



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, August 24, 2021 – 1:15 p.m.
AGENDA

This meeting is being conducted virtually and can be watched via the [Town of Hilton Head Island Public Meetings Facebook Page](#).

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of August 10, 2021

6. Appearance by Citizens

Citizens who wish to address the Board during the meeting must contact the Board Secretary at 843-341-4691 no later than 4:30 p.m. the day prior to the meeting. Citizens may also submit their comments in writing via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. the day prior to the meeting. All comments will be provided to the Board prior to the meeting and made part of the official record.

7. Unfinished Business

a. *Alteration/Addition*

i. Wei Food Hall, DRB-001598-2021

8. New Business

a. *New Development – Final*

i. Airport Terminal Renovation, DRB-001860-2021

b. *Alteration/Addition*

i. Central Plaza Renovation, DRB-001802-2021

ii. PSD#1 Water Tank, DRB-001868-2021

c. *Signs*

i. Circle Center Signs, DRB-001774-2021

ii. Parker's Signage, DRB-001870-2021

iii. Marriott Sunset/Harbour Point, DRB-001875-2021

9. Board Business

10. Staff Report

a. Minor Corridor Report

11. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting

August 10, 2021 at 1:15 p.m.

Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chair Cathy Foss, Vice Chair John Moleski, David McAllister, Annette Lippert, Judd Carstens, Ryan Bassett, Ben Brown

Absent from the Board: None

Present from Town Council: Tamara Becker, Bill Harkins

Present from Town Staff: Chris Darnell, Urban Designer; Teri Lewis; Deputy Community Development Director; Nicole Dixon, Development Review Administrator; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Ms. Lippert moved to approve. Mr. Bassett seconded. By show of hands, the motion passed 7-0-0.

5. Approval of Minutes

a. Meeting of July 27, 2021

Chair Foss asked for a motion to approve the minutes of the July 27, 2021 regular meeting. Mr. McAllister moved to approve. Mr. Carstens seconded. By show of hands the motion passed 7-0-0.

6. Appearance by Citizens

Chair Foss asked if there were any requests for appearance by citizens regarding items not on the current agenda. There were none.

7. New Business

a. New Development – Final

i. The Charles, DRB-001776-2021

Chair Foss noted the applicant submitted a revised landscape plan subsequent to the posting of the agenda package. The Board unanimously accepted the revised landscape plan into review.

Mr. Darnell presented the application as described in the Board's agenda package with the addition of the revised landscape plan. He recommended the project be approved with the following conditions for Staff review and approval with the condition that the applicant provide a landscape plan of a scope, size and design in proportion to the scale of the development.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: consideration of rerouting the storm line; guardrail clarification; request that the single bracket over the piers be deleted; side elevation discrepancies; the addition of soffit under the mansards; balcony stair plan guardrail color to match roof color; difficulty in reading landscape plan; naturalization of plantings on the water's edge; need to label all plantings; review of the rear elevation and steps to the pool; consideration of louvers under the steps; consistency needed in grade of sidewalks to main walkway; detail for the circular wood platform in the back; the need for additional four inch live oak by the drive-down to mirror opposite corner; bike rack details needed and color to match roofing; and discussion regarding the deletion of the front gate at the entrance.

Following discussion, Ms. Lippert moved to approve DRB-001776-2021 with the following conditions:

1. Correct the guard rail note on the plan sheets to clarify that the guard rail exist at all floors.
2. Add a guard rail to the retaining wall and exterior stairs from parking level to match the porch guard rails, to be reviewed and approved by Staff.
3. Delete the brackets on the piers on the front elevation.
4. Verify the grading from the stair towers to the drop-off work.
5. Replace wood post at the rear unit stairs with masonry in a stucco tabby finish. Revisions to be reviewed and approved by Staff.
6. Provide a tree protection plan, especially around the 23" and 26" Live Oaks. Review the removal of the canopies on the 23" and 26" Live Oaks required for construction of the building. Revised plans to be reviewed and approved by Staff.
7. Confirm the balcony guard rails match the roof color.
8. Provide a bike rack specification (to match roof color) for review and approval by Staff.
9. Revise the landscape plan for legibility and to add a 4" caliper Live Oak at the left front corner of the building. Revisions to be reviewed and approved by Staff.
10. Provide details for the circular wood deck for review and approval by Staff.

Mr. Carstens seconded. By show of hands, the motion passed by a vote of 7-0.

ii. Tidal Wave Auto Spa, DRB-001782-2021

Mr. Darnell presented the application as described in the Board's agenda package. He recommended the project be approved with the following conditions to be reviewed and approved by Staff and one DRB member:

1. Study the rooflines to add interest.
2. Reduce the size of the windows on the Plaza Drive elevation to be in proportion with the building facade.
3. Revise the landscaping to provide a double staggered row of 12' tall Dahoon Holly to screen the end of the carwash tunnel from Hwy. 278.
4. Add plant heights to the plant schedule.
5. Provide a drawing that keys the proposed colors and finishes to the buildings
6. Specify material more in keeping with Island Character for the dumpster gates.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: consideration of corbels to create depth and add interest; concern for the visibility of light from the interior; clarification regarding the water table and bricking; the need for an exposed gable on the prep canopy; suggestion of staggering sabal palms with the holly in the landscaping; suggestion to continue the shutters along the west elevation; reduction of the overhang on smaller structures; conflicting plans; the need to see the section confirming glazing; the need to study roof lines; massing on roofs; clarification of brick manufacturer and style; overhead door color confirmation; the need for plant screening facing US-278; the need for fan specifications and the concern for the lack of details.

Following discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

b. Alteration/Addition

i. HC Gray Storage Facility, DRB-001777-2021

(Due to a potential conflict of interest, Mr. Carstens recused himself from discussion and voting regarding HC Gray Storage Facility, DRB-001777-2021 and left the dais. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Chair Foss noted the applicant submitted additional materials subsequent to the posting of the agenda package. The Board unanimously accepted the additional materials into review.

Mr. Darnell presented the application as described in the Board's agenda package as well as the additional materials. He recommended the project be approved with the condition that all new light fixtures are 3000K or less.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application and the following concerns and recommendations were made regarding the project: clarification that all lighting fixtures are 3000K; clarification the fence in the back will be removed; the need for landscaping in the back of the building; the need for a store front door; observation that the tower element was out of scale; the need for submittal of the color of opaque film for windows; replacement of any planting impacted by work; and clarification that the stain on building needs to be bronze.

Following discussion, Mr. McAllister moved to approve DRB-001777-2021 with the following conditions:

1. Remove the fence enclosures on the Dunnage's Alley side (back of property).
2. The new door (on the William Hilton side) shall be a store front door (glass).
3. The glazing (where proposed) on the windows shall be bronze.
4. Add landscaping or clarify what (vegetation) is to remain at the rear of the property (Dunnage's Alley side), to be reviewed and approved by Staff.
5. Add a horizontal stucco ban (14-16" width) under the roof of the entry tower and lower the Bahama shutter to help visually reduce the vertical scale, to be reviewed and approved by Staff.
6. Change the proposed "Cedar Red" interior storage unit color to a bronze, to be reviewed and approved by Staff.
7. All new and replacement lights cannot exceed 3000K.
8. Add landscaping to screen the condensing units at the rear (Dunnage's Alley side) of the building, to be reviewed and approved by Staff.

Ms. Lippert seconded. By show of hands, the motion passed by a vote of 6-0-0.

At this time, Mr. Carstens returned to the dais.

8. Board Business - None

9. Staff Report

- a. Minor Corridor Report – None

10. Adjournment

The meeting adjourned at 3:09 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Gretchen Fisher Company: MJM Architects
 Mailing Address: 2948 Sidco Dr. City: Nashville State: TN Zip: 37204
 Telephone: 615-244-8170 Fax: _____ E-mail: g.fisher@mjmarch.com

Project Name: Wei Food Hall facades Project Address: 95 Matthews Drive

Parcel Number [PIN]: R 511 008 000 0192 0000 _____

Zoning District: LC Overlay District(s): ---

*Submittal is being made by MJM on behalf of its client, and the tenant and their design team.

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Gretchen N Fisher Digitally signed by Gretchen N Fisher
DN: C=US, E=g.fisher@mjmarsh.com,
CN=Gretchen N Fisher
Date: 2021.06.29 13:38:46-05'00'

06-29-21

SIGNATURE

DATE



TOWN OF HILTON HEAD ISLAND

Community Development Department

TO: Design Review Board
FROM: Chris Darnell, *Urban Designer*
DATE: Aug. 13, 2021
SUBJECT: Wei Food Hall Application for Aug. 24th DRB Meeting

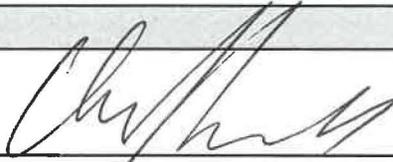
On July 13th 2021 the DRB gave a conditional approval to the Wei Food Hall application. That Notice of Action (NOA) with the listed conditions is included. Per the condition "Provide plans and details of the proposed aluminum panels, extent of panel treatment, reveal or caulk and parapet wall for full DRB review and approval." the attached is submitted. A picture of the physical mounting detail and material color sample is shown and will be available for review prior to and during the meeting. If you have any questions do not hesitate to contact me.



NOTICE OF ACTION

DRB-001598-2021

Application #

Name of Development:		Location: 95 Mathews Drive, A6 Hilton Head. SC 29926	
Owner	Applicant	Agent	
GFB ASSOCIATES LLC	MJM ARCHITECTS	KHJ GROUP INC	
Location and Development Information:			
Description: ALTERATION/ADDITION - WEI FOOD HALL FACADES			
Zoning District (s): Commercial Center District, Corridor Overlay District, X Flood Zone, X-Shaded Flood Zone		Subdivision: NOT APPLICABLE	Tax District Map Parcel: R511 008 000 0192 0000
Approved Site Plan Information:			
Date of the latest revision of approved site plan:		Based on Plans by: Plans Titled:	
Any deviation from the approved plans will require additional review.			
Case Manager: CHRIS DARNELL		Signature: 	
Date Issued: 07/15/2021		Expiration Issued:	

Pursuant to LMO 16-3-310 or 16-3-608, this approval expires as indicated above unless a complete building permit application is submitted, or where no building permit is required, a Certificate of Compliance is obtained. Pursuant to LMO 16-3-706, the Building Official can issue no final Certificate of Occupancy until the Planning Division issues a final Certificate of Compliance. For more information, see LMO 16-3-703 and 16-3-801 through 807 (Development Sureties).

Print Name: _____ Signature: _____ Date: _____
Owner or Authorized Agent of Owner

This must be posted on the site and shall not be removed until it has passed the final inspection

Print Date: 8/12/2021



NOTICE OF ACTION

DRB-001598-2021

Application #

Conditions of the Approval:

Town Staff conditions are included, additional pages may be attached.

Conditions of the Approval for: DRB-001598-2021

Urban Design:

- Specify the finish on the patio (for Staff review and approval).

Urban Design:

- Specify on the drawings the color of the awning material (for Staff review and approval).

Urban Design:

- Specify the location of the proposed Gooseneck fixture. Given the number of fixtures per sign, please provide lighting levels on the sign that meet LMO requirements and confirm these fixtures do not exceed 3000K (for Staff review and approval).

Urban Design:

- Specify the exterior color of the proposed coolers to match the back of the building (for Staff review and approval).

Urban Design:

- Provide a detail or plan on how the patio surface will be drained (for Staff review and approval).

Urban Design:

- Provide physical color samples for approval at the meeting (for Staff review and approval).

Urban Design:

- Provide plans and details of the proposed aluminum panels, extent of panel treatment, reveal or caulk and parapet wall for full DRB review and approval.

Urban Design:

- Provide a lighting plan compliant with LMO requirements and 3000K of less (for Staff review and approval).



DATE: 06/29/21

TO: Hilton Head Island Community Development Center – Design Review Board

PROJECT: Wei Food Hall Facades

PROJECT ADDRESS: 95 Matthews Dr. – Port Royal Plaza

MJM PROJECT NUMBER: 21151

To Whom It May Concern,

The intent of this project is to modify the existing facades of the left vacant tenant space at 95 Matthews Dr. Currently there is a Planet Fitness occupying the central tenant space and a recently approved AutoZone occupying the right tenant space. This application looks to develop the north & east facing façades for a new Wei food hall concept that is to include 4 restaurants; Jinya Sushi, Kung Fu Tea, Angry Crab Shack & Paris Baguette.

The proposed modifications to the North facing façade are minimal in nature, a previous DRB submittal saw the approval of a small raised signage parapet that mirrors what has been provided for the AutoZone, as well as a central storefront door with a section of storefront window on either side. This submittal proposes to remove the previously approved storefront section to the left of the entrance door and replacing the section of storefront to the right of the entry with a section of Nana-wall.

The proposed modifications to the East facing façade are substantially different from what was approved previously and consists of a large, shared, glass fenced, patio running the length of the façade, with an awning structure supporting permanent louvers, lights, fans & heaters, and requiring the demolition of the existing gazebo structure on the site. Additionally a large amount of glazing is proposed along the façade to blur the line between indoor and outdoor dining spaces. Jinya Sushi would see its main entrance along the North façade, however the remaining spaces would be entered off of the East façade.

Since the last presentation of this revised design in April, the tenant and their design team have worked to respond to the previous comments related to detailing of the patio structure and the specific fixtures and finishes intended for the project.

All finishes are of a natural color palette and are intended to blend with the finishes currently in use on the remainder of the shopping center:

Paint Colors:

Glidden : Grey Mountain : 40YY 25/074

Glidden: Designer Grey : 50YY 63/041

Storefront & Metal Elements:

Bronze Anodized



Since our last submittal in April, the tenant and their design team are proposing a new wood grain aluminum panel cladding for both the front and side elevations.

Material Specifications and brochures have been included with this submittal for further visual clarity.

If you have any questions, please do not hesitate to contact me at 615-244-8170 or by email at g.fisher@mjmarch.com

Sincerely:
MJM Architects

A handwritten signature in blue ink, appearing to read 'Gretchen Fisher', is written over a light blue rectangular background.

Gretchen Fisher
Senior Project Manager



AN UNRIVALED REALISM

ALL TEXTURES ARE PRODUCED FROM PHOTOS OF ORIGINAL MATERIALS.

CHOOSE FROM A VAST ARRAY OF TEXTURES AND COLORS.

VISIT OUR WEBSITE AT WWW.DIZAL.COM.

Dizal offers the best warranty on the market, not only on the product but also on the discoloration, thanks to added layer of the Z-CLEAR.

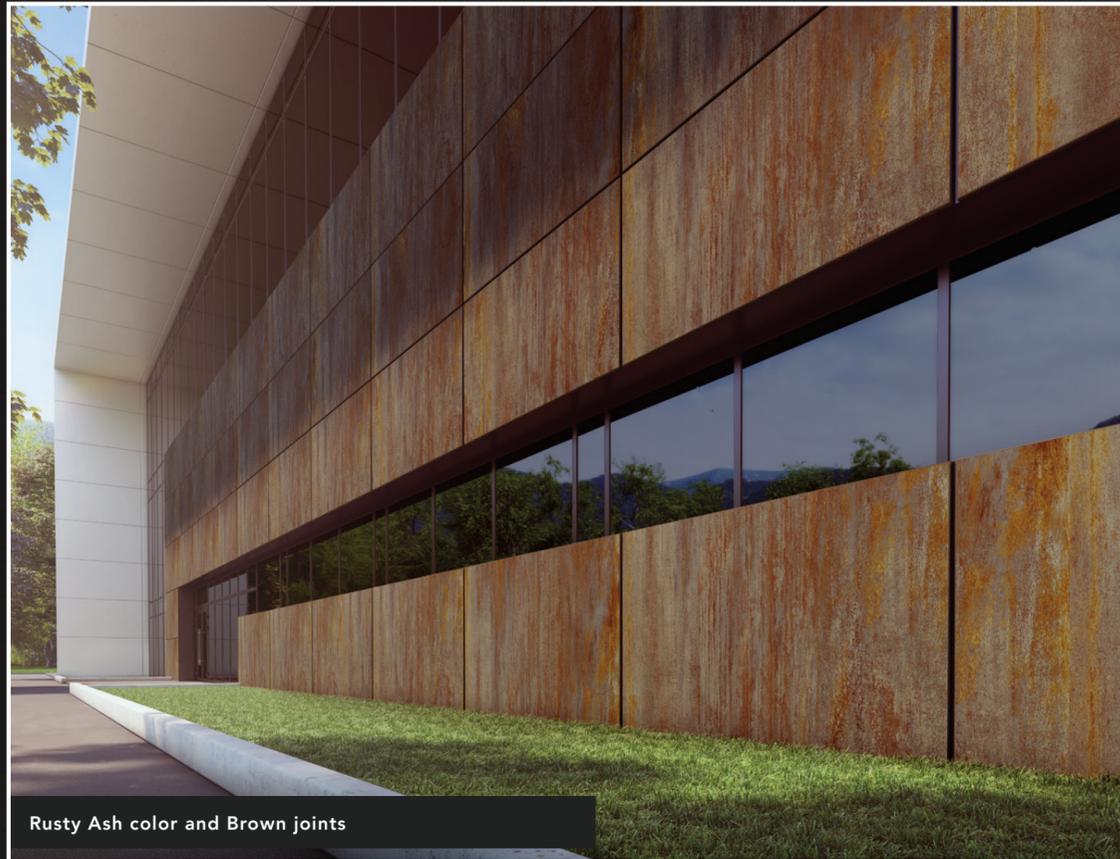
Please refer to our complete Warranty documentation on our website at www.dizal.com.



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DIGITAL PRINTING

ALUMINUM ARCHITECTURAL PANELS



Rusty Ash color and Brown joints



Silver Travertine color and Charcoal joints



JOINTS AVAILABLE IN 3 TEXTURED COLORS.

« Pantone » colors conditionally available on demand.



Brown



Charcoal



Silver

DIZAL

WWW.DIZAL.COM

1 855-915-9400

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DIZAL

PANELS, PARTS AND ACCESSORIES

FRAME

Rigid aluminum extrusion, painted to match joint color, adhered to panel with industrial grade tape with 75 lb/in² tensile strength.

ACP

(Aluminum Composite Panel)

Panel 4 mm thick, without fold or apparent fasteners. Class A rated Fire Resistant Core.

PRIMER COAT

Specially formulated primer coat assures optimal adhesion between aluminum and ink.

HD PRINTING

High definition digital inkjet print reproducing a wide range of textures and outstanding color variations.

Z-CLEAR®

A protective clear coat is applied to provide long term protection against fading.

SYSTEM

Dizal's system is made up of panels and rails allowing for a fast and easy installation.

Extrusions are pre-painted in order to reproduce different joint colors. These are installed to the wall first, then panels can be inserted into them.

The complete system includes 4 items:

PANELS

- The panel, with a depth of 0.75" (1.9 cm), is available at the specified dimension up to a maximum size of 4' x 8' (121.92 cm x 243.84 cm). *
- Spacing between panels is predetermined at 0.375" (0.95 cm).
- Panels are shipped with a protective film.

* Other dimensions conditionally available.



STARTER STRIP

- Aluminum extrusion with clippable screw cover strip, painted to match joint color.

HORIZONTAL AND VERTICAL DOUBLE FASTENING STRIP

- Two piece aluminum extrusion with screw cover strip for a horizontal and vertical installation of panels.

FINISHING STRIP

- Aluminum extrusion with clippable screw cover strip, painted to match joint color, allows for on site cutting and installation of finishing panels.



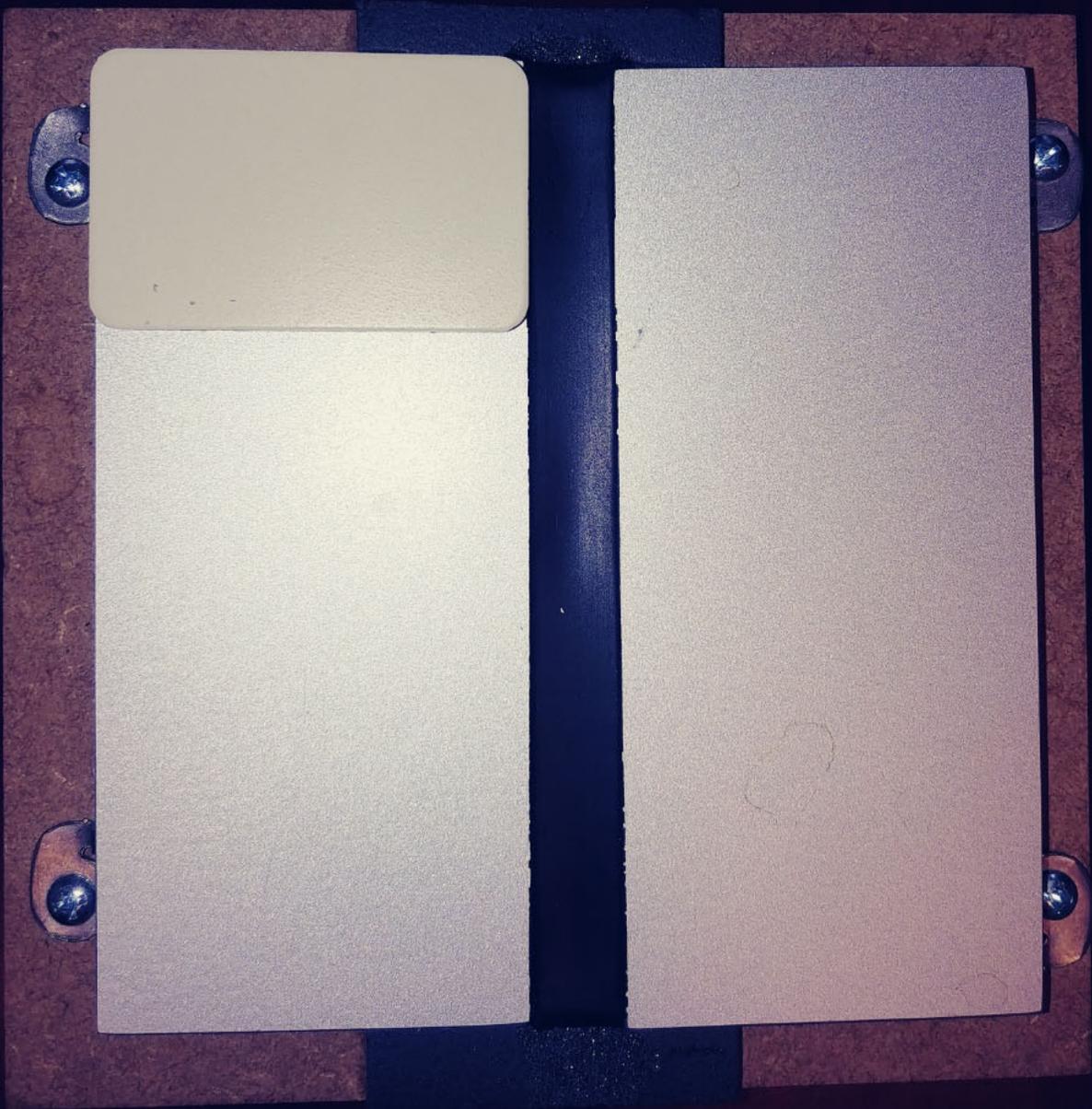
Double fastening strip in vertical position (A) and Starter Strip (B). Please refer to installation guide for full details.

TESTS & CERTIFICATIONS*

- . ASTM E84 - Fire resistance
- . ASTM E283 - Static air infiltration
- . ASTM E330 - Structural performance
- . ASTM E331 - Static water contacting AWB
- . ASTM G155 - UV resistance
- . ASTM D6578 - Graffiti resistance

- . ASTM D3359 B - Adhesion testing
- . ASTM D6665 - Boiling water testing
- . ASTM D2794 - Impact resistance
- . ASTM E413 - Sound insulation
- . AAMA 501.1 - Dynamic water infiltration test
- . LEED V4

* visit our website at www.dizal.com for more information





FRANK D. MILETO A.I.A.
 14 BEAVER BROOK DRIVE, LONG VALLEY, N.J. 07883
 Tel: (908) 976-9400 Fax: (908) 976-9455
 Email: f.mileto@comcast.net
 ARCHITECT-PROFESSIONAL PLANNER



FOOD SERVICE CONSULTANT
LAM & ASSOCIATES CONSULTING, INC.
 11 EAST BROADWAY, UNIT 11C, NEW YORK, NY 10038
 TEL: 212 750 9450 FAX: 212 750 9445
 EMAIL: HSLAVIC@GMAIL.COM

PROPOSED RESTAURANT
 PORT ROYAL PLAZA
 95 MATTHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926

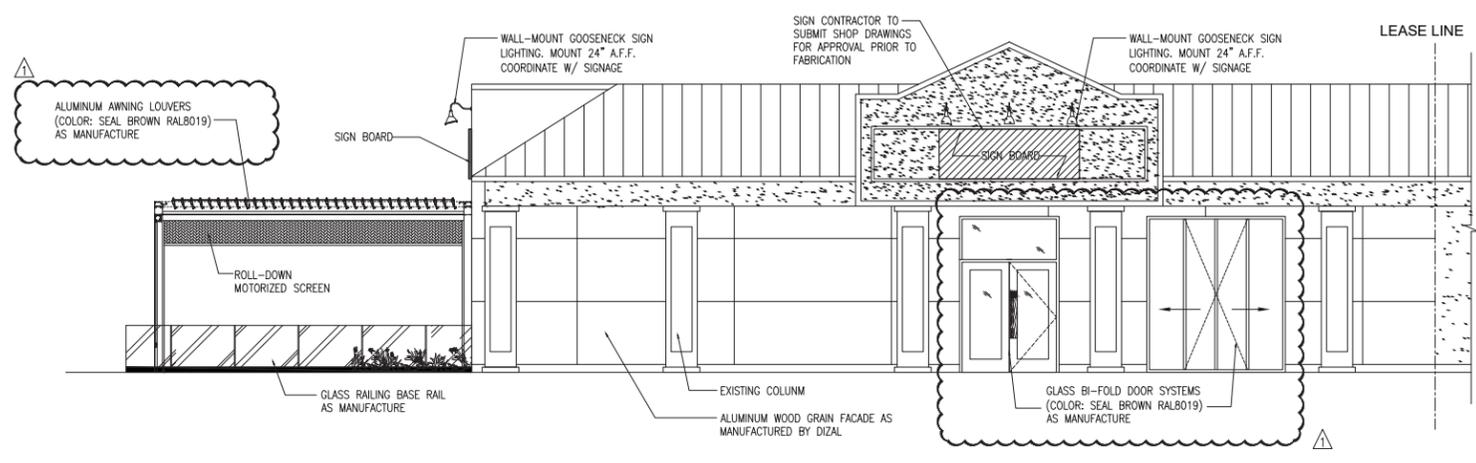
REVISIONS	
DATE:	07/01/2021
SCALE:	AS DRAWING
DRAWN:	JG
JOB NO.	B21-013

A-2

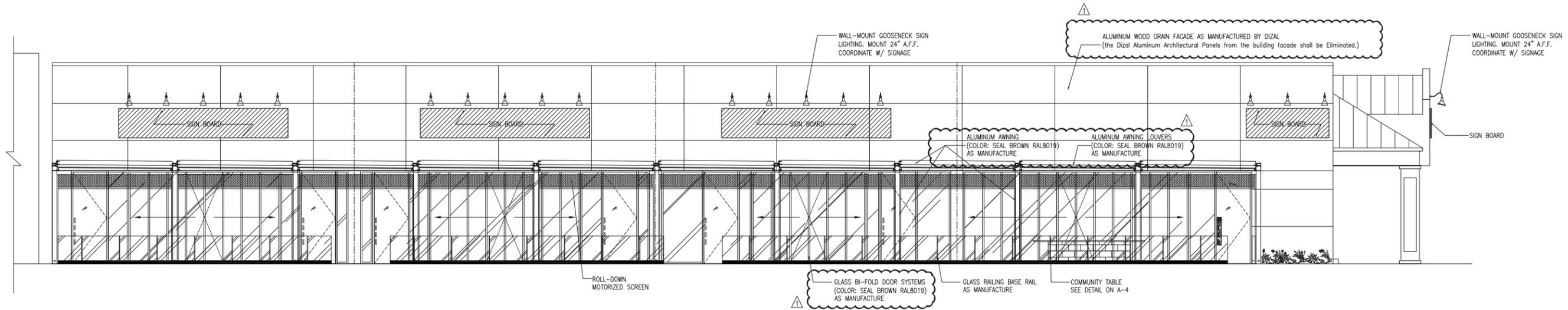
GENERAL NOTES:
 THE SIGN IS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF INTERNATIONAL BUILDING CODE SC MODIFICATIONS.

NOTE:
 PHYSICAL COLOR SAMPLES SHALL BE PROVIDED BY OWNER FOR APPROVAL.

NOTE:
 SIGN APPLICATION WILL BE FILED UNDER A SEPARATE APPLICATION FOR APPROVAL AND PERMIT.



1 STORE LEFT ELEVATION
 SCALE: 3/16"=1'-0"



2 STORE FRONT ELEVATION
 SCALE: 3/16"=1'-0"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Wei Food Hall

DRB#: DRB-001598-2021

DATE: 08/13/2021

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Travis Pence Company: The Wilson Group Architects
 Mailing Address: PO Box 5510 City: Charlotte State: NC Zip: 28299
 Telephone: 704-331-9747 Fax: _____ E-mail: travis@twgarchitects.com
 Project Name: HXD Terminal Improvements Project Address: 120 Beach City Road
 Parcel Number [PIN]: R 510 004 000 0375 0000 _____
 Zoning District: IL Light Industrial Overlay District(s): Corridor Overlay - Airport Overlay

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 _____ Concept Approval – Proposed Development _____ Alteration/Addition
X Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

N/A Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Trans Walter Bura

8/6/21

SIGNATURE

DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

PROJECT NAME: Airport Terminal Renovation **PROJECT #:** DRB-002368-2020
PROJECT ADDRESS: 120 Beach City Road
CATEGORY: New Development – Conceptual
ACTION DATE: December 8, 2020 **NOTICE DATE:** December 14, 2020
APPLICANT/AGENT: Travis Pence, The Wilson Group Architects
PO Box 5510
Charlotte, NC 28299
E-mail: travis@twgarchitects.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. The comments described in the attached Exhibit “A” Design Team/DRB Comment Sheet shall be addressed, including, but not limited to:
 - a. The sidewalk going to the parking does not narrow.
 - b. Provide mitigation for trees being removed.
 - c. Further increase the size of the Oaks along the entry drive.
 - d. Provide increased tree protection.
2. Provide a low level buffer type planting on the property edge at the new parking area.
3. Coordinate between wayfinding (signage) and plantings.
4. Change up the pavement type in the pedestrian crossings to better articulate them.
5. Review the opportunity to provide an outdoor waiting area with seating.
6. Provide a type of tabby surface treatment to the entry and the columns.
7. Clarify short-term, long-term, and rental car parking areas.
8. Review how and where the gooseneck fixtures are mounted and consider providing more space above them.
9. Consider use of oyster shell in the sidewalk in front of the terminal building to the new parking area.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

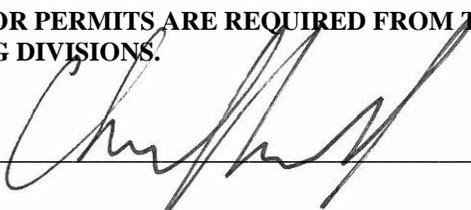
BY:  _____, Urban Designer

EXHIBIT A

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Airport Terminal Renovation

DRB#: DRB-002368-2020

DATE: 11/30/2020

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Why narrow the crosswalk on the parking lots side of the drop-off?
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A lighting plan is required at final. It should include all exterior lights. Consider using light bollards in the parking lot along pedestrian paths where possible.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Natural Resource Protection comment below.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. The removed trees are difficult to read on the Demo Plan. This plan must be more legible.

				<ol style="list-style-type: none"> 2. No effort has been made to preserve existing trees in the new parking lot on the west side. 3. The three new parking spaces near the 54" LO shall be removed. 4. Specify on the demo and landscape plans that all Significant and Specimen trees within the limit of work, should receive a pre and post construction fertilization and mycor treatment by a master arborist.
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<i>MISC COMMENTS/QUESTIONS</i>

TALBERT, BRIGHT & ELLINGTON

Engineering & Planning Consultants

CIVIL NARRATIVE

Hilton Head Airport Terminal Expansion (Project No. 100266J)

Owner: Beaufort County
Engineer: J. Andrew Shook, PE, Inc.
Date: August 9, 2021

Project Description

The existing Hilton Head Airport commercial terminal is located at 120 Beach City Road, Hilton Head, SC, and has had ongoing expansions and improvements over many years. The approximately 193-acre property is located in Light Industrial zoning and consists of facilities and infrastructure needed to support a small commercial airport. The current scope of the proposed improvements includes expansion of the terminal building (towards the existing main vehicle parking lot to increase passenger circulation and queuing, and to the south of the existing terminal building) to accommodate three new passenger/aircraft gate positions and new TSA/baggage handling facilities, expansion to the associated vehicle parking lot, and improvements to the passenger drop-off loop and ingress/egress lanes. Impacts to the existing terminal roadway/curbside will occur from the proposed terminal building expansion. Additionally, impacts to the existing main vehicle parking area will occur from the new terminal roadway/curbside that replaces the existing terminal roadway/curbside.

Terminal Roadway/Vehicle Parking Geometric Layouts

Layout of the proposed inbound terminal roadway will consist of relocating the four (4) lanes of vehicular traffic in front of the expanded front of the terminal building. The two lanes closest to the proposed terminal building expansion will be used for passenger drop off and pickup. The third lane from the proposed terminal building expansion will be used as a transition lane from the two inner drop off and pick up lanes to the outer through traffic lane (fourth lane).

The proposed inbound terminal roadway geometry will include additional footage along the proposed terminal curbside to increase the available length of passenger drop off and pick up areas, which will be needed during periods of heavy passenger loads when more than one aircraft is on the ground at one time.

The existing employee parking lot near the existing terminal building will be impacted by the proposed construction, as well as approximately half of the existing cell phone lot. As mentioned above, the main vehicle parking lot is being impacted by the proposed terminal building/terminal roadway improvements, and will require some reconfigurations as shown on the preliminary proposed parking layout plan submitted with the Pre-application.

With vehicle parking demand exceeding the available parking expansion/reconfiguration areas, it is of utmost importance that as many new parking spaces be created as possible to meet the very strong demand for parking during heavy passenger times throughout the year. Accordingly, the proposed vehicle parking expansion will meet the Town of Hilton Head LMO requirements to the maximum extent possible. A tree risk assessment study was completed viable specimen and significant trees within the proposed limits of disturbance. Any viable specimen and significant trees within the proposed limits of disturbance will be protected to the maximum extent possible. If one or more specimen trees are unable to be protected and need to be removed to provide the maximum number of vehicle parking spaces, a variance will be requested from the Town/DRB. A copy of the tree risk assessment study is attached for information purposes.

Roadway/Parking Lot Signage

New signage will be installed along the completed inbound terminal roadway, vehicle parking areas directing passengers/customers to the various destinations (e.g., terminal building, vehicle parking, airport exit, etc.) within the terminal area. The signage will be consistent with the signage at the terminal building curbside, and will be in accordance with Town of Hilton Head requirements.

Area Lighting

Area lighting for nighttime operations will be provided for the expanded vehicle parking areas and the reconfigured main vehicle parking areas. The area lighting has been designed by and will be installed by Palmetto Electric, consistent with the existing parking lot area lighting.

Utilities

Existing water and sanitary sewer service to the current terminal building is provided by Hilton Head PSD. New service lines will be designed/constructed from the main PSD lines to serve the expanded terminal building. Electric service for the proposed terminal building expansion will be provided by Palmetto Electric.

Terminal Airside Ground Service Equipment Operational/Parking and Aircraft Gate Parking Layouts

Layout of the proposed airside ground service equipment operational and parking areas has been designed. Proposed concrete pavement will be used between the airside proposed and existing terminal building footprints and the main commercial apron expansion concrete pavement area (commercial apron expansion being constructed under a separate contract in late 2021/early 2022). The proposed airside improvements also include pavement modifications around the proposed lav-cart triturator building (see architectural plans for more information).

Also included in the proposed airside improvements will be the installation of pavement markings for the ground service equipment travel lanes and the lead-in lines/gate marking numbers for the proposed new aircraft gate locations adjacent to the proposed terminal building expansion.

Maintenance Responsibilities

Beaufort County Airports will be responsible for maintaining the terminal roadway and parking areas after construction in accordance with all Town of Hilton Head requirements and guidelines.

STORMWATER & EROSION CONTROL NARRATIVE

Hilton Head Airport Terminal Expansion (Project No. 100266J)

Owner: Beaufort County
Engineer: Paul R. Moore, PE, Ward Edwards, Inc.
Date: August 9, 2021

Project Description

The existing Hilton Head Airport commercial terminal is located at 120 Beach City Road, Hilton Head, SC, and has had ongoing expansions and improvements over many years. The approximately 193 acre property is located in Light Industrial zoning and consists of facilities and infrastructure needed to support a small commercial airport. The current scope of the proposed improvements includes expansion of the terminal building, expansion to the associated parking lot, and improvements to the passenger drop-off loop and ingress/egress lanes. The site improvements will require filling a 0.41 acre onsite wetlands and impacts to the existing stormwater treatment system.

Stormwater

Stormwater runoff from the existing terminal building and paved surfaces drain to low spots within the parking lot landscape islands and to the wooded areas around the exterior of the parking lot. Runoff from smaller, more frequent rainfall events infiltrate into the shallow groundwater within the low areas and within the existing onsite wetland. Excess runoff from more significant storms drains to ditches located near the airport property lines, which in turn drain southeast toward the runway. The stormwater management for the entire airport property has been master planned and a series of water quantity and quality BMPs are in place to treat the runoff prior to discharge from the airport property. A dry detention basin will be constructed just southeast of the terminal apron, between the expanded apron and the taxiway. New recessed landscaped areas will be constructed as part of the proposed parking lot expansion to handle the runoff from the new impervious areas. The recessed areas will provide surface detention and infiltration to aid in water quality treatment. Permeable pavement will be used where feasible to reduce the amount of impervious surfaces and the respective runoff. Shallow swales will convey runoff to the existing ditches at the property perimeter, while also provide stormwater treatment through filtering and infiltration. The proposed recessed landscaped areas will provide the first inch retention required by the Town for water quality treatment.

