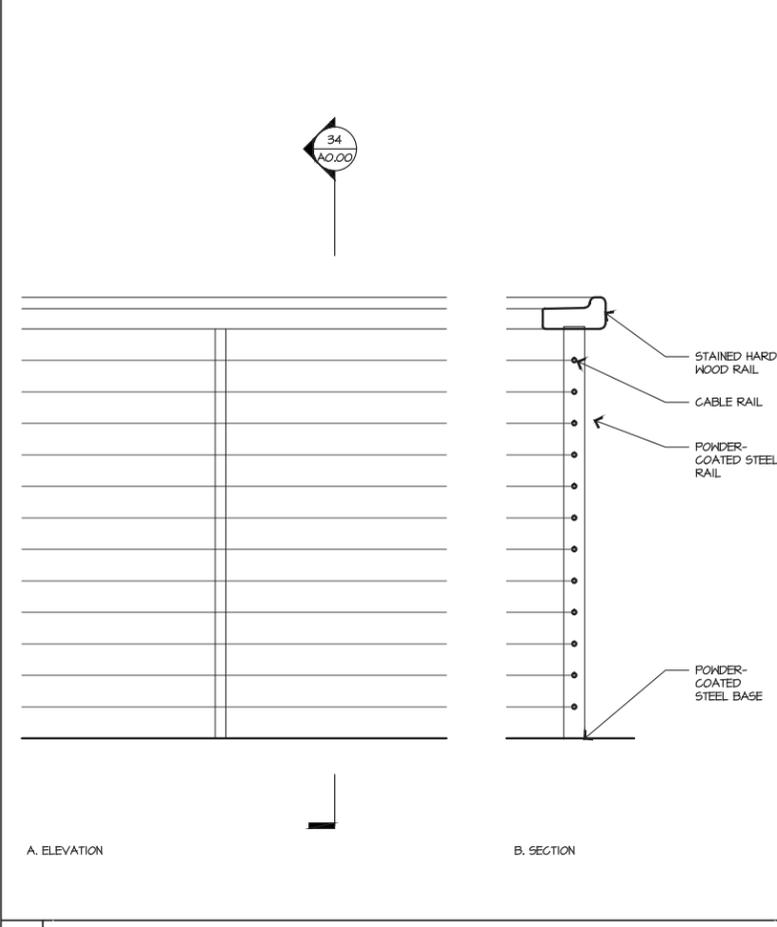
DRAWING NO: **A4.31**



1 BENCH AT BOARDWALK AT MARKET 1 1/2"=1'-0"

4 UPPER MARKET PANEL RAIL 1 1/2"=1'-0"

6 TYPICAL EAVE 1 1/2"=1'-0"



2 SECOND FLOOR TERRACES CABLE RAIL 1 1/2"=1'-0"

3 LOWER MARKET TERRACE RAIL 1 1/2"=1'-0"

5 UPPER MARKET TERRACE RAIL 1 1/2"=1'-0"

7 DECOR. RAIL ON GOLF ELEV. 1 1/2"=1'-0"

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REVISIONS

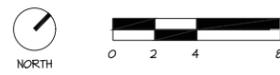
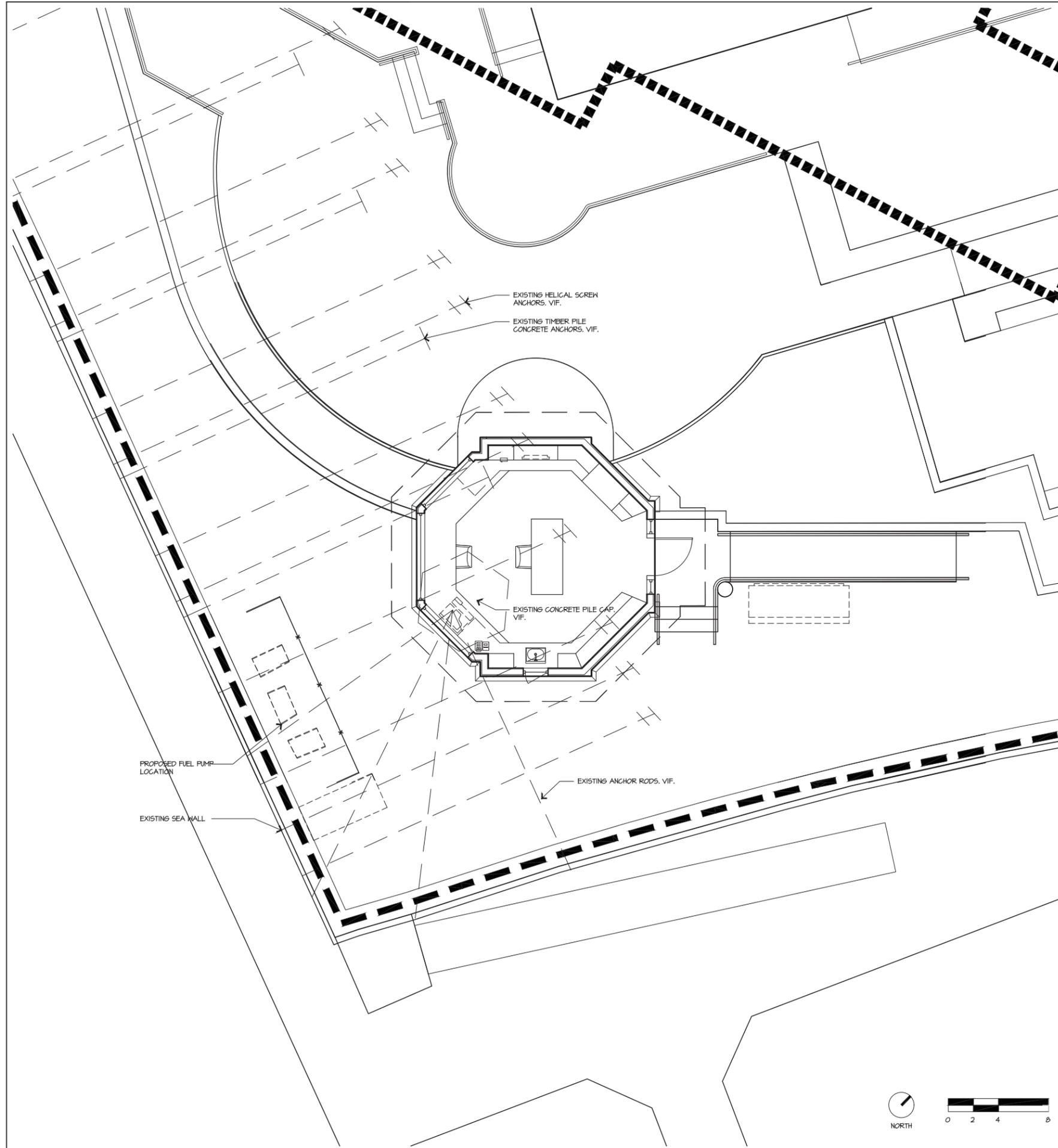
EXTERIOR DETAILS

PROJECT #: 16-509  
DRAWN BY: JK, CD  
CHECKED BY: JP, RR

DRAWING NO: A4.32

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1/4"=1'-0"

1 HARBOUR MASTER CONTEXT PLAN

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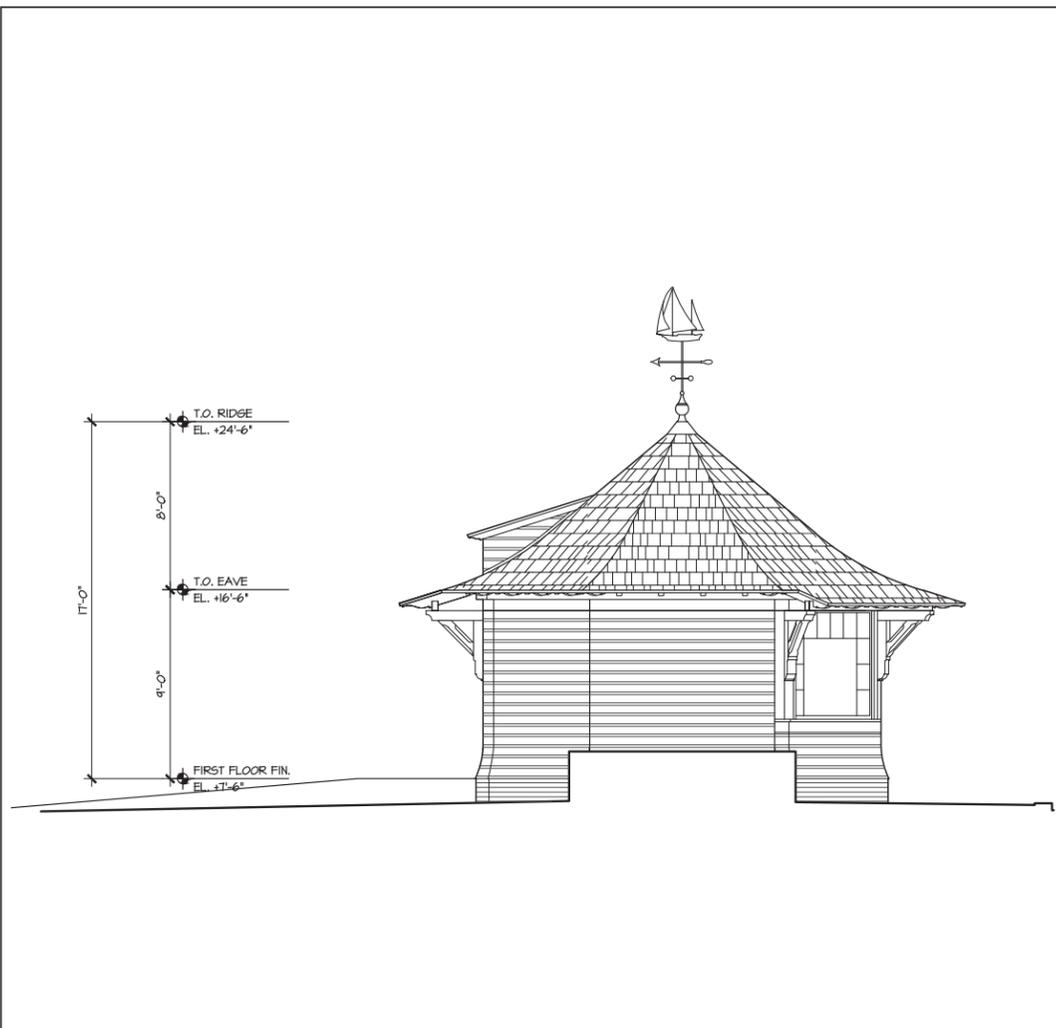
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**HARBOUR MASTER  
 CONTEXT PLAN**

PROJECT #:  
 16-509  
 DRAWN BY:  
 VALIE  
 CHECKED BY:  
 JP, RR

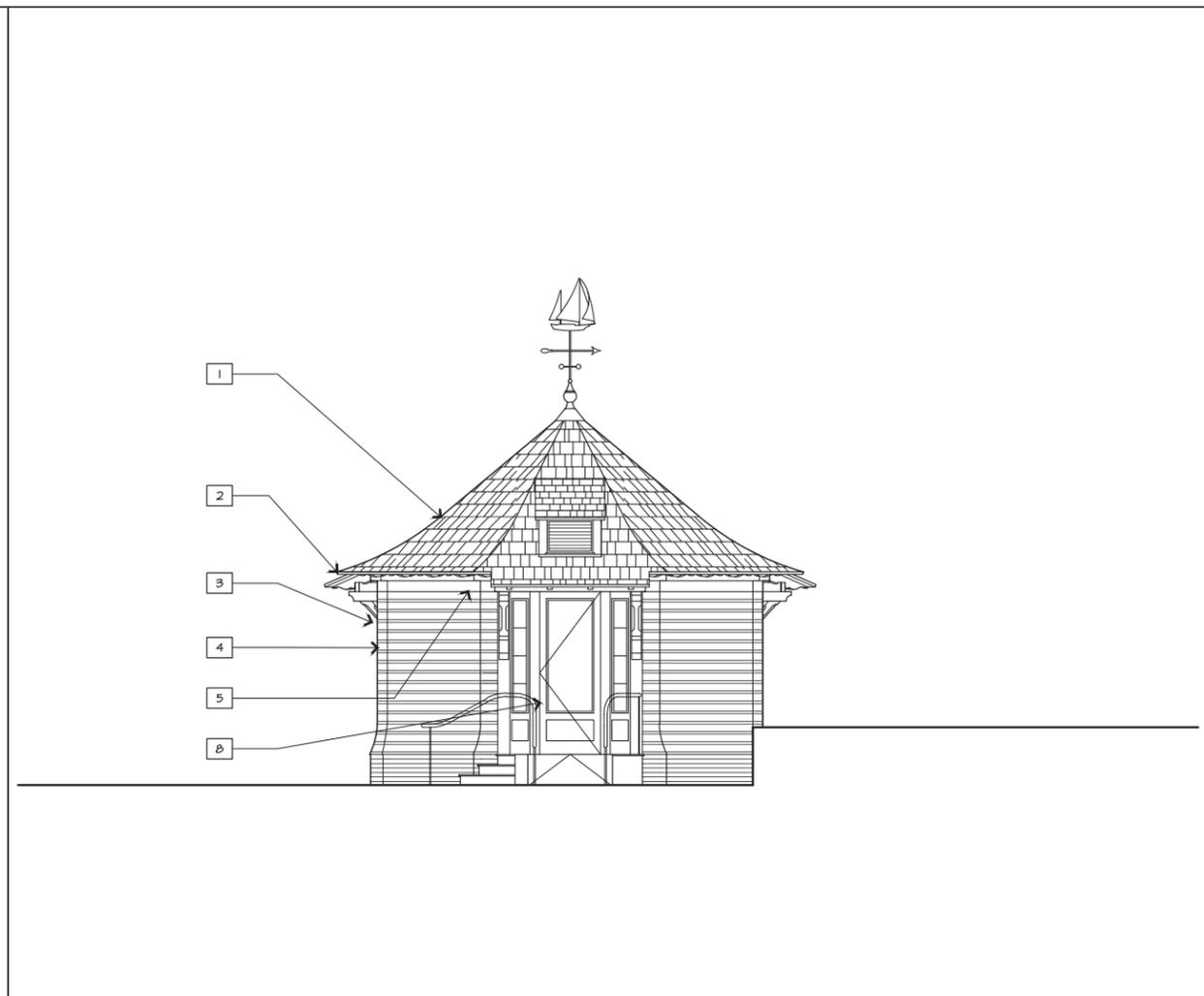
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**HM A2.00**



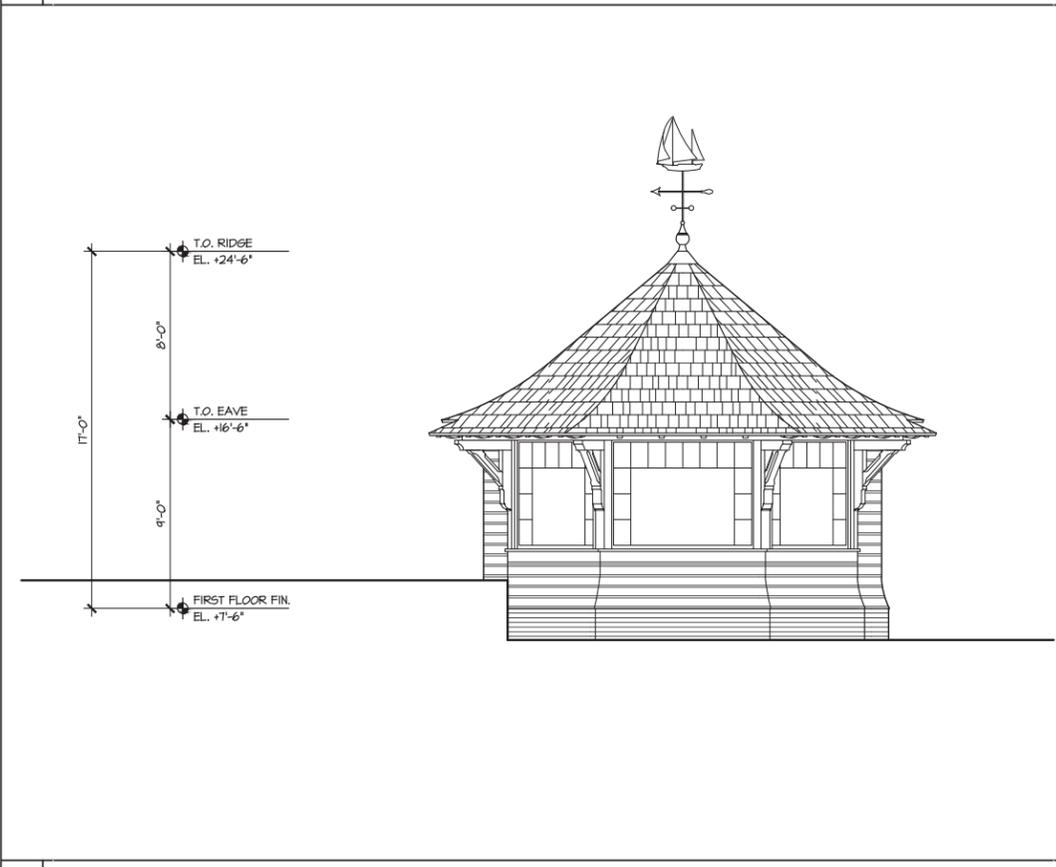
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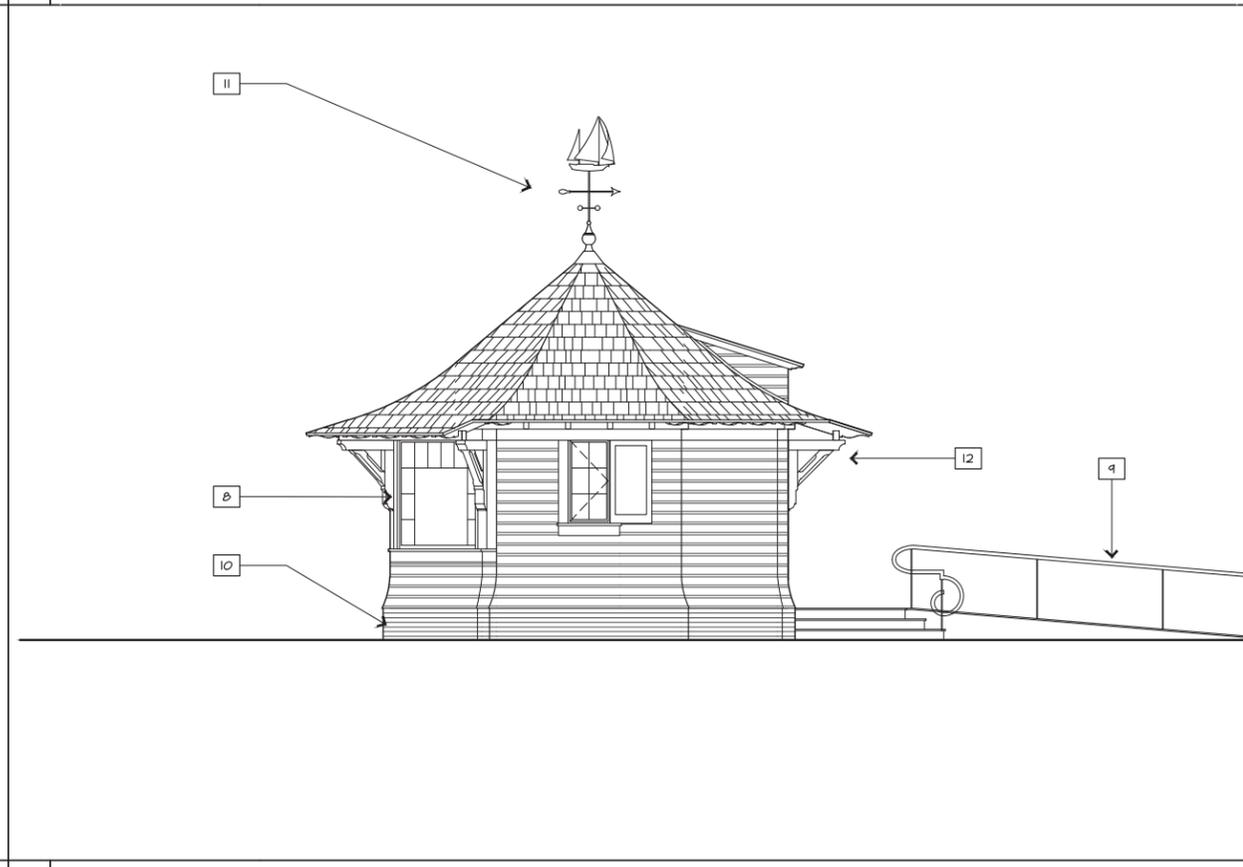
1 HARBORMASTER WEST ELEVATION 1/4"=1'-0"



2 HARBORMASTER NORTH ELEVATION 1/4"=1'-0"



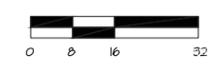
3 HARBORMASTER SOUTH ELEVATION 1/4"=1'-0"



4 HARBORMASTER EAST ELEVATION 1/4"=1'-0"

MATERIAL LEGEND

- 1 STANDING SEAM GALVALUME FINISH METAL ROOFING (22 GA.)
- 2 ALUM. GUTTERS, SAME FINISH AS ROOF, 6" HALF-ROUND, FASCIA MOUNTED BRACKETS
- 3 ALUM. DOWNSPOUT, SAME FINISH AS ROOF, 4" DIA. ON CONCEALED BRACKETS
- 4 BEADED FIBER CEMENT SMOOTH LAP SIDING, 3/8" THK. IN RIBBON COURSING, WEAVE CORNERS
- 5 PTD. HIGH PERFORMANCE PVC TRIM
- 6 PTD. HIGH PERFORMANCE PVC LATTICE
- 7 ALUMINUM CLAD HD WINDOW (IMPACT GLASS)
- 8 ALUMINUM CLAD STILE & RAIL DOOR (IMPACT GLASS)
- 9 STAINLESS STEEL HANDRAIL SYSTEM WITH HARDWOOD CAP RAIL
- 10 BRICK VENEER WATERTABLE
- 11 CUSTOM WEATHER VANE AND ANEMOMETER
- 12 CUSTOM STEEL BRACKETS, PTD.



