



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, March 22, 2022 – 1:15 p.m.
AGENDA

This meeting will be conducted virtually and can be viewed on the [Town of Hilton Head Island Public Meetings Facebook Page](#). A Facebook account is not required to access the meeting livestream.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of March 8, 2022

6. Appearance by Citizens

Citizens who wish to address the Board concerning items on the agenda may do so by contacting the Board Secretary at 843-341-4691 no later than 12:15 p.m. the day of the meeting. Citizens may also submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 12:15 p.m. the day of the meeting. Comments submitted through the portal will be provided to the Board and made part of the official record.

7. Unfinished Business – None

8. New Business

a. *New Development – Conceptual*

i. Chimney Cove Multifamily Development, DRB-000635-2022

b. *Alteration/Addition*

i. Belly Goat Burgers, DRB-000636-2022

9. Board Business

10. Staff Report

a. Minor Corridor Report

11. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
March 8, 2022, at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chair Cathy Foss, Vice Chairman John Moleski, Annette Lippert, Judd Carstens, Ryan Bassett, Ben Brown

Absent from the Board: None

Present from Town Council: David Ames, Glenn Stanford

Present from Town Staff: Chris Yates, Building Official; Teri Lewis, Customer Service Manager; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Ms. Lippert moved to approve. Mr. Brown seconded. By show of hands, the motion passed with a vote of 6-0-0.

5. Approval of Minutes

a. Regular Meeting of February 22, 2022

Chair Foss asked for a motion to approve the minutes of the February 22, 2022, regular meeting. Mr. Brown moved to approve. Mr. Bassett seconded. By show of hands, the motion passed with a vote of 6-0-0.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. Those comments were provided to the Board for review and made part of the official record. In addition, citizens were provided the option to sign up for public comment participation during the meeting by phone. There were no requests.

7. Old Business

a. *Alteration/Addition*

i. Spinnaker Building, DRB-000384-2022 (Staff Report)

Chris Darnell explained that on all Design Review Board (DRB) applications, there is an item where the applicant must check if there are reported private covenants and/or restrictions that are contrary or conflict with or prohibit the proposed request. Mr. Darnell stated that after legal review of the Master Deed, the applicant did not have a standing to make the request and as a result there is nothing for the DRB to review.

8. New Business

a. New Development – Final

i. Spanish Wells Office Warehouse, DRB-000497-2022

(Due to a potential conflict of interest, Ms. Lippert recused herself from discussion and voting regarding Spanish Wells Office Warehouse, DRB-000497-2022. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: inquiry as to the purpose of the location of the HVAC units; the need for additional plant material in the back; the alignment of the lighting fixtures; suggestion of a bump-out on the east elevation; suggestions of replacing the vent in the gable area with a window; inquiry into the parking and if it is adequate; and a suggestion to relocate the HVAC units.

Following discussion, Chair Foss moved to approve DRB-000497-2022 with the following conditions:

1. Move the HVAC units that are on the ground at the west elevation to the rear elevation raised to match the one that is at that location.
2. Bring the east elevation to human scale and submit for staff approval.
3. Install vigorous plantings around the dumpster and submit for staff approval.
4. Consider raising the middle portion of the roof and submit for staff approval.
5. Address the landscape comments regarding the understory trees in the rear of the building.
6. Specify a spacing of the Spartina in the stormwater detention basins and submit for staff approval.

Mr. Brown seconded. By way of roll call, the motion was approved by a vote of 5-0-0.

b. Alteration/Addition

i. Northridge Plaza Walkway Canopy, DRB-000485-2022

(Due to a potential conflict of interest, Mr. Carstens recused himself from discussion and voting regarding Northridge Plaza Walkway Canopy, DRB-000485-2022. The required Potential Conflict of Interest form has been completed and made part of the official record.)

(Due to a potential conflict of interest, Ms. Lippert recused herself from discussion and voting regarding Northridge Plaza Walkway Canopy, DRB-000485-2022. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package and stated staff is motivated to see Northridge renovations proceed but they must comply with the Design Guide. He noted slate is not a material that has been typically used on Hilton Head Island and for that reason Staff recommends denial.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application at length, and the following concerns and recommendations were made regarding the project: the difficulty in maintaining cedar shake shingles; the concern for durability of cedar shake shingles; clarification of the scope of the submittal; clarification it would be roof replacement and repairs of existing elements; recommendation of synthetic shake shingles or a metal standing seam roof; the concern of the weight of a slate roof.

Following discussion, Chair Foss moved to approve DRB-000485-2022 with the following conditions:

1. The applicant brings back a different roof system that is either a metal standing seam roof, keeping with the exact colors, or a cedar shake roof for staff approval with at least two Design Review Board members included in the review.

Mr. Bassett seconded. By way of roll call, the motion passed by a vote of 4-0-0.

ii. Lucky Beach Bar + Kitchen, DRB-000498-2022

(Due to a potential conflict of interest, Mr. Carstens recused himself from discussion and voting regarding Lucky Beach Bar + Kitchen, DRB-000498-2022. The required Potential Conflict of Interest form has been completed and made part of the official record.)

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends approval with the following conditions:

- Provide a bike rack specification.
- Specify the color of the rope in the railing.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: notation that on the east elevation there is a lack of ornamentation or lighting; clarification of the medium bronze color on the storefront; clarification of the finish for the rail frame; clarification that the four trees to be removed are palms; the need for specs for the bike rack; clarification the rope will be natural material; and clarification the ceiling fans will be bronze.

Following discussion, Ms. Lippert moved to approve DRB-000498-2022 with the following conditions:

1. All of Staff comments.
2. Note that all storefront is medium bronze.
3. The roped fence elevation to be bronze with natural rope.
4. The fan to be revised to a bronze.

Mr. Brown seconded. By way of roll call, the motion passed by a vote of 5-0-0.

9. Board Business - None

10. Staff Report

a. Minor Corridor Report

Mr. Darnell reported the following approvals:

- 7 Target Road – perimeter fence for Palmetto Bay Lodges
- 5 Dunmore Court – building repaint
- 2 Genesta Street – equipment platform addition to building

11. Adjournment

The meeting adjourned at 3:04 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Mark Baker Company: Wood and Partners
 Mailing Address: 7 Lafayette Place City: HHI State: SC Zip: 29926
 Telephone: 843-681-6618 Fax: _____ E-mail: mbaker@woodandpartners.com
 Project Name: Chimney Cove Townhomes Project Address: 839 Hilton Head Pkwy, HHI, SC
 Parcel Number [PIN]: R 520 012 000 0020 0000
 Zoning District: Planned Development Overlay District(s): Cooridor

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Mark L Baker

SIGNATURE

3-8-2022

DATE



*Serving the Lowcountry
since 1973*

DeBartolo Development, LLC.

This assessment included select "specimen" and "significant" trees by the Town of Hilton Head's LMO. This assessment was based upon a tree survey map provided to Jones Brothers Tree Surgeons. Date of tree survey is unknown. This assessment is considered to be a level I visual inspection. Recommendations for removals are based on current property and associated risk/targets. Some requested trees on survey could not be assessed due to location, overgrown vegetation.

Chimney Cove

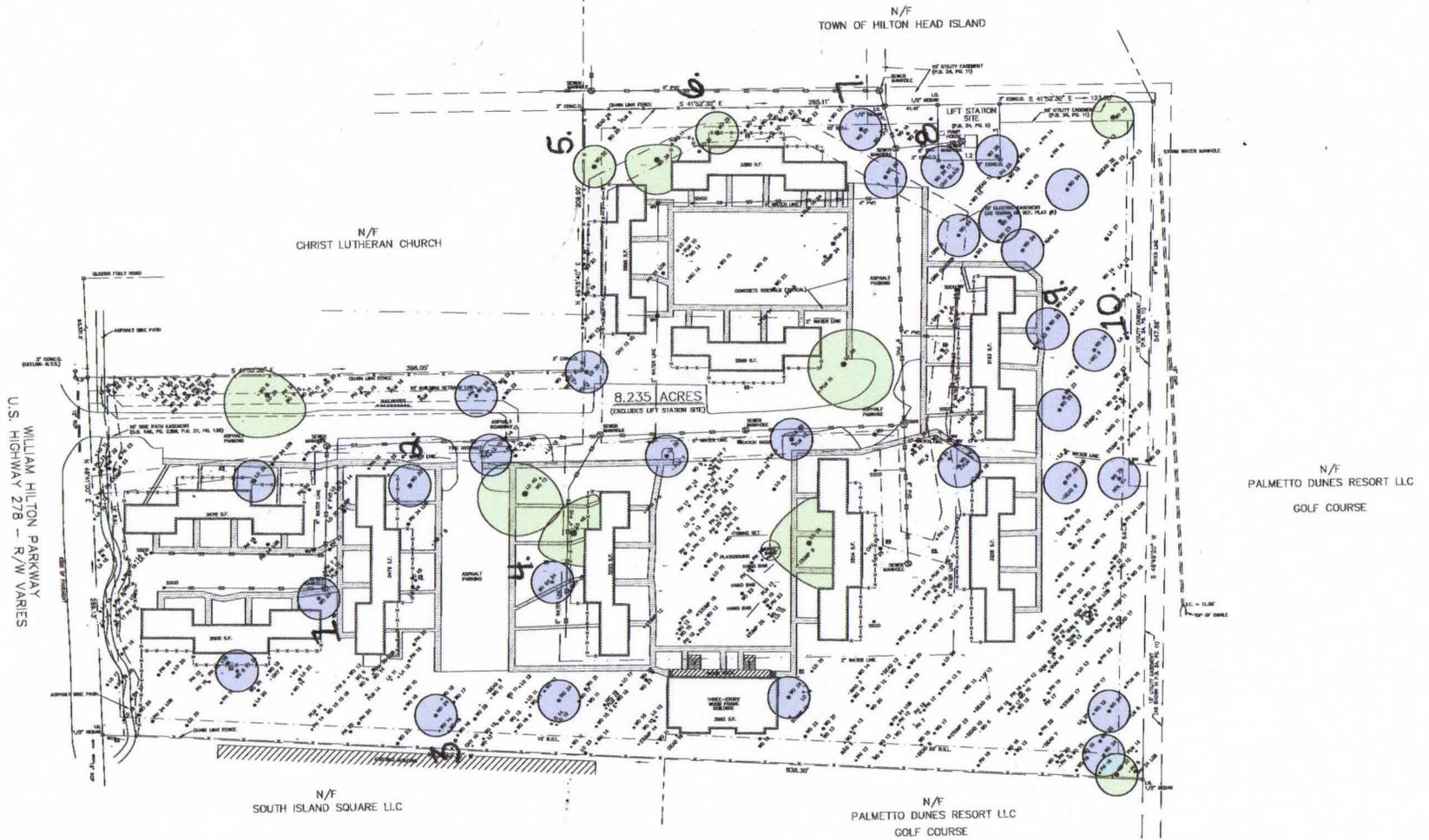
839 William Hilton Parkway, Hilton Head Island, SC 29928

1. Unit 37, 24" Water Oak has girdling roots, evident trunk decay, crown dieback and existing mistletoe.
2. In Front of unit 32, 30" Laurel Oak that has wood borer activity and existing deadwood that needs to be **removed**. Has existing mistletoe due to crown stress, but structurally sound.
3. Left front of unit 29 near dumpster in natural buffer invasive vine damage and die back **Remove**.
4. In Front of unit 27, 20"x24" Laurel Oak needs to be **removed**.
5. Rear unit 1 there is a 32" Laurel Oak that needs to be **removed** due to insufficient canopy to trunk ratio, existing previous storm damage.
6. Rear of unit 10 there is a 32" Water Oak stub that needs to be **removed**.
7. Right rear corner of unit 12, 28" Water Oak in natural buffer prune invasive vine growth.
8. Lift station 8 Laurel Oak 28"x17" **remove** the 17" leader due to decay.
9. Rear of property at sidewalk 25" Laurel Oak needs resistograph testing. Existing trunk decay and borers.
10. Rear of property at natural buffer 26" Water Oak stub dead, needs **removal**.

James Ellis
ISA# SO-7494A

P.O. Box 7109
Phone: 843.842.4686

Email: contactus@jonesbrotherstreesurgeons.com



 SPECIMEN TREE
 (GREEN HATCH)

 SIGNIFICANT TREE
 (BLUE HATCH)

HILTON HEAD ISLAND TOWN HOME RENTAL COMMUNITY

Design Review Board

3/22/2022

Wood & Partners, as applicant, is pleased to present the reimaging of Chimney Cove as a town home, class A, Single-Family Rental Community (“SFR”) situated on +/- 8.28 acres of land located in between Palmetto Dunes and Leamington.

The Property is planned for 80 attached SFR homes, or townhomes with private garages; disbursed amongst three -bedroom units ranging in size from 1,950 to 2,300 square feet. The community will feature two-story structures with a mix of master bedrooms on the first floor and all three bedrooms on the second floor. In addition to the town homes, the Project is proposed to feature an accompanying amenity package that may include but not be limited to a clubhouse, resort style pool, grills and cabanas, fitness center, and pet spa/park. The homes are proposed to feature open floor plans, stainless steel appliance package, full-size washers/dryers, smart home features with voice-controlled thermostats and light switches, walk-in closets, 9’ ceilings, luxury plank flooring, quartz countertops and crown molding in the kitchen and living rooms. Through beautiful landscaping, green space, and organic winding roads, the site plan is strategically laid out to integrate the townhomes within the natural beauty of island.

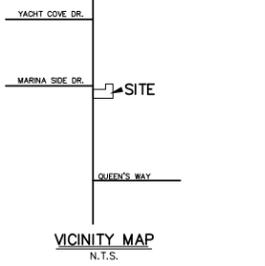
The Property is ideally located within an affluent, area in Beaufort County. The Project will meet the needs of several audiences including; (i) snowbirds that are new to Hilton Head Island and are looking for a home to spend the winter months, (ii) current residents and retirees that are no longer interested in the upkeep of owning a home but still want luxury living and the ability to stay near current friends and community members, and (iii) service and professional workers employed on the island. The SFR concept provides a creative housing option in the submarket that does not currently exist with additional living space, dedicated private parking, and private yard space thus providing an ownership experience in a rental community.





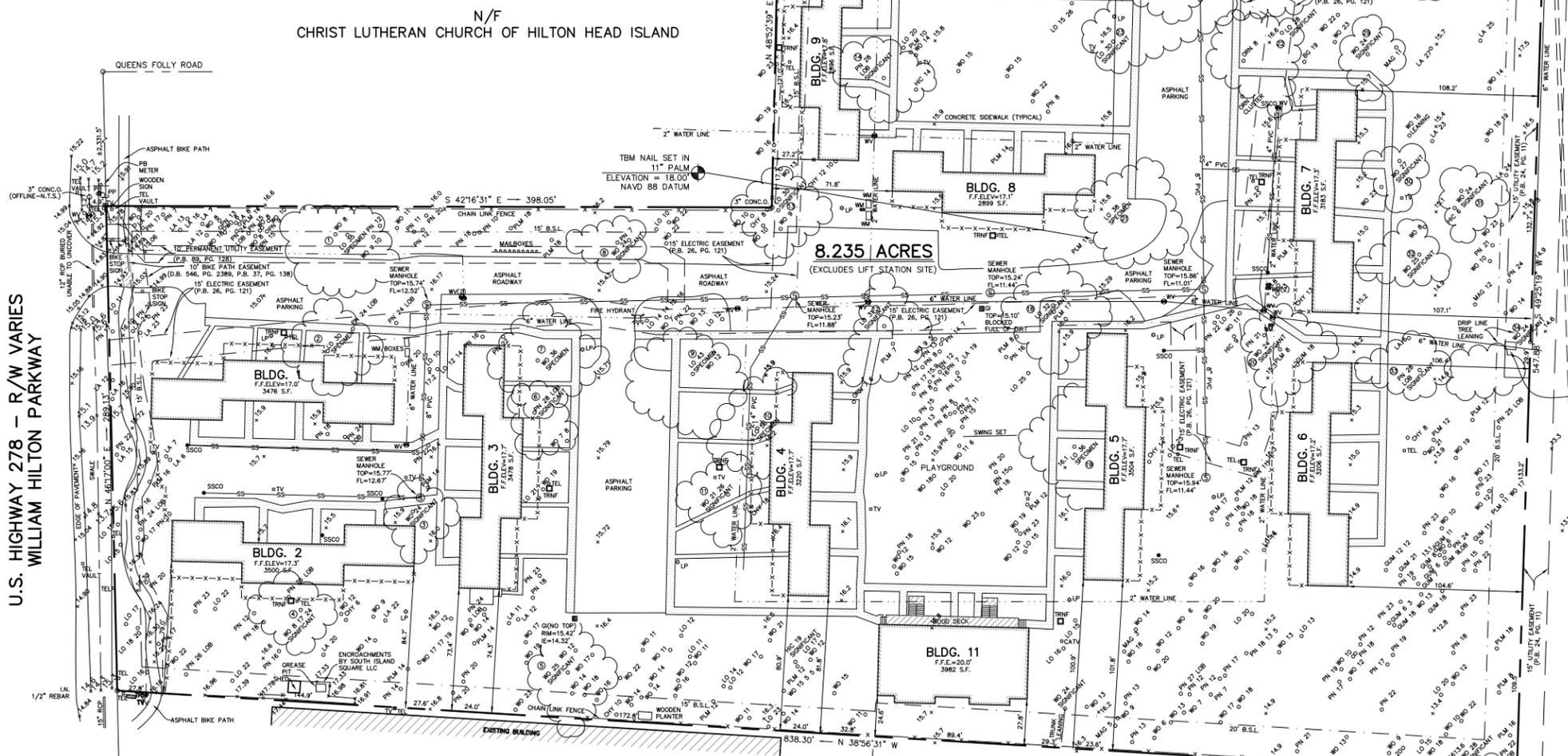






LINE TABLE		
LINE	BEARING	LENGTH
L1	S 47°43'29" W	45.00'
L2	S 42°16'31" E	50.00'
L3	N 47°43'29" E	45.00'
L4	S 42°16'31" E	50.00'

(SURVEY TIE LINE)



REFERENCE PLAT:

1) PARCEL "A" KNOWN AS "CHIMNEY COVE", PALMETTO DUNES RESORT, DATED: 3/25/74; LAST REVISED: 12/28/77. BY: R. HUSSEY, S.C.R.L.S. NO. 2373 RECORDED: P.B. 26, PG. 121.

SPECIAL NOTE:
NO EVIDENCE OF PARKING STRIPES
NO EVIDENCE OF HANDICAP PARKING

TOWN OF HILTON HEAD ISLAND LMO SECTION 16-5-1402 DISCLOSURE STATEMENT
Some or all areas on this plat are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tidal waters associated with possible hurricanes. Local regulations require that certain flood hazard protective measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.

NOTES

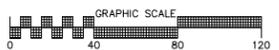
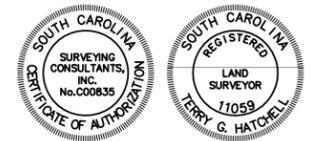
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- AS PER THE NFIP FEMA FIRM THIS PROPERTY APPEARS TO BE IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. MAP NUMBER: 450130461G, COMMUNITY: TOWN OF HILTON HEAD, NUMBER: 450250, PANEL 0461, SUFFIX: G, EFFECTIVE DATE: MARCH 23, 2021. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- UNDERGROUND UTILITIES SHOWN ON THIS SURVEY WERE LOCATED BASED ON MARKINGS AND FLAGS BY UNDERGROUND UTILITY LOCATE COMPANY. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
- NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT, THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- SURVEYING CONSULTANTS DOES NOT PROVIDE ARBORIST SERVICES. TREE IDENTIFICATIONS ARE MADE AS BEST OBSERVANCE/KNOWLEDGE OF A NON-ARBORIST. A CERTIFIED ARBORIST SHOULD BE CONSULTED TO VERIFY TREE IDENTIFICATION, IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT.
- SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. IF THIS DOCUMENT IS TO BE PROVIDED AS A BASE MAP FOR OTHERS, INFORMATION ADDED AFTER THE DATE OF THIS SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

LEGEND:

○	TREE SIZES ARE INCHES IN DIAMETER
●	SPOT ELEVATION
○	CONTOUR
○	CONCRETE MONUMENT, OLD (FOUND)
○	TEMPORARY BENCH MARK
○	IRON PIN, OLD (FOUND)
○	IRON PIN, NEW (SET)
○	PINE
○	PINE LOBLOLLY
○	HOLLY
○	LAUREL OAK
○	LIVE OAK
○	PALM
○	MAGNOLIA
○	WATER OAK
○	ORNAMENTAL
○	CHERRY
○	HICKORY
○	CORRUGATED METAL PIPE
○	POLYVINYL CHLORIDE PIPE
○	YARD INLET
○	POWER BOX
○	TELEPHONE BOX
○	TV
○	POWER POLE
○	WATER VALVE
○	BUILDING SETBACK LINE
○	FINISHED FLOOR ELEVATION
○	LAMP POST
○	WATER METER
○	INVERT ELEVATION
○	SANITARY SEWER CLEANOUT
○	GRATE INLET
○	TREE DRIP LINE

TREE	MIN. SCHEDULE	MAX. DISTANCE FROM GROUND
#1	8"	8'
#2	11"	11'
#3	13"	13'
#4	16"	16'
#5	24"	24'
#6	10"	10'
#7	12"	12'
#8	13"	13'
#9	15"	15'
#10	18"	18'
#11	20"	20'
#12	22"	22'
#13	24"	24'
#14	26"	26'
#15	28"	28'
#16	30"	30'
#17	32"	32'
#18	34"	34'
#19	36"	36'
#20	38"	38'
#21	40"	40'
#22	42"	42'
#23	44"	44'
#24	46"	46'
#25	48"	48'
#26	50"	50'
#27	52"	52'
#28	54"	54'
#29	56"	56'
#30	58"	58'
#31	60"	60'
#32	62"	62'
#33	64"	64'
#34	66"	66'
#35	68"	68'
#36	70"	70'

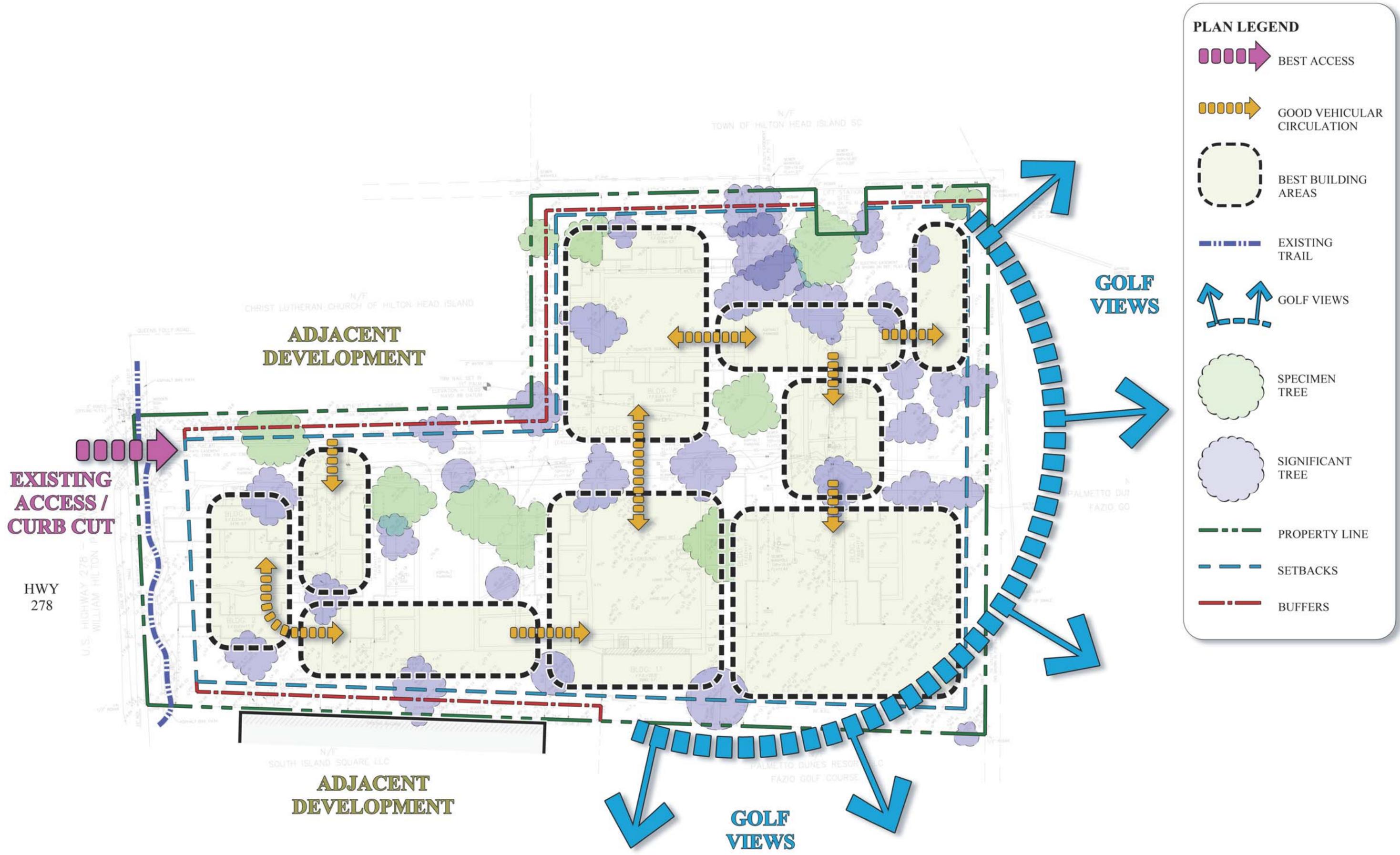
PREPARED FOR: DeBARTOLO DEVELOPMENT, LLC
ADDRESS: #329 WILLIAM HILTON PARKWAY
TAX PARCEL I.D. NO. R520-012-000-0020-0000



BOUNDARY, ASBLUIT, TREE & TOPOGRAPHIC SURVEY OF
PARCEL A aka CHIMNEY COVE
WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 40' DATE: 03/09/2022 JOB NO: SC91224H

SC SURVEYING CONSULTANTS
17 Sherington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3304 FAX: (843) 815-3305
GA Telephone: (912) 828-2775
www.SurveyingConsultants.com
Email: SC@SurveyingConsultants.com



DEVELOPMENT SUMMARY

Total Acreage:	8.235 ac.
Allowed Density	102 units
PROPOSED UNITS (BY TYPE)	
UNIT TYPE A: (3 Bedrooms - Master Down)	± 20 units
UNIT TYPE B: (3 Bedrooms - Master Up)	± 60 units
TOTAL PROPOSED UNITS	± 80 units

PARKING SUMMARY

REQUIRED PARKING 3 BEDROOM UNITS 80 UNITS * 2 SPACES	2 SPACES PER 240 SPACES
PARKING PROVIDED 2 SPACES PROVIDED PER UNIT (2*80) (GARAGE/SURFACE)	±240 SPACES
GUEST/OVERFLOW PARKING AREAS	±15 SPACES
CLUBHOUSE PARKING	±8 SPACES
TOTAL PARKING PROVIDED	±263 SPACES



