



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, June 14, 2022 – 1:15 p.m.
AGENDA

The Design Review Board meeting will be held in-person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of April 26, 2022

6. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. on Monday, June 13, 2022. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

7. New Business

a. *New Development – Conceptual*

i. Bailey's Point Amenity Center, DRB-001485-2022

8. Board Business

9. Staff Report

a. Minor Corridor Report

10. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting

April 26, 2022, at 1:15 p.m.

MEETING MINUTES

Present from the Board: Chair Cathy Foss, Annette Lippert, Judd Carstens, Ryan Bassett, Ben Brown, Todd Theodore

Absent from the Board: Vice Chairman John Moleski (excused)

Present from Town Council: Bill Harkins

Present from Town Staff: Shawn Colin, Assistant Town Manager – Community Development; Chris Yates, Development Services Manager; Chris Darnell, Urban Designer; Nicole Dixon, Development Review Program Manager; Teresa Haley, Community Development Coordinator; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Swearing in Ceremony of New Design Review Board Member Todd Theodore – *Performed by Shawn Colin, Assistant Town Manager – Community Development*

Shawn Colin administered the oath of office to Mr. Theodore.

4. Roll Call – See as noted above.

5. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Mr. Carstens moved to approve. Ms. Lippert seconded. By show of hands, the motion passed with a vote of 6-0-0.

6. Approval of Minutes

a. Regular Meeting of March 22, 2022

Chair Foss asked for a motion to approve the minutes of the March 22, 2022, regular meeting. Ms. Lippert moved to approve. Mr. Bassett seconded. By show of hands, the motion passed with a vote of 4-0-2. (Mr. Brown and Mr. Theodore abstained as they were not present at the subject meeting.)

7. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments submitted.

8. Unfinished Business - None

9. New Business

a. Alteration/Addition

i. KPM Flooring, DRB-001081-2022

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends approval as submitted.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: the need for clarification of ownership of the dumpsters; the need for enclosure or screening of the dumpster; concern regarding the patchwork of siding and the need for consistency in the paint; the need for the trellis columns to be coordinated and added to the site plan; ensuring that the variety of Sasanqua plantings will be compact; suggestion of subbing out the Liriope plantings with small shrubs in the landscape bed; the need for downspout locations on the site plans; and emphasis regarding the need for the entire building to be repainted on all sides.

Following discussion, Mr. Carstens moved to approve DRB-001081-2022 with the following conditions:

1. All Staff Comments.
2. Confirmation of ownership for the dumpster and an appropriate screening treatment that will coincide with the building.
3. The addition of painting the entire building and coordinate with SW0664 paint color.
4. Confirmation of downspout locations and remedying any conflicts with the façade treatment in the way of the trellis features or lighting.
5. Confirmation of the landscape treatment with the addition of medium sized shrubs in the trellis gaps that are in front of where the existing two large garage doors are located.
6. Specifying a variety of Camelia Sasanqua that will fit within the planter area and not conflict with the building façade or parking once mature.

Ms. Lippert seconded. By way of roll call, the motion passed by a vote of 6-0-0.

b. New Development – Conceptual

i. Barker Field Picnic Shelter, DRB-001060-2022

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends approval as submitted.

Chair Foss asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board. The Board and the applicant discussed the application, and the following concerns and recommendations were made regarding the project: the need to increase the apron; the need to show connection to the existing sidewalk on the final; the need for the control joints to be symmetrical; confirmation the existing building will be painted the same as the shelter; and discussion regarding the material used for the apron.

Following discussion, Ms. Lippert moved to approve DRB-001060-2022 with the following conditions:

1. All Staff Comments.
2. The extended hardscape should be a tapered edge that expands the hardscape.
3. Restrooms will also be painted with the same color schemes as the picnic pavilion.
4. The need to show what the connection to the existing sidewalk is.
5. All control joints will be symmetrical.

Mr. Theodore seconded. By way of roll call, the motion passed by a vote of 6-0-0.

Mr. Darnell asked the Board to consider Barker Field Picnic Shelter, DRB-001060-2022 a final determination with staff review and approval since the conditions were so minor. Chair Foss concurred and asked for a vote. By show of hands, the Board voted 6-0-0 to approve Barker Field Picnic Shelter, DRB-001060-2022 as New Development – Final.

10. Board Business – None

11. Staff Report

a. Minor Corridor Report

Mr. Darnell reported the following approvals:

- Marriott Grand Ocean – pool modifications
- 1 St. Augustine Place – cell tower co-locate
- Islanders Beach Park – parking modification
- Marriott Grande Ocean Pavilion – construction not visible from the ocean
- Old Oyster Factory access stairs and handicap ramp – issues with OCRM
- Hudson Commercial Building – door shift
- Social Bakery – storage modification
- 55 Gardner – fence extension

12. Adjournment

The meeting adjourned at 2:01 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Nathan Payne Company: Payne Architecture
 Mailing Address: 3360 River Birch Way City: Roswell State: GA Zip: 30075
 Telephone: 770-722-0995 Fax: _____ E-mail: nathanepayne@yahoo.com
 Project Name: Bailey's Point Amenity Center Project Address: 38 Jonesville Road
 Parcel Number [PIN]: R 510-007-000-1163-0000 _____
 Zoning District: RM-4 Overlay District(s): Corridor Overlay

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

May 25, 2022

DATE



BAILEY'S POINT AMENITY CENTER DESIGN NARRATIVE

In accordance with the Land Management Ordinance of the Town of Hilton Head Island, the Bailey's Point Amenity Center is a residential accessory use designed to host recreational activities, such as swimming and social gatherings, for residents of the Bailey's Point Development.

The site for the Amenity Center is located along Jonesville Road, one tenth of a mile west of the intersection of Jonesville Road and Spanish Wells Road, and is adjoined by residential properties to the east. The site is located in the RM-4 Zoning District and Corridor Overlay District (COR).

To achieve the goals of the zoning ordinance, the design of the Amenity Center will feature residential styling that complements homes commonly found within the same low-density zoning designation as well as those in the neighboring properties. Such features include window shutters, hipped roofs and clipped Gables with standing seam metal roof accents, and an earth-tone color palette.

To achieve the goals of the Corridor Overlay District, the design will utilize and accentuate the natural features and character of the site. Such features include preserving existing trees and framing views of the marsh that runs along the property to the north. The design will also feature landscaping that preserves the natural aesthetic of Jonesville Road while ensuring safe access to and from the site for vehicular traffic as well as bicycle and pedestrian traffic as the Bailey's Point development will be located across the street. Landscape designs will feature lower landscaping features as grass and shrubs along the road for improved visibility, then increase into height and density for screening at buffers with trees such as southern live oaks and southern magnolias.

The Bailey's Point Amenity Center aims to meet these goals and properly serve the community of Bailey's Point with a design that preserves and maintains the aesthetic integrity of the built and natural environments unique to the Town of Hilton Head Island.



CONTEXT PHOTOGRAPHS - NEIGHBORING PROPERTIES TO THE EAST

P2

5/31/22

BAILEY'S POINT AMENITY CENTER

JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA





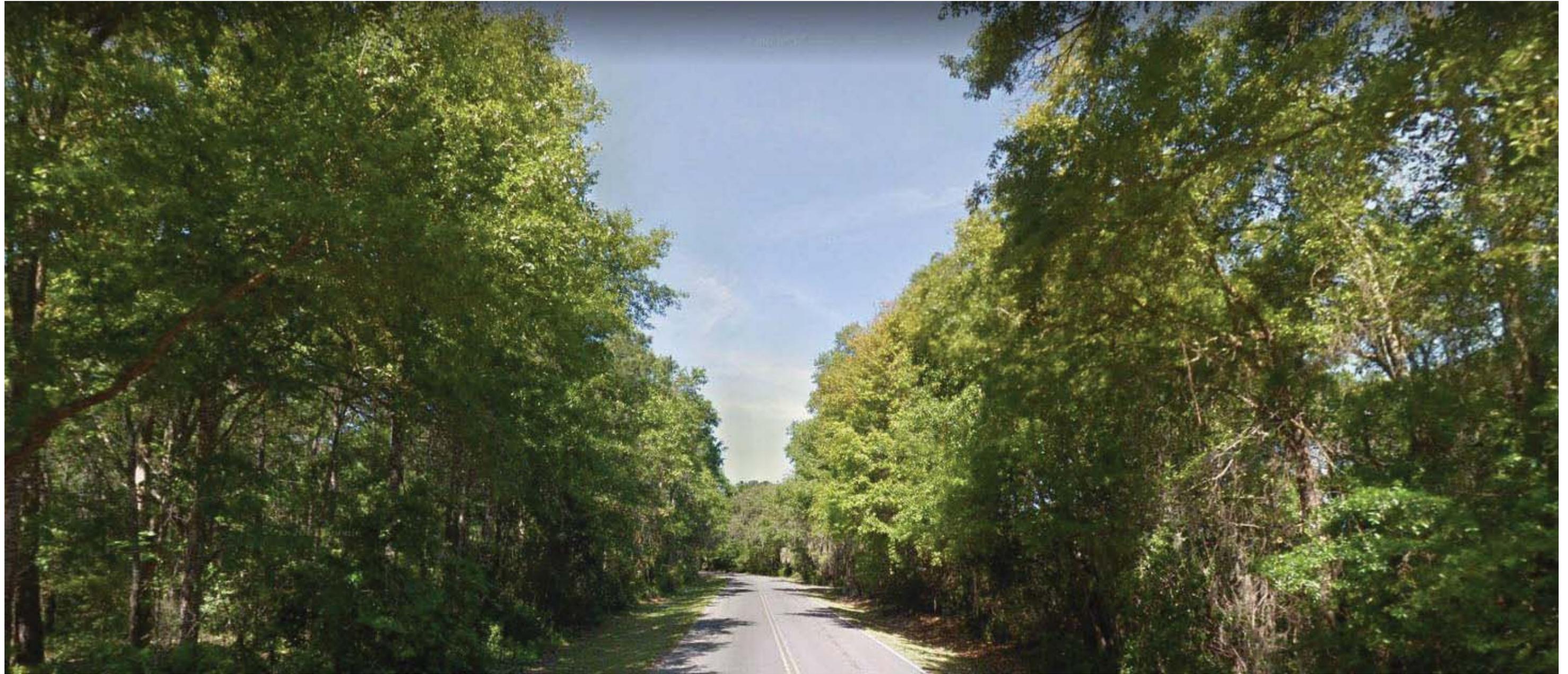
CONTEXT PHOTOGRAPHS - NEIGHBORING PROPERTY TO THE WEST

P3

5/31/22

BAILEY'S POINT AMENITY CENTER
JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA