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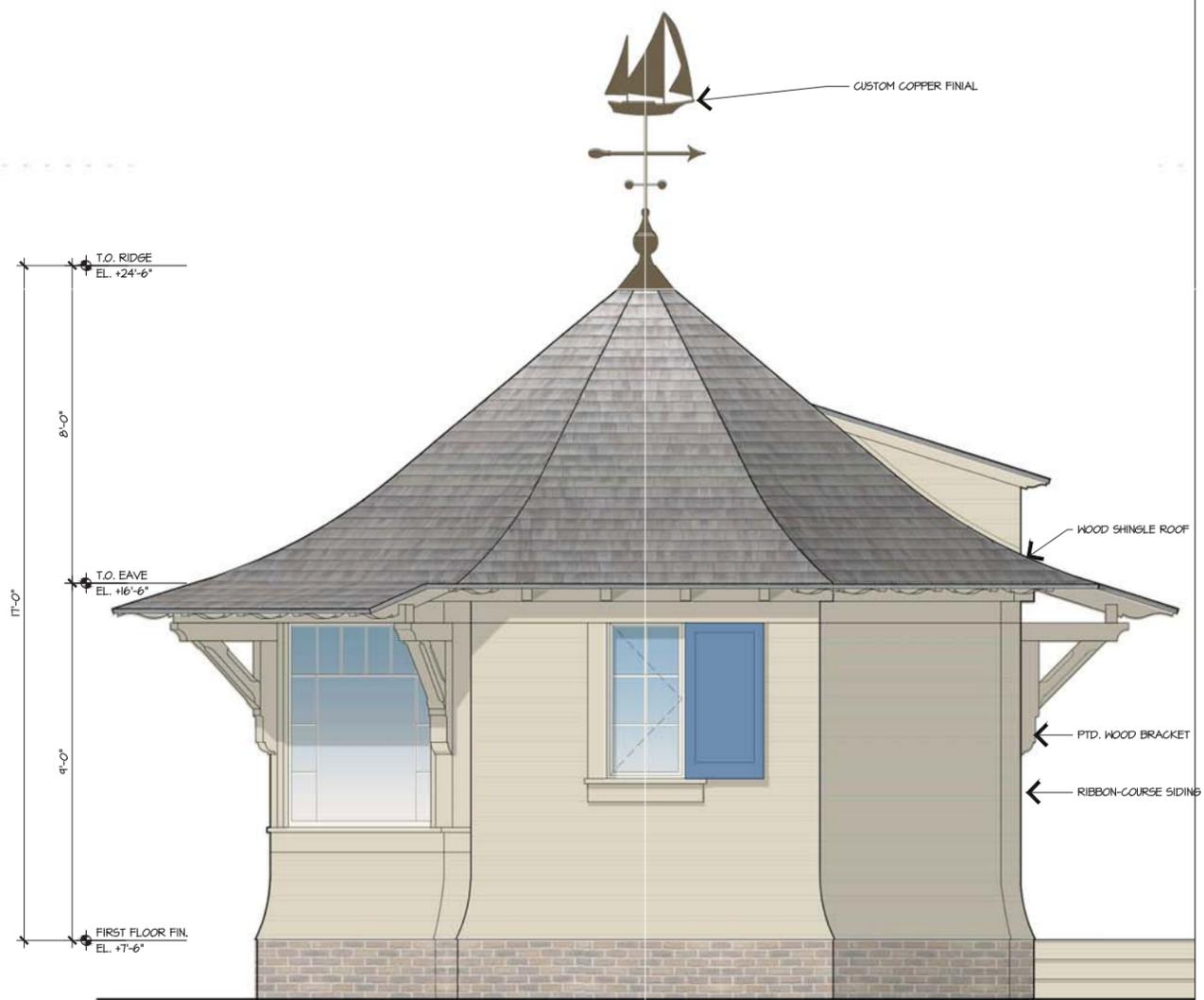
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**HARBORMASTER ELEVATIONS**  
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PROJECT #: 16-509  
 DRAWN BY: JES  
 CHECKED BY: JPR

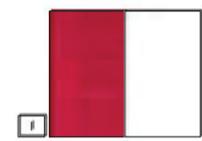
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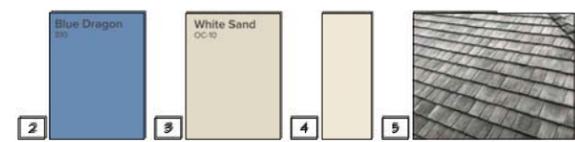
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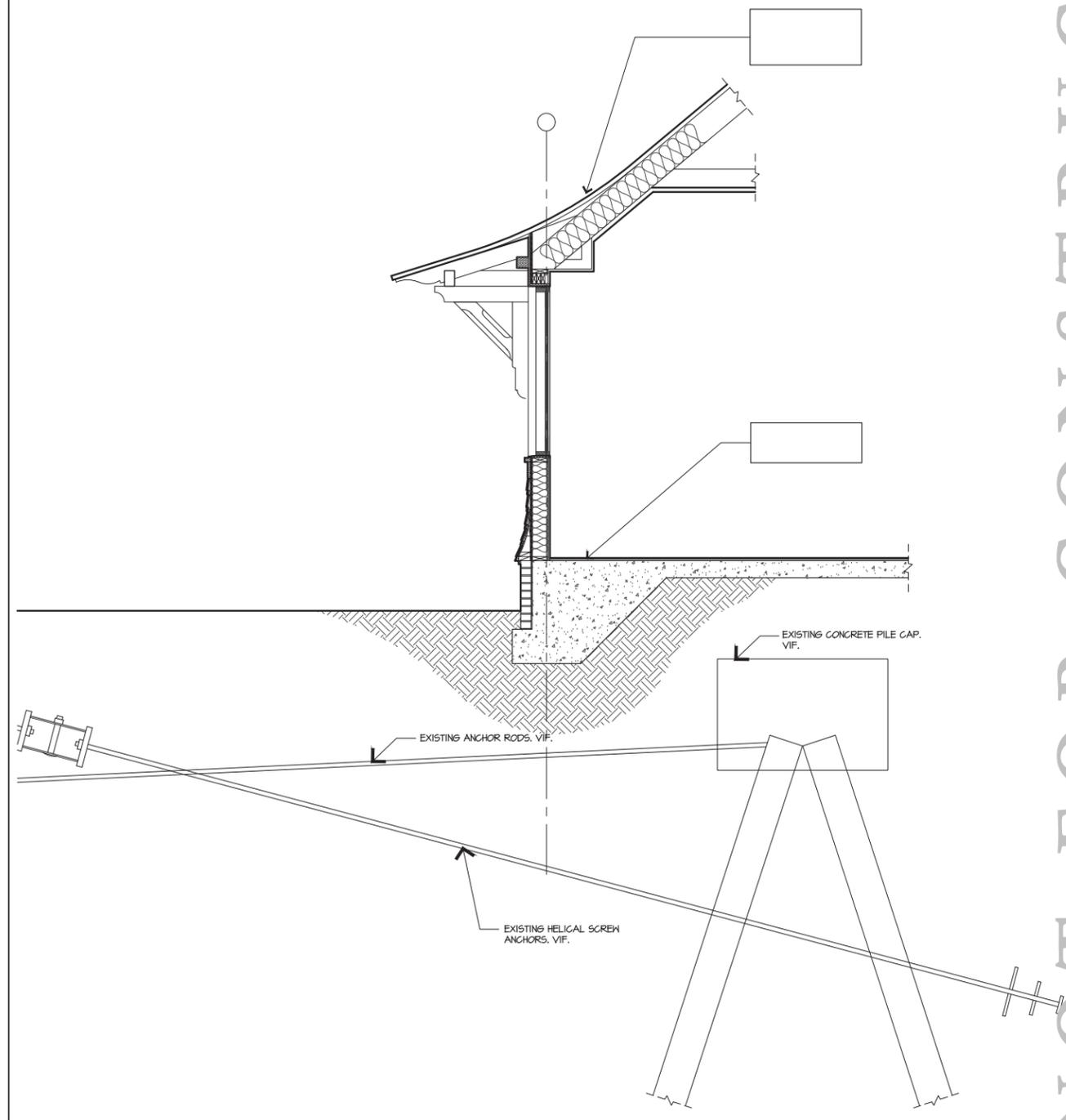
1. LIGHTHOUSE PAINT SAMPLES



2. SHUTTER PAINT SAMPLE 3. EXTERIOR PAINT SAMPLE 4. WINDOW AND DOOR COLOR SAMPLE 5. WEATHERED WOOD SHAKES OVER TIME

1 HARBORMASTER ELEVATION

1/2"=1'-0"



2 HARBORMASTER WALL SECTION

1/2"=1'-0"

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DATE	ISSUE
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01/22/21	100% DD

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**HARBOR MASTER ELEVATION**

PROJECT #: 16-509  
 DRAWN BY:  
 CHECKED BY:  
 P, RR

DRAWING NO.:  
**HM A3.02**

# QUARTERDECK

Hilton Head, SC

SCHEMATIC LIGHTING PLANS  
January 29, 2021



**RAMP & STEP UNDERGLOW**

Linear LED light strip mounted at stair nosing to provide safety lighting glow at elevation changes.

**FACADE SCONCES**

Decorative sconce to provide general illumination at facade.

**BAR FASCIA GLOW**

Linear LED light strip to illuminate fascia at bar die.

**LIQUOR RISER GLOW**

Internally illuminated liquor riser steps to backlight bottles at back counter and center island.

**SHELF LIGHTING**

Integrated linear lighting within shelf unit to illuminate glassware and liquor display.

**BAR TASK LIGHTING**

Undercabinet task lighting to illuminate equipment side of counter.

**TABLE LAMPS**

Decorative arched lamps and banquette mounted to provide illumination at dining height.

**CREDENZA TABLE LAMP**

Decorative plug-in table lamp to provide general illumination.

**BANQUETTE TABLE LAMPS**

Decorative plug-in table lamp to provide general illumination.

**RESTROOM SCONCES**

Decorative glowing sconces to illuminate vanity mirrors.

**STAIR SCONCES**

Decorative glowing sconces to illuminate stair wall

**PICTURE LIGHTS**

Decorative picture light to illuminate art.

**HANDRAIL UPLIGHT**

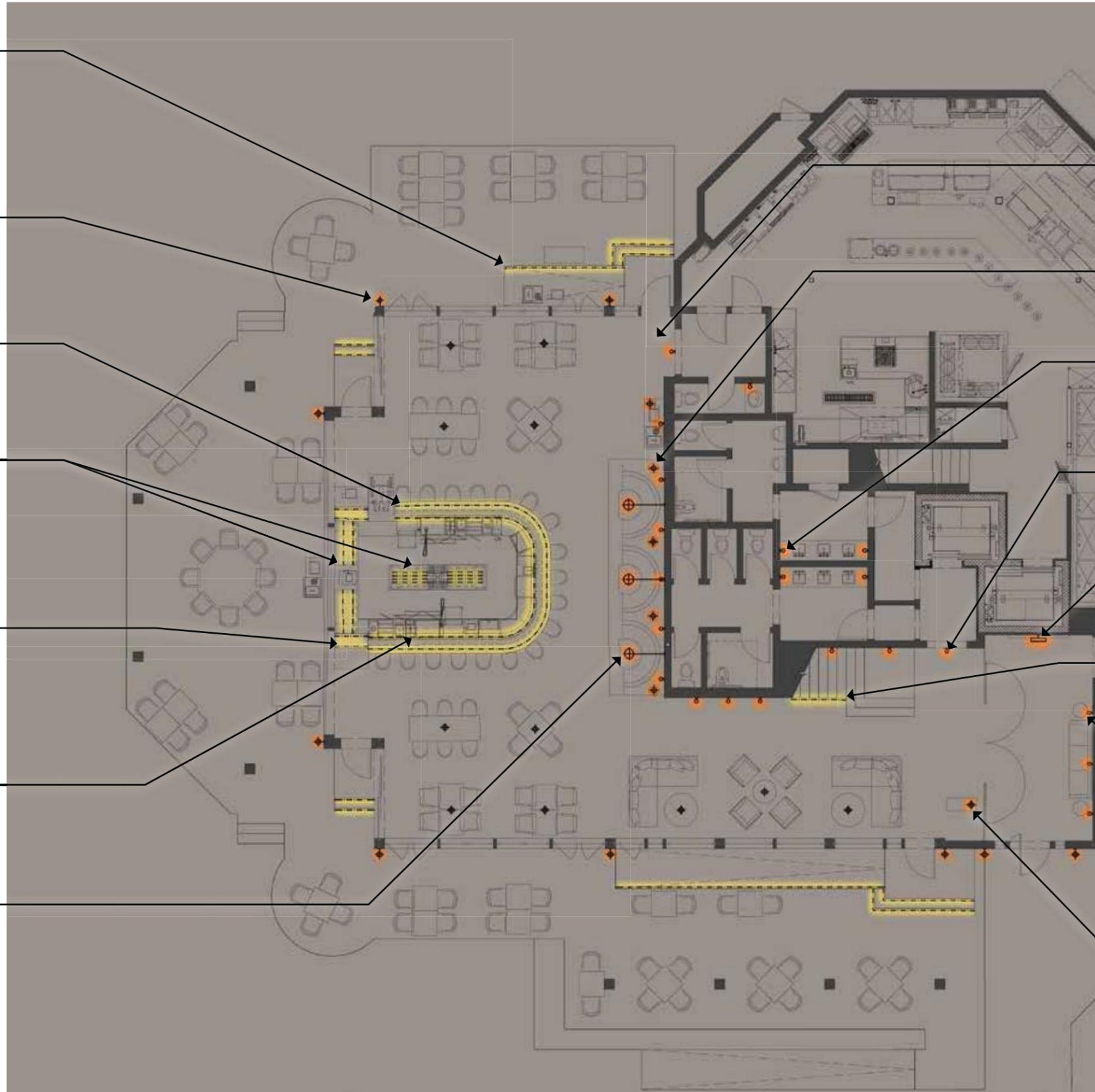
Uplight to illuminate rope handrail detail.

**VESTIBULE SCONCES**

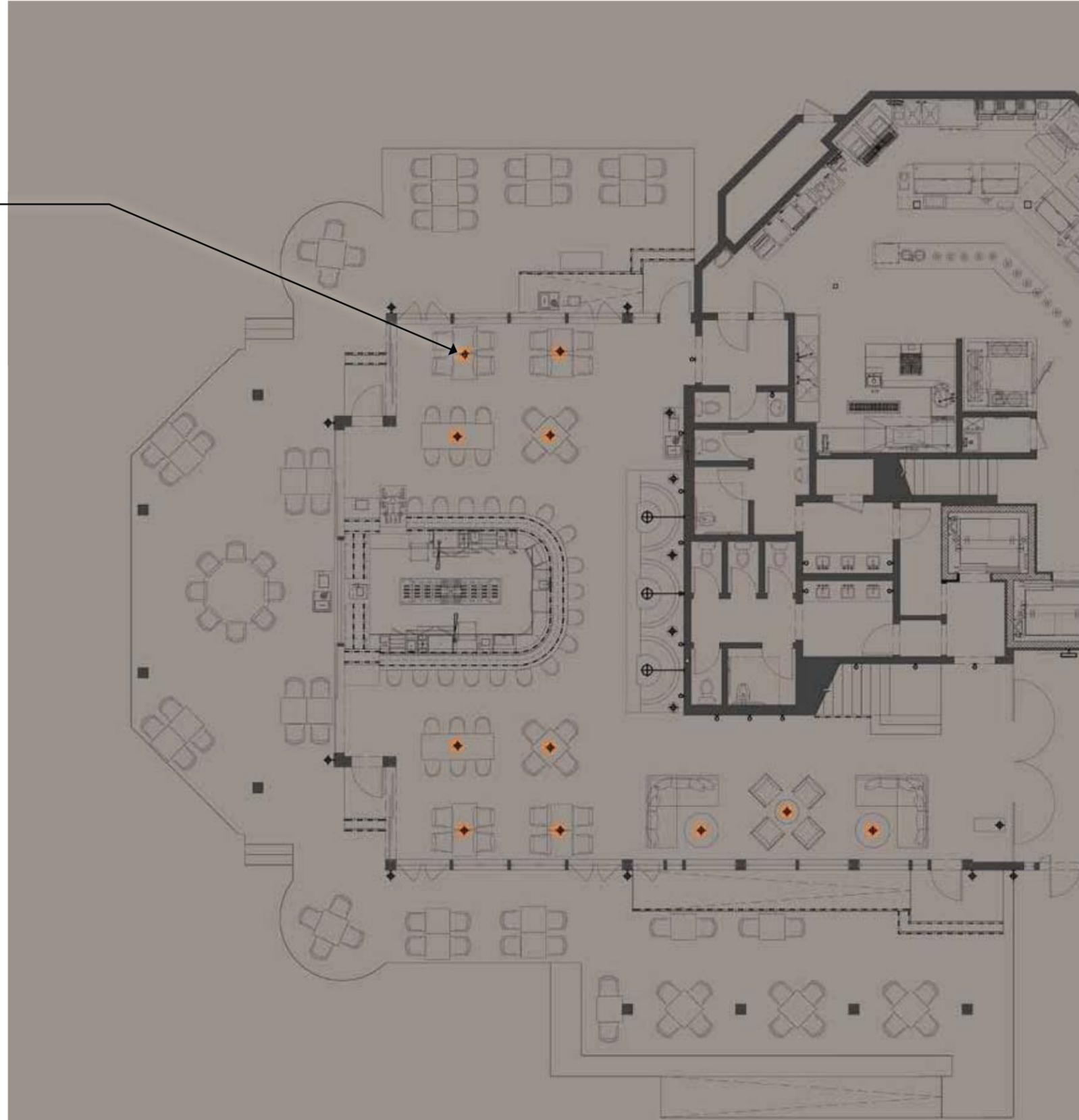
Decorative glowing sconces to illuminate seating area.

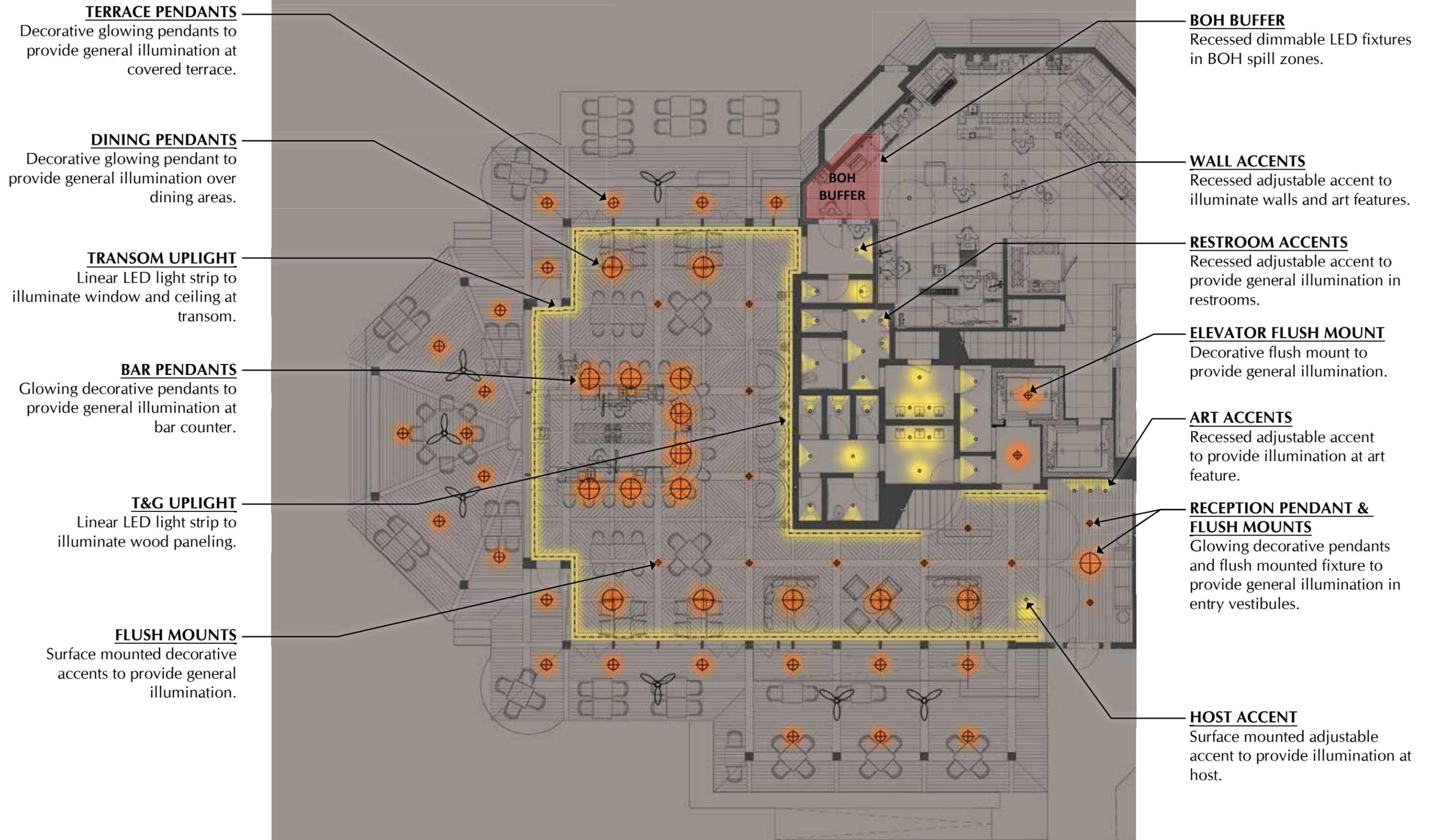
**HOST TABLE LAMP**

Decorative glowing table lamp to illuminate host desk.

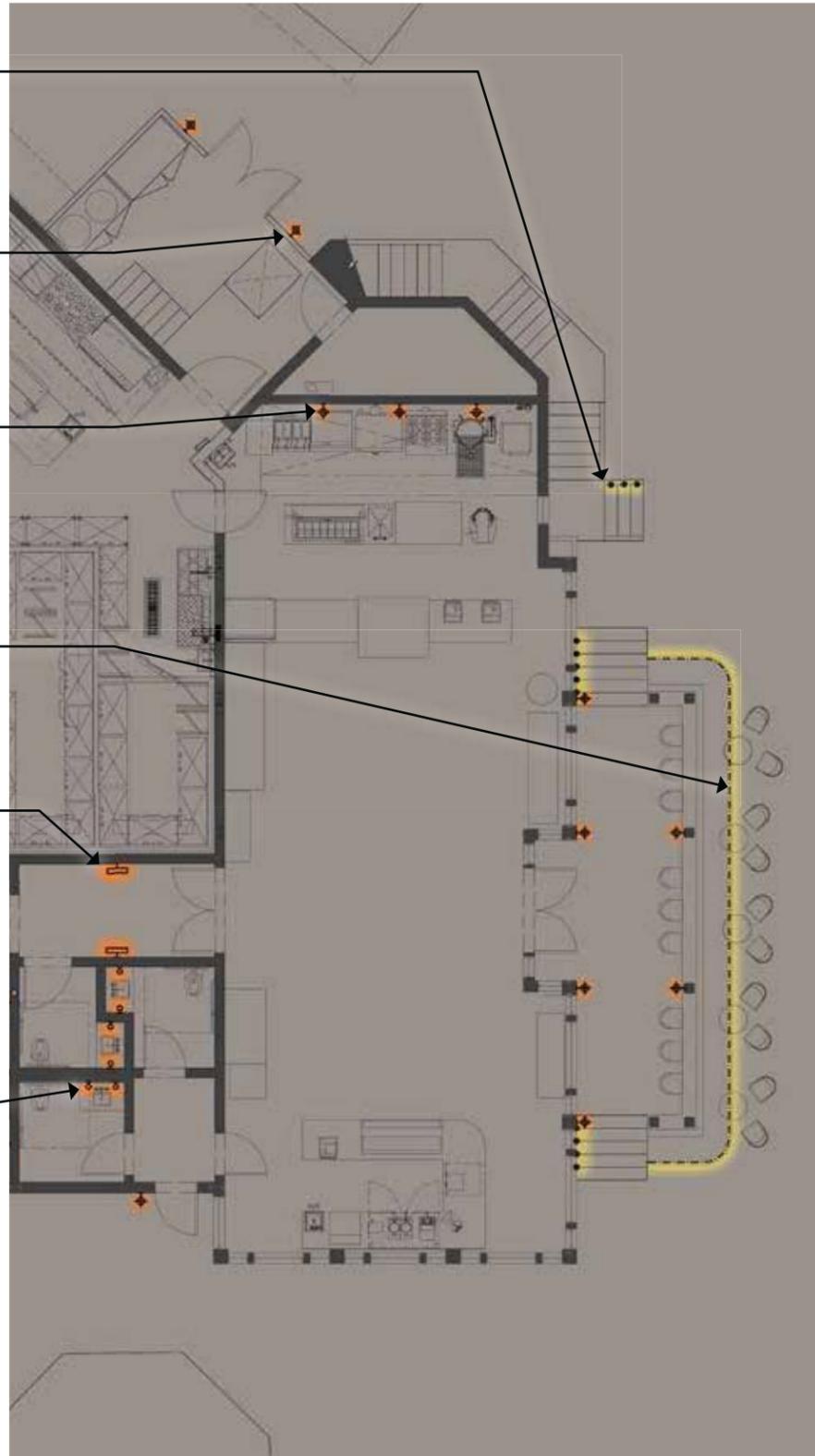


**BATTERY TABLE LAMPS**  
Glowing battery LED decorative lamps to provide illumination at dining table height for faces and menus.

