



Town of Hilton Head Island  
**Design Review Board Meeting**  
**Tuesday, June 22, 2021 – 1:15 p.m.**  
**AGENDA**

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In accordance with the Town of Hilton Head Island Municipal Code Section 2-5-15, this meeting is being conducted virtually and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call**

**4. Presentation of the Town's Crystal Awards to outgoing Chairman Michael Gentemann and Debbie Remke**

**5. Approval of Agenda**

**6. Approval of Minutes**

a. Meeting of June 8, 2021

**7. Appearance by Citizens**

**8. New Business**

a. *Alteration/Addition*

i. The Charles, DRB-001440-2021

b. *New Development – Final*

i. Pope Ave Starbucks, DRB-001318-2021

**9. Board Business**

a. Election of Officers for July 1, 2021 – June 30, 2022 term

**10. Staff Report**

a. Minor Corridor Report

**11. Adjournment**

Public comments concerning agenda items can be submitted electronically via the Open Town Hall HHI portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at 4:30 p.m. on June 21, 2021. All comments submitted through the portal will be provided to the Board for review and made part of the official record. Citizens who wish to comment on agenda items during the meeting by phone must contact the Board Coordinator at 843-341-4676 no later than 12:00 p.m. on June 21, 2021.

**Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.**



Town of Hilton Head Island  
**Design Review Board Meeting**  
June 8, 2021 at 1:15 p.m. Virtual Meeting  
**MEETING MINUTES**

**Present from the Board:** Chairman Michael Gentemann, Vice Chair Cathy Foss, David McAllister, Judd Carstens, Annette Lippert, Debbie Remke, John Moleski

**Absent from the Board:** None

**Present from Town Council:** David Ames, Tamara Becker

**Present from Town Staff:** Chris Darnell, Urban Designer; Nicole Dixon, Senior Planner, Shea Farrar, Landscape/Urban Design Associate; Teresa Haley, Senior Administrative Assistant; Karen D. Knox, Senior Administrative Assistant

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**1. Call to Order**

Chairman Gentemann called the meeting to order at 1:15 p.m.

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call** – See as noted above.

**4. Approval of Agenda**

Chairman Gentemann asked if staff had any changes to the agenda. There being none, Mr. McAllister moved to approve the agenda. Vice Chair Foss seconded. By way of roll call, the motion passed by a vote of 7-0-0.

**5. Approval of Minutes**

**a. Meeting of May 25, 2021**

Chairman Gentemann asked for a motion to approve the minutes of the May 25, 2021 regular meeting. Vice Chair Foss moved to approve. Mr. McAllister seconded. By way of roll call, the motion was approved by a vote of 7-0-0.

**6. Appearance by Citizens**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments of record for this meeting. Citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests to participate by phone.

**7. New Business**

**a. New Development – Conceptual**

**i. Tidal Wave Auto Spa DRB-001157-2021**

Mr. Darnell presented the application as described in the Board's agenda package. Mr. Darnell stated the application is to demo the existing old Pizza Hut building along the existing open bay car wash and develop a Tidal Wave Auto Spa. The existing conditions

have an impervious coverage of 63%. The redevelopment will have an impervious coverage of 57%. The site plan preserves all existing specimen and significant trees except for a significant 30" loblolly pine.

The applicant seeks to provide customers with an upscale experience with multiple landscape features. There will be a planted landscape buffer along Plaza Drive to frame the building and screen the vacuum service area where people vacuum and clean the insides of their car after it has been through the wash. All the vacuum equipment onsite will be housed in screening structures that will match the building architecture and materials of the primary building. These structures are fully enclosed preventing any obtrusive sounds from the vacuum equipment. Landscaping will be added to screen site components like the dumpster.

Staff suggests the site plan should be mirrored so that the main building does not crowd Plaza Drive. For this reason, staff recommends denial.

Chairman Gentemann asked if the applicant would like to add to staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length and the following concerns and recommendations were made regarding the project: increase the roof overhang; having proportions of the façade and façade elements that create unified overall design; the possibility of Bahama shutters coming down a little and at shallower angle on the east elevation; concern that the glazing in gables not in the Lowcountry vernacular; the facades could be helped by stucco trim; concern that the split face brick is not lowcountry vernacular; limiting the number of elements on the facades with pushing the envelope more strongly into the lowcountry vernacular; clarification on colors of dumpster enclosure, the gates, vacuum vending enclosure; have the doors match the stucco color if they stay stucco; gutters and downspouts should appear on final drawing; the façade needs work to get it into lowcountry proportions and vernacular; clarification needed on the lighting and purpose of the lights as a car moves through the wash tunnel; concern about arches shown on north and south elevations with everything else being linear or gabled – perhaps square them off to be consistent; clarification on the purpose of the prep area; What the trash cans will look like; concern about the dumpster location and suggestion it be moved; larger evergreen shrubs should be used in the buffer and along the foundation to the building; eliminate sod at least in the Plaza Drive buffer; specimen trees need to be protected; consider using the Beaufort model to address concerns about the exit; consider having a counter-clockwise circulation through the site; review the site circulation and how it can help eliminate some of the hardscape associated on the project; flatten out the arches like done in the Beaufort location; simplify the west elevation and draw less attention to it in the roof, do a consistent colonnade, consistent window sizes, change up materials, increase the overhang; consider flipping the plan top to bottom/north to south which would pull the exit arch further away from the entrance and the street and take away some of the traffic flow complications; concern about the lane coming right off of US278 at the beginning of Plaza Drive.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

**b. New Development – Final**

- i. Starbucks on Pope Avenue, DRB-001318-2021

This item was withdrawn from the agenda prior to the meeting.

- ii. Benny Hudson Seafood, DRB-001319-2021

Mr. Darnell presented the application as described in the Board's agenda package. The applicant is proposing the redevelopment of Benny Hudson Seafood. The new building will be constructed across the parking lot from the current market in the location of an existing pre-manufactured home, which will be demolished as part of the project. Once the new market is built, the old market will be demolished to make room for the required parking lot improvements. The Seafood Processing and Sales building will include conditioned mercantile area plus associated entry and covered porches. A delivery area behind the building will be screened from view by a wooden privacy fence. The parking lot will be improved as necessary to bring the required parking for the market to the LMO standards to include handicap parking.

Staff does not think the applicant addressed the following DRB Conditions for Conceptual Approval:

1. Select a less reflective color for the roof.
2. Consider making the body of the building a shade darker.
3. The proposed lighting plan does not meet the LMO requirements.
4. The tree protection and silt fence does not protect the wetland buffer.

For these reasons, staff recommends denial.

Staff mentioned with exception of the body color, most of these comments can be addressed at the staff level if the DRB so chooses. Staff understood the DRB's comment at Conceptual to make the building a darker color. The proposed color did change, but it was not what staff considered a darker color.

Chairman Gentemann asked if the applicant would like to add to staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and applicant discussed the application and the following concerns and recommendations were made regarding the project: concern about the string lights within the porch; the LMO limits string lights to dining areas and the porch has no dining; the tree protection and buffer will need to be compliant; the amount of grading within the 41 inch live oak dripline will be to be eliminated or reduced; concern about the reflective color of the roof; the faux window on the right elevation is open and framed to give the appearance of a window; concern there is no driveway delineation between the residential property and the commercial property.

Following the discussion, Chairman Gentemann moved to approve DRB-001319-2021 with the following conditions:

1. The site and building lighting should be adjusted to meet LMO requirements and should be submitted for staff level review.
2. Verify all tree protections are in place and should be submitted for staff level review.
3. Remove the string lights and if there is a substitution, submit it for staff level review.
4. Make a note that the corner trim is the natural cypress to match the general siding.
5. Grading within the drip line of the 41 inch live oak should be reduced or eliminated and should be reviewed and approved at staff level.

Vice Chair Foss seconded. By way of roll call, the motion passed by a vote of 7-0-0.

**c. Sign**

- i. Chow Daddy's, DRB-001325-2021

Ms. Farrar presented the application as described in the Board's agenda package. This application is for a new monument sign that will replace the existing monument for Chow Daddy's located at 14 Executive Park Road. This location was previously approved for the

sign as part of a property regime. Enlarging the sign will allow for additional tenant spaces and is compliant with the size requirements of the LMO. The new sign panel will be located between two new stucco columns. The sign face will be made of reclaimed wood and mounted between the two columns using stringers and brackets. Similar to the existing sign, there will be a wood lattice feature across the top of the sign. The sign letters will be a combination of PVC letters reused from the existing sign and new letters to match for the Chow Daddy's portion. The new tenant panels will be routed HDU panels with a woodgrain texture. The applicant would like to use the existing plants around the sign. Staff can work with the applicant to develop a plan to relocate existing materials and add additional plantings that will help to balance the increase in the width and height of the sign.

Staff is recommending approval with the condition that a landscape plan be developed and included in the sign permit approval.

Chairman Gentemann asked if the applicant would like to add to staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the applicant and the following comments were made regarding the project: a concern regarding the Navajo white text being too light and should be more off white. Staff added that the rendering doesn't accurately reflect Navajo white and it is the standard replacement for white. The Board made additional comments regarding: extra care needs to be taken with regard to the landscape plan especially since it is getting closer to the pathway; concern about the tenant signs being screwed into the sign face and requested they be concealed cleat mount; concern about the new sign being much larger than the one that is being replaced.

Following the discussion, Chairman Gentemann moved to approve DRB-001325-2021 with the following conditions:

1. A landscape plan should be developed and included in the sign permit approval. Landscape plan to be approved by staff with extra care and additional landscape should be included due to the increased size of the signage.
2. The tenant sign panels should be concealed cleat mounted instead of exposed fasteners or strips.

Vice Chair Foss seconded. By way of roll call, the motion passed by a vote of 7-0-0.

## **8. Board Business - none**

## **9. Staff Report**

### **a. Minor Corridor Report**

Mr. Darnell reported the following minor DRB approvals since our last meeting: 1 Coggins Point Road (fence approval); 807 William Hilton Parkway (Sea Grass Restaurant (awning approved); 5 Augusta Lane was a cell tower upgrade.

Mr. Darnell reminded the Board to do their training and turn in the training forms to Ms. Haley as soon as possible. The deadline is June 30<sup>th</sup>.

## **10. Adjournment**

The meeting adjourned at 4:04 p.m.

**Submitted by:** Karen D. Knox, Secretary

**Approved:** [DATE]



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

**FOR OFFICIAL USE ONLY**  
 Date Received: 8/8/21  
 Accepted by: \_\_\_\_\_  
 DRB #: 1440-2021  
 Meeting Date: \_\_\_\_\_

Applicant/Agent Name: CLINT BURDETT Company: B DESIGN  
 Mailing Address: 7 BILSTON CT City: IRMO State: SC Zip: 29003  
 Telephone: 803 422 5542 Fax: \_\_\_\_\_ E-mail: CBURDETT@GMAIL.COM  
 Project Name: THE CHARLES Project Address: 63 SKULL CREEK  
 Parcel Number [PIN]: R 510 003 000 0034 0000  
 Zoning District: DD-1 Overlay District(s): NONE

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

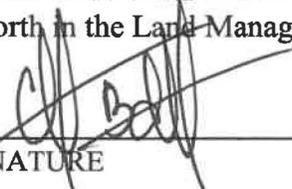
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
 \_\_\_\_\_  
 SIGNATURE

6-7-21  
 \_\_\_\_\_  
 DATE

## The Charles Design Narrative

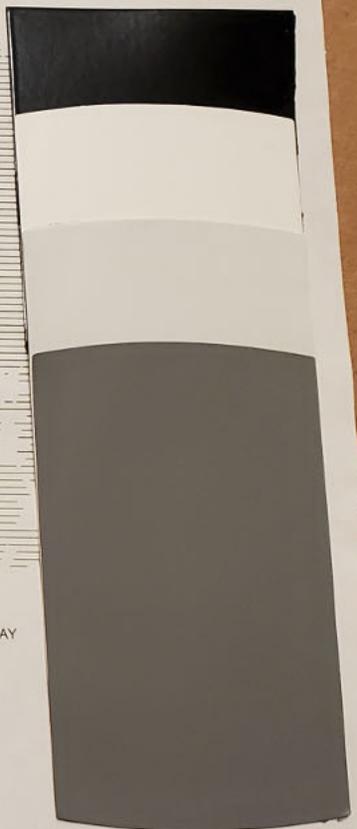
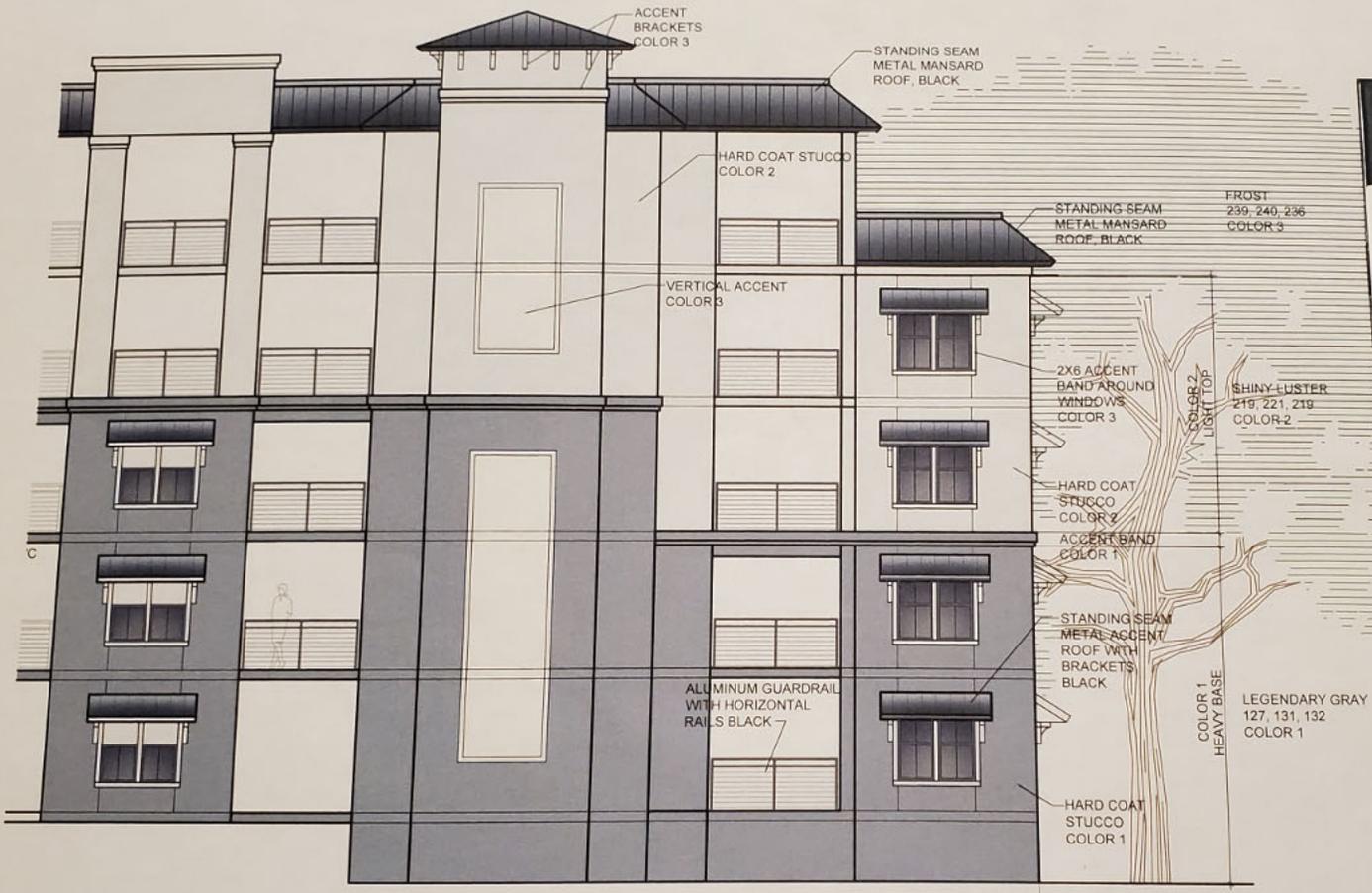
### 6.7.21

The proposed development The Charles is located in Hilton Head Plantation at the Old Fort Pub site. The name comes from Charles Fraser a pioneer in setting up development on Hilton Head Island and King Charles II for commissioning Admiral Hilton who the island is named after. This name carries with it a lot of rich history and character which is the design basis for our project.

The Old fort Pub site has its own history and sits next to the historical site of Fort Mitchell on its right side and a condominium known as the Commodore on its left. This site is known for its beautiful sunsets overlooking Skull Creek. The center of our site is currently developed as a circular parking lot with the Old Fort Pub restaurant itself set up on the waterfront of Skull Creek surrounded by beautiful live oak trees. At the entrance to the restaurant sits the largest tree on the site a 32" live Oak tree. This tree and other trees on the site as well as the beautiful sunsets became a major influence on the design of our project a 22 unit luxury condominium project, The Charles.

We wanted all of the units to have a view of Skull Creek and the sunset and to save as many trees as possible. We pulled the building back respecting the 32" Live Oak tree and established exterior amenities between the building and the creek. We also took into consideration the building setbacks and height restrictions. We originally looked at a shorter building 4 stories and 6 unit wide with covered parking on the street side which took away more green space and went set back to set back. The Hilton Head Plantation Height restriction is less than The Town of Hilton Head at 43' vs 75' so we approached them with a 5 story over parking concept with a height restriction of 53' and taking up less green space and more freedom on the building setbacks with the edges of the building stepping down to be more sensitive to the surrounding sites. We lowered the parking under the building and raised the earth at the porte-cochere to have a grand entrance and to help hide the parking on the site. The building exterior was designed with Hilton Head low country features. With a traditional design of a heavy base a middle and a lighter top we brought into play a color scheme of rich gray colors that resemble the base middle and top and also stepped the colors along with the building.

Finally we enhanced the site with a rich in character landscape package that you experience as you meander through the site whether you are driving or walking.



• *The Charles* •











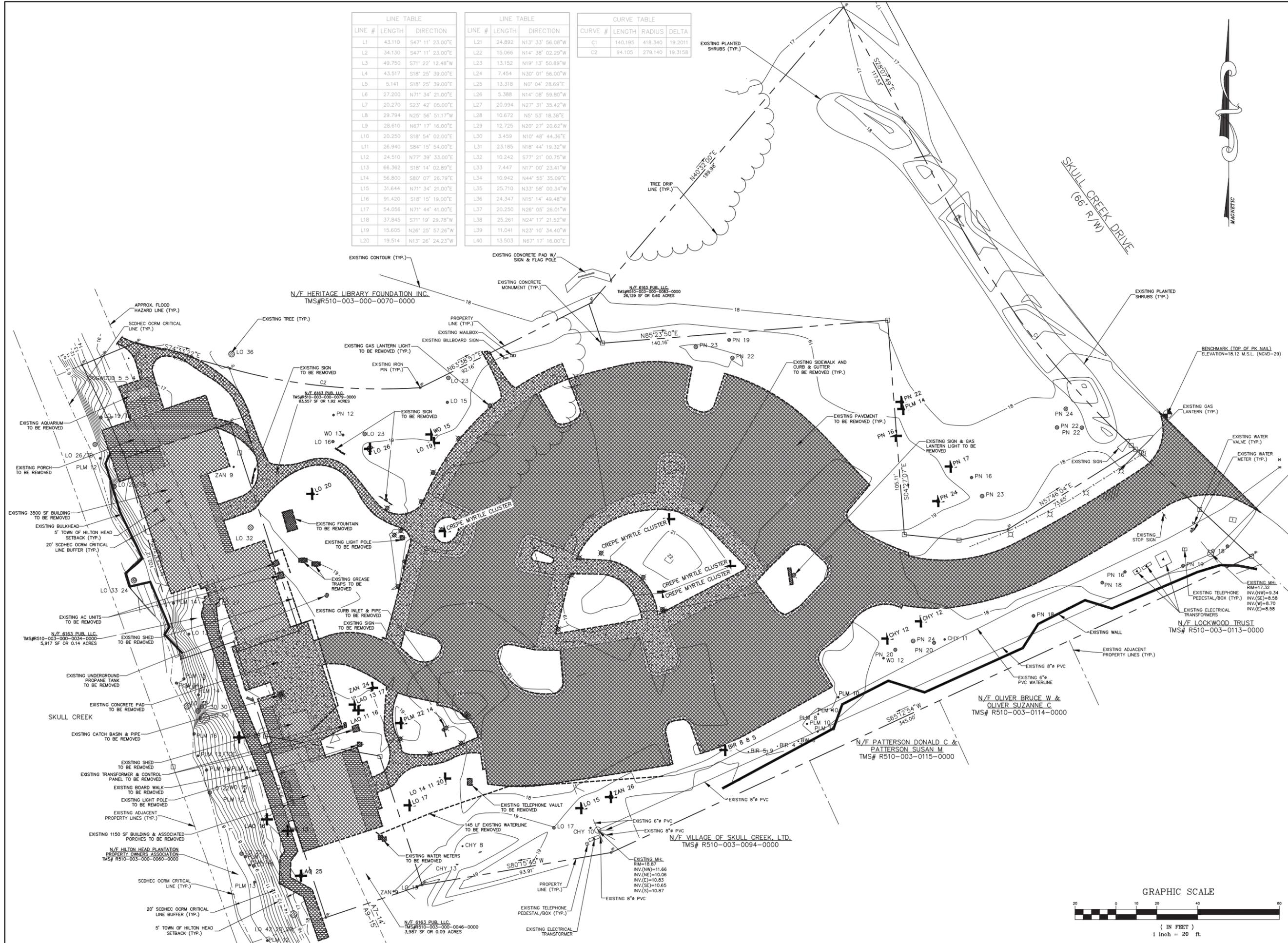






63  
**Old Fort Pub**  
*Restaurant*

LINE TABLE			LINE TABLE			CURVE TABLE			
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L1	43.110	S47° 11' 23.00"E	L21	24.892	N13° 33' 56.08"W	C1	140.195	418.340	19.2011
L2	34.130	S47° 11' 23.00"E	L22	15.066	N14° 38' 02.29"W	C2	94.105	279.140	19.3158
L3	49.750	S71° 22' 12.48"W	L23	13.152	N19° 13' 50.89"W				
L4	43.517	S18° 25' 39.00"E	L24	7.454	N30° 01' 56.00"W				
L5	5.141	S18° 25' 39.00"E	L25	13.318	N0° 04' 26.69"W				
L6	27.200	N71° 34' 21.00"E	L26	5.388	N14° 08' 59.80"W				
L7	20.270	S23° 42' 05.00"E	L27	20.994	N27° 31' 35.42"W				
L8	29.794	N25° 56' 51.17"W	L28	10.672	N5° 53' 18.38"E				
L9	28.610	N67° 17' 16.00"E	L29	12.725	N20° 27' 20.62"W				
L10	20.250	S18° 54' 02.00"E	L30	3.459	N10° 48' 44.36"E				
L11	26.940	S84° 15' 54.00"E	L31	23.185	N18° 44' 19.32"W				
L12	24.510	N77° 39' 33.00"E	L32	10.242	S77° 21' 00.75"W				
L13	66.362	S18° 14' 02.89"E	L33	7.447	N17° 00' 23.41"W				
L14	56.800	S80° 07' 26.79"E	L34	10.942	N44° 55' 35.09"E				
L15	31.644	N71° 34' 21.00"E	L35	25.710	N33° 58' 00.34"W				
L16	91.420	S18° 15' 19.00"E	L36	24.347	N15° 14' 49.48"W				
L17	54.056	N71° 44' 41.00"E	L37	20.250	N26° 05' 26.01"W				
L18	37.845	S71° 19' 29.78"W	L38	25.261	N24° 17' 21.52"W				
L19	15.605	N26° 25' 57.26"W	L39	11.041	N23° 10' 34.40"W				
L20	19.514	N13° 26' 24.23"W	L40	13.503	N67° 17' 16.00"E				




ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE INFORMATION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

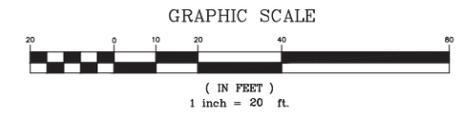
PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
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8	

**THE CHARLES**  
**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 63 SKULL CREEK DRIVE  
 BEAUFORT COUNTY, SC

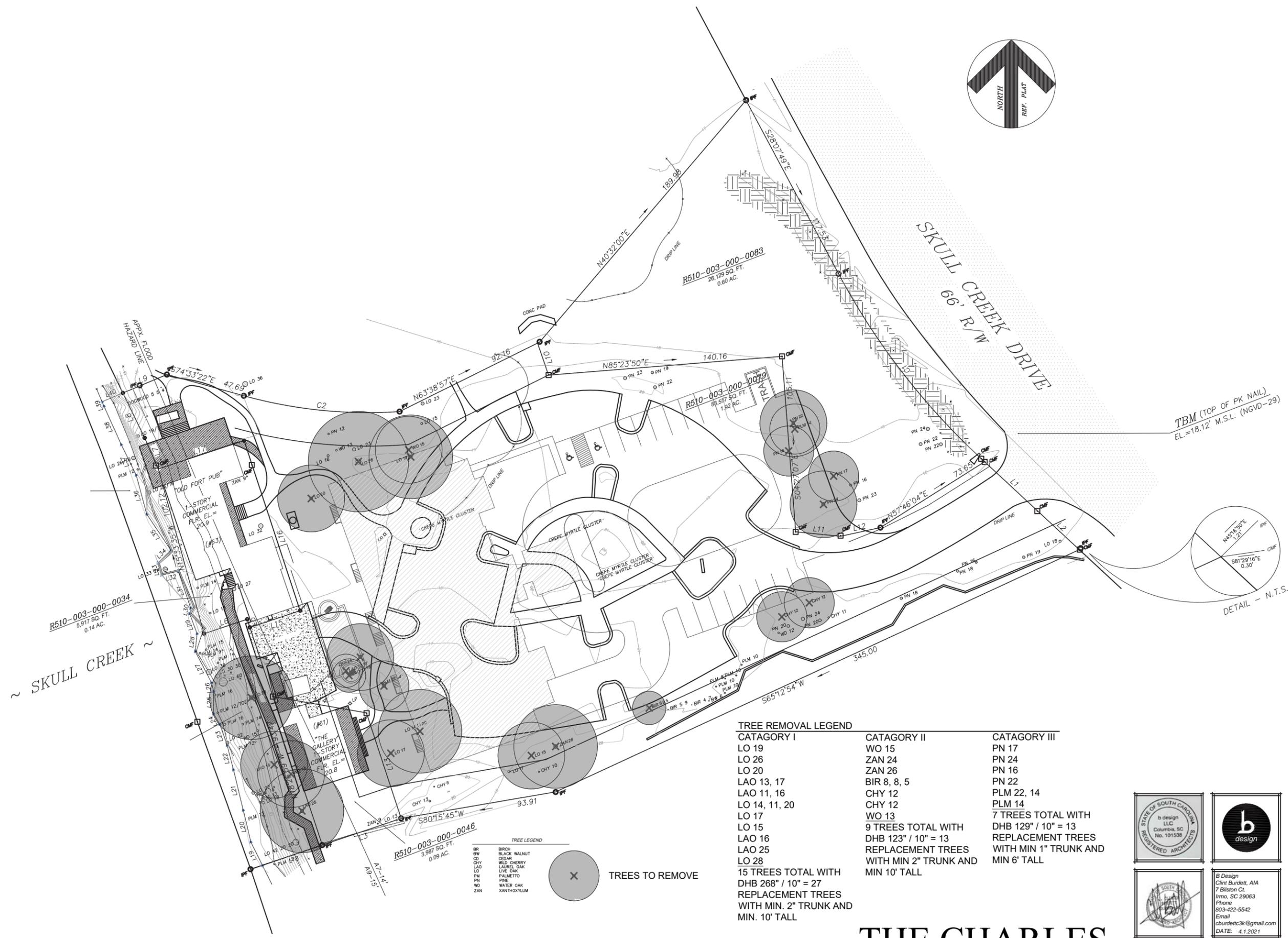
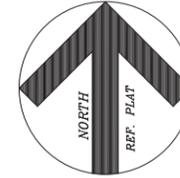
WWW.CAROLINAENGINEERING.COM  
 843/322-4553  
 843/322-4556 (FAX)

PROJECT:	2318
DATE:	04/29/21
REVISED:	05/20/21
DRAWN BY:	TOC
ENGINEER:	DRK
SCALE:	1"=20'

**DEMOLITION PLAN**  
**2 OF 8**

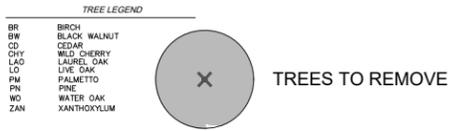






**TREE REMOVAL LEGEND**

CATAGORY I	CATAGORY II	CATAGORY III
LO 19	WO 15	PN 17
LO 26	ZAN 24	PN 24
LO 20	ZAN 26	PN 16
LAO 13, 17	BIR 8, 8, 5	PN 22
LAO 11, 16	CHY 12	PLM 22, 14
LO 14, 11, 20	CHY 12	PLM 14
LO 17	WO 13	7 TREES TOTAL WITH
LO 15	9 TREES TOTAL WITH	DHB 129" / 10" = 13
LAO 16	DHB 123" / 10" = 13	REPLACEMENT TREES
LAO 25	WITH MIN 2" TRUNK AND	WITH MIN 1" TRUNK AND
LO 28	MIN 10' TALL	MIN 6' TALL
15 TREES TOTAL WITH		
DHB 268" / 10" = 27		
REPLACEMENT TREES		
WITH MIN. 2" TRUNK AND		
MIN. 10' TALL		



SITE PLAN TREE REMOVAL

# THE CHARLES

31 TOTAL TREES WITH A TOTAL DHB 520" / 10" = 52 TREES

**B Design**  
 Clint Burdett, AIA  
 7 Bliston Ct.  
 Irmo, SC 29063  
 Phone  
 803-422-5542  
 Email  
 cburdett3k@gmail.com  
 DATE: 4.1.2021

**GENERAL NOTES,  
PAVING, GRADING & DRAINAGE NOTES:**

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY COASTAL SURVEYING CO., INC. DATED 12/10/2020.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

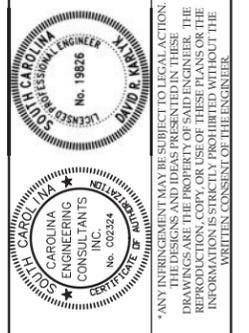
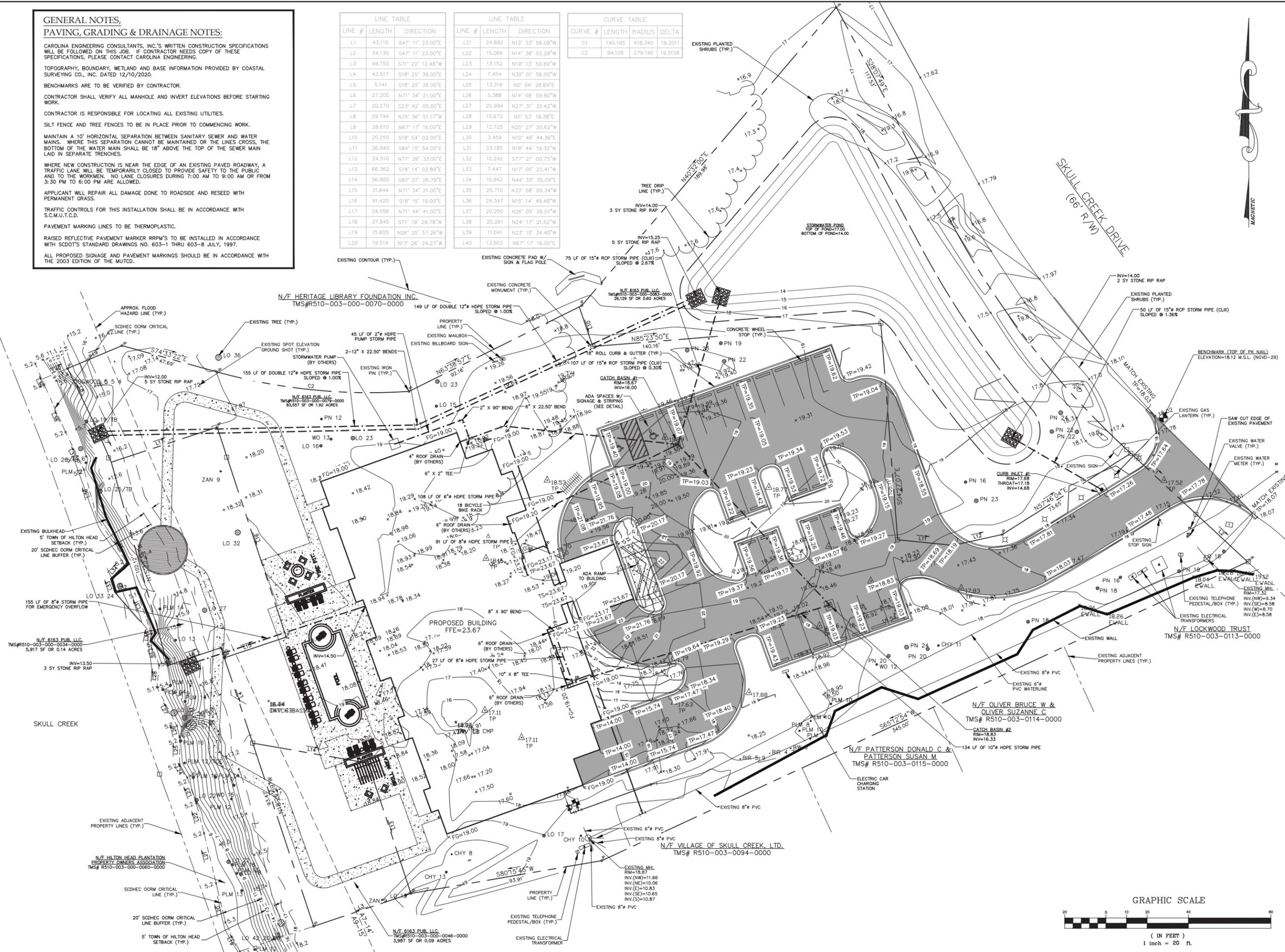
TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPMS TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.

