



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, August 10, 2021 – 1:15 p.m.
Benjamin M. Racusin Council Chambers

AGENDA

The meeting will be held in-person at Town Hall in the Benjamin M. Racusin Council Chambers. The outside doors will be opened to the public one hour before the meeting start time, seating will be limited to no more than 80 individuals.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of July 27, 2021

6. Appearance by Citizens

7. New Business

a. *New Development – Final*

i. The Charles, DRB-001776-2021

ii. Tidal Wave Auto Spa, DRB-001782-2021

b. *Alteration/Addition*

i. HC Gray Storage Facility, DRB-001777-2021

8. Board Business

9. Staff Report

a. Minor Corridor Report

10. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting

July 27, 2021 at 1:15 p.m.

Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chair Cathy Foss, Vice Chair John Moleski, David McAllister, Annette Lippert, Judd Carstens, Ryan Bassett

Absent from the Board: Ben Brown (Excused)

Present from Town Council: David Ames, Tamara Becker

Present from Town Staff: Josh Gruber, Deputy Town Manager; Chris Darnell, Urban Designer; Tyler Newman, Senior Planner; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:18 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Mr. McAllister moved to approve. Ms. Lippert seconded. By show of hands, the motion passed 5-0-0. (Mr. Moleski was not yet at the meeting.)

5. Approval of Minutes

a. Meeting of July 13, 2021

Chair Foss asked for a motion to approve the minutes of the July 13, 2021 regular meeting. Mr. Bassett moved to approve. Mr. McAllister seconded. By show of hands the motion passed 4-0-1. (Mr. Moleski was not yet at the meeting and Mr. Carstens abstained as he was not present at the subject meeting.)

6. Appearance by Citizens

Chair Foss asked if there were any requests for appearance by citizens regarding items not on the current agenda. There were none. She noted the requests received regarding 15 Wimbledon Court will take place when the item is addressed.

7. New Business

a. *New Development – Final*

i. The Charles, DRB-001668-2021

Mr. Darnell presented the application as described in the Board's agenda package. He recommended the project be approved with the following conditions for Staff review and approval:

1. Given the 20" and 26" Live Oak location adjacent to the proposed building, provide a canopy study and relocation of the storm outfall.
2. Relocate the outfall into the lagoon to avoid the three pines north of the parking lot.
3. Revise the landscape plan to match the scope of the building.

Mr. Moleski took a seat at the dais at 1:23 p.m. after the project had started.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: notice of the addition of tabby stucco; clarification of location of stairs at the back elevation; location of planters and piers in conjunction with the steps; removal of windows from the front façade; inconsistency in drawings; lack of dimensions; the need for lighting cut sheets; definition of ceiling materials; the roof plan continues to show a parapet; color for the guardrail; clarification of height of building; discrepancy in bracket scale; concern for ADA compliance; the need for additional ground cover; suggestions to carry bracket around the corner; garage steps on right have no relationship in the site plan; suggestion of a landing at the bottom of steps; suggestion of live oaks in the medians; suggestion of transition in planting on Skull Creek side; the need for landscape lighting; and concern for the many discrepancies in the drawings and elevations.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

b. Alteration/Addition

- i. St. Andrew By-The-Sea United Methodist Church Pope Avenue Entry, DRB-001654-2021

Mr. Darnell presented the application as described in the Board's agenda package. He recommended the project be approved with the following conditions for Staff review and approval:

1. Specify the color and or finish of:
 - a. New stucco to match existing stucco,
 - b. Metal bracket to coordinate with the color palette of the existing building.
 - c. Elevator door to coordinate with the color palette of the existing building.
 - d. Exposed wood to coordinate with the color palette of the existing building.
2. Provide cut sheets for all light fixtures.
3. Provide a landscape plans of a scope and size that is in proportion to the scale of the alteration / addition.
4. Specify the lay down area on the plans for construction material and activity.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: clarification of the disposition of the two bollard lights at the side of the stairs; suggestion of podocarpus plantings in the landscaping for seasonal colors; clarification of how lighting would be mounted; the dimension of the pier in the architectural drawing; extension of the existing wall; suggestion that elevator door be painted the same color as the exterior; and the need for alignment of the stucco trim with the beam.

Following the discussion, Ms. Lippert moved to approve DRB-001654-2021 with the following conditions:

1. All of Staff recommended conditions.
2. A note that the existing bollards are being removed.
3. The guardrail wall be extended in a manner that the post remains free standing.
4. Confirmation that all of the structural wood elements are to be stained to match existing.
5. The stucco trim on the elevator tower to match the depth of the glulam beam.
6. The elevator door to be stucco color.
7. A specification of standard podocarpus (7 gallon) in line with the existing wall with the opportunity for seasonal color as existing in front.

Mr. Carstens seconded. By show of hands, the motion passed by a vote of 6-0-0.

c. New Development – Conceptual

i. 15 Wimbledon Court, DRB-001665-2021

(Due to a potential conflict of interest, Mr. Bassett recused himself from discussion and voting regarding 15 Wimbledon Court, DRB-001665-2021 and left the dais. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package.

Chair Foss asked if there were any requests for appearance by citizens regarding 15 Wimbledon Court, DRB-001665-2021.

Five Hilton Head Island residents and the Island Club Manager addressed the Board in opposition to the project stating safety concerns and increased traffic flow. A local attorney addressed the board providing a brief history of the project.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: clarification of the phasing plan; massing of buildings; definition of proportions; consistency in gables; sizes of guardrails; variety in massing and rooflines; clarification of building four front elevations; mass of the maintenance building roof; scale and proportions of Bahama shutters; angles on cross guardrail; discussion of the gable eyebrow and proportions of such; the need to ground the windows in the side elevations; the need for evergreen shrubs between the drive aisle and sidewalk; suggestion for use of evergreen material in the buffer; consideration of a wood screen fence on the property line; designation of parking areas and the need for adequate parking; consideration of relocation of the three story buildings to the Folly Field

Road side and the four story buildings to the Wimbledon Court side; clarification of tree removal; clarification of the circulation pattern at drop-off; the need for the garage floor plan; consideration of relocation of the bike racks; suggestion of an additional layer of landscaping directly across from Island Club; consideration of upsizing plantings up against Wimbledon Court; concern expressed regarding too many differences in design; consideration of moving access to the path to the beach to the left; and suggestion of a fence with pierced bricks on the Folly Field side.

Following the discussion, Mr. McAllister moved to approve DRB-001665-2021 with the following conditions:

1. Restudy the LMO to determine any significant trees on site.
2. Restudy location of the bike racks moving them closer to the elevator.
3. Upsize the foundations plants along Wimbledon Court and the rear foundation plants.
4. Add another layer of plantings in the buffer across from the Island Club.
5. Provide a sidewalk connection to the bike path near the curb cut at the clubhouse.
6. All understory trees should be evergreen.
7. Provide planting specification for the vines that are a part of the parking garage.
8. A study of a greater rigor about where which guardrail type is located.
9. Maintain consistent angles of the cross of the guardrails.
10. A study of scale at the gabled roofs.
11. Specifically, less roof on the maintenance building.
12. A study of the porte cochere drop off volume.
13. The need for detailing for final.
14. Study a fence installment along Folly Field Road with a suggestion of pierced brick.

Mr. Carstens seconded. By show of hands, the motion passed by a vote of 5-0-0.

8. Board Business - None

9. Staff Report

- a. Minor Corridor Report – None

10. Adjournment

The meeting adjourned at 3:48 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 7/28/21
 Accepted by: MO
 DRB #: 1776-2021
 Meeting Date: _____

Applicant/Agent Name: CLINT BURDETT Company: B DESIGN
 Mailing Address: 7 BILSTON CT City: IRMO State: SC Zip: 29063
 Telephone: 803 422 5542 Fax: _____ E-mail: CBURDETTH@G3K@GMAIL.COM
 Project Name: THE CHARLES Project Address: 603 SKULL CREEK DR
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

7/27/21

DATE



Hilton Head Plantation Property Owners' Association, Inc.

PO Box 21940, 7 Surrey Lane
Hilton Head Island, SC 29925-1940

July 22, 2021

Mr. Clint Burdett
B Design
7 Bilston Court
Irmo, SC 29063

RE: The Charles

Dear Mr. Burdett:

The Hilton Head Plantation Architectural Review Board wishes to advise you the plans you submitted for a New Construction at Lot 63 Skull Creek Drive-The Charles 22-unit multi-family building has been approved.

The Color Board Selections are approved as follows:

PPU26-03 Legendary Gray-Heavy Base
PPU26-06 Elementary Gray-Light Top
PPU100-11 Classic Silver-Trim
Dark Gray Standing Seam Metal Mansford Roof
Tabby Stucco-Base Accent

The Board strongly recommends each property owner secure samples of their selections from their builder prior to finishing the residence. Where "stucco" finish has been approved, owner familiarity with the various systems/applications is recommended as the use of synthetic materials and the application procedure may vary from builder to builder. Please note that garage doors are assumed to be same color as siding unless specifically approved otherwise.

Any planting on "open space" or Golf Course property is subject to POA, or Golf Course official written approval prior to installation. Installation of irrigation lines/heads on POA property is done at property owner's risk. The POA assumes no liability for damage to irrigation systems or landscape materials on POA property. Any alterations, including the addition of fill, to your landscape plan, must also have ARB written approval.

Receipt of the following completed and signed forms:

- a. Letter of Acknowledgment (Exhibit A)
- b. Compliance Deposit Agreement for New Construction (Exhibit B) with a check made out to T. D. Bank and a completed W9 Form. Compliance amount to be determined.
- c. Drainage and Tree Compliance Agreement (Exhibit C)
- d. Tap-Free Verification and Water & Sewer Stake-out paid to Public Service District #1 (copy of paid receipt to ARB)
- e. Contractor Compliance Agreement with a check payable to HHPPOA and a copy of the Town of Hilton Head License. Compliance amount to be determined.

When the above requirements have been met, the following procedures must then be followed:

1. Stake-out the Lot in accordance with ARB guidelines and then request a stake-out inspection. This will be accomplished typically within 48 hours of the request. If you are not notified within 48 hours, call the ARB Office 681-8800 ext. 231 to determine if the stake-out was satisfactory.
2. Provided all the required documents have been received, pick up the HHP Construction Permit at the ARB Office and all permits should be posted on an approved signed.
Documents: completed and signed forms mentioned above
Town of Hilton Head Building Permit
3. Install filter fence as appropriate to prevent spillage of dirt and run-off on adjoining lots, lagoons, or street.
4. Arrange for installation of culvert if required. Road right-of-way drainage cannot be blocked during the construction process.
5. Lot may be cleared, and the construction process may begin.

Upon completion of all vertical construction work, you must notify the ARB Office at 843-681-8800 extension 231 and request a driveway inspection. Once inspected and approved the driveway may be installed and landscaping installed in accordance with the approved plans.

When all work is completed a copy of the Certification of Occupancy from the Town, a certified finish floor elevation, and an As-Built Survey unless previously submitted must be provided. Upon satisfactory compliance inspection, the compliance deposit will be refunded. Please note that occupancy may not begin until all work is completed. Satisfactory compliance inspection includes but not limited to dumpster and portable toilet removed from the site, exterior materials, fenestration, and details as approved. Exterior colors as approved, landscape as approved, restoration of any damage to road pavement, curbs, road right-of-way, and/or adjacent properties.

A violation of this provision may result in a fine until the conditions are met.

Any re-inspection caused by the owner or general contractor results in a re-inspection fee of \$100 or more. This applies to on-site inspections, each occurrence. Architectural Review Board approvals are good for ninety (90) days. If construction has not commenced within this time, plans **must be resubmitted.**

Please be advised that once plans have been approved, changes or additions by owner, contractor, designer, or the Town of Hilton Head are not permitted without further Architectural Review Board approval. Additions and /or changes, after receiving a Hilton Head Plantation building permit, are subject to the appropriate submission fee, i.e., decks, patios, garages, rooms, pools, etc.

All jobs requiring new concrete require an onsite stake out inspection. All work to be completed within 12 months of approval date unless otherwise negotiated. The ARB is aware that this project will take longer than the allotted time for completion of new construction. Updates and Inspections will be documented as a work in progress.

Sincerely,



Michele Chisolm
Administrator, ARB and Covenants
Email: mchisolm@hhppoa.org
Phone: 843-681-8800 ext. 231



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Item # bci845325

Kichler Barrie 16" Outdoor Wall Light with Beveled Glass Panels

Model:9735BK

(64) | Write a Review



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Black

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Kichler Barrie 22" Outdoor Wall Light with Beveled Glass Panels

\$89.24



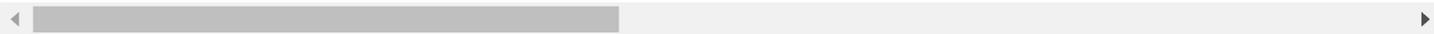
Kichler Barrie 19" LED Outdoor Wall Light with Beveled Glass Panels

\$140.24



Kichler Barrie 19" Outdoor Beveled Glass Panels

\$131.74



— Overview

Product Overview

Classic and sophisticated details are the embodiment of the Barrie Collection.

Features:

- Clear beveled glass panels give a nod to traditional style
- Constructed of cast aluminum in order to withstand the elements.
- Covered under Kichler's 1-year limited warranty
- Single bulb outdoor wall sconces add a touch of elegance to any landscape

- Complete the look of your outdoors with the Barrie Collection - see Related Items

Dimensions:

- Height: 15.5"
- Width: 8" (measured from furthest point left to furthest point right on fixture)
- Backplate Height: 7"
- Backplate Width: 4.5"
- Product Weight: 3.9 lbs
- Height to Center of Outlet: 6.25" (height from center of outlet)

Electrical Specifications:

- Bulb Base: Medium (E26)
- Number of Bulbs: 1
- Bulb Included: No
- Watts Per Bulb: 100
- Maximum Wattage: 100 watts
- Voltage: 120 (U.S. standard line voltage)

Additional Kichler Links

- [View the Manufacturer Warranty](#)
- [Browse all Kichler Products](#)
- [Kichler Barrie Collection](#)

This product is listed under the following manufacturer number(s):

Kichler 9735BK

Black

Kichler 9735TZ

Tannery Bronze

Manufacturer Resources



Kichler Catalog Pages



Specification Sheet

Dimensions and Measurements

Backplate Height

 7 in.

Backplate Width

 4.5 in.

Backplate Width	 4.5 in.
Extension	 8 in.
HCO	 6.25 in.
Height	 15.5 in.
Nominal Height	 16 in.
Nominal Width	 8 in.
Product Weight	 3.9 lbs.
Width	 8 in.

Included Components

Bulb Included	 No
Motion Sensor	 No

Characteristics and Features

Base Color	 Black, Bronze
Bulb Base	 Medium (E26)
Bulb Shape	 A19
Dimmable	 Yes
Full Backplate	 No
Genre	 Traditional
Glass Features	 Clear Glass
Light Direction	 Ambient Lighting
Material	 Aluminum
Number of Bulbs	 1
Photocell	 No
Sconce Type	 Lantern
Shade Color	 Clear
Shade Material	 Glass
Shade Shape	 Lantern
Shade Type	 Beveled Lantern

Shape Type	 Beveled, Lantern
Style	 Traditional
Suggested Room Fit	 Outdoor
Theme	 Traditional

Electrical and Operational Information

Power Source	 Hardwired
Voltage	 120
Wattage	 100
Watts Per Bulb	 100

Warranty and Product Information

ADA	 No
Collection	 Barrie
Country Of Origin	 China
Dark Sky	 No
Energy Star	 No
Location Rating	 Wet Location
Manufacturer Warranty	 1 Year Limited
Series	 Barrie
UL Listed	 Yes
UL Rating	 Wet Location

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- Vanity Lights
- Chandelier Lighting
- Pendant Lighting
- Ceiling Lighting
- Wall Sconces

Outdoor Lighting

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+ Product Q&A 18

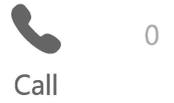
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Nuvo Lighting 60/893

\$91.99



What are you shopping for?

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Item # bci909959

Nuvo Lighting Central Park 3 Light 22-3/4" Tall Outdoor Wall Sconce with Clear Glass Shade - ADA Compliant

Model:60/893

(2) | Write a Review



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Roseto Daxton 17" Tall Outdoor Wall Sconce

\$96.83



Roseto Daxton 23" Tall Outdoor Wall Sconce

\$239.00

— Overview

Product Overview

Features

- Made with sturdy steel construction
- Includes a clear beveled glass shade
- Requires (3) 60 watt candelabra (E12) bulbs
- This product is designed for use outdoors
- Capable of being dimmed when used with incandescent bulbs
- UL rated for wet locations
- Meets ADA standards
- Covered under a 1 year manufacturer warranty

Dimensions

- Height: 22-3/4"
- Width: 7-3/8"
- Product Weight: 7.0 lbs
- Shade Height: 6-1/8"
- Shade Width: 1-7/8"

Electrical Specifications

- Bulb Base: Candelabra (E12)
- Number of Bulbs: 3
- Bulbs Included: No
- Watts Per Bulb: 60 watts
- Wattage: 180 watts
- Voltage: 120 volts

Additional Nuvo Lighting Links

- [View the Manufacturer Warranty](#)
- [Browse all Nuvo Lighting Products](#)
- [Nuvo Lighting Central Park Collection](#)

This product is listed under the following manufacturer number(s):

Nuvo Lighting 60/893

Textured Black

Manufacturer Resources



Dimensions and Measurements

Depth	9 in.
Extension	11.5 in.
Height	22.75 in.
Product Weight	6.97 lbs.
Shade Height	6.15625 in.

Shade Length	?	2.53125 in.
Shade Width	?	1.90625 in.
Width	?	7.38 in.

Included Components

Bulb Included	?	No
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Characteristics and Features

Bulb Base	?	Candelabra (E12)
Full Backplate	?	No
Genre	?	Traditional
Glass Features	?	Clear Glass
Light Direction	?	Ambient Lighting
Material	?	Steel
Number of Bulbs	?	3
Reversible Mounting	?	No
Sconce Type	?	Lantern
Shade Color	?	Clear
Shade Material	?	Glass
Shade Shape	?	Lantern
Suggested Room Fit	?	Outdoor
Theme	?	Traditional

Electrical and Operational Information

Power Source	?	Hardwired
Voltage	?	120
Wattage	?	180
Watts Per Bulb	?	60

Warranty and Product Information

ADA	⓪ Yes
Collection	⓪ Central Park
Country Of Origin	⓪ China
Energy Star	⓪ No
Location Rating	⓪ Wet Location
Manufacturer Warranty	⓪ 1 Year
UL Listed	⓪ Yes
UL Rating	⓪ Dry Location

Related Nuvo Lighting Categories

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- Landscape Lighting
- Ceiling Lighting
- Bathroom Lights
- Pendant Lighting
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Kichler 9735

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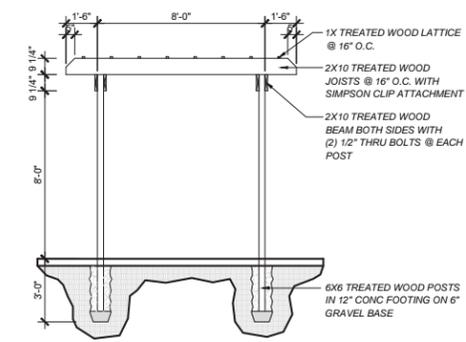
THE CHARLES PARKING PLAN



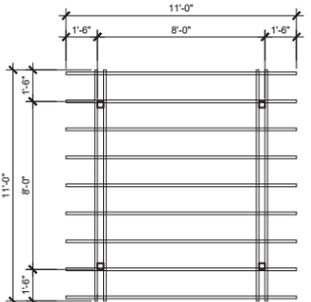
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Clint Burdett, AIA
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Irmo, SC 29063
Phone
803-422-5542
Email
cburdett3k@gmail.com

DATE: 8.1.2021
REV:

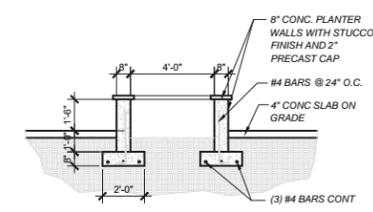
A1.0
SHEET



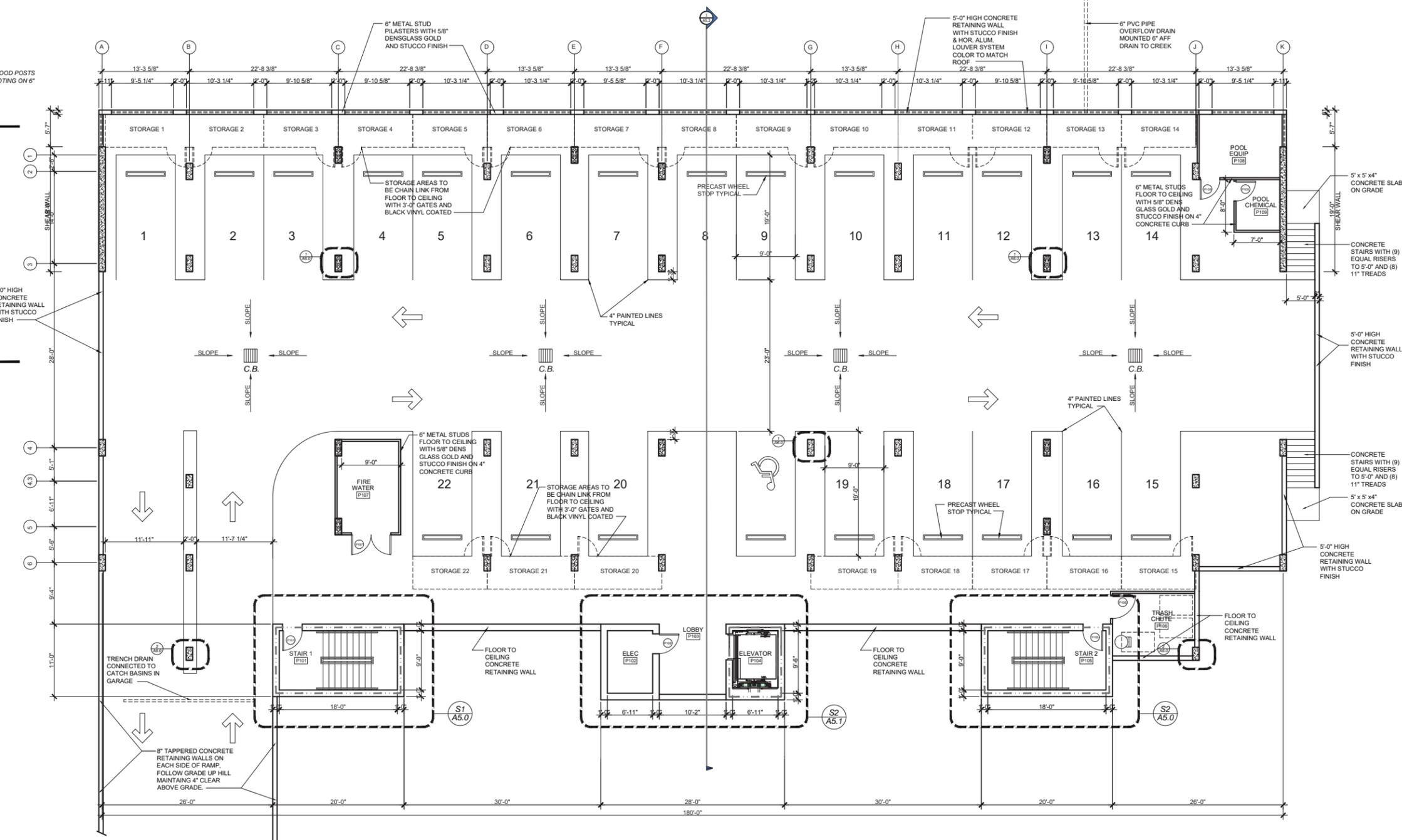
TRELLIS SECTION



TRELLIS PLAN



FIRE PIT



PARKING PLAN

1/8" = 1'-0" SCALE

LEGEND

- 1 HOUR ———
- 2 HOURS - - - -



THE CHARLES

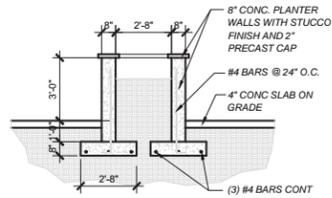
FIRST FLOOR PLAN



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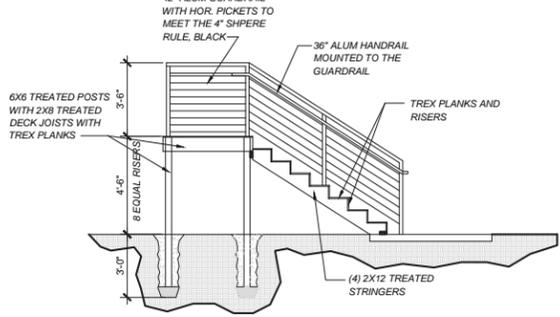
DATE: 8.1.2021
REV:

A1.1
SHEET

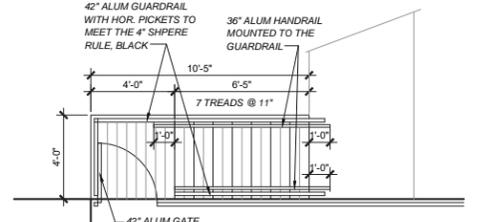


PLANTER SECTION

ALL CONNECTIONS TO BE DOUBLE DIPPED GALVANIZED OR STAINLESS STEEL INCLUDING NAILS, SCREWS ETC

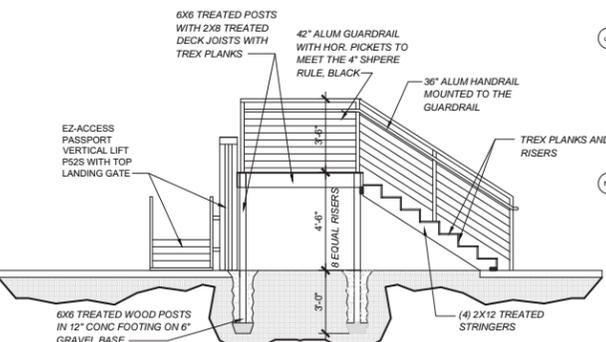


BALCONY STAIR SECTION

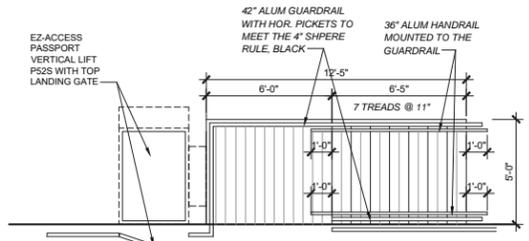


BALCONY STAIR PLAN

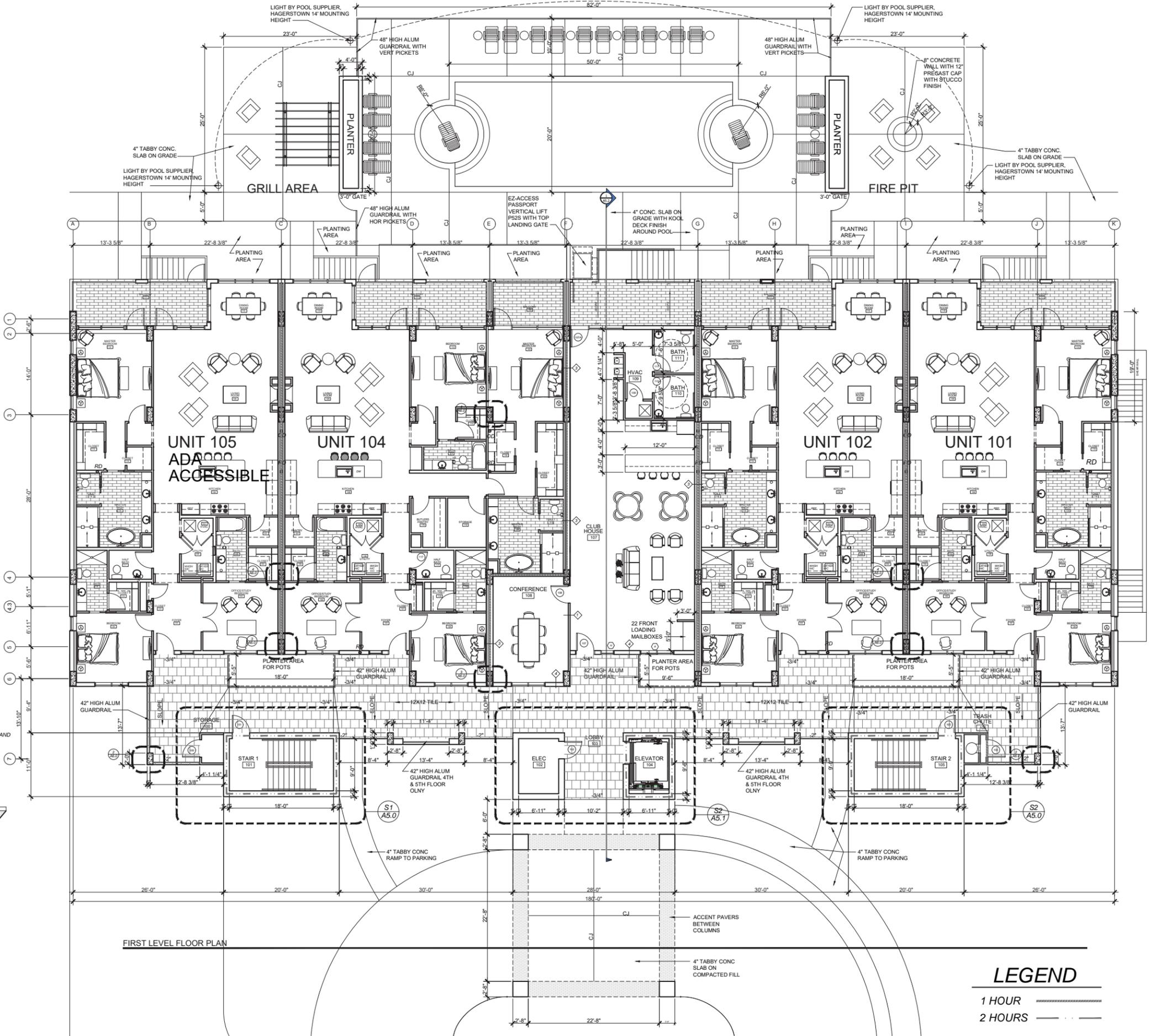
ALL CONNECTIONS TO BE DOUBLE DIPPED GALVANIZED OR STAINLESS STEEL INCLUDING NAILS, SCREWS ETC



BALCONY STAIR SECTION



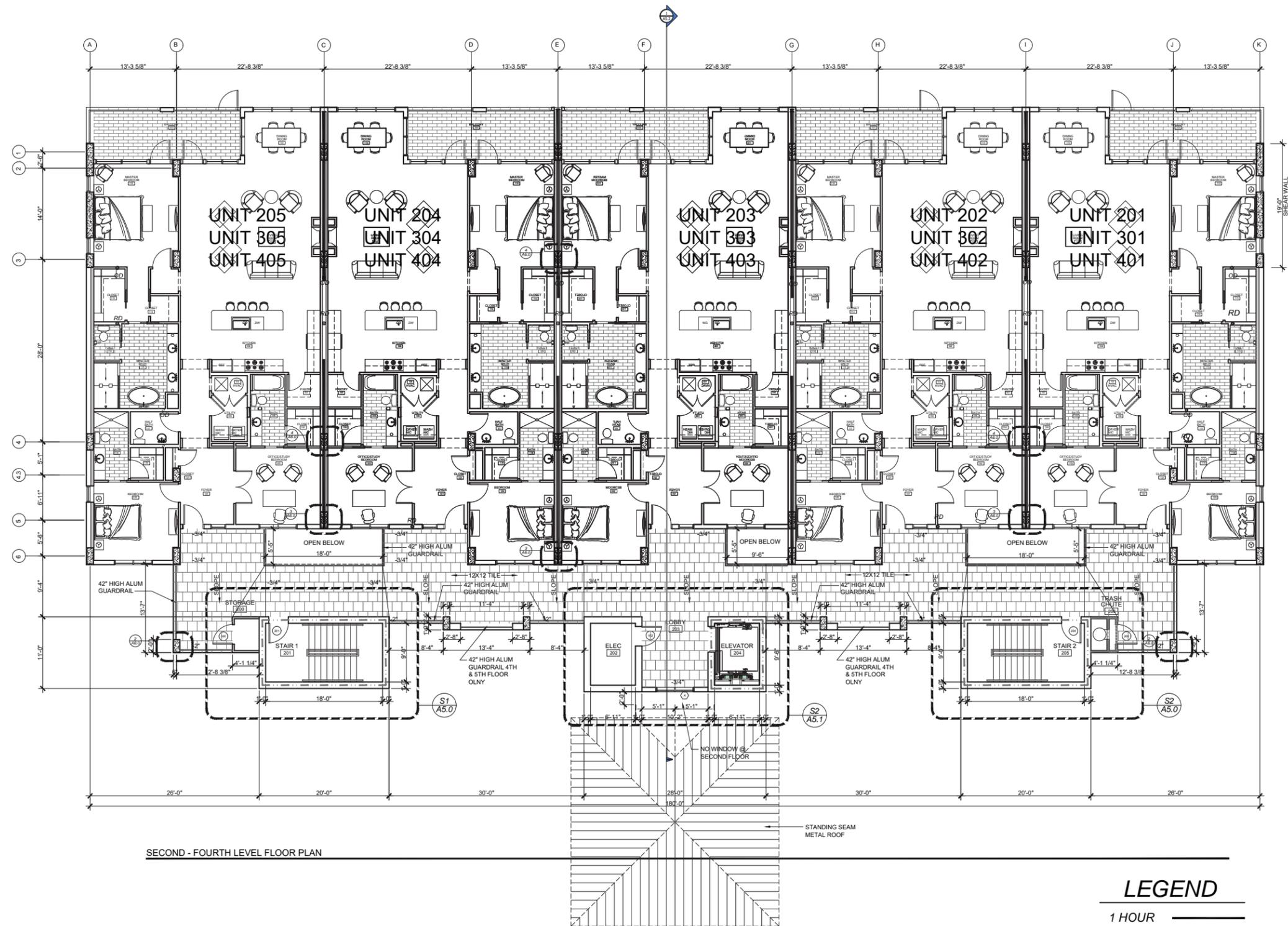
BALCONY STAIR PLAN



FIRST LEVEL FLOOR PLAN

LEGEND

- 1 HOUR ————
- 2 HOURS — · — · —



SECOND - FOURTH LEVEL FLOOR PLAN

LEGEND

- 1 HOUR ———
- 2 HOURS — · — · —

THE CHARLES
SECOND - FOURTH FLOOR PLAN

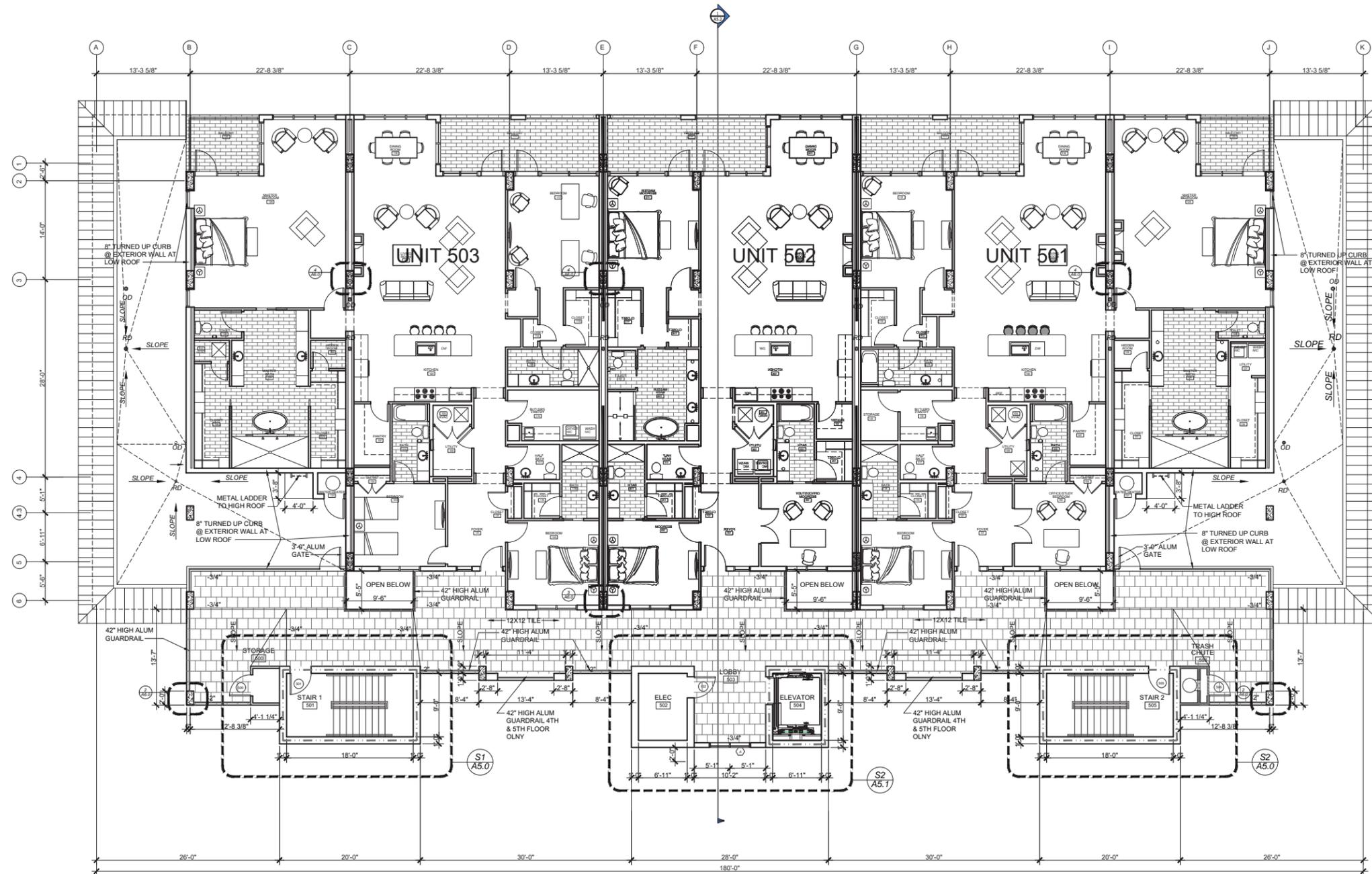


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A1.2

SHEET



FIFTH LEVEL FLOOR PLAN

LEGEND

- 1 HOUR ———
- 2 HOURS - - - -

**THE CHARLES
FIFTH FLOOR PLAN**

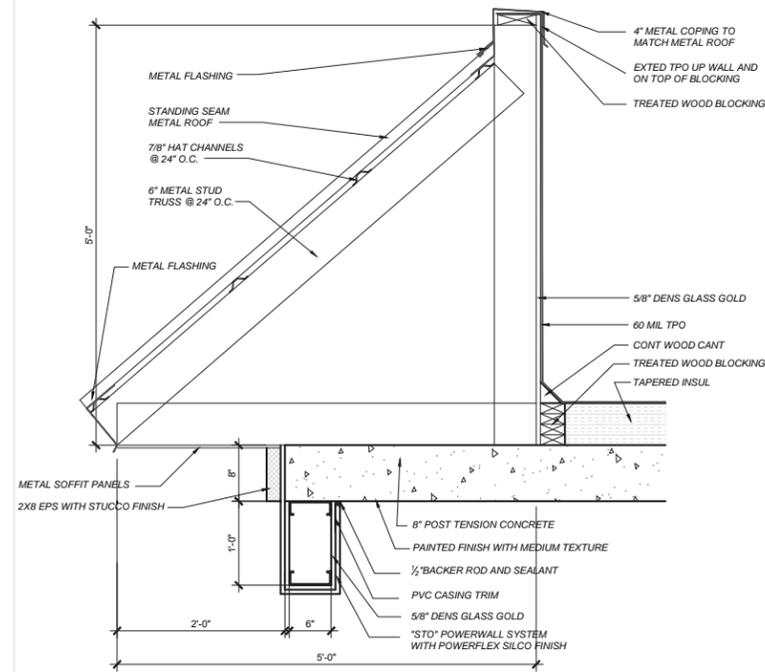


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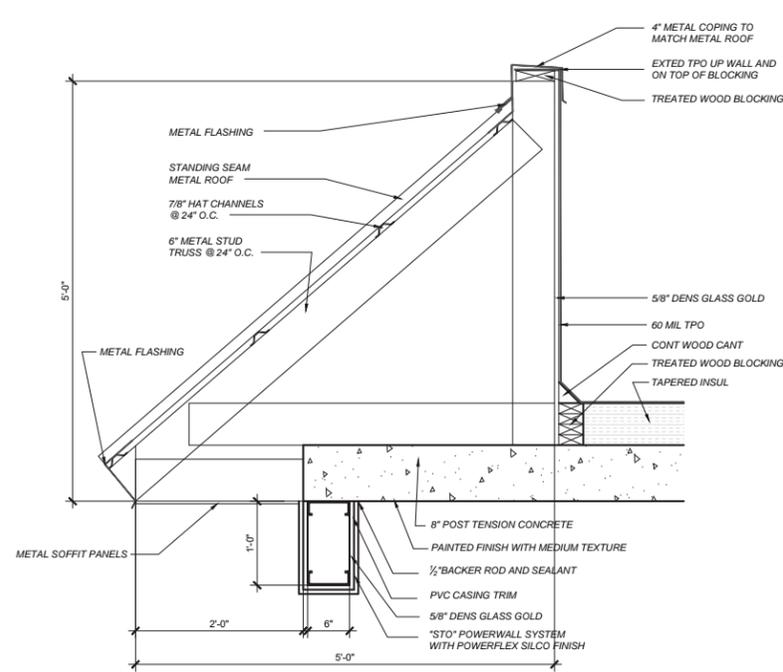
A1.3