Downstream of the terminal, parking, and apron areas, the Stormwater Master Plan also includes an underground detention system previously constructed in the grassed islands located between Taxiway F and the runway; which provide the majority of the stormwater attenuation and treatment for the airport. The underground detention system provides interaction between the surface storage, underground storage, and the shallow groundwater, which enhances the stormwater quality treatment and peak runoff reduction.

Construction Sediment and Erosion Control

Sediment and erosion control during construction will include a construction entrance, perimeter silt fence, inlet protection, and sediment check dams. Temporary and permanent seeding will be utilized to stabilize disturbed areas.

Maintenance Responsibilities

Beaufort County Airports will be responsible for maintaining the permanent stormwater BMPs after construction in accordance with all Town of Hilton Head requirements and guidelines.

Plan Revisions Based on Preliminary Review

- The text for the existing trees was darkened and enhanced to make the tree removal and preservation more readable.
- The size of the bio-retention basin near the western face of the terminal expansion was reduced by nearly 50% to preserve existing trees. The lost stormwater detention volume was made up by enhancing the existing ditch within the existing drainage easement to the west of the property line; in which there are no trees. Beaufort County acquired the adjacent property which contains the easement, allow for improvements to the existing ditch.
- The three parking spaces previously proposed around the existing 54" live oak were removed, keeping the existing landscape island in its current condition.



LANDSCAPE NARRATIVE FOR FINAL APPROVAL

Hilton Head Airport Terminal Renovation

Owner: Beaufort County
Designer: Kathleen Duncan, J.K. Tiller Associates, Inc.
Date: November 23, 2020
DRB#: DRB-002368-2020

Project Description

The existing Hilton Head Airport commercial terminal is located at 120 Beach City Road, Hilton Head Island, SC. The planting plan will address the proposed terminal expansion, drop-off improvements, and parking lot expansion.

Existing Conditions

The existing plants and landscape are currently receiving minimal maintenance. Due to current parking limitations, the landscape has been utilized for additional parking spaces. The parking area contains mature trees consisting of live oaks and crape myrtles as well as ornamental shrubs. The terminal entrance and parking bed areas contain ornamental shrubs and sabal palms. The buffer areas include overstory canopy with oaks, loblolly pines, maples, tupelos, and sweet gums as well as relatively thick underbrush. The entrance has recently been redone and includes ornamental trees, shrubs, groundcover, and turf.

Significant and Specimen trees have been identified. See civil plans and narrative regarding waivers for significant trees. All trees to remain will be protected during construction as noted on civil plans.

It should be noted that the survey indicates bay trees. These are incorrectly labeled and have been confirmed by a certified arborist as tupelo trees. Additionally, the certified arborist confirmed pine trees are loblolly pines.

Planting Design Intent

The planting design goals include:

- Meet LMO and Town of Hilton Head Comprehensive Plan requirements
- Save and protect existing high-quality trees where possible
- Select and site plants to minimize maintenance requirements
- Blend character of planting between the existing landscape in parking areas and buffer and the newly installed entrance
- Low Maintenance
- Address the arrival and departure experience travelers
- Utilize plantings suitable for stormwater BMPs
- Address health, safety, and welfare in the planting design

Maintenance Responsibilities

Beaufort County Airports will be responsible for maintaining the landscape (planting and irrigation) installation after construction is completed.

181 Bluffton Road
Voice: 843.815.4800

Suite F203
jktiller@jktiller.com

Bluffton, South Carolina 29910
Fax: 843.815.4802



Preliminary DRB Response

1. The engineer has revised the plan to keep and protect trees within the new parking area
2. Parking spaces near 54" LO were removed from the plan
3. Note was added to the L1.03 as noted in conditions

Additional Plan Revisions

1. Planting plan was revised to adopt more of the character of Sea Pines. The plant palate being more reflective of the island character and providing for a lower maintenance landscape that has a more likely chance to thrive.
2. Lighting bollards, Palmetto Electric parking lot lights, and signs have been added to the plan for reference.
3. Trees were added and increased in size to meet mitigation requirements
4. Tree mitigation chart was provided
5. Plans were modified to adjust for utilities, stormwater, lighting, and signage.

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Fax: 843.815.4802



Michael P. Murphy,
NJ-0146B

October 15, 2020

Pat Turney
Talbert, Bright & Ellington
3525 Whitehall Park Drive
Charlotte, NC 28273

Re: Proposed Parking and Inbound Road Improvements - Terminal
Building Expansion - Hilton Head Island Airport

PURPOSE

The purpose of this report is to document the details of a modified Level 2, Basic Tree Risk Assessment performed on sixteen (16) trees considered Specimen or Significant trees by the Town of Hilton Head Island located within the boundaries of the proposed parking and inbound road improvements of the terminal building expansion at the Hilton Head Airport. This assessment will be based on standards set forth in ANSI A300-Part 9, Tree Risk Assessment Standard.

Each tree will have a detailed visual inspection of its surrounding site, buttress roots, trunk and branches and an assessment of the tree's general health. The information will be used to determine physical and structural health of the trees, as well as the likelihood of failure in each tree, in order to evaluate the degree of risk associated therein.

Each tree will be grouped into one of four categories:

- A. Trees with slight defects having an improbable likelihood of failure.
- B. Trees with moderate defects having a possible likelihood of failure.
- C. Trees with severe defects having a probable likelihood of failure.
- D. Trees with critical defects having an imminent likelihood of failure.

The information in these groupings should be used by the owner to determine which trees should, or should not, be preserved on site as well as which trees may need special attention.

Generally speaking, trees graded as "A" & "B" are stable candidates to be retained on site after any suggested mitigation maintenance procedures are performed. Trees graded as "C" should only be retained if they are a unique or rare species or an extremely characteristic live oak and only after major mitigation procedures have been undertaken. Owner will need to assume a higher level of risk of failure with these trees. Trees graded as "D" should be removed as soon as possible.

A Level 2 Basic Tree Risk Assessment is not the highest level of assessment available to arborists. Any trees that are pending to be preserved on site which may require a higher level of assessment will also be identified and any additional necessary recommendations will be given.

Recommendations will be given for performance of structural maintenance procedures, where necessary, that will enhance the stability of the trees that are to be preserved on site.

ASSESSED TREES

1. Twenty-eight-inch loblolly pine
2. Thirty-four-inch loblolly pine
3. Thirty-inch loblolly pine
4. Twenty-nine-inch loblolly pine
5. Twenty-eight-inch live oak
6. Thirty-three-inch blackgum/tupelo
7. Twenty-nine-inch loblolly pine
8. Twenty-eight/twenty-one-inch laurel oak
9. Eighteen/fifteen/sixteen-inch live oak
10. Twenty-eight-inch live oak
11. Fifty-four-inch live oak
12. Twenty-nine-inch loblolly pine
13. Twenty-eight-inch loblolly pine
14. Twenty-four-inch live oak
15. Twenty-nine-inch live oak
16. Twenty-nine-inch live oak

Trees one through seven are in or on the edge of the presently undeveloped area south of the inbound entrance roadway and existing parking area.

Trees eight through sixteen are in or on the edge of the existing parking area.

ASSESSMENT

Tree 1) Twenty-eight-inch loblolly pine

B. Tree with moderate defects having a possible likelihood of failure.

This tree has minor deadwood with an overabundant accumulation of pine straw at its base. I could not efficiently observe its root flare but there was no indication of any defects in the lower trunk area. There are no trunk faults or defects. It has a fair to good Live Crown Ratio (LCR) with a complete canopy and no evidence of dieback or yellowing needles.

Tree should be pruned removing all deadwood two inches in caliper and larger.

Tree 2) Thirty-four-inch loblolly pine

B) Tree with moderate defects having a possible likelihood of failure.

This tree has a moderate amount of deadwood with some old limb breakage stubs. Its root flare area is mostly exposed and complete. There are no trunk faults or defects. It has a fair to good LCR with a complete canopy and no evidence of dieback or yellowing needles.

Tree should be pruned removing all deadwood two inches in caliper and larger.

Tree 3) Thirty-inch loblolly pine

A) Tree with slight defects having an improbable likelihood of failure.

This tree has minimal deadwood with a fully exposed and complete root flare. There are no obvious trunk faults or defects. It has good LCR with a complete canopy and no evidence of dieback or yellowing needles.

Tree should be pruned removing all deadwood two inches in caliper and larger.

Tree 4) Twenty-nine-inch loblolly pine

C. Tree with severe defects having a probable likelihood of failure.

This tree has a low trunk canker with a flat sided incomplete root flare. There is minor deadwood and a fair LCR with a complete canopy and no evidence of dieback or yellowing needles.

Recommend removal with site work.

Tree 5) Twenty-eight-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

This tree has been severely suppressed by surrounding vegetation. It has a complete root flare with a minor accumulation of deadwood. There is no apparent tip dieback that can be seen beyond the suppression. There is a good LCR with sufficient inner crown to adapt to regenerative pruning.

Tree should have understory suppressing trees and vines removed and regenerative pruning should be implemented to reestablish a complete canopy. Any deadwood two inches in diameter should be removed.

Tree 6) Thirty-three-inch blackgum/tupelo

D. Tree with severe defects having a probable likelihood of failure.

Fully one half of the canopy of this tree has been lost to previous storm damage well below a midpoint on the trunk. There is no efficient way to restore the remaining canopy half to a point where it can remain an acceptable risk for the proposed expansion.

Recommend removal with site work.

Tree 7) Twenty-nine-inch loblolly pine

A) Tree with slight defects having an improbable likelihood of failure.

This tree has a complete and fully exposed root flare area with do trunk faults or defects There is minimal deadwood and a good LCR with a complete canopy and no evidence of dieback or yellowing needles.

Tree should be pruned removing all deadwood two inches in caliper and larger.

Tree 8) Twenty-eight/twenty-one-inch laurel oak

C. Tree with severe defects having a probable likelihood of failure.

This tree has a serious bifurcation and an extreme lean creating a significant weight differential. It has a deep basal cavity and extensive crown dieback.

Recommend removal with site work.

Tree 9) Eighteen/fifteen/sixteen-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

The tree has lower trunk bifurcation areas but also has a compact and relatively low canopy. It has a complete root flare and no obvious trunk defects. It has a full and intact crown with no dieback.

Remove deadwood two inches in diameter and larger. Regenerative prune canopy area to increase stability.

Tree 10) Twenty-eight-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

This tree has severe suppression from surrounding understory trees and vines. Much of this lower growth prohibited full inspection of lower trunk and root flare. The upper canopy is full and compact with minimal deadwood and no obvious storm damage sites.

Remove all vine and suppressing understory trees. Remove deadwood to inches in diameter and larger. Inspect root flare area. Regenerative or reduction prune canopy area to increase stability.

Tree 11) Fifty-four-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

This tree has a spreading canopy that is full and intact with no dead ends or dieback. It has a healthy and full inner crown adapting it well to the reduction pruning that will be necessary in order to reduce canopy spread and failure risk. It has a complete and intact root flare with no significant trunk faults or defects. It has a minimal amount of deadwood.

Remove deadwood two inches in diameter and larger. Reduction prune canopy area to increase stability.

Tree 12) Twenty-nine-inch loblolly pine

B) Tree with moderate defects having a possible likelihood of failure.

This tree has good LCR with a full root flare and no trunk faults or defects. It has a low branching habit and there is no tip dieback or needle yellowing, but the crown is thinning. The fact that this tree has been growing in a restricted area for so many years, it appears to be coming into a decline period.

Although this tree is structurally sound enough to retain on site, because of the crown thinning and the beginning of its possible decline spiral I would recommend removal.

Tree 13) Twenty-eight-inch loblolly pine

B) Tree with moderate defects having a possible likelihood of failure.

This tree has good LCR with a full root flare and no trunk faults or defects. There is no tip dieback or needle yellowing, but the crown is thinning. The fact that this tree, like tree 12, has been growing in a restricted area for so many years, it appears to be coming into a decline period.

Although this tree is structurally sound enough to retain on site, because of the crown thinning and the beginning of its possible decline spiral I would recommend removal.

Tree 14) Twenty-four-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

This tree has a root flare covered with mulch and leaves that could not be fully inspected. The trunk at the top of the mulch line is clear and free of defects. Some improper cut points that have begun to seal over can be repaired. The tree has a minimal amount of deadwood. It has a full and compact which will need reduction on the northeast side.

Remove deadwood two inches in diameter and larger. Reduction prune canopy area to increase stability. Remove mulch from around the top of root flare to inspect root flare.

Tree 15) Twenty-nine-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

This tree has a full and complete root flare area with no obvious trunk faults or defects. It has a minor amount of deadwood with a full inner and upper crown. There is vine growing on the trunk. There is no crown dieback.

Remove deadwood two inches in diameter and larger. Regenerative prune canopy area to increase stability. Remove vine from trunk.

Tree 16) Twenty-nine-inch live oak

B) Tree with moderate defects having a possible likelihood of failure.

This tree has a full and complete root flare with no faults or defects. There is moderate understory and vine suppression. It has a mostly upright canopy that will require minimal limb reduction. There is no dieback.

Remove deadwood two inches in diameter and larger. Regenerative prune canopy area to increase stability. Remove suppressive understory and vine.

Please call if there are any questions about the above assessments.

Respectfully submitted,

A handwritten signature in blue ink that reads "Michael P. Murphy". The signature is written in a cursive, flowing style.

Michael P. Murphy
Board Certified Master Arborist, NJ-0146B

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk.



ARCHITECTURE
PLANNING
INTERIORS

THE WILSON GROUP

ARCHITECTURAL NARRATIVE – DRB FINAL APPROVAL

Hilton Head Island Terminal Improvements

Owner: Beaufort County, SC
Architect: The Wilson Group Architects
Date: August 10, 2021

Project Description

Originally constructed in 1993, the existing Hilton Head Island Airport Terminal Building provides Commercial Airport Terminal Services for 3 major carriers (American Airlines, Delta Airlines and United Airlines). In the wake of recently completed airfield improvements, the facility can serve larger aircraft with greater enplanements, and has witnessed significantly increased passenger growth. This has put extreme strain on the pre-9/11 Terminal design and its parking lot.

With the financial assistance of Beaufort County, the FAA, and the SC Airport Administration, the Terminal is undertaking a substantial renovation and expansion project to right-size the facility for its current and future demands. Additional goals include updating the look, feel and functionality of the Terminal with an architectural vocabulary of scale, massing and materials that reflect the building's Low-Country setting.

The existing building is approximately 18,500 SF on a single level. Primary existing materials include a teal-colored standing seam metal roof, exposed tongue and groove wood decking, white structural steel roof trusses, painted steel tube window framing, clear window glazing, and two-toned split-faced concrete masonry unit exterior. The existing building has a compromised thermal envelope design, resulting in a significant amount of exterior rusted steel. In addition, many of the existing exterior materials are not suitable for the hot-humid marine environment and the Airport lacks the staffing and financial resources to provide any regular maintenance program to mitigate buildup of exterior mildew.

The proposed design adds approximately 42,000 SF on a single level, about half of which consists of an elevated holdroom serving aircraft with passenger boarding bridges. The other half of the new SF consists of a new circulation corridor organizing the spine of the building along its landside, presenting the opportunity to update and recreate the exterior look of the building. Flanking this circulation element is a new passenger vehicular drop-off & pick up area with two transaction lanes (one covered), a by-pass lane, and a through lane. Special attention was paid in the design of this area to ensure visual passenger safety and security.

Proposed exterior materials include a new grey-colored standing seam metal roof (non-reflective), painted fiber cement fascia & soffit, painted fiber cement panels (concealed fastener rain screen system), pre-finished fiber cement panels (concealed fastener rain screen system), marine grade aluminum clad wood windows, impact debris resistant glazing, cast-in-place concrete columns with heavily textured waterproof coating, primary entrance/exit areas with heavily textured waterproof

coating, and oyster shell concrete exterior sidewalks in public areas. Colors are muted with no use of white or black.

The scale and massing of the building were carefully considered to thematically reflect its Low Country setting. A vocabulary of hip, gable & shed dormer roofs was developed to break down the overall massing of the building and use the forms to highlight particular functions for each area.

On the landside, the building is well integrated with its heavily landscaped setting. Native plants are arranged in layers that were specifically selected based on both their inside and outside perceptions, seasonal interest, and lack of maintenance. Special attention was paid to the landscaping visible from within the holdroom for deplaning passengers to establish a strong sense of place upon their arrival.

Responses to Preliminary Approval Meeting

Per feedback during our preliminary review held on 11/30/20, TWG has made the following modifications:

Comment: Why narrow the crosswalk on the parking lots side of the drop-off?

Response: The narrowing of the sidewalk has been removed. This is reflected on the civil site plans, landscape plans, and architectural site plans.

Comment: A lighting plan is required at final. It should include all exterior lights. Consider using light bollards in the parking lot along pedestrian paths where possible.

Response: All proposed exterior light fixtures are shown in the drawing binder. At the exterior sidewalks, illuminated bollards have been added. This is reflected on the architectural site plans. The exterior overhead lighting in the parking lot is reflected on the landscape plans.

Comment: Articulate the ground plane at pavement markings & crosswalks.

Response: A combination of materials and colors has been incorporated into the passenger drop-off/pick up sidewalk and at the cross-walks to the parking lot. These include the use of oyster shell concrete finish. This is reflected on the architectural site plan and site details sheets.

Comment: Consider use of tabby on columns.

Response: Architect proposes using an acrylic waterproof coating on the exterior concrete columns (Coating 1). This was chosen to provide a stucco-like appearance that is highly durable and can be recoated if necessary. This is reflected on the physical samples board.

Comment: Consider an outdoor hangout area.

Response: After consideration of available exterior areas, the design team believes that the covered passenger drop-off/pick up sidewalk with benches will meet the needs of visitors waiting on arriving passengers and will provide a safe and secure area.

Comment: Exterior goose-neck light fixture at canopy feels a little tight.

Response: As an alternative, the E25 turn-down mount (shown on the light fixture cut sheet) could be used.

HXD TERMINAL EXPANSION BRACKET SCHEDULE

Bracket BR-1 (36"x36"x6")
Bracket BR-2 (24"x24"x4")



Bracket BR-3 (108"x30"x6")



Bracket BR-4 (30"x6"x6")





Hartranft Lighting Design

Architectural Lighting Solutions

HILTON HEAD AIRPORT TERMINAL RENOVATION AND EXPANSION

LIGHTING CUTSHEETS UPDATE

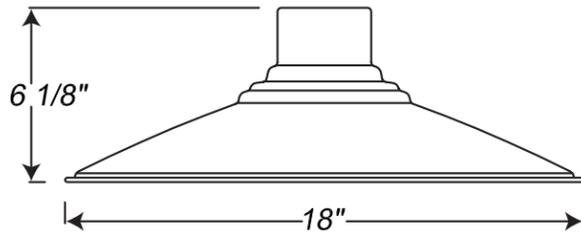
2021-03-11

HILTON HEAD AIRPORT

Project: TYPE HEX-A

Fixture Type: _____ Quantity: _____

Customer: _____



Specifications

Material:
RLM shades are constructed of heavy duty spun aluminum. Wall back plate and driver housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

Electrical:
Universal voltage 120-277 is standard. 0-10V, TRIAC and ELV dimming to 1% protocols are standard for LED modules. (12w is 120v and TRIAC dimming only)

See page 2 table for LED module and driver specs, voltage and dimming protocols.

Certifications:
Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.



Finish:
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

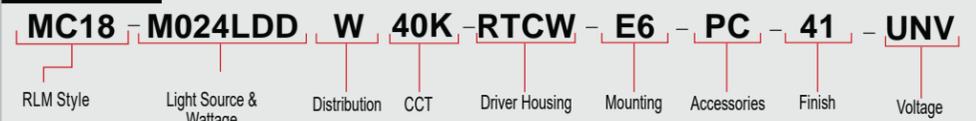
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

Modifications:
Consult factory for custom or modified designs.

MC18 LED

Weight: 2 lbs

Catalog Logic



Catalog Number	1	2	3	4	5	6	7	8
MC18								UNV

1	LIGHT SOURCE & WATTAGES
M012LDN	(12w, 750 lumen, Cree module) Integral driver, 120V, TRIAC dimming & narrow distribution only.
M009LDD	(9w, 850 lumen, Cree module)
M010LDD	(10w, 1250 lumen, Cree module)
M016LDD	(16w, 2000 lumen, Cree module)
M024LDD	(24w, 3000 lumen, Cree module)

2	DISTRIBUTION
W	(T5 Wide Distribution with Dome LED Lens)
N*	(T5 Narrow Distribution with Flat LED Lens)
*12w is narrow only, select "N".	

3	COLOR TEMPERATURE (CCT)
27K	(2700K)
30K	(3000K)
35K	(3500K)
40K	(4000K)

4	DRIVER HOUSINGS*
NA	(Housing not required for 12w)
Wall Mount Options Choose Arm in Box 5	
RTCW	(Driver Housing for Wall only (E-arms); 6 1/2" OD x 5 5/8" H)
SRTCW	(Smooth Driver Housing for Wall only (E-arms); 6" OD x 2 7/8" H)
RTCNCW	(Driver Housing/No Spun Cover for Wall only (E-arms); 5 7/8" OD x 2 5/8" H)
Cord Mount Options Choose Cord Style in Box 5	
CRD-RTCC	(Driver Housing for Cord only; 6 1/2" OD x 5 5/8" H)
CRD-SRTCC	(Smooth Driver Housing for Cord only; 6" OD x 2 7/8" H)
CRD-RTCNC	(Driver Housing/No Spun Cover for Cord only; 5 7/8" OD x 2 5/8" H)
Cable Mount Options Choose Cord Style in Box 5	
SSC-RTCC	(Driver Housing for SS Cable/Cord only; 6 1/2" OD x 5 5/8" H)
SSC-SRTCC	(Smooth Driver Housing for SS Cable/Cord only; 6" OD x 2 7/8" H)
SSC-RTCNC	(Driver Housing/No Spun Cover for SS Cable/Cord only; 5 7/8" OD x 2 5/8" H)
Stem Mount Options Choose Stem Size in Box 5	
ST-RTCC	(Driver Housing for Stem only; 6 1/2" OD x 5 5/8" H)
ST-SRTCC	(Smooth Driver Housing for Stem only; 6" OD x 2 7/8" H)
ST-RTCNC	(Driver Housing/No Spun Cover for Stem only; 5 7/8" OD x 2 5/8" H)
Emergency Backup Housing Options Choose EMG Driver in Box 7	
CRD-DCCEM	(Emergency Ballast Housing for Cord only; 12" OD x 1 1/2" H) Choose Cord Style in Box 5.
ST-DCCEM	(Emergency Ballast Housing for Stem only; 12" OD x 1 1/2" H) Choose Stem Size in Box 5.
SSC-DCCEM	(Emergency Ballast Housing for SS Cable/Cord only; 12" OD x 1 1/2" H) Choose Cord Style in Box 5.
Driver Housing finish will match fixture finish.	

5	MOUNTING SOURCES*
Arm Mounts	
E3 E4 E6 E8 E9 E10 E11 E12 E15 E18 E24 E25	E36
Wall Mounts	
WM40 WM54 WM74 WM317	
Post Mounts	
PM10 PM20 PM30 PM40 PM50 PM319	
Cord Mounts Color & Style (See page 4 for color cord style)	
SJT Cord	
BLC (6' Black SJT Cord)	WHC (6' White SJT Cord)
Solid Fabric Colored Cords	
BLSF (6' Black)	ORSF (6' Orange)
GYSF (6' Gray)	LGSF (6' Lime Green)
CHSF (6' Chocolate Brown)	KGSF (6' Kelly Green)
WHSF (6' White)	CBSF (6' Cobalt Blue)
CASF (6' Cardinal)	SBSF (6' Sky Blue)
Patterned Fabric Colored Cords	
BWHPF (6' Black/White Houndstooth)	BIHPF (6' Brown/Ivory Houndstooth)
GYCPF (6' Gray/Citrus Yellow)	MOSPF (6' Magenta/Orange Stripe)
NMTPF (6' Navy Mini Tweed)	
Glossy Fabric Colored Cords	
GMGF (6' Gun Metal)	SSGF (6' Sterling Silver)
CPGF (6' Copper Penny)	BRGF (6' Bronze)
GOGF (6' Gold)	
Stem Mounts	
1/2" (13/16" OD) Rigid Stems	
2ST6 2ST12 2ST18	3ST6 3ST12 3ST18
2ST24 2ST36 2ST48	3ST24 3ST36 3ST48
2ST60 2ST72 2ST96	3ST60 3ST72 3ST96
*Arm mounts, Wall mounts or Stem finish will match fixture finish.	

HILTON HEAD AIRPORT

Project: TYPE HEX-A
 Fixture Type: _____ Quantity: _____
 Customer: _____

6 ACCESSORIES*	
*EMG-LED06	(6w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED) MUST CHOOSE DCCEM CANOPY IN BOX 4.
*EMG-LED10	(10w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED) MUST CHOOSE DCCEM CANOPY IN BOX 4.
*EMG-LED16	(16w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED) MUST CHOOSE DCCEM CANOPY IN BOX 4.
*EMG-LED20	(20w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED) MUST CHOOSE DCCEM CANOPY IN BOX 4.
GR18	(18" Wire Grill)**
PC	(Button Photo Cell) Remote Only
SC	(Scroll for Arms)**
SLC	(Sloped Ceiling Mount Canopy, 20° Max)**
SQ	(Square Back Plate)**
SWL	(Adjustable Locking Swivel)**
TBK	(Turn Buckle Kit)**
*For Emergency lumen output data; see Resources section at www.ANPlighting.com	
Accessory finish will match fixture finish.	

Aspen Green	10	10M	High Gloss Black	01	01M
Cantaloupe	11	11M	Arctic Silver	14	14M
Lilac	12	12M	Candy Apple Red	64	64M
Putty	13	13M	Cobalt Blue	65	65M
Raw Unfinished	40	NA	Caramel	66	66M
Black	41	41M	Butterscotch	67	67M
Forest Green	42	42M	Black Silver	68	68M
Bright Red	43	43M	Gunmetal Gray	69	69M
White	44	44M	Mayan Gold	79	NA
Bright Blue	45	45M	Textured Desert Stone	80	80M
Sunny Yellow	46	46M	Extreme Chrome	81	81M
Aqua Green	47	47M	Graystone	82	82M
Galvanized	49	NA	Oil Rubbed Bronze	83	83M
Navy	50	50M	Carbon Graphite	96	96M
Architectural Bronze	51	51M			
Patina Verde	52	52M			
Copper Clay	53	53M			
Silver	56	56M			
Black Verde	61	61M			
Painted Chrome	70	70M			
Painted Copper	71	71M			
Textured Black	72	72M			
Matte Black	73	73M			
Textured Architectural	76	76M			
Textured White	77	77M			
Textured Silver	78	78M			
Consult Factory for additional paint charges and availability.					

8 VOLTAGE	
UNV	(120-277)

	2700K	850	11W	97
	3500K	850	11W	97
	2700K	1250	12W	125
	3500K	1250	12W	125
	2700K	750	12W	65
	3500K	750	12W	65
	2700K	2000	19W	125
	3500K	2000	19W	125
	2700K	3000	29W	125
	3500K	3000	29W	125

- Efficacy 65-125 lumens per watt
- Color temp: 2700K, 3000K, 3500K and 4000K

- Fully compliant with the RoHS Directive

- Input Voltage: 120-277 Volts; 50/60Hz
- 0-10V, TRIAC and ELV dimming protocols are standard. (12w is 120v and TRIAC dimming only)
- Driver Efficiency > 80%; Power Factor > 0.9

See www.ANPlighting.com for complete fixture warranty.

- 5 year limited warranty*

HILTON HEAD AIRPORT

Project: TYPE HEX-A

Fixture Type: _____ Quantity: _____

Customer: _____

ARM MOUNTS | Dimensions are Projection x Height | CB included with all arms | Arm will match fixture finish



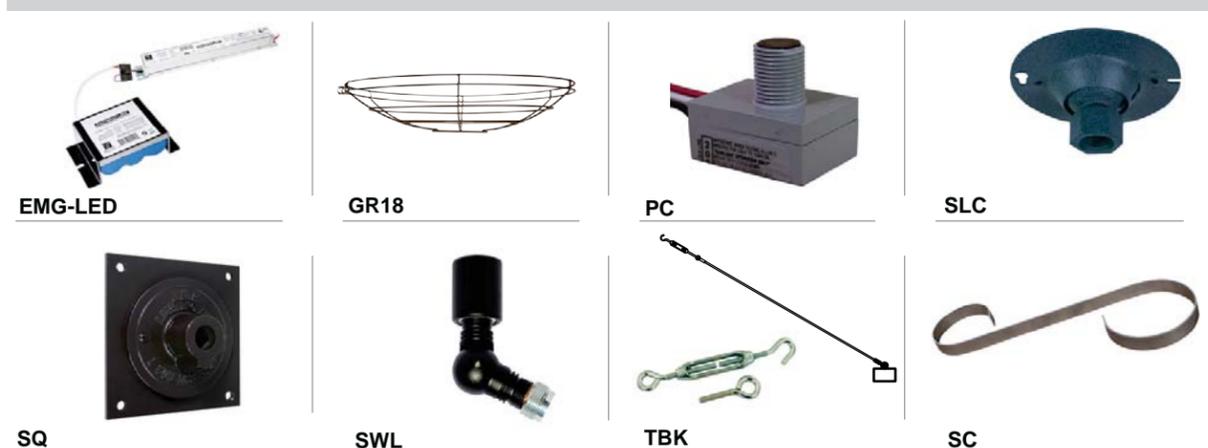
Driver Housings

	RTCW (6 1/2" OD x 5 5/8" H) Wall Only (E-arms)
	RTCNCW (5 7/8" OD x 2 5/8" H) Wall Only (E-arms)
	SRTCW (6" OD x 2 7/8" H) Wall Only (E-arms)
	ST-RTCC (6 1/2" OD x 5 5/8" H) Stem Only
	CRD-RTCC (6 1/2" OD x 5 5/8" H) Cord Only
	SSC-RTCC (6 1/2" OD x 5 5/8" H) Cable Only
	ST-RTCNC (5 7/8" OD x 2 5/8" H) Stem Only
	CRD-RTCNC (5 7/8" OD x 2 5/8" H) Cord Only
	SSC-RTCNC (5 7/8" OD x 2 5/8" H) Cable Only
	ST-SRTCC (6" OD x 2 7/8" H) Stem Only
	CRD-SRTCC (6" OD x 2 7/8" H) Cord Only
	SSC-SRTCC (6" OD x 2 7/8" H) Cable Only
	ST-DCCEM (12" OD x 1 1/2" H) Stem Only
	CRD-DCCEM (12" OD x 1 1/2" H) Cord Only
	SSC-DCCEM (12" OD x 1 1/2" H) Cable Only

WALL MOUNTS | Dimensions are Projection x Height | **POST MOUNTS** | Dimensions are Projection x Height



ACCESSORIES



LED ceiling mounted downlight - wide beam

BEGA

Application

This compact LED ceiling mounted downlight is designed for down lighting atriums, canopies, passages, and other interior and exterior locations featuring a symmetrical wide beam light distribution.

Materials

Luminaire housing constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
 Clear safety glass
 Reflector made of pure anodized aluminum
 High temperature silicone gasket

NRTL listed to North American Standards, suitable for wet locations

Protection class IP 65

Weight: 2.2 lbs

Electrical

Operating voltage	120-277VAC
Minimum start temperature	-30° C
LED module wattage	4.9W
System wattage	7W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	532 lumens (3000K)
Lifetime at Ta = 15° C	>500,000 h (L70)
Lifetime at Ta = 40° C	425,000 h (L70)

LED color temperature

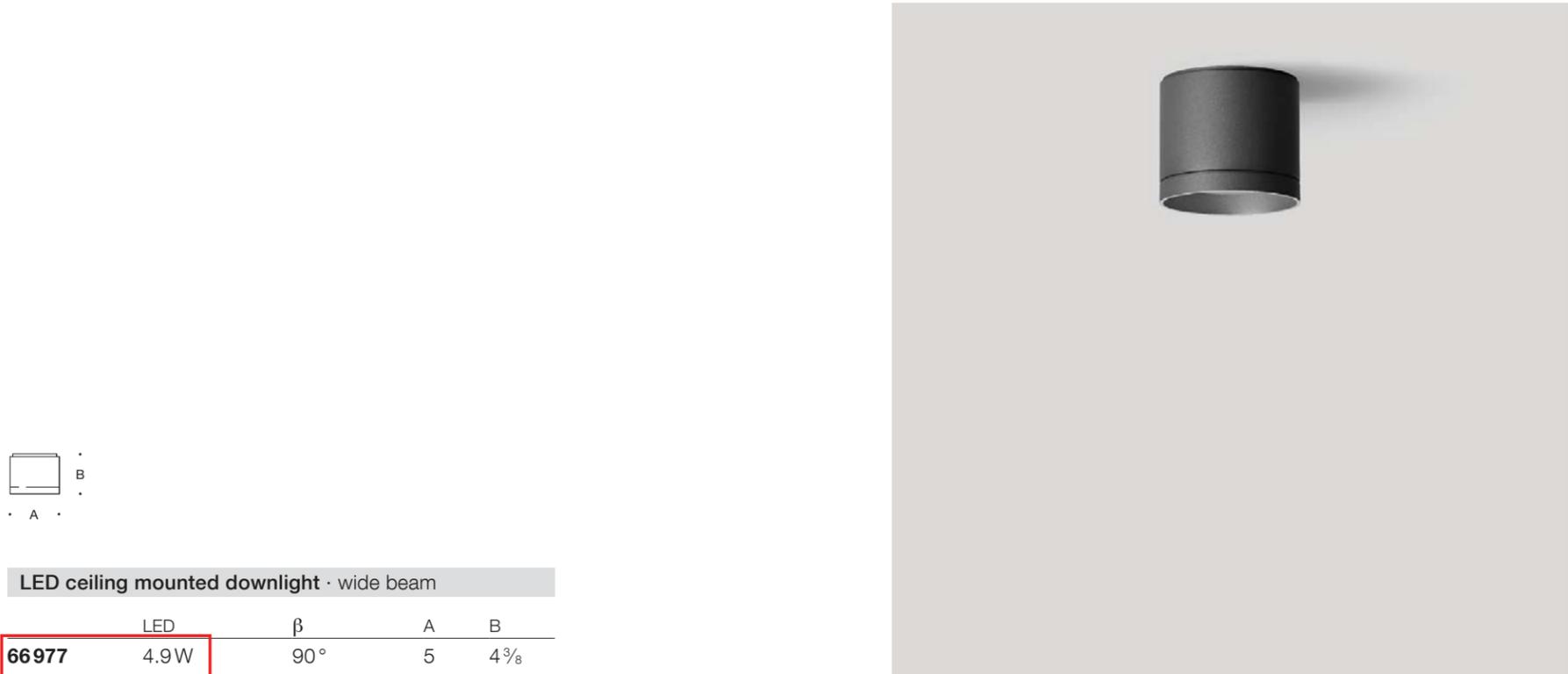
- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3 (EXPRESS)**
- 2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

- Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:



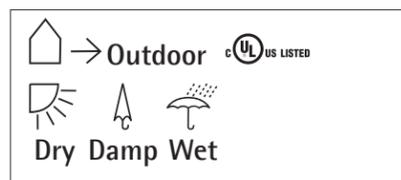
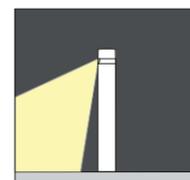
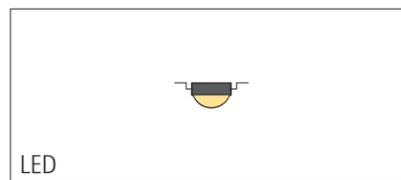
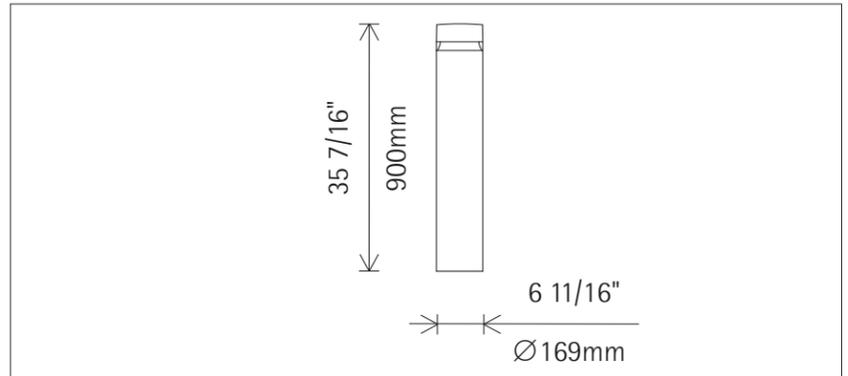
LED ceiling mounted downlight · wide beam				
	LED	β	A	B
66977	4.9W	90°	5	4 3/8

β = Beam angle

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
 © copyright BEGA 2018 Updated 07/11/18

Floor washlight

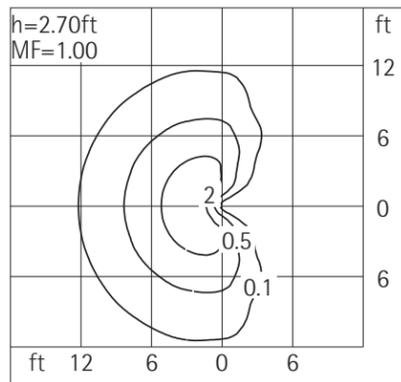


35748.023 Graphit m
 LED 12W 1260lm 3000K warm white
 0-10V dimmable
 Version 2

Product description

For mounting on accessories.
 Bollard: corrosion-resistant aluminum profile, No-Rinse surface treatment. Double powder-coated. Optimized surface for reduced accumulation of dirt.
 Upper cover and base plate: corrosion-resistant cast aluminum, No-Rinse surface treatment. Double powder-coated. Base plate for mounting on ground socket, concrete anchor or mounting plate.
 Control gear 120V/277V, 60Hz, dimmable. 2 cable entries. Through-wiring possible. 5 terminals.
 LED module: high-power LEDs on metal-core PCB.
 180° light guidance ring made of optical polymer.
 Anti-glare cone: corrosion-resistant cast aluminum, No-Rinse surface

treatment. double powder-coated and black lacquered.
 Glare-free above the light aperture.
 Mounting accessories to be ordered separately.
 Suitable for wet location (IP65): dust-proof and water jet-proof.
 Dimming with external dimmers possible (0-10V).
 Weight 21.43lbs / 9.72kg
 Maximum wind load area 1.61ft² / 0.15m²
 Version with 3000K CRI 97 or 2700K, 3500K, 4000K CRI 92 available on request.