LINE TABLE			LINE TABLE			CURVE TABLE			
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	CURVE #	LENGTH	RADIUS	DELTA
L1	43.110	S47° 11' 23.00"E	L21	24.892	N13° 33' 56.08"W	C1	140.195	418.340	19.2011
L2	34.130	S47° 11' 23.00"E	L22	15.066	N14° 38' 02.29"W	C2	94.105	279.140	19.3158
L3	49.750	S71° 22' 12.48"W	L23	13.152	N19° 13' 50.89"W				
L4	43.517	S18° 25' 39.00"E	L24	7.454	N30° 01' 56.00"W				
L5	5.141	S18° 25' 39.00"E	L25	13.318	N0° 04' 28.69"E				
L6	27.200	N71° 34' 21.00"E	L26	5.388	N14° 08' 59.80"W				
L7	20.270	S23° 42' 05.00"E	L27	20.994	N27° 31' 35.42"W				
L8	29.794	N25° 56' 51.77"W	L28	10.672	N5° 53' 18.38"E				
L9	28.610	N67° 17' 16.00"E	L29	12.725	N20° 27' 20.62"W				
L10	20.250	S18° 54' 02.00"E	L30	3.459	N10° 48' 44.36"E				
L11	26.940	S84° 15' 54.00"E	L31	23.185	N18° 44' 19.32"W				
L12	24.510	N77° 39' 33.00"E	L32	10.242	S77° 21' 00.75"W				
L13	66.362	S18° 14' 02.89"E	L33	7.447	N17° 00' 23.41"W				
L14	56.800	S80° 07' 26.79"E	L34	10.942	N44° 55' 35.09"E				
L15	31.644	N71° 34' 21.00"E	L35	25.710	N33° 58' 00.34"W				
L16	91.420	S18° 15' 19.00"E	L36	24.347	N15° 14' 49.48"W				
L17	54.056	N71° 44' 41.00"E	L37	20.250	N26° 05' 26.01"W				
L18	37.845	S71° 19' 29.78"W	L38	25.261	N24° 17' 21.52"W				
L19	15.605	N26° 25' 57.26"W	L39	11.041	N23° 10' 34.40"W				
L20	19.514	N13° 26' 24.23"W	L40	13.503	N67° 17' 18.00"W				



PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

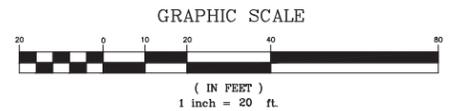
**THE CHARLES  
63 SKULL CREEK DRIVE  
BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
843/322-0553  
WWW.CAROLINAENGINEERING.COM  
BEAUFORT, SC 29901

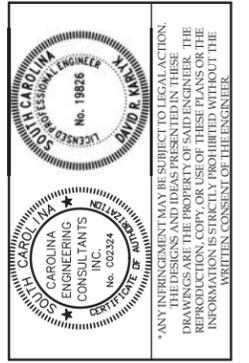
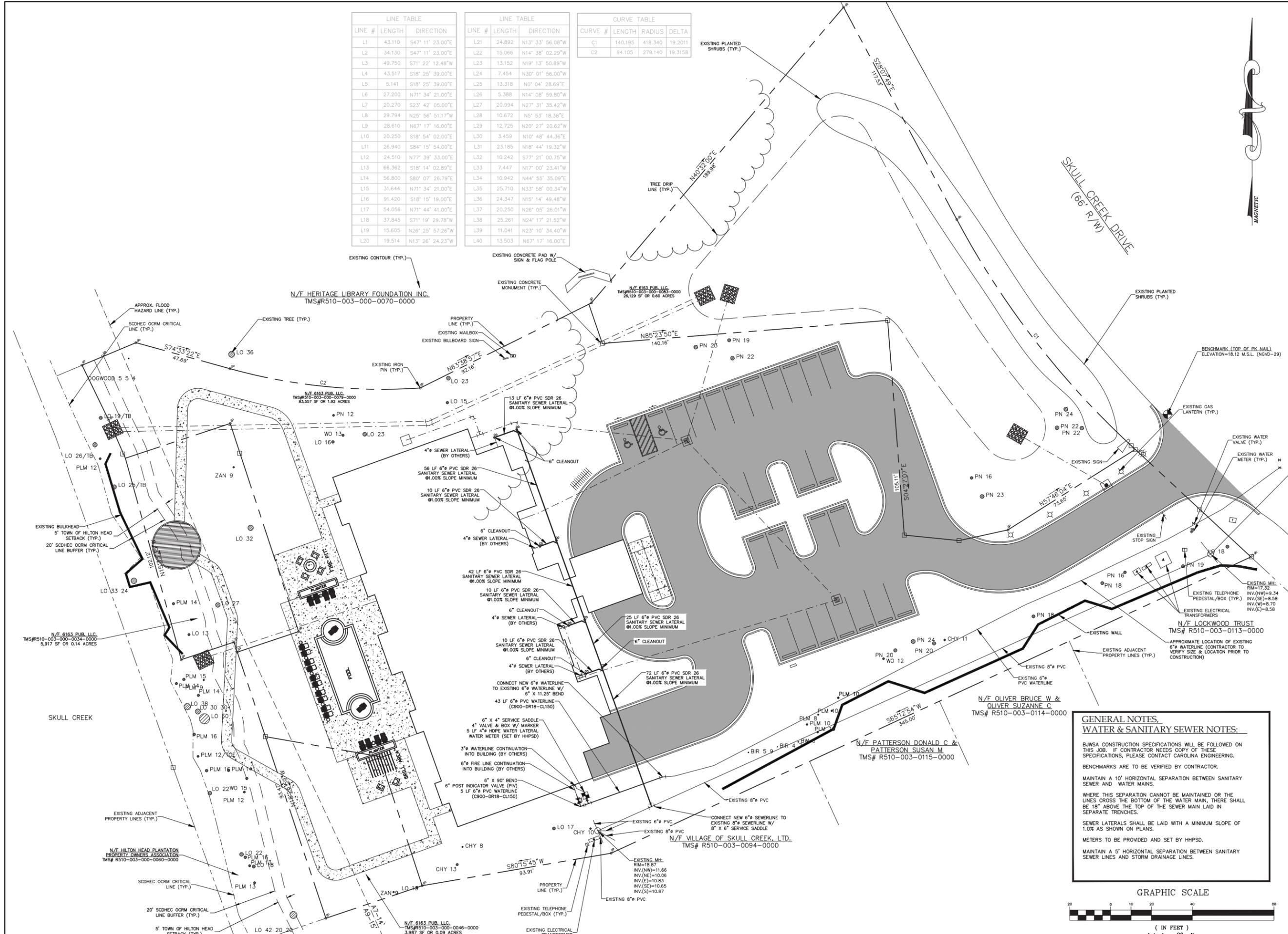
PROJECT: 2318  
DATE: 04/29/21  
REVISED: 05/20/21  
DRAWN BY: TOC  
ENGINEER: DRK  
SCALE: 1"=20'

**PAVING, GRADING  
& DRAINAGE PLAN**

**5  
OF 8**



LINE TABLE			LINE TABLE			CURVE TABLE			
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	CURVE #	LENGTH	RADIUS	DELTA
L1	43.110	S47° 11' 23.00"E	L21	24.892	N13° 33' 56.08"W	C1	140.195	418.340	19.2011
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L10	20.250	S18° 54' 02.00"E	L30	3.459	N10° 48' 44.36"E				
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L12	24.510	N77° 39' 33.00"E	L32	10.242	S77° 21' 00.75"W				
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L20	19.514	N13° 26' 24.23"W	L40	13.503	N67° 17' 16.00"E				



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
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7		
8		

**THE CHARLES  
63 SKULL CREEK DRIVE  
BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
843/322-4553  
WWW.CAROLINAENGINEERING.COM  
843/322-4556 (FAX)

PO BOX 294  
BEAUFORT, SC 29901

**GENERAL NOTES:**  
**WATER & SANITARY SEWER NOTES:**

BWSA CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

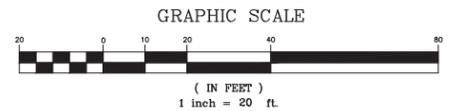
MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS.

WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS THE BOTTOM OF THE WATER MAIN, THERE SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF 1.0% AS SHOWN ON PLANS.

METERS TO BE PROVIDED AND SET BY HHPSD.

MAINTAIN A 5' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND STORM DRAINAGE LINES.





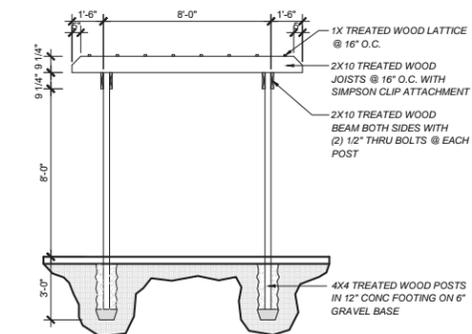
# THE CHARLES PARKING PLAN



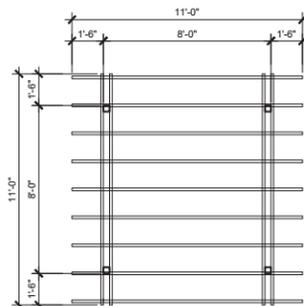
B Design  
Clint Burdett, AIA  
7 Bilston Ct.  
Irmo, SC 29063  
Phone  
803-422-5542  
Email  
cburdett3k@gmail.com

DATE: 5.21.2021  
REV:

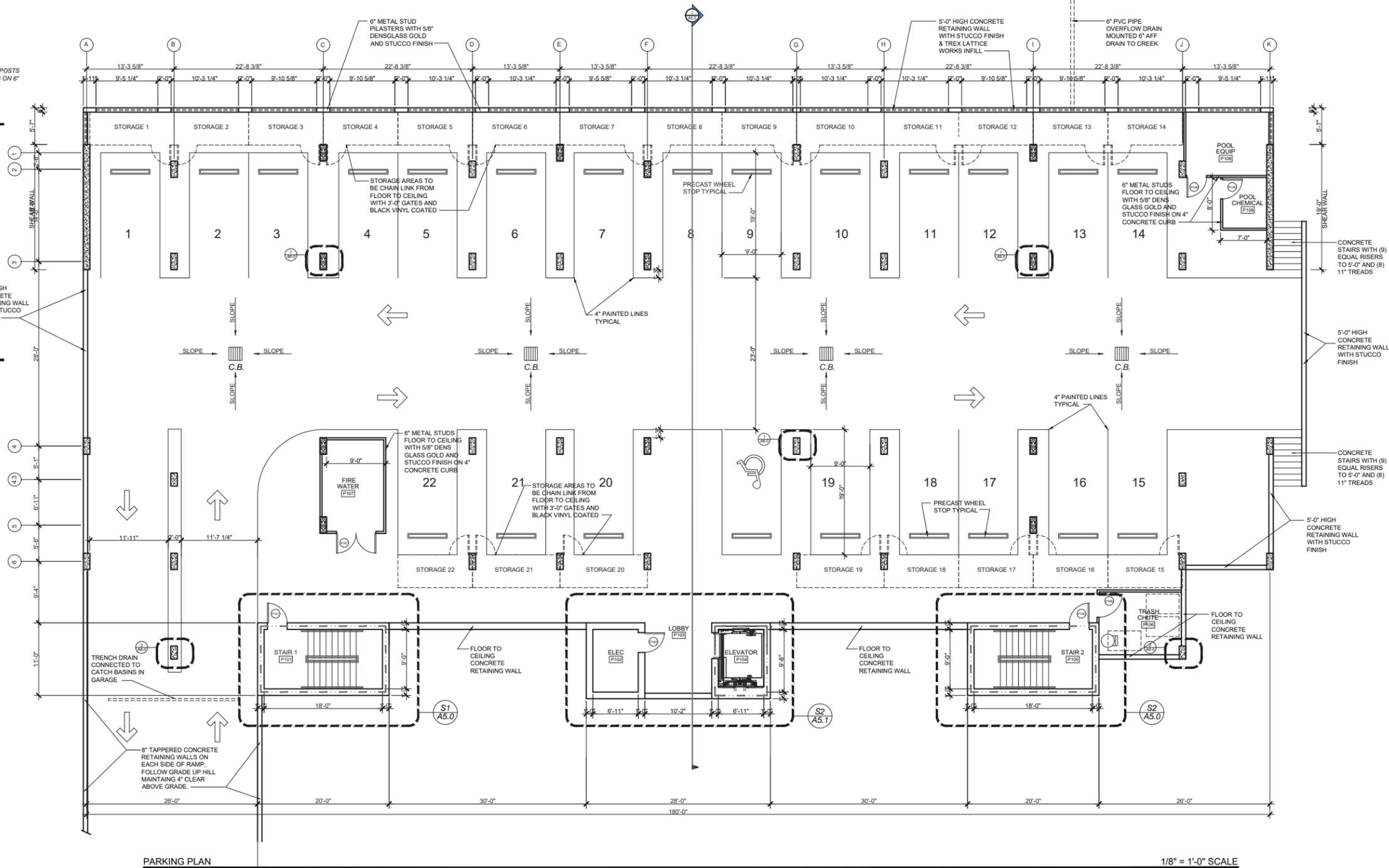
**A1.0**  
SHEET



TRELLIS SECTION



TRELLIS PLAN



PARKING PLAN

1/8" = 1'-0" SCALE

### LEGEND

- 1 HOUR ———
- 2 HOURS - - - -



# THE CHARLES

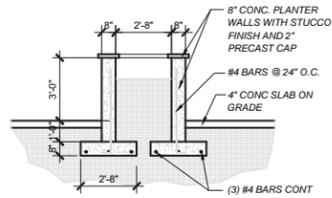
## FIRST FLOOR PLAN



B Design  
Clint Burdett, AIA  
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Irmo, SC 29063  
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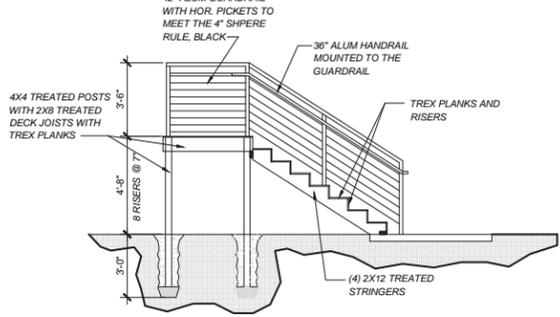
DATE: 5.21.2021  
REV:

**A1.1**  
SHEET

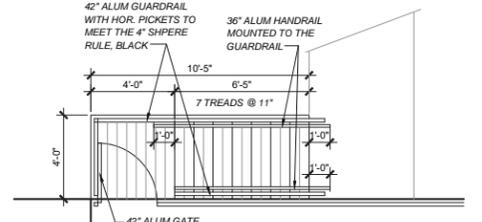


**PLANTER SECTION**

ALL CONNECTIONS TO BE DOUBLE DIPPED GALVANIZED OR STAINLESS STEEL INCLUDING NAILS, SCREWS ETC

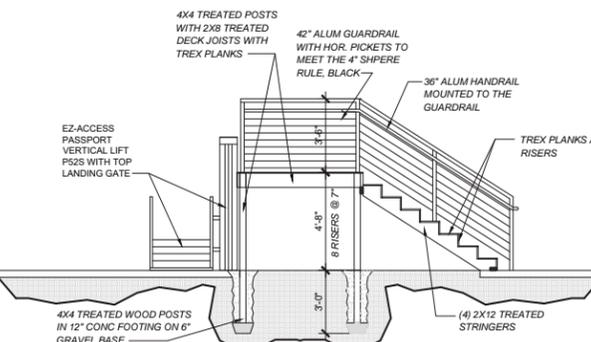


**BALCONY STAIR SECTION**

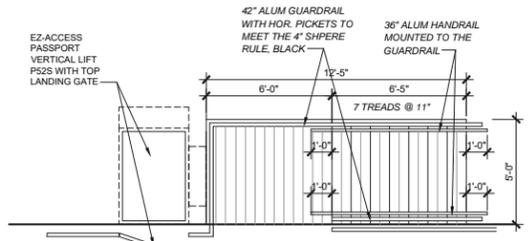


**BALCONY STAIR PLAN**

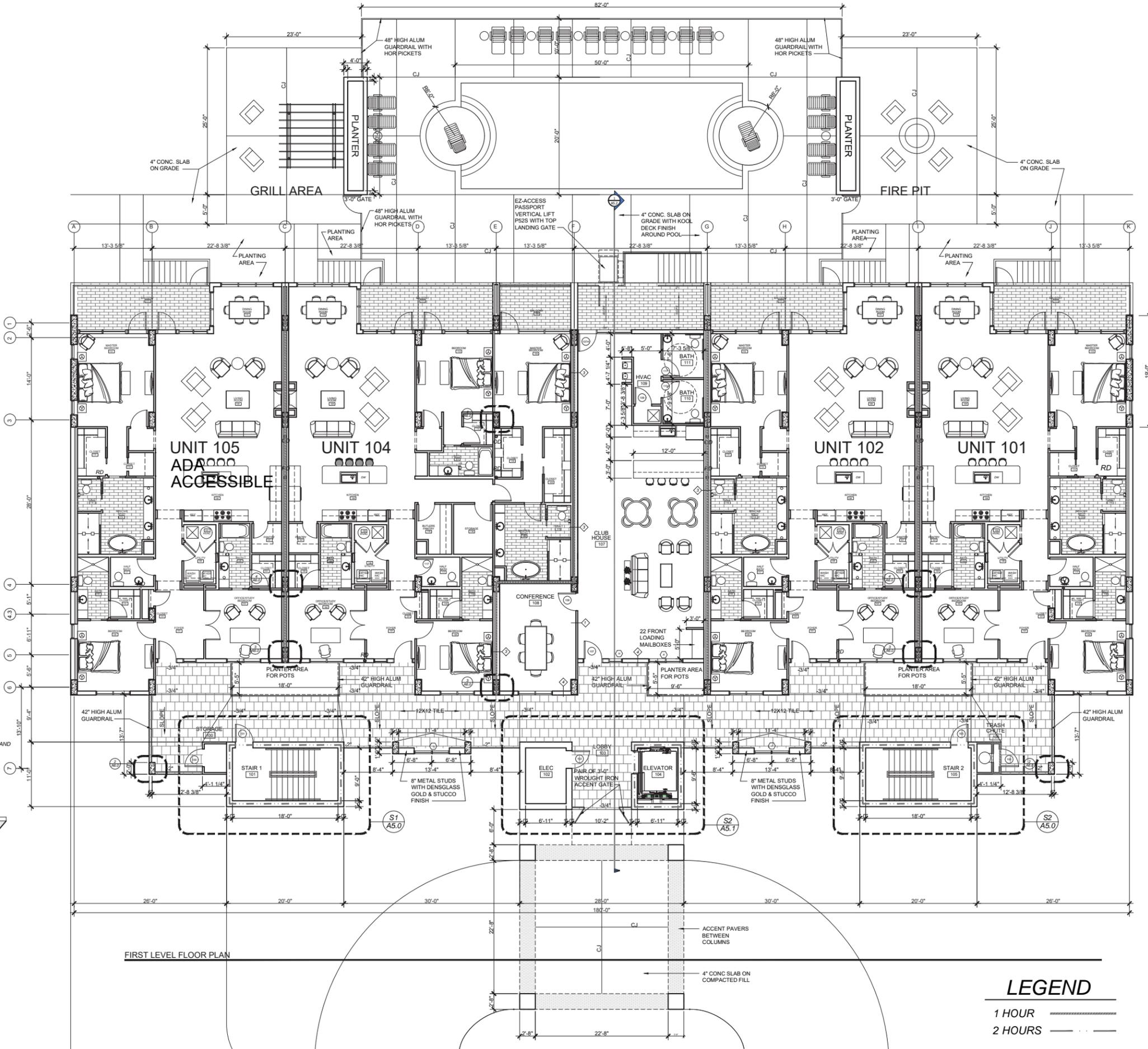
ALL CONNECTIONS TO BE DOUBLE DIPPED GALVANIZED OR STAINLESS STEEL INCLUDING NAILS, SCREWS ETC



**BALCONY STAIR SECTION**



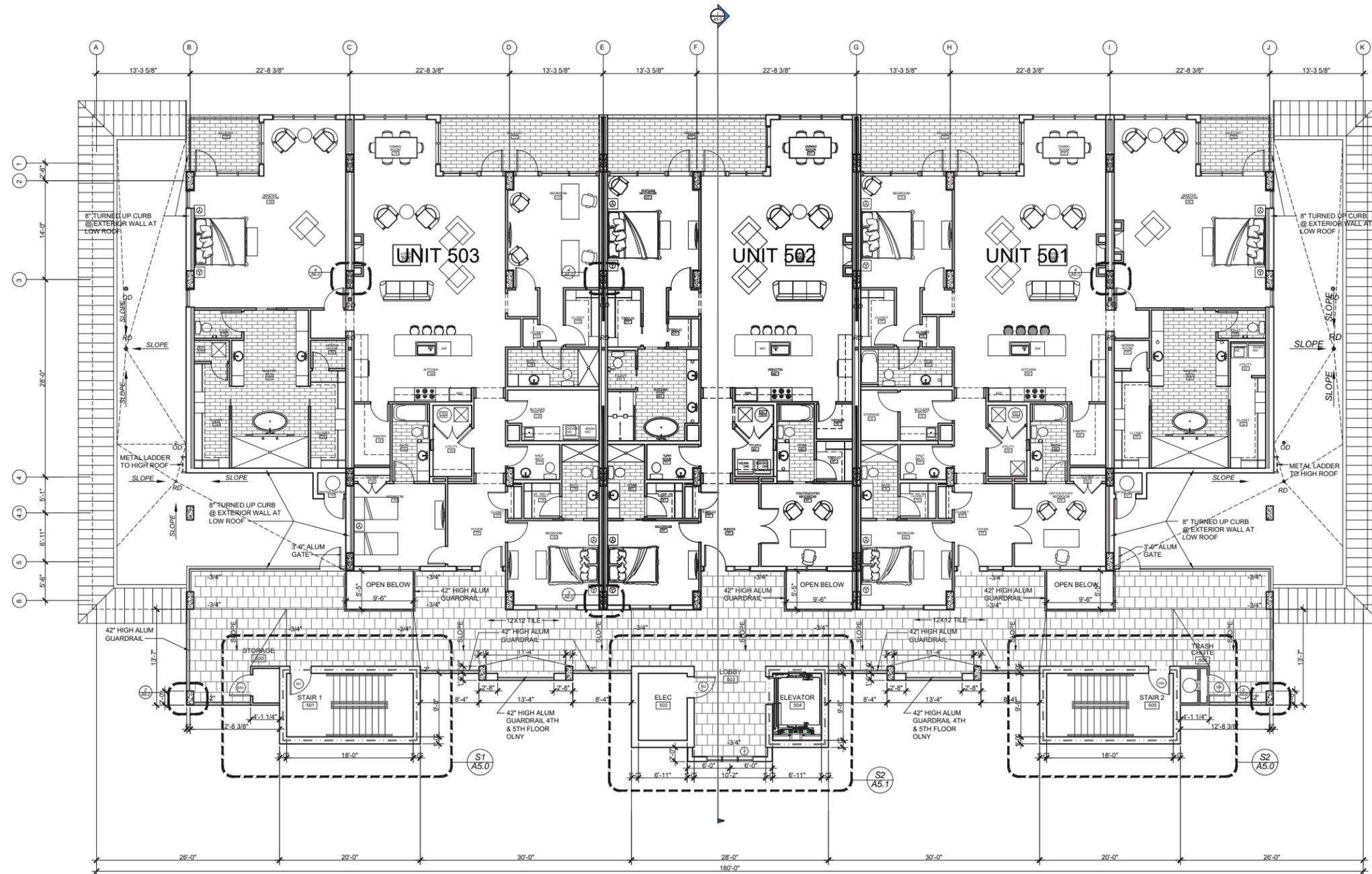
**BALCONY STAIR PLAN**



**FIRST LEVEL FLOOR PLAN**

**LEGEND**

- 1 HOUR [dashed line symbol]
- 2 HOURS [solid line symbol]



FIFTH LEVEL FLOOR PLAN

**LEGEND**

- 1 HOUR ———
- 2 HOURS - - - -

**THE CHARLES  
FIFTH FLOOR PLAN**

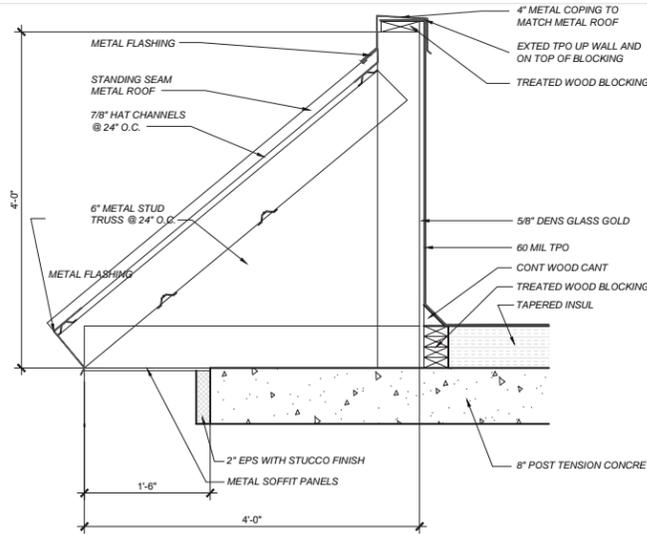


B Design  
 Clint Burdett, AIA  
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 Irmo, SC 29063  
 Phone  
 803-422-5542  
 Email  
 cburdettc3k@gmail.com

DATE: 5.21.2021  
 REV:

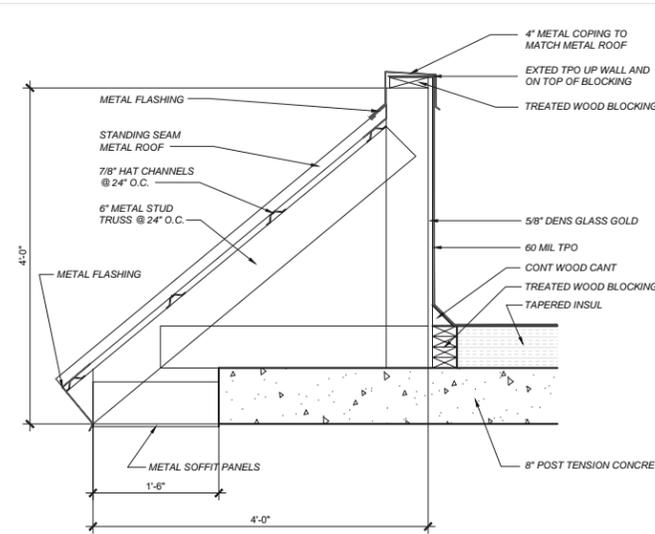
**A1.3**

SHEET



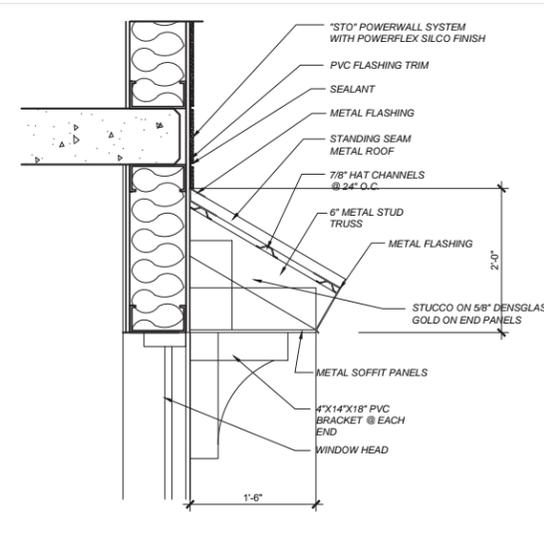
MANSARD DETAIL 5TH FLOOR LOW ROOF

SCALE 1" = 1'-0"



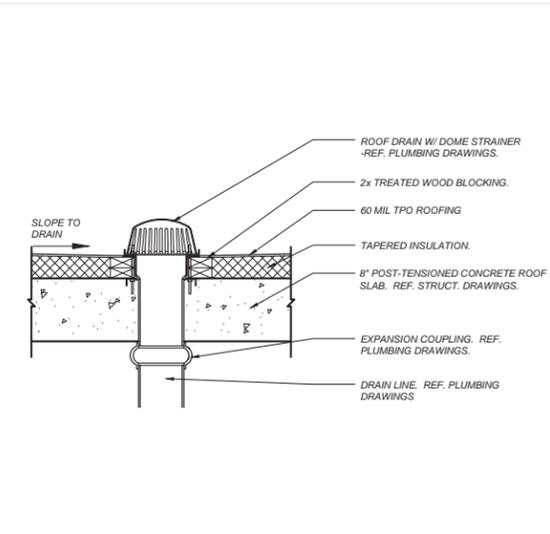
MANSARD DETAIL HIGH ROOF

SCALE 1" = 1'-0"



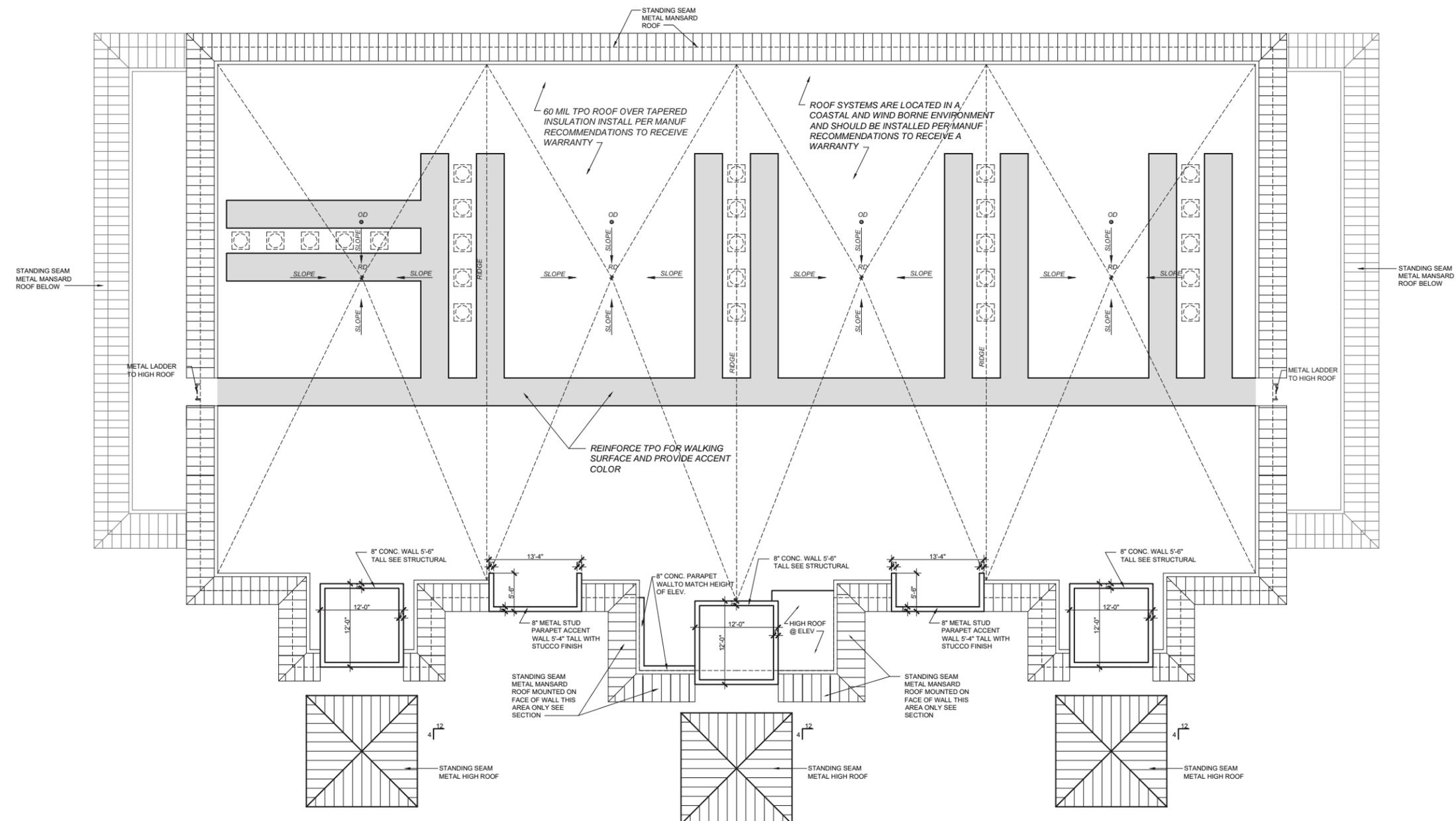
ACCENT ROOF DETAIL

SCALE 1" = 1'-0"



ROOF DRAIN DETAIL

SCALE 1" = 1'-0"