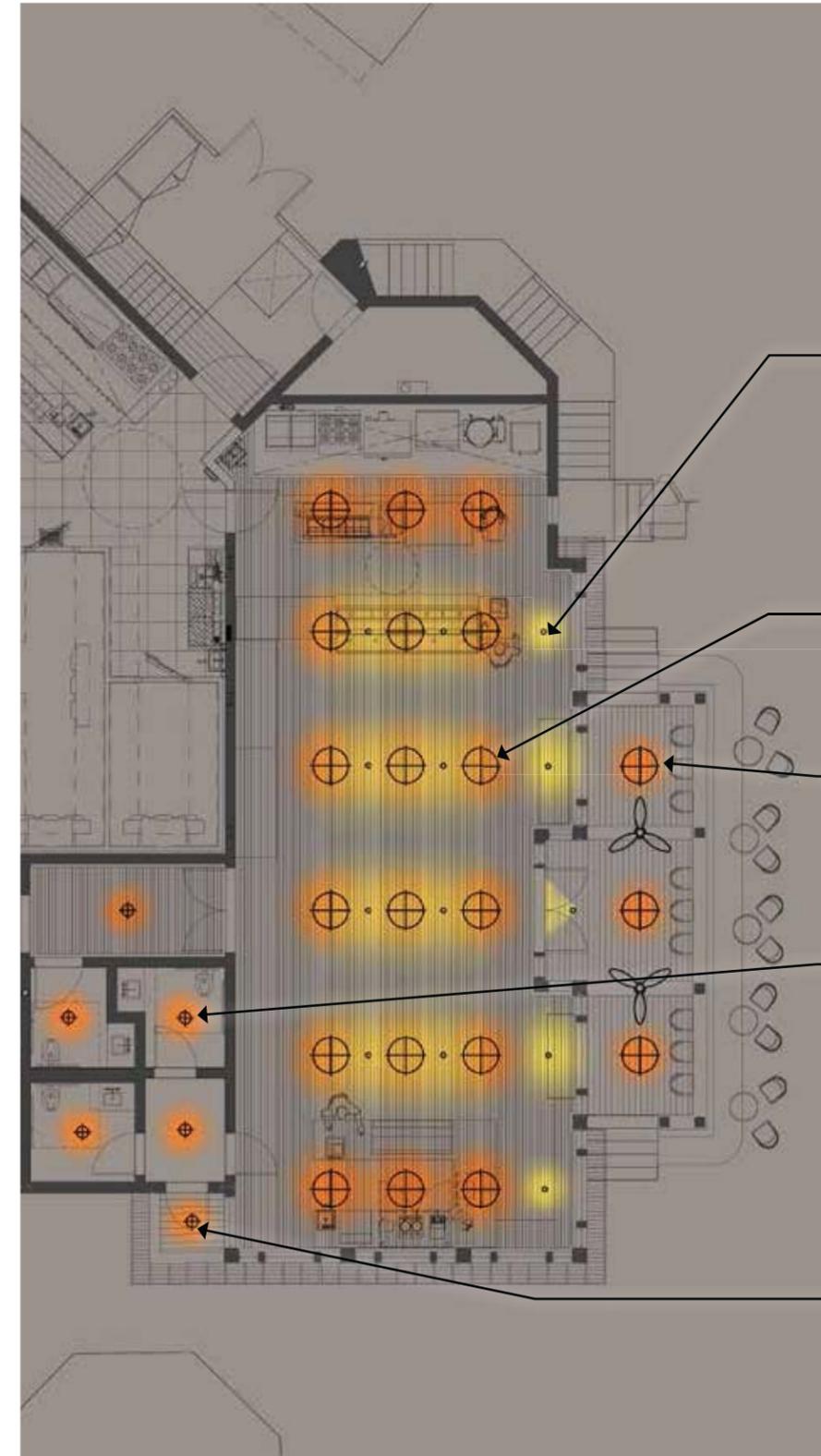




- STEPLIGHTS**  
Inground deck mounted  
steplights to illuminate stair  
treads.
- FACADE SCONCES**  
Decorative sconces to provide  
general illumination.
- SCONCES**  
Decorative sconces to provide  
general illumination.
- BENCH UNDERGLOW**  
Linear LED light strip to  
provide glow under bench.
- PICTURE LIGHTS**  
Decorative picture lights to  
illuminate art.
- RESTROOM SCONCES**  
Decorative sconces to provide  
general illumination in  
restrooms.



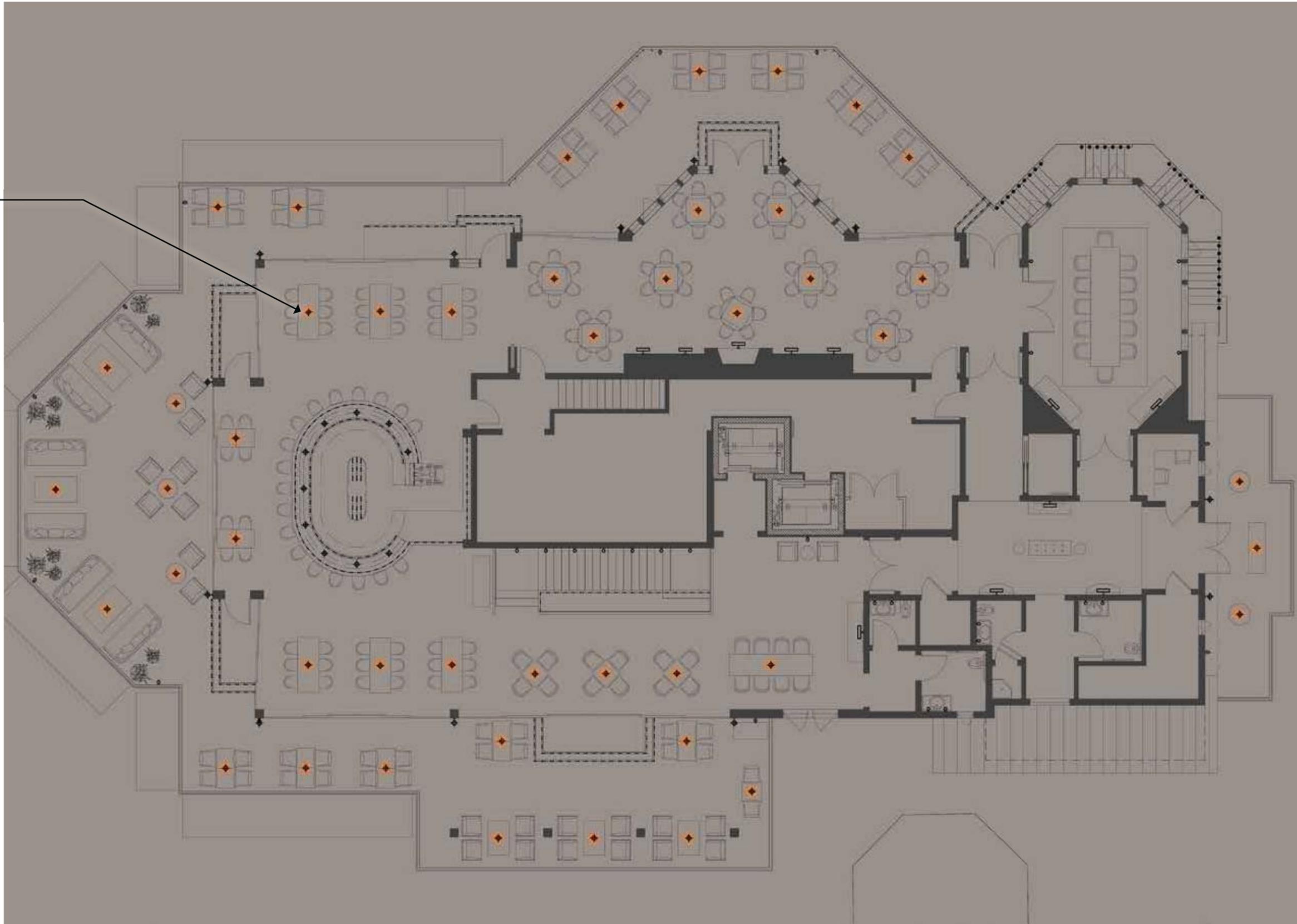
LIGHTING PLAN



LIGHTING RCP

- RETAIL ACCENTS**  
Recessed adjustable accents to  
provide general illumination at  
central product displays.
- PENDANT FEATURE**  
Decorative glowing pendant  
feature to provide general  
illumination at market ceiling.
- TERRACE PENDANTS**  
Decorative glowing pendants  
to provide general illumination  
at market terrace.
- RESTROOM & VESTIBULE  
FLUSH MOUNTS**  
Decorative glowing flush  
mounts to provide general  
illumination at restroom and  
vestibules.
- FACADE PENDANTS**  
Decorative glowing pendant to  
provide general illumination at  
facade.





**BATTERY TABLE LAMPS**  
Glowing battery LED decorative lamps to provide illumination at dining table height for faces and menus.

- BOH BUFFER**  
Recessed dimmable LED fixtures in BOH spill zones.
- CEILING UPLIGHT**  
Linear LED light strip to illuminate ceiling at beams.
- EXTERIOR ACCENETS**  
Surface mounted accents to illuminate doors and steps at terrace.
- WINDOW PENDANTS**  
Decorative flush mount to provide general illumination at low ceiling tables.
- BAR PENDANTS**  
Decorative glowing pendants to provide general illumination at bar ceiling.
- OYSTER & SHELF ACCENTS**  
Surface mounted adjustable accent to illuminate shelf feature.
- TABLE PENDANTS**  
Decorative pendants to provide illumination at dining tables.
- STAIR PENDANT**  
Decorative flush mount to provide general illumination at stair landing.



- PDR PENDANTS**  
Decorative pendants to provide general illumination in PDR.
- ART ACCENTS**  
Surface mounted adjustable accents to illuminate art display.
- FRAME UPLIGHT**  
Linear LED light strip to provide uplight glow on framed art features.
- VESTIBULE ACCENTS**  
Recessed adjustable accents to illuminate vestibules.
- PRE-FUNCTION PENDANTS**  
Decorative glowing pendants to provide general illumination.
- RESTROOM FLUSH MOUNTS**  
Decorative glowing flush mounts to illuminate restrooms.
- TERRACE TABLE WASH**  
Surface mounted adjustable accents to provide general illumination under covered terrace seating.



**SHELL PATH STEPLIGHTS**

Concealed steplights to illuminate pathway within timber wall.

**PALM TREE UPLIGHTS**

Stake mounted adjustable accents to uplight tree canopy from upper planters.

**RESTAURANT FACADE**

Windows to provide glow from within (interior lighting) and selective decorative fixtures to highlight features.

**TERRACE TOE KICK GLOW**

Toekick underglow to illuminate perimeter edge.

**BATTERY TABLE LAMPS**

Battery lamps to illuminate tables and bar.

**STAGE LIGHTING**

Footlight linear glow at stage edge to provide soft illumination for performers. Power allowance for plug in equipment.

**BOCCE COURT**

Linear underglow at bench and stairs to provide illumination at sand court and walkways.

**HARBOUR MASTER FACADE**

Decorative sconces mounted at corners to provide soft glow at facade.

**FLAGPOLE**

Pole mounted adjustable uplights to illuminate flags.

**GANGWAY**

Handrail underglow to illuminate logo at fabric panels.

**DROPOFF BOLLARDS**

Shielded bollards to provide low level illumination at dropoff.

**SIGNAGE**

Stake mounted adjustable uplight to provide illumination at signs.

**LIGHTHOUSE FACADE**

Surface mounted linear uplights to replace existing floodlights to provide even illumination at tower facade and base.

**PATH BOLLARDS**

Shielded bollards to provide low level illumination at path to parking lot.

**STAIRS**

Stake mounted landscape lights and recessed steplights to provide illumination at stairs.

**BOARDWALK**

Toekick glow underglow at boardwalk edges and pole lighting to provide illumination at path.

**OAK TREES**

Bench underglow to provide lighting around seating at central oak tree.



**GANGWAY**

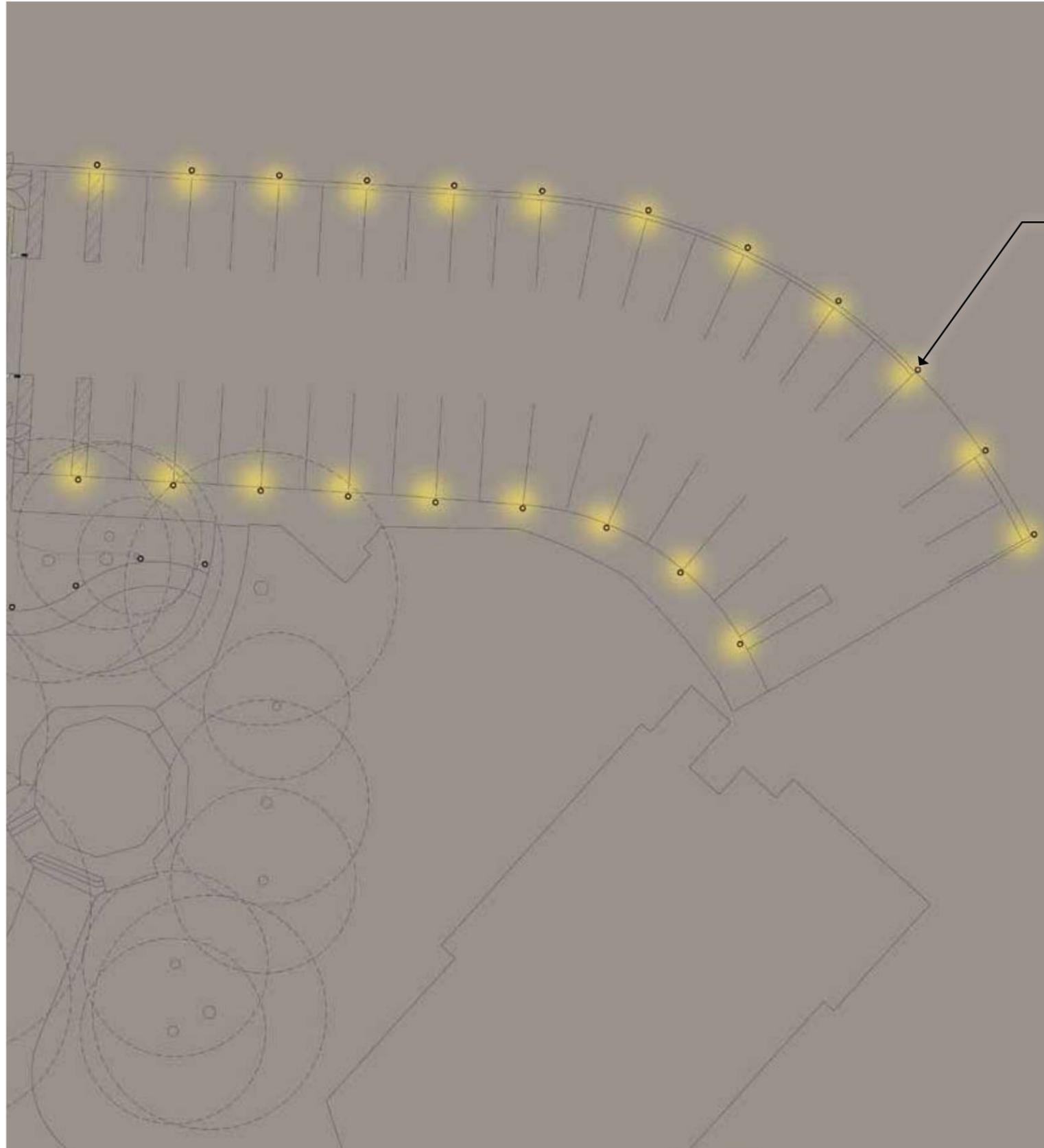
String lights to provide ambient glow under awning structure.

**BOARDWALK**

String lights to provide ambient glow along major walkway.

**OAK TREES**

Tree mounted adjustable accents to uplight tree canopy from upper trunk.



**PARKING LOT BOLLARDS**  
Shielded bollards to provide low level illumination at parking lot.

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Quarterdeck Restaurant

DRB#: DRB-000212-2021

DATE: 02/12/2021

RECOMMENDATION:    Approval             Approval with Conditions             Denial   
RECOMMENDED CONDITIONS:

<b>ARCHITECTURAL DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. At Final – Confirm that “White Sand” is not too white. 2. At Final – Confirm that “Galvalume” is not too reflective.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At Final – Confirm utilities are on roof and all hoods will be concealed by parapet walls.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All exterior lighting fixtures are limited to 3000K or less and must meet the LMO lighting standards.

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed potential groundcover selection are elaborate and may be maintenance intensive. Provide complete planting plan at Final.

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Provide a tree protection plan that includes pre and post construction fertilization and mycor treatment.</li> <li>2. Given the abundance of exterior lighting proposed and the potential negative impact of tree roots and structure, Staff recommends all tree lighting be removed.</li> </ol>

***MISC COMMENTS/QUESTIONS***




Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
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[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

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Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects  
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928  
 Telephone: 843-785-5171 Fax: \_\_\_\_\_ E-mail: Tim@PDG-Architects.com  
 Project Name: Mount Calvary Baptist Church Project Address: 382 Squire Pope Ave.  
 Parcel Number [PIN]: R\_510-003-000-0018-0000 \_\_\_\_\_  
 Zoning District: Low Moderate Density Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 \_\_\_\_\_ Concept Approval – Proposed Development \_\_\_\_\_ Alteration/Addition  
x Final Approval – Proposed Development \_\_\_\_\_ Sign

Submittal Requirements for *All* projects:

\_\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

x Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

x A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

x A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

x A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

x Context photographs of neighboring uses and architectural styles.

x Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

x Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



11.09.21

SIGNATURE

DATE



**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

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**PROJECT NAME:** Mount Calvary Baptist Church                      **PROJECT #:** DRB-001487-2020  
**PROJECT ADDRESS:** 382 Squire Pope Road  
**CATEGORY:** New Development – Conceptual  
**ACTION DATE:** August 21, 2020                                      **NOTICE DATE:** August 24, 2020  
**APPLICANT/AGENT:** Timothy C Probst, Parker Design Group Architects  
10 Palmetto Business Park Suite 201  
Hilton Head Island, SC 29928  
E-mail: Tim@PDG-Architects.com

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**On the above meeting date your Application received the following action:**

- APPROVED AS SUBMITTED**  
 **APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**  
 **DENIED**  
 **WITHDRAWN AT THE APPLICANTS REQUEST**

1. The conditions described in the attached Exhibit A Design Team/DRB Comment Sheet shall be addressed in the final application, with the exception of the comment “overhangs appear narrow”.
2. No grading shall occur in the buffers.
3. The pedestrian pathway circulation and how that is defined shall be studied.
4. The chain link fence around the current playground will be removed as part of the project.
5. No connector between the existing and the new building will exist.
6. The gravel parking will have concrete wheel stops.
7. Confirm the southern side will be a Type C buffer and provide a landscape plan to match.
8. Parking calculations appear to be in excess of LMO requirements. Reduce the number of parking stalls in order to preserve more existing trees.
9. The circulation to the covered drop off area be studied.
10. Landscape screening to and from the mobile home park shall be address in the landscape plan.
11. Add detailing to the minor entry columns.
12. Study the side yard compressor and location. Review the fencing height. The fence shall match the building color.

**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY:  \_\_\_\_\_, Urban Designer

## EXHIBIT A

### DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Mt. Calvary Baptist Church

DRB#: DRB-001487-2020

DATE: 08/10/2020

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

RECOMMENDED CONDITIONS:

The development appears to be moving a direction compliant with the Design Guide with the exception of issues listed below. Staff recommends Conceptual approval and request the comment sheet be added to the NOA.

#### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pedestrian circulation is not well developed in the parking lot. Church goes parking in the back of the parking lot will be crossing landscape islands to get to church. Restaurant goes do not have a clear path to cross Squire Pope Road. Pedestrian circulation should be carefully studied before Final.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The park lot layout should work to preserve more existing trees or clusters of existing trees.
<del>Overhangs are sufficient for the façade height.</del>	<del><input type="checkbox"/></del>	<del><input checked="" type="checkbox"/></del>	<del><input type="checkbox"/></del>	<del>Overhangs appear narrow.</del>

#### ***LANDSCAPE DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Please provide a landscape plan at Final. I would have

				been appropriate to provide a Landscape Massing Plan for Conceptual review to confirm the direction of the landscape design.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Little or no attempt is made to preserve existing trees in the parking lot layout.
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The Landscape Plan should be predominantly native species.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The Landscape Plan should include an adequate buffer between the residential and parking lot uses.

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Little or no attempt is made to preserve existing trees in the parking lot layout.

***MISC COMMENTS/QUESTIONS***

1. Given that storm water detention can take up to 20% of the site, the proposed detention appears inadequate to accommodate the proposed development. If the detention must be increased it will affect the aesthetics of the site.
2. The proposed parking lot grading does not accommodate the preservation of trees.
3. The proposed parking lot layout does not accommodate the preservation of trees. Parking stall should be removed to preserve cluster of trees. Those clusters should be protected with bollards or curbs.
4. Specification and detail of the proposed pavements is needed. What is the difference between the two hatch patterns on the "Tree Protection Plan"?



February, 9 2021

Town of Hilton Head Island Design Review Board  
One Town Center Court  
Hilton Head Island, SC 29928

## **Response to Preliminary DRB from 8.24.20 for Mt. Calvary Baptist Church**

1. No grading shall occur in the buffers. ***No grading will occur in the buffers.***
2. The pedestrian pathway circulation and how that is defined shall be studied. ***The pedestrian pathway circulation was studied with requirements being met with the civil revisions. SCDOT won't allow for a cross walk across Squire Pope.***
3. The chain link fence around the current playground will be removed as part of the project. ***The chain link fence around the current playground will be removed as part of the project.***
4. No connector between the existing and the new building will exist. ***There will be no connector between the existing and new building.***
5. The gravel parking will have concrete wheel stops. ***The gravel parking lot will have concrete wheel stops.***
6. Confirm the southern side will be a Type C buffer and provide a landscape plan to match. ***The southern side will be a combination of Type B and Type C buffers due to the parking requirements.***
7. Parking calculations appear to be in excess of LMO requirements. Reduce the number of parking stalls in order to preserve more existing trees. ***A parking study is being done as per the DPR submittal.***
8. The circulation to the covered drop off area be studied. ***The circulation to the covered drop off was studied with civil revisions.***
9. Landscape screening to and from the mobile home park shall be address in the landscape plan. ***The landscape screening to and from the mobile home park was addressed in the landscape plan.***

10. Add detailing to the minor entry columns. ***The minor porch columns on the side columns were studied. These columns were left with simple detailing that match the scale and informal architecture of the rear of the building.***

11. Study the side yard compressor and location. Review the fencing height. The fence shall match the building color. ***We shrank down the service yard to the minimum amount to allow for service and air circulation for the compressor. We pushed it back 1'-0" more from the street and landscaped in front of it. The color will match the trim of the building and the height will be set so you will not be able to see inside of it from the walk. This side of the building is really the back side of the entrance of the building, the parking lot side. This side is also screened with the existing building.***

Thank you for your time and consideration of this project

A handwritten signature in blue ink, appearing to read 'T. Probst', with a long horizontal line extending to the right.