Technical data

Luminous flux of the luminaire	236lm
Connected load	14.0W
Luminaire efficacy	17lm/W
Color deviation	1.5 SDCM
Color rendition index	CRI 92
Lumen maintenance (LED manufacturer specifications)	L90/B10 ≤50000h L90 ≤100000h
LED failure rate	0.1% ≤50000h
LMF	E

For your regional contact in the ERCO Sales network click here
www.erco.com/contact

Technical region: 120V/60Hz, 277V/60Hz
 We reserve the right to make technical and design changes.
 Edition: 13.10.2020
 Current version under
www.erco.com/35748.023

Planning data

Cleaning (a)	1				2				3			
	P	C	N	D	P	C	N	D	P	C	N	D
Ambient conditions												
LMF	0.96	0.94	0.90	0.86	0.93	0.91	0.86	0.81	0.92	0.90	0.84	0.79
RSMF	0.97	0.95	0.91	0.86	0.97	0.94	0.90	0.86	0.97	0.94	0.90	0.86
Hours of operation (h)	1000	5000	10000	20000	30000	40000	50000					
LLMF	1.00	0.99	0.98	0.96	0.94	0.92	0.90					
LSF	1	1	1	1	1	1	1					

- MF LMFxRSMFxLLMFxLSF
- MF Maintenance Factor
- LMF Luminaire Maintenance Factor
- RSMF Room Surface Maintenance Factor
- LLMF Lamp Lumens Maintenance Factor
- LSF Lamp Survival Factor
- P Room pure
- C Room clean
- N Room normal
- D Room dirty

Technical data based on international standards and directives

- IEC 60598 Luminaires – Parts 1 + 2: General requirements, particular requirements and tests
- IEC 62031 LED modules for general lighting – Safety specifications
- IEC 62471 Photobiological safety of lamps and lamp systems
- UL 1598 Luminaires
- UL 1574 Standard for Track Lighting Systems
- UL 8750 Standard for Light Emitting Diode (LED) Equipment for Use in Lighting Products
- IES LM-79-08 Electrical and Photometric Measurements of Solid-State Lighting Products
- IES LM-80-08 Measuring Lumen Maintenance of LED Light Sources
- CIE 13 Method of measuring and specifying color rendering properties of light sources

All technical data are subject to industry standard tolerances.
 See also www.ercos.com/ercos-led



PAINT P-1B:
FIBER CEMENT SIDING COLOR



FIBER CEMENT FC-1A:
VERTICAL SIDING PANELS



FIBER CEMENT FC-1B:
VERTICAL SIDING PANELS



FIBER CEMENT FC-2:
HORIZONTAL SIDING PANELS



PAINT P-3B:
FIBER CEMENT SIDING, BRACKETS,
CANOPY TRIM, EXTERIOR RAILINGS



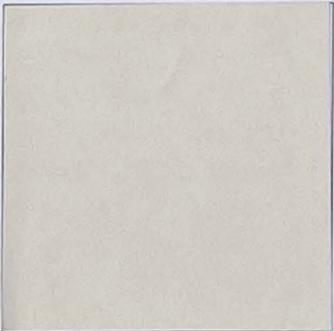
EIFS W/ ACRYLIC WATERPROOF
COATING 1: ENTRY VESTIBULES,
CANOPY COLUMNS



EIFS W/ ACRYLIC WATERPROOF
COATING 2: ENTRY VESTIBULES
WAINSCOT COLOR



ALUM. STOREFRONT DOOR,
WINDOW FRAMES,
EXTERIOR LOUVERS



PAINT P-4:
FIBER CEMENT TRIM COLOR



STANDING SEAM METAL ROOF COLOR



"GLAZE THIS SIDE IN"
Glass Dynamics Inc.

041450 008 B578 batch #208614
NC GLAZING & FABRICATION
Job / Proj:
Tag: 28
12" x 12" Order Qty - 2
1"IG, SB60 #2
Glass (1) 1/4 SOLARBAN 60 CLEAR AN
A/S : 1/2" MILL
Glass (2) 1/4 CL AN
int
Glass (3)
Order # :217454 Item # 1
DATE DUE - 04/17/20
PRESS GLASS, Inc.
(338) 873-2393 www.pressglass.us



GLAZING THIS SIDE IN
Glass Dynamics Inc.

04/14/20 JOB # 8578 DASH # 208814
NC GLAZING & FABRICATION
Job / Proj:
Tag: 28
12" x 12" Order Qty - 2
1" IG, SB60 #2

Glass (1) 1/4 SOLARBAN 60 CLEAR AN
A/S 1/2" MILL
Glass (2) 1/4 CL AN
int
Glass (3)
Order # 217454 Item # 1
DATE DUE 04/17/20
PRESS GLASS, Inc.
(936) 873-2381 www.pressglass.com



Hilton Head Island Airport Terminal Improvements

120 Beach City Rd
Hilton Head Island, SC 29926

NOT FOR CONSTRUCTION



THE WILSON GROUP
ARCHITECTS

PO Box 5610 Charlotte, NC 28239
704-331-9747 • www.twgarchitects.com

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TALBERT, BRIGHT & ELLINGTON

LANDSCAPE ARCHITECT

J.K. TILLER ASSOC., INC.

STRUCTURAL ENGINEER

STEWART

FIRE PROTECTION, PLUMBING,
MECHANICAL & ELECTRICAL ENGINEERS

SABER ENGINEERING

BAGGAGE HANDLING SYSTEMS

BNP ASSOCIATES, INC.

IT / SECURITY

VERTEX TECHNOLOGY CONSULTANTS

AIRCRAFT SUPPORT SYSTEMS

DK CONSULTANTS

SPECIALTY LIGHTING CONSULTANT

HARTRANFT LIGHTING DESIGN

SIGNAGE & WAYFINDING

TAKEFORM

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REVISIONS

DATE 11/11/2020
PROJECT NUMBER 9221-000
SHEET TITLE

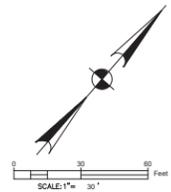
**EXISTING
CONDITIONS
PLAN**

SHEET NUMBER

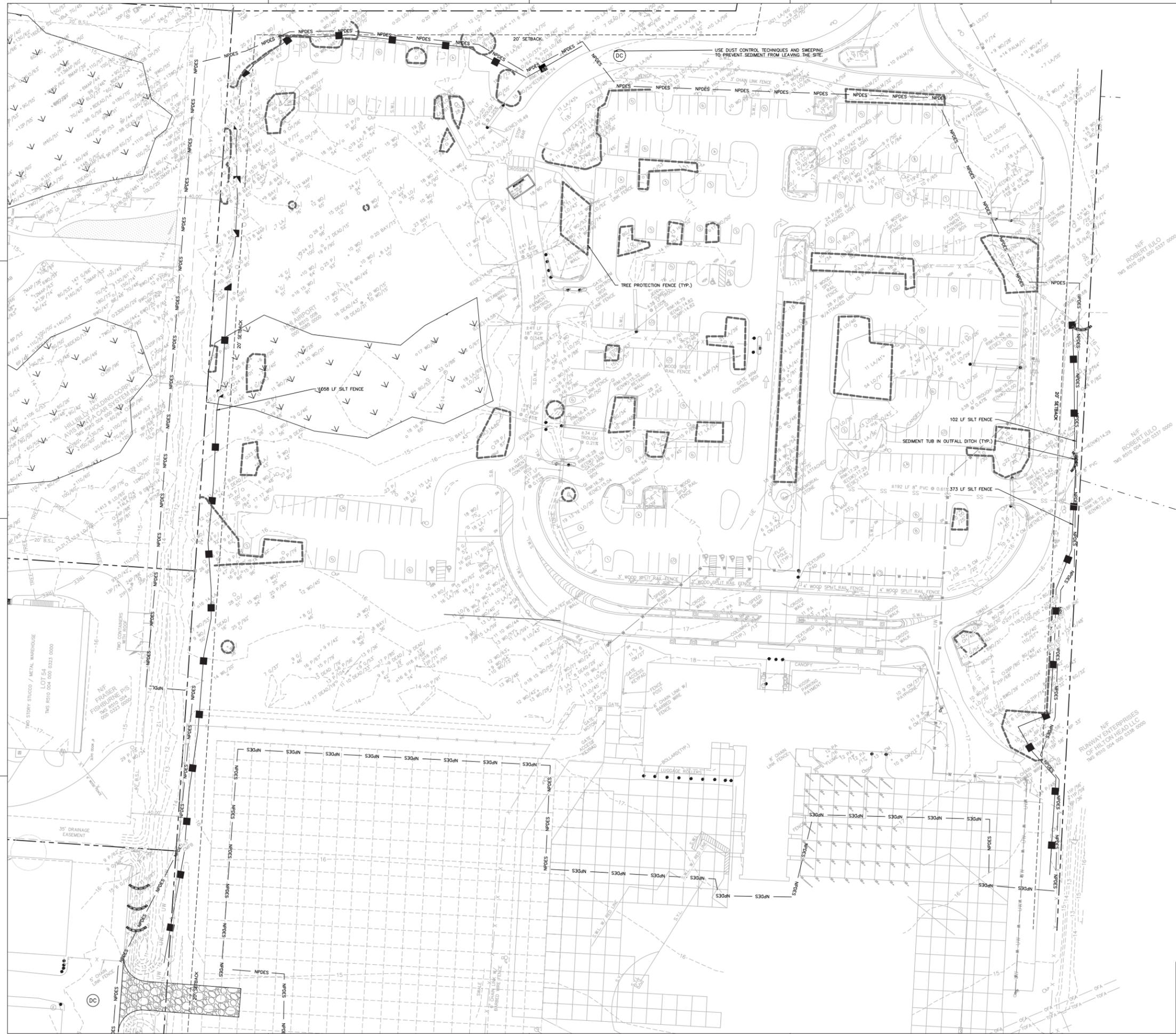
C101



P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2556
WWW.WARDEDWARDS.COM



WE JOB# 100266J



LIMITS OF DISTURBANCE: NPDES	
EROSION PREVENTION	
LAND GRADING:	LO OR (Symbol)
SURFACE ROUGHENING:	(Symbol)
TOPSOILING:	(Symbol)
TEMPORARY SEEDING:	TS
MULCHING:	(Symbol)
EOB OR TRM:	(Symbol)
FGM:	(Symbol)
BFM:	(Symbol)
PERMANENT SEEDING:	PS
SODDING:	(Symbol)
RIPRAP:	(Symbol)
OUTLET PROTECTION:	(Symbol)
DUST CONTROL:	DC
POLYACRYLAMIDE (PAM):	(Symbol)
SEDIMENT CONTROL	
SEDIMENT BASIN:	(Symbol)
TEMPORARY SEDIMENT TRAP:	(Symbol)
ROCK SEDIMENT DIKE:	(Symbol)
ROCK CHECK DAM:	(Symbol)
SEDIMENT TUBE:	(Symbol)
SILT FENCE:	(Symbol)
REINFORCED SILT FENCE:	(Symbol)
TYPE A - FABRIC INLET PROTECTION:	(Symbol)
TYPE A - SEDIMENT TUBE INLET PROTECTION:	(Symbol)
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	(Symbol)
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	(Symbol)
TYPE D - RIGID INLET FILTERS:	(Symbol)
TYPE E - SURFACE COURSE CURB INLET FILTER:	(Symbol)
TYPE F - INLET TUBE:	(Symbol)
TYPE FC - FILTER BAG CURB INLET PROTECTION:	(Symbol)
TYPE FB - FILTER BAG CURB INLET PROTECTION:	(Symbol)
CONCRETE WASHOUT:	(Symbol)
RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	(Symbol)
RIPRAP-LINED CHANNELS:	(Symbol)
EOB OR TRM-LINED CHANNELS:	(Symbol)
PAVED CHANNELS:	(Symbol)
PIPE SLOPE DRAINS:	(Symbol)
TEMPORARY STREAM CROSSING:	(Symbol)
TEMPORARY DIVERSION DITCH OR SWALE:	(Symbol)
PERMANENT DIVERSION DITCH:	(Symbol)
DIVERSION DIKE OR BERM:	(Symbol)
LEVEL SPREADER:	(Symbol)
SUBSURFACE DRAIN:	(Symbol)



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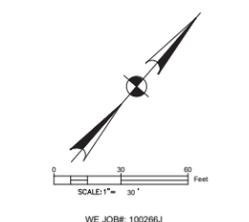
PROJECT NUMBER 9221-000

SHEET TITLE

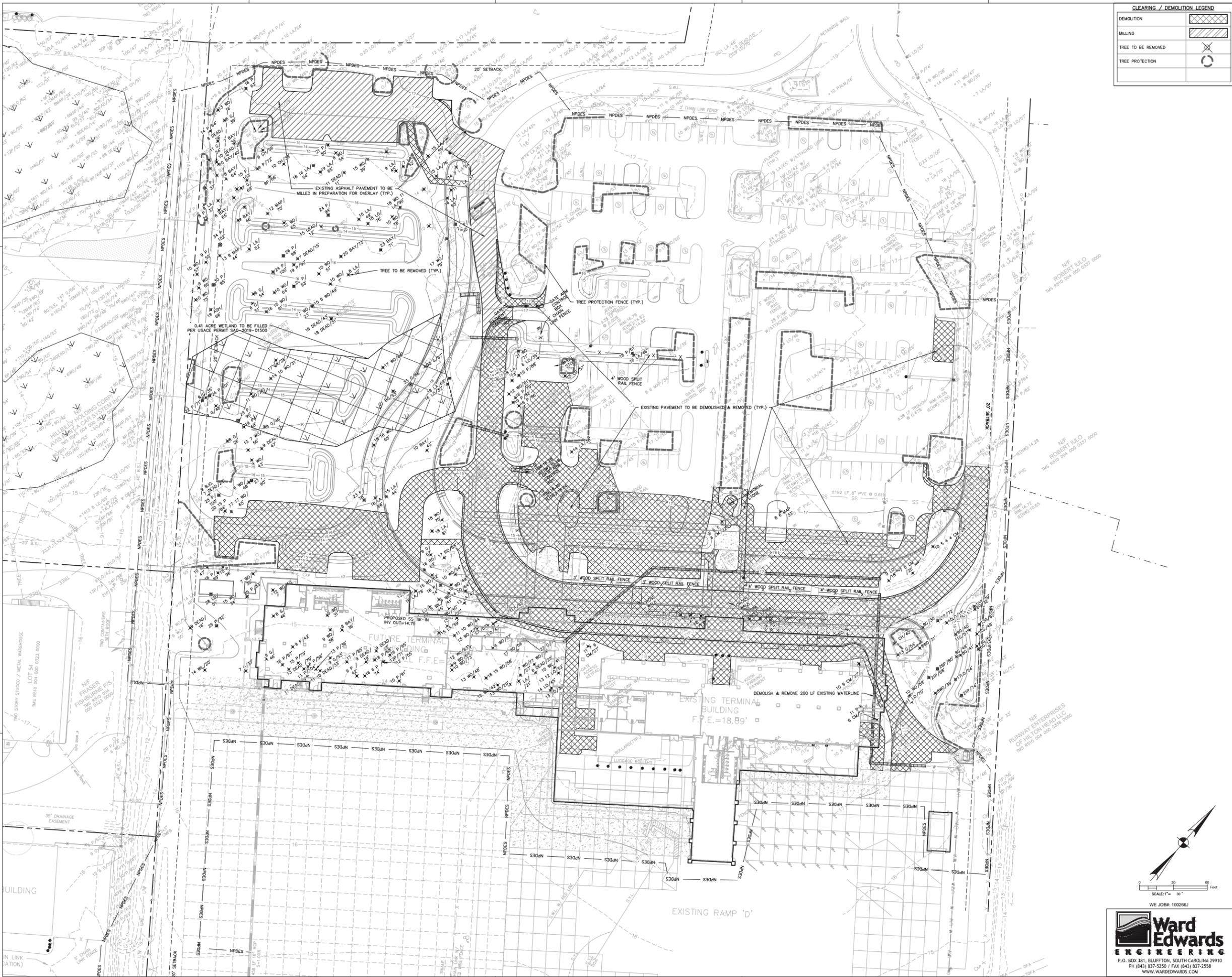
INITIAL EROSION CONTROL PLAN

SHEET NUMBER

C201



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CLEARING / DEMOLITION LEGEND	
DEMOLITION	
MILLING	
TREE TO BE REMOVED	
TREE PROTECTION	



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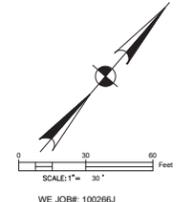
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PROJECT NUMBER 9221-000
SHEET TITLE

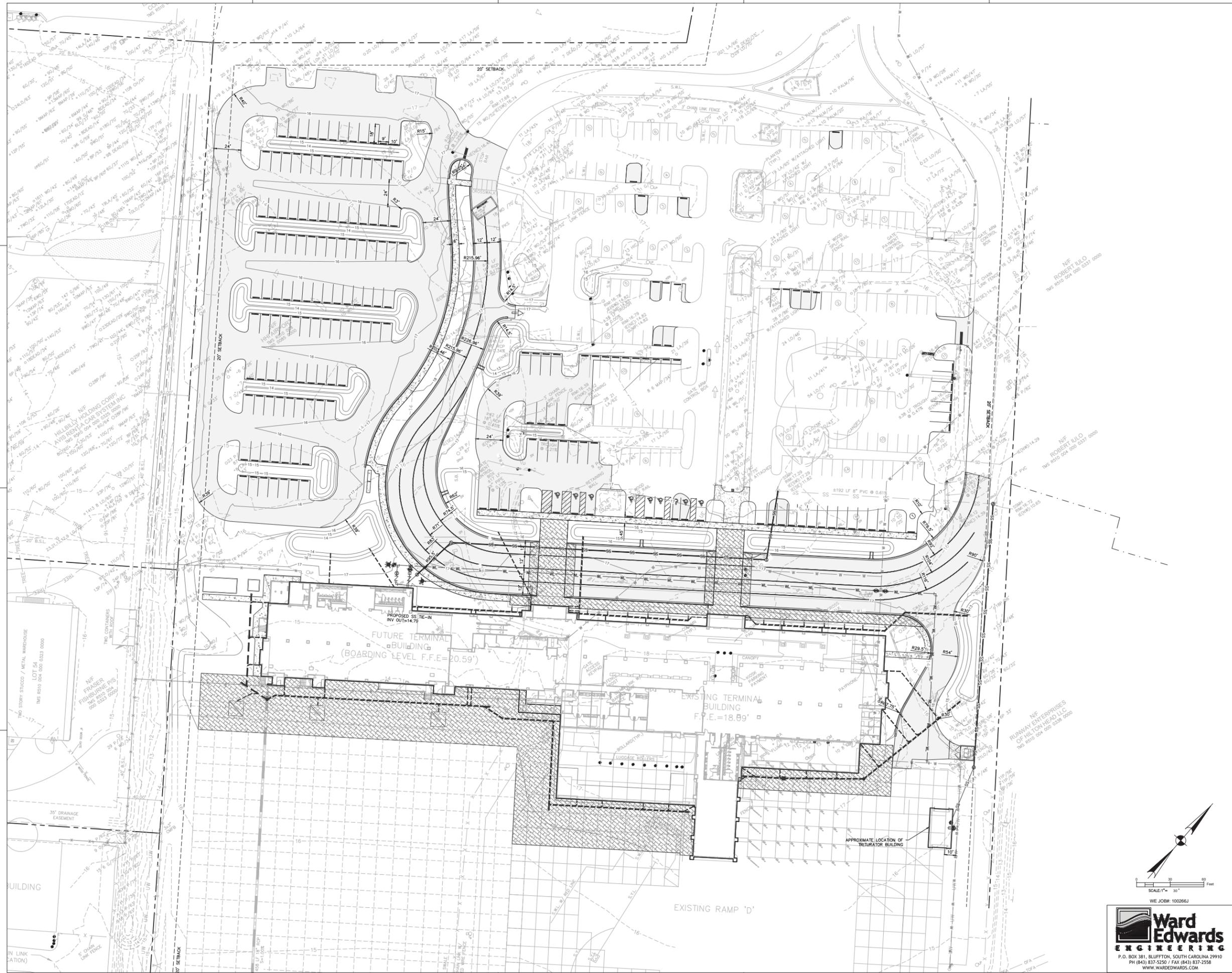
CLEARING & DEMOLITION PLAN

SHEET NUMBER
C301



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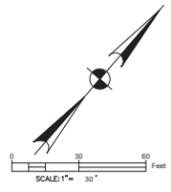
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SHEET TITLE

**SITE LAYOUT
PLAN**

SHEET NUMBER
C401



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GRADING LEGEND	
PROPOSED	TP: 22.50
TOP OF PAVEMENT ELEVATION	TP: 22.50
TOP OF WALK ELEVATION	TP: 22.50
TOP OF CURB ELEVATION	TC: 22.50
FINISH GRADE	FG: 22.5
HIGH POINT	HP
LOW POINT	LP
CONTOUR	19
DITCH CENTERLINE	PD
DIRECTION OF FLOW	
DOORWAY	



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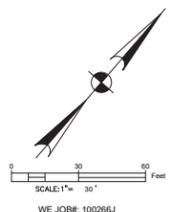
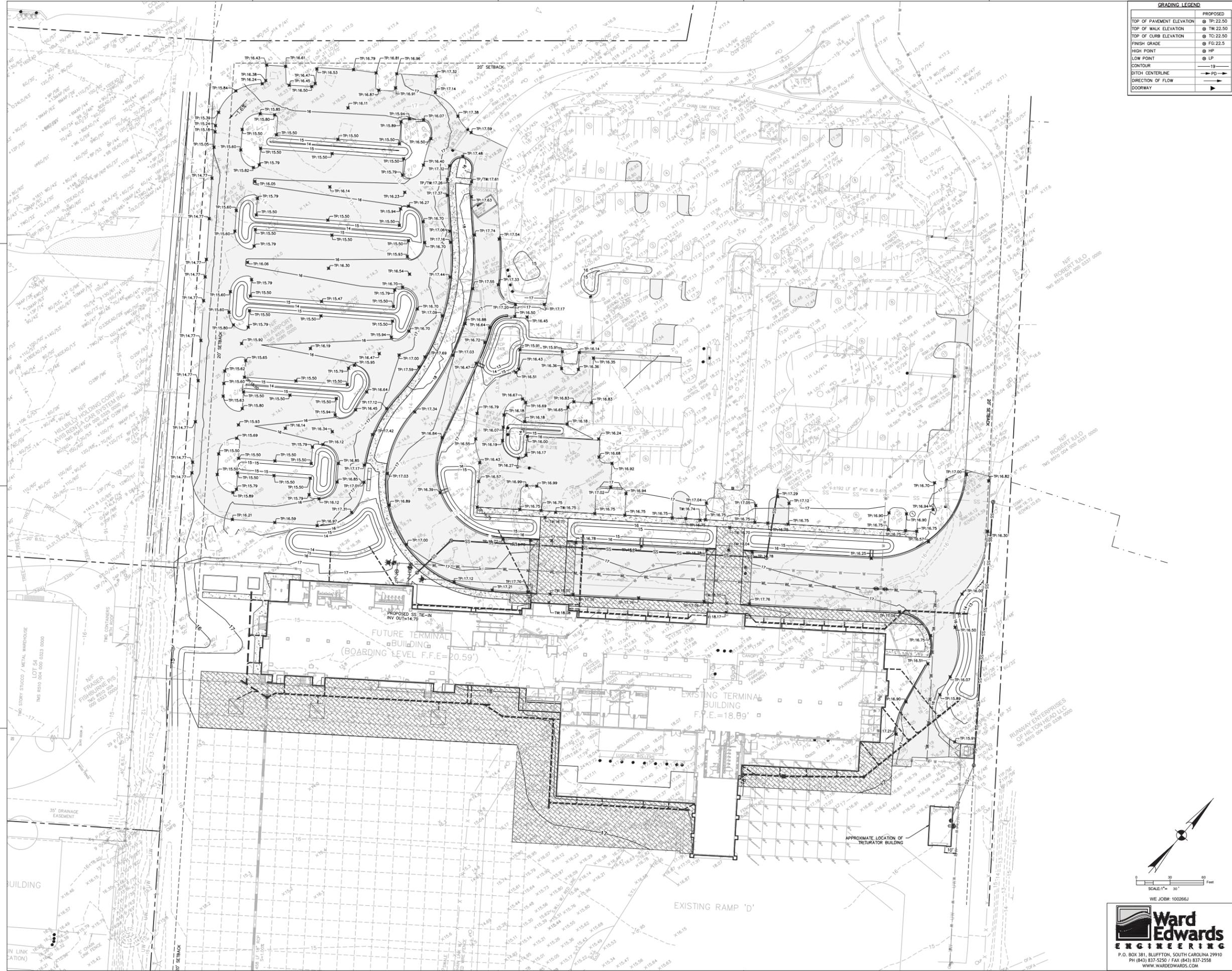
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DATE 11/11/2020
PROJECT NUMBER 9221-000
SHEET TITLE

GRADING PLAN

SHEET NUMBER

C501



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STORM SEWER/DRAINAGE LEGEND	
PROPOSED	
DRIP INLET	DI-A1
CURB INLET (WITH GRATE)	CI-A1
TYPE 16 CURB INLET	CI-A1
VALLEY GUTTER INLET	VI-A1
TRENCH DRAIN	TD-A1
WEIR INLET	WE-A1
YARD INLET	YI-A1
JUNCTION BOX	JB-A1
CLEANOUT	CO
DOWNSPOUT	
STORM DRAIN	
UNDERDRAIN	
ROOF DRAIN COLLECTOR	
FLARED END SECTION	
HEADWALL	
HEADWALL WITH WINGS	
OUTLET CONTROL STRUCTURE	
DITCH CENTERLINE	
DIRECTION OF FLOW	



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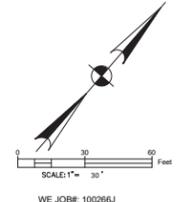
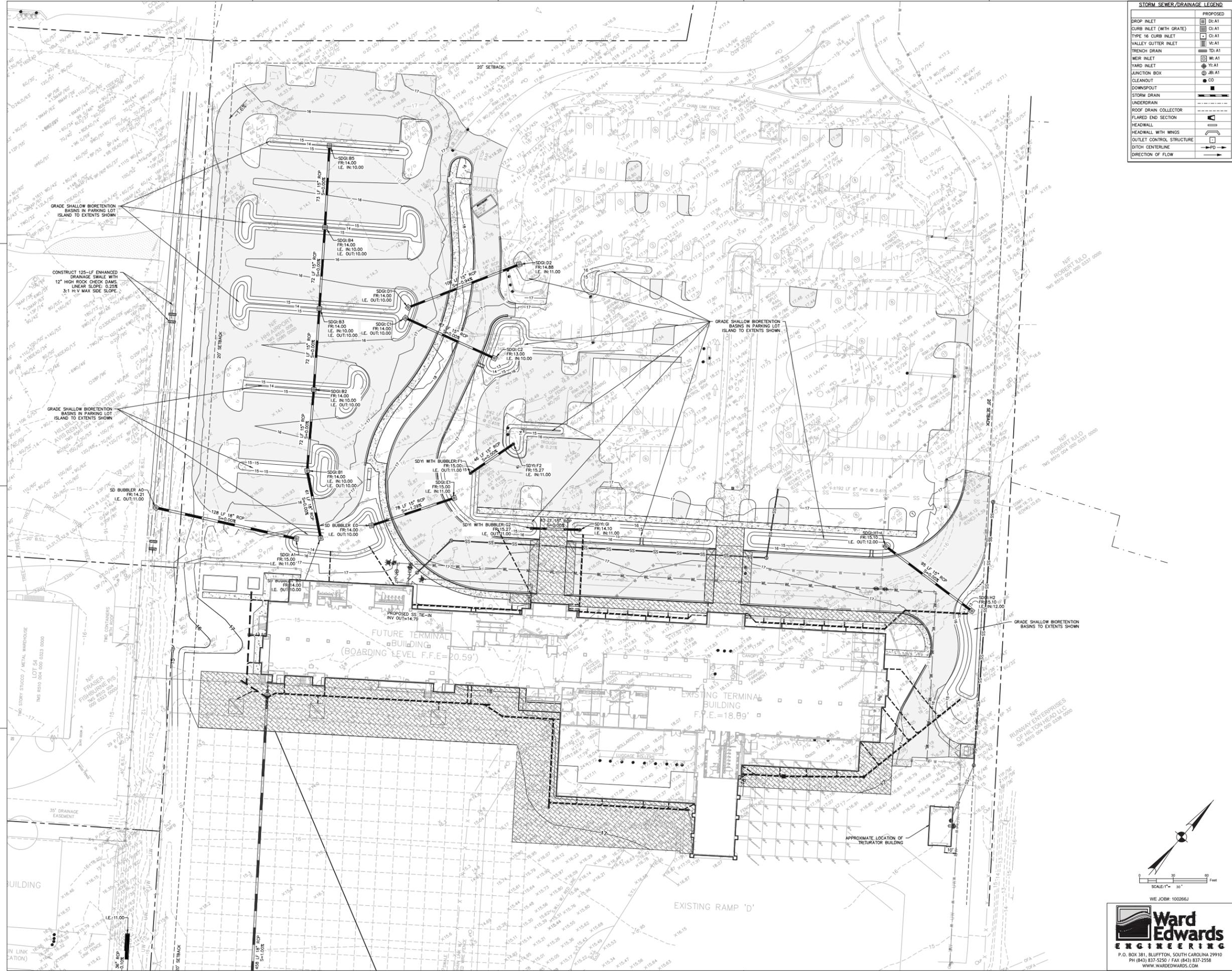
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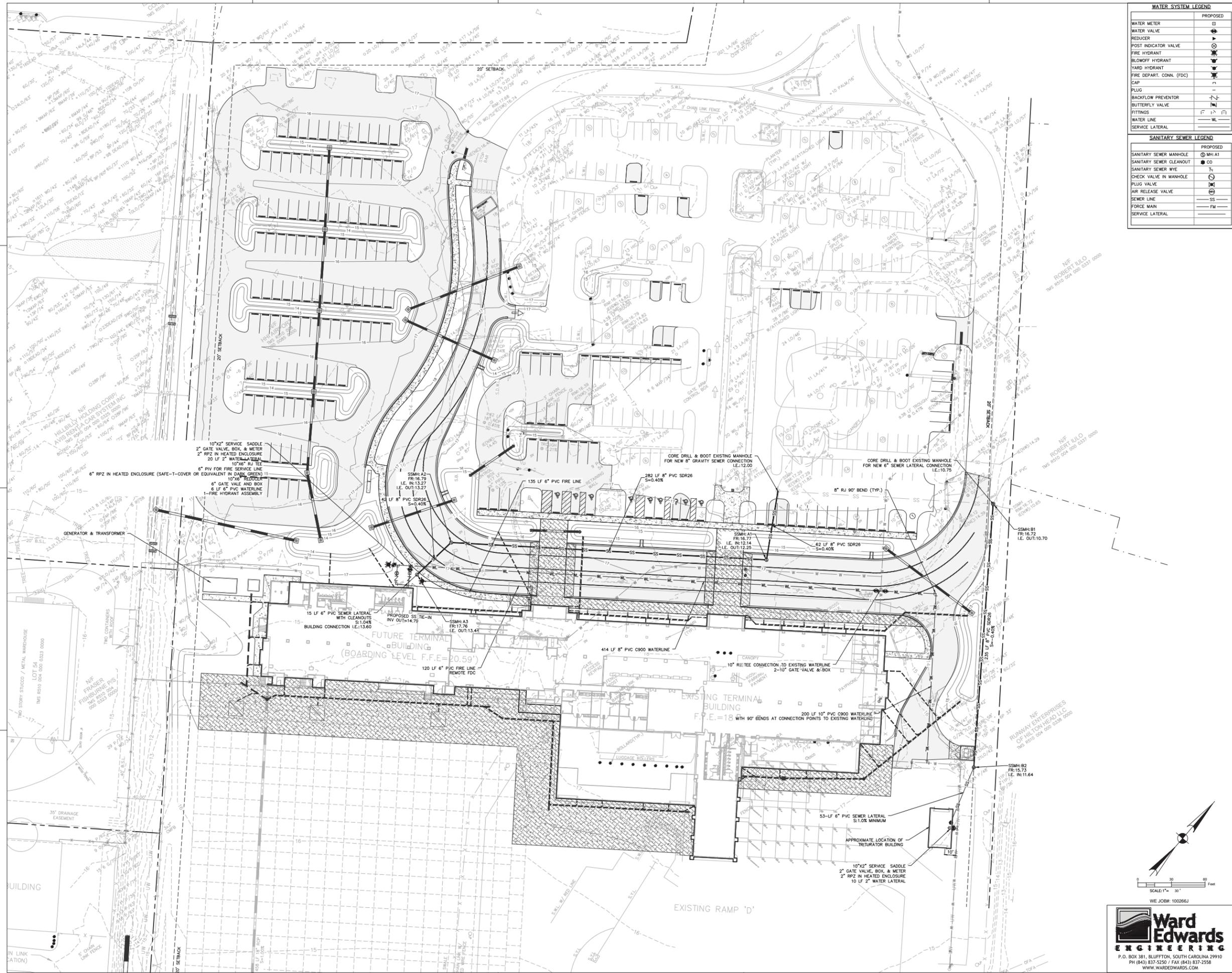
DATE 11/11/2020
PROJECT NUMBER 9221-000
SHEET TITLE

DRAINAGE PLAN

SHEET NUMBER

C601





WATER SYSTEM LEGEND	
	PROPOSED
WATER METER	⊕
WATER VALVE	⊙
REDUCER	⊖
POST INDICATOR VALVE	⊕
FIRE HYDRANT	⊕
BLOWOFF HYDRANT	⊕
YARD HYDRANT	⊕
FIRE DEPART. CONN. (FDC)	⊕
CAP	⊕
PLUG	⊕
BACKFLOW PREVENTOR	⊕
BUTTERFLY VALVE	⊕
FITTINGS	⊕
WATER LINE	—
SERVICE LATERAL	—

SANITARY SEWER LEGEND	
	PROPOSED
SANITARY SEWER MANHOLE	⊕
SANITARY SEWER CLEANOUT	⊕
SANITARY SEWER WYE	⊕
CHECK VALVE IN MANHOLE	⊕
PLUG VALVE	⊕
AIR RELEASE VALVE	⊕
SEWER LINE	—
FORCE MAIN	—
SERVICE LATERAL	—



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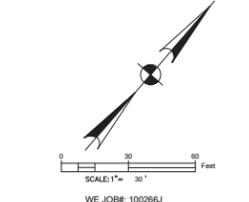
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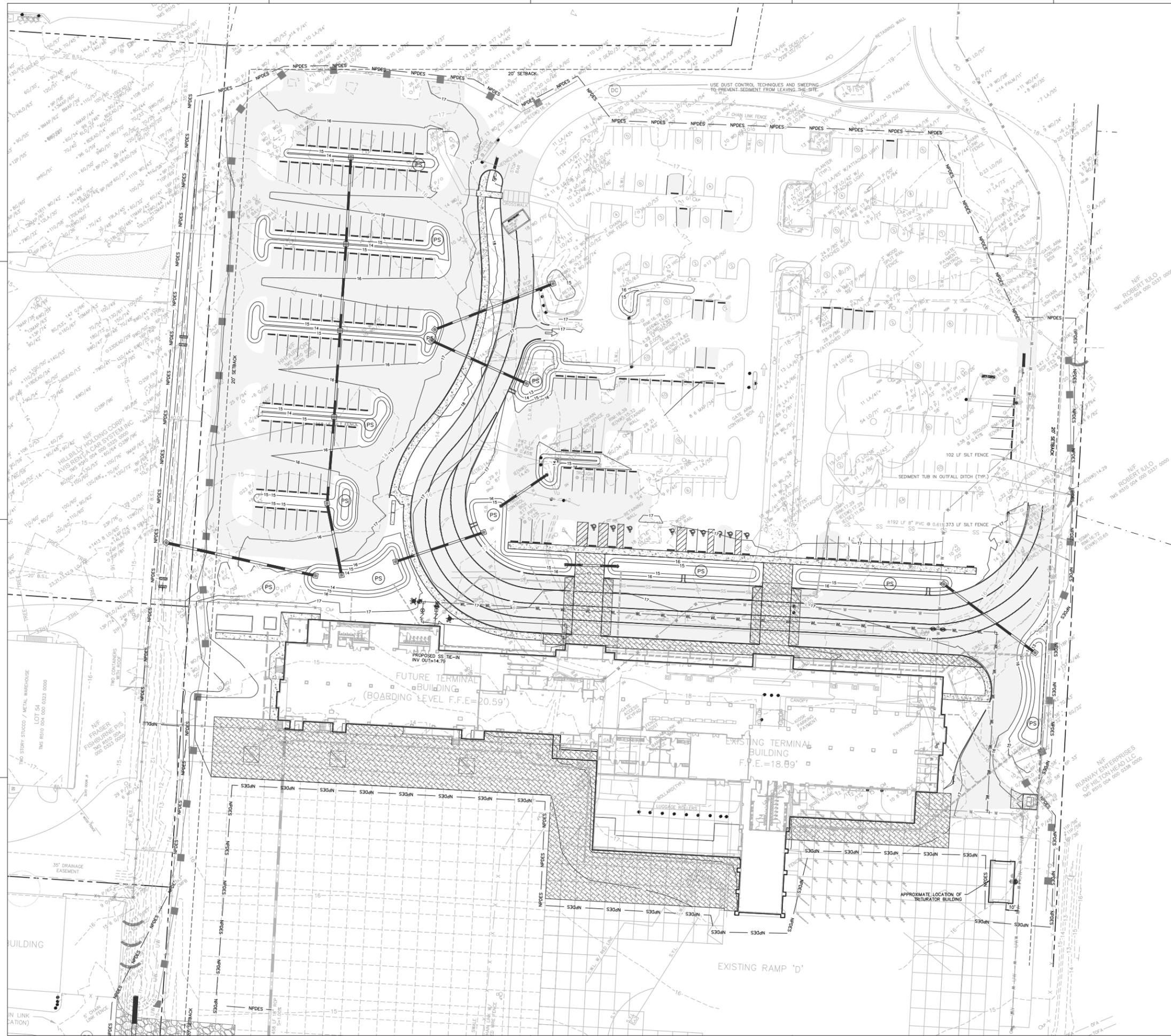
DATE 11/11/2020
PROJECT NUMBER 9221-000
SHEET TITLE