SHEET



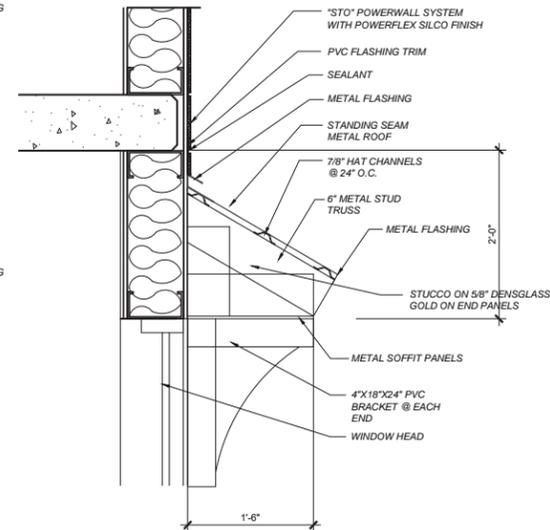
MANSARD DETAIL 5TH FLOOR LOW ROOF

SCALE 1" = 1'-0"



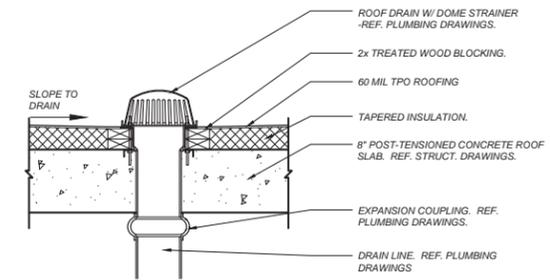
MANSARD DETAIL HIGH ROOF

SCALE 1" = 1'-0"



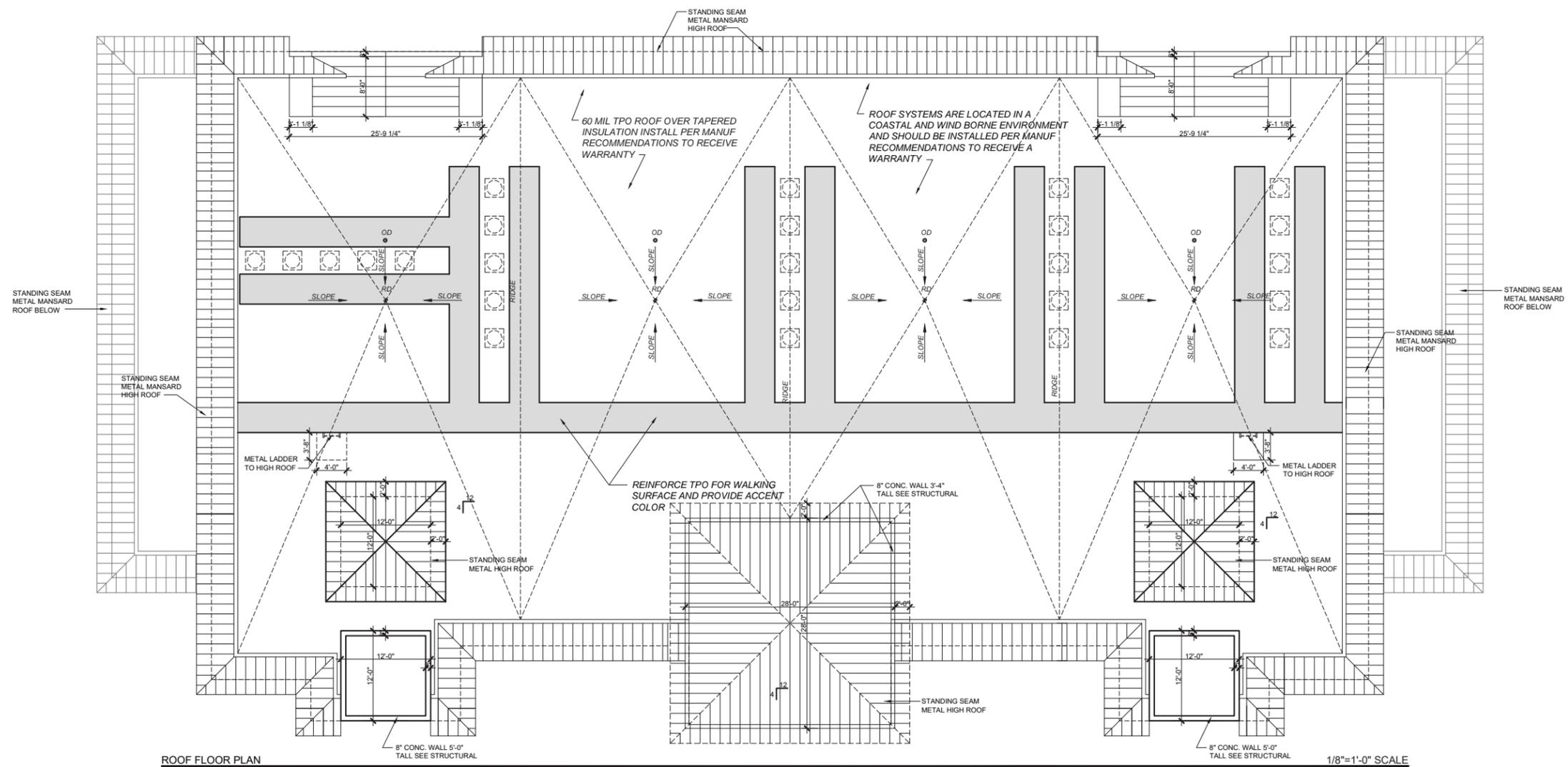
ACCENT ROOF DETAIL

SCALE 1" = 1'-0"



ROOF DRAIN DETAIL

SCALE 1" = 1'-0"



ROOF FLOOR PLAN

1/8" = 1'-0" SCALE

THE CHARLES
ROOF PLAN

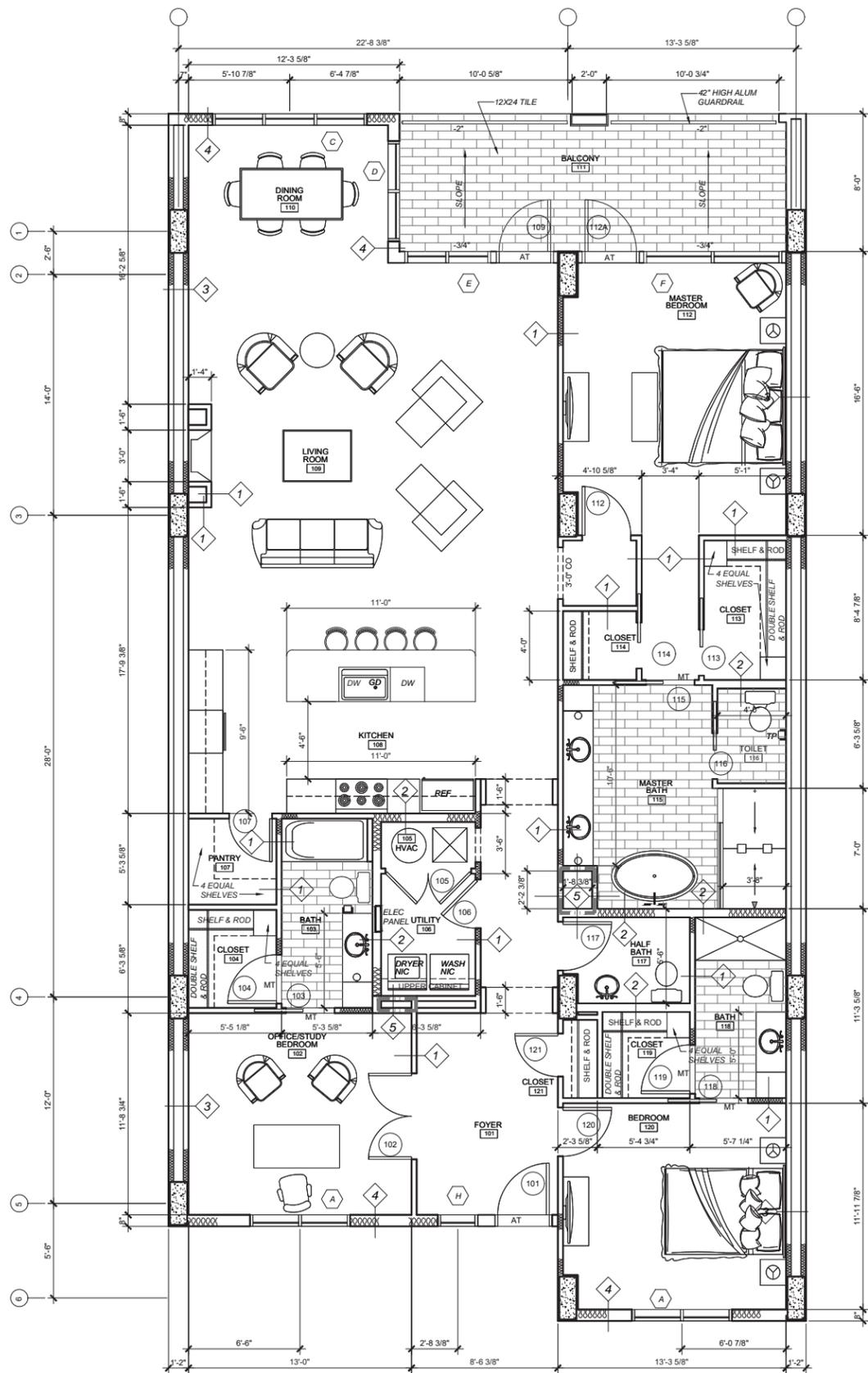


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A1.4

SHEET



FLOOR PLAN UNIT A

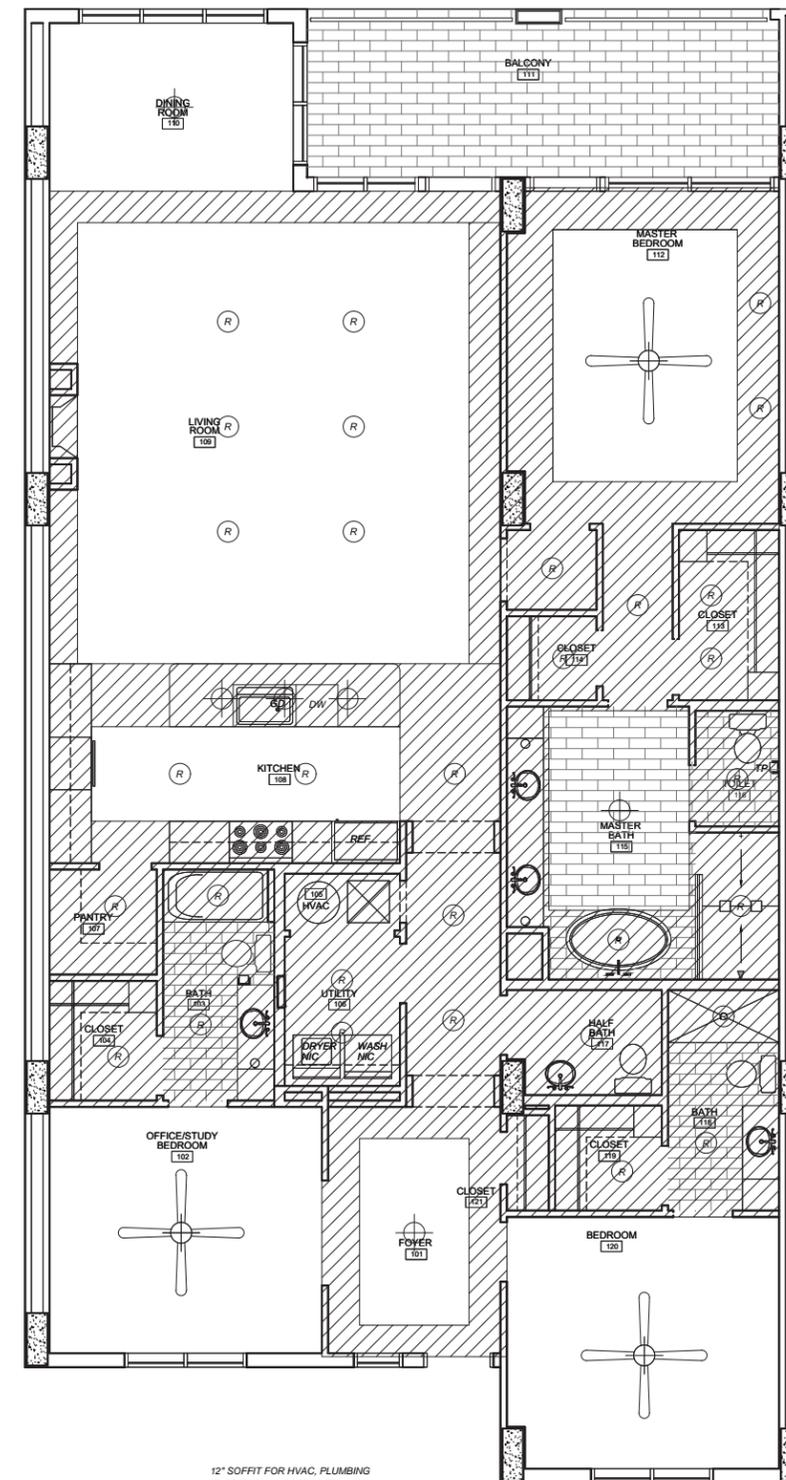
2108 SQ.FT.

GENERAL NOTES

- ALL CEILINGS TO RECEIVE HAT CHANNELS AND 5/8" GYP BD PAINTED SMOOTH EXCEPT WHERE SOFFITS ARE SHOWN.
- THE UNDERSIDE OF ALL EXTERIOR BALCONY SLABS ARE TO RECEIVE A CEMENTITIOUS FINISH, PAINTED BLUE.
- THE MAJORITY OF ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. SOME DIMENSIONS ARE TAKEN FROM STRUCTURAL COLUMN CENTERLINES.
- ALL BATHROOM WALLS ARE TO RECEIVE MOISTURE RESISTANT GYP BD AND ARE TO BE INSULATED WITH SOUND BATT TYPE INSULATION.
- G.C. SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF ANY CONFLICT SHALL ARISE, G.C. IS TO NOTIFY ARCHITECT IMMEDIATELY.
- CLOSETS ARE TO RECEIVE WOOD TYPE SHELF & ROD.
- ALL CLOSETS SHALL HAVE SINGLE SHELF & ROD OR DOUBLE SHELF & ROD AS NOTED ON UNIT PLANS. THEY ARE TO BE MOUNTED AS FOLLOWS:
SINGLE SHELF & ROD @ 72" A.F.F.
DOUBLE SHELF & ROD
LOWER SHELF @ 42" A.F.F.
HIGHER SHELF @ 84" A.F.F.
- ALL ROOMS TO RECEIVE "LVP". ALL SECONDARY BATHS AND MASTER BATHS TO RECEIVE 12" X 24" CERAMIC TILE. ORIENTATION OF TILE IS TO BE LAID AS SHOWN IN PLAN. EXTEND TILE UNDER APPLIANCES.
- GYP SUM BOARD IS TO BE APPLIED TO COLUMNS OVER 78" HAT CHANNELS.
- G.C. TO USE MOISTURE-RESISTANT GYP SUM BOARD IN ALL WET AREAS.
- ALL PANTRY & LINEN ROOMS SHALL HAVE (4) FIXED SHELVES. THE BOTTOM SHELF IS TO BE 24" A.F.F. THE OTHER SHELVES ARE TO BE 18" O.C.
- ALL ROOMS TO RECEIVE 4" CROWN MOULD.

OTHER FINISHES

- DOORS**
ALL DOORS TO BE 2 PANEL SHAKER STYLE SOLID CORE WOOD PAINTED.
- TRIM**
CASING TO BE 3" WOOD AND BASE TO BE 6" WOOD.
- WALLS**
WALLS TO RECEIVE 3 COATS PAINT, 1 COAT PRIMER, 2 COATS FINISH.
- FLOORS**
LVP.
BATHROOMS, 12X24 CERAMIC TILE LAID IN RUNNING BOND FASHION.
SHOWERS AND TUBS TO HAVE 12X24 CERAMIC TILE SURROUND
- CABINETS**
SHAKER STYLE
- COUNTER TOPS**
SOLID SURFACE QUARTZ
- PLUMBING**
ALL FIXTURES TO BE MOEN



12" SOFFIT FOR HVAC, PLUMBING ELECTRICAL & SPRINKLER

REFLECTED CEILING PLAN UNIT A

2108 SQ.FT.

THE CHARLES
UNIT A FLOOR PLAN



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A1.5

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THE CHARLES

UNIT C FLOOR PLAN

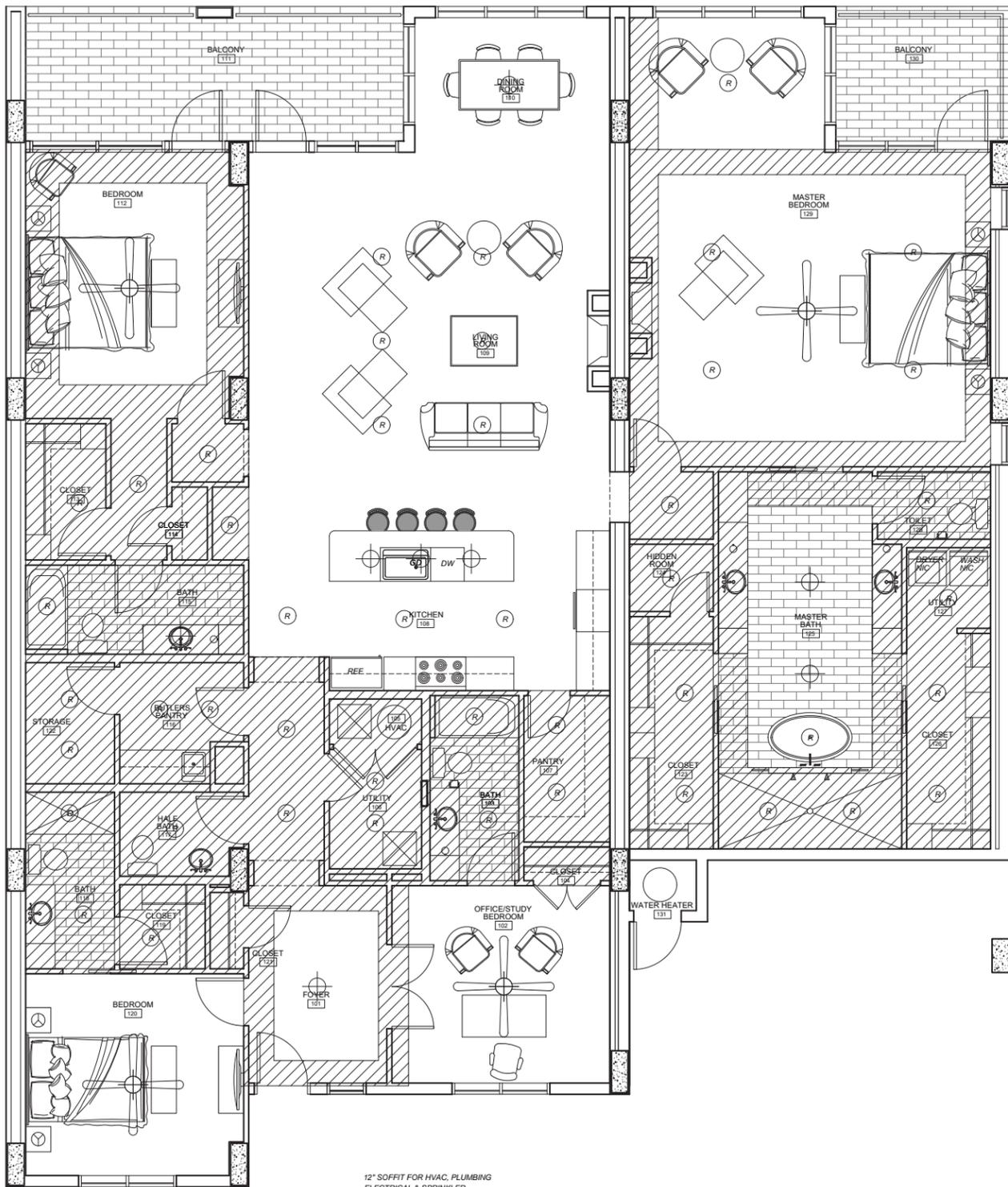
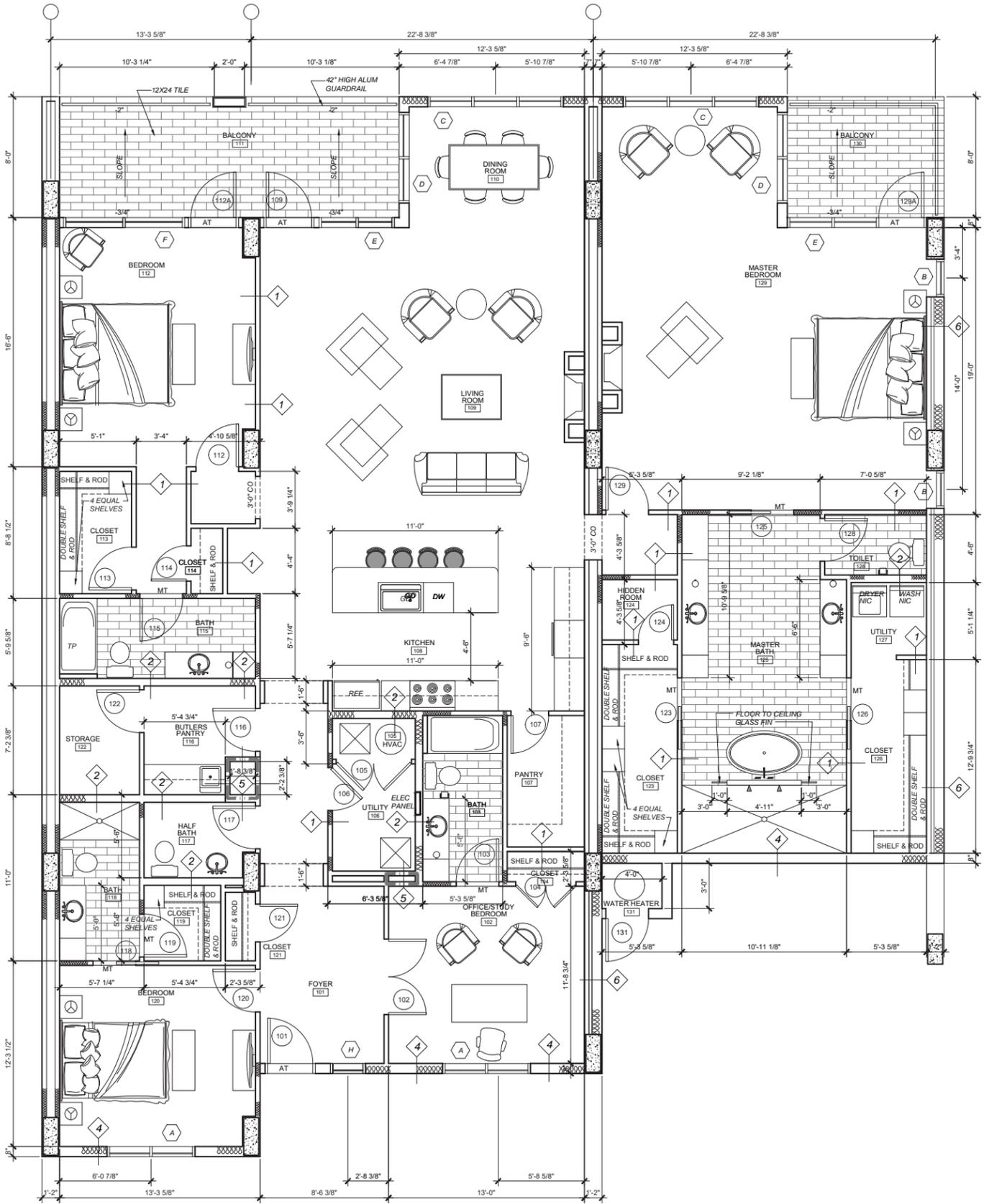


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A1.10

SHEET

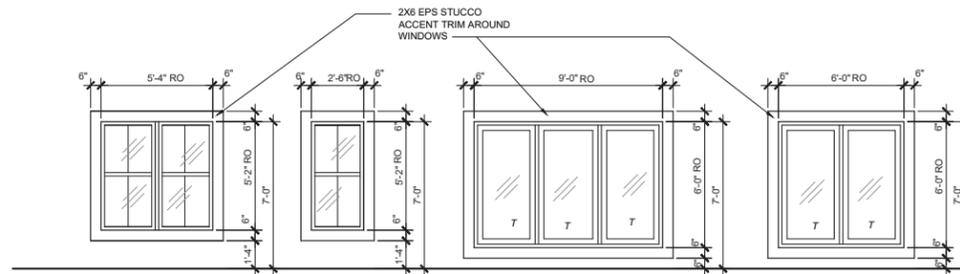


FLOOR PLAN UNIT C

3150 SQ.FT.

REFLECTED CEILING PLAN UNIT C

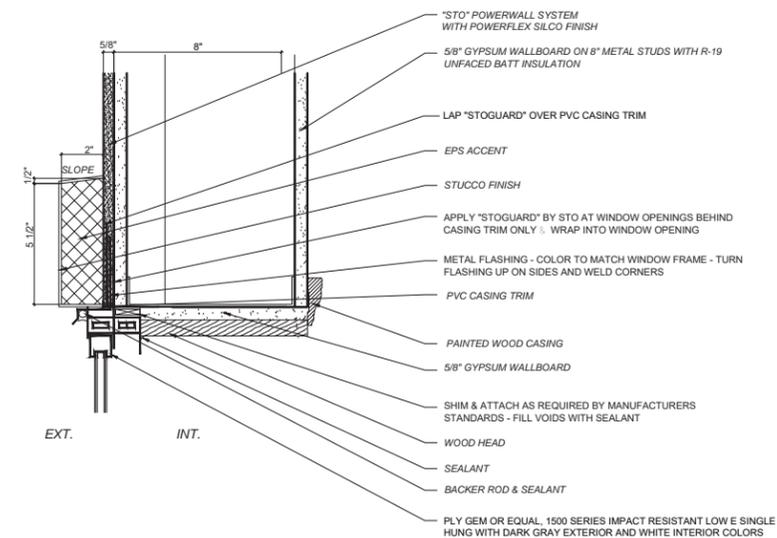
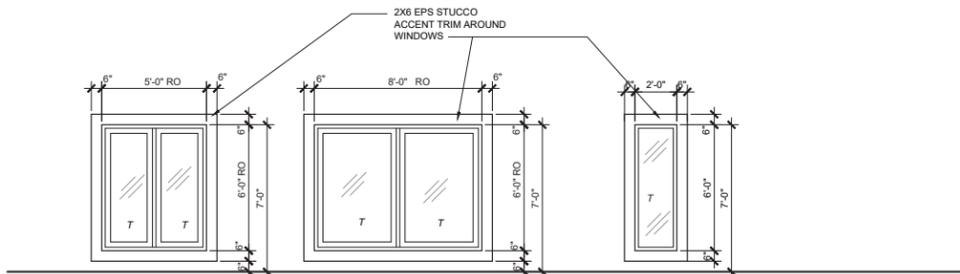
3150 SQ.FT.



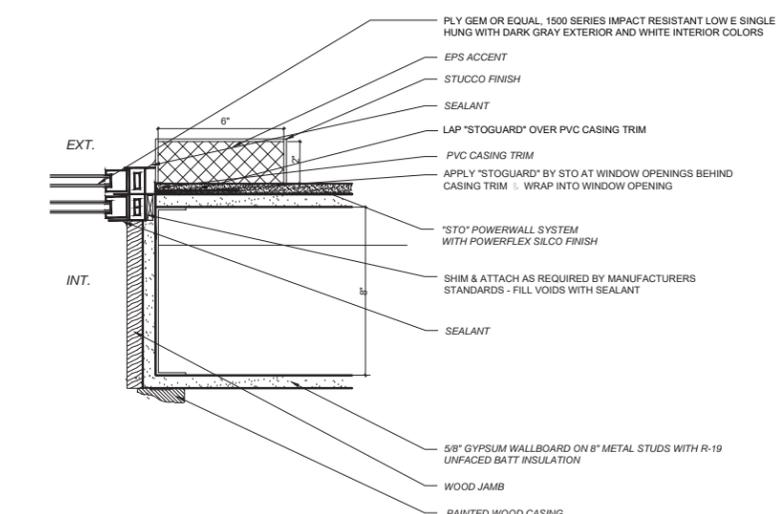
THIS PROJECT IS LOCATED IN A WINDBORNE DEBRIS REGION AND ALL EXTERIOR DOORS & FRAMES AND WINDOWS TO MEET OR EXCEED 2018 IBC 1609.2 PROTECTION OF GLAZED OPENINGS. ALL GLAZING IN THE LOWER 30' OF THE BUILDING TO MEET LARGE MISSILE & THE NEXT 30' TO MEET SMALL MISSILE PER 2018 IBC.

INSTALL WINDOWS PER MANUFACTURER RECOMMENDATIONS TO RECEIVE WARRANTY.

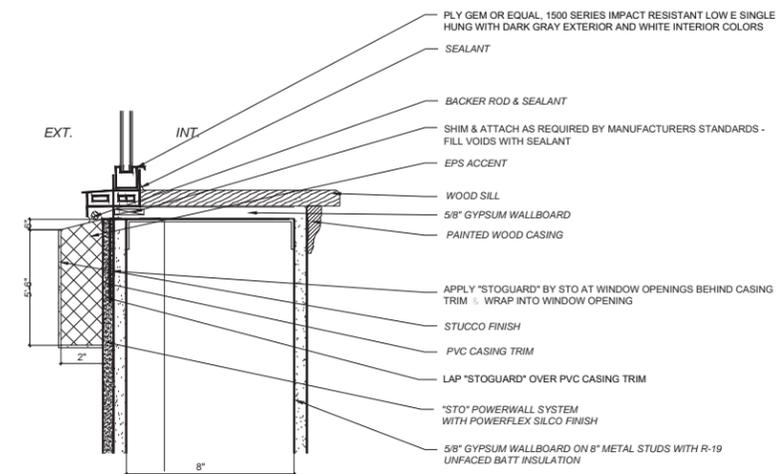
GC TO PERFORM WATER AND AIR TEST ON MOCKUP WINDOW UNIT DURING CONSTRUCTION.



WH1 WINDOW HEAD SCALE 3/4"=1'-0"



WJ1 WINDOW JAMB SCALE 3/4"=1'-0"



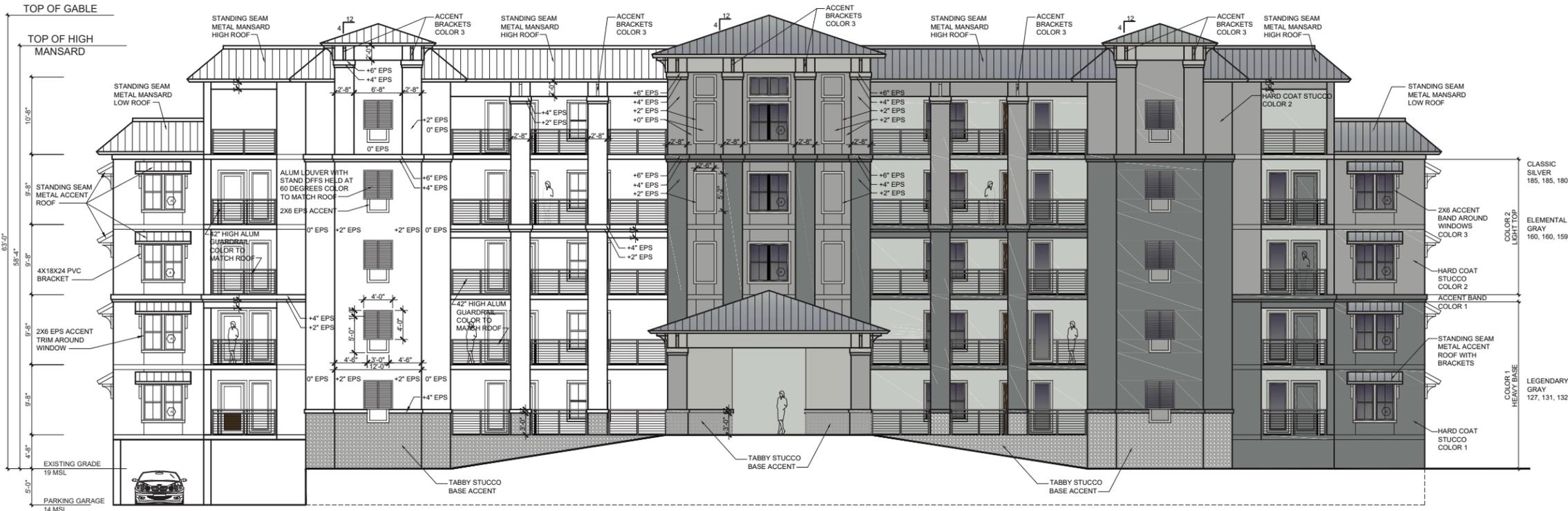
WS1 WINDOW SILL SCALE 3/4"=1'-0"

THE CHARLES
WINDOW DETAILS



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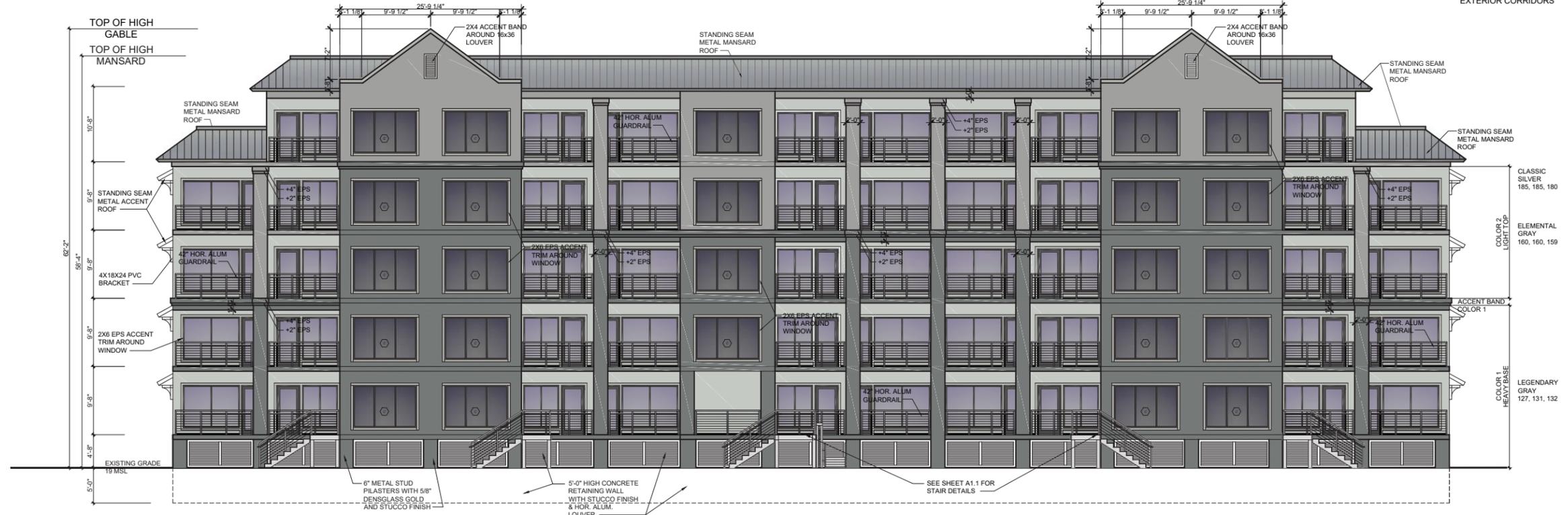
DATE: 8.1.2021
REV:



1 FRONT ELEVATION
A2.1

COLOR CHART

ROOF	GUN METAL GRAY
TRIM COLOR 3	CLASSIC SILVER
STUCCO COLOR 2	ELEMENTAL GRAY
STUCCO COLOR 1	LEGENDARY GRAY
WINDOW FRAME	MATCH ROOF
GUARDRAIL	MATCH ROOF
LOUVERS	MATCH ROOF
ENTRY DOOR	LEGENDARY GRAY
EXTERIOR CORRIDORS	ELEMENTAL GRAY



2 BACK ELEVATION
A2.1

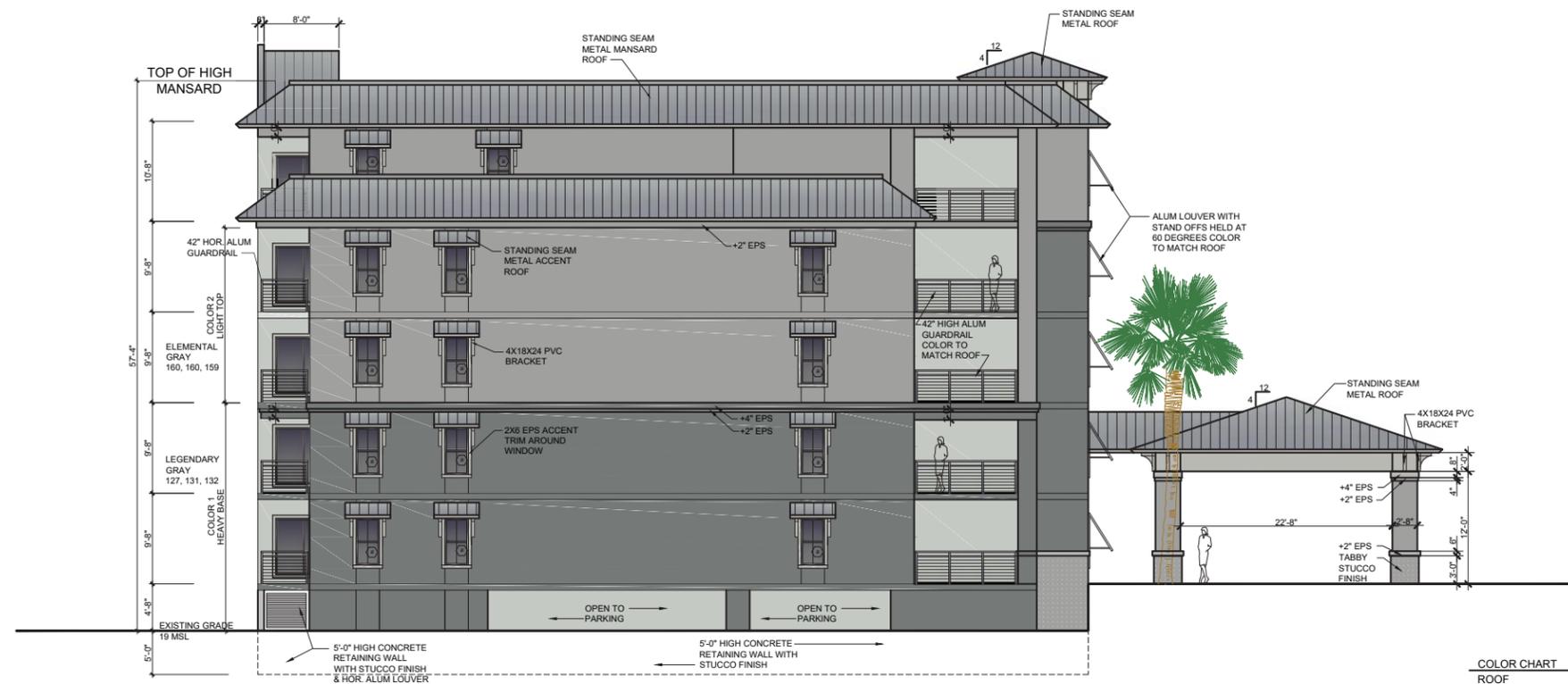
THE CHARLES
EXTERIOR ELEVATIONS



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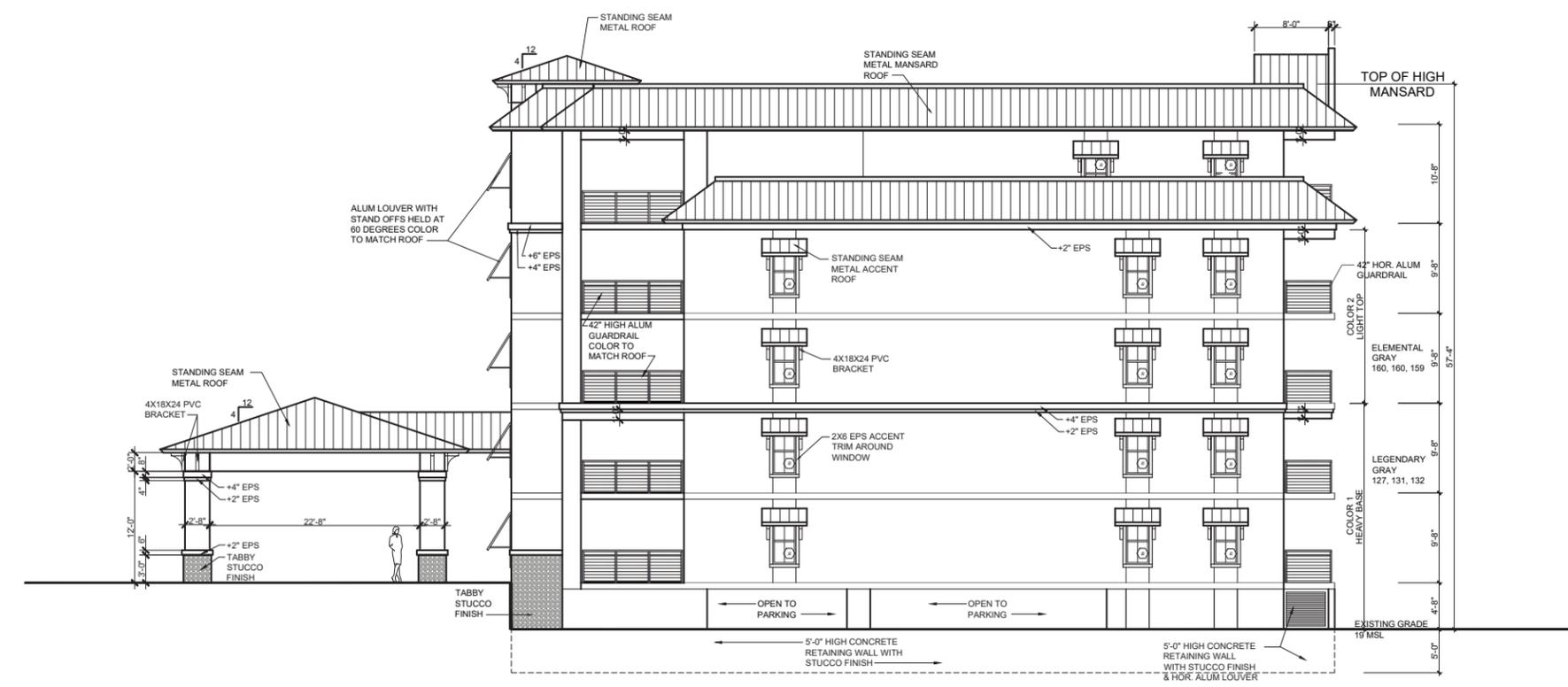
A2.1
SHEET