CONTEXT PHOTOGRAPHS - JONESVILLE ROAD

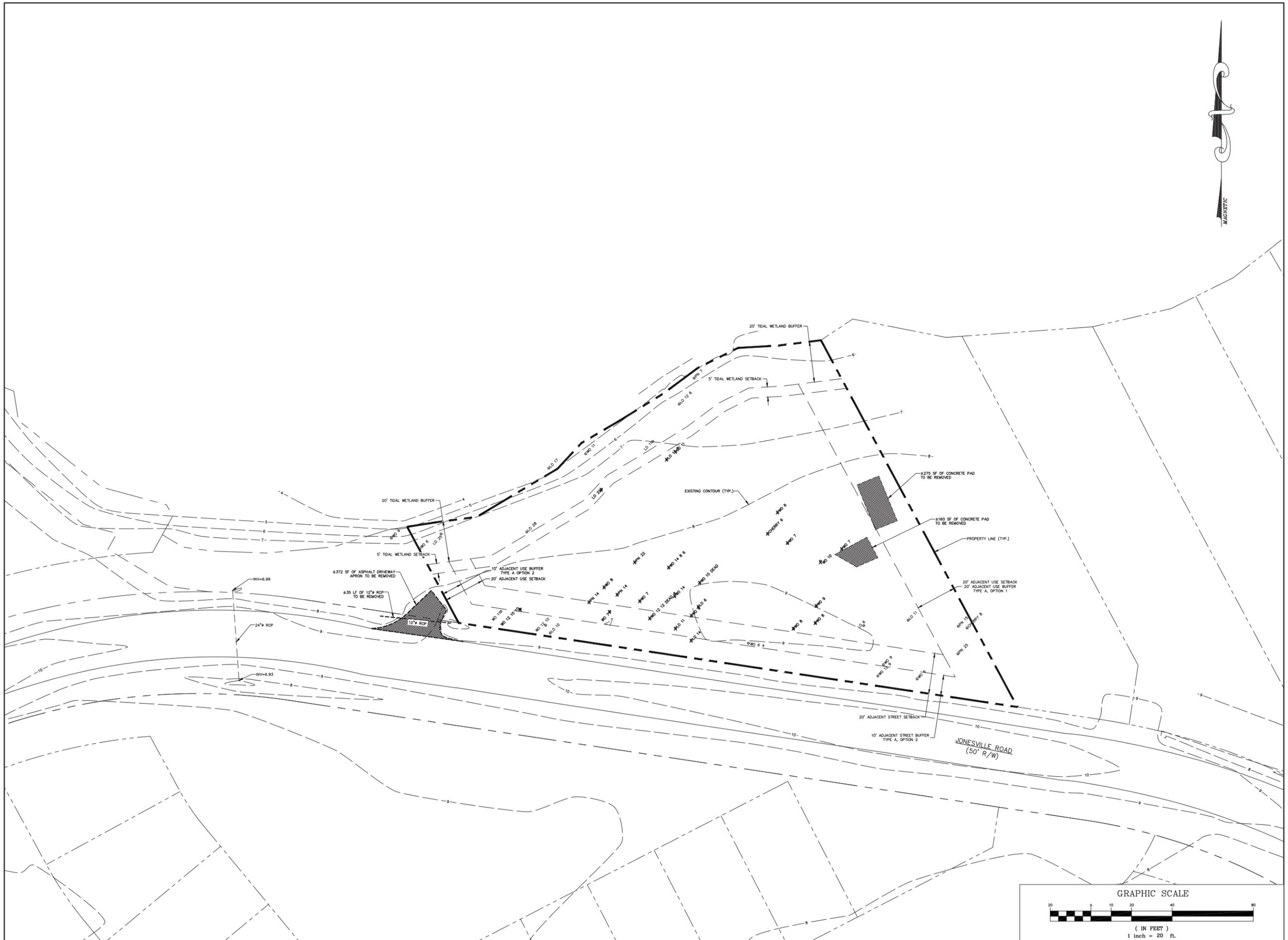
BAILEY'S POINT AMENITY CENTER

JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

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5/31/22





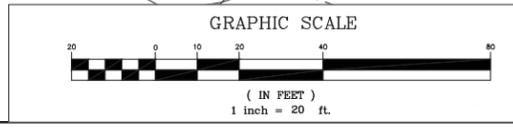
PLAN REVISIONS	
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**BAYLEY'S POINT
AMENITY CENTER
BEAUFORT COUNTY, SC**

CAROLINA ENGINEERING CONSULTANTS, INC.
PO BOX 294
BEAUFORT, SC 29901

WWW.CAROLINAENGINEERING.COM
843/322-0553
843/322-0556 (FAX)

PROJECT: 2144
DATE: 03/03/21
REVISED: 09/22/21
DRAWN BY: TAB
ENGINEER: DRK
SCALE: 1"=20'



**DEMOLITION
PLAN**

2
OF 7

*ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION.
 THE DESIGNS AND IDEAS PRESENTED IN THESE
 DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE
 REPRODUCTION OR USE OF THESE PLANS OR THE
 INFORMATION CONTAINED HEREIN WITHOUT THE
 WRITTEN CONSENT OF THE ENGINEER.

SEDIMENT & EROSION CONTROL NOTES:

IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

- WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EACH CALENDAR EVERY WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SILT FENCE AND/ OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/ OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/ OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/ OR TO DIVERT SEDIMENT-LOADED WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE RAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3%: 1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 1 CALENDAR DAY.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).

THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:

- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

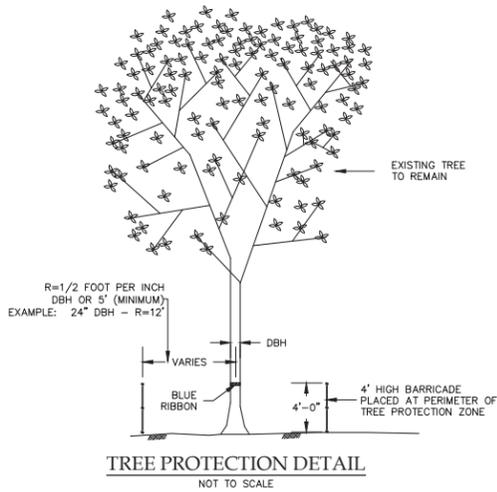
IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/ OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

TREE LEGEND	
REMAIN	REMOVE

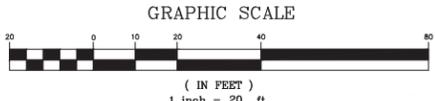
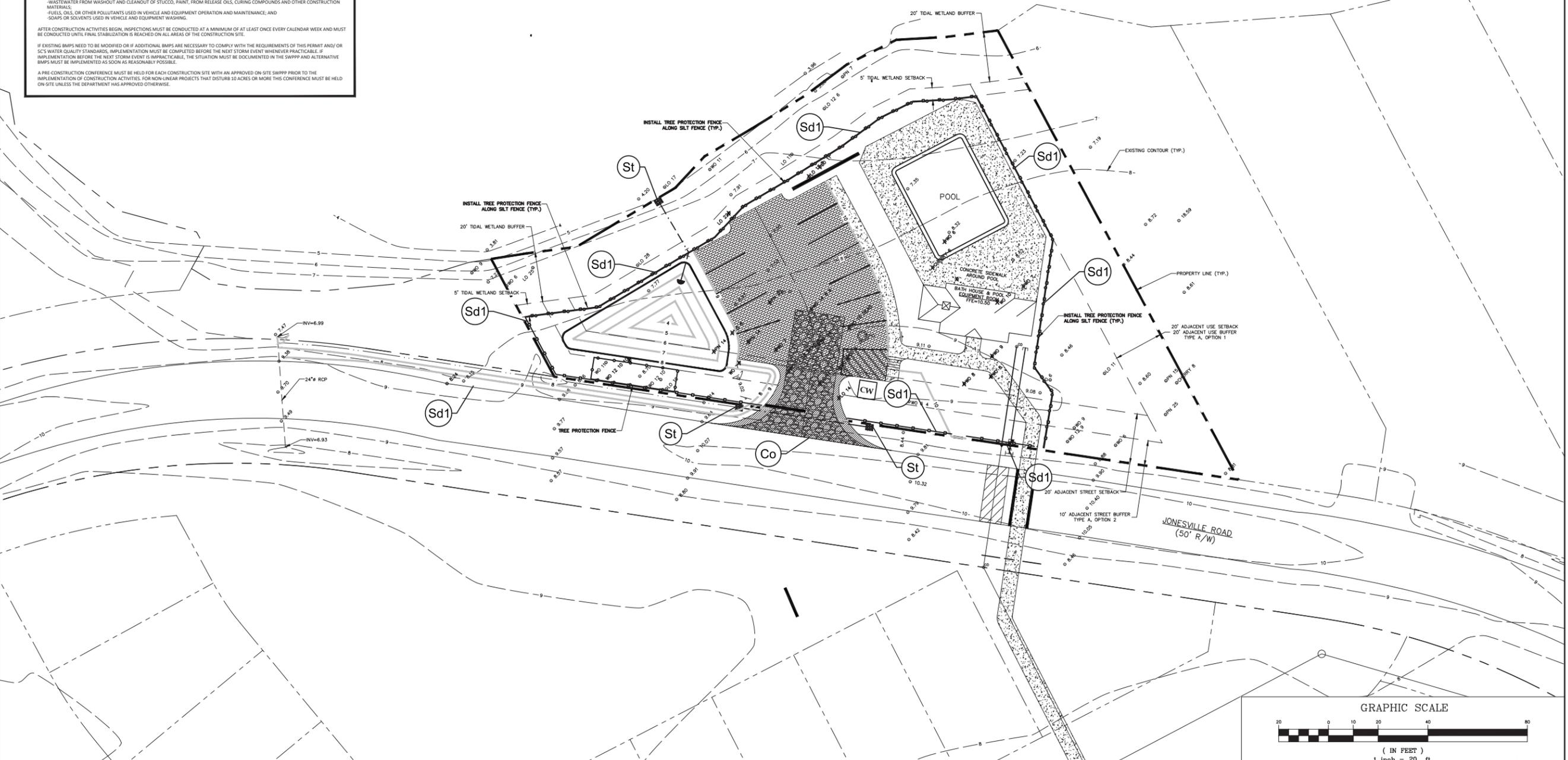
TREE IDENTIFICATION	
ABBREVIATION	DESCRIPTION
WO	WATER OAK
LO	LIVE OAK
PN	PINE
CHERRY	CHERRY TREE