UTILITY PLAN

SHEET NUMBER
C701



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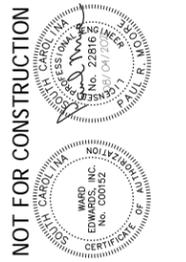


LIMITS OF DISTURBANCE: NPDES	
EROSION PREVENTION	
LAND GRADING:	LO OR (Symbol)
SURFACE ROUGHENING:	(Symbol)
TOPSOILING:	(Symbol)
TEMPORARY SEEDING:	TS
MULCHING:	(Symbol)
EOB OR TRM:	(Symbol)
FGM:	(Symbol)
BFM:	(Symbol)
PERMANENT SEEDING:	PS
SODDING:	(Symbol)
RIPRAP:	(Symbol)
OUTLET PROTECTION:	(Symbol)
DUST CONTROL:	DC
POLYACRYLAMIDE (PAM):	(Symbol)
SEDIMENT CONTROL	
SEDIMENT BASIN:	(Symbol)
TEMPORARY SEDIMENT TRAP:	(Symbol)
ROCK SEDIMENT DIKE:	(Symbol)
ROCK CHECK DAM:	(Symbol)
SEDIMENT TUBE:	(Symbol)
SILT FENCE:	(Symbol)
REINFORCED SILT FENCE:	(Symbol)
TYPE A - FABRIC INLET PROTECTION:	(Symbol)
TYPE A - SEDIMENT TUBE INLET PROTECTION:	(Symbol)
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	(Symbol)
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	(Symbol)
TYPE D - ROAD INLET FILTERS:	(Symbol)
TYPE E - SURFACE COURSE CURB INLET FILTER:	(Symbol)
TYPE F - INLET TUBE:	(Symbol)
TYPE FC - FILTER BAG CURB INLET PROTECTION:	(Symbol)
TYPE FB - FILTER BAG CURB INLET PROTECTION:	(Symbol)
CONCRETE WASHOUT:	(Symbol)
RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	(Symbol)
RIPRAP-LINED CHANNELS:	(Symbol)
EOB OR TRM-LINED CHANNELS:	(Symbol)
PAVED CHANNELS:	(Symbol)
PIPE SLOPE DRAINS:	(Symbol)
TEMPORARY STREAM CROSSING:	(Symbol)
TEMPORARY DIVERSION DITCH OR SWALE:	(Symbol)
PERMANENT DIVERSION DITCH:	(Symbol)
DIVERSION DIKE OR BERM:	(Symbol)
LEVEL SPREADER:	(Symbol)
SUBSURFACE DRAIN:	(Symbol)



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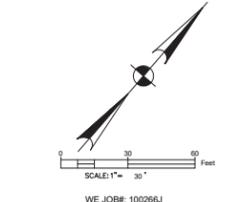
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SHEET TITLE

INTERMEDIATE & FINAL EROSION CONTROL PLAN

SHEET NUMBER

C801



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PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/CONCRETE	
REINFORCED GRASS FIRE LANE	
PROPOSED AGGREGATE/STONES	
PROPOSED ASPHALT (NORMAL DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED CONCRETE PAVERS	



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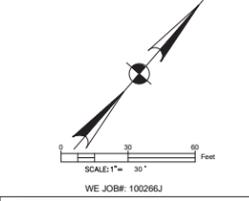
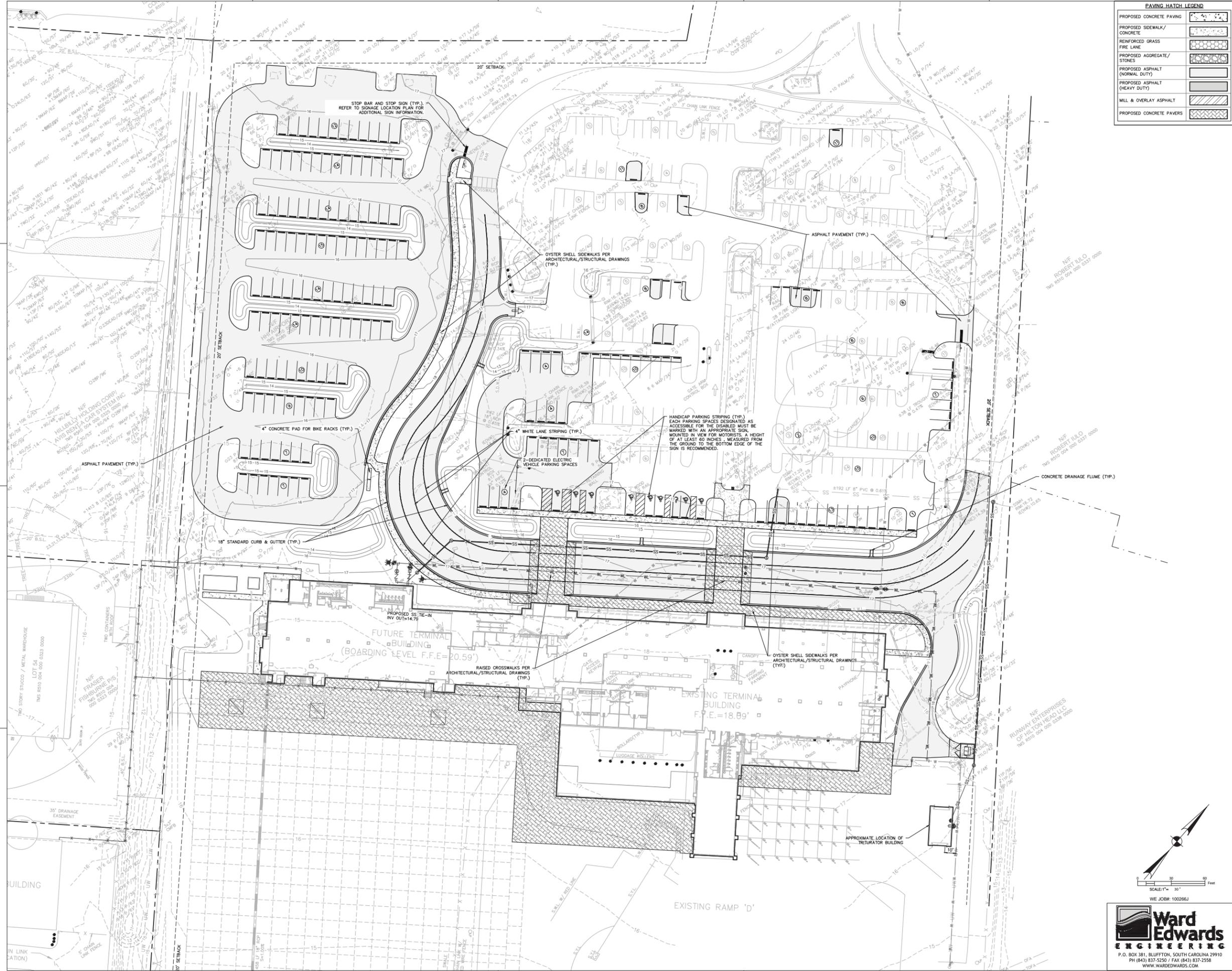
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PROJECT NUMBER 9221-000
SHEET TITLE

PAVING PLAN

SHEET NUMBER

C901



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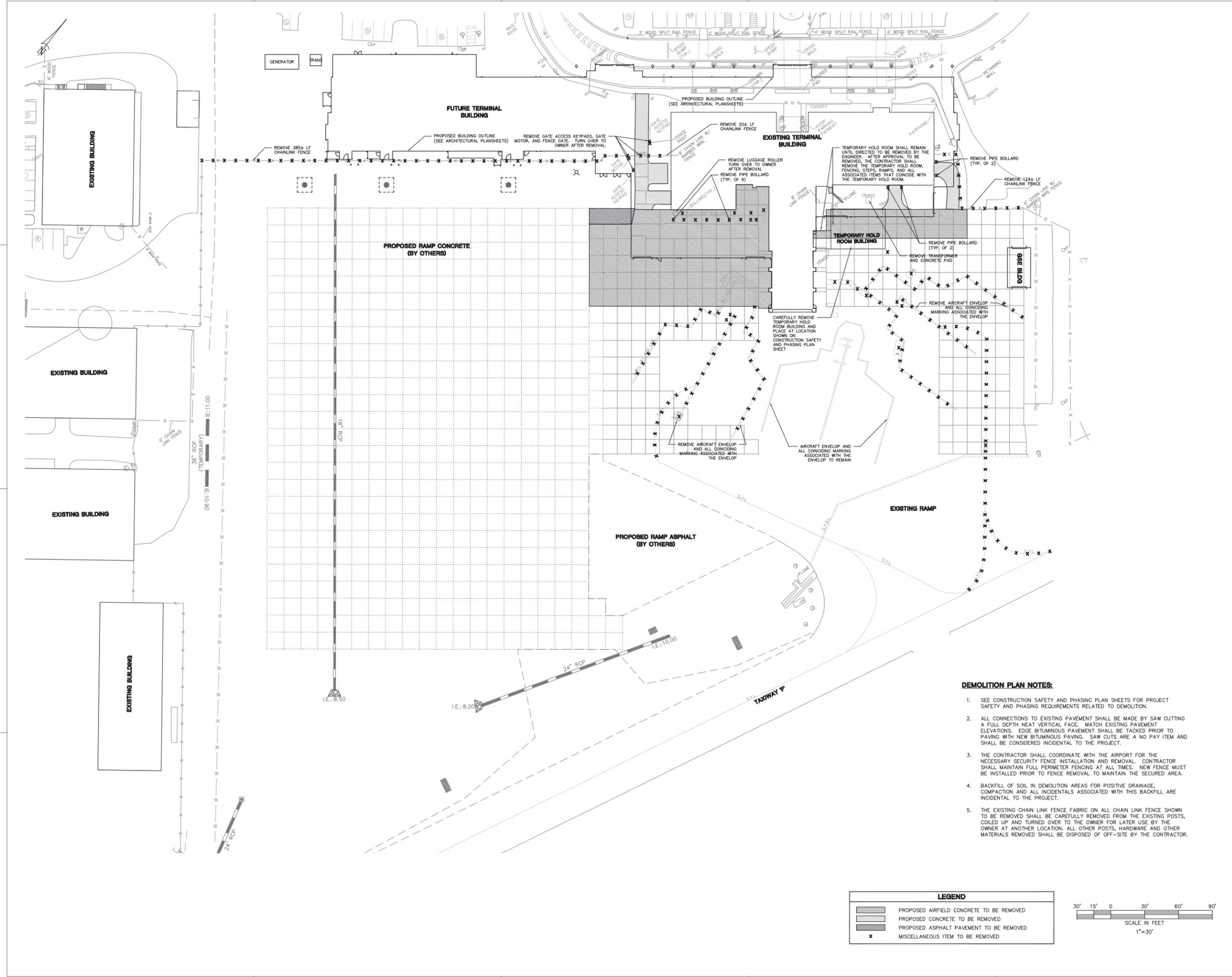
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DATE 00/00/0000
PROJECT NUMBER 0000-000
SHEET TITLE

DEMOLITION PLAN

SCALE IN FEET
1" = 30'

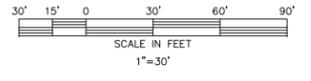
SHEET NUMBER
AC-200



- DEMOLITION PLAN NOTES:**
- SEE CONSTRUCTION SAFETY AND PHASING PLAN SHEETS FOR PROJECT SAFETY AND PHASING REQUIREMENTS RELATED TO DEMOLITION.
 - ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE MADE BY SAW CUTTING A FULL DEPTH NEAT VERTICAL FACE. MATCH EXISTING PAVEMENT ELEVATIONS. EDGE BITUMINOUS PAVEMENT SHALL BE TACKED PRIOR TO PAVING WITH NEW BITUMINOUS PAVING. SAW CUTS ARE A NO PAY ITEM AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
 - THE CONTRACTOR SHALL COORDINATE WITH THE AIRPORT FOR THE NECESSARY SECURITY FENCE INSTALLATION AND REMOVAL. CONTRACTOR SHALL MAINTAIN FULL PERIMETER FENCING AT ALL TIMES. NEW FENCE MUST BE INSTALLED PRIOR TO FENCE REMOVAL TO MAINTAIN THE SECURED AREA.
 - BACKFILL OF SOIL IN DEMOLITION AREAS FOR POSITIVE DRAINAGE, COMPACTION AND ALL INCIDENTALS ASSOCIATED WITH THIS BACKFILL ARE INCIDENTAL TO THE PROJECT.
 - THE EXISTING CHAIN LINK FENCE FABRIC ON ALL CHAIN LINK FENCE SHOWN TO BE REMOVED SHALL BE CAREFULLY REMOVED FROM THE EXISTING POSTS, COILED UP AND TURNED OVER TO THE OWNER FOR LATER USE BY THE OWNER AT ANOTHER LOCATION. ALL OTHER POSTS, HARDWARE AND OTHER MATERIALS REMOVED SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.

LEGEND

	PROPOSED AIRFIELD CONCRETE TO BE REMOVED
	PROPOSED CONCRETE TO BE REMOVED
	PROPOSED ASPHALT PAVEMENT TO BE REMOVED
	MISCELLANEOUS ITEM TO BE REMOVED





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PROJECT NUMBER 0000-000

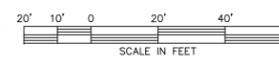
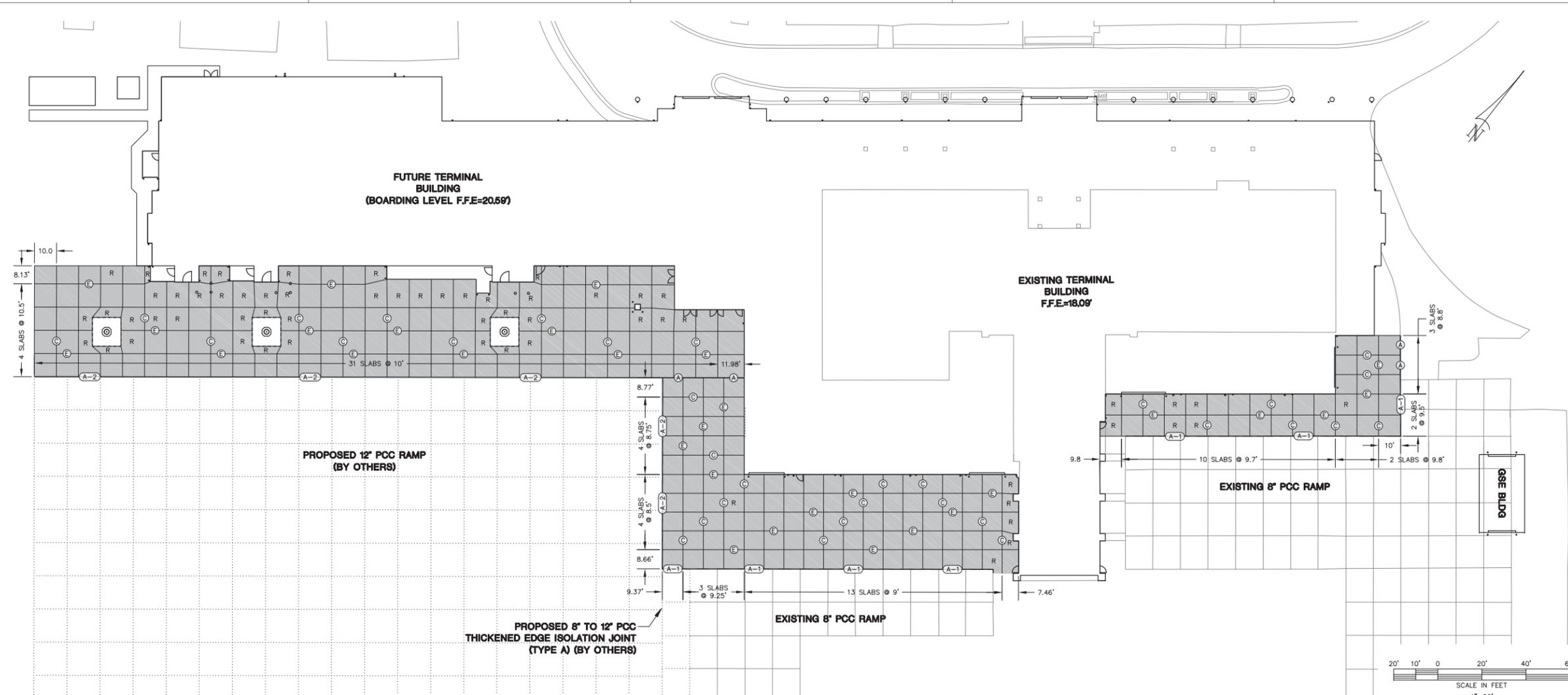
SHEET TITLE

JOINT LAYOUT PLAN

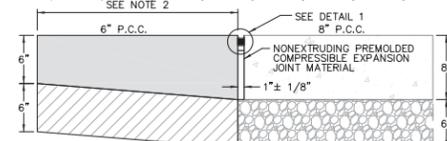
SHEET NUMBER

AC-400

01 JANUARY, 2020

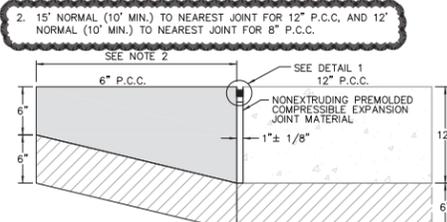


- JOINT LAYOUT NOTES:**
1. ALL ODD-SHAPED SLABS TO BE REINFORCED.
 2. INSTALL TYPE A JOINT AROUND ALL DRAINAGE STRUCTURES IN PAVEMENT, AS WELL AS BETWEEN THE RAMP CONCRETE AND BUILDING SLAB, BOARDING BRIDGE FOUNDATIONS, AND BUILDING COLUMNS.
 3. ALL SLABS CONTAINING STRUCTURES OR PENETRATIONS (i.e. DRAINAGE, FUELING, ETC.) ARE TO BE REINFORCED. ALL SLABS REQUIRING REINFORCEMENT MAY NOT BE SHOWN.
 4. THE CIRCLES SHOWN REPRESENT TYPICAL JOINT TYPES. EACH CONCRETE JOINT IS NOT BEING LABELED FOR CLARITY REASONS. ALL CONCRETE JOINTS SHALL BE EITHER DOWELED CONSTRUCTION, DOWELED CONTRACTION, OR THICKENED EDGE ISOLATION, UNLESS OTHERWISE NOTED, PER DETAILS.



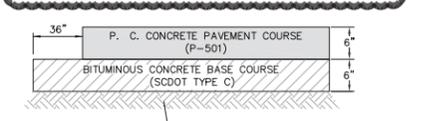
6" TO 8" P.C.C. TRANSITION JOINT (TYPE A-1)
NOT TO SCALE

- NOTES:**
1. COST OF ADDITIONAL CONCRETE AT THICKENED EDGE TO BE INCLUDED IN COST OF 6" P.C.C. CONCRETE PAVEMENT.
 2. 15' NORMAL (10' MIN.) TO NEAREST JOINT FOR 12" P.C.C., AND 12' NORMAL (10' MIN.) TO NEAREST JOINT FOR 8" P.C.C.



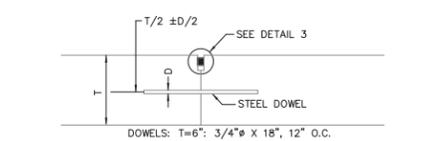
6" TO 12" P.C.C. TRANSITION JOINT (TYPE A-2)
NOT TO SCALE

- NOTES:**
1. COST OF ADDITIONAL CONCRETE AT THICKENED EDGE TO BE INCLUDED IN COST OF 6" P.C.C. CONCRETE PAVEMENT.
 2. 15' NORMAL (10' MIN.) TO NEAREST JOINT FOR 12" P.C.C., AND 12' NORMAL (10' MIN.) TO NEAREST JOINT FOR 8" P.C.C.



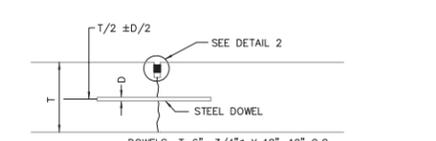
6" P.C.C. CONCRETE PAVEMENT SECTION
NOT TO SCALE

- NOTES:**
1. PREPARED SUBGRADE (P-152) COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D1557.



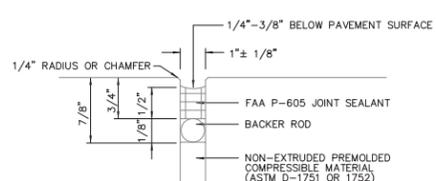
DOWELED CONSTRUCTION JOINT (TYPE E)
NOT TO SCALE

- NOTES:**
1. WHERE NEW PAVEMENT ADJOINS EXISTING PAVEMENT, SAW CUT EXISTING PAVEMENT FULL DEPTH TO A NEAT, UNIFORM EDGE PRIOR TO PAVING.
 2. DRILL HOLES INTO EXISTING PAVEMENT AND THOROUGHLY CLEAN, FILL WITH EPOXY RESIN TO SET DOWEL.
 3. GREASE ENTIRE DOWEL IN NEW PAVEMENTS.



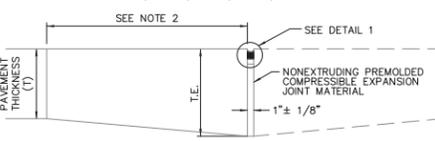
DOWELED CONTRACTION JOINT (TYPE C)
NOT TO SCALE

- NOTE:**
1. GREASE ENTIRE DOWEL IN NEW PAVEMENTS.



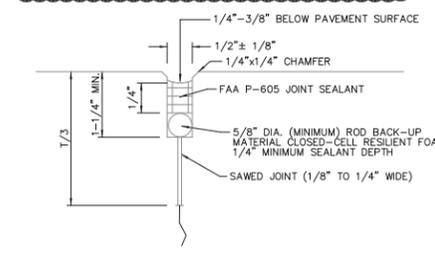
DETAIL 1
NOT TO SCALE

- NOTE:** ALL SILICONE SEALANT SHALL BE DOW CORNING PRODUCT NO.890SL OR NO.888



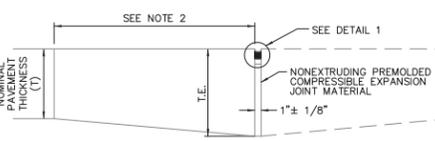
THICKENED EDGE ISOLATION JOINT (TYPE A)
NOT TO SCALE

- NOTES:**
1. COST OF ADDITIONAL CONCRETE AT THICKENED EDGE TO BE INCLUDED IN COST OF 6" P.C.C. CONCRETE PAVEMENT.
 2. 15' NORMAL (10' MIN.) TO NEAREST JOINT FOR 12" P.C.C., AND 12' NORMAL (10' MIN.) TO NEAREST JOINT FOR 8" P.C.C.



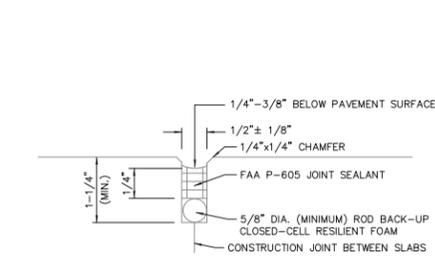
DETAIL 2
NOT TO SCALE

- NOTE:** ALL SILICONE SEALANT SHALL BE DOW CORNING PRODUCT NO.890SL OR NO.888



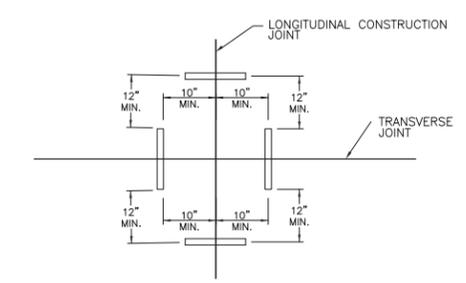
PROPOSED 8" TO 12" THICKENED EDGE ISOLATION JOINT (TYPE A) (BY OTHERS)
NOT TO SCALE

- NOTES:**
1. COST OF ADDITIONAL CONCRETE AT THICKENED EDGE TO BE INCLUDED IN COST OF 6" P.C.C. CONCRETE PAVEMENT.
 2. 15' NORMAL (10' MIN.) TO NEAREST JOINT FOR 12" P.C.C., AND 12' NORMAL (10' MIN.) TO NEAREST JOINT FOR 8" P.C.C.



DETAIL 3
NOT TO SCALE

- NOTE:** ALL SILICONE SEALANT SHALL BE DOW CORNING PRODUCT NO.890SL OR NO.888



TYPICAL DOWEL BAR SPACING AT JOINT INTERSECTION
NOT TO SCALE

- NOTE:** DOWEL BAR SPACING ALONG LONGITUDINAL CONSTRUCTION JOINT IS ESTABLISHED BETWEEN INTERSECTING TRANSVERSE JOINTS USING DIMENSIONS IN THIS DETAIL.

TIE BAR???



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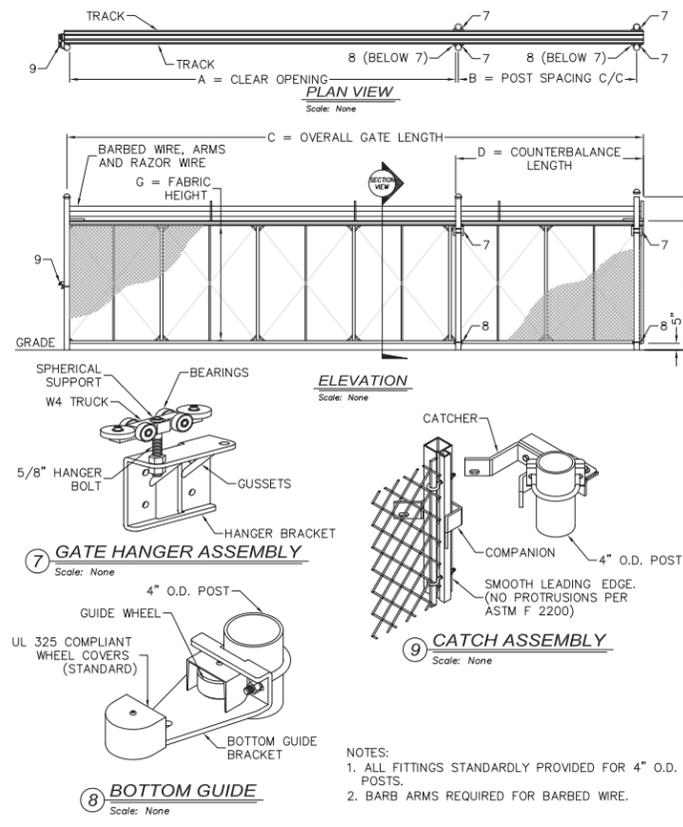
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SHEET TITLE
MISCELLANEOUS
DETAILS
(SHEET 2 OF 2)

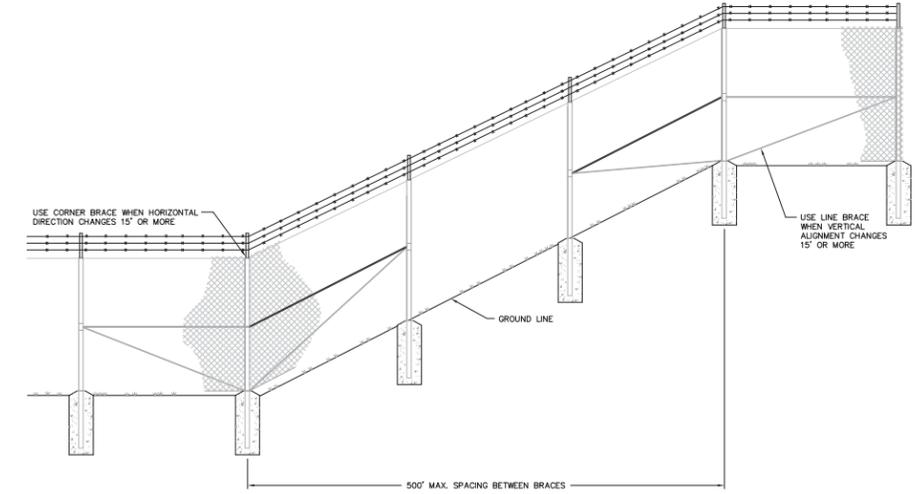
SHEET NUMBER
AC-701



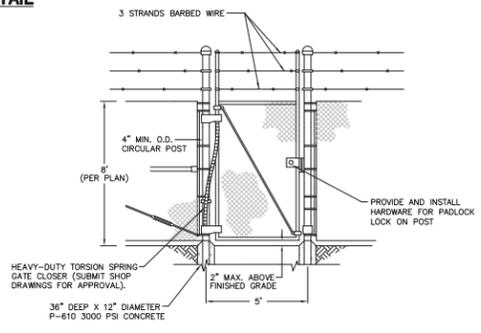
MARK	DESCRIPTION	FORMULA	DIM.
A	CLEAR OPENING	A	18'
B	COUNTERBALANCE POST SPACING C/C	(A/2)+1'	8'-1"
C	OVERALL GATE LENGTH	A x 1.5	27'
D	COUNTERBALANCE LENGTH	A x 0.5	9'
E	NOMINAL GATE HEIGHT	E	8'
F	POST HEIGHT (W BARB ARMS)	E + 1'-6"	9'-6"
G	FABRIC HEIGHT	E - 1'-0"	7'



STRUCTURAL CANTILEVER SLIDE GATE
NOT TO SCALE

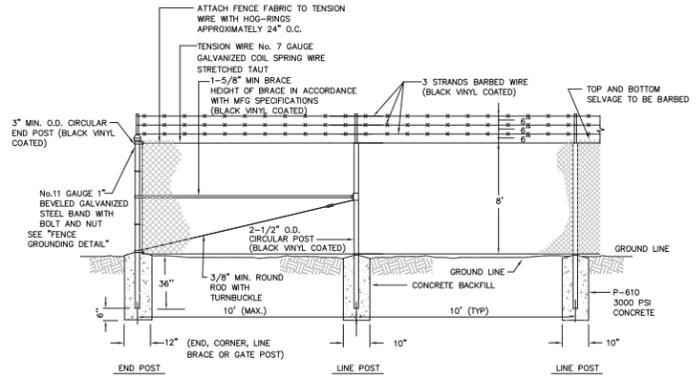


CHANGE IN FENCE ALIGNMENT DETAIL
NOT TO SCALE



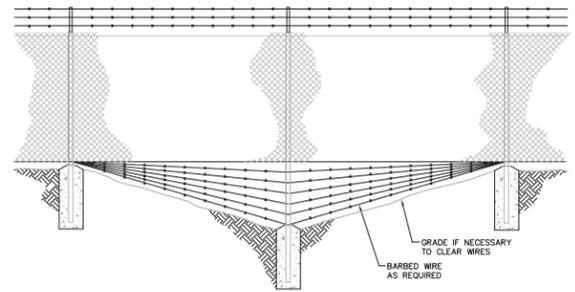
PEDESTRIAN GATE DETAIL
NOT TO SCALE

NOTE:
1. PROPOSED FENCE, CHAIN LINK FABRIC, POSTS, POST CAPS, AND RAILS SHALL BE BLACK VINYL COATED.



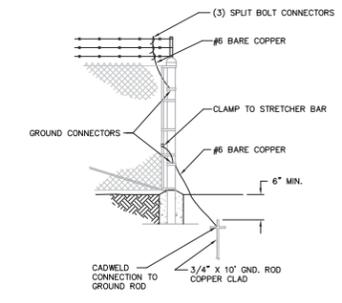
CHAIN LINK FENCE DETAIL
NOT TO SCALE

NOTE:
1. A MOISTURE-EXCLUDING CAP IS REQUIRED ON LINE POSTS. TUBULAR METAL MATERIAL FOR CAP SHALL CONFORM TO THE ALLOWABLE TYPES FOR OTHER LISTED FITTINGS.
2. PROPOSED FENCE, CHAIN LINK FABRIC, POSTS, POST CAPS, AND RAILS SHALL BE BLACK VINYL COATED.

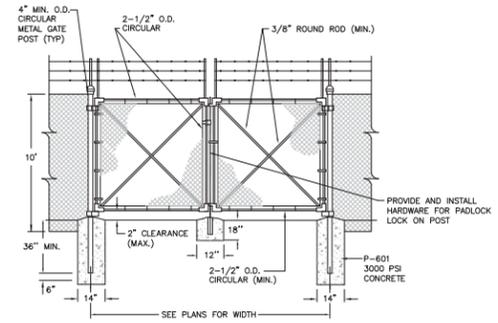


DETAIL OF DITCH CROSSING
NOT TO SCALE

NOTE:
1. MAX. WIRE SPACING TO BE 6".
2. MAX. CLEARANCE BETWEEN LOWEST STRAND AND GROUND TO BE 4".



FENCE GROUNDING DETAIL
NOT TO SCALE



DOUBLE SWING GATE
NOT TO SCALE

NOTE:
1. PROPOSED FENCE, CHAIN LINK FABRIC, POSTS, POST CAPS, AND RAILS SHALL BE BLACK VINYL COATED.