Timothy C. Probst, AIA NCARB

## Livex Lighting 2167-07

Mansfield 2 Light 9 inch Bronze Outdoor Pendant Lante



## General Information

### Livex Lighting 2167-07 Mansfield 2 Light 9 inch Bronze Outdoor Pendant Lantern

#### 2 Light Bronze Outdoor Chain Lantern

#### Brand Information

- Brand: [Livex Lighting](#)
- Collection: [Mansfield](#)
- SKU: 2167-07
- UPC: 847284027527

#### Dimensions and Weight

- Length: 9.00 in.
- Width: 9.00 in.
- Height: 15.00 in.
- Diameter: 9.00 in.
- Backplate/Canopy Width: 5.00 in.
- Backplate/Canopy Length: 5.00 in.

#### Other Specifications

- Ships Via: Ground ( FREE SHIPPING )
- Included Suspension: 3ft of Chain
- Included Lead Wire: 96
- Warranty: 1 Year Warranty

#### Additional Details

- Chain Length 3ft
- Wire Length: 8ft
- Hand Crafted Solid Brass Outdoor Fixture

#### Design Information

- Category: [Outdoor Pendants/Chandeliers](#)
- Finish: [Bronze](#)
- Glass: [Seeded Glass](#)
- Material: [Hand Crafted Solid Brass](#)

#### Bulb Information

- Bulbs Included: No
- Primary Bulb(s): 2 x 60.00 watts Candelabra Base

#### Product Rating

- Safety Rating: [Damp](#)

#### Documents

- Install Sheet: [2164\\_2167\\_2170\\_2174.pdf](#)

## Livex Lighting 2168-07

Mansfield 3 Light 24 inch Bronze Outdoor Wall Lantern



[Zoom Image](#)

## General Information

### Livex Lighting 2168-07 Mansfield 3 Light 24 inch Bronze Outdoor Wall Lantern

3 Light Bronze Outdoor Wall Lantern

#### Brand Information

- Brand: Livex Lighting
- Collection: [Mansfield](#)
- SKU: 2168-07
- UPC: 847284027558

#### Dimensions and Weight

- Width: 12.00 in.
- Height: 23.50 in.
- Extension/Depth: 13.00 in.
- Backplate/Canopy Width: 4.75 in.
- Backplate/Canopy Length: 8.00 in.
- Height from Center of Wall Opening: 10.00 in.

#### Other Specifications

- Ships Via: Ground ( FREE SHIPPING )
- Warranty: 1 Year Warranty

#### Additional Details

- TTM (height from top of fixture to mounting)  
10in
- Hand Crafted Solid Brass Outdoor Fixture

#### Design Information

- Category: [Outdoor Wall Lights](#)
- Finish: [Bronze](#)
- Glass: Seeded Glass
- Material: Hand Crafted Solid Brass

#### Bulb Information

- Bulbs Included: No
- Primary Bulb(s): 3 x 60.00 watts Candelabra Base

#### Product Rating

- Safety Rating: Wet

#### Documents

- [Install Sheet: 2162\\_2165\\_2168\\_2172.pdf](#)

## Livex Lighting 2170-07

Mansfield 3 Light 12 inch Bronze Outdoor Pendant Lanter



Zoom Image

## Livex Lighting 2170-07 Mansfield 3 Light 12 inch Bronze Outdoor Pendant Lantern

3 Light Bronze Outdoor Chain Lantern

### Brand Information

- Brand: Livex Lighting
- Collection: Mansfield
- SKU: 2170-07
- UPC: 847284027619

### Dimensions and Weight

- Length: 12.00 in.
- Width: 12.00 in.
- Height: 19.00 in.
- Diameter: 12.00 in.
- Backplate/Canopy Width: 5.00 in.
- Backplate/Canopy Length: 5.00 in.

### Other Specifications

- Ships Via: Ground ( FREE SHIPPING )
- Included Suspension: 3ft of Chain
- Included Lead Wire: 120
- Warranty: 1 Year Warranty

### Additional Details

- Chain Length 3ft
- Wire Length: 10ft
- Hand Crafted Solid Brass Outdoor Fixture

### Design Information

- Category: Outdoor Pendants/Chandeliers
- Finish: Bronze
- Glass: Seeded Glass
- Material: Hand Crafted Solid Brass

### Bulb Information

- Bulbs Included: No
- Primary Bulb(s): 3 x 60.00 watts Candelabra Base

### Product Rating

- Safety Rating: Damp

### Documents

- Install Sheet: [2164\\_2167\\_2170\\_2174.pdf](#)

**Livex Lighting 2174-07**

Mansfield 4 Light 15 inch Bronze Outdoor Pendant Lan



## General Information

Livex Lighting 2174-07 Mansfield 4 Light 15 inch Bronze Outdoor Pendant Lantern

4 Light Bronze Outdoor Chain Lantern

### Brand Information

- Brand: [Livex Lighting](#)
- Collection: [Mansfield](#)
- SKU: 2174-07
- UPC: 847284027701

### Dimensions and Weight

- Length: 15.00 in.
- Width: 15.00 in.
- Height: 24.50 in.
- Diameter: 15.00 in.
- Backplate/Canopy Width: 5.00 in.
- Backplate/Canopy Length: 5.00 in.

### Other Specifications

- Ships Via: Oversize ( FREE SHIPPING )
- Included Suspension: 3ft of Chain
- Included Lead Wire: 144
- Warranty: 1 Year Warranty

### Additional Details

- Chain Length 3ft
- Wire Length: 12ft
- Hand Crafted Solid Brass Outdoor Fixture

### Design Information

- Category: [Outdoor Pendants/Chandeliers](#)
- Finish: [Bronze](#)
- Glass: [Seeded Glass](#)
- Material: [Hand Crafted Solid Brass](#)

### Bulb Information

- Bulbs Included: No
- Primary Bulb(s): 4 x 60.00 watts Candelabra Base

### Product Rating

- Safety Rating: [Damp](#)

### Documents

- Install Sheet: [2164\\_2167\\_2170\\_2174.pdf](#)

**From:** [Tim Probst](#)  
**To:** [Darnell Chris](#)  
**Subject:** Mt. Calvary fixtures  
**Date:** Friday, February 12, 2021 2:45:08 PM

---

**THIS MESSAGE ORIGINATED OUTSIDE YOUR ORGANIZATION**

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Chris, here are the fixtures, the bulbs will be 2700k.

Thanks,

**Timothy C. Probst AIA , NCARB**

Parker Design Group Architects

10 Palmetto Business Park Suite 201

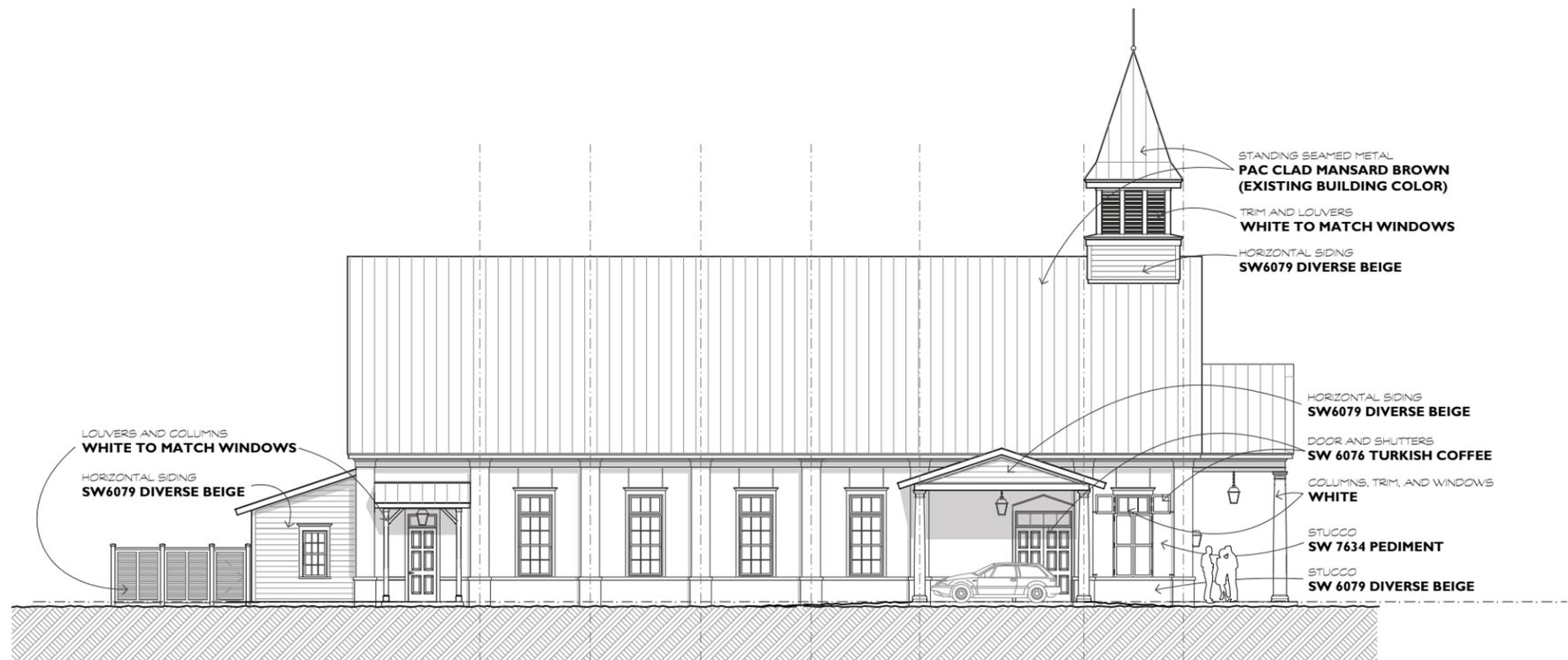
Hilton Head Island, SC 29928

O 843 785 5171

C 843 338 6400



1 STREET ELEVATION  
 C.1 SCALE: 1/8" = 1'-0"



2 PARKING LOT SIDE ELEVATION  
 C.1 SCALE: 1/8" = 1'-0"



SHUTTERS COLOR

SIDING COLORS



ROOF COLOR



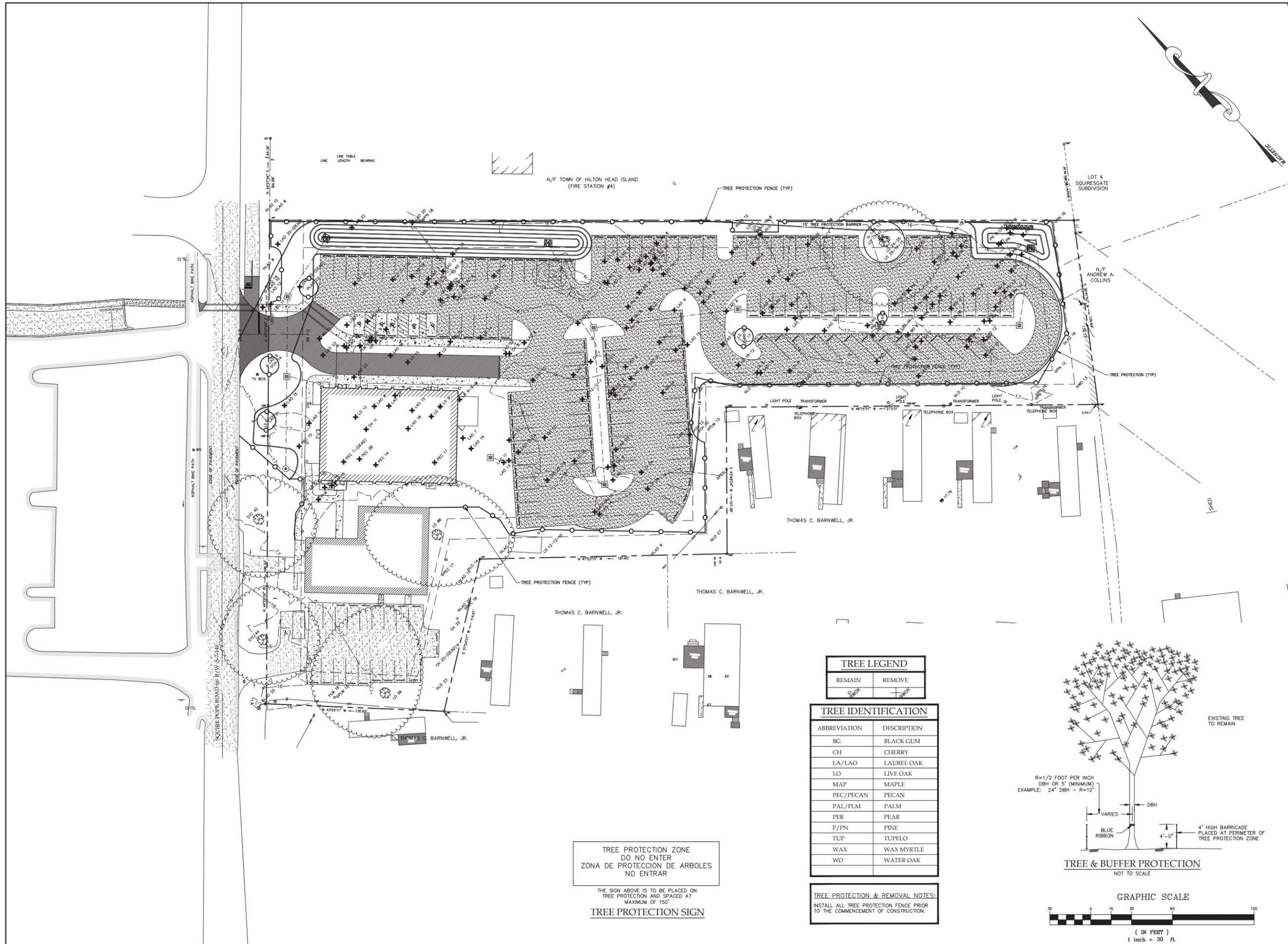
EXISTING FELLOWSHIP HALL

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A Conceptual Study For:  
 Mt. Calvary Baptist Church  
 382 Squire Pope Rd.  
 Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY  
 TP  
 CHECKED BY  
 DATE OF ISSUE  
 2/9/2021  
 SCALE  
 JOB NO  
 SHEET



LINE TABLE  
LENGTH BEARING

N/F TOWN OF HILTON HEAD ISLAND  
(FIRE STATION #4)

LOT 4  
SQUIRESGATE  
SUBDIVISION

N/F  
ANDREW A.  
COLLINS

THOMAS C. BARNWELL, JR.

THOMAS C. BARNWELL, JR.

THOMAS C. BARNWELL, JR.

THOMAS C. BARNWELL, JR.

TREE LEGEND	
REMAIN	REMOVE

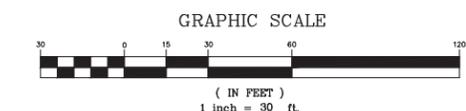
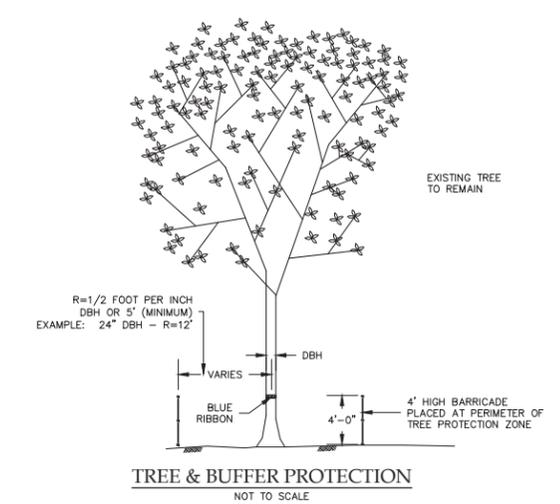
TREE IDENTIFICATION	
ABBREVIATION	DESCRIPTION
BG	BLACK GUM
CH	CHERRY
LA/LAO	LAUREL OAK
LO	LIVE OAK
MAP	MAPLE
PEC/PECAN	PECAN
PAL/PLM	PALM
PER	PEAR
P/PN	PINE
TUP	TUPELO
WAX	WAX MYRTLE
WO	WATER OAK

TREE PROTECTION ZONE  
DO NOT ENTER  
ZONA DE PROTECCION DE ARBOLES  
NO ENTRAR

THE SIGN ABOVE IS TO BE PLACED ON  
TREE PROTECTION AND SPACED AT  
MAXIMUM OF 150'

**TREE PROTECTION SIGN**

**TREE PROTECTION & REMOVAL NOTES:**  
INSTALL ALL TREE PROTECTION FENCE PRIOR  
TO THE COMMENCEMENT OF CONSTRUCTION.



ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE REPRODUCTION, COPIING, OR USE OF THESE PLANS OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

CAROLINA ENGINEERING CONSULTANTS, INC.  
No. 022324  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF SOUTH CAROLINA

PLAN REVISIONS	
NO.	DATE
1	-
2	-
3	-
4	-
5	-
6	-
7	-
8	-

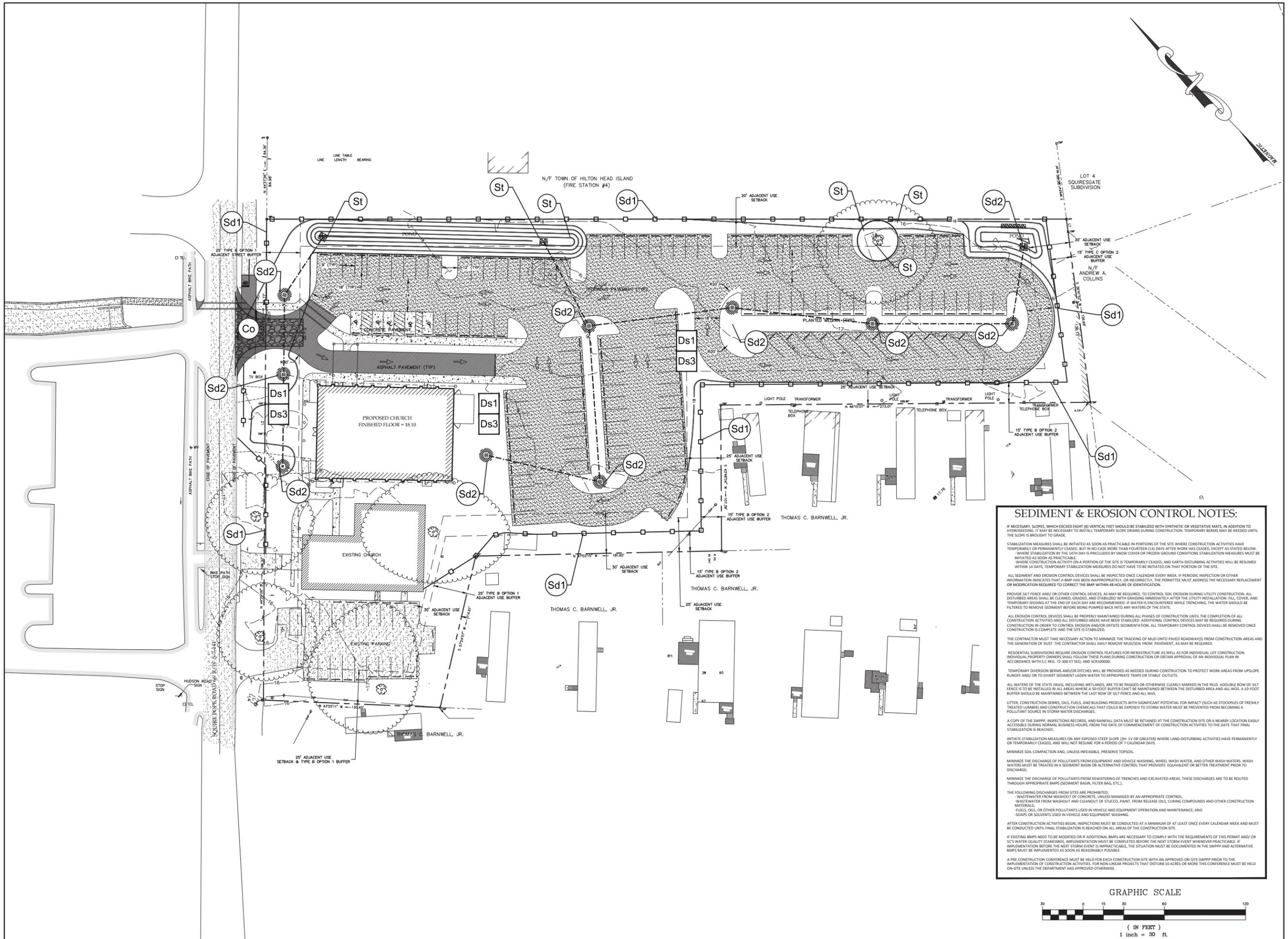
**MOUNT CALVARY BAPTIST CHURCH**  
**HILTON HEAD ISLAND**  
**BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
PO BOX 294  
BEAUFORT, SC 29901  
WWW.CAROLINAENGINEERING.COM  
843/322-0553  
843/322-0556 (FAX)

PROJECT:	2239
DATE:	08/12/20
REVISED:	01/28/21
DRAWN BY:	FLB
ENGINEER:	FLB
SCALE:	1"=30'

**TREE REMOVAL AND PROTECTION PLAN**

**2**  
OF 6



**SEDIMENT & EROSION CONTROL NOTES:**

IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FORTY EIGHT (48) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

WHERE STABILIZATION BY THE 48TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.

WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SALT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECLAIMED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE STANDARDS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE RAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. ADOLEB ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).

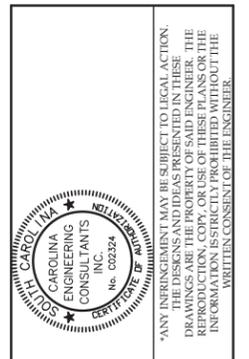
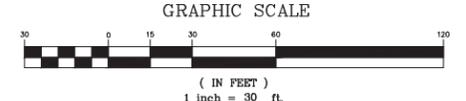
THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:

- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR S.C.'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.



ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE REPRODUCTION, COPIING, OR USE OF THESE PLANS OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

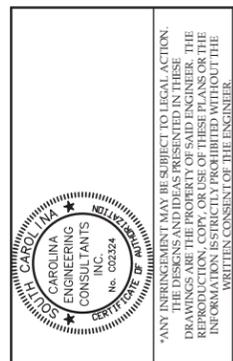
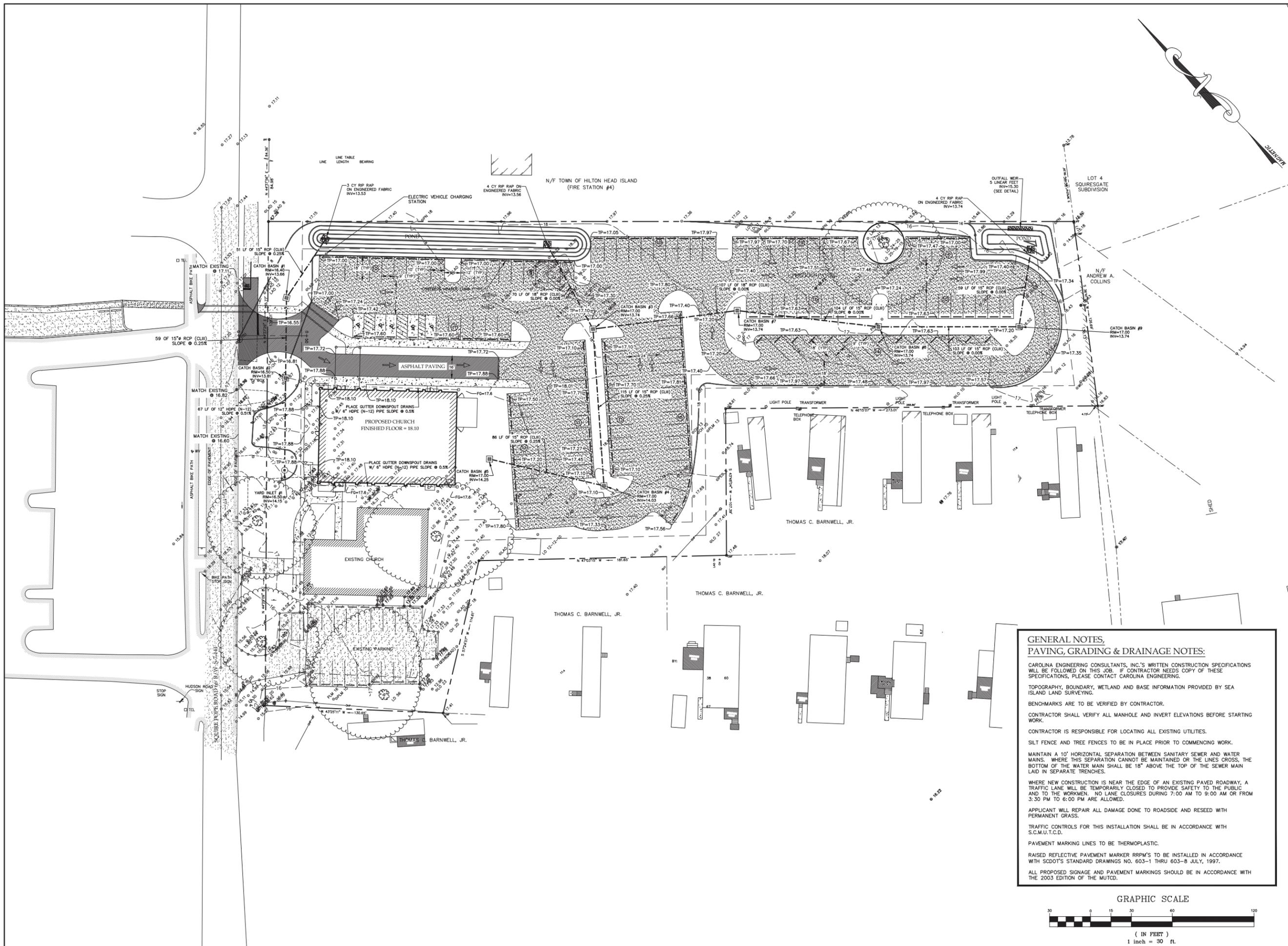
PLAN REVISIONS	
NO.	DATE
1	-
2	-
3	-
4	-
5	-
6	-
7	-
8	-

**MOUNT CALVARY BAPTIST CHURCH**  
**HILTON HEAD ISLAND**  
**BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 843/322-0553  
 843/322-4556 (FAX)  
 WWW.CAROLINAENGINEERING.COM  
 PO BOX 294  
 BEAUFORT, SC 29901

PROJECT: 2239  
 DATE: 08/12/20  
 REVISED BY: 01/28/21  
 DRAWN BY: FLB  
 ENGINEER: FLB  
 SCALE: 1"=30'

**SEDIMENT & EROSION CONTROL PLAN**  
**3**  
**OF 6**



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NO.	DESCRIPTION	DATE
1		
2		
3		
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6		
7		
8		

**MOUNT CALVARY BAPTIST CHURCH**  
**HILTON HEAD ISLAND**  
**BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 843/322-0553  
 WWW.CAROLINAENGINEERING.COM  
 843/322-0556 (FAX)

PROJECT:	2239
DATE:	08/12/20
REVISED:	01/28/21
DRAWN BY:	FLB
ENGINEER:	FLB
SCALE:	1"=30'

**SITE DEVELOPMENT PLAN**

**5**  
OF 6

**GENERAL NOTES,**  
**PAVING, GRADING & DRAINAGE NOTES:**

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY SEA ISLAND LAND SURVEYING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

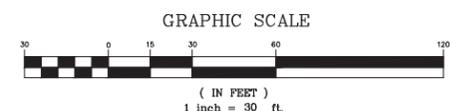
APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

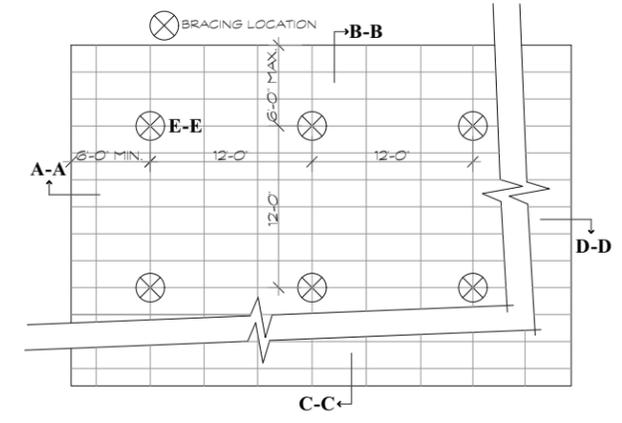
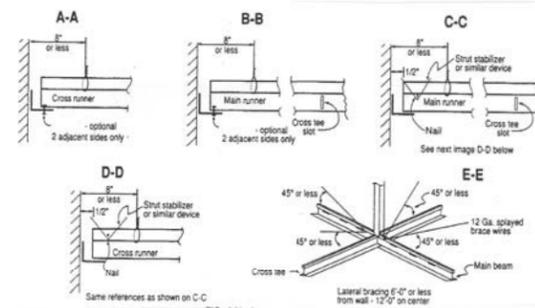
RAISED REFLECTIVE PAVEMENT MARKER RRP-M'S TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.

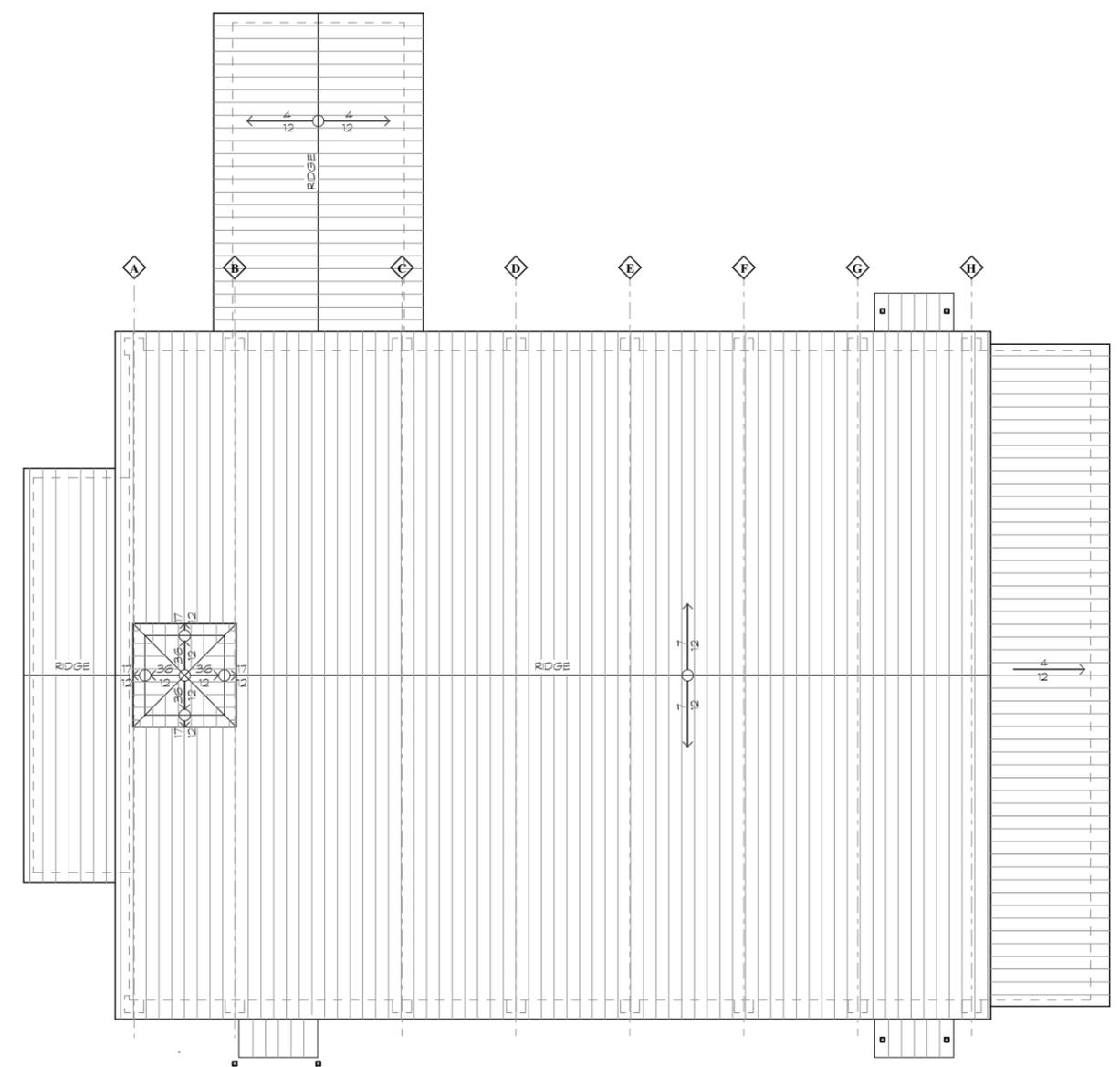




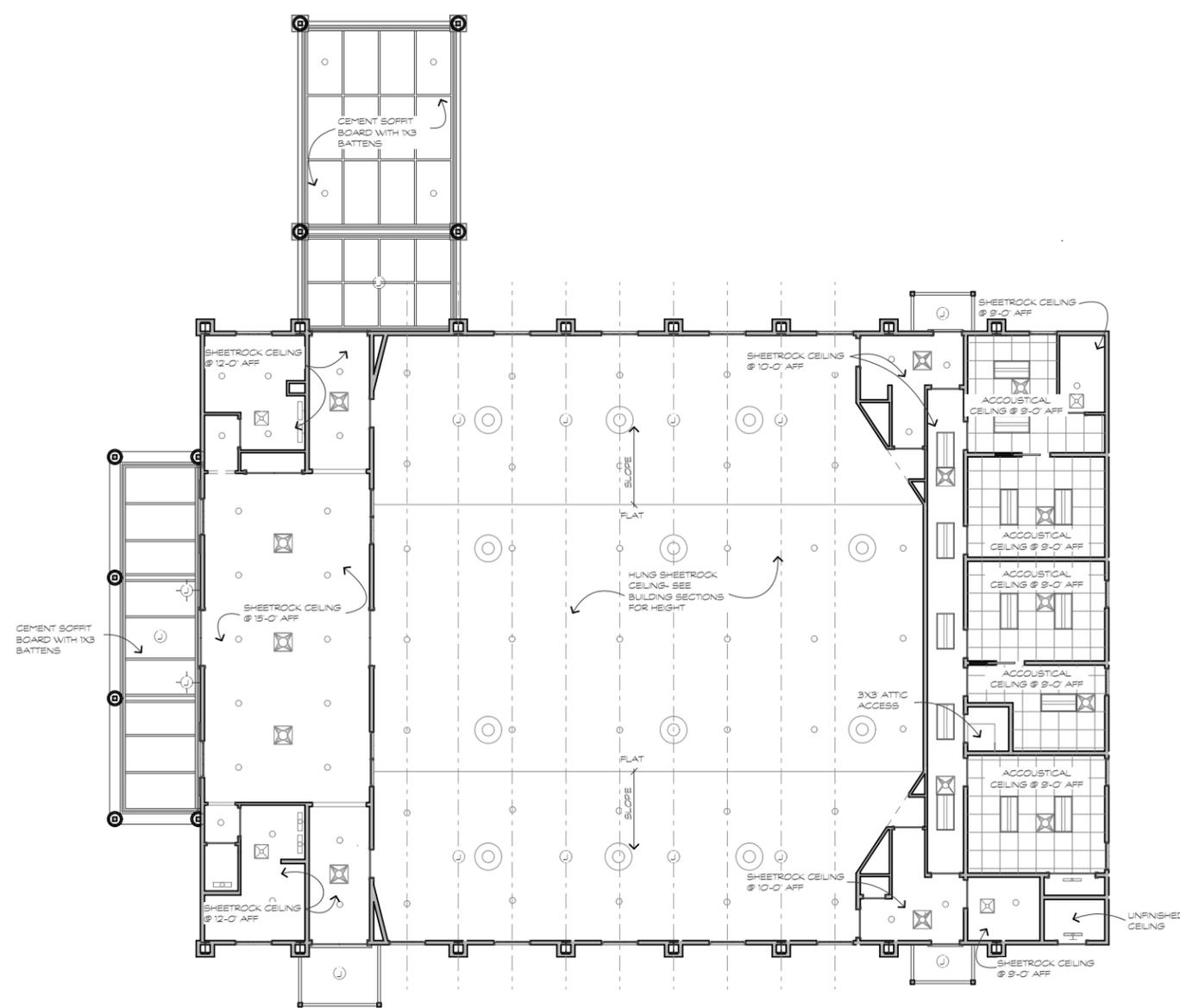




**3 SEISMIC REST. DETAIL**  
A.1.2 NOT TO SCALE



**2 ROOF PLAN**  
A.1.2 SCALE: 1/8" = 1'-0"



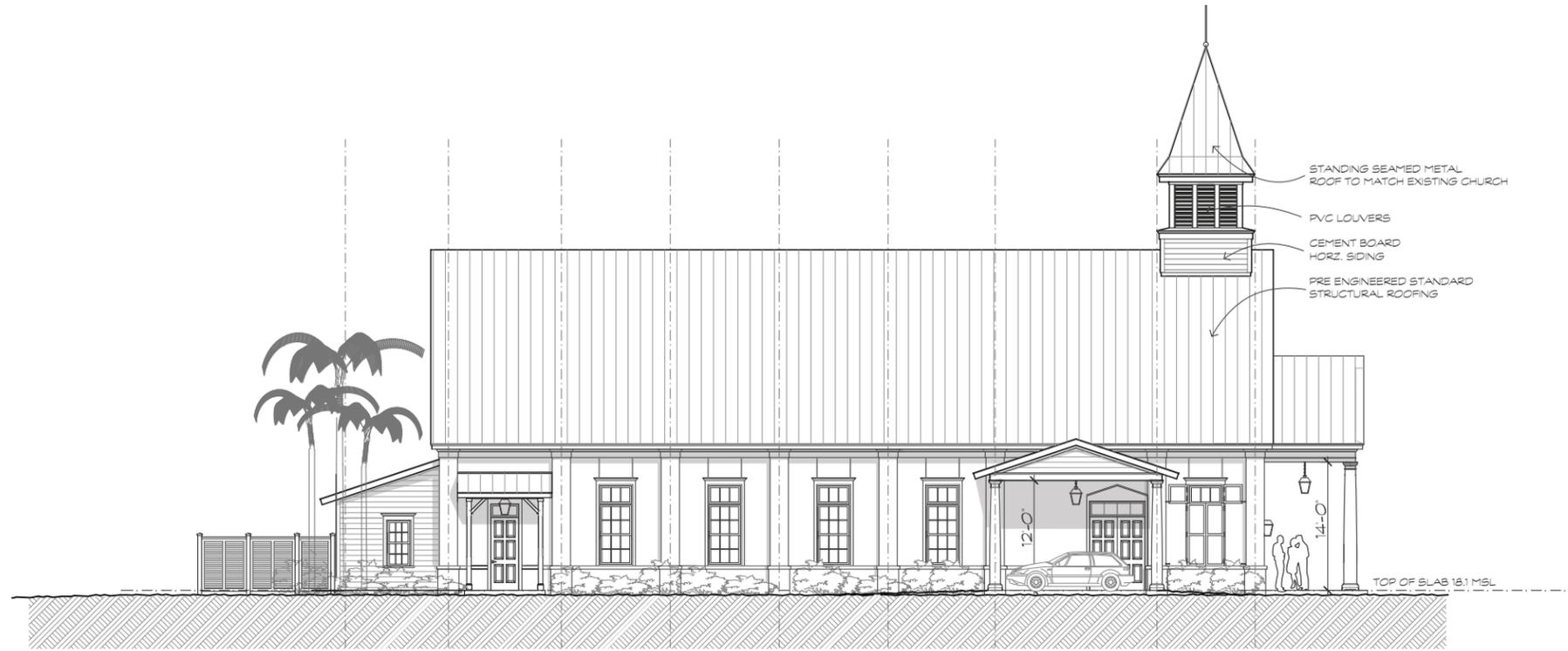
**1 REFLECTED CEILING PLAN**  
A.1.2 SCALE: 1/8" = 1'-0"

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A Conceptual Study For:  
**Mt. Calvary Baptist Church**  
382 Squire Pope Rd.  
Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY  
TP  
CHECKED BY  
   
DATE OF ISSUE  
2/9/2021  
SCALE  
   
JOB NO.  
   
SHEET  
**REFLECTED CEILING PLAN**  
**A.1.2**  
OF SHEETS



2 LEFT SIDE ELEVATION  
 A.2.1 SCALE: 1/8" = 1'-0"



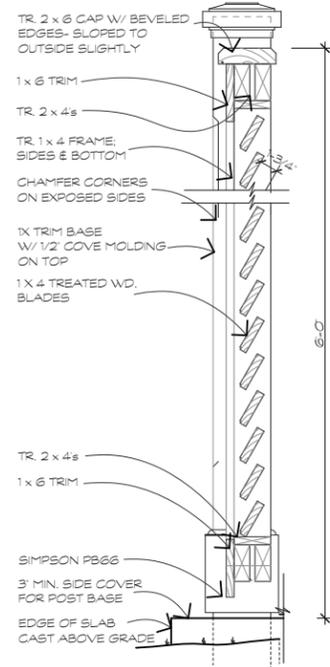
1 FRONT ELEVATION  
 A.2.1 SCALE: 1/8" = 1'-0"

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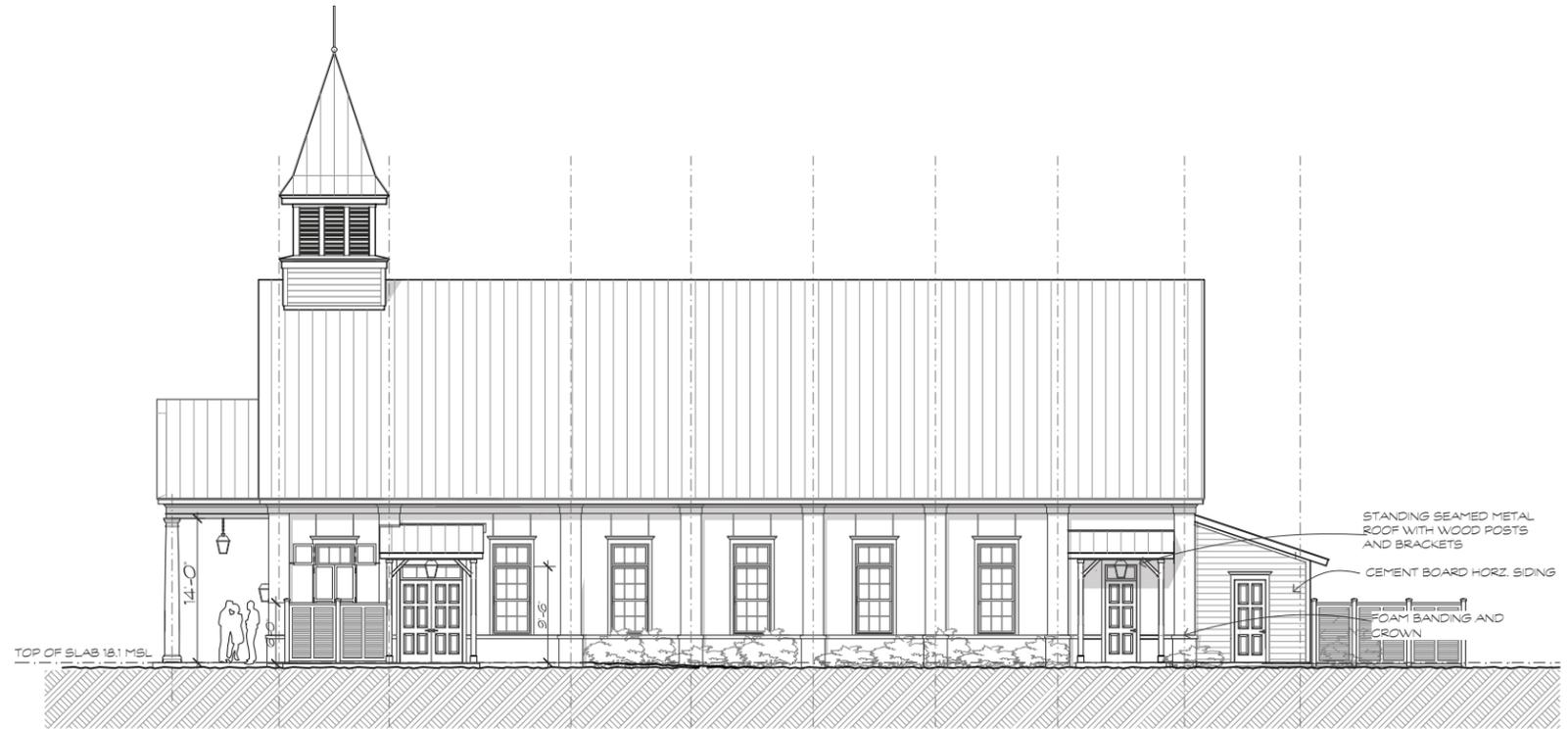
A Conceptual Study For:  
**Mt. Calvary Baptist Church**  
 382 Squire Pope Rd.  
 Hilton Head Island, S.C.