1 SIDE ELEVATION
A2.2

COLOR CHART

ROOF	GUN METAL GRAY
TRIM COLOR 3	CLASSIC SILVER
STUCCO COLOR 2	ELEMENTAL GRAY
STUCCO COLOR 1	LEGENDARY GRAY
WINDOW FRAME	MATCH ROOF
GUARDRAIL	MATCH ROOF
LOUVERS	MATCH ROOF
ENTRY DOOR	LEGENDARY GRAY
EXTERIOR CORRIDORS	ELEMENTAL GRAY



2 SIDE ELEVATION
A2.2

THE CHARLES

EXTERIOR ELEVATIONS



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A2.2
SHEET



THE CHARLES

ELEVATOR PLANS & SECTION

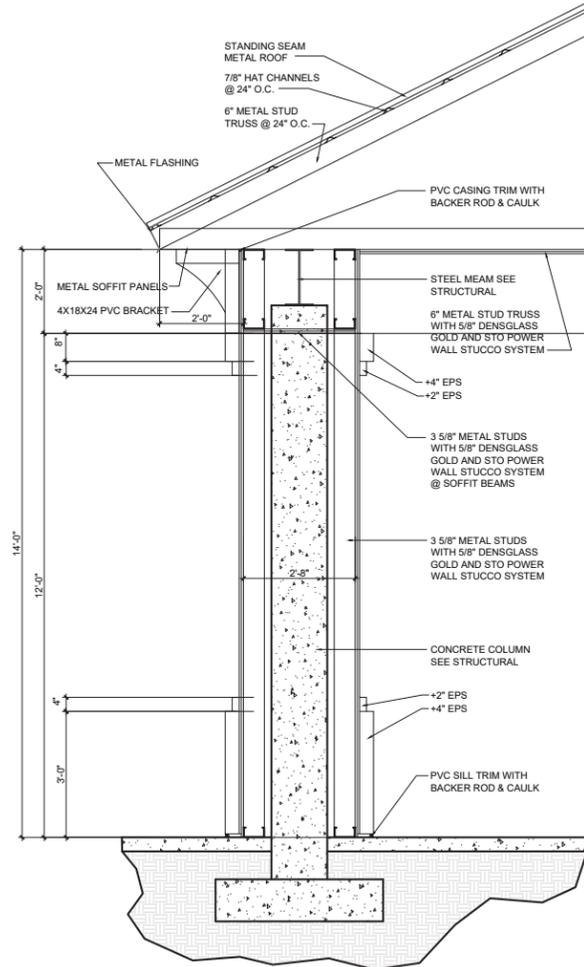


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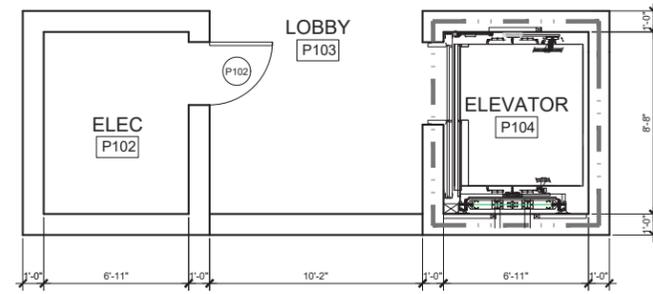
DATE: 8.1.2021
REV:

A5.1
SHEET

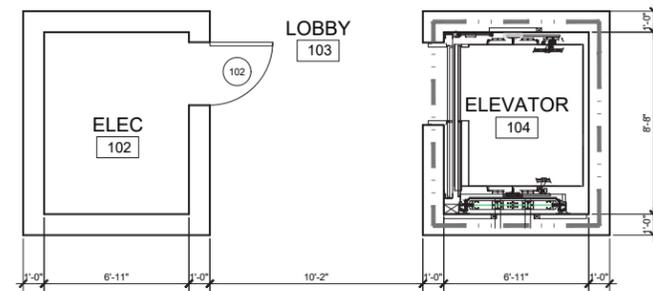
STANDING SEAM METAL ROOF IS LOCATED IN A COASTAL AND WIND BORNE ENVIRONMENT AND SHOULD BE INSTALLED PER MANUF RECOMMENDATIONS TO RECEIVE A WARRANTY



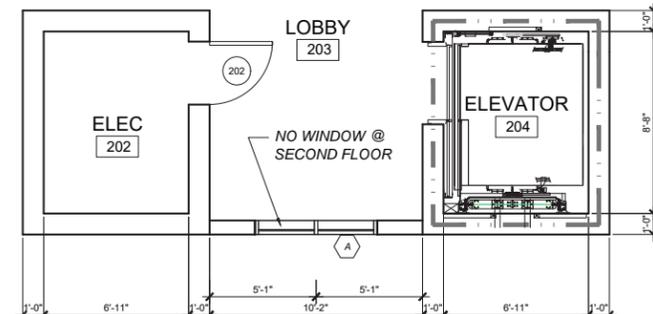
1 A5.1 PORTE COCHERE SECTION 1/2"=1'-0"



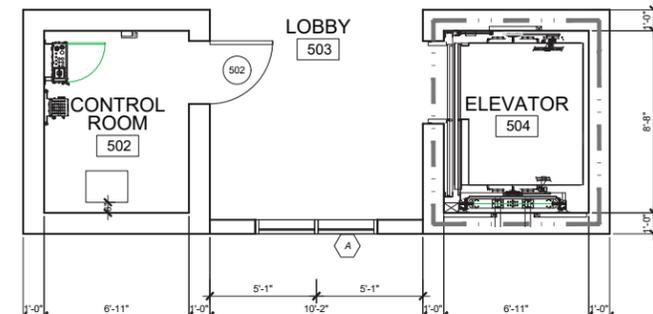
ELEVATOR PARKING 1/4"=1'-0"



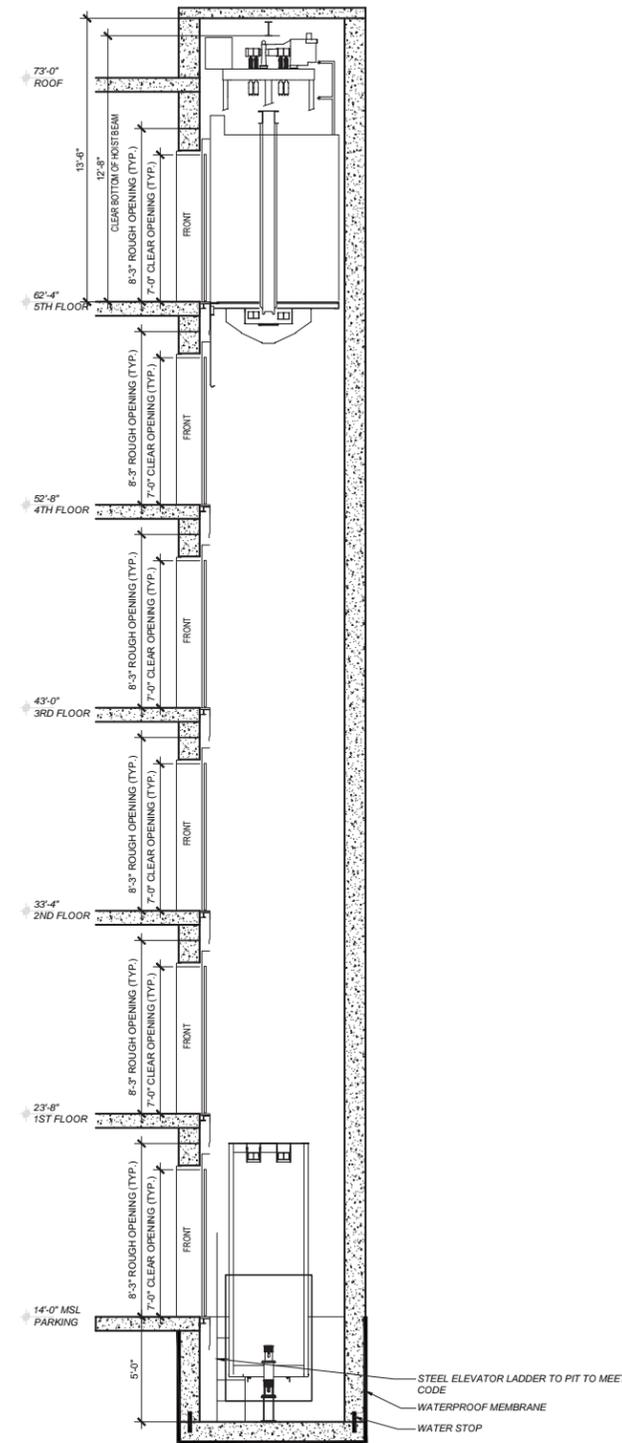
ELEVATOR FIRST LEVEL 1/4"=1'-0"



ELEVATOR SECOND-FOURTH 1/4"=1'-0"



ELEVATOR FIFTH FLOOR 1/4"=1'-0"



ELEVATOR SECTION 1/4"=1'-0"



THE CHARLES BUILDING SECTION



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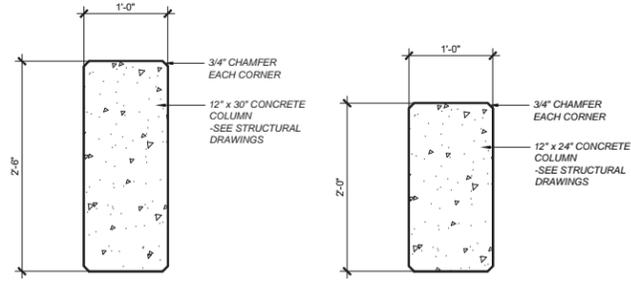
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REV:

A5.2
SHEET



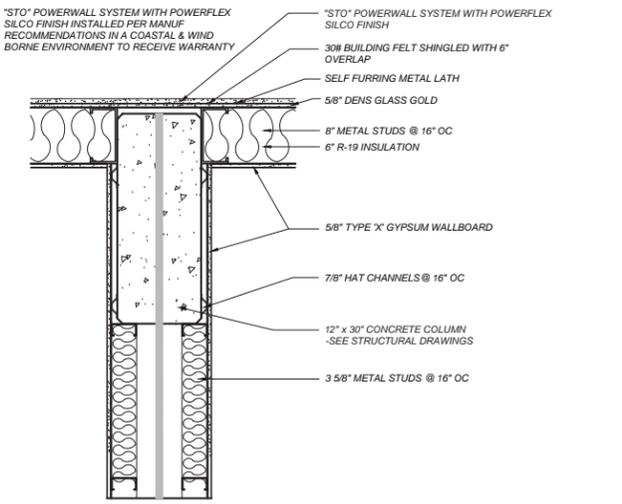
BUILDING SECTION

1/4"=1'-0"



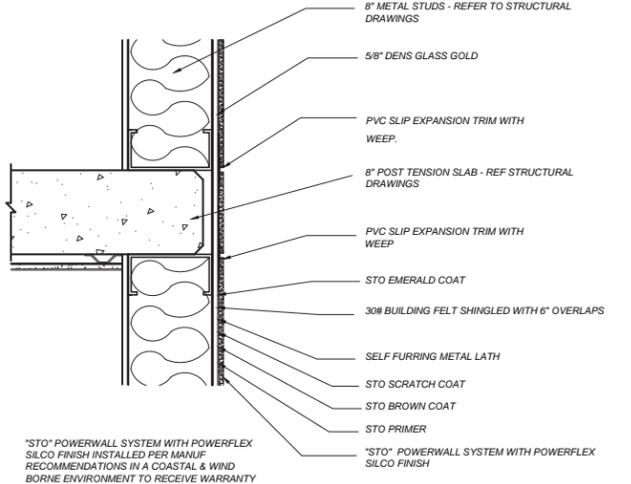
1 TYPICAL COLUMN SCALE 1" = 1'-0"

2 TYPICAL COLUMN SCALE 1" = 1'-0"

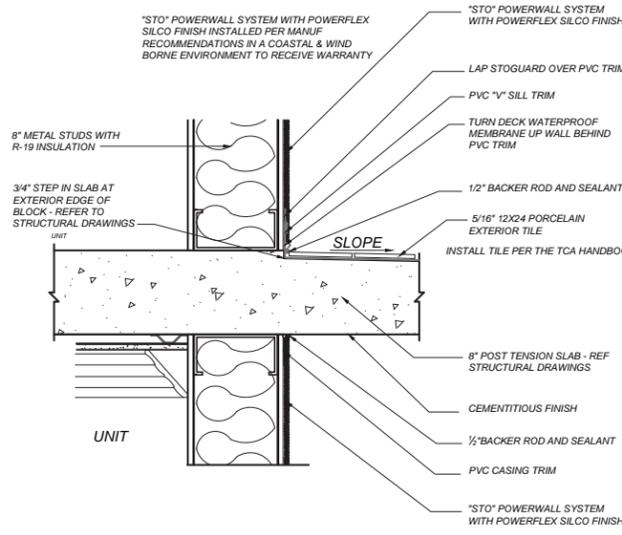


3 PLAN DETAIL SCALE 1" = 1'-0"

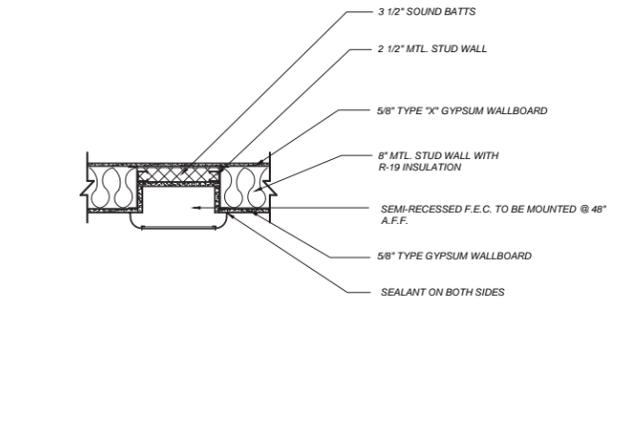
4 PLAN DETAIL SCALE 1" = 1'-0"



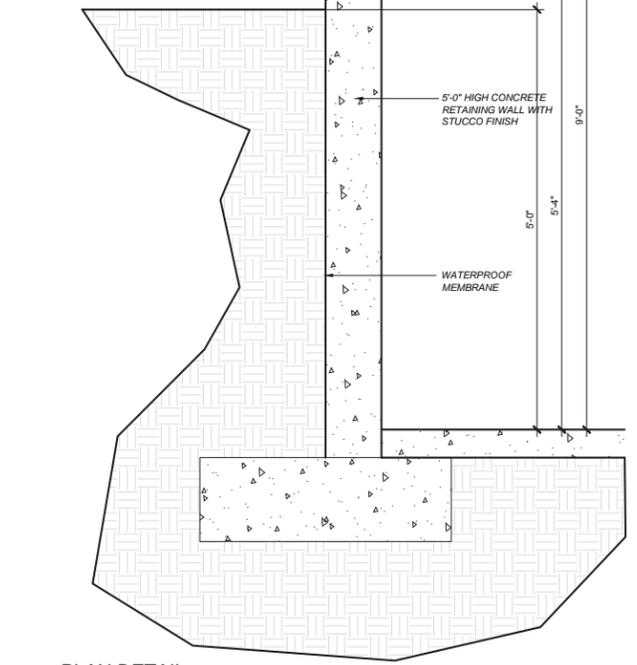
5 TYPICAL EXTERIOR FLOOR SLAB DETAIL SCALE 1" = 1'-0"



6 TYPICAL HEAD & SILL DETAIL SCALE 1" = 1'-0"

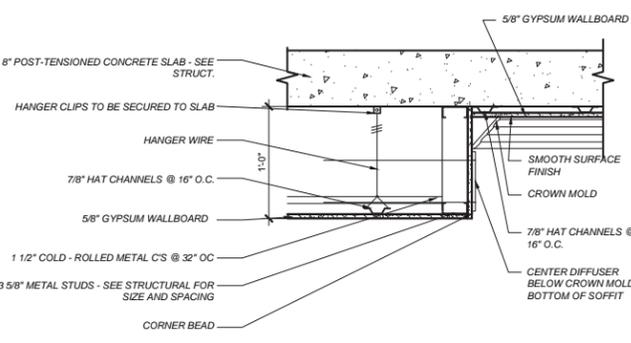


7 PLAN DETAIL SCALE 1" = 1'-0"



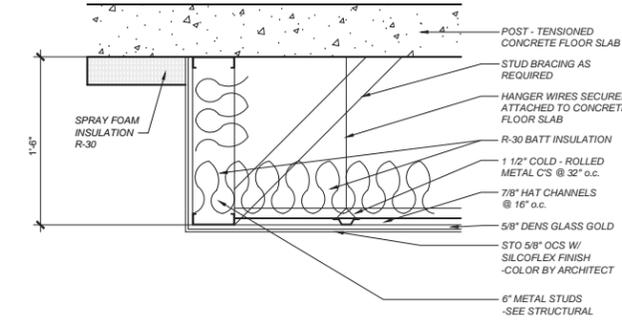
9 TYPICAL ALUMINUM HANDRAIL DETAIL SCALE 1" = 1'-0"

10 PLAN DETAIL SCALE 1" = 1'-0"

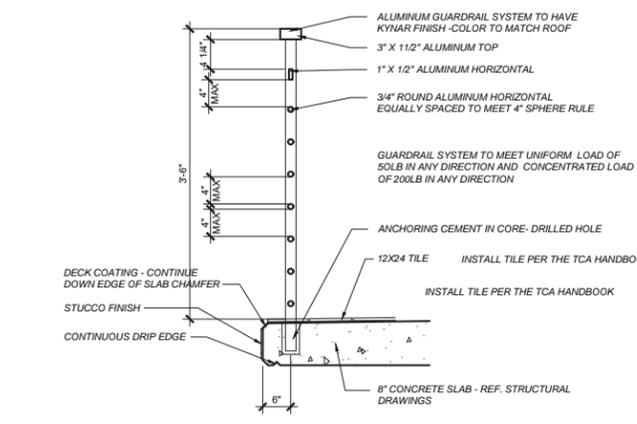


7 TYPICAL INTERIOR SOFFIT DETAIL SCALE 1" = 1'-0"

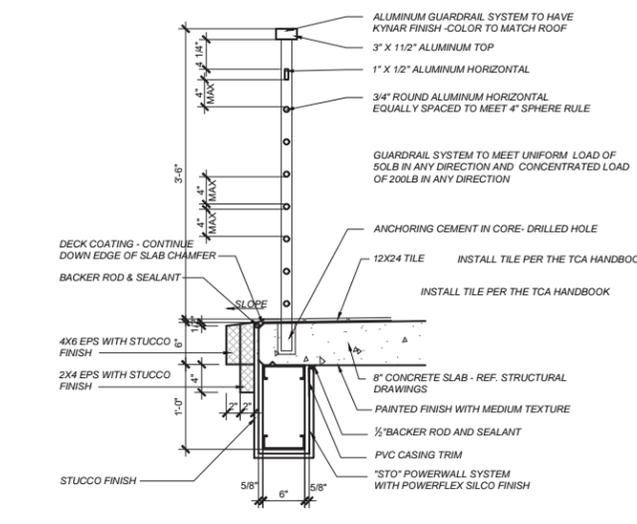
NOTE: TYPICAL UNIT SOFFIT DETAIL UNLESS NOTED OTHERWISE.



8 EXTERIOR SOFFIT DETAIL @ PARKING SCALE 1/8" = 1'-0"



9 TYPICAL ALUMINUM HANDRAIL DETAIL SCALE 1" = 1'-0"



11 TYPICAL ALUMINUM HANDRAIL DETAIL SCALE 1" = 1'-0"



THE CHARLES
DETAILS

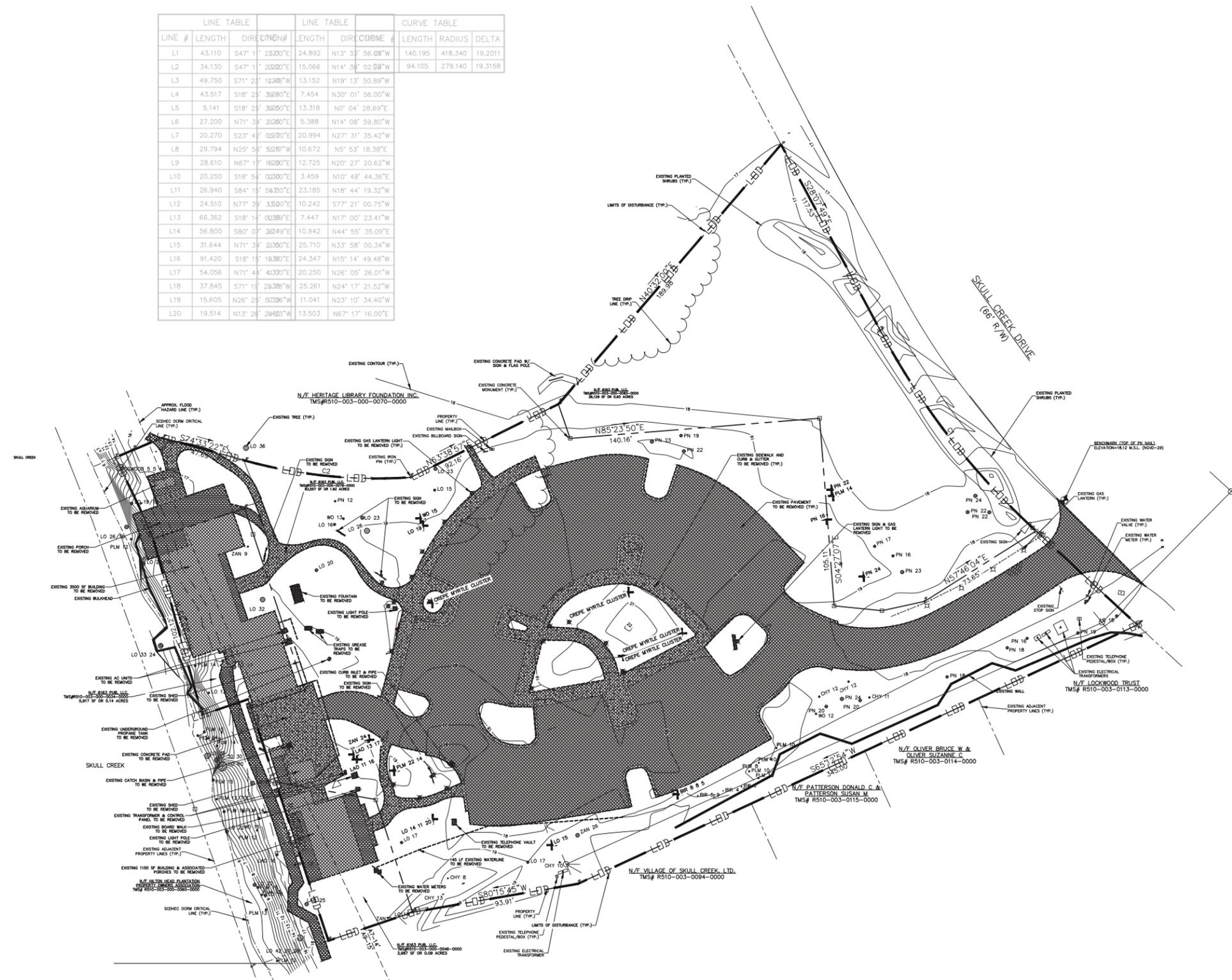


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DATE: 8.1.2021
REV:

A6.0
SHEET

LINE TABLE			LINE TABLE			CURVE TABLE		
LINE #	LENGTH	DIRECTION#	LENGTH	DIRECTION#	LENGTH	RADIUS	DELTA	
L1	43.110	S47° 1' 26.00"E	24.892	N13° 3' 56.08"W	140.195	418.340	19.2011	
L2	34.130	S47° 1' 20.00"E	15.066	N14° 38' 02.68"W	94.105	279.140	19.3158	
L3	49.750	S71° 2' 12.48"W	13.152	N19° 13' 50.89"W				
L4	43.517	S18° 2' 36.80"E	7.454	N30° 01' 56.00"W				
L5	5.141	S18° 2' 36.80"E	13.318	N0° 04' 28.69"E				
L6	27.200	N71° 3' 21.20"E	5.388	N14° 08' 59.80"W				
L7	20.270	S23° 4' 05.80"E	20.994	N27° 31' 35.42"W				
L8	29.794	N25° 58' 42.89"W	10.672	N5° 53' 18.38"E				
L9	28.610	N67° 1' 16.20"E	12.725	N20° 27' 20.62"W				
L10	20.250	S18° 5' 03.80"E	3.459	N10° 48' 44.36"E				
L11	26.940	S84° 1' 56.30"E	23.185	N18° 44' 19.32"W				
L12	24.510	N77° 3' 33.80"E	10.242	S77° 21' 00.75"W				
L13	66.362	S18° 1' 00.38"E	7.447	N17° 00' 23.41"W				
L14	56.800	S80° 0' 26.89"E	10.942	N44° 55' 35.09"E				
L15	31.644	N71° 3' 21.20"E	25.710	N33° 58' 00.34"W				
L16	91.420	S18° 1' 19.38"E	24.347	N15° 14' 49.48"W				
L17	54.056	N71° 4' 41.30"E	20.250	N26° 05' 26.01"W				
L18	37.845	S71° 1' 29.38"W	25.261	N24° 17' 21.52"W				
L19	15.605	N26° 2' 50.38"W	11.041	N23° 10' 34.40"W				
L20	19.514	N13° 2' 26.48"E	13.503	N67° 17' 16.00"E				



PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

**THE CHARLES
63 SKULL CREEK DRIVE
BEAUFORT COUNTY, SC**

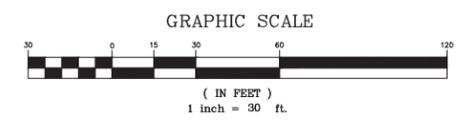
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PROJECT: 2318
DATE: 04/29/21
REVISED: 07/13/21
DRAWN BY: TOC
ENGINEER: DRK
SCALE: 1"=30'

**DEMOLITION
PLAN**

**1
OF 1**



*ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE INFORMATION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

**GENERAL NOTES,
PAVING, GRADING & DRAINAGE NOTES:**

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY COASTAL SURVEYING CO., INC. DATED 12/10/2020.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

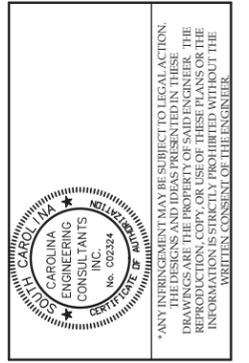
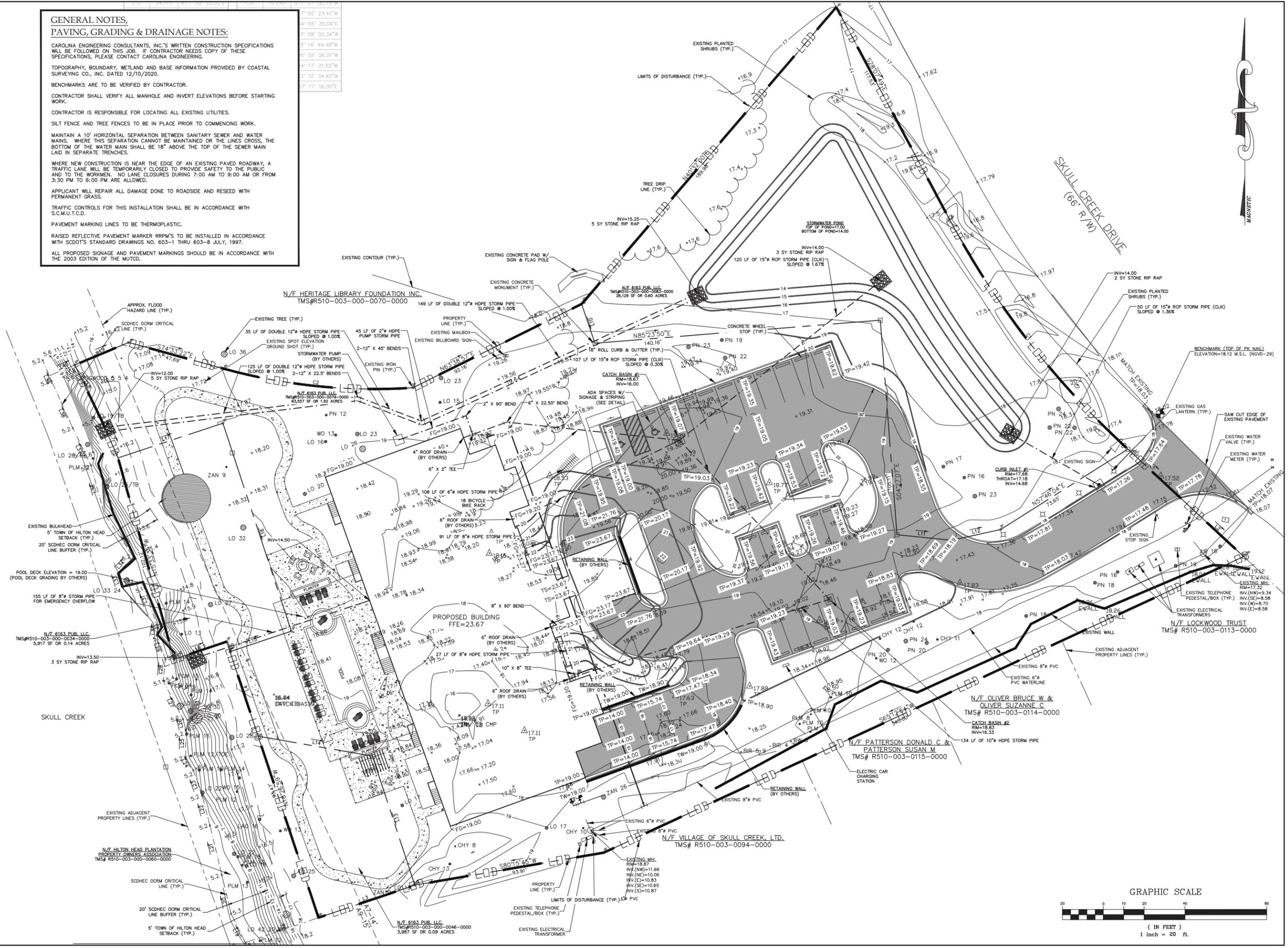
TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPW'S TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.

7' 00" 23.41"W
4' 55" 35.09"E
5' 58" 00.34"W
5' 14" 49.48"W
6' 05" 26.01"W
4' 17" 21.52"W
3' 10" 34.40"W
37' 17" 16.00"E



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

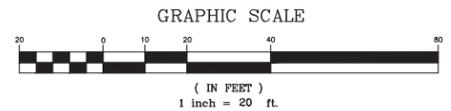
**THE CHARLES
63 SKULL CREEK DRIVE
BEAUFORT COUNTY, SC**

CAROLINA ENGINEERING CONSULTANTS, INC.
843/322-0553
WWW.CAROLINAENGINEERING.COM
BEAUFORT, SC 29901

PROJECT: 2318
DATE: 04/29/21
REVISED: 07/29/21
DRAWN BY: TOC
ENGINEER: DRK
SCALE: 1"=20'

**PAVING, GRADING
& DRAINAGE PLAN**

**5
OF 8**

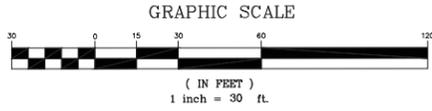
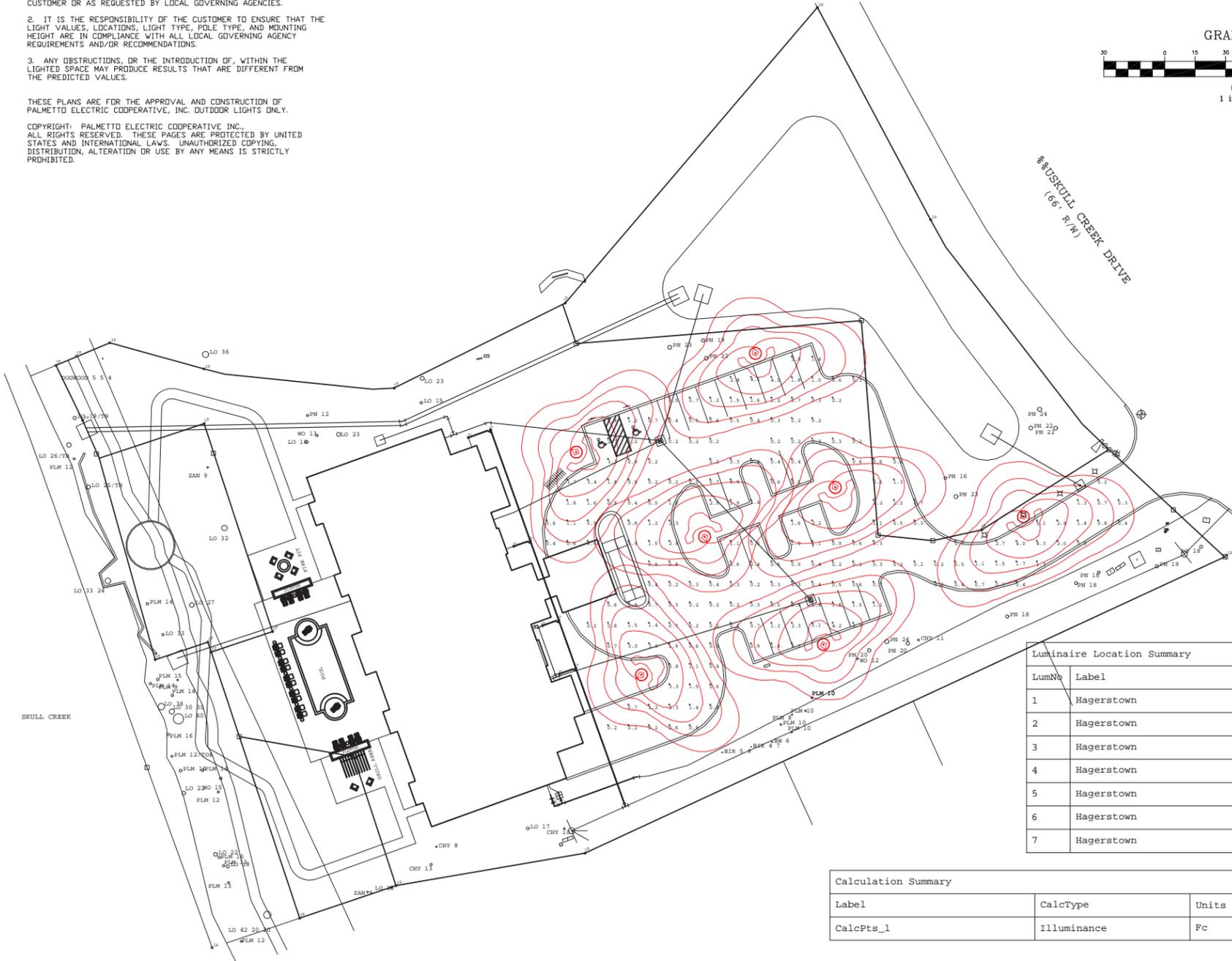


NOTES

1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.

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HAGERSTOWN

APPLICATIONS
Shopping centers, malls, roadways, parks, residential areas

SPECIFICATIONS
Authentic acorn design
Glassite polycarbonate lens
Ruggedly crafted of heavy duty aluminum
For decades of dependable service
Black finish

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt
1	Hagerstown	10399	9873	14	109.302	0
2	Hagerstown	10496.94	9935.347	14	294.785	0
3	Hagerstown	10309.94	9858.188	14	33.985	0
4	Hagerstown	10404.82	9949.647	14	294.112	0
5	Hagerstown	10365.72	10015.14	14	289.231	0
6	Hagerstown	10340.83	9925.631	14	111.592	0
7	Hagerstown	10277.99	9966.895	14	331.048	0

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	illumiance	Fc	1.00	5.1	0.2	5.35	25.50

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊙	7	Hagerstown	SINGLE	N.A.	0.720	175EQ 3000K LED ON 14' MOUNTING HEIGHT

PALMETTO ELECTRIC COOPERATIVE, INC.