ROOF FLOOR PLAN

1/8" = 1'-0" SCALE

THE CHARLES  
ROOF PLAN

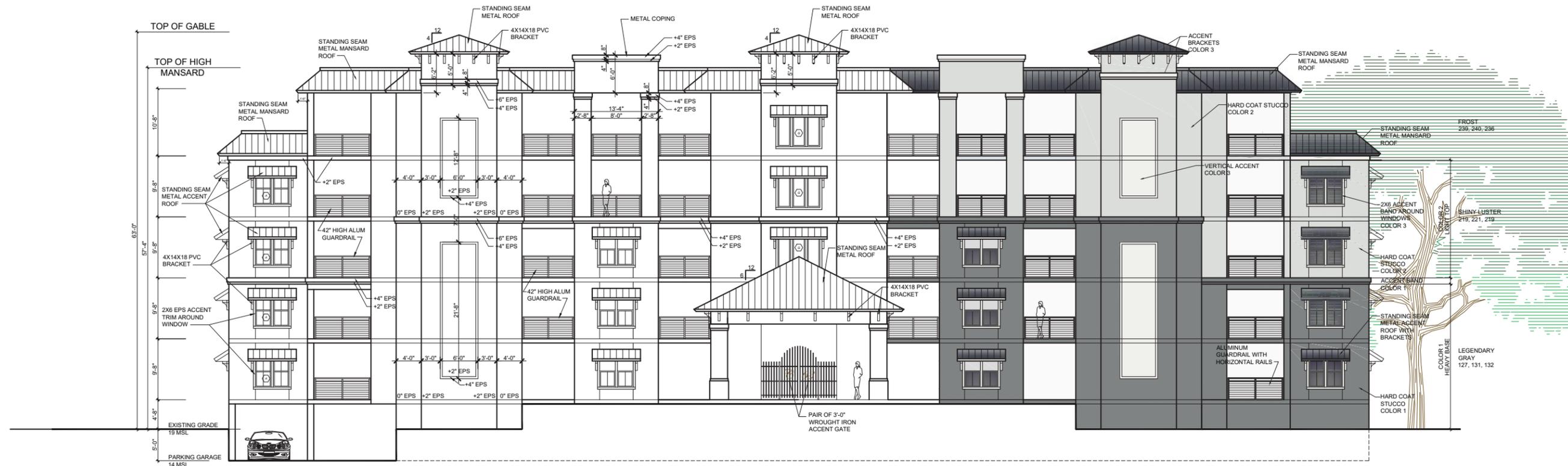


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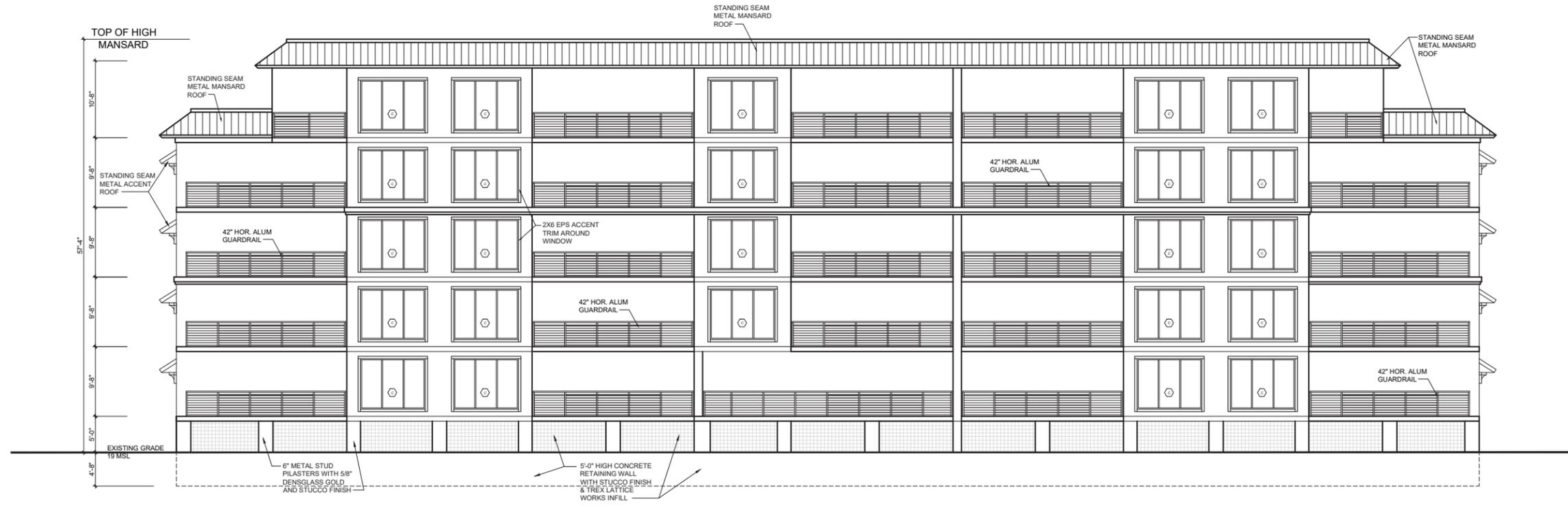
DATE: 5.21.2021  
REV:

A1.4

SHEET



1 FRONT ELEVATION  
A2.1



2 BACK ELEVATION  
A2.1

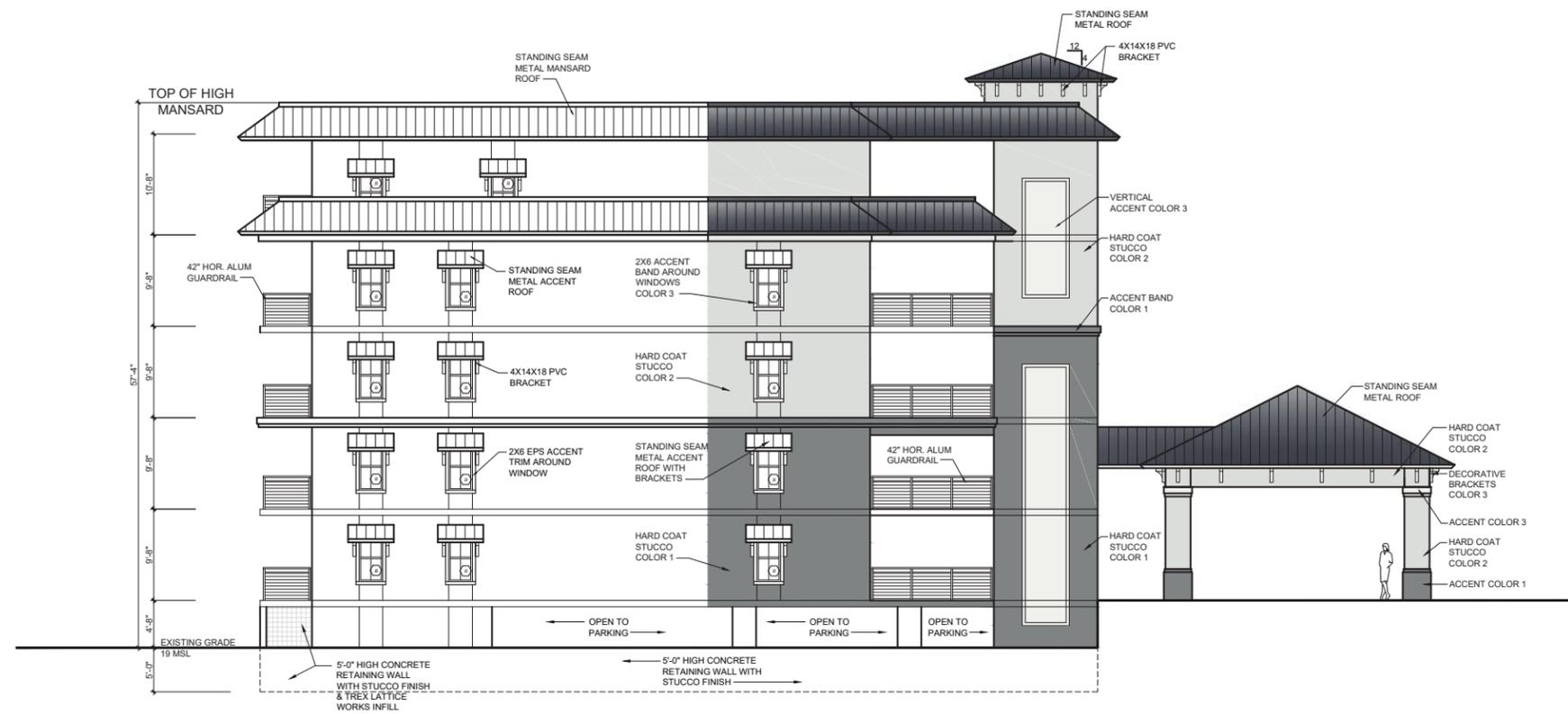
**THE CHARLES**  
EXTERIOR ELEVATIONS



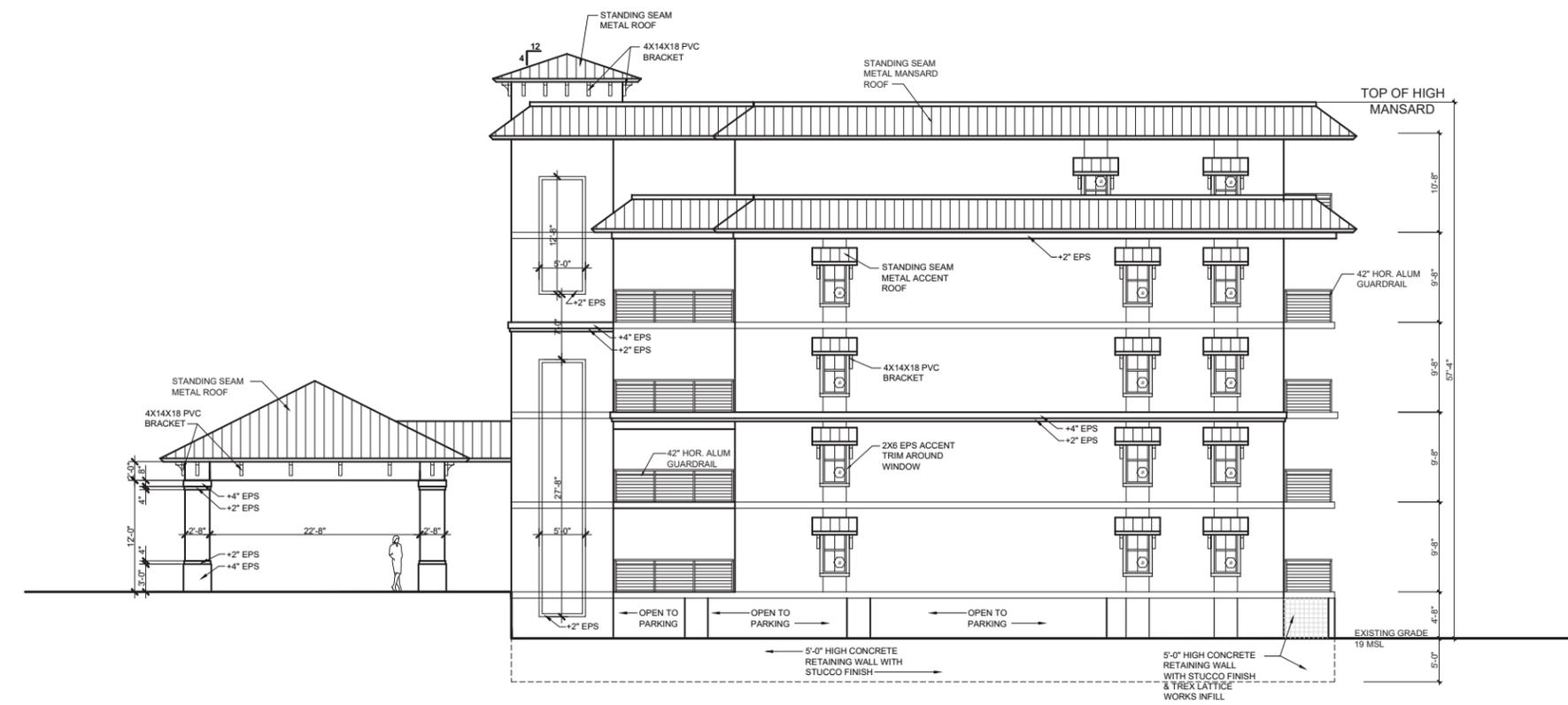
B Design  
Clint Burdett, AIA  
7 Bilston Ct.  
Irmo, SC 29063  
Phone  
803-422-5542  
Email  
cburdett3k@gmail.com

DATE: 5.21.2021  
REV:

**A2.1**  
SHEET



1 SIDE ELEVATION  
A2.2



2 SIDE ELEVATION  
A2.2

# THE CHARLES

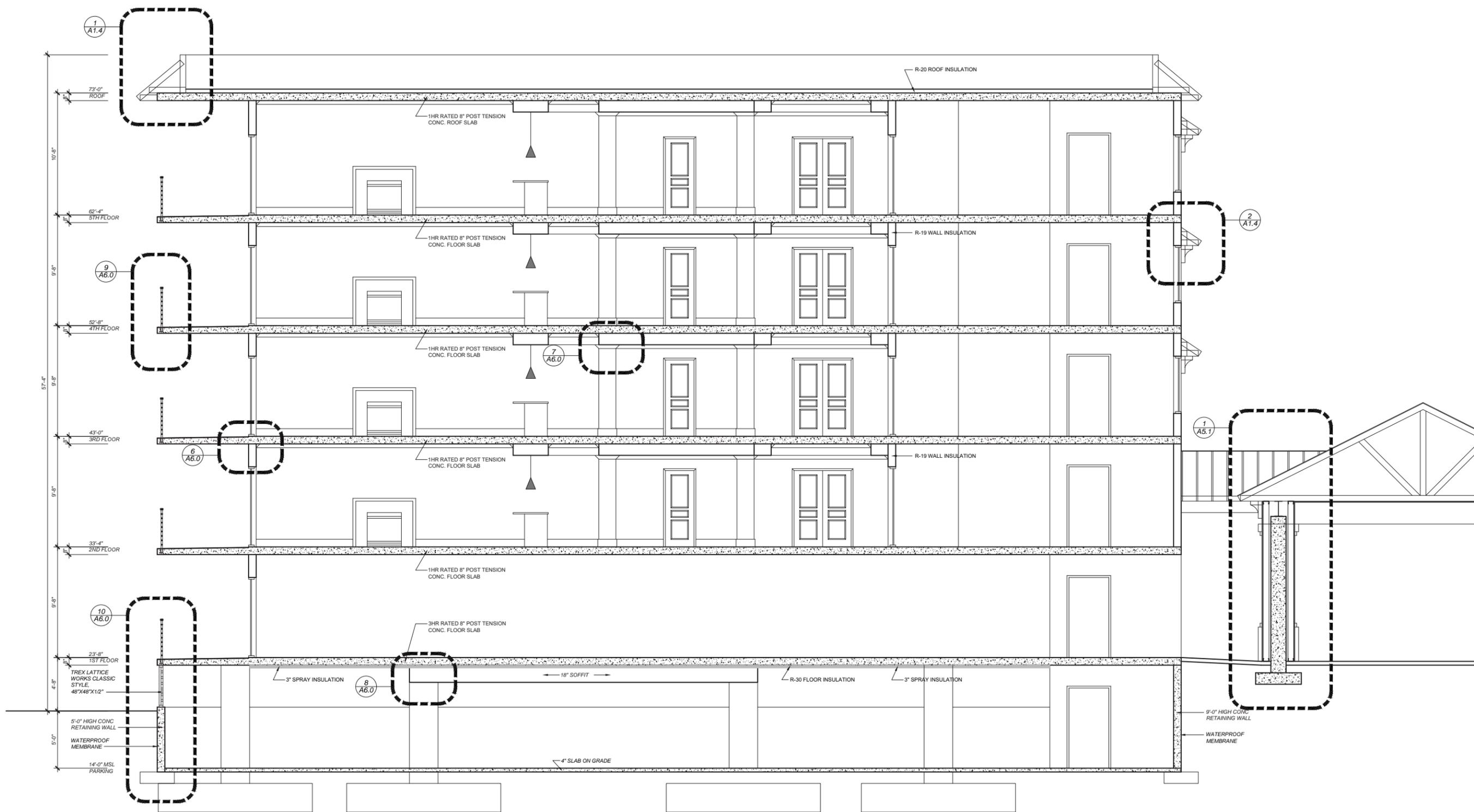
## EXTERIOR ELEVATIONS



B Design  
Clint Burdett, AIA  
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Irmo, SC 29063  
Phone  
803-422-5542  
Email  
cburdett3k@gmail.com

DATE: 5.21.2021  
REV:

A2.2  
SHEET



**THE CHARLES**  
BUILDING SECTION



B Design  
Clint Burdett, AIA  
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803-422-5542  
Email  
cburdett3k@gmail.com

DATE: 5.21.2021  
REV:

**A5.2**

**BUILDING SECTION**

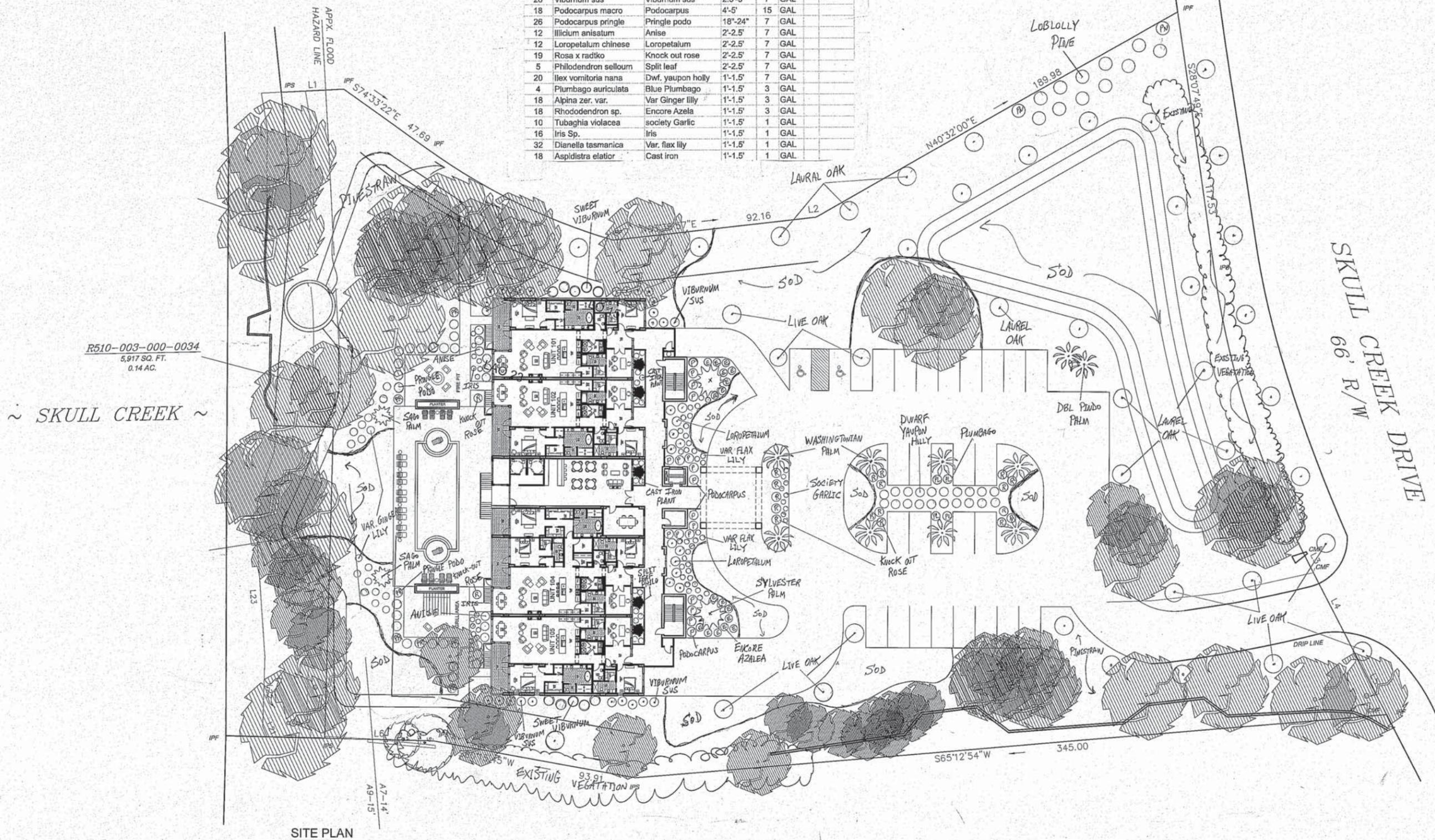
1/4"=1'-0"

# LANDSCAPE PLAN



**HORTICULTURAL SERVICES**  
 P.O. Box 22656  
 Hilton Head, SC. 29925  
 (843) 681-9079/Fax (843)681-8062

QTY	Botanical Name	Common Name	SIZE				
20	Quercus virg.	Live oak	10'-12'	30	GAL	2"	Cal
20	Quercus laurel.	Laurel oak	10'-12'	30	GAL	2"	Cal
13	Pinus teada	Loblolly pine	6'-7'	15	GAL	1"	Cal
8	Washingtonia robusta	Washie palm	8'-10'				B & B
2	Phoenix slyvestris	Silver date palm	8'-10'				B & B
2	Cycas revoluta	Sago Palm	2.5'-3'	15	GAL		
10	Viburnum odor	Sweet viburnum	4'-5'	15	GAL		
26	Viburnum sus	Viburnum sus	2.5'-3'	7	GAL		
18	Podocarpus macro	Podocarpus	4'-5'	15	GAL		
26	Podocarpus pringle	Pringle podo	18"-24"	7	GAL		
12	Illicium anisatum	Anise	2'-2.5'	7	GAL		
12	Loropetalum chinese	Loropetalum	2'-2.5'	7	GAL		
19	Rosa x radtko	Knock out rose	2'-2.5'	7	GAL		
5	Philodendron selloum	Split leaf	2'-2.5'	7	GAL		
20	Ilex vomitoria nana	Dwf. yaupon holly	1'-1.5'	7	GAL		
4	Plumbago auriculata	Blue Plumbago	1'-1.5'	3	GAL		
18	Alpina zer. var.	Var Ginger lily	1'-1.5'	3	GAL		
18	Rhododendron sp.	Encore Azela	1'-1.5'	3	GAL		
10	Tubaghia violacea	society Garlic	1'-1.5'	1	GAL		
16	Iris Sp.	Iris	1'-1.5'	1	GAL		
32	Dianella tasmanica	Var. flax lily	1'-1.5'	1	GAL		
18	Aspidistra elatior	Cast iron	1'-1.5'	1	GAL		



SITE PLAN

# THE CHARLES LANDSCAPE PLAN



B Design  
 Clint Burdett, AIA  
 7 Bilston Ct.  
 Irmo, SC 29063  
 Phone  
 803-422-5542  
 Email  
 cburdett3k@gmail.com

DATE: 5.3.2021  
 REV:

A8





## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Charles

DRB#: DRB-001440-2021

DATE: 06/12/21

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

The scale of the architecture is not in keeping with the surrounding architecture and, while not required for “Conceptual Approval” there are landscape and tree protection concerns that need to be addressed.

### ***APPLICATION MATERIAL***

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide wall sections and details at Final.

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. The Design Guide speaks to colors that are nature blending and not high contrast. That has historically been interoperated to exclude black and white. Staff suggest the use of bronzes instead of black and grays or beige instead of white.</li> <li>2. Consider breaking up the façade with a material to contrast the stucco.</li> </ol>

All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The “Back Elevation” sheet A2.1 lacks the architectural interest of the “Front Elevation”.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The tower elements to the left and right of the porte-cochere seem unfinished without a roof.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Revise the “vertical accents” on the elevator towers to be more in scale with the size of windows.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider use of another material on the exterior of the building.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify where the HVAC and other utilities are located (roof?).
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide an exterior lighting plan. Brightness or foot-candles must comply with LMO limits and fixtures cannot exceed 3000K.

### ***LANDSCAPE DESIGN***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scale of landscape appears inadequate. 1. The storm water detention should be planted is something other than lawn. 2. Trees are should be planted in a more natural layout instead of equidistant apart. 3. It is unclear how the landscape will relate to the buffer at water’s edge.
Provides for a harmonious setting for the site’s structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Canopy trees should be used in the parking lot instead of palms to shade the parking and visually mitigate the building.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Drastically reduce the area of lawn.

### ***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Specify pre and post construction fertilization and mycor treatment for all trees to be preserved close to construction. 2. Specify a 4-6” wood mulch under all trees to

				be preserved, installed prior to demolition. 3. Move proposed sidewalks away from tree trunks.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At final the Landscape Plan should include any required mitigation trees.

***MISC COMMENTS/QUESTIONS***

1. Staff is reviewing the possible existence of archeological ruins (tabby wall) on this site.
2. This project required a DPR, additional planning comments pending.
3. The architectural detail is less residential in scale and appearance than the surrounding properties.
4. ARB approval required at DRB Final.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: John K. Powell, AIA      Company: Seed Architecture, LLC  
 Mailing Address: 144 Sumter St., Suite A      City: Columbia State: SC Zip: 9201  
 Telephone: 03-727-2098 Fax: \_\_\_\_\_ E-mail: ohn@SeedArchitect.com  
 Project Name: Pope Avenue Starbucks      Project Address: 18 Pope Ave, Hilton Head, SC 29928  
 Parcel Number [PIN]: R 552 015 000 0150 0000  
 Zoning District: Light Commercial      Overlay District(s): DRB

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category :

Concept Approval – Proposed Development      \_\_\_\_\_ Alteration/Addition  
 Final Approval – Proposed Development      \_\_\_\_\_ Sign

Submittal Requirements for *All* projects:

\_\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\_\_\_\_\_ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

\_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

\_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

\_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

\_\_\_\_\_ Context photographs of neighboring uses and architectural styles.

\_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

\_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Application Submission Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Application Submission Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Application Submission Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - \_\_\_\_\_ Proposed landscaping plan.
- For wall signs:
- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
  - \_\_\_\_\_ Location, fixture type, and wattage of an proposed lighting.

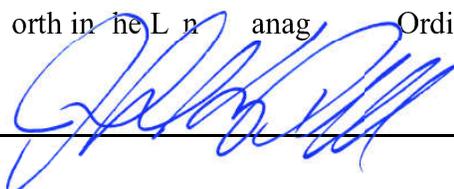
Note: All application items must be received before the meeting in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Local Management Ordinance may be suspended.

  
 \_\_\_\_\_  
 SIC

6/07/21  
 \_\_\_\_\_  
 DATE

June 7, 2021

Town of Hilton Head Island  
1 Town Center Court  
Hilton Head Island, SC 29928  
Attn: Mr. Chris Darnell, PLA  
Urban Designer

RE: Design Review Board Design Narrative for:  
Project Name: Starbucks – Hilton Head – Pope Avenue  
Address: 18 Pope Avenue, Hilton Head Island, SC 29928  
DRB Project Number: DRB-000951-2021

Mr. Darnell,

Thank you for your assistance with the proposed Starbucks to be located at 18 Pope Avenue. Please share this letter and remarks below as needed with the Design Review Board.

The 18 Pope Avenue project was initially reviewed by the Design Review Board on April 27<sup>th</sup> from which a number of comments were gathered. The project at the time was granted Approval with specific conditions per the notice received on April 30<sup>th</sup>. With regard to that submittal and comments received, I've provided response comments below in blue. Further below you will find additional comments based on a second set of design review comments received on May 28<sup>th</sup> which also included a site plan sketch suggested by Staff and which was used to significantly modify the site plan design.

Because of these two sets of comments, this document presents input from the board and staff, in two parts, representing all feedback received in writing since the April 27<sup>th</sup> Design Review Board meeting. In the case of revisions made initially based on the board comments and then subsequently revised based on the additional guidance received on May 28<sup>th</sup> the comments below in blue have been italicized showing modifications or additions due to the progressive sequence of the design. The drawings and supplemental information submitted in anticipation of the June 22<sup>nd</sup> DRB meeting are intended to reflect all of the input provided and the explanation of the changes below.

If there are any questions or concerns not addressed herein or is unclear in the provided drawings and documents, please let me know so that we can provide clarity ahead of the forthcoming Design Review Board meeting.

**Comments Received April 30<sup>th</sup> in Black with Response below in Blue:**

- 1) Address all of staff comments in the Design Team/DRB Comment Sheet. – These are as follows:
  - a. Promote Pedestrian scale and circulation. – *The pedestrian access has been aligned from the bike path to the front entry with corresponding adjustments to the landscape plan. This has been further modified in the latest stie plan design based upon the staff recommendations.*



- b. All facades have equal design characteristics. – The drive through entry elevation facing the protected buffer, as was discussed, has been detailed to include a trellis canopy design at the side entry, hip roof details at front and rear corners and a screen wall above and pulled back from the roof edge to hide necessary equipment.
  - c. Has a strong roof form with enough variety to provide visual interest. – Parapet walls have been eliminated in favor of hip roof forms used to conceal rooftop equipment from all major views of the building.
  - d. Decorative lighting is limited and low wattage and adds to the visual character – A site lighting plan has been submitted which provides for the minimum lighting required by Starbucks. Decorative lighting on the building is intentionally of low wattage (does not contribute to the required site lighting) and will be maintained not to exceed 3000K. *The site lighting plan has been further modified to reflect the revised site plan design.*
  - e. Accessory Elements are designed to coordinate with the primary structure – The site elements are furnished by Starbucks but have been included in the submittal package. It is our understanding that this package is identical to what was installed recently elsewhere on Hilton Head Island.
  - f. Treats the Landscape as a major element of the project. – The landscape plan has been entirely redesigned to incorporate native plants and to address the many concerns raised. *This design has been further modified based on additional comments and revisions to the overall site design.*
  - g. Preserves a variety of existing native trees and shrubs. - Confirmed, the landscape plan has been redesigned to preserve existing native trees and shrubs.
  - h. Native plants or plants that have historically been prevalent on the Island are utilized - Confirmed, the landscape plan has been revised to utilize native plant species.
  - i. Large grassed lawn areas encompassing a major portion of the site are avoided - Confirmed, the landscape plan has been redesigned to eliminate large lawn areas.
  - j. An effort has been made to preserve existing trees and under story plants - Confirmed, the landscape plan has been redesigned to preserve and focus on existing trees and understory plants.
  - k. Provide a chart for planting requirements for each 100' buffer section, modify the buffer designations for types C and E as required. – A chart has been provided with the new landscape plan/design.
  - l. Modify Planting schedule to be in accordance with Sec. 16-6-1-4.1 - Confirmed, the landscape plan has been redesigned in accordance with Section 16-6-4.1.
- 2) Include a revision on the side oaks and feather grass as far as appropriate taking into account the permissible disturbance and impervious areas beneath the significant trees. – The sidewalk paralleling the access street has been removed to better maintain the health of the side oaks. The use of grass has been modified, also, to reflect the preservation needs of the oak trees. *This has been further modified based on the revised site plan design.*

- 3) Provide service yard details. – A service screen wall has been added to the rear of the building for screening wall mounted equipment. Dumpster enclosure details have also been included.
- 4) A study of the roof line. – The roof line, particularly areas where parapet walls formerly screened mechanical equipment, has been revised to be of a mansard roof design. Additionally, the front canopy feature has been redesigned to resemble a covered trellis more in keeping with the design intent.
- 5) Removal of the bollards from sheet D301. – Bollards have been removed. *The site has been further redesigned based on input from staff to limit the loading zone usage to off-hour access.*
- 6) The study of pervious paving for any sidewalk access in and out of the site. – The only sidewalk now provided is from the bike path along Pope Avenue *which provides direct access to a bicycle parking area and then a crossing to the forward facing plaza.*
- 7) The additional study of an alternative bike parking location closer to the bike pathway along Pope Avenue. – *Bicycle parking has been modified to a location between the bike path and the drive entry to the property.*
- 8) All parapet elements shall be revised to a slope roof condition that still conceals the rooftop units. – *All parapets have been removed and the primary building elevations designed for a hip roof condition. A mansard style roof allows for the concealing of required rooftop mechanical equipment.*
- 9) A study of the material locations on the façade. –*The exterior materials have been modified to eliminate the Nichiha panels at center. The building now includes a 24" low brick veneer watertable, painted Hardie siding and the tall frieze has been substituted for a Hardie panel material broken up in mass by vertical battens. The roofline is now a more consistent hip condition with consistent overhang and gutter line.*
- 10) Ensure that the sign location along Pope Avenue is clearly indicated. – *The existing building site sign is anticipated to be reused and repurposed. This sign has been identified in the site plan documents.*
- 11) Ensure that the minimum flood elevation from the top of the slab is 11" [sic] and the plans and elevations should reflect such at submittal. – *In order to comply with the 11'-0" minimum flood elevation requirements, the bottom 18" of the building is being floodproofed by constructing a masonry stem wall at grade around the perimeter of the building and specifying a removable flood proofing system at each of the three doorways.*

**Comments Received May 28<sup>th</sup> in Black with Response below in Blue:**

- 1) Staff suggest the architecture be re-evaluated with the SeaTurtle Starbucks and new Wheelz building (at Pope and Executive) – *In re-evaluating the design with these examples in mind, the roof line has been revised to reflect a more clean and simple aesthetic with the removal of brackets, the entry arch feature and a simplified design for canopies and roof lines. The vertically layered color scheme is similar to the SeaTurtle Starbucks and includes a combination of board and batten materials, siding and gray storefront frames and gray standing seam roofing similar to the Wheelz location at the corner of Pope Avenue and Executive Park Road.*

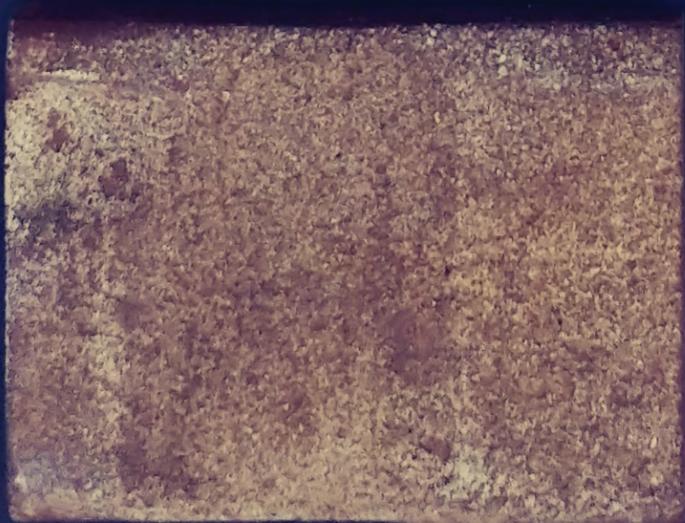
- 2) The pedestrian patch connection dumps people into the drive isle between potentially two parked cars creating a conflict with vehicular traffic. Staff has generated a site plan that improves pedestrian safety. -The walkway connection to the building has been redesigned, widened and modified significantly to reflect the sketch suggested by staff which addresses this pedestrian safety concern. A bicycle parking area has also been located on the Pope Avenue side of the drive entry lane so that bike traffic does not need to cross automotive traffic.
- 3) The existing parking in front eliminates the buffer but is an existing non conformity. Staff has generated a site plan that restores part of that buffer that would otherwise be required. – The parking layout has been revised to reflect the sketch suggested by staff which restores the majority of that buffer.
- 4) It is not clear where the different color are on the building. SW 7015 Repose Gray will wash out in the sun and should be used sparingly if at all. – The color scheme has been darkened while maintaining a generally light overall aesthetic. Physical samples of these colors have been submitted for review and approval and are, largely, comparable to the Wheelz building at the corner of Pope Avenue and Executive Park Road as a recommended design reference.
- 5) The brackets appear fussy and not in keeping with “Island Character”. – The brackets have been removed as recommended.
- 6) Conceptual Comment - At Final provide a lighting plan for all exterior fixtures compliant with LMO requirements and not exceeding 3000K. The submitted plan exceeds LMO allowed foot-candles and the light temperature specified exceeds 3000K. – The site lighting plan has been modified to reflect the new site design while also complying with the foot-candle limits and color temperature requirements.
- 7) 1. Specify the color of the interior of the dumpster enclosure. – The interior of the dumpster will be painted Sherwin Williams Studio Clay (SW 9172). 2. Specify the color of the dumpster gate and gate post on the detail – The dumpster enclosure gate and posts will also be painted Sherwin Williams Studio Clay (SW 9172). These colors have been listed on the dumpster enclosure drawings/details.
- 8) 1. Gordonia – This species is difficult to establish, a good alternative is Magnolia virginiana. Use as understory not as canopy tree in parking lot. – Confirmed, where applicable, the suggested cultivar has been substituted. 2. Persea – This species has been decimated by the ambrosia beetle. a good alternative is Magnolia virginiana. Use as understory not as canopy tree in parking lot. — Confirmed, where applicable, the suggested cultivar has been substituted. 3. Quercus laurifolia – preference is for Quercus virginiana. – Confirmed, where applicable, the suggested cultivar has been substituted.
- 9) Staff recommends all canopy trees be upgraded to 4” caliper min. – As recommended, all canopy trees have been upgraded to a minimum 4” caliper specimen.
- 10) Existing trees are not taken into consideration when locating new trees and shrubs. the landscape designer should visit the site to identify existing trees to be showcased in landscape. – The existing site was reviewed and new plantings have been spaced as much as possible based on buffer required tree and shrub plantings to account for the existing trees while also meeting requirements. A 10’ buffer has been established around critical root zone areas of trees to be showcased.
- 11) Asarum (Wild Ginger) – Is not generally available in nursery trade and is unproven in a commercial landscape. Good alternative groundcovers are: Dwarf

Fackahatchee Grass, othe ornamental grasses, and Liriope. – Confirmed, where applicable, the suggested cultivar has been substituted.