UNIT 1 - STYLE A



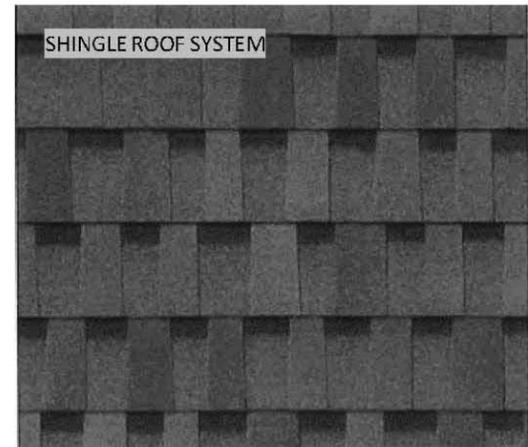
UNIT 1 - STYLE B



UNIT 2 - STYLE A



UNIT 2 - STYLE B



EXTERIOR DOORS

SW 6472
Composed
 Interior / Exterior
 Location Number: 169-C4

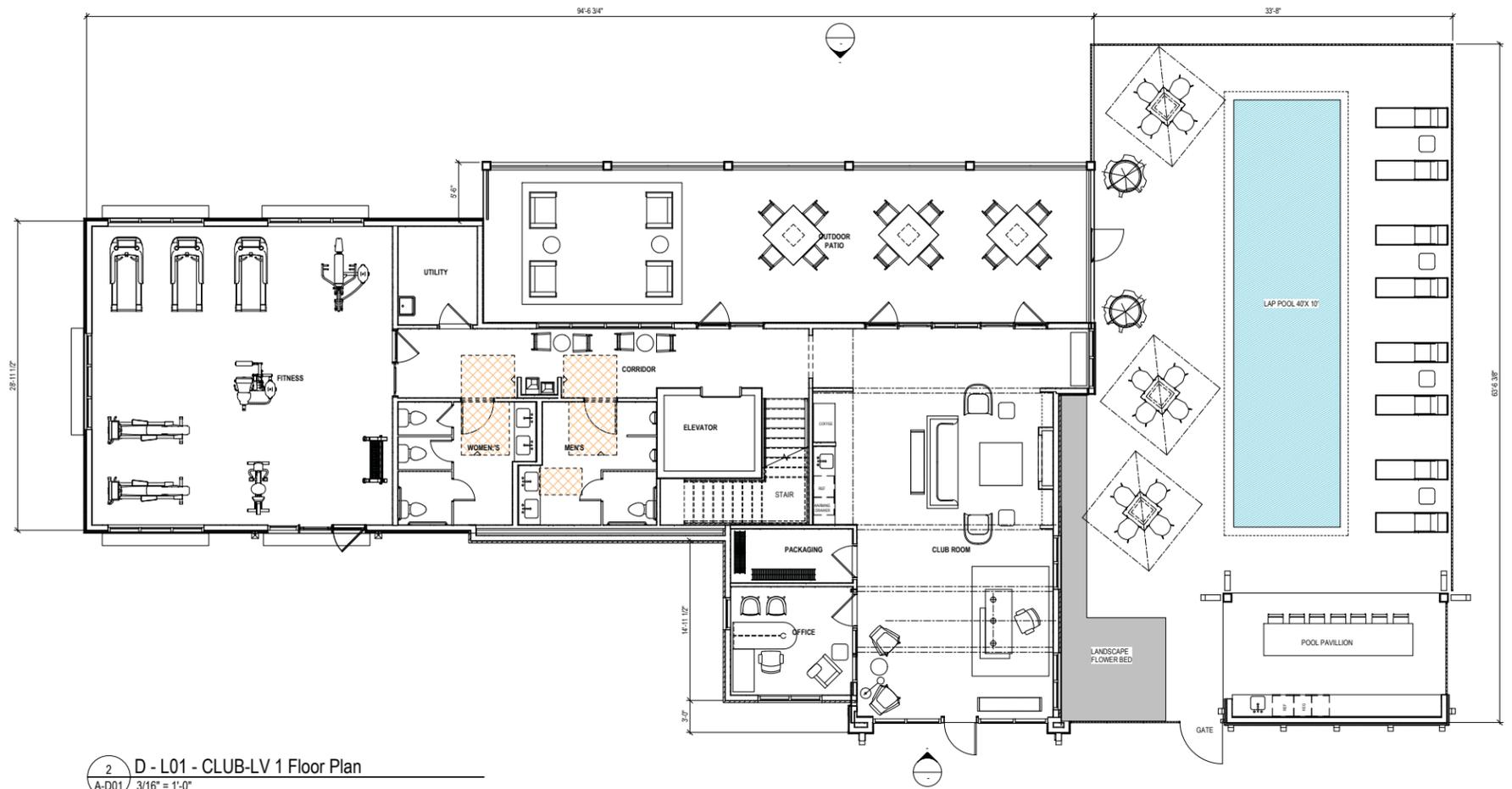
EXTERIOR DOORS AND GARAGES

SW 7066
Gray Matters
 Interior / Exterior
 Location Number: 236-C3

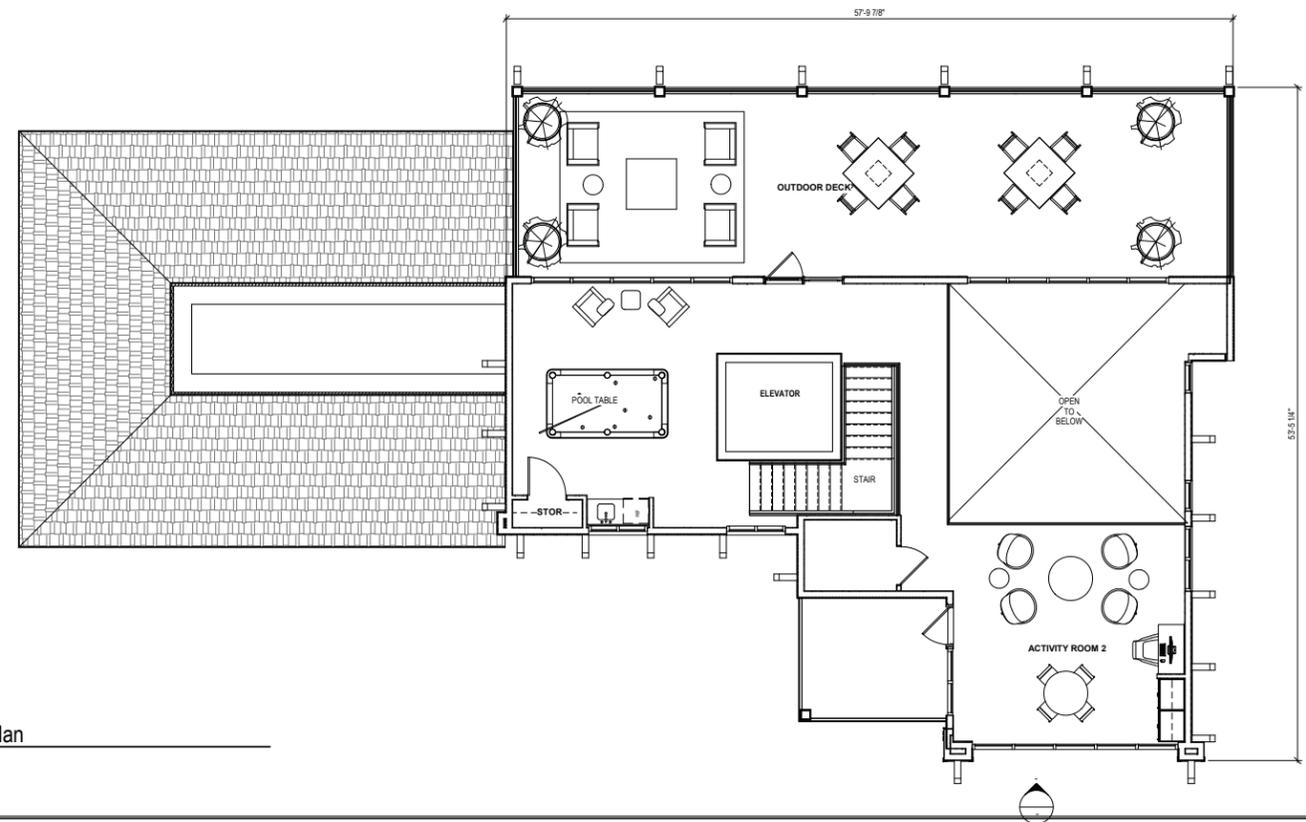
SCHEDULE

UNIT 1 - STYLE A	UNIT 1 - STYLE B	UNIT 2 - STYLE A	UNIT 2 - STYLE B
TYPE: BRICK ON LEVEL 1 MFR: CHEROKEE STYLE: BROOKHAVEN MS	TYPE: PANEL VERTICAL SIDING ON LEVEL 1 MFR: JAMES HARDIE STYLE: ARCHITECTURAL PANEL_FINE SAND PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: PANEL VERTICAL SIDING ON LEVEL 1 MFR: JAMES HARDIE STYLE: ARCHITECTURAL PANEL_FINE SAND PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: PANEL VERTICAL SIDING ON LEVEL 1 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY
TYPE: PANEL VERTICAL SIDING ON LEVEL 2 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: BATTEN TRIM BOARD ON LEVEL 1 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: BATTEN TRIM BOARD ON LEVEL 1 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: BATTEN TRIM BOARD ON LEVEL 1 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY
TYPE: BATTEN TRIM BOARD ON LEVEL 2 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: PLANK SIDING ON LEVEL 2 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW6213 HALCYON	TYPE: PLANK SIDING ON LEVEL 2 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW6213 HALCYON	TYPE: PANEL VERTICAL SIDING ON LEVEL 2 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7066 GRAY MATTERS
TYPE: TRIM BOARD MFR: JAMES HARDIE STYLE: S4 SMOOTH PAINT: SHERWIN WILLIAMS, SW7005 PURE WHITE	TYPE: TRIM BOARD MFR: JAMES HARDIE STYLE: S4 SMOOTH PAINT: SHERWIN WILLIAMS, SW7005 PURE WHITE	TYPE: TRIM BOARD MFR: JAMES HARDIE STYLE: S4 SMOOTH PAINT: SHERWIN WILLIAMS, SW7005 PURE WHITE	TYPE: TRIM BOARD MFR: JAMES HARDIE STYLE: S4 SMOOTH PAINT: SHERWIN WILLIAMS, SW7005 PURE WHITE
TYPE: MAIN SHINGLE ROOFING SYSTEM MFR: GAF HDZ ARCHITECTURAL SHINGLES STYLE: TIMBERLINE HDZ SHINGLES COLOR: PEWTER GREY	TYPE: MAIN SHINGLE ROOFING SYSTEM MFR: GAF HDZ ARCHITECTURAL SHINGLES STYLE: TIMBERLINE HDZ SHINGLES COLOR: PEWTER GREY	TYPE: MAIN SHINGLE ROOFING SYSTEM MFR: GAF HDZ ARCHITECTURAL SHINGLES STYLE: TIMBERLINE HDZ SHINGLES COLOR: PEWTER GREY	TYPE: MAIN SHINGLE ROOFING SYSTEM MFR: GAF HDZ ARCHITECTURAL SHINGLES STYLE: TIMBERLINE HDZ SHINGLES COLOR: PEWTER GREY
TYPE: FRONT DOOR STYLE: 2 PANEL UPPER LIGHT COLOR: SHERWIN WILLIAMS, SW6472 COMPOSED	TYPE: FRONT DOOR STYLE: 2 PANEL UPPER LIGHT COLOR: SHERWIN WILLIAMS, SW6472 COMPOSED	TYPE: FRONT DOOR STYLE: 2 PANEL UPPER LIGHT COLOR: SHERWIN WILLIAMS, SW6472 COMPOSED	TYPE: FRONT DOOR STYLE: 2 PANEL UPPER LIGHT COLOR: SHERWIN WILLIAMS, SW6472 COMPOSED
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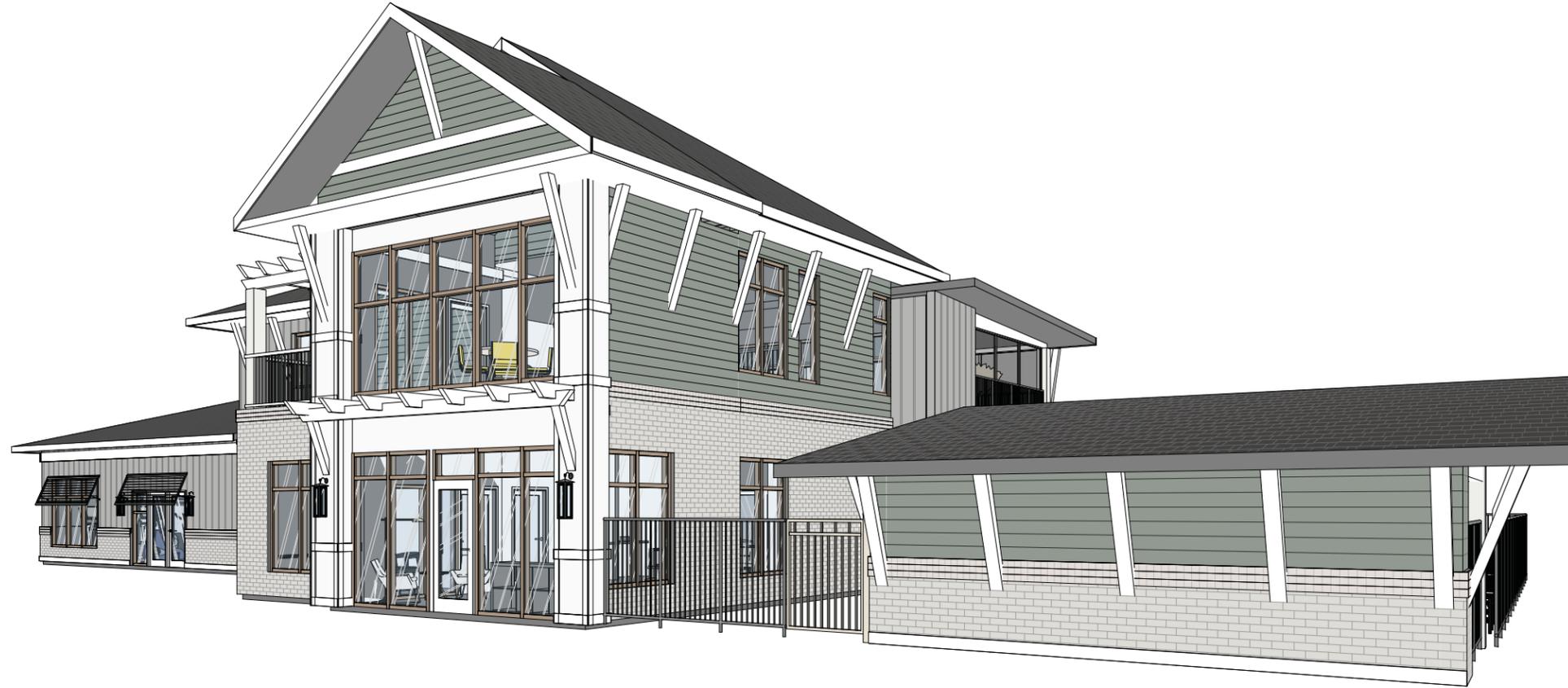


2 D - L01 - CLUB-LV 1 Floor Plan
A-D01 3/16" = 1'-0"



3 D - L.02 - Floor Plan
A-D01 3/16" = 1'-0"





1 E-CLUHOUSE FRONT VIEW
A-D03



2 E-CLUHOUSE REAR VIEW
A-D03

UNIT 1 - STYLE A



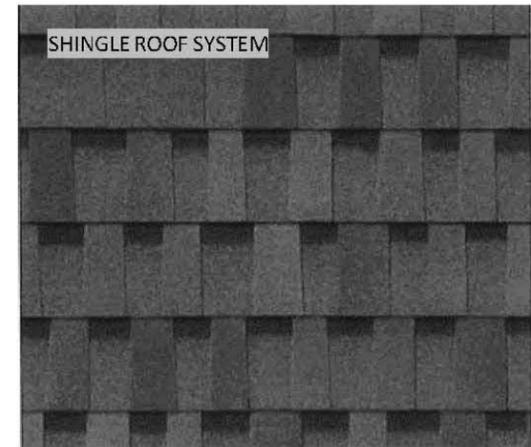
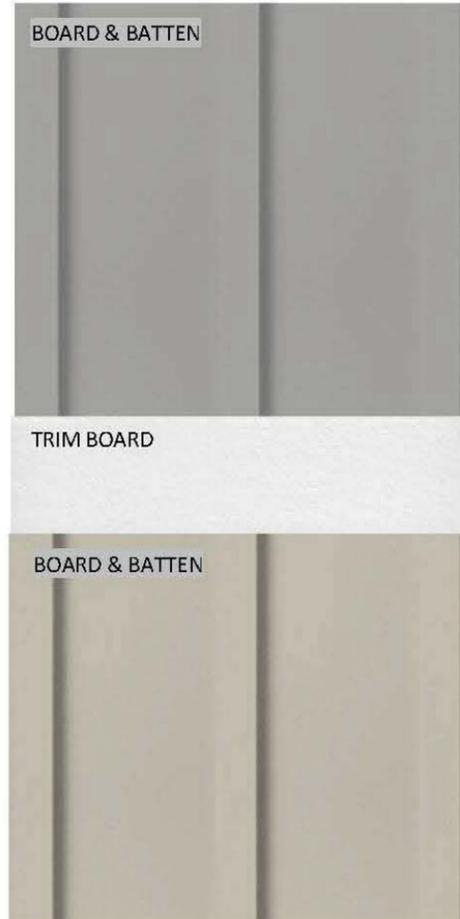
UNIT 1 - STYLE B



UNIT 2 - STYLE A



UNIT 2 - STYLE B



EXTERIOR DOORS

SW 6472
Composed
 Interior / Exterior
 Location Number: 169-C4

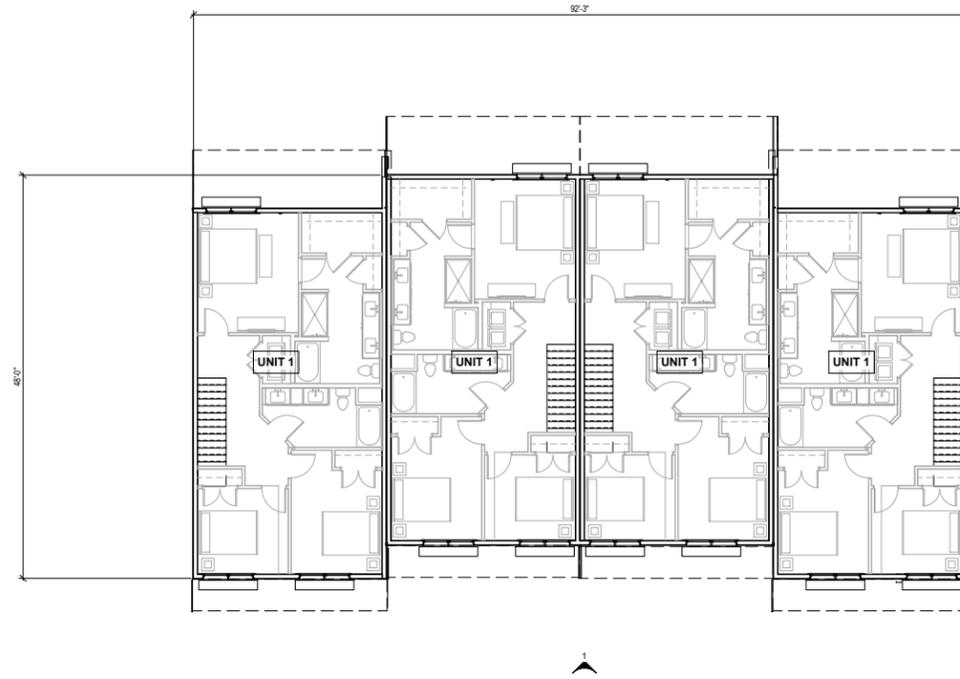
EXTERIOR DOORS AND GARAGES

SW 7066
Gray Matters
 Interior / Exterior
 Location Number: 236-C3

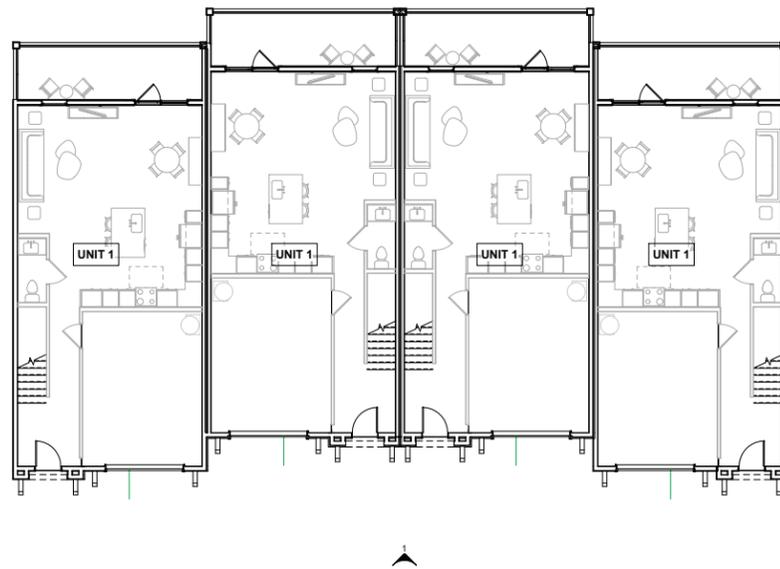
SCHEDULE

UNIT 1 - STYLE A	UNIT 1 - STYLE B	UNIT 2 - STYLE A	UNIT 2 - STYLE B
TYPE: BRICK ON LEVEL 1 MFR: CHEROKEE STYLE: BROOKHAVEN MS	TYPE: PANEL VERTICAL SIDING ON LEVEL 1 MFR: JAMES HARDIE STYLE: ARCHITECTURAL PANEL_FINE SAND PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: PANEL VERTICAL SIDING ON LEVEL 1 MFR: JAMES HARDIE STYLE: ARCHITECTURAL PANEL_FINE SAND PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY	TYPE: PANEL VERTICAL SIDING ON LEVEL 1 MFR: JAMES HARDIE STYLE: SMOOTH PAINT: SHERWIN WILLIAMS, SW7016 MINDFUL GRAY
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2 BLDG. B - LEVEL -2 FLOOR PLAN
A-B01 1/8" = 1'-0"



1 BLDG. B - LEVEL -1 FLOOR PLAN
A-B01 1/8" = 1'-0"



2 B - BACKYARD ELEVATION
A-B02 3/16" = 1'-0"



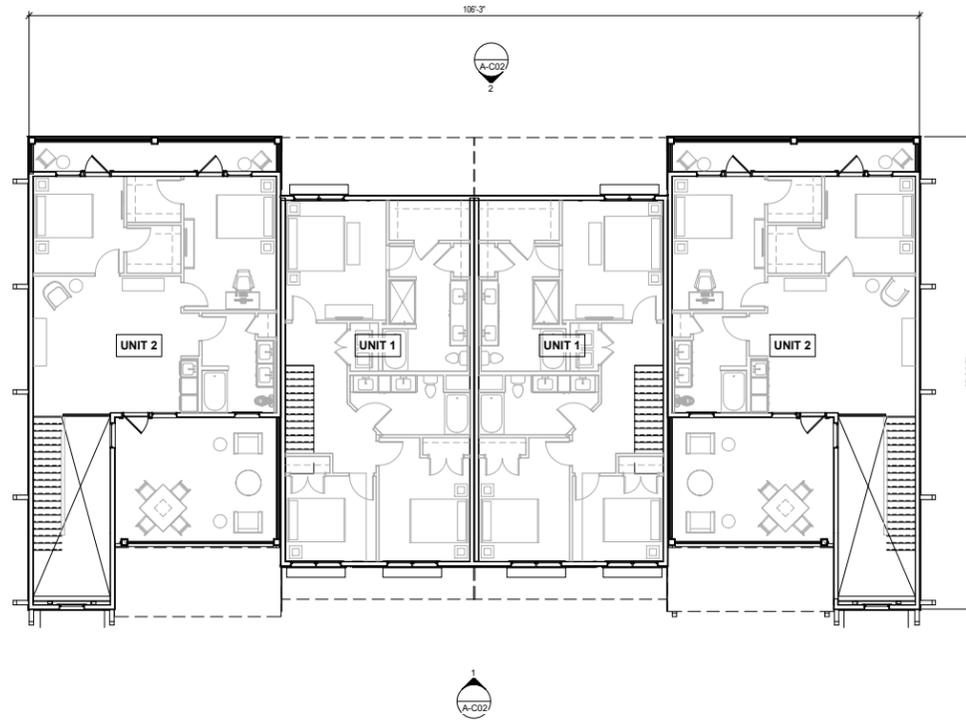
1 B-FRONT ELEVATION
A-B02 3/16" = 1'-0"