REVISIONS	DATE

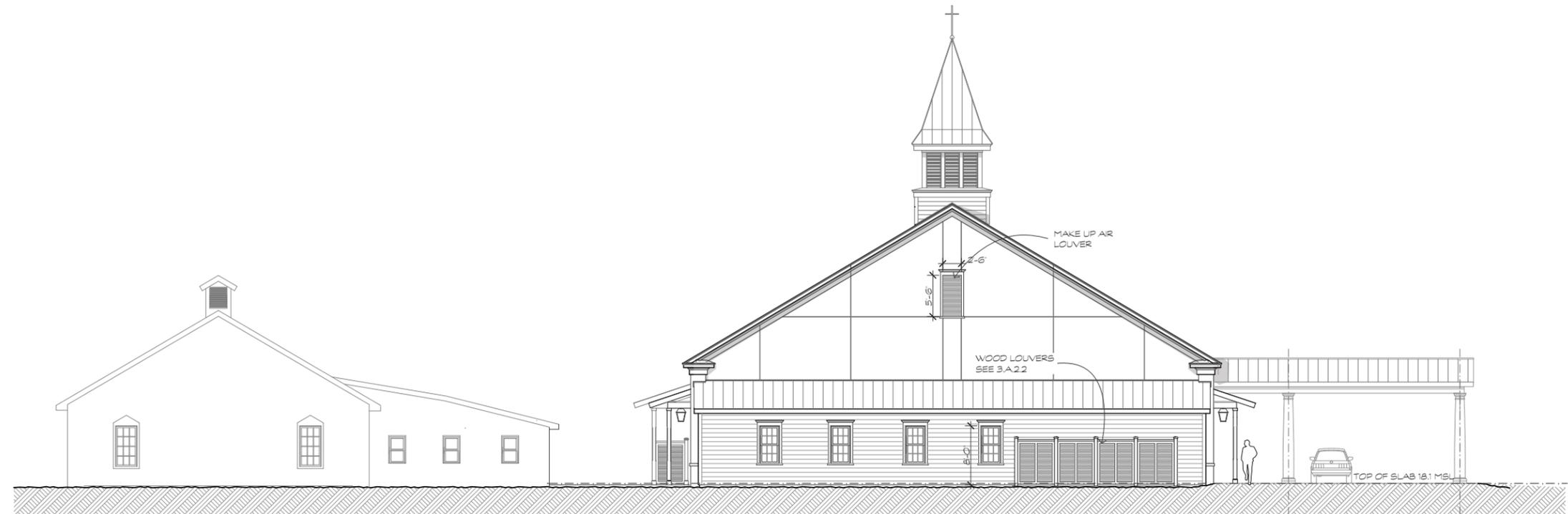
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 TP  
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 DATE OF ISSUE  
 2/9/2021  
 SCALE  
 JOB NO.  
 SHEET



**3 SERVICE YARD DETAIL**  
 A.2.2 SCALE: 1 1/2" = 1'-0"



**1 RIGHT SIDE ELEVATION**  
 A.2.2 SCALE: 1/8" = 1'-0"



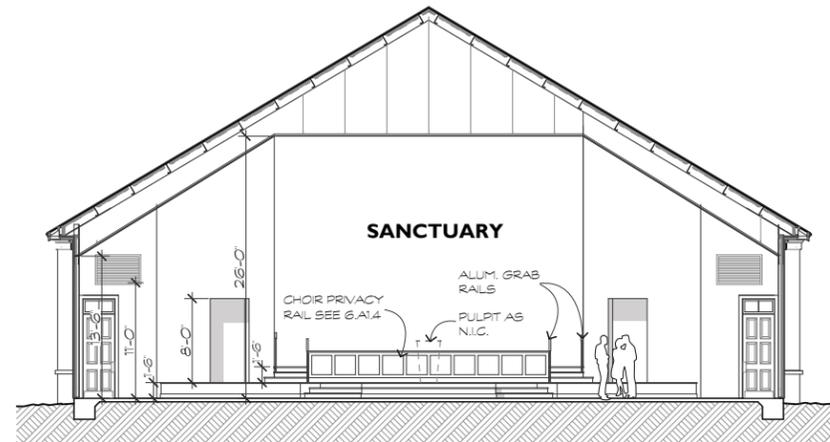
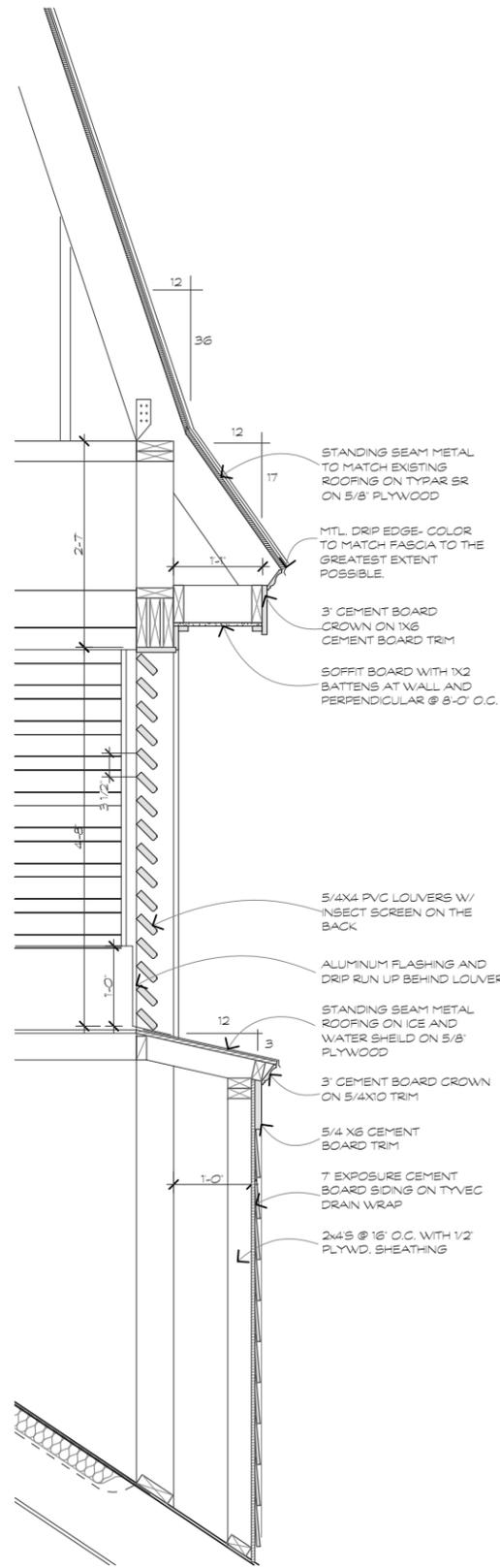
**2 REAR ELEVATION**  
 A.2.2 SCALE: 1/8" = 1'-0"

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A Conceptual Study For:  
**Mt. Calvary Baptist Church**  
 382 Squire Pope Rd.  
 Hilton Head Island, S.C.

REVISIONS	DATE

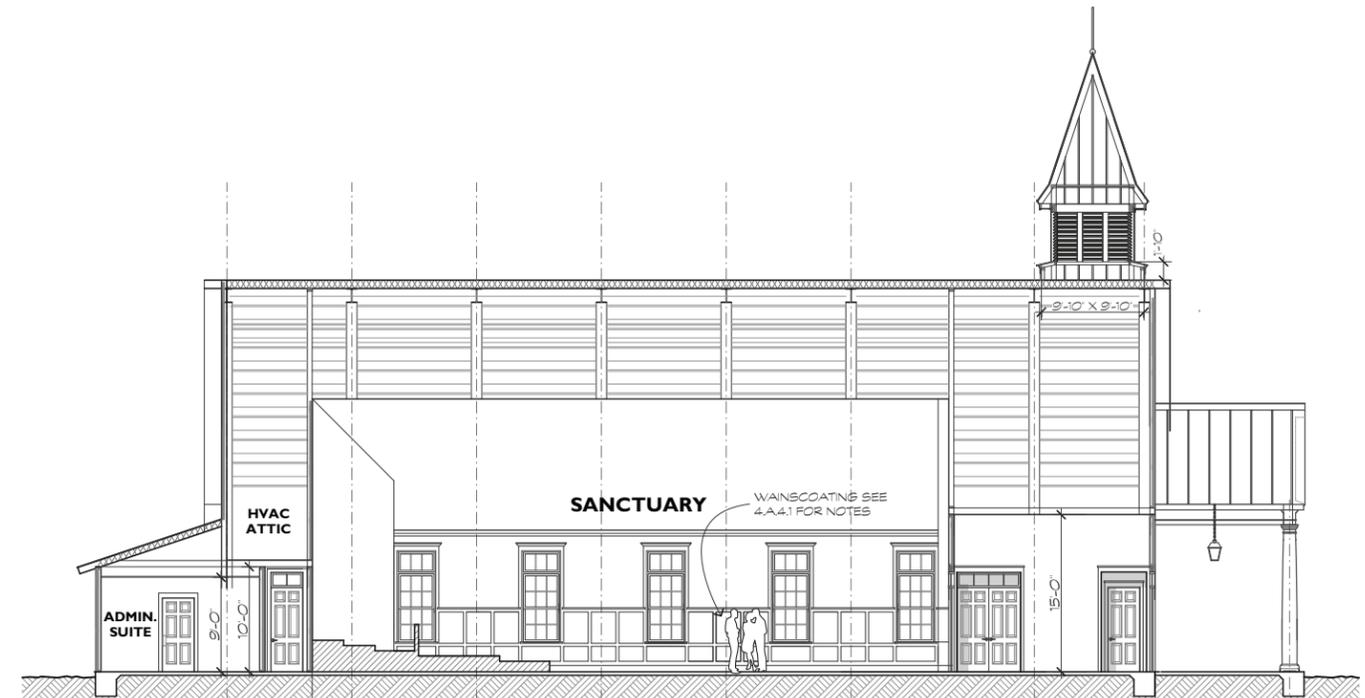
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1 BUILDING SECTION  
A.2.3 SCALE: 1/8" = 1'-0"

2 BUILDING SECTION  
A.2.3 SCALE: 1/8" = 1'-0"

4 STEEPLE SECTION  
A.2.3 SCALE: 1" = 1'-0"



3 BUILDING SECTION  
A.2.3 SCALE: 1/8" = 1'-0"

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**Mt. Calvary Baptist Church**  
382 Squire Pope Rd.  
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DATE OF ISSUE:  
2/9/2021  
SCALE

JOB NO.

SHEET

**BUILDING SECTIONS**  
**A.2.3**  
OF SHEETS



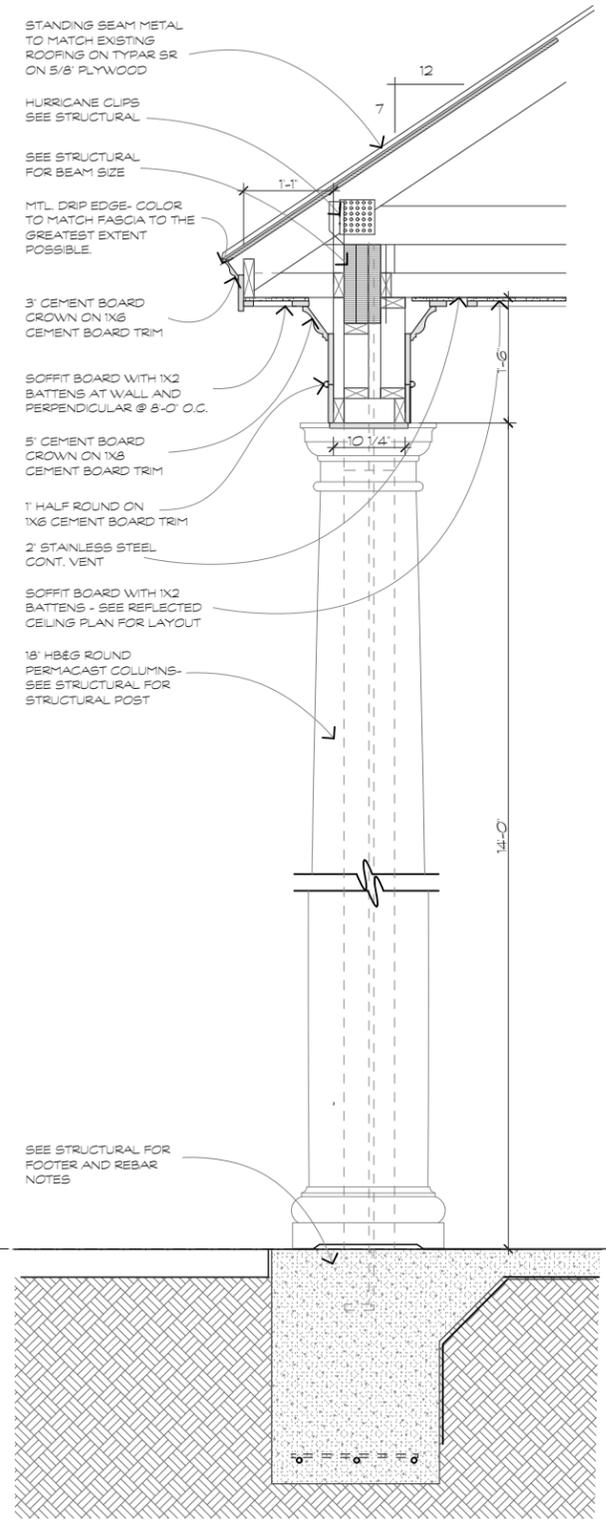
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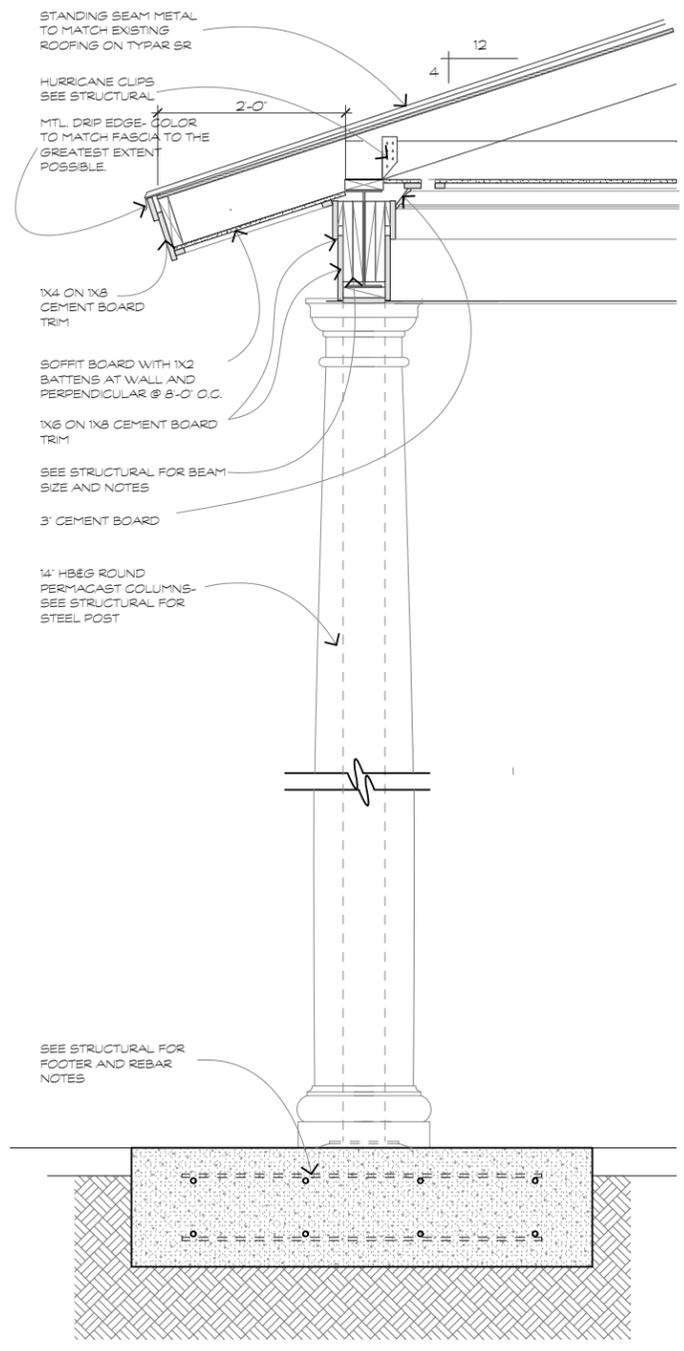
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 SCALE:
   
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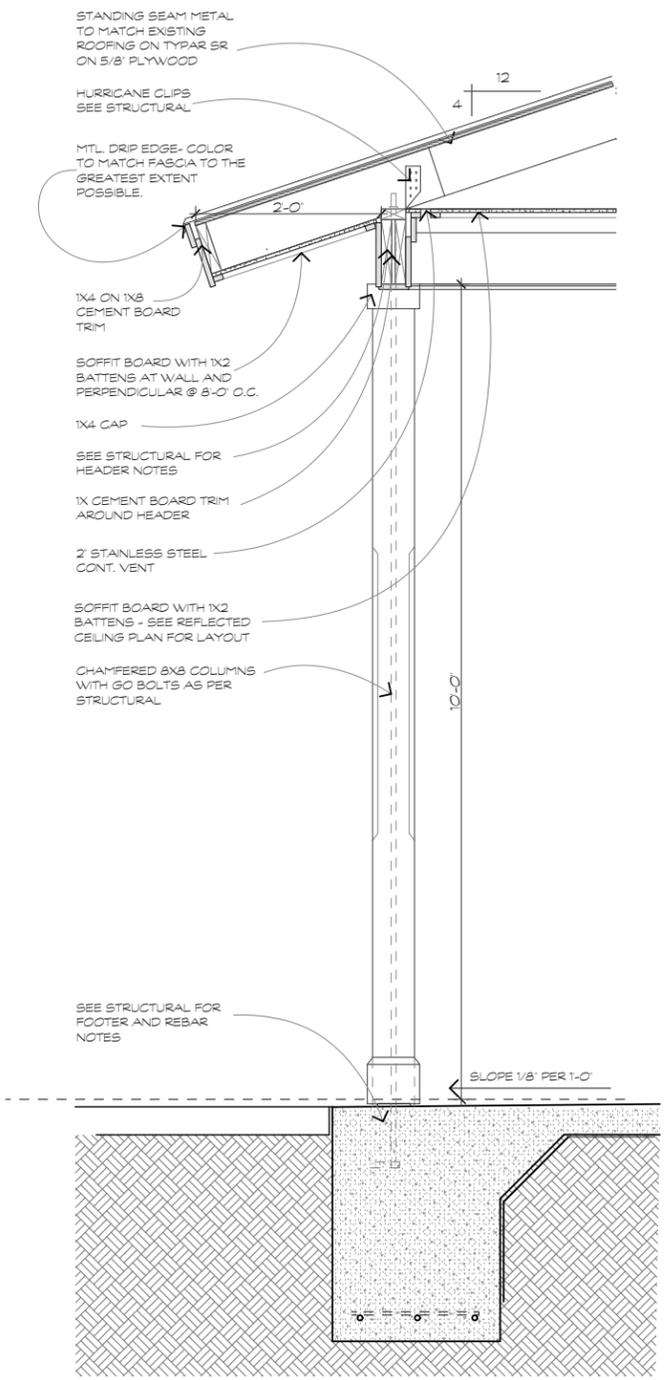
SHEET
   
**WALL SECTIONS**
  
**A.3.1**
  
 OF SHEETS



**1 ENTRY SECTION**
  
 SCALE: 1" = 1'-0"



**2 COVERED DROP OFF SECTION**
  
 SCALE: 1" = 1'-0"



**3 PORCH SECTION**
  
 SCALE: 1" = 1'-0"



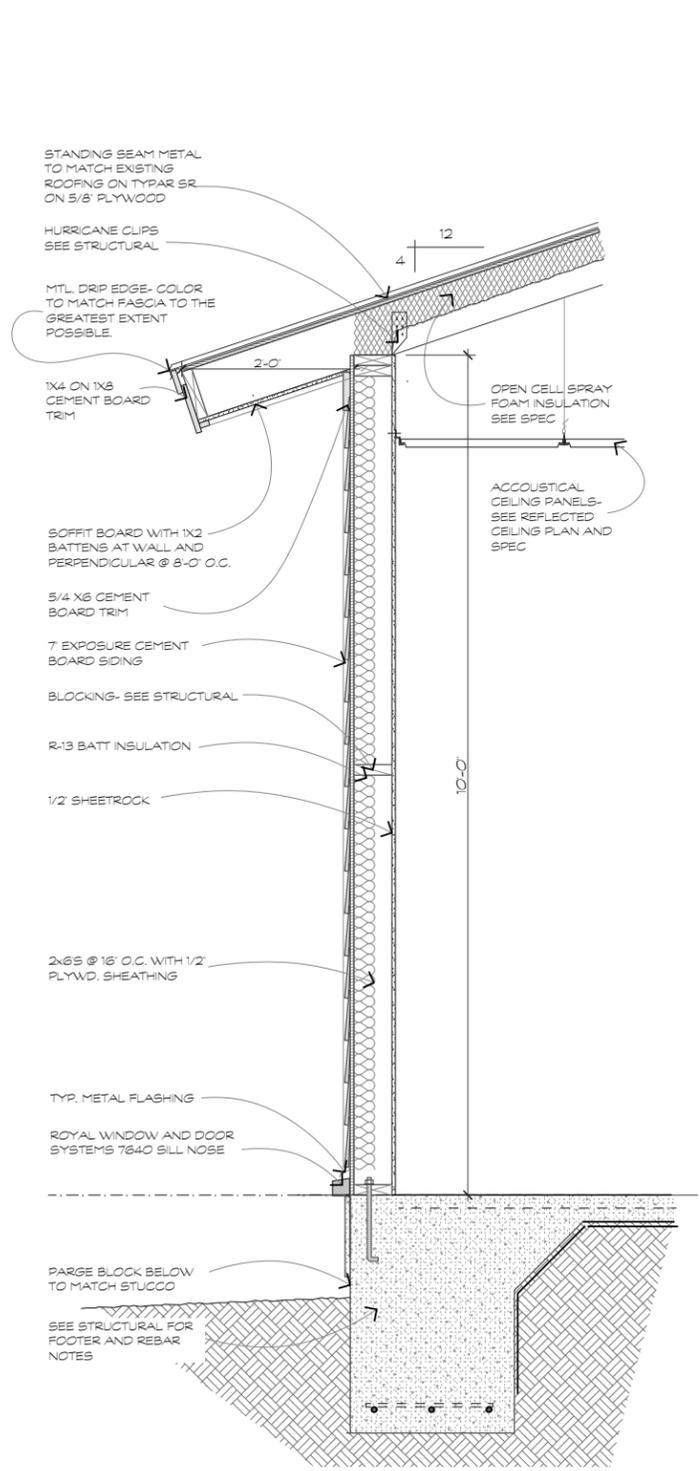
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A Conceptual Study For:  
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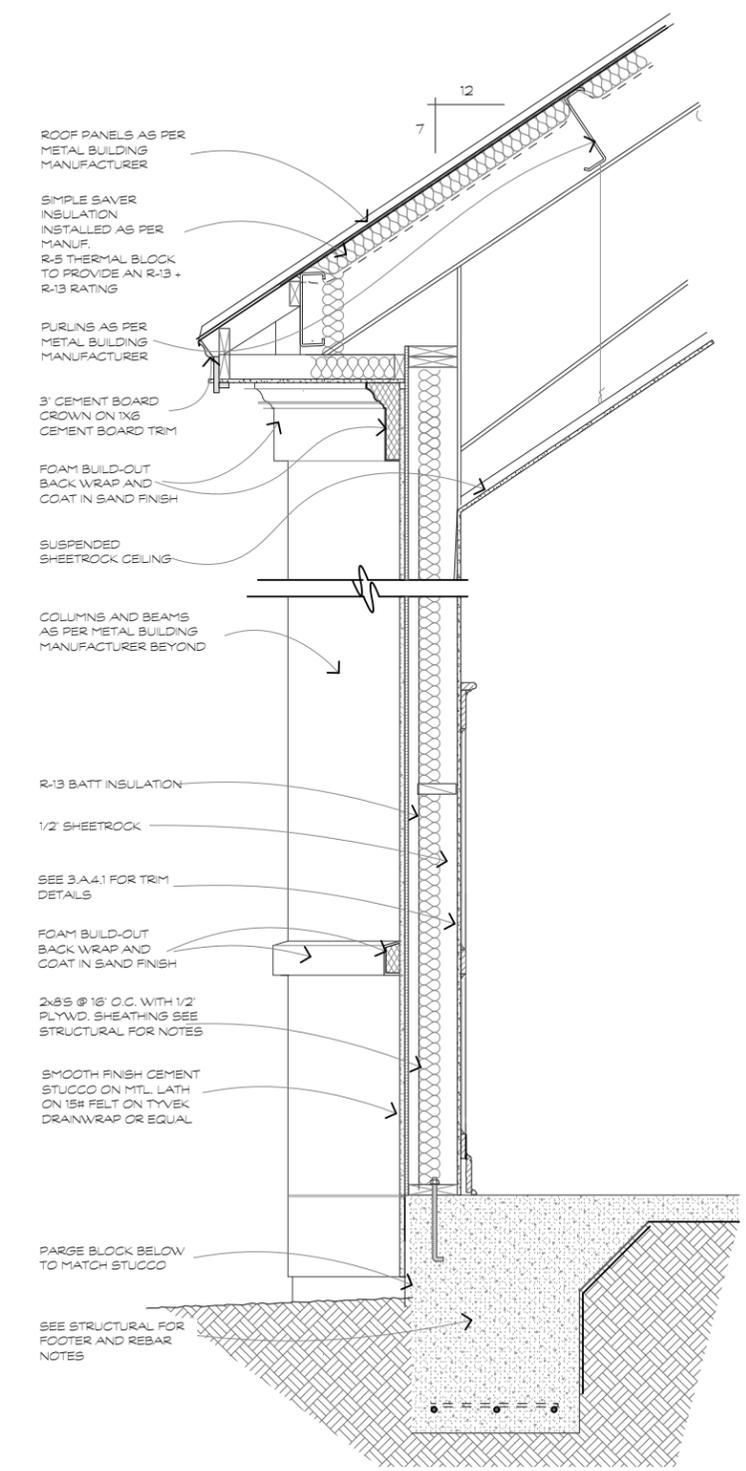
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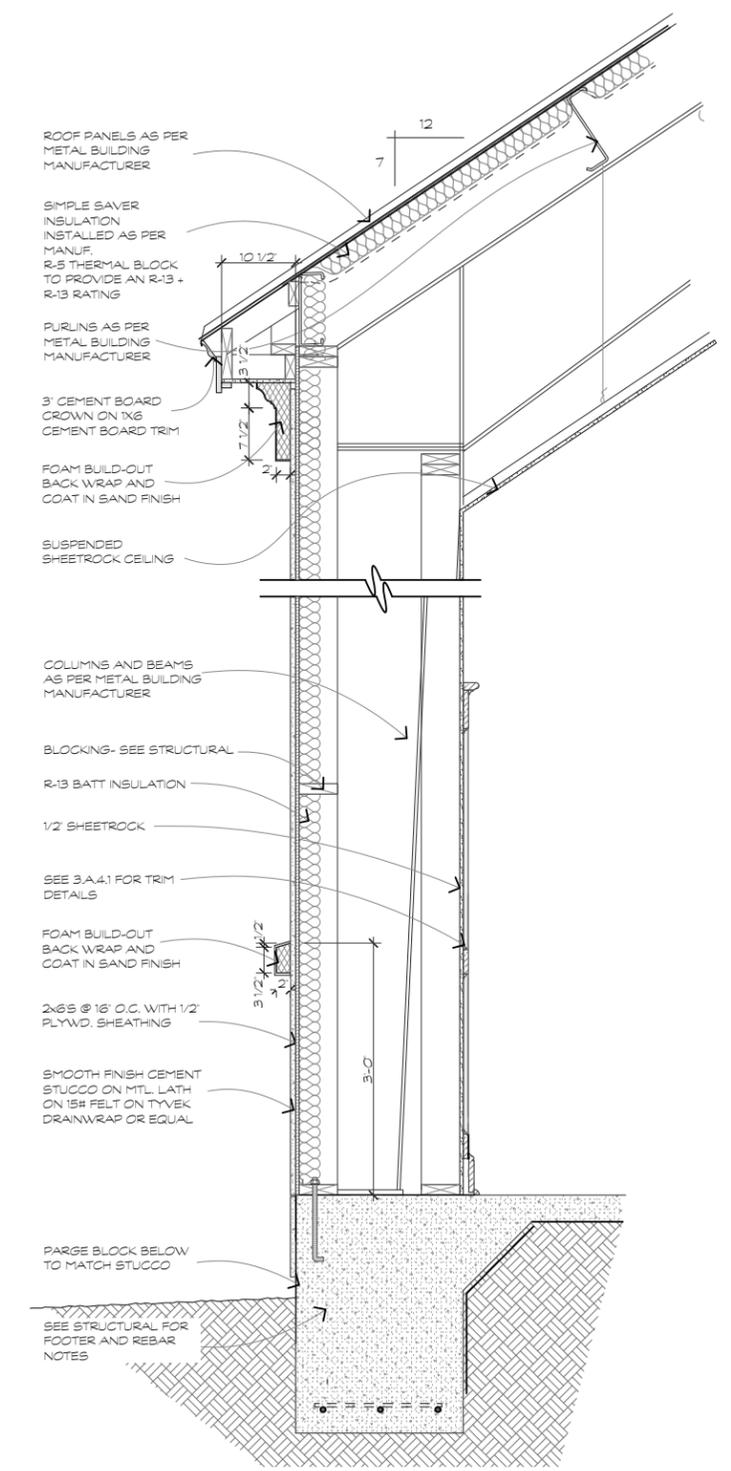
SHEET  
**WALL SECTIONS**  
**A.3.2**  
 OF SHEETS