TREE PROTECTION & REMOVAL NOTES:
 INSTALL ALL TREE PROTECTION FENCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



TREE PROTECTION SIGN
 DO NO ENTER
 ZONA DE PROTECCION DE ARBOLES
 NO ENTRAR

THE SIGN ABOVE IS TO BE PLACED ON TREE PROTECTION AND SPACED AT MAXIMUM OF 150'



PLAN REVISIONS	
NO.	DATE
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**BAYLEY'S POINT
 AMENITY CENTER
 BEAUFORT COUNTY, SC**

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/322-0553
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 BEAUFORT, SC 29901

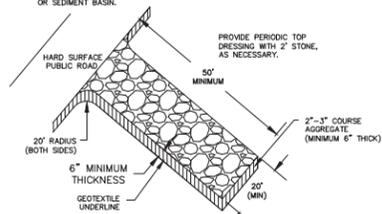
PROJECT: 2144
 DATE: 03/03/21
 REVISED: 09/22/21
 DRAWN BY: TAB
 ENGINEER: DRK
 SCALE: 1"=20'

TREE PROTECTION & REMOVAL AND SEDIMENT & EROSION CONTROL PLAN
3 OF 7

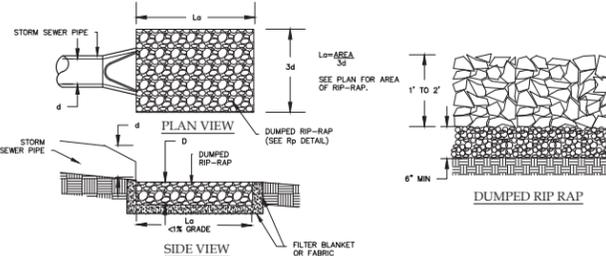
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

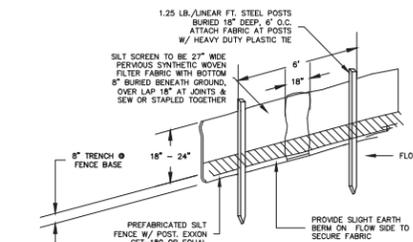
WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



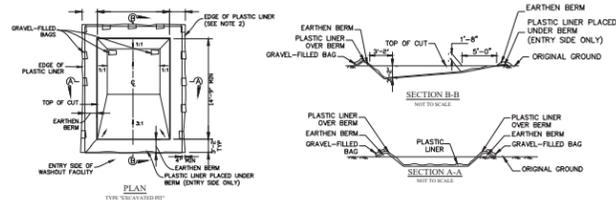
Co STONE PAD CONSTRUCTION EXIT
NOT TO SCALE



St RIP-RAP OUTLET PROTECTION
NOT TO SCALE



Sd1 SEDIMENT BARRIERS
NOT TO SCALE



NOTES:
1. ACTUAL LAYOUT DETERMINED ON FIELD.
2. INSTALL CONCRETE WASHOUT SIGN (PER AMERICAN WASHOUT SIGN COMPANY) WITHIN 5' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 5' FROM A STORM DRAIN, CREEK BANK OR PERMETER CONTROL.
4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
5. THE KEY TO FUNCTIONAL CONCRETE WASHOUT IS WEEKLY INSPECTION, ROUTINE MAINTENANCE, AND REGULAR CLEAN-OUT.
6. SEE FINCH SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

Cw CONCRETE WASHOUT
NOT TO SCALE

VEGETATIVE MEASURES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			An undisturbed natural green belt separating the land-disturbed site from surrounding property and bordering streams. It serves to reduce water velocity and remove some sediment. It is also at times a noise or vibration pollution barrier.
Cs	COASTAL DUNE STABILIZATION W/VEGETATION			Planting vegetation on dunes that are denude/culturally constructed or re-nourished.
Ds1	DISTURBED AREA STABILIZATION W/MULCHING ONLY			Establishing temporary protection for disturbed areas where seeding may not have a suitable growing season to produce an erosion retarding cover. See Carolina Engineering Consultants, Inc. Written Technical Specifications Section 02485 for further details.
Ds2	DISTURBED AREA STABILIZATION W/TEMPORARY SEEDING			Establishing temporary vegetative cover with fast growing seedlings on disturbed areas. See Carolina Engineering Consultants, Inc. Written Technical Specifications Section 02485 for further details.
Ds3	DISTURBED AREA STABILIZATION W/PERMANENT VEGETATION			Establishing permanent vegetative cover such as trees, shrubs, vines, grasses, sod or legumes on disturbed areas. See Carolina Engineering Consultants, Inc. Written Technical Specifications Section 02485 for further details.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction sites/roadways and similar sites.

MULCHING NOTES

MULCHING:
USE MULCH ON ALL SLOPES STEEPER THAN 3% WHEN SEEDINGS ARE MADE SO LATE IN THE FALL AND WINTER THAT GERMINATION CANNOT BE EXPECTED UNTIL SPRING. IN THE BOTTOM OF SPILLWAYS, AND ON ROADBANKS, TEMPORARY VEGETATION SEEDS ALONE MAY BE ESTABLISHED ON GOOD SITES WITHOUT THE USE OF MULCH. MULCHING MATERIAL WILL CONSIST OF:
A. USE DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS. DRY STRAW WILL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. DRY HAY WILL BE USED AT A RATE OF 2.5 TONS PER ACRE, OR.
B. FOR HYDRAULIC SEEDING, USE WOOD CELLULOSE MULCH OR WOOD PULP FIBER AT THE RATE OF 500 POUNDS PER ACRE AND DRY STRAW OR DRY HAY AT THE RATE LISTED IN "A" ABOVE, OR.
C. FOR HYDRAULIC SEEDING ON SLOPES 1/4:1 OR STEEPER, 1,000 POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER WHICH INCLUDES A TACKIFIER MAY BE SUBSTITUTED FOR THE TREATMENT IN "B" ABOVE, OR.
D. USE THREE TONS PER ACRE OF SERICEA LESPEDEZA HAY CONTAINING MATURE SEEDS, OR.
E. APPLY PINE STRAW OR PINE BARK AT A THICKNESS OF 3 INCHES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED; OR,
F. SOIL RETENTION BLENDS, EROSION CONTROL NETTING, OTHER MANUFACTURED MATERIALS, OR BLOCK SOO MAY BE REQUIRED IN ADDITION TO MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW AREAS. WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY WILL HAVE THE PROPERTY TO BE EVENLY DISTRIBUTED WHEN AGITATED IN WATER. THE FIBERS SHALL HAVE A CONTRASTING COLOR TO THE SOIL TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.
APPLYING MULCH:
A. STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT, OR BY HAND. ABOUT 75% OF THE SOIL SURFACE WILL BE COVERED.
B. WOOD CELLULOSE OR WOOD FIBER MULCH WILL BE APPLIED WITH HYDRAULIC SEEDING EQUIPMENT.
ANCHORING MULCH:
A. ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING METHODS:
1. BY EMULSIFIED ASPHALT, (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER MACHINE, OR (B) SPRAYED ON THE MULCH IMMEDIATELY FOLLOWING MULCH APPLICATION WHEN STRAW OR HAY IS SPREAD BY METHODS OTHER THAN SPECIAL BLOWER EQUIPMENT. THE COMBINATION OF ASPHALT EMULSION AND WATER SHALL CONSIST OF A HOMOGENEOUS MIXTURE SATISFACTORY FOR SPRAYING. THE MIXTURE SHALL CONSIST OF 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. CARE SHALL BE TAKEN AT ALL TIMES TO PROTECT THE PUBLIC, ADJACENT PROPERTY, PAVEMENTS, CURBS, SIDEWALKS, AND ALL OTHER STRUCTURES FROM ASPHALT DISCOLORATION.
2. PRESS THE MULCH INTO THE SOIL IMMEDIATELY AFTER THE MULCH IS SPREAD. A SPECIAL "PACKER DISK" OR DISK HAWK WITH THE DISKS SET STRAIGHT MAY BE USED. THE DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISKS SHALL BE DULL ENOUGH TO PRESS THE MULCH INTO THE GROUND WITHOUT CUTTING IT, LEAVING MUCH OF IT IN AN UPRIGHT POSITION.
3. APPLY SYNTHETIC TACKIFIERS OR BINDERS APPLIED IMMEDIATELY AFTER THE MULCH IS SPREAD. SYNTHETIC TACKIFIERS WILL BE USED AND APPLIED TO MANUFACTURER'S SPECIFICATIONS.
4. FALL AND WINTER PLANTINGS MAY INCLUDE 1/2 BUSHEL OF RYE OR WHEAT TO STABILIZE THE MULCH.
5. PLASTIC MESH OR NETTING WITH NO LARGER THAN ONE INCH BY ONE INCH MESH MAY BE NEEDED TO ANCHOR STRAW OR HAY MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW AREAS.
B. WHERE WOOD CELLULOSE OR WOOD PULP FIBER MULCH IS APPLIED ALONE, A TACKIFIER WILL BE USED.
LIME AND MAINTENANCE APPLICATION:
APPLY ONE TON OF AGRICULTURAL LIME EVERY 4 TO 6 YEARS.