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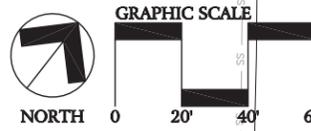
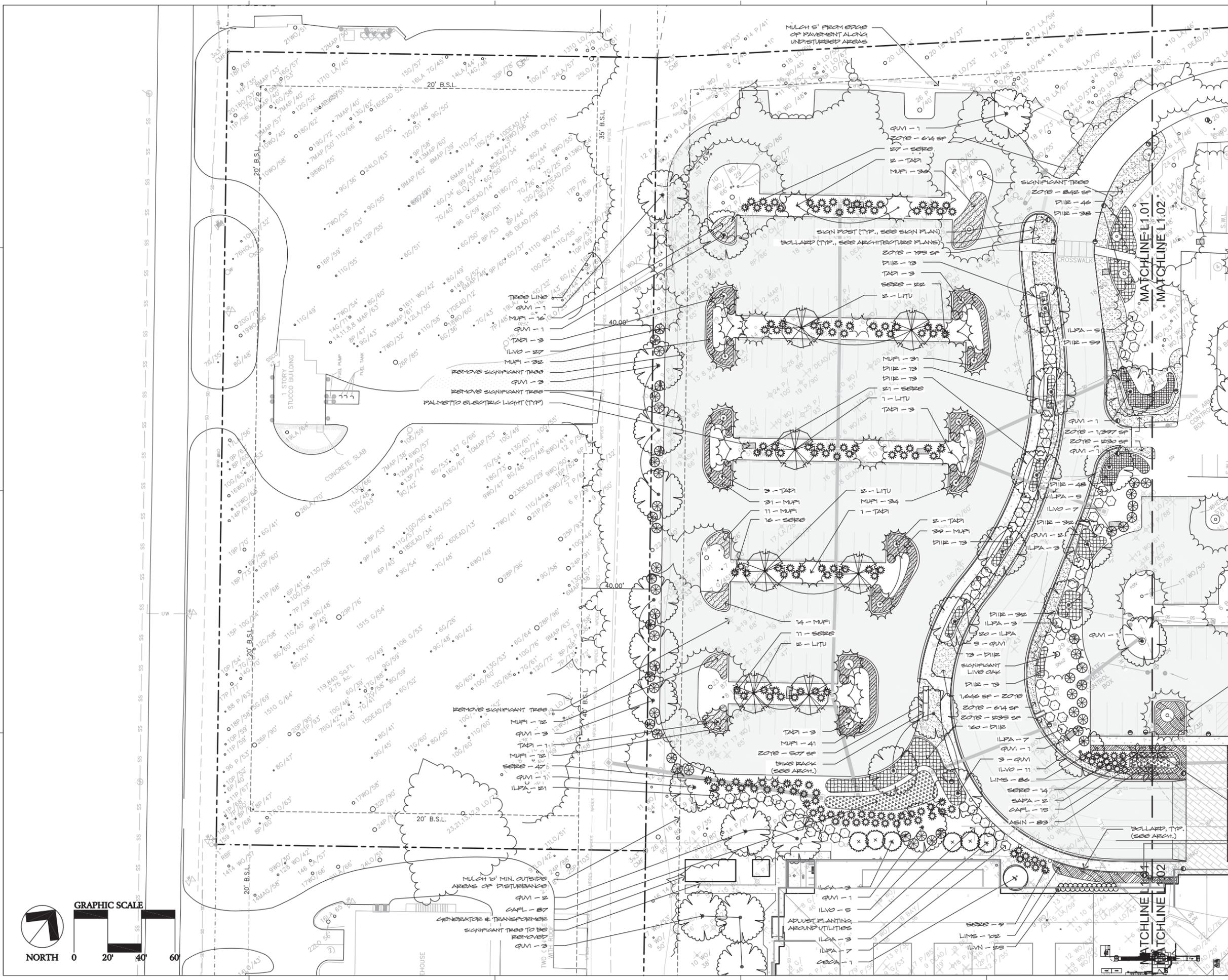
PROJECT NUMBER 202005-01

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.01



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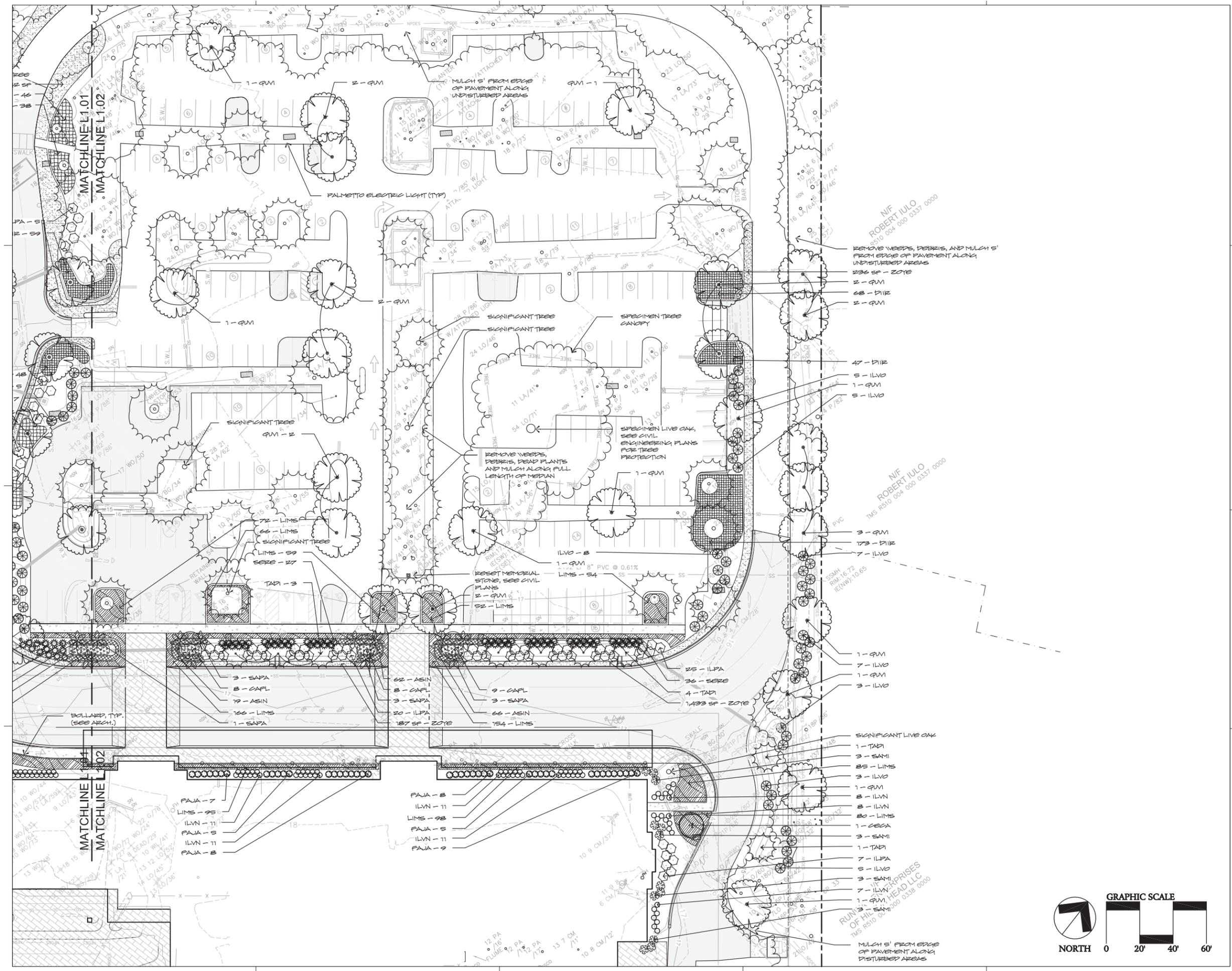
PROJECT NUMBER 202005-01

SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L1.02



REMOVE WEEDS, DEBRIS, AND MULCH 5' FROM EDGE OF PAVEMENT ALONG UNDISTURBED AREAS
236 SF - ZOYE
2 - QUM
68 - D112
2 - QUM

47 - D112
5 - ILVO
1 - QUM
5 - ILVO

REMOVE WEEDS, DEBRIS, AND MULCH 5' FROM EDGE OF PAVEMENT ALONG FULL LENGTH OF MEDIAN
1 - QUM
SPECIMEN LIVE OAK, SEE CIVIL ENGINEERING PLANS FOR TREE PROTECTION

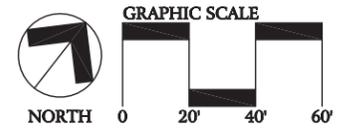
3 - QUM
173 - D112
7 - ILVO

1 - QUM
7 - ILVO
1 - QUM
3 - ILVO

SIGNIFICANT LIVE OAK

1 - TAD1
3 - SAM1
85 - LIMS
3 - ILVO
1 - QUM
8 - ILVN
8 - ILVN
80 - LIMS
1 - CECA
3 - SAM1
1 - TAD1
7 - ILPA
5 - ILVO
3 - SAM1
7 - ILVN
1 - QUM
3 - SAM1

MULCH 5' FROM EDGE OF PAVEMENT ALONG DISTURBED AREAS
RUNNING COURSES OF HILTON HEAD LLC
TMS R510 004 000 0337 0000



8/19/2020 10:00:00 AM



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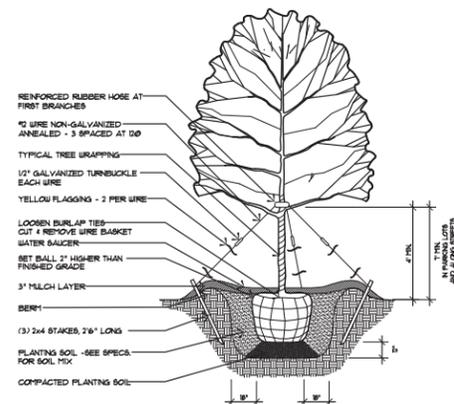
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PROJECT NUMBER 202005-01
SHEET TITLE

**PLANT
SCHEDULE AND
DETAILS**

SHEET NUMBER

L1.03

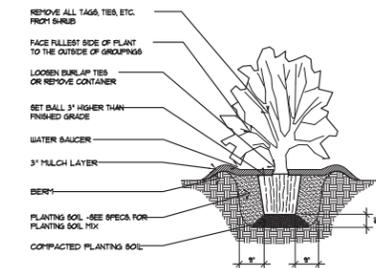


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED
- ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
- REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING OR CROSSING OTHER BRANCHES.
- NEVER CUT A CENTRAL LEADER.
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNERS REP.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

1 Tree Planting

L1.03 Not to Scale

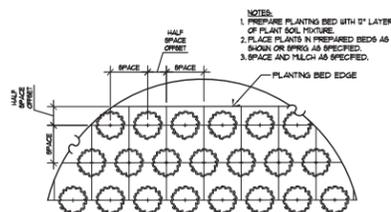


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- WHEN GRASSCOVER AND SHRUBS ARE USED IN MASSINGS, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTBED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNERS REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

3 Shrub Planting

L1.03 Not to Scale



NOTES:

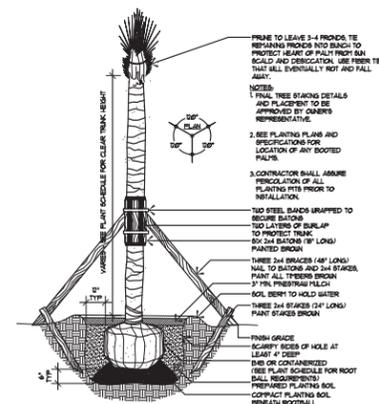
- TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS.

5 Sod / Plant Bed Edge Detail

L1.03 Not to Scale

6 Ground Covers & Perennials

L1.03 Not to Scale



PLANTING NOTES

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL PLANT BEDS WITHIN LIMIT OF DISTURBANCE TO RECEIVE 3" DEEP LONGLEAF PINE STRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL PLANT BEDS WITHIN LIMIT OF DISTURBANCE, OR AS NOTED ON PLAN ARE SHALL HAVE HERBICIDE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION AND SHALL BE KEPT WEED FREE DURING CONSTRUCTION AND DURING PLANT ESTABLISHMENT PERIOD.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PERFORM A PERCOLATION TEST TO VERIFY SOIL INFILTRATION AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONDITIONS THAT WOULD BE DELETERIOUS TO LONG TERM PLANT CONDITION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.
- THE PLANT BED AREAS LABELED AS "AN" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- SPECIMEN AND SIGNIFICANT TREES ARE TO BE PROTECTED IN ACCORDANCE WITH THE TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE AND PER PLANS PROVIDED BY TALBERT, BRIGHT & ELLINGTON. TREES SHOULD BE PRUNED IN ACCORDANCE WITH ARBORIST REPORT AS PROVIDED BY PRESERVATION TREE AND DATED 10/15/2020. ALL SPECIMEN AND SIGNIFICANT TREES WITHIN THE LIMIT OF WORK SHALL RECEIVE PRE AND POST CONSTRUCTION FERTILIZATION AND MYCOR TREATMENT BY A CERTIFIED ARBORIST.
- MULCH ALL PLANT BEDS WITHIN AND AROUND PARKING LOT.
- REMOVE ANY ANY ALL VINES, WEEDS, AND CONSTRUCTION DEBRIS IN PLANT BEDS IN AND AROUND ENTIRE PARKING LOT.
- FINE GRADE AROUND ALL UTILITIES AND PERIMETER OF LIMIT OF WORK PRIOR TO LAYING MULCH.
- CONTRACTOR RESPONSIBLE FOR NOTIFYING OWNER OR LANDSCAPE ARCHITECT OF ANY DAMAGED TREES, FALLEN TREES WITHIN AND NEAR LIMIT OF WORK.

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CAL.	HEIGHT	SPREAD	CONT.
CECA	2	Cercis canadensis / Eastern Redbud	2"	10' min.	6'-8'	Cont.
ILCA	6	Ilex cassine / Dahoon Holly	2"	10' min.	3'-4'	Cont.
LITU	7	Liriodendron tulipifera / Tulip Tree	4"	14'-16'	5'-6'	
QUVI	55	Quercus virginiana / Southern Live Oak	6"	20'-22'	10'-15'	B4B
SAPA	12	Sabal palmetto / Cabbage Palmetto refoliated, slick trunk	-	5'-16'		B4B
TADI	30	Taxodium distichum / Bald Cypress	4" min.	12'-14'	6'-8'	Cont.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	
FALJA	42	Fatsia japonica / Japanese Fatsia	1 Gal.	2'-3'	2'-3'	
ILVO	93	Ilex vomitoria / Yaupon Holly	1 Gal.	3'-4'	2' min.	
ILVN	92	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 Gal.	12'-18"	12'-18"	
ILPA	123	Illicium parviflorum / Anise Tree	1 Gal.	24"-30"	24"-30"	
SAMI	12	Sabal minor / Dwarf Palmetto	1 Gal.	18"-24"	18"-24"	
SERE	231	Serenoa repens / Saw Palmetto	3 Gal.	18"-24"	18"-24"	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	
ASIN	250	Asclepias incarnata / Swamp Milkweed	1 Gal.	6"-12"	18" o.c.	
CAPL	171	Canna flaccida / Yellow Canna	1 Gal.	6"-12"	36" o.c.	
DIIR	781	Dietes indicoides / Fortnight Lily	1 Gal.	12"-18"	30" o.c.	
LITB	1163	Liriope muscari 'Super Blue' / Super Blue Liriope	1 Gal.	12"-18"	24" o.c.	
MUPI	303	Muhlenbergia filipes / Munny	1 Gal.	18"-24"	40" o.c.	
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	
ZOTE	8,346 sq ft	Zoysia japonica / Zoan / Korean Grass	SOD			

TREE REMOVAL SEE ENGINEER PLANS FOR TREE REMOVAL

CATEGORY	INCHES	REQ. REPLACEMENT
1	949	35 TREES @ 2" CALIPER OR 130"
2	1,495	150 TREES @ 2" CALIPER OR 300"
3	1,031	104 TREES @ 1" CALIPER OR 104"
4	136	14 TREES @ 1" CALIPER OR 14"

TREE MITIGATION PROVIDED

CATEGORY	INCHES	TREE
1	4500	30 - 4" BALD CYPRESS AND 35 - 6" LIVE OAKS
2	40	1 - 4" TULIP TREES AND 6 - 2" DAHOON HOLLIES
3	120	12 PALMS (10 INCH CALIPER)
4	4	2 - 2" REDBUD



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120 Beach City Rd
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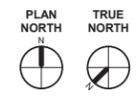
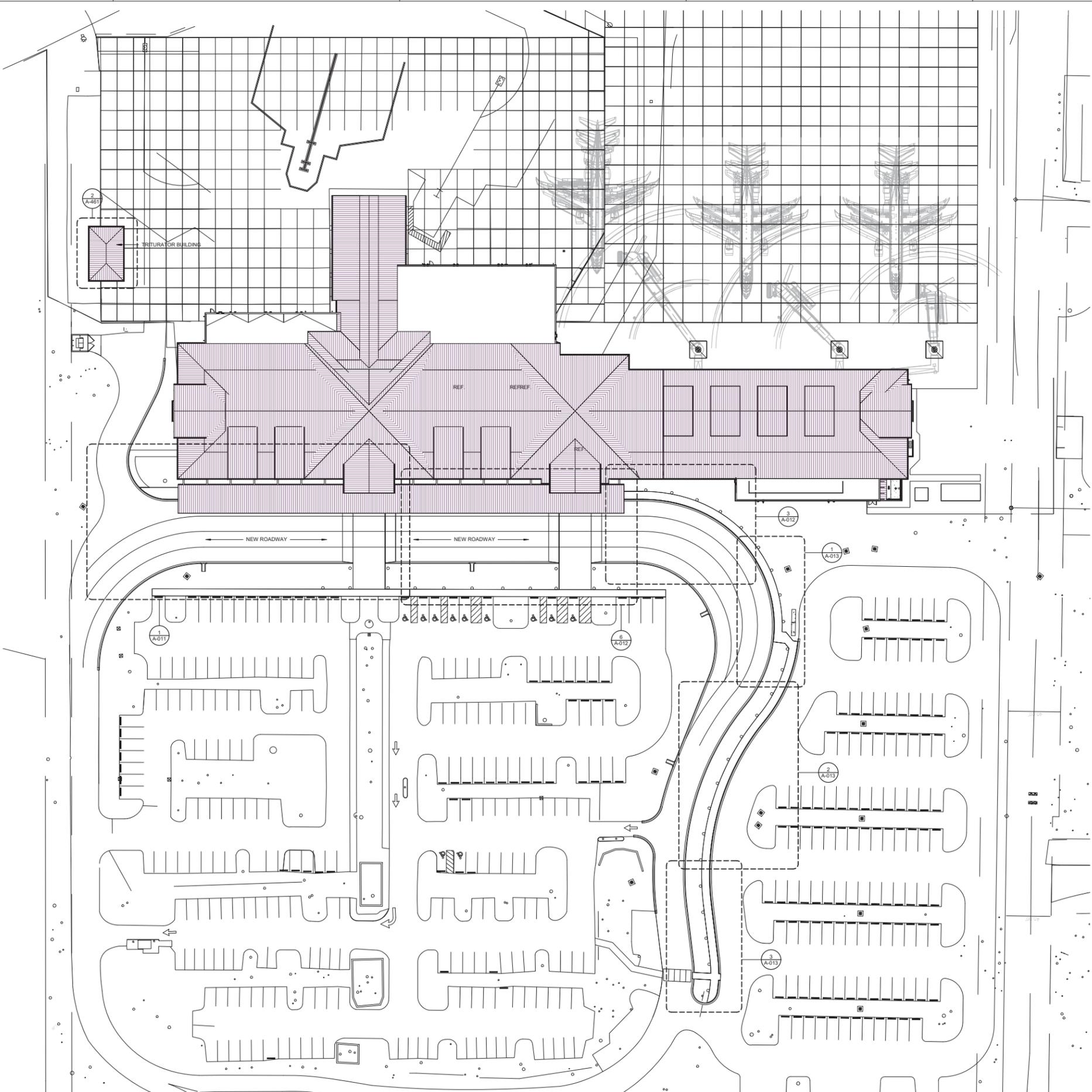
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DATE 8/10/2021
PROJECT NUMBER 9221-000
SHEET TITLE

ARCHITECTURAL SITE PLAN

SHEET NUMBER
A-010



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"



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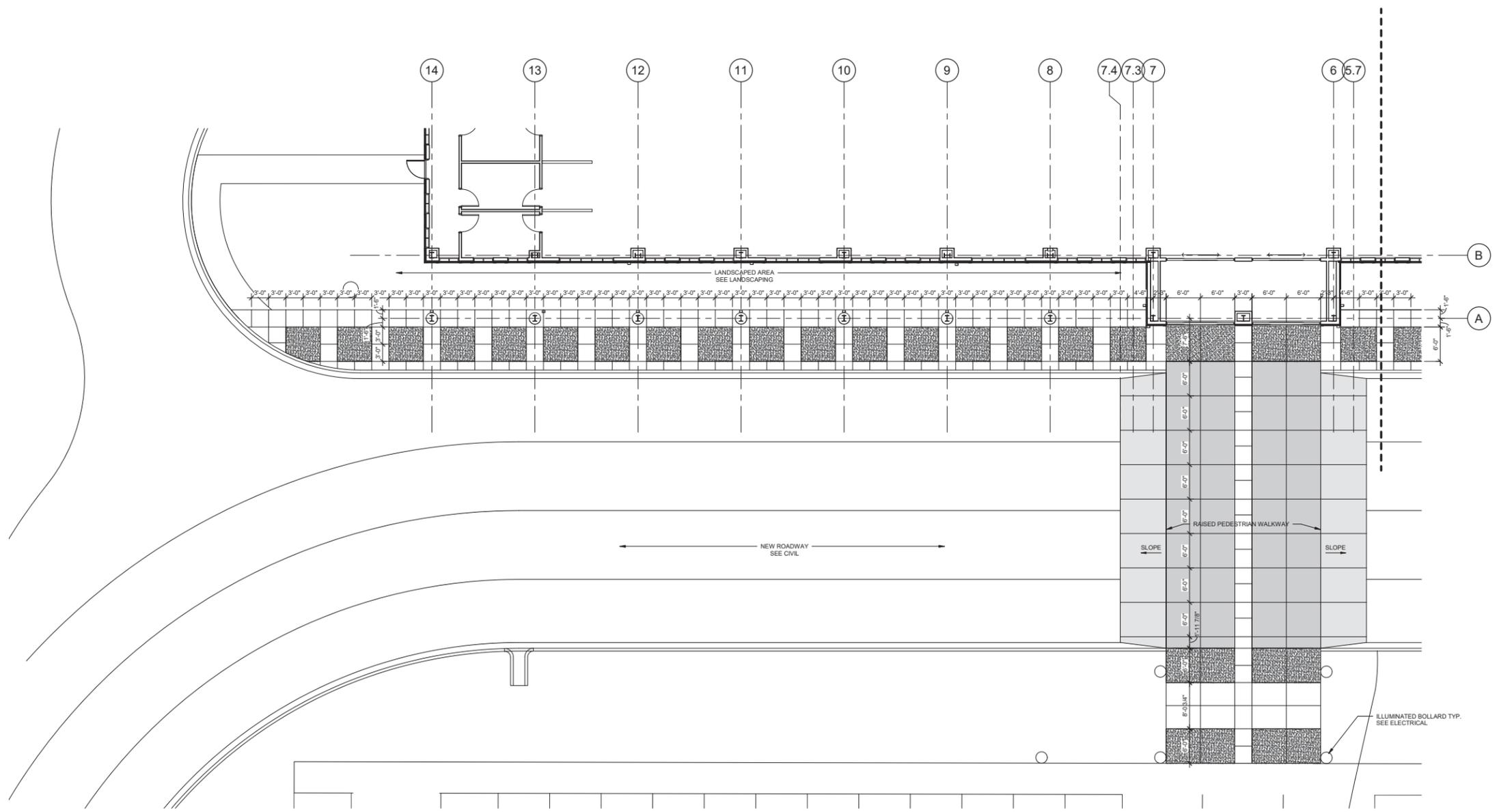
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PROJECT NUMBER 9221-000
SHEET TITLE

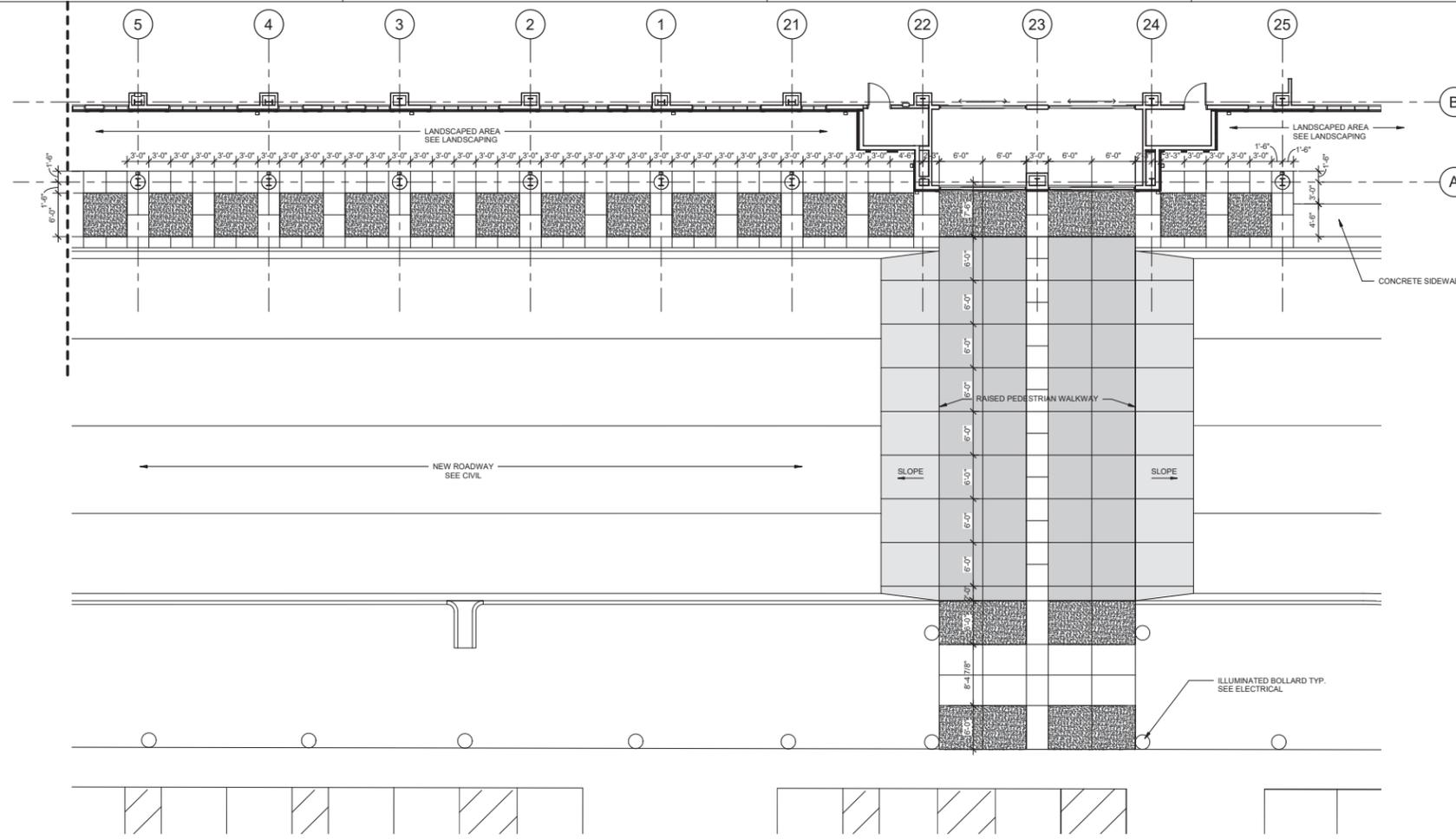
ARCHITECTURAL SITE DETAILS

SHEET NUMBER
A-011

PLAN LEGEND	
	INTEGRALLY PIGMENTED CONCRETE COLOR #1
	INTEGRALLY PIGMENTED CONCRETE COLOR #2
	OYSTER SHELL CONCRETE FINISH



1 ENLARGED SITE PLAN
1/8" = 1'-0"



PLAN LEGEND

- INTEGRALLY PIGMENTED CONCRETE COLOR #1
- INTEGRALLY PIGMENTED CONCRETE COLOR #2
- OYSTER SHELL CONCRETE FINISH



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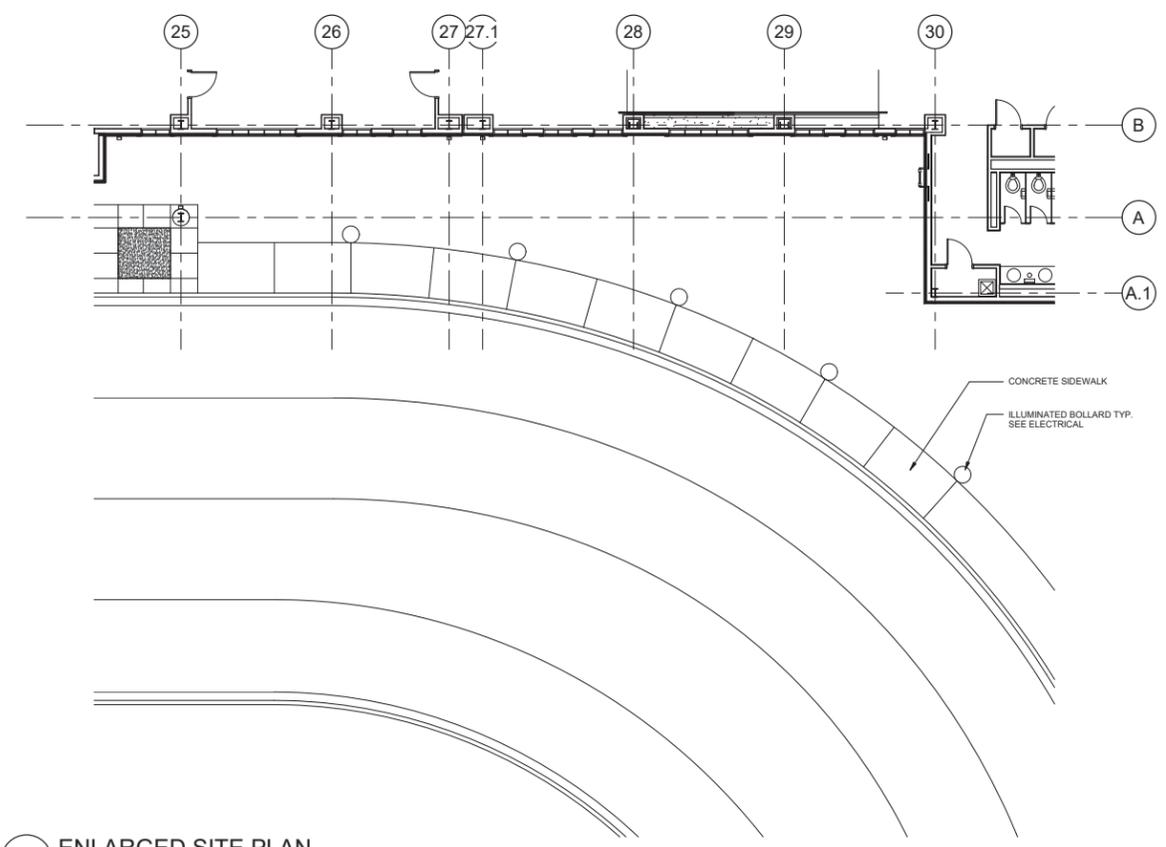
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PROJECT NUMBER 9221-000
SHEET TITLE

ARCHITECTURAL SITE DETAILS

SHEET NUMBER
A-012

6 ENLARGED SITE PLAN
1/8" = 1'-0"



3 ENLARGED SITE PLAN
1/8" = 1'-0"



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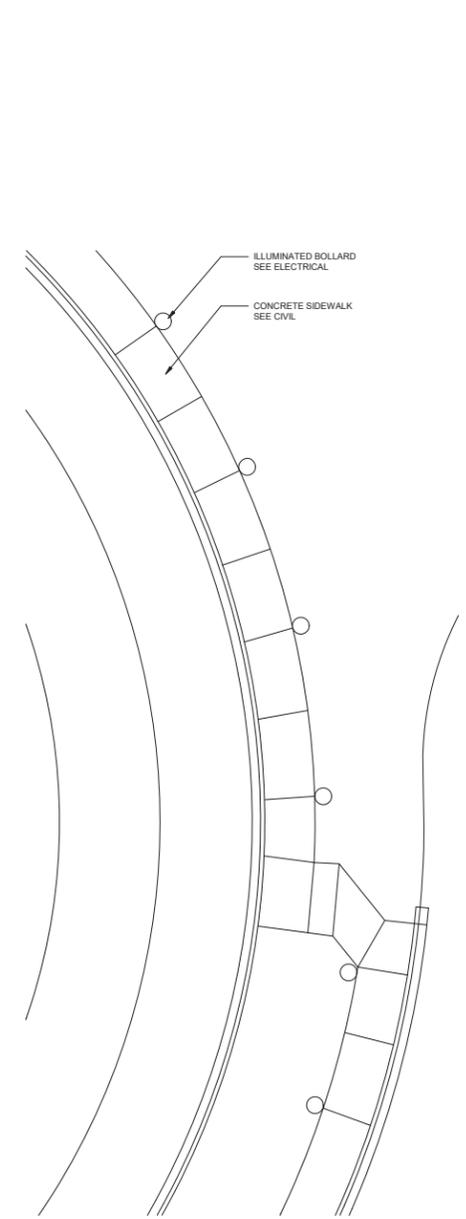
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SHEET TITLE

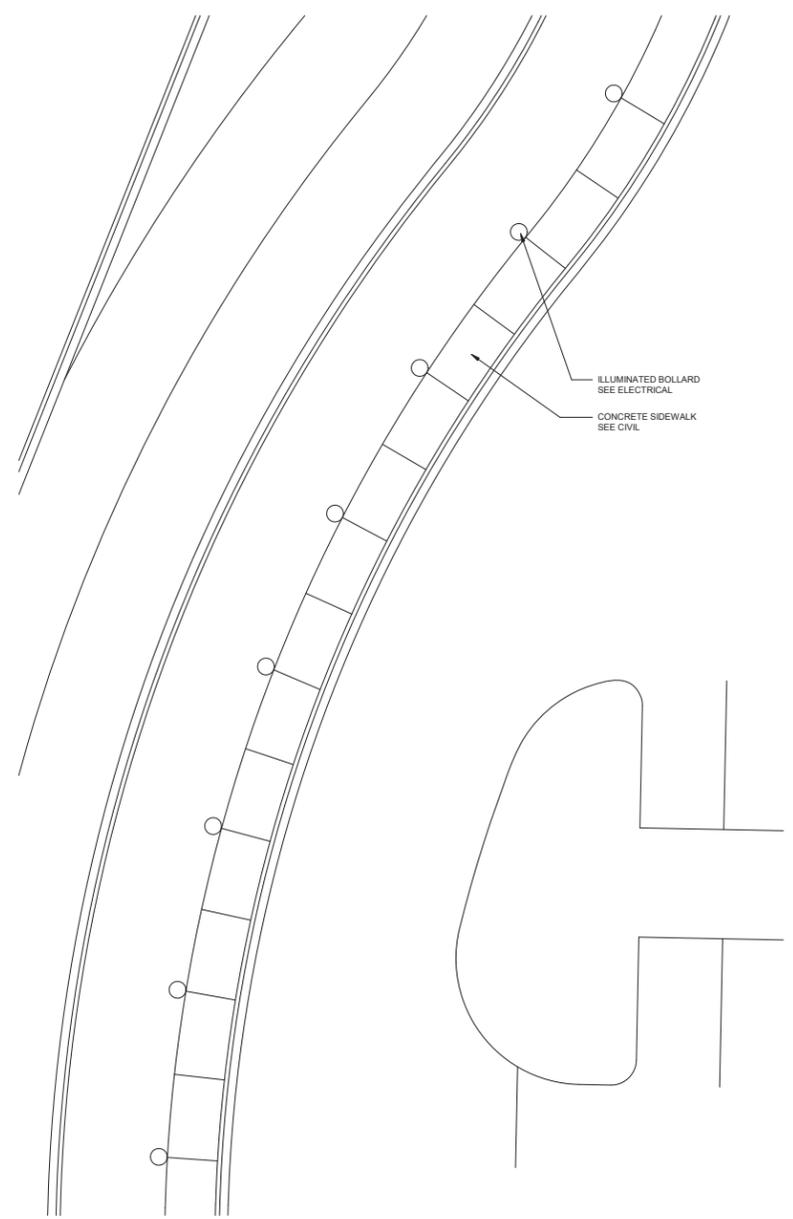
ARCHITECTURAL SITE DETAILS

SHEET NUMBER
A-013

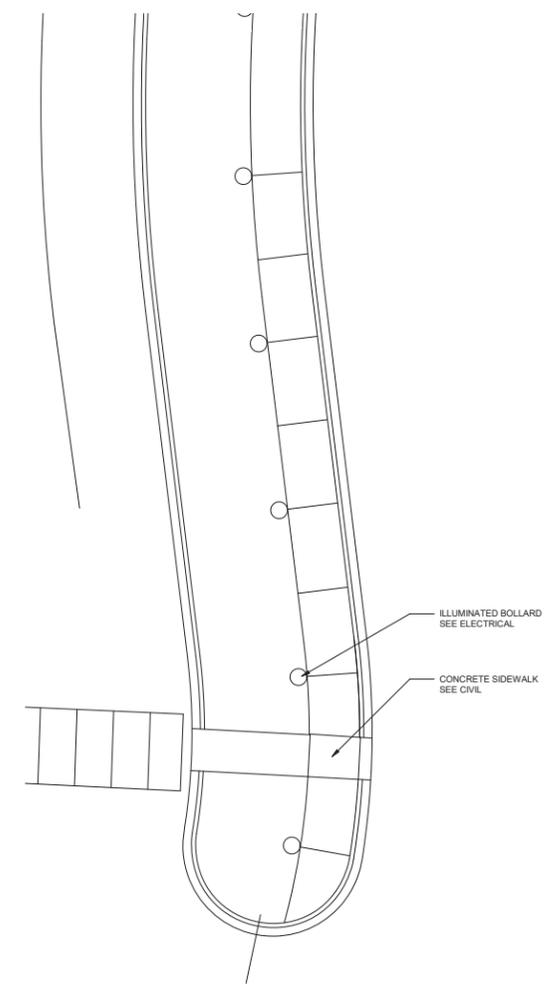
PLAN LEGEND	
	INTEGRALLY PIGMENTED CONCRETE COLOR #1
	INTEGRALLY PIGMENTED CONCRETE COLOR #2
	OYSTER SHELL CONCRETE FINISH



1 ENLARGED SITE PLAN
1/8" = 1'-0"



2 ENLARGED SITE PLAN
1/8" = 1'-0"



3 ENLARGED SITE PLAN
1/8" = 1'-0"



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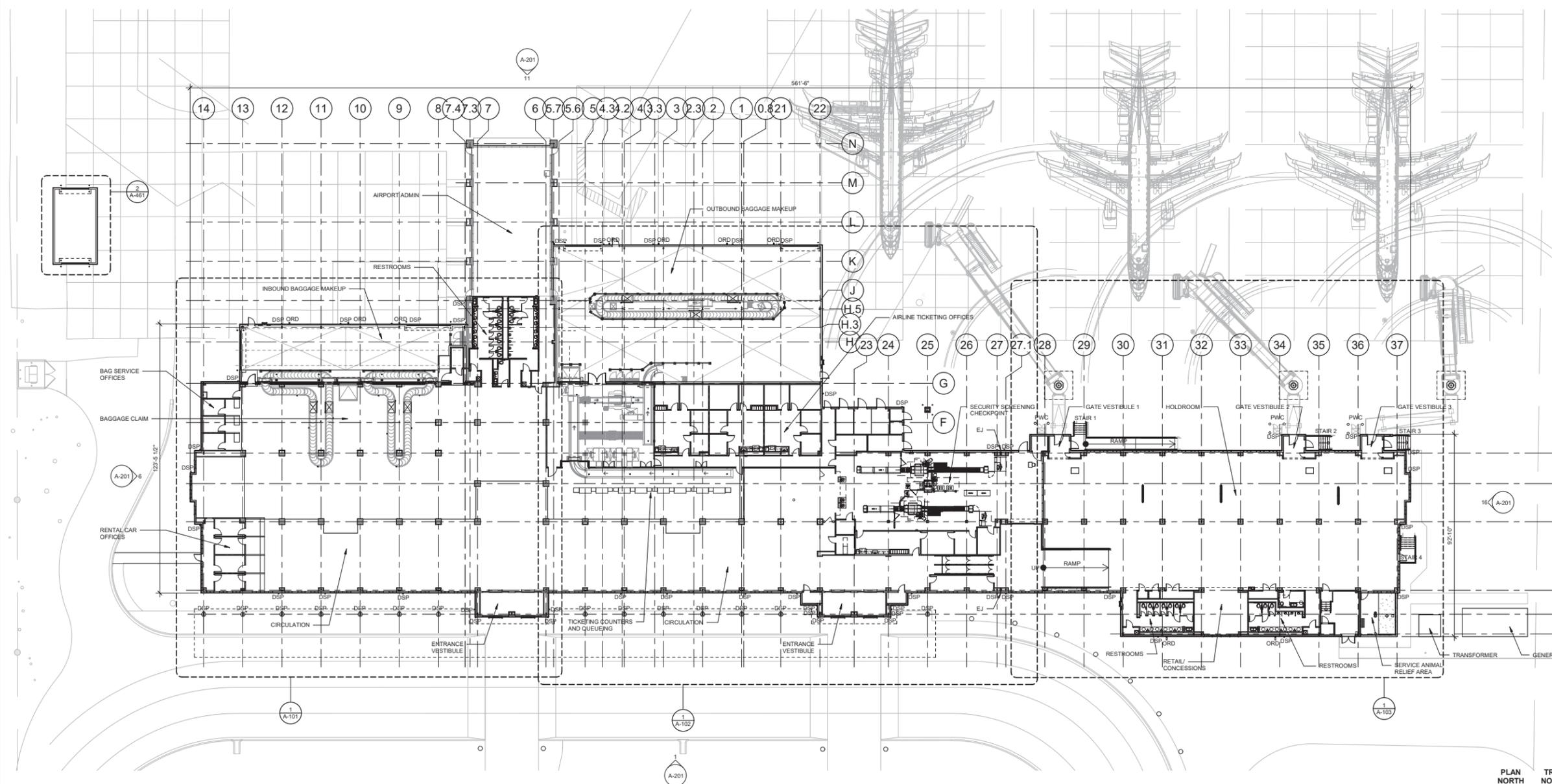
SHEET TITLE