- 12) The existing buffer (including understory) between this site and the church should be inventoried and maintained through construction. supplemental planting may be required. (Comment Duplicated) – Existing plantings have been reviewed and will be maintained in keeping with the revisions made to the overall site plan to confirm to the recommended staff site sketch plan. Supplemental planting has been identified where appropriate.
- 13) Planting under existing trees should be done thoughtfully. Set plant 10' min. off trunk and avoid planting new canopy trees under existing trees. – As a way to focus on the existing trees, we highlighted the 10' critical root zone around all existing trees.
- 14) Vehicular circulation on the site is congested and not clear. This includes the parallel parking. Staff has generated attached site plan that improves circulation and eliminates the parallel parking. – The provided site plan sketch was extremely helpful and provided the basis for the newly submitted site plan submitted. In collaboration with staff, we feel the revised site design meets the goals of the staff, our client and the overall design goals of Hilton Head Island.

It is our hope that this updated design more meets the goals of the Hilton Head Design Review Board and may be approved for further documentation and construction. Additional suggestions for improvement are always welcome and we look forward to discussing the project again on June 22<sup>nd</sup>. As always, thank you for your assistance to our team and service to Hilton Head Island.

  
John K. Powell, AIA  
Seed Architecture, LLC

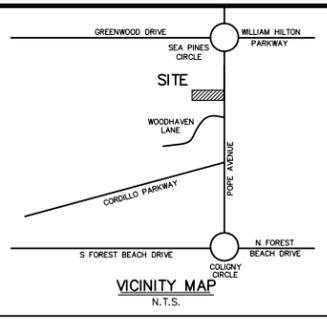


7067  
Landscape

SW 7068  
Grizzle Gray

**APPROVED**  
By Shea Farrar at 9:43 am, Jul 19, 2019

SW 7069  
Iron Ore



N/F THE TOWN OF  
HILTON HEAD ISLAND  
R552-015-000-0256-0000

N/F ST. ANDREWS BY THE SEA  
UNITED METHODIST CHURCH, INC.  
R552-015-000-0228-0000

0.826 ACRES

N/F ST. ANDREWS BY THE SEA  
UNITED METHODIST CHURCH, INC.  
R552-015-000-0228-0000

LEGEND:

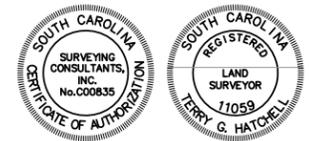
○	TREE SIZES ARE INCHES IN DIAMETER
○	SPOT ELEVATION
○	CONTOUR
○	CONC. O. CONCRETE MONUMENT, OLD (FOUND)
○	T.B.M. TEMPORARY BENCH MARK
○	I.N. IRON PIN, NEW (SET)
○	I.O. IRON PIN, OLD (FOUND)
○	N.T.S. NOT TO SCALE
○	R/W RIGHT-OF-WAY
○	AC. ACRES
○	SRV SEWER RELIEF VALVE
○	EB ELECTRICAL BOX
○	FH FIRE HYDRANT
○	GL GROUND LIGHT
○	HDPE HIGH DENSITY POLYETHYLENE
○	ICV IRRIGATION CONTROL VALVE
○	IE INVERT ELEVATION
○	LP LAMP POST
○	PVC POLYVINYL CHLORIDE
○	RCP REINFORCED CONCRETE PIPE
○	RCWM RECLAIMED WATER METER
○	TEL TELEPHONE BOX
○	TMH TELEPHONE MANHOLE
○	TRF TRANSFORMER
○	TV TELEVISION BOX
○	CO CLEANOUT
○	WM WATER METER
○	WV WATER VALVE
○	CYMT CREPE MYRTLE
○	HIC HICKORY
○	HOL HOLLY
○	LO LIVE OAK
○	MAG MAGNOLIA
○	PLM PALM
○	PN PINE
○	PN LOB PINE LOBLOLLY
○	WO WATER OAK

- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
  - AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.L.D. PANEL 13-D, COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
  - ONLY UNDERGROUND WATER AND SEWER LINES SERVING THE PROPERTY WERE MARKED BY CAROLINA LOCATES, DAN WILSON. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND WERE NOT FIELD VERIFIED BY EXCAVATION. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
  - NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
  - SURVEYING CONSULTANTS DOES NOT PROVIDE ARBORIST SERVICES. TREE IDENTIFICATIONS ARE MADE AS BEST OBSERVATION/KNOWLEDGE OF A NON-ARBORIST. A CERTIFIED ARBORIST SHOULD BE CONSULTED TO VERIFY TREE IDENTIFICATION, IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT.
  - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
  - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

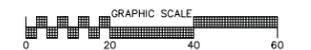
- REFERENCE PLAT:
- PLAT OF A 0.826 ACRE PORTION OF SEA PINES PLANTATION, AREA "E", HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: JANUARY 17, 1973, BY: NATHAN CONERLY BOWERS, S.C.R.L.S. NO. 4116, RECORDED: P.B. 20, PG. 207, DATE: 3/29/73.
  - A COMPOSITE PLAT OF PARCELS LOCATED BETWEEN POPE AVENUE AND SEA PINES FOREST PRESERVE, HILTON HEAD ISLAND, SOUTH CAROLINA, COUNTY OF BEAUFORT, DATED: 6-28-77; LATEST REVISION: 3/9/79, BY: JERRY L. RICHARDSON, S.C.REG.L.S. NO. 4784, RECORDED: UNKNOWN.
  - ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR: POPE AVE. HILTON HEAD 2021, LLC, DESCRIPTION: 18 POPE AVENUE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: DECEMBER 21, 2020, BY: J. HENRY WALKER, III, SCPLS 14532, RECORDED: UNKNOWN.
  - PLAT OF 1.6 ACRES, A SECTION OF SEA PINES PROPERTY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: NOV. 13, 1975, BY: JERRY L. RICHARDSON, S.C.REG.L.S. NO. 4784, RECORDED: P.B. 24, PG. 33.
  - BOUNDARY SURVEY OF 4.73 ACRES, ST. ANDREW BY THE SEA, UNITED METHODIST CHURCH, POPE AVENUE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 8/20/97, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 62, PG. 135, DATED: 10-31-97.
  - A BOUNDARY AND WETLAND DELINEATION SURVEY OF TAX PARCEL NO. 550-15-256, 10 ACRE POPE AVENUE TRACT, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 10/3/00, BY: WRIGHT C. POWERS, JR., S.C.R.L.S. NO. 19895, RECORDED: P.B. 79, PG. 114, DATED: 04/13/2001.
  - PERMANENT PATHWAY EASEMENT OVER: TAX PARCEL R552 015 000 0150 0000, POPE AVENUE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND, DATED: 05/13/2015, BY: MARK R. RENEW, S.C.P.L.S. NO. 25437, RECORDED: UNKNOWN.

TOWN OF HILTON HEAD ISLAND LMO  
SECTION 16-5-1402 DISCLOSURE STATEMENT

Some or all areas on this plat are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tidal waters associated with possible hurricanes. Local regulations require that certain floor hazard protective measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.



PREPARED FOR: POPE AVE. HILTON HEAD 2021, LLC  
ADDRESS: #18 POPE AVENUE  
TAX PARCEL I.D. NO. R552-015-000-0150-0000



BOUNDARY, ASBUILT,  
TREE & TOPOGRAPHIC  
SURVEY OF

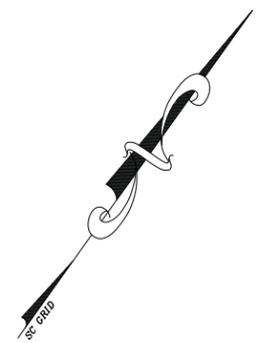
**0.826 Ac., POPE AVENUE**

A PORTION OF  
**AREA "E"**

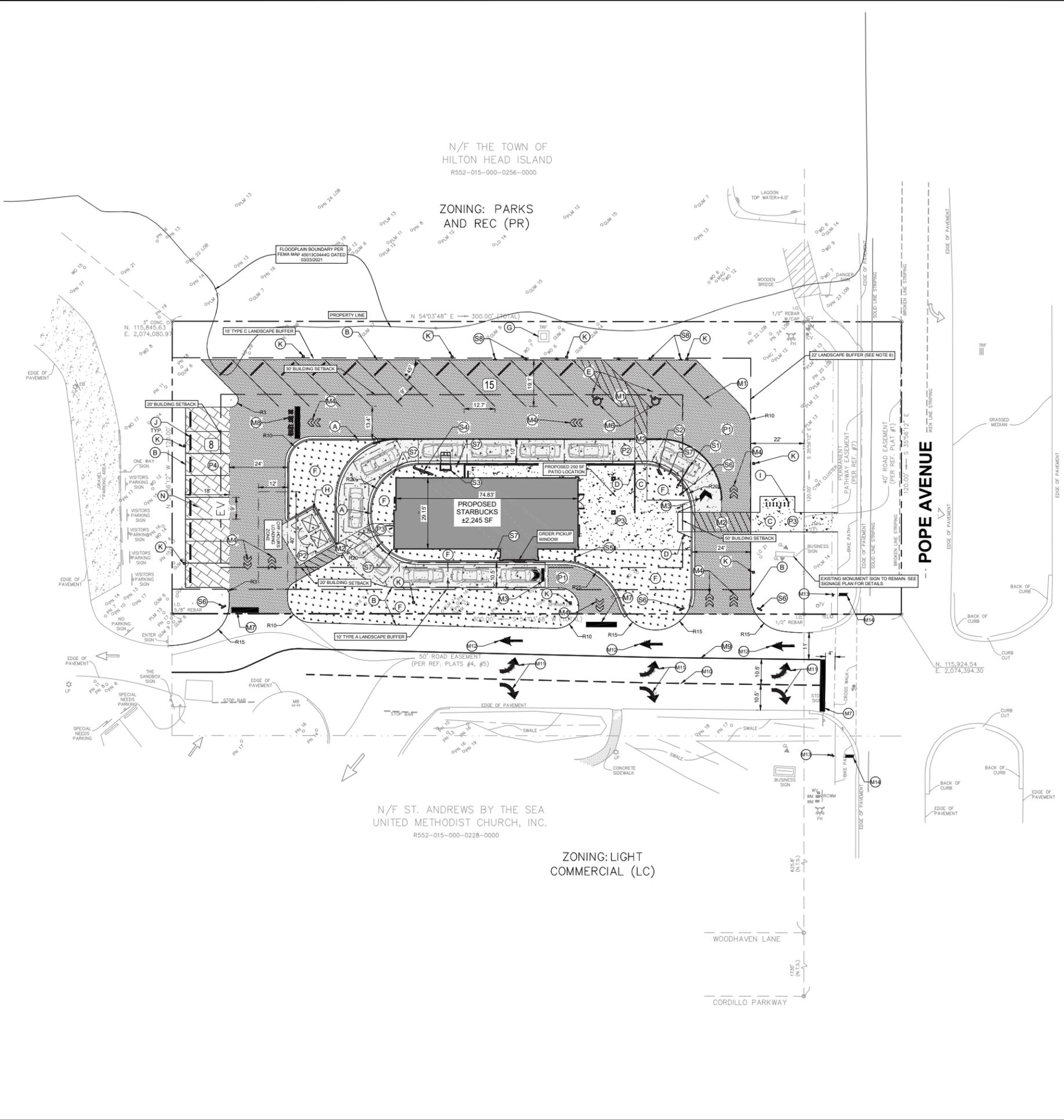
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 20' DATE: 03/11/2021 JOB NO: SC85136B  
REVISED: 05/03/2021 TO ADD APPROXIMATE LOCATIONS OF UNDERGROUND SEWER & WATER LINES

**SG SURVEYING CONSULTANTS**  
17 Sherington Drive, Suite C, Bluffton, SC 29910  
SC Telephone: (843) 815-3304 FAX: (843) 815-3305  
GA Telephone: (912) 828-2775  
www.SurveyingConsultants.com  
Email: SC@SurveyingConsultants.com



Plotted By: Macfie, Evan. Sheet Set: CL-1D-SSM TEMPLATE. Layout: C301. Date: June 10, 2021. 06:06:17pm. K:\CHL\_PR\A\014111 Hartzog Holdings\001 Pope Ave Hilton Head SC\02 - DWG\PlanSheets\C301 - SITE.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE DATA TABLE	
<b>DEVELOPMENT DATA:</b>	
TAX PARCEL ID	R552 015 000 0150 0000
LAND USE	RESTAURANT
TOTAL LOT AREA	30.72 ACRES
TOTAL DISTURBED AREA	0.71 ACRES
<b>ZONING DATA:</b>	
FEMA FLOOD PANEL	450250013D
WATERSHED:	SAVANNAH
ZONING DISTRICT:	LIGHT COMMERCIAL
<b>BUILDING:</b>	
PROPOSED BUILDING SQ. FOOTAGE	2245 SF
PROPOSED PATIO SQ. FOOTAGE	250 SF
<b>BUILDING SETBACKS:</b>	
FRONT (POPE AVE.)	50 FEET
SIDE (SOUTHEAST)	20 FEET
SIDE (NORTHWEST)	30 FEET
REAR	20 FEET
<b>LANDSCAPE BUFFERS:</b>	
FRONT (POPE AVE.)	22 FEET
SIDE (SOUTHEAST)	10 FEET
SIDE (NORTHWEST)	15 FEET
REAR	NONE
<b>PARKING:</b>	
PROVIDED:	23
STANDARD PARKING:	21
ADA PARKING:	2 (INCL. 1 VAN)
REQUIRED:	25
(1 SPACE / 100 GSF + 1 SPACE / 100 SF PATIO):	
STANDARD PARKING:	23
ADA PARKING:	2 (VAN)
REQUIRED WITH 10% REDUCTION PER LMO SEC 16-6-107 D.1:	23
ADDITIONAL BICYCLE PARKING REQUIRED WITH 10% REDUCTION:	1
<b>BICYCLE PARKING</b>	
PROVIDED:	14
REQUIRED:	11
(4 BICYCLE SPACES / 10 PARKING SPACES + ADDITIONAL REQUIRED FROM PARKING REDUCTION)	
<b>IMPERVIOUS AREA</b>	
EXISTING:	0.45 AC
PROPOSED TOTAL:	0.41 AC

- SITE DEVELOPMENT PLAN NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL CONSTRUCTION NOTES, PAVING, STRIPING, GRADING, AND ZONING NOTES.
  - SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
  - SEE "SITE DETAILS" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
  - ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED.
  - DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
  - BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - NON-COMFORMITY WAIVER SUBMITTED FOR LANDSCAPE BUFFER WIDTH ALONG POPE AVENUE.

**PROPOSED IMPROVEMENTS LEGEND**

[Symbol]	BUILDING / STRUCTURE	[Symbol]	PROPERTY BOUNDARY
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT	[Symbol]	SETBACK (BUILDING)
[Symbol]	HEAVY DUTY CONCRETE PAVEMENT	[Symbol]	18" CURB AND GUTTER
[Symbol]	CONCRETE SIDEWALK	[Symbol]	PROPOSED VEGETATION
[Symbol]	PERMEABLE PAVERS		

- SITE PLAN KEY NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL NOTES.
  - SEE "SITE DETAIL" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
  - CONTRACTOR TO MATCH EXISTING PAVEMENT SECTIONS.
- PAVEMENT SECTIONS - ON-SITE**
- |          |                               |          |
|----------|-------------------------------|----------|
| [Symbol] | HEAVY DUTY ASPHALT PAVEMENT:  | [Symbol] |
| [Symbol] | HEAVY DUTY CONCRETE PAVEMENT: | [Symbol] |
| [Symbol] | CONCRETE SIDEWALK:            | [Symbol] |
| [Symbol] | PERMEABLE PAVERS:             | [Symbol] |

- SITE IMPROVEMENTS**
- |          |  |
|----------|--|
| [Symbol] | 18" CURB AND GUTTER  |
| [Symbol] | NO CURB  |
| [Symbol] | CONCRETE SIDEWALK PER DETAIL. WIDTH PER PLAN. 2% MAX. CROSS SLOPE, 5% MAX. LONGITUDINAL SLOPE.                               |
| [Symbol] | ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES.                            |
| [Symbol] | ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL FOR PARKING SPACE SIZE, SIGN AND SYMBOL. (*VAN INDICATES VAN ACCESSIBLE SPACE). |
| [Symbol] | SEED, SOIL, AND/OR LANDSCAPE AREA. MINIMUM 4" OF TOPSOIL. SEE LANDSCAPE PLANS THIS SET.                                      |
| [Symbol] | EXISTING TRANSFORMER TO REMAIN.  |
| [Symbol] | DUMPSTER AND RECYCLE AREA. REFER TO ARCHITECTURAL PLAN FOR DESIGN INFORMATION.   |
| [Symbol] | BICYCLE PARKING RACK (7 RACKS, 14 SPACES)  |
| [Symbol] | WHEEL STOP (SEE SITE DETAILS)  |
| [Symbol] | PROPOSED LIGHT POLE BASE   |
| [Symbol] | LOADING ZONE   |
| [Symbol] | ELECTRIC CAR CHARGING STATION  |

- SITE SIGNAGE**
- |          |                           |
|----------|---------------------------|
| [Symbol] | CLEARANCE BAR             |
| [Symbol] | PRE-MENU BOARD            |
| [Symbol] | ORDER CANOPY              |
| [Symbol] | MENU BOARD                |
| [Symbol] | THANK YOU/EXIT ONLY SIGN  |
| [Symbol] | DRIVE THROUGH SIGNAGE     |
| [Symbol] | NON-ILLUMINATED BOLLARDS  |
| [Symbol] | LIMITED TIME PARKING SIGN |
- \*SEE ARCHITECTURAL DRAWINGS FOR SITE SIGNAGE DETAILS.

- PAVEMENT MARKINGS**
- |          |  |
|----------|--|
| [Symbol] | 4" TRAFFIC YELLOW STRIPING 2'-0" O.C., 45° TO THE PARKING SPACE (TYP.) OR TRAFFIC FLOW.  |
| [Symbol] | PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. |
| [Symbol] | STARBUCKS DRIVE-THRU ENTRANCE/EXIT ARROW   |
| [Symbol] | STARBUCKS DRIVE AISLE DIRECTION ARROWS   |
| [Symbol] | 6" YELLOW STRIPING   |
| [Symbol] | ADA PARKING SYMBOL STRIPING  |
| [Symbol] | 2" WHITE THERMOPLASTIC STOP BAR  |
| [Symbol] | "DO NOT ENTER" TEXT W/ 1" WHITE THERMOPLASTIC STOP BAR   |
| [Symbol] | SOLID YELLOW LANE STRIPING   |
| [Symbol] | DASHED WHITE LANE STRIPING   |
| [Symbol] | WHITE TURN ARROW   |
| [Symbol] | WHITE THROUGH ARROW  |
| [Symbol] | BICYCLE/PEDESTRIAN PATHWAY STOP SIGN   |
| [Symbol] | 1" WHITE BICYCLE/PEDESTRIAN SOUTHBOUND THERMOPLASTIC STOP BAR  |

**GRAPHIC SCALE IN FEET**

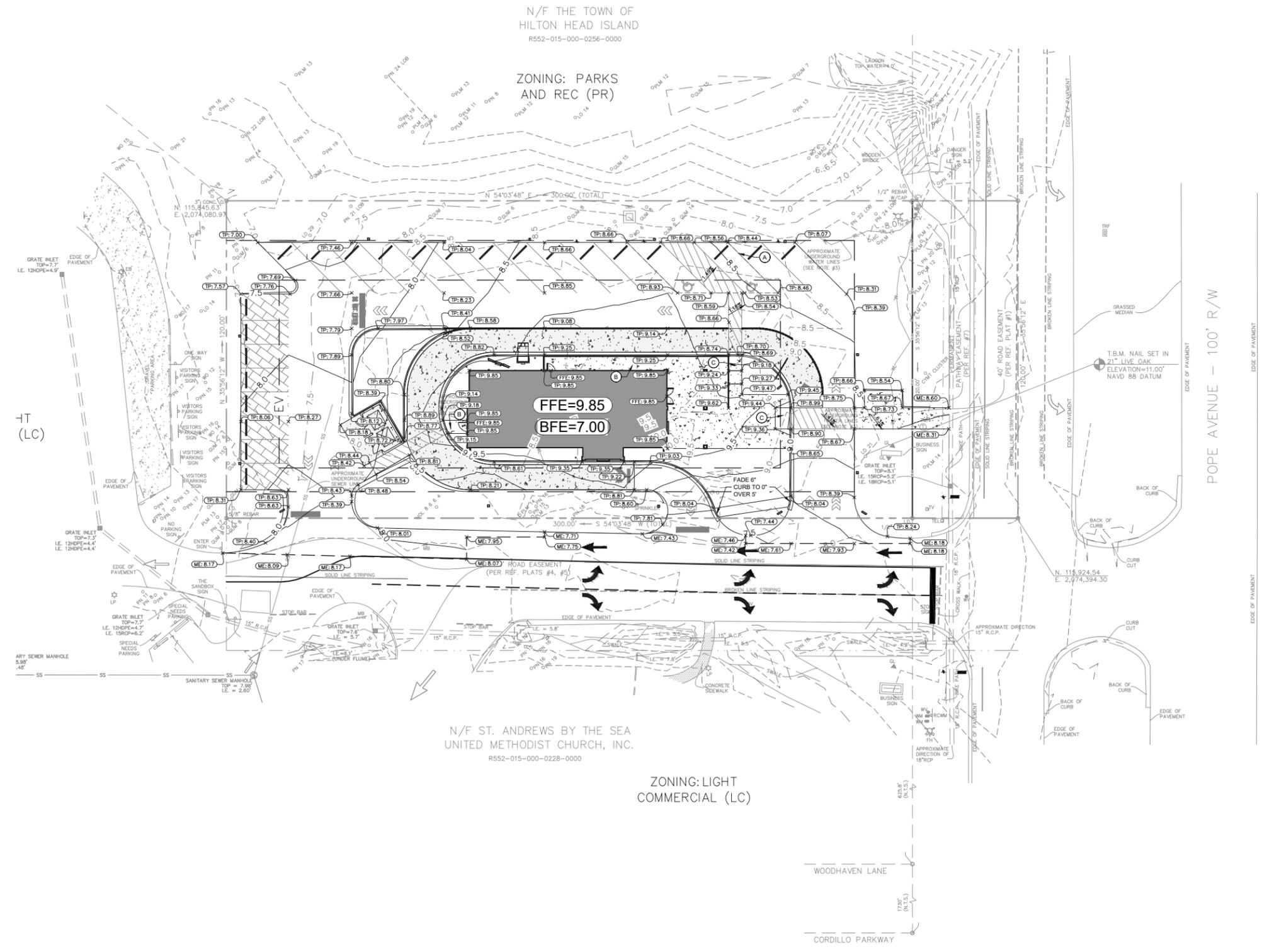
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**South Carolina 811**

**Kimley-Horn & Associates, Inc.**  
 115 FARCHILD ST., SUITE 250  
 CHARLESTON, SC 29492  
 PHONE: 843-737-6390  
 WWW.KIMLEY-HORN.COM

KHA PROJECT: 014111001		DATE: 06/11/2021		SCALE: AS SHOWN		DESIGNED BY: KHK		DRAWN BY: JPM		CHECKED BY: MJH	
KIMLEY-HORN & ASSOCIATES, INC.		SOUTH CAROLINA PROFESSIONAL ENGINEERING REGISTRATION BOARD		No. 000166		EXPIRES 12/31/2024		SOUTH CAROLINA		DATE	
<b>SITE PLAN</b>											
<b>STARBUCKS - POPE AVENUE</b> PREPARED FOR: <b>HARTZOG HOLDINGS, LLC.</b> BEAUFORT COUNTY SOUTH CAROLINA											
SHEET NUMBER <b>C301</b>											

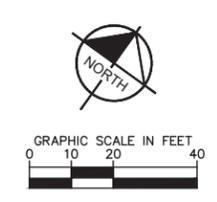
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**PROPOSED TOPOGRAPHIC LEGEND**

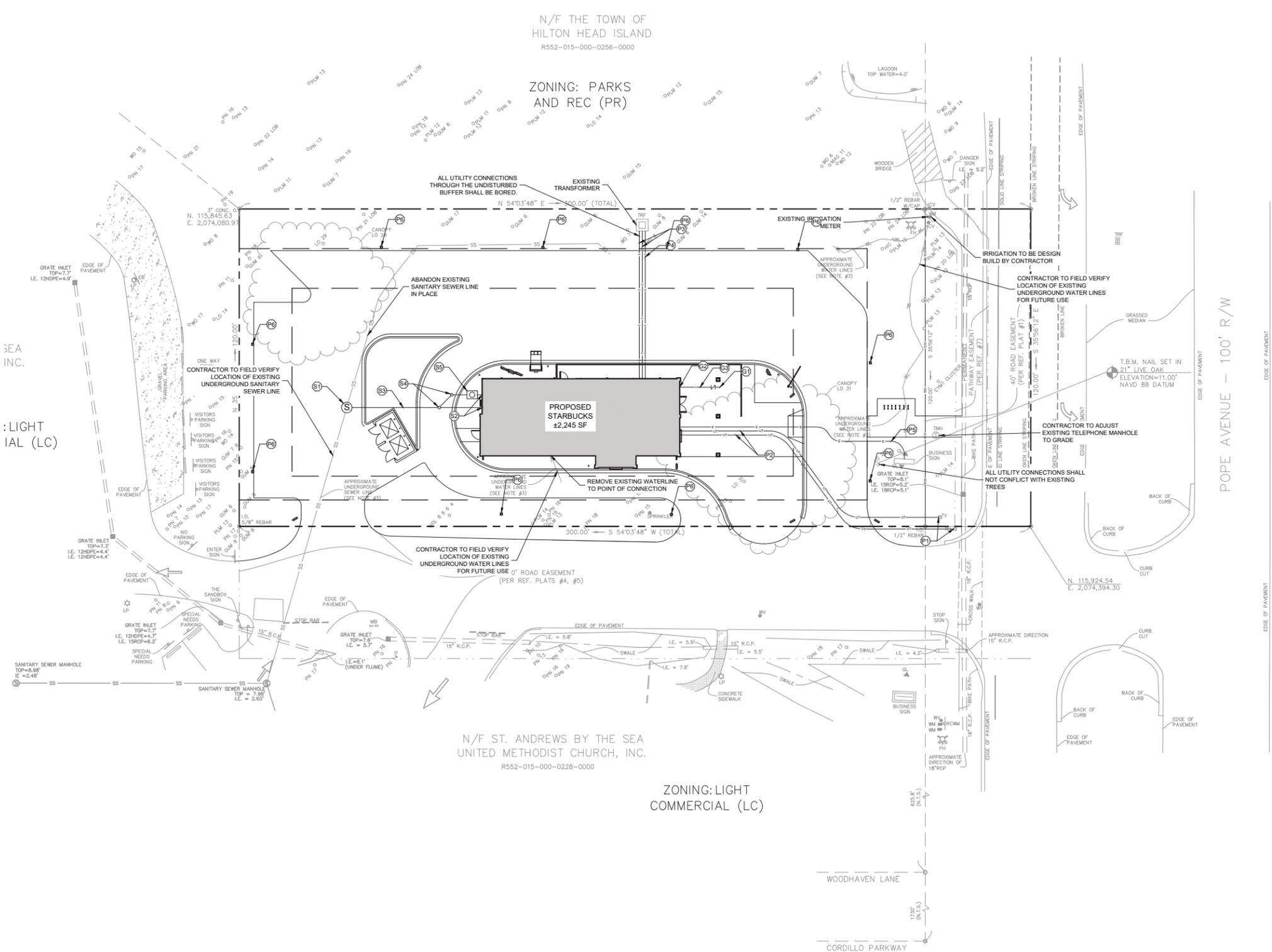
450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
GB	GRADE BREAK (GB)	LOD	LIMITS OF DISTURBANCE
HP	HIGH POINT (HP)	TP:107.89	PROPOSED SPOT GRADE
LP	LOW POINT (LP)	TP	TOP OF PAVEMENT
ME	MATCH EXISTING (ME)	TC	TOP OF CURB
2.00%	PROP. SLOPE GRADE	FG	FINAL GRADE
4:1	PROP. RUN:RISE	ME	MATCH EXISTING
		HP	HIGH POINT
		FFE	FINISHED FLOOR ELEV.

- GRADING PLAN NOTES**
- (A) OUTLINED AREA REPRESENTS THE OUTLINE OF ADA SPACES (PAVEMENT SLOPES WITHIN THE LIMITS OF THIS AREA HAVE BEEN DESIGNED AT 1.8% MAXIMUM GRADE. CONTRACTOR SHALL GRADE THESE AREAS NO STEEPER THAN 2.0%).
  - (B) SIDEWALK AND CROSSWALK CROSS-SLOPES SHALL NOT EXCEED 3/16" PER LINEAR FOOT (MAX. 2%, SEE DETAIL). 5% MAX. LONGITUDINAL SLOPE.
  - (C) ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES.
  - (D) STANDARD SPILL CURB TO PROVIDE NATURAL FLOW AWAY FROM CURB.
  - (E) VARIABLE HEIGHT SEGMENTED RETAINING WALL - NOT IN USE
  - (F) ALL PAVEMENT SPOT GRADES ELEVATIONS ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
  - (G) ALL SPOT GRADES DEPICT FINISH GRADE UNLESS OTHERWISE NOTED.
  - (H) NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
  - (I) MATCH EXISTING ELEVATIONS AT THE LANDSCAPE BUFFERS WHERE APPLICABLE. OTHERWISE AT THE PROPERTY LIMITS. GRADING ON ADJACENT PROPERTY SHALL REQUIRE SLOPE PERMISSION. CONTRACTOR SHALL NOT COMMENCE WORK ON ADJACENT PROPERTY UNTIL SUCH AGREEMENT IS IN PLACE.



<p><b>STARBUCKS - POPE AVENUE</b>                  PREPARED FOR  <b>HARTZOG HOLDINGS, LLC.</b>                  SOUTH CAROLINA</p>	<p><b>GRADING AND DRAINAGE PLAN</b></p>								
<p>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.                  115 FARCHILD ST. SUITE 250                  CHARLESTON, SC 29492                  PHONE: 843-737-6390                  WWW.KIMLEY-HORN.COM</p>	<p><b>Kimley-Horn</b></p>								
<p>KHA PROJECT: 014111001                  DATE: 06/11/2021                  SCALE: AS SHOWN                  DESIGNED BY: KHK                  DRAWN BY: JPM                  CHECKED BY: MJH</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	REVISIONS	DATE	BY				
No.	REVISIONS	DATE	BY						
<p>SHEET NUMBER <b>C401</b></p>	<p>South Carolina 811</p>								

Plotted By: Macfie, Evan. Sheet Set: CL-1-D-SSM TEMPLATE Layout: C501 - UTIL June 10, 2021 06:00:39pm K:\CHL\_FR\_014111 Hartzogs Holdings\001 Page Ave Hilton Head SC\02 - DWG\PlanSheets\C501 - UTIL.dwg  
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UTILITY KEYNOTE LEGEND	
SANITARY SEWER KEYNOTES	
(S1)	CONTRACTOR TO COORDINATE SANITARY SEWER MANHOLE CONNECTION WITH THE CITY/TOWN PUBLIC UTILITIES.
(S2)	4" PVC SANITARY SERVICE. INV OUT FROM BUILDING AT 48" BELOW FFE.
(S3)	PRIVATE 4" SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE. COORDINATE WITH ARCH / MEP PLANS.
(S4)	CLEANOUT(S) - (PH-20" TRAFFIC RATED IN ALL PAVED AREAS), SPACING PER GOVERNING AGENCY.
(S5)	1000 GALLON GREASE INTERCEPTOR. SEE DETAIL. REFER TO ARCH/MEP PLANS FOR CONNECTION AT BUILDING.
POWER - COMMUNICATION (TELEPHONE, FIBER OPTIC, DATA, TV) KEYNOTES	
(P1)	CONTRACTOR TO COORDINATE UTILITY CONNECTION WITH THE CITY/TOWN PUBLIC UTILITIES.
(P2)	COMMUNICATION (PHONE, DATA, TV) SERVICE - (2) 4" CONDUITS.
(P3)	ELECTRICAL SERVICE - (2) 4" CONDUITS - TO TRANSFORMER BY POWER COMPANY.
(P4)	ELECTRICAL CONDUIT TO MANAGER'S WORKSTATION - (1) 4" CONDUIT
(P6)	ELECTRIC CONDUIT TO MONUMENT SIGN - 1" CONDUIT.
(P8)	LIGHTING FIXTURE - SEE LIGHTING PLAN BY OTHERS.
GAS SERVICE KEYNOTES	
(G1)	GAS SERVICE BY UTILITY COMPANY. CONTRACTOR TO COORDINATE UTILITY CONNECTION WITH THE CITY/TOWN PUBLIC UTILITIES.
(G2)	GAS METER LOCATION PER UTILITY COMPANY'S REQUIREMENTS.
(G3)	2" GAS SERVICE TO BUILDING.