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY SEEDING (COASTAL) WELL DRAINED, CLAYEY/LOAMY SITES													
BROWNTOP MILLET	40LBS/AC												
RYE, GRAM	50LBS/AC												
RYEGRASS	50LBS/AC												
TEMPORARY SEEDING (COASTAL) WELL DRAINED, CLAYEY/LOAMY SITES													
BROWNTOP MILLET OR JAPANESE MILLET	40LBS/AC												
RYE, GRAM OR OATS	50LBS/AC												
RYEGRASS	50LBS/AC												
PERMANENT SEEDING (COASTAL) SANDY, DOUGHTY SITES													
BROWNTOP MILLET	10LBS/AC												
BAHAGRASS	40LBS/AC												
BROWNTOP MILLET	10LBS/AC												
BAHAGRASS	30LBS/AC												
SERICEA LESPEDEZA	40LBS/AC												
BROWNTOP MILLET	10LBS/AC												
ATLANTIC COASTAL PANICGRASS	FLS												
BROWNTOP MILLET	10LBS/AC												
SWITCHGRASS	8LBS/AC												
(ALABAMA) LITTLE BLUESTEM	4LBS/AC												
SERICEA LESPEDEZA	20LBS/AC												
BROWNTOP MILLET	10LBS/AC												
WEeping LOVEGRASS	8LBS/AC												
PERMANENT SEEDING (COASTAL) WELL DRAINED, CLAYEY/LOAMY SITES													
BROWNTOP MILLET	10LBS/AC												
BAHAGRASS	40LBS/AC												
RYE, GRAM	10LBS/AC												
BAHAGRASS	40LBS/AC												
(ANNUAL)	5LBS/AC												
BROWNTOP MILLET	10LBS/AC												
BAHAGRASS	40LBS/AC												
SERICEA LESPEDEZA	40LBS/AC												
BROWNTOP MILLET	10LBS/AC												
BROMUOLA COMMON ROSE LESPEDEZA	12LBS/AC												
(ANNUAL)	10LBS/AC												
BROWNTOP MILLET	10LBS/AC												
BAHAGRASS	20LBS/AC												
BROMUOLA COMMON ROSE LESPEDEZA	4LBS/AC												
SERICEA LESPEDEZA	10LBS/AC												
BROWNTOP MILLET	10LBS/AC												
SWITCHGRASS	8LBS/AC												
LITTLE BLUESTEM	3LBS/AC												
INDIANGRASS	3LBS/AC												

ACTIVITY	SCHEDULE											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
EROSION CONTROL IMPLEMENTATION												
MINIMAL CLEARING AND GRUBBING												
CLEARING AND GRUBBING												
POND INSTALLATION												
CUT AND FILL												
GRASSING (LIMIT EXPOSURE TO 7 DAYS)												
UTILITY INSTALLATION												
ROADWAY CONSTRUCTION												
FINISH GRADING												
REMOVE SEDIMENT FROM POND AND LINE												
FINAL STABILIZATION												
MAINT. EROSION CONTROL MEASURES												
SUBMIT NOT AND AS BUILTS TO SCDHEC												

NO.	DESCRIPTION	DATE											
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
1													
2													
3													
4													
5													
6													
7													
8													

BAYLEY'S POINT AMENITY CENTER BEAUFORT COUNTY, SC

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PO BOX 294
BEAUFORT, SC 29901

PROJECT: 2144
DATE: 03/03/21
REVISED: 09/22/21
DRAWN BY: TAB
ENGINEER: DRK
SCALE: NTS

SEDIMENT & EROSION CONTROL DETAILS

4
OF 7

CAROLINA ENGINEERING CONSULTANTS, INC.
No. 022324
No. 19826
No. 19826

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SEDIMENT & EROSION CONTROL NOTES:

IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.

WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE CALENDAR EVERY WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OPPOSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LOADED WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE RAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H: 1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE Bmps (SEDIMENT BASIN, FILTER BAG, ETC.).

THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:

- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

IF EXISTING Bmps NEED TO BE MODIFIED OR IF ADDITIONAL Bmps ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SCS WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE Bmps MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

GENERAL NOTES, WATER & SANITARY SEWER NOTES:

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS.

WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN, THERE SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF 1.0% AS SHOWN ON PLANS.

WATER METERS ARE 1" METERS UNLESS NOTED OTHERWISE.

METERS TO BE PROVIDED AND SET BY BWSA (OR HHPSD#1).

MAINTAIN A 5' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND STORM DRAINAGE LINES.

GENERAL NOTES, PAVING, GRADING & DRAINAGE NOTES:

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY COASTAL SURVEYING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

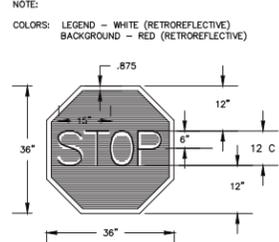
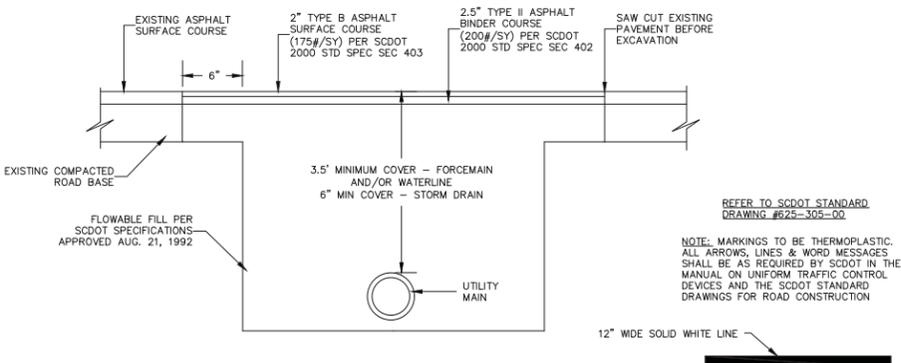
WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

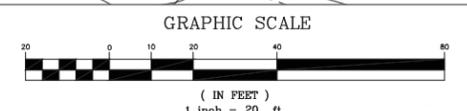
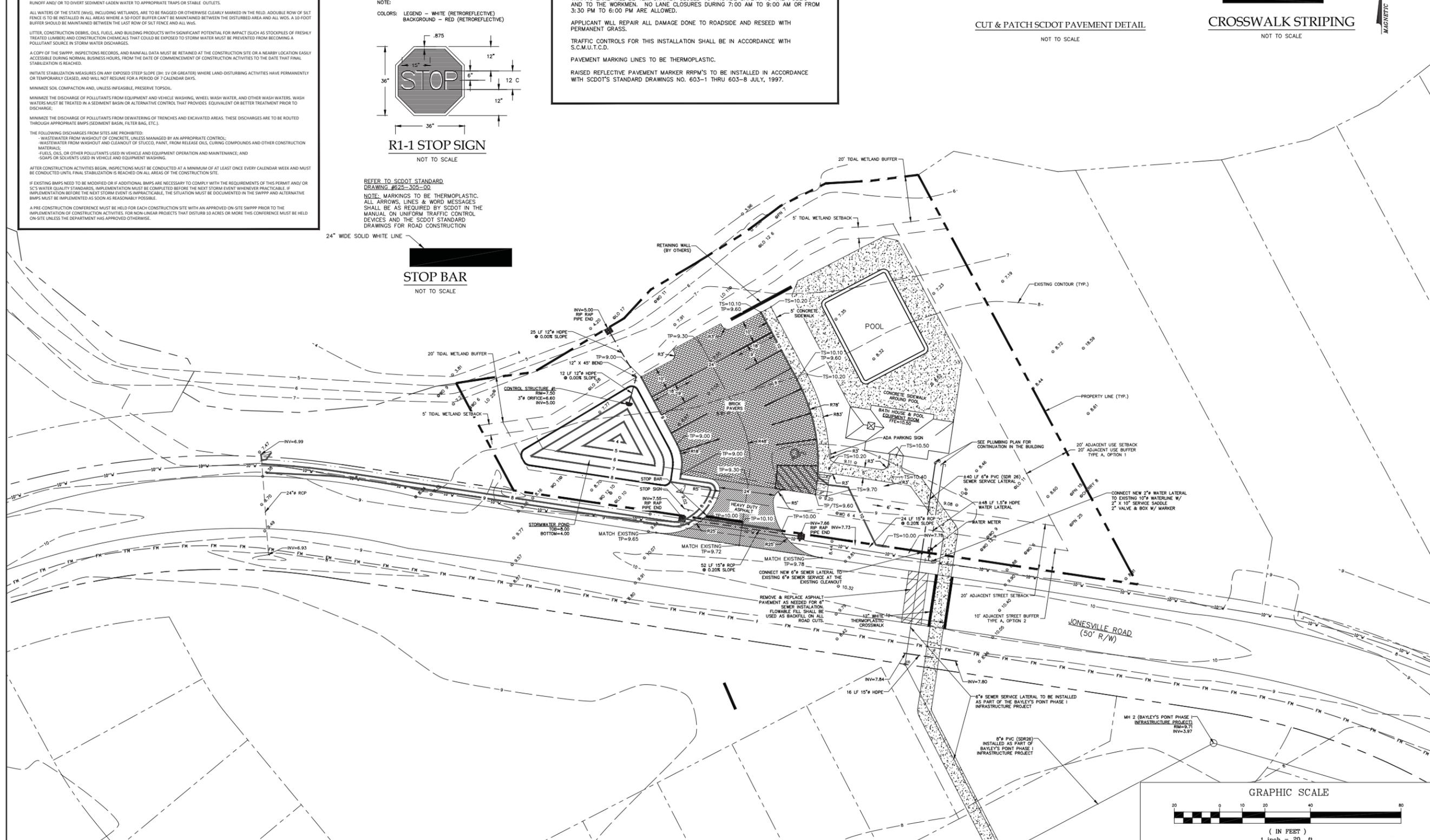
TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRP'S TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.