1 COOPERATIVE WAY
HARDERVILLE, SOUTH CAROLINA 29827
(843) 288-5551 / FAX (843) 288-5552

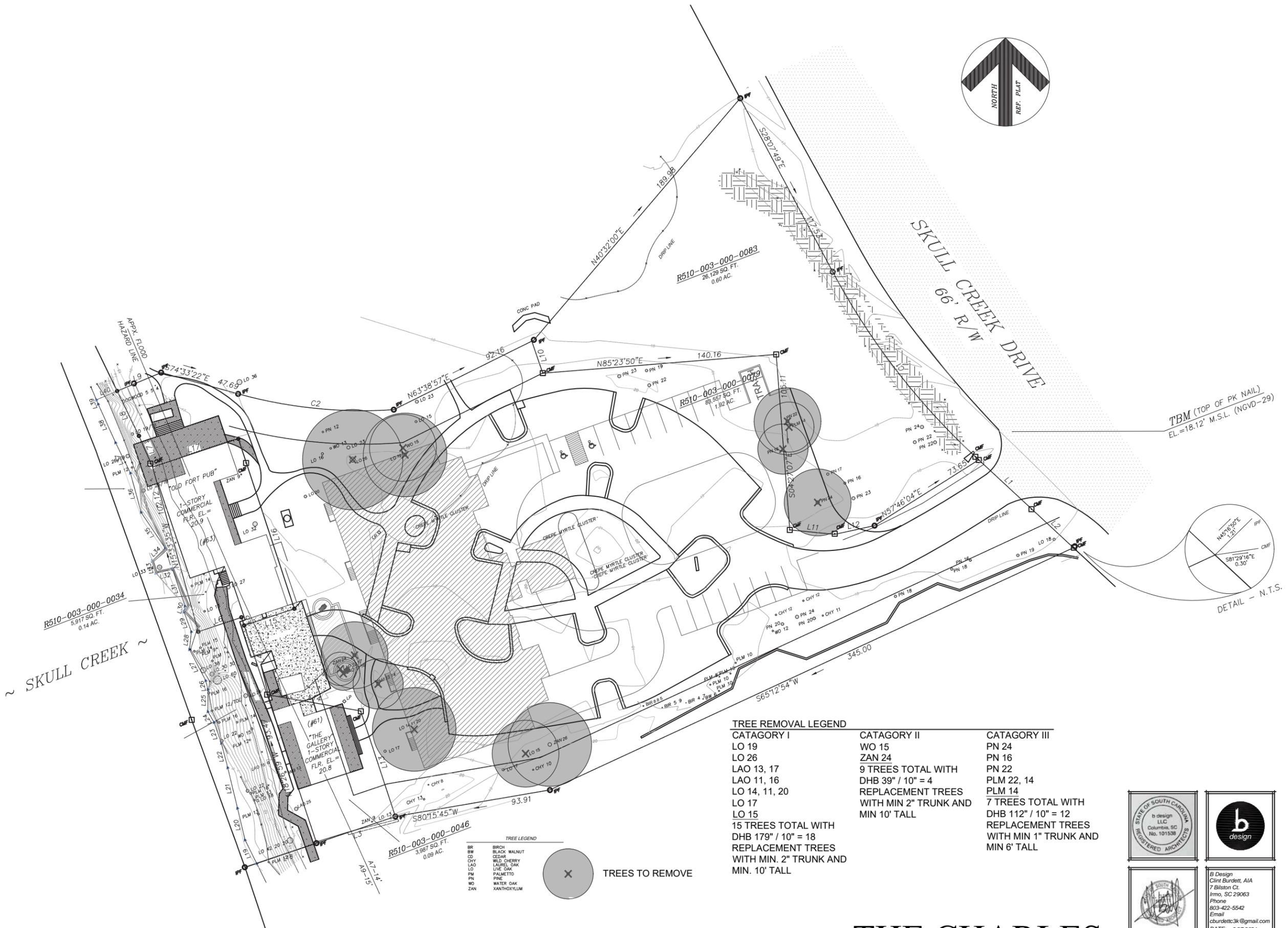
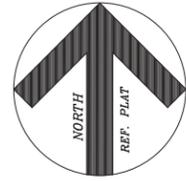


REVISIONS:

DESIGNED BY: ML
CHECKED BY: ENG
DRAWN BY: AKM
DATE: 7/16/21
SCALE: 1" = 30'
PROJECT NO.: 21060001-1
MAP NO.: 00000000

SHEET NO.
1
OF
1

LIGHTING PROPOSAL FOR
THE CHARLES
SKULL CREEK DRIVE
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA



TREE REMOVAL LEGEND

CATAGORY I	CATAGORY II	CATAGORY III
LO 19	WO 15	PN 24
LO 26	ZAN 24	PN 16
LAO 13, 17	9 TREES TOTAL WITH	PN 22
LAO 11, 16	DHB 39" / 10" = 4	PLM 22, 14
LO 14, 11, 20	REPLACEMENT TREES	PLM 14
LO 17	WITH MIN 2" TRUNK AND	7 TREES TOTAL WITH
LO 15	MIN 10' TALL	DHB 112" / 10" = 12
15 TREES TOTAL WITH		REPLACEMENT TREES
DHB 179" / 10" = 18		WITH MIN 1" TRUNK AND
REPLACEMENT TREES		MIN 6' TALL
WITH MIN. 2" TRUNK AND		
MIN. 10' TALL		

TREE LEGEND

BR	BIRCH
BW	BLACK WALNUT
CD	CEDAR
CH	WILD CHERRY
LAO	LAUREL OAK
LO	LIVE OAK
PM	PALMETTO
PN	PINE
WO	WATER OAK
ZAN	XANTHOXYLUM

X TREES TO REMOVE

SITE PLAN TREE REMOVAL

THE CHARLES

19 TOTAL TREES WITH A TOTAL DHB 330" / 10" = 33 TREES



B Design
 Clint Burdett, AIA
 7 Bilston Ct.
 Irmo, SC 29063
 Phone
 803-422-5542
 Email
 cburdett3k@gmail.com
 DATE: 6.27.2021

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Charles

DRB#: DRB-00177-2021

DATE: 08/02/22

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: (for Staff review and approval)

1. Dimension the 5' roof height of A2.1 and A2.2.
2. Provide a landscape plan of a scope, size and design in proportion to the scale of the development.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The mansard roof detail calls out a 5' height but the dimensions on A2.1 or A2.2 appear only to accommodate a 3' roof height.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Are there any lights in the balcony (front and rear) ceiling and the porte cochere ceiling? All electrical conduit shall be concealed.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Avoid lining the walks with a single row of any plant material. The scale of this project requires planting in sweeps and drifts of plants.
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lawn areas (front and back) are cut off from sidewalks.

Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The walk out from the fire pit should give the existing tree more room.
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lining the entrance drive with Yaupon Holly is not an appropriate edge for an entrance drive.
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Variegated Ginger are not native to the island but are appropriate to be used as accents. Reduce the number of Variegated Ginger.

MISC COMMENTS/QUESTIONS

The project received Conceptual approval at the July 13th DRB meeting.
Provide a canopy study of the Live Oak (20, 26, 23) immediately adjacent to the back north corner of the proposed building. Once the canopy is removed to accommodate the building the trees may not be viable.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MARTIE MURPHY Company: SHJ CONSTRUCTION GROUP
 Mailing Address: 124 EAST THOMPSON ST City: THOMASTON State: GA Zip: 30286
 Telephone: 706-6470414 Fax: _____ E-mail: MARTIE@SHJCONSTRUCTIONGROUP.COM
 Project Name: TIDAL WAVE AUTO SPA Project Address: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 2 0 2 B 0 0 0 0
 Zoning District: LC - LIGHT COMMERCIAL Overlay District(s): CORRIDOR & AIRPORT OVERLAY

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

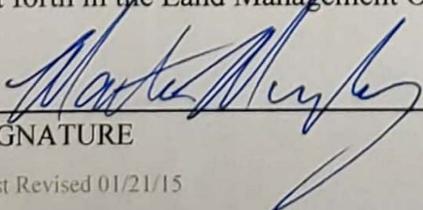
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

6/29/21

DATE



1344 US Hwy 19 South
Suite A
Leesburg, GA 31763
Phone: (229) 435-6133
Fax: (229) 439-7979
www.emc-eng.com

Development Narrative

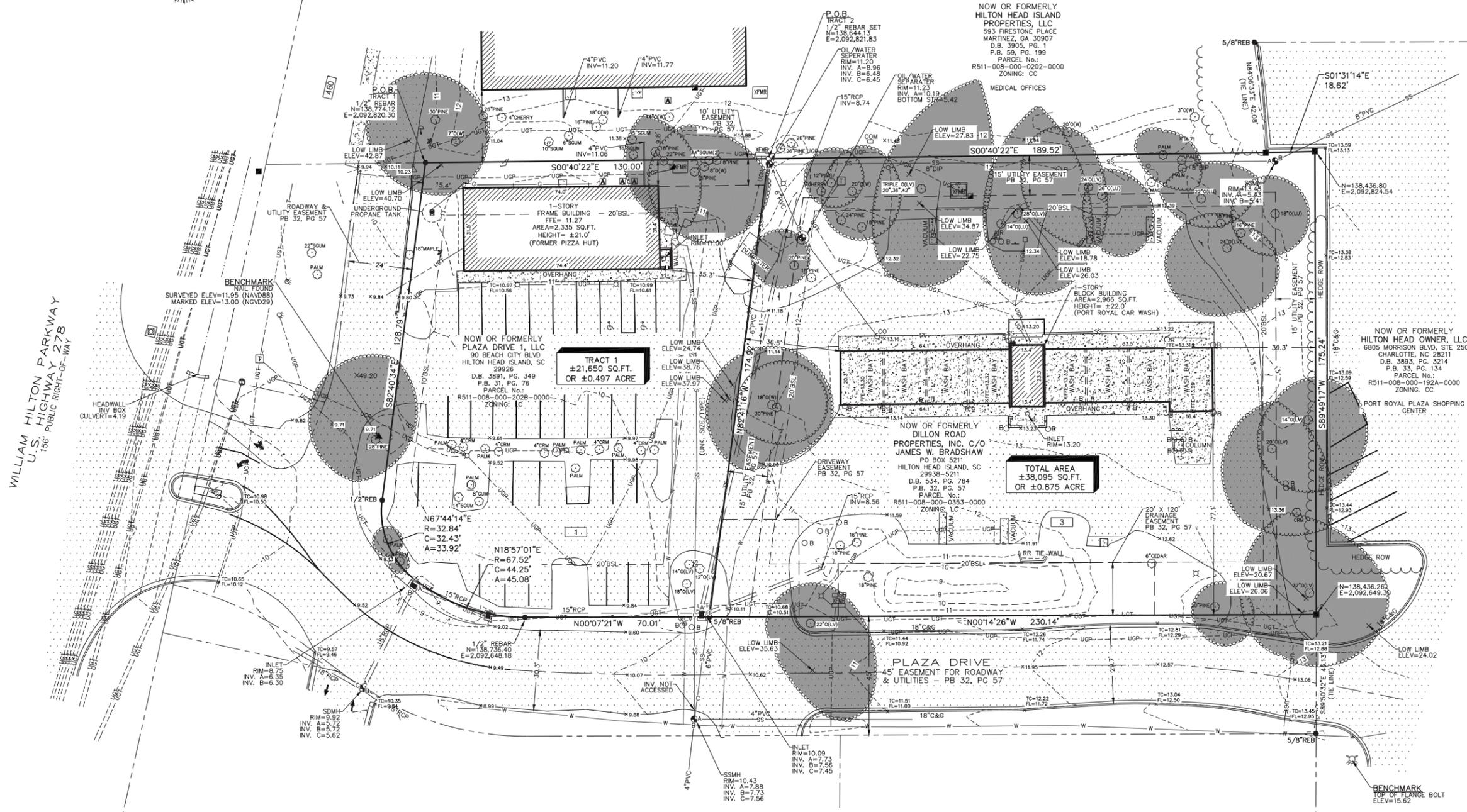
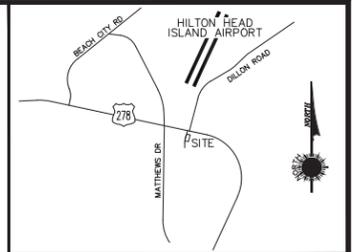
The proposed development intends to demo the existing 2,335 sf Pizza Hut bldg. that currently encroaches into the 20' bldg. setback along with the existing 4,755 sf open bay carwash and redevelop the lot as 3,200 sf express tunnel car wash, Tidal Wave Auto Spa. The proposed development will remove one access point from Plaza Drive and one from Frontage Road. The existing property has a lot coverage of 63% and the proposed redevelopment will be removing all of the existing development and redeveloping the lot to 60 % coverage increasing the landscaped area and bring the site in to compliance with current code standards. The site plan was design to preserve all the existing Specimen and Significant trees onsite except for one 30'' Loblolly Pine which due to its proximity to an existing 18'' Water Oak, makes it less than ideal to try and save as a significant tree. The proposed development does not affect any existing wetlands or buffers. The site drainage patterns will be designed to mimic existing conditions and meet all the required stormwater management standards. The Landscape buffer parallel to plaza drive is designed to coordinate with the features of the building. This allows for a combined screening of the vacuum service area located East of the primary building where people will be allowed to vacuum and clean the insides of the car after it has been through the wash. The site landscaping is designed to exceed the required standards as Tidal Wave does with all their site to provide their customer with an upscale experience as they navigate the site with multiple landscape or "WOW" features. All the vacuum equipment onsite will be housed in screening structures that will match the upscaled building facades of the primary building. These structures are fully enclosed preventing any obtrusive sounds from the vacuum equipment enhancing the experience of our customers. In addition to these masonry screenings landscape feature will be placed to help the other site components like the dumpster screening area fade back into the landscaping.

Sincerely,

Alex Perry, PE
Project Manager
EMC Engineering Service

EMC Engineering Services, Inc.

Albany ▪ Atlanta ▪ Augusta ▪ Brunswick ▪ Columbus ▪ Savannah ▪ Statesboro ▪ Thomaston ▪ Valdosta ▪ Warner Robins



LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
WOODS LINE	---
FENCE LINE	---
BUILDING SETBACK LINE	---
LANDSCAPE BUFFER LINE	---
EXISTING CONTOUR LINE	---
GAS LINE	---
WATER LINE	---
UNDERGROUND POWER LINE	---
UNDERGROUND TELEPHONE LINE	---
FIBER OPTIC LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	○
1/2" REBAR W/ CAP SET	○
CONCRETE MONUMENT FOUND	○
NAIL FOUND	○
COMPUTED POINT	○
SCHEDULE B II EXCEPTION	○
ENCROACHMENT	○
FLOOD LIGHT	○
LIGHT POLE	○
TRAFFIC SIGNAL/POLE	○
TELEPHONE PEDESTAL	○
TELEPHONE MANHOLE	○
ELECTRIC/POWER METER	○
ELECTRIC JUNCTION BOX	○
COMMUNICATIONS JUNCTION BOX	○
WATER VALVE	○
WATER METER	○
FIRE HYDRANT	○
IRRIGATION CONTROL VALVE	○
GAS VALVE	○
GAS METER	○
STORM WATER MANHOLE	○
STORM WATER INLET	○
SANITARY SEWER MANHOLE	○
CLEANOUT	○
BOLLARD	○
SIGN	○
MAILBOX	○
TREE (SIZE NOTED, SEE KEY FOR TYPE)	○
SATELITE DISH	○
AIR CONDITIONER / HVAC	○
HANDICAPPED	○
SPOT ELEVATION	○
STREET ADDRESS	○
ASPHALT	○
CONCRETE	○

TREE KEY

PER ARBORIST'S REPORT BY KOLCUN TREE CARE, LLC (843) 757-8050.

WATER OAK	(O)W
LIVE OAK	(O)LV
LAUREL OAK	(O)LU
LOBLOLLY PINE	(O)LP
SAGO PALM	(O)SP
PECAN	(O)P
RED CEDAR	(O)RC
SWEET GUM	(O)SG
CREPE MYRTLE	(O)CM
BLACK CHERRY	(O)BC
MAGNOLIA	(O)M

SURVEYOR'S CERTIFICATE

To ---, and --- Title Insurance Company:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-10a, 11, 13, 14, 16-19 of Table A thereof. The field work was completed on January 25, 2020.

"I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown."



NOTES

- DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- UNADJUSTED RATIO OF PRECISION 1:103,916.
- ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED BY CAROLINA LOCATES, LLC (843-283-514), ONE CALL TICKET NOTICE 2101200006. VERIFICATION OF THE UTILITY LOCATIONS SHOULD BE MADE PRIOR TO ANY CONSTRUCTION. BEFORE BEGINNING ANY CONSTRUCTION OR BORINGS, CONTACT THE UTILITIES PROTECTION CENTER AT 1-888-721-7877. NOTE: THERE MAY BE A BURIED PROPANE TANK ON THE CAR WASH PARCEL THAT COULD NOT BE LOCATED.
- THE PROPERTY SHOWN HEREON HAS ACCESS TO PLAZA DRIVE & A FRONTAGE ROAD, BOTH OF WHICH ARE CONTAINED IN PUBLIC ACCESS ROADWAY EASEMENTS, AS NOTED.
- CONTOUR INTERVAL SHOWN IS ONE FOOT. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THIS SURVEY IS REFERENCED TO THE SC STATE PLANE COORDINATE SYSTEM, NAD 83(2011).
- DONALDSON, GARRETT & ASSOCIATES, INC. AND THE LAND SURVEYOR WHOSE SEAL IS AFFIXED HEREON DO NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THIS PROPERTY ARE SHOWN.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE COMMITMENT.
- AS OF THE DATE OF THIS SURVEY, THERE IS NO EVIDENCE OF ANY CONSTRUCTION OR EARTH MOVING ACTIVITY OF ANY KIND ON THE SUBJECT PROPERTY.

ZONING INFORMATION

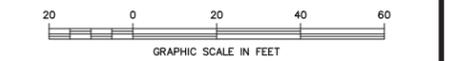
AUTHORITY: TOWN OF HILTON HEAD ISLAND COMMUNITY DEVELOPMENT
 ADDRESS: 1 TOWN CENTER COURT, HILTON HEAD ISLAND, SC 29928
 PHONE: 843-341-4757
 CONTACT: MISSY LUICK
 ZONING DISTRICT: LC, LIGHT COMMERCIAL
 SETBACKS: FRONT - 20'
 SIDE CORNER - 10'
 SIDE INTERIOR - 20'
 REAR - 20'

NOTE: A 10'-20' LANDSCAPE BUFFER IS REQUIRED ALONG PLAZA DRIVE AND ACCESS ROAD ALONG NORTHERN LINE.

FLOOD ZONE INFORMATION

ACCORDING TO MAPPING PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA PANEL NUMBER 450250009D, EFFECTIVE DATE: SEPTEMBER 29, 1986, THE PROPERTY SHOWN HEREON IS LOCATED ENTIRELY WITHIN A SPECIAL FLOOD HAZARD AREA, ZONE A7 (BASE ELEVATION = 14). AREAS OF 100 YEAR FLOOD, BASE FLOOD ELEVATIONS DETERMINED.

SCHEDULE B II EXCEPTIONS

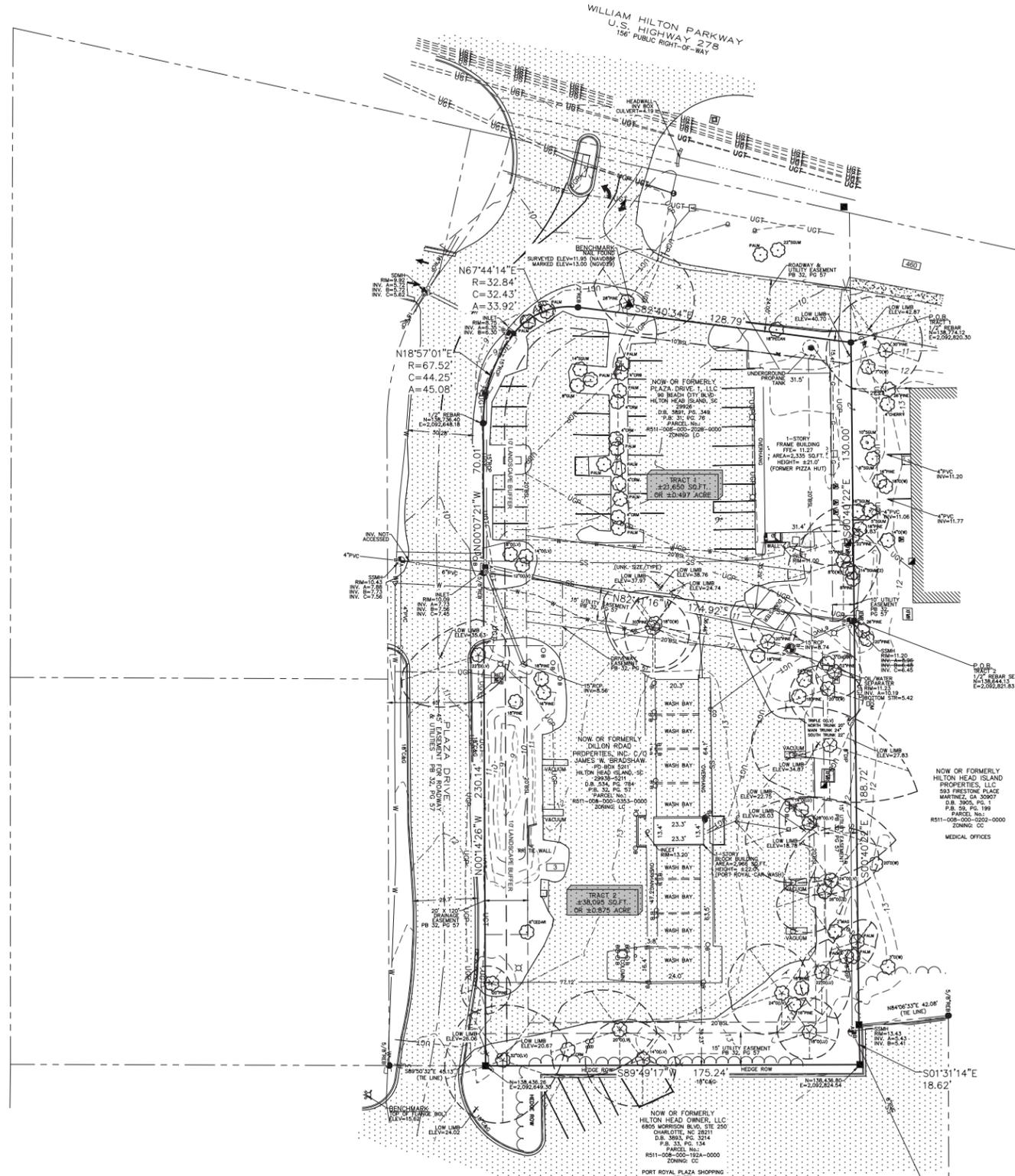


ALTA/NSPS LAND TITLE SURVEY
 FOR
EMC ENGINEERING
 1-3 PLAZA DRIVE

HILTON HEAD ISLAND BEAUFORT COUNTY SOUTH CAROLINA

DATE: 4/19/21 - ADD TREE DRIPLINES & LOW LIMB ELEV	DWN.BY: JH	DATE: JANUARY 29, 2021
	CRD.BY: JMS	SCALE: 1"=20'
	FIELDBOOK: N/A	PROJECT NO.: 2076-024-N1
	PLS NO.: 19020	DRAWING NO.: NC-004-21-D

Donalson Garrett & Associates, Inc.
 9741-1520 WILSON PINE BOULEVARD
 CHARLOTTE, NC 28275
 (704) 374-1665
 http://www.dg-a.com
 www.dg-a.com
 SC CORPORATE LICENSE NO. C00851



GENERAL NOTES

- DONALDSON, GARRETT AND ASSOCIATES, INC. PERFORMED AN EXISTING CONDITIONS / TOPOGRAPHICAL SURVEY OF THIS PARCEL ON 1/29/2021. THERE MAY BE EASEMENTS, SETBACK LINES OR OTHER MATTERS AFFECTING THIS PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.
- THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' FEET OF SUBJECT PROPERTY.
- THE CONSTRUCTION AREA ULTIMATELY DRAINS TO TRIBUTARY OF BROAD CREEK.
- THE EXISTING SITE IS A PIZZA HUT AND MULTI BAY CAR WASH.
- THE AREA FOR THIS PROJECT IS ±1.37 ACRES WITH A DISTURBED AREA OF ±X.X ACRES.
- THE TOWN OF HILTON HEAD ISLAND PUBLIC PROJECTS AND FACILITIES DEPARTMENT SHALL BE NOTIFIED 72 HOURS PRIOR TO BEGINNING WORK AND 24 HOURS PRIOR TO RESUMING WORK AT 843-341-4600.
- ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF TOWN OF HILTON HEAD ISLAND. IF NOT OTHERWISE SPECIFIED, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CAROLINA DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (CURRENT EDITION) AND THE SOUTH CAROLINA DOT STANDARD HIGHWAY DRAWINGS (CURRENT EDITION).

DEMOLITION AND EXISTING CONDITIONS NOTES:

- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND/OR NEW WORK. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS.
- CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BARRIERS & WARNINGS TO LIMIT ACCESS TO PROJECT AREA TO ONLY THOSE PERSONNEL AUTHORIZED BY THE CONTRACTOR. INASMUCH AS AREAS ADJACENT TO PROJECT AREA WILL MAINTAIN "NORMAL OPERATIONS."
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL MEASURES & SHALL MAINTAIN SAFE PASSAGEWAY FOR WORKERS & NON-WORKERS AS REQUIRED ADJACENT TO THE PROJECT SITE.
- ALL ITEMS REMOVED OR DEMOLISHED BY THE CONTRACTOR WHICH ARE NOT LISTED BY THE SPECIAL PROVISIONS TO BE TURNED OVER TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY FOR PROPER DISPOSAL.
- DEMOLITION ACTIVITIES ARE NOT EXPECTED TO INCLUDE THE REMOVAL OF HAZARDOUS MATERIALS. IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED OR SUSPECTED, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF THE MATERIAL.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO SCHEDULE ALL UTILITY & SERVICE INTERRUPTIONS TO OCCUPIED PORTIONS OF THE SITE.
- CONTRACTOR SHALL REMOVE TREES AS INDICATED ON CIVIL PLANS. CONTRACTOR SHALL USE CAUTION DURING ALL CONSTRUCTION ACTIVITIES TO PROTECT ALL TREES INDICATED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE CLEAN-UP, CLEARING AND GRUBBING PER SPECIFICATIONS. ALL TREES THAT HAVE A MARKETABLE VALUE SHALL BE SALVAGED. CONTRACTOR SHALL COORDINATE WITH OWNER AS TO THE TREES TO BE RELOCATED OR SOLD.
- CONTRACTOR SHALL SAW CUT EXISTING CONCRETE AND ASPHALT PAVEMENTS AT LIMITS OF DEMOLITION TO LEAVE SMOOTH EDGE ON REMAINING CONCRETE/PAVEMENT.

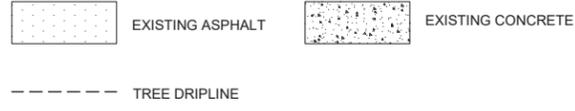
FLOODPLAIN NOTES

THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "A7" AS PER FLOOD INSURANCE RATE MAP FOR HILTON HEAD ISLAND AS SHOWN ON PANEL 9 OF 15 ON MAP NUMBER 450250 0009 D, WITH AN EFFECTIVE DATE OF 9/29/1986. ZONE "A7" DENOTES AREAS AREAS OF 100-YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED.

UTILITY NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- UNDERGROUND UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES.
- BEFORE EXCAVATIONS ARE BEGUN, GIVE THREE WORKING DAYS NOTICE TO THE UTILITIES PROTECTION CENTER AT 811 PRIOR TO ANY EXCAVATION IN ORDER THAT UNDERGROUND UTILITIES MAY BE LOCATED AND PROTECTED.

LEGEND:



NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 30'

EMC ENGINEERING SERVICES, INC.
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 www.emc-eng.com



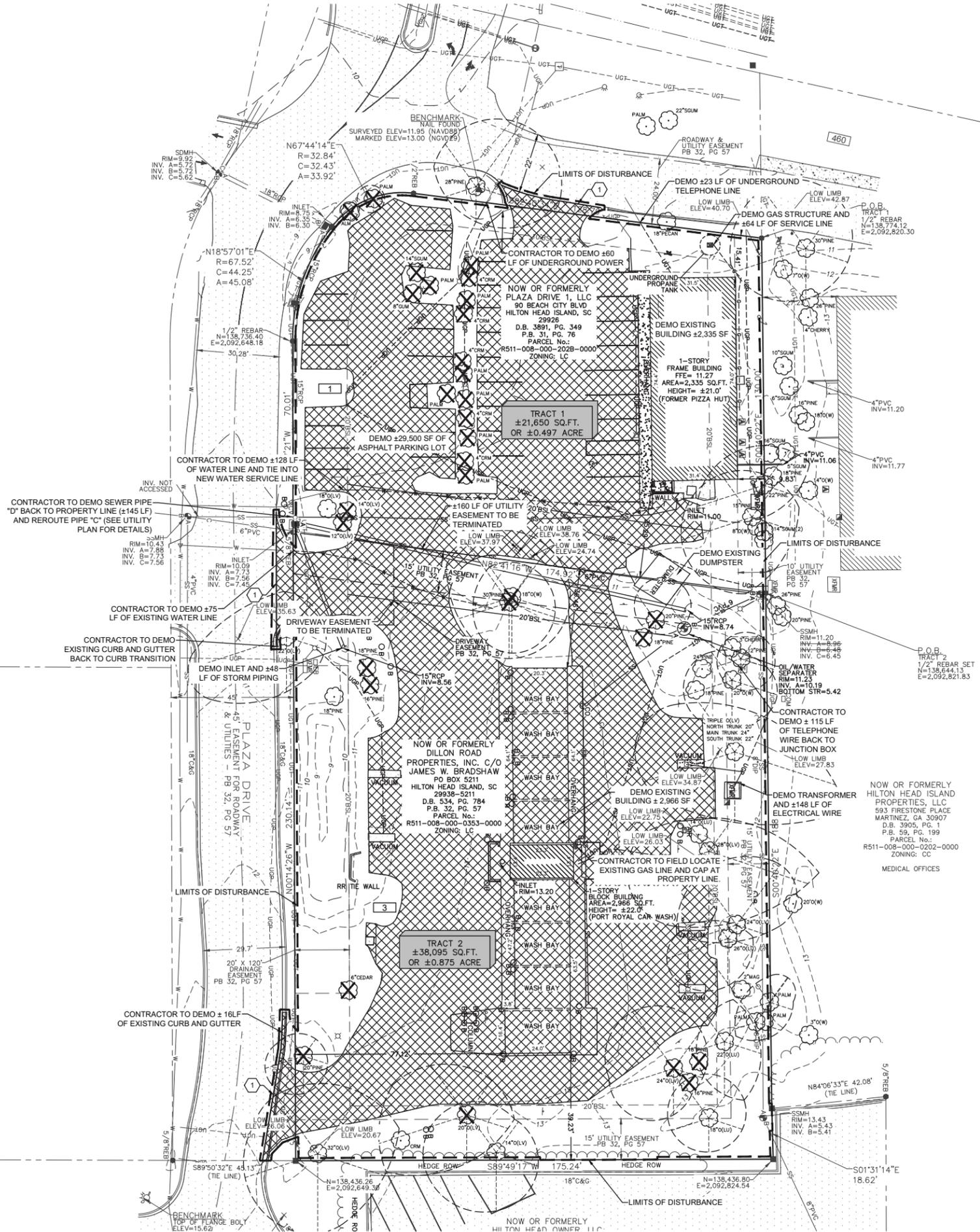
ALBANY - AUGUSTA - BRUNSWICK - COLUMBUS - GREENVILLE - SC
 SAVANNAH - STATESBORO - THOMASTON - VALDOSTA - WARNER ROBINS

EXISTING CONDITIONS
TIDAL WAVE AUTO SPA
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
SHJ CONSTRUCTION GROUP

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 30'
DATE:	8/24/2021

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 OF 23





GENERAL NOTES

- DONALDSON, GARRETT AND ASSOCIATES, INC. PERFORMED AN EXISTING CONDITIONS / TOPOGRAPHICAL SURVEY OF THIS PARCEL ON 1/29/2021. THERE MAY BE EASEMENTS, SETBACK LINES OR OTHER MATTERS AFFECTING THIS PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.
- THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' FEET OF SUBJECT PROPERTY.
- THE CONSTRUCTION AREA ULTIMATELY DRAINS TO TRIBUTARY OF BROAD CREEK.
- THE EXISTING SITE IS PIZZA HUT AND MULTI BAY CAR WASH.
- THE AREA FOR THIS PROJECT IS ±1.37 ACRES WITH A DISTURBED AREA OF ±X.X ACRES.
- THE TOWN OF HILTON HEAD ISLAND PUBLIC PROJECTS AND FACILITIES DEPARTMENT SHALL BE NOTIFIED 72 HOURS PRIOR TO BEGINNING WORK AND 24 HOURS PRIOR TO RESUMING WORK AT 843-341-4600.
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HATCH LEGEND:



SPECIAL NOTES:

- ① SAW CUT FOR SMOOTH TRANSITION

NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 20'

EMC ENGINEERING SERVICES, INC.
 349 Mangrove Drive, Suite 220
 Warner Robins, GA 31088
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 www.emc-eng.com



ALBANY, AUGUSTA, BRUNSWICK, COLUMBUS, GREENVILLE, SC
SAVANNAH, STATESBORO, THOMASTON, VALDOSTA, WARNER ROBINS

DEMOLITION PLAN
TIDAL WAVE AUTO SPA
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
SHJ CONSTRUCTION GROUP

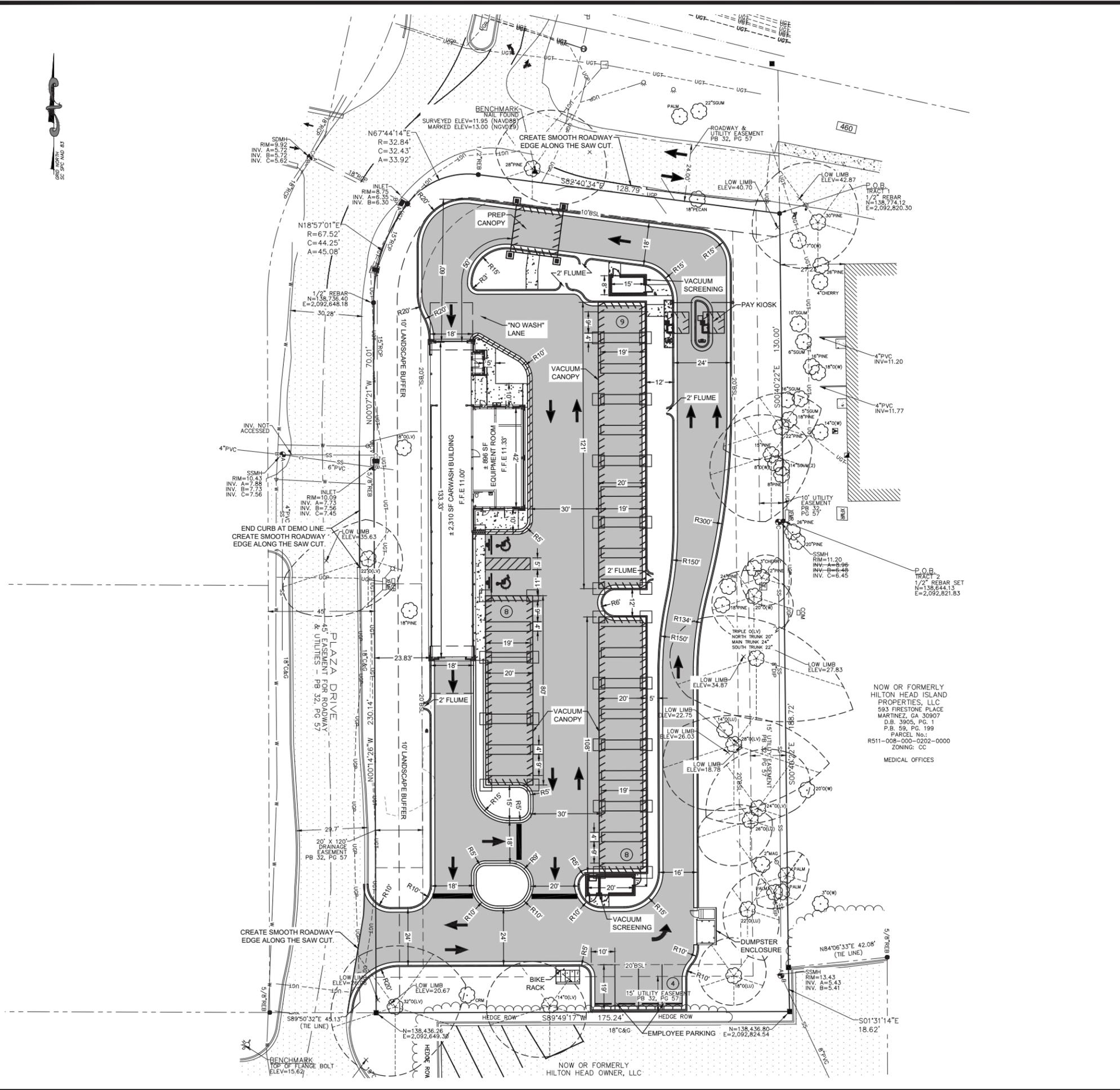
PROJECT NO.: 20-6459
 DRAWN BY: CJM
 DESIGNED BY: RAP
 SURVEYED BY: DGA
 SURVEY DATE: 1/29/2021
 CHECKED BY: BHB
 SCALE: 1" = 20'
 DATE: 8/24/2021

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 OF 23



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01/20/2020 10:46:59 TMS PLAZA DR. HILTON HEAD, SC [DWG] 20-6459C_B01.DWG 7/27/2021 4:08 PM



SITE INFORMATION:

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926
 PROPERTY AREA: ±1.37 ACRES
 PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)
 BUILDING SETBACKS: FRONT: 10'
 SIDE: 20'
 REAR: 20'
 LANDSCAPE SETBACK: FRONT: 10'
 SIDE: 10'
 REAR: 0'

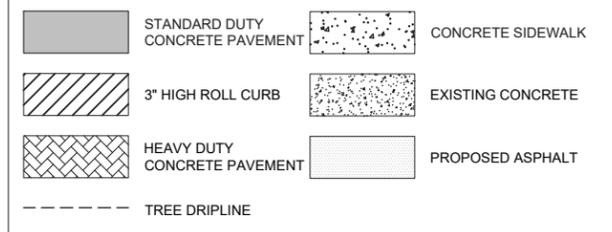
PARKING NOTE:

PARKING REQUIRED: 10 SPACES PER WASH BAY
 10 / 1 = 10 SPACES
 PARKING PROVIDED: 27 STANDARD SPACES
 ± 2 HANDICAPPED SPACES
 29 TOTAL SPACES

SITE LAYOUT AND STAKING NOTES

- IF THE PLANS ARE NOT CLEAR OR DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT EMC ENGINEERING SERVICES, INC AT 229-435-6133 FOR CLARIFICATION IMMEDIATELY.
- ALL NORTHING AND EASTING ARE TO THE FACE OF CURB, EDGE OF BUILDING.
- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. PARKING STALL STRIPPING TO BE YELLOW WITH BLUE HANDICAPPED STRIPPING.
- ALL HANDICAP PARKING SPACES AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS

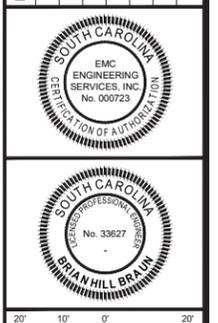
HATCH LEGEND:



PRE VS. POST DEVELOPED AREA:

PRE-DEVELOPED AREA:	1.37 AC	POST DEVELOPED:	1.37 AC
IMPERVIOUS AREA:	0.86 AC	IMPERVIOUS AREA:	0.82 AC
PERVIOUS AREA:	0.51 AC	PERVIOUS AREA:	0.55 AC
EXISTING IMPERVIOUS COVERAGE IS:	62.8%		
PROPOSED IMPERVIOUS COVERAGE IS:	59.9%		
MAX. ALLOWED IMPERVIOUS COVERAGE IS:	60.0%		

NO.	REVISION DESCRIPTION	DATE



EMC ENGINEERING SERVICES, INC.
 349 Margie Drive, Suite 220
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CIVIL ENGINEER
 MARINE ENVIRONMENTAL

ALBANY • AUGUSTA • BRUNSWICK • COLUMBUS • GREENVILLE, SC
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

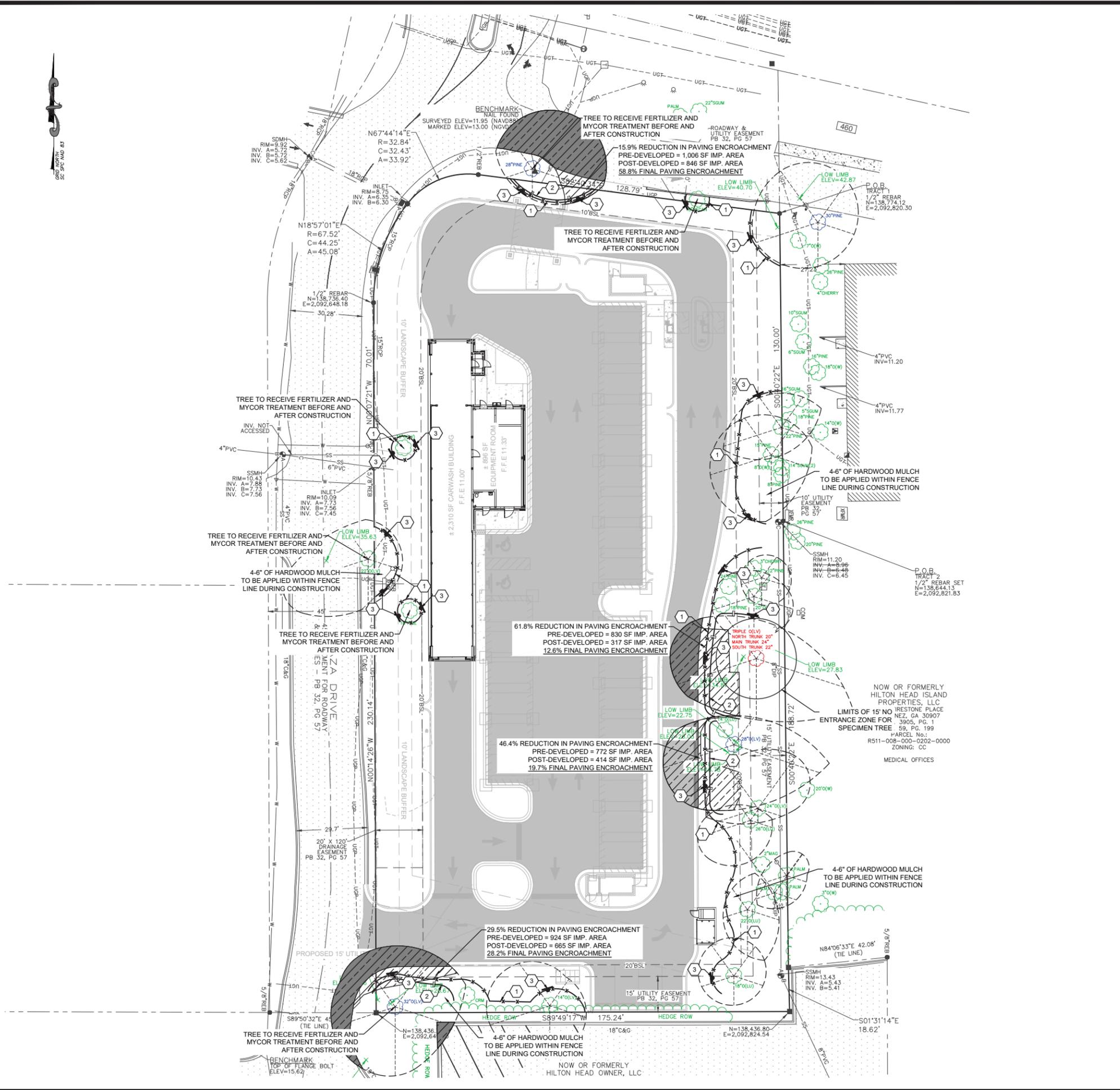
PRELIMINARY SITE PLAN

TIDAL WAVE AUTO SPA
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
SHJ CONSTRUCTION GROUP

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 20'
DATE:	6/24/2021



01/20/2010 10:46:59 TMS PLAZA DR. HILTON HEAD, SC (DWG) 20-6459C_B01.DWG 7/27/2021 4:08 PM



SITE INFORMATION:

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926
 PROPERTY AREA: ±1.37 ACRES
 PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)

PARKING NOTE:

PARKING REQUIRED:
 1 SPACE PER 15F
 10 / 1 = 10 SPACE(S)

PARKING PROVIDED:
 27 STANDARD SPACES
 + 2 HANDICAPPED SPACES
 29 TOTAL SPACES

SITE LAYOUT AND STAKING NOTES

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HATCH LEGEND:

	STANDARD DUTY CONCRETE PAVEMENT		CONCRETE SIDEWALK
	4" HIGH ROLL CURB		EXISTING CONCRETE
	HEAVY DUTY CONCRETE PAVEMENT		TREE DRIPLINE
	PRE-DEVELOPED PAVING ENCROACHMENT		ORANGE MESH FENCE
	POST-DEVELOPED PAVING ENCROACHMENT		WOODEN FENCE

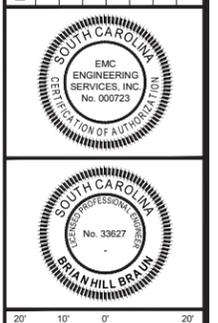
PRE VS. POST DEVELOPED AREA:

PRE-DEVELOPED AREA:	1.37 AC	POST DEVELOPED:	1.37 AC
IMPERVIOUS AREA:	0.86 AC	IMPERVIOUS AREA:	0.82 AC
PERVIOUS AREA:	0.51 AC	PERVIOUS AREA:	0.55 AC
EXISTING IMPERVIOUS COVERAGE IS:	62.8%		
PROPOSED IMPERVIOUS COVERAGE IS:	59.9%		

SPECIAL NOTES:

- 1 4' TREE PROTECTION FENCING: BRIGHT ORANGE PLASTIC MESH
- 2 6' SPECIMEN TREE PROTECTION FENCING: WOODEN
- 3 TREE PROTECTIVE SIGNAGE: "TREE OR BUFFER PROTECTION ZONE: DO NOT ENTER"
- 4 SIGNIFICANT TREES
- 5 SPECIMEN TREES
- 6 EXISTING TREES TO STAY

NO.	REVISION DESCRIPTION	DATE



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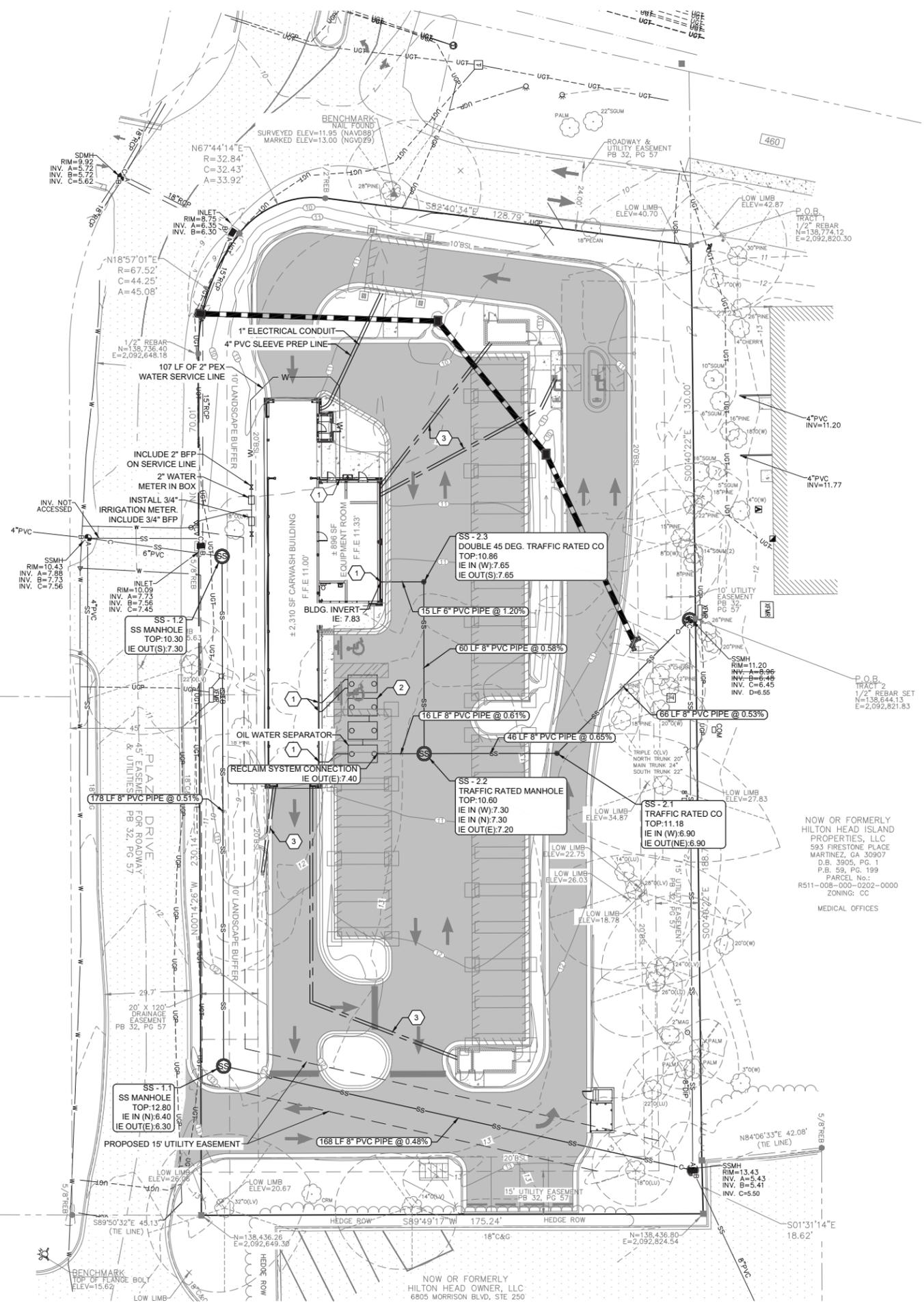
ALBANY • AUGUSTA • BRUNSWICK • COLUMBUS • GREENVILLE • SC
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

PRELIMINARY TREE PROTECTION PLAN
TIDAL WAVE AUTO SPA
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
SHJ CONSTRUCTION GROUP

PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 20'
DATE:	6/24/2021



01/20/2020 10:45:59 TMS PLAZA DR. HILTON HEAD, SC (DWG) 20-6459C_B01.DWG 7/27/2021 4:08 PM



SITE INFORMATION:

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926
 PROPERTY AREA: ±1.37 ACRES
 PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)
 BUILDING SETBACKS: FRONT: 10', SIDE: 20', REAR: 20'
 LANDSCAPE SETBACK: FRONT: 10', SIDE: 10', REAR: 0'

UTILITY NOTES:

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND IS APPROXIMATE AND SHOWN FOR INFORMATIONAL PURPOSES ONLY. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.
2. ADDITIONAL BURIED UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES.
3. BEFORE EXCAVATIONS ARE BEGUN, GIVE THREE WORKING DAYS NOTICE TO THE UTILITIES PROTECTION CENTER AT 811 OR 803-939-1117 PRIOR TO ANY EXCAVATION IN ORDER THAT UNDERGROUND UTILITIES MAY BE LOCATED AND PROTECTED.
4. A 10 FOOT HORIZONTAL AND 18 INCH VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND ANY WATER OR STORM LINES. WATER OR STORM LINES SHALL BE ABOVE ANY SANITARY LINES.
5. MAINTAIN A MINIMUM OF 4' OF COVER ABOVE WATER LINES.
6. ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 1% SLOPE UNLESS OTHERWISE NOTED
7. FOR ANY WORK IN SOUTH CAROLINA DOT RIGHT-OF-WAY, AN ENCROACHMENT AND/OR UTILITY PERMIT MAY BE REQUIRED.
8. ALL METERS, VALVES, AND BACKFLOW PREVENTORS ARE TO BE IN COMPLIANCE WITH THE TOWN OF HILTON HEAD ISLAND REQUIREMENTS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL.
9. ADJUST ALL TOP OF STRUCTURES ELEVATIONS (MANHOLES, CLEANOUTS, VALVE BOXES) TO FINISH GRADE ELEVATIONS.
10. ALL SANITARY SEWER WORK MUST BE IN ACCORDANCE WITH THE TOWN OF HILTON HEAD ISLAND STANDARDS AND SPECIFICATIONS.
11. LOCATOR WIRE AND DETECTOR TAPE ARE REQUIRED ON ALL SEWER LINES.

SPECIAL NOTES:

- 1 SEE MEP PLANS FOR CONTINUATION
- 2 RECLAIM TANK
- 3 PVC ELECTRICAL CONDUIT; COORDINATE WITH OWNER ON EXACT LOCATION, NUMBERS, AND SIZE.

NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 20'

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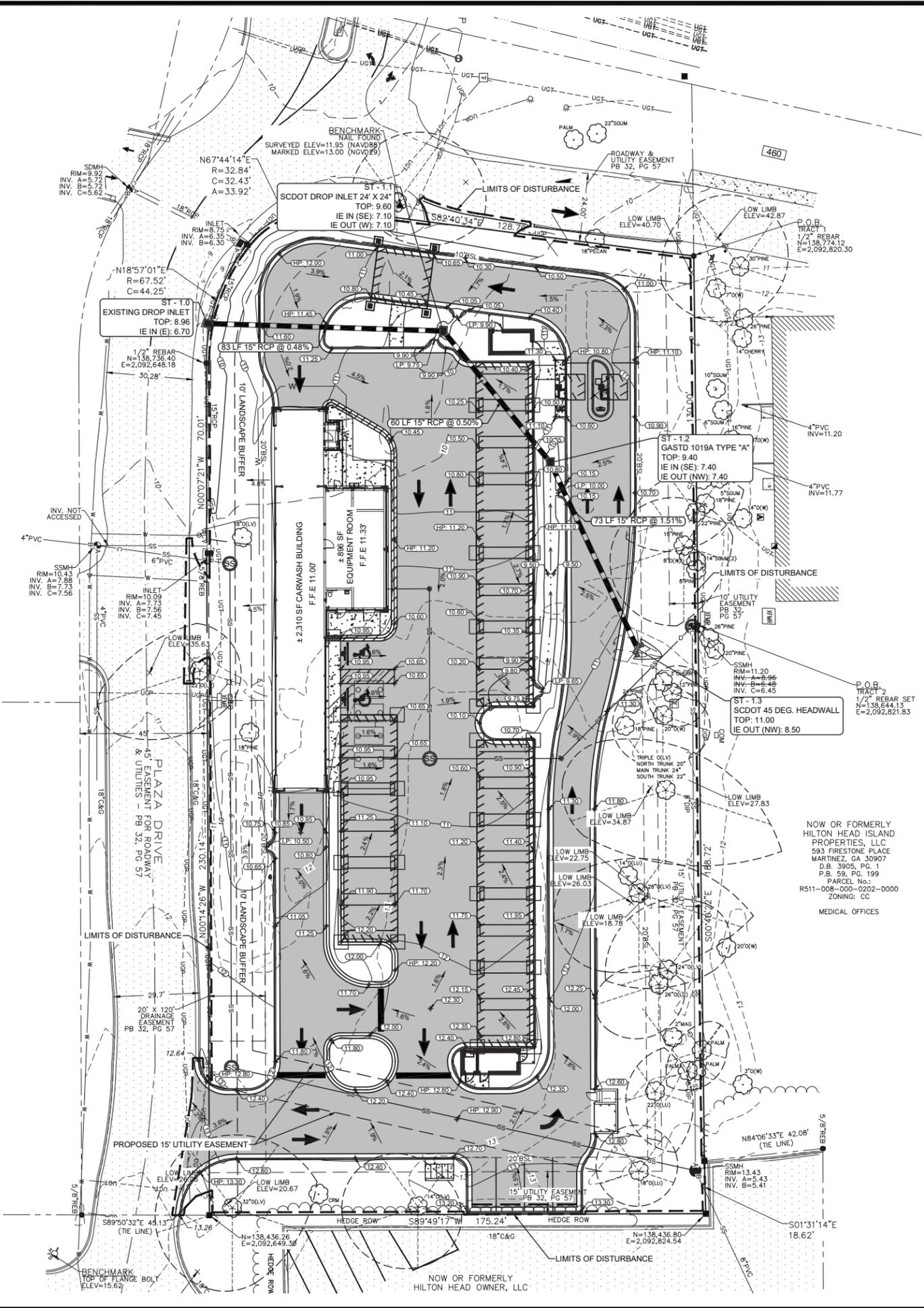
PRELIMINARY UTILITY PLAN
TIDAL WAVE AUTO SPA
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
SHJ CONSTRUCTION GROUP

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01/20/2020 10:46:59 TMS PLAZA DR. HILTON HEAD, SC (DWG) 20-6459C_B01.DWG 7/27/2021 4:08 PM



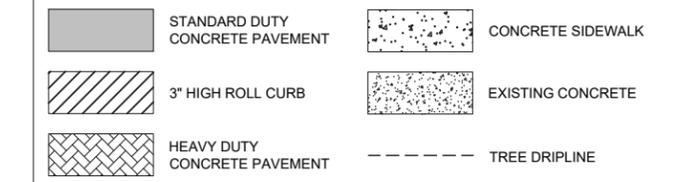
PAVING, GRADING, AND DRAINAGE NOTES

1. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
2. ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
3. MAXIMUM LONGITUDINAL SLOPE ON ALL ACCESSIBLE SIDEWALK SHALL BE 5.00%.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SITE IS ADA ACCESSIBLE AS REQUIRED BY FEDERAL, STATE AND LOCAL GOVERNMENT.
5. FINISH GRADE ELEVATIONS INDICATE TOP OF PAVEMENT / FACE OF CURB UNLESS OTHERWISE NOTED.
6. REFER TO DETAILS FOR PAVEMENT TYPICAL SECTION.
7. SITE SHALL BE GRADED UNIFORMLY FOR POSITIVE DRAINAGE AS SHOWN FROM THE ELEVATIONS, PROPOSED CONTOURS, AND THE DRAINAGE SLOPE ARROWS.
8. MAXIMUM SIDEWALK CROSS SLOPE IS 2%. MAXIMUM SIDEWALK LONGITUDINAL SLOPE IS 5%. MAXIMUM PAVEMENT SLOPE IN HANDICAP PARKING AREA AND AISLE IS 2%. MAXIMUM HANDICAMP RAMP SLOPE IS 12H:1V.

UTILITY NOTES:

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND IS APPROXIMATE AND SHOWN FOR INFORMATIONAL PURPOSES ONLY. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.
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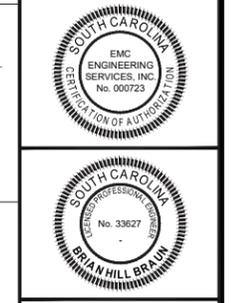
HATCH LEGEND:



SPECIAL NOTES:

1. PROVIDE SMOOTH TRANSITION TO EXISTING GRADE

NO.	REVISION DESCRIPTION	DATE



EMC ENGINEERING SERVICES, INC.
 349 Margie Drive, Suite 220
 Warner Robins, GA 31088
 Ph: (478) 333-4110
 Fax: (229) 439-7979
 warners@emc-eng.com
 www.emc-eng.com

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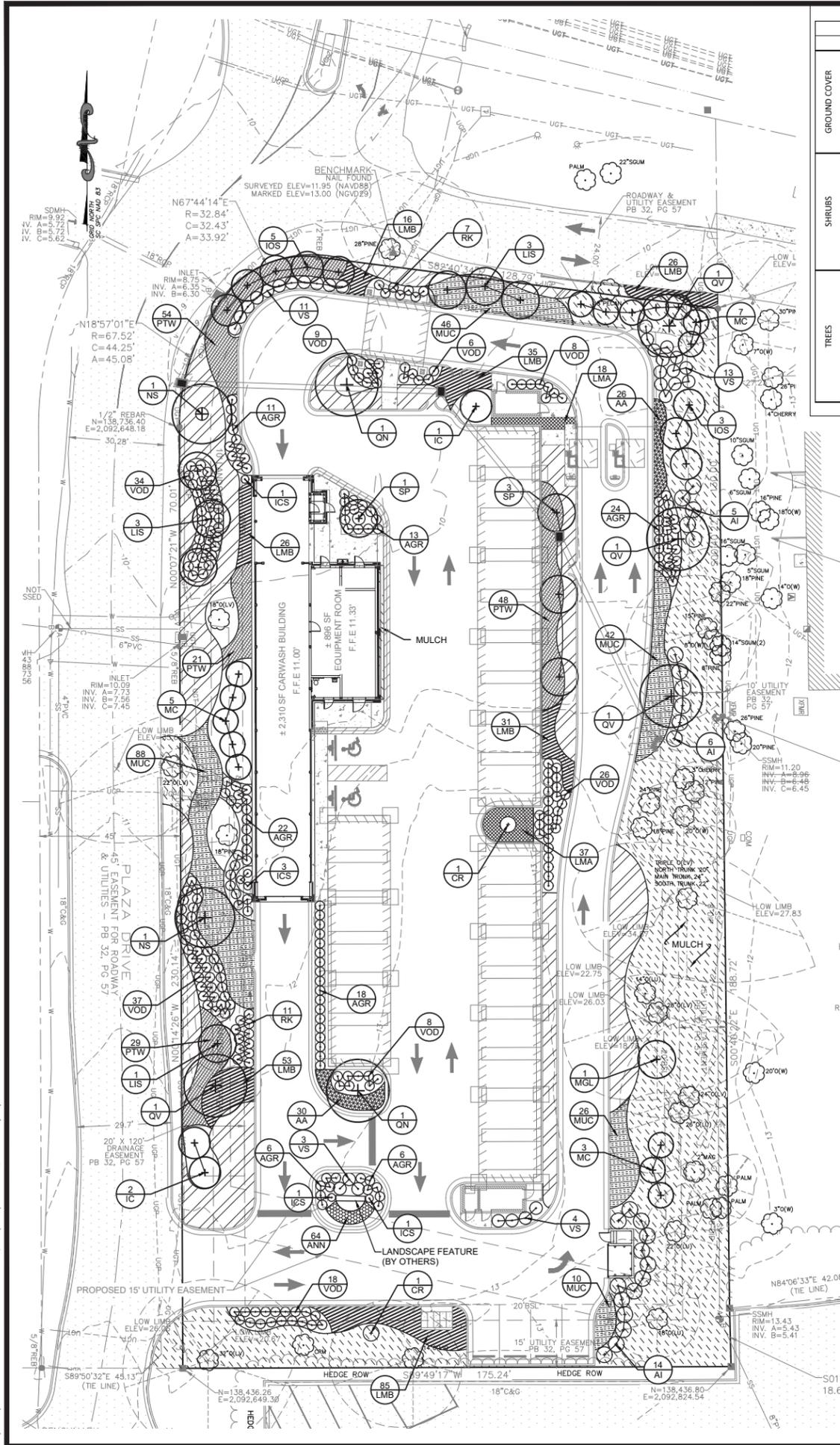
PAVING, GRADING, & DRAINAGE PLAN

TIDAL WAVE AUTO SPA
 1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
SHJ CONSTRUCTION GROUP

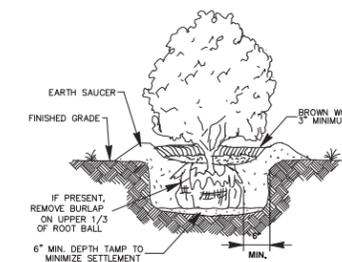
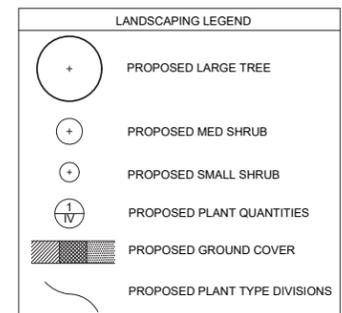
PROJECT NO.:	20-6459
DRAWN BY:	CJM
DESIGNED BY:	RAP
SURVEYED BY:	DGA
SURVEY DATE:	1/29/2021
CHECKED BY:	BHB
SCALE:	1" = 20'
DATE:	6/24/2021

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 OF 23





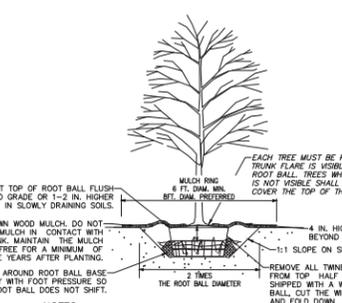
PLANT SCHEDULE						
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES
GROUND COVER	LMB	LIRIOPE MUSCARI 'BIG BLUE'	272	1 GAL	2' O.C.	
	LMA	LIRIOPE MUSCARI 'AZTEC'	55	1 GAL	2' O.C.	
	MUC	MUHLBERGIA CAPILLARIS	212	3 GAL	3' O.C.	
	AA	AGAPANTHUS AFRICANUS	56	1 GAL	2' O.C.	LAVENDER
	ANN	ANNUALS	64	SQ. FT.	12" O.C.	
	SOD	STENOTAPHRUM SECUNDATUM 'MERCEDES'	488	SQ. YD.		
	MULCH	BROWN WOOD MULCH	1145	SQ. YD.		
	RK	ROSA KNOCKOUT	18	3 GAL	3' O.C.	DOUBLE RED
	VOD	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	146	3 GAL	3' O.C.	
	PTW	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'	152	3 GAL	3' O.C.	
SHRUBS	AGR	ABELIA GRANDIFLORA 'ROSE CREEK'	100	3 GAL	3' O.C.	
	CR	CYCAS REVOLUTA	2	7 GAL	AS SHOWN	
	ICS	ILEX CRENATA 'SKY PENCIL'	6	3 GAL	2.5' O.C.	
	VS	VIBURNUM SUSPENSUM	20	5 GAL	4' O.C.	
	AI	AZALEA INDICA 'FORMOSA'	25	7 GAL	5' O.C.	
	IC	ILEX CASSINE	3	1" CAL	AS SHOWN	
	QV	QUERCUS VIRGINIANA	4	2.5"-3" CAL	AS SHOWN	
	LIS	LAGERSTROEMIA INDICA 'SIOUX'	7	1" CAL	AS SHOWN	2-3 STEM, PINK
	NS	NYSSA SYLVATICA	2	2"-2.5" CAL	AS SHOWN	
	MC	MYRICA CERIFERA	15	7 GAL	8' O.C.	
TREES	QN	QUERCUS NUTTALLII	2	2"-2.5" CAL	AS SHOWN	
	IOS	ILEX OPACA 'SAVANNAH'	8	1" CAL	AS SHOWN	
	SP	SABAL PALMETTO	4	12" CT	AS SHOWN	
	MGL	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	1	1-1.5" CAL	AS SHOWN	
	CR	CRAPPE MYRTLE	7	1" CAL	AS SHOWN	
	MC	BLACK GUM	2	2"-2.5" CAL	AS SHOWN	
	WAX	WAX MYRTLE	15	7 GAL	8' O.C.	
	NO	NUTTALL OAK	2	2"-2.5" CAL	AS SHOWN	
	SAV	SAVANNAH HOLLY	8	1" CAL	AS SHOWN	
	SA	SABAL PALM	4	12" CT	AS SHOWN	



NOTES

- CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
- FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

SHRUB PLANTING
NOT TO SCALE



NOTES

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR BRANCHES AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT (SEE STAKING DETAILS).

TREE PLANTING
NOT TO SCALE

SITE INFORMATION:

ADDRESS: 1 PLAZA DRIVE, HILTON HEAD ISLAND, SOUTH CAROLINA 29926

PROPERTY AREA: ±1.37 ACRES

PROPERTY ZONING: LC - LIGHT COMMERCIAL (AIRPORT OVERLAY DISTRICT)

BUILDING SETBACKS: FRONT: 10'
SIDE: 20'
REAR: 20'

LANDSCAPE SETBACK: FRONT: 10'
SIDE: 10'
REAR: 0'

LANDSCAPE NOTES:

- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE SODDED.
- ALL PLANT BEDS SHALL HAVE 3" OF BROWN WOOD MULCH AS REQUIRED.
- ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING AS REQUIRED.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH AFTER CONSTRUCTION HAS COMPLETED.
- NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
- SEE DETAILS ON THIS SHEET FOR SHRUB AND TREE INSTALLATION.
- TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT
- AN UNDERGROUND IRRIGATION SYSTEM, SHALL BE INSTALLED AND SHALL COMPLY WITH ALL TOWN OF HILTON HEAD ISLAND CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.
- CONTRACTOR TO INSTALL LANDSCAPING AROUND SIGN IN ACCORDANCE WITH APPROVED SIGNAGE PACKAGE.

IRRIGATION NOTES:

- ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
- A SEPARATE METER AND BACKFLOW PREVENTOR WILL BE REQUIRED (SEE UTILITY PLAN).

LANDSCAPE GRADING NOTES:

- CONTRACTOR TO GRADE ALL AREAS ON THE LANDSCAPE PLAN, INCLUDING RIGHT-OF-WAY, HATCHED FOR SEEDING & SODDING.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL SOIL TO A DEPTH OF 4" MINIMUM.
- REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

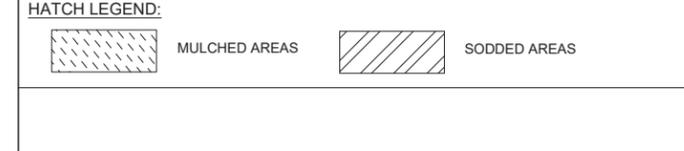
LAWN SEEDING AND SODDING NOTES:

- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
- AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
- SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/3 TO 1/2 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
- STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

LANDSCAPE CALCULATIONS:

TYPE A - OPTION 2 BUFFER = 490 LF
PER 100FT: 2 OVERSTORY TREES (10 REQUIRED; 6 EXISTING, 4 PROPOSED), 4 UNDERSTORY TREES (20 REQUIRED; 21 PROPOSED), 10 EVERGREEN SHRUBS (49 REQUIRED; >49 PROVIDED)

SITE TREES REQUIRED = 38"
1. 12" - CAT 1 PROVIDED: 4 QV (10"); 8 IOS (8")
2. 8" - CAT 2 PROVIDED: 2 QN (4"); 2 NS (4")
3. 12" - CAT 3 PROVIDED: 4 SP (24")
4. 1" - CAT 4 PROVIDED: 7 LIS (7")



DATE	
NO.	
REVISION DESCRIPTION	

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348 Marge Drive, Suite 220
Warner Robins, GA 31088
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PRELIMINARY LANDSCAPE PLAN

TIDAL WAVE AUTO SPA

1 PLAZA DRIVE, HILTON HEAD ISLAND, SC 29926

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

Prepared for: SHJ CONSTRUCTION GROUP

PROJECT NO.: 20-6459
DRAWN BY: C.JM
DESIGNED BY: RAP
SURVEYED BY: DGA
SURVEY DATE: 1/29/2021
CHECKED BY: BHB
SCALE: 1" = 20'
DATE: 6/24/2021

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OF 23

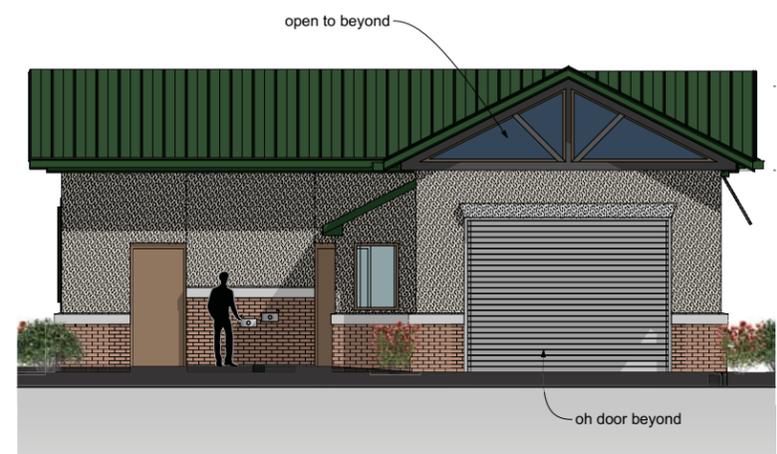
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1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH SIDE ELEVATION - ENTRY
SCALE: 1/4" = 1'-0"



4 SOUTH SIDE ELEVATION - EXIT
SCALE: 1/4" = 1'-0"

M. TODD ALBRITTON
ARCHITECT
202 EAST MAIN STREET
THOMASTON, GEORGIA
30286
PH 770-550-3275
mtoddalbrintonarchitect@gmail.com

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**NEW TIDAL WAVE
AUTO SPA**
1 PLAZA DRIVE
HILTON HEAD, SOUTH
CAROLINA
29926

OWNER:
TIDAL WAVE AUTO SPA
EAST THOMPSON STREET
THOMASTON, GEORGIA
30286

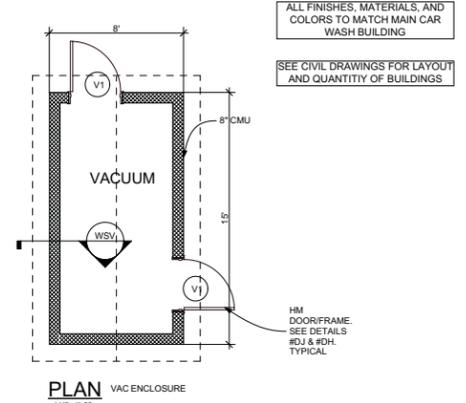
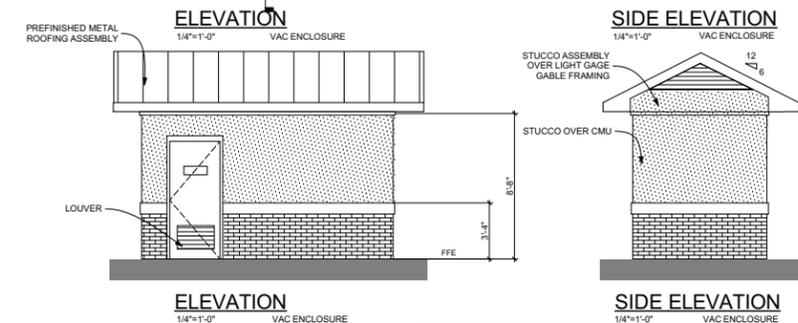
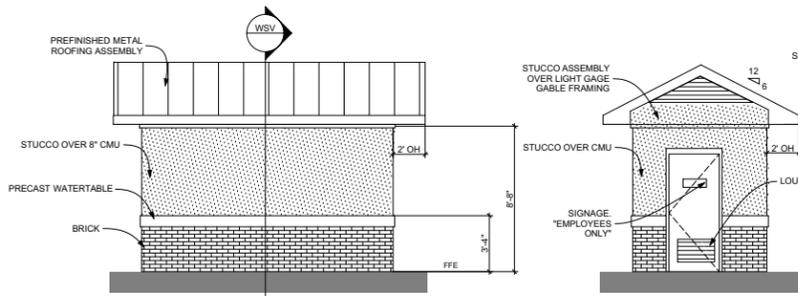


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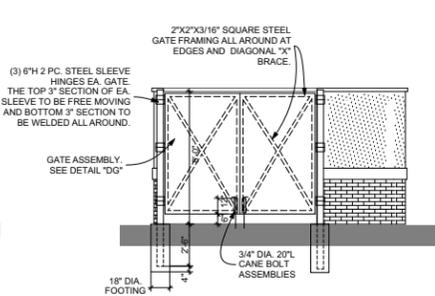
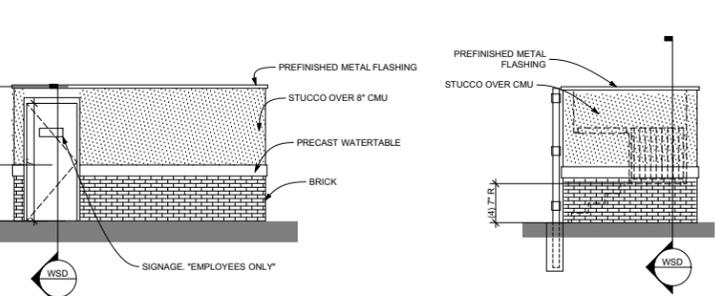
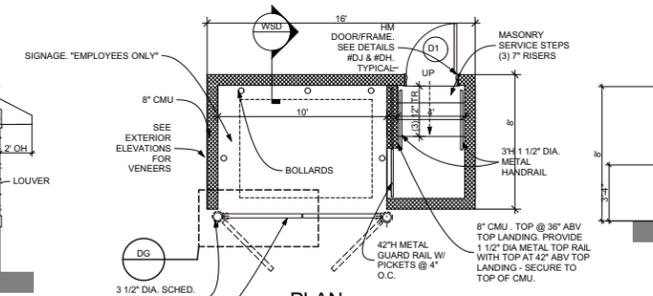
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PRELIMINARY

PROJECT DATE: #####
PROJECT NUMBER: ##
DRAWN BY: Name

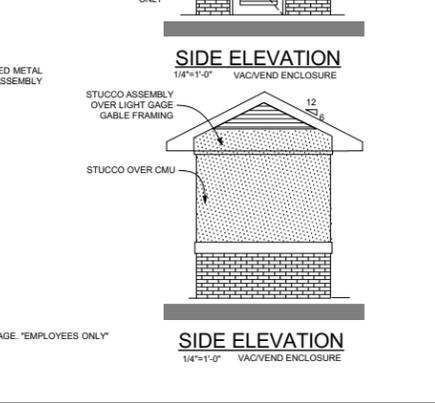
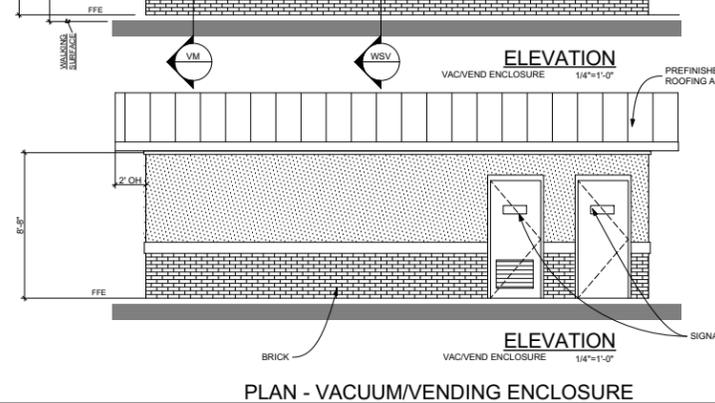
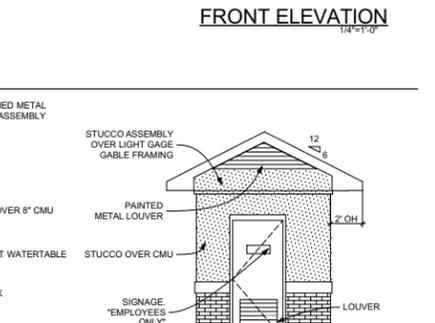
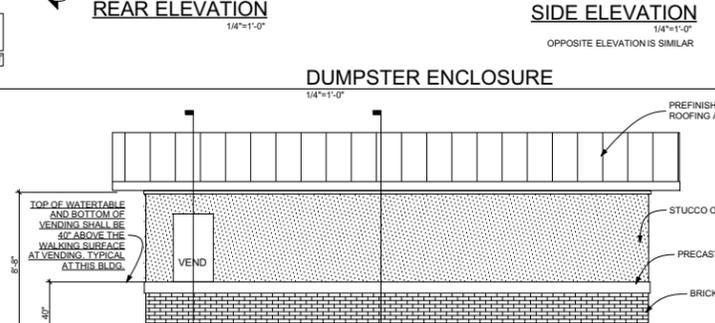
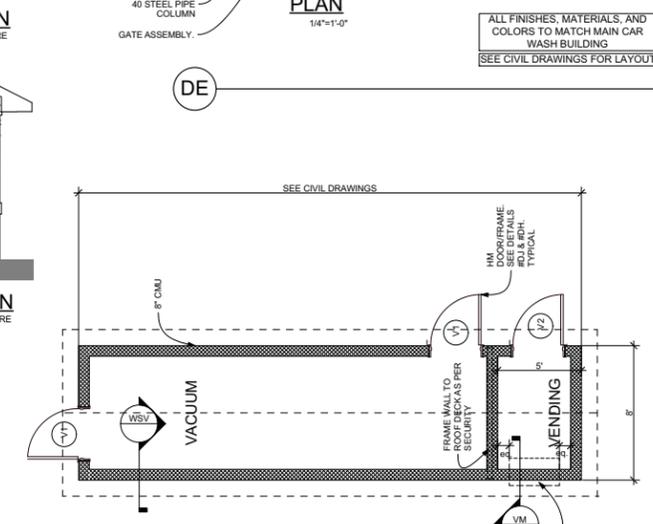
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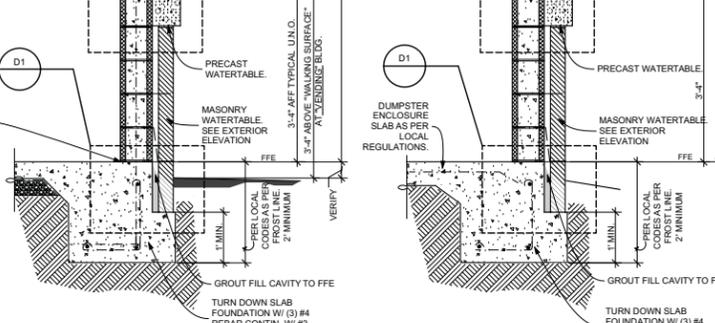
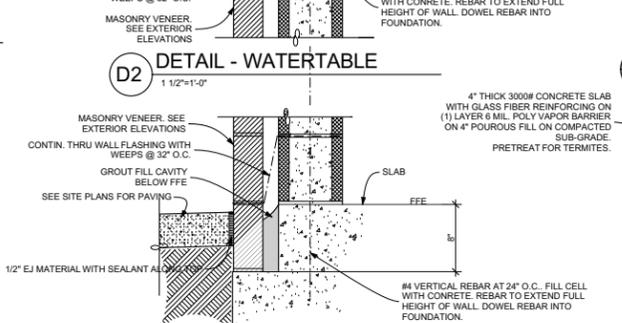
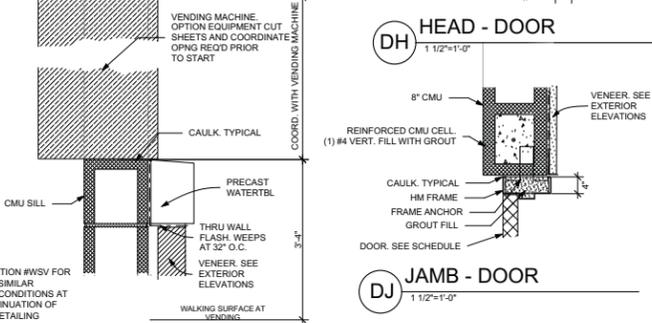
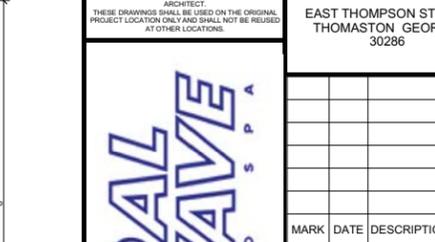
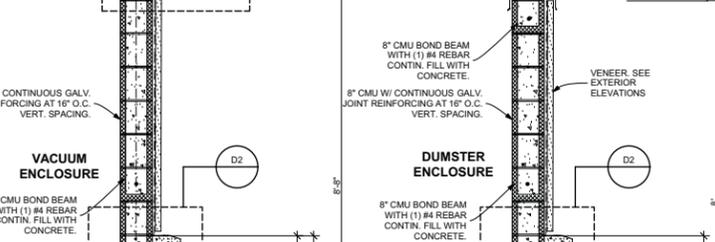
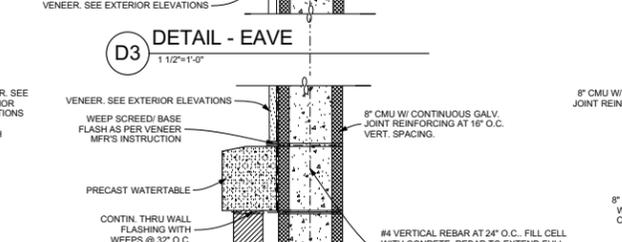
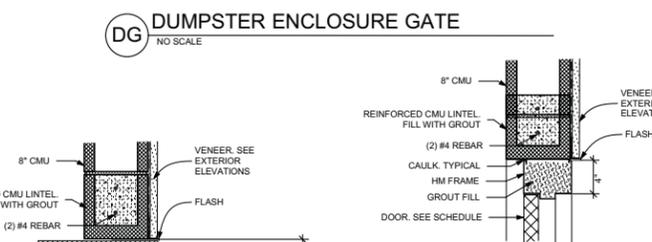
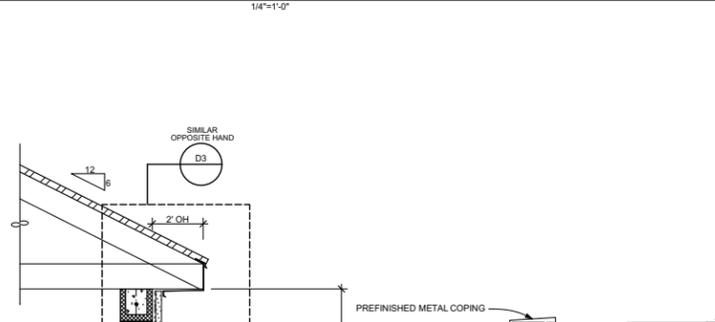
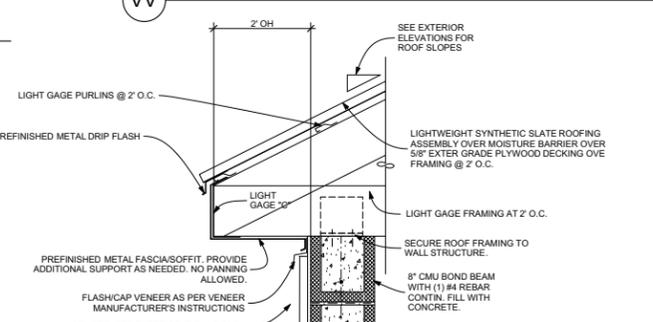
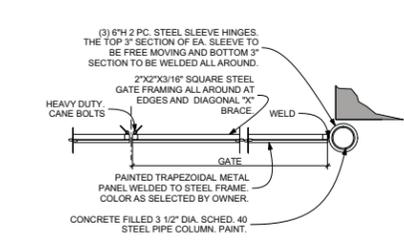
VE PLAN - VACUUM ENCLOSURE
1/4"=1'-0"



DUMPSTER ENCLOSURE
1/4"=1'-0"



PLAN - VACUUM/VENDING ENCLOSURE
1/4"=1'-0"



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mtoddalbrintonarchitect@gmail.com

NEW TIDAL WAVE AUTO SPA
1 PLAZA DRIVE
HILTON HEAD, SOUTH CAROLINA 29926

OWNER:
TIDAL WAVE AUTO SPA
EAST THOMPSON STREET
THOMASTON GEORGIA 30286

MARK	DATE	DESCRIPTION

SHEET TITLE
AUXILIARY STRUCTURES

PROJECT DATE: #####
PROJECT NUMBER: ##
DRAWN BY: Name

PR.5



2 VIEW FROM EAST SIDE
NOT TO SCALE



1 BIRD'S EYE VIEW - OVERALL SITE
NOT TO SCALE

M. TODD ALBRITTON
ARCHITECT
□ □ □
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**NEW TIDAL WAVE
AUTO SPA**
1 PLAZA DRIVE
HILTON HEAD,
SOUTH
CAROLINA
29926

OWNER:
**TIDAL WAVE AUTO
SPA**
EAST THOMPSON STREET
THOMASTON GEORGIA
30286

MARK	DATE	DESCRIPTION

SHEET TITLE
PERSPECTIVE VIEWS
PROJECT DATE: #####
PROJECT NUMBER: ##
DRAWN BY: Name
PR.6

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Tidal Wave Auto Spa

DRB#: DRB-001782-2021

DATE: 07/29/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: (for review and approval by Staff and one DRB member)

1. Study the rooflines to add interest.
2. Reduce the size of the windows on the Plaza Drive elevation to be in proportion with the building facade.
3. Revise the landscaping to provide a double staggered row of 12' tall Dahoon Holly to screen the end of the carwash tunnel from Hwy. 278.
4. Add plan heights to the plant schedule.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Please provide a physical color board for approval during the meeting.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See below.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per the Conceptual Approval Conditions: "Study the rooflines to add interest. Consider raising sections of the roof on each building." Add interest to the rooflines. Consider a faux clerestory or detail on the roof.
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per the Conceptual Approval Conditions: "Reduce the size of the windows on the Plaza Drive elevation to be in proportion with the building facade." The proposed window are still too large.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Revise the landscaping to provide a double staggered row of Dahoon Holly to screen the end of the carwash tunnel from Hwy. 278. Specify a height of 12' min. in the plant schedule. Staff is concern the proposed Savannah Holly will be too small in the near term and too big in the long term.