UTILITY LEGEND:	
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING STORM STRUCTURE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED NATURAL GAS LINE
	PROPOSED SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED SANITARY SEWER MANHOLE

- UTILITY NOTES:**
- SEE GENERAL NOTES SHEET FOR SITE GENERAL NOTES AND ZONING NOTES.
  - REFER TO GENERAL NOTES SHEET FOR GENERAL, WATER UTILITY AND SANITARY SEWER NOTES, MATERIALS AND REQUIREMENTS.
  - PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES ROUNDED TO THE NEAREST FOOT.
  - CONTRACTOR TO HORIZONTALLY AND VERTICALLY VERIFY LOCATIONS OF EXISTING SANITARY SEWER AND WATER LINES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - ALL UTILITY CONNECTIONS SHALL NOT CONFLICT WITH EXISTING TREES.
  - CONTRACTOR SHALL REFER TO ARCH / MEP PLANS FOR EXACT UTILITY ENTRANCE LOCATIONS.



STARBUCKS - POPE AVENUE PREPARED FOR HARTZOGS HOLDINGS, LLC. SOUTH CAROLINA

UTILITY PLAN

DATE: 06/11/2021  
 SCALE: AS SHOWN  
 DESIGNED BY: KHK  
 DRAWN BY: JPM  
 CHECKED BY: MJH

PROJECT: KHA PROJECT 014111001

DATE: 06/11/2021

SCALE: AS SHOWN

DESIGNED BY: KHK

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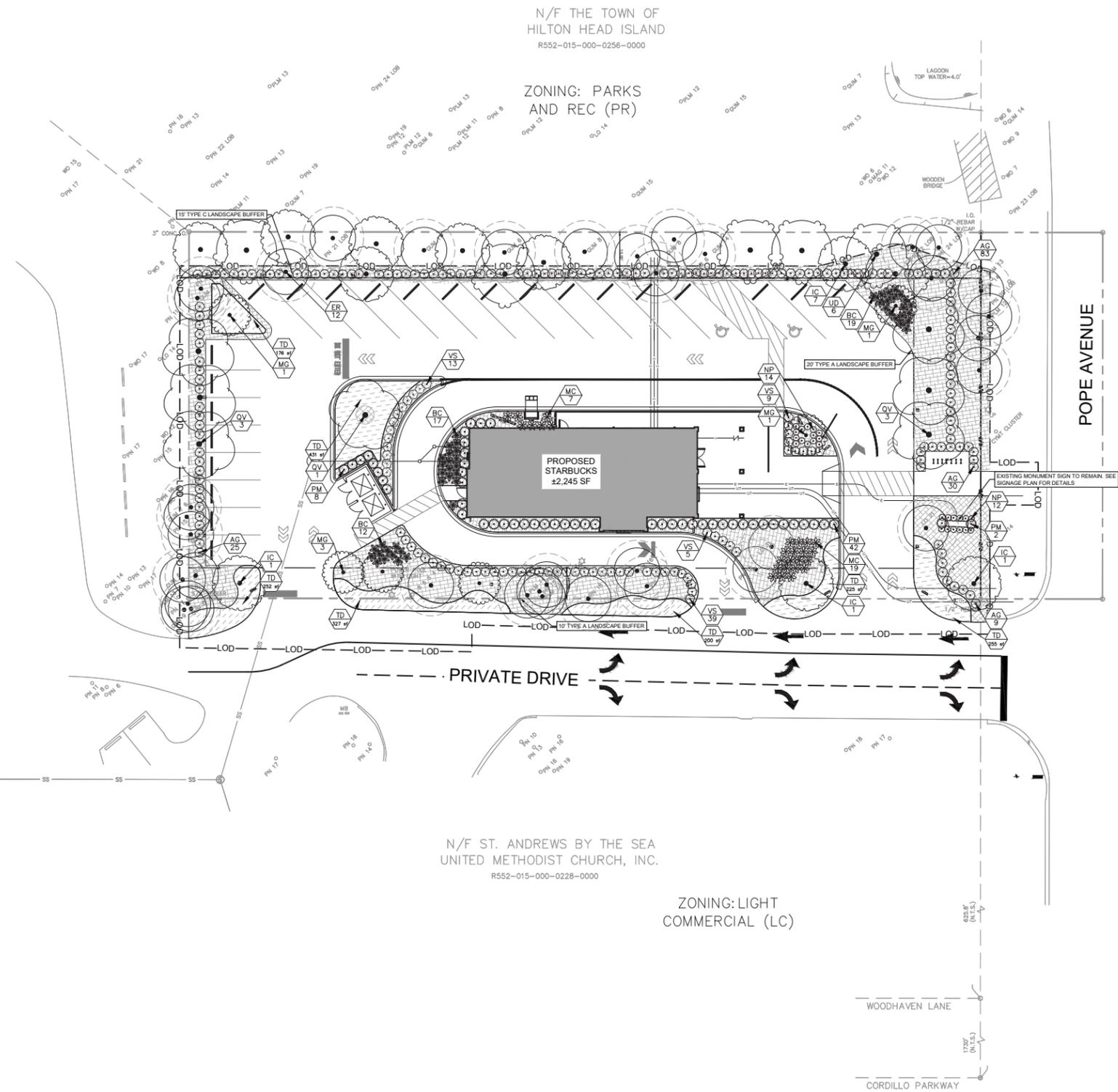
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REVISIONS

DATE

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N/F THE TOWN OF  
 HILTON HEAD ISLAND  
 R552-015-000-0256-0000

ZONING: PARKS  
 AND REC (PR)

N/F ST. ANDREWS BY THE SEA  
 UNITED METHODIST CHURCH, INC.  
 R552-015-000-0228-0000

ZONING: LIGHT  
 COMMERCIAL (LC)

PLANT SCHEDULE				
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	IC	10	Ilex cassine / Dahoon Holly	1-2" cal x 8-10' ht x 4-5' spr
	MG	6	Magnolia virginiana 'Greenbay' / Sweet Bay Magnolia	1-2" cal x 8-10' ht x 4-5' spr
	QV	7	Quercus virginiana / Southern Live Oak	4" CAL
	UD	6	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	4" CAL
EXISTING TREE	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	ER	37	Existing Tree	Protect in Place
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	AG	147	Abelia x grandiflora / Glossy Abelia	36" ht., 36" Spr., 36" O.C.
	PM	52	Podocarpus macrophyllus 'Maki' / Maki Podocarpus	36" ht., 36" Spr., 36" O.C.
	VS	64	Viburnum suspensum / Sandankwa Viburnum	36" ht., 36" Spr., 36" O.C.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	BC	48	Bouteloua curtipendula / Side Oats Grama	18" ht x 18" spr
	MC	26	Muhlenbergia capillaris / Pink Muhly Grass	18" ht x 18" spr
	NP	26	Nassella tenuissima 'Pony Tails' / Mexican Feathergrass	12" ht x 12" spr
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
	PS	8,219 sf	Longleaf Pine Straw / -	-
	TD	1,866 sf	Tripsacum dactyloides nana / Dwarf Fakahatchee Grass	3 gal.

LANDSCAPE REQUIREMENTS		
<b>BUFFER REQUIREMENTS (per city code section 16.5.103)</b>		
<b>Pope Avenue Buffer (Class A, Option 2) 120 linear feet</b>		
	<b>Required</b>	<b>Provided</b>
Width	20ft.	22 ft.
Overstory Trees	2 per 100 ft. = 3 trees required	3 proposed trees
Understory Trees	3 per 100 ft. = 3 trees required	5 existing trees
Shrubs	10 per 100 ft = 10 evergreen shrubs required	32 evergreen shrubs
<b>Private Road Buffer (Class A, Option 2) 262 linear feet</b>		
	<b>Required</b>	<b>Provided</b>
Width	10 ft.	10 ft.
Overstory Trees	3 per 100 ft. = 8 trees required	8 existing trees
Understory Trees	4 per 100 ft. = 10 trees required	6 existing trees, 6 proposed trees
Shrubs	10 per 100 ft = 26 evergreen shrubs required	33 shrubs
<b>North West Buffer (Class C, Option 2) 262 linear feet</b>		
	<b>Required</b>	<b>Provided</b>
Width	15 ft.	15 ft.
Overstory Trees	4 every 100 ft. = 11 trees	12 existing trees
Understory Trees	5 per 100 ft. = 13 trees	13 proposed trees
Shrubs	solid evergreen hedge	solid evergreen hedge
<b>TREE SAVE REQUIREMENTS (per city code section 16.6.104.1)</b>		
<b>Site Area</b>	<b>Required</b>	<b>Provided</b>
Redevelopment of Existing Site	Trees that are removed shall be replaced at the rate of one tree for every ten tree inches removed per tree category 71 caliber inches removed (5 trees) = 7 trees to be replanted	7 trees provided

**ATTENTION CONTRACTOR/LANDSCAPER**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SITE, SIGNS, OVERHEAD POWERLINES OR OTHER UTILITIES. NOTE: NO LIGHT/UTILITY POLES TO BE PLACED IN ISLANDS WITH NEWLY PLANTED TREES.

**GENERAL NOTES:**

1. PERMANENT STABILIZATION SHALL BE ESTABLISHED IN ALL UNPAVED AREAS ON-SITE OR OFF-SITE AS HATCHED ON THE LANDSCAPE PLAN.
2. SOIL SAMPLES SHALL BE TAKEN AT MULTIPLE AREAS ON-SITE PRIOR TO PLANTING TO CONFIRM PROPER SOIL AMENDMENTS.
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ESTABLISH PERMANENT AND FINAL STABILIZATION ON THE ENTIRE SITE. THIS MAY REQUIRE WATERING, MOWING, RAKING, AND RE-SEEDING UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
4. IN AREAS WHERE SEED IS USED FOR TEMPORARY STABILIZATION, THE TEMPORARY GRASS SHALL BE REMOVED PRIOR TO SODDING ACTIVITY.
5. ALL TREE SAVE AREAS LESS THAN 30' WIDE MUST BE STAKED PRIOR TO SITE PLAN SUBMITTAL.

**PLANT SCHEDULE NOTES:**

1. ALL PLANT MATERIAL SHALL COMPLY WITH THE SIZING AND GRADING STANDARDS AS SET FORTH IN THE MOST CURRENT EDITION OF ANSI Z60.180 - AMERICAN STANDARD FOR NURSERY STOCK.
2. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN AUTHORIZATION OF THE PROJECT LANDSCAPE ARCHITECT.
3. VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLAN SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
4. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY THEIR WORK.
5. ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY PROJECT LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF TRIPPLE SHREDDED HARDWOOD MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH.
7. ALL PROPOSED TREES WITHIN SIGHT TRIANGLES TO BE LIMBED UP TO CLEAR SIGHT OBSTRUCTION.



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**LANDSCAPE PLAN**

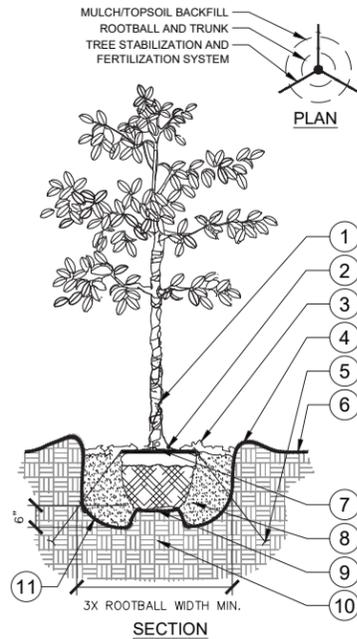
**STARBUCKS - POPE AVENUE**  
 PREPARED FOR  
**HARTZOG HOLDINGS, LLC.**  
 SOUTH CAROLINA  
 BEAUFORT COUNTY

KHA PROJECT: 014111001  
 DATE: 06/11/2021  
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SHEET NUMBER  
**L101**

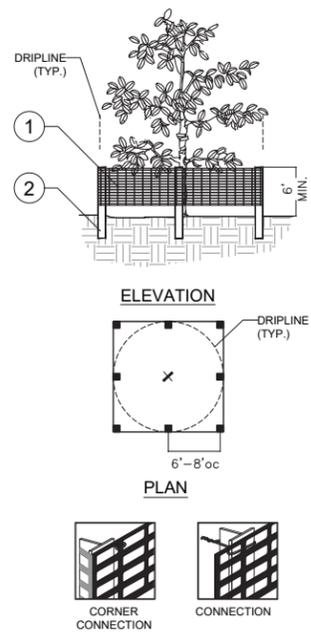
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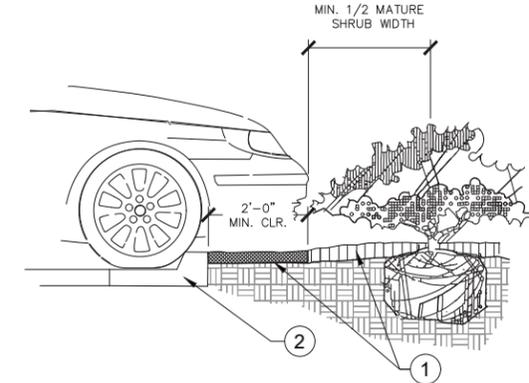
- 1 TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT.
  - 2 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.
  - 3 3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6" DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
  - 4 4" HIGH BERM, FIRMLY COMPACTED.
  - 5 ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - 6 FINISHED GRADE. (SEE GRADING PLAN)
  - 7 TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
  - 8 PREPARED PLANTING SOIL AS SPECIFIED.
  - 9 TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.
  - 10 UNDISTURBED NATIVE SOIL.
  - 11 SCARIFY BOTTOM AND SIDES OF PLANTING PIT.
- NOTES:
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
  - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
  - C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

**1 TREE PLANTING**  
SECTION / PLAN  
DETAIL-FILE



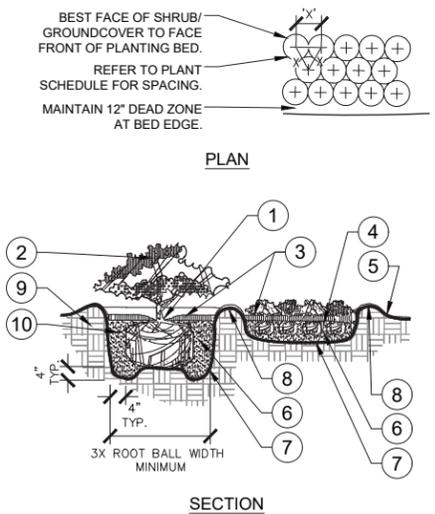
- 1 6H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
  - 2 8" TALL METAL "T" POSTS OR 2" X 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.
- INSTALLATION NOTES:
- A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
  - B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
  - C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
  - D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.
- NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

**2 TREE PROTECTION FENCING**  
ELEVATION / PLAN



- 1 INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- 2 CURB / PARKING LOT EDGE.

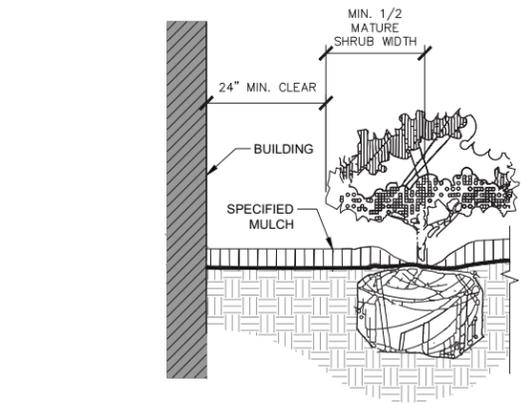
**3 PARKING SPACE/CURB PLANTING**  
SECTION



- 1 TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
- 2 PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.
- 3 3" MULCH LAYER AS SPECIFIED.
- 4 EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 5 FINISHED GRADE (SEE GRADING PLAN).
- 6 PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
- 7 SCARIFY OF PLANTING PIT SIDES AND BOTTOM.
- 8 4" HIGH BERM FIRMLY COMPACTED.
- 9 UNDISTURBED NATIVE SOIL.
- 10 FERTILIZER TABLETS (MAX 3" DEEP)

- NOTES:
- A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
  - C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

**4 SHRUB/GROUNDCOVER PLANTING**  
SECTION / PLAN

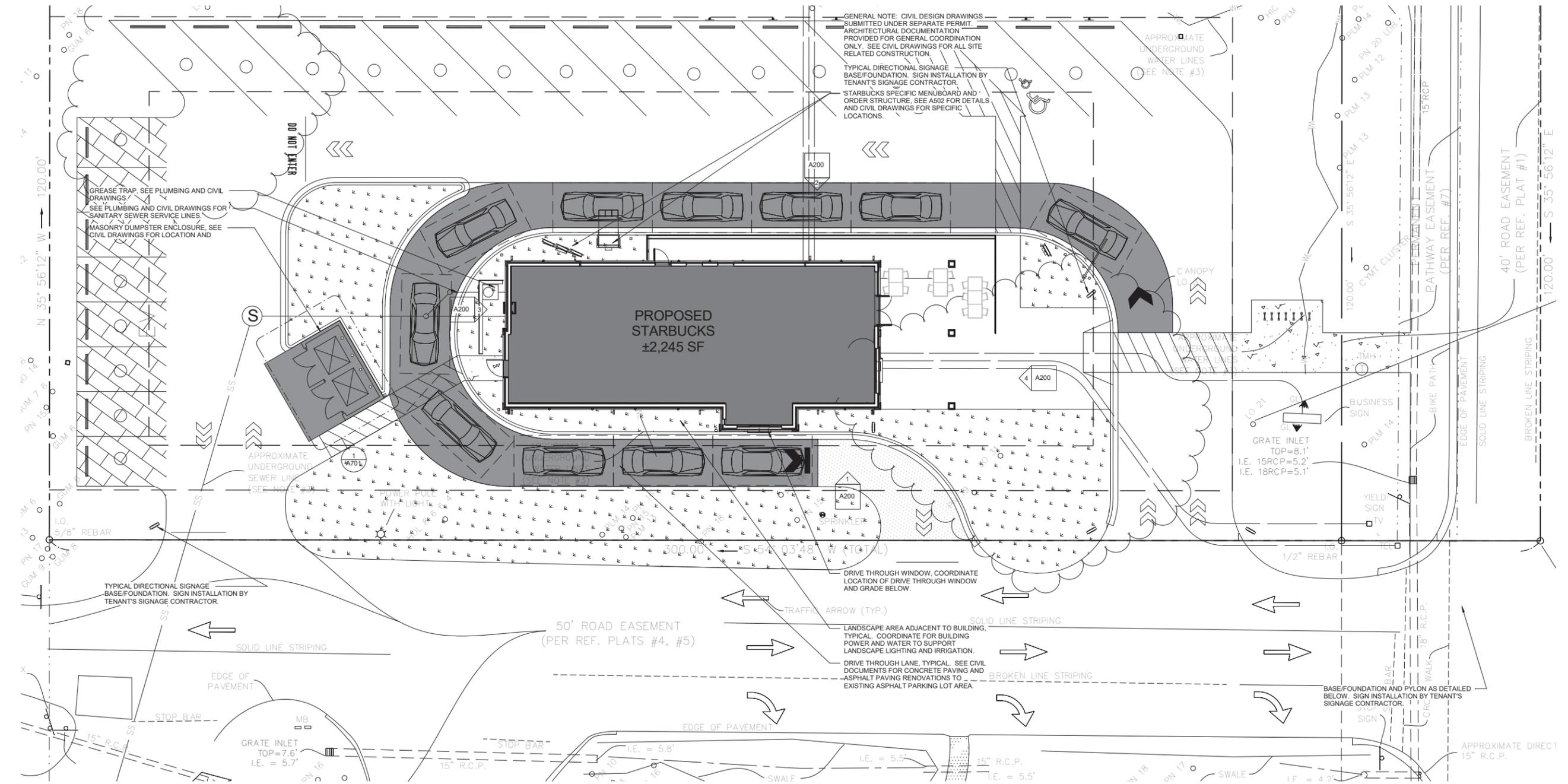


- NOTES:
1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
  2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

**5 PLANTINGS ADJACENT TO BUILDINGS**  
SECTION

<b>Kimley»Horn</b>	© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 115 FARCHILD ST., SUITE 250 CHARLESTON, SC 29492 PHONE: 843-737-6390 WWW.KIMLEY-HORN.COM						
KHA PROJECT 014111001	DATE MM/DD/YYYY 11/20/21	SCALE AS SHOWN	DESIGNED BY -KHK-	DRAWN BY -JPH-	CHECKED BY -MHT-	#####	
STARBUCKS - POPE AVENUE PREPARED FOR HARTZOG HOLDINGS, LLC. SOUTH CAROLINA BEAUFORT COUNTY							
SHEET NUMBER #####							

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GENERAL NOTE: CIVIL DESIGN DRAWINGS SUBMITTED UNDER SEPARATE PERMIT. ARCHITECTURAL DOCUMENTATION PROVIDED FOR GENERAL COORDINATION ONLY. SEE CIVIL DRAWINGS FOR ALL SITE RELATED CONSTRUCTION.

TYPICAL DIRECTIONAL SIGNAGE BASE/FOUNDATION. SIGN INSTALLATION BY TENANT'S SIGNAGE CONTRACTOR.

STARBUCKS SPECIFIC MENUBOARD AND ORDER STRUCTURE. SEE A502 FOR DETAILS AND CIVIL DRAWINGS FOR SPECIFIC LOCATIONS.

APPROXIMATE UNDERGROUND WATER LINES (SEE NOTE #3)

GREASE TRAP. SEE PLUMBING AND CIVIL DRAWINGS.

SEE PLUMBING AND CIVIL DRAWINGS FOR SANITARY SEWER SERVICE LINES.

MASONRY DUMPSTER ENCLOSURE. SEE CIVIL DRAWINGS FOR LOCATION AND

S

1

MB

A200

A200

A200

A200

A200

A200

A200

LO 21

GL

GL

GRATE INLET

TOP=8.1'

I.E. 15RCP=5.2'

I.E. 18RCP=5.1'

PLM 14

TRUE NORTH

PROJECT NORTH

1 ARCHITECTURAL SITE PLAN

1" = 10'-0"



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**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**ARCHITECTURAL SITE PLAN**  
DESIGN REVIEW BOARD - FINAL REVIEW SUBMITTAL

PROJECT SHEET

REVISIONS

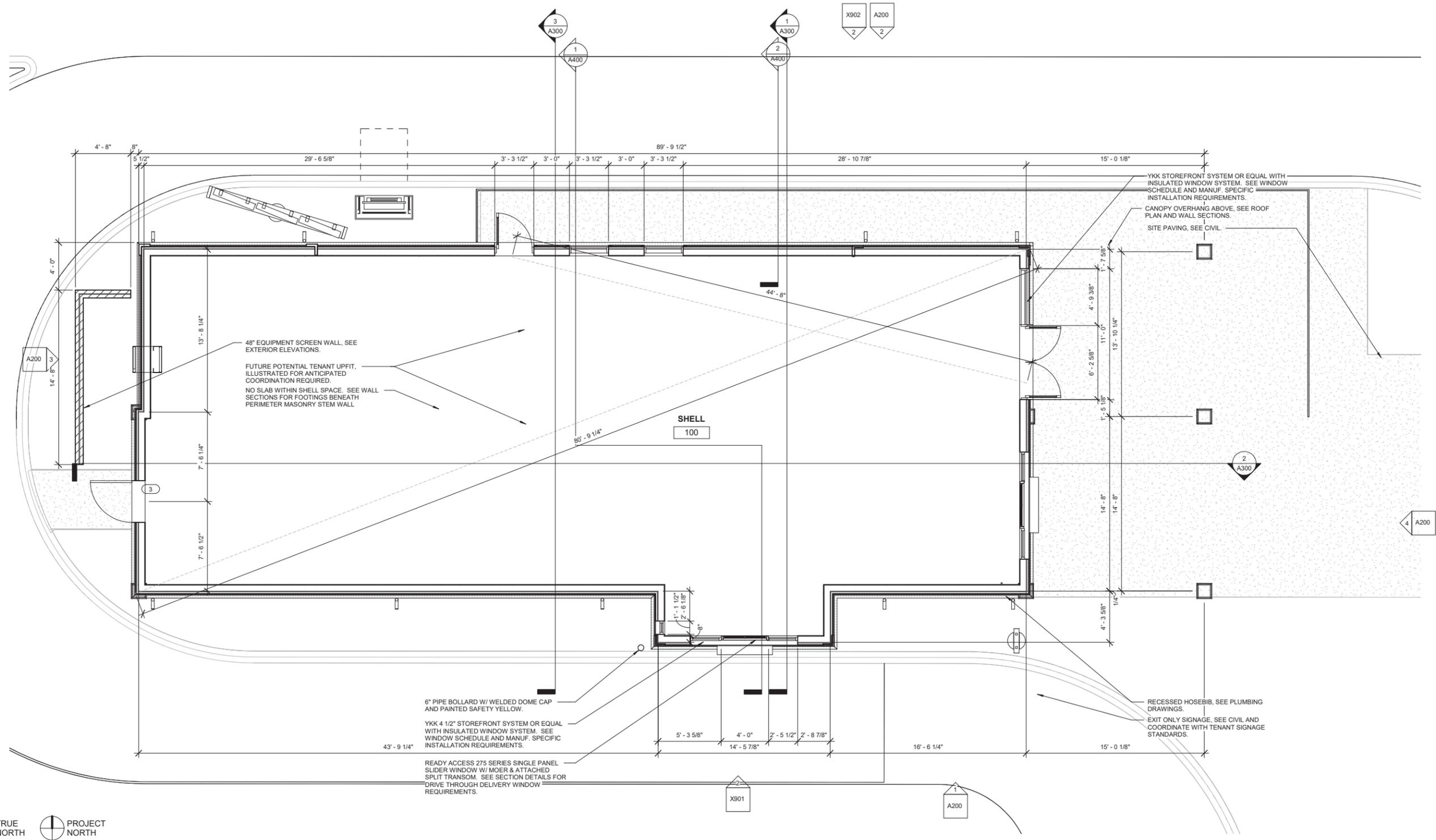
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TRUE NORTH PROJECT NORTH

1 FIRST FLOOR PLAN  
1/4" = 1'-0"

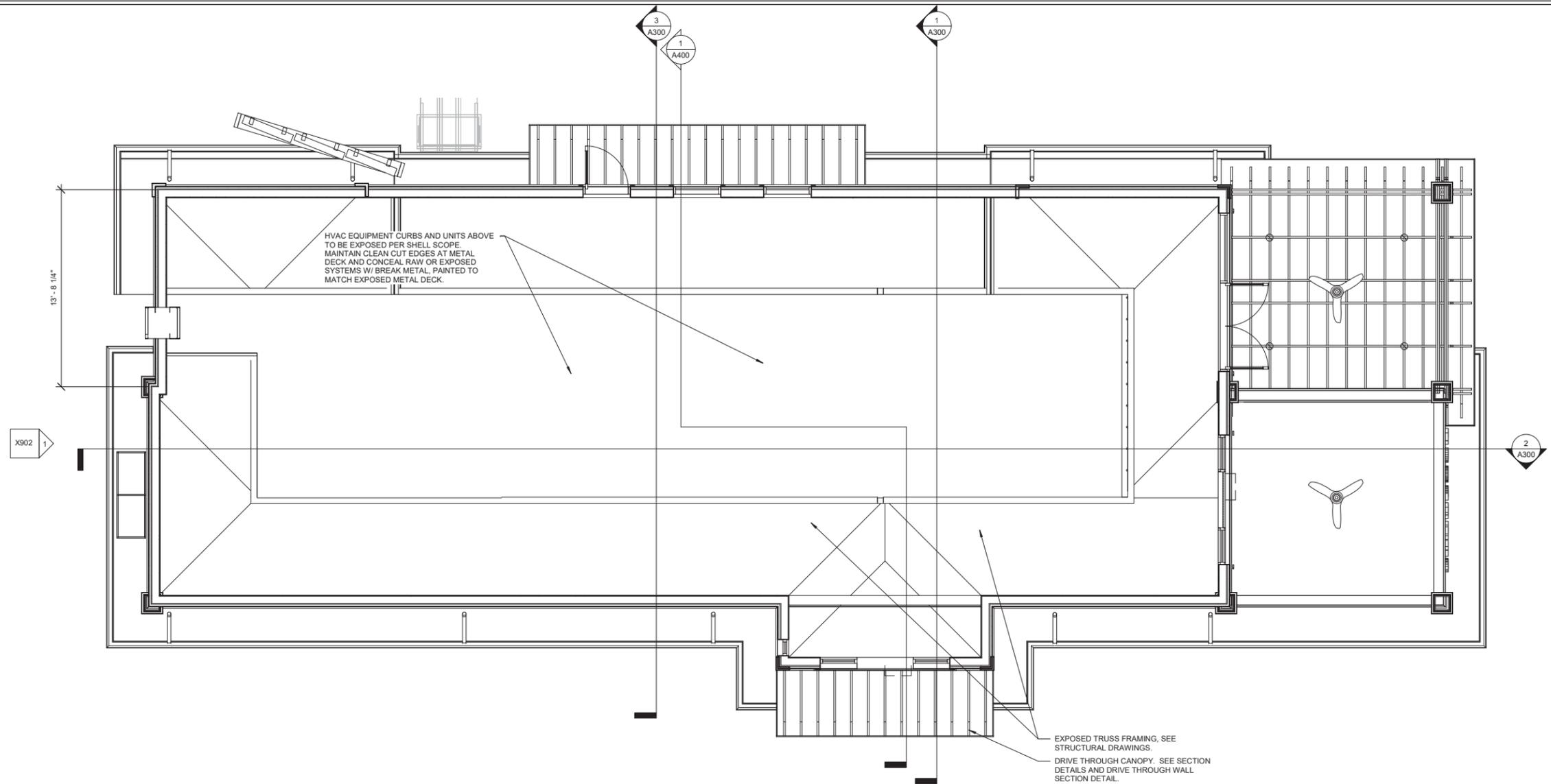
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NORTH AUGUSTA, SOUTH CAROLINA  
**FLOOR PLAN**  
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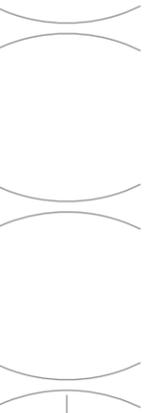
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1 FIRST FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"



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**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**REFLECTED CEILING PLAN**  
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X902  
2  
A200  
2

1  
A400

3  
A300

1  
A300

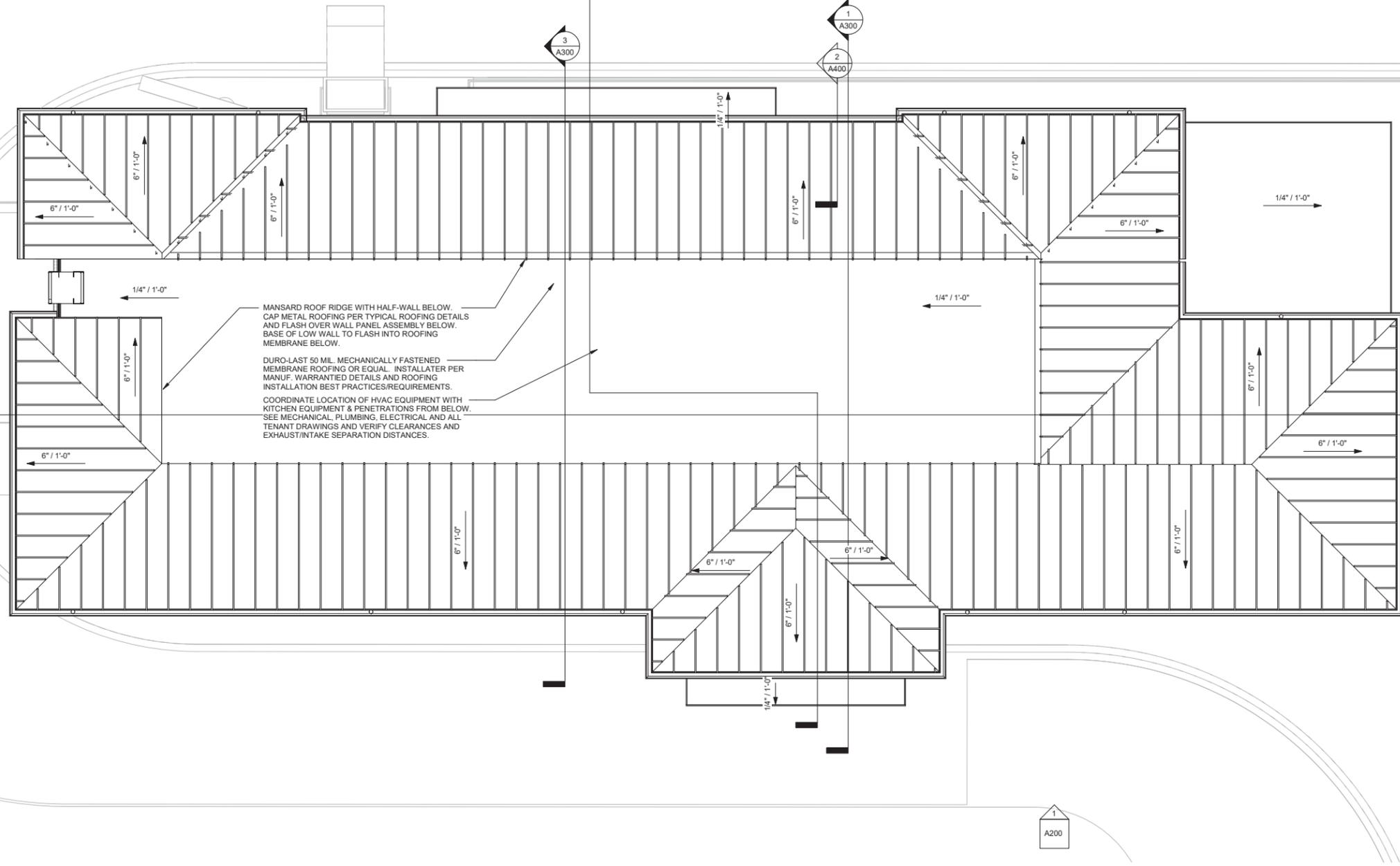
2  
A400

A200  
3

2  
A300

4  
A200

1  
A200



MANSARD ROOF RIDGE WITH HALF-WALL BELOW.  
CAP METAL ROOFING PER TYPICAL ROOFING DETAILS  
AND FLASH OVER WALL PANEL ASSEMBLY BELOW.  
BASE OF LOW WALL TO FLASH INTO ROOFING  
MEMBRANE BELOW.