NOTE: MARKINGS TO BE THERMOPLASTIC. ALL ARROWS, LINES & WORD MESSAGES SHALL BE AS REQUIRED BY SCDOT IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE SCDOT STANDARD DRAWINGS FOR ROAD CONSTRUCTION



PLAN REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

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843/322-0556 (FAX)

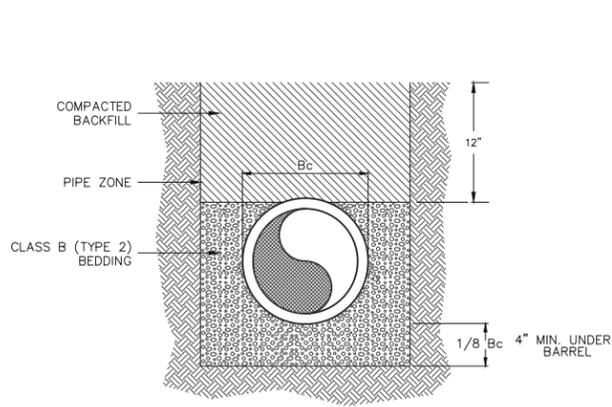
PROJECT: 2144
DATE: 03/03/21
REVISED: 09/22/21
DRAWN BY: TAB
ENGINEER: DRK
SCALE: 1"=20'

SITE DEVELOPMENT PLAN

5
OF 7

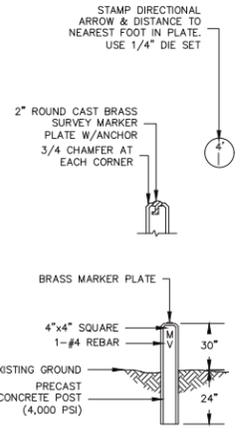
CAROLINA ENGINEERING CONSULTANTS, INC. LICENSED PROFESSIONAL ENGINEER No. 19826
CROSSING STATE LINES
CROSSING STATE LINES
CROSSING STATE LINES

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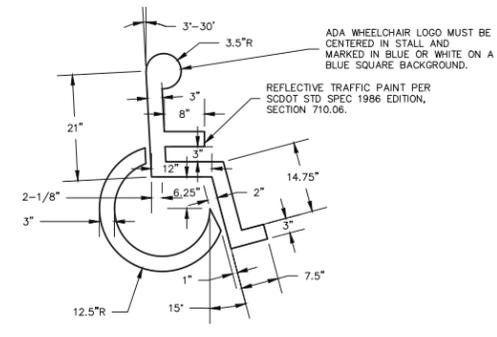
BEDDING FOR PVC GRAVITY SEWER PIPE

NOT TO SCALE



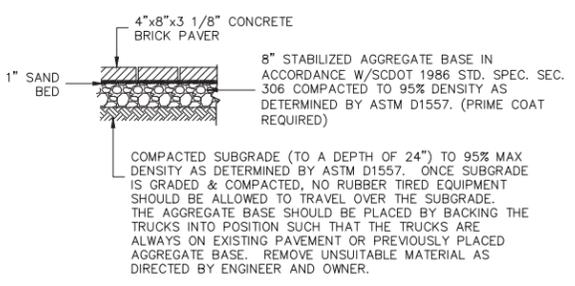
VALVE MARKER DETAIL

NOT TO SCALE



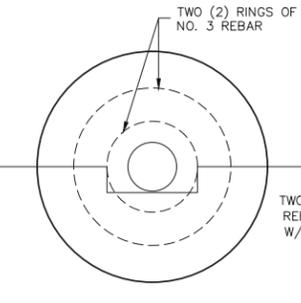
HANDICAP PARKING SYMBOL STRIPE DETAIL

NOT TO SCALE

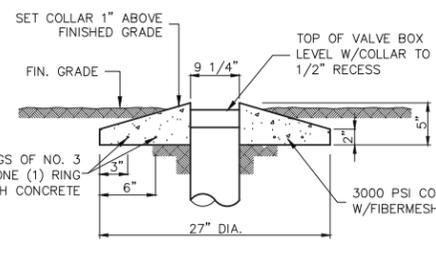


BRICK PAVING DETAIL

NOT TO SCALE



PLAN

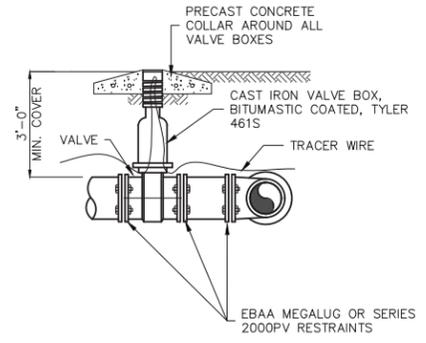


SECTION A-A

PRECAST CONCRETE COLLAR DETAIL

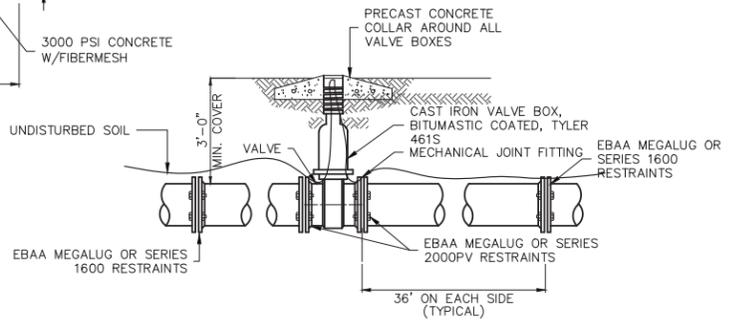
NOT TO SCALE

- NOTE:
 1) ALL FITTINGS SHALL BE MECHANICAL JOINTS.
 2) TRACER WIRE SHALL BE LOOPED TO TOP OF THE VALVE BOX.