**3 OFFICE SECTION**  
 A.3.2 SCALE: 1" = 1-0"



**2 SANCTUARY SECTION**  
 A.3.2 SCALE: 1" = 1-0"



**1 SANCTUARY SECTION**  
 A.3.2 SCALE: 1" = 1-0"



MECHANICAL EQUIPMENT ELECTRICAL SCHEDULE											
MARK	ITEM	VOLTAGE/Ø	MCA	LOAD KVA	MEANS OF DISCONNECT*	C/B TRIP (AMPS)	FEEDER			SERVING PANEL	CONTROL
							Ø	GND	CONDUIT		
EF-1	EXHAUST FAN	208/3	25.8	21 W	LIGHT SWITCH	30	2#10	#10	3/4"	2P1	LIGHT SWITCH
EF-2	EXHAUST FAN	208/3	25.8	95 W	LIGHT SWITCH	30	2#10	#10	3/4"	2P1	LIGHT SWITCH
EF-3	EXHAUST FAN	208/3	25.8	76 W	LIGHT SWITCH	30	2#10	#10	3/4"	2P1	LIGHT SWITCH
EF-4	EXHAUST FAN	208/3	25.8	21 W	LIGHT SWITCH	30	2#10	#10	3/4"	2P1	LIGHT SWITCH
EF-5	EXHAUST FAN	208/3	26.2	21 W	LIGHT SWITCH	35	2#10	#10	3/4"	2P1	LIGHT SWITCH
EF-6	EXHAUST FAN	208/3	26.2	21 W	LIGHT SWITCH	35	2#10	#10	3/4"	2P1	LIGHT SWITCH
UH-1	UNIT HEATER	208/1	14.5	3KW	30/2N1ECB	20	2#12	#12	3/4"	2M1	LINE VOLTAGE THERMOSTAT BY MC.
AHU-1	AIR HANDLING UNIT	208/1	53.8	11.2 KVA	60/2 N1ECB	60	2#6	#6	1"	2M1	THERMOSTAT
AHU-2	AIR HANDLING UNIT	208/3	78.7	28.4 KVA	80/3 N1ECB	80	3#3	#6	1 1/4"	2M1	THERMOSTAT
AHU-3	AIR HANDLING UNIT	208/3	91.7	33.1 KVA	100/3 N1ECB	100	3#2	#6	1 1/4"	2M1	THERMOSTAT
AHU-4	AIR HANDLING UNIT	208/1	53.8	11.2 KVA	60/2 N1ECB	60	2#6	#6	1"	2M1	THERMOSTAT
HP-1	HEAT PUMP	208/1	30.2	6.3 KVA	BREAKER	50	2#10	#10	3/4"	2M1	THERMOSTAT
HP-2	HEAT PUMP	208/3	39.0	14.1 KVA	BREAKER	50	3#8	#10	3/4"	2MSD	THERMOSTAT
HP-3	HEAT PUMP	208/3	60.8	21.9 KVA	BREAKER	80	3#4	#8	1 1/4"	2MSD	THERMOSTAT
HP-4	HEAT PUMP	208/1	30.2	6.3 KVA	BREAKER	50	2#10	#10	3/4"	2MSD	THERMOSTAT
EW-1	ELECTRIC WATER HEATER	208/1	14.5	3KW	20/2 N1ECB	20	2#12	#12	3/4"	2M1	
EW-2	ELECTRIC WATER HEATER	208/1	21.7	4.5KW	BREAKER	30	2#10	#10	3/4"	2M1	
HWRP	HOT WATER RECIRCULATION PUMP	120	0.8	90 WATTS	TOGGLE SWITCH	20	2#12	#12	3/4"	2M1	

NOTES  
 1 \* N1SS=NEMA 1 SAFETY SWITCH, N3RSS=NEMA 3R SAFETY SWITCH, C/B=SERVING C/B IS DISCONNECT, N1FSS & N3RFSS=FUSED SWITCHES, NEMA 1 & NEMA 3R RESPECTIVELY.  
 2 TOGGLE SWITCH DISCONNECTS FOR ALL EXTERIOR MOUNTED DEVICES SHALL BE RATED NEMA 3R.  
 3 PROVIDE MOTOR RATED CONTROL POWER RELAY FOR ALL EXHAUST FANS & SUPPLY FANS NOT INTERLOCKED WITH LIGHTING CIRCUIT.

LIGHTING FIXTURE SCHEDULE									
MARK	MANUFACTURER AND CATALOG NUMBER	TYPE	LAMPS #	WATTS	TOTAL WATTS	VOLTAGE	MOUNTING	NOTES	
B2	LED FLAT PANEL LITHONIA EPANL 2X-4000LM-80CRI-35L-E10WCP	LED	NA	38	38	MVOLT	GRID		
B3	LED FLAT PANEL LITHONIA EPANL-1X4-3000LM-80CRI-35K-MVOLT	LED	NA	23	23	MVOLT	GRID		
B4	LED FLAT P ANEL LITHONIA EPANL-1X4-3300L-80CRI-MVOL-E10WP	LED	NA	23	23	MVOLT	GRID		
C1	TRADITIONAL ROUND VANITY LITHONIA FMVTR1L-23"MVOLT-30K-90CRI-BN	LED	NA	17.68	17.68	MVOLT	WALL		
D1	WALL BRACKET AND SURFACE MOUNT LED LITHONIA WL2-12L-MVOLT-E21-LP840-NLIGHT WIRED-NESPDT7-PAF	LED	NA	12.2	12.2	MVOLT	WALL		
D2	CSS LED STRIP LIGHT LITHONIA CSS L48 4000LM MVOLT 40K 80CRI	LED	NA	34.2	34.2	MVOLT	ATTIC CEILING		
F1	8" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-40/80-L09-AR-LSS-MVOLT-GZ10-NPS80EZER	LED	NA	92.1	92.1	MVOLT	DRYWALL		
F2	8" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-40/80-L09-AR-LSS-MVOLT-GZ10-NPS80EZER	LED	NA	92.1	92.1	MVOLT	DRYWALL		
F3	8" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-40/50-L06-AR-LSS-MVOLT-GZ10-NPS80EZ	LED	NA	61.1	61.1	MVOLT	DRYWALL		
F4	8" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-40/50-L09-AR-LSS-MVOLT-GZ10-NPS80EZER	LED	NA	61.1	61.1	MVOLT	DRYWALL		
F5	6" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-40/25-L06-AR-LSS-MVOLT-GZ10-NPS80EZ	LED	NA	28.3	28.3	MVOLT	DRYWALL		
F6	6" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-42/5-L06-AR-LSS-MVOLT-GZ10-NPS80EZER-ELR	LED	NA	28.3	28.3	MVOLT	DRYWALL		
F7	6" OPEN AND WALL WASH LED NON-IC LITHONIA LDN6-41/20-L06-AR-LSS-MVOLT-GZ10-NPS80EZ	LED	NA	148.7	148.7	MVOLT	DRYWALL		
H1	PENDANT LED CAMMAN LIGHTING #P83550	LED	NA			MVOLT	PENDANT CHAIN		
W1	MANSFIELD OUTDOOR WALL SCONCE MANSFIELD MODEL 2168-04	LED	2			120	WALL		
W2	MANSFIELD OUTDOOR PENDANT WITH 3 LIGHTS MANSFIELD MODEL 2170-07	LED	3			120	PENDANT CHAIN		
W3	MANSFIELD OUTDOOR PENDANT WITH 4 LIGHTS MANSFIELD MODEL 2174-07	LED	4			120	PENDANT CHAIN		
W4	MANSFIELD OUTDOOR PENDANT WITH 4 LIGHTS MANSFIELD MODEL 2167-07	LED	2			120	PENDANT CHAIN		
X1	LED EDGE LIT EXIT ACUTY BRANDS LIGHTING # LRP-BA-1-RW-DA-120277-ELN	LED	N/A	6	6	120	WALL	STICK ON CHEVRONS AS PER PLAN	
X2	LED EDGE LIT EXIT ACUTY BRANDS LIGHTING # LRP-BA-2-RW-DA-120277-ELN	LED	N/A	6	6	120	WALL	STICK ON CHEVRONS AS PER PLAN	
X3	AC POWER SYSTEM POWER SENTRY EAC ISSM100D	LED	N/A	100	100	120	WALL		

NOTES  
 SEE SPECIFICATIONS FOR APPROVED BALLAST MANUFACTURERS.  
 FIXTURES WITH HALF FILLED IN CENTER SHALL BE PROVIDED WITH A EMERGENCY BATTERY DRIVER  
 PRIOR APPROVALS MUST BE SUBMITTED TO THE ENGINEER 14 DAYS PRIOR TO BID DATE FOR REVIEW.



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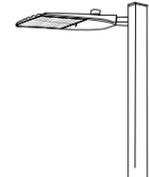
New Church Building for:  
**Mt Calvary Baptist Church**  
 382 Squire Pope Rd.  
 Hilton Head Island, South Carolina

REVISIONS	DATE

DRAWN BY  
 CHECKED BY  
 DATE OF ISSUE:  
 10/29/20  
 SCALE  
 JOB NO. 1815



SHEET  
 ELECTRICAL SCHEDULES  
**E4.2**

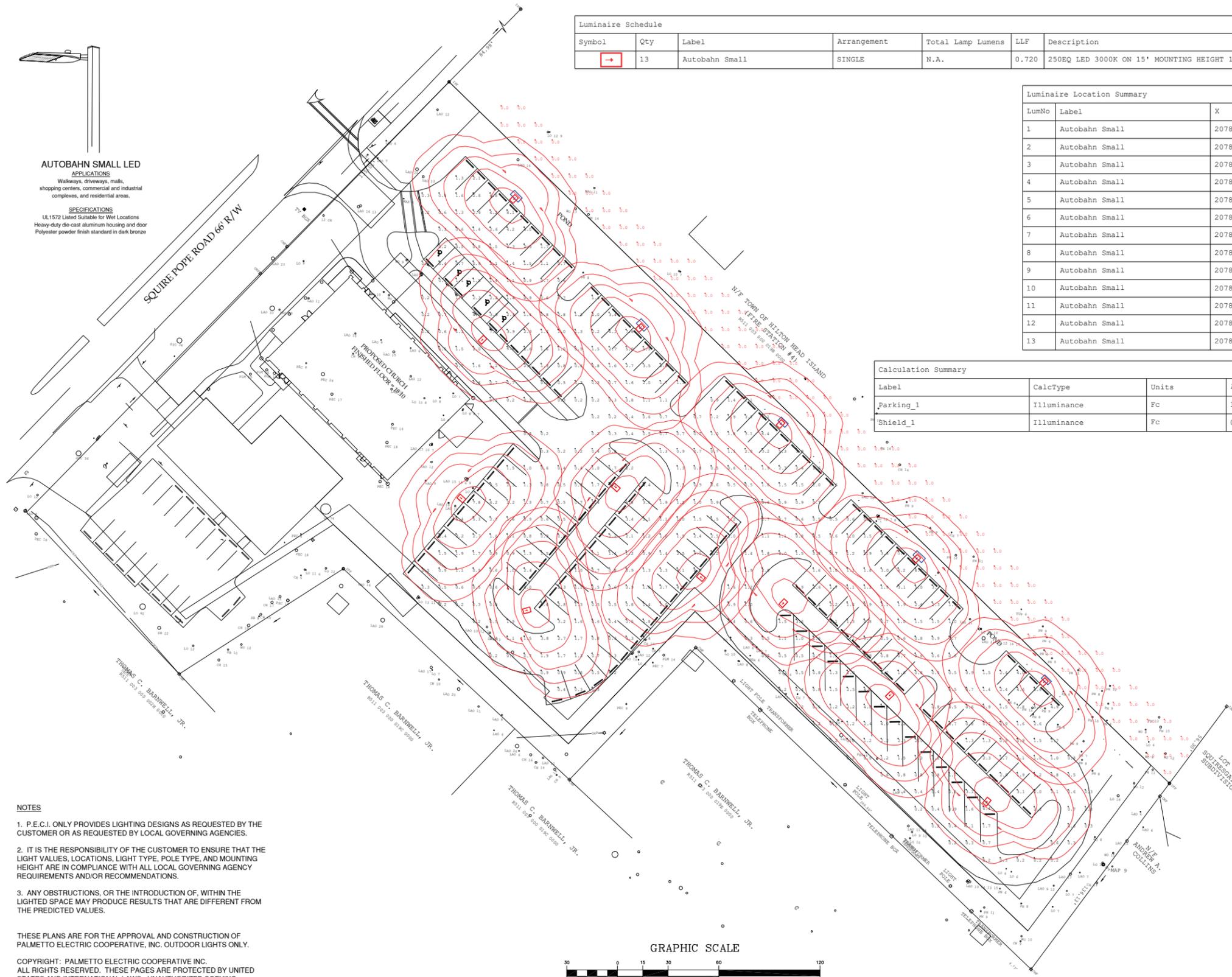


**AUTOBAHN SMALL LED**  
**APPLICATIONS**  
 Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.  
**SPECIFICATIONS**  
 UL 1577 Listed Suitable for Wet Locations  
 Heavy-duty die-cast aluminum housing and door  
 Polyester powder finish standard in dark bronze

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
→	13	Autobahn Small	SINGLE	N.A.	0.720	250EQ LED 3000K ON 15' MOUNTING HEIGHT 19' POLE

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	Autobahn Small	2078993.	145798.1	15	224.007	0
2	Autobahn Small	2078838.	145949.6	15	226.669	0
3	Autobahn Small	2078649.	145905.9	15	318.728	0
4	Autobahn Small	2078687.	145839.1	15	14.832	0
5	Autobahn Small	2078756.	146005.9	15	222.997	0
6	Autobahn Small	2078661.	145997.3	15	45	0
7	Autobahn Small	2078958.	145726.2	15	50.637	0
8	Autobahn Small	2078903.	145790.4	15	224.574	0
9	Autobahn Small	2078792.	145858.1	15	140.173	0
10	Autobahn Small	2078740.	145912.3	15	318.502	0
11	Autobahn Small	2078682.	146081.7	15	224.443	0
12	Autobahn Small	2078918.	145870.5	15	224.958	0
13	Autobahn Small	2078838.	145842.8	15	47.306	0

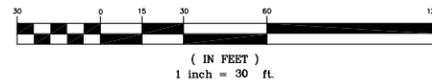
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking_1	Illuminance	Fc	1.50	8.7	0.2	7.65	43.50
Shield_1	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.



- NOTES**
1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
  2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
  3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.  
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GRAPHIC SCALE



PALMETTO ELECTRIC COOPERATIVE, INC.  
 1 COOPERATIVE WAY  
 HARDEEVILLE, SOUTH CAROLINA 29927  
 (843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: ENG  
 CHECKED BY: ENG  
 DRAWN BY: AKM  
 DATE: 1/21/21  
 SCALE: 1" = 30'  
 PROJECT NO.: 200902L-1  
 MAP NO.: 00000000

SHEET NO.  
 1  
 of  
 1

LIGHTING PROPOSAL FOR  
 MOUNT CALVARY BAPTIST CHURCH  
 SQUIRE POPE RD  
 HILTON HEAD ISLAND  
 BEAUFORT COUNTY, SOUTH CAROLINA

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Mt. Calvary Baptist Church

DRB#: DRB-000212-2021

DATE: 02/12/2021

RECOMMENDATION: Approval  Approval with Conditions  Denial

**RECOMMENDED CONDITIONS:**

1. For the LAO 22, OCH 14, LAO 31 adjacent to Squire Pope and the LOA 11, LO 26/17 and Specimen LO 24/25, 25/19/15 at the back of site.
  - a. Enlarge the tree protection to 15' min. where possible,
  - b. Provide 4" of composted wood chip mulch within the tree protection fence,
  - c. Specify on the Tree Removal and Protection Plan pre and post construction fertilization with a mycor treatment.
2. Shift catch basin #8 two parking stall widths away from LOA 11 to reduce disturbance close to the trunk.
3. Revise to grading plan to eliminate any disturbance within the tree protection fence around the Specimen LO 24/25, 25/19/15.

<b>LANDSCAPE DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Because there are so many existing trees being removed, efforts should be made to make sure the trees to remain will survive. (see Natural Resource Protection comments)

**NATURAL RESOURCE PROTECTION**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Because there are so many existing trees being removed, efforts should be made to make sure the trees to remain will survive:</p> <ol style="list-style-type: none"> <li>1. Enlarge the tree protection around the trees adjacent to Squire Pope (LAO 22, OCH 14, LAO 31) to 15' min. where possible.</li> <li>2. Shift catch basin #8 two parking stall widths away from LOA 11. Increase the tree protection to 15' min. where possible around that tree.</li> <li>3. Increase the tree protection area around LO 26 to 15' where possible.</li> <li>4. No grading within the tree protection fence around the Specimen LO 24/25. It appears the grading plan is proposing 2' of fill around this tree.</li> <li>5. Specify on the Tree Removal and Protection Plan pre and post construction fertilization with mycor treatment for:               <ol style="list-style-type: none"> <li>a. LO cluster 26/17 and Specimen LO 24/25, 25/19/15 at back of site.</li> <li>b. LAO 22, LAO 9 and LAO 31 adjacent to Squire Pope.</li> </ol> </li> </ol>

**MISC COMMENTS/QUESTIONS**




Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Steven G. Stowers, AIA Company: Architecture 101  
 Mailing Address: 21B Market, Suite 1 City: Beaufort State: SC Zip: 29906  
 Telephone: 843.790.4101 Fax: N/A E-mail: Steve@A101.Design  
 Project Name: Charlie's L'Etoile Verte Project Address: 8 New Orleans Road  
 Parcel Number [PIN]: R R552 015 00C 0082 0000  
 Zoning District: N/A Overlay District(s): N/A

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

\_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

\_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

\_\_\_\_\_ Proposed landscaping plan.

For wall signs:

\_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.

\_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2/09/2021

DATE

February 9, 2020

Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island, South Carolina 29928



**Project: Charlie's L'Etoile Verte Outdoor Dining Addition**

To Whom It May Concern,

Please accept this design information for the Outdoor Dining Addition for Charlie's L'Etoile Verte restaurant.

## PROJECT DESCRIPTION

---

This project will provide an outdoor pavilion in the front patio at the front of the existing Charlie's restaurant. We will replace the concrete patio and construct a new 450 SF outdoor wood-framed pavilion with a metal roof that is designed to match the existing restaurant design without detracting from the main entrance. The pavilion will include new fan mounted lighting and natural gas heaters. A small side stair will be added to the front porch to allow food service without using the main entrance stair and a gutter will be added to the existing roof to divert rainwater in this area.

Thank you for your consideration.

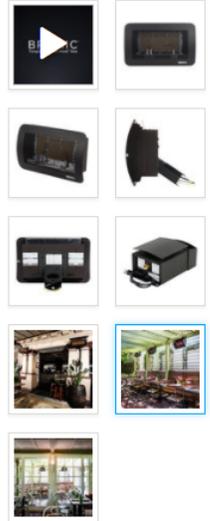
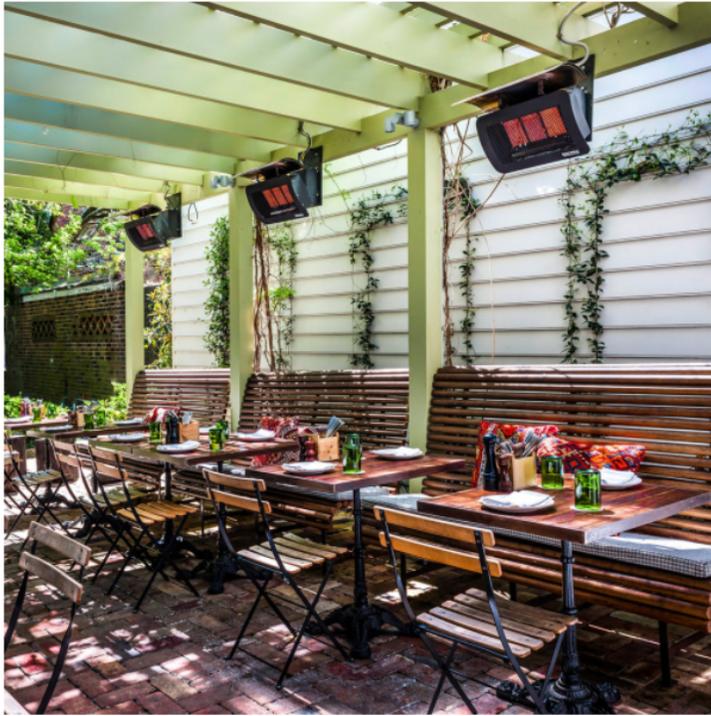
Sincerely,

A handwritten signature in blue ink that reads 'Steven G. Stowers'. The signature is fluid and cursive, with the first and last names being more prominent.