DURO-LAST 50 MIL. MECHANICALLY FASTENED  
MEMBRANE ROOFING OR EQUAL. INSTALLATER PER  
MANUF. WARRANTED DETAILS AND ROOFING  
INSTALLATION BEST PRACTICES/REQUIREMENTS.

COORDINATE LOCATION OF HVAC EQUIPMENT WITH  
KITCHEN EQUIPMENT & PENETRATIONS FROM BELOW.  
SEE MECHANICAL, PLUMBING, ELECTRICAL AND ALL  
TENANT DRAWINGS AND VERIFY CLEARANCES AND  
EXHAUST/INTAKE SEPARATION DISTANCES.

1 ROOF PLAN  
1/4" = 1'-0"



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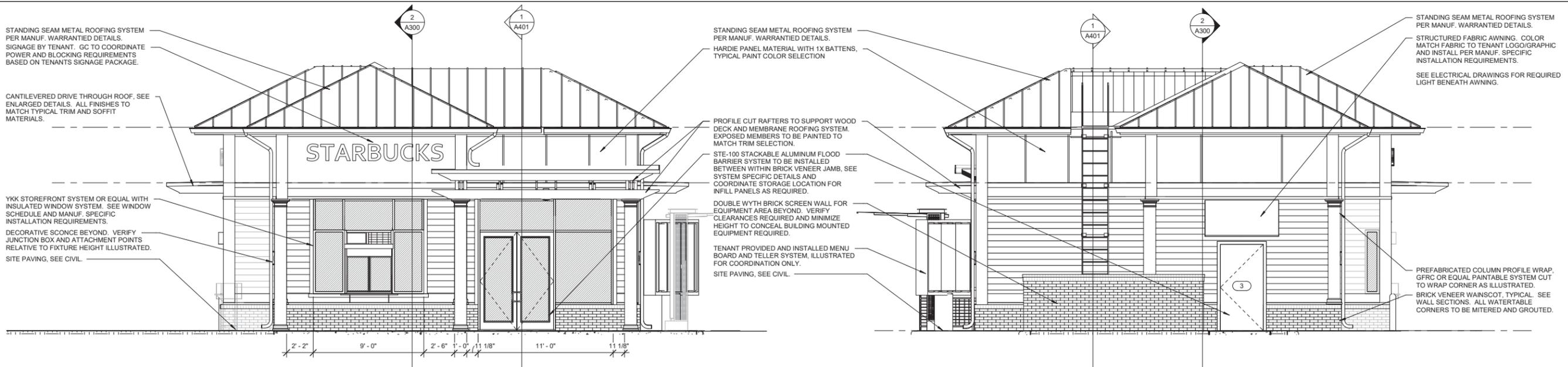
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**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**ROOF PLAN**  
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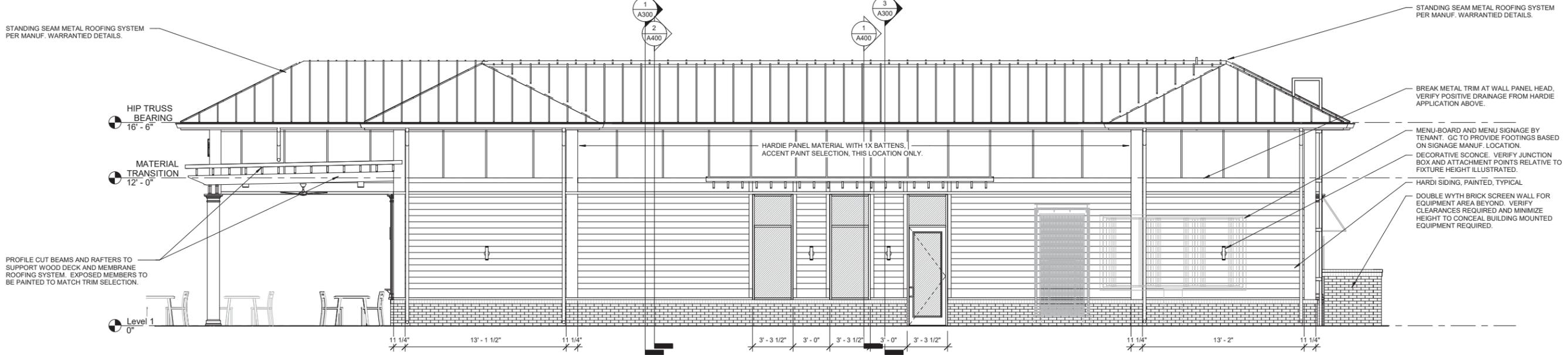
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4 FRONT ELEVATION  
1/4" = 1'-0"

3 REAR ELEVATION  
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
1/4" = 1'-0"



1 LEFT SIDE ELEVATION  
1/4" = 1'-0"



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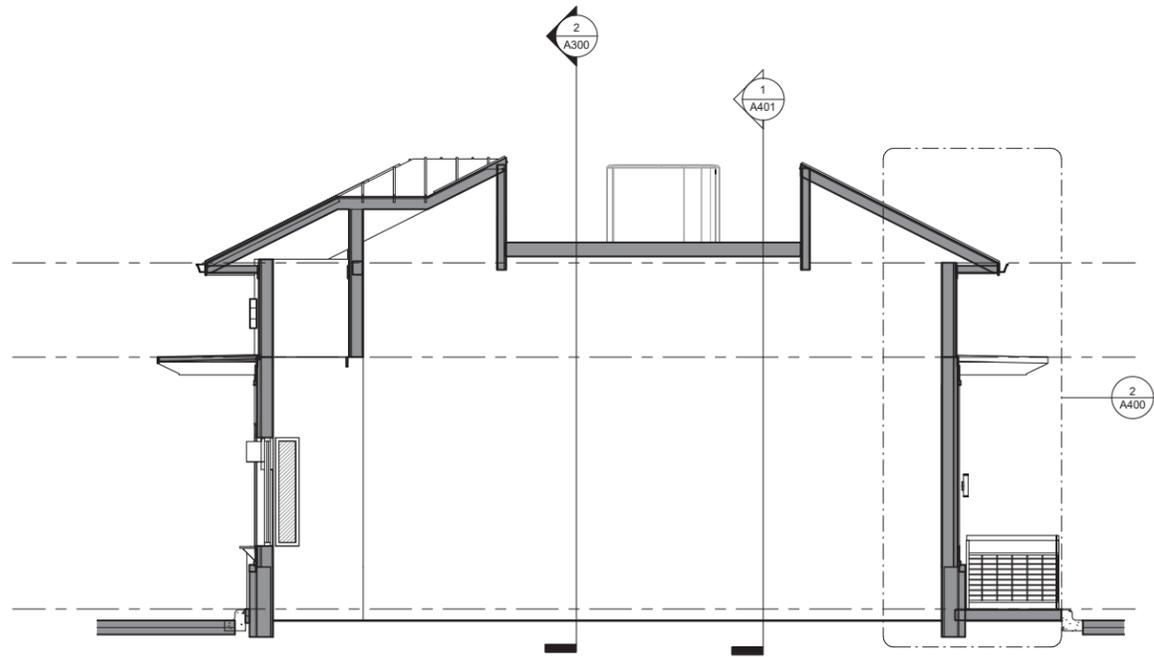
**STARBUCKS - HILTON HEAD**  
 NORTH AUGUSTA, SOUTH CAROLINA  
**EXTERIOR ELEVATIONS**  
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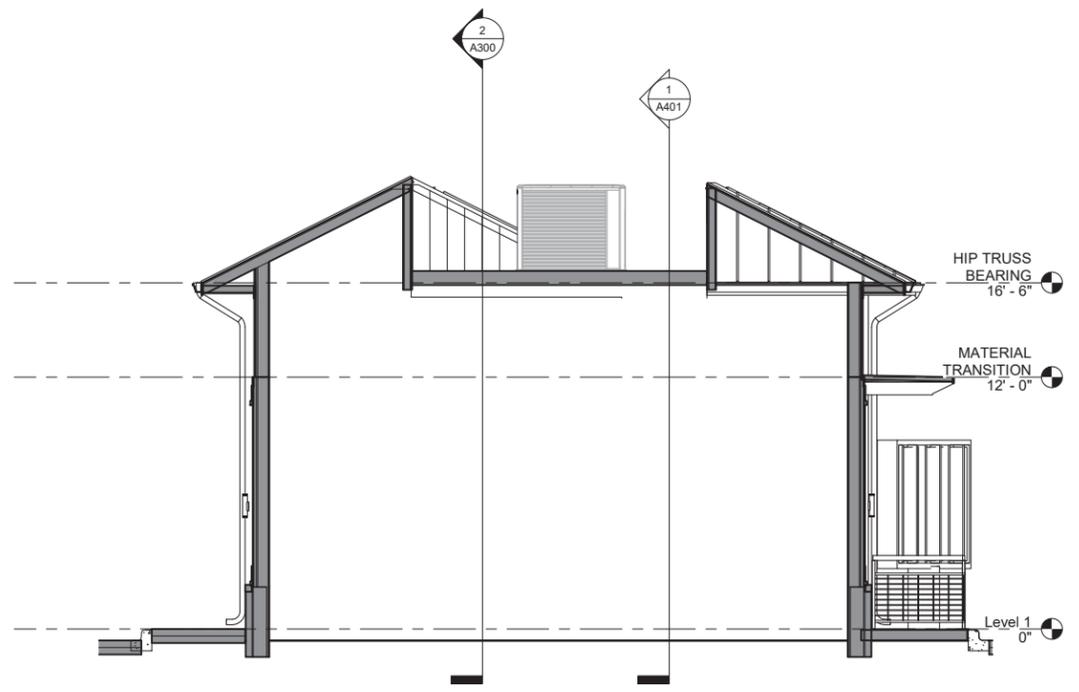
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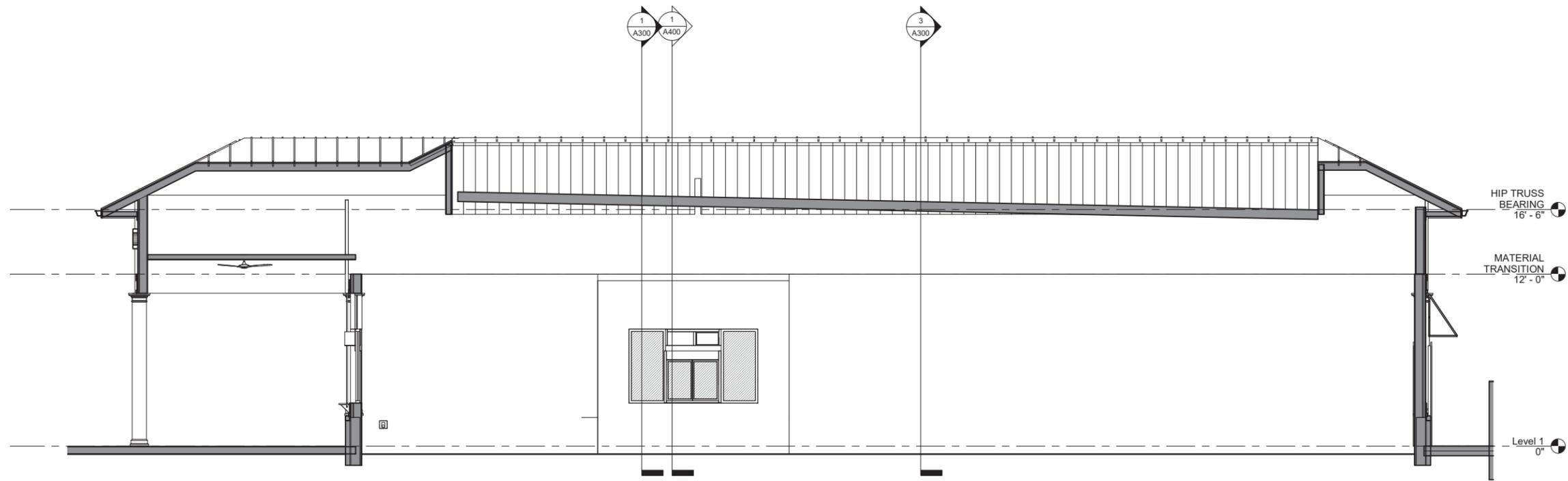
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1 CROSS SECTION AT DRIVE THROUGH  
1/4" = 1'-0"



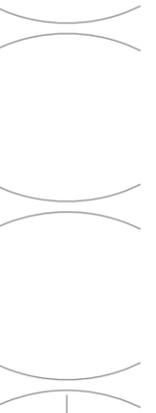
3 CROSS SECTION TYPICAL  
1/4" = 1'-0"



2 LONGITUDINAL SECTION  
1/4" = 1'-0"



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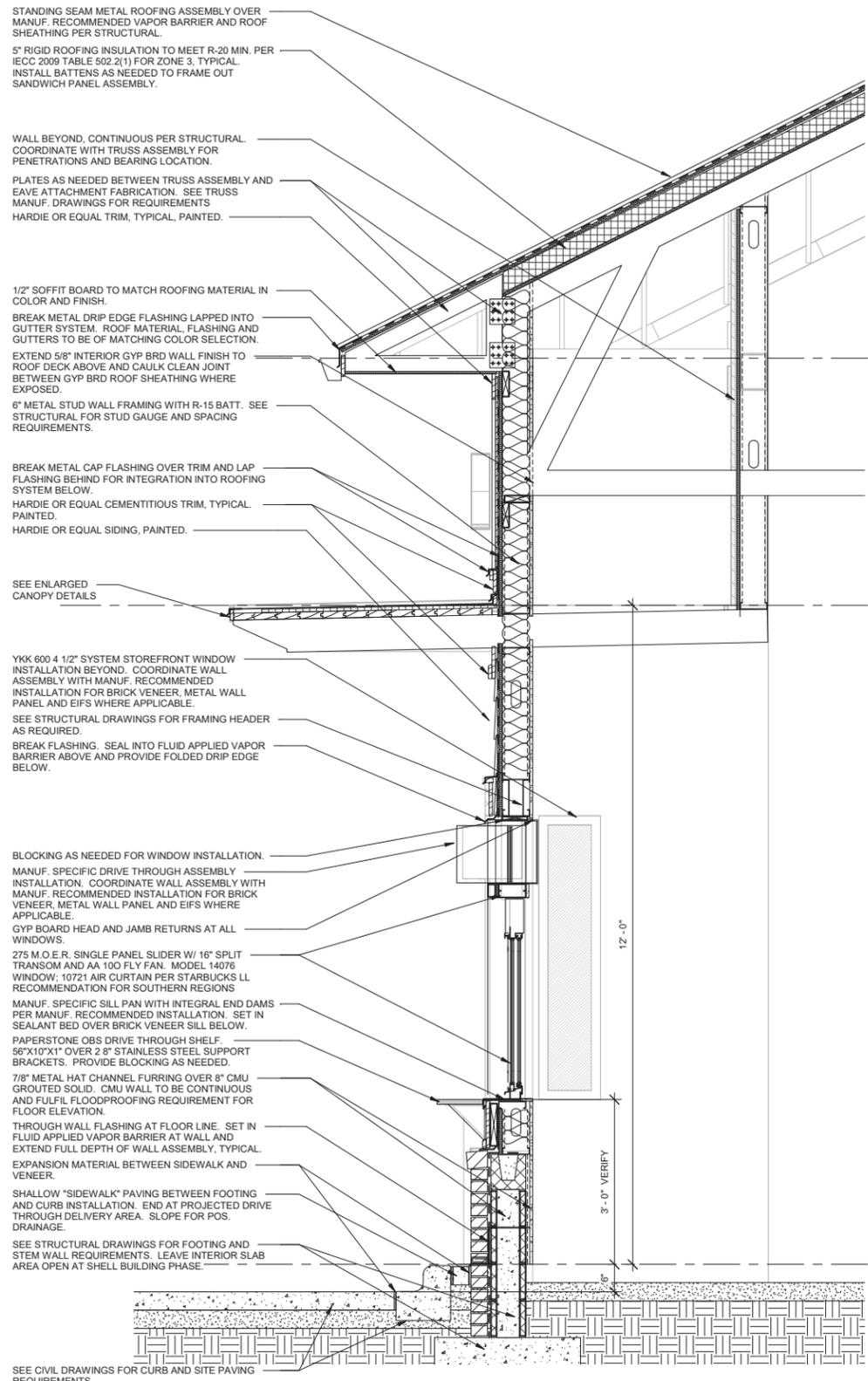
SHELL DESIGN PACKAGE  
**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**BUILDING SECTIONS**  
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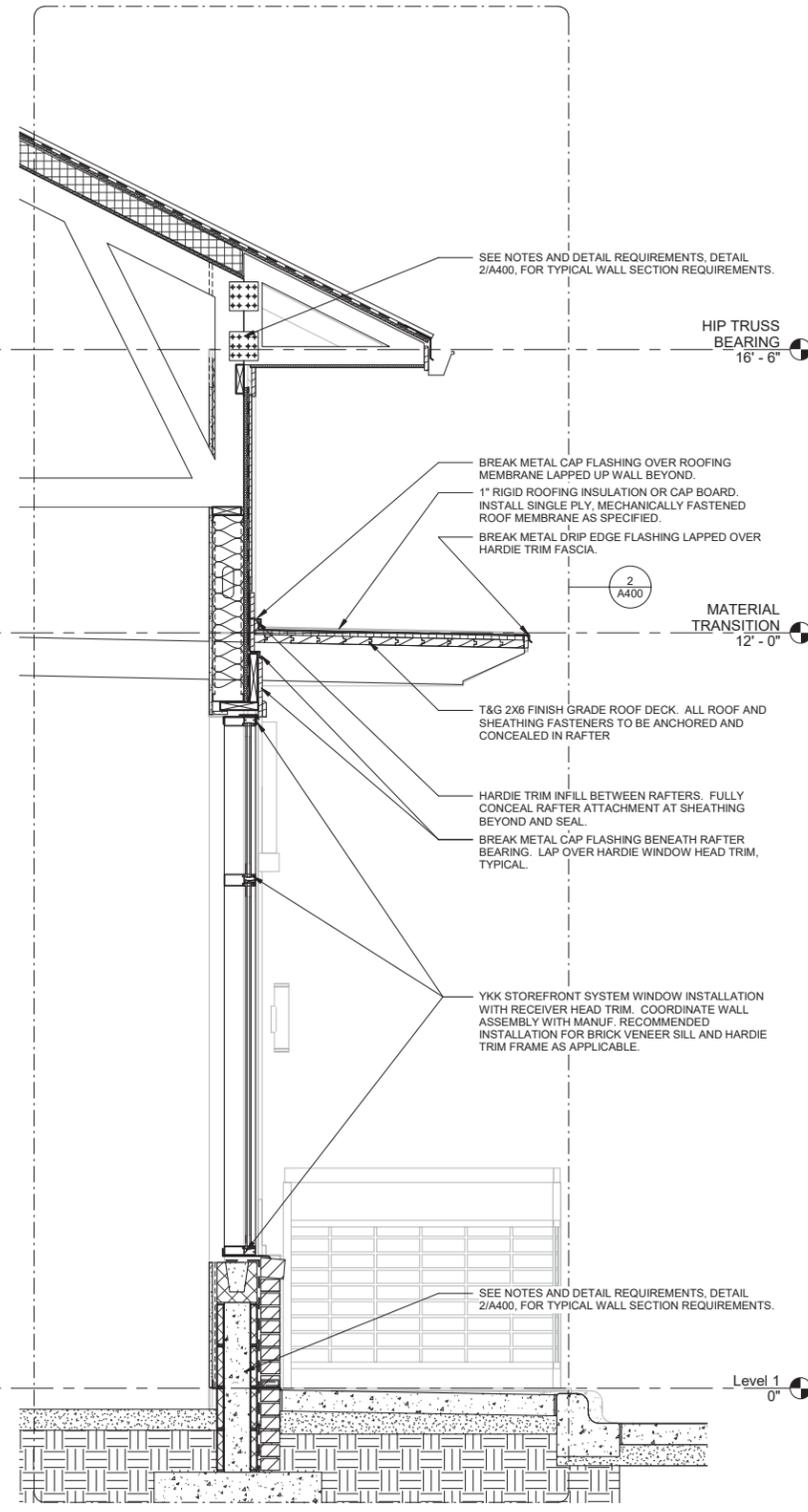
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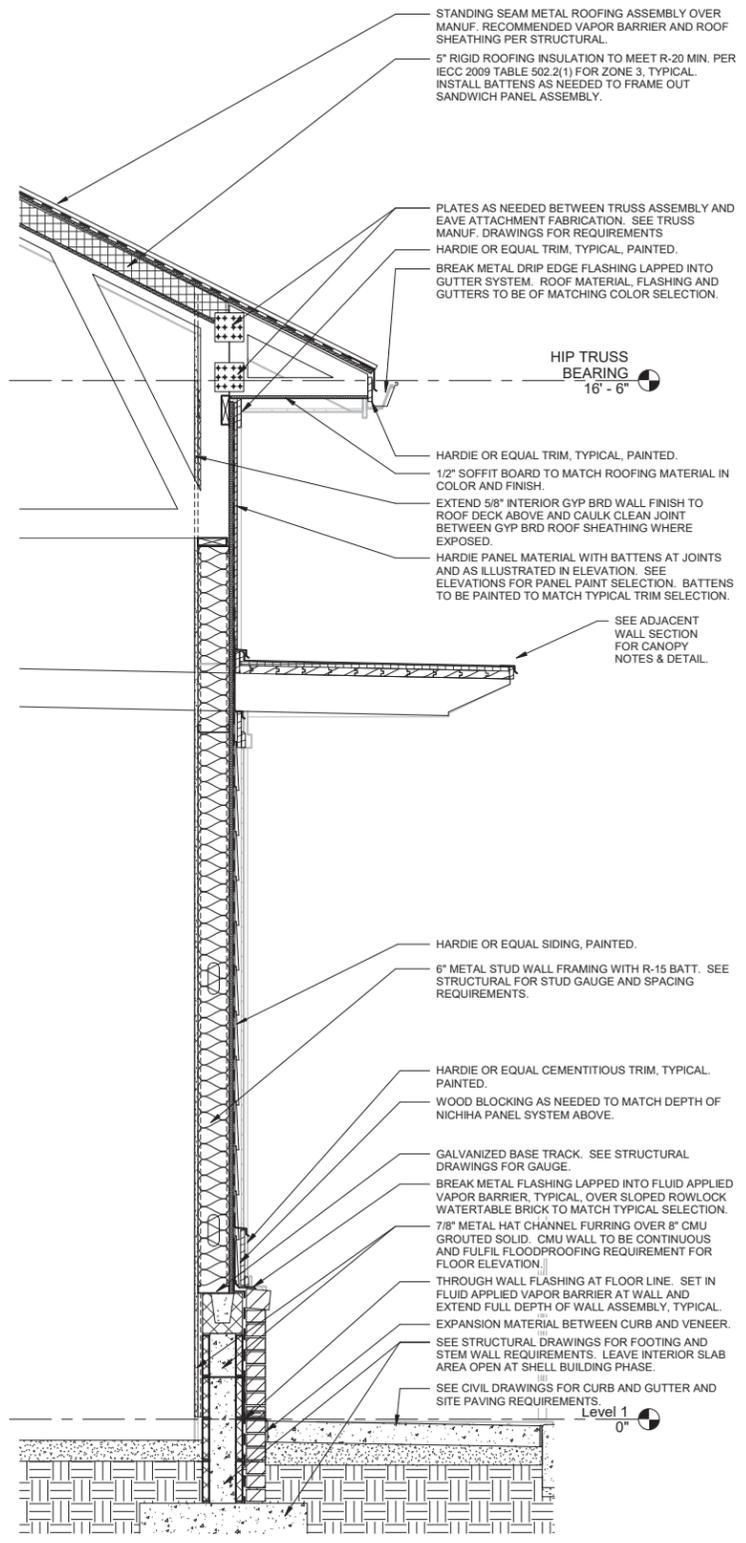
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1 DRIVE THROUGH AND GLAZED WALL SECTION  
3/4" = 1'-0"



2 EIFS OVER SIDING WALL SECTION  
3/4" = 1'-0"



STANDING SEAM METAL ROOFING ASSEMBLY OVER MANUF. RECOMMENDED VAPOR BARRIER AND ROOF SHEATHING PER STRUCTURAL.

5" RIGID ROOFING INSULATION TO MEET R-20 MIN. PER IECC 2009 TABLE 502.2(1) FOR ZONE 3. TYPICAL. INSTALL BATTENS AS NEEDED TO FRAME OUT SANDWICH PANEL ASSEMBLY.

WALL BEYOND, CONTINUOUS PER STRUCTURAL. COORDINATE WITH TRUSS ASSEMBLY FOR PENETRATIONS AND BEARING LOCATION.

PLATES AS NEEDED BETWEEN TRUSS ASSEMBLY AND EAVE ATTACHMENT FABRICATION. SEE TRUSS MANUF. DRAWINGS FOR REQUIREMENTS.

HARDIE OR EQUAL TRIM, TYPICAL, PAINTED.

1/2" SOFFIT BOARD TO MATCH ROOFING MATERIAL IN COLOR AND FINISH.

BREAK METAL DRIP EDGE FLASHING LAPPED INTO GUTTER SYSTEM. ROOF MATERIAL, FLASHING AND GUTTERS TO BE OF MATCHING COLOR SELECTION.

EXTEND 5/8" INTERIOR GYP BRD WALL FINISH TO ROOF DECK ABOVE AND CAULK CLEAN JOINT BETWEEN GYP BRD ROOF SHEATHING WHERE EXPOSED.

6" METAL STUD WALL FRAMING WITH R-15 BATT. SEE STRUCTURAL FOR STUD GAUGE AND SPACING REQUIREMENTS.

BREAK METAL CAP FLASHING OVER TRIM AND LAP FLASHING BEHIND FOR INTEGRATION INTO ROOFING SYSTEM BELOW.

HARDIE OR EQUAL CEMENTITIOUS TRIM, TYPICAL, PAINTED.

HARDIE OR EQUAL SIDING, PAINTED.

SEE ENLARGED CANOPY DETAILS

YKK 600 4 1/2" SYSTEM STOREFRONT WINDOW INSTALLATION BEYOND. COORDINATE WALL ASSEMBLY WITH MANUF. RECOMMENDED INSTALLATION FOR BRICK VENEER, METAL WALL PANEL AND EIFS WHERE APPLICABLE.

SEE STRUCTURAL DRAWINGS FOR FRAMING HEADER AS REQUIRED.

BREAK FLASHING. SEAL INTO FLUID APPLIED VAPOR BARRIER ABOVE AND PROVIDE FOLDED DRIP EDGE BELOW.

BLOCKING AS NEEDED FOR WINDOW INSTALLATION.

MANUF. SPECIFIC DRIVE THROUGH ASSEMBLY INSTALLATION. COORDINATE WALL ASSEMBLY WITH MANUF. RECOMMENDED INSTALLATION FOR BRICK VENEER, METAL WALL PANEL AND EIFS WHERE APPLICABLE.

GYP BOARD HEAD AND JAMB RETURNS AT ALL WINDOWS.

275 M.O.E.R. SINGLE PANEL SLIDER W/ 16" SPLIT TRANSOM AND AA 100 FLY FAN. MODEL 14076 WINDOW. 10721 AIR CURTAIN PER STARBUCKS LL RECOMMENDATION FOR SOUTHERN REGIONS

MANUF. SPECIFIC SILL PAN WITH INTEGRAL END DAMS PER MANUF. RECOMMENDED INSTALLATION. SET IN SEALANT BED OVER BRICK VENEER SILL BELOW.

PAPERSTONE OBS DRIVE THROUGH SHELF. 56"x10"x1" OVER 2" 8" STAINLESS STEEL SUPPORT BRACKETS. PROVIDE BLOCKING AS NEEDED.

7/8" METAL HAT CHANNEL FURRING OVER 8" CMU GROUTED SOLID. CMU WALL TO BE CONTINUOUS AND FULL FLOODPROOFING REQUIREMENT FOR FLOOR ELEVATION.

THROUGH WALL FLASHING AT FLOOR LINE. SET IN FLUID APPLIED VAPOR BARRIER AT WALL AND EXTEND FULL DEPTH OF WALL ASSEMBLY, TYPICAL.

EXPANSION MATERIAL BETWEEN SIDEWALK AND VENEER.

SHALLOW "SIDEWALK" PAVING BETWEEN FOOTING AND CURB INSTALLATION. END AT PROJECTED DRIVE THROUGH DELIVERY AREA. SLOPE FOR POS. DRAINAGE.

SEE STRUCTURAL DRAWINGS FOR FOOTING AND STEM WALL REQUIREMENTS. LEAVE INTERIOR SLAB AREA OPEN AT SHELL BUILDING PHASE.

SEE CIVIL DRAWINGS FOR CURB AND SITE PAVING REQUIREMENTS.

SEE NOTES AND DETAIL REQUIREMENTS, DETAIL 2/A400, FOR TYPICAL WALL SECTION REQUIREMENTS.

HIP TRUSS BEARING  
16' - 6"

BREAK METAL CAP FLASHING OVER ROOFING MEMBRANE LAPPED UP WALL BEYOND.

1" RIGID ROOFING INSULATION OR CAP BOARD. INSTALL SINGLE PLY, MECHANICALLY FASTENED ROOF MEMBRANE AS SPECIFIED.

BREAK METAL DRIP EDGE FLASHING LAPPED OVER HARDIE TRIM FASCIA.

2  
A400  
MATERIAL TRANSITION  
12' - 0"

T&G 2X6 FINISH GRADE ROOF DECK. ALL ROOF AND SHEATHING FASTENERS TO BE ANCHORED AND CONCEALED IN RAFTER.

HARDIE TRIM INFILL BETWEEN RAFTERS. FULLY CONCEAL RAFTER ATTACHMENT AT SHEATHING BEYOND AND SEAL.

BREAK METAL CAP FLASHING BENEATH RAFTER BEARING. LAP OVER HARDIE WINDOW HEAD TRIM, TYPICAL.

YKK STOREFRONT SYSTEM WINDOW INSTALLATION WITH RECEIVER HEAD TRIM. COORDINATE WALL ASSEMBLY WITH MANUF. RECOMMENDED INSTALLATION FOR BRICK VENEER SILL AND HARDIE TRIM FRAME AS APPLICABLE.

SEE NOTES AND DETAIL REQUIREMENTS, DETAIL 2/A400, FOR TYPICAL WALL SECTION REQUIREMENTS.

Level 1  
0"

STANDING SEAM METAL ROOFING ASSEMBLY OVER MANUF. RECOMMENDED VAPOR BARRIER AND ROOF SHEATHING PER STRUCTURAL.

5" RIGID ROOFING INSULATION TO MEET R-20 MIN. PER IECC 2009 TABLE 502.2(1) FOR ZONE 3. TYPICAL. INSTALL BATTENS AS NEEDED TO FRAME OUT SANDWICH PANEL ASSEMBLY.

PLATES AS NEEDED BETWEEN TRUSS ASSEMBLY AND EAVE ATTACHMENT FABRICATION. SEE TRUSS MANUF. DRAWINGS FOR REQUIREMENTS.

HARDIE OR EQUAL TRIM, TYPICAL, PAINTED.

BREAK METAL DRIP EDGE FLASHING LAPPED INTO GUTTER SYSTEM. ROOF MATERIAL, FLASHING AND GUTTERS TO BE OF MATCHING COLOR SELECTION.

HARDIE OR EQUAL TRIM, TYPICAL, PAINTED.

1/2" SOFFIT BOARD TO MATCH ROOFING MATERIAL IN COLOR AND FINISH.

EXTEND 5/8" INTERIOR GYP BRD WALL FINISH TO ROOF DECK ABOVE AND CAULK CLEAN JOINT BETWEEN GYP BRD ROOF SHEATHING WHERE EXPOSED.

HARDIE PANEL MATERIAL WITH BATTENS AT JOINTS AND AS ILLUSTRATED IN ELEVATION. SEE ELEVATIONS FOR PANEL PAINT SELECTION. BATTENS TO BE PAINTED TO MATCH TYPICAL TRIM SELECTION.

SEE ADJACENT WALL SECTION FOR CANOPY NOTES & DETAIL.

HARDIE OR EQUAL SIDING, PAINTED.

6" METAL STUD WALL FRAMING WITH R-15 BATT. SEE STRUCTURAL FOR STUD GAUGE AND SPACING REQUIREMENTS.

HARDIE OR EQUAL CEMENTITIOUS TRIM, TYPICAL, PAINTED.

WOOD BLOCKING AS NEEDED TO MATCH DEPTH OF NICHHA PANEL SYSTEM ABOVE.

GALVANIZED BASE TRACK. SEE STRUCTURAL DRAWINGS FOR GAUGE.

BREAK METAL FLASHING LAPPED INTO FLUID APPLIED VAPOR BARRIER, TYPICAL. OVER SLOPED ROWLOCK WATERTABLE BRICK TO MATCH TYPICAL SELECTION.

7/8" METAL HAT CHANNEL FURRING OVER 8" CMU GROUTED SOLID. CMU WALL TO BE CONTINUOUS AND FULL FLOODPROOFING REQUIREMENT FOR FLOOR ELEVATION.

THROUGH WALL FLASHING AT FLOOR LINE. SET IN FLUID APPLIED VAPOR BARRIER AT WALL AND EXTEND FULL DEPTH OF WALL ASSEMBLY, TYPICAL.

EXPANSION MATERIAL BETWEEN CURB AND VENEER.

SEE STRUCTURAL DRAWINGS FOR FOOTING AND STEM WALL REQUIREMENTS. LEAVE INTERIOR SLAB AREA OPEN AT SHELL BUILDING PHASE.

SEE CIVIL DRAWINGS FOR CURB AND GUTTER AND SITE PAVING REQUIREMENTS.