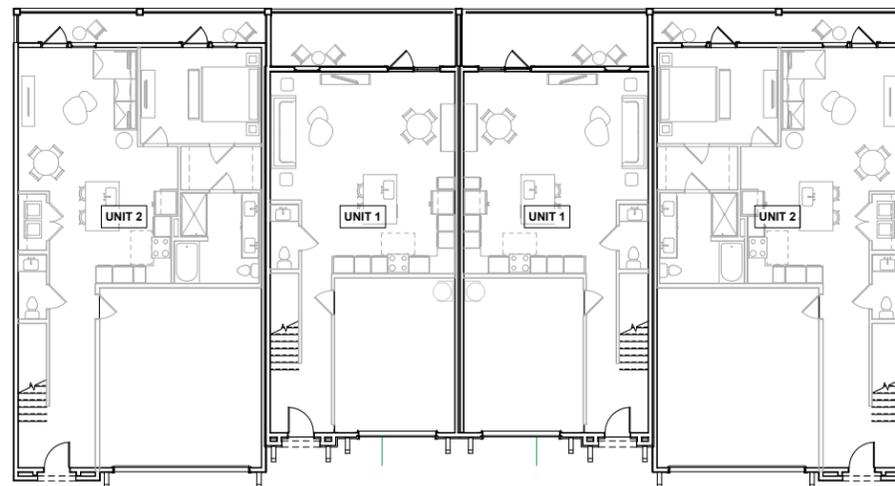
2 B-3D REAR VIEW
A-B03



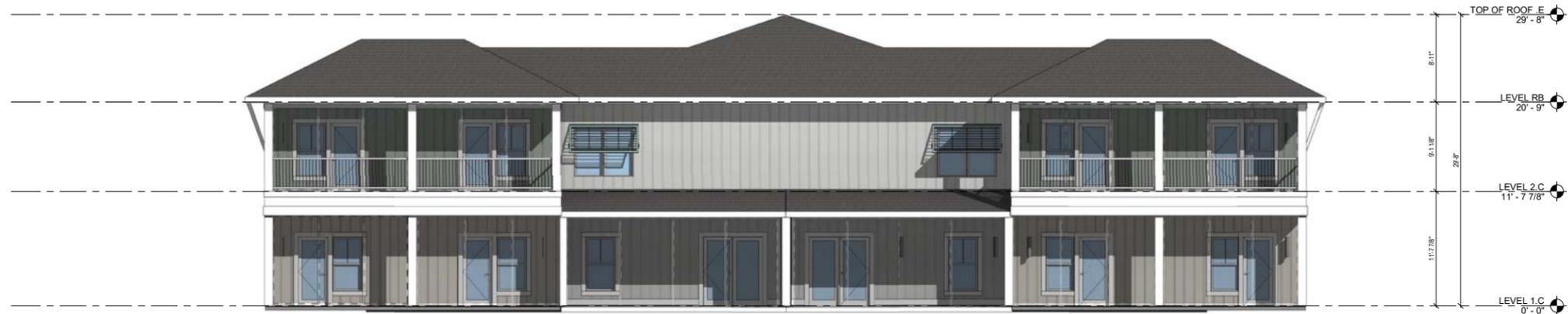
1 B-3D FRONT VIEW
A-B03



2 BLDG. C - LEVEL -2 FLOOR PLAN
A-C01 1/8" = 1'-0"



1 BLDG. C - LEVEL -1 FLOOR PLAN
A-C01 1/8" = 1'-0"



2 C-BACKYARD ELEVATION
A-C02 3/16" = 1'-0"



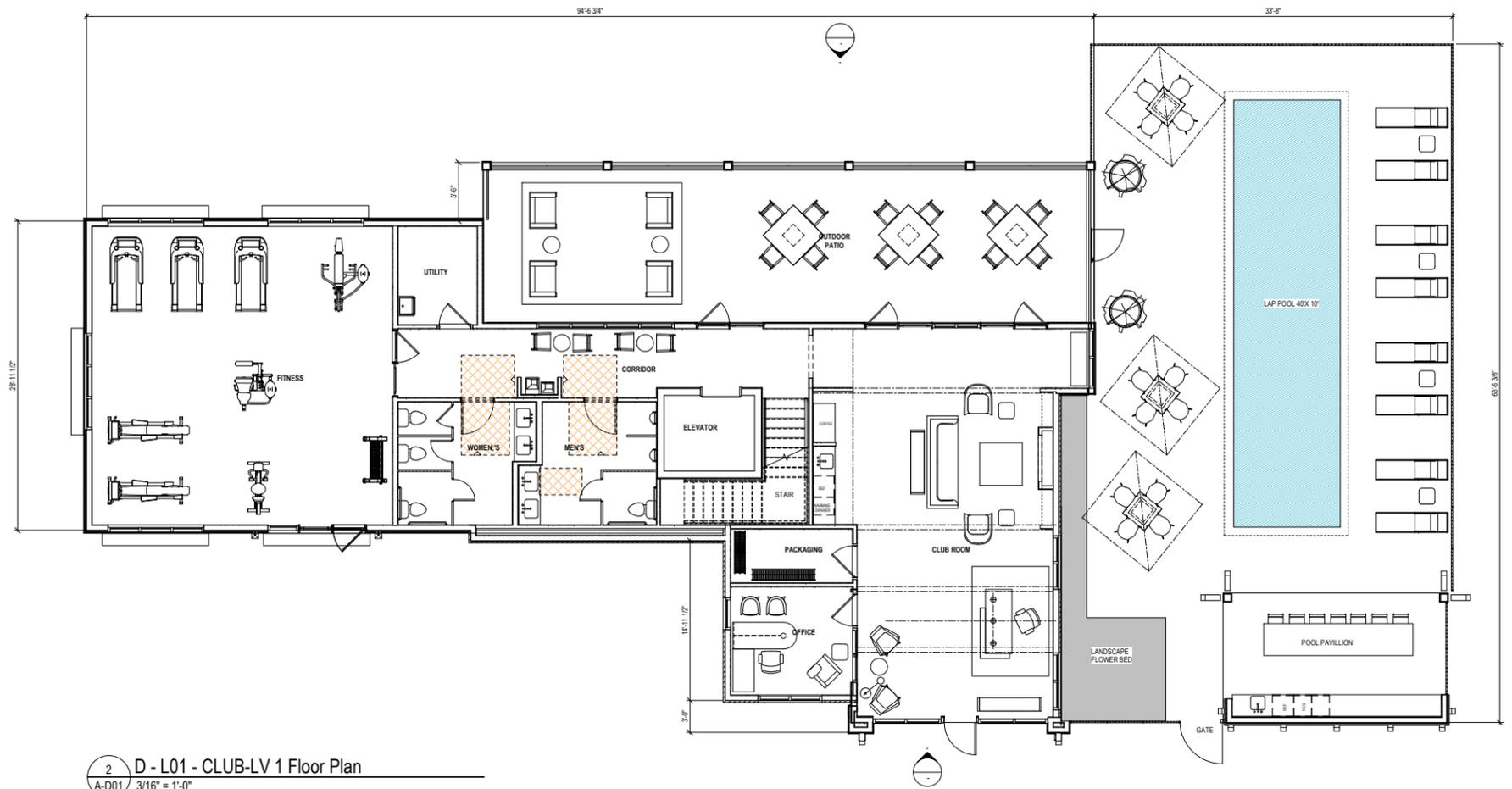
1 C-FRONT ELEVATION
A-C02 3/16" = 1'-0"



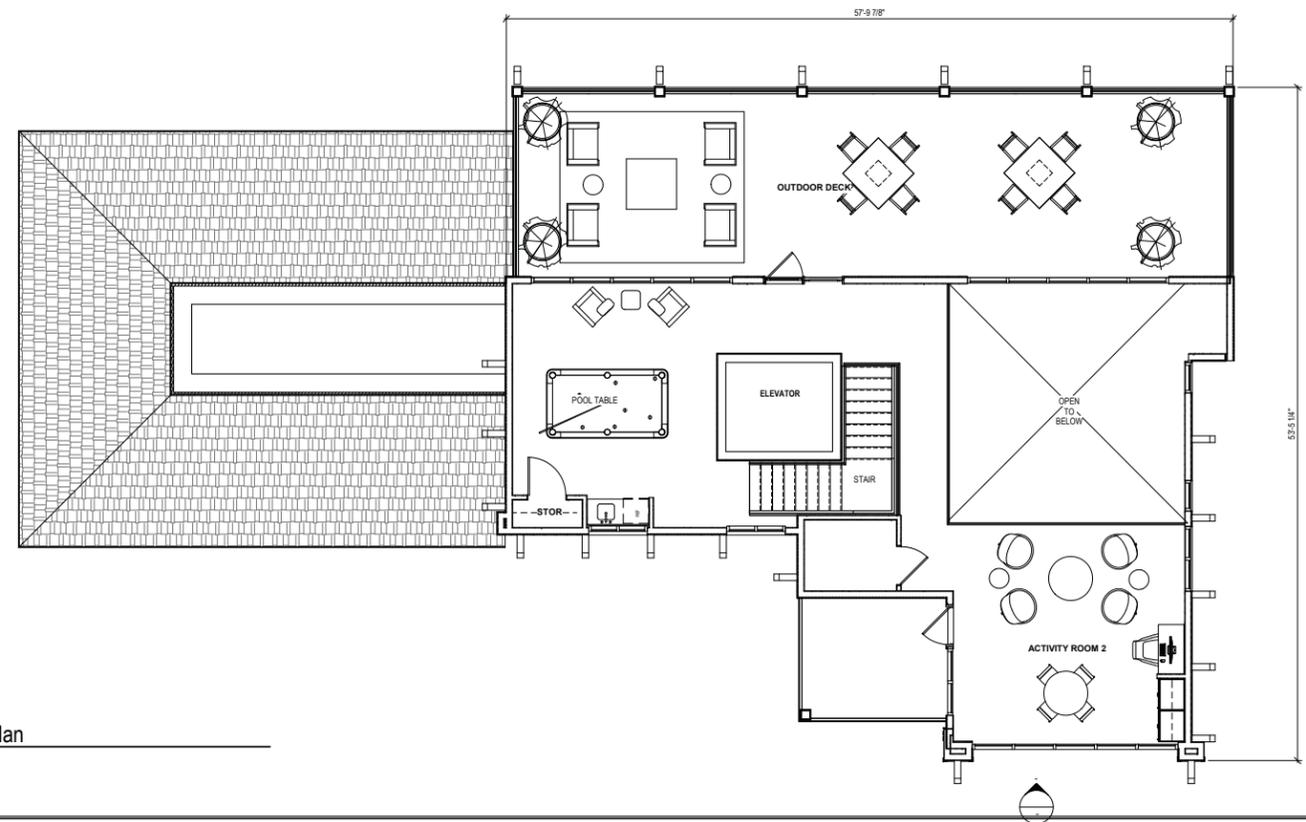
2 C-3D REAR VIEW
A-C03



1 C-3DFRONT VIEW
A-C03

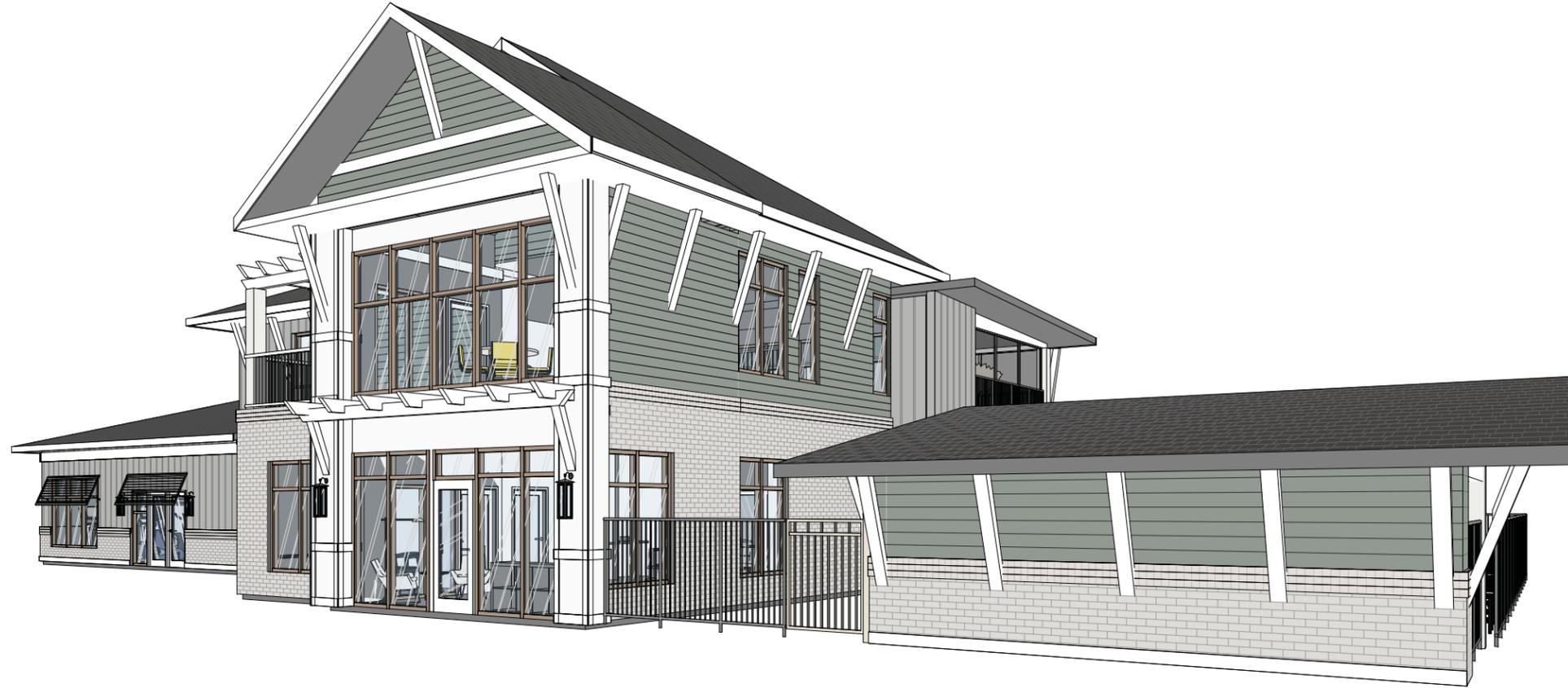


2 D - L01 - CLUB-LV 1 Floor Plan
A-D01 3/16" = 1'-0"



3 D - L.02 - Floor Plan
A-D01 3/16" = 1'-0"





1 E-CLUHOUSE FRONT VIEW
A-D03



2 E-CLUHOUSE REAR VIEW
A-D03

DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Chimney Cove

DRB#: DRB-000635-2022

DATE: 03/14/2022

RECOMMENDATION: Approval Approval with Conditions Denial
 RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff is concerned, why the combination of gable and hip roofs?
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff is concerned, is there, aesthetically, enough pitch on the roofs?
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The final plan should include HVAC unit locations and screening.

MISC COMMENTS/QUESTIONS

1. This project requires a Major Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.
 2. This project requires a Building Permit. Please contact Toney Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
- | |
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| |
| |



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joseph DePauw, AIA Company: PDG|Architects
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29938
 Telephone: (843) 785-5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: Belly Goat Burgers Project Address: 1B Regency Parkway
 Parcel Number [PIN]: R 5 2 0 0 1 1 0 0 0 0 0 1 5 5 0 0 0 0
 Zoning District: LC - Light Commercial Overlay District(s): ROW Arterial

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

3/8/2022

DATE

March 8, 2022

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island SC 29928



re: **Belly Goat Burgers**
1 Regency Parkway
R520 011 000 0155 0000

Belly Goat Burgers

Belly Goat Burgers started as a 181sf burger joint in the Abbott Square Market in Santa Cruz, CA in December of 2019 - right before the pandemic. We were able to weather the storm, and not only survive, but thrive by serving gourmet burgers in a fast casual setting, focusing on customer service and quality.

Belly Goat Burgers, Hilton Head Island, will be the east coast version of that original concept with the addition of many exciting meal options and original wines made by the owner's children.

The fast casual setting of the original site will be retained, and along with the original burger-forward menu, we will add a variety of hot dogs, sausages, grilled cheese sandwiches, great milkshakes (topped with popular cereals), and exclusively serve California wines in partnership with Shackteau Winery.

This is a family oriented destination and will thus cater to kids, as well as adults. There will be an "old-fashioned" order and pickup window, an exhibition kitchen, and a creative interior.

The most unique part of the concept is the partnership with Shackteau Winery of Santa Cruz, CA. Shackteau sources grapes from the different appellations of Napa County, will make the grape juice in California, and will ship the juice in bulk to Hilton Head Island. Holding tanks at Belly Goat will house the juice until it is ready to blend into their different signature varietals. Once blended, it will be kegged and served on tap. They will also bottle and label on-site as the retail component will be an important part of their business. They will incorporate public and private tastings as well as give educational blending classes in which participants will be able to make their own wine varietal to bring home and share with others.

Project Narrative

We are proposing a renovation and addition to the old mid-island BP/Kangaroo station in Regency Park for a fast-casual restaurant and joint wine-blending operation. The project will include interior and exterior renovations, including updates to the building facade, the addition of an outdoor dining porch, and a parking lot reconfiguration. We are seeking to infuse the aged, tired building and expansive parking lot with new life, a refreshed design, and enhanced landscaping.

The material palette has been selected to introduce a individual character to the initially boxy building and to fit within a modern island character. The ribbed panels bring a renewed texture to the walls while differentiating the establishment from other recent similar renovations which use board & batten and lap siding. The deep blue color scheme allows the building to recess behind the street buffer and parking lot while defining a identity for the restaurant. The new outdoor seating area will be made a year-round amenity by the inclusion of patio heaters and roll down windscreens which can be seamlessly hidden on nice spring & fall days and through the heat of the summer.

Building Use

In addition to the fast-causal restaurant, a 440 sq. ft. portion of the building will be dedicated to manufacturing use for a wine blending operation. A further explanation of this operation from the business owner is provided in the last paragraph of the "Belly Goat Burgers" section above.

Indoor dining in the restaurant is being supplemented by a new covered porch addition. Outdoor entertainment and games is an important part of the Belly Goat brand, and since the necessary parking does not allow a larger open space on site, we are establishing this area around the covered dining porch. The games area takes advantage of the area created by the required fire-separation between the new covered porch and Bullies BBQ, and will be a place for cornhole and children to run around.

Existing Non-conformities

The project will correct the following non-conformities:

- 110 sq. ft. of parking located in the 35 ft. adjacent street buffer.
- 60 sq. ft. of paving in the 20 ft. utility & drainage easement.
- Elimination of the 110 ft. access drive.
- Reduction in impervious coverage from 78.8% to 71.9%

Natural Resources

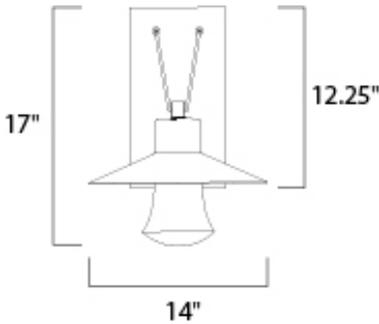
The existing crepe myrtle adjacent to the structure is proposed to be removed. The removal will be mitigated with the establishment of new trees to shade the parking lot. New planter beds will be added to the center of the old gas station parking lot.

TYPE E-A



PRODUCT DESCRIPTION

Conical shades finished in Architectural Bronze appear to be suspended by its stainless steel cable. Concealed inside these shades is a high powered COB LED which shines into a heavy Clear glass font. The bottom of these fonts have an additional thickness of glass for better light distribution and lighting effect.



MEASUREMENTS

DIMENSION : 14" W x 17" H x 16" Ext
 BACK PLATE : 5.75" W x 12.25" H x 10" HCO
 HANGING WEIGHT : 8.8 lb

LAMPING

INPUT VOLTAGE : 120V
 LUMENS : 770 Rated (590 Del.)
 BULB : 1 x 11W LED PCB Integrated , 11W Total
 BULB INCLUDED : (Integrated)
 DIMMABLE : No
 CRI : 90+ CRI
 COLOR_TEMP : 3000K

FINISHES OPTION

- Architectural Bronze
- Brushed Aluminum

GLASS

Clear CL

MATERIAL

Die Cast Aluminum, Glass

RATINGS

cETLus
 Wet Location
 For Outdoor



ADDITIONAL

RATED LIFE 40000 Hours
 OPERATING TEMPERATURE:
 -20°C (-4°F), 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.



WESTERN DISTRIBUTION CENTER (HEADQUARTER)
 253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91746

EASTERN DISTRIBUTION CENTER
 4200 SHIRLEY DR. | ATLANTA, GA 30336

P. 626.956.4200 | F. 626.956.4225 | maximlighting.com

TYPE E-B



PRODUCT DESCRIPTION

Indirect exterior lighting not only provides illumination where you want but it also highlights the building structure for a beautiful architectural effect. Our collection of up and down lighting fixtures are available in both Architectural Bronze and Brushed Aluminum.

FINISHES OPTION



MATERIAL

Aluminum, Glass

RATINGS

cETLus
Wet Location
For Outdoor



ADDITIONAL

INSTALL UP/DOWN: All
RATED LIFE 35000 Hours
OPERATING TEMPERATURE:
-20°C (-4°F), 40°C (104°F)

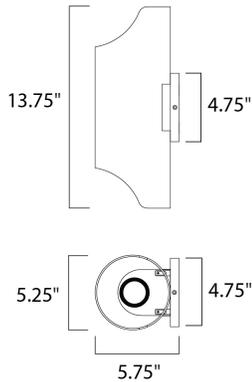
PHOTOMETRIC: Report Found Online

MEASUREMENTS

DIMENSION : 5.75" W x 13.75" H x 5.25" Ext
BACK PLATE : 4.75" W x 2.5" H x 6.75" HCO
HANGING WEIGHT : 3.58 lb

LAMPING

INPUT VOLTAGE : 120V
LUMENS : 840 Rated
BULB : 2 x 6W LED PCB Integrated , 12W Total
BULB INCLUDED : (Integrated)
DIMMABLE : No
CRI : 90+ CRI
COLOR_TEMP : 3000K
LIGHTING_DIRECTION : Up/Down



Always consult a qualified electrician before installing any lighting product.



WESTERN DISTRIBUTION CENTER (HEADQUARTER)
253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91746
EASTERN DISTRIBUTION CENTER
4200 SHIRLEY DR. | ATLANTA, GA 30336
P. 626.956.4200 | F. 626.956.4225 | maximlighting.com

TYPE E-C

SPECIFIER:

TYPE:

QTY:

DATE:

1	2	3	4	5	6	7	8	9	10	11
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TECH OPTIONS



DESCRIPTION

Specification grade downlight with aluminum alloy primary reflector available in wide range of finishes. Open trim with variety of field changeable beam distributions and impressive high output options available up to 4000 lm for tall ceilings. Inherently protected luminaire with IC and non-IC options available. Thermal protection in case of improper insulation use. Extruded aluminum anodized heat sink or electrocoated aluminum bracket only for lower outputs. Positive retention springs allow for easy installation and prevent sagging.

FEATURES

Housing & Trim: aluminum, Alzak anodize and paint finish options

Cutout: round

Optic: open trim with variety of optics available; field changeable

Beams: narrow regress optic, medium regress optic, wide regress optic, asymmetric wallwash

Lumen Output (nominal): up to 4300+ lm, 110 lm/W

Mounting: new construction, remodeler, and IC housing box

Heat Sink: extruded anodized aluminum for higher outputs or electrocoated aluminum bracket for lower outputs

LED: PerfectWhite™ human centric, Tunable White, Warm Dim, Static white
CRI 80+, 90+ & 95+, Sunlike 97, RGBW

≤1x3 SDCM standard, ≤1x2 SDCM available upon request

LED Lumen Maintenance: L70 > 50,000hrs

DIMENSIONS

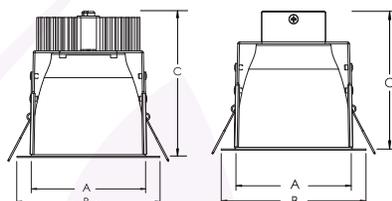
Aperture (A): 4" Ø

Flange (B): 5" Ø

Height (C): 5.11" - 7.10"

Min. Ceiling Opening: 4.3" Ø

Ceiling Thickness: ½" - 2" thk



WARRANTY 5 Year Limited Warranty (Covers Standard Components)

RATINGS & CERTS

Made In USA with Global Components
Damp Location Rated, Wet Location Rated



1: TYPE

RB4-RDW Recessed Downlight, Wet Location

2: LED COLOR & CRI

WD97-3018K*	Warm Dim 3000-1800K 97+	SW90-40K	4000K Static White 90+
WD92-4027K*	Warm Dim 4000-2700K 92+	SW90-50K	5000K Static White 90+
LX90-RGBW**	Lumenetix RGB + 8000-1650K White 90+	SW95-27K	2700K Static White 95+
		SW95-30K	3000K Static White 95+
		SW95-35K	3500K Static White 95+
PC90-30K	3000K PerfectWhite™ 90+	SW95-40K	4000K Static White 95+
SW80-27K	2700K Static White 80+	SL97-27K	2700K Sunlike 97
SW80-30K	3000K Static White 80+	SL97-30K	3000K Sunlike 97
SW80-35K	3500K Static White 80+	SL97-35K	3500K Sunlike 97
SW80-40K	4000K Static White 80+	SL97-40K	4000K Sunlike 97
SW80-50K	5000K Static White 80+	SL97-50K	5000K Sunlike 97
SW80-57K	5700K Static White 80+	TW90-4018K***	Tunable White 4000-1800K 90+
SW80-65K	6500K Static White 80+	TW90-6527K***	Tunable White 4000-2700K 90+
SW90-27K	2700K Static White 90+		
SW90-30K	3000K Static White 90+		
SW90-35K	3500K Static White 90+		

*Warm dim compatible with traditional single channel dimming methods

**Tunable full color and white with DMX; Tunable white and full color preset scenes only with 2x 0-10V; Tunable white only 8000-1650K with Lutron Ecosystem, Dalí2, & Wattstopper DLM

3000lm Max Output *Two-step MacAdam Ellipse available upon request. Use "2SP" after LED code

3: LUMENS

*DIM1 max output.

**Lumenetix white max output 1360 lm.

See page 2 LED Power Info for chip-specific lumens

10LM	1000 lm
15LM	1500 lm
21LM	2100 lm
30LM	3000 lm
43LM*	4300 lm

4: VOLTAGE

U 120-277Vac

5: DIMMING / DRIVER Leading and trailing edge dimming at 120Vac only

DIMA1*	1% Universal Dim 0-10V/TRIAC/ELV (4300lm max output)
10V	<10% Dim 0-10V
10V1	1% Dim 0-10V
10VMC1	1% Dim 0-10V multi-channel for tunable white & Lumenetix full color presets + tunable white
10VMCZ1	0.1% Dim 0-10Vx2 dim-to-off for tunable white
L7EA	1% Dim Lutron Hi-Lume 2-Wire (120V only)
LUT1	1% Dim Lutron Hi-Lume EcoSystem Soft-on & Fade Black
LUTZ1**	0.1% Dim Lutron Hi-Lume Premium EcoSystem Soft-On & Fade Black for static white & Lumenetix tunable white
ELD1	1% Dim eldoLED ECOdrive
ELDZ1	0.1% Dim eldoLED SOLOdrive dim-to-off
DMXZ1	0.1% Dim DMX for tunable & Lumenetix tunable full color and white
DALIZ1	0.1% Dim Dalí2 for tunable white, warm dim & Lumenetix tunable white
DALMCZ1	0.1% dim-to-dark DALI2 DT8 dual channel for tunable white
WATTZ1	0.1% Dim Wattstopper DLM for Lumenetix tunable white

* Standard non-linear dim-to-off for 0-10V dimming; for linear dimming add -LIN at end of dim code

** <20W available for static white

*** Most drivers use logarithmic dimming curve as standard. For linear curve add "LIN" after Dimming Code

6: OPTIC

BN	25° TIR
BM	35° TIR
BW	50° TIR
BXW	90° TIR (1.2 spacing) deep regress
BAWW	Asymmetric Wallwash

7: REFLECTOR FINISH

AHZ	Haze Alzak Clear Anodize
AHB	Haze Sandblast Clear Anodize
PWH	White Matte Paint
PBK	Black Matte Paint
ABK	Black Anodize
AGH	Graphite Anodize
ABR	Bronze Anodize
AWZ	White Anodize

8: TRIM FINISH

AMI	Anti-Microbial Finish
MT	Match Reflector
WH	White
BK	Black

9: IC RATING (OPTIONAL)

IC IC Rated
**Enclosed box required; contact factory for remodeler IC options*

10: ACCESSORY

HB*	Ceiling frame with hanger bars
HBH	Ceiling frame with hanger bars & butterfly bracket kit, extendable
EN	Enclosed box with ceiling plate & bars
FMC	Flex metal whip, 24-inch for AC power
BB4	Battery Backup 4W for 90 mins
BB8	Battery Backup 8W for 90 mins
GOR	Adapter Goof Ring
REM	Remodel Ring

*Extension range min. 14-24" max. See pg3 for full details.

11: CONTROL

VIVE	Lutron Vive
ANL	Acuity nLight
AIRNL	Acuity nLight Air
CAS	Casambi Ready
ENT	Enlighted

09/28/2021
page 1



LED POWER INFO Insulated ceiling (IC) rating up to 18W / ~1500 lm IC rated

Static White LED 80+ CRI @ 3000K (nominal)

Ordering Code	Lumens, Nominal Delivered	Input Power, Nominal	Efficacy, Nominal
10LM	1,061 lm	9.83W	108 lm/W
15LM	1,486 lm	13.76W	108 lm/W
21LM	2,130 lm	19.32W	110.3 lm/W
30LM	2,982 lm	27.05W	110.3 lm/W
43LM	4,260 lm	38.64W	110.3 lm/W
55LM	5,538 lm	50.23W	110.3 lm/W

Static White LED 90+ CRI @ 3000K (nominal)

Ordering Code	Lumens, Nominal Delivered	Input Power, Nominal	Efficacy, Nominal
09LM	899 lm	9.83W	91.4 lm/W
13LM	1,258 lm	13.76W	91.4 lm/W
18LM	1,803 lm	19.32W	93.3 lm/W
25LM	2,525 lm	27.05W	93.3 lm/W
36LM	3,607 lm	38.64W	93.3 lm/W
48LM	4,688 lm	50.23W	93.3 lm/W

PerfectWhite LED 90+ CRI @ 3000K (nominal)

Ordering Code	Lumens, Nominal Delivered	Input Power, Nominal	Efficacy, Nominal
09LM	924 lm	13.50W	68.4 lm/W
13LM	1,347 lm	19.29W	69.8 lm/W
19LM	1,886 lm	27.01W	69.8 lm/W
27LM	2,694 lm	38.58W	69.8 lm/W

Sunlike LED 97 CRI @ 3000K (nominal)

Ordering Code	Lumens, Nominal Delivered	Input Power, Nominal	Efficacy, Nominal
07LM	706 lm	10.06W	70.2 lm/W
10LM	988 lm	14.08W	70.2 lm/W
14LM	1,425 lm	19.89W	71.7 lm/W
20LM	1,995 lm	27.84W	71.7 lm/W
28LM	2,867 lm	40.00W	71.7 lm/W

Warm Dim LED 92+ CRI @ Full Intensity (nominal)

Ordering Code	Lumens, Nominal Delivered	Input Power, Nominal	Efficacy, Nominal
09LM	900 lm	14.36W	62.6 lm/W
12LM	1,263 lm	20.17W	62.6 lm/W
18LM	1,806 lm	28.24W	63.9 lm/W
26LM	2,580 lm	40.34W	63.9 lm/W

Tunable White LED 90+ CRI @ Cool CCT (nominal)

Ordering Code	Lumens, Nominal Delivered	Input Power, Nominal	Efficacy, Nominal
06LM	616 lm	8.55W	72 lm/W
12LM	1,170 lm	17.11W	68.4 lm/W
18LM	1,694 lm	23.53W	72 lm/W
24LM	2,325 lm	32.278W	72 lm/W
30LM	2,893 lm	40.18W	72 lm/W

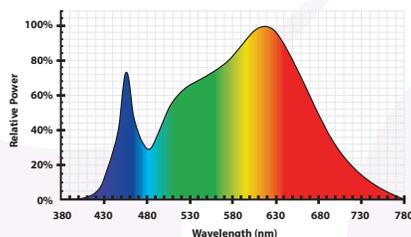
Lumenetix White LED 90+ CRI @ 4000K

Efficacy	Lumens Delivered	Input Power	Efficacy
08LM	840 lm	20.2W	41.5 lm/W
14LM	1360 lm	33.7W	40.3 lm/W

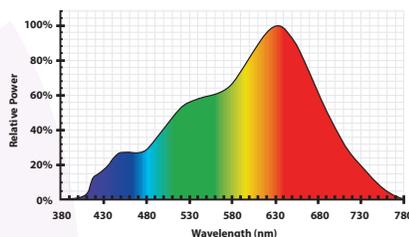
LM Multiplier 1 LED CRI	LM Multiplier 2 LED Color	LM Multiplier 3 Trim Finish	LM Multiplier 4 OPTIC
SW80: 1.00	2700K: 0.96	Clear Haze: 1.00	BXW: 0.80
SW90: 0.90	3000K: 1.00	White Paint: 0.90	
SW95: 0.75	3500K: 1.03	Black Paint: 0.70	
	4000K: 1.05		
	5000K: 1.07		

Calculated Delivered Lumens = Delivered Lumen Value x LED CRI x LED Color x Trim Finish

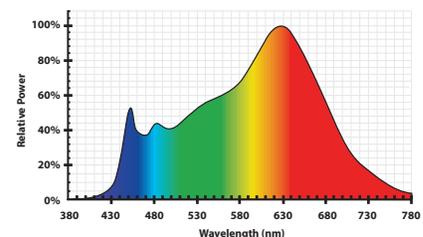
SPECTRAL POWER DISTRIBUTION



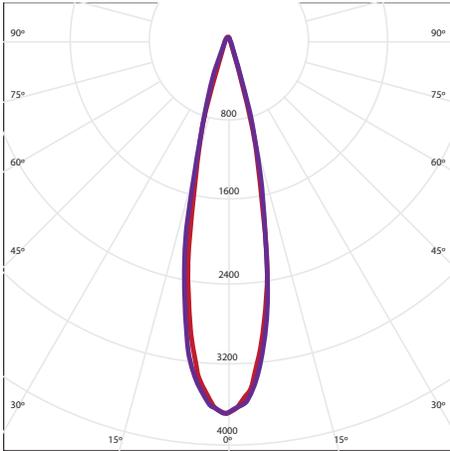
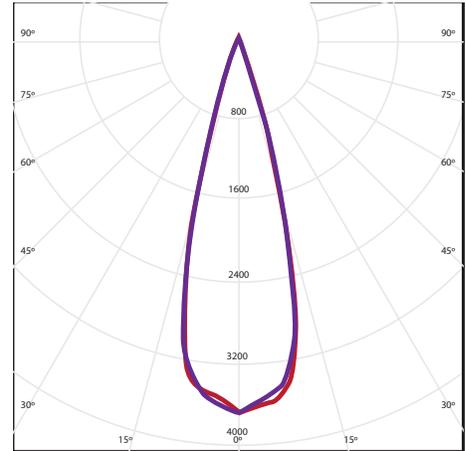
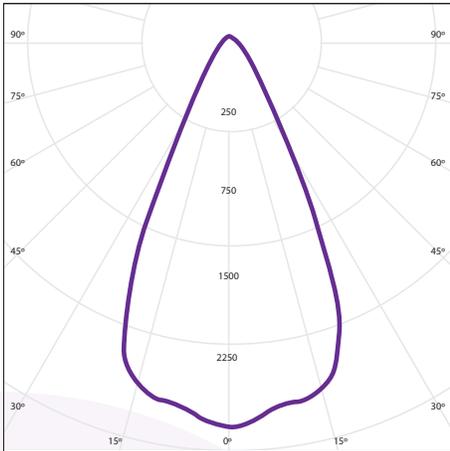
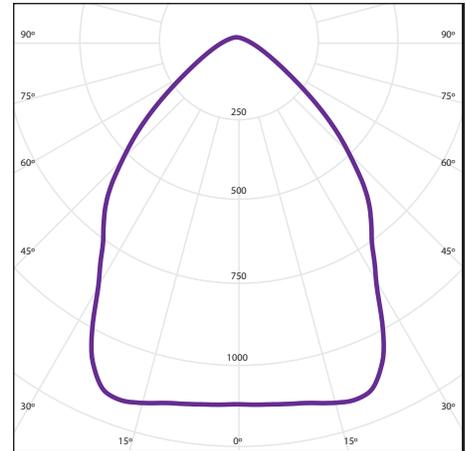
Standard LED 90+ CRI @ 3000K



SunLike LED 97 CRI @ 3000K



PerfectWhite LED 90+ CRI @ 3000K

BEAM DISTRIBUTION
BN - 25° Narrow

BM - 35° Medium

BW - 50° Wide

BXW - 90° Extra Wide


DIMMING

DIMMING COMPATIBILITY FOR -DIMA1 CODE

Opus® Rondo offers compatibility with both phase-cut (reverse-phase and forward-phase) and 0-10V dimmers. Forward-phase (TRIAC) and reverse-phase (ELV) dimming work only at 120Vac. Phase-cut dimming always has priority over 0-10V dimming. Each fixture requires 1mA for 0-10V dimming. Please consult dimmer datasheet for total 0-10V dimming current requirement to determine suitable number of fixtures per dimmer for best dimming results.

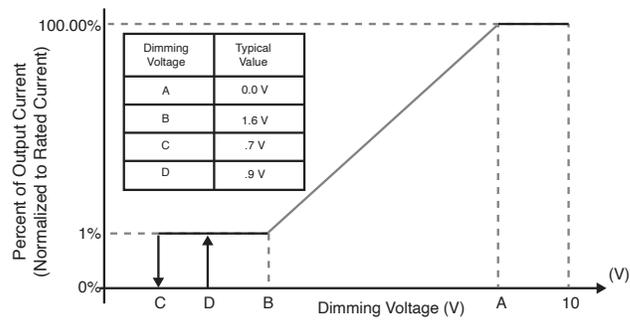
COMPATIBLE PHASE-CUT DIMMERS FOR -DIMA1 CODE

120Vac Dimmers					
Mfg.	Model	Mfg.	Model	Mfg.	Model
Lutron	S-603PG	Lutron	DVELV-303P	Lutron	CT-103P
Leviton	IPI06-1LZ	Lutron	SELV-300P	Cooper	SLC03P
Leviton	6631-2	Leviton	6683-IW	Leviton	IPE04
Lutron	DVCL-153P	Leviton	6161	Lutron	MAELV-600
Lutron	DV-600P	Leviton	6633-P	Lutron	FAELV-500
Lutron	TGCL-153P	Lutron	TG-600P	Lightolier	ZP260QEW
Lutron	S-600P	Cooper	DLC03P	Cooper	DAL06P
Leviton	VPE06	Lutron	LG-600P		

COMPATIBLE 0-10V DIMMERS FOR -DIMA1 CODE

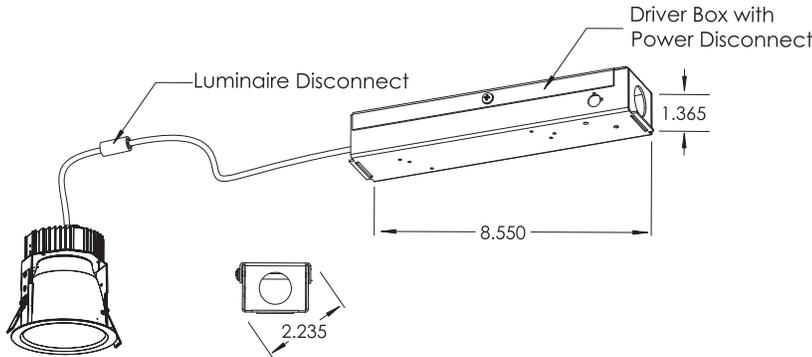
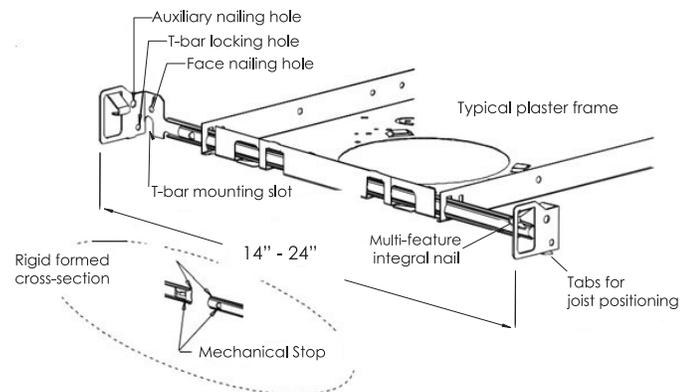
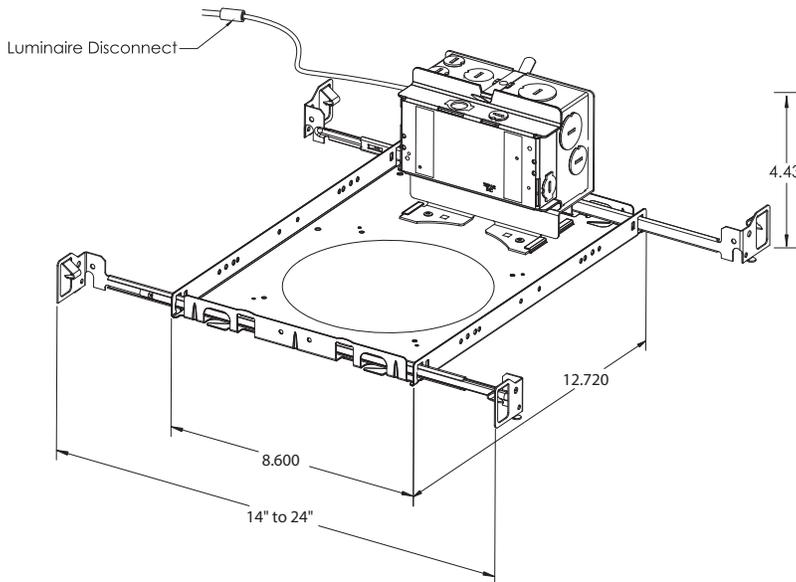
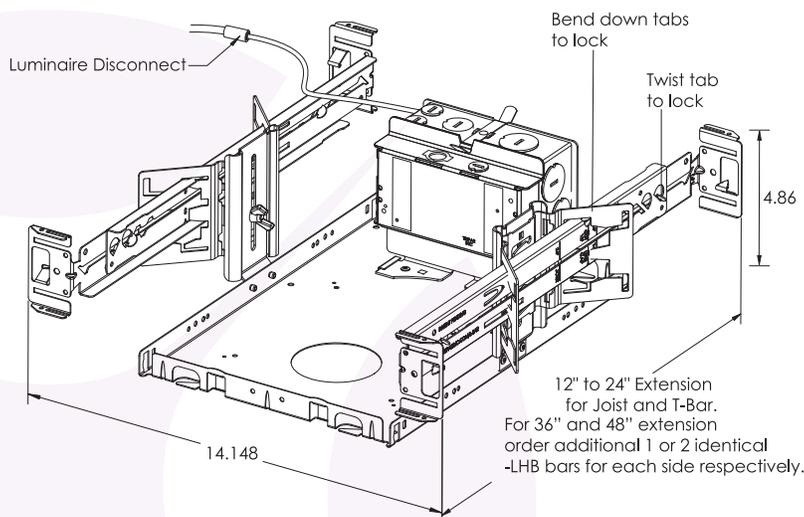
0-10V Dimmers		
Mfg.	Model	Part No.
Lutron	Nova series	NFTV
Leviton	IllumaTech series	IP710-DL
Lutron	Diva series	DVTV

0-10V DIM VOLTAGE REFERENCE FOR -DIMA1 CODE



MOUNTING
Remodeler Mounting (No Suffix)

Mounting dimensions shown are for -DIMA1, -10V, -10V1, up to 50W input power and -LUT1, -LUTZ1 up to 20W input power
 Larger remodeler driver box for higher wattages and other dimming options as well, not shown below.


HB Suffix Mounting

HBH Suffix Mounting


Project		Catalog #		Type	
Prepared by		Notes		Date	



iO LED

TYPE E-D

CoviO™

LED
Interior / Exterior
Architectural Cove Integral Driver

Typical Applications

- Hotels • Restaurants • Commercial Office Spaces • Schools • Hospitals
- Retail • Residential

Interactive Menu

- Order Information page 2
- Photometric Data page 3
- Energy and Performance Data page 3
- Mounting and Installation page 5
- Installation Instructions
- Product Warranty

Product Certification



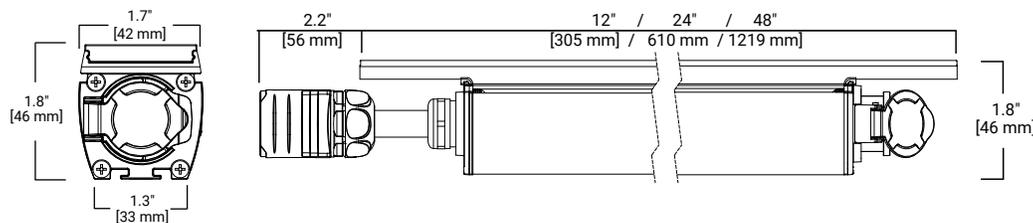
Product Features



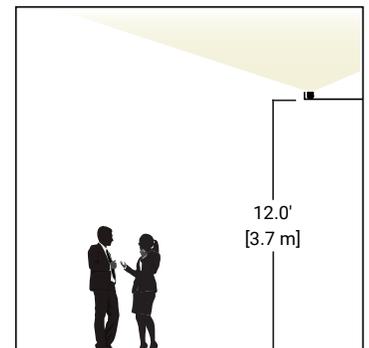
Top Product Features

- Cove lighting fixture with integral driver
- IP66 rated for exterior wet locations or interior installations
- Up to 1500 lm/ft (3 light level options at 500, 1000 and 1500 lm/ft)
- Up to 300 ft run from a single power drop
- Up to 130 lm/W
- Dimming to 1% (0-10V, 100% - 1%)
- 90+ CRI
- Wavelinx wireless control option

Dimensions



Scale



[additional product diagrams](#)

Order Information

SAMPLE ORDER NUMBER: LM-10L-935-120-OD-277-S-SM-STD-50F

Series	Lumen Package	LED CRI & CCT Standard CRI	Optical Distribution	Environment	Voltage
LM=CoviO Linear LED	05L=500 lumens/ft (5 W/ft) 10L=1000 lumens/ft (10 W/ft) 15L=1500 lumens/ft (15 W/ft)	930=90 CRI, 3000K CCT 935=90 CRI, 3500K CCT 940=90 CRI, 4000K CCT	120=Standard lambertian	ID=Indoor OD=Outdoor	UNV=120-277V 277=277V
Notes Architectural LED cove luminaire from iO LED.	Notes Nominal for 12" section.	Notes 90 CRI standard.	Notes	Notes	Notes For UNV run specifications, 120V will be the default. For 277 V systems, specifying 277 will allow for longer run specifications. See pg 4 for run length limits details by output and voltage.

Housing Color	Mounting	Control Options	Length	Accessories
S=Standard Silver	SM=Surface Mount	STD=0-10V (1%-100%) ELV=ELV TR=Triac 5LT=DALI WL=WaveLinX wireless	__F=specify nominal run length in feet __F/1=specify nominal run of 1ft fixtures __F/2=specify nominal run of 2ft fixtures __F/4=specify nominal run of 4ft fixtures 1F=12" Individual fixture 2F=24" Individual fixture 4F=48" Individual fixture	JHARN01-012=1ft jumper JHARN01-036=3 ft jumper JHARN01-144=12ft jumper LM-IC-STD=Std Power Harness
Notes Contact Cooper Lighting for custom color availability. Minimum order qty will apply.	Notes One mounting bracket/fixture is required. A 15 deg and 30 deg mounting angle plate is included with each bracket.	Notes "STD" control specifications include beginning of run power feed and junction box for line voltage connection. One is included for each individual fixture or run specification. All other control specifications include beginning of run control module. See page 6 for details and dimensions.	Notes Run specifications will include 1 power feed/run. Individual fixtures will include 1 power feed/fixture. Contact customer service for custom run configurations. See page 4 for run lengths limits by output and voltage.	Notes Accessories not included in run specifications. Must be ordered separately. Jumper accessory is required for any bend radius > 20". See page 7 for bend radius limits.

Product Specifications

Construction

- Housing is powder coated, extruded aluminum.
- All housing hardware is stainless steel.
- Clear, UV stabilized polycarbonate injection molded lens with integral silicone gasket.
- Proprietary IP66 exterior-rated, quick connect plugs.
- Self-closing IP66 end cap to simplify installation and eliminate end of run shorting risks.
- Available in 1F (12"), 2F (24") or 4F (48") lengths.

Electrical

- Integral high performance constant current driver.
- Standard 0-10V dimming (1% - 100%).
- Each cove module is configured for a line voltage feed while providing through wiring and quick connects for continuous mounting applications.
- See pg 4 for Run Length Limits.
- See pg 4 for Dimmer compatibility chart.

LED Optics

- Fixture equipped with proprietary 90+ CRI LED module available in 2700, 3000, 3500 or 4000K within 3-step MacAdam ellipse.
- Discrete low-powered LED array with clear, injection molded lens delivers light free from striations.
- Luminaires tested per IESNA LM-79.
- LM-80 data utilized in TM-21 lumen maintenance projections:
L70 > 72,000 hrs
L90 > 28,000 hrs

Mounting

- Each individual fixture comes with stainless steel mounting brackets designed to align long runs by spanning two fixtures.
- Optional angled mounting base plates to adjust output angle to 15° and 30° included with each bracket.
- 10% extra mountings are included in every order.
- Power harness is required for connection to line voltage.
- STD option includes beginning of run power harness + junction box for line voltage connection.
- Control options include beginning of run power harness + dimming converter + junction box for line voltage connection.
- Run specifications will calculate the minimum power feeds/run based on output and supply V. Individual fixtures will include 1 power feed/fixture. Contact customer service for custom run configurations. See page 4 for run lengths limits by output and voltage.

Finish

- Fixture housing is powder coated aluminum.
- Standard color is silver with black end caps and wiring harness.
- Contact Cooper Lighting for custom color availability (minimum order quantity will apply).

Compliance

- Luminaires are cULus listed for 50° C ambient environments.
- Wet Location Listed.
- IP66 rated.
- 2000 hour salt spray tested.
- RoHS compliant.
- Tested according to IESNA LM-79 (See pg 3).

Environment

- Suited for indoor or outdoor installations.
- Operating temperature range: -40° to 50° C

Control

- 0-10V dimming to 1% is standard.
- Additional dimming protocols including ELV, TRIAC and DALI supported through an added control module at the beginning of the run.
- Wireless control is supported through the Cooper Lighting WaveLinX system.
- See pg 4 for run length limits.

Weight

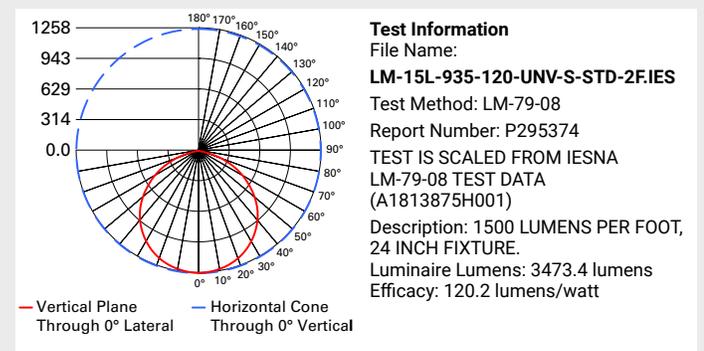
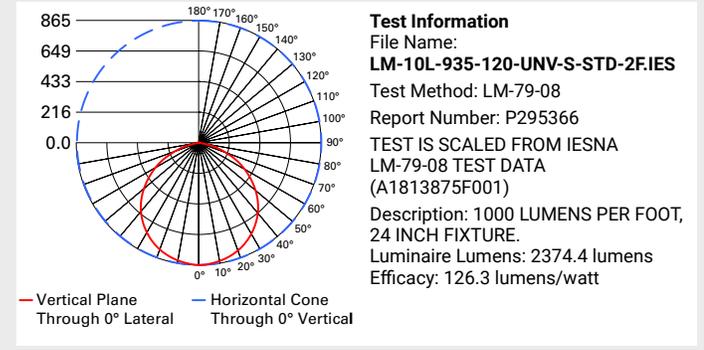
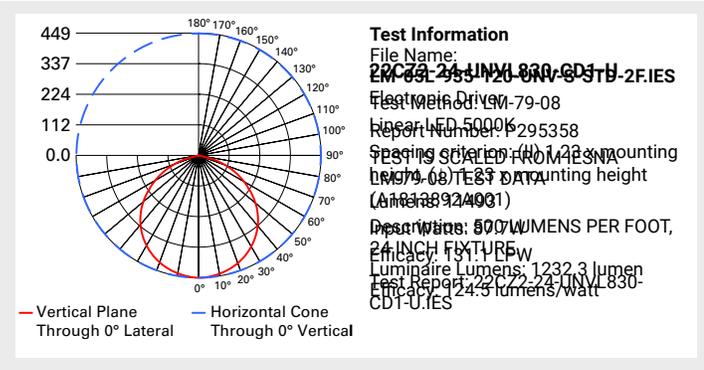
- 1F = 1 lb.
- 2F = 1.8 lbs.
- 4F = 3.5 lbs.

Warranty

- Five year warranty standard.

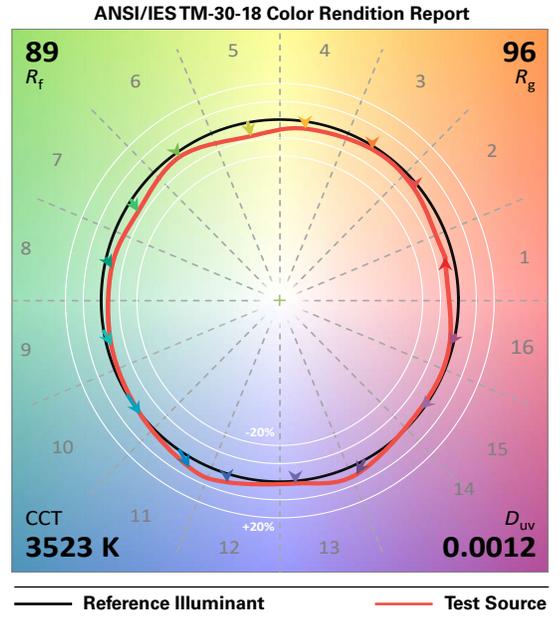
Photometric Data

[View IES files](#)



Note: Refer to IES files for more product data.

Energy and Performance Data



Light Tm-30 and Photometric Sphere test results are summarized in the table below. Contact Cooper Lighting for specific TM-30 reports.

CCT	CRI	R _f	R _g	R ₉
2700K	93.3	92	99	65.6
3000K	94.1	92	99	72.4
3500K	93.5	89	96	71.7
4000K	93.2	86	93	81.4

Light Output Conversion Table

CCT	05L	10L	15L
2700K	0.324	0.626	0.915
3000K	0.337	0.649	0.949
3500K	0.349	0.672	0.983
4000K	0.354	0.683	1.00

Energy Data

120V - 277V 50/60 Hz
>0.9 Power Factor
<20% Total Harmonic Distortion
Efficacy > 110 lm / W
-30°C Min Temperature
50°C Max Temperature

Delivered Lumen Output Table										
Lumen Package, L	CCT	1F = 12" fixture			2F = 24" fixture			4F = 48" fixture		
		Delivered Lumens	Watts	Efficacy (lm/W)	Delivered Lumens	Watts	Efficacy (lm/W)	Delivered Lumens	Watts	Efficacy (lm/W)
05L	927	562	5.1	110.2	1147	9.9	115.9	2362	19	124.3
	930	583	5.1	114.3	1190	9.9	120.2	2450	19	128.9
	935	604	5.1	118.4	1232	9.9	124.5	2537	19	133.5
	940	614	5.1	120.4	1254	9.9	126.6	2581	19	135.8
10L	927	1080	9.9	109.1	2211	18.8	117.6	4538	37.5	121
	930	1120	9.9	113.1	2293	18.8	121.9	4706	37.5	125.5
	935	1160	9.9	117.2	2374	18.8	126.3	4874	37.5	130
	940	1180	9.9	119.2	2415	18.8	128.5	4958	37.5	132.2
15L	927	1581	14.6	108.3	3234	28.9	111.9	6576	56.5	116.4
	930	1640	14.6	112.3	3354	28.9	116.0	6820	56.5	120.7
	935	1698	14.6	116.3	3473	28.9	120.2	7064	56.5	125
	940	1727	14.6	118.3	3533	28.9	122.3	7185	56.5	127.2

Linear Module Run Length Limits

		Run Length Limits (ft)			
		Lumen Package	05L (500lm)	10L (1000lm)	15L (1500lm)
		Fixture Input Wattage	5.1W	9.9W	14.6W
Dimming Protocol	0-10V (STD) ELV (ELV) Triac (TR) WaveLinx (WL)	Maximum Run Length (ft) @ 120V	140	70	50
		Maximum Run Length (ft) @ 277V	300*	170	120
	DALI (5LT)	Maximum Run Length (ft) @ 120V	92	47	32
		Maximum Run Length (ft) @ 277V	216	110	76

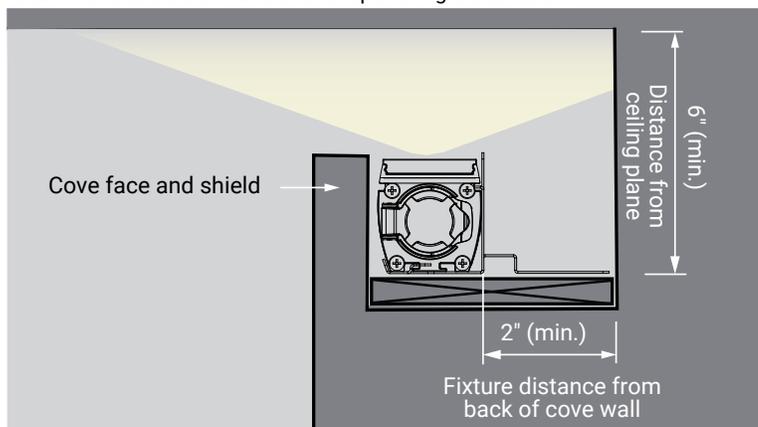
*NOTE: Run length can be extended to 340 ft. for 05L fixtures @ 277V when using 2F and 4F fixtures as long as runs are limited to 300 fixtures or less.

Dimmer Compatibility

List of Tested Dimmers				Notes
Manufacturer	Technology	Series	Part Number	
EWD (Eaton)	Triac	Devine	DAL06P	
EWD (Eaton)	Triac	Skye	SUT7-W	
EWD (Eaton)	Triac	Skye	SAL06P	
EWD (Eaton)	Triac	Toggle	TAL06P	
EWD (Eaton)	Triac	Smart	AAL06	
EWD (Eaton)	0-10Vdc		SF10P-W	Consult factory for runs < 5 ft
EWD (Eaton)	ELV		SUF7-W	
Lutron	Triac	Maestro C.L.	MACL-153-M	
Lutron	Triac	Skylark	SCL-153P-WH	
Leviton	Triac	SureSlide	6674	
Leviton	Triac	Illumatech	IPL06	
Lutron	ELV	Skylark	SELV-300P	
EWD (Eaton)	0-10Vdc		SF10P-W	
Lutron	0-10Vdc		DVSTV-WH	
Lutron	0-10Vdc		IP710-LFZ	
EWD (Eaton)	0-10Vdc		WBSD-010M-C1	

Cove Design Guidelines

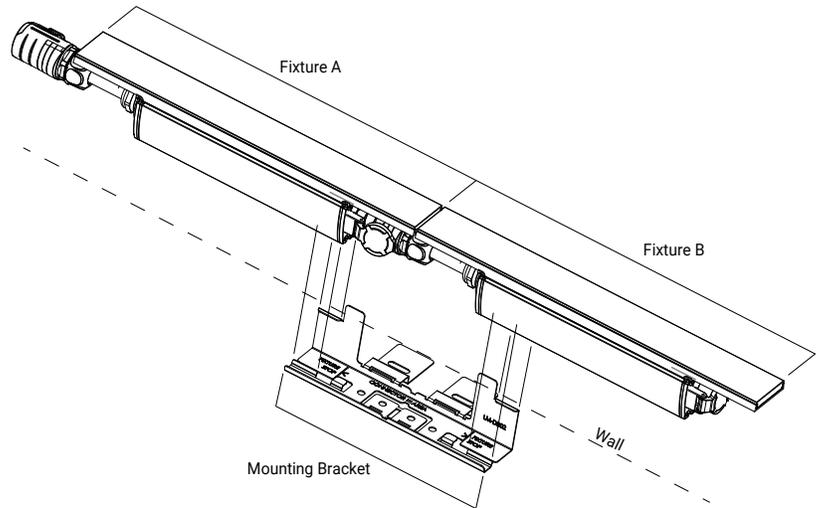
Recommended cove dimensions for optimal light distribution.



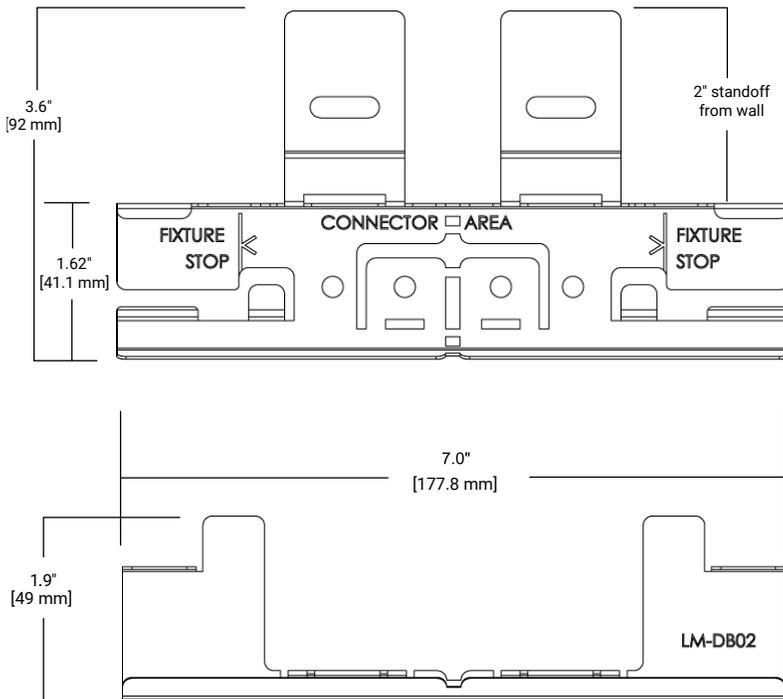
Mounting and Installation

Custom brackets are designed to self-align CoviO fixtures in a linear run. Diagrams at right shows how each bracket spans between two fixture to align the linear run. Bracket can be placed on mounting plate for 15° or 30° aiming. Brackets have incorporated 2" stand-off for optimal cove light distribution. Other mounting considerations:

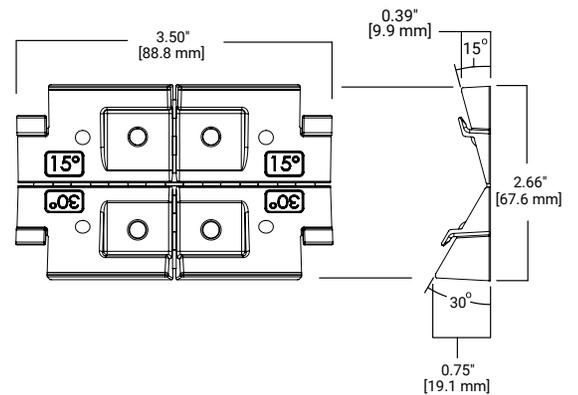
- Mounting location must have solid floor for mounting bracket attachment
- Matte surface finishes in, above and adjacent to cove will deliver optimal cove light distribution
- Do not pre-install more than 12 brackets before installing fixtures
- Fixtures should be mounted at least 2" from wall for optimal cove light distribution.
- Mounting bracket stand-off can be cut off when using angled mounting plate.
- Bracket can be cut in half for runs, end of run, or curved runs.
- Jumper accessory is required for any bend radius > 20°



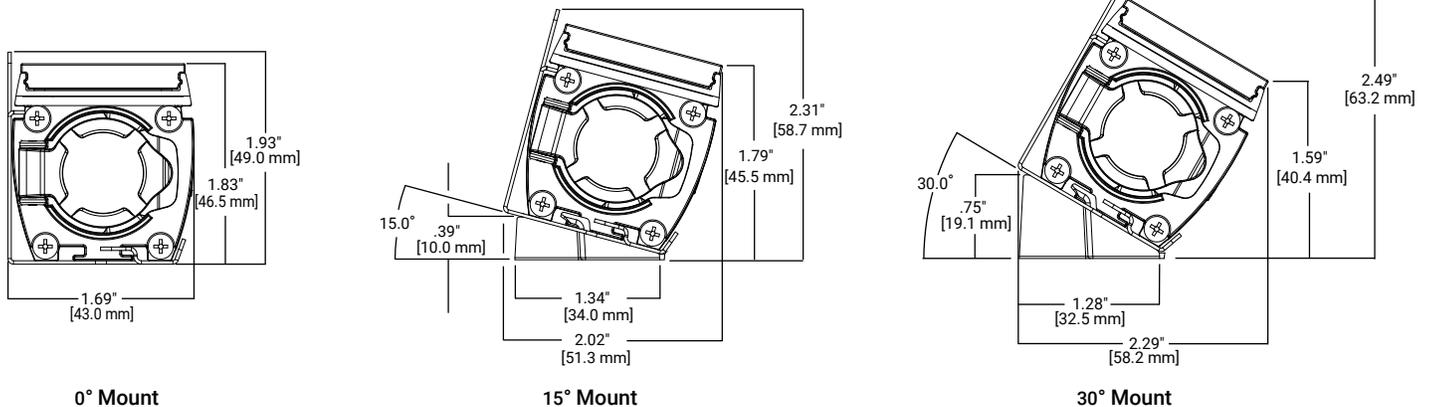
Mounting Bracket Dimensions



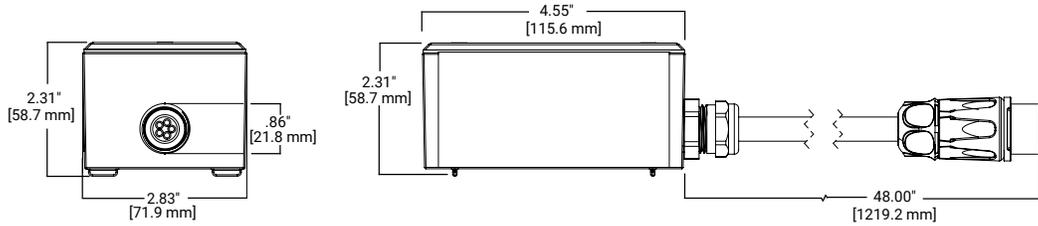
Mounting Plate Dimensions



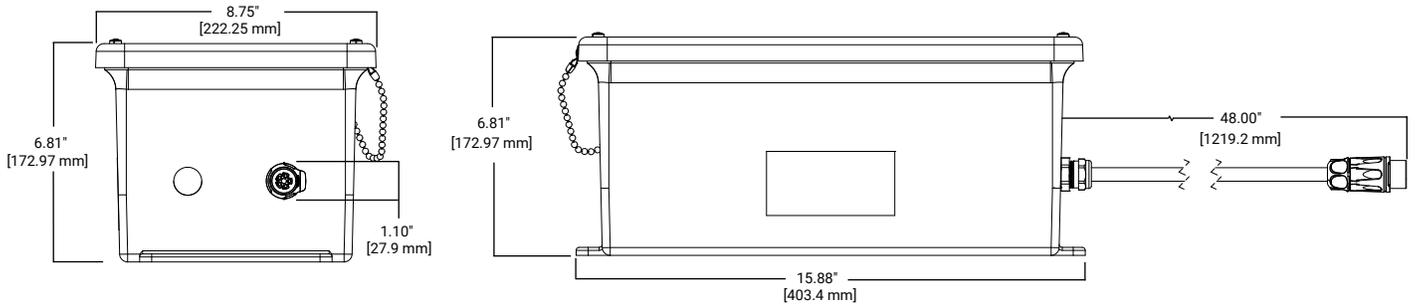
Mounting Plate Angle Dimensions



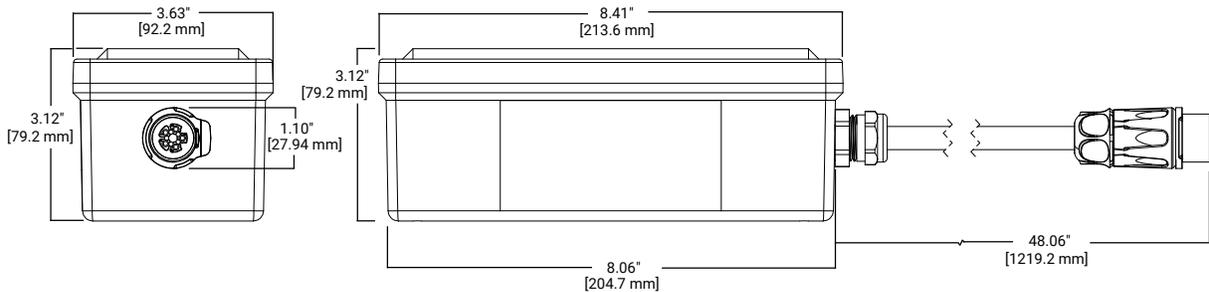
STD - Beginning of Run Power Harness



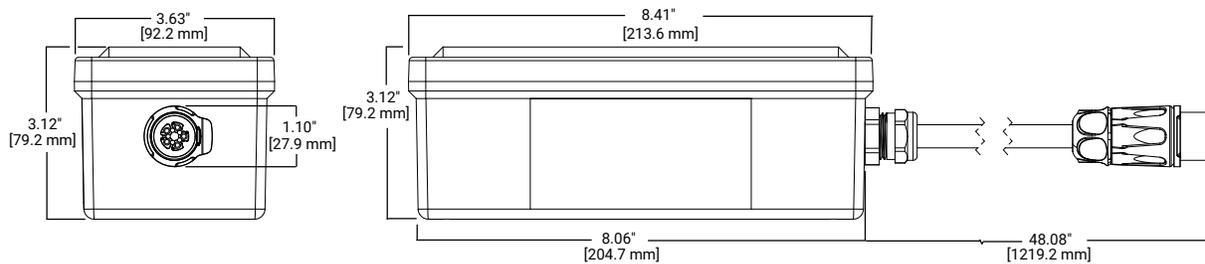
ELV / TR Control Module



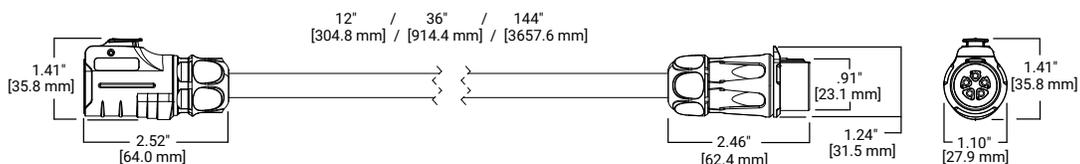
5LT - DALI Control Module



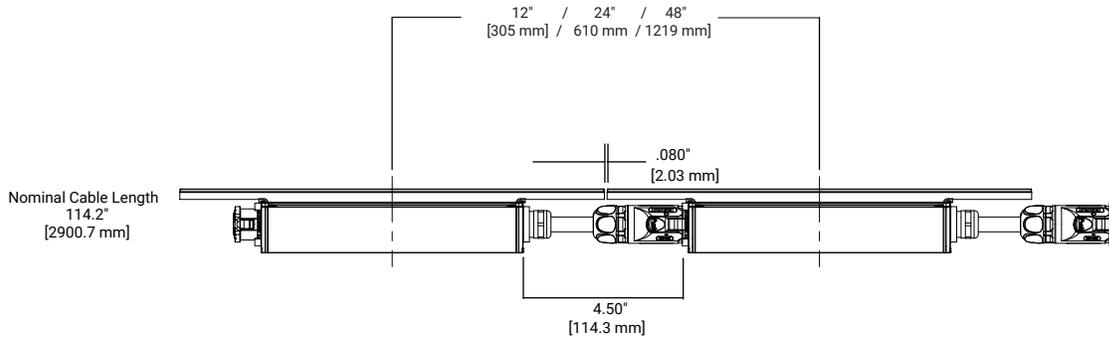
WL - Wavelinx Wireless Control Module



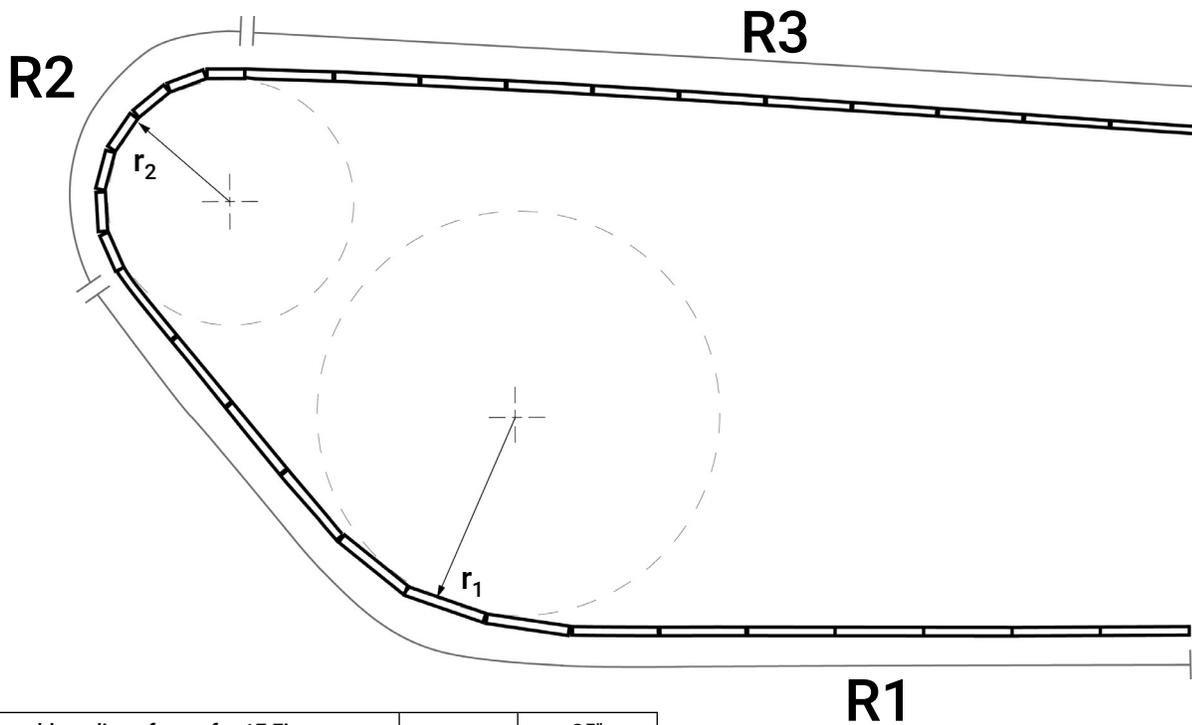
Jumper Harness Accessory



Typical Dimensions for Connected Fixtures



Run Specification Guidelines



Min allowable radius of cove for 1F Fixtures	r =	35"
Min allowable radius of cove for 2F Fixtures	r =	70"
Min allowable radius of cove for 4F Fixtures	r =	70"

Linear Run Specifications

Linear runs can be broken down into segments for easier specifications. Mounting brackets and power feeds are included in any run specifications. Jumper accessory is required of bend radius > 20°.

- R1 would be specified with Length = 45F = 45 ft linear run (22x 2 ft fixtures + 1x 1 ft fixture + power feed)
- R2 would be specified with Length = 7F/1 = 7 ft linear run of 1 ft fixtures (7 x 1 ft fixture + power feed)
- R3 would be specified with Length = 33F = 33 ft linear run (16x 2 ft fixtures + 1x 1 ft fixture + power feed)

Contact customer service for custom run configurations.



TYPE E-F

es6

Experience Big Ass Fans' groundbreaking engineering and cutting-edge technology in more spaces than ever with the es6 ceiling fan. An inspired blend of the award-winning design and functionality of our popular Essence and i6 ceiling fans, es6 transforms spaces of all sizes with powerful performance and an impressive suite of controls.



KEY FEATURES

- ▶ **Six aluminum airfoils** made from aircraft-grade aluminum in black or white finish
- ▶ **Permanent-magnet motor** provides smooth, quiet comfort with seven airflow speeds
- ▶ **Lightweight design** mounts to a standard junction box on ceilings as low as 9 feet (2.7 meters)
- ▶ **Convenient control** with SenseME Technology, mobile app, and voice integration
- ▶ Built for **indoor or outdoor use** with corrosion-resistant materials and reliable safety features
- ▶ **Available LED kit and Chromatic Uplight** offers 16 brightness levels, smart automation, night lite mode, and a full range of color options

DIAMETER

60, 72, AND 84 INCHES
(152, 183, AND 213 CM)

MOUNTING

UNIVERSAL

CONTROL

BLUETOOTH REMOTE
MOBILE APP
VOICE INTEGRATION

WARRANTY

3 YEARS



BIG ASS FANS

EXCEPTIONALLY
ENGINEERED

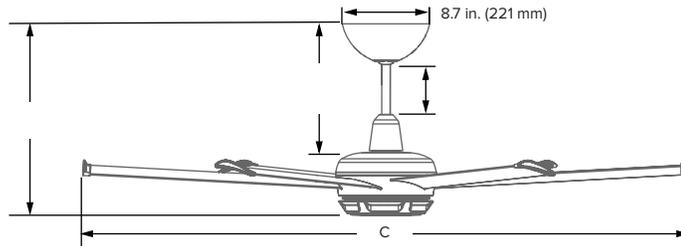
CONTEMPORARY STYLE, COMMANDING PERFORMANCE

Visit bigassfans.com/es6 or call **877.244.3267**

to get in touch with our airflow experts and bring es6's comfort and convenience to your space.



CONTEMPORARY STYLE, COMMANDING PERFORMANCE



Pictured with 7 in. (178 mm) downrod⁵

Downrod Lengths					
Downrod (A)	7 in. (178 mm)	20 in. (508 mm)	32 in. (813 mm)	48 in. (1219 mm)	60 in. (1524 mm)
Fan Height (B)	18.9 in. (480 mm)	31.9 in. (810 mm)	43.9 in. (1115 mm)	60 in. (1521 mm)	72 in. (1826 mm)
Ceiling Height	9–11 ft (2.7–3.4 m)	11–13 ft (3.4–3.9 m)	13–14 ft (3.9–4.3 m)	14–16 ft (4.3–4.9 m)	16–18 ft (4.9–5.5 m)

Technical Specifications										
Diameter (C)	CFM	Efficiency (CFM/W)	Max Watts	Max Speed	Input Power	Weight ¹	Light Kit	Chromatic Uplight™	Environment ²	Sound Level ³
60 in. (152 cm)	7,880	307	22	144 RPM	100–277 VAC, 50/60 Hz, 1 Φ	25 lb (11.3 kg)	1,770 lm 72.6 lm/W	1,984 lm 94.8 lm/W	Indoor Covered outdoor (inland)	<35 dba at max speed
72 in. (183 cm)	9,959	365	26.6	115 RPM		27 lb (12.1 kg)				
84 in. (213 cm)	10,121	429	23	85 RPM		29 lb (13.2 kg)				

Construction Features							
Airfoils	Motor and Hub	Controls	Onboard Sensors	Integrations ⁴	Mounting	Accessories	
Made from aircraft-grade aluminum Tilted blade profile for maximum coverage area	High-efficiency, brushless DC/EC motor	Handheld remote Mobile app Voice control	Temperature, humidity, and motion sensors enable SenseME Technology	Voice control with Google Assistant or Amazon Alexa	Flat or sloped ceilings 9 ft (2.7 m) or taller Maximum slope: 34°	LED light Kit Chromatic Uplight	

Ordering Information				
Diameter	Finish	Downrod ⁵	LED Light	0–10 V
MK-ES62-052306: 60 in. (152 cm) MK-ES62-062306: 72 in. (183 cm)	A786: Black A807: White	107: 7 in. (152 mm) 120: 20 in. (508 mm) 132: 32 in. (813 mm) 160: 48 in. (1219 mm) 192: 60 in. (1524 mm)	S2: LED Light C00: Chromatic Uplight S81: Chromatic Uplight with UV-C	Blank: No 0–10 V V54: 0–10 V

Finish Options



White



Black

LED Light Kit



Remote



Magnetic Holder

Fixed Wall Mount

¹ Weight does not include mount or downrod.
² Not suitable for salt air environments.
³ Actual results of sound measurements in the field may vary due to sound reflective surfaces and environmental conditions.
⁴ Google Assistant is a trademark of Google LLC, Amazon, Alexa and all related logos are trademarks of Amazon.com, Inc. or its affiliates.
⁵ 48 and 60 in. (1219 and 1524 mm) downrods ordered separately, 7 in. (178 mm) downrod not available on 84 in. (213 cm) fans.

Lead times may vary.
 Warranty period and terms vary by country and application.



USA
 BIGASSFANS.COM
 877 244 3267

CANADA
 BIGASSFANS.COM
 844-924-4277

AUSTRALIA
 BIGASSFANS.COM/AU
 1300 244 277

SINGAPORE
 BIGASSFANS.COM/SG
 65 6709 8500

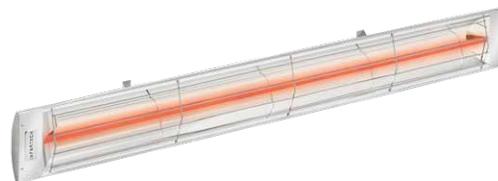


Patio Heaters

C-SERIES SINGLE ELEMENT HEATERS



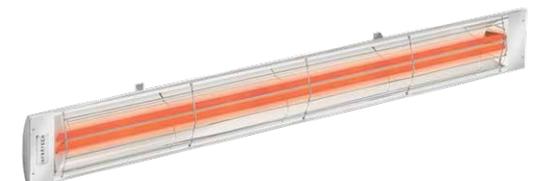
- Our C-Series fixtures are developed for use in high visual impact locations where their sleek design blends seamlessly. They offer significant heat output for mounting heights of 6-10 feet.
- Features include: durable 304 stainless steel construction, recessed installations, and inset mounting brackets that create a “floating” effect when mounted.
- Choose from 1,500-4,000 watt and 120-480 volt capacities.
- Compatible with our custom controls for larger-scale residential or commercial use.
- Choose from brushed stainless steel, standard colors, or custom color finish options.



CD-SERIES DUAL ELEMENT HEATERS

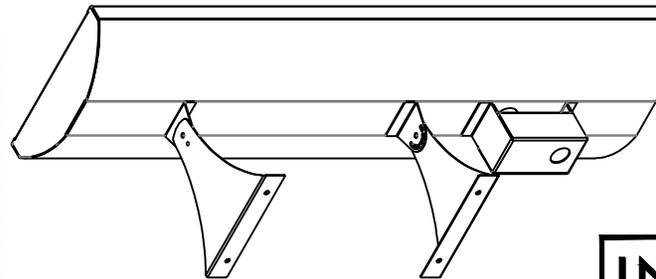
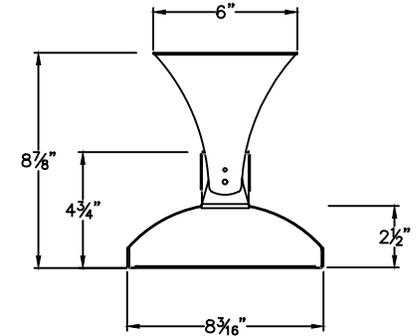
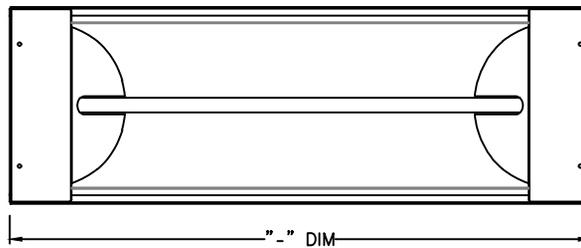
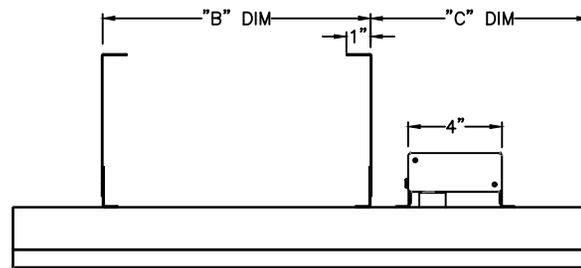
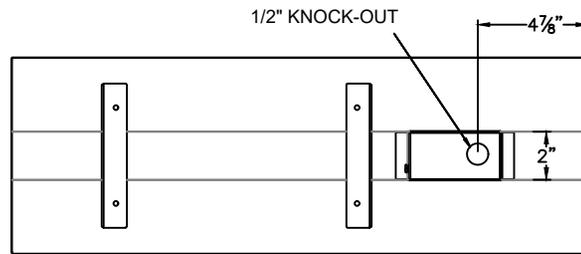
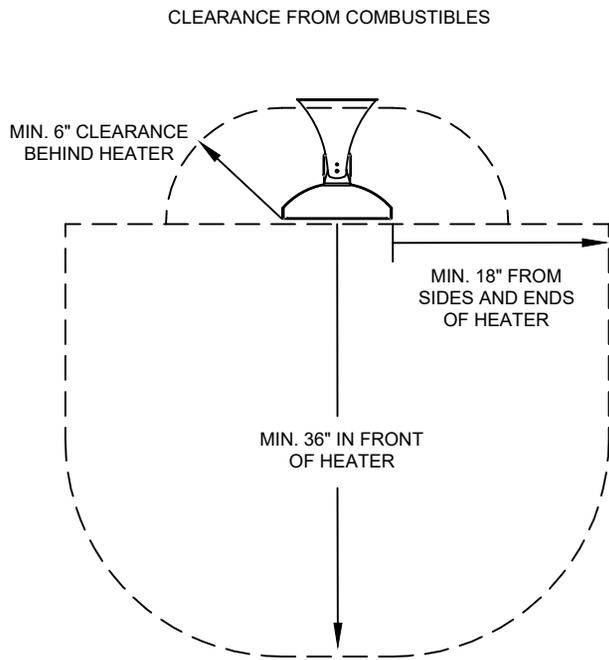


- Our powerful dual-element CD-Series fixtures provide concentrated heat for larger scale applications in high visual impact locations. Designed for mounting heights of 7-12 feet.
- Features Include: durable 304 stainless steel construction, recessed installations, and inset mounting brackets that create a “floating” effect when mounted.
- Choose from 3,000-6,000 watt and 208-480 volt capacities.
- Typically installed with our custom controls, to vary the electric load for comfortable heat in a wide range of conditions.
- May also be installed with Duplex/Stack Switches for effectively a half-power or full-power option.



an array of *choices.*

From backyard patios to sprawling mega-resorts, our product offerings include a range of designs, sizes, and heating capacities, to provide appropriate warmth for any property.



MODEL	"A" DIM.	WATTS	VOLTS	AMPS	BTU's	"B" DIM.	"C" DIM.
C1512	33"	1500	120	12.5	5118	17"	9 1/2"
C1524	33"	1500	240	6.3	5118	17"	9 1/2"
C2024	39"	2000	240	8.3	6824	20"	9 1/2"
C2524	39"	2500	240	10.4	8530	20"	9 1/2"
C3024	61 1/4"	3000	240	12.5	10236	31"	15 1/8"
CD3024	33"	3000	240	12.5	10236	17"	9 1/2"
C4024	61 1/4"	4000	240	16.7	13648	31"	15 1/8"
CD4024	39"	4000	240	16.7	13648	20"	9 1/2"
CD5024	39"	5000	240	20.8	17060	20"	9 1/2"
CD6024	61 1/4"	6000	240	25	20472	31"	15 1/8"

OTHER VOLTAGES ALSO AVAILABLE: 208, 277, 480

INFRA TECH[™]
 www.infratech-usa.com

15700 S. Figueroa St.
 Gardena, California 90248
 Phone: (310) 354-1250
 Fax: (310) 523-3674

DESCRIPTION

C-SERIES HEATER CAD DRAWING

DATE
Apr. 12, 2019

DRAWN BY:
MD

SCALE
NONE

SYNTHETIC TURF



Product Specification Sheet

LC Pet

Pile Height	1.125”
Stitch Gauge	3/8”
Face Weight	55 oz/sq yard
Backing Weight	16 oz/sq yard
Total Weight	71 oz/sq yard
Materials	PE & PP
Permeability	Permeable backing
Fiber Type	PE Monofilament and PP Thatch
Colors	Field, and Apple Face With Green and Tan Thatch

Uses- Residential and Commercial Pet Areas, General Landscape, Lawns, Roof Decks, Medians, and Multi-Use Activity Areas. Manufactured for both Residential and Commercial Applications.



BEAUTY IS ON THE OUTSIDE.

DUMPSTER ENCLOSURE



- MAINTENANCE FREE MATERIALS
- PROFESSIONAL GRADE EXTRUDED ALUMINUM FRAME
- EASY INSTALL, NO SPECIAL TOOLS REQUIRED

Elegant, durable and long lasting screening for today's modern businesses, Covrit® provides a complete line of screening solutions to hide, protect, or partition anything on your property.

Our modular, made-to-order system is available in a wide variety of styles and colors and can be customized to fit any size space.

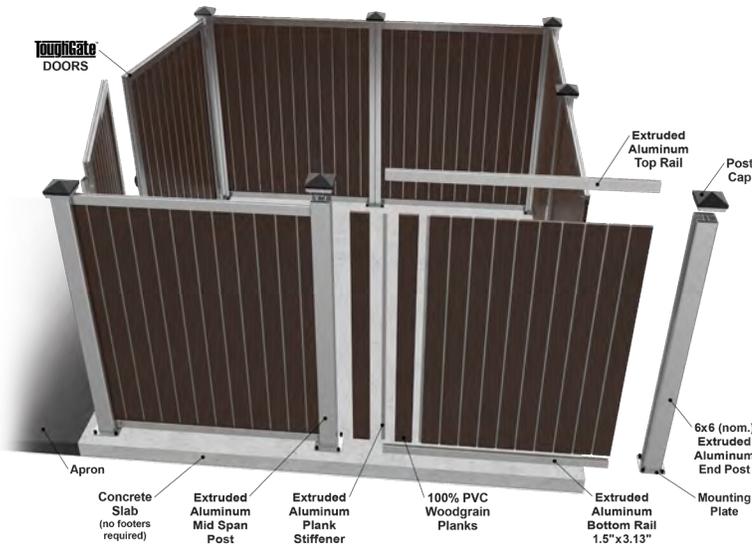


covrit®

CityScapes
ARCHITECTURAL INNOVATIONS

Designed by our in-house engineering team and manufactured in our state-of-the-art facility, our professional grade screen wall systems and gates have transformed property at big box retailers, shopping centers, restaurants, community parks, apartment complexes, and more. We are your ideal partner for all your screening needs.

PLANKWALL™ SYSTEM



We mount our planks using professional grade aluminum posts and rails to complete the finest modular wall system on the market. A proprietary aluminum stiffener is integrated between each plank, providing an attractive reveal while reinforcing the screen wall structure, eliminating the need for horizontal stringers.

PlankWall™ is completely maintenance-free and comes with a 20-year fade and stain resistance warranty.

TYPICAL ENCLOSURE SIZES



CUSTOM ENCLOSURES

Create a custom enclosure to shield outdoor equipment such as generators or transformers. Use it as a partition for condominiums, restaurant patios or courtyards. Have a special request? No problem. Our made-to-order process enables custom shapes and sizes to suit your unique project requirements. Simply contact us for your custom quote.

PANEL STYLES

1-INCH PVC PLANK INFILL SERIES



Vertical

Horizontal

Diagonal

WHP

COLOR OPTIONS

Textured Woodgrain Surface On One Side Only



Textured Woodgrain Surface On Both Sides



METAL INFILL SERIES



7.2 Rib

7.2 Rib Perforated

Textured Flat
(Foam Filled)

True Louver

1" x 4" Slat Wall

1" x 6" Slat Wall

For current color availability, please contact your CityScapes® representative.

NATURESCREEN® INFILL SERIES



NatureScreen®
DMT

NatureScreen®
GMT

NatureScreen®
SMT

NatureScreen®
SMT E

For current color availability, please contact your CityScapes® representative.

ACRYLICAP® ABS INFILL SERIES



Clapboard

Clapboard
with Brick

Horizontal Louver

7.2 Rib

Graphic Option

COLOR OPTIONS

Acrylicap® panels are available in 13 standard colors. Need a custom color? Provide a Sherwin Williams or PMS code and we can color match.



Alabaster

Almond

Cypress
Moss

Forest
Green

Shadow
Gray

Slate
Gray

Dark
Bronze

Oyster

Putty

Rancho
Red

Sagebrush

Khaki

Mansard
Brown

PANEL STYLES

NATURAL WOOD & STONE INFILL SERIES



Cedar



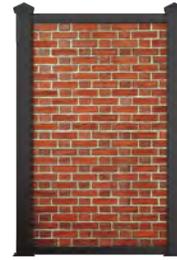
Ipe



Versetta Stone
Tight Cut



Versetta Stone
LedgeStone



Brick

For current color availability, please contact your CityScapes® representative.

CREATE YOUR OWN



NatureScreen®
& Plankwall™



Varying Width
Slat Wall



Ipe Wood &
Versetta Stone



Ventilated
Plankwall

Our modular system allows an architect or designer to mix a variety of wall styles that create a truly unique, one-of-a-kind, look. Our state-of-the-art manufacturing capabilities allow us to turn your ideas into reality. So think big, we are ready.

POST OPTIONS

POST COLORS

The most common colors are shown below.



White
Satin



Black
Textured



City
Green
Textured



City
Brown
Textured



Silver
Satin



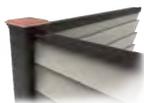
NightHawk
Textured

Need a custom color? Provide a Sherwin Williams or PMS code and we can color match.

POST CAP STYLES



Pyramid Cap



Shallow Hip



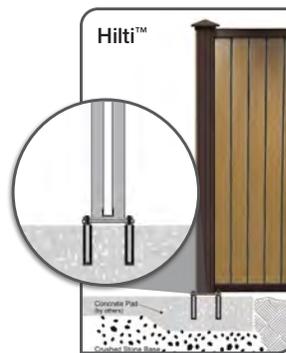
Shallow Hip
with Lighting



Fitted Cap

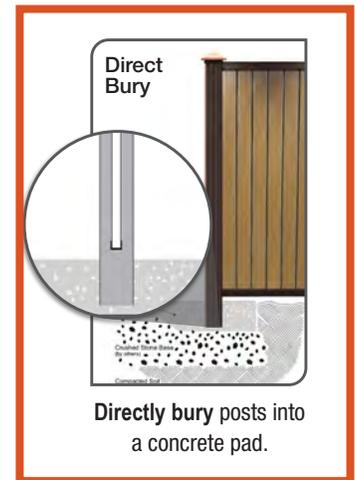
POST MOUNTING

Choose from 2 mounting options. Our installation guides provide a clearly-defined process from start to finish.



Mount posts into a pre-existing pad using Hilti™ epoxy anchors.

(preferred method)



Directly bury posts into a concrete pad.



















CANOPY ROOF
DOVE GRAY
MITCHELL METALS



STANDING SEAM
METAL ROOFING
CITYSCAPE
FAC-CLAD



STUCCO VENEER
SW 6236 GRAYS HARBOR
SHERWIN WILLIAMS



WINDOWS & DOORS
ANDERSEN
DARK BRONZE



STOREFRONT DOORS
DARK BRONZE ANODIZED
KWANEER



RAINSCREEN PANELS
RIBBED - INDIGO
NICHA



FENCE STAIN
50% BARK MULCH/50% BLACK
CABOT STAINS

SAMPLES
ATTACHED →

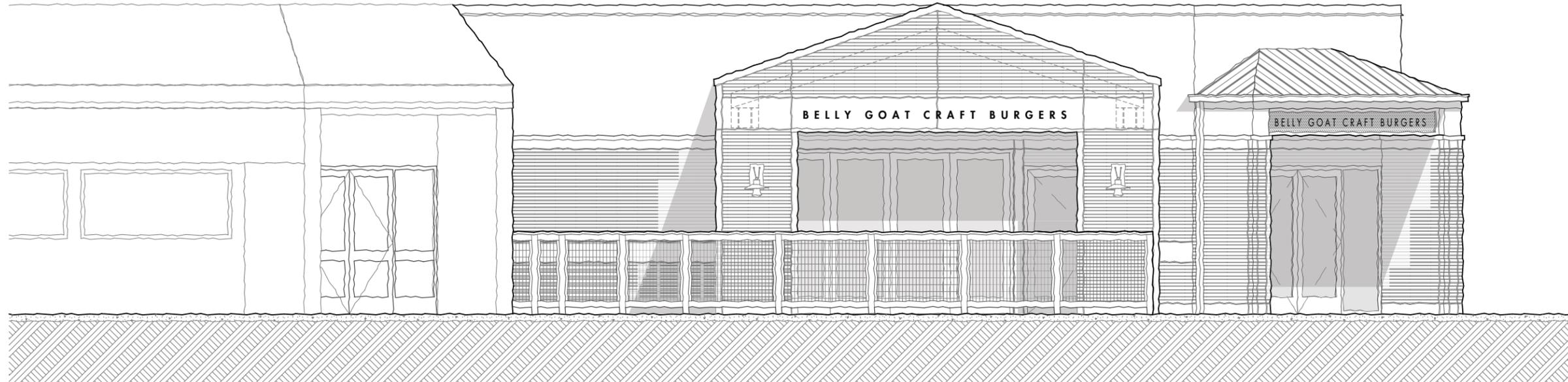
SYNTHETIC TURF
LC PET
LOWCOUNTRY TURF



Proposed Exterior Materials & Colors
BELLY GOAT BURGERS & WINE
Lot 1B, #1 Regency Parkway, Hilton Head Island, SC 29928

3/8/2022

pdg ARCHITECTS
parkerdesigngrouparchitects
840 PEBBLE HOLE DRIVE, SUITE 200, HILTON HEAD ISLAND, SC 29928



ELEVATION FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

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BELLY GOAT BURGERS & WINE

Lot 1B, #1 Regency Parkway, Hilton Head Island, SC 29928

INDEX OF DRAWINGS:		DATE	REVISION	BY
TITLE & CODE SUMMARY	CO COVER SHEET			
SURVEY	SURVEY			
DEMOLITION	D101 DEMOLITION SITE PLAN			
	D201 DEMOLITION ELEVATIONS			
SITE	A5101 ARCHITECTURAL SITE PLAN			
	T101 SITE LIGHTING PLAN			
LANDSCAPE	L-1 LANDSCAPE PLAN			
ARCHITECTURE	A101 FLOOR PLAN			
	A102 ROOF & REFLECTED CEILING PLANS			
	A201 ELEVATIONS			
	A202 ELEVATIONS			
	A301 BUILDING SECTIONS			
	A401 WALL SECTIONS			

PROJECT TEAM:

ARCHITECT:
 PARKER DESIGN GROUP | ARCHITECTS
 PO BOX 5010
 HILTON HEAD ISLAND, SC 29938
 (843) 785-5171

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER:
 BEEKMAN POINT ENGINEERING
 1011 BAY ST.
 SUITE 309
 BEAUFORT, SC 29907
 (843) 471-5488

CIVIL ENGINEERING
 CRANSTON ENGINEERING
 14 WESTBURY PARKWAY
 SUITE 202
 BLUFFTON, SC 29910
 (843) 815-3191

LANDSCAPE DESIGN
 SNELL & ASSOCIATES
 104 GUMTREE ROAD
 HILTON HEAD ISLAND, SC 29926
 (843) 681-3636

CODE SUMMARY:

BUILDING CODES

INTERNATIONAL BUILDING CODE:	2018
INTERNATIONAL FIRE CODE:	2018
INTERNATIONAL PLUMBING CODE:	2018
INTERNATIONAL MECHANICAL CODE:	2018
INTERNATIONAL FUEL GAS CODE:	2018
INTERNATIONAL ENERGY CONSERVATION CODE:	2009
NATIONAL ELECTRICAL CODE:	2017 (NFPA 70)

(ALL CODES WITH SC MODIFICATIONS)

DESCRIPTION OF WORK:
 RENOVATION OF AN EXISTING GAS STATION CONVENIENCE STORE TO A RESTAURANT WITH IN-HOUSE WINE BLENDING.

DEMOLITION INCLUDES REMOVAL OF THE EXTERIOR SUN BAFFLES & PARTIAL DEMOLITION OF PARTITION WALLS. THE ACOUSTIC CEILING WILL BE REMOVED TO EXPOSE THE ROOF STRUCTURE.

NEW CONSTRUCTION INCLUDES ADDITION OF A COVERED PORCH, CANTILEVERED ROOF CANOPY, AND NEW DOORS AND WINDOWS. NEW KITCHEN EQUIPMENT INCLUDING AN ADDITIONAL EXHAUST HOOD ARE INCLUDED. NEW SOFFITED CEILING AREAS AND HVAC ARE INCLUDED.

CONSTRUCTION:
 EXISTING CONSTRUCTION IS A CONCRETE SLAB-ON-GRADE WITH STEEL FRAME & BAR JOISTS SUPPORTING A SLOPED STEEL ROOF DECK. WALLS ARE STEEL STUD CONSTRUCTION.

NEW CONSTRUCTION WILL BE SIMILAR TO EXISTING CONSTRUCTION.

OCCUPANCY:	EXISTING MERCANTILE (M)	NEW ASSEMBLY (A-2) & FACTORY (F-2)
CONSTRUCTION:	TYPE II-B	TYPE II-B
SPRINKLERED/NON:	NO AUTO. SPRINKLER SYSTEM PROVIDED (BC 8903)	

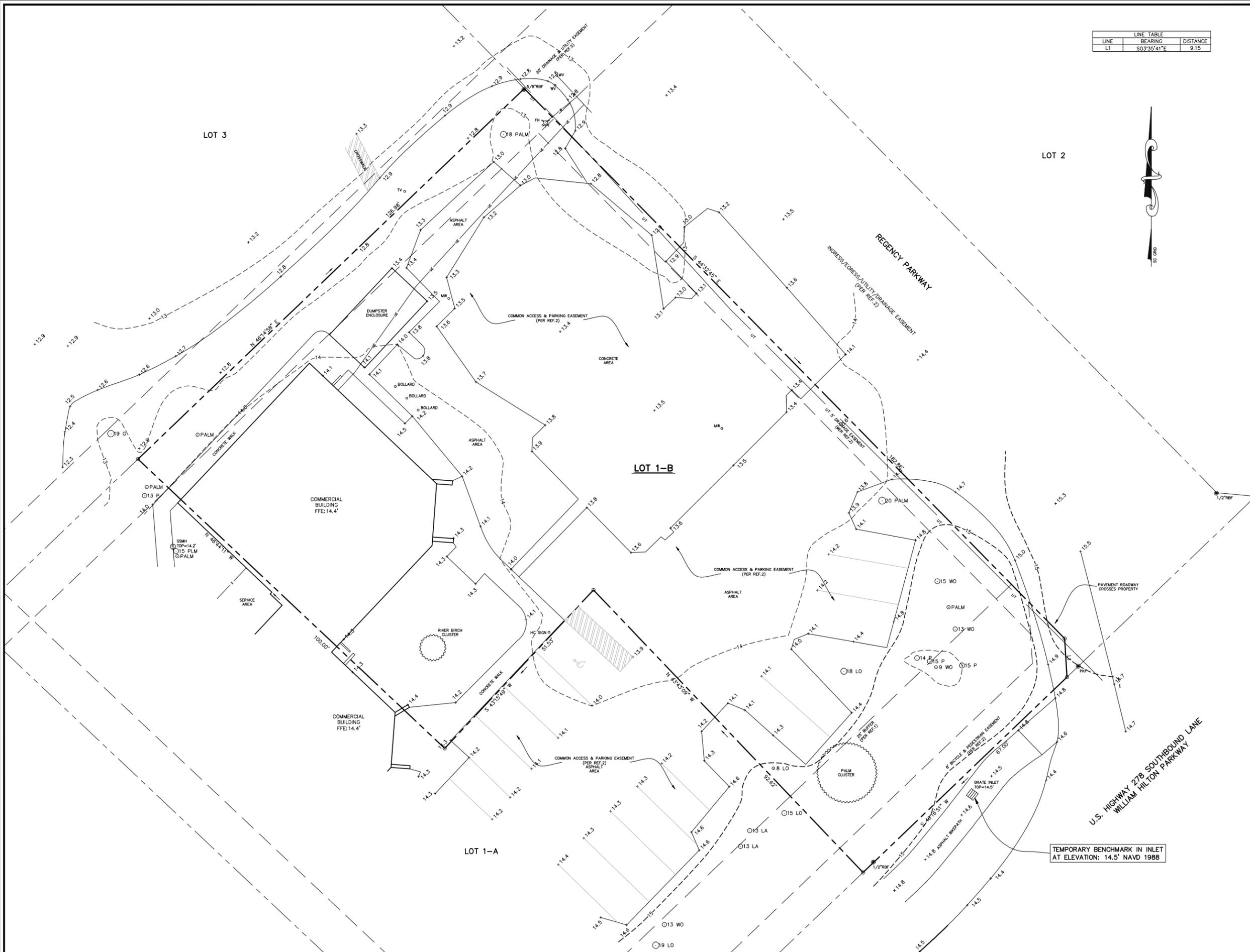
2018 EXISTING BUILDING CODE:
 CLASSIFICATION OF WORK (IEBC CH. 6): **CHANGE OF OCCUPANCY**

BELLY GOAT BURGERS & WINE
 Lot 1B, #1 Regency Parkway
 Hilton Head Island, SC 29928

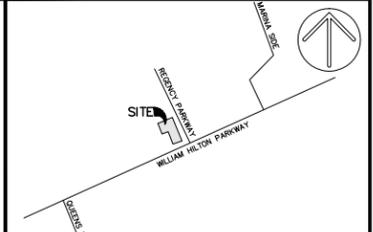
REVIEW SET
 NOT FOR PRICING OR CONSTRUCTION

REVISIONS

PROJECT CONTACT
 JD
 DATE OF ISSUE
 3/8/2022
 JOB NO.
 2145
 SHEET



LINE	BEARING	DISTANCE
L1	S03°35'41"E	9.15



VICINITY MAP NOT TO SCALE

- NOTES:
- THIS LOT APPEARS TO LIE IN FLOOD ZONE X SHOWN ON FIRM MAP 4501300461G, COMMUNITY No. 450250, DATED 03/23/21.
 - TREE SIZES SHOWN IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
 - SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD83.
 - PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

- REFERENCE(S):
- PLAT BOOK 50, PAGE 56
 - PLAT BOOK 34, PAGE 58

- LEGEND:
- | | |
|-------|----------------------------|
| PKF | PK NAIL FOUND |
| RBF | IRON REBAR FOUND |
| WV | WATER VALVE |
| FW | FIRE HYDRANT |
| TH | MONITORING WELL |
| MW | SANITARY SEWER MANHOLE |
| SSMH | TELEPHONE PEDESTAL |
| TEL | UNDERGROUND TELEPHONE LINE |
| -UT- | UNDERGROUND UTILITY LINE |
| -UE- | UNDERGROUND ELECTRIC LINE |
| -W- | UNDERGROUND WATER LINE |
| -K- | FENCE LINE |
| P | PINE |
| PLM | PALMETTO |
| LA | LAUREL OAK |
| LO | LIVE OAK |
| WO | WATER OAK |
| G | GUM |
| +10.0 | SPOT ELEVATION |
| -10- | CONTOUR |

DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
NOT VALID UNLESS CRIMPED WITH SEAL



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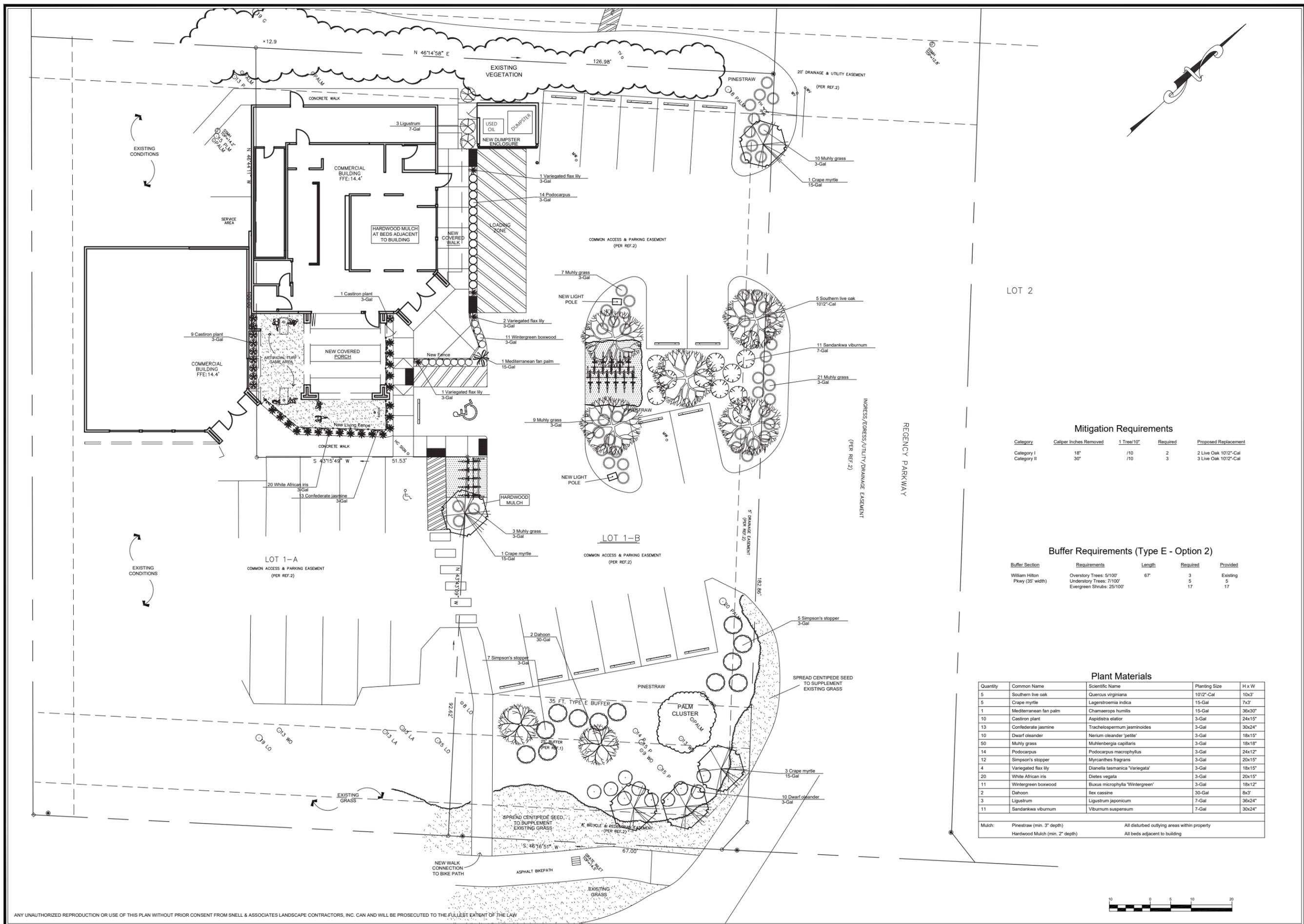
AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF
LOT 1-B
REGENCY PARKWAY
LONG COVE COMMERCIAL SUBDIVISION
TMS R520 011 000 0155 0000
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY,
SOUTH CAROLINA
PREPARED FOR:
APEX HHI 1, LLC

COOK
Land Surveying
Faster. Simpler. Better.
23 Trotting Hill Lane, Bluffton, SC 29910
p: 843.247.1311 e: cooklandsurvey@chargray.com

PROJECT No.: 21120013
DRAWN BY: DRC PROJECT NAME: 21120013
DATE: 12.16.21 FILE: 21120013AT 121621.dwg
SCALE: 1" = 10'

SHEET 1 OF 1

Landscape Plan
Belly Goat Burgers
 Lot 1B / 1 Regency Parkway
 Hilton Head Island, South Carolina



Mitigation Requirements

Category	Caliper Inches Removed	1 Tree/10'	Required	Proposed Replacement
Category I	18"	/10	2	2 Live Oak 10/12'-Cal
Category II	30"	/10	3	3 Live Oak 10/12'-Cal

Buffer Requirements (Type E - Option 2)

Buffer Section	Requirements	Length	Required	Provided
William Hilton Pkwy (35' width)	Overstory Trees: 5/100'	67'	3	Existing
	Understory Trees: 7/100'		5	5
	Evergreen Shrubs: 25/100'		17	17

Plant Materials

Quantity	Common Name	Scientific Name	Planting Size	H x W
5	Southern live oak	Quercus virginiana	10/12'-Cal	10x3'
5	Crape myrtle	Lagerstroemia indica	15-Gal	7x3'
1	Mediterranean fan palm	Chamaerops humilis	15-Gal	36x30"
10	Castroton plant	Aspidistra elatior	3-Gal	24x15"
13	Confederate jasmine	Trachelospermum jasminoides	3-Gal	30x24"
10	Dwarf oleander	Nerium oleander 'petite'	3-Gal	18x15"
50	Muhly grass	Muhlenbergia capillaris	3-Gal	18x18"
14	Podocarpus	Podocarpus macrophyllus	3-Gal	24x12"
12	Simpson's stopper	Myrcianthes fragrans	3-Gal	20x15"
4	Variegated flax lily	Dianella tasmanica 'Variegata'	3-Gal	18x15"
20	White African iris	Dietsa vegeta	3-Gal	20x15"
11	Wintergreen boxwood	Buxus microphylla 'Wintergreen'	3-Gal	18x12"
2	Dahoon	Ilex cassine	30-Gal	8x3'
3	Ligustrum	Ligustrum japonicum	7-Gal	36x24"
11	Sandankwa viburnum	Viburnum suspensum	7-Gal	30x24"

Mulch: Pinestraw (min. 3" depth) All disturbed outlying areas within property
 Hardwood Mulch (min. 2" depth) All beds adjacent to building



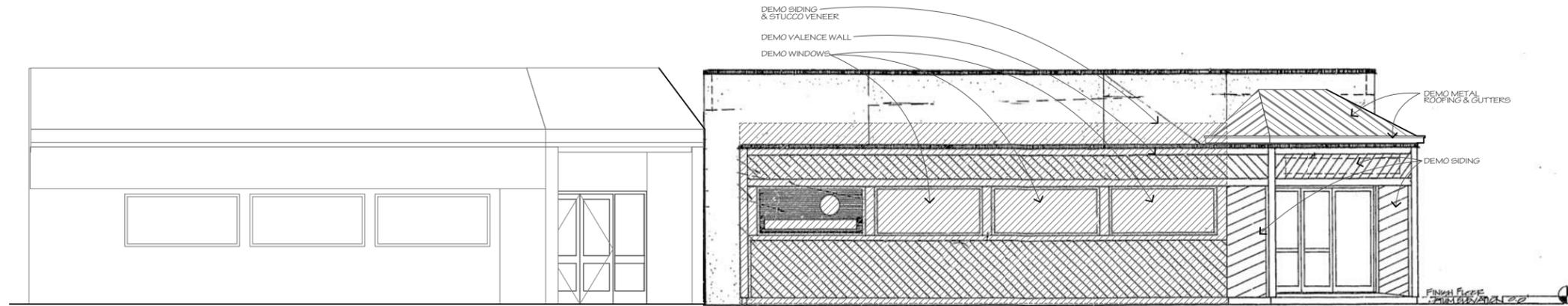
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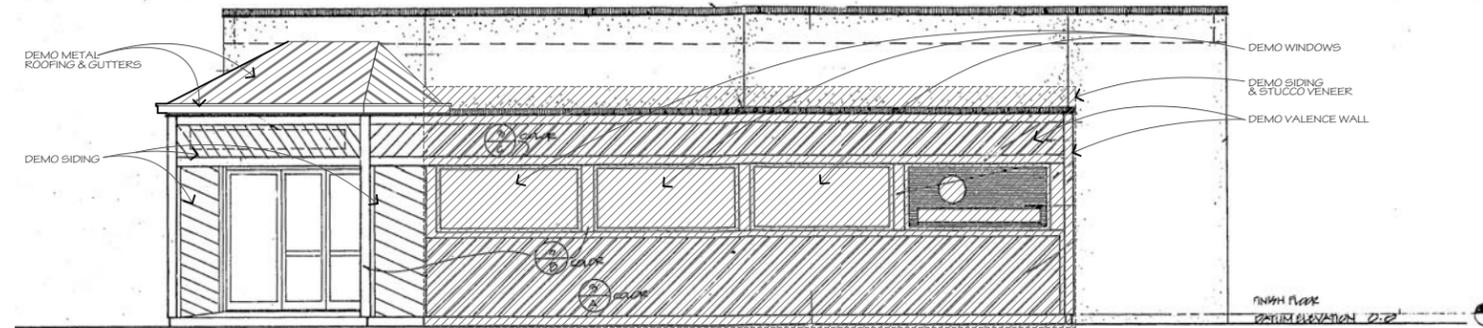
Revisions:
 220303:+light poles shift trees
 220310:+fence at entry/dumpster sw

Project #: PDG-22050
 By: MCS
 Scale: 1"=10'
 Date: 2/11/2022

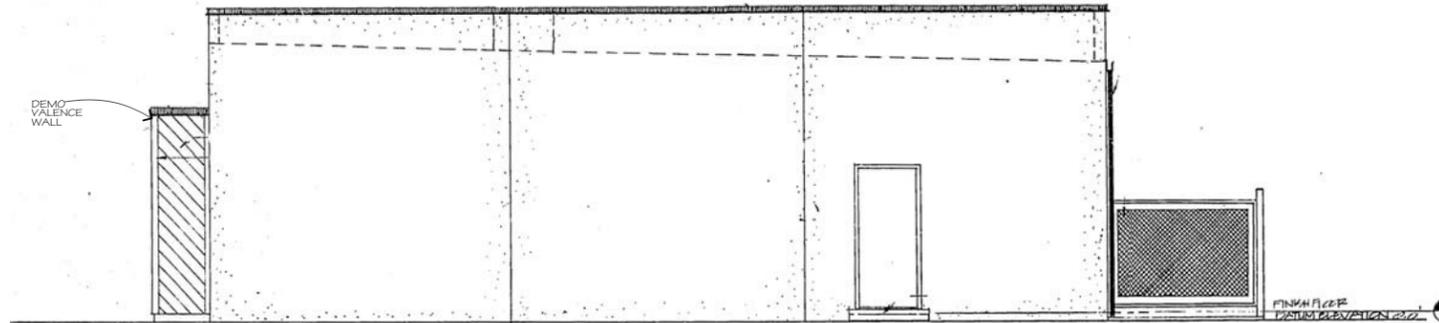
Sheet #: L-1



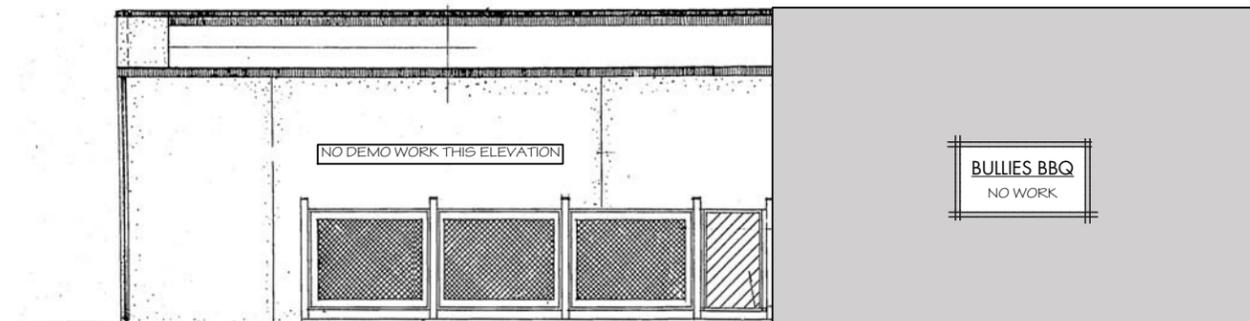
4 STREET DEMO ELEVATION
SCALE 1/4" = 1'-0"



1 PARKING LOT DEMO ELEVATION
SCALE 1/4" = 1'-0"



2 REAR DEMO ELEVATION
SCALE 1/4" = 1'-0"



3 LEFT SIDE DEMO ELEVATION
SCALE 1/4" = 1'-0"

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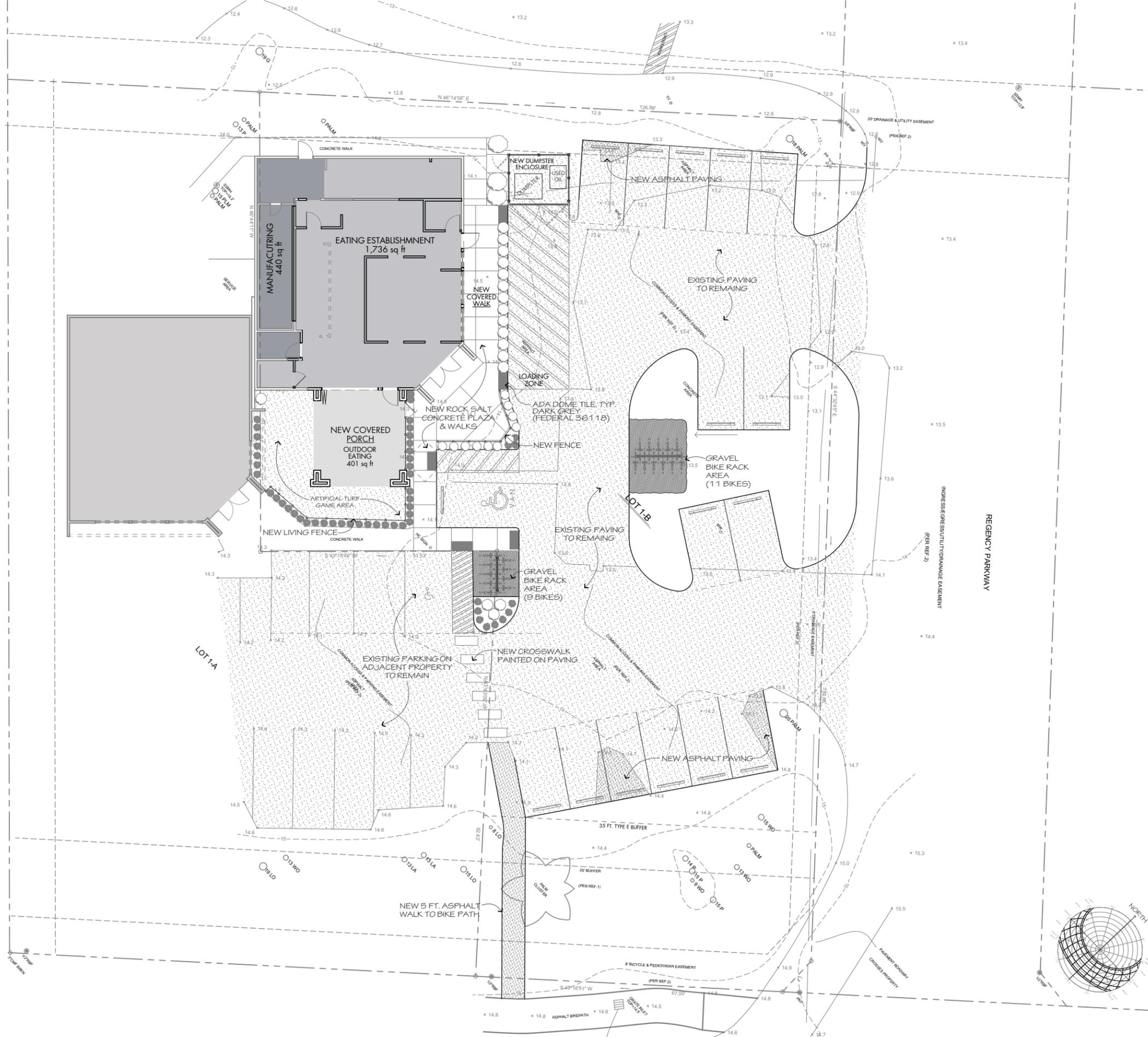
BELLY GOAT BURGERS & WINE
Lot 1B, # 1 Regency Parkway
Hilton Head Island, SC 29928

REVIEW SET
NOT FOR PRICING OR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION

PROJECT CONTACT
JD
DATE OF ISSUE
3/8/2022
JOB NO.
2145
SHEET

DEMOLITION
ELEVATIONS
D201



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'

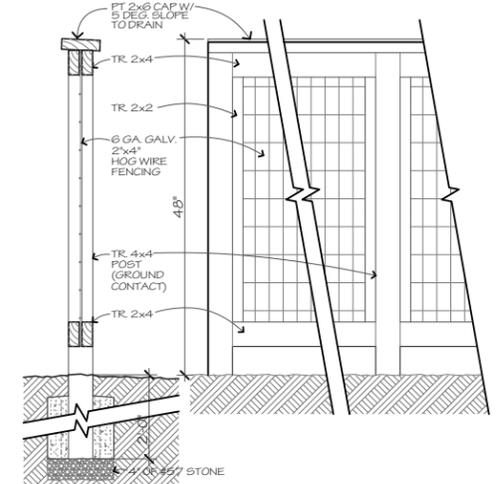


BIKE RACK SELECTION

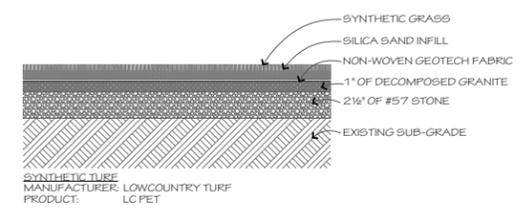
MANUFACTURER: DERO - A PLAYCORE COMPANY
 STYLE: ROLLING RACK
 SIZE: (1) RR5H - 1 1 BIKE RACK
 (1) RR4H - 9 BIKE RACK
 FINISH: BRONZE



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2 FENCE DETAIL
SCALE: 1" = 1'-0"



3 SYNTHETIC TURF
SCALE: 1 1/2" = 1'-0"

ToHHI ZONING SUMMARY:

ZONING DISTRICTS:
 ZONING DISTRICT: LC - LIGHT COMMERCIAL
 OVERLAY DISTRICT: COD - KOW ARTERIAL

MAXIMUM DENSITY:
 ALLOWABLE DENSITY: 10,000 GFA PER ACRE
 LOT SIZE: 0.43 ACRES (18,908 SQ. FT.)
 ALLOWABLE GFA: 4,300 SQ. FT.

FLOOD ZONE:
 FIRM FLOOD ZONE: ZONE X
 BASE FLOOD ELEVATION: NO REQUIRED B.F.E.
 DESIGN FLOOD ELEVATION: 11.0' AMSL
 FINISHED FLOOR HEIGHT: +/- 14.5' AMSL

BUILDING HEIGHT:
 MAX. ALLOWABLE BUILDING HEIGHT: 45'-0" ABV. PRE-DEVELOPMENT GRADE

IMPERVIOUS COVERAGE:
 MAX. IMPERVIOUS COVERAGE: 60%
 EXISTING IMPERVIOUS COVERAGE: +/- 14,900 SQ. FT. (78.8%)
 PROPOSED IMPERVIOUS COVERAGE: +/- 13,600 SQ. FT. (71.9%)

PARKING REQUIREMENTS:
 REQUIRED PARKING: 1 SPACE PER 100 SQ. FT. GFA & OUTDOOR EATING AREA
 1 SPACE PER 1,300 SQ. FT. GFA LIGHT MANUFACTURING

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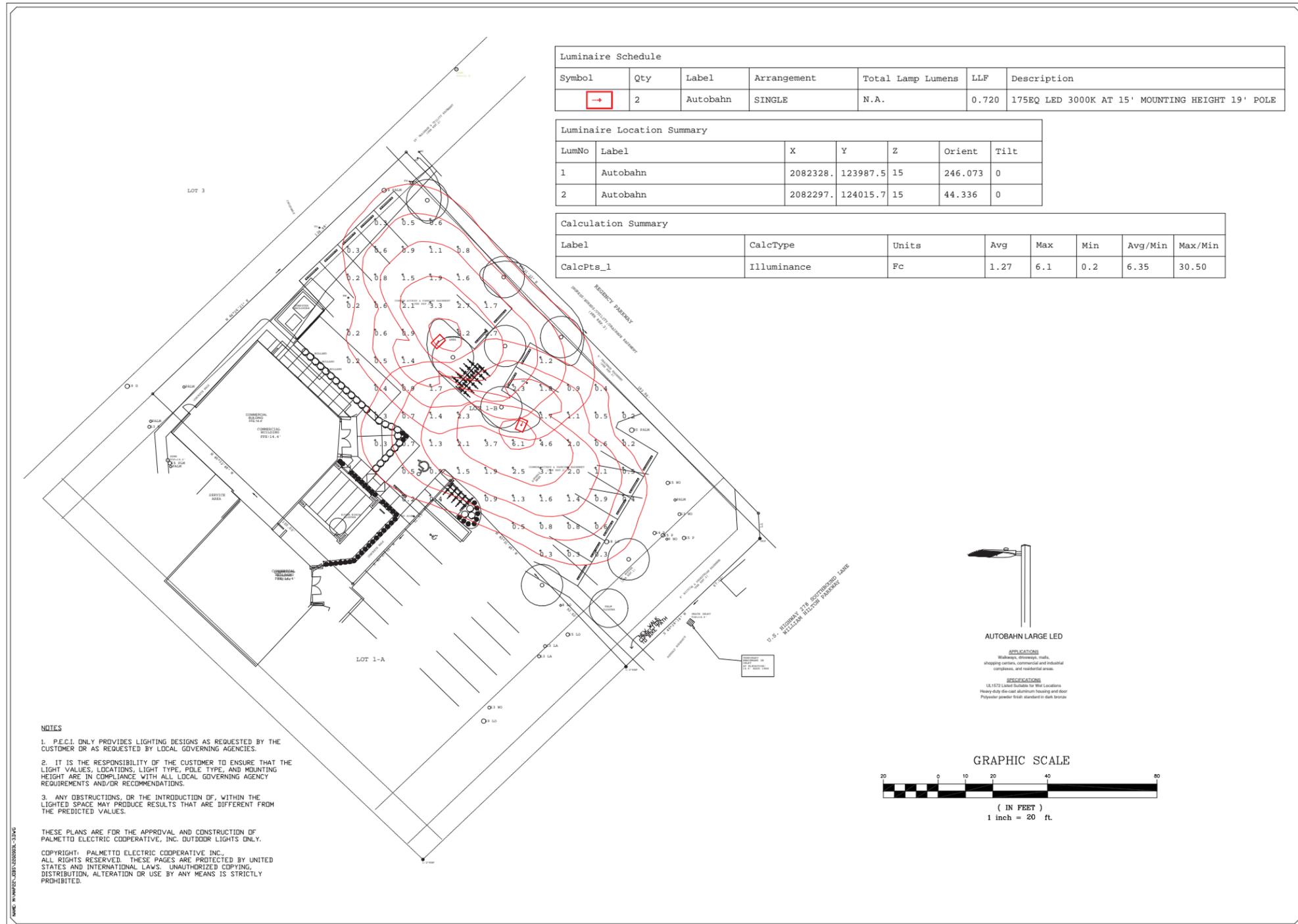
REVISIONS

NO.	DESCRIPTION	DATE

PROJECT CONTACT
 JD
 DATE OF ISSUE
 3/10/2022

JOB NO.
 2145
SHEET

ARCHITECTURAL SITE PLAN
AS101



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
→	2	Autobahn	SINGLE	N.A.	0.720	175EQ LED 3000K AT 15' MOUNTING HEIGHT 19' POLE

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	Autobahn	2082328.	123987.5	15	246.073	0
2	Autobahn	2082297.	124015.7	15	44.336	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.27	6.1	0.2	6.35	30.50

- NOTES**
- P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 - IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 - ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

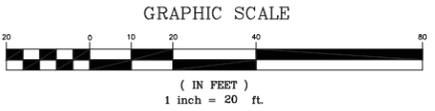
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AUTOBAHN LARGE LED

APPLICATIONS
 Walkways, shopping malls, shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
 UL 1577 Listed Suitable for Wet Locations
 Heavy duty die-cast aluminum housing and arm
 Polyester powder finish standard in dark bronze

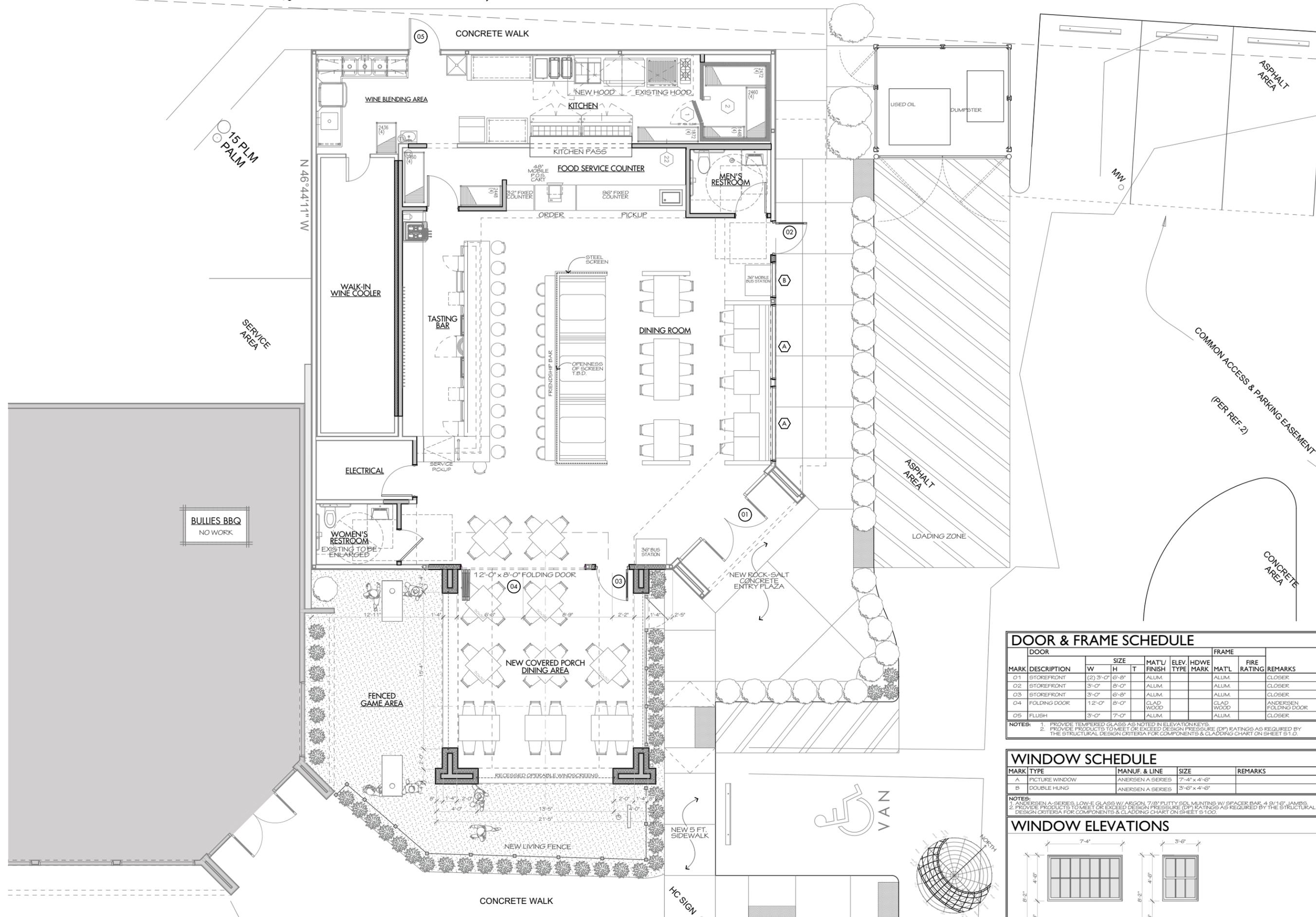


PALMETTO ELECTRIC COOPERATIVE, INC.
 1 COOPERATIVE WAY
 HARDEEVILLE, SOUTH CAROLINA 29527
 (843) 308-5551 / FAX (843) 308-5552



DESIGNED BY: HL
 CHECKED BY: ENG
 DRAWN BY: AKH
 DATE: 3/2/22
 SCALE: 1" = 20'
 PROJECT NO.: 220202CL-3
 MAP NO.: 00000000

LIGHTING PROPOSAL FOR
 BELLY GOAT BURGER
 REGENCY PARKWAY
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA



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BELLY GOAT BURGERS & WINE
 Lot 1B, # 1 Regency Parkway
 Hilton Head Island, SC 29928

REVIEW SET
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REVISIONS

NO.	DATE	DESCRIPTION

PROJECT CONTACT
 JD
 DATE OF ISSUE
 3/8/2022
 JOB NO.
 2145
 SHEET

FLOOR PLAN
A101

DOOR & FRAME SCHEDULE

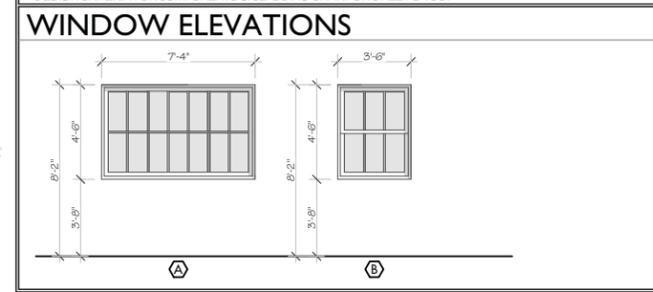
MARK	DESCRIPTION	SIZE			MAT'L/ FINISH	ELEV. TYPE	HDWVE MARK	FRAME		REMARKS
		W	H	T				MAT'L	FIRE RATING	
O1	STOREFRONT	(2) 3'-0"	6'-8"		ALUM.			ALUM.		CLOSER
O2	STOREFRONT	3'-0"	8'-0"		ALUM.			ALUM.		CLOSER
O3	STOREFRONT	3'-0"	6'-8"		ALUM.			ALUM.		CLOSER
O4	FOLDING DOOR	12'-0"	8'-0"		CLAD WOOD			CLAD WOOD		ANDERSEN FOLDING DOOR
O5	FLUSH	3'-0"	7'-0"		ALUM.			ALUM.		CLOSER

NOTES:
 1. PROVIDE TEMPERED GLASS AS NOTED IN ELEVATION KEYS.
 2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.

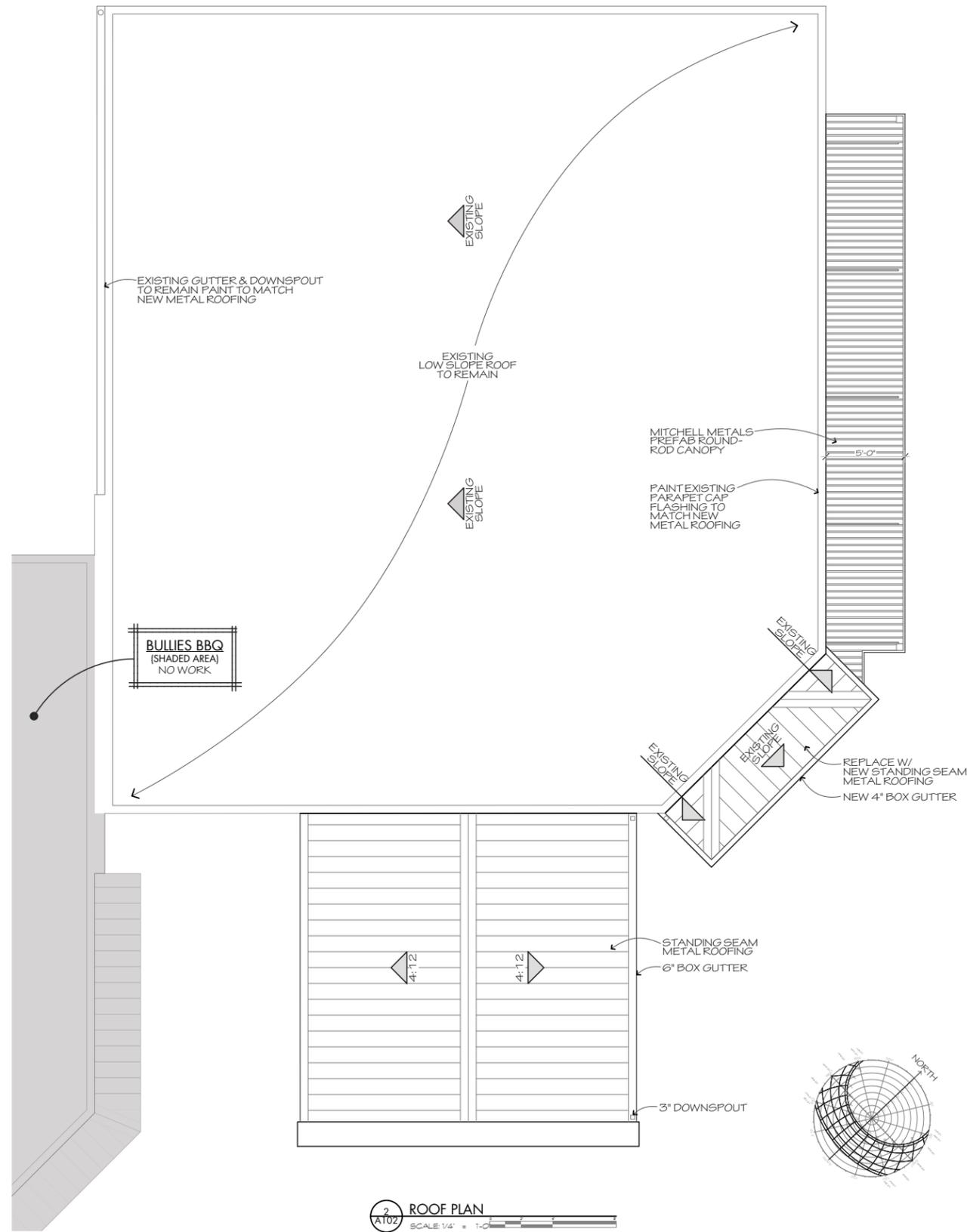
WINDOW SCHEDULE

MARK	TYPE	MANUF. & LINE	SIZE	REMARKS
A	PICTURE WINDOW	ANERSEN A SERIES	7'-4" x 4'-6"	
B	DOUBLE HUNG	ANERSEN A SERIES	3'-6" x 4'-6"	

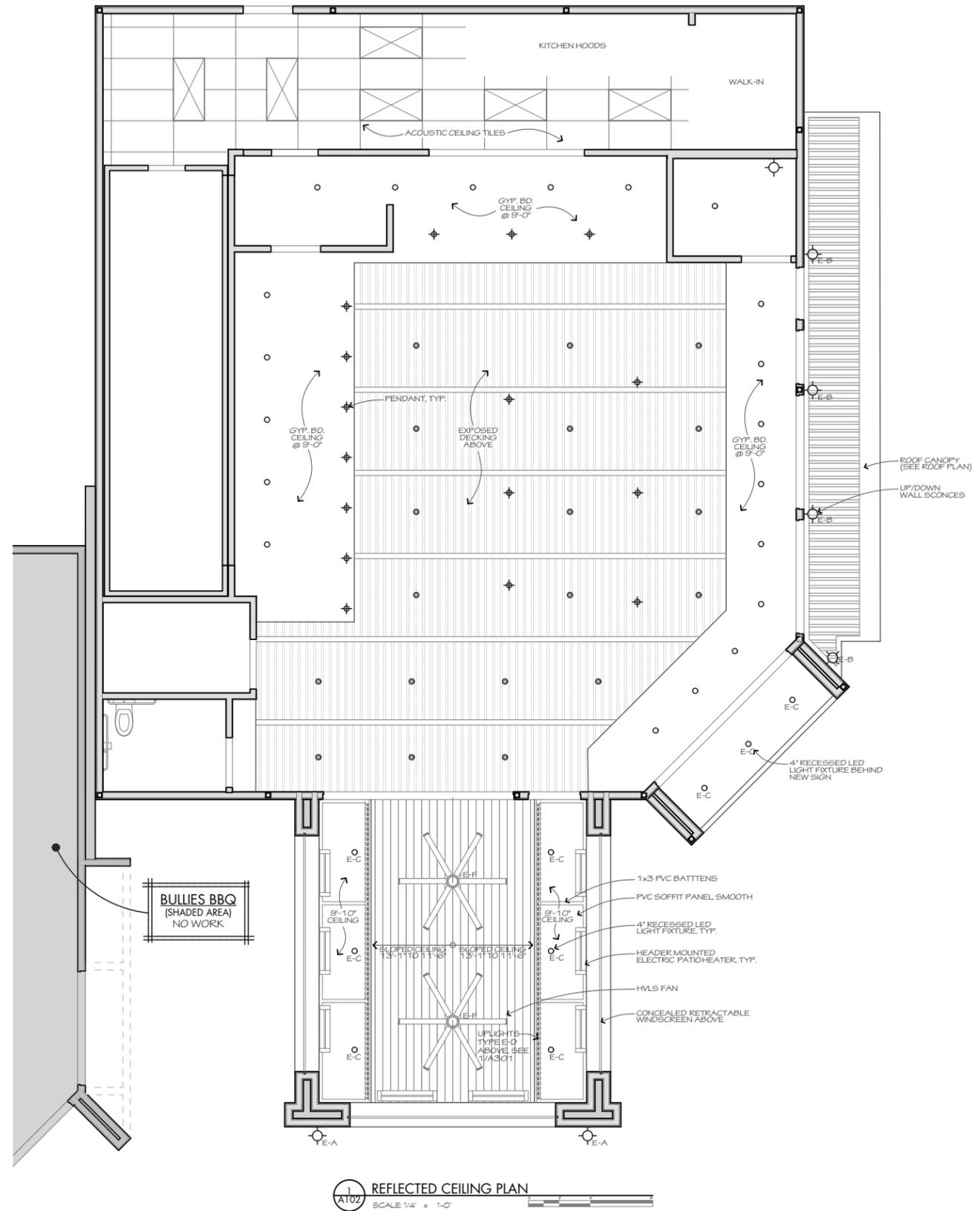
NOTES:
 1. ANERSEN A-SERIES LOW-E GLASS W/ ARGON, 7/8" PUTTY S/D, MUNTINS W/ SPACER BAR, 4 9/16" JAMBS.
 2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.



FLOOR PLAN
 SCALE 1/4" = 1'-0"



2 ROOF PLAN
SCALE 1/4" = 1'-0"



1 REFLECTED CEILING PLAN
SCALE 1/4" = 1'-0"

EXTERIOR LIGHTING SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP	MOUNTING	COLOR	REMARKS
E-A	RLM WALL LIGHT	MAXIM LIGHTING	CVIC 54264CLABZ	3000K LED	WALL	ARCHL BRONZE	
E-B	UP-DOWN WALL LIGHT	MAXIM LIGHTING	LIGHTRAY LED B6119ABZ	3000K LED	WALL	ARCHL BRONZE	
E-C	RECESSED LED (WET)	OPUS	RB4-RDW-PC90-30K-15LM-U-DM1-BM-ABR-MT	3000K LED	RECESSED CLG	ARCHL BRONZE	
E-D	UPLIGHT	COOPER LIGHTING	LM-15L-950-130-0D-UNV-S-SM-STD	3000K LED	COVE SURFACE	SILVER	
E-F	FAN W/ LIGHT KIT	BIG ASS FANS	MK-E86-072306-A786-132-52-V54	3000K LED	CEILING	BLACK	

SYMBOL KEY		
LIGHTING	MECHANICAL	EMERGENCY
<ul style="list-style-type: none"> Surface Mounted Light Fixture Wall Sconce Recessed LED Light Fixture Surface Mounted Light Fixture by Owner 	<ul style="list-style-type: none"> 2x4x24 Supply Duct 2x4x24 Return Air Grille 2x4x24 Supply Duct 2x4x24 Return Air Grille Ceiling Fan 	<ul style="list-style-type: none"> Emergency Light (See Electrical) Exit Sign (See Electrical) Exit Sign w/ Light (See Electrical) Materials GYP BD ACT

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BELLY GOAT BURGERS & WINE
Lot 1B, #1 Regency Parkway
Hilton Head Island, SC 29928

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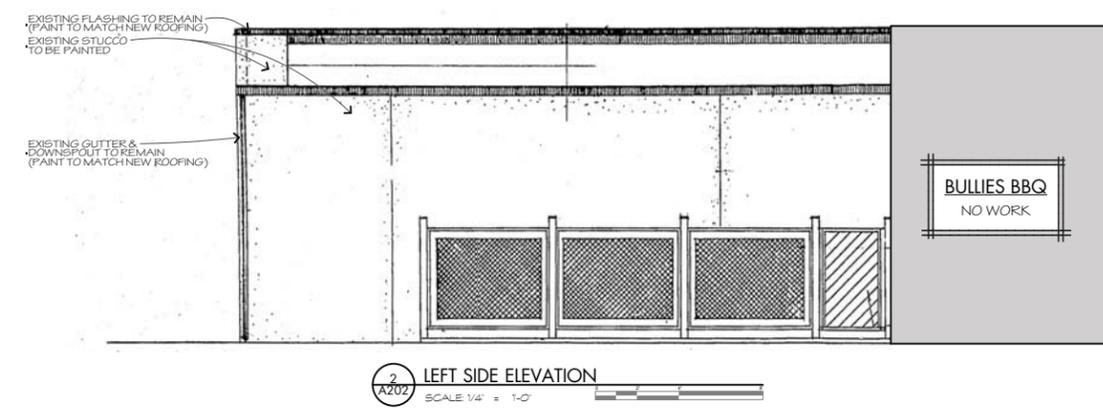
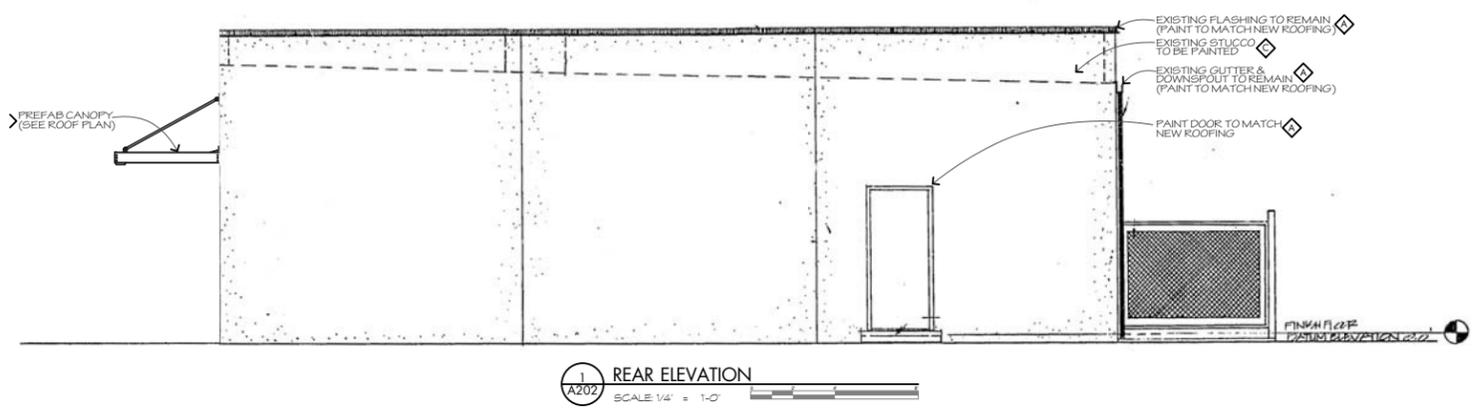
REVISIONS

PROJECT CONTACT
JD
DATE OF ISSUE
3/8/2022
JOB NO.
2145
SHEET
ROOF & REFLECTED CEILING PLANS
A102

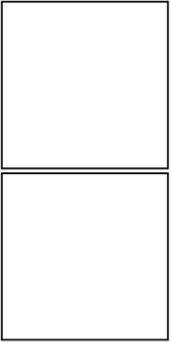
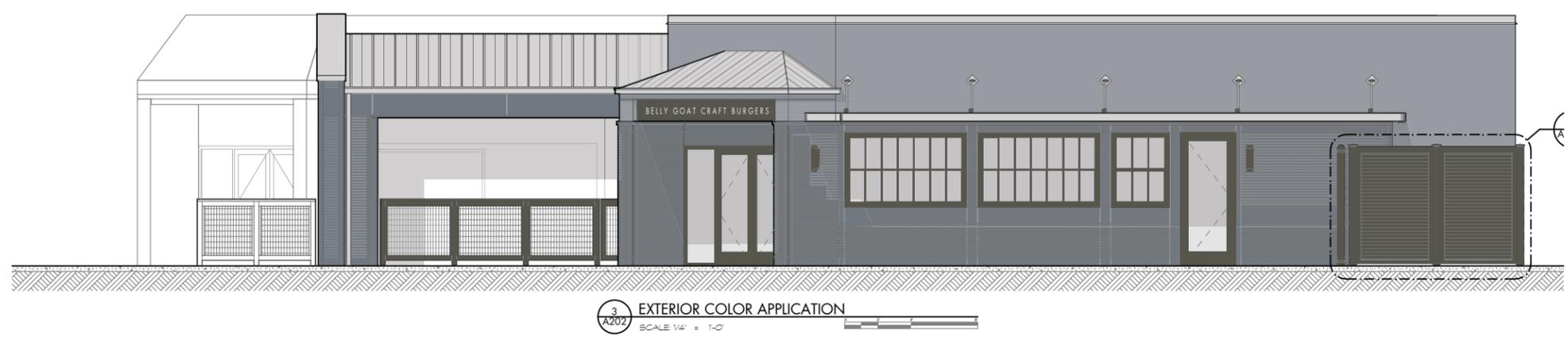
COLOR SCHEDULE			
MARK	COLOR	MANUF.	APPLICATION
◇	CITYSCAPE	PAC-CLAD	STANDING SEAM METAL ROOFING ROOF FLASHINGS GUTTERS & DOWNSPOUTS
◇	DOVE GRAY	MITCHELL METALS	CANOPY ROOF
◇	GRAYS HARBOR EW 6256	SHERWIN WILLIAMS	STUCCO VENEER
◇	INDIGO	NICIHA	RAINSCREEN PANEL SIDING
◇	BRONZE	MARVIN	WINDOWS & PANORAMIC DOOR
◇	DARK BRONZE	KWANEER	STOREFRONT DOORS
◇	BRONZE	VARIES	LIGHT FIXTURES
◇	50/50 BARK MULCH & BLACK SEMI-SOLID	CABOT STAINS	WOOD FENCE



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EXTERIOR COLORS



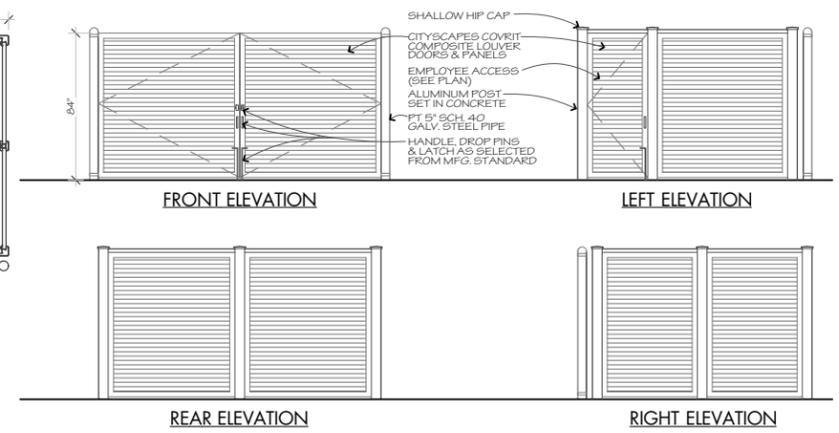
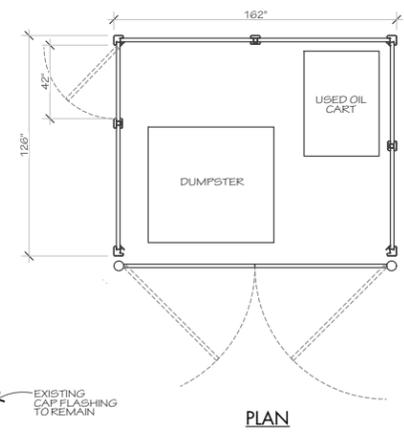
BELLY GOAT BURGERS & WINE
 Lot 1B, # 1 Regency Parkway
 Hilton Head Island, SC 29928

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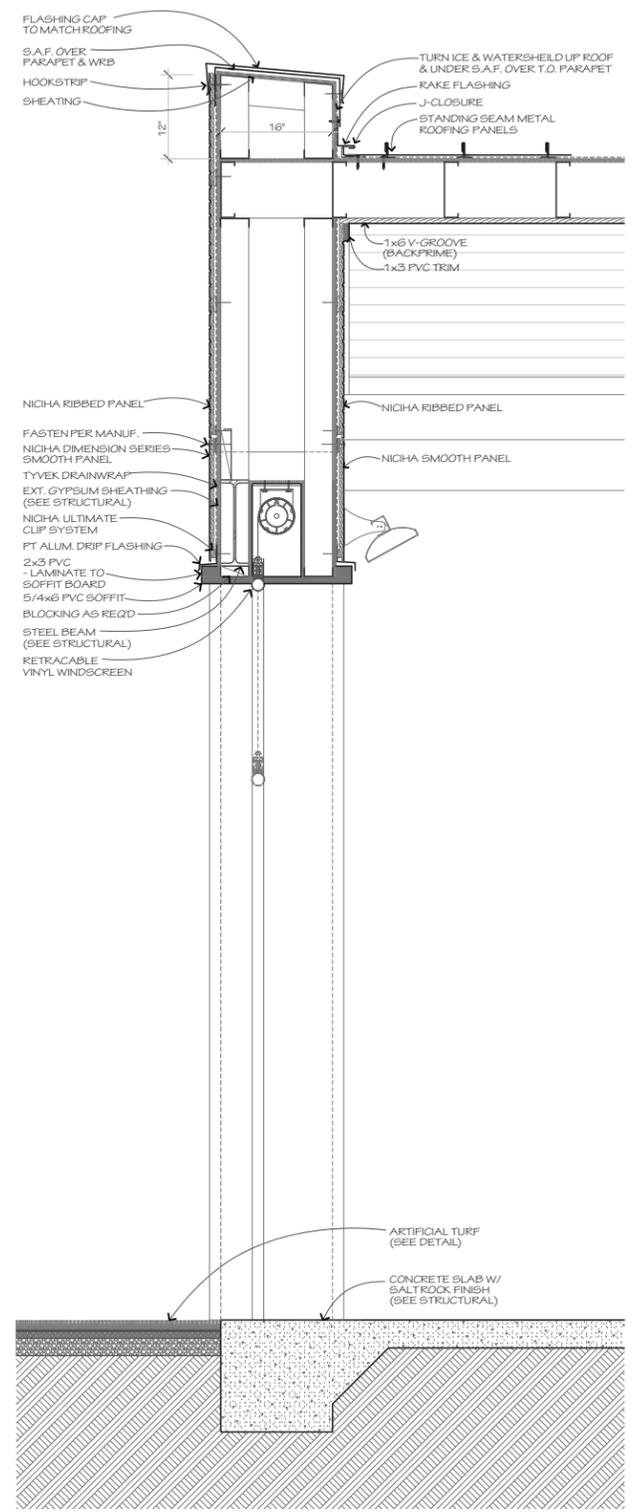
REVISIONS	

PROJECT CONTACT
 JD
 DATE OF ISSUE
 3/8/2022
 JOB NO.
 2145
 SHEET

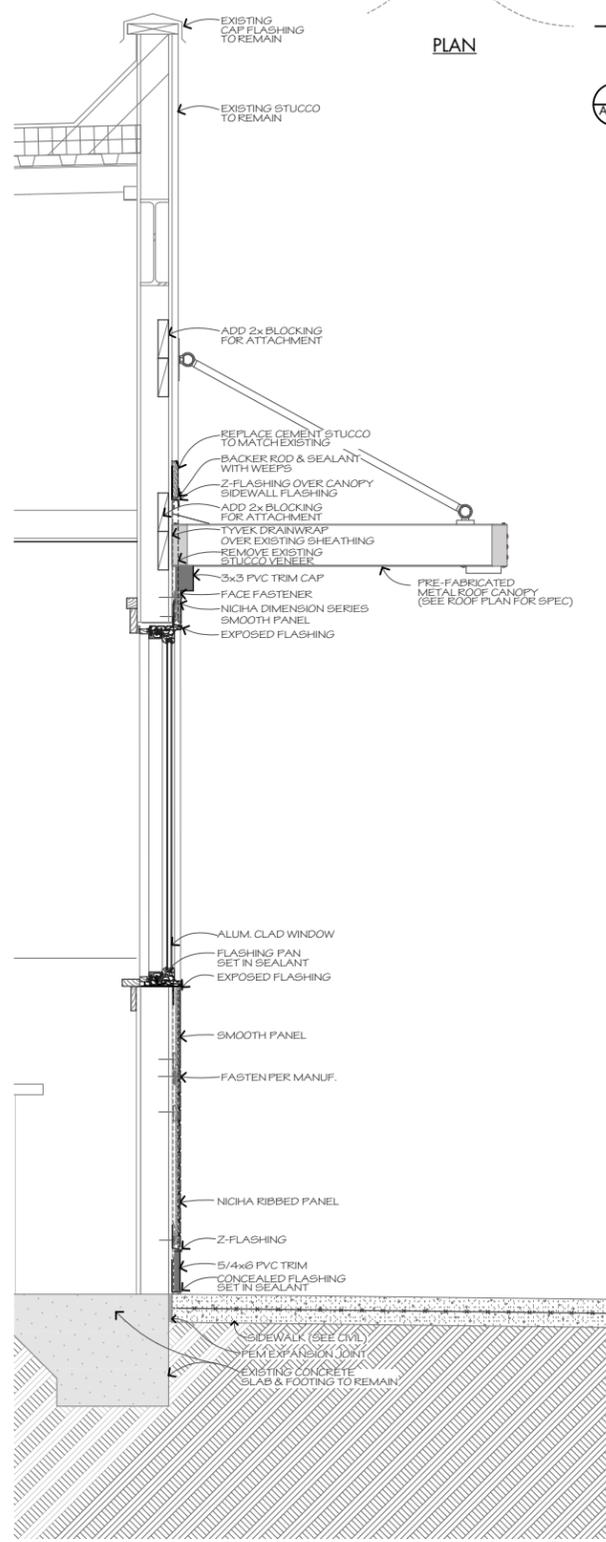
ELEVATIONS
A202



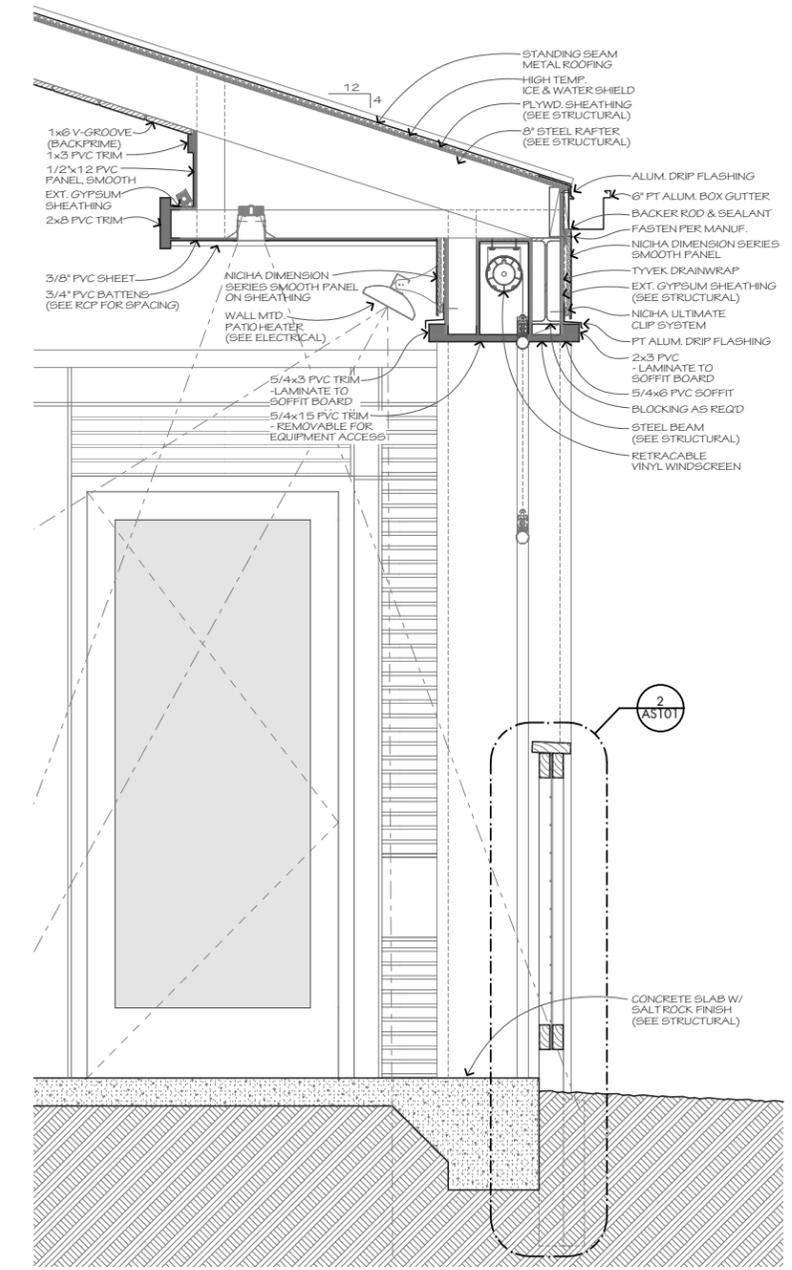
3
A401 DUMPSTER ENCLOSURE
SCALE 1/4" = 1'-0"



4
A401 PARAPET WALL DETAIL
SCALE 1" = 1'-0"



2
A401 CANOPY ROOF WALL DETAIL
SCALE 1" = 1'-0"



1
A401 PORCH DETAIL
SCALE 1" = 1'-0"

REVISIONS	DATE	DESCRIPTION

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Belly Goat Burger

DRB#: DRB-000636-2022

DATE: 03/14/2022

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

1. This project requires a Minor Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.