Steven G. Stowers, AIA, LEED AP

# Bromic Heating BH0210001 Tungsten Smart-Heat 300 Series Natural Gas Outdoor Patio Heater

Item #: 239BH211 MFR #: BH0210001 & MOUNT



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UPC

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[Print page](#) [Ask a question](#)





Share This Product



## Savoy House 52-625-5CN-13 Hyannis 52" Outdoor High Airflow Ceiling Fan with LED Lights & Wall Control, English Bronze

SKU: 52-625-5CN-13

- 14watt Light, Bulbs Included
- 19.88" Ceiling to Bottom (w/ 4.5" Downrod Included)
- 5 Chestnut Wood Blades (52" Span) - High Airflow
- 3-Speed Remote Control

Our Price: **\$478.00**

List: ~~\$717.00~~

Selected Finish: **English Bronze**



Quantity:  ▲ ▼

**ADD TO CART**





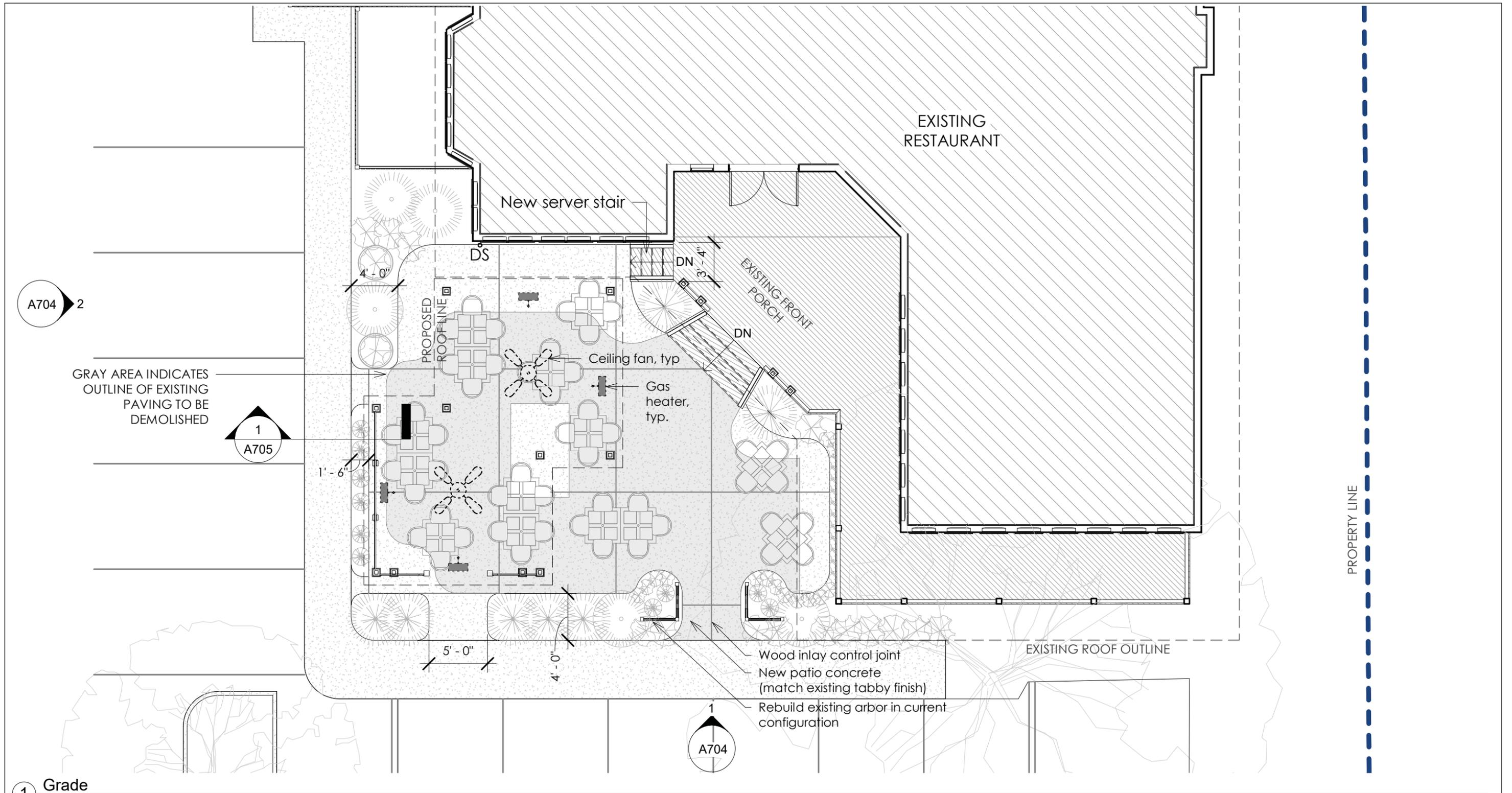
HERITAGE  
ACADEMY





Hilton Head  
Properties

REAL ESTATE  
INFORMATION



1 Grade  
1/8" = 1'-0"

**PROPOSED SITE PLAN**

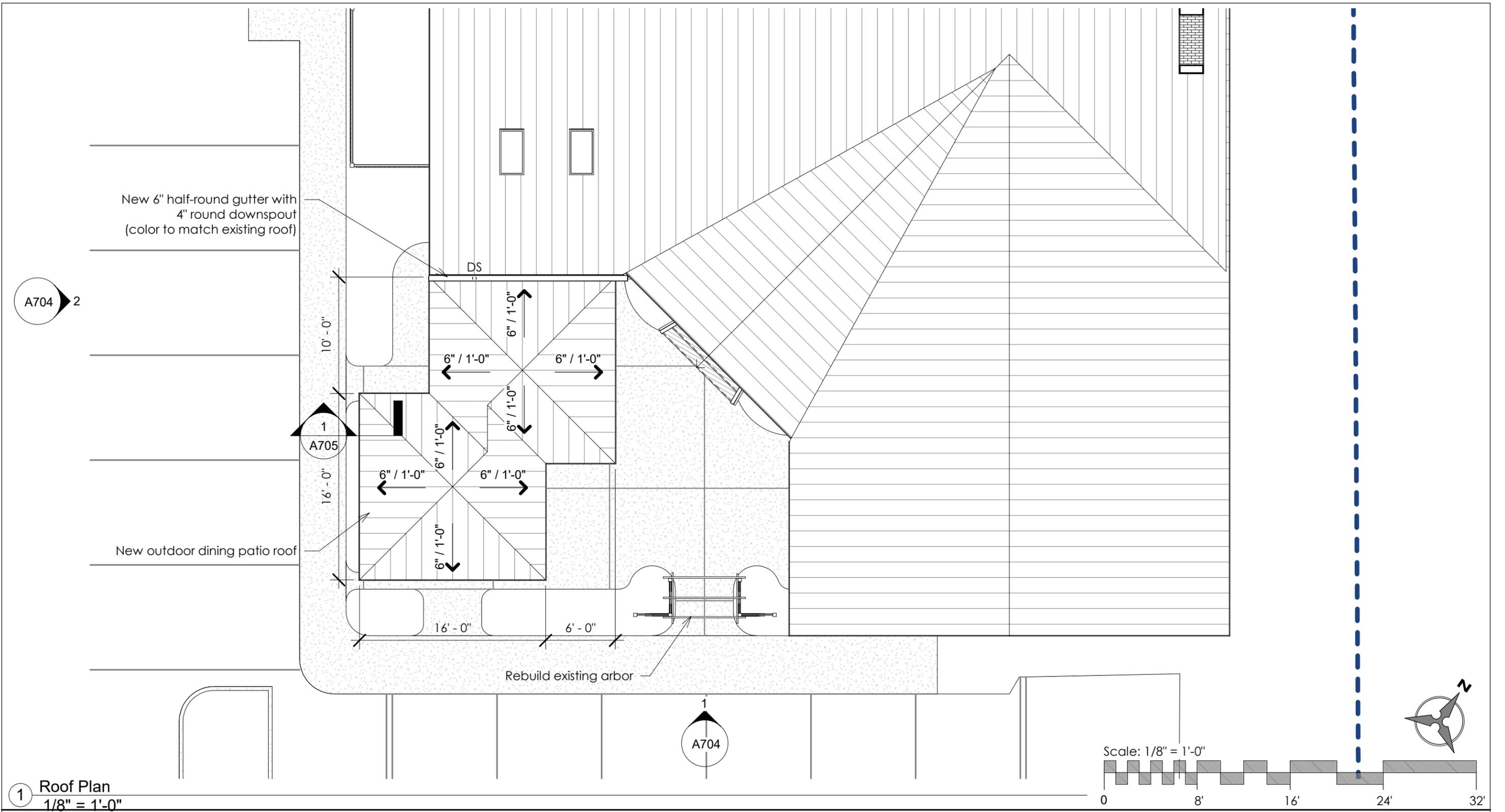
**CHARLIE'S L'ETOILE VERTE**

2021.03

2/9/2021

**A701**

2/9/2021 10:47:44 PM



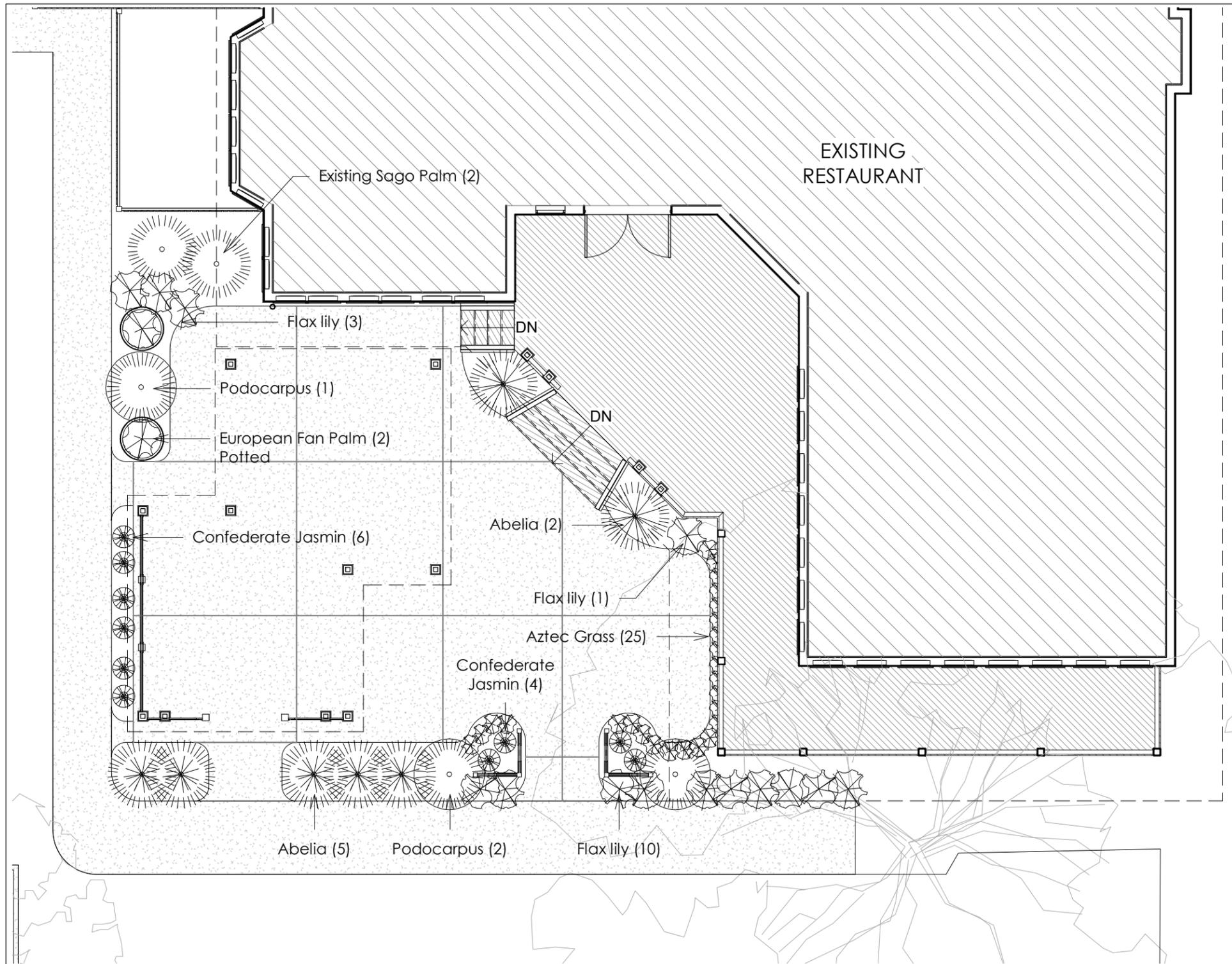
1 Roof Plan  
1/8" = 1'-0"

**ARCHITECTURE**  
**A101**  
 BEAUFORT - SAVANNAH  
 23A Market, Suite 1 - Beaufort, SC - www.A101.Design

**PROPOSED ROOF PLAN**

**CHARLIE'S L'ETOILE VERTE**

2021.03
2/9/2021
<b>A702</b>

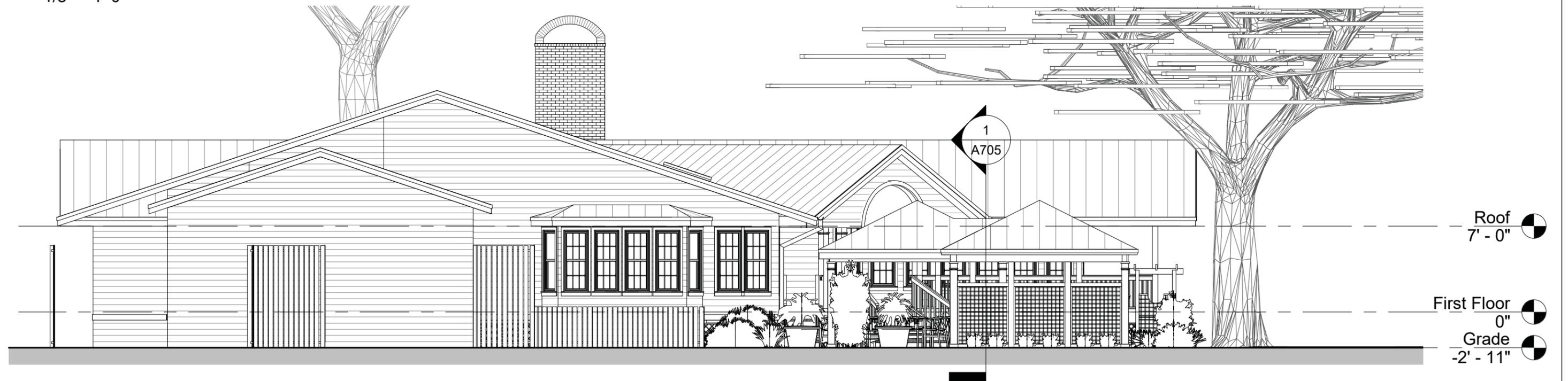


Landscape Schedule				
Common Name	Scientific Name	Count	Size	Spacing
Abelia	Abelia x grandiflora	7	7 Gallon	3'-0"
Aztec Grass	Liriope muscari	25	1 Gallon	1'-0"
Confederate Jasmin	Trachelospermum jasminoides	10	3 Gallon	2 feet
European Fan Palm	Chamaerops humilis	2	3 feet tall	Potted
Flax Lily	Dianella tasmanica	14	3 Gallon	2'-0"
Podocarpus	Podocarpus gracilior	3	15 Gallon	N/A

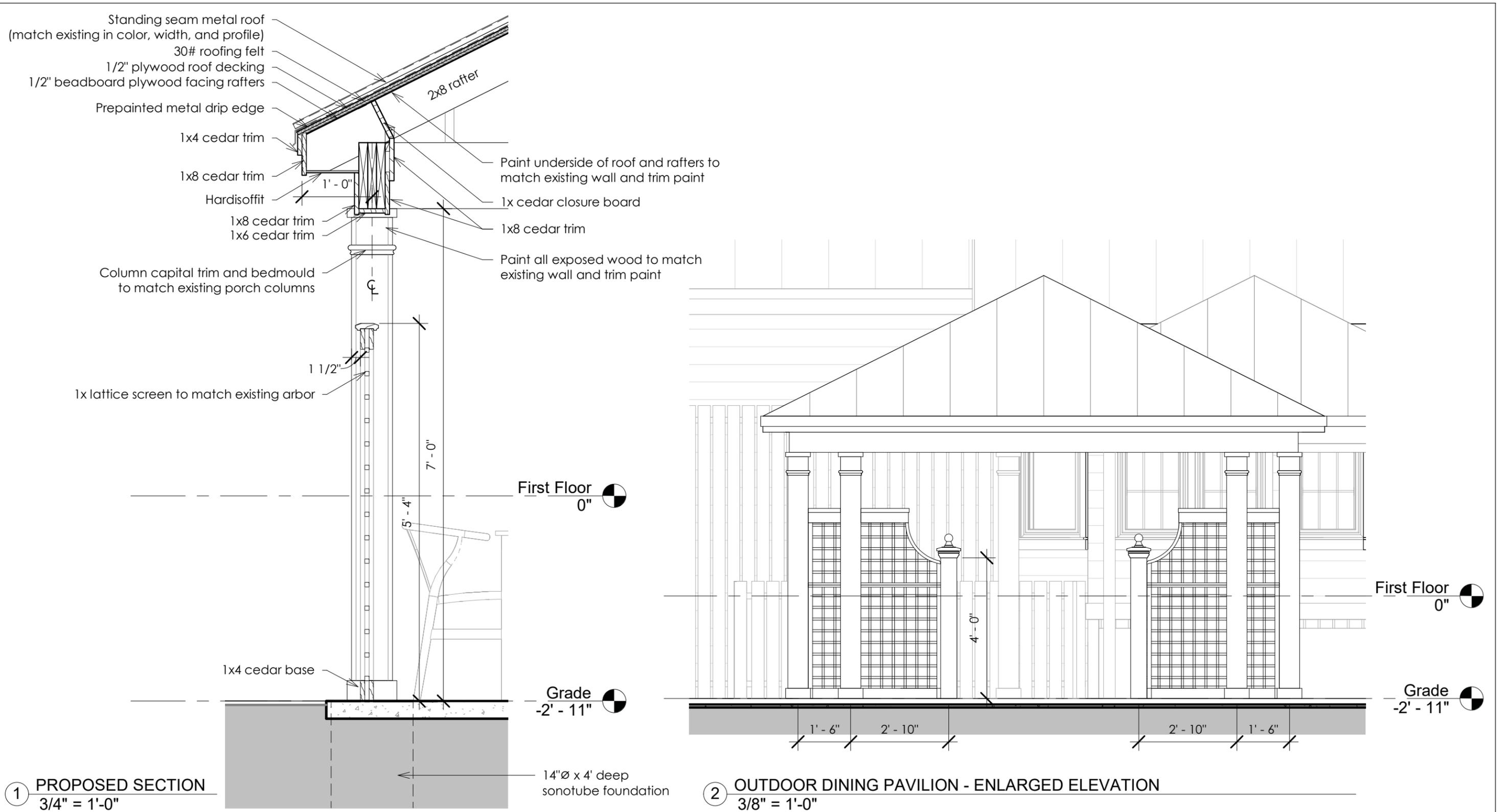
1 Landscape Plan  
1/8" = 1'-0"



1 Southeast Elevation - Proposed  
1/8" = 1'-0"



2 Southwest Elevation - Proposed  
1/8" = 1'-0"





① Parking Lot View



① Parking Lot Entrance View



① Parking Lot Side View

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Charlie's Patio Roof

DRB#: DRB-000330-2021

DATE: 02/12/2021

RECOMMENDATION: Approval  Approval with Conditions  Denial   
RECOMMENDED CONDITIONS:

### ***MISC COMMENTS/QUESTIONS***

Staff recommends approval as submitted.

# TOWN OF HILTON HEAD ISLAND

One Town Center Court, Hilton Head Island, S.C. 29928

(843) 341-4600 Fax (843) 842-7728

www.hiltonheadislandsc.gov

John J. McCann  
Mayor

William D. Harkins  
Mayor ProTem

\_\_\_\_\_  
Council Members

Thomas W. Lennox  
David Ames  
Tamara Becker  
Glenn Stanford  
Alexander Brown, Jr.

\_\_\_\_\_  
Joshua A. Gruber  
Interim Town Manager

February 10, 2021

*DRAFT*

Hilton Head Island Town Council  
Hilton Head Island Planning Commission  
One Town Center Court  
Hilton Head Island, SC 29928

Re: Building Height Limits, Setback Standards and Buffer Requirements

Dear Town Council and Planning Commission Members:

Over the course of the past few years, a small number of projects brought before the Hilton Head Island Design Review Board (DRB) have raised the Board Members' concern specifically related to building massing and scale and their non-conformity to Island Character as defined in the Design Guide. It is the general feeling of the Board Members that the Design Guide serves its purpose well for review of details, materials, colors and landscaping. However, Board Members' hands are tied by the Land Management Ordinance (LMO) when reviewing, commenting and voting on the issues of mass and scale.

Three recent projects can be used as specific case studies for this discussion:

- Mitchelville Beachfront / DRB-001801-2020 (Conceptual 09/28/20)
- 55 Gardner (former Christian Academy site) / DRB-002262-2019 (Final)
- 15 Wimbledon Court / DRB-002029-2018 (Final 09/28/18)

The above projects were all multi-storied multi-building developments deemed by the Board to be non-conforming with Island Character due to being obtrusive in form and/or out of scale to the surrounding neighborhood. Despite these determinations, that the projects were not of Island Character and did not conform to the intent of the Design Guide, the Board was given no alternative but to approve the projects because the total area, heights and setbacks were conforming within the LMO and therefore not cause for denial. It should be noted that in all three cases, the applicants to varying degrees did respond to DRB requests and requirements with regards to details, materials, colors, increased buffers or interior buffers and to some DRB suggestions to help break down the building massing. However, in all cases the DRB had no true authority to limit the overall height and scale of the structures.

# DRAFT

With that in mind, the DRB respectfully recommends that the Planning Commission and the Town Manager direct Staff to review the following to determine whether any adjustment to these standards is warranted:

- Review the allowable building heights, setbacks and buffers within the LMO to determine if they are effective at maintaining Island Character and preventing gross overbuild;
- Consider the DRB's ability and jurisdiction to impose limits or requirements on situations as described herein when a structure is not in keeping with Island Character; and
- Consider adding to the LMO and Design Guide a mandatory interior landscaped buffer of a minimum width of 3', 4' and 5' for small, medium and large projects to occur between the face of vertical construction and any hardscaped areas like parking lots, sidewalks etc. The lone exception to the interior buffer would be at areas required for entering, exiting, or servicing a building.

Best Regards,

Hilton Head Island Design Review Board  
By: Michael C. Gentemann AIA, Chairman

Cc: Joshua A. Gruber, Interim Town Manager