MISC COMMENTS/QUESTIONS

The plant schedule must include plant heights (at installation) to confirm compliance with LMO requirements.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Storage Facility for HC Gray Prop. Project Address: 1014 William Hilton Pkwy.
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 0 0 2 5 3 0 0 0 0
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

7.23.21

DATE



July 23, 2021

Town of Hilton Head Island Design Review Board
One Town Center Court
Hilton Head Island, SC 29928

Project Narrative for a Storage facility for HC Gray Properties

The attached project is a renovation of the old Grayco building into a conditioned storage facility within the existing footprint. The interior of the building will be completely gutted and fitted with prefab storage units.

The exterior of the building will have the following changes:

Front Elevation

- Replace the rotted wood upper portion of the structure with a new synthetic wood rainscreen.
- Repair and repaint all of the stucco at the lower level.
- Add a cement stucco finish, a new hip roof structure, and a new Bahama shutter on the existing entry element.
- Demo all of the existing storefront windows and replace with new storefront windows to align with the interior storage units.

Right Side Elevation

- Replace the rotted wood upper portion of the structure with a cement stucco finish.
- Repair and repaint all of the stucco at the lower level.
- Place opaque tint on the existing windows.

Rear Elevation

- Replace the rotted wood upper portion of the structure with a cement stucco finish.
- Remove existing shed roof structure.
- Remove existing exit and garage doors. These will be replaced with cement board panel details.
- Add (3) new exit doors.

Left Side Elevation

- Replace the rotted wood upper portion of the structure with a cement stucco finish.

Thank you for your time and consideration of this project.

A handwritten signature in blue ink, appearing to read 'Timothy C. Probst', with a long horizontal flourish extending to the right.

Timothy C. Probst, AIA

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- Lumen packages suitable for ceiling heights ranging from 8' to in excess of 100'
- Efficacies up to 124 lm/w
- Superior-quality white LED light output using Chip on Board technology
- Patented Hyperbolic Reflector (U.S. Patent No. 10,670,227 B2)

PRODUCT SPECIFICATIONS

Atrius™ - Ready Product: Select models of the L-series product line deliver valuable data and connectivity to the Atrius IoT location based platform services. For more information, please refer to www.acuitybrands.com/Atrius.

OPTICS

Hyperbolic: Patented hyperbolic shape (U.S. Patent No. 10,670,227 B2) optimized for small, directional LED source, maximizes fixture efficiency while creating the "Silent Ceiling" appearance by reducing lamp image and aperture brightness • Geometry of hyperbolic curve provides unique aperture appearance and smoother light distribution

Parabolic/Lens: Computer-optimized parabolic reflector with frosted convex lens regressed into cone provides uniform distribution with no striations

Wall Wash: Available in Hyperbolic and Parabolic. Both providing uniform distributions with no striations

Baffle: White or black painted deep multi-groove aluminum baffle insert with integral white painted flange and frosted convex glass lens

ELECTRICAL

LED Light Engine: Compact light source delivers uniform illumination without pixilation, enabling excellent beam control • 2SDCM (5000K within 3SDCM) • 80, 90 & 97 CRI
 • Replaceable light engine with push in wire connections mounts directly to heat sink and is easily replaceable

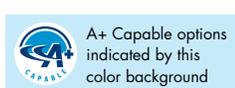
Passive Cooling: Aluminum heat sink integrated directly with housing provides superior thermal management to ensure the long life of LED

LED Driver: Power factor >0.9 • Easily replaceable from above or below the ceiling

Dimming: Dimmable via 0-10V protocol standard • Optional drivers available for use with eldoLED, Lutron EcoSystem, 2-wire dimmers, DMX, or DALI • For a list of compatible dimmers, see [LED-DIM](#).

Life: Rated for 60,000 hours at 70% lumen maintenance • Available with optional Lumen Depreciation Indicator, LDI option (U.S. Patent No. 9,119,269)

Emergency Battery Pack (Optional) output: Provides a minimum of 600 (BR & BRT20C), or 1000 (HBR) lumens for a minimum duration of 90 minutes • BRT20C option is CEC Title 20 compliant



ORDERING INFORMATION Complete Catalog# Example Includes (Rough-In, option, reflector, accessory) Ordering Example: L6 08LM 35K MVOLT G4 80CRI ZT LDI HW CS PF HBTL

ROUGH-IN

Series	Light Engine	Color Temperature	Voltage	Generation	CRI	Driver	Rough-In Options	
L6	6" L-Series New Construction Downlight	08LM	27K 2700K	G4	80CRI	DALI DALI Control Dimming	F3 ⁹ Fuse and Fuse Holder	
	13LM	30K 3000K	277		90CRI	DMXR DMX/RDM Driver	CP ¹⁰ Chicago Plenum	
	15LM	35K 3500K	347		97CRI ²	EDAB ^{4,23} eldoLED SOLOdrive DALI, Logarithmic dimming to <1%	LDI Lumen Depreciation Indicator	
	LRM6 ¹⁴	6" L-Series Remodel Rough-in	17LM		40K 4000K	MVOLT ¹ (120-277)	EDXB ^{4,6} eldoLED POWERdrive DMX/RDM w/ Phoenix Connectors. Dimming to <1%	BR ^{3,4,13} 600 Lumen Emergency Battery Pack w/Remote Test Switch
		23LM	50K 5000K			EZ10 ^{4,23} eldoLED 0-10V ECOdrive. Linear dimming to 10% min.	BRT20C ^{3,4,13} 600 Lumen Emergency Battery Pack w/ Remote Test Switch, CEC Title 20 Compliant	
		28LM				EZ1 ^{4,23} eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	HBR ^{3,4,13} 1000 Lumen Emergency Battery Pack w/Remote Test Switch	
		33LM				EZB ^{4,23} eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%	NL ^{9,11} nLight® Dimming Pack Controls	
		40LM				FD ^{5,7} Forward or Reverse Phase Dimming Driver	NLER ^{9,11} nLight® dimming pack controls. nLER controls fixtures on emergency circuit	
		45LM				FDL ^{7,8,18} Forward Phase Dimming Lutron Driver	NLTAIR ^{23,11,21} nLight® AIR Dimming Pack Wireless Controls	
		50LM				ECOD ^{8,18,24} Lutron Ecosystem 2-Wire Dimming Driver	NLTAIRER ^{23,11,21} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit	
		55LM				ZT 0-10V Dimming to 10% min	AE2CD ^{20,21} Atrius™ - Ready, VLC Commissioning, Radio (BT Positioning)	
		60LM				GZ1 ⁵ 0-10V Dimming to 1% min		
		65LM						
	70LM							
75LM								
80LM								
85LM								
90LM								

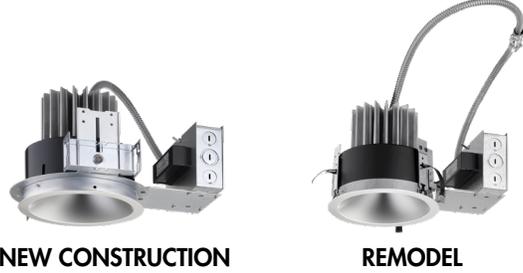
J7.1.1G4

800 TO 9000 LUMEN 6" LED NEW CONSTRUCTION/REMODEL/FLANGELESS HYPERBOLIC / PARABOLIC / WALLWASH L6 / LRM6 SERIES

Type	Cat. No.
_____	_____
Project:	_____
Notes:	_____

Buy American: This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

Warranty: 5 years when used in accordance with manufacturing guidelines. Specifications subject to change without notice.



REFLECTOR To order reflector separately, use "L6" prefix before reflector option values. Ex: L6 HW CS PF

Trim Style	Finish	Trim Options	Mounting
BAF^{12,14} Baffle HM¹³ Hyperbolic Medium HN¹³ Hyperbolic Narrow HW¹³ Hyperbolic Wide HWS¹³ Hyperbolic Single Wall Wash P Parabolic NPR^{14,22} Parabolic Narrow WPR^{14,22} Parabolic Wide WC¹³ Corner Wall Wash WD¹³ Double Wall Wash WS¹³ Single Wall Wash	BD Black Diffuse BL Black, White Flange (Baffle only) BS Black Specular BZD Bronze Diffuse BZS Bronze Specular CD Clear Diffuse CS Clear Specular CSS Clear Semi-Specular GD Gold Diffuse GS Gold Specular PTD Pewter Diffuse PTS Pewter Specular WH White, White Flange WTD Wheat Diffuse WTS Wheat Specular	PF¹⁶ White Flange WET Wet Location	Blank Flanged FM^{13,15,17} Flangeless, drywall ceilings only

Accessories ¹⁹			
IFMA6^{15,19}	6" Flangeless Adapter for Drywall Ceilings Only	INSA6/05^{14,19}	6" Sloped Ceiling Adapter, 5° Angle
HB28¹⁹	28" C-Channel Bar Hangers, Pair	INSA6/10^{14,19}	6" Sloped Ceiling Adapter, 10° Angle
HB52¹⁹	52" C-Channel Bar Hangers, Pair	INSA6/15^{14,19}	6" Sloped Ceiling Adapter, 15° Angle
HBTL¹⁹	25" Tru-Lock Grid Ceiling Bar Hanger, Pair	INSA6/20^{14,19}	6" Sloped Ceiling Adapter, 20° Angle
LB27¹⁹	27" Linear Bar Hangers, Pair	INSA6/25^{14,19}	6" Sloped Ceiling Adapter, 25° Angle
		INSA6/30^{14,19}	6" Sloped Ceiling Adapter, 30° Angle

Ordering Notes

- 1 MVOLT not available for 85LM and up.
- 2 2700K & 3000K only.
- 3 Not available with 347V.
- 4 Not compatible with LDI.
- 5 Not available for 60LM and up.
- 6 Not available for 40LM and 55LM and up.
- 7 120V only.
- 8 Not available for 50LM and up.
- 9 Specify voltage.
- 10 See CP notes in following table for compatibility with other options.
- 11 Only compatible with the following driver options: EZ1, EZB, EZ10, GZ1; ZT (for 60LM - 90LM only).
- 12 Only available with BL or WH trim finish; white flange standard.
- 13 Not compatible with WET.
- 14 Not compatible with FM.
- 15 IFMA6 required for FM.
- 16 PF not available with BL or WH finishes. When specifying BL or WH finishes, flange is always painted white.
- 17 When ordering rough-in and trim separately FM designator must be applied to both items.
- 18 Not compatible with BR, BRT20C, HBR, or LDI.
- 19 Not compatible with LRM6.
- 20 See AE2CD notes in following table for compatibility with other options.
- 21 NLTAIR2, NLTAIRER2, AE2CD not recommended for metal ceiling installations.
- 22 NPR, WPR available with CS, CSS, CD, WH finishes only.
- 23 Not available for 85LM and up.
- 24 ECOD with MVOLT only available for 08LM - 17LM.

CP Notes

CP with MVOLT only available for 08LM - 17LM.
 BR, BRT20C, HBR, EDXB, NL, NLER, NLTAIR2, NLTAIRER2, AE2CD not compatible with CP.
 DALI, DMXR, ZT not available for CP with FM at 85LM and up.

AE2CD Notes

Not available with 347 for LRM6 series.
 Only compatible with EZ1 driver for 55LM and below.
 CP, BR, BRT20C, HBR, NL, NLER, NLTAIR2, NLTAIRER2 not compatible with AE2CD.
 Recommended ceiling height of 30' and under; not intended for use on ceilings greater than 40' or metal ceiling installations.

The Bluetooth® word mark and logos are registered trademarks owned by Bluetooth SIG, Inc. and any use of such marks by Acuity Brands Lighting is under license.

PRODUCT SPECIFICATIONS (cont.)

MECHANICAL

New Construction Housing: Low profile, universal housing design installs in suspended grid, plaster or drywall • Integral heat sink conducts heat away from LED light engine • Driver is accessible from above and below ceiling and can be upgraded to accommodate future technology improvements

Mounting Frame: Heavy gauge steel lower housing ring accommodates ceilings up to 2" thick • For thicker ceilings; consult factory

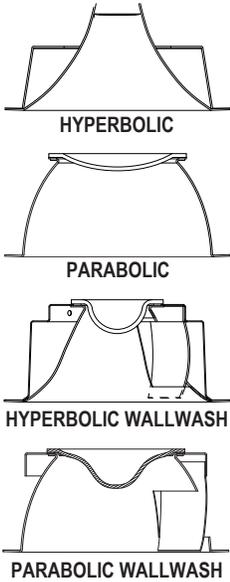
Mounting Bracket: New Construction mounting brackets have 3" vertical adjustment and accepts most commercial bar hangers, including our proprietary Tru-Lock bar hangers • Our one-piece Tru-Lock bar hangers have integral T-bar locking screws and alignment notches for locating and locking fixture in the center or 1/4" tile increments

Junction Box: Over size 4" x 6" galvanized steel junction box with (6) 1/2" (2) 3/4" knockouts facilitate quick wiring • New Construction junction box rated for four (4) No. 12 AWG 90° C branch circuit conductors (2-in, 2-out)

Flangeless Adapter: Must specify IFMA6 when flangeless, "FM" option, is specified. Suitable for drywall installations only.

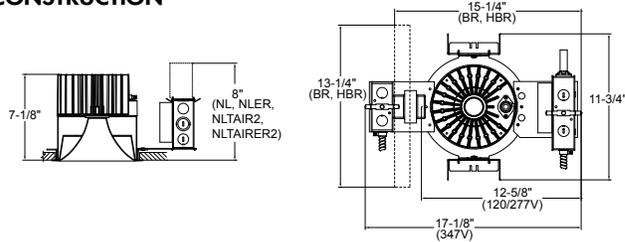
Remodel Housing: Housing installs from below ceiling in applications where above ceiling access is not available • Secured in place by factory installed remodel springs • Remodel springs accommodate ceilings from 1/2" to 1-1/8" thick • Integral heat sink conducts heat away from LED light engine • Driver is accessible from below the ceiling and can be upgraded to accommodate future technology improvements.

TRIMS:

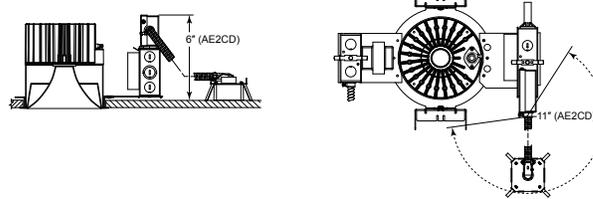


APERTURE: 6-1/8" Dia.
 CEILING CUTOUT: 6-7/8" Dia.
 OVERLAP TRIM: 7-3/8" Dia.

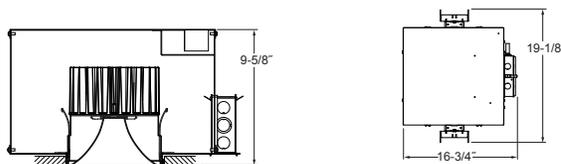
NEW CONSTRUCTION



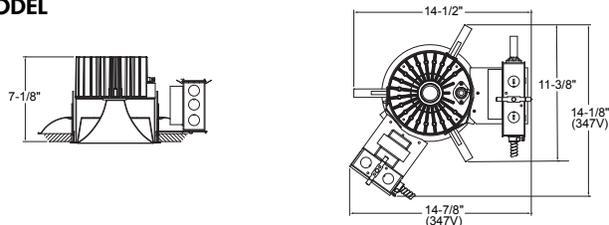
Atrius Enabled



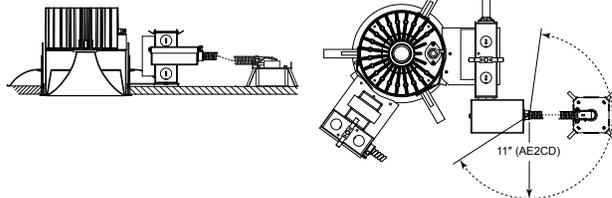
Flangeless Chicago Plenum



REMODEL



Atrius Enabled



ENERGY STAR® certified

	PRODUCT#	FIXTURE CONFIGURATIONS = ENERGY STAR
	(S) (WW)LM (XX)K (V) G4 (YY)CRI (UU) (ZZ) (CC)	Series: S = L6, LRM6 Lumen Package: WW = 08, 13, 15, 17, 23, 28, 33, 40, 45, 55, 65, 75, 80, 85, 90 CCT: XX = 27, 30, 35, 40, 50 Voltage: V = MVOLT, 120, 277 CRI: YY = 80, 90, 97 Trim: UU = FD, DALI, EZ1, EZ10, EZB, ZI, GZ1 Trim Type: ZZ = HN, HM, HW, P, NPR, WPR Trim Color/Finish: CC = CS, CSS, CD

LABELS AND LISTINGS

• UL & cUL listed for feed through and damp locations • UL spacing requirement for 40LM and above: minimum of 4' between fixture centers, 3" over-head clearance, 2' from fixture center to side wall • RoHS compliant • EMI complies with FCC 47, Part 15, Class A • ENERGY STAR® certified, see table for designated products • I.B.E.W. Union made • ARRA Compliant 

PERFORMANCE

LIGHT ENGINE	08LM	13LM	15LM	17LM	23LM	28LM	33LM	40LM	45LM	50LM	55LM	60LM	65LM	70LM	75LM	80LM	85LM	90LM	
120V (50/60HZ)																			
INPUT CURRENT	0.063	0.098	0.115	0.132	0.197	0.238	0.280	0.351	0.345	0.381	0.427	0.439	0.483	0.541	0.573	0.607	0.656	0.710	
INPUT WATTAGE	7.53	11.74	13.66	15.82	23.52	28.46	33.62	42.14	41.41	45.54	51.08	52.51	58.11	64.59	68.84	72.83	78.87	85.03	
THD%	6.42	5.19	4.61	3.86	5.09	5.46	4.43	4.53	6.03	6.03	6.23	6.44	6.54	7.32	7.58	7.75	8.37	8.05	
POWER FACTOR	0.993	0.993	0.992	0.994	0.994	0.995	0.997	0.998	0.996	0.996	0.996	0.996	0.996	0.995	0.995	0.996	0.996	0.996	
277V (50/60HZ)																			
INPUT CURRENT	0.031	0.048	0.056	0.063	0.093	0.108	0.131	0.158	0.161	0.175	0.195	0.202	0.221	0.251	0.265	0.268	0.290	0.310	
INPUT WATTAGE	7.87	11.84	13.81	15.89	23.65	28.19	33.83	41.68	41.74	45.80	51.02	52.35	57.64	64.22	68.40	71.29	77.27	83.16	
THD%	12.00	11.62	11.31	11.34	9.93	9.04	10.48	8.79	9.15	8.07	9.85	11.12	10.97	13.07	12.83	12.96	13.53	12.56	
POWER FACTOR	0.904	0.885	0.887	0.907	0.918	0.943	0.932	0.953	0.934	0.943	0.944	0.933	0.942	0.921	0.931	0.957	0.962	0.965	
HYPERBOLIC REFLECTOR: L6 HW CS (35K 80CRI)																			
DELIVERED LUMENS (L6 HW CS)	842	1,404	1,622	1,847	2,486	2,998	3,489	4,242	4,511	4,936	5,466	5,677	6,215	6,803	7,123	7,556	8,342	8,782	
EFFICACY (LPW)	112	120	119	117	106	105	104	101	109	108	107	108	107	105	103	104	106	103	
PARABOLIC REFLECTOR: L6 P CS (35K 80CRI)																			
DELIVERED LUMENS (L6 P CS)	666	1,111	1,284	1,462	1,968	2,373	2,762	3,358	3,657	4,002	4,431	4,602	5,038	5,515	5,774	6,125	6,762	7,119	
EFFICACY (LPW)	89	95	94	92	84	83	82	80	88	88	87	88	87	85	84	84	86	84	

OPTICAL DISTRIBUTIONS

HYPERBOLIC BEAM SPREAD		
Trim	08LM - 40LM	45LM-90LM
L6 HN CS	16°	25°
L6 HN CSS	19°	30°
L6 HN CD	44°	55°
L6 HM CS	53°	60°
L6 HM CSS	53°	60°
L6 HM CD	65°	65°
L6 HW CS	71°	73°
L6 HW CSS	71°	73°
L6 HW CD	71°	73°

PARABOLIC BEAM SPREAD		
Trim	08LM - 40LM	45LM-90LM
L6 NPR CS	46°	46°
L6 NPR CSS	52°	55°
L6 NPR CD	64°	68°
L6 P CS	65°	66°
L6 P CSS	62°	63°
L6 P CD	72°	72°
L6 WPR CS	78°	78°
L6 WPR CSS	78°	78°
L6 WPR CD	78°	78°

LUMEN MULTIPLIERS

CCT	MULTIPLIER
2700K	0.90
3000K	0.96
3500K	1.00
4000K	1.01
5000K	1.04

CRI	MULTIPLIER
80CRI	1.00
90CRI	0.83
97CRI	0.77

HYPERBOLIC TRIM	MULTIPLIER
L6 HN CS	0.94
L6 HN CSS	0.89
L6 HN CD	0.81
L6 HM CS	0.98
L6 HM CSS	0.95
L6 HM CD	0.84
L6 HW CS	1.00
L6 HW CSS	0.97
L6 HW CD	0.89

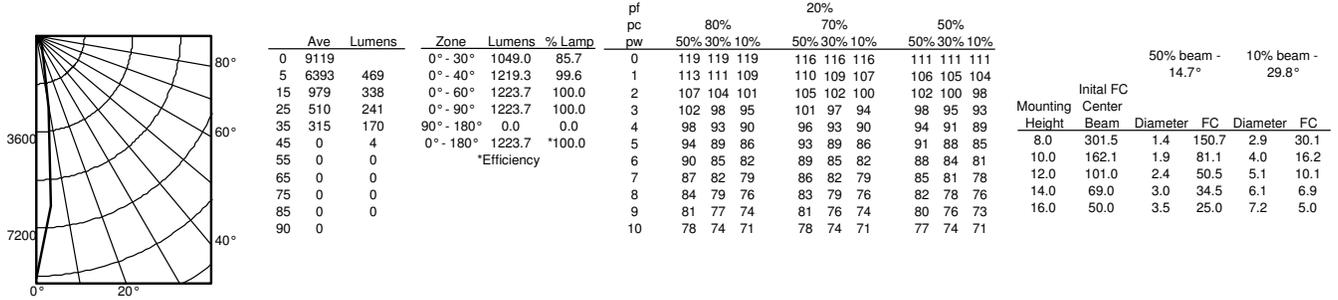
PARABOLIC TRIM	MULTIPLIER
L6 NPR CS	0.92
L6 NPR CSS	0.88
L6 NPR CD	0.86
L6 P CS	1.00
L6 P CSS	0.96
L6 P CD	0.88
L6 WPR CS	0.98
L6 WPR CSS	0.96
L6 WPR CD	0.91

Applying Lumen Multipliers to Calculate Delivered Lumens								
Base Fixture Delivered Lumens (from Performance Table)	x	CCT Multiplier	x	CRI Multiplier	x	Trim Multiplier	=	Delivered Lumens for Desired Fixture and Reflector
Hyperbolic Reflector Example: L6 23LM 30K MVOLT 90CRI G4 ZT HM CD								
2486 Lumens	x	0.96	x	0.83	x	0.84	=	1664 Lumens
Parabolic Reflector Example: L6 23LM 30K MVOLT 90CRI G4 ZT NPR CSS								
1968 Lumens	x	0.96	x	0.83	x	0.88	=	1380 Lumens

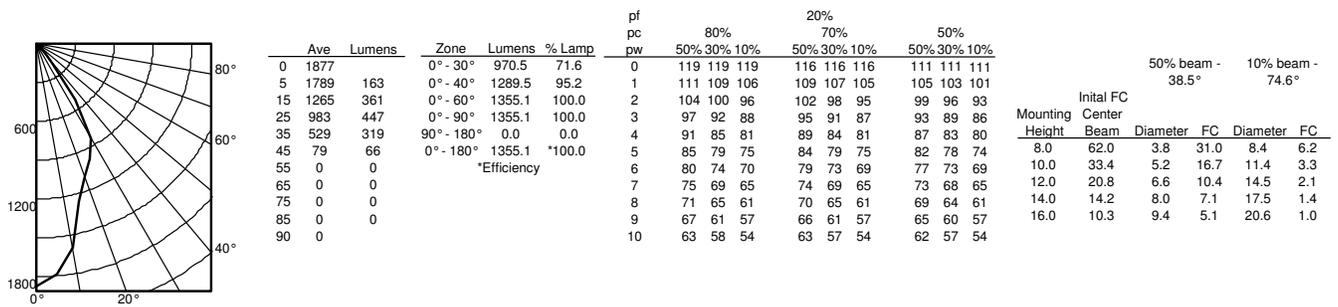
HYPERBOLIC PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

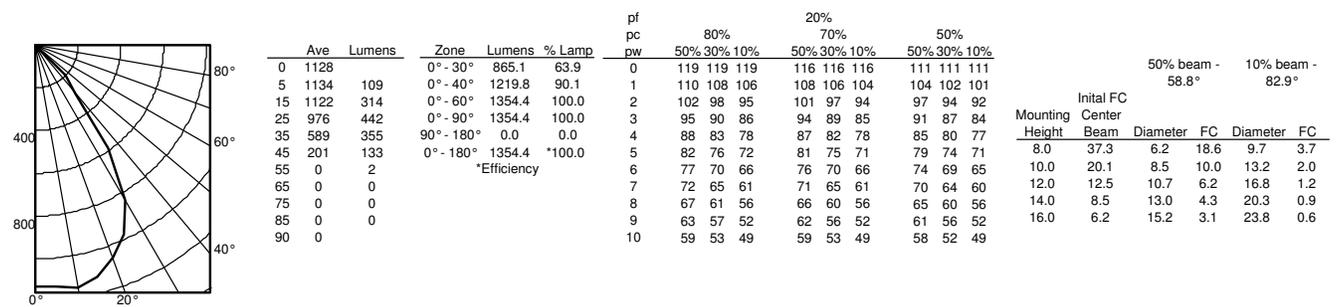
L6 13LM 35K + L6 HN CS, 3500K LEDs, input watts: 11.74, delivered lumens: 1223.7, LM/W = 104.2, Spacing Criteria: 0.3, test no. PR07172052, tested in accordance to IESNA LM-79.



L6 13LM 35K + L6 HM CS, 3500K LEDs, input watts: 11.74, delivered lumens: 1355.1, LM/W = 115.4, Spacing Criteria: 0.7, test no. PR07172088, tested in accordance to IESNA LM-79.



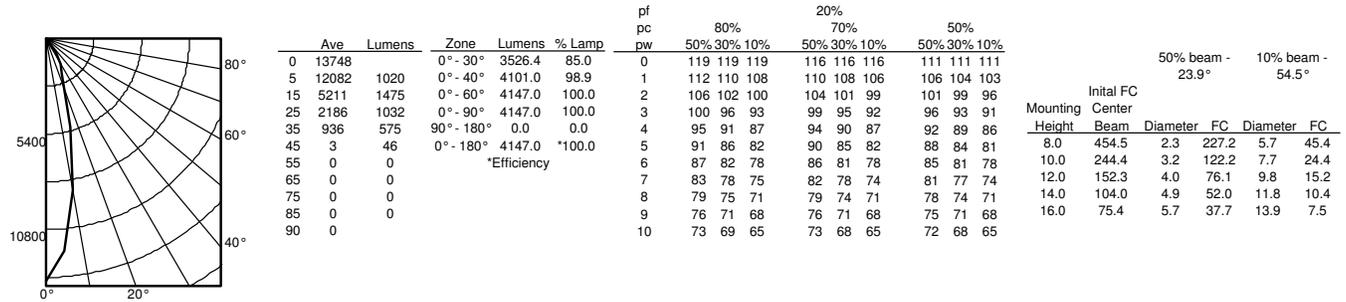
L6 13LM 35K + L6 HW CS, 3500K LEDs, input watts: 11.74, delivered lumens: 1354.4, LM/W = 115.4, Spacing Criteria: 1.1, test no. PR07172089, tested in accordance to IESNA LM-79.



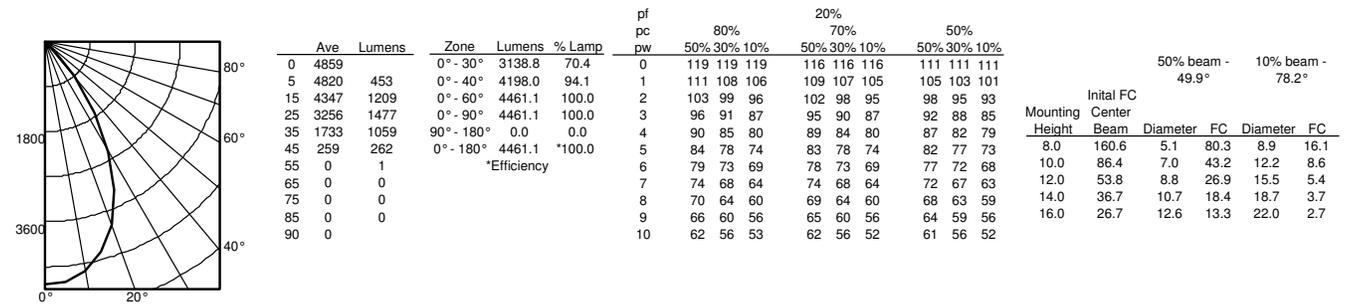
HYPERBOLIC PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

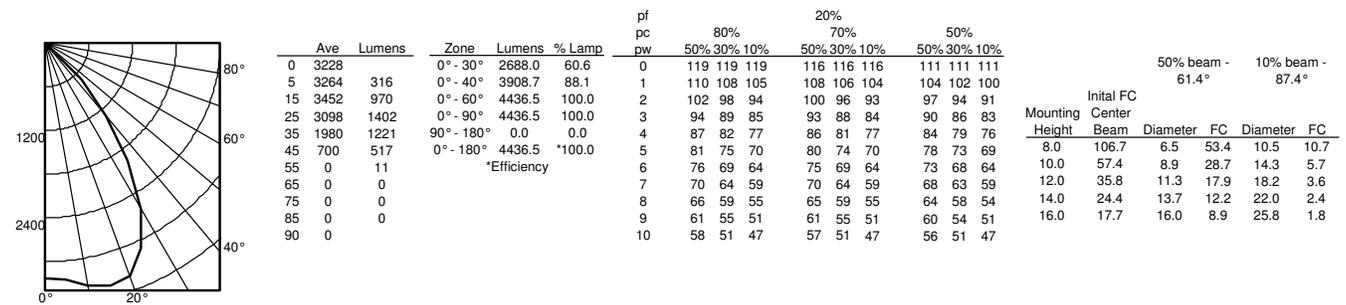
L6 45LM 35K + L6 HN CS, 3500K LEDs, input watts: 41.41, delivered lumens: 4147.0, LM/W = 100.1, Spacing Criteria: 0.4, test no. PR07172081, tested in accordance to IESNA LM-79.



L6 45LM 35K + L6 HM CS, 3500K LEDs, input watts: 41.41, delivered lumens: 4461.1, LM/W = 107.7, Spacing Criteria: 0.9, test no. PR07172082, tested in accordance to IESNA LM-79.



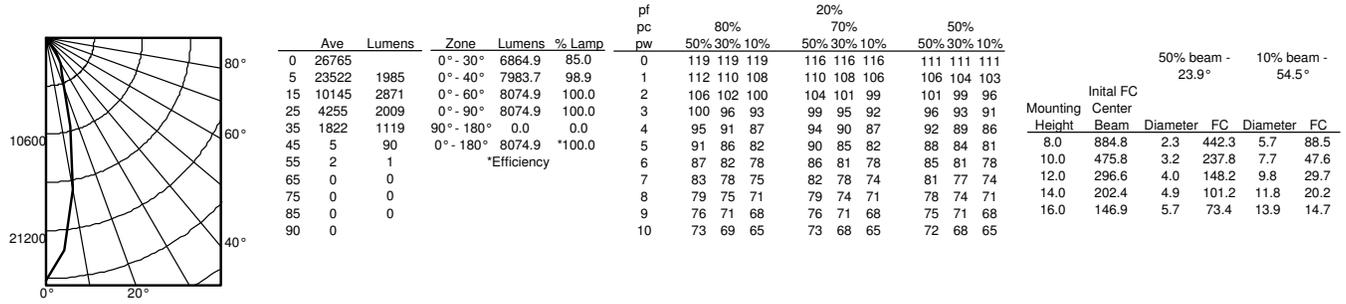
L6 45LM 35K + L6 HW CS, 3500K LEDs, input watts: 41.41, delivered lumens: 4436.5, LM/W = 107.1, Spacing Criteria: 1.2, test no. PR07172083, tested in accordance to IESNA LM-79.



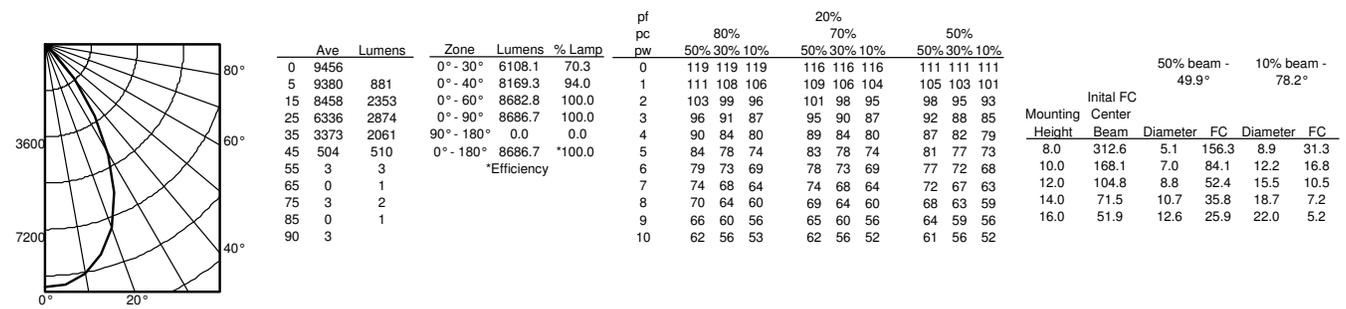
HYPERBOLIC PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

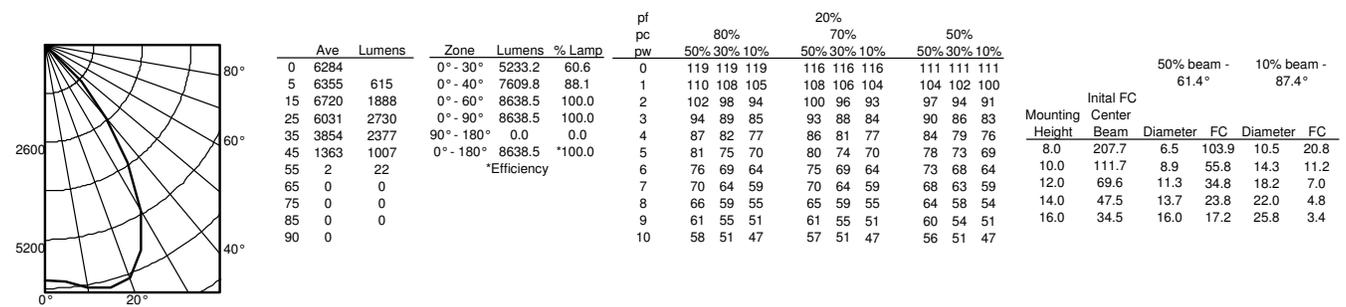
L6 90LM 35K + L6 HN CS, 3500K LEDs, input watts: 85.03, delivered lumens: 8174.9, LM/W = 95.0, Spacing Criteria: 0.4, test no. PR07172091, tested in accordance to IESNA LM-79.



L6 90LM 35K + L6 HM CS, 3500K LEDs, input watts: 85.03, delivered lumens: 8686.7, LM/W = 102.2, Spacing Criteria: 0.9, test no. PR07172092, tested in accordance to IESNA LM-79.