FIRST LEVEL OVERALL FLOOR PLAN

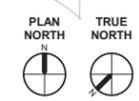
SHEET NUMBER

A-100

PLAN LEGEND	
	EXISTING WALL/COLUMN TO REMAIN
	REINFORCED CMU WALL
	NEW PARTITION AS SCHEDULED
	1 HOUR FIRE RATED PARTITION AS SCHEDULED
	RD = ROOF DRAIN LEADER
	ORD = OVERFLOW ROOF DRAIN LEADER



1 FIRST LEVEL FLOOR PLAN
1" = 20'-0"





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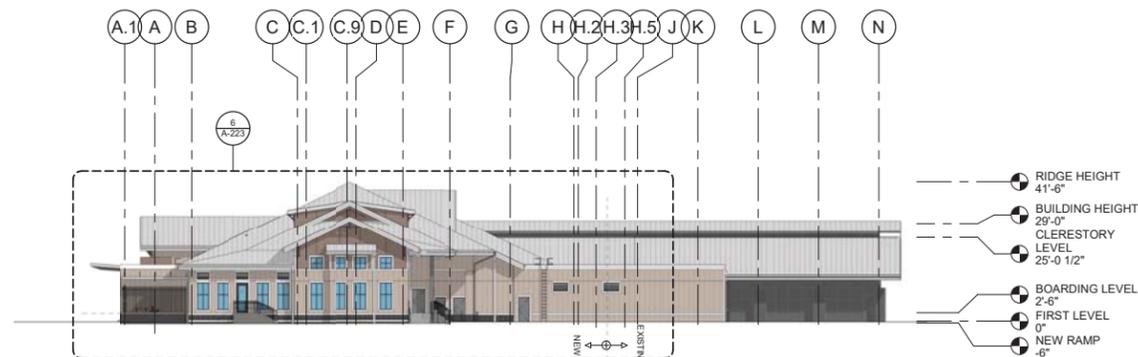
DATE 5/14/2021
PROJECT NUMBER 9221-000
SHEET TITLE

EXTERIOR ELEVATIONS

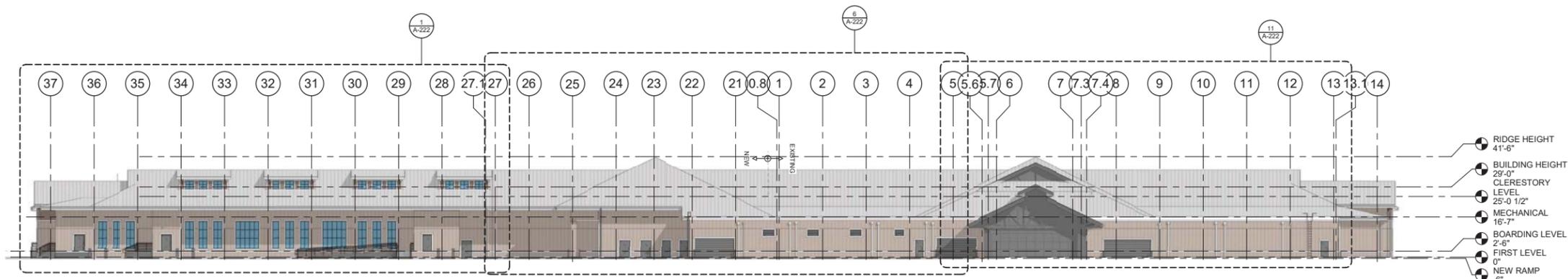
SHEET NUMBER
A-201

ELEVATION LEGEND

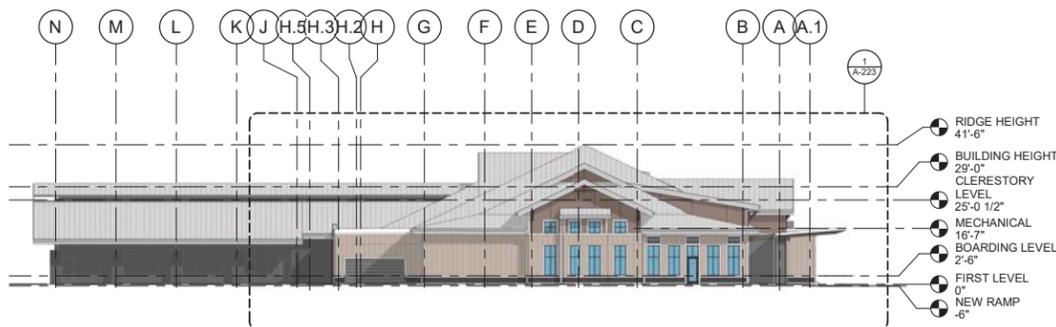
- EXISTING AREA
- CONTRACT WORK AREA



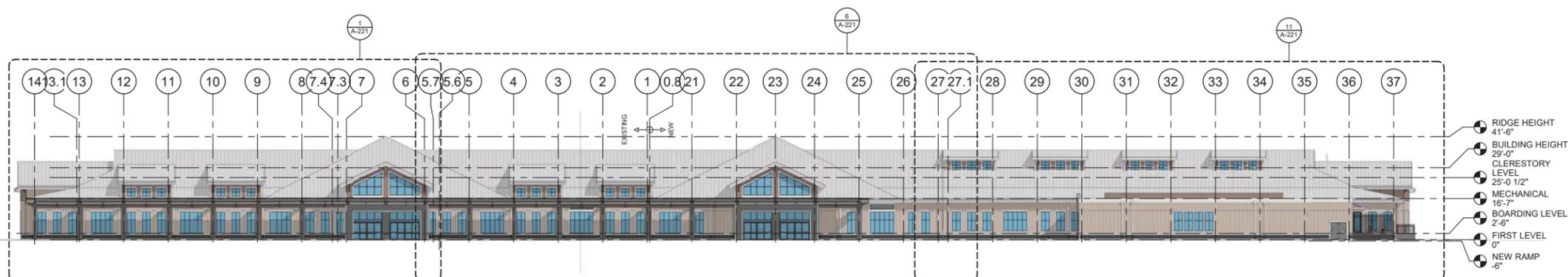
16 PLAN EAST ELEVATION
1" = 20'-0"



11 PLAN NORTH (AIRSIDE) ELEVATION
1" = 20'-0"



6 PLAN WEST ELEVATION
1" = 20'-0"



1 PLAN SOUTH (LANDSIDE) ELEVATION
1" = 20'-0"



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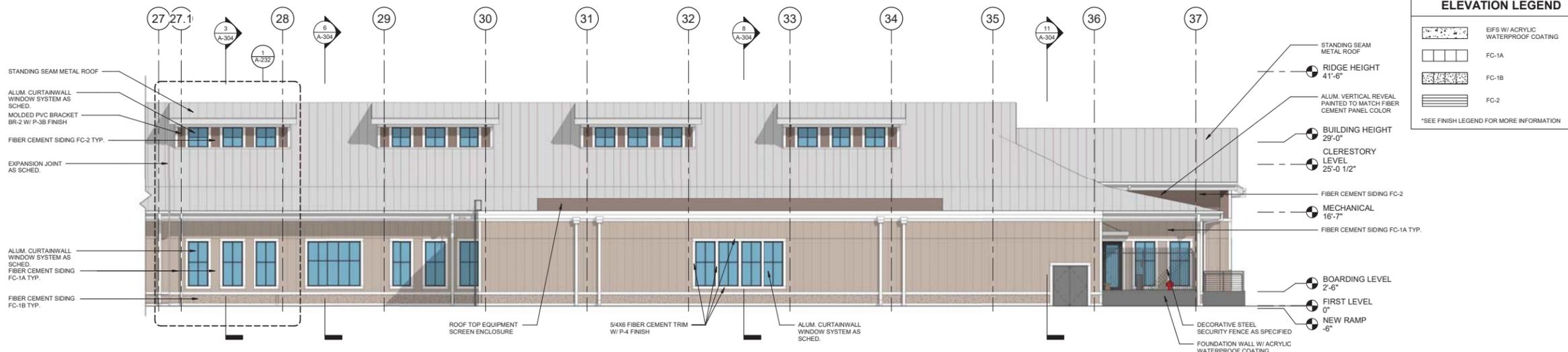
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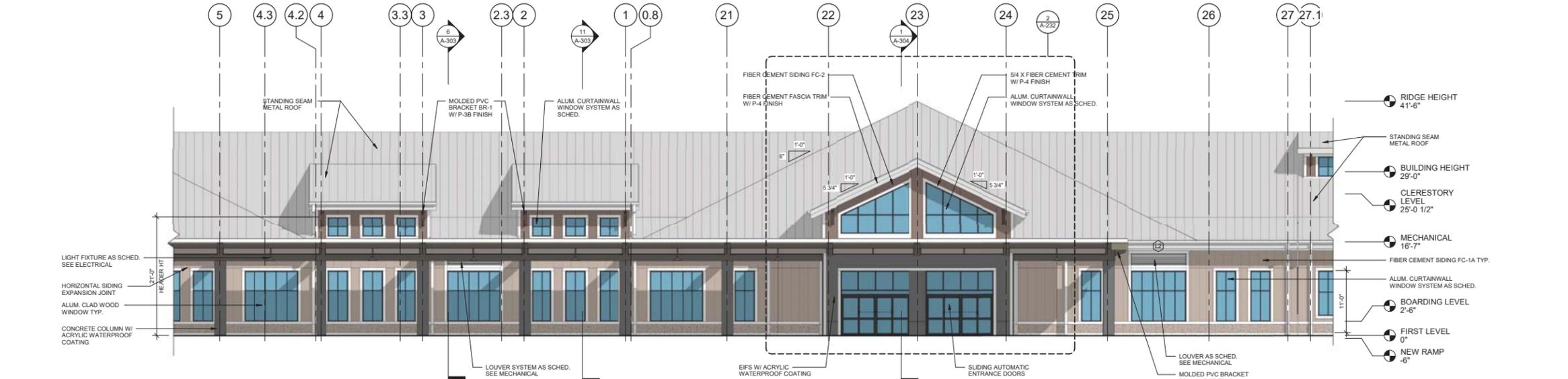
ENLARGED ELEVATIONS

SHEET NUMBER

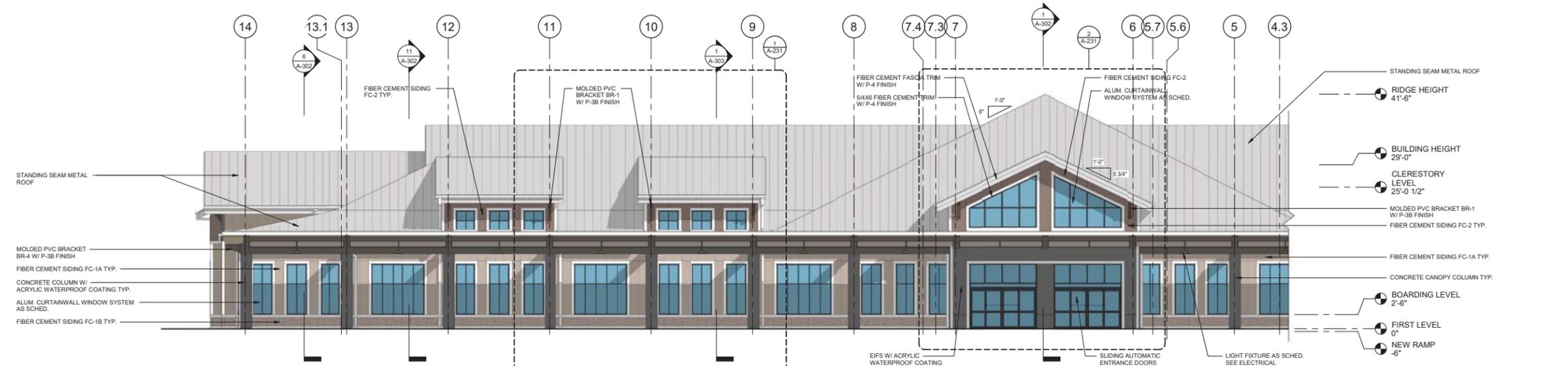
A-221



11 ENLARGED LANDSIDE ELEVATION - ZONE 3 PLAN SOUTH
1/8" = 1'-0"



6 ENLARGED LANDSIDE ELEVATION - ZONE 2 PLAN SOUTH
1/8" = 1'-0"



1 ENLARGED LANDSIDE ELEVATION - ZONE 1 PLAN SOUTH
1/8" = 1'-0"



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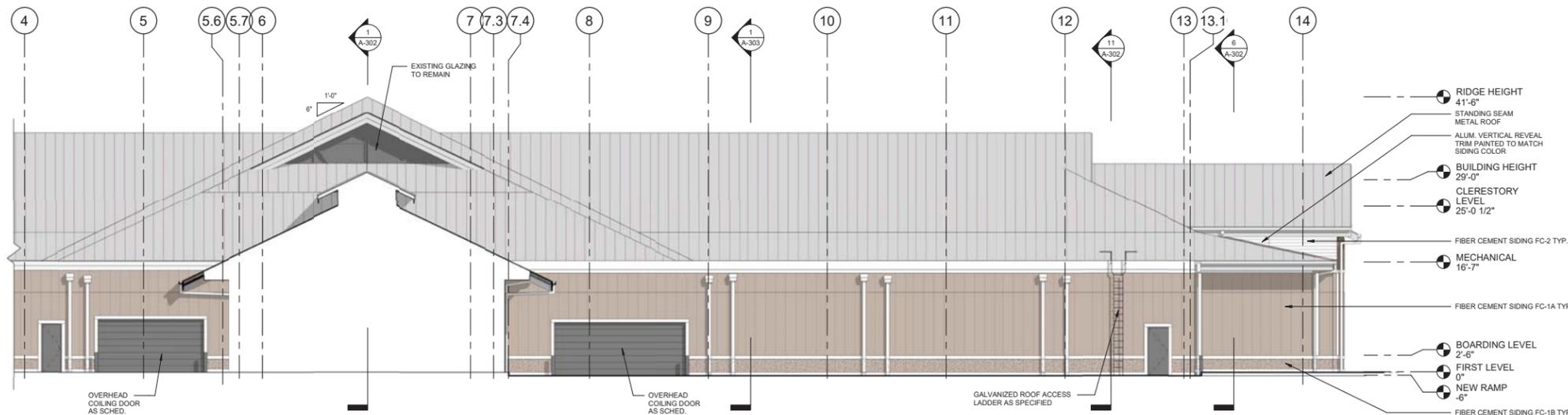
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DATE 5/14/2021

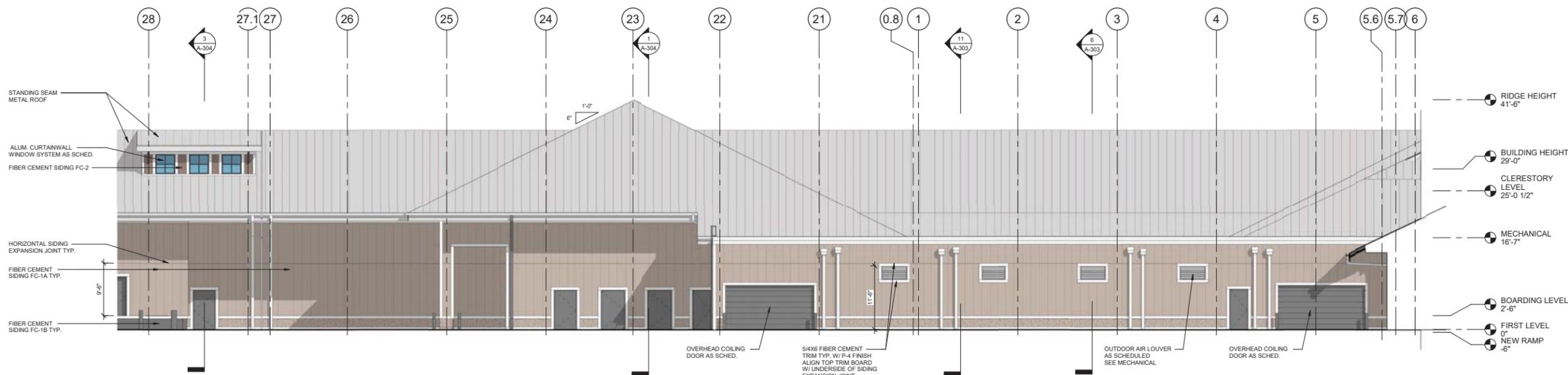
PROJECT NUMBER 9221-000

SHEET TITLE ENLARGED ELEVATIONS

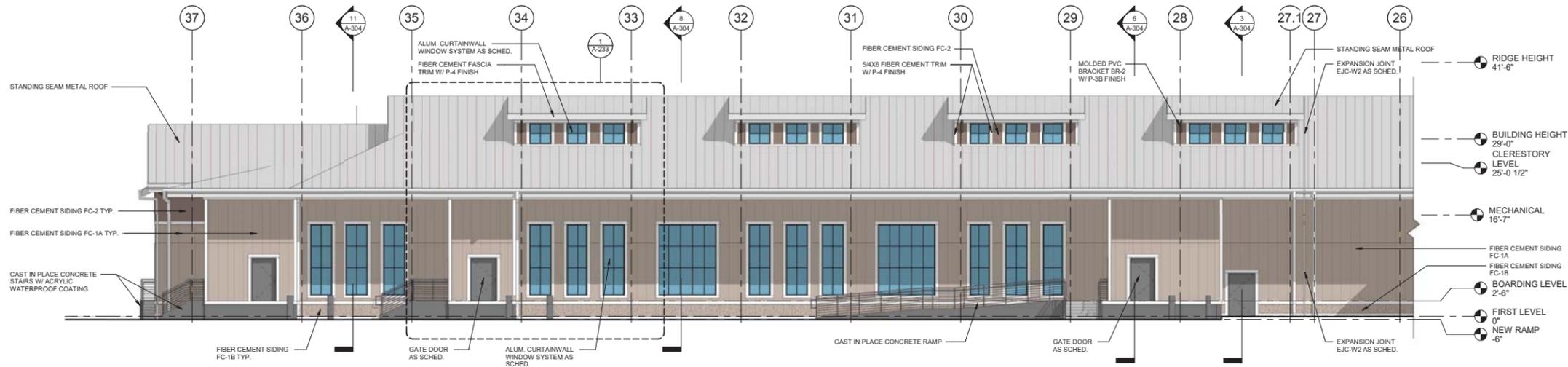
SHEET NUMBER A-222



11 ENLARGED AIRSIDE ELEVATION - ZONE 1 PLAN NORTH
1/8" = 1'-0"



6 ENLARGED AIRSIDE ELEVATION - ZONE 2 PLAN NORTH
1/8" = 1'-0"



1 ENLARGED AIRSIDE ELEVATION - ZONE 3 NORTH
1/8" = 1'-0"



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SHEET TITLE

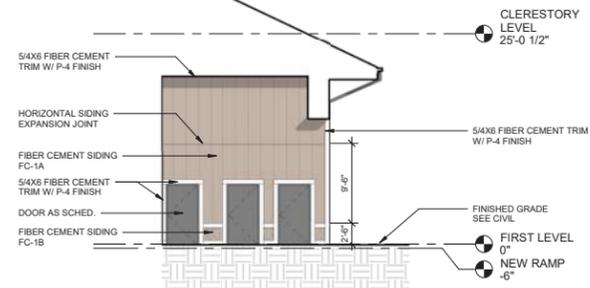
**ENLARGED
ELEVATIONS**

SHEET NUMBER

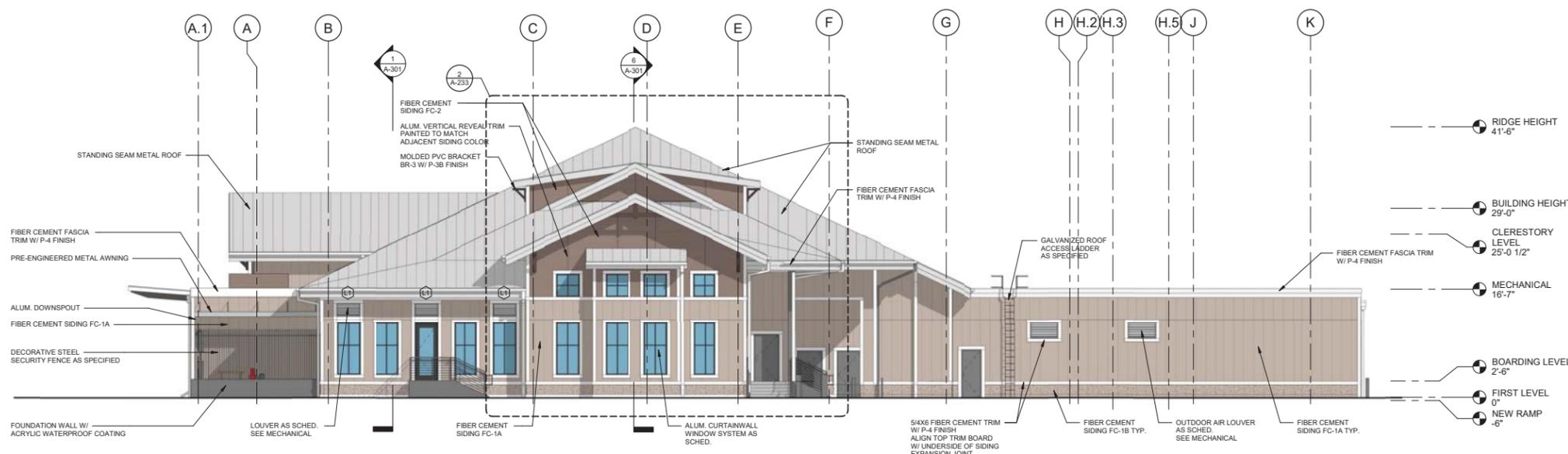
A-223

ELEVATION LEGEND	
	EIFS W/ ACRYLIC WATERPROOF COATING
	FC-1A
	FC-1B
	FC-2

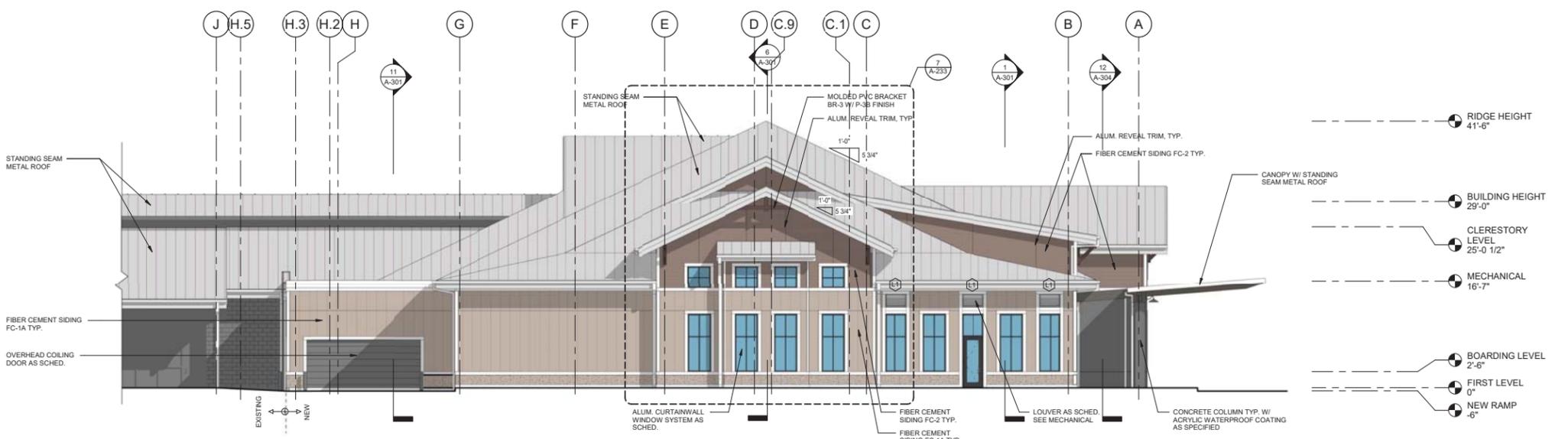
*SEE FINISH LEGEND FOR MORE INFORMATION



11 ENLARGED ELEV. ZONE 2 PLAN EAST
1/8" = 1'-0"



6 ENLARGED ELEV. ZONE 3 PLAN EAST
1/8" = 1'-0"



1 ENLARGED ELEV. ZONE 1 PLAN WEST
1/8" = 1'-0"



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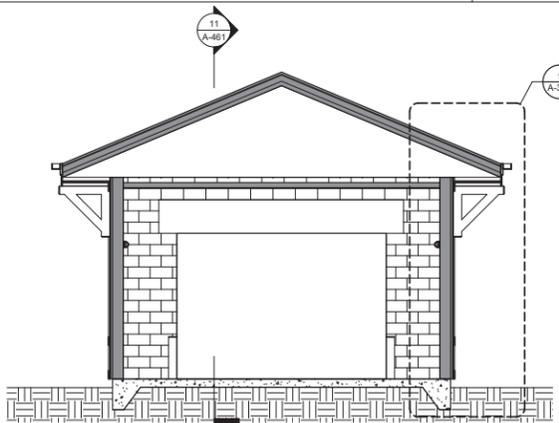
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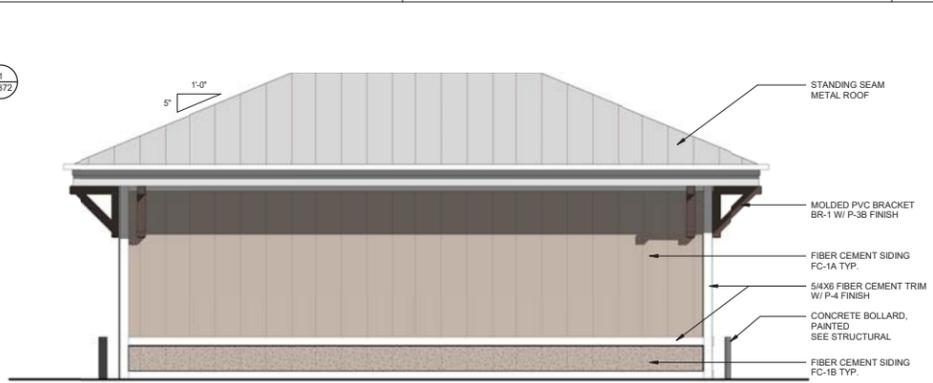
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PROJECT NUMBER 9221-000
SHEET TITLE

**ENLARGED
FLOOR PLANS
AND ELEVATIONS**

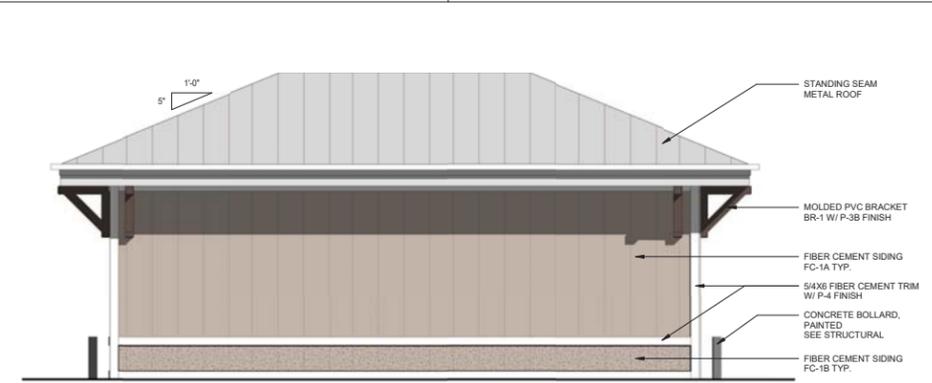
SHEET NUMBER
A-461



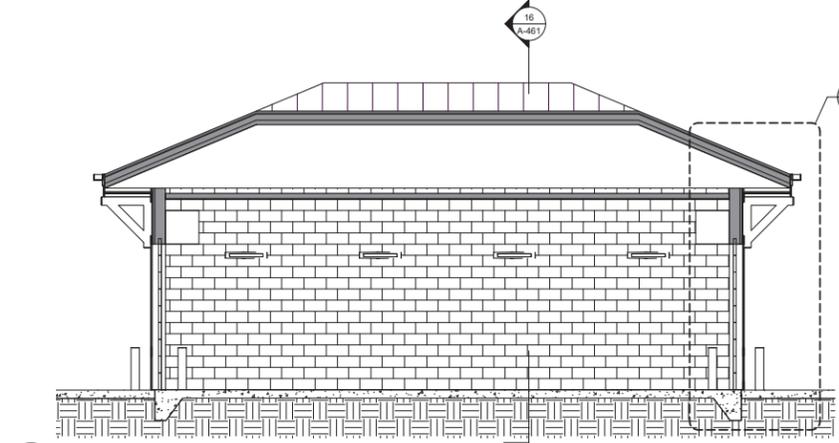
16 BUILDING SECTION
1/4" = 1'-0"



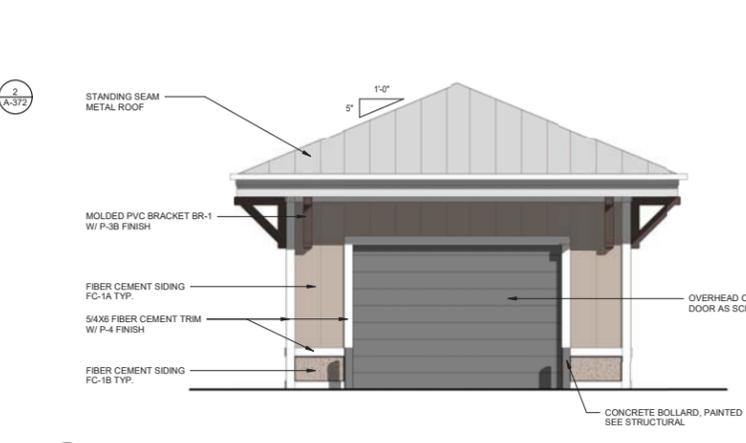
17 ELEVATION
1/4" = 1'-0"



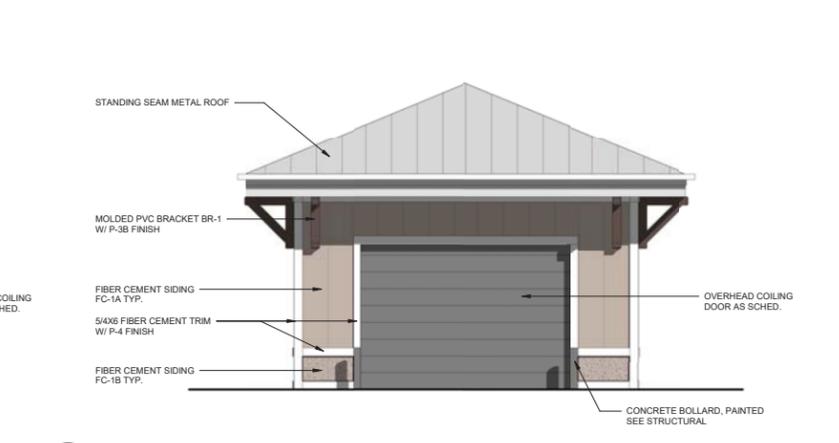
18 ELEVATION
1/4" = 1'-0"



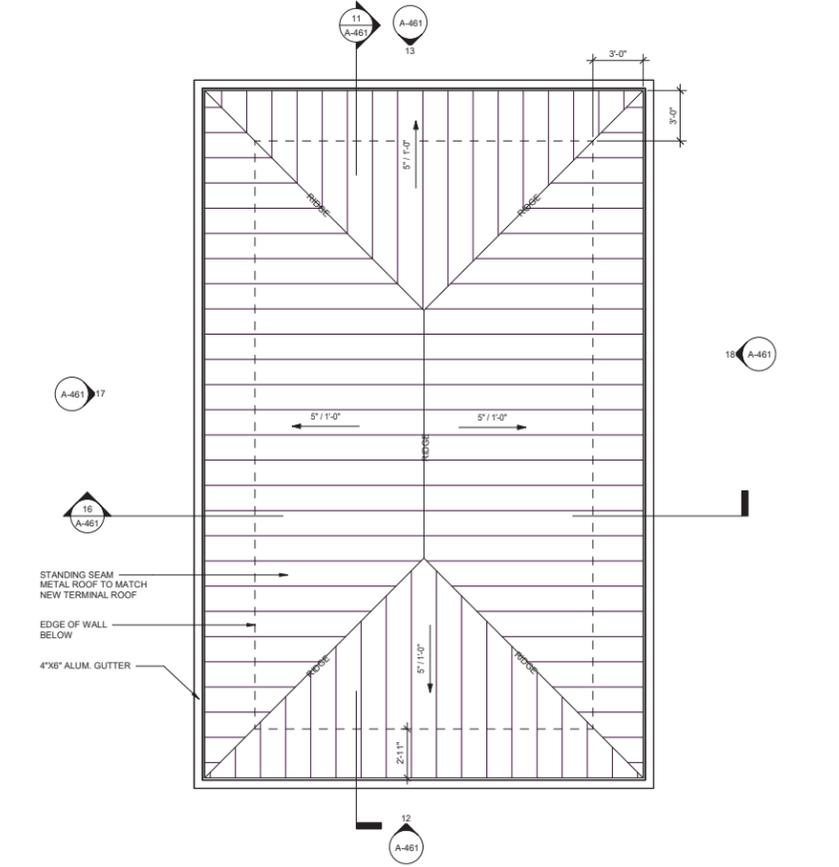
11 BUILDING SECTION
1/4" = 1'-0"



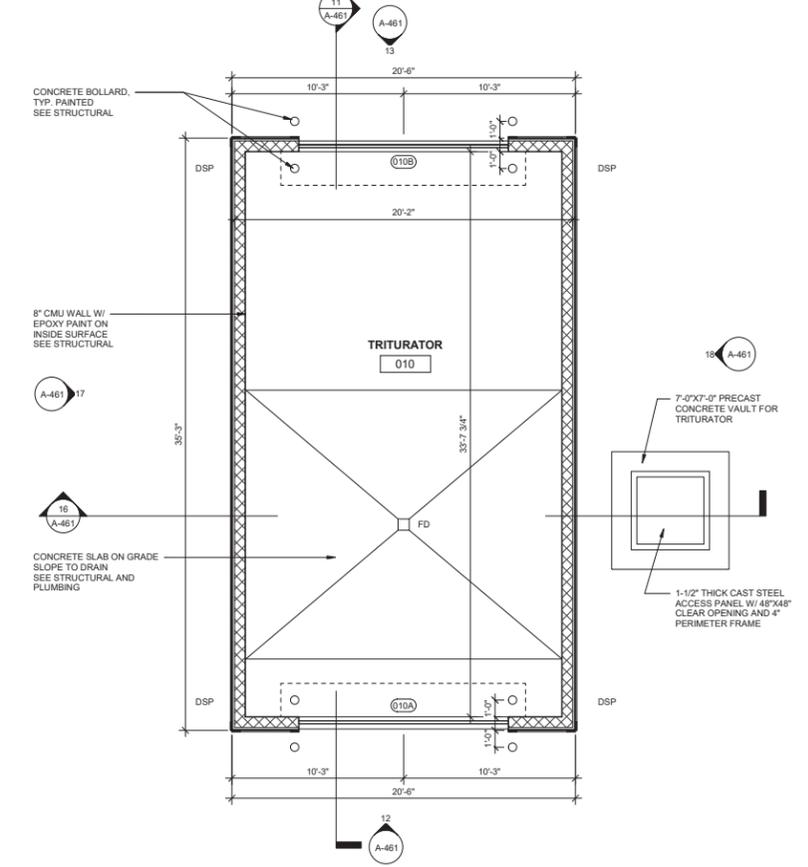
12 ELEVATION
1/4" = 1'-0"