Level 1  
0"



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**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
PROJECT SHEET

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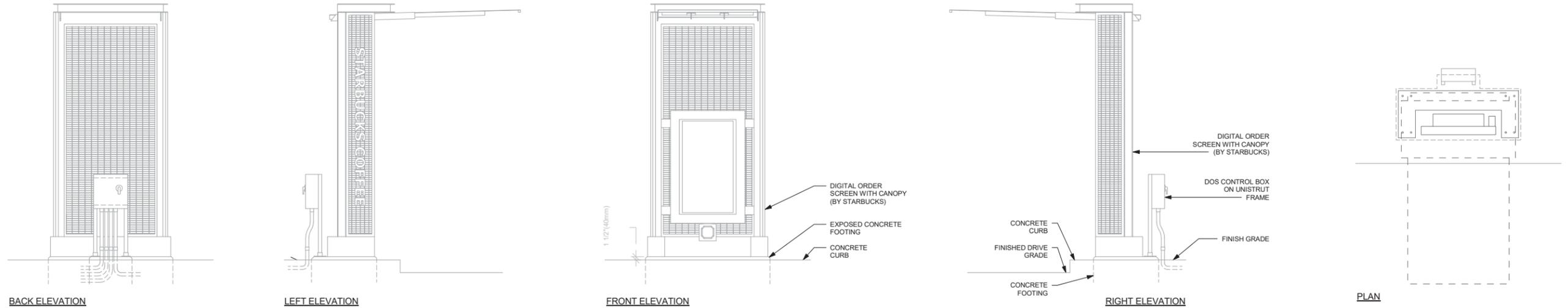
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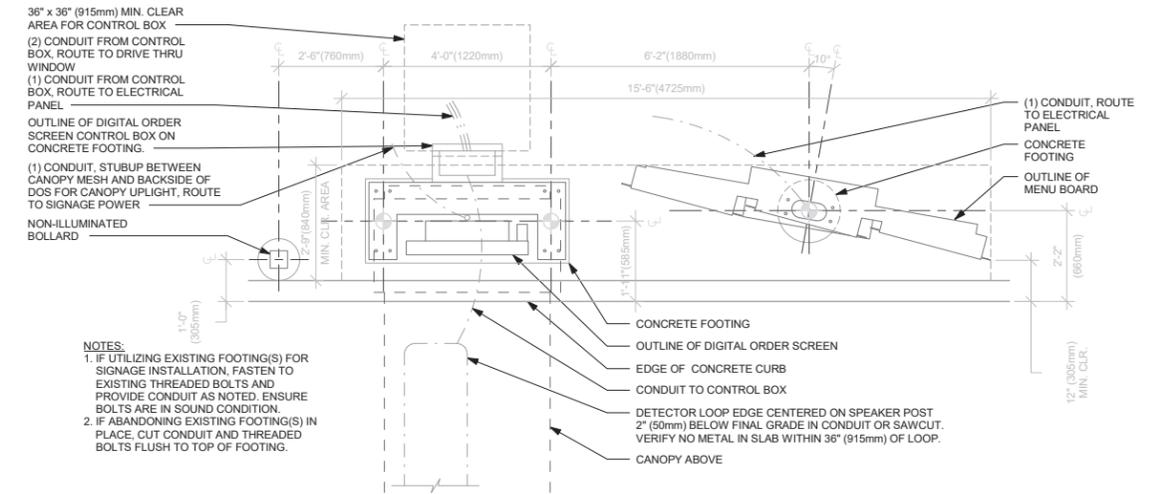
BACK ELEVATION

LEFT ELEVATION

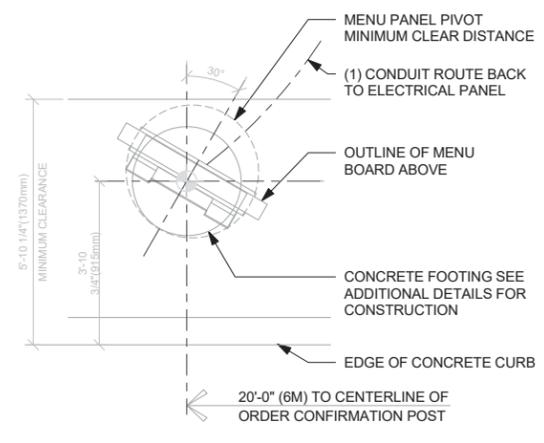
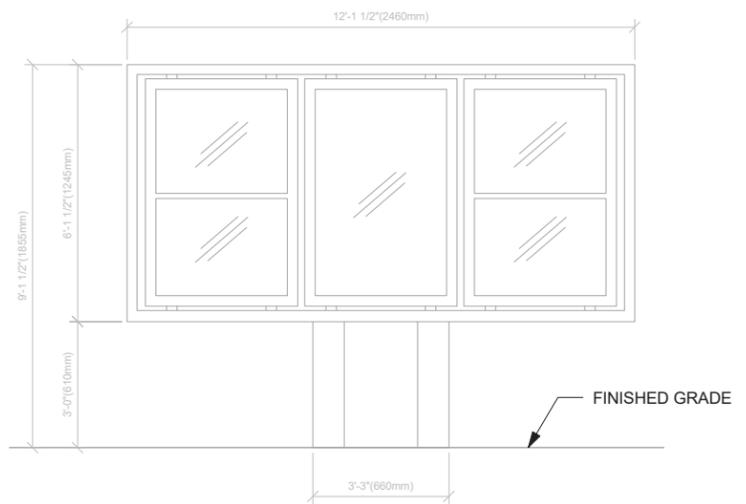
FRONT ELEVATION

RIGHT ELEVATION

PLAN

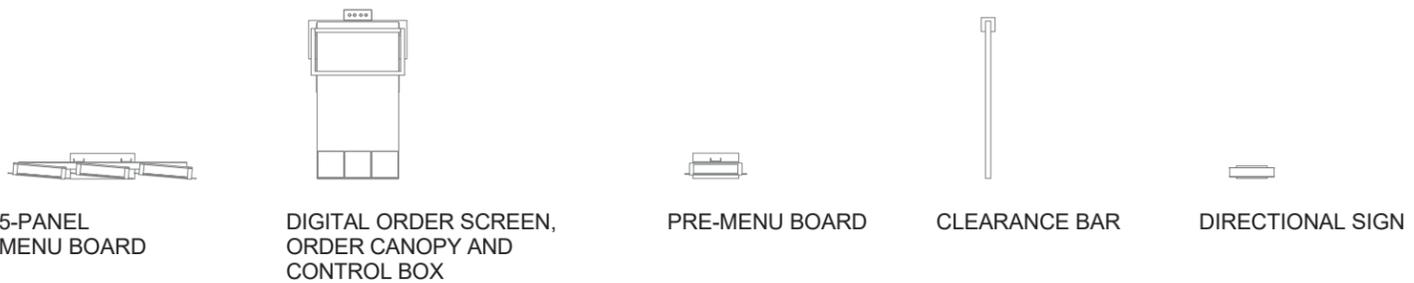


- NOTES:**
- IF UTILIZING EXISTING FOOTING(S) FOR SIGNAGE INSTALLATION, FASTEN TO EXISTING THREADED BOLTS AND PROVIDE CONDUIT AS NOTED. ENSURE BOLTS ARE IN SOUND CONDITION.
  - IF ABANDONING EXISTING FOOTING(S) IN PLACE, CUT CONDUIT AND THREADED BOLTS FLUSH TO TOP OF FOOTING.



① DRIVE THROUGH CANOPY AND MENUBOARD DETAILS  
1/2" = 1'-0"

DRIVE-THRU COMPONENTS



PAVEMENT GRAPHICS



② DRIVE THROUGH COMPONENTS  
1/4" = 1'-0"



SHELL DESIGN PACKAGE  
**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**DRIVE THROUGH SYSTEMS DETAILS**  
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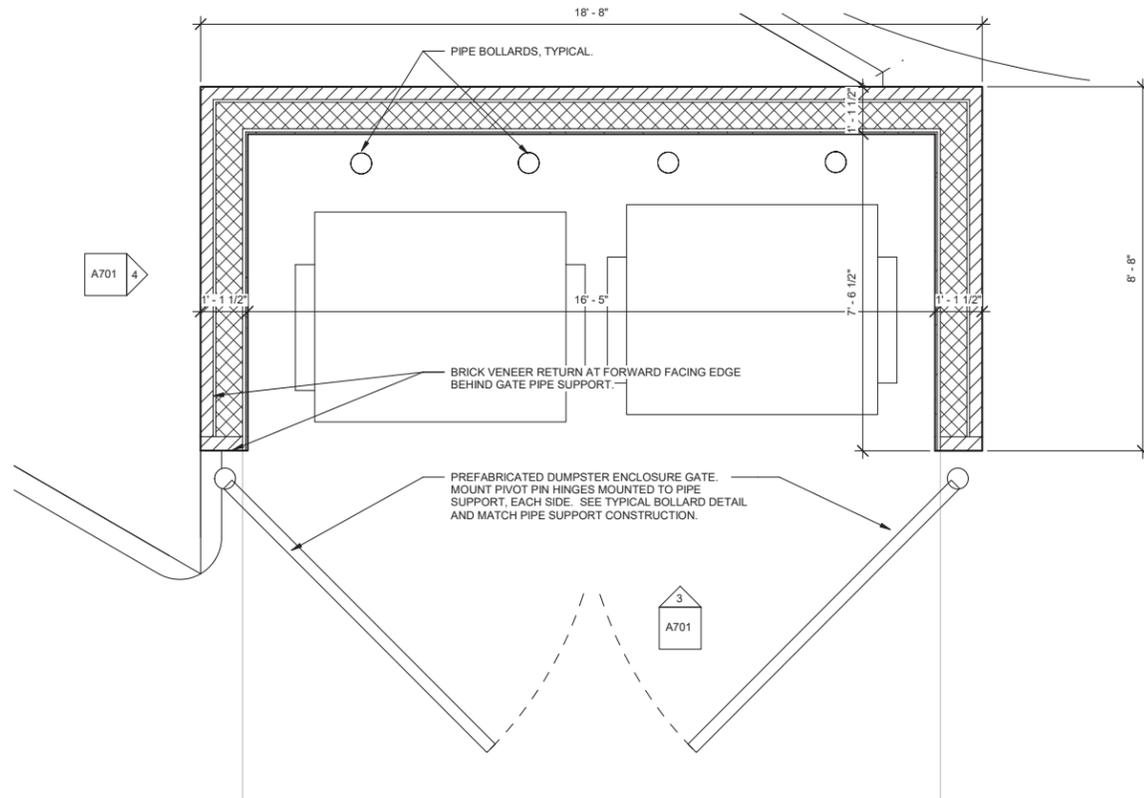
PROJECT SHEET

REVISIONS

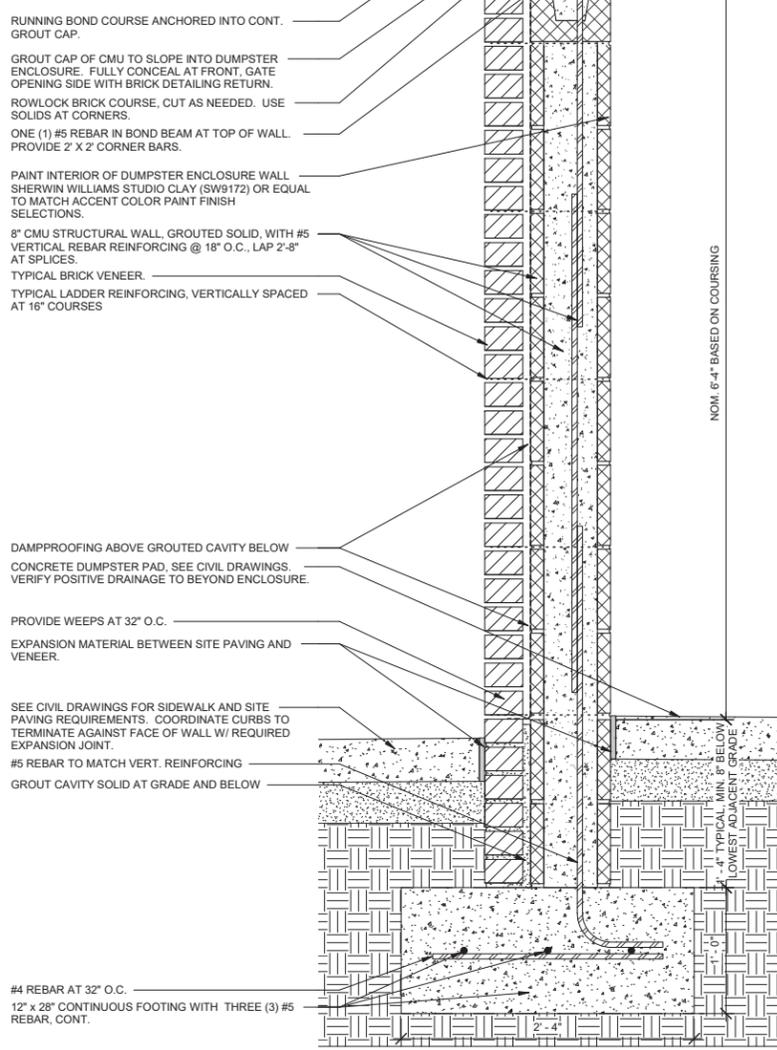
**A502**  
JOB #20030  
DATE 06.07.21



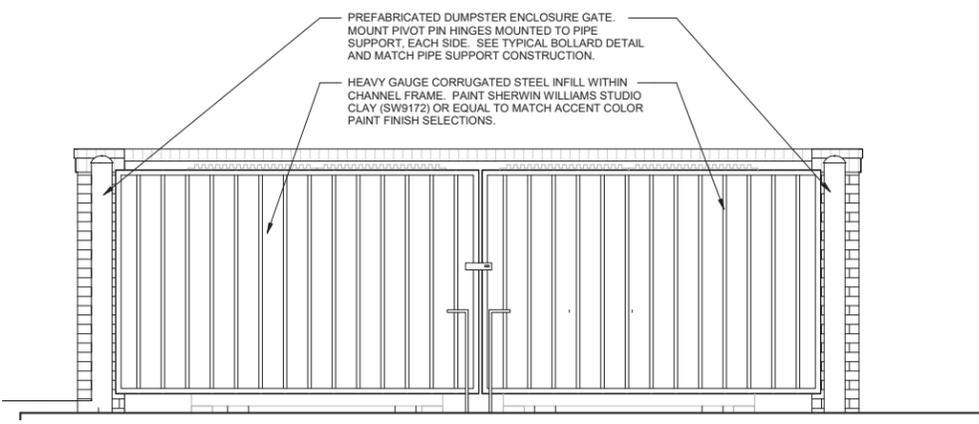
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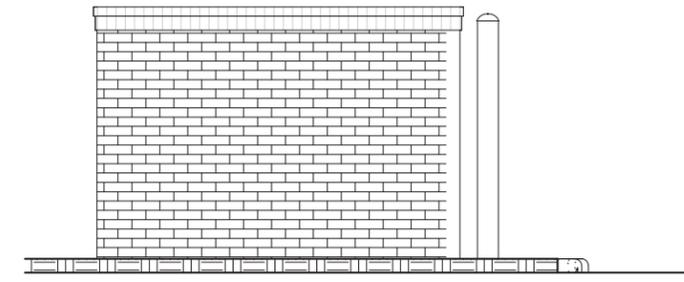
1 DUMPSTER ENCLOSURE  
1/2" = 1'-0"



2 DUMPSTER ENCLOSURE SECTION  
1 1/2" = 1'-0"



3 DUMPSTER ELEVATION - FRONT  
1/2" = 1'-0"



4 DUMPSTER ELEVATION - SIDE  
1/2" = 1'-0"



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803.727.2098

SHELL DESIGN PACKAGE  
**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**DUMPSTER PLAN & DETAILS**  
DESIGN REVIEW BOARD - FINAL REVIEW SUBMITTAL

PROJECT SHEET

REVISIONS

**A701**  
JOB #20030  
DATE 06.07.21

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POPE AVENUE PEDESTRIAN APPROACH



COVERED SEATING AREA WITH FRONT AND RIGHT SIDE VIEW



RIGHT, PARKING LOT SIDE AND REAR BUILDING VIEW



DRIVE THROUGH LANE EXIT LANE



LEFT SIDE AND REAR BUILDING CORNER FROM ENTRY ROAD



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SHELL DESIGN PACKAGE  
**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA

**3D RENDERING VIEWS**  
DESIGN REVIEW BOARD - FINAL REVIEW SUBMITTAL

PROJECT SHEET

REVISIONS

**V101**

JOB #20030  
DATE 06.07.21



STARBUCKS

STARBUCKS



STARBUCKS



**STARBUCKS**







STARBUCKS

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SHELL DESIGN PACKAGE  
**STARBUCKS - HILTON HEAD**  
NORTH AUGUSTA, SOUTH CAROLINA  
**RENDERED ELEVATIONS**  
DESIGN REVIEW BOARD - FINAL REVIEW SUBMITTAL

PROJECT SHEET

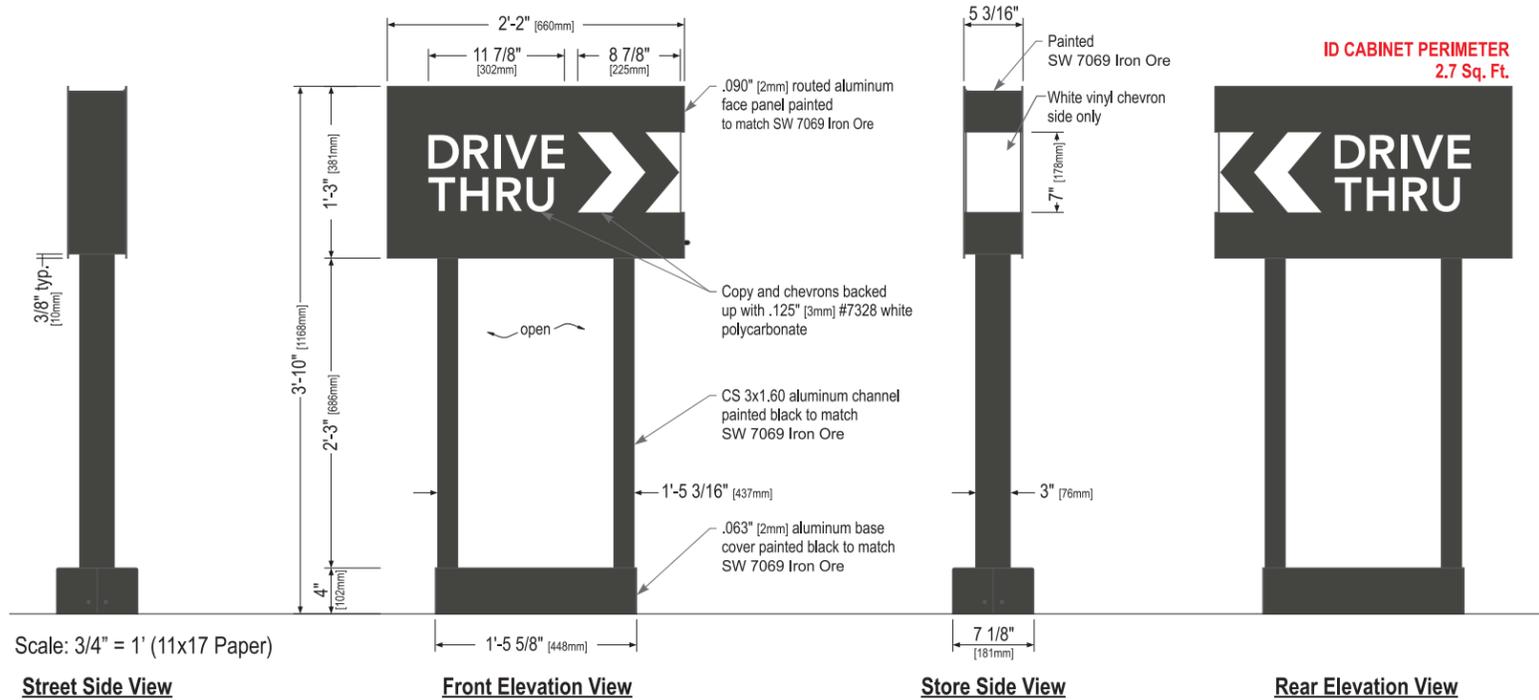
REVISIONS

**V102**  
JOB #20030  
DATE 06.07.21

# 46" NON-ILLUMINATED DIRECTIONAL < DT/DT> - No Logo

Qty. 2

SBC-S14327-NIL



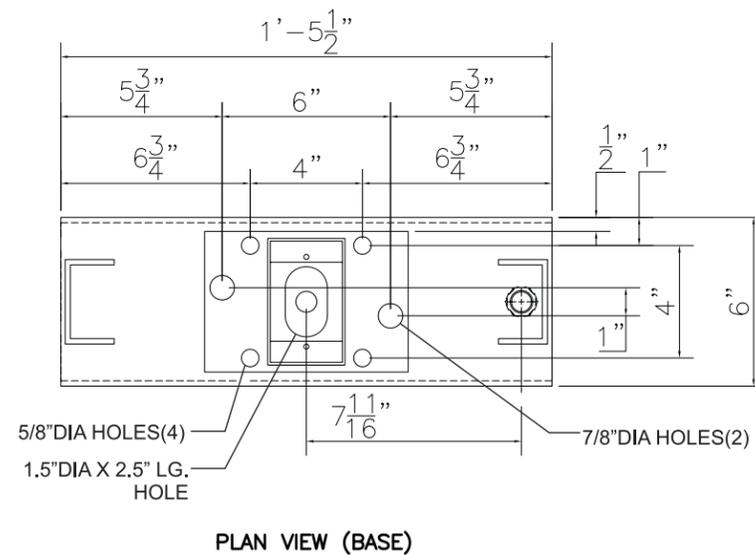
Scale: 3/4" = 1' (11x17 Paper)

Street Side View

Front Elevation View

Store Side View

Rear Elevation View



PLAN VIEW (BASE)

### Sign Specifications:

Fabricated .090" Aluminum cabinet painted black to match SW 7069 Iron Ore with white end cap as shown. Directional copy and chevrons backed up with 1/8" white polycarbonate. All polycarbonate face elements to attached to interior face panels with welded studs. All interior portions of sign cabinet painted white. All components accessible through face of cabinet.

Support:  
Support structure to be welded aluminum tube and channel construction painted black to match SW 7069 Iron Ore. Base tube to be constructed to be retro-fittable to existing sign foundations. All foundations new and used to be analyzed for suitability and must meet all local city or state code regulations.

**APPROVED**

By Shea Farrar at 9:43 am, Jul 19, 2019

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www.hiltondisplays.com

**QID 18-43718**

**JOB NAME**

Starbucks 56987

**LOCATION**

416 William Hilton Parkway  
Hilton Head, SC

**CUSTOMER CONTACT**

**SALESMAN / PM**

Chris Grubbs

**DESIGNER**

Preston Alexander

**DWG. DATE**

10-8-18

**REV. DATE / REVISION**

3-19-19 CW / HDU panels  
4-15-19 CW / updates

**SCALE**

As Noted

**FILE**

2018/Starbucks/Hilton Head SC/  
18-43718/SB Hilton Head SC  
5697 permit.cdr

**DESIGN SPECIFICATIONS ACCEPTED BY:**

EST:	CLIENT:
SLS/PM:	LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



COLOR LEGEND	
PMS/PAIN	VINYL
PMS 3425 C	3M 3630-76
SW 7069	
PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
PMS 369 C	NA
REFL. WHITE	3M 680-10

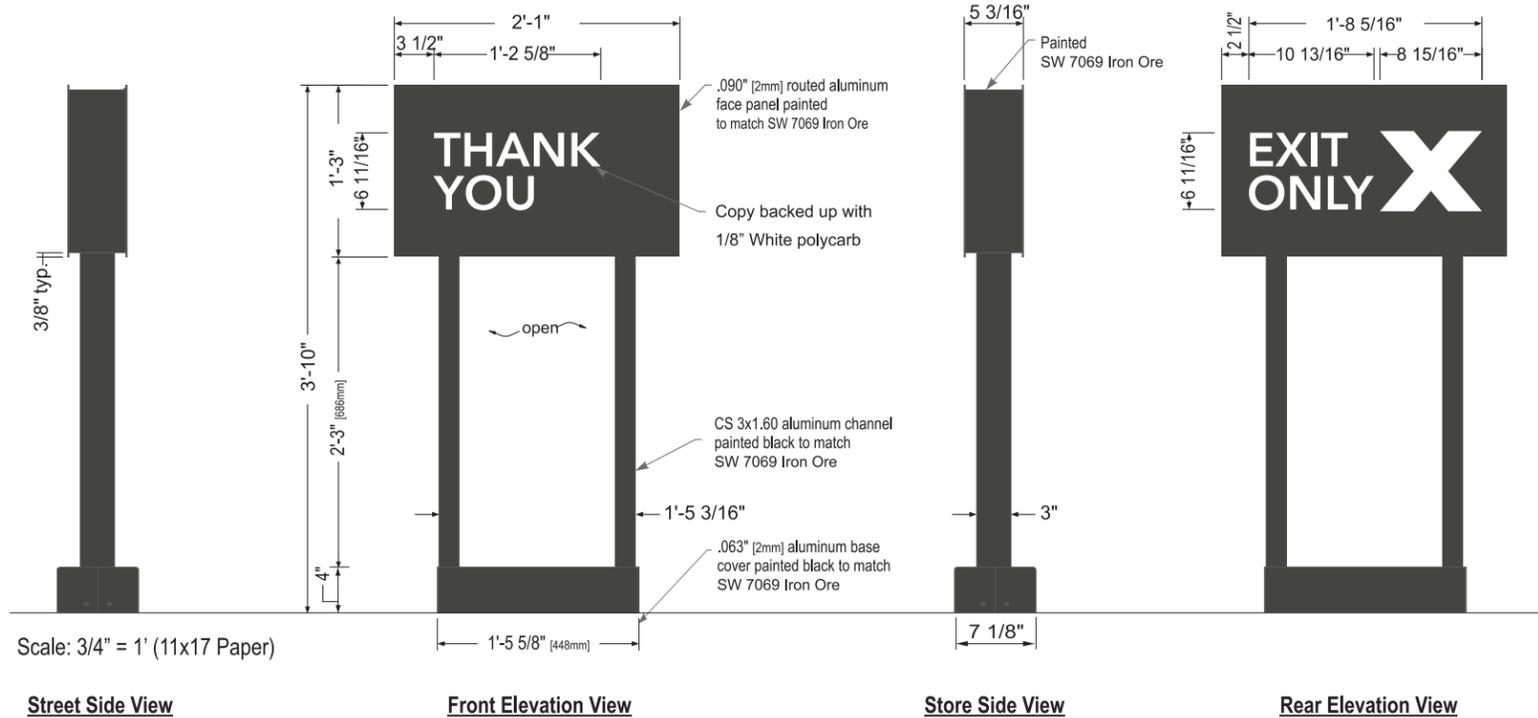
Size	Sq. Ft. <sup>1</sup>	Sq. Ft. <sup>2</sup>
46" (1168mm)	1.09	8.31

# 46" NON-ILLUMINATED DIRECTIONAL TY/EO

Qty. 1

SBC-S14091-NIL

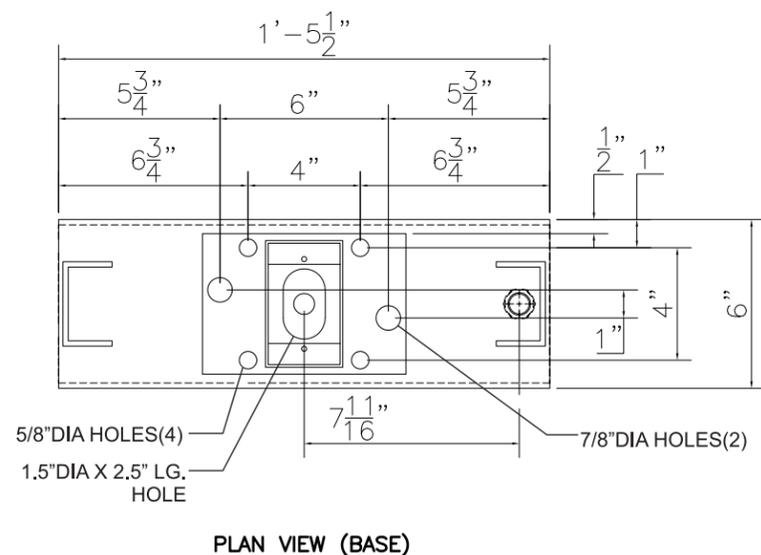
D



### Sign Specifications:

Fabricated .090" Aluminum cabinet painted black to match SW 7069 Iron Ore with white end cap as shown. Directional copy and chevrons backed up with 1/8" white polycarbonate. All polycarbonate face elements to attached to interior face panels with welded studs. All interior portions of sign cabinet painted white. All components accessible through face of cabinet.

**Support:**  
Support structure to be welded aluminum tube and channel construction painted black to match SW 7069 Iron Ore. Base tube to be constructed to be retro-fittable to existing sign foundations. All foundations new and used to be analyzed for suitability and must meet all local city or state code regulations.



**APPROVED**  
By Shea Farrar at 9:43 am, Jul 19, 2019

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**SCALE**

As Noted

**FILE**

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COLOR LEGEND		
	PMS/PAIN	VINYL
	PMS 3425 C	3M 3630-76
	SW 7069	
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

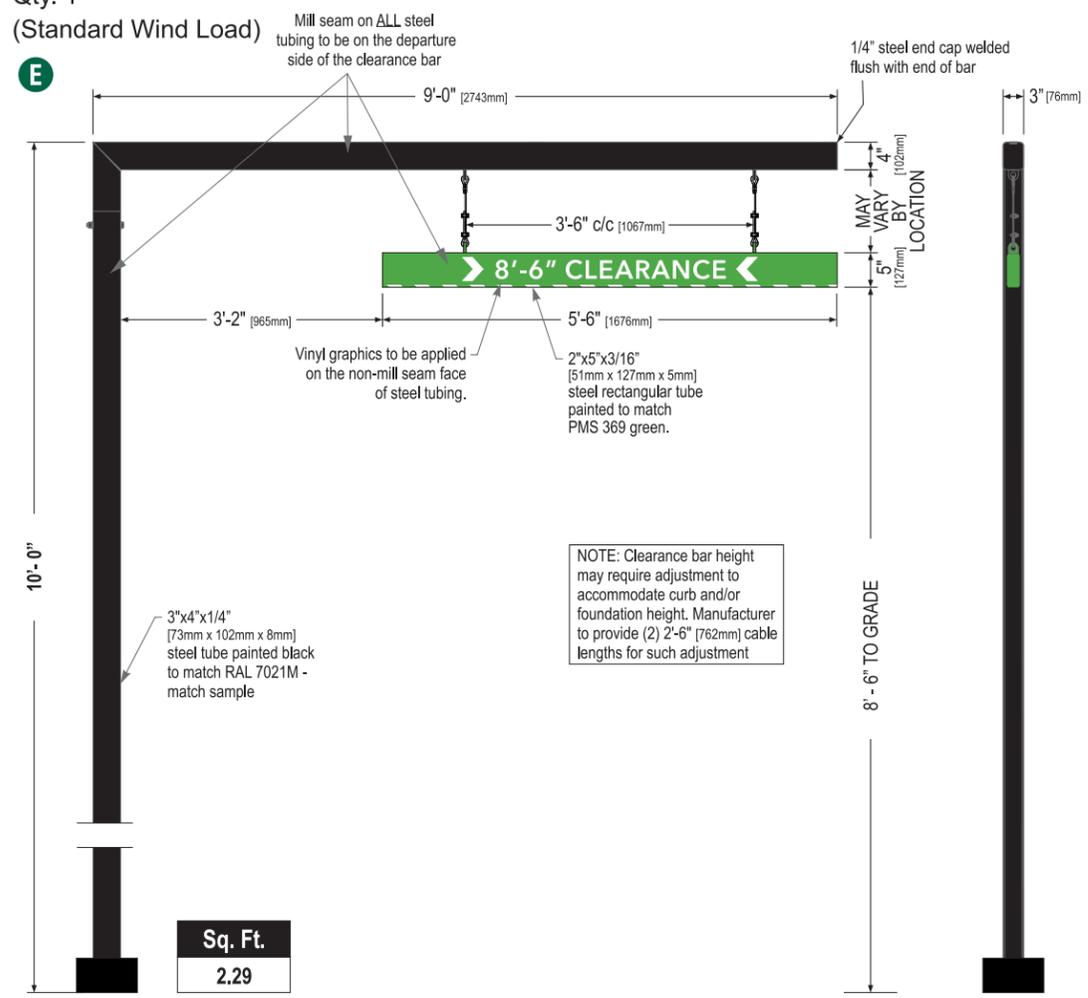
Size	Sq. Ft. <sup>1</sup>	Sq. Ft. <sup>2</sup>
46" (1168mm)	2.60	7.99

# CLEARANCE BAR WITH BASE COVER SBC S14106-SHB-C-10

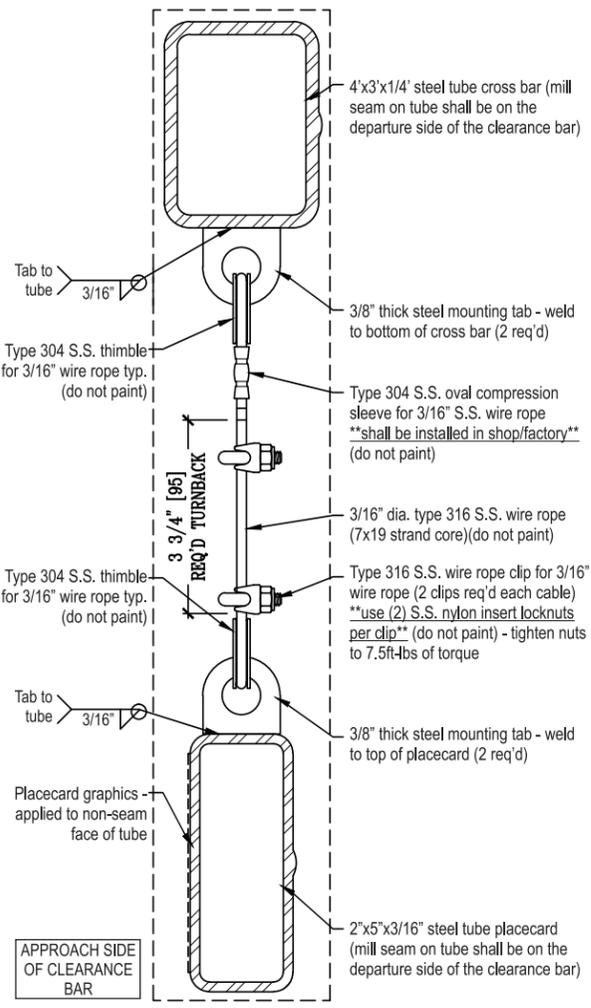
Qty. 1

(Standard Wind Load)

**E**



Front Elevation View



Right Side View

End Section View

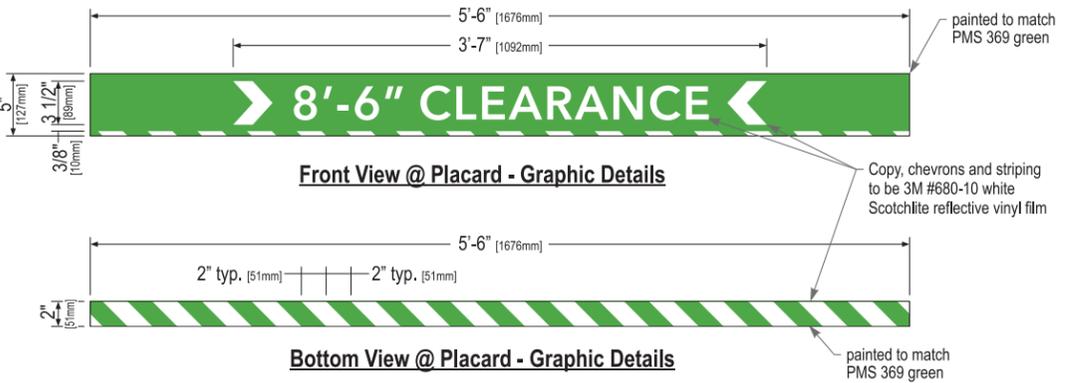
## Sign Specifications:

- Scraper Bar:
- 2"x5" [51mm x 127mm] steel tube painted to match PMS 369 green.
  - Flush steel end caps painted to match PMS 369 green.
  - Copy and chevrons to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film.
  - Bottom striping to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film. Striping extends 3/8" [10mm] onto front face.
  - Suspend from support with SS cable & hardware. Cable provided requires field adjustment for proper clearance height.