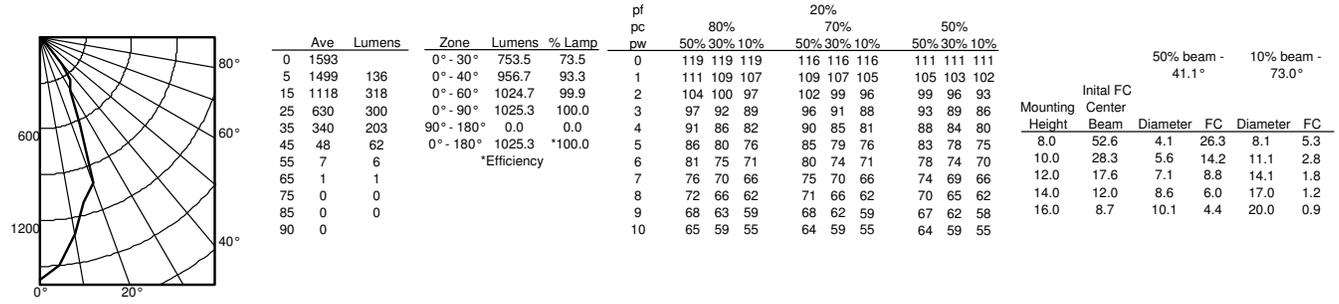
L6 90LM 35K + L6 HW CS, 3500K LEDs, input watts: 85.03, delivered lumens: 8638.5, LM/W = 101.6, Spacing Criteria: 1.2, test no. PR07172093, tested in accordance to IESNA LM-79.



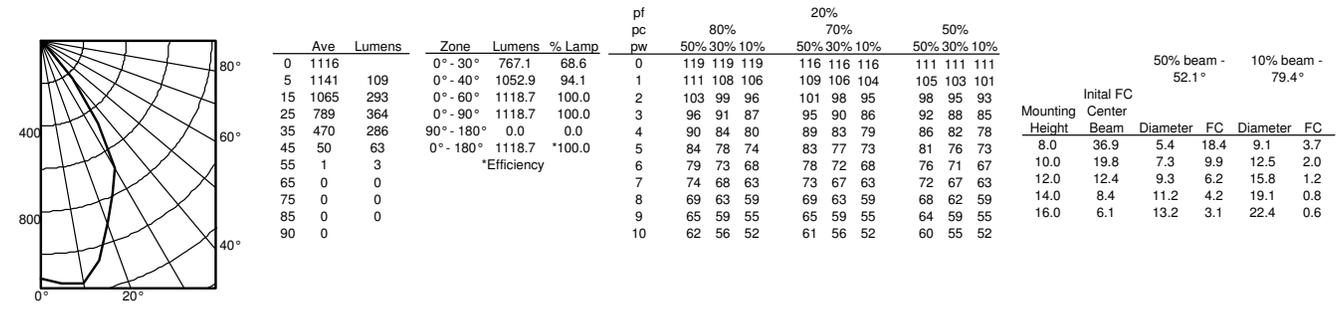
PARABOLIC PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

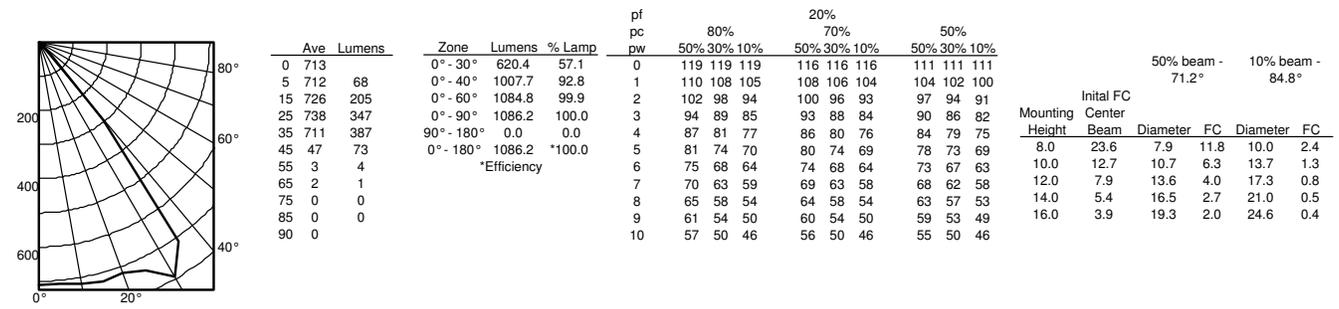
L6 13LM 35K + L6 NPR CS, 3500K LEDs, input watts: 11.74, delivered lumens: 1025.3, LM/W = 87.3, Spacing Criteria: 0.8, test no. PR11171391P8, tested in accordance to IESNA LM-79.



L6 13LM 35K + L6 P CS, 3500K LEDs, input watts: 11.74, delivered lumens: 1118.7, LM/W = 95.3, Spacing Criteria: 1.0, test no. PR07172051, tested in accordance to IESNA LM-79.



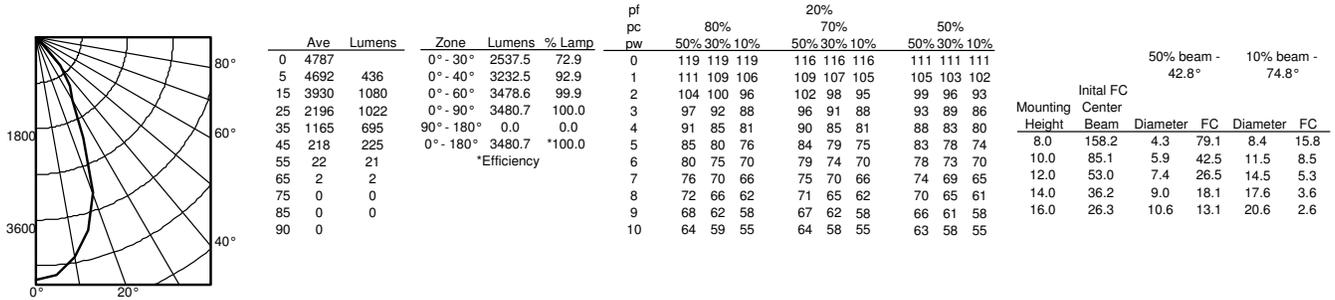
L6 13LM 35K + L6 WPR CS, 3500K LEDs, input watts: 11.74, delivered lumens: 1086.2, LM/W = 92.5, Spacing Criteria: 1.4, test no. PR11171491P8, tested in accordance to IESNA LM-79.



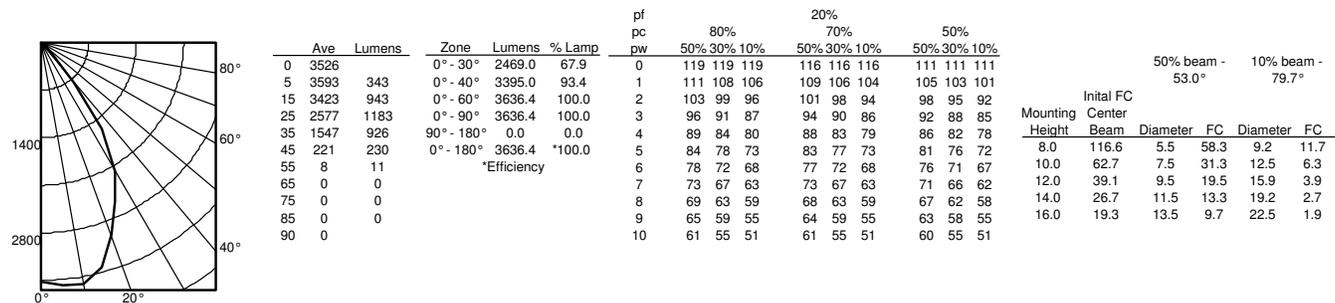
PARABOLIC PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

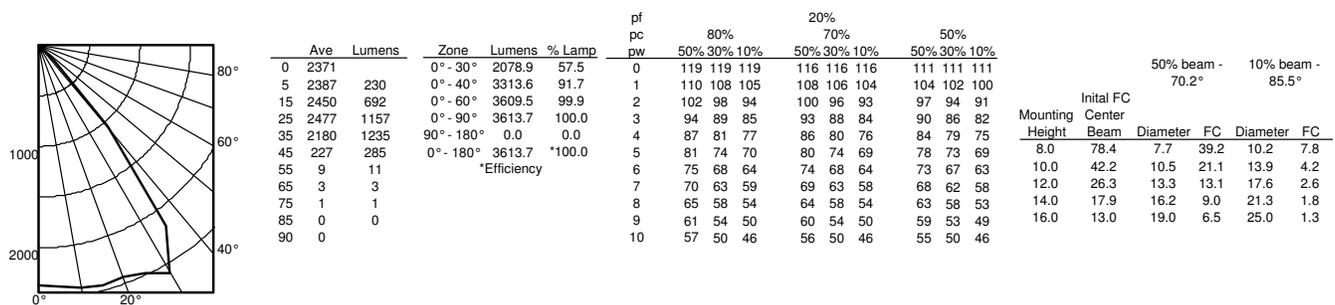
L6 45LM 35K + L6 NPR CS, 3500K LEDs, input watts: 41.41, delivered lumens: 3480.7, LM/W = 84.1, Spacing Criteria: 0.8, test no. PR11170891P3, tested in accordance to IESNA LM-79.



L6 45LM 35K + L6 P CS, 3500K LEDs, input watts: 41.41, delivered lumens: 3636.4, LM/W = 87.8, Spacing Criteria: 1.0, test no. PR07172084, tested in accordance to IESNA LM-79.



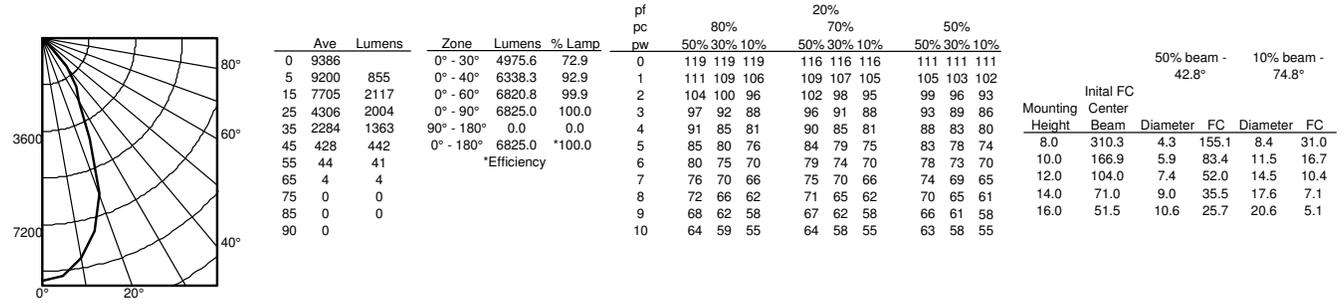
L6 45LM 35K + L6 WPR CS, 3500K LEDs, input watts: 41.41, delivered lumens: 3613.7, LM/W = 87.3, Spacing Criteria: 1.4, test no. PR11170991P3, tested in accordance to IESNA LM-79.



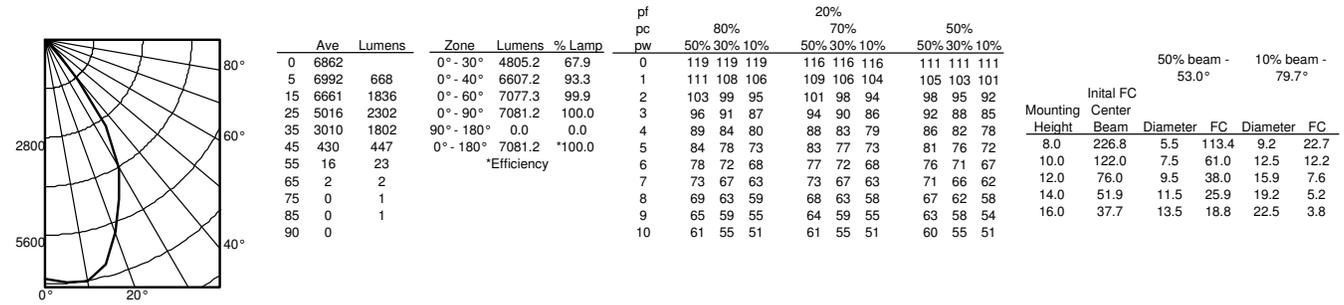
PARABOLIC PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

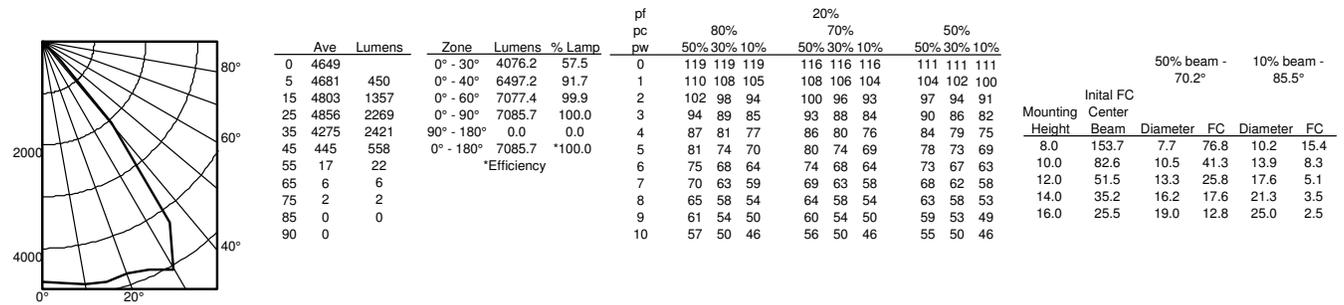
L6 90LM 35K + L6 NPR CS, 3500K LEDs, input watts: 85.03, delivered lumens: 6825, LM/W = 80.3, Spacing Criteria: 0.8, test no. PR11170891, tested in accordance to IESNA LM-79.



L6 90LM 35K + L6 P CS, 3500K LEDs, input watts: 85.03, delivered lumens: 7081.2, LM/W = 83.3, Spacing Criteria: 1.0, test no. PR07172094, tested in accordance to IESNA LM-79.



L6 90LM 35K + L6 WPR CS, 3500K LEDs, input watts: 85.03, delivered lumens: 7085.7, LM/W = 83.3, Spacing Criteria: 1.4, test no. PR11170991, tested in accordance to IESNA LM-79.



PERFORMANCE DATA

LUMINAIRES SPACED 2' FROM WALL

Catalog Number: L6 90LM 35K 120 G4 80CRI ZT; L6 HWS CS Spread: Single Wall Test #: PR07172096

Single Unit						Lamp	Multiple Units On 2' Centers*			Multiple Units On 3' Centers*			Multiple Units On 4' Centers*		
Lateral Distance From Fixture 2' From Wall						BXRC-35E1OK0-D-73-SE	Spaced 2' From Wall			Spaced 2' From Wall			Spaced 2' From Wall		
0'	1'	2'	3'	4'	5'	Distance From Ceiling	CL	CL	CL	CL	CL	CL	CL	CL	CL
90	66	31	12	6	6	1'	154	149	154	111	100	111	100	60	100
142	107	54	21	10	8	2'	257	252	257	182	166	182	157	109	157
110	86	47	22	12	9	3'	215	212	215	153	142	153	129	97	129
81	71	44	23	12	9	4'	179	182	179	124	127	124	100	90	100
50	54	40	23	14	10	5'	141	154	141	95	108	95	71	83	71
36	42	33	23	15	11	6'	119	130	119	81	94	81	60	70	60
28	34	28	21	15	11	7'	103	113	103	71	82	71	54	61	54
23	29	24	18	14	12	8'	89	99	89	62	73	62	47	51	47
18	22	19	15	12	10	9'	71	80	71	50	61	50	38	42	38
12	16	14	11	10	7	10'	53	60	53	38	47	38	28	34	28

LUMINAIRES SPACED 3' FROM WALL

Catalog Number: L6 90LM 35K 120 G4 80CRI ZT; L6 HWS CS Spread: Single Wall Test #: PR07172096

Single Unit						Lamp	Multiple Units On 3' Centers*			Multiple Units On 4' Centers*			Multiple Units On 6' Centers*		
Lateral Distance From Fixture 3' From Wall						BXRC-35E1OK0-D-73-SE	Spaced 3' From Wall			Spaced 3' From Wall			Spaced 3' From Wall		
0'	1'	2'	3'	4'	5'	Distance From Ceiling	CL	CL	CL	CL	CL	CL	CL	CL	CL
31	28	19	12	8	7	1'	54	54	54	44	42	44	34	20	34
67	58	40	25	14	10	2'	116	113	116	91	86	91	72	43	72
67	60	43	28	17	12	3'	124	123	124	97	91	97	73	51	73
57	51	38	26	17	13	4'	108	108	108	85	83	85	63	47	63
50	45	34	25	17	12	5'	98	98	98	78	75	78	57	45	57
40	40	32	24	17	13	6'	87	92	87	67	72	67	48	44	48
30	33	29	23	17	14	7'	77	86	77	57	67	57	39	42	39
24	28	25	21	16	14	8'	68	78	68	51	61	51	34	38	34
19	22	20	17	14	12	9'	56	66	56	42	51	42	29	32	29
13	17	16	12	11	10	10'	45	50	45	33	40	33	22	26	22

LUMINAIRES SPACED 4' FROM WALL

Catalog Number: L6 90LM 35K 120 G4 80CRI ZT; L6 HWS CS Spread: Single Wall Test #: PR07172096

Single Unit						Lamp	Multiple Units On 3' Centers*			Multiple Units On 4' Centers*			Multiple Units On 6' Centers*		
Lateral Distance From Fixture 4' From Wall						BXRC-35E1OK0-D-73-SE	Spaced 4' From Wall			Spaced 4' From Wall			Spaced 4' From Wall		
0'	1'	2'	3'	4'	5'	Distance From Ceiling	CL	CL	CL	CL	CL	CL	CL	CL	CL
17	16	13	10	8	7	1'	35	36	35	29	29	29	22	18	22
36	32	26	19	14	11	2'	75	74	75	60	57	60	44	37	44
45	42	34	26	19	14	3'	98	99	98	78	76	78	56	50	56
42	39	32	25	19	15	4'	95	96	95	76	74	76	54	49	54
38	35	30	24	19	15	5'	86	89	86	69	69	69	49	45	49
35	32	28	22	18	15	6'	82	83	82	65	65	65	46	43	46
33	30	26	22	17	14	7'	78	79	78	62	62	62	44	41	44
26	27	24	20	16	14	8'	70	76	70	55	59	55	38	38	38
20	21	20	17	14	13	9'	58	65	58	45	51	45	31	33	31
14	16	16	14	12	11	10'	46	50	46	35	40	35	24	29	24

*Based on minimum of five luminaires. Reflectances: 80, 50, 20. Values are rounded to nearest whole footcandle.

Fixtures tested to IES recommended standard for solid state lighting per LM-79-08. Photometric performance on a single unit represents a baseline of performance for the fixture. Results may vary in the field.

PERFORMANCE DATA

LUMINAIRES SPACED 2' FROM WALL

Catalog Number: L6 90LM 35K 120 G4 80CRI ZT; L6 WS CD Spread: Single Wall Test #: PR07172097

Single Unit						Lamp	Multiple Units On 2' Centers*			Multiple Units On 3' Centers*			Multiple Units On 4' Centers*		
Lateral Distance From Fixture 2' From Wall						BXRC-35E1OK0-D-73-SE	Spaced 2' From Wall			Spaced 2' From Wall			Spaced 2' From Wall		
0'	1'	2'	3'	4'	5'	Distance From Ceiling	CL	CL	CL	CL	CL	CL	CL	CL	CL
60	43	20	9	6	6	1'	99	96	99	74	63	74	68	38	68
118	86	42	17	9	8	2'	205	199	205	149	130	149	131	83	131
119	89	45	21	12	9	3'	213	211	213	157	139	157	136	91	136
88	79	50	24	13	10	4'	195	200	195	133	142	133	107	100	107
50	55	45	27	16	11	5'	152	161	152	102	116	102	73	92	73
36	40	34	27	18	13	6'	124	133	124	87	95	87	63	74	63
27	31	28	23	18	14	7'	104	111	104	74	82	74	57	61	57
22	25	23	19	16	14	8'	88	95	88	63	71	63	50	50	50
17	19	18	15	13	12	9'	69	75	69	51	58	51	40	40	40
11	14	13	11	11	8	10'	50	55	50	38	43	38	29	33	29

LUMINAIRES SPACED 3' FROM WALL

Catalog Number: L6 90LM 35K 120 G4 80CRI ZT; L6 WS CD Spread: Single Wall Test #: PR07172097

Single Unit						Lamp	Multiple Units On 3' Centers*			Multiple Units On 4' Centers*			Multiple Units On 6' Centers*		
Lateral Distance From Fixture 3' From Wall						BXRC-35E1OK0-D-73-SE	Spaced 3' From Wall			Spaced 3' From Wall			Spaced 3' From Wall		
0'	1'	2'	3'	4'	5'	Distance From Ceiling	CL	CL	CL	CL	CL	CL	CL	CL	CL
20	18	13	9	7	6	1'	35	35	35	29	28	29	23	13	23
51	44	29	18	11	9	2'	85	82	85	68	63	68	54	30	54
59	51	36	24	15	11	3'	103	101	103	83	76	83	63	41	63
60	52	37	24	16	12	4'	105	104	105	85	79	85	65	44	65
56	51	38	26	17	13	5'	106	107	106	83	82	83	62	46	62
43	43	36	27	19	14	6'	95	100	95	72	80	72	50	50	50
30	33	31	26	20	16	7'	83	90	83	63	71	63	40	48	40
24	27	25	23	18	16	8'	72	80	72	56	63	56	36	42	36
18	21	20	18	16	14	9'	59	67	59	46	52	46	31	33	31
13	16	15	12	13	12	10'	47	51	47	36	41	36	24	26	24

LUMINAIRES SPACED 4' FROM WALL

Catalog Number: L6 90LM 35K 120 G4 80CRI ZT; L6 WS CD Spread: Single Wall Test #: PR07172097

Single Unit						Lamp	Multiple Units On 3' Centers*			Multiple Units On 4' Centers*			Multiple Units On 6' Centers*		
Lateral Distance From Fixture 4' From Wall						BXRC-35E1OK0-D-73-SE	Spaced 4' From Wall			Spaced 4' From Wall			Spaced 4' From Wall		
0'	1'	2'	3'	4'	5'	Distance From Ceiling	CL	CL	CL	CL	CL	CL	CL	CL	CL
12	11	9	8	7	7	1'	24	25	24	20	20	20	16	13	16
27	24	19	15	11	10	2'	53	53	53	44	42	44	34	27	34
37	34	27	21	16	12	3'	77	77	77	61	60	61	46	39	46
38	35	28	22	17	14	4'	82	82	82	65	64	65	47	42	47
38	35	29	22	18	14	5'	83	84	83	66	66	66	49	43	49
39	36	30	23	18	15	6'	86	86	86	68	67	68	50	44	50
35	33	29	24	19	15	7'	85	86	85	67	68	67	47	45	47
27	28	26	22	19	16	8'	76	82	76	60	64	60	41	43	41
20	21	21	19	17	15	9'	63	69	63	49	55	49	33	36	33
14	16	17	15	14	12	10'	50	54	50	39	43	39	27	32	27

*Based on minimum of five luminaires. Reflectances: 80, 50, 20. Values are rounded to nearest whole footcandle.

Fixtures tested to IES recommended standard for solid state lighting per LM-79-08. Photometric performance on a single unit represents a baseline of performance for the fixture. Results may vary in the field.

CONTROLS

EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.

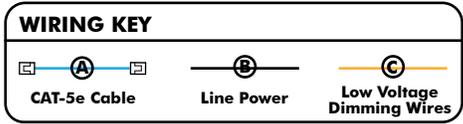
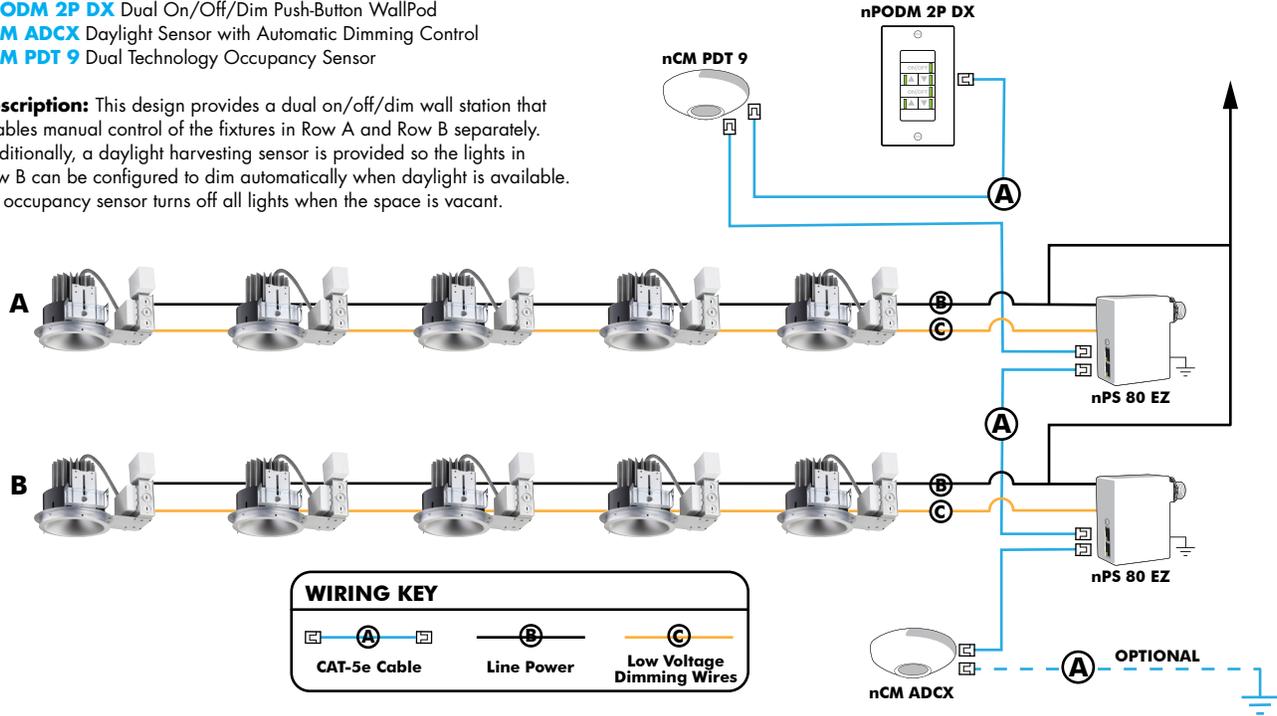
nPS 80 EZ Dimming/Control Pack (qty: 2 required)

nPODM 2P DX Dual On/Off/Dim Push-Button WallPod

nCM ADCX Daylight Sensor with Automatic Dimming Control

nCM PDT 9 Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.



Choose Wall Controls

nLight offers multiple styles of wall controls - each with varying features and user experience.



Push-Button Wallpod
Traditional tactile buttons and LED user feedback



Graphic Wallpod
Full color touch screen provides a sophisticated look and feel

nLight® Wired Controls Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.			
WallPod Stations	Model number	Occupancy sensors	Model Number
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model Number	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model Number
		10', CAT5 10FT	CAT5 10FT J1
		15, CAT5 15FT	CAT5 15FT J1



Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brand's specification for chromatic consistency.
- This luminaire is part of an A+ Certified solution for nLight control networks when ordered with drivers marked by a Shaded background*
- This Luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a shaded background*

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

nLight® AIR Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlightair.

Wall switches	Model number
On/Off single pole	rPODB [color]
On/Off two pole	rPODB 2P [color]
On/Off & raise/lower single pole	rPODB DX [color]
On/Off & raise/lower two pole	rPODB 2P DX [color]
On/Off & raise/lower single pole	rPODBZ DX WH ¹

Notes

- 1 Can only be ordered with the RES7Z zone control sensor version.

nLight AIR

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Indy L-Series Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.



Simple as 1,2,3

1. Install the nLight® AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome



**NEW STORAGE FACILITY FOR HC
GRAY PROPERTIES
1014 William Hilton Parkway**



ROOFING:
PAC CLAD STANDING SEAMED
GRAPHITE

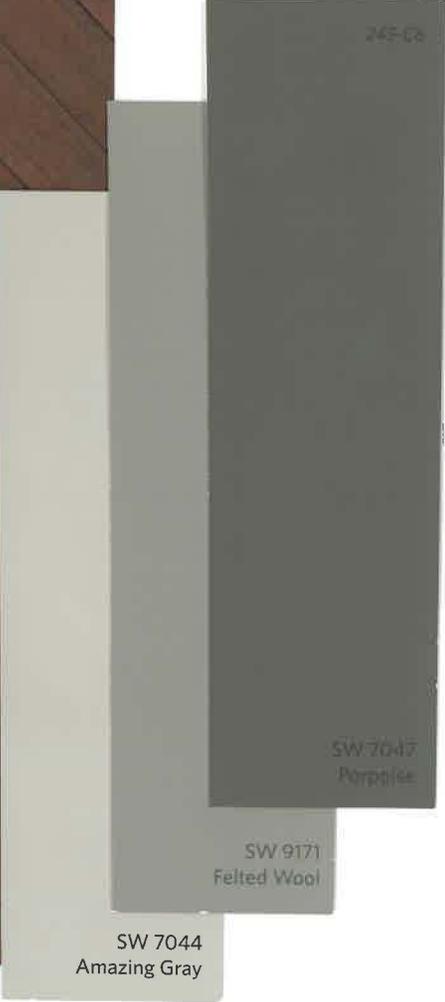
WINDOWS:
PAC CLAD
DARK BRONZE

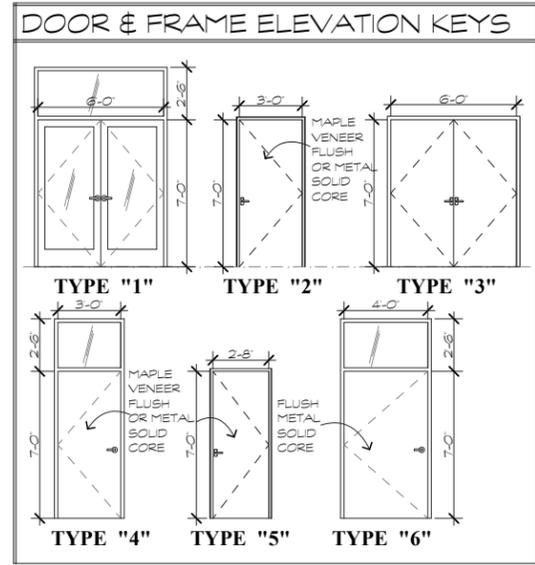
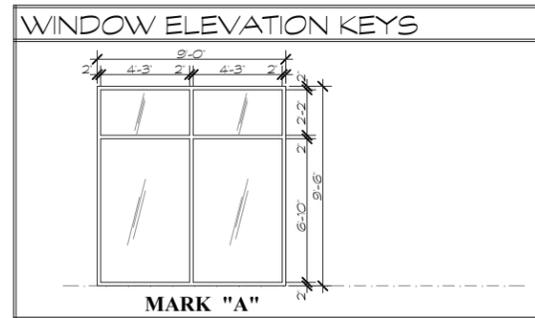
TRIM AND COLUMNS:
SHERWIN WILLIAMS
SW 7047 PORPOISE

UPPER STUCCO:
SHERWIN WILLIAMS
SW 9171 FELTED WOOL

LOWER STUCCO
SHERWIN WILLIAMS
SW 7044 AMAZING GRAY

RAIN SCREEN
FIBERON SYMMETRY
WARM SIENNA





WINDOW SCHEDULE

NOTES:
 1. ALL WINDOWS TO BE 24" ALUM. STOREFRONT W/ LG. LAMINATED LOW E GLASS
 2. SEE STRUCTURAL FOR DP RATINGS

MARK	TYPE	MFG. NUMBER	SIZE	REMARKS
A	STOREFRONT	YKK-YHS 50TU	9'-0"x9'-6"	

DOOR & FRAME SCHEDULE

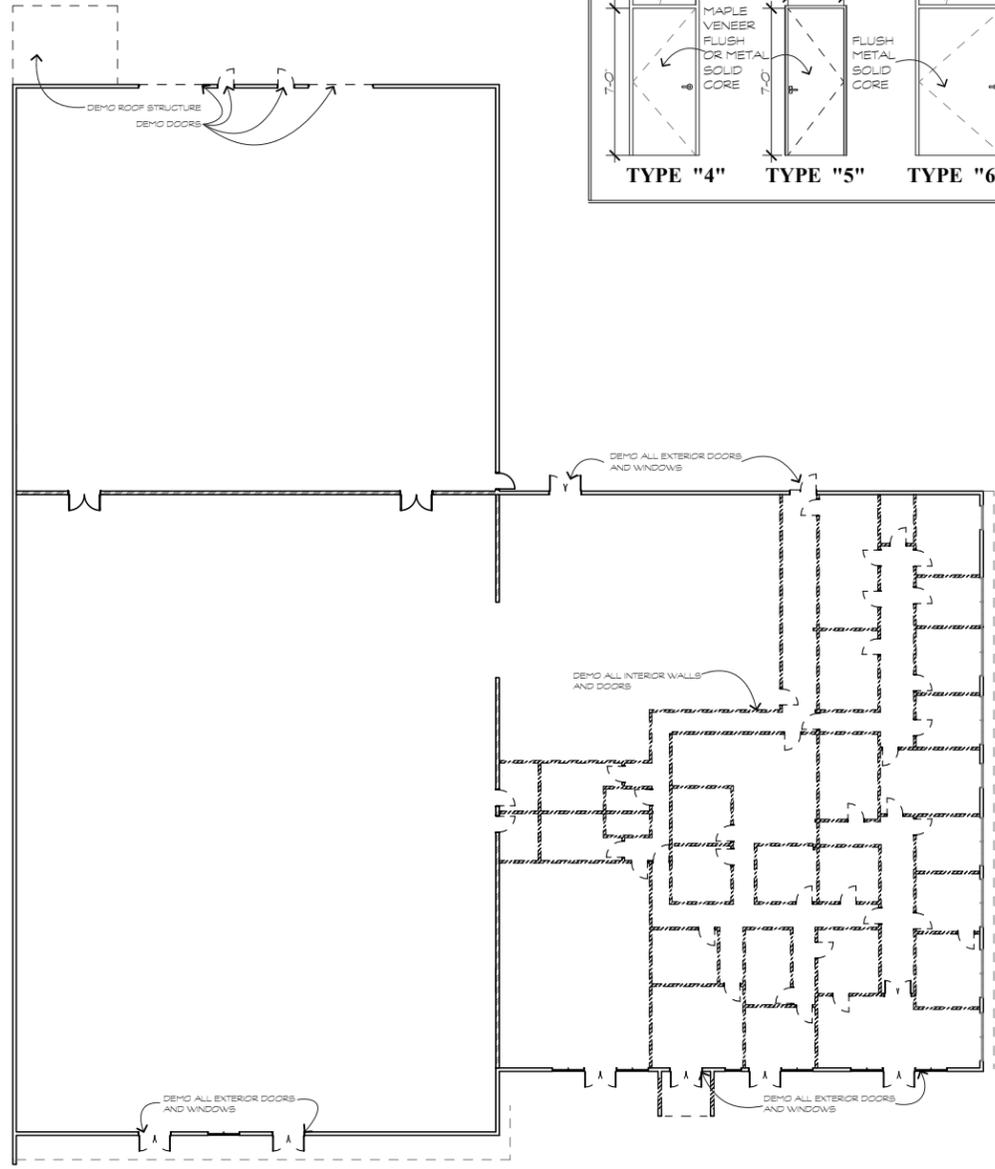
NOTE:
 1. PROVIDE TEMPERED GLASS NOTED IN ELEV. KEYS.
 2. SEE STRUCTURAL FOR DP RATINGS OF EXTERIOR DOORS.