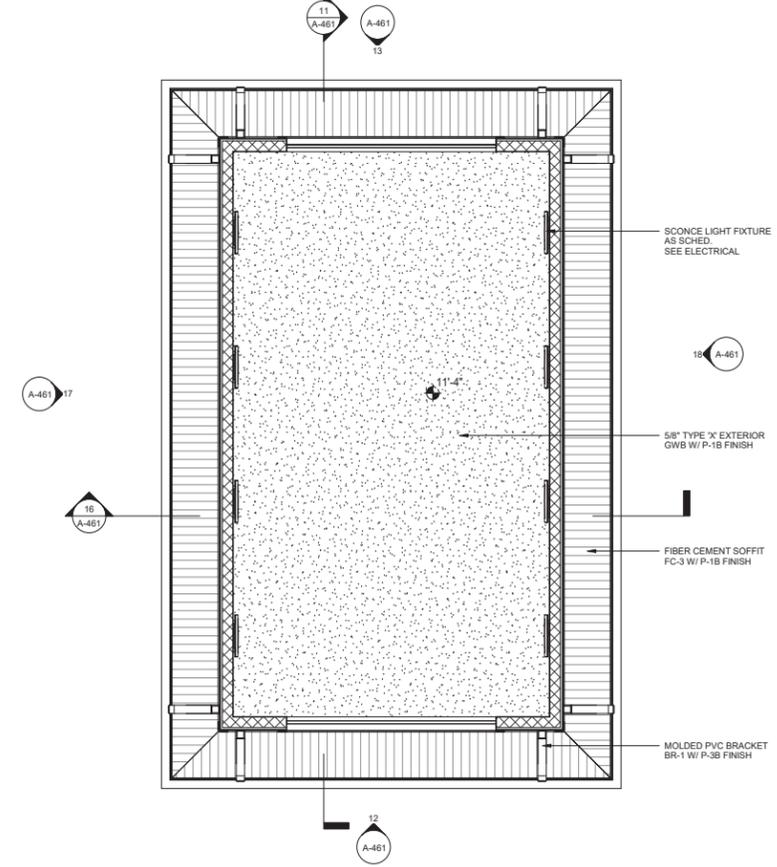
13 ELEVATION
1/4" = 1'-0"



1 ENLARGED ROOF PLAN
1/4" = 1'-0"



2 ENLARGED FLOOR PLAN
1/4" = 1'-0"



3 ENLARGED RCP
1/4" = 1'-0"



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REVISIONS

DATE 5/14/2021

PROJECT NUMBER 9221-000

SHEET TITLE

FINISH LEGEND

SHEET NUMBER

A-752

FINISH LEGEND

ARCHITECTURAL WOOD CASEWORK (SECTION 06 41 16)			LIQUID DENSIFYING SEALANT (SECTION XX XX XX)			SOLID SURFACES (SECTION 12 36 61)		
PLAM-1	MANUFACTURER:	WILSONART	LDS-1	MANUFACTURER:	TBD	SS-1	MANUFACTURER:	HANSTONE QUARTZ
	TYPE:	ACRYLIC FACED LAMINATED PANELS		FINISH/COLOR:	TBD		COLOR:	ITALIAN WAVES - RU701
	STYLE:	STANDARD 1MM THICK		NOTES:	SEE FINISH FLOOR PLAN FOR LOCATIONS.		THICKNESS:	3 CM
	COLOR/PATTERN:	BUKA BARK 7982-38		EQUAL 1:	TBD		EDGE:	EASED
	NOTES:	TBD	EQUAL 2:	TBD	NOTES:	BATHROOM COUNTERS	EQUAL 1:	TBD
					EQUAL 2:	TBD		
PLAM-2	MANUFACTURER:	WILSONART	PRE ENGINEERED INTERIOR WALL PANEL SYSTEMS (SECTION 06 42 19)			SS-2	MANUFACTURER:	HANSTONE QUARTZ
	TYPE:	ACRYLIC FACED LAMINATED PANELS	WPS-1	MANUFACTURER:	NEVAMAR		COLOR:	SPECCHIO WHITE - CT402
	STYLE:	STANDARD 1MM THICK		STYLE:	TBD		THICKNESS:	3 CM
	COLOR/PATTERN:	XXXX		SYSTEM:	TBD		EDGE:	EASED
NOTES:	TBD	FINISH/COLOR:		BREVE- W20054-T, TEXTURED	NOTES:	TICKET COUNTERS, RENTAL CAR COUNTERS, GATE COUNTERS		
STS-1A	MANUFACTURER:	FORMS & SURFACES	WPS-1	EDGE:	TBD	EQUAL 1:	TBD	
	TYPE:	STAINLESS STEEL		MATERIAL:	HPL (HIGH-PRESSURE LAMINATE) ADHERED TO 3/4" PLYWOOD SUBSTRATE	EQUAL 2:	TBD	
	STYLE:	SANDSTONE/ 0.8MM		TEXTURE:	BB BARBOARD			
	COLOR/PATTERN:	N/A		SIZE:	TBD			
	NOTES:	ABOVE TRANSACTION LEDGE AT COUNTERS	NOTES:	WPS-1 PANELS TO BE MOUNTED ON 1/4" ALUM. Z-CLIPS U.N.O. SEE DETAILS.				
STS-1B	MANUFACTURER:	FORMS & SURFACES	WPS-2	MANUFACTURER:	FORMS + SURFACES	SS-3	MANUFACTURER:	HANSTONE QUARTZ
	TYPE:	STAINLESS STEEL		STYLE:	TBD		COLOR:	AWAKEN - BG880
	STYLE:	SANDSTONE/ 0.8MM		SYSTEM:	LIGHTPLANE PANELS		THICKNESS:	3 CM
	COLOR/PATTERN:	CUSTOM PATTERN- WHERE SHOWN. SEE NOTES AND RENDERINGS		FINISH/COLOR:	TBD		EDGE:	EASED
	NOTES:	SUBMIT FOR APPROVED ETCHED CUSTOM PATTERN	EDGE:	TBD	NOTES:	BREAKROOMS	EQUAL 1:	TBD
			MATERIAL:		EQUAL 2:	TBD		
CABINET PULL HARDWARE (SECTION 06 41 93)								
HD-1	MANUFACTURER:	HAFELE	P-1A	MANUFACTURER:	SHERWIN WILLIAMS	P-2A	MANUFACTURER:	SHERWIN WILLIAMS
	STYLE:	155.00.780		FINISH:	INTERIOR		FINISH:	INTERIOR, HIGH PERFORMANCE
	FINISH:	STAINLESS STEEL W/ BRUSHED SATIN FINISH		COLOR:	SW 7029 AGREABLE GRAY		COLOR:	SW 7504 KEYSTONE GRAY
				NOTES:	FIELD COLOR AT WALLS - SEE ELEVATIONS		NOTES:	WANSNOTTING AND WHERE INDICATED ON DRAWINGS
HD-2	MANUFACTURER:	HAFELE	P-2B	MANUFACTURER:	SHERWIN WILLIAMS	P-3A	MANUFACTURER:	SHERWIN WILLIAMS
	STYLE:	ONE SIDED DOOR FASTENER		FINISH:	INTERIOR, FLAT		FINISH:	INTERIOR, SEMI-GLOSS
	FINISH:	BRUSHED SATIN		COLOR:	SW 7504 KEYSTONE GRAY		COLOR:	SW 6041 OTTER
				NOTES:	COLUMN PILASTERS, TYP. AND WHERE INDICATED ON DRAWINGS		NOTES:	EXPOSED STRUCTURAL STEEL FRAMING, ROOF TRUSSES
PLASTIC PANELING (SECTION 06 64 00)								
FRP-1	MANUFACTURER:	CRANE COMPOSITES	P-3B	MANUFACTURER:	SHERWIN WILLIAMS	P-4	MANUFACTURER:	SHERWIN WILLIAMS
	COLOR:	TBD		FINISH:	EXTERIOR		FINISH:	EXTERIOR
	THICKNESS:	TBD		COLOR:	SW 7029 AGREABLE GRAY		COLOR:	SW 6084 MODEST WHITE
	TOP AND VERTICAL TRIM:	TBD		NOTES:	FIBER CEMENT SIDING FC-1A- SEE ELEVATIONS		NOTES:	EXTERIOR FIBER CEMENT TRIM
	EDGE:	TBD						
	NOTES:	TBD						
FIBER CEMENT SIDING (SECTION 07 46 46)			EXTERIOR PAINTING (SECTION 09 91 13)					
FC-1A	MANUFACTURER:	NICHHA	P-1B	MANUFACTURER:	SHERWIN WILLIAMS	P-5	MANUFACTURER:	SHERWIN WILLIAMS
	SYSTEM:	ILLUMINATION AWP 3030		FINISH:	EXTERIOR		FINISH:	INTERIOR, SEMI-GLOSS
	COLOR/FINISH:	CUSTOM COLOR, FACTORY PAINTED FINISH; COLOR TO BE P-1B AS SCHEDULED U.N.O.		COLOR:	SW 7029 AGREABLE GRAY		COLOR:	SW 7757 HIGH REFLECTIVE WHITE
	INSTALLATION:	VERTICAL PANELS ON MANUFACTURER'S CLIP SYSTEM U.N.O.		NOTES:	FIBER CEMENT SIDING FC-1A- SEE ELEVATIONS		NOTES:	RECESSED COVED SOFFITS
	NOTES:	SEE DRAWINGS FOR PANEL JOINT LAYOUT AND SPACING						
	EQUAL 1:	TBD						
FC-1B	MANUFACTURER:	NICHHA	P-3B	MANUFACTURER:	SHERWIN WILLIAMS	P-6	MANUFACTURER:	SHERWIN WILLIAMS
	SYSTEM:	ILLUMINATION AWP 3030		FINISH:	EXTERIOR		FINISH:	EXTERIOR
	COLOR/FINISH:	CUSTOM COLOR, FACTORY PAINTED FINISH; COLOR TO BE P-3B AS SCHEDULED U.N.O.		COLOR:	SW 7029 AGREABLE GRAY		COLOR:	SW 7757 HIGH REFLECTIVE WHITE
	INSTALLATION:	VERTICAL PANELS ON MANUFACTURER'S CLIP SYSTEM U.N.O.		NOTES:	FIBER CEMENT SIDING FC-1A- SEE ELEVATIONS		NOTES:	RECESSED COVED SOFFITS
	NOTES:	SEE DRAWINGS FOR PANEL JOINT LAYOUT AND SPACING						
	EQUAL 1:	TBD						
FC-2	MANUFACTURER:	NICHHA	P-3B	MANUFACTURER:	SHERWIN WILLIAMS	P-7	MANUFACTURER:	SHERWIN WILLIAMS
	SYSTEM:	VINTAGEWOOD AWP 3030		FINISH:	EXTERIOR		FINISH:	EXTERIOR
	COLOR/FINISH:	ASH		COLOR:	SW 7029 AGREABLE GRAY		COLOR:	SW 7757 HIGH REFLECTIVE WHITE
	INSTALLATION:	HORIZONTAL PANELS ON MANUFACTURER'S CLIP SYSTEM U.N.O.		NOTES:	FIBER CEMENT SIDING FC-1A- SEE ELEVATIONS		NOTES:	RECESSED COVED SOFFITS
	NOTES:	SEE DRAWINGS FOR PANEL JOINT LAYOUT AND SPACING						
	EQUAL 1:	TBD						
FC-3	MANUFACTURER:	JAMES HARDIE	P-3B	MANUFACTURER:	SHERWIN WILLIAMS	P-8	MANUFACTURER:	SHERWIN WILLIAMS
	SYSTEM:	BEADED PORCH PANEL SOFFITS		FINISH:	EXTERIOR		FINISH:	EXTERIOR
	COLOR/FINISH:	FACTORY PRIMED FOR PAINTED FINISH - SEE DRAWINGS FOR PAINT COLOR		COLOR:	SW 6041 OTTER		COLOR:	SW 6084 MODEST WHITE
	INSTALLATION:	SOFFIT PANELS U.N.O.		NOTES:	FIBER CEMENT SIDING FC-1B, BRACKETS, CANOPY TRIM, EXTERIOR RAILINGS		NOTES:	EXTERIOR FIBER CEMENT TRIM
	NOTES:	SEE DRAWINGS FOR PANEL ORIENTATION AND JOINT LAYOUT AND SPACING						
	EQUAL 1:	TBD						
LUXURY VINYL TILE (SECTION 09 65 19)			GLASS FIBER REINFORCED GYPSUM (SECTION 09 28 50)					
LVT-1	MANUFACTURER:	SHAW CONTRACT	GRG-1	MANUFACTURER:	ARMSTRONG	GRG-1	MANUFACTURER:	ARMSTRONG
	STYLE/PATTERN:	COVE 0927V		PRODUCT:	PLASTERFORM		PRODUCT:	PLASTERFORM
	FINISH/COLOR:	CASTER		FINISH:	TBD		FINISH:	TBD
	SIZE:	9" X 48"		COLOR:	PAINTED FINISH - SEE DRAWINGS FOR COLOR		COLOR:	PAINTED FINISH - SEE DRAWINGS FOR COLOR
	INSTALLATION PATTERN:	TBD	NOTES:	TBD	NOTES:	TBD		
	NOTES:	ATO AND TSA BREAKROOMS						



LANDSIDE PERSPECTIVE AT APPROACH



VIEW AT TICKETING ENTRANCE



LANDSIDE PERSPECTIVE AT MAIN ENTRANCE



VIEW AT CURBSIDE PICK UP & DROP OFF



*Hilton Head
Island Airport
Terminal
Improvements*

120 Beach City Rd
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REVISIONS

DATE 5/14/2021

PROJECT NUMBER 9221-000

SHEET TITLE

PERSPECTIVES

SHEET NUMBER

A-900



VIEW AT CURBSIDE PICK UP & DROP OFF



LANDSIDE PERSPECTIVE AT FRONT ENTRY VESTIBULE



VIEW AT BAG CLAIM END OF TERMINAL



VIEW AT BAG CLAIM END OF TERMINAL



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REVISIONS

DATE 5/14/2021

PROJECT NUMBER 9221-000

SHEET TITLE

PERSPECTIVES

SHEET NUMBER

A-901



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Island Airport
Terminal
Improvements*

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REVISIONS

DATE 5/14/2021
PROJECT NUMBER 9221-000
SHEET TITLE

PERSPECTIVES

SHEET NUMBER
A-902



AERIAL VIEW AT LANDSIDE

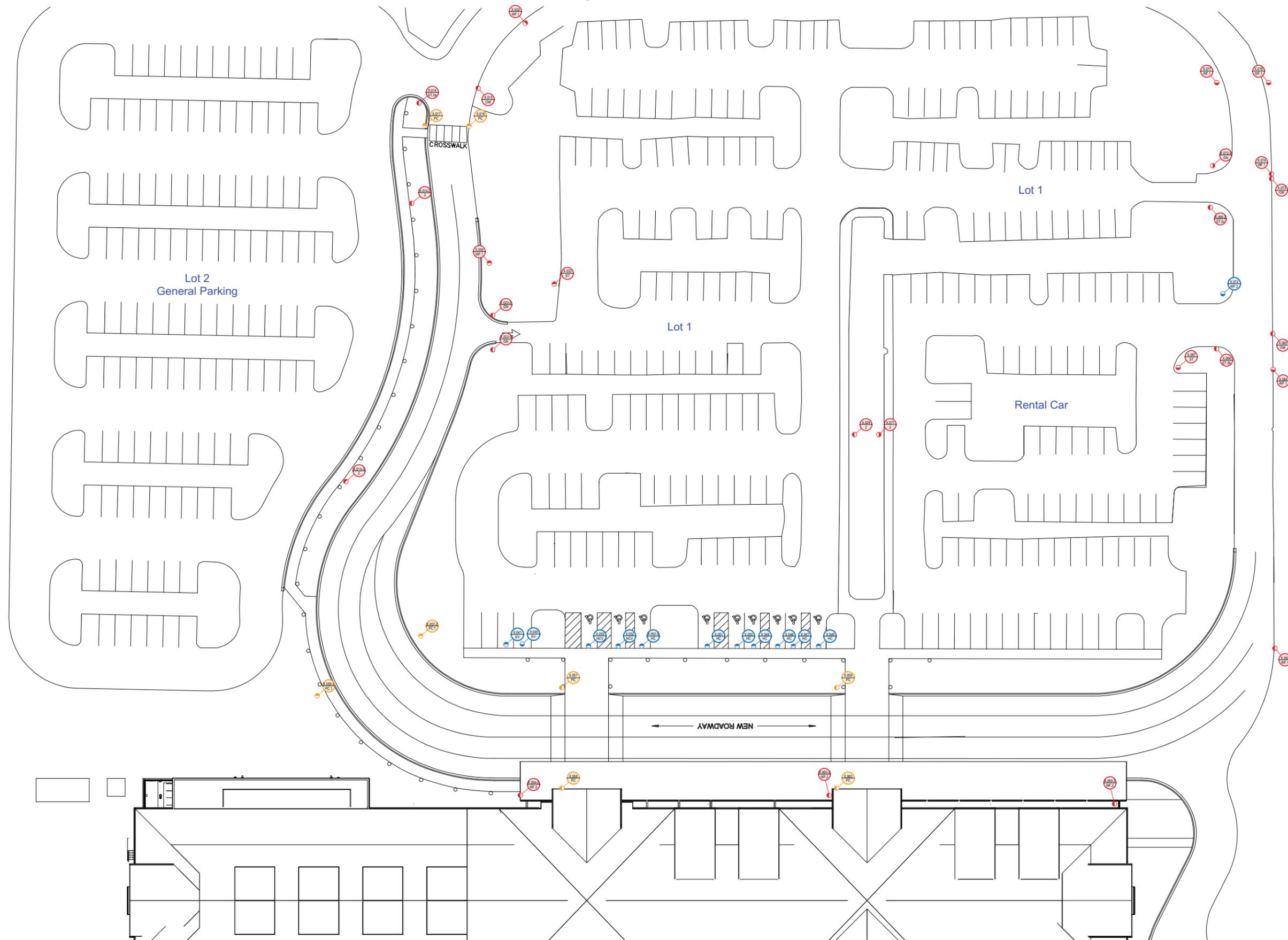


AERIAL PERSPECTIVE

Location Plan

FILE NAME:	HILO036_91082_LOC_Exterior_Rev2
PLANNER:	CDW
DATE:	10/21/2020
REVISIONS:	1 4/7/21 CDW 2 5/8/21 JB

**Hilton Head
 Island Airport
 Exterior**



LEGEND

	SIGN #
	SIGN TYPE
	SIDE A SIDE B
	BUILDING ID SIGN
	VEHICULAR SIGN
	PEDESTRIAN SIGN
	STANDARD TRAFFIC SIGN
	GRAPHIC SIGN

PROJECT TOTALS

Signage Qty	Window Backer Qty
2	4
DN	3
EV	2
HC	7
HCV	2
OW	4
PC	6
PC.1	2
ST	2
ST.2a	1
ST.2b	1
ST.2c	1
WF.1	8
WF.2	3
WF.3	1
YD	1

Site Plan

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Airport Terminal

DRB#: DRB-001860-2021

DATE: 08/13/2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide color of the integrally pigmented concrete in the crosswalks for Staff review and approval.
2. Provide cut sheets for the proposed site furniture (benches, bike racks, etc.) for Staff review and approval.
3. Add tabby finish to the columns for review and approval by one DRB member.
4. Provide a lighting (photometric) plan for Staff review and approval.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed parking does not preserve any of the existing trees.

MISC COMMENTS/QUESTIONS

This project received Conceptual DRB Approval on Dec. 8, 2020.
The hatch on the crosswalk pavement sheet C901 is not indicated in the "Paving Hatch Legend". What does this hatch represent?
What are the proposed colors for "Integrally Pigmented Concrete Color #1 and #2?"
Provide a cut sheet for the proposed benches.
No tabby treatment of the entry columns is shown per DRB Conceptual condition 6.
Provide a lighting (photometric) plan.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	1820-41
Meeting Date:	_____

Applicant/Agent Name: Gene Wilhoit Company: Central Plaza Regime
 Mailing Address: 11 Mathews DR, Unit 3 City: H.H.I. State: SC Zip: 29926
 Telephone: 843 384-2643 Fax: _____ E-mail: GWILHOIT@MSN.COM
 Project Name: Central Plaza Regime Project Address: 11 Mathews DR
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

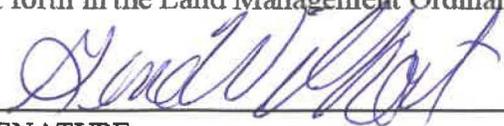
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

8/3/2021
DATE



Exterior Photographs





Exterior Photographs





SW 6142
Macadamia

206-C2

Sierra Tan
Pac Clad
Peterson Aluminum

SW 6142
Macadamia

206-C2

WALLS

Light reflective value: 49 (light)
Valor de reflectancia de luz: 49 (claro)

Complementary colors
Colores complementarios

SW 6140 Moderate White
SW 0050 Classic Light Buff
SW 0040 Roycroft Adobe



SHERWIN-WILLIAMS.

sherwin-williams.com 1-800-4SHERWIN

©2015 The Sherwin-Williams Company

Samples approximate the actual paint color.

Las muestras se aproximan al color real de la pintura.

6505-09995

CS 10/15





DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Central Plaza Renovation

DRB#: DRB-001820-2021

DATE: 08/10/2021

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Eric Walsnovich Company: Wood and Partners, Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head State: SC Zip: 29926
 Telephone: 843-681-6618 x243 Fax: _____ E-mail: ewalsnovich@woodandpartners.com
 Project Name: Hilton Head #1 PSD Project Address: 65 Gardner Drive
 Parcel Number [PIN]: R 5 1 0 0 0 8 0 0 0 0 9 8 F 0 0 0 0
 Zoning District: PD-1: Planned Development Overlay District(s): Corridor Overlay District (COR)

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Eric Walsnovich

Digitally signed by Eric Walsnovich
DN: cn=Eric Walsnovich, o, ou, email=ewalsnovich@woodandpartners.com, c=US
Date: 2021.08.10 13:29:09 -0400

08-10-2021

SIGNATURE

DATE



PSD Water Storage Tank - Existing Site Photo

Created with



SW 6451
Nurture Green



SW 6458
Restful



SW 9041
Parisian Patina



SW 6459
Jadite



SW 7742
Agate Green



SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head PSD#1 Water Tank

DRB#: DRB-001868-2021

DATE: 08/13/2021

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Faith Goddard

SIGNATURE

DATE

CIRCLE CENTER | [2] NEW DOUBLE SIDED ROAD SIDE MONUMENTS

Two new road side monuments to replace the current monuments as shown in the enclosed renderings. Both current monuments will be demolished and replaced with the completely new and rebuilt structures below. The structures will be built as follows: a 24" x 24" x 72" stucco base with a painted brick topper will be set at grade and have a 6" x 68" x 72" foam cabinet set upon it. The face will be sandwiched between [2] two aluminum posts on either end, which extend down into the stucco base [by approximately 10"] for support. Both the left and right ends of the face, where the edge of the face shows through the sandwiched areas of the posts, will feature a 6" x .125" x 72" aluminum panels with routed texture, all colors noted below. The monuments will be topped with a metal roof with wood trim, painted as noted below, for aesthetic purposes to tie into the look of the building. The entire structure will be secured and supported by [2] two 4" x 4" x 10' aluminum tubes set 2' deep into the ground with [each with concrete footers] which run up through the stucco base and foam cabinet for support and integrity. All electrical for the back lit channel letters for the header and main tenant is to be run up through the foam cabinet and connected to a power supply box inside with an access panel on the side for future installs. No electrical will be either exposed or visible to passersby. Engineer drawings forthcoming.

Both monuments are double sided. Each will feature an address made of 3" thick routed HDU letters which will be stud mounted along the top of the face on both sides; a set of halo lit channel letters reading "Circle Center" and also for the main tenants in each outlined area on each side of each monument. [The signage for the main tenants are to be individually permitted as they arrive for color and compliance of their individual logos with the Town of Hilton Head Island]. Each face will also have [4] four tenant panels along the bottom, under the main tenants. Those will be constructed of 1.5" thick routed HDU with raised borders and copy on a smooth recessed background. The background will be routed out at approximately 1/4" depth and the border color will match the background. [The signage for the tenants are to have text only, no logos, no emblems. All painted Gauntlet Gray text on Agreeable Gray background]. All letters and tenant panels are to be stud mounted to the face on either side. The channel letters for are to be halo lit with white LED lights all other elements are not internally illuminated. Both monuments will be manufactured and painted to the outlined size and color specifications listed below.

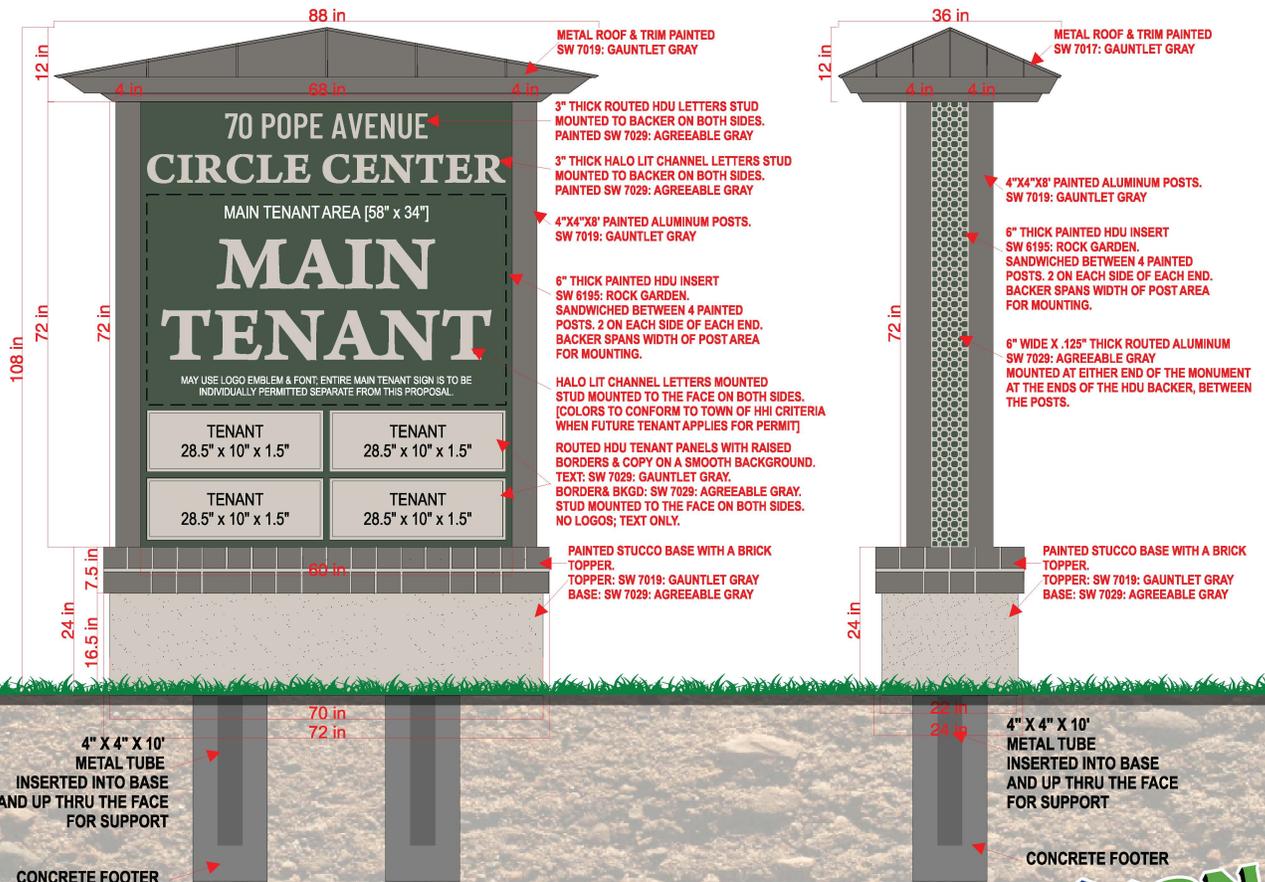
■ SW 7029: AGREEABLE GRAY

■ SW 7019: GAUNTLET GRAY

■ SW 6195: ROCK GARDEN

PROPOSED: 70 POPE AVENUE, HILTON HEAD ISLAND, SC 29928 [ROAD SIDE]

66FT²



CIRCLE CENTER | [2] NEW SINGLE SIDED ON CAMPUS DIRECTORY MONUMENTS

Two new on campus directory monuments to replace the current monuments as shown in the enclosed renderings. Both current monuments will be demolished and replaced with the completely new and rebuilt structures below. The structures will be built as follows: a 14" x 14" x 122" stucco base with a brick topper will be set at grade and have a 6" x 48" x 96" foam cabinet set upon it. The cabinet will be sandwiched between [2] two aluminum posts on either end, which extend down into the stucco base [by approximately 10"] for support. Both the left and right ends of the face, where the edge of the face shows through the sandwiched areas of the posts, will feature a 6" x 125" x 84" aluminum panels with routed out texture, all colors noted below. The monuments will be topped with a metal roof with wood trim, painted as noted below, for aesthetic representation of the buildings. The entire structure will be secured and supported by [2] two 4" x 4" x 6' aluminum tubes set 2' deep into the ground with [each with concrete footers] which run up through the stucco base and foam face for support and integrity. Engineer drawings forthcoming.

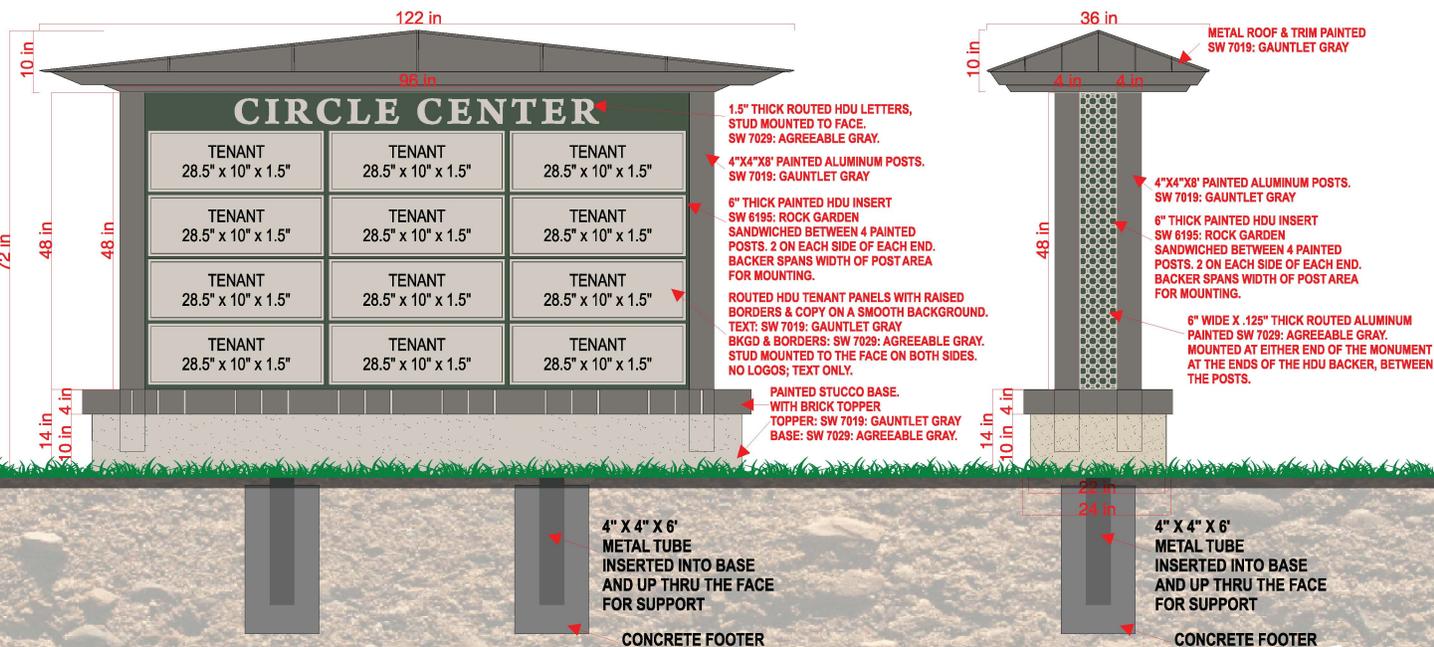
Both directory monuments are single. Each will feature an address made of 1.5" thick set of routed HDU letters reading "Circle Center" along the top of each monument face. Each face will also have [12] twelve tenant panels. The tenant panels will be constructed of 1.5" thick routed HDU with raised borders and copy on a smooth recessed background. The background will be routed out at approximately 1/4" depth and the border color will match the background. [Text only, no emblems or logos. Gauntlet Gray on Agreeable Gray.]. All letters and tenant panels to be stud mounted to the face on either side. Both monuments will be manufactured and painted to the outlined size and color specifications listed below.

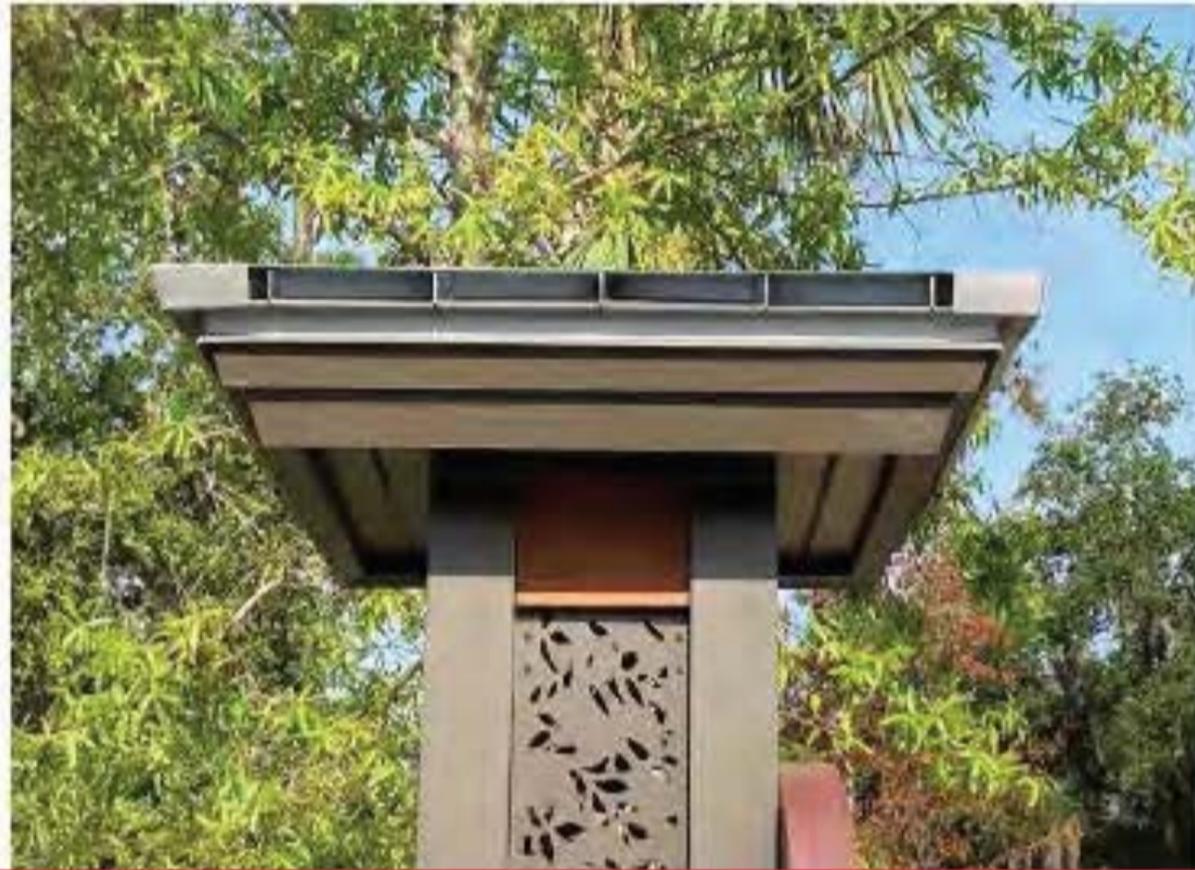
Both monuments are to be externally illuminated using the existing lighting fixtures on the ground. The ground light fixtures will be adjusted accordingly with the placement of the new monuments for optimal illumination.

■ SW 7029: AGREEABLE GRAY ■ SW 7019: GAUNTLET GRAY ■ SW 6195: ROCK GARDEN

PROPOSED: 70 POPE AVENUE, HILTON HEAD ISLAND, SC 29928 [ON CAMPUS]

61FT²





Sign Inspiration - To be modified per specifications and will not include wood panel detail.