- Support:
- Supporting structure will be all welded steel tube construction painted black to match RAL 7021M as per approved shop drawings.
  - Base tube will be constructed so that it can be retro-fittable to existing sign foundations. All foundations, existing and new must be analyzed for suitability and must meet all local city or state codes regulations.

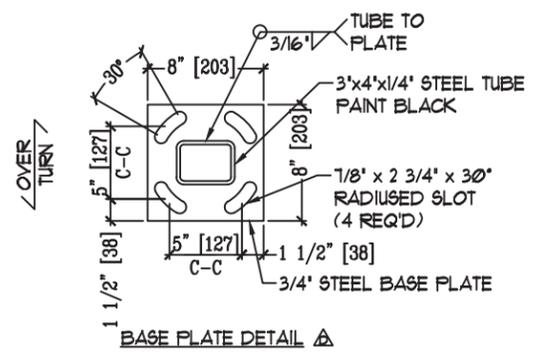
**APPROVED**  
By Shea Farrar at 9:43 am, Jul 19, 2019

Rear of Clearance Bar to be SW Iron Ore



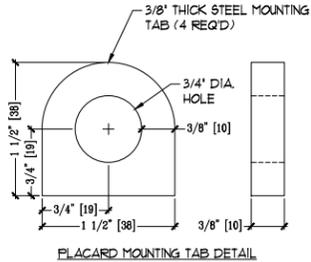
Front View @ Placard - Graphic Details

Bottom View @ Placard - Graphic Details

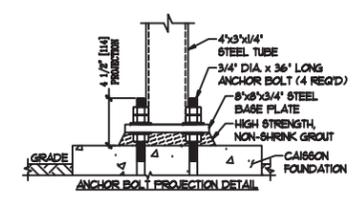


BASE PLATE DETAIL

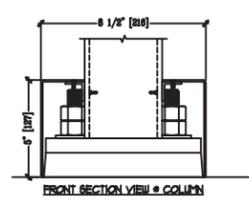
COLOR LEGEND		
	PMS/PAIN	VINYL
	PMS 3425 C	3M 3630-76
	SW 7069	
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10



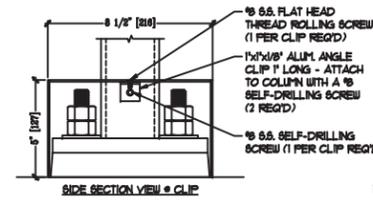
PLACARD MOUNTING TAB DETAIL



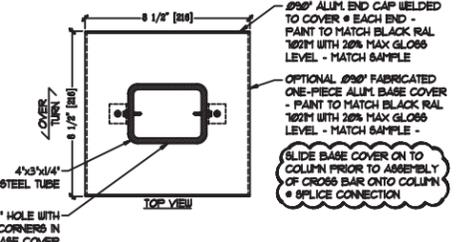
ANCHOR BOLT PROJECTION DETAIL



FRONT SECTION VIEW - COLUMN



SIDE SECTION VIEW - CLIP



TOP VIEW

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**QID 18-43718**

**JOB NAME**

Starbucks 56987

**LOCATION**

416 William Hilton Parkway  
Hilton Head, SC

**CUSTOMER CONTACT**

**SALESMAN / PM**

Chris Grubbs

**DESIGNER**

Preston Alexander

**DWG. DATE**

10-8-18

**REV. DATE / REVISION**

3-19-19 CW / HDU panels

4-15-19 CW / updates

**SCALE**

As Noted

**FILE**

2018/Starbucks/Hilton Head SC/  
18-43718/SB Hilton Head SC  
5697 permit.cdr

**DESIGN SPECIFICATIONS ACCEPTED BY:**

EST: CLIENT:

SLS/PM: LANDLORD:

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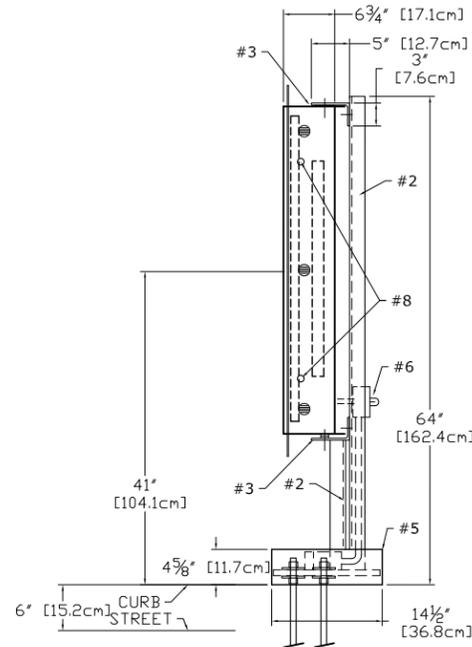
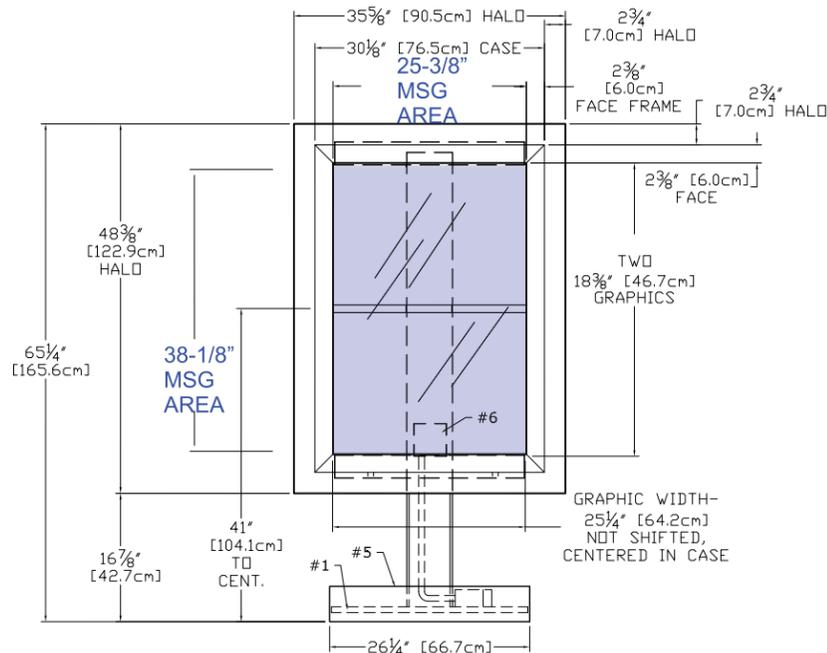
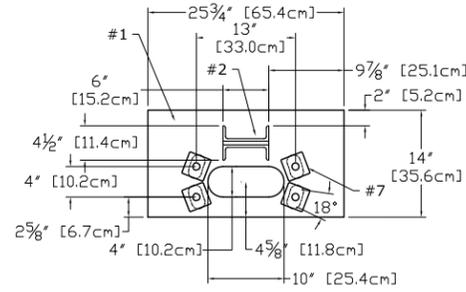
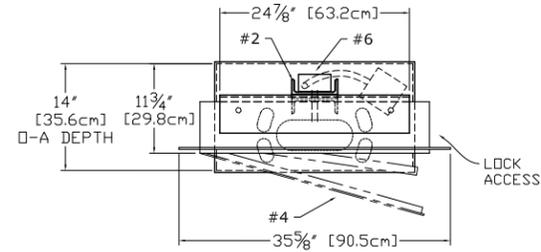
Underwriters Laboratories Inc.

DRY   
DAMP   
WET

# PRE-MENU BOARD - FREESTANDING

Qty. 1

F

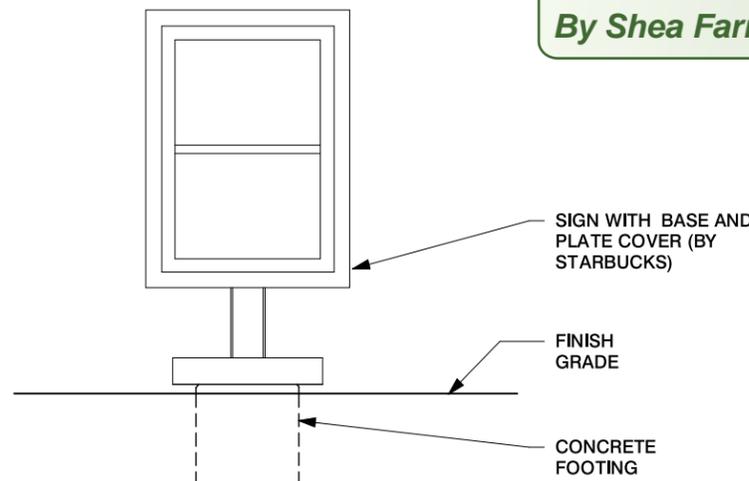


- #1 - 3/4" [19mm] STEEL BASE PLATE w/ 18deg HOLES PATTERN LEFT SQUARE / SYMETRICAL
- #2 - C6X10.5 (6"x2"x5/16") STEEL POST (1x)
- #3 - 5"x3"x3/4" STEEL SUPPORT ANGLES (2x) (WELDED TO STEEL POST)
- #4 - EXTRUDED ALUMINUM MENU BOARD (1x) ONE SPLIT PANEL LIGHTBOX TWO 25 3/4"x18 3/8" GRAPHICS GRAPHIC ASSEMBLY CENTERED, NOT SHIFTED STANDARD LED TUBE LIGHTING, SIDE LOCKS
- #5 - WELDED ALUMINUM BASE COVER
- #6 - WATER-TIGHT BOX w/SWITCHES & SENSOR, RIDGID CONDUIT RUN TO SECOND EXT BOX BELOW BASE COVER, 120 WATT, 0.30Aac
- #7 - 8 BASE WASHERS, 1/4" THICK
- #8 - TWO SIDE MOUNT LOCKS, RETAIN EXISTING KEY #E3-26-819-15

MESSAGE AREA = (25.375 \* 38.125) / 144 = 6.72 SQ FT

## DTE - PRE-MENU FREESTANDING

Scale: 1/2" = 1' (11x17 paper)



## DTE - PRE-MENU FREESTANDING

Scale: 3/8" = 1' (11x17 paper)

**\* MENU COPY IS A DIGITAL PRINT GRAPHICS DO NOT MOVE**

**PRE-MENU PAINTED TO MATCH SW 7069 IRON ORE**

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 www.hiltondisplays.com

**QID 18-43718**

**JOB NAME**

Starbucks 56987

**LOCATION**

416 William Hilton Parkway  
 Hilton Head, SC

**CUSTOMER CONTACT**

**SALESMAN / PM**

Chris Grubbs

**DESIGNER**

Preston Alexander

**DWG. DATE**

10-8-18

**REV. DATE / REVISION**

3-19-19 CW / HDU panels

4-15-19 CW / updates

**SCALE**

As Noted

**FILE**

2018/Starbucks/Hilton Head SC/  
 18-43718/SB Hilton Head SC  
 5697 permit.cdr

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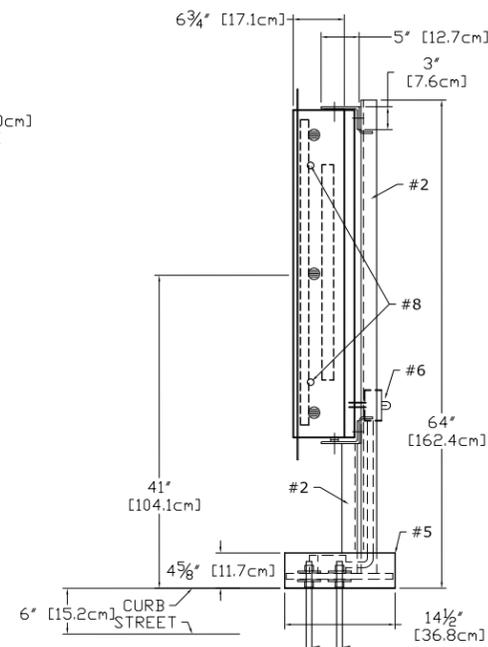
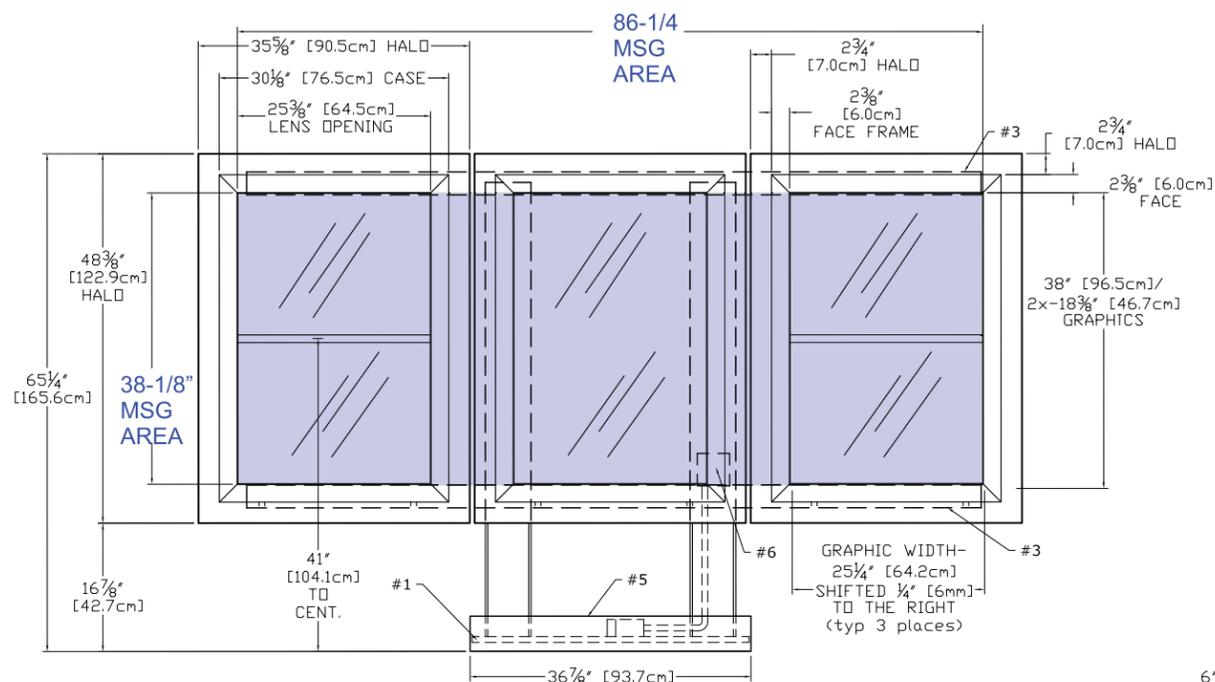
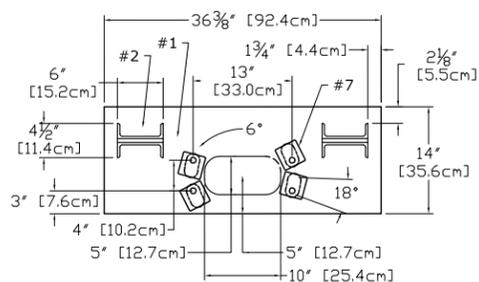
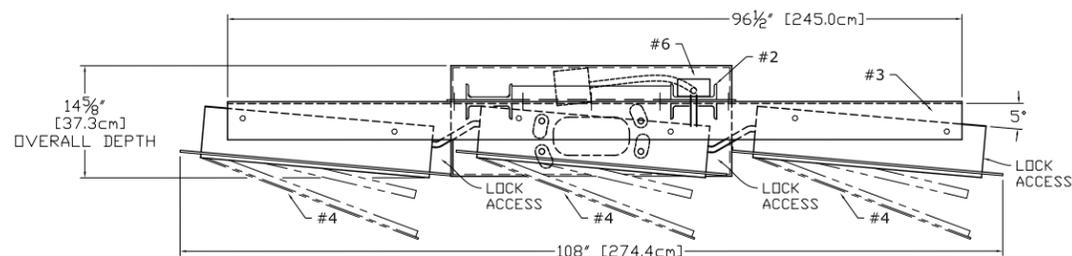
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# 5-PANEL MENU - FREESTANDING

Qty. 1

H



**\* MENU COPY IS A DIGITAL-PRINT NOT A DIGITAL DISPLAY**

**MENU PAINTED TO MATCH SW 7069 IRON ORE**

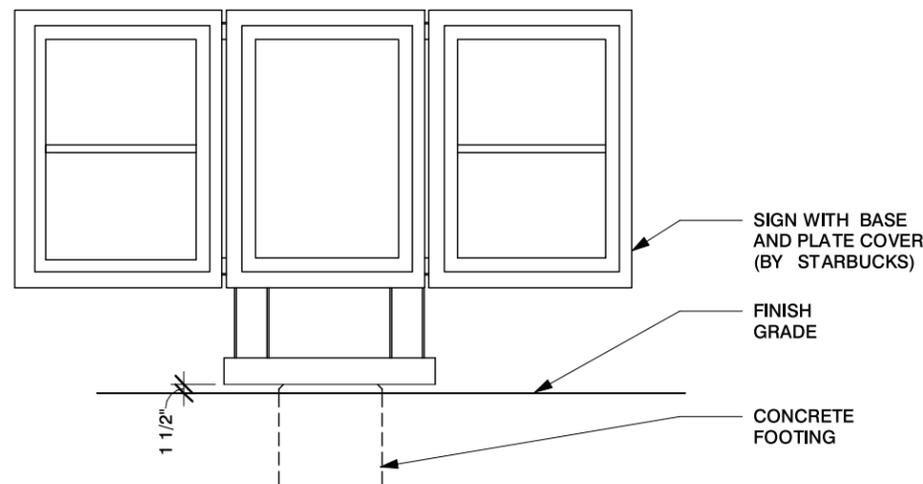
- #1 - 3/4" [19mm] STEEL BASE PLATE w/ 18deg HOLES PATTERN ROTATED FOR 15deg THRU 3deg POSITION
- #2 - C6X10.5 (6"x2"x5/16") STEEL POST (2x)
- #3 - 5"x3"x1/4" STEEL SUPPORT ANGLES (2x) (BOLTED TO WELDED 1/4" STEEL CROSSBARS)
- #4 - EXTRUDED ALUMINUM MENU BOARDS (3x) ONE FULL AND TWO SPLIT PANEL LIGHTBOXES ONE - 25 1/4"x38" AND FOUR 25 1/4"x18 3/8" GRAPHICS ALL GRAPHIC ASSEMBLIES SHIFTED 1/4" TO RIGHT STANDARD LED TUBE LIGHTING, SIDE LOCKS
- #5 - WELDED ALUMINUM BASE COVER
- #6 - WATER-TIGHT BOX w/SWITCH & SENSOR, RIDGID CONDUIT RUN TO SECOND EXT BOX BELOW BASE COVER, 120 WATT, 0.90Aac
- #7 - 8 BASE WASHERS, 1/4" THICK
- #8 - TWO SIDE MOUNT LOCKS per MENUBOARD RETAIN EXISTING KEY #E3-26-819-15

**APPROVED**  
By Shea Farrar at 9:43 am, Jul 19, 2019

MESSAGE AREA = (86.25 \* 38.125) / 144 = 22.9 SQ FT

## DTE - MENU 5 PANEL FREESTANDING

Scale: 1/2" = 1' (11x17 paper)



## DTE - MENU 5 PANEL FREESTANDING

Scale: 3/8" = 1' (11x17 paper)

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**QID 18-43718**

**JOB NAME**

Starbucks 56987

**LOCATION**

416 William Hilton Parkway  
Hilton Head, SC

**CUSTOMER CONTACT**

**SALESMAN / PM**

Chris Grubbs

**DESIGNER**

Preston Alexander

**DWG. DATE**

10-8-18

**REV. DATE / REVISION**

3-19-19 CW / HDU panels  
4-15-19 CW / updates

**SCALE**

As Noted

**FILE**

2018/Starbucks/Hilton Head SC/  
18-43718/SB Hilton Head SC  
5697 permit.cdr

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EST:	CLIENT:
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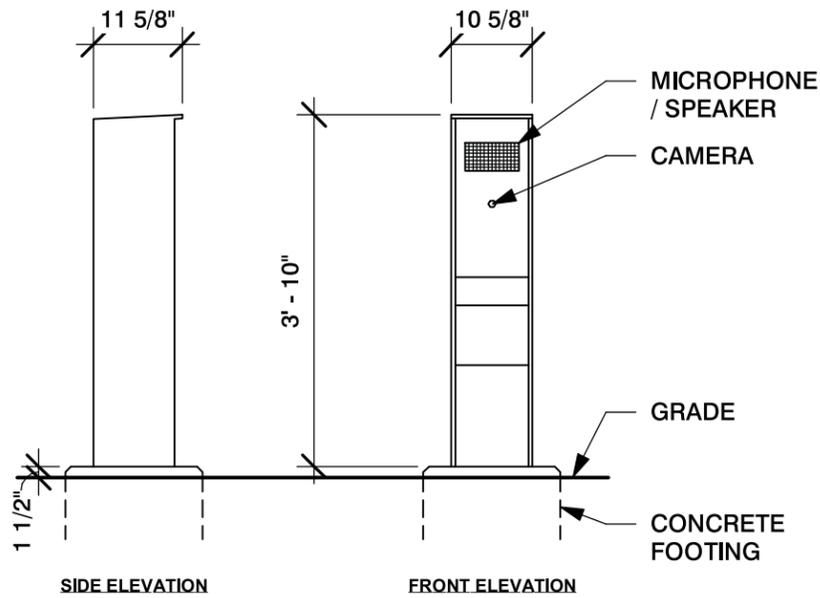
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# DTE - DRIVE THRU SPEAKER POST

Qty. 1

G



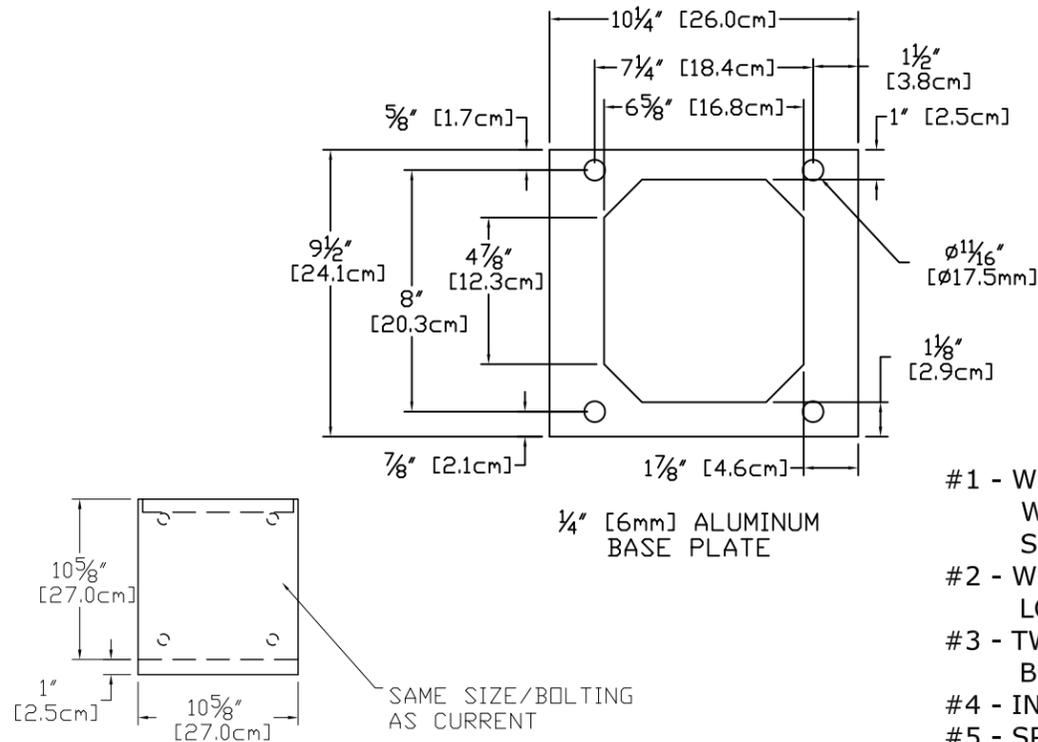
DTE - DRIVE THRU SPEAKER POST

Scale: 1/2" = 1' (11x17 paper)

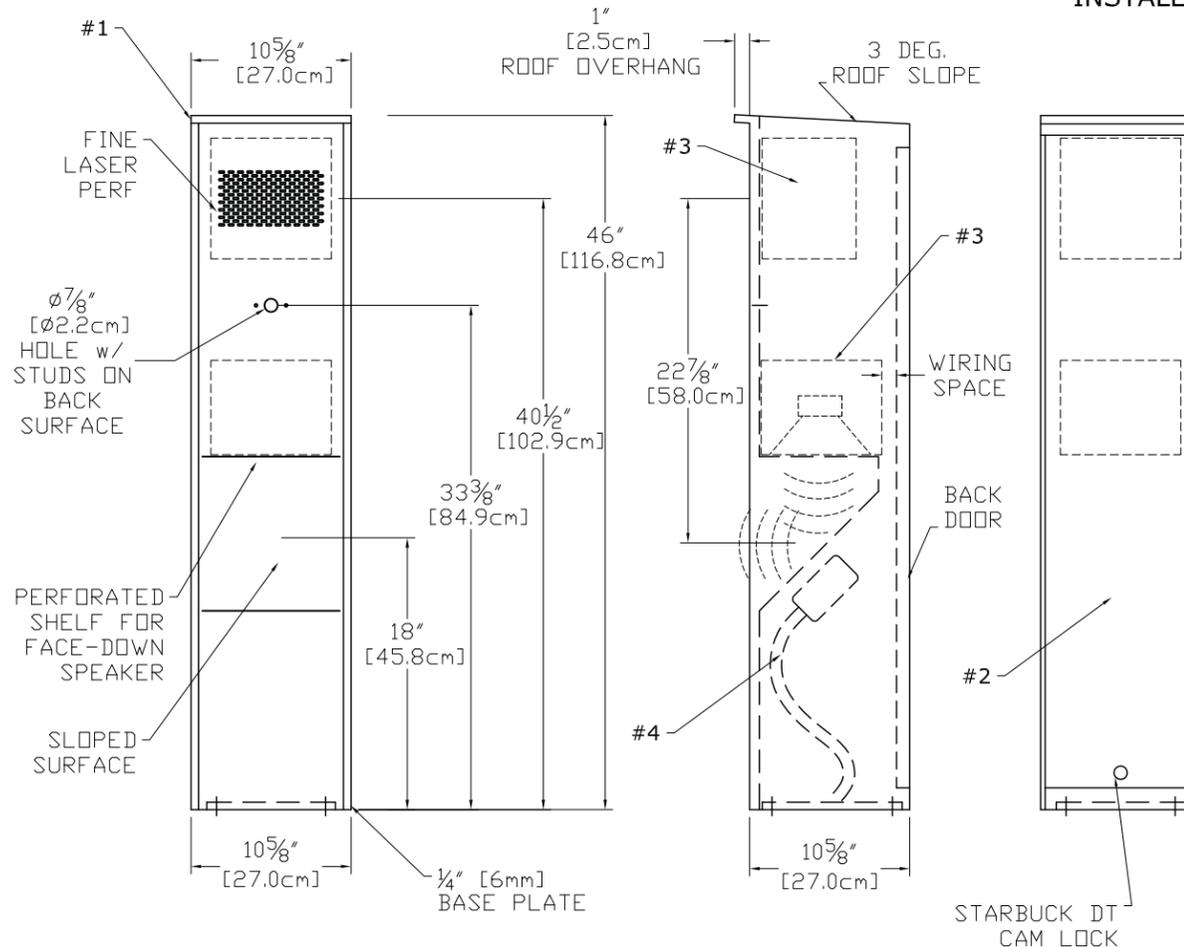


**APPROVED**

By Shea Farrar at 9:43 am, Jul 19, 2019



- #1 - WELDED ALUMINUM CASE w/ WELDED STUDS & MOUNTS FOR SPEAKER, CAMERA, MICROPHONE
- #2 - WELDED ALUMINUM REAR DOOR w/ LOCK, KEY #E3-26-819-15
- #3 - TWO - WOODEN INSULATING BOXES FOR SPEAKER & MIC
- #4 - INTERNAL CONDUIT, J-BOX, COVER
- #5 - SPEAKER, CAMERA, MICROPHONE & INSTALLATION BY OTHERS



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**SALESMAN / PM**

Chris Grubbs

**DESIGNER**

Preston Alexander

**DWG. DATE**

10-8-18

**REV. DATE / REVISION**

6-13-19 CW / Elevations

7-1-19 CW/ speaker post

**SCALE**

As Noted

**FILE**

2018/Starbucks/Hilton Head SC/  
 18-43718/SB Hilton Head SC  
 5697.cdr

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## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Pope Avenue Starbucks

DRB#: DRB-001318-2021

DATE: 05/28/2021 06/12/2021

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Provide a vegetation protection plan for Staff review and approval that:
  - a. Locates tree protection fence around trees to be preserved.
  - b. Preserves understory vegetation between site and church.
  - c. Specifies a 4-6" protective wood mulch under the dripline of 31" & 21" Live Oak (front left corner) prior to construction.
  - d. Specifies pre and post construction fertilization and mycor treatments by an arborist for the 31" and 21" Live Oak.
2. Revise the Planting Plan for Staff review and approval to:
  - a. Plant the Pope Ave. buffer more naturally.
  - b. Specify more shade tolerant planting under existing trees.

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff suggest the architecture be re-evaluated with the SeaTurtle Starbucks and new Wheelz building (at Pope and Executive). <a href="#">Pope Ave buffer reestablished.</a>
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The pedestrian patch connection dumps people into the drive isle between potentially two parked cars creating a conflict with vehicular traffic. Staff has generated a site plan that improves pedestrian safety. <a href="#">Pedestrian access is more visible with new site plan.</a>

Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The existing parking in front eliminates the buffer but is an existing non conformity. Staff has generated a site plan that restores part of that buffer that would otherwise be required. <b>Pope Ave buffer reestablished.</b>
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It is not clear where the different color are on the building. SW 7015 Repose Gray will wash out in the sun and should be used sparingly if at all. <b>Darker shade has been proposed for the building base.</b>
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The brackets appear fussy and not in keeping with "Island Character". <b>Brackets have been eliminated.</b>
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Conceptual Comment—At Final provide a lighting plan for all exterior fixtures compliant with LMO requirements and not exceeding 3000K.</b> The submitted plan exceeds LMO allowed foot candles and the light temperature specified exceeds 3000K. <b>The proposed lighting plans complies with the LMO.</b>
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Specify the color of the interior of the dumpster enclosure. <b>SW Studio Clay</b></li> <li>2. Specify the color of the dumpster gate and gate post on the detail. <b>SW Studio Clay</b></li> </ol>

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. <del>Gordonia</del> This species is difficult to establish, a good alternative is Magnolia virginiana. Use as understory not as canopy tree in parking lot.</li> <li>2. <del>Persea</del> This species has been decimated by the ambrosia beetle. a good alternative is Magnolia virginiana. Use as understory not as canopy tree in parking lot.</li> <li>3. <del>Quercus laurifolia</del> preference is for Quercus virginiana.</li> <li>4. <b>The Muhlenbergia capillaris needs full sun to flourish. Specify a more shade tolerant species like; Liriope or Chasmanthium latifolium (Upland Sea Oats).</b></li> <li>5. <b>In the Pope Ave. buffer avoid lining up trees and shrubs in rows, instead plant in more natural sweeping masses.</b></li> </ol>

				6. Consider areas of ornamental grassed in the Pope Ave buffer.
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff recommends all canopy trees be upgraded to 4” caliper min. 4” Quercus specified in Pope Ave. buffer.
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing trees are not taken into consideration when locating new trees and shrubs. the landscape designer should visit the site to identify existing trees to be showcased in landscape. Holly should be field located under 31” Live Oak at front left corner.
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Asarum (Wild Ginger) Is not generally available in nursery trade and is unproven in a commercial landscape. Good alternative groundcovers are: Dwarf Paekahatchee Grass, othe ornamental grasses, and Liriope. revised.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The existing buffer (including understory) between this site and the church should be inventoried and maintained through construction. supplemental planting may be required.

**NATURAL RESOURCE PROTECTION**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>The existing buffer (including understory) between this site and the church should be inventoried and maintained through construction. supplemental planting may be required. Reduce required landscaping in this area if existing vegetation can be saved. Provide a tree / understory protection plan.</li> <li>Planting under existing trees should be done thoughtfully. Set plant 10’ min. off trunk and avoid planting new canopy trees under existing trees.</li> </ol>

**MISC COMMENTS/QUESTIONS**

<ol style="list-style-type: none"> <li><del>Vehicular circulation on the site is congested and not clear. This includes the parallel parking. Staff has generated attached site plan that improves circulation and eliminates the parallel parking.</del> Revised Site Plan eliminates parallel parking, improve vehicular circulation, improves pedestrian safety and reestablishes the Pope Ave. buffer.</li> </ol>
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