MARK	DOOR			MATERIAL / FINISH	HARDWARE MARK	FRAME MAT.	JOB DEPTH	FIRE RATING	REMARKS
	W	H	T						
FIRST FLOOR									
1	6'-0"	7'-0"		ALUM.	1	1	ALUM.	NA	2'-6" TRANSOM
2	3'-0"	7'-0"	1 3/4"	WOOD	2	2	METAL	NA	
3	3'-0"	7'-0"	1 3/4"	WOOD	2	2	METAL	NA	
4	6'-0"	7'-0"	1 3/4"	METAL	3	3	METAL	3 HR	MAG. HOLD BACK
5	3'-0"	7'-0"	1 3/4"	WOOD	2	4	METAL	NA	
6	3'-0"	7'-0"	1 3/4"	METAL	4	1	METAL	NA	2'-6" TRANSOM
7	2'-8"	7'-0"	1 3/4"	METAL	5	4	METAL	NA	
8	3'-0"	7'-0"	1 3/4"	METAL	2	4	METAL	NA	
9	3'-0"	7'-0"	1 3/4"	METAL	2	1	METAL	NA	
10	6'-0"	7'-0"	1 3/4"	METAL	3	3	METAL	3 HR	MAG. HOLD BACK
11	3'-0"	7'-0"	1 3/4"	METAL	4	1	METAL	NA	2'-6" TRANSOM
12	6'-0"	7'-0"	1 3/4"	METAL	3	3	METAL	3 HR	MAG. HOLD BACK
13	4'-0"	7'-0"	1 3/4"	METAL	6	1	METAL	NA	2'-6" TRANSOM
14	4'-0"	7'-0"	1 3/4"	METAL	6	1	METAL	NA	2'-6" TRANSOM
15	3'-0"	7'-0"	1 3/4"	METAL	2	4	METAL	NA	

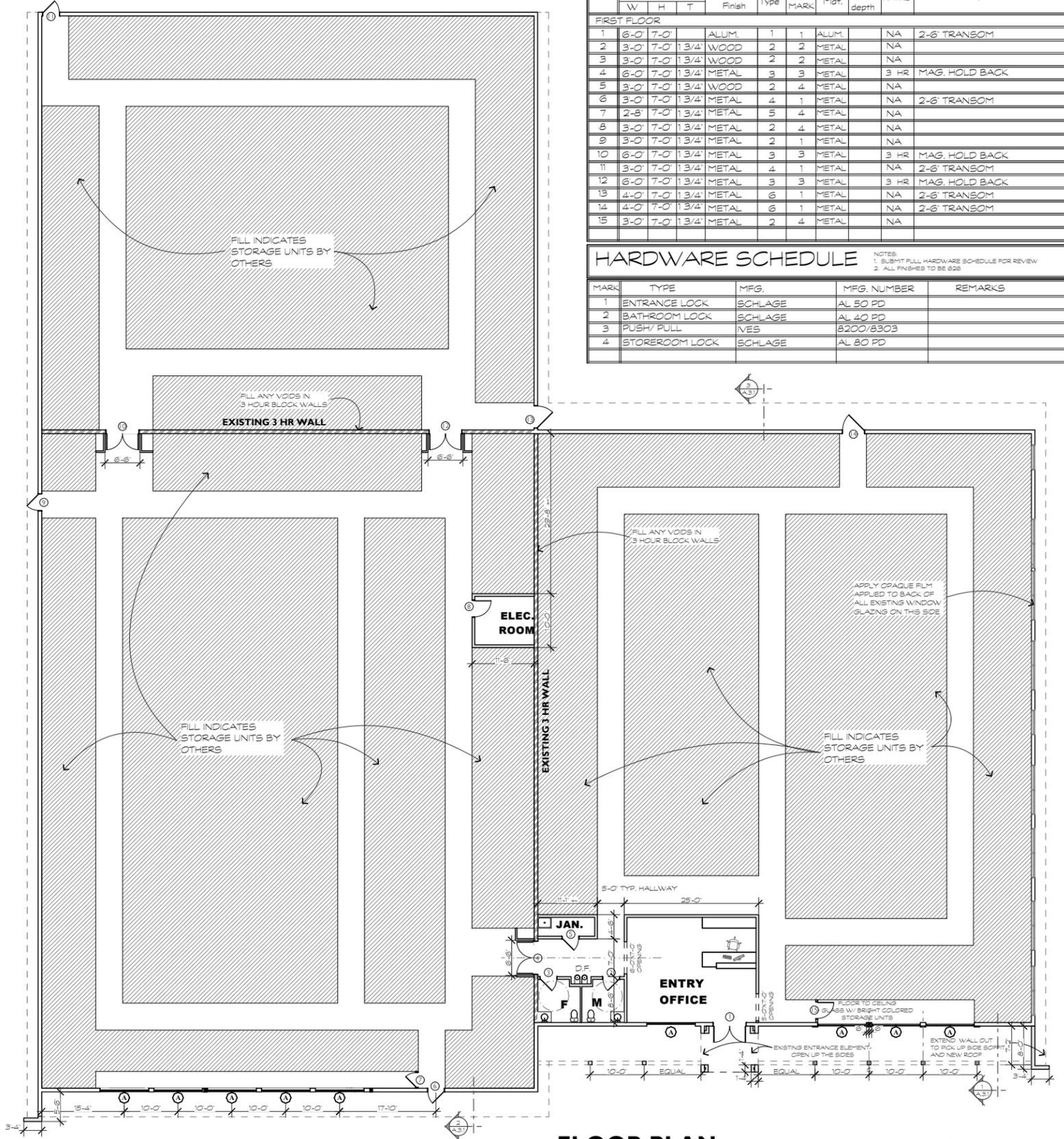
HARDWARE SCHEDULE

NOTES:
 1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW
 2. ALL FINISHES TO BE 628

MARK	TYPE	MFG.	MFG. NUMBER	REMARKS
1	ENTRANCE LOCK	SCHLAGE	AL 50 PD	
2	BATHROOM LOCK	SCHLAGE	AL 40 PD	
3	PUSH/PULL	YES	8200/8303	
4	STOREROOM LOCK	SCHLAGE	AL 80 PD	



DEMO FLOOR PLAN
 SCALE: 1/16" = 1'-0"



FLOOR PLAN
 SCALE: 3/32" = 1'-0"



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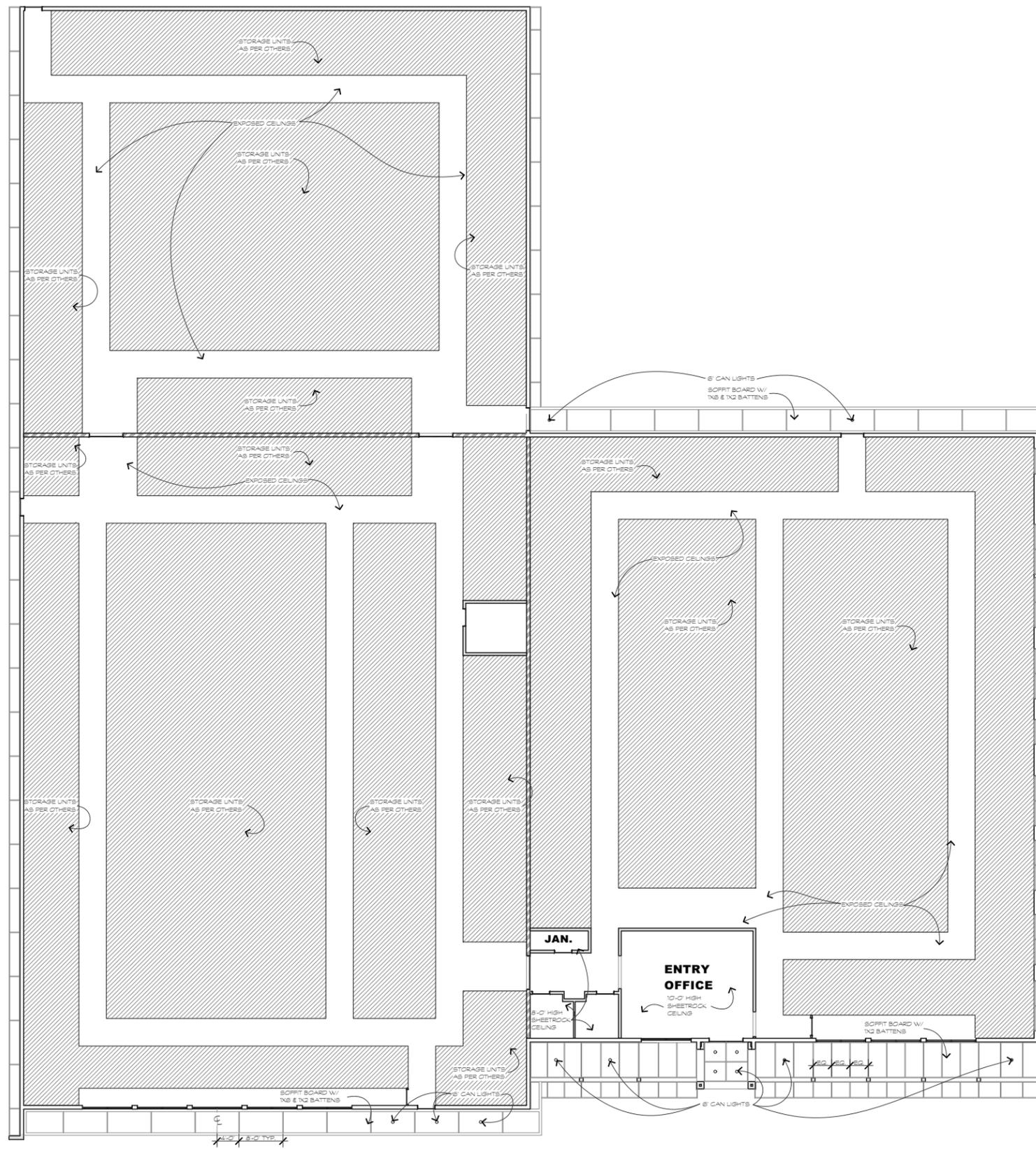
A RENOVATED SPACE FOR A NEW STORAGE FACILITY FOR:
HC GRAY PROPERTIES
 1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

DRAWN BY: TP
 CHECKED BY: TP
 DATE OF ISSUE: 07/22/21
 SCALE:
 JOB NO.:

SHEET
A.1.1
 OF SHEETS



REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

1
A.1.2

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A RENOVATED SPACE FOR A NEW STORAGE FACILITY FOR:
HC GRAY PROPERTIES
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

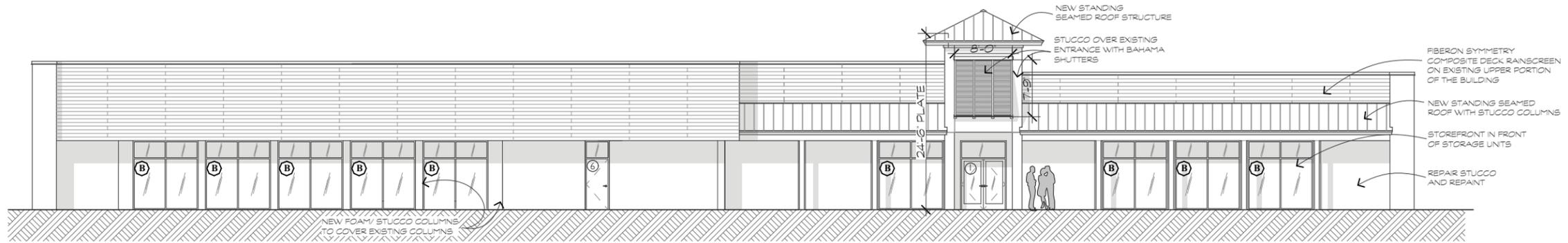
REVISIONS	

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TP
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TP
DATE OF ISSUE
07/22/21
SCALE
JOB NO.

SHEET
A.1.2
OF SHEETS

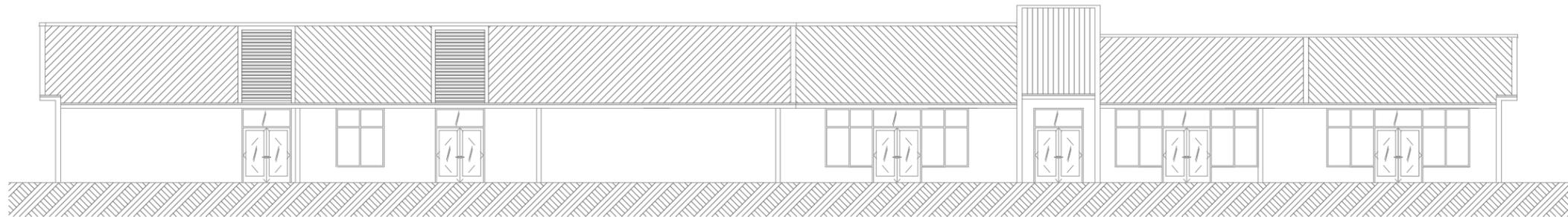


EXISTING FRONT AND RIGHT SIDE PHOTOS



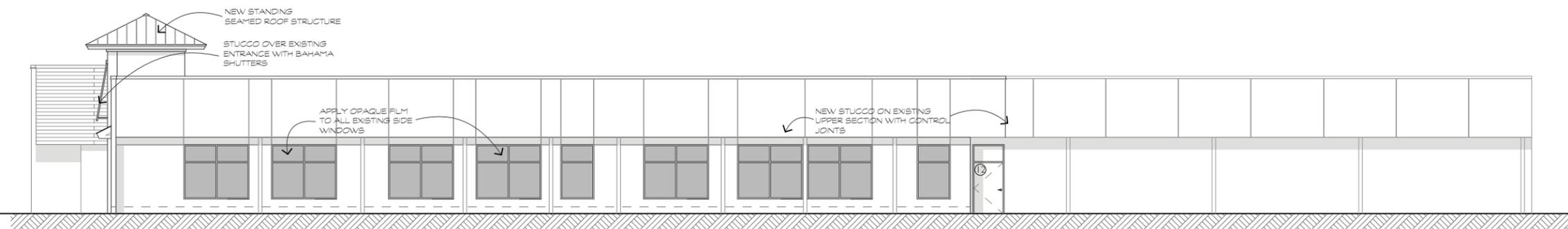
NEW FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



NEW RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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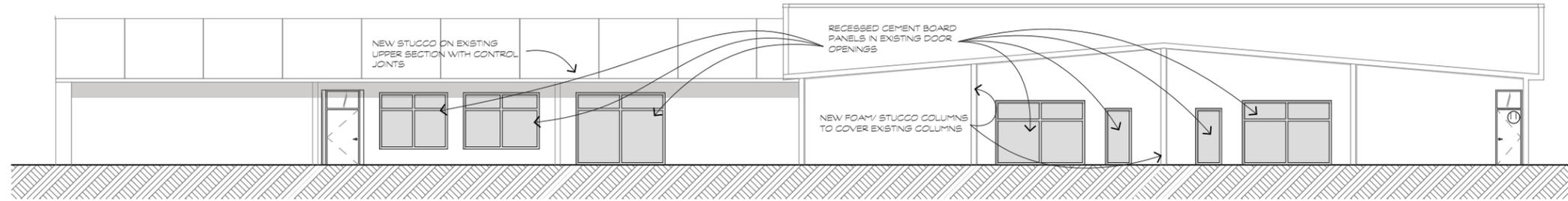
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1014 WILLIAM HILTON PKWY
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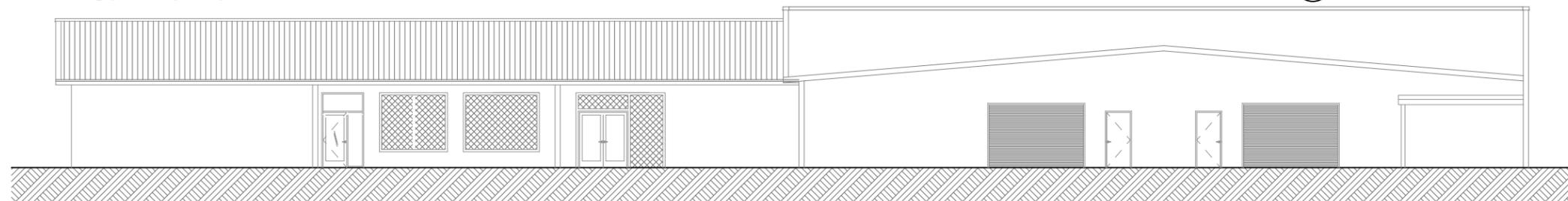
EXISTING REAR PHOTOS



NEW REAR ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.2



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

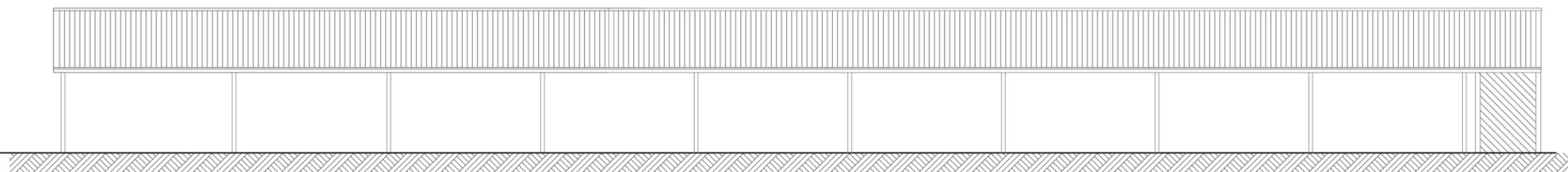
2
A.2.2



NEW LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

3
A.2.2



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

4
A.2.2

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HILTON HEAD ISLAND, S.C.

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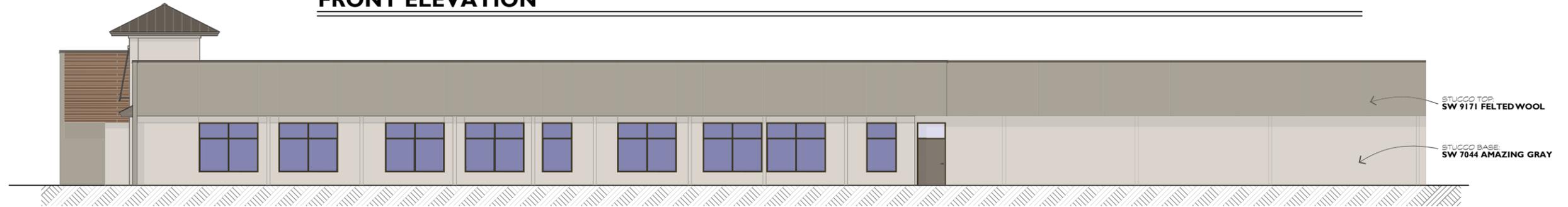
DATE OF ISSUE
07/22/21

SCALE

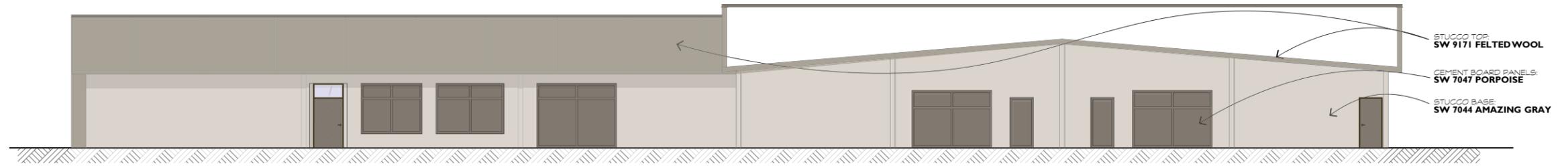
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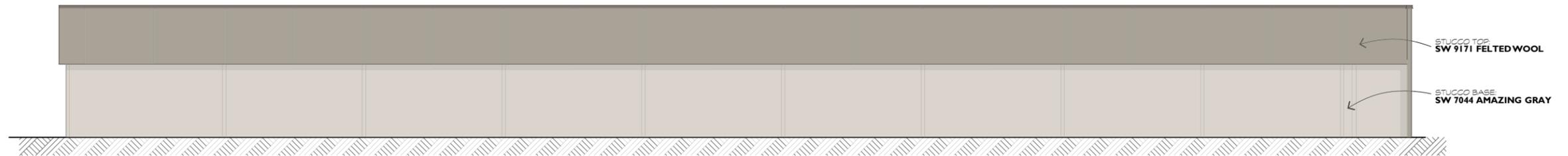
FRONT ELEVATION



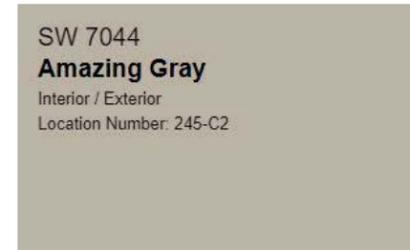
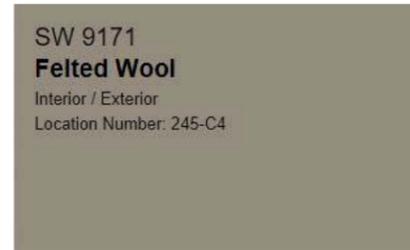
RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

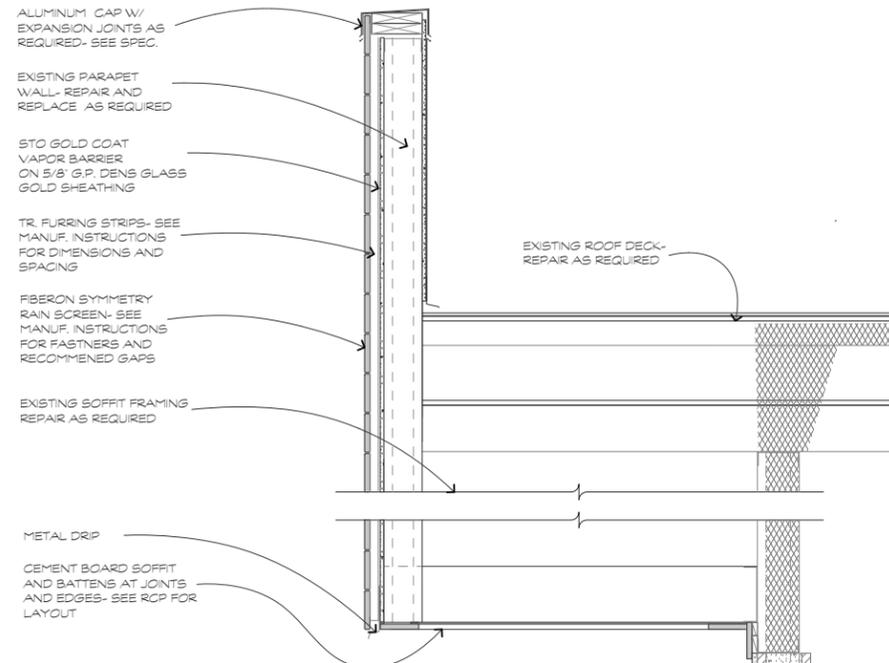


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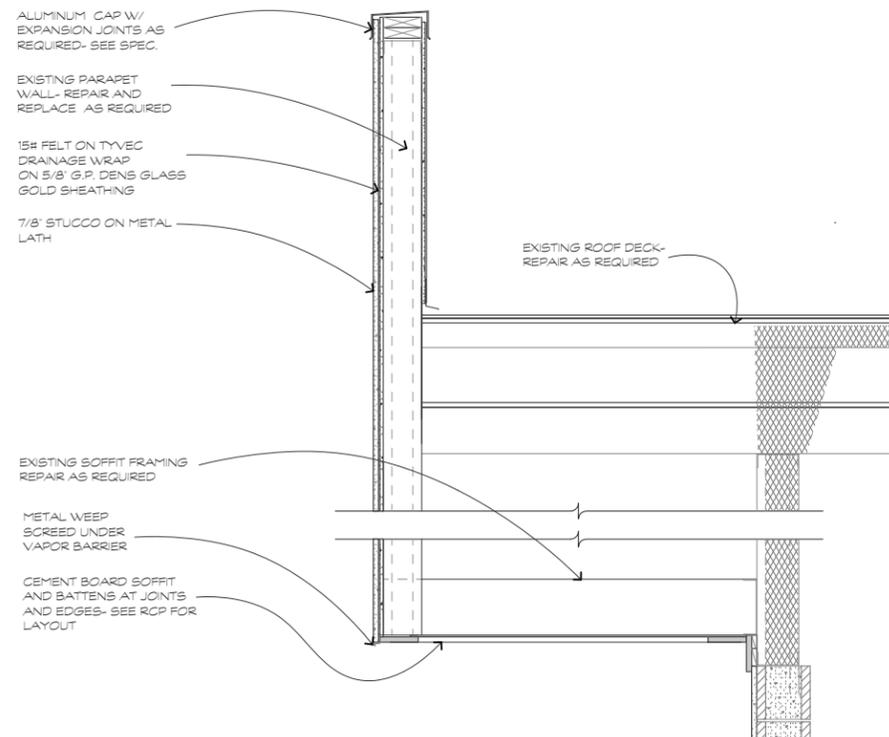
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OF SHEETS	



FRONT SOFFIT SECTION

SCALE: 1" = 1'-0"

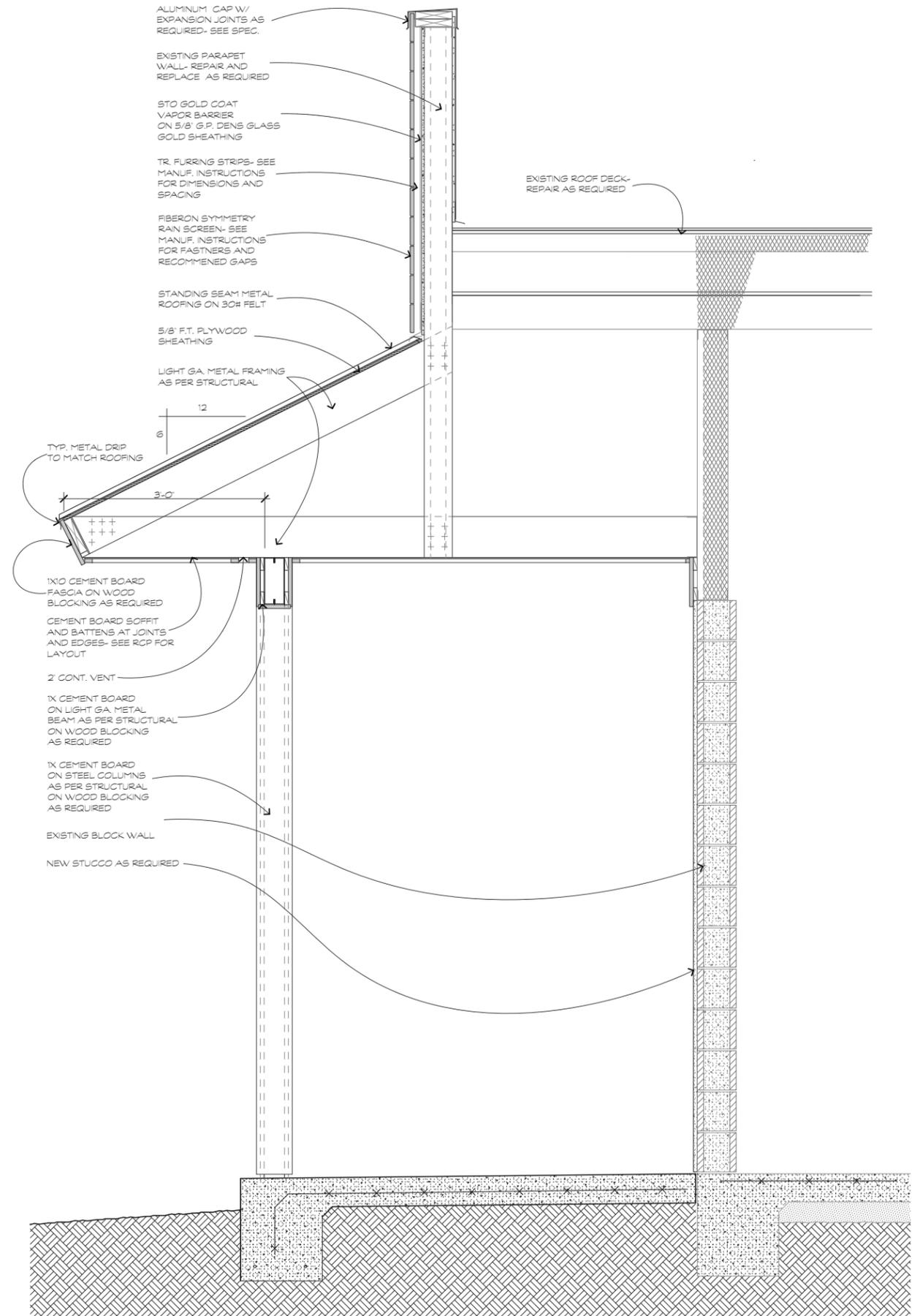
2
A.3.1



REAR SOFFIT SECTION

SCALE: 1" = 1'-0"

3
A.3.1



WALL SECTION

SCALE: 1" = 1'-0"

1
A.3.1

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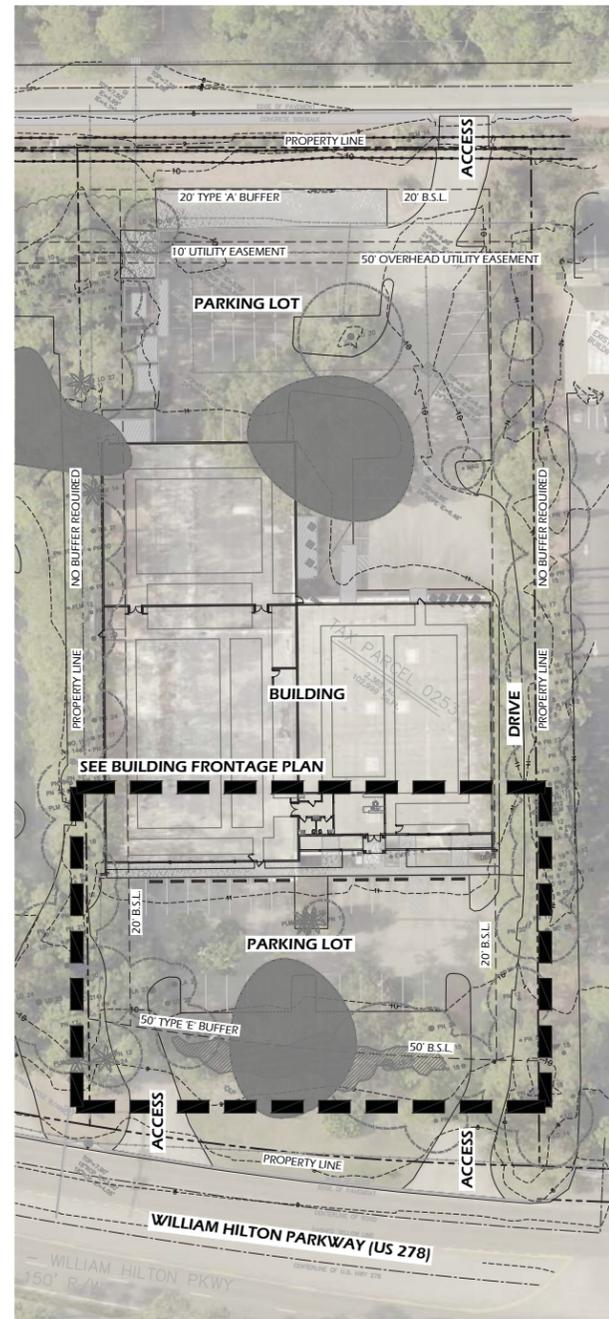
A RENOVATED SPACE FOR A NEW STORAGE FACILITY FOR:
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REVISIONS	

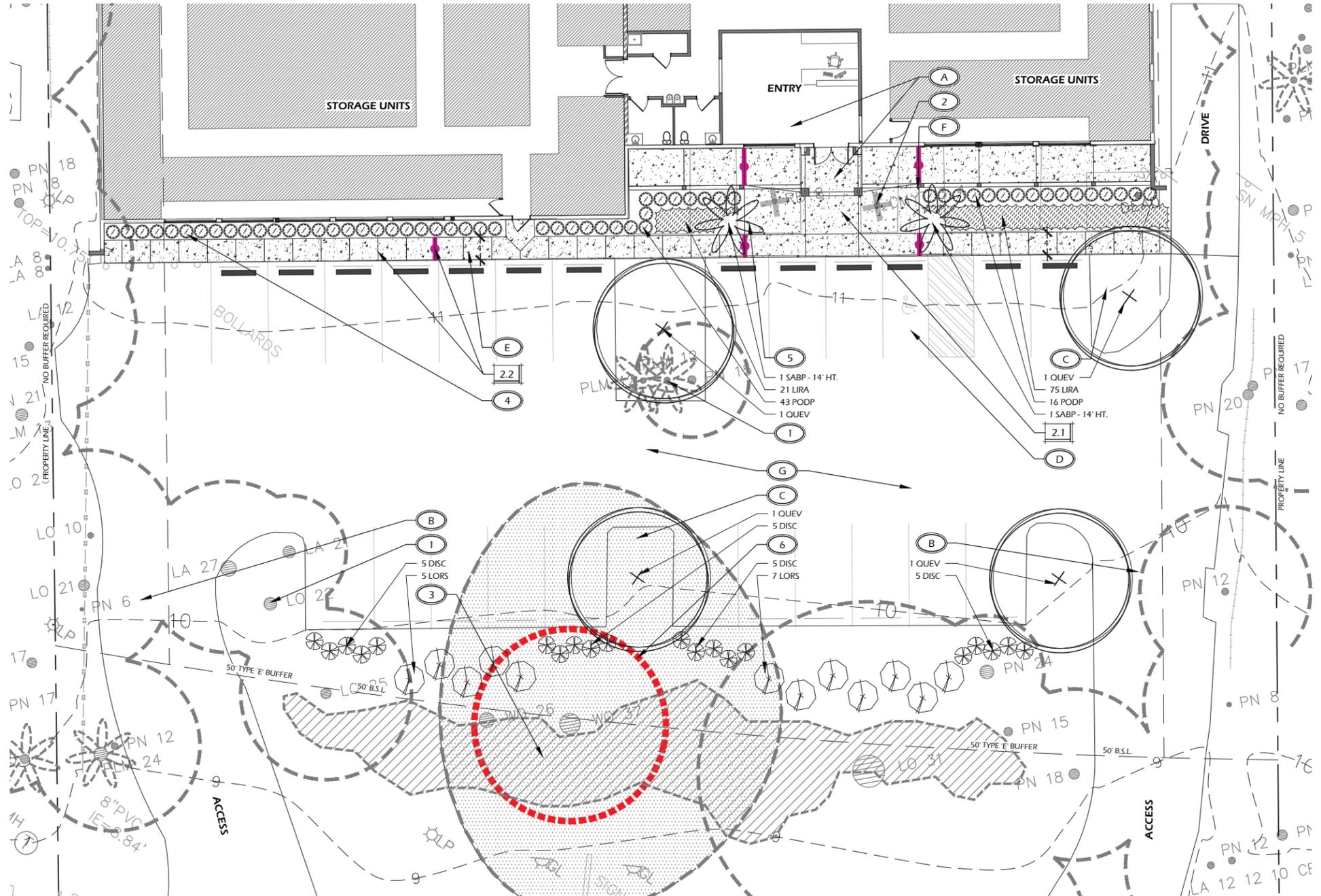
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SCALE
JOB NO.

OVERALL SITE PLAN

SCALE: 1" = 40'



BUILDING FRONTAGE PLAN



PLANTING DETAILS

CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L501
14.2	PALM TREE PLANTING	2/L501
14.3	SHRUB PLANTING	3/L501
14.4	GROUND COVER PLANTING	4/L501

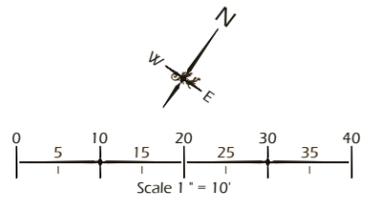
- PLANTING REFERENCE NOTES:**
- EXISTING TREES TO REMAIN.
 - EXISTING TREES TO BE REMOVED - 4" CRAPE MYRTLE & 8" REDBUD.
 - EXISTING VEGETATION TO REMAIN. TRIM MATERIAL AND REPLACE ANY OVERGROWN / DECLINING MATERIAL.
 - MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - ALIGN ALL PALM TREES SYMMETRICALLY AT FRONT ENTRY.
 - CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.

PAVING SCHEDULE

CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1	[Symbol]	CONCRETE WALK	6/L501
2.2	[Symbol]	CONSTRUCTION JOINT	7/L501

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

- KEY SHEET REFERENCE NOTES:**
- REFER TO ARCHITECTS PLANS FOR BUILDING FACADE MODIFICATIONS.
 - MAINTAIN EXISTING DRIVEWAY ENTRANCE ACCESS.
 - MAINTAIN EXISTING MEDIANS.
 - A.D.A. ACCESSIBLE PARKING.
 - NEW CONCRETE WALK SHALL BE KEPT AT SAME ELEVATION AND SLOPE AS EXISTING CONCRETE WALK.
 - ALIGN CONCRETE WALK EDGE WITH BUILDING PORCH COLUMNS.
 - EXISTING PARKING LOT TO REMAIN.



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SITE DEVELOPMENT PLANS FOR
GRAYCO STORAGE
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA

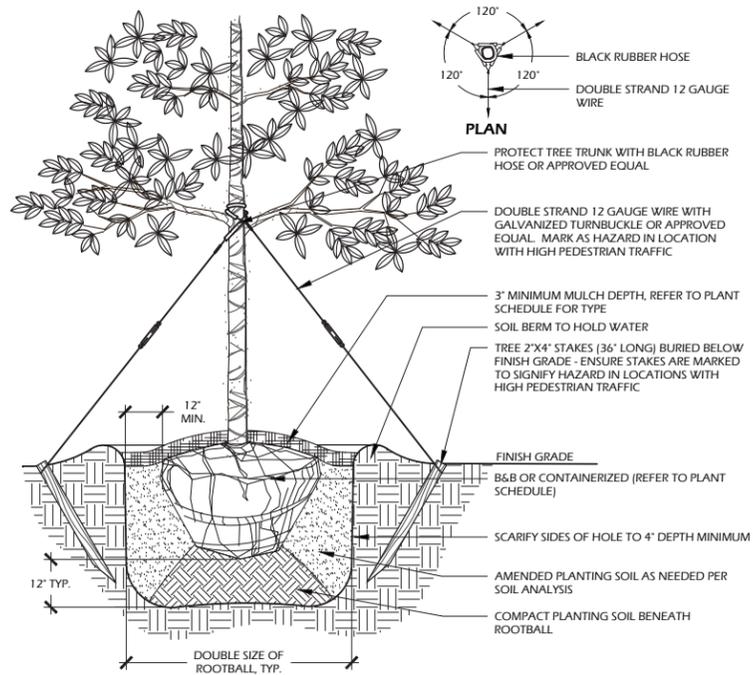
DATE: JULY 27, 2021
PROJECT NO.: XXXXX.XX
DRAWN BY: AC
CHECKED BY: JC

PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

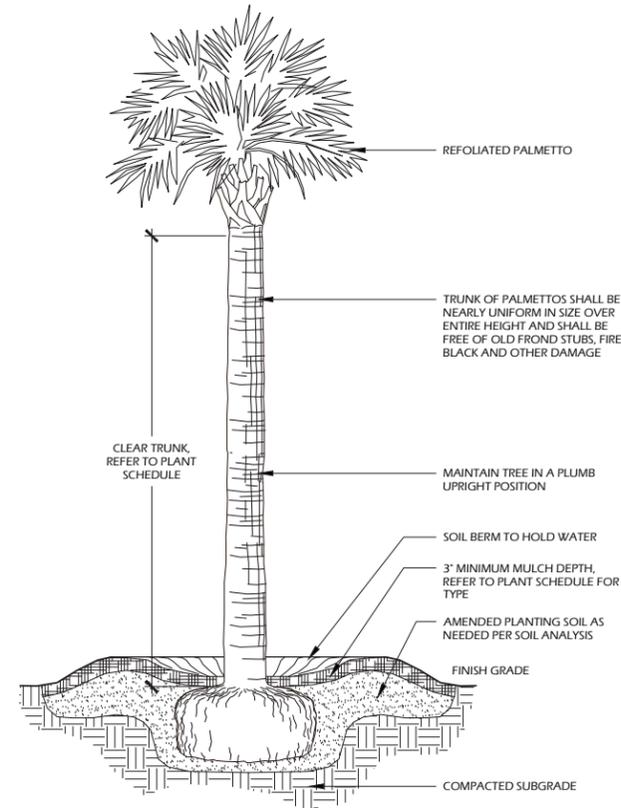
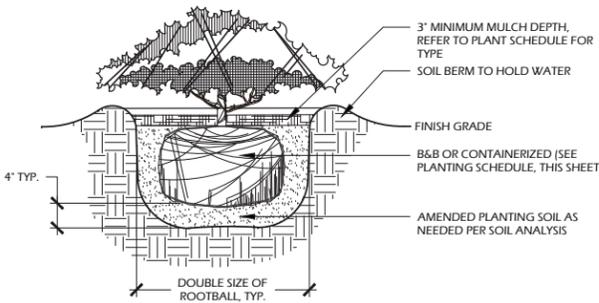
DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L500

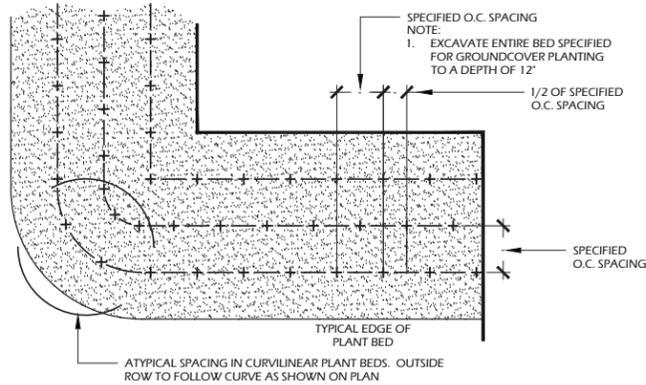


- NOTES:**
1. TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

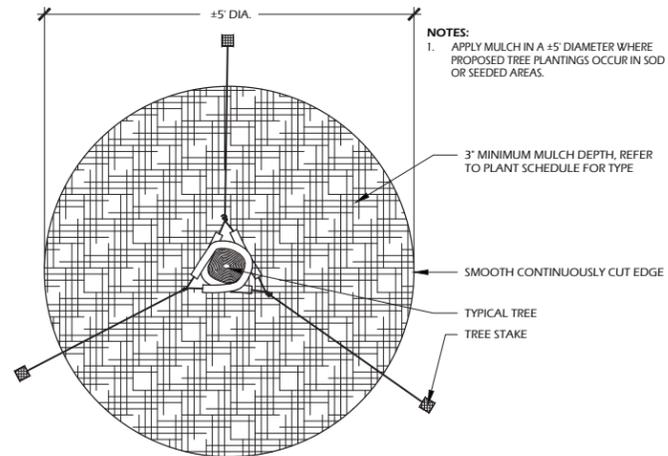
1 // L501 TREE PLANTING
SCALE: N.T.S.



2 // L501 PALM TREE PLANTING
SCALE: N.T.S.

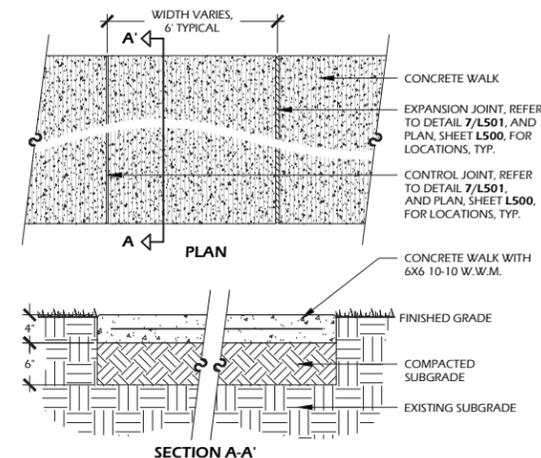


4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

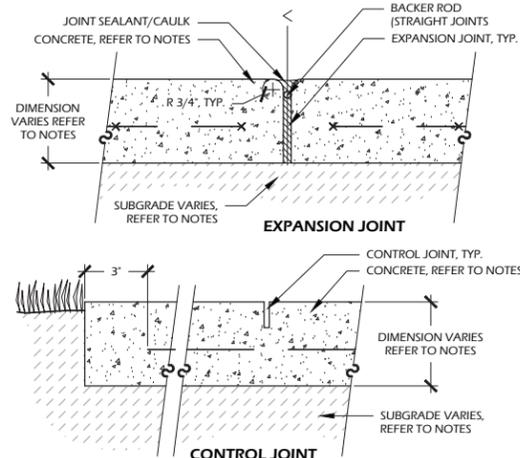


5 // L501 TREE STAKING
SCALE: N.T.S.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



6 // L501 CONCRETE WALK
SCALE: 1" = 1'-0"



7 // L501 CONSTRUCTION JOINTS
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
4	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4'	Full
2	SABP	Sabal palmetto	Cabbage Palm	14'-16'	6'-8'	Cont.	-	Refoliated. See plan for heights
SHRUBS								
20	DISC	Distylum 'Coppertone' (PIDIST-III PP25304)	Coppertone Distylum	24'-30'	24'-30'	7 gal.	-	Full
12	LORS	Loropetalum chinense 'Shang-hi' PP18331	Purple Diamond Semi-Dwarf Loropetalum	30'-36'	24'-30'	7 gal.	-	Full
59	PODP	Podocarpus macrophyllus 'Pingles Dwarf'	Dwarf Podocarpus	18'-24'	16'-20'	7 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
96	LIRA	Liriope muscari 'Aztec Grass'	Aztec Grass	12'-16'	8'-12'	1 gal.	18" O.C.	Full
SOD & MULCH								
4900	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS FOR
GRAYCO STORAGE
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 27, 2021
PROJECT NO.: XXXXX.XX
DRAWN BY: AC
CHECKED BY: JC

PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

DRAWING NUMBER
L501

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HC Gray Storage

DRB#: DRB-001777-2021

DATE: 07/29/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. All new light fixtures will be 3000K or less.
2. The fence enclosure behind the building will be removed.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It is unclear if new lighting fixture are 3000K or less.

MISC COMMENTS/QUESTIONS

1. What is planned for the walls behind the new storefront windows? Given the hall width behind the windows, any lighting or signage on those walls is subject LMO signage regulations and DRB review.
2. Will the fence enclosures behind the building be removed?