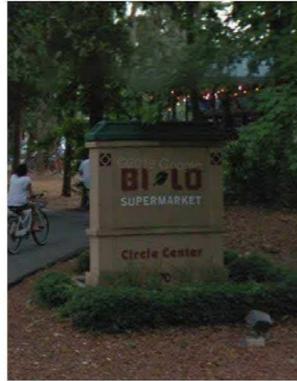


SITE PIX:

PROPOSED: MNMT #1: SIDE A & B



EXISTING:



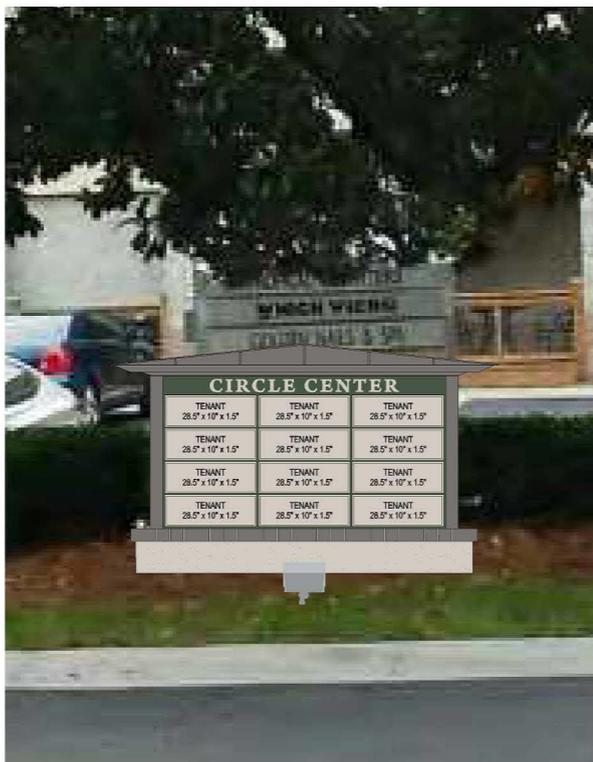
PROPOSED: MNMT #2: SIDE A & B



EXISTING:



PROPOSED: DIRECTORY #1



EXISTING:



PROPOSED: DIRECTORY #2

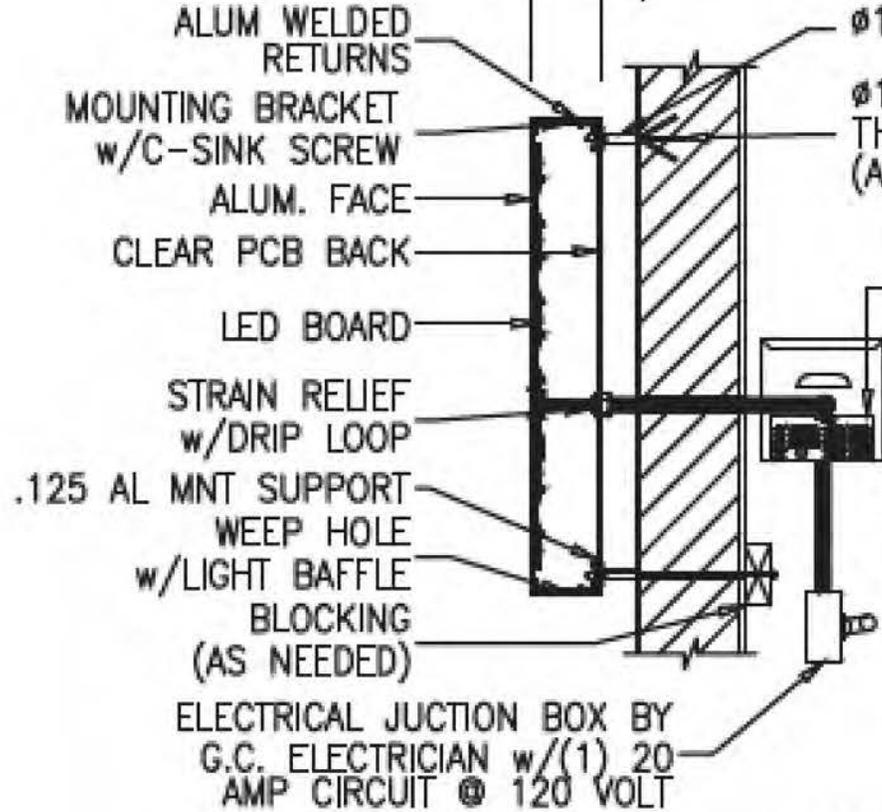
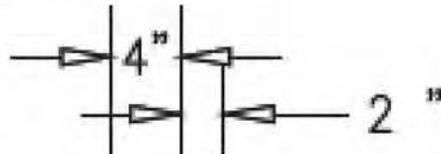


EXISTING:



BACK LIT CHANNEL LETTER SPECS:

REVERSE HALO-LIT
(METAL FACE)



Ø1/2" x 2" PVC STANDOFF

Ø1/4" or Ø3/8" LAGBOLT OR THREADED ROD w/BLOCKING (AS NEEDED)

T LED POWER SUPPLY MOUNTED IN A TRANSFORMER BOX MOUNTED INSIDE OF THE ROOF.

ALL ELECTRICAL WILL BE RUN UP THROUGH THE POSTS AND DOWN THROUGH THE ROOF.

LED REVERSE CL CROSS SECTION
SCALE: NTS (REFERENCE ONLY)
EQUIPMENT GROUNDED



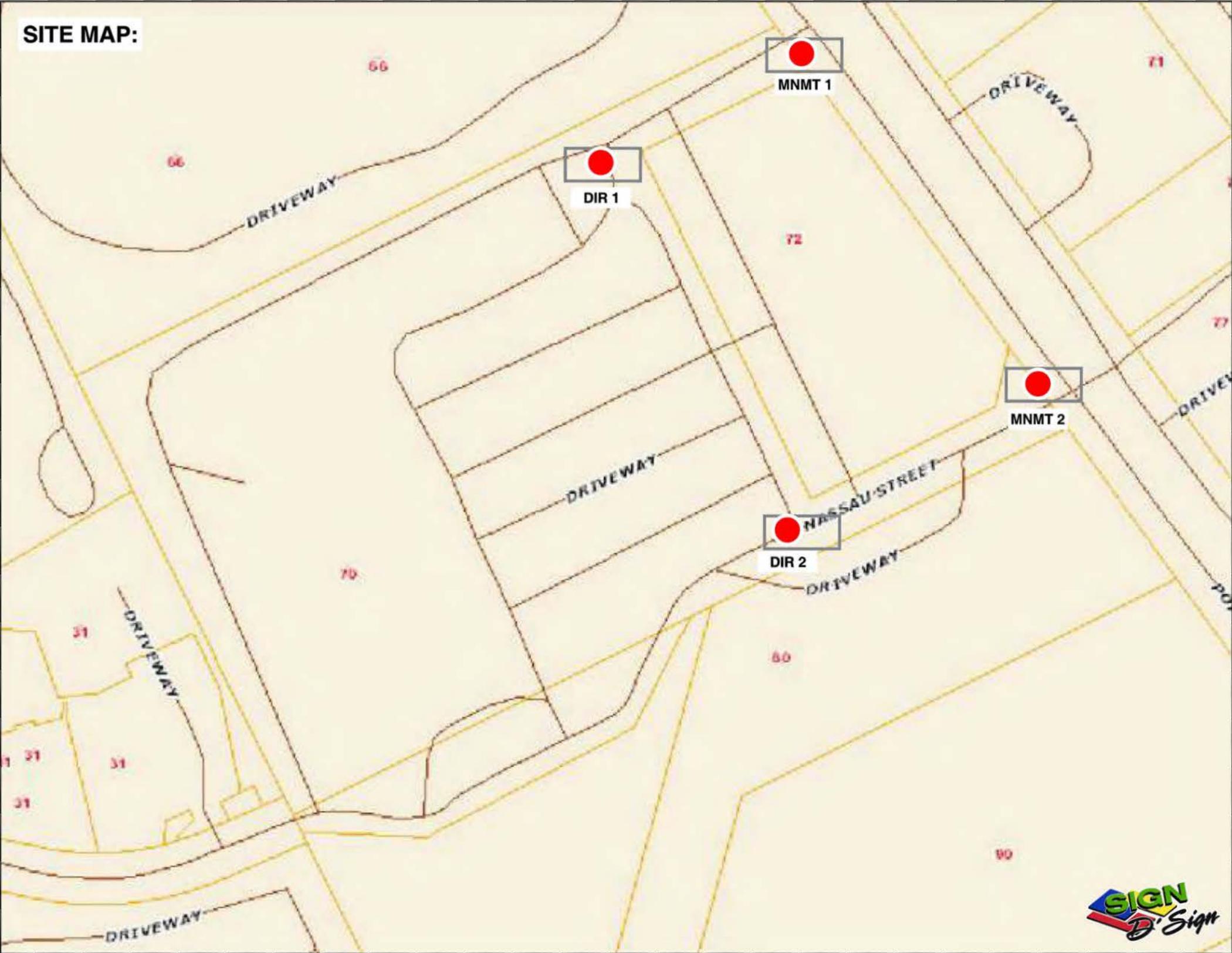
Daytime Appearance



Nighttime Appearance



SITE MAP:



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Circle Center Signs

DRB#: DRB-001774-2021

DATE: August 13, 2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Stamped engineered plans and landscape plans submitted with the sign permit.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Daniel Ben-Yisrael Company: Drayton-Parker Companies LLC
 Mailing Address: 17 W. McDonough City: Savannah State: GA Zip: 31401
 Telephone: 912-677-0593 Fax: _____ E-mail: dbenyisrael@yahoo.com
 Project Name: Parker's Kitchen Project Address: 430 William K Hilton Pkwy Unit #400
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 2 4 8 0 0 0 0 _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 _____ Concept Approval – Proposed Development _____ Alteration/Addition
 _____ Final Approval – Proposed Development X Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

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SIGNATURE

8/10/21

DATE



Parker's kitchen

SUBMITTAL PACKAGE

CLIENT: Parker's Kitchen
 STORE #: 90
 LOCATION: 430 William Hilton Pkwy
 Hilton Head Island, SC 29928
 DATE: 10.09.20
 REQUIRES VARIANCE: No

TABLE OF CONTENTS

PAGE 1 - Cover
 PAGE 2 - Color Specifications
 PAGE 3 - Site Map
 Page 4 - Front Elevation
 Page 5 - Rear Elevation
 Page 6 - Monument A
 Page 7 - Monument B
 Page 8 - Monument C
 Page 9 - Interior Elements
 Page 10 - Interior Elements
 Page 11 - Interior Elements

CONTACTS

Natalie Biesecker
 Senior Program Manager
 (814) 502-7671
 nbiesecker@blairimage.com

Brian Gnam
 Vice President
 (513) 608-9208
 bgnam@blairimage.com

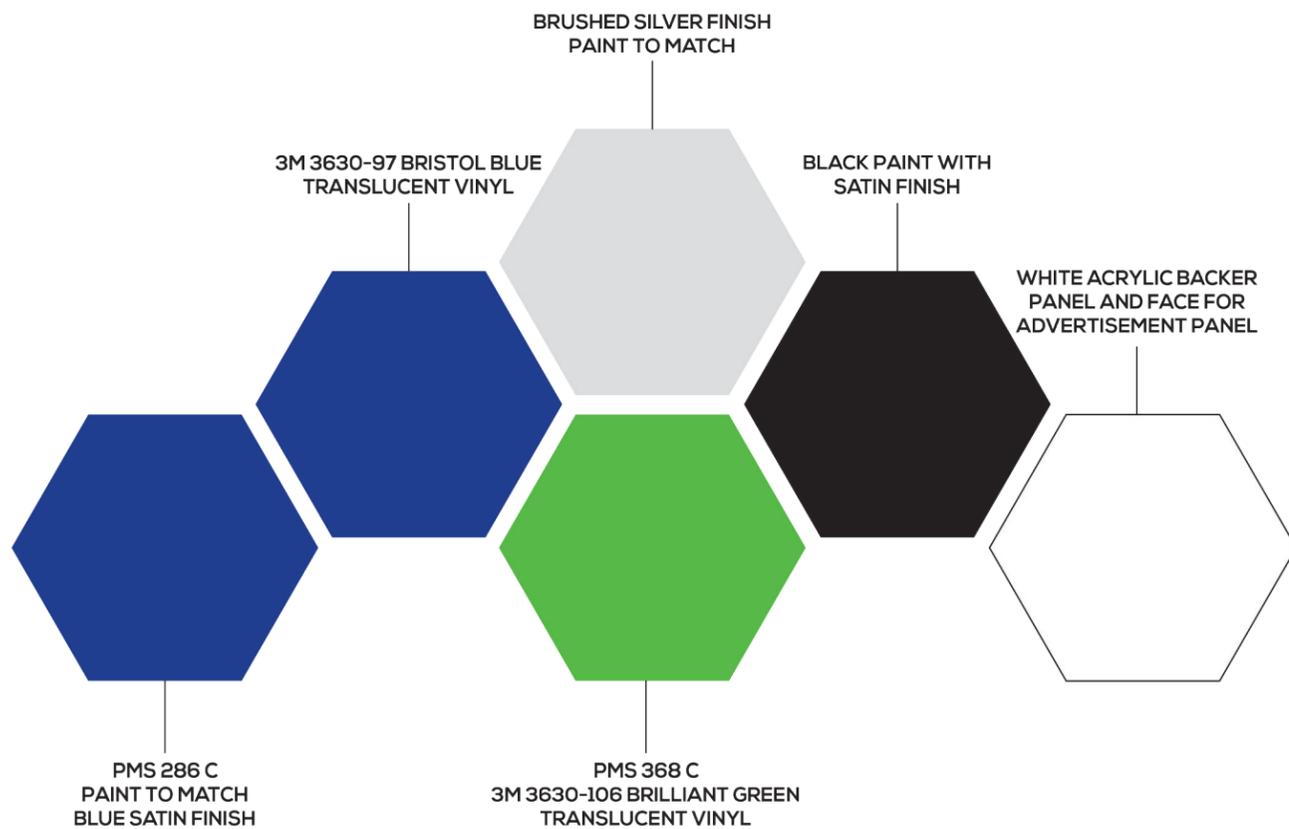
APPROVAL STAMP

DOCUMENT INFO

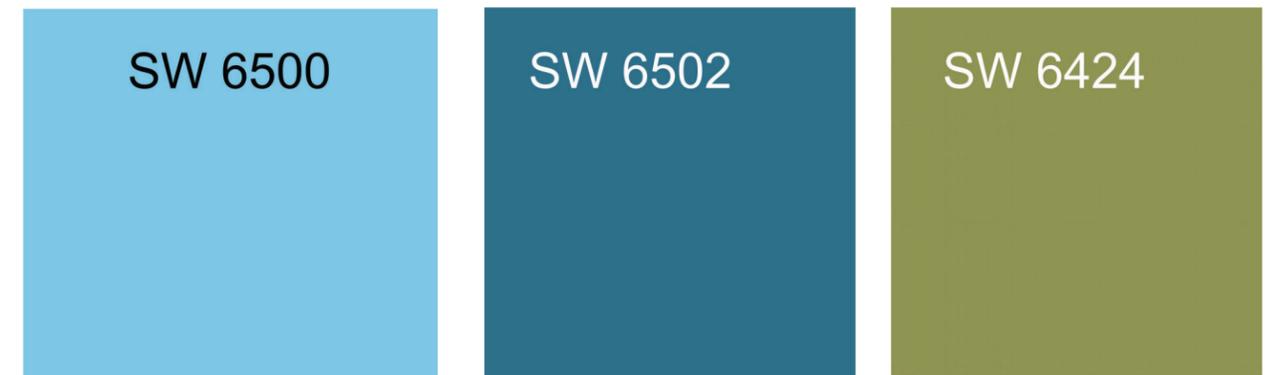
BLAIR PROJECT#: 92758
 SALES ORDER #:
 DOC #: PRK-200704-1

REVISIONS

REV	DATE	DESCRIPTION
1	11.02.20	UPDATE MONUMENT
2	02.03.21	UPDATED REAR ELEVATION
3	02.05.21	UPDATED PER MARKUP
4	02.09.21	UPDATED MONUMENT PAGE11
5	03.01.21	UPDATED MONUMENT
6	03.03.21	UPDATED MONUMENT
7	07.19.21	UPDATED PER CLIENT COMMENTS
8	07.20.21	UPDATED PER CLIENT COMMENTS
9	07.27.21	UPDATED INTERIOR ELEMENTS
10	07.30.21	UPDATED PER CLIENT COMMENTS
11	08.03.21	UPDATED BACKER PANELS



PARKER'S COLOR SPECIFICATIONS



SEA TURTLE MARKETPLACE COLOR SPECIFICATIONS

COLOR SPECIFICATIONS

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Image Elements. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Image Elements.



Parkers Kitchen
Store #90
430 William Hilton
Pkway Hilton Head
Island, SC 29928

Drawn By: CDL

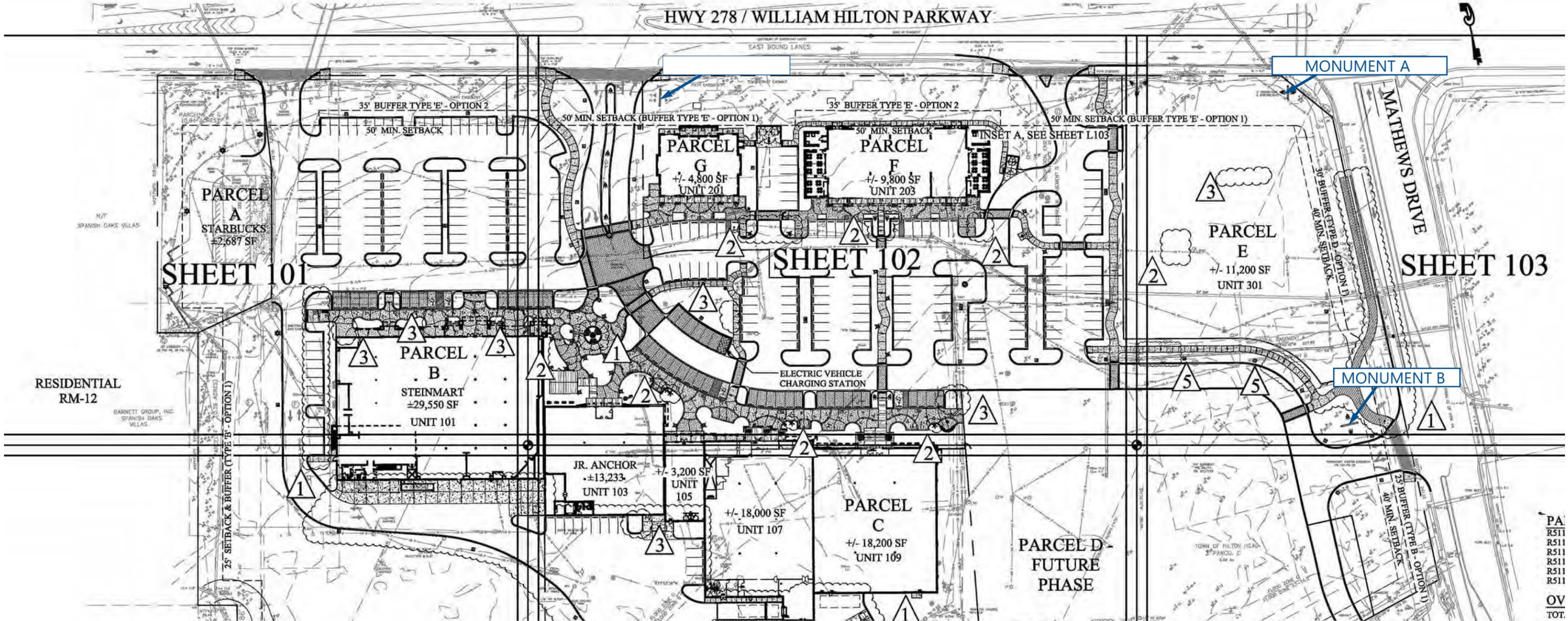
REV	DATE	DESCRIPTION
9	7/27/21	UPDATED INTERIOR ELEMENTS
10	7/30/21	UPDATED PER CLIENT COMMENTS
11	8/03/21	UPDATED BACKER PANELS

COLOR SPECIFICATIONS

Doc #: PRK-200704-1
Blair Project #: 92758
Blair Sales Order #:

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com





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SITE MAP

Parker's kitchen
 Parkers Kitchen
 Store #90
 430 William Hilton
 Pkway Hilton Head
 Island, SC 29928

Drawn By:	CDL	
REV	DATE	DESCRIPTION
9	7/27/21	UPDATED INTERIOR ELEMENTS
10	7/30/21	UPDATED PER CLIENT COMMENTS
11	8/03/21	UPDATED BACKER PANELS

SITE MAP

Doc #: PRK-200704-1
 Blair Project #: 92758
 Blair Sales Order #:

Blair Image Elements
 5107 Kissell Avenue
 Altoona, PA 16601
 P: (814) 949.8287
 blairimage.com



CUSTOM MONUMENT A

- Grade Copy = 3" Height
- Font Kit = 14.25" High copy

Scope of Work

- Parker's letters needed
- Paint bottom of monument blue
- Club Regular/Club text word plates



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Parkers Kitchen
Store #90
430 William Hilton
Pkway Hilton Head
Island, SC 29928

REV	DATE	DESCRIPTION
9	7/27/21	UPDATED INTERIOR ELEMENTS
10	7/30/21	UPDATED PER CLIENT COMMENTS
11	8/03/21	UPDATED BACKER PANELS

MONUMENT DETAILS

Doc #: PRK-200704-1
Blair Project #: 92758
Blair Sales Order #:

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



MONUMENT B - Mathews Drive

- Parker's Kitchen Tenant Panel 17.5" x 39.0"
- Club Tenant Panel sign 17.5" x 39.0"
- Club Regular Tenant Panel sign 17.5" x 39.0"

- Grade Copy = 3" Height
- Font Kit = 7" High Copy

Scope of Work

- Parker's tenant panel
- Club Regular w/ word plate



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MONUMENT C

Scope of Work

- Parker's tenant panel



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Parkers Kitchen
Store #90
430 William Hilton
Pkway Hilton Head
Island, SC 29928

Drawn By: CDL

REV	DATE	DESCRIPTION
9	7/27/21	UPDATED INTERIOR ELEMENTS
10	7/30/21	UPDATED PER CLIENT COMMENTS
11	8/03/21	UPDATED BACKER PANELS

MONUMENT DETAILS

Doc #: PRK-200704-1
Blair Project #: 92758
Blair Sales Order #:

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Parkers Signage

DRB#: DRB 001870-2021

DATE: August 13, 2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Parker's Monument A:

1. Keep address copy.
2. Reduce changeable copy to 8" and show dimensions.
3. Changeable copy and gas descriptions to match address color black.
4. Acrylic letters for gas descriptions to be 1" thick stud mounted to match existing.

Mathews Monument B:

1. Per approved sign system, tenant panels are 1.5" HDU.
2. Background color for changeable copy to remain monument color.
3. Acrylic letters for gas descriptions to be 1" thick stud mounted to match existing.
4. Changeable copy also in black.

William Hilton Pkwy. Common Monument C:

1. Per approved sign system, tenant panels are 1.5" HDU.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Jay Perlmutter Company: Carolina Permits Inc.
 Mailing Address: 15009 Boudins Lane City: Charlotte State: NC Zip: 28278
 Telephone: 704-641-0379 Fax: 704-504-9201 E-mail: JAP.CPI@BMAIL.COM
 Project Name: Shelter Cove Project Address: 4 Shelter Cove Lane
 Parcel Number [PIN]: R520011000 0144 0000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

8-5-21

DATE



SHELTER COVE

July 14, 2021

Jessica Hehman
Marriott's Harbour/Sunset Point
4 Shelter Cove Lane
Hilton Head Island, SC 29928

RE: Harbour/Sunset Point Entrance Enhancement Project

Dear Jessica,

The Shelter Cove Company's ARB is in receipt of your signage proposal for Entrance Enhancement for Marriott Harbour/Sunset Point, per your email and package dated July 7, 2021

The ARB has reviewed and approved the requested enhancement package as submitted with the following **exception**.

- Receive payment for \$100 application fee and \$1000 refundable compliance deposit.
- All Shelter Cove property that will have construction activity occurring on it, if damaged shall be restored to the pre-construction condition at the contractor's sole expense.
- Any changes for modifications to the project obtain ARB approval before proceeding.
- TOHHI meets any TOHHI permits, if required.

Please notify the SCC office at (843) 310-0431 or by email at ddominguez@sheltercovehc.org should you have any questions.

With Kindest Regards,

Denise Dominguez

Denise Dominguez
Manager

Cc: SCCARB File

MARRIOTT'S HARBOUR POINT AND SUNSET POINTE AT SHELTER COVE RESORT MONUMENT SIGN AND LOBBY SIGNS .

4 Shelter Cove Ln,
Hilton Head Island, SC
29928, United States

Submitted by:
Daniela Restrepo
Client Services Manager & Product Specialist
Modulex
drh@modulex.com

VERSION 11.0

SUBMITTED August 4, 2021





LOCATION

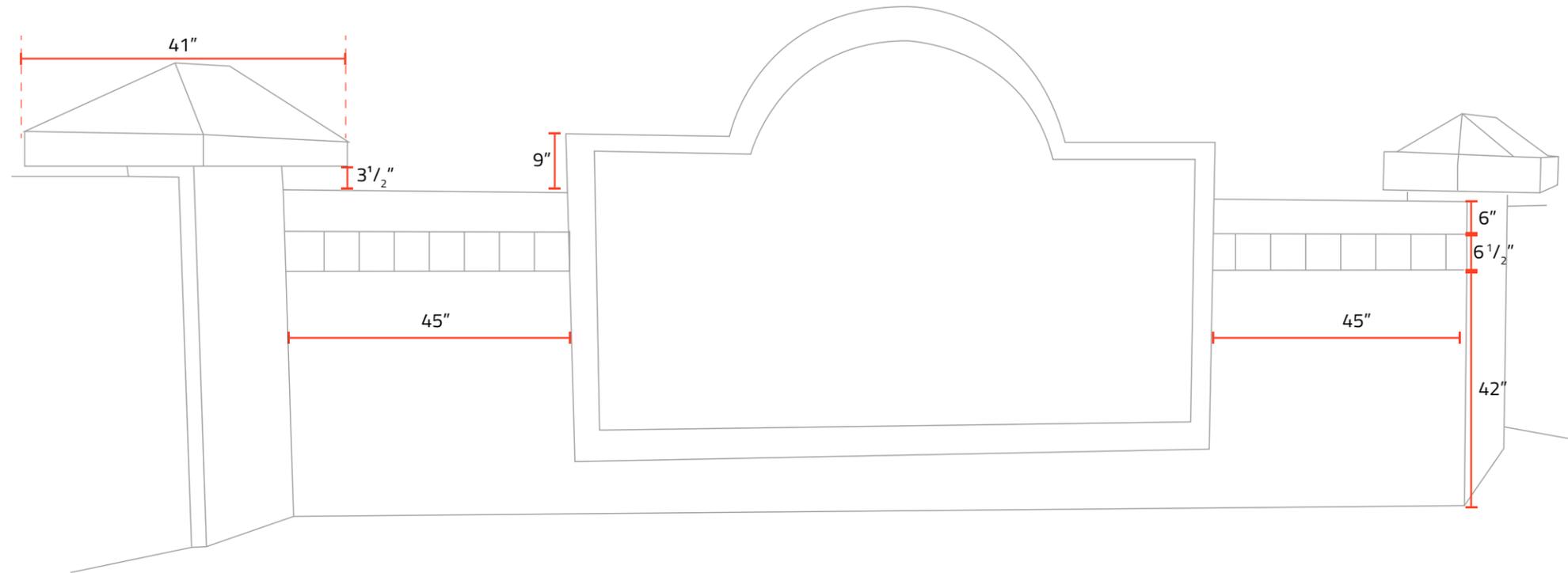
Location of the sign in
Relation to Public Access



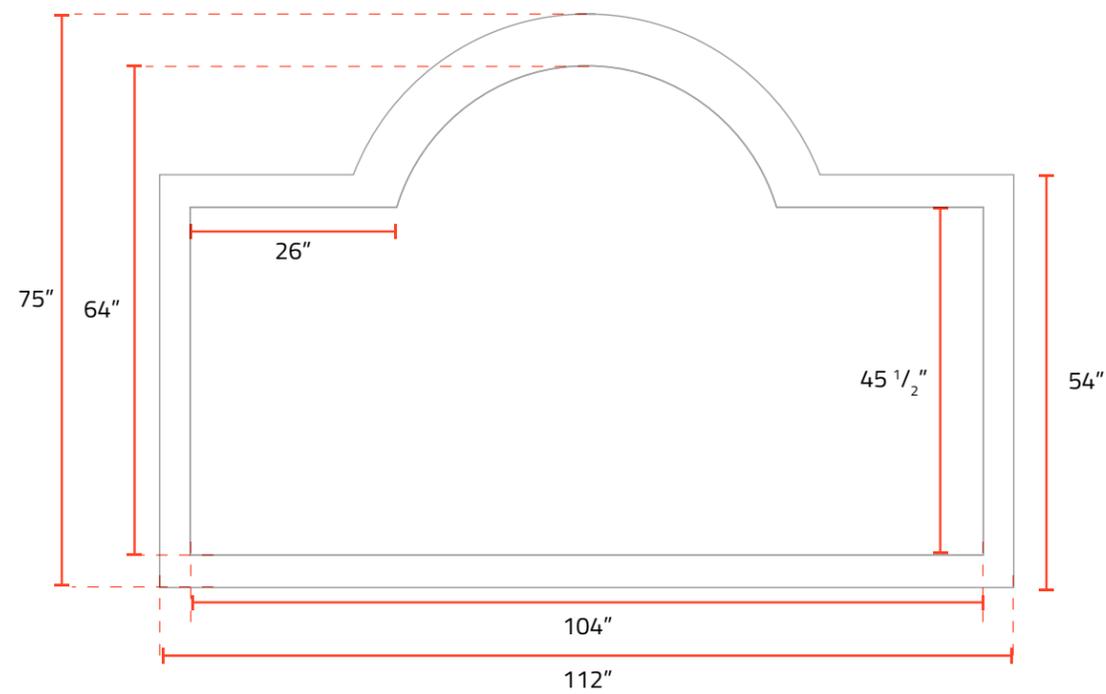
MEASUREMENTS

Measurements of Current Sign

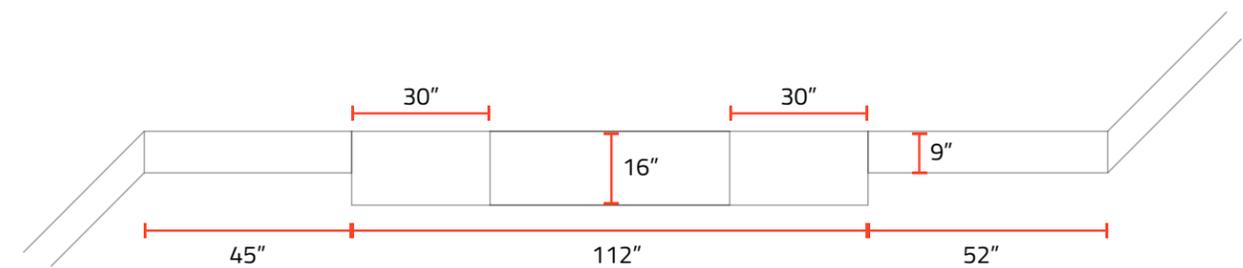
GENERAL VIEW



SIGN FRONT VIEW



TOP VIEW



NEW
Monument Sign

VERSION: 10

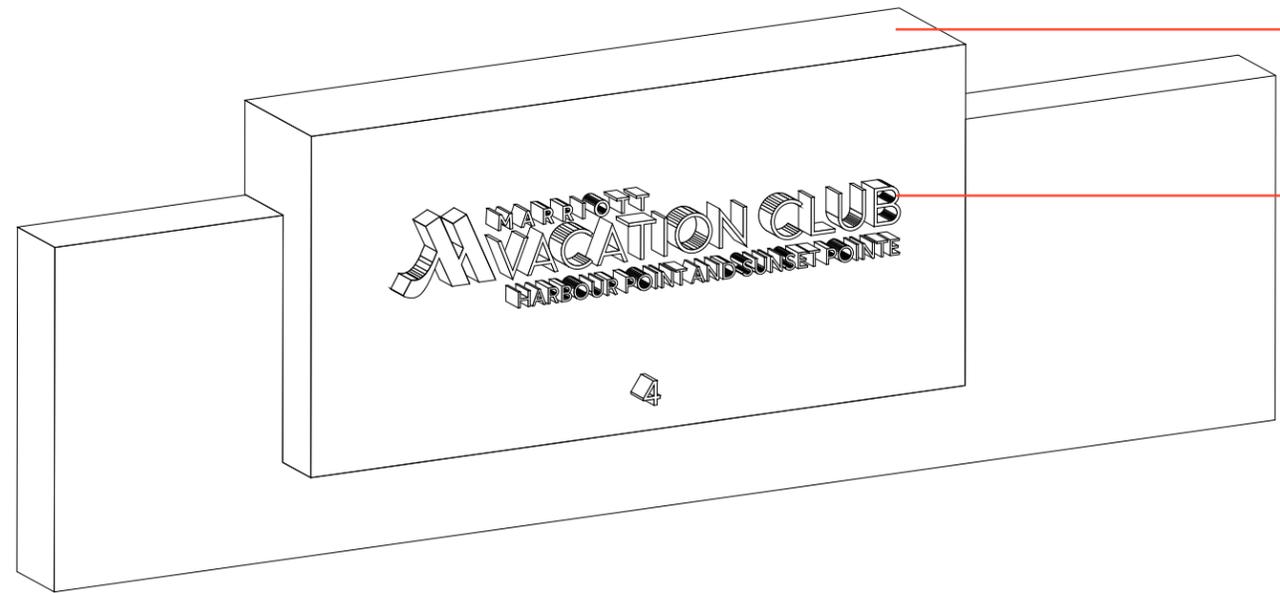
QTY: 1

DATE: August 4, 2021

FINISH KEY

 PMS 425 C

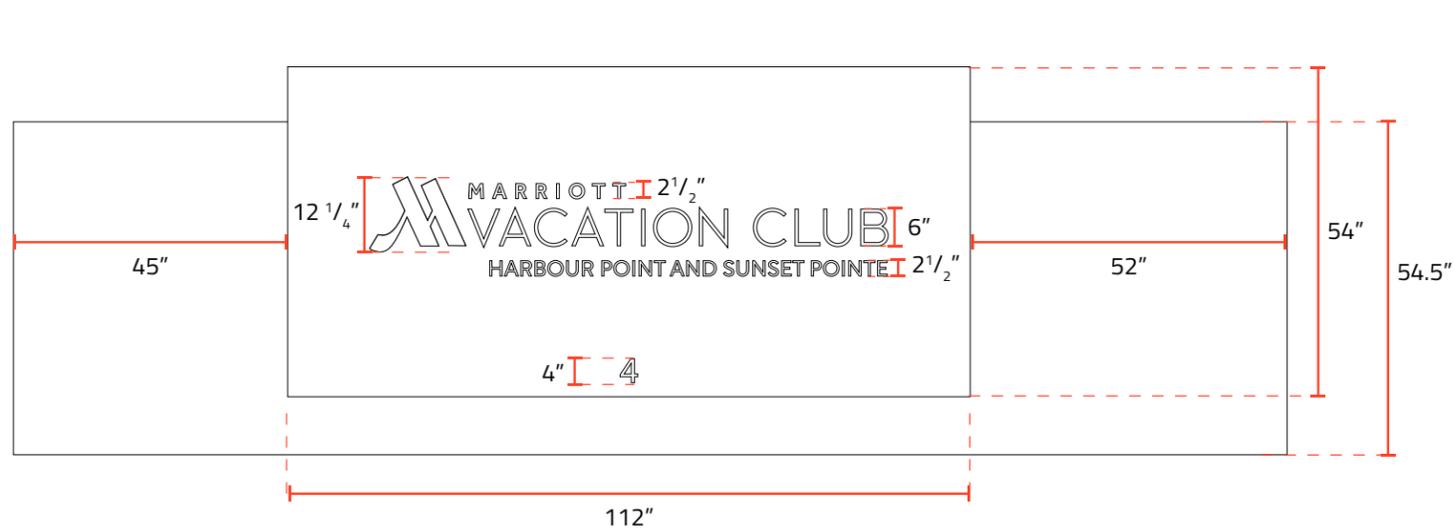
 TEXTURED STUCCO



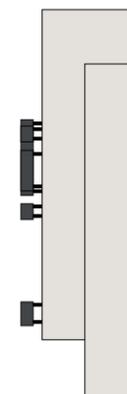
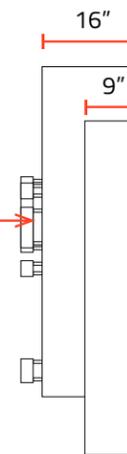
Removal of the half-circle top

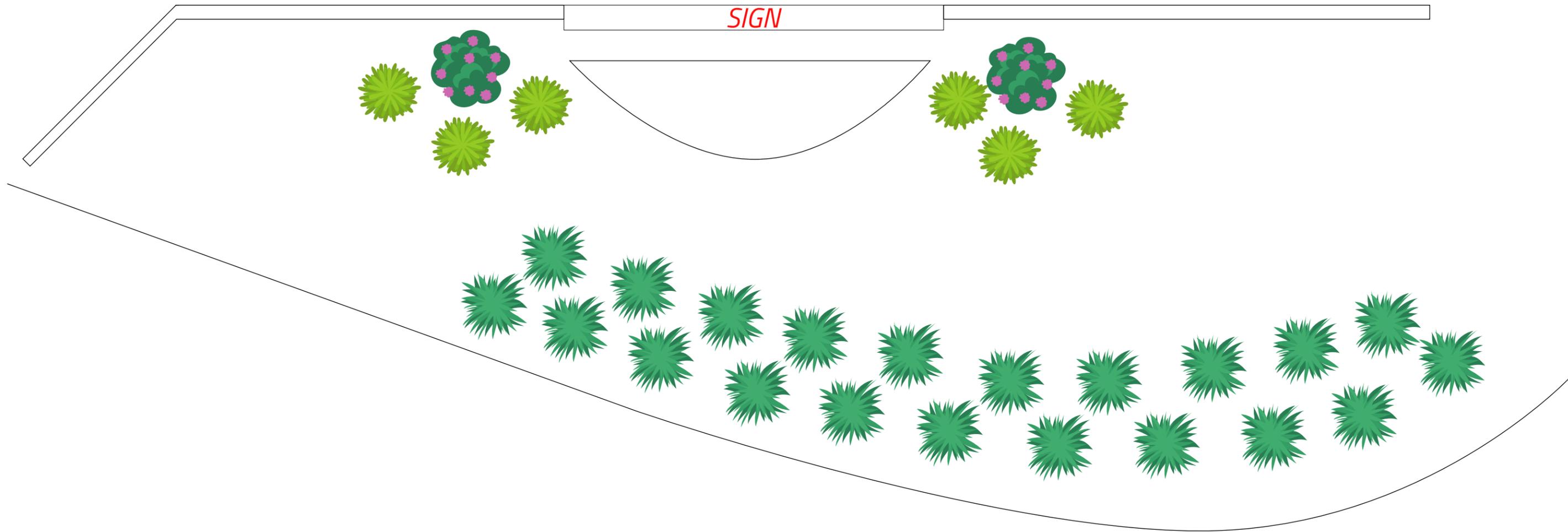
2" Thick Flat Cut Aluminum Letters
***Thickness chosen for manufacturing purposes*

Refinished wall to remove wood panels. Refinish to match existing stucco finish



2" Thick Flat Cut Aluminum Letters with 1.5" spacers





Kanjiro Sasanqua
Camellia



Shell
Ginger



Aztec
Grass



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Marriott Sunset/Harbour Point

DRB#: DRB-001875-2021

DATE: August 13, 2021

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Address moved to top and suggest adding road name for balance.