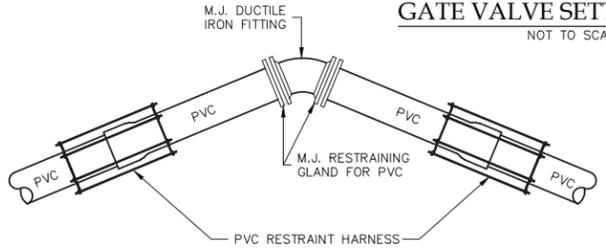
VALVE & TEE SETTING DETAIL

NOT TO SCALE



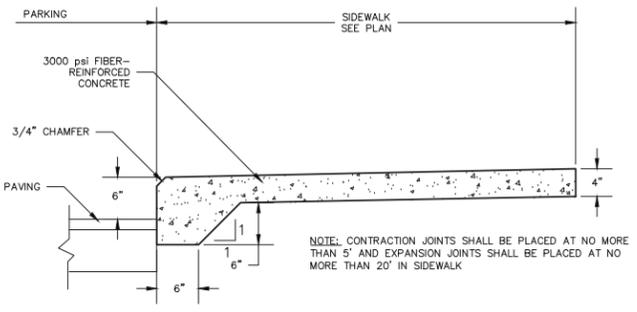
GATE VALVE SETTING DETAIL

NOT TO SCALE



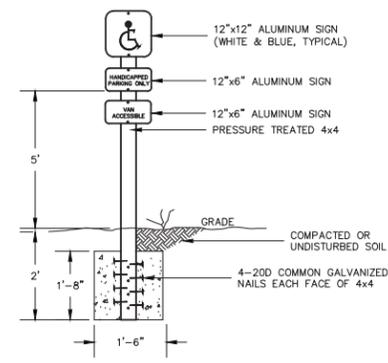
RESTRAINED JOINT FITTING DETAIL

NOT TO SCALE



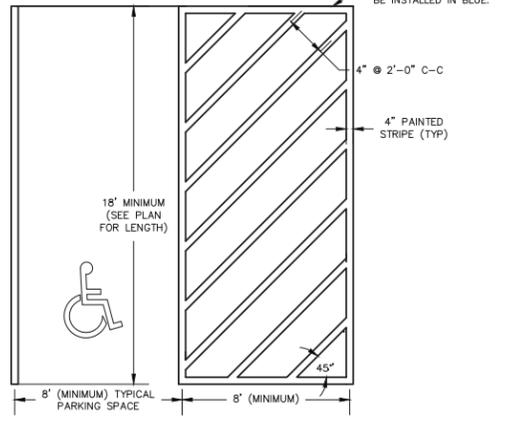
CONCRETE SIDEWALK - 6" HIGH

NOT TO SCALE



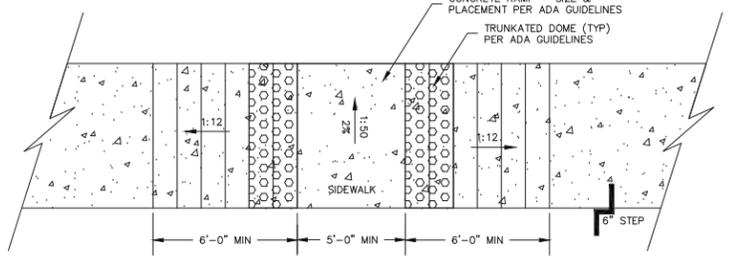
HANDICAPPED PARKING SIGN

NOT TO SCALE



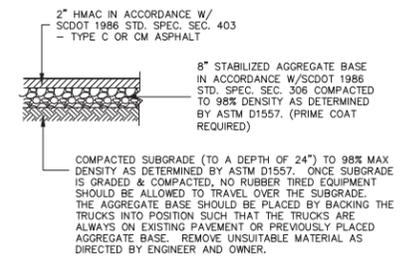
H/C PASSENGER VEHICLE PARKING SPACE STRIPE DETAIL

NOT TO SCALE



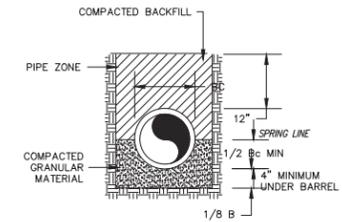
HANDICAP RAMP DETAIL

NOT TO SCALE



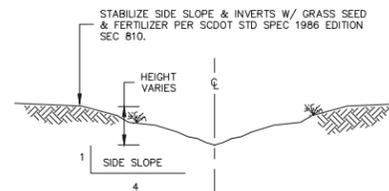
HEAVY-DUTY ASPHALT PAVING DETAIL

NOT TO SCALE



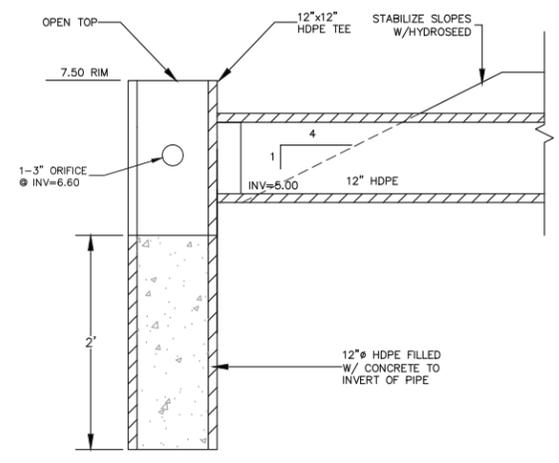
STORM PIPE BEDDING

NOT TO SCALE



GRASS SWALE DETAIL

NOT TO SCALE



OUTFALL CONTROL STRUCTURE #1

NOT TO SCALE

PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

BAYLEY'S POINT AMENITY CENTER BEAUFORT COUNTY, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/322-0553
 843/322-0556 (FAX)
 WWW.CAROLINAENGINEERING.COM

PROJECT:	2144
DATE:	03/03/21
REVISED:	09/22/21
DRAWN BY:	TAB
ENGINEER:	DRK
SCALE:	NTS



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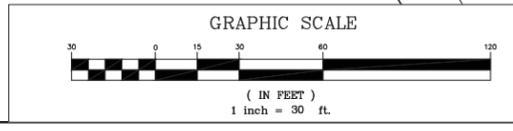

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PLAN REVISIONS	
NO.	DATE
1	-
2	-
3	-
4	-
5	-
6	-
7	-
8	-

**BAYLEY'S POINT
 AMENITY CENTER
 BEAUFORT COUNTY, SC**

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/322-0553
 WWW.CAROLINAENGINEERING.COM
 843/322-0556 (FAX)
 PO BOX 294
 BEAUFORT, SC 29901

PROJECT:	2144
DATE:	03/03/21
REVISED BY:	09/22/21
DRAWN BY:	TAB
ENGINEER:	DRK
SCALE:	1"=30'



IRRIGATION NOTES:

1. PROVIDE 100% COVERAGE OF PLANT BEDS, GRASS AREAS AND NEWLY PLANTED BUFFERS. SEE SPECIFICATIONS FOR IRRIGATION STANDARDS AND MATERIAL.
2. PROVIDE AUTOMATIC TIMER CONTROL (ELECTRIC). COORDINATE LOCATION OF CONTROLLER WITH LANDSCAPE ARCHITECT.
3. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PERMITTING, METER, AND ALL VALVES, ETC. TO MEET LOCAL MUNICIPALITY CODES.
4. INCORPORATE ZONES THAT SEPARATE GRASS AREAS FROM PLANT BEDS.
5. AVOID IRRIGATING ALL AREAS OUTSIDE OF THE NEW PLANTING AREAS.
6. IRRIGATION SYSTEM TIE IN POINT TO BE DETERMINED BY THE LANDSCAPE ARCHITECT UNLESS INDICATED ON IRRIGATION DRAWINGS.
7. UTILIZE SWING-JOINTS AND/OR FLEX-RISERS ON ALL HEADS ADJACENT TO ROADS, PARKING AND WALKWAYS.
8. CONTRACTOR IS TO PROVIDE:
 - a. SET OF CONSTRUCTION LAYOUT DRAWINGS FOR OWNER APPROVAL BEFORE CONSTRUCTION.
 - b. (6) SETS OF AS-BUILT IRRIGATION DRAWINGS AFTER CONSTRUCTION IS COMPLETE AND APPROVED BY THE OWNER.
9. IRRIGATION CONTRACTOR TO LOCATE ALL SPRAY HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT.
10. IRRIGATION CONTRACTOR TO BE LICENSED BY THE TOWN OF HILTON HEAD AS A CERTIFIED IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR TO SUBMIT AUTOMATIC IRRIGATION CERTIFICATE OPERATING INSTRUCTIONS AND PERFORMANCE DATA FORM PRIOR TO PLANTING.)

PLANTING NOTES:

1. MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES. ANY DISCREPANCIES SHALL BE REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR QUANTITY DISCREPANCIES.
2. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE AVAILABLE, AS SPECIFIED, WHEN PROPOSAL IS SUBMITTED.
3. CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. (** (NOTIFY LANDSCAPE ARCHITECT 24 HOURS PRIOR TO PLANTING.)
4. ALL PLANT BEDS TO BE FINE GRADED THEN RECEIVE 3" DEEP, FRESH LONGLEAF PINE STRAW MULCH. APPLICATION RATE FOR BEDS @ 1 BALE PER 50 SQUARE FEET.
5. CONTRACTOR TO MAINTAIN ALL AREAS WITHIN THE LIMITS OF WORK THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
6. PRE-EMERGENT HERBICIDE SUCH AS "RONSTAR G" OR EQUAL SHALL BE APPLIED TO PLANTING AREAS IMMEDIATELY FOLLOWING LANDSCAPE INSTALLATION, AND PRIOR TO MULCHING, ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
7. ALL PLANTING HOLES TO BE BACK FILLED WITH A MIXTURE OF 10-10-10 SLOW RELEASE FERTILIZER, PEAT MOSS, AND NATIVE SOIL.
8. CONTRACTOR TO VERIFY THAT ADEQUATE DRAINAGE EXISTS PRIOR TO PLANTING.
9. ALL TREES, SHRUBS AND PLANTS SHALL BE TYPICAL FOR THE SPECIES IN FORM AND COLOR, FREE FROM DAMAGE OR DISEASE AND SHALL BE U.S. NURSERY STANDARD #1 OR BETTER.

GENERAL CONSTRUCTION:

1. BASE DATA AND SURVEY INFORMATION UPON WHICH THIS PLAN IS BASED HAS BEEN PROVIDED BY OTHERS. ALAN GLASSBERG, LLC. ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PERTINENT INFORMATION.
2. CONTRACTOR WILL RESTORE TO ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, ANY AREA DISTURBED OUTSIDE THE LIMIT OF WORK. CONTRACTOR WILL REPAIR ANY DAMAGES OUTSIDE THE LIMIT OF WORK RESULTING FROM HIS WORK, AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR WILL BE RESPONSIBLE FOR VISITING THE SITE DURING HIS BID PREPARATION AND FULLY FAMILIARIZE THEMSELVES WITH ALL ASPECTS OF THE SCOPE OF WORK AND CONDITIONS OF THE SITE, INCLUDING BUT NOT LIMITED TO, UTILITIES, GRADING, ACCESS, ETC.
4. CONTRACTOR SHALL MAINTAIN SITE IN WORKMAN LIKE ORDER. SOIL AND OTHER MATERIALS FROM THIS PROJECT SHALL NOT BE ALLOWED TO MIGRATE INTO OTHER AREAS. ROADWAYS, WALKWAYS AND LANDSCAPING SHALL BE MAINTAINED FREE OF OBSTACLES AND HAZARDS.
5. NO PERSONAL VEHICLES, CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE STORED ON ADJACENT SITES WITHOUT PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE, COUNTY AND LOCAL MUNICIPAL CODES, ORDINANCES AND REGULATIONS.

PLANT KEY:

Plant Native to the Lowcountry

TREES

SABP* Cabbage Palm

GRASSES and SHRUBS

BUTC Pindo Palm

CALH* BUNNY BLUE SEDGE

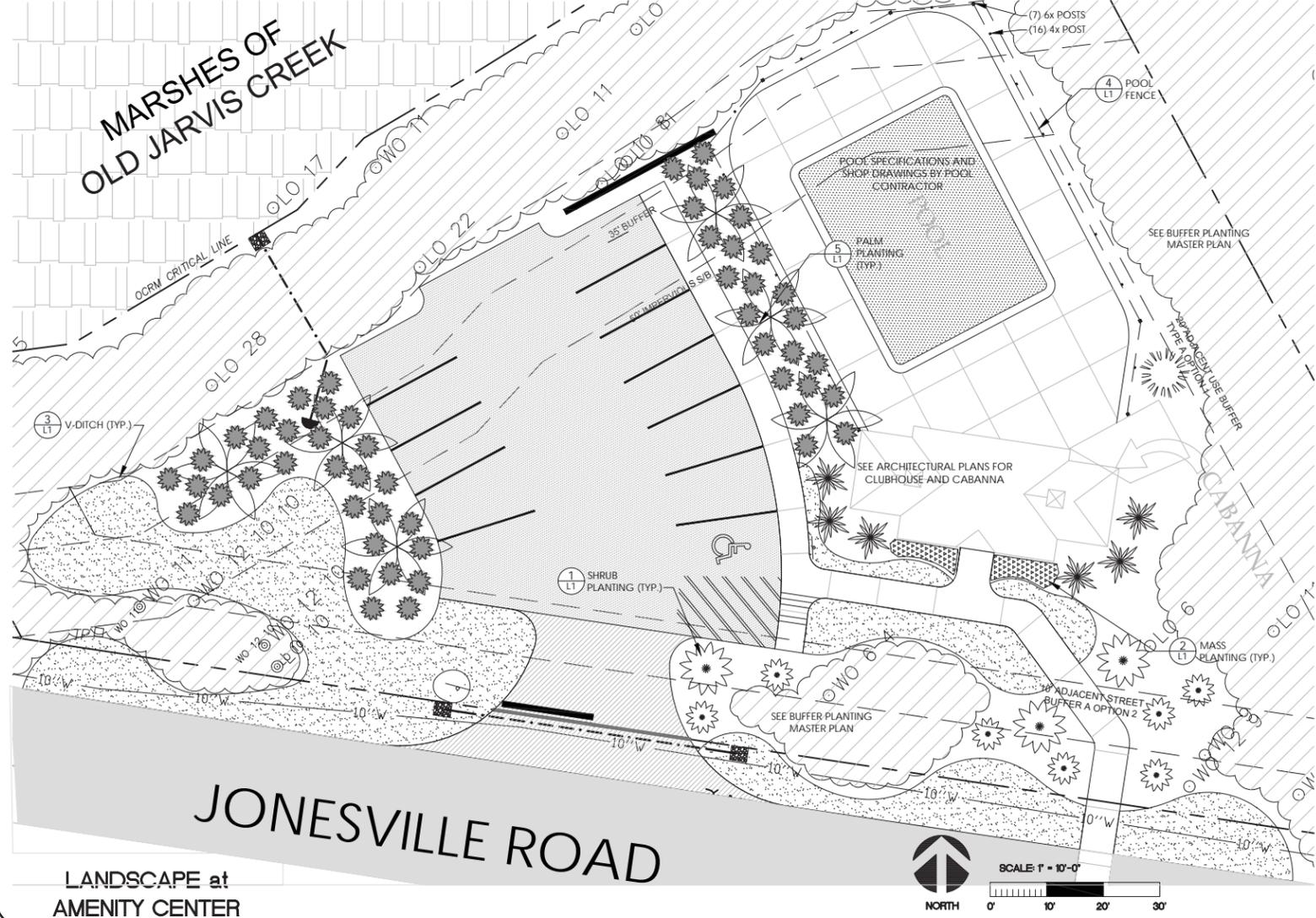
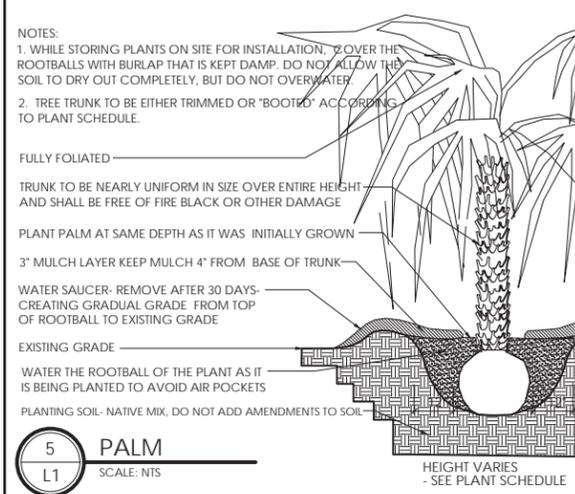
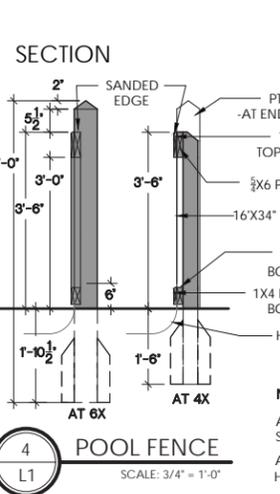
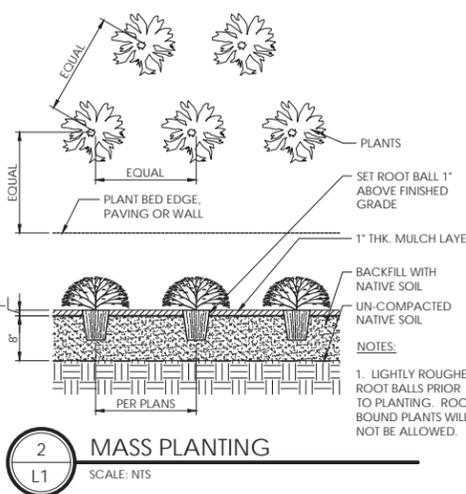
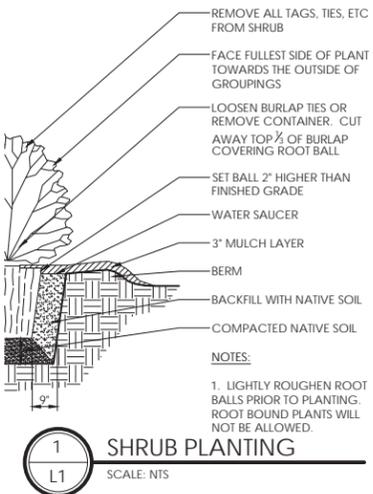
MUHC* Sweetgrass

RHAH* Needle Palm (MED)

SABM* Dwarf Palmetto (medium)

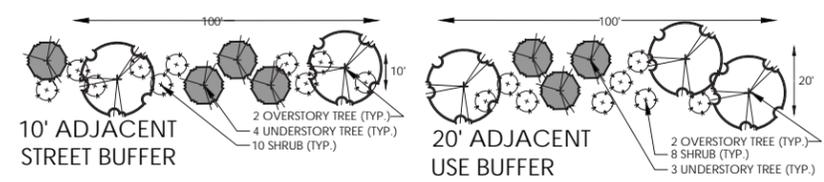
SABM* Dwarf Palmetto (small)

ZOYE Empire Zoysiagrass



PLANT SCHEDULE:

KEY	ITEM	CAL.	HEIGHT	SPREAD	ROOT	NOTES	UNIT	QTY.
TREES								
SABP	Sabal Palmetto Cabbage Palm	15', 18' and 22' height (to top of trunk)			BandB	vary heights; fully booted and partially booted	EA	6
GRASSES and SHRUBS								
BUTC	Butia capitata Pindo Palm	4'	5'	45 gal		Pineland Nursery (843)356-9877	EA	1
CALH	Carex laxiculmis 'Hobb'	3"	3"	pint		Hoffman Nursery (800)203-8590	EA	125
MUHC	Muhlenbergia capillaris Sweet Grass	12"	10"	1 gal.		Pineland Nursery (843)356-9877	EA	53
RHAH	Rhaphidophyllum hystrix Needle Palm	-	48"	48"	25 gal.	Superior Trees (850)971-5159	EA	6
SABM	Sabal minor Dwarf Palmetto	-	48"	48"	25 gal.	Superior Trees (850)971-5159	EA	3
SABM	Sabal minor Dwarf Palmetto	-	36"	36"	15 gal.	Superior Trees (850)971-5159	EA	7
ZOYE	Zoysia 'Empire' Empire Zoysiagrass				SOD		SF	3472



NOTE:
TYPICAL OVERSTORY TREE: QUERCUS VIRGINIANA/2' CAL/10' H/5' W/ 15 GAL
TYPICAL UNDERSTORY TREE: GORDONIA LASIANTHUS/3'H / 2' W/ 7 GAL
TYPICAL SHRUB: ILEX VOMITORIA/ 2' H/ 1' W/ 3 GAL

FOR REVIEW ONLY, NOT FOR CONSTRUCTION



BAYLEY'S POINT AMENITY CENTER
R510 007 000 0082 0000
JONESVILLE ROAD
HILTON HEAD ISLAND, SC

Alan Glassberg, LLC.
LANDSCAPE ARCHITECTURE / SITE PLANNING / URBAN DESIGN
PO BOX 312
RIDGELAND, SC 29906
843.726.4880

LANDSCAPE at AMENITY CENTER

DATE: November 17, 2021

SHEET L1



1 FRONT ELEVATION
3/16" = 1'-0"

PAINT COLOR: SIDING

SHERWIN WILLIAMS SW7018
DOVETAIL GRAY



PAINT COLOR: TRIM

SHERWIN WILLIAMS SW7014
EIDER WHITE



PAINT COLOR: SHUTTERS

SHERWIN WILLIAMS SW7020
BLACK FOX



ROOFING COLOR: SHINGLES

GAF ARMORSHIELD II
BARKWOOD



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

CLUBHOUSE - BUILDING ELEVATIONS

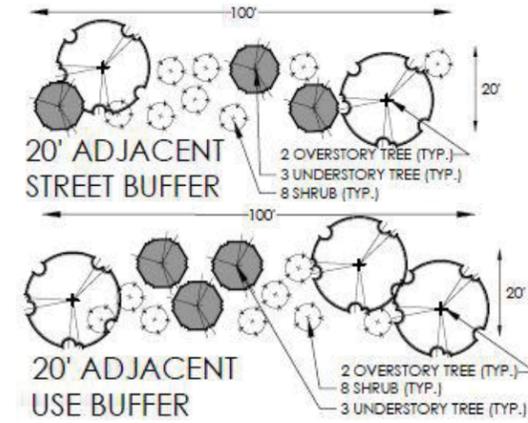
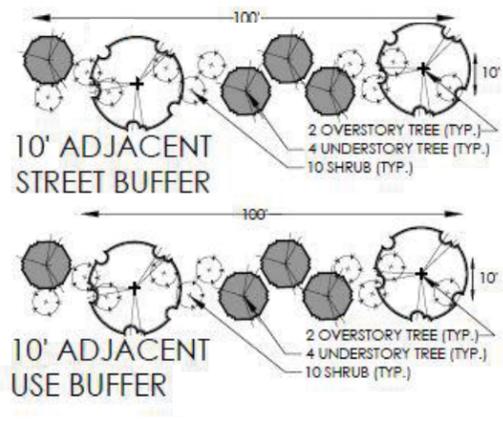
BAILEY'S POINT AMENITY CENTER

JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

P6

5/31/22



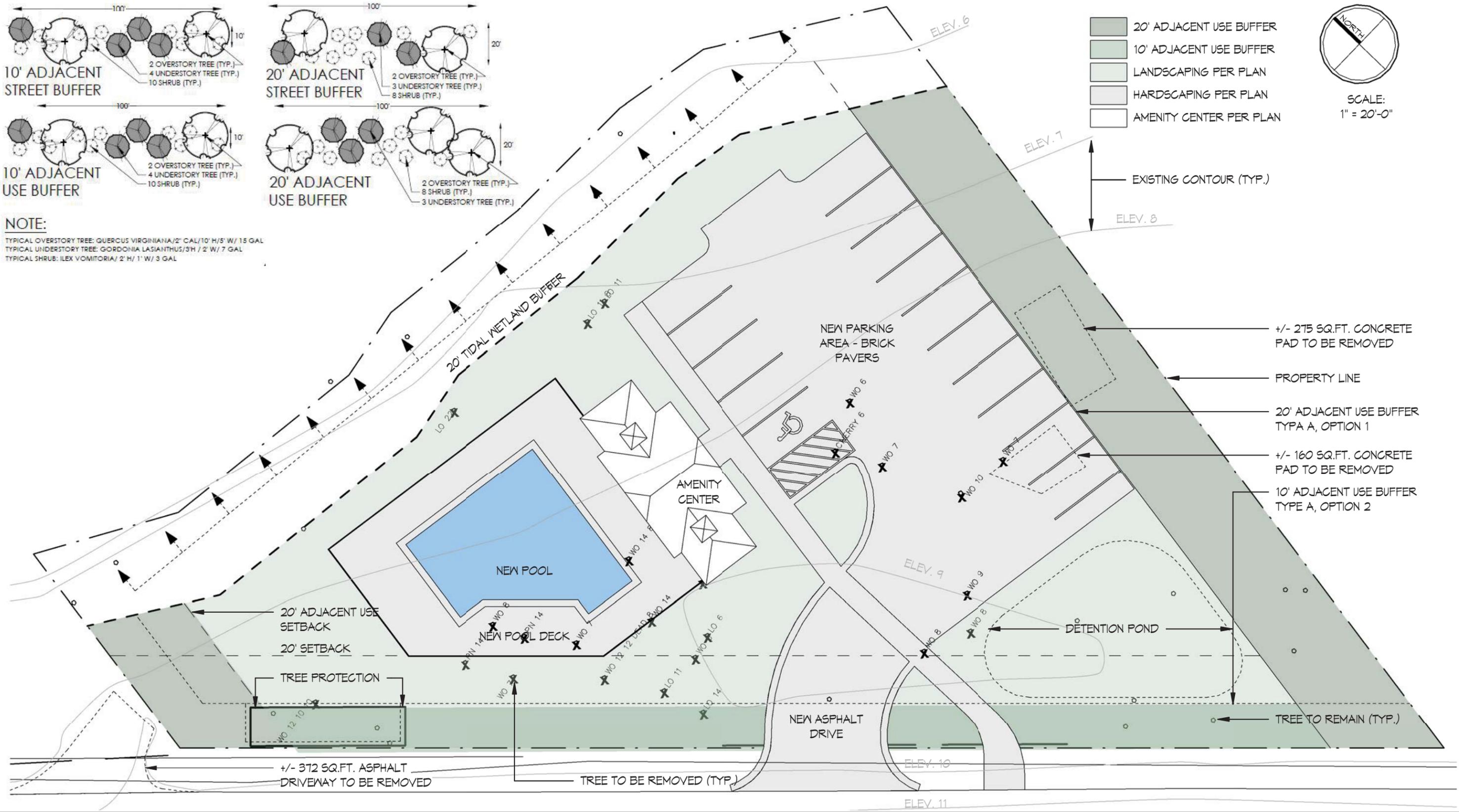


NOTE:
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 TYPICAL UNDERSTORY TREE: GORDONIA LASIANTHUS/3" H / 2" W/ 7 GAL
 TYPICAL SHRUB: ILEX VOMITORIA/ 2' H/ 1" W/ 3 GAL

- 20' ADJACENT USE BUFFER
- 10' ADJACENT USE BUFFER
- LANDSCAPING PER PLAN
- HARDSCAPING PER PLAN
- AMENITY CENTER PER PLAN

SCALE:
 1" = 20'-0"

NORTH



SITE ANALYSIS

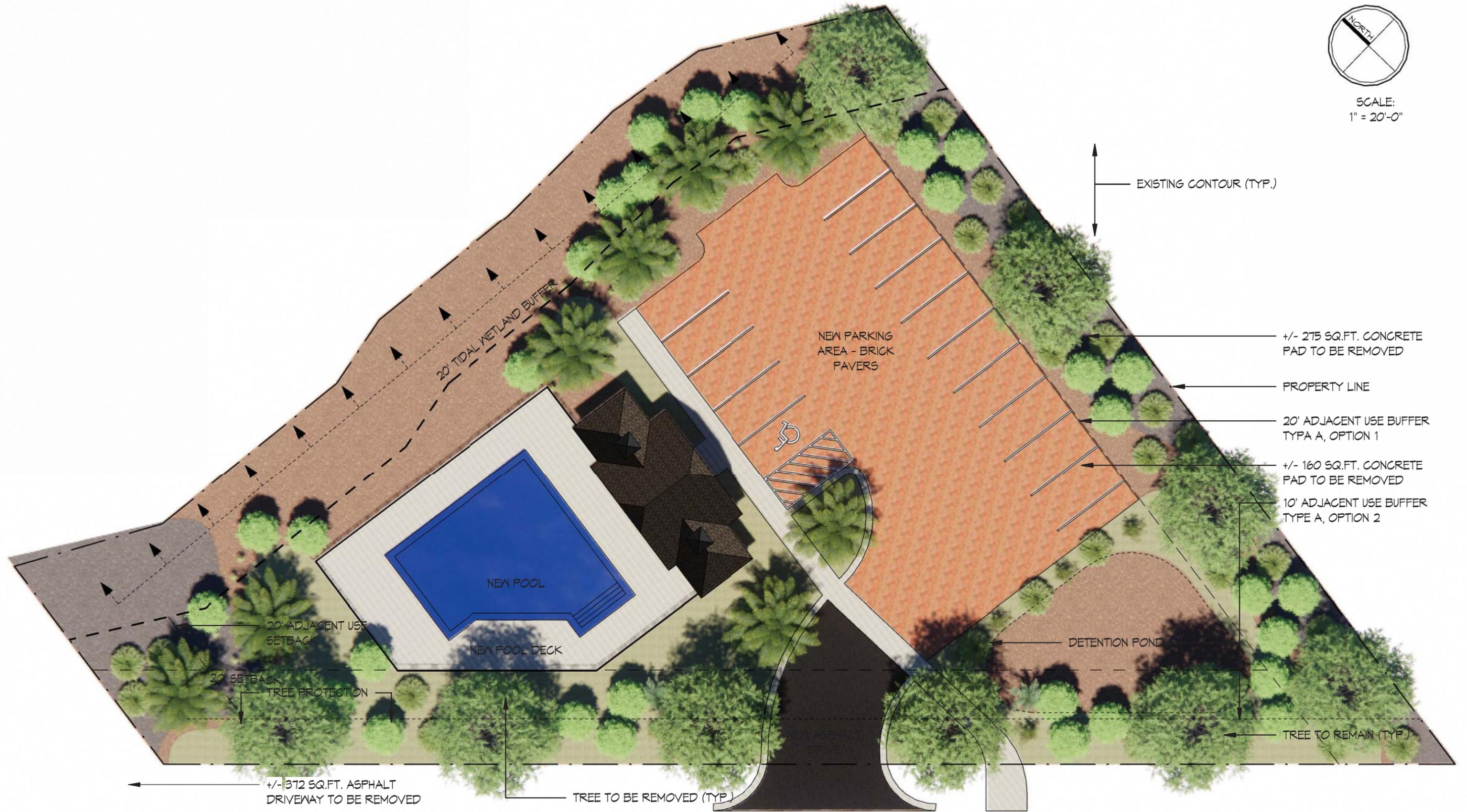
BAILEY'S POINT AMENITY CENTER
 JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

P1
 5/31/22





SCALE:
1" = 20'-0"



ARCHITECTURAL SITE PLAN - ALTERNATE

BAILEY'S POINT AMENITY CENTER

JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

P5

5/31/22





PERSPECTIVE FROM ABOVE

BAILEY'S POINT AMENITY CENTER
JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

P7

5/31/22



PERSPECTIVE OF FRONT ENTRY AREA

BAILEY'S POINT AMENITY CENTER

JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

P8

5/31/22



PERSPECTIVE OF POOL AREA

BAILEY'S POINT AMENITY CENTER
JONESVILLE ROAD, TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

P9

5/31/22

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Bailey's Point Amenity Center

DRB#: DRB-001485-2022

DATE: 06/02/2022

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vegetation (trees and understory) in all buffers shall be protected. Show tree protection fence on all the buffers.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At final show the location of the AC units.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a parking lot lighting plan compliant with LMO requirements and illustrating no light pollution beyond the property lines.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vegetation (trees and understory) in all buffers shall be protected. Show tree protection fence on all the buffers.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vegetation (trees and understory) in all buffers shall be protected. Show tree protection fence on all the buffers.

Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The landscape should reduce lawn area per the Design Guide. Lawns potentially are a source of chemical pollution for wetlands.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The buffer should be heavily planted between the parking lot and the existing residence.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The Live Oaks 1) between the development and the marsh, and 2) between the development and the road (in the buffer and setback) currently indicated to be removed should be preserved.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS

1. This project requires a Major Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
3. Staff suggested the applicant provide the alternate site plan to mitigate the affect of noise from the community pool on the adjacent single-family residence (